

GENERAL NOTES

- THIS PROPERTY IS ZONED BR PER THE DECISION OF THE ZONING BOARD OF HOWARD COUNTY, MARYLAND, ZONING BOARD CASE NO. 1082M EFFECTIVE 03/24/2010 WHICH GRANTED THE RECLASSIFICATION OF SAID PROPERTY FROM RR-DEO (RURAL RESIDENTIAL-DENSITY EXCHANGE OPTION) TO THE BR (BUSINESS-RURAL) ZONING DISTRICT.
- BOUNDARY SHOWN HEREON IS BASED ON A BOUNDARY SURVEY PREPARED BY NJR & ASSOCIATES, DATED AUGUST 18, 2008, AND VERIFIED BY SILL, ADCOCK & ASSOCIATES, L.L.C. ON OR ABOUT JULY 1, 2011.
- TOPOGRAPHY IS BASED ON A FIELD PHOTOGRAPHICAL SURVEY PERFORMED BY NJR & ASSOCIATES, DATED AUGUST 18, 2008, AND VERIFIED BY SILL, ADCOCK & ASSOCIATES, L.L.C. ON OR ABOUT JULY 1, 2011. TOPOGRAPHY BEYOND LIMITS OF THE SITE, AND ADJACENT BUILDING LOCATIONS ARE SUPPLEMENTED BASED ON HOWARD COUNTY AERIAL TOPOGRAPHIC MAPS.
- COORDINATES BASED ON NAD 83 NAV88, MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 341A AND NO. 40BA.
 - ☉ DENOTES APPROXIMATE CONTROL STATION LOCATION (SEE VICINITY MAP).
- DPZ FILE NUMBERS: ZB NO. 1082, ECP-12-033, AA CASE NO. 12-011, BA-12-015V
- THERE ARE NO STEEP SLOPES, WETLANDS, FLOODPLAIN OR CEMETERIES WITHIN THE PROJECT BOUNDARY. BASED ON A FIELD INVESTIGATED NON-TIDAL WETLAND AND STREAM EVALUATION CONDUCTED BY SILL, ADCOCK, & ASSOCIATES, DATED AUGUST, 2011. NO WETLANDS OR STREAM SYSTEMS EXIST ON-SITE.
- THE EXISTING HOUSE TO REMAIN IS NOT ON THE HISTORIC SURVEY, BUT IS NOTED AS BEING BUILT IN 1880.
- EXISTING UTILITIES ARE LOCATED BY THE USE OF ANY OR ALL OF THE FOLLOWING: ROAD CONSTRUCTION PLANS, FIELD SURVEYS, PUBLIC WATER AND SEWER PLANS AND OTHER AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF THE EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTOR'S INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO THE CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- NO FOREST CONSERVATION AREAS ARE BEING CREATED ON-SITE. THIS PLAN COMPLIES WITH THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY PAYMENT OF A FEE-IN-LIEU OF 0.50 ACRES (21,780 SF) OF REFORESTATION IN THE AMOUNT OF \$20,850 (21,780 x \$95) WITH THE SUBMISSION OF THE ORIGINAL SDP.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES OR AGENCIES AT LEAST FIVE (5) WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE PLANS.

STATE HIGHWAY ADMINISTRATION	410.531.5533
BGE (CONTRACTOR SERVICES)	410.850.4620
BGE(UNDERGROUND DAMAGE CONTROL)	410.787.9068
MISS UTILITY	1.800.257.7777
COLONIAL PIPELINE COMPANY	410.795.1390
HOWARD COUNTY, DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES	410.313.4900
HOWARD COUNTY HEALTH DEPARTMENT	410.313.2640
AT&T	1.800.252.1133
VERIZON	1.800.743.0033 OR 410.224.2110

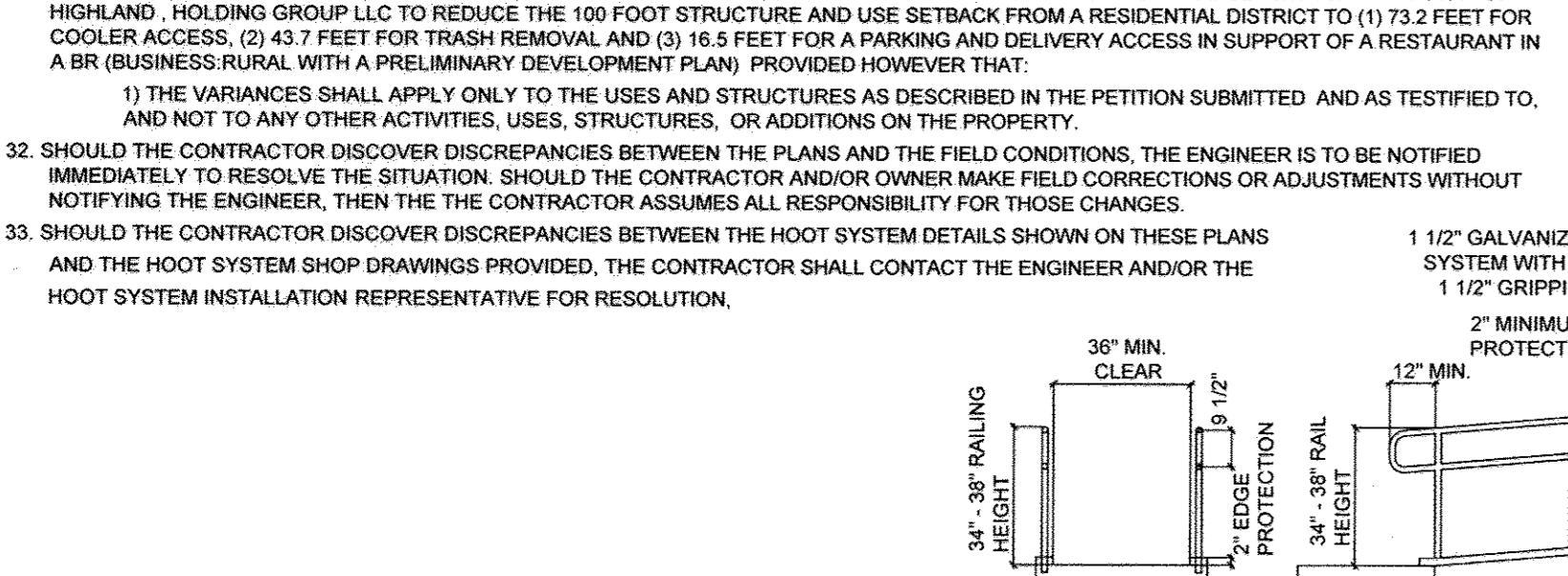
- THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING PERFORMED.
- ANY DAMAGE TO PUBLIC RIGHTS-OF-WAY, PAVING OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY IN ADDITION TO MARYLAND STATE HIGHWAY AUTHORITY STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN APPROVED.
- ALL HOPE PIPE SPECIFICATION AND INSTALLATION SHALL MEET ASHITO M-352 TYPE S, M-324 TYPE S AND ASTM M7321, RESPECTIVELY.
- SOIL COMPACTION SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE SOIL RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER, WHERE REQUIRED. DRIVEWAY PAVING TO BE HOWARD COUNTY STANDARD P-1 PAVING SECTION. GEOTECHNICAL ENGINEER TO CONFIRM ACCEPTABILITY OF PROPOSED PAVING SECTION, BASED ON TEST, PRIOR TO CONSTRUCTION.
- ESTIMATES OF EARTHWORK QUANTITIES ARE PROVIDED SOLELY FOR THE PURPOSE OF CALCULATING FEES.
- ALL TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- STORMWATER MANAGEMENT FOR THIS PROPERTY WILL BE PROVIDED IN ACCORDANCE WITH THE 2000 MARYLAND STORMWATER DESIGN MANUAL VOLUMES I AND II, AS AMENDED BY THE MARYLAND STORMWATER ACT OF 2007. WATER QUALITY OBLIGATIONS WILL BE MET WITHIN THE THREE BIOTRETENTION FACILITIES PROPOSED ON THIS PLAN. ALL STORMWATER MANAGEMENT FACILITIES SHALL BE PRIVATELY OWNED AND MAINTAINED.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MAINT. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPERS AGREEMENT IN THE AMOUNT OF \$9,360 FOR THE REQUIRED LANDSCAPING (12 SHADE TREES AT \$300 EACH, 36 EVERGREEN TREES AT \$150 EACH, 2 SHRUBS AT \$30 EACH).
- THIS PROPERTY WAS SUBJECT TO ZONING PETITION 1082M WHICH GRANTED THE PETITIONERS REQUEST FOR RECLASSIFICATION OF THE 3.06 ACRE SUBJECT PROPERTY FROM THE RR-DEO TO THE BR ZONING DISTRICT BASED ON THE DEVELOPMENT PROPOSED ON THE PETITIONERS PROPOSED PRELIMINARY DEVELOPMENT PLAN, SUBMITTED AS PART OF THE ZONING PETITION ZB 1082M WAS GRANTED, AS STATED IN THE DECISION AND ORDER SIGNED MARCH 24, 2010 SUBJECT TO THE FOLLOWING PROVISIONS/CONDITIONS:
 - THE RESTAURANT USE'S HOURS OF OPERATION FOR LUNCH AND DINNER ONLY SHALL BE LIMITED TO A CLOSING TIME OF MIDNIGHT, SEVEN DAYS A WEEK BASED ON FINDING OF FACT 12 AND CONCLUSION OF LAW 2b.
 - THE RESTAURANT USE'S OUTSIDE AMPLIFIED SOUND SHALL NOT BE PERMITTED MONDAY THROUGH THURSDAY AND SHALL BE LIMITED TO NOON TO 11 P.M. IN FRIDAY AND SATURDAY AND NOON TO 8 P.M. ON SUNDAY BASED ON FINDING OF FACT 12 AND CONCLUSION OF LAW 2b.
 - IF ANY REQUIRED VARIANCES ACCORDING TO PETITIONER'S PROPOSED PDP ARE NOT GRANTED, PETITIONER WILL BE REQUIRED TO PRESENT ANY SUBSTANTIAL CHANGES TO ITS PDP SUBMITTED TO AVOID THE NECESSITY FOR VARIANCES TO THE BOARD FOR ITS DECISION BASED ON FINDING OF FACT 13, AND
 - THE PETITIONER, IF FEASIBLE AND IF PERMITTED BY COUNTY REGULATIONS, SHALL COOPERATE WITH THE COUNTY TO PROVIDE A CONTINUOUS PATHWAY/SIDEWALK THROUGH THE SUBJECT PROPERTY ALONG HIGHLAND ROAD FOR PUBLIC USE BASED ON FINDING OF FACT 4, 7 AND 14.

- THE HOUSE/RESTAURANT IS AN EXISTING NON-CONFORMING STRUCTURE AND ALL ADDITIONS TO THE BUILDING MUST COMPLY WITH THE SETBACKS ESTABLISHED WITH THE BR ZONING DISTRICT OR OTHERWISE APPROVED BY THE PUBLIC ADMINISTRATION AND ZONING ADMINISTRATION DIVISION THROUGH A VARIANCE OR ADMINISTRATIVE ADJUSTMENT, WHICHEVER IS MORE APPROPRIATE PER THE ZONING REGULATIONS. (SEE GENERAL NOTE 30)
- OUTDOOR EVENTS ARE NOT PERMITTED WITHOUT AN AMENDMENT TO THE PRELIMINARY DEVELOPMENT PLAN FOR THE EXPANDED USE, AND WITH PROVISIONS TO MEET SETBACK REQUIREMENTS.
- THAT PORTION OF THE EXISTING PATIO 440 SF THAT IS WITHIN THE 100 FOOT USE AND SETBACK SHALL NOT BE USED FOR SEATING OR ANY OTHER RESTAURANT USES UNTIL SUCH TIME AS AN ADMINISTRATIVE ADJUSTMENT HAS BEEN APPROVED. AN ADMINISTRATIVE ADJUSTMENT FOR THE EXISTING PATIO HAS BEEN APPLIED FOR. (SEE GENERAL NOTE 30)
- ALL PROPOSED OUTDOOR SITE LIGHTING WILL BE IN CONFORMANCE WITH SECTION 134 OF THE ZONING REGULATIONS.
- THE DIRECTOR OF PLANNING AND ZONING HAS DETERMINED THAT SECTION 128 A.7 OF THE ZONING REGULATIONS APPLIES TO THE SUBJECT PROPERTY AND IN THIS CASE HAS INTERPRETED SECTION 128 A.7 TO INCLUDE THE BR ZONING DISTRICT SINCE IT IS A FLOATING COMMERCIAL DISTRICT THAT IS ONLY ESTABLISHED THROUGH THE ZONING PROCESS AND THE SUPPLEMENTARY HIGHLAND BR IS CLEARLY INTENDED FOR ALL COMMERCIAL ZONED PROPERTY IN THE HIGHLAND COMMERCIAL CROSSROADS AREA. THE HIGHLAND SETBACK SHALL BE SHOWN ON THE PLAN ALONG THE FRONT OF THE PROPERTY, AND IT SHALL BE LOCATED 10' FROM THE ULTIMATE-RIGHT-OF-WAY LINE. THE NEWLY ENCLOSED PORCH IS SAFELY WITHIN THE SETBACK AND NO VARIANCE IS REQUIRED.
- THE MAXIMUM SEATING FOR THIS RESTAURANT PER THE FINDING OF FACTS, AS STATED IN THE DECISION AND ORDER, ZB 1082 SIGNED MARCH 24, 2010, IS LESS THAN 100 SEATS AND ANY INCREASE REQUIRES AN AMENDMENT TO THE PRELIMINARY DEVELOPMENT PLAN. IT SHOULD BE NOTED THAT THE MAXIMUM SEATING ALLOWED PER THIS SDP MAY DIFFER FROM THE MAXIMUM OCCUPANCY THAT IS DESIGNATED BY OTHER AGENCIES, SUCH AS DFP, DFRS, AND HEALTH.
- THE PLANNING AND ZONING DIRECTOR HAS DETERMINED THE ADDITION OF A SIDEWALK FROM THE ROAD RIGHT-OF-WAY TO THE INTERNAL SIDEWALK AS A FULFILLMENT OF CONDITION #4 IN THE DECISION AND ORDER AND THAT A SIDEWALK CONNECTING THROUGH TO ADJOINING PROPERTIES WILL BE REVISITED AS HIGHLANDS CROSSROADS REDEVELOPS AND AS FUTURE PLANS FOR THIS SITE ARE SUBMITTED.
- BASED UPON THE FINDINGS OF FACT AND CONCLUSIONS OF LAW CONCERNING AA CASE NO. 12-011, IT WAS THE DECISION OF THE DIRECTOR OF THE DEPARTMENT OF PLANNING AND ZONING FOR HOWARD COUNTY ON SEPTEMBER 14TH, 2012 THAT THE PETITION OF THE HIGHLAND HOLDING GROUP, LLC FOR AN ADMINISTRATIVE ADJUSTMENT FROM SECTION 117.1F.13 OF THE ZONING REGULATIONS TO REDUCE THE 100 FOOT STRUCTURE AND USE SETBACK FROM A RESIDENTIALLY ZONED PROPERTY TO APPROXIMATELY 84.5 FEET FOR THE COMMERCIAL USE OF AN OUTDOOR PATIO FOR A RESTAURANT USE, AND TO APPROXIMATELY 80 FEET FOR AN EXISTING ENCLOSED DECK WAS GRANTED SUBJECT TO THE FOLLOWING CONDITIONS:
 - THE PETITIONER SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND COUNTY LAWS AND REGULATIONS.
 - THE GRANTED ADMINISTRATIVE ADJUSTMENT SHALL APPLY SOLELY TO THE PROPOSED PATIO AND ENCLOSED DECK AS DEPICTED ON THE ADMINISTRATIVE ADJUSTMENT PLAN SUBMITTED BY THE PETITIONER AND NOT TO ANY OTHER STRUCTURE, ADDITION, BUILDING OR USE.
 - THIS DECISION AND ORDER SHALL BE MAINTAINED IN THE OWNERS' PROPERTY RECORDS AND SHALL BE TRANSFERRED TO ANY SUCCEEDING OWNERS OF THE PROPERTY.

- ON SEPTEMBER 19TH, 2012, THE HOWARD COUNTY BOARD OF APPEALS HEARING ENGINEER GRANTED THE VARIANCE PETITION BA-12-015V OF HIGHLAND HOLDING GROUP LLC TO REDUCE THE 100 FOOT STRUCTURE AND USE SETBACK FROM A RESIDENTIAL DISTRICT TO (1) 73.2 FEET FOR COOLER ACCESS, (2) 43.7 FEET FOR TRASH REMOVAL AND (3) 16.5 FEET FOR A PARKING AND DELIVERY ACCESS IN SUPPORT OF A RESTAURANT IN A BR (BUSINESS-RURAL) WITH A PRELIMINARY DEVELOPMENT PLAN PROVIDED HOWEVER THAT:
 - THE VARIANCES SHALL APPLY ONLY TO THE USES AND STRUCTURES AS DESCRIBED IN THE PETITION SUBMITTED AND AS TESTIFIED TO, AND NOT TO ANY OTHER ACTIVITIES, USES, STRUCTURES, OR ADDITIONS TO THE PROPERTY.
- SHOULD THE CONTRACTOR DISCOVER DISCREPANCIES BETWEEN THE PLANS AND THE FIELD CONDITIONS, THE ENGINEER IS TO BE NOTIFIED IMMEDIATELY TO RESOLVE THE SITUATION. SHOULD THE CONTRACTOR AND/OR OWNER MAKE FIELD CORRECTIONS OR ADJUSTMENTS WITHOUT NOTIFYING THE ENGINEER, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR THOSE CORRECTIONS.
- SHOULD THE CONTRACTOR DISCOVER DISCREPANCIES BETWEEN THE HOOT SYSTEM DETAILS SHOWN ON THESE PLANS AND THE HOOT SYSTEM SHOP DRAWINGS PROVIDED, THE CONTRACTOR SHALL CONTACT THE ENGINEER AND/OR THE HOOT SYSTEM INSTALLATION REPRESENTATIVE FOR RESOLUTION.

- APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS
 COUNTY HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT
 DATE: 7/19/13
 SIGNATURE: [Signature]
- APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 7/25/13
 SIGNATURE: [Signature]
- CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 7/29/13
 SIGNATURE: [Signature]
- DATE: 7-30-13
 SIGNATURE: [Signature]

NO.	DESCRIPTION	DATE

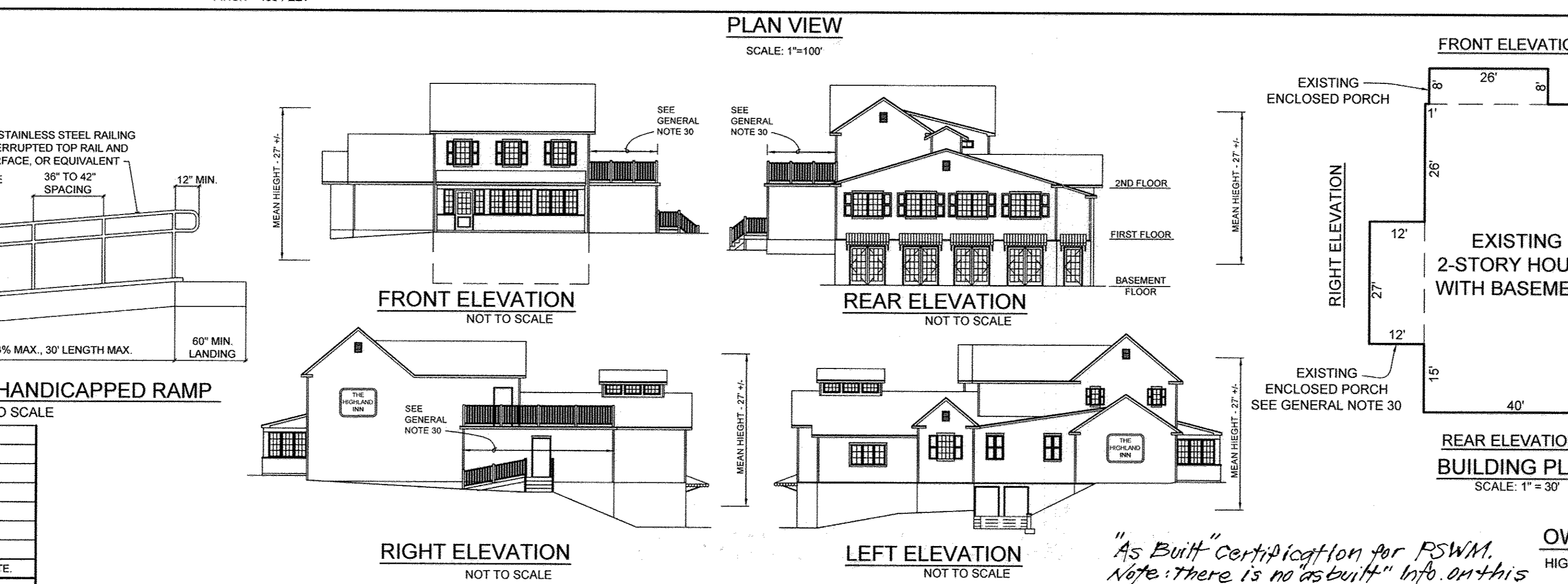
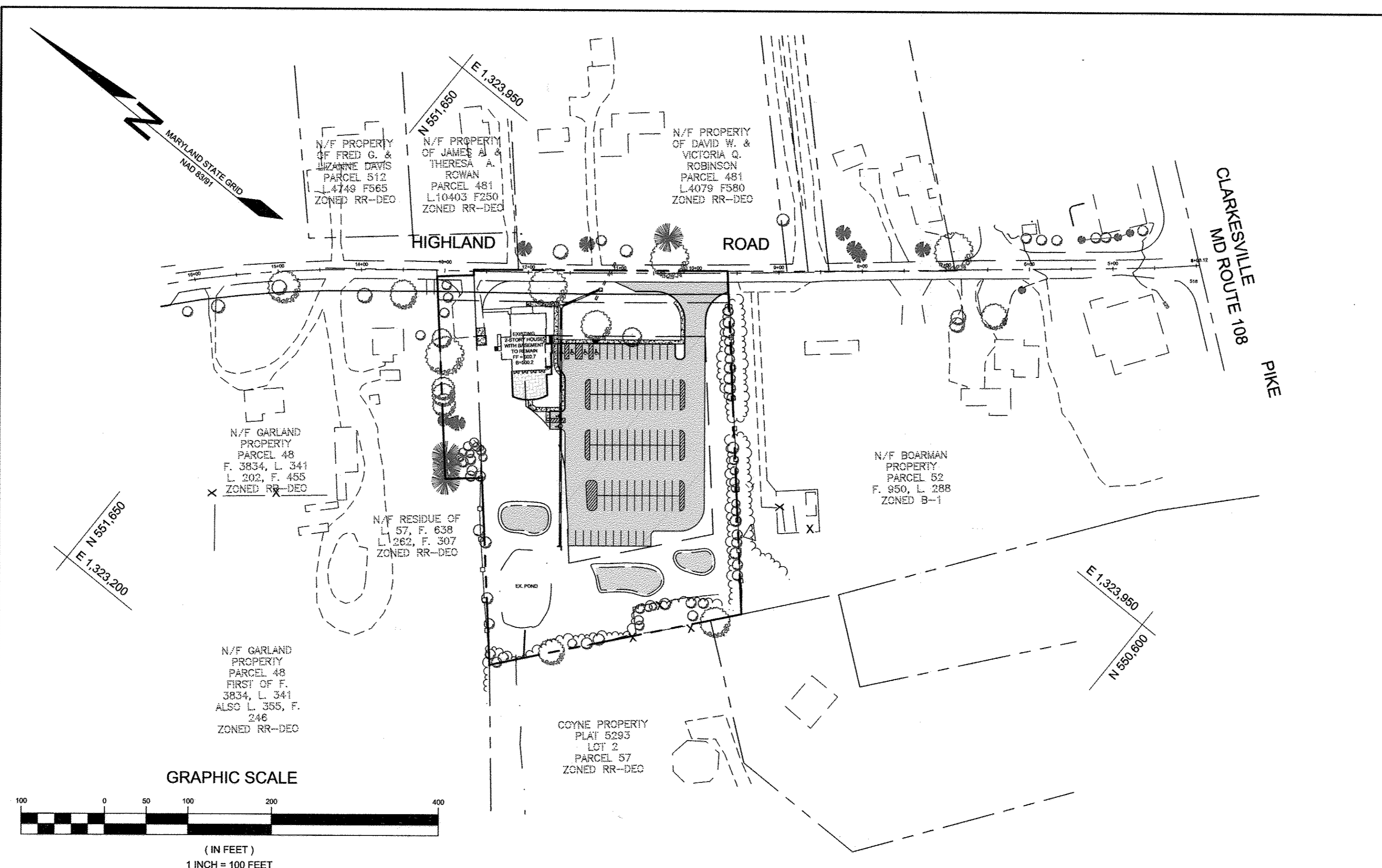


NO.	DESCRIPTION	DATE

SITE DEVELOPMENT PLAN

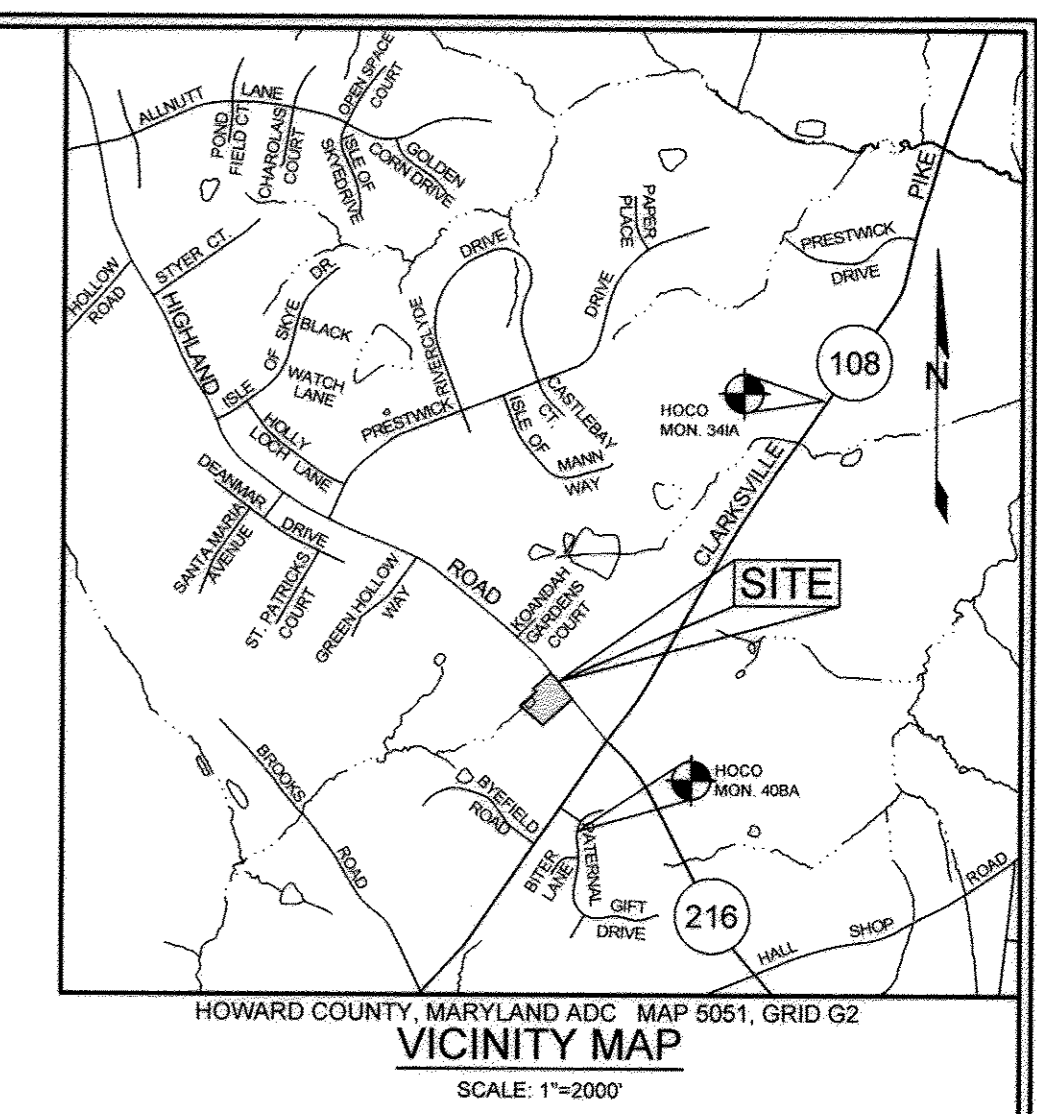
THE HIGHLAND INN RESTAURANT

12857 HIGHLAND ROAD, HIGHLAND.
HOWARD COUNTY, MARYLAND



LEGEND

- EXISTING CONTOUR: - - - - - 382
- PROPOSED CONTOUR: - - - - - 382
- EXISTING SPOT ELEVATION: 382.3
- PROPOSED SPOT ELEVATION: 382.3
- DIRECTION OF FLOW: (Arrow pointing right)
- EXISTING TREELINE: (Wavy line)



BENCHMARKS

NUMBER	NORTHING	EASTING	ELEVATION	DESCRIPTION
341A	555,271.9118	1,325,838.7097	471.875'	MD RTE 108, 1/2 MILE NE OF HIGHLAND ROAD
40BA	549,925.1053	1,324,025.0998	533.943'	PATERNAL GIFT DRIVE, HIGHLAND

SHEET INDEX

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	AMENDED PERC CERT AND SITE DEVELOPMENT PLAN, NOTES AND DETAILS
3	GRADING, SEDIMENT AND EROSION CONTROL PLAN AND DETAILS
4	FORCE MAIN PROFILE, SEDIMENT AND EROSION CONTROL DETAILS AND NOTES
5	STORM DRAIN DRAINAGE AREA MAP AND PROFILE, BIOTRETENTION FACILITY PLANTING PLANS, NOTES AND DETAILS
6	LANDSCAPE AND FOREST CONSERVATION PLAN, NOTES AND DETAILS
7	AMENDED PERC CERT PLAN, SEPTIC DESIGN NOTES AND DETAILS
8	SEPTIC TREATMENT SYSTEM NOTES AND DETAILS
9	SEPTIC TREATMENT SYSTEM NOTES AND DETAILS
10	SITE LIGHTING PLAN, NOTES AND DETAILS

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION / AREA	PARCEL #
N/A	N/A	50

PLAT	GRID #	ZONING	TAX MAP #	ELECT. DIS.	CENSUS TRACT
N/A	4	BR	40	5TH	6051.03

ADDRESS CHART

PARCEL	STREET ADDRESS
50	12857 HIGHLAND ROAD, HIGHLAND MD. 20777

PARKING TABULATION CHART

USE	AREA	PARKING RATIO	REQUIRED	PROVIDED
RESTAURANT	6,863 SF±	14 SPACES / 1000 SF	96.08	97

FLOOR SPACE USE CHART

USE	LOWER FLOOR AREA	FIRST FLOOR AREA	SECOND FLOOR AREA	PATIO AREA	TOTAL FLOOR AREA
RESTAURANT	1,616 SF±	2,916 SF±	991 SF±	1,340 SF±	6,863 SF±

* TOTAL AREA OF EXISTING PATIO
 ** AREA OF ENCROACHMENT - SEE GENERAL NOTE #25

SITE ANALYSIS DATA CHART

TOTAL PROJECT AREA	AREA OF SUBMISSION	DISTURBED AREA (LOD)	PRESENT ZONING
3,308.2 AC± or 144,105 s.f.	3,308.2 AC± or 144,105 s.f.	1.42, AC ±	BR

PROPOSED USE	FLOOR SPACE PER USE	TOTAL UNITS ALLOWED	TOTAL UNITS PROPOSED
COMMERCIAL-RESTAURANT	SEE CHART THIS SHEET	N/A	0
MAX. # EMPLOYEES	PARKING SPACES REQ.	PARKING SPACES PROV.	HC SPACES PROVIDED
N/A	97	97	6

OPEN SPACE REQUIRED	OPEN SPACE PROVIDED	REC. O.S. REQUIRED	REC. O.S. PROVIDED
N/A	N/A	N/A	N/A

BUILDING COVERAGE	FLOOR AREA RATIO	DPZ FILE REFERENCES
0.158AC (0.048% OF SITE)	NA	ZM NO. 1082M, ECP-12-033, AA NO. 12-011, BOA NO. 12-015V

MAX. NO. OF SEATS ALLOWED: 99

* THE MAXIMUM NUMBER OF SEATS APPROVED UNDER ZB1082M IS 99 - SEE GENERAL NOTE 28

COVER SHEET

THE HIGHLAND INN RESTAURANT

12857 HIGHLAND ROAD, HIGHLAND, MD 20777

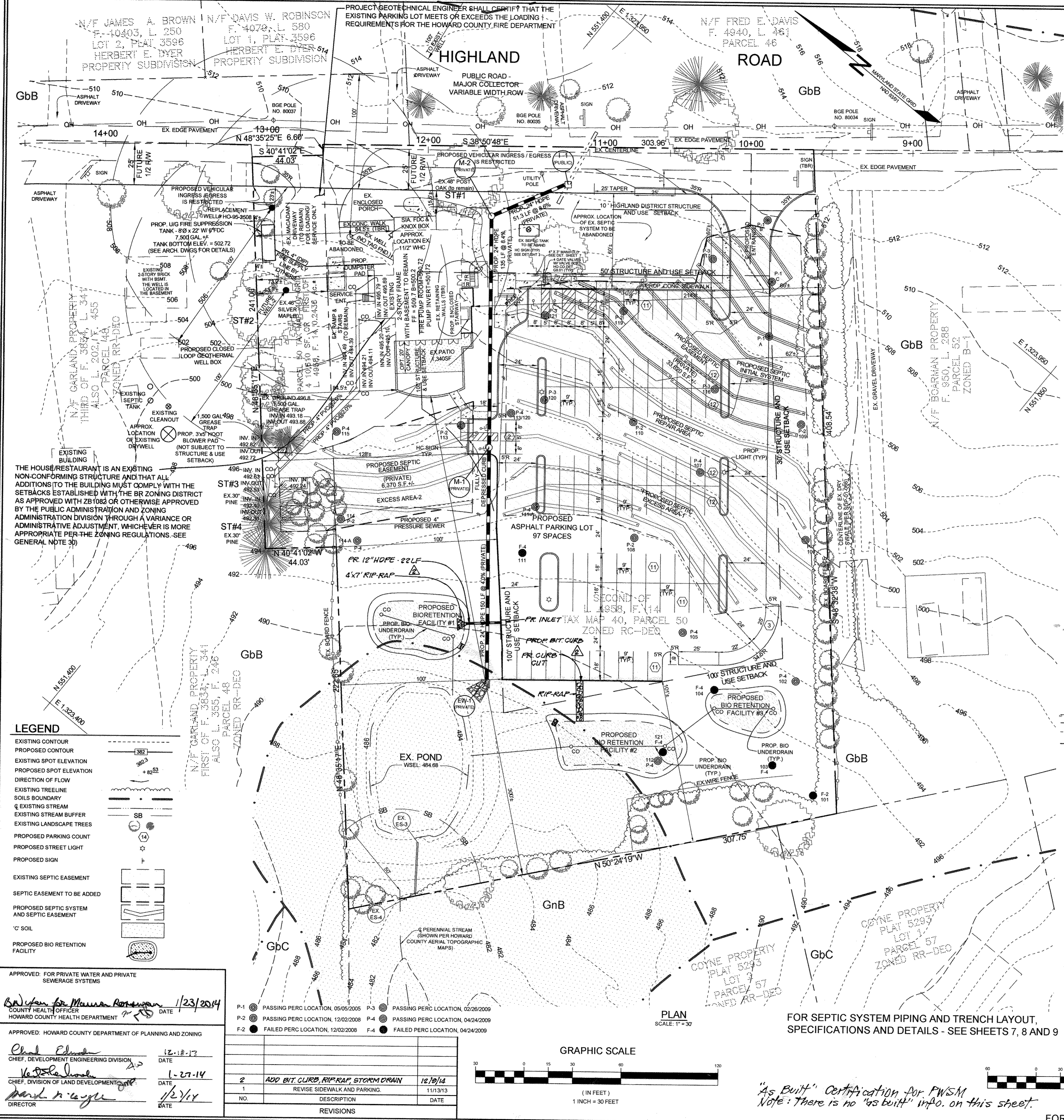
PREVIOUS HOWARD COUNTY FILE NO. S. ZB NO. 1082M, ECP-12-033, AA CASE NO. 12-011, TAX MAP 40 GRID 4, BOA NO. 12-015V.

PARCEL 50, ZONED BR 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

Sill · Adcock & Associates · LLC
 Engineers · Surveyors · Planners
 3300 North Ridge Road, Suite 160
 Elkton City, Maryland 21043
 Phone: 443.325.7682 Fax: 443.325.7685
 Email: info@silladcock.com

DESIGN BY: JH
 DRAWN BY: JH
 CHECKED BY: PS
 SCALE: AS SHOWN
 DATE: JULY 1, 2013
 PROJECT #: 09-076
 SHEET # 1 of 10

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 30225, EXPIRATION DATE: JUNE 20, 2015

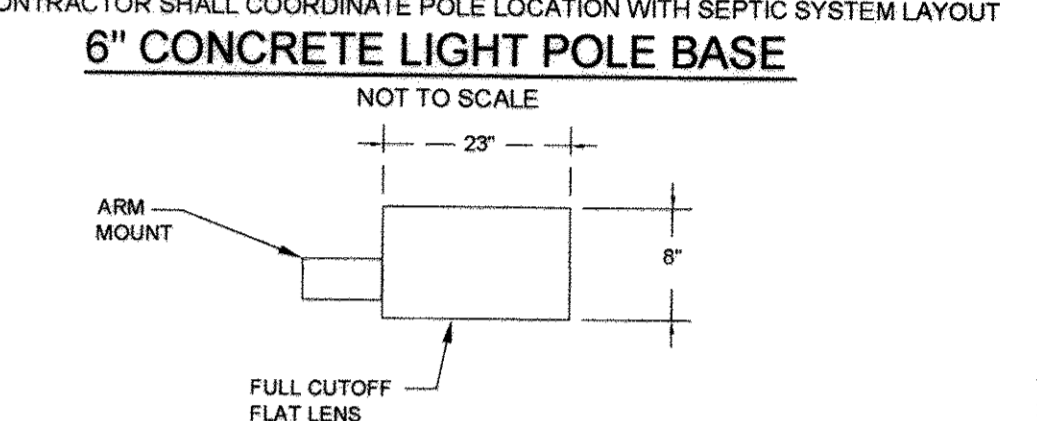
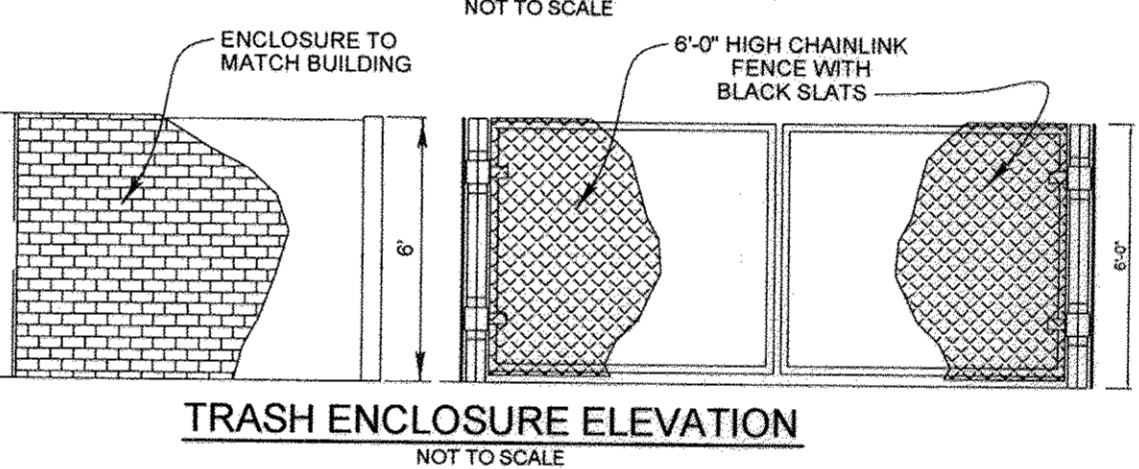
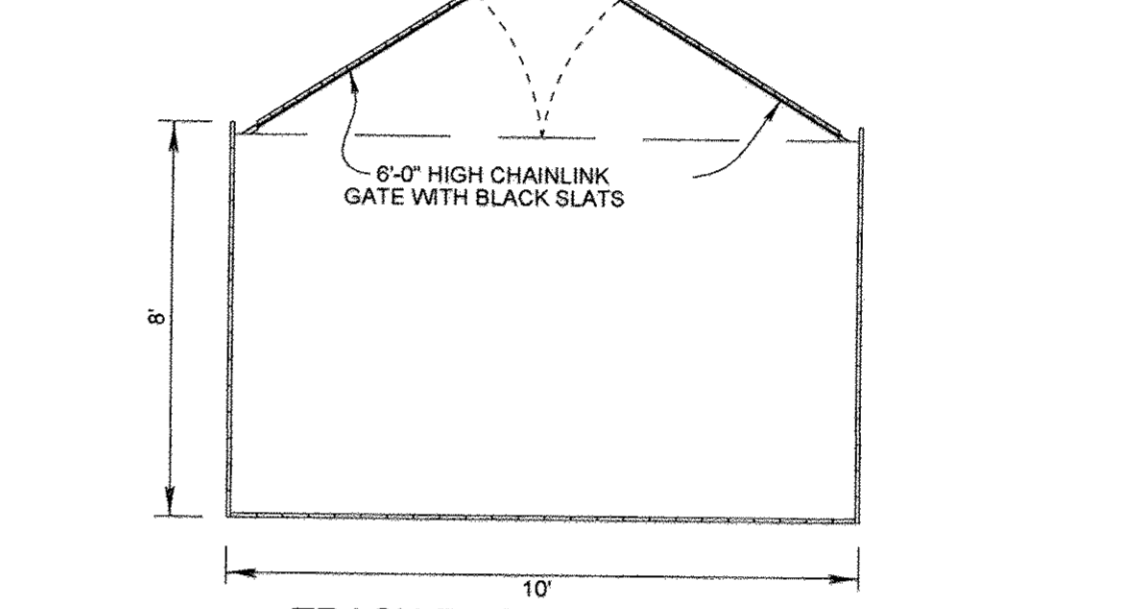
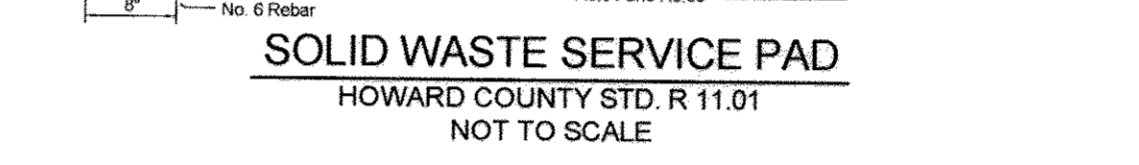
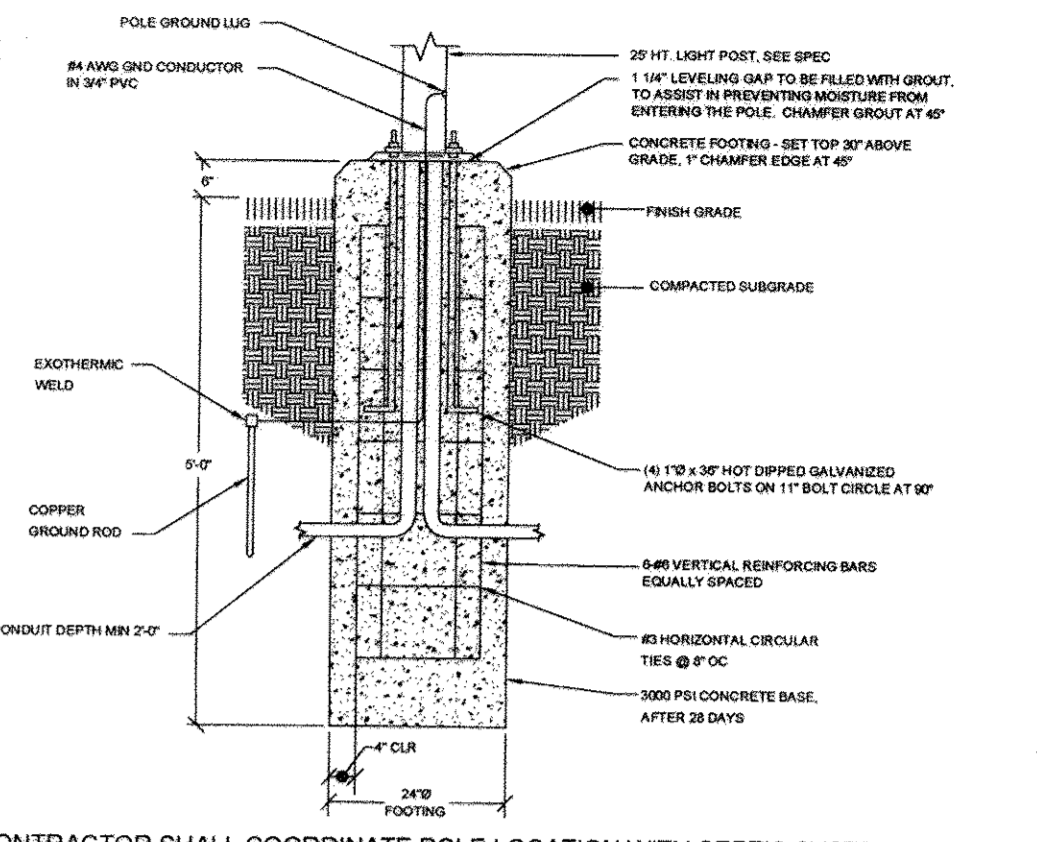


LIGHTING FIXTURE SCHEDULE

QUANTITY	CATALOG NO.	CKT. VOLTS	NO.	LAMPS (SEE CATALOG #)	WATTS	MOUNTING	MOUNTING
4	FIXTURE: LITHONIA KSF2 400M R3 POLE SSS 25 50 DM49 DOB BC		1	KSF2 400M R 3 48 38,000 LUMENS	400	EXTERIOR POLE	25' TALL 5" SQUARE STEEL POLE, WALL THICKNESS OF 0.188" THICK 7 GAUGE, 1" X 36" X 4" GALVANIZED ANCHOR BOLTS, DARK BRONZE FINISH & FULL GROUND COVER. POLE TO BE DRILLED FOR NUMBER OF FIXTURES REQUIRED AS SHOWN ON SITE LIGHTING PLAN.

SOILS LEGEND

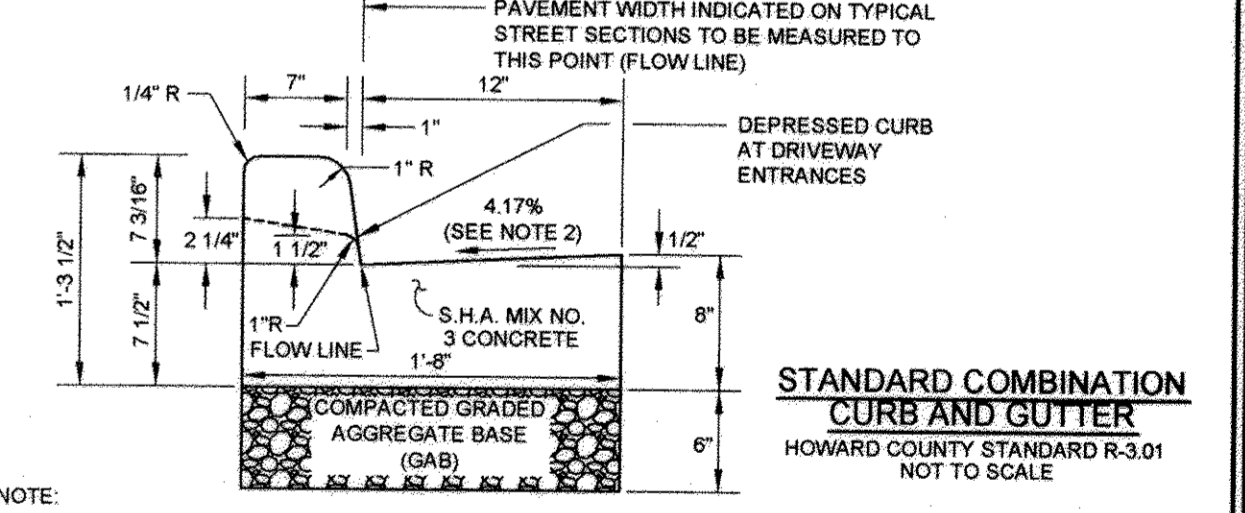
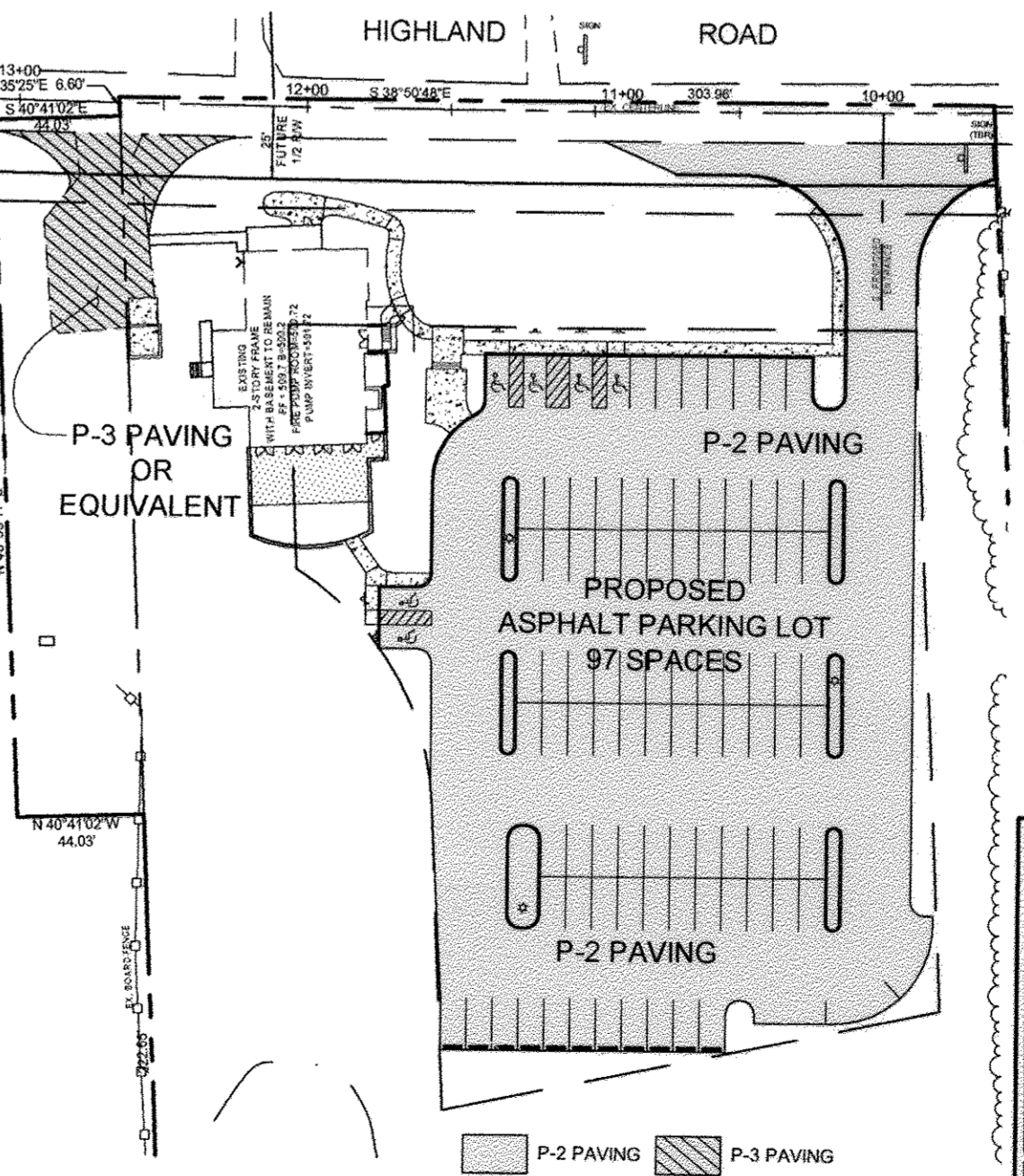
SYMBOL	NAME / DESCRIPTION	GROUP
GbB	GLADSTONE LOAM, 3 TO 8 PERCENT SLOPES	B
GbB	GLENVILLE-BAILE SILT LOAM, 0 TO 8 PERCENT SLOPES	C



PAVING SECTIONS

NO.	TYPE AND STREET CLASSIFICATION	PAVEMENT MATERIAL (INCHES)	MIN. HMA WITH GAB	MIN. HMA WITH CONCRETE	MIN. HMA WITH GAB
P-1	RESIDENTIAL AND INTERMEDIATE ARTERIALS WITH NO MORE THAN 2% SUPERELEVATION	3" HMA SUPERPAVE FINI SURFACE (2.5" MIN. PG 58-22 LEVEL 1 (ESAL))	1.5	1.5	1.5
P-2	LOCAL ARTERIALS AND COLLECTOR STREETS	3" HMA SUPERPAVE FINI SURFACE (2.5" MIN. PG 58-22 LEVEL 1 (ESAL))	2.0	2.0	2.0
P-3	RESIDENTIAL AND INTERMEDIATE ARTERIALS WITH NO MORE THAN 2% SUPERELEVATION	3" HMA SUPERPAVE FINI SURFACE (2.5" MIN. PG 58-22 LEVEL 1 (ESAL))	1.5	1.5	1.5
P-4	LOCAL ARTERIALS AND COLLECTOR STREETS	3" HMA SUPERPAVE FINI SURFACE (2.5" MIN. PG 58-22 LEVEL 1 (ESAL))	2.0	2.0	2.0
P-5	RESIDENTIAL AND INTERMEDIATE ARTERIALS WITH NO MORE THAN 2% SUPERELEVATION	3" HMA SUPERPAVE FINI SURFACE (2.5" MIN. PG 58-22 LEVEL 1 (ESAL))	1.5	1.5	1.5
P-6	LOCAL ARTERIALS AND COLLECTOR STREETS	3" HMA SUPERPAVE FINI SURFACE (2.5" MIN. PG 58-22 LEVEL 1 (ESAL))	2.0	2.0	2.0

NOTE: SEE PAVING SECTION CHART - THIS SHEET FOR PAVING SECTIONS SPECIFICATIONS.



- NOTE:
- A REVERSE GUTTER PAN SHALL HAVE A GUTTER SLOPE OF 4.17% AWAY FROM THE FLOW LINE, AND SHALL NOT BE USED WHERE THIS DRAINAGE CREATES A HAZARDOUS CONDITION.
 - GUTTER PAN AT THE MEDIAN EDGE OF INTERMEDIATE ARTERIALS OF THE HIGH SIDE OF SUPERELEVATED SECTIONS SHALL BE SLOPED AT THE SAME RATE AND IN THE SAME DIRECTION AS THE PAVEMENT. MATCH PAVEMENT CROSS SLOPE WHEN CURB IS LOCATED ON THE LOW SIDE OF SUPERELEVATED SECTION AND THE RATE OF SUPERELEVATION IS GREATER THAN 3% FOR MODIFIED CURBS & GUTTERS.
 - A MINIMUM OF TWO (2) FEET OF COMPACTED STABILIZED EARTH, OR EQUIVALENT, SHALL SUPPORT THE POSITIVE DRAINAGE SHALL BE PROVIDED BOTH BEHIND THE CURB AND ALONG THE GUTTER AND FLOW LINE.

LEGEND

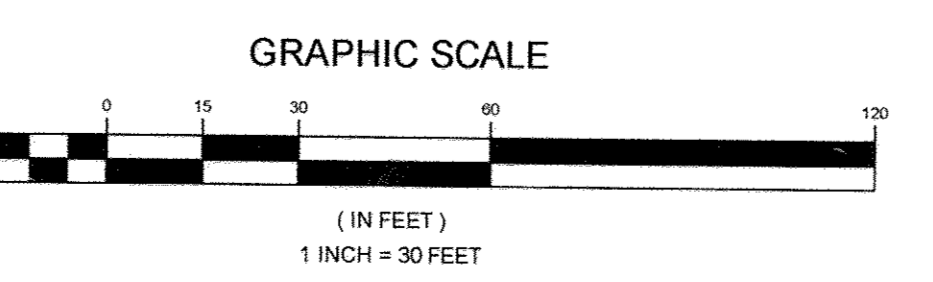
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- DIRECTION OF FLOW
- EXISTING TREELINE
- SOILS BOUNDARY
- EXISTING STREAM
- EXISTING STREAM BUFFER
- EXISTING LANDSCAPE TREES
- PROPOSED PARKING COUNTER
- PROPOSED STREET LIGHT
- PROPOSED SIGN
- EXISTING SEPTIC EASEMENT
- SEPTIC EASEMENT TO BE ADDED
- PROPOSED SEPTIC SYSTEM AND SEPTIC EASEMENT
- 'C' SOIL
- PROPOSED BIO RETENTION FACILITY

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS
 COUNTY HEALTH OFFICER: MAURICE ROSENBERG 1/23/2014
 HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION: CHARL EDWARDS 12.18.17
 CHIEF, DIVISION OF LAND DEVELOPMENT: VICKI L. WOOD 1.27.14
 DIRECTOR: RANDI W. WATSON 1/22/18

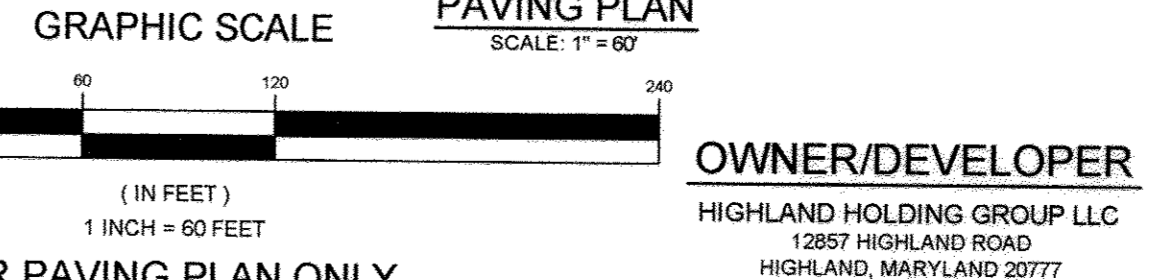
REVISIONS

NO.	DESCRIPTION	DATE
1	ADD BIT CURB, RIP-RAP, STORM DRAIN	12/10/14
2	REVISE SIDEWALK AND PARKING	11/13/13



FOR SEPTIC SYSTEM PIPING AND TRENCH LAYOUT, SPECIFICATIONS AND DETAILS - SEE SHEETS 7, 8 AND 9

"As Built" Certification for PWSM
 Note: There is no "as built" info. on this sheet.



REVISED SITE DEVELOPMENT PLAN

AMENDED PERC CERT AND SITE DEVELOPMENT PLAN, NOTES AND DETAILS

THE HIGHLAND INN RESTAURANT

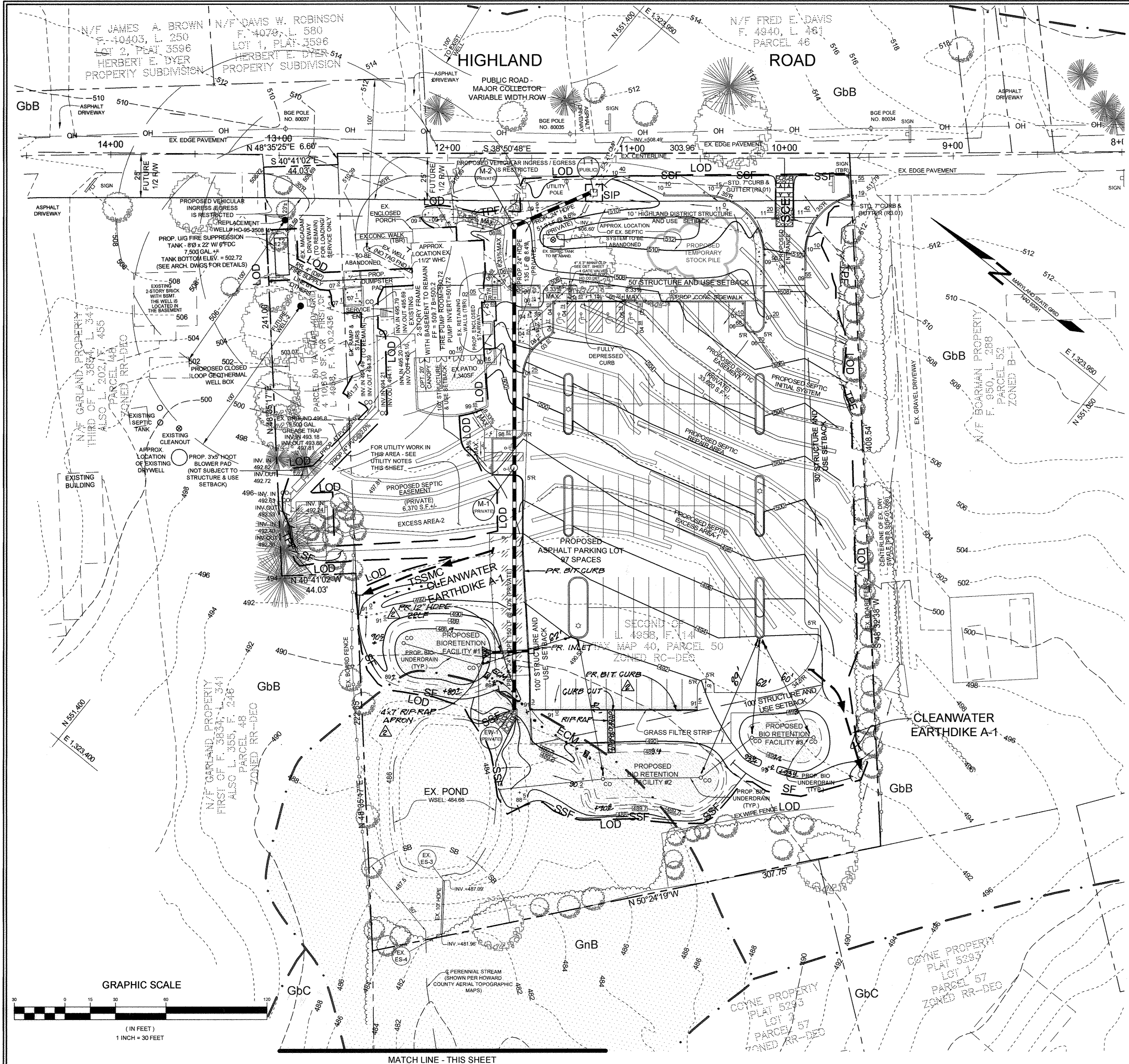
12857 HIGHLAND ROAD, HIGHLAND, MD 20777
 PREVIOUS HOWARD COUNTY FILE NO. S: ZB NO. 1082M, ECP-12-033, AA CASE NO. 12-011,
 TAX MAP 40 GRID 4 BOA NO. 12-015V, PARCEL 50, ZONED BR
 5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

OWNER/DEVELOPER
 HIGHLAND HOLDING GROUP LLC
 12857 HIGHLAND ROAD
 HIGHLAND, MARYLAND 20777

Sill · Adcock & Associates · LLC
 Engineers · Surveyors · Planners
 3300 North Ridge Road, Suite 160
 Ellicott City, Maryland 21034
 Phone: 443.325.7682 Fax: 443.325.7685
 Email: info@silladcock.com

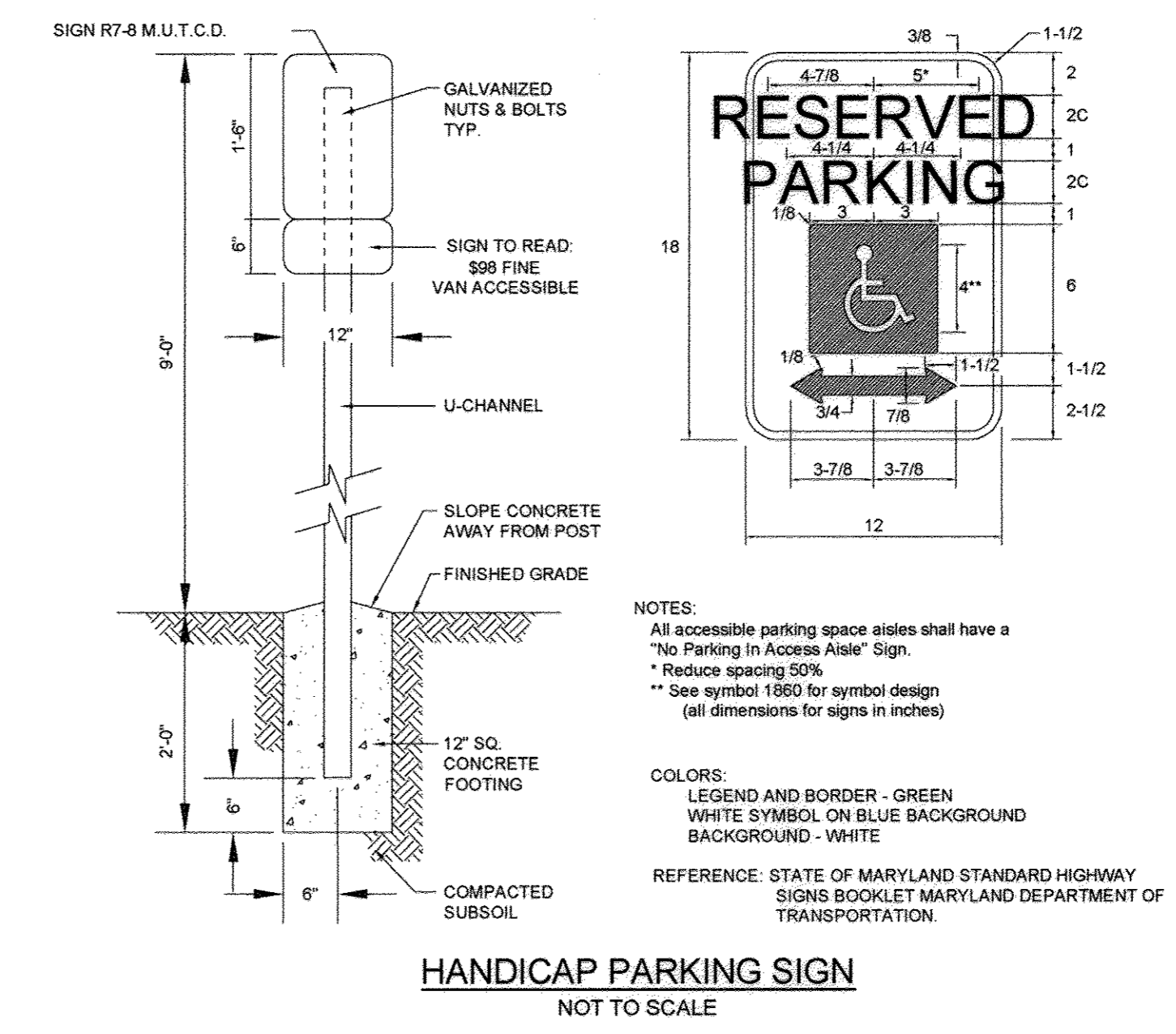
DESIGN BY: JH
 DRAWN BY: JH
 CHECKED BY: PS
 SCALE: 1" = 30'
 DATE: JULY 1, 2013
 PROJECT #: 09-076
 SHEET #: 2 OF 10

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 33025, EXPIRATION DATE: JUNE 20, 2015

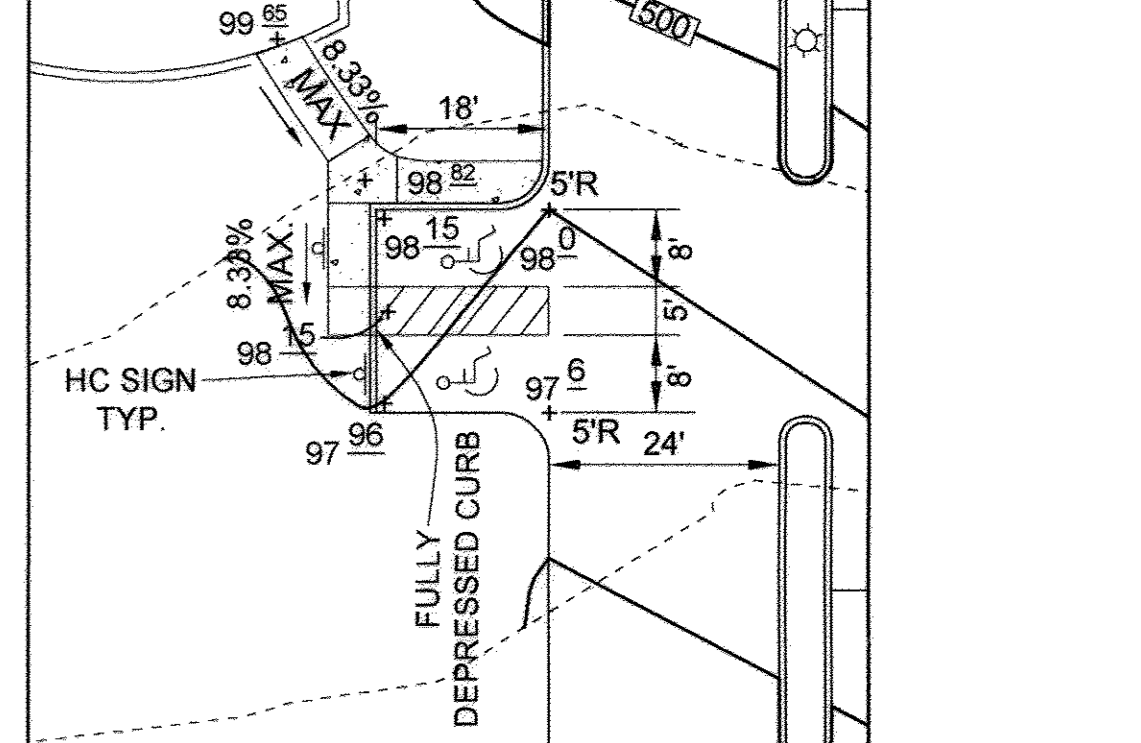
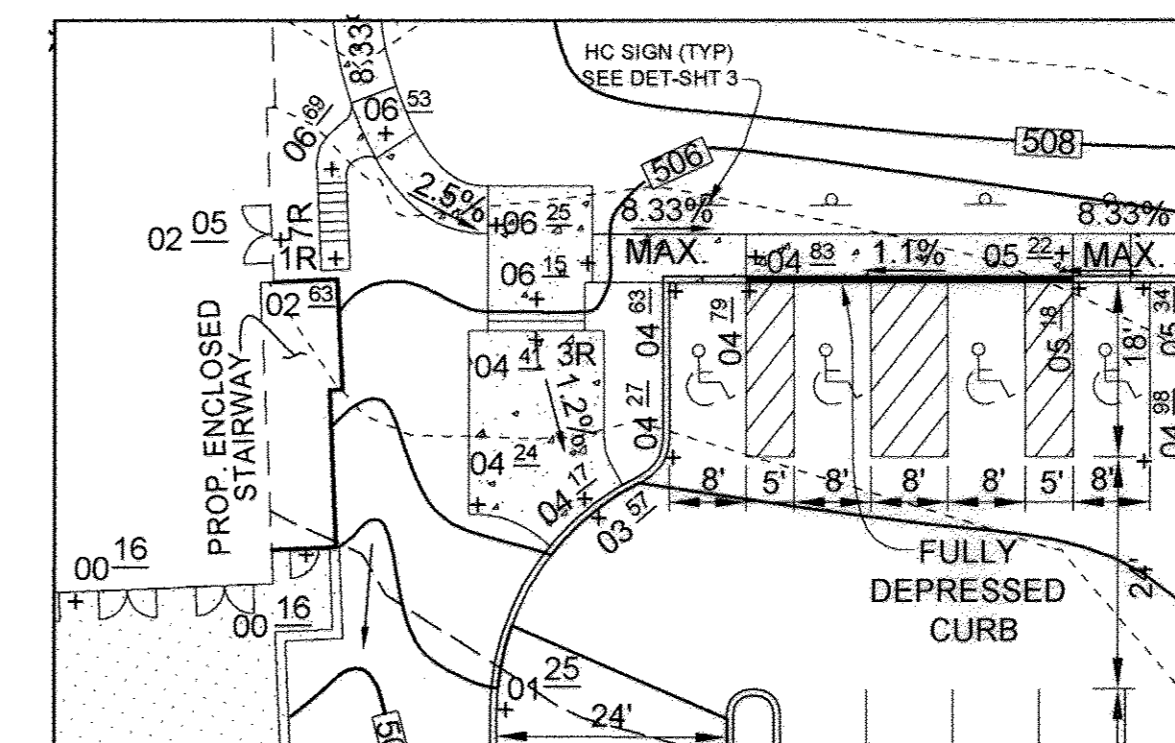


SOILS LEGEND		
SYMBOL	NAME / DESCRIPTION	GROUP
GbB	GLADSTONE LOAM, 3 TO 8 PERCENT SLOPES	B
GnB	GLENVILLE-BAILE SILT LOAM, 0 TO 8 PERCENT SLOPES	C

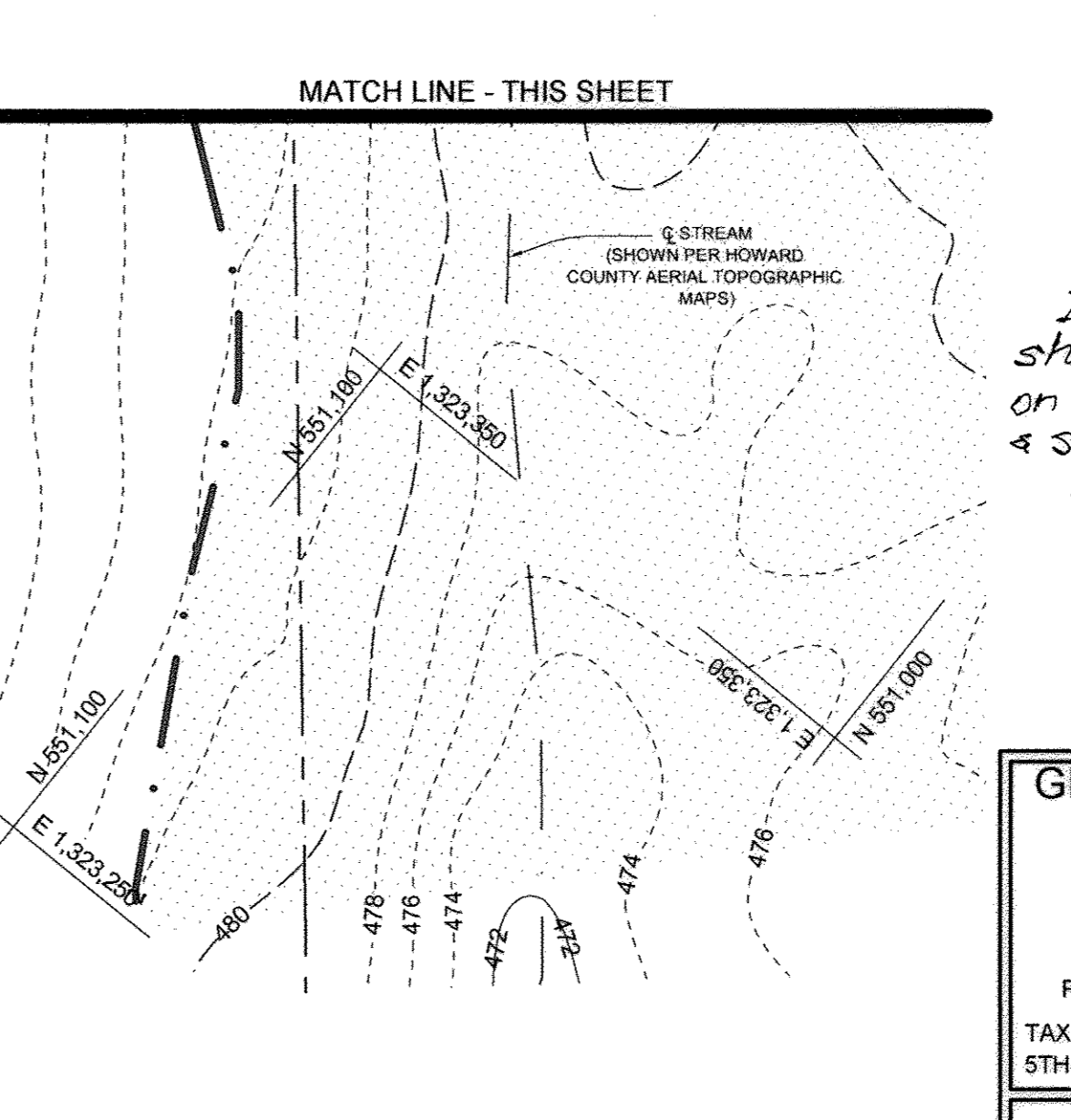
LEGEND	
EXISTING CONTOUR	---
PROPOSED CONTOUR	---
EXISTING SPOT ELEVATION	382
PROPOSED SPOT ELEVATION	382.5
DIRECTION OF FLOW	→
EXISTING TREELINE	~
PROPOSED TREELINE	~
CL EXISTING STREAM	---
EXISTING STREAM BUFFER	SB
SPECIMEN TREE	ST#1
EXISTING LANDSCAPE TREES	○
PROPOSED PARKING COUNT	14
DUMPSTER PAD	D
PROPOSED SIGN	P
GRASS FILTER STRIP	///
PROPOSED SEPTIC SYSTEM AND SEPTIC EASEMENT	---
PROPOSED BIO RETENTION FACILITY	---
TEST PIT LOCATION	TP-111
SOIL BOUNDARY	---
'B' SOIL	---
'C' SOIL	---
STABILIZED CONSTRUCTION ENTRANCE	---
SILT FENCE	SF
SUPER SILT FENCE	SSF
LIMIT OF DISTURBANCE	LOD
EROSION CONTROL MATTING	TSSMC
STANDARD INLET PROTECTION	SIP
TREE PROTECTION FENCE	TPF
EARTH DIKE	→
CLEANWATER EARTHDIKE A-1	→



HANDICAP PARKING SIGN
NOT TO SCALE



HANDICAP PARKING ENLARGEMENT
SCALE: 1" = 30'



STATE OF MARYLAND
PROFESSIONAL ENGINEER
No. 32025

"As Built" certification
I hereby certify, by my seal, that the facilities shown on this plan were constructed as shown, on this "as built" plan meet the approved plans & specifications.
FOR UTILITY WORK ONLY OR FOR OFF-SITE UTILITY WORK

- DISTURBANCES OUTSIDE THE LODs CANNOT EXCEED 5,000 SQUARE FEET.
- PLACE ALL EXCAVATED MATERIAL ON THE HIGH SIDE OF TRENCH.
- ONLY DO AS MUCH WORK AS CAN BE DONE IN ONE DAY SO BACKFILLING, FINAL GRADING, SEEDING AND MULCHING CAN OCCUR.
- ANY SEDIMENT CONTROL MEASURES DISTURBED BY CONSTRUCTION WILL BE REPAIRED THE SAME DAY.

REVISED SITE DEVELOPMENT PLAN
GRADING, SEDIMENT AND EROSION CONTROL PLAN AND DETAILS
THE HIGHLAND INN RESTAURANT
12857 HIGHLAND ROAD, HIGHLAND, MD 20777
PREVIOUS HOWARD COUNTY FILE NO. S: ZB NO. 1082M, ECP-12-033, AA CASE NO. 12-011,
TAX MAP 40 GRID 4 BOA NO. 12-015V. PARCEL 50, ZONED BR
5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

NO.	DESCRIPTION	DATE
2	ADD BIT CURB, RIPRAP, INLET & PIPE	12/9/14
1	REVISED SIDEWALK AND PARKING	11/18/13

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS
 THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

John R. Robertson
HOWARD SCD
DATE: 12/5/13

DEVELOPER'S CERTIFICATE
 "I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

Paul M. Sill, PE, LEED AP
DATE: 11/20/13

ENGINEER'S CERTIFICATE
 "I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

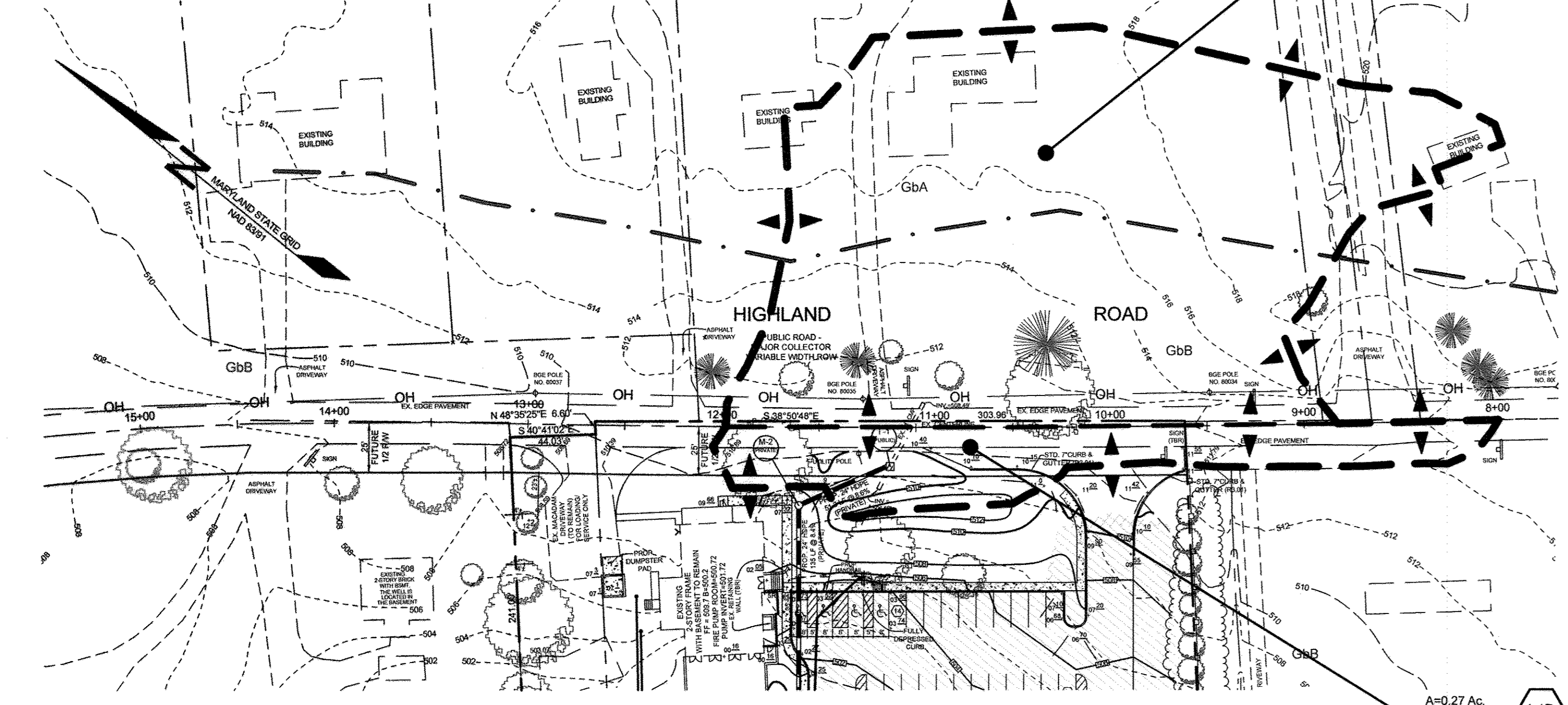
Paul M. Sill, PE, LEED AP
DATE: 11/20/13

OWNER/DEVELOPER
 HIGHLAND HOLDING GROUP LLC
 12857 HIGHLAND ROAD
 HIGHLAND, MARYLAND 20777

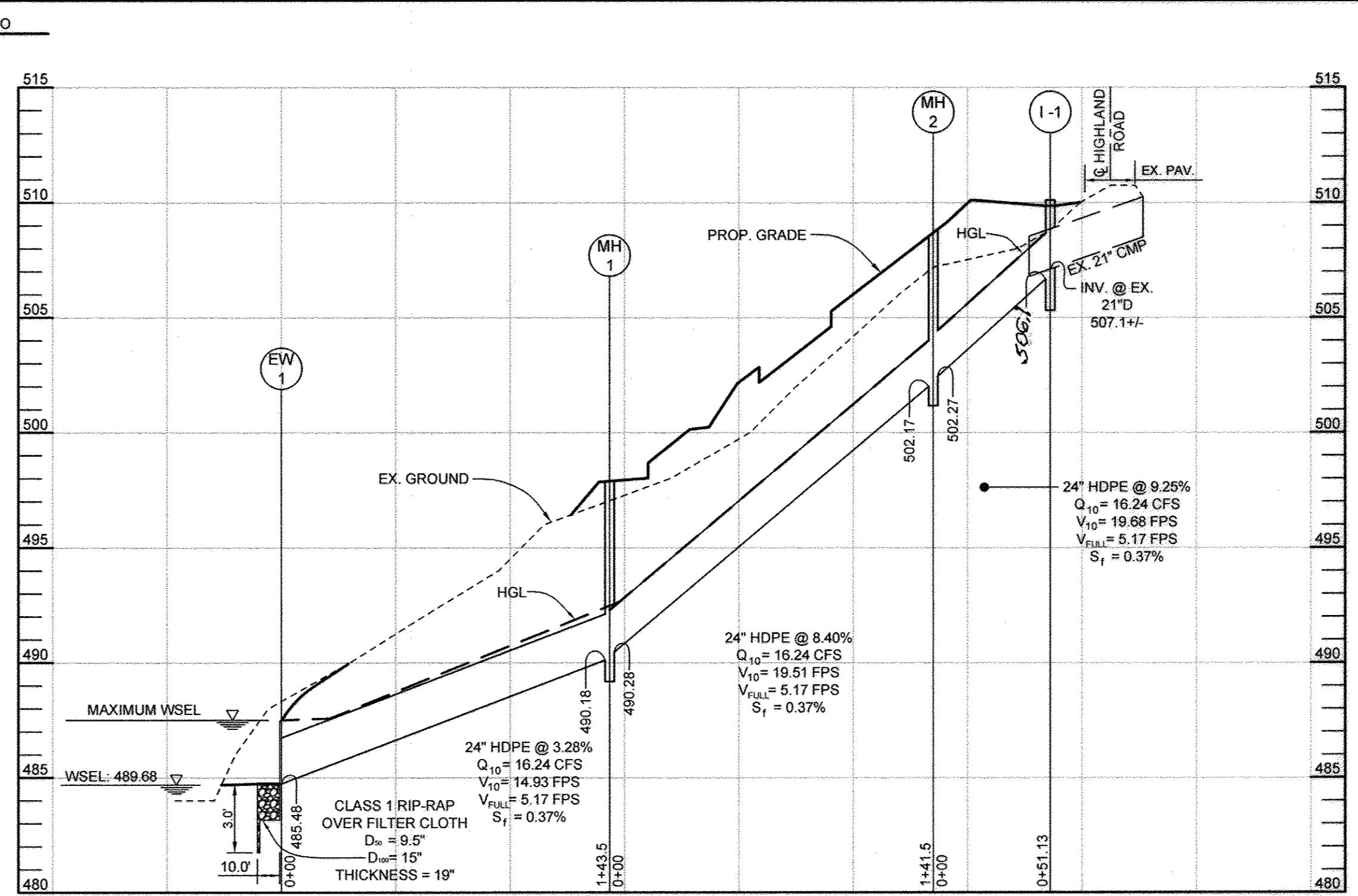
DESIGN BY: JH
 DRAWN BY: JH
 CHECKED BY: PS
 SCALE: 1" = 30'
 DATE: JULY 1, 2013
 PROJECT #: 09-076
 SHEET #: 3 OF 10

Sill · Adcock & Associates · LLC
 Engineers · Surveyors · Planners
 3300 North Ridge Road, Suite 160
 Ellicott City, Maryland 21043
 Phone: 443-325-7682 Fax: 443-325-7685
 Email: info@silladcock.com

SOILS LEGEND		
SYMBOL	NAME / DESCRIPTION	GROUP
GbB	GLADSTONE LOAM, 3 TO 8 PERCENT SLOPES	B
GnB	GLENVILLE-BAILE SILT LOAM, 0 TO 8 PERCENT SLOPES	C

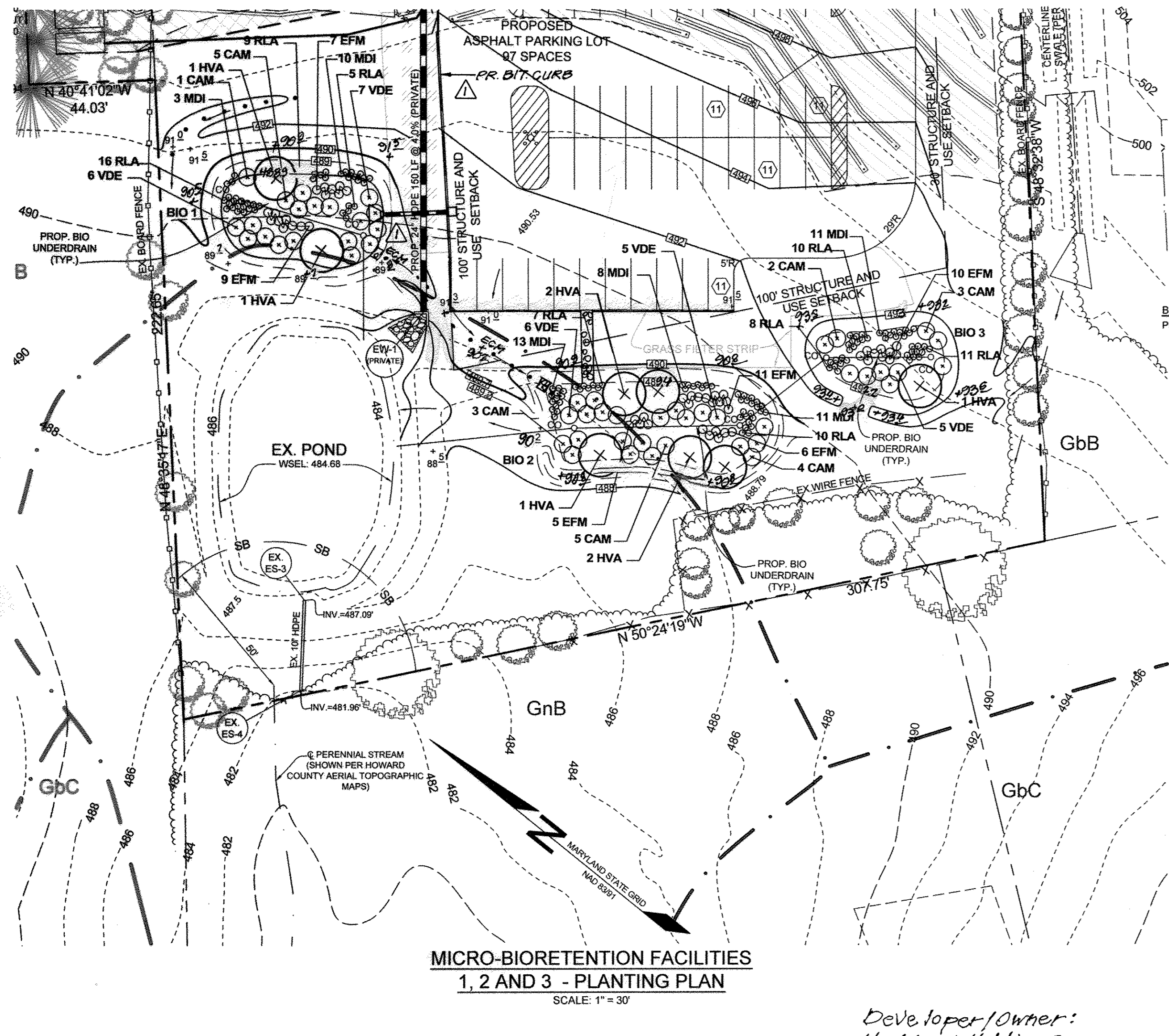
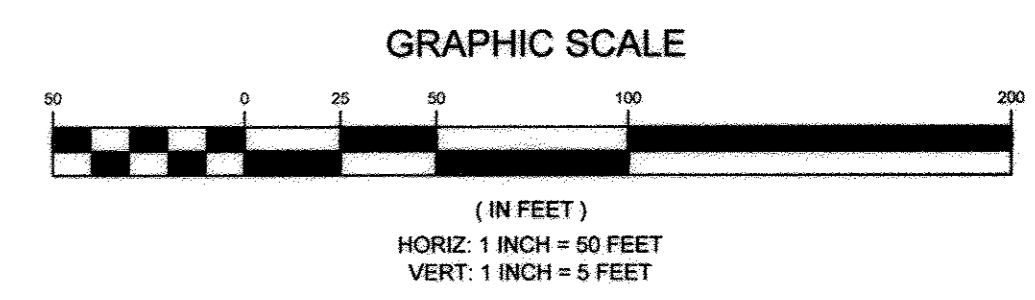


DRAINAGE AREA MAP FOR STORM DRAIN INLET I-1
SCALE: 1" = 50'



STORM DRAIN PROFILE: I-1 TO EW-1
SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'

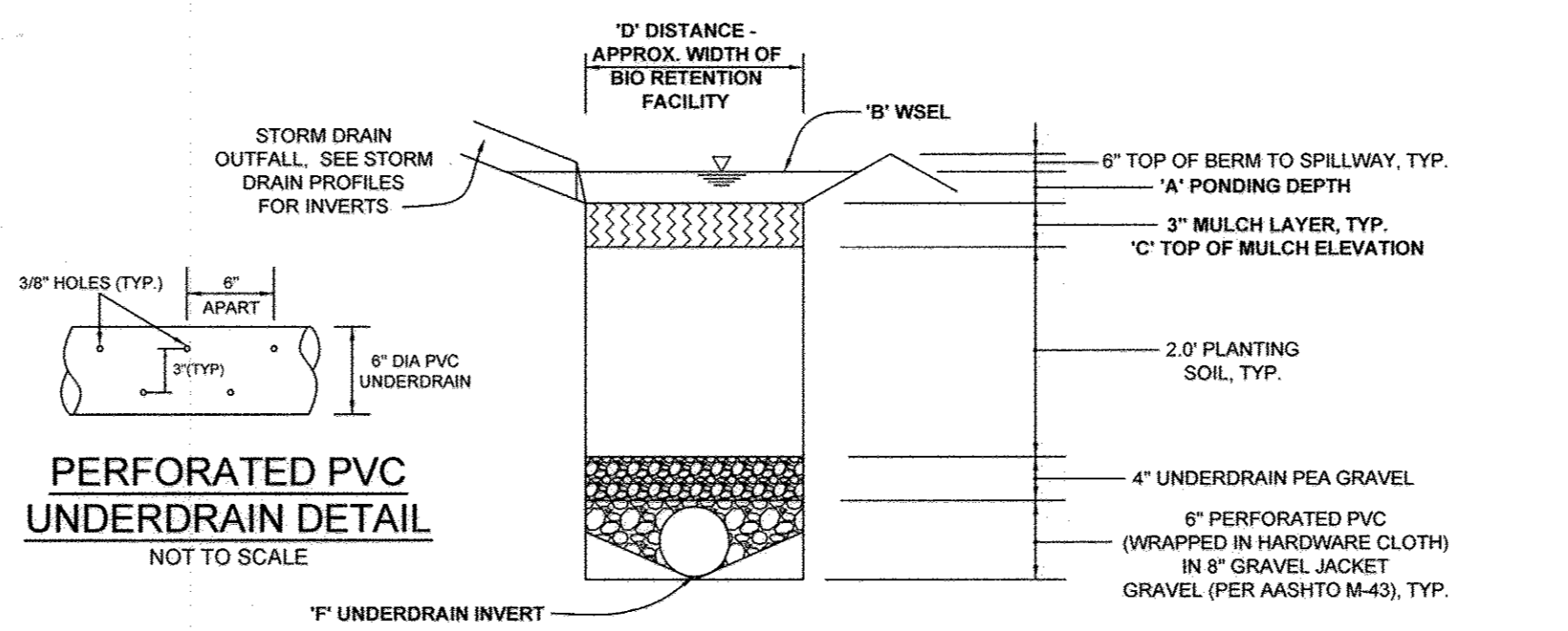
LEGEND	
EXISTING CONTOUR	---
PROPOSED CONTOUR	---
EXISTING SPOT ELEVATION	+
PROPOSED SPOT ELEVATION	+
DIRECTION OF FLOW	→
EXISTING TREELINE	~
PROPOSED TREELINE	~
CL. EXISTING STREAM	---
EXISTING STREAM BUFFER	SB
SPECIMEN TREE	ST#1
EXISTING LANDSCAPE TREES	○
PROPOSED PARKING COUNT	12
PROPOSED SIGN	P
GRASS FILTER STRIP	///
PROPOSED BIO RETENTION FACILITY	○
TEST PIT LOCATION	TP-111
SOIL BOUNDARY	---
'B' SOIL	□
'C' SOIL	□
DRAINAGE AREA LINE	---



MICRO-BIORETENTION FACILITIES 1, 2 AND 3 - PLANTING PLAN
SCALE: 1" = 30'

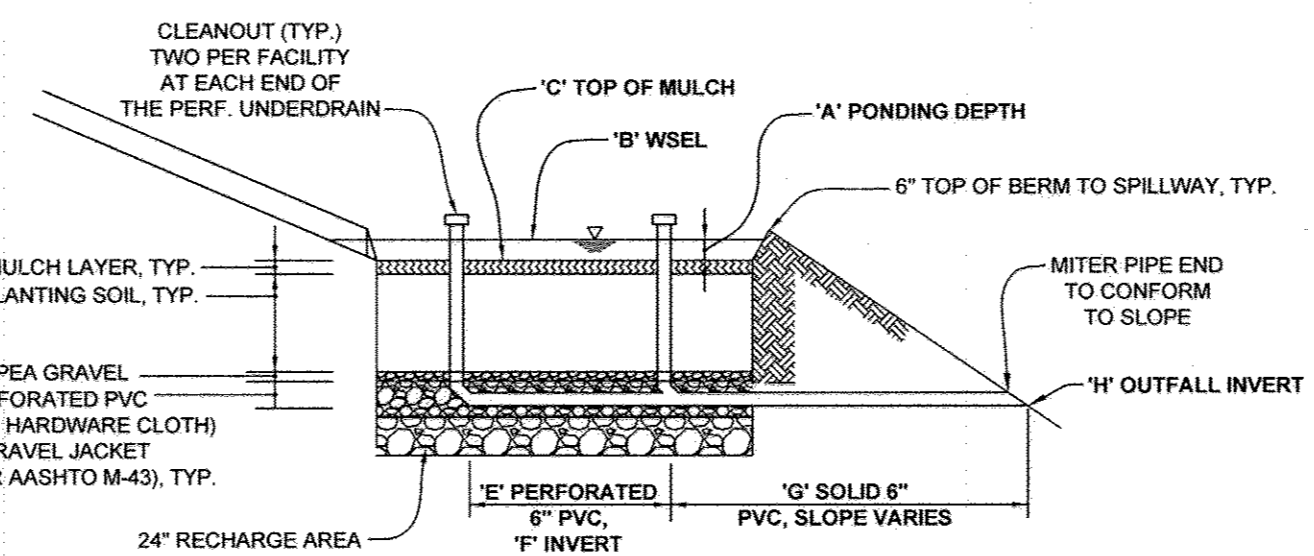
BIORETENTION PLANT LIST									
TREES	KEY	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	REMARKS	QUANTITY BIO 1	QUANTITY BIO 2	QUANTITY BIO 3
SHRUBS	HVA	HAMAMELIS VIRGINIANA	WITCH HAZEL	AS SHOWN	1'-1 1/2' CAL.	BB	2	5	1
	CAM	CORNUS AMOMUM	SILKY DOGWOOD	AS SHOWN	18"-24" HT.	CONT.	6	12	5
	VDE	VIBURNUM DENTATUM	ARROWWOOD	AS SHOWN	18"-24" HT.	CONT.	13	11	5
HERBACEOUS SPECIES	EFM	EUTROCHUM PURPUREUM	JOE-PYE WEED	AS SHOWN	1 QT./12" HT.	CONT. (3" O.C.)	16	22	10
	MDI	MONARDA DIDYMA	BEEBALM	AS SHOWN	1 QT.	CONT.	13	31	11
	RLA	RUDEBECKIA LACINIATA	TALL CONEFLOWER	AS SHOWN	1 QT.	CONT.	30	17	29

BIO 1 - BIORETENTION AREA = 1,056 S.F. OR 0.028 AC. PROVIDED: 2 TREES, 19 SHRUBS AND 59 HERBACEOUS SPECIES
 BIO 2 - BIORETENTION AREA = 1,560 S.F. OR 0.035 AC. PROVIDED: 5 TREES, 23 SHRUBS AND 70 HERBACEOUS SPECIES
 BIO 3 - BIORETENTION AREA = 1,315 S.F. OR 0.031 AC. PROVIDED: 1 TREE, 10 SHRUBS AND 50 HERBACEOUS SPECIES



PERFORATED PVC UNDERDRAIN DETAIL
NOT TO SCALE

MICRO-BIORETENTION FACILITY TYPICAL SECTION
NOT TO SCALE



MICRO-BIORETENTION FACILITY TYPICAL PROFILE
NOT TO SCALE

MATERIALS SPECIFICATIONS FOR BIORETENTION FACILITIES			
MATERIAL PLANTINGS	SPECIFICATION	SIZE	NOTES
PLANTING SOIL (2.0' DEEP)	SAND 35% - 60% SILT 0% - 25% GROUND COMPOST 40%-50%	N/A	PLANTINGS ARE SITE-SPECIFIC. SEE PLANT LIST THIS SHEET
MULCH	SHREDDED HARDWOOD PEA GRAVEL, ASTM-D-448 ORNAMENTAL STONE, WASHED COBBLES	N/A	AGED 6 MONTHS, MINIMUM
HARDWARE CLOTH	0.035" THICK - 1/4" MESH OR SMALLER GALVANIZED WIRE HARDWARE CLOTH	N/A	FOR USE AS A WRAP AROUND PERFORATED UNDERDRAIN PIPING
UNDERDRAIN PEA GRAVEL	#7 OR #8 STONE	0.25" TO 0.50"	CLEAN WASHED STONE
UNDERDRAIN GRAVEL	AASHTO M-43	0.375" TO 0.75"	CLEAN WASHED STONE
UNDERDRAIN PIPING	F 758, TYPE PS 28 OR AASHTO M-278	4" TO 6" RIGID SCHEDULE 40 PVC OR SDR35	- 3/8" PERF. @ 6" ON CENTER, 4 HOLES PER ROW. - SLOTTED PIPE MAY BE USED IN-LEU OF PERFORATED PIPE (HARDWARE CLOTH WRAP NOT REQUIRED). - MINIMUM OF 3" OF GRAVEL OVER PIPES, NOT NECESSARY UNDERNEATH PIPES

STRUCTURE SCHEDULE						
NO.	TYPE & OWNERSHIP	LOCATION	TOP ELEV.	INV. IN	INV. OUT	REMARKS
I-1	OPEN END GRATE INLET PUBLIC	N 551,354.21 E 1,323,849.70	508.80	506.1	505.0	D-4.36 (2)
M-1	STD 4' PRECAST MANHOLE PRIVATE	N 551,378.52 E 1,323,804.71	507.50	502.27	502.17	G-5.12
M-2	STD 4' PRECAST MANHOLE PRIVATE	N 551,289.30 E 1,323,693.98	497.73 (3)	490.28	490.18	G-5.12
EW-1	24" STD. TYPE 'E' END WALL PRIVATE	N 551,199.70 E 1,323,562.78		485.48		MD 356.01

NOTES:
 1. TOP ELEVATION SHOWN FOR I-1 IS THE CENTER OF THE TOP OF GRATE.
 2. I-1 SHALL HAVE DOUBLE OPENING.
 3. TOP SLOPE OF STRUCTURE TO CONFORM WITH SLOPE OF PAVING.

PIPE SCHEDULE		
SIZE	TYPE	LENGTH
24" PRIVATE	HDPE	327 LF
6" PRIVATE	PVC-SOLID	133 LF
6" PRIVATE	PVC-PERF.	137 LF

NOTES:
 1. ALL PVC PIPE SHALL BE SCHEDULE 40.

MICRO-BIORETENTION ELEVATIONS AND DIMENSIONS			
DESCRIPTION	BIO 1	BIO 2	BIO 3
'A' PONDING DEPTH	0.8'	0.8'	0.8'
'B' WSEL	480.7	490.2	493.0
'C' TOP OF MULCH	488.0	492.4	492.2
'D' FACILITY DIMENSION	36'	35'	32'
'E' PERF. UNDERDRAIN DIMENSION	48'	56'	35'
'F' UNDERDRAIN INVERT	485.8	486.4	482.2
'G' SOLID UNDERDRAIN DIMENSION	35.0'	61.0'	42.0'
'H' OUTFALL INVERT	484.7	484.7	486.6

NOTES:
 * SOLID UNDERDRAIN FROM BIO 3 TO CONNECT TO UNDERDRAIN OF BIO 2.

OPERATION AND MAINTENANCE SCHEDULE FOR LANDSCAPE INFILTRATION (M-3), MICRO-BIORETENTION (M-6), RAINGARDENS (M-7), BIORETENTION SWALES (M-8) AND ENHANCED FILTERS (M-9)

- THE OWNER SHALL MAINTAIN THE PLANT MATERIAL, MULCH LAYER AND SOIL LAYER ANNUALLY. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING. ACCEPTABLE REPLACEMENT PLANT MATERIAL IS LIMITED TO THE FOLLOWING: 2000 MARYLAND STORMWATER DESIGN MANUAL, VOLUME II, TABLE A-4.1 AND 2.
- THE OWNER SHALL PERFORM A PLANT INSPECTION IN THE SPRING AND IN THE FALL OF EACH YEAR. DURING THE INSPECTION, THE OWNER SHALL REMOVE DEAD OR DISEASED VEGETATION CONSIDERED BEYOND TREATMENT, REPLACE DEAD PLANT MATERIAL WITH ACCEPTABLE REPLACEMENT PLANT MATERIAL, TREAT DISEASED TREES AND SHRUBS, AND REPLACE ALL DEFICIENT STAKES AND WIRRES.
- THE OWNER SHALL INSPECT THE MULCH EACH SPRING. THE MULCH SHALL BE REPLACED EVERY TWO TO THREE YEARS. THE PREVIOUS MULCH LAYER SHALL BE REMOVED BEFORE THE NEW LAYER IS APPLIED.
- THE OWNER SHALL CORRECT SOIL EROSION ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER MONTH AND AFTER EACH HEAVY STORM.

AS-BUILT

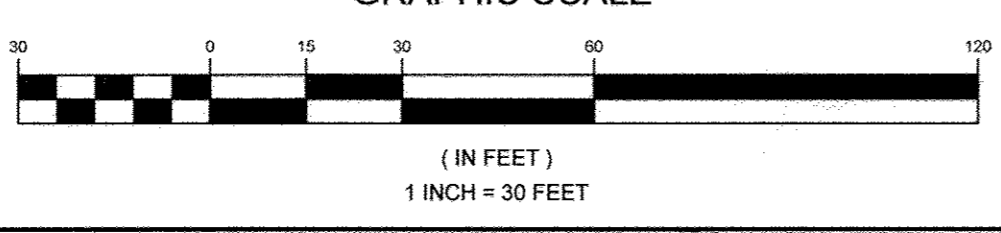
STORM DRAIN & BIORETENTION PROFILES, DETAILS AND CHARTS
THE HIGHLAND INN RESTAURANT
 12857 HIGHLAND ROAD, HIGHLAND, MD 20777
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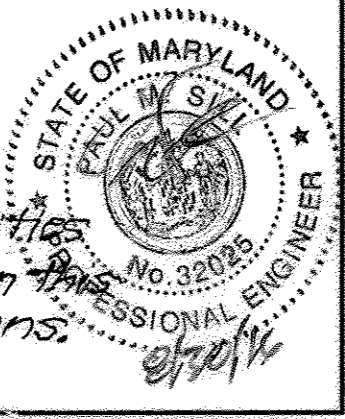
DESIGN BY: JH
 DRAWN BY: JH
 CHECKED BY: PS
 SCALE: AS SHOWN
 DATE: 7/29/13
 PROJECT #: 09-078
 SHEET #: 5 of 10

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING			
NO.	DESCRIPTION	DATE	REVISIONS
1	ADD STORM DRAIN, RIP-RAP & REV. GRADES	12/0/14	

Developer/Owner:
 Highland Holding Group
 12857 Highland Rd, Highland, MD 20777



I hereby certify, by my seal, that the facilities shown on this plan were constructed as shown on the "As Built" plan meet the approved plans & specifications.

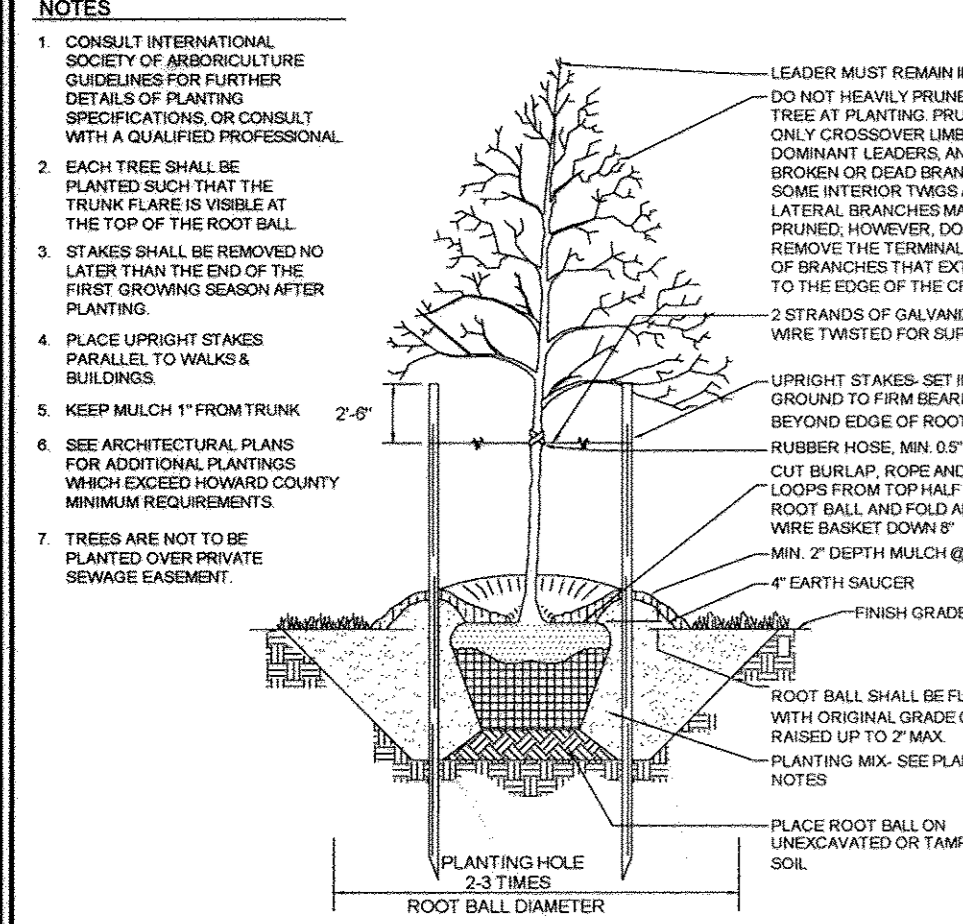


PLANTING NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES, UTILITY CONTRACTORS AND "MISS UTILITY" A MINIMUM OF 48 HOURS PRIOR TO BEGINNING WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR MARKING AND MAINTAINING ADJUSTMENTS IN SPACING AND LOCATION OF PLANT MATERIAL TO AVOID CONFLICTS WITH UTILITIES.
- PLANTS, RELATED MATERIAL, AND OPERATIONS SHALL MEET THE DETAILED DESCRIPTION AS GIVEN ON THE PLANS AND AS DESCRIBED HEREIN.
- PLANT MATERIAL, UNLESS OTHERWISE SPECIFIED, SHALL BE NURSERY GROWN, UNIFORMLY BRANCHED AND HAVE A VIGOROUS ROOT SYSTEM. PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS PLANTS FREE FROM DEFECTS, DISEASE, INJURIES, DISCOLORATIONS, ABRASIONS OF THE BARK, PLANT DISEASE, INSECT PESTS, GIBBS, INFESTATIONS OR OBSCURABLE DISFIGUREMENTS. PLANT MATERIAL THAT IS WEAK OR WHICH HAS BEEN CUT BACK FROM LARGER GRADES TO MEET SPECIFIED REQUIREMENTS WILL BE REJECTED. TREES WITH FORKED LEADERS WILL NOT BE ACCEPTED. PLANTS SHALL BE FREELY TIED, NO HEEL-IN PLANTS OR PLANTS FROM COLD STORAGE WILL BE ACCEPTED.
- UNLESS OTHERWISE SPECIFIED, PLANT MATERIAL SHALL CONFORM TO "AMERICAN STANDARD FOR NURSERY STOCK" AND 2011-1990, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INCLUDING ALL ADDENDA.
- UNLESS OTHERWISE SPECIFIED, GENERAL CONDITIONS, PLANTING OPERATIONS, DETAILS AND PLANTING SPECIFICATIONS SHALL CONFORM TO "LANDSCAPE SPECIFICATION GUIDELINES" (HEREINAFTER "LANDSCAPE GUIDELINES") APPROVED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF METROPOLITAN WASHINGTON AND THE POTOMAC CHAPTER OF THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS, LATEST EDITION, INCLUDING ALL ADDENDA.
- CONTRACTOR WILL BE REQUIRED TO PROVIDE A ONE (1) YEAR GUARANTEE FOR PLANT MATERIAL STARTING FROM THE DATE OF INSTALLATION.
- TO LESSEN THE CHANCE OF LOSS THE TREES SHOULD BE CHECKED FROM TIME TO TIME TO INSURE THAT THEY ARE RECEIVING SUFFICIENT WATER. IF NECESSARY, PLANTINGS SHOULD BE REGULARLY WATERED DURING DRY PERIODS UNTIL PLANTINGS ARE WELL ESTABLISHED IN ORDER TO MAINTAIN SURVIVABILITY.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND PRUNING PLANT MATERIAL IN THE PROPER PLANTING SEASON FOR EACH PLANT TYPE, SEE STANDARD TREE PLANTING AND MAINTENANCE CALENDAR.
- PLANTING MIX SHALL BE AS FOLLOWS:
DECIDUOUS PLANTS - TWO PARTS TOPSOIL, ONE PART WELL-ROTTED COM MANURE. ADD 3 LBS. OF STANDARD FERTILIZER PER CUBIC YARD OF PLANTING MIX.
TOPSOIL SHALL CONFORM TO THE LANDSCAPE GUIDELINES.

NOTES

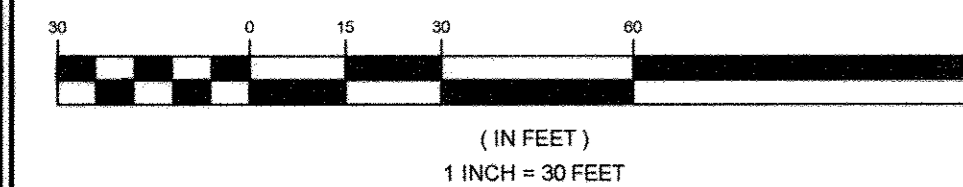
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPERS AGREEMENT IN THE AMOUNT OF \$2,500 FOR THE REQUIRED LANDSCAPING (12 SHADE TREES AT \$300 EACH, 38 EVERGREEN TREES AT \$150 EACH, 2 SHRUBS AT \$30 EACH).
- AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREWITH LISTED AND APPROVED FOR THIS SITE, SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPING MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO ALL PLANTING PLANS AND CERTIFICATES.
- THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- NO FOREST CONSERVATION AREAS ARE BEING CREATED ON-SITE. THIS PLAN COMPLIES WITH THE REQUIREMENTS OF SECTION 16.120 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY PAYMENT OF A FEE-IN-LIEU OF 0.50 ACRES (21,700 SQ. FT.) OF REFORESTATION IN THE AMOUNT OF \$20.69 (21,700 x \$0.95) WITH THE SUBMISSION OF THE ORIGINAL SDP.
- ANY SPECIES IN THE MAPLE OR WILLOW FAMILY (TREE OR SHRUBS) SHOULD NOT BE PLANTED IN PROXIMITY TO THE SEPTIC AREA.



TYPICAL TREE PLANTING AND STAKING

DECIDUOUS TREES UP TO 2-1/2" CALIPER
NOT TO SCALE

GRAPHIC SCALE



OWNER'S / DEVELOPER'S LANDSCAPE CERTIFICATE

I / WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I / WE FURTHER CERTIFY THAT UPON COMPLETION, A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

OWNER/DEVELOPER: *[Signature]* DATE: 1/23/2014

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS

COUNTY HEALTH OFFICER: *[Signature]* DATE: 1/23/2014

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION: *[Signature]* DATE: 1-27-14

CHIEF, DIVISION OF LAND DEVELOPMENT: *[Signature]* DATE: 1/27/14

DIRECTOR: *[Signature]* DATE: 1/27/14

REVISIONS

NO.	DESCRIPTION	DATE
2	ADD RIP-RAP, STORM DRAIN & BIT. CURB	12/9/12
1	REV. SIDEWALK, PARKING & CORRESPONDING PLANTINGS	11/18/13



FOREST CONSERVATION WORKSHEET

NET TRACT AREA					
A	TOTAL TRACT AREA				3.1 AC
B	DEDUCTIONS (PRESERVATION PARCELS)				0.0 AC
C	NET TRACT AREA				3.1 AC

LAND USE CATEGORY					
ARA	MCR	IDA	HDR	MPO	GIA
0	0	0	0	0	1

EXISTING FOREST COVER	
F	EXISTING FOREST COVER WITHIN THE NET TRACT AREA
G	AREA OF FOREST ABOVE CONSERVATION THRESHOLD

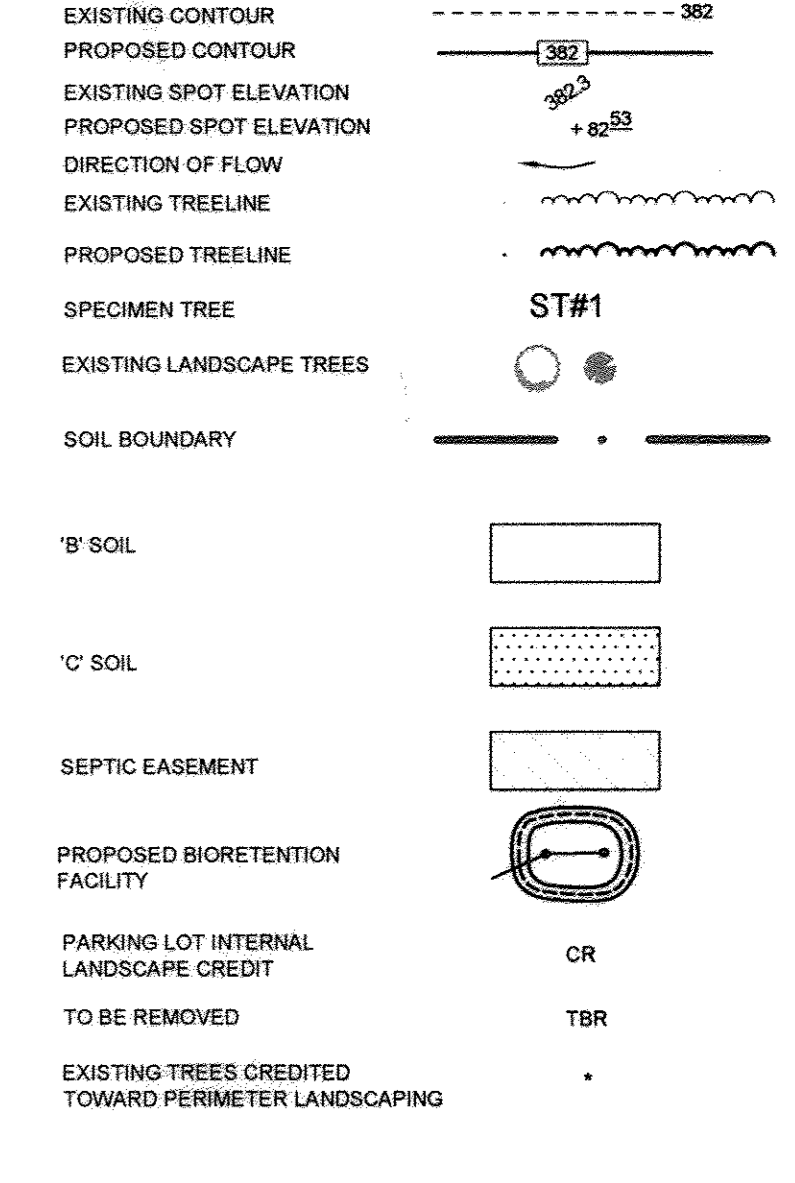
BREAK EVEN POINT	
H	BREAK EVEN POINT
I	FOREST CLEARING PERMITTED WITHOUT MITIGATION

PROPOSED FOREST CLEARING	
J	TOTAL AREA OF FOREST TO BE CLEARED
K	TOTAL AREA OF FOREST TO BE RETAINED

PLANTING REQUIREMENTS	
L	REFORESTATION FOR CLEARING ABOVE THE CONSERVATION THRESHOLD
M	REFORESTATION FOR CLEARING BELOW THE CONSERVATION THRESHOLD
N	CREDIT FOR RETENTION ABOVE THE CONSERVATION THRESHOLD
P	TOTAL REFORESTATION REQUIRED
Q	TOTAL AFFORESTATION REQUIRED
R	TOTAL PLANTING REQUIRED

*NOTE: THE 0.50 ACRES OF REFORESTATION WILL BE SATISFIED BY A FEE-IN-LIEU OF AFFORESTATION.

LEGEND



SCHEDULE A: PERIMETER LANDSCAPE EDGE

CATEGORY	ADJ. TO ROADWAY		ADJACENT TO PERIMETER PROPERTIES					
	1	2	1	2	3	4	5	6
PERIMETER/FRONTAGE DESIGNATION	172	152	381	308	223	44	223	
CREDIT FOR EXISTING VEGETATION (YES, NO LINEAR FEET)	YES	NO	YES	YES	YES	YES	YES	YES
REMAINING PERIMETER LENGTH	141 LF OF BERM							
NUMBER OF PLANTS REQUIRED	1:50 = 2 1:40 = 4	1:40 = 4 1:40 = 0	1:60 = 0 1:40 = 0	1:40 = 0 1:20 = 15	1:40 = 1 1:20 = 11	1:40 = 0 1:20 = 1	1:40 = 0 1:20 = 7	1:40 = 0 1:20 = 7
NUMBER OF PLANTS PROVIDED	2	3	-	15	11	1	7	7
OTHER TREES (2:1 SUBSTITUTION) SHRUBS (10:1 SUBSTITUTION) (DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)	4	-	-	-	-	-	-	-

TOTAL NUMBER OF PLANTS PROVIDED: 6 SHADE TREES, 38 EVERGREEN TREES, & 10 SHRUBS

LANDSCAPE PLANT LIST

KEY	QUANTITY	BOTANICAL NAME	SIZE	NOTE
6	6	ACER RUBRUM 'RED SUNSET'	2.5'-3" CAL.	B & B
3	3	ULMUS AMERICANA 'VALLEY FORGE'	2.5'-3" CAL.	B & B
17	17	JUNIPERUS VIRGINIANA 'CUPRESSIFOLIA'	6'-8' HT.	B & B
13	13	ILEX 'NELLIE STEVENS'	5'-6' HT.	B & B
14	14	PICEA ABIES	6'-8' HT.	B & B
4	4	LEUCOTHOE AXILLARIS	1.5'-2' SPREAD	B & B
8	8	VIBURNUM CARLISCH	2.5'-3" CAL.	B & B

TOTAL NUMBER OF PLANTS PROVIDED = 9 SHADE TREES, 44 EVERGREEN TREES, & 12 SHRUBS

*"As Built" certification for FSKM
Note: there is no "as built" info. provided on this sheet.*

NOTE: THIS PLAN IS FOR LANDSCAPING AND FOREST CONSERVATION ONLY.

REVISED SITE DEVELOPMENT PLAN

LANDSCAPE AND FOREST CONSERVATION PLAN, NOTES AND DETAILS

THE HIGHLAND INN RESTAURANT

12857 HIGHLAND ROAD, HIGHLAND, MD 20777

PREVIOUS HOWARD COUNTY FILE NO: S: ZB NO.1082M, ECP-12-033, AA CASE NO.12-011, BOA NO. 12-015V. PARCEL 50, ZONED BR

TAX MAP 40 GRID 4 5TH ELECTION DISTRICT

SCHEDULE B: PARKING LOT INTERNAL LANDSCAPING

NUMBER OF PARKING SPACES	97
NUMBER OF TREES REQUIRED (1 SHADE TREE PER 30 SPACES)	5
NUMBER OF TREES PROVIDED	5
SHADE TREES	3
OTHER TREES (2:1 SUBSTITUTION)	6

NOTE: ALTERNATIVE COMPLIANCE IS BEING UTILIZED DUE TO THE LOCATION OF THE SEPTIC EASEMENT UNDER THE PARKING LOT. 3 SHADE TREES AND 4 EVERGREENS HAVE BEEN PLACED ON THE BERM WITH A "CR" LABEL, AND 2 EVERGREENS HAVE BEEN PLACED ON THE SOUTHERNMOST BOUNDARY LINE.

OWNER/DEVELOPER
HIGHLAND HOLDING GROUP LLC
12857 HIGHLAND ROAD
HIGHLAND, MARYLAND 20777

SOILS LEGEND

SYMBOL	NAME / DESCRIPTION	GROUP
GbS	GLADSTONE LOAM, 3 TO 8 PERCENT SLOPES	B
GbB	GLENNVILLE-BALE SILT LOAM, 0 TO 8 PERCENT SLOPES	C

PLAN VIEW
SCALE: 1"=30'

Sill · Adcock & Associates · LLC
Engineers · Surveyors · Planners

3300 North Ridge Road, Suite 160
Ellicott City, Maryland 21043
Phone: 443.325.7682 Fax: 443.325.7685
Email: info@silladcock.com

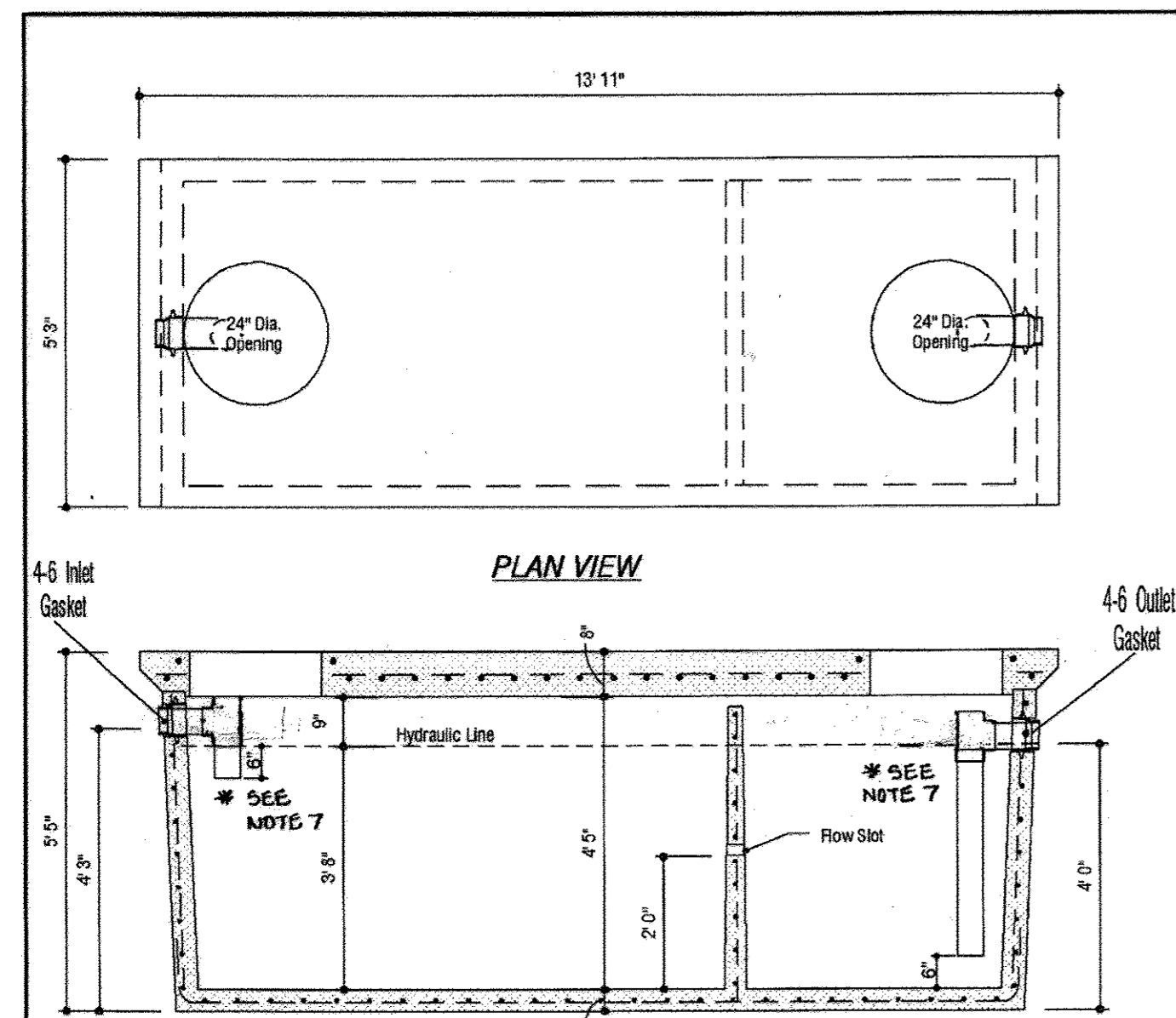
DESIGN BY: JH
DRAWN BY: JH
CHECKED BY: PS
SCALE: AS SHOWN
DATE: JULY 1, 2013
PROJECT #: 09-076
SHEET #: 8 of 10

STATE OF MARYLAND PROFESSIONAL ENGINEERING

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 32025, EXPIRATION DATE: JUNE 23, 2015

GENERAL NOTES

1. ALL PRECAST CONCRETE TO BE 4000 PSI MINIMUM AT 28 DAYS
2. REINFORCING STEEL TO CONFORM TO ASTM A-615 GRADE 60. 1 1/2" MINIMUM CONCRETE COVER.



DESIGN DATA & GENERAL NOTES

- 1) Concrete strength f_c = 5,000 p.s.i. @ 28 days. Density = 150 p.c.f.
- 2) Cement - Portland Type I/II per ASTM C 150-92
- 3) Admixtures & plasticizers per ASTM C 260-95 & C 494-92
- 4) Reinforcing per ASTM A615, Grade 60, Domestic. Min. 1-1/2" cover.
- 5) Walls, base, & top slab designed for HS-20 loading.
- 6) Top slab sealed with built-up traffic.
- 7) Maximum 5' of earth cover over top slab.
- 8) Depending on use of tank, inlet & outlet baffles may be required by code.

REINFORCING DESIGN

Reinforcing per ASTM A185. Min. 1-1/2" cover.

Walls and Base Slab:

- #4 (1/2") Rebar Per the following:
 - 36 pieces 125" long bend @ 90°
 - 52 pieces 100" long bend @ 90°
 - 18 pieces 140" long bend @ 90°
- Top Slab:
 - #5 (5/8") Rebar Per the following:
 - 23 pieces 67" long
 - 12 pieces 118" long
 - 8 pieces 30" long
 - 3 pieces 102" long
 - 8 pieces 156" long

Baffle Wall:

- #4 Bars @ 6" Centers Each Way

MBI Mayer Bros., Inc.

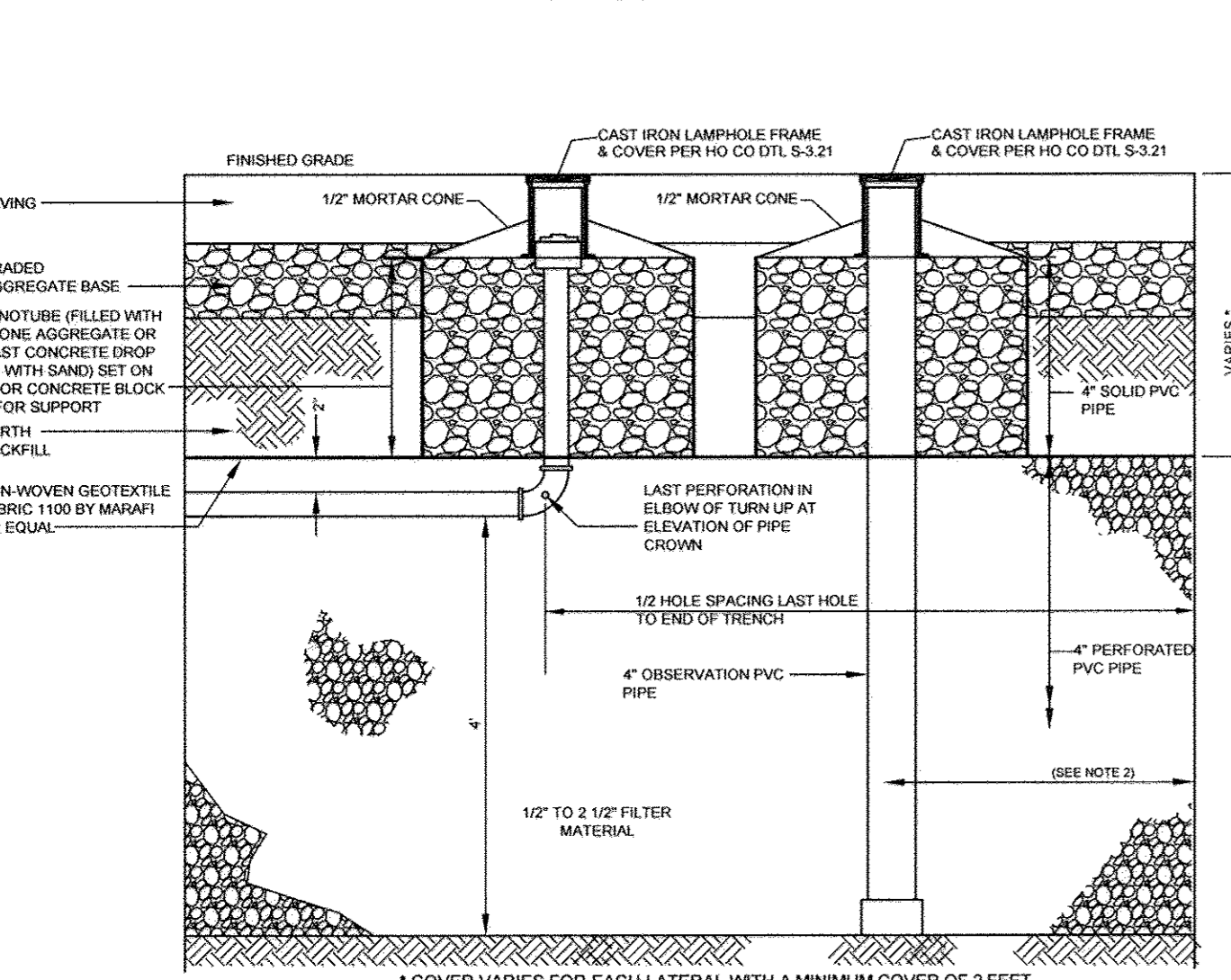
6264 Innes Road
Elkridge, Maryland 21075
Tel. 410.796.1434
Fax. 410.796.1436
www.mayerbrosprecast.com

1500 GALLON TANK - 2 - Compartment Heavy Traffic Rated

Stock Item [Approx. Wt. - 16,000 lbs.]

Dwg. No. 1500TR-2C No Scale Aug 11, 2008

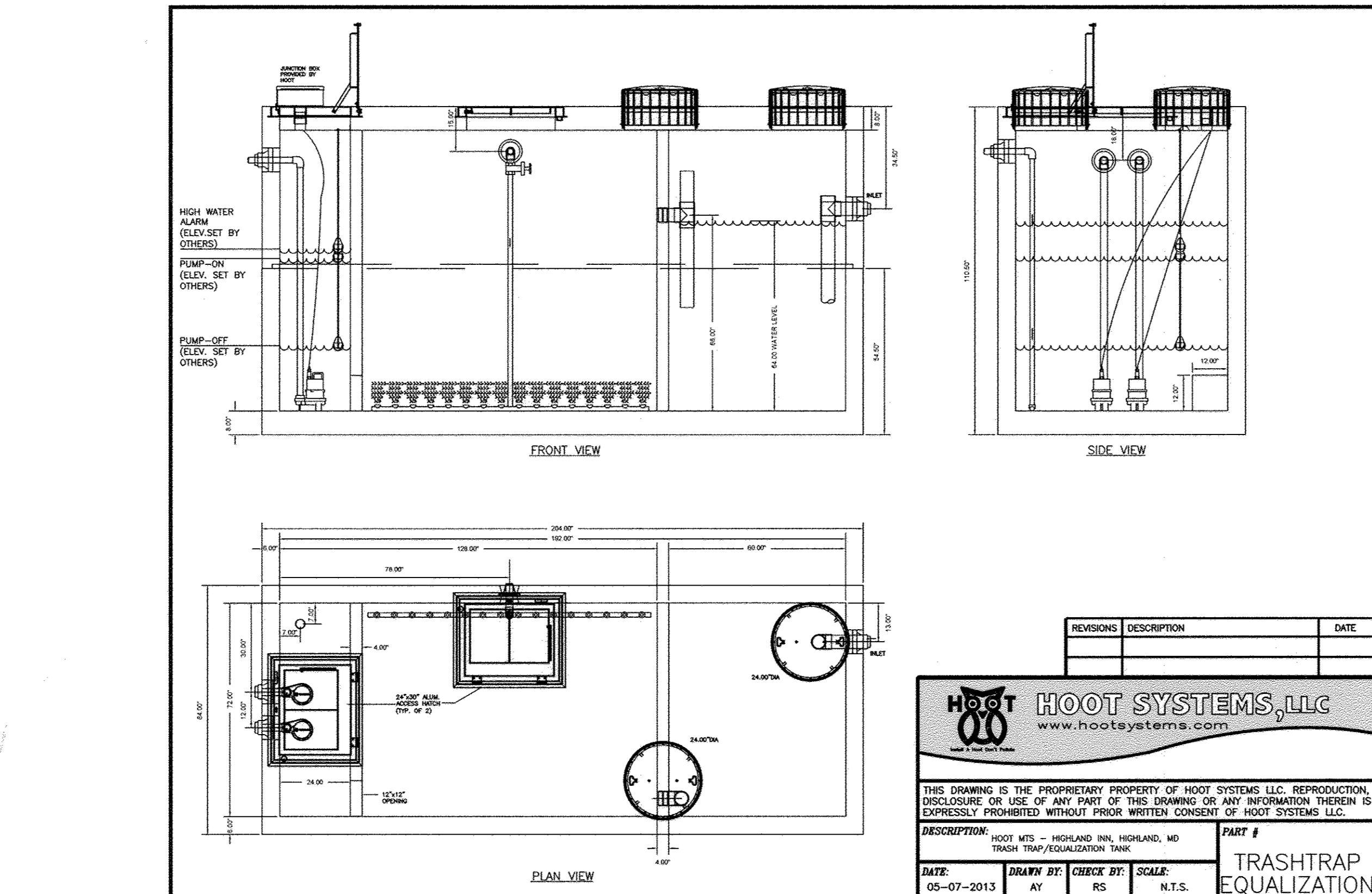
GREASE INTERCEPTOR TANK - DETAIL



PROFILE - DISTAL END OF LATERAL PIPE AND OBSERVATION PIPE DETAIL - DOSING FIELDS (PAVED AREAS)

NOTE:

- 1) FOR TESTING, THE CONTRACTOR SHALL MEASURE LEVELS IN THE TURN-UPS, IN THE PRESENCE OF THE ENGINEER OR INSPECTOR AND A REPRESENTATIVE OF THE HOWARD COUNTY HEALTH DEPARTMENT. LATERAL TURN-UPS SHALL BE TALL ENOUGH AT TIME OF CONSTRUCTION TO CONFIRM THE RESIDUAL HEAD, BUT AFTER TESTING MAY BE SHORTENED UNDER LAMPHOLE FRAME, AS SHOWN ABOVE.
- 2) LATERAL PIPES AND OBSERVATION PIPES ARE LOCATED OUT WITHIN TRENCHES UNLESS OTHERWISE SHOWN ON AMENDED PERCOLATION CERTIFICATION PLAN - SEE SEPTIC SYSTEM TRENCH DESIGN SPECIFICATIONS - SHEET 7 FOR TRENCH WIDTHS.
- 3) FOR LATERAL PIPE DIAMETER, PERFORATION HOLE SIZE AND PERFORATION SPACING REFER TO LATERAL/TRENCH SIZING SUMMARY - SEE SHEET 7.

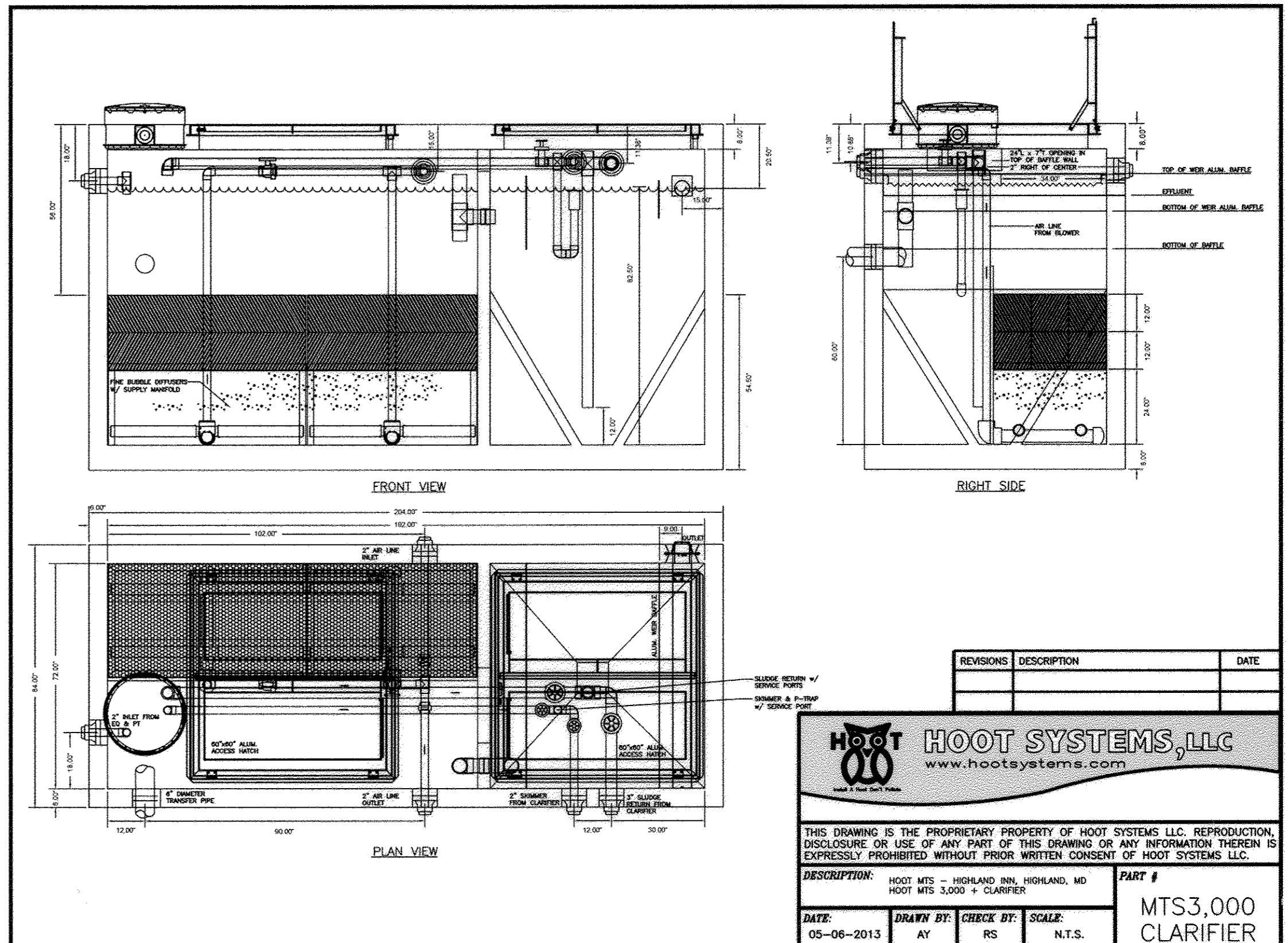


HOOT SYSTEMS, LLC
www.hootsystems.com

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DESCRIPTION: HOOT MTS - HIGHLAND INN, HIGHLAND, MD TRASH TRAP/EQUALIZATION TANK

DATE: 05-07-2013 DRAWN BY: AY CHECK BY: RS SCALE: N.T.S. PART # TRASHTRAP EQUALIZATION

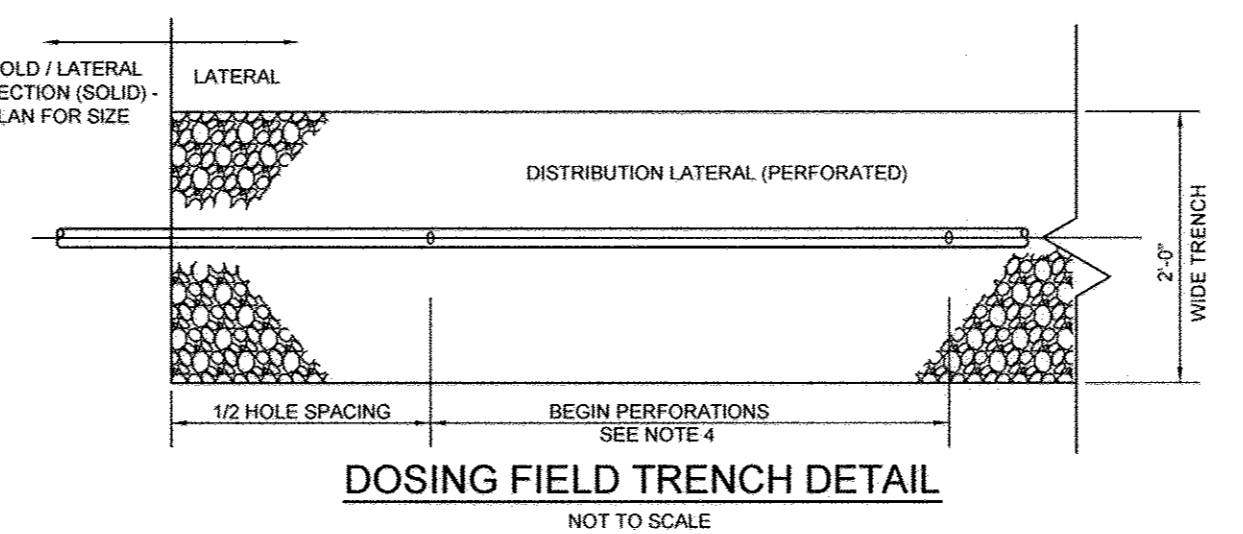


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www.hootsystems.com

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DESCRIPTION: HOOT MTS - HIGHLAND INN, HIGHLAND, MD HOOT MTS 7,500 GALLON PUMP TANK

DATE: 05-06-2013 DRAWN BY: AY CHECK BY: RS SCALE: N.T.S. PART # MTS3,000 CLARIFIER

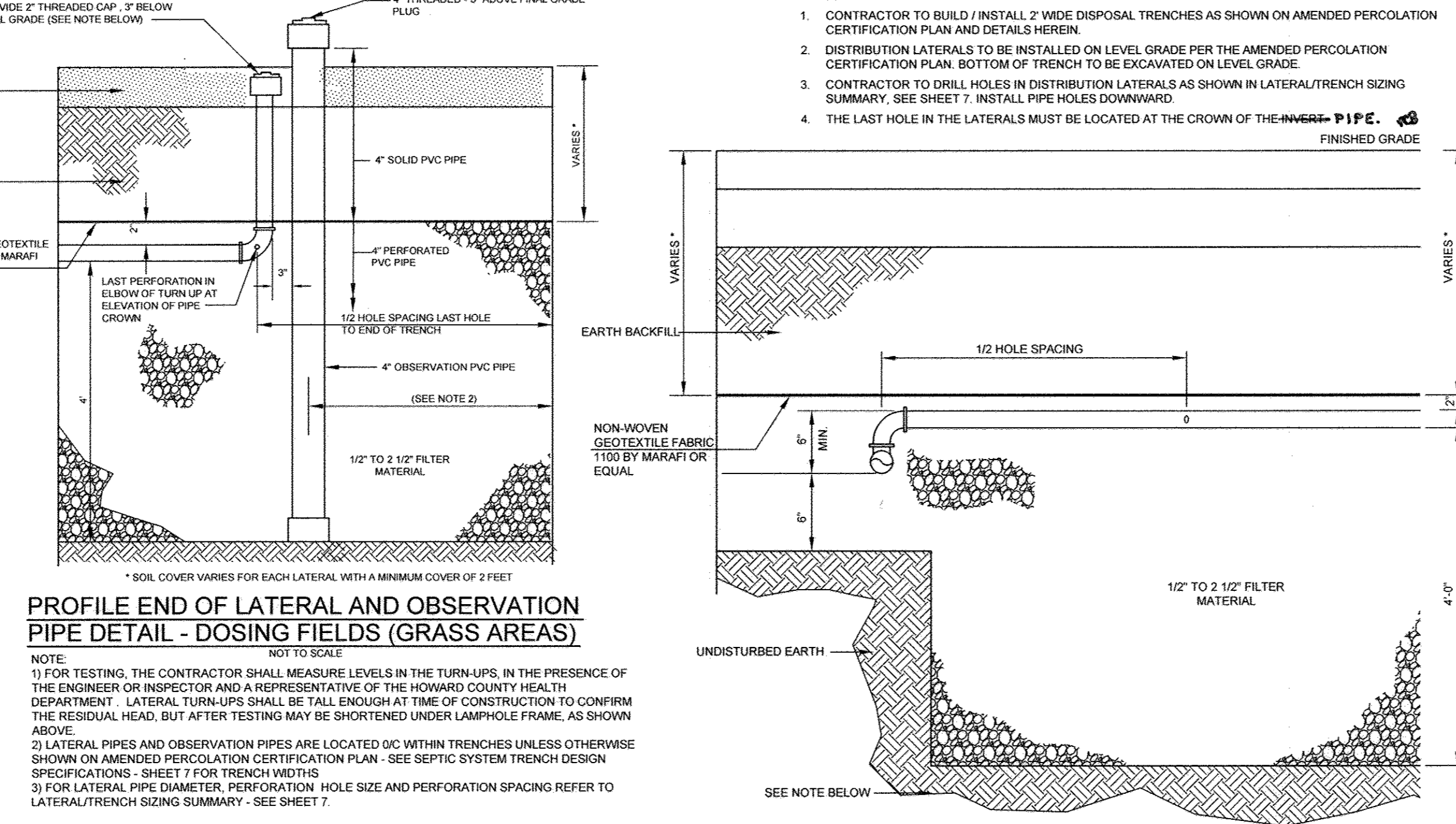


DOSING FIELD TRENCH DETAIL

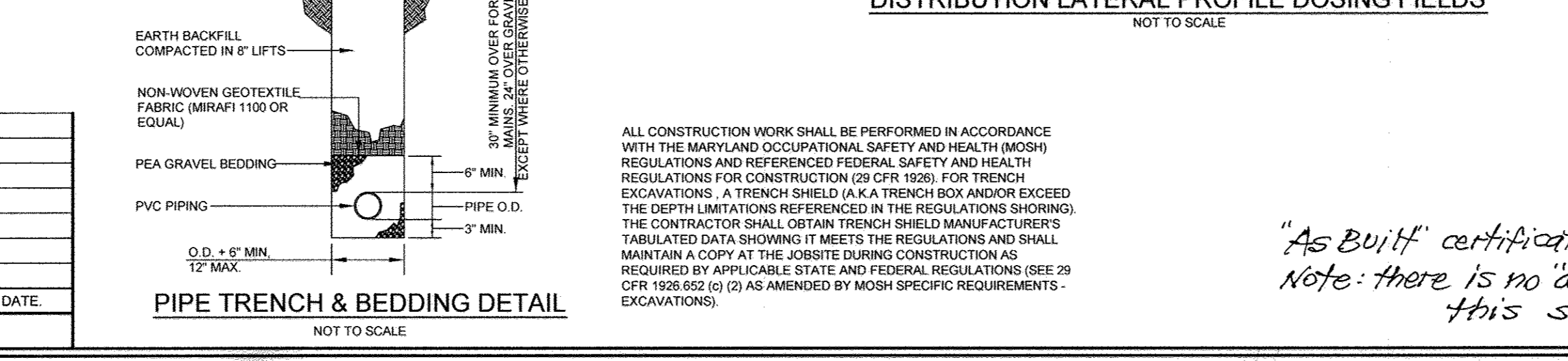
NOT TO SCALE

NOTES:

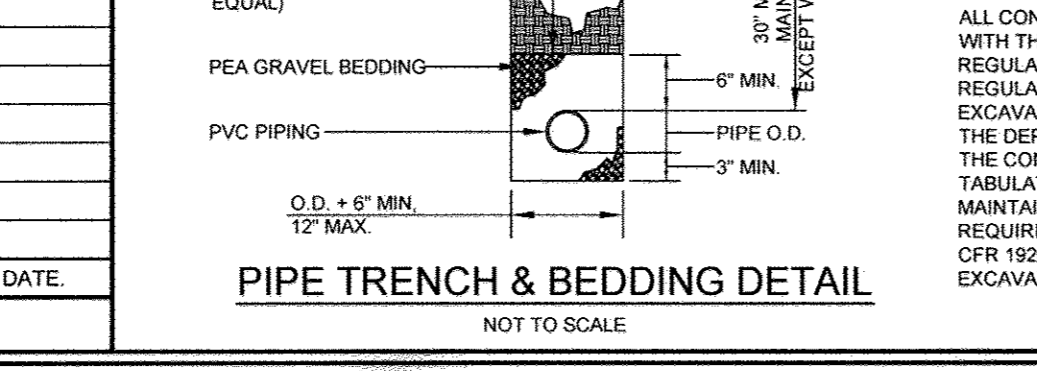
1. CONTRACTOR TO BUILD / INSTALL 2' WIDE DISPOSAL TRENCHES AS SHOWN ON AMENDED PERCOLATION CERTIFICATION PLAN AND DETAILS HEREIN.
2. DISTRIBUTION LATERALS TO BE INSTALLED ON LEVEL GRADE PER THE AMENDED PERCOLATION CERTIFICATION PLAN. BOTTOM OF TRENCH TO BE EXCAVATED ON LEVEL GRADE.
3. CONTRACTOR TO DRILL HOLES IN DISTRIBUTION LATERALS AS SHOWN IN LATERAL/TRENCH SIZING SUMMARY. SEE SHEET 7. INSTALL PIPE HOLES DOWNWARD.
4. THE LAST HOLE IN THE LATERALS MUST BE LOCATED AT THE CROWN OF THE INVERT PIPE.



PROFILE END OF LATERAL AND OBSERVATION PIPE DETAIL - DOSING FIELDS (GRASS AREAS)



DISTRIBUTION LATERAL PROFILE DOSING FIELDS

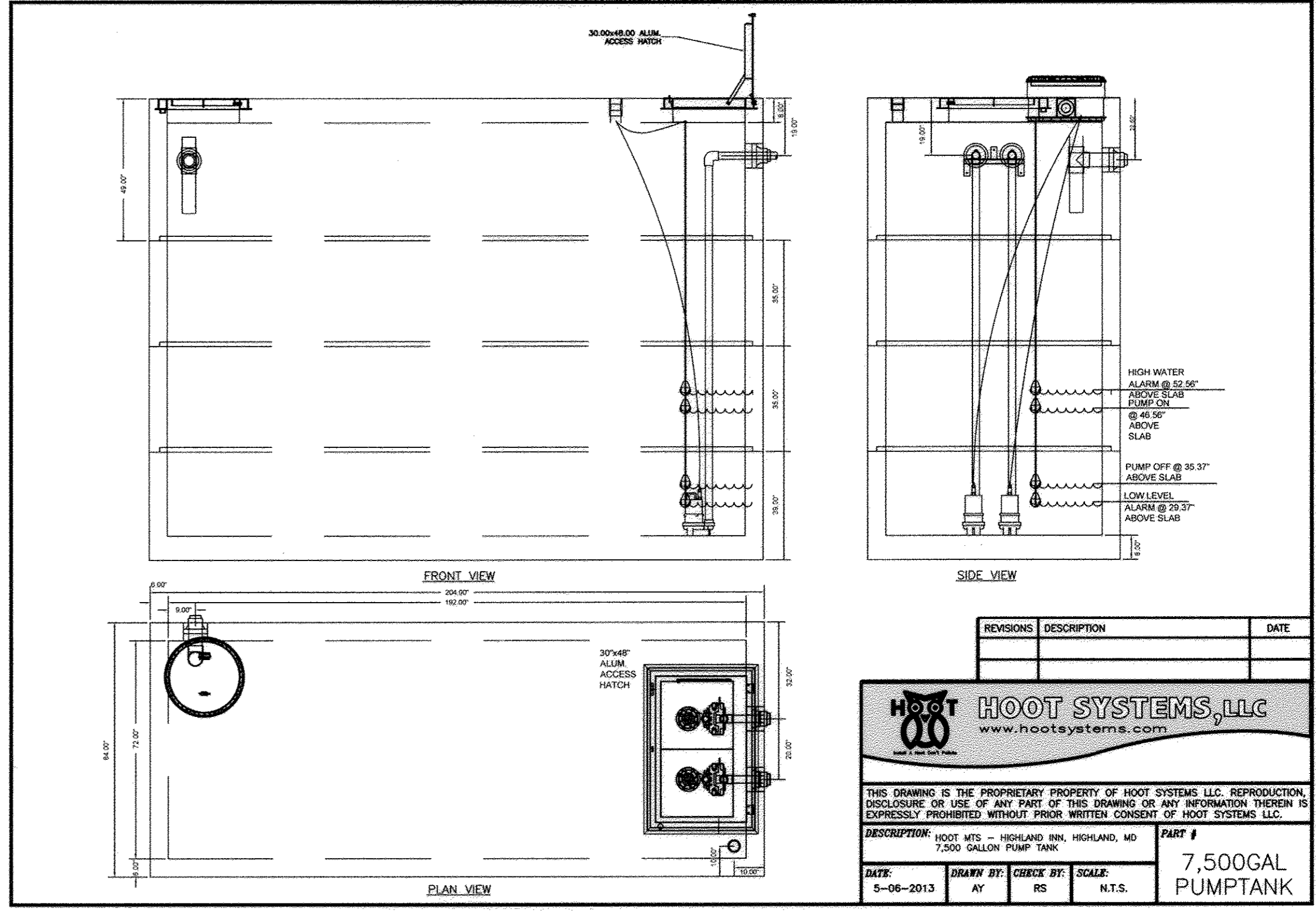


PIPE TRENCH & BEDDING DETAIL

ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MARYLAND OCCUPATIONAL SAFETY AND HEALTH (MOSH) REGULATIONS AND REFERENCED FEDERAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION (29 CFR 1926). FOR TRENCH EXCAVATIONS, A TRENCH SHIELD (A.K.A. TRENCH BOX AND/OR EXCEED THE DEPTH LIMITATIONS REFERENCED IN THE REGULATIONS (SHORING). THE CONTRACTOR SHALL OBTAIN TRENCH SHIELD MANUFACTURER'S TABULATED DATA SHOWING IT MEETS THE REGULATIONS AND SHALL MAINTAIN A COPY AT THE JOBSITE DURING CONSTRUCTION AS REQUIRED BY APPLICABLE STATE AND FEDERAL REGULATIONS (SEE 29 CFR 1926.652 (a) (2) AS AMENDED BY MOSH SPECIFIC REQUIREMENTS - EXCAVATIONS).

NOTE: MAINTAIN A MINIMUM OF 4 FEET UNDISTURBED SOIL BETWEEN BOTTOM OF TRENCH AND TOP OF GROUND WATER ELEVATION.

* COVER VARIES FOR EACH LATERAL WITH A MINIMUM COVER OF 2 FEET



HOOT SYSTEMS, LLC
www.hootsystems.com

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DESCRIPTION: HOOT MTS - HIGHLAND INN, HIGHLAND, MD 7,500 GALLON PUMP TANK

DATE: 5-06-2013 DRAWN BY: AY CHECK BY: RS SCALE: N.T.S. PART # 7,500GAL PUMPTANK

SEPTIC TREATMENT SYSTEM NOTES:

- 1) FOR OVERALL SEPTIC TREATMENT SYSTEM LAYOUT - SEE SHEET 9. CONTRACTOR SHALL UTILIZE HOOT SYSTEM DESIGN AS APPROVED OR EQUIVALENT.
- 2) SHOULD THE CONTRACTOR DISCOVER DISCREPANCIES BETWEEN THE HOOT SYSTEM DETAILS SHOWN ON THESE PLANS AND THE HOOT SYSTEM SHOP DRAWINGS PROVIDED, THE CONTRACTOR SHALL CONTACT THE ENGINEER AND/OR THE HOOT SYSTEM INSTALLATION REPRESENTATIVE FOR RESOLUTION.

MANUFACTURER'S RECOMMENDATION

THE SYSTEM DESIGNED HAS THE ABILITY TO TREAT A 99 SEAT RESTAURANT AT 50 GALLONS PER SEAT FOR A TOTAL OF 4,950 GALLONS PER DAY. THE EQUALIZATION AND CLARIFIER SIZING WOULD ALLOW FOR FLOWS IN EXCESS OF THESE. FROM A TREATMENT POTENTIAL STANDPOINT, FROM A BOD TREATMENT PERSPECTIVE, THE SYSTEM IS DESIGNED TO BREAKDOWN APPROXIMATELY 8.25 LBS. OF BOD ON A SUSTAINED BASIS, WITH A RANGE OF BETWEEN 4 LBS. AND 12 LBS. WITH ONLY TIMER MODIFICATIONS.

OWNER/DEVELOPER
HIGHLAND HOLDING GROUP LLC
12857 HIGHLAND ROAD
HIGHLAND, MARYLAND 20777

SEPTIC TREATMENT SYSTEM NOTES AND DETAILS

THE HIGHLAND INN RESTAURANT
12857 HIGHLAND ROAD, HIGHLAND, MD 20777
PREVIOUS HOWARD COUNTY FILE NO. S: ZB NO.1082M, ECP-12-033, AA CASE NO.12-011.
TAX MAP 40 GRID 4 BOA NO. 12-015V. PARCEL 50, ZONED BR 5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

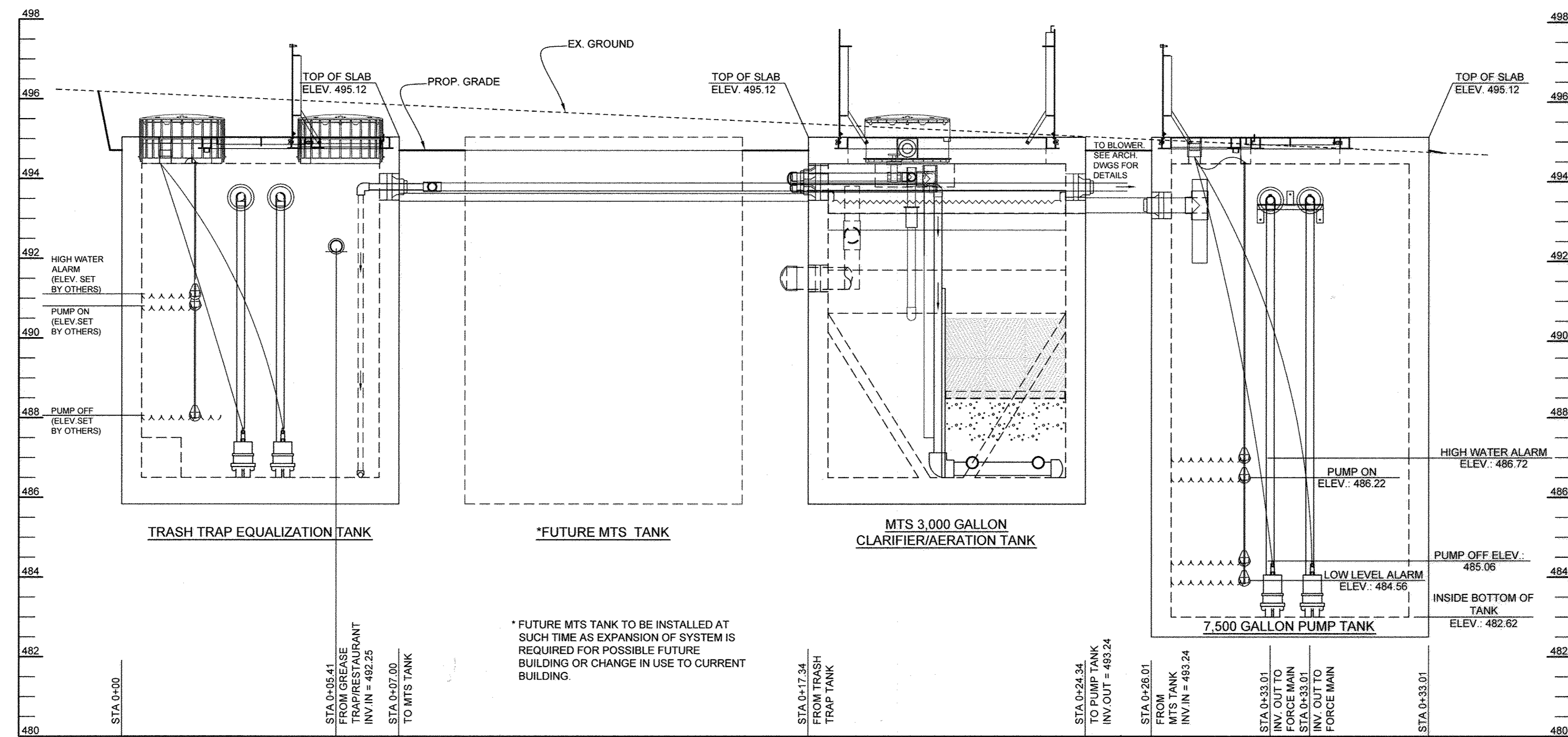
Sill · Adcock & Associates · LLC
Engineers · Surveyors · Planners
3300 North Ridge Road, Suite 160
Ellicott City, Maryland 21043
Phone: 443.325.7682 Fax: 443.325.7685
Email: info@silladcock.com

DESIGN BY: PS/JH
DRAWN BY: JH
CHECKED BY: PS
SCALE: AS SHOWN
DATE: JULY 1, 2013
PROJECT #: 09-076
SHEET #: 8 OF 10

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 30226, EXPIRATION DATE: JUNE 20, 2015

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS			
<i>Raymond R. Moore</i> 7/19/2013 COUNTY HEALTH OFFICER HOWARD COUNTY HEALTH DEPARTMENT			
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING			
<i>John J. Damm</i> 7/25/13 CHIEF, DEVELOPMENT ENGINEERING DIVISION			
<i>John J. Damm</i> 7/29/13 CHIEF, DIVISION OF LAND DEVELOPMENT			
<i>Samuel J. Lanier</i> 7-30-13 DIRECTOR			
	NO.	DESCRIPTION	DATE
		REVISIONS	

- SEPTIC TREATMENT SYSTEM NOTES:
- 1) FOR INDIVIDUAL TANK COMPONENT DETAILS PREPARED BY HOOT SYSTEMS LLC - SEE SHEET 8. CONTRACTOR SHALL UTILIZE HOOT SYSTEMS DESIGN AS APPROVED OR EQUIVALENT.
 - 2) FOR PUMP STATION SEQUENCE OF OPERATIONS - SEE SHEET 7.1) FOR OVERALL SEPTIC TREATMENT SYSTEM LAYOUT - SEE SHEET 9. CONTRACTOR SHALL UTILIZE HOOT SYSTEMS DESIGN AS APPROVED OR EQUIVALENT.
 - 3) SHOULD THE CONTRACTOR DISCOVER DISCREPANCIES BETWEEN THE HOOT SYSTEM DETAILS SHOWN ON THESE PLANS AND THE HOOT SYSTEM SHOP DRAWINGS PROVIDED, THE CONTRACTOR SHALL CONTACT THE ENGINEER AND/OR THE HOOT SYSTEM INSTALLATION REPRESENTATIVE FOR RESOLUTION.



PSX-DIRECT DRIVE
8QRS MULTI-SIZE PIPE-TO-MANHOLE CONNECTOR

What it is
 8QRS PSX-Direct Drive provides a simple method for connecting small diameter pipes into manholes or other structures. The unique design of 8QRS allows it to be easily adapted to 1-1/2" to 4" PVC pipes, either in the plant or in the field. The reliable PSX-Direct Drive power sleeve means that it adapts to almost any 90° hole and seals watertight.

How it Performs
 8QRS PSX-Direct Drive meets or exceeds all requirements of the following Specifications and/or Test Methods:
 ASTM C 923
 ASTM C 1244
 ASTM C 1478
 ASTM F 2510

NITRILE
 8QRS PSX-Direct Drive is now also available in Oil-Resistant NITRILE rubber.

Produced by one or more of the following patents: 6903356, 7146596, 7263748

10
PRESS-SEAL GASKET CORPORATION
 800-348-7252 Fax: (505) 486-1988
 email: sales@psg-usa.com web: www.psg-usa.com

USE NITRILE 8QRS-PSX PIPE SEAL OR EQUIVALENT
SEAL FOR PIPES LESS THAN 4" DIAMETER
 NOT TO SCALE

PUMP PERFORMANCE CURVE
 MODELS 611/621/631/641/651/661

TOTAL DYNAMIC HEAD/ FLOW
 FRESH WASTE SEWAGE AND WASTEWATER

MODEL	611	621	631	641 (PH)
Flow Rate (GPM)	100	150	200	250
TDH (feet)	15	12	10	8

Standard all models - 25 ft. cord - 1.0 HP

Model	Volts	Phase	Watts	Amperes
611	230	1	1000	4.3
621	230	3	1000	13.0
631	230	3	1000	13.0
641	230	3	1000	13.0
651	230	3	1000	13.0
661	230	3	1000	13.0

Standard all models - 25 ft. cord - 1.5 HP

Model	Volts	Phase	Watts	Amperes
611	230	1	1500	6.5
621	230	3	1500	19.5
631	230	3	1500	19.5
641	230	3	1500	19.5
651	230	3	1500	19.5
661	230	3	1500	19.5

Standard all models - 25 ft. cord - 2.0 HP

Model	Volts	Phase	Watts	Amperes
611	230	1	2000	8.7
621	230	3	2000	26.0
631	230	3	2000	26.0
641	230	3	2000	26.0
651	230	3	2000	26.0
661	230	3	2000	26.0

Standard all models - 25 ft. cord - 2.5 HP

Model	Volts	Phase	Watts	Amperes
611	230	1	2500	10.8
621	230	3	2500	32.0
631	230	3	2500	32.0
641	230	3	2500	32.0
651	230	3	2500	32.0
661	230	3	2500	32.0

RESERVE POWERED DESIGN
 For unusual conditions a reserve safety factor is engineered into the design of every Zoeller pump.
 © Copyright 2012 Zoeller Co. All rights reserved.

ZOELLER PUMP SPECIFICATIONS
 NOT TO SCALE

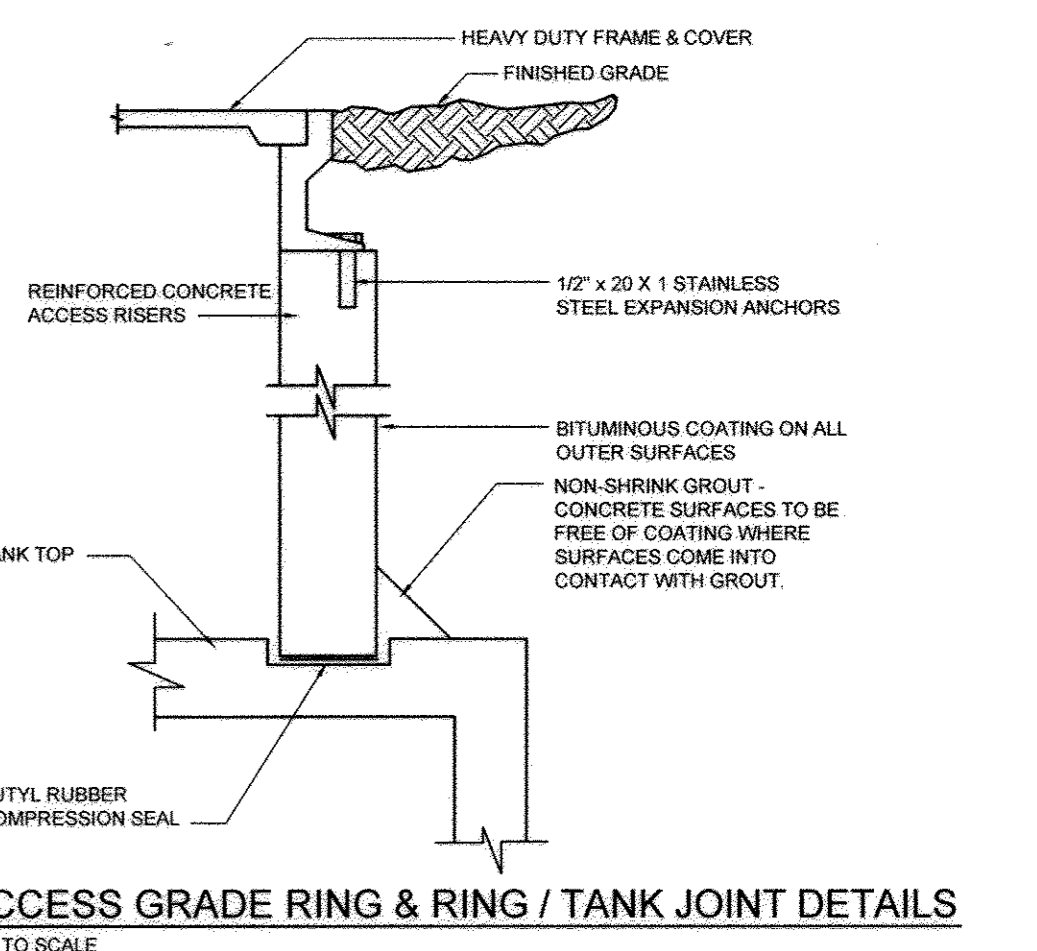
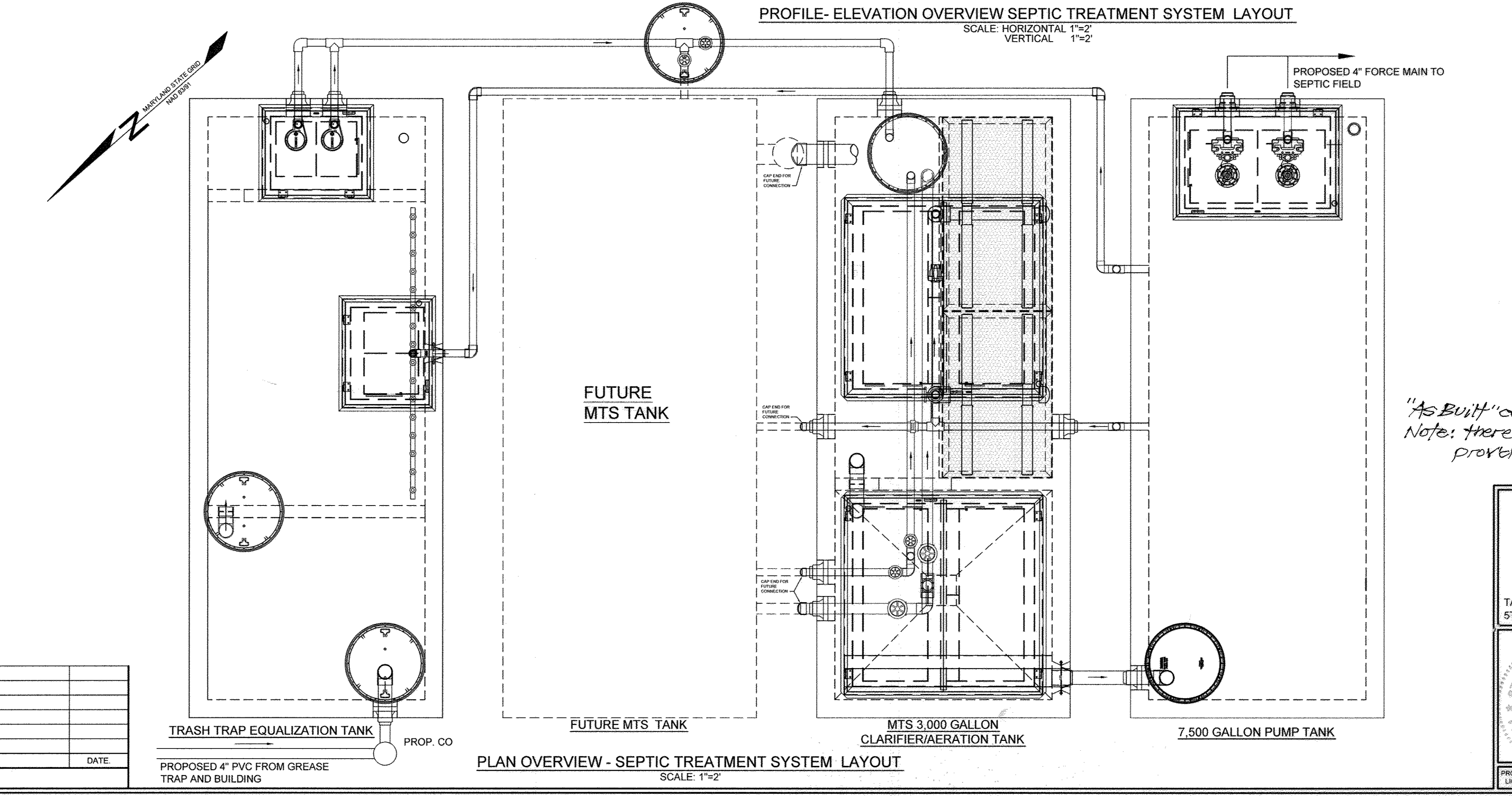
APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS
Barbara M. Moore 7/13/2013
 COUNTY HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
John J. ... 7/25/13
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

... 7/25/13
 CHIEF, DIVISION OF LAND DEVELOPMENT

... 7-30-13
 DIRECTOR

NO.	DESCRIPTION	DATE



*"As Built" certification for PSWM
 Note: there is no "as built" info.
 provd on this sheet.*

OWNER/DEVELOPER
 HIGHLAND HOLDING GROUP LLC
 12857 HIGHLAND ROAD
 HIGHLAND, MARYLAND 20777

SEPTIC TREATMENT SYSTEM NOTES AND DETAILS

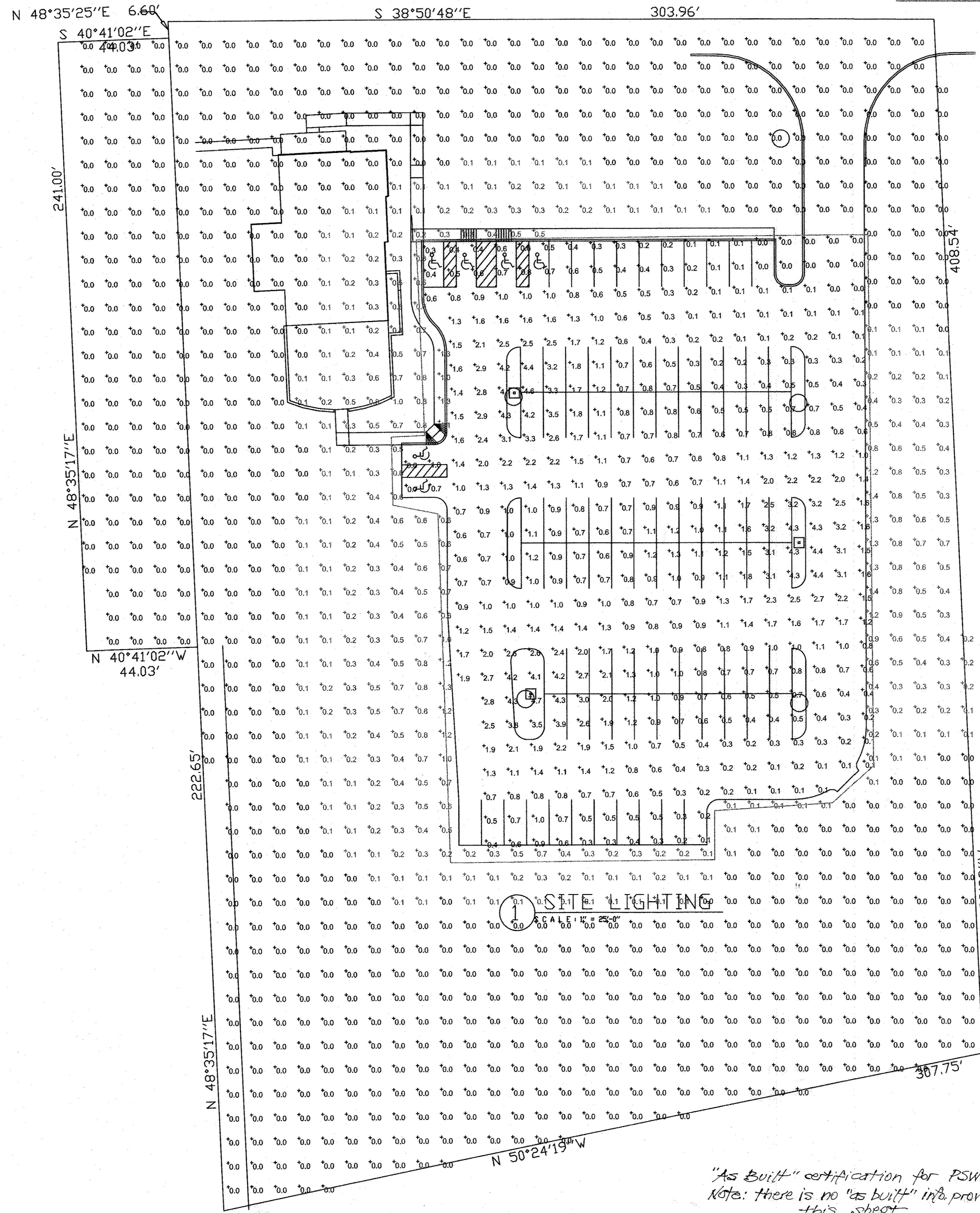
THE HIGHLAND INN RESTAURANT
 12857 HIGHLAND ROAD, HIGHLAND, MD 20777
 PREVIOUS HOWARD COUNTY FILE NO S: ZB NO.1082M, ECP-12-033, AA CASE NO.12-011.
 TAX MAP 40 GRID 4 BOA NO. 12-015V. PARCEL 50, ZONED BR
 5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

Sill · Adcock & Associates · LLC
 Engineers · Surveyors · Planners
 3300 North Ridge Road, Suite 160
 Ellicott City, Maryland 21043
 Phone: 443.325.7682 Fax: 443.325.7685
 Email: info@silladcock.com

DESIGN BY: PS/JH
 DRAWN BY: JH
 CHECKED BY: PS
 SCALE: AS SHOWN
 DATE: JULY 1, 2013
 PROJECT #: 09-076
 SHEET #: 9 of 10

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 32025, EXPIRATION DATE: JUNE 20, 2015

LIGHTING FIXTURE SCHEDULE							
QUANTITY	CATALOG NO.	CKT. VOLTS	LAMPS (SEE CATALOG #)		MOUNTING	MOUNTING	
			NO.	WATTS			
4	FIXTURE: LITHONIA KSF2 400M R3 POLE: SSS 25 5G DM49 DD8 BC	-	1	KSF2 400M_R 3.9w 36,000 LUMENS	400	EXTERIOR POLE	25' TALL 6" SQUARE STEEL POLE, WALL THICKNESS OF 0.188" THICK 7 GAUGE, 1" X 30" X 4" GALVANIZED ANCHOR BOLTS, DARK BRONZE FINISH & FULL BASE COVER. POLE TO BE DRILLED FOR NUMBER OF FIXTURES REQUIRED AS SHOWN ON SITE LIGHTING PLAN.



1 SITE LIGHTING
SCALE: 1" = 25'-0"

"As Built" certification for PSWM
Note: there is no "as built" info. provided on this sheet.

DEVELOPER
OWNER

HIGHLAND HOLDING GROUP LLC
12857 HIGHLAND ROAD
HIGHLAND MARYLAND 20777

SITE LIGHTING PLAN,
NOTES AND DETAILS
THE HIGHLAND INN RESTAURANT

12857 HIGHLAND ROAD, HIGHLAND, MD 20777
PREVIOUS HOWARD COUNTY FILE NO. S: ZB NO. 1082M, ECP-12-033
TAX MAP 40 GRID 4 PARCEL 50, ZONED BR
5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

	Sill · Adcock & Associates · LLC Engineers · Surveyors · Planners 3300 North Ridge Road, Suite 160 Ellicott City, Maryland 21043 Phone: 443.325.7682 Fax: 443.325.7685 Email: info@silladcock.com	DESIGN BY: _____ DRAWN BY: _____ CHECKED BY: _____ SCALE: AS SHOWN DATE: SEPTEMBER 19, 2012 PROJECT #: 09-076 SHEET #: 10 of 10
	PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 32005, EXPIRATION DATE: JUNE 20, 2015.	
	APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING _____ CHIEF, DEVELOPMENT ENGINEERING DIVISION _____ CHIEF, DIVISION OF LAND DEVELOPMENT _____ DIRECTOR	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

 CHIEF, DEVELOPMENT ENGINEERING DIVISION

 CHIEF, DIVISION OF LAND DEVELOPMENT

 DIRECTOR

7/25/13
7/29/13
7-30-13