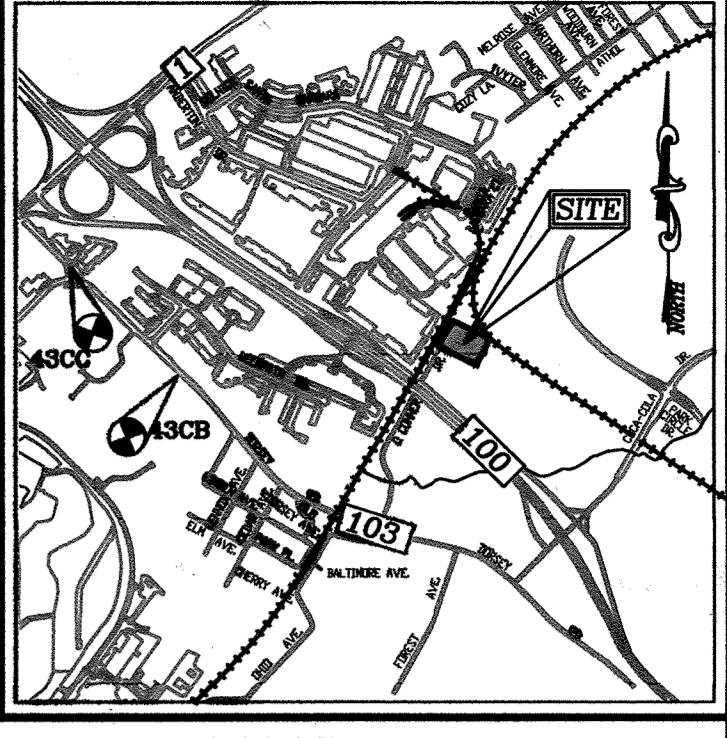


GENERAL NOTES

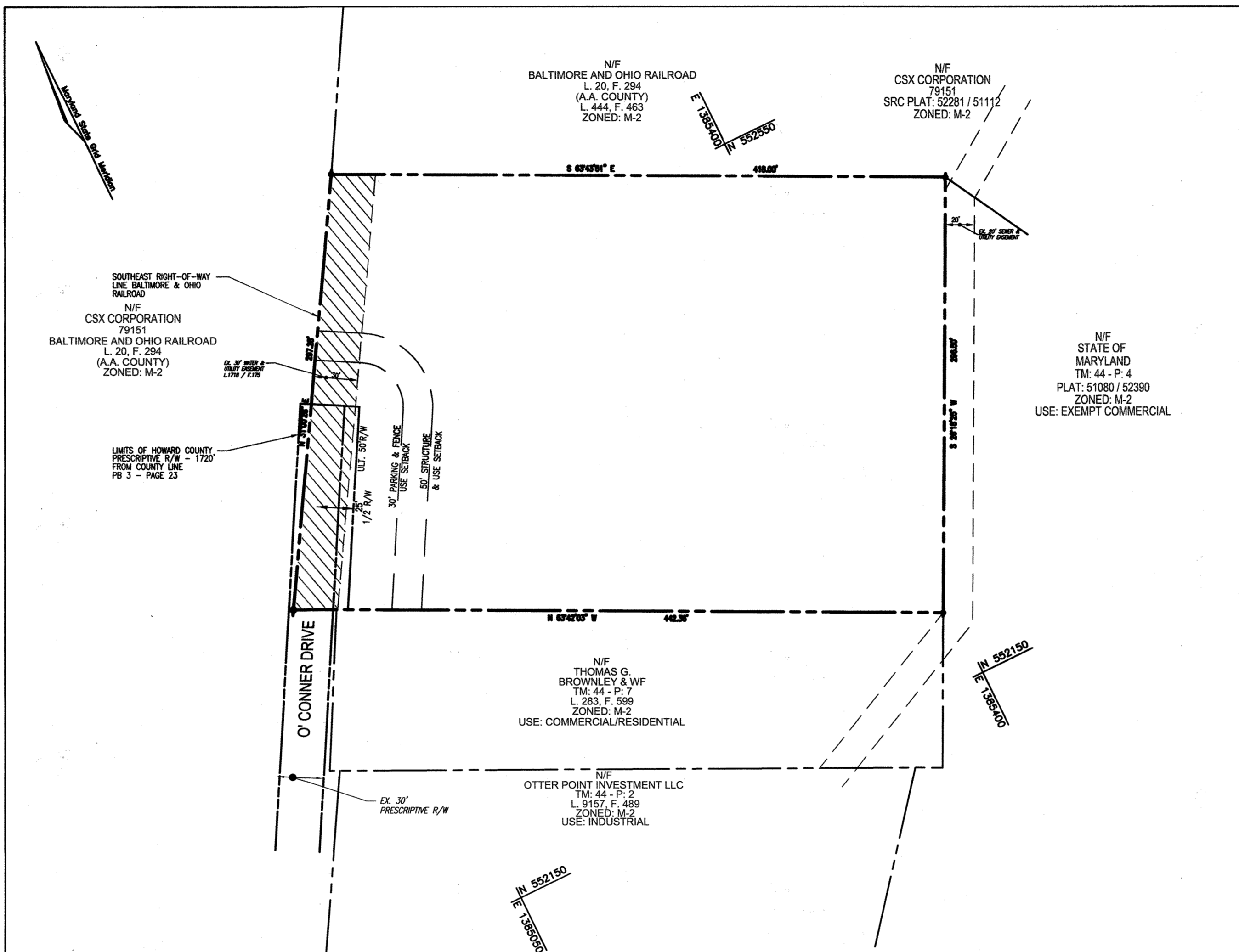
- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY STANDARDS AND SPECIFICATIONS. ALL WORK AND MATERIALS SHALL COMPLY WITH M.S.H.A. STANDARDS.
2. THE CONTRACTOR SHALL NOTIFY 'MISS UTILITY' AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
3. THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS:
MISS UTILITY 1-800-257-7777
VERIZON 1-800-745-0333
BUREAU OF UTILITIES: 410-313-4900
AT&T 1-800-745-0333
B.G.&E. (CONSTRUCTION SERVICES): 410-637-8713
B.G.&E. (EMERGENCY): 410-985-0123
STATE HIGHWAY ADMINISTRATION: 410-531-9533
COLONIAL PIPELINE CO.: 410-795-1390
4. SITE ANALYSIS:
TOTAL SITE AREA: 2.97 AC.
DEVELOPMENT AREA: 2.97 AC.
PRESENT ZONING: M-2
SUBDIVISION: AMERICAN PAVING FABRICS
SECTION/AREA: N/A
SITE AREA: 2.97 AC.
DEED REFERENCE: N/A
DPZ REFERENCES: SDP-88-70, ECP-12-037, BA 12-019V
6. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
7. ANY DAMAGE TO PUBLIC RIGHT-OF-WAY, PAVING, OR EXISTING UTILITIES WILL BE THE CONTRACTOR'S EXPENSE.
8. EXISTING UTILITIES LOCATED FROM HOWARD COUNTY GIS, TOPOGRAPHIC SURVEY AND AS-BUILT DRAWINGS, CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE.
9. TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
A. THE R 1-1 (STOP) SIGNS AND THE STREET NAME SIGN (SNS) ASSEMBLIES FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
B. THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-3123-5752) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
C. ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE 'MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES' (MUTCD).
D. ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT OF WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE POST (14 GAUGE) INSERTED IN TO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
10. STORMWATER MANAGEMENT FOR THE PROJECT IS PROVIDED BY THE USE OF MICRO-SCALE PRACTICES IN ACCORDANCE WITH ENVIRONMENTAL SITE DESIGN CRITERIA AND APPROVED UNDER ECP-12-037. MICRO-SCALE PRACTICES INCLUDE MICRO-BIORETENTION, LEVEL SPREADER, GRAVEL TRENCH, DRY WELLS AND RAIN BARRELS. THESE FACILITIES WILL BE PRIVATELY OWNED AND MAINTAINED.
11. SOIL COMPACTION SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER. GEOTECHNICAL ENGINEER TO CONFIRM ACCEPTABILITY OF PROPOSED PAVING SECTION, BASED ON SOIL TEST PRIOR TO CONSTRUCTION.
12. THE COORDINATES SHOWN HEREON ARE BASED UPON HOWARD COUNTY GEODETIC CONTROL, WHICH IS BASED UPON THE MARYLAND STATE PLANE SYSTEM. HOWARD COUNTY MONUMENT NOS. 430B AND 430C WERE USED FOR THIS PROJECT.
13. THE PROPERTY LINES SHOWN HEREON ARE BASED ON A BOUNDARY VERIFICATION SURVEY PERFORMED BY ROBERT H. VOGEL ENGINEERING, INC. DATED DECEMBER 27, 2011.
14. THE EXISTING TOPOGRAPHY SHOWN HEREON IS FROM A FIELD TRIED TOPOGRAPHIC SURVEY PREPARED BY ROBERT H. VOGEL ENGINEERING, INC. PERFORMED ON DECEMBER 14, 2011. OFFSITE TOPOGRAPHY FROM HOWARD COUNTY GIS.
15. THERE ARE NO WETLANDS OR STREAMS ON THIS SITE.
17. TEST PITS COMPLETED BY ROBERT H. VOGEL ENGINEERING, INC. DATED JUNE 2012.
18. THE GEOTECHNICAL ENGINEER TO CONFIRM PAVING SECTION & PERMEABLE SURFACE THICKNESS PRIOR TO CONSTRUCTION. ALL PAVING TO BE MINIMUM P-2 PAVING, UNLESS OTHERWISE NOTED.
19. ALL CURBS AND GUTTER TO BE HOWARD COUNTY STANDARD DETAIL 3.01 REVERSE GUTTER PAN, UNLESS OTHERWISE NOTED.
20. ALL ELEVATIONS ARE TO FLOWLINE/BOTTOM OF CURB UNLESS OTHERWISE NOTED.
21. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
22. CONTRACTOR RESPONSIBLE FOR CONSTRUCTING ALL HANDICAP RAMPS AND HANDICAP ACCESS IN ACCORDANCE WITH CURRENT ADA REQUIREMENTS.
23. THIS SITE IS CURRENTLY SERVED BY PUBLIC WATER VIA CONTRACT NO. 44-1480. THIS SITE IS CURRENTLY SERVED BY PUBLIC SEWER VIA CONTRACT NO. 10-1907.
24. THIS PROPERTY IS WITHIN THE METROPOLITAN DISTRICT.
25. AFPO TRAFFIC STUDY PREPARED BY THE TRAFFIC GROUP DATED JUNE 2012.
26. THE SUBJECT PROPERTY IS ZONED M-2 PER THE 02/02/2004 COMPREHENSIVE ZONING PLAN AND THE COMP LITE ZONING REGULATION AMENDMENTS EFFECTIVE ON 07/28/06.
27. A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
28. ALL REINFORCED CONCRETE FOR STORM DRAIN STRUCTURES SHALL HAVE A MINIMUM OF 28 DAYS STRENGTH OF 3500 P.S.I.
29. NO STEEP SLOPES OVER 20,000 SF CONTIGUOUS ARE LOCATED ONSITE.
30. ALL BUILDINGS TO HAVE ROOF LEADERS WHICH EMPTY AND FLOW AS DIRECTED HEREON.
31. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. REFER TO SHEET 9.
32. ANY EXISTING STREET TREES DAMAGED OR DESTROYED DURING CONSTRUCTION WILL BE REPLACED BY THE CONTRACTOR.
33. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$6,700 FOR THE REQUIRED 27 SHADE TREES, 4 EVERGREEN TREES.
34. FOREST STAND DELINEATION PLAN HAS BEEN PREPARED BY ECO-SCIENCE PROFESSIONALS, INC. DATED FEBRUARY 2012.
35. IN ACCORDANCE WITH SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION, THE TOTAL FOREST CONSERVATION OBLIGATION OF 0.44 ACRES (19,187 x 0.75 = \$14,770.00) WILL BE FULFILLED BY PAYMENT OF A FEE-IN-LIEU.
36. THERE ARE NO SPECIMEN OR CHAMPION TREES WITHIN THE LOD.
37. THIS PROJECT IS SUBJECT TO COMPLIANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. DEVELOPMENT OR CONSTRUCTION ON THIS PROPERTY MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, WAIVER PETITION APPLICATION OR BUILDING/GRADING PERMIT APPLICATION.
38. EXISTING O'CONNOR DRIVE IS CLASSIFIED AS A LOCAL ROAD. NO SPEED LIMIT IS POSTED.
39. THERE ARE NO BURIAL GROUNDS, CEMETERIES, OR HISTORIC STRUCTURES LOCATED ON THIS PROPERTY.
40. SIGNAGE SHALL BE PROVIDED ON THE BUILDING IDENTIFYING THE BUILDING ADDRESS, AND EACH SUITE SEPARATED BY LETTER IF APPLICABLE.
41. ALL EXTERIOR LIGHTING TO COMPLY WITH THE REQUIREMENTS FOUND IN ZONING SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
42. THE SITE CURRENTLY HAS SITE LIGHTING, REFER TO SHEET 2 FOR PLAN VIEW LOCATIONS AND SHEET 7 FOR DETAILS AND NOTES.
43. THIS SITE PLAN SHALL ADDRESS ALL CIVIL CITATIONS LISTED HEREON.
44. THE CURRENT OWNER UTILIZES A PRIVATE MOBILE 'ROLL OFF' TYPE WASTE CONTAINER, NO DUMPSTER, DUMPSTER PAD & ENCLOSURE IS PROPOSED.
45. NO NEW STRUCTURES ARE PROPOSED UNDER THIS SITE DEVELOPMENT PLAN.
46. THIS PROJECT IS SUBJECT TO CASE NO. BA 12-019V (JANUARY 7, 2013).
DATED FEBRUARY 6, 2013 FOR THE AFOREMENTIONED CASE, THE HEARING EXAMINER (MR. LEFAYRE) ORDERED:
'THAT THE PETITION OF AMERICAN PAVING FABRICS, INC. FOR VARIANCES TO REDUCE THE 50-FOOT STRUCTURE AND USE SETBACK FROM A PUBLIC STREET RIGHT-OF-WAY TO 6.9 FEET FOR AN EXISTING BUILDING AND ZERO (0) FEET FOR EXISTING PARKING IN AN M-2 (MANUFACTURING/HEAVY) ZONING DISTRICT, IS DENIED.'
THE EXISTING STRUCTURE LOCATED WITHIN THE SETBACK WAS REMOVED ON 9/20/13.

SITE DEVELOPMENT PLAN
AMERICAN PAVING FABRICS
6910 O CONNER DRIVE
L. 4724 / F. 102
1 ST ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

SHEET INDEX table with columns: DESCRIPTION, SHEET NO. Includes entries for COVER SHEET, EXISTING CONDITIONS, LAYOUT PLAN, etc.



BENCHMARKS table listing Howard County Benchmark 430B and 430C with coordinates and elevations.



LOCATION MAP SCALE: 1" = 60'

ADDRESS CHART and PERMIT INFORMATION CHART tables. Address chart lists lot/parcel numbers and street addresses. Permit information chart lists subdivision name, section/area, lot/parcel, and other permit details.

OWNER/DEVELOPER: AMERICAN PAVING FABRICS, INC. 6910 O CONNER DRIVE HANOVER, MD 21076-1038 PHONE: (410) 795-5493

NOTE: THIS PLAN BEGINS THE PERMIT PROCESS IN AN EFFORT TO COMPLY WITH THE REQUIREMENTS OF HOWARD COUNTY DEPARTMENT OF INSPECTIONS LICENSING & PERMITS (DILP) CIVIL CITATION NUMBERS: 1233132184, 2233131674, 6233129872.

SITE ANALYSIS DATA CHART

Table detailing site analysis data: A. TOTAL PROJECT AREA: 127,500 S.F. OR 2.927 AC. B. AREA OF PLAN SUBMISSION: 127,500 S.F. OR 2.927 AC. C. LIMIT OF DISTURBED AREA: SEE SHEET 5. D. PRESENT ZONING DESIGNATION: M-2. E. PROPOSED USES FOR SITE AND STRUCTURES: COMMERCIAL CONTRACTOR OFFICE, STORAGE YARD & EQUIPMENT OFFICE 1ST APPROX 1,300SF 2ND APPROX 1,075SF. F. FLOOR SPACE ON EACH LEVEL: N/A. G. TOTAL NUMBER OF UNITS ALLOWED: N/A. H. TOTAL NUMBER OF UNITS PROPOSED: N/A. I. MAXIMUM # OF EMPLOYEES: N/A (10-12 ONSITE PER DAY). J. NUMBER OF PARKING SPACES REQUIRED: 12 SPACES (1 SPACES PER EMPLOYEE) - 3.3 / 1000 SF OFFICE = 8 SPACES (2375SF/1000 X 3.3 = 7.84) = 20 TOTAL SPACES REQUIRED. 23 DEFINED (INCLUDES 2 HANDICAPPED). K. NUMBER OF PARKING SPACES PROVIDED: N/A. L. OPEN SPACE ON-SITE: N/A. M. AREA OF RECREATION OPEN SPACE: N/A. N. BUILDING COVERAGE: 10.7% - 13,850 SF. O. DPZ FILE REFERENCES: SDP 88-70, ECP 12-037. CITATION #'S 1233132184, 2233131674, 6233129872. P. ANY OTHER INFORMATION: ERODIBLE SOILS (>0.35): EXISTING IMPERVIOUS AREA: 2.38 AC. (EXISTING GRAVEL AREAS ASSUMED IMPERVIOUS). PROPOSED IMPERVIOUS AREA: 0.55 AC. AREA OF WETLANDS: 0 S.F. OR 0.00 AC. AREA OF FLOODPLAIN: 0 S.F. OR 0.00 AC. AREA OF FOREST: 0 S.F. OR 0.00 AC. AREA OF STEEP SLOPES: 0 S.F. OR 0.00 AC. Q. FLOOR AREA RATIO (FAR): N/A.

NOTE: THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES ONSITE AND MAINTAIN UNINTERRUPTED SERVICE.

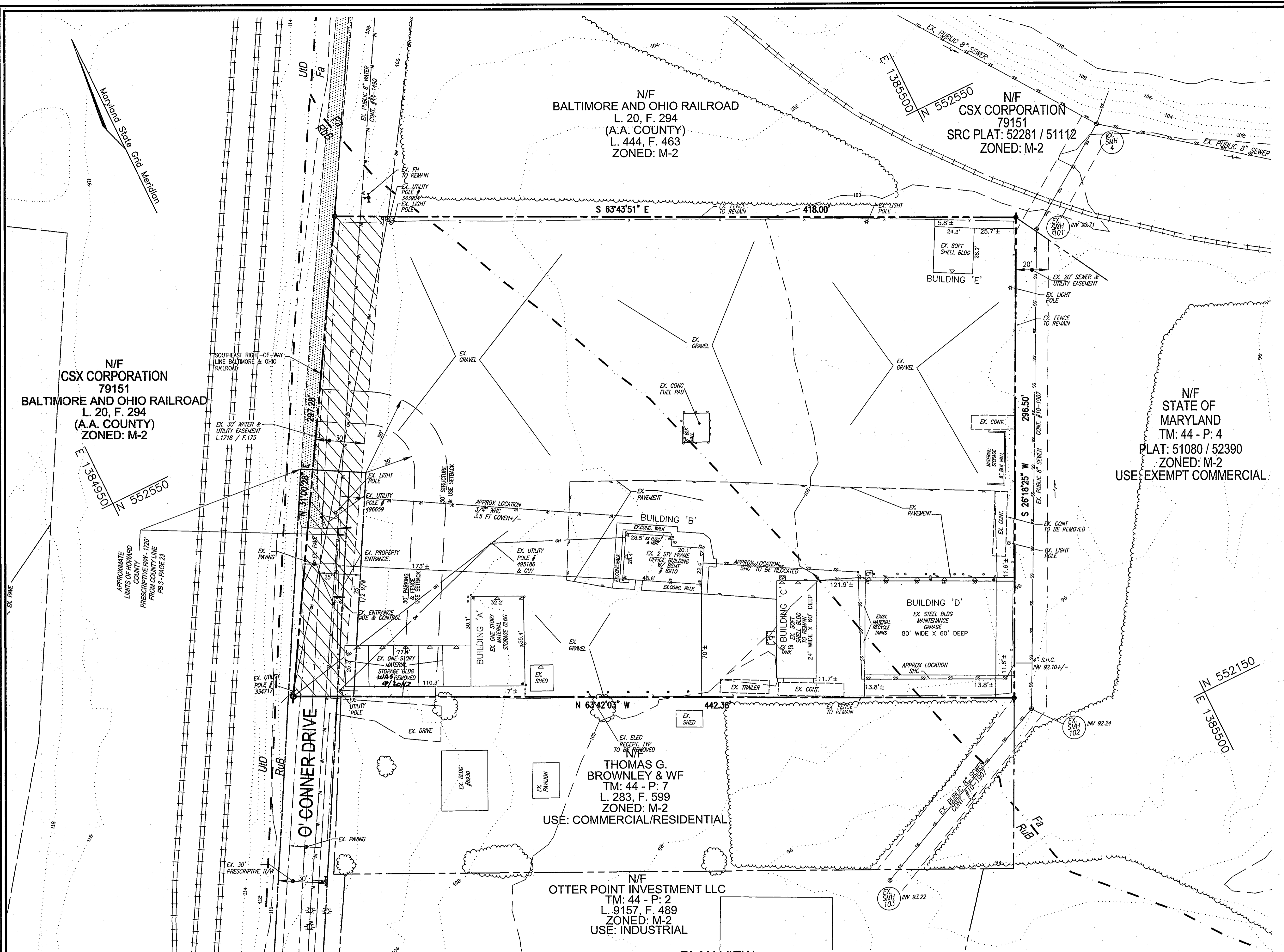
SOILS LEGEND table with columns: SYMBOL, NAME / DESCRIPTION, GROUP, Kw, HYDRIC/NOT HYDRIC. Includes entries for FALLSINGTON SANDY LOAM and RUSSETT AND BELTSVILLE SANDY SILT LOAM.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING. Chief, Development Engineering Division and Chief, Division of Land Development signatures and dates.

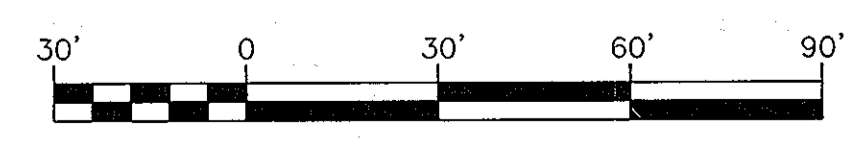
Professional seal and title block for Robert H. Vogel Engineering, Inc. Includes site title 'SITE DEVELOPMENT PLAN COVER SHEET', project name 'AMERICAN PAVING FABRICS', and company contact information.

LEGEND:

	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING MAILBOX
	EXISTING SIGN
	EXISTING SANITARY MANHOLE
	EXISTING SANITARY LINE
	EXISTING CLEANOUT
	EXISTING FIRE HYDRANT
	EXISTING WATER LINE
	EXISTING TREE LINE (FIELD LOCATED)
	EXISTING FENCE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	EX. 30' WATER UTILITY EASEMENT
	EX. GRAVEL/DIRT ACCESS ROAD
	EX. OVERHEAD ELECTRIC
	EX. PAVEMENT
	EX. GARAGE BAY DOOR
	EX. PEDESTRIAN DOOR
	EX. DOWNSPOUT LOCATION



PLAN VIEW
SCALE: 1"=30'



SOILS LEGEND

SYMBOL	NAME / DESCRIPTION	GROUP	Kw	HYDRIC/NOT HYDRIC
Fs	FALLSINGTON SANDY LOAM, 0 TO 2 PERCENT SLOPES	D	0.02	HYDRIC
Rub	RUSSETT AND BELTSVILLE SANDY SILT LOAM, 2 TO 5 PERCENT SLOPES	C	0.24	NOT HYDRIC

NOTE: BASED ON WEB SOIL SURVEY - HOWARD COUNTY

- NOTES:**
- THIS PLAN SHOWS THE SITE AS IT CURRENTLY EXISTS. CONTOUR INTERVAL SHOWN HEREON IS 2'.
 - CONTRACTOR SHALL LOCATE UTILITIES IN AREAS TO BE DISTURBED PRIOR TO CONSTRUCTION ACTIVITIES.
 - APPROXIMATE SEWER SERVICE CONNECTION SHOWN MAY REQUIRE RELOCATION TO ACCOMMODATE THE INSTALLATION OF THE PROPOSED STORM DRAIN SYSTEM STORMWATER MANAGEMENT FEATURES.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 10/16/13
CHIEF, DEVELOPMENT ENGINEERING DIVISION & DATE

[Signature] 10/16/13
CHIEF, DIVISION OF LAND DEVELOPMENT & DATE

[Signature] 10/24/13
DIRECTOR DATE

NO. _____ REVISION _____ DATE _____

SITE DEVELOPMENT PLAN
EXISTING CONDITIONS
AMERICAN PAVING FABRICS
#6910 O CONNER DRIVE
L. 4724 / F. 102

1ST ELECTION DISTRICT
TAX MAP: 44 - GRID: 1
DPZ REF'S: SDP 88-70, ECP 12-037

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET ELLICOTT CITY, MD 21043 TEL: 410.461.7666 FAX: 410.461.8961

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: 09-27-2014

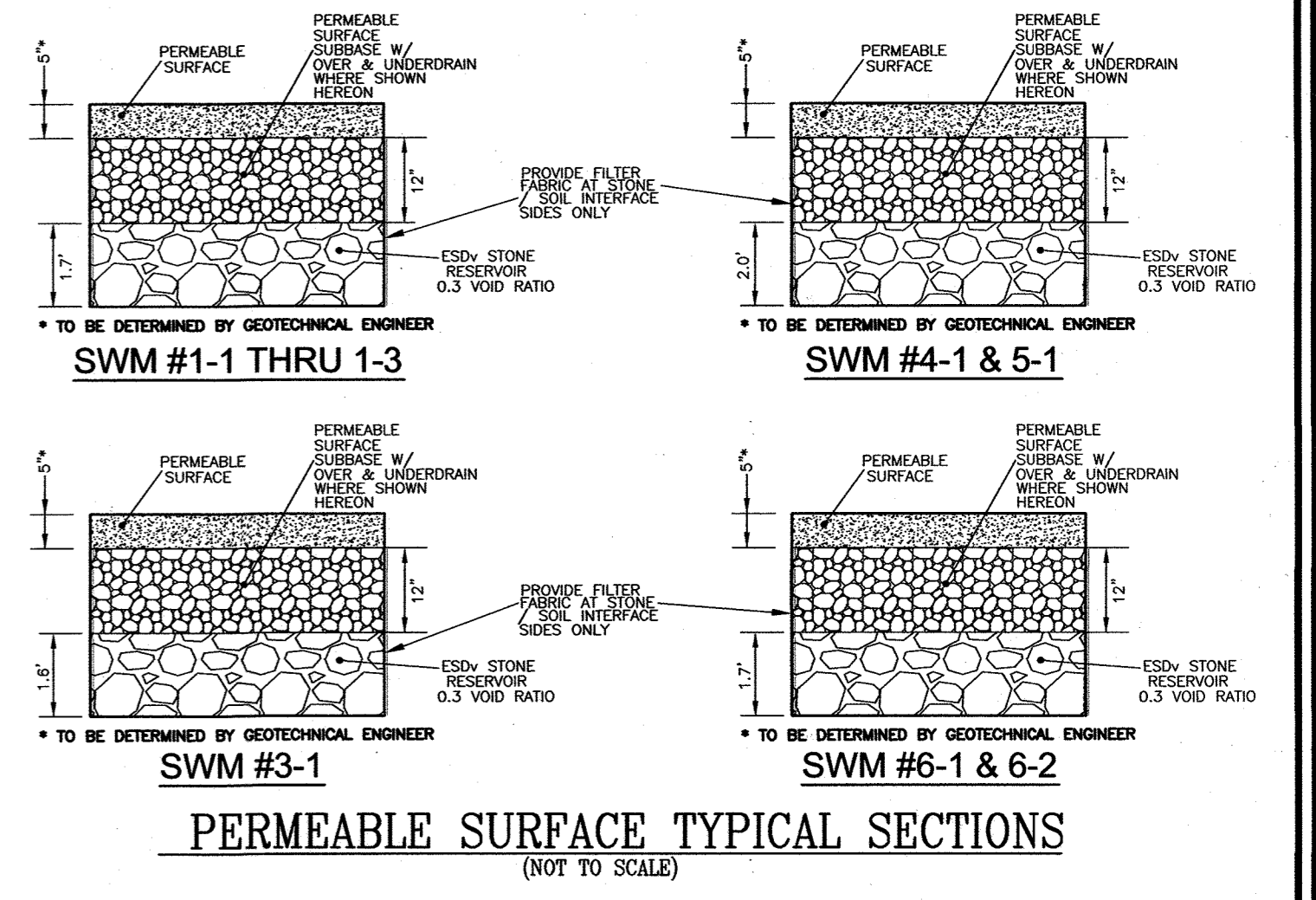
DESIGN BY: _____ EDS.
DRAWN BY: _____ EDS.
CHECKED BY: _____ RHV.
DATE: MARCH 2013
SCALE: AS SHOWN
W.O. NO.: 11-29

2 SHEET OF 10

- NOTES:**
1. REFER TO SHEET 7 FOR CURBING DETAILS.
 2. REFER TO SHEET 7 FOR CONCRETE DIVERSION CHANNEL & ASPHALT HUMP.
 3. REFER TO SHEET 7 FOR STORM DRAIN PROFILES & STRUCTURE SCHEDULE.

- LEGEND:**
- EXISTING CURB AND GUTTER
 - PROPOSED CURB AND GUTTER
 - EXISTING UTILITY POLE
 - EXISTING LIGHT POLE
 - EXISTING MAILBOX
 - EXISTING SIGN
 - EXISTING SANITARY MANHOLE
 - EXISTING SANITARY LINE
 - EXISTING CLEANOUT
 - EXISTING FIRE HYDRANT
 - EXISTING WATER LINE
 - PROPOSED STORM DRAIN
 - PROPOSED STORM DRAIN INLET
 - EXISTING TREELINE
 - EXISTING FENCE
 - PROPERTY LINE
 - RIGHT-OF-WAY LINE
 - PROPOSED GRASSED AREA
 - PERMEABLE PAVING
 - MICRO-BIO-RETENTION
 - PROPOSED CONTOUR
 - PROPOSED SPOT ELEVATION

NOTE:
 BIORETENTION FACILITY #3 UTILIZED AS SUBSTITUTE FOR 2 LANDSCAPE ISLANDS.
 2 LANDSCAPE ISLANDS = 400 S.F.
 BIORETENTION FACILITY = 3,200 S.F.



OWNER/DEVELOPER
 AMERICAN PAVING FABRICS, INC.
 6910 O CONNER DRIVE
 HANOVER, MD 21076-1038
 PHONE: (410) 796-5493

NO.	REVISION	DATE
1	REVISE LAYOUT TO REFLECT AS-BUILT CONDITIONS	8-16-21
2	RELOCATE STORAGE BUILDING	12/12/2024

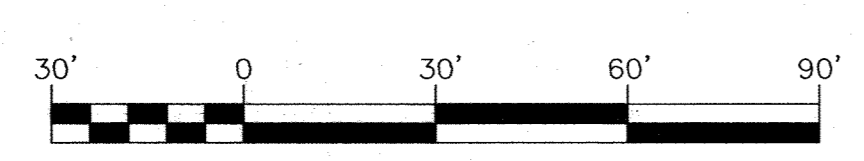
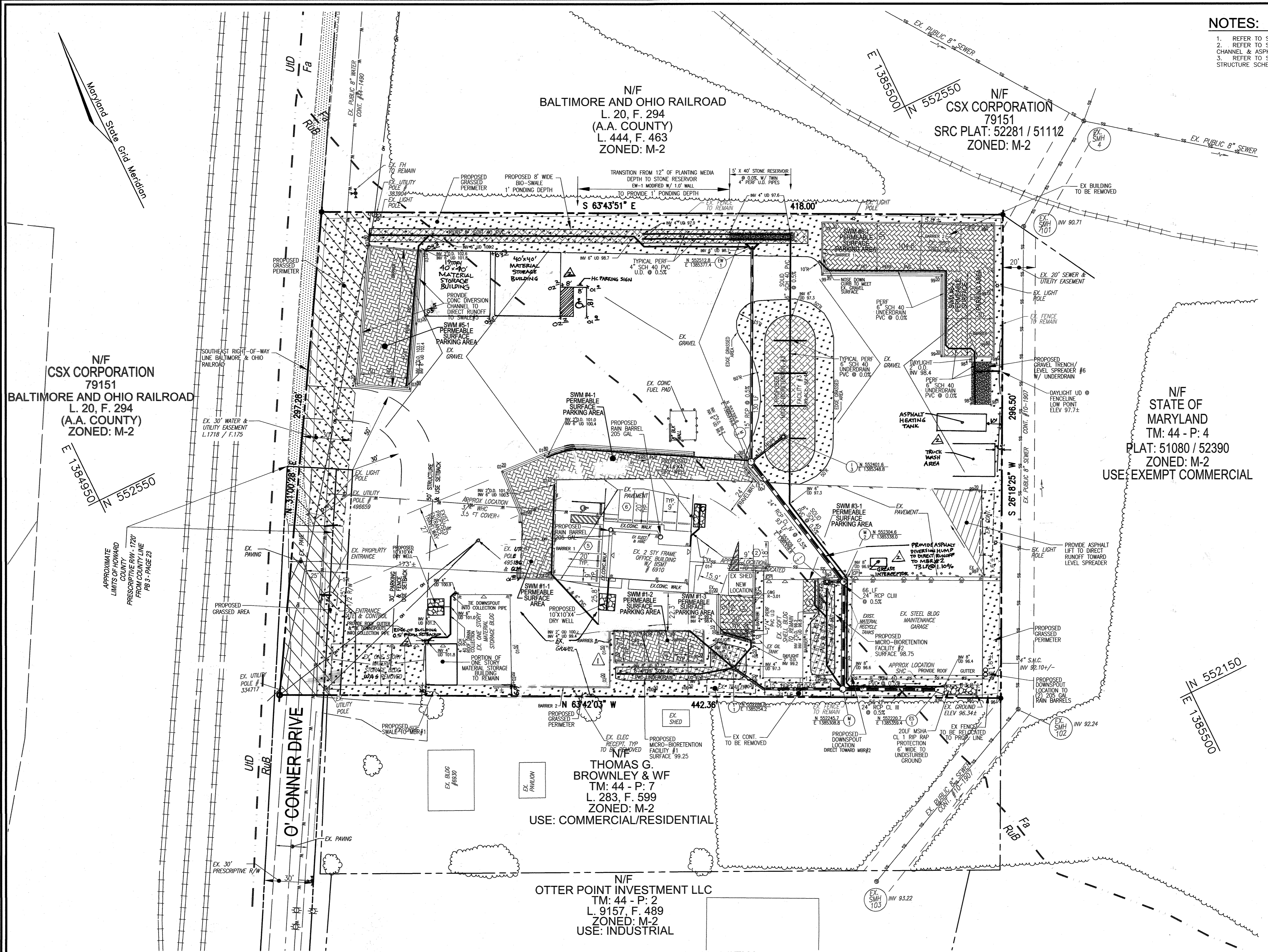
SITE DEVELOPMENT PLAN
LAYOUT PLAN
AMERICAN PAVING FABRICS
 #6910 O CONNER DRIVE
 L. 4724 / F. 102

1ST ELECTION DISTRICT
 TAX MAP: 44 GRD: 1
 OFZ. REFS: SDP-88-70, EXP 12-037

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET
 ELLICOTT CITY, MD 21043
 TEL: 410.461.7666
 FAX: 410.461.8961

DESIGN BY: EDS.
 DRAWN BY: EDS.
 CHECKED BY: RHY.
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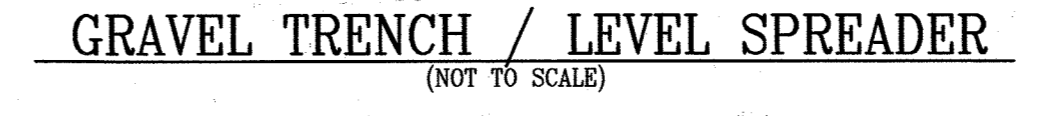
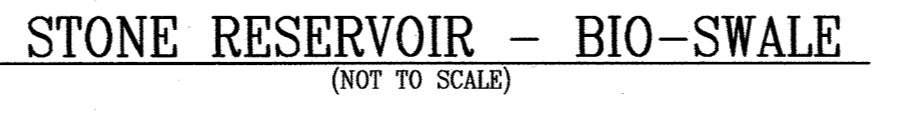
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 EXPIRATION DATE: 09-27-2014



SOILS LEGEND

SYMBOL	NAME / DESCRIPTION	GROUP	Kw	HYDRIC / NOT HYDRIC
Fg	FALLSINGTON SANDY LOAM, 0 TO 2 PERCENT SLOPES	D	0.02	HYDRIC
RUB	RUSSETT AND BELTSVILLE SANDY SILT LOAM, 2 TO 5 PERCENT SLOPES	C	0.24	NOT HYDRIC

NOTE: BASED ON WEB SOIL SURVEY - HOWARD COUNTY

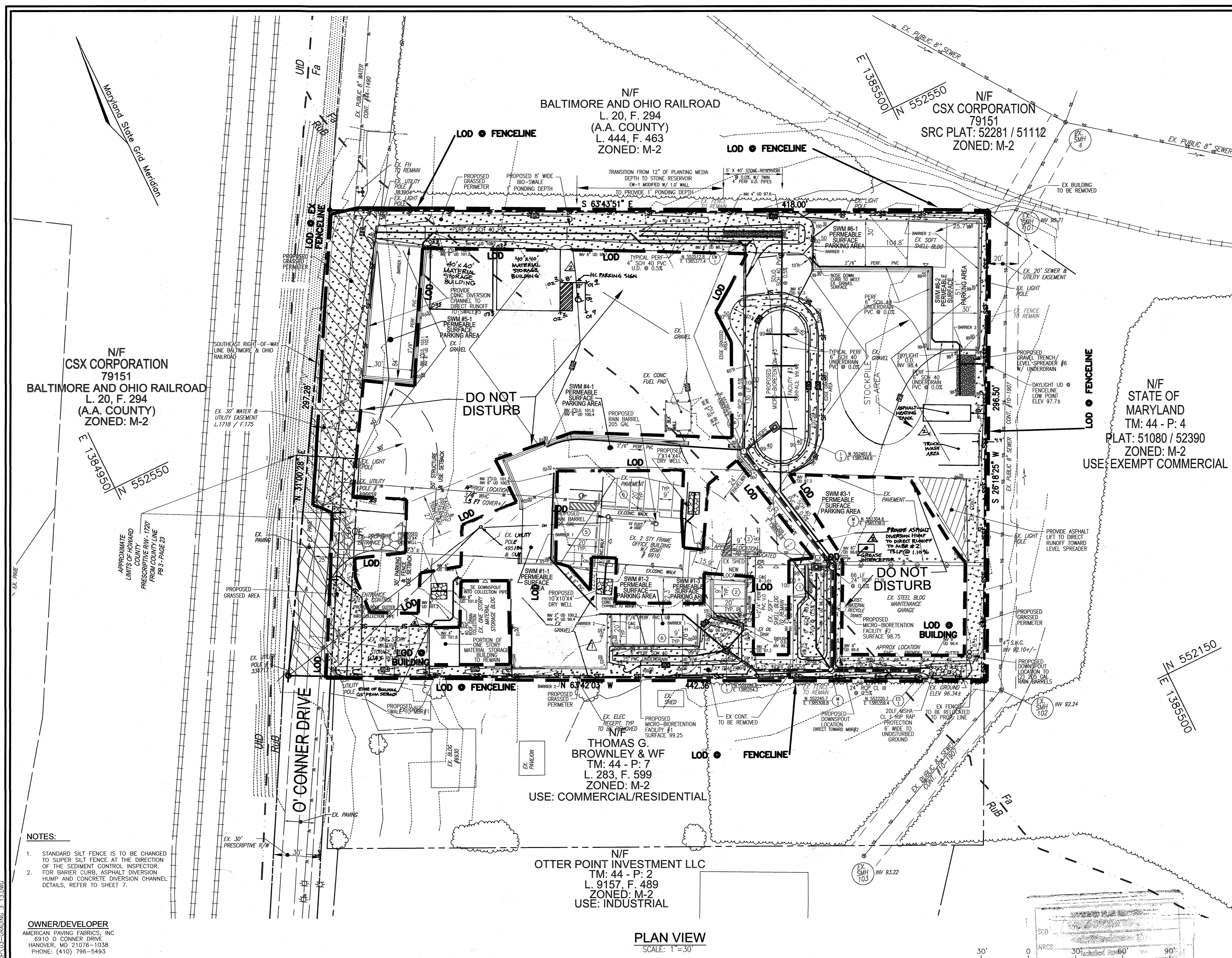


APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 01/13

CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 10/22/13

DIRECTOR
 DATE: 1/24/10



LEGEND:

---	EXISTING CONTOUR	---	PROPOSED STORM DRAIN INLET
---	PROPOSED CONTOUR	---	EXISTING TREELINE
---	PROPOSED SPOT ELEVATION	---	EXISTING FENCE
---	EXISTING SPOT ELEVATION	---	PROPERTY LINE
---	EXISTING CURB AND GUTTER	---	RIGHT-OF-WAY LINE
---	PROPOSED CURB AND GUTTER	---	SOILS BOUNDARY
---	EXISTING UTILITY POLE	---	SILT FENCE
---	EXISTING LIGHT POLE	---	SUPER SILT FENCE
---	EXISTING MALBOX	---	LIMIT OF DISTURBANCE
---	EXISTING SIGN	---	INLET PROTECTION
---	EXISTING SANITARY MANHOLE	---	STABILIZED CONSTRUCTION ENTRANCE
---	EXISTING SANITARY LINE	---	PROPOSED GRASSED AREA
---	EXISTING CLEANOUT	---	
---	EXISTING FIRE HYDRANT	---	
---	EXISTING WATER LINE	---	
---	PROPOSED STORM DRAIN	---	

- SEQUENCE OF CONSTRUCTION**
- OBTAIN GRADING PERMIT. - 1 DAY
 - INSTALL STABILIZED CONSTRUCTION ENTRANCE, AS REQUIRED BY SEDIMENT CONTROL INSPECTOR. - 1 DAY
 - STAKEOUT LIMITS OF DISTURBANCE. - 3 DAYS
 - CONTRACTOR SHALL MARK SITE FOR UNDERGROUND UTILITIES BEFORE START OF ANY EXCAVATION. - 1 DAY
 - INSTALL SILT FENCE (SF), SUPER SILT FENCE (SSF), AT THE LIMIT OF DISTURBANCE OR AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR. - 2 DAYS
- CONSTRUCTION SHOULD OCCUR IN PHASES TO LIMIT DISTURBED AREAS AND ALLOW FOR CONTINUED UNINTERRUPTED DAILY OPERATIONS ON-SITE.
- RELOCATE PORTION OF MATERIAL STORAGE BUILDING WHERE SHOWN HEREON. CONSTRUCT STORM DRAIN FROM E5-1 TO Ew-1 AND INSTALL INLET PROTECTION. - 2 WEEKS
- CONTRACTOR SHALL TEST PIT FOR EXISTING WATER AND SEWER LINES PRIOR TO INSTALLATION. CONTRACTOR SHALL NOTIFY ROBERT H. VOGEL ENGINEERING, INC OF ANY CONFLICTS FOUND PRIOR TO CONSTRUCTION.
- STOCKPILE MATERIAL SHALL BE PROTECTED BY SILT FENCE OR AS DIRECTED BY SEDIMENT CONTROL INSPECTOR.
 - THE CONTRACTOR SHALL INSPECT AND PROVIDE NECESSARY MAINTENANCE ON THE SEDIMENT AND EROSION CONTROLS SHOWN HEREON AFTER EACH RAINFALL AND ON A DAILY BASIS. - 1 DAY
 - OBTAIN PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR TO PROCEED. 1 DAY
 - CONSTRUCT MICRO-BIORETENTION FACILITIES 1 - 3, AND PROTECT WITH SILT FENCE UNTIL ALL UPRAMP AREAS ARE STABILIZED. CONSTRUCTION OF THESE FACILITIES SHOULD BE WITNESSED BY ROBERT H. VOGEL ENGINEERING, INC. FACILITIES SHOULD NOT RECEIVE "DIRTY WATER". GRASSED ISLANDS/AREAS AROUND FACILITIES SHALL BE STABILIZED WITH PERMANENT SEED MIXTURE AND STRAW MULCH. - 2 WEEKS
 - EXCAVATE AS REQUIRED FOR THE CONSTRUCTION OF THE PERMEABLE SURFACE PARKING AREAS SUBBASE AND BORDER / BARRIER CURBING AS SPECIFIED HEREIN. AREAS SHOWN AS GRASSED AREAS SHALL BE TOP SOILED AND STABILIZED WITH PERMANENT SEED MIXTURE AND STRAW MULCH. - 1 WEEK
- NOTE: "DIRTY" WATER SHOULD NOT BE ALLOWED TO ENTER THE STONE SUB BASE AREAS**
- INSTALL STONE RESERVOIRS AND SUBBASE WITH UNDERDRAINS AS DETAIL HEREIN. CONSTRUCTION OF THESE FACILITIES SHOULD BE WITNESSED BY ROBERT H. VOGEL ENGINEERING, INC. - 2 WEEKS
- NOTE: "DIRTY" WATER SHOULD NOT BE ALLOWED TO ENTER THE STONE SUB BASE AREAS**
- WITH PERMISSION FROM ROBERT H. VOGEL ENGINEERING, INC., INSTALL PERMEABLE SURFACE AND GRAVEL LEVEL SPREADER. - 2 DAYS
 - CONSTRUCT BIO-SWALE AS DETAIL HEREIN AND STABILIZE AS DETAIL HEREIN. CONSTRUCTION OF THIS FACILITY SHOULD BE WITNESSED BY ROBERT H. VOGEL ENGINEERING, INC. SWALE SHALL BE LINED WITH EROSION CONTROL MATTING AND STABILIZED WITH PERMANENT SEEDING MIXTURE AND STRAW MULCH. - 1 WEEK
 - PERIMETER GRASS AREAS AND GRASS AREAS AROUND THE BIORETENTION FACILITIES SHOULD BE SCARIFIED TO REMOVE ANY GRAVEL AND TO LOOSEN THE EXISTING SOIL. ADD TOPSOIL PER SPECIFICATION HEREON AND STABILIZE WITH PERMANENT SEED AND MULCH.
 - CONSTRUCT SWALE BEHIND AND ROOF DOWNSPOUT COLLECTION PIPE FOR STORAGE BUILDING 'A'. SWALE SHALL BE LINED WITH EROSION CONTROL MATTING AND STABILIZED WITH PERMANENT SEEDING MIXTURE AND STRAW MULCH. - 1 DAY
 - CONSTRUCT DRY WELLS AS SHOWN HEREON. CONSTRUCTION OF THESE FACILITIES SHOULD BE WITNESSED BY ROBERT H. VOGEL ENGINEERING, INC. - 2 DAYS
 - OBTAIN PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR TO PROCEED.
 - INSTALL CURBING, BACKFILL ISLANDS AND ADD PARKING STRIPING AS SHOWN HEREIN. ISLANDS SHALL BE STABILIZED WITH PERMANENT SEEDING MIXTURE AND STRAW MULCH. - 1 WEEK
 - UNUSED STOCKPILE MATERIAL SHALL BE TRUCKED OFFSITE. DISTURBED AREA SHALL BE PLACED BACK TO GRAVEL SURFACE PER THE EXISTING CONDITION. - 2 DAYS
 - WITH 2" STAND OF GRASS, ALL AREAS DRAINING TOWARD REFERENCED STORMWATER MANAGEMENT FACILITIES STABILIZED AND WITH PERMISSION FROM SEDIMENT CONTROL INSPECTOR, REMOVE REMAINING SEDIMENT CONTROLS AND STABILIZE DISTURBED AREAS WITH PERMANENT SEEDING MIXTURE AND STRAW MULCH. - 1 WEEK

- NOTES:**
- STANDARD SILT FENCE IS TO BE CHANGED TO SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
 - FOR BARRIER CURB, ASPHALT DIVERSION HUMP AND CONCRETE DIVERSION CHANNEL DETAILS, REFER TO SHEET 7.

OWNER/DEVELOPER
 AMERICAN PAVING FABRICS, INC
 6910 O'CONNOR DRIVE
 HANOVER, MD 21076-1038
 PHONE: (410) 796-5493

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION *[Signature]* 10/4/13 DATE

CHIEF, DIVISION OF LAND DEVELOPMENT *[Signature]* 10/22/13 DATE

DIRECTOR *[Signature]* 10/22/13 DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 12/4/13 DATE
 HOWARD S.C.D.

BY THE DEVELOPER:

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

[Signature] 9/24/13 DATE
 SIGNATURE OF DEVELOPER

BY THE ENGINEER:

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

[Signature] 9/27/13 DATE
 SIGNATURE OF ENGINEER

PLAN VIEW
 SCALE: 1"=30'

SOILS LEGEND

SYMBOL	NAME / DESCRIPTION	GROUP	Kw	HYDRIC/NOT HYDRIC
Fa	FALLSINGTON SANDY LOAM, 0 TO 2 PERCENT SLOPES	D	0.02	HYDRIC
Rub	RUSSETT AND BELTSVILLE SANDY SILT LOAM, 2 TO 5 PERCENT SLOPES	C	0.24	NOT HYDRIC

NOTE: BASED ON WEB SOIL SURVEY - HOWARD COUNTY

1	REVISE LAYOUT TO REFLECT AS-BUILT CONDITIONS RELOCATE STORAGE BUILDING	8-16-21 12/22/14
NO.	REVISION	DATE

SITE DEVELOPMENT PLAN
 GRADING, SOIL EROSION & SEDIMENT CONTROL PLAN
AMERICAN PAVING FABRICS
 #6910 O'CONNOR DRIVE
 L. 4724 F. 102

1ST ELECTION DISTRICT: TAX MAP: 44 GRID: 1
 DPZ REF: SDP 88-70, ECP 12-037

ZONED: M-2
 PARCEL: 1
 HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET
 ELLICOTT CITY, MD 21043
 TEL: 410.461.7666
 FAX: 410.461.8965

PROFESSIONAL CERTIFICATE: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: 09-27-2014

DESIGN BY: EDS.
 DRAWN BY: EDS.
 CHECKED BY: RHW.
 DATE: MARCH 2013.
 SCALE: AS SHOWN.
 W.O. NO.: 11-29.

4 SHEET OF 10

HOWARD SOIL CONSERVATION DISTRICT STANDARD SEDIMENT CONTROL NOTES

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION. (313-1855).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND IN CONFORMANCE WITH THE MOST CURRENT "MATERIAL STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL," AND REVISIONS THERETO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RESTORATION, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN A 3 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DROPS, PERFORATED SLOPES AND ALL SLOPES GREATER THAN 3:1. 60 DAYS AFTER ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING (SEC. B-4-4-3), TEMPORARY SEEDING (SEC. B-4-4-4) AND MULCHING (SEC. B-4-4-5). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATING CONDITION UNTIL PERMITS FOR CONSTRUCTION HAVE BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:
 - TOTAL AREA OF SITE: 2.93 ACRES
 - AREA OBTAINED: 1.89 ACRES
 - AREA TO BE REFOUR OR PAVED: 2.30 ACRES
 - AREA TO BE VEGETATIVELY STABILIZED: 1.62 ACRES
 - TOTAL CUT: 40.2 CU. YDS.
 - TOTAL FILL: 500 CU. YDS.
 - OFFSITE WASTE/BORROW AREA LOCATION: [redacted]
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF RESTORATION.
- ADDITIONAL SEDIMENT CONTROL WHICH IS PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN PROCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE FEET LENGTHS OR THAT WHICH CAN BE EXCAVATED AND STABILIZED WITH ONE WORKING DAY, WHICHEVER IS SHORTER.
- A PROJECT IS TO BE SEQUENCED SO THAT GRADING ACTIVITIES BEGIN ON ONE GRADING UNIT (MAXIMUM AREA OF 20 ACRES PER GRADING UNIT) AT A TIME. WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE ENFORCEMENT AUTHORITY. UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE APPROVAL AUTHORITY, NO MORE THAN 30 ACRES COLLECTIVELY MAY BE DISTURBED AT ONE TIME.
- EXISTING ROOFTOP, PAVEMENT OR GRAVEL SURFACE CONSIDERED IMPROVED.
- DROPPED GRAVEL AREAS PARKING ISLANDS LANDSCAPED PERIMETERS & "GREEN" SWI FACILITIES.
- ESTIMATE ONLY; CONTRACTOR SHALL VERIFY QUANTITIES TO HIS OWN SATISFACTION TO BE DETERMINED BY CONTRACTOR WITH PRE-APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, WITH AN APPROVED AND ACTIVE GRADING PERMIT.

B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

DEFINITION TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.

PURPOSE TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS.

CONDITIONS WHERE PRACTICE APPLIES EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.

CRITERIA

A. SEED MIXTURES

1. GENERAL USE:

- A. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE CONDITION OR PURPOSE FOUND ON TABLE B.2. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY.
- B. ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELANDS, STREAM BANKS, OR SLOPES OR FOR SPECIAL PURPOSES SUCH AS WILDLIFE OR AESTHETIC TREATMENT MAY BE FOUND IN USDA-NRCS TECHNICAL FIELD OFFICE GUIDE, SECTION 342 - CRITICAL AREA PLANTING.
- C. FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES, USE AND SHOW THE RATES RECOMMENDED BY THE SOIL TESTING AGENCY.
- D. FOR AREAS REQUIRING LOW MAINTENANCE, APPLY UREA FORM FERTILIZER (46-0-0) 1-1 1/2 POUNDS PER 1000 SQUARE FEET (50 POUNDS PER ACRE) AT THE TIME OF SEEDING IN ADDITION TO THE SOIL AMENDMENTS SHOWN IN THE PERMANENT SEEDING SUMMARY.

2. TURFGRASS MIXTURES:

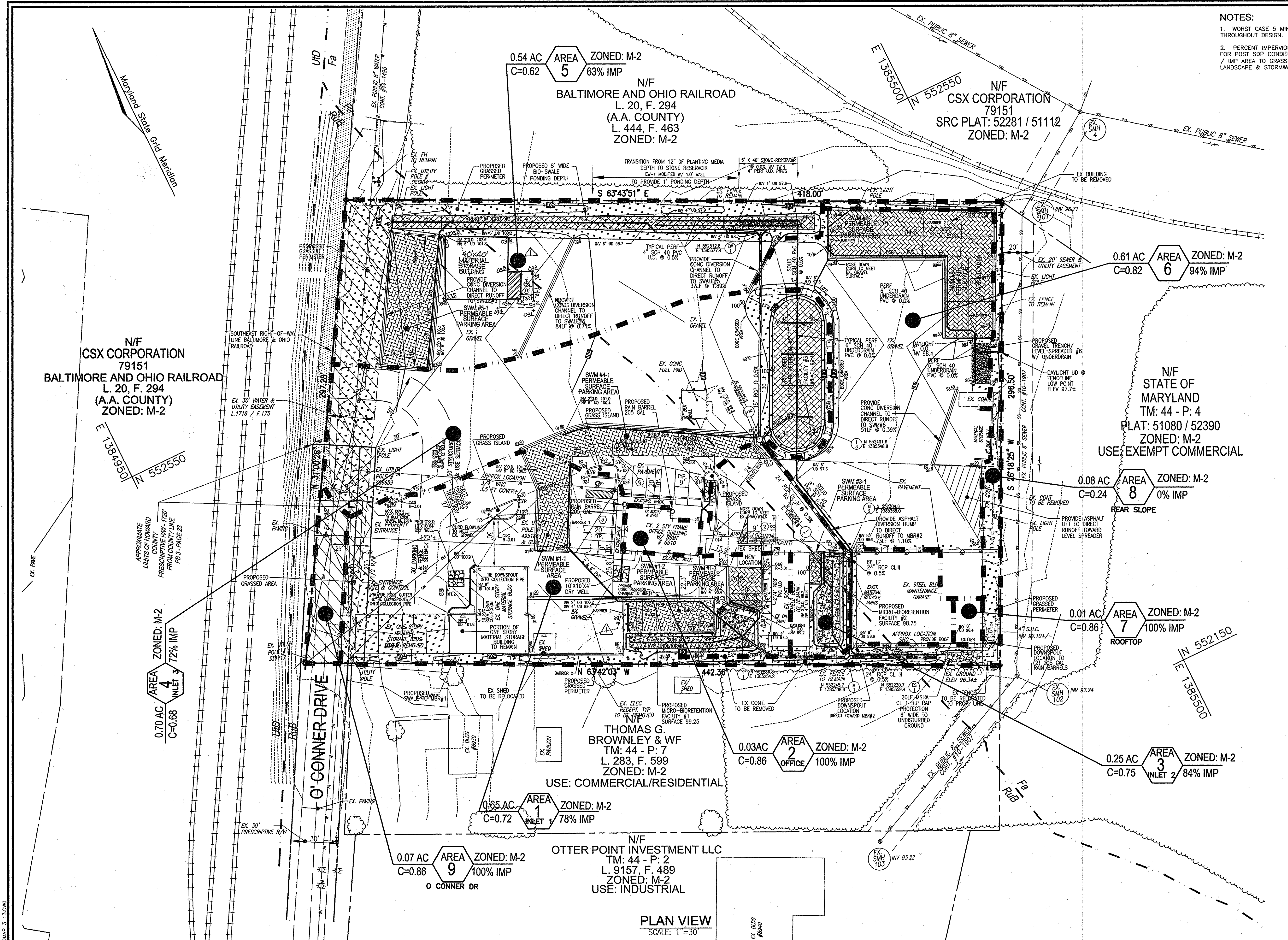
- A. AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND OPEN COMMON AREAS WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE.
- B. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS OR PURPOSE. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN.
- 1. KENTUCKY BLUEGRASS: FULL SUN MIXTURE; FOR USE IN AREAS THAT RECEIVE INTENSIVE MANAGEMENT, IRRIGATION REQUIRED IN THE AREAS OF CENTRAL MARYLAND AND EASTERN SHORE. RECOMMENDED CERTIFIED KENTUCKY BLUEGRASS CULTIVARS: KY31, KY30, KY35, KY45, KY58, KY77, KY80, KY81, KY82, KY83, KY84, KY85, KY86, KY87, KY88, KY89, KY90, KY91, KY92, KY93, KY94, KY95, KY96, KY97, KY98, KY99, KY00, KY01, KY02, KY03, KY04, KY05, KY06, KY07, KY08, KY09, KY10, KY11, KY12, KY13, KY14, KY15, KY16, KY17, KY18, KY19, KY20, KY21, KY22, KY23, KY24, KY25, KY26, KY27, KY28, KY29, KY30, KY31, KY32, KY33, KY34, KY35, KY36, KY37, KY38, KY39, KY40, KY41, KY42, KY43, KY44, KY45, KY46, KY47, KY48, KY49, KY50, KY51, KY52, KY53, KY54, KY55, KY56, KY57, KY58, KY59, KY60, KY61, KY62, KY63, KY64, KY65, KY66, KY67, KY68, KY69, KY70, KY71, KY72, KY73, KY74, KY75, KY76, KY77, KY78, KY79, KY80, KY81, KY82, KY83, KY84, KY85, KY86, KY87, KY88, KY89, KY90, KY91, KY92, KY93, KY94, KY95, KY96, KY97, KY98, KY99, KY00, KY01, KY02, KY03, KY04, KY05, KY06, KY07, KY08, KY09, KY10, KY11, KY12, KY13, KY14, KY15, KY16, KY17, KY18, KY19, KY20, KY21, KY22, KY23, KY24, KY25, KY26, KY27, KY28, KY29, KY30, KY31, KY32, KY33, KY34, KY35, KY36, KY37, KY38, KY39, KY40, KY41, KY42, KY43, KY44, KY45, KY46, KY47, KY48, KY49, KY50, KY51, KY52, KY53, KY54, KY55, KY56, KY57, KY58, KY59, KY60, KY61, KY62, KY63, KY64, KY65, KY66, KY67, KY68, KY69, KY70, KY71, KY72, KY73, KY74, KY75, KY76, KY77, KY78, KY79, KY80, KY81, KY82, KY83, KY84, KY85, KY86, KY87, KY88, KY89, KY90, KY91, KY92, KY93, KY94, KY95, KY96, KY97, KY98, KY99, KY00, KY01, KY02, KY03, KY04, KY05, KY06, KY07, KY08, KY09, KY10, KY11, KY12, KY13, KY14, KY15, KY16, KY17, KY18, KY19, KY20, KY21, KY22, KY23, KY24, KY25, KY26, KY27, KY28, KY29, KY30, KY31, KY32, KY33, KY34, KY35, KY36, KY37, KY38, KY39, KY40, KY41, KY42, KY43, KY44, KY45, KY46, KY47, KY48, KY49, KY50, KY51, KY52, KY53, KY54, KY55, KY56, KY57, KY58, KY59, KY60, KY61, KY62, KY63, KY64, KY65, KY66, KY67, KY68, KY69, KY70, KY71, KY72, KY73, KY74, KY75, KY76, KY77, KY78, KY79, KY80, KY81, KY82, KY83, KY84, KY85, KY86, KY87, KY88, KY89, KY90, KY91, KY92, KY93, KY94, KY95, KY96, KY97, KY98, KY99, KY00, KY01, KY02, KY03, KY04, KY05, KY06, KY07, KY08, KY09, KY10, KY11, KY12, KY13, KY14, KY15, KY16, KY17, KY18, KY19, KY20, KY21, KY22, KY23, KY24, KY25, KY26, KY27, KY28, KY29, KY30, KY31, KY32, KY33, KY34, KY35, KY36, KY37, KY38, KY39, KY40, KY41, KY42, KY43, KY44, KY45, KY46, KY47, KY48, KY49, KY50, KY51, KY52, KY53, KY54, KY55, KY56, KY57, KY58, KY59, KY60, KY61, KY62, KY63, KY64, KY65, KY66, KY67, KY68, KY69, KY70, KY71, KY72, KY73, KY74, KY75, KY76, KY77, KY78, KY79, KY80, KY81, KY82, KY83, KY84, KY85, KY86, KY87, KY88, KY89, KY90, KY91, KY92, KY93, KY94, KY95, KY96, KY97, KY98, KY99, KY00, KY01, KY02, KY03, KY04, KY05, KY06, KY07, KY08, KY09, KY10, KY11, KY12, KY13, KY14, KY15, KY16, KY17, KY18, KY19, KY20, KY21, KY22, KY23, KY24, KY25, KY26, KY27, KY28, KY29, KY30, KY31, KY32, KY33, KY34, KY35, KY36, KY37, KY38, KY39, KY40, KY41, KY42, KY43, KY44, KY45, KY46, KY47, KY48, KY49, KY50, KY51, KY52, KY53, KY54, KY55, KY56, KY57, KY58, KY59, KY60, KY61, KY62, KY63, 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KY96, KY97, KY98, KY99, KY00, KY01, KY02, KY03, KY04, KY05, KY06, KY07, KY08, KY09, KY10, KY11, KY12, KY13, KY14, KY15, KY16, KY17, KY18, KY19, KY20, KY21, KY22, KY23, KY24, KY25, KY26, KY27, KY28, KY29, KY30, KY31, KY32, KY33, KY34, KY35, KY36, KY37, KY38, KY39, KY40, KY41, KY42, KY43, KY44, KY45, KY46, KY47, KY48, KY49, KY50, KY51, KY52, KY53, KY54, KY55, KY56, KY57, KY58, KY59, KY60, KY61, KY62, KY63, KY64, KY65, KY66, KY67, KY68, KY69, KY70, KY71, KY72, KY73, KY74, KY75, KY76, KY77, KY78, KY79, KY80, KY81, KY82, KY83, KY84, KY85, KY86, KY87, KY88, KY89, KY90, KY91, KY92, KY93, KY94, KY95, KY96, KY97, KY98, KY99, KY00, KY01, KY02, KY03, KY04, KY05, KY06, KY07, KY08, KY09, KY10, KY11, KY12, KY13, KY14, KY15, KY16, KY17, KY18, KY19, KY20, KY21, KY22, KY23, KY24, KY25, KY26, KY27, KY28, KY29, KY30, KY31, KY32, KY33, KY34, KY35, KY36, KY37, KY38, KY39, KY40, KY41, KY42, KY43, KY44, KY45, KY46, KY47, KY48, KY49, KY50, KY51, KY52, KY53, KY54, KY55, KY56, KY57, KY58, KY59, KY60, KY61, KY62, KY63, KY64, KY65, KY66, KY67, KY68, KY69, KY70, KY71, KY72, KY73, KY74, KY75, KY76, KY77, KY78, KY79, KY80, KY81, KY82, KY83, KY84, KY85, KY86, KY87, KY88, KY89, KY90, KY91, KY92, KY93, KY94, KY95, KY96, KY97, KY98, KY99, KY00, KY01, KY02, KY03, KY04, KY05, KY06, KY07, KY08, KY09, KY10, KY11, KY12, KY13, KY14, KY15, KY16, KY17, KY18, KY19, KY20, KY21, KY22, KY23, KY24, KY25, KY26, KY27, KY28, KY29, KY30, KY31, KY32, KY33, KY34, KY35, KY36, KY37, KY38, KY39, KY40, KY41, KY42, KY43, KY44, KY45, KY46, KY47, KY48, KY49, KY50, KY51, KY52, KY53, KY54, KY55, KY56, KY57, KY58, KY59, KY60, KY61, KY62, KY63, KY64, KY65, KY66, KY67, KY68, KY69, KY70, KY71, KY72, KY73, KY74, KY75, KY76, KY77, KY78, KY79, KY80, KY81, KY82, KY83, KY84, KY85, KY86, KY87, KY88, KY89, KY90, KY91, KY92, KY93, KY94, KY95, KY96, KY97, KY98, KY99, KY00, KY01, KY02, KY03, KY04, KY05, KY06, KY07, KY08, KY09, KY10, KY11, KY12, KY13, KY14, KY15, KY16, KY17, KY18, KY19, KY20, KY21, KY22, KY23, KY24, KY25, KY26, KY27, 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NOTES:
 1. WORST CASE 5 MIN. TC ASSUMED THROUGHOUT DESIGN.
 2. PERCENT IMPERVIOUS SHOWN IS COMPUTED FOR POST SDP CONDITIONS, CONVERTING GRAVEL / IMP AREA TO GRASSED (GREEN) AREAS, LANDSCAPE & STORMWATER FACILITIES.

LEGEND:

- EXISTING CONTOUR
- - - - PROPOSED CONTOUR
- + 40.25 PROPOSED SPOT ELEVATION
- + 40.25 EXISTING SPOT ELEVATION
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN INLET
- EXISTING TREELINE (FIELD LOCATED)
- EXISTING FENCE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- M1B2 M1D3 SOILS BOUNDARY
- DRAINAGE AREA
- PROPOSED GRASS AREA
- PERMEABLE PAVING
- MICRO-BIO-RETENTION

DRAINAGE AREA ZONING
 'C' FACTOR AREA ZONING % IMPERVIOUS



OWNER/DEVELOPER
 AMERICAN PAVING FABRICS, INC.
 6910 O'CONNOR DRIVE
 HANOVER, MD 21076-1038
 PHONE: (410) 796-5493

1	RELOCATE STORAGE BUILDING	12/22/14
NO.	REVISION	DATE

SITE DEVELOPMENT PLAN
STORM DRAIN DRAINAGE AREA MAP;
AND SOILS MAP
AMERICAN PAVING FABRICS
 # 6910 O'CONNOR DRIVE
 L. 4724 / F. 102

1ST ELECTION DISTRICT
 TAX MAP 44 GRID 1
 DPZ REF'S: SDP 88-70, ECP 12-037
 HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL
ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET
 ELLICOTT CITY, MD 21043
 TEL: 410.461.7666
 FAX: 410.461.8961

PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: 09-27-2014

DESIGN BY: _____ EDS.
 DRAWN BY: _____ EDS.
 CHECKED BY: _____ RHY.
 DATE: MARCH 2013
 SCALE: AS SHOWN
 W.O. NO.: 11-29

SOILS LEGEND

SYMBOL	NAME / DESCRIPTION	GROUP	Kw	HYDRIC / NOT HYDRIC
Fg	FALLSINGTON SANDY LOAM 0 TO 2 PERCENT SLOPES	D	0.02	HYDRIC
RuB	RUSSETT AND BELLSVILLE SANDY SILT LOAM 2 TO 5 PERCENT SLOPES	C	0.24	NOT HYDRIC

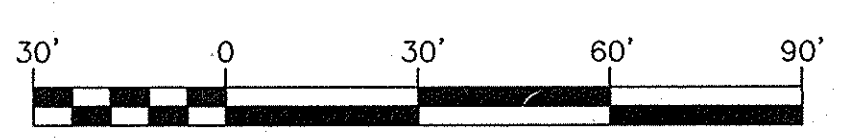
NOTE: BASED ON WEB SOIL SURVEY - HOWARD COUNTY

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

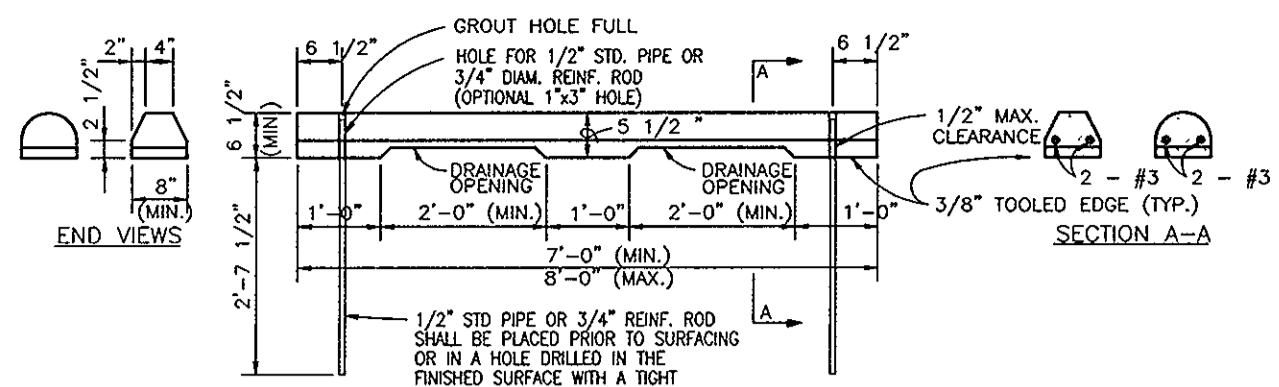
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 10/14/13

 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 1/23/12

 DIRECTOR
 DATE: 1/23/12



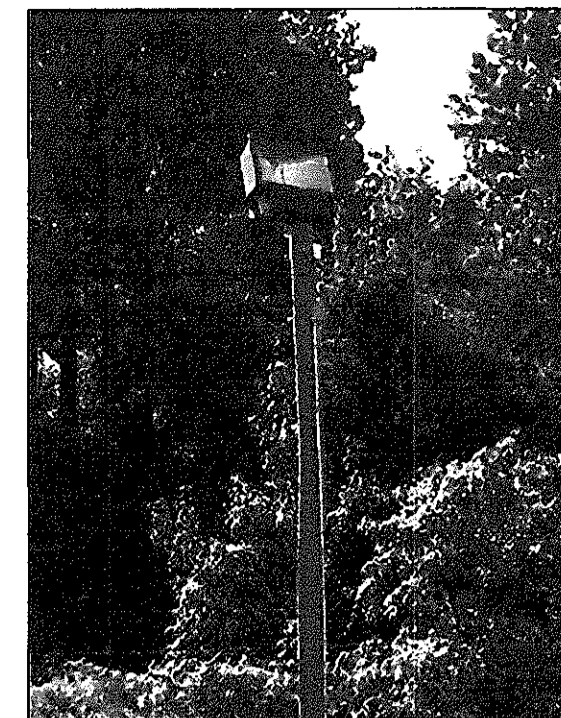
PROJECTS 11-29 ENR. OMC SDP. 08. STAMP 3 - 13.DWG



PRECAST CONCRETE WHEEL STOP DETAILS
NOT TO SCALE

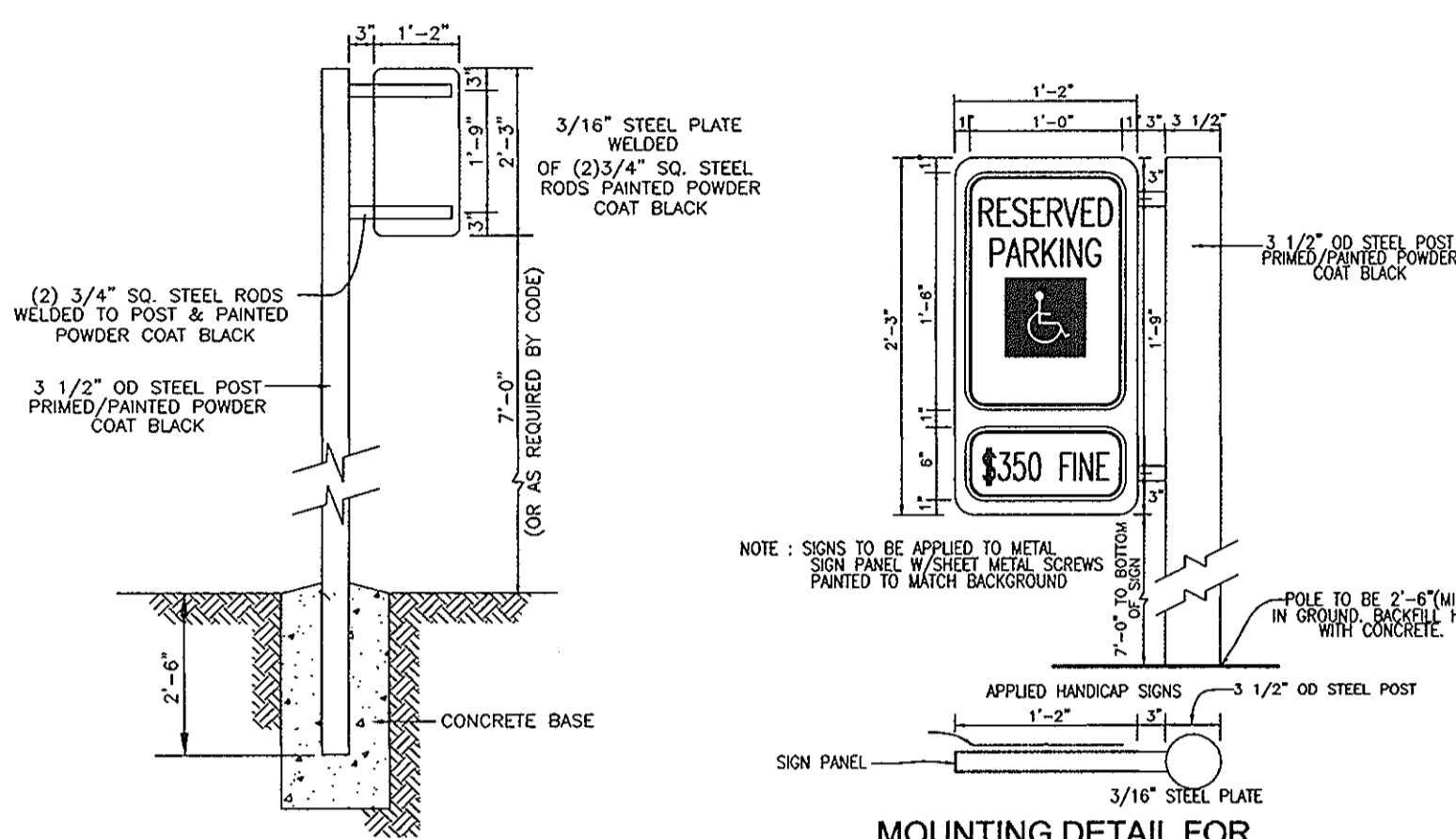


TYPICAL DOUBLE POST MOUNTED LIGHT
(NOT TO SCALE)



TYPICAL SINGLE POST MOUNTED LIGHT
(NOT TO SCALE)

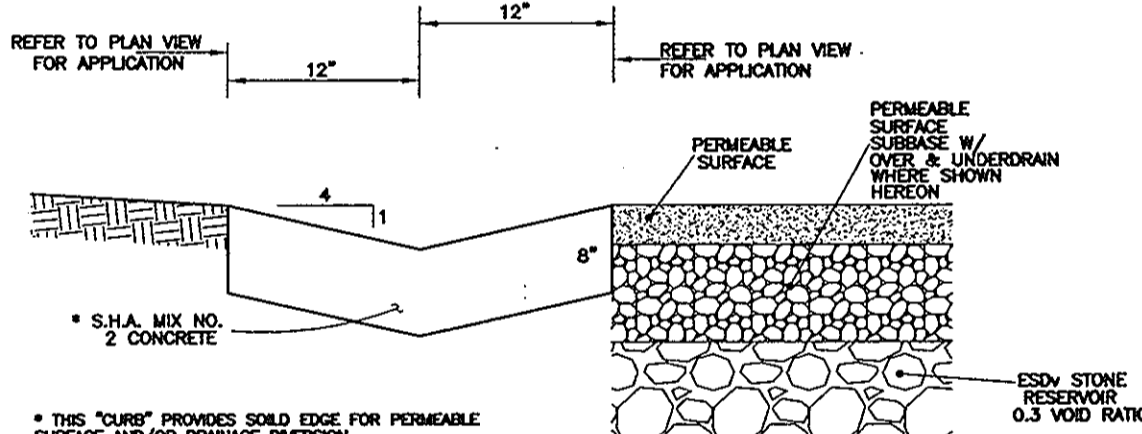
NOTES:
EXISTING PARKING / SITE LIGHTS ARE METAL HALIDE - 400 WATT FIXTURES.



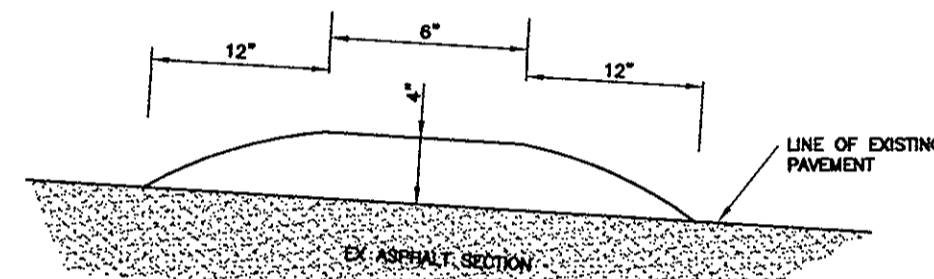
MOUNTING DETAIL FOR PARKING RESTRICTION SIGN
NOT TO SCALE

NOTE: FINE AMOUNT TO BE DETERMINED BY HOWARD COUNTY RESOLUTION. CONTACT HOWARD COUNTY DEPARTMENT OF INSPECTIONS AND PERMITS. * REDUCE SPACING 50%

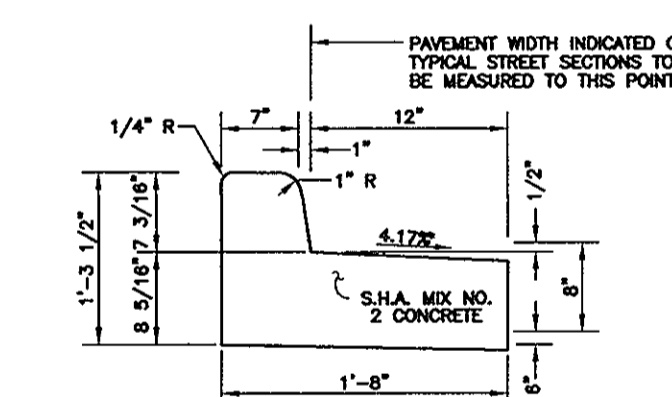
HANDICAP PARKING SIGNS
(NOT TO SCALE)



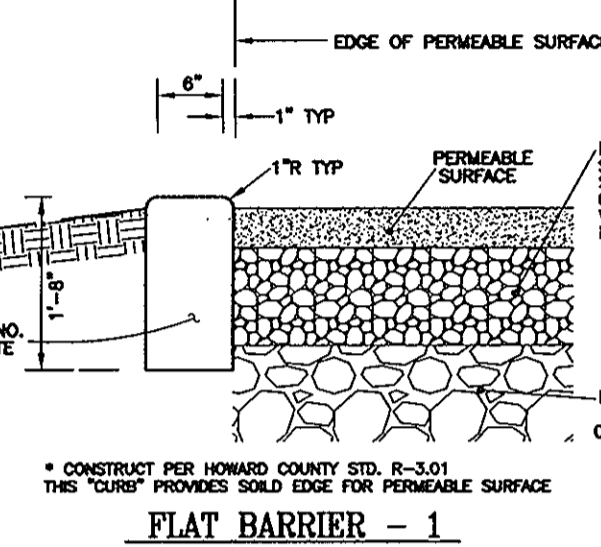
CONCRETE DIVERSION CHANNEL
(NOT TO SCALE)



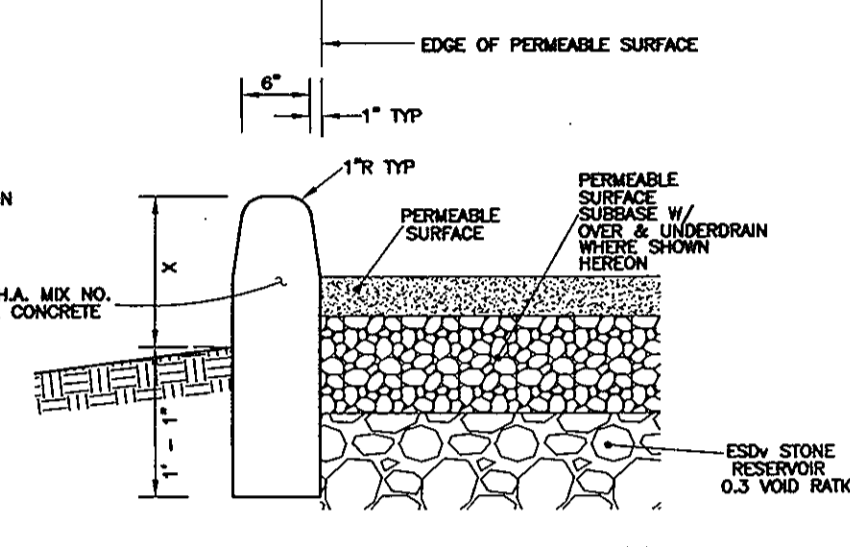
ASPHALT DIVERSION HUMP
(NOT TO SCALE)



STANDARD COMBINATION CURB AND GUTTER
HOWARD COUNTY STANDARD R-3.01
(NOT TO SCALE)

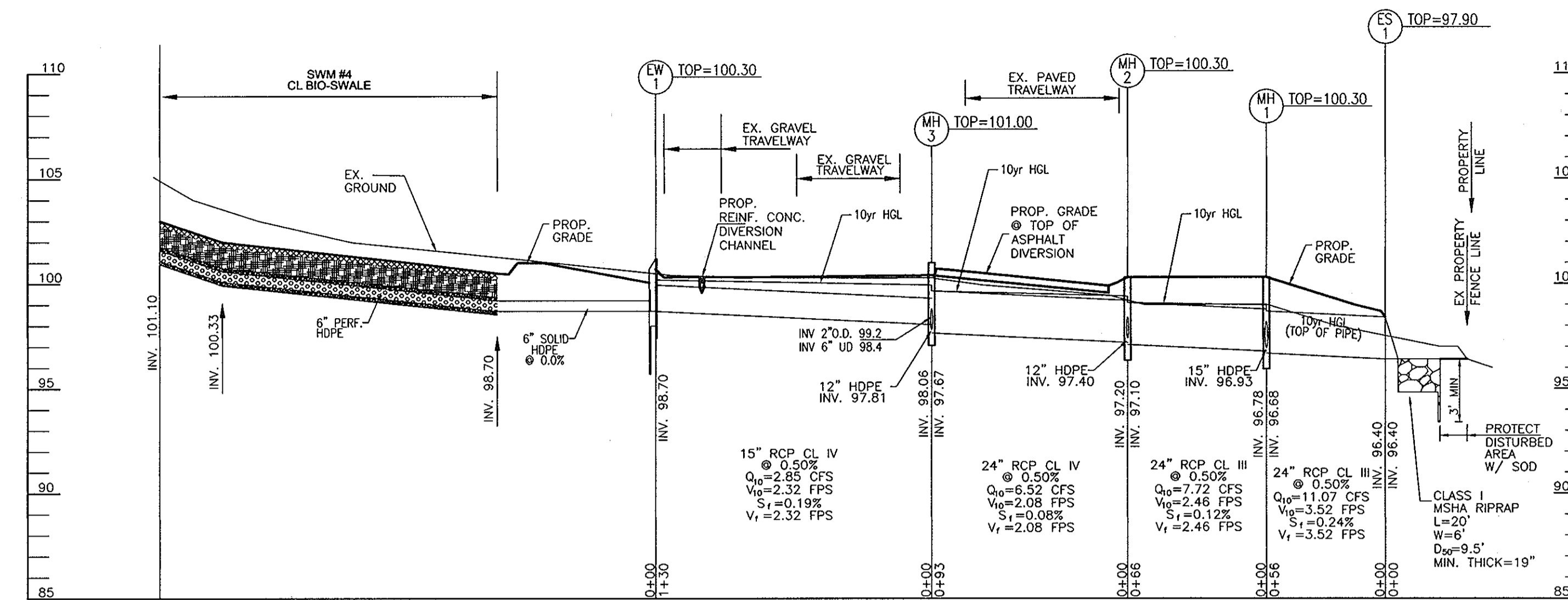


FLAT BARRIER - 1
(NOT TO SCALE)

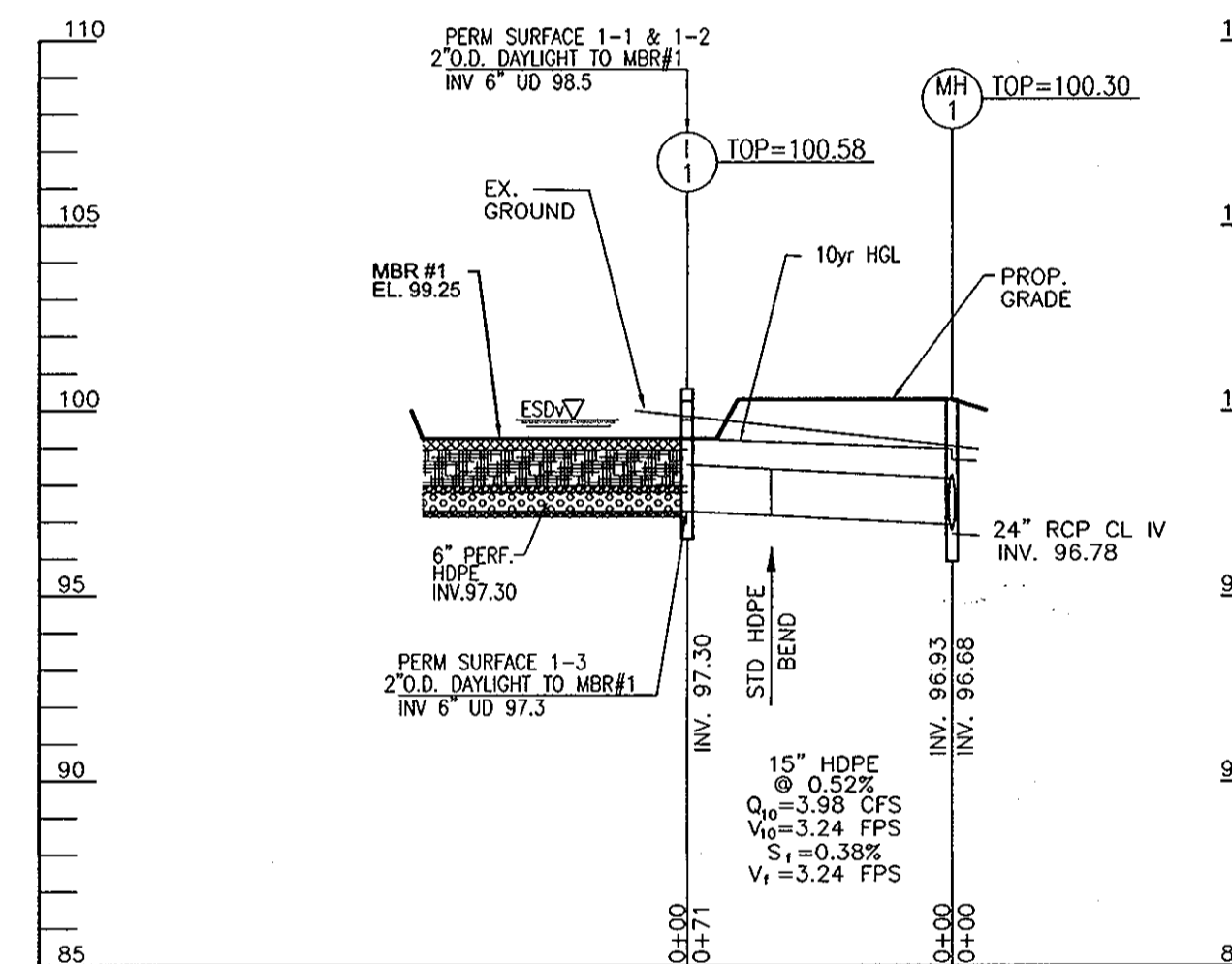


BARRIER - 2
(NOT TO SCALE)

* CONSTRUCT PER HOWARD COUNTY STD. R-3.01 THIS CURB PROVIDES SOLID EDGE FOR PERMEABLE SURFACE.
* SPECIAL DESIGN AS RETAINING WALL WHERE THE DIMENSION EXCEEDS 18 INCHES



PRIVATE STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



PRIVATE STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'

STR #	TYPE	INV. IN	INV. OUT	TOP ELEV	THROAT ELEV	DETAIL	LOCATION	REMARKS
I-1	D	97.30	97.30	100.58	99.75	D-4.10	N 552286.8 E 1385254.2	(1) THROAT ALL 4 SIZES OF INLET
I-2	S	-	97.40	99.50	-	D-4.22	N 552309.1 E 1385328.8	(1) RET. GRATE
I-3	S	97.95	97.95	100.15	-	D-4.22	N 552401.6 E 1385348.8	(1) RET. GRATE
M-1	48" MH	96.78	96.68	100.30	-	G-5.12	N 552345.7 E 1385308.8	(1)
M-2	48" MH	97.20	97.10	100.30	-	G-5.12	N 552304.6 E 1385338.0	(1)
M-3	48" MH	98.06	97.67	101.00	-	G-5.12	N 552395.6 E 1385319.5	(1)
ES-1	24" END SEC.	96.40	96.40	98.40	-	D-5.51	N 552220.7 E 1385359.4	(2) 24" End Section
EW-1	TYPE "A"	-	98.70	101.45	-	D-5.11	N 552512.8 E 1385377.4	(2) Mod D-5.11

Size	Class	Total Length
12"	HDPE	10
15"	HDPE	100
15"	RCP CL IV	130
24"	RCP CL III	122
24"	RCP CL IV	93

The total length of pipe is linear feet only.

OWNER/DEVELOPER
AMERICAN PAVING FABRICS, INC.
6910 O CONNER DRIVE
HANOVER, MD 21076-1038
PHONE: (410) 796-5493

NO.	REVISION	DATE

SITE DEVELOPMENT PLAN
UTILITY PROFILES & SITE DETAILS
AMERICAN PAVING FABRICS
#6910 O CONNER DRIVE
L. 4724 / F. 102

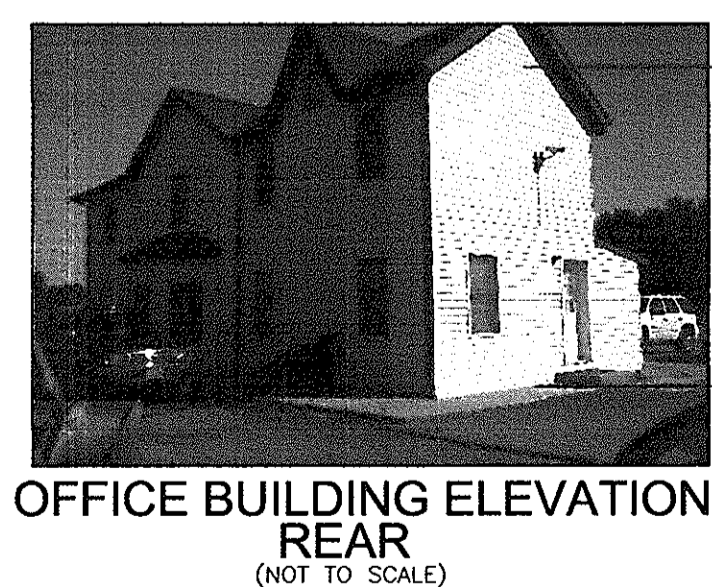
1ST ELECTION DISTRICT
TAX MAP: 44 GRID: 1
DPZ REFS: SDP 88-70, ECP 12-037

ROBERT H. VOGEL ENGINEERING, INC.
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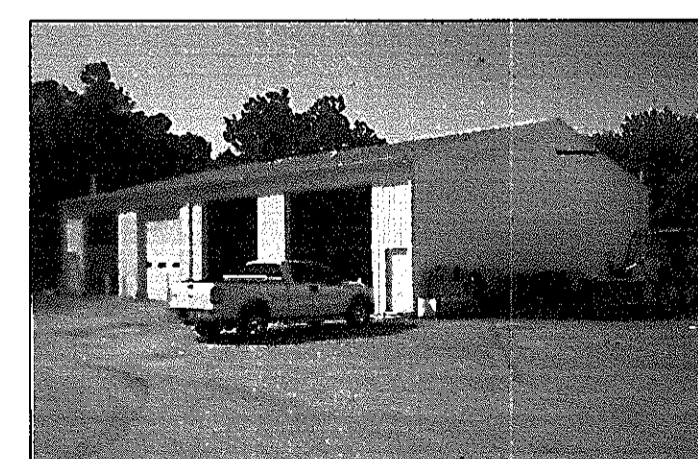
PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193
EXPIRATION DATE: 09-27-2014

DESIGN BY: EDS.
DRAWN BY: EDS.
CHECKED BY: RHV.
DATE: MARCH 2013.
SCALE: AS SHOWN
W.O. NO.: 11-29

7 SHEET OF 10



OFFICE BUILDING ELEVATION REAR
(NOT TO SCALE)



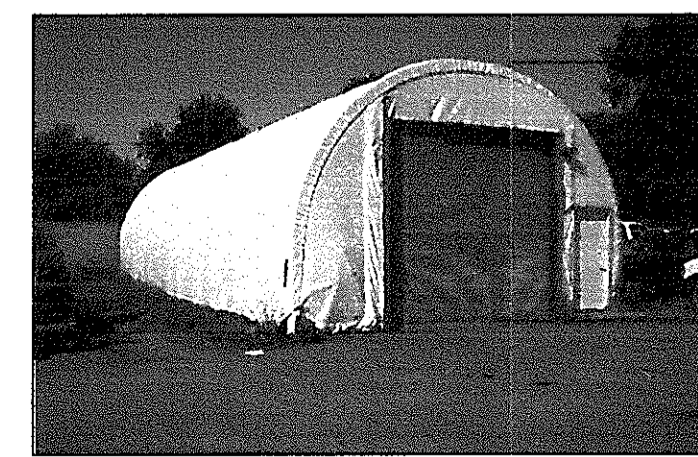
MAINTENANCE GARAGE ELEVATION
(NOT TO SCALE)



OFFICE BUILDING ELEVATION FRONT
(NOT TO SCALE)



STORAGE BUILDING ELEVATION
(NOT TO SCALE)



SOFT SHELL BLDG ELEVATION
(NOT TO SCALE)

REFER TO SHEET 2 FOR PLAN VIEWS

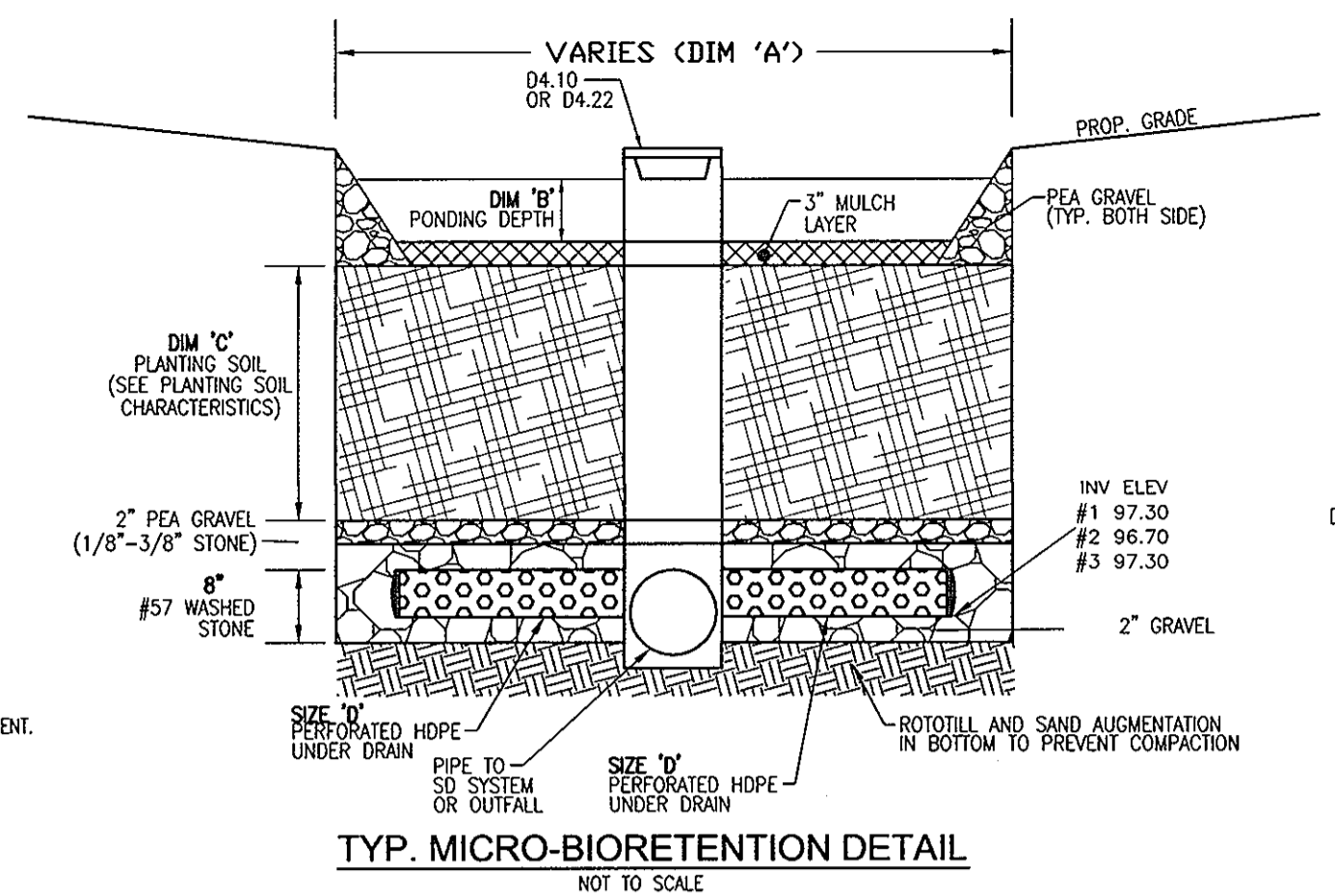
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division
Chief, Division of Land Development
Director

10/6/13
10/28/13
11/24/13

APPENDIX B.4.C SPECIFICATIONS FOR MICRO-BIORETENTION, RAIN GARDEN, LANDSCAPE INFILTRATION & INFILTRATION BERMS

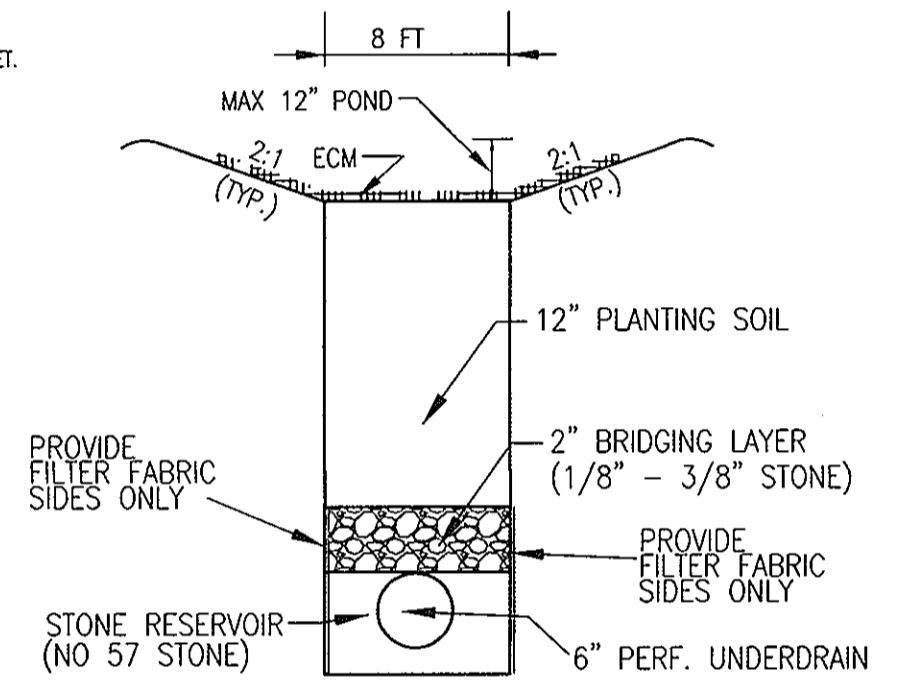
1. MATERIAL SPECIFICATIONS
THE ALLOWABLE MATERIALS TO BE USED IN THESE PRACTICES ARE DETAILED IN TABLE B.4.1.
2. FILTERING MEDIA OR PLANTING SOIL
THE SOIL SHALL BE A UNIFORM MIX, FREE OF STONES, STUMPS, ROOTS OR OTHER SIMILAR OBJECTS LARGER THAN TWO INCHES.



TYP. MICRO-BIORETENTION DETAIL

Table with 4 columns: SWMF NO., SWMF SIZE 'A' (AREA), DIM 'B' PONDING, DIM 'C' PLANTING MEDIA, DIM 'D' UNDERDRAIN SIZE.

STORMWATER MANAGEMENT ESD FACILITY DATA CHART
RECOMMENDED PLANT MATERIAL FOR MICRO-BIORETENTION PRACTICES CAN BE FOUND IN APPENDIX A, SECTION A.2.3.

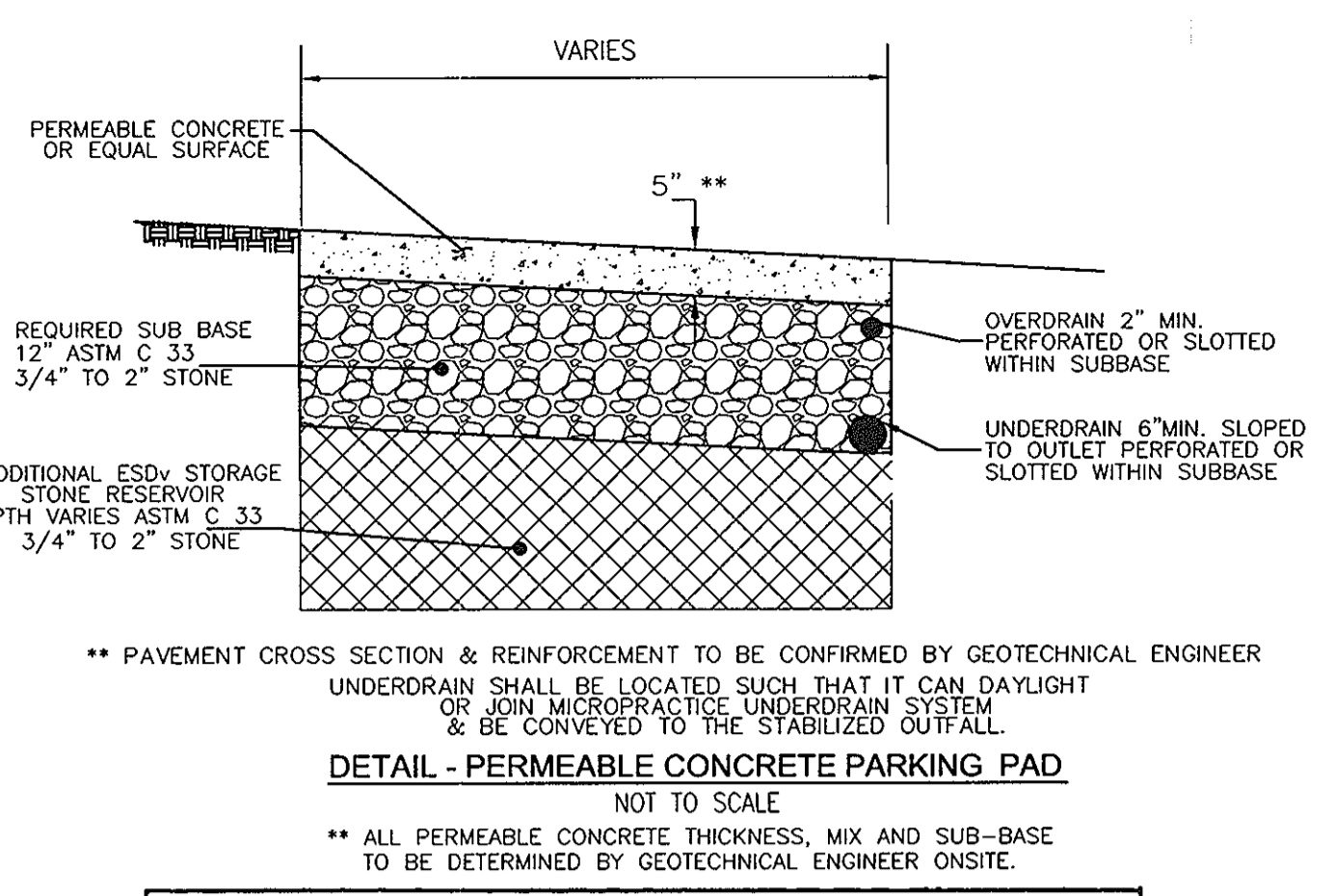


BIO SWALE

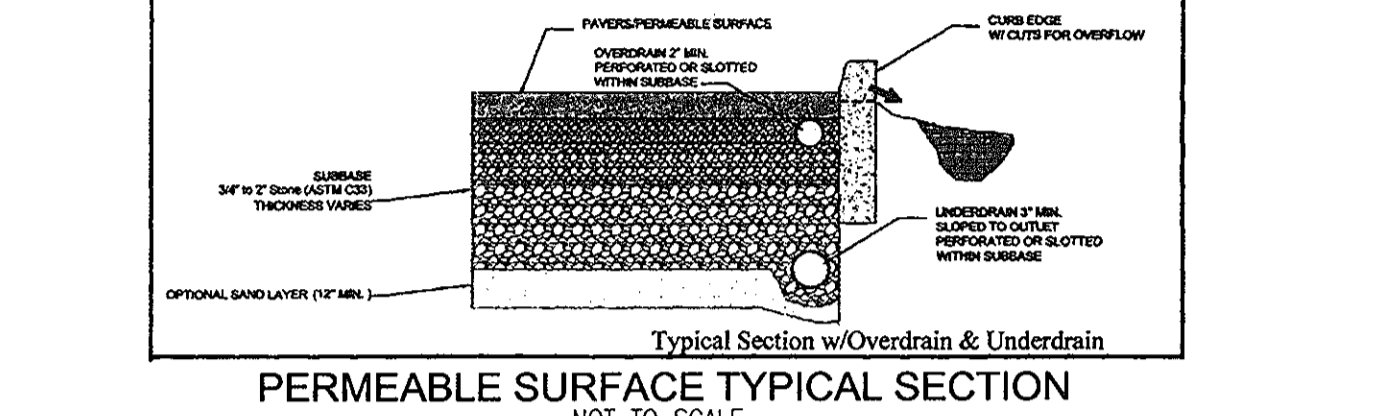
TYPICAL CROSS SECTION (NOT TO SCALE)

5. PLANT INSTALLATION
COMPOST IS A BETTER ORGANIC MATERIAL SOURCE, IS LESS LIKELY TO FLOAT, AND SHOULD BE PLACED IN THE INVERT AND OTHER LOW AREAS.

OPERATION AND MAINTENANCE SCHEDULE FOR MICROBIORETENTION BIO-SWALE AREAS
1. THE OWNER SHALL MAINTAIN THE PLANT MATERIAL, MULCH LAYER AND SOIL LAYER ANNUALLY.

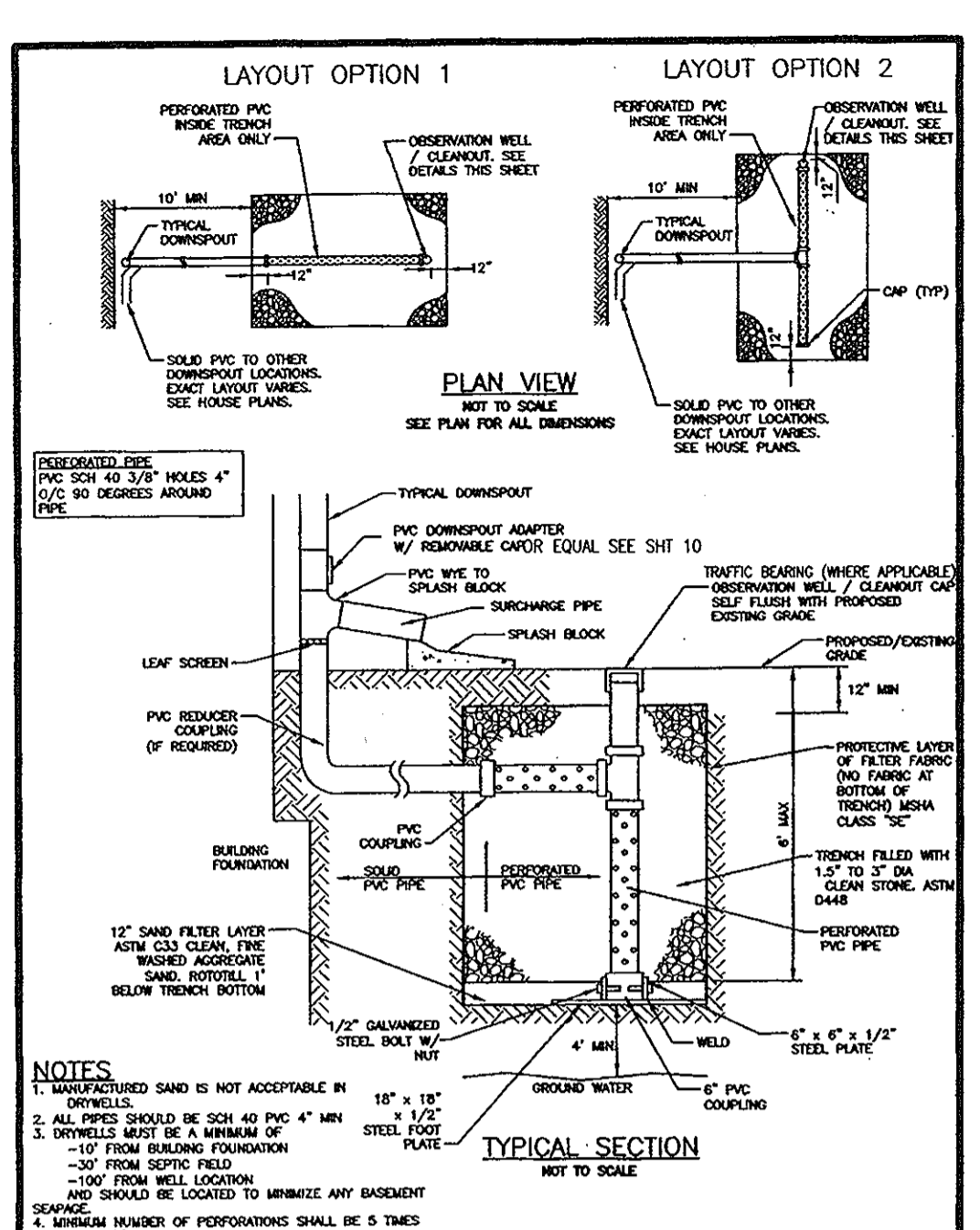


DETAIL - PERMEABLE CONCRETE PARKING PAD



PERMEABLE SURFACE TYPICAL SECTION

B.4.B SPECIFICATIONS FOR PERMEABLE PAVEMENTS & REINFORCED TURF
THESE SPECIFICATIONS INCLUDE INFORMATION ON ACCEPTABLE MATERIALS FOR TYPICAL APPLICATIONS AND ARE NOT EXCLUSIVE OR LIMITING.



OPERATION AND MAINTENANCE SCHEDULE FOR DRY WELLS
1. THE OWNER SHALL INSPECT THE MONITORING WELLS AND STRUCTURES ON A QUARTERLY BASIS AND AFTER EVERY HEAVY STORM EVENT.

Appendix B.4. Construction Specifications for Environmental Site Design Practices

Table B.4.1 Materials Specifications for Micro-Bioretention, Rain Gardens & Landscape Infiltration. Columns: Material, Specifications, Size, Notes.

Table showing SOILS LEGEND with columns for SYMBOL, NAME / DESCRIPTION, GROUP, Kw, HYDRIC/NOT HYDRIC.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION
CHIEF, DIVISION OF LAND DEVELOPMENT

Table titled 'AMERICAN PAVING FABRICS - ESDv COMPUTATIONS 3/2013' showing various data points for different paving fabric types.

NO ADDITIONAL INFILTRATION AREA IS PROPOSED BY THIS PLAN. PORTIONS OF THE EXISTING 'IMPERVIOUS AREA' SHALL BE COVERED TO GREEN AREA.

BUSHMAN BRT205 Round Tank advertisement featuring product details, dimensions, and contact information.

BUSHMAN RAIN HARVESTING SYSTEM OR EQUIVALENT RAIN BARREL DETAIL. Includes operation and maintenance schedule for dry wells.

AMERICAN PAVING FABRICS SITE DEVELOPMENT PLAN. Includes site map, notes, and contact information for Robert H. Vogel Engineering, Inc.

K:\PROJECTS\11-29\ENGR\DWG\EGD-04-SWM-DETAILS.rvt 15:00

NOTE:
FOR MICRO-BIO-RETENTION FACILITY
PLANTING DETAILS SEE SHEET 11.

LEGEND:

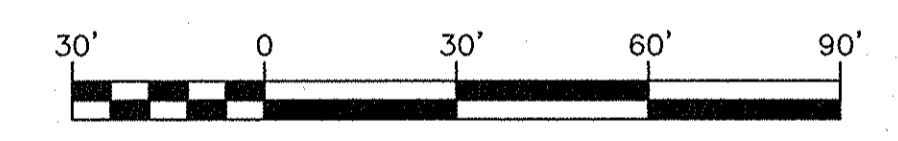
- EXISTING CONTOUR
- PROPOSED CONTOUR
- + 40.28 PROPOSED SPOT ELEVATION
- + 40.28 EXISTING SPOT ELEVATION
- ==== EXISTING CURB AND GUTTER
- ==== PROPOSED CURB AND GUTTER
- ⊙ EXISTING UTILITY POLE
- ⊙ EXISTING LIGHT POLE
- ⊙ EXISTING MAILBOX
- ⊙ EXISTING SIGN
- ⊙ EXISTING SANITARY MANHOLE
- ⊙ EXISTING SANITARY LINE
- ⊙ EXISTING CLEANOUT
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING WATER LINE
- ⊙ EXISTING FENCE
- ⊙ PROPERTY LINE
- ⊙ RIGHT-OF-WAY LINE
- ⊙ SOILS BOUNDARY
- M1B2 PROPOSED STORM DRAIN
- M1B3 PROPOSED STORM DRAIN INLET
- ⊙ PROPOSED LIGHT POLE
- ⊙ PROPOSED SHADE TREE
- ⊙ PROPOSED EVERGREEN TREE
- ⊙ PROPOSED SHRUBS
- ② LANDSCAPE PERIMETER
- ▨ PERMEABLE PAVING
- ▨ MICRO-BIO-RETENTION

- NOTES:**
- THE FOREST STAND & WETLAND ANALYSIS WAS COMPLETED BY ECO-SCIENCE PROFESSIONALS, INC. C/O MR. JOHN CANOLES, FEBRUARY 2012
 - THERE ARE NO WETLANDS OR STREAMS ON-SITE.
 - THE PROJECT SITE IS WITHIN THE PATAPSCO RIVER AREA WATERSHED DNR LISTING 02-13-09

FOREST CONSERVATION / FSD NOTES:

- SURROUNDING LAND USE IS COMMERCIAL / INDUSTRIAL
- NO FOREST RESOURCES ARE PRESENT ON THE SITE.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.

Eco-Science Professionals, Inc.
Consulting Ecologists
P.O. Box 5006 Glen Arm, Maryland 21057 Telephone (410) 832-3450 Fax (410) 832-3488



OWNER/DEVELOPER
AMERICAN PAVING FABRICS, INC.
6910 O'CONNOR DRIVE
HANOVER, MD 21076-1038
PHONE: (410) 796-5493

NO.	REVISION	DATE
1	RELOCATE STORAGE BUILDING	12/22/14

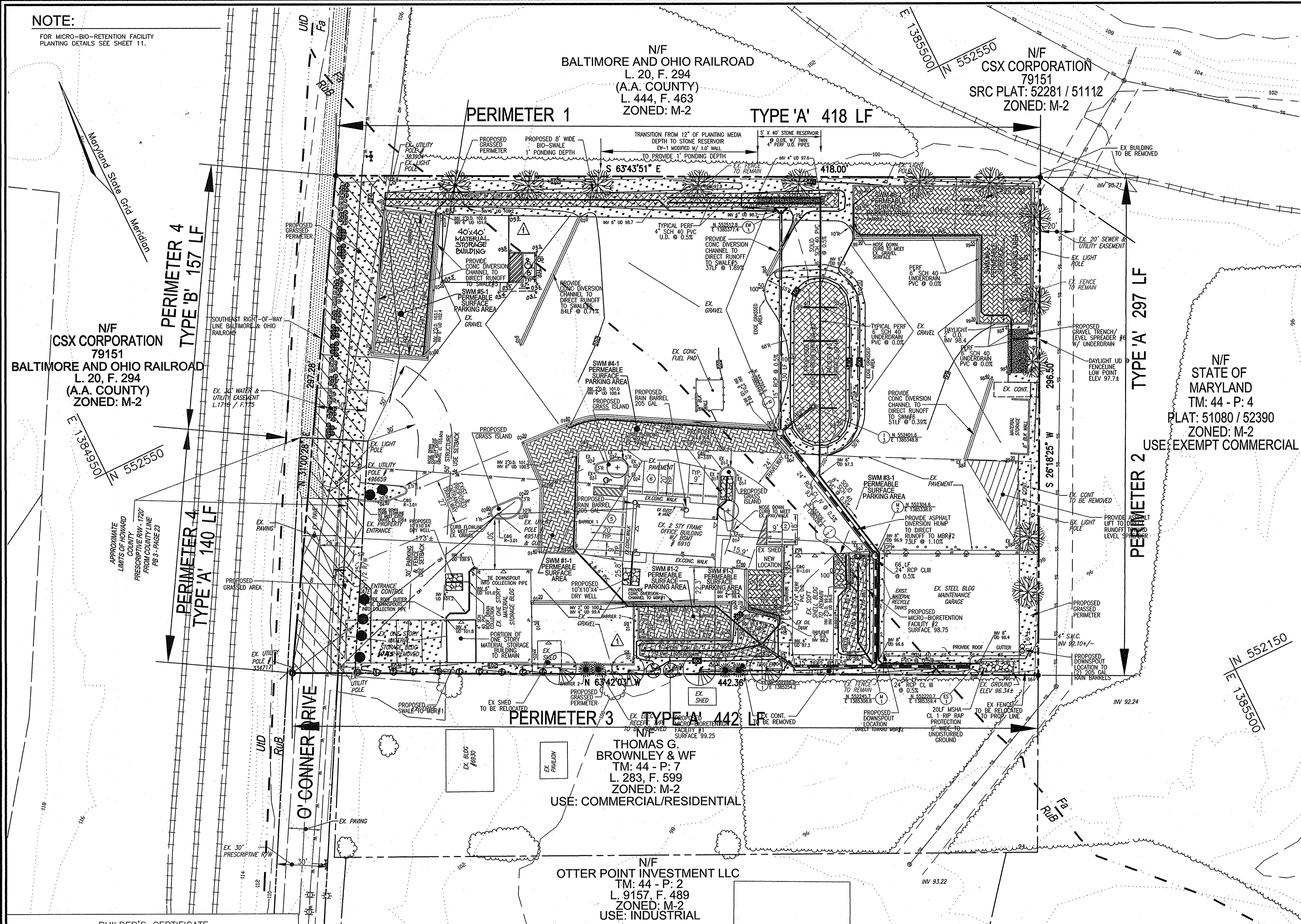
SITE DEVELOPMENT PLAN
LANDSCAPE PLAN
AMERICAN PAVING FABRICS
#6910 O'CONNOR DRIVE
L. 4724 / F. 102

1ST ELECTION DISTRICT TAX MAP: 44 GRID: 1 ZONED: M-2 HOWARD COUNTY, MARYLAND DPZ REF'S: SDP 88-70, ESP 12-037 PARCEL: 1

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET ELICOTT CITY, MD 21043 TEL: 410.461.7666 FAX: 410.461.8961

DESIGN BY: _____ EDS.
DRAWN BY: _____ EDS.
CHECKED BY: _____ RHV.
DATE: MARCH 2013
SCALE: AS SHOWN
W.O. NO.: 11-29

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: 09-27-2014



B G & E NOTES:

- THE LANDSCAPING ON WIREZONE (40' FROM BGE POLES) IS IN ACCORDANCE WITH BGE LIST OF TREES AND PLANTS.
- BGE RESERVES THE RIGHT TO TRIM, TOP OR CUT DOWN ANY TREE IN PROXIMITY TO THE LINE THAT IN THE OPINION OF BGE SHALL BE DEEMED A HAZARD TO THE SAFE AND RELIABLE DELIVERY OF ELECTRICITY.
- THE DEPARTMENT OF PLANNING AND ZONING MAY AUTHORIZE THE TRIMMING OR REMOVAL OF TREES OR VEGETATION IMMEDIATELY ADJACENT TO THE BGE R/W OR EASEMENT, IF BGE DETERMINES THE TREES ARE COMPROMISING THE SAFETY OR A TRANSMISSION LINE LOCATED WITHIN THEIR UTILITY R/W OR EASEMENT. IF BGE INTENDS TO TRIM OR REMOVE TREES WITHIN A FOREST CONSERVATION EASEMENT, A LETTER SPECIFYING THE LOCATION AND SCOPE OF WORK NEEDS TO BE SENT TO DPZ AT LEAST 30 DAYS IN ADVANCE OF UNDERTAKING THE WORK. DPZ UNDERSTANDS CONSTITUTIONAL ENERGY'S NEED TO PROTECT ITS TRANSMISSION LINES AND WILL NOT UNREASONABLY WITHHOLD PERMISSION.

SCHEDULE 'A' PERIMETER LANDSCAPE EDGE

CATEGORY	ADJACENT TO PERIMETERS AND ROADS					TOTAL
	1	2	3	4	5	
PERIMETER/FRONTAGE DESIGNATION	418	297	442	140	157	
LANDSCAPE TYPE						
LINEAR FEET OF ROADWAY FRONTAGE/PERMETER	418	297	442	140	157	
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET DESCRIBE BELOW IF NEEDED)	No	No	No	No	No	
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET DESCRIBE BELOW IF NEEDED)	418	297	442	140	157	
NUMBER OF PLANTS REQUIRED	1:60	7	1:60	8	1:50	4
SHADE TREES						27
EVERGREEN TREES						4
SHRUBS						
NUMBER OF PLANTS PROVIDED						
SHADE TREES	7	5	4	1	1	16
EVERGREEN TREES						6
EX. SHADE TREES						6
OTHER TREES (2:1 SUBSTITUTION)				10		80
SHRUBS (10:1 SUBSTITUTION)						80
DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED						

PLAN VIEW
SCALE: 1"=30'

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING

NUMBER OF EXISTING PARKING SPACES	15
REQUIRED PARKING SPACES @ 3.3 / 1000SF	7.8 OR 8
NUMBER OF PROPOSED PARKING SPACES	28
REQUIRED UNPAVED ISLAND @ 1 / 20 SPACE	2
NUMBER OF TREES REQUIRED	2
NUMBER OF TREES PROVIDED	2
SHADE TREES @ 1 / 20 SPACES	2
OTHER TREES (2:1 SUBSTITUTION)	0

AREAS DESIGNATED AS SUCH SHALL BE IMPROVED WITH TOPSOIL, SEED & MULCH AS DESCRIBED IN THE PERMANENT STABILIZATION NOTES FOUND ON SHEET 5 OF THIS PLAN SET.

LANDSCAPE SCHEDULE - REQUIRED PLANTING

KEY	QUAN.	BOTANICAL NAME	SIZE	CAT
4	4	ACER RUBRUM 'OCTOBER GLORY'	2.5" CAL	B & B
2	2	CRATAEGUS CRUSGALLI 'INERMIS'	2.5" CAL	B & B
12	12	QUERCUS RUBRA	2.5" - 3" CAL	B & B
4	4	LEX NELLIE R. STEVENS'	5-6" HT.	B & B
2	2	CUPRESSOCYPARIS LEYLANDI	5-6" HT.	B & B
6	6	LARRESTRROMIA INDICA	6-8" HT.	B & B
25	25	KALMIA LATIFOLIA	5 GALLON	CONT
25	25	JUNIPERUS CHINENSIS PRITERIANA COMPACTA	2' - 2-1/2' HGT	CONT
4	4	THUJA OCCIDENTALIS 'HETZI MIDGE'	2' - 2-1/2' HGT	CONT

FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$ 8,700 FOR THE REQUIRED 27 SHADE TREES (\$8,100) AND 4 EVERGREEN TREES (\$600)

BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION
CHIEF, DIVISION OF LAND DEVELOPMENT
DIRECTOR

SIGNATURE OF DEVELOPER: *Mark M. Hesse* DATE: 01/24/13
DATE: 10/1/13
DATE: 10/21/13
DATE: 02/24/13

**HOWARD COUNTY
FOREST CONSERVATION WORKSHEET**

ZONED M-2
NET TRACT AREA:
A. TOTAL TRACT AREA 2.93 AC.
B. AREA WITHIN 100 YEAR FLOODPLAIN 0.00 AC
C. AREA TO REMAIN IN AGRICULTURAL PRODUCTION 0.00 AC
D. NET TRACT AREA 2.93 AC

LAND USE CATEGORY
INPUT THE NUMBER "1" UNDER THE APPROPRIATE LAND USE ZONING, AND LIMIT TO ONLY ONE ENTRY. ZONED R-12
ARA MDR IDA HDR MPD CIA
0 0 0 0 0 1
E. AFFOREST THRESHOLD 15% X 2.93 = 0.44 AC
F. CONSERVATION THRESHOLD 15% X 2.93 = 0.44 AC

EXISTING FOREST COVER:
G. EXISTING FOREST COVER = 0.00 AC
H. AREA OF FOREST ABOVE AFFORESTATION THRESHOLD = 0.00 AC
I. AREA OF FOREST ABOVE CONSERVATION THRESHOLD = 0.00 AC

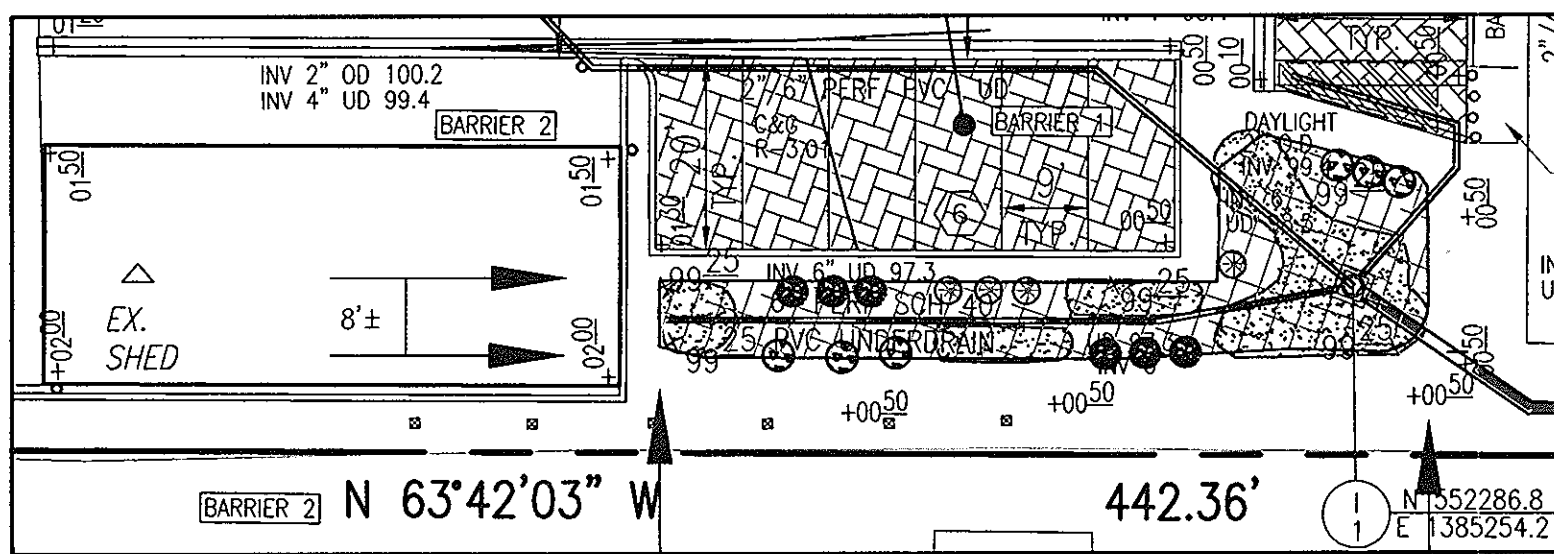
BREAK EVEN POINT:
(2 x I) + F = BREAK EVEN POINT (0 AC)
J. FOREST RETENTION WITH NO MITIGATION = 0.00 AC
K. CLEARING PERMITTED WITHOUT MITIGATION = 0.00 AC

PROPOSED FOREST CLEARING:
L. TOTAL AREA OF FOREST TO BE CLEARED = 0.00 AC
M. TOTAL AREA OF FOREST TO BE RETAINED = 0.00 AC

PLANTING REQUIREMENTS:
N. REFORESTATION FOR CLEARING ABOVE CONSERVATION THRESHOLD (L X.25) = 0.00 AC
O. REFORESTATION FOR CLEARING BELOW CONSERVATION THRESHOLD = 0.00 AC
P. CREDIT FOR RETENTION ABOVE CONSERVATION THRESHOLD (M-F) = 0.00 AC
R. TOTAL REFORESTATION REQUIRED (N+P-O) = 0.00 AC
S. TOTAL AFFORESTATION REQUIRED = 0.44 AC
T. TOTAL REFORESTATION AND AFFORESTATION REQUIRED = 0.44 AC

FOREST CONSERVATION EASEMENT HAVE BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY FOREST CONSERVATION MANUAL.
TOTAL FOREST CONSERVATION OBLIGATION: 0.44 ACRES (10.167 + 0.75 = \$14,375.00) FOR THIS PROJECT TO BE FULFILLED BY PAYMENT OF A FEE-IN-LIEU.

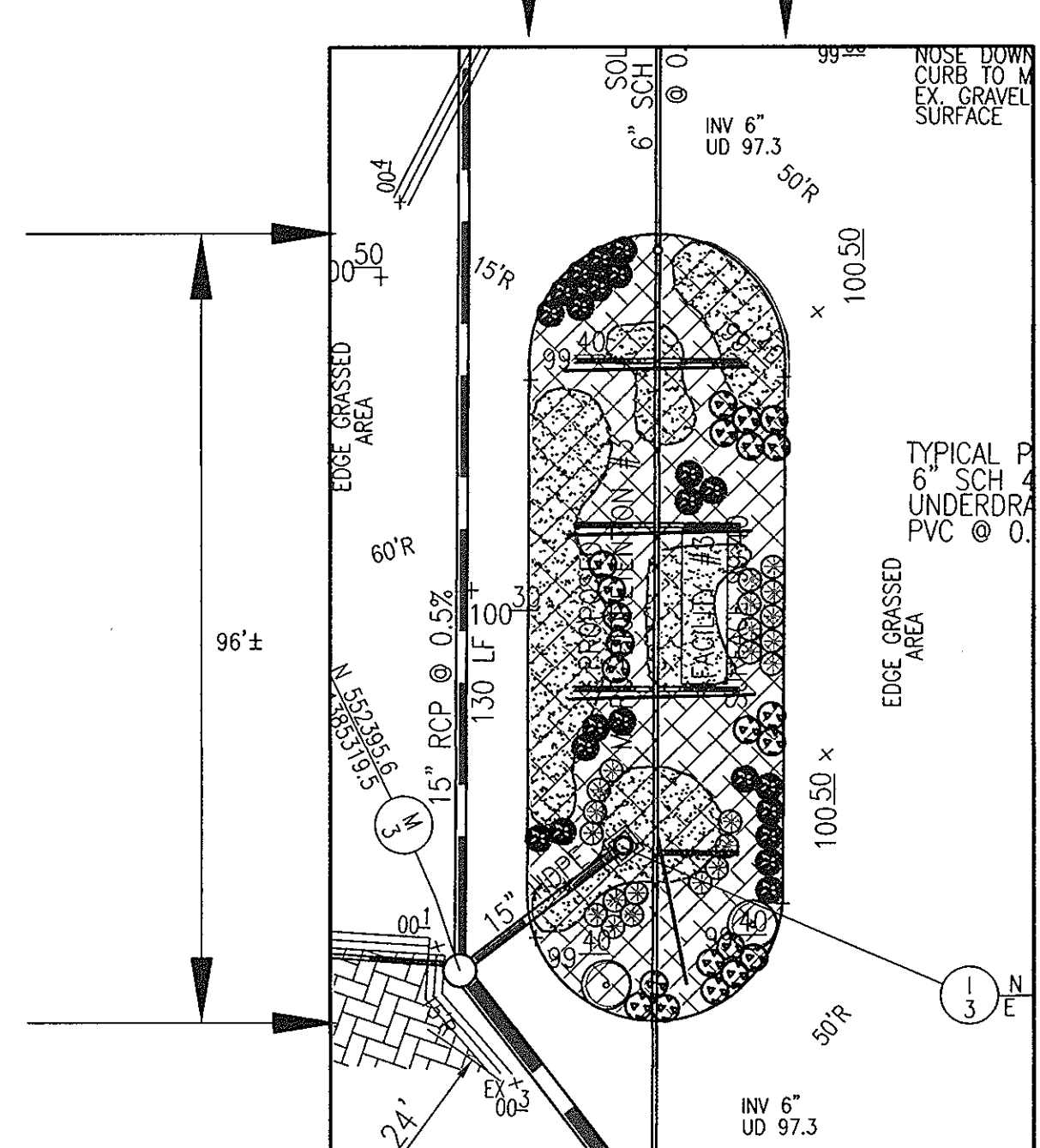
MICRO-BIORETENTION FACILITY #1
SCALE: 1"=20'



QTY	BOTANICAL NAME/COMMON NAME	SIZE	REMARKS
6	VIBURNUM TRILOBUM AMERICAN HIGHBUSH CRANBERRY	5 GALLON	CONT
4	KALMA LATIFOLIA MOUNTAIN LAUREL	5 GALLON	CONT
6	RHODODENDRON HY 'GLACIER' OR 'WHITE ROSEBUD' GLACIER OR WHITE ROSEBUD HYBRID AZALEA	3 GALLON	CONT
450	LIRIOPE MUSCARI 'MAJESTIC' MAJESTIC LILY TURF	2" POT	1' O.C.

900 SF X 75% X .0229 STEMS PER SQUARE FOOT = 15 PLANTS REQUIRED
17 PROVIDED

MICRO-BIORETENTION FACILITY #3
SCALE: 1"=20'



QTY	BOTANICAL NAME/COMMON NAME	SIZE	REMARKS
2	CLADRASTIS LUTEA 'SWEETSHADE' SWEETSHADE YELLOWWOOD	1 1/2"-2" CAL	B & B
22	VIBURNUM TRILOBUM AMERICAN HIGHBUSH CRANBERRY	5 GALLON	CONT
22	KALMA LATIFOLIA MOUNTAIN LAUREL	5 GALLON	CONT
22	RHODODENDRON HY 'GLACIER' OR 'WHITE ROSEBUD' GLACIER OR WHITE ROSEBUD HYBRID AZALEA	3 GALLON	CONT
1000	LIRIOPE MUSCARI 'MAJESTIC' MAJESTIC LILY TURF	2" POT	1' O.C.

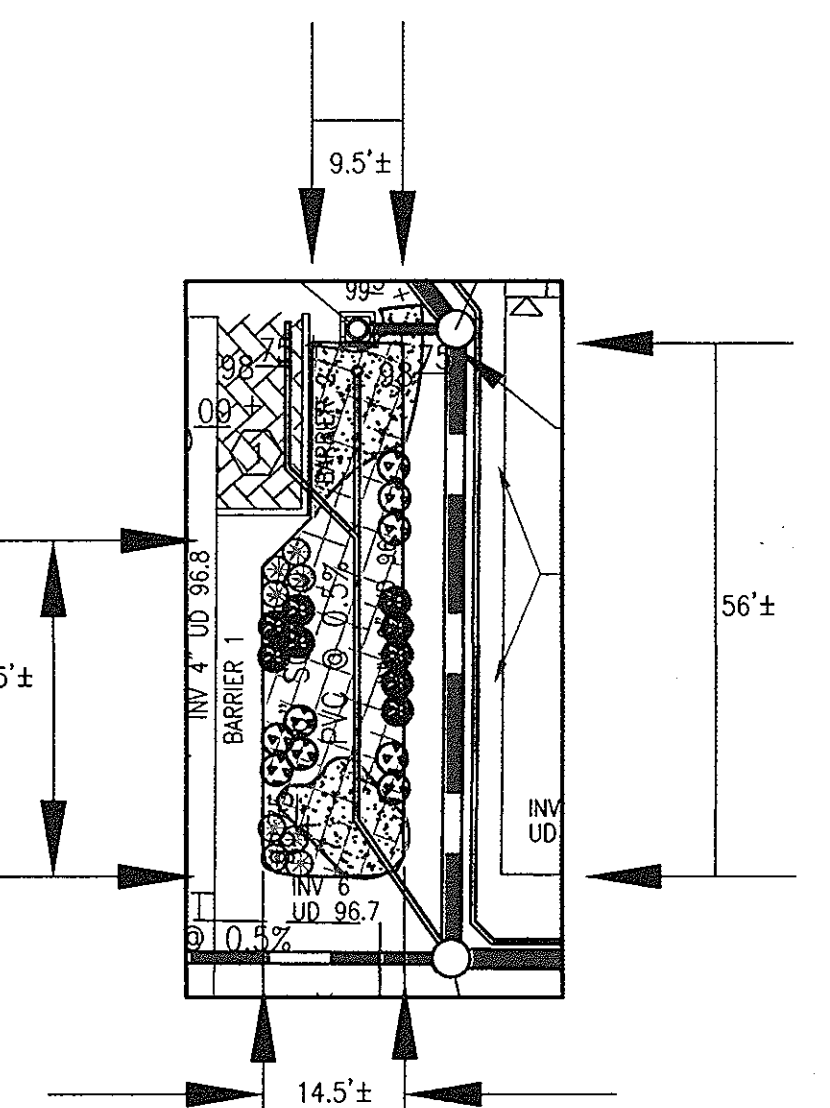
3,200 SF X 75% X .0229 STEMS PER SQUARE FOOT = 55 PLANTS REQUIRED
55 PROVIDED

"BIORETENTION" PLANTING SCHEDULE NOTES:

1. ALL PLANT MATERIALS SHALL BE FULL AND HEAVY, BE WELL FORMED AND SYMMETRICAL, CONFORM TO THE MOST CURRENT ANI SPECIFICATIONS AND BE INSTALLED IN ACCORDANCE WITH HOWARD COUNTY PLANTING SPECIFICATIONS.
2. CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
3. FINAL LOCATION OF PLANT MATERIAL MAY NEED TO VARY TO MEET FINAL FIELD CONDITIONS. TREES SHALL NOT BE PLANTED IN THE BOTTOM OF DRAINAGE SWALES.
4. CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO BIDDING. IF PLAN DIFFERS FROM LANDSCAPE SCHEDULE, THE PLAN SHALL GOVERN.
5. SEE SHEET FOR TYPICAL PLANTING SPECIFICATIONS AND DETAILS.
6. BIORETENTION/MICROBIORETENTION AREAS ARE TO BE PLANTED BASED ON A MINIMUM DENSITY OF 1000 STEMS PER PLANTED ACRE (0.229 STEMS PER SQUARE FOOT). ABOVE PLANTING RATIOS ARE TO BE APPLIED TO THE AREAS PROVIDED IN THE ESDV SUMMARY.

MBR	AREA	STEMS REQUIRED	STEMS PROVIDED
1	1,800 SF	31	31.5
2	1,800 SF	18	18
3	3,200 SF	65	65

BIORETENTION AREAS ARE TO BE PLANTED BASED ON A MINIMUM DENSITY OF 1000 STEMS PER PLANTED ACRE (0.229 STEMS PER SQUARE FOOT).



QTY	BOTANICAL NAME/COMMON NAME	SIZE	REMARKS
9	VIBURNUM TRILOBUM AMERICAN HIGHBUSH CRANBERRY	5 GALLON	CONT
8	KALMA LATIFOLIA MOUNTAIN LAUREL	5 GALLON	CONT
9	RHODODENDRON HY 'GLACIER' OR 'WHITE ROSEBUD' GLACIER OR WHITE ROSEBUD HYBRID AZALEA	3 GALLON	CONT
250	LIRIOPE MUSCARI 'MAJESTIC' MAJESTIC LILY TURF	2" POT	1' O.C.

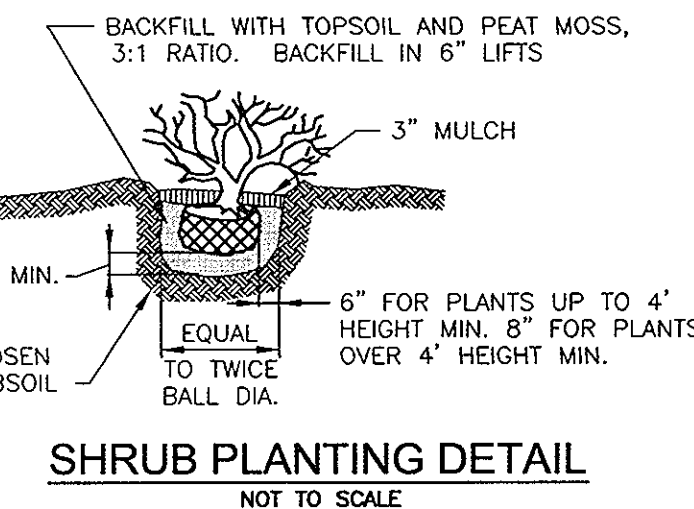
1,000 SF X 75% X .0229 STEMS PER SQUARE FOOT = 18 PLANTS REQUIRED
18 PROVIDED

GENERAL NOTES:

1. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. THE REQUIRED INTERNAL AND PERIMETER LANDSCAPING WILL BE BONDED PER THIS SUBMISSION.
2. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$8,700 FOR THE REQUIRED 27 SHADE TREES, 4 EVERGREEN TREES.
3. THE OWNER AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH LAND MATERIALS AND BERMS, FENCES & WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN APPLICABLE REGULATIONS, ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION AND WHEN NECESSARY, REPAIRED OR REPLACED.
4. AT THE TIME OF INSTALLMENT, ALL PLANTINGS HEREWITH LISTED & APPROVED FOR THIS SITE, SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPING MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW & APPROVAL FROM THE DEPARTMENT OF PLANNING & ZONING. ANY DEVIATION FROM THIS APPROVAL LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.

LANDSCAPE SCHEDULE NOTE:

1. ALL PLANT MATERIALS SHALL BE FULL AND HEAVY, BE WELL FORMED AND SYMMETRICAL, CONFORM TO THE MOST CURRENT ANI SPECIFICATIONS AND BE INSTALLED IN ACCORDANCE WITH HCD PLANTING SPECIFICATIONS.
2. CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
3. FINAL LOCATION OF PLANT MATERIAL MAY NEED TO VARY TO MEET FINAL FIELD CONDITIONS. TREES SHALL NOT BE PLANTED IN THE BOTTOM OF DRAINAGE SWALES.
4. CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO BIDDING. IF PLAN DIFFERS FROM LANDSCAPE SCHEDULE, THE PLAN SHALL GOVERN.



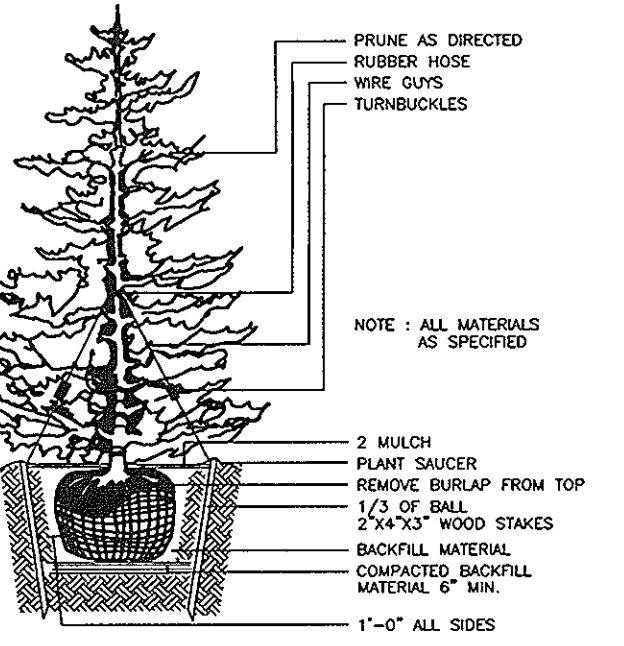
SHRUB PLANTING DETAIL
NOT TO SCALE

DEVELOPER'S/OWNER'S LANDSCAPE CERTIFICATE

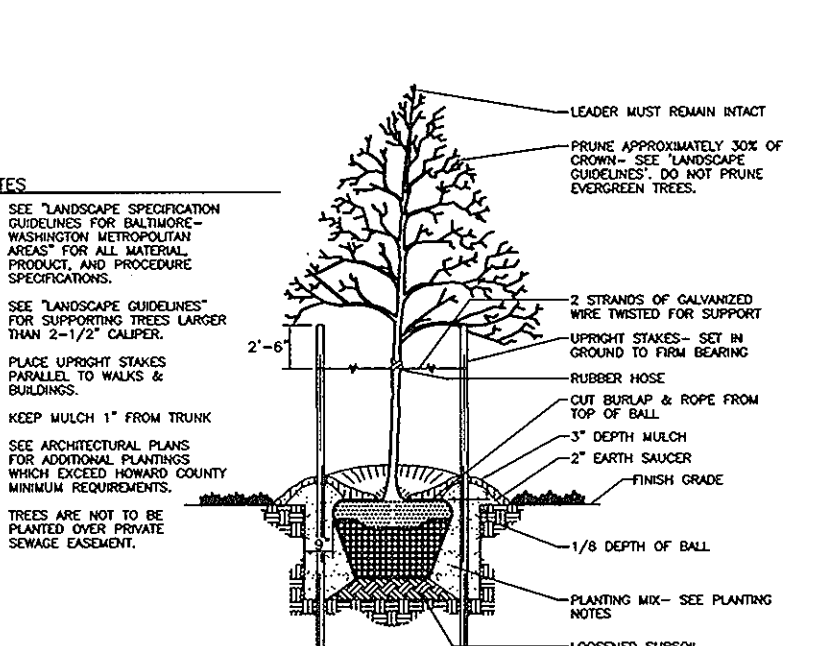
I/WE CERTIFY THAT LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION OF THE PROJECT, A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DEVELOPER'S/OWNER'S NAME: *Shaw B. M... [Signature]*

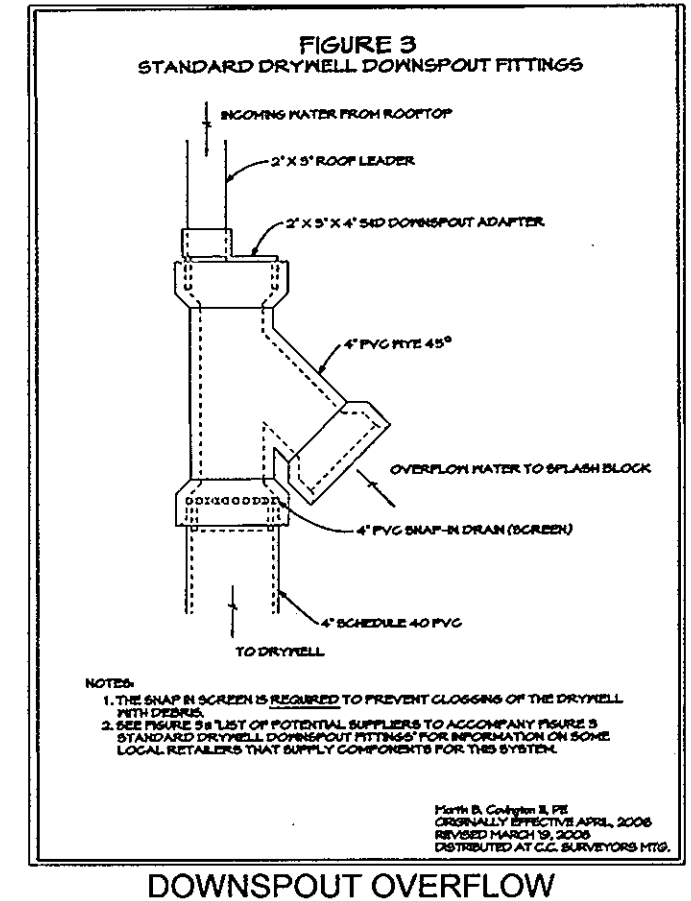
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION *[Signature]* DATE 10/11/13
CHIEF, DIVISION OF LAND DEVELOPMENT *[Signature]* DATE 10/24/13
DIRECTOR *[Signature]* DATE 11/23/13



TYPICAL EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE



TREE PLANTING AND STAKING
DECIDUOUS TREES UP TO 2-1/2" CALIPER
NOT TO SCALE



DOWNSPOUT OVERFLOW
1. PROVIDE ABOVE FITTING FOR ALL DOWNSPOUT FEEDING DRY WELLS

OWNER/DEVELOPER
AMERICAN PAVING FABRICS, INC.
6910 O CONNER DRIVE
HANOVER, MD 21076-1038
PHONE: (410) 796-5493

NO.	REVISION	DATE

**SITE DEVELOPMENT PLAN
BIORETENTION PLANTING PLAN
AND LANDSCAPING - NOTES AND DETAILS**

AMERICAN PAVING FABRICS
#6910 O CONNER DRIVE
L. 4724 / F. 102

1ST ELECTION DISTRICT
TAX MAP #4, GRID: 1
027 REF: SDP 88-70, ECP 12-037
HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET
ELLICOTT CITY, MD 21043
TEL: 410.461.7666
FAX: 410.461.8961

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193
EXPIRATION DATE: 09-27-2014

DESIGN BY: EDS
DRAWN BY: EDS
CHECKED BY: RHY
DATE: MARCH 2013
SCALE: AS SHOWN
W.O. NO.: 11-29

10 SHEET OF 10