

GENERAL NOTES

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1800 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7111 AT LEAST 48-HOURS PRIOR TO ANY EXCAVATION WORK.
4. PROJECT BACKGROUND: LOCATION: SEE VICINITY MAP IN THE TOP RIGHT CORNER OF THIS SHEET. TAX MAP: 41. ELECTION DISTRICT: 5. ZONING: MXD-3 PER ZB-95M (APPROVED ON 02-08-01), UNDERLYING ZONING IS RR-DEO AND PER THE 2/02/04 COMPREHENSIVE ZONING PLAN.
5. TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
6. ALL PLAN DIMENSIONS ARE TO THE FACE OF CURB OR FACE OF BUILDINGS UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIALY BETWEEN ITEMS UNLESS OTHERWISE NOTED.
7. EXISTING TOPOGRAPHY AND FEATURES COMPILED FROM F-06-161, F-08-012 & G.L.W. SURVEY DONE IN MAY/2004.
8. COORDINATES ARE BASED ON NAD83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATION NUMBERS 41EA & 46BC.
9. STORMWATER MANAGEMENT, FOR BOTH QUALITY AND QUANTITY, FOR THE DEVELOPMENT PROPOSED BY THESE PLANS (WHICH IS PART OF A PHASED PROJECT) WILL BE SATISFIED BY EXISTING REGIONAL FACILITY CONSTRUCTED UNDER F-03-10. THE EXISTING FACILITY ON OPEN SPACE LOT 236 IS PUBLICLY OWNED AND MAINTAINED. THE RECHARGE OBLIGATIONS FOR THESE LOTS HAVE BEEN PROVIDED IN AN EXISTING FACILITY LOCATED ON OPEN SPACE LOT 125 IN THE MIDTOWN DISTRICT-AREA 1 AND HAS CONSTRUCTED UNDER F-03-10.
10. PUBLIC WATER AND SEWER SHALL BE UTILIZED (AS PROVIDED BY HIS CONTRACT NOS. 24-4173-D & 24-4703-D) AND THE WATER METERS IN OUTSIDE VAULTS.
11. THE EXISTING UTILITIES SHOWN HEREIN WERE DERIVED FROM AVAILABLE PUBLIC RECORDS. THE CONTRACTOR MUST DIG TEST PITS (BY HAND) AT ALL UTILITY CROSSINGS AND CONNECTION POINTS TO VERIFY EXACT LOCATION. IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONFLICTS.
12. ALL ROADS LABELED AS "PUBLIC" ARE PUBLICLY MAINTAINED ONCE THEY ARE DEDICATED. ALL ROADS LABELED AS "PRIVATE" ARE PRIVATELY MAINTAINED BY A HOMEOWNER ASSOCIATION.
13. ANY DAMAGE TO THE ADJACENT COUNTY OWNED RIGHT-OF-WAY AND PROPERTY SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
14. THERE ARE NO GRAVE SITES, CEPETERIES, WETLANDS, 100-YR FLOODPLAIN OR STREAM ON THE BUILDABLE LOTS SHOWN ON THIS SITE DEVELOPMENT PLAN. ELSEWHERE WITHIN THE HILLSIDE DISTRICT OPEN SPACE THERE ARE WETLANDS, 100-YR FLOODPLAIN AND STREAMS.
15. THIS PROJECT COMPLIES WITH THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION. THE FOREST CONSERVATION OBLIGATIONS WERE ADDRESSED UNDER F-12-020.
16. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING (AS SHOWN ON SHEET 2 TO SATISFY 5-01-11 DEVELOPMENT CRITERIA AND SECTION 6.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL) SHALL BE POSTED AS PART OF THE GRADING PERMIT FOR EACH LOT (WHERE APPLICABLE). FOR ADDITIONAL INFORMATION ON THE LANDSCAPE SURETY SEE SHEET 2 AND THE GRADING PERMIT CHART ON SHEET 1.
17. DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
A. WIDTH - 12' (10' SERVING MORE THAN ONE RESIDENCE)
B. SURFACE - 4" OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATINGS (1 1/2" MIN)
C. GEOMETRY - MAX. 15% GRADE, MAX. 10% GRADE CHANGE AND MIN. 45' TURNING RADIUS.
D. STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (425 LOADINGS)
E. DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.
F. MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE.
18. PUBLIC REFUSE PICKUP IS PROVIDED IN THE ALLEY FOR THESE LOTS.
19. BAY WINDOWS, WINDOW WELLS, CHIMNEYS, HEATING OR AIR CONDITIONING UNITS AND EXTERIOR STAIRWAYS IF NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NO MORE THAN 4 FEET INTO ANY REQUIRED SETBACK OR COMPLIANCE WITH SECTION 123.A.1 OF THE ZONING REGULATIONS, EXCEPT FOR THE ITEMS LISTED UNDER 4.D OF THE LOT DEVELOPMENT DATA ON THIS SHEET.
20. AS A CONSEQUENCE OF THE SKETCH PLAN 5-01-11 APPROVAL PRIOR TO 11-15-11, THIS PROJECT IS GRANDFATHERED TO THE FOURTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
21. THE TWO CAR GARAGES SHALL BE USED FOR PARKING PURPOSES ONLY AND ARE NOT PERMITTED TO BE CONVERTED TO OTHER USES IN ACCORDANCE WITH SECTION 193.D.2.A OF THE ZONING REGULATIONS AND THE APPROVED MLF DEVELOPMENT CRITERIA. UNLESS OTHERWISE PROHIBITED BY POSTED SIGNAGE OR CURB MARKING, ON-STREET PARALLEL PARKING ALONG THE CURB WITHIN THE PUBLIC RIGHTS-OF-WAY IS ALLOWED FOR VISITOR AND OVERFLOW PARKING. THE ON-STREET PARKING AREA WILL NOT BE STRIPED.
22. NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAMS) OR CURB DIFFERS, FOREST CONSERVATION EASEMENT AREAS AND 100 YEAR FLOODPLAIN.
23. MINIMUM BUILDING SETBACK RESTRICTIONS FROM PROPERTY LINES AND THE PUBLIC ROAD RIGHTS OF WAY FOR ALL SFD AND SFA RESIDENTIAL LOTS WILL BE PROVIDED IN ACCORDANCE WITH THE COMPREHENSIVE DEVELOPMENT CRITERIA APPROVED FOR THIS PROJECT UNDER 5-01-11, 5-06-16, PB-355, PB 310 AND ZB-95M.
24. PHASING FOR THIS PROJECT IS IN ACCORDANCE WITH THE DECISION AND ORDER FOR ZB-95M AND THE DECISION AND ORDER FOR PB CASE NO. 353 (5-01-11) AND PB CASE NO. 316 AND 5-06-16.
25. BUILDABLE LOT IS SHOWN HEREON SHALL HAVE A ONE (1) FOOT WIDE PUBLIC EASEMENT ADJACENT TO THE PUBLIC ROAD RIGHT OF WAY, FOR THE PURPOSES OF SIDEWALK MAINTENANCE, WATER HOUSE CONNECTION AND SEWER HOUSE CONNECTION.

LOT DEVELOPMENT DATA

- 1. GENERAL SITE ANALYSIS DATA:
A. PRESENT ZONING: MXD-3 PER ZB-95M
B. PROPOSED USE OF SITE: 1 SFD RESIDENTIAL DWELLINGS
C. PUBLIC WATER & SEWER TO BE UTILIZED (CONTR 24-4173-D & 24-4703-D)
D. PARKING REQUIRED PER SFD 193.D.2.a: 2 SPACES/UNIT x 1 + 2 SPACES PARKING PROVIDED: 2 GARAGE SPACES (ALL LOTS HAVE AT LEAST A 2-CAR GARAGE, 3-CAR IS OPTIONAL. SEE NOTE 21 ABOVE REGARDING PARKING).
E. RECREATION OPEN SPACE FOR THIS SDP IS ADDRESSED UNDER F-06-161 (SEE OVERALL OPEN SPACE PROVISION CHART ON THIS SHEET).

- 2. AREA TABULATION:
A. AREA OF BUILDABLE LOTS FOR THIS SUBMISSION: 0.12 SF OR 5,333 AC.
B. AREA OF THIS PLAN SUBMISSION: 0.14 ACRES (L.O.D.)
C. AREA OF DISTURBANCE BY THIS SDP: 0.14 ACRES

Table with 5 columns: LOT TYPE, LOT NUMBER, MINIMUM LOT SIZE, MIN. LOT WIDTH AT FRONT BRL, MAX. BUILDING HT.
COTTAGE 15 2500 SQUARE FEET 32 FEET 30 FEET (MEAN HT.)

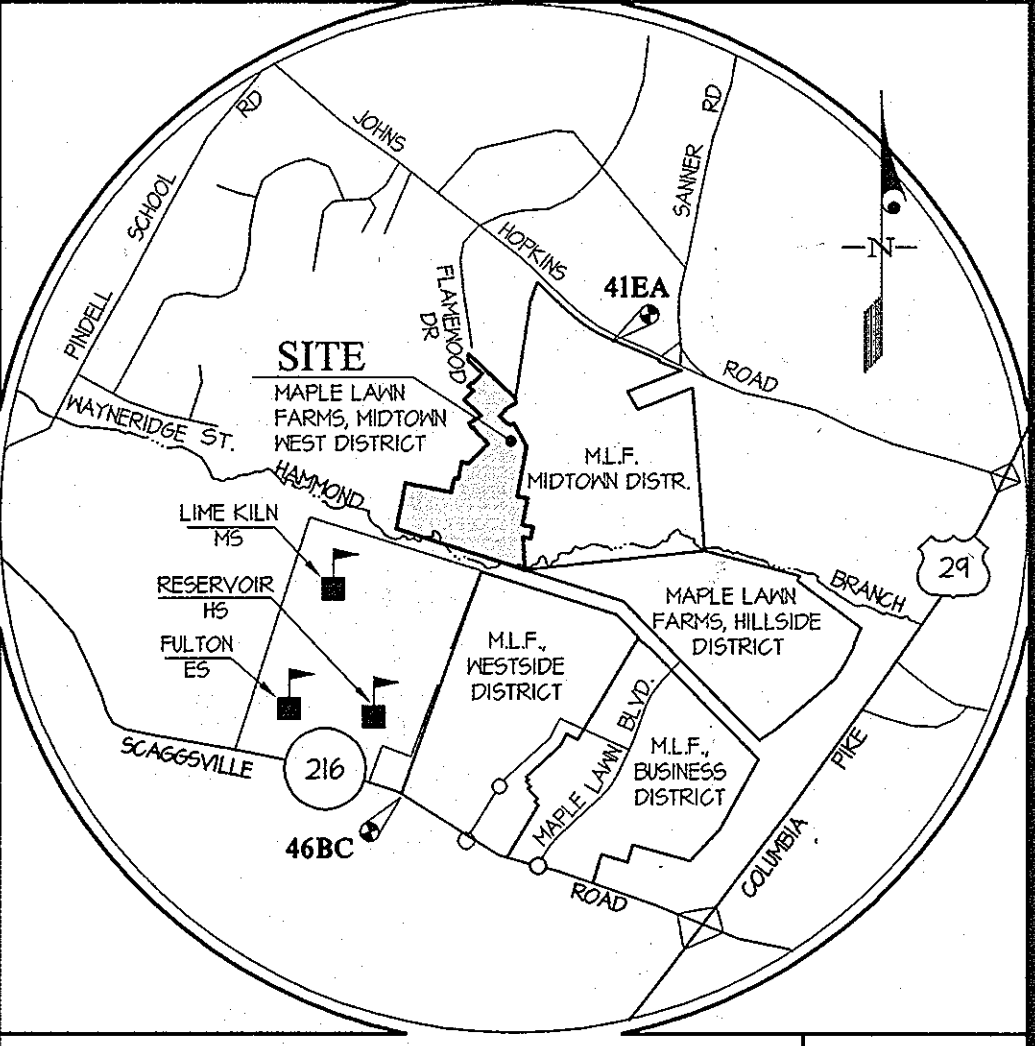
Table with 4 columns: LOT TYPE, FRONT SETBACK, SIDE SETBACK, MINIMUM REAR SETBACKS
COTTAGE 10' MIN 4' MIN 20' TO PRINCIPAL STRUCTURE 3' FOR REAR (DETACH/ATTACH) GARAGE OR TO ACCESSORY STRUCTURES.

* THERE IS NO SIDE SETBACK (0') FOR A GARAGE.
A. A ZERO LOT LINE DWELLING UNIT MAY BE LOCATED ON ANY PROPERTY LINE WHICH IS NOT A STREET RIGHT-OF-WAY PROVIDED THAT (1) NO PART OF THE DWELLING SHALL ENCRUCH ONTO THE ADJOINING LOT, (2) AN ACCESS EASEMENT FOR THE PURPOSE OF MAINTENANCE TO THE SIDE OF THE STRUCTURE SHALL BE INCLUDED IN THE DEED WHERE APPROPRIATE. SPACING BETWEEN DWELLING UNITS SHALL BE A MINIMUM OF 6'. GARAGES HOWEVER, MAY ADJOIN ALONG THE PROPERTY LINE. PROVIDED THEY COMPLY WITH ALL BUILDING AND FIRE CODE REGULATIONS.

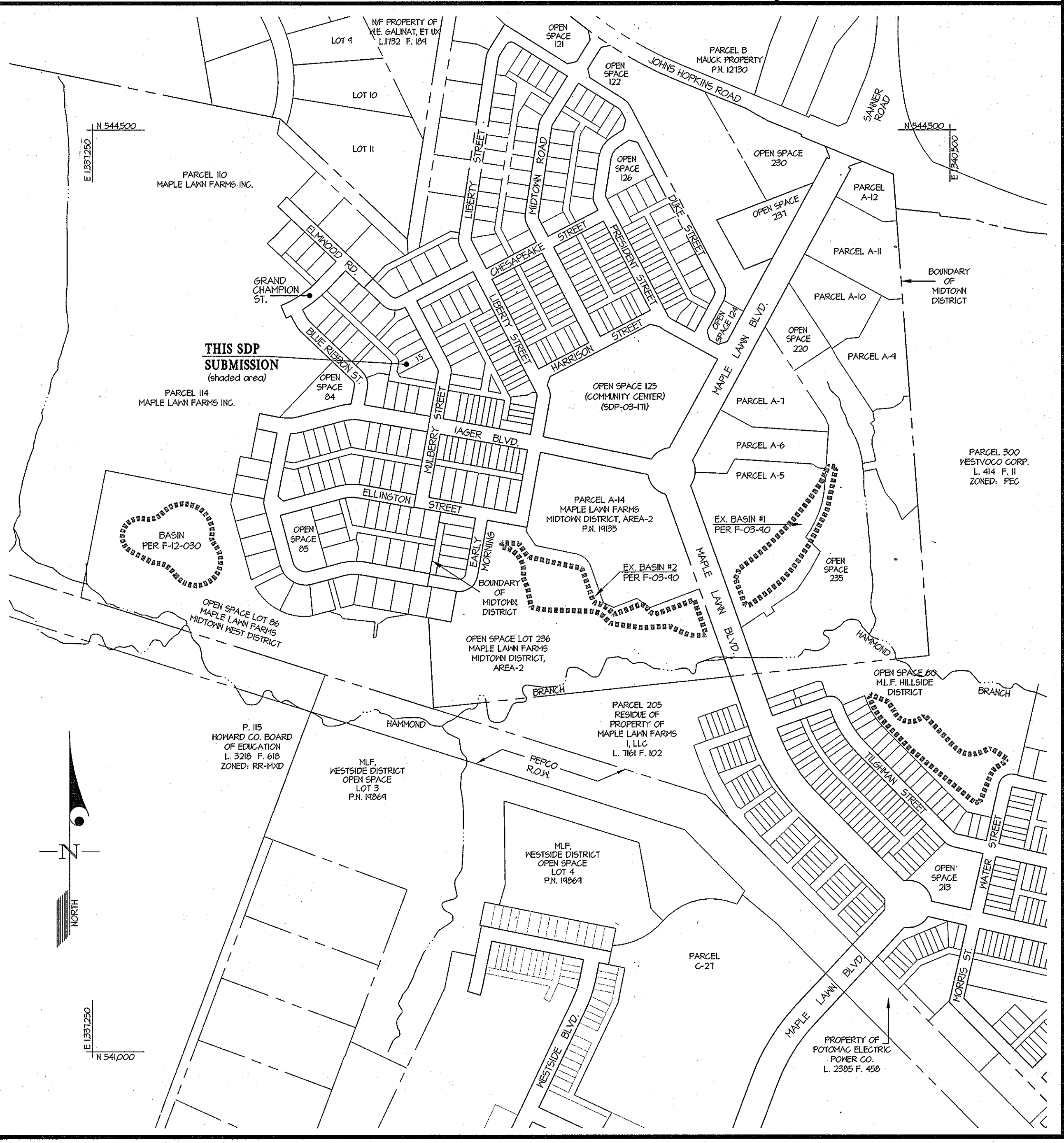
- B. OPEN DECKS MUST BE A MINIMUM OF 10' FROM REAR PROPERTY LINE, AND ARE SUBJECT TO SIDE YARD SETBACKS.
C. FACING ACCESSORY STRUCTURES AND DETACHED GARAGES (ACROSS AN ALLEY/LANE ROW) SHALL BE 30' APART.
D. EXCEPTIONS TO FRONT SETBACK REQUIREMENTS - SECTION 128.A.1 APPLIES, EXCEPT FOR THE FOLLOWING:
• PORCHES MAY ENCRUCH INTO THE FRONT YARD TO WITHIN 2' FROM THE PROPERTY LINE OR RIGHT-OF-WAY FOR TOWNHOUSES, COTTAGES AND MANORS. PORCHES MAY ENCRUCH INTO THE SIDE YARD OF CORNER LOTS TO WITHIN 2' FROM RIGHT-OF-WAY FOR COTTAGES AND MANORS, WHERE A SIDE YARD ADJUTS AN OPEN SPACE OR PASSAGE, PORCHES MAY ENCRUCH TO WITHIN 1' FROM SIDE PROPERTY LINE FOR COTTAGES AND MANORS.
• STOOPS AND STEPS MAY ENCRUCH INTO THE FRONT AND SIDE YARDS TO WITHIN 1' FROM THE FRONT PROPERTY LINE.
• GARDEN WALLS, FENCES, PIERS, GATES AND SIMILAR ORNAMENTS MAY BE BUILT IN THE FRONT AND SIDE YARDS NOT CLOSER THAN 1' FROM THE FRONT PROPERTY LINE, NOT GREATER THAN 48" ALONG THE FRONT PROPERTY LINE AND NOT GREATER THAN 12" ALONG THE SIDE AND REAR PROPERTY LINES.

MAPLE LAWN FARMS SITE DEVELOPMENT PLAN MIDTOWN WEST DISTRICT - AREA 1 LOT 15 FIFTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

HOWARD COUNTY CONTROL NAD83 HORIZONTAL DATA & NVD88 VERTICAL DATA
46BC ELEV. = 412.16 N = 534425.13 E = 13371205.71 STANDARD DISC ON CONCRETE MONUMENT
41EA ELEV. = 401.05 N = 544825.81 E = 13394217.44 STANDARD DISC ON CONCRETE MONUMENT



SITE OVERVIEW SCALE: 1" = 300'



OVERALL OPEN SPACE PROVISION FOR MAPLE LAWN FARMS

Table with columns: PHASE NUMBER (AND NAME), APPROVED DPZ FILE NO., PHASE AREA GROSS ACREAGE, REQUIRED OPEN SPACE (35% OF GROSS AC), OPEN SPACE PROVIDED IN AC. (R) *, REQUIRED ACTIVE OPEN SPACE IN AC. **, ACTIVE RECREATION O.S. PROVIDED IN AC. (R) ***

* THE PERCENTAGE OF OPEN SPACE PROVIDED IS BASED ON THE GROSS SITE ACREAGE.
** 10% OF THE OPEN SPACE REQUIRED MUST BE AVAILABLE FOR ACTIVE RECREATION.
*** THE PERCENTAGE OF ACTIVE RECREATION O.S. PROVIDED IS BASED ON THE O.S. PROVIDED (CUMULATIVE TOTAL ACREAGE).
1) 1.52 AC. = COMMUNITY CENTER (0.5, 125 - 5.01 AC.), 0.5, 126 (0.55 AC.) AND 0.5, 230 (1.96 AC.)
2) 0.24 AC. = PATHWAYS
3) 4.76 AC. = 05 LOT 4 (4.76 AC.)
4) 0.68 ACRES = 05 LOT 88 (0.68 AC.)
5) 1.29 ACRES = 05 LOT 85 (0.63 AC.), and 05 LOT 84 (0.66 AC.)
OPEN SPACE LOTS 126 AND 230 ARE CONSIDERED RECREATIONAL SINCE RESIDENTS WILL BE ABLE TO GATHER AND CHILDREN WILL BE ABLE TO PLAY IN THESE AREAS.

Table with 4 columns: LOT, DISTURBED AREA, LANDSCAPE SURETY AMOUNT, LANDSCAPE INSPECTION FEES PAID
LOT 15 0.144 AC \$ 600.00 \$ 100.00
TOTAL 0.144 AC \$ 600.00 \$ 100.00

SHEET INDEX

- 1. COVER SHEET
2. SITE DEVELOPMENT PLAN / LANDSCAPE PLAN
3. SEDIMENT CONTROL PLAN / NOTES AND DETAILS

ADDRESS CHART

Table with columns: LOT No., STREET ADDRESS, WATER CODE, SEWER CODE, DEVELOPMENT NAME, DISTRICT/AREA, LOT, CENSUS TRACT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: [Signature] Date: 2/15/12
Chief, Division of Land Development: [Signature] Date: 3/14/12
Chief, Development Engineering Division: [Signature] Date: 2/28/12

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12475, EXPIRATION DATE: MAY 26, 2012.
2/15/12 [Signature]

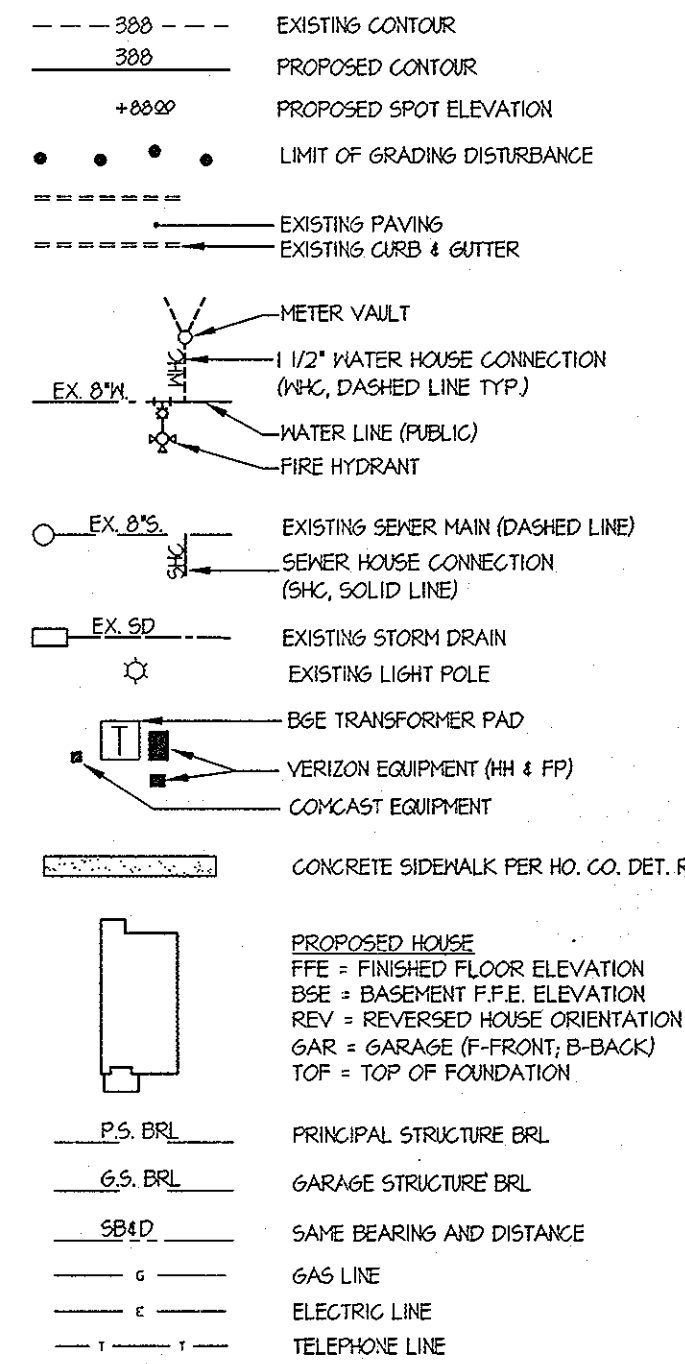
GLWGUTSCHICK LITTLE & WEBER, P.A. CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK BURTONSVILLE, MARYLAND 20886 TEL: 301-421-4024 BALT. 410-989-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

PREPARED FOR: PROPERTY OWNER (SELLER): G & R MAPLE LAWN, INC. 1829 REDISTERTOWN ROAD, SUITE 300 BALTIMORE, MD 21208 PH: 410-484-8400 ATTN: MARK BENNETT
BUILDER (CONTRACT PURCHASER): MB MAPLE LAWN L.L.C. 1686 E. GUDE DRIVE ROCKVILLE, MARYLAND 20850 PH: (301) 762-9511 x 2101 ctn.: JOHN CORGAN

COVER SHEET MAPLE LAWN FARMS MIDTOWN WEST DISTRICT - AREA 1 LOT No. 15 (SFD RESIDENTIAL USE) PLAT Nos. 16764 and 21856-21860

Table with columns: SCALE, ZONING, G. L. W. FILE No., DATE, TAX MAP - GRID, SHEET

SITE DEVELOPMENT PLAN LEGEND



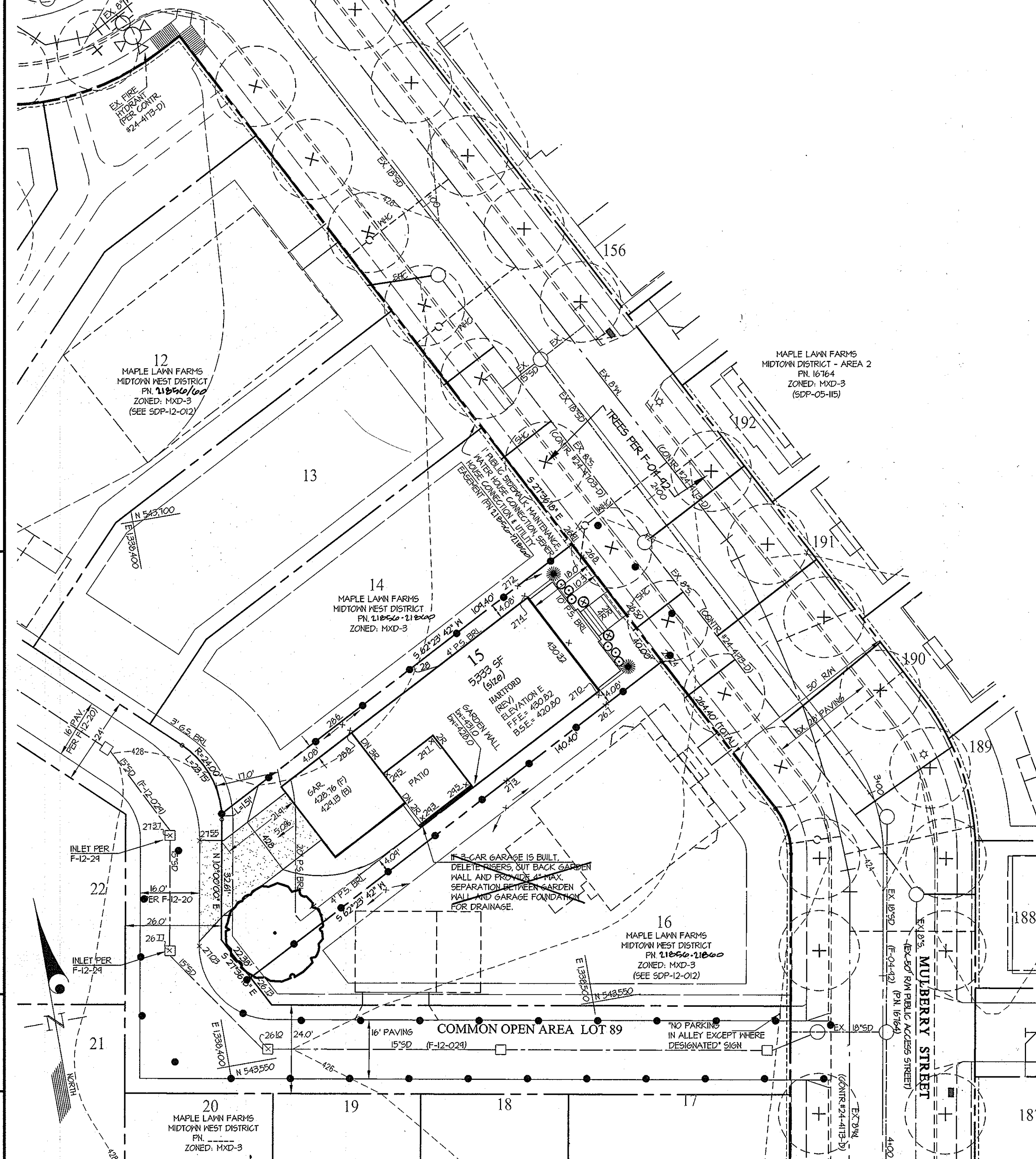
NOTES

- 1. ANY FENCES, GARDEN WALLS, STOODS AND STEPS ALONG THE R/W SHALL BE LOCATED BEHIND THE 1' PUBLIC SIDEWALK ESWT.

WASTE MANAGEMENT NOTES

- 1. ALLEY SERVICE WILL BE PROVIDED AS LONG AS THE TRASH TRUCKS CAN MANEUVER THROUGH THE TRAIL WITHOUT CAUSING PROPERTY DAMAGE AND THE APPROPRIATE PARKERS HAVE BEEN EDUCATED.

SEWER HOUSE CONNECTIONS MINIMUM CELLAR ELEVATIONS & INVERT ELEVATIONS @ PL. Table with columns for LOT, ELEVATION @ PROP. LINE, and M.C.E.



RESIDENTIAL LOT INTERNAL LANDSCAPING REQUIREMENTS (SCHEDULE-C)

Table with columns: LOT, REQUIRED FRONT YARD PLANTINGS, COTTAGE LOTS ONLY, PLANTINGS PROVIDED, COMMENTS.

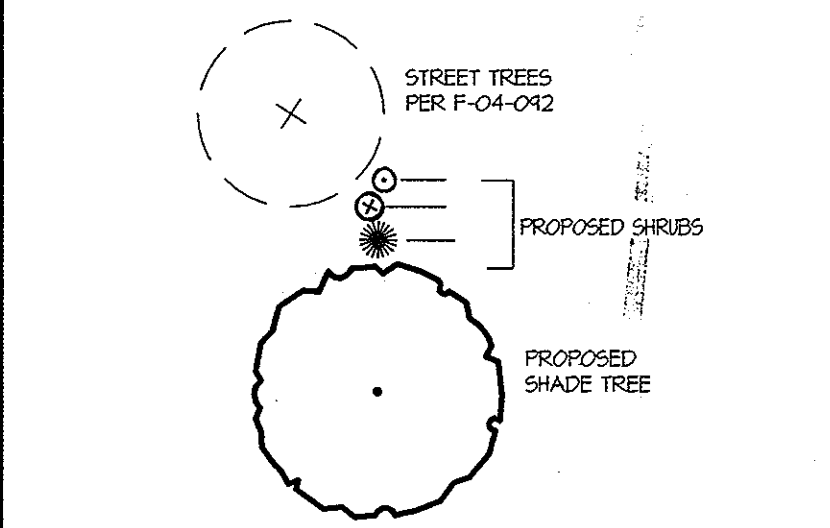
LANDSCAPE SURETY PER LOT

Table with columns: BUILDER, LOT NO., PLANT QUANTITY (SHADE TREE, SHRUBS), SURETY AMOUNT.

PLANT LIST

Table with columns: SYMBOL, QUANT., SIZE, NAME (BOTANICAL/COMMON) OF PLANTS FOR SELECTION BY OWNER/BUYER, COMMENTS.

PLANTING LEGEND

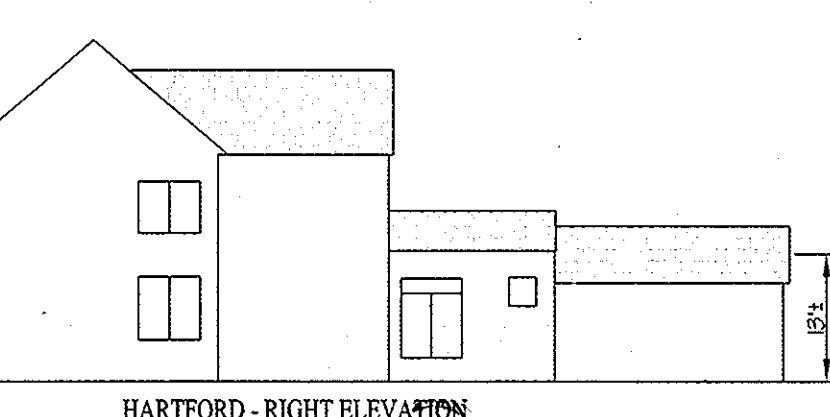
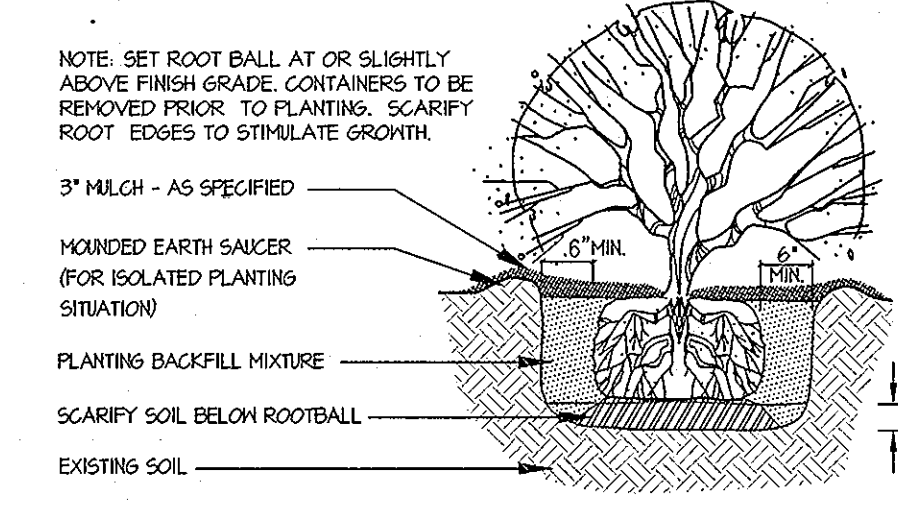


LANDSCAPE NOTES

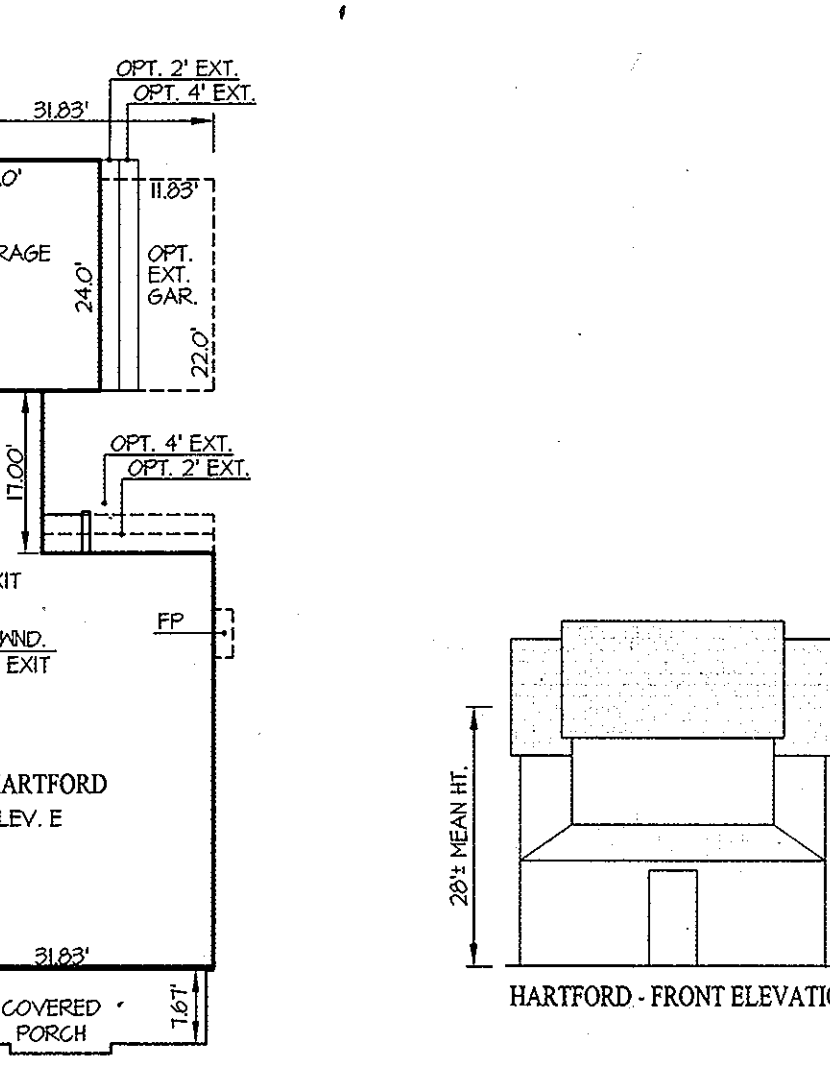
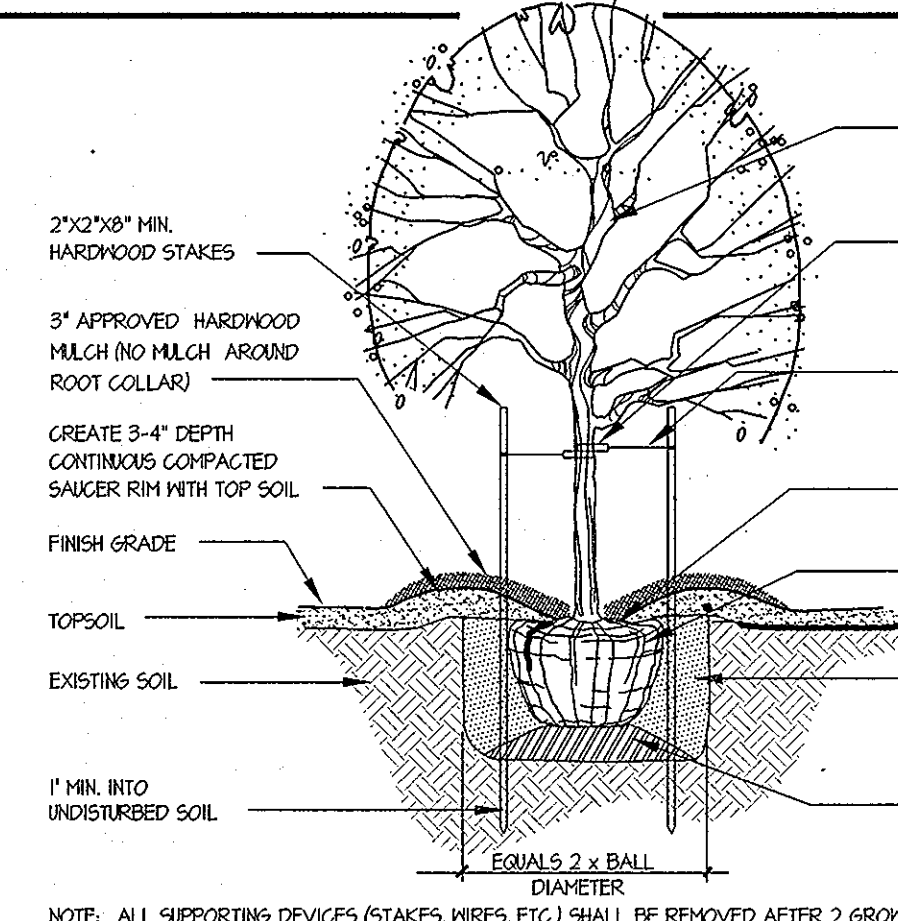
- 1. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.24 OF THE HOWARD COUNTY CODE & CHAPTER VI OF THE HOWARD COUNTY LANDSCAPE MANUAL (ALTERNATIVE COMPLIANCE) PLUS THE LANDSCAPE DESIGN CRITERIA OF 5-06-16 AND PER CASE NO. 378.

PLANTING NOTES

- 1. AT THE TIME OF PLANT INSTALLATION ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN, SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL.



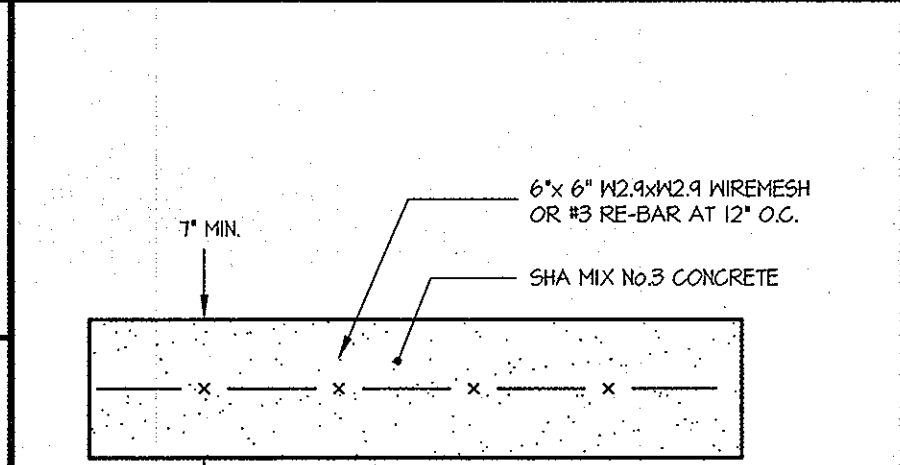
SHRUB PLANTING DETAIL



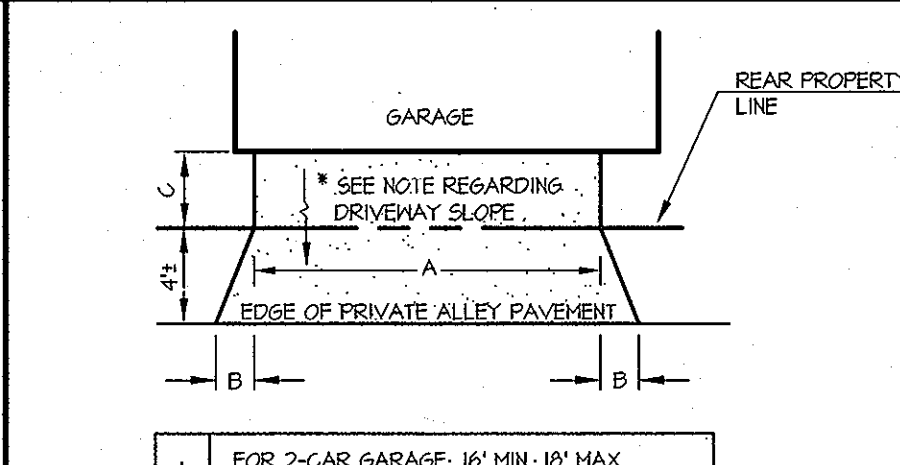
DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN SECTION 16.24 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL AND THE MFL LANDSCAPE DESIGN CRITERIA.

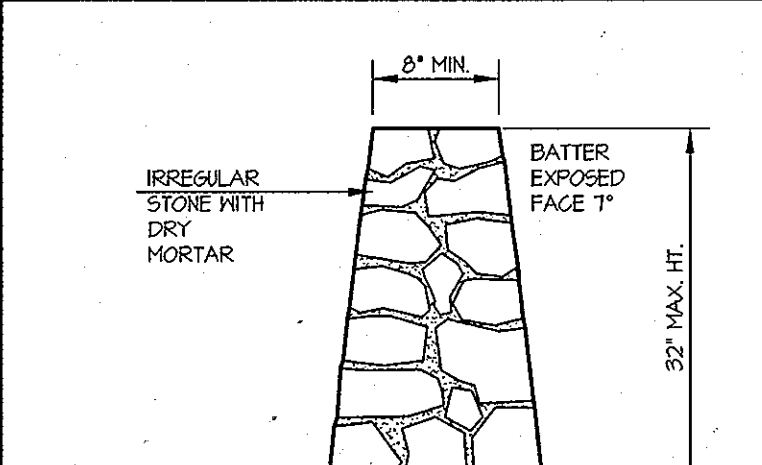
PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.



NOTES: 1. UNLESS SHOWN OTHERWISE, INSTALL EXPANSION JOINTS AT MAX 20'-0" O.C.

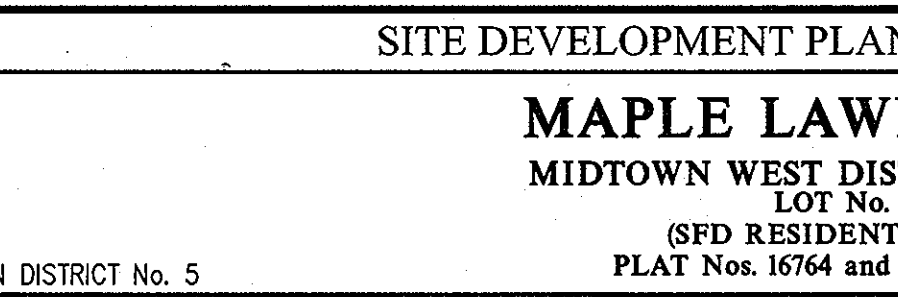


NOTES: 1. DRIVEWAY SHALL BE PAVED FROM THE EDGE OF THE PRIVATE ALLEY TO THE GARAGE USING THE CONCRETE PAVING SHOWN ON THIS PLAN OR A P-1 BITUMINOUS PAVING SECTION PER HO. CO. STD. DETAIL R-2.01.



NOTES: 1. DRIVEWAY SHALL BE PAVED FROM THE EDGE OF THE PRIVATE ALLEY TO THE GARAGE USING THE CONCRETE PAVING SHOWN ON THIS PLAN OR A P-1 BITUMINOUS PAVING SECTION PER HO. CO. STD. DETAIL R-2.01.

DECIDUOUS TREE PLANTING DETAIL



HOUSE FOOTPRINTS & ELEVATIONS (STANDARD (STD) ORIENTATION SHOWN)

Table with columns: SCALE, ZONING, G. L. W. FILE NO., DATE, TAX MAP - GRID, SHEET.

GLWGUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS 3909 NATIONAL DRIVE - SUITE 250 - BURTONVILLE OFFICE PARK

PREPARED FOR:

PROPERTY OWNER (SELLER): G & R MAPLE LAWN, INC. 1829 REISTERTOWN ROAD, SUITE 300

SITE DEVELOPMENT PLAN / LANDSCAPE PLAN

MAPLE LAWN FARMS MDTOWN WEST DISTRICT - AREA I LOT No. 15 (SFD RESIDENTIAL USE) PLAT Nos. 16764 and 21856-21860

