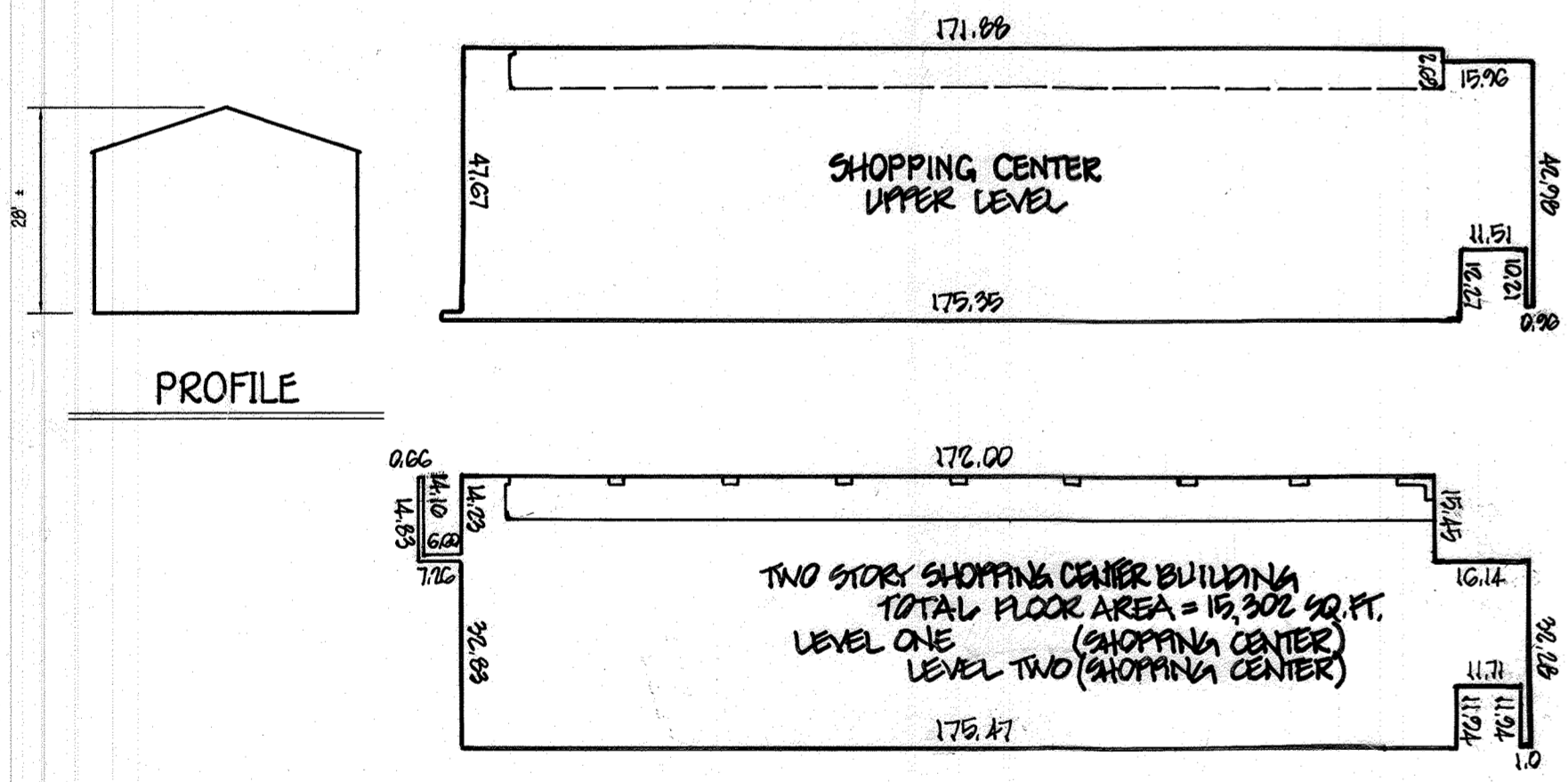
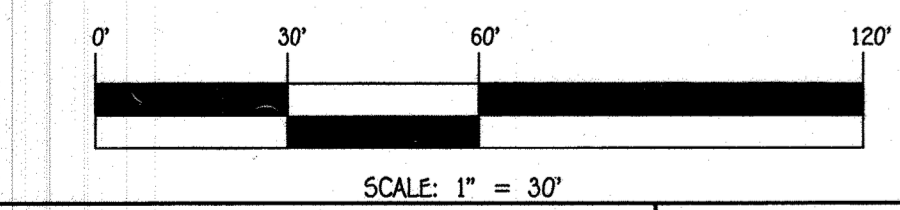


NOTE: ONE CAR GARAGE AREAS ON ALL GARAGE UNITS MAY NOT BE CONVERTED TO LIVING SPACE.

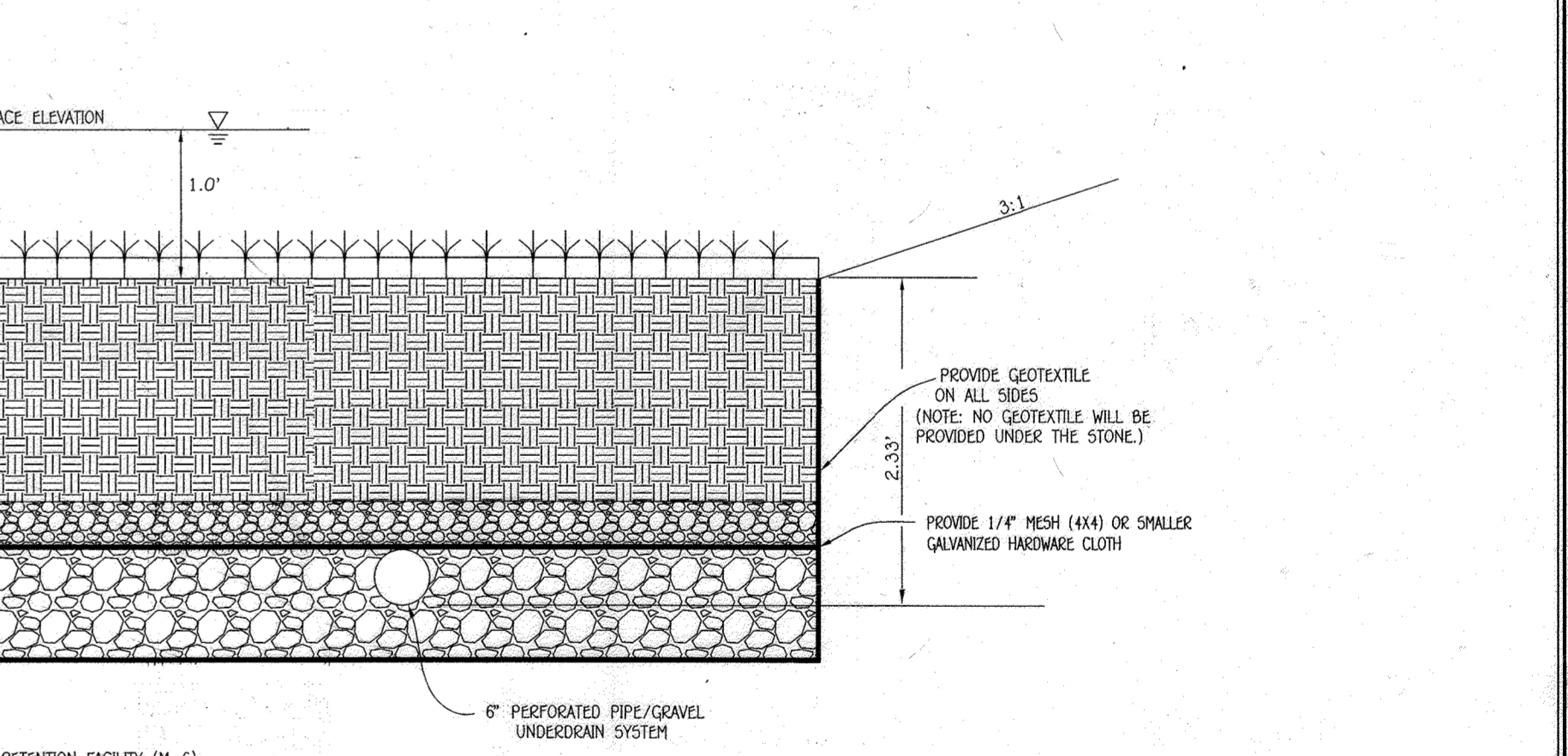
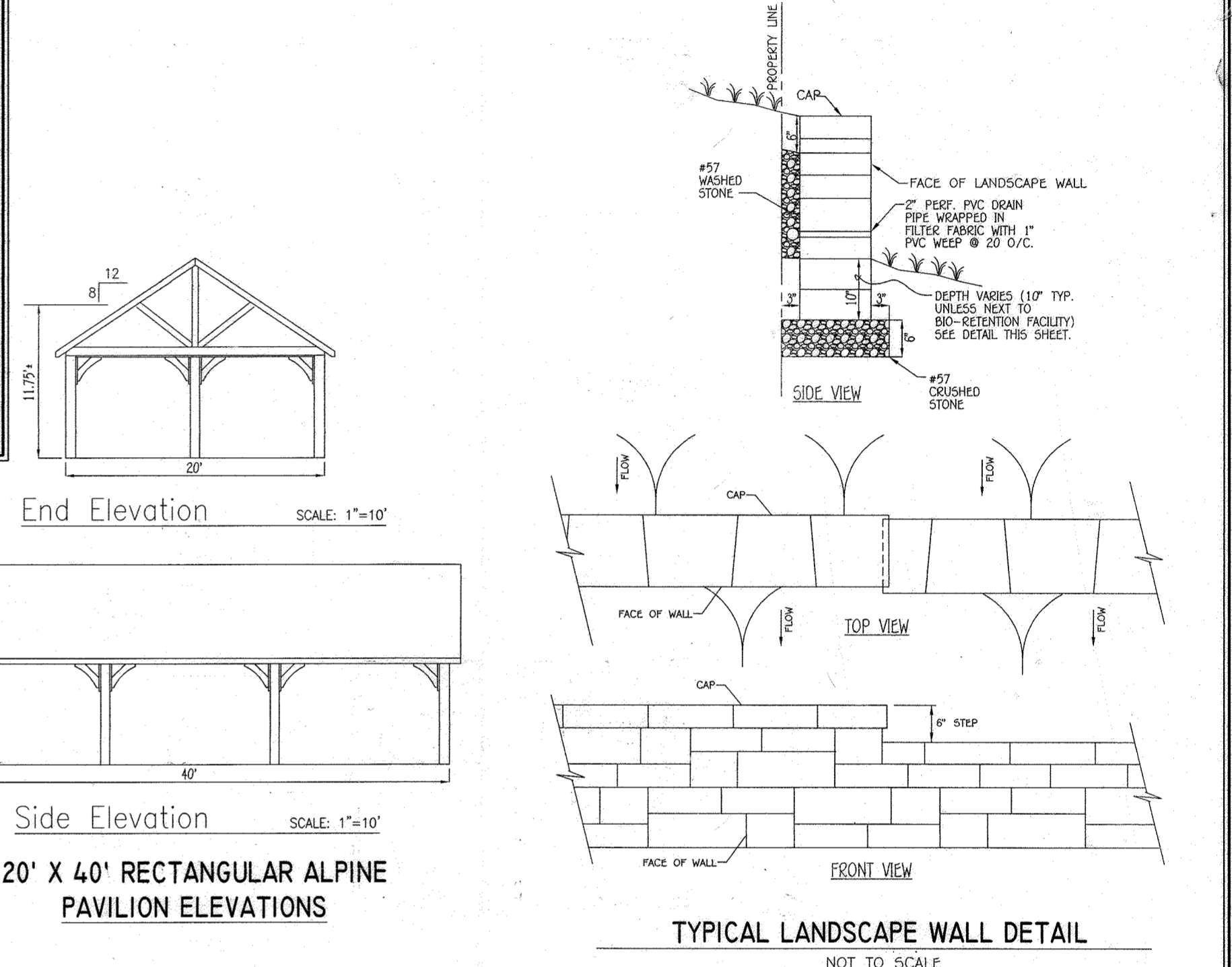


SHOPPING CENTER BUILDING



ADDRESS CHART					
LOT NO.	UNIT NO.	STREET ADDRESS	LOT NO.	UNIT NO.	STREET ADDRESS
42	3039	HOCKLEY MILL DRIVE	92	3237	CLEAR SPRING DRIVE
43	3037	HOCKLEY MILL DRIVE	93	8201	AMOS HUNTER WAY
44	3035	HOCKLEY MILL DRIVE	94	8203	AMOS HUNTER WAY
45	3033	HOCKLEY MILL DRIVE	95	8205	AMOS HUNTER WAY
46	3031	HOCKLEY MILL DRIVE	96	8207	AMOS HUNTER WAY
47	3029	HOCKLEY MILL DRIVE	97	8209	AMOS HUNTER WAY
48	3027	HOCKLEY MILL DRIVE	98	8211	AMOS HUNTER WAY
49	3025	HOCKLEY MILL DRIVE	99	8213	AMOS HUNTER WAY
50	3021	HOCKLEY MILL DRIVE	100	3103	PRISCILLAS VIEW
51	3019	HOCKLEY MILL DRIVE	101	3133	PRISCILLAS VIEW
52	3017	HOCKLEY MILL DRIVE	102	3135	PRISCILLAS VIEW
53	3015	HOCKLEY MILL DRIVE	103	3137	PRISCILLAS VIEW
54	3013	HOCKLEY MILL DRIVE	104	3139	PRISCILLAS VIEW
55	3011	HOCKLEY MILL DRIVE	105	3140	PRISCILLAS VIEW
56	8050	LOCUST MILL STREET	106	3138	PRISCILLAS VIEW
57	8052	LOCUST MILL STREET	107	3136	PRISCILLAS VIEW
58	8054	LOCUST MILL STREET	108	3134	PRISCILLAS VIEW
59	8056	LOCUST MILL STREET	109	3132	PRISCILLAS VIEW
60	8058	LOCUST MILL STREET	110	3130	PRISCILLAS VIEW
61	8062	LOCUST MILL STREET	111	3126	PRISCILLAS VIEW
62	8064	LOCUST MILL STREET	112	3124	PRISCILLAS VIEW
63	8066	LOCUST MILL STREET	113	3122	PRISCILLAS VIEW
64	8070	LOCUST MILL STREET	114	3120	PRISCILLAS VIEW
65	8072	LOCUST MILL STREET	115	3118	PRISCILLAS VIEW
66	8074	LOCUST MILL STREET	116	3116	PRISCILLAS VIEW
67	8076	LOCUST MILL STREET	117	3112	PRISCILLAS VIEW
68	8078	LOCUST MILL STREET	118	3110	PRISCILLAS VIEW
69	8080	LOCUST MILL STREET	119	3108	PRISCILLAS VIEW
70	8082	LOCUST MILL STREET	120	3106	PRISCILLAS VIEW
71	8073	LOCUST MILL STREET	121	3104	PRISCILLAS VIEW
72	8075	LOCUST MILL STREET	122	3102	PRISCILLAS VIEW
73	8077	LOCUST MILL STREET	123	8112	KYNE MILLERS WAY
74	8079	LOCUST MILL STREET	124	8110	KYNE MILLERS WAY
75	8081	LOCUST MILL STREET	125	8108	KYNE MILLERS WAY
76	3201	CLEAR SPRING DRIVE	126	8106	KYNE MILLERS WAY
77	3203	CLEAR SPRING DRIVE	127	8104	KYNE MILLERS WAY
78	3205	CLEAR SPRING DRIVE	128	8102	KYNE MILLERS WAY
79	3207	CLEAR SPRING DRIVE	129	8101	KYNE MILLERS WAY
80	3209	CLEAR SPRING DRIVE	130	8103	KYNE MILLERS WAY
81	3211	CLEAR SPRING DRIVE	131	8105	KYNE MILLERS WAY
82	3215	CLEAR SPRING DRIVE	132	8107	KYNE MILLERS WAY
83	3217	CLEAR SPRING DRIVE	133	8109	KYNE MILLERS WAY
84	3219	CLEAR SPRING DRIVE	134	8111	KYNE MILLERS WAY
85	3221	CLEAR SPRING DRIVE	135	8210	AMOS HUNTER WAY
86	3223	CLEAR SPRING DRIVE	136	8212	AMOS HUNTER WAY
87	3227	CLEAR SPRING DRIVE	137	8214	AMOS HUNTER WAY
88	3229	CLEAR SPRING DRIVE	138	8216	AMOS HUNTER WAY
89	3231	CLEAR SPRING DRIVE	139	8218	AMOS HUNTER WAY
90	3233	CLEAR SPRING DRIVE	140	8220	AMOS HUNTER WAY
91	3235	CLEAR SPRING DRIVE			

PROPOSED ROAD ALIGNMENT LINE TABLE									
ROAD NAME	STATION	STATION	DIRECTION	LENGTH	DELTA	ARC LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH
WEBERS QUARRY ROAD	0+00	0+25.34	S43°03'39\"W	25.34'					
WEBERS QUARRY ROAD	0+25.34	1+36.04			42°28'57\"	110.70'	150.00'	S26°19'58\"W	108.21'
WEBERS QUARRY ROAD	1+36.04	3+18.04	S05°11'23\"W	182.00'					
LOCUST MILL STREET	0+00	2+37.38	S84°49'53\"E	237.38'					
LOCUST MILL STREET	2+37.38	2+79.60			63°66'22\"	42.22'	38.00'	S51°35'20\"E	40.08'
LOCUST MILL STREET	2+79.60	5+27.02	S19°45'28\"E	247.42'					
LOCUST MILL STREET	5+27.02	6+19.11			24°08'78\"	92.09'	212.00'	S7°18'50\"E	91.37'
LOCUST MILL STREET	6+19.11	7+74.56	S05°07'48\"W	155.45'					
HOCKLEY MILL DRIVE	0+00	2+69.36	S84°52'12\"E	269.36'					
HOCKLEY MILL DRIVE	2+69.36	3+42.70			22°35'18\"	73.34'	188.00'	N83°57'15\"E	72.88'
KYNE MILLERS WAY	0+00	1+78.29	S06°03'33\"W	178.29'					
AMOS HUNTER WAY	0+00	2+34.20	S05°07'48\"W	234.20'					
PRISCILLAS VIEW	0+00	3+75.50	S84°52'12\"E	375.50'					
CLEAR SPRING DRIVE	0+00	4+13.85	N84°52'12\"W	413.85'					



AS-BUILT CERTIFICATION FOR PSWM
 Note: The information provided is based on the information provided to the engineer.
 Date: 5/13/23

PROFESSIONAL ENGINEER CERTIFICATION
 I HEREBY CERTIFY THAT THE WORK WAS PREPARED OR APPROVED BY ME AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 Date: 9/23/13

OWNERS: 3330 ROGERS AVENUE LLC, SUITE 102, 5300 DORSEY HALL DRIVE, ELLICOTT CITY, MD 21042, 443-367-0422
 DEVELOPER: M & T DEVELOPERS, LLC, 4515 MANOR LANE, ELLICOTT CITY, MD 21042, 443-367-0422

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Director - Department of Planning and Zoning
 Chief, Division of Land Development
 Chief, Development Engineering Division

APPROVED PLANNING BOARD OF HOWARD COUNTY
 DATE: 4/15/13

DATE	DESCRIPTION	REVISION BLOCK
12/21/21	Add sheet 28 - Revised Bros (1) & (12)	
5/8/19	ADD SHEET 27	
10/30/16	REVISED LOTS 82 THRU 86, FROM MOZART TO STRAUSS	
2/16/16	REVISED THIS BLOCK	
2/16/15	REVISED BUILDING LEASE FROM COMMERCIAL TO SHOPPING CENTER	
3/12/15	REVISED ALPINE PAVILION ELEVATIONS AND LANDSCAPE WALL DETAILS	
1/14/15	REVISED BUILDING LEASE FROM RETAIL TO COMMERCIAL	
7/22/14	ADDED BUILDING FOR THIS SECTION	

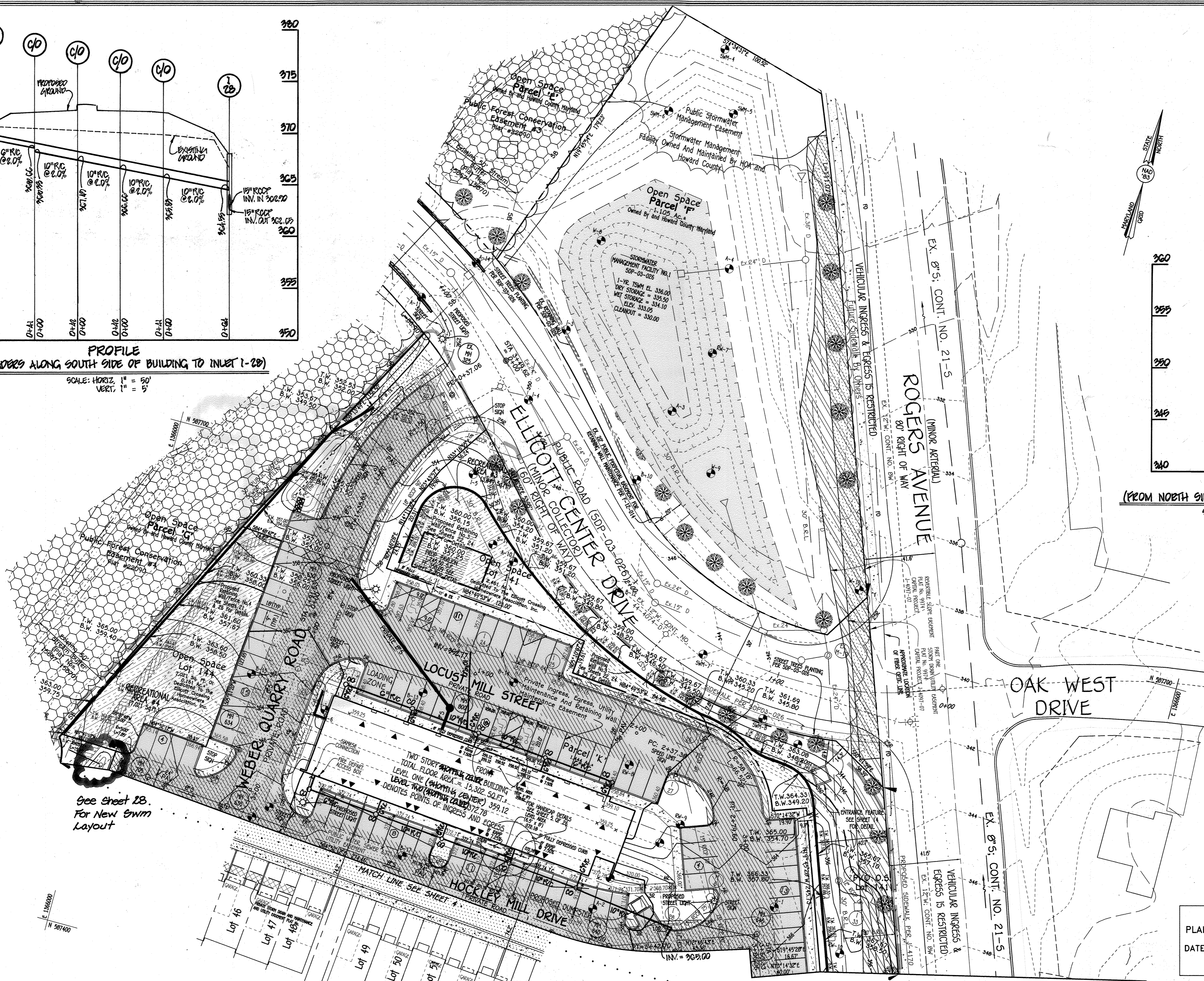
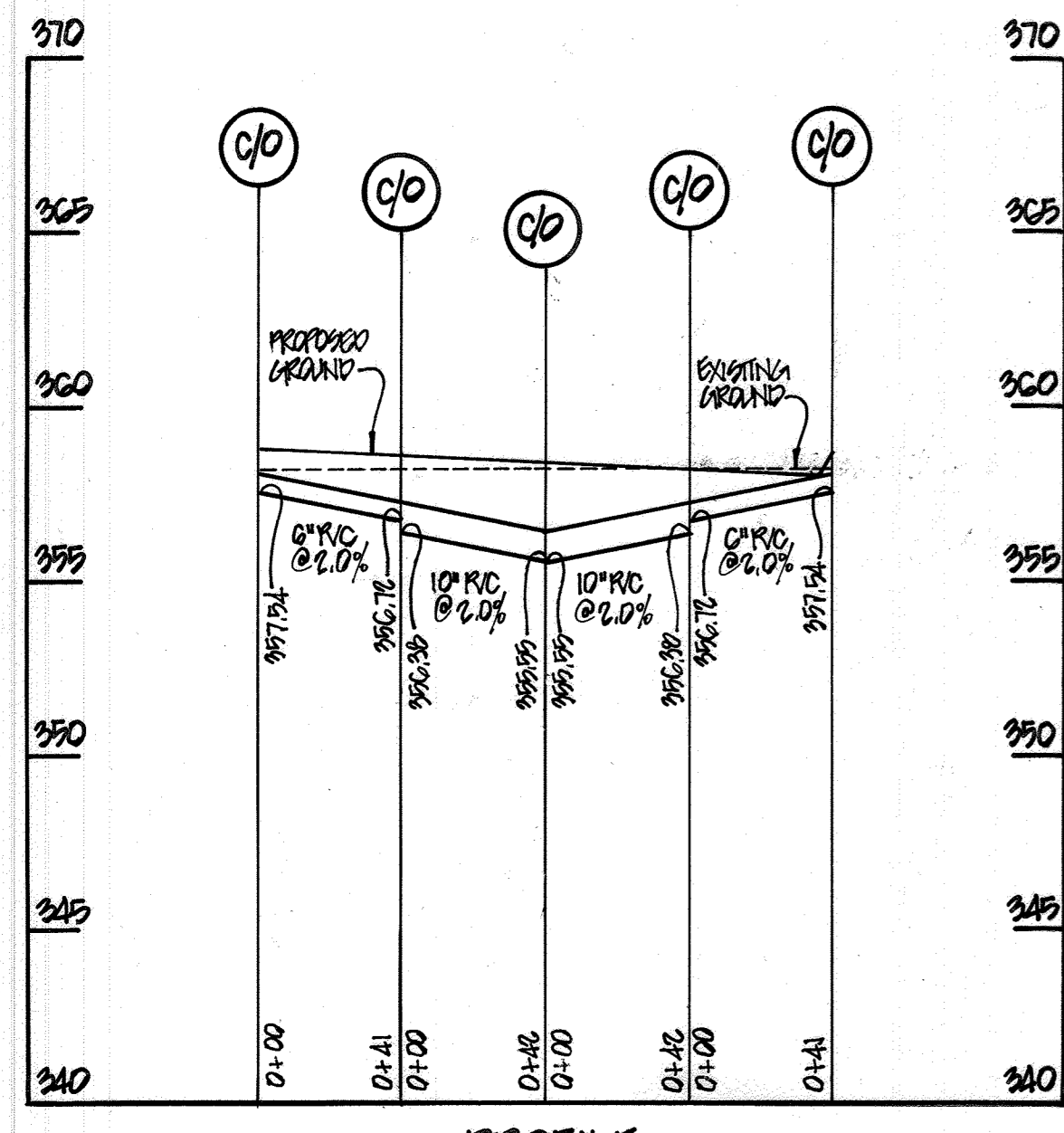
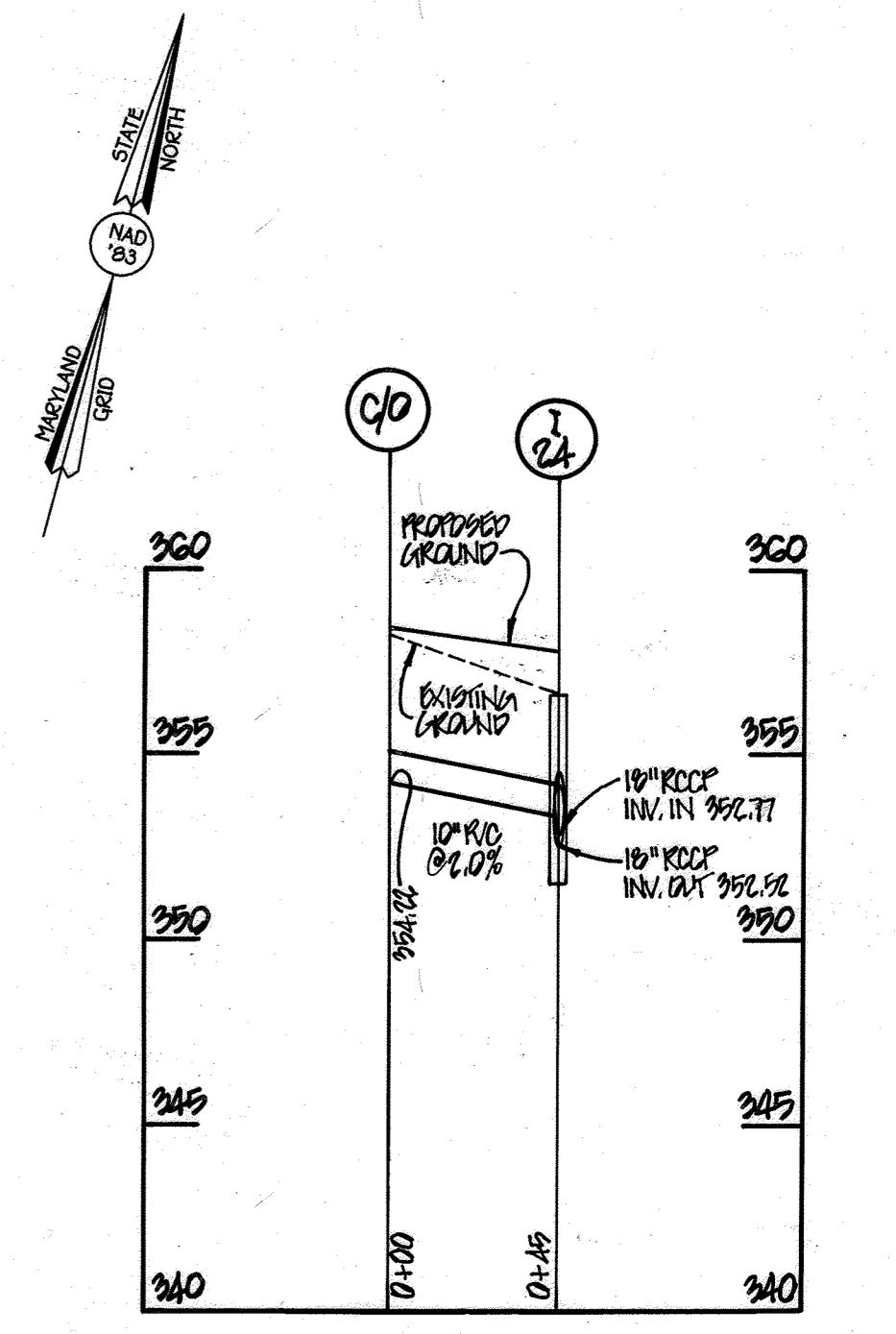
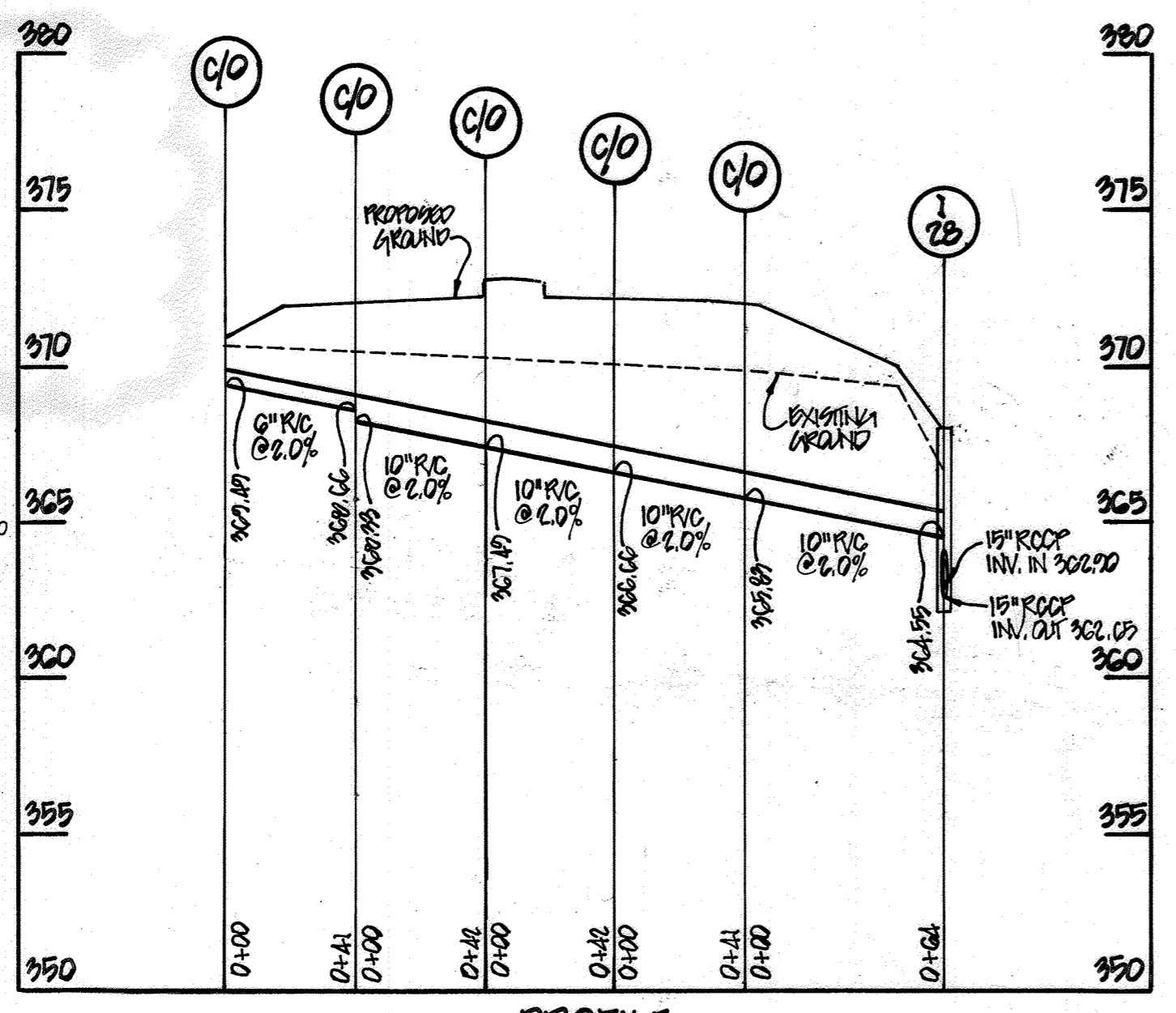
PROFESSIONAL ENGINEER CERTIFICATION
 I HEREBY CERTIFY THAT THE WORK WAS PREPARED OR APPROVED BY ME AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 Date: 9/23/13

PLAT NO.	PARCEL NOS.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
22245-22275	852, 847	MXD-6	24	2nd	6029

HOUSE TYPES, ADDRESS CHART
 ELLICOTT CROSSING PART TWO
 LOTS 42 THRU 140, OPEN SPACE LOTS 141 THRU 144 & PARCEL 'K'
 SINGLE FAMILY ATTACHED HOUSING, BUILDING AND GAZEBO
 TAX MAP No. 24 GRID Nos. 6, 1 PARCEL Nos.: 852, 847
 2nd ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2014

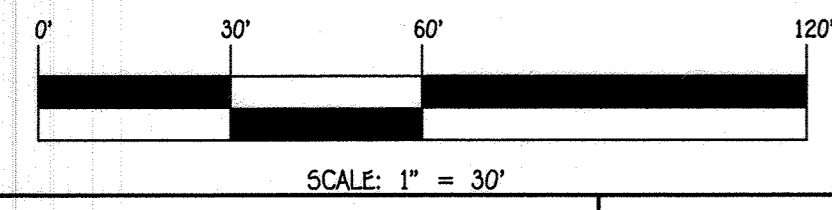
THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

- LEGEND**
- PROPOSED PAVING
 - EXISTING WETLANDS PLAT NOS. 15867 THRU 15870
 - EXISTING CONTOUR
 - EXISTING TREELINE
 - EXISTING STREAM
 - 5' WIDE MULCH PATH
 - RECREATION OPEN SPACE AREAS
 - EXISTING EASEMENT
 - SLOPES 25% OR GREATER
 - PERMEABLE PAVING
 - FOREST CONSERVATION EASEMENT
 - EXISTING WATER
 - EXISTING SEWER
 - EXISTING STORM DRAIN
 - PROPOSED STORM DRAIN
 - LIMIT OF DISTURBANCE
 - EXISTING STREET TREE (SDP-03-026)
 - PRIVATE STORM DRAIN AND MAINTENANCE EASEMENT
 - EXISTING STORM DRAIN UTILITY EASEMENT



NOTE: CONTRACTOR TO LOCATE FIBER OPTIC CABLE PRIOR TO CONSTRUCTION.

APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE 4-15-13



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 BALDORNE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042
(410) 461-2295

DATE	DESCRIPTION	REVISION BLOCK
12/21/11	Add Sheet 28 - Revised Bios (1) of (12)	
5/8/12	ADD SHEET 27	
9/10/12	REVISE TITLE BLOCK	
9/10/12	REVISE BUILDING USAGES FROM COMMERCIAL TO SHOPPING CENTER	
9/11/12	REVISE PAVILION	
9/11/12	REVISE BUILDING USAGES FROM RESIDENTIAL TO COMMERCIAL	
7/22/14	REVISE COMMERCIAL BUILDING FOOTPRINT	

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. MY LICENSE EXPIRES ON 7/14/15.
Frank John...
DATE 7/30/14

OWNERS
3330 ROGERS AVENUE LLC
SUITE 102
5300 DORSEY HALL DRIVE
ELLICOTT CITY, MD 21042
443-367-0422

DEVELOPER
M & T DEVELOPERS, LLC
4515 MANOR LANE
ELLICOTT CITY, MD 21042
443-367-0422

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Judith Lowery 8-8-14
Director - Department of Planning and Zoning
Kathleen... 8/26/14
Chief, Division of Land Development
J. Lee 8/14/14
Chief/Development Engineering Division

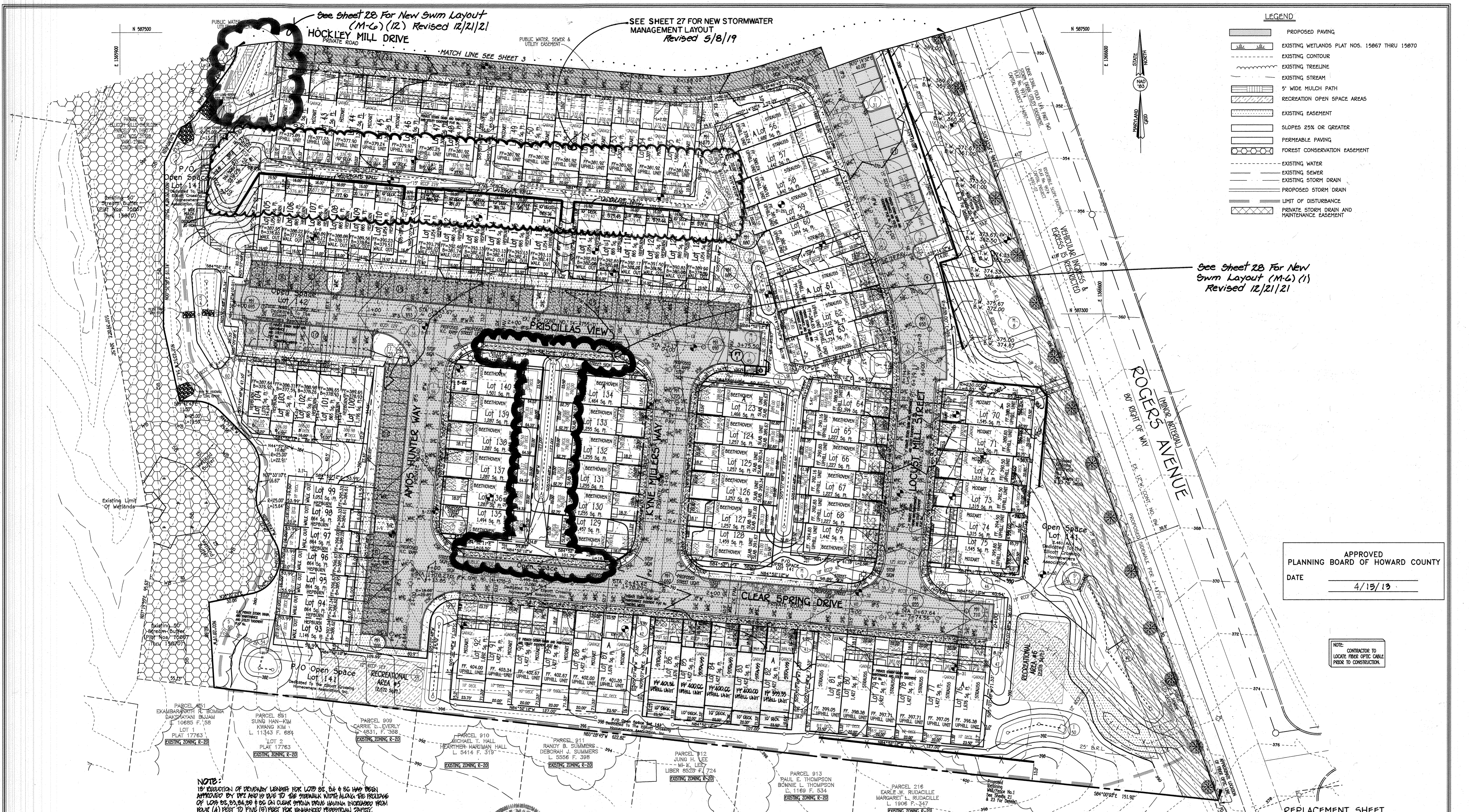
SUBDIVISION	SECTION/AREA	LOT NOS.
ELLICOTT CROSSING PART TWO	N/A	42 THRU 140

PLAT NOS.	PARCEL NOS.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
2294-2299	052, 047	MXD-6	24	2nd.	6029

SITE DEVELOPMENT PLAN
ELLICOTT CROSSING
PART TWO
LOTS 42 THRU 140 OPEN SPACE LOTS 141 THRU 144 & PARCEL 'K'
SINGLE FAMILY ATTACHED HOUSING
TWO STORY SHOPPING CENTER BUILDING AND GAZEBO
TAX MAP No.: 24 GRID Nos.: 6, 1 PARCEL Nos.: 052, 047
2nd ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 30' DATE: AUGUST, 2014

SHEET 3 OF 28 **SDP-13-004**

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET



- LEGEND**
- PROPOSED PAVING
 - EXISTING WETLANDS PLAT NOS. 15067 THRU 15070
 - EXISTING CONTOUR
 - EXISTING TREELINE
 - EXISTING STREAM
 - 5' WIDE MULCH PATH
 - RECREATION OPEN SPACE AREAS
 - EXISTING EASEMENT
 - SLOPES 25% OR GREATER
 - PERMEABLE PAVING
 - FOREST CONSERVATION EASEMENT
 - EXISTING WATER
 - EXISTING SEWER
 - EXISTING STORM DRAIN
 - PROPOSED STORM DRAIN
 - LIMIT OF DISTURBANCE
 - PRIVATE STORM DRAIN AND MAINTENANCE EASEMENT



See Sheet 28 For New Swm Layout (M-6) (1) Revised 12/21/21

APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE 4/15/13

NOTE:
CONTRACTOR TO
LOCATE EXISTING OPTIC CABLE
PRIOR TO CONSTRUCTION.

NOTE:
1) REDUCTION OF PERMITS LENGTH FOR LOTS 82, 84 & 86 HAS BEEN APPROVED BY DPZ AND IS DUE TO THE SHOWN WIDTH ALONG THE FRONTAGE OF LOTS 82, 84, 86 & 88 ON CLEAR SPRING DRIVE HAVING INCREASED FROM FOUR (4) FEET TO FIVE (5) FEET FOR ENHANCED PEDESTRIAN SAFETY.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SERVICE OFFICE: 10732 BALDWIN NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
(410) 461-2899

DATE	DESCRIPTION
12/21/21	Add Sheet 28- Revised Bios (1) & (2)
5/8/19	ADD FILTERRA & NOTE TO SEE SHEET 27
12/20/18	REMOVE LOTS 82 THRU 86 FROM MOZART TO STRAUSS
9/12/18	REMOVE TITLE BLOCK
9/10/18	REMOVE TITLE BLOCK TO REFLECT SHOPPING CENTER
8/17/18	ADD DEVELOPER'S NAME, UNDERSTANDING PERMIT & PROPERTY & MAINT. PLAN, STRAUSS AND 82-86 TO BE REMOVED FROM THIS PLAN
8/14/18	REMOVE CHANGING FROM AS-BUILT CONDITIONS FOR LOTS 79 THRU 81
8/1/18	REMOVE CHANGING FROM AS-BUILT CONDITIONS FOR LOTS 79 THRU 81
7/22/14	REMOVE CHANGING FROM AS-BUILT CONDITIONS FOR LOTS 79 THRU 81

AS BUILT™ information
John M. Williams 5/3/22
Date

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THE INFORMATION PROVIDED OR APPROVED BY ME AND THAT ANY ENGINEER OR SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND HAS BEEN PREPARED AND DATED: 7/14/15.
Frank J. Williams 7/14/15
DATE

OWNERS
3330 ROGERS AVENUE LLC
SUITE 102
5300 DORSEY HALL DRIVE
ELLCOTT CITY, MD 21042
443-367-0422

DEVELOPER
M & T DEVELOPERS, LLC
4515 MANOR LANE
ELLCOTT CITY, MD 21042
443-367-0422

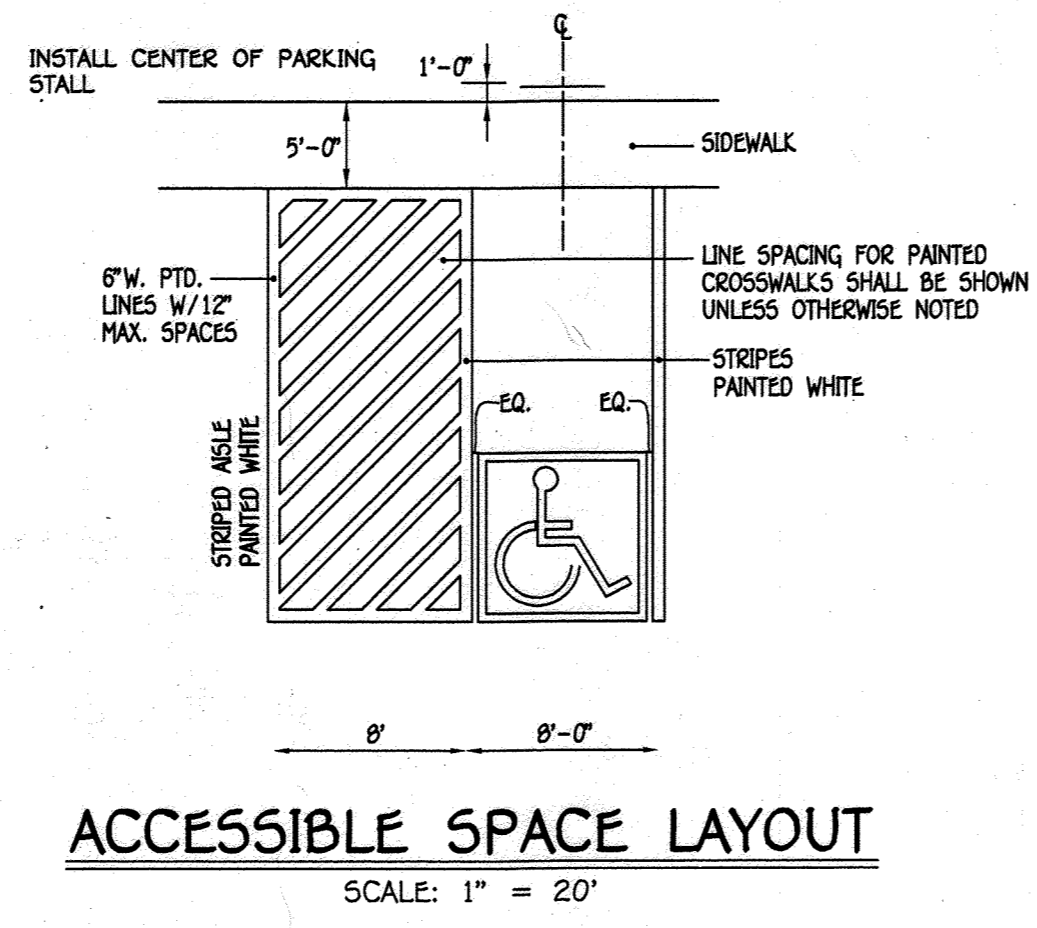
APPROVED: DEPARTMENT OF PLANNING AND ZONING
David J. Jensen 8-8-14
Director - Department of Planning and Zoning
Victor S. Leland 3/6/14
Chief, Division of Land Development
John P. [Signature] 8/4/14
Chief, Development Engineering Division

SUBDIVISION	ELLCOTT CROSSING PART TWO	SECTION/AREA	N/A	LOT NOS.	42 THRU 140
PLAT NOS.	2281-2290	PARCEL NOS.	852, 847	ZONE	MXD-6
TAX MAP	24	ELEC. DIST.	2nd	CENSUS TR.	6029

SITE DEVELOPMENT PLAN
ELLCOTT CROSSING PART TWO
LOTS 82 THRU 140, OPEN SPACE LOTS 141 THRU 144 & PARCEL 'K'
SINGLE FAMILY ATTACHED HOUSING, BUILDING AND GAZEBO
TWO STORY SHOPPING CENTER
TAX MAP No.: 24 GRID Nos.: 6, 1 PARCEL Nos.: 852, 847
2nd ELECTION DISTRICT - HOWARD COUNTY, MARYLAND
SCALE: 1" = 30'
DATE: AUGUST, 2014

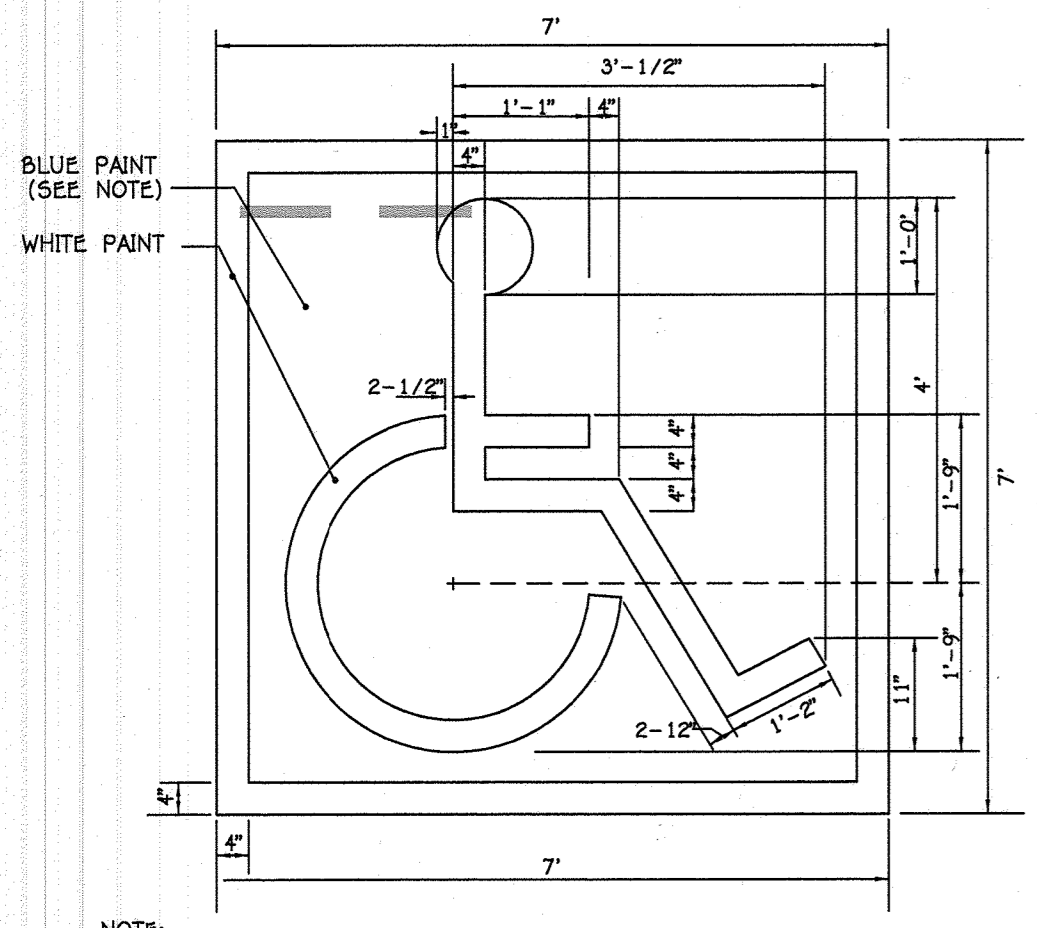
LEGEND

	PROPOSED PAVING
	EXISTING WETLANDS PLAT NOS. 15867 THRU 15870
	EXISTING CONTOUR
	EXISTING TREELINE
	EXISTING STREAM
	5' WIDE MULCH PATH
	RECREATION OPEN SPACE AREAS
	EXISTING EASEMENT
	SLOPES 25% OR GREATER
	PERMEABLE PAVING
	FOREST CONSERVATION EASEMENT
	EXISTING WATER
	EXISTING SEWER
	EXISTING STORM DRAIN
	PROPOSED STORM DRAIN
	PRIVATE STORM DRAIN AND MAINTENANCE EASEMENT

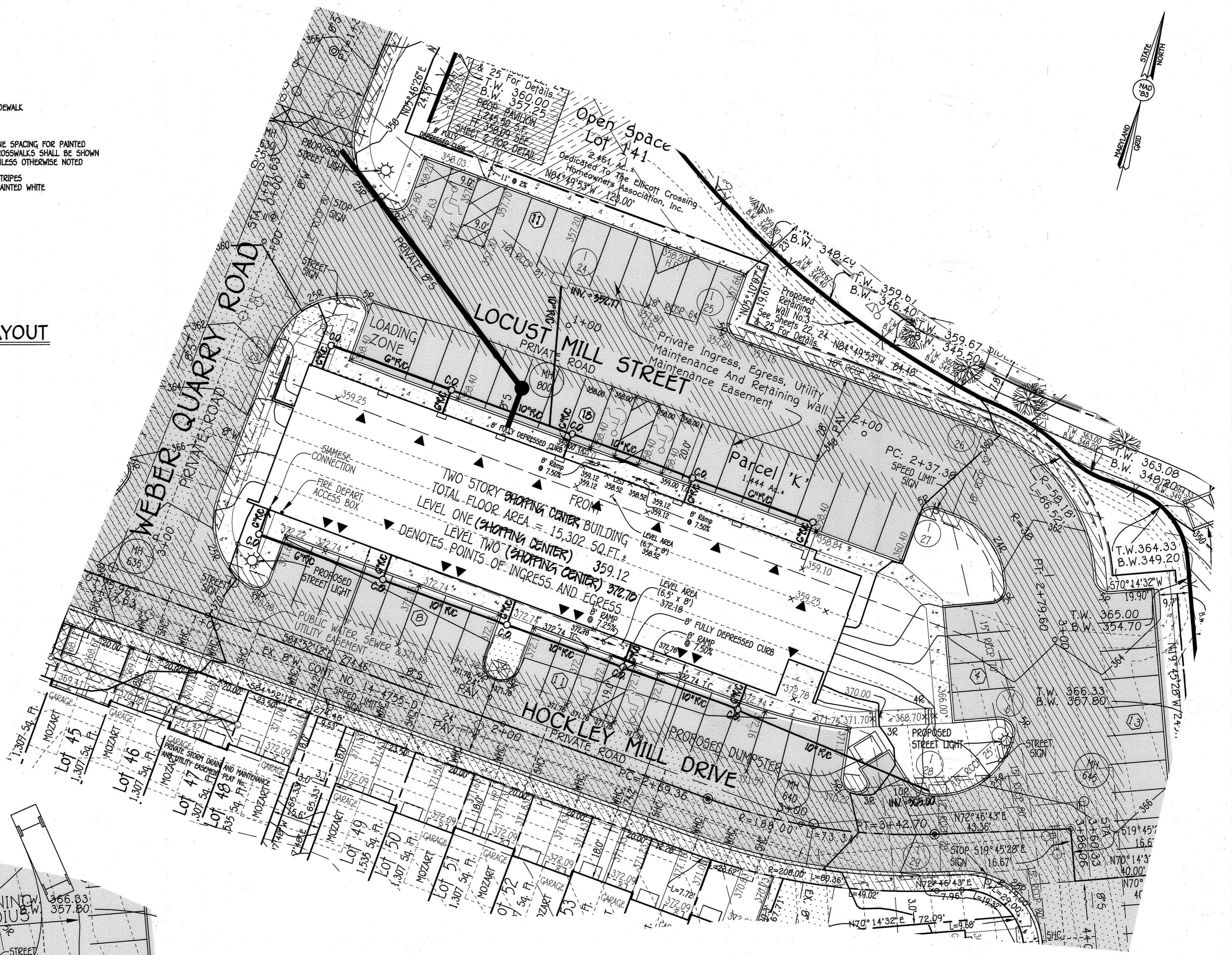
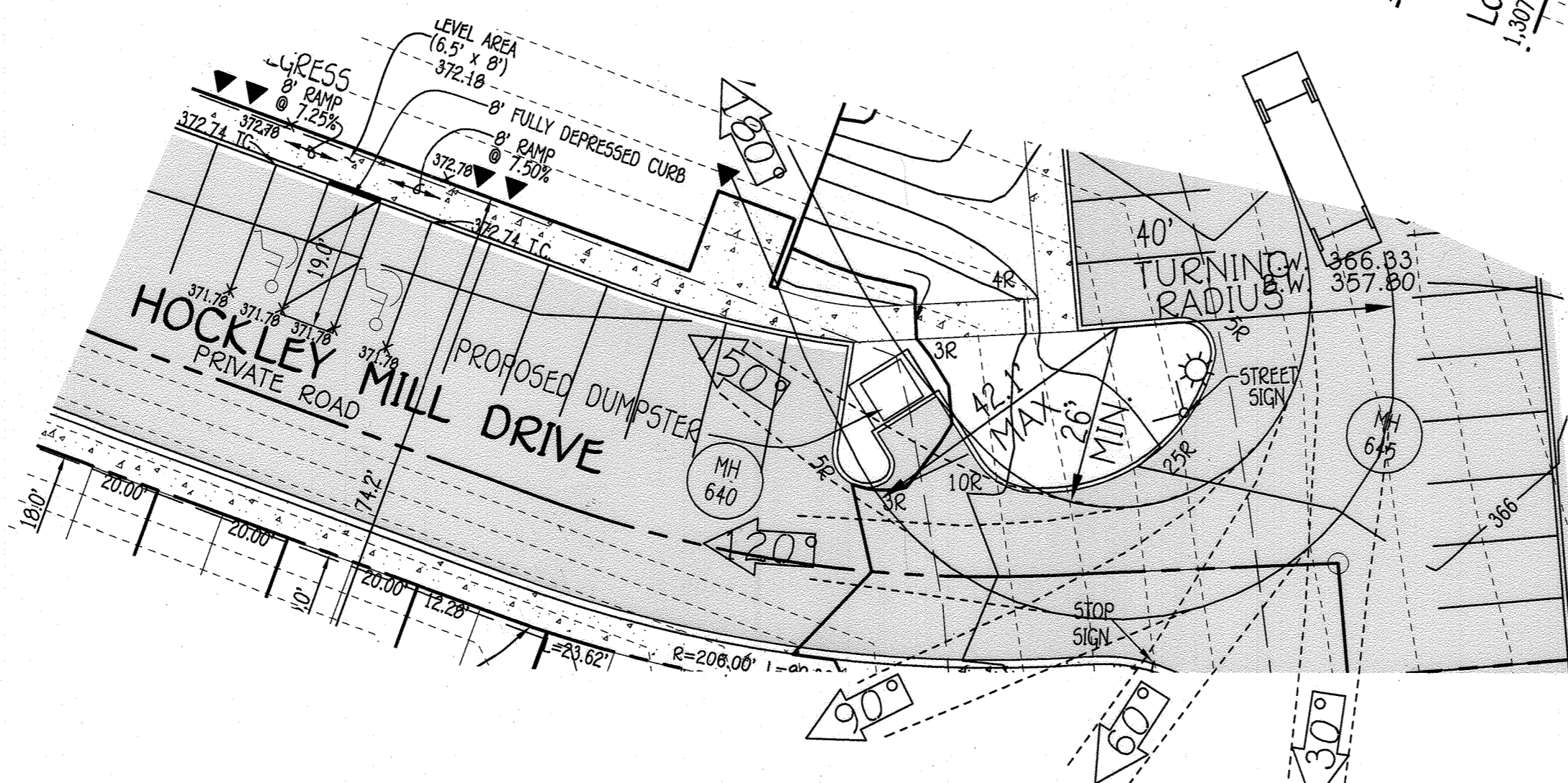


- GENERAL NOTES:**
- SIGNS SHALL MEET DESIGN STANDARDS OF THE FEDERAL HIGHWAY ADMINISTRATION AND CONFORM TO THE STATE OF MARYLAND STANDARD HIGHWAY SIGN BOOKLET DETAIL 67-8.
 - ONE SIGN IS REQUIRED PER SPACE PLACED AS SHOWN ON SITE IMPROVEMENT PLAN.
 - SIGNS SHALL BE POLE MOUNTED WITH HOT DIPPED GALVANIZED COUNTY APPROVED PERFORATED CHANNEL POSTS W/TOP OF SIGNS 9'-1" ABOVE FINISHED GRADE OR AS INDICATED ON SITE DRAWINGS.
 - SIGN SHALL BE ATTACHED TO FLANGED SIDE OF POST. POST SHALL EXTEND INTO GROUND 2'-6" MIN.
 - COLORS: LEGEND AND BORDER-GREEN
SYMBOL-WHITE ON BLUE BACKGROUND
BACKGROUND-WHITE
 - CONTRACTOR SHALL COORDINATE ARROW DIRECTION WITH LOCATION OF ADJACENT AISLE.
 - SPACES INDICATED ON SITE DEVELOPMENT PLANS AS "VAN ACCESSIBLE" SHALL BE SIGNED ACCORDINGLY.

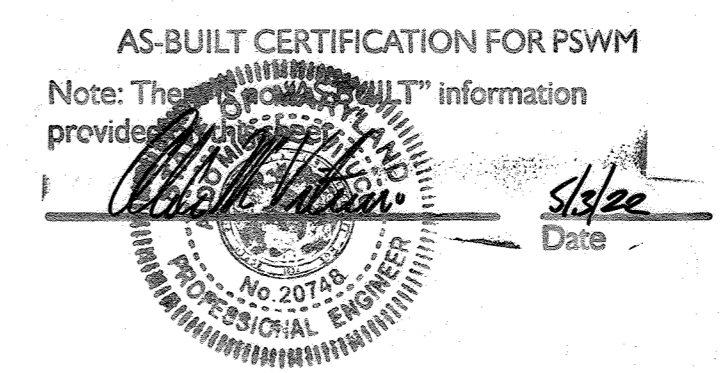
HANDICAP PARKING SIGN DETAIL
NOT TO SCALE



NOTE: SYMBOL IS REQUIRED TO CONTRAST WITH BACKGROUND (WHITE ON BLUE; COLOR NO. 105090 IN FED. STANDARD 5952-DOUBLE COAT TYP.)



HANDICAP DETAIL
SCALE: 1" = 20"



APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE 4-15-13

REPLACEMENT SHEET

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTOUR NATIONAL PARK
ELLICOTT CITY, MARYLAND 21042
(410) 461-2895

DATE	DESCRIPTION
12/23/21	ADD SHEET 28
5/04/19	REVISED SHEET NUMBER TO REFLECT ADDED SHEET
9/16/16	REVISED TITLE BLOCK
9/16/16	REVISED BUILDING USES FROM COMMERCIAL TO SHOPPING CENTER
5/14/15	REVISED BUILDING USES FROM RETAIL TO COMMERCIAL
7/22/14	REVISED TRUCK TURNING RADIUS AND DEVELOPMENT LOCATIONS PER LOTS 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100



OWNERS
3330 ROGERS AVENUE LLC
SUITE 102
5300 DORSEY HALL DRIVE
ELLICOTT CITY, MD 21042
443-367-0422

DEVELOPER
M & T DEVELOPERS, LLC
4515 MANOR LANE
ELLICOTT CITY, MD 21042
443-367-0422

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Durley Lowers 8.8.14
Director - Department of Planning and Zoning
Date

Keith [Name] 9/26/14
Chief, Division of Land Development
Date

[Signature] 8/4/14
Chief, Development Engineering Division
Date

SUBDIVISION	SECTION/AREA	LOT NOS.
ELLICOTT CROSSING PART TWO	N/A	46 THRU 140

PLAT NOS.	PARCEL NOS.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
2249-2250 2251-2255	852, 847	MXD-6	24	2nd.	6029

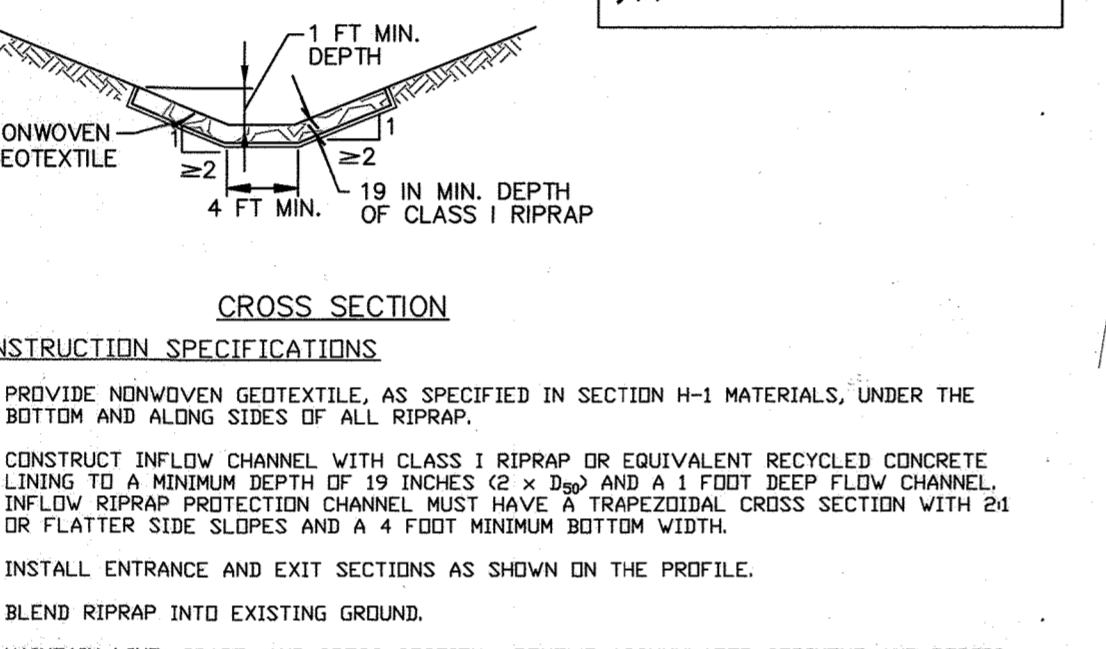
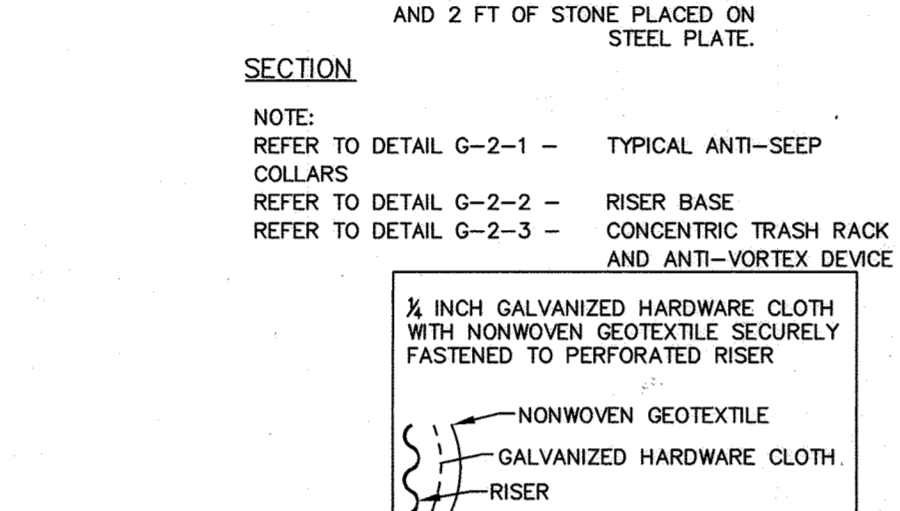
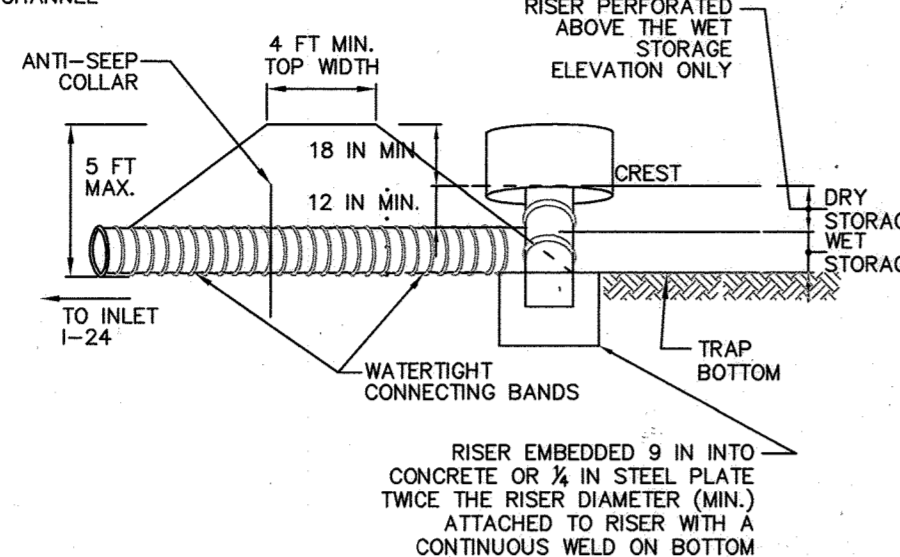
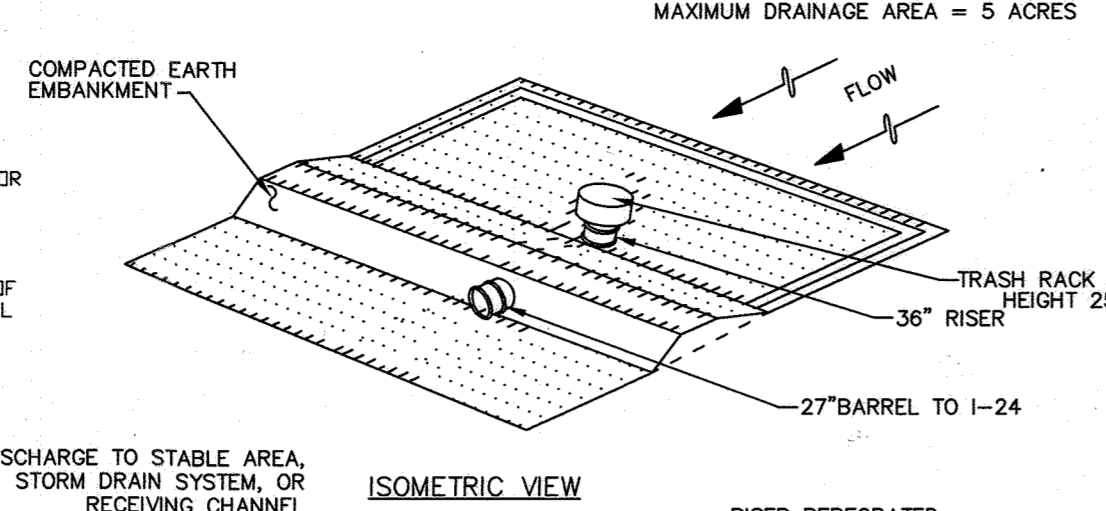
HANDICAP DETAIL SHEET
ELLICOTT CROSSING PART TWO
LOTS 42 THRU 140, OPEN SPACE LOTS 141 THRU 144 & PARCEL 'K'
SINGLE FAMILY ATTACHED HOUSING, TWO STORY SHOPPING CENTER BUILDING AND GAZEBO
TAX MAP No.: 24 GRID Nos.: 6, 1 PARCEL Nos.: 852, 847
2nd ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 20' DATE: AUGUST, 2014

SHEET 5 OF 28 **SDP-13-004**

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

CONSTRUCTION SPECIFICATIONS

1. CONSTRUCT TRAP IN SUCH A MANNER THAT EROSION AND WATER POLLUTION ARE AVOIDED.
2. CLEAR, GRUB, AND STRIP ANY VEGETATION AND ROOT MAT FROM THE AREA UNDER THE EMBANKMENT AND TRAP BOTTOM.
3. PERFORATE THE RISER WITH 1 INCH DIAMETER HOLES SPACED 6 INCHES ON CENTER WITH THE LOWEST PERFORATIONS AT THE WET STORAGE ELEVATION OR PROVIDE A HORIZONTAL OR VERTICAL DRAW-DOWN DEVICE PERFORATED ACCORDING TO APPROVED PLAN. DO NOT PERFORATE THE RISER WITHIN 6 INCHES OF THE TOP OF THE HORIZONTAL BARREL.
4. SET RISER/STAIR ASSEMBLY PRIOR TO EMBANKMENT CONSTRUCTION. MAKE ALL PIPE CONNECTIONS WATER-TIGHT. OFFSET RISER FROM EMBANKMENT TO ACCOMMODATE PLACEMENT OF THE TRASH RACK. ANCHOR THE RISER WITH EITHER A REINFORCED CONCRETE BASE OR STEEL PLATE BASE TO PREVENT FLUTTERING. MAKE CONCRETE BASES AT LEAST TWICE THE RISER DIAMETER AND 18 INCHES THICK WITH THE RISER EMBEDDED 9 INCHES.
5. USE FILL MATERIAL FREE OF ROOTS, WOODY VEGETATION, OVERSIZED STONES, ROCKS, ORGANIC MATERIAL, OR OTHER OBJECTIONABLE MATERIAL FOR THE EMBANKMENT.
6. HAND COMPACT IN 4 INCH LAYERS FILL MATERIAL AROUND THE PIPE SPILLWAY. PLACE A MINIMUM OF 2 FEET OF HAND COMPACTED BACKFILL OVER THE PIPE SPILLWAY BEFORE CROSSING IT WITH CONSTRUCTION EQUIPMENT.
7. CONSTRUCT TOP OF EMBANKMENT 1 FOOT MINIMUM ABOVE RISER CREST. COMPACT THE EMBANKMENT BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED.
8. MAKE ALL CUT AND FILL SLOPES 2:1 OR FLATTER.
9. WRAP THE RISER WITH 1/2 INCH GALVANIZED HARDWARE CLOTH THEN WRAP WITH NONWOVEN GEOTEXTILE. DO NOT WRAP WITH MORE THAN ONE LAYER OF GEOTEXTILE. EXTEND HARDWARE CLOTH AND GEOTEXTILE AT LEAST 6 INCHES ABOVE THE HIGHEST PERFORATIONS AND AT LEAST 6 INCHES BELOW THE LOWEST PERFORATIONS. OVERLAP, FOLD AND FASTEN WHERE ENDS OF GEOTEXTILE COME TOGETHER TO PREVENT BYPASS. REFURGE GEOTEXTILE AS NECESSARY TO PREVENT CLOGGING.
10. USE STRAPS OR CONNECTING BANDS AT THE TOP AND BOTTOM OF THE GEOTEXTILE TO HOLD THE GEOTEXTILE AND HARDWARE CLOTH IN PLACE.
11. USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS.
12. STABILIZE THE EMBANKMENT AND INTERIOR SLOPES WITH SEED AND MULCH. STABILIZE POINTS OF CONCENTRATED INFLOW AS SHOWN ON APPROVED PLAN.
13. CONSTRUCT AND MAINTAIN THE OUTLET ACCORDING TO THE APPROVED PLAN AND IN SUCH A MANNER THAT EROSION AT OR BELOW THE OUTLET DOES NOT OCCUR.
14. REMOVE SEDIMENT AND RESTORE TRAP TO ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO CLEANOUT ELEVATION (50% OF WET STORAGE DEPTH). DEPOSIT REMOVED SEDIMENT IN AN APPROVED AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE. KEEP POINTS OF INFLOW AND OUTFLOW AS WELL AS INTERIOR OF THE TRAP FREE FROM EROSION, AND REMOVE ACCUMULATED DEBRIS. MAINTAIN EMBANKMENTS TO CONTINUOUSLY MEET REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION. REMOVE ANY TREES, BRUSH, OR OTHER WOODY VEGETATION GROWING ON EMBANKMENT OR NEAR PRINCIPAL SPILLWAY. MAINTAIN LINE, GRADE, AND CROSS SECTION. MAINTAIN WATER TIGHT CONNECTIONS. REPLACE GEOTEXTILE AROUND PERFORATED RISER IF DRY STORAGE VOLUME DOES NOT DRAW DOWN WITHIN 10 HOURS.
15. WHEN DEWATERING TRAP, PASS REMOVED WATER THROUGH AN APPROVED SEDIMENT CONTROL PRACTICE.
16. UPON REMOVAL, GRADE AND STABILIZE THE AREA OCCUPIED BY TRAP.



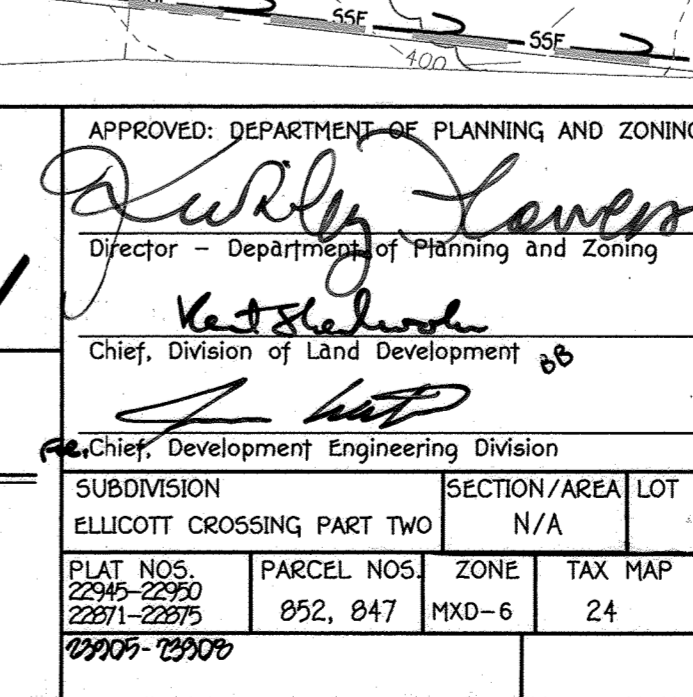
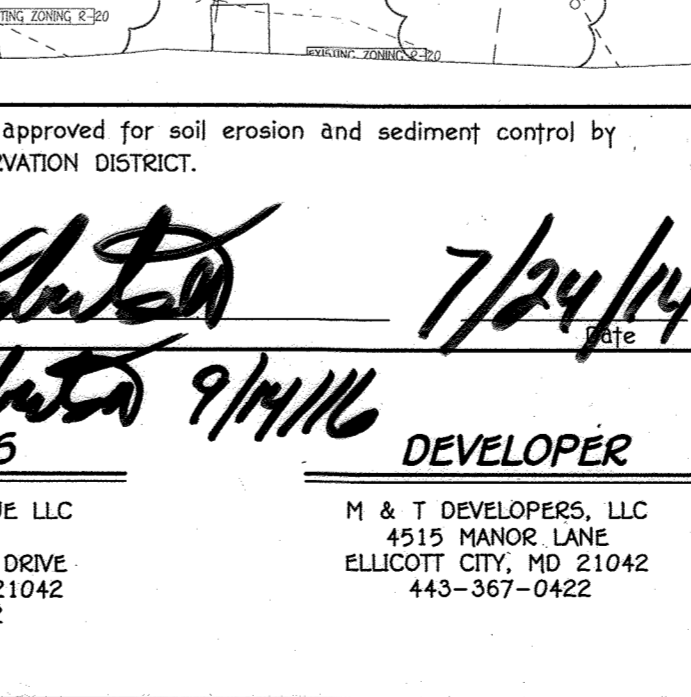
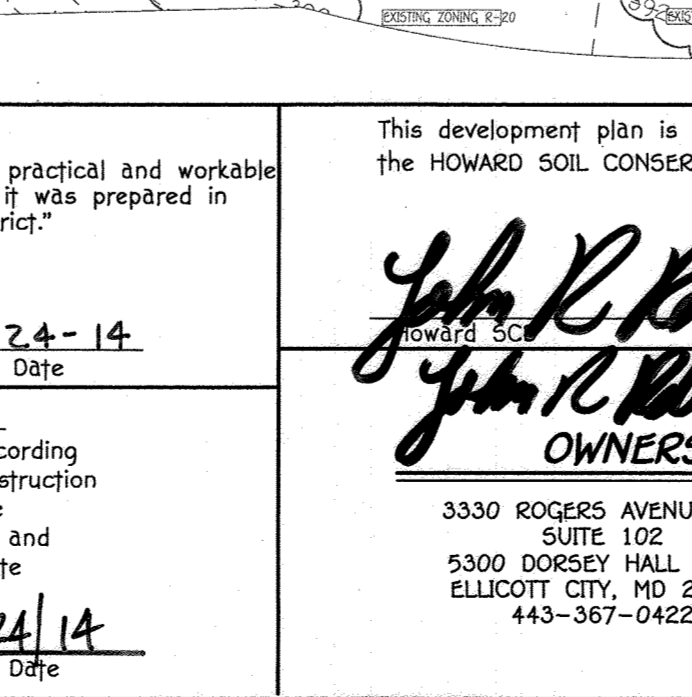
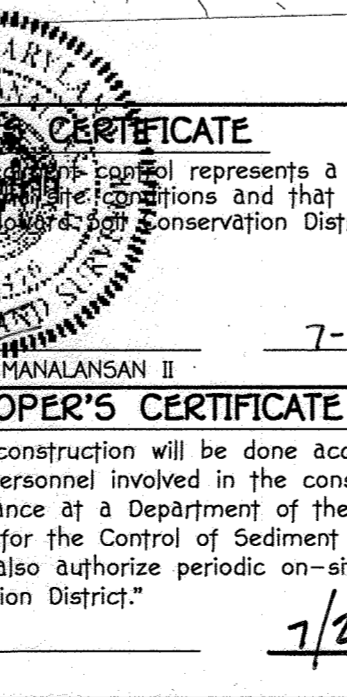
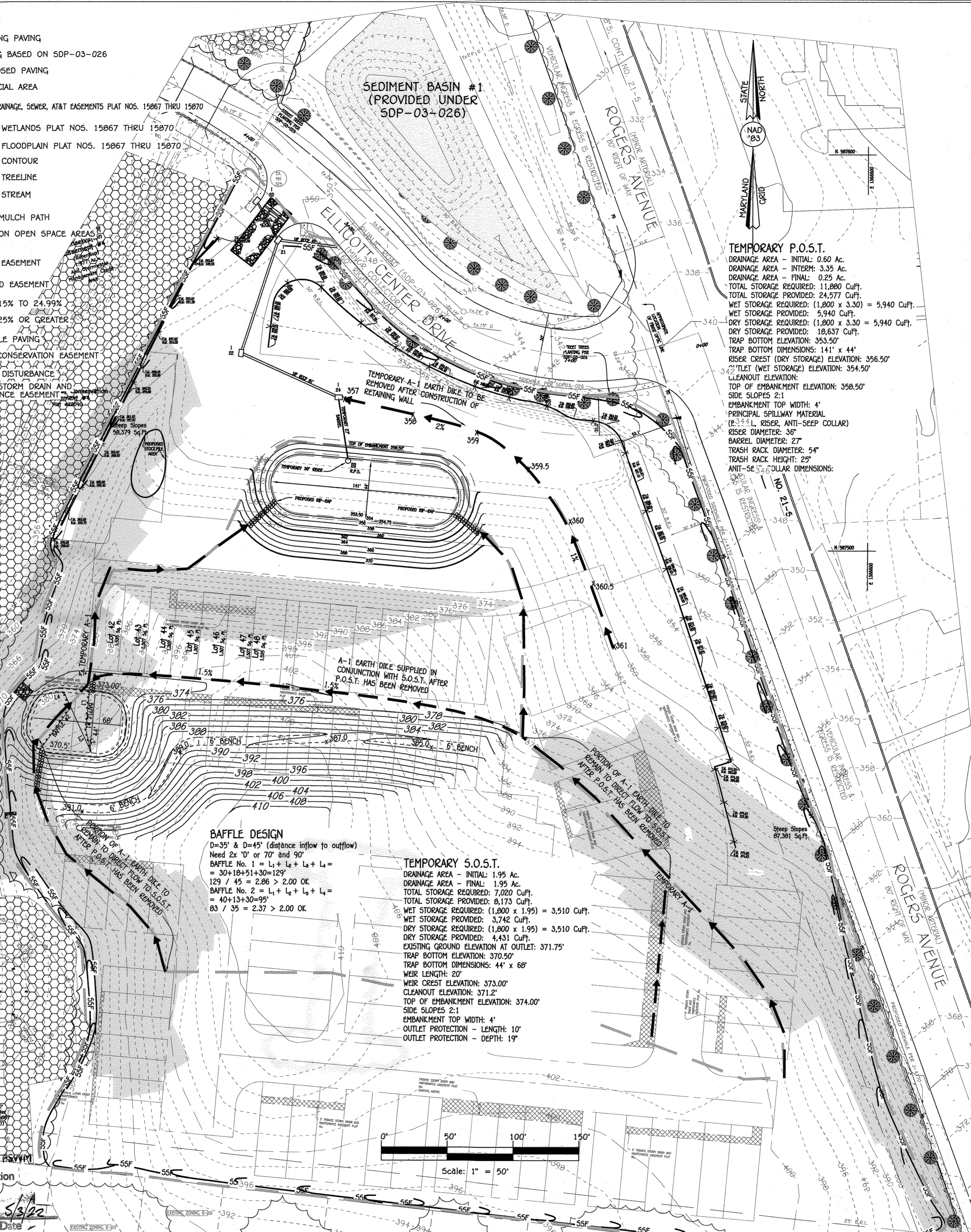
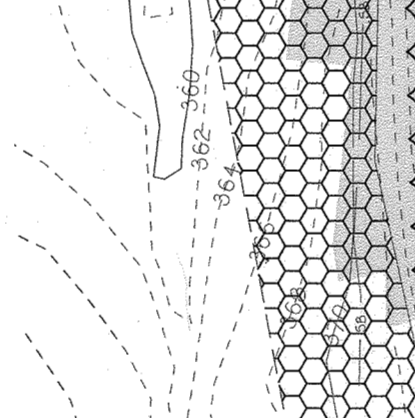
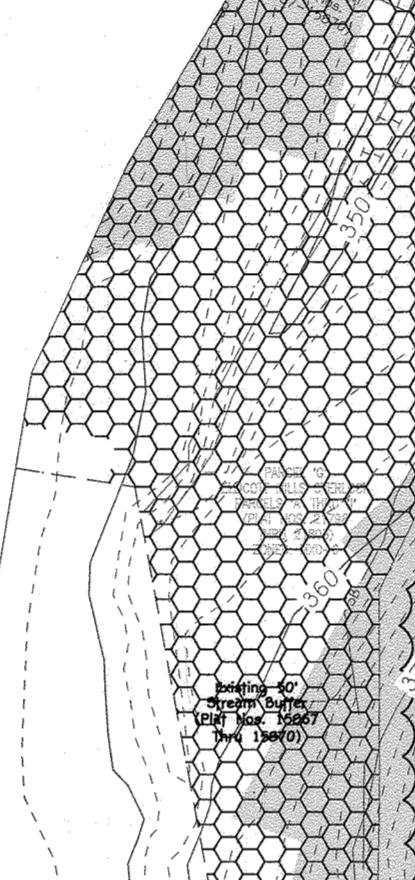
BASIN TABLE (TAKEN FROM SDP-03-026)	
BASIN NUMBER	572
EXISTING DRAINAGE AREA - ACRES	5.60
INTERIM DRAINAGE AREA - ACRES	9.84
PROPOSED DRAINAGE AREA - ACRES	9.84
STORAGE REQUIRED - CUBIC FEET	17,352
WET STORAGE REQUIRED	17,352
DRY STORAGE REQUIRED	34,704
TOTAL STORAGE REQUIRED	52,056
STORAGE PROVIDED - CUBIC FEET	17,675
WET STORAGE PROVIDED	19,384
DRY STORAGE PROVIDED	37,059
TOTAL STORAGE PROVIDED	56,443

BASIN DEPTH	
WET STORAGE	3.5 FT.
DRY STORAGE	2.0 FT.
TOTAL	5.5 FT.

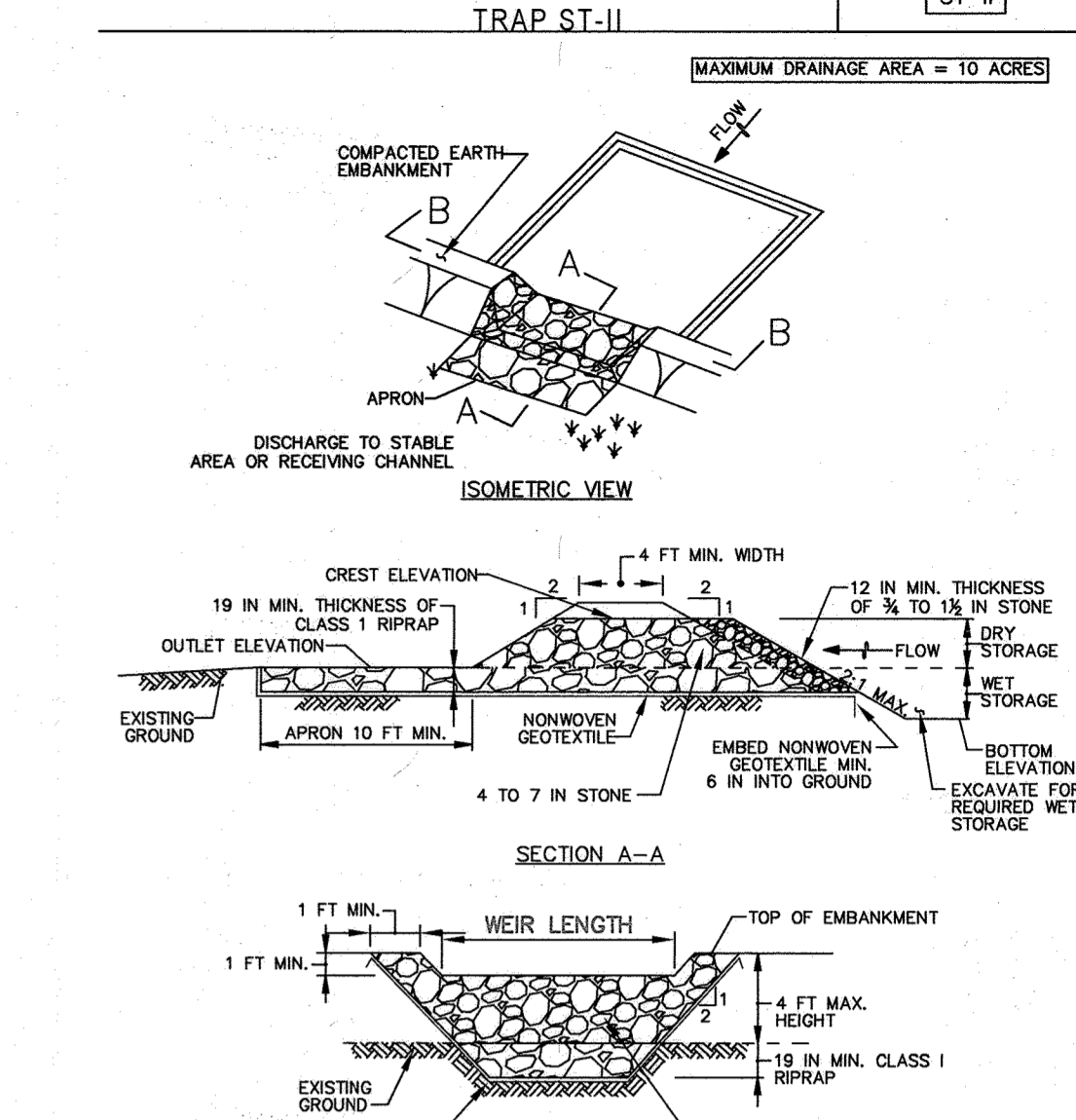
DATE 4-15-13
 APPROVED PLANNING BOARD OF HOWARD COUNTY

LEGEND

- EXISTING PAVING
- PAVING BASED ON SDP-03-026
- PROPOSED PAVING
- COMMERCIAL AREA
- EXISTING DRAINAGE, SEWER, AT&T EASEMENTS PLAT NOS. 15967 THRU 15970
- EXISTING WETLANDS PLAT NOS. 15967 THRU 15970
- EXISTING FLOODPLAIN PLAT NOS. 15967 THRU 15970
- EXISTING CONTOUR
- EXISTING TREELINE
- EXISTING STREAM
- 5' WIDE MULCH PATH
- RECREATION OPEN SPACE AREAS
- EXISTING EASEMENT
- PROPOSED EASEMENT
- SLOPES 15% TO 24.99%
- SLOPES 25% OR GREATER
- PERMEABLE PAVING
- FOREST CONSERVATION EASEMENT
- LIMIT OF DISTURBANCE
- PRIVATE STORM DRAIN AND MAINTENANCE EASEMENT
- EXISTING FILL
- PROPOSED FILL
- PROPOSED EMBANKMENT

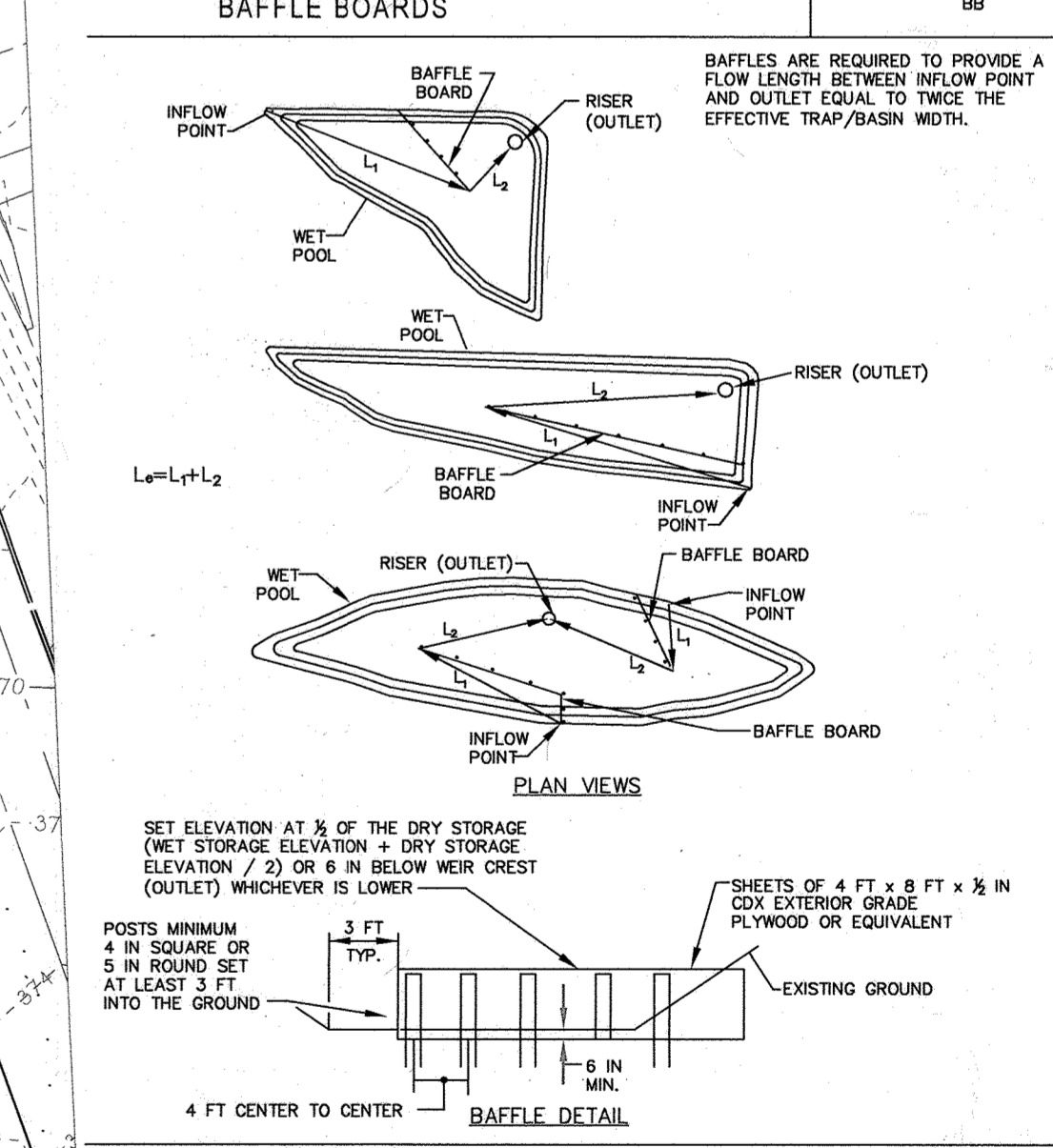


DETAIL G-1-2 STONE/RIPRAP OUTLET SEDIMENT TRAP ST-II



- CONSTRUCTION SPECIFICATIONS
1. CONSTRUCT TRAP IN SUCH A MANNER THAT EROSION AND WATER POLLUTION ARE AVOIDED.
 2. CLEAR, GRUB, AND STRIP ANY VEGETATION AND ROOT MAT FROM THE AREA UNDER THE EMBANKMENT AND TRAP BOTTOM.
 3. USE FILL MATERIAL FREE OF ROOTS, WOODY VEGETATION, OVERSIZED STONES, ROCKS, ORGANIC MATERIAL, OR OTHER OBJECTIONABLE MATERIAL FOR THE EMBANKMENT.
 4. CONSTRUCT TOP OF EMBANKMENT 1 FOOT MINIMUM ABOVE WEIR CREST. COMPACT THE EMBANKMENT BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED.
 5. MAKE ALL CUT AND FILL SLOPES 2:1 OR FLATTER.
 6. PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS, OVER THE BOTTOM AND SIDES OF OUTLET AND APRON PRIOR TO PLACEMENT OF RIPRAP. OVERLAP SECTIONS OF GEOTEXTILE AT LEAST 6 INCHES INTO EXISTING GROUND AT ENTRANCE OF OUTLET CHANNEL.
 7. USE CLEAN 4 TO 7 INCH RIPRAP TO CONSTRUCT THE WEIR. USE CLASS 1 RIPRAP FOR THE APRON. USE OF RECYCLED CONCRETE EQUIVALENT IS ACCEPTABLE.
 8. PLACE 1 FOOT OF CLEAN 3/4 TO 1 1/2 INCH STONE OR EQUIVALENT RECYCLED CONCRETE ON THE UPSTREAM FACE OF THE WEIR.
 9. CONSTRUCT AND MAINTAIN THE OUTLET ACCORDING TO APPROVED PLAN, AND IN SUCH A MANNER THAT EROSION AT OR BELOW THE OUTLET DOES NOT OCCUR.
 10. STABILIZE THE EMBANKMENT AND INTERIOR SLOPES WITH SEED AND MULCH. STABILIZE POINTS OF CONCENTRATED INFLOW AS SHOWN ON APPROVED PLAN.
 11. REMOVE SEDIMENT AND RESTORE TRAP TO ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO CLEANOUT ELEVATION (50% OF WET STORAGE DEPTH). DEPOSIT REMOVED SEDIMENT IN AN APPROVED AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE. KEEP POINTS OF INFLOW AND OUTFLOW AS WELL AS INTERIOR OF THE TRAP FREE FROM EROSION, AND REMOVE ACCUMULATED DEBRIS. MAINTAIN EMBANKMENTS TO CONTINUOUSLY MEET REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION. REMOVE ANY TREES, BRUSH, OR OTHER WOODY VEGETATION GROWING ON EMBANKMENT OR NEAR PRINCIPAL SPILLWAY. MAINTAIN LINE, GRADE, AND CROSS SECTION.
 12. WHEN DEWATERING TRAP, PASS REMOVED WATER THROUGH AN APPROVED SEDIMENT CONTROL PRACTICE.
 13. UPON REMOVAL, GRADE AND STABILIZE THE AREA OCCUPIED BY TRAP.

DETAIL G-2-4 BAFFLE BOARDS



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS

DATE	DESCRIPTION
12/21/21	ADD SHEET 28
5/26/19	REVIEWED SHEET NUMBER TO REFLECT ADDED SHEET
3/12/18	REVIEWED TITLE BLOCK
7/16/18	REVIEWED TITLE BLOCK TO REFLECT SHOPPING CENTER
7/16/18	REVIEWED TITLE BLOCK TO REFLECT COMMERCIAL BUILDING
7/20/18	REVIEWED PLAT INFORMATION TO REFLECT PROPERTY LOCATIONS FOR LOTS 102-104, 101, 100, 99, 98, 97, 96, 95, 94, 93, 92, 91, 90, 89, 88, 87, 86, 85, 84, 83, 82, 81, 80, 79, 78, 77, 76, 75, 74, 73, 72, 71, 70, 69, 68, 67, 66, 65, 64, 63, 62, 61, 60, 59, 58, 57, 56, 55, 54, 53, 52, 51, 50, 49, 48, 47, 46, 45, 44, 43, 42, 41, 40, 39, 38, 37, 36, 35, 34, 33, 32, 31, 30, 29, 28, 27, 26, 25, 24, 23, 22, 21, 20, 19, 18, 17, 16, 15, 14, 13, 12, 11, 10, 9, 8, 7, 6, 5, 4, 3, 2, 1

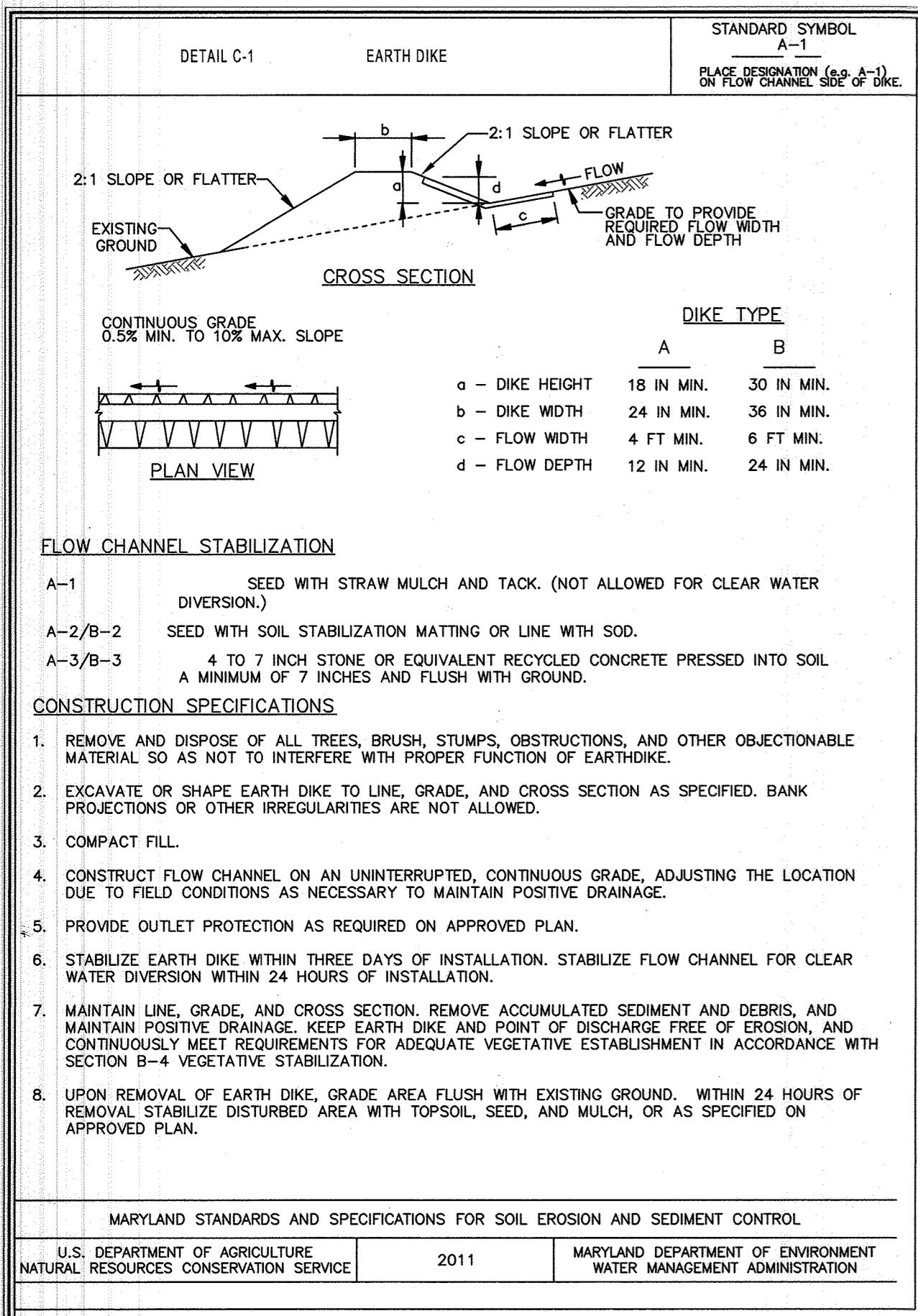
AS-BUILT CERTIFICATION FOR SURVEY
 SURVEYOR CERTIFICATE
 I certify that this plan for... represents a practical and workable plan based on my personal...
 Signature of Surveyor: FRANK J. MANALANSAN III 7-24-14
 Signature of Developer: 7/24/14

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Director - Department of Planning and Zoning
 Chief, Division of Land Development
 Date: 7-24-14
 Date: 7/24/14

APPROVED: DEPARTMENT OF PLANNING AND ZONING						
PLAT NOS. 22895-22914	PARCEL NOS. 852, 847	ZONE MKD-6	TAX MAP 24	ELEC. DIST. 2nd	CENSUS TR. 6029	SECTION/AREA LOT NOS. 40 THRU 140

SEDIMENT & EROSION CONTROL PLAN
 ELICOTT CROSSING
 PART TWO
 LOTS 82 THRU 104, OPEN SPACE LOTS 101 THRU 104 & PARCEL 'K'
 SINGLE FAMILY ATTACHED HOUSING, BUILDING AND GAZEBO
 TAX MAP NO. 24 GRID NOS. 6, 1 PARCEL NOS. 852, 847
 2nd ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1" = 50'
 DATE: JULY 24, 2014
 SHEET 6 OF 28 SDP-13-004

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET



FLOW CHANNEL STABILIZATION

A-1 SEED WITH STRAW MULCH AND TACK. (NOT ALLOWED FOR CLEAR WATER DIVERSION.)

A-2/B-2 SEED WITH SOIL STABILIZATION MATTING OR LINE WITH SOD.

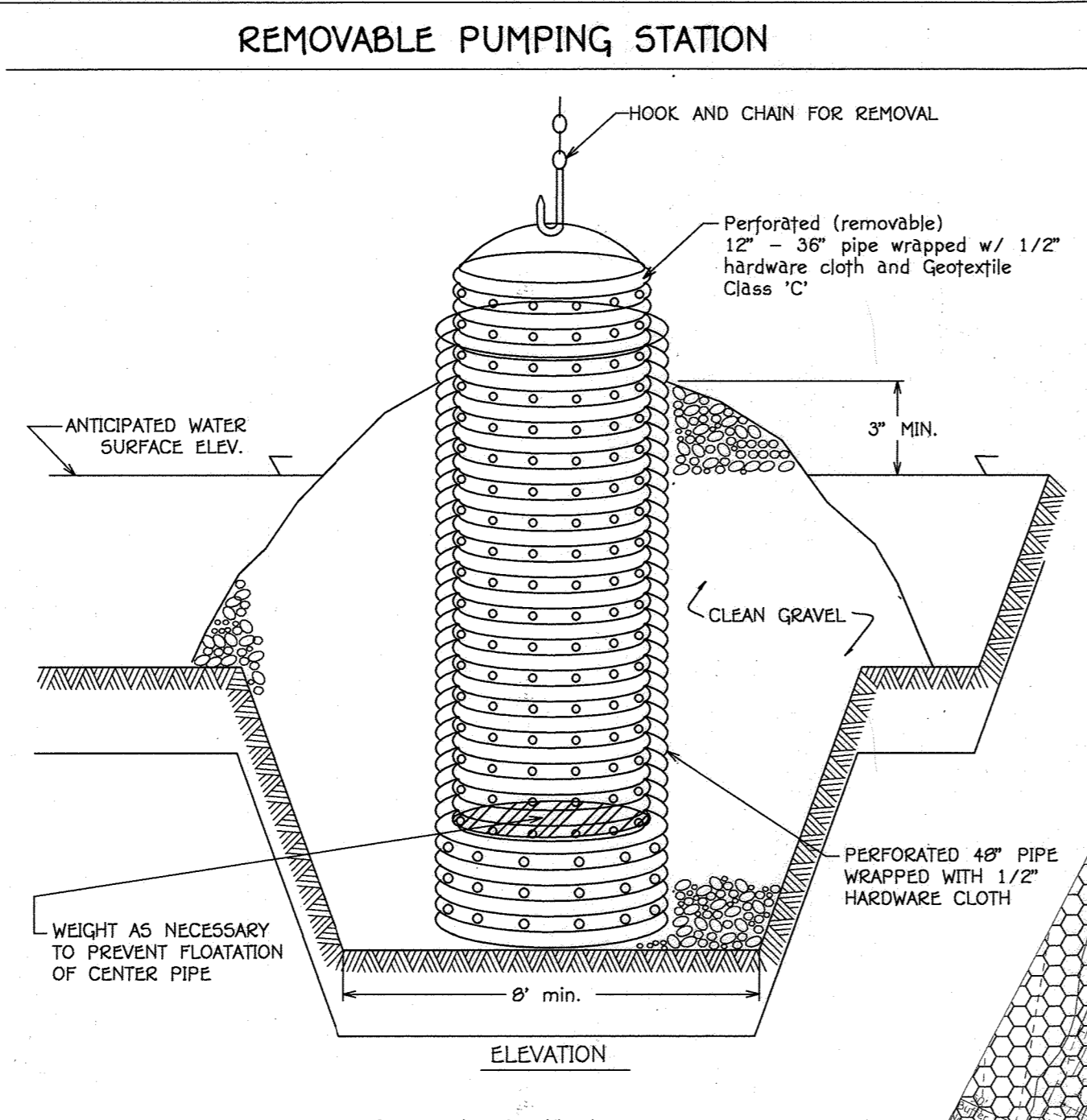
A-3/B-3 4 TO 7 INCH STONE OR EQUIVALENT RECYCLED CONCRETE PRESSED INTO SOIL A MINIMUM OF 7 INCHES AND FLUSH WITH GROUND.

CONSTRUCTION SPECIFICATIONS

- REMOVE AND DISPOSE OF ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBJECTIONABLE MATERIAL SO AS NOT TO INTERFERE WITH PROPER FUNCTION OF EARTHDIKE.
- EXCAVATE OR SHAPE EARTH DIKE TO LINE, GRADE, AND CROSS SECTION AS SPECIFIED. BANK PROJECTIONS OR OTHER IRREGULARITIES ARE NOT ALLOWED.
- COMPACT FILL.
- CONSTRUCT FLOW CHANNEL ON AN UNINTERRUPTED, CONTINUOUS GRADE, ADJUSTING THE LOCATION DUE TO FIELD CONDITIONS AS NECESSARY TO MAINTAIN POSITIVE DRAINAGE.
- PROVIDE OUTLET PROTECTION AS REQUIRED ON APPROVED PLAN.
- STABILIZE EARTH DIKE WITHIN THREE DAYS OF INSTALLATION. STABILIZE FLOW CHANNEL FOR CLEAR WATER DIVERSION WITHIN 24 HOURS OF INSTALLATION.
- MAINTAIN LINE, GRADE, AND CROSS SECTION. REMOVE ACCUMULATED SEDIMENT AND DEBRIS, AND MAINTAIN POSITIVE DRAINAGE. KEEP EARTH DIKE AND POINT OF DISCHARGE FREE OF EROSION, AND CONTINUOUSLY MEET REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION.
- UPON REMOVAL OF EARTH DIKE, GRADE AREA FLUSH WITH EXISTING GROUND. WITHIN 24 HOURS OF REMOVAL STABILIZE DISTURBED AREA WITH TOPSOIL, SEED, AND MULCH, OR AS SPECIFIED ON APPROVED PLAN.

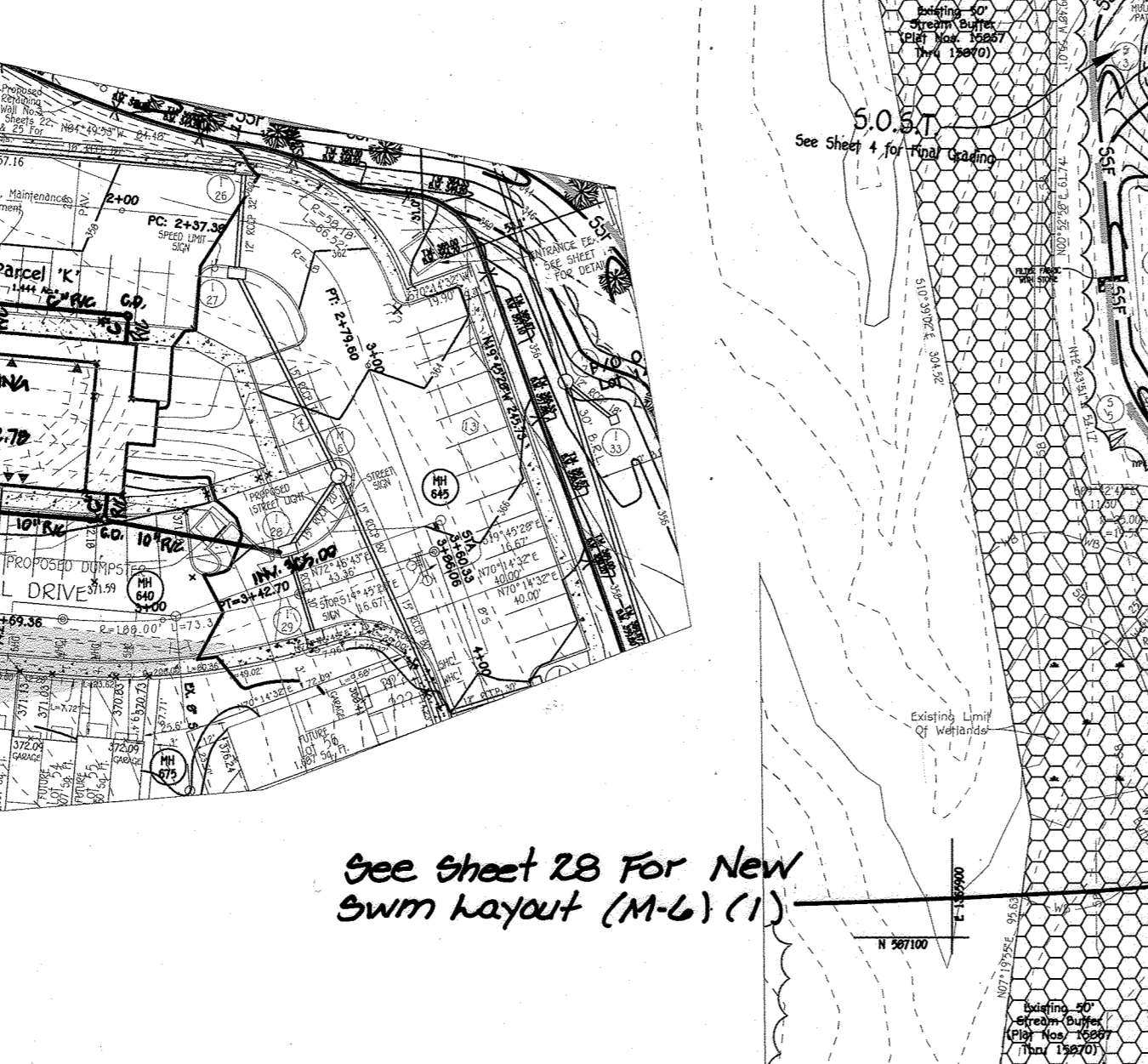
MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



- Construction Specifications**
- The outer pipe should be 48" dia. or shall, in any case, be at least 4" greater in diameter than the center pipe. The outer pipe shall be wrapped with 1/2" hardware cloth to prevent backfill material from entering the perforations.
 - After installing the outer pipe, backfill around outer pipe with 2" aggregate or clean gravel.
 - The inside stand pipe (center pipe) should be constructed by perforating a corrugated or PVC pipe between 12" and 36" in diameter. The perforations shall be 1/2" X 6" slots or 1" diameter holes 6" on center. The center pipe shall be wrapped with 1/2" hardware cloth first, then wrapped again with Geotextile Class C.
 - The center pipe should extend 12" to 18" above the anticipated water surface elevation or riser crest elevation when dewatering a basin.

See sheet 28 For New Swm Layout (M-6) (12)



APPROVED PLANNING BOARD OF HOWARD COUNTY

DATE 4-15-13

Scale: 1" = 50'

AS-BUILT CERTIFICATION FOR PSWM

Note: There is no "AS-BUILT" information provided.

SURVEYOR'S CERTIFICATE

"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal observations and conditions and that it was prepared in accordance with the requirements of the Howard County Soil Conservation District."

Signature of Surveyor: *Frank John...* Date: 7-28-14

BUILDER/DEVELOPER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard County Soil Conservation District."

Signature of Developer: *John R....* Date: 7/24/14



This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Director - Department of Planning and Zoning: *Diana...* Date: 8-8-14

Chief, Division of Land Development: *W. S....* Date: 8/26/14

Chief, Development Engineering Division: *...* Date: 8/4/14

OWNER: John R. ... 7/24/14

DEVELOPER: M & T DEVELOPERS, LLC 4515 MANOR LANE ELLICOTT CITY, MD 21042 443-367-0422

LEGEND

[Symbol]	EXISTING PAVING
[Symbol]	PAVING BASED ON SDP-03-026
[Symbol]	PROPOSED PAVING
[Symbol]	16'X36' 5-UNIT SINGLE FAMILY ATTACHED WITHOUT GARAGE
[Symbol]	16'X36' 6-UNIT SINGLE FAMILY ATTACHED WITHOUT GARAGE
[Symbol]	16'X36' 7-UNIT SINGLE FAMILY ATTACHED WITHOUT GARAGE
[Symbol]	20'X32' 6-UNIT SINGLE FAMILY ATTACHED WITH ONE CAR GARAGE
[Symbol]	20'X36' 6-UNIT SINGLE FAMILY ATTACHED WITH ONE CAR GARAGE
[Symbol]	20'X36' 7-UNIT SINGLE FAMILY ATTACHED WITH ONE CAR GARAGE
[Symbol]	20'X42' 3-UNIT SINGLE FAMILY ATTACHED WITH ONE CAR GARAGE
[Symbol]	20'X42' 5-UNIT SINGLE FAMILY ATTACHED WITH ONE CAR GARAGE
[Symbol]	20'X42' 6-UNIT SINGLE FAMILY ATTACHED WITH ONE CAR GARAGE
[Symbol]	COMMERCIAL BUILDING
[Symbol]	COMMERCIAL AREA
[Symbol]	EXISTING DRAINAGE, SEWER, AT&T EASEMENTS PLAT NOS. 15867 THRU 15870
[Symbol]	EXISTING WETLANDS PLAT NOS. 15867 THRU 15870
[Symbol]	EXISTING FLOODPLAIN PLAT NOS. 15867 THRU 15870
[Symbol]	EXISTING CONTOUR
[Symbol]	EXISTING TREELINE
[Symbol]	EXISTING STREAM
[Symbol]	5' WIDE MULCH PATH
[Symbol]	RECREATION OPEN SPACE AREAS
[Symbol]	EXISTING EASEMENT
[Symbol]	PROPOSED EASEMENT
[Symbol]	SLOPES 15% TO 24.99%
[Symbol]	SLOPES 25% OR GREATER
[Symbol]	PERMEABLE PAVING
[Symbol]	FOREST CONSERVATION EASEMENT
[Symbol]	LIMIT OF DISTURBANCE
[Symbol]	PRIVATE STORM DRAIN AND MAINTENANCE EASEMENT

B-4-8 STANDARDS AND SPECIFICATIONS FOR STOCKPILE AREA

Definition:
A mound or pile of soil protected by appropriately designed erosion and sediment control measures.

Purpose:
To provide a designated location for the temporary storage of soil that controls the potential for erosion, sedimentation, and changes to drainage patterns.

Conditions Where Practice Applies:
Stockpile areas are utilized when it is necessary to salvage and store soil for later use.

Criteria:

- The stockpile location and all related sediment control practices must be clearly indicated on the erosion and sediment control plan.
- The footprint of the stockpile must be sized to accommodate the anticipated volume of material and based on a side slope ratio no steeper than 2:1. Benching must be provided in accordance with Section B-3 Land Grading.
- Runoff from the stockpile area must drain to a suitable sediment control practice.
- Access the stockpile area from the upgrade side.
- Clear water runoff into the stockpile area must be minimized by use of a diversion device such as an earth dike, temporary wall or diversion fence. Provisions must be made for discharging concentrated flow in a non-erosive manner.
- Where runoff concentrates along the toe of the stockpile fill, an appropriate erosion/sediment control practice must be used to intercept the discharge.
- Stockpiles must be stabilized in accordance with the 3/7 day stabilization requirement as well as Standard B-4-1 Incremental Stabilization and Standard B-4-4 Temporary Stabilization.
- If the stockpile is located on an impervious surface, a liner should be provided below the stockpile to facilitate cleanup. Stockpiles containing contaminated material must be covered with impermeable sheeting.

Maintenance:
The stockpile area must continuously meet the requirements for Adequate Vegetative Establishment in accordance with Section B-4 Vegetative Stabilization. Side slopes must be maintained at no steeper than a 2:1 ratio. The stockpile area must be kept free of erosion. If the vertical height of a stockpile exceeds 20 feet for 2:1 slopes, 30 feet for 3:1 slopes, or 40 feet for 4:1 slopes, benching must be provided in accordance with Section B-3 Land Grading.

SEDIMENT & EROSION CONTROL PLAN

ELLICOTT CROSSING PART TWO

LOTS 141 THRU 140, OPEN SPACE LOTS 141 THRU 144 & PARCEL 'K'

SINGLE FAMILY ATTACHED HOUSING, TWO STORY SHOPPING CENTER BUILDING AND GAZEBO

TAX MAP No.: 24 GRID Nos.: 6, 1 PARCEL Nos.: 052, 047

2nd ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SCALE: 1" = 50' DATE: JULY 24, 2014

SHEET 7 OF 28 SDP-13-004

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

20.0 STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION

TEMPORARY SEEDING NOTES (B-4-A)

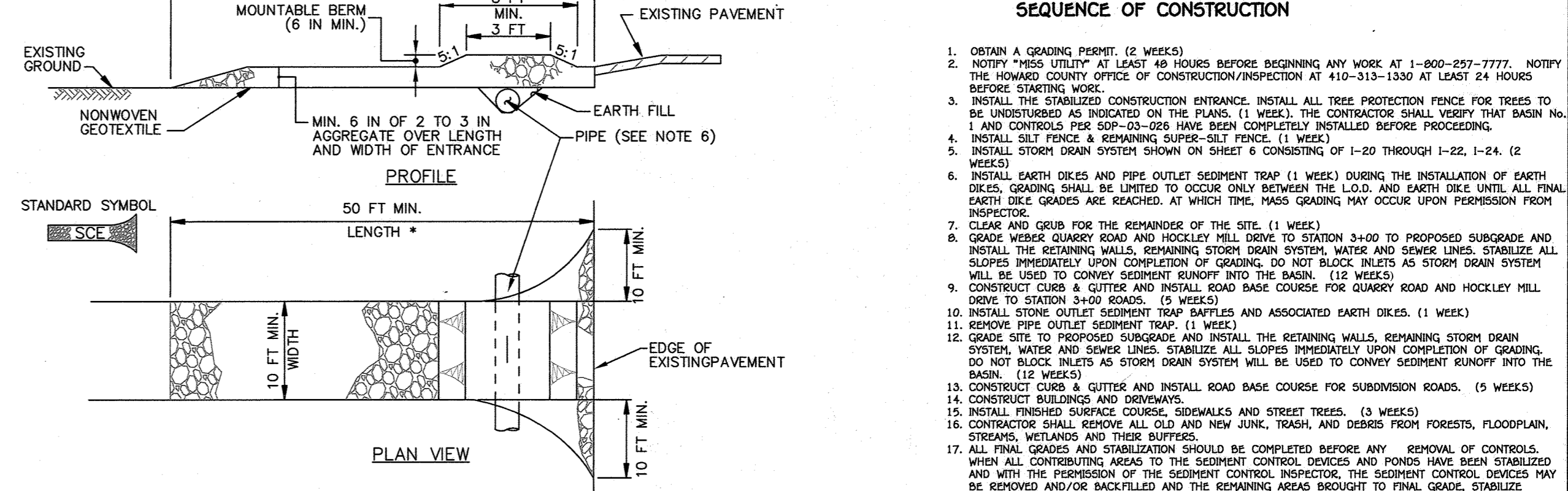
STANDARDS AND SPECIFICATIONS FOR TOPSOIL

SEQUENCE OF CONSTRUCTION

Using vegetation as cover for barren soil to protect it from forces that cause erosion. Purpose: To stabilize disturbed soils with vegetation for up to 6 months.

Definition: To stabilize disturbed soils with vegetation for up to 6 months. Purpose: To use fast growing vegetation that provides cover on disturbed soils.

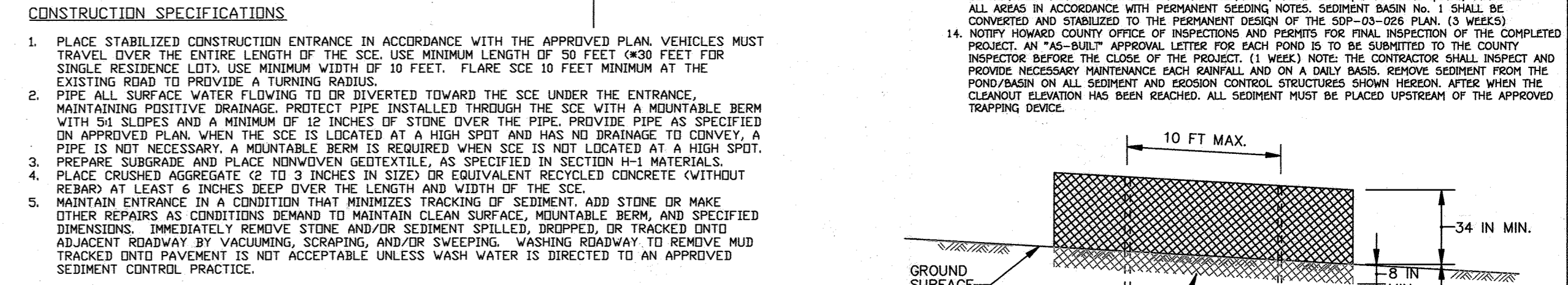
Definition: Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation. Purpose: To provide a suitable soil medium for vegetative growth.



Vegetative stabilization specifications are used to promote the establishment of vegetation on exposed soil. When soil is stabilized with vegetation, the soil is less likely to erode...

Conditions Where Practice Applies: This practice shall be used on denuded areas as specified on the plans and may be used on highly erodible or critically eroding areas.

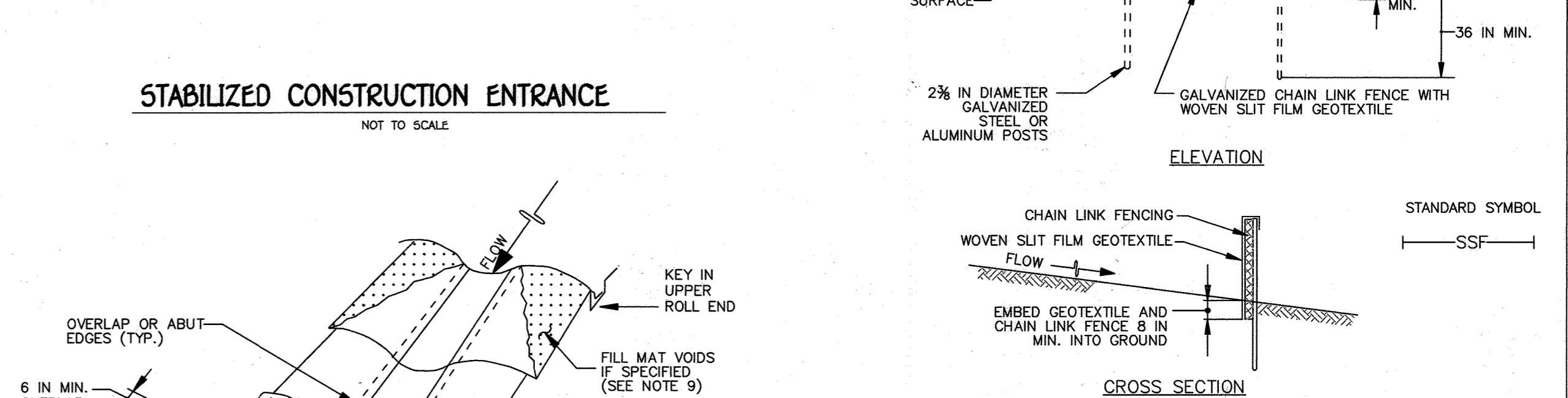
Conditions Where Practice Applies: To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.



SECTION 1 - VEGETATIVE STABILIZATION METHODS AND MATERIALS: 1.1. Install erosion and sediment control structures (either temporary or permanent) such as diversions, grade stabilization structures, berms, waterways, or sediment control basins.

Table with 4 columns: Species, Application Rate (lb/ac), Seeding Dates, Seeding Depth, Fertilizer Rate (lb/2000 sq ft), and Lime Rate (tons/acre).

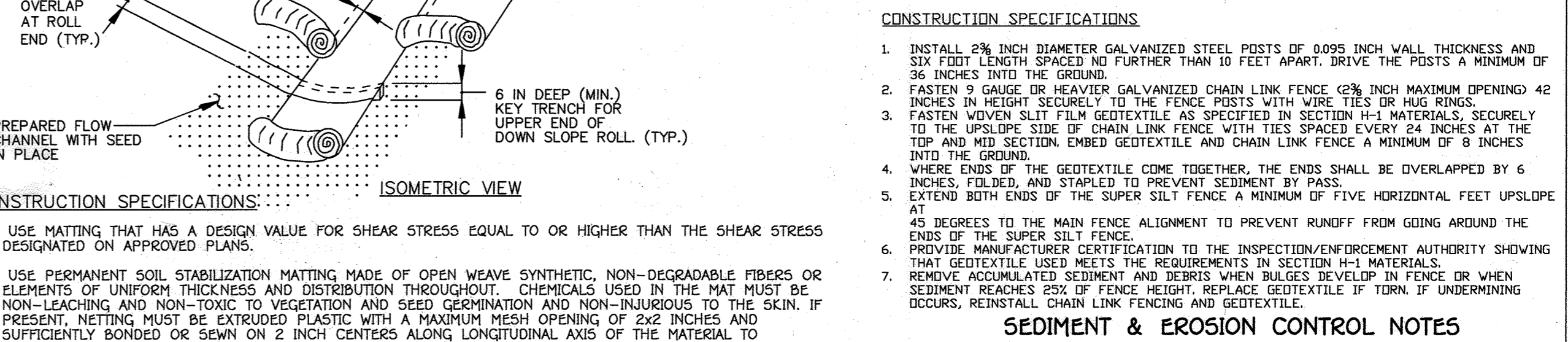
Construction and Material Specifications: 1. Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications.



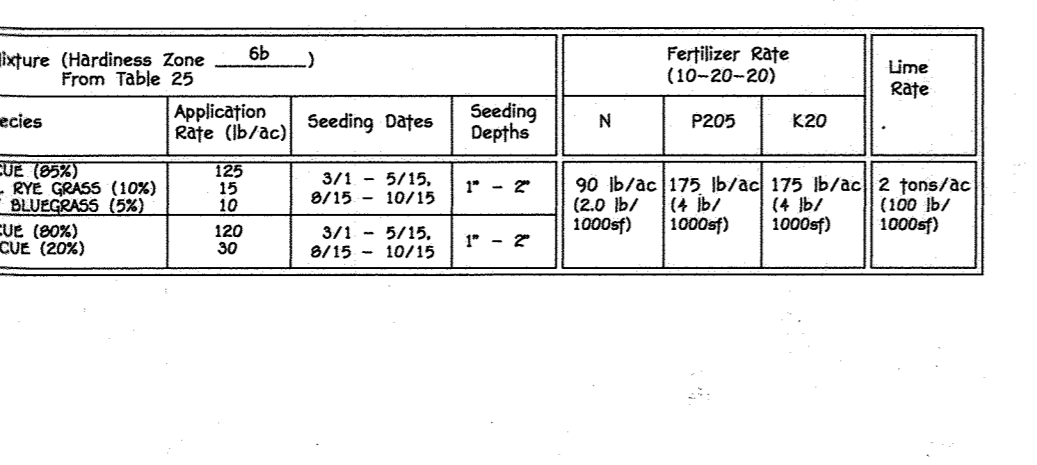
SECTION 2 - PERMANENT SEEDING: 2.1. Seedlings shall be established on a minimum of one year on disturbed areas generally receiving low maintenance.

Seed Mixture (Hardness Zone 6b): Table with 4 columns: Species, Application Rate, Seeding Dates, and Seeding Depth.

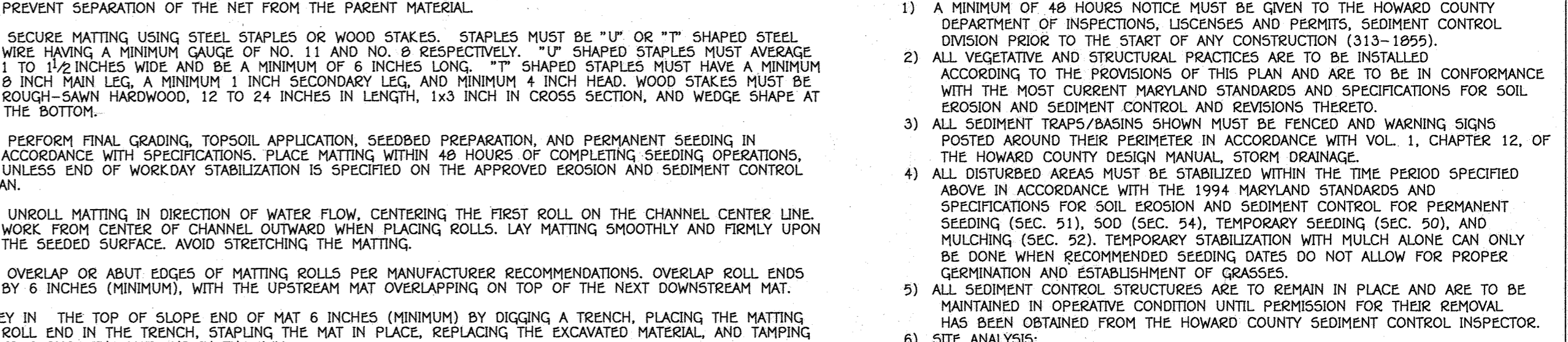
Topsoil Application: 1. When topsoiling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.



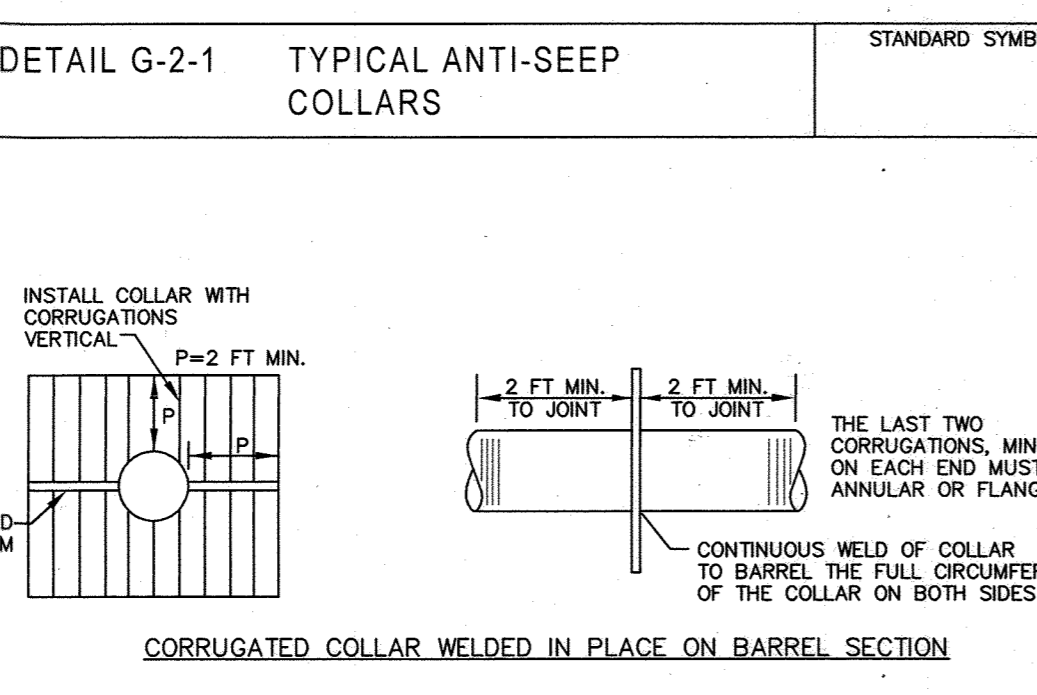
Method of Application: 1. Hydroseeding: Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer).



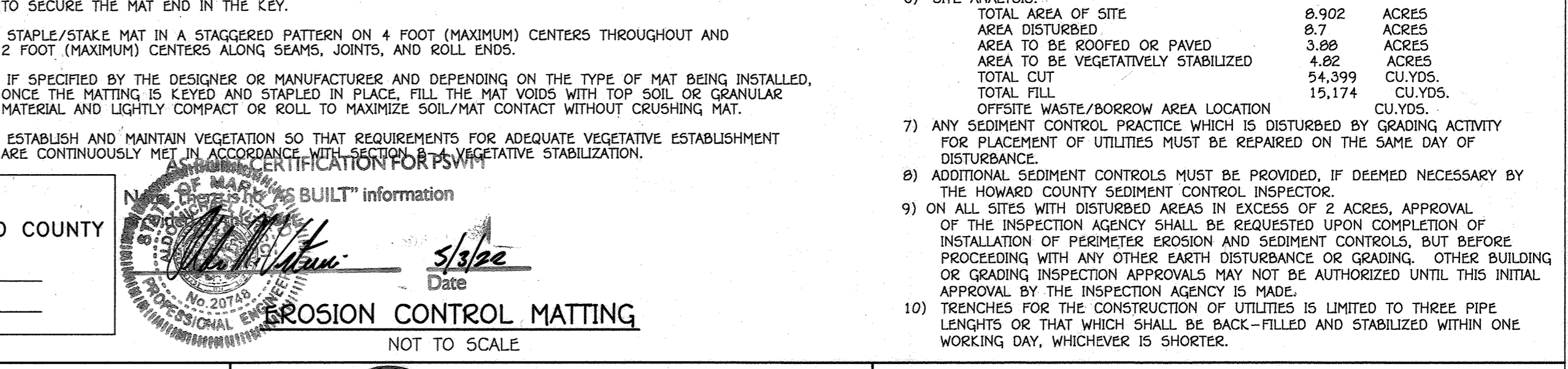
Standard Stabilization Note: Following initial soil disturbance or re-disturbance, permanent or temporary stabilization must be completed within:



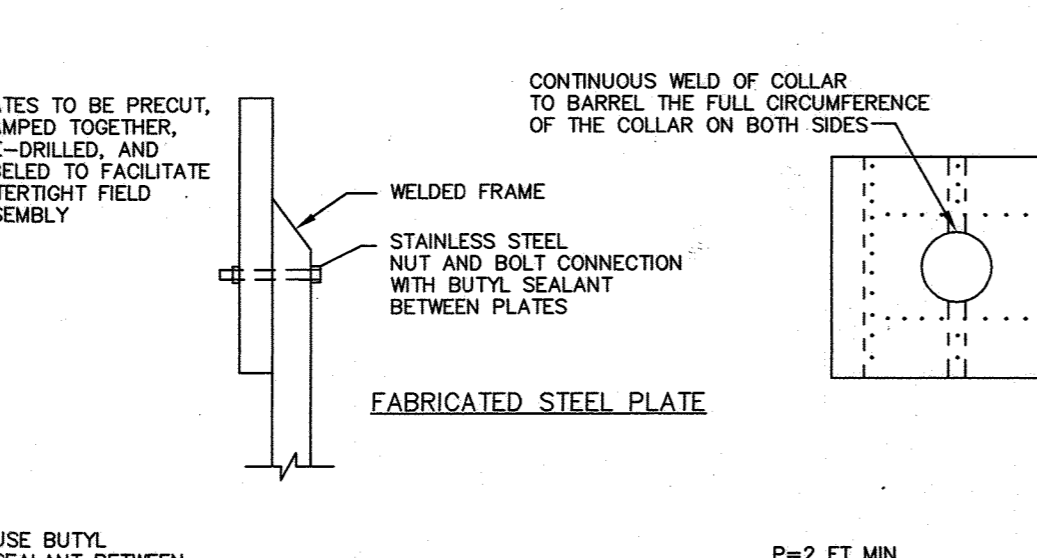
Method of Application: 2. Mating: Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer).



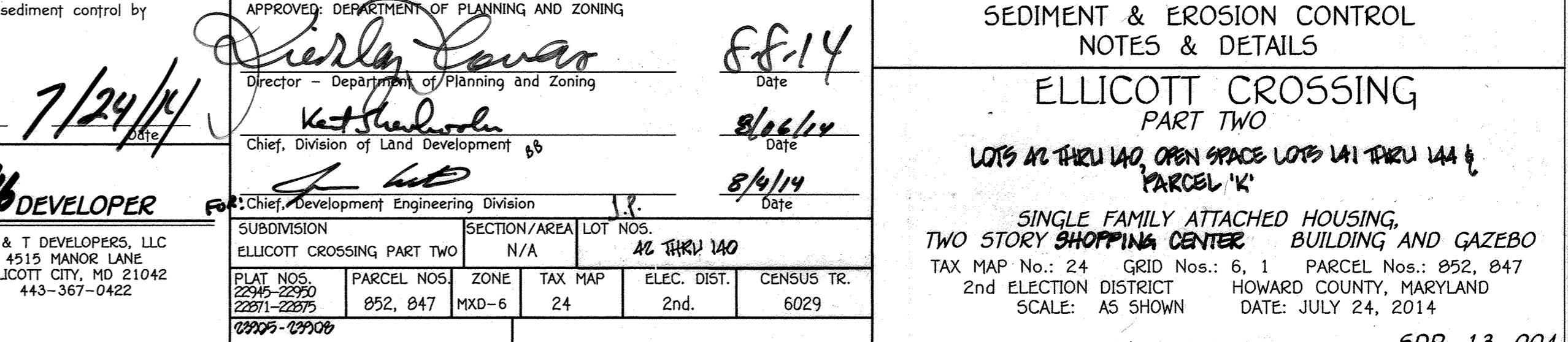
Standard Stabilization Note: Following initial soil disturbance or re-disturbance, permanent or temporary stabilization must be completed within:



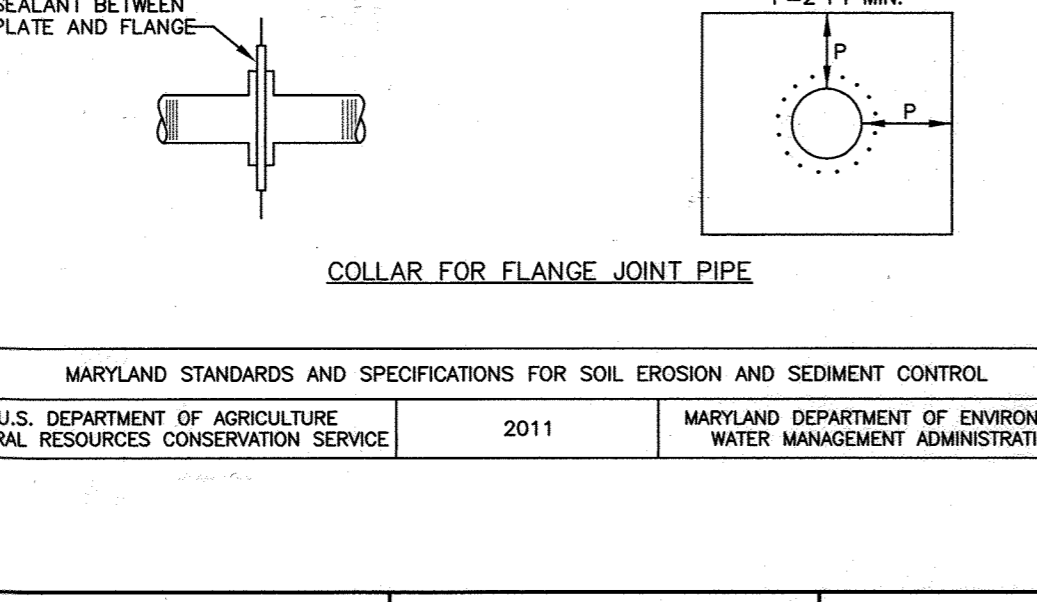
Method of Application: 3. Mating: Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer).



Standard Stabilization Note: Following initial soil disturbance or re-disturbance, permanent or temporary stabilization must be completed within:



Method of Application: 4. Mating: Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer).



Standard Stabilization Note: Following initial soil disturbance or re-disturbance, permanent or temporary stabilization must be completed within:

Table with 2 columns: Date and Description. Includes entries for 'Add Sheet 2B', 'Remove Street Number to Reflect Approved Street', etc.

Table with 2 columns: Date and Description. Includes entries for 'Remove Title Block', 'Remove Title Block to Reflect Shopping Center', etc.

Builder/Developer's Certificate: I certify that this plan represents a practical and workable plan based on the conditions and that it was prepared in accordance with the requirements of the Howard County Soil Conservation District.

Owner's Certificate: I certify that all development and construction will be done according to this plan and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program...

Approval: Department of Planning and Zoning. Director: Department of Planning and Zoning. Chief, Division of Land Development.

Sediment & Erosion Control Notes & Details: LOT 5 AC THRU 140, OPEN SPACE LOTS 141 THRU 144 & PARCEL 1K. SINGLE FAMILY ATTACHED HOUSING, BUILDING AND GAZEBO.



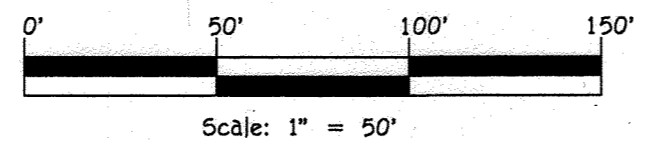
See sheet 28 For
New Swm Layout
Revised 12/21/21

SEE SHEET 27 FOR NEW STORMWATER
MANAGEMENT LAYOUT

See sheet 28 For
New Swm Layout
Revised 12/21/21

DRAINAGE AREA DATA					
STRUCTURE NO.	AREA	"C"	ZONED	% IMP.	
I-20	0.17 AC.	0.95	POR/MXD-6	100%	
I-21	0.07 AC.	0.57	POR/MXD-6	45%	
I-22	0.02 AC.	0.92	POR/MXD-6	95%	
I-23	0.04 AC.	0.92	POR/MXD-6	95%	
I-24	0.16 AC.	0.95	POR/MXD-6	100%	
I-25	0.32 AC.	0.94	POR/MXD-6	98%	
I-26	0.15 AC.	0.95	POR/MXD-6	100%	
I-27	0.15 AC.	0.87	POR/MXD-6	88%	
I-28	0.32 AC.	0.89	POR/MXD-6	92%	
I-29	0.44 AC.	0.91	POR/MXD-6	94%	
I-30	0.26 AC.	0.92	POR/MXD-6	95%	
I-31	0.09 AC.	0.94	POR/MXD-6	98%	
I-31A	0.13 AC.	0.86	POR/MXD-6	95%	
I-32	0.13 AC.	0.86	POR/MXD-6	87%	
I-33	0.21 AC.	0.91	POR/MXD-6	94%	
I-34	0.11 AC.	0.44	POR/MXD-6	28%	
I-35	0.07 AC.	0.81	POR/MXD-6	80%	
I-36	0.10 AC.	0.46	POR/MXD-6	30%	
I-37	0.23 AC.	0.89	POR/MXD-6	92%	
I-38	0.05 AC.	0.61	POR/MXD-6	52%	
I-39	0.05 AC.	0.25	POR/MXD-6	0%	
I-40	0.12 AC.	0.95	POR/MXD-6	100%	
I-41	0.02 AC.	0.25	POR/MXD-6	0%	
I-42	0.27 AC.	0.92	POR/MXD-6	95%	
I-43	0.21 AC.	0.87	POR/MXD-6	80%	
I-44	0.03 AC.	0.25	POR/MXD-6	0%	
FT-18	I-45	0.19 AC.	0.95	POR/MXD-6	100%
I-46	0.04 AC.	0.88	POR/MXD-6	90%	
I-47	0.08 AC.	0.92	POR/MXD-6	95%	
I-48	0.06 AC.	0.92	POR/MXD-6	96%	
I-49	0.17 AC.	0.25	POR/MXD-6	0%	
I-50	0.09 AC.	0.90	POR/MXD-6	93%	
I-51	0.34 AC.	0.64	POR/MXD-6	55%	
I-52	0.25 AC.	0.91	POR/MXD-6	94%	
I-53	0.25 AC.	0.71	POR/MXD-6	71%	
I-54	0.08 AC.	0.71	POR/MXD-6	65%	
I-55	0.12 AC.	0.92	POR/MXD-6	95%	
I-56	0.17 AC.	0.90	POR/MXD-6	90%	
I-57	0.27 AC.	0.92	POR/MXD-6	95%	
I-58	0.09 AC.	0.71	POR/MXD-6	65%	
I-59	0.23 AC.	0.80	POR/MXD-6	79%	
I-60	0.07 AC.	0.74	POR/MXD-6	70%	

NOTE: THIS SHEET IS FOR DRAINAGE
AREA PURPOSES ONLY.



AS-BUILT CERTIFICATION FOR PSWM
Note: There is no "AS-BUILT" information provided.
[Signature]
5/3/22
Date

APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE 4/15/13

REPLACEMENT SHEET

STORM DRAIN DRAINAGE AREA MAP

ELLCOTT CROSSING
PART TWO

LOTS 12 THRU 140, OPEN SPACE LOTS 141 THRU 144 & PARCEL 'K'
SINGLE FAMILY ATTACHED HOUSING, BUILDING AND GAZEBO
TWO STORY SHOPPING CENTER
TAX MAP No.: 24 GRID Nos.: 6, 1 PARCEL Nos.: 852, 847
2nd ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 50' DATE: AUGUST, 2014

SHEET 9 OF 28 SDP-13-004

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
(410) 481-2895

DATE	DESCRIPTION	REVISION BLOCK
12/21/21	Add Sheet 28 - Revise Bios 115 & 1125	
5/8/19	ADD FILTERRA & NOTE TO SEE SHEET 27	
10/30/16	REVISE LOTS BE THRU 86 FROM MOZART TO STRAWN	
9/16/16	REVISE TITLE BLOCK	
9/16/16	REVISE BUILDING USAGE FROM COMMERCIAL TO SHOPPING CENTER	
5/14/15	REVISE BUILDING USAGE FROM COMMERCIAL TO SHOPPING CENTER	
7/20/14	REVISE LOTS BE THRU 112 FROM MOZART TO STRAWN	

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THE INFORMATION CONTAINED HEREIN WAS PREPARED OR APPROVED BY ME AND THAT I AM A LICENSED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND. EXPIRES 2/14/25 EXPIRATION DATE: 7/11/15.
[Signature]
FRANK J. [Signature]
DATE 7/30/14

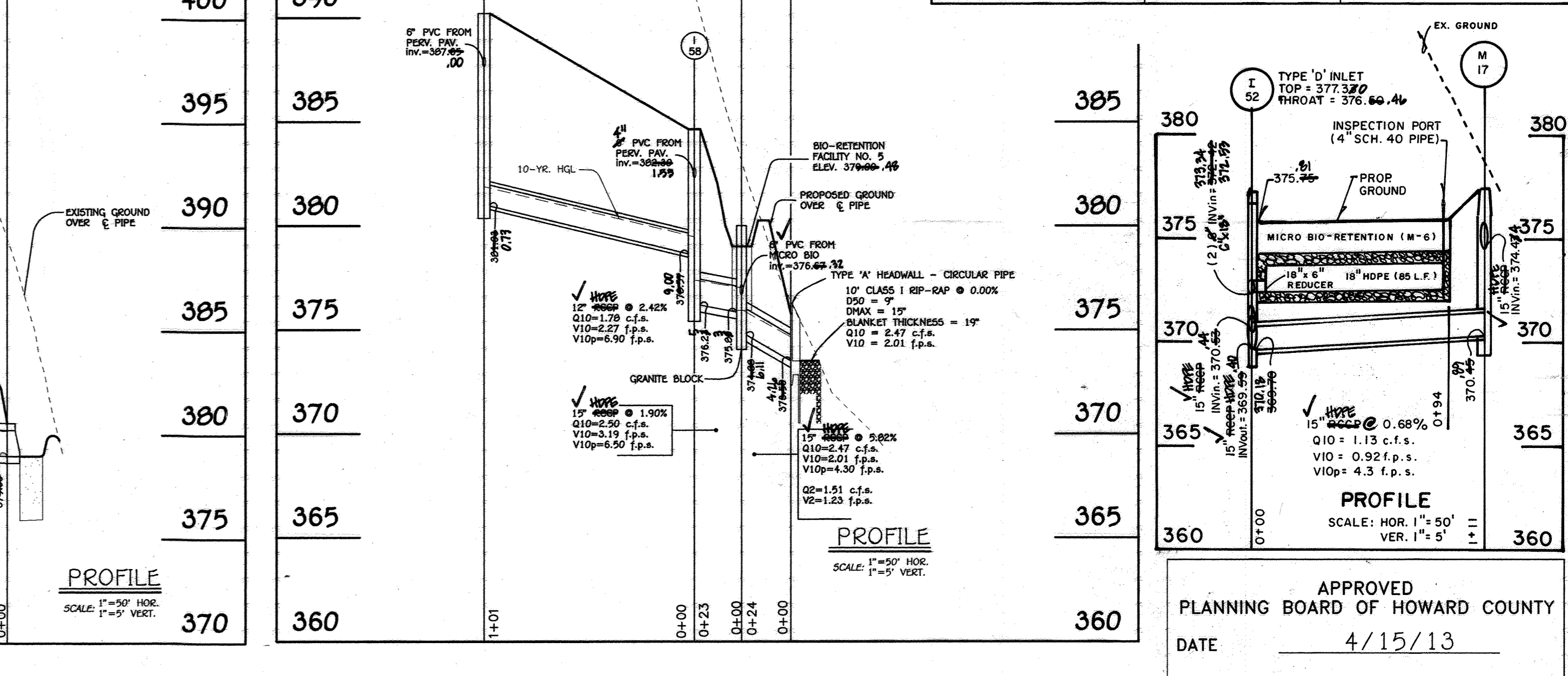
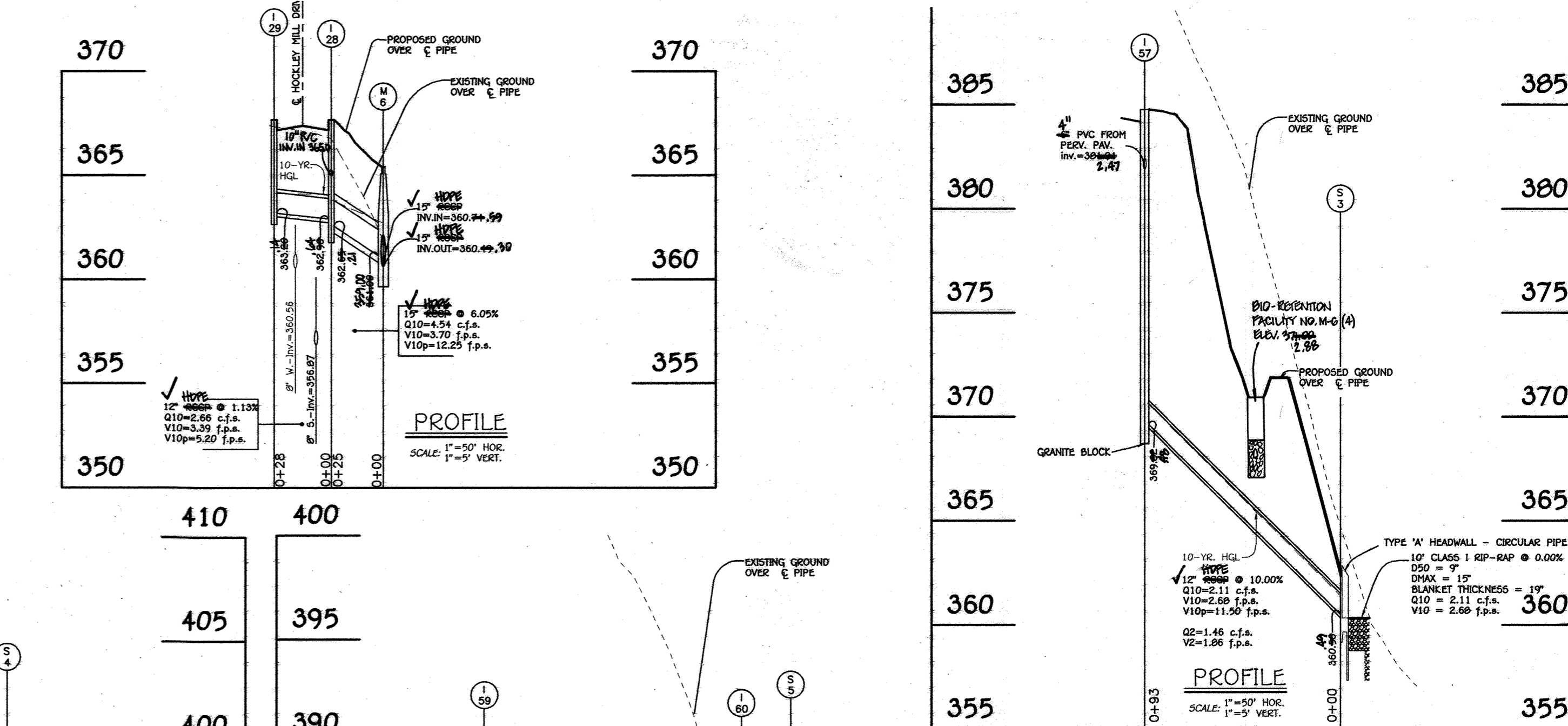
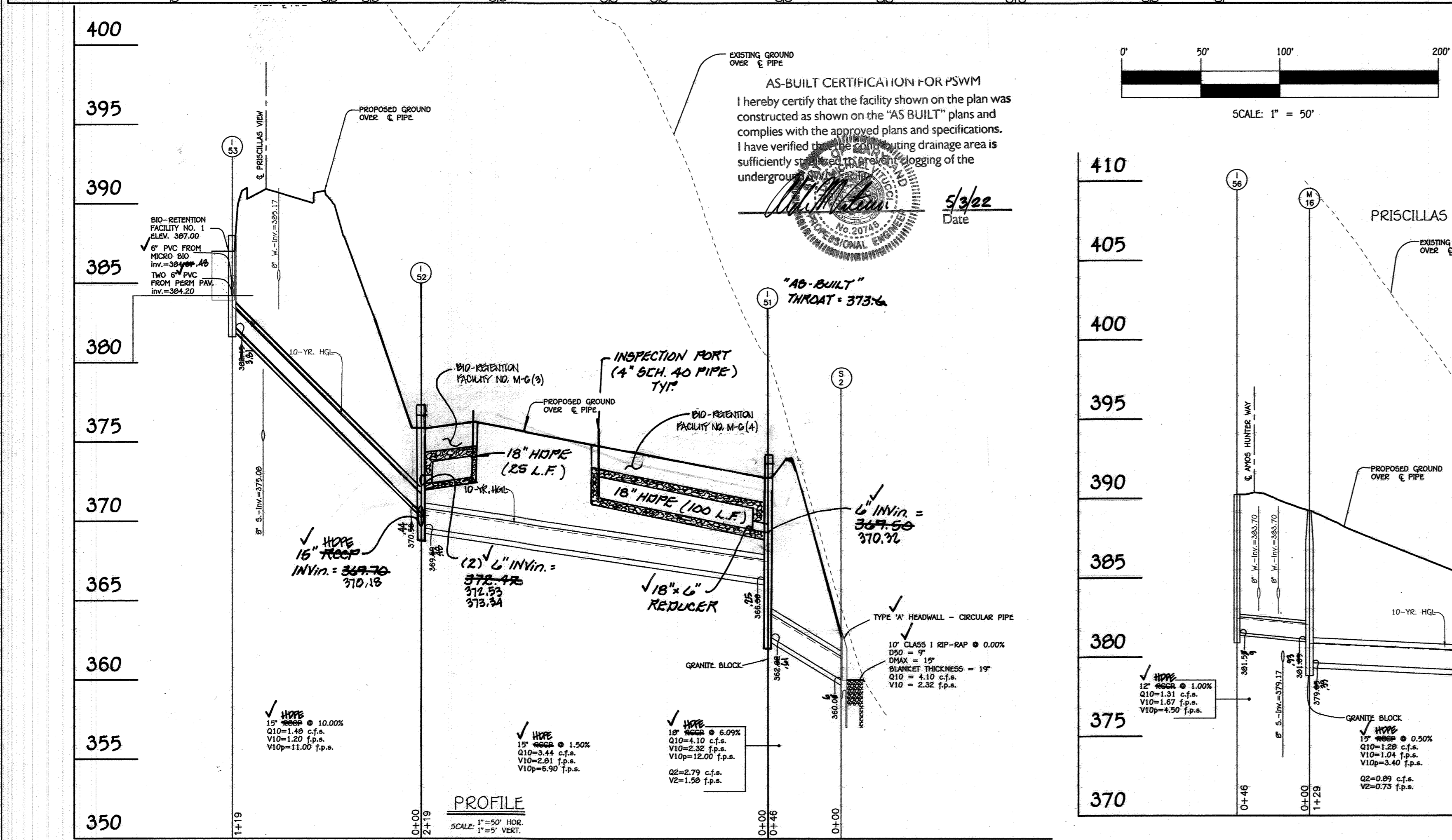
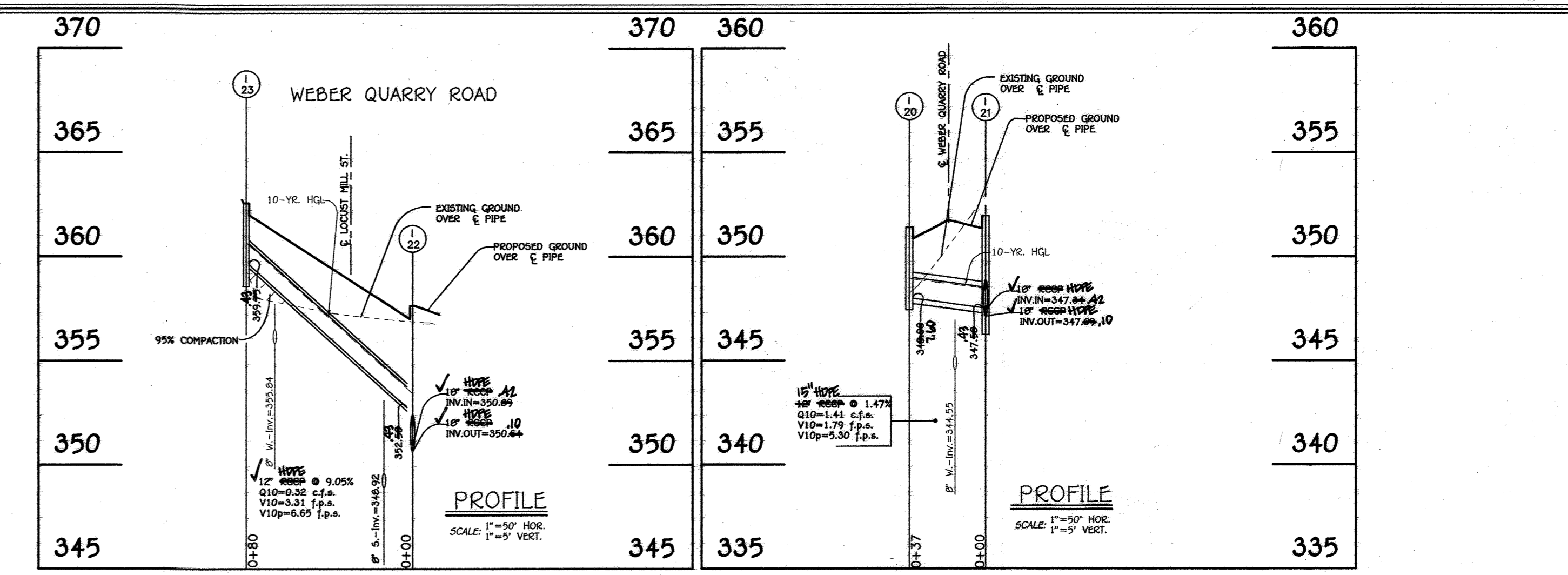
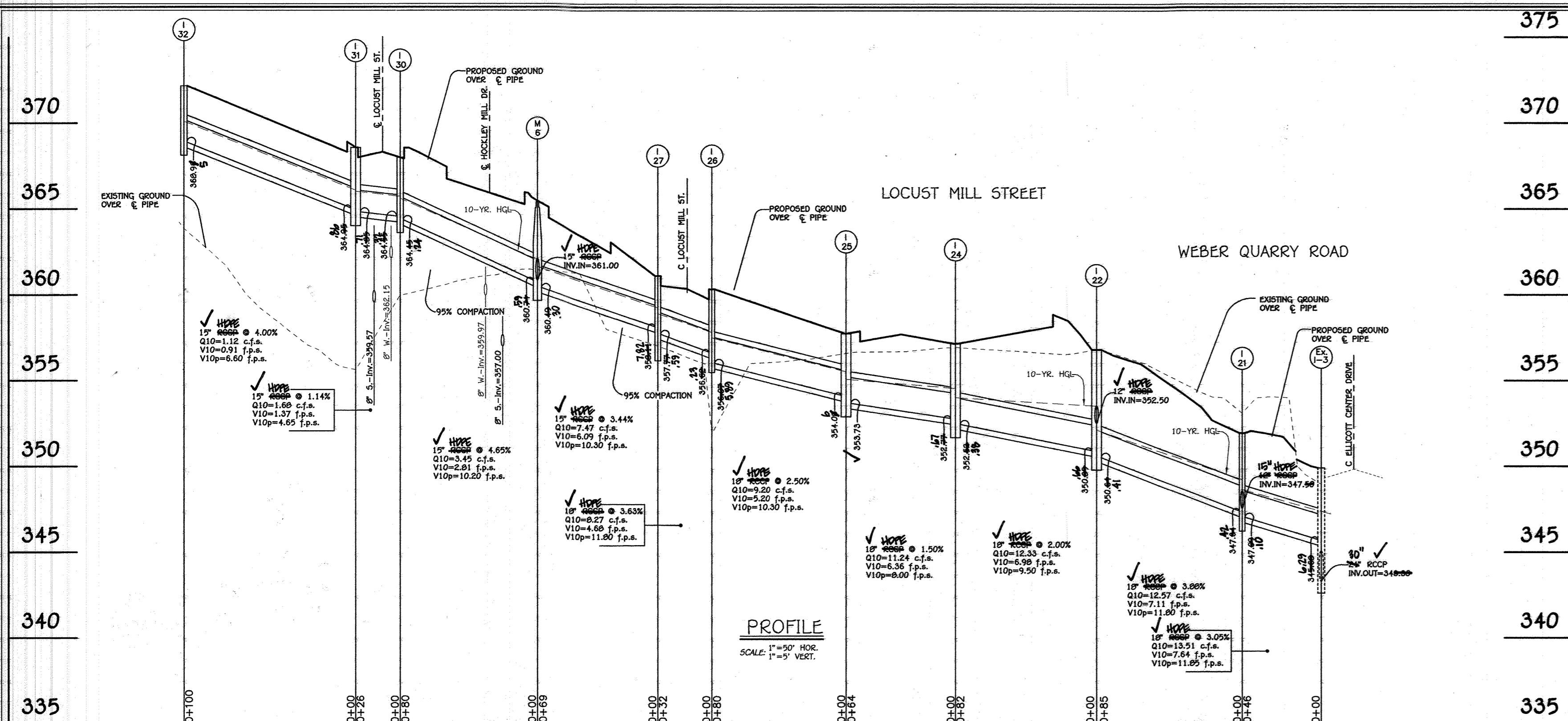
OWNERS
3330 ROGERS AVENUE LLC
SUITE 102
5300 DORSEY HALL DRIVE
ELLCOTT CITY, MD 21042
443-367-0422

DEVELOPER
M & T DEVELOPERS, LLC
4515 MANOR LANE
ELLCOTT CITY, MD 21042
443-367-0422

APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] 8/8/14
Director - Department of Planning and Zoning
[Signature] 8/10/14
Chief, Division of Land Development
[Signature] 8/4/14
Chief Development Engineering Division

SUBDIVISION	ELLCOTT CROSSING PART TWO	SECTION/AREA	N/A	LOT NOS.	46 THRU 140
PLAT NOS.	2281-2290	ZONE	MXD-6	TAX MAP	24
PARCEL NOS.	852, 847	ELEC. DIST.	2nd.	CENSUS TR.	6029

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET



12/21/21	Add sheet 28
5/8/19	REVISED STORM DRAIN PROFILES
7/16/16	REVISED TITLE BLOCK
7/16/15	REVISED TITLE BLOCK TO REFLECT SHOPPING CENTER
9/16/15	REVISED BIO-RETENTION FACILITY & STORM DRAIN PROFILES
9/16/15	REVISED TITLE BLOCK TO REFLECT COMMERCIAL BUILDING
7/22/14	ADDED BUILDING FOR THIS SECTION
DATE	DESCRIPTION
	REVISION BLOCK

AS-BUILT CERTIFICATION FOR PWSM
 I hereby certify that the facility shown on the plan was constructed as shown on the "AS BUILT" plans and specifications. I have verified that the existing drainage area is sufficiently sized to prevent logging of the underground.

[Signature]
 Date: 5/8/22

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME AND THAT I AM A LICENSED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND. EXPIRATION DATE: 7/14/15.

[Signature]
 DATE: 9/23/13

OWNERS
 3330 ROGERS AVENUE LLC
 SUITE 102
 5300 DORSEY HALL DRIVE
 ELLICOTT CITY, MD 21042
 443-367-0422

DEVELOPER
 M & T DEVELOPERS, LLC
 4515 MANOR LANE
 ELLICOTT CITY, MD 21042
 443-367-0422

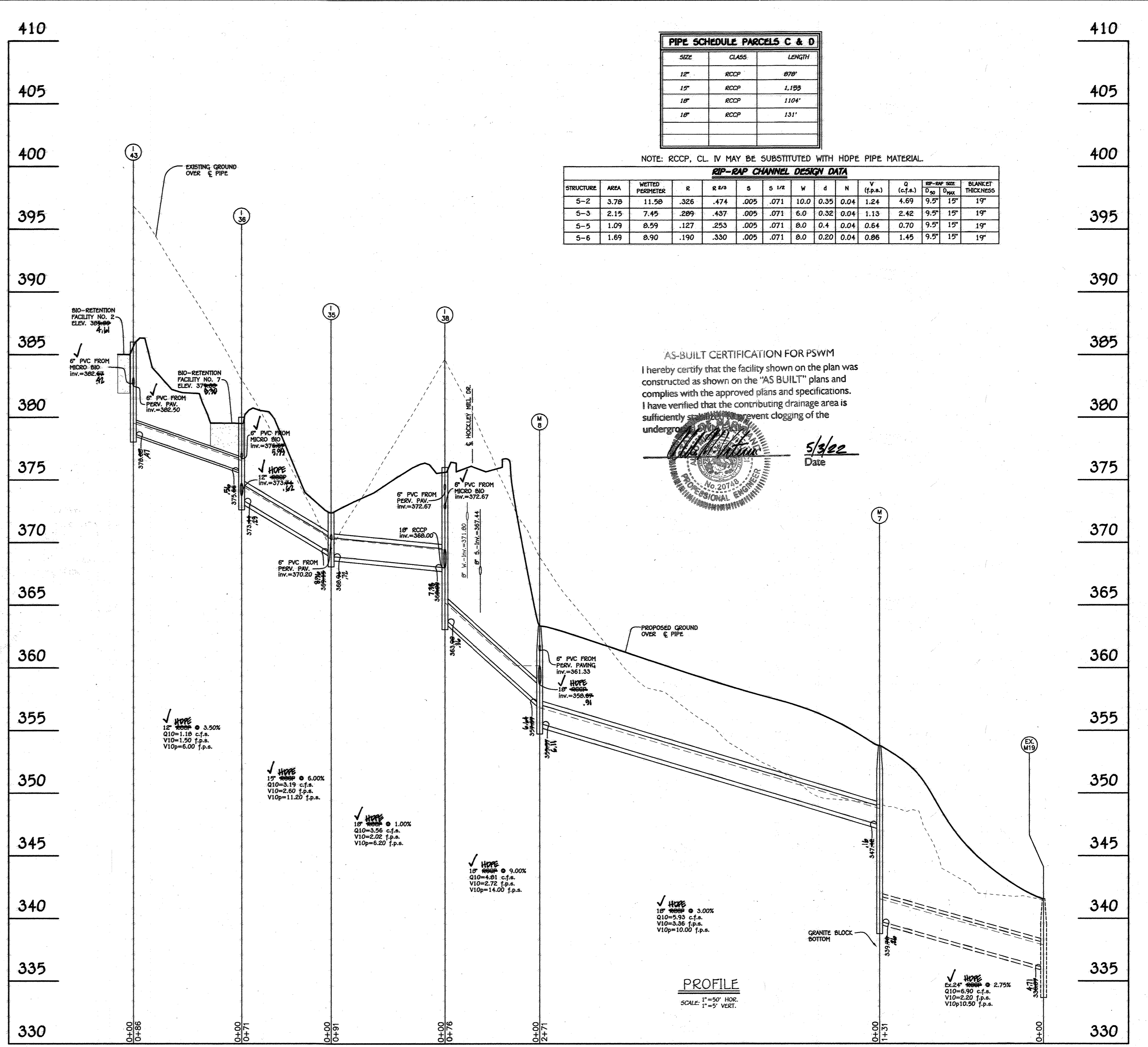
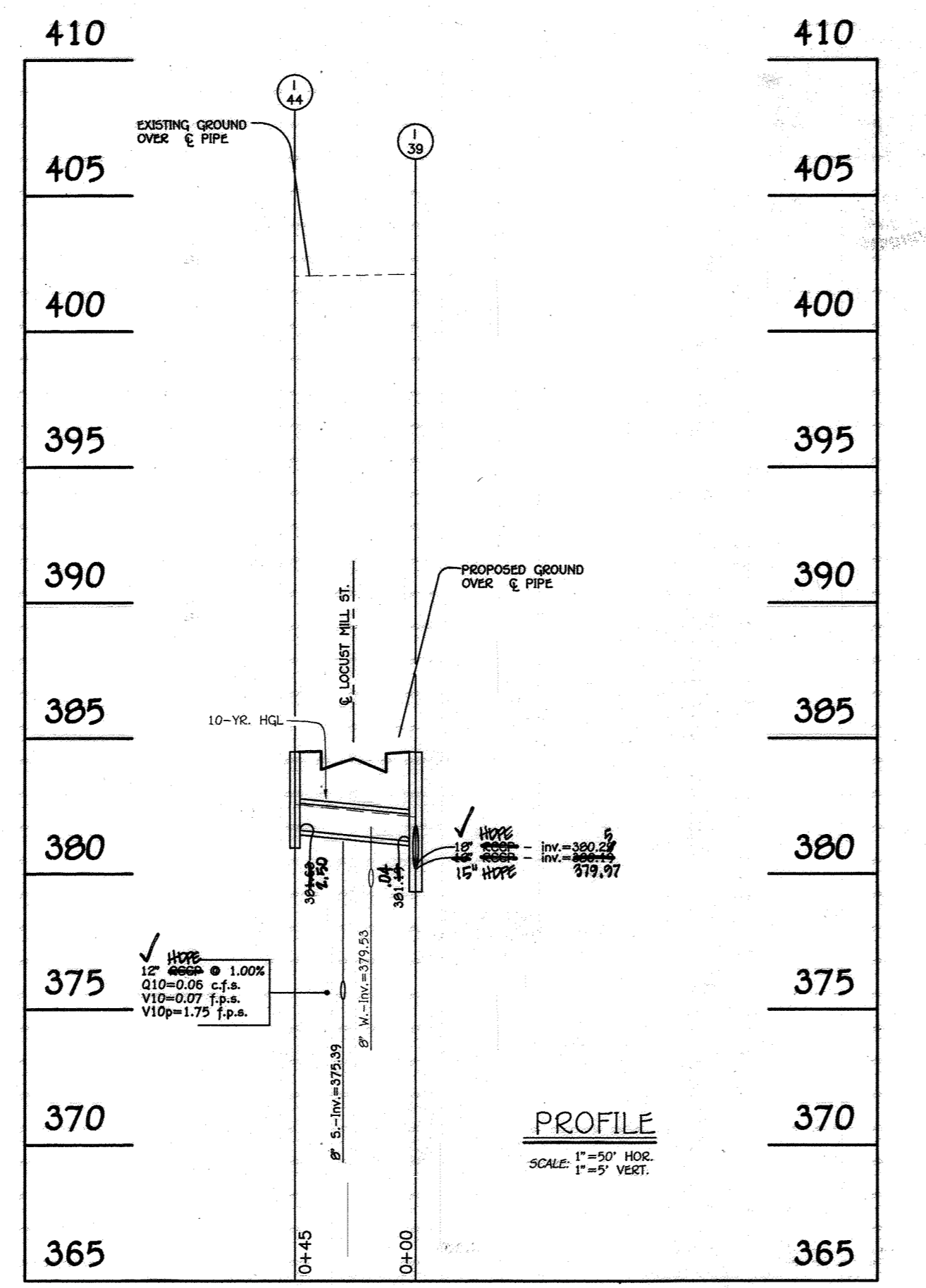
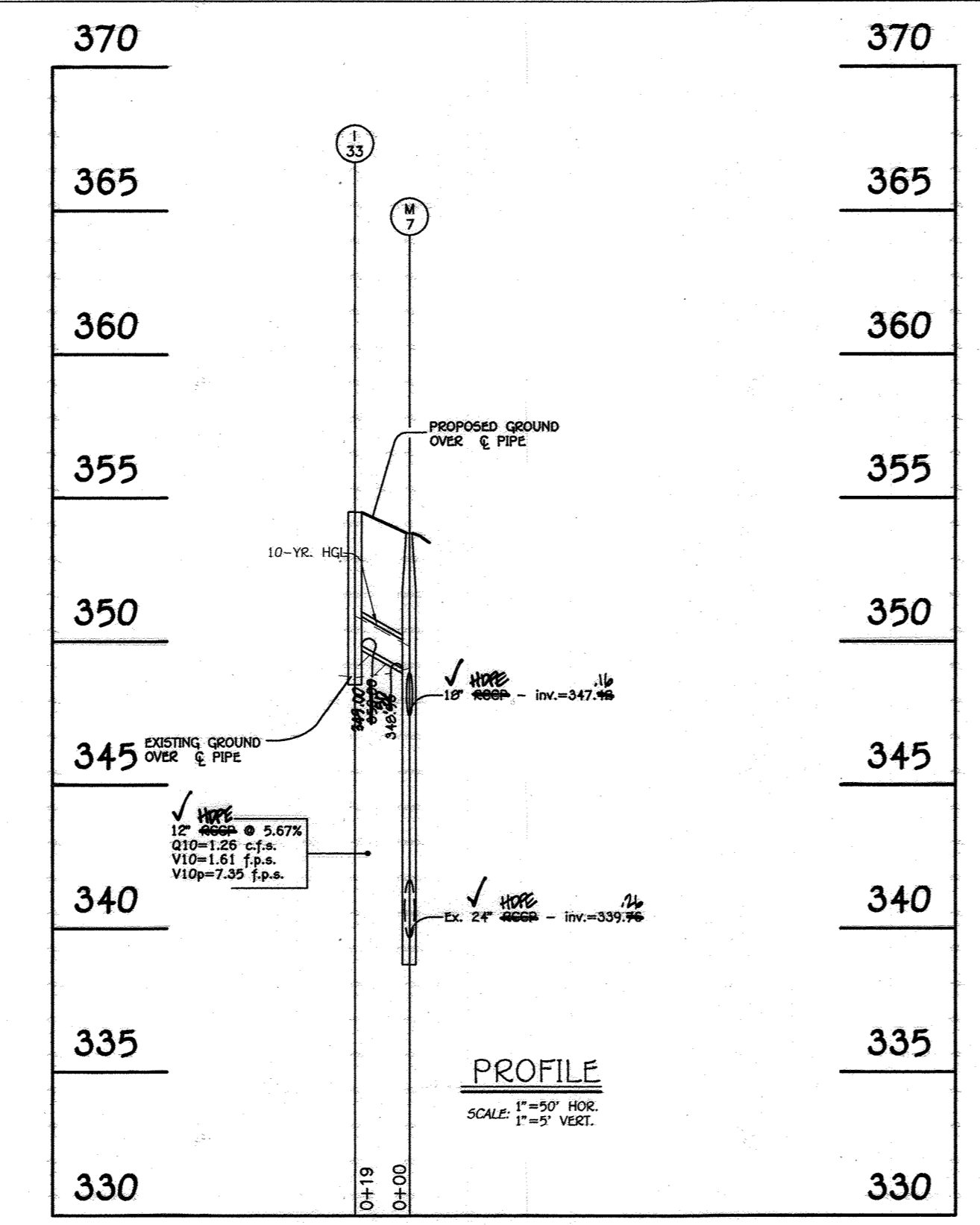
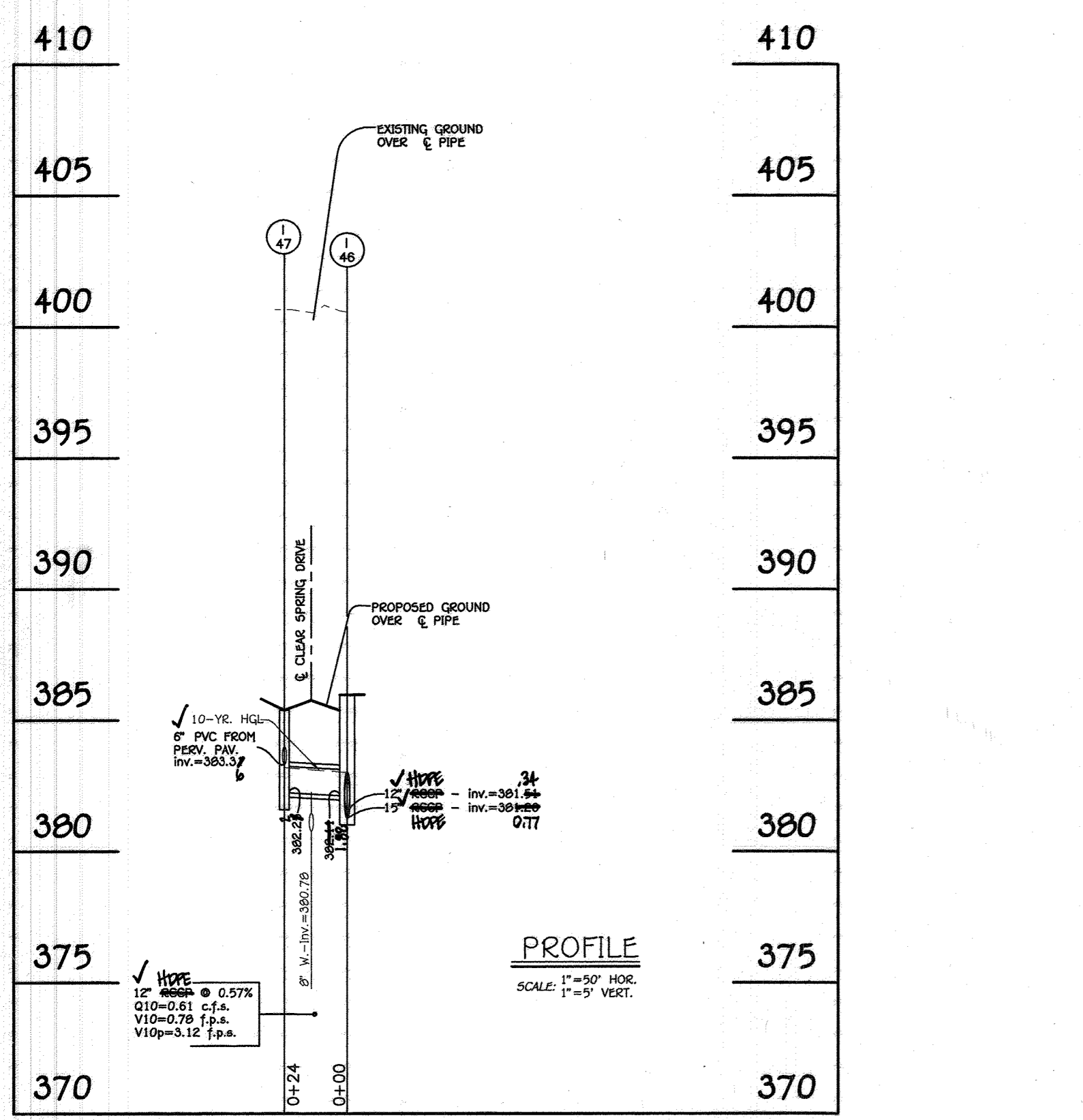
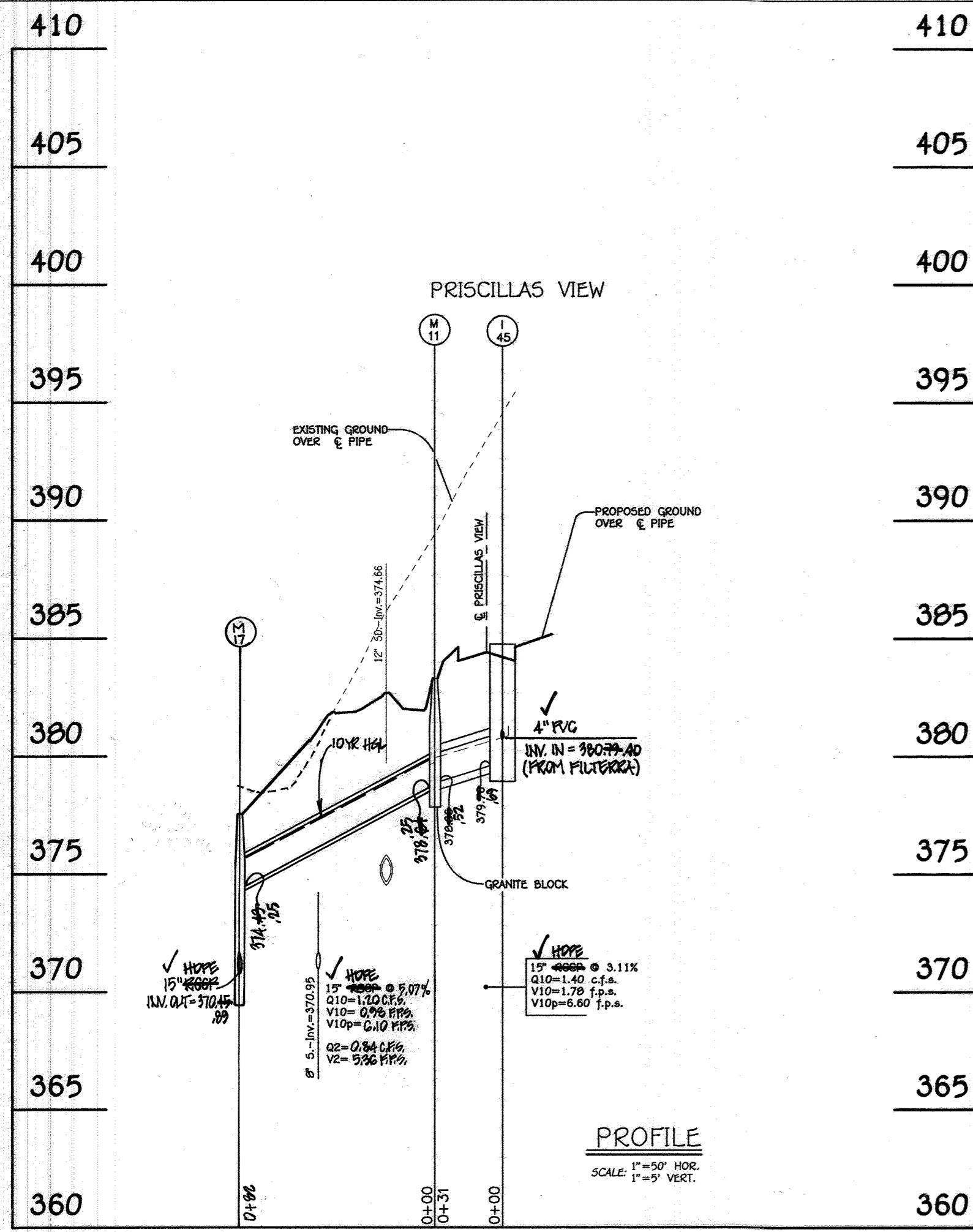
APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] 11/13/12
 Director - Department of Planning and Zoning
[Signature] 11/08-13
 Chief, Division of Land Development
[Signature] 10-25-13
 Chief, Development Engineering Division

STORM DRAIN PROFILES
 ELLICOTT CROSSING
 PART TWO
 LOTS A2 THRU I40, OPEN SPACE LOTS L41 THRU L44 & PARCEL 'K'
 SINGLE FAMILY ATTACHED HOUSING,
 TWO STORY SHOPPING CENTER BUILDING AND GAZEBO
 TAX MAP No. 24 GRID Nos. 6, 1 PARCEL Nos. 052, 047
 2nd ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2014

APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 DATE: 4/15/13

SHEET 10 OF 28 SDP-13-004

"AS-BUILT"



SIZE	CLASS	LENGTH
12"	RCCP	878'
12"	RCCP	1,129'
18"	RCCP	1104'
18"	RCCP	131'

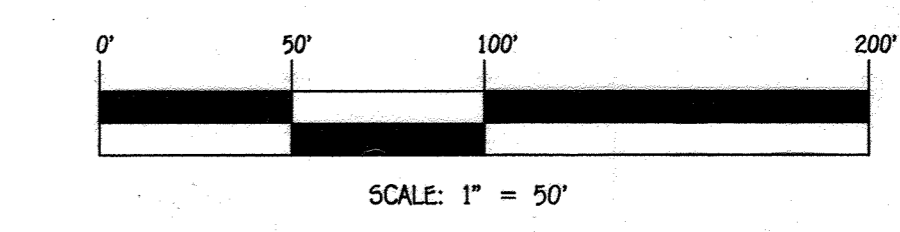
NOTE: RCCP, CL. IV MAY BE SUBSTITUTED WITH HOPE PIPE MATERIAL.

STRUCTURE	AREA	WETTED PERIMETER	R	R 2/3	S	S 1/2	W	d	N	V (f.p.a.)	Q (c.f.a.)	Q ₁₀	Q _{10p}	BLANKET THICKNESS
S-2	3.78	11.58	.326	.474	.005	.071	10.0	0.35	0.04	1.24	4.69	9.9'	15'	19'
S-3	2.15	7.45	.289	.437	.005	.071	6.0	0.32	0.04	1.13	2.42	9.9'	15'	19'
S-5	1.09	8.59	.127	.253	.005	.071	8.0	0.4	0.04	0.64	0.70	9.9'	15'	19'
S-6	1.69	8.90	.190	.330	.005	.071	8.0	0.20	0.04	0.86	1.45	9.9'	15'	19'

AS-BUILT CERTIFICATION FOR PSWM

I hereby certify that the facility shown on the plan was constructed as shown on the "AS BUILT" plans and complies with the approved plans and specifications. I have verified that the contributing drainage area is sufficiently sized to prevent clogging of the underground facility.

[Signature]
 Date: 5/3/22



APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 DATE: 4/15/13

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PARK
 ELLICOTT CITY, MARYLAND 21044
 (410) 461-2995

DATE	DESCRIPTION
12/21/21	Add sheet 2B
8/22/19	REMOVED SHEET NUMBER TO REFLECT ADDED SHEET & REMOVE PROFILE
9/16/19	REMOVED TITLE BLOCK
9/16/19	REMOVED TITLE BLOCK TO REFLECT SHOPPING CENTER
8/1/19	REMOVED STORM DRAIN PROFILE
8/1/19	REMOVED TITLE BLOCK TO REFLECT COMMERCIAL BUILDING
7/26/14	ADDED BUILDINGS FOR THIS SECTION

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME AND THAT I AM A LICENSED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND. EXPIRES: 7/11/15.

[Signature]
 DATE: 7/23/13

OWNERS
 3330 ROGERS AVENUE LLC
 SUITE 102
 5300 DORSEY HALL DRIVE
 ELLICOTT CITY, MD 21042
 443-367-0422

DEVELOPER
 M & T DEVELOPERS, LLC
 4515 MANOR LANE
 ELLICOTT CITY, MD 21042
 443-367-0422

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 11/12/12
 Director - Department of Planning and Zoning

[Signature] 11-08-13
 Chief, Division of Land Development

[Signature] 10-25-13
 Chief, Development Engineering Division

SUBDIVISION ELLICOTT CROSSING PART TWO	SECTION/AREA N/A	LOT NOS. 46 THRU 140
PLAT NOS. 25211-25219 25246-25250 25905-25908	PARCEL NOS. 052, 047	TAX MAP MXD-6
ZONE 24	ELEC. DIST. 2nd.	CENSUS TR. 6029

STORM DRAIN PROFILES

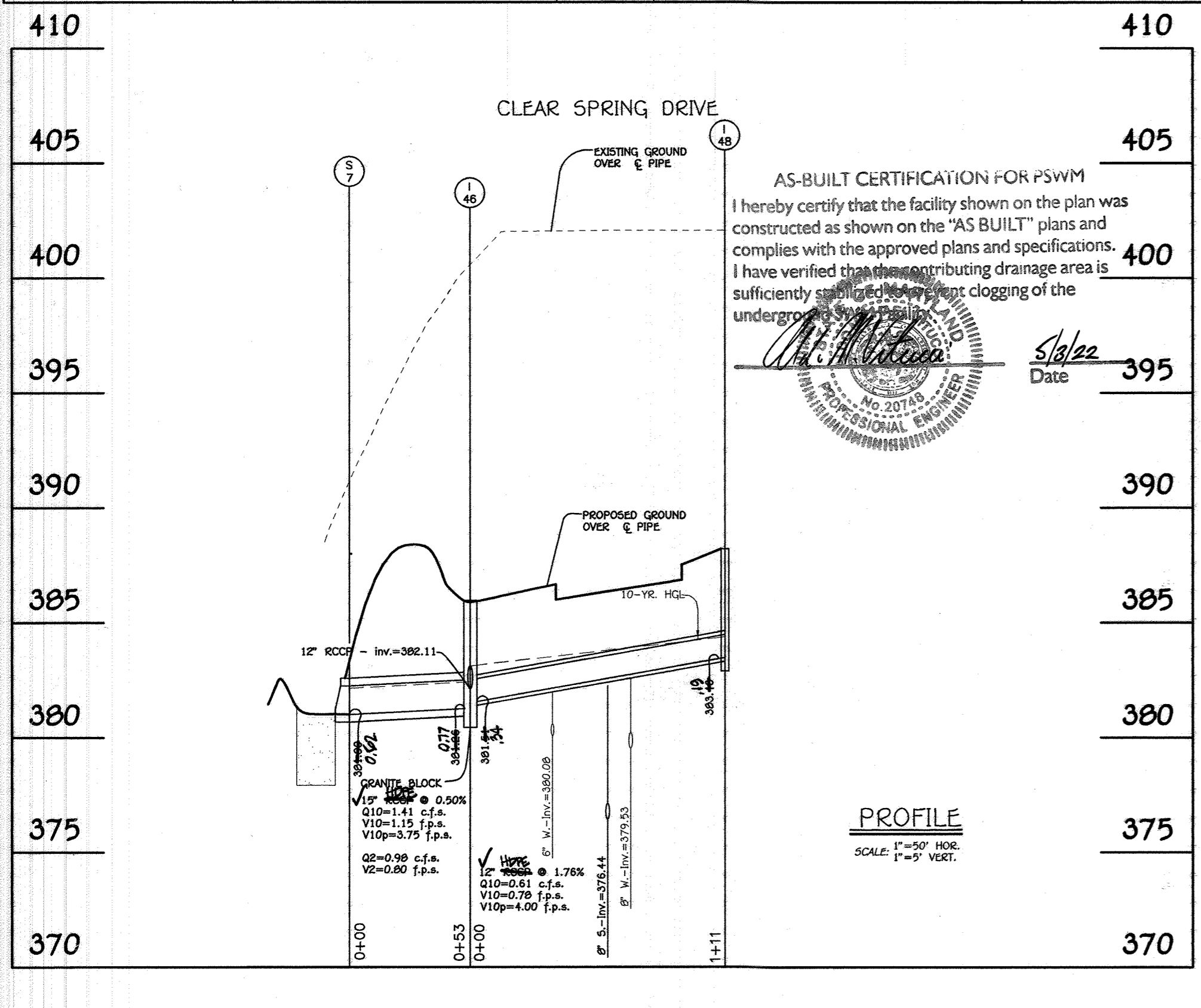
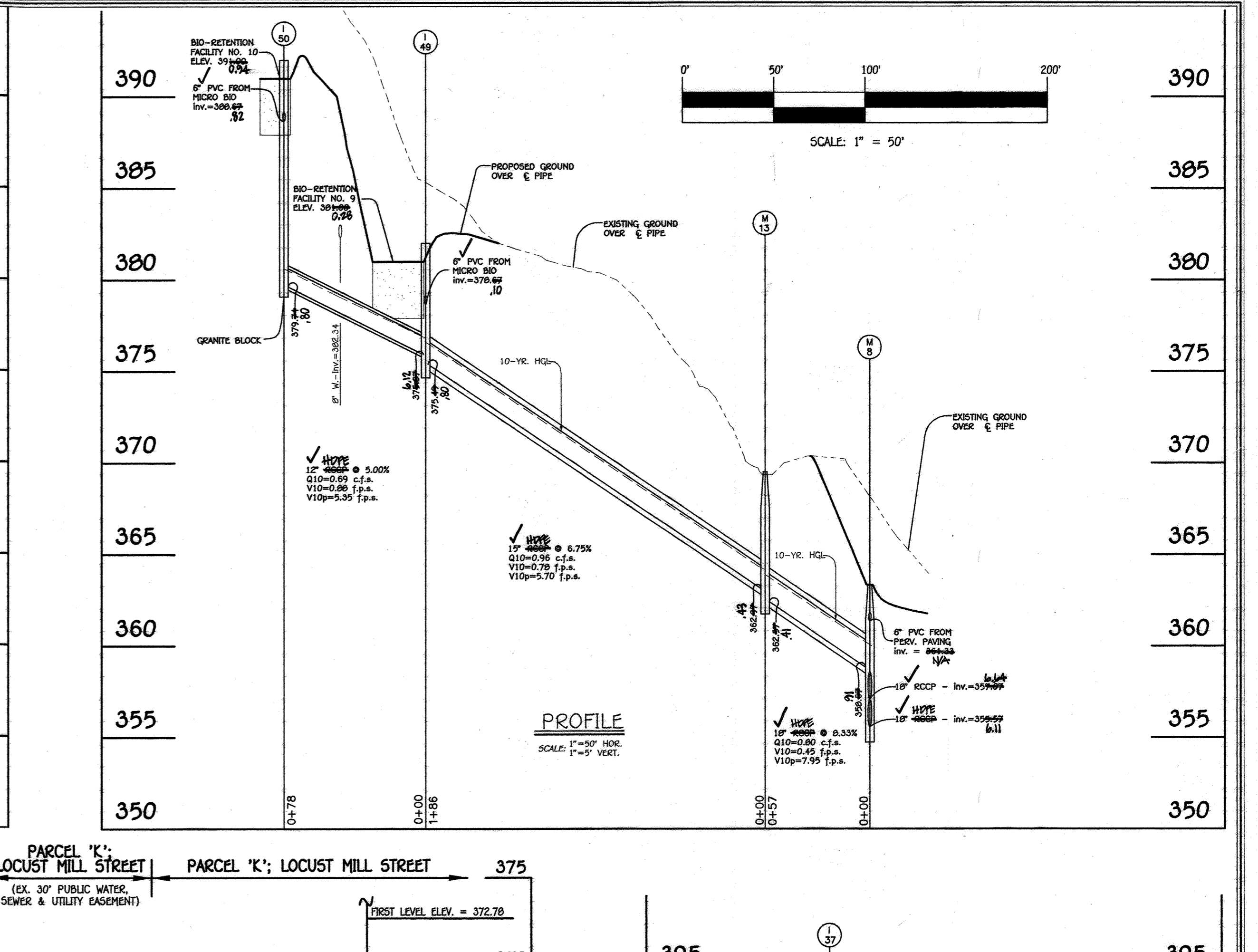
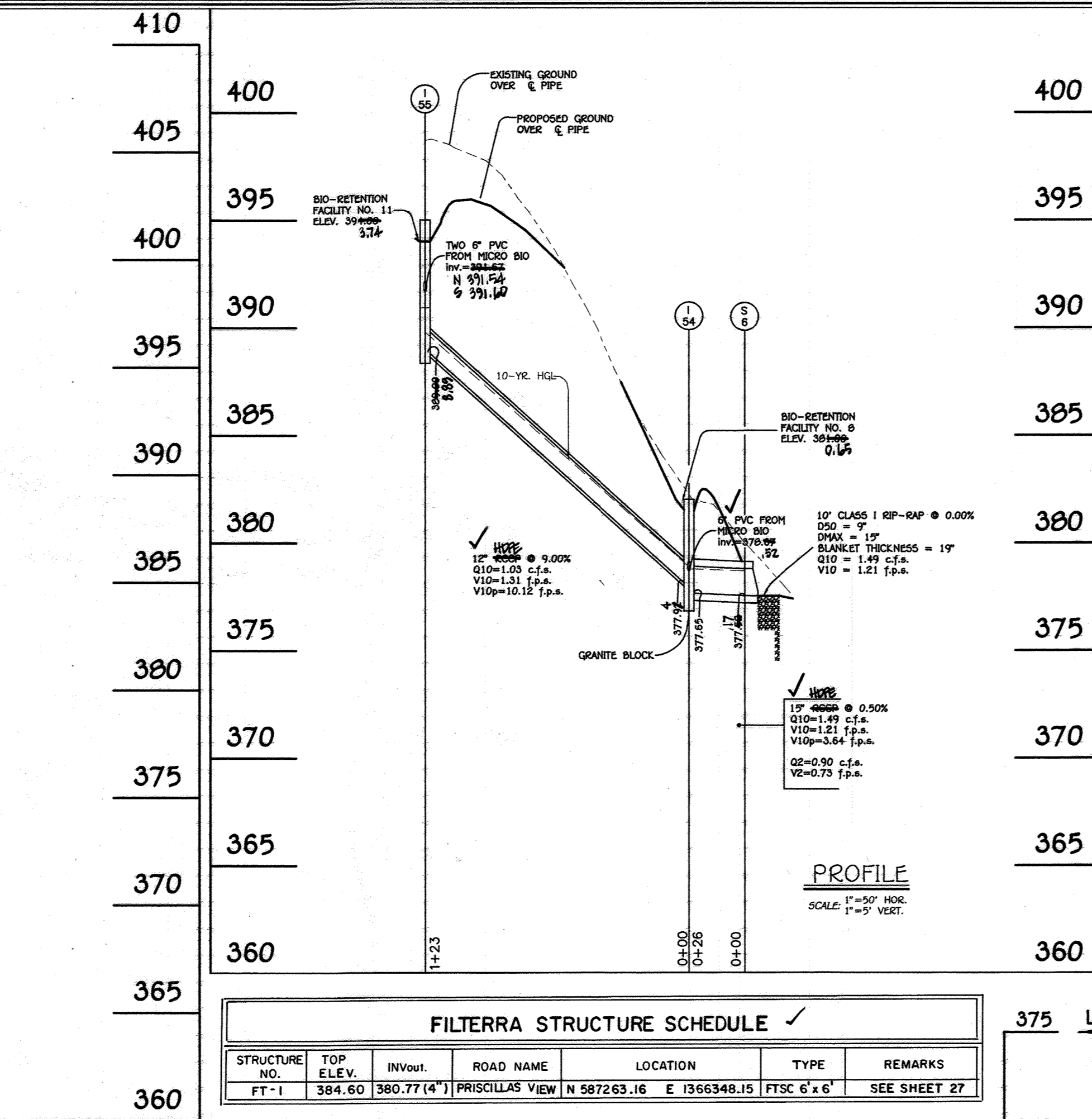
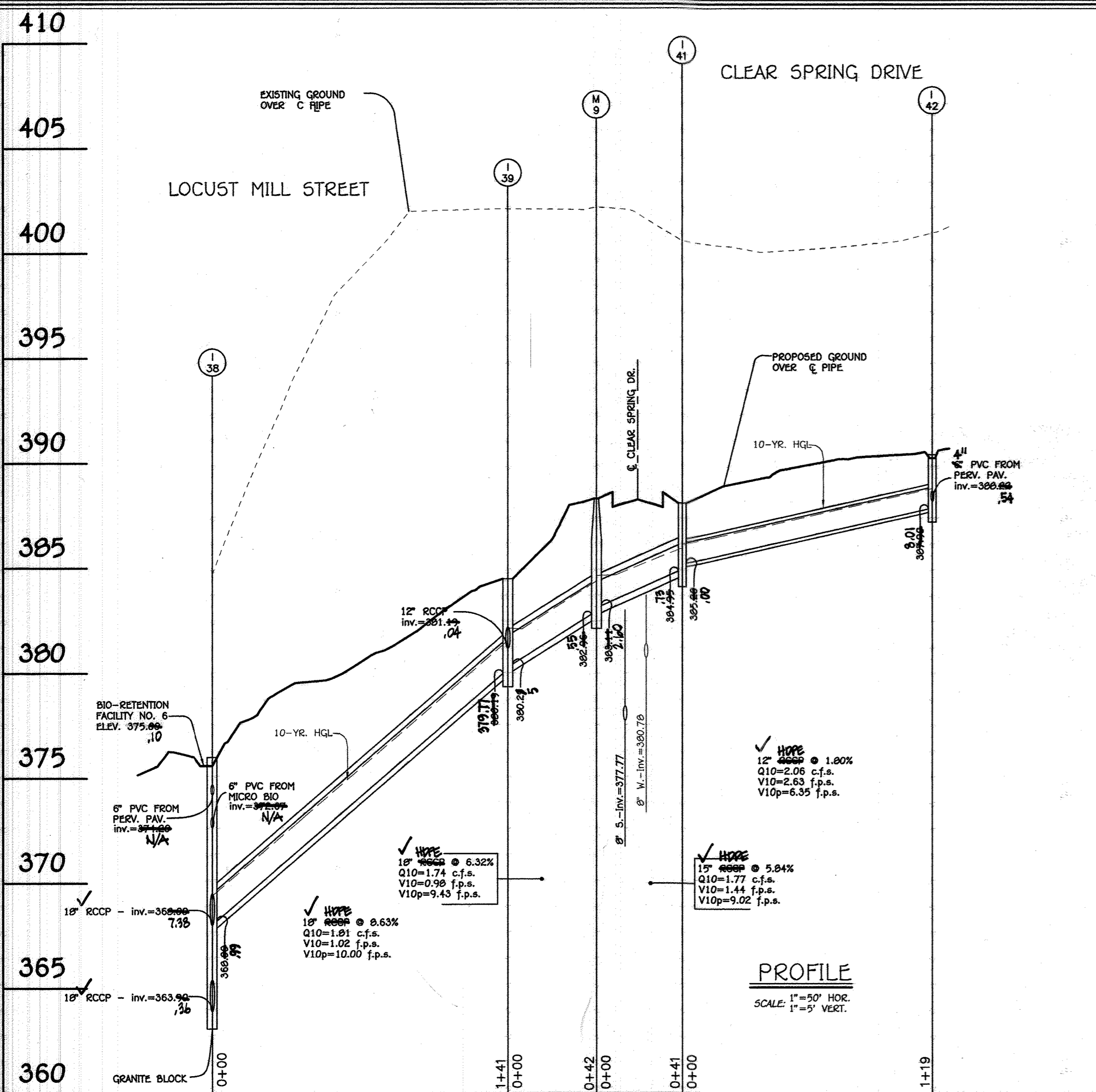
ELLICOTT CROSSING
 PART TWO
 LOTS 46 THRU 140, OPEN SPACE LOTS 141 THRU 144 & PARCEL 'K'

SINGLE FAMILY ATTACHED HOUSING,
 TWO STORY SHOPPING CENTER BUILDING AND GAZEBO

TAX MAP No.: 24 GRID Nos.: 6, 1 PARCEL Nos.: 052, 047
 2nd ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2014

SHEET 11 OF 28 SDP-13-004

"AS-BUILT"

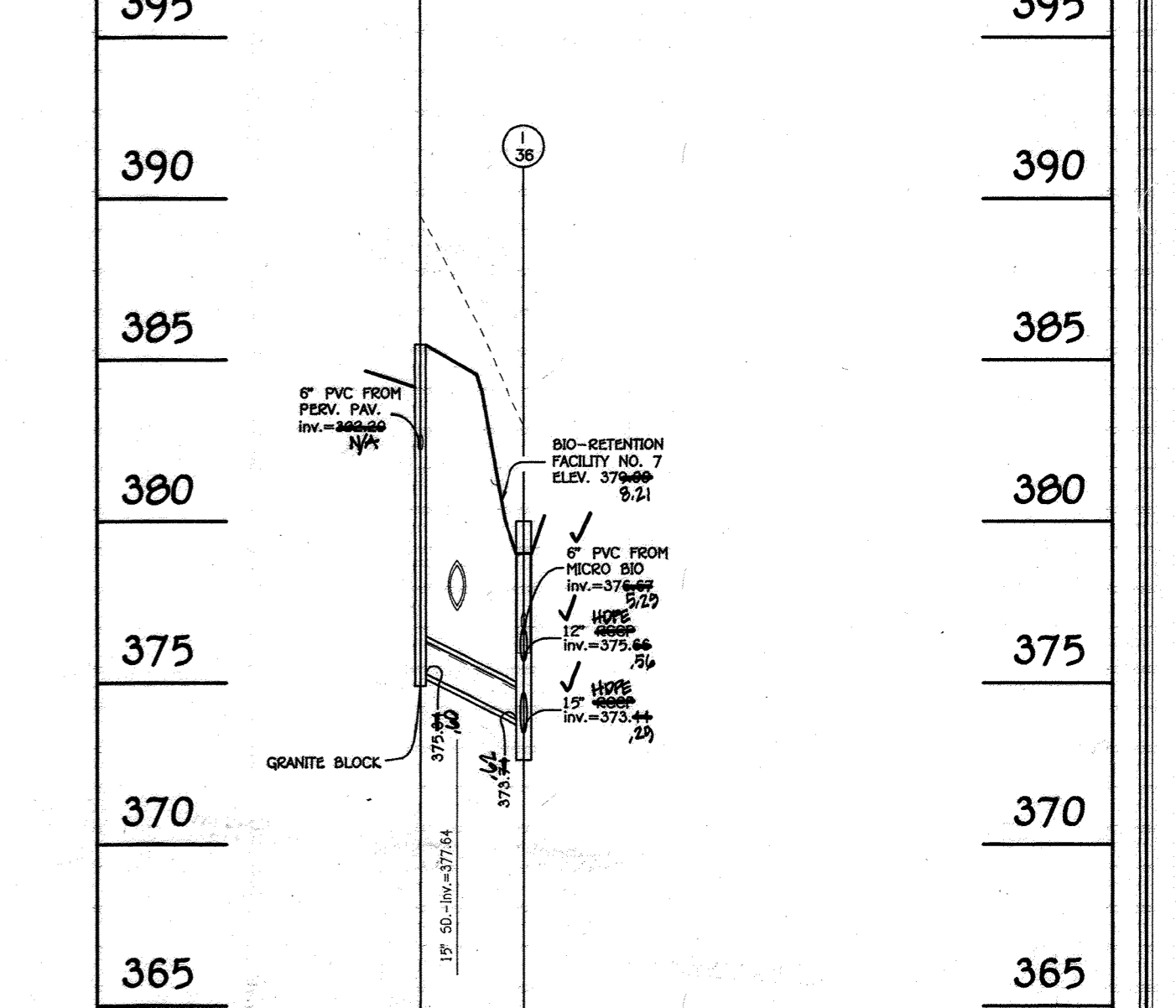
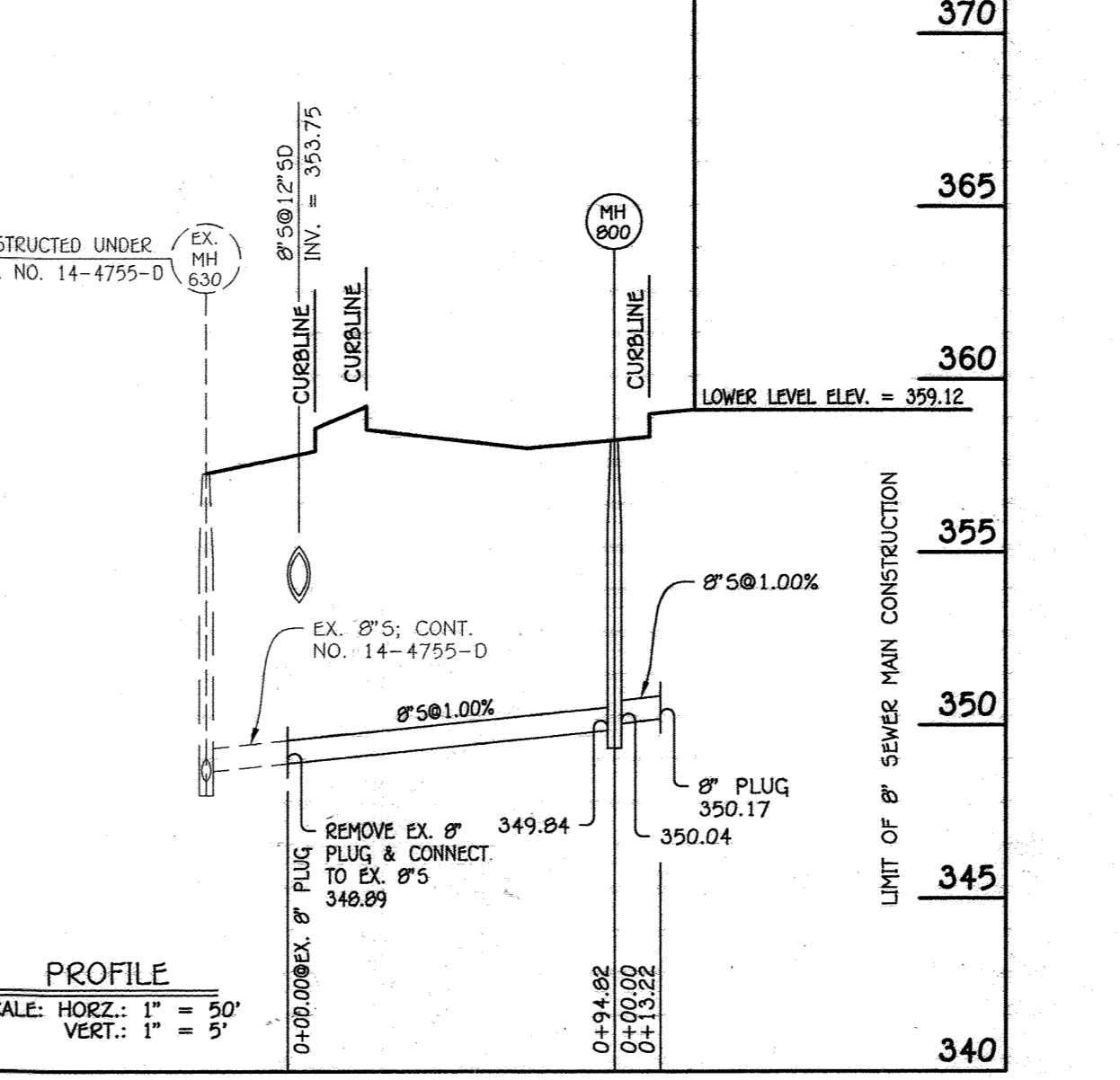


STRUCTURE SCHEDULE

STRUCTURE NO.	TOP ELEV.	INVERT	ROAD NAME	LOCATION	TYPE	REMARKS
FT-1	384.60	380.77 (4")	FRISGILLAS VIEW	N 587263.16 E 1366348.15	FTSC 6'x6'	SEE SHEET 27

STRUCTURE SCHEDULE

STRUCTURE NO.	TOP ELEVATION	INV. IN	INV. OUT	ROAD NAME	ROAD STA.	OFFSET	TYPE	REMARKS
1-20	351.89	348.89	348.89	WESER QUARRY ROAD	0+29.59	14' R.	A-10 INLET	PARCEL 'C'
1-21	359.97	356.97	356.97	WESER QUARRY ROAD	0+52.29	14' L.	A-10 INLET	PARCEL 'C'
1-22	359.97	356.97	356.97	WESER QUARRY ROAD	0+56.53	14' L.	A-5 INLET	PARCEL 'C'
1-23	368.99	365.99	365.99	WESER QUARRY ROAD	0+52.47	14' L.	A-10 INLET	PARCEL 'C'
1-24	357.49	354.49	354.49	LOCUST MILL STREET	0+52.88	12' R.	DOUBLE 'S' INLET	PARCEL 'C'
1-25	357.79	354.79	354.79	LOCUST MILL STREET	0+55.53	14' R.	A-5 INLET	PARCEL 'C'
1-26	360.29	357.29	357.29	LOCUST MILL STREET	0+56.15	14' L.	A-10 INLET	PARCEL 'C'
1-27	361.49	358.49	358.49	LOCUST MILL STREET	0+58.79	14' R.	A-10 INLET	PARCEL 'C'
1-28	367.49	364.49	364.49	HOCKLEY HILL DRIVE	0+43.29	12' L.	A-5 INLET	PARCEL 'C'
1-29	360.99	357.99	357.99	HOCKLEY HILL DRIVE	0+43.28	12' R.	A-10 INLET	PARCEL 'C'
1-30	360.99	357.99	357.99	LOCUST MILL STREET	0+68.55	12' R.	A-5 INLET	PARCEL 'C'
1-31	360.99	357.99	357.99	LOCUST MILL STREET	0+69.82	12' L.	A-5 INLET	PARCEL 'C'
1-32	373.89	370.89	370.89	LOCUST MILL STREET	0+69.91	12' L.	'S' INLET	PARCEL 'C'
1-33	373.89	370.89	370.89	N 587250 E 1366454	---	---	'S' INLET	PARCEL 'C'
1-34	373.89	370.89	370.89	N 587250 E 1366454	---	---	'S' INLET	PARCEL 'C'
1-35	373.89	370.89	370.89	N 587250 E 1366454	---	---	'S' INLET	PARCEL 'C'
1-36	373.89	370.89	370.89	N 587250 E 1366454	---	---	'S' INLET	PARCEL 'C'
1-37	373.89	370.89	370.89	FRISGILLAS VIEW	0+58.79	30' L.	A-10 INLET	PARCEL 'C'
1-38	373.89	370.89	370.89	LOCUST MILL STREET	0+57.50	12' L.	'S' INLET	PARCEL 'C'
1-39	373.89	370.89	370.89	LOCUST MILL STREET	0+56.53	21' R.	'S' INLET	PARCEL 'C'
1-40	373.89	370.89	370.89	LOCUST MILL STREET	0+55.53	21' R.	'S' INLET	PARCEL 'C'
1-41	373.89	370.89	370.89	LOCUST MILL STREET	0+54.53	21' R.	'S' INLET	PARCEL 'C'
1-42	373.89	370.89	370.89	LOCUST MILL STREET	0+53.53	21' R.	'S' INLET	PARCEL 'C'
1-43	373.89	370.89	370.89	LOCUST MILL STREET	0+52.53	21' R.	'S' INLET	PARCEL 'C'
1-44	373.89	370.89	370.89	LOCUST MILL STREET	0+51.53	21' R.	'S' INLET	PARCEL 'C'
1-45	373.89	370.89	370.89	LOCUST MILL STREET	0+50.53	21' R.	'S' INLET	PARCEL 'C'
1-46	373.89	370.89	370.89	LOCUST MILL STREET	0+49.53	21' R.	'S' INLET	PARCEL 'C'
1-47	373.89	370.89	370.89	LOCUST MILL STREET	0+48.53	21' R.	'S' INLET	PARCEL 'C'
1-48	373.89	370.89	370.89	LOCUST MILL STREET	0+47.53	21' R.	'S' INLET	PARCEL 'C'
1-49	373.89	370.89	370.89	LOCUST MILL STREET	0+46.53	21' R.	'S' INLET	PARCEL 'C'
1-50	373.89	370.89	370.89	LOCUST MILL STREET	0+45.53	21' R.	'S' INLET	PARCEL 'C'
1-51	373.89	370.89	370.89	LOCUST MILL STREET	0+44.53	21' R.	'S' INLET	PARCEL 'C'
1-52	373.89	370.89	370.89	LOCUST MILL STREET	0+43.53	21' R.	'S' INLET	PARCEL 'C'
1-53	373.89	370.89	370.89	LOCUST MILL STREET	0+42.53	21' R.	'S' INLET	PARCEL 'C'
1-54	373.89	370.89	370.89	LOCUST MILL STREET	0+41.53	21' R.	'S' INLET	PARCEL 'C'
1-55	373.89	370.89	370.89	LOCUST MILL STREET	0+40.53	21' R.	'S' INLET	PARCEL 'C'
1-56	373.89	370.89	370.89	LOCUST MILL STREET	0+39.53	21' R.	'S' INLET	PARCEL 'C'
1-57	373.89	370.89	370.89	LOCUST MILL STREET	0+38.53	21' R.	'S' INLET	PARCEL 'C'
1-58	373.89	370.89	370.89	LOCUST MILL STREET	0+37.53	21' R.	'S' INLET	PARCEL 'C'
1-59	373.89	370.89	370.89	LOCUST MILL STREET	0+36.53	21' R.	'S' INLET	PARCEL 'C'
1-60	373.89	370.89	370.89	LOCUST MILL STREET	0+35.53	21' R.	'S' INLET	PARCEL 'C'
1-61	373.89	370.89	370.89	LOCUST MILL STREET	0+34.53	21' R.	'S' INLET	PARCEL 'C'
1-62	373.89	370.89	370.89	LOCUST MILL STREET	0+33.53	21' R.	'S' INLET	PARCEL 'C'
1-63	373.89	370.89	370.89	LOCUST MILL STREET	0+32.53	21' R.	'S' INLET	PARCEL 'C'
1-64	373.89	370.89	370.89	LOCUST MILL STREET	0+31.53	21' R.	'S' INLET	PARCEL 'C'
1-65	373.89	370.89	370.89	LOCUST MILL STREET	0+30.53	21' R.	'S' INLET	PARCEL 'C'
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1-67	373.89	370.89	370.89	LOCUST MILL STREET	0+28.53	21' R.	'S' INLET	PARCEL 'C'
1-68	373.89	370.89	370.89	LOCUST MILL STREET	0+27.53	21' R.	'S' INLET	PARCEL 'C'
1-69	373.89	370.89	370.89	LOCUST MILL STREET	0+26.53	21' R.	'S' INLET	PARCEL 'C'
1-70	373.89	370.89	370.89	LOCUST MILL STREET	0+25.53	21' R.	'S' INLET	PARCEL 'C'
1-71	373.89	370.89	370.89	LOCUST MILL STREET	0+24.53	21' R.	'S' INLET	PARCEL 'C'
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1-73	373.89	370.89	370.89	LOCUST MILL STREET	0+22.53	21' R.	'S' INLET	PARCEL 'C'
1-74	373.89	370.89	370.89	LOCUST MILL STREET	0+21.53	21' R.	'S' INLET	PARCEL 'C'
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1-76	373.89	370.89	370.89	LOCUST MILL STREET	0+19.53	21' R.	'S' INLET	PARCEL 'C'
1-77	373.89	370.89	370.89	LOCUST MILL STREET	0+18.53	21' R.	'S' INLET	PARCEL 'C'
1-78	373.89	370.89	370.89	LOCUST MILL STREET	0+17.53	21' R.	'S' INLET	PARCEL 'C'
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1-81	373.89	370.89	370.89	LOCUST MILL STREET	0+14.53	21' R.	'S' INLET	PARCEL 'C'
1-82	373.89	370.89	370.89	LOCUST MILL STREET	0+13.53	21' R.	'S' INLET	PARCEL 'C'
1-83	373.89	370.89	370.89	LOCUST MILL STREET	0+12.53	21' R.	'S' INLET	PARCEL 'C'
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1-86	373.89	370.89	370.89	LOCUST MILL STREET	0+9.53	21' R.	'S' INLET	PARCEL 'C'
1-87	373.89	370.89	370.89	LOCUST MILL STREET	0+8.53	21' R.	'S' INLET	PARCEL 'C'
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1-89	373.89	370.89	370.89	LOCUST MILL STREET	0+6.53	21' R.	'S' INLET	PARCEL 'C'
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1-92	373.89	370.89	370.89	LOCUST MILL STREET	0+3.53	21' R.	'S' INLET	PARCEL 'C'
1-93	373.89	370.89	370.89	LOCUST MILL STREET	0+2.53	21' R.	'S' INLET	PARCEL 'C'
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1-95	373.89	370.89	370.89	LOCUST MILL STREET	0+0.53	21' R.	'S' INLET	PARCEL 'C'
1-96	373.89	370.89	370.89	LOCUST MILL STREET	0+0.00	21' R.	'S' INLET	PARCEL 'C'



8" SEWER MAIN: SHOPPING CENTER BUILDING

MANHOLE TABULATION CHART

NO.	NORTHING	EASTING	RIM ELEVATION
800	587579.72	1366194.60	358.30
8" PLUG	587566.55	1366193.40	---

AS-BUILT CERTIFICATION FOR PSWM

I hereby certify that the facility shown on the plan and constructed as shown on the "AS BUILT" plans and specifications. I have verified that the contributing drainage area is sufficiently sized to prevent clogging of the underdrains.

Paul W. Reid
Date: 8/15/13

DATE	DESCRIPTION
12/21/12	Add sheet 28
9/22/12	REMOVED STRUCTURE SCHEDULE & SHEET NUMBER TO REFLECT APPROVED
9/16/12	REMOVED TITLE BLOCK
9/10/12	REMOVED TITLE BLOCK TO REFLECT SHOPPING CENTER
9/10/12	REMOVED STRUCTURE SCHEDULE
9/11/12	REMOVED TITLE BLOCK TO REFLECT COMMERCIAL BUILDING
7/22/12	ADDED BUILDINGS FOR THIS SECTION

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER OF THE STATE OF MARYLAND, LICENSE NO. 12043, EXPIRATION DATE: 11/14/15.

Paul W. Reid
PAUL W. REID
PROFESSIONAL ENGINEER

OWNERS
3330 ROGERS AVENUE LLC
SUITE 102
5300 DORSEY HALL DRIVE
ELLCOTT CITY, MD 21042
443-367-0422

DEVELOPER
M & T DEVELOPERS, LLC
4515 MANOR LANE
ELLCOTT CITY, MD 21042
443-367-0422

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Mark A. Gyle 11/13/12
Director - Department of Planning and Zoning

Walt S. Edwards 11-08-13
Chief, Division of Land Development

Paul Edwards 10-25-13
Chief, Development Engineering Division

SUBDIVISION: ELLCOTT CROSSING PART TWO
SECTION/AREA: N/A
LOT NOS.: 40 THRU 140

PLAT NOS.	PARCEL NOS.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
12071-12075	852, 847	MXD-6	24	2nd.	6029

STORM DRAIN PROFILES

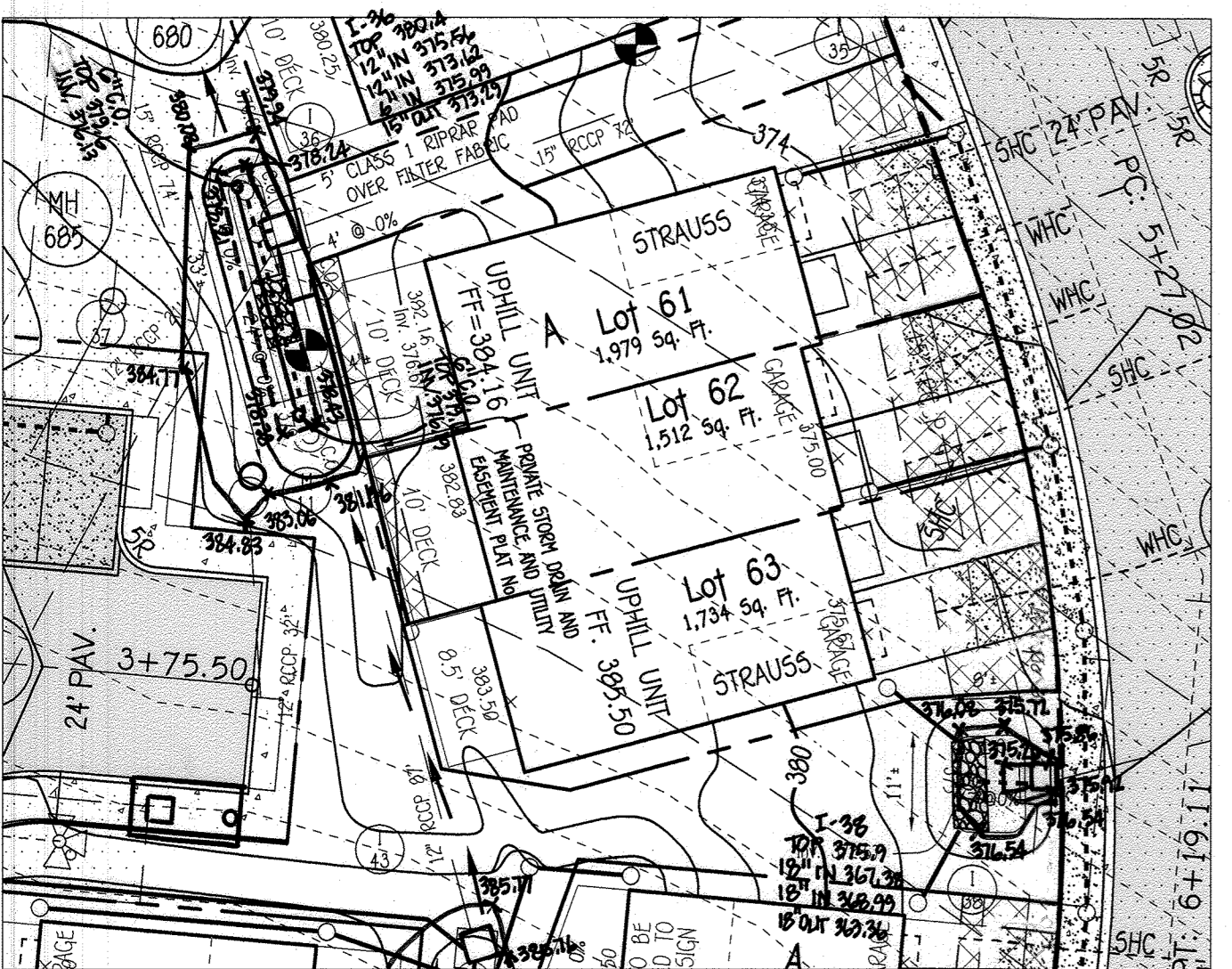
ELLCOTT CROSSING PART TWO
LOTS 42 THRU 140, OPEN SPACE LOTS 141 THRU 144 & PARCEL 'K'

SINGLE FAMILY ATTACHED HOUSING, TWO STORY SHOPPING CENTER BUILDING AND GAZEBO

TAX MAP No.: 24 GRID Nos.: 6, 1 PARCEL Nos.: 852, 847
2nd ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2014

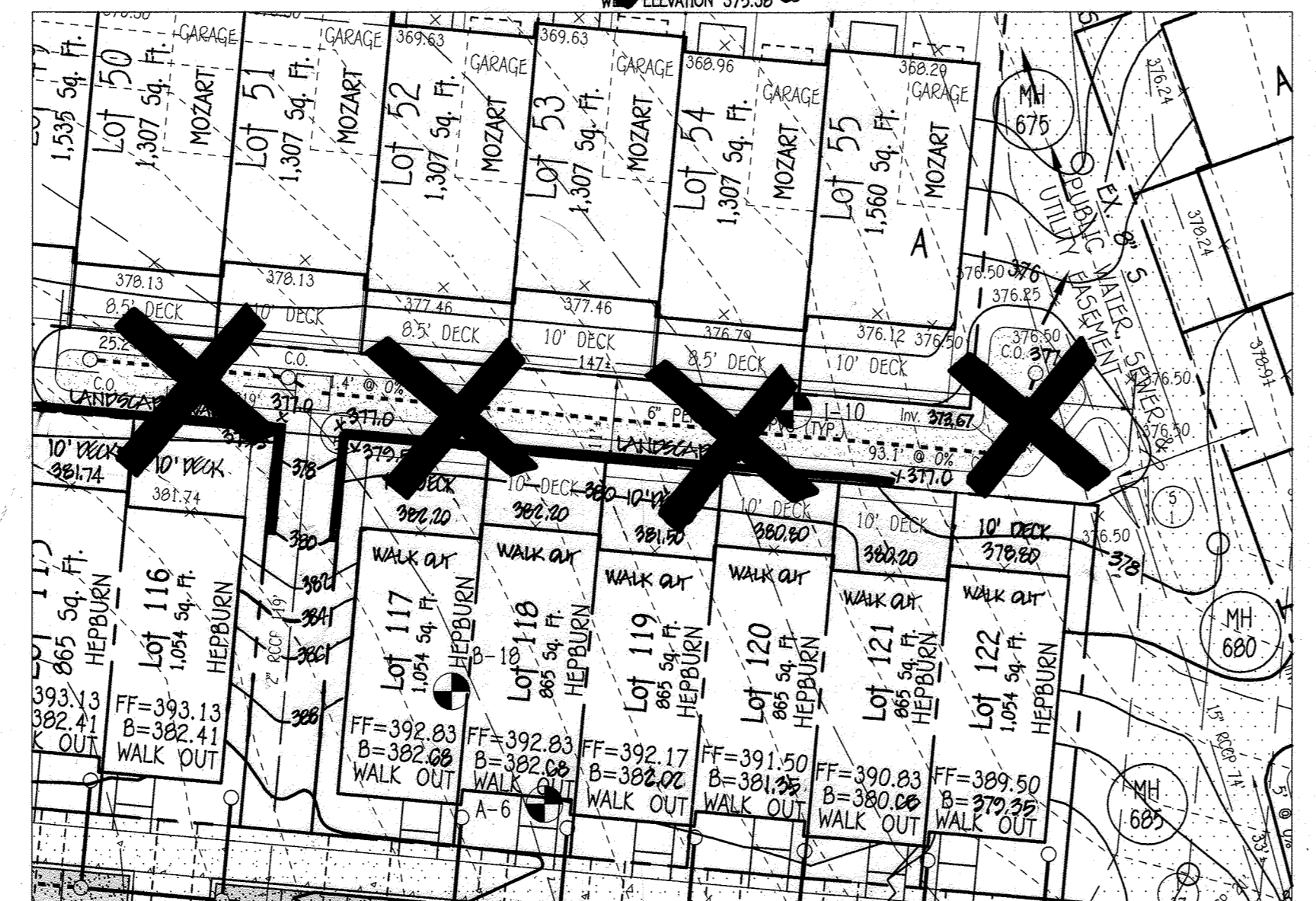
SHEET 12 OF 28 SDP-13-004

M-6 (7)
(MICRO BIO-RETENTION FACILITY)
SCALE: 1" = 20'
DRAINAGE AREA: 4,410 Sq.Ft.
FILTER AREA: 130 Sq.Ft.
ELEVATION 380
PERIMETER 71'
WEIR ELEVATION 380.27



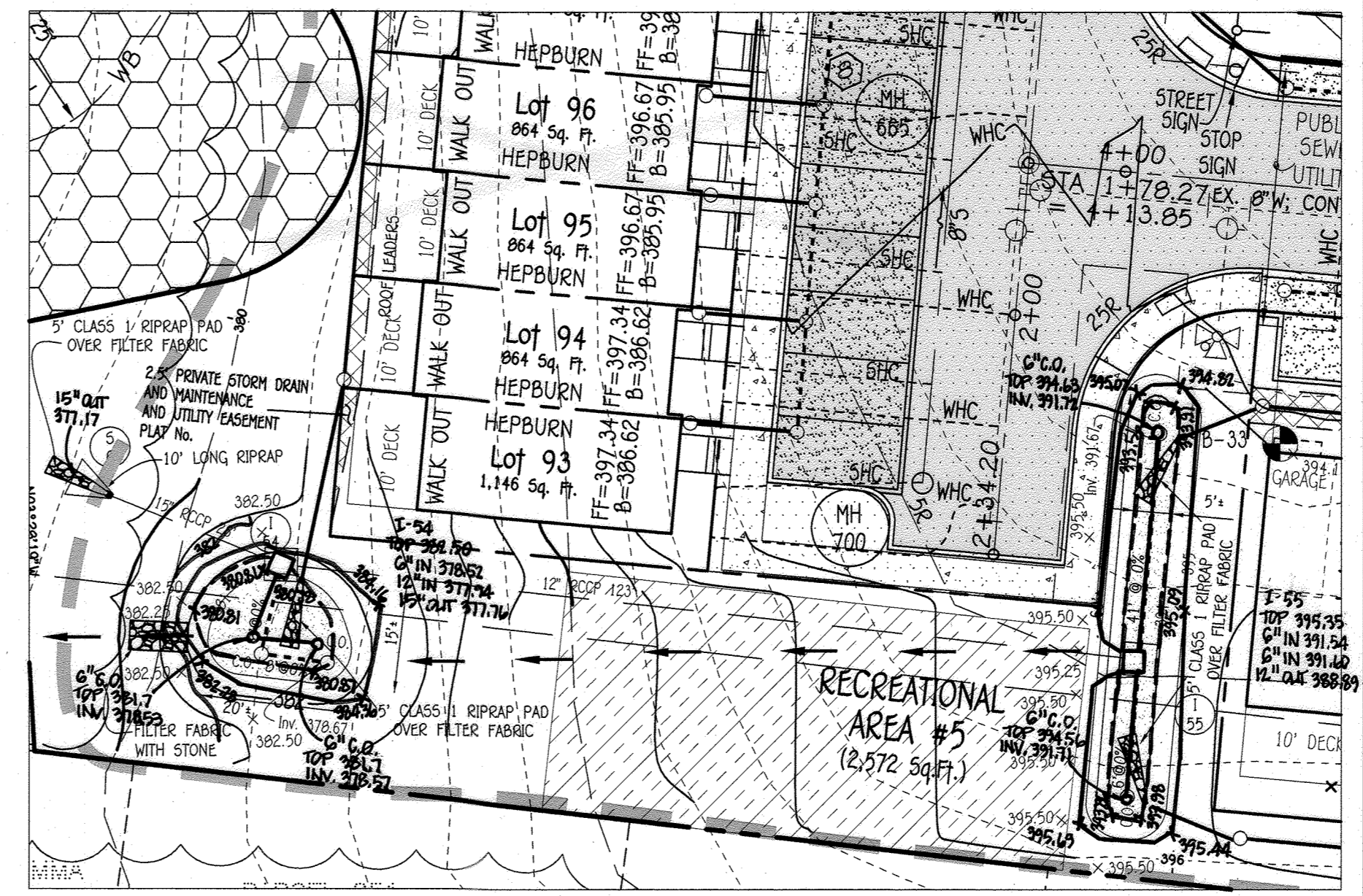
M-6 (6)
(MICRO BIO-RETENTION FACILITY)
SCALE: 1" = 20'
DRAINAGE AREA: 2,084 Sq.Ft.
FILTER AREA: 92 Sq.Ft.
ELEVATION 378
PERIMETER 38'
WEIR ELEVATION 375.64

6 (3)
(MICRO BIO-RETENTION FACILITY)
SCALE: 1" = 20'
DRAINAGE AREA: 3,831 Sq.Ft.
FILTER AREA: 127 Sq.Ft.
ELEVATION 380
PERIMETER 308'
WEIR ELEVATION 375.38



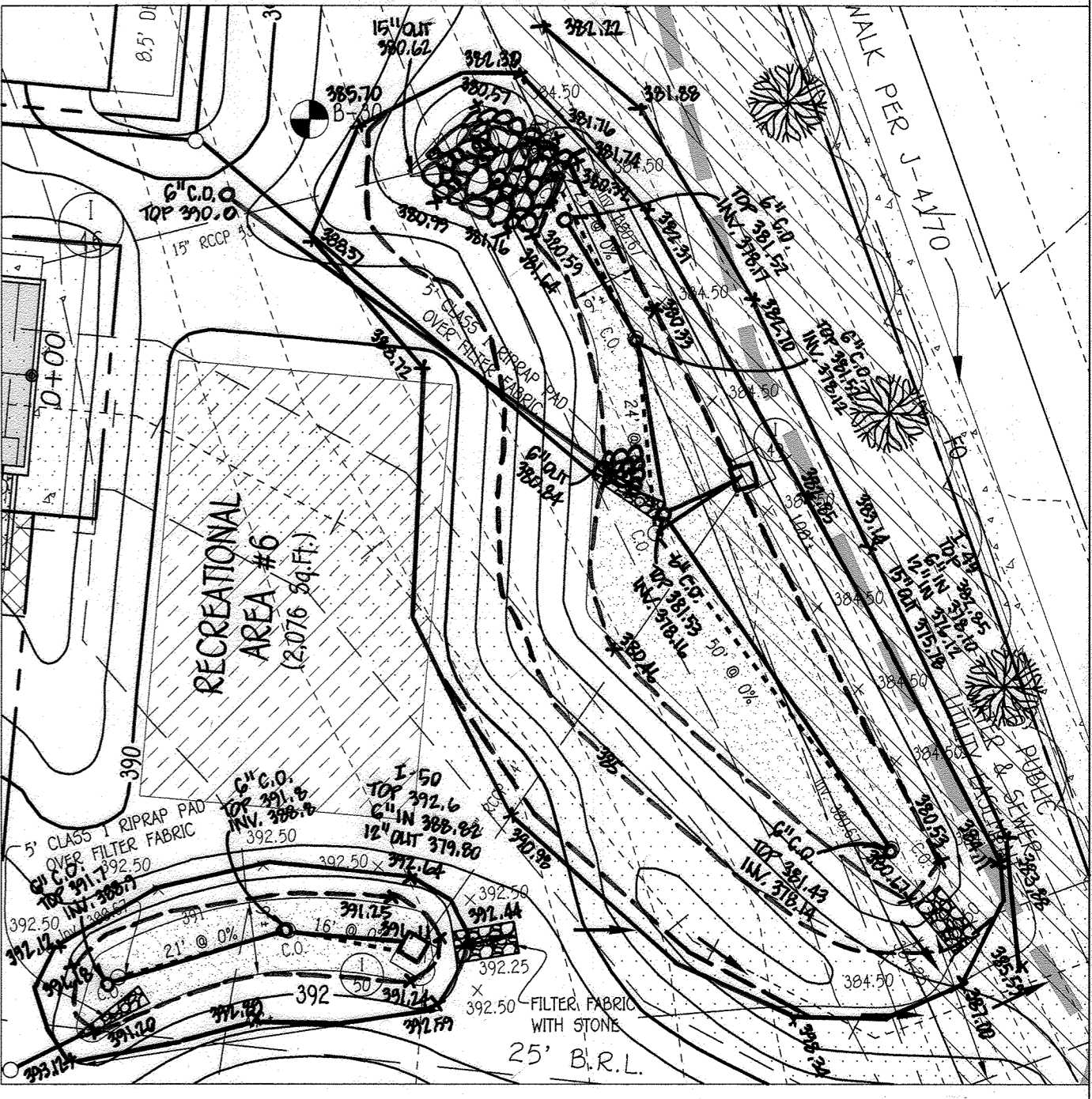
NOTE: SEE SHEET 27 FOR NEW STORMWATER MANAGEMENT LAYOUT
Revised 5/8/19

AS-BUILT CERTIFICATION FOR PSWM
I hereby certify that the facility shown on the plan was constructed as shown on the "AS BUILT" plans and complies with the approved plans and specifications. I have verified that the contributing drainage area is sufficiently sized to prevent clogging of the undergroud
Date 5/3/22



M-6 (8)
(MICRO BIO-RETENTION FACILITY)
SCALE: 1" = 20'
DRAINAGE AREA: 3,673 Sq.Ft.
FILTER AREA: 249 Sq.Ft.
ELEVATION 382
PERIMETER 280'
WEIR ELEVATION 382.00

M-6 (11)
(MICRO BIO-RETENTION FACILITY)
SCALE: 1" = 20'
DRAINAGE AREA: 5,024 Sq.Ft.
FILTER AREA: 325 Sq.Ft.
ELEVATION 395
PERIMETER 127'
WEIR ELEVATION 395.11



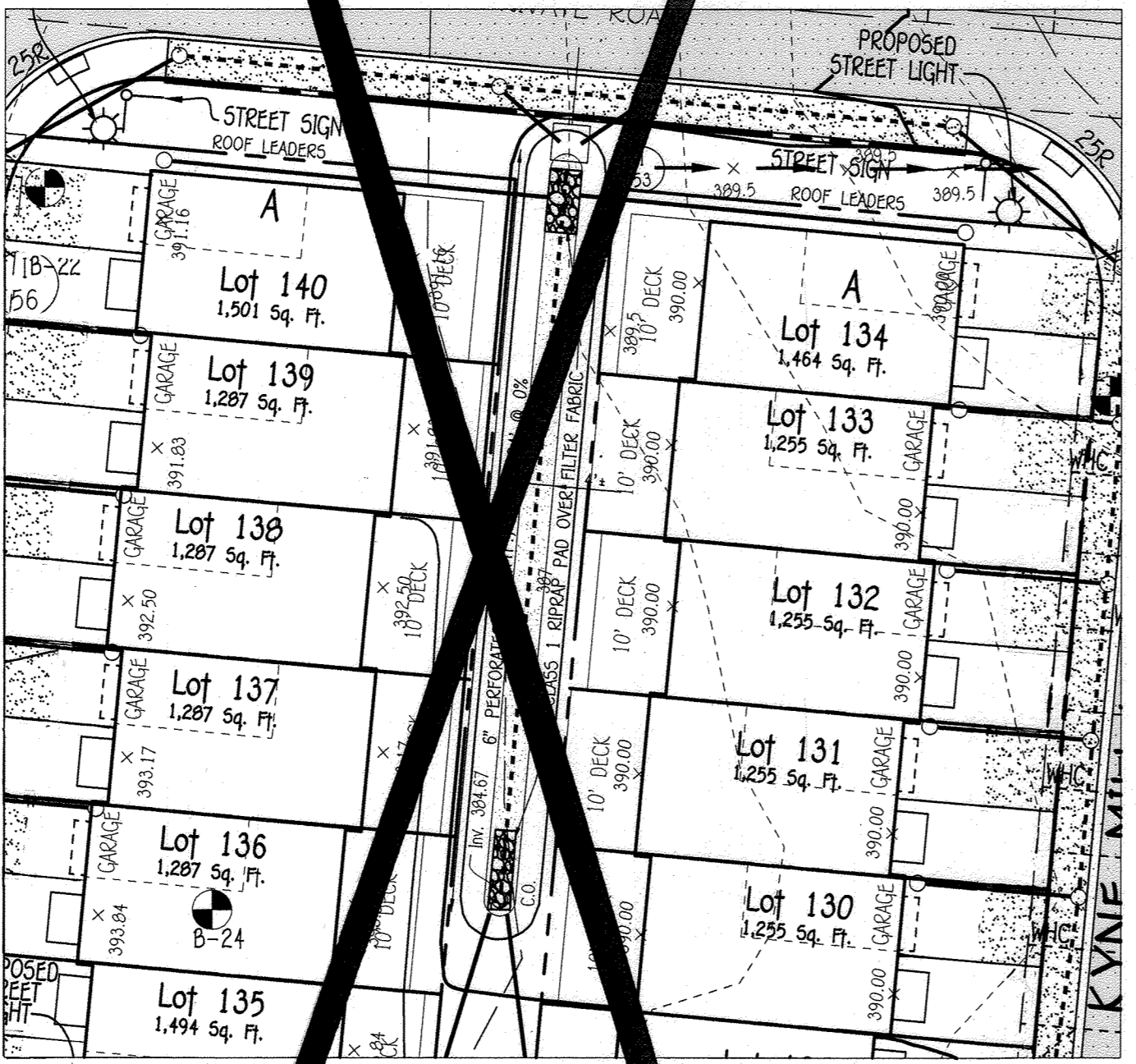
M-6 (10)
(MICRO BIO-RETENTION FACILITY)
SCALE: 1" = 20'
DRAINAGE AREA: 8,720 Sq.Ft.
FILTER AREA: 482 Sq.Ft.
ELEVATION 392
PERIMETER 113'
WEIR ELEVATION 392.00

M-6 (9)
(MICRO BIO-RETENTION FACILITY)
SCALE: 1" = 20'
DRAINAGE AREA: 21,850 Sq.Ft.
FILTER AREA: 1,681 Sq.Ft.
ELEVATION 384
PERIMETER 236'
WEIR ELEVATION 384.00

See sheet 28
For New Swm
Layout
Revised 12/21/21

M-6 (12)
(MICRO BIO-RETENTION FACILITY)
SCALE: 1" = 20'
DRAINAGE AREA: 3,831 Sq.Ft.
FILTER AREA: 127 Sq.Ft.
ELEVATION 380
PERIMETER 308'

NOTE: SEE SHEET 27 FOR NEW STORMWATER MANAGEMENT LAYOUT
Revised 5/8/19

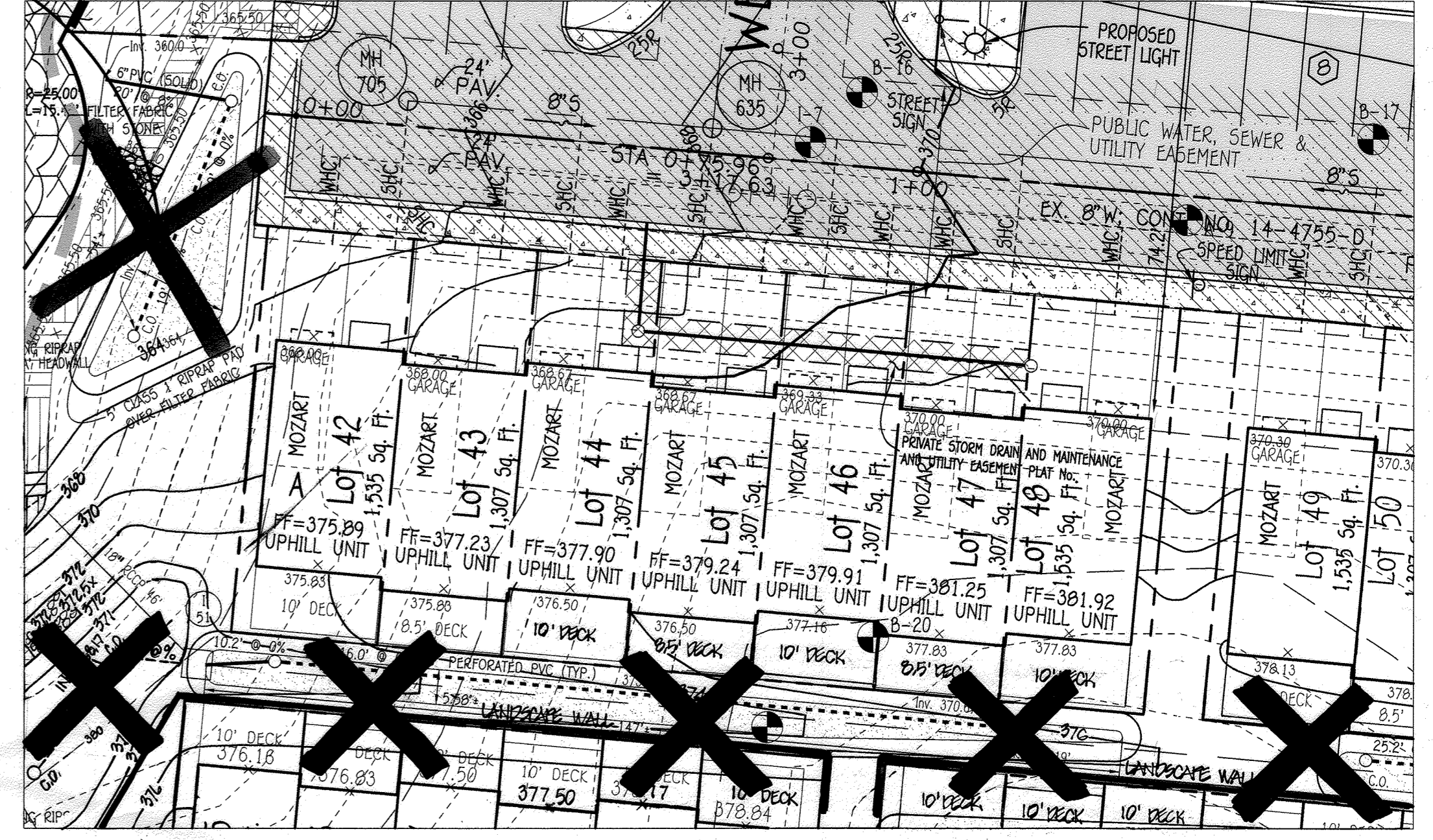


M-6 (5)
(MICRO BIO-RETENTION FACILITY)
SCALE: 1" = 20'
DRAINAGE AREA: 10,285 Sq.Ft.
FILTER AREA: 750 Sq.Ft.
ELEVATION 379
PERIMETER 157'
WEIR ELEVATION 380.00

M-6 (1)
(MICRO BIO-RETENTION FACILITY)
SCALE: 1" = 20'
DRAINAGE AREA: 10,700 Sq.Ft.
FILTER AREA: 383 Sq.Ft.
ELEVATION 380
PERIMETER 157'
WEIR ELEVATION 387.54

See sheet 28
For New Swm
Layout
Revised 12/21/21

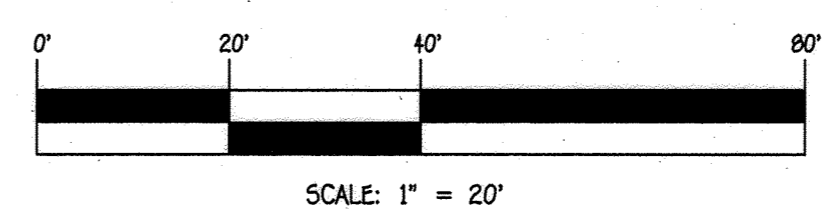
M-6 (2)
(MICRO BIO-RETENTION FACILITY)
SCALE: 1" = 20'
DRAINAGE AREA: 9,014 Sq.Ft.
FILTER AREA: 389 Sq.Ft.
ELEVATION 386
PERIMETER 201'
WEIR ELEVATION 386.00



M-6 (12)
(MICRO BIO-RETENTION FACILITY)
SCALE: 1" = 20'
DRAINAGE AREA: 15,687 Sq.Ft.
FILTER AREA: 545 Sq.Ft.
ELEVATION 381
PERIMETER 236'
WEIR ELEVATION 381.00

Revised 5/8/19

APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE 4/15/13



SCALE: 1" = 20'

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL OFFICE: 10725 BALTIMORE NATIONAL PARK
ELLICOTT CITY, MARYLAND 21042
(410) 461-2895

DATE	DESCRIPTION
12/21/21	Add Sheet 28 - Revise Bios 115 & 112
8/16/20	Revise Bio-Retention to Revise & Amend Numbers to Reflect New SWMT
7/16/19	Revise Title Block
7/14/19	Revise Title Block to Reflect Shopping Center
7/14/19	Revise Impervious Areas from Previous
7/02/14	Revise 28 - 0, 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED, APPROVED OR APPROVED BY ME AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
Frank John [Signature]
DATE 7/30/14

OWNERS
3330 ROGERS AVENUE LLC
SUITE 102
5300 DORSEY HALL DRIVE
ELLICOTT CITY, MD 21042
443-367-0422

DEVELOPER
M & T DEVELOPERS, LLC
4515 MANOR LANE
ELLICOTT CITY, MD 21042
443-367-0422

APPROVED: DEPARTMENT OF PLANNING AND ZONING [Signature] Director - Department of Planning and Zoning [Signature] Chief, Division of Land Development ps					
SUBDIVISION ELLICOTT CROSSING PART TWO		SECTION/AREA LOT NOS. N/A 40 THRU 140		DATE 8/4/19	
PLAT NOS. 2245-2250 2271-2276 2306-2308	PARCEL NOS. 852, 847	ZONE MXD-6	TAX MAP 24	ELEC. DIST. 2nd.	CENSUS TR. 6029

STORMWATER MANAGEMENT NOTES AND DETAILS
ELLICOTT CROSSING
PART TWO
LOTS 42 THRU 140, OPEN SPACE LOTS 141 THRU 144 & PARCEL 'K'
SINGLE FAMILY ATTACHED HOUSING, TWO STORY SHOPPING CENTER BUILDING AND GAZEBO
TAX MAP No.: 24 GRID Nos.: 6, 1 PARCEL Nos.: 852, 847
2nd ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2014
SHEET 13 OF 28

"AS-BUILT"

Infiltration and Filter System Construction Specifications

Infiltration and filter systems either take advantage of existing permeable soils or create a permeable medium such as sand for WC, and Re v. In some instances where permeability is great, these facilities may be used for Qp as well. The most common systems include infiltration trenches, infiltration basins, sand filters, and organic filters.

When properly planted, vegetation will thrive and enhance the functioning of these systems. For example, pre-treatment buffers will trap sediments that often are bound with phosphorous and metals. Vegetation planted in the facility will aid in nutrient uptake and water storage. Additionally, plant roots will provide arteries for stormwater to permeate soil for groundwater recharge. Finally, successful plantings provide aesthetic value and wildlife habitat making these facilities more desirable to the public.

Design Constraints:

- > Planting buffer strips of at least 20 feet will cause sediments to settle out before reaching the facility, thereby reducing the possibility of clogging.
- > Determine areas that will be saturated with water and water table depth so that appropriate plants may be selected (hydrology will be similar to bioretention facilities, see figure A.5 and Table A.4 for planting material guidance).
- > Plants known to send down deep taproots should be avoided in systems where filter fabric is used as part of facility design.
- > Test soil conditions to determine if soil amendments are necessary.
- > Plants shall be located so that access is possible for structure maintenance.
- > Stabilize heavy flow areas with erosion control mats or sod.
- > Temporally divert flows from seeded areas until vegetation is established.
- > See Table A.5 for additional design considerations.

Bio-retention

Soil Bed Characteristics

The characteristics of the soil for the bioretention facility are perhaps as important as the facility location, size, and treatment volume. The soil must be permeable enough to allow runoff to filter through the media, while having characteristics suitable to promote and sustain a robust vegetative cover crop. In addition, much of the nutrient pollutant uptake (nitrogen and phosphorus) is accomplished through absorption and microbial activity within the soil profile. Therefore, soils must balance their chemical and physical properties to support biotic communities above and below ground.

The planting soil should be a sandy loam, loamy sand, loam (USDA), or a loam/sand mix (should contain a minimum 35 to 60% sand, by volume). The clay content for these soils should be less than 25% by volume (Environmental Quality Resources (EQR), 1996; Engineering Technology Inc. and Biohabitats, Inc. (ETAB), 1993). Soils should fall within the SM, ML, SC classifications or the Unified Soil Classification System (USCS). A permeability of at least 1.0 feet per day (0.27/hr) is required (a conservative value of 0.5 feet per day is used for design). The soil should be free of stones, stumps, roots, or other woody material over 1" in diameter. Brush or seeds from noxious weeds (e.g., Johnson Grass, Mugwort, Nutsedge, and Canada Thistle or other noxious weeds as specified under COMAR 15.08.01.05.) should not be present in the soils. Placement of the planting soil should be in 12 to 18 lifts that are loosely compacted (tamped lightly with a backhoe bucket or traversed by dozer tracks). The specific characteristics are presented in Table A.3.

Table A.3 Planting Soil Characteristics

Parameter	Value
pH range	5.2 to 7.00
Organic matter	1.5 to 4.0% (by weight)
Magnesium	35 lbs. per acre, minimum
Phosphorus (phosphate - P2O5)	75 lbs. per acre, minimum
Potassium (potash - K2O)	85 lbs. per acre, minimum
Soluble salts	500 ppm
Clay	10 to 25 %
Silt	30 to 55 %
Sand	35 to 60%

Mulch Layer

The mulch layer plays an important role in the performance of the bioretention system. The mulch layer helps maintain soil moisture and avoids surface sealing, which reduces permeability. Mulch helps prevent erosion, and provides a microenvironment suitable for soil biota at the mulch/soil interface. It also serves as a pretreatment layer, trapping the finer sediments, which remain suspended after the primary pretreatment.

The mulch layer should be standard landscape style, single or double shredded hardwood mulch or chips. The mulch layer should be well aged (stockpiled or stored for at least 12 months), uniform in color, and free of other materials, such as weed seeds, soil, roots, etc. The mulch should be applied to a maximum depth of three inches. Grass clippings should not be used as a mulch material.

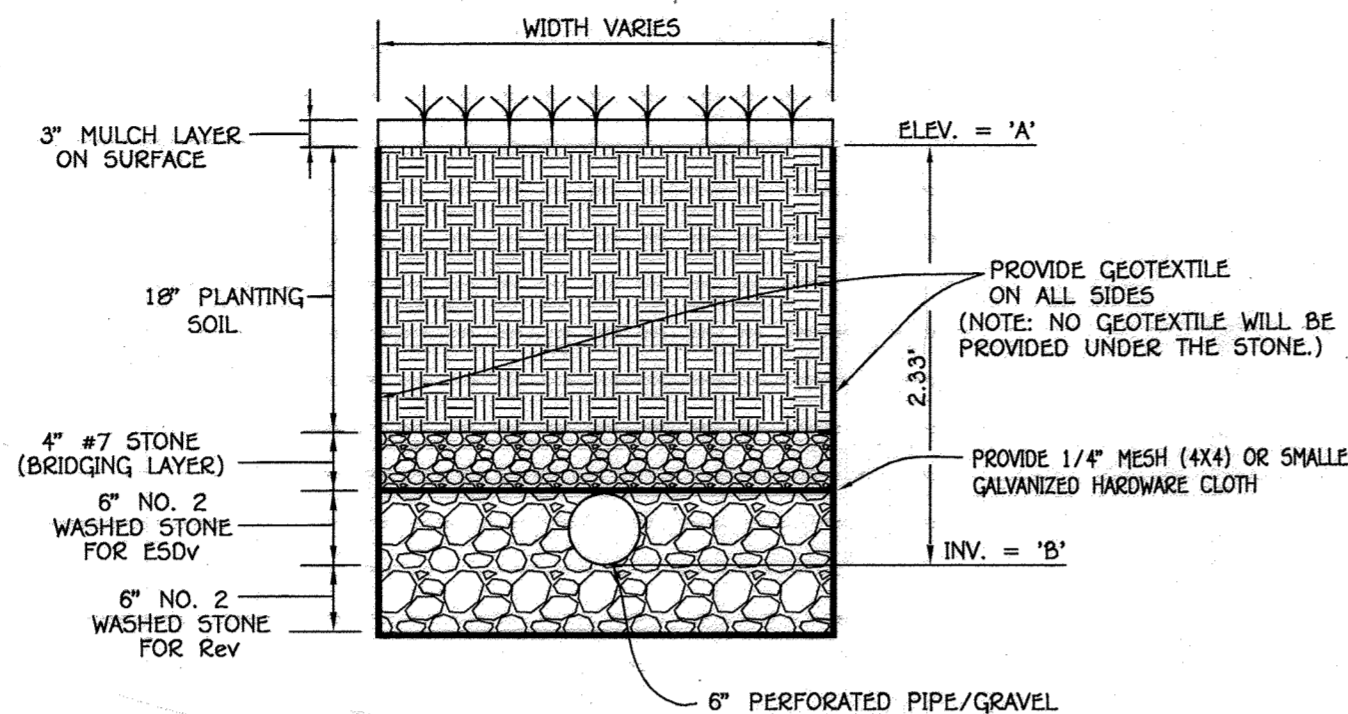
Planting Guidance

Plant material selection should be based on the goal of simulating a terrestrial forested community of native species. Bioretention simulates an upland-species ecosystem. The community should be dominated by trees, but have a distinct community of understory trees, shrubs and herbaceous materials. By creating a diverse, dense plant cover, a bioretention facility will be able to treat stormwater runoff and withstand urban stresses from insects, disease, drought, temperature, wind, and exposure. The proper selection and installation of plant materials is key to a successful system. There are essentially three zones within a bioretention facility (Figure A.5). The lowest elevation supports plant species adapted to standing and fluctuating water levels. The middle elevation supports plants that like drier soil conditions, but can still tolerate occasional inundation by water. The outer edge is the highest elevation and generally supports plants adapted to drier conditions. A sample of appropriate plant materials for bioretention facilities are included in Table A.4. The layout of plant material should be flexible, but should follow the general principals described in Table A.5. The objective is to have a system, which resembles a random, and natural plant layout, while maintaining optimal conditions for plant establishment and growth. For a more extensive bioretention plan, consult ETAB, 1993 or Claytor and Schueier, 1997.

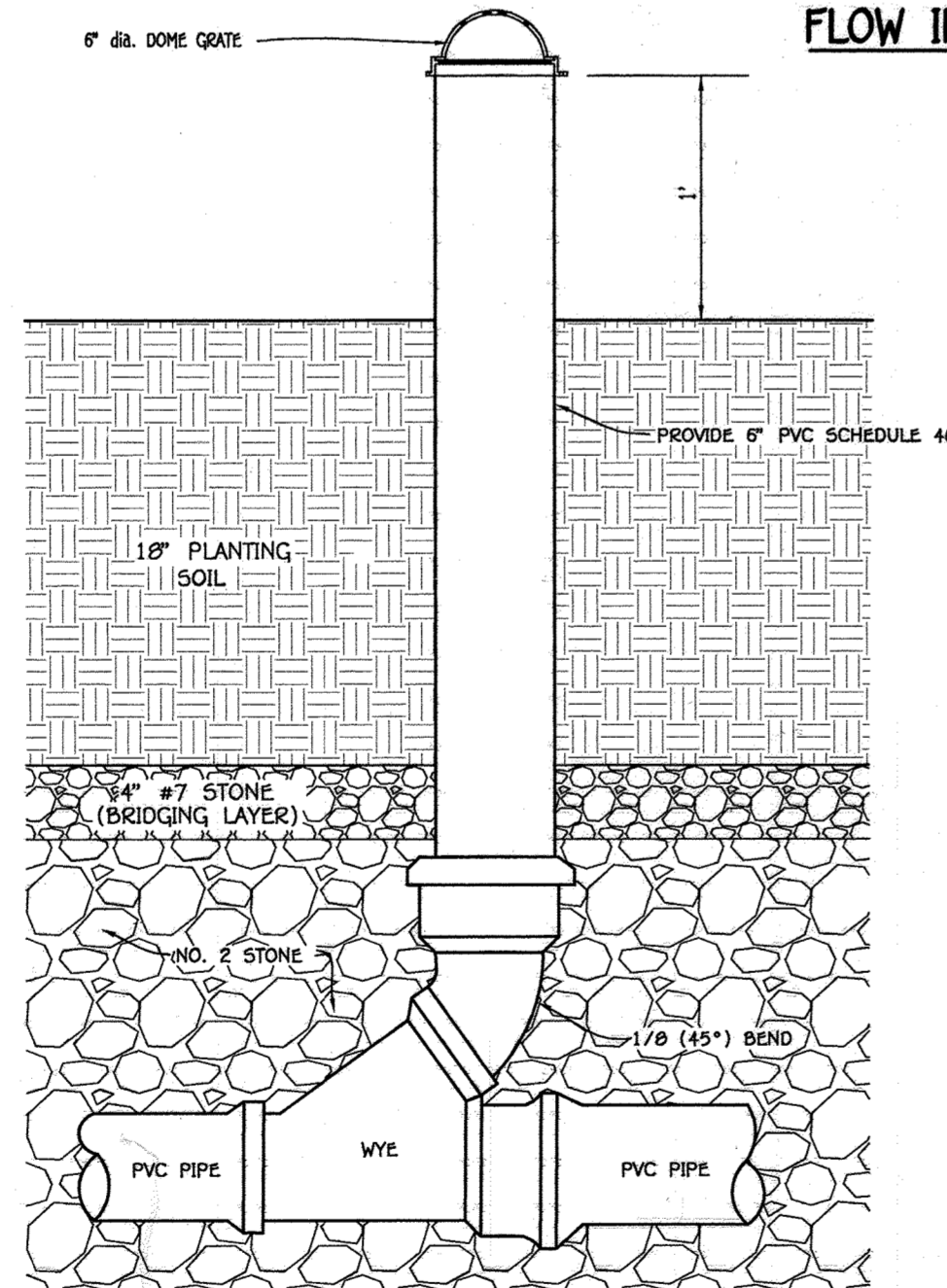
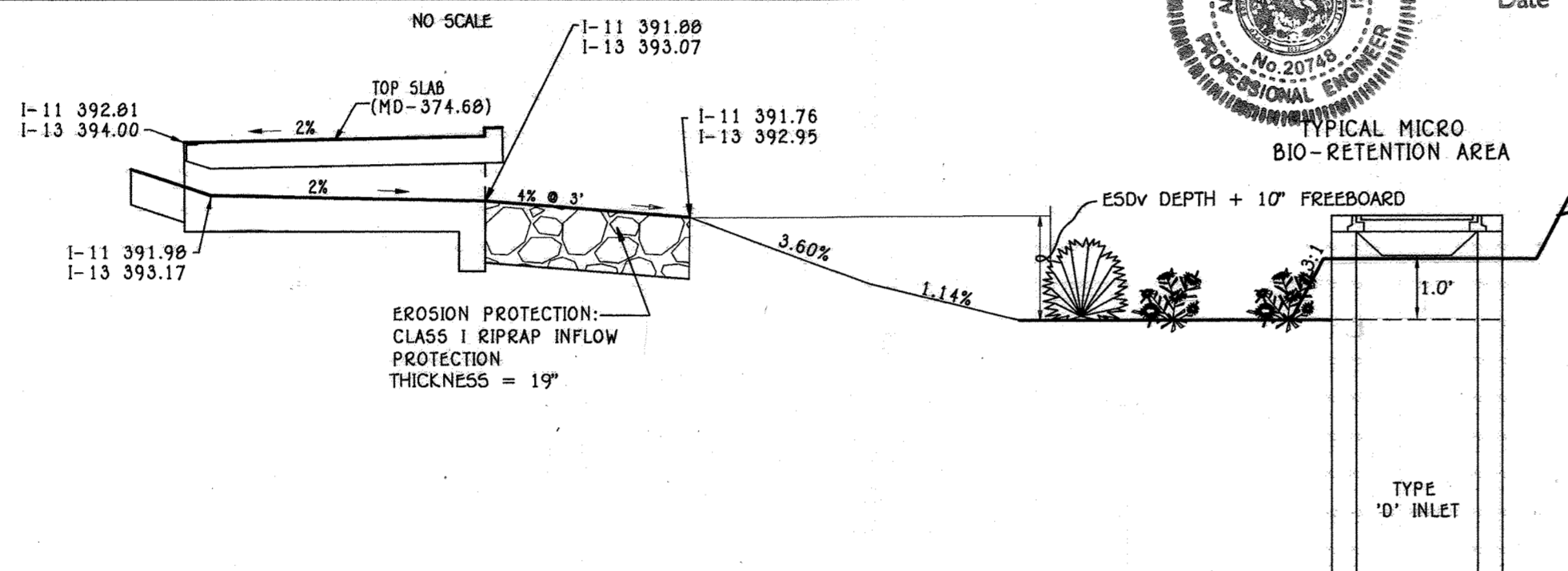
OPERATION AND MAINTENANCE SCHEDULE FOR BIO-RETENTION AREAS (M-6)

- ANNUAL MAINTENANCE OF PLANT MATERIAL, MULCH LAYER AND SOIL LAYER IS REQUIRED. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING.
- SCHEDULE OF PLANT INSPECTION WILL BE TWICE A YEAR IN SPRING AND FALL. THIS INSPECTION WILL INCLUDE REMOVAL OF DEAD AND DISEASED VEGETATION CONSIDER BEYOND TREATMENT. TREATMENT OF ALL DISEASED TREES AND SHRUBS AND REPLACEMENT OF ALL DEFICIENT STAKES AND WIRES.
- MULCH SHALL BE INSPECTED EACH SPRING. REMOVE EXCESSIVE MULCH LAYER BEFORE APPLYING NEW LAYER ONCE EVERY 2 TO 3 YEARS.
- SOIL EROSION TO BE ADDRESSED ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONE PER MONTH AND AFTER HEAVY STORM EVENTS.

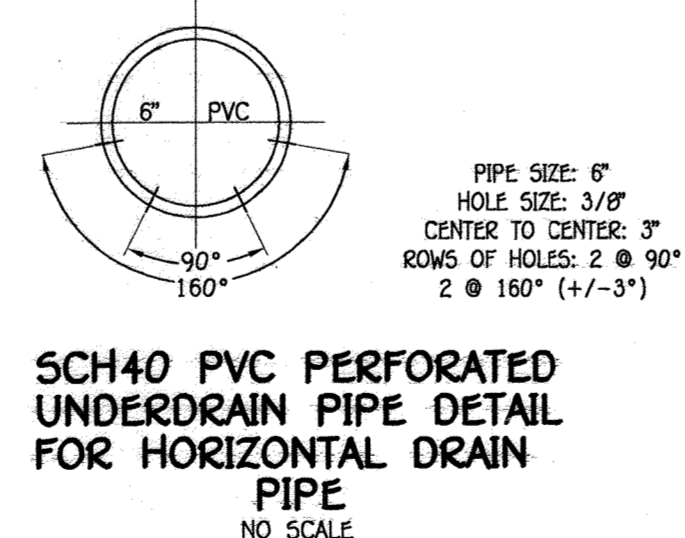
FACILITY NO.	A	B
M-6 (1)	302.66	302.67
M-6 (2)	309.00	302.67
M-6 (9)	375.00	376.67
M-6 (4)	373.00	376.67
M-6 (5)	379.00	376.67
M-6 (6)	375.00	372.67
M-6 (7)	379.00	376.67
M-6 (8)	381.00	378.67
M-6 (9)	381.00	378.67
M-6 (10)	391.00	388.67
M-6 (11)	394.00	391.67
M-6 (12)	384.00	381.67
M-6 (13)	354.00	351.67



TYPICAL SECTION - BIO-RETENTION FACILITY (M-6)



TYPICAL CLEAN-OUT DETAIL



SCH40 PVC PERFORATED UNDERDRAIN PIPE DETAIL FOR HORIZONTAL DRAIN PIPE

AS-BUILT CERTIFICATION FOR PSWM
I hereby certify that the facility shown on the plan was constructed as shown on the "AS BUILT" plans and complies with the approved plans and specifications. I have verified that the contributing drainage area is sufficiently stable to prevent clogging of the underdrain.



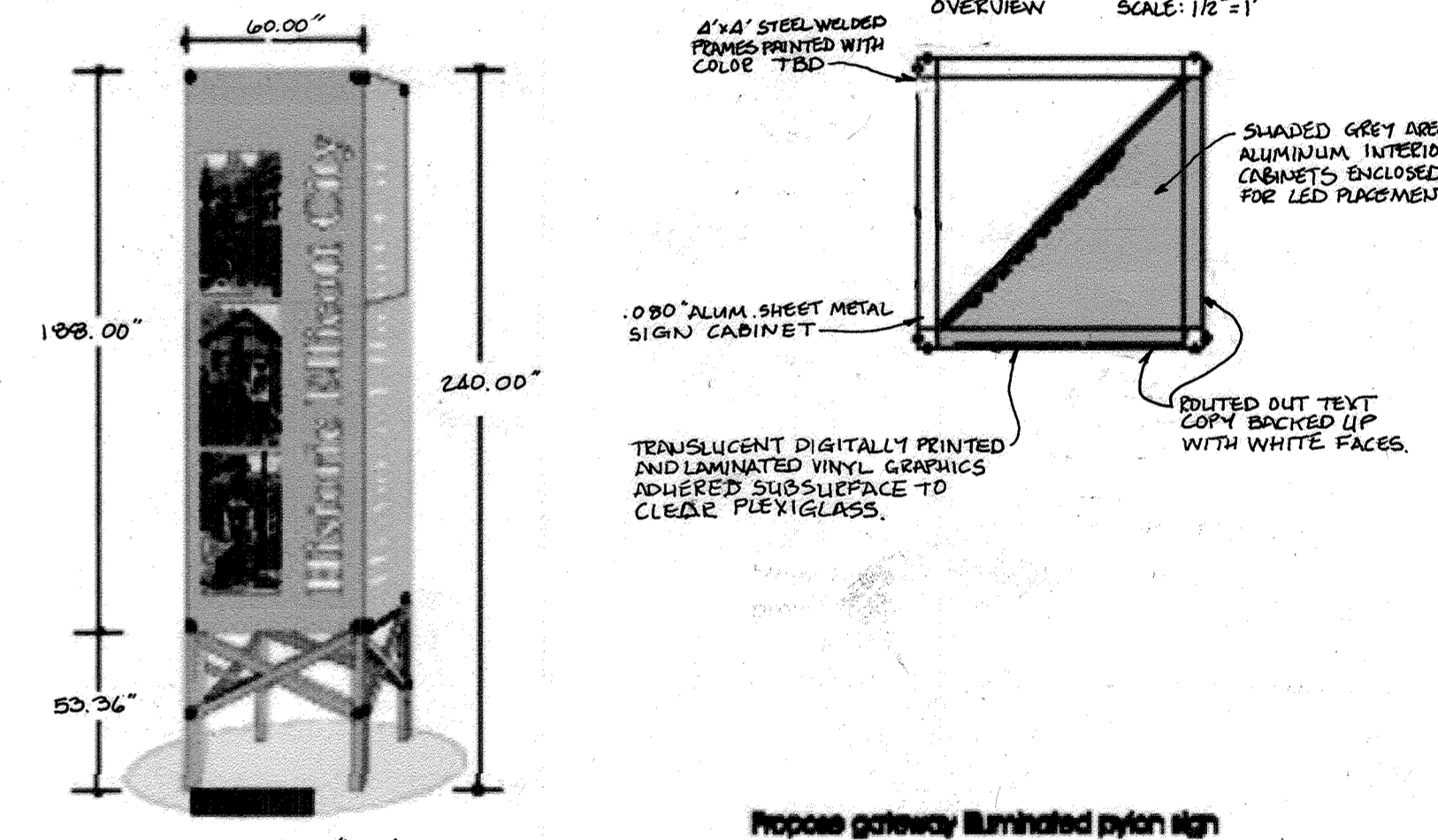
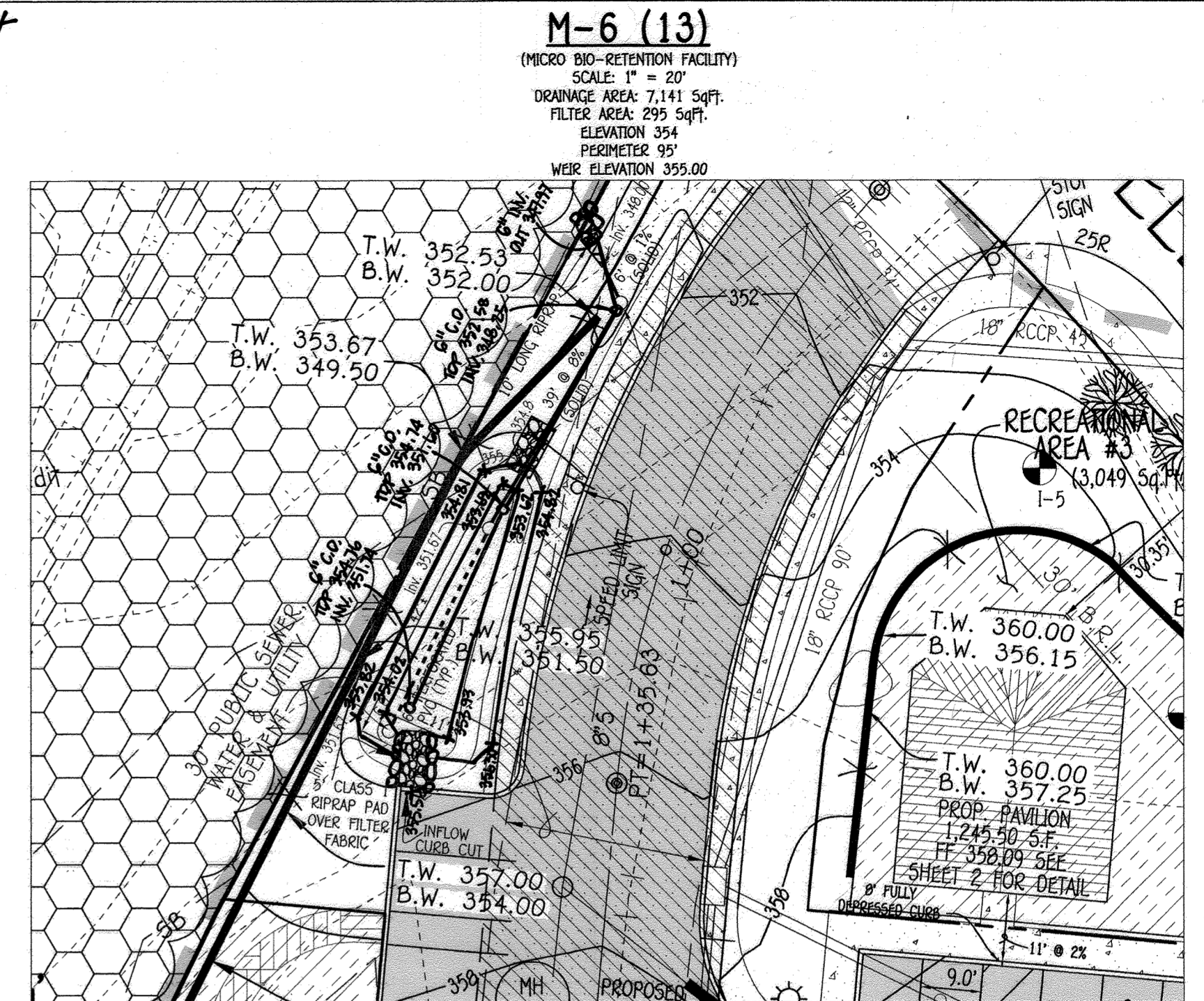
See sheet 2B For New Swm Layout (M-6) 715 & 712

Revised 12/21/21

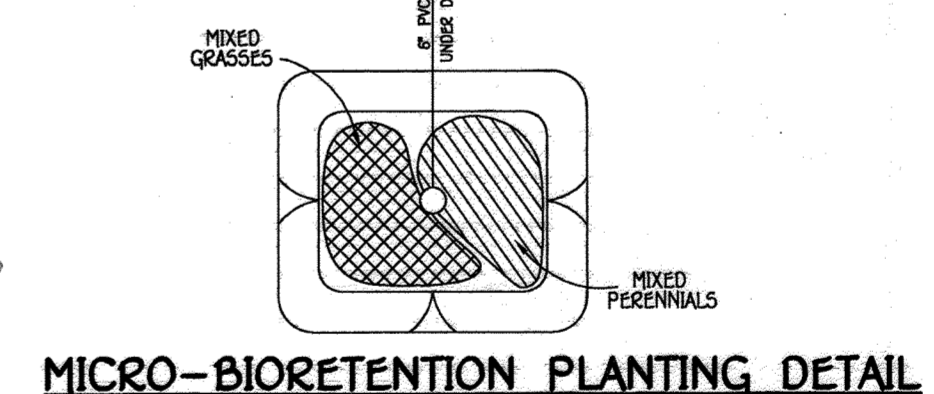
Revised 6/8/19

DRAINAGE AREA M-6 (1) MICRO-BIORETENTION PLANT MATERIAL	QUANTITY	NAME	MAXIMUM SPACING (FT.)
96 PERENNIALS			1 FT.
48 SHRUBS			2 FT.
DRAINAGE AREA M-6 (2) MICRO-BIORETENTION PLANT MATERIAL	QUANTITY	NAME	MAXIMUM SPACING (FT.)
96 PERENNIALS			1 FT.
48 SHRUBS			2 FT.
DRAINAGE AREA M-6 (3) MICRO-BIORETENTION PLANT MATERIAL	QUANTITY	NAME	MAXIMUM SPACING (FT.)
300 PERENNIALS			1 FT.
150 SHRUBS			2 FT.
DRAINAGE AREA M-6 (4) MICRO-BIORETENTION PLANT MATERIAL	QUANTITY	NAME	MAXIMUM SPACING (FT.)
180 PERENNIALS			1 FT.
90 SHRUBS			2 FT.
DRAINAGE AREA M-6 (5) MICRO-BIORETENTION PLANT MATERIAL	QUANTITY	NAME	MAXIMUM SPACING (FT.)
180 PERENNIALS			1 FT.
90 SHRUBS			2 FT.
DRAINAGE AREA M-6 (6) MICRO-BIORETENTION PLANT MATERIAL	QUANTITY	NAME	MAXIMUM SPACING (FT.)
22 PERENNIALS			1 FT.
11 SHRUBS			2 FT.
DRAINAGE AREA M-6 (7) MICRO-BIORETENTION PLANT MATERIAL	QUANTITY	NAME	MAXIMUM SPACING (FT.)
32 PERENNIALS			1 FT.
16 SHRUBS			2 FT.
DRAINAGE AREA M-6 (8) MICRO-BIORETENTION PLANT MATERIAL	QUANTITY	NAME	MAXIMUM SPACING (FT.)
62 PERENNIALS			1 FT.
31 SHRUBS			2 FT.
DRAINAGE AREA M-6 (9) MICRO-BIORETENTION PLANT MATERIAL	QUANTITY	NAME	MAXIMUM SPACING (FT.)
400 PERENNIALS			1 FT.
200 SHRUBS			2 FT.
DRAINAGE AREA M-6 (10) MICRO-BIORETENTION PLANT MATERIAL	QUANTITY	NAME	MAXIMUM SPACING (FT.)
112 PERENNIALS			1 FT.
56 SHRUBS			2 FT.
DRAINAGE AREA M-6 (11) MICRO-BIORETENTION PLANT MATERIAL	QUANTITY	NAME	MAXIMUM SPACING (FT.)
80 PERENNIALS			1 FT.
40 SHRUBS			2 FT.
DRAINAGE AREA M-6 (12) MICRO-BIORETENTION PLANT MATERIAL	QUANTITY	NAME	MAXIMUM SPACING (FT.)
116 PERENNIALS			1 FT.
58 SHRUBS			2 FT.
DRAINAGE AREA M-6 (13) MICRO-BIORETENTION PLANT MATERIAL	QUANTITY	NAME	MAXIMUM SPACING (FT.)
73 PERENNIALS			1 FT.
37 SHRUBS			2 FT.

Revised 12/21/21



ENTRANCE SIGN



MICRO-BIORETENTION PLANTING DETAIL

APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE 4/15/13

(MICRO - BIORETENTION FACILITIES)

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042
(410) 461-2095

DATE	DESCRIPTION
12/21/21	Add sheet 2B- Revise Bios 715 & 712
9/22/19	REVISED SHEET NUMBER TO REFLECT NEW SHEET & REMOVE PLANT MATERIAL QUANTITIES
9/10/19	REVISED TITLE BLOCK
8/10/19	REVISED TITLE BLOCK TO REFLECT SHOPPING CENTER
7/14/19	REVISED TITLE BLOCK TO REFLECT COMMERCIAL BUILDING
7/12/14	ADDED BUILDINGS FOR THIS SECTION

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME AND THAT I AM A PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. My Registration No. is 20745. My Registration Date is 7/14/15.
FRANK J. [Name] 7/23/13

OWNERS
3330 ROGERS AVENUE LLC
SUITE 102
5300 DORSEY HALL DRIVE
ELICOTT CITY, MD 21042
443-367-0422

DEVELOPER
M & T DEVELOPERS, LLC
4515 MANOR LANE
ELICOTT CITY, MD 21042
443-367-0422

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Masha M. [Name] 11/13/13
Director - Department of Planning and Zoning
Karl [Name] 11-08-13
Chief, Division of Land Development
Dany [Name] 10-25-13
Chief, Development Engineering Division

SECTION/AREA	LOT NOS.
N/A	42 THRU 140

STORMWATER MANAGEMENT NOTES AND DETAILS
ELICOTT CROSSING
PART TWO
LOTS 42 THRU 140, OPEN SPACE LOTS 141 THRU 144 & PARCEL 'K'
SINGLE FAMILY ATTACHED HOUSING, TWO STORY SHOPPING CENTER BUILDING AND GAZEBO
TAX MAP No.: 24 GRID Nos.: 6, 1 PARCEL Nos.: 852, 847
2nd ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2014
SHEET 14 OF 28 SDP-13-004

"AS-BUILT"

Construction Specifications for Environmental Site Design Practices

B.4.B Specifications for Permeable Pavements & Reinforced Turf

These specifications include information on acceptable materials for typical applications and are not exclusive or limiting. The designer is responsible for developing detailed specifications for individual projects and specific conditions.

1. Pervious Concrete Specifications

Design Thickness -- Pervious concrete applications shall be designed so that the thickness of the concrete slab shall support the traffic and vehicle types that will be carried. Applications may be designed using either standard pavement procedures (e.g., AASHTO, ACI 308.1R, ACI 308.2R) or using structural values derived from flexible pavement design procedures.

Mix & Installation -- Traditional Portland cements (ASTM C 150, C 1157) may be used in pervious concrete applications. Phosphorus admixtures may also be used. Materials should be tested (e.g., trial batching) prior to construction so that critical properties (e.g., setting time, rate of strength development, porosity, permeability) can be determined.

Aggregate -- Pervious concrete contains a limited fine aggregate content. Commonly used gradations include ASTM C 33 No. 67 (3% in. to No. 4), No. 8 (1/8 in. to No. 16) and No. 20 (3/8 in. to No. 50) sieves. Single-sized aggregate (up to 1 inch) may also be used.

Water Content -- Water-to-cement ratios between 0.27 and 0.30 are used routinely with proper inclusion of chemical admixtures. Water quality should meet ACI 308. As a general rule, potable water should be used although recycled concrete production water meeting ASTM C 94 or AASHTO M 157 may also be used.

Admixtures -- Chemical admixtures (e.g., retarders or hydration-stabilizers) are used to obtain special properties in pervious concrete. Use of admixtures should meet ASTM C 494 (chemical admixtures) and ASTM C 260 (air entraining admixtures) and closely follow manufacturer's recommendations.

Base Course -- The base course shall be AASHTO No. 3 or 4 course aggregate with an assumed open pore space of 30% (n = 0.30).

2. Permeable Interlocking Concrete Pavements (PICP)

Paver Blocks -- Blocks should be either 3 1/8 in. or 4 in. thick, and meet ASTM C 936 or CSA A23 1.2 requirements. Applications should have 20% or more (40% preferred) of the surface area open. Installation should follow manufacturer's instructions, except that infill and base course materials and dimensions specified in this Appendix shall be followed.

Infill Materials and Leveling Course -- Openings shall be filled with ASTM C-33 graded sand or sandy loam. PICP blocks shall be placed on a one-inch thick leveling course of ASTM C-33 sand.

Base Course -- The base course shall be AASHTO No. 3 or 4 course aggregate with an assumed open pore space of 30% (n = 0.30).

Underdrains -- Underdrains should meet the following criteria:
 • Pipe -- Should be 4" to 6" diameter, slotted or perforated rigid plastic pipe (ASTM F 798, Type P5 28, or AASHTO M-278) in a gravel layer. The preferred material is slotted, 4" rigid pipe (e.g., PVC or HDPE).
 • Perforations -- If perforated pipe is used, perforations should be 3/8" diameter located 6" on center with a minimum of four holes per row. Pipe shall be wrapped with a 1/4" (No. 4 or 4x4) galvanized hardware cloth.
 • Gravel -- The gravel layer shall be at least 3" thick above and below the underdrain.
 • The main collector pipe shall be at a minimum 0.5% slope.
 • A rigid, non-perforated observation well must be provided (one per every 1,000 square feet) to provide a clean-out port and monitor performance of the filter section.
 • A 4" layer of sand shall be located between the filter media and underdrain to prevent migration of fines into the underdrain.

Lamp Hole Frame & Cover
 NOTE: Material shall be gray iron casting. Castings must be machined on bearing surfaces.

These practices may not be constructed until all contributing drainage area has been stabilized

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED PERMEABLE PAVEMENT SYSTEMS (A-2)

General:

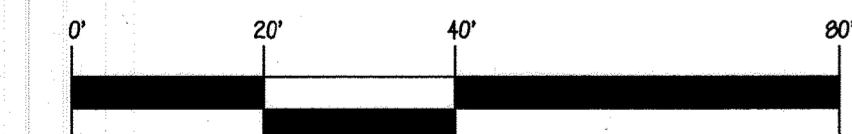
1. Remove grass clippings when mowing areas adjacent to the permeable pavement system.
2. Use deicers moderation. When used, deicers should be non-toxic and organic and can be applied either as calcium magnesium acetate or as pretreated salt.
3. Snow plowing should be done carefully with blades set one-inch higher than normal.
4. Plowed snow piles and snowmelt should not be directed to permeable pavement.
5. The repair or replacement of components must meet the original design specifications.

Quarterly and after every large storm event:

1. Ensure that the permeable pavement surface is free of any obstructions such that may clog or inhibit the system from performing as designed, such as sand, sediment, mulch, leaves, branches and other debris.
2. Inspect the permeable pavement system for standing water in order to verify that the system is dewatering between storm events as required.
3. Inspect cleanouts, sampling ports, underdrain outlets, and structures. Clear any obstructions encountered.
4. Maintain stable ground cover must be maintained in areas draining into the permeable pavement. Inspect lawn and landscape areas contributing drainage to the system. Repair any erosion immediately.

Annually:

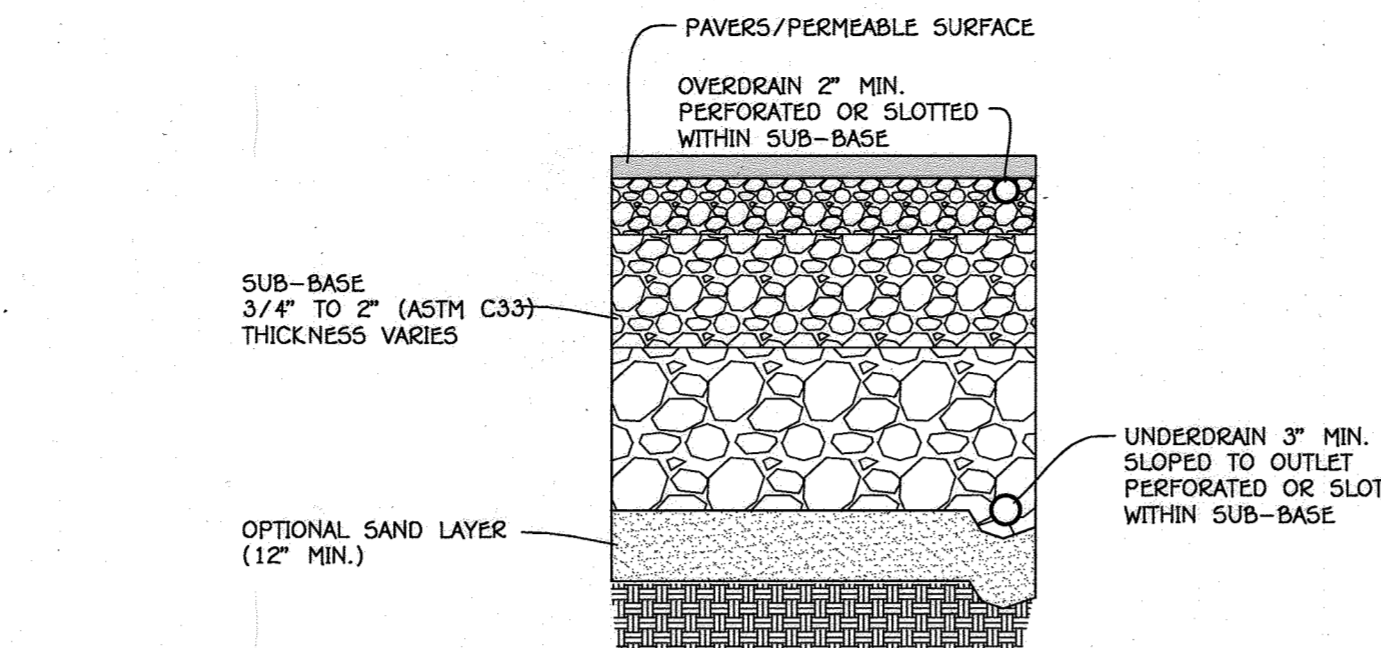
1. Vacuum sweep permeable pavement surface with a commercial cleaning unit.
2. Inspect the permeable pavement surface for deterioration.
3. Clean pipes, inlets, underdrains drains, overdrains and other structures within or draining to the permeable pavement system.



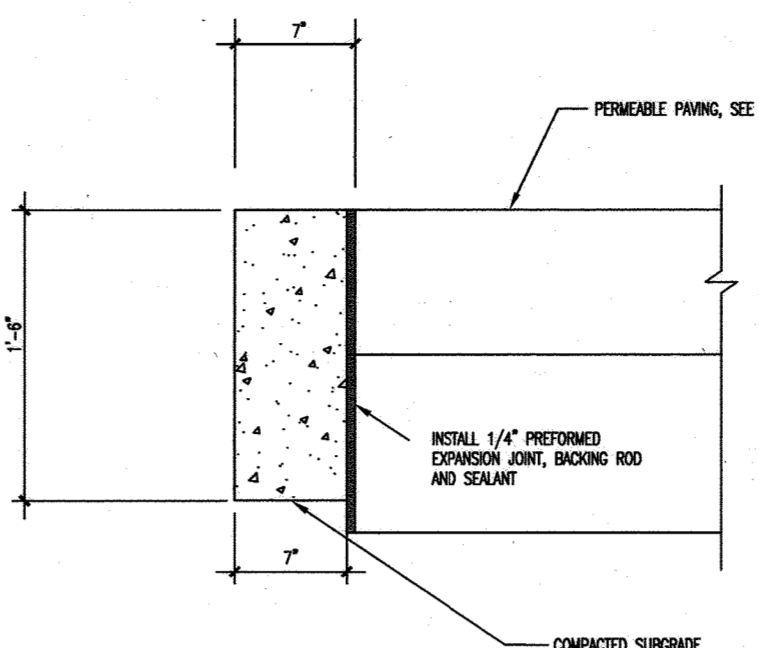
SCALE: 1" = 20'

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 10725 BALTIMORE NATIONAL FILE
 ELLICOTT CITY, MARYLAND 21042
 (410) 461-2892

DATE	DESCRIPTION	REVISION BLOCK
12/21/21	Add sheet 2B	
5/22/19	REVISED SHEET NUMBER TO REFLECT ADDED SHEET	
9/10/18	REVISED TITLE BLOCK	
9/10/18	REVISED TITLE BLOCK TO REFLECT SHOPPING CENTER	
9/11/18	REVISED TITLE BLOCK TO REFLECT SHOPPING CENTER	
7/20/18	ADDED BUILDINGS FOR THIS SECTION	



TYPICAL SECTION - PERMEABLE PAVEMENT w/ OVERDRAIN & UNDERDRAIN
NO SCALE



CONCRETE EDGING
N.T.S.

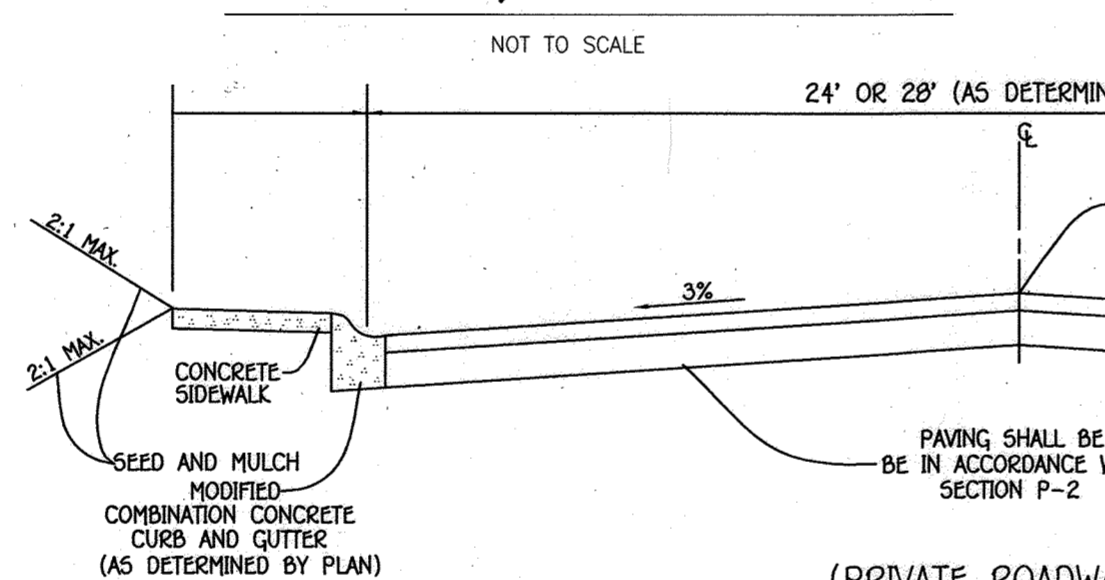
PERMEABLE PAVING CHART

PERM. PAV. AREA NO.	DEPTH
A-2 (1)	2.40'
A-2 (2)	2.38'
A-2 (3)	2.36'
A-2 (4)	2.26'
A-2 (5)	1.68'
A-2 (6)	1.98'
A-2 (7)	2.40'
A-2 (8)	2.41'

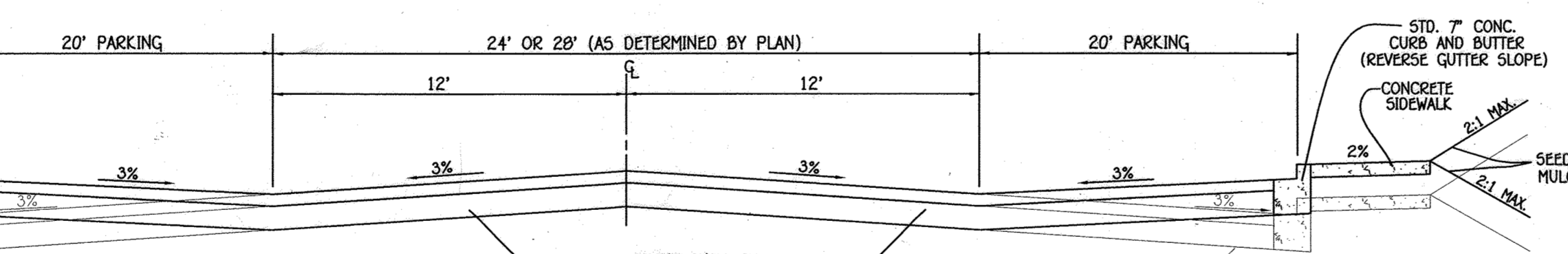
OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED PERMEABLE PAVEMENT (A-2)

- a. The owner shall periodically sweep (or vacuum porous concrete pavement) the pavement surfaces to reduce sediment accumulation and insure continued surface porosity. Sweeping should be performed at least twice annually with a commercial cleaning unit. Washing or compressed air units should not be used to perform surface cleaning.
- b. The owner shall periodically clean drainage pipes, inlets, stone edge drains and other structures within or draining to the subsurface.
- c. The owner shall use deicers in moderation. Deicers should be non-toxic and be applied either as calcium magnesium acetate or as pretreated salt.
- d. The owner shall ensure snow plowing is performed carefully with blades set one inch above the surface. Plowed snow piles and snowmelt should not be directed to permeable pavement.

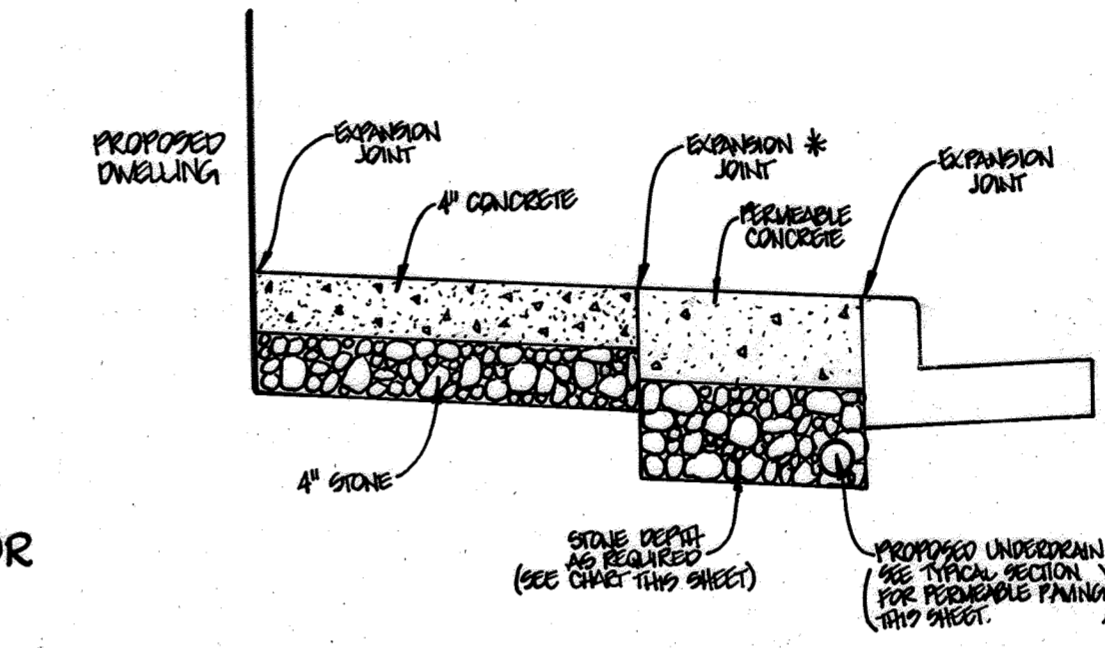
CLEANOUT/ WATER QUALITY SAMPLING PORT DETAIL



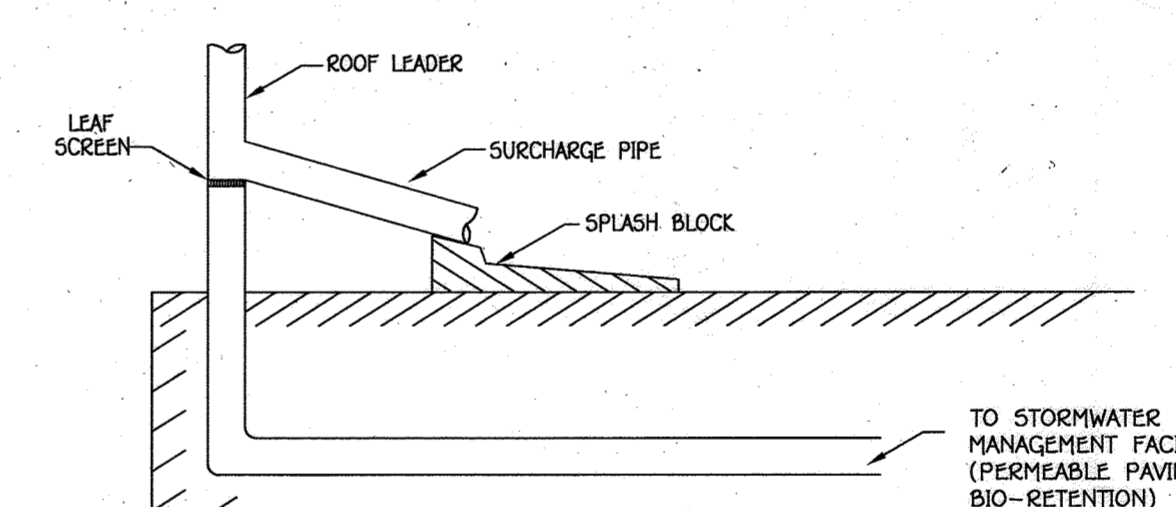
CLEANOUT/ WATER QUALITY SAMPLING PORT DETAIL
NO SCALE



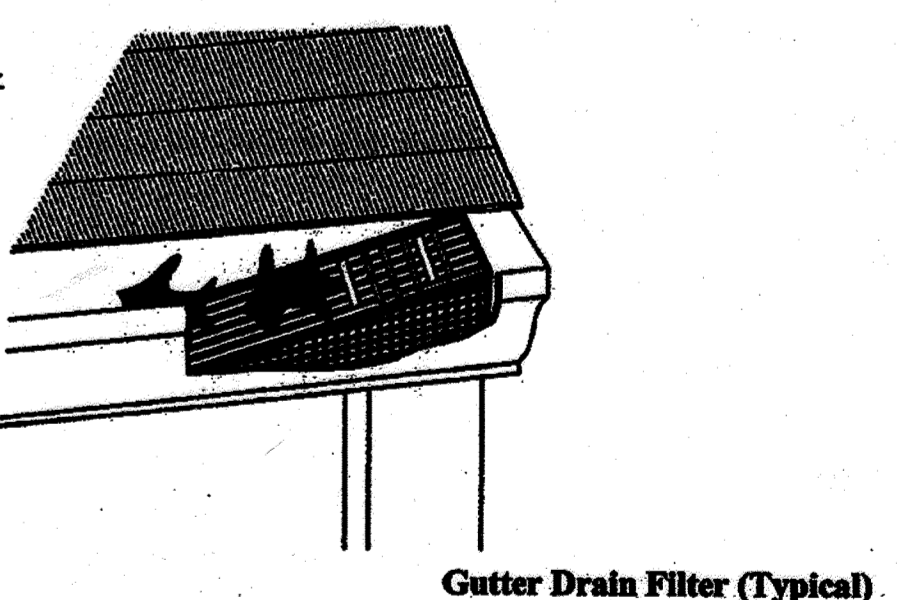
TYPICAL ROADWAY SECTION WITH OFF-STREET PARKING
NO SCALE



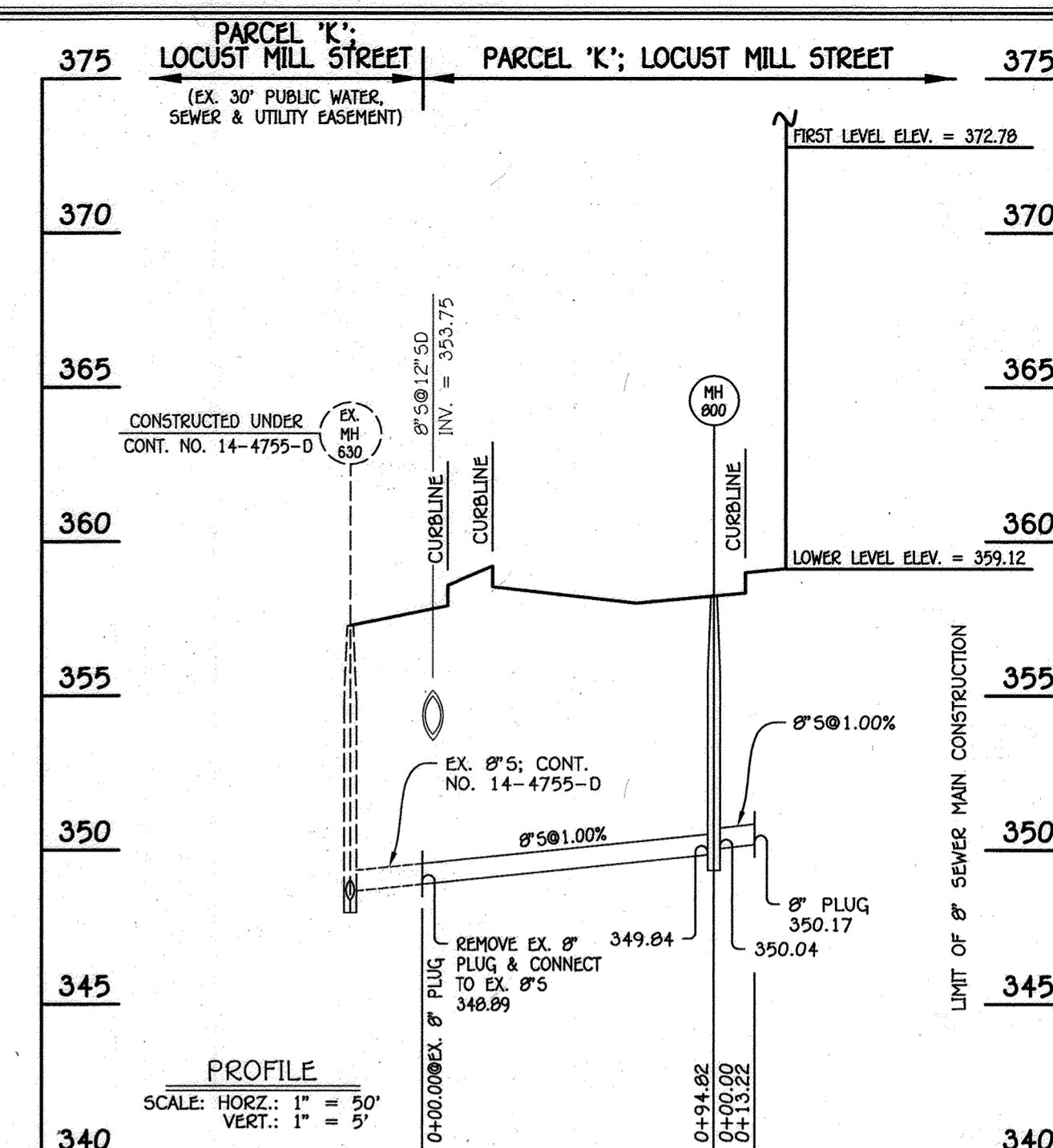
TYPICAL PERMEABLE DRIVEWAY DETAIL
NOT TO SCALE
*EXPANSION JOINT SHALL BE "PIECE EXPANSION JOINT," AS MANUFACTURED BY W.R. MEADOWS, OR APPROVED EQUAL



ROOF DOWN SPOUT DETAIL
NOT TO SCALE



Gutter Drain Filter (Typical)



8" SEWER MAIN: SHOPPING CENTER BUILDING

MANHOLE TABULATION CHART

NO.	NORTHING	EASTING	RIM ELEVATION
800	587579.72	1366194.60	358.30
8" PLUG	587566.55	1366193.40	---

NOTE: SET MH RIM FLUSH W/PROPOSED GRADE.

AS-BUILT CERTIFICATION FOR PSWM

Note: The "AS-BUILT" information provided is for informational purposes only.



APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 DATE 4/15/19

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Maude M. Coughlin
 Director - Department of Planning and Zoning
 Date 11/9/18

Walter L. ...
 Chief, Division of Land Development
 Date 11-02-13

Chad ...
 Chief, Development Engineering Division
 Date 10-25-13

SUBDIVISION	SECTION/AREA	LOT NOS.
ELLICOTT CROSSING PART TWO	N/A	AL THRU 40
PLAT NOS.	PARCEL NOS.	ZONE
22871-22875	852, 847	MXD-6
22876-22880		
22881-22900		
22901-22902		

STORMWATER MANAGEMENT NOTES, DETAILS & PRIVATE SEWER PROFILE

ELLICOTT CROSSING PART TWO
 LOTS AL THRU 40, OPEN SPACE LOTS 41 THRU 44 & PARCEL 'K'
 SINGLE FAMILY ATTACHED HOUSING,
 TWO STORY SHOPPING CENTER BUILDING AND GAZEBO
 TAX MAP No.: 24 GRID Nos.: 6, 1 PARCEL Nos.: 852, 847
 2nd ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2014

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

BORING LOG

Client: Transwell Crew Company
 Project: Howard County Gov't Office Campus, Ellicott City, MD
 Boring No.: B-24 (1 of 12) Date: 8/27/09
 Location: See Boring Location Plan

Station	Depth	Description of Materials	Remarks
409.0	1.0	Surface Soil	
407.5	2.5	Medium gray SILT, some rock fragments, some brown (M)	
407.1	3.1	Clay to clay silt	
406.6	4.0	Medium gray SILT, some rock fragments, some brown (M)	
402.3	8.1	Clay to silty decomposed rock fragments	
397.1	13.1	Medium gray to very gray silty SAND, fine decomposed rock fragments, some brown (M)	
392.3	18.1	Clay to silt	
387.1	23.1	Clay to very dense	
371.3	39.1		

BORING LOG

Client: Transwell Crew Company
 Project: Howard County Gov't Office Campus, Ellicott City, MD
 Boring No.: B-24 (2 of 12) Date: 8/27/09
 Location: See Boring Location Plan

Station	Depth	Description of Materials	Remarks
366.4	45.0	Very dense silty SAND, fine decomposed rock fragments, some brown (M)	
362.1	45.1	Very dense silty SAND AND ROCK FRAGMENTS, some brown (M)	
362.1	45.1		

BORING LOG

Client: Transwell Crew Company
 Project: Howard County Gov't Office Campus, Ellicott City, MD
 Boring No.: B-24 (3 of 12) Date: 8/27/09
 Location: See Boring Location Plan

Station	Depth	Description of Materials	Remarks
402.0	1.0	Surface Soil	
399.3	3.3	Medium gray CLAY, some rock fragments, some brown (M)	
397.6	6.0	Medium gray silty SAND, some rock fragments, some brown (M)	
394.5	8.5	Clay to silty decomposed rock fragments	
378.0	25.0	Boring Terminated at 25 feet	

BORING LOG

Client: Transwell Crew Company
 Project: Howard County Gov't Office Campus, Ellicott City, MD
 Boring No.: B-26 (1 of 11) Date: 8/27/09
 Location: See Boring Location Plan

Station	Depth	Description of Materials	Remarks
375.3	1.0	Surface Soil	
372.8	3.5	Medium gray SILT, some rock fragments, some brown (M)	
371.3	5.0	Clay to very silty silty rock fragments	
371.3	5.0		

BORING LOG

Client: Transwell Crew Company
 Project: Howard County Gov't Office Campus, Ellicott City, MD
 Boring No.: B-26 (2 of 11) Date: 8/27/09
 Location: See Boring Location Plan

Station	Depth	Description of Materials	Remarks
391.1	0.4	Surface Soil	
389.3	2.0	Medium gray SILT, some rock fragments, some brown (M)	
387.5	4.0	Clay to silty decomposed rock fragments	
385.1	6.0	Clay to silty decomposed rock fragments	
383.5	8.0	Clay to silty decomposed rock fragments	
381.5	10.0	Clay to silty decomposed rock fragments	
377.2	14.0	Clay to silty decomposed rock fragments	
375.0	16.0	Clay to silty decomposed rock fragments	
373.1	18.0	Clay to silty decomposed rock fragments	
371.3	20.0	Boring Terminated at 20 feet	

BORING LOG

Client: Transwell Crew Company
 Project: Howard County Gov't Office Campus, Ellicott City, MD
 Boring No.: B-26 (3 of 11) Date: 8/27/09
 Location: See Boring Location Plan

Station	Depth	Description of Materials	Remarks
404.5	0.5	Surface Soil	
401.0	4.0	Medium gray SILT, some rock fragments, some brown (M)	
397.0	8.0	Clay to silty decomposed rock fragments	
395.0	10.0	Clay to silty decomposed rock fragments	
393.0	12.0	Clay to silty decomposed rock fragments	
389.0	16.0	Clay to silty decomposed rock fragments	
379.5	25.5	Boring Terminated at 25.5 feet	

BORING LOG

Client: Transwell Crew Company
 Project: Howard County Gov't Office Campus, Ellicott City, MD
 Boring No.: B-26 (4 of 11) Date: 8/27/09
 Location: See Boring Location Plan

Station	Depth	Description of Materials	Remarks
394.4	0.5	Surface Soil	
391.4	3.5	Medium gray SILT, some rock fragments, some brown (M)	
388.0	6.0	Clay to silty decomposed rock fragments	
386.0	8.0	Clay to silty decomposed rock fragments	
381.4	13.0	Clay to silty decomposed rock fragments	
376.4	18.0	Clay to silty decomposed rock fragments	
371.4	23.0	Clay to silty decomposed rock fragments	
364.4	28.0	Clay to silty decomposed rock fragments	
361.4	31.0	Clay to silty decomposed rock fragments	
359.0	33.0	Boring Terminated at 33 feet	

BORING LOG

Client: Transwell Crew Company
 Project: Howard County Gov't Office Campus, Ellicott City, MD
 Boring No.: B-19 (1 of 11) Date: 8/27/09
 Location: See Boring Location Plan

Station	Depth	Description of Materials	Remarks
407.5	0.5	Surface Soil	
404.5	3.5	Medium gray SILT, some rock fragments, some brown (M)	
402.0	6.0	Clay to silty decomposed rock fragments	
394.5	13.5	Clay to silty decomposed rock fragments	
389.0	18.0	Clay to silty decomposed rock fragments	
383.0	25.0	Boring Terminated at 25 feet	

BORING LOG

Client: Transwell Crew Company
 Project: Howard County Gov't Office Campus, Ellicott City, MD
 Boring No.: B-20 (1 of 11) Date: 8/27/09
 Location: See Boring Location Plan

Station	Depth	Description of Materials	Remarks
389.8	1.0	Surface Soil	
387.3	3.5	Medium gray SILT, some rock fragments, some brown (M)	
384.8	6.0	Clay to silty decomposed rock fragments	
382.3	8.5	Clay to silty decomposed rock fragments	
376.5	14.5	Boring Terminated at 14.5 feet	

BORING LOG

Client: Transwell Crew Company
 Project: Howard County Gov't Office Campus, Ellicott City, MD
 Boring No.: B-20 (2 of 11) Date: 8/27/09
 Location: See Boring Location Plan

Station	Depth	Description of Materials	Remarks
397.0	0.8	Surface Soil	
394.3	3.3	Medium gray SILT, some rock fragments, some brown (M)	
391.8	6.0	Clay to silty decomposed rock fragments	
389.3	8.5	Clay to silty decomposed rock fragments	
379.0	18.0	Boring Terminated at 18.0 feet	

BORING LOG

Client: Transwell Crew Company
 Project: Howard County Gov't Office Campus, Ellicott City, MD
 Boring No.: B-21 (1 of 11) Date: 8/27/09
 Location: See Boring Location Plan

Station	Depth	Description of Materials	Remarks
368.8	1.0	Surface Soil	
366.3	3.5	Medium gray SILT, some rock fragments, some brown (M)	
364.8	5.0	Clay to silty decomposed rock fragments	
364.8	5.0		

BORING LOG

Client: Transwell Crew Company
 Project: Howard County Gov't Office Campus, Ellicott City, MD
 Boring No.: B-21 (2 of 11) Date: 8/27/09
 Location: See Boring Location Plan

Station	Depth	Description of Materials	Remarks
391.2	0.5	Surface Soil	
388.2	3.5	Medium gray SILT, some rock fragments, some brown (M)	
385.2	6.5	Clay to silty decomposed rock fragments	
383.2	8.5	Clay to silty decomposed rock fragments	
378.2	13.5	Clay to silty decomposed rock fragments	
373.2	18.5	Clay to silty decomposed rock fragments	
368.2	23.5	Clay to silty decomposed rock fragments	
366.2	25.5	Boring Terminated at 25.5 feet	

BORING LOG

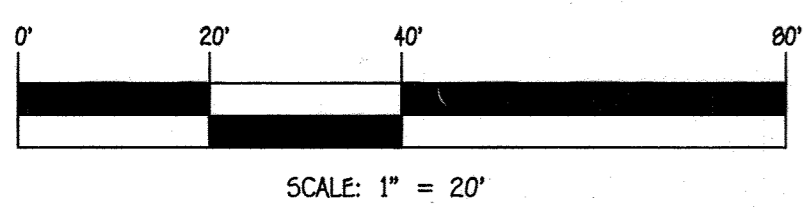
Client: Transwell Crew Company
 Project: Howard County Gov't Office Campus, Ellicott City, MD
 Boring No.: B-21 (3 of 11) Date: 8/27/09
 Location: See Boring Location Plan

Station	Depth	Description of Materials	Remarks
403.3	0.4	Surface Soil	
397.4	3.0	Medium gray SILT, some rock fragments, some brown (M)	
394.9	6.0	Clay to silty decomposed rock fragments	
392.9	8.0	Clay to silty decomposed rock fragments	
387.9	13.0	Clay to silty decomposed rock fragments	
382.9	18.0	Clay to silty decomposed rock fragments	
372.9	28.0	Boring Terminated at 28 feet	

BORING LOG

Client: Transwell Crew Company
 Project: Howard County Gov't Office Campus, Ellicott City, MD
 Boring No.: B-21 (4 of 11) Date: 8/27/09
 Location: See Boring Location Plan

Station	Depth	Description of Materials	Remarks
400.3	0.7	Surface Soil	
399.3	1.7	Medium gray SILT, some rock fragments, some brown (M)	
395.3	5.7	Clay to silty decomposed rock fragments	
392.3	8.7	Clay to silty decomposed rock fragments	
387.3	13.7	Clay to silty decomposed rock fragments	
382.3	18.7	Clay to silty decomposed rock fragments	
377.3	23.7	Clay to silty decomposed rock fragments	
372.3	28.7	Boring Terminated at 28.7 feet	



AS-BUILT CERTIFICATION FOR PSWM
 Note: The information provided is for informational purposes only.
 Date: 5/3/09

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THE INFORMATION PREPARED OR APPROVED BY ME AND THAT I AM A REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. REGISTRATION DATE: 7/14/15.
 Date: 7/23/13

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Director - Department of Planning and Zoning
 Chief, Division of Land Development
 Chief, Development Engineering Division

DATE: 11/13/13
 DATE: 11-08-13
 DATE: 10-25-13

SUBDIVISION: ELLICOTT CROSSING PART TWO
 PARCEL NOS.: 852, 847
 TAX MAP: MXD-6
 ELEC. DIST.: 24
 LOT NOS.: N/A
 SECTION/AREA: N/A
 LOT NOS.: 82 THRU 140
 CENSUS TR.: 6029

SOIL BORINGS
 ELLICOTT CROSSING PART TWO
 LOTS 82 THRU 140, OPEN SPACE LOTS 141 THRU 144 & PARCEL 'K'
 SINGLE FAMILY ATTACHED HOUSING, TWO STORY SHOPPING CENTER BUILDING AND GAZEBO
 TAX MAP No.: 24 GRID Nos.: 6, 1 PARCEL Nos.: 852, 847
 2nd ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2014
 SHEET 16 OF 28 SDP-13-004

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

12/21/12 Add Sheet 2B
 2/12/13 REVISED TITLE BLOCK
 2/14/13 REVISED TITLE BLOCK TO REFLECT SHOPPING CENTER
 7/22/14 ADDED BUILDINGS FOR THIS SECTION

FISHER, COLLINS & CARTER, INC.
 CENTRAL SQUARE OFFICE PARK - 10772 BALTHORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21116
 (410) 461-2855

I:\2010\10400\10400-3001 SDP - Phase 2 Stormwater Management Notes and Details.dwg - SHEET 16, 7/29/2013 9:12:50 AM, 1:1

NOTES:

Should any tree designated for preservation for which landscaping credit is given, die prior to release of bonds, the owner will be required to replace the tree with the equivalent species or with a tree which will obtain the same height, spread and growth characteristics. The replacement tree must be a minimum of 3 inches in caliper and installed as required in the Howard County Landscape Manual.

At the time of plant installation, all trees listed and approved on the landscape plan, shall comply with the proper height requirement in accordance with the Howard County Landscape Manual. In addition, no substitutions or relocations of the required plantings may be made without prior review and approval from the Department of Planning and Zoning. Any deviations from the approved Landscape Plan may result in denial or delay in the release of landscape surety until such time as all required materials are planted and/or revisions are made to the road drawing plans.

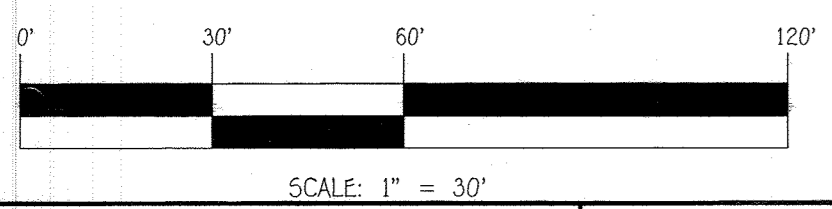
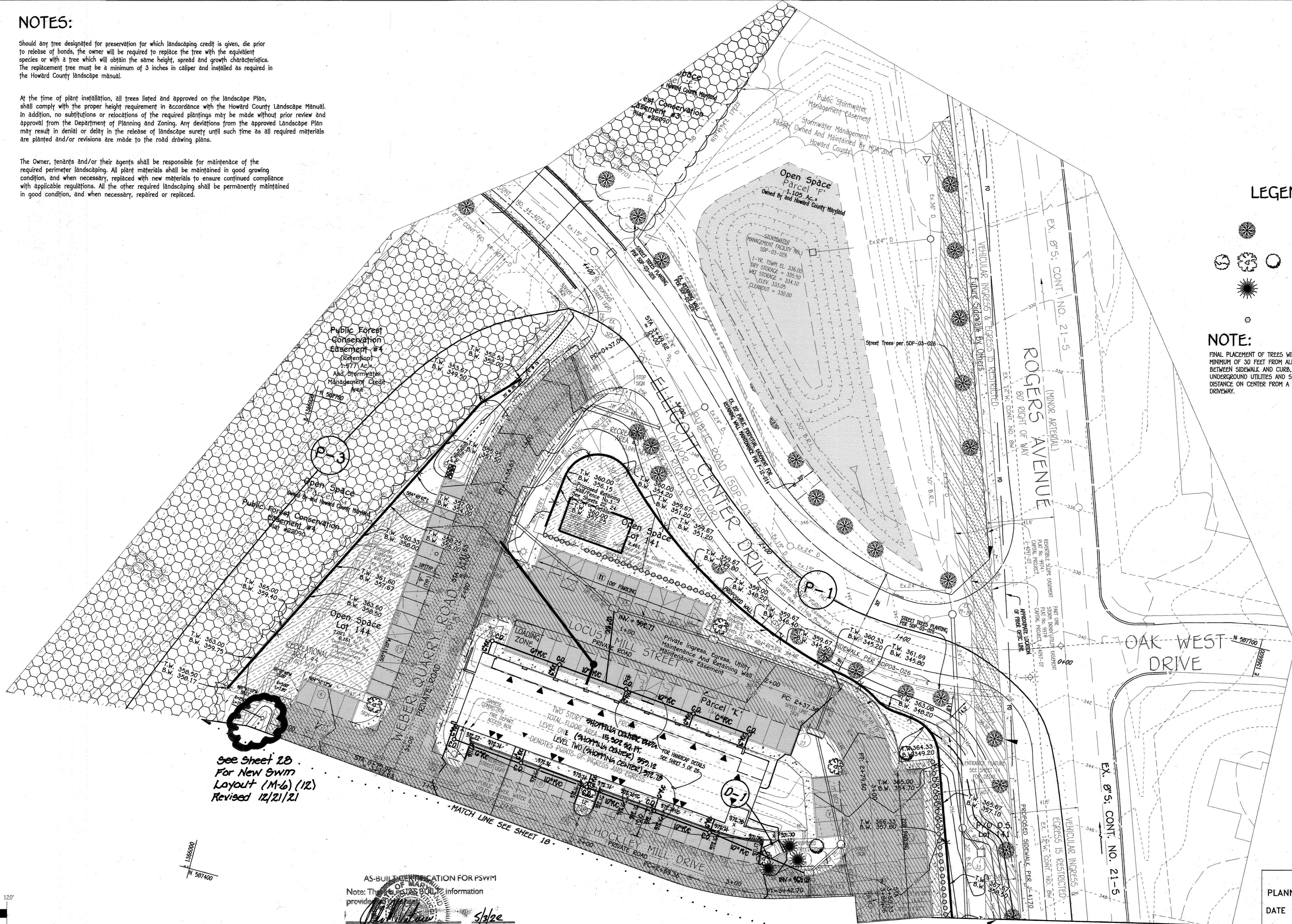
The Owner, tenants and/or their agents shall be responsible for maintenance of the required perimeter landscaping. All plant materials shall be maintained in good growing condition, and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.

LEGEND

- EXISTING STREET TREE (SDP-03-026)
- PROPOSED SHADE TREE
- PROPOSED EVERGREEN TREE
- PROPOSED SHRUB

NOTE:

FINAL PLACEMENT OF TREES WILL OCCUR IN THE FIELD AND BE PLACED A MINIMUM OF 30 FEET FROM ALL SIGNS AND INTERSECTIONS WHEN PLANTED BETWEEN SIDEWALK AND CURB, BE LOCATED WITH CONSIDERATION OF UNDERGROUND UTILITIES AND STRUCTURES AND MAINTAIN A MINIMUM 5 FEET DISTANCE ON CENTER FROM A DRAIN INLET STRUCTURE AND 10 FEET FROM A DRIVEWAY.



AS-BUILT INFORMATION FOR PSWM
 Note: The AS-BUILT information provided is for informational purposes only.

 Date: 5/1/22

APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 DATE: 4/15/13

DATE	DESCRIPTION	REVISION BLOCK
12/21/21	Add sheet 2B - Revise Block (1) & (12)	
07/16/19	REVISED TITLE BLOCK	
07/17/19	REVISED BUILDING NAME FROM COMMERCIAL TO SHOPPING CENTER	
07/17/19	REVISED BUILDING	
07/16/19	REVISED BUILDING NAME FROM RETAIL TO COMMERCIAL	
7/22/18	ADDED BUILDING FOR THIS SECTION	

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED OR APPROVED BY ME AND THAT I AM A LICENSED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND. MY LICENSE EXPIRES ON 7/14/15.

 DATE: 9/23/13

OWNERS
 3330 ROGERS AVENUE LLC
 SUITE 102
 5300 DORSEY HALL DRIVE
 ELLICOTT CITY, MD 21042
 443-367-0422

DEVELOPER
 M & T DEVELOPERS, LLC
 4515 MANOR LANE
 ELLICOTT CITY, MD 21042
 443-367-0422

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Director - Department of Planning and Zoning
 Date: 11/13/13

Chief, Division of Land Development
 Date: 11-08-13

Chief, Development Engineering Division
 Date: 10-25-13

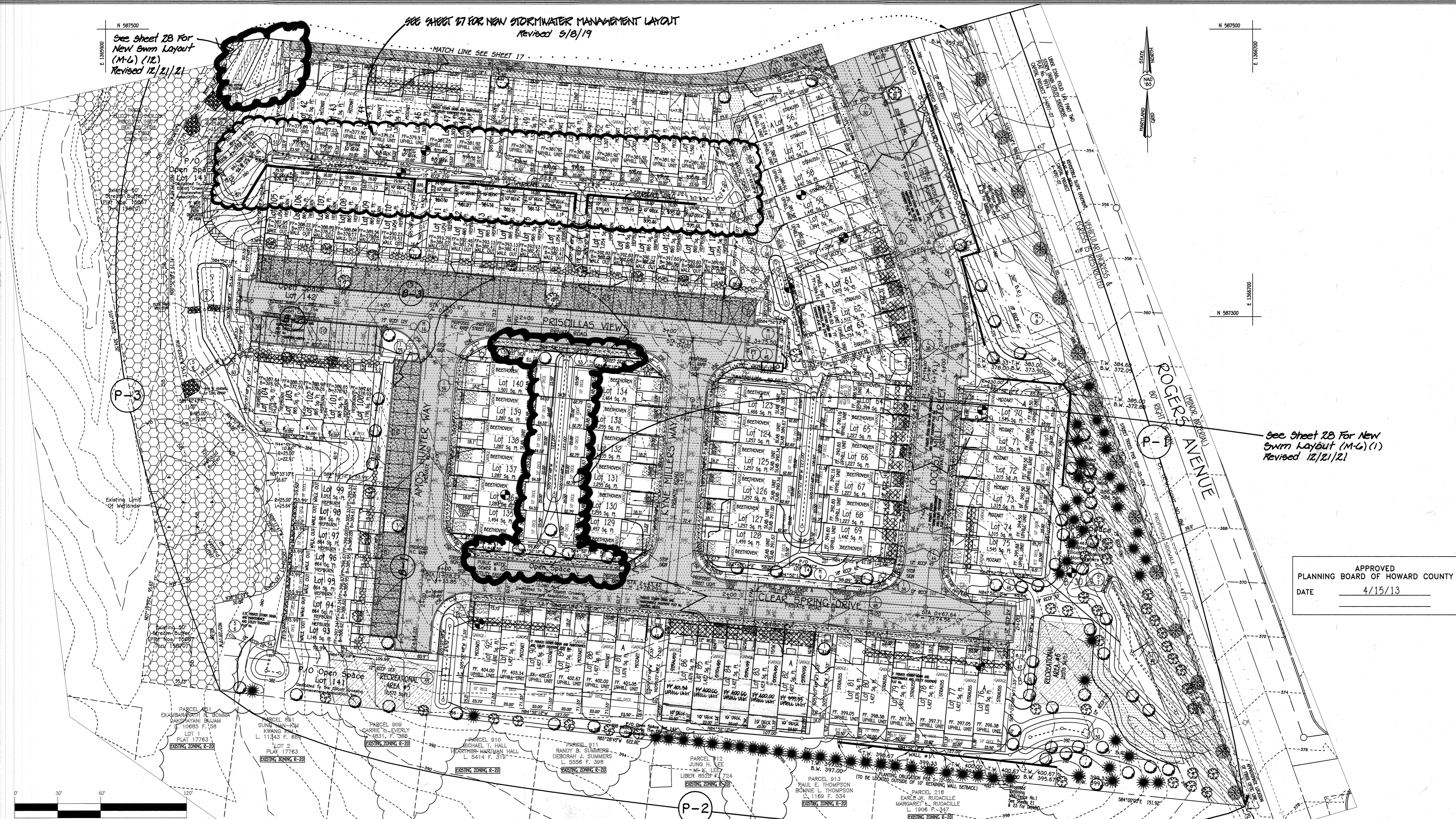
SUBDIVISION	SECTION/AREA	LOT NOS.
ELLICOTT CROSSING PART TWO	N/A	42 THRU 140
PLAT NOS. 02511-02515	PARCEL NOS. 052, 047	ZONE MXD-6
02516-02520	TAX MAP 24	ELEC. DIST. 2nd
02521-02526	CENSUS TR. 6029	

LANDSCAPE PLAN

ELLICOTT CROSSING PART TWO
 LOTS 142 THRU 140, OPEN SPACE LOTS 141 THRU 144 & PARCEL 'K'
 SINGLE FAMILY ATTACHED HOUSING,
 TWO STORY SHOPPING CENTER BUILDING AND GAZEBO
 TAX MAP No.: 24 GRID Nos.: 6, 1 PARCEL Nos.: 052, 047
 2nd ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST, 2014

SHEET 17 OF 28
 SDP-13-004

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

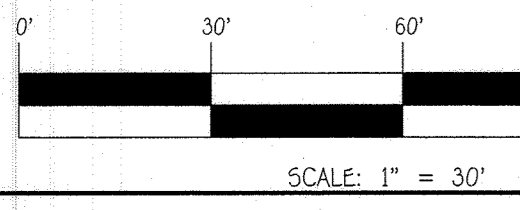


See Sheet 28 for New Swm Layout (M-G) (1/2) Revised 12/21/21

SEE SHEET 27 FOR NEW STORMWATER MANAGEMENT LAYOUT Revised 5/8/19

See Sheet 28 for New Swm Layout (M-G) (1) Revised 12/21/21

APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE 4/15/13



DATE	DESCRIPTION
12/21/21	Add Sheet 28 - Revise Bios (1) & (12)
5/8/19	ADD FILTERRA & NOTE TO SEE SHEET 27
10/10/16	RENAME UNITS BE TRU 06 FROM VIZOR 20 TO TRUSS
3/12/16	RENAME TITLE BLOCK
2/16/15	RENAME TITLE BLOCK TO REFLECT SHOPPING CENTER
1/27/15	RENAME UNITS BE TRU 06 FROM VIZOR 20 TO TRUSS
1/14/15	RENAME UNITS BE TRU 06 FROM VIZOR 20 TO TRUSS
7/22/14	RENAME UNITS BE TRU 06 FROM VIZOR 20 TO TRUSS

AS-BUILT CERTIFICATION FOR PSWM

Note: The "AS-BUILT" information provided by the contractor is the responsibility of the contractor.

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THE INFORMATION PREPARED OR APPROVED BY ME AND THAT I AM A LICENSED SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND.
FRANK J. [Signature]
DATE 7/30/14

OWNERS
3330 ROGERS AVENUE LLC
SUITE 102
5300 DORSEY HALL DRIVE
ELLCOTT CITY, MD 21042
443-367-0422

DEVELOPER
M & T DEVELOPERS, LLC
4515 MANOR LANE
ELLCOTT CITY, MD 21042
443-367-0422

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Judith Conner 8-8-14
Director - Department of Planning and Zoning
Date
Heidi [Signature] 8/10/14
Chief, Division of Land Development 38
Date
[Signature] 8/4/14
Chief, Development Engineering Division 18
Date
SUBDIVISION: ELLICOTT CROSSING PART TWO SECTION/AREA: N/A LOT NOS.: 46 THRU 140
PLAT NOS.: 22871-22875 PARCEL NOS.: 052, 047 ZONE: MXD-6 TAX MAP: 24 ELEC. DIST.: 2nd CENSUS TR.: 6029
22908-22909

LANDSCAPE PLAN
ELLCOTT CROSSING PART TWO
LOTS 46 THRU 140, OPEN SPACE LOTS 141 THRU 144 & PARCEL 'K'
SINGLE FAMILY ATTACHED HOUSING, TWO STORY SHOPPING CENTER BUILDING AND GAZEBO
TAX MAP No.: 24 GRID Nos.: 6, 1 PARCEL Nos.: 052, 047
2nd ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 30' DATE: AUGUST, 2014
SHEET 10 OF 28 SDP-13-004

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SOURCE OFFICE BLDG. - 10722 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
(410) 461-2895

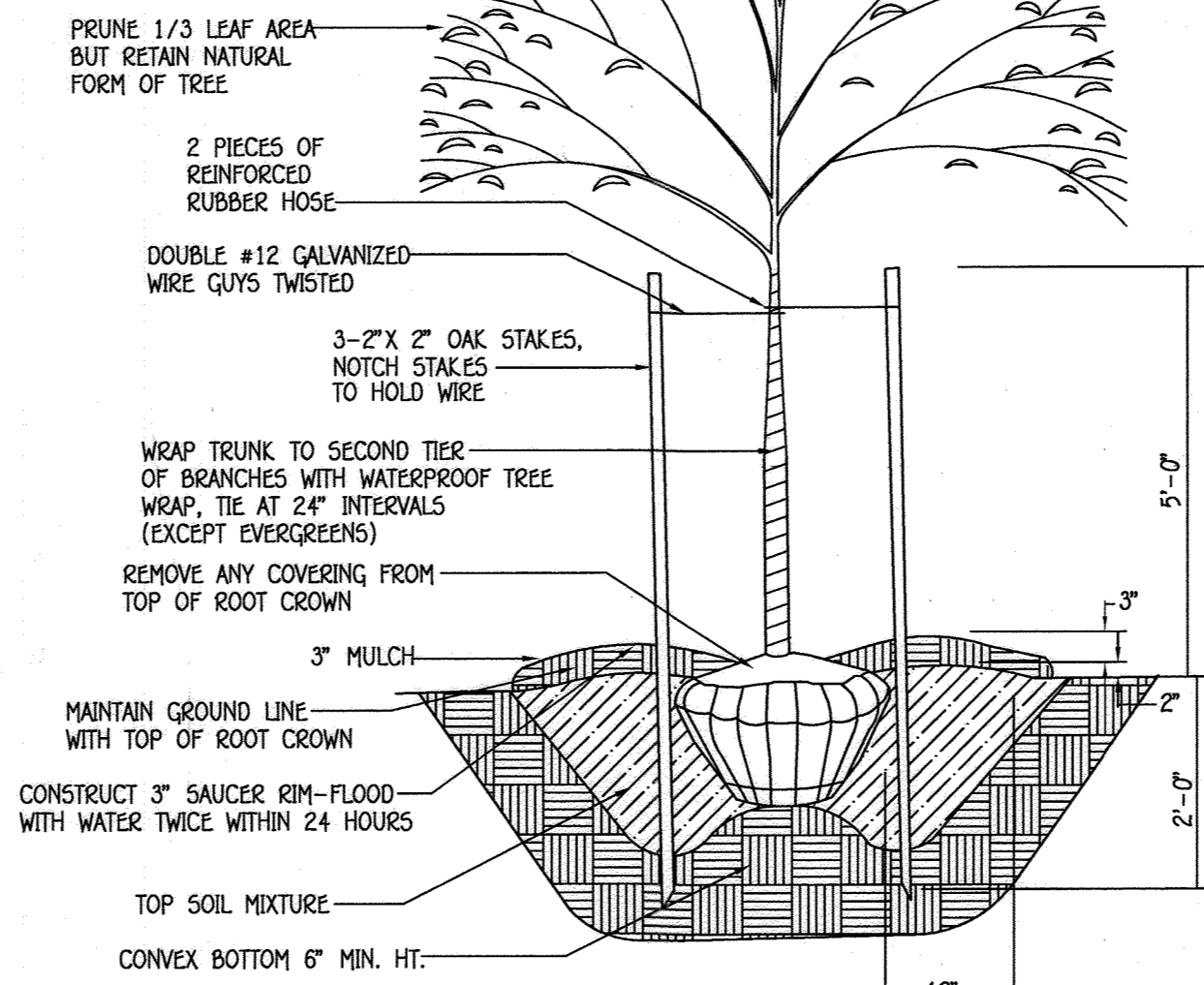
THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

**SCHEDULE A
PERIMETER LANDSCAPE EDGE**

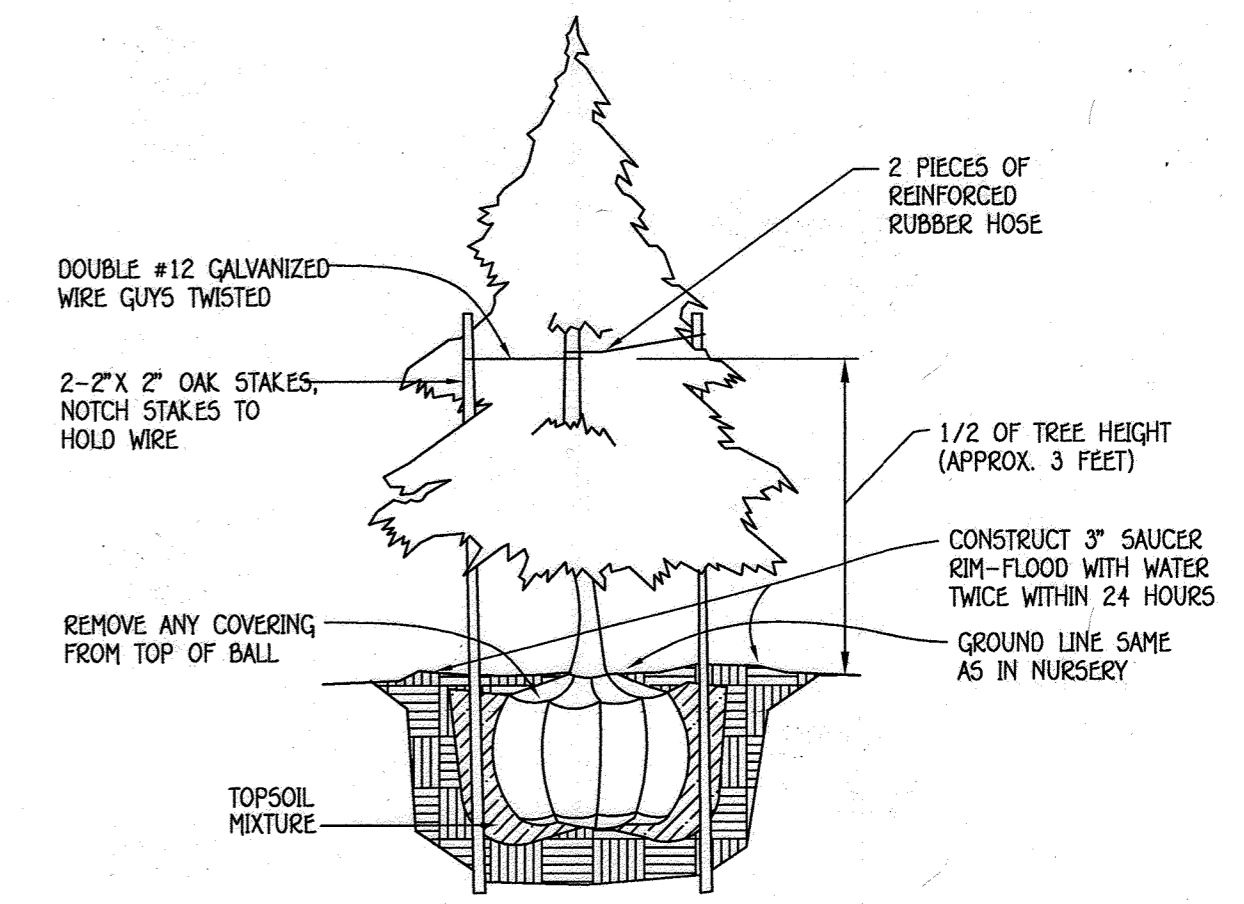
PERIMETER	P-1	P-1	P-2	P-3	P-3	D-1	B-1	B-2	B-3
CATEGORY	ADJACENT TO ROADWAY	PARKING TO ROADWAY	SFA TO SFD	RES. TO NON-RES.	SFA TO SFA	DUMPSTER PAD	SFA TO PARKING	SFA TO PARKING	SFA TO PARKING
LANDSCAPE TYPE	B	E	C	C	B	D	E	E	E
LINEAR FEET OR ROADWAY FRONTAGE/PERIMETER	743'	336'	775'	447'	431'	26'	104'	80'	291'
CREDIT FOR EXISTING VEGETATION (YES, NO LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	-	-	-	100% EX. FOREST	100% F.C.E.	-	-	-	-
CREDIT FOR WALL, FENCE OR BERM (YES, NO LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	459' WALL	336' WALL	153' WALL	-	-	-	-	-	-
NUMBER OF PLANTS REQUIRED									
SHADE TREES	6	0	16	0	0	1	3	2	7
EVERGREEN TREES	7	84	31	0	0	3	26	20	73
SHRUBS	-	-	-	-	-	-	-	-	-
NUMBER OF PLANTS PROVIDED									
SHADE TREES	6	0	16	0	0	1	3	2	7
EVERGREEN TREES	7	84	31	0	0	3	26	20	73
SHRUBS	-	-	-	-	-	-	-	-	-

NOTE: CONTRACTOR TO REGRADE, SOO OR HYDROSEED AND STRAW MULCH ALL AREAS DISTURBED AS A RESULT OF THEIR WORK.

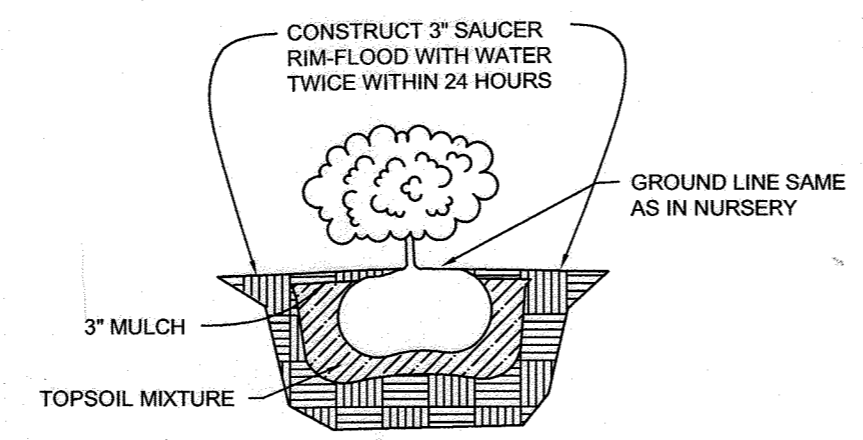
SPRAY WITH MILT-PROOF ACCORDING TO MANUFACTURERS STANDARDS



TREE PLANTING DETAIL
NOT TO SCALE



EVERGREEN PLANTING DETAIL
NOT TO SCALE



SHRUB PLANTING DETAIL

PLANTING SPECIFICATIONS

PLANTS, RELATED MATERIAL, AND OPERATIONS SHALL MEET THE DETAILED DESCRIPTION AS GIVEN ON THE PLANS AND AS DESCRIBED HEREIN.

ALL PLANT MATERIAL, UNLESS OTHERWISE SPECIFIED, SHALL BE NURSERY GROWN, UNIFORMLY BRANCHED, HAVE A VIGOROUS ROOT SYSTEM, AND SHALL CONFORM TO THE SPECIES, SIZE, SOOT AND SHAPE SHOWN ON THE PLANT LIST AND THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) STANDARDS. PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, FREE FROM DEFECTS, DISEASE, DEFOLIATION, ROOTS, SOIL BOUND, INJURY, WOUNDING OF THE BARK, PLANT DISEASE, INSECT FEEDING DAMAGE AND ALL FORMS OF INSECT INFESTATIONS OR OBSCURABLE DEFOLIATIONS. PLANT MATERIAL THAT IS WEAK OR WHICH HAS BEEN CUT BACK FROM LARGER GRADES TO MEET SPECIFIED REQUIREMENTS, WILL BE REJECTED. TREES WITH FORKED LEADERS WILL NOT BE ACCEPTED. ALL PLANTS SHALL BE FRESHLY DUG, NO HEAL-IN PLANTS FROM COLD STORAGE WILL BE ACCEPTED.

UNLESS OTHERWISE SPECIFIED, ALL GENERAL CONDITIONS, PLANTING OPERATIONS, DETAILS AND PLANTING SPECIFICATION SHALL CONFORM TO "LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREA", (DISSEMINATED "LANDSCAPE GUIDELINES") APPROVED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF METROPOLITAN WASHINGTON AND THE POTOMAC CHAPTER OF THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECT, LATEST EDITION, INCLUDING ALL AGENDA.

CONTRACTOR SHALL BE REQUIRED TO GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR AFTER DATE OF ACCEPTANCE IN ACCORDANCE WITH THE APPROPRIATE SECTION OF THE LANDSCAPE GUIDELINES. CONTRACTOR'S ATTENTION IS DIRECTED TO THE MAINTENANCE REQUIREMENTS FOUND WITHIN THE ONE YEAR SPECIFICATIONS INCLUDING MAINTENANCE AND REPLACEMENT OF SPECIFIED PLANT MATERIAL.

CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES, UTILITY CONTRACTORS AND "MIS" UTILITY A MINIMUM OF 48 HOURS PRIOR TO BEGINNING ANY WORK. CONTRACTOR MAY MAKE VOICE ADJUSTMENTS IN SPACING AND LOCATION OF PLANT MATERIAL TO AVOID CONFLICTS WITH UTILITIES. DAMAGE TO EXISTING STRUCTURE AND UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.

PROTECTION OF EXISTING VEGETATION TO REMAIN SHALL BE ACCOMPLISHED BY THE TEMPORARY INSTALLATION OF A FOOT HIGH SNOW FENCE OR BLAZE ORANGE SAFETY FENCE AT THE DWP LINE.

CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL MATERIAL IN THE PROPER PLANTING SEASON FOR EACH PLANT TYPE. ALL PLANTING IS TO BE COMPLETED WITHIN THE GROWING SEASON OF COMPLETION OF SITE CONSTRUCTION.

SD SHALL BE BASED ON ACTUAL SITE CONDITIONS. NO EXTRA PAYMENT SHALL BE MADE FOR WORK ARISING FROM SITE CONDITIONS DIFFERING FROM THOSE INDICATED ON DRAWINGS AND SPECIFICATIONS.

PLANT QUANTITIES ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON PLAN AND THOSE SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN TAKE PRECEDENCE.

ALL SHRUBS SHALL BE PLANTED IN CONTINUOUS TRENCHES OR PREPARED PLANTING BEDS AND MULCHED WITH COMPOSTED HARDWOOD MULCH AS DETAILS AND SPECIFIED EXCEPT WHERE NOTED ON PLANS.

POSTIVE DRAINAGE SHALL BE MAINTAINED IN PLANTING BEDS 2 PERCENT SLOPE.

PLANTING MIX SHALL BE AS FOLLOWS: DECIDUOUS PLANTS - TWO PARTS TOPSOIL, ONE PART WELL-SORTED COM OR HORSE MANURE, AND 3 LBS. OF STANDARD FERTILIZER PER CUBIC YARD OF PLANTING MIX. EVERGREEN PLANTS - TWO PARTS TOPSOIL, ONE PART BARK OR OTHER APPROVED ORGANIC MATERIAL, AND 3 LBS. OF EVERGREEN (ACIDIC) FERTILIZER PER CUBIC YARD OF PLANTING MIX. TOPSOIL SHALL CONFORM TO THE LANDSCAPE GUIDELINES.

WEED CONTROL: INCORPORATE A PRE-EMERGENT HERBICIDE INTO THE PLANTING BED FOLLOWING RECOMMENDED RATES ON THE LABEL. CAUTION: BE SURE TO CAREFULLY CHECK THE CHEMICAL USED TO ASSURE ITS ADAPTABILITY TO THE SPECIFIC GROUND COVER TO BE TREATED.

ALL AREAS WITHIN CONTRACT LIMITS DISTURBED DURING OR PRIOR TO CONSTRUCTION NOT DESIGNATED TO RECEIVE PLANTS AND MULCH SHALL BE FINE GRADED AND SEEDED.

THIS PLAN IS INTENDED FOR LANDSCAPE USE ONLY. SEE OTHER PLAN SHEETS FOR MORE INFORMATION ON GRADING, SEDIMENT CONTROL, LAYOUT, ETC.

LANDSCAPING PLANT LIST (SCHEDULE A, B & C)

SYMBOL	QUANTITY	BOTANICAL AND COMMON NAME	SIZE	COMMENTS
☉	78	ACER RUBRUM 'ARMSTRONG' RED MAPLE	2 1/2-3" CAL.	
☼	54	PRUNUS SARGENTII SARGENT CHERRY	2 1/2-3" CAL.	
☼*	61	ILEX OPACA AMERICAN HOLLY	5'-6' HT.	
○	203	ABELIA X GRANDIFLORA GLOSSY ABELIA	18" - 24" SP.	

NOTE:
PERIMETER, PARKING, SFA UNIT AND TRASH PAD LANDSCAPING SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 16.124 OF THE LANDSCAPE MANUAL. SURETY IN THE AMOUNT OF \$54,840.00 FOR 132 SHADE TREES, 61 EVERGREEN TREES AND 203 SHRUBS SHALL BE POSTED WITH THE DEVELOPERS AGREEMENT FOR SDP-13-004.

**SCHEDULE B
PARKING LOT
INTERNAL LANDSCAPING**

	SINGLE FAMILY ATTACHED
NUMBER OF PARKING SPACES	40
NUMBER OF TREES REQUIRED (1:1.0)	4
NUMBER OF TREES PROVIDED	4
SHADE TREES	-
OTHER TREES (2:1 SUBSTITUTE)	-

**SCHEDULE B
PARKING LOT
INTERNAL LANDSCAPING**

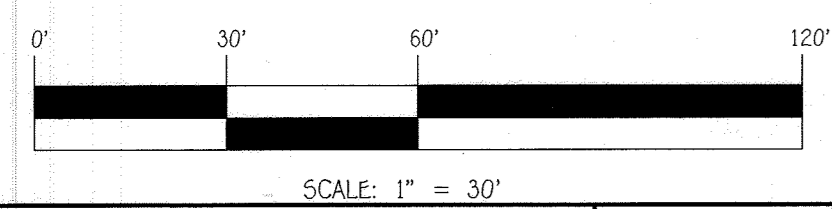
	SHOPPING CENTER BUILDING
NUMBER OF PARKING SPACES	81
NUMBER OF TREES REQUIRED (1:2.0)	4
NUMBER OF TREES PROVIDED	4
SHADE TREES	-
OTHER TREES (2:1 SUBSTITUTE)	-

**SCHEDULE C
RESIDENTIAL DEVELOPMENT
INTERNAL LANDSCAPING**

	SINGLE FAMILY ATTACHED
NUMBER OF DWELLING UNITS	99
NUMBER OF TREES REQUIRED (1:0.1 SFA) (1:1.3 DU APTS)	99
NUMBER OF TREES PROVIDED	89
SHADE TREES	89
OTHER TREES (2:1 SUBSTITUTE)	20 *

* EVERGREEN TREES HAVE BEEN PROVIDED FOR ADDITIONAL BUFFERING ALONG THE REAR OF UNITS 70-75

ALTERNATIVE COMPLIANCE TO THE 15' SFA/PARKING LANDSCAPE BUFFER HAS BEEN APPROVED BY DPZ.



AS-BUILT INFORMATION FOR PSWM
Note: The PSWM information provided is for informational purposes only.
[Signature]
Date: 5/3/22

APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE: 4/15/13

LANDSCAPE DEVELOPER'S CERTIFICATE

I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a certification of landscape installation accompanied by an executed one year guarantee of plant materials will be submitted to the Department of Planning and Zoning.

[Signature] 7-29-13
Megan Reuter Date

This plan has been prepared in accordance with the provision of Section 16.124 of the Howard County Code and Landscape Manual. Financial surety for the required landscaping will be posted as part of the developer's agreement.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21142
(410) 461-2255

DATE	DESCRIPTION
12/21/21	Add sheet 2B
9/12/16	REVISED TITLE BLOCK
9/16/16	REVISED TITLE BLOCK TO REFLECT SHOPPING CENTER
9/16/16	REVISED TITLE BLOCK TO REFLECT COMMERCIAL BUILDING
7/22/14	ADDED BUILDINGS FOR THIS SECTION
DATE	DESCRIPTION
	REVISION BLOCK

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED OR APPROVED BY ME AND THAT I AM A LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. EXPIRES: 7/14/15.
[Signature]
FRANK J. HARRIS
Date: 7/23/13

OWNERS
3330 ROGERS AVENUE LLC
SUITE 102
5300 DORSEY HALL DRIVE
ELLICOTT CITY, MD 21042
443-367-0422

DEVELOPER
M & T DEVELOPERS, LLC
4515 MANOR LANE
ELLICOTT CITY, MD 21042
443-367-0422

APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] 4/15/13
Director - Department of Planning and Zoning
[Signature] 11-08-13
Chief, Division of Land Development
[Signature] 10-25-13
Chief, Development Engineering Division

SUBDIVISION	SECTION/AREA	LOT NOS.
ELLICOTT CROSSING PART TWO	N/A	AS SHOWN
PLAT NOS.	PARCEL NOS.	ZONE
89711 - 20576	852, 847	MXD-6
89712 - 20577		
89713 - 20578		
TAX MAP	ELEC. DIST.	CENSUS TR.
24	2nd.	6029

LANDSCAPE NOTES AND DETAILS

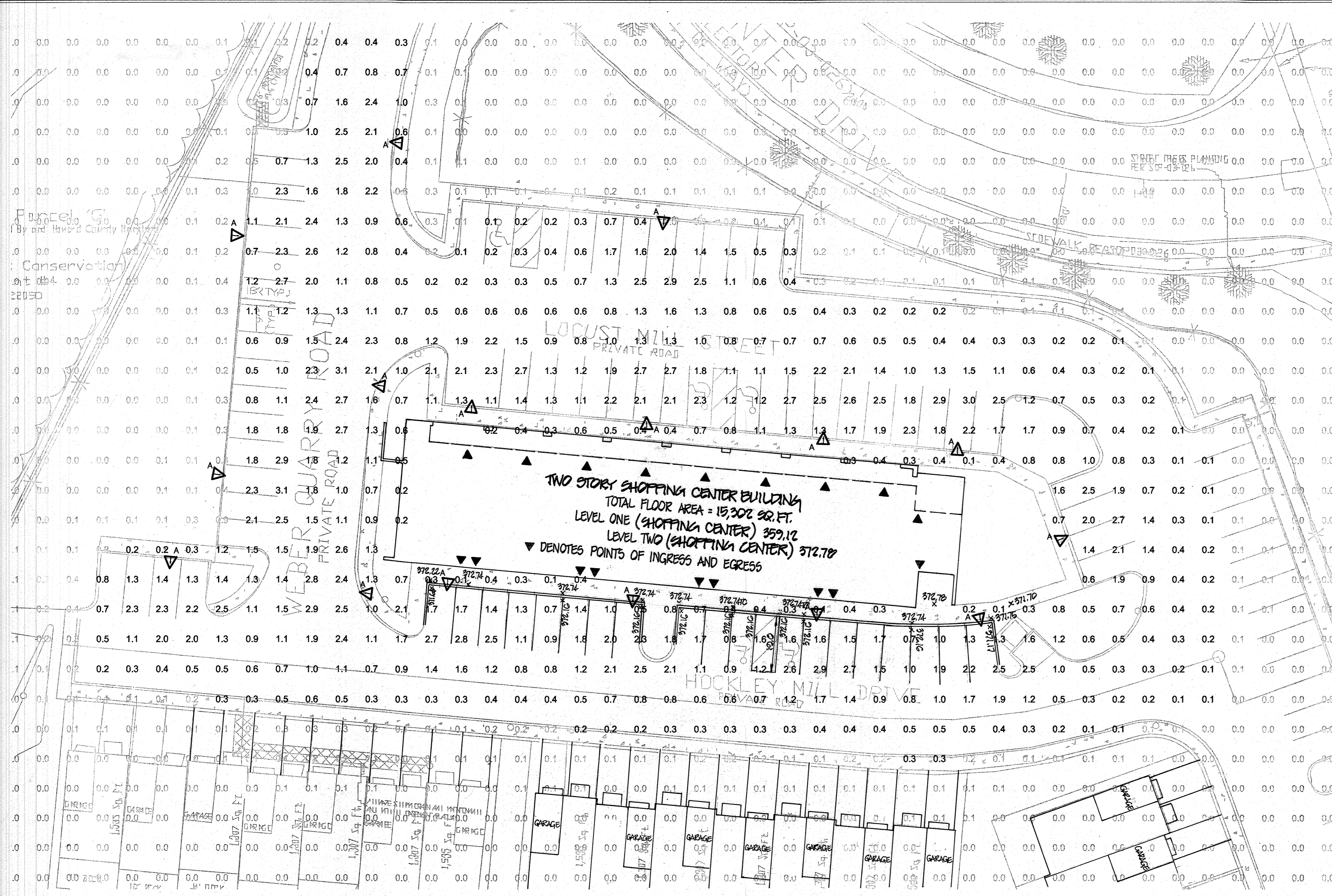
**ELLICOTT CROSSING
PART TWO**
LOTS 141 THRU 143, OPEN SPACE LOTS 141 THRU 144 & PARCEL 'K'

SINGLE FAMILY ATTACHED HOUSING,
BUILDING AND GAZEBO

TAX MAP No.: 24 GRID Nos.: 6, 1 PARCEL Nos.: 852, 847
2nd ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: MARCH, 2014

SHEET 19 OF 28 **SDP-13-004**

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET



SITE PLAN - PHOTOMETRICS
SCALE: 1" = 20'

STATISTICS					
Description	Avg	Max	Min	Max/Min	Avg/Min
Stat Zone # 2	1.1 fc	3.1 fc	0.1 fc	31.0:1	11.0:1

GE Lighting Solutions

Evolve™ LED Post Top

Contemporary Twin Support Post Top (EPTC)

TYPE A

Product Features

The new Evolve™ LED Contemporary Twin Support Post Top (EPTC) offers energy efficiency and quality of light in your choice of two distinct, modern styles. The advanced LED optical system provides improved horizontal and vertical uniformity, excellent vertical illuminance, reduced glare, and reduced on-site glare.

The EPTC can yield up to a 60 percent reduction in system energy compared with standard HID systems, depending on applications. This reliable system operates well in cold temperatures and offers more than 11 years of service life to reduce maintenance frequency and expense based on a 50,000 hour life at 17 hours of operation per day, L85 Rating.

Applications

- Roadway, site, area, and general lighting utilizing advanced LED optical system providing high uniformity, excellent vertical illuminance, reduced glare, and reduced on-site glare.

Mounting

- Post top mounting 3-inch (76mm) OD held in place with six square head set screws.

Finish

- Corrosion resistant polyester powder coated, minimum 2.0 mil thickness.
- Standard colors: Black, Gray and Dark Bronze.
- RAL & custom colors available.

Electrical

- 120-277 volt and 347-480 volt available.
- System power factor is >90% and THD <20%.
- Class "A" audible sound rating.
- Integral surge protector.
- For IES-277VAC per IEEE/ANSI C83.41, 1991.
- 4MVA Location Category B2 (120 Events).
- For IES-480VAC per IEEE/ANSI C83.41, 1991.
- 4MVA Location Category B2 (120 Events).
- EMI: Type A7 CFR Part 15 Class A.
- Photo Electric Sensors (PES) available for all voltages.

Warranty

- 5-year limited system warranty standard.

Lumen Maintenance

- System rating is L85 at 50,000 hours. Contact manufacturer for L80/L70 Lumen Depreciation beyond 50,000 hours.

Rating

- IP 65 rated suitable for wet locations.
- IP 65 rated optical enclosure per ANSI C136.25-2009.
- Temperature rated at -40° to 50°C.

Ordering Number Logic

Contemporary Twin Support Post Top (EPTC)

EPTC - 41 - P - L

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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Photometrics

Product Dimensions

Approximate Net Weight: 42 lbs. (14.5 kg)
Suggested Mounting Height: 30-36 ft. (9.1-10.9 m)
Effective Projected Area (EMA): 13.0 sq. ft. (1.2 sq. m)

GE Lighting Solutions • 1-888-MY-GE-LED • www.gelightsolutions.com

LEGEND

▲ POST TOP LIGHT FIXTURE, MOUNTED ON 16' STRAIGHT ROUND POLE. FIXTURE SHALL BE AIMED IN DIRECTION THE ARROW IS POINTING.

AS-BUILT CERTIFICATION FOR PSWM
Note: The "AS-BUILT" information provided is for informational purposes only.

[Signature]
Date: 10/23/13

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 1072 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
410-581-1997

CENTURY ENGINEERING
CONSULTING ENGINEERS - PLANNERS
10710 GILROY ROAD
HUNT VALLEY, MD 21081
Phone: 443-589-2400 Fax: 443-589-2401

DATE	DESCRIPTION	REVISION BLOCK
12/2/12	ADD SHEET 28	
5/15/10	REVISED SHEET NUMBER TO REFLECT ADDED SHEET	
2/12/10	REVISED TITLE BLOCK	
12/14/09	REVISED BUILDING MARKS FROM COMMERCIAL TO SHOPPING CENTER	
12/14/09	REVISED BUILDING MARKS FROM REPAIR TO COMMERCIAL	
7/22/14	ADDED BUILDINGS FOR THIS SECTION	



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 27414
Expiration Date: 07/18/2014

OWNERS
3330 ROGERS AVENUE LLC
SUITE 102
4300 DORSEY HALL DRIVE
ELLCOTT CITY, MD 21042
443-367-0422

DEVELOPER
M & T DEVELOPERS, LLC
4305 MANOR LANE
ELLCOTT CITY, MD 21042
443-367-0422

APPROVED DEPARTMENT OF PLANNING AND ZONING

[Signature] 11/13/13
Date

[Signature] 11-08-13
Date

[Signature] 10-23-13
Date

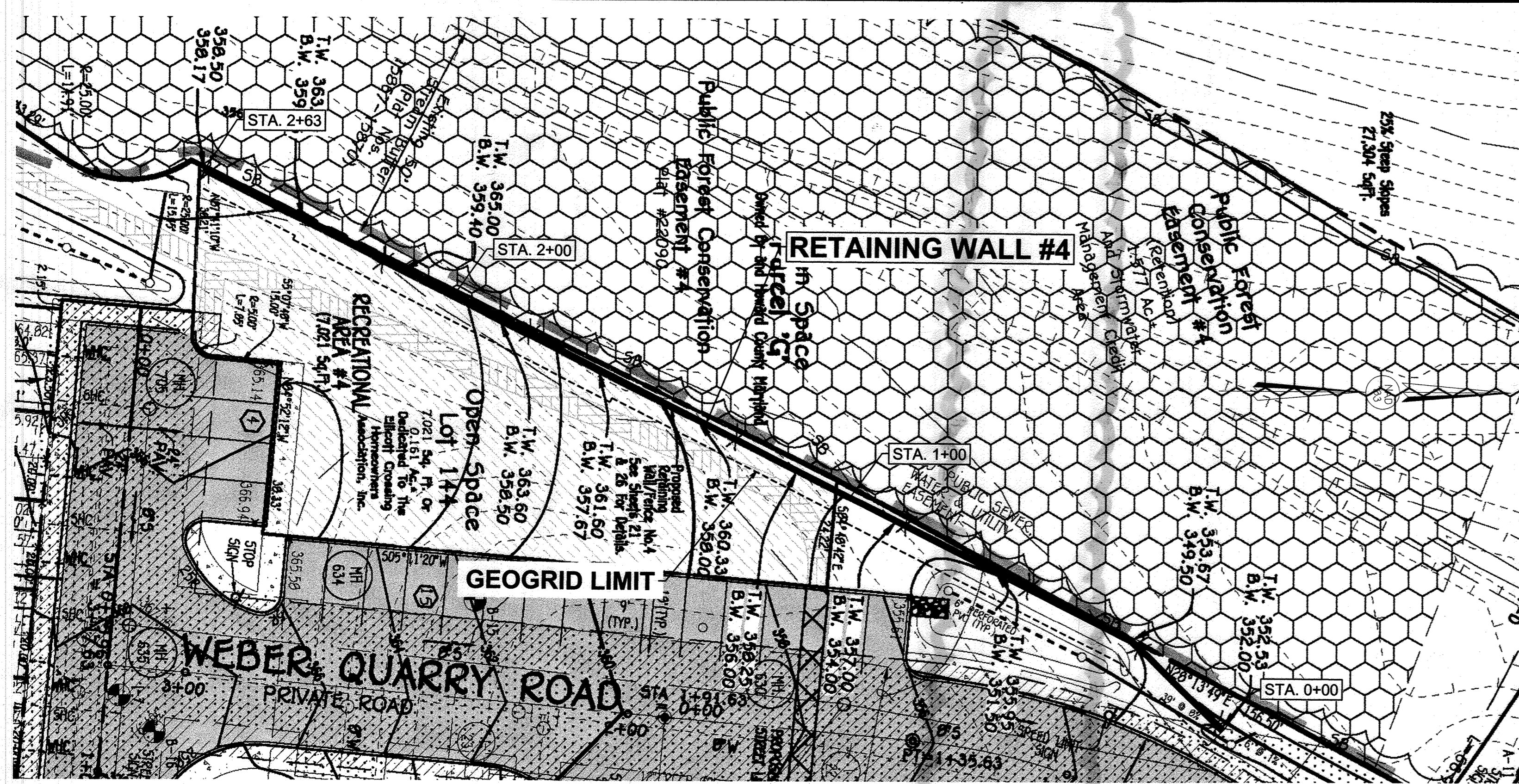
SUBDIVISION	SECTION/AREA	LOT NOS.
ELLCOTT CROSSING PART TWO	N/A	42 THRU 140
PLAT NOS.	PARCEL NOS.	ZONE
22871-22876 22906-22920 22906-22906	052, 047	MXD-6
TAX MAP	ELEC. DIST.	CENSUS TR.
24	2nd	6029

ELECTRICAL SITE PLAN - PHOTOMETRICS

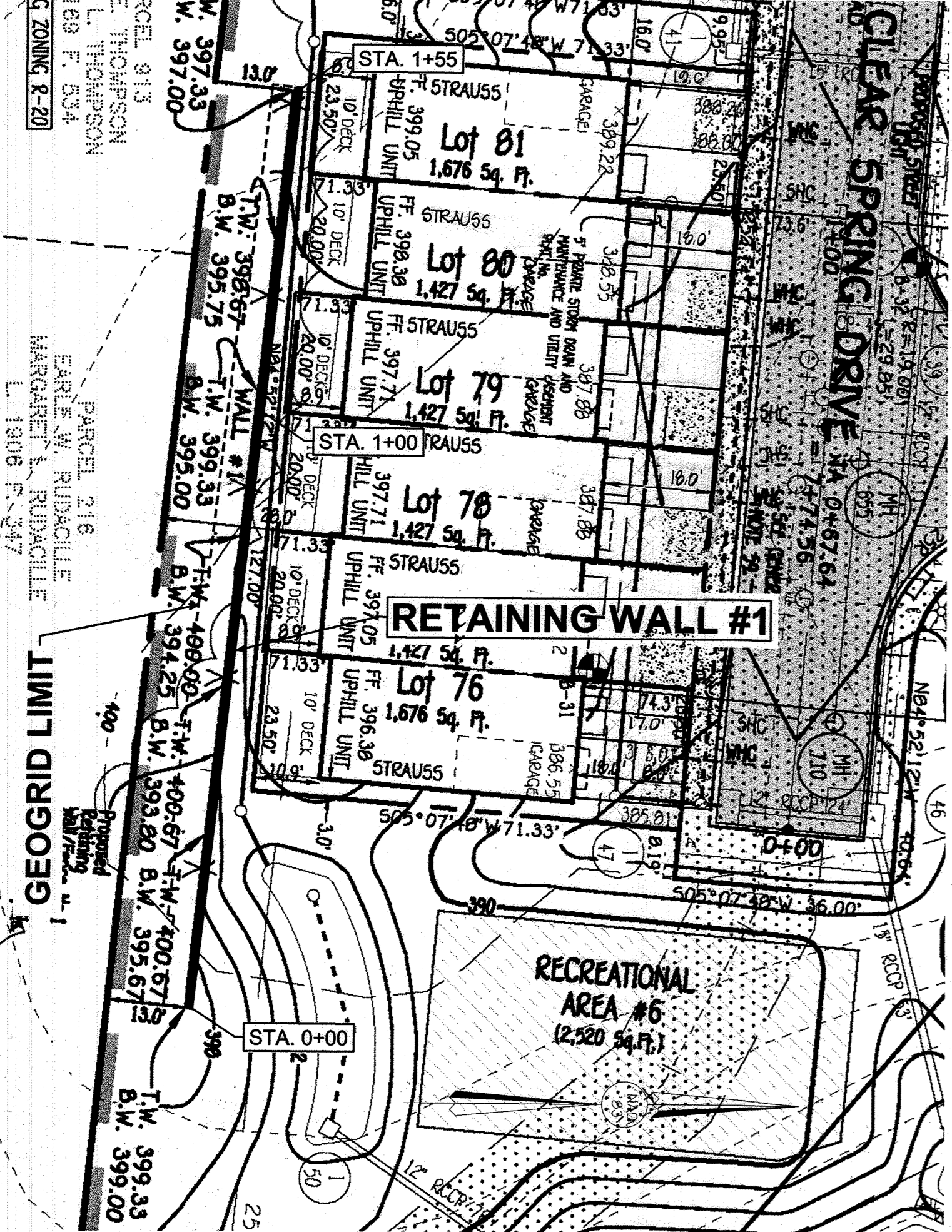
ELLCOTT CROSSING PART TWO
LOTS 42 THRU 140 OPEN SPACE LOTS 141 THRU 144 & PARCELS 1K
SINGLE FAMILY ATTACHED HOUSING, BUILDING AND GAZEBO
TAX MAP No.: 24 GRID Nos.: 6, 1 PARCEL Nos.: 052, 047
2nd ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST, 2014

SHEET 20 OF 28

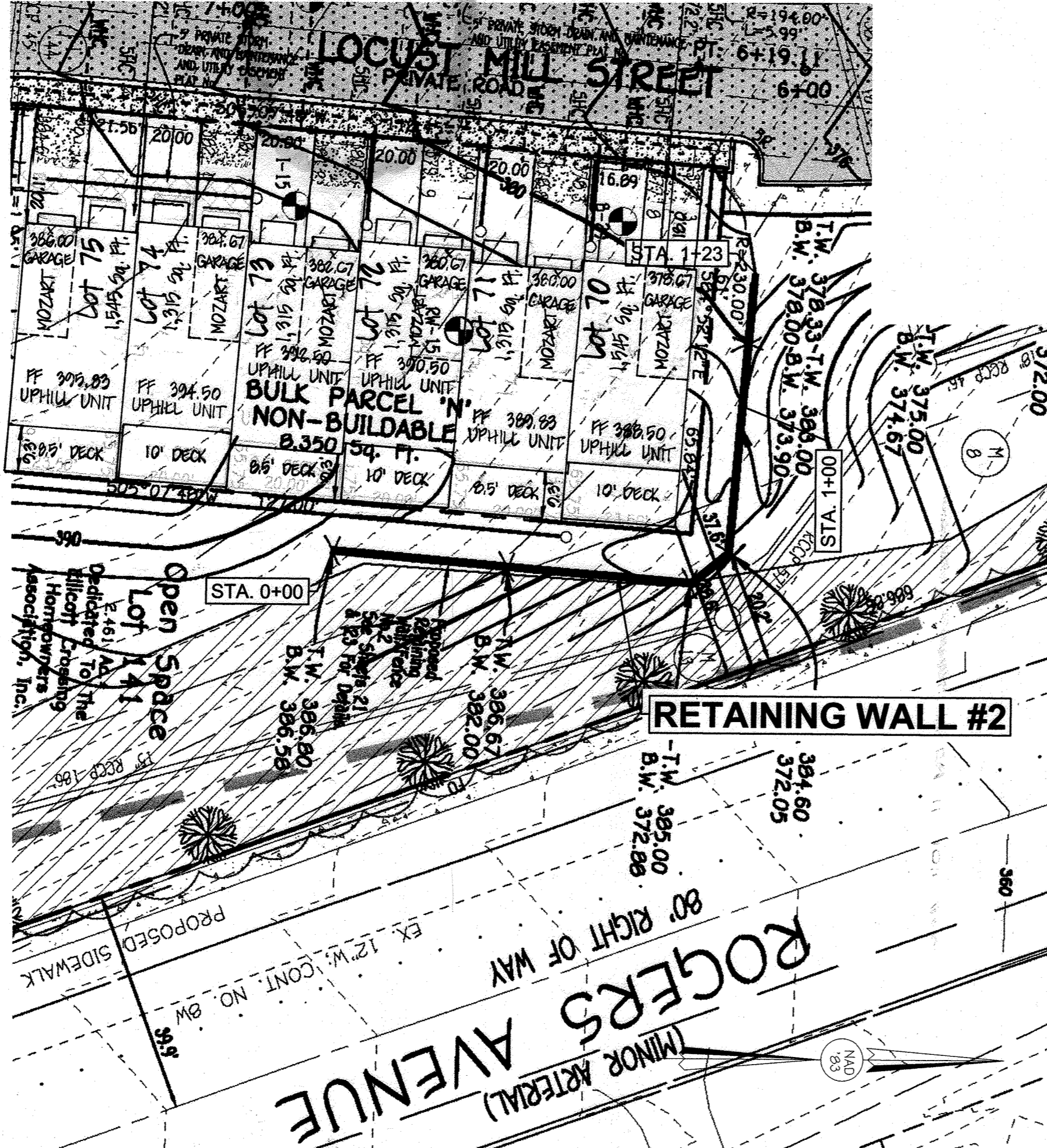
THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET



WALL #4 LOCATION PLAN
1" = 20'



WALL #1 LOCATION PLAN
1" = 20'



WALL #2 LOCATION PLAN
1" = 20'

SPECIFICATIONS
MODULAR CONCRETE BLOCK RETAINING WALL

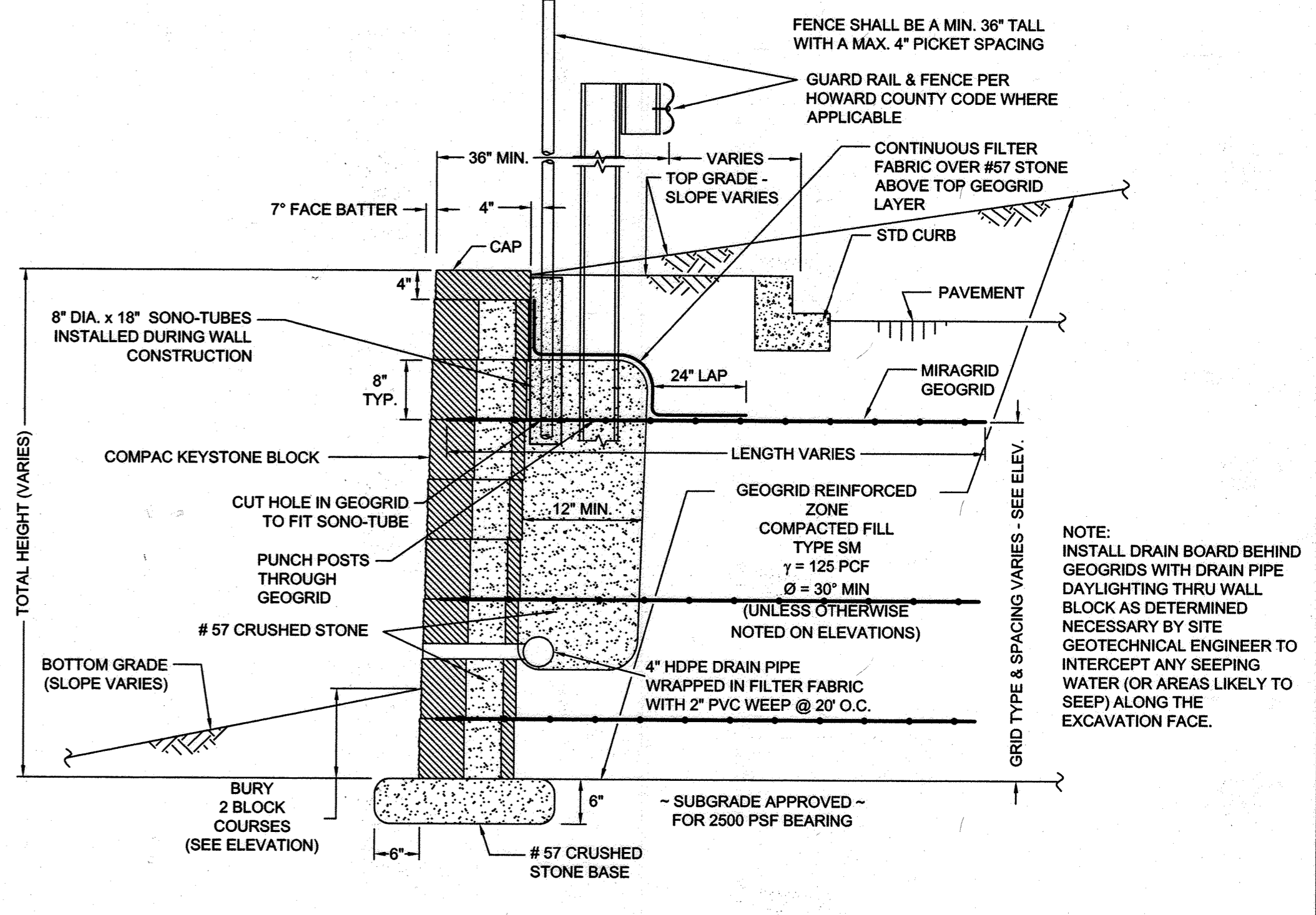
- PART 1: GENERAL**
- 1.01 Description**
- A. Work shall consist of furnishing and construction of a Modular Retaining Wall System in accordance with these specifications and in reasonably close conformity with the lines, grades, design, and dimensions shown on the plans.
 - B. Work includes preparing foundation soil, furnishing and installing leveling pad, unit drainage fill and backfill to the lines and grades shown on the construction drawings.
 - C. Work includes furnishing and installing geogrid soil reinforcement of the type, size, location, and lengths designated on the construction drawings.
- 1.02 Delivery, Storage and Handling**
- A. Contractor shall check all materials upon delivery to assure that the proper type, grade, color, and certification has been received.
 - B. Contractor shall protect all materials from damage due to job site conditions and in accordance with manufacturer's recommendations. Damaged materials shall not be incorporated into the work.
- PART 2: PRODUCTS**
- 2.01 Modular Concrete Retaining Wall Units**
- A. Modular concrete units shall conform to the following architectural requirements: face color - color may be specified by the Owner.
 - face finish - sculptured rock face in angular tri-planer or flat configuration. Other face finishes will not be allowed without written approval of Owner.
 - bond configuration - running with bonds nominally located at midpoint vertically adjacent units, in both straight and curved alignments.
 - exposed surfaces of units shall be free of chips, cracks or other imperfections when viewed from a distance of 10 feet under diffused lighting.
 - B. Modular concrete materials shall conform to the requirements of ASTM C1372 - Standard Specifications for Segmental Retaining Wall Units.
 - C. Modular concrete units shall conform to the following structural and geometric requirements measured in accordance with appropriate references:
 - compressive strength = 3000 psi minimum; absorption = 8% maximum (8% in northern states) for standard weight aggregates;
 - dimensional tolerances = ±1/8" from nominal unit dimensions not including rough split face, ±1/16"
 - unit height - top and bottom planes; unit size - 8" (H) x 16" (W) x 12" (D) minimum;
 - unit weight - 75 lbs/unit minimum for standard weight aggregates;
- 2.02 Shear Connectors (if applicable)**
- A. Shear connectors shall be 1/2 inch diameter thermoset isophthalic polyester resin-primed fiberglass reinforcement rods or equivalent to provide connection between vertically and horizontally adjacent units. Strength of shear connectors between vertical adjacent units shall be applicable over a design temperature of 10 degrees F to +100 degrees F. B. Shear connectors shall be capable of holding the geogrid in the proper design position during grid pre-tensioning and backfilling.
- 2.03 Base Leveling Pad Material**
- A. Material shall consist of a compacted #57 crushed stone base as shown on the construction drawings.
- 2.04 Unit Drainage Fill**
- A. Unit drainage fill shall consist of #57 crushed stone
- 2.05 Reinforced Backfill**
- A. Reinforced backfill shall type SM, be free of debris and meet the following gradation tested in accordance with ASTM D-422 and meet other properties shown on the plan:

Sieve Size	Percent Passing
2 inch	100-75
3/4 inch	100-75
No. 40	0-60
No. 200	0-35
- 2.06 Geogrid Soil Reinforcement**
- A. Geosynthetic reinforcement shall consist of geogrids manufactured specifically for soil reinforcement

- applications and shall be manufactured from high tenacity polyester yarn.
- 2.07 Drainage Pipe**
- A. The drainage pipe shall be perforated corrugated HDPE pipe manufactured in accordance with ASTM D-1248.
- PART 3 EXECUTION**
- 3.01 Excavation**
- A. Contractor shall excavate to the lines and grades shown on the construction drawings. Owner's representative shall be responsible for inspecting and approving the excavation prior to placement of leveling material or fill soils.
- 3.02 Base Leveling Pad**
- A. Leveling pad material shall be placed to the lines and grades shown on the construction drawings to a minimum thickness of 6 inches and extend laterally a minimum of 6" in front and behind the modular wall unit.
 - B. Leveling pad shall be prepared to insure full contact to the base surface of the concrete units.
- 3.03 Modular Unit Installation**
- A. First course of units shall be placed on the leveling pad at the appropriate line and grade. Alignment and level shall be checked in all directions and insure that all units are in full contact with the base and properly seated.
 - B. Place the front of units side-by-side. Do not leave gaps between adjacent units. Layout of corners and curves shall be in accordance with manufacturer's recommendations.
 - C. Install shear/connecting devices per manufacturer's recommendations.
 - D. Place and compact drainage fill within and behind wall units. Place and compact backfill soil behind drainage fill. Follow wall erection and drainage fill closely with structure backfill.
 - E. Maximum stacked vertical height of wall units, prior to unit drainage fill and backfill placement and compaction, shall not exceed three courses.
- 3.04 Structural Geogrid Installation**
- A. Geogrid shall be oriented with the highest strength axis perpendicular to the wall alignment.
 - B. Geogrid reinforcement shall be placed at the strengths, lengths, and elevations shown on the construction design drawings or as directed by the Engineer.
 - C. The geogrid shall be laid horizontally on compacted backfill and attached to the modular wall units. Place the next course of modular concrete units over the geogrid. The geogrid shall be pulled taut, and anchored prior to backfill placement on the geogrid.
- 3.05 Reinforced Backfill Placement**
- A. Reinforced backfill shall be placed, spread, and compacted in such a manner that minimizes the development of slack in the geogrid and installation damage.
 - B. Reinforced backfill shall be placed and compacted in lifts not to exceed 6 inches where hand compaction is used, or 8 - 10 inches where heavy compaction equipment is used. Lift thickness shall be decreased to achieve the required density as required.
 - C. Reinforced backfill shall be compacted to 95% of the maximum density as determined by ASTM D698. The moisture content of the backfill material prior to and during compaction shall be uniformly distributed throughout each layer and shall be + 3% to - 3% of optimum.
 - D. Only lightweight hand-operated equipment shall be allowed within 3 feet from the tail of the modular concrete unit.
 - E. Tracked construction equipment shall not be operated directly upon the geogrid reinforcement. A minimum fill thickness of 6 inches is required prior to operation of tracked vehicles over the geogrid. Tracked vehicle turning should be kept to a minimum to prevent tracks from displacing the fill and damaging the geogrid.
 - F. Rubber tired equipment may pass over geogrid reinforcement at slow speeds, less than 10 MPH. Sudden braking and sharp turning shall be avoided.
 - G. At the end of each day's operation, the Contractor shall slope the last lift of reinforced backfill away from the wall units to direct runoff away from wall face. The Contractor shall not allow surface runoff from adjacent areas to enter the wall construction site.
- 3.06 Cap Installation**
- A. Cap units shall be glued to underlying units with an all-weather adhesive recommended by the manufacturer.
- 3.07 Field Quality Control**
- A. The Owner shall engage inspection and testing services, including independent laboratories, to provide quality assurance and testing services during construction.
 - B. As a minimum, quality assurance testing should include foundation soil inspection, soil and backfill testing, verification of design parameters, and observation of construction for general compliance with design drawings and specifications.

NOTES:

1. No trees shall be planted within 10 feet of the top of the retaining wall.
2. Retaining walls shall only be constructed under the observation of a registered professional engineer and a (NICET, WACEL, or equiv.) certified soils technician.
3. One soil boring shall be required every one hundred feet along the entire length of the wall. Copies of all boring reports shall be provided to the Howard County Inspector Prior to the start of construction.
4. The required bearing pressure beneath the wall system shall be verified in the field by a certified soils technician. Testing documentation must be provided to the Howard County Inspector prior to start of construction. The required bearing test shall be the Dynamic Cone Penetrometer test ASTM STP-399.
5. The suitability of fill material shall be confirmed by the on-site soils technician. Each 8" lift must be compacted to a minimum 95% standard proctor density and the testing report shall be made available to the Howard County Inspector upon completion of construction.
6. Walls shall not be constructed on uncertified fill materials.
7. Walls shall not be constructed within a Howard Co. right-of-way or easement.

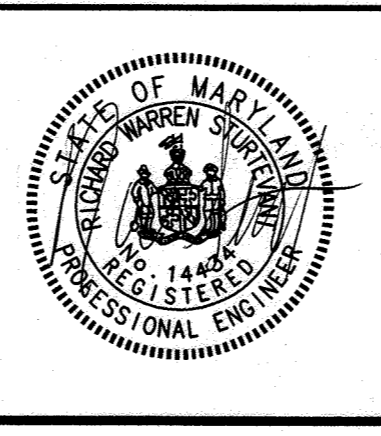


TYPICAL BLOCK WALL #1, #3 & #4 SECTION
N.T.S.

HILLIS-CARNES
ENGINEERING ASSOCIATES
16975 Guilford Road, Suite A Annapolis Junction, Maryland
(410) 880-4788 WWW.HCEA.COM Fax: (410) 880-4098

NO.	DATE	REVISION
1	7/22/14	ADDED BUILDINGS FOR THIS SECTION
2	5/14/15	REMOVE IMPERVIOUS AREAS FROM DRIVEWAYS
3	9/16/15	REMOVE TITLE BLOCK TO REFLECT SHOPPING CENTER
4	2/12/16	REMOVE TITLE BLOCK
5	5/12/17	REMOVE SHEET NUMBER TO REFLECT ADDED SHEET

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14434, EXPIRATION DATE: 05/13/15.



OWNERS:
3330 ROGERS AVENUE, LLC
SUITE 102
5300 DORSEY HALL DRIVE
ELLCOTT CITY, MD 21042
443-367-0422

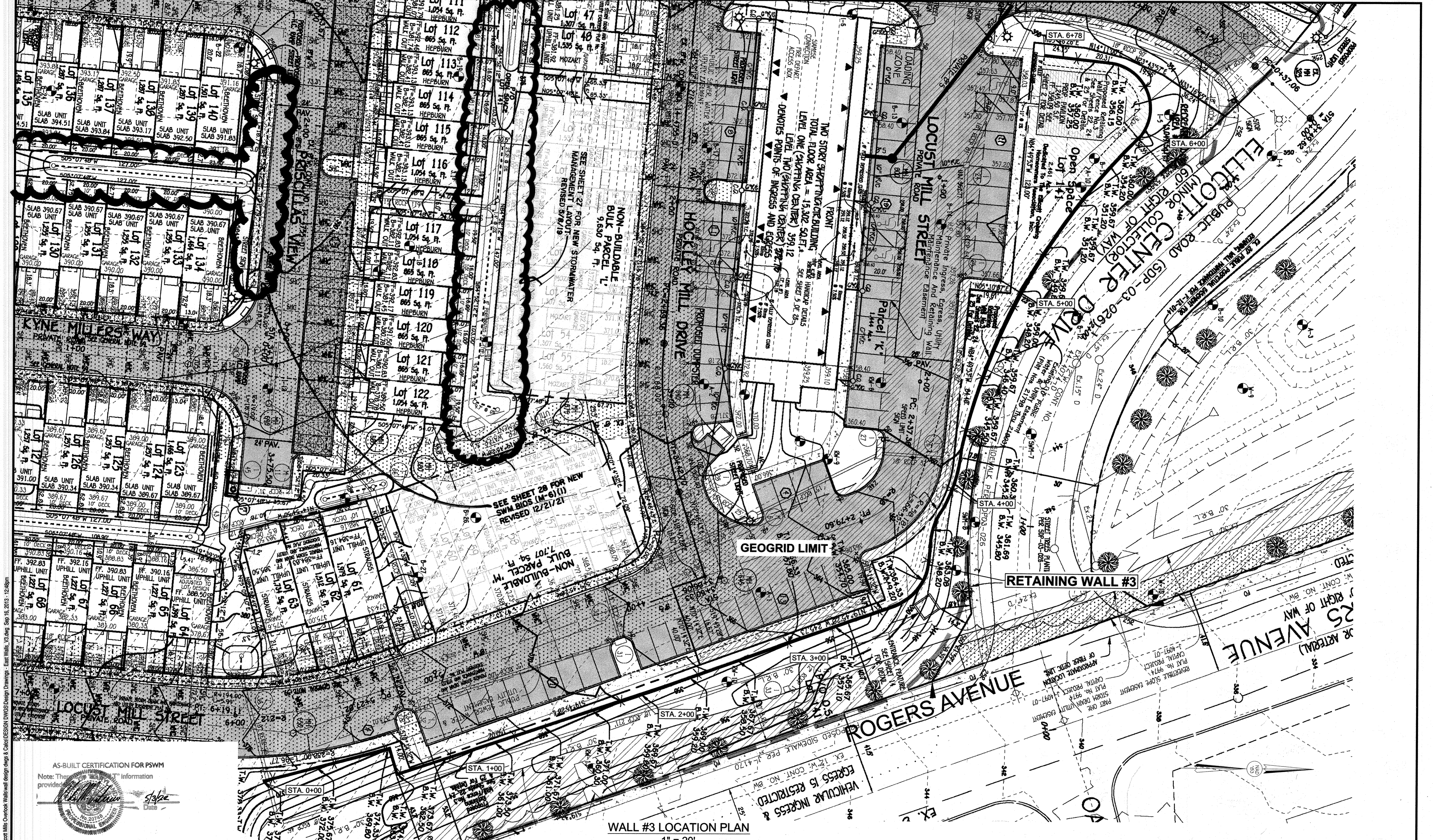
DEVELOPER:
M & T DEVELOPERS, LLC
4515 MANOR LANE
ELLCOTT CITY, MD 21042
443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Chief, Development Engineering Division
10-25-13
Date
Kurt Shaulson
Chief, Division of Land Development
11-03-13
Date
Randy D. Gault
Director
11/13/12
Date

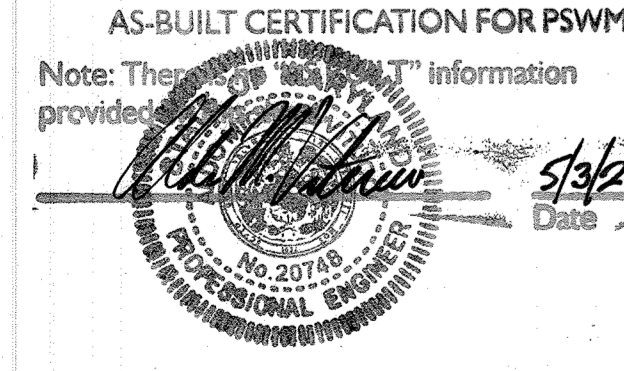
DESIGNED BY: HM
DRAWN BY: HM
PROJECT NO: 11351-A
DATE: AUGUST, 2014
SCALE: AS SHOWN
DRAWING NO: 21 OF 28

RETAINING WALL #1, #2 & #4 LOCATION PLAN & DETAILS				
ELLCOTT CROSSING - PART TWO LOTS 40 THRU 140, OPEN SPACE LOTS 141 THRU 144 &				
SINGLE FAMILY ATTACHED HOUSING, TWO STORY SHOPPING CENTER BUILDING AND GAZEBO HOWARD COUNTY, MARYLAND				
SUBDIVISION NAME	SECTION / AREA	GRID NOS.	LOT NOS.	
ELLCOTT CROSSING PART TWO	N/A	6 & 1	40 THRU 140	
PARCEL NOS.	ZONE	TAX MAP	ELECT. DISTRICT	CENSUS TR.
852, 847	MXD-6	24	2nd	6029

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET
SDP-13-004



WALL #3 LOCATION PLAN
1" = 20'



NO.	DATE	REVISION
1	6/14/16	REMOVE UNPERVIOUS AREAS FROM DRIVEWAYS & REVISE BUILDING USAGE
2	9/10/16	REMOVE BUILDING USAGE FROM COMMERCIAL TO SHOPPING CENTER
3	9/16/16	REMOVE TITLE BLOCK
4	5/8/19	ADD FILTERRA & NOTE TO SEE SHEET 27
5	12/21/21	ADD SHEET 28 - REVISE BIOS (1) & (2)

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14434. EXPIRATION DATE: 05/31/15.



OWNERS:
3330 ROGERS AVENUE, LLC
SUITE 102
5300 DORSEY HALL DRIVE
ELLCOTT CITY, MD 21042
443-367-0422

DEVELOPER:
M & T DEVELOPERS, LLC
4515 MANOR LANE
ELLCOTT CITY, MD 21042
443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
10-25-13
11-08-13
11/10/14
Date
Date
Date

DESIGNED BY: HM
DRAWN BY: HM
PROJECT NO: 11351-A
DATE: AUGUST, 2014
SCALE: AS SHOWN
DRAWING NO. 22 OF 28

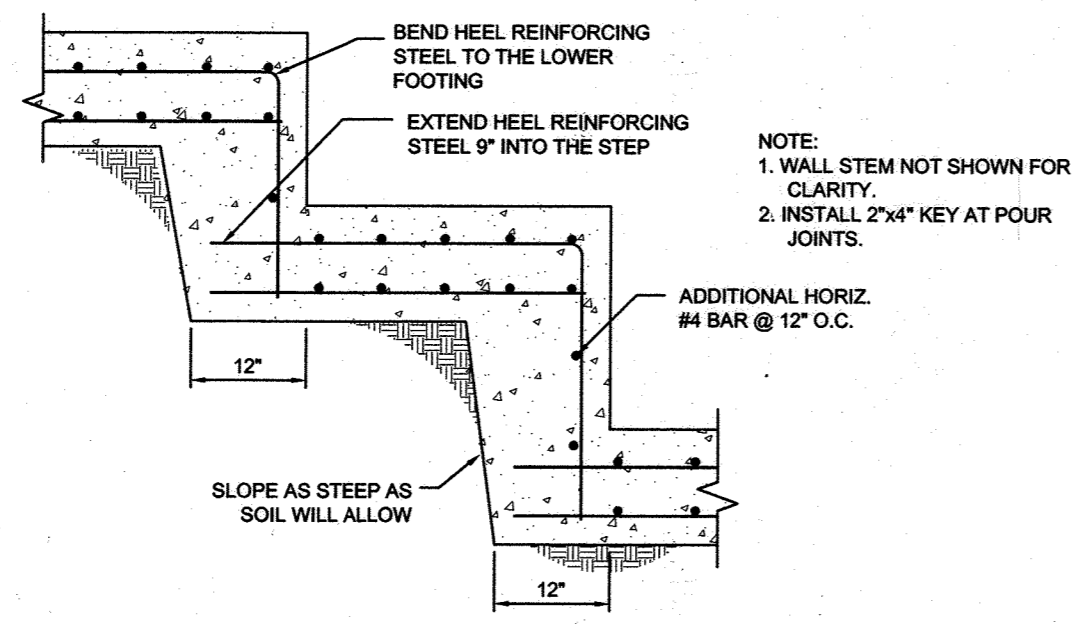
RETAINING WALL #3 LOCATION PLAN			
ELLCOTT CROSSING - PART TWO			
LOTS 47 THRU 140, OPEN SPACE LOTS 141 THRU 144 & 145			
SINGLE FAMILY ATTACHED HOUSING, TWO STORY SHOPPING CENTER BUILDING AND GARAGE			
HOWARD COUNTY, MARYLAND			
SUBDIVISION NAME	SECTION / AREA	GRID NOS.	LOT NOS.
ELLCOTT CROSSING PART TWO	N/A	6 & 1	47 THRU 140
PLAT NOS.	PARCEL NOS.	ZONE	TAX MAP
851, 852, 853	852, 847	MXD-6	24
ELECT. DISTRICT	CENSUS TR.		
2nd	6029		

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

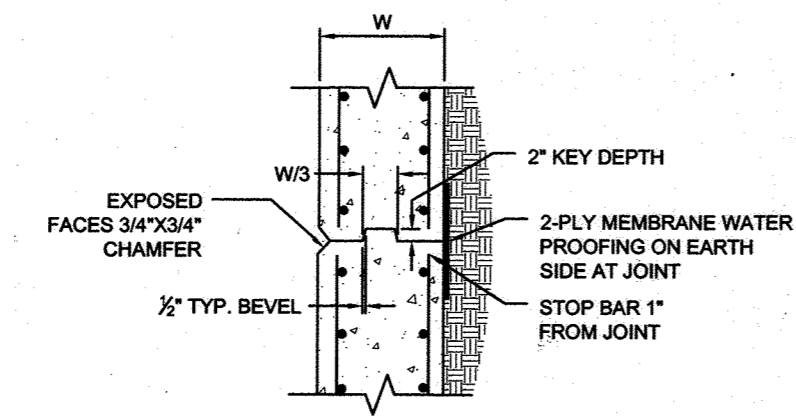
T:\Terraviva\Projects\2011\11351-A_Ellcott Mills Overlook\Wall\wall\design\dwgs\DWGSD\Design Drawings - East\Walls_V3.dwg, Sep 16, 2013, 12:48pm

NOTES:

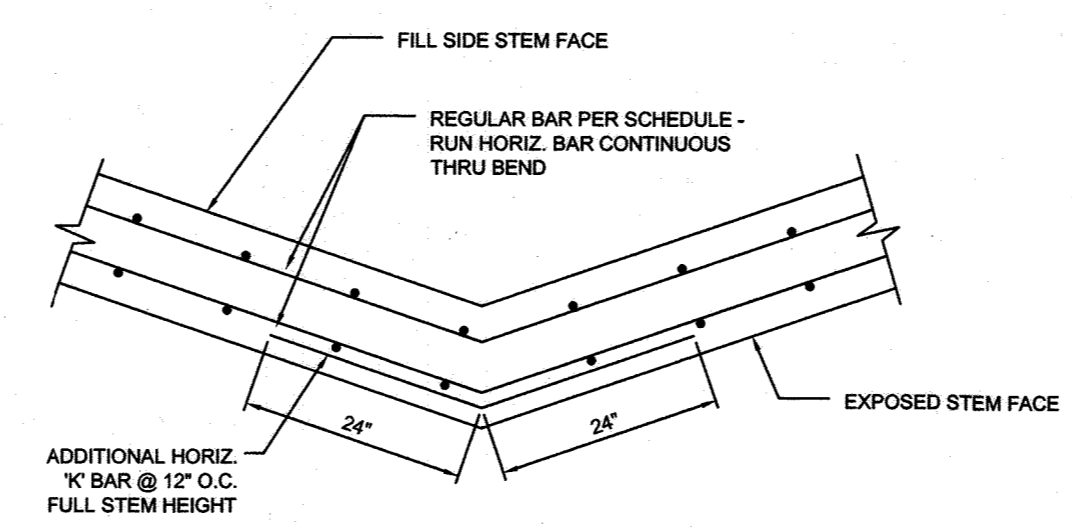
- ALL RETAINING WALL CONCRETE SHALL BE 4000 PSI WITH AIR ENTRAINMENT.
- REINFORCING STEEL SHALL CONFORM TO ASTM A-615 GRADE 60.
- WALL BACKFILL SHALL BE COMPACTED TO 95% OF T-99.
- CONCRETE WORK SHALL COMPLY WITH THE LATEST ACI 318 BUILDING CODE FOR CONCRETE STRUCTURES.
- ALL REBAR SPLICES NOT SHOWN SHALL BE A MINIMUM OF 40 BAR DIAM.
- ALL WALL PERMANENTLY EXPOSED SURFACES SHALL BE MORTAR PATCHED AND SACK-RUBBED FINISHED WITH GROUT AND BURLAP, (RUB FINISH PER OWNER'S SPECIFICATIONS).
- DESIGN SOIL BEARING VALUE OF 3000 PSF TO BE FIELD VERIFIED.
- ALL WALL DIMENSIONS, ANGLES, BEND LOCATIONS, TW/BW GRADES AND LAYOUT SHALL BE FIELD VERIFIED.
- 2-PLY MEMBRANE WATERPROOFING PER SHA. STANDARD DETAIL NO. BR-SB(6.47)-05-362.
- SEE SHEET #21 FOR STANDARD HOWARD COUNTY NOTES FOR WALL CONSTRUCTION.



CONCRETE WALL FOOTING STEP DETAIL
NOT TO SCALE

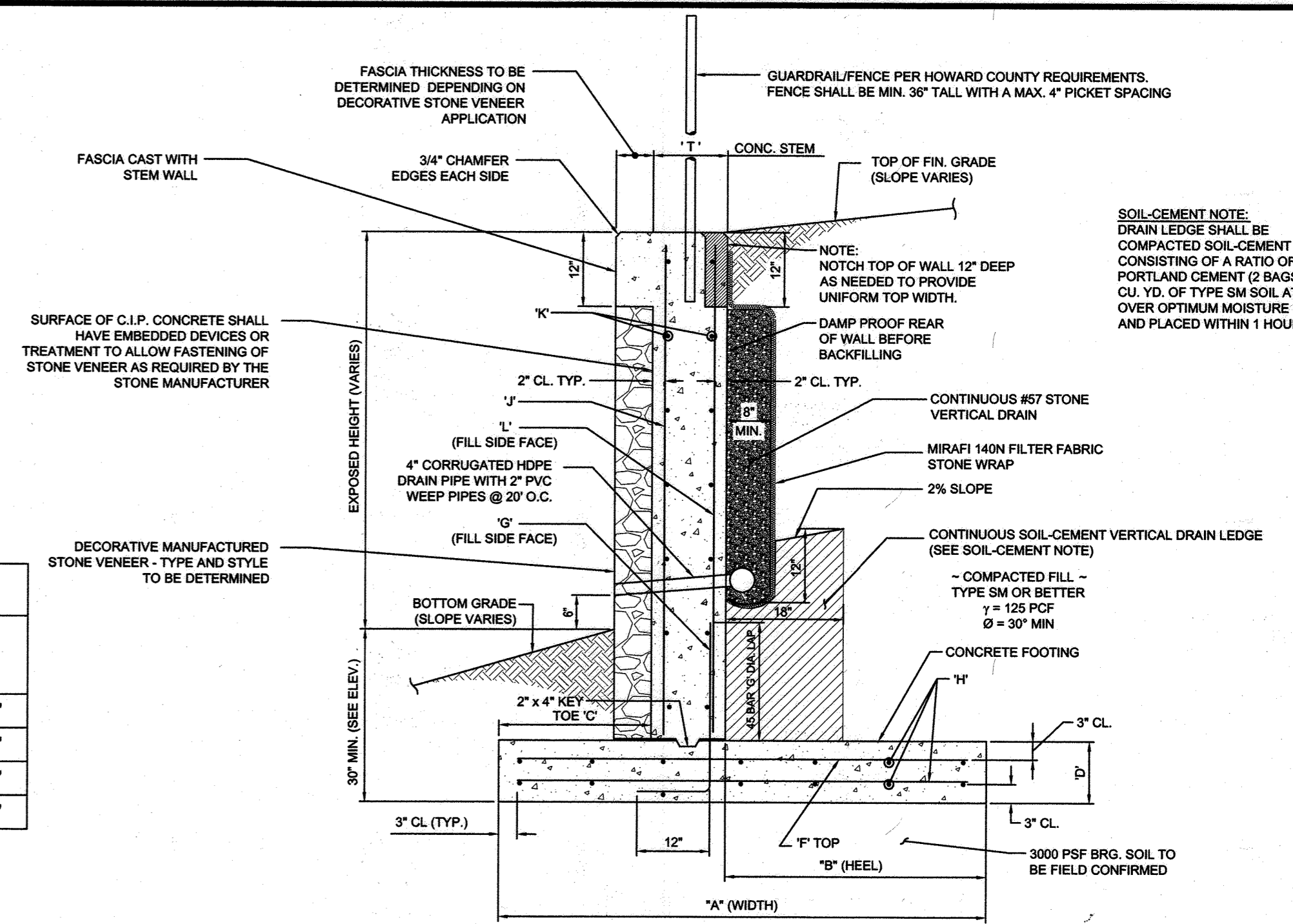


CONCRETE WALL STEM VERTICAL CONTRACTION JOINT C.J. DETAIL (PLAN VIEW)
NOT TO SCALE

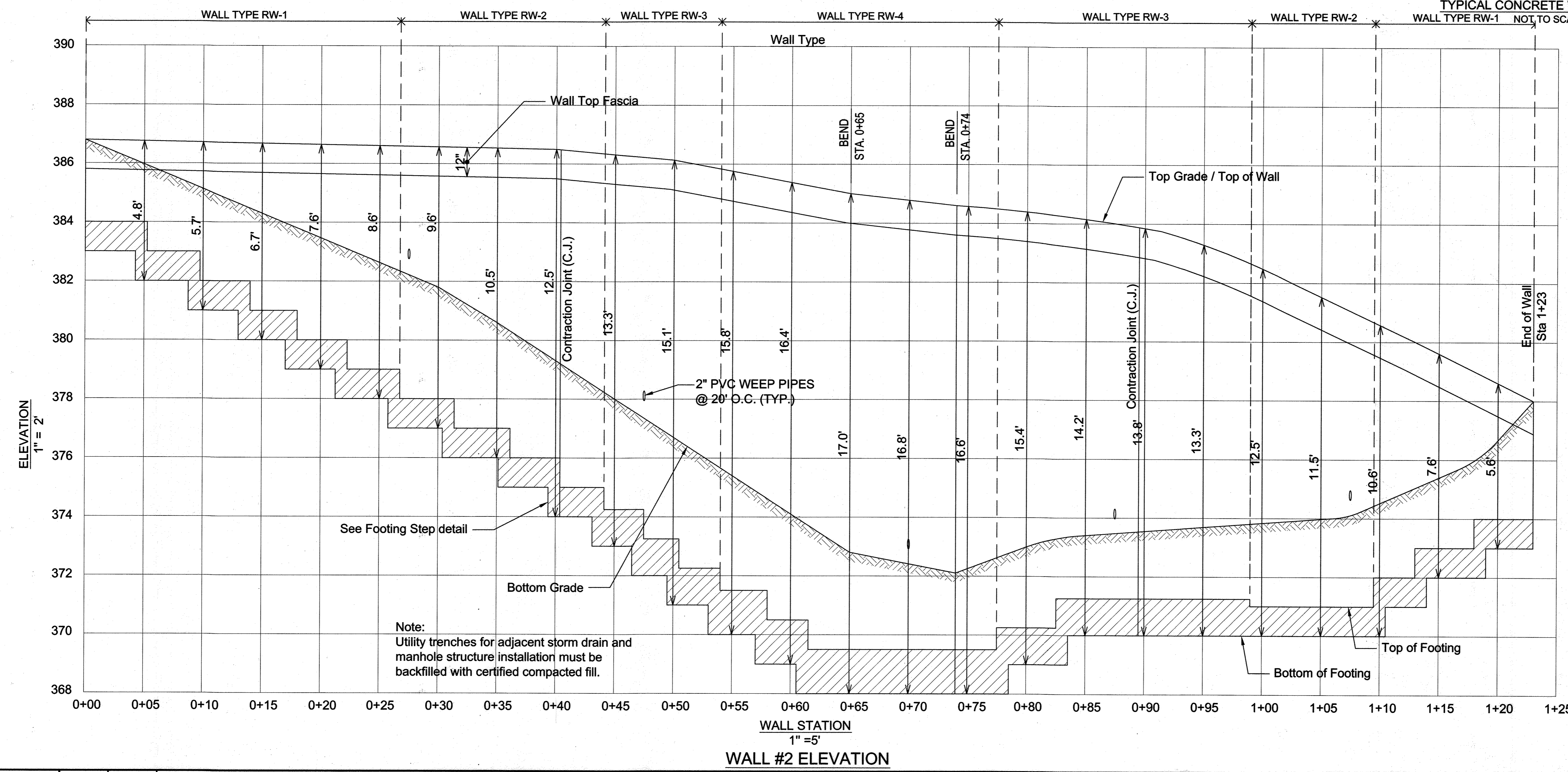


WALL BEND REINFORCEMENT DETAIL
NOT TO SCALE

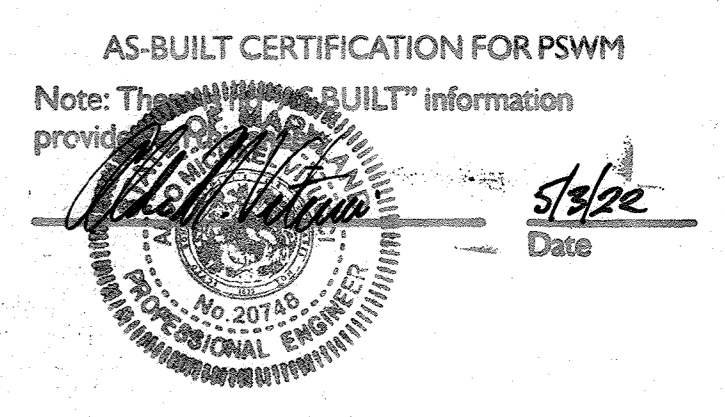
CONCRETE WALL SCHEDULE												
Wall Type	Wall Footing Width 'A'	Wall Footing Heel 'B'	Wall Footing Toe 'C'	Footing Depth 'D'	Stem Thickness 'T'	Footing Reinf. 'F'	Stem Reinf. 'G'	Footing Reinf. 'H'	Stem Reinf. 'I'	Stem Reinf. 'K'	Stem Reinf. 'L'	Stem Reinf. 'M'
RW-1	5'-2"	2'-8"	1'-6"	1'-0"	1'-0"	#5 @ 12"	#5 @ 12"	#5 @ 12"	#5 @ 12"	#4 @ 12"	#5 @ 12"	#5 @ 12"
RW-2	7'-4"	4'-7"	1'-9"	1'-0"	1'-0"	#6 @ 12"	#7 @ 12"	#5 @ 12"	#5 @ 12"	#4 @ 12"	#5 @ 12"	#5 @ 12"
RW-3	9'-4"	5'-7"	2'-6"	1'-3"	1'-3"	#7 @ 12"	#8 @ 12"	#6 @ 12"	#6 @ 12"	#5 @ 12"	#6 @ 12"	#6 @ 12"
RW-4	10'-6"	6'-0"	3'-0"	1'-6"	1'-6"	#7 @ 12"	#8 @ 12"	#6 @ 12"	#6 @ 12"	#5 @ 12"	#7 @ 12"	#7 @ 12"



TYPICAL CONCRETE WALL SECTION
NOT TO SCALE



WALL #2 ELEVATION



HILLIS-CARNES ENGINEERING ASSOCIATES
10975 Guilford Road, Suite A Annapolis Junction, Maryland
(410) 880-4788 WWW.HCEA.COM Fax: (410) 880-4098

NO.	DATE	REVISION
1	8/14/15	REVISED TITLE BLOCK TO REFLECT COMMERCIAL BUILDING
2	8/16/15	REVISED TITLE BLOCK TO REFLECT SHOPPING CENTER
3	9/16/16	REVISED TITLE BLOCK
4	8/22/19	REVISED SHEET NUMBER TO REFLECT ADDED SHEET
5	12/21/21	ADD SHEET 28

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 14434
EXPIRATION DATE: 05/13/15.



OWNERS:
3330 ROGERS AVENUE, LLC
SUITE 102
5300 DORSEY HALL DRIVE
ELLICOTT CITY, MD 21042
443-367-0422

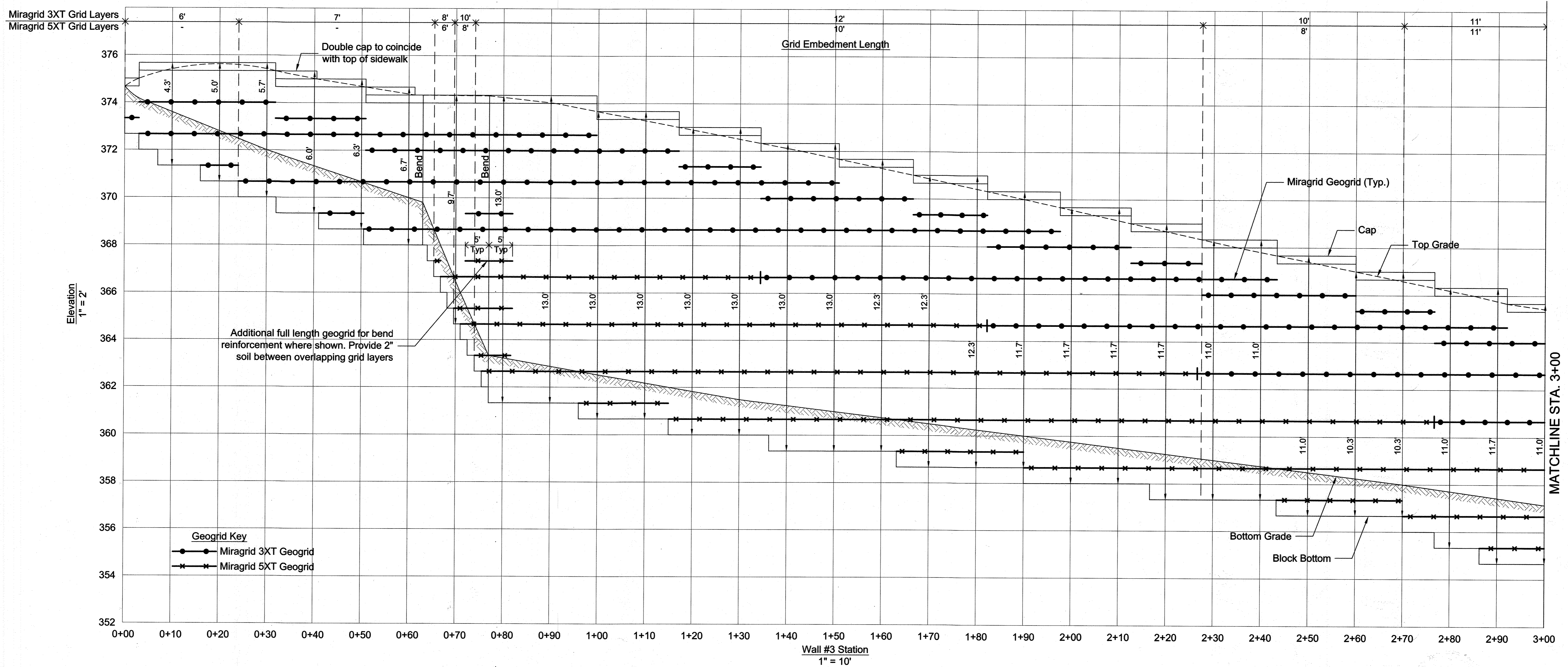
DEVELOPER:
M & T DEVELOPERS, LLC
4515 MANOR LANE
ELLICOTT CITY, MD 21042
443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Chief, Development Engineering Division
Date: 10-25-13
Date: 4-08-13
Date: 11/12/12

DESIGNED BY: HM
DRAWN BY: HM
PROJECT NO: 11351-A
DATE: AUGUST, 2014
SCALE: AS SHOWN
DRAWING NO. 23 OF 28

CONCRETE WALL #2 ELEVATION & DETAILS					
ELLICOTT CROSSING - PART TWO					
SUBDIVISION NAME: ELLICOTT CROSSING PART TWO					
SECTION / AREA: N/A	GRID NOS: 6 & 1	LOT NOS: 46 TRWJ 140	TAX MAP: 24		
ELECT. DISTRICT: 2nd		CENSUS TR. 6029		SDP-13-004	

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET



WALL #3 ELEVATION - STA. 0+00 TO 3+00

AS-BUILT CERTIFICATION FOR PSWM
 Note: This information provides "AS-BUILT" information.

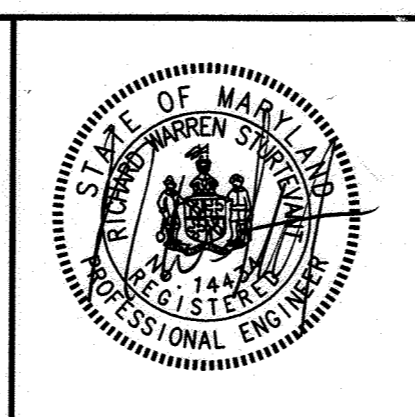
 Date: _____

I:\Projects\2011\11561A_Ellcott Mills Overlook Walls\wall design dwgs & calc\DESIGN DWGS\Design Drawings - East Walls_V3.dwg Sep 16, 2013 - 12:46pm

HILLIS-CARNES
ENGINEERING ASSOCIATES
 10975 Guilford Road, Suite A Annapolis Junction, Maryland
 (410) 880-4788 WWW.HCEA.COM Fax: (410) 880-4098

NO.:	DATE:	REVISION
1	8/14/10	REVISED TITLE BLOCK TO REFLECT COMMERCIAL BUILDING
2	9/16/10	REVISED TITLE BLOCK TO REFLECT SHOPPING CENTER
3	9/16/10	REVISED TITLE BLOCK
4	5/24/11	REVISED SHEET NUMBER TO REFLECT ADDED SHEET
5	12/21/21	ADD SHEET 28

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14434, EXPIRATION DATE: 05/13/15.



OWNERS:
 M & T DEVELOPERS, LLC
 3330 ROGERS AVENUE, LLC
 SUITE 102
 5300 DORSEY HALL DRIVE
 ELLICOTT CITY, MD 21042
 443-367-0422

DEVELOPER:
 M & T DEVELOPERS, LLC
 4515 MANOR LANE
 ELLICOTT CITY, MD 21042
 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

 Chief, Development Engineering Division
 Date: 10-25-13

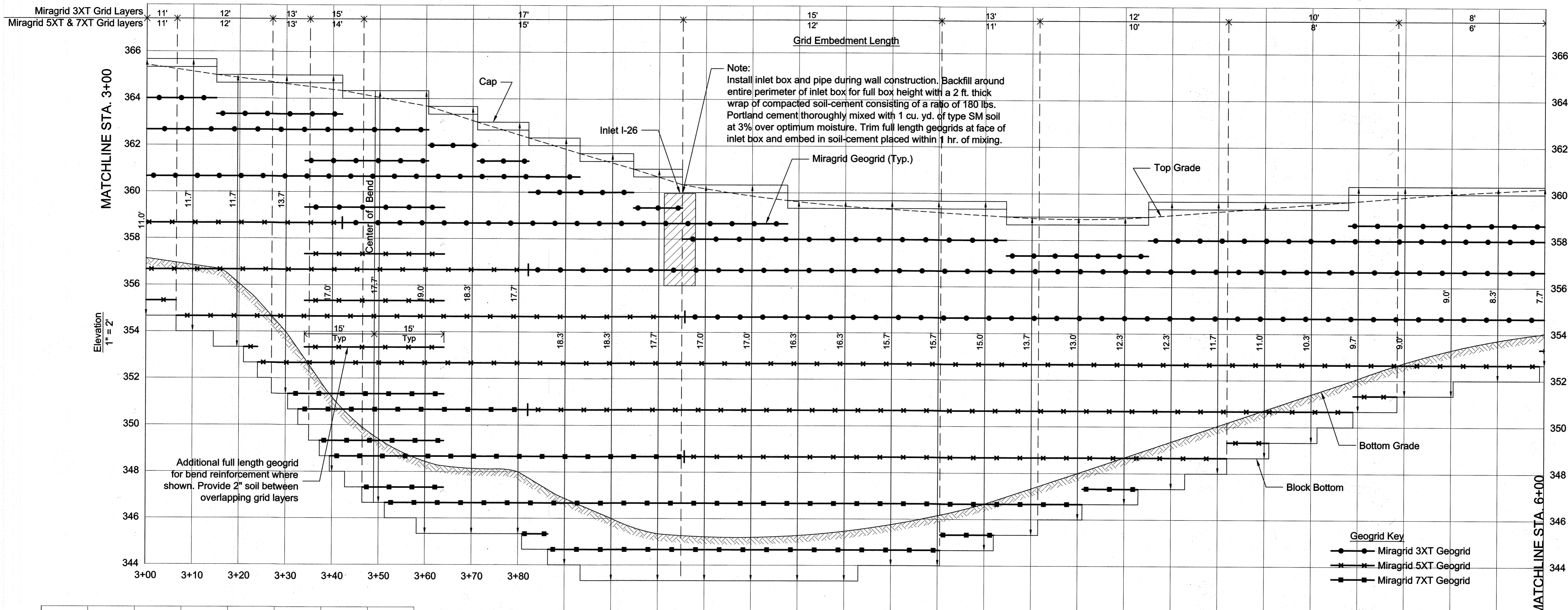
 Chief, Division of Land Development
 Date: 4-08-13

 Director
 Date: 11/13/13

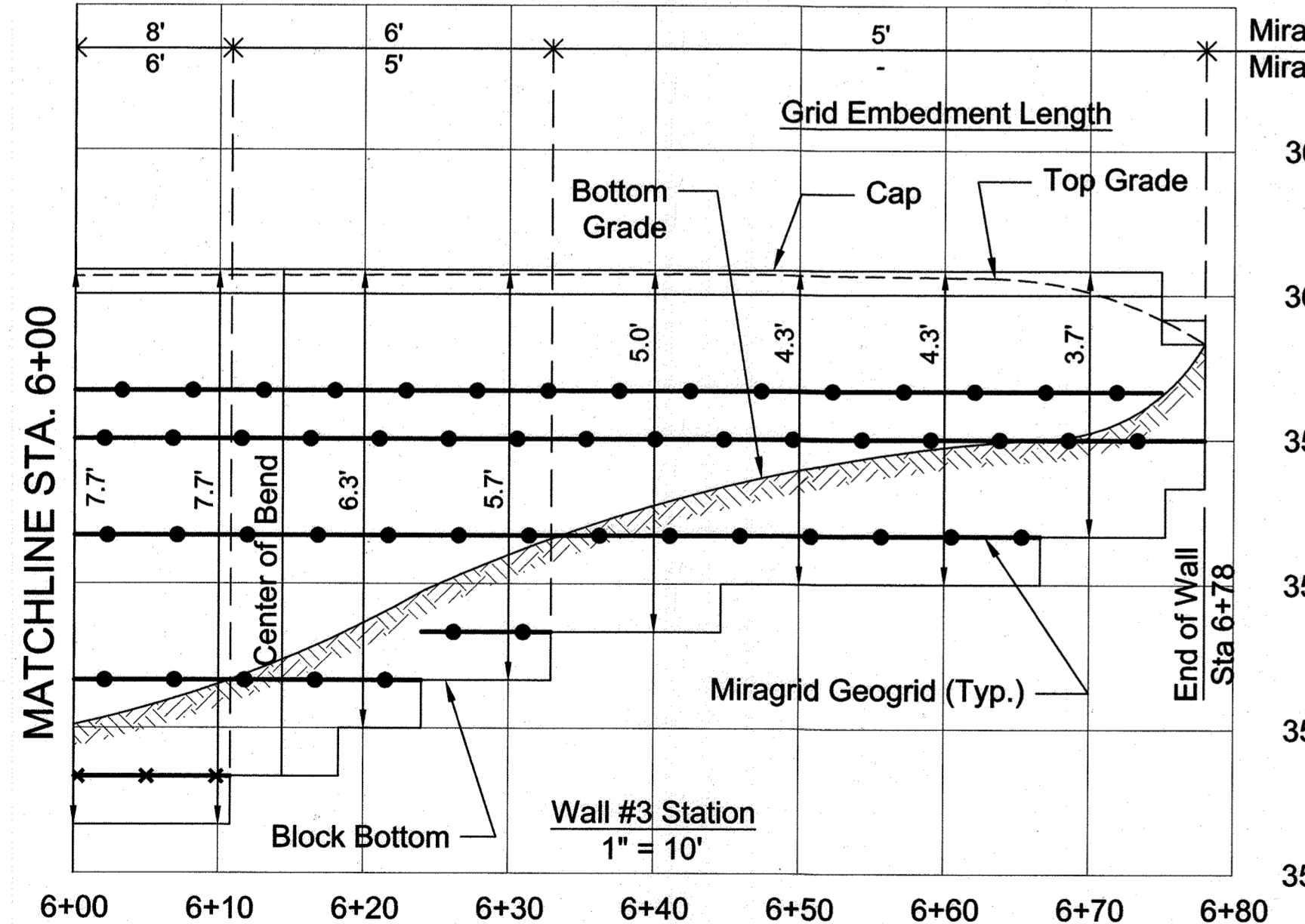
DESIGNED BY: HM
DRAWN BY: HM
PROJECT NO.: 11351-A
DATE: AUGUST, 2014
SCALE: AS SHOWN
DRAWING NO.: 24 OF 28

RETAINING WALL #3 ELEVATION - STA. 0+00 TO 3+00					
ELLICOTT CROSSING - PART TWO					
SINGLE-FAMILY ATTACHED HOUSING, TWO STORY SHOPPING CENTER BUILDING AND GAZEBO HOWARD COUNTY, MARYLAND					
SUBDIVISION NAME	SECTION / AREA	GRID NOS.	LOT NOS.		
ELLICOTT CROSSING PART TWO	N/A	6 & 1	42, 141, 144		
PLAT NOS.	PARCEL NOS.	ZONE	TAX MAP	ELECT. DISTRICT	CENSUS TR.
8891, 8892, 8893, 8894, 8895, 8896, 8897, 8898, 8899, 8900, 8901, 8902, 8903, 8904, 8905, 8906, 8907, 8908, 8909, 8910, 8911, 8912, 8913, 8914, 8915, 8916, 8917, 8918, 8919, 8920, 8921, 8922, 8923, 8924, 8925, 8926, 8927, 8928, 8929, 8930, 8931, 8932, 8933, 8934, 8935, 8936, 8937, 8938, 8939, 8940, 8941, 8942, 8943, 8944, 8945, 8946, 8947, 8948, 8949, 8950, 8951, 8952, 8953, 8954, 8955, 8956, 8957, 8958, 8959, 8960, 8961, 8962, 8963, 8964, 8965, 8966, 8967, 8968, 8969, 8970, 8971, 8972, 8973, 8974, 8975, 8976, 8977, 8978, 8979, 8980, 8981, 8982, 8983, 8984, 8985, 8986, 8987, 8988, 8989, 8990, 8991, 8992, 8993, 8994, 8995, 8996, 8997, 8998, 8999, 9000	852, 847	MXD-6	24	2nd	6029

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET



WALL #3 ELEVATION - STA. 3+00 TO 6+00



WALL #3 ELEVATION - STA. 6+00 TO 6+78

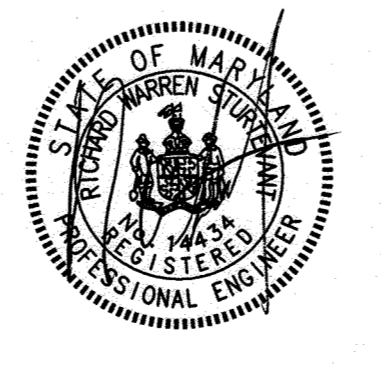
AS-BUILT INFORMATION FOR PSWM
 Note: The information provided is for informational purposes only.
 [Signature] Date: 11/13/12

I:\Projects\11351A Ellicott Mills Overlook\Wall\wall design.dwg & Calculations\DWG\Design Drawings - East Wall_V3.dwg Sep 18, 2013 - 12:49pm

HILLIS-CARNES
ENGINEERING ASSOCIATES
 10975 Guilford Road, Suite A Annapolis Junction, Maryland
 (410) 880-4788 WWW.HCEA.COM Fax: (410) 880-4098

NO.	DATE	REVISION
1	6/14/15	REMOVED TITLE BLOCK TO REFLECT COMMERCIAL BUILDING
2	7/16/15	REMOVED TITLE BLOCK TO REFLECT SHOPPING CENTER
3	7/16/15	REMOVED TITLE BLOCK
4	7/22/15	REMOVED SHEET NUMBER TO REFLECT ADDED SHEET
5	12/21/21	ADD SHEET 28

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14434, EXPIRATION DATE: 05/13/15.



OWNERS:
 M & T DEVELOPERS, LLC
 4515 MANOR LANE
 5300 DORSEY HALL DRIVE
 ELLICOTT CITY, MD 21042
 443-367-0422

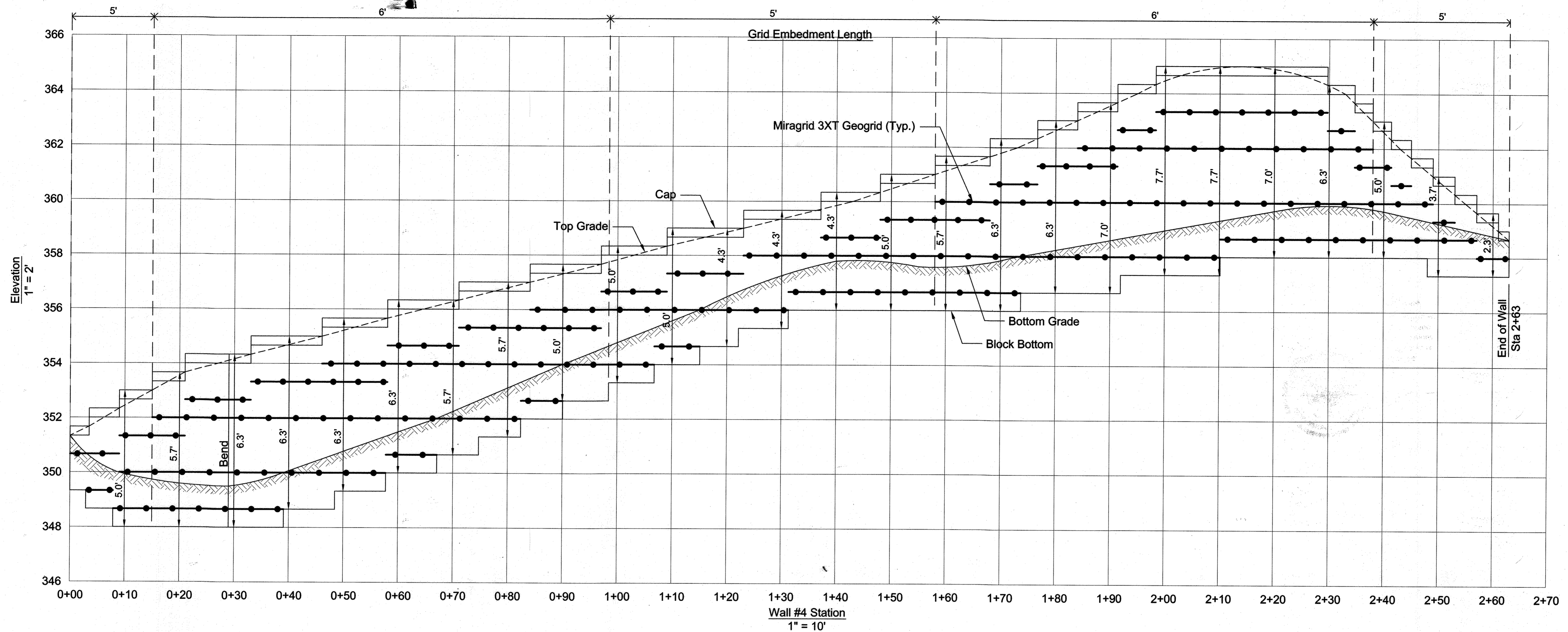
DEVELOPER:
 M & T DEVELOPERS, LLC
 4515 MANOR LANE
 ELLICOTT CITY, MD 21042
 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 [Signature] Chief, Development Engineering Division Date: 10-25-17
 [Signature] Chief, Division of Land Development Date: 11-08-13
 [Signature] Director Date: 11/13/12

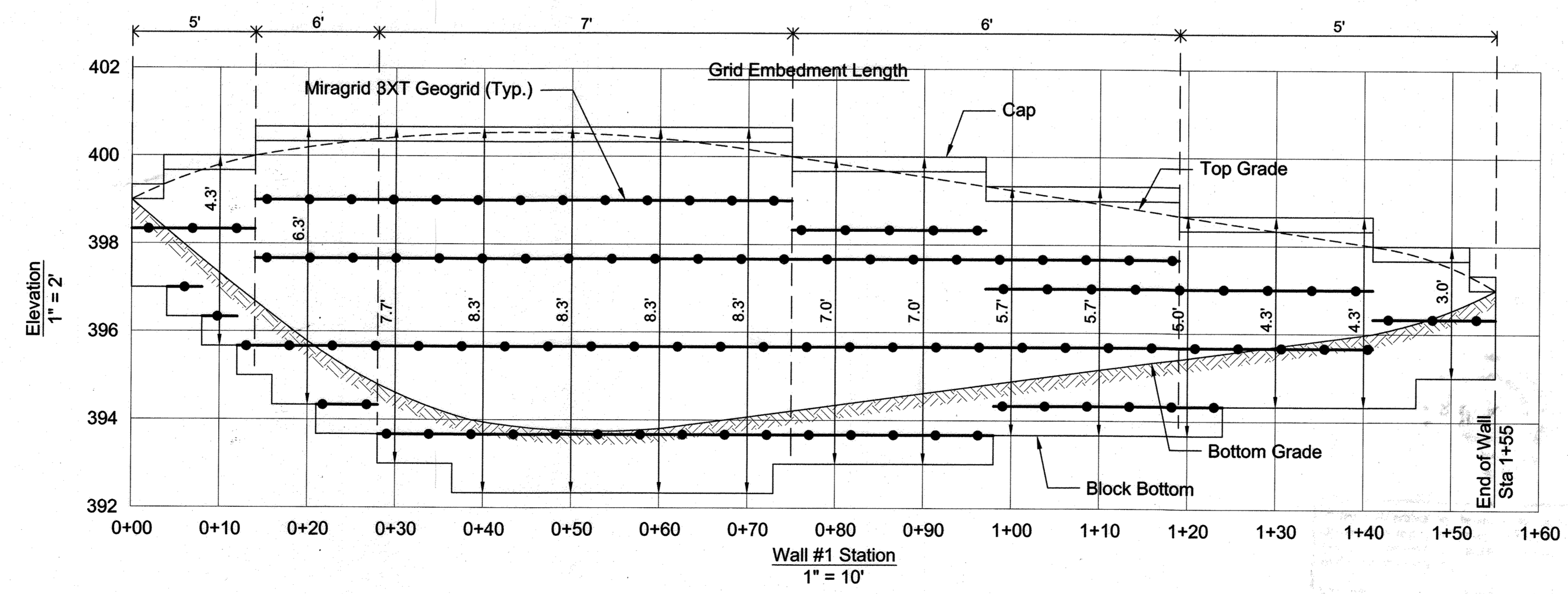
DESIGNED BY: HM
 DRAWN BY: HM
 PROJECT NO: 11351-A
 DATE: AUGUST, 2014
 SCALE: AS SHOWN
 DRAWING NO. 25 OF 28

RETAINING WALL #3 ELEVATION - STA. 3+00 TO 6+78					
ELLICOTT CROSSING - PART TWO					
SINGLE FAMILY ATTACHED HOUSING, TWO STORY SHOPPING CENTER BUILDING AND GAZEBO					
SUBDIVISION NAME ELLICOTT CROSSING PART TWO		SECTION / AREA N/A	GRID NOS. 6 & 1	LOT NOS. 46 THRU 140	CENSUS TR. 6029
PARCEL NOS. 852, 847	ZONE MXD-6	TAX MAP 24	ELECT. DISTRICT 2nd	CENSUS TR. 6029	

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET



WALL #4 ELEVATION



WALL #1 ELEVATION

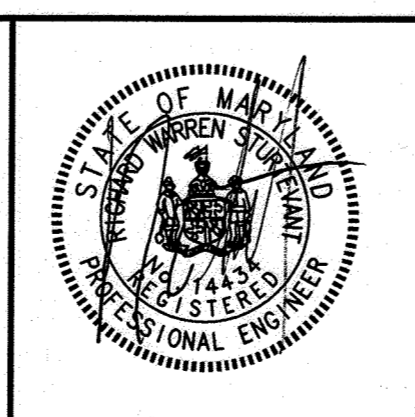
AS-BUILT CERTIFICATION FOR PSWM
 Note: There is no "AS-BUILT" information provided.
 [Signature] /s/ [Name] Date: 11/13/13

I:\Projects\2011\115614_Ellcott Mills Overlook Walls\wall design dings & Calc\DESIGN DWGS\Design Drawings - East Walls_v3.dwg Sep 16, 2013 - 12:49pm

HILLIS-CARNES
ENGINEERING ASSOCIATES
 10975 Guilford Road, Suite A Annapolis Junction, Maryland
 (410) 880-4788 WWW.HCEA.COM Fax: (410) 880-4088

NO.:	DATE:	REVISION
1	8/14/13	REVISED TITLE BLOCK TO REFLECT COMMERCIAL BUILDING
2	9/16/13	REVISED TITLE BLOCK TO REFLECT SHOPPING CENTER
3	9/16/13	REVISED TITLE BLOCK
4	5/14/14	REVISED SHEET NUMBER TO REFLECT ADDED SHEET
5	12/2/14	ADD SHEET 28

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14434, EXPIRATION DATE: 05/13/15.



OWNERS:
 M & T DEVELOPERS, LLC
 SUITE 102
 5300 DORSEY HALL DRIVE
 ELLICOTT CITY, MD 21042
 443-367-0422

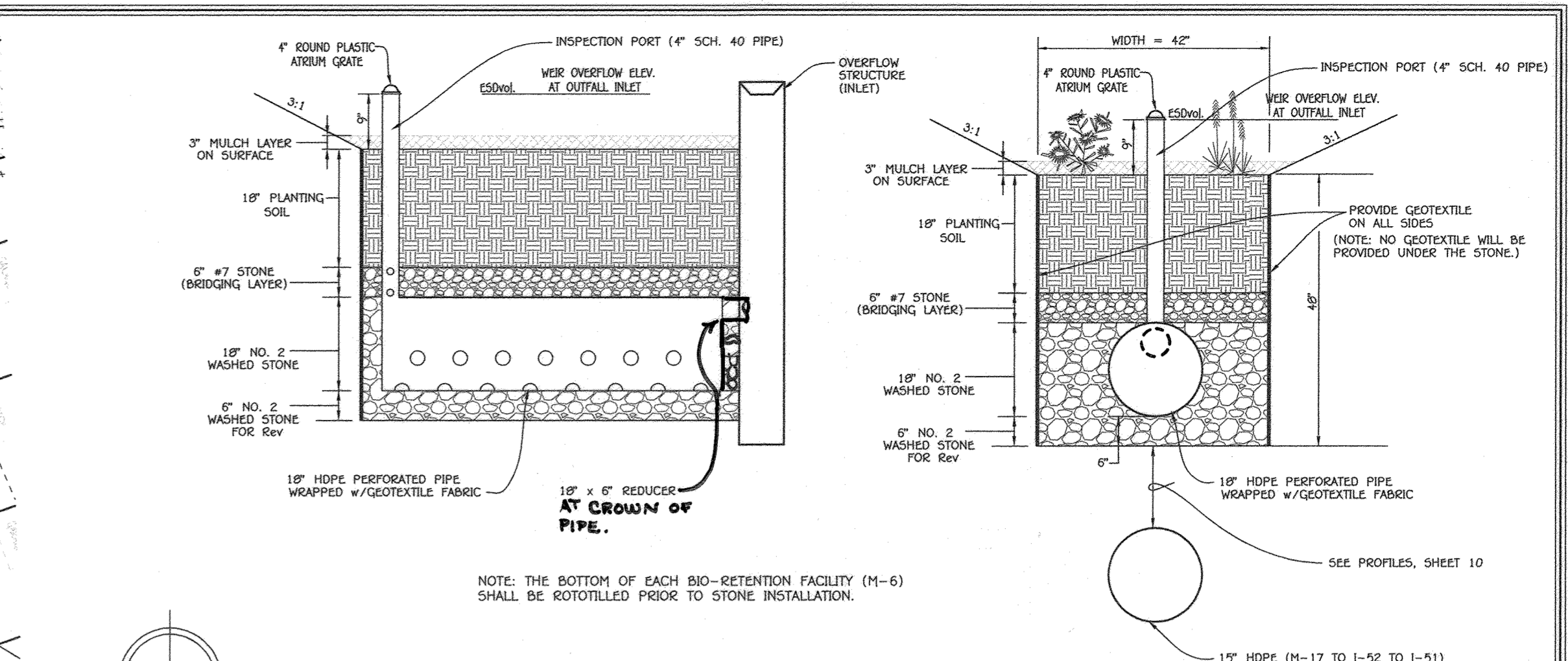
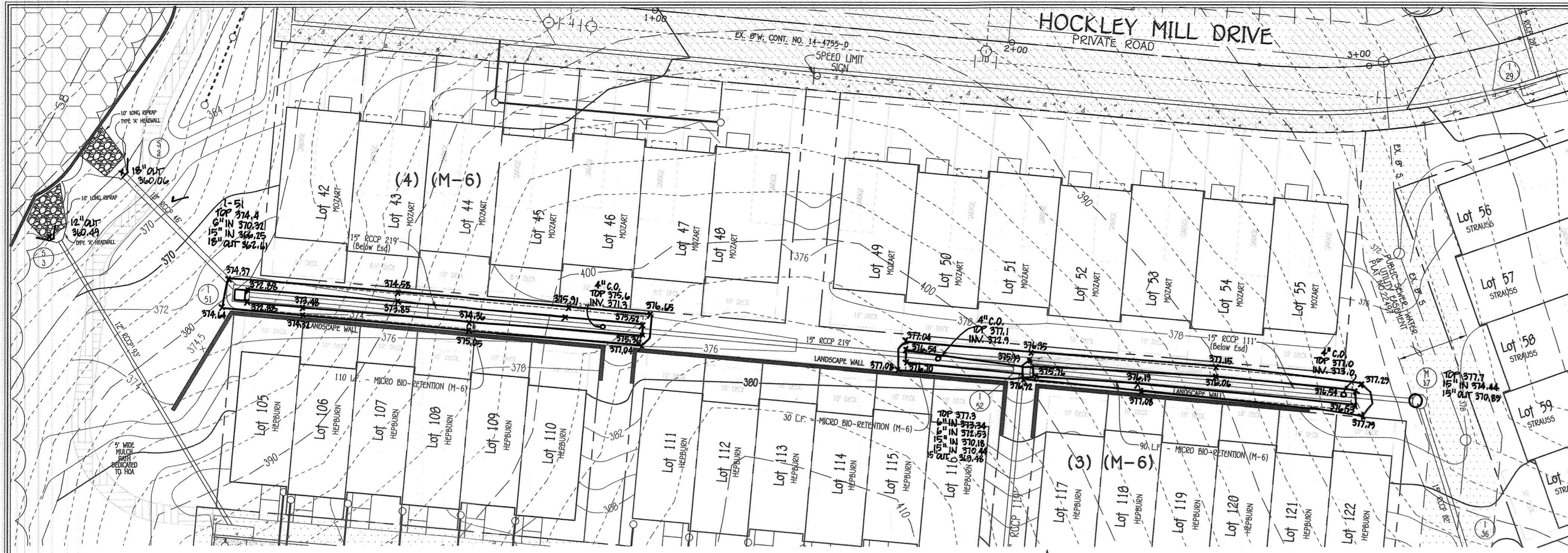
DEVELOPER:
 M & T DEVELOPERS, LLC
 4515 MANOR LANE
 ELLICOTT CITY, MD 21042
 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 [Signature] Chief, Development Engineering Division 10-25-13 Date
 [Signature] Chief, Division of Land Development 11-13-13 Date
 [Signature] Director 11/13/13 Date

DESIGNED BY: HM
 DRAWN BY: HM
 PROJECT NO: 11351-A
 DATE: AUGUST, 2014
 SCALE: AS SHOWN
 DRAWING NO. 26 OF 28

RETAINING WALL #1 AND #4 ELEVATIONS					
ELLICOTT CROSSING - PART TWO					
SINGLE FAMILY ATTACHED HOUSING, TWO STORY SHOPPING CENTER, BUILDING AND GAZEBO					
SUBDIVISION NAME ELLICOTT CROSSING PART TWO		SECTION / AREA N/A	GRID NOS. 6 & 1	LOT NOS. 46 THRU 140	
PARCEL NOS. 852, 847	ZONE MXD-6	TAX MAP 24	ELECT. DISTRICT 2nd	CENSUS TR. 6029	

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET



TYPICAL SECTION MICRO BIO-RETENTION FACILITY (3) & (4) (M-6)

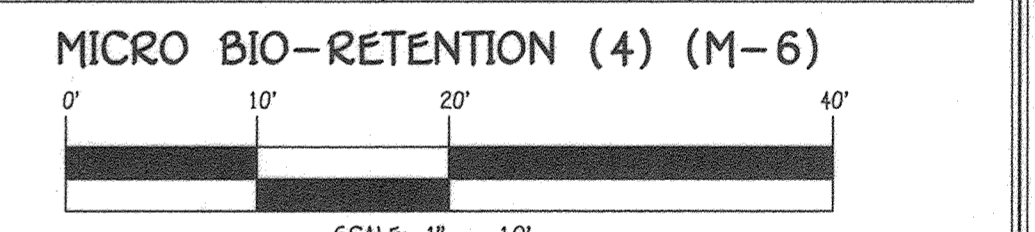
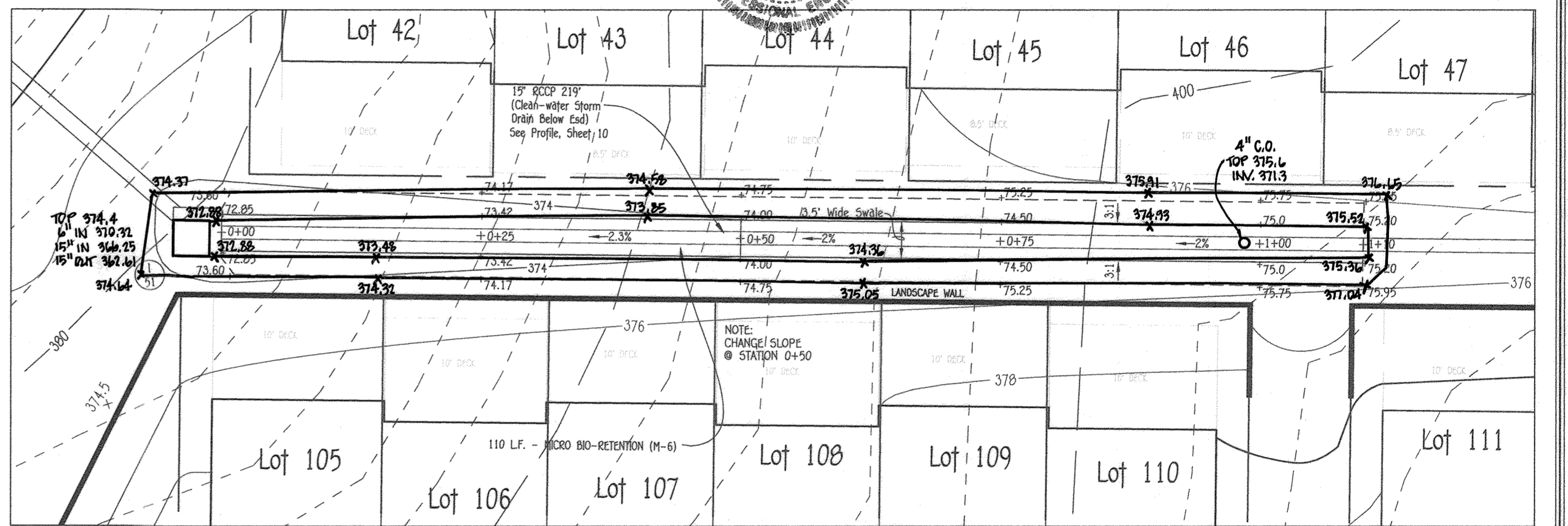
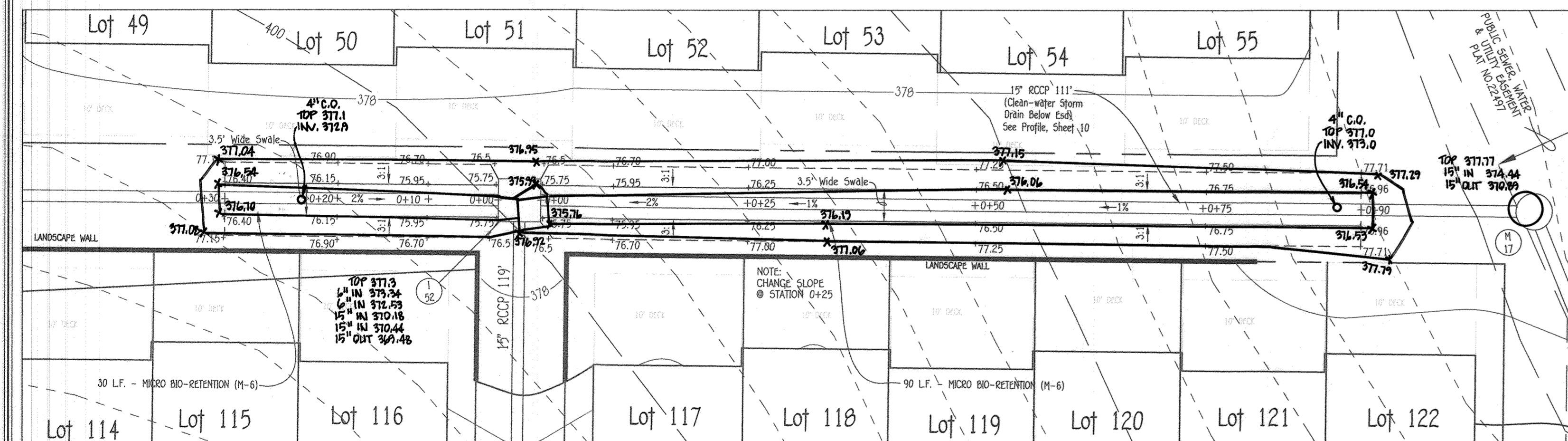
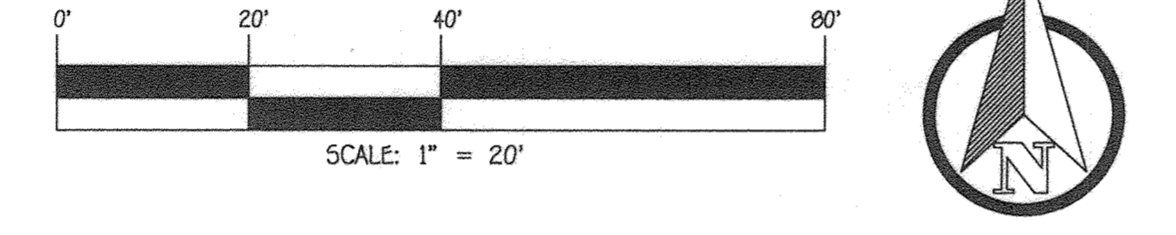
AS-BUILT CERTIFICATION FOR PSWPM NO SCALE

I hereby certify that the facility shown on the plan was constructed as shown on the "AS BUILT" plans and complies with the approved plans and specifications. I have verified that the contributing drainage area is sufficiently sized to prevent clogging of the underdrain.

DATE: 5/3/22

M-6 (3) MICRO BIO-RETENTION PLANT MATERIAL

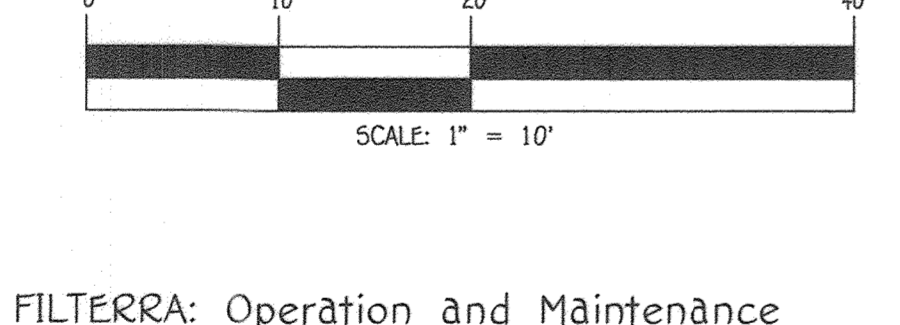
QUANTITY	NAME	MAXIMUM SPACING (FT.)
90	MIXED PERENNIALS	1 FT.
45	SHRUBS	2 FT.



OPERATION AND MAINTENANCE SCHEDULE FOR BIO-RETENTION AREAS (M-6)

- ANNUAL MAINTENANCE OF PLANT MATERIAL, MULCH LAYER AND SOIL LAYERS IS REQUIRED. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING.
- SCHEDULE OF PLANT INSPECTION WILL BE TWICE A YEAR IN SPRING AND FALL. THIS INSPECTION WILL INCLUDE REMOVAL OF DEAD AND DISEASED VEGETATION BEYOND TREATMENT. TREATMENT OF ALL DISEASED TREES AND SHRUBS AND REPLACEMENT OF ALL DEFICIENT STAKES AND WIRES.
- MULCH SHALL BE INSPECTED EACH SPRING. REMOVE PREVIOUS MULCH LAYER BEFORE APPLYING NEW LAYERS ONCE EVERY 2 TO 3 YEARS.
- SOIL EROSION TO BE ADDRESSED ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER MONTH AND AFTER HEAVY STORM EVENTS.

MICRO BIO-RETENTION (3) (M-6)



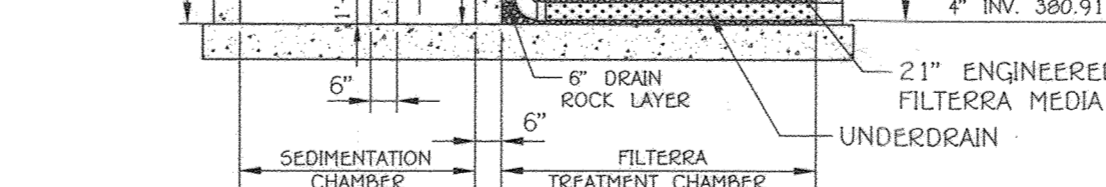
FILTERRA: Operation and Maintenance

- Annual maintenance consists of a maximum of (2) scheduled visits. The visits are scheduled seasonally; the spring visit aims to clean up after winter loads including salts and sands. The fall visit helps the system by removing excessive leaf litter.
- Each maintenance inspection consists of the following tasks:
 - Filterra unit inspection
 - Foreign debris, silt, mulch and trash removal
 - Filter media evaluation and recharge as necessary
 - Plant health evaluation and pruning or replacement as necessary
 - Replacement of mulch
 - Disposal of all maintenance refuse items
 - Maintenance records updated and stored

UNIT DESIGNATION	INSIDE VAULT DIMENSIONS	FILTERRA TREATMENT AREA	MAXIMUM DRAINAGE AREA TREATED (SF)	WQV STORAGE CAPACITY (CF)
FTSC 6' x 6'	12' x 6'	6' x 6'	7,847	155

NOTE: 1. MAXIMUM DRAINAGE AREA TREATED ASSUMES 25% WQV AND FILTER SURFACE AREA REQUIREMENTS ARE BOTH MET.
 2. STORAGE CAPACITY ASSUMES 40% VOIDS IN UNDERDRAIN STONE AND 30% VOIDS IN MULCH AND MEDIA.
 3. ALL INFORMATION IS BASED ON STANDARD 3.85 RIM TO OUTFALL DEPTH. CONTACT CONTECH FOR CUSTOM SIZING IF DEPTH IS NOT 3.85" ACCEPTABLE DEPTH IS 3.35" MIN. TO 5.00" MAX. RIM TO OUTFALL DEPTH.

FILTERRA® WITH SEDIMENTATION CHAMBER



FILTERRA STANDARD PLAN NOTES

- Construction & Installation**
- Each unit shall be constructed at the locations and elevations according to the sizes shown on the approved drawings. Any modifications to the elevation or location shall be at the direction of and approved by the Engineer.
 - If the Filterra® is stored before installation, the top slab must be placed on the box using the 2x4 Filterra® spacers. Care shall be taken during construction not to damage the protective front and top plates.
 - The unit shall be placed on a compacted sub-grade with a minimum 6-inch gravel base matching the final grade of the curb in the area of the unit. The unit is to be placed such that the unit and top slab match the grade of the curb in the area of the unit. Compact undisturbed sub-grade materials to 95% of maximum density at +/- 2% of optimum moisture. Unusable material below sub-grade shall be replaced to the site engineer's approval.
 - Outlet connections shall be aligned and sealed to meet the approved drawings with modifications necessary to meet site conditions and local regulations.
 - Once the unit is set, the internal wooden forms and protective mesh cover must be left intact. Remove only the temporary wooden slapping blocks between the box and top slab. The top lid should be sealed onto the box section before backfilling using a non-abrasive, graded, buffed rubber or similar waterproof seal. The blocks on top of the lid and blocks sealed to the unit's front must NOT be removed. The Supplier (Contractor or authorized dealer) will remove these sections at the time of activation. Backfilling should be performed in a careful manner, bringing the appropriate fill material up in 12" lifts on all sides. Pruned sections shall be set in a manner that will result in a water-tight joint. In all instances, installation of Filterra® shall conform to ASTM specification G31 "Standard Practice for Installation of Underground Precast Utility Structures, unless directed otherwise in contract documents.
 - The contractor is responsible for inlet protection/adjustment control and cleaning around each Filterra unit.
 - Curb and gutter construction (where present) shall ensure that the flow-line of the Filterra® is at a greater elevation than the flow-line of the bypass structure or related inlet curb cut or similar feature to comply with this guideline may cause future surface damage to the Filterra® environmental device.
 - Each Filterra® unit must receive adequate ventilation to ensure survival of the living system during periods of drier weather. This may be achieved through a piped system, gutter pan or through the tree grate.
- Activation**
- Activation of the Filterra® is performed ONLY by the Supplier. Purchaser is responsible for Filterra® protection and subsequent clean out cost. This process cannot commence until the project site is fully stabilized and cleaned (fall landscaping, grass cover, final paving and street sweeping completed, regarding the choice of construction materials conforming to the Filterra® system. Care shall be taken during construction not to damage the protective front and top plates.
 - Activation includes installation of plants and mulch layers as necessary.
- Included Maintenance**
- Each correctly installed Filterra® is to be maintained by the Supplier, or a Supplier approved contractor for a minimum period of 1 year. The cost of this service is to be included in the price of each Filterra® unit. Extended maintenance contracts are available at extra cost upon request.
 - Annual included maintenance consists of a minimum of (2) scheduled visits. The visits are scheduled seasonally; the spring visit aims to clean up after winter loads that may include salts and sands. The fall visit helps the system by removing excessive leaf litter.
 - Each included maintenance visit consists of the following tasks:
 - Filtterra® inspection
 - Foreign debris, silt, mulch & trash removal
 - Filter media evaluation and recharge as necessary
 - Plant health evaluation and pruning or replacement as necessary
 - Replacement of mulch
 - Disposal of all maintenance refuse items
 - Maintenance records updated and stored (reports available upon request)
 - The beginning and ending date of Supplier's obligation to maintain the installed system shall be determined by the Supplier at the time the system is delivered. Owners must promptly notify the Supplier of any damage to the plants(s), which constitute an integral part of the bio-retention technology.

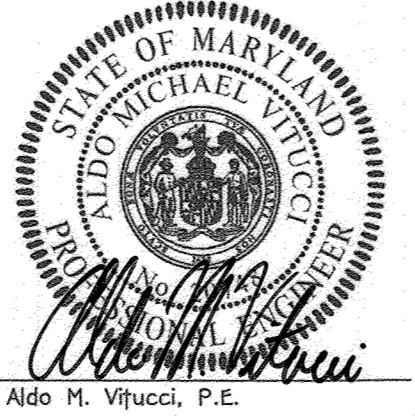
DESIGN GUIDELINES FOR USING FILTERRA

- Do not place in a sump condition. The standard Filterra® cannot be used as a stand alone inlet - it will need effective bypass during higher intensity events. For sump conditions please contact Filterra.
- Plans MUST show Filterra® Top Curb (TC) and Flow Line (FL) spot elevations and also bypass TC (where applicable) and bypass FL spot elevations.
- The Filterra® TC and FL elevations MUST be higher than the bypass TC and FL elevations for effective bypass. Use Drawing P12-2 (p.24) as a detail on the project plans.
- For proper trash collection ensure a minimum 4" and maximum 6" Filterra® throat opening depth and use Drawing CQP-5 (p.25) as a detail on the project plans.
- Do not direct surface flow to the standard Filterra® in a head-of-configuration. Refer to Guidelines Q11-A (p.13) and Q12 (p.18) for grading design that encourages flow to enter a Filterra® in cross slope flow - left-to-right or right-to-left in the gutter in front of the throat, as per a wet curb which prevents system damage. During extreme storm events the excess flow should continue past the Filterra® to a bypass inlet or other means of relief. Guidelines Q13, Parking Lot Corners, shows common situations (p.19).
- To determine which size Filterra® is required, use Table 1, Filterra® Quick-Select Table. Appropriate to the project geographical region and target treatment regime (p.12). The entire contributing drainage area to the Filterra® should be considered and the minimum allowable C factors noted. The minimum contributing drainage area will vary with site conditions. For further information relating to sizing please contact Filterra.
- To ensure correct installation, include the Standard Filterra®/Plan Notes (p.26-27) on your Filterra® detail project sheet, as well as detailed drawings P12-2 and CQP-5 (p.24,25).
- Positive elevation of each Filterra®'s effluent treatment pipe is required to prevent free standing water from accumulating in the system or underdrains. This could occur due to field installation or improper connection of Filterra® effluent pipe to a bypass structure or other outlet technology.

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PARK
 ELICOTT CITY, MARYLAND 21042
 (410) 461 - 2855

DATE	DESCRIPTION
12/21/21	ADDED SHEET 28
5/8/19	ADDED SHEET 27 TO SET
	REVISION BLOCK

CONTECH
 ENGINEERED SOLUTIONS LLC
 www.contechES.com
 865 Global Way, Suite 113, Linthicum, MD 21080
 866-740-3318 OFFICE 866-376-8511 FAX



Aldo M. Vitucci, P.E.
 5/24/19 Date
 "Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly Licensed Professional Engineer under the laws of the State of Maryland, License No. 20748, Expiration Date 2-22-21."

OWNER
 3330 ROGERS AVENUE, LLC SUITE 102
 5300 DORSEY HALL DRIVE ELICOTT CITY, MD 21042 443-367-0422
 MR. DONALD R. REINHER, JR.

DEVELOPER
 M & T DEVELOPERS, LLC
 4515 MANOR LANE ELICOTT CITY, MD 21042 443-367-0422
 MR. DONALD R. REINHER, III

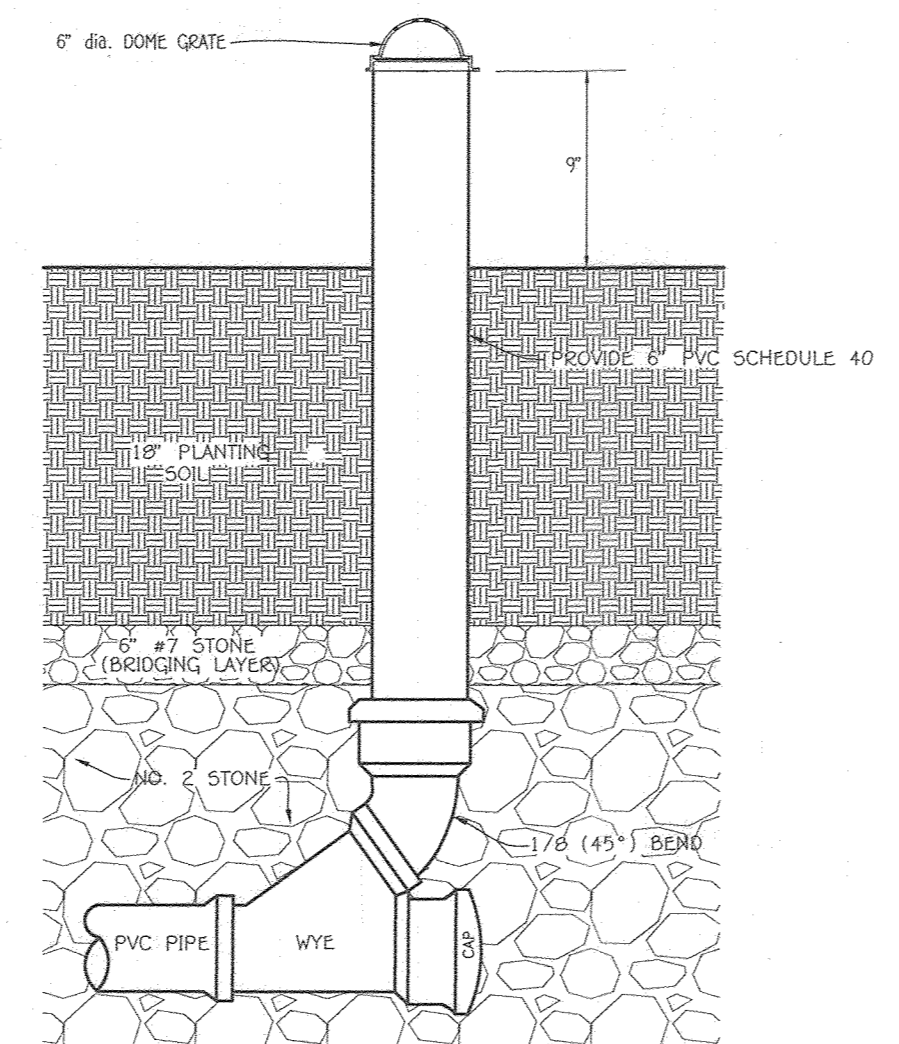
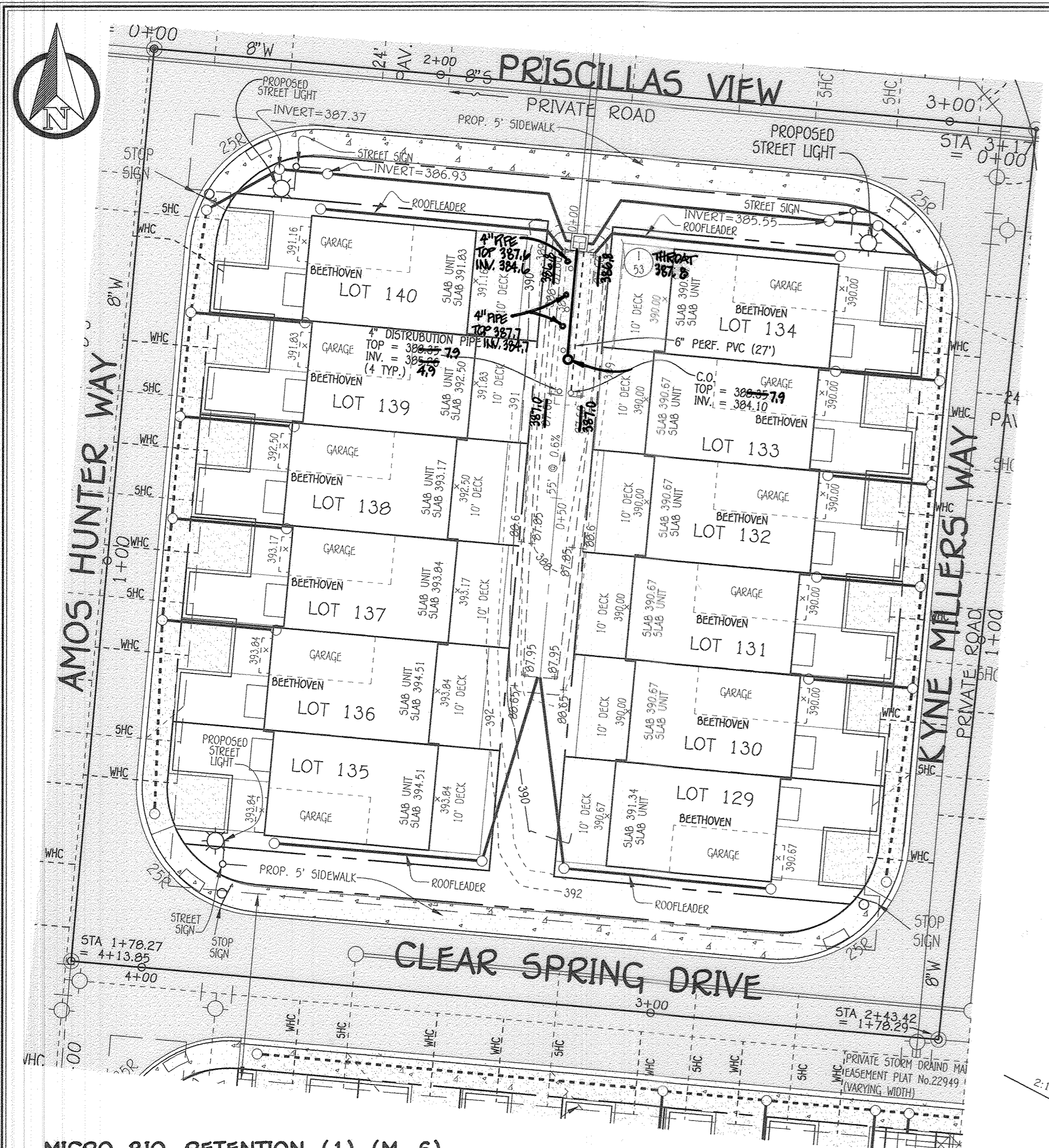
APPROVED: DEPARTMENT OF PLANNING AND ZONING

Nadia Jelic 6-12-19 Date
 Director - Department of Planning and Zoning
Kurt Shindler 6-12-19 Date
 Chief, Division of Land Development
DJ Chish 6-12-19 Date
 Chief, Development Engineering Division J.P.

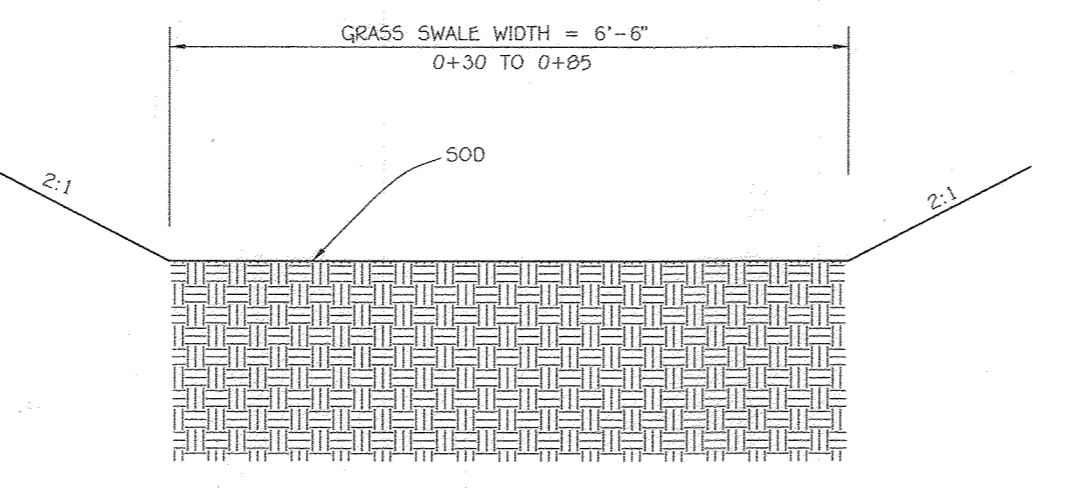
SUBDIVISION	SECTION/AREA	LOT NO.
ELICOTT CROSSING	N/A	42 THRU 140
PLAT NOS.	PARCEL NOS.	ZONE
22871-22875	852, 847	HKD-6
22945-22950		
23905-23908		
TAX MAP	ELEC. DIST.	CENSUS TR.
24	2nd.	6029

STORMWATER MANAGEMENT MICRO BIO-RETENTION & FILTERRA DETAILS

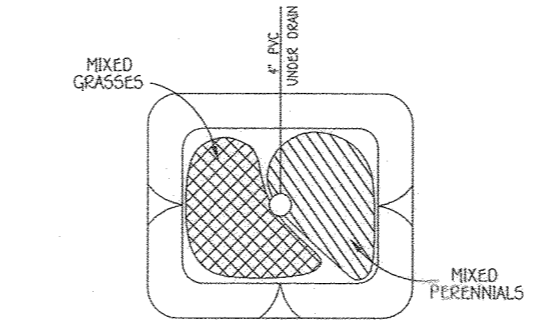
ELICOTT CROSSING, PART TWO
 LOTS 42 THRU 140, OPEN SPACE LOTS 141 THRU 144 AND PARCEL 'K'
 SINGLE FAMILY ATTACHED HOUSING, TWO STORY SHOPPING CENTER BUILDING AND GAZEBO
 TAX MAP No.: 24 GRID No.: 6, 1 PARCEL Nos.: 852, 847
 2nd ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: MAY 22, 2019



MICRO BIO-RETENTION FACILITY (1) (M-6)
TYPICAL CLEAN-OUT DETAIL



GRASS SWALE
NO SCALE



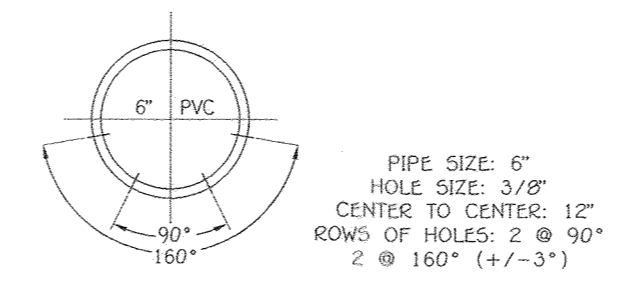
MICRO-BIORETENTION PLANTING DETAIL
NOT TO SCALE

M-6 (1) MICRO BIO-RETENTION PLANT MATERIAL		
QUANTITY	NAME	MAXIMUM SPACING (FT.)
70	MIXED PERENNIALS	1 FT.
35	SHRUBS	2 FT.

M-6 (12) MICRO BIO-RETENTION PLANT MATERIAL		
QUANTITY	NAME	MAXIMUM SPACING (FT.)
116	MIXED PERENNIALS	1 FT.
58	SHRUBS	2 FT.

OPERATION AND MAINTENANCE SCHEDULE FOR BIO-RETENTION AREAS (M-6)

- ANNUAL MAINTENANCE OF PLANT MATERIAL, MULCH LAYER AND SOIL LAYER IS REQUIRED. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING.
- SCHEDULE OF PLANT INSPECTION WILL BE TWICE A YEAR IN SPRING AND FALL. THIS INSPECTION WILL INCLUDE REMOVAL OF DEAD AND DISEASED VEGETATION BEYOND TREATMENT. TREATMENT OF ALL DISEASED TREES AND SHRUBS AND REPLACEMENT OF ALL DEFICIENT STAKES AND WIRES.
- MULCH SHALL BE INSPECTED EACH SPRING. REMOVE PREVIOUS MULCH LAYER BEFORE APPLYING NEW LAYER ONCE EVERY 2 TO 3 YEARS.
- SOIL EROSION TO BE ADDRESSED ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER MONTH AND AFTER HEAVY STORM EVENTS.



6" PVC PERFORATED UNDERDRAIN PIPE DETAIL FOR HORIZONTAL DRAIN PIPE
NO SCALE

NOTES:
UNDERDRAIN PIPE SHALL BE 4" TO 6" DIAMETER, SLOTTED OR PERFORATED RIGID PLASTIC PIPE (ASTM F750, TYPE PS 28 OR AASHTO-M-278) IN A GRAVEL LAYER. THE PERFORATED MATERIAL IS SLOTTED 4" RIGID PIPE (e.g., PVC OR HDPE).

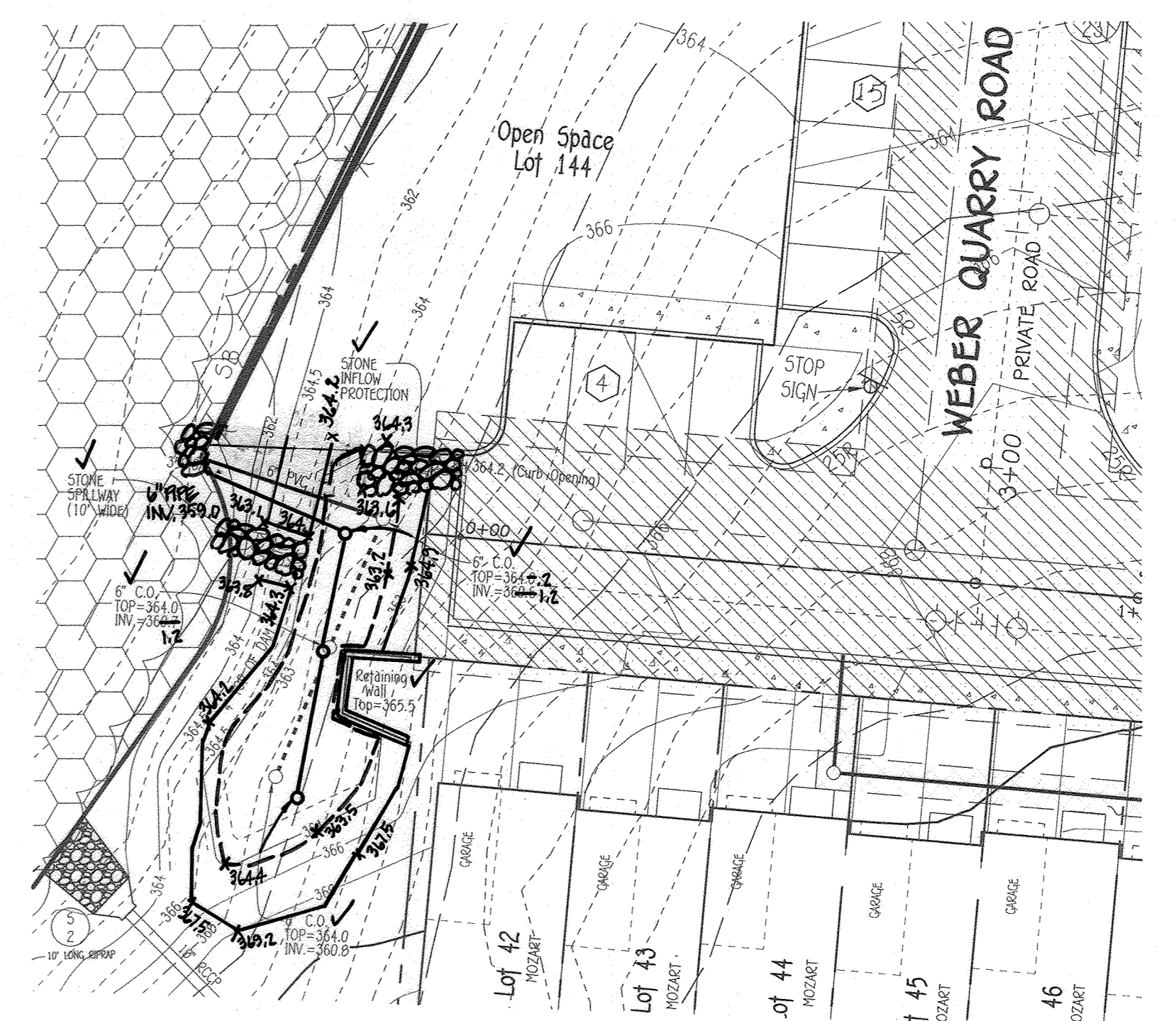
PERFORATIONS SHALL BE 3/8" DIAMETER LOCATED 6" ON CENTER WITH A MINIMUM OF FOUR HOLES PER ROW. PIPE SHALL BE WRAPPED WITH A 1/4" (No. 4 OR 4 x 4) GALVANIZED HARDWARE CLOTH.

GRAVEL LAYER SHALL BE NO. 57 STONE PREFERRED AT LEAST 3" THICK ABOVE AND BELOW THE UNDERDRAIN.

THE MAIN COLLECTOR PIPE SHALL BE AT A MINIMUM 0.5% SLOPE.

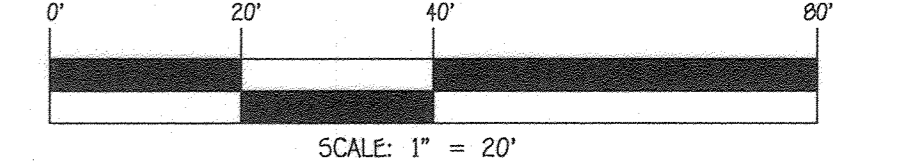
A RIGID, NON PERFORATED OBSERVATION WELL MUST BE PROVIDED (ONE PER EVERY 1,000 SQ.FT.) TO PROVIDE A CLEANOUT POINT AND MONITOR PERFORMANCE OF THE FILTER.

A 4" LAYER OF PEA GRAVEL (1 1/8" TO 3/8" STONE) SHALL BE LOCATED BETWEEN THE FILTER MEDIA AND UNDERDRAIN TO PREVENT MIGRATION OF FINES INTO THE UNDERDRAIN. THIS LAYER MAY BE CONSIDERED PART OF THE FILTER BED WHEN BED THICKNESS EXCEEDS 24".



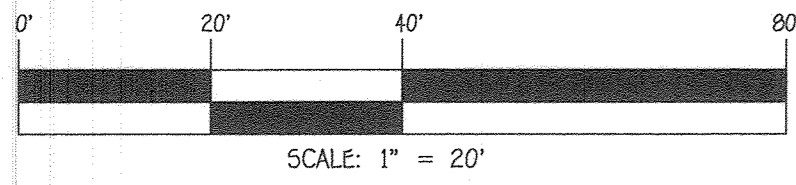
DRAINAGE AREA = 6,326 SQ.FT.
FILTER BED AREA = 707 SQ.FT.
FILTER BED ELEV. = 363.0
WEIR ELEV. = 364.0

MICRO BIO-RETENTION (12) (M-6)

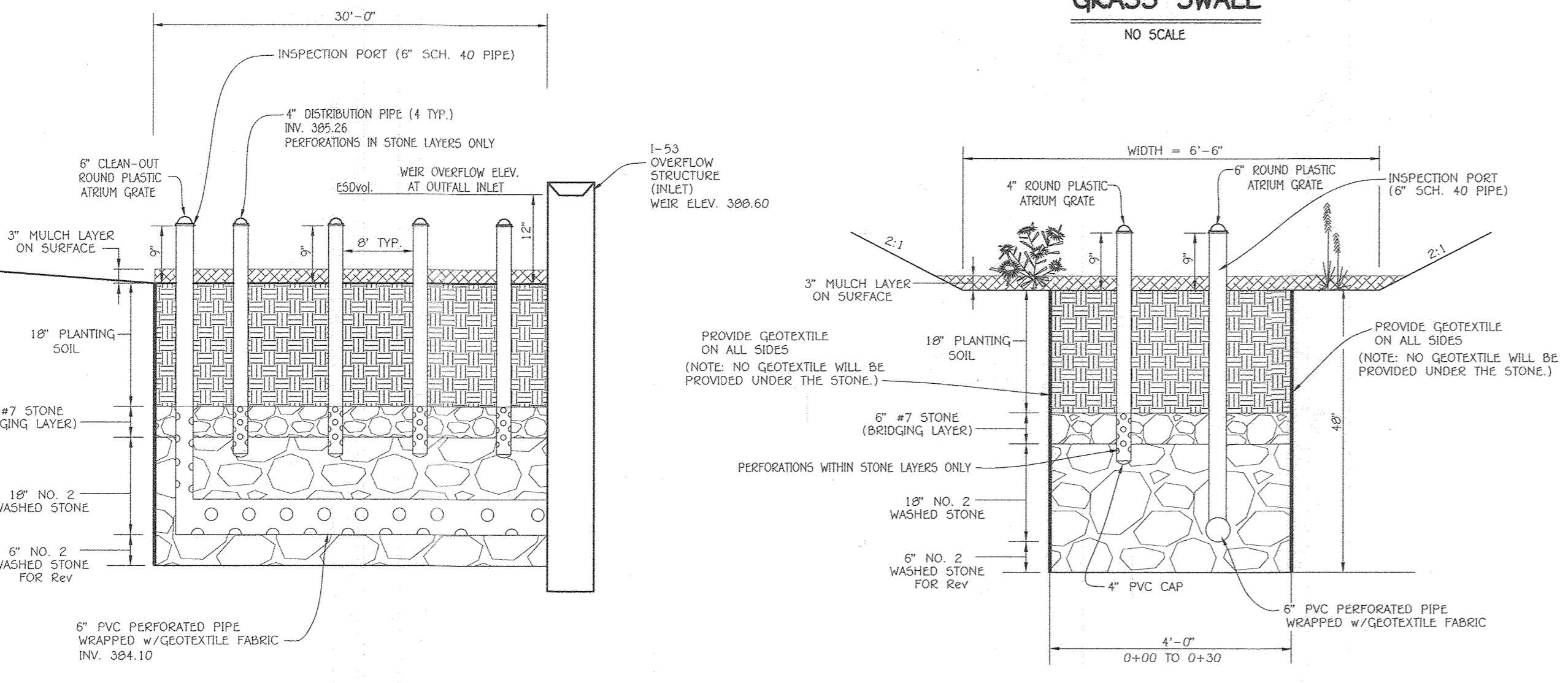


SCALE: 1" = 20'

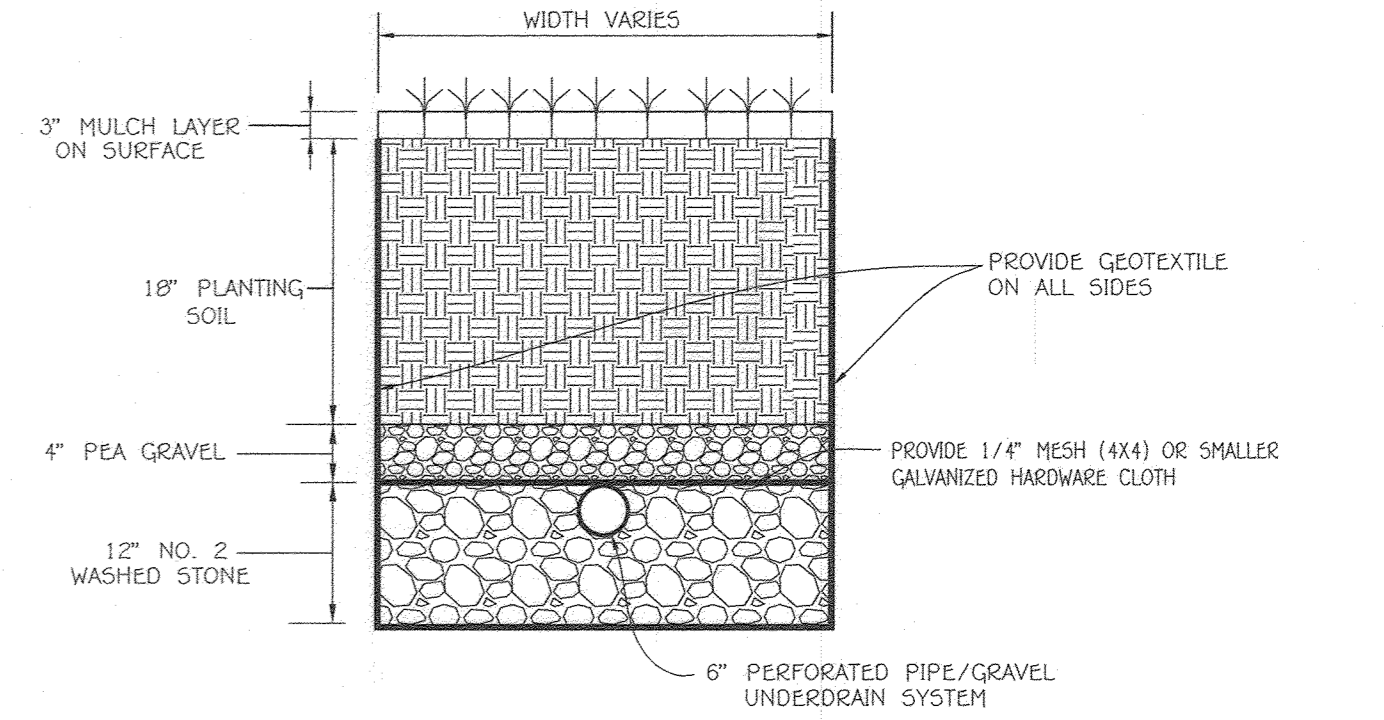
MICRO BIO-RETENTION (1) (M-6)



SCALE: 1" = 20'



TYPICAL SECTION
MICRO BIO-RETENTION FACILITY (1) (M-6)
NO SCALE



TYPICAL SECTION - BIO-RETENTION FACILITY (12) (M-6)
NO SCALE

AS-BUILT CERTIFICATION FOR PSWM

I hereby certify that the facility shown on the plan was constructed as shown on the "AS BUILT" plans and complies with the approved plans and specifications. I have verified that the contributing drainage area is sufficiently sized to prevent clogging of the underdrain.

[Signature] Date: 1/27/22

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Director, Department of Planning and Zoning Date: 1/27/22

Chief, Division of Land Development Date: 1/27/22

Chief, Development Engineering Division Date: 1/19/22

PLAT NOS.	PARCEL NOS.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
22871-22875	852, 847	MXD-6	24	2nd.	6029
22945-22950					
23905-23908					

REVISED STORMWATER MANAGEMENT
MICRO BIO-RETENTION (1) & (12) DETAILS

ELLICOTT CROSSING, PART TWO
LOTS 42 THRU 140, OPEN SPACE LOTS 141 THRU 144 AND PARCEL 'K'

SINGLE FAMILY ATTACHED HOUSING,
TWO STORY SHOPPING CENTER BUILDING AND GAZEBO
TAX MAP No.: 24 GRID No.: 6, 1 PARCEL Nos.: 852, 847
2nd ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SCALE: AS SHOWN DATE: DECEMBER 21, 2021

SHEET 28 OF 28 SDP-13-004

"AS-BUILT"

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042
(410) 481-2899



[Signature] Date: 12/21/21
Aldo M. Vitucci, P.E.

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly Licensed Professional Engineer under the laws of the State of Maryland, License No. 20748, Expiration Date 2-22-23.

OWNER
3330 ROGERS AVENUE, LLC SUITE 102
5300 DORSEY HALL DRIVE ELLICOTT CITY, MD 21042
443-367-0422
MR. DONALD R. REINHER, JR.

DEVELOPER
M & T DEVELOPERS, LLC
4515 MANOR LANE
ELLICOTT CITY, MD 21042
443-367-0422
MR. DONALD R. REINHER, III

DATE	DESCRIPTION
12/21/21	ADD SHEET 28 & REVISED M-6 (1) & M-6 (12)
	REVISION BLOCK

11/23/2019 10:04:00 am d:\projects\2021\12\21\2021_12\04\1 PM - Downstairs\1500 (temporary)\pc3_11