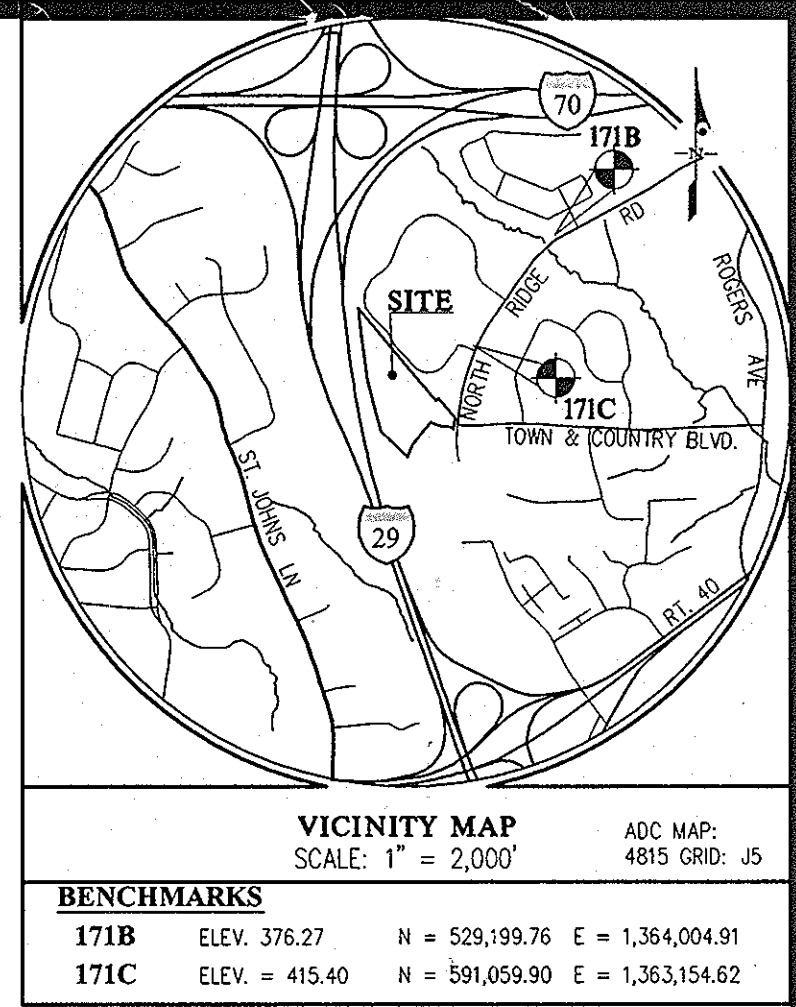


The Gatherings at Ellicott Mills

SITE DEVELOPMENT PLAN

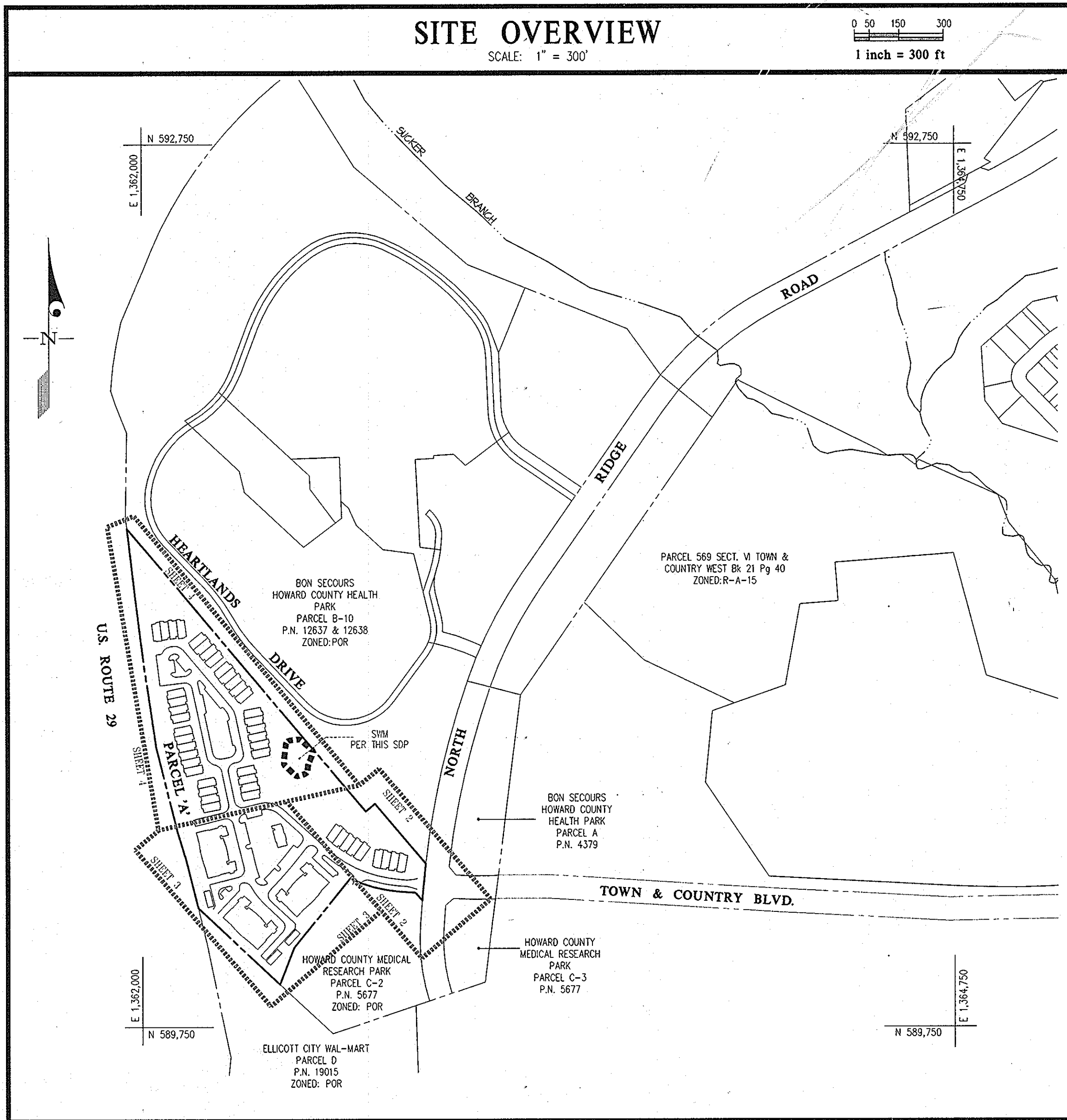
PARCEL 'A'

SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND



GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1890 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48-HOURS PRIOR TO ANY EXCAVATION WORK.
- PROJECT BACKGROUND:
LOCATION: SEE VICINITY MAP IN THE TOP RIGHT CORNER OF THIS SHEET
TAX PARCEL No.: 666
TAX MAP & GRID: 17 / 23
ELECTION DISTRICT: 2
ZONING: 2 PER THE FEBRUARY 2, 2004 COMPREHENSIVE ZONING PLAN.
SITE AREA: 14.064 ACRES (GROSS AREA OF PARCEL A)
FOR OTHER SUBMISSIONS RELATED TO THIS SITE, SEE HOWARD COUNTY DEPT. OF PLANNING & ZONING FILE Nos.: F-98-14, SDP-84-49, SDP-87-210, ECP-12-026, F-12-62, WP-12-127, & F-13-059
- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO THE FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIALY BETWEEN ITEMS UNLESS OTHERWISE NOTED.
- EXISTING TOPOGRAPHY AND FEATURES COMPILED FROM PHOTOGRAMMETRIC BY MCKENZIE SNYDER, INC. (MARCH, 2011), PUBLIC INFORMATION AND G/LW SURVEY DONE IN NOVEMBER/2011.
- COORDINATES ARE BASED ON NAD83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODEIC CONTROL STATION NUMBERS 1718 & 171C.
- STORMWATER MANAGEMENT IS PROVIDED ON-SITE BY A VARIETY OF NONSTRUCTURAL AND MICRO SCALE PRACTICES (SEE SHEETS 12-14).
- PUBLIC WATER AND SEWER SHALL BE UTILIZED (AS PROVIDED BY W&S CONTRACT Nos. 849-D, 14-1156-D AND 14-4738-D). ALL BUILDINGS SHALL BE EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM FOR THE COMMUNITY AND APARTMENT BUILDINGS. A WATER METER IS LOCATED INSIDE EACH BUILDING VAULTS. FOR THE SINGLE FAMILY ATTACHED CONDOMINIUM BUILDINGS, THE WATER METERS ARE LOCATED IN METER VAULTS.
- THE EXISTING UTILITIES SHOWN HEREIN WERE DERIVED FROM AVAILABLE PUBLIC RECORDS. THE CONTRACTOR MUST DIG TEST PITS (BY HAND) AT ALL UTILITY CROSSINGS AND CONNECTION POINTS TO VERIFY EXACT LOCATION. IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONFLICTS.
- ALL ROADS LABELED AS "PUBLIC" ARE PUBLICLY MAINTAINED. ALL PROPOSED ROADS LABELED AS "PRIVATE" ARE PRIVATELY MAINTAINED AND DO NOT MEET PUBLIC ROAD STANDARDS FOR A CROWNED ROAD SECTION AND DRAINAGE. THESE ROADS WILL BE PRIVATE AND MAINTAINED BY A CONDOMINIUM ASSOCIATION.
- ANY DAMAGE TO THE ADJACENT COUNTY OWNED RIGHT-OF-WAY AND PROPERTY SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- THERE ARE NO GRAVE SITES, CEMETERIES, WETLANDS, 100-YR FLOODPLAIN ON THIS SITE. THIS SITE CONTAINS A STREAM AS IDENTIFIED IN THE JULY 20, 2011 INVESTIGATION BY EXPLORATION RESEARCH, INC. THIS SITE ALSO BORDERS AN ADJACENT FOREST CONSERVATION AREA (FCA-4A) ON THE PARCEL-D.
- NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE STREAM(S) OR THEIR BUFFERS, FOREST CONSERVATION EASEMENT AREAS.
- OTHER STUDIES RELATED TO THE DEVELOPMENT OF THIS SITE AND SUBMITTED WITH THIS SDP:
• "ADEQUATE ROAD FACILITY TEST EVALUATION" DATED 05/14/2012 BY THE TRAFFIC GROUP.
• "WETLAND AND STREAM INVESTIGATION" DATED JULY 20, 2011 BY EXPLORATION RESEARCH, INC.
• NOISE STUDY BY FORENSIC/NOISE, DATED DECEMBER 08, 2011.
• GEOTECHNICAL REPORT BY SPECIALIZED ENGINEERING DATED JANUARY 06, 2012.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
A. WIDTH - 12' (16' SERVING MORE THAN ONE RESIDENCE)
B. SURFACE - 6" OF COMPACTED CRUSHER RUN BASE W/1/4" AND CHIP COATING (1-1/2" MIN.), CONCRETE, OR PERVIOUS CONCRETE. SEE SHEETS 5-6 FOR DETAILS.
C. GEOMETRY - MAX. 14% GRADE, MAX. 10% GRADE CHANGE AND MIN. 45' TURNING RADIUS
D. STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 TONS (H2S LOADING)
E. DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YR. FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.
F. MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE.
- BAY WINDOWS, WINDOW WELLS, CHIMNEYS, HEATING OR AIR CONDITIONING UNITS AND EXTERIOR STAIRWAYS IF NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NO MORE THAN 4 FEET INTO ANY REQUIRED SETBACK AREA IN ACCORDANCE WITH SECTION 128.A.1 OF THE ZONING REGULATIONS. THE HEIGHT AND SETBACK REQUIREMENT FOR POR ZONE ARE SHOWN ON THIS SHEET.
- ALL OUTSIDE LIGHTING SHALL COMPLY WITH SECTION 134 OF THE ZONING REGULATIONS.
- THIS PROJECT COMPLIES WITH THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY THE PROPOSED METHODS INDICATED ON SHEETS 19-20 AND THE REQUIRED FOREST CONSERVATION SURETY POSTED WITH THE DEVELOPER AGREEMENT IS \$18,652.00. THERE'S A SEPARATE SURETY FOR THE OFF-SITE REFOREST CONSERVATION AT "WINDSOR FOREST PARCEL-A" (P.N. 12165) ASSOCIATED WITH THIS PROJECT. SEE "FOREST CONSERVATION OBLIGATION & SURETY" ON SHEET 20 FOR SURETY CALCULATIONS.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY OF \$11,250.00 FOR THE REQUIRED LANDSCAPING TO SATISFY SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL SHALL BE POSTED WITH THE DEVELOPER AGREEMENT (FOR ADDITIONAL INFORMATION ON THE LANDSCAPE SURETY CALCULATIONS, SEE SHEET 19 AND 21).
- THE 65DBA NOISE CONTOUR LINE DRAIN ON THIS DEVELOPMENT PLAN IS ADVISORY AS REQUIRED BY THE HOWARD COUNTY DESIGN MANUAL, CHAPTER 5, REVISED FEBRUARY, 1992, AND SHOULD BE CONSIDERED TO EXACTLY LOCATE THE 65 DBA NOISE EXPOSURE. THE 65 DBA NOISE LINE WAS ESTABLISHED BY HOWARD COUNTY TO ALERT DEVELOPERS, BUILDERS AND FUTURE RESIDENTS THAT AREAS BEYOND THIS THRESHOLD MAY EXCEED GENERALLY ACCEPTED NOISE LEVELS ESTABLISHED BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT.
- PER ZONING SECTION 115.63, 10% OF THE TOTAL NUMBER OF UNITS MUST BE MIHUs (13 UNITS TOTAL IN BUILDINGS 1, 2 & 3 WILL BE MIHUs). THE MODERATE INCOME HOUSING UNIT FOR SALE DWELLING UNITS DOCUMENT WAS RECORDED IN THE HOWARD COUNTY LAND RECORDS ON 04/10/2013. THE MODERATE INCOME HOUSING UNIT COVENANT AND RESTRICTIONS FOR SALE DWELLING UNITS DOCUMENT WAS RECORDED IN THE HOWARD COUNTY LAND RECORDS ON 04/10/2013.
- TRASH REMOVAL SHALL BE DONE THRU A PRIVATE REFUSE COLLECTION COMPANY.
- MAIL SERVICE FOR THE 3 APARTMENT BUILDINGS IS INSIDE EACH BUILDING. THERE ARE FOUR (4) CLUSTER MAIL BOXES LOCATED THROUGHOUT THE SITE TO SERVE THE SFA UNITS AND COMMUNITY BUILDING.
- THE 15' ENVIRONMENTAL SETBACK ONLY APPLIES TO HABITABLE CONDOMINIUM UNITS.
- ON JULY 27, 2012 A DESIGN MANUAL WAIVER OF SECTION 3.3.8.2.b OF THE HOWARD COUNTY DESIGN MANUAL, VOLUME II WATER AND SEWER, REQUIRING PUBLIC WATER MAINS SERVING MORE THAN 50 UNITS TO BE LOOPED, WAS APPROVED UNDER THE FOLLOWING CONDITIONS:
1. THE DEVELOPER CONSTRUCTS THE WATER MAIN UP TO THE PROPERTY LINE FOR THE FUTURE EXTENSION AND COMPLETION OF THE WATER MAIN LOOP.
2. THE DEVELOPER AGREES TO PURSUE A GOOD FAITH EFFORT IN ACQUIRING THE NECESSARY OFFSITE EASEMENT FOR THE WATER MAIN LOOP.
3. THE DEVELOPER SHALL NOTIFY THE COUNTY BY DECEMBER 1, 2012 OF THE STATUS OF THE EASEMENT ACQUISITION.
4. IF THE DEVELOPER IS UNSUCCESSFUL IN ACQUIRING THE EASEMENT FROM THE ADJACENT PROPERTY OWNER BY DECEMBER 1, 2012, THE DEVELOPER AGREES TO FUND THE ACQUISITION OF THE EASEMENT THROUGH A CAPITAL PROJECT.
5. AFTER ACQUISITION OF THE EASEMENT BY THE COUNTY, THE DEVELOPER AGREES TO COMPLETE THE CONSTRUCTION OF THE OFF-SITE WATER MAIN LOOP.
6. THESE CONDITIONS WILL BE MADE PART OF THE DEVELOPER AGREEMENT FOR THE CONSTRUCTION OF THE PUBLIC WATER AND SEWER MAINS UNDER CONTRACT 14-4738-D



SITE ANALYSIS DATA CHART

GENERAL SITE DATA	
A. PRESENT ZONING:	POR
B. PROPOSED USE OF SITE:	AGE-RESTRICTED ADULT HOUSING
2. AREA TABULATION FOR PARCEL 'A'	
A. AREA OF PARCEL 'A' (PER P.N. 11833):	14.0607 AC.
B. AREA OF THIS SDP SUBMISSION:	14.0607 AC.
C. LIMIT OF GRADING DISTURBANCE (LOD):	11.84 AC.
3. PARCEL A DEVELOPMENT DATA	
A. PROPOSED NUMBER APT. BUILDINGS:	3
B. PROPOSED NUMBER OF UNITS/APT. BUILDING: 27 (81 APT. UNITS TOTAL)	
C. PROPOSED NUMBER OF SFA CONDO UNITS:	46
D. PROPOSED NUMBER OF TOTAL UNITS:	127
E. PROPOSED COMMUNITY BUILDING SIZE:	2,260 S.F. MIN. (20 S.F. FOR FIRST 99 DWELLING UNITS + 10 S.F. FOR EACH ADD'L UNIT ABOVE 99) ([20x99]=1,980 S.F.] + [10x28]=280 S.F.]
F. PROPOSED COMMUNITY BUILDING SIZE:	2,644 S.F.
G. PROPOSED POOL SIZE:	1,614 S.F. (5' DEEP, MAX. CAPACITY OF 134 PEOPLE @ 1 PERSON/12 S.F.)
H. PARKING REQUIRED:	
81 APT. UNITS @ 2 SPACES/UNIT	= 162 SPACES
46 SFA UNITS @ 2 SPACES/UNIT	= 92 SPACES
2,644 SF COMMUNITY CENTER @ 10 SPACES/1000 SF PLUS	
1 SPACE/EMPLOYEE @ 2 EMPLOYEES	= 28 SPACES
1614 SF SWIMMING POOL AT 1 SPACE PER 10 PERSON	= 14 SPACES
D.M. Vol. 3, TABLE 2.11 (0.3 SPACE/UNIT)	= 39 SPACES
TOTAL PARKING SPACES REQUIRED	= 336 SPACES
I. PARKING PROVIDED:	
COMMON SURFACE SPACES	= 77 SPACES
GARAGE SPACES (FREE STANDING)	= 46 SPACES
GARAGE SPACES (INSIDE APT. BLDGS)	= 78 SPACES (26 SPACES/APT. BLDG.)
GARAGE SPACES (INSIDE SFA UNITS)	= 92 SPACES (2 SPACES/SFA UNIT)
TANDEM DRIVEWAY SPACES (APT. BLDGS)	= 96 SPACES (32 SPACES/APT. BLDG.)
TANDEM DRIVEWAY SPACES (SFA UNITS)	= 92 SPACES (2 SPACES/SFA UNIT)
TOTAL PARKING SPACES PROVIDED	= 481 SPACES (43% EXCESS)
J. OPEN SPACE	
1. RECREATION OPEN SPACE: THE REQUIRED RECREATION OPEN SPACE PER SUBDIVISION SECTION 16.121(2)(4)(v) IS 400 S.F./UNIT (APT. OR SFA). THE REQUIRED AREA OF RECREATIONAL OPEN SPACE FOR 81 APT. UNITS AND 46 SFA UNITS WOULD BE 50,800 SQUARE FEET. THE RECREATIONAL OPEN SPACE AVAILABLE FOR THIS PROJECT IS OVER 50,800 S.F. (SEE THE "RECREATION OPEN SPACE DIAGRAM" ON SHEET-7 FOR THE 1.18 ACRES OF RECREATION OPEN SPACE PROVIDED).	
2. THE TOTAL OPEN SPACE REQUIRED PER ZONING SECTION 115.63 IS 20% OF THE SITE GROSS AREA WHICH WOULD BE 0.20x14,060.7 OR 2,812 ACRES. MORE THAN 2.81 ACRES IS PROVIDED BY THE 1.18 ACRES OF RECREATION OPEN SPACE AND 3.00 ACRES OF ON-SITE FOREST CONSERVATION EASEMENT TO MEET THE 20% OPEN REQUIRED.	

SHEET INDEX

- COVER SHEET
- SITE DEVELOPMENT PLAN / SITE DETAILS
- SITE DEVELOPMENT PLAN
- SITE DEVELOPMENT PLAN
- CURB AND PAVING DELINEATION PLAN
- CURB AND PAVING DELINEATION PLAN
- HANDICAP ACCESSIBILITY DETAILS / SITE DETAILS
- SEWER PROFILES
- STORM DRAIN PROFILES
- STORM DRAIN PROFILES
- STORM DRAIN AREA MAP
- STORMWATER MANAGEMENT DRAINAGE AREA MAP
- STORMWATER MANAGEMENT DETAILS
- STORMWATER MANAGEMENT DETAILS
- SEEDING CONTROL PLAN - PHASE 1
- SEEDING CONTROL PLAN - PHASE 2
- SEEDING CONTROL NOTES AND DETAILS
- SEEDING CONTROL NOTES AND DETAILS
- FOREST CONSERVATION PLAN / OVERALL LANDSCAPE BUFFER ANALYSIS
- FOREST CONSERVATION NOTES AND DETAILS
- LANDSCAPE PLAN / LANDSCAPE NOTES AND DETAILS
- LANDSCAPE PLAN
- LANDSCAPE PLAN
- RETAINING WALL CONSTRUCTION DETAILS
- RETAINING WALL #1 & #2 ELEVATIONS
- OFF-SITE PLANTING PLAN ON WINDSOR FOREST, PARCEL 'A'

ADDRESS CHART

UNIT No.	STREET ADDRESS	UNIT No.	STREET ADDRESS
COMMUNITY BLDG.	8435 ADDERLEY AVENUE	21	8556 COLTRANE COURT
BUILDING 1	3011 DEXTER DRIVE	22	8558
BUILDING 2	8501 COLTRANE COURT	23	8560
BUILDING 3	8511 COLTRANE COURT	24	8562
		25	8566
GARAGE 1	3013 COLTRANE COURT	26	8568
GARAGE 2	3015 COLTRANE COURT	27	8570
GARAGE 3	8505 COLTRANE COURT	28	8572
		29	8576
1	8410 ADDERLEY AVENUE	30	8578
2	8412	31	8580
3	8414	32	8582
4	8416	33	8584
5	8420	34	8588
6	8422	35	8592
7	8424	36	8596
8	8426	37	8598
9	8428	38	8600
10	8530 COLTRANE COURT	39	8547
11	8532	40	8549
12	8534	41	8551
13	8536	42	8553
14	8540	43	8557
15	8542	44	8561
16	8544	45	8565
17	8546	46	8569
18	8548		
19	8550		
20	8554		

POR ZONING DISTRICT HEIGHT LIMITATIONS & SETBACKS

- Maximum height limitations:
 - Structure with minimum setback: 50 feet
 - Structure with an additional 1 foot in height for every 2 feet of setback above the minimum: 80 feet
- Minimum district size, not to prohibit the sale or lease of lots therein: 2 acres
- Minimum structure or use setback:
 - From residential districts or uses except age-restricted housing from R-SA-8 or R-A-15: 75 feet
 - From any other zoning district: 0 feet
 - From public street right-of-way: 10 feet
 - From public street right-of-way: 30 feet
 - If a residential district is separated from the POR district by a public street right-of-way, only the setback from the public street right-of-way shall apply.
- Minimum distances between buildings for attached and apartment units within an age-restricted adult housing development:
 - Face to face: 30 feet
 - Face to side/rear or side: 20 feet
 - Side to side: 15 feet
 - Rear to rear: 50 feet
 - Rear to face: 75 feet

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *[Signature]* 3/25/13
 Chief, Division of Land Development: *[Signature]* 3/25/13
 Chief, Development Engineering Division: *[Signature]* 3/21/13

18. The MIHUs documents referenced in general note #23 were recorded with plat nos. 22916-22917.

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-990-1820 DC/VA: 301-989-2524 FAX: 301-421-4188

NO.	REVISION	DATE	BY	APPR.

PREPARED FOR:
 NORTHBRIDGE, LLC
 24012 FREDERICK ROAD
 SUITE 200
 CLARKSBURG, MARYLAND 20871
 JONATHAN W. SOULE
 301-426-0800

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. 12879
 EXPIRATION DATE: MAY 26, 2014
[Signature]

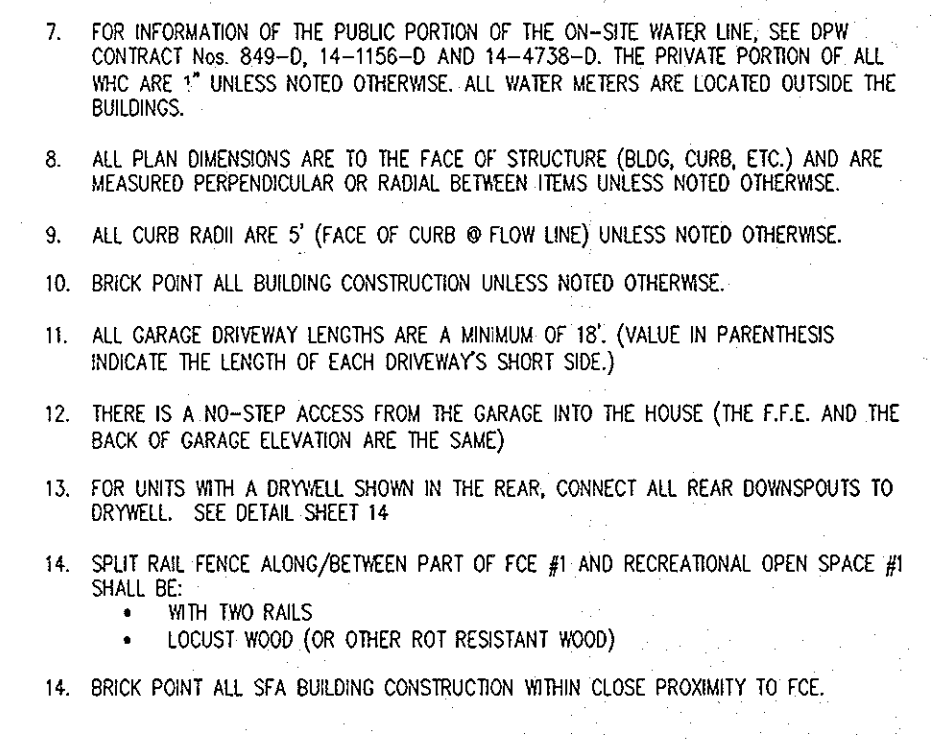
COVER SHEET
THE GATHERINGS at ELlicOTT MILLS
 PARCEL A
 AGE RESTRICTED ADULT HOUSING
 PLAT Nos. 11833 & 122916-22917
 ELECTION DISTRICT No. 2
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	POR	11005
DATE	TAX MAP -- GRID	SHEET
JAN. 2013	17 - 23	1 OF 26

SITE DEVELOPMENT LEGEND

356	EXISTING CONTOUR
300	PROPOSED CONTOUR
-----	PROPOSED ODD CONTOUR
+ 63.1	PROPOSED SPOT ELEVATION
M.E.X.	MATCH EXISTING
●	LIMIT OF DISTURBANCE
○	EXISTING STORM DRAIN
○	PROPOSED STORM DRAIN
M	MANHOLE
I	INLET
S	STUB
Ex. 8" S	EXISTING SANITARY SEWER
8" S (priv)	PROPOSED SANITARY SEWER (PRIVATE)
8" W	WATERLINE (PUBLIC)
WHC (PRIVATE)	WATERLINE (PRIVATE)
○	FIRE HYDRANT (PUBLIC)
-----	EXISTING CURB & GUTTER
○	CONCRETE CURB & GUTTER (DET. 1/6)
○	FACE OF CURB
○	BACK OF CURB
-----	TYPE 'C' COMBINATION CURB & GUTTER (DET. 2/6)
-----	CONCRETE SIDEWALK PER HO. CO. DET. R-3.05
-----	EASEMENT AREA (SHADED)
○	NUMBER OF PARKING SPACES
○	HANDICAPPED PARKING DESIGNATION
○	EXISTING LIGHT FIXTURE & POLE
○	PROPOSED LIGHT FIXTURES & POLE
○	ELECTRICAL TRANSFORMER
○	BUILDING INGRESS/EGRESS
○	PROPOSED BUILDING
○	FFE = FINISHED FLOOR ELEVATION
○	BSE = BASEMENT SLAB ELEVATION
○	GAR = GARAGE (B-BACK, F-FRONT)
○	○ LIP AND DRIVEWAY
○	FOREST CONSERVATION ESMT. (FCE)
○	STREAM BUFFER
○	STREAM
○	EXISTING BARRICADE
○	DRYWELL
○	MAILBOX

- NOTES:**
- FOR EACH UNIT, OPTIONAL BUILDING FEATURES (SUCH AS PATIO, EXTENSIONS, ETC.) ARE ONLY AVAILABLE IF THEY ARE SHOWN ON THESE SITE DEVELOPMENT PLANS.
 - FOR CURB TYPE, PAVING DELINEATION & CENTER LINE GEOMETRY INFORMATION SEE SHEETS 5 AND 6.
 - UNLESS NOTED OTHERWISE, PROPOSED SPOT ELEVATIONS ALONG THE CONCRETE CURB & GUTTER ARE TO THE FLOW LINE (BOTTOM OF CURB) AT THE PCS/PIS, CORNERS AND TERMINUSES.
 - UNLESS NOTED OTHERWISE, ALL SIDEWALK RAMPS ARE TYPE 'C' PER HOWARD COUNTY DPW DETAIL R-4.04 (CURB FILING APPLICATION) AND R-4.05 (PARALLEL TO CURB APPLICATION). DETECTABLE WARNING TRUNCATED DOMES ARE PER HOWARD COUNTY DPW DETAIL R-4.07.
 - ALL ON-SITE PAVING AND ROADWAYS ARE PRIVATELY OWNED AND MAINTAINED BY THE HOA.
 - ALL ON-SITE STORM SYSTEMS ARE PRIVATELY MAINTAINED. ALL ON-SITE WATER ARE PRIVATELY MAINTAINED EXCEPT THE PORTION OF THE 8" W. FIRE HYDRANTS AND WHC THAT ARE WITHIN THE "PUBLIC WATER & UTILITY EASEMENT".
 - FOR INFORMATION OF THE PUBLIC PORTION OF THE ON-SITE WATER LINE, SEE DPW CONTRACT Nos. 849-D, 14-1155-D AND 14-4738-D. THE PRIVATE PORTION OF ALL WHC ARE "UNLESS NOTED OTHERWISE, ALL WATER METERS ARE LOCATED OUTSIDE THE BUILDINGS."
 - ALL PLAN DIMENSIONS ARE TO THE FACE OF STRUCTURE (BLDG, CURB, ETC.) AND ARE MEASURED PERPENDICULAR OR RADIAL BETWEEN ITEMS UNLESS NOTED OTHERWISE.
 - ALL CURB RADI ARE 5' (FACE OF CURB @ FLOW LINE) UNLESS NOTED OTHERWISE.
 - BRICK POINT ALL BUILDING CONSTRUCTION UNLESS NOTED OTHERWISE.
 - ALL GARAGE DRIVEWAY LENGTHS ARE A MINIMUM OF 18' (VALUE IN PARENTHESES INDICATE THE LENGTH OF EACH DRIVEWAY'S SHORT SIDE.)
 - THERE IS A NO-STEP ACCESS FROM THE GARAGE INTO THE HOUSE (THE F.F.E. AND THE BACK OF GARAGE ELEVATION ARE THE SAME).
 - FOR UNITS WITH A DRYWELL SHOWN IN THE REAR, CONNECT ALL REAR DOWNSPOUTS TO DRYWELL. SEE DETAIL SHEET 14.
 - SPLIT RAIL FENCE ALONG/BETWEEN PART OF FCE #1 AND RECREATIONAL OPEN SPACE #1 SHALL BE:
 - WITH TWO RAILS
 - LOCUST WOOD (OR OTHER ROT RESISTANT WOOD)
 - BRICK POINT ALL SFA BUILDING CONSTRUCTION WITHIN CLOSE PROXIMITY TO FCE.



LIGHTING FIXTURE SCHEDULE

SYMBOL	250 WATT PPS, VAPOR COBRA FIXTURE ON A BRONZE FIBERGLASS POLE USING A 12" ARM	MOUNTING
○		30' POLE

GRAPHIC SCALE
1 inch = 30 ft.

0 15 30 60 90

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Mark A. Long 3/25/12
Director Date

Neil Sheldahl 3/25/13
Chief, Division of Land Development Date

Chad Edwards 2-21-13
Chief, Development Engineering Division Date

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 FAX: 301-421-4188

UNIVERSAL DESIGN GUIDELINES FOR AGE-RESTRICTED ADULT HOUSING IN HOWARD COUNTY

THE HOWARD COUNTY ZONING REGULATIONS ALLOW FOR "ACTIVE ADULT HOUSING" AS EITHER A CONDITIONAL USE IN RESIDENTIAL ZONING DISTRICTS OR AS A PERMITTED USE IN THE PLANNED SENIOR COMMUNITY, PLANNED OFFICE, RESEARCH, COMMUNITY CENTER, TRANSITION AND RESIDENTIAL INSTITUTIONAL ZONING DISTRICTS. AGE-RESTRICTED DEVELOPMENT MUST BE APPROPRIATELY DESIGNED FOR ADULTS AT LEAST 55 YEARS OF AGE. SITE IMPROVEMENTS MUST ENSURE ACCESSIBLE ROUTES BETWEEN PARKING, DWELLING UNITS AND COMMON AREAS. INDIVIDUAL DWELLINGS MUST INCORPORATE UNIVERSAL DESIGN FEATURES TO BE ADAPTABLE FOR RESIDENTS WITH MOBILITY AND FUNCTIONAL LIMITATIONS THAT OCCUR RESULT FROM AGING.

DESIGN STANDARDS FOR SITE ACCESSIBILITY AND USABLE COMMON AREAS HAVE BEEN ESTABLISHED FOR MULTI-FAMILY HOUSING BY THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING ACT OF 1988. WHILE RECOGNIZED STANDARDS FOR INDIVIDUAL UNITS FOR OLDER ADULTS HAVE NOT BEEN ESTABLISHED, UNIVERSAL DESIGN IS AN EVOLVING CONCEPT THAT PROVIDES SOME GUIDANCE.

ACCORDINGLY, THE DEPARTMENT OF PLANNING AND ZONING MET WITH SEVERAL SENIOR HOUSING DEVELOPERS, REPRESENTATIVES OF THE HOMES FOR LIFE COALITION OF HOWARD COUNTY, THE OFFICE ON AGING AND THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS TO DISCUSS MINIMUM REQUIREMENTS. DIVERGENT VIEWS WERE EXPRESSED REGARDING THE FEATURES THAT SHOULD BE REQUIRED VS. OPTIONAL. FEATURES VARY CONSIDERABLY IN COST, RELEVANCE FOR DIFFERENT USERS, AND ADAPTABILITY TO DIFFERENT SITES AND PROJECT TYPES. DEVELOPERS' CHIEF CONCERNS WERE THAT THE CURRENT MARKET DOESN'T PERCEIVE A NEED FOR MOST UNIVERSAL DESIGN FEATURES SINCE THE OLDEST BOOMERS ARE STILL RELATIVELY YOUNG AND AREN'T FOCUSED ON HOW THEIR NEEDS MAY CHANGE OVER TIME. CONCERN WAS ALSO EXPRESSED ABOUT INCREASING THE COST OF SENIOR HOUSING IF MANY UNIVERSAL DESIGN FEATURES ARE REQUIRED RATHER THAN OPTIONAL.

THESE GUIDELINES REFLECT A MIDDLE POSITION FOCUSING ON REQUIRING THOSE FEATURES THAT ARE RELATIVELY INEXPENSIVE IF PART OF INITIAL CONSTRUCTION, BUT WOULD REQUIRE MAJOR REVISION TO RETROFIT IN THE FUTURE. ITEMS THAT ARE EITHER RELATIVELY LESS EXPENSIVE TO RETROFIT IN THE FUTURE ARE LISTED AS DESIRABLE OR OPTIONAL.

REQUIRED

- FOR MULTI-FAMILY APARTMENT OR CONDO DEVELOPMENT, AN ACCESSIBLE PATH BETWEEN PARKING DWELLING UNITS, AND COMMON AREAS THAT MEET ADA STANDARDS.
- FOR SINGLE FAMILY DETACHED AND ATTACHED DEVELOPMENTS, A "NO-STEP" ACCESS TO THE FRONT DOOR ENTRANCE TO ALL DWELLING UNITS AND COMMUNITY BUILDINGS. IF A NO-STEP FRONT ENTRANCE IS NOT FEASIBLE, AN ALTERNATE NO-STEP SIDE OF GARAGE ENTRY TO THE FIRST FLOOR MAY BE APPROVED (A NO-STEP ENTRANCE IS DESIRABLE, BUT NOT REQUIRED AT OTHER ENTRANCES).
- 36" WIDE FRONT DOOR WITH EXTERIOR LIGHTING AT THE ENTRANCE (EXTERIOR DOORS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE EXTERIOR DOOR. THE ILLUMINATION OF THE EXTERIOR LIGHT SHALL BE CONTROLLED FROM INSIDE THE DWELLING UNITS, EXCEPTION: LIGHTS THAT ARE CONTINUOUSLY ILLUMINATED OR AUTOMATICALLY CONTROLLED).
- ALL INTERIOR DOORWAYS AT LEAST 32" CLEAR WIDTH IN THE OPEN POSITION (2/10 DOORS OR A 36" IS PREFERABLE).
- 36" WIDE FULLY ACCESSIBLE ROUTE MUST CONNECT THROUGH OUT THE FIRST FLOOR OF THE DWELLING UNIT. THE MAXIMUM VERTICAL FLOOR LEVEL CHANGE IS 3/4" INCH, EXCEPT WHEN A TAPERED THRESHOLD IS USED, THE MAXIMUM HEIGHT IS 1/2" INCH (40-42" IS PREFERABLE).
- COMPLETE LIVING AREA INCLUDING MASTER BEDROOM AND BATH ON FIRST LEVEL (OR ELEVATOR ACCESS IF MULTI-STORY APARTMENTS).
- LEVER HANDLES ON INTERIOR AND EXTERIOR DOORS.
- CLEAR FLOOR SPACE OF 30" X 48" INCHES CENTERED ON THE APPLIANCE OR FIXTURE SHALL BE PROVIDED AT EACH FIXTURE IN THE KITCHEN. FLOOR SPACES CAN OVERLAP (FAIR HOUSING ACT).
- REINFORCED WALLS TO ALLOW FOR THE LATER INSTALLATION OF GRAB BARS AROUND THE TOILET, TUB, AND SHOWER STALL.
- MANEUVERING SPACE WITHIN THE BATHROOM TO PERMIT A PERSON USING A MOBILITY AID TO ENTER THE ROOM, CLOSE AND REOPEN THE DOOR, WITH A CLEAR FLOOR SPACE OF 30" X 48" SHOULD BE PROVIDED AT EACH FIXTURE AND CENTERED ON EACH FIXTURE. THE 30" X 38" FLOOR SPACES CAN OVERLAP EACH OTHER (NOTE: THIS IS A REQUIREMENT IN THE FAIR HOUSING ACT GUIDELINES).
- WALL MOUNTED LIGHT SWITCHES, ELECTRICAL OUTLETS, OR ENVIRONMENTAL CONTROLS SHALL BE MOUNTED FOR A REACHING RANGE OF MINIMUM 15" OFF THE FLOOR AND A MAXIMUM 48" ABOVE THE FLOOR.

DESIRABLE

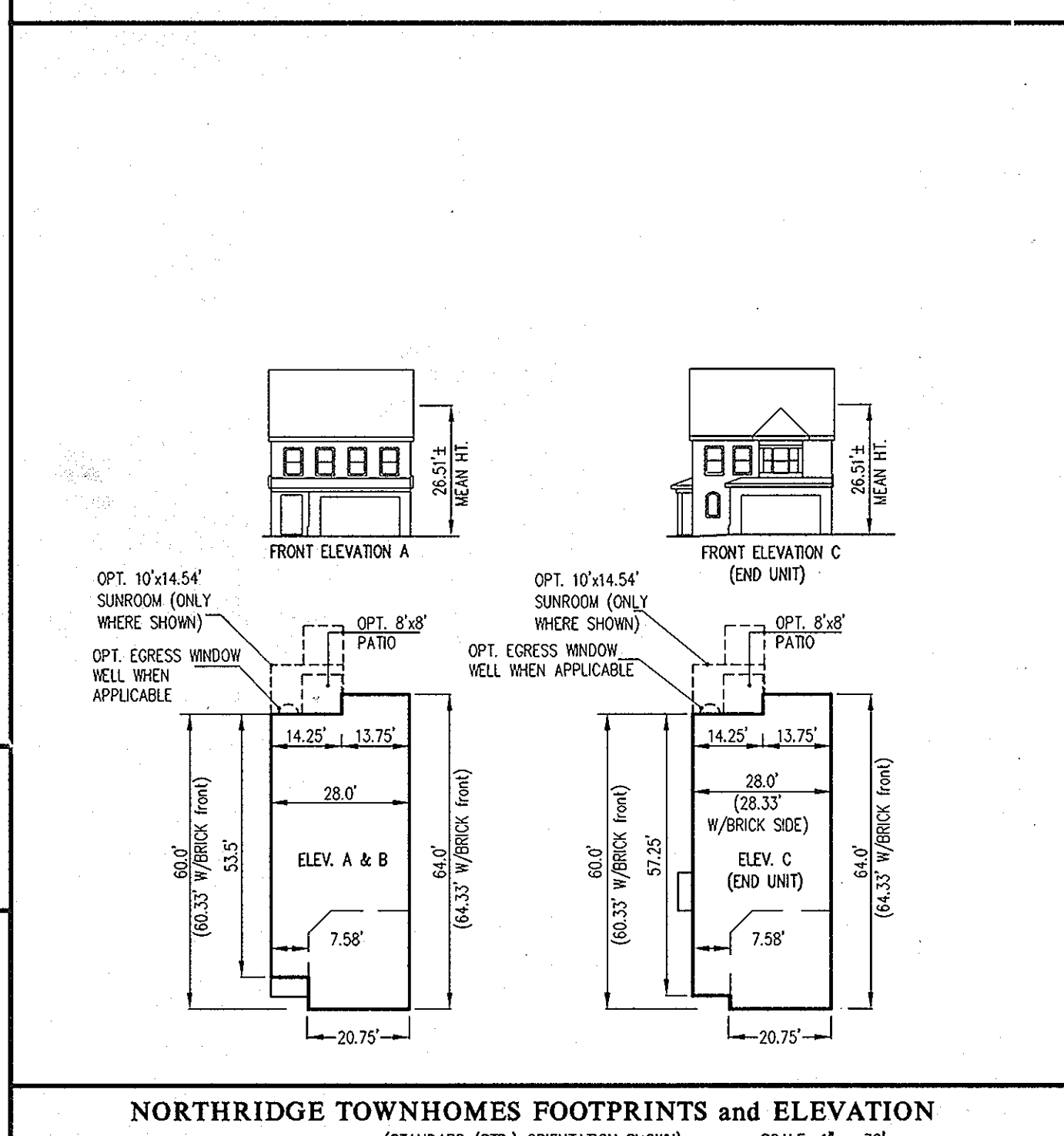
- LOW MAINTENANCE EXTERIOR MATERIALS.
- COVERED MAIN ENTRY.
- ENTRY DOOR APPROACH WITH 18"-24" OF CLEARANCE AT SIDE ADJACENT TO HANDLE.
- SMOOTH TRANSITIONS BETWEEN ROOMS (VERTICAL THRESHOLD OF 2" OR LESS).
- SLIP RESISTANT FLOORING.
- MAXIMIZE ACCESSIBLE PATH BETWEEN MAIN LIVING ROOMS (PREFERABLE 38-42").
- LEVER HANDLES ON KITCHEN AND BATHROOM SINKS, PLUS SHOWER.
- ANTI-SCALD DEVICES ON ALL PLUMBING FIXTURES.
- 5' TURNING RADIUS OR T-TURN IN KITCHEN AND FIRST FLOOR BATHROOM.
- PARALLEL AND FORWARD APPROACH MANEUVERING SPACE IN FRONT OF APPLIANCES AND PLUMBING FIXTURES.
- MAIN ELECTRICAL BREAKER BOX LOCATED ON THE FIRST FLOOR.
- SWITCHES, DOORBELL, THERMOSTATS, AND BREAKER BOXES SHOULD BE LOCATED NO MORE THAN 48" ABOVE THE FLOOR. ELECTRICAL RECEPTACLES SHOULD BE AT LEAST 15' ABOVE THE FLOOR.
- STACKING OF CLOSETS LARGE ENOUGH TO ACCOMMODATE FUTURE INSTALLATION OF AN ELEVATOR.
- REINFORCING IN SHOWER STALLS TO PERMIT FUTURE INSTALLATION OF A WALL-HUNG BENCH SEAT.

CUSTOM OPTIONS

- SECURITY SYSTEM.
- VISUAL ID OF VISITORS.
- VISUAL SMOKE DETECTORS.
- HANDRAILS ON BOTH SIDES OF EXTERIOR AND INTERIOR STAIRS.
- TASK LIGHTING IN KITCHEN, BATH AND OTHER WORKSPACES.
- ROCKER LIGHT SWITCHES.
- LIGHTING IN CLOSETS AND PANTRY.
- CLOSET RODS ADJUSTABLE FROM 3' TO 5'6".
- SLIP RESISTANT FLOORING IN KITCHEN AND BATH.
- MULTI-LEVEL OR ADJUSTABLE KITCHEN COUNTERTOPS AND WORKSPACES.
- PULLOUT SHELVES FOR KITCHEN BASE CABINETS.
- FRONT MOUNTED CONTROLS ON STOVE.
- INSTALLATION OF GRAB BARS IN BATHROOM.
- HAND-HELD SHOWERHEAD IN SHOWER.
- CURBLESS SHOWER.

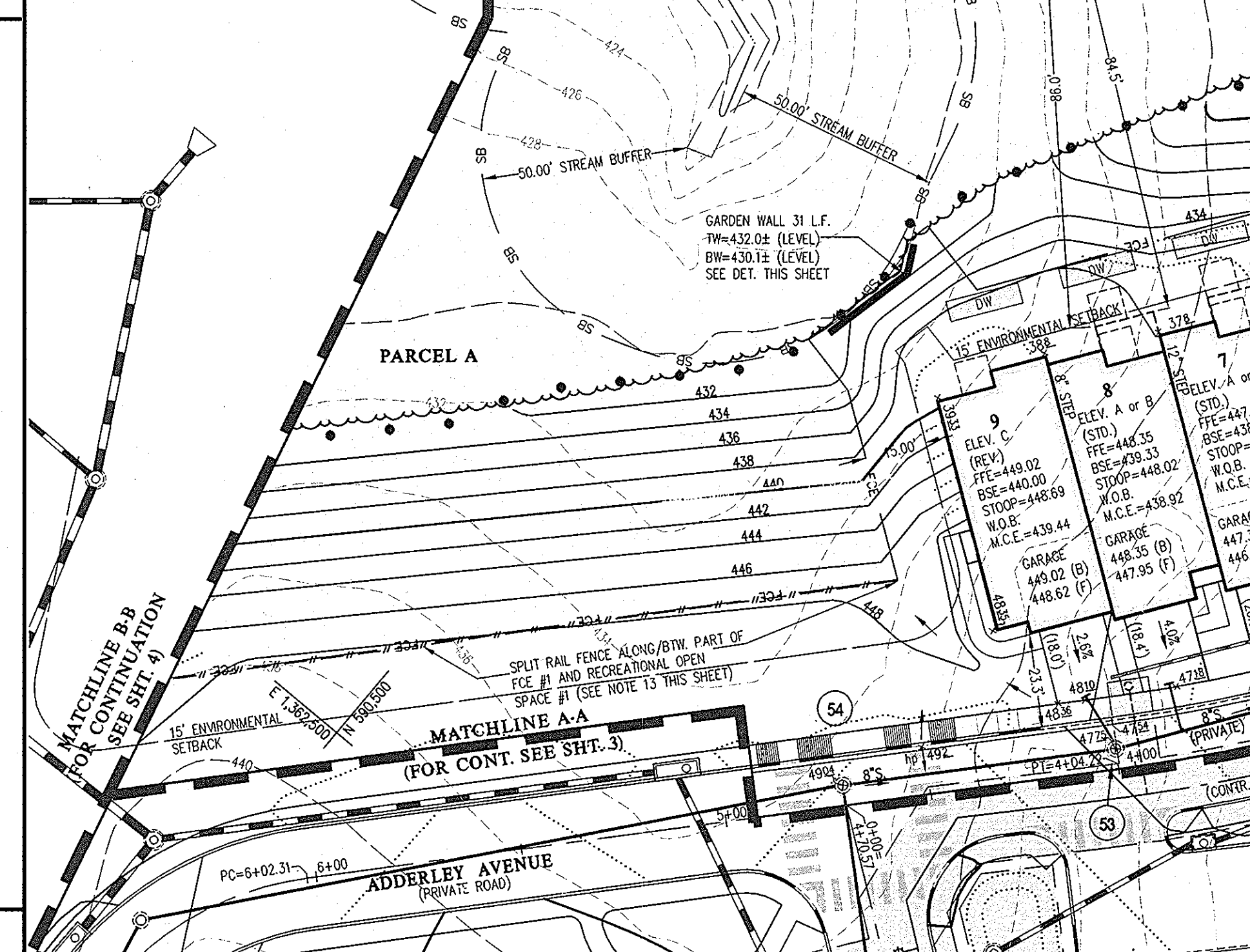
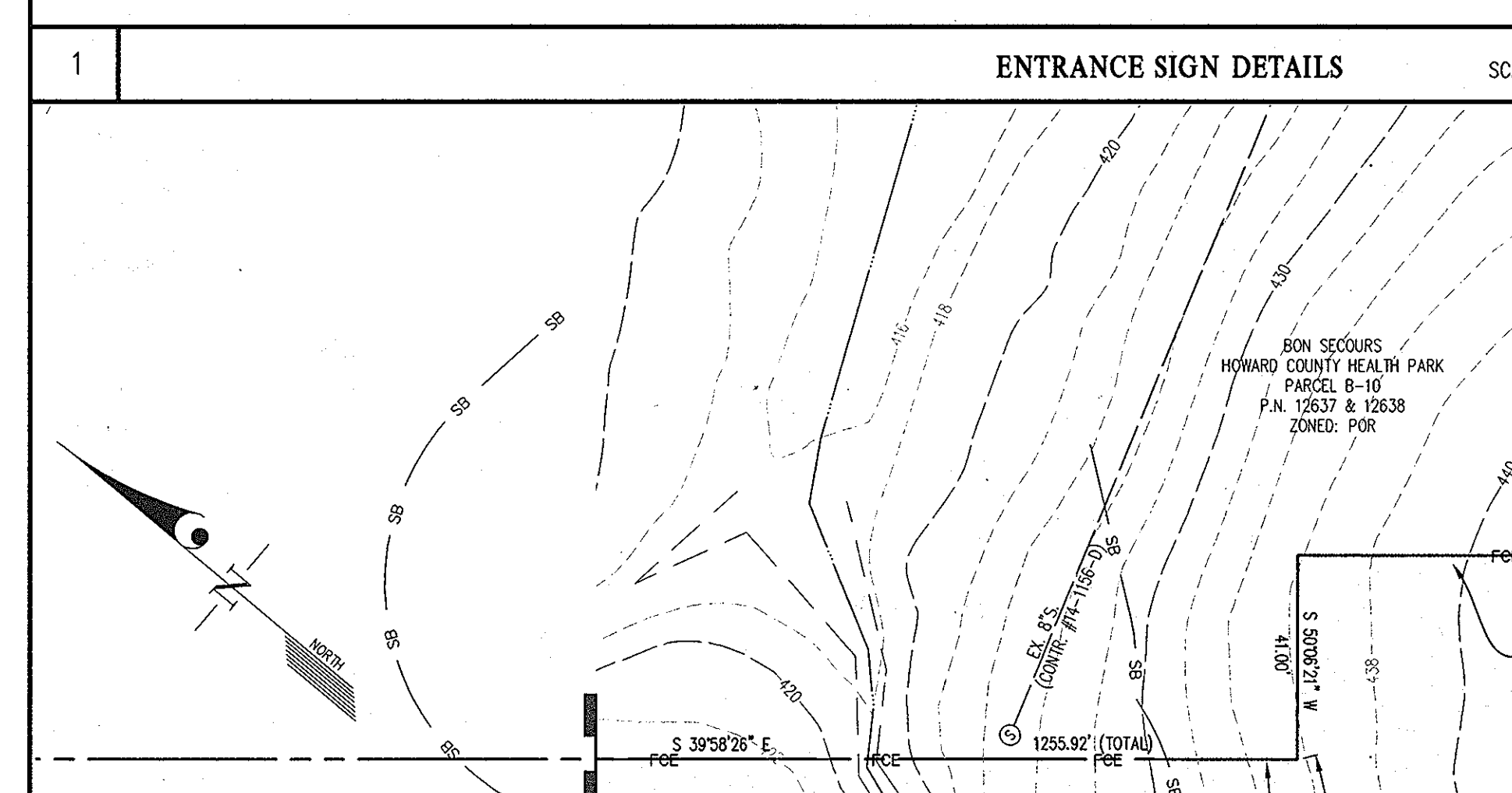
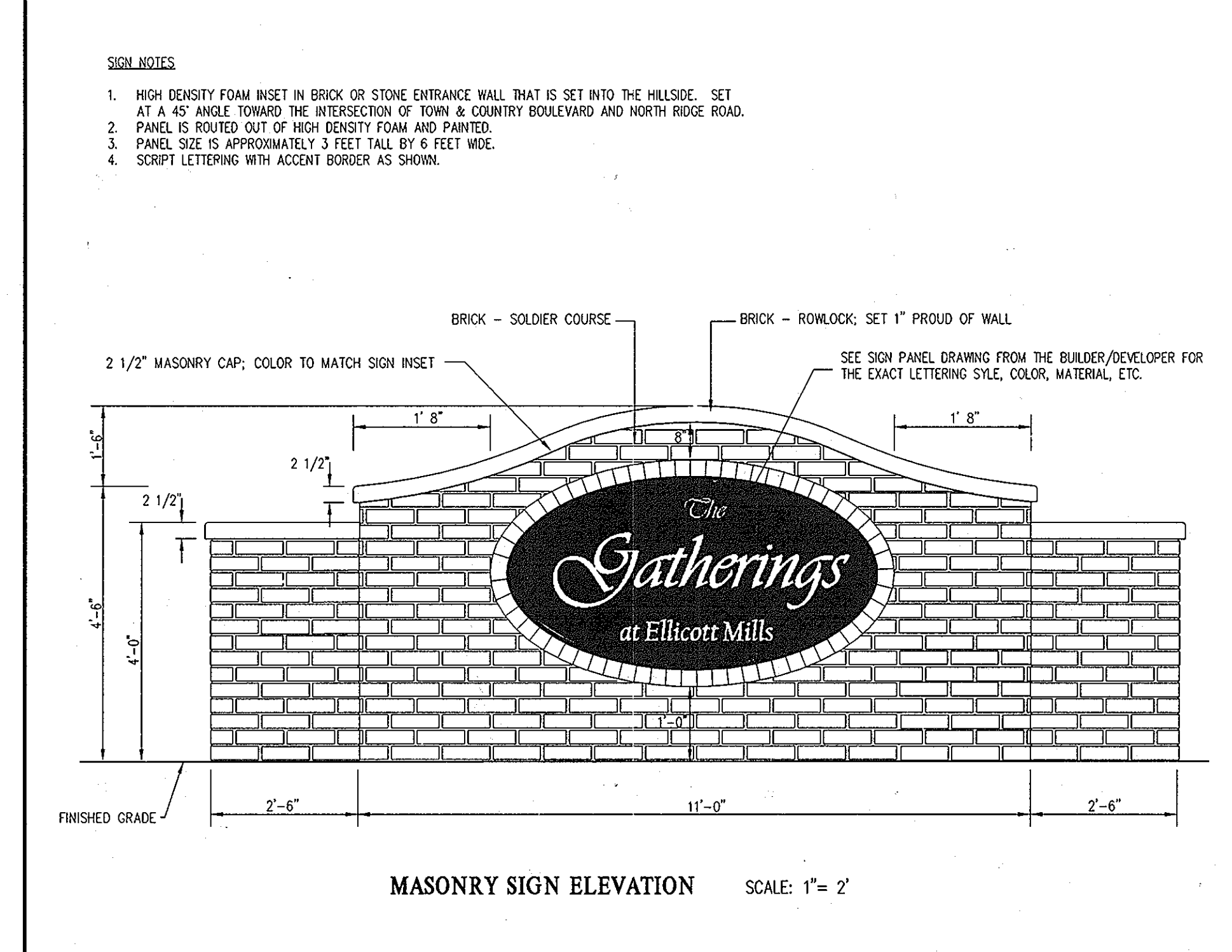
NOTE:
THERE IS A NO-STEP ACCESS FROM THE GARAGE INTO THE HOUSE (THE F.F.E. AND THE BACK OF GARAGE ELEVATION ARE THE SAME)

- NOTES:**
- FOR EACH UNIT, OPTIONAL BUILDING FEATURES (SUCH AS PATIO, EXTENSIONS, ETC.) ARE ONLY AVAILABLE IF THEY ARE SHOWN ON THESE SITE DEVELOPMENT PLANS.
 - FOR CURB TYPE, PAVING DELINEATION & CENTER LINE GEOMETRY INFORMATION SEE SHEETS 5 AND 6.
 - UNLESS NOTED OTHERWISE, PROPOSED SPOT ELEVATIONS ALONG THE CONCRETE CURB & GUTTER ARE TO THE FLOW LINE (BOTTOM OF CURB) AT THE PCS/PIS, CORNERS AND TERMINUSES.
 - UNLESS NOTED OTHERWISE, ALL SIDEWALK RAMPS ARE TYPE 'C' PER HOWARD COUNTY DPW DETAIL R-4.04 (CURB FILING APPLICATION) AND R-4.05 (PARALLEL TO CURB APPLICATION). DETECTABLE WARNING TRUNCATED DOMES ARE PER HOWARD COUNTY DPW DETAIL R-4.07.
 - ALL ON-SITE PAVING AND ROADWAYS ARE PRIVATELY OWNED AND MAINTAINED BY THE HOA.
 - ALL ON-SITE STORM SYSTEMS ARE PRIVATELY MAINTAINED. ALL ON-SITE WATER ARE PRIVATELY MAINTAINED EXCEPT THE PORTION OF THE 8" W. FIRE HYDRANTS AND WHC THAT ARE WITHIN THE "PUBLIC WATER & UTILITY EASEMENT".
 - FOR INFORMATION OF THE PUBLIC PORTION OF THE ON-SITE WATER LINE, SEE DPW CONTRACT Nos. 849-D, 14-1155-D AND 14-4738-D. THE PRIVATE PORTION OF ALL WHC ARE "UNLESS NOTED OTHERWISE, ALL WATER METERS ARE LOCATED OUTSIDE THE BUILDINGS."
 - ALL PLAN DIMENSIONS ARE TO THE FACE OF STRUCTURE (BLDG, CURB, ETC.) AND ARE MEASURED PERPENDICULAR OR RADIAL BETWEEN ITEMS UNLESS NOTED OTHERWISE.
 - ALL CURB RADI ARE 5' (FACE OF CURB @ FLOW LINE) UNLESS NOTED OTHERWISE.
 - BRICK POINT ALL BUILDING CONSTRUCTION UNLESS NOTED OTHERWISE.
 - ALL GARAGE DRIVEWAY LENGTHS ARE A MINIMUM OF 18' (VALUE IN PARENTHESES INDICATE THE LENGTH OF EACH DRIVEWAY'S SHORT SIDE.)
 - THERE IS A NO-STEP ACCESS FROM THE GARAGE INTO THE HOUSE (THE F.F.E. AND THE BACK OF GARAGE ELEVATION ARE THE SAME).
 - FOR UNITS WITH A DRYWELL SHOWN IN THE REAR, CONNECT ALL REAR DOWNSPOUTS TO DRYWELL. SEE DETAIL SHEET 14.
 - SPLIT RAIL FENCE ALONG/BETWEEN PART OF FCE #1 AND RECREATIONAL OPEN SPACE #1 SHALL BE:
 - WITH TWO RAILS
 - LOCUST WOOD (OR OTHER ROT RESISTANT WOOD)
 - BRICK POINT ALL SFA BUILDING CONSTRUCTION WITHIN CLOSE PROXIMITY TO FCE.



DATE: 2-2-2014
REVISION: AS-DWG

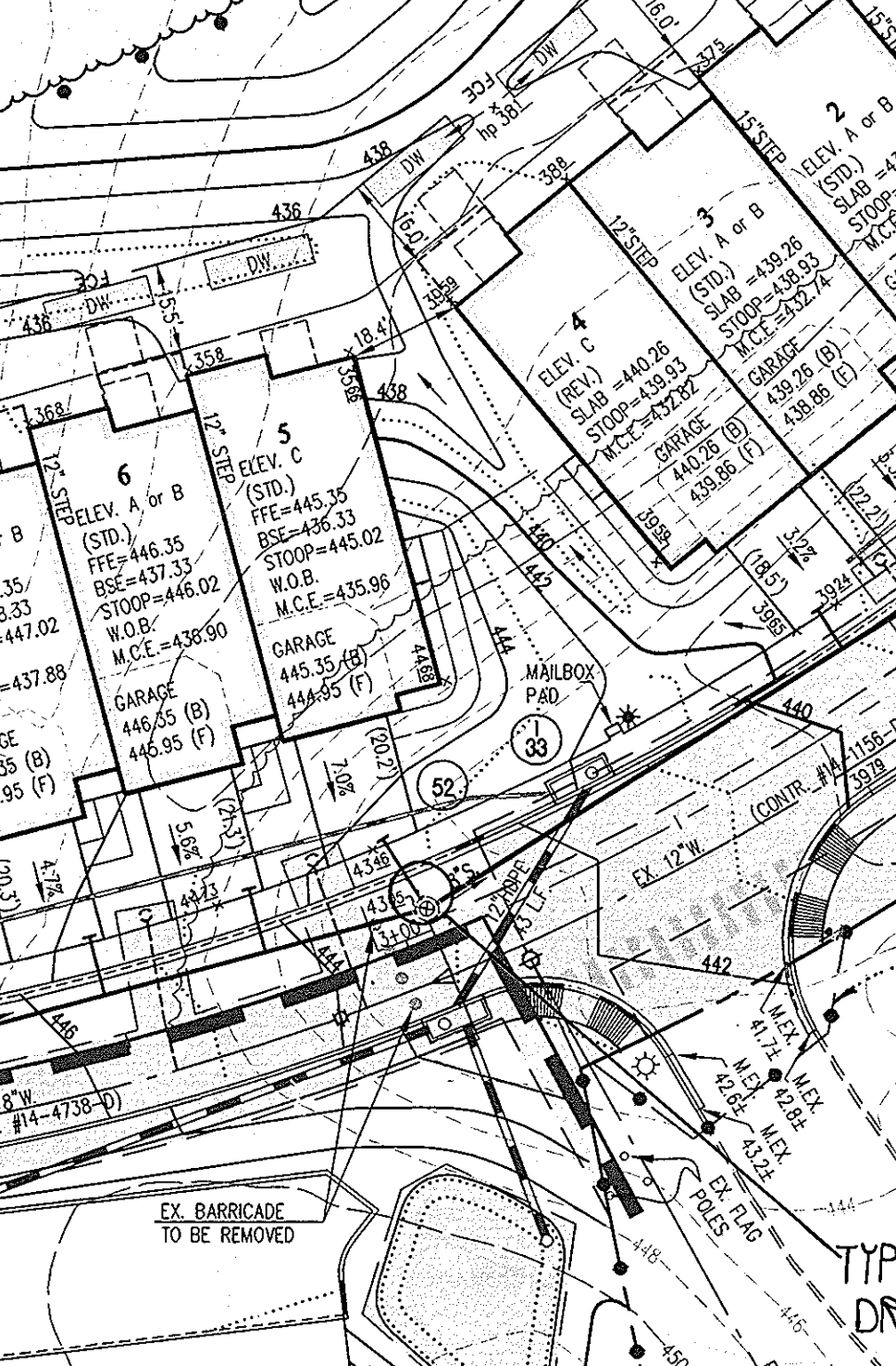
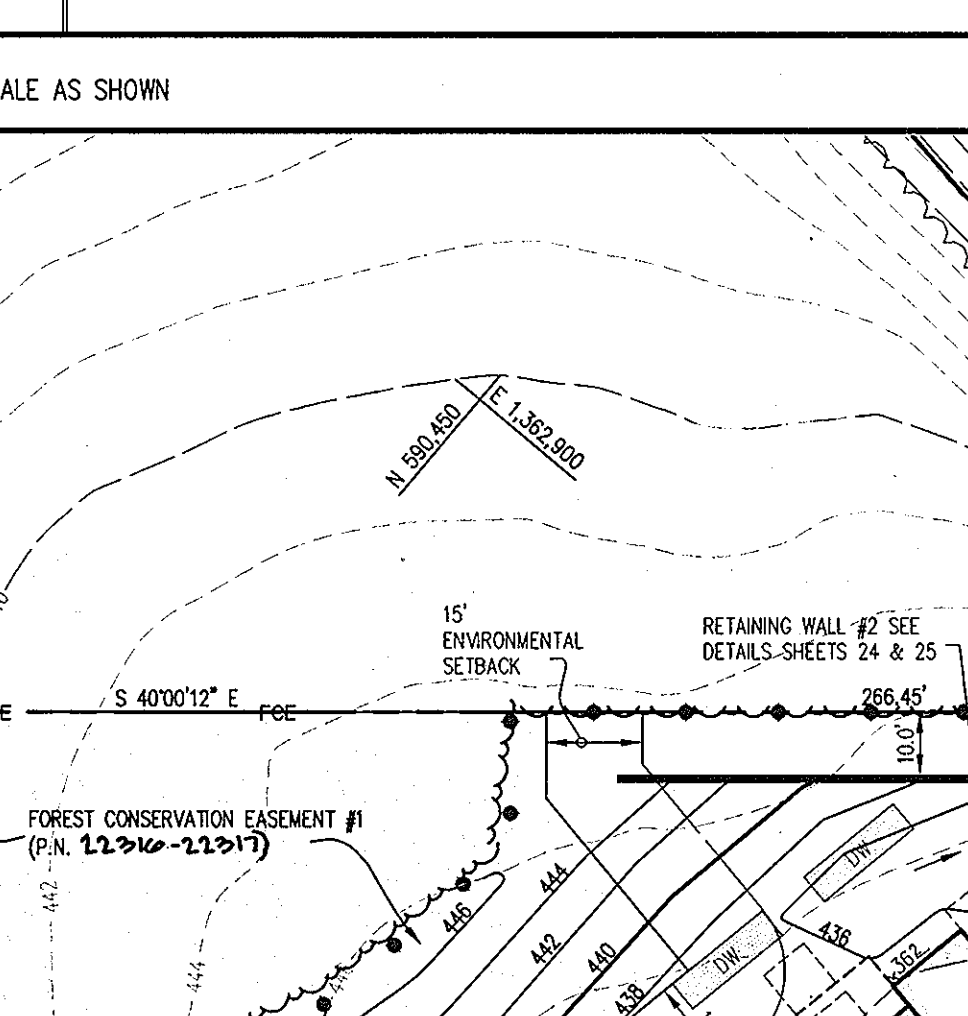
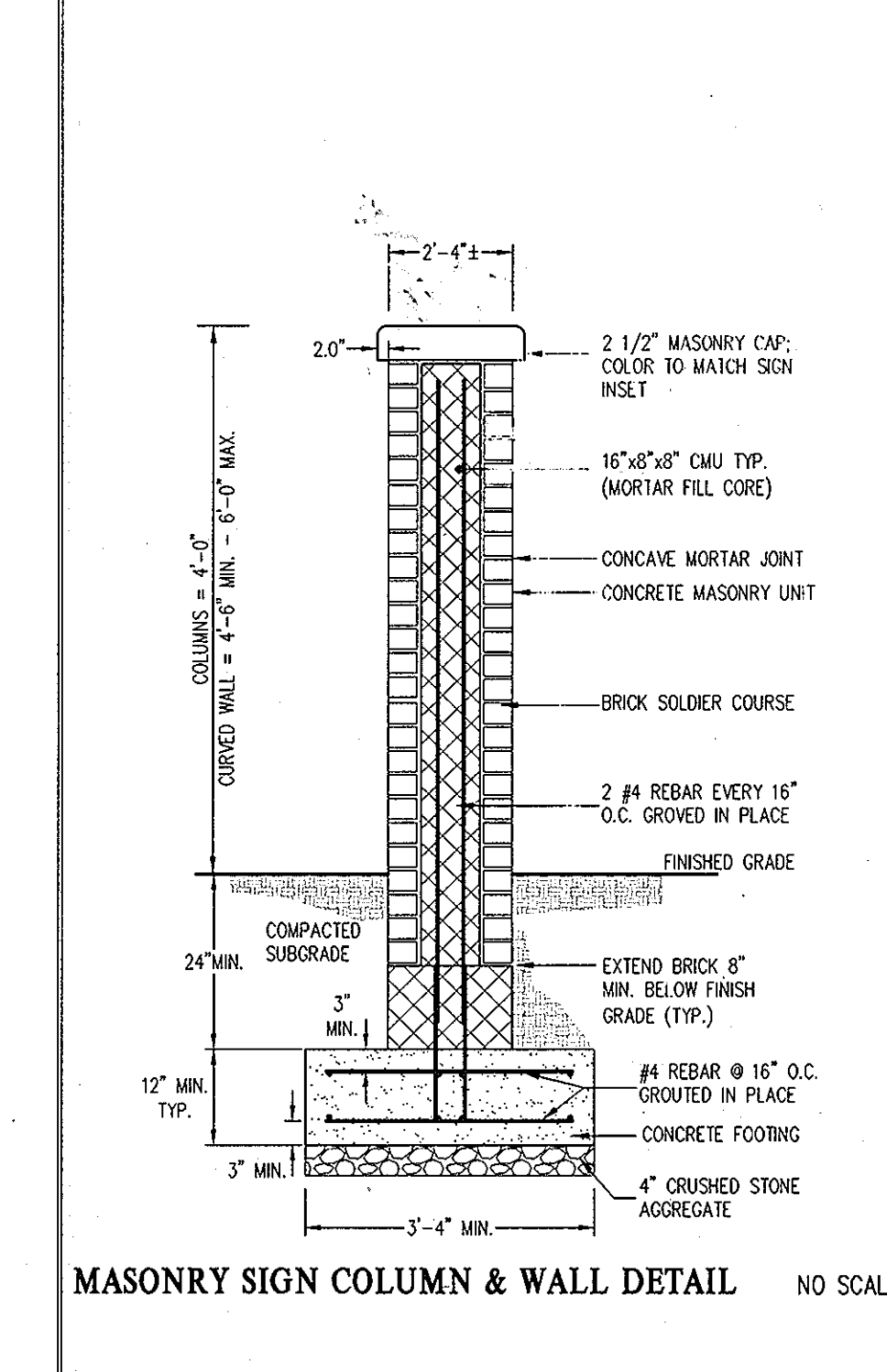
BY: VCC
APP'R:



PREPARED FOR:
NORTHDRIDGE, LLC
24012 FREDERICK ROAD
SUITE 200
CLARKSBURG, MARYLAND 20871
JONATHAN W. SOULE
301-428-0800

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 12275
EXPIRATION DATE: MAY 26, 2014

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 FAX: 301-421-4188



SITE DEVELOPMENT PLAN

THE GATHERINGS at ELLICOTT MILLS

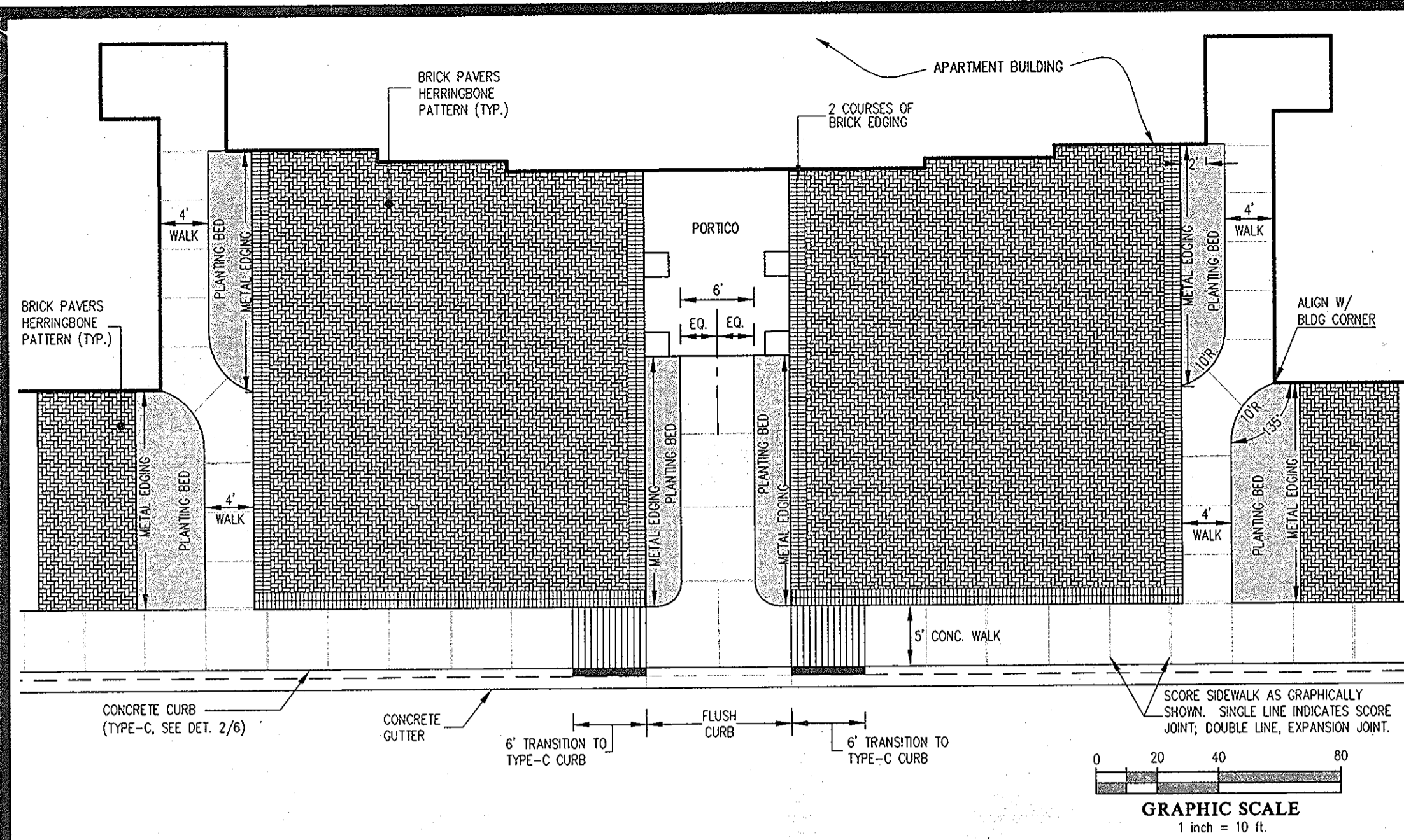
PARCEL A

AGE RESTRICTED ADULT HOUSING

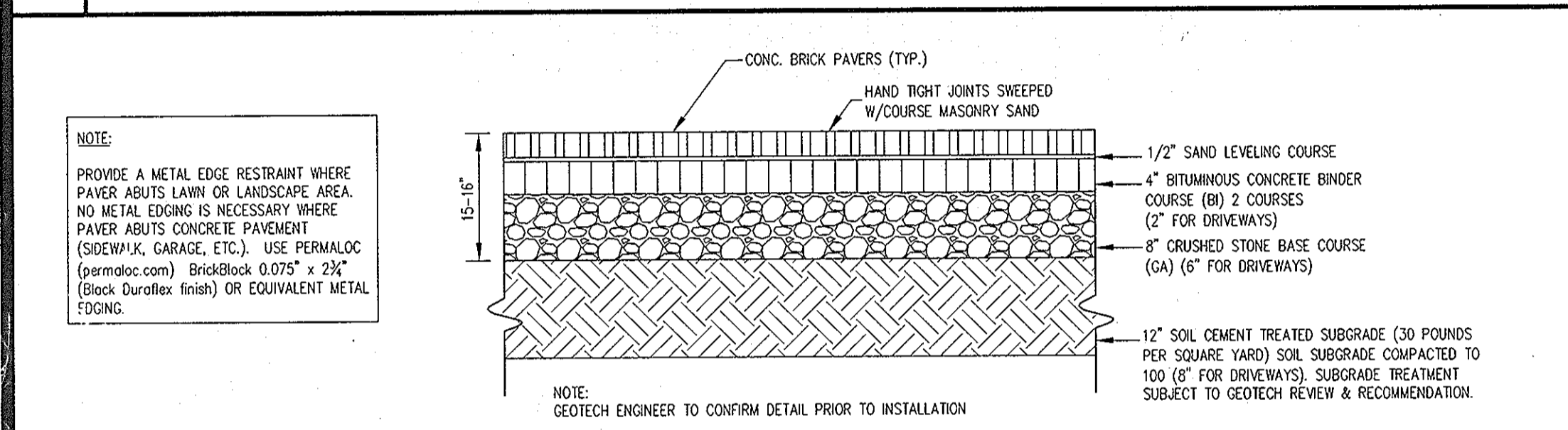
PLAT Nos. 11833 & 22216-22-17

HOWARD COUNTY, MARYLAND

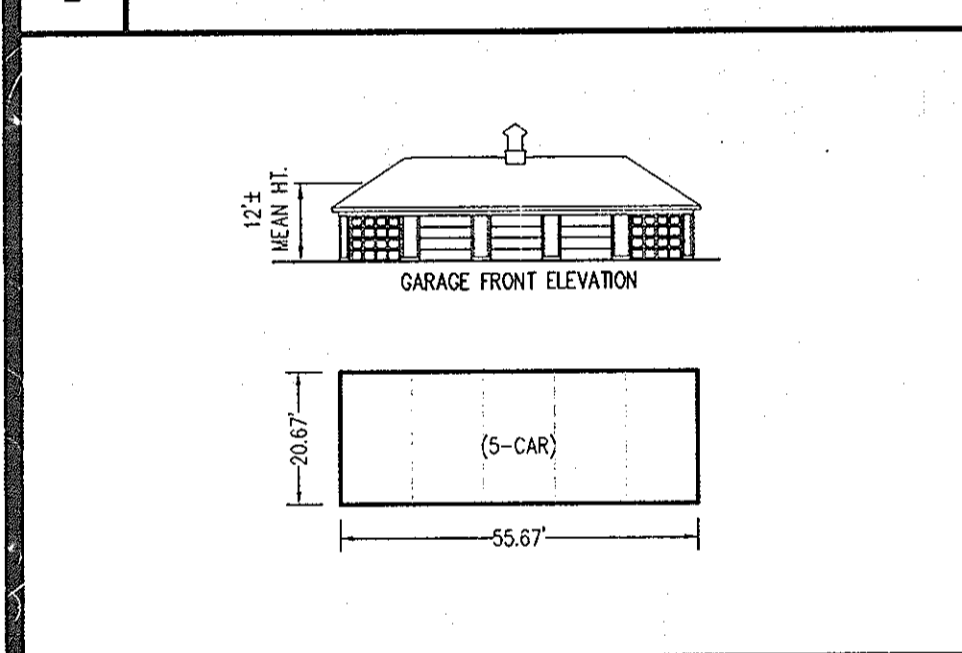
SCALE	ZONING	G. L. W. FILE NO.
1" = 30'	POR	11005
DATE	TAX MAP - GRID	SHEET
JAN. 2013	17 - 23	2 OF 26



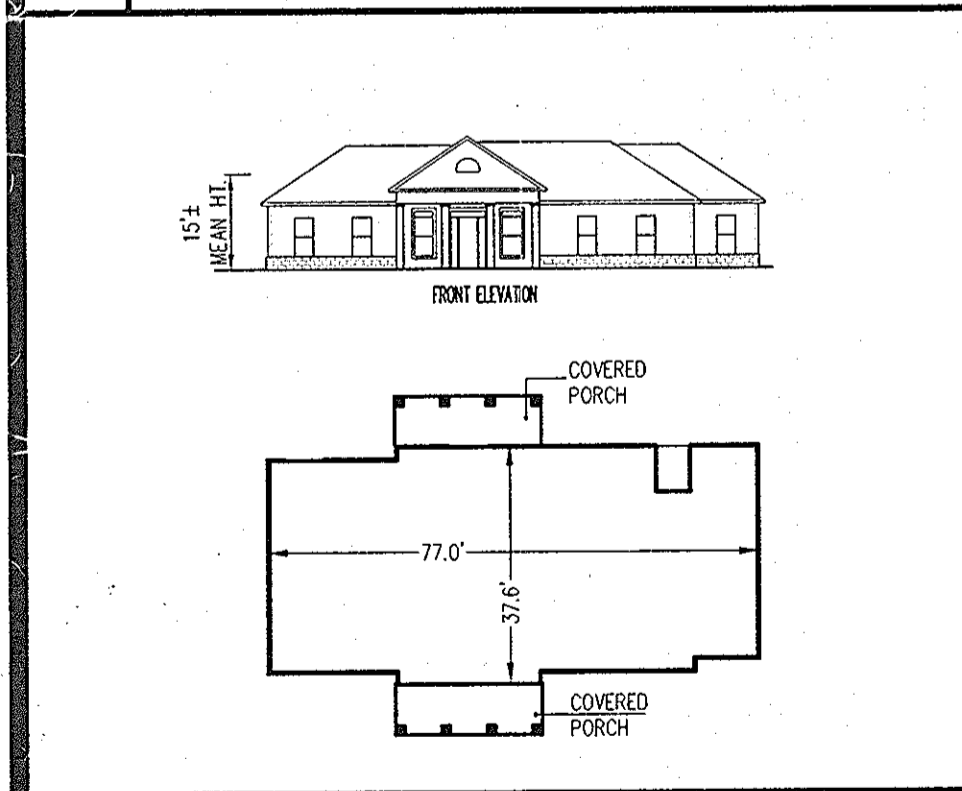
1 TYPICAL FRONT ENTRY AREA and DRIVEWAY BRICK PAVING PATTERN SCALE: 1" = 10'



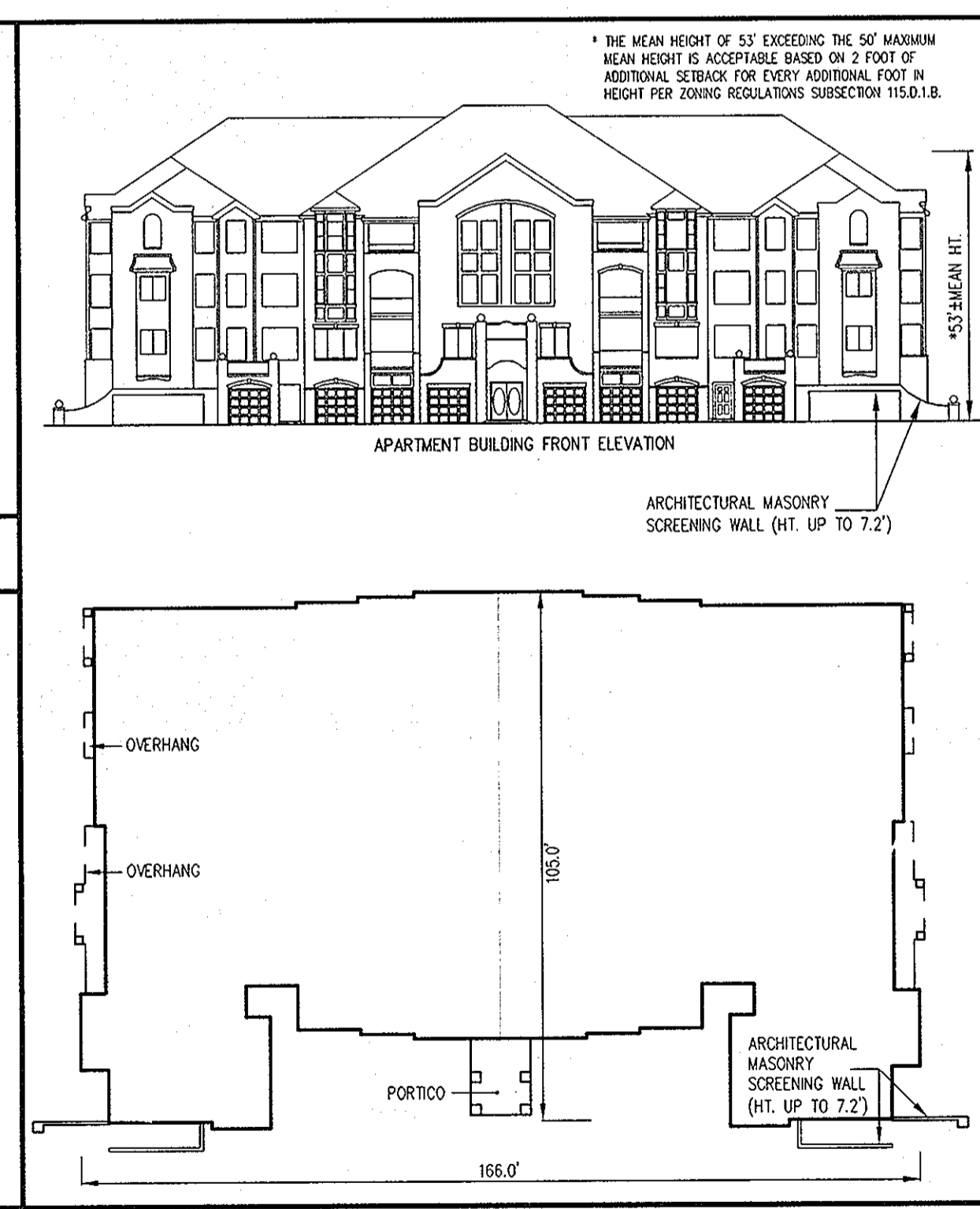
2 BRICK PAVER SECTION DETAIL NO SCALE



3 GARAGE FOOTPRINT and ELEVATION (STANDARD ORIENTATION SHOWN) SCALE: 1" = 30'

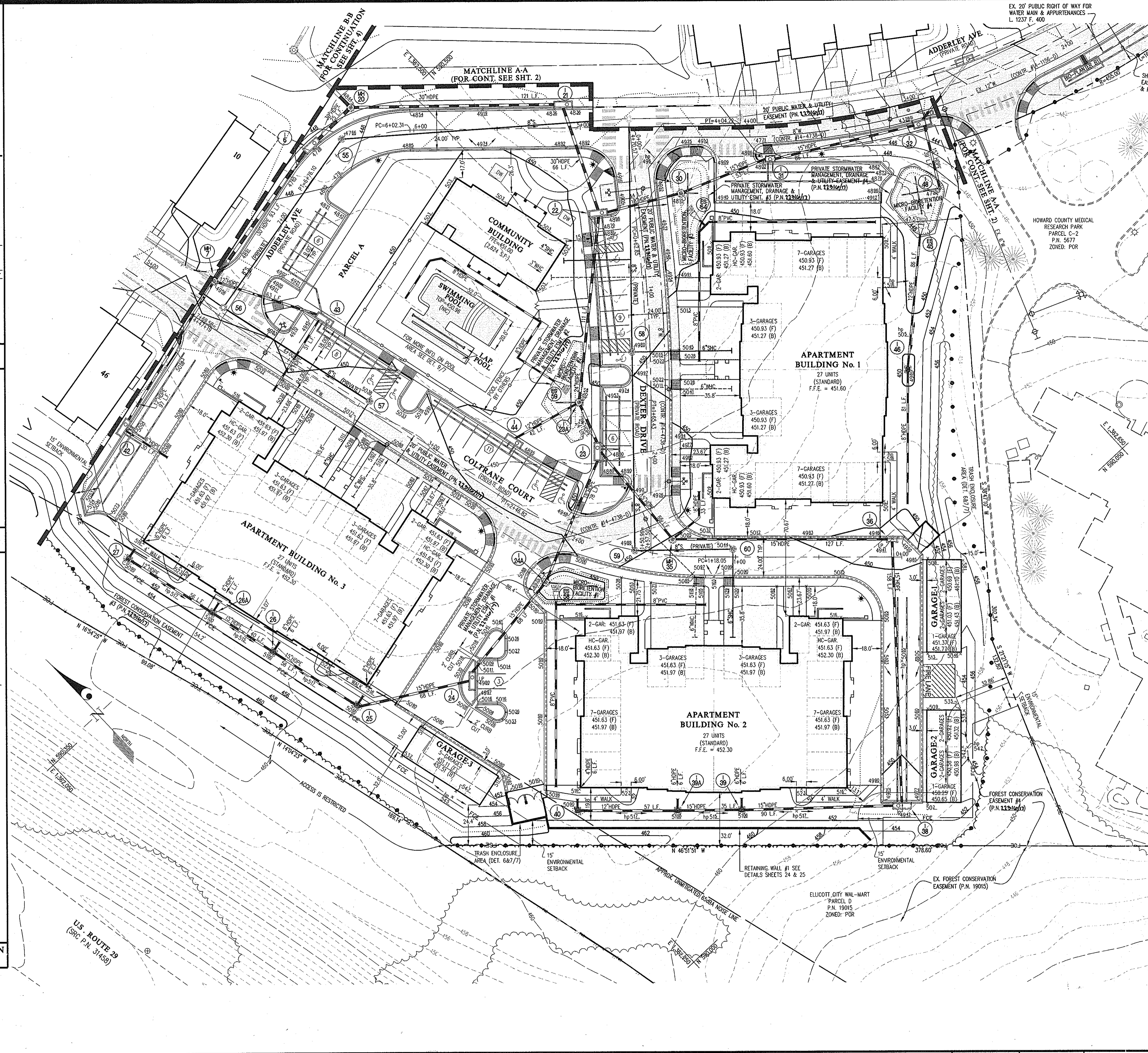
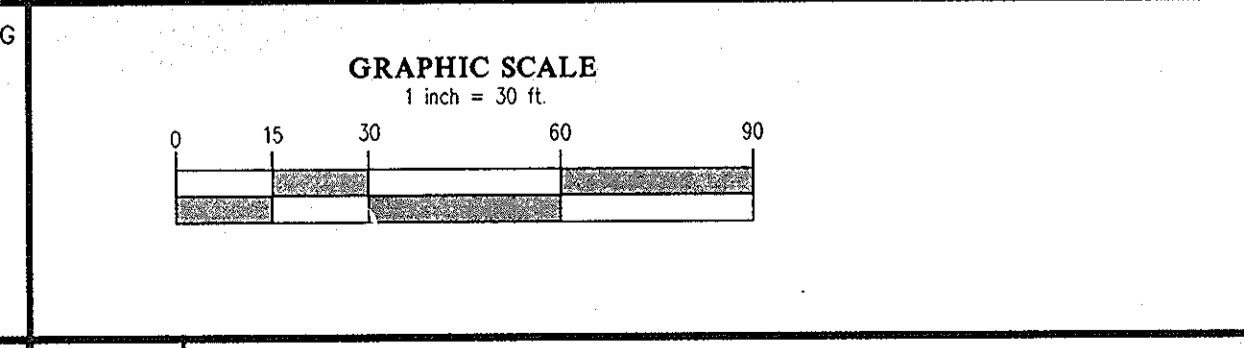


4 COMMUNITY BLDG. FOOTPRINT and ELEV. (STANDARD ORIENTATION SHOWN) SCALE: 1" = 30'



NORTHRIDGE APARTMENT BUILDING FOOTPRINT and ELEVATION (STANDARD ORIENTATION SHOWN) SCALE: 1" = 30'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *[Signature]* 3/25/13
 Chief, Division of Land Development: *[Signature]* 3/25/13
 Chief, Development Engineering Division: *[Signature]* 2/21/13

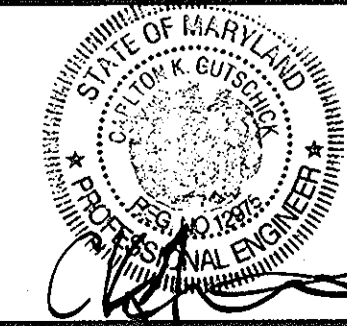


GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20886
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-969-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.

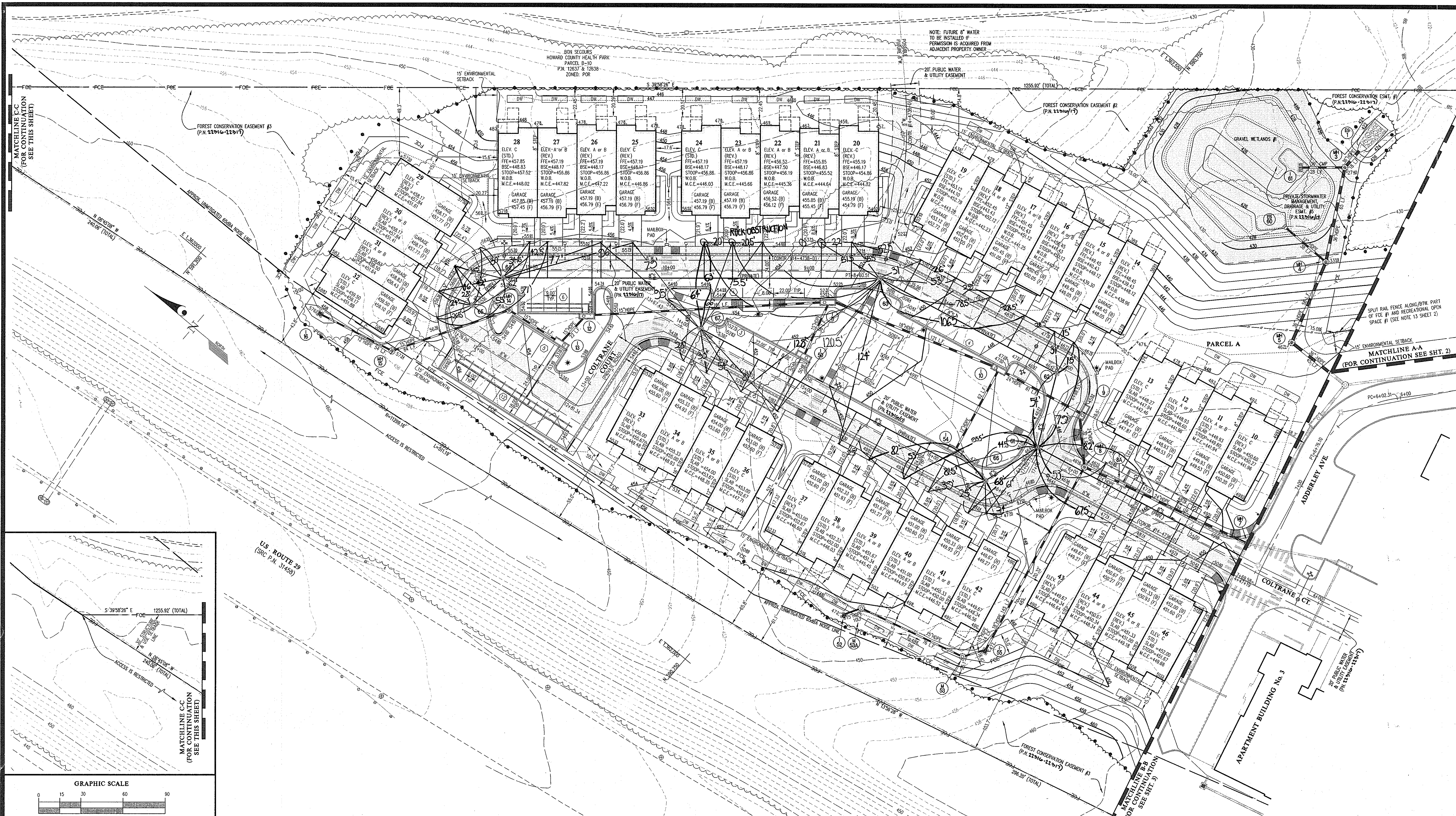
PREPARED FOR:
 NORTHRIDGE, LLC
 24012 FREDERICK ROAD
 SUITE 200
 CLARKSBURG, MARYLAND 20871
 JONATHAN W. SOULE
 301-428-0800

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
 EXPIRATION DATE: MAY 26, 2014



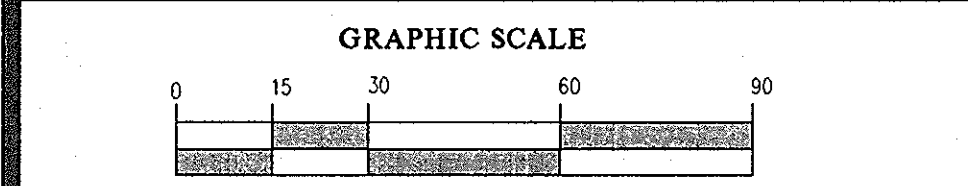
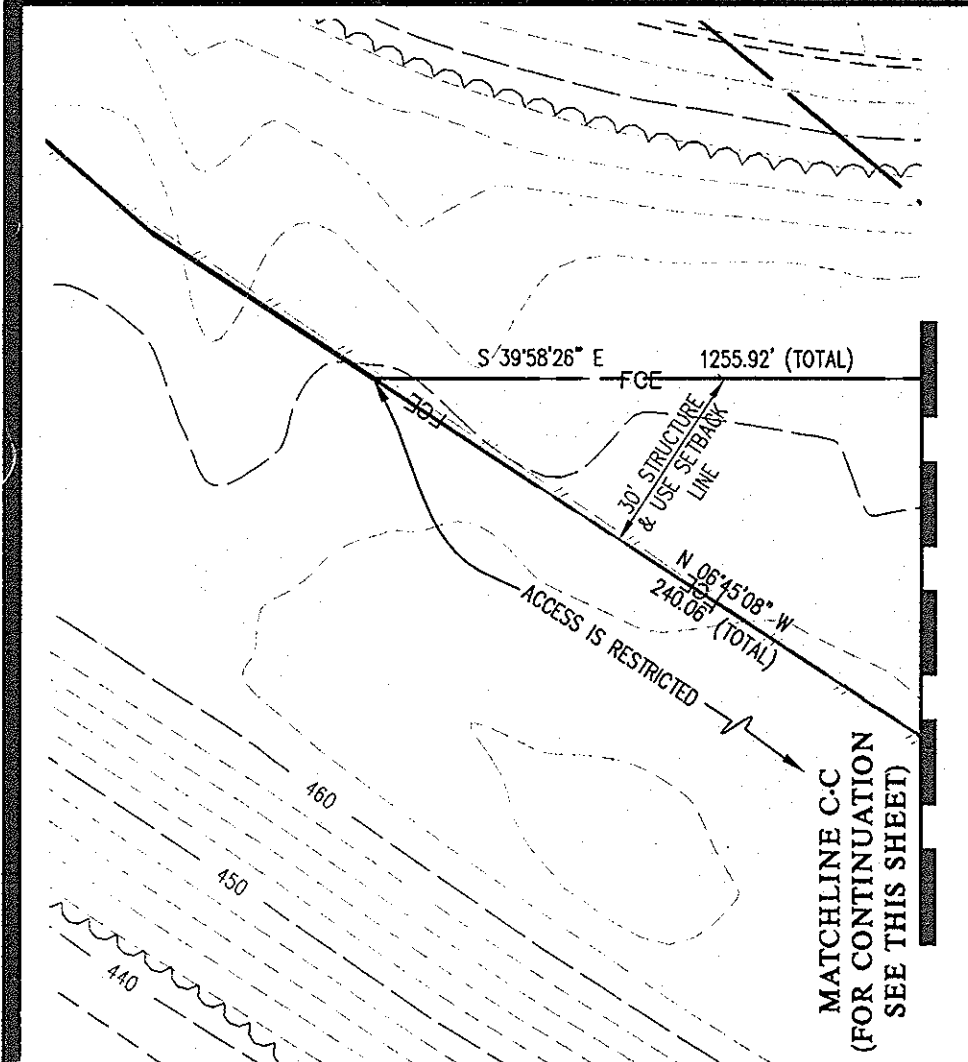
SITE DEVELOPMENT PLAN
THE GATHERINGS at ELLICOTT MILLS
 PARCEL A
 AGE RESTRICTED ADULT HOUSING
 PLAT Nos. 11833 & 22310-22317
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1" = 30'	POR	11005
DATE	TAX MAP - GRID	SHEET
JAN. 2013	17 - 23	3 OF 26



MATCHLINE C-C
(FOR CONTINUATION
SEE THIS SHEET)

MATCHLINE A-A
(FOR CONTINUATION SEE SHT. 2)



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

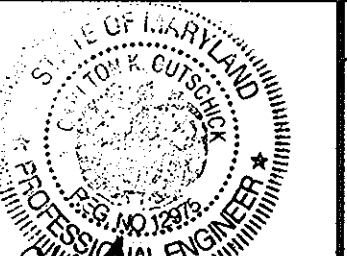
Director: *Mark A. Long* 3/25/13
 Chief, Division of Land Development: *W. T. Stuchlik* 3/25/13
 Chief, Development Engineering Division: *Ch. Edwards* 2-21-13

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20886
 TEL: 301-421-4024 BALT: 410-600-1820 DC/VA: 301-988-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.
2-2-2014	AS-SWELT	KCC	APP'R.

PREPARED FOR:
 NORTHRIDGE, LLC
 24012 FREDERICK ROAD
 SUITE 200
 CLARKSBURG, MARYLAND 20871
 JONATHAN W. SOULE
 301-428-0800

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE
 PLANS WERE PREPARED OR
 APPROVED BY ME, AND THAT I AM A
 DULY LICENSED PROFESSIONAL
 ENGINEER UNDER THE LAWS OF THE
 STATE OF MARYLAND,
 LICENSE NO. 12972
 EXPIRATION DATE: MAY 26, 2014



SITE DEVELOPMENT PLAN
THE GATHERINGS at ELLICOTT MILLS
PARCEL A
 AGE RESTRICTED ADULT HOUSING
 PLAT Nos. 11833 & 22310-22317
 ELECTION DISTRICT No. 2

SCALE	ZONING	G. L. W. FILE No.
1" = 30'	POR	11005
DATE	TAX MAP - GRID	SHEET
JAN. 2013	17 - 23	4 OF 26

CURB DELINEATION TABLE							
COLTRANE COURT (station 0+00 to 5+25)							
PT. No.	STATION	OFFSET	DESCRIPTION	PT. No.	STATION	OFFSET	DESCRIPTION
1	1+13.84	12.00'	RT. PC	153	0+12.00	37.00'	LT. PC
2	1+18.13	13.16'	RT. TTC	154	0+37.00	12.00'	LT. PT
3	1+18.27	12.30'	RT. BTC	155	1+01.08	12.00'	LT. TTC
4	2+03.62	12.00'	RT. PT	156	1+07.08	12.00'	LT. BTC
5	2+05.06	12.00'	RT. BTC	157	1+18.05	12.00'	LT. PC
6	2+09.16	16.07'	RT. TTC	158	1+18.86	12.00'	LT. BTC
7	2+09.16	30.00'	RT. TTC/CORNER OF PARKING BAY	159	1+24.54	12.00'	LT. TTC
8	2+18.39	30.00'	RT. BTC	160	1+29.51	12.00'	LT. PRC
9	2+27.63	30.00'	RT. BTC	161	1+36.41	27.59'	LT. TTC
10	2+36.86	30.00'	RT. TTC	162	2+03.01	14.91'	LT. BTC
11	2+46.82	30.00'	RT. PT	163	2+07.79	18.82'	LT. BTC
12	3+19.19	30.00'	RT. CORNER OF PARKING BAY	164	2+11.87	25.17'	LT. TTC
13	3+25.19	12.00'	RT. MIDPOINT	165	2+13.76	31.99'	LT. PT
14	3+31.19	30.00'	RT. TTC/CORNER OF PARKING BAY	166	2+13.83	35.53'	LT. PC
15	3+39.19	30.00'	RT. BTC	167	2+35.72	37.36'	LT. PC
16	3+47.19	30.00'	RT. BTC	168	2+36.41	27.59'	LT. TTC
17	3+55.19	30.00'	RT. TTC	169	2+39.84	20.87'	LT. BTC
18	4+09.19	30.00'	RT. CORNER OF PARKING BAY	170	2+44.19	16.44'	LT. BTC
19	4+14.19	12.00'	RT. PT	171	2+50.96	13.07'	LT. TTC
20	4+15.19	12.00'	RT. PC	172	2+58.19	12.00'	LT. PT
21	4+24.01	14.05'	RT. TTC	173	3+22.27	12.00'	LT. TTC
22	4+27.45	16.20'	RT. BTC	174	3+28.27	12.00'	LT. BTC
23	4+30.91	16.81'	RT. BTC	175	3+40.11	12.00'	LT. BTC
24	4+37.94	13.22'	RT. TTC	176	3+46.11	12.00'	LT. TTC
25	4+55.65	12.00'	RT. PT	177	4+13.19	12.00'	LT. PC
26				178	4+18.95	12.77'	LT. TTC
27				179	4+26.19	16.25'	LT. BTC
28				180	4+30.93	21.00'	LT. BTC
29				181	4+34.42	28.24'	LT. TTC
30				182	4+35.19	34.00'	LT. PT
31				183	4+57.52	43.14'	LT. BEGIN TRANS. TO TYPE C
32				184	4+57.91	33.15'	LT. BEGIN TYPE C
33				185	4+58.64	28.23'	LT. TTC
34				186	4+62.14	21.00'	LT. BTC
35				187	4+66.89	16.25'	LT. BTC
36				188	4+74.13	12.77'	LT. TTC
37				189	4+79.89	12.00'	LT. PT

NOTE:
BTC = BOTTOM OF TAPER CURB
TTC = TOP OF TAPER CURB

LEGEND

TYPE 'A' CONCRETE CURB & GUTTER (DET. 1/6) (3,153 L.F.)
TYPE 'C' COMBINATION CURB & GUTTER (DET. 2/6) (3,056 L.F.)

DPW R-6.02 CONCRETE PAVING (32,465 SF)
P-2 PAVING (DET. 4/6) (68,021 SF)
BRICK PAVERS HERRINGBONE PATTERN (DET. 2/3)
PERVIOUS PAVING PARKING AND DRIVE AISLES (SEE CHART/DETAIL ON SHEET 6)
PERVIOUS PAVING DRIVEWAYS (5,005 SF) (SEE CHART/DETAIL ON SHEET 6)
CONCRETE SIDEWALK PER HO. CO. DET. R-3.05 (22,558 SF)
EXISTING PAVEMENT TO BE MILED AND OVERLAD PER HO. CO. DET. R-1.08 (6,368 SF)

BTC
TTC

FLUSH CURB (R=3.07) TO SEPARATE ASPHALT PAVEMENT FROM POROUS CONCRETE

- NOTES**
- ALL CURB AND GUTTER ARE TYPE-C (DET. 2/6) UNLESS NOTED OTHERWISE ON THIS PLAN.
 - ALL CURB RADI ARE 5' (FACE OF CURB @ FLOW LINE) UNLESS NOTED OTHERWISE.
 - PROVIDE MIN. 4' L.F. OF TRANSITION FROM TYPE-A TO TYPE-C CURBS UNLESS NOTED OTHERWISE.
 - ALL SIDEWALKS ARE 5' WIDE (FROM BACK OF CURB) UNLESS NOTED OTHERWISE.
 - FOR TYPICAL ROAD SECTION, PAVING SECTIONS AND CURB DETAILS, SEE SHEET 6.
 - ALL PAVEMENT MARKINGS TO BE APPLIED USING "SEIFAST PREMIUM ALKYD TRAFFIC PAINT" BY SHERWIN WILLIAMS OR APPROVED EQUAL. ALL PAVEMENT ARROWS, "ONE" MARKINGS, STOP BARS, STOP BAR MARKINGS AND CROSSWALK MARKINGS MUST BE INSTALLED IN THERMOPLASTIC.
 - TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT AND PUTTING THE ROADWAY INTO SERVICE.

GRAPHIC SCALE
1" = 30'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *David L. Goyette* 01/25/13
Chief, Division of Land Development: *Neil S. Schuler* 3/25/13
Chief, Development Engineering Division: *Ch. Clark* 2/21/13

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONTOWN, MARYLAND 20886
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-889-2524 FAX: 301-421-4186

PREPARED FOR:
NORTHEDGE, LLC
24012 FREDERICK ROAD
SUITE 200
CLARKSBURG, MARYLAND 20871
JONATHAN W. SOULE
301-428-0800

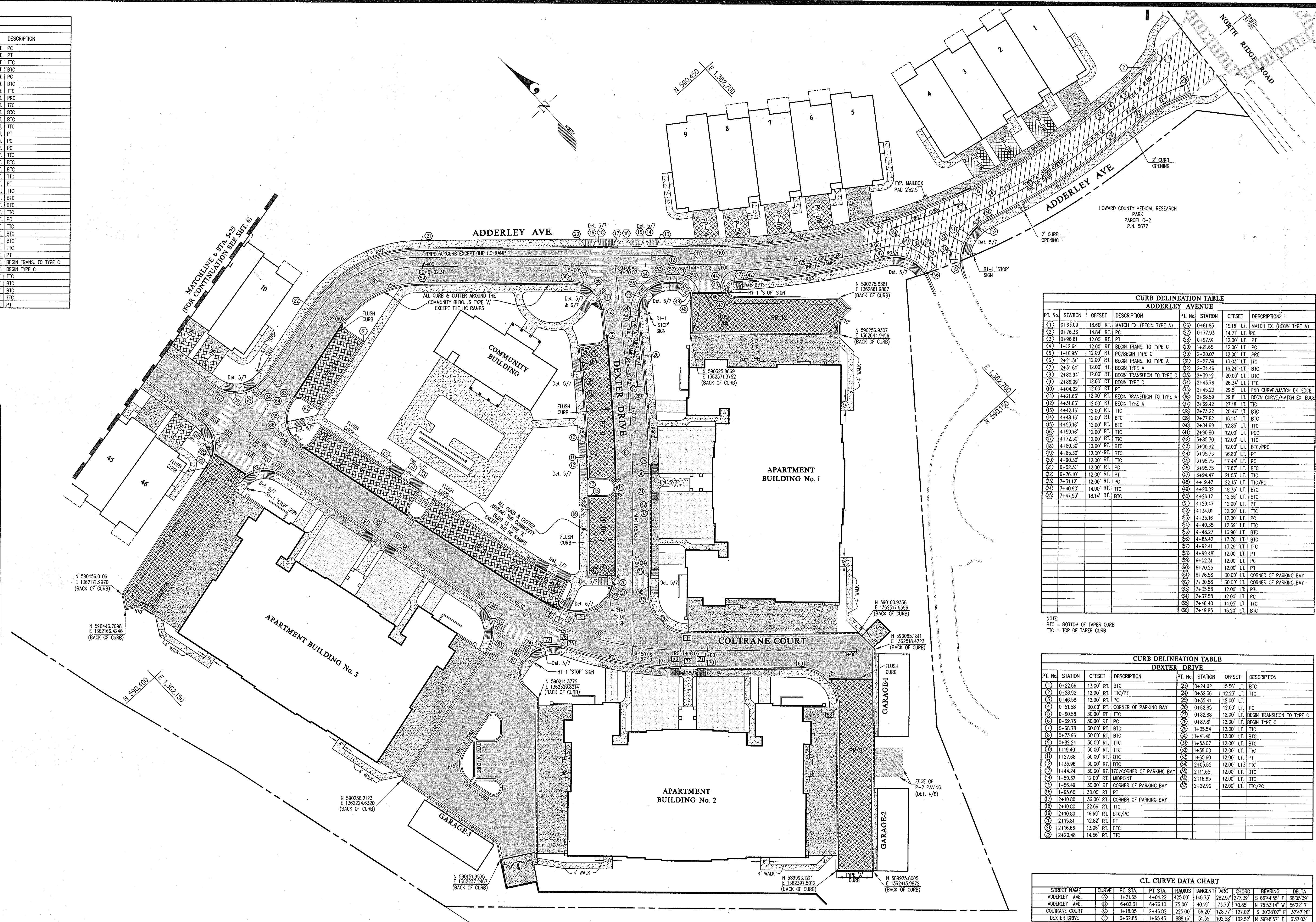
PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 22975
EXPIRATION DATE: MAY 26, 2014



CURB and PAVING DELINEATION PLAN
THE GATHERINGS at ELLICOTT MILLS
PARCEL A
AGE RESTRICTED ADULT HOUSING
PLAT Nos. 11833 & 11212-2-21317

SCALE: 1" = 30'
ZONING: POR
G. L. W. FILE No.: 11005

DATE: JAN. 2013
TAX MAP - GRID: 17 - 23
SHEET: 5 OF 26

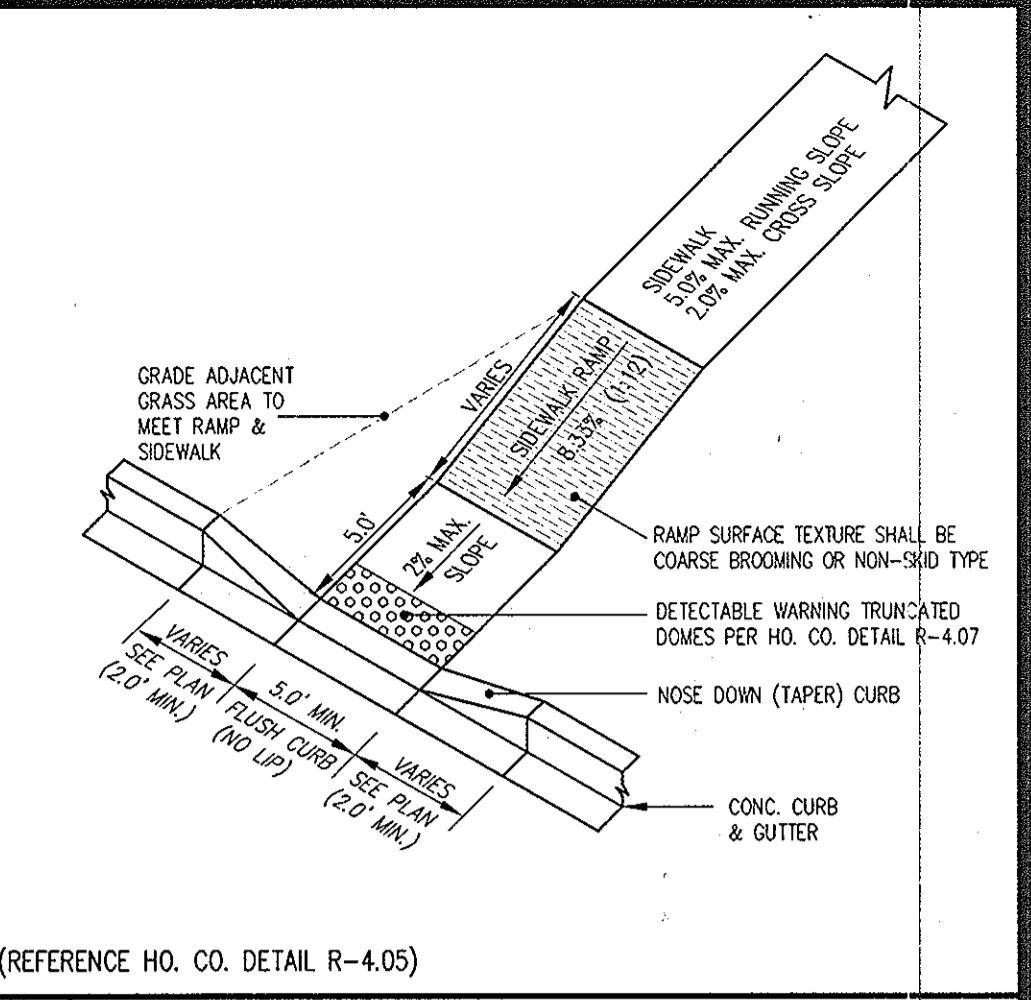
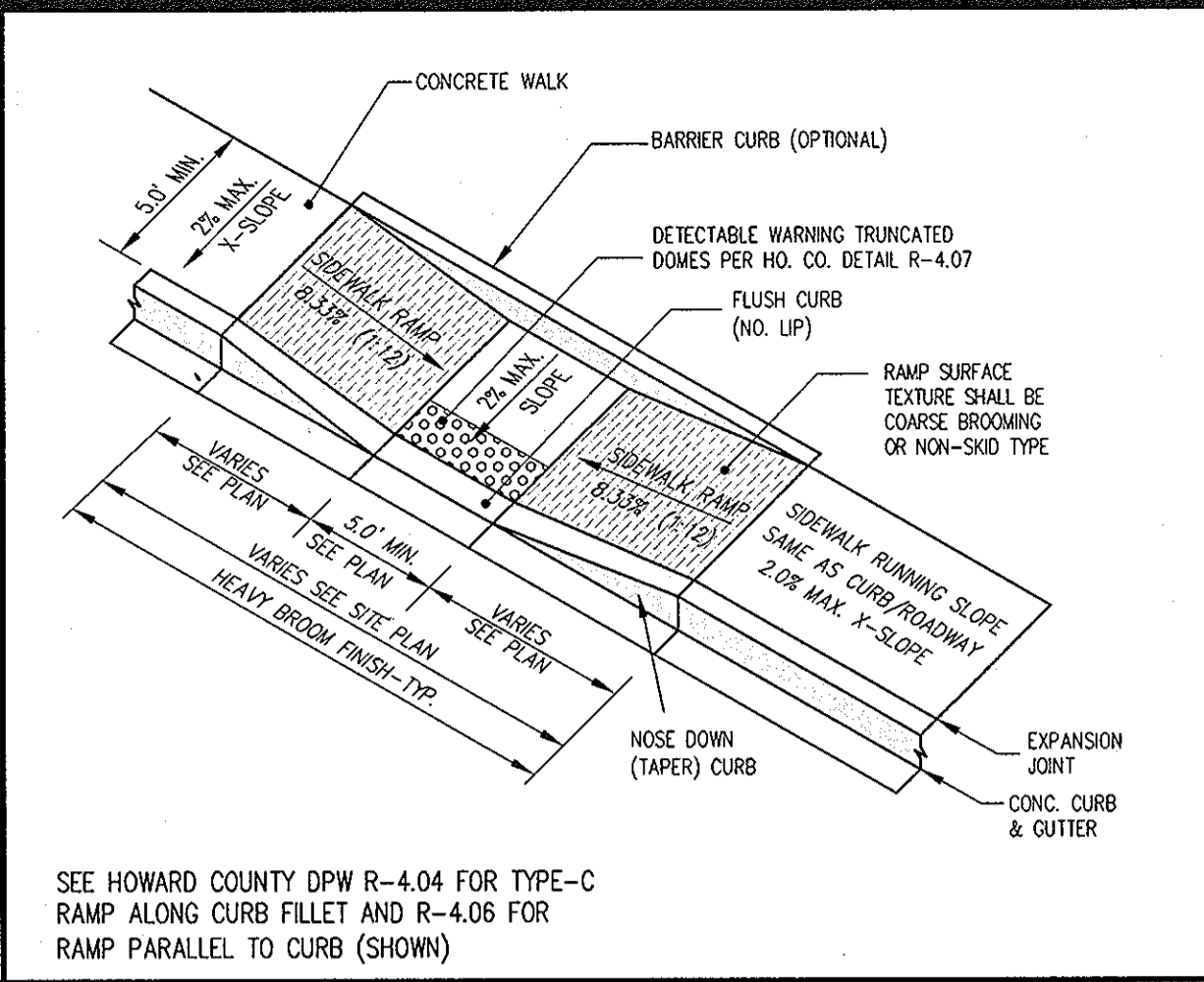
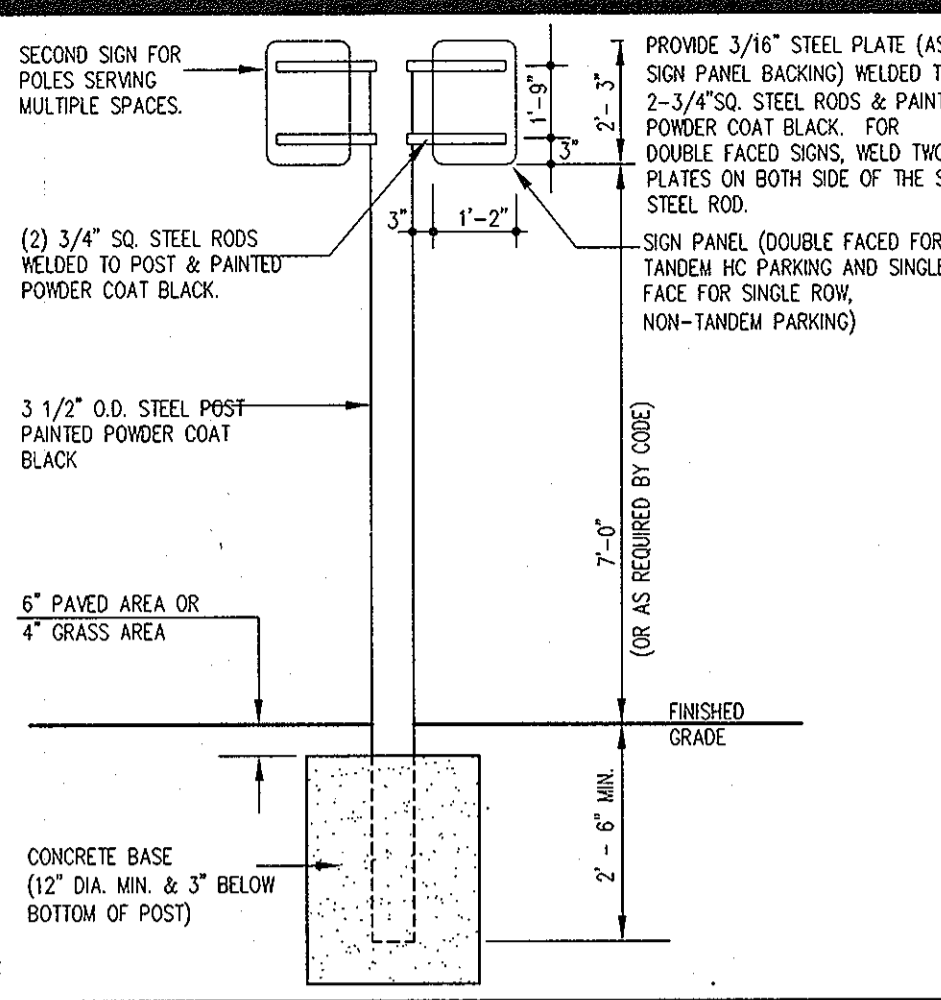
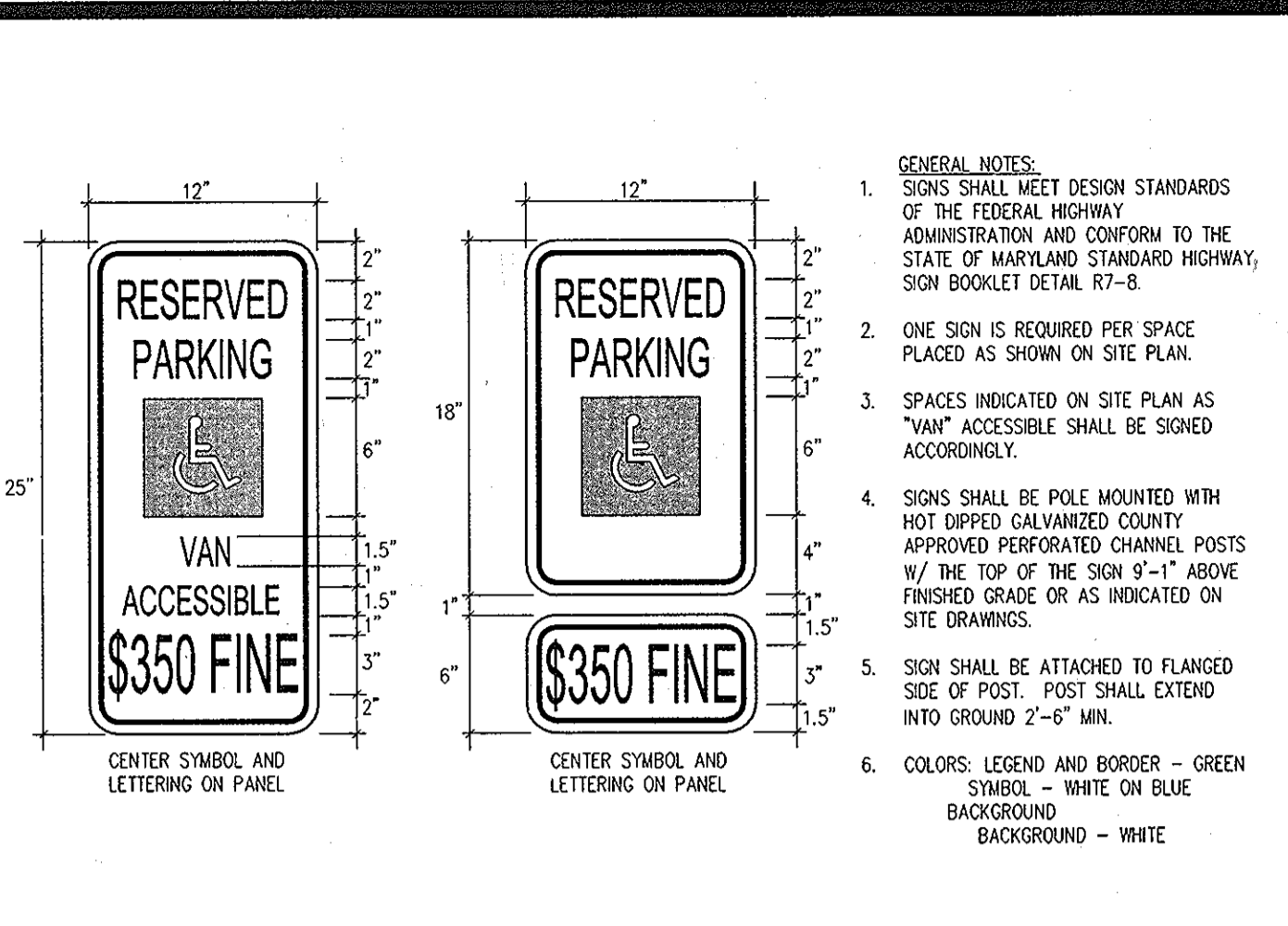
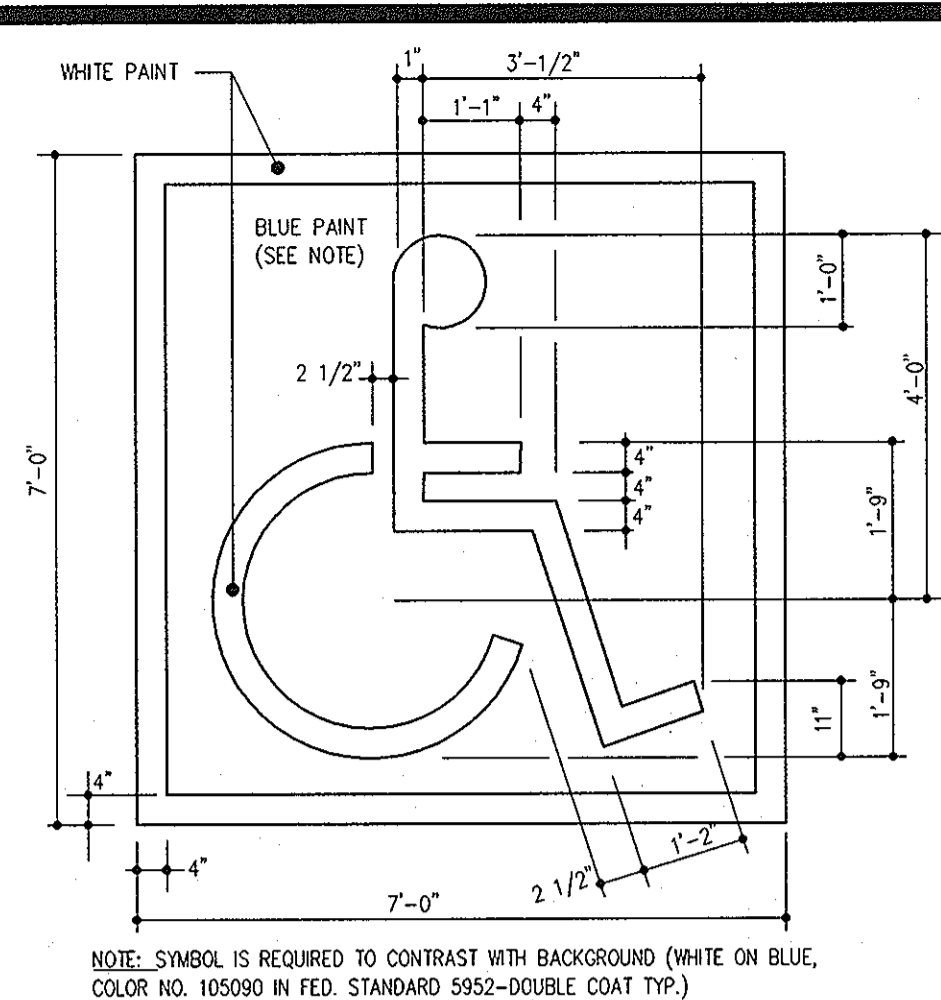
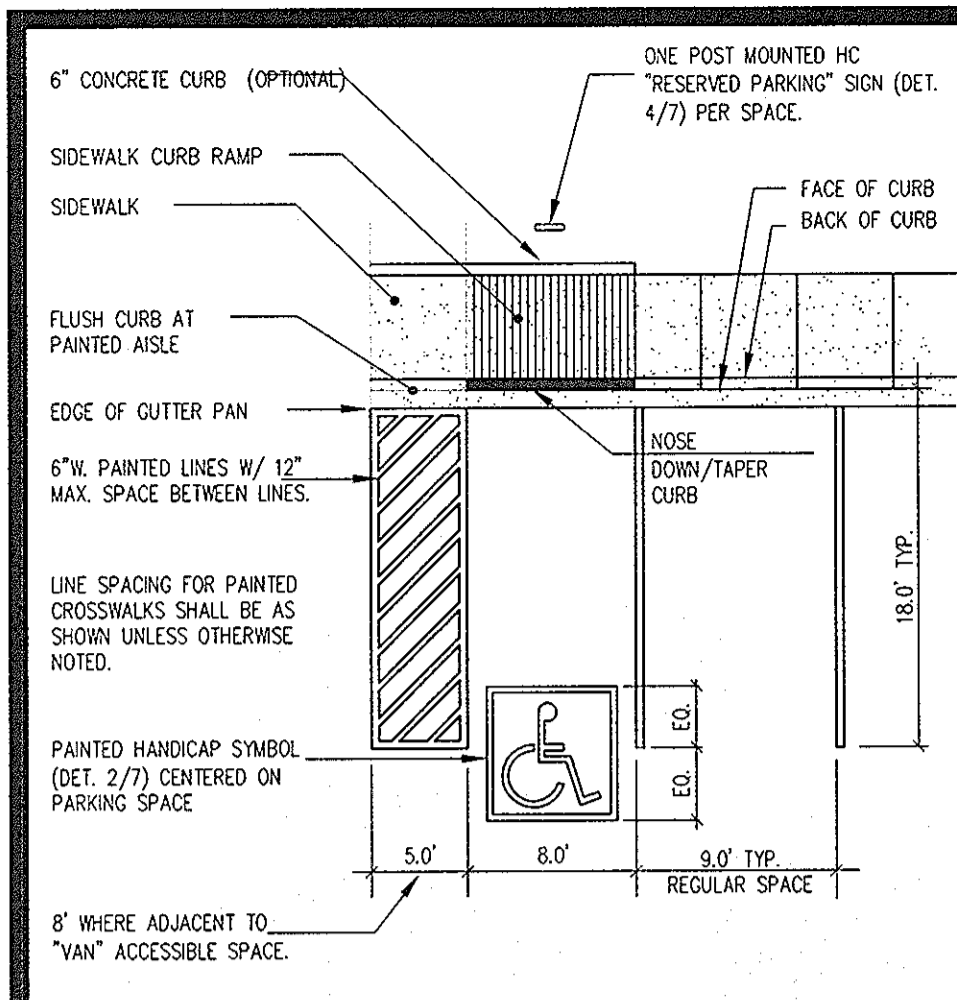


CURB DELINEATION TABLE							
ADDERLEY AVENUE							
PT. No.	STATION	OFFSET	DESCRIPTION	PT. No.	STATION	OFFSET	DESCRIPTION
1	0+63.09	18.60'	RT. MATCH EX. (BEGIN TYPE A)	27	0+61.83	19.16'	LT. MATCH EX. (BEGIN TYPE A)
2	0+76.35	14.84'	RT. PC	28	0+57.91	12.00'	LT. PT
3	0+94.81	12.00'	RT. TTC	29	1+21.65	12.00'	LT. PC
4	1+12.64	12.00'	RT. BEGIN TRANS. TO TYPE C	30	1+21.65	12.00'	LT. PC
5	1+18.95	12.00'	RT. PC/BEGIN TYPE C	31	2+20.07	12.00'	LT. PRC
6	2+31.31	12.00'	RT. BEGIN TRANS. TO TYPE A	32	2+27.39	13.03'	LT. TTC
7	2+31.60	12.00'	RT. BEGIN TYPE A	33	2+34.46	16.24'	LT. BTC
8	2+30.94	12.00'	RT. BEGIN TRANSITION TO TYPE C	34	2+43.76	16.24'	LT. BTC
9	2+38.09	12.00'	RT. BEGIN TYPE C	35	2+39.12	20.03'	LT. TTC
10	4+04.22	12.00'	RT. PT	36	2+43.76	26.34'	LT. TTC
11	4+21.66	12.00'	RT. BEGIN TRANSITION TO TYPE A	37	2+43.76	29.8'	LT. BEGIN CURVE/MATCH EX. EDGE
12	4+31.66	12.00'	RT. BEGIN TYPE A	38	2+69.42	27.18'	LT. TTC
13	4+42.16	12.00'	RT. TTC	39	2+73.22	20.47'	LT. BTC
14	4+48.16	12.00'	RT. BTC	40	2+77.82	16.14'	LT. BTC
15	4+53.16	12.00'	RT. BTC	41	2+84.69	12.85'	LT. TTC
16	4+58.16	12.00'	RT. TTC	42	2+90.80	12.00'	LT. PRC
17	4+72.30	12.00'	RT. TTC	43	3+48.70	12.00'	LT. TTC
18	4+80.30	12.00'	RT. BTC	44	3+50.92	12.00'	LT. BTC/PRC
19	4+85.30	12.00'	RT. TTC	45	3+55.75	16.80'	LT. PT
20	4+90.30	12.00'	RT. BTC	46	3+55.75	17.44'	LT. PC
21	6+02.31	12.00'	RT. PT	47	3+55.75	17.67'	LT. BTC
22	6+76.10	12.00'	RT. PC	48	3+94.47	21.03'	LT. TTC
23	6+76.10	12.00'	RT. PC	49	4+18.27	16.80'	LT. BTC
24	7+40.90	14.00'	RT. TTC	50	4+20.02	17.78'	LT. BTC
25	7+47.53	18.14'	RT. BTC	51	4+26.17	12.56'	LT. BTC
				52	4+29.47	12.00'	LT. PT
				53	4+34.01	12.00'	LT. TTC
				54	4+35.16	12.00'	LT. PC
				55	4+40.35	12.69'	LT. TTC
				56	4+48.27	16.80'	LT. BTC
				57	4+48.42	17.78'	LT. BTC
				58	4+52.41	13.28'	LT. TTC
				59	4+59.48	12.00'	LT. PT
				60	6+02.31	12.00'	LT. PC
				61	6+70.25	12.00'	LT. PT
				62	6+76.58	30.00'	LT. CORNER OF PARKING BAY
				63	7+30.58	30.00'	LT. CORNER OF PARKING BAY
				64	7+35.58	12.00'	LT. PT
				65	7+37.58	12.00'	LT. PC
				66	7+46.40	14.05'	LT. TTC
				67	7+49.85	16.20'	LT. BTC

NOTE:
BTC = BOTTOM OF TAPER CURB
TTC = TOP OF TAPER CURB

CURB DELINEATION TABLE							
DEXTER DRIVE							
PT. No.	STATION	OFFSET	DESCRIPTION	PT. No.	STATION	OFFSET	DESCRIPTION
1	0+22.69	13.00'	RT. BTC	23	0+24.02	15.56'	LT. BTC
2	0+28.92	12.00'	RT. TTC/PT	24	0+32.36	12.23'	LT. TTC
3	0+46.58	12.00'	RT. PC	25	0+35.41	12.00'	LT. PC
4	0+51.58	30.00'	RT. CORNER OF PARKING BAY	26	0+62.85	12.00'	LT. PC
5	0+60.58	30.00'	RT. TTC	27	0+82.88	12.00'	LT. BEGIN TRANSITION TO TYPE C
6	0+69.75	30.00'	RT. PC	28	0+87.81	12.00'	LT. BEGIN TYPE C
7	0+68.78	30.00'	RT. BTC	29	1+35.54	12.00'	LT. TTC
8	0+73.96	30.00'	RT. BTC	30	1+41.46	12.00'	LT. BTC
9	0+82.24	30.00'	RT. TTC	31	1+53.07	12.00'	LT. TTC
10	1+18.40	30.00'	RT. TTC	32	1+59.00	12.00'	LT. TTC
11	1+27.68	30.00'	RT. BTC	33	1+65.60	12.00'	LT. PT
12	1+35.96	30.00'	RT. BTC	34	2+05.65	12.00'	LT. TTC
13	1+44.24	30.00'	RT. TTC/CORNER OF PARKING BAY	35	2+11.65	12.00'	LT. BTC
14	1+50.37	12.00'	RT. MIDPOINT	36	2+16.65	12.00'	LT. BTC
15	1+56.49	30.00'	RT. CORNER OF PARKING BAY	37	2+22.90	12.00'	LT. TTC/PC
16	1+55.60	30.00'	RT. PT				
17	2+10.80	30.00'	RT. CORNER OF PARKING BAY				
18	2+10.80	22.69'	RT. TTC				
19	2+10.80	16.69'	RT. BTC/PC				
20	2+15.81	12.82'	RT. PT				
21	2+16.66	13.05'	RT. BTC				
22	2+20.48	14.56'	RT. TTC				

C.L. CURVE DATA CHART									
STREET NAME	CURVE	PC STA.	PT STA.	RADIUS	TANGENT	ARC	CHORD	BEARING	DELTA
ADDERLEY AVE.	↻	1+21.65	4+04.22	425.00'	146.73'	282.57'	277.39'	S 66°44'55" E	38°53'30"
ADDERLEY AVE.	↻	6+02.31	6+76.10	75.00'	40.19'	73.79'	70.85'	N 75°53'14" W	58°22'17"
COLTRANE COURT	↻	1+18.05	2+46.82	225.00'	66.20'	128.77'	127.02'	S 30°28'07" E	32°47'28"
DEXTER DRIVE	↻	0+62.85	1+65.43	888.16'	51.33'	102.58'	102.52'	N 39°48'57" E	6'37'03"



1 PARKING SPACE LAYOUT NO SCALE

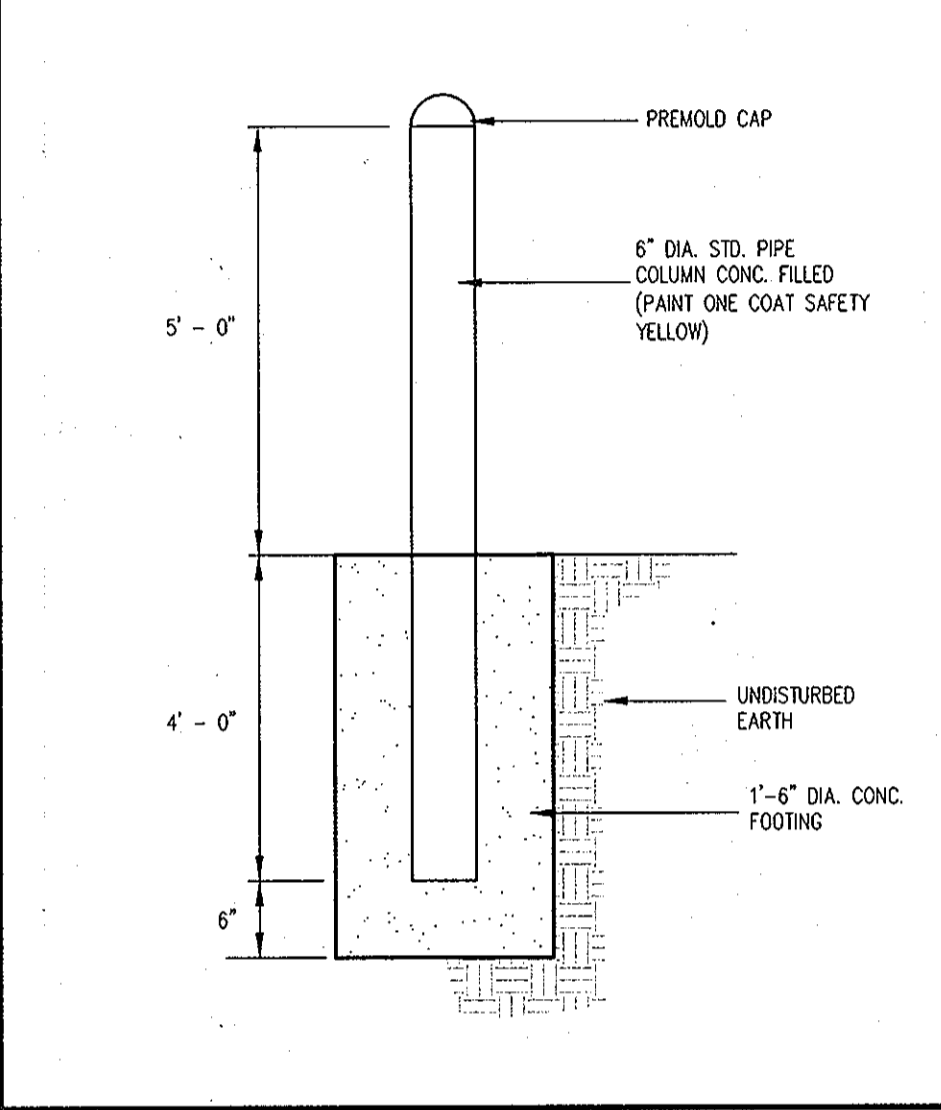
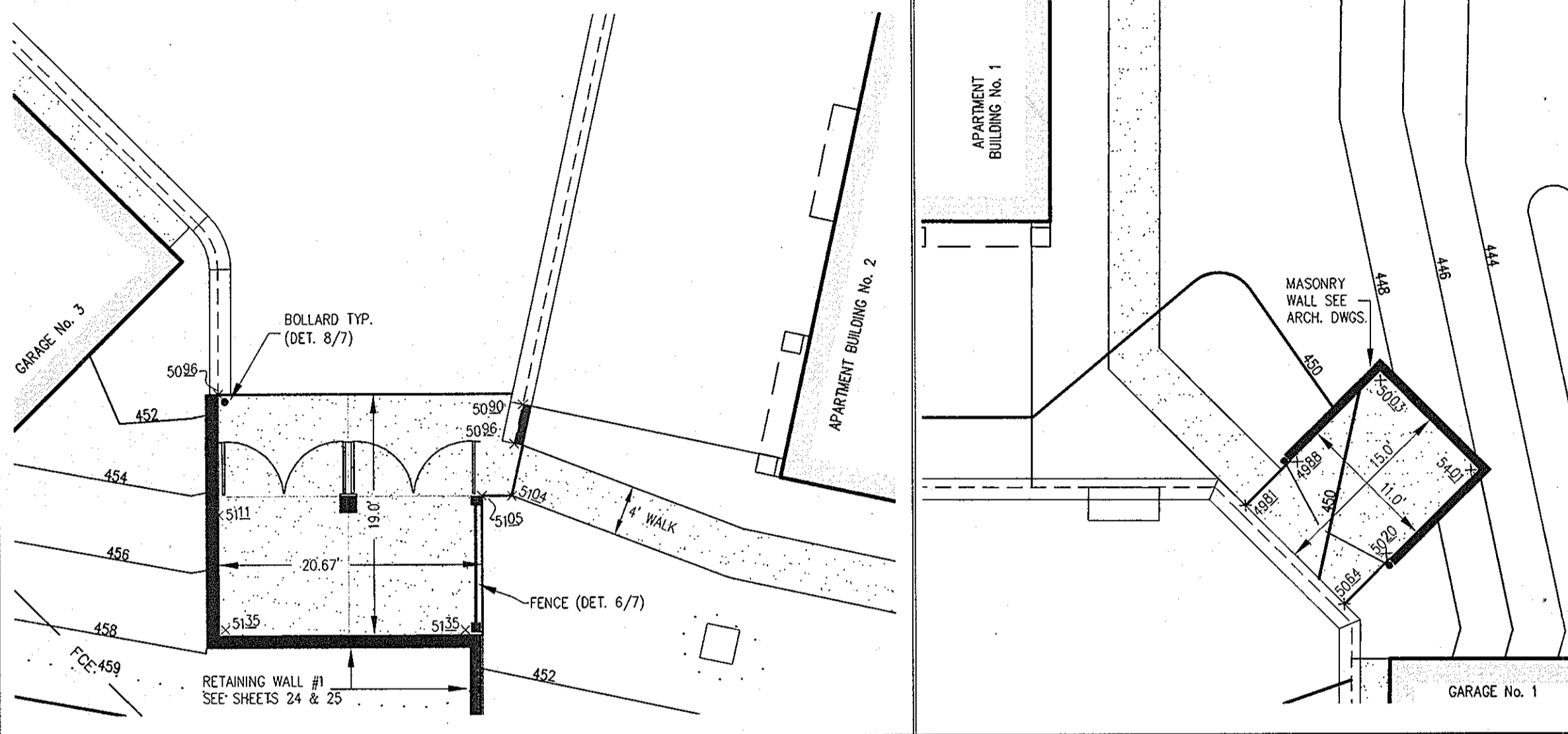
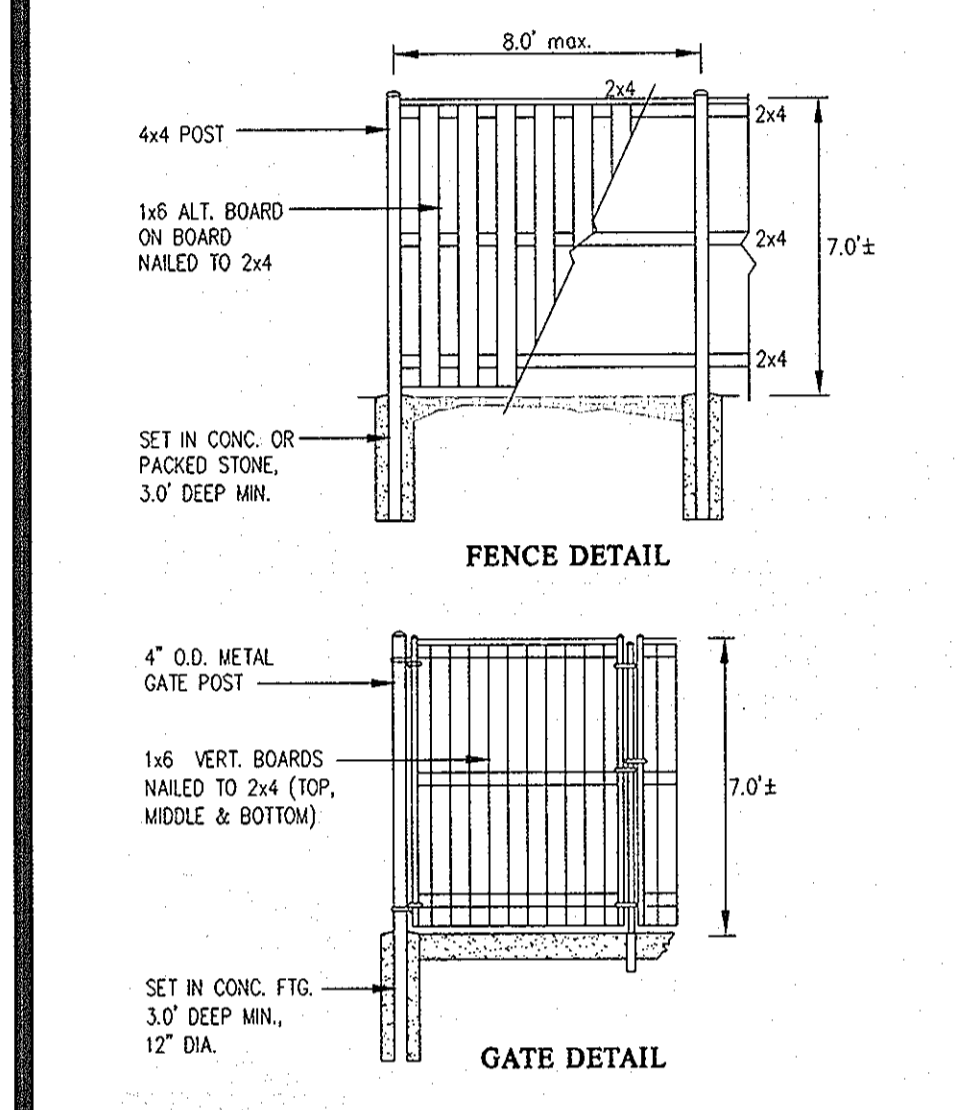
2 HANDICAP SPACE STENCIL LAYOUT NO SCALE

3 HANDICAP PARKING SIGNS DETAIL NO SCALE

4 POST & SIGN DETAIL FOR PARKING RESTRICTION SIGN NO SCALE

5 TYPE-C SIDEWALK RAMP NO SCALE

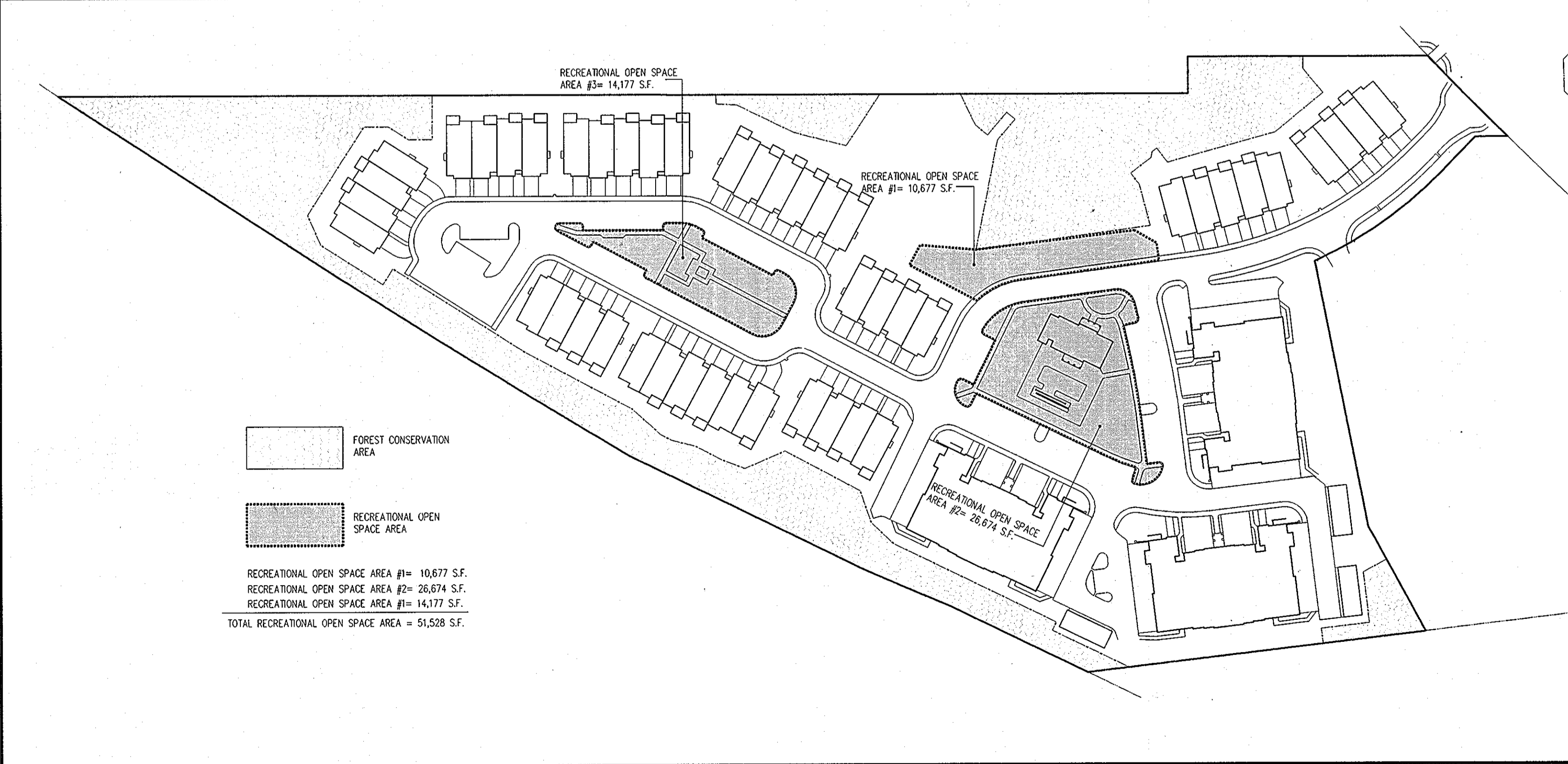
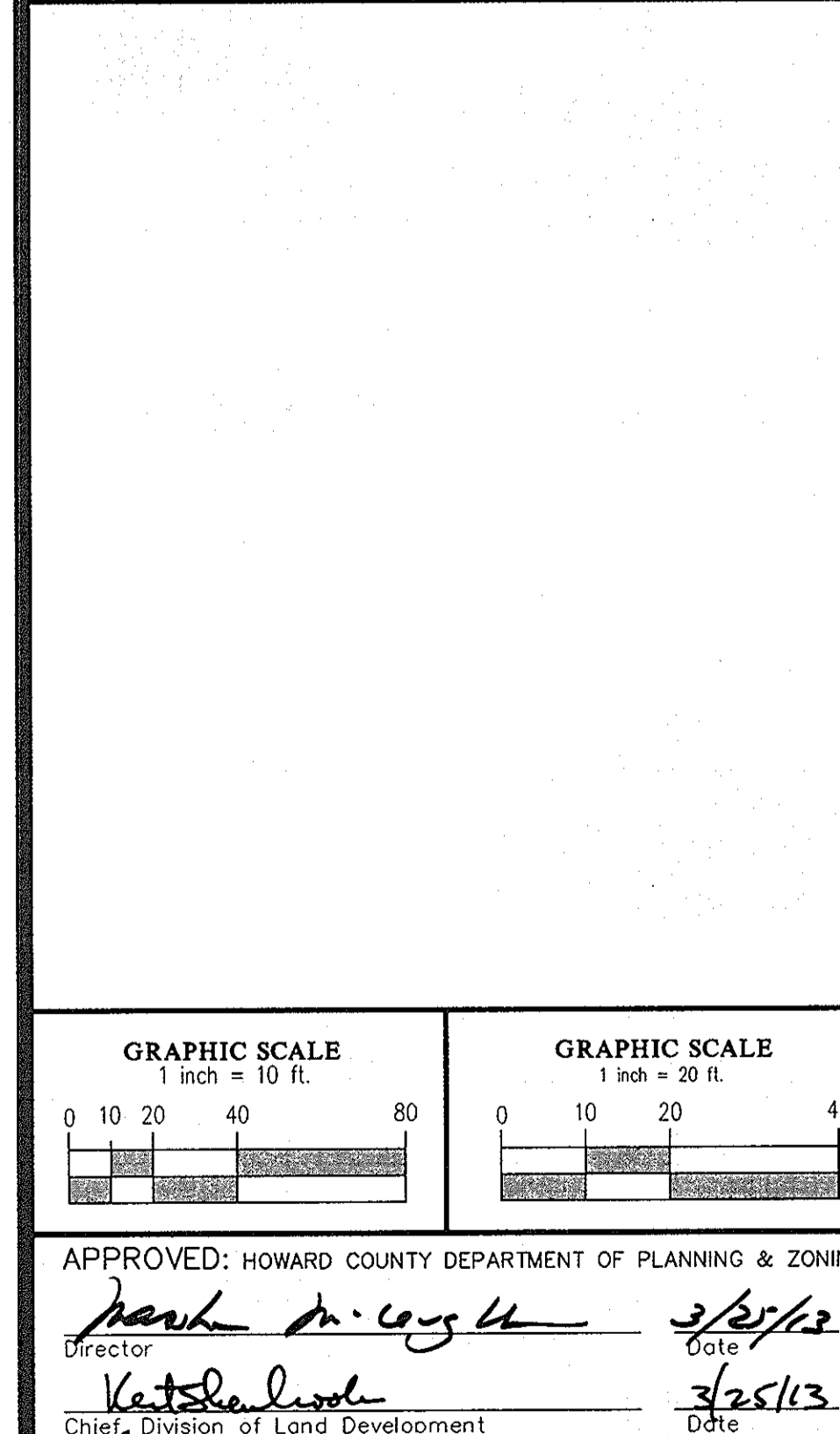
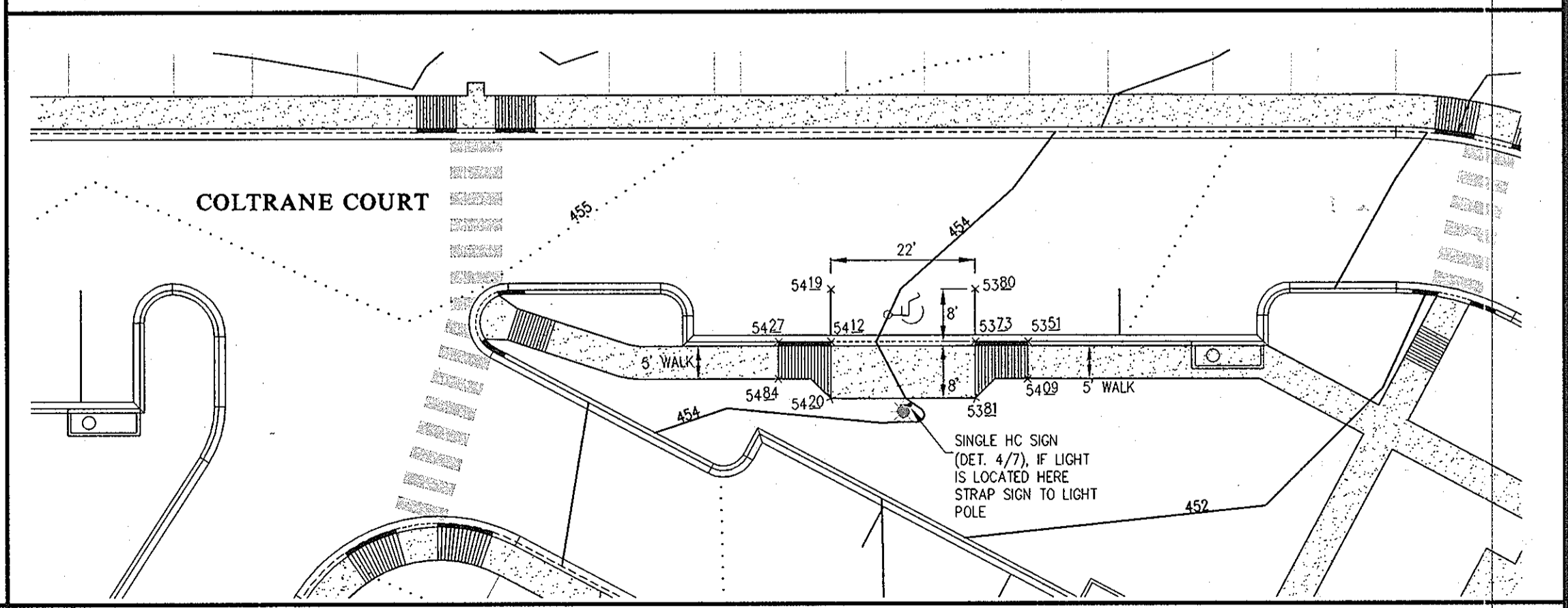
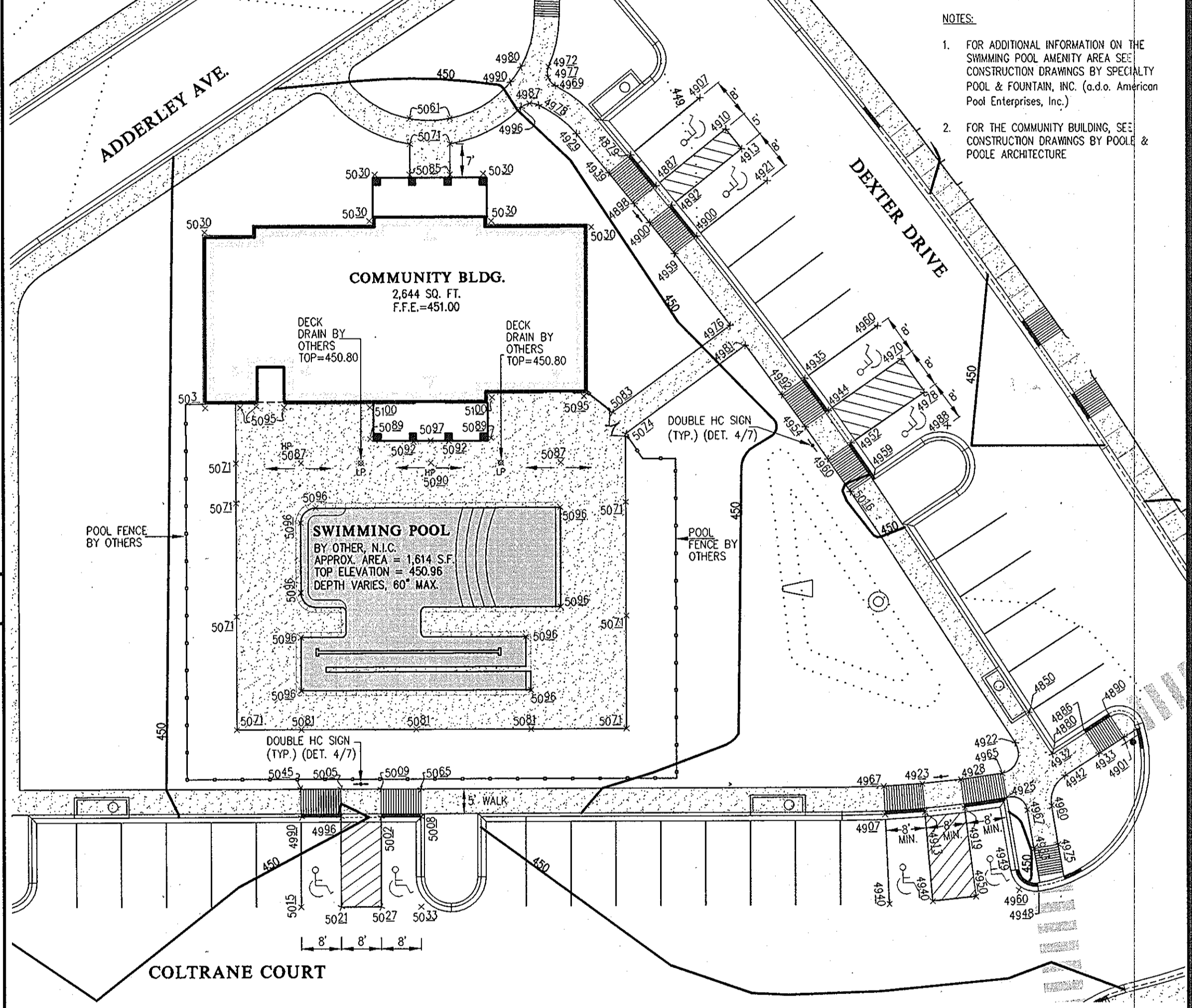
6 SIDEWALK RAMP PERPENDICULAR TO CURB NO SCALE



6 GATE and FENCE DETAIL FOR TRASH ENCLOSURE NO SCALE

7 TRASH ENCLOSURE DETAILS SCALE 1" = 10'

8 BOLLARD DETAIL NO SCALE



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: [Signature] Date: 3/25/13
 Chief, Division of Land Development: [Signature] Date: 3/25/13
 Chief, Development Engineering Division: [Signature] Date: 3/21/13

PREPARED FOR:
 NORTHEDGE, LLC
 24012 FREDERICK ROAD
 SUITE 200
 CLARKSBURG, MARYLAND 20871
 JONATHAN W. SOULE
 301-428-0800

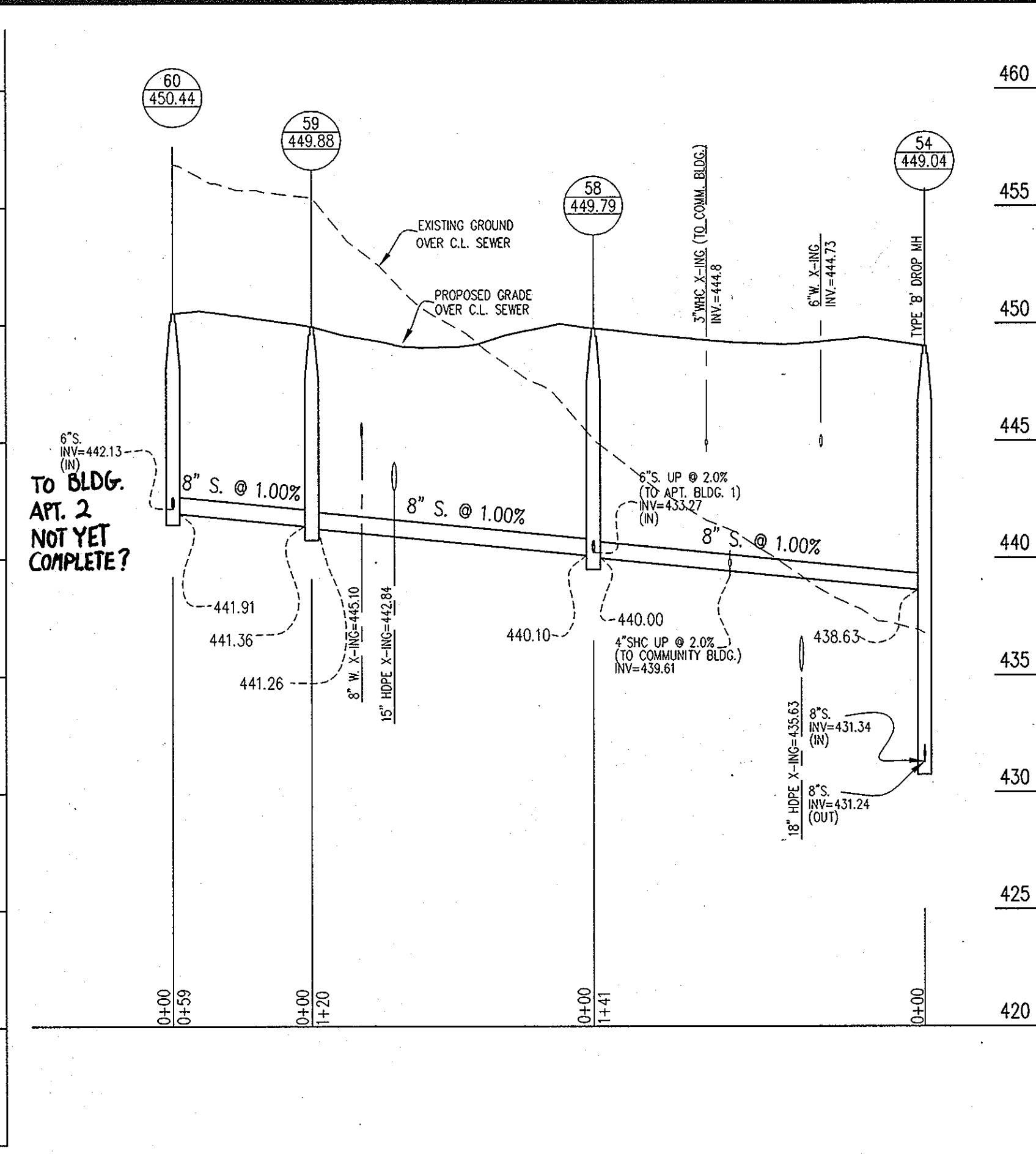
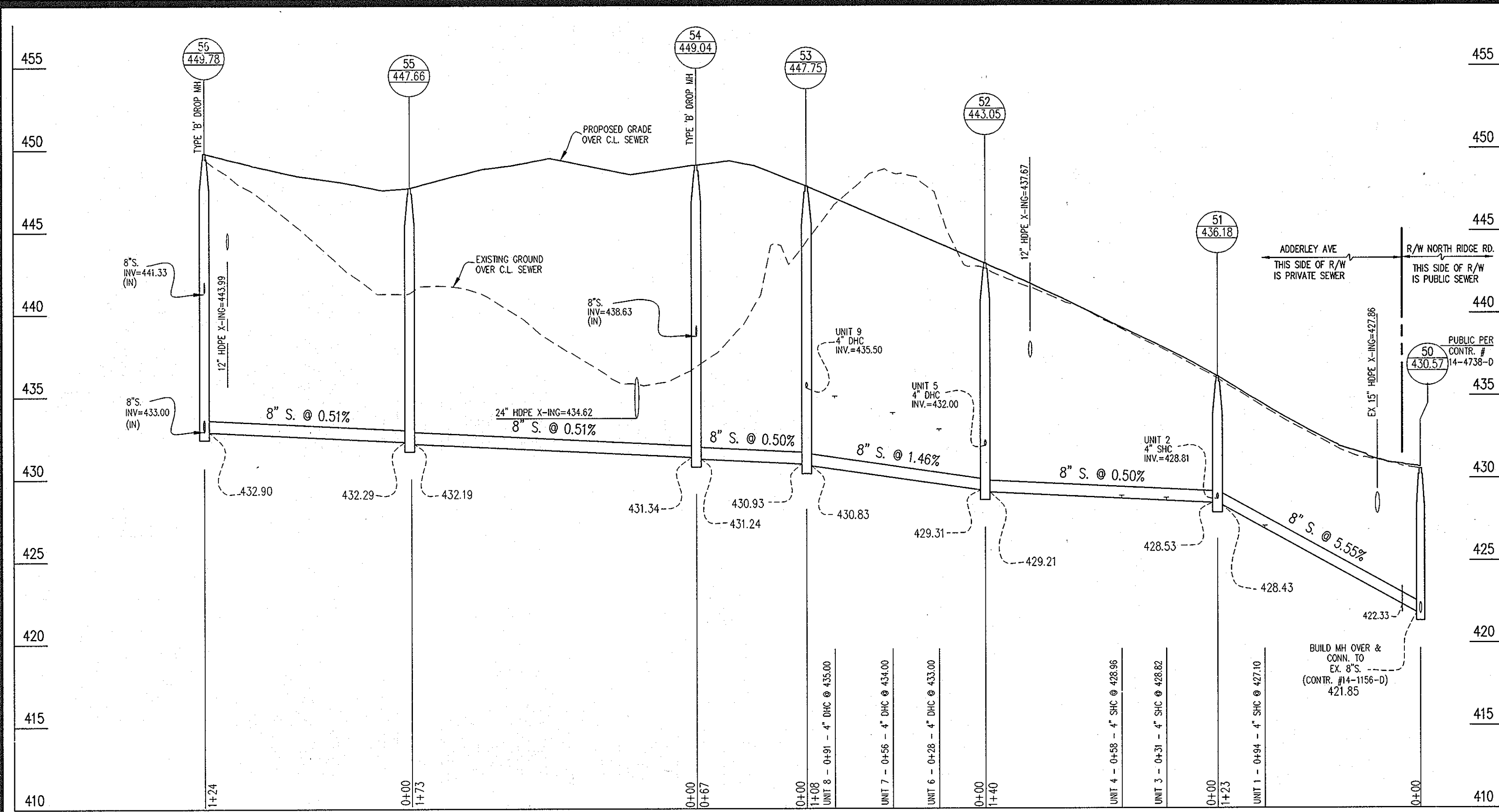
PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. 12375
 EXPIRATION DATE: MAY 28, 2014

STATE OF MARYLAND
 PROFESSIONAL ENGINEER

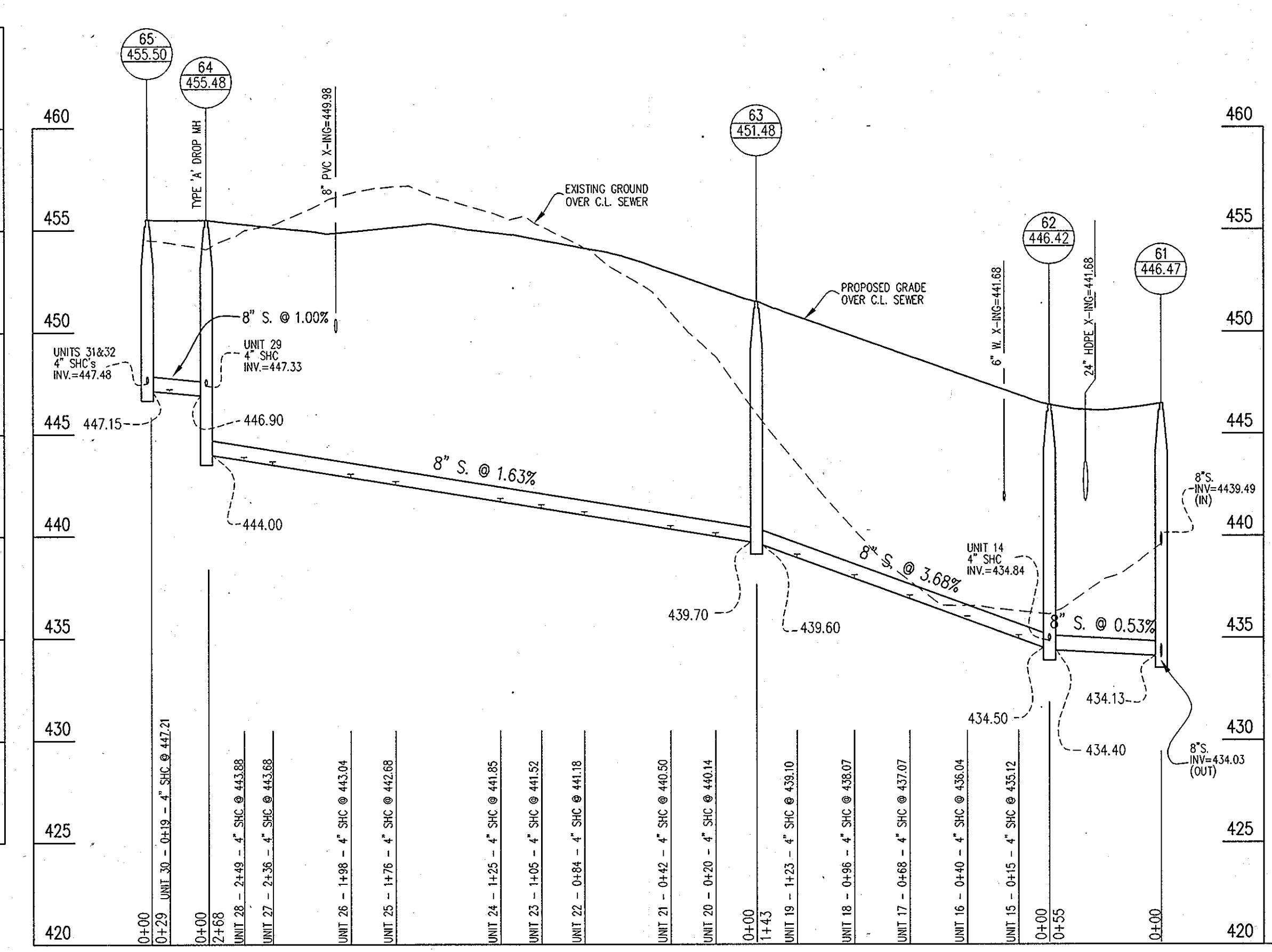
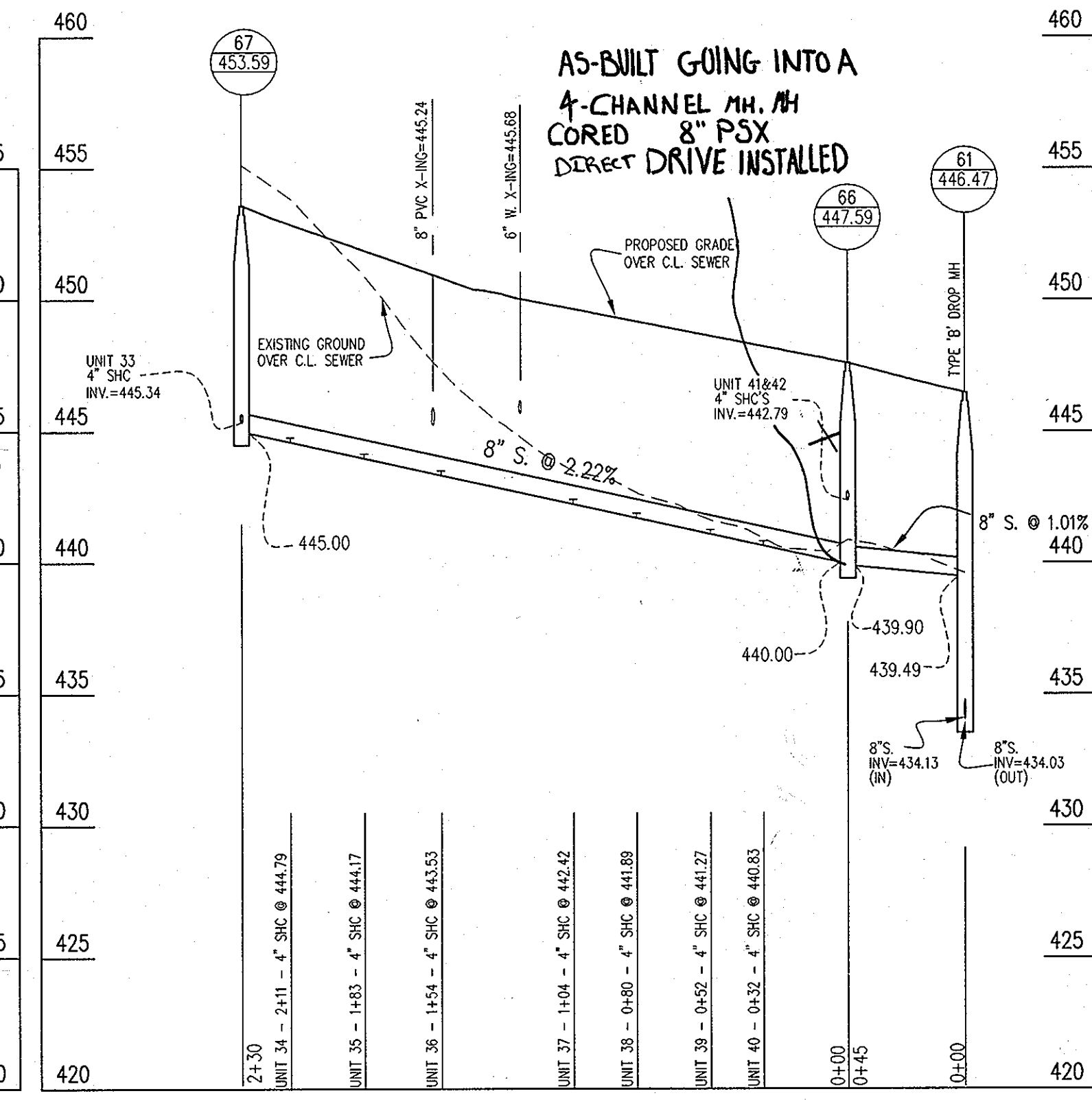
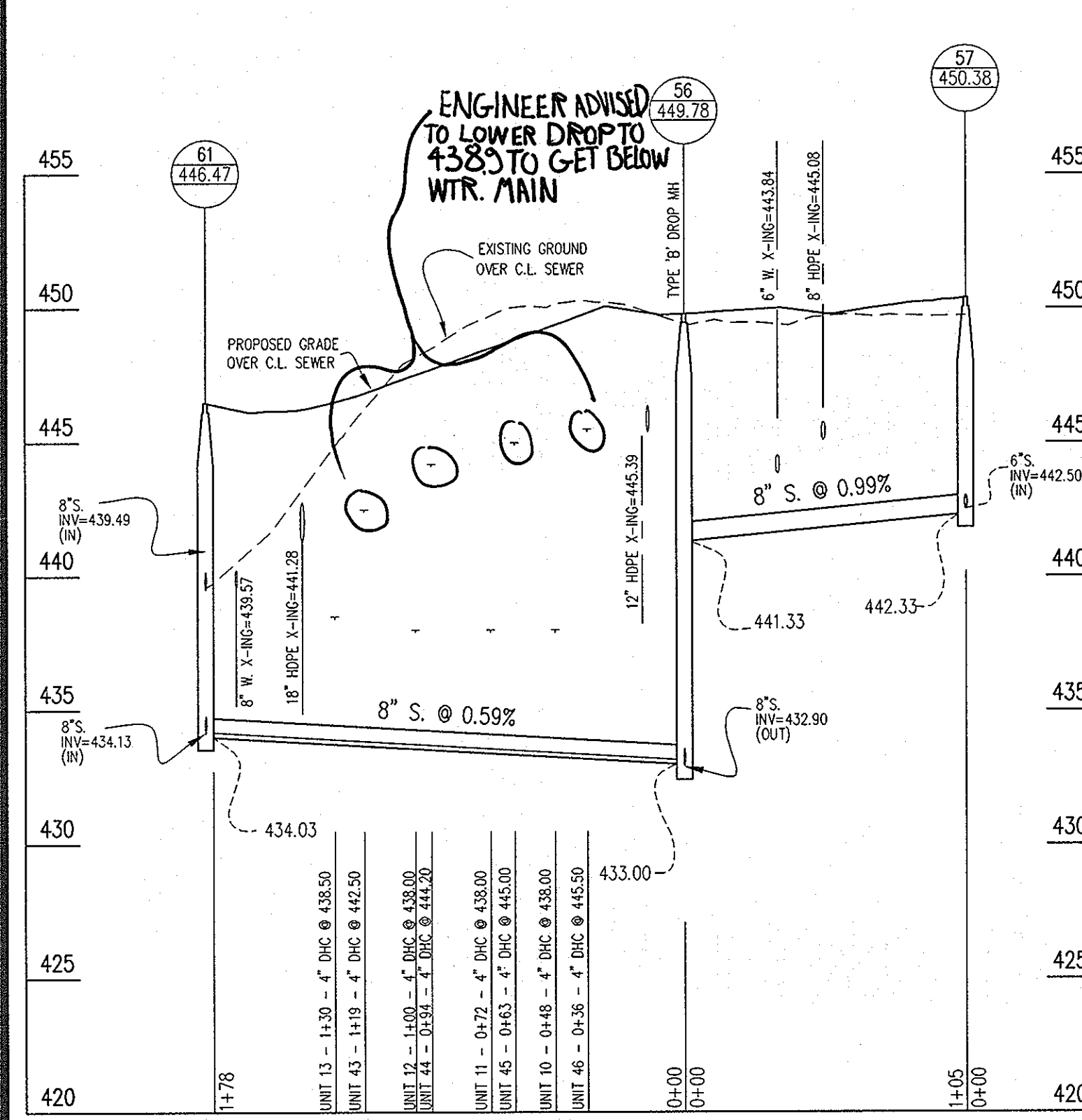
HANDICAP ACCESSIBILITY DETAILS / SITE DETAILS

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	POR	11005
DATE	TAX MAP - GRID	SHEET
JAN. 2013	17 - 23	7 OF 26

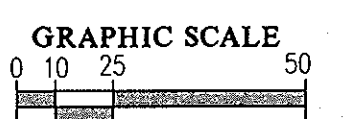
HOWARD COUNTY, MARYLAND



UNIT No.	INVERT 4" SHC AT SEWER MAIN	DROP HOUSE CONNECTION INVERT	LENGTH FROM SEWER MAIN TO "A"	"A" INVERT 4" SHC + 1' WALK/ESMT. AT 2.00%	LENGTH FROM ("A") TO BACK OF HOUSE	INVERT OF 4" SHC AT BACK OF HOUSE @ 2%	MIN. CELLAR ELEVATION (MCE)	B.S.E. / SLAB ELEVATION
1	427.10	N/A	13.00	427.36	85	429.00	431.00	436.78
2	428.81	428.81	14.00	429.09	85	430.77	432.77	438.01
3	428.82	N/A	10.00	429.02	85	430.74	432.74	438.28
4	428.96	N/A	8.00	429.12	85	430.82	432.82	438.28
5	432.00	N/A	14.00	432.28	84	433.96	435.96	438.33
6	429.84	433.00	11.00	433.22	85	434.90	436.90	437.33
7	430.25	434.00	10.00	434.20	84	435.88	437.88	438.33
8	430.75	435.00	12.00	435.24	84	436.82	438.82	439.33
9	435.50	N/A	15.00	435.80	82	437.44	439.44	440.00
10	439.42	438.00	13.00	438.26	82	439.96	441.96	450.60
11	433.56	438.00	13.00	438.26	81	439.94	441.94	449.93
12	439.75	438.00	13.00	438.26	82	439.96	441.96	448.93
13	433.92	438.50	13.00	438.76	82	440.48	442.48	448.27
14	434.84	N/A	24.00	435.32	82	436.96	438.96	438.43
15	435.12	N/A	24.00	435.60	82	437.30	439.30	440.43
16	436.04	N/A	24.00	436.52	82	438.22	440.22	441.43
17	437.07	N/A	24.00	437.55	82	439.25	441.25	442.43
18	438.07	N/A	24.00	438.55	84	440.23	442.23	443.43
19	439.10	N/A	24.00	439.58	85	441.28	443.28	444.10
20	440.14	N/A	24.00	440.62	85	442.32	444.32	446.17
21	440.50	N/A	24.00	440.98	83	442.64	444.64	446.83
22	441.19	N/A	24.00	441.96	82	443.36	445.36	447.50
23	441.82	N/A	24.00	442.00	82	443.66	445.66	448.17
24	441.85	N/A	24.00	442.33	82	444.03	446.03	448.17
25	442.66	N/A	24.00	443.16	82	444.86	446.86	448.17
26	443.04	N/A	24.00	443.52	82	445.22	447.22	448.17
27	443.88	N/A	24.00	444.16	82	445.82	447.82	448.17
28	443.88	N/A	24.00	444.36	83	446.02	448.02	448.83
29	447.33	N/A	25.00	447.83	83	449.61	451.61	458.17
30	449.21	N/A	27.00	449.75	83	451.41	453.41	458.17
31	447.48	N/A	25.00	447.98	83	449.64	451.64	458.83
32	447.48	N/A	25.00	448.12	86	449.84	451.84	459.50
33	445.24	N/A	24.00	445.82	83	447.48	449.48	450.00
34	443.78	N/A	24.00	445.27	83	446.93	448.93	450.00
35	444.17	N/A	24.00	444.65	82	446.35	448.35	450.00
36	443.63	N/A	24.00	444.01	82	445.71	447.71	450.00
37	442.82	N/A	24.00	443.90	82	444.80	446.80	450.00
38	441.89	N/A	24.00	442.37	83	444.03	446.03	452.33
39	441.67	N/A	24.00	441.75	82	443.45	445.45	451.67
40	440.83	N/A	24.00	441.31	83	442.97	444.97	451.00
41	442.79	N/A	24.00	443.27	83	444.93	446.93	450.33
42	442.79	N/A	23.00	443.29	84	444.97	446.97	449.67
43	443.85	N/A	24.00	444.29	83	444.64	446.64	449.67
44	433.89	444.20	24.00	444.68	83	446.94	448.94	450.67
45	433.90	445.00	24.00	445.48	86	447.18	449.18	451.33
46	433.95	445.50	24.00	445.98	85	447.68	449.68	452.00



ALL PROFILES
SCALE: 1" = 5' VERT.
1" = 50' HORIZ.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *[Signature]* Date: 2/25/13
 Chief, Division of Land Development: *[Signature]* Date: 3/26/13
 Chief, Development Engineering Division: *[Signature]* Date: 2.21.13

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-988-2524 FAX: 301-421-4186

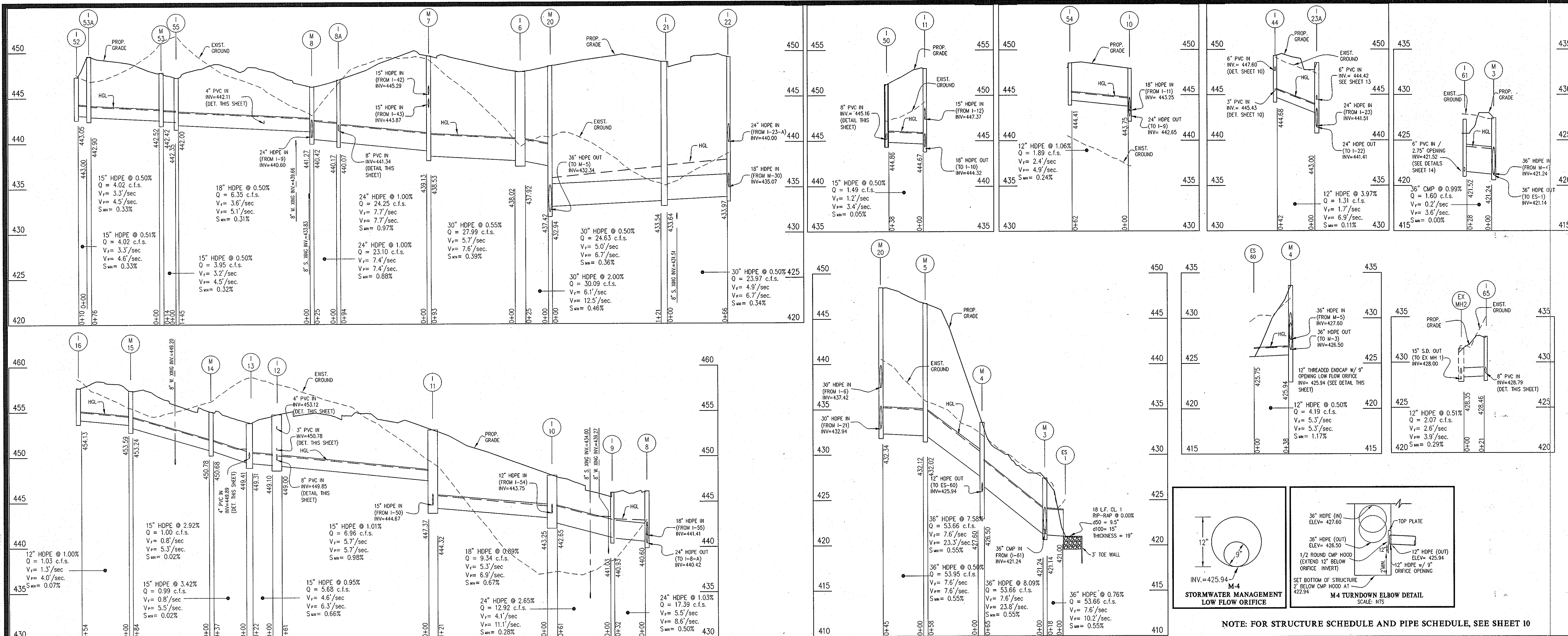
DATE	REVISION	BY	APP'R
2-2-2014	As Built	KC	

PREPARED FOR:
 NORTHEDGE, LLC
 24012 FREDERICK ROAD
 SUITE 200
 CLARKSBURG, MARYLAND 20871
 JONATHAN W. SOULE
 301-428-0800

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
 EXPIRATION DATE: MAY 28, 2014
 2-1-13

PRIVATE SEWER PROFILES
THE GATHERINGS at ELLICOTT MILLS
 PARCEL A
 AGE RESTRICTED ADULT HOUSING
 PLAT Nos. 11833 & 2216-2217
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	POR	11005
DATE	TAX MAP - GRID	SHEET
JAN. 2013	17 - 23	8 OF 26

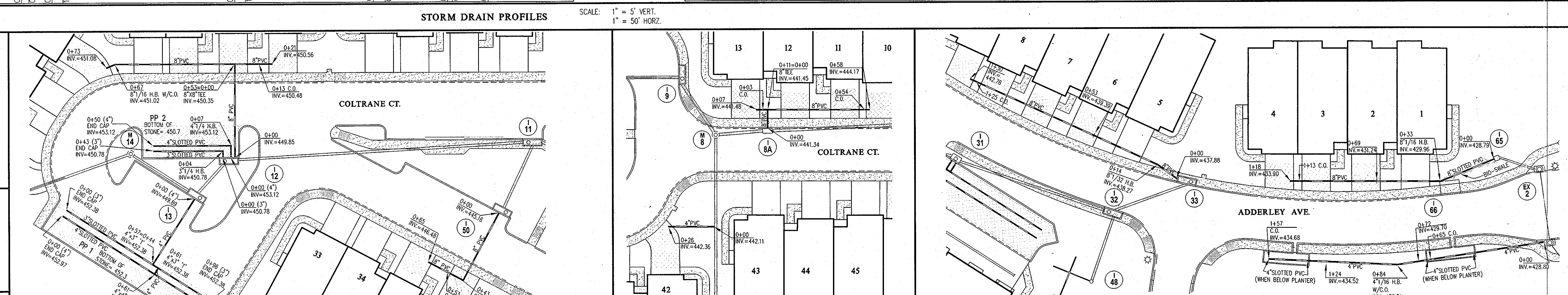


LEGEND

PERVIOUS PAVEMENT

GRAPHIC SCALE
1 inch = 30 ft.

GRAPHIC SCALE
1 inch = 50 ft.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Barbara D. Gough 3/25/13
Director

Vaughn Shearman 3/25/13
Chief, Division of Land Development

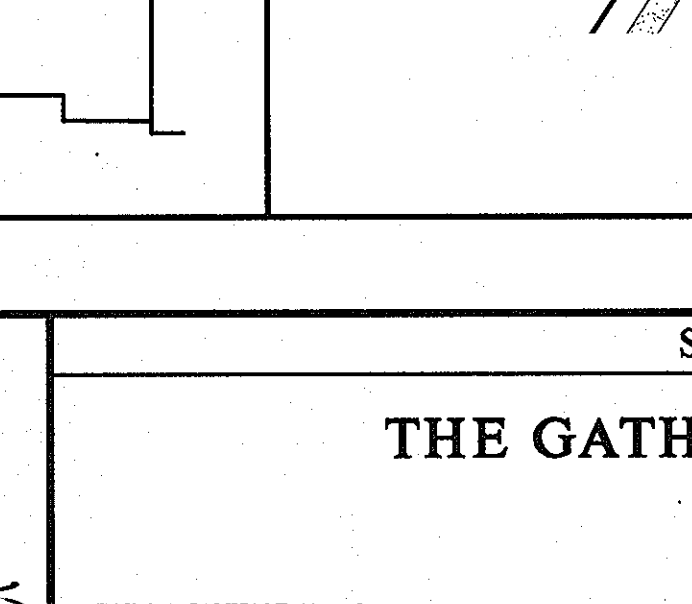
David Christen 2.21.13
Chief, Development Engineering Division

GLWGUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20886
TEL: 301-421-4024 BAL: 410-880-1820 DC/Va: 301-969-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.

PREPARED FOR:
NORTHTRIDGE, LLC
24012 FREDERICK ROAD
SUITE 200
CLARKSBURG, MARYLAND 20871
JONATHAN W. SOULE
301-428-0800



STORM DRAIN PROFILES

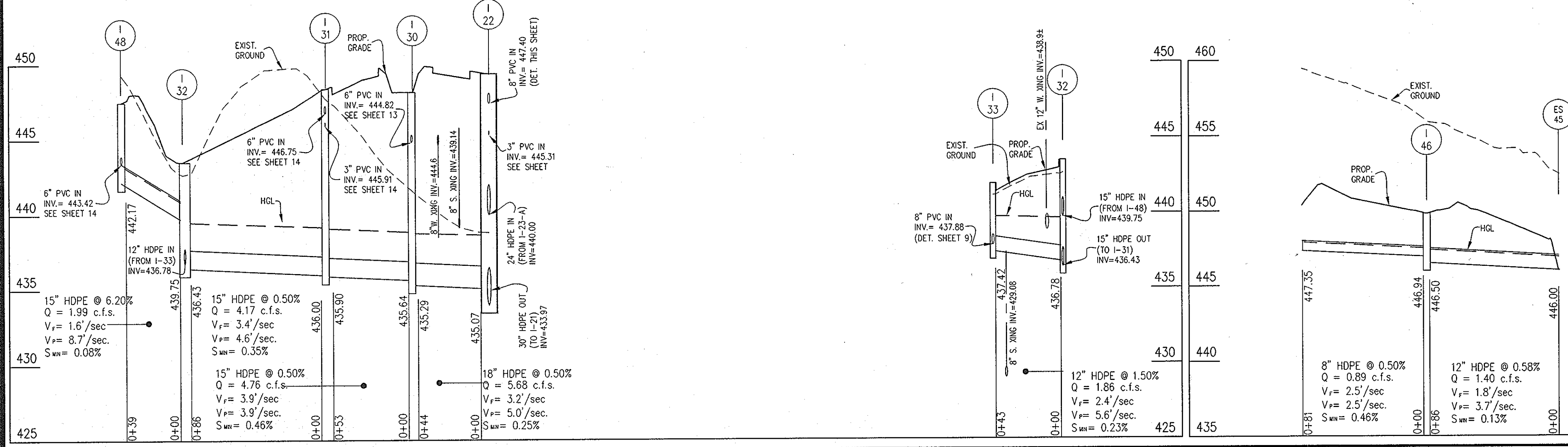
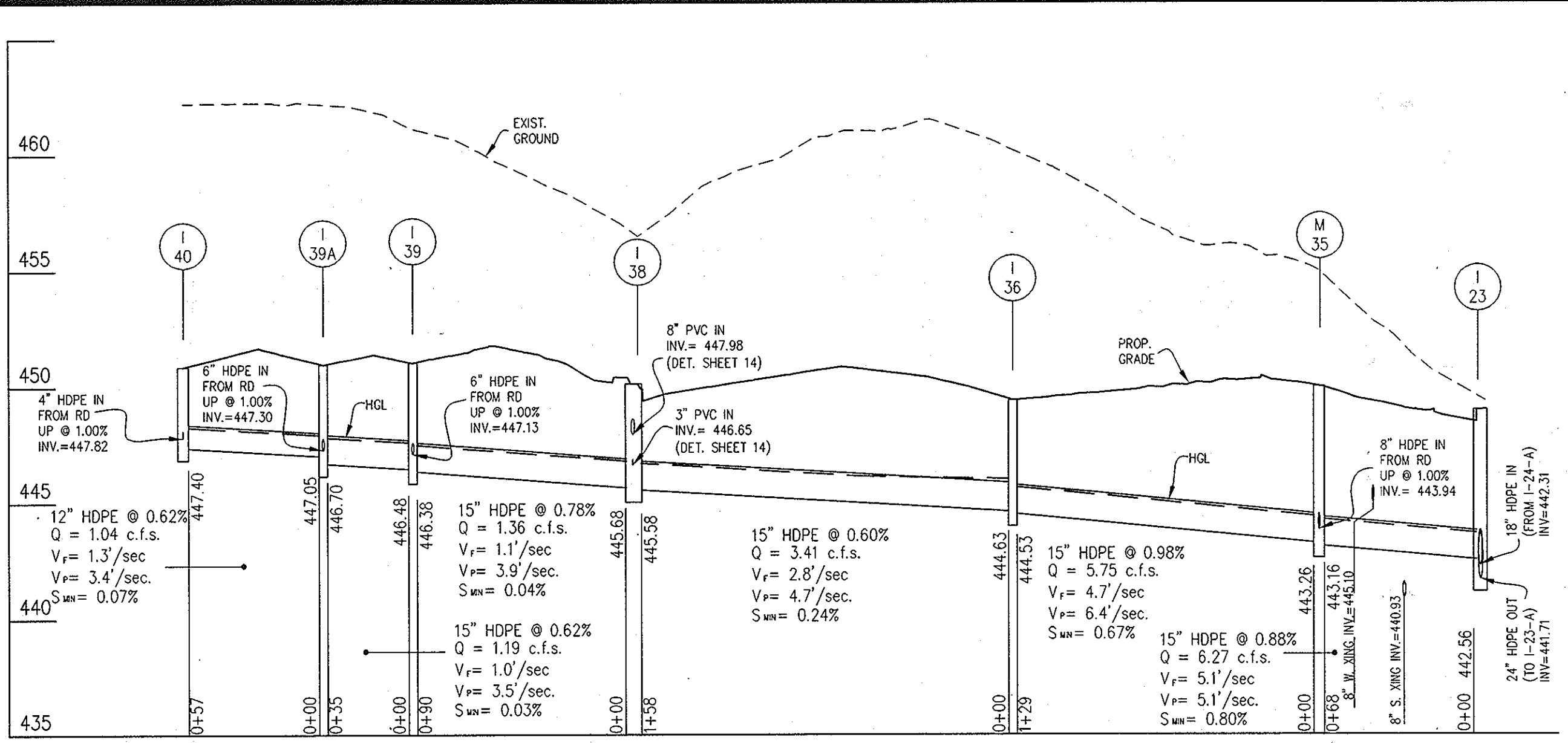
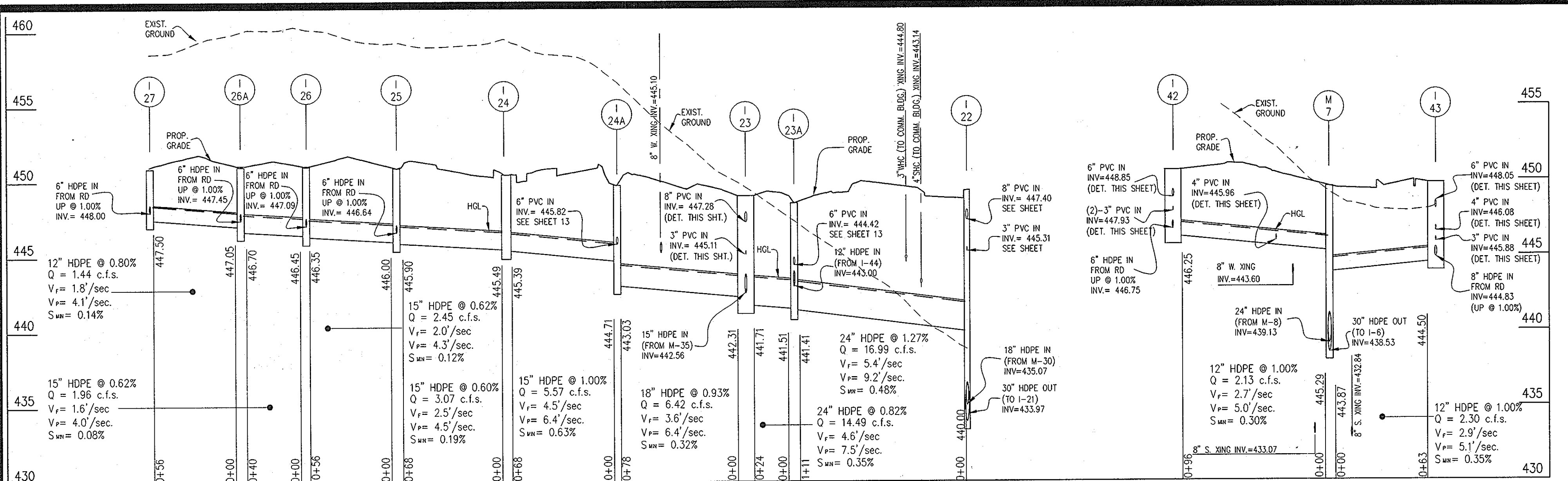
THE GATHERINGS at ELLICOTT MILLS

PARCEL A
AGE RESTRICTED ADULT HOUSING
PLAT Nos. 11833 & 12102-12117

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	POR	11005
DATE	TAX MAP - GRID	SHEET
JAN. 2013	17 - 23	9 OF 26

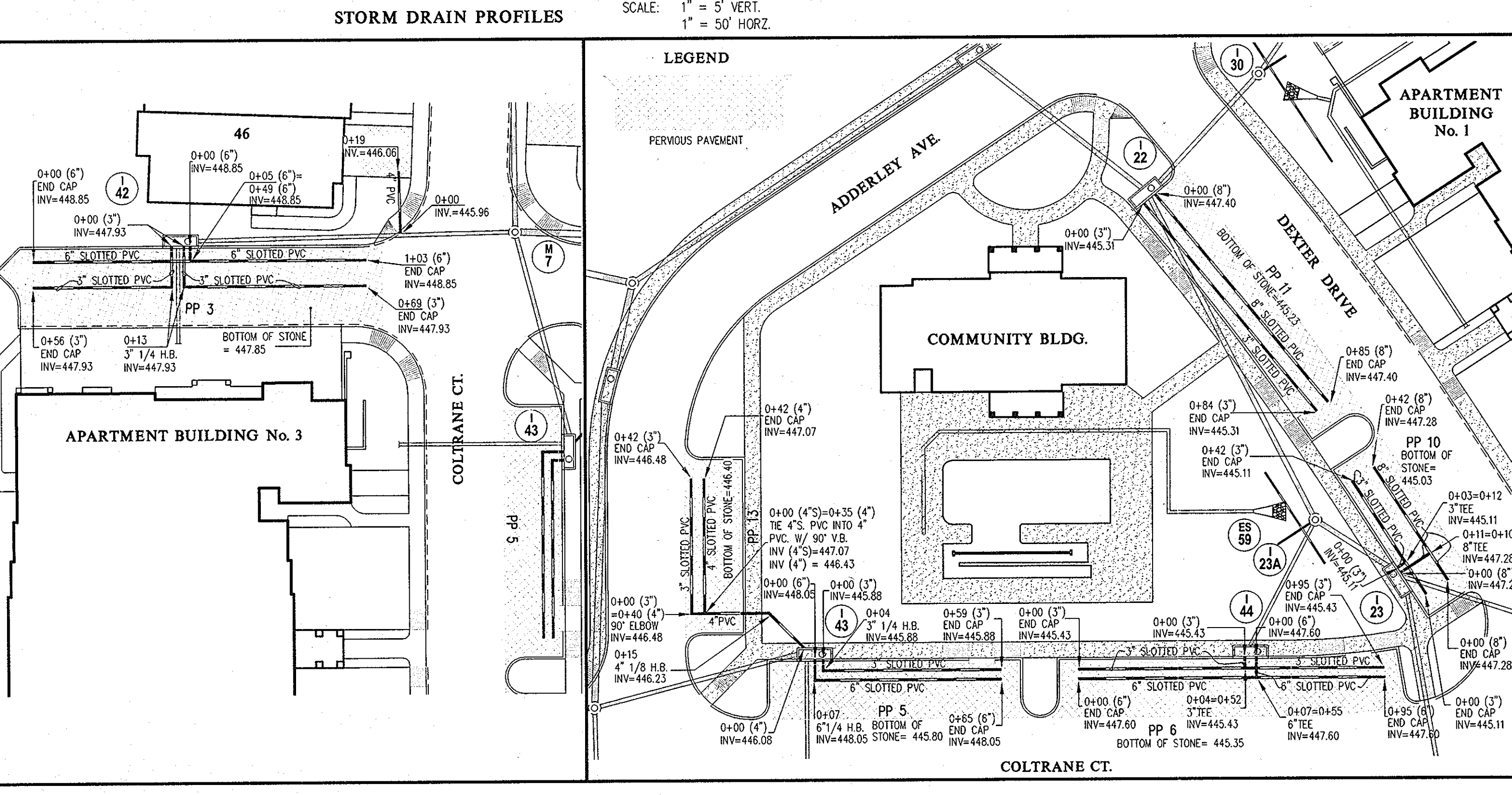
ELECTION DISTRICT No. 2



S.D. STRUCTURE SCHEDULE											
NO.	TYPE	WIDTH	TOP ELEVATION		INVERT ELEVATION		STANDARD DETAIL	NOTES	LOCATION	OWNERSHIP	MAINTENANCE
ES-1	END SECTION	----	424.00	421.00	----	----	HO. CO. D. 5.51		N. 590617.5483 E. 1362588.5724	PRIVATE	
M-3	MANHOLE	5'-0"	427.44	421.24	421.14	421.14	HO. CO. G. 5.13		N. 590617.5778 E. 1362570.0995	PRIVATE	
M-4	MANHOLE	5'-0"	433.59	425.94	425.94	425.94	HO. CO. G. 5.13		N. 590624.8571 E. 1362509.7514	PRIVATE	
M-5	MANHOLE	5'-0"	446.71	432.12	432.02	432.02	HO. CO. G. 5.13		N. 590655.8005 E. 1362450.3072	PRIVATE	
I-6	A-10	3'-6"	447.85	447.85	438.02	437.92	HO. CO. D. 4.03		6456.79 12.01' Right ADDERLEY AVENUE	PRIVATE	
M-7	MANHOLE	5'-0"	449.56	445.29	438.53	438.53	HO. CO. G. 5.13		7453.77 16.38' Right ADDERLEY AVENUE	PRIVATE	
M-8	MANHOLE	5'-0"	446.16	441.27	440.42	440.42	HO. CO. G. 5.13		5492.38 8.44' Right COLTRANE COURT	PRIVATE	
I-8-A	DOUBLE 'S'	2'-7-1/2"	447.02	446.81	441.34	440.07	HO. CO. D. 4.23	NO THROAT	5483.07 12.00' Right COLTRANE COURT	PRIVATE	
I-9	A-10	3'-0"	446.02	446.02	441.03	440.93	HO. CO. D. 4.04		6467.12 12.00' Right COLTRANE COURT	PRIVATE	
I-10	A-10	3'-0"	448.10	447.70	443.75	442.65	HO. CO. D. 4.03		7442.03 20.00' Left COLTRANE COURT	PRIVATE	
I-11	A-10	3'-0"	453.12	452.73	447.37	444.32	HO. CO. D. 4.03		8486.28 20.00' Left COLTRANE COURT	PRIVATE	
I-12	A-10	3'-0"	454.74	454.70	453.12	449.00	HO. CO. D. 4.03		10460.53 30.00' Left COLTRANE COURT	PRIVATE	
I-13	A-10	3'-0"	453.83	453.66	449.89	449.31	HO. CO. D. 4.03		12448.72 30.00' Left COLTRANE COURT	PRIVATE	
M-14	MANHOLE	4'-0"	455.00	448.44	450.78	450.68	HO. CO. G. 5.12		11412.78 27.99' Left COLTRANE COURT	PRIVATE	
M-15	MANHOLE	4'-0"	457.34	453.59	453.24	453.24	HO. CO. G. 5.12		N. 59051.0592 E. 1362033.7712	PRIVATE	
I-16	'S'	2'-7-1/2"	457.63	454.13	terminal	terminal	HO. CO. D. 4.22		N. 59051.0592 E. 1362021.2346	PRIVATE	
M-20	MANHOLE	5'-0"	448.44	437.42	432.34	432.34	HO. CO. G. 5.13		6430.71 20.97' Right ADDERLEY AVENUE	PRIVATE	
I-21	A-10	3'-6"	448.86	448.86	433.64	433.54	HO. CO. D. 4.03		5410.09 12.00' Right ADDERLEY AVENUE	PRIVATE	
I-22	A-10	3'-0"	449.42	449.20	447.40	433.97	HO. CO. D. 4.03		0451.41 12.92' Right DEXTER DRIVE	PRIVATE	
I-23	A-10	3'-0"	449.00	449.00	447.28	441.71	HO. CO. D. 4.03		1496.30 30.00' Right DEXTER DRIVE	PRIVATE	
I-23-A	MANHOLE	5'-0"	448.75	444.42	441.41	441.41	HO. CO. G. 5.13		NEEMAH FOUNDRY-R-2554 INLET FRAME & GRATE	PRIVATE	
I-24	A-10	3'-0"	450.39	450.37	445.49	445.39	HO. CO. D. 4.03		1466.71 43.26' Right DEXTER DRIVE	PRIVATE	
I-24-A	MANHOLE	4'-0"	450.15	445.82	443.03	443.03	HO. CO. G. 5.12		NEEMAH FOUNDRY-R-2554 INLET FRAME & GRATE	PRIVATE	
I-25	'S'	2'-7-1/2"	450.90	446.64	445.90	445.90	HO. CO. D. 4.22		N. 590251.3511 E. 1362207.8453	PRIVATE	
I-26	'S'	2'-7-1/2"	451.00	447.09	446.35	446.35	HO. CO. D. 4.22		N. 590259.3444 E. 1362133.2892	PRIVATE	
I-26-A	'S'	2'-7-1/2"	451.00	447.45	446.70	446.70	HO. CO. D. 4.22		N. 590351.5749 E. 1362182.6813	PRIVATE	
I-27	'S'	2'-7-1/2"	450.90	448.00	447.50	447.50	HO. CO. D. 4.22		N. 590409.9178 E. 1362182.6813	PRIVATE	
I-30	MANHOLE	4'-0"	449.15	444.82	435.29	435.29	HO. CO. G. 5.12		NEEMAH FOUNDRY-R-2554 INLET FRAME & GRATE	PRIVATE	
I-31	A-5	4'-0"	448.49	448.49	446.75	435.90	HO. CO. D. 4.01		0437.08 Left 20.93' ADDERLEY AVENUE	PRIVATE	
I-32	A-10	3'-0"	443.78	443.29	439.75	436.43	HO. CO. D. 4.03		2496.15 Right 12.00' ADDERLEY AVENUE	PRIVATE	
I-33	A-10	3'-0"	442.20	441.70	437.88	437.42	HO. CO. D. 4.03		2461.36 Right 12.00' ADDERLEY AVENUE	PRIVATE	
M-35	MANHOLE	4'-0"	450.05	443.94	443.16	443.16	HO. CO. G. 5.12		0405.91 Right 10.68' COLTRANE COURT	PRIVATE	
I-36	DOUBLE 'S'	2'-7-1/2"	449.44	444.63	444.53	444.53	HO. CO. D. 4.23		N. 589984.8708 E. 1362007.5795	PRIVATE	
I-39	'S'	2'-7-1/2"	451.06	447.13	446.38	446.38	HO. CO. D. 4.22		N. 590013.9888 E. 1362333.7073	PRIVATE	
I-39-A	'S'	2'-7-1/2"	451.00	447.30	446.70	446.70	HO. CO. D. 4.22		N. 590013.9888 E. 1362305.2005	PRIVATE	
I-40	'S'	2'-7-1/2"	450.90	447.82	447.40	447.40	HO. CO. D. 4.22		N. 590114.4748 E. 1362261.4360	PRIVATE	
I-42	A-10	3'-0"	450.59	450.59	448.85	446.25	HO. CO. D. 4.03		N. 590467.7037 E. 1362220.6837	PRIVATE	
I-43	A-10	3'-0"	449.80	449.78	448.05	444.50	HO. CO. D. 4.03		3495.08 Right 30.00' COLTRANE COURT	PRIVATE	
I-44	A-10	3'-0"	449.30	449.30	447.60	444.68	HO. CO. D. 4.03		2459.71 Right 30.01' COLTRANE COURT	PRIVATE	
ES-45	END SECTION	----	447.00	446.00	----	----	HO. CO. D. 5.51		N. 590227.4433 E. 1362648.9599	PRIVATE	
I-46	'S'	2'-7-1/2"	449.80	446.94	446.50	446.50	HO. CO. D. 4.22		N. 59013.0526 E. 1362688.0449	PRIVATE	
I-48	MANHOLE	4'-0"	447.75	443.42	442.17	442.17	HO. CO. G. 5.12		NEEMAH FOUNDRY-R-2554 INLET FRAME & GRATE	PRIVATE	
I-50	A-10	3'-0"	451.29	450.90	445.16	444.86	HO. CO. D. 4.03		14486.94 Left 20.00' COLTRANE COURT	PRIVATE	
I-52	'S'	2'-7-1/2"	447.30	443.05	terminal	terminal	HO. CO. D. 4.22		N. 59063.4147 E. 1362296.2403	PRIVATE	
M-53	MANHOLE	4'-0"	447.77	442.52	442.42	442.42	HO. CO. G. 5.12		N. 590600.2365 E. 1362108.3595	PRIVATE	
M-53A	MANHOLE	4'-0"	449.59	443.00	442.90	442.90	HO. CO. G. 5.12		N. 590674.4783 E. 1362108.3595	PRIVATE	
I-54	A-10	3'-0"	448.64	448.42	444.41	terminal	HO. CO. D. 4.03		16413.64 Left 12.00' COLTRANE COURT	PRIVATE	
I-55	'S'	2'-7-1/2"	442.24	442.35	442.00	442.00	HO. CO. D. 4.22		N. 590600.2365 E. 1362141.5337	PRIVATE	
ES-60	END SECTION	----	426.75	425.75	----	----	HO. CO. D. 5.51		N. 590621.0255 E. 1362510.0590	PRIVATE	
I-61	DOUBLE 'S'	2'-7-1/2"	427.50	421.52	421.52	421.52	HO. CO. D. 4.23		N. 590641.5371 E. 1362549.7828	PRIVATE	
I-65	'S'	2'-7-1/2"	432.85	428.79	428.46	428.46	HO. CO. D. 4.22		N. 590668.1178 E. 1362914.3723	PRIVATE	
I-66	COG-10	----	434.24	433.62	----	----	SHA MD 374.68		140714 Left 12.00' ADDERLEY AVENUE	PRIVATE	

S.D. PIPE SUMMARY TABLE (FOR PERVIOUS PAVING UNDERDRAINS) PRIVATELY OWNED AND MAINTAINED			
SIZE (in.)	TYPE	QUANTITY (L.F.)	REMARKS
3	SLOTTED PVC	688	
4	SLOTTED PVC	270	
6	SLOTTED PVC	138	
4	PVC	120	
8	PVC	477	

S.D. PIPE SUMMARY TABLE PRIVATELY OWNED AND MAINTAINED			
SIZE (in.)	TYPE	QUANTITY (L.F.)	REMARKS
4	HDPE	6	ADS N12 or equiv.
6	HDPE	66	ADS N12 or equiv.
8	HDPE	271	ADS N12 or equiv.
12	HDPE	619	ADS N12 or equiv.
15	HDPE	1332	ADS N12 or equiv.
18	HDPE	348	ADS N12 or equiv.
24	HDPE	387	ADS N12 or equiv.
30	HDPE	305	ADS N12 or equiv.
36	HDPE	186	ADS N12 or equiv.
36	CMP	28	14 GAGE



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Mark A. Conner* Date: *2/25/13*

Chief, Development Engineering Division: *Chris Edmond* Date: *2.21.13*

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

PERVIOUS PAVING UNDERDRAIN DETAILS SCALE: 1" = 30'

PREPARED FOR:
 NORTHRISE, LLC
 24012 FREDERICK ROAD
 SUITE 200
 CLARKSBURG, MARYLAND 20871
 JONATHAN W. SOULE
 301-428-0800

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 26, 2014

STORM DRAIN PROFILES

THE GATHERINGS at ELLICOTT MILLS
 PARCEL A
 AGE RESTRICTED ADULT HOUSING
 PLAT Nos. 11833 & 22102-12-17

SCALE: AS SHOWN ZONING: POR G. L. W. FILE NO.: 11005

DATE: JAN. 2013 TAX MAP - GRID: 17 - 23 SHEET: 10 OF 26

HOWARD COUNTY, MARYLAND ELECTION DISTRICT No. 2

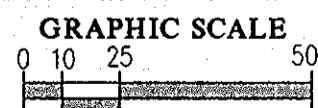
SON SECOURS
HOWARD COUNTY HEALTH PARK
PARCEL B-10
P.N. 42637 & 12638

HOWARD COUNTY MEDICAL
RESEARCH PARK
PARCEL C-2
P.N. 5597

U.S. ROUTE 29
(OR. P.L. 3145)

ELLCOTT 315
HWY - HWY 1
PARCEL D
P.N. 19015

'C' FACTOR COMPUTATIONS			
STRUCTURE	AREA (AC.)	'C'	IMPERVIOUS
I-6	0.42	0.76	85%
I-8A	0.22	0.76	85%
I-9	0.76	0.76	85%
I-10	0.33	0.76	85%
I-11	0.20	0.76	85%
I-12	0.21	0.76	85%
I-13	0.75	0.76	85%
I-16	0.16	0.76	85%
I-21	0.14	0.76	85%
I-22	0.28	0.76	85%
I-23	0.36	0.76	85%
I-23A	0.05	0.76	85%
I-24	0.41	0.76	85%
I-24A	0.03	0.76	85%
I-25	0.06	0.76	85%
I-26A	0.08	0.76	85%
I-26	0.08	0.76	85%
I-27	0.09	0.76	85%
I-30	0.04	0.76	85%
I-31	0.10	0.76	85%
I-32	0.06	0.76	85%
I-33	0.29	0.76	85%
I-36	0.30	0.76	85%
I-38	0.21	0.76	85%
I-39	0.03	0.76	85%
I-39A	0.03	0.76	85%
I-40	0.02	0.76	85%
I-42	0.29	0.76	85%
I-43	0.18	0.76	85%
I-44	0.20	0.76	85%
I-46	0.08	0.76	85%
I-48	0.09	0.76	85%
I-50	0.23	0.76	85%
I-52	0.89	0.53	50%
I-54	0.29	0.76	85%
I-55	0.52	0.53	50%
I-55	0.22	0.76	85%
I-66	0.20	0.76	85%
EX I-1	0.39	0.53	50%
EX I-2	0.03	0.76	85%
RD-1	0.12	0.86	100%
RD-2	0.08	0.86	100%
RD-3	0.11	0.86	100%
RD-4	0.04	0.86	100%
RD-5	0.11	0.86	100%
RD-6	0.12	0.86	100%
RD-8	0.11	0.86	100%
RD-9	0.12	0.86	100%
RD-10	0.15	0.86	100%
RD-11	0.04	0.86	100%
RD-12	0.04	0.86	100%
RD-13	0.15	0.86	100%



LEGEND

--- STORM DRAIN DRAINAGE DIVIDE

● 'C' TYPE SOILS

● 'D' TYPE SOILS

NOTE: ALL OTHER SOILS ARE 'B' TYPE SOILS

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Mark A. Long 2/25/13
Director Date

W. J. ... 3/25/13
Chief, Division of Land Development Date

... 2/21/13
Chief, Development Engineering Division Date

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
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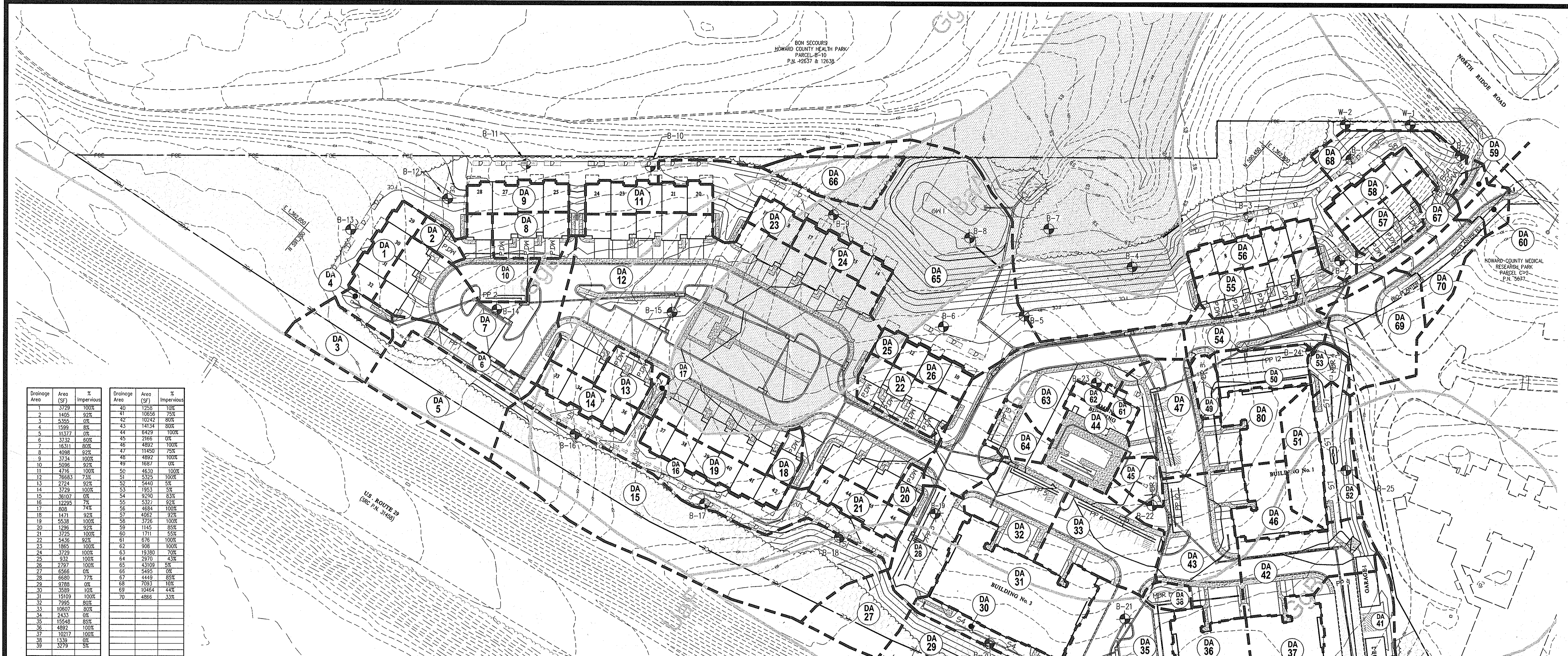
PREPARED FOR:
NORTHBRIDGE, LLC
24012 FREDERICK ROAD
SUITE 200
CLARKSBURG, MARYLAND 20871
JONATHAN W. SOULE
301-428-0800

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE
PLANS WERE PREPARED OR
APPROVED BY ME, AND THAT I AM A
DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE
STATE OF MARYLAND,
LICENSE NO. 12875
EXPIRATION DATE: MAY 26, 2014

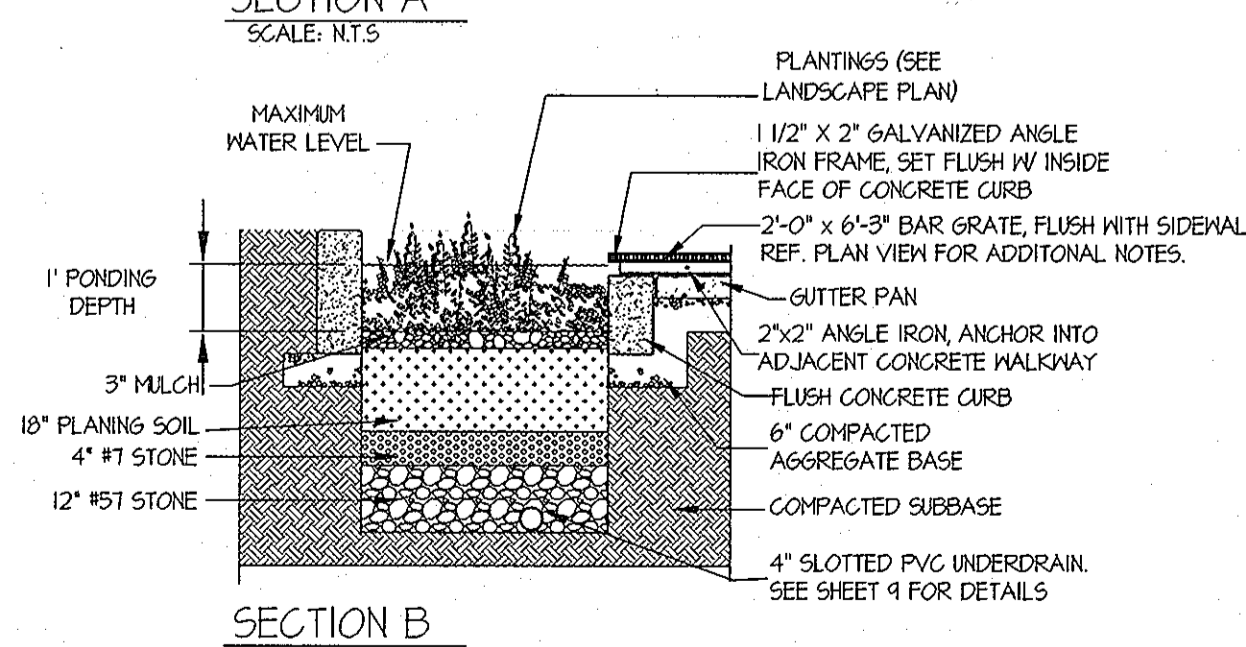
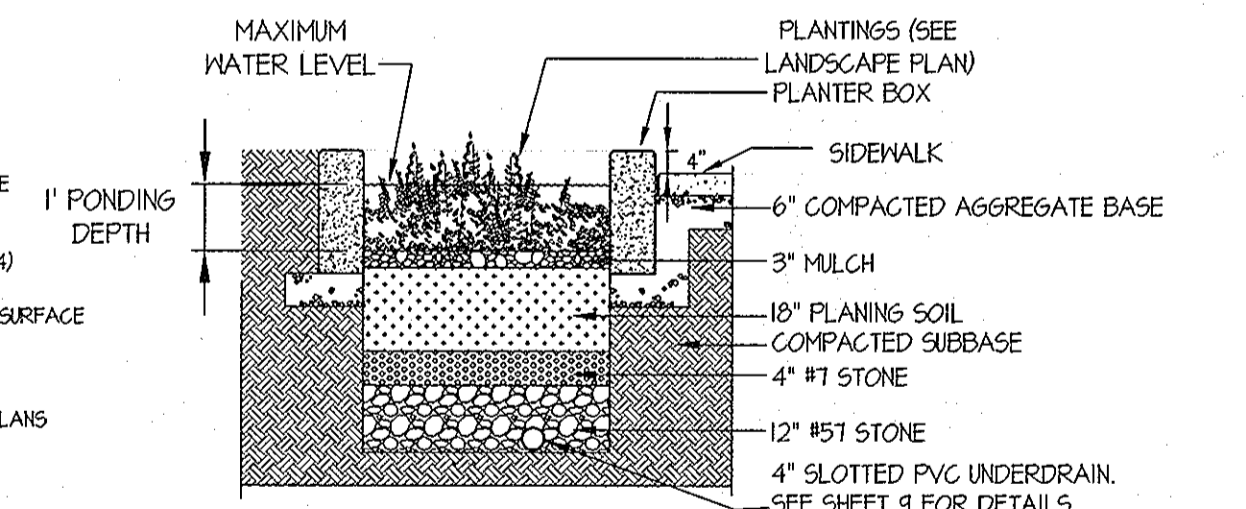
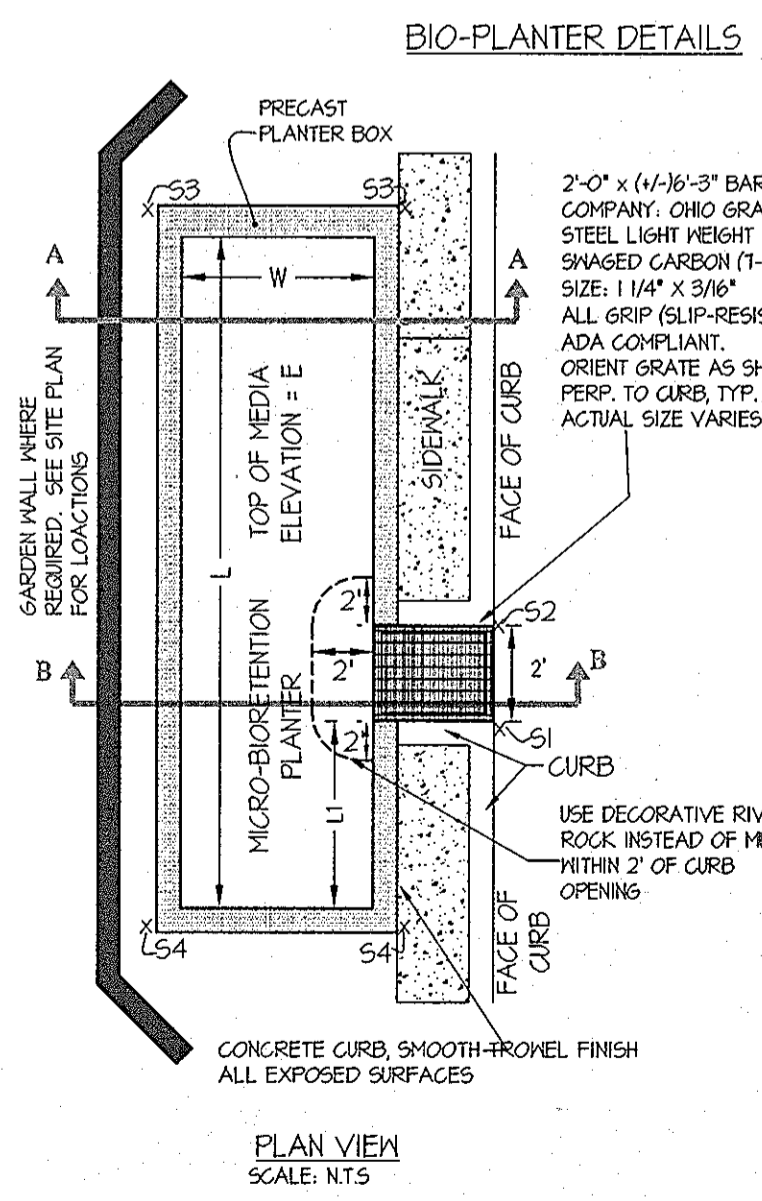
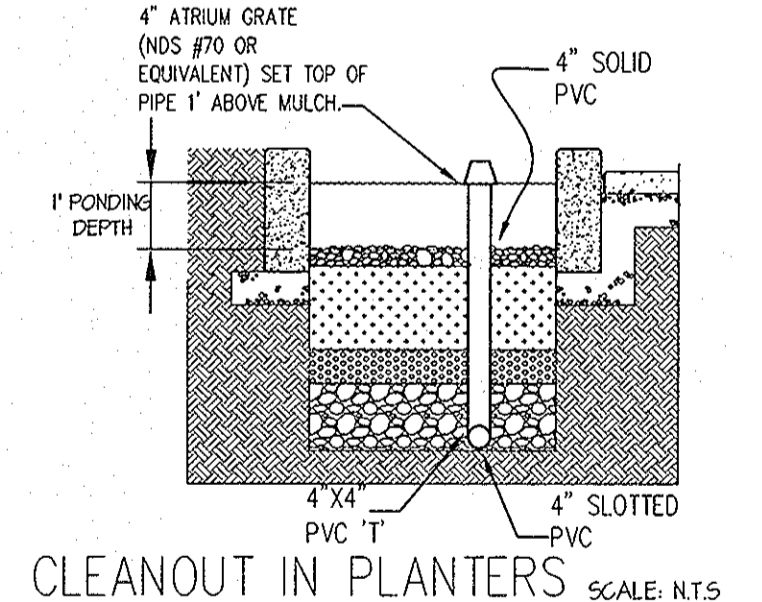


STORM DRAIN DRAINAGE AREA MAP
THE GATHERINGS at ELLICOTT MILLS
PARCEL A
AGE RESTRICTED ADULT HOUSING
PLAT Nos. 11833 & 12216-12217

SCALE 1"=50'	ZONING POR	G. L. W. FILE No. 11005
DATE JAN. 2013	TAX MAP - GRID 17 - 23	SHEET 11 OF 26



Drainage Area	Area (SF)	% Impervious	Drainage Area	Area (SF)	% Impervious
1	3729	100%	40	1258	10%
2	1405	92%	41	10856	75%
3	5355	0%	42	10242	80%
4	1599	8%	43	14134	80%
5	11377	0%	44	6429	100%
6	3732	60%	45	2166	0%
7	15311	80%	46	4892	100%
8	4098	92%	47	11450	75%
9	3734	100%	48	4892	100%
10	5095	92%	49	1697	0%
11	4716	100%	50	4630	100%
12	76683	73%	51	5375	100%
13	2724	9%	52	5440	5%
14	3729	100%	53	1953	9%
15	36107	0%	54	9290	83%
16	12295	7%	55	5397	92%
17	808	74%	56	4654	100%
18	1471	92%	57	4052	92%
19	5538	100%	58	3726	100%
20	1296	92%	59	1145	85%
21	3729	100%	60	1711	55%
22	5436	92%	61	676	100%
23	1865	100%	62	908	100%
24	3729	100%	63	19380	70%
25	932	100%	64	2970	43%
26	2797	100%	65	43109	5%
27	6566	0%	66	5495	0%
28	6680	77%	67	4449	85%
29	9788	0%	68	7053	10%
30	3589	10%	69	10464	44%
31	15109	100%	70	4866	33%
32	7995	80%			
33	10907	80%			
34	2433	0%			
35	15548	85%			
36	4892	100%			
37	10217	100%			
38	1339	0%			
39	3279	5%			



LEGEND

- ESD SWM DEVICE
- ESD DRAINAGE DIVIDE
- 'C' TYPE SOILS
- 'D' TYPE SOILS

NOTE: ALL OTHER SOILS ARE 'B' TYPE SOILS

STORMWATER MANAGEMENT REQUIREMENT

DEVELOPMENT AREA:	12.11 AC.
% IMPERVIOUS:	60%
P _e :	2"
ESD _v REQUIRED:	1.19 AC-FT

STORMWATER MANAGEMENT PROVIDED BY DEVICE

MICRO-BIORETENTION:	0.667 AC-FT
GRAVEL WETLAND:	0.644 AC-FT
PERVIOUS PAVEMENT:	0.221 AC-FT
SWALES:	0.009 AC-FT
DRY WELLS:	0.156 AC-FT
PERVIOUS DRIVEWAYS:	0.087 AC-FT
FOREST CONSERVATION EASEMENT:	0.015 AC-FT
ROOFTOP DISCONNECT:	0.002 AC-FT
TOTAL:	1.201 AC-FT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

David A. Cagle 2/25/13
Director

Kate Schaefer 3/25/13
Chief, Division of Land Development

Chris Church 2-21-13
Chief, Development Engineering Division

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
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TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.

PREPARED FOR:
NORTHTRIDGE, LLC
24012 FREDERICK ROAD
SUITE 200
CLARKSBURG, MARYLAND 20871
JONATHAN W. SOULE
301-428-0800

PROFESSIONAL CERTIFICATION
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LICENSE NO. 12975
EXPIRATION DATE: MAY 26, 2014

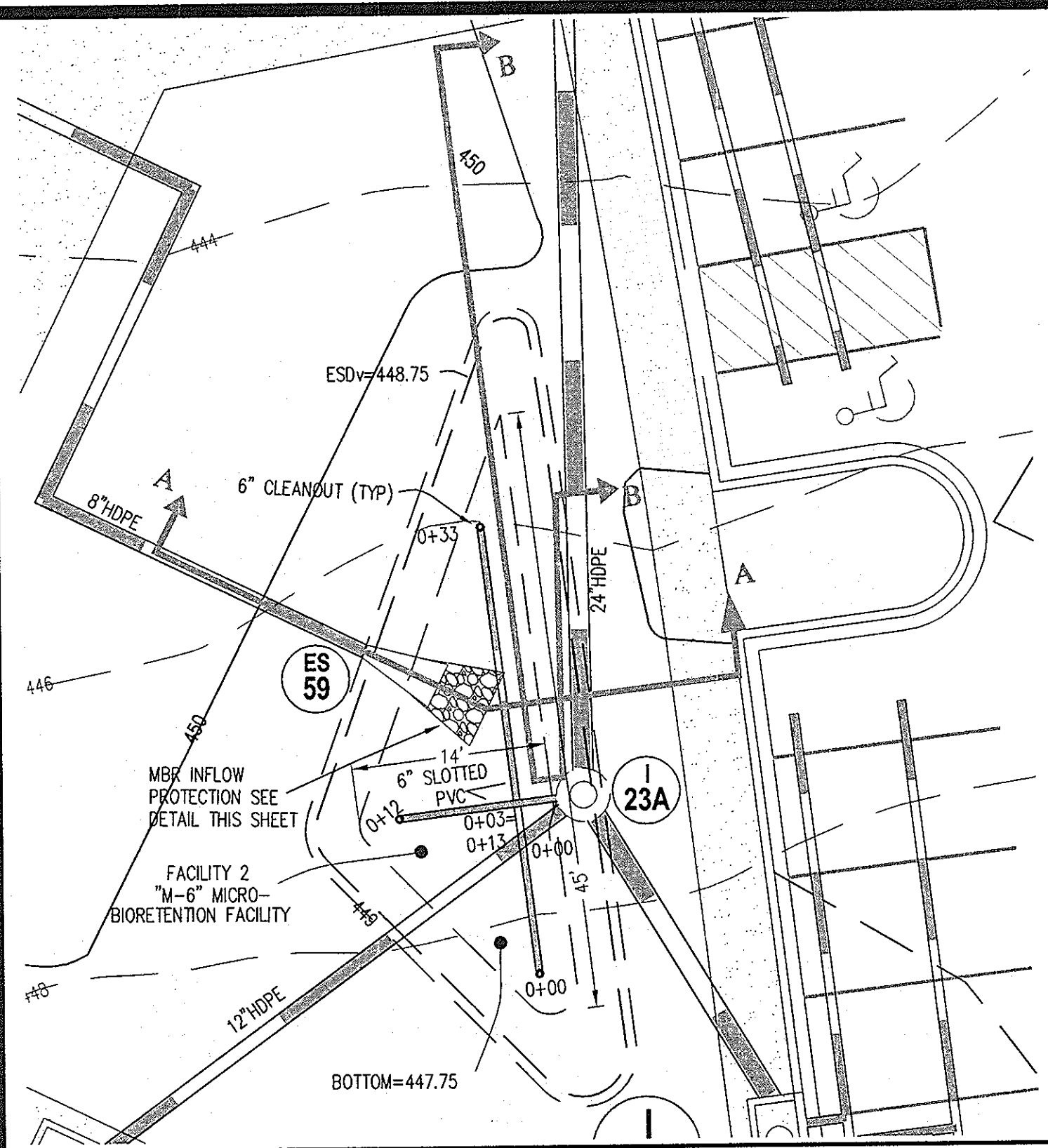
STORMWATER MANAGEMENT DRAINAGE AREA MAP

THE GATHERINGS at ELLICOTT MILLS
PARCEL A
AGE RESTRICTED ADULT HOUSING
PLAT Nos. 11833 & 22210-22217

SCALE: 1"=50'
ZONING: POR
G. L. W. FILE NO.: 11005

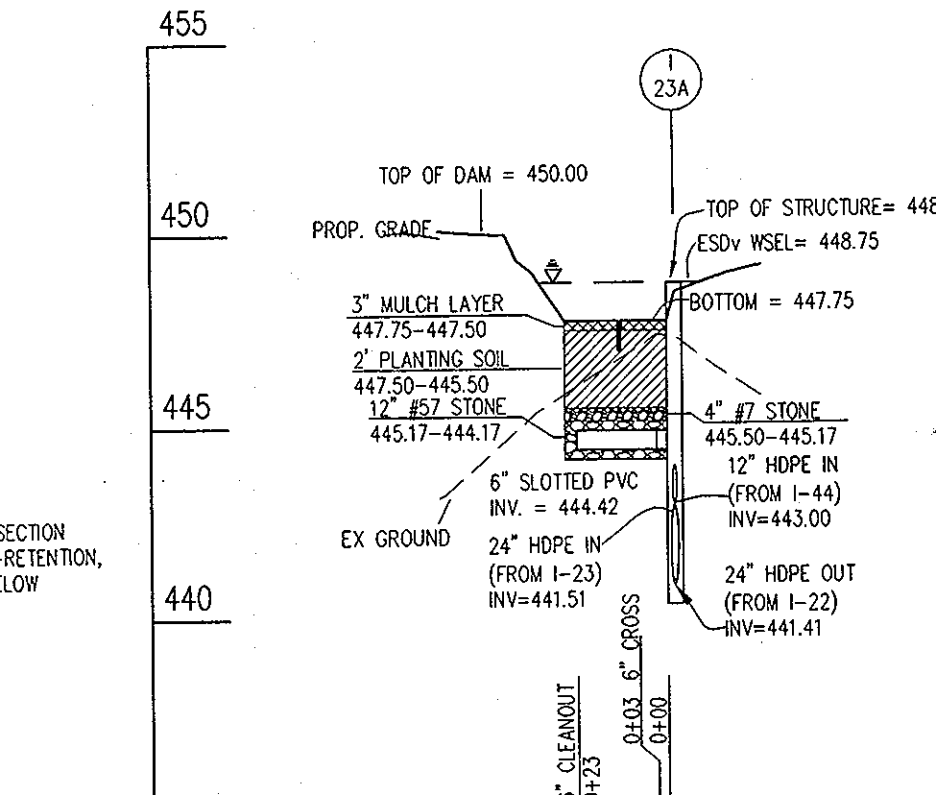
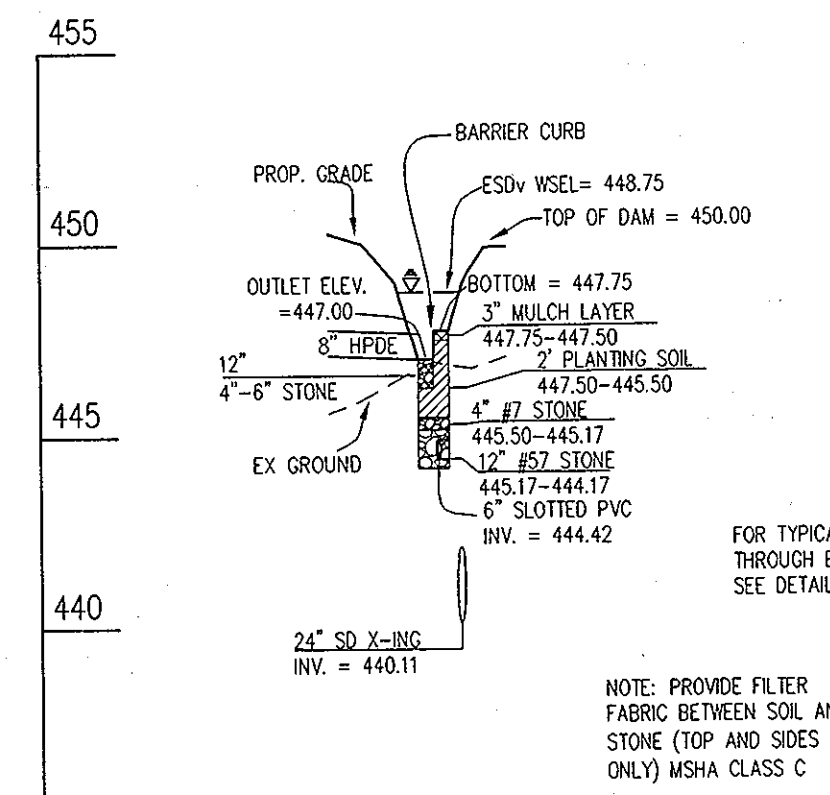
DATE: JAN. 2013
TAX MAP - GRID: 17 - 23
SHEET: 12 OF 26

HOWARD COUNTY, MARYLAND
ELECTION DISTRICT No. 2

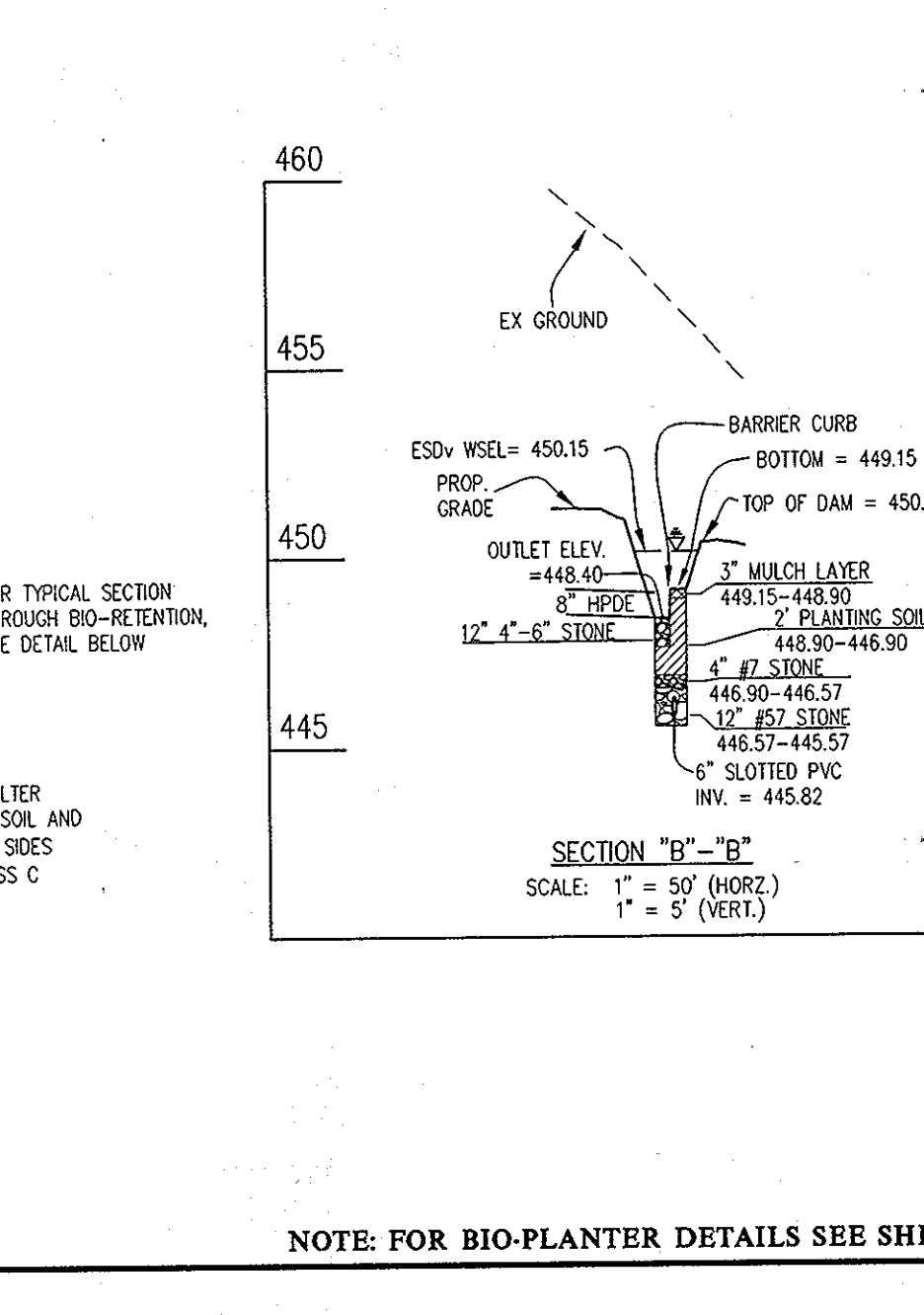
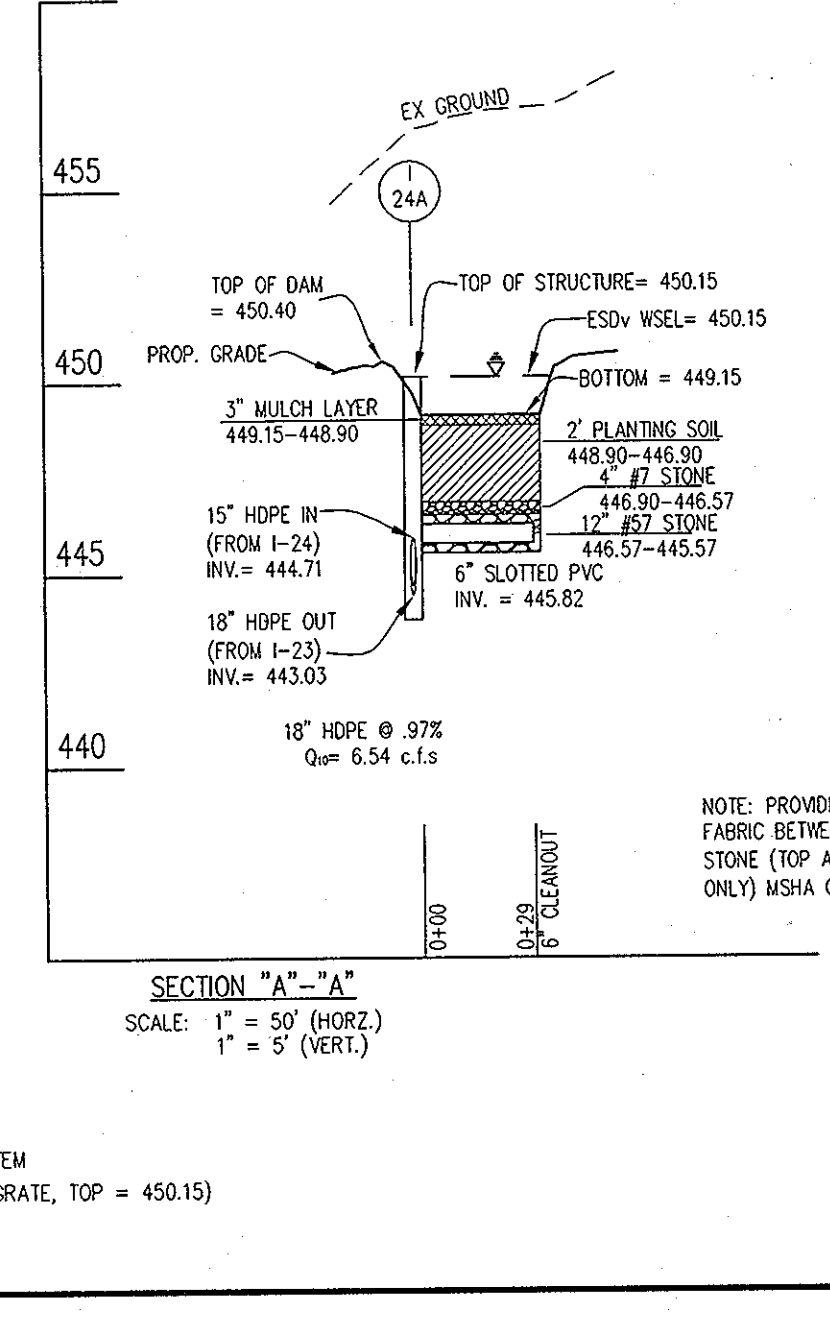
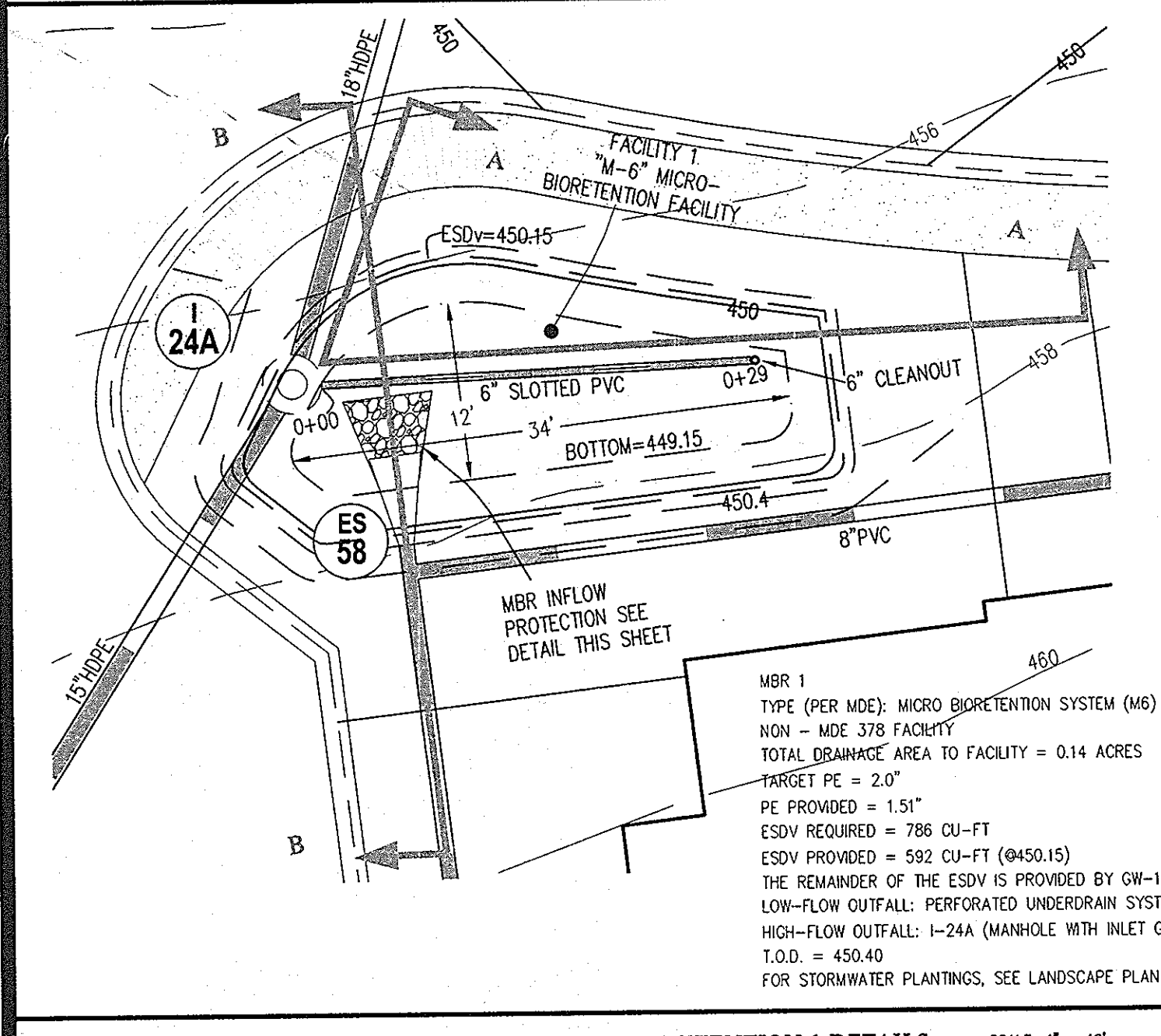


MBR-2
TYPE (PER MDE): MICRO BIORETENTION SYSTEM (M6)
NON - MDE 378 FACILITY
TOTAL DRAINAGE AREA TO FACILITY = 0.20 ACRES
TARGET PE = 2"
PE PROVIDED = 0.96"
ESDV PROVIDED = 1,058 CU-FT
ESDV REQUIRED = 505 CU-FT (8448.75)
THE REMAINDER OF THE ESDV IS PROVIDED BY GW-1
LOW-FLOW OUTFALL: PERFORATED UNDERDRAIN SYSTEM
HIGH-FLOW OUTFALL: I-23A (MANHOLE WITH INLET GRATE, TOP = 448.75)
T.O.D. = 449.0
FOR STORMWATER PLANTINGS, SEE LANDSCAPE PLAN

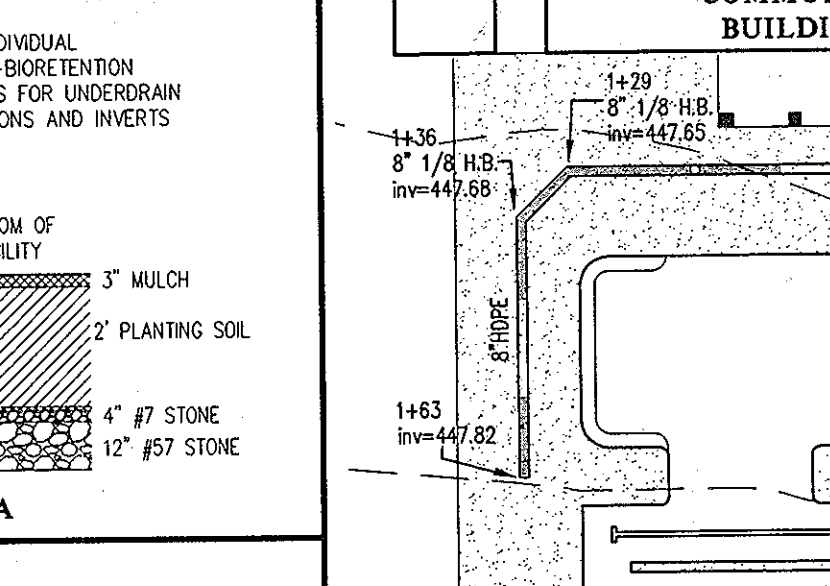
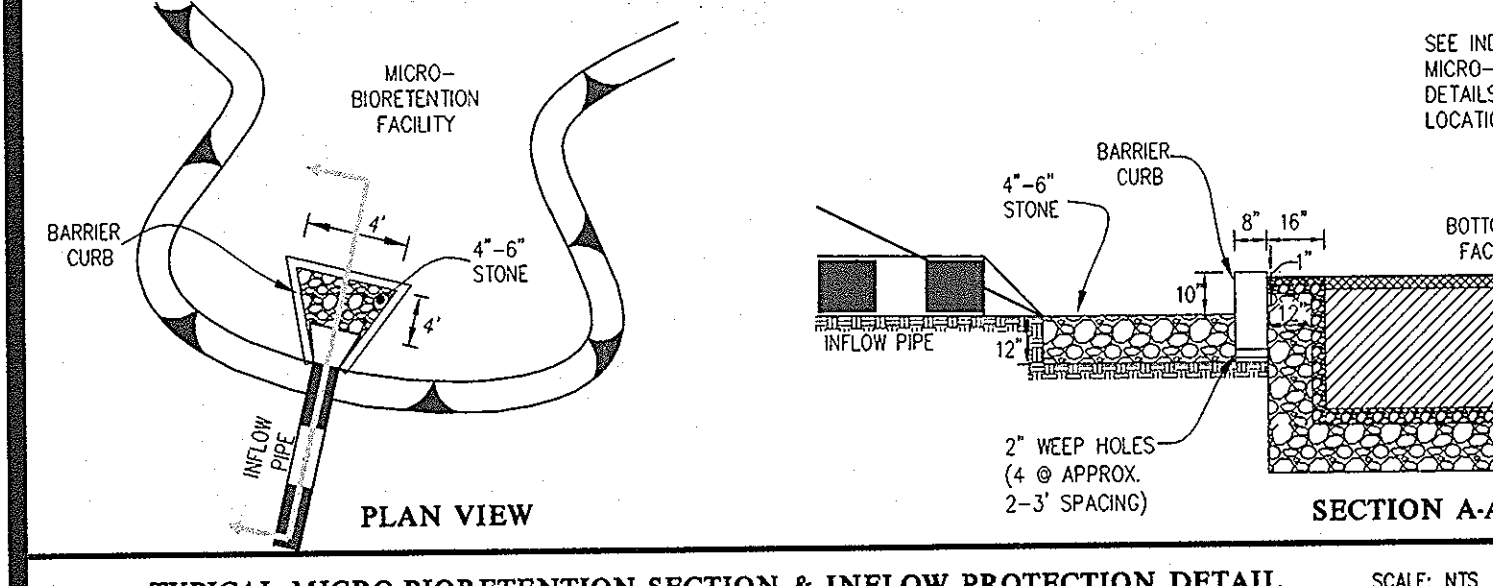
S.D. PIPE SUMMARY TABLE PRIVATELY OWNED AND MAINTAINED			
SIZE (INCHES)	TYPE	QUANTITY (L.F.)	REMARKS
6	SLOTTED PVC	130	SCHEDULE 40
6	HOPE	97	ADS N12 or equiv.
8	HOPE	129	ADS N12 or equiv.



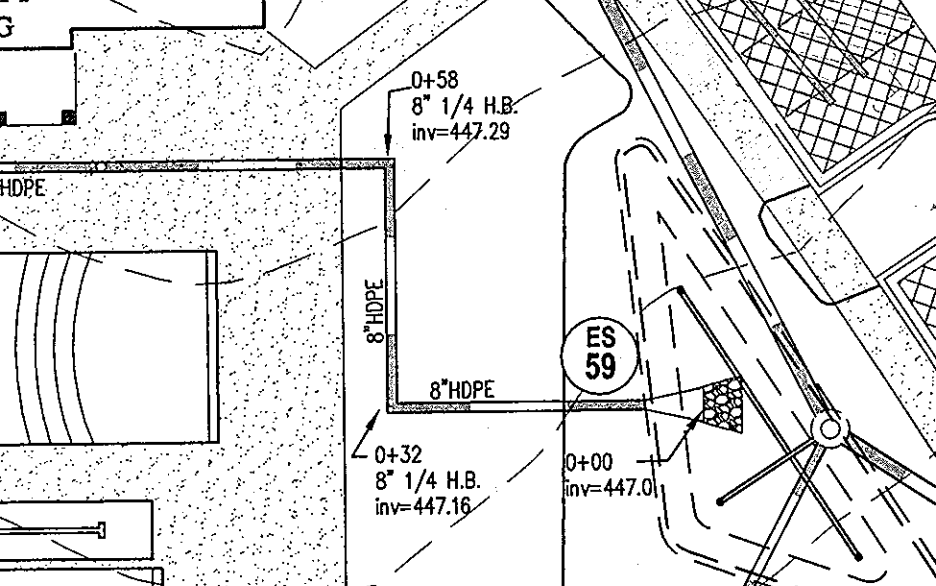
MICRO-BIORETENTION 2 DETAILS SCALE: 1" = 10'



MICRO-BIORETENTION 1 DETAILS SCALE: 1" = 10'

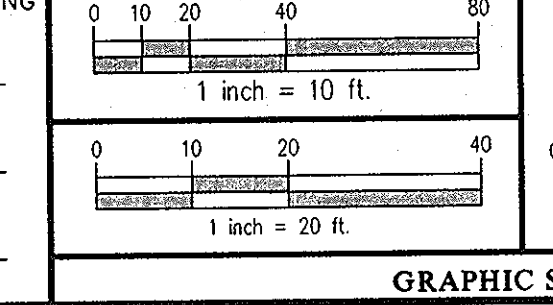


TYPICAL MICRO-BIORETENTION SECTION & INFLOW PROTECTION DETAIL SCALE: NTS



ROOF LEADER DETAILS SCALE: 1" = 20'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Date: 3/5/13
 Date: 3/25/13
 Date: 2-21-13

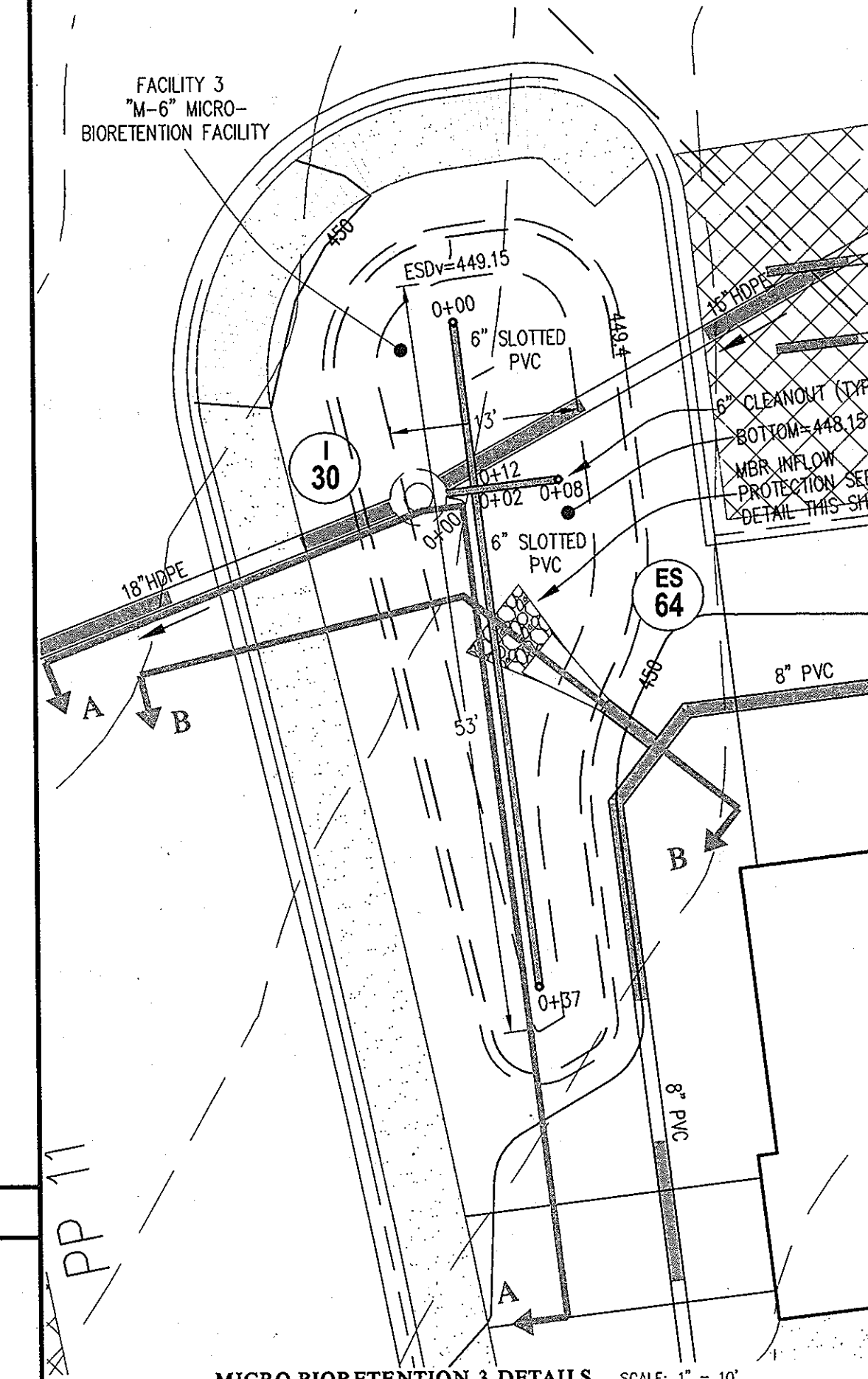


GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALTIMORE 410-880-1820 DC/VA 301-989-2524 FAX: 301-421-4186

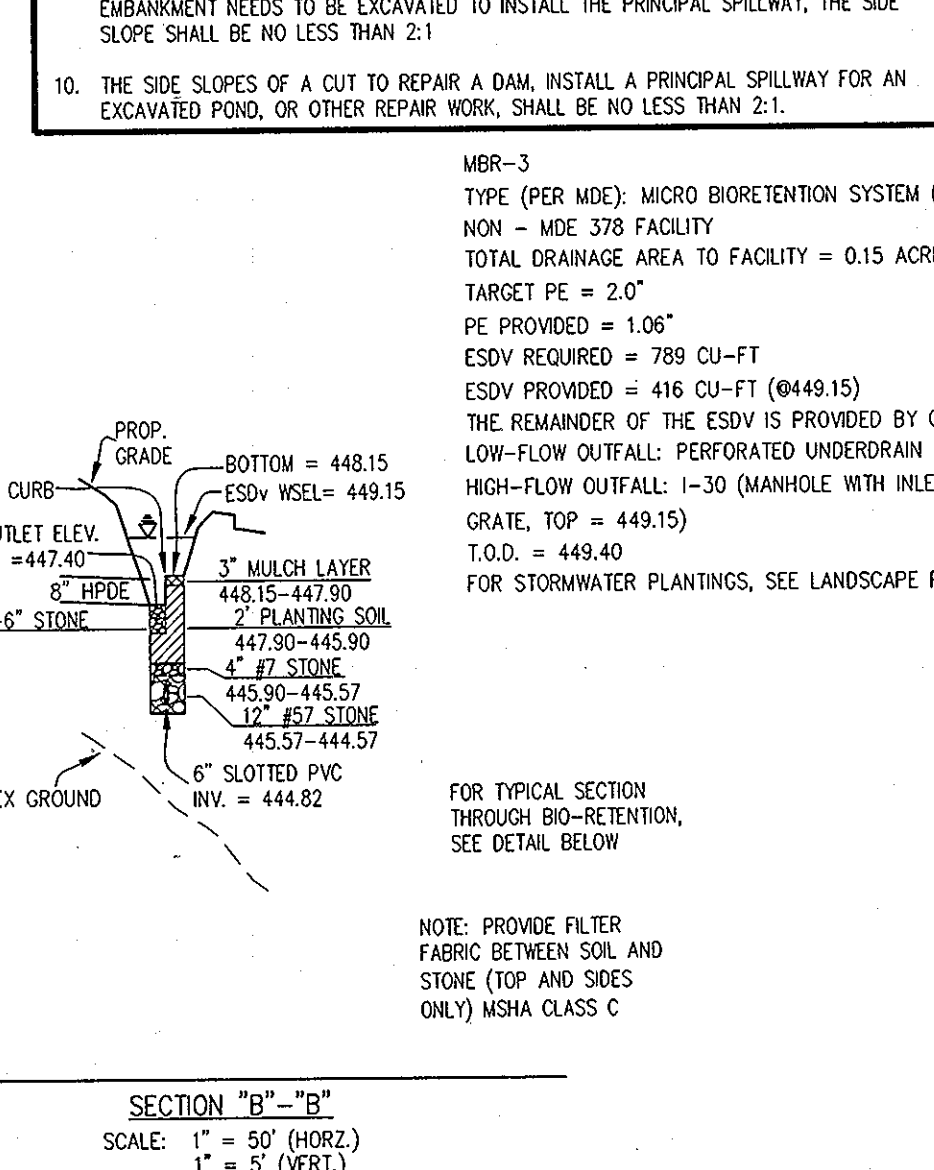
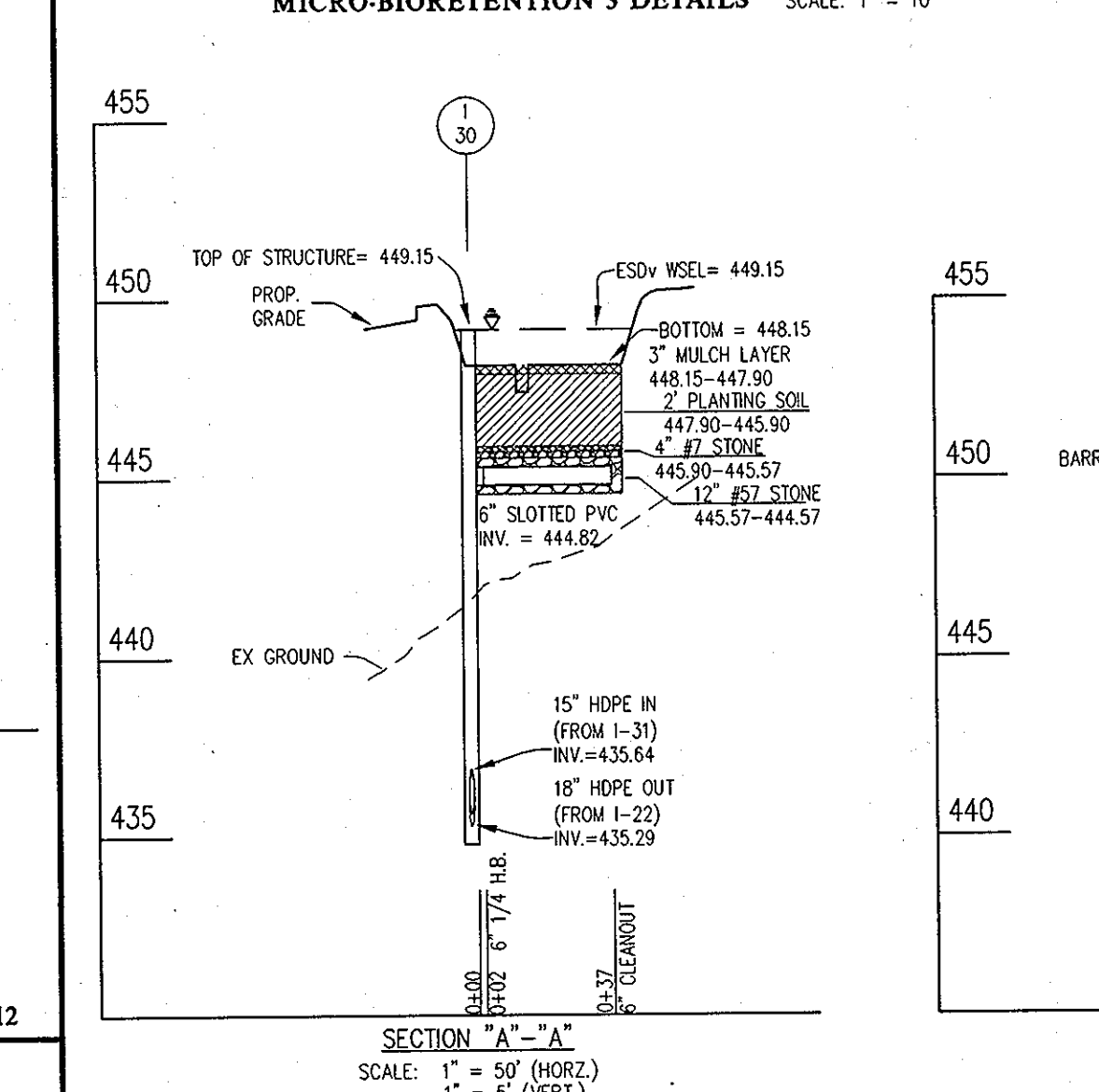
DATE	REVISION	BY	APP'R.

PREPARED FOR:
 NORTHRIDGE, LLC
 24012 FREDERICK ROAD
 SUITE 200
 CLARKSBURG, MARYLAND 20871
 JONATHAN W. SOULE
 301-428-0800

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12978
 EXPIRATION DATE: MAY 26, 2014
 2-1-13

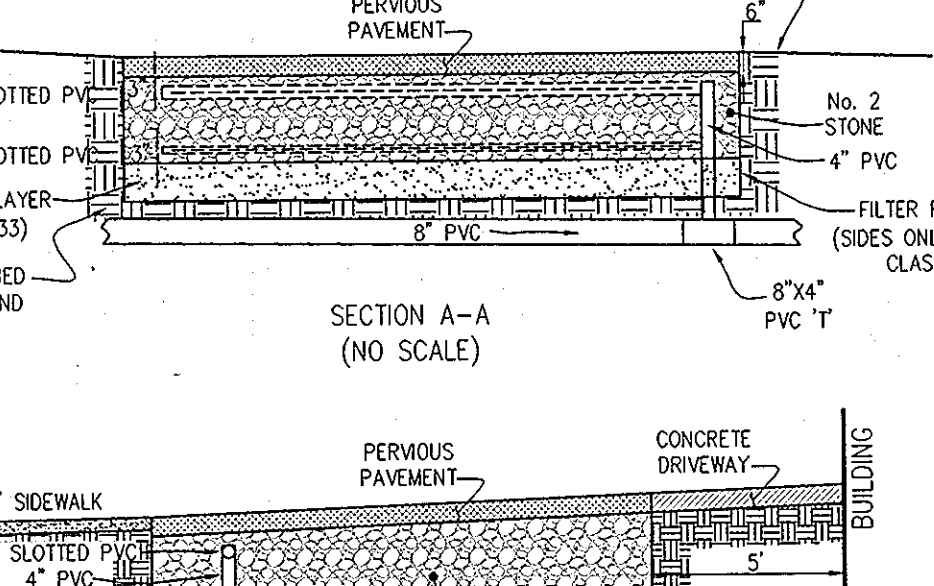
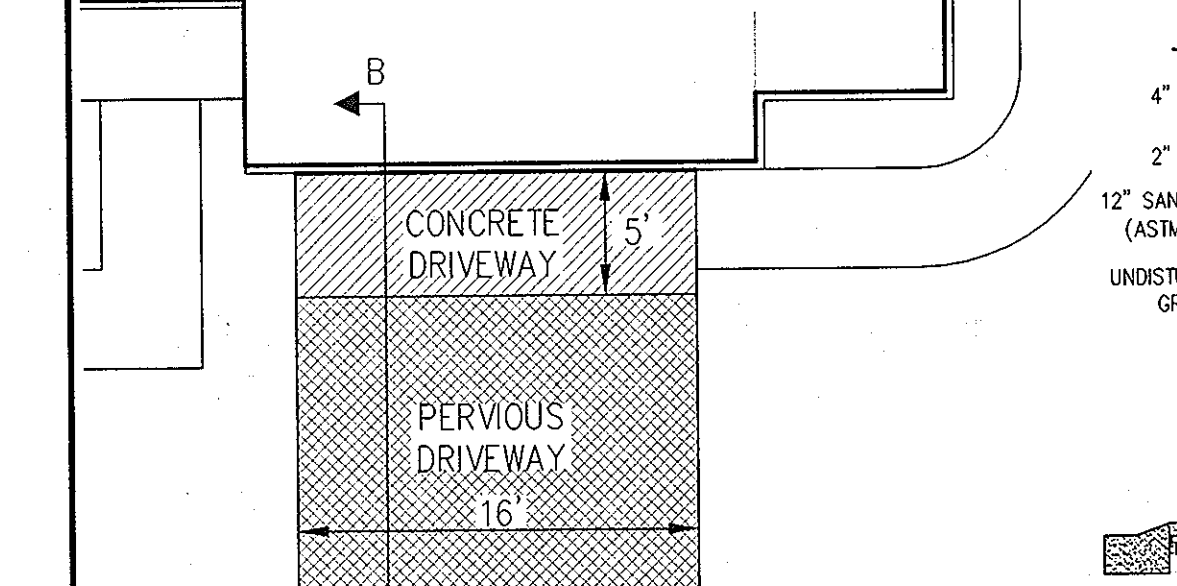


APPENDIX B.1.1 - SUPPLEMENTAL SPECIFICATIONS (NON-378)
 SUPPLEMENTAL STORMWATER PONDS AND WETLAND SPECIFICATIONS (NON-378)
 THESE NOTES AND SPECIFICATIONS ARE IN ADDITION TO THE MD-378 SPECIFICATIONS. IF THERE IS ANY QUESTION AS TO THE APPLICABILITY, THE MD-378 SPECIFICATIONS SUPERSEDE.
 1. IT IS REFERRED TO USE THE SAME MATERIAL IN THE EMBANKMENT AS IS BEING INSTALLED FOR THE CORE TRENCH. IF THIS IS NOT POSSIBLE BECAUSE THE APPROPRIATE MATERIAL IS NOT AVAILABLE, A DAM CORE WITH A SLOPE SHALL BE USED. THE CROSS-SECTION OF THE STORMWATER FACILITY SHOULD SHOW THE LIMITS OF THE DAM CORE (UP TO 10-YEAR WATER SURFACE ELEVATION) AS WELL AS THE ACCEPTABLE MATERIALS FOR THE SLOPE. THE SHAPE OF THE DAM CORE AND THE MATERIAL TO BE USED IN THE SLOPE SHALL BE PROVIDED BY THE GEOTECHNICAL ENGINEER.
 2. IF THE COMPACTION TESTS FOR THE SITE IMPROVEMENTS IS USING MODIFIED PROCTOR (ASTM D 1557), THEN TO MAINTAIN THE SAME CONSISTENCY, THE MODIFIED PROCTOR MAY BE USED IN LIEU OF A STANDARD PROCTOR (ASTM D 1557). THE MAXIMUM DENSITY USING THE MODIFIED PROCTOR TEST METHOD SHALL BE AT LEAST 92% OF THE MAXIMUM DRY DENSITY WITH A MOISTURE CONTENT OF 12% OF THE OPTIMUM. THE MINIMUM REQUIRED DENSITY USING THE STANDARD PROCTOR TEST METHOD SHALL BE AT LEAST 85% OF THE MAXIMUM DRY DENSITY WITH A MOISTURE CONTENT OF 12% OF THE OPTIMUM.
 3. FOR ALL STORMWATER MANAGEMENT FACILITIES, A GEOTECHNICAL ENGINEER OR THEIR REPRESENTATIVE MUST BE PRESENT TO VERIFY COMPACTION IN ACCORDANCE WITH THE SELECTED TEST METHOD. THIS INFORMATION NEEDS TO BE PROVIDED IN A REPORT TO THE DESIGN ENGINEER, SO THAT CERTIFICATION OF THE CONSTRUCTION OF THE FACILITY, IN ACCORDANCE WITH MD-378 SPECIFICATIONS, CAN BE MADE.
 4. A 4-INCH LAYER OF TOPSOIL SHALL BE PLACED ON ALL DISTURBED AREAS OF THE DAM EMBANKMENT. SEEDING, LIMING, FERTILIZING, MULCHING, ETC. SHALL BE IN ACCORDANCE WITH MARYLAND SOIL CONSERVATION SERVICE MD-342 OR THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL PERMANENT TRACK OR MARSH TRACK EQUIPMENT WITH TURF TYPE TIRES. USE OF EQUIPMENT WITH NARROW TRACKS OR HOLLOW TIRES, RUBBER TIRES WITH LARGE LUGS, OR HIGH PRESSURE TIRES WILL CAUSE EXCESSIVE COMPACTION RESULTING IN REDUCED INFILTRATION RATES AND IS NOT ACCEPTABLE. COMPACTION WILL SIGNIFICANTLY CONTRIBUTE TO DESIGN FAILURE.
 5. GEOTEXTILE PLACED BENEATH RIP-RAP SHALL BE CLASS "C" GEOTEXTILE OR BETTER (SEE SECTION 24.0 MATERIAL SPECIFICATIONS, 1994 STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL (MDE, 1994)). SOME ACCEPTABLE GEOTEXTILES THAT MEET THE CLASS "C" CRITERIA INCLUDE:
 AMOCO 4552 CARTRIDGE BX-705
 GEOLON N76 MIRA1 160-N
 WETEC N07
 THIS IS ONLY A PARTIAL LISTING OF AVAILABLE GEOTEXTILES BASED ON INFORMATION PROVIDED BY THE MANUFACTURERS OF THE 1997 SPECIFIER'S GUIDE DATED DECEMBER 1996. IT IS THE RESPONSIBILITY OF THE ENGINEER TO VERIFY THE ADEQUACY OF THE MATERIAL, AS THERE ARE CHANGES IN THE MANUFACTURING PROCESS AND THE TYPE OF FABRIC USED, WHICH MAY AFFECT THE CONTINUED ACCEPTANCE.
 6. A RULE OF THUMB TO DETERMINE WHEN AN EXCAVATED POND MAY NEED TO BE CONSIDERED AN EMBANKMENT POND IS AS FOLLOWS:
 PROVIDE CALCULATION OF 10H + 20 FEET = L, WHERE H IS HEIGHT FROM POND BOTTOM TO TOP OF DAM. IF THE PROJECTION OF L DOWNSTREAM IS A HORIZONTAL LINE FROM THE UPSTREAM TOE OF SLOPE IS BELOW EXISTING GROUND, THE POND CAN BE CONSIDERED AN EXCAVATED POND. IN ADDITION, THE EXISTING GROUND SLOPE, DOWNSTREAM OF THE TOE, MUST BE LESS THAN 10%.
 7. THE DESIGN ENGINEER AND GEOTECHNICAL ENGINEER SHOULD MAKE THE DETERMINATION THAT THE SETTLEMENT OF THE POND WILL NOT CAUSE EXCESSIVE JOINT EXTENSION. FOR FURTHER INFORMATION ON JOINT ANALYSIS, SEE NRCC PUBLICATION TR-18.
 8. FILL PLACEMENT SHALL NOT EXCEED A MAXIMUM 8-INCH. EACH LIFT SHALL BE CONTINUOUS FOR THE ENTIRE LENGTH OF THE EMBANKMENT.
 9. THE EMBANKMENT FILL SHALL NOT BE PLACED HIGHER THAN THE CENTERLINE OF THE PRINCIPAL SPILLWAY UNTIL AFTER THE PRINCIPAL SPILLWAY HAS BEEN INSTALLED. IF THE EMBANKMENT NEEDS TO BE EXCAVATED TO INSTALL THE PRINCIPAL SPILLWAY, THE SIDE SLOPE SHALL BE NO LESS THAN 2:1.
 10. THE SIDE SLOPES OF A CUT TO REPAIR A DAM, INSTALL A PRINCIPAL SPILLWAY FOR AN EXCAVATED POND, OR OTHER REPAIR WORK, SHALL BE NO LESS THAN 2:1.



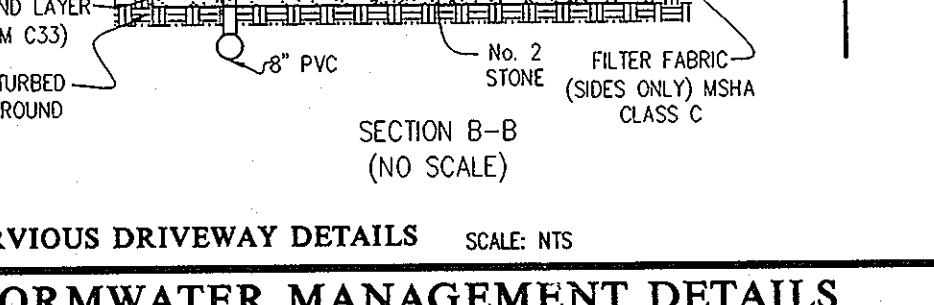
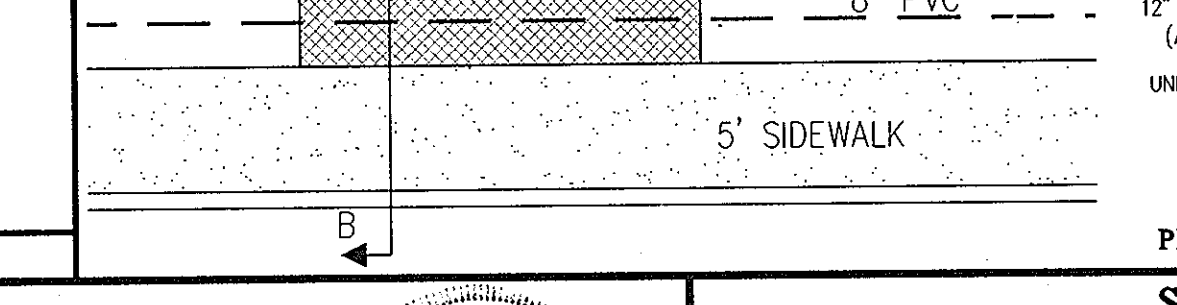
MICRO-BIORETENTION 3 DETAILS SCALE: 1" = 10'

MICRO-BIORETENTION 4 DETAILS SCALE: 1" = 10'



TYPICAL MICRO-BIORETENTION SECTION & INFLOW PROTECTION DETAIL SCALE: NTS

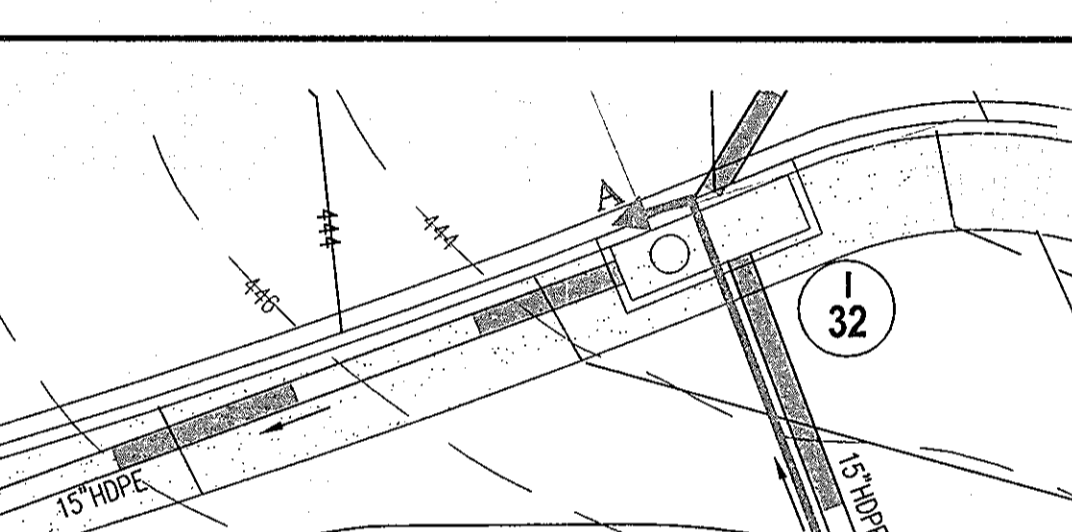
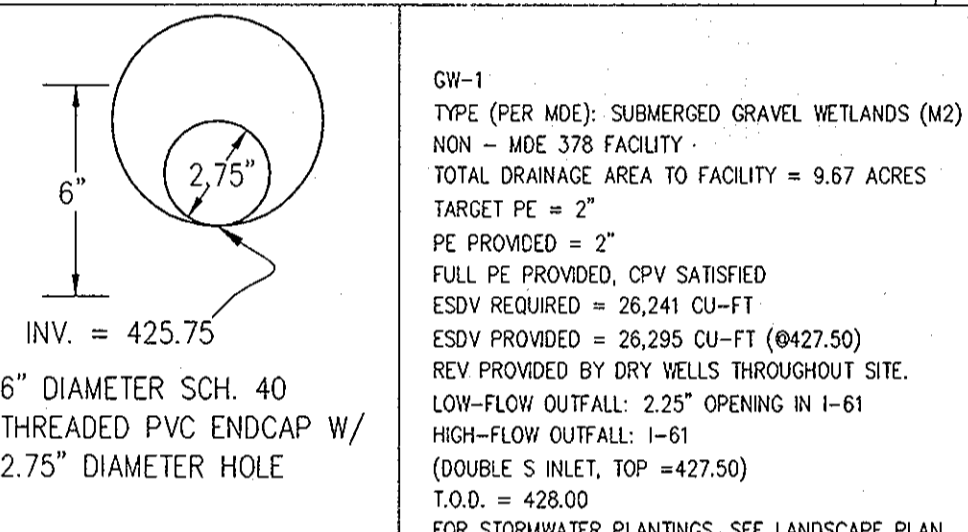
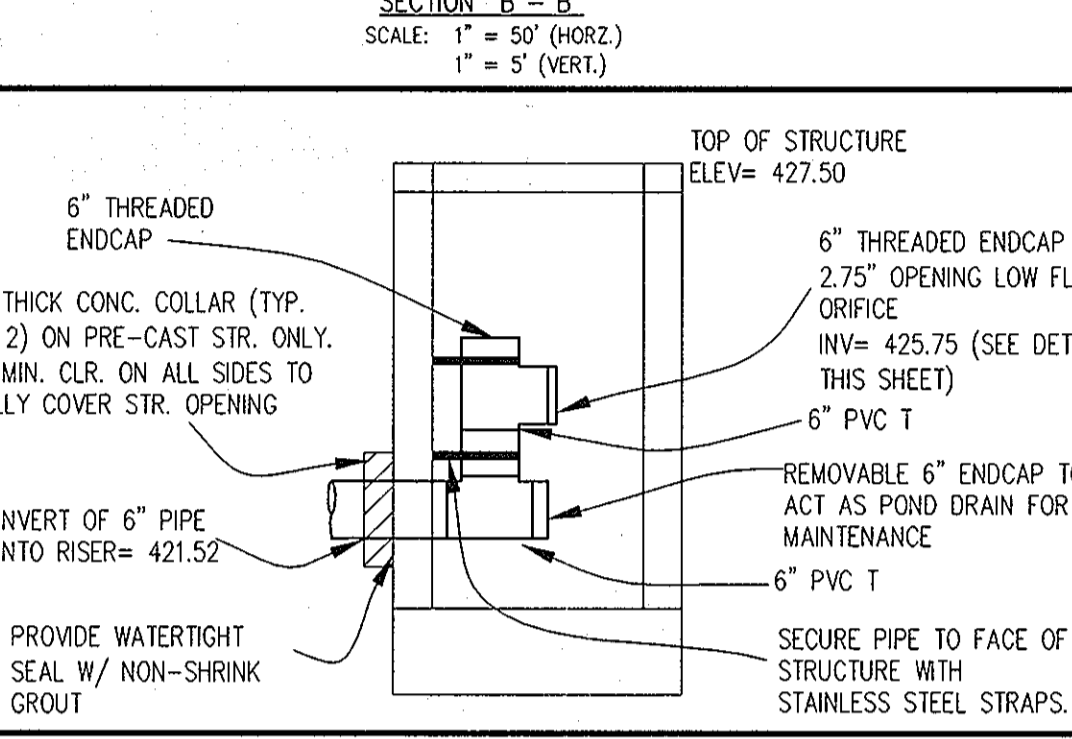
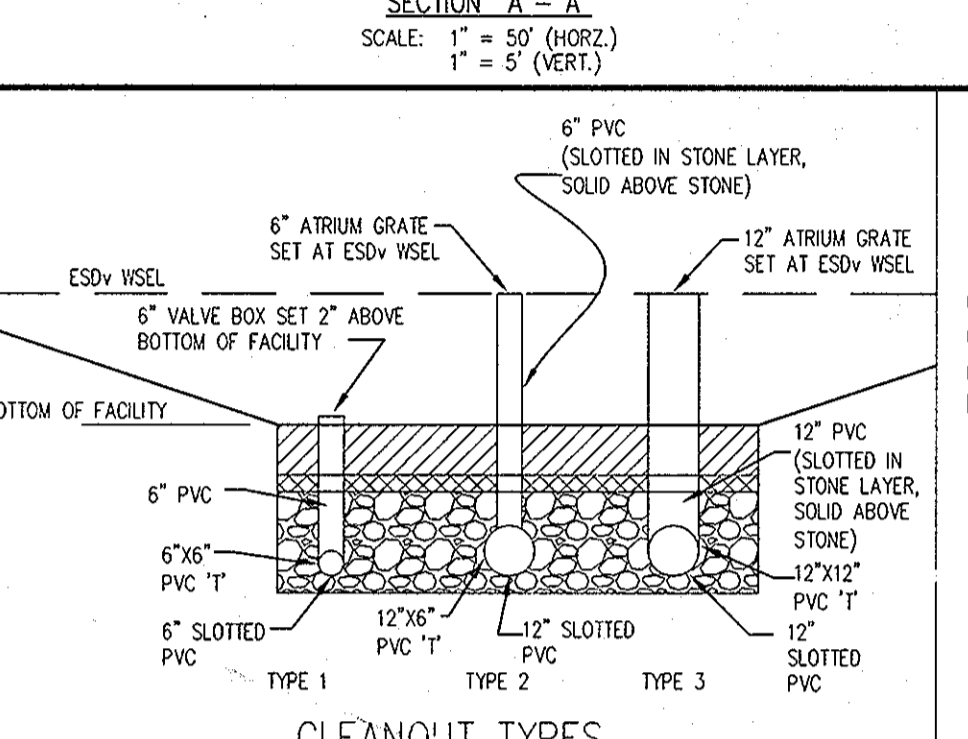
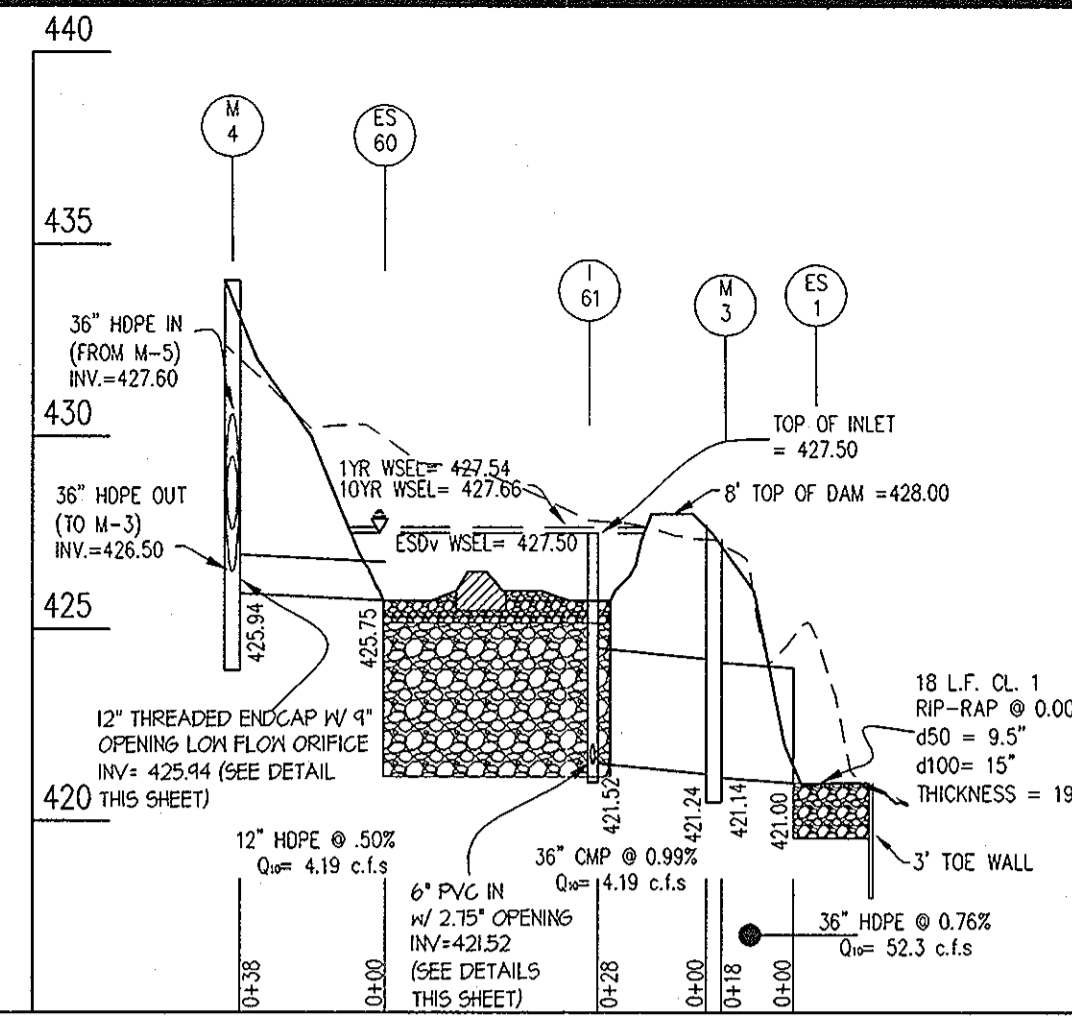
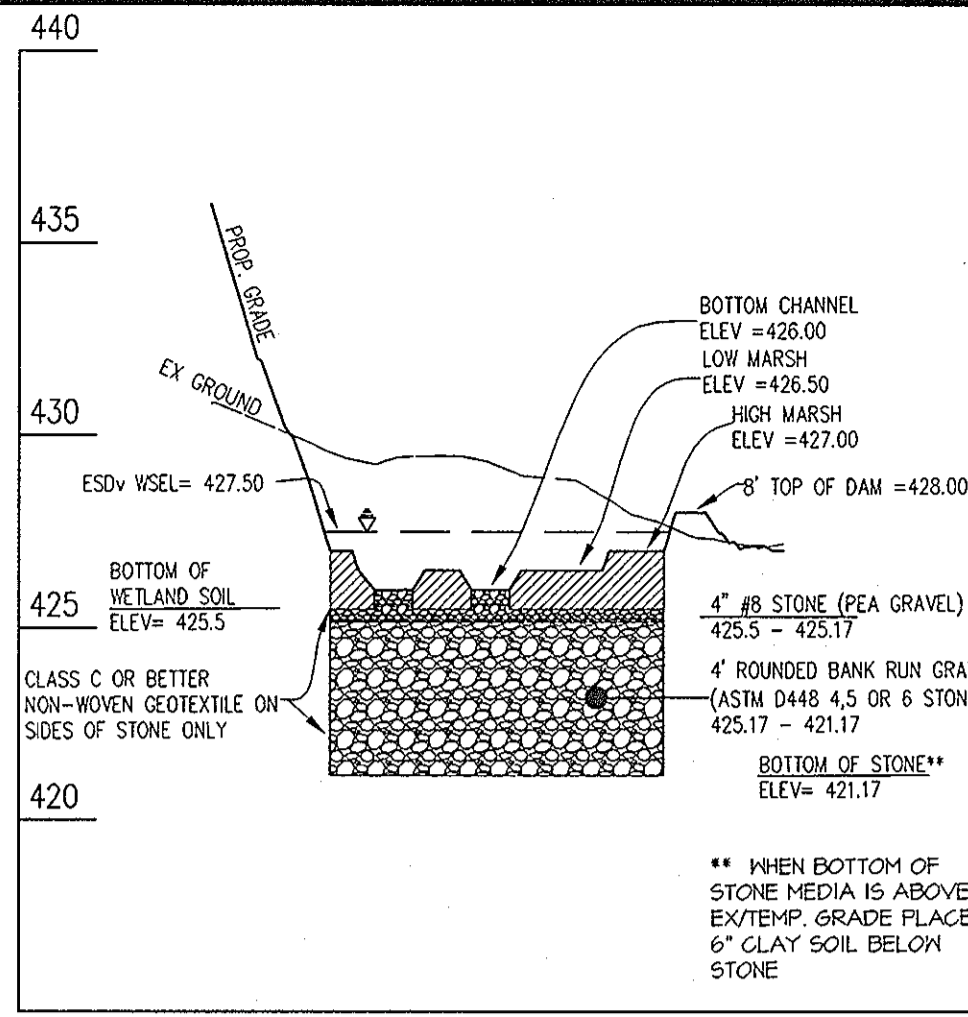
TYPICAL MICRO-BIORETENTION SECTION & INFLOW PROTECTION DETAIL SCALE: NTS



STORMWATER MANAGEMENT DETAILS
 THE GATHERINGS at ELLICOTT MILLS
 PARCEL A
 AGE RESTRICTED ADULT HOUSING
 PLAT Nos. 11833 & 12,212-219-17
 ELECTION DISTRICT No. 2

SCALE: 1" = 50'
 ZONING: POR
 G. L. W. FILE No. 11005
 DATE: JAN. 2013
 TAX MAP - GRID: 17 - 23
 SHEET: 13 OF 26
 HOWARD COUNTY, MARYLAND

GENERAL NOTES
 1. MATERIAL SPECIFICATIONS
 THE ALLOWABLE MATERIALS TO BE USED IN BIORETENTION AREA ARE DETAILED IN TABLE B.3.2.
 2. PLANTING SOIL
 THE SOIL SHALL BE A UNIFORM MIX, FREE OF STONES, STUMPS, ROOTS OR OTHER SIMILAR OBJECTS LARGER THAN TWO INCHES. NO OTHER MATERIALS OR SUBSTANCES SHALL BE MIXED OR DUMPED WITHIN THE BIORETENTION AREA THAT MAY BE HARMFUL TO PLANT GROWTH, OR PROVE A HINDERANCE TO THE PLANTING OR MAINTENANCE OPERATIONS. THE PLANTING SOIL SHALL BE FREE OF BERBERIS GRASS, QUACKGRASS, JOHNSON GRASS, OR OTHER NOXIOUS WEEDS AS SPECIFIED UNDER COMAR 15.08.01.05.
 THE PLANTING SOIL SHALL BE TESTED AND SHALL MEET THE FOLLOWING CRITERIA:
 PH RANGE 5.2 - 7.0
 ORGANIC MATTER 1.5 - 4% (BY WEIGHT)
 MAGNESIUM 35 LB./AC
 PHOSPHORUS (PHOSPHATE - P205) 75 LB./AC
 POTASSIUM (POTASH - K2O) 85 LB./AC
 SOLUBLE SALTS NOT TO EXCEED 500 PPM
 ALL BIORETENTION AREAS SHALL HAVE A MINIMUM OF ONE TEST. EACH TEST SHALL CONSIST OF BOTH THE STANDARD SOIL TEST FOR PH, PHOSPHORUS, AND POTASSIUM AND ADDITIONAL TESTS OF ORGANIC MATTER AND SOLUBLE SALTS. A TEXTURAL ANALYSIS IS REQUIRED FROM THE SITE STOCKPILED TOPSOIL IF TOPSOIL IS IMPORTED, THEN A TEXTURE ANALYSIS SHALL BE PERFORMED FOR EACH LOCATION WHERE THE TOP SOIL WAS EXCAVATED.
 SINCE DIFFERENT LABS CALIBRATE THEIR TESTING EQUIPMENT DIFFERENTLY, ALL TESTING RESULTS SHALL COME FROM THE SAME TESTING FACILITY. SHOULD THE PH FALL OUT OF THE ACCEPTABLE RANGE, IT MAY BE MODIFIED (HIGHER) WITH LIME OR (LOWER) WITH IRON SULFATE PLUS SULFUR.
 3. COMPACTION
 IT IS VERY IMPORTANT TO MINIMIZE COMPACTION OF BOTH THE BASE OF THE BIORETENTION AREA AND THE REQUIRED BACKFILL. WHEN POSSIBLE, USE EXCAVATION HOES TO REMOVE ORIGINAL SOIL. IF BIORETENTION APPENDIX B.3. CONSTRUCTION SPECIFICATIONS FOR SAND FILLS, BIORETENTION AND OPEN CHANNELS B.3.5 AREAS ARE EXCAVATED USING A LOADER, THE CONTRACTOR SHOULD USE WIDE TRACK OR MARSH TRACK EQUIPMENT WITH TURF TYPE TIRES. USE OF EQUIPMENT WITH NARROW TRACKS OR HOLLOW TIRES, RUBBER TIRES WITH LARGE LUGS, OR HIGH PRESSURE TIRES WILL CAUSE EXCESSIVE COMPACTION RESULTING IN REDUCED INFILTRATION RATES AND IS NOT ACCEPTABLE. COMPACTION WILL SIGNIFICANTLY CONTRIBUTE TO DESIGN FAILURE.
 COMPACTION CAN BE AVOIDED AT THE BASE OF THE BIORETENTION FACILITY BY USING A PRIMARY TILLING OPERATION SUCH AS A CASEL FLOW RIPPER OR SUBSOILER. THESE TILLING OPERATIONS ARE TO REFRACTURE THE SOIL PROFILE THROUGHOUT THE 12 INCH COMPACTION ZONE. SUBSTITUTE METHODS MUST BE APPROVED BY THE ENGINEER. ROTOTILLERS TYPICALLY DO NOT TILL DEEP ENOUGH TO REDUCE THE EFFECTS OF COMPACTION FROM HEAVY EQUIPMENT.
 ROTOTILL 2 TO 3 INCHES OF SAND INTO THE BASE OF THE BIORETENTION FACILITY BEFORE BACKFILLING THE OPTIONAL SAND LAYER. PUMP ANY PONDED WATER BEFORE PREPARING (ROTOTILLING) BASE.
 WHEN BACKFILLING THE TOPSOIL OVER THE SAND LAYER, FIRST PLACE 3 TO 4 INCHES OF TOPSOIL OVER THE SAND, THEN ROTOTILL THE SAND/TOPSOIL TO CREATE A GRADATION ZONE. BACKFILL THE REMAINDER OF THE TOPSOIL TO FINAL GRADE.
 WHEN BACKFILLING THE BIORETENTION FACILITY, PLACE SOIL IN LIFTS 12" TO 18". DO NOT USE HEAVY EQUIPMENT WITHIN THE BIORETENTION BASIN. HEAVY EQUIPMENT CAN BE USED AROUND THE PERIMETER OF THE BASIN TO SUPPLY SOILS AND SAND. GRADE BIORETENTION MATERIALS WITH LIGHT EQUIPMENT SUCH AS A COMPACT LOADER OR A DOZER/LOADER WITH MARSH TRACKS.
 4. PLANT MATERIAL
 SEE LANDSCAPE PLAN, THIS SGP SET.
 5. PLANT INSTALLATION
 MULCH SHOULD BE PLACED TO A UNIFORM THICKNESS OF 2" TO 3". SHREDDED HARDWOOD MULCH IS THE ONLY ACCEPTED MULCH. PINE MULCH AND WOOD CHIPS WILL FLOAT AND MOVE TO THE PERIMETER OF THE BIORETENTION AREA DURING A STORM EVENT AND ARE NOT ACCEPTABLE. SHREDDED MULCH MUST BE WELL AGED (6 TO 12 MONTHS) FOR ACCEPTANCE.
 ROOT STOCK OF THE PLANT MATERIAL SHALL BE KEPT moist during transport and on-site storage. THE PLANT ROOT BALL SHOULD BE PLANTED SO 1/8TH OF THE BALL IS ABOVE FINAL GRADE SURFACE. THE DIAMETER OF THE PLANTING PIT SHALL BE AT LEAST SIX INCHES LARGER THAN THE DIAMETER OF THE PLANTING BALL. SET AND MAINTAIN THE PLANT STRAIGHT THROUGH THE ENTIRE PLANTING PROCESS. THOROUGHLY WATER GROUND BED COVER AFTER INSTALLATION.
 TREES SHALL BE BRANDED USING 2" BY 2" STAKES ONLY AS NECESSARY AND FOR THE FIRST GROWING SEASON ONLY. STAKES ARE TO BE EQUALLY SPACED ON THE OUTSIDE OF THE TREE BALL.
 GRASSES AND LEGUME SEED SHOULD BE DRILLED INTO THE SOIL TO A DEPTH OF AT LEAST ONE INCH. GRASS AND LEGUME SEEDS SHALL BE PLANTED FOLLOWING THE NON-GRASS GROUND COVER PLANTING SPECIFICATIONS.
 THE TOPSOIL SPECIFICATIONS PROVIDE ENOUGH ORGANIC MATERIAL TO ADEQUATELY SUPPLY NUTRIENTS FROM NATURAL CYCLING. THE PRIMARY FUNCTION OF THE BIORETENTION STRUCTURE IS TO IMPROVE WATER QUALITY. ADDING FERTILIZERS DEFEATS THIS GOAL. ONLY ADD FERTILIZER IF WOOD CHIPS OR MULCH ARE USED TO AMEND THE SOIL. ROTOTILL UREA FERTILIZER AT A RATE OF 2 POUNDS PER 1000 SQUARE FEET.
 6. UNDERDRAINS
 UNDERDRAINS ARE TO BE PLACED ON A 3'-0" WIDE SECTION OF FILTER CLOTH. PIPE IS PLACED NEXT, FOLLOWING BY THE GRAVEL BEDDING. THE ENDS OF UNDERDRAIN PIPES NOT TERMINATING IN AN OBSERVATION WELL SHALL BE CAPPED.
 THE MAIN COLLECTOR PIPE FOR UNDERDRAIN SYSTEMS SHALL BE CONSTRUCTED AT A MINIMUM SLOPE OF 0.5% OBSERVATION WELLS AND/OR CLEAN-OUT PIPES MUST BE PROVIDED (ONE MINIMUM PER EVERY 1000 SQUARE FEET OF SURFACE AREA).
 7. MISCELLANEOUS
 THE BIORETENTION FACILITY MAY NOT BE CONSTRUCTED UNTIL ALL CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
 OPERATION AND MAINTENANCE SCHEDULE FOR LANDSCAPE INFILTRATION (M-3) MICRO-BIORETENTION (M-6), RAIN GARDENS (M-7), BIORETENTION SWALE (M-8), ENHANCED FILTERS (M-9)
 A. THE OWNER SHALL MAINTAIN THE PLANT MATERIAL, MULCH LAYER AND SOIL LAYER ANNUALLY. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING. ACCEPTABLE REPLACEMENT PLANT MATERIAL IS LIMITED TO THE FOLLOWING: 2000 MARYLAND STORMWATER DESIGN MANUAL VOLUME II, TABLE A.4.1 AND 2.
 B. THE OWNER SHALL PERFORM A PLANT INSPECTION IN THE SPRING AND IN THE FALL OF EACH YEAR. DURING THE INSPECTION, THE OWNER SHALL REMOVE DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT, REPLACE DEAD PLANT MATERIAL WITH ACCEPTABLE REPLACEMENT PLANT MATERIAL, TREAT DISEASED TREES AND SHRUBS, AND REPLACE ALL DEFICIENT STAKES AND WIRES.
 C. THE OWNER SHALL INSPECT THE MULCH EACH SPRING. THE MULCH SHALL BE REPLACED EVERY TWO TO THREE YEARS. THE PREVIOUS MULCH LAYER SHALL BE REMOVED BEFORE THE NEW LAYER IS APPLIED.
 D. THE OWNER SHALL CORRECT SOIL EROSION ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER MONTH AND AFTER EACH HEAVY STORM.
 OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED SUBMERGED GRAVEL WETLANDS (M-2)
 A. DURING THE FIRST YEAR OF OPERATION, THE OWNER SHALL INSPECT THE FACILITY AFTER EVERY HEAVY STORM AND REPLACE VEGETATION AS NEEDED.
 B. THE OWNER SHALL REMOVE SEDIMENT ACCUMULATED IN THE PRETREATMENT AREAS AS NECESSARY.
 C. SIGNS OF UNEVEN FLOW WITHIN THE WETLAND MAY MEAN THAT THE GRAVEL OR UNDERDRAIN IS CLOGGED. THE GRAVEL OR UNDERDRAIN SHALL BE REMOVED, CLEANED, AND REPLACED, AS NEEDED.
 D. THE OWNER SHALL ENSURE A DENSE STAND OF WETLAND VEGETATION IS MAINTAINED THROUGHOUT THE LIFE OF THE FACILITY AND REPLACE VEGETATION AS NEEDED.
 E. THE OWNER SHALL ENSURE THE INLETS AND OUTLETS TO EACH GRAVEL WETLAND CELL ARE FREE FROM DEBRIS.
 F. THE OWNER SHALL REPAIR EROSION AT INFLOW POINTS AND ENSURE FLOW SPLITTERS ARE FUNCTIONAL TO PREVENT STORM WATER FROM BYPASSING THE FACILITY.



GENERAL NOTES

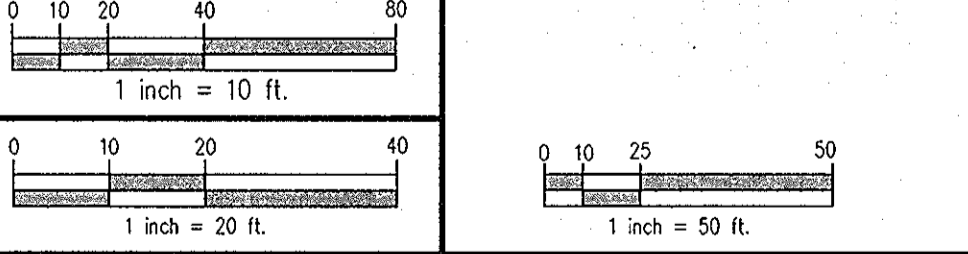
1. WETLAND SOIL

THE SURFACE INFILTRATION RATES OF THE GRAVEL WETLAND SOIL SHOULD BE SIMILAR TO A LOW HYDRAULIC CONDUCTIVITY WETLAND SOIL (0.1-0.01 FT/DAY + 35 X 10⁻⁵ CM/SEC TO 35 X 10⁻⁶ CM/SEC). THIS SOIL CAN BE MANUFACTURED USING COMPOST, SAND, AND SOME FINE SOILS TO BLEND TO A HIGH % ORGANIC MATTER CONTENT SOIL (65% ORGANIC MATTER). AVOID USING CLAY CONTENTS IN EXCESS OF 15% BECAUSE OF POTENTIAL IRRIGATION OF FINES INTO SUBSURFACE GRAVEL LAYERS. DO NOT USE GEOTEXTILES BETWEEN THE HORIZONTAL LAYERS OF THIS SYSTEM AS THEY WILL CLOG DUE TO FINES AND MAY RESTRICT ROOT GROWTH.

2. CLAY SOIL

IF BOTTOM OF STONE MEDIA IS ABOVE EXTEMP. GRADE, A LOW PERMEABILITY LINER OR SOIL SHOULD BE USED TO MINIMIZE INFILTRATION PRESERVE HORIZONTAL FLOW IN THE GRAVEL, AND MAINTAIN THE WETLAND PLANTS. ACCEPTABLE OPTIONS INCLUDE: (A) 6 TO 12 INCHES (6 - 30 CM) OF CLAY SOIL (MINIMUM 80% PASSING THE #200 SIEVE AND A MINIMUM PERMEABILITY OF 1 X 10⁻⁵ CM/SEC), OR A 30 ML HOPE LINER.

S.D. PIPE SUMMARY TABLE PRIVATELY OWNED AND MAINTAINED			
SIZE (INCHES)	TYPE	QUANTITY (L.F.)	REMARKS
3	SLOTTED PVC	225	SCHEDULE 40
6	SLOTTED PVC	356	SCHEDULE 40
8	SLOTTED PVC	123	SCHEDULE 80
8	PVC	394	SCHEDULE 80
8	HOPE	196	ADS N12 or equiv.
12	SLOTTED PVC	75	SCHEDULE 40



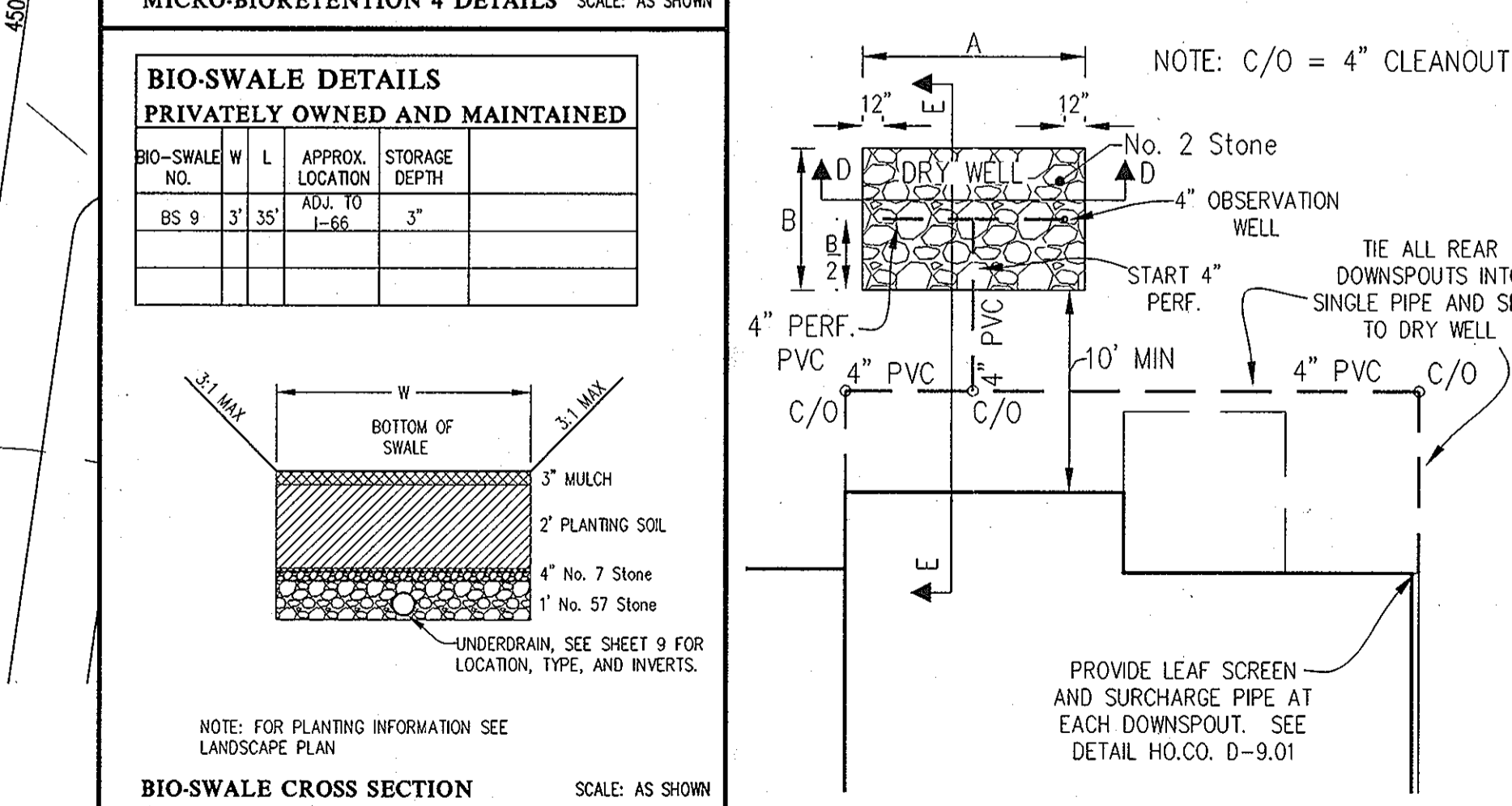
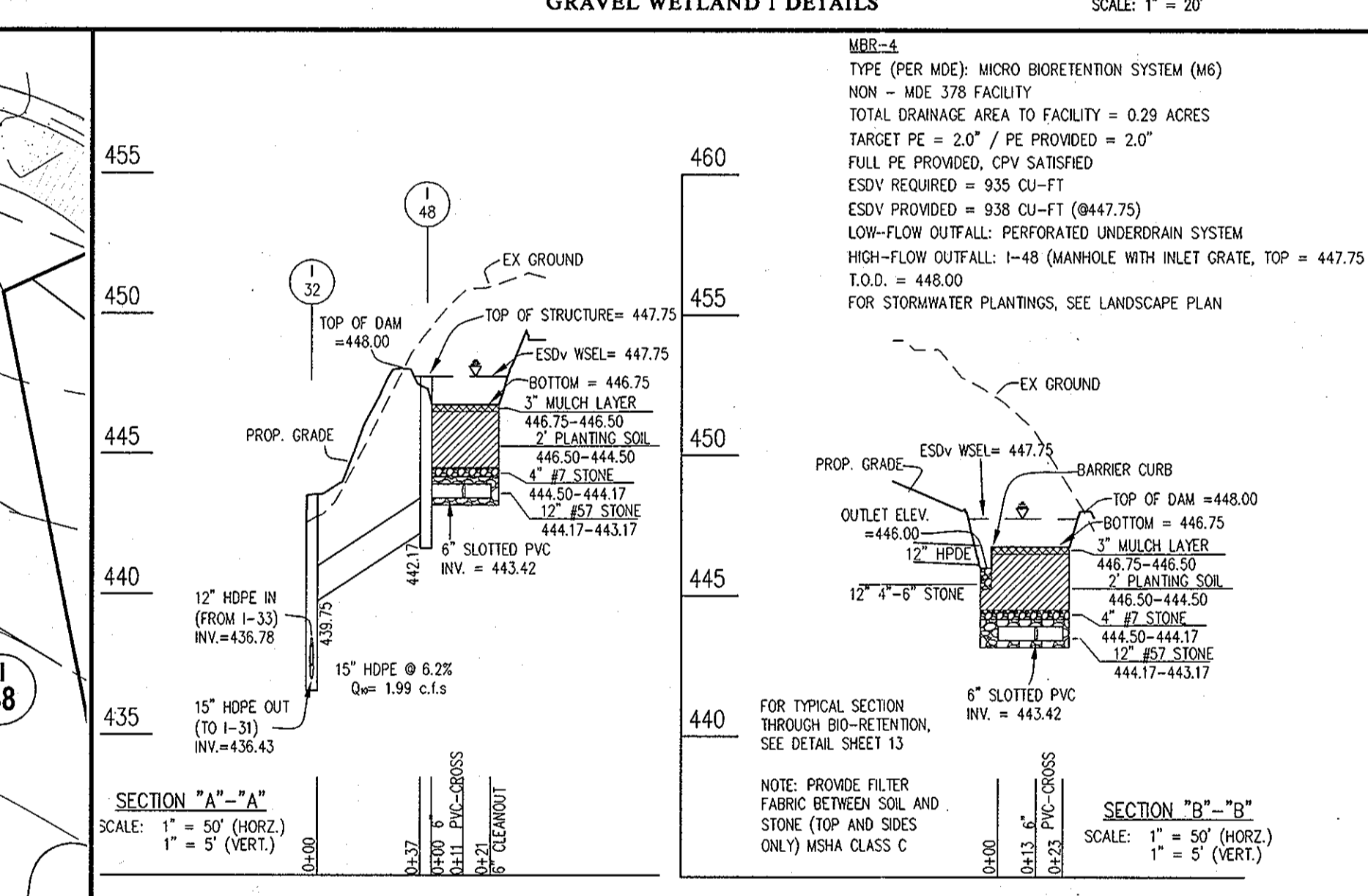
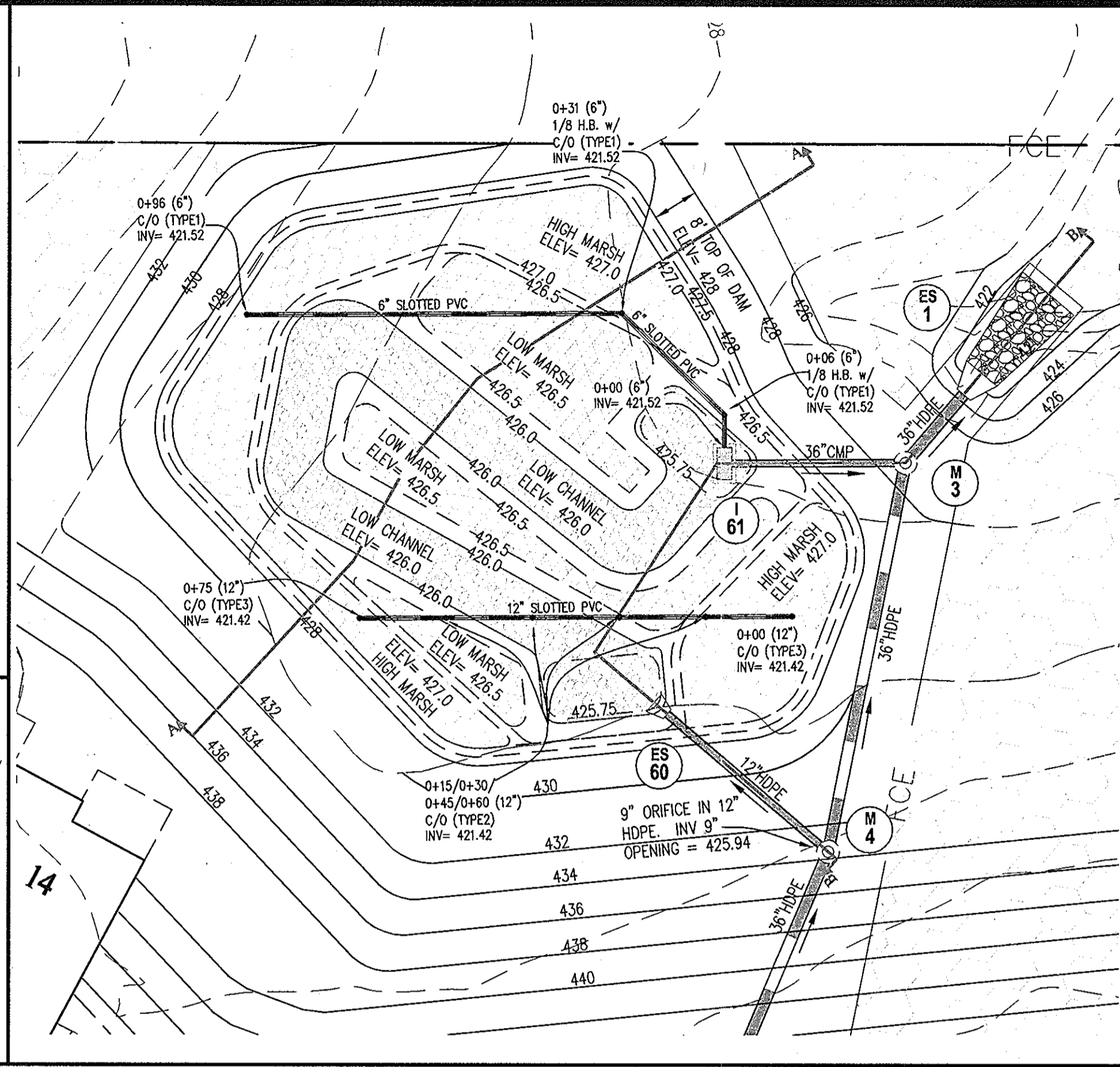
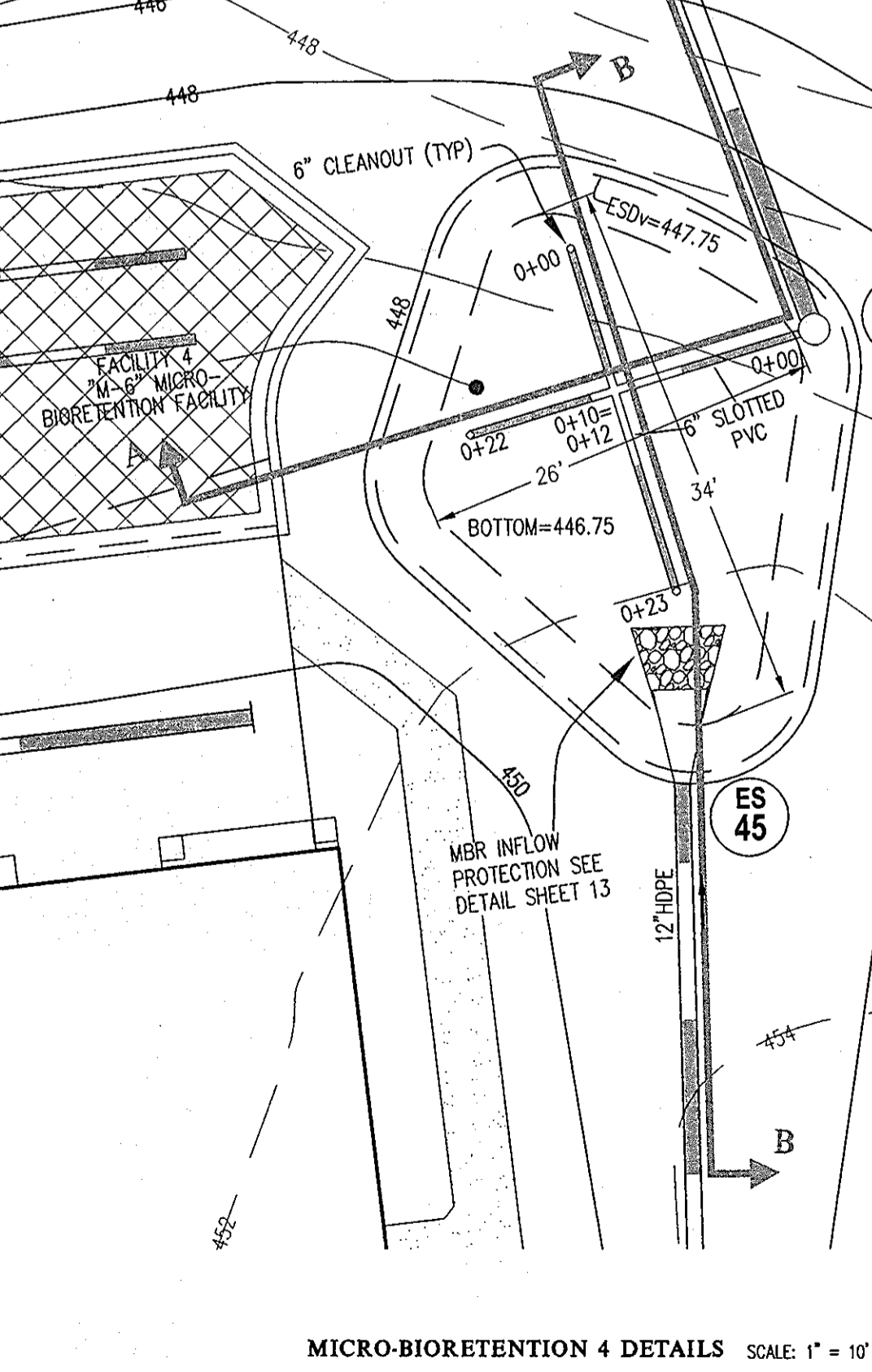
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *[Signature]* Date: 3/25/13

Chief, Division of Land Development: *[Signature]* Date: 3/25/13

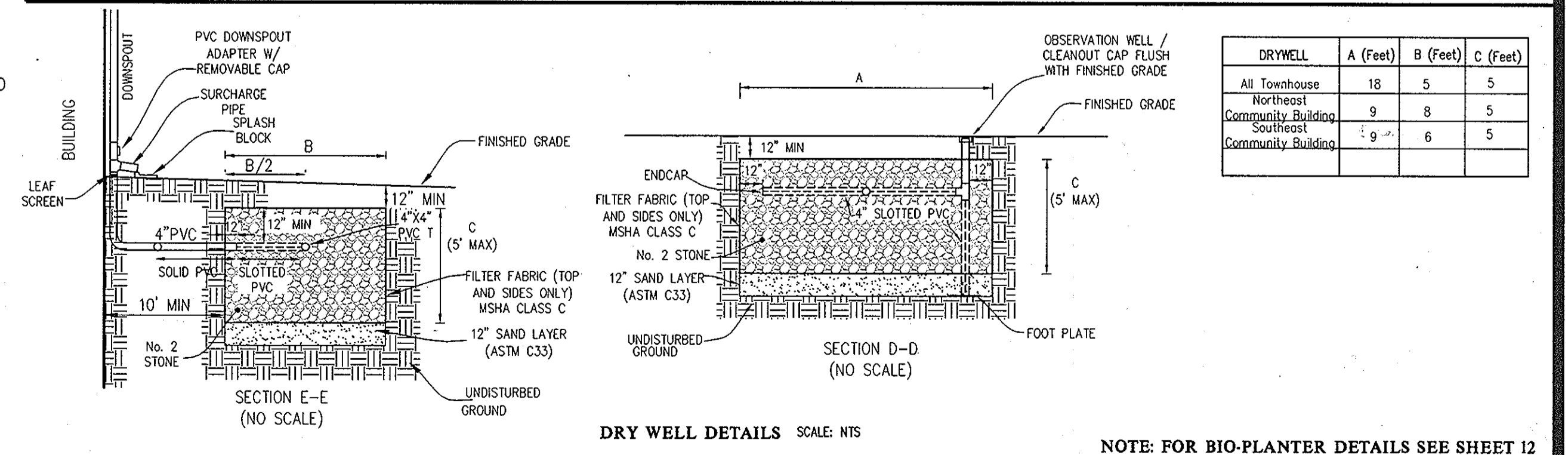
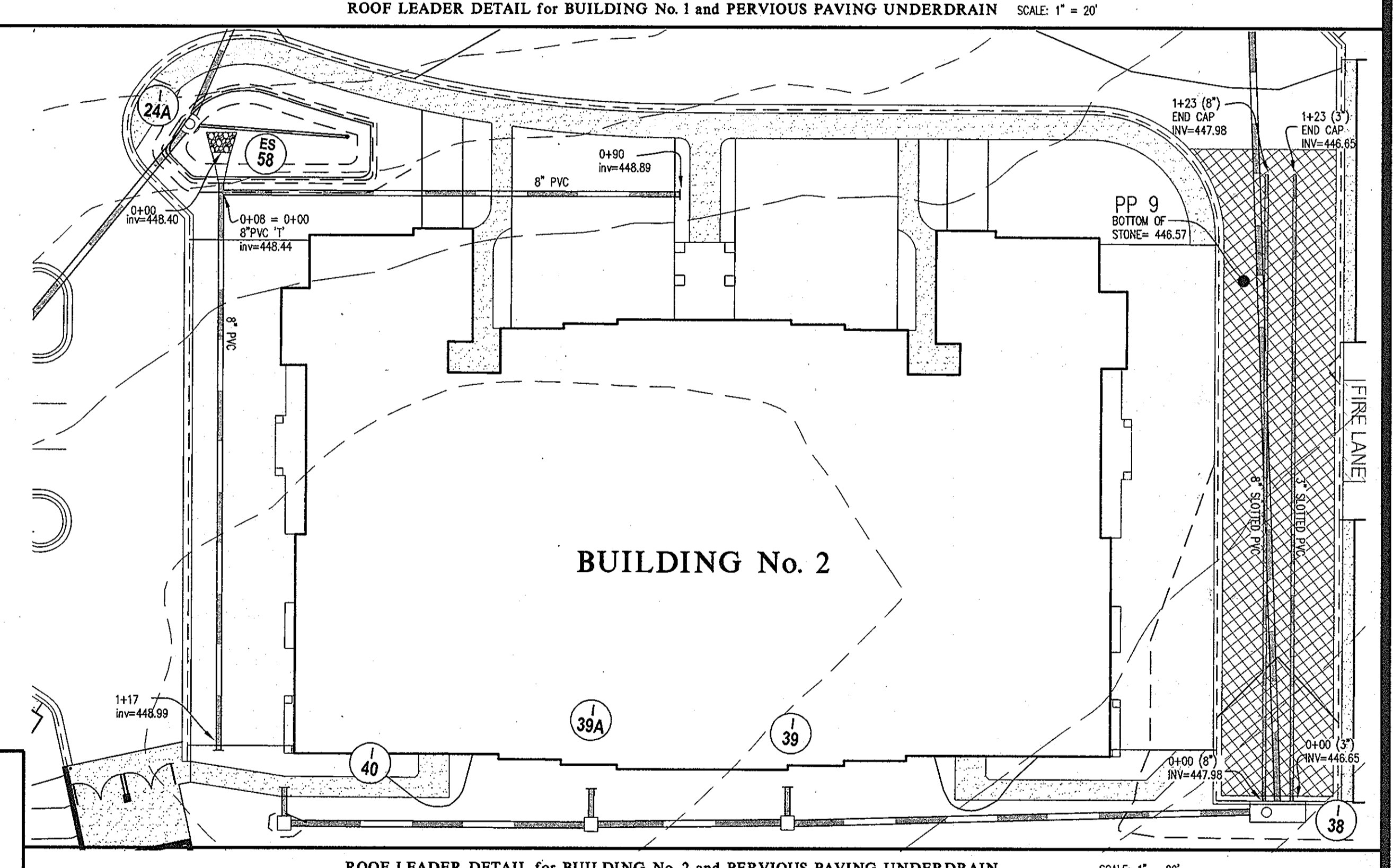
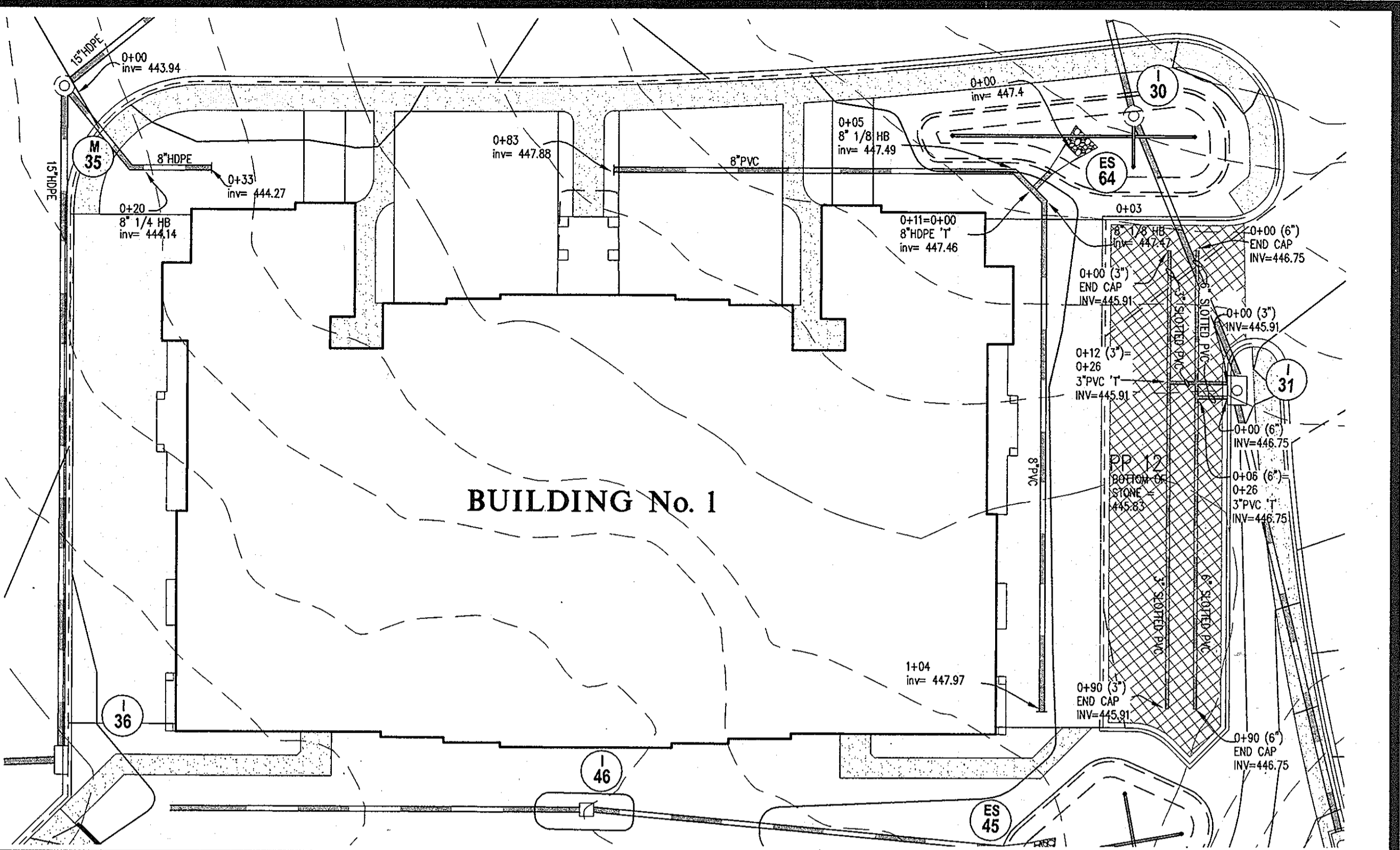
Chief, Development Engineering Division: *[Signature]* Date: 2-21-13

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONVILLE OFFICE PARK
BURTONVILLE, MARYLAND 20886
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-993-2524 FAX: 301-421-4186



PREPARED FOR:
NORTHTRIDGE, LLC
24012 FREDERICK ROAD
SUITE 200
CLARKSBURG, MARYLAND 20871
JONATHAN W. SOULE
301-428-0800

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12912
EXPIRATION DATE: MAY 26, 2014



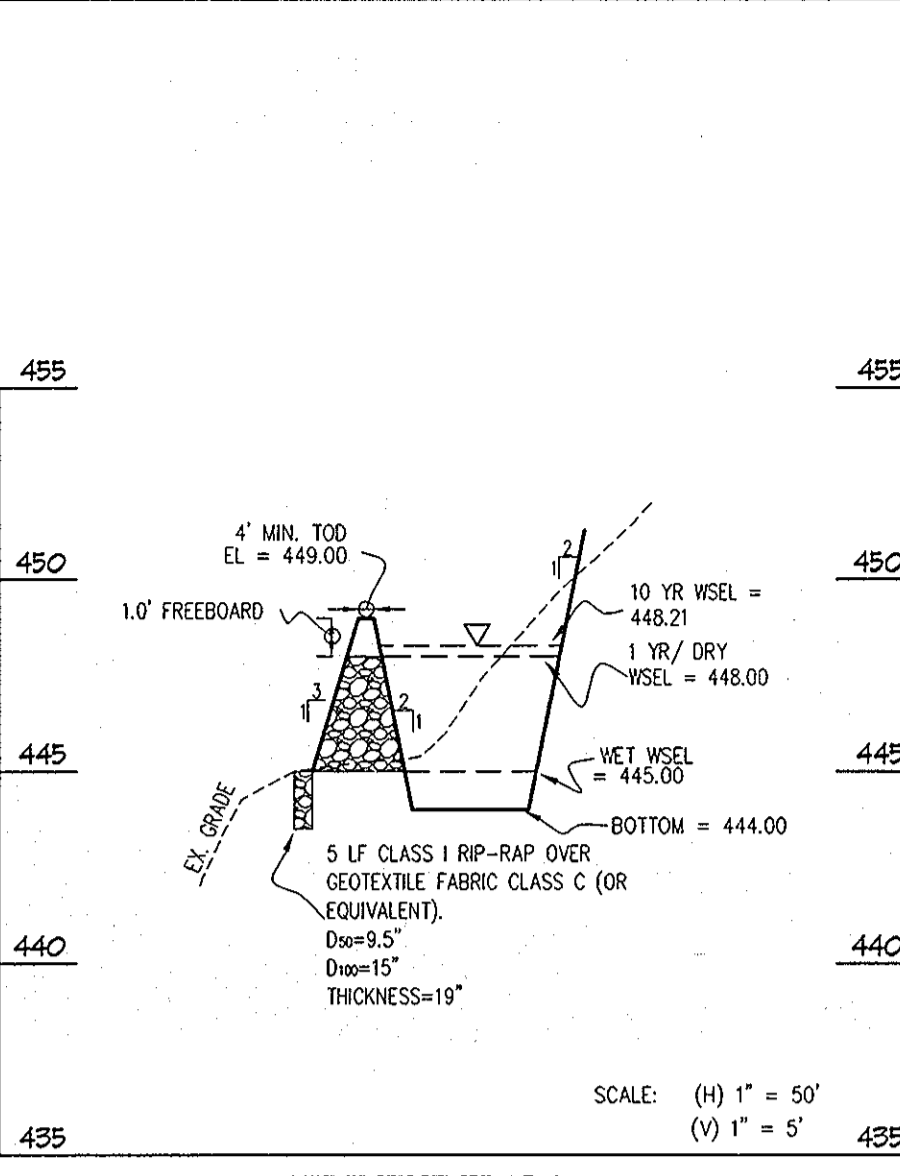
STORMWATER MANAGEMENT DETAILS

THE GATHERINGS at ELLICOTT MILLS
PARCEL A
AGE RESTRICTED ADULT HOUSING
PLAT Nos. 11833 & 12310-12317

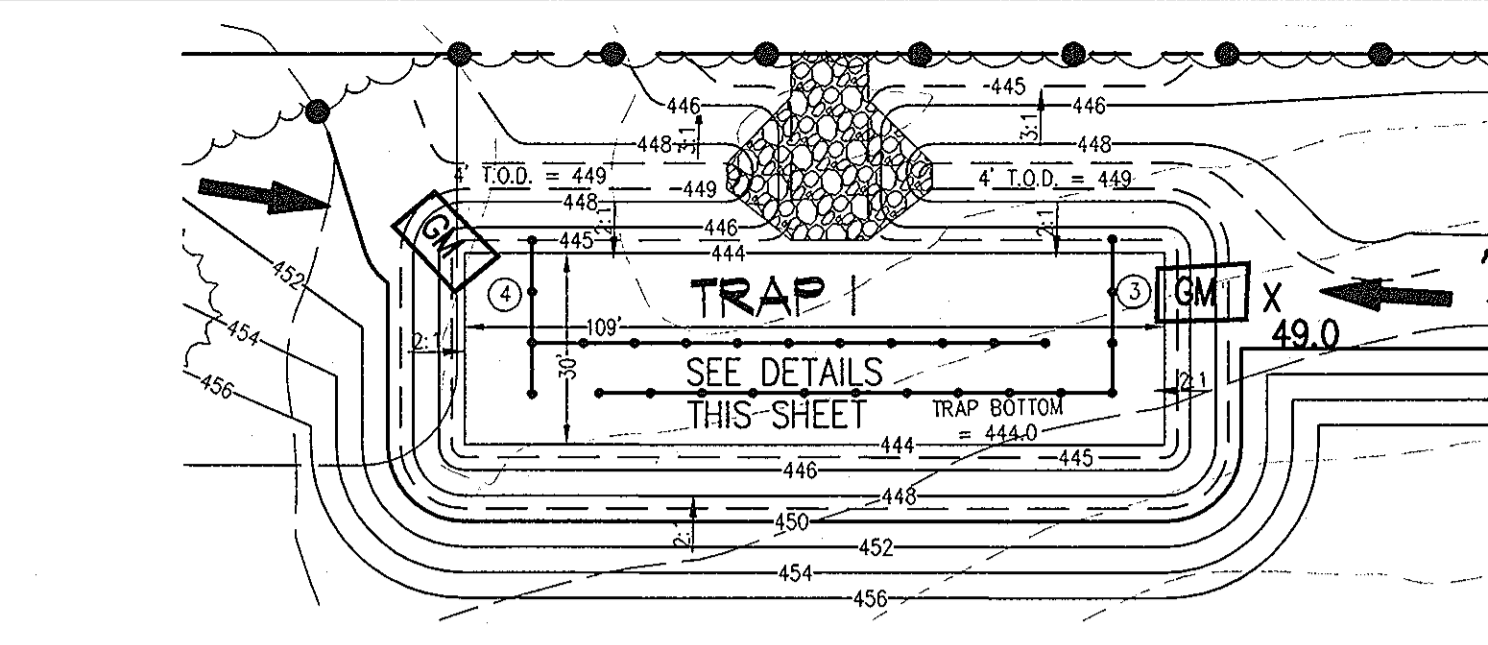
SCALE: AS SHOWN
ZONING: POR
G. L. W. FILE NO.: 11005

DATE: JAN. 2013
TAX MAP - GRID: 17 - 23
SHEET: 14 OF 20

- SEDIMENT AND EROSION CONTROL PHASE I SEQUENCE OF CONSTRUCTION**
- OBTAIN GRADING PERMIT AND ARRANGE PRE-CONSTRUCTION MEETING WITH SEDIMENT CONTROL INSPECTOR. (1 DAY). ACCESS TO PARCEL C-2 IS TO BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
 - INSTALL STABILIZED CONSTRUCTION ENTRANCE (SCE), SILT FENCE (SF), SUPER SILT FENCE (SSF), AND INLET PROTECTION (CIP). (5 DAYS)
 - INSTALL TRAPS 1 & BASIN 2 (21 DAYS)
 - INSTALL TEMPORARY SWALES C & D AND EARTH DIKES A & B (14 DAYS)
 - ONCE PERMISSION HAS BEEN GRANTED FROM THE SEDIMENT CONTROL INSPECTOR, MASS GRADE SITE AND INSTALL RETAINING WALLS 1 & 2. (45 DAYS)
 - INSTALL UTILITIES. DELAY CONSTRUCTION OF M-4 UNTIL BASIN IS REMOVED (28 DAYS)
 - BEGIN CONSTRUCTION OF BUILDINGS, CURB & GUTTER, SIDEWALK, AND ALL PAVEMENT. DELAY CONSTRUCTION OF PERVIOUS PAVEMENT UNTIL ALL CONSTRUCTION ON THE AREA DRAINING TO THAT PERVIOUS PAVEMENT IS COMPLETE. (180 DAYS)
 - ONCE ALL AREA DRAINING TO TRAP 1 HAS BEEN STABILIZED, AND WITH PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, REMOVE TRAP 1, AND EARTH DIKES A & B. BRING GRADES IN THIS AREA TO ULTIMATE CONFIGURATION. (15 DAYS)
 - ONCE I-33 TO M-5 TO BASIN 2 HAS BEEN STABILIZED, CURB AND GUTTER FROM I-33 TO M-5, AND THE AREA BETWEEN ADDERLEY AVE AND THE STREAM BUFFER HAS BEEN STABILIZED AND WITH PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, TEMPORARY SWALE D CAN BE REMOVED. ONCE SWALE D IS REMOVED, BRING GRADES IN THIS AREA TO ULTIMATE CONFIGURATION AND INSTALL RETAINING WALL 3, INSTALL M-4 AND COMPLETE STORM DRAIN FROM M-3 TO M-5. BLOCK OUTLET FROM M-5 TO M-4 (30 DAYS)
 - ONCE ALL AREA HAS BEEN STABILIZED AND ALL STORM DRAIN HAS BEEN INSTALLED, CONTRACTOR MAY REMOVE BASIN 2 & TEMP 36" HDPE. BEGIN CONSTRUCTION OF GRAVEL WETLAND AND UNBLOCK OUTLET FROM M-5 TO M-4. DURING BASIN REMOVAL, REMOVE SEDIMENT 1' BELOW BOTTOM OF BASIN MICRO-BIORETENTION FACILITIES MAY BE INSTALLED ONCE ALL CONSTRUCTION ON THE AREA DRAINING TO THE MICRO-BIORETENTION IS COMPLETE. CONTRACTOR DOES NOT HAVE TO REMOVE BASIN UNTIL IT IS NECESSARY TO INSTALL UNITS 14-19. (30 DAYS)
 - AFTER BASIN 2 AND TRAP 1 HAVE BEEN REMOVED, PROCEED TO PHASE 2.



SEDIMENT TRAP 1 PROFILE THROUGH PRINCIPAL SPILLWAY



SEDIMENT TRAP 1 DATA TABLE

STONE OUTLET SEDIMENT TRAP
 EXISTING DRAINAGE AREA: 1.6 AC
 WORST CASE INTERIM DRAINAGE AREA: 1.82 AC
 WET STORAGE VOL. REQUIRED: 0.08 AC-FT
 WET STORAGE VOL. PROVIDED: 0.08 AC-FT
 WET STORAGE ELEV.: 445.00
 DRY STORAGE PROVIDED: 0.33 AC-FT
 DRY STORAGE WSEL: 448.00
 EXISTING Q-1YR = 0.24 cfs
 INTERIM Q-1YR = 0.45 cfs
 SAFE PASS OF 10-YR STORM PROVIDED
 Q₁₀ = 7.63 cfs
 10-YR WSEL = 448.21 ft
 BOTTOM ELEVATION: 444.00
 TOP OF EMBANKMENT: 449.00
 WEIR CREST ELEVATION: 448.00
 WEIR LENGTH: 12'
 EMERGENCY SPILLWAY ELEV.: NONE
 CLEANOUT ELEVATION: 444.50
 EMBANKMENT TOP WIDTH: 4'
 SIDE SLOPES: 2:1 INTERIOR - 3:1 EXTERIOR

BAFFLE COMPUTATION

① D = 65 FT.
 A WET POOL = 11,033 SOFT
 We = A/D = 170
 Le = 2We = 340 FT REQUIRED
 Le = 340 FT PROVIDED

② D = 110 FT.
 A WET POOL = 11,033 SOFT
 We = A/D = 101
 Le = 2We = 202 FT REQUIRED
 Le = 280 FT PROVIDED

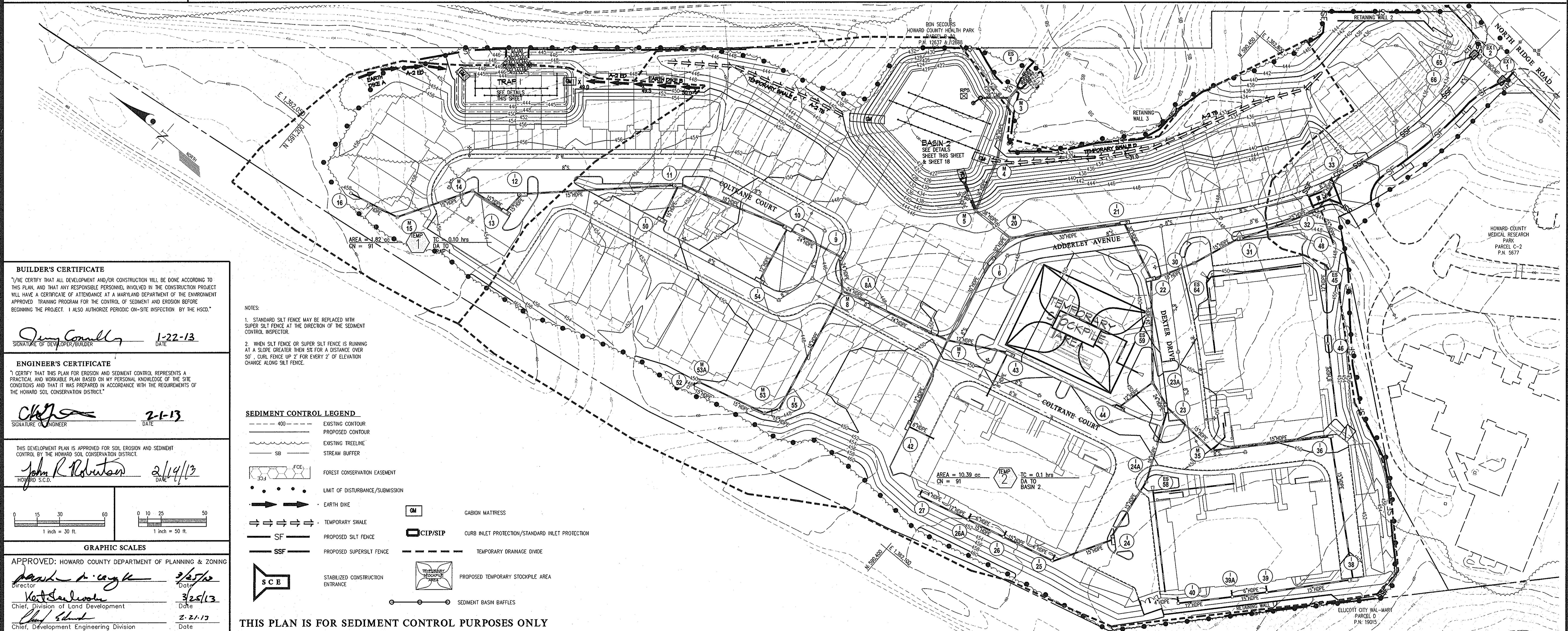
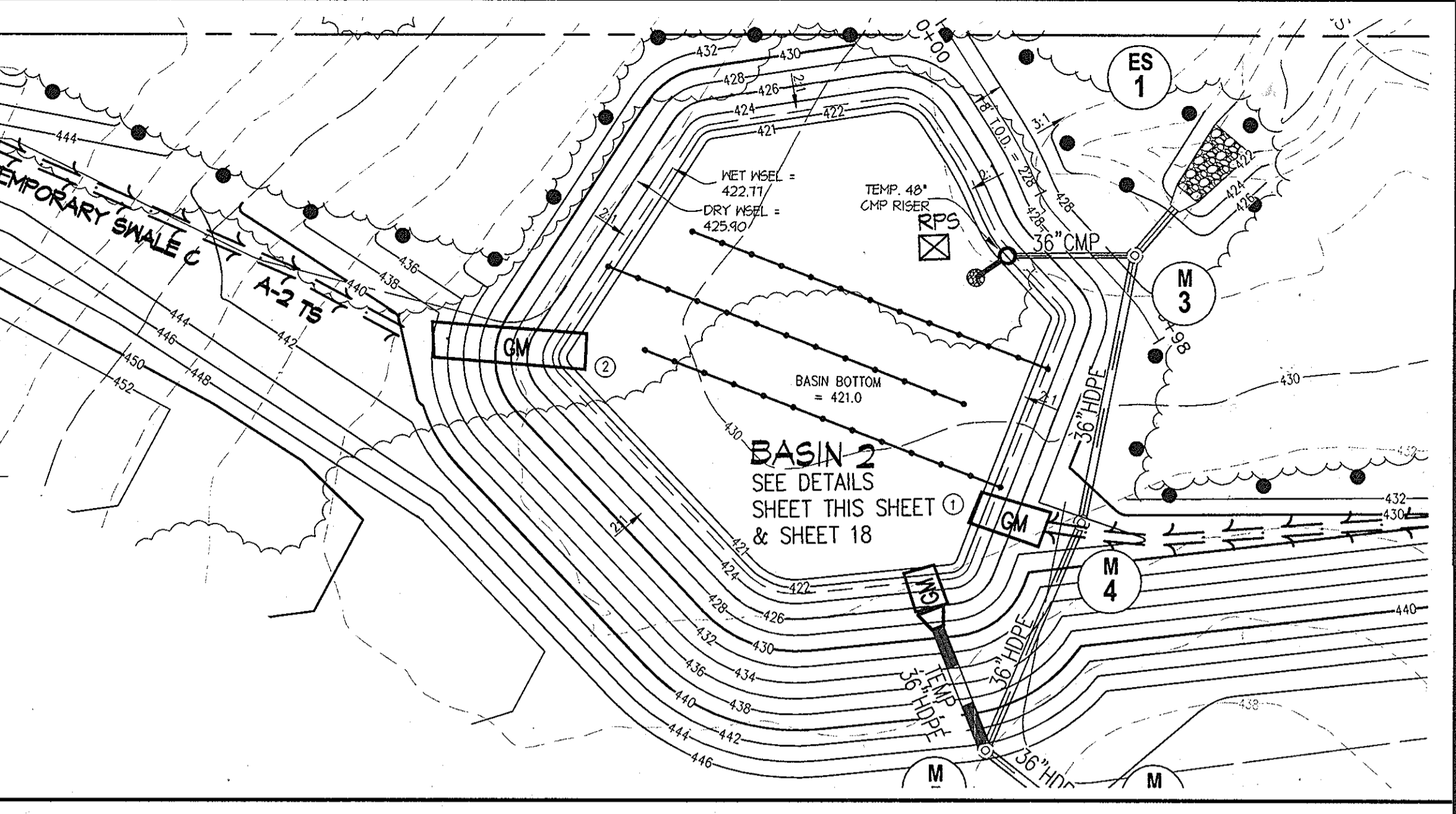
SEDIMENT BASIN 2 DATA TABLE

INTERIM DRAINAGE AREA: 10.39 AC
 WET STORAGE VOL. REQUIRED: 0.43 AC-FT
 WET STORAGE VOL. PROVIDED: 0.43 AC-FT
 WET STORAGE ELEV.: 422.77
 DRY STORAGE REQUIRED: 0.43 AC-FT
 DRY STORAGE PROVIDED: 0.87 AC-FT
 DRY STORAGE WSEL = 426.9
 BASIN CLEANOUT ELEVATION = 420.88
 EXISTING Q-1YR = 1.41 cfs
 INTERIM Q-1YR = 1.23 cfs
 SAFE PASS OF 10-YR STORM PROVIDED
 Q₁₀ = 44.89 cfs
 10-YR WSEL = 426.96 ft
 BOTTOM ELEVATION: 421.0
 TOP OF EMBANKMENT: 428.0
 OUTFALL: 48" CMP RISER
 RISER WEIR CREST ELEVATION: 425.90
 RISER WEIR LENGTH: 12.57'
 RISER TRASH BACK/ANTIVORTEX: 72"

DEWATERING DEVICE

8" PERFORATED PVC WITH 8" PVC BARREL AT 0.05% DEWATERING INVERT AT 36" RISER = 422.77
 INVERT FIRST PERFORMANCE = 422.77
 DEWATERING PERFORMANCE CONFIGURATION: WITH 1" HOLES @ 2" ON-C-C, 12 HOLES PER CIRCUMFERENTIAL ROW, 18 HOLES RUNNING VERTICALLY, 216 HOLES TOTAL
 EMERGENCY SPILLWAY ELEV.: NA
 SIDE SLOPES: 2:1 INTERIOR - 3:1 EXTERIOR

TRAP 1 / BASIN 2 DETAILS SCALE: 1" = 30'



BUILDER'S CERTIFICATE
 I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD.
 Signature of Developer/Builder: *John Conolly* DATE: 1-22-13

ENGINEER'S CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 Signature of Engineer: *John R. Robertson* DATE: 2-1-13

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 Signature of Approver: *John R. Robertson* DATE: 2/14/13
 HOWARD S.C.D.

GRAPHIC SCALES
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *Frank A. Cagle* DATE: 3/25/13
 Chief, Division of Land Development: *Walt Sandwick* DATE: 3/25/13
 Chief, Development Engineering Division: *Chad Schuch* DATE: 2-21-13

- SEDIMENT CONTROL LEGEND**
- 400 --- EXISTING CONTOUR
 - PROPOSED CONTOUR
 - EXISTING TREELINE
 - SB --- STREAM BUFFER
 - FCE --- FOREST CONSERVATION EASEMENT
 - LIMIT OF DISTURBANCE/SUBMISSION
 - EARTH DIKE
 - TEMPORARY SWALE
 - SF --- PROPOSED SILT FENCE
 - SSF --- PROPOSED SUPERSILT FENCE
 - SCE --- STABILIZED CONSTRUCTION ENTRANCE
 - GM --- GABION MATTRESS
 - CIP/SIP --- CURB INLET PROTECTION/STANDARD INLET PROTECTION
 - TEMPORARY DRAINAGE DIVIDE
 - PROPOSED TEMPORARY STOCKPILE AREA
 - SEDIMENT BASIN BAFFLES

THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY

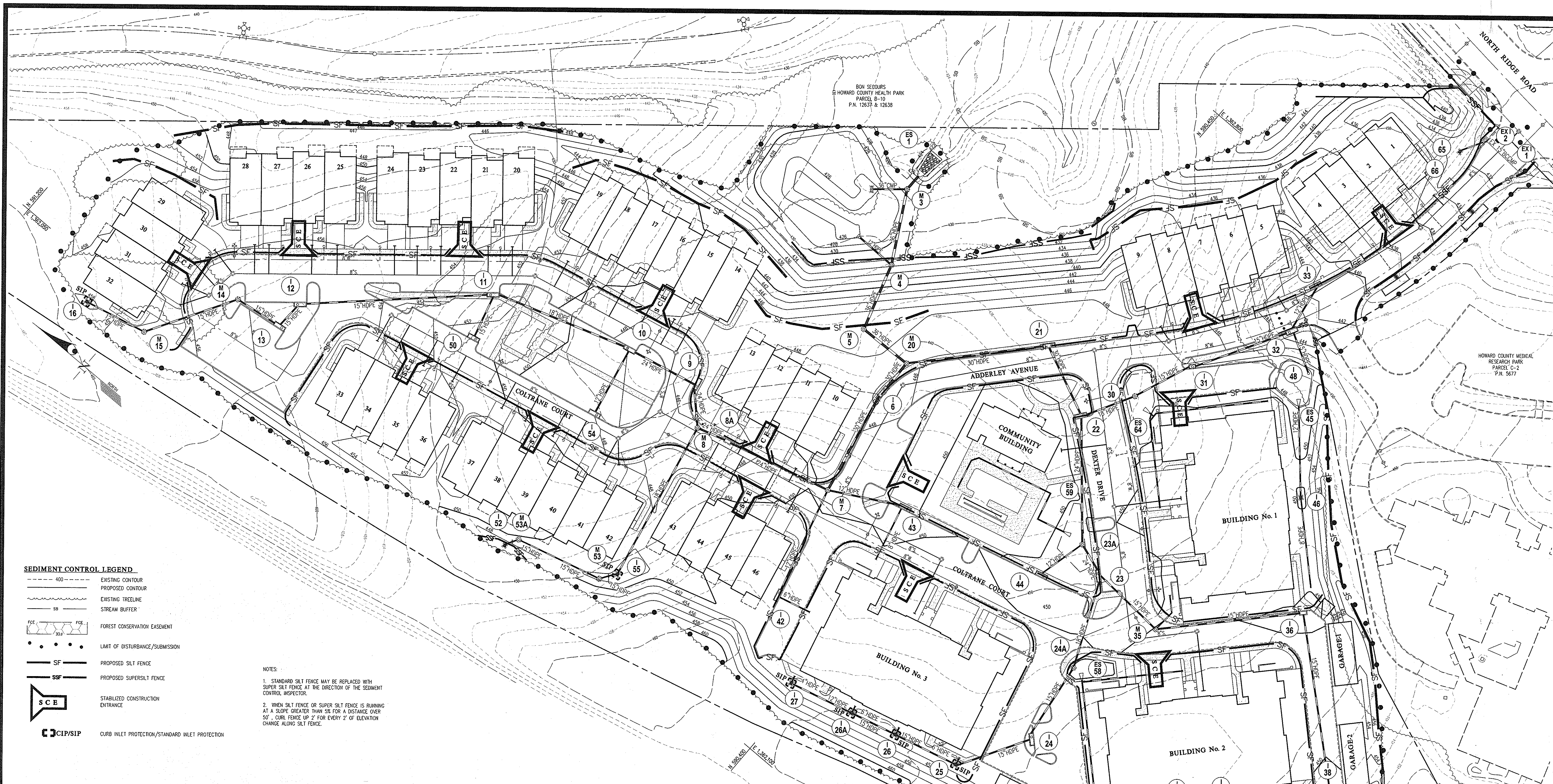
GLWGutschick Little & Weber, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-880-1820 DC/WA: 301-989-2524 FAX: 301-421-4186

PREPARED FOR:
 NORTHBRIDGE, LLC
 24012 FREDERICK ROAD
 SUITE 200
 CLARKSBURG, MARYLAND 20871
 JONATHAN W. SOULE
 301-428-0800

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
 EXPIRATION DATE: MAY 26, 2014
 Signature: *John R. Robertson* DATE: 2-1-13

SEDIMENT CONTROL PLAN - PHASE I
THE GATHERINGS at ELLICOTT MILLS
 PARCEL A
 AGE RESTRICTED ADULT HOUSING
 PLAT Nos. 11833 & 22214e-21917
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1" = 50'	POR	11005
DATE	TAX MAP - GRID	SHEET
JAN. 2013	17 - 23	15 OF 26

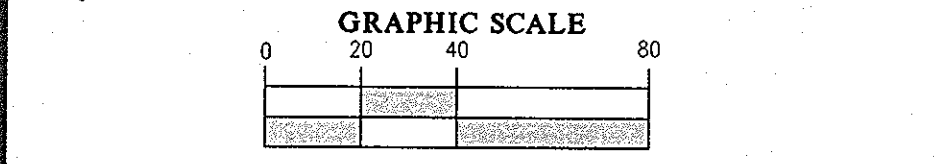


SEDIMENT CONTROL LEGEND

- 400 --- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING TREELINE
- STREAM BUFFER
- FOREST CONSERVATION EASEMENT
- LIMIT OF DISTURBANCE/SUBMISSION
- SF --- PROPOSED SILT FENCE
- SSF --- PROPOSED SUPERSILT FENCE
- SCE --- STABILIZED CONSTRUCTION ENTRANCE
- CIP/SIP --- CURB INLET PROTECTION/STANDARD INLET PROTECTION

NOTES:
 1. STANDARD SILT FENCE MAY BE REPLACED WITH SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
 2. WHEN SILT FENCE OR SUPER SILT FENCE IS RUNNING AT A SLOPE GREATER THAN 5% FOR A DISTANCE OVER 50', CURB FENCE UP 2" FOR EVERY 2' OF ELEVATION CHANGE ALONG SILT FENCE.

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT.
John C. Robertson 2/14/13
 HCD S.C.D. DATE



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
David H. Lytle 2/27/13
 Director DATE
K. St. Louis 3/25/13
 Chief, Division of Land Development DATE
Chad Clark 2-21-13
 Chief, Development Engineering Division DATE

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
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 TEL: 301-421-4024 BALT: 410-980-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

BUILDER'S CERTIFICATE
 I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HCD.
Jonny Conolly 1-22-13
 SIGNATURE OF DEVELOPER/BUILDER DATE

ENGINEER'S CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY CONSERVATION DISTRICT.
CKL 2-1-13
 SIGNATURE OF ENGINEER DATE

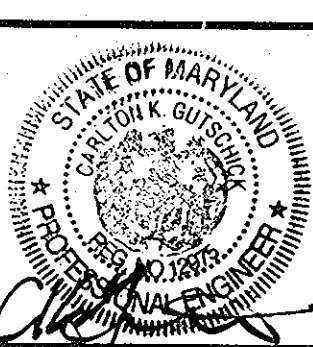
SEDIMENT AND EROSION CONTROL PHASE 2 SEQUENCE OF CONSTRUCTION

- PHASE 2 SEDIMENT CONTROLS AND SEQUENCE OF CONSTRUCTION ARE TO BE USED FOR ANY GROUP OF TOWNHOUSES OR BUILDINGS THAT WERE NOT CONSTRUCTED UNDER PHASE 1
- IF NEEDED, OBTAIN GRADING PERMIT AND ARRANGE PRE-CONSTRUCTION MEETING WITH SEDIMENT CONTROL INSPECTOR. (1 DAY)
 - INSTALL STABILIZED CONSTRUCTION ENTRANCE (SCE), SILT FENCE (SF), SUPER SILT FENCE (SSF), AND INLET PROTECTION (CIP) IN THE AREA OF CONSTRUCTION AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR. (2 DAYS)
 - WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, BEGIN CONSTRUCTION OF BUILDINGS, CURB & GUTTER, SIDEWALK, AND ANY PAVEMENT. DELAY CONSTRUCTION OF PERVIOUS PAVEMENT UNTIL ALL CONSTRUCTION ON THE AREA DRAINING TO THAT PERVIOUS PAVEMENT IS COMPLETE. (60 DAYS)
 - ONCE ALL CONSTRUCTION IN EITHER THE BUILDING PAD OR GROUP OF TOWNHOUSES IS COMPLETE AND ALL THE AREA HAS BEEN STABILIZED, INSTALL ANY PERVIOUS PAVEMENT, MICRO-BIORETENTION OR DRYWELLS IN THE AREA. (10 DAYS)

DATE	REVISION	BY	APPR.

PREPARED FOR:
 NORTH RIDGE, LLC
 24012 FREDERICK ROAD
 SUITE 200
 CLARKSBURG, MARYLAND 20871
 JONATHAN W. SOULE
 301-428-0800

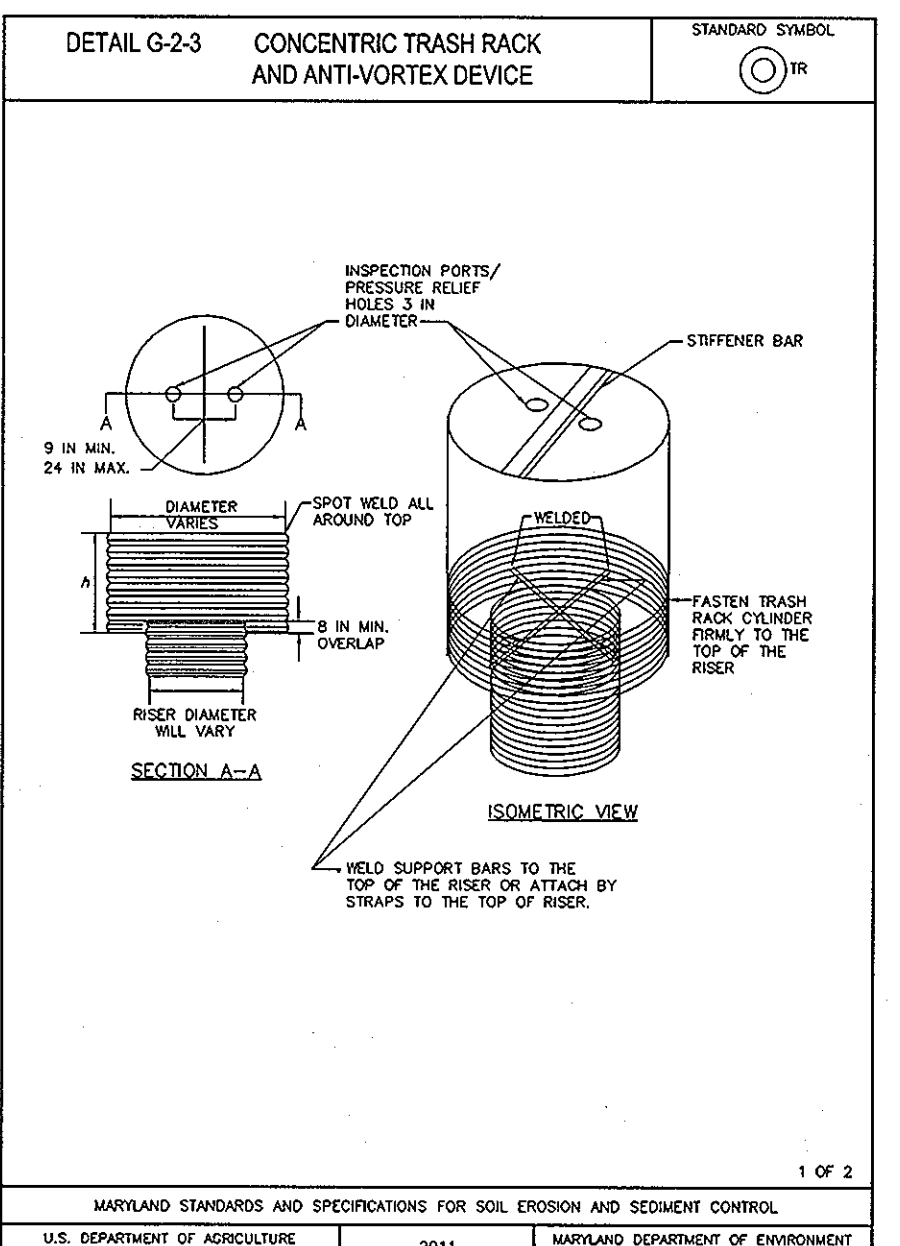
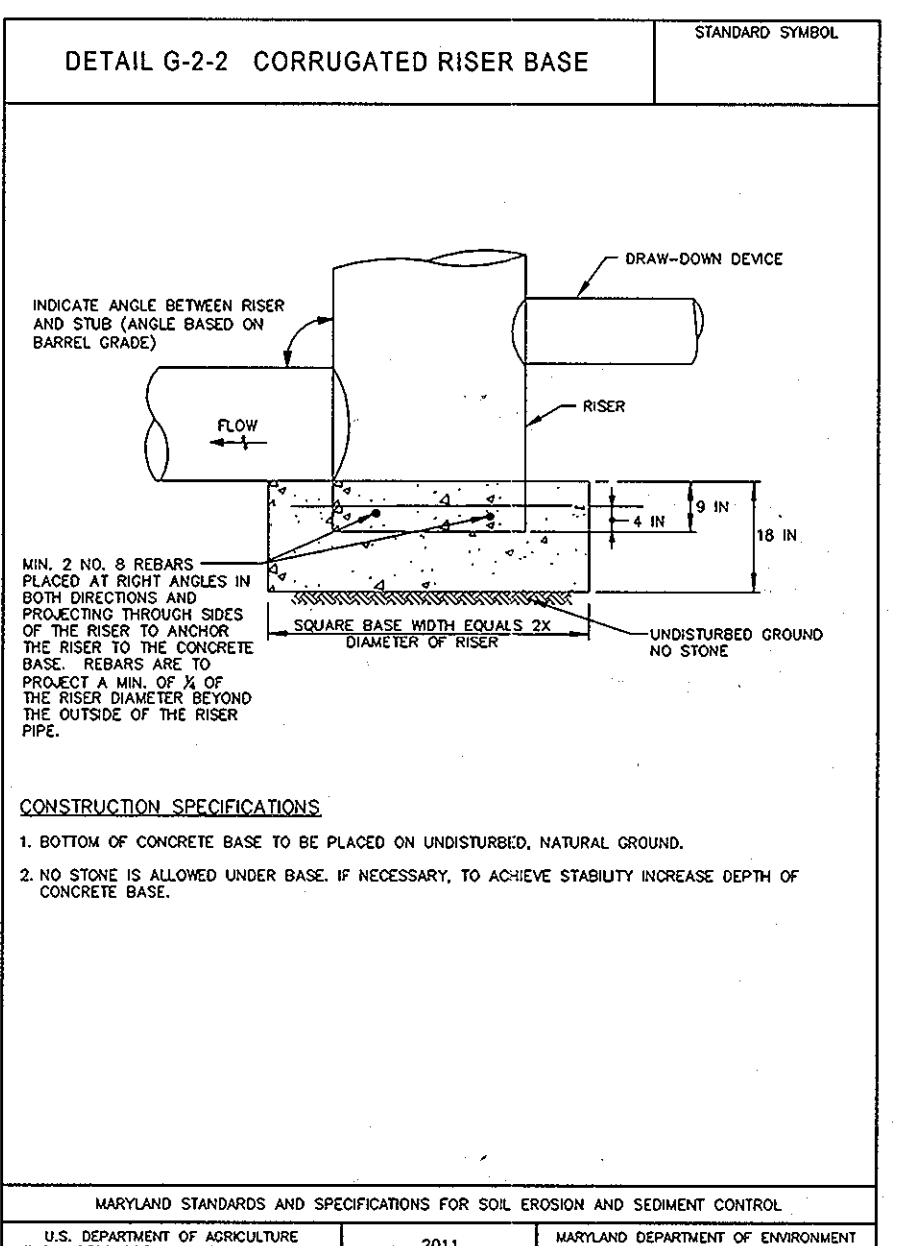
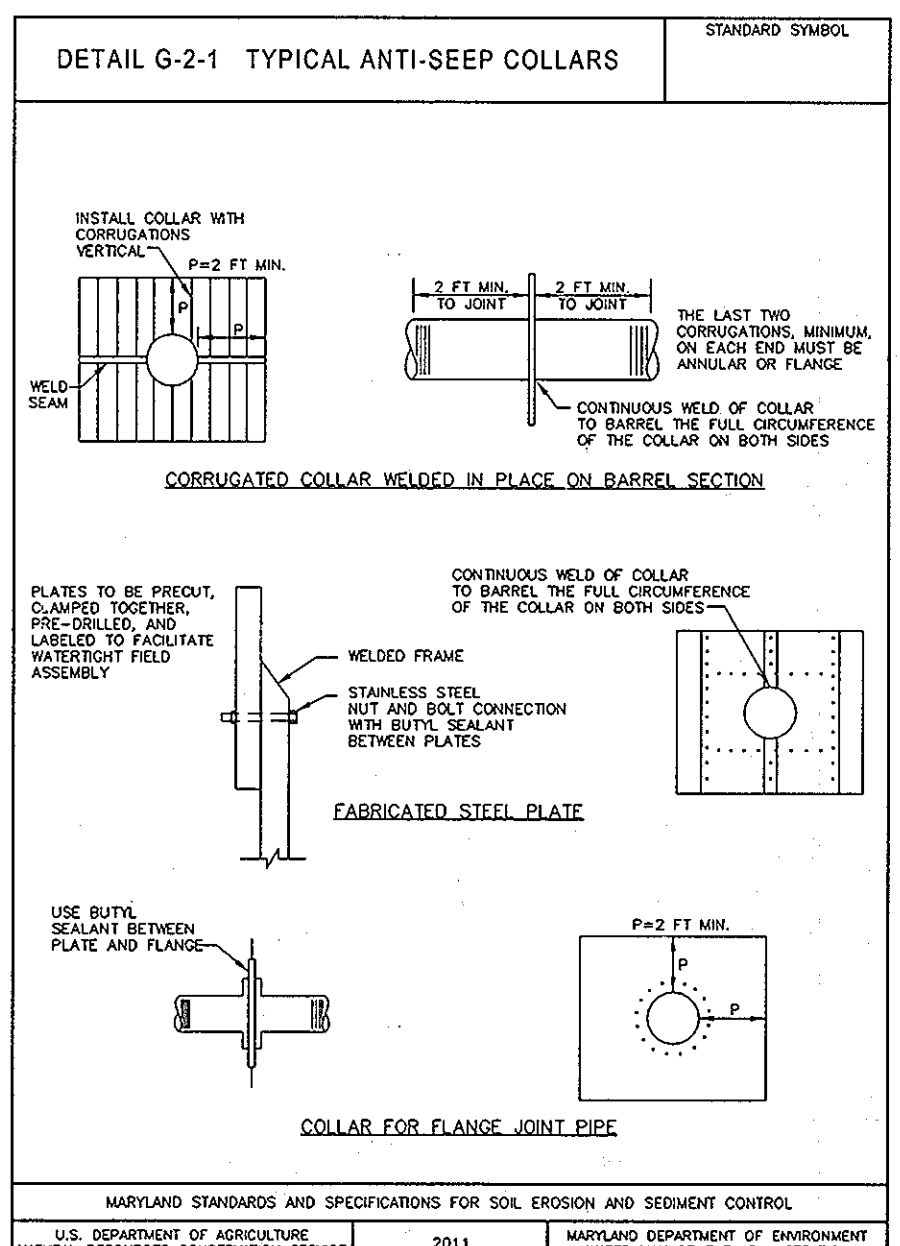
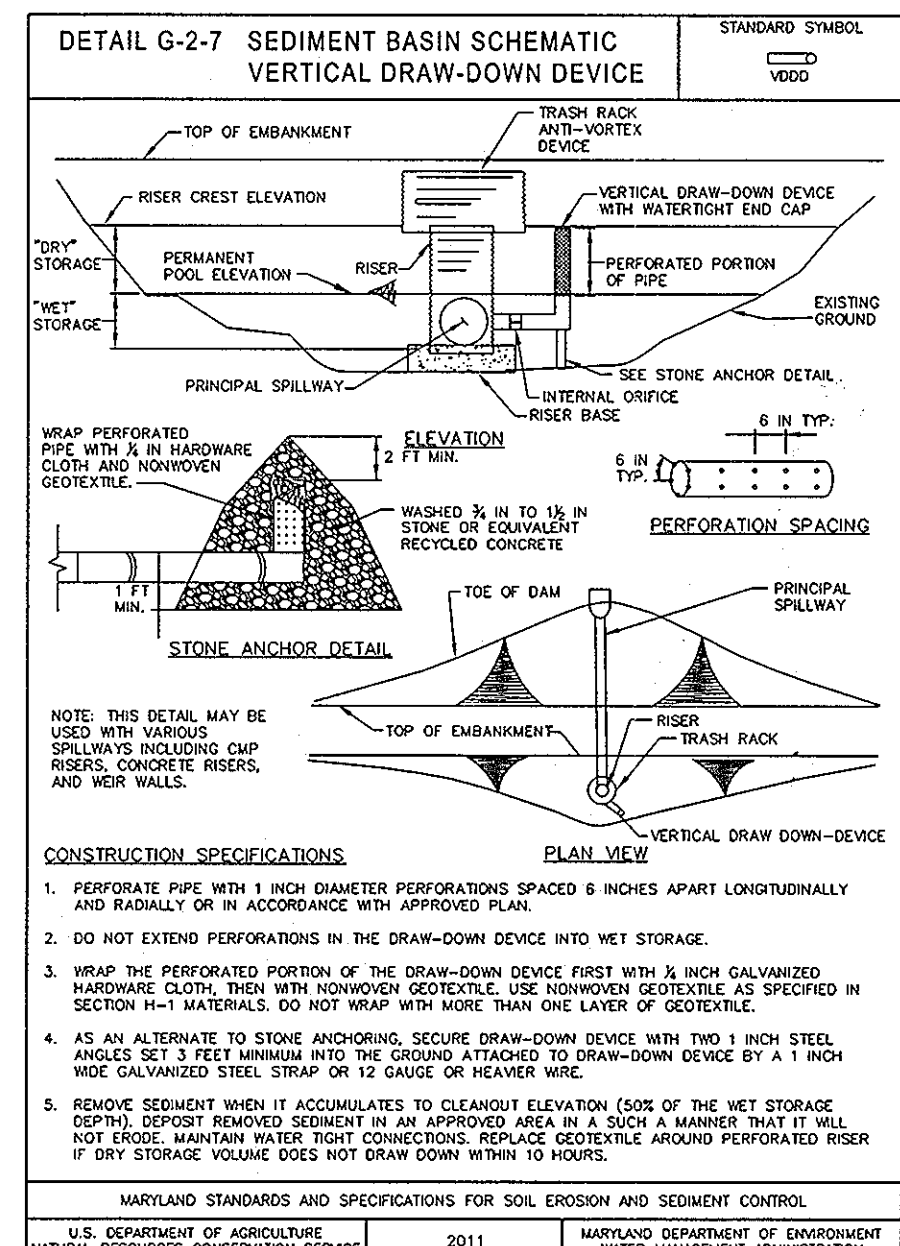
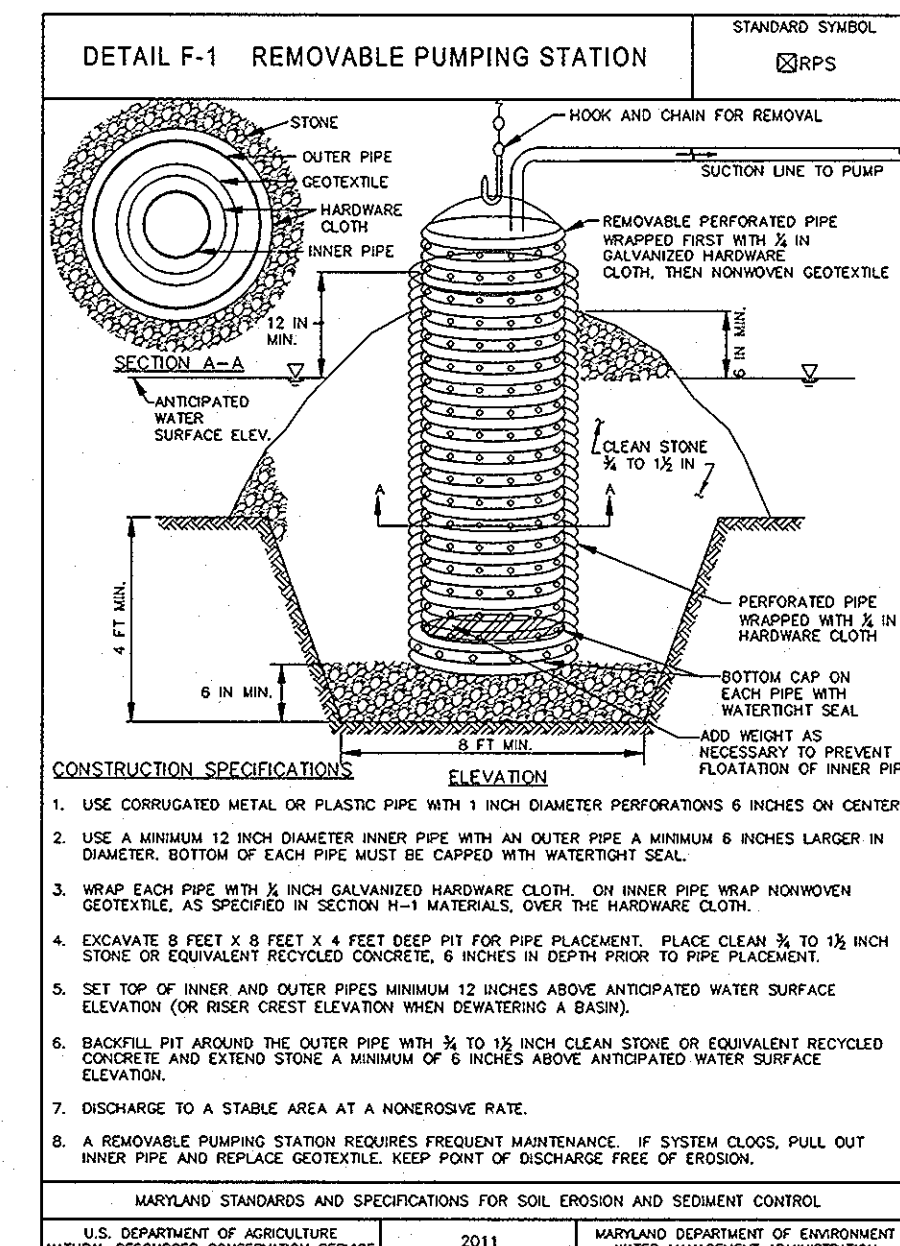
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 EXPIRATION DATE: MAY 26, 2014
 2-1-13



THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY

SEDIMENT CONTROL PLAN - PHASE 2
THE GATHERINGS at ELLICOTT MILLS
 PARCEL A
 AGE RESTRICTED ADULT HOUSING
 PLAT Nos. 11833 & 22210-22217

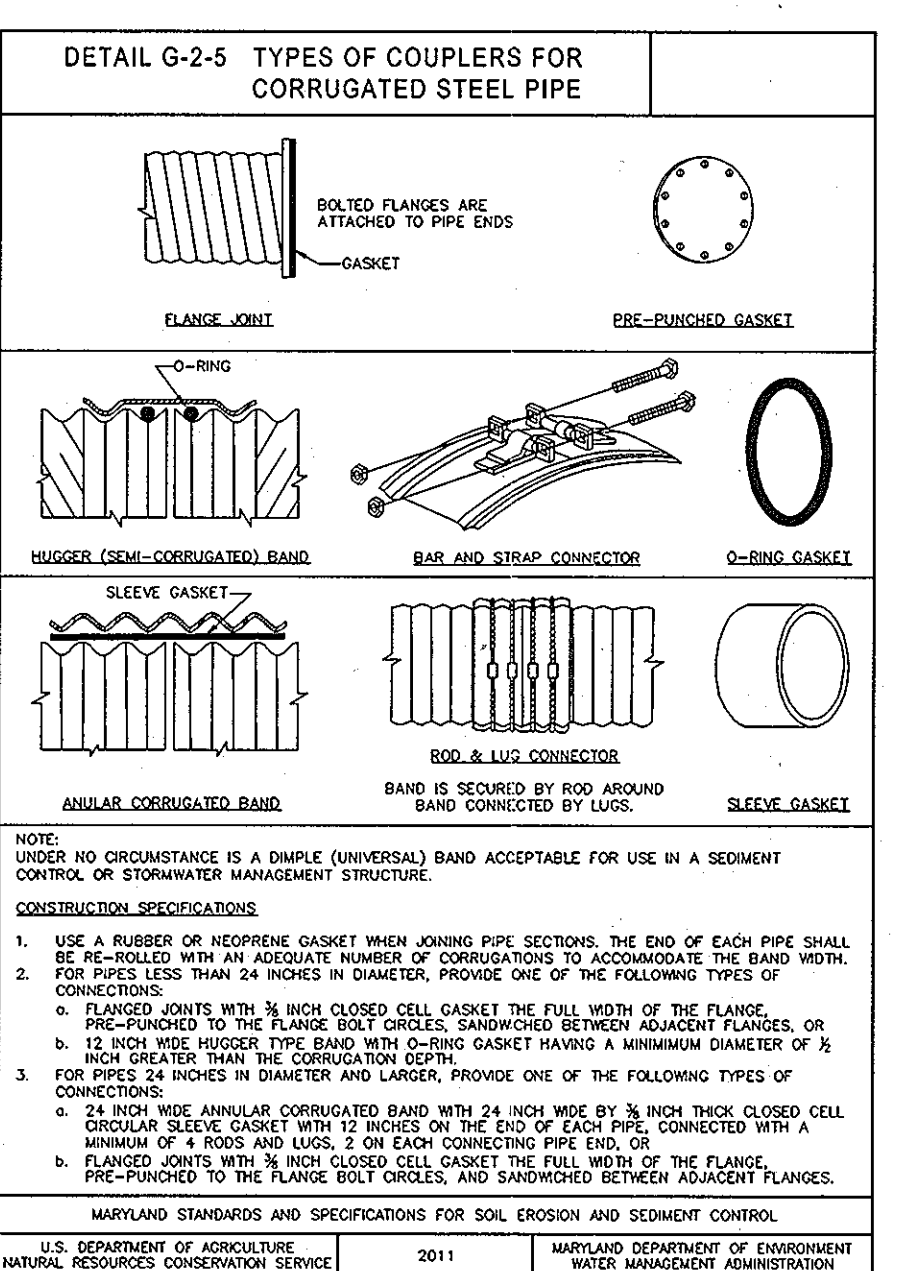
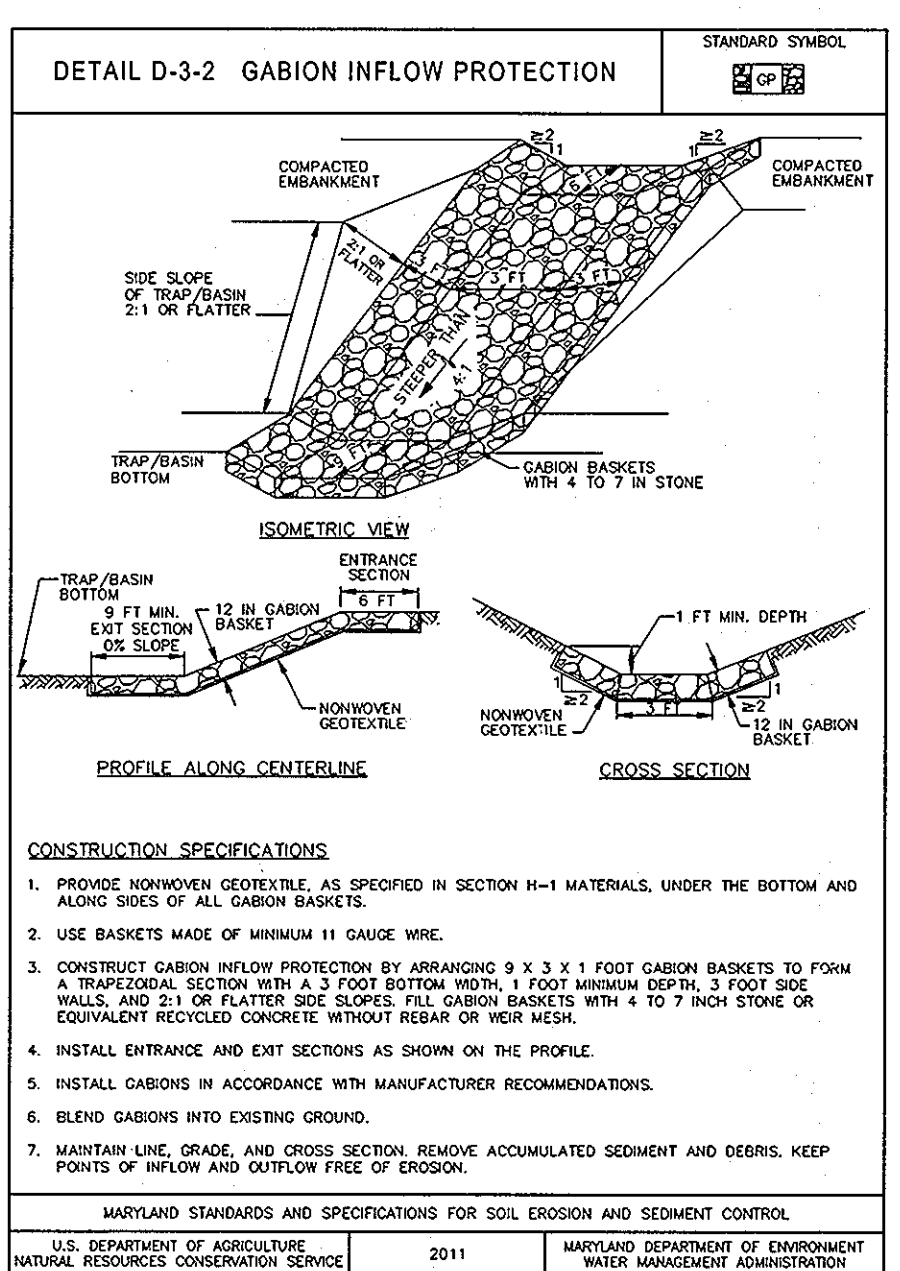
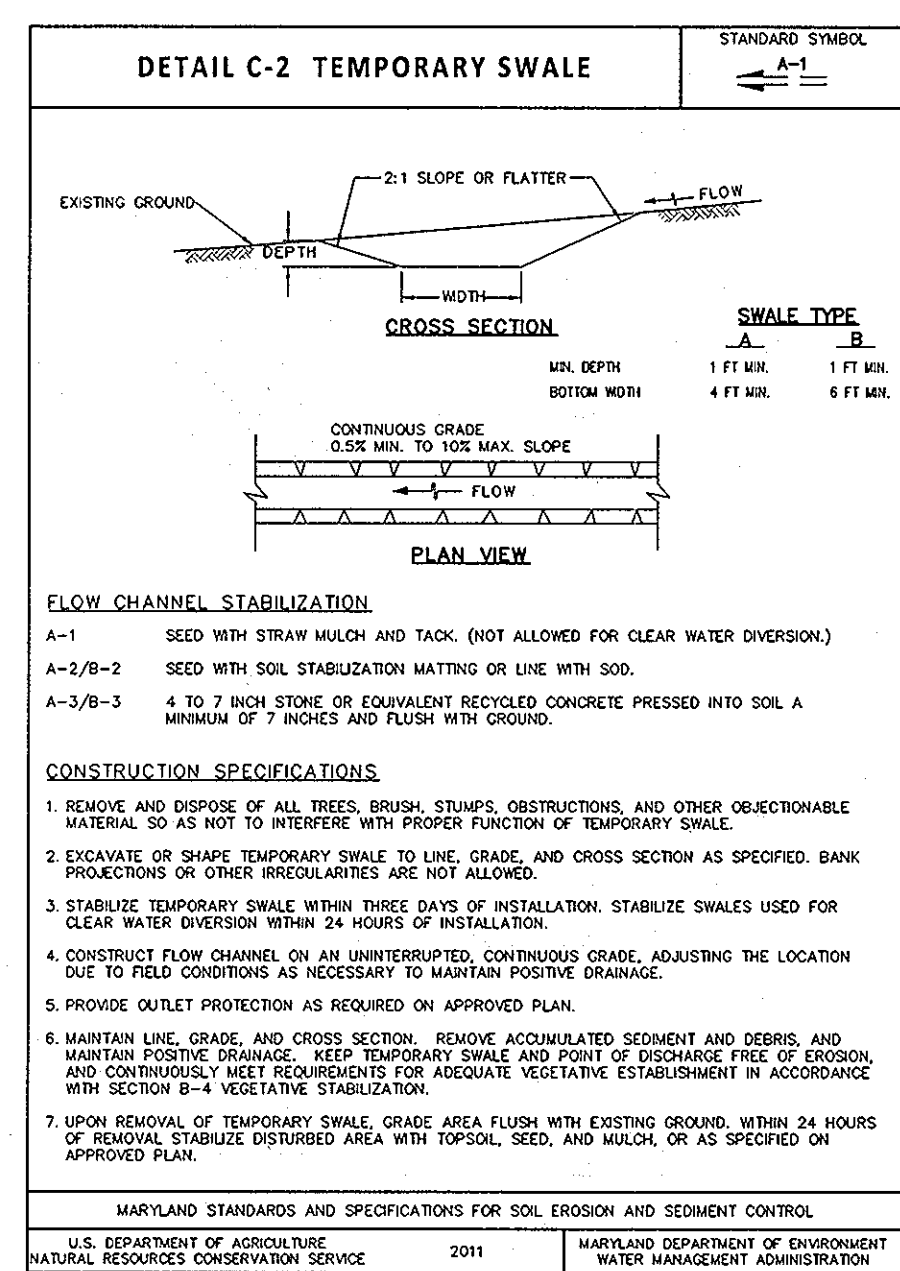
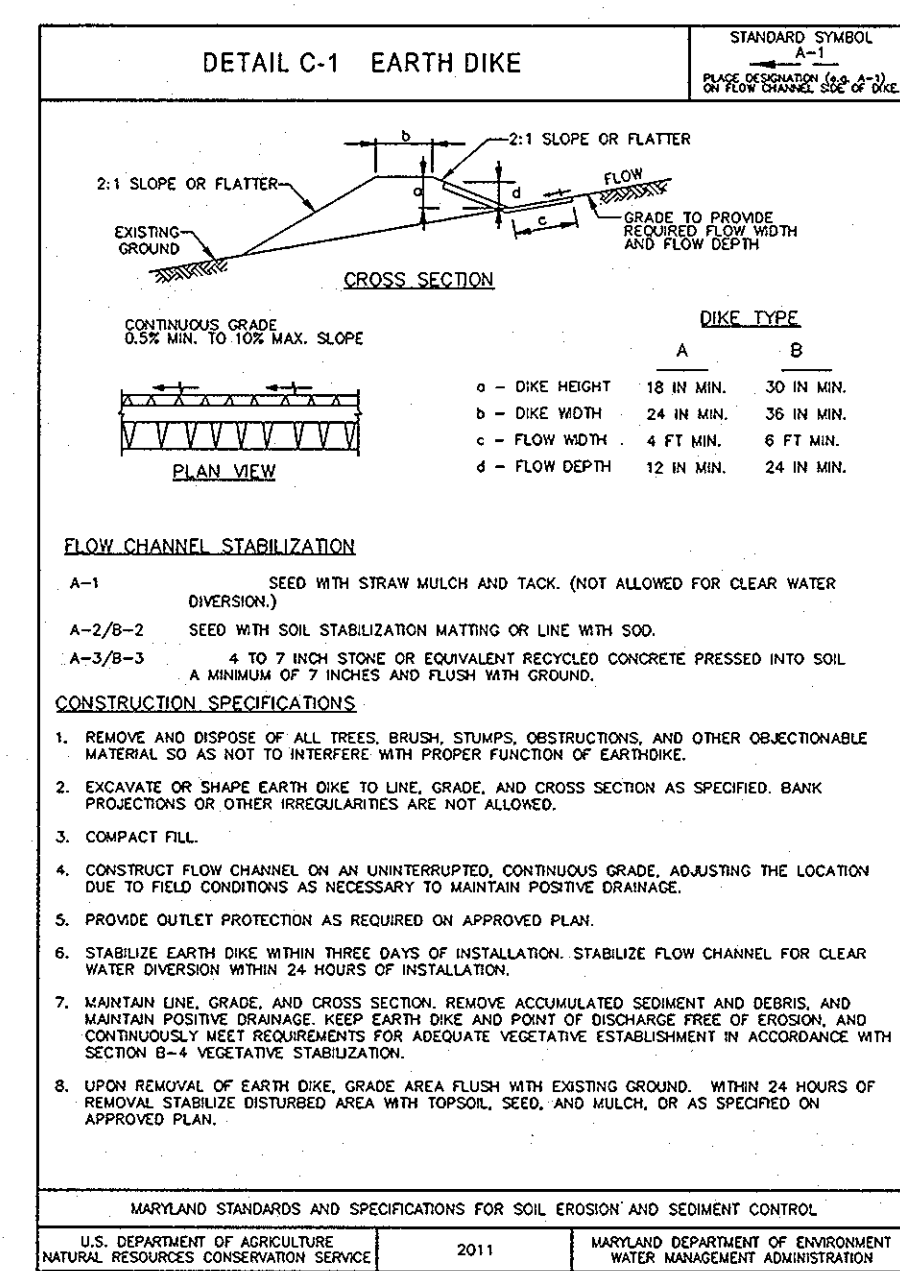
SCALE	ZONING	G. L. W. FILE No.
1" = 40'	POR	11005
DATE	TAX MAP - GRID	SHEET
JAN. 2013	17 - 23	16 OF 26



DETAIL G-2-3 CONCENTRIC TRASH RACK AND ANTI-VORTEX DEVICE

RISER DIAM. (IN)	RISER THICKNESS (IN)	MINIMUM SIZE SUPPORT BAR (IN)	MINIMUM TOP THICKNESS (GAUGE)	STIFFENER
12	18	14	#6 REBAR	N/A
15	21	15	#6 REBAR	N/A
18	27	16	#6 REBAR	N/A
21	30	16	#6 REBAR	N/A
24	36	16	#6 REBAR	N/A
27	42	16	#6 REBAR	N/A
36	54	16	#6 REBAR	N/A
42	60	14	#6 REBAR	N/A
48	72	12	1/2 IN PIPE OR 1 1/2 x 1/2 x 3/4 ANGLE	N/A
54	78	12	1/2 IN PIPE OR 1 1/2 x 1/2 x 3/4 ANGLE	N/A
60	90	12	1/2 IN PIPE OR 1 1/2 x 1/2 x 3/4 ANGLE	N/A
66	96	10	2 IN PIPE OR 2 x 2 x 3/4 ANGLE	8
72	102	10	2 IN PIPE OR 2 x 2 x 3/4 ANGLE	8
78	114	10	2 IN PIPE OR 2 x 2 x 3/4 ANGLE	8
84	120	10	2 1/2 IN PIPE OR 2 1/2 x 2 1/2 x 3/4 ANGLE	8

NOTE: THE ABOVE TRASH RACK AND ANTI-VORTEX DEVICE INFORMATION IS FOR CORRUGATED METAL PIPE ONLY. CONCRETE RISERS MUST MEET THE REQUIREMENTS OF 10.316.



BUILDER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD."

Signature of Developer/Builder: *John J. Connelly* DATE: 1-22-13

ENGINEER'S CERTIFICATE

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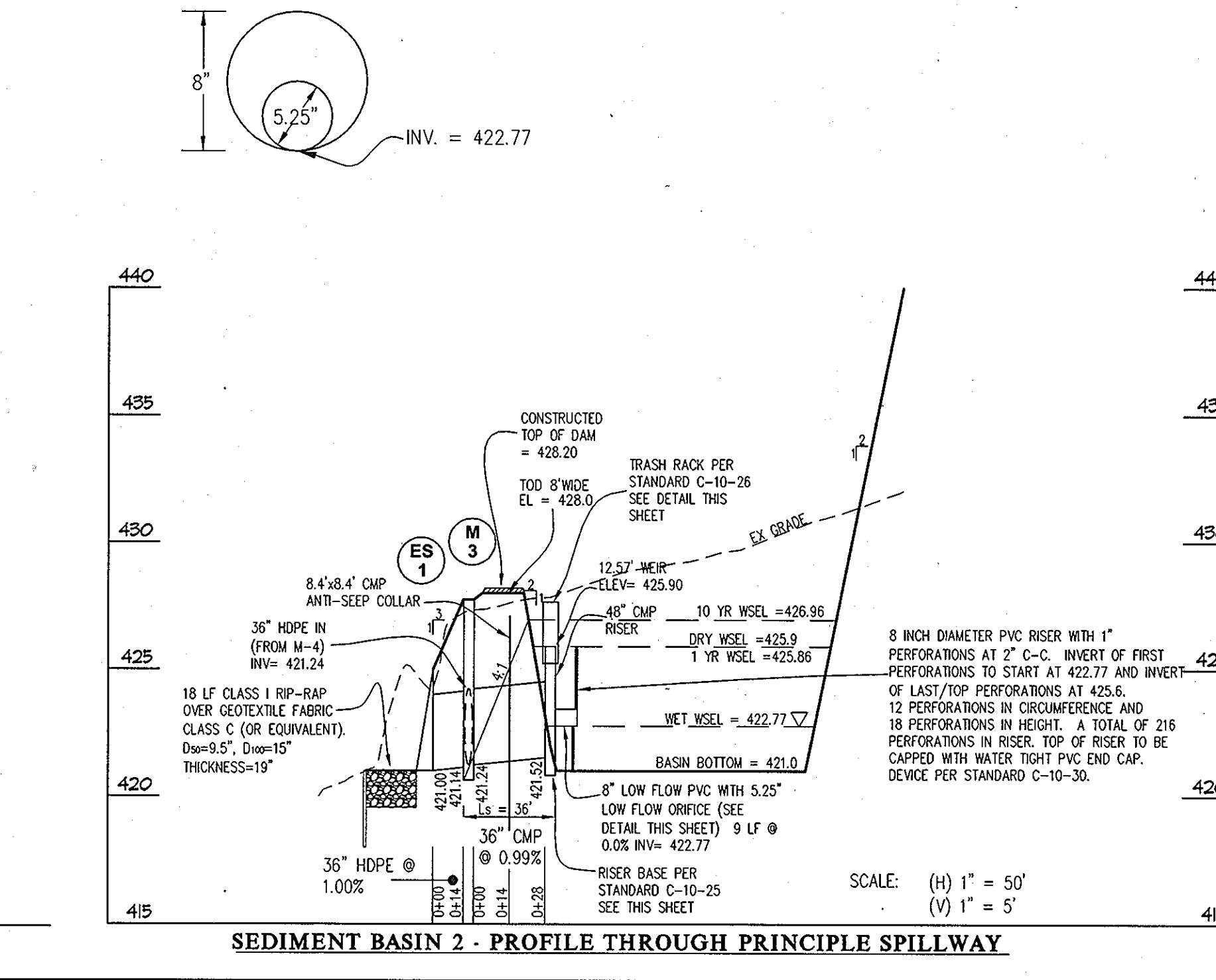
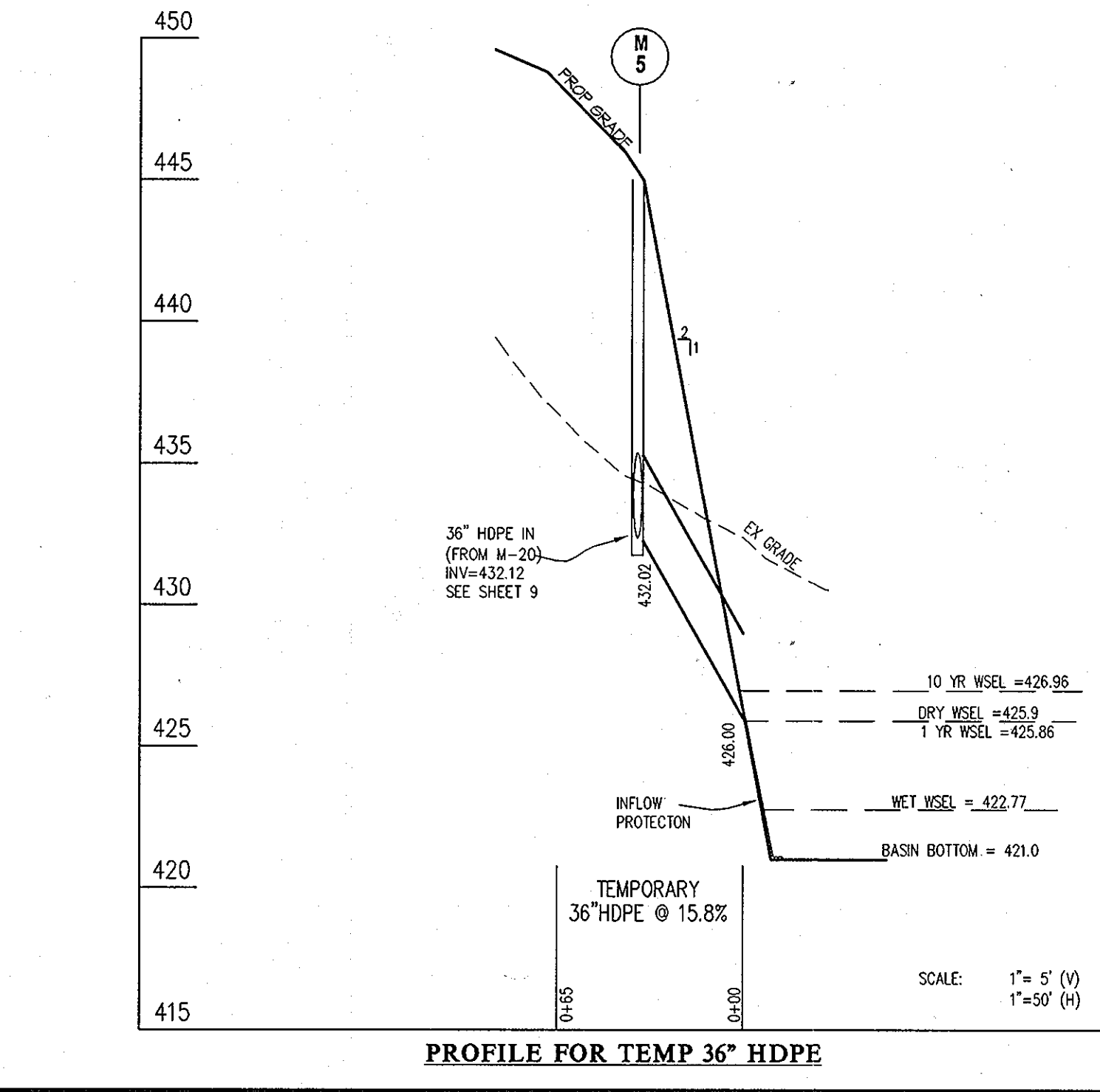
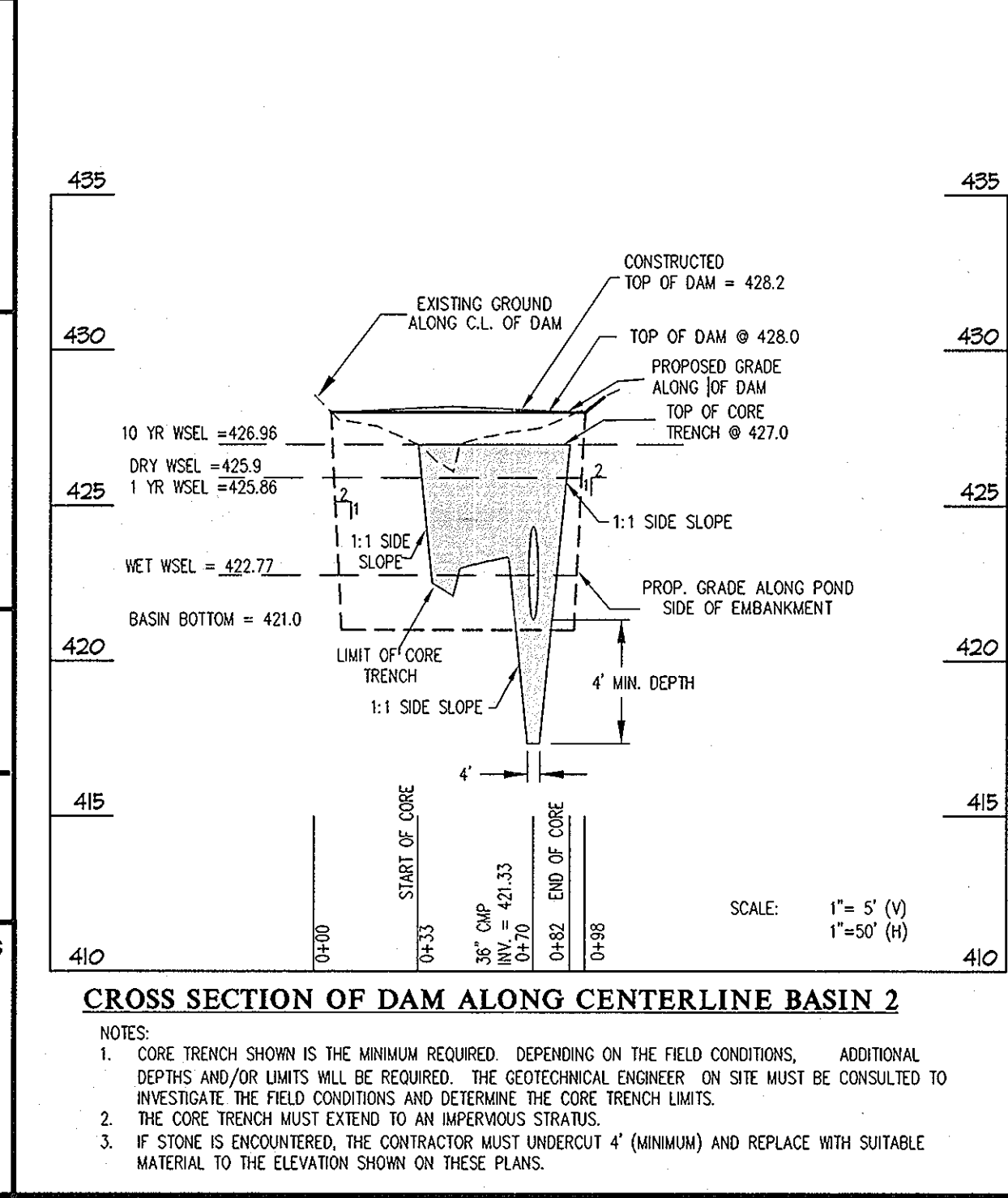
Signature of Engineer: *John R. Robertson* DATE: 2-1-13

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Signature of Director: *John R. Robertson* DATE: 2/14/13

Signature of Chief, Division of Land Development: *John R. Robertson* DATE: 2-21-13

Signature of Chief, Development Engineering Division: *John R. Robertson* DATE: 2-21-13



GLWGUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS

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BURTONSVILLE, MARYLAND 20866

TEL 301-421-4024 BALT. 410-860-1820 DC/VA 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.

PREPARED FOR:

NORTHBRIDGE, LLC

24012 FREDERICK ROAD

SUITE 200

CLARKSBURG, MARYLAND 20871

JONATHAN W. SOULE

301-428-0800

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NO. 12975

EXPIRATION DATE: MAY 26, 2014

2-1-13

SEDIMENT CONTROL DETAILS

THE GATHERINGS at ELLICOTT MILLS

PARCEL A

AGE RESTRICTED ADULT HOUSING

PLAT Nos. 11833 & 22310-22317

SCALE: 1" = 50'

ZONING: POR

G. L. W. FILE No. 11005

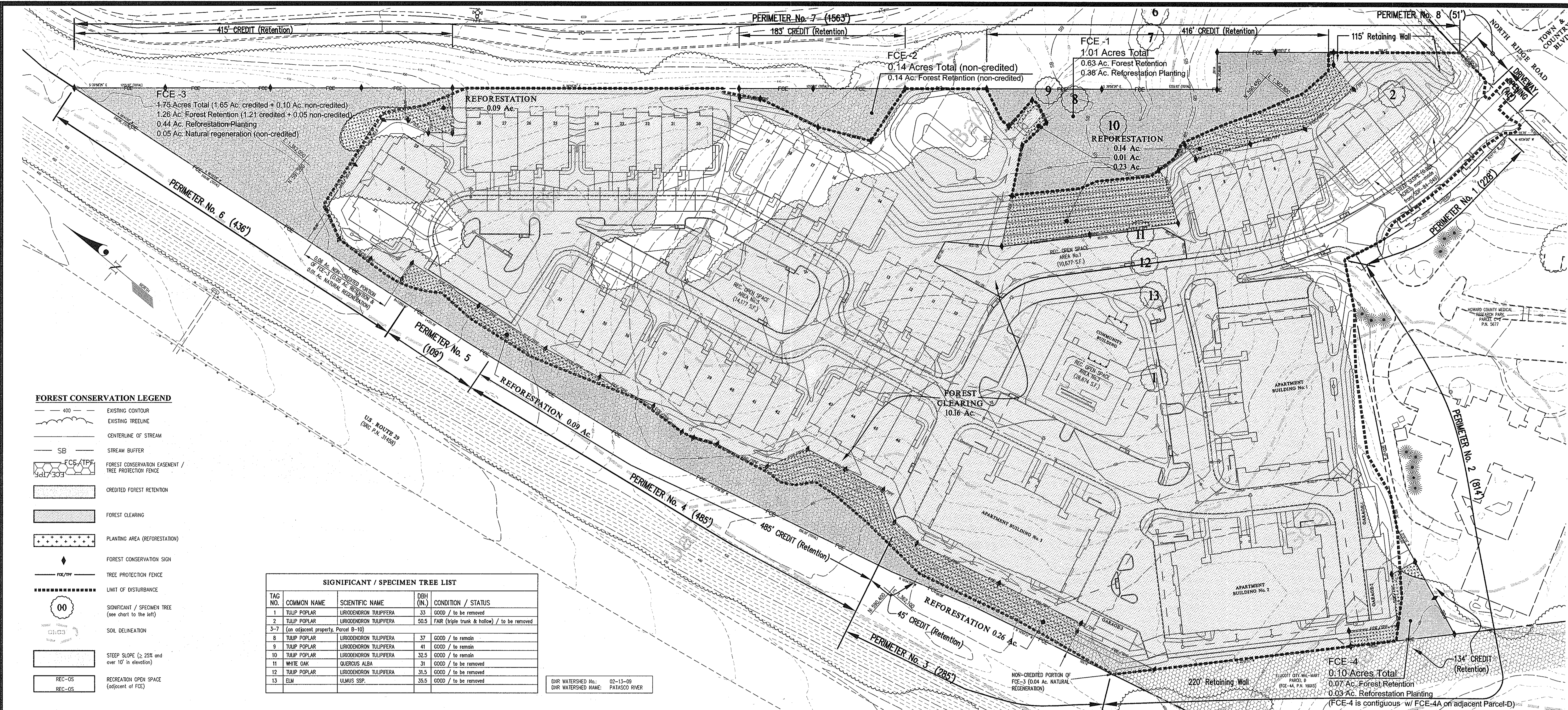
DATE: JAN. 2013

TAX MAP - GRID: 17 - 23

SHEET: 18 OF 26

ELECTION DISTRICT No. 2

HOWARD COUNTY, MARYLAND



FOREST CONSERVATION LEGEND

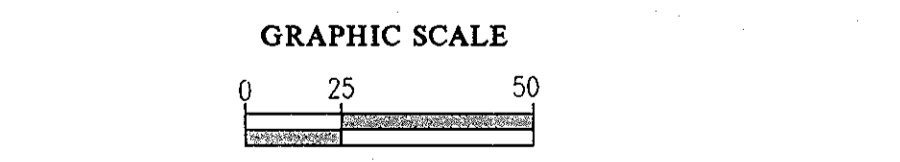
- 400 EXISTING CONTOUR
- EXISTING TREELINE
- CENTERLINE OF STREAM
- SB STREAM BUFFER
- FCE/TPF FOREST CONSERVATION EASEMENT / TREE PROTECTION FENCE
- CREDITED FOREST RETENTION
- FOREST CLEARING
- PLANTING AREA (REFORESTATION)
- FOREST CONSERVATION SIGN
- FCE/TPF TREE PROTECTION FENCE
- LIMIT OF DISTURBANCE
- 00 SIGNIFICANT / SPECIMEN TREE (see chart to the left)
- SOIL DELINEATION
- STEEP SLOPE (≥ 25% and over 10' in elevation)
- REC-OS RECREATION OPEN SPACE (adjacent to FCE)

SIGNIFICANT / SPECIMEN TREE LIST

TAG NO.	COMMON NAME	SCIENTIFIC NAME	DBH (IN.)	CONDITION / STATUS
1	TULIP POPLAR	LIRIODENDRON TULIPIFERA	33	GOOD / to be removed
2	TULIP POPLAR	LIRIODENDRON TULIPIFERA	50.5	FAR (triple trunk & hollow) / to be removed
3-7 (on adjacent property, Parcel B-10)				
8	TULIP POPLAR	LIRIODENDRON TULIPIFERA	37	GOOD / to remain
9	TULIP POPLAR	LIRIODENDRON TULIPIFERA	41	GOOD / to remain
10	TULIP POPLAR	LIRIODENDRON TULIPIFERA	32.5	GOOD / to remain
11	WHITE OAK	QUERCUS ALBA	31	GOOD / to be removed
12	TULIP POPLAR	LIRIODENDRON TULIPIFERA	31.5	GOOD / to be removed
13	ELM	ULMUS SSP.	35.5	GOOD / to be removed

DNR WATERSHED No.: 02-13-09
DNR WATERSHED NAME: PATASCO RIVER

BUFFER TYPE	SHADE TREES/LF	EVG. TREES/LF	SHRUBS/LF
A	1:60	0	0
B	1:50	1:40	0
C	1:40	1:20	0
D	1:60	1:10	0
E	1:40	0	1:4



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *Mark McLaughlin* 2/25/13
 Chief, Division of Land Development: *Kevin Salovey* 3/25/13
 Chief, Development Engineering Division: *Chris Schuch* 2.21.13

PERIMETER No.	SCHEDULE-A: PERIMETER LANDSCAPE EDGE							
	1	2	3	4	5	6	7	8
USE SITUATION	ADJ. TO PERIMETER PROPERTIES	APTs ADJ. TO PERIMETER PROPERTIES	REAR OF APTS ADJ. TO ROADWAY	REAR OF SFA ADJ. TO ROADWAY	PARKING ADJ. TO ROADWAY	SIDE OF SFA ADJ. TO ROADWAY	SFA ADJ. TO PERIMETER PROPERTIES	SIDE OF SFA ADJ. TO ROADWAY
LANDSCAPE TYPE	A	A	B	C	E	C	A	C
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	228'	814'	285'	485'	109'	436'	1563'	51'
CREDIT FOR EXISTING VEGETATION	YES 4 EX. TREES (100% CREDIT)	YES 134' FOREST RETENTION	YES 45' FOREST RETENTION	YES 485' FOREST RETENTION	YES 109' FOREST RETENTION	YES 436' FOREST RETENTION	YES 1014' FOREST RETENTION	NO
CREDIT FOR WALL, FENCE OR BERM	NO	YES 220± LF of RET. WALL (site is lower)	NO	NO	NO	NO	YES 1154 LF of RET. WALL (site is lower)	NO
NUMBER OF PLANTS REQUIRED		FOR 460 LF	FOR 240 LF				FOR 434 LF	
SHADE TREES	0	8	5	0	0	0	7	2
EVERGREEN TREES	0	0	6	0	0	0	0	3
SHRUBS	0	0	0	0	0	0	0	0
NUMBER OF PLANTS PROVIDED		AS PART OF SUP-94-49						
SHADE TREES	4 EX. TREES PROVIDED	8	5	0	0	0	7	2
EVERGREEN TREES	0	0	6	0	0	0	0	3
OTHER TREES (0:2:1 substitution)	0	0	0	0	0	0	0	0
SHRUBS (10:1 substitution)	0	0	0	0	0	0	0	0
TOTAL								

SCHEDULE-B: PARKING LOT INTERNAL LANDSCAPING	
NUMBER OF PARKING SPACES	77 COMMON SURFACE SPACES
NUMBER OF SHADE TREES REQUIRED (1 PER 10 RES. SPACES, 1 PER 20 COMMERCIAL SPACES 1)	8
NUMBER OF TREES PROVIDED	8
SHADE TREES	8
OTHER TREES (2:1 SUBSTITUTION)	0

SCHEDULE-C: RESIDENTIAL INTERNAL LANDSCAPING	
NUMBER OF DWELLING UNITS	46 SINGLE FAMILY ATTACHED 81 (27 UNITS PER APARTMENT/CONDO BLDG.)
NUMBER OF TREES REQUIRED (1 PER SFA DU, 1 PER 3 APTS DU)	46 SINGLE FAMILY ATTACHED 27 APARTMENTS
NUMBER OF TREES PROVIDED	73 (or equivalent substitutions)
SHADE TREES	73
OTHER TREES (2:1 substitutions with ornamental or evergreen trees)	0

PRIVATE STREET TREE REQUIREMENTS			
LOCATION	LENGTH OF CURB (L.F.)	NUMBER OF TREES REQUIRED	NUMBER OF TREES PROVIDED
ALONG ADERLEY AVE.	1,201	30 (at approx. 40 a.c.)	30

TABULATION OF LANDSCAPE & PRIVATE STREET TREES FOR REQUIRED LANDSCAPE SURETY					
	SCHD.-A	SCHD.-B	SCHD.-C	ADERLEY AVE.	TOTAL
TOTAL SHADE TREES REQUIRED	22	8	73	30	133
TOTAL EVGRN. TREES REQUIRED	9	0	0	0	9

\$39,900.00 SURETY REQUIRED FOR 133 SHADE TREES AT \$300/TREE
 \$ 1,350.00 SURETY REQUIRED FOR 9 EVERGREEN TREES AT \$150/TREE
 \$41,250.00 TOTAL LANDSCAPE SURETY REQUIRED (to be posted w/ the Developer Agreement)

NOTE:
 SOME OF THE REQUIRED SHADE TREES (UP TO A MAXIMUM OF 50%) MAY BE SUBSTITUTED WITH ORNAMENTAL TREES AND EVERGREEN TREES AT A RATIO OF 2:1 (2 ornamental or evergreen trees for 1 shade tree). SUCH SUBSTITUTIONS WOULD NOT CHANGE THE TOTAL SURETY REQUIRED (i.e., \$300.00 = 1 shade tree = 2 ornamental or evergreen trees)

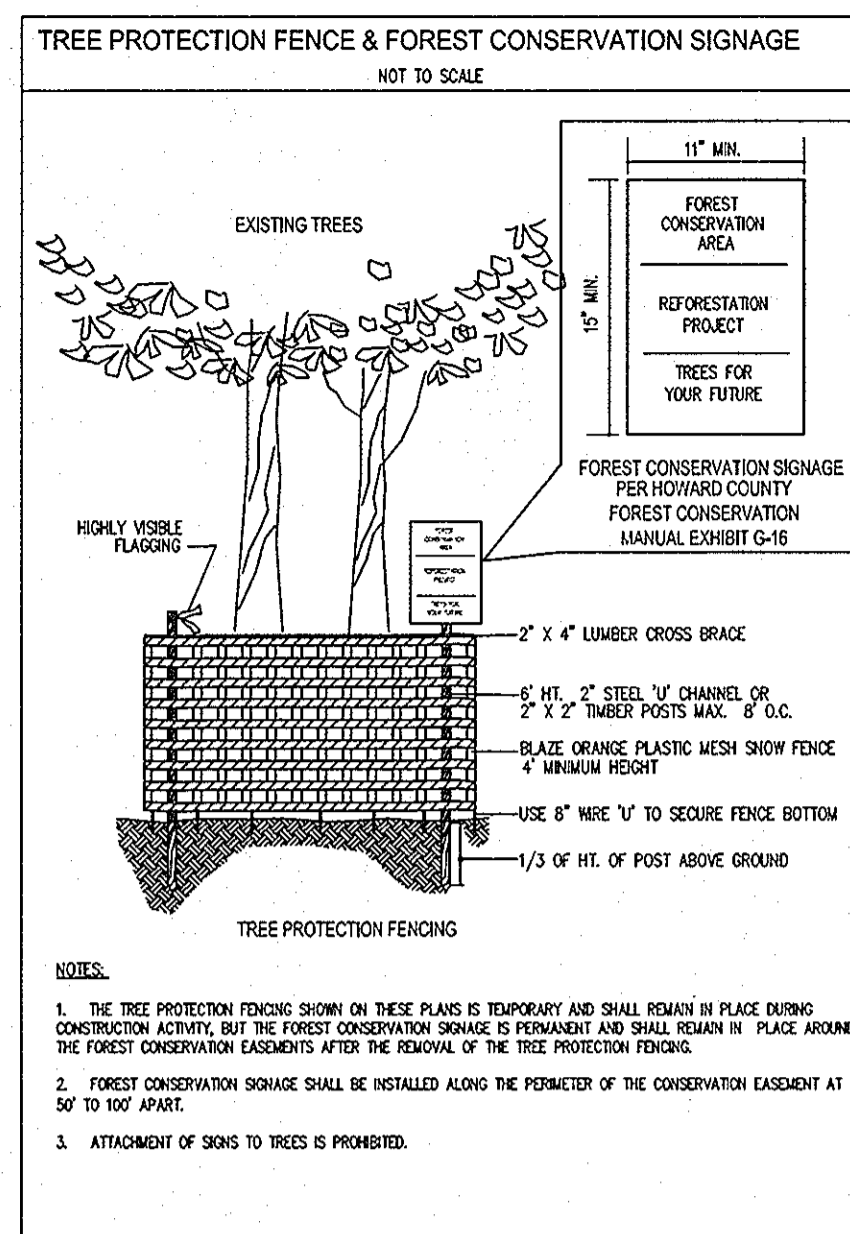
STATE OF MARYLAND
 Michael B. Tran
 933 LANDSCAPE ARCHITECT
 1-21-13

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

PREPARED FOR:
 NORTHBRIDGE, LLC
 24012 FREDERICK ROAD
 SUITE 200
 CLARKSBURG, MARYLAND 20871
 JONATHAN W. SOULE
 301-428-0800

FOREST CONSERVATION PLAN / OVERALL LANDSCAPE BUFFER ANALYSIS
THE GATHERINGS at ELLICOTT MILLS
PARCEL A
 AGE RESTRICTED ADULT HOUSING
 PLAT Nos. 11833 & 12316-12317
 ELECTION DISTRICT No. 2
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1" = 50'	POR	11005
DATE	TAX MAP - GRID	SHEET
JAN. 2013	17 - 23	19 OF 20



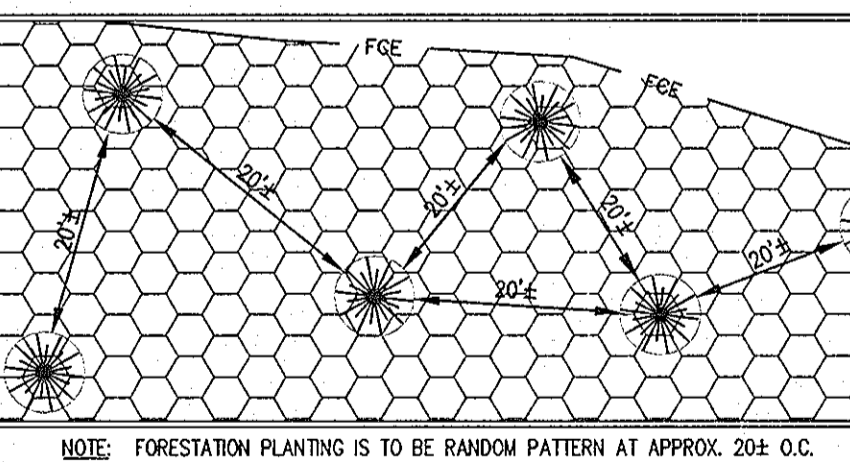
TREE PLANTING AND MAINTENANCE CALENDAR

TASKS	MONTHS											
	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC
TRANSPLANT OF 2" DBH OR GREATER												
PLANTING SEEDLINGS, SEEDS, NURS												
MINIMUM MONITORING		*			*						*	
FERTILIZER (IF NEEDED)												
WATER **												
PRUNING												

KEY:
 * ACTIVITIES DURING THESE MONTHS ARE DEPENDENT UPON GROUND CONDITIONS
 * GREATLY RECOMMENDED
 ■ RECOMMENDED WITH ADDITIONAL CARE
 □ RECOMMENDED
 + DEPENDENT UPON SITE CONDITIONS
 ** DEPENDENT UPON SITE CONDITIONS, WEEKLY WATERING IS GREATLY RECOMMENDED FROM MAY THROUGH OCTOBER UNLESS WEEKLY RAINFALL EQUALS 1"

NOTE: THE PLANTING AND CARE OF TREES IS MOST SUCCESSFUL WHEN COORDINATED WITH THE LOCAL CLIMATIC CONDITIONS. THIS CALENDAR SUMMARIZES SOME OF THE RECOMMENDED TIME FRAMES FOR BASIC REFORESTATION AND STRESS REDUCTION ACTIVITIES.

SOURCE: ADAPTED FROM THE MARYLAND STATE FOREST CONSERVATION MANUAL



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *[Signature]* Date: 2/25/13

Chief, Division of Land Development: *[Signature]* Date: 3/25/13

Chief, Development Engineering Division: *[Signature]* Date: 2-21-13

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 FAX: 301-421-4188

GENERAL NOTES

- THIS REFORESTATION PLAN IS PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF SUBTITLE 12 "FOREST CONSERVATION" OF THE HOWARD COUNTY CODE.
- IMPLEMENTATION OF THIS PLAN MUST BE PERFORMED BY A CONTRACTOR THAT IS KNOWLEDGEABLE AND EXPERIENCED IN AFForestation/REFORESTATION TECHNIQUES AND PRACTICES.
- THE OWNER IS RESPONSIBLE FOR A 2-YEAR (MIN.) POST-CONSTRUCTION MAINTENANCE PERIOD WHICH INVOLVES ACTIVITIES NECESSARY TO ENSURE SURVIVAL AND GROWTH OF THE CONSERVATION AREA. TWO INSPECTIONS PER YEAR BY A QUALIFIED PROFESSIONAL AT BEGINNING AND END OF THE GROWING SEASON, ARE RECOMMENDED IN ORDER TO TAKE REMEDIAL STEPS AS NECESSARY. IF, AFTER ONE YEAR, THE POSSIBILITY EXISTS THAT THE ORIGINAL PLANTING (IF APPLICABLE) WILL NOT MEET SURVIVAL RATE STANDARDS, THE APPLICANT MAY CHOOSE TO ESTABLISH REINFORCEMENT PLANTINGS.
- AT THE END OF THE POST-CONSTRUCTION MANAGEMENT AND PROTECTION PERIOD, CERTIFICATION BY A QUALIFIED CONSULTANT WILL BE REQUIRED BEFORE TO THE OWNER CAN BE RELEASED FROM HIS/HER FOREST CONSERVATION OBLIGATION TO THE ADMINISTRATOR OF THE HOWARD COUNTY FOREST CONSERVATION PROGRAM.
- THE DEVELOPER/BUILDER SHALL (IN WRITING) NOTIFY ALL LOT OWNERS OF THIS DEVELOPMENT OF THE EXISTENCE OF FOREST CONSERVATION AREAS AND THAT DISTURBANCE TO THE FOREST CONSERVATION AREAS OR THE REMOVAL OF FOREST CONSERVATION SIGNAGE IS PROHIBITED.
- REFORESTATION/AFForestation TREE PLANTINGS SHOULD BE INSTALLED IN A CURVILINEAR PATTERN TO FACILITATE MAINTENANCE BUT AVOID A GRID APPEARANCE. EACH SPECIES OF TREE SHALL BE DISTRIBUTED EVENLY WITHIN EACH FOREST CONSERVATION EASEMENT AREA.
- THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT, HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.

CONSTRUCTION PERIOD PROTECTION PROGRAM

- THE LIMIT OF FOREST RETENTION SHALL BE STAKED AND FLAGGED.
- A PRE-CONSTRUCTION MEETING AT THE SITE SHOULD BE HELD TO CONFIRM THE LIMITS OF CLEARING SPECIFIED. THE MEETING SHOULD INCLUDE THE OWNER OR THE OWNER'S REPRESENTATIVE, THE ON-SITE FOREMAN IN CHARGE OF LAND DISTURBANCE, THE ENVIRONMENTAL CONSULTANT AND THE APPROPRIATE HOWARD COUNTY INSPECTORS.
- FOREST PROTECTION DEVICES AND SIGNS (SEE DETAILS) SHALL BE INSTALLED PRIOR TO ANY CLEARING OR GRADING. THE PROTECTION DEVICES AND SIGNS SHALL BE MAINTAINED DURING THE ENTIRE CONSTRUCTION PERIOD. NONE OF THE DEVICES SHALL BE ANCHORED OR ATTACHED IN ANY WAY TO THE TREES TO BE SAVED.
- EQUIPMENT, VEHICLES AND BUILDING MATERIALS SHALL NOT BE WITHIN THE PROTECTED AREA. ACTIVITIES STRICTLY TO IMPLEMENT ANY REFORESTATION PLANTING AND MAINTENANCE (I.E. WATERING, FERTILIZING, TRUNKING, PRUNING, REMOVAL OF DEAD AND DISEASED TREES WHERE NECESSARY, ETC) OF THE CONSERVATION AREA ARE PERMITTED. CLEARING FOR THE PURPOSE OF SODDING OR PLANTING GRASS IS NOT PERMITTED WITHIN THE FOREST CONSERVATION AREAS ONCE THEY'RE ESTABLISHED.
- AT THE END OF THE CONSTRUCTION PERIOD, THE DESIGNATED QUALIFIED PROFESSIONAL SHALL CONVEY TO THE ADMINISTRATOR OF THE HOWARD COUNTY FOREST CONSERVATION PROGRAM CERTIFICATION THAT ALL FOREST RETENTION AREAS HAVE BEEN PRESERVED, ALL REFORESTATION AND/OR AFForestation PLANTINGS (IF APPLICABLE) HAVE BEEN INSTALLED AS REQUIRED BY THE FOREST CONSERVATION PLAN, AND THAT ALL PROTECTION MEASURES REQUIRED FOR THE POST-CONSTRUCTION PERIOD HAVE BEEN INSTALLED. UPON REVIEW OF THE FINAL CERTIFICATION DOCUMENT FOR COMPLETENESS AND ACCURACY, THE PROGRAM COORDINATOR WILL NOTIFY THE OWNER OF RELEASE FROM THE CONSTRUCTION PERIOD OBLIGATIONS. THE 2-YEAR (MIN.) POST-CONSTRUCTION MANAGEMENT AND PROTECTION PERIOD THEN COMMENCES.

FOREST CONSERVATION PROGRAM SEQUENCE

- OBTAIN ALL NECESSARY PERMITS.
- STAKEOUT LIMITS OF DISTURBANCE.
- FIELD MEETING TO REVIEW AND VERIFY LIMIT OF DISTURBANCE FOR THE SITE GRADING AND CONSTRUCTION.
- INSTALL FOREST CONSERVATION SIGNS AND FOREST PROTECTION DEVICES (FENCES) ALONG THE PORTION OF THE LIMIT OF DISTURBANCE (THAT INVOLVES CLEARING AND/OR RETENTION OF TREES).
- COMMENCE SITE CONSTRUCTION.
- PREPARE SITE SOIL BY MULCHING AND REMOVAL OF TRASH AND WEEDS INCLUDING AN APPLICATION OF HERBICIDES TO CONTROL NOXIOUS WEEDS AND INVASIVE SPECIES.
- INSTALL FOREST PLANTING AND THE REMAINDER OF THE CONSERVATION SIGNS ALONG THE EDGE OF THE CONSERVATION EASEMENT. MOVE CONSERVATION SIGNS INSTALLED IN #4 (ABOVE) TO THE EDGE OF THE CONSERVATION EASEMENT.
- INSPECTION AND CERTIFICATION FOR THE RELEASE OF THE CONSTRUCTION PERIOD OBLIGATIONS; START OF POST-CONSTRUCTION MANAGEMENT PERIOD.
- POST-CONSTRUCTION MANAGEMENT FOR A PERIOD OF 2 YEARS (MIN.).
- FINAL INSPECTION AND CERTIFICATION FOR THE RELEASE OF THE OWNER'S FOREST CONSERVATION SURETY.

FOREST CONSERVATION OBLIGATION & SURETY

THE FOREST CONSERVATION OBLIGATION FOR THIS DEVELOPMENT AS CALCULATED IN THE FOREST CONSERVATION WORKSHEET IS 2.09 ACRES OF FOREST RETENTION AND 3.80± ACRES OF REFORESTATION PLANTING FOR TOTAL OF 5.89 ACRES OF FOREST CONSERVATION EASEMENT TO BE RECORDED.

PROPOSED METHOD OF SATISFYING THE ABOVE FOREST CONSERVATION ON-SITE AND OFF-SITE:

ON-SITE
 RECORD 4 (FOUR) FOREST CONSERVATION EASEMENTS TOTALING 3.00± ACRES OF WHICH 2.76± ACRES ARE CREDITED AND THEY CONTAIN 1.90± ACRES OF CREDITED RETENTION AND 0.86± ACRE OF REFORESTATION PLANTING. THE NON-CREDITED 0.24± ACRE OF FOREST CONSERVATION EASEMENT CONTAIN 0.19± ACRE OF NON-CREDITED RETENTION AND 0.05± ACRES OF NATURAL REGENERATION AREAS.

THE FOREST CONSERVATION SURETY POSTED WITH THE DEVELOPER AGREEMENT IS \$0.50/SF OF THE REFORESTATION PLANTING. THE SURETY FOR THE ON-SITE REFORESTATION WOULD BE:
 (0.8564 AC) (43560 SF/AC) (\$0.50/SF) = \$18,652.39 or \$18,652.00 (rounded)

OFF-SITE
 AT LEAST 3.13± ACRES OF OFF-SITE REFORESTATION FCE IS RECORDED FOR THIS DEVELOPMENT AT THE "FOREST CONSERVATION PLANT OF EASEMENT, WINDSOR FOREST PARCEL-A" ON P.N. 11105. A SEPARATE FOREST CONSERVATION SURETY IS REQUIRED FOR THE THAT F-PLAN AND THE SURETY FOR THE OFF-SITE REFORESTATION PLANTING WOULD BE:
 (3.1310 AC) (43,560 SF/AC) (\$0.50/SF) = \$68,193.18 or \$68,193.00 (rounded)

TOTAL SURETY: FOR BOTH ON-SITE & OFF-SITE REFORESTATION PLANTING WOULD BE \$86,845.57 or \$86,846.00 (rounded).

FOREST CONSERVATION WORKSHEET

Project Name: **The Gatherings at Ellicott Mills, Parcel-A** DPZ File No.: **SDP-12-038**

	Acres
1 Site Data	
A. Gross Site Area	14.0607
B. Area within 100-yr floodplain, if any	0.0000
C. Area of existing easement for major utility transmission lines, if any	0.0000
D. Area of external public road (frontage) dedication, if any	0.0000
E. Net Tract Area	14.0607
F. Land Use Category (for age restricted housing, POR zoning)	Residential-Suburban
2 Input Data	
A. Net Tract Area	14.0607
B. Reforestation Threshold (percent of net tract = 20 %)	2.8121
C. Afforestation Threshold (percent of net tract = 15 %)	2.1091
D. Existing Forest on Net Tract Area	12.2494
E. Forest Clearing on Net Tract Area	10.1587
F. Forest Retention on Net Tract Area	2.0907
3 Reforestation Calculations	
A. Net tract forest clearing above reforestation threshold	9.4373
B. Net tract forest clearing below reforestation threshold	0.7214
C. Planting up to afforestation threshold	0.0000
D. Reforestation planting required for clearing above threshold	2.3593
E. Reforestation planting required for clearing below threshold	1.4428
F. Total reforestation planting required (3C+3D+3E)	3.8021
4 Forest Conservation Required	
A. Forest Retention Area (2F)	2.0907
B. Forest Planting Area (3F)	3.8021
C. Total minimum FCE required for retention and reforestation	5.8928

FOREST CONSERVATION AREA TABULATION

Forest Conservation Easement No.	Credited Retention Area (Acres)	*Non-credited Retention Area (Acres)	Credited Reforestation Planting (Acres)	Non-credited Natural Regeneration Area (Acres)	Total Area of Forest Conservation Easement (Non-credit portion in parenthesis, if any)
FCE-1	0.6271		0.3814		1.0085
FCE-2		0.1355			0.1355 (0.1355)
FCE-3	1.2102	0.0498	0.4399	0.05	1.7499 (0.0998)
FCE-4	0.0681		0.0351		0.1032
TOTAL PROVIDED ON-SITE	1.9054	0.1853	0.8564	0.05	2.9971 (0.2353)
QUANTITY REQUIRED	2.0907		3.8021		5.8928
QUANTITY TO BE PROVIDED OFF-SITE	0.1853		2.9457		2.8957 + 0.2353
TOTAL OFF-SITE FORESTATION PLANTING INCLUDING QUANTITY OF "CREDITED RETENTION"			3.1310	TOTAL MINIMUM FCE REQUIRED OFF-SITE	3.1310

* The retention areas in this column do not meet the definition of a forest for sizes; however, these areas are not cleared and are not subtracted from the quantity of existing forest calculated in the Forest Conservation Worksheet. To protect these areas from being cleared, they are included in a FCE as non-credited retention. The total non-credit retention quantity is added to the off-site planting to satisfy the total credited Forest Conservation Easement that's required

FOREST CONSERVATION PLANTING QUANTITY SCHEDULE

FOREST PLANTING LOCATION NO.	FCE-1	FCE-2	FCE-3	FCE-4	TOTAL
AREA TO BE PLANTED (IN AC.)	0.3814	0.00	0.4399	0.0351	0.8564
BASE QUANTITY OF 2" CAL TREES REQUIRED (AT 100 TREES/AC.)	38	0	44	4	86
CREDIT FOR LANDSCAPE TREES	1	0	5	0	66
REQUIRED QUANTITY OF 2"-2 1/2" CAL TREES TO BE PLANTED	37	0	39	4	80

FOREST CONSERVATION PLANT LIST

PLANT NAME (BOTANICAL/COMMON)	FOREST PLANTING AREA				TOTAL
	FCE-1	FCE-2	FCE-3	FCE-4	
ACER RUBRUM/RED MAPLE	9	0	7	0	16
CERES CANADENSIS/EASTERN REDBUD	10	0	14	2	26
LIRIODENDRON TULIPFERA/TULIP TREE	9	0	11	2	22
NYSSA SYLVATICA	9	0	7	0	16
TOTAL	37	0	39	4	80

NOTE: 1. THE QUANTITY SHOWN ABOVE IS FOR PLANTING WITH 2"-2 1/2" CAL. TREES AT 20' X 20' SPACING.

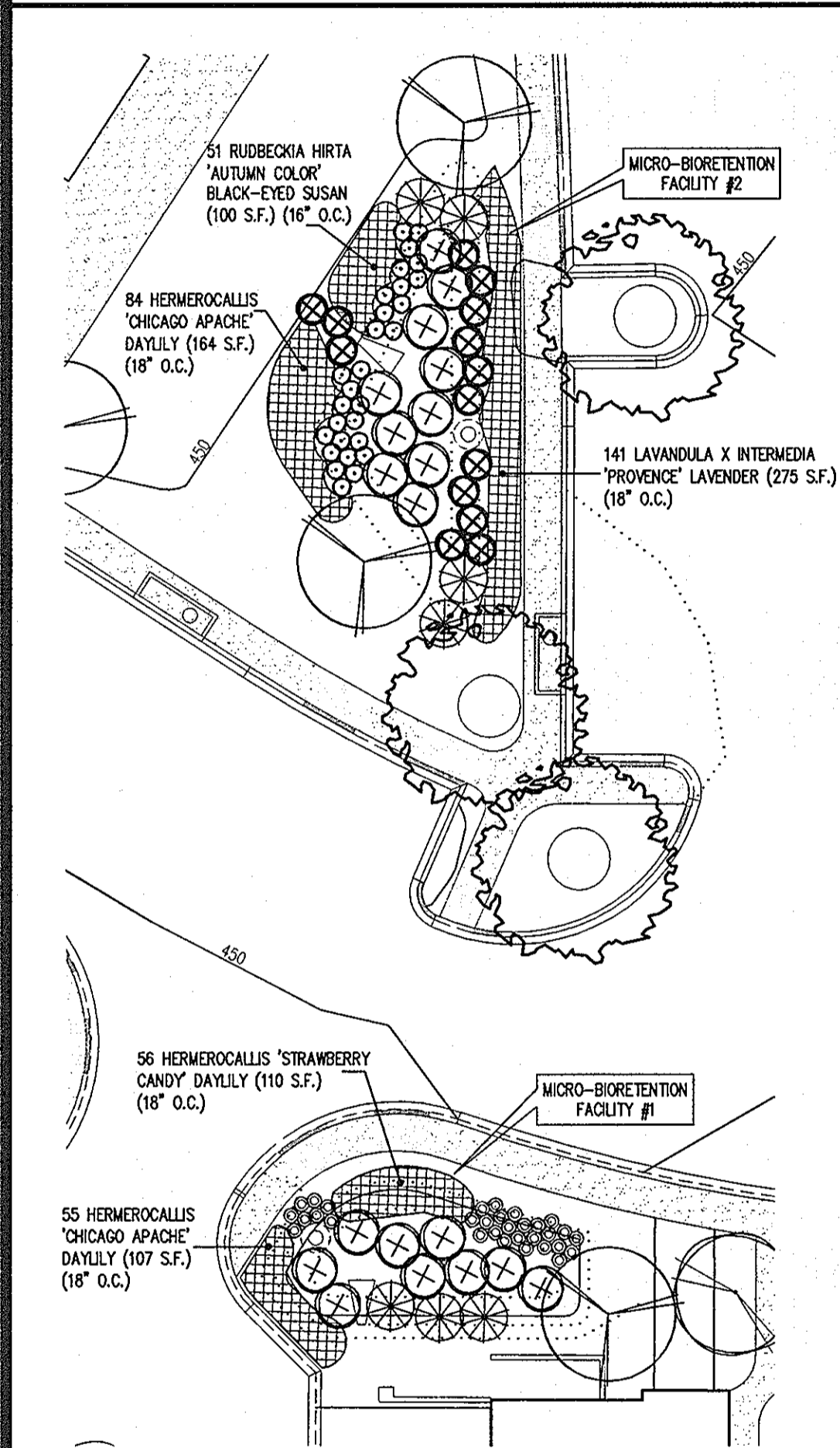
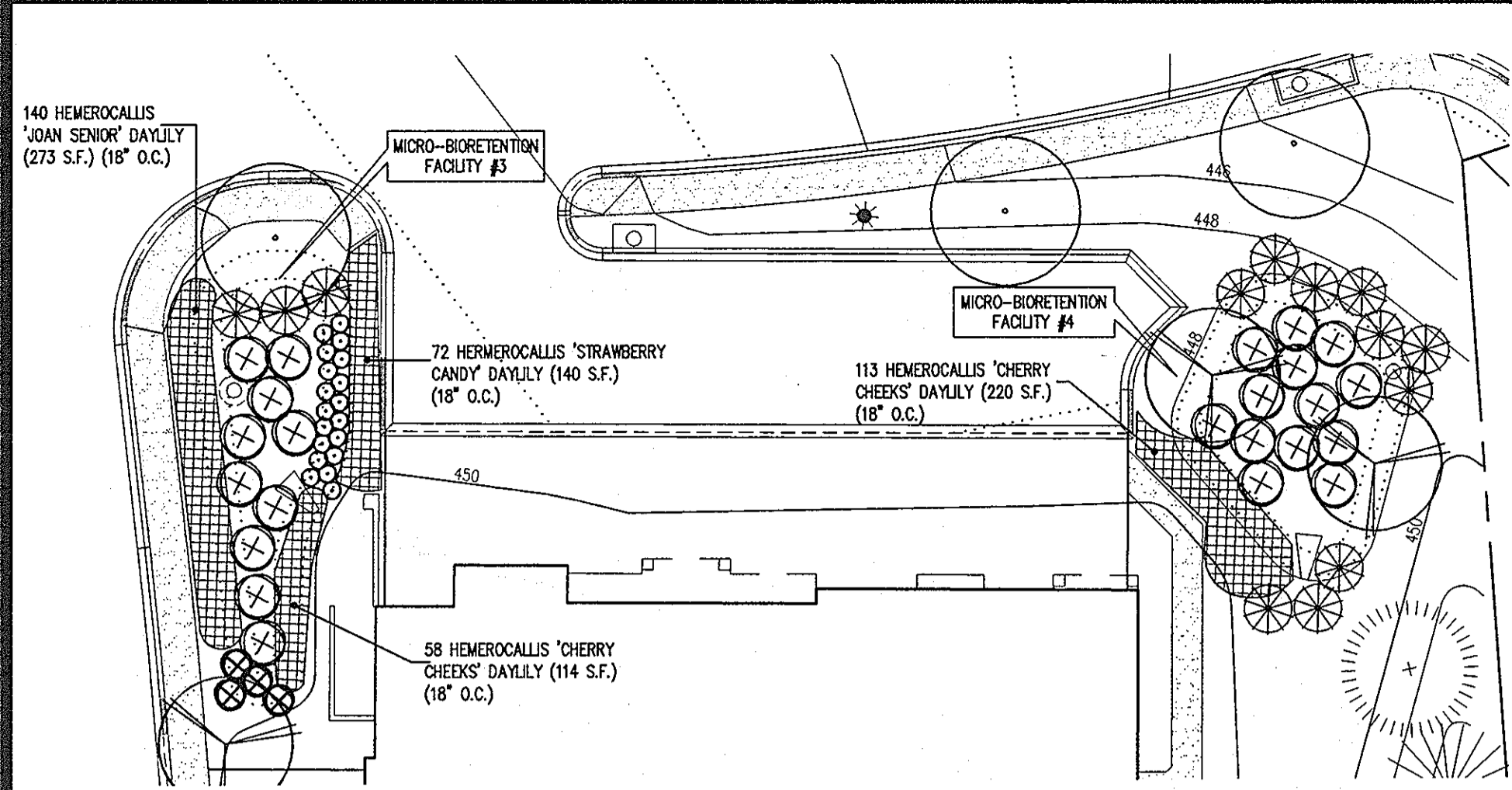
STATE OF MARYLAND
 Michael B. Tran
 983 LANDSCAPE ARCHITECT
 1/21/13

PREPARED FOR:
 NORTHDRIDGE, LLC
 24012 FREDERICK ROAD
 SUITE 200
 CLARKSBURG, MARYLAND 20871
 JONATHAN W. SOULE
 301-428-0800

FOREST CONSERVATION NOTES and DETAILS		
SCALE NO SCALE	ZONING POR	G. L. W. FILE No. 11005
DATE JAN. 2013	TAX MAP - GRID 17 - 23	SHEET 20 OF 26

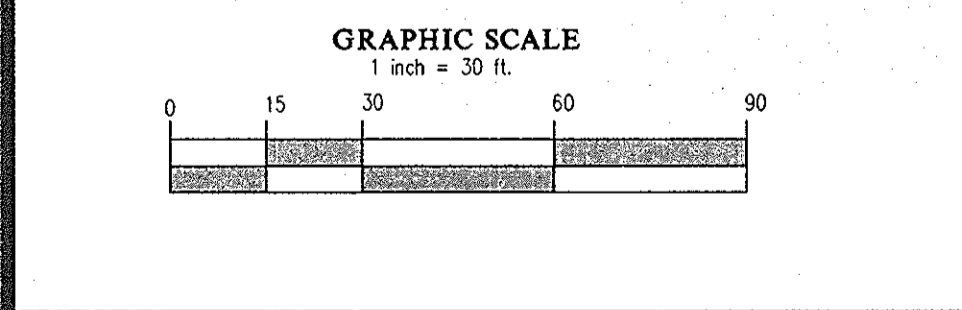
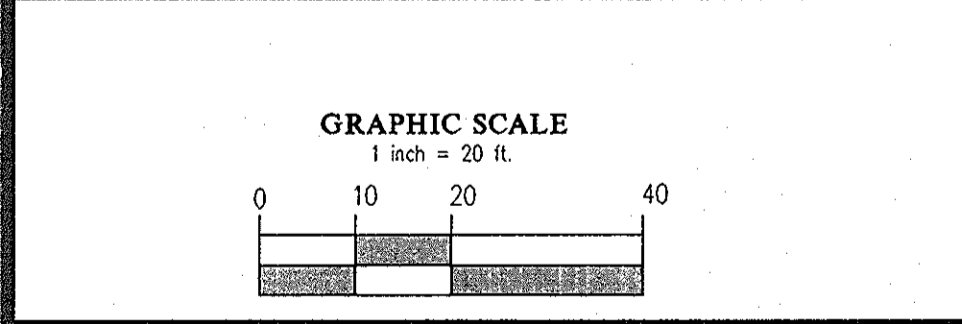
THE GATHERINGS at ELLICOTT MILLS
PARCEL A
 AGE RESTRICTED ADULT HOUSING
 PLAT Nos. 11833 & 12316-21917

HOWARD COUNTY, MARYLAND
 ELECTION DISTRICT No. 2



NOTE:
THE MICRO-BIORETENTION FACILITIES ARE PLANTED WITH FLOWERING PLANTS AS AN AMENITY SO THE COMMUNITY RESIDENTS MAY HARVEST CUT FLOWERS. CUTTING THE FLOWERS ARE PERMITTED, HOWEVER, DIGGING THE PLANTS UP ARE NOT ALLOWED.

ESD PLANTING DETAILS FOR MICRO-BIORETENTION FACILITIES SCALE: 1" = 20'



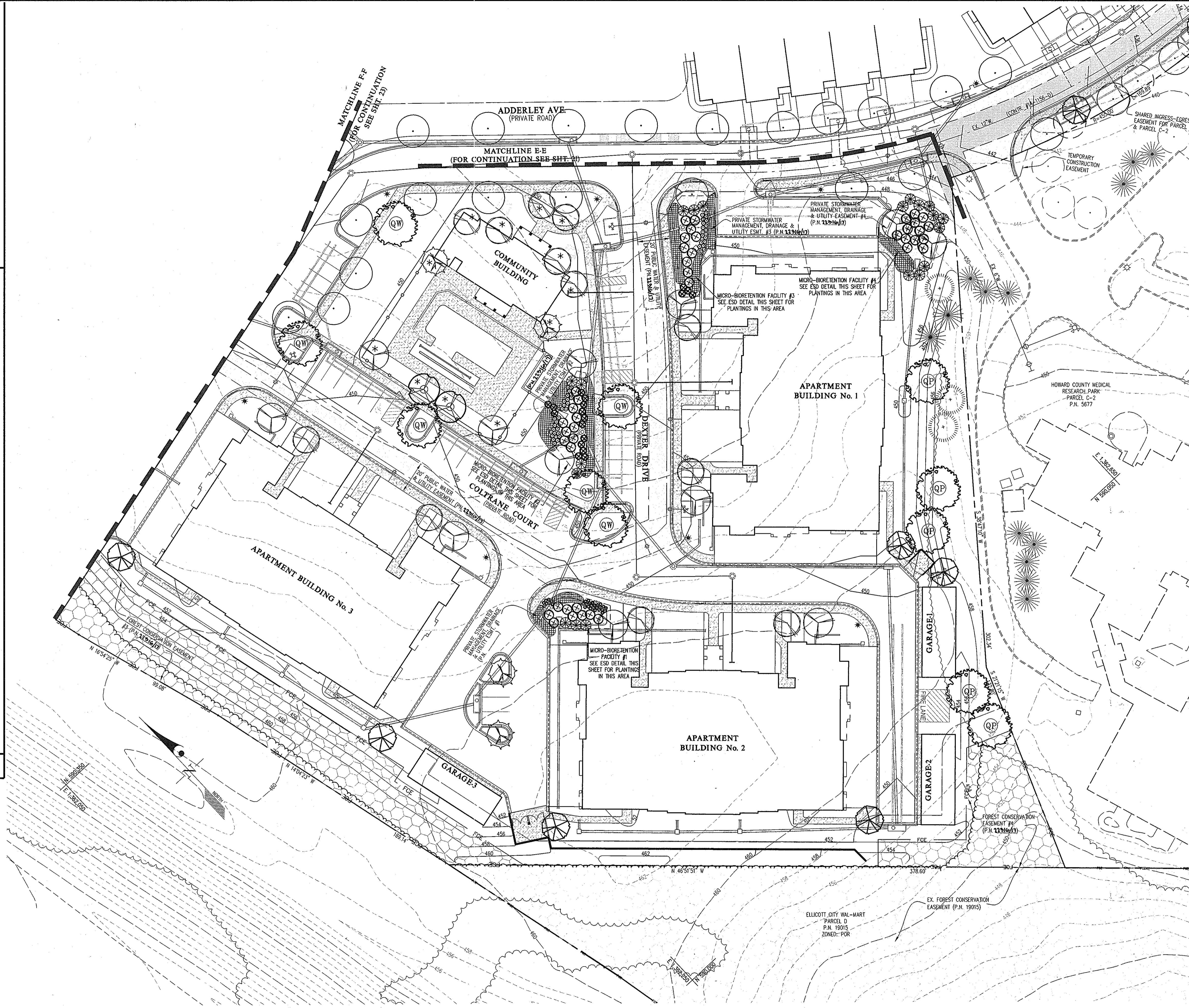
NOTE:
THE OWNER OR CONDOMINIUM ASSOCIATION MAY SUBSTITUTE THE TREES (BY THE COMMUNITY BUILDING AND SWIMMING POOL) THAT ARE IDENTIFIED WITH ASTERISK (*) IN ACCORDANCE WITH THE "PLANT SUBSTITUTIONS" PROVISIONS ON PAGE 12 OF THE HOWARD COUNTY LANDSCAPE MANUAL.

STATE OF MARYLAND
Michael B. Tran
ARCHITECT
933 LANDSCAPE
1-31-17

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: [Signature] Date: 3/25/13
Chief, Division of Land Development: [Signature] Date: 2-21-13
Chief, Development Engineering Division: [Signature] Date:

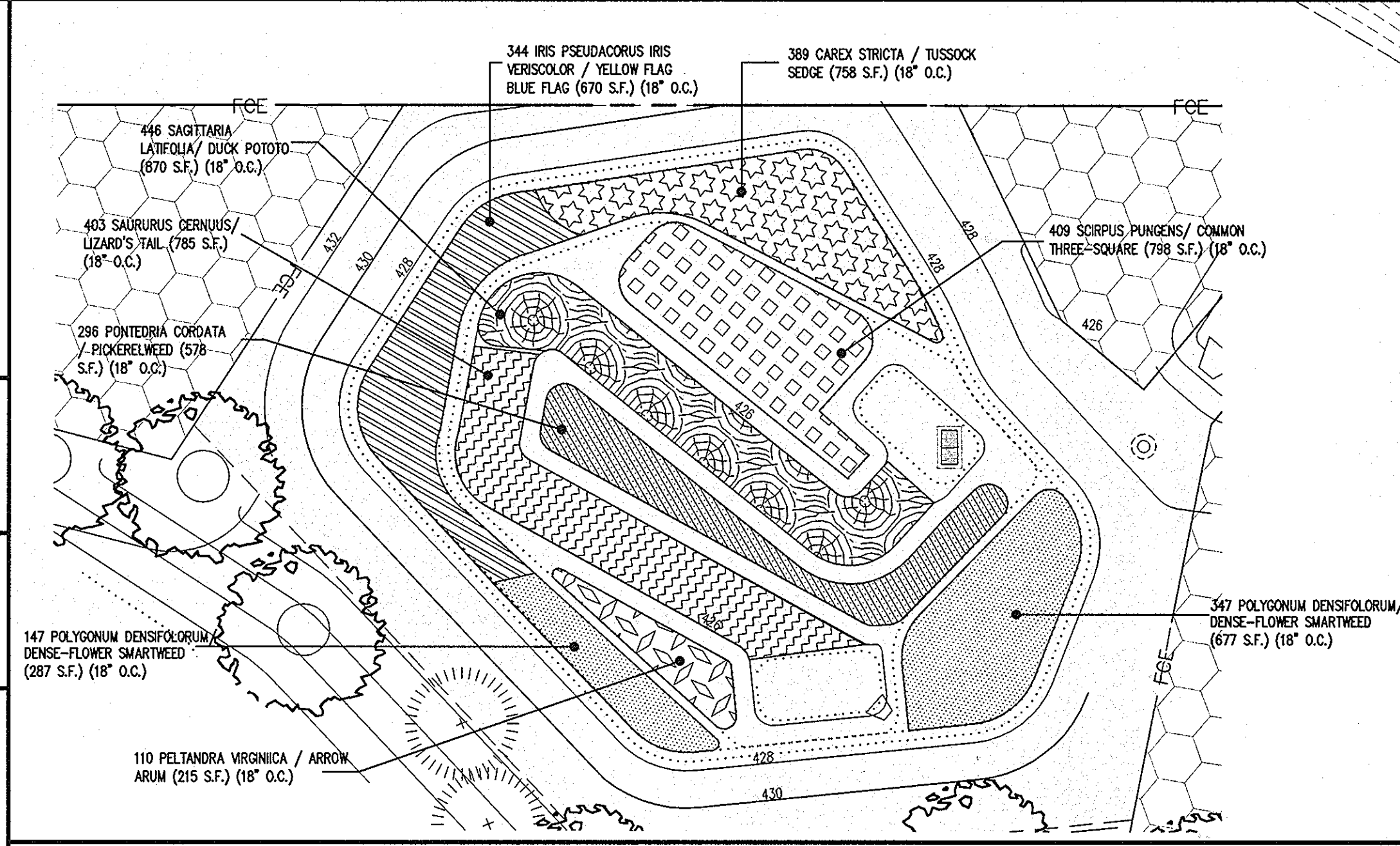
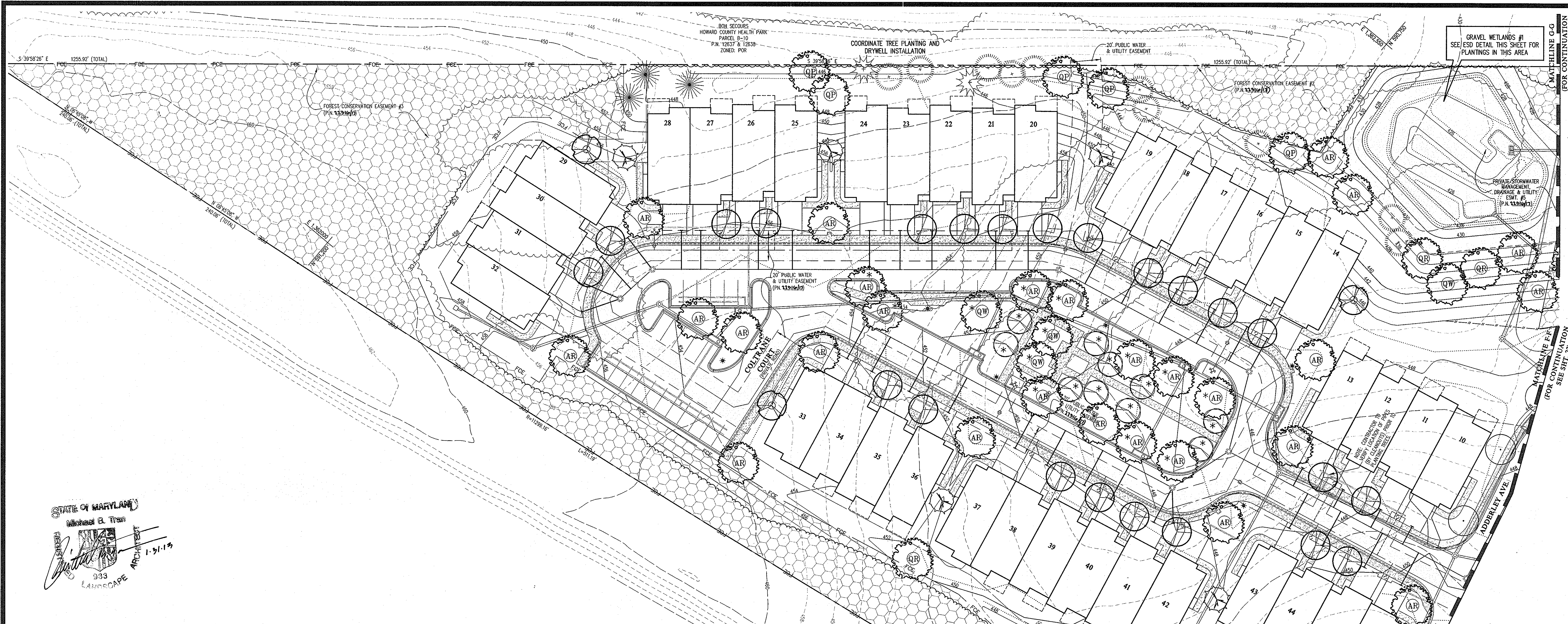
GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONTVILLE OFFICE PARK
BURTONTVILLE, MARYLAND 20986
TEL: 301-421-4024 BALT: 410-680-1920 DC/VA: 301-989-2524 FAX: 301-421-4186

L:\CADD\DRAWINGS\11005\PLANS BY QJW\11005_21-23 LS.dwg DES. MBT DRN. KLP CHK. CKG



THIS PLAN IS FOR PLANTING PURPOSES ONLY

PREPARED FOR: NORTHDRIDGE, LLC 24012 FREDERICK ROAD SUITE 200 CLARKSBURG, MARYLAND 20871 JONATHAN W. SOULE 301-428-0800		LANDSCAPE PLAN THE GATHERINGS at ELLICOTT MILLS PARCEL A AGE RESTRICTED ADULT HOUSING PLAT Nos. 11833 & 11834-21-217		SCALE 1" = 30'	ZONING POR	G. L. W. FILE No. 11005
DATE JAN. 2013	TAX MAP - GRID 17 - 23	SHEET 22 OF 26				



MATCHLINE G-G
(FOR CONTINUATION SEE SHEET 20)

MATCHLINE F-F
(FOR CONTINUATION SEE SHEET 20)

GRAVEL WETLANDS #1
SEE ESD DETAIL THIS SHEET FOR PLANTINGS IN THIS AREA

PRIVATE STORAGE MANAGEMENT, DRAINAGE & UTILITY ESMY #5 (P.N. 13316/17)

FOREST CONSERVATION EASEMENT #A (P.N. 13316/17)

BON SECOURS HOWARD COUNTY HEALTH PARK PARCEL B-10 P.N. 12637 & 12638 ZONED: POR

COORDINATE TREE PLANTING AND DRYWELL INSTALLATION

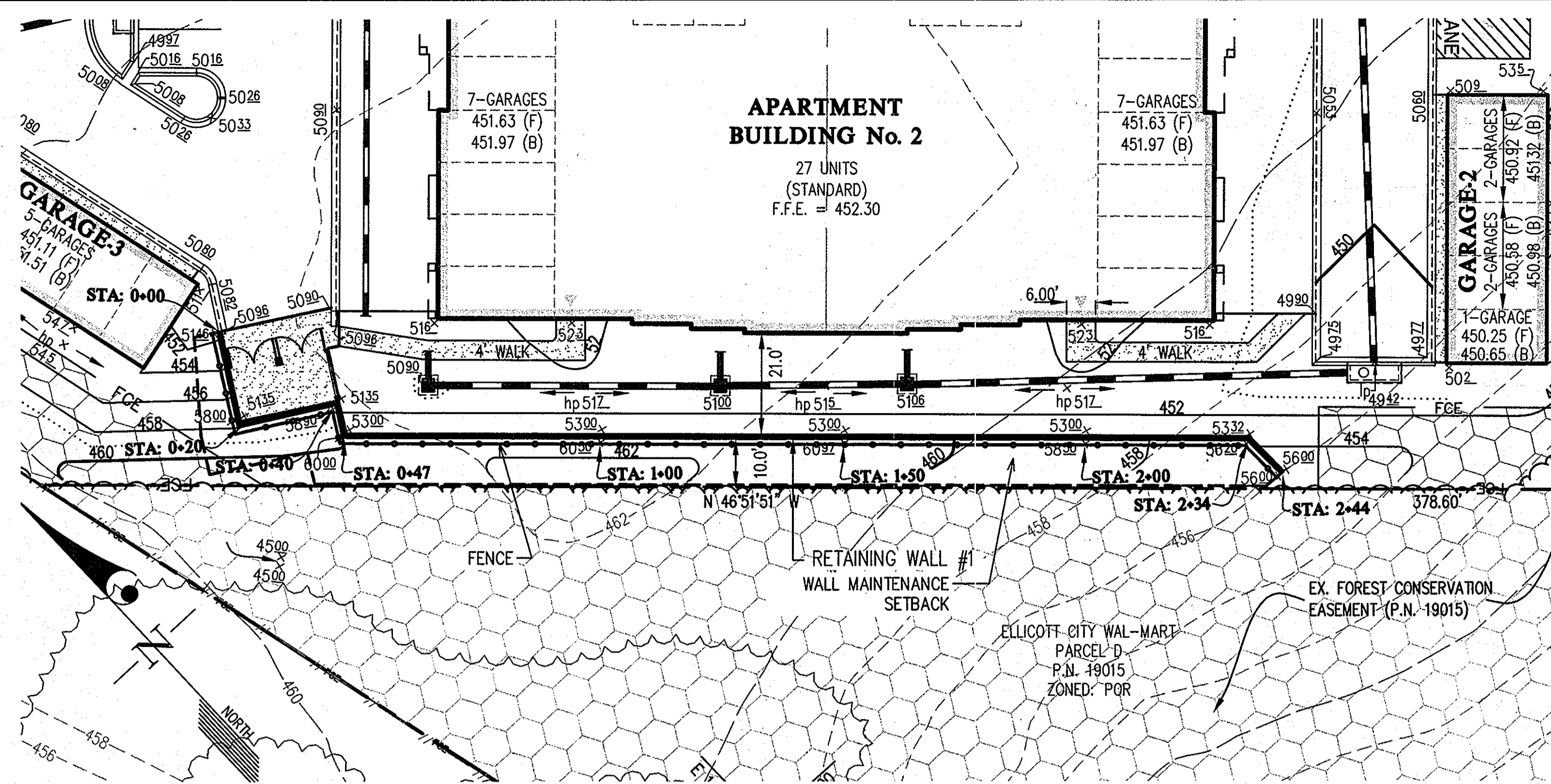
20' PUBLIC WATER & UTILITY EASEMENT

20' PUBLIC WATER & UTILITY EASEMENT (P.N. 13316/17)

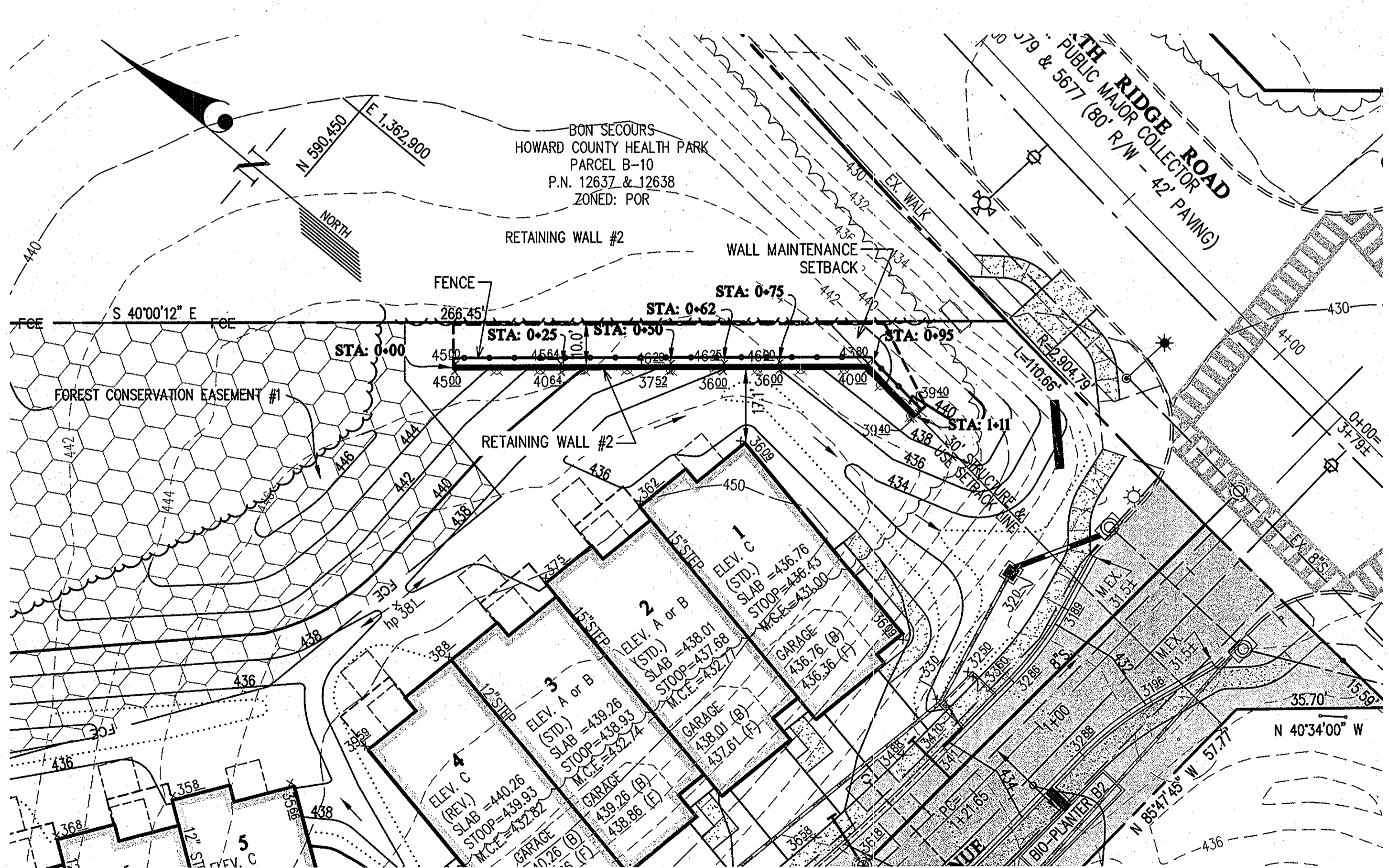
COLTRANE COUNTY (P.N. 13316/17)

NOTE: CONTRACTOR TO VERIFY CLEARANCE OF PREVIOUS PLANTING TREES PRIOR TO PLANTING.

ADDERLEY AVE



WALL #1 LOCATION PLAN
1" = 20'



WALL #2 LOCATION PLAN
1" = 20'

SPECIFICATIONS
MODULAR CONCRETE BLOCK RETAINING WALL

PART 1: GENERAL

- 1.01 Description**
A. Work shall consist of furnishing and construction of a Modular Retaining Wall System in accordance with these specifications and in reasonably close conformity with the lines, grades, design, and dimensions shown on the plans.
B. Work includes preparing foundation soil, furnishing and installing leveling pad, unit drainage fill and backfill to the lines and grades shown on the construction drawings.
C. Work includes furnishing and installing geogrid soil reinforcement of the type, size, location, and lengths designated on the construction drawings.
- 1.02 Delivery, Storage and Handling**
A. Contractor shall check all materials upon delivery to assure that the proper type, grade, color, and certification has been received.
B. Contractor shall protect all materials from damage due to job site conditions and in accordance with manufacturer's recommendations. Damaged materials shall not be incorporated into the work.

PART 2: PRODUCTS

- 2.01 Modular Concrete Retaining Wall Units**
A. Modular concrete units shall conform to the following architectural requirements:
face color - color may be specified by the Owner.
face finish - sculptured rock face in angular tri-planer or flat configuration. Other face finishes will not be allowed without written approval of Owner.
bond configuration - running with bonds normally located at midpoint vertically adjacent units, in both straight and curved alignments.
exposed surfaces of units shall be free of chips, cracks or other imperfections when viewed from a distance of 10 feet under diffused lighting.
B. Modular concrete materials shall conform to the requirements of ASTM C1372 - Standard Specifications for Segmental Retaining Wall Units.
C. Modular concrete units shall conform to the following structural and geometric requirements measured in accordance with appropriate references:
compressive strength = 3000 psi minimum;
absorption = 8% maximum (6% in northern states) for standard weight aggregates;
dimensional tolerances = ± 1/8" from nominal unit dimensions not including rough split face, ± 1/16" unit height - top and bottom planes;
unit size - 8" (H) x 18" (W) x 12" (D) minimum;
unit weight - 75 lbs/unit minimum for standard weight

- aggregates;
intrinsic shear strength - 1000 pif minimum at 2 psi normal pressure;
geogrid/unit peak connection strength - 1000 pif minimum at 2 psi normal force.
- D. Modular concrete units shall conform to the following constructability requirements: (if applicable)**
vertical setback = 1/8" per course (near vertical) or 1" per course per the design;
alignment and grid positioning mechanism - fiberglass pins, two per unit minimum;
maximum horizontal gap between erected units shall be - 1/2 inch.

- 2.02 Shear Connectors**
A. Shear connectors shall be 1/2 inch diameter thermoset isophthalic polyester resin-impregnated fiberglass reinforcement rods or equivalent to provide connection between vertically and horizontally adjacent units. Strength of shear connectors between vertical adjacent units shall be applicable over a design temperature of 10 degrees F to +100 degrees F.
B. Shear connectors shall be capable of holding the geogrid in the proper design position during grid pre-tensioning and backfilling.

- 2.03 Base Leveling Pad Material**
A. Material shall consist of a compacted #57 crushed stone base as shown on the construction drawings.

- 2.04 Unit Drainage Fill**
A. Unit drainage fill shall consist of #57 crushed stone

- 2.05 Reinforced Backfill**
A. Reinforced backfill shall type SM, be free of debris and meet the following gradation tested in accordance with ASTM D-422 and meet other properties shown on the plan:
- | Sieve Size | Percent Passing |
|------------|-----------------|
| 2 inch | 100-75 |
| 3/4 inch | 100-75 |
| No. 40 | 0-60 |
| No. 200 | 0-40 |
- Plasticity Index (PI) < 10 and Liquid Limit < 35 per ASTM D-4318.
B. Material can be site excavated soils where the above requirements can be met. Unsuitable soils for backfill (high plastic clays or organic soils) shall not be used in the reinforced soil mass.

- 2.06 Geogrid Soil Reinforcement**
A. Geosynthetic reinforcement shall consist of geogrids manufactured specifically for soil reinforcement applications and shall be manufactured from high tenacity polyester yarn.
2.07 Drainage Pipe
A. The drainage pipe shall be perforated corrugated HDPE pipe manufactured in accordance with ASTM D-1248.

PART 3 EXECUTION

- 3.01 Excavation**
A. Contractor shall excavate to the lines and grades shown on the construction drawings. Owner's representative shall be responsible for inspecting and approving the excavation prior to placement of leveling material or fill soils.

- 3.02 Base Leveling Pad**
A. Leveling pad material shall be placed to the lines and grades shown on the construction drawings, to a minimum thickness of 6 inches and extend laterally a minimum of 6" in front and behind the modular wall unit.
B. Leveling pad shall be prepared to insure full contact to the base surface of the concrete units.

- 3.03 Modular Unit Installation**
A. First course of units shall be placed on the leveling pad at the appropriate line and grade. Alignment and level shall be checked in all directions and insure that all units are in full contact with the base and properly seated.
B. Place the front of units side-by-side. Do not leave gaps between adjacent units. Layout of corners and curves shall be in accordance with manufacturer's recommendations.
C. Install shear/connecting devices per manufacturer's recommendations.
D. Place and compact drainage fill within and behind wall units. Place and compact backfill soil behind drainage fill. Follow wall erection and drainage fill closely with structure backfill.
E. Maximum stacked vertical height of wall units, prior to unit drainage fill and backfill placement and compaction, shall not exceed three courses.

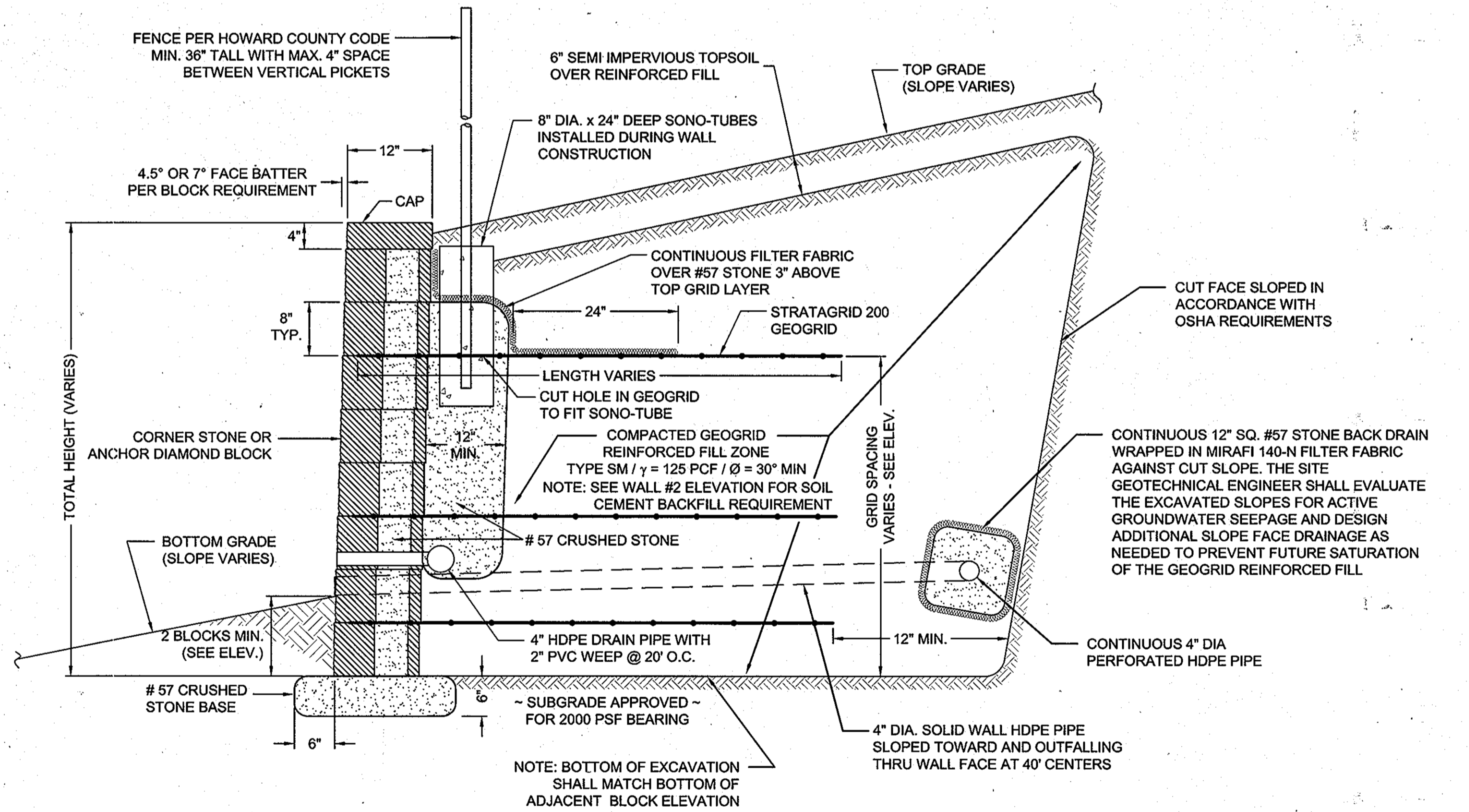
- 3.04 Structural Geogrid Installation**
A. Geogrid shall be oriented with the highest strength axis perpendicular to the wall alignment.
B. Geogrid reinforcement shall be placed at the strengths, lengths, and elevations shown on the construction design drawings or as directed by the Engineer.
C. The geogrid shall be laid horizontally on compacted backfill and attached to the modular wall units. Place the next course of modular concrete units over the geogrid. The geogrid shall be pulled taut, and anchored prior to

- backfill placement on the geogrid.
D. Geogrid reinforcements shall be continuous throughout their embedment lengths and placed side-by-side to provide 100% coverage at each level. Spliced connections between shorter pieces of geogrid or gaps between adjacent pieces of geogrid are not permitted.

- 3.05 Reinforced Backfill Placement**
A. Reinforced backfill shall be placed, spread, and compacted in such a manner that minimizes the development of slack in the geogrid and installation damage.
B. Reinforced backfill shall be placed and compacted in lifts not to exceed 6 inches where hand compaction is used, or 8 - 10 inches where heavy compaction equipment is used. Lift thickness shall be decreased to achieve the required density as required.
C. Reinforced backfill shall be compacted to 95% of the maximum density as determined by ASTM D698. The moisture content of the backfill material prior to and during compaction shall be uniformly distributed throughout each layer and shall be + 3% to - 3% of optimum.
D. Only lightweight hand-operated equipment shall be allowed within 3 feet from the tail of the modular concrete unit.
E. Tracked construction equipment shall not be operated directly upon the geogrid reinforcement. A minimum fill thickness of 6 inches is required prior to operation of tracked vehicles over the geogrid. Tracked vehicle turning should be kept to a minimum to prevent tracks from displacing the fill and damaging the geogrid.
F. Rubber tired equipment may pass over geogrid reinforcement at slow speeds, less than 10 MPH. Sudden braking and sharp turning shall be avoided.
G. At the end of each day's operation, the Contractor shall slope the last lift of reinforced backfill away from the wall units to direct runoff away from wall face. The Contractor shall not allow surface runoff from adjacent areas to enter the wall construction site.

- 3.06 Cap Installation**
A. Cap units shall be glued to underlying units with an all-weather adhesive recommended by the manufacturer.

- 3.07 Field Quality Control**
A. The Owner shall engage inspection and testing services, including independent laboratories, to provide quality assurance and testing services during construction.
B. As a minimum, quality assurance testing should include foundation soil inspection, soil and backfill testing, verification of design parameters, and observation of construction for general compliance with design drawings and specifications.



TYPICAL WALL SECTION
N.T.S.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: [Signature] 2/25/12
 Chief, Division of Land Development: [Signature] 3/25/13
 Chief, Development Engineering Division: [Signature] 2/21/13

HILLIS-CARNES
ENGINEERING ASSOCIATES
10975 Guilford Road, Suite A Annapolis Junction, MD
(410) 880-4788 Fax: (410) 880-4098

NO.	DATE	REVISION	BY	APP'R.

PREPARED FOR:
NORTHRISE, LLC
24012 Frederick Road Suite 200
Clarksburg, MD 20871
ATTN: Jonathan W. Soule
301-428-0800

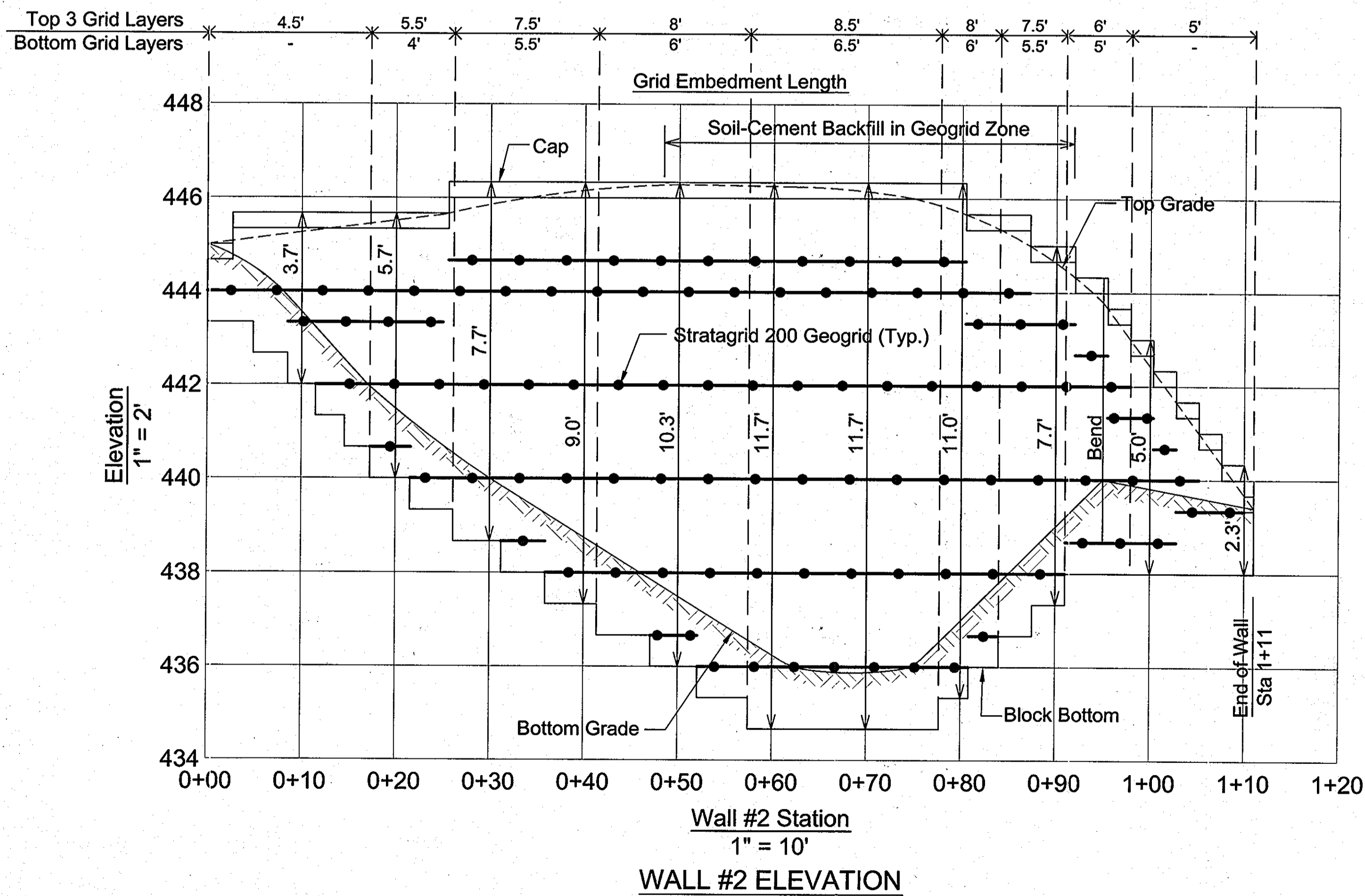
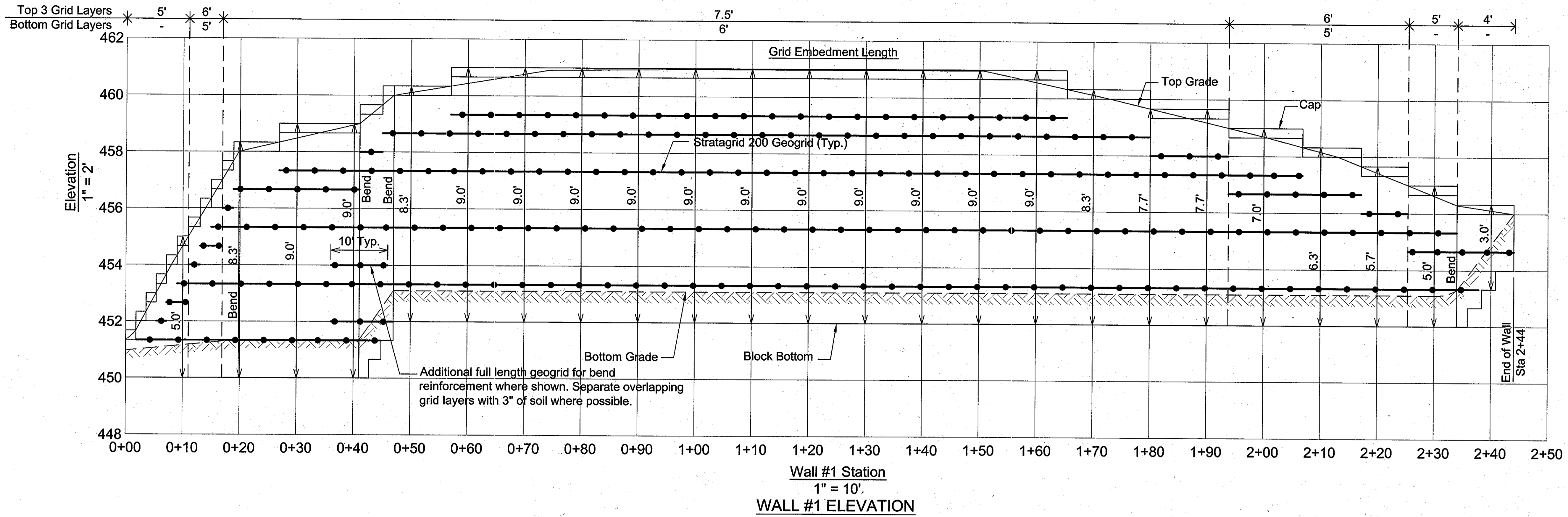
PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14434
EXPIRATION DATE: 05/13/13



RETAINING WALL CONSTRUCTION DETAILS
THE GATHERINGS at ELLICOTT MILLS
 PARCEL A
 AGE RESTRICTED ADULT HOUSING
 PLAT Nos. 11833 & 11810-11817
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	HCEA JOB NO.
AS SHOWN	POR	11023-T
DATE	TAX MAP - GRID	SHEET
OCT. 2012	17 - 23	24 OF 26

ELECTION DISTRICT No. 2



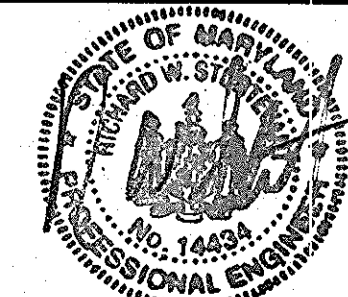
Note:
 Due to constricted wall maintenance easement on wall #2 between sta. 0+41 and 0+84, place compacted soil cement backfill in the geogrid reinforced fill zone. Soil-Cement shall consist of 120 lbs Portland cement thoroughly mixed with 1 cu. yd. type SM soil at 2% over optimum moisture placed within 1 hour of mixing.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *[Signature]* 3/25/13
 Chief, Division of Land Development: *[Signature]* 3/25/13
 Chief, Development Engineering Division: *[Signature]* 2-21-12

HILLIS-CARNES
 ENGINEERING ASSOCIATES
 10975 Guilford Road, Suite A Annapolis Junction, MD
 (410) 880-4788 Fax: (410) 880-4098

PREPARED FOR:
 NORTHRISE, LLC
 24012 Frederick Road Suite 200
 Clarksburg, MD 20871
 ATTN: Jonathan W. Soule
 301-426-0800

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 AND THAT I AM A DULY LICENSED
 PROFESSIONAL ENGINEER UNDER THE
 LAWS OF THE STATE OF MARYLAND,
 LICENSE NO. 14434
 EXPIRATION DATE: 05/13/13



RETAINING WALL #1 & #2 ELEVATIONS

THE GATHERINGS at ELLICOTT MILLS
 PARCEL A

AGE RESTRICTED ADULT HOUSING
 PLAT Nos. 11833 & 11917-11917

SCALE	ZONING	HCEA JOB NO.
AS SHOWN	POR	11023-T
DATE	TAX MAP - GRID	SHEET
OCT. 2012	17 - 23	25 OF 26

ELECTION DISTRICT No. 2

HOWARD COUNTY, MARYLAND

Public Forest Conservation Easement No. 1 Line Table

LINE	BEARING	LENGTH
FC1	N15°11'55"E	217.80'
FC2	N00°23'01"W	234.65'
FC3	N13°42'17"E	363.32'
FC4	S48°09'48"E	297.15'
FC5	S80°47'09"E	92.17'
FC6	S30°07'49"W	112.09'
FC7	S12°08'08"W	272.58'
FC8	S15°36'39"W	250.96'
FC9	S08°34'39"W	215.87'
FC10	S04°12'50"W	149.67'
FC11	N67°32'03"W	42.33'
FC12	N31°37'28"W	32.93'

MULTIFLORA ROSE CONTROL NOTE:

PRIOR TO PLANTING ALL MULTIFLORA ROSE WITHIN PLANTING AREAS SHALL BE REMOVED. Removal of the Multiflora Rose may be performed with Mowing and Herbicide Treatments. Physical Removal of All Top Growth Followed by a Periodic Herbicide Treatment of Stump Sprouts is Recommended. Native Tree and Shrub Species Occurring Within the Rose Thickets Should be Retained Wherever Possible. Herbicide Treatments Shall Occur on Two (2) Month Intervals During the First Growing Season And Once in the Spring And Once in the Fall For Subsequent Years. Herbicide Used Shall be Made Specifically to Address Woody Plant Material And Shall be Applied As Per Manufacturers Specifications. Care Should be Taken Not to Spray Planted Trees or Naturally Occurring Native Tree and Shrub Seedlings. It is Recommended that Initiation of Rose Removal Begin At Least Six Months Prior to Planting so that New Growth of Roses is Able to be More Successfully Managed.

PLANTING / SOIL SPECIFICATIONS

- Planting of Nursery Stock Shall Take Place Between March 15th And April 30th Or September 15th And November 15th.
- A Twelve (12) Inch Layer of Topsoil Shall be Spread Over All Reforestation Areas Impacted by Site Grading To Assure a Suitable Planting Area, if Applicable. Disturbed Areas Shall be Seeded and Stabilized in Accordance With the Sediment & Erosion Control Plan For This Project. Planting Areas Not Impacted by Site Grading Shall Have No Additional Topsoil Installed.
- All Bare Root Planting Stock Shall have Their Root System Dipped into An Anti-Desiccant Gel Prior to Planting.
- Plants Shall be Installed so That the Top of the Root Mass is Level With the Top of Existing Grade. Backfill in the Planting Pits Shall consist of 3 Parts Existing Soil to 1 Part Fine Pines or Equivalent.
- Fertilizer Shall consist of Agriform 22-8-2, or Equivalent, Applied As Per Manufacturer's Specifications.
- A Two (2) Inch Layer of Hardwood Mulch Shall be Placed Over the Root Area of All Plantings. See Planting Detail.
- Plant Material Shall be Transported to the Site in a Tarp or Covered Truck. Plants Shall be Kept Moist Prior to Planting.
- All Non-Organic Debris Associated With the Planting Operation Shall be Removed from the Site by the Contractor.

SEQUENCE OF CONSTRUCTION

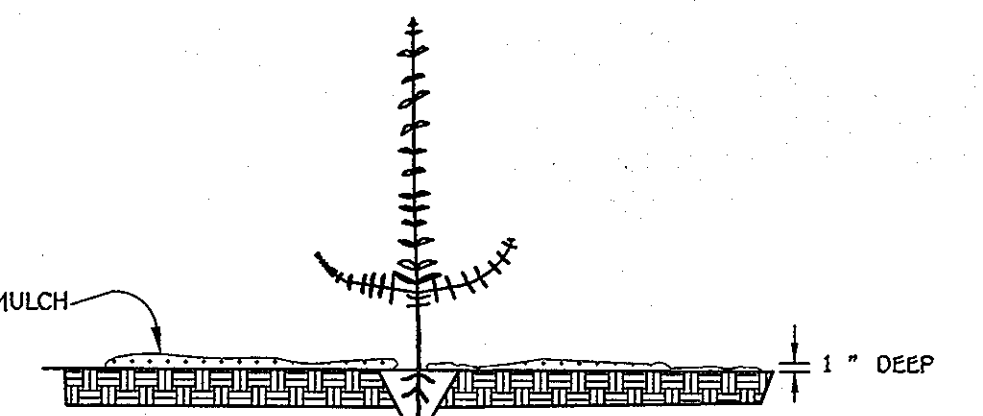
- Sediment Controls And Tree Protective Devices Shall be Installed in Accordance With Sediment & Erosion Control Plans for this Site, if Applicable. Site Shall be Graded in Accordance With the Plans.
- Proposed Reforestation Areas Impacted by the Site Grading Shall be Topsoiled and Stabilized As Per Note 2 of the "Planting / Soil Specifications".
- Plants Shall be Installed And Maintained As Per Notes And Specifications For this Project.
- Upon Completion of the Plantings, Signage Shall be Installed As Per the Signage Detail.
- Plantings Shall be Guaranteed and Maintained in Accordance With the "Guarantee Requirements" And "Maintenance of Plantings" Associated With this Project.

MAINTENANCE OF PLANTINGS

- Maintenance of Plantings Shall Last For a Period of 26 Months.
- All Plant Material Shall be Generally Watered Twice a Month During the 1st Growing Season. Watering May be More or Less Frequent Depending on Weather Conditions.
- During the 2nd Growing Season, Plant Material Shall be Watered Once a Month from May to September, as Needed.
- Invasive Exotics and Noxious Weeds Shall be Removed from the Reforestation Area(s). Old Field Successional Species Shall be Retained.
- Plants Shall be Examined a Minimum of Two (2) Times During the Growing Season For Serious Plant Pests and Diseases With the Appropriate Agent.
- Dead Branched Shall be Pruned from the Plantings.

GUARANTEE REQUIREMENTS

A 75% Survival Rate For the Reforestation Plantings is Required At the End of the 24 Month Maintenance Period. All Plant Material Below the 75% Threshold is Required to be Replaced At the Beginning of the Next Growing Season.



Seedling and Whip Planting Specification

* Each Whip to be protected by a tree shelter

Approved: Howard County Dept. of Planning & Zoning

Mark L. Gyle 3/25/12
Director Date

Kat Sadowski 3/25/13
Chief, Division of Land Development Date

Chad Edwards 2-21-13
Chief, Development Engineering Division Date

WINDSOR FOREST OWNER

Robert Scranton
18950 Windsor Forest Road
Mount Airy, Maryland 21771-3922
Ph: (410) 549-1669

THE GATHERINGS AT ELLICOTT MILLS OWNER

NORTHBRIDGE, LC
c/o JONATHAN W. JOULE
PLEASANTS DEVELOPMENT, INC.
24012 FREDERICK ROAD, SUITE 200
Clarkburg, Maryland 20871

AMENDED
PLAT OF EASEMENT
BUGLER PROPERTY
(PLAT NO. 14328)
ZONED: RC-DEO

MD DNR Qualified Professional

Stephanie J. Tuttle, RLA, PE
12/18/12
QUALIFIED PROFESSIONAL

PLANTING SCHEDULE

FC# #1 - 3,131 acres
Planting Required: 1,096
Planting Provided: 1,100

Qty	Species	Size	Spacing
290	Acer rubrum - Red Maple	2"-3" whip	11' o.c.
110	Cornus florida - Flowering Dogwood	2"-3" whip	11' o.c.
110	Cornus florida - Flowering Dogwood	2"-3" whip	11' o.c.
50	Cornus florida - Flowering Dogwood	2"-3" whip	11' o.c.
110	Liquidambar styraciflua - Sweetgum	2"-3" whip	11' o.c.
20	Pinus strobus - White Pine	2"-3" whip	11' o.c.
75	Prunus serotina - Black Cherry	2"-3" whip	11' o.c.
75	Quercus alba - White Oak	2"-3" whip	11' o.c.
150	Quercus prinus - Chestnut Oak	2"-3" whip	11' o.c.
150	Quercus rubra - Red Oak	2"-3" whip	11' o.c.
30	Viburnum acerifolium - Blackhaw	2"-3" whip	11' o.c.
1,100	Trees & 30 shrubs	2"-3" whip	11' o.c.

* Note: Whip with tree shelters are to be utilized and planted at 500 trees per acre (500 trees/acre x 3,131 acres = 1,566 trees).

11" MIN.

Forest Conservation Area

REFORESTATION PROJECT

Trees for Your Future

FOREST CONSERVATION SIGN DETAIL
NOT TO SCALE

OFF-SITE FOREST PLANTING PLAN on WINDSOR FOREST, PARCEL 'A'

TAX MAP #6 PARCEL #16
FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
ZONED: RC-DEO

FOR
THE GATHERINGS AT ELLICOTT MILLS

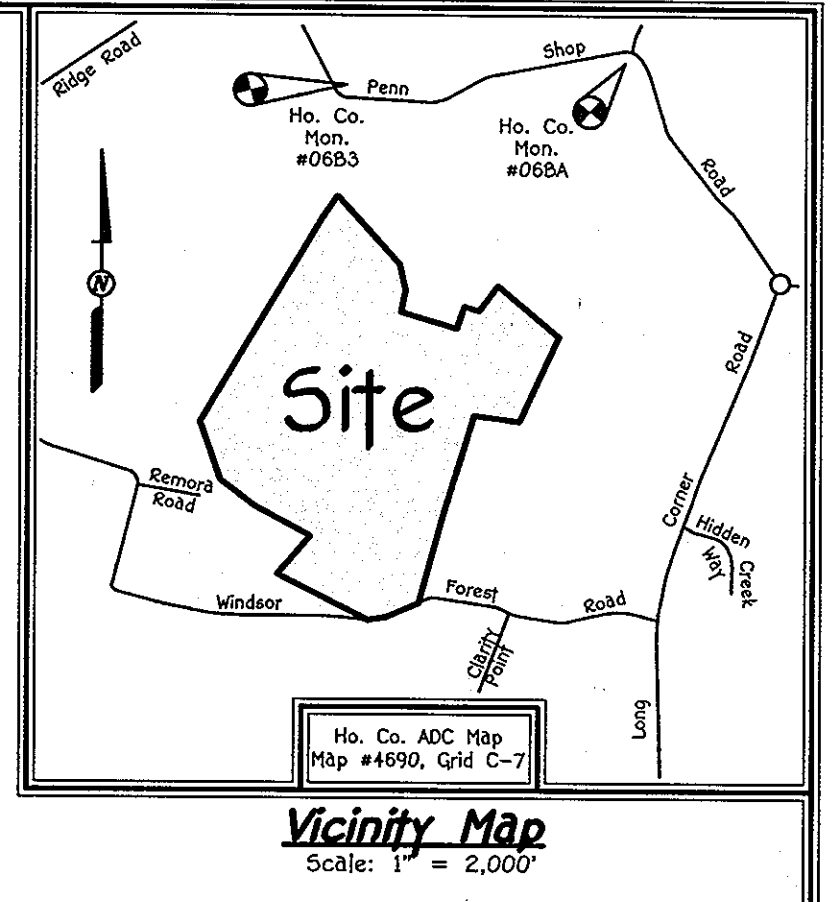
TAX MAP #17 PARCEL #666 (C-4)
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
ZONED: POR

SCALE: 1" = 200' DATE: OCTOBER 19, 2012

sheet 16 of 16

Plat Nos. 11822 & 21316-2217

SDP-12-038



NOTES

- Subject Property Zoned RC-DEO Per the 02/02/04 Zoning Regulations And the Comp-Lite Zoning Amendments Dated 07/28/06.
- Coordinates Based on NAD 83, Maryland Coordinate System as Projected by Station No. 088A North 611,660.1438 East 1,267,349.3405 Station No. 088B North 611,265.3969 East 1,264,511.0950
- This Plan is Based on Field Survey Monumented Boundary Survey Performed On or About December 6, 2005 by T. Michael Vansant, Vannar Assoc., Inc.
- Denotes Iron Pin Set with Cap "F.C.C. 100".
- Denotes Concrete Monument Set with Cap "F.C.C. 100".
- Denotes Concrete Monument Set with Cap "F.C.C. 100".
- Denotes Concrete Monument Set with Cap "F.C.C. 100".
- Denotes Concrete Monument Set with Cap "F.C.C. 100".
- No Grading, Removal of Vegetative Cover or Trees, or Placement of New Structures is Permitted Within the Limits of Wetlands, or Their Buffers And Forest Conservation Easement Areas.
- All Distances are Based on Surface Measurement And Not Reduced to MGD 83 Grid Measurement.
- Topography Hereon is Based on Howard County 200 Scale Topographic Maps dated 2004.
- A 5' Environmental Setback is Required on Proposed Parcels/Lots That Contain Environmental Features.
- No Cemeteries Exist on this Site Based on a Visual Site Visit And Based on a Examination of the Howard County Cemetery Inventory Map.
- Previous Department of Planning and Zoning File Numbers: F-82-13 And F-06-196.
- There is No 100 Year Floodplain, Streams or Their Buffers on this Site.
- This Property is Located Outside the Metropolitan District.
- There are Existing Dwellings/Structures Located on Parcel 'A' to Remain. No New Buildings, Extensions or Additions to the Existing Dwellings) are to be Constructed at a Distance Less Than the Zoning Regulation Requirements.
- This Plan is in Compliance With the Amended Fifth Edition of the Subdivision And Land Development Regulations Per Council Bill 45-2003 And the Zoning Regulations As Amended by Council Bill 75-2003. Development or Construction on these Lots Must Comply with Setback and Buffer Regulations in Effect at the Time of Submission of the Site Development Plan, Mower Region Application, or Building/Grading Permit.
- This Property is Encumbered by a Preservation Easement Deed with Howard County And the Howard County Conservancy, Inc. Dated June 30, 1995 and Recorded in Liber 3548 at Folio 638.
- This Plan Complies with the Requirements of Section 16.1200 of the Howard County Code For Forest Conservation by the Reforestation of 3,131 Acres (136,386 SF) of Forest. Surety for the Reforestation in the Amount of \$68,193 (\$36,386 x \$200) shall be Posted as Part of the SPV. Developer's Agreement Associated With the Gatherings at Ellicott Mills (SDP-12-038).
- The off-site reforestation on "Windsor Forest Parcel A" is recorded at 11822.

REFORESTATION PLANTING NOTES

- Plants, Related Material, and Operations Shall meet the Detailed Description as Given on the Plans and As Described Herein.
- Plant Material, Unless Otherwise Specified, Shall be Nursery Grown, Uniformly Branched And Have a Vigorous Root System. Plant Material Shall be Healthy, Vigorous Plants Free from Defects, Decay, Disfiguring Knots, Sunscald Injuries, Abrasions of the Bark, Plant Disease, Insect Pest Eggs, Boxers, Infestations or Objectionable Disfigurements. Plant Material that is Weak or which has been Cut back from Larger Grades to Meet Specified Requirements will be Rejected. Trees with Forked Leaders will Not be Accepted. Plants shall be Freshly Dug; No Heeled-in Plants or Plants from Cold Storage will be Accepted.
- Unless Otherwise Specified, Plant Material shall Conform to "American Standard for Nursery Stock" ANSI Z60.1-1990, Published by the American Association of Nurserymen, Including All Addenda.
- Contractor will be Required to Guarantee Plant Material for a Period of Two (2) Years After the Date of Acceptance and Maintain a 75% Survivability At the End of the Two (2) Years.
- To Lessen the Chance of Loss, the Plantings should be Checked from Time to Time to Insure that they are Receiving Sufficient Water. See "Maintenance of Plantings" For Guidelines.
- The Location And Orientation of All Plant Material shall be Randomly Planted in Designated Reforestation Areas by the Contractor. Contractor shall be Responsible For Moving Any Plant Material Installed Without Approval.
- Mowing and Applying Herbicides to the Reforestation Area is Prohibited At Any All Stages of the Planting Process in Order to Encourage the Existing Saplings to Grow.
- Contractor is Responsible For Installing And Pruning Plant Material in the Proper Planting Season for Each Plant Type. See Tree Planting & Maintenance Calendar.
- Upon Completion of Installation, Signage shall be Installed as Shown.

Purpose Statement

The Purpose of this Plan is to Create Public Forest Conservation Easement No. 1 (3,131 Ac.) (Reforestation) on Parcel 'A', As Shown on the Plan Entitled "Revision Plat Windsor Forest, Parcel 'A' to Fulfill the Forest Conservation Off-Site Obligation for "The Gatherings at Ellicott Mills" (SDP-12-038).