- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS
- THE CONTRACTOR SHALL NOTIFY THE BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- 3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48-HOURS PRIOR TO ANY EXCAVATION WORK.
- SEE VICINITY MAP IN THE TOP RIGHT CORNER OF THIS SHEET LOCATION:
- ELECTION DISTRICT: 5 ZONING: MXD-3 PER ZB-995M (APPROVED ON 02-08-01), UNDERLYING ZONING IS RR-DEO AND PER THE 2/02/04 COMPREHENSIVE ZONING PLAN.
- AREA OF BUILDABLE LOTS (No. 15) FOR THIS SITE DEVELOPMENT PLAN: 0.37± ACRES. FOR OTHER SUBMISSIONS RELATED TO THIS SITE, SEE HOWARD COUNTY DEPT. OF PLANNING & ZONING FILE NOS. S-01-17, ZB-995M, PB-353, WP-01-111, WP-03-02, P-03-01, F-03-90, MP-03-120, P-04-01, P-05-02, F-04-92, F-05-81, F-05-82, F-05-112/113, S-06-16, F-05-134, F-06-43, F-06-162, F-06-219, F-01-74, P-01-02, F-07-112, F-07-140, F-07-120, F-08-171, F-06-161, ZB-1039M, PB-378, F-08-04, F-08-15/16, F-08-72, P-10-003, F-10-002, F-10-46, F-10-061, P-111-002,
- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTC). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- 6. ALL PLAN DIMENSIONS ARE TO THE FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED
- PERPENDICULAR OR RADIALLY BETWEEN ITEMS UNLESS OTHERWISE NOTED. EXISTING TOPOGRAPHY AND FEATURES COMPILED FROM F-06-161, F-08-072 & G.L.W. SURVEY DONE IN MAY/2004.
- 8. COORDINATES ARE BASED ON NAD83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATION NUMBERS 41EA & 46B2. STORMWATER MANAGEMENT, FOR BOTH QUALITY AND QUANTITY, FOR THE DEVELOPMENT PROPOSED BY THESE PLANS (WHICH IS PART OF A PHASED PROJECT) WILL BE SATISFIED BY EXISTING REGIONAL FACILITY CONSTRUCTED UNDER F-03-90. THE EXISTING FACILITY ON OPEN SPACE LOT 236 IS PUBLICLY OWNED AND MAINTAINED.
- 10. PUBLIC WATER AND SEMER SHALL BE UTILIZED (AS PROVIDED BY W&S CONTRACT NOS. 24-4173-D & 24-4703-D) AND THE WATER METERS IN OUTSIDE VAULTS. THE EXISTING UTILITIES SHOWN HEREIN WERE DERIVED FROM AVAILABLE PUBLIC RECORDS. THE CONTRACTOR MUST DIG TEST PITS (BY HAND) AT ALL UTILITY
- 12. ALL ROADS LABELED AS "PUBLIC" ARE PUBLICLY MAINTAINED ONCE THEY ARE DEDICATED. ALL ROADS LABELED AS "PRIVATE" ARE PRIVATELY MAINTAINED
- ANY DAMAGE TO THE ADJACENT COUNTY OWNED RIGHT-OF-WAY AND PROPERTY SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE
- ELSEWHERE WITHIN THE HILLSIDE DISTRICT OPEN SPACE THERE ARE WETLANDS, 100-YR FLOODPLAIN AND STREAMS.
- THIS PROJECT COMPLIES WITH THE REQUIREMENTS OF SECTION 16,1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION.

CROSSINGS AND CONNECTION POINTS TO VERIFY EXACT LOCATION. IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONFLICTS.

- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING (AS SHOWN ON SHEET 2 TO SATISFY S-OI-IT DEVELOPMENT CRITERIA AND SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL) SHALL BE POSTED AS PART OF THE GRADING PERMIT FOR EACH LOT (WHERE APPLICABLE). FOR ADDITIONAL INFORMATION ON THE LANDSCAPE SURETY SEE SHEET 2 AND THE GRADING PERMIT CHART ON SHEET I
- 17. DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFI ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
- A WIDTH 12' (16' SERVING MORE THAN ONE RESIDENCE)
- B. SURFACE 6" OF COMPACTED CRUSHER RUN BASE WYAR AND CHIP COATING (I-I/2"MIN.) C. GEOMETRY - MAX. 15% GRADE, MAX. 10% GRADE CHANGE AND MIN. 45' TURNING RADIUS.
- D. STRUCTURES (CULVERTS/BRIDGES) CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING) E. DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YR. FLOOD WITH NO MORE THAN I FOOT DEPTH OVER DRIVEWAY SURFACE.
- PUBLIC REFUSE PICKUP IS PROVIDED IN THE ALLEY FOR THESE LOTS
- 19. BAY WINDOWS, WINDOW WELLS, CHIMNEYS, HEATING OR AIR CONDITIONING UNITS AND EXTERIOR STAIRWAYS IF NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NO MORE THAN 4 FEET INTO ANY REQUIRED SETBACK AREA IN ACCORDANCE WITH SECTION 128.A.I OF THE ZONING REGULATIONS, EXCEPT FOR THE ITEMS LISTED UNDER 4.D OF THE LOT DEVELOPMENT DATA ON THIS SHEET.
- 20. AS A CONSEQUENCE OF THE SKETCH PLAN, 5-01-17 APPROVAL PRIOR TO II-15-01, THIS PROJECT IS GRANDFATHERED TO THE FOURTH EDITION OF THE
- SECTION 133.D.2.a OF THE ZONING REGULATIONS AND THE APPROVED MLF DEVELOPMENT CRITERIA. UNLESS OTHERWISE PROHIBITED BY POSTED SIGNAGE OR CURB MARKING, ON-STREET PARALLEL PARKING ALONG THE CURB WITHIN THE PUBLIC RIGHTS-OF-WAY IS ALLOWED FOR VISITOR AND OVERFLOW PARKING.
- 22. NO GRADING REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAM(S) OR THEIR BUFFERS, FOREST CONSERVATION EASEMENT AREAS AND IOO YEAR FLOODPLAIN.
- 23. MINIMUM BUILDING SETBACK RESTRICTIONS FROM PROPERTY LINES AND THE PUBLIC ROAD RIGHTS OF WAY FOR ALL SFD AND SFA RESIDENTIAL LOTS WILL BE PROVIDED IN ACCORDANCE WITH THE COMPREHENSIVE DEVELOPMENT CRITERIA APPROVED FOR THIS PROJECT UNDER S-01-17, S-06-16, PB-353, PB 378 AND ZB-995M.
- 24. PHASING FOR THIS PROJECT IS IN ACCORDANCE WITH THE DECISION AND ORDER FOR ZB-995M AND THE DECISION AND ORDER FOR PB CASE NO. 353 (5-01-17) AND PB CASE No. 378 AND S-06-16

## LOT DEVELOPMENT DATA

- GENERAL SITE ANALYSIS DATA
- A. PRESENT ZONING: MXD-3 PER ZB-995M B. PROPOSED USE OF SITE: 1 SFD RESIDENTIAL DWELLINGS
- C. PUBLIC WATER & SEWER TO BE UTILIZED (CONTR.#24-4173-D & 24-4703-D) D. PARKING REQUIRED PER Sec. 133.D.2.a.: 2 SPACES/UNIT x 1 = 2 SPACES
- PARKING PROVIDED: 2 GARAGE SPACES (ALL LOTS HAVE AT LEAST A 2-CAR GARAGE, 3-CAR IS OPTIONAL. SEE NOTE 21 ABOVE REGARDING PARKING). E. RECREATION OPEN SPACE FOR THIS SOP IS ADDRESSED UNDER F-06-161 (SEE OVERALL OPEN SPACE PROVISION CHART ON THIS SHEET).
- A. AREA OF BUILDABLE LOTS FOR THIS SUBMISSION: 0.12 SF OR 5,333 AC.
- 0.14± ACRES (L.O.D.) B. AREA OF THIS PLAN SUBMISSION: C. AREA OF DISTURBANCE BY THIS SDP: 0.14± ACRES
- 3. LOT DESIGNATION:

LOT TYPE	LOT NUMBER	MINIMUM LOT SIZE	MIN. LOT WIDTH AT FRONT BRL	MAX. BUILDING HT.
COTTAGE	15	2500 SQUARE FEET	32 FEET	38 FEET (MEAN HT.)
		•		

4. STRUCTURE SETBACKS PER S-06-16 AND PLAT No. 21856-21860

					and the second s
 LOT TYPE	FRONT SETBACK	SIDE SETBACK	MINIMUM REAR SETBACKS		•
COTTAGE	IO' MIN.	4' MIN.*	20' TO PRINCIPAL STRUCTURE.	3' FOR REAR (DETACH/ATTACH) GARAGE OR T	O ACCESSORY STRUCTURES.

- \* THERE IS NO SIDE SETBACK (O') FOR A GARAGE.
- A. A ZERO LOT LINE DWELLING UNIT MAY BE LOCATED ON ANY PROPERTY LINE WHICH IS NOT A STREET RIGHT-OF-WAY PROVIDED THAT (1) NO PART OF THE DWELLING SHALL ENCROACH ONTO THE ADJOINING LOT: (2) AN ACCESS EASEMENT FOR THE PURPOSE OF MAINTENANCE TO THE SIDE OF THE STRUCTURE SHALL BE INCLUDED IN THE DEED WHERE APPROPRIATE. SPACING BETWEEN DWELLING UNITS SHALL BE A MINIMUM OF 8'. GARAGES HOWEVER, MAY ADJOIN ALONG THE PROPERTY LINE, PROVIDED THEY COMPLY WITH ALL BUILDING AND FIRE CODE REGULATIONS.
- B. OPEN DECKS MUST BE A MINIMUM OF 10' FROM REAR PROPERTY LINE, AND ARE SUBJECT TO SIDE YARD SETBACKS.
- C. FACING ACCESSORY STRUCTURES AND DETACHED GARAGES (ACROSS AN ALLEY/LANE R.O.N.) SHALL BE 30' APART.
- D. EXCEPTIONS TO FRONT SETBACK REQUIREMENTS. SECTION 128.A.I APPLIES, EXCEPT FOR THE FOLLOWING:
  - PORCHES MAY ENCROACH INTO THE FRONT YARD TO WITHIN 2' FROM THE PROPERTY LINE OR RIGHT-OF-WAY FOR TOWNHOUSES, COTTAGES AND MANORS. PORCHES MAY ENCROACH INTO THE SIDE YARD OF CORNER LOTS TO WITHIN 2' FROM RIGHT-OF-WAY FOR COTTAGES AND MANORS, WHERE A SIDE YARD ABUTS AN OPEN SPACE OR PASSAGE, PORCHES MAY ENCROACH TO WITHIN I' FROM SIDE PROPERTY LINE FOR COTTAGES AND MANORS.
  - STOOPS AND STEPS MAY ENCROACH INTO THE FRONT AND SIDE YARDS TO WITHIN I' FROM THE FRONT PROPERTY LINE
  - GARDEN WALLS, FENCES, PIERS, GATES AND SIMILAR ORNAMENTS MAY BE BUILT IN THE FRONT AND SIDE YARDS NOT CLOSER THAN I' FROM THE FRONT PROPERTY LINE; NOT GREATER THAN 48" ALONG THE FRONT PROPERTY LINE AND NOT GREATER THAN 72" ALONG THE SIDE AND REAR PROPERTY LINES.

BURTONSVILLE, MARYLAND 20866

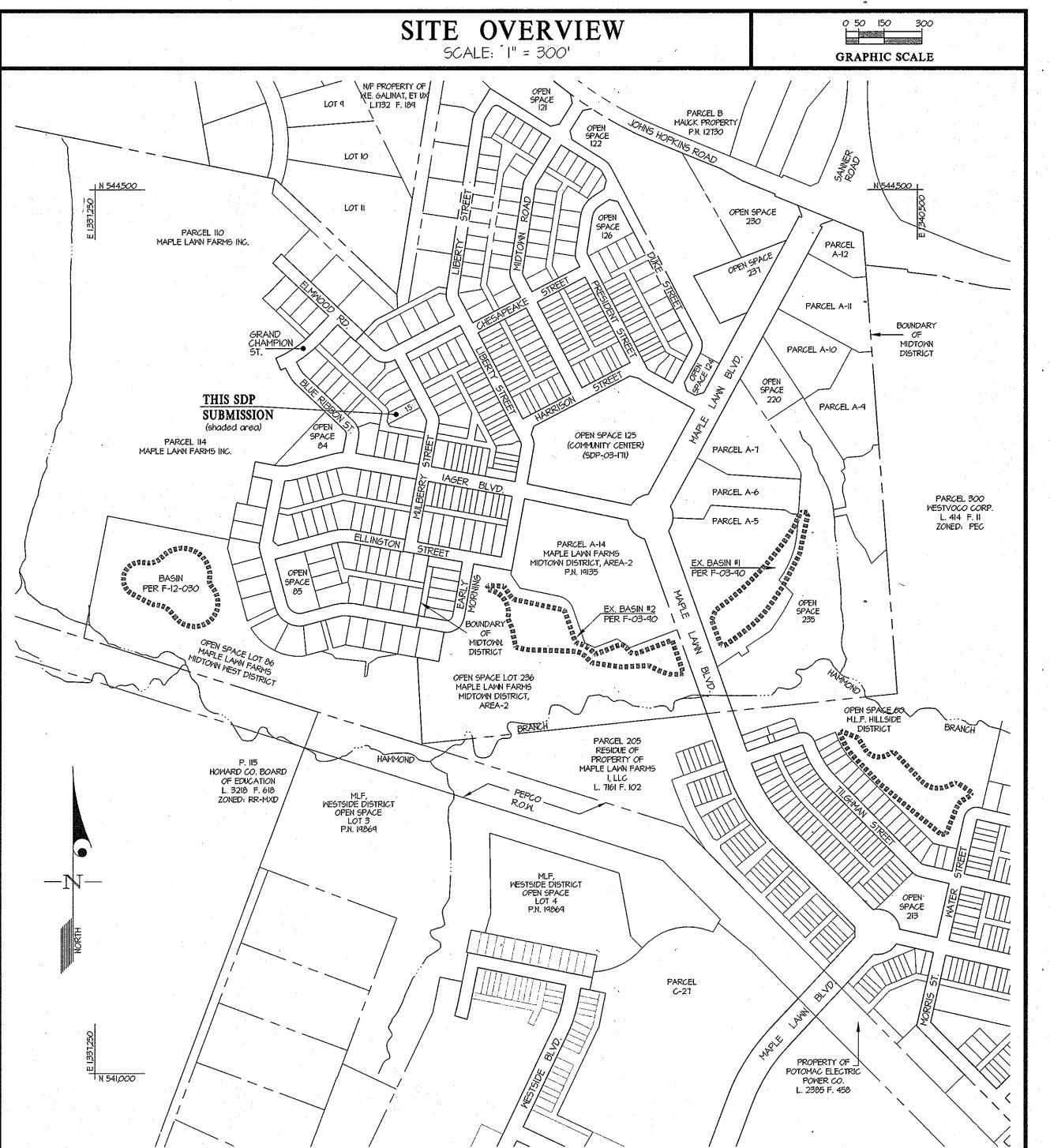
PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME. AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975,

EXPIRATION DATE: MAY 26, 2012.

GLWGUTSCHICK LITTLE & WEBER, P.A. CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186 .04001\06013\SDP-SFD\HILLSiDE-Area 5\C6013-CS (Area5).dwg | DES. mbt | DRN. klp | CHK. mbt |

# MAPLE LAWN FARMS SITE DEVELOPMENT PLAN

MIDTOWN WEST DISTRICT - AREA 1 LOT 15 FIFTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND



PREPARED FOR:

PROPERTY OWNER (SELLER)

G & R MAPLE LAWN, INC.

BALTIMORE, MD 21208

PH: 410-484-8400

ATTN.: MARK BENNETT

1829 REISTERTOWN ROAD, SUITE 300

BUILDER (CONTRACT PURCHASER):

ROCKVILLE, MARYLAND 20850

LECTION DISTRICT No. 5

PH: (301) 762-9511 x 2101

attn.: JOHN CORGAN

HOWARD COUNTY CONTROL NAD83 HORIZONTAL DATA &

ELEV. = 472.16

N = 534,925.13 E=1,337,205.77 STANDARD DISC ON CONCRETE MONUMENT ELEV. = 401.05

N = 544,825.81 E= 1,339,217.44

MAPLE LAWN FARMS, MIDTOWN WEST DISTRICT MIDTOWN DISTR STANDARD DISC ON CONCRETE MONUMENT FARMS, HILLSIDE

VICINITY MAP

OVERALL OPEN SPACE PROVISION FOR MAPLE LAWN FARMS									
PHASE NUMBER (AND NAME)	APPROVED DPZ FILE No.	PHASE AREA GROSS ACREAGE	REQUIRED OPEN SPACE (35% OF 6ROSS AC.)	OPEN SPACE PROVIDED IN AC. (%) *	REQUIRED ACTIVE OPEN SPACE IN AC.**	ACTIVE RECREATION O.S. PROVIDED IN AC. (%) ***			
I (BUSINESS DISTRICT, AREA-I)	F-03-07	51.98	18.19	21.15 (40.7)	1.82	<u> </u>			
2 (MIDTOWN DISTRICT, AREA-I)	F-03-90	37.43	13.10	15.75 (42.1)	1.31	1.52 (47.7)①			
3 (MIDTOWN DISTRICT, AREA-2)	F-04-92	58.80	20.58	22.85 (38.9)	2.06				
4a (HILLSIDE DISTRICT, AREA-I)	F=05-8I	15.47	5.41	6.70 (43.3)	0.54	0.29 (4.3) ②			
46 (MIDTOWN DISTRICT, AREA-3)	F-05-139	312	1.09	1.23 (34.4)	0.00				
4c (BUSINESS DISTRICT, AREA-2/ HILLSIDE DISTRICT, AREA-2)	F-05-II2/II3	3.00	1, <i>0</i> 5	0.00	0.10				
5a (HILLSIDE DISTRICT, AREA-I)	F-06-43	0.00	0.00	0.00	0.00				
56 (HILLSIDE DISTRICT, AREA-3)	F-06-161	33.26	11.64	18.50 (55.4)	1.16	1.61 (8.7)			
6a (HILLSIDE DISTRICT, AREA-4)	F-08-012	15.05	5.27	5.50 (36.5)	0.53				
N/A (HILLSIDE DISTRICT)	F-07-183	3. <i>0</i> 5	1.07	0.00	0.01				
6b (WESTSIDE DISTRICT)	F-08-54/F-08-55	90.60	31.71	26.65 (29.4)	3.17	4.76 (17.9) ③			
7 (HILLSIDE DISTRICT, AREA-5)	F-10-61	16.60	5.81	0.94	0.58				
8a (HILLSIDE DISTRICT, AREA-5)	F-II-27	0.00	0.00	0.20 (0.0)	0.00	<del></del>			
86 (WESTSIDE DISTRICT, AREA-2)	F-12-21	0.00	0.00	- 0.68 (0.0)	0.00	0.68 (1.0) ④			
& (MIDTOWN WEST DISTRICT)	F-12-20	1.65	0.58	0.09 (5.5)	0.06				
& (MIDTOWN WEST DISTRICT)	F-12-29	30.23	10.58	13.58 (44.9)	1.06	1.29 (9.5) (5)			
N/A (MIDTOWN WEST DISTRICT)	F-12-15	8.77	3.07	0.00 (0.0)	0.31	0.00 (0.0)			
TOTAL		369.61	129.15	133.82 (36.3)	12.71	16.15 (12.1)			

- \* THE PERCENTAGE OF OPEN SPACE PROVIDED IS BASED ON THE GROSS SITE ACREAGE. \*\* 10% OF THE OPEN SPACE REQUIRED MUST BE AVAILABLE FOR ACTIVE RECREATION.
- \*\*\* THE PERCENTAGE OF ACTIVE RECREATION O.S. PROVIDED IS BASED ON THE O.S. PROVIDED (CUMULATIVE TOTAL ACREAGE).
- 152 AC. = COMMUNITY CENTER (0.5. 125 5.01 AC.), 0.5. 126 (0.55 AC.) AND 0.5. 230 (1.96 AC.) (2) 0.29 AC. = PATHWAYS
- 3) 4.76 AC. = 05 LOT 4 (4.76 AC.) (4) 0.68 ACRES = 05 Lot 68 (0.68 Ac.)
- (5) 1.29 ACRES = 05 Lot 85 (0.63 aC.), and 05 Lot 84 (0.66 Ac.)
- OPEN SPACE LOTS 126 AND 230 ARE CONSIDERED RECREATIONAL SINCE RESIDENTS WILL

BE ABLE TO GATHER AND CHILDREN WILL BE ABLE TO PLAY IN THESE AREAS.

<u>OT</u>	DISTURBED AREA	LANDSCAPE SURETY	' AMOUNT	LANDSCAPE INSPECTION FEES	PAID
15	0.14± AC	\$ 600.00		\$ 100.00	
OTAL	0.14± AC .	\$ 600.00	• • •	\$ 100.00	

APPLY FOR BUILDING PERMITS FOR ALL CONSTRUCTION AUTHORIZED ON THIS SDP WITHIN 2 YEARS OF ITS APPROVAL.

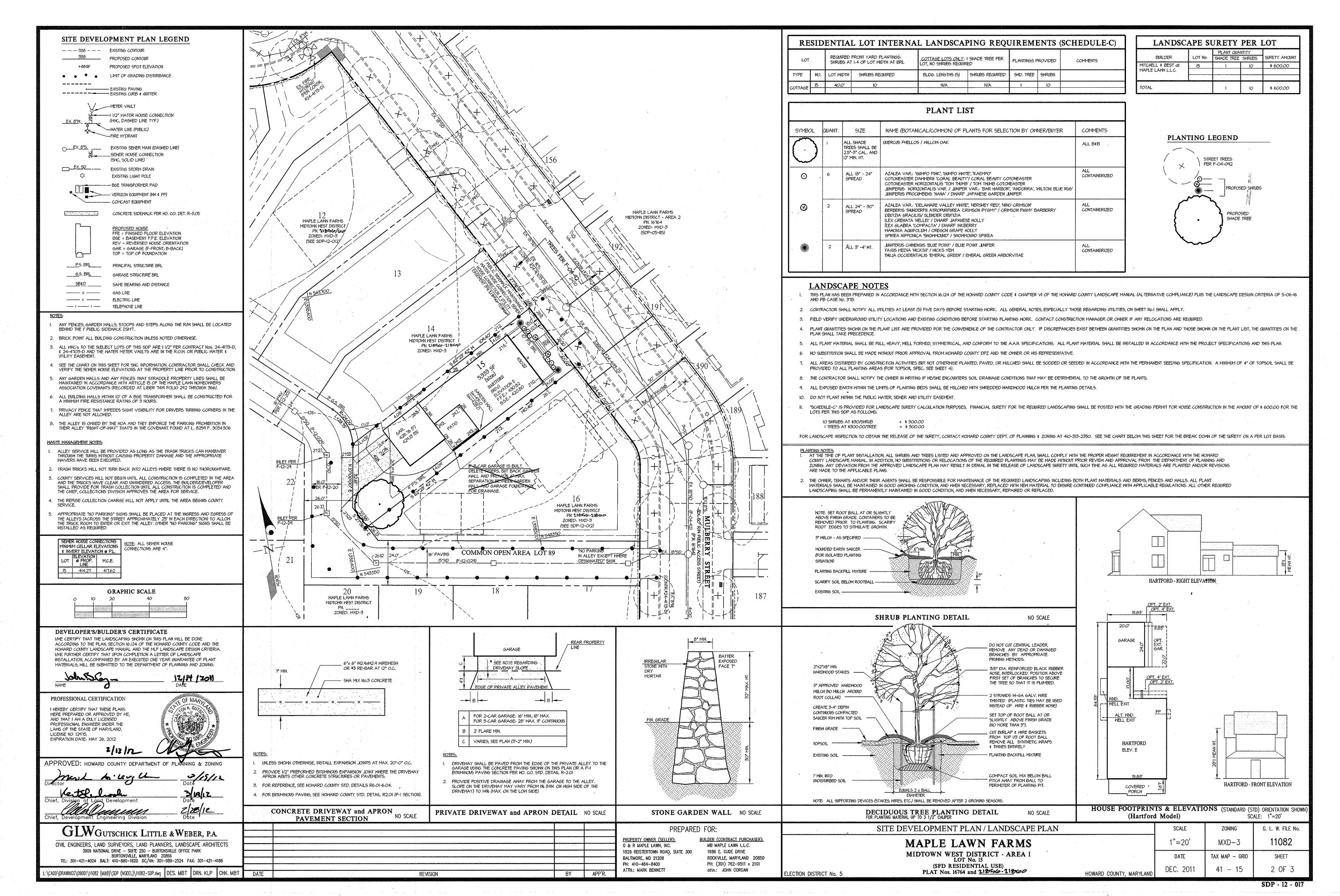
## SHEET INDEX

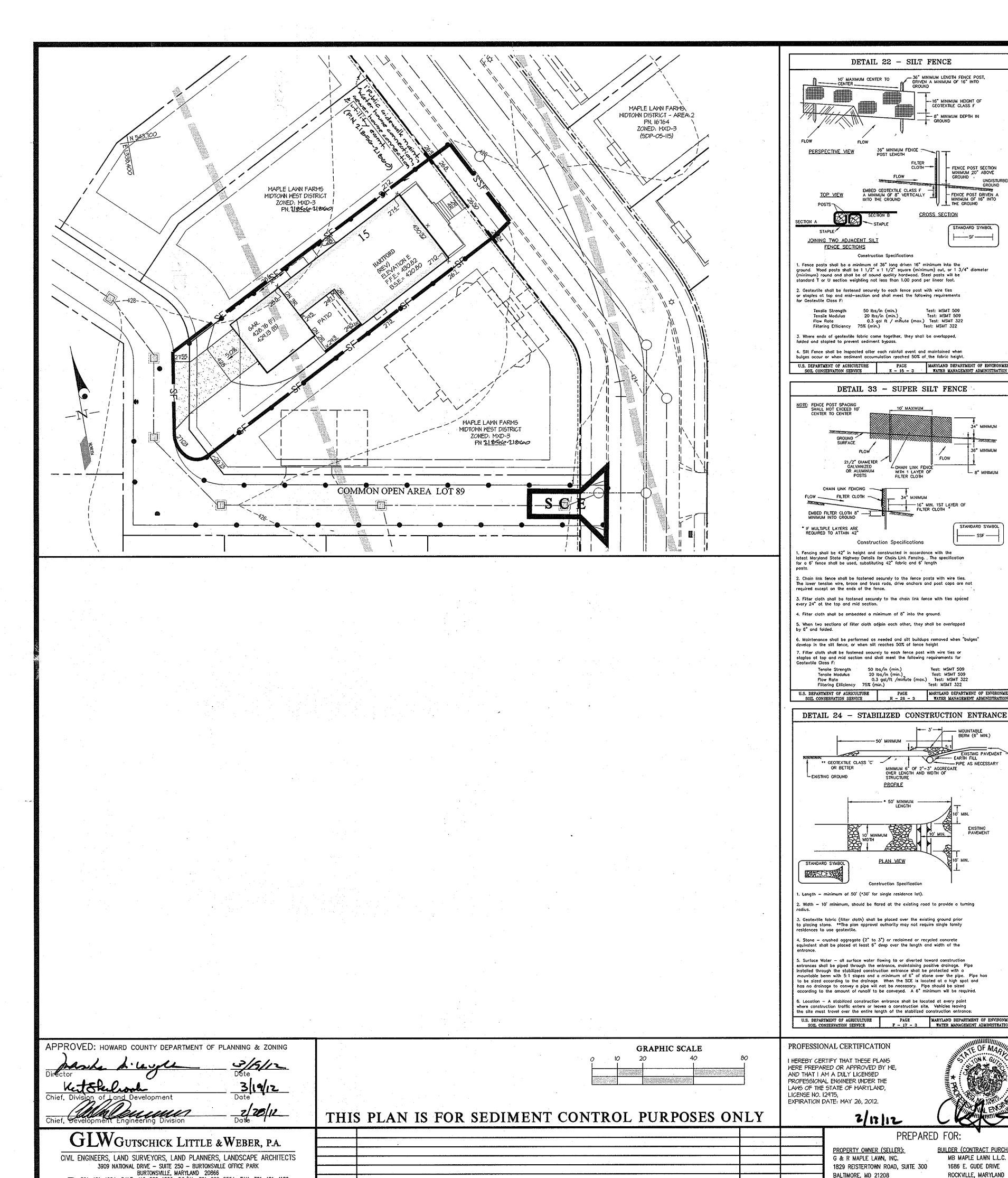
- SITE DEVELOPMENT PLAN / LANDSCAPE PLAN
- SEDIMENT CONTROL PLAN / NOTES and DETAILS

			ADDRES	SS CH	AR	T	٠			
LOT No.	STREET ADD	RESS								
15	7616 MULB	erry Stree	ī			_			•	
							į			
WATER	SE	MER	CODE:							
E2I ,					76950	. 000			•	
DEVELOPMENT NAME:				DISTRICT/AREA			LO*	r	CENSUS	TRAC
MAPLE LAWN FARMS, MIDTOWN WEST			EST DISTRICT		otown Ea i	I WEST,	15		6051	.02
PLA	T	ZONE	TAX MAP	GRID		ELEC. D	NST.	•		
16764	and 21856/0	MXD-3	41	15,16, 21	4 22	5				
		:	SCALL	F		70NING		G	I W FILE	Νo

**COVER SHEET** MAPLE LAWN FARMS MIDTOWN WEST DISTRICT - AREA 1 LOT No. 15 (SFD RESIDENTIAL USE) PLAT Nos. 16764 and 21256-21860

TAX MAP - GRID HOWARD COUNTY, MARYLAND





REVISION

TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

:\CADD\DRAWINGS\09001\11082 (M&B)\SDP (MODEL)\11082-SnE.dwg | DES. MBT | DRN. KLP | CHK. MBT

# DUST CONTROL

FENCE POST DRIVEN A

STANDARD SYMBOL

-------SF ------

CROSS SECTION

Test: MSMT 509

PACE

B - 15 - 3

MARYLAND DEPARTMENT OF ENVIRONMENT
WATER MANAGEMENT ADMINISTRATION

EARTH FILL

---- PIPE AS NECESSARY

MARYLAND DEPARTMENT OF ENVIRONMENT
WATER MANAGEMENT ADMINISTRATION

BUILDER (CONTRACT PURCHASER):

ROCKVILLE, MARYLAND 20850

PH: (301) 762-9511 x 2101

MB MAPLE LAWN L.L.C.

1686 E. GUDE DRIVE

attn.: JOHN CORGAN

PREPARED FOR:

PH: 410-484-8400

ATTN.: MARK BENNETT

10° MAXIMUM

Test: MSMT 322

DEFINITION CONTROLLING DUST BLOWING AND MOVEMENT ON CONSTRUCTION SITES AND ROADS.

TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES, REDUCE ON AND OFF-SITE DAMAGE, HEALTH HAZARDS, AND IMPROVE TRAFFIC

CONDITIONS WHERE PRACTICE APPLIES THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON AND OFF-SITE DAMAGE IS LIKELY WITHOUT TREATMENT.

<u>SPECIFICATIONS</u>

TEMPORARY METHODS 1. MULCHES — SEE STANDARDS FOR VEGETATIVE STABILIZATION WITH MULCHES ONLY. MULCH SHOULD BE CRIMPED OR TACKED TO PREVENT BLOWING.

VEGETATIVE COVER - SEE STANDARDS FOR TEMPORARY VEGETATIVE COVER. 3. TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS AN EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON MINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12" APART, SPRING-TOOTHED HARROWS, AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED

4. IRRIGATION — THIS IS GENERALLY DONE AS AN EMERGENCY TREATMENT. SITE IS SPRINKLED WITH WATER UNTIL THE SURFACE IS MOIST. REPEAT AS NEEDED AT NO TIME SHOULD THE SITE BE IRRIGATED TO THE POINT THAT RUNOFF BEGINS TO FLOW.

5. BARRIERS - SOLID BOARD FENCES, SILT FENCES, SNOW FENCES, STRAW BALES, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOL BLOWING. BARRIERS PLACED AT RICHT ANGLE TO PREVAILING CURRENTS AT INTERVALS AT ABOUT TEN TIMES THEIR HEIGHT ARE EFFECTIVE IN CONTROLLING SOIL BLOWING. CALCIUM CHLORIDE - APPLY AT RATES THAT WILL KEEP SURFACE MOIST. MAY NEED TREATMENT. PERMANENT METHODS

1. PERMANENT VEGETATION - SEE STANDARDS FOR PERMANENT VEGETATIVE COVER, AND PERMANENT STABILIZATION WITH SOD. EXISTING TREES OR LARGE SHRUBS MAY AFFORD VALUABLE PROTECTION IF LEFT IN PLACE.

TOPSOILING - COVERING WITH LESS EROSIVE SOIL MATERIAL. SEE STANDARDS FOR TOP SOIL 3. STONE - COVER SURFACE WITH CRUSHED STONE OR GRAVEL.

AGRICULTURE HANDBOOK 346. WIND EROSION FORCES IN THE UNITED STATES AND THEIR USE AGRICULTURE INFORMATION BULLETIN 354. HOW TO CONTROL WIND EROSION, USDA\_ARS.

## SEQUENCE OF CONSTRUCTION

- APPLY FOR GRADING PERMIT AND SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE INSPECTOR. OBTAIN GRADING PERMIT FROM THE INSPECTOR AT THE MEETING, DURATION: 1/2 day.
- 2. INSTALL STABILIZED CONSTRUCTION ENTRANCES (SCE), SILT FENCES (SF), SUPER SILT FENCES (SSF) AND ANY ADDITIONAL SEDIMENT CONTROL MEASURES AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR. DURATION: I-day.
- 3. GRADE SITE FOR HOUSE CONSTRUCTION. PROVIDE DUST CONTROL AS NECESSARY. DURATION: 2 days.
- 4. CONSTRUCT HOUSES, DRIVEWAYS AND SIDEWALKS. INSTALL FENCES AND PLANT MATERIAL. DURATION: 3-4 months.
- 5. AS EACH BUILDING IS COMPLETED, STABILIZE ANY REMAINING BARE DIRT AREA WITH PERMANENT SEEDING OR WITH SOD. Duration: I-day.
- 6. ONCE AREA DRAINING TO SEDIMENT CONTROL MEASURES HAVE BEEN STABILIZED, OBTAIN PERMISSION FROM THE INSPECTOR TO REMOVE THE SEDIMENT CONTROL ITEMS. Duration: 1/2 day.
- 7. OBTAIN INSPECTION FOR RELEASE OF SURETY (FOR GRADING AND LANDSCAPING). Duration: 1/2 day
- 8. OBTAIN USE AND OCCUPANCY PERMIT THEN FINALIZE SETTLEMENT.

## NOTES:

TEMPORARY SWM IS PROVIDED BY THE EXISTING BASIN ON OPEN SPACE LOT 236 PER F-03-90. (SEE SHEET #I)

2). IF HOUSE CONSTRUCTION IS CONCURRENT WITH ROAD CONSTRUCTION,

COORDINATE THE WORK ON THESE PLANS WITH F-12-020.

3.) NO STOCKPILE WILL BE PERMITTED ON SITE.

## SEDIMENT CONTROL LEGEND

---- EXISTING CONTOUR 600 PROPOSED CONTOUR ● • LIMIT OF GRADING DISTURBANCE STABILIZED CONSTRUCTION S.C.E. ENTRANCE SOILS DELINEATION

SOILS

## STANDARD AND SPECIFICATIONS FOR TOPSOIL

DEFINITION PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT L'EVELS, LOW PH, MATERIALS TOXIC TO

APPLIES

B. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIED OF MOISTURE AND

ADEQUATE STABILIZATION. AREAS HAVING SLOPES STEEPER THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE PLANS.

TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE

TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE

A. TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY A AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY REGARDLESS TOPSOLL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS,

C. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.

IN 20.0 VEGETATIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS (OR SEE SEEDING NOTES).

I. PH FOR TOPSOIL SHALL BE BETWEEN 6.0 AND 7.5. IF THE TESTED SOIL DEMONSTRATES A PH OF LESS THAN 6.0, SUFFICIENT LIME SHALL BE

PRESCRIBED TO RAISE THE PH TO 6.5 OR HIGHER. 2. ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 1.5 PERCENT BY WEIGHT

SHALL NOT BE USED.

IN 2.0 VEGETATIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS (OR SEE SEEDING NOTES).

PRACTICES SUCH AS DIVERSION, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS. B. GRADES ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY

PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH

ALTERNATIVE FOR PERMANENT SEEDING - INSTEAD OF APPLYING THE FULL AMOUNTS OF LIME AND COMMERCIAL FERTILIZER, COMPOSTED SLUDGE AND

I. COMPOSTED SLUDGE SHALL BE SUPPLIED BY, OR ORIGINATE FROM, A PERSON OR PERSONS THAT ARE PERMITTED (AT THE TIME OF ACQUISITION OF THE COMPOST) BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT UNDER

2. COMPOSTED SLUDGE SHALL CONTAIN AT LEAST I PERCENT NITROGEN, 1.5 TO 8.0. IF COMPOST DOES NOT MEET THESE REQUIREMENTS. THE APPROPRIATE CONSTITUENTS MUST BE ADDED TO MEET THE REQUIREMENTS

3. COMPOSTED SLUDGE SHALL BE APPLIED AT A RATE OF I TON1,000

B. COMPOSTED SLUDGE SHALL BE AMENDED WITH A POTASSIUM FERTILIZER APPLIED AT A RATE OF 4LB/1,000 SQUARE FEET, AND 1/3 THE NORMAL LIME APPLICATION RATE.

REFERENCES: GUIDELINE SPECIFICATIONS, SOIL PREPARATION AND SODDING. MD-VA

I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT. THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.

12/14/20H

SEDIMENT CONTROL PLAN / NOTES and DETAILS G. L. W. FILE No. MAPLE LAWN FARMS 1"=20' MXD-3MIDTOWN WEST DISTRICT - AREA 1 LOT No. 15 TAX MAP - GRID SHEET (SFD RESIDENTIAL USE) PLAT Nos. 16764 and 21860-21860 HOWARD COUNTY, MARYLAND

SEDIMENT CONTROL NOTES

OFFICE OF INSPECTION AND PERMITS PRIOR TO THE START OF ANY

ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN

CONSTRUCTION. (410) 313-1855

AND ESTABLISHMENT OF GRASSES.

SEDIMENT CONTROL INSPECTOR.

TOTAL AREA OF SITE

OFF-SITE WASTE/BORROW

WORKING DAY, WHICHEVER IS SHORTER.

(UNLESS PREVIOUSLY LOOSENED).

OF THE FOLLOWING SCHEDULES

EERTILIZER (A.I. BS/IOOO SO ET

TONS/ACRE WELL ANCHORED STRAW.

REPAIRS, REPLACEMENTS AND RESEEDINGS.

(UNLESS PREVIOUSLY LOOSENED).

FERTILIZER (14 LBS/1000 SQ FT).

AS POSSIBLE IN THE SPRING, OR USE SOD.

AREA LOCATION

AREA DISTURBED

TOTAL CUT

TOTAL FILL

DAY OF DISTURBANCE.

COVER IS NEEDED.

I. A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY

2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED

FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERETO.

OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 7

CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES.

4. ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING

SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. I,

CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.

5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD

AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR

SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS

PERMANENT SEEDINGS, SOD, TEMPORARY SEEDINGS AND MULCHING (SEC. G).

TEMPORARY STABILIZATION, WITH MULCH ALONE, CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION

6. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND

ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION

AREA TO BE ROOFED OR PAVED : 0.07± AC.

AREA TO BE VEGETATIVELY STABILIZED: 0.07± AC.

FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY

8. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING

ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME

NECESSARY BY THE HOWARD COUNTY DPW SEDIMENT CONTROL INSPECTOR.

OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF

PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER

II. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO 3 PIPE

LENGTHS OR THAT WHICH SHALL BE BACKFILLED AND STABILIZED WITHIN I

APPLY TO GRADED OR CLEARED AREA NOT SUBJECT TO IMMEDIATE

FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY

SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE

PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC

10-10-10 FERTILIZER (14 LBS/1000 SQ FT) BEFORE SEEDING.

LIMESTONE (92 LBS/1000 SQUARE FEET) AND 600 LBS PER ACRE

HARROW OR DISC INTO UPPER THREE INCHES OF SOIL. AT TIME

OF SEEDING, APPLY 400 LBS PER ACRE 30-0-0 UREA-FORM

LIMESTONE (92 LBS/1000 SQ FT) AND 1000 LBS PER ACRE OF

SEEDING: FOR THE PERIODS MARCH I THRU APRIL 30, AND AUGUST

OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY I THRU JULY 31 SEED WITH 60 LBS KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS

THRU OCTOBER 15, SEED WITH 60 LBS PER ACRE (1.4 LBS/1000 SQ FT)

PER ACRE (05 LBS/1000 SQ FT) OF WEEPING LOVEGRASS. DURING THE

PERIOD OF OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY: OPTION

(1) 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS

SEED WITH 60 LBS/ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2

MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 50

FT) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING.

ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL/1000 SQ FT) OF

EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES & FEET OR HIGHER,

TEMPORARY SEEDING NOTES

SEEDING: FOR PERIODS MARCH I THRU APRIL 30 AND FROM AUGUST 15

LBS/1000 SQ.FT.). FOR THE PERIOD MAY I THRU AUGUST 14, SEED WITH 3

LBS PER ACRE OF WEEPING LOVEGRASS (.07 LBS/1000 SQ FT). FOR THE

PERIOD NOVEMBER 16 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2

TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON

MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ

FT) OF UNROTTED, WEED-FREE, SMALL GRAIN STRAW IMMEDIATELY AFTER

SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH

EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES, & FT OR HIGHER, USE

ANCHORING TOOL OR 218 GAL PER ACRE (5 GAL/1000 SQ FT) OF

348 GAL PER ACRE (8 GAL/1000 SQ FT) FOR ANCHORING.

THRU OCTOBER 15, SEED WITH 2-1/2 BUSHEL PER ACRE OF ANNUAL RYE (3.2

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING

WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

SOIL AMENDMENTS: APPLY 600 LBS PER ACRE 10-10-10

USE 348 GALLONS PER ACRE (8 GAL/1000 SQ FT) FOR ANCHORING.

MAINTENANCE: INSPECT ALL SEEDED AREAS AND MAKE NEEDED

ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH

SOON AS POSSIBLE IN THE SPRING. OPTION (2) USE SOD. OPTION (3)

2) ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC

10-10-10 FERTILIZER (23 LBS/1000 SQ FT) BEFORE SEEDING.

HARROW OR DISC INTO UPPER THREE INCHES OF SOIL.

RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING

IO. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL

INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE

BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL

9. ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED

THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.

PERMANENT SEEDING NOTES

LOT 15

200± CY

200± CY

: 0.12± AC.

: 0.14± AC.

: NONE

DIKES AND PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1, B) 14

DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT

CONFORMANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS

3. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT

PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

CONDITIONS WHERE PRACTICE

THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPE WHERE

THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.

. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT

D. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE. FOR THE PURPOSE OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR

## CONSTRUCTION AND MATERIAL SPECIFICATIONS

DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE RESPECTIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.

ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN I 1/2" IN DIAMETER.

B. TOPSOIL MUST BE FREE OF PLANT PARTS SUCH AS BERMUDA GRASS. QUACKGRASS, JOHNSONGRASS, NUTSEDGE, POISON IVY, THISTLE, OR OTHERS AS

CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE IF 4-8 TONS/ACRE

. FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES: A. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED

V. FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES: A. ON SOIL MEETING TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS DICTATING FERTILIZER & LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE

3. TOPSOIL HAVING SOLUBLE SALT GREATER THAN 500 PARTS PER MILL

4. NO SOD OR SEED SHALL BE PLACED ON SOIL WHICH HAS BEEN WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL! SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHOTO-TOXIC MATERIALS.

NOTE: TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL.

B. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED TOPSOIL APPLICATION

A. WHEN TOPSOILLING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL

ESTABLISHED, SHALL BE MAINTAINED, ALBEIT 4"-8" HIGHER IN ELEVATION. C. TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4'-8' LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4". SPREADING SHALL BE A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILLING OR OTHER

OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER D. TOPSOIL SHALL NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.

AMENDMENTS MAY BE APPLIED AS SPECIFIED BELOW:

A. COMPOSTED SLUDGE MATERIAL FOR USE AS A SOIL CONDITIONER FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES SHALL BE TESTED TO PRESCRIBE AMENDMENTS AND FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

COMAR 26.04.06.

PERCENT PHOSPHORUS, AND 0.2 PERCENT POTASSIUM AND HAVE A PH OF 7.0 PRIOR TO USE.

PUB. #I, COOPERATIVE EXTENSION SERVICE, UNIVERSITY OF MARYLAND AND VIRGINIA POLYTECHNIC INSTITUTES. REVISED 1973.

I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD."

ENGINEER'S CERTIFICATE

LECTION DISTRICT No. 5

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD

سيمالكمالك SIGNATURE OF DE FLOPER/BUILDER