

GENERAL NOTES

1. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.

2. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.

3. ALL ASPECTS OF THE PROJECT ARE IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN APPROVED.

4. THE TOPOGRAPHY SHOWN HEREON IS BASED ON AN AERIAL TOPOGRAPHIC SURVEY PREPARED BY POTOMAC AERIAL SERVICES, INC. DATED MARCH 6TH 2010.

5. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL, WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM, HOWARD COUNTY MONUMENT NOS. 17EA AND 17EB WERE USED FOR THIS PROJECT.

6. THE PROJECT BOUNDARY IS BASED ON A BOUNDARY SURVEY PREPARED BY ROBERT H. VOGEL ENGINEERING, INC., DATED APRIL 6, 2010.

7. THE SUBJECT PROPERTY IS ZONED "R-20" IN ACCORDANCE WITH THE 2/2/04 COMPREHENSIVE ZONING PLAN AND THE COMP. LITE ZONING REGULATIONS EFFECTIVE ON 7/28/06.

8. THIS R-20 ZONED SUBDIVISION IS BEING DEVELOPED PURSUANT TO SECTION 107.E OF THE R-ED ZONING DISTRICT INCLUDING THE PLANNING BOARD'S APPROVAL OF THE SUBDIVISION DESIGN. A 75' SETBACK FROM THE PROJECT ADJOINING SINGLE FAMILY DETACHED DEVELOPMENTS AND THE OTHER CRITERIA REQUIREMENTS IN ACCORDANCE WITH SECTION 108.F.3. OF THE ZONING REGULATIONS.

9. IN ACCORDANCE WITH SECTION 108.F.2. OF THE ZONING REGULATIONS, THIS R-20 RECEIVING PARCEL SUBDIVISION IN ASSOCIATION WITH NEIGHBORHOOD PRESERVATION IS RECEIVING 1 BONUS DENSITY UNIT UP TO 10% MORE DWELLING UNITS THAN WOULD BE ACHIEVABLE BASED ON THE NET DENSITY IN THE R-ED ZONING DISTRICT IF DEVELOPED AS SINGLE FAMILY DWELLINGS USING THE R-ED REGULATIONS.

10. THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. DEVELOPMENT OR CONSTRUCTION OF THESE LOTS MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, WAIVER PETITION, OR BUILDING AND GRADING PERMITS.

11. STORMWATER MANAGEMENT TO BE PROVIDED FOR THIS DEVELOPMENT BY ENVIRONMENTAL SITE DESIGN UTILIZING MICRO BIO-RETENTION (F-11-064), RAIN BARRELS, PERVIOUS DRIVEWAYS AND SIDEWALKS, AND ROOFTOP DISCONNECTS. THE MICRO-BIORETENTION FACILITIES ARE PRIVATELY OWNED AND MAINTAINED BY THE HOA. HOWARD COUNTY WILL ONLY MAINTAIN THE INLET STRUCTURE WITHIN THE MICRO-BIORETENTION FACILITIES ADJACENT TO THE RIGHT-OF-WAYS. ALL PERMISSIBLE CONCRETE SIDEWALKS SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE HOA. REFER TO F-11-064.

12. EXISTING UTILITIES ARE BASED ON HOWARD COUNTY RECORDS, FIELD SURVEY, ROAD CONSTRUCTION PLANS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTORS INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE.

13. ANY DAMAGE TO THE COUNTY'S RIGHTS-OF-WAY, PAVING, OR EXISTING UTILITIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.

14. SHC ELEVATIONS ARE LOCATED AT THE PROPERTY LINE.

15. ALL DRIVEWAY ENTRANCES SHALL UTILIZE HOWARD COUNTY STANDARD DETAIL NO. R-6.03 MODIFIED FOR SIDEWALK ADJACENT TO CURB.

16. THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING AT/AT:

BGE (CONSTRUCTION SERVICES)	410-637-8713
BGE (EMERGENCY)	410-685-0123
BUREAU OF UTILITIES	410-313-4900
COLONIAL PIPELINE CO	410-795-1300
MISS UTILITY	1-800-257-7777
STATE HIGHWAY ADMINISTRATION	410-531-5533
VERIZON	1-800-743-0033

17. THERE ARE EXISTING STRUCTURES LOCATED ON PARCELS 77, 78, AND 416. ALL EXISTING STRUCTURES LOCATED ON-SITE SHALL BE REMOVED PRIOR TO THE RECODIFICATION OF THIS PLAN.

18. USING THE NEIGHBORHOOD PRESERVATION EXCHANGE OPTION DESCRIBED IN SECTION 128.L OF THE ZONING REGULATIONS, THE RIGHTS FOR FOUR RESIDENTIAL LOTS SHOWN ON THE SUBDIVISION PLAN FOR MOUNT HEBRON OVERLOOK HAS BEEN TRANSFERRED FROM PARCEL 584, TAX MAP 17, GRID 17, MORGAN PROPERTY.

19. ALL STRUCTURES ARE REQUIRED TO BE SET BACK 75 FEET FROM PROJECT BOUNDARIES ADJOINING SINGLE-FAMILY DETACHED DEVELOPMENTS IN ACCORDANCE WITH SECTION 108.F.3.B OF THE ZONING REGULATIONS.

20. IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS. PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT FRONT OR REAR YARD SETBACK.

21. DRIVEWAYS SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:

- WIDTH - 12 FEET (16 FEET IF SERVING MORE THAN ONE RESIDENCE)
- SURFACE - 6" OF COMPACTED CRUSHER RUN BASE W/TAR AND CHIP COATING (1-1/2" MIN.); PERMEABLE SURFACE - 12" ASTM C-33 3/4" TO 2" STONE WITH 7" PERMEABLE CONCRETE
- GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE, AND MINIMUM 45 FOOT TURNING RADIUS
- STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING)
- DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD EVENTS WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE
- MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE

22. NO GRADING OR CONSTRUCTION OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAM(S) OR THEIR BUFFERS, FOREST CONSERVATION EASEMENT AREAS AND 100 YEAR FLOODPLAIN.

23. WATER AND SEWER SERVICE TO THESE LOTS WILL BE GRANTED UNDER THE PROVISIONS OF SECTION 18.122.B OF THE HOWARD COUNTY CODE.

24. WATER AND SEWER SERVICE FOR THIS PROJECT WILL BE PUBLIC. WATER WILL BE PROVIDED THROUGH CONTRACT NO. 71-W. SEWER WILL BE PROVIDED THROUGH CAPITAL PROJECT #S-6266.

25. PUBLIC WATER AND SEWER CONNECTION WILL BE GRANTED AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT IF CAPACITY IS AVAILABLE AT THAT TIME.

26. DEED REFERENCE: PARCEL 77: L 12740 / F 20
PARCEL 78: L 6195 / F 690
PARCEL 416: L 8387 / F 610

27. TO THE BEST OF THE OWNERS KNOWLEDGE, THERE ARE NO CEMETERIES OR GRAVE SITES LOCATED ON THE SUBJECT PROPERTY.

28. TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THERE ARE NO HISTORIC STRUCTURES EXIST ON THIS SITE.

29. THERE IS NO 100' FLOODPLAIN WITHIN THE LIMITS OF THIS PROJECT.

30. FOREST STAND DELINEATION PLAN WAS PREPARED BY ROBERT H. VOGEL ENGINEERING INC., DATED MAY 2010, APPROVED UNDER SP-10-007.

31. THE FOREST CONSERVATION EASEMENTS HAVE BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF HOWARD COUNTY FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT; HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.

32. FOREST RESTORATION PLAN PREPARED BY ROBERT H. VOGEL ENGINEERING, INC.

33. TOTAL FOREST CONSERVATION OBLIGATION OF THIS PROJECT WAS FULFILLED BY ON-SITE AFFORESTATION OF 1.84 ACRES UNDER F-11-064. FINANCIAL SURETY IN THE AMOUNT OF \$40,075.50 WAS POSTED WITH F-11-064.

34. WETLANDS SHOWN ARE BASED ON FIELD SURVEY PREPARED BY ECO-SYSTEMS PROFESSIONALS, INC., DATED JUNE 02, 2010. THERE ARE NO PROPOSED DISTURBANCES TO THE WETLANDS OR ASSOCIATED BUFFERS.

35. A TRAFFIC STUDY WAS PREPARED BY THE TRAFFIC GROUP, INC., DATED JUNE 2010, APPROVED UNDER SP-10-007.

36. THE F-11-064 PLAN WAS PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL. A FINANCIAL SURETY IN THE AMOUNT OF \$16,200.00 WAS POSTED WITH F-11-064.

37. PUBLIC STREET TREES WERE PROVIDED FOR THIS PROJECT IN ACCORDANCE WITH SECTION 16.124(c)(1) OF THE SUBDIVISION REGULATIONS AND THE LANDSCAPE MANUAL UNDER F-11-064. FINANCIAL SURETY IN THE AMOUNT OF \$25,125.00 WAS POSTED WITH F-11-064.

38. OPEN SPACE LOT 26 TO BE OWNED AND MAINTAINED BY THE HOME OWNERS ASSOCIATION.

39. A NOISE STUDY WAS PREPARED BY ROBERT H. VOGEL ENGINEERING, INC. FOR MD ROUTE 99 AND APPROVED UNDER SP-10-007. AN EXISTING NOISE BARRIER IS PROVIDED ALONG INTERSTATE 70.

40. THIS PLAN IS SUBJECT TO PLANNING BOARD # PB-389 AND SP-10-007 APPROVED DECEMBER 2, 2010.

41. THIS PLAN IS SUBJECT TO A WAIVER TO SECTION 16.1205(c)(7) OF THE SUBDIVISION REGULATIONS FOR THE REMOVAL OF THE 39' SILVER MAPLE SPECIMEN TREE, APPROVED SEPTEMBER 14, 2010.

42. THIS PLAN IS SUBJECT TO A DESIGN MANUAL WAIVER TO APPENDIX A, VOLUME III TO REDUCE THE MINIMUM HORIZONTAL CURVE, CURVE RADIUS FOR A PUBLIC ROAD, APPROVED SEPTEMBER 7, 2010.

43. A TOTAL OF 25 LOTS AND 1 OPEN SPACE LOT ARE PROPOSED UNDER THIS PLAN. THE LOTS HAVE BEEN CREATED BY A RE-SUBDIVISION OF THE "KEIM PROPERTY" LOT 2, AND A SUBDIVISION OF PARCELS 78 AND 416.

44. UNDER F-11-064, TEST PITS TO DETERMINE GROUND WATER AND ROCK ELEVATIONS WERE PERFORMED AT EACH FACILITY LOCATION. NO ROCK OR WATER ARE WITHIN 4' OF THE BOTTOM OF ANY FACILITY.

45. ALL SIDEWALKS NEAR MICRO BIO-RETENTION FACILITIES ARE TO BE TRAFFIC BEARING. SEE DETAIL SHEET 11.

46. ALL WATER HOUSE CONNECTIONS SHALL BE FOR INSIDE METER SETTING UNLESS OTHERWISE NOTED ON THE PLANS OR IN SPECIFICATIONS.

47. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY IN THE AMOUNT OF \$1,800 FOR THE REQUIRED 4 SHADE TREES AND 4 EVERGREEN TREES (SIDE YARD PERIMETERS OF LOTS 15 & 25) SHALL BE POSTED WITH THE BUILDING PERMITS FOR LOTS 15 & 25.

48. THIS PLAN IS SUBJECT TO WP 12-147. THE PLANNING DIRECTOR APPROVED THE REQUEST TO WAIVE SECTION 16.156(g)(2) WHICH REQUIRES THE DEVELOPER TO PROVIDE INFORMATION WITHIN 45 DAYS OF RECEIVING THE REQUEST FROM THE SUBDIVISION REVIEW COMMITTEE TO THE FOLLOWING CONDITIONS: 1) THE WAIVER PETITION NUMBER (WP12-147) AND ITS CONDITIONS OF APPROVAL MUST BE ADDED TO THE SITE DEVELOPMENT PLAN. 2) SDP 12-027 IS HEREBY REACTIVATED. THE REVISED SDP MUST BE SUBMITTED WITHIN 45 DAYS FROM THE WAIVER PETITION APPROVAL LETTER ON OR BEFORE MAY 18, 2012.

49. SECTION 128.A.1.1 OF THE ZONING REGULATIONS (CB-2-2012) WHICH ALLOWS SUNROOMS AND ROOM EXTENSIONS TO EXTEND NOT MORE THAN 10 FEET INTO THE REAR SETBACK ALONG NOT MORE THAN 60% OF THE REAR FACE OF A DWELLING ON A LOT WHICH ADJOINS OPEN SPACE ALONG A MAJORITY OF THE REAR LOT LINE FOR R-ED LOTS RECORDED AFTER THE EFFECTIVE DATE OF CB-2-2012 (MAY 13, 2012).

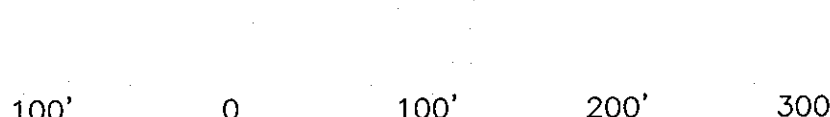
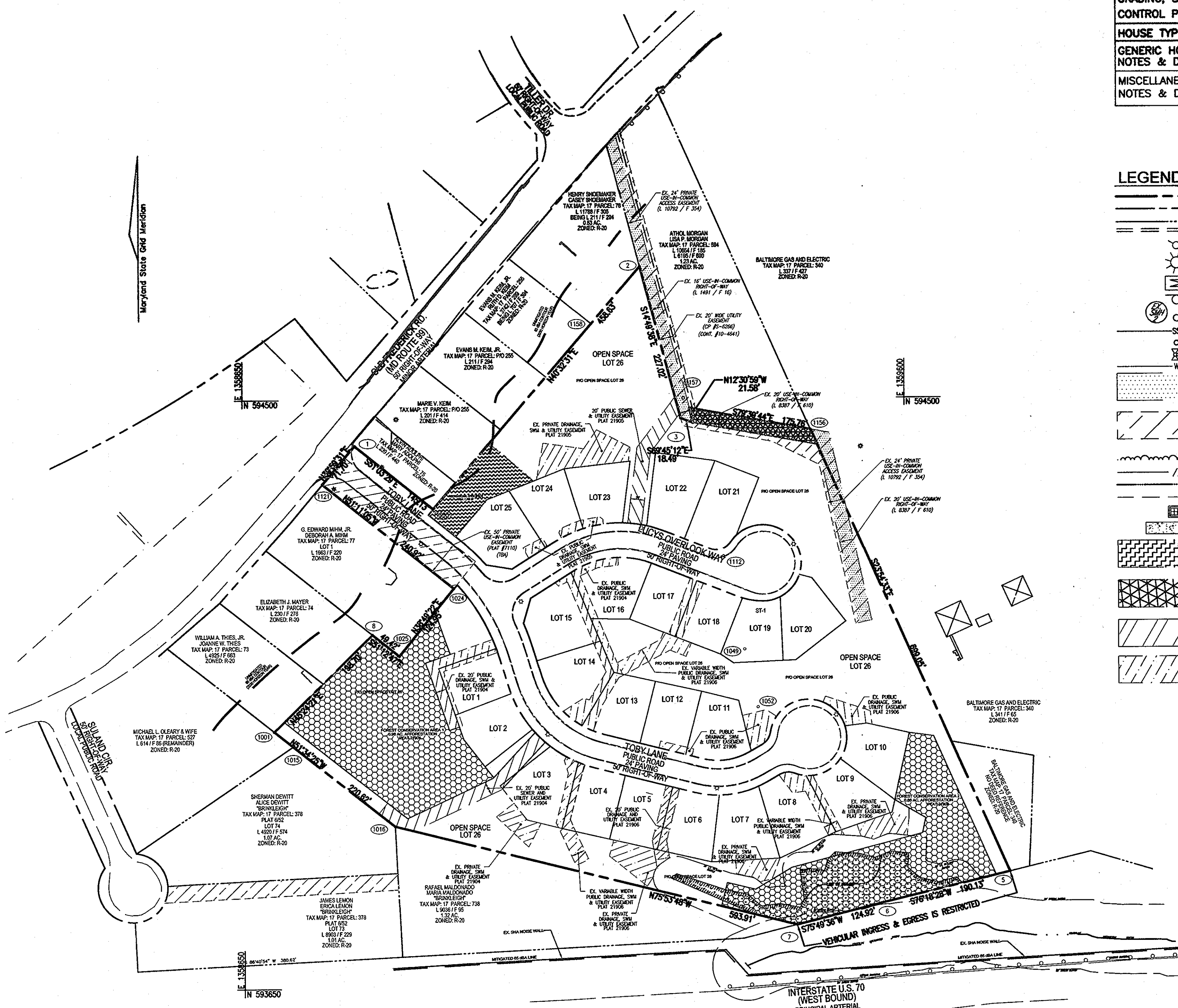
50. PLAN SUBJECT TO WP-19-149. THE PLANNING DIRECTOR APPROVED ON APRIL 22, 2010 A REQUEST TO WAIVE SECTION 16.124(d)(1)(ii) REQUIREMENT. PERMITTED SETBACK AT LEAST 20 FEET IN WIDTH FOR A PUBLIC STREET DRAIN OUTSIDE THE REAR RIGHT-OF-WAY.

SITE DEVELOPMENT PLAN

MOUNT HEBRON OVERLOOK

LOTS 1-25

HOWARD COUNTY, MARYLAND

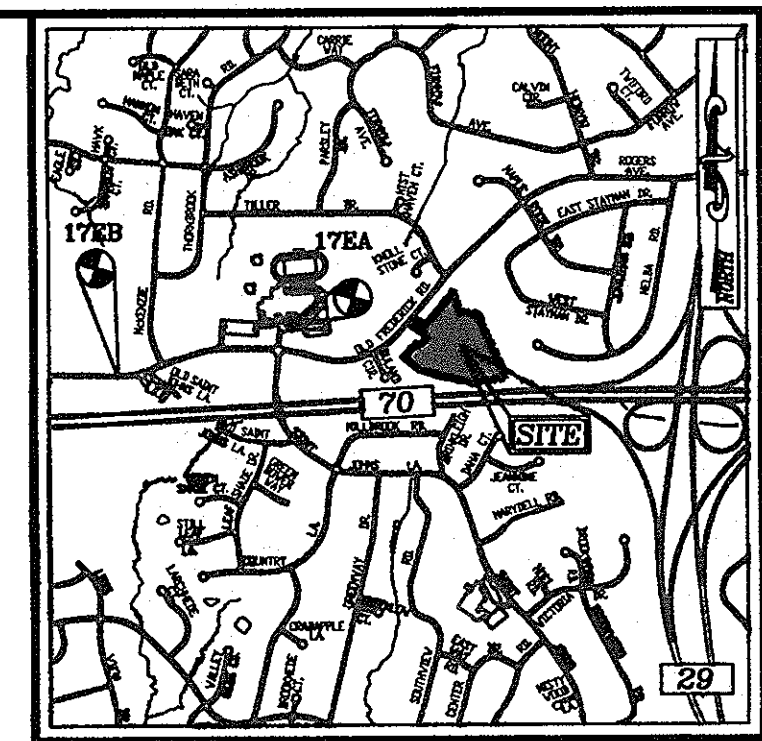


LOCATION MAP
SCALE: 1"=100'

COORDINATE TABLE					
POINT	NORTHING	EASTING	POINT	NORTHING	EASTING
1	594433.39	1358810.57	1030	593754.47	1359383.97
2	594490.70	1359221.56	1049	594138.02	1359370.17
3	594471.24	1359279.65	1052	594054.18	1359398.16
4	594464.84	1359297.00	1053	594174.61	1359312.48
5	593815.30	1359748.55	1054	594275.06	1359510.47
6	593770.30	1359563.83	1093	594342.17	1359823.45
7	593739.71	1359442.71	1112	594272.25	1359340.17
8	594161.06	1358835.39	1121	594375.48	1359764.50
1001	594021.55	1358693.86	1152	594003.13	1359665.07
1015	594000.14	1358721.06	1153	593758.36	1359773.79
1016	593894.43	1358506.70	1156	594454.38	1359465.23
1024	594227.45	1358992.21	1157	594485.91	1359292.32
1025	594130.10	1358873.88	1158	594608.47	1359151.23

ADDRESS CHART			
LOT NO	STREET ADDRESS	LOT NO	STREET ADDRESS
1	2612 TOBY LANE	14	2615 TOBY LANE
2	2616 TOBY LANE	15	2611 TOBY LANE
3	2620 TOBY LANE	16	9108 LUCYS OVERLOOK WAY
4	2624 TOBY LANE	17	9112 LUCYS OVERLOOK WAY
5	2628 TOBY LANE	18	9116 LUCYS OVERLOOK WAY
6	2632 TOBY LANE	19	9120 LUCYS OVERLOOK WAY
7	2636 TOBY LANE	20	9124 LUCYS OVERLOOK WAY
8	2640 TOBY LANE	21	9117 LUCYS OVERLOOK WAY
9	2644 TOBY LANE	22	9113 LUCYS OVERLOOK WAY
10	2648 TOBY LANE	23	9109 LUCYS OVERLOOK WAY
11	2627 TOBY LANE	24	9105 LUCYS OVERLOOK WAY
12	2623 TOBY LANE	25	9101 LUCYS OVERLOOK WAY
13	2619 TOBY LANE	26	OPEN SPACE

SHEET INDEX	
DESCRIPTION	SHEET NO
COVER SHEET	1
SITE LAYOUT & LANDSCAPE PLAN	2
SITE LAYOUT PLAN	3
SITE LAYOUT PLAN	4
GRADING, SOIL EROSION AND SEDIMENT CONTROL AND SOILS PLAN	5
GRADING, SOIL EROSION AND SEDIMENT CONTROL AND SOILS PLAN	6
GRADING, SOIL EROSION AND SEDIMENT CONTROL AND SOILS PLAN	7
GRADING, SOIL EROSION AND SEDIMENT CONTROL AND SOILS PLAN	8
HOUSE TYPES	9
GENERIC HOUSE BOXES AND LANDSCAPE NOTES & DETAILS	10
MISCELLANEOUS & STORMWATER MANAGEMENT NOTES & DETAILS	11



VICINITY MAP
SCALE: 1"=2000'
ADC MAP COORDINATE: PG. 4815 G3

BENCHMARKS
HOWARD COUNTY BENCHMARK - 17EA (CONC. MONUMENT)
N 594357.62 E 1357519.37 ELEV. 478.77
LOCATION: FRONT OF MT. HEBRON H.S.
(ROUTE 99 AND ST. JOHN'S LA)

HOWARD COUNTY BENCHMARK - 17EB (CONC. MONUMENT)
N 593813.86 E 1355731.85 ELEV. 453.48
LOCATION: ROUTE 99, 0.35 MILES WEST OF ST. JOHN'S LA

LEGEND	
[Symbol]	PROPERTY LINE
[Symbol]	RIGHT-OF-WAY LINE
[Symbol]	ADJACENT PROPERTY LINE
[Symbol]	EXISTING CURB AND GUTTER
[Symbol]	EXISTING UTILITY POLE
[Symbol]	EXISTING LIGHT POLE
[Symbol]	EXISTING MAILBOX
[Symbol]	EXISTING SIGN
[Symbol]	EXISTING SANITARY MANHOLE
[Symbol]	EXISTING SANITARY LINE
[Symbol]	EXISTING CLEANOUT
[Symbol]	EXISTING FIRE HYDRANT
[Symbol]	EXISTING WATER LINE
[Symbol]	EXISTING USE-IN-COMMON ROW (L 1491 / F 16)(L 8387 / F 610)
[Symbol]	EXISTING USE-IN-COMMON ACCESS EASEMENT (L 10792 / F 354) (PLAT #7110)
[Symbol]	EXISTING TREELINE
[Symbol]	EXISTING FENCE
[Symbol]	CENTERLINE OF EXISTING STREAM
[Symbol]	EXISTING STORMDRAIN
[Symbol]	EXISTING STORMDRAIN INLET
[Symbol]	EXISTING SIDEWALK
[Symbol]	EXISTING RECREATIONAL OPEN SPACE (F-11-064)
[Symbol]	EXISTING CREDITED OPEN SPACE (F-11-064)
[Symbol]	EXISTING PUBLIC DRAINAGE, SWM & UTILITY EASEMENT (F-11-064)
[Symbol]	EXISTING PUBLIC DRAINAGE, SWM & UTILITY EASEMENT (F-11-064)

PERMIT INFORMATION CHART				
SUBDIVISION NAME	SECTION/AREA	LOTS/PARCEL #	DATE	
MOUNT HEBRON OVERLOOK	LOTS 1 - 25 AND OPEN SPACE LOT 26	77, 78 & 146	7/7, 2012	
PLAT # OR L/F	BLOCK NO.	ZONE	TAX MAP NO	ELECT. DIST.
21906	16 & 17	R-20	17	2ND
21906				6021.00

* THE PROPERTY IS ZONED R-20 BUT WILL UTILIZE THE R-ED ZONING REGULATIONS PER SP-09-004

OWNERS
DOUBLE R. VENTURES, LLC.
C/O LAND DESIGN & DEVELOPMENT, INC.
5300 DORSEY HALL DR. STE 102
ELLCOTT CITY, MARYLAND 21042-7819
ATTN: MR. DONALD R. REUWER
443-367-0422

BUILDER
NVM HOMES
9720 PATUXENT WOODS DRIVE
COLUMBIA, MARYLAND 21046
(410) 796-0908

DEVELOPER
ELLCOTT CITY LAND HOLDING, INC.
5300 DORSEY HALL DR. STE 102
ELLCOTT CITY, MARYLAND 21042-7819
ATTN: MR. DONALD R. REUWER
443-367-0422

NO.	REVISION	DATE
1	REVISED PUBLIC STREET DRAINAGE EASEMENT UNDER ON LOT 4 FROM 10' TO 75'	6/14/12
2	REVISED PERMIT INFORMATION CHART	6/14/12

SITE DEVELOPMENT PLAN
COVER SHEET
MOUNT HEBRON OVERLOOK
LOTS 1-25

TAX MAP 17 GRID 16,17
2ND ELECTION DISTRICT
PREVIOUS SUBMISSIONS: F-87-100, ECP-10-013, CONT. #14-4684-D, SP-10-007, PB-389
WP 11-028, F-11-064, WP 12-147

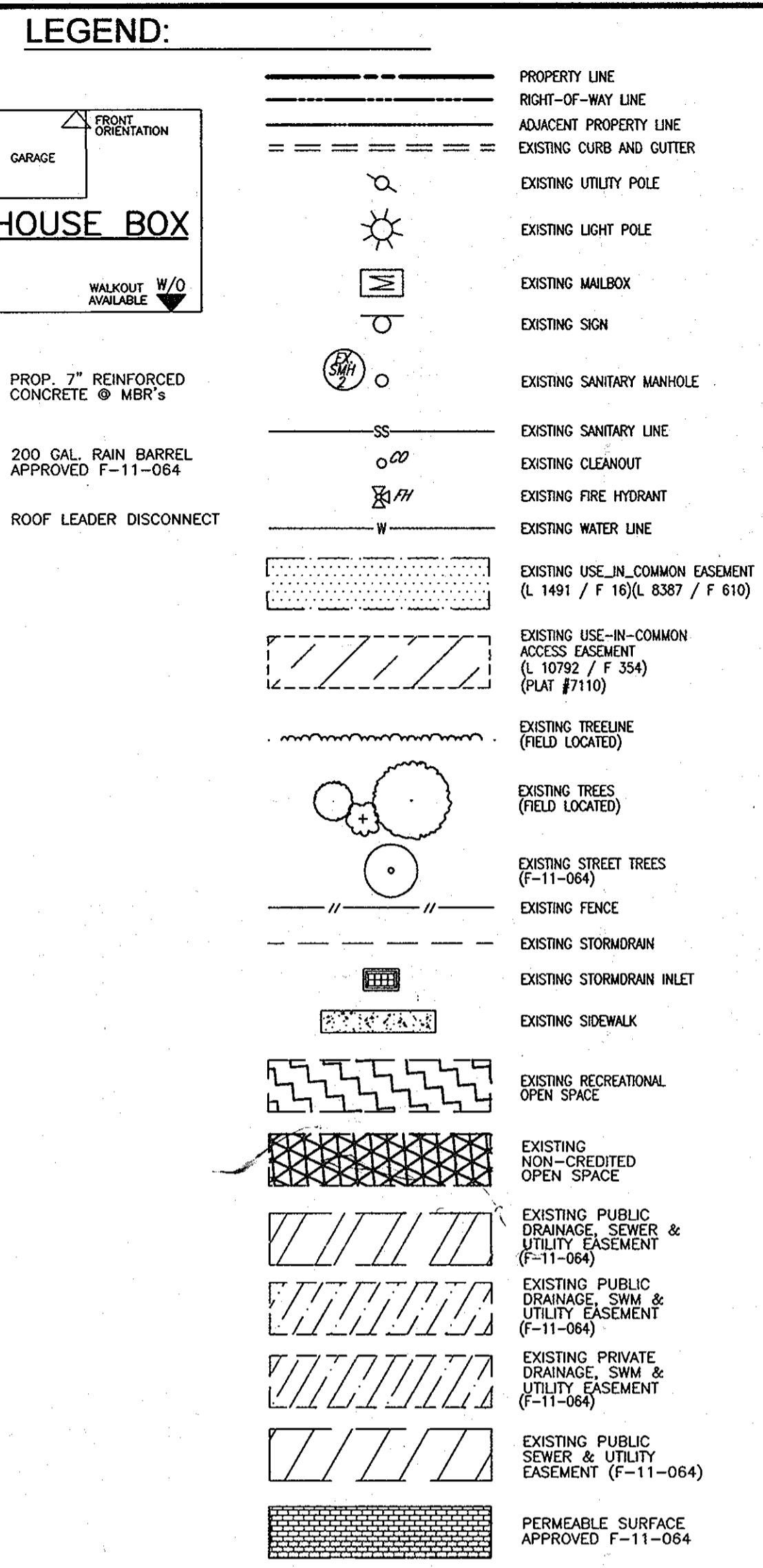
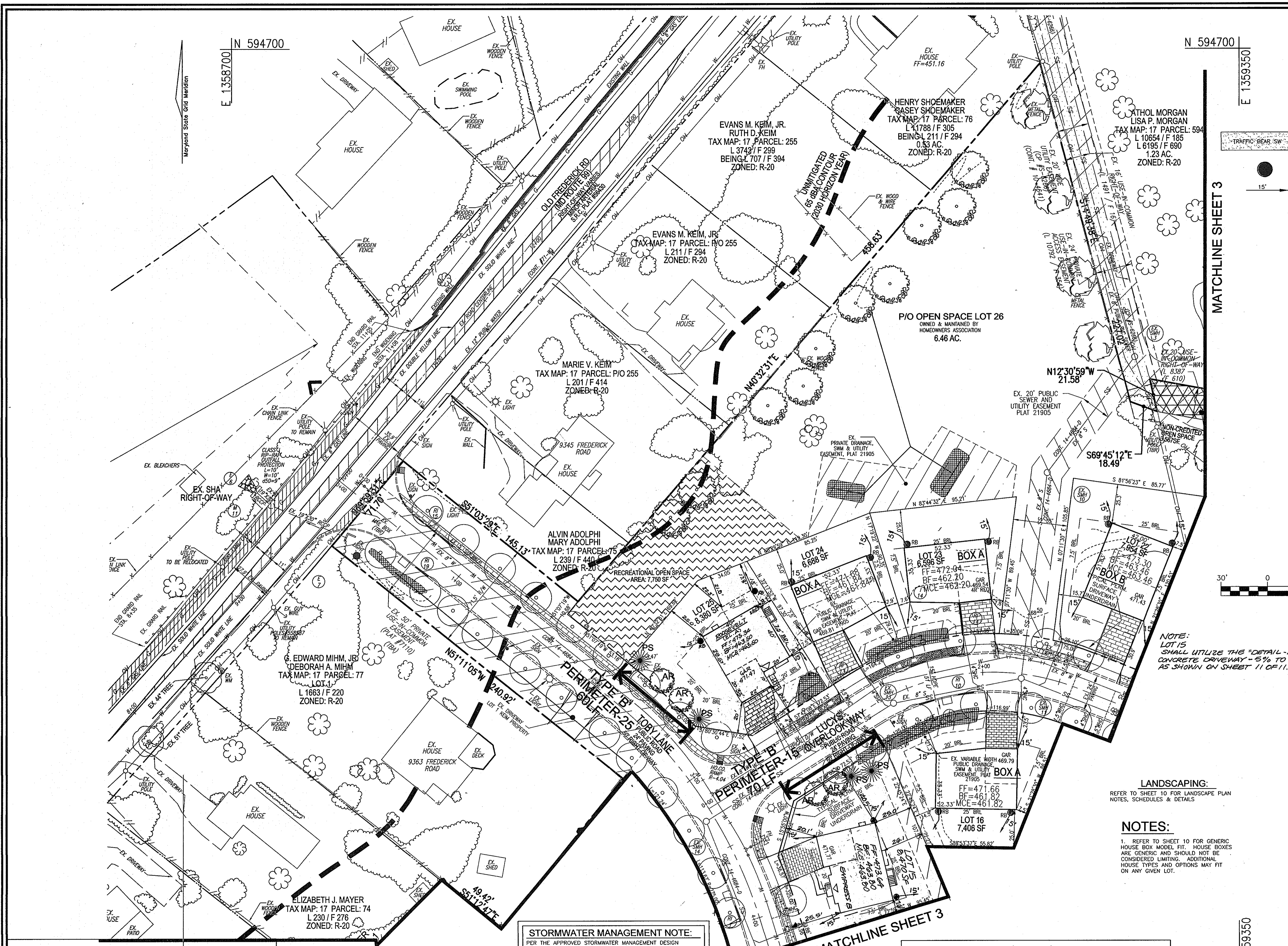
PARCELS 77, 78 & 416
HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET
ELLCOTT CITY, MD 21043
TEL: 410.461.7666
FAX: 410.461.8961

PROFESSIONAL CERTIFICATE
DESIGN BY: JTD/EDS
DRAWN BY: EDS
CHECKED BY: JTD
DATE: JULY 2012
SCALE: AS SHOWN
W.O. NO.: 10-06

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 11438, EXPIRES 12-31-2012.

1 SHEET OF 11



OWNERS
 DOUBLE R. VENTURES, LLC.
 C/O LAND DESIGN & DEVELOPMENT, INC.
 5300 DORSEY HALL DR. STE 102
 ELLICOTT CITY, MARYLAND 21042-7819
 ATTN: MR. DONALD R. REUWER
 443-367-0422

BUILDER
 MV HOMES
 9720 PATUKENT WOODS DRIVE
 COLUMBIA, MARYLAND 21046
 (410) 796-0908

DEVELOPER
 ELLICOTT CITY LAND HOLDING, INC.
 5300 DORSEY HALL DR. STE 102
 ELLICOTT CITY, MARYLAND 21042-7819
 ATTN: MR. DONALD R. REUWER
 443-367-0422

NOTE:
 LOT 15 SHALL UTILIZE THE "DETAIL-PERMEABLE CONCRETE DRIVEWAY - 5% TO 8% (MAX)" AS SHOWN ON SHEET 11 OF 11.

LANDSCAPING:
 REFER TO SHEET 10 FOR LANDSCAPE PLAN NOTES, SCHEDULES & DETAILS

NOTES:
 1. REFER TO SHEET 10 FOR GENERIC HOUSE BOX MODEL FIT. HOUSE BOXES ARE GENERIC AND SHOULD NOT BE CONSIDERED LIMITING. ADDITIONAL HOUSE TYPES AND OPTIONS MAY FIT ON ANY GIVEN LOT.

STORMWATER MANAGEMENT NOTE:
 PER THE APPROVED STORMWATER MANAGEMENT DESIGN ASSOCIATED WITH F-11-064:
 1. ALL LOTS / UNITS SHALL HAVE TWO (2) RAIN BARRELS LOCATED AT THE REAR OF THE UNIT CAPTURING RUNOFF FROM TWO (2) GUTTER DOWN SPOUTS IN ACCORDANCE WITH DETAILS HEREON.
 2. ALL UNITS SHALL HAVE PERMEABLE SURFACE DRIVEWAYS. SEE DETAILS SHEET 11. THIS SDP WAS PREPARED WITH GENERIC HOUSE BOXES FOR HOUSE SITING PURPOSES. FOR DRIVEWAYS GREATER THAN 8% UPON FINAL MODEL DETERMINATION, ALTERNATIVE STORMWATER MANAGEMENT MEASURES SHALL BE PROVIDED.
 3. WHERE SHOWN HEREON, PERMEABLE SURFACE SIDEWALKS ARE TO BE PROVIDED.

DEVELOPER/BUILDER'S CERTIFICATE
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.
 SIGNATURE OF DEVELOPER: _____ DATE: 7/6/12

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DIRECTOR
 DATE: 7/11/12
 DATE: 7/12/12
 DATE: 7/12/12

MATCHLINE SHEET 3

LAYOUT PLAN
 SCALE: 1"=30'

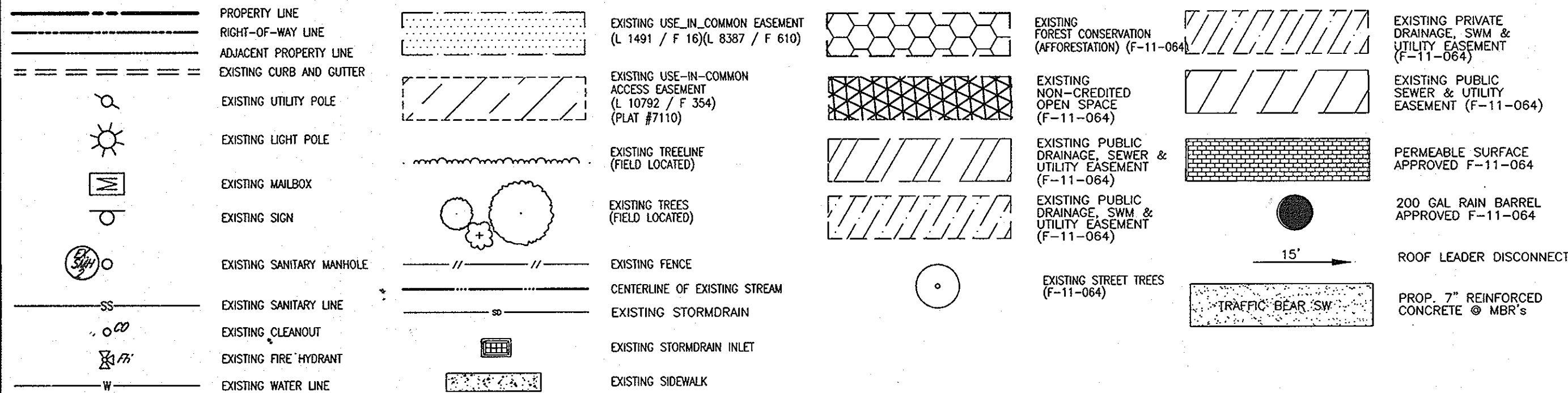
NO.	REVISION	DATE
2	SHOW ROOSEVELT EL A ON LOT 25	12/2/12
1	ADD EXPRESS B TO LOT 15	9/19/12

SITE DEVELOPMENT PLAN
SITE LAYOUT & LANDSCAPE PLAN
MOUNT HEBRON OVERLOOK
 LOTS 1-25
 TAX MAP 17 GRID 16.17
 2ND ELECTION DISTRICT
 PREVIOUS SUBMITTALS: F-87-100, ECP-10-013, CONT. #14-4684-D, SP-10-007, PB-389
 WP 11-028, F-11-064, WP 12-147
 PARCELS 77, 78 & 416
 HOWARD COUNTY, MARYLAND

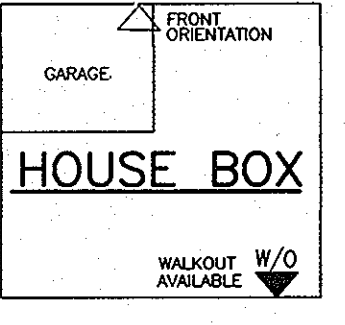
ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET
 ELLICOTT CITY, MD 21043
 TEL: 410.461.7666
 FAX: 410.461.8961

PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 DESIGN BY: JTD/EDS
 DRAWN BY: JTD
 CHECKED BY: EDS
 DATE: JULY 2012
 SCALE: 1" = 30'
 W.O. NO.: 10-06
 2 SHEET OF 11

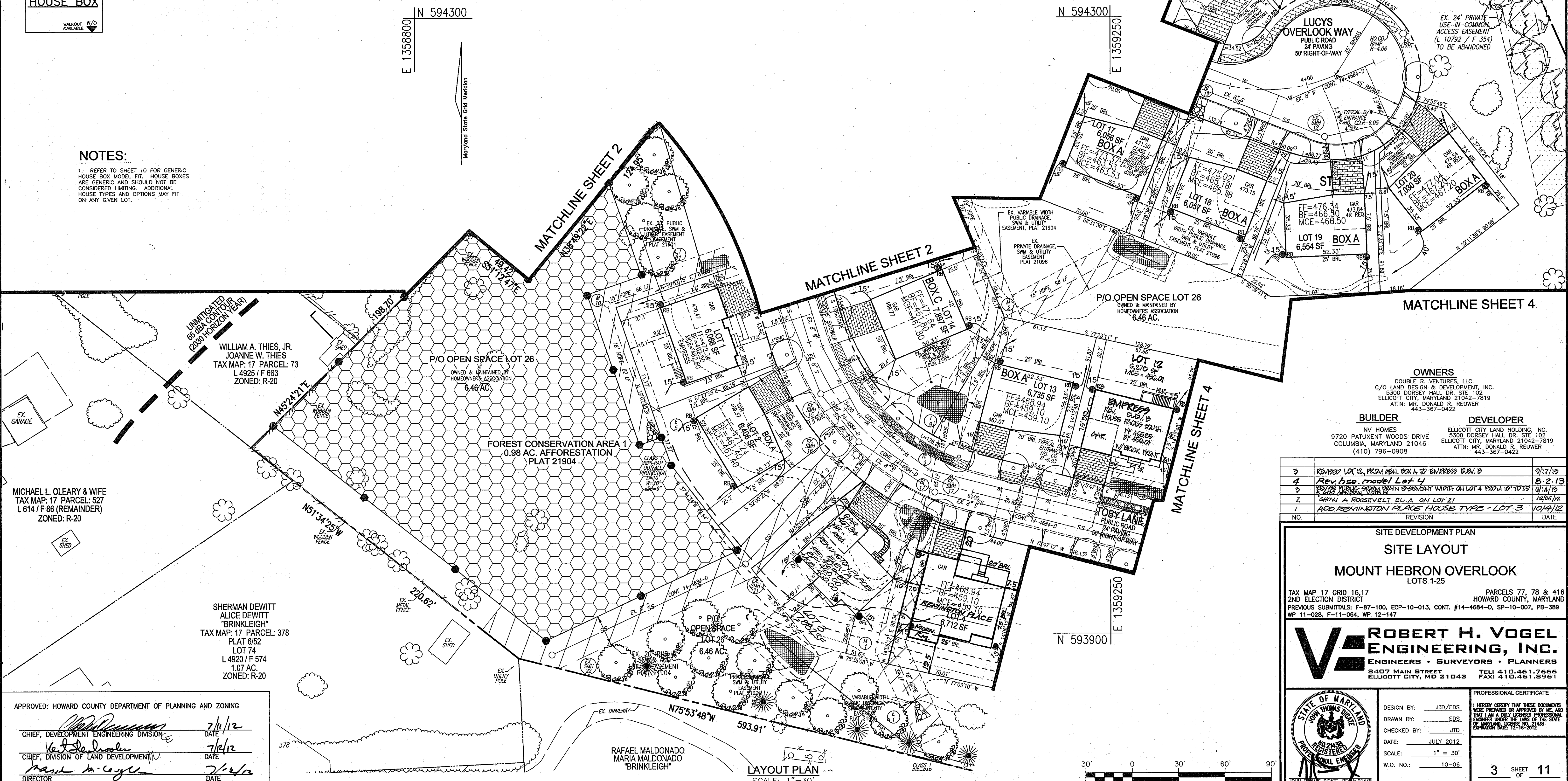
LEGEND



STORMWATER MANAGEMENT NOTE:
PER THE APPROVED STORMWATER MANAGEMENT DESIGN ASSOCIATED WITH F-11-064:
1. ALL LOTS / UNITS SHALL HAVE TWO (2) RAIN BARRELS LOCATED AT THE REAR OF THE UNIT CAPTURING RUNOFF FROM TWO (2) CUTTER DOWN SPOUTS IN ACCORDANCE WITH DETAILS HEREON.
2. ALL UNITS SHALL HAVE PERMEABLE SURFACE DRIVEWAYS. SEE DETAILS SHEET 11. THIS SDP WAS PREPARED WITH GENERIC HOUSE BOXES FOR HOUSE SITING PURPOSES. FOR DRIVEWAYS GREATER THAN 8X UPON FINAL MODEL DETERMINATION, ALTERNATIVE STORMWATER MANAGEMENT MEASURES SHALL BE PROVIDED.
3. WHERE SHOWN HEREON, PERMEABLE SURFACE SIDEWALKS ARE TO BE PROVIDED



NOTES:
1. REFER TO SHEET 10 FOR GENERIC HOUSE BOX MODEL FIT. HOUSE BOXES ARE GENERIC AND SHOULD NOT BE CONSIDERED LIMITING. ADDITIONAL HOUSE TYPES AND OPTIONS MAY FIT ON ANY GIVEN LOT.



MATCHLINE SHEET 4

OWNERS
DOUBLE R. VENTURES, LLC.
C/O LAND DESIGN & DEVELOPMENT, INC.
5300 DORSEY HALL DR. STE 102
ELLCOTT CITY, MARYLAND 21042-7819
ATTN: MR. DONALD R. REUWER
443-367-0422

BUILDER
NV HOMES
9720 PATUXENT WOODS DRIVE
COLUMBIA, MARYLAND 21046
(410) 796-0908

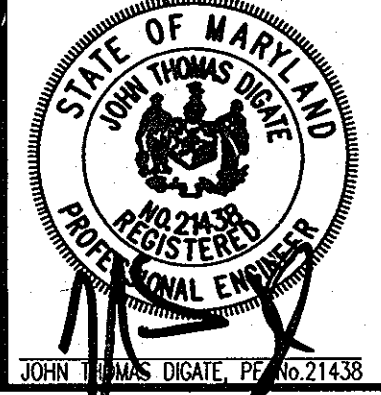
DEVELOPER
ELLCOTT CITY LAND HOLDING, INC.
5300 DORSEY HALL DR. STE 102
ELLCOTT CITY, MARYLAND 21042-7819
ATTN: MR. DONALD R. REUWER
443-367-0422

3	REVISED LOT 12, FROM GEN. BOX A TO EMPRESS ROW, B	9/17/13
4	REV. HSE. MODEL LOT 4	8-2-13
2	REVISED LOT 12 FROM GEN. BOX A TO EMPRESS ROW, B	9/17/13
1	SHOW A ROOSEVELT EL. A ON LOT 21	12/06/12
0	ADD REMINGTON PLACE HOUSE TYPE - LOT 3	10/14/12
NO.	REVISION	DATE

SITE DEVELOPMENT PLAN
SITE LAYOUT
MOUNT HEBRON OVERLOOK
LOTS 1-25

TAX MAP 17 GRID 16.17 PARCELS 77, 78 & 416
2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
PREVIOUS SUBMITTALS: F-87-100, ECP-10-013, CONT. #14-4684-D, SP-10-007, PB-389
WP 11-028, F-11-064, WP 12-147

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET TEL: 410.461.7666
ELLCOTT CITY, MD 21043 FAX: 410.461.8961



PROFESSIONAL CERTIFICATE

DESIGN BY: JTD/EDS.
DRAWN BY: EDS.
CHECKED BY: JTD.
DATE: JULY, 2012.
SCALE: 1" = 30'
W.O. NO.: 10-06

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A duly licensed PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 11483, EXPIRATION DATE 12-16-2012.

3 SHEET OF 11

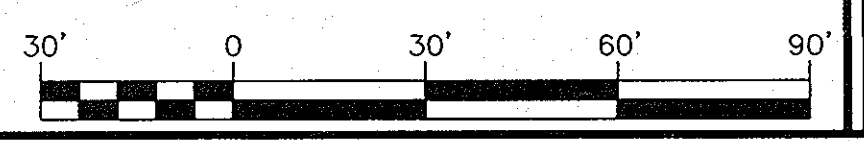
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: 7/11/12

CHIEF, DIVISION OF LAND DEVELOPMENT DATE: 7/12/12

DIRECTOR DATE: 7/12/12

LAYOUT PLAN
SCALE: 1"=30'



NOTES:

1. REFER TO SHEET 10 FOR GENERIC HOUSE BOX MODEL FIT. HOUSE BOXES ARE GENERIC AND SHOULD NOT BE CONSIDERED LIMITING. ADDITIONAL HOUSE TYPES AND OPTIONS MAY FIT ON ANY GIVEN LOT.

STORMWATER MANAGEMENT NOTE:

- PER THE APPROVED STORMWATER MANAGEMENT DESIGN ASSOCIATED WITH F 11-064:
1. ALL LOTS / UNITS SHALL HAVE TWO (2) RAIN BARRELS LOCATED AT THE REAR OF THE UNIT CAPTURING RUNOFF FROM TWO (2) CUTTER DOWN SPOUTS IN ACCORDANCE WITH DETAILS HEREON.
 2. ALL UNITS SHALL HAVE PERMEABLE SURFACE DRIVEWAYS. SEE DETAILS SHEET 11. THIS SDP WAS PREPARED WITH GENERIC HOUSE BOXES FOR HOUSE SITING PURPOSES. FOR DRIVEWAYS GREATER THAN 8% UPON FINAL MODEL DETERMINATION, ALTERNATIVE STORMWATER MANAGEMENT MEASURES SHALL BE PROVIDED.
 3. WHERE SHOWN HEREON, PERMEABLE SURFACE SIDEWALKS ARE TO BE PROVIDED.

LEGEND:

---	PROPERTY LINE	---	EXISTING STORMDRAIN INLET
---	RIGHT-OF-WAY LINE	---	EXISTING SIDEWALK
---	ADJACENT PROPERTY LINE	---	EXISTING FOREST CONSERVATION (AFFORESTATION) (F-11-064)
---	EXISTING CURB AND GUTTER	---	EXISTING PUBLIC DRAINAGE, SWM & UTILITY EASEMENT (F-11-064)
---	EXISTING UTILITY POLE	---	EXISTING PRIVATE DRAINAGE, SWM & UTILITY EASEMENT (F-11-064)
---	EXISTING LIGHT POLE	---	EXISTING PUBLIC DRAINAGE & UTILITY EASEMENT (F-11-064)
---	EXISTING MAILBOX	---	EXISTING WETLAND
---	EXISTING SIGN	---	PERMEABLE SURFACE APPROVED F-11-064
---	EXISTING SANITARY MANHOLE	---	200 GAL. RAIN BARREL APPROVED F-11-064
---	EXISTING SANITARY LINE	---	15' ROOF LEADER DISCONNECT
---	EXISTING CLEANOUT	---	HOUSE BOX
---	EXISTING FIRE HYDRANT	---	WALKOUT AVAILABLE
---	EXISTING WATER LINE	---	TRAFFIC REAR SW
---	EXISTING TREE LINE (FIELD LOCATED)	---	PROP. 7" REINFORCED CONCRETE @ MBR'S
---	EXISTING TREES (FIELD LOCATED)	---	
---	EXISTING STREET TREES (F-11-064)	---	
---	EXISTING FENCE	---	
---	CENTERLINE OF EXISTING STREAM	---	
---	EXISTING STORMDRAIN	---	

N 594100
E 1359150

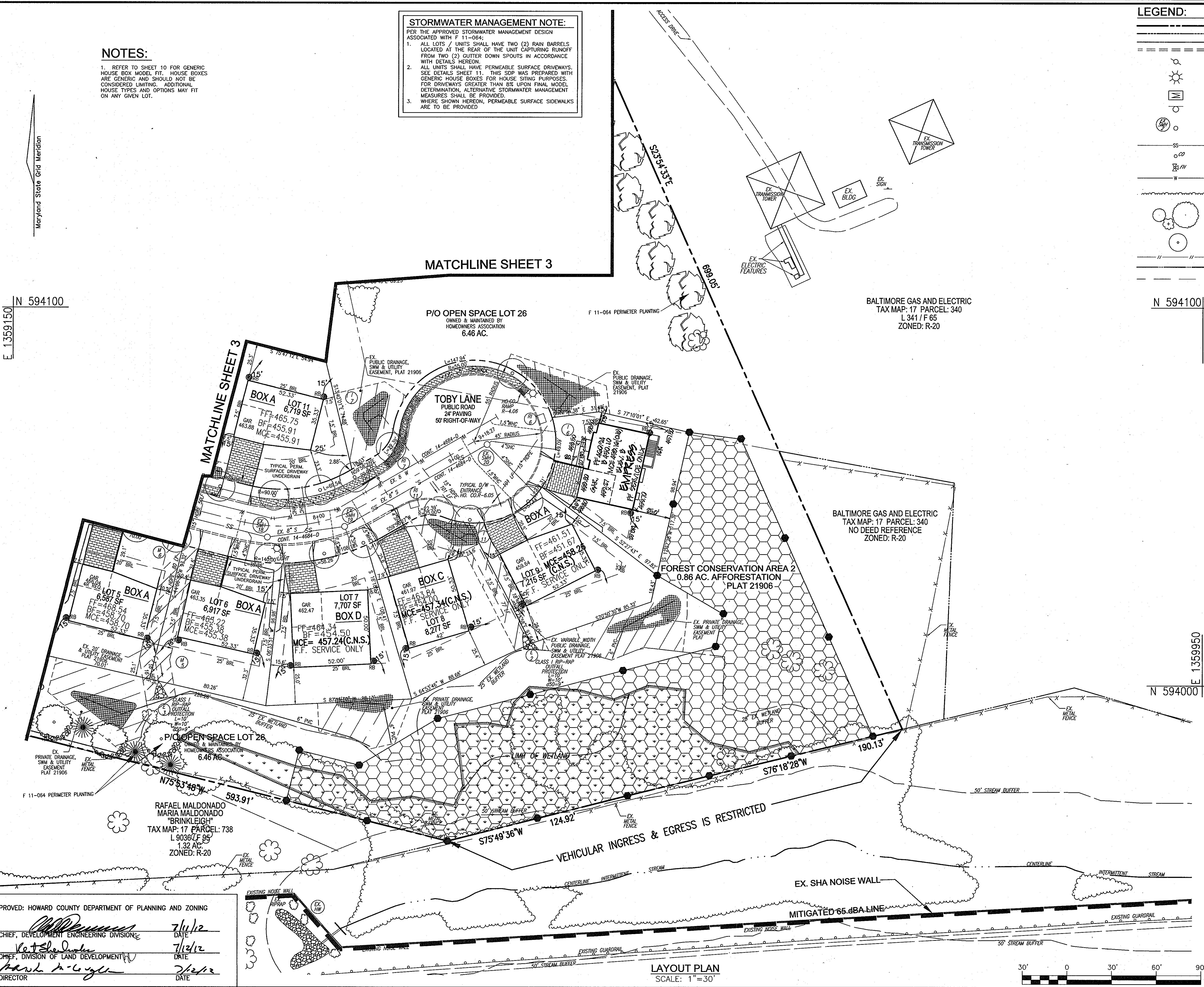
N 594100
E 1359950

MATCHLINE SHEET 3

P/O OPEN SPACE LOT 26
OWNED & MAINTAINED BY HOMEOWNERS ASSOCIATION
6.46 AC.

BALTIMORE GAS AND ELECTRIC
TAX MAP: 17 PARCEL: 340
L 341 / F 65
ZONED: R-20

BALTIMORE GAS AND ELECTRIC
TAX MAP: 17 PARCEL: 340
NO DEED REFERENCE
ZONED: R-20



OWNERS
DOUBLE R. VENTURES, LLC.
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ATTN: MR. DONALD R. REUWER 443-367-0422

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COLUMBIA, MARYLAND 21046
(410) 796-0908

DEVELOPER
ELLCOTT CITY LAND HOLDING, INC.
5300 DORSEY HALL DR. STE 102
ELLCOTT CITY, MARYLAND 21042-7819
ATTN: MR. DONALD R. REUWER 443-367-0422

NO.	REVISION	DATE
1	REVISED PER COMMENTS FROM PLAN REVIEW BY HOWARD COUNTY	10/26/12

SITE DEVELOPMENT PLAN
SITE LAYOUT
MOUNT HEBRON OVERLOOK
LOTS 1-25

TAX MAP 17 GRID 16,17
2ND ELECTION DISTRICT
PREVIOUS SUBMITTALS: F-87-100, ECP-10-013, CONT. #14-4684-D, SP-10-007, PB-389
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PARCELS 77, 78 & 416
HOWARD COUNTY, MARYLAND

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ELLCOTT CITY, MD 21043
TEL: 410.461.7666
FAX: 410.461.8961

PROFESSIONAL CERTIFICATE

DESIGN BY: JTD/EDS
DRAWN BY: EDS
CHECKED BY: JTD
DATE: JULY 2012
SCALE: 1" = 30'
W.O. NO.: 10-08

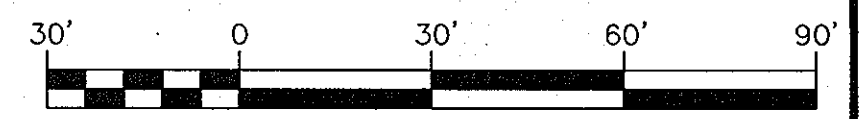
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21438 EXPIRES 12-15-2012

4 SHEET OF 11

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION: *[Signature]* 7/11/12
CHIEF, DIVISION OF LAND DEVELOPMENT: *[Signature]* 7/12/12
DIRECTOR: *[Signature]* 7/21/12

LAYOUT PLAN
SCALE: 1"=30'



LEGEND

PROPERTY LINE	EXISTING USE-IN-COMMON EASEMENT (L 1491 / F 16) (L 8387 / F 610)	EXISTING FOREST CONSERVATION (AFFORESTATION) (F-11-064)	EXISTING PRIVATE DRAINAGE, SWM & UTILITY EASEMENT (F-11-064)
RIGHT-OF-WAY LINE	EXISTING USE-IN-COMMON ACCESS EASEMENT (L 10792 / F 354) (PLAT #7110)	EXISTING NON-CREDITED OPEN SPACE (F-11-064)	EXISTING PUBLIC SEWER & UTILITY EASEMENT (F-11-064)
ADJACENT PROPERTY LINE	EXISTING TREE LINE (FIELD LOCATED)	EXISTING PUBLIC DRAINAGE, SEWER & UTILITY EASEMENT (F-11-064)	MODERATE SLOPES (13% - 24.99%)
EXISTING CURB AND GUTTER	EXISTING TREES (FIELD LOCATED)	EXISTING PUBLIC DRAINAGE, SWM & UTILITY EASEMENT (F-11-064)	STEEP SLOPE (>25%)
EXISTING UTILITY POLE	EXISTING FENCE	EXISTING STREET TREES (F-11-064)	SILT FENCE
EXISTING LIGHT POLE	EXISTING STORMDRAIN INLET	SOILS BOUNDARY	SUPER SILT FENCE
EXISTING MAILBOX	EXISTING SIDEWALK	PROPOSE SPOTS	LIMIT OF DISTURBANCE
EXISTING SIGN	EROSION CONTROL MATING	ROOF LEADER DISCONNECT	STABILIZED CONSTRUCTION ENTRANCE
EXISTING SANITARY MANHOLE			
EXISTING SANITARY LINE			
EXISTING CLEANOUT			
EXISTING FIRE HYDRANT			
EXISTING WATER LINE			

SOILS LEGEND

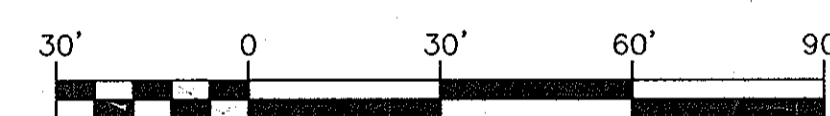
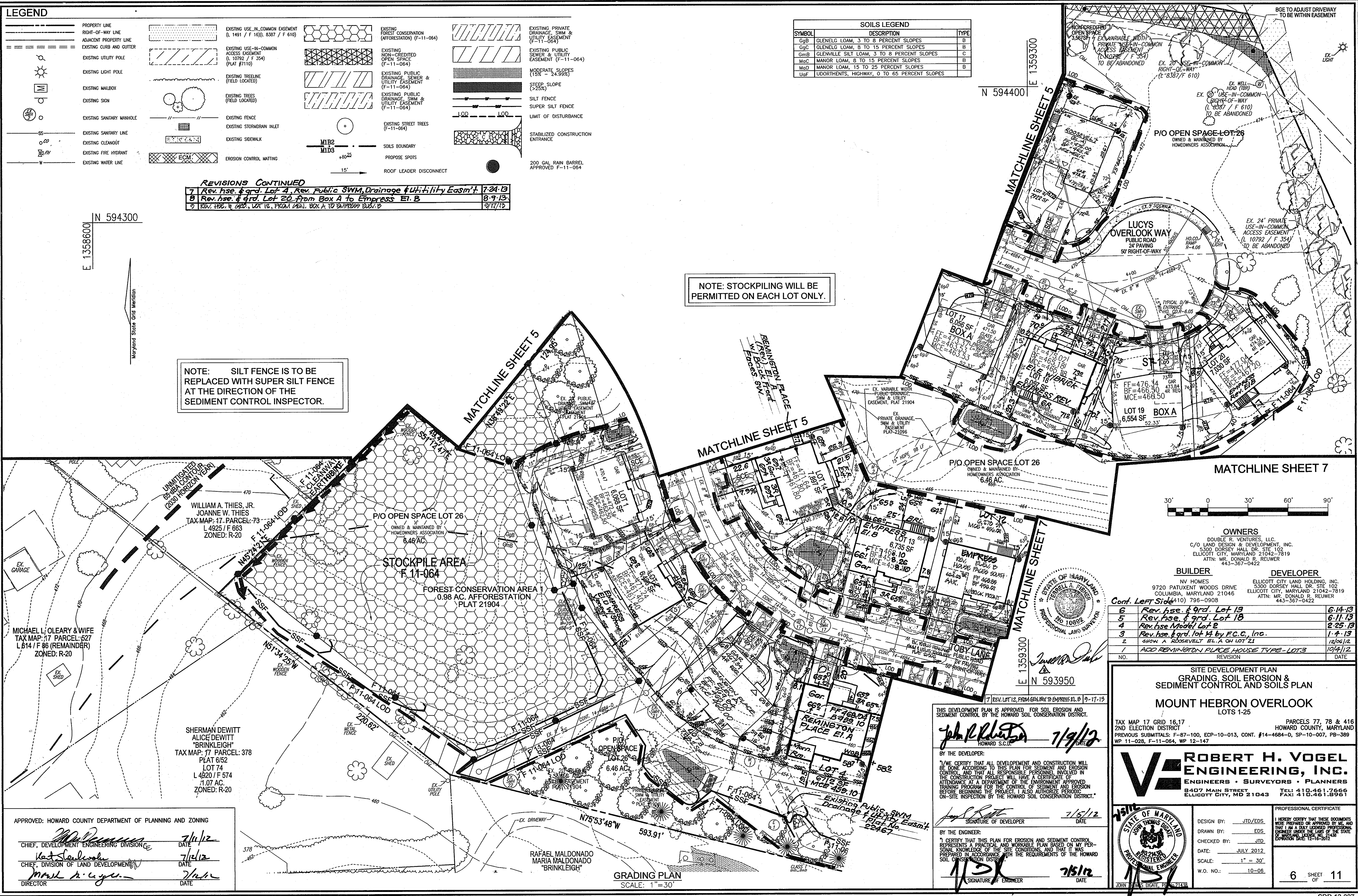
SYMBOL	DESCRIPTION	TYPE
GgB	GLENELO LOAM, 3 TO 8 PERCENT SLOPES	B
GgC	GLENELO LOAM, 8 TO 15 PERCENT SLOPES	B
GmB	GLENELO SILT LOAM, 3 TO 8 PERCENT SLOPES	C
MdC	MANOR LOAM, 8 TO 15 PERCENT SLOPES	B
MdD	MANOR LOAM, 15 TO 25 PERCENT SLOPES	B
UdF	UDORTMENTS, HIGHWAY, 0 TO 65 PERCENT SLOPES	B

REVISIONS CONTINUED

7	Rev. hse. & grd. Lot 4, Rev. Public SWM, Drainage & Utility Easmt. 7-24-13	7-24-13
8	Rev. hse. & grd. Lot 20 from Box A to Express El. B 8-9-13	8-9-13
9	Rev. hse. & grd. Lot 12, FROM GEN. BOX A TO EXPRESS EL. B 9-17-13	9-17-13

NOTE: STOCKPILING WILL BE PERMITTED ON EACH LOT ONLY.

NOTE: SILT FENCE IS TO BE REPLACED WITH SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.



OWNERS
DOUBLE R. VENTURES, LLC.
C/O LAND DESIGN & DEVELOPMENT, INC.
5300 DORSEY HALL DR. STE 102
ELLICOTT CITY, MARYLAND 21042-7819
ATTN: MR. DONALD R. REUWER
443-387-0422

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DEVELOPER
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ELLICOTT CITY, MARYLAND 21042-7819
ATTN: MR. DONALD R. REUWER
443-387-0422

6	Rev. hse. & grd. Lot 13	6-14-13
5	Rev. hse. & grd. Lot 18	6-11-13
4	Rev. hse. Model Lot 2	2-25-13
3	Rev. hse. & grd. Lot 14 by F.C.C. Inc.	1-4-13
2	SHOW A ROOSEVELT EL. A ON LOT 21	12/06/12
1	ADD REMINGTON PLACE HOUSE TYPE - LOT 3	10/4/12
NO.	REVISION	DATE



THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Redden 7/9/12
HOWARD S.C.D.

BY THE DEVELOPER:
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Redden 7/15/12
SIGNATURE OF DEVELOPER DATE

BY THE ENGINEER:
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRINCIPAL AND WORKING PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Robert H. Vogel 7/15/12
SIGNATURE OF ENGINEER DATE

**SITE DEVELOPMENT PLAN
GRADING, SOIL EROSION &
SEDIMENT CONTROL AND SOILS PLAN**

**MOUNT HEBRON OVERLOOK
LOTS 1-25**

TAX MAP 17 GRID 16,17
2ND ELECTION DISTRICT
PREVIOUS SUBMITTALS: F-87-100, ECP-10-013, CONT. #14-4684-D, SP-10-007, PB-389
WP 11-028, F-11-064, WP 12-147

PARCELS 77, 78 & 416
HOWARD COUNTY, MARYLAND

**ROBERT H. VOGEL
ENGINEERING, INC.**
ENGINEERS • SURVEYORS • PLANNERS

8407 MAIN STREET
ELLICOTT CITY, MD 21043
TEL: 410.461.7666
FAX: 410.461.8961

PROFESSIONAL CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

DESIGN BY: JTD/EDS.
DRAWN BY: JTD
CHECKED BY: EDS
DATE: JULY 2012.
SCALE: 1" = 30'
W.O. NO.: 10-06

6 SHEET OF 11

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Mark A. C. ... 7/11/12
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Mark A. C. ... 7/12/12
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Mark A. C. ... 7/12/12
DIRECTOR DATE

GRADING PLAN
SCALE: 1" = 30'

RAFAEL MALDONADO
MARIA MALDONADO
"BRINKLEIGH"

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John K. Robinson 7/19/12
 HOWARD S.C.D. DATE

BY THE DEVELOPER:
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

John K. Robinson 7/5/12
 SIGNATURE OF DEVELOPER DATE

BY THE ENGINEER:
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

John K. Robinson 7/5/12
 SIGNATURE OF ENGINEER DATE

NOTE: SILT FENCE IS TO BE REPLACED WITH SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

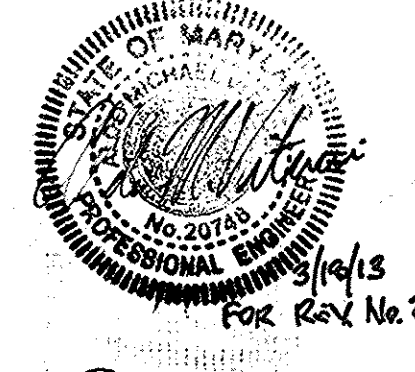
NOTE: STOCKPILING WILL BE PERMITTED ON EACH LOT ONLY.

SOILS LEGEND		
SYMBOL	DESCRIPTION	TYPE
G3B	GLENELG LOAM, 3 TO 8 PERCENT SLOPES	B
G3C	GLENELG LOAM, 8 TO 15 PERCENT SLOPES	B
G3B	GLENVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES	C
M3C	MANOR LOAM, 8 TO 15 PERCENT SLOPES	B
M3D	MANOR LOAM, 15 TO 25 PERCENT SLOPES	B
U3F	UDORTMENTS, HIGHWAY, 0 TO 65 PERCENT SLOPES	B

LEGEND:	
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	ADJACENT PROPERTY LINE
	EXISTING CURB AND GUTTER
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING MAILBOX
	EXISTING SIGN
	EXISTING SANITARY MANHOLE
	EXISTING SANITARY LINE
	EXISTING CLEANOUT
	EXISTING FIRE HYDRANT
	EXISTING WATER LINE
	SOILS BOUNDARY
	EXISTING USE-IN-COMMON EASEMENT (L 1491 / F 16)(L 8387 / F 610)
	EXISTING USE-IN-COMMON ACCESS EASEMENT (L 10792 / F 354) (PLAT #7110)
	EXISTING TREE LINE
	EXISTING TREES (FIELD LOCATED)
	EXISTING STREET TREES (F-11-064)
	EXISTING FENCE
	EXISTING STORM DRAIN
	EXISTING STORM DRAIN INLET
	EXISTING SIDEWALK
	PROPOSE SPOTS
	EXISTING FOREST CONSERVATION (AFFORESTATION) (F-11-064)
	EXISTING PUBLIC DRAINAGE, SWM & UTILITY EASEMENT (F-11-064)
	EXISTING PRIVATE DRAINAGE, SWM & UTILITY EASEMENT (F-11-064)
	EXISTING PUBLIC DRAINAGE & UTILITY EASEMENT (F-11-064)
	EXISTING WETLAND
	MODERATE SLOPES (15% - 24.99%)
	STEEP SLOPE (>25%)
	SILT FENCE
	SUPER SILT FENCE
	LIMIT OF DISTURBANCE
	STABILIZED CONSTRUCTION ENTRANCE
	EROSION CONTROL MATTING
	ROOF LEADER DISCONNECT
	200 GAL RAIN BARREL APPROVED F-11-064

N 594100
 E 1359150

N 594100
 E 1359950



OWNERS
 DOUBLE R VENTURES, LLC
 C/O LAND DESIGN & DEVELOPMENT, INC.
 5300 DORSEY HALL DR. STE 102
 ELLICOTT CITY, MARYLAND 21042-7819
 ATTN: MR. DONALD R. REUWER
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 ATTN: MR. DONALD R. REUWER
 443-367-0422

NO.	REVISION	DATE
5	REV. HSE. & GRADING LOT 7, TO EMPRESS BLA. W/ HORIZ. L.M.	2/4/14
4	REV. HSE. & GRADING LOT 10, FROM MEAL BOX 'A' TO EMPRESS BLA BY REVISION	10/05/13
3	Rev. hse. & grad. lot 8 by F.C.C.	7-15-13
2	Rev. hse. & grad. lot 5 by F.C. & C., Inc.	3-18-13
1	Rev. hse. & grad. lot 11 by F.C. & C., Inc.	3-15-13

SITE DEVELOPMENT PLAN
GRADING, SOIL EROSION & SEDIMENT CONTROL AND SOILS PLAN
MOUNT HEBRON OVERLOOK
 LOTS 1-25

TAX MAP 17 GRID 16,17
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7 SHEET OF 11

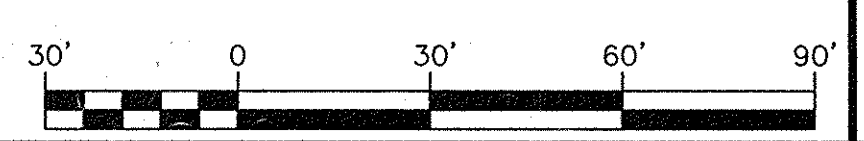
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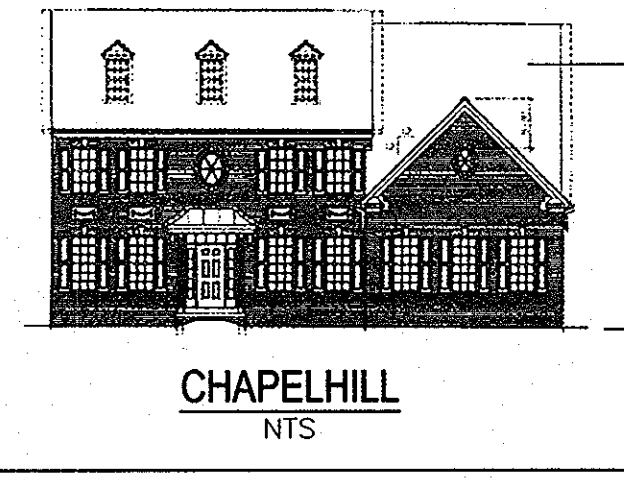
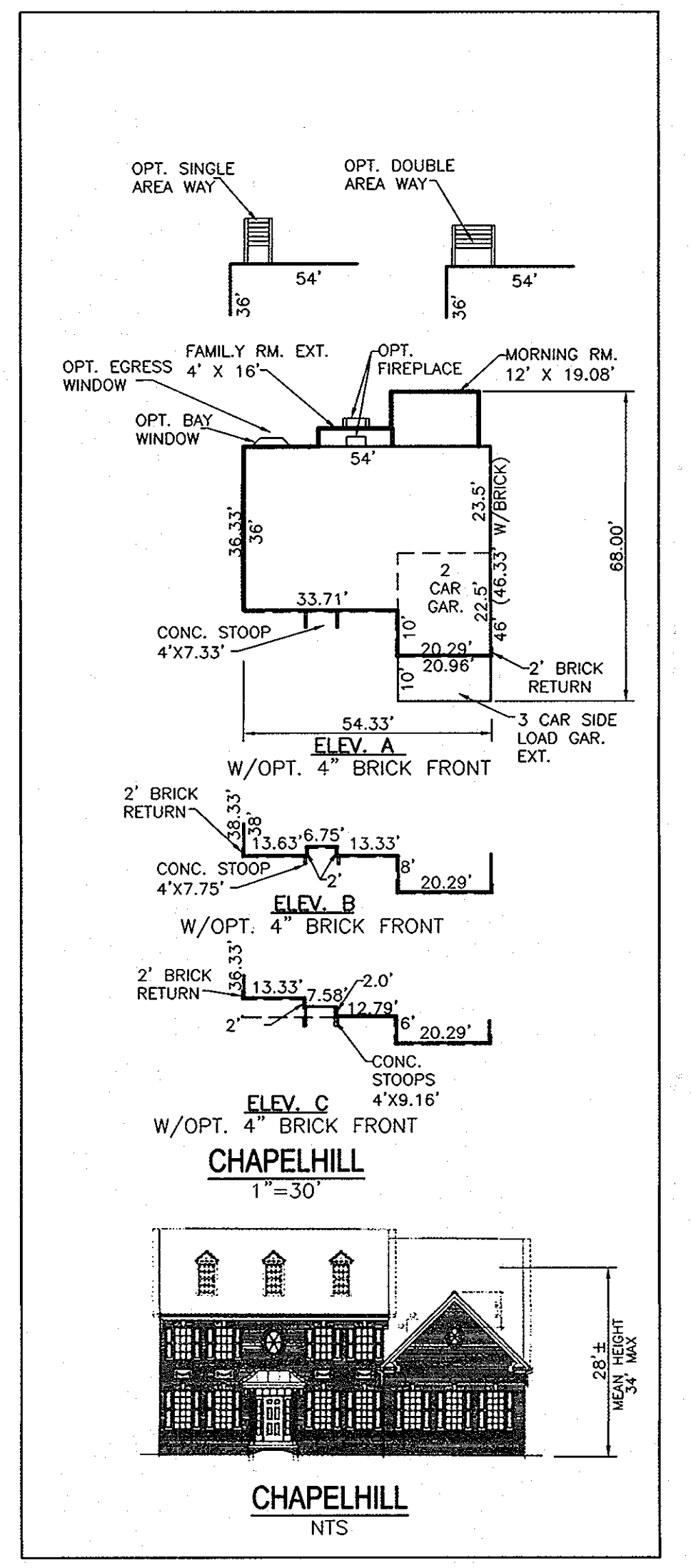
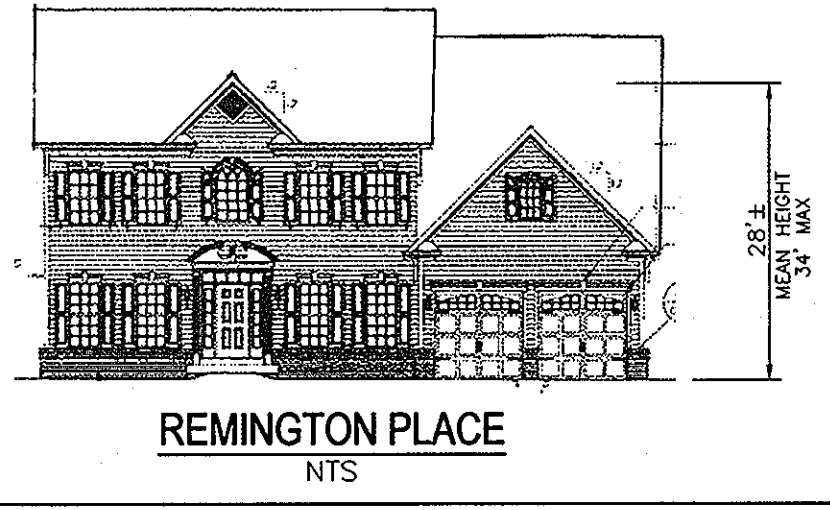
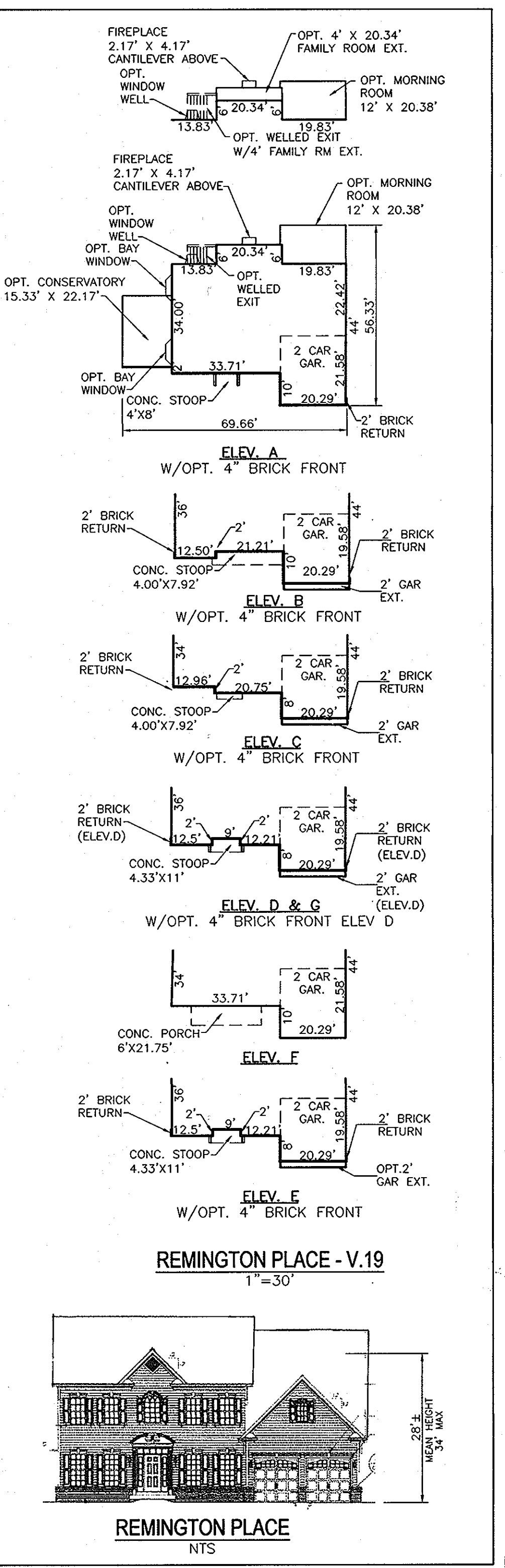
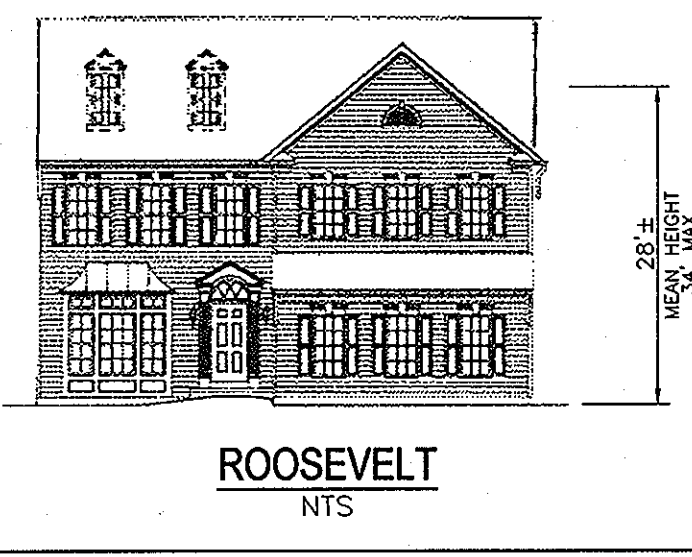
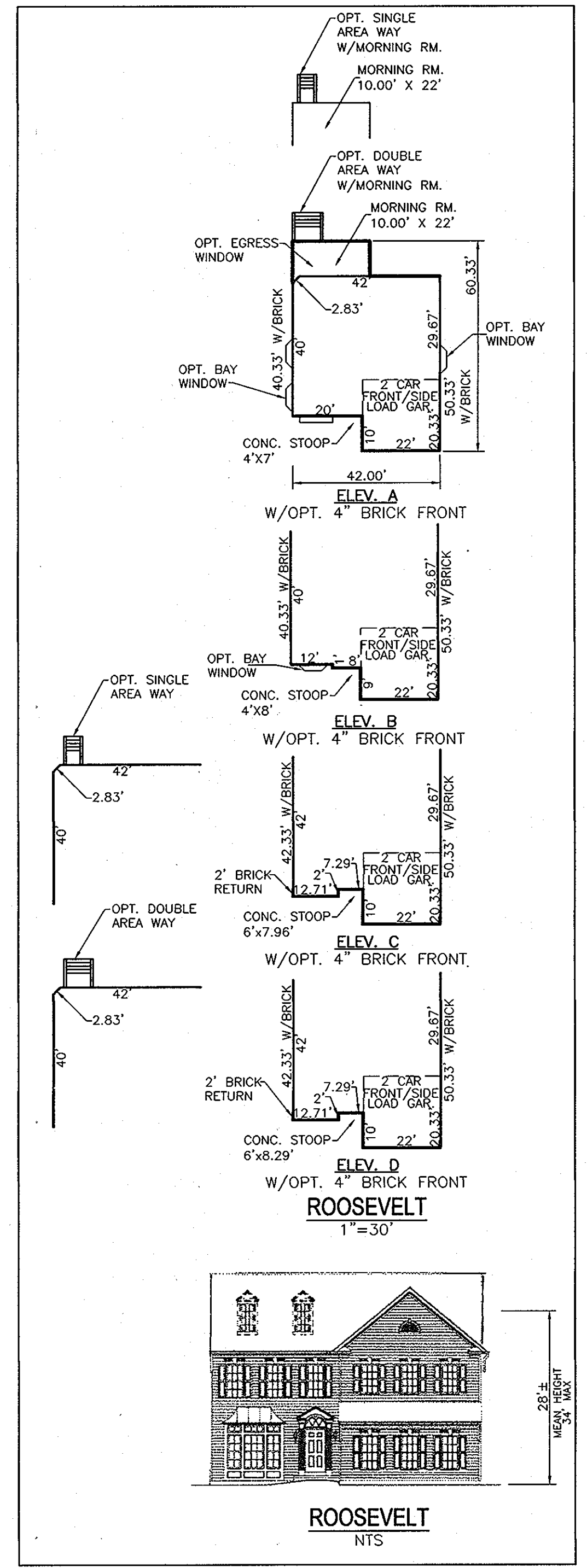
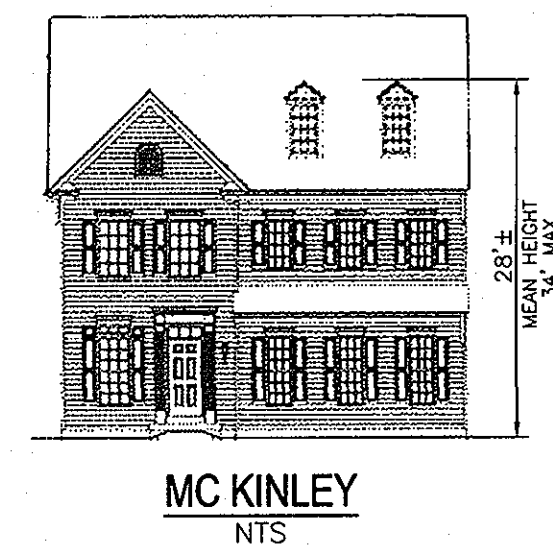
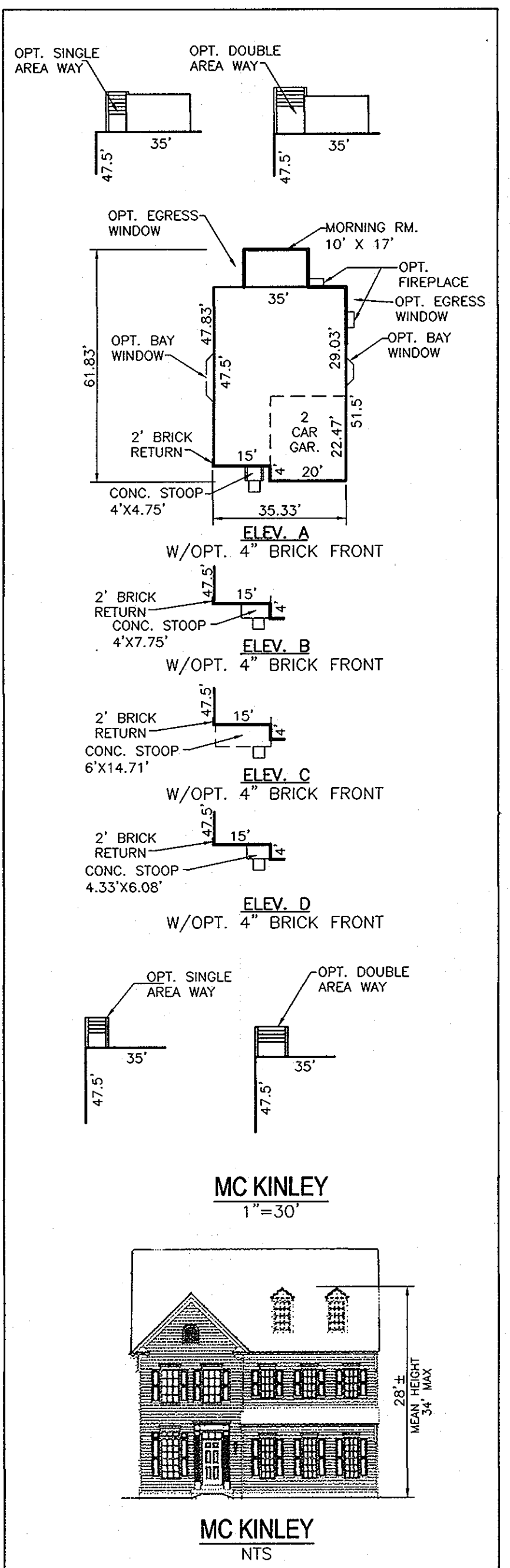
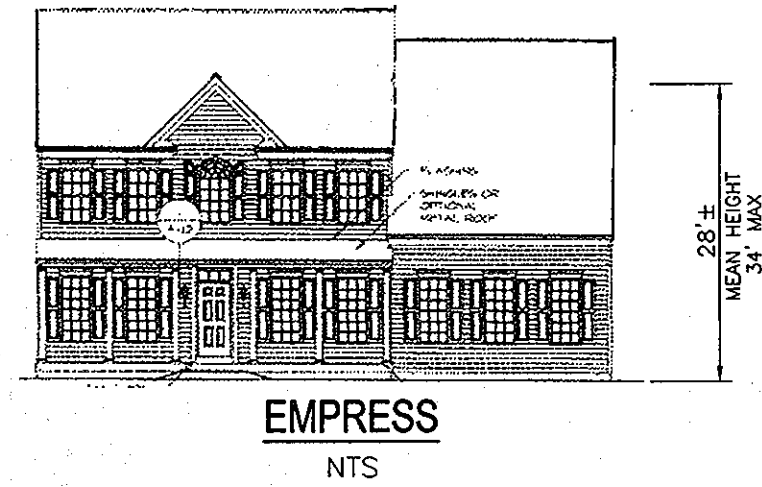
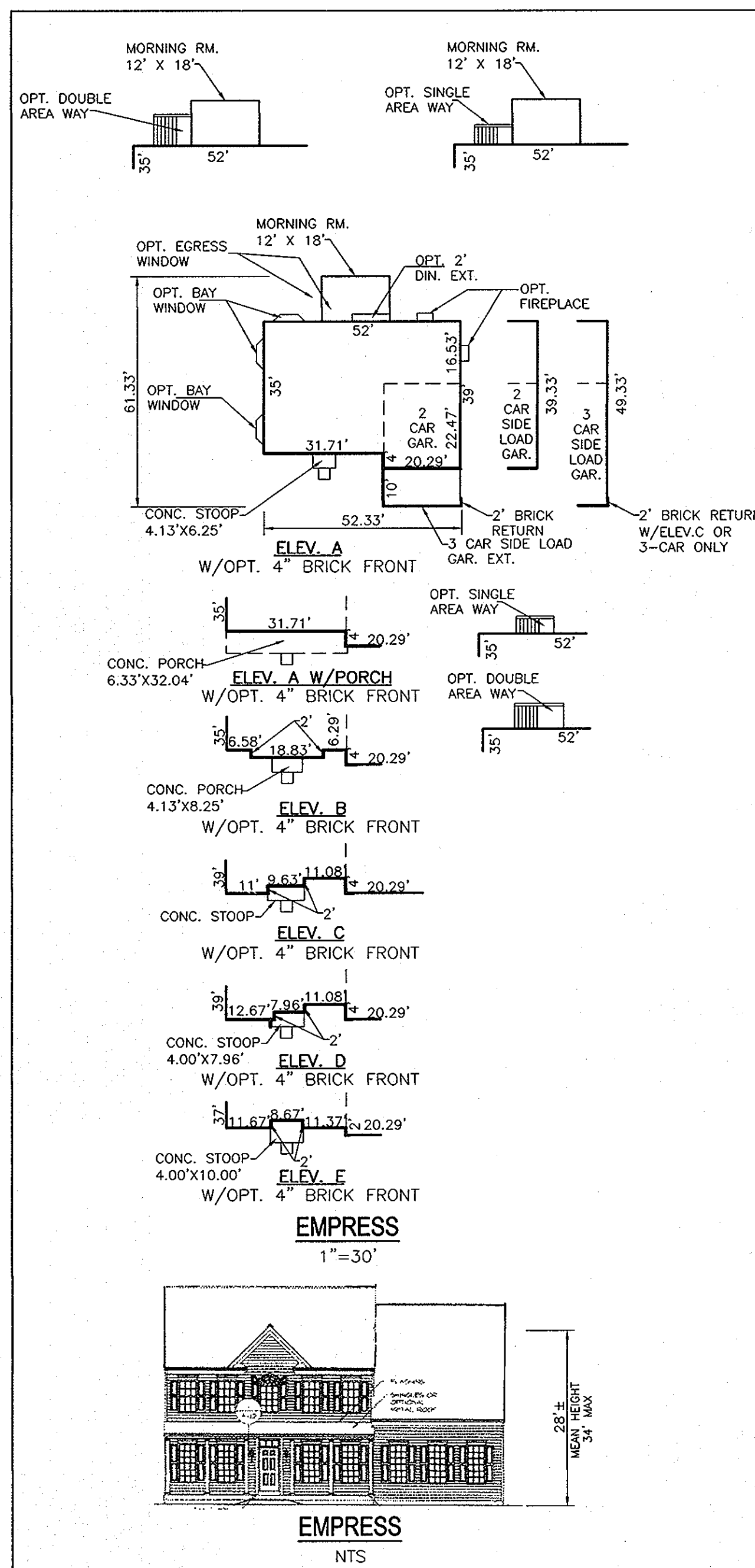
John K. Robinson 7/11/12
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Paul R. Ayala 7/12/12
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Paul R. Ayala 7/12/12
 DIRECTOR DATE

GRADING PLAN
 SCALE: 1"=30'





LANDSCAPE NOTES

- THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- SHOULD ANY TREE DESIGNATED FOR PRESERVATION FOR WHICH LANDSCAPING CREDIT IS GIVEN, DIE PRIOR TO RELEASE OF BONDS, THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT SPECIES OR WITH A TREE WHICH WILL OBTAIN THE SAME HEIGHT, SPREAD, AND GROWTH CHARACTERISTICS. THE REPLACEMENT TREE MUST BE A MINIMUM OF 3 INCHES IN CALIPER AND INSTALLED AS REQUIRED IN THE HOWARD COUNTY LANDSCAPE MANUAL.
- PLANTINGS SHOWN HEREON ARE THE RESPONSIBILITY OF THE BUILDER TO INSTALL DURING THE CONSTRUCTION OF THE HOME ON LOT 15 & 25

LANDSCAPE SCHEDULE				
KEY	QUAN.	BOTANICAL NAME	SIZE	REMARKS
AR	4	ACER RUBRUM OCTOBER GLORY RED MAPLE	2 1/2"-3" CAL.	B & B
PS	4	PINUS STROBUS EASTERN WHITE PINE	6'-8" HT.	B & B

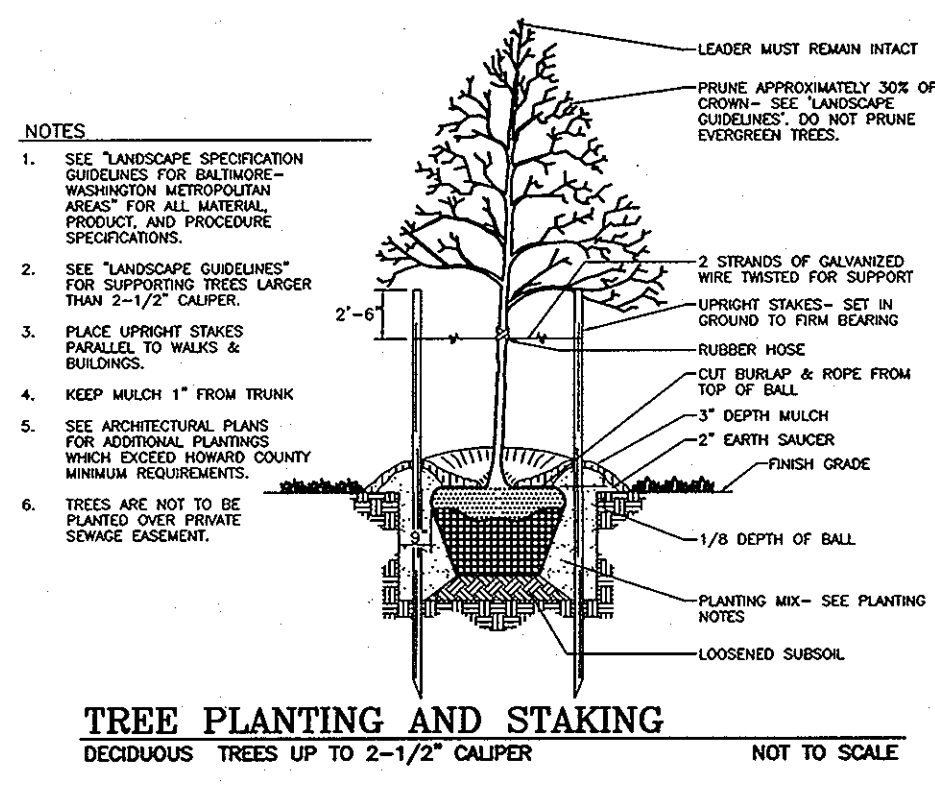
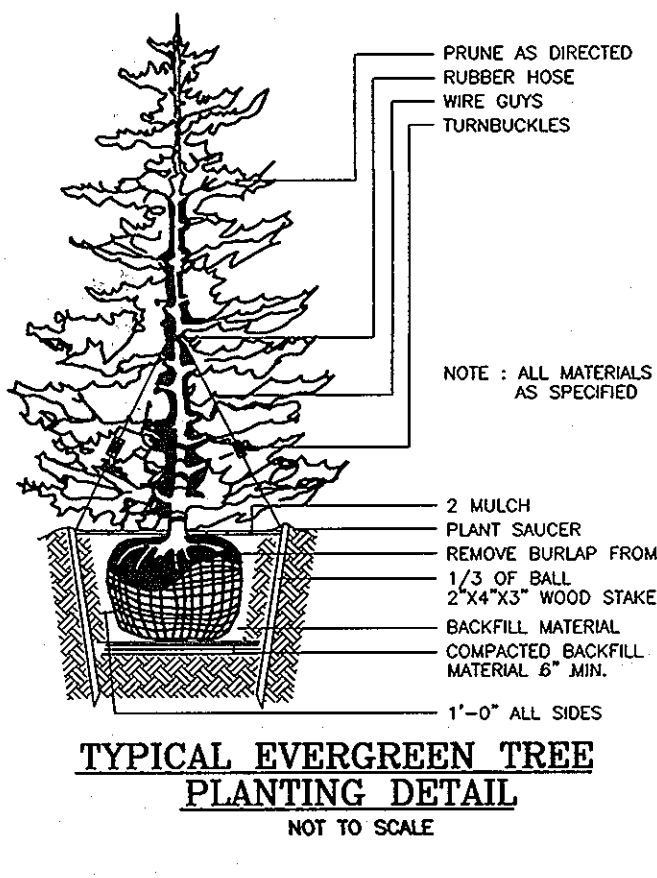
LANDSCAPE SCHEDULE NOTE:

- ALL PLANT MATERIALS SHALL BE FULL AND HEAVY, BE WELL FORMED AND SYMMETRICAL, CONFORM TO THE MOST CURRENT AAN SPECIFICATIONS AND BE INSTALLED IN ACCORDANCE WITH HRD PLANTING SPECIFICATIONS.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
- FINAL LOCATION OF PLANT MATERIAL MAY NEED TO VARY TO MEET FINAL FIELD CONDITIONS. TREES SHALL NOT BE PLANTED IN THE BOTTOM OF DRAINAGE SWALES.
- CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO BIDDING. IF PLAN DIFFERS FROM LANDSCAPE SCHEDULE, THE PLAN SHALL GOVERN.

SCHEDULE A: PERIMETER LANDSCAPE EDGE			
CATEGORY	ADJACENT TO PERIMETER PROPERTIES/ROADWAYS		
PERIMETER/FRONTAGE DESIGNATION	15' B	25' B	
LANDSCAPE TYPE			
LINEAR FEET OF ROADWAY	60'	70'	
FRONTAGE/PERIMETER			
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET DESCRIBE BELOW IF NEEDED)	NO	NO	
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET DESCRIBE BELOW IF NEEDED)	NO	NO	
NUMBER OF PLANTS REQUIRED (LF REMAINING)	60'	70'	
SHADE TREES	1:50 2	1:50 2	
EVERGREEN TREES	1:40 2	1:40 2	
SHRUBS			
NUMBER OF PLANTS PROVIDED			
SHADE TREES	2	2	
EVERGREEN TREES	1	1	
OTHER TREES (2:1 SUBSTITUTION)	1	1	
SHRUBS (10:1 SUBSTITUTION)	1	1	
DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED			

GENERAL NOTES:

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY IN THE AMOUNT OF \$ 1,800 FOR THE REQUIRED 4 SHADE TREES AND 4 EVERGREEN TREES SHALL BE POSTED WITH THE BUILDING PERMIT FOR LOTS 15 & 25.
- PUBLIC STREET TREES WERE PROVIDED FOR THIS PROJECT IN ACCORDANCE WITH SECTION 16.124(e)(1) OF THE SUBDIVISION REGULATIONS AND THE LANDSCAPE MANUAL UNDER F 11-064.
- THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, PLANT MATERIALS, BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS LISTED HEREWITH AND APPROVED FOR THIS SITE SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.
- NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE WETLANDS, WETLANDS BUFFER, STREAM BANK BUFFER OR FOREST CONSERVATION EASEMENTS.
- THE REMOVAL OF TREES 30" OR GREAT DBH IS PROHIBITED WITH OUT COUNTY APPROVAL.
- THIS PLAN IS SUBJECT TO A WAIVER TO SECTION 16.120(g)(7) OF THE SUBDIVISION REGULATIONS FOR THE REMOVAL OF THE 39" SILVER MAPLE SPECIMEN TREE, APPROVED SEPTEMBER 14, 2010.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION, *[Signature]* 7/12/12 DATE

CHIEF, DIVISION OF LAND DEVELOPMENT, *[Signature]* 7/12/12 DATE

DIRECTOR, *[Signature]* 7/12/12 DATE

DEVELOPER/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

[Signature] 7/5/12 DATE

OWNERS
DOUBLE R. VENTURES, LLC.
C/O LAND DESIGN & DEVELOPMENT, INC.
5300 DORSEY HALL DR. STE 102
ELICOTT CITY, MARYLAND 21042-7819
ATTN: MR. DONALD R. REUWER
443-367-0422

BUILDER
NV HOMES
9720 PATENTWOOD DRIVE
COLUMBIA, MARYLAND 21046
(410) 796-0908

DEVELOPER
ELICOTT CITY LAND HOLDING, INC.
5300 DORSEY HALL DR. STE 102
ELICOTT CITY, MARYLAND 21042-7819
ATTN: MR. DONALD R. REUWER
443-367-0422

SITE DEVELOPMENT PLAN
HOUSE TYPES
LANDSCAPE NOTES & DETAILS
MOUNT HEBRON OVERLOOK
LOTS 1-25

TAX MAP 17 GRID 16,17
2ND ELECTION DISTRICT
PREVIOUS SUBMITTALS: F-87-100, ECP-10-013, CONT. #14-4684-D, SP-10-007, PB-389
WP 11-028, F-11-084, WP 12-147

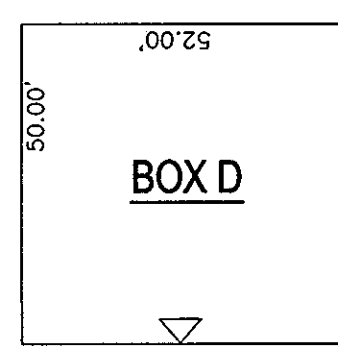
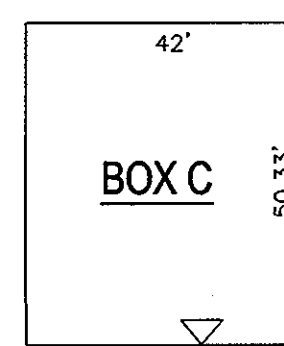
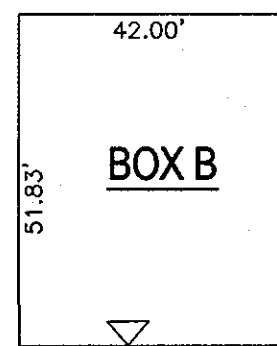
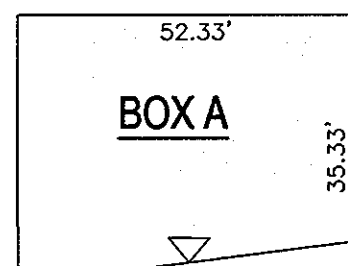
PARCELS 77, 78 & 416
HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET
ELICOTT CITY, MD 21043
TEL: 410.461.7666
FAX: 410.461.8961

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A duly LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. EXPIRATION DATE 12-16-2012.

DESIGN BY: JTD/EDS.
DRAWN BY: EDS.
CHECKED BY: JTD.
DATE: JULY 2012.
SCALE: AS SHOWN.
W.O. NO.: 10-06

9 SHEET OF 11



FITS:
EMPRESS
ELEV A W/ BRICK
- NO MORN. RM
- NO ELEV B, C, D, E
NO 3 CAR SIDE LOAD GARAGE
NO CHAPEL HILL
NO REMINGTON PLACE
NO MCKINLEY
NO ROOSEVELT

FITS:
MCKINLEY
ALL ELEV
- NO REAR FP
- NO MORN. RM
ROOSEVELT
ELEV A & B
- NO MORN. RM
- NO FP
- NO EGRESS WINDOW
ELEV C & D
- NO MORN. RM
- NO BRICK
- NO FP
- NO EGRESS WINDOW
NO CHAPEL HILL
NO REMINGTON PLACE
NO EMPRESS

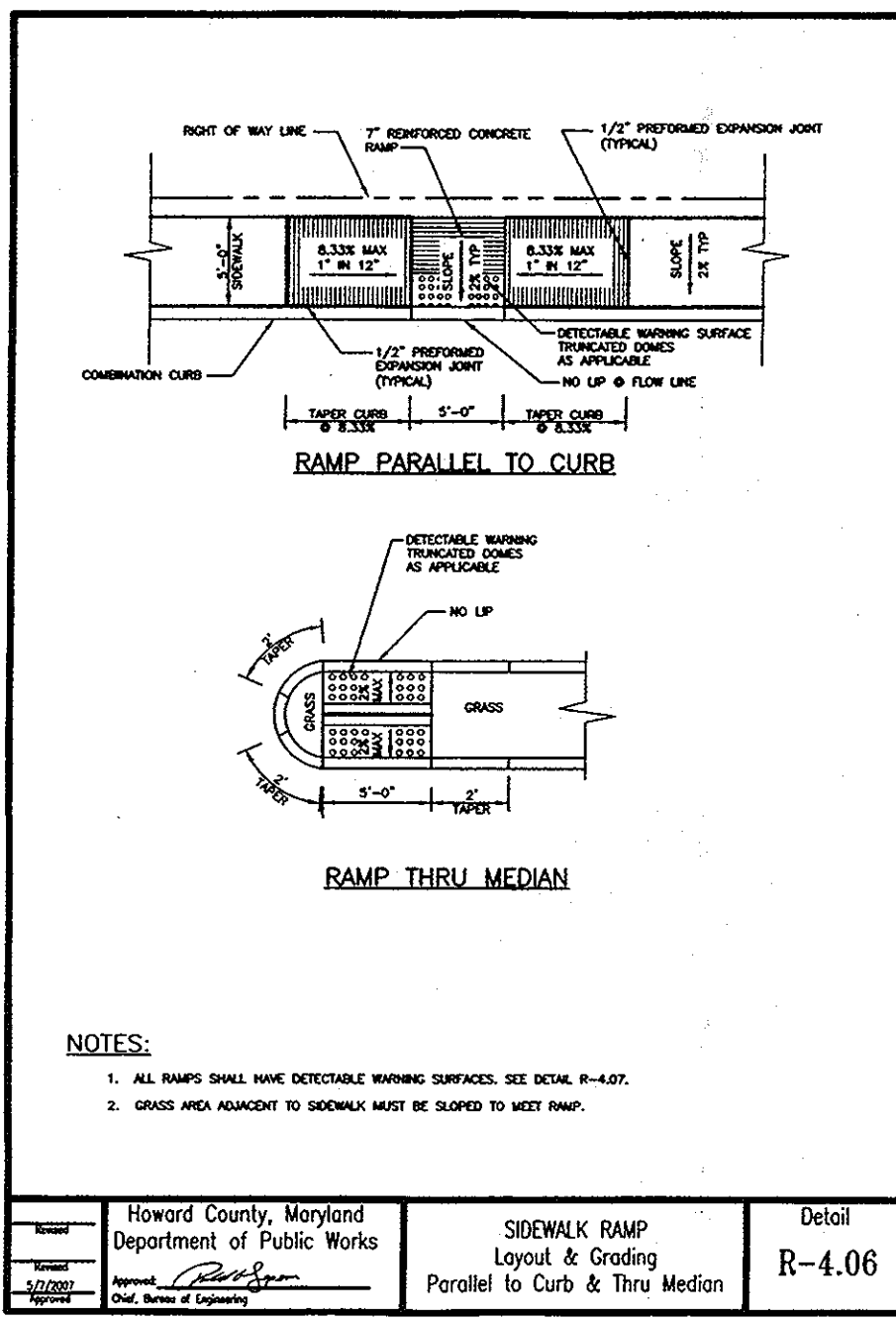
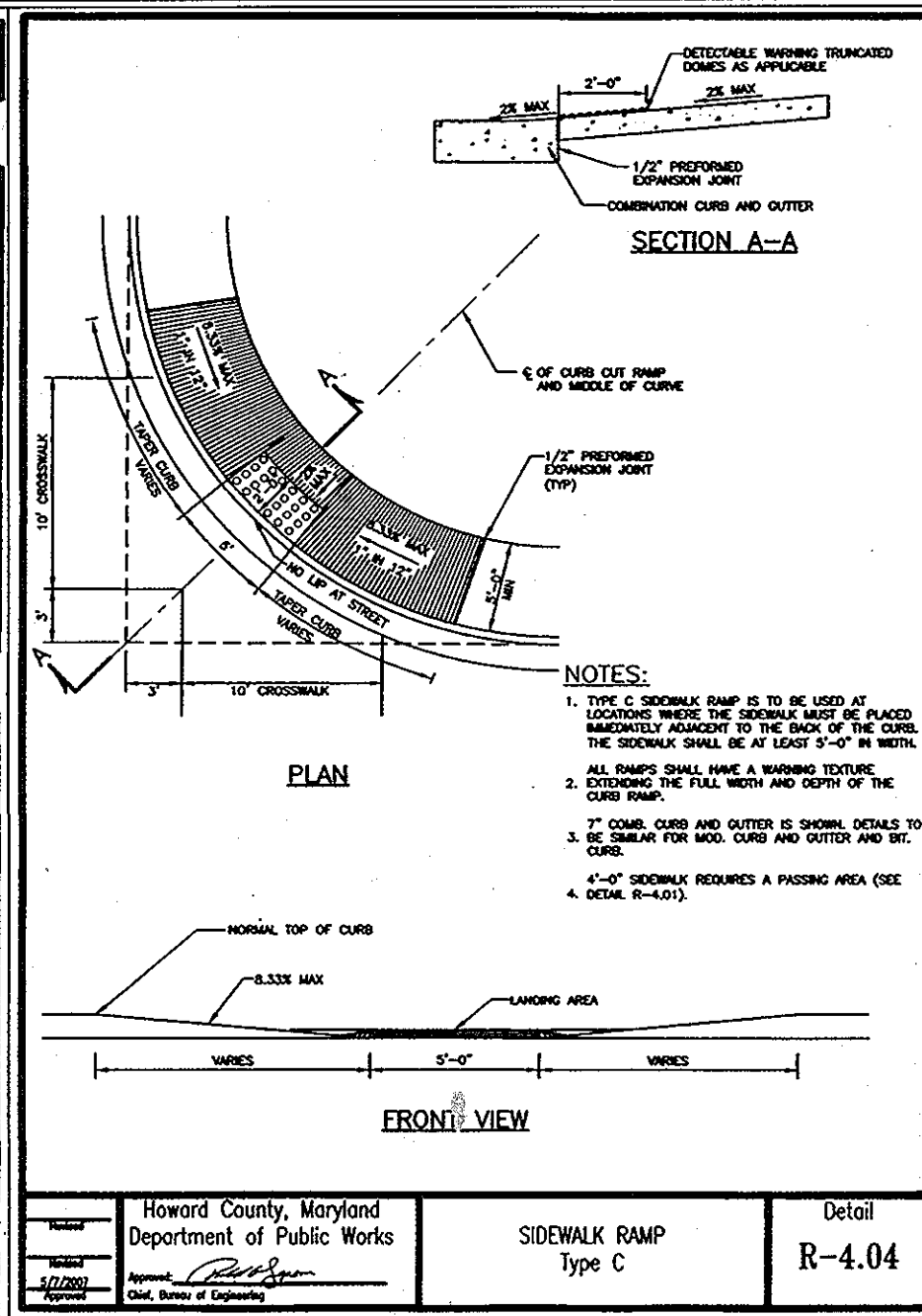
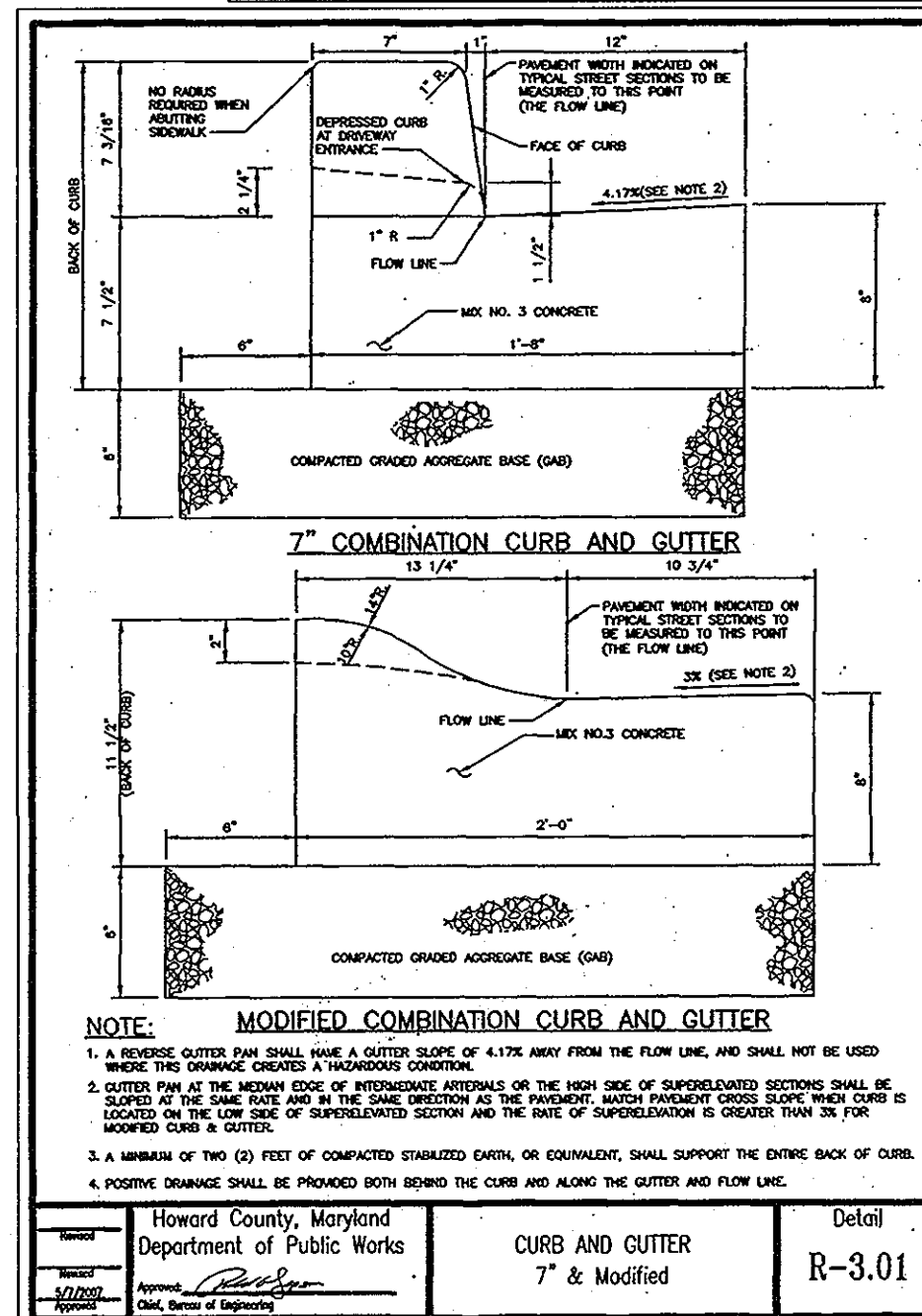
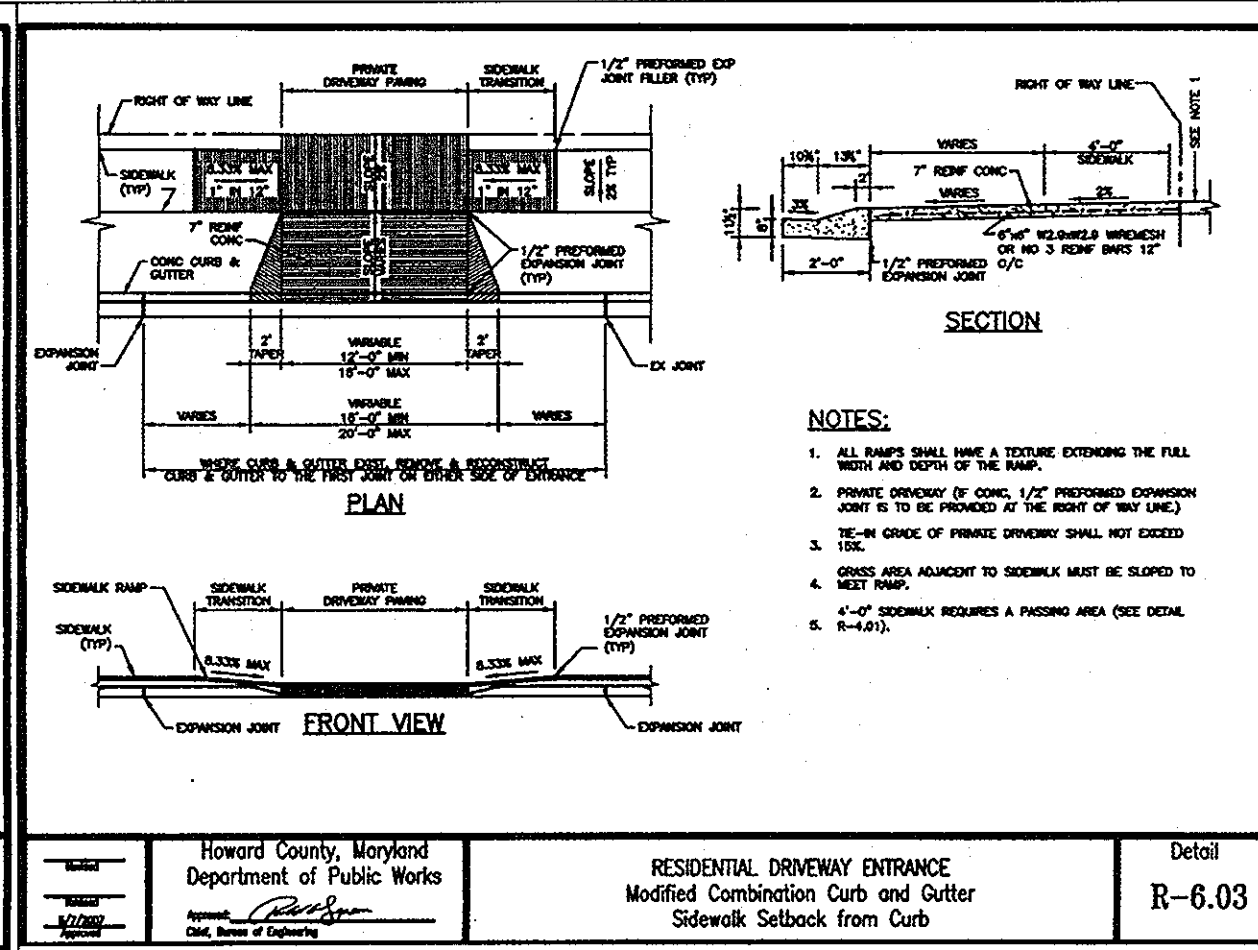
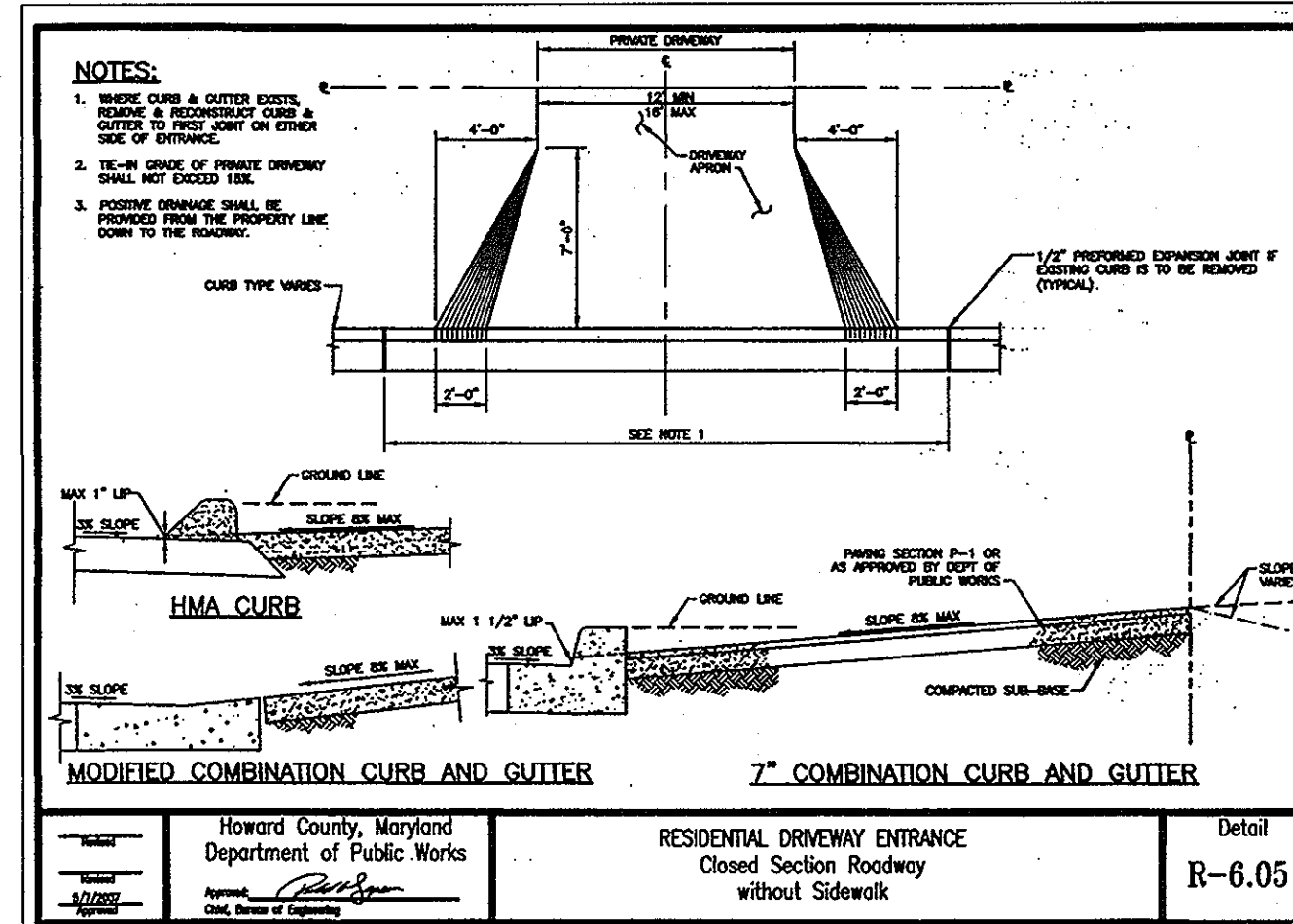
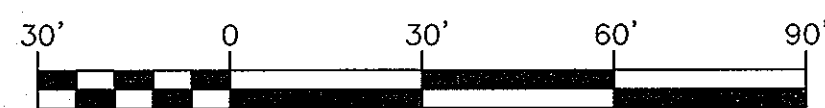
FITS:
ROOSEVELT
ELEV A
- NO MORN. RM
- NO FP
- NO EGRESS WINDOW
ELEV B, C & D
- NO MORN. RM
- NO BRICK
- NO FP
- NO EGRESS WINDOW
NO CHAPEL HILL
NO REMINGTON PLACE
NO EMPRESS
NO MCKINLEY

FITS:
ROOSEVELT
ALL ELEV
- NO MORN. RM
- NO BRICK
- NO FP
- NO EGRESS WINDOW
EMPRESS
ALL ELEV
- NO 12 X 18 MORN. RM
NO CHAPEL HILL
NO REMINGTON PLACE
NO MCKINLEY

NOTE:

1. GENERIC HOUSE BOX MODEL FIT SHOWN HEREON
2. HOUSE BOXES ARE GENERIC AND SHOULD NOT BE CONSIDERED LIMITING. ADDITIONAL HOUSE TYPES AND OPTIONS MAY FIT ON ANY GIVEN LOT.
3. SECTION 128.A.1.i OF THE ZONING REGULATIONS (CB-2-2012) WHICH ALLOWS SUNROOMS AND ROOM EXTENSIONS TO EXTEND NOT MORE THAN 10 FEET INTO THE REAR SETBACK ALONG NOT MORE THAN 60% OF THE REAR FACE OF A DWELLING ON A LOT WHICH ADJOINS OPEN SPACE ALONG A MAJORITY OF THE REAR LOT LINE FOR R-ED LOTS RECORDED AFTER THE EFFECTIVE DATE OF CB-2-2012 (MAY 13, 2012).

4. MODELS CHOSEN WHICH DO NOT FIT IN THE ABOVE GENERIC BOX, HOWEVER DO FIT ON INDIVIDUAL LOTS, SHALL UTILIZE THE HOWARD COUNTY DPZ WALK THRU "HOUSE TYPE REVISION" PROCESS.



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443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: 7/11/12

CHIEF, DIVISION OF LAND DEVELOPMENT DATE: 7/12/12

DIRECTOR DATE: 7/12/12

NO.	REVISION	DATE

**SITE DEVELOPMENT PLAN
GENERIC HOUSE BOXES**

MOUNT HEBRON OVERLOOK
LOTS 1-25

TAX MAP 17 GRID 16.17 PARCELS 77, 78 & 416
2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
PREVIOUS SUBMITTALS: F-87-100, ECP-10-013, CONT. #14-4684-D, SP-10-007, PB-389
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ELLCOTT CITY, MD 21043 FAX: 410.461.8961

STATE OF MARYLAND
JOHN THOMAS DIGALE
REGISTERED PROFESSIONAL ENGINEER
No. 21436

DESIGN BY: JTD/EDS
DRAWN BY: EDS
CHECKED BY: JTD
DATE: JULY 2012
SCALE: 1" = 30'
W.O. NO.: 10-06

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 21436 EXPIRATION DATE 12-16-2012

10 SHEET OF 11

