

General Notes

- All construction shall be in accordance with the latest standards and specifications of Howard County plus MHA standards and specifications if applicable.
- The contractor shall notify the Department of Public Works/Bureau of Engineering/Construction Inspection Division at 410-313-1880 at least five (5) working days prior to the start of any work being done.
- The Contractor shall test pit existing utilities as least five (5) days prior to the start of construction to verify their location and elevation. The contractor shall notify the engineer immediately if the location is different than shown.
- The Contractor shall coordinate the location of all water, sewer and drain house connections with the utility drawings.
- Traffic control devices, markings and signage shall be in accordance with the latest edition of the Maryland Manual of Uniform Traffic Control Devices (MUTCD).
- All plan dimensions are to face of curb unless otherwise noted such as shown on Sheet 9.
- The existing topography is taken from field run survey with one foot contour intervals prepared by Daft McCune Walker, Inc on August 23, 2011.
- The courses and coordinates shown hereon are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System. Howard County monument No's 47D4, 47E4, and 47G2 were used for this project.
- The Contractor shall maintain a minimum of a 2.0 foot protective cover over all utilities during construction.
- Refer to Architectural drawings for exact building dimensions.
- There are no floodplain, wetlands, streams, buffers, Forest Conservation Easement or 25% steep slopes the subject parcel.
- Project background information:
Parcel B
Tax Map: 47
Zoning: MKD-3
Election District: 6
Subdivision Name:
Emerson Sect 3 Area 1- Parcel B
Lot/Parcel: 1051
Parcel B Area: 6.401 Ac. +/-
File Numbers: P-01-25; S-99-12; PB 339;
F-02-161; ZB 879; PB 369; F-12-057
PLAT 18629 (F-02-131)
- Parcel E-1
Tax Map: 47
Zoning: PEC and MKD-3
Election District: 6
Subdivision Name:
Revitz Property Parcel E-1
Lot/Parcel: 0165
Parcel E-1 Area: 5.217 Ac. +/-
File Numbers: SP-01-12; F-02-11;
PLAT 18685 (F-07-055)
- All outdoor lighting shall comply with the requirements of Zoning Section 134. All exterior light fixtures shall be oriented to direct light inward and downward on-site and away from all adjoining residential properties and public roads in accordance with Section 124 of the Howard County Zoning Regulations.
- This site has been designed to be in conformance with ADA Regulations 28 CFR Part 36, Revised July 1, 1994. Handicap parking details and signage shall be in accordance with ADAAG (Americans with Disabilities Act Accessibility Guidelines) and COMAR (Code of Maryland Regulations) Section 5.02.02.
- Any damage to the county owned right-of-way shall be corrected at the contractor's expense.
- All sidewalks shall be cross sloped at 1/4 inch per foot.
- Trench bedding for storm drainage structures shall be in accordance with Howard County Standard 02.01.
- All inlets shall be constructed in accordance with Howard County standards or MSHA standards as specified on the structure.
- All materials and construction shall be in strict accordance with the Howard County Design Manual, Volume IV.
- Building setbacks for Parcel E-1 are based on PEC and MKD-3 (Emerson Design Criteria) zoning. Building setbacks for Parcel B are based only on MKD-3 (Emerson Design Criteria) zoning.
- All onsite driveways and parking areas to be privately maintained.
- All curb radii are to be 5 feet unless otherwise labeled and all curbs are to be 6 inches in height.
- All equipment and tools to be placed so as not to interfere with vehicular or pedestrian movement unless specified.
- The contractor shall be responsible for any damage to existing property which may occur as a result of negligence during the execution of work.
- All proposed handicap ramps shall be in accordance with current ADA standards.
- This property is located within the Metropolitan District.
- Electric, gas, cable, telephone and lighting lines are designed by others.
- This plan has been prepared in accordance with the provisions of section 16.124 of the Howard County Code and Landscape Manual. Landscaping shall be provided in accordance with the Landscape Plan and financial surety shall be paid with the DFW, Developer's Agreement. In the amount of \$32,190.00 for 13 shade trees, 3 evergreen trees and 328 shrubs for both Parcels B and E-1.
- (From plat #18629) As a result of the Preliminary Equivalent Sketch Plan being submitted to the County for review prior to 11/15/01. This subdivision is subject to compliance with the fourth edition of the Subdivision and Land Development Regulations. In addition, because this plan did not obtain a signature approval prior to 11/01/01, it is subject to compliance with County Bill 50-2001, which amends the Zoning Regulations, and the amended Zoning Regulations which became effective on 01/01/02. This SDP is subject to the amended Fifth Edition of the Subdivision and Land Development Regulations and the zoning or construction on this property must comply with the setback and buffer regulations in effect at the time of submission of the SDP, waiver or grading and building permits.
- The Forest Conservation requirements for this development were previously addressed under DPZ File # 6 F-02-111 with clearing 68.21 acres of forest, 26.42 acres of retention and 5.20 acres of reforestation planting provided as part of the Revitz Property Plan and under F-02-131 with clearing 39.47 acres of forest, 45.83 acres of forest retention, and 5.03 acres of reforestation as part of the Emerson Section 3, Area 1 Plan.
- Existing SWM ponds, privately owned and maintained, designed and approved under F-02-111 and F-02-131 meets the requirements for WQV and Cpy Management. Existing SWM ponds are owned and maintained by the Emerson Community Association. Rev will be met as shown on the Stormwater Management plans with stone recharge trenches, which shall be owned and maintained by the owner.
- Stormwater management is provided in accordance with the 2000 Maryland Stormwater Design Manual. This project meets the criteria as outlined in the MDE Guidelines to grant an administrative waiver and the waiver was approved August 22, 2011. The existing ponds located on parcel G and R were constructed prior to May 4, 2010. A grading permit shall be approved prior to May 4, 2013. This plan is also subject to the expiration of this waiver unless all stormwater practices are constructed by May 4, 2017.
- The existing utilities shown within Sterling Drive are based on approved Water Drawings, Contract No. 24-4014-D and contract No. 24-4024-D and were field located by DMW, Inc on May 13, 2010.
- The open space requirements for this development were previously addressed under DPZ File no. F-02-111, Plat #15783 recorded on January 27, 2003. A total of 40.275 of open space is provided on Parcels J, O, P, Q, R, I, K, L, M and N. No open space exists on Parcel B and E-1.
- No cemeteries or historic structures exist within the boundaries of the sites.
- The proposed building shall have an Automatic Fire Protection Sprinkler System (by others).
- Street light placement and the type of fixture and poles shall be in accordance with the Howard County Design Manual, Volume III (2006), section 5.5A. A minimum of 20' shall be maintained between any street light and any tree.
- All sign posts used for traffic control signs installed within the county right-of-way shall be mounted on a 2" galvanized steel, perforated, square tube post (1/4 gauge) installed into a 2-1/2" galvanized steel perforated, tube sleeve (1/2 gauge) 3' long. A galvanized steel pole cap shall be mounted on top of each post.
- Site deed reference: Deed 11479/117 (Parcel B) & Deed 85461/334 (Parcel E-1).
- This site complies with the Howard County Green Building Law set forth under Title 3, Subtitle 10 of the Howard County Code and section 3.1005(a) of the Code. Registration with the Green Building Council and the applicable LEED registration fee was paid on 12/18/2009. The LEED New Construction checklist was prepared, signed and dated by the project LEED accredited professional and was received by DPZ on 9/23/11. The proposed building is tentatively certified by LEED with a Silver rating.
- The Traffic Study for this project was updated by Traffic Concepts, Inc. in August 2011.
- The proposed project is in compliance with the AFFO Study for the Revitz property prepared by Wells & Associates and Approved Feb. 1, 2002.
- The subject property is zoned MKD-3 for Parcel B and PEC and MKD-3 for Parcel E-1 per the Comprehensive Plan, Feb. 2, 2004. The plan is subject to the Comp Line Zoning Regulation Amendments effective on July 28, 2006.
- No grading, removal of vegetative cover or trees, paving and new structures shall be permitted within the required wetlands, stream(s) or other buffers, forest conservation easement areas and 100 year floodplain.
- Trash collection, trash pick-up and recycling services will be provided for this building. At full occupancy, pick-up can occur daily.
- The parking on parcel E-1 is being developed to support the proposed building on Parcel B.
- As of the date of the approval of these plans, no information has been received from Verizon or Comcast.
- SHA has agreed to convey the portion of Whiskey Bottom Road that will be located within this site to Howard County, Maryland. Howard County, Maryland has agreed to convey the roadway to Emerson Development Homeowners' Association, LLC. (Resolution #112-2011 & 119-2011 for Sterling Drive and resolution #119-2011 for Whiskey Bottom Rd.)

49. A VARIANCE (RESOLUTION NO. 118-2011) PURSUANT TO SECTIONS 16.301 AND 16.200 (C) OF THE HOWARD COUNTY CODE WAS GRANTED ON JULY 28, 2011 FOR GOVERNMENT USES FROM THE STRUCTURE AND USE SETBACK FOR A FENCE.

PROFESSIONAL CERTIFICATION FOR REV #3

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 46292, EXPIRATION DATE: 05/21/2018

THE PURPOSE OF REVISION #3 IS TO SHOW THE WORK ASSOCIATED WITH THE EMERSON CAMPUS VCP. SDP-1W-005

Site Development Plan

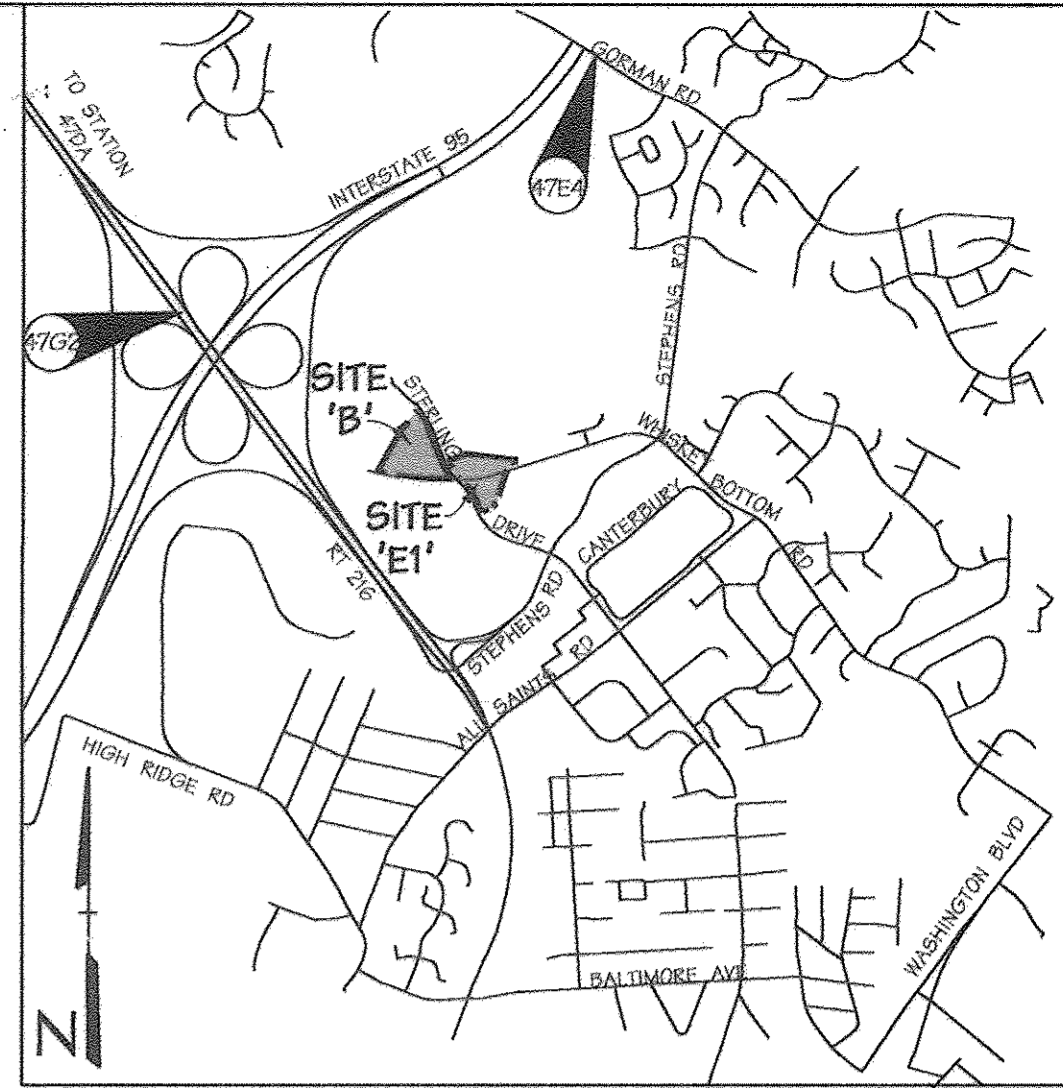
for Emerson & Parcel E-1

(Emerson Sect 3 Area 1) (Revitz Property)

Howard County Maryland

THE PURPOSE OF REVISION #2 IS:

- SHOW THE PROPOSED EMERSON CAMPUS SECURITY FENCE.
- ADD ADDITIONAL DRAWING SHEETS ASSOCIATED WITH THE PROPOSED EMERSON CAMPUS SECURITY FENCE.



VICINITY MAP
Scale: 1"=2000'
HOWARD COUNTY ADC MAP NUMBER 5053, BLOCK D10

BENCHMARK DESCRIPTION

COORDINATES IN MARYLAND NAD83(91) (HORIZONTAL) AND NGVD29 (VERTICAL) DATUMS.

47G2 NORTHING: 162440.1212	47E4 NORTHING: 163326.2295
EASTING: 411853.3279	EASTING: 413136.2550
ELEVATION: 364.2101ft.	ELEVATION: 359.909ft.

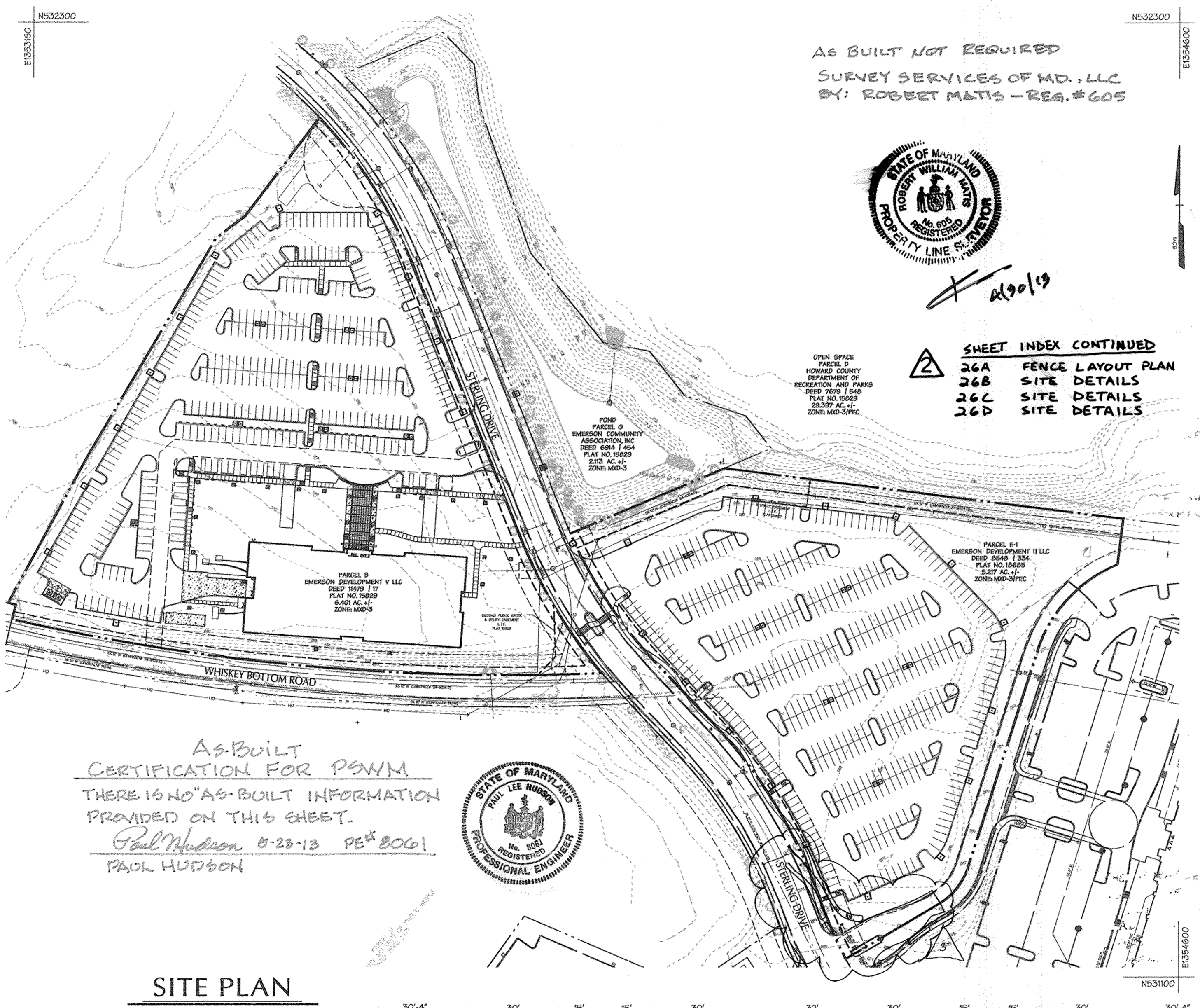
47D4 NORTHING: 163191.9104
EASTING: 41286.5759
ELEVATION: 96.2879ft.

ADDRESS CHART

PARCEL NUMBERS	STREET ADDRESS
PARCEL B	9111 STERLING DRIVE
PARCEL E-1	9090 STERLING DRIVE

Sheet Index

SHEET	DESCRIPTION
1	COVER SHEET
2	SITE PLAN PARCEL B
3	SITE PLAN PARCEL E-1
4	GRADING AND UTILITY PLAN PARCEL B
5	GRADING AND UTILITY PLAN PARCEL E-1
6	SITE DETAILS
7	SITE DETAILS
8	SITE DETAILS
9	SITE DETAILS
10	PHASE I EROSION & SEDIMENT CONTROL PLAN - 'B'
11	PHASE II EROSION & SEDIMENT CONTROL PLAN - 'B'
12	PHASE I EROSION & SEDIMENT CONTROL PLAN - 'E-1'
13	PHASE II EROSION & SEDIMENT CONTROL PLAN - 'E-1'
14	EROSION & SEDIMENT CONTROL DETAILS
15	EROSION & SEDIMENT CONTROL DETAILS
16	EROSION & SEDIMENT CONTROL DRAINAGE AREA MAP & DETAILS - 'B & E-1'
17	STORM DRAIN DRAINAGE AREA & SOILS MAP - 'B'
18	STORM DRAIN DRAINAGE AREA & SOILS MAP - 'E-1'
19	STORM DRAIN PROFILES
20	UTILITY PROFILES & GROUNDWATER RECHARGE
21	LANDSCAPE PLAN - 'PARCEL B'
22	LANDSCAPE PLAN - 'PARCEL E-1'
23	LANDSCAPE DETAILS
24	LIGHTING PLAN - 'B'
25	LIGHTING PLAN - 'E-1'
26	SIGNAGE & STRIPING PLAN



AS BUILT NOT REQUIRED
SURVEY SERVICES OF MD, LLC
BY: ROBERT MATIS - REG. #605



SHEET INDEX CONTINUED

26A	FENCE LAYOUT PLAN
26B	SITE DETAILS
26C	SITE DETAILS
26D	SITE DETAILS

Site Analysis Data Chart

PARCEL B (EMERSON SECT 3 AREA 1)	PARCEL E-1 (REVITZ PROPERTY)
<p>1. General Site Data</p> <p>a. Present Zoning: MKD-3</p> <p>b. Applicable DPZ File References: F-01-25, S-99-12; PB-339; F-02-131; ZB 879; PB 369; PLAT 18629; F-12-057</p> <p>c. Proposed Use: 5-Story commercial office building with supporting parking.</p> <p>d. Proposed Water: Public</p> <p>e. Proposed Sewer: Public</p> <p>f. Any other relevant information: N/A</p> <p>g. Area of steep slopes: 0 Acres</p> <p>h. Area of floodplain: 0 Acres</p>	<p>1. General Site Data</p> <p>a. Present Zoning: PEC and MKD-3</p> <p>b. Applicable DPZ File References: SP-01-12; F-02-11; F-07-055; PLAT 18685.</p> <p>c. Proposed Use: Supporting parking for office building on Parcel B.</p> <p>d. Proposed Water: N/A</p> <p>e. Proposed Sewer: N/A</p> <p>f. Any other relevant information: N/A</p> <p>g. Area of steep slopes: 0 Acres</p> <p>h. Area of floodplain: 0 Acres</p>
<p>2. Area Tabulation</p> <p>a. Total Site Area: 6.401 Ac. +/-</p> <p>b. Limit of Disturbed Area: 265,786 SF / 6.10 Ac. +/-</p> <p>c. Total Impervious Area: 171,694 SF / 3.94 Ac. (62%)</p> <p>d. Building Coverage of Site: 0.70 Acres and 11.0% of Site Area</p>	<p>2. Area Tabulation</p> <p>a. Total Site Area: 5.217 Ac. +/-</p> <p>b. Limit of Disturbed Area: 200,786 SF / 4.61 Ac. +/-</p> <p>c. Total Impervious Area: 146,159 SF / 3.36 Ac. (64%)</p> <p>d. Building Coverage of Site: N/A</p>
<p>3. Parking Space Data</p> <p>a. Number of Parking Spaces Required by Zoning Regulations and Criteria: 153,454 SF Office @ 3.31/1000 = 507 spaces</p> <p>b. Number of Parking Spaces Provided On-Parcel B: 337 spaces</p> <p>Parking for Parcel B: Regular (9'x18') = 174 Compact (8.5'x18') = 109 FEVILEY (9'x18') = 103 Visitor (9'x18') = 35 Handicapped (8'x18') = 16 (13 reg., 2 van)</p>	<p>3. Parking Space Data</p> <p>a. Number of Parking Spaces Required by Zoning Regulations and Criteria: See Parcel B</p> <p>b. Number of Parking Spaces Provided On-Parcel E-1: 426 spaces</p> <p>Parking for Parcel E-1: Regular (9'x18') = 312 Compact (8.5'x18') = 114</p> <p>Total: 426</p>
<p>4. Floor Area Ratio (FAR) Calculation</p> <p>Building area = 153,454 SF</p> <p>Lot area (lots B and E-1) = 278,828 SF + 227,253 SF = 506,081 SF</p> <p>FAR = 153,454 SF / 506,081 SF = 0.303 < 0.35 max permitted FAR</p> <p>Note: Any future proposal for additions to the building created under SDP-12-010 and/or any proposal in the future for additional structures on either parcel B or E-1 may require Planning Board review and approval if the FAR exceeds 0.35.</p>	

AS-BUILT CERTIFICATION FOR PSNM

THERE IS NO AS-BUILT INFORMATION PROVIDED ON THIS SHEET.

Paul Hudson 8-23-13 PE# 8061
PAUL HUDSON



SITE PLAN

Scale: 1"=100'

PROPOSED BUILDING FLOOR AREA

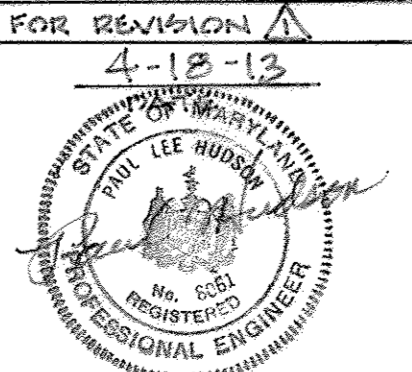
30,266 SF	1ST FLOOR AREA
30,722 SF	2ND FLOOR AREA
30,722 SF	3RD FLOOR AREA
30,722 SF	4TH FLOOR AREA
30,722 SF	5TH FLOOR AREA
153,454 SF	TOTAL FLOOR AREA

BUILDING ELEVATION

Not to Scale
BUILDING FACADE TO BE CONCRETE/MASONRY AND GLASS

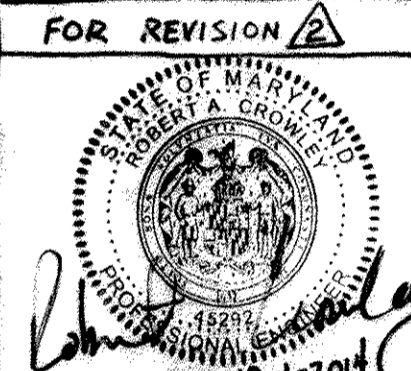
PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16978, EXPIRATION DATE: 5/13/12.



PROFESSIONAL CERTIFICATION REV#2

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 45292, EXPIRATION DATE: 05/21/2016



APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING

4-10-12 DATE

4-2-12 DATE

4/6/12 DATE

EMERSON CAMPUS VCP

CAMPUS PERIMETER SECURITY FENCE

2-28-13 DATE

ADD 4 FEVILEY SPACES ON PARCEL B

EMERSON PARCEL B & E-1

L.E.E.D. BUILDING:
5-STORY COMMERCIAL OFFICE BUILDING

OWNER/DEVELOPER:

PARCEL B: EMERSON DEVELOPMENT V, LLC
1 TEXAS STATION COURT
SUITE 200
TIMONUM, MD 21085
TAX MAP 47 GRD B PARCEL 1051
EMERSON SECTION 3 AREA 1
DEED 11479/117
TAX ACCT # 06-572553
PLAT: 18629

PARCEL E-1: EMERSON DEVELOPMENT I, LLC
1 TEXAS STATION COURT
SUITE 200
TIMONUM, MD 21085
TAX MAP 47 GRD 20 PARCEL 1051
REVITZ PROPERTY
DEED 85461/334
TAX ACCT # 06-572227
PLAT: 18685

DMW
DAFT MCCUNE WALKER INC.

200 EAST PENNSYLVANIA AVENUE - TOWSON, MD 21286
P: 410 296 8333 F: 410 296 4705 WWW.DMW.COM

A TEAM OF LAND PLANNERS, LANDSCAPE ARCHITECTS, ENGINEERS, SURVEYORS & ENVIRONMENTAL PROFESSIONALS

DESIGNER NAME: EMERSON & REVITZ PROPERTY	SUBDIVISION AREA: SECTION 3 AREA 1	LOT/Parcel #: LOT B / PAR. 1051
PLAT OR LOT: 18629 & 18685	TAX/ZONE MAP: 47	REVISION TRACT: LOT E-1 / PAR. 0165
OWNER CODE: 20	OWNER CODE: 6	OWNER TRACT: 606903

TITLE: COVER SHEET

Des. By: JBS	Scale: AS SHOWN	Proj. No.: 95054-60
Dim. By: JBS/TPC	Date: 12-13-11	
Chk. By: MCB/JDF	Approved:	1 of 26

Professional Engr. No. 16978

LEGEND

- PROPERTY BOUNDARY
- - - EX RIGHT OF WAY
- - - ADJACENT PROPERTY BOUNDARY
- - - EX EASEMENT
- - - EX ROADS AND WALKS
- - - 280 EX MAJOR CONTOUR
- - - EX MINOR CONTOUR
- FOREST CONSERVATION EASEMENT
- ⊗ EX STREET TREE
- ⊗ EX STREET TREE TO BE REMOVED
- ⊕ EX STREET LIGHT
- ⊕ EX STORM DRAIN
- ⊕ EX SANITARY SEWER
- ⊕ EX WATER
- OH EX OVERHEAD ELECTRIC
- ▭ PROP. BUILDING
- ▭ PROP. CURB / EDGE OF PAVING
- ▭ PROP. DEPRESSED CURB
- ▭ PROP. REVERSE CURB
- ⊕ PROP. GROUP LIGHT (BY OTHERS)
- ⊕ PROP. SINGLE LIGHT (BY OTHERS)
- ⊕ PROP. LIGHT (BY OTHERS)
- ▭ LIMIT OF DISTURBANCE
- 24" D. ⊕ PROP. STORM DRAIN
- 8" PVC ⊕ PROP. SANITARY SEWER
- 8" W. --- PROP. WATER
- EX 100 YR FLOODPLAIN
- EX STREAM
- STREAM BUFFER
- WETLAND BUFFER
- WETLAND

AS-BUILT
CERTIFICATION FOR PAVM
THERE IS NO "AS-BUILT" INFORMATION
PROVIDED ON THIS SHEET

Paul Hudson 5-23-13
PAUL HUDSON PE# 6061



AS BUILT NOT REQUIRED
SURVEY SERVICES OF MR. L.C.
BY: ROBERT MATIS - REG # 605

- NOTES:
- UNLESS LABELED OTHERWISE ALL CURB RADIUS ARE FIVE (5) FOOT.
 - SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
 - STREET LIGHT SHALL BE A 250 WATT HPS VAPOR COBIA FINURE (C/OFF) MOUNTED ON A 30" BRONZE FIBERGLASS POLE USING A 12" ARM. STREET LIGHT SHALL BE INSTALLED BY BGE AND PAID FOR BY THE DEVELOPER AS PART OF THE DEVELOPER'S AGREEMENT.
 - FOR LOCATION OF PAVING TYPES SEE SHEET 26 OF 26.

LIMIT OF DISTURBANCE = 265,786 SF. 6.10 AC. ±

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING	
<i>Robert Matis</i> CHIEF, DIVISION OF LAND DEVELOPMENT	4-10-12 DATE
<i>Chad Chandler</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION	4-2-12 DATE
<i>Michael A. Taylor</i> DIRECTOR	4/6/12 DATE

3-28-13	4 FEV/LEV Spaces
DATE	REVISION DESCRIPTION

EMERSON PARCEL B & E-1
L.E.E.D. BUILDING
5-STORY COMMERCIAL OFFICE BUILDING
OWNER/DEVELOPER:
PARCEL 'B' - EMERSON DEVELOPMENT V, LLC
PARCEL 'E-1' - EMERSON DEVELOPMENT II, LLC
SUITE 200
TIMONUM, MD 21093
EMERSON SECTION 3 AREA 1
DEED: 1403019
TAX ACT # 06-572953
PLAT: 158229

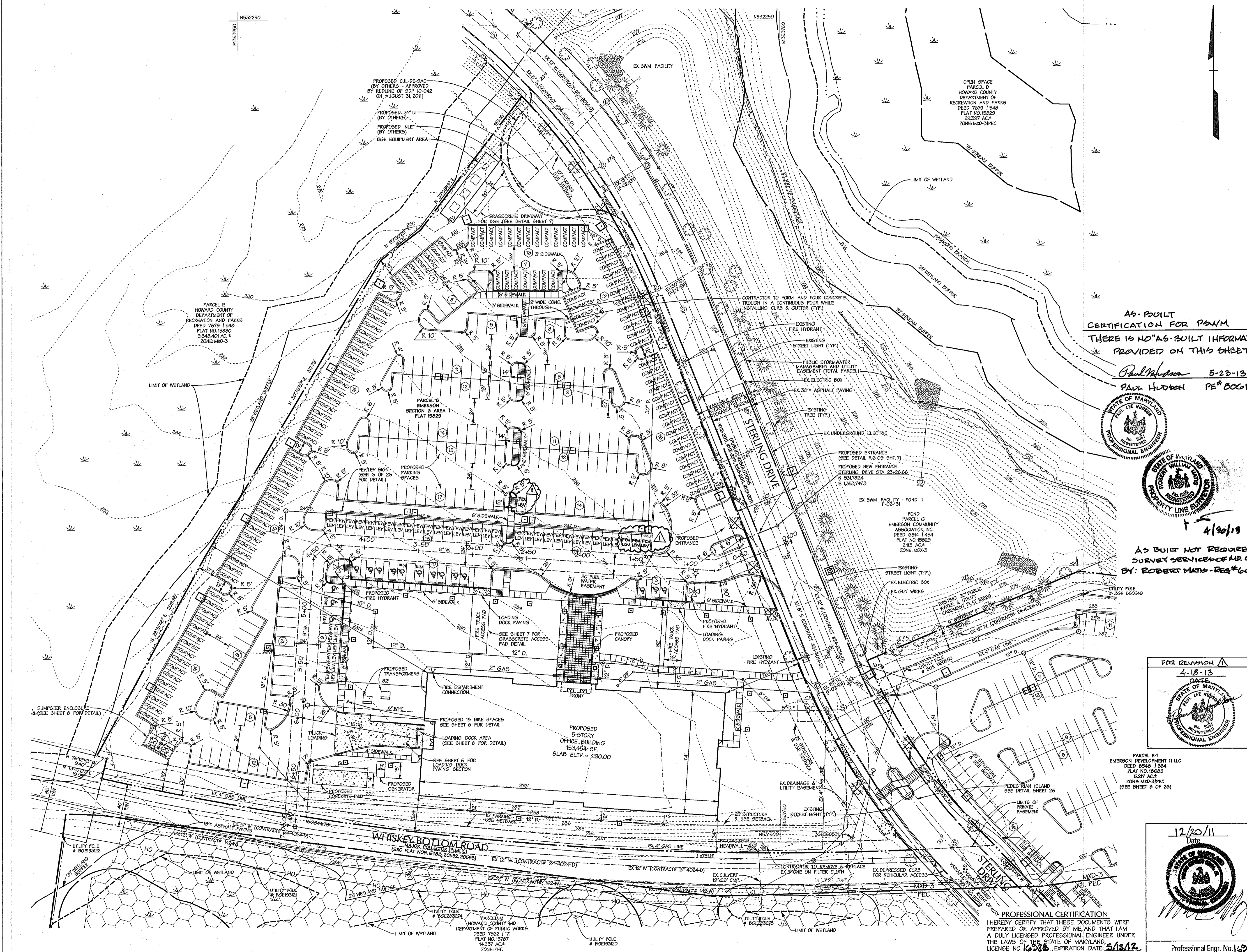
DMW
DAFT MCCUNE WALKER INC

200 EAST PENNSYLVANIA AVENUE • TOWSON, MD 21286
P: 410 296 3333 F: 410 296 4708 WWW.DMW.COM

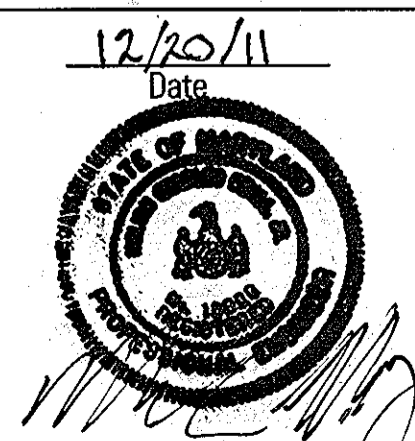
SECTION NAME	SECTION AREA	LOT/PARCEL #
RENTZ PROPERTY & EMERSON 3A	SECTION 3 AREA 1	PARCEL B & E-1
MAP OR LOT	BLOCK #	LOT #
55029 & 156085	20	47
WATER CODE	BLK/DISTRICT	GENUS TRACT
	6	606903

TITLE: **SITE PLAN - PARCEL 'B'**

Des. By	Scale	Proj. No.
JB6	1"=40'	95054.6
Dm. By	Date	
JSS	12-13-11	
Chk. By	Approved	
MCBJ/JDF		



PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE
PREPARED OR APPROVED BY ME AND THAT I AM
A DULY LICENSED PROFESSIONAL ENGINEER UNDER
THE LAWS OF THE STATE OF MARYLAND
LICENSE NO. 16328. EXPIRATION DATE: 5/13/12.



Professional Engr. No. 16328

11-4-2010 11:45:09 AM



THE PURPOSE OF REVISION #3 IS TO SHOW THE WORK ASSOCIATED WITH THE EMERSON CAMPUS VCP SDP-16-005

PROFESSIONAL CERTIFICATION FOR REV #3
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 46292, EXPIRATION DATE: 05/21/2018

LEGEND

- PROPERTY BOUNDARY
- EX RIGHT OF WAY
- ADJACENT PROPERTY BOUNDARY
- EX EASEMENT
- ZONING LINE
- EX ROADS AND WALKS
- 280 --- EX MAJOR CONTOUR
- --- EX MINOR CONTOUR
- FCE --- FOREST CONSERVATION EASEMENT
- EX STREET TREE
- EX STREET TREE TO BE REMOVED
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- EX STORMDRAIN
- EX SANITARY SEWER
- EX WATER
- OH --- EX OVERHEAD ELECTRIC
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- PROP. CURB / EDGE OF PAVING
- PROP. DEPRESSED CURB
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- PROP. GROUP LIGHT (BY OTHERS)
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- LIMIT OF DISTURBANCE
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- 8" PVC --- PROP. SANITARY SEWER
- 8" W. --- PROP. WATER
- EX GUY WIRE
- EX 100 YR FLOODPLAIN
- EX STREAM
- STREAM BUFFER
- WETLAND BUFFER
- WETLAND

- NOTES:**
- UNLESS LABELED OTHERWISE ALL CURB RADII ARE FIVE (5) FEET.
 - SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
 - ALL COMPACT SPACES SHALL BE 8'5" WIDE AND 19' DEEP.
 - FOR LOCATION OF PAVING TYPES SEE SHEET 26 OF 26.

LIMIT OF DISTURBANCE = 200,786 SF. | 4.61 AC.±

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING
Kate Schuler
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE: **4-10-12**

Chad Edwards
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: **4-7-12**

Robert Hudson
 DIRECTOR DATE: **4/10/12**

9/12/10	3	EMERSON CAMPUS VCP
Date	No.	Revision Description

EMERSON PARCEL B & E-1
 L.E.E.D. BUILDING
 5-STORY COMMERCIAL OFFICE BUILDING

OWNER/DEVELOPER:
 PARCEL B - EMERSON DEVELOPMENT V, LLC
 1 TEXAS STATION COURT
 SUITE 200
 TIMONIA, MD 21083
 TAX MAP 47 GRID 8 PARCEL 1051
 EMERSON SECTION 3 AREA 1
 DEED: HW977
 TAX ACCT # 06-572553
 PLAT: 15829

PARCEL E-1 - EMERSON DEVELOPMENT E, LLC
 1 TEXAS STATION COURT
 SUITE 200
 TIMONIA, MD 21083
 TAX MAP 47 GRID 20 PARCEL 169
 REVITZ PROPERTY
 DEED: HW9769
 TAX ACCT # 06-572221
 PLAT: 15825

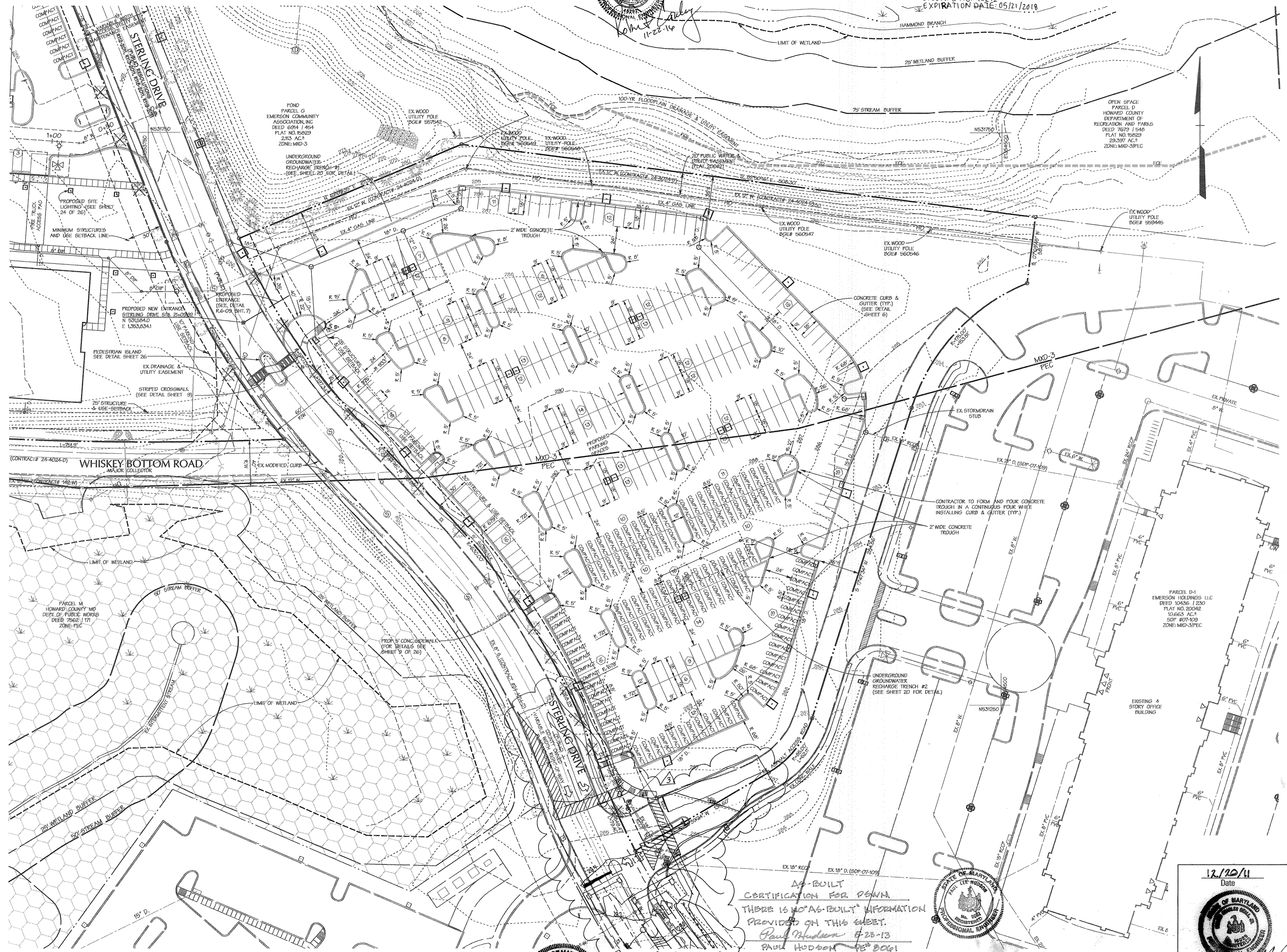
DMW
 DAFT MCCUNE WALKER INC

200 EAST PENNSYLVANIA AVENUE - TOWSON, MD 21286
 P: 410.296.3833 F: 410.296.4705 WWW.DMW.COM

A TEAM OF LAND PLANNERS, LANDSCAPE ARCHITECTS, ENGINEERS, SURVEYORS & ENVIRONMENTAL PROFESSIONALS

SUBDIVISION NAME	EMERSON CAMPUS VCP	SECTION/AREA	SECTION 3 AREA 1	LOT/PARCEL #	PARCEL B & E-1
PLAT OR UP	15829 & 15825	BOOK #	47	TAX/ZONE MAP	47
DATE	12-13-11	DATE	12-13-11	DATE	12-13-11
DATE	12-13-11	DATE	12-13-11	DATE	12-13-11

TITLE		SITE PLAN - PARCEL 'E-1'	
Des. By	JBS	Scale	1"=40'
Dim. By	JSS	Date	12-13-11
Chk. By	MCB/JDF	Approved	
Proj. No.	95054.6	3 of 26	



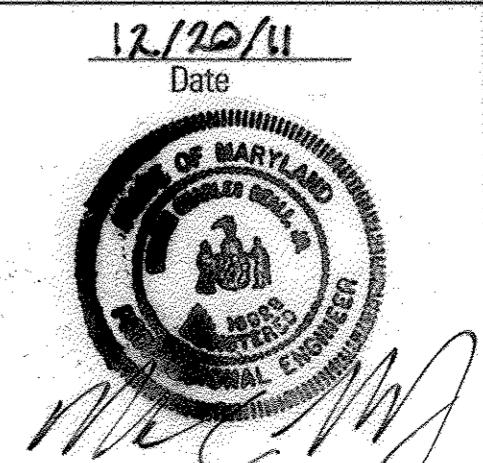
AS-BUILT CERTIFICATION FOR PDMA
 THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.
 Paul Hudson 5-23-13
 PAUL HUDSON 5-23-13



AS-BUILT NOT REQUIRED
 SUENEY SERVICES OF MD, LLC
 BY: ROBERT MATIS - REG # 605

PER CONTRACT DWGS 24-4024-D, THE EXISTING 12" WATER LINE THROUGH PARCEL E-1 (CONTRACT # 1462-N) WAS TO BE ABANDONED. CONTRACTOR TO VERIFY THE LINE WAS ABANDONED PRIOR TO ANY WORK TAKING PLACE.

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16228, EXPIRATION DATE: 5/23/12



Professional Engr. No. 16228

LEGEND

- PROPERTY BOUNDARY
- EX. RIGHT OF WAY
- ADJACENT PROPERTY BOUNDARY
- EX. EASEMENT
- EX. ROADS AND WALKS
- 280 --- EX. MAJOR CONTOUR
- EX. MINOR CONTOUR
- FOREST CONSERVATION EASEMENT
- EX. STREET TREE
- ⊗ EX. STREET TREE TO BE REMOVED
- ⊕ EX. STREET LIGHT
- ⊖ EX. STORMDRAIN
- ⊙ EX. SANITARY SEWER
- ⊗ EX. WATER
- ⊕ OH ⊖ EX. OVERHEAD ELECTRIC
- ▭ PROP. BUILDING
- ▬ PROP. CURB / EDGE OF PAVING
- ▬ PROP. DEPRESSED CURB
- ▬ PROP. REVERSE CURB
- ⊕ PROP. GROUP LIGHT (BY OTHERS)
- ⊖ PROP. SINGLE LIGHT (BY OTHERS)
- ⊕ PROP. LIGHT (BY OTHERS)
- ▬ LIMIT OF DISTURBANCE
- ▬ 24" D. PROP. STORMDRAIN
- ▬ 8" PVC PROP. SANITARY SEWER
- ▬ 8" W. PROP. WATER
- EX. 100 YR FLOODPLAIN
- EX. STREAM
- STREAM BUFFER
- WETLAND BUFFER
- WETLAND

NOTES:
1) FOR PROFILES SEE SHEETS 19 & 20 OF 26.

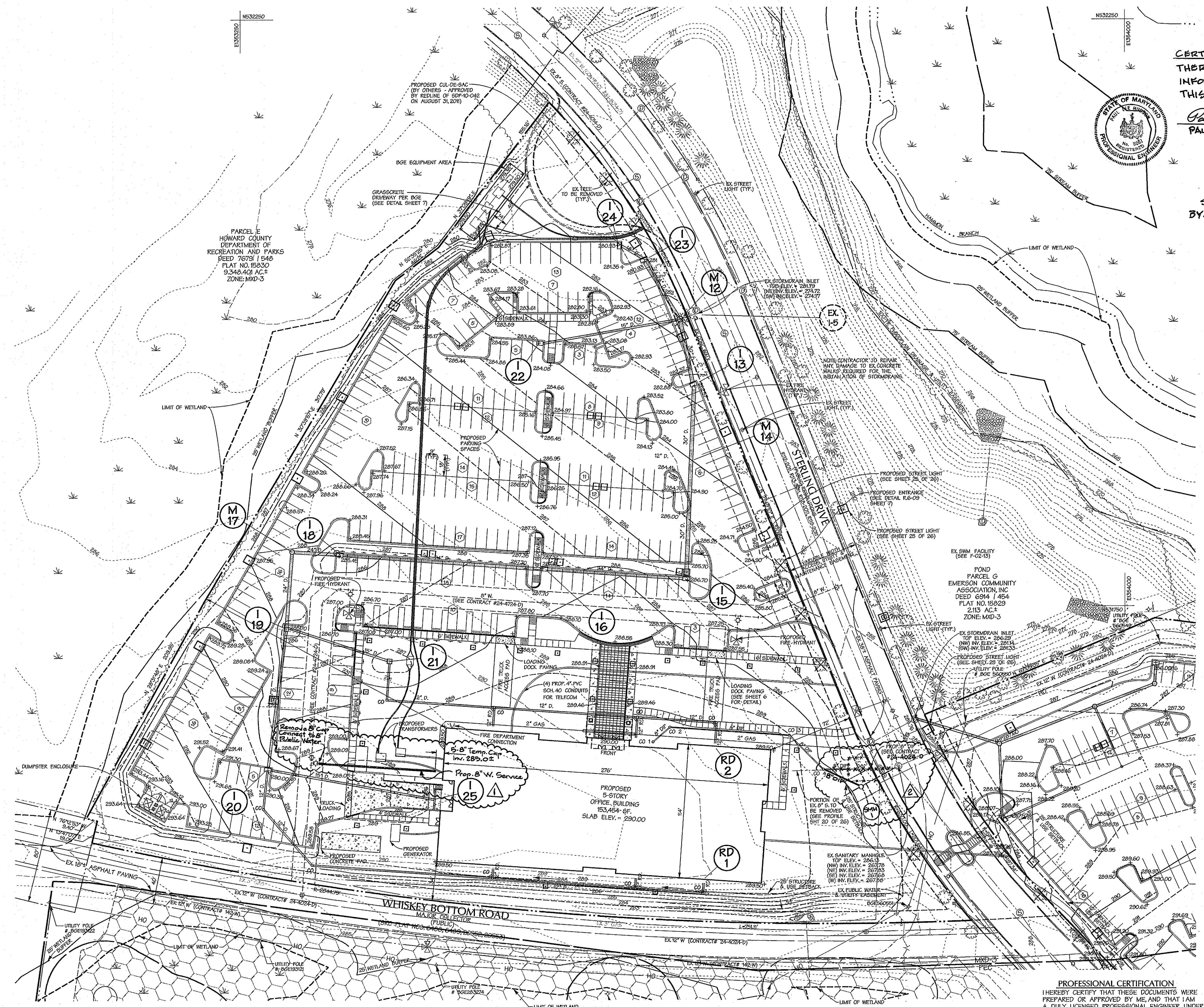
**AS-BUILT
CERTIFICATION FOR PENNM**
THERE IS NO AS-BUILT
INFORMATION PROVIDED ON
THIS SHEET.

Paul Hudson 5-23-13
PAUL HUDSON PE#8061

**AS BUILT NOT REQUIRED
SURVEY SERVICES OF MD, LLC.**
BY: ROBERT MATIS REG# 605



4/9/13



APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING	
<i>Chad Edmundo</i> CHIEF, DIVISION OF LAND DEVELOPMENT	4-10-12 DATE
<i>Chad Edmundo</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION	4-2-12 DATE
<i>David A. Unger</i> DIRECTOR	<i>Unger</i> DATE

10-25-12	A	San. Sewer to SHM 1 - As Built
9-4-12	B	Private Water Service
Date	No.	Revision Description

EMERSON PARCEL B & E-1
L.E.E.D. BUILDING
5-STORY COMMERCIAL OFFICE BUILDING
OWNER/DEVELOPER:
PARCEL 'B' - EMERSON DEVELOPMENT V, LLC
112345 STATION COURT
SUITE 200
TIMORUM MD 21085
TAX MAP #7 GRID # PARCEL 1051
EMERSON SECTION 3 AREA 1
DEED: H47917
TAX ACCT # 06-572553
PLAT: 158229

PARCEL 'E-1' - EMERSON DEVELOPMENT II, LLC
112345 STATION COURT
SUITE 200
TIMORUM MD 21085
TAX MAP #7 GRID # PARCEL 1051
REVIZ PROPERTY
DEED: H47917
TAX ACCT # 06-572227
PLAT: 16685

For Rev. 1 & 2 Only
3/22/13
Date

PE. No. 16928

12/20/11
Date

DMW
DAFT MCCUNE WALKER INC
200 EAST PENNSYLVANIA AVENUE • TOWSON, MD 21284
P: 410 296 3333 F: 410 296 4795 WWW.DMW.COM
A TEAM OF LAND PLANNERS, LANDSCAPE ARCHITECTS,
ENGINEERS, SURVEYORS & ENVIRONMENTAL PROFESSIONALS

SUBDIVISION NAME	EMERSON SECTION 3 AREA 1	SECTION/AREA	PARCEL B & E-1
PLAT OR L.P.	158229 & 16685	BLK #	20
TRACER	14270	LOT DISTRICT	6
OWNER	EMERSON DEVELOPMENT V, LLC	GENSR TRACT	606903
DATE	12/20/11	SYMBOL CODE	

TITLE GRADING & UTILITY PLAN - PARCEL 'B'					
Des. By	JBS	Scale	1"=40'	Proj. No.	95054.6
Dim. By	JBS	Date	12-13-11	4 of 26	
Chk. By	MCBJ/JDF	Approved			

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE
PREPARED OR APPROVED BY ME, AND THAT I AM
A DULY LICENSED PROFESSIONAL ENGINEER UNDER
THE LAWS OF THE STATE OF MARYLAND,
LICENSE NO. 16928, EXPIRATION DATE: 5/13/12.



3 THE PURPOSE FOR REVISION 3 IS TO SHOW THE WORK ASSOCIATED WITH THE EMERSON CAMPUS VCP, SDP-16-005

PROFESSIONAL CERTIFICATION FOR REV #3
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 45292, EXPIRATION DATE: 06/24/21 8

LEGEND

- PROPERTY BOUNDARY
- EX RIGHT OF WAY
- ADJACENT PROPERTY BOUNDARY
- EX EASEMENT
- EX ROADS AND WALKS
- 280 --- EX MAJOR CONTOUR
- --- EX MINOR CONTOUR
- FCE --- FOREST CONSERVATION EASEMENT
- EX STREET TREE
- EX STREET TREE TO BE REMOVED
- EX STREET LIGHT
- EX STORMDRAIN
- EX SANITARY SEWER
- EX WATER
- OH --- EX OVERHEAD ELECTRIC
- PROP. BUILDING
- PROP. CURB / EDGE OF PAVING
- PROP. DEPRESSED CURB
- PROP. REVERSE CURB
- EX-L --- PROP. GROUP LIGHT (BY OTHERS)
- EX-S --- PROP. SINGLE LIGHT (BY OTHERS)
- EX-L --- PROP. LIGHT (BY OTHERS)
- --- LIMIT OF DISTURBANCE
- 24" D --- PROP. STORMDRAIN
- 8" PVC --- PROP. SANITARY SEWER
- 8" W --- PROP. WATER
- --- EX 100 YR FLOODPLAIN
- --- EX STREAM
- --- STREAM BUFFER
- --- WETLAND BUFFER
- --- WETLAND

A6-BUILT CERTIFICATION FOR DWM
 THERE IS NO "A6-BUILT" INFORMATION PROVIDED ON THIS SHEET.
Paul Hudson 5-28-13
 PAUL HUDSON PE# 8061



NOTES:
 1) FOR PROFILES SEE SHEETS 19 OF 26.

NOTE: A PORTION OF PARCEL E-1 DRAINS TO EXISTING SWM FOND III (E-02-11) (SEE SHEET 16 OF 26 FOR LOCATION OF FOND)

A6-BUILT NOT REQUIRED SURVEY SERVICES OF MR. J. LLC. BY: ROBERT MATIS REG.#605

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16922, EXPIRATION DATE: 6/24/21

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING
Keith Dandridge 4-10-12
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE
Chad Rhoads 4-2-12
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
David A. DeWalt 4-1-12
 DIRECTOR DATE

9-22-16 3 EMERSON CAMPUS VCP
 Date No. Revision Description

EMERSON PARCEL B & E-1
 L.E.E.D. BUILDING
 5-STORY COMMERCIAL OFFICE BUILDING

OWNER/DEVELOPER:
 PARCEL 'B' - EMERSON DEVELOPMENT V, LLC 1135AS STATION COURT SUITE 200 TIMONUM, MD 21083 TAX MAP 47 GRID 20 PARCEL 105H EMERSON SECTION 3 AREA 1 DEED: 147917 TAX ACCT # 06-572953 PLAT: 15029
 PARCEL 'E-1' - EMERSON DEVELOPMENT I, LLC 1135AS STATION COURT SUITE 200 TIMONUM, MD 21083 TAX MAP 47 GRID 20 PARCEL 165 REVIZ PROPERTY DEED: 147919 TAX ACCT # 06-572227 PLAT: 15029



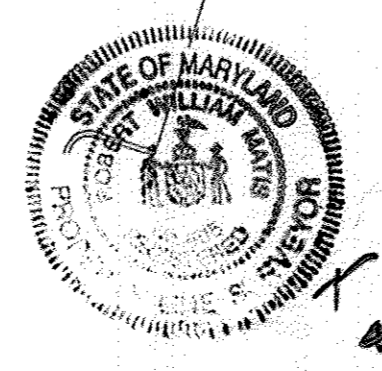
SUBDIVISION NAME	EMERSON CAMPUS VCP	SECTION/AREA	SECTION 3 AREA 1	LOT/PARCEL #	PARCEL B & E-1
STATE OF MD	20	SECTION 3	AREA 1	LOT 1	PARCEL B & E-1
TAX MAP	47 GRID 20	PARCEL NO.	105H	GRID	165
WATER CODE	20	SEWER CODE	47	GRID	6
				GRID	606903

GRADING & UTILITY PLAN - PARCEL 'E-1'

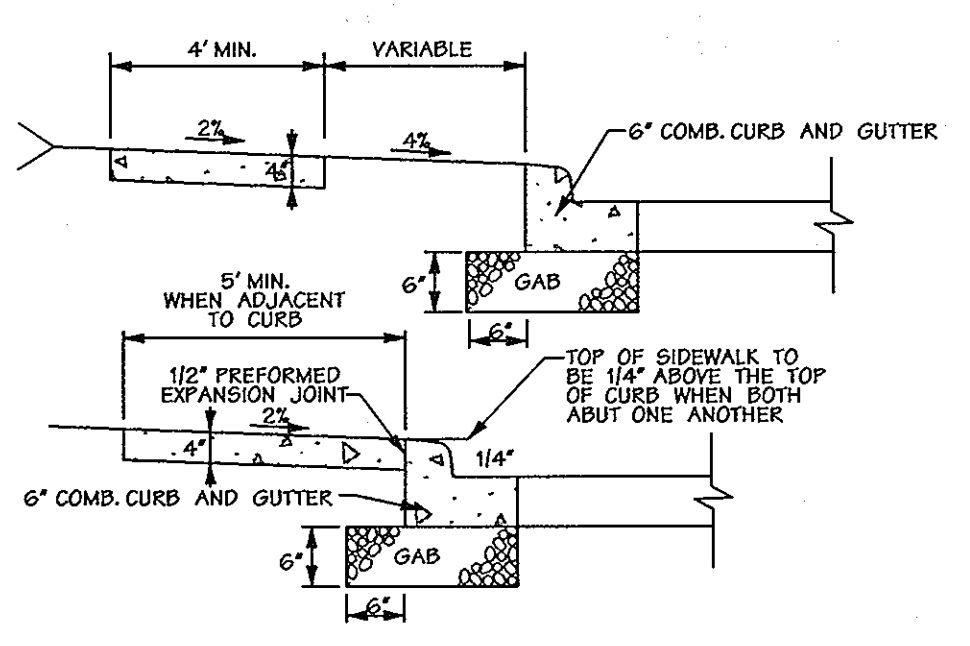
Des. By: JB5 Scale: 1"=40' Proj. No. 95054.6
 Dm. By: JS6 Date: 12-13-11
 Chk. By: MCB/JDF Approved 5 of 26

12/20/11 Date

 Professional Engr. No. 8061

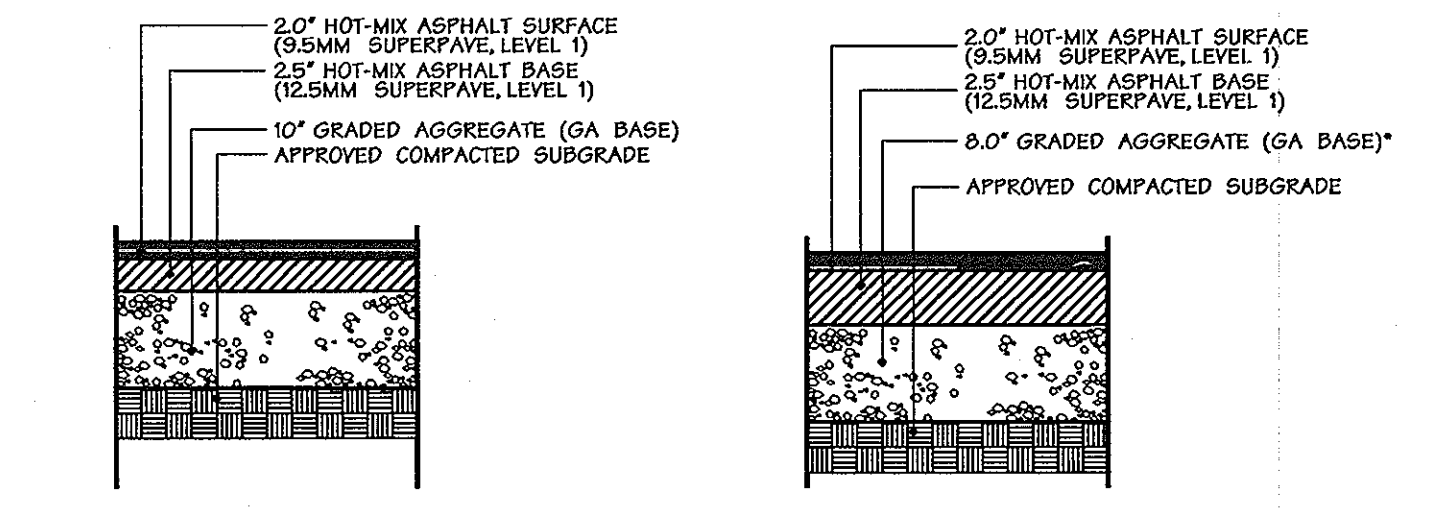


11/20/27 2011



Concrete Sidewalk
Not to Scale

NOTES:
1. SIDEWALK TO BE SCURED IN 5'-0" MAXIMUM SQUARES.
2. EXPANSION JOINTS ACROSS SIDEWALK NOT TO BE MORE THAN 15' APART.
3. 1/2" PREFORMED EXPANSION JOINTS TO BE KEPT 1/4" BELOW SURFACE OF SIDEWALK.
4. CONCRETE TO BE MIX NO.3.
5. WHEN SIDEWALK ADJUTS CURB SIDEWALK SHALL BE 1/4" ABOVE CURB WITH 1/2" PREFORMED EXPANSION JOINT BETWEEN SIDEWALK AND CURB.
6. ON LONGITUDINAL SIDEWALK GRADES OF 5% OR GREATER, A CONCRETE HEADER 6" THICK AND 6" DEEP BELOW THE NORMAL 4" SIDEWALK THICKNESS SHALL BE CONSTRUCTED FOR THE FULL WIDTH OF THE SIDEWALK AT INTERVALS OF 45 FEET THE HEADERS SHALL BE PLACED AT THE EXPANSION JOINT LOCATIONS AND SHALL BE MONOLITHIC WITH THE SIDEWALK.
7. 4" SIDEWALK REQUIRES A PASSING AREA (SEE H.O.CO.STD. DETAIL R-4.01)
8. SEE SITE PLAN FOR PROPOSED SIDEWALK WIDTHS.



Paving Details
Not to Scale

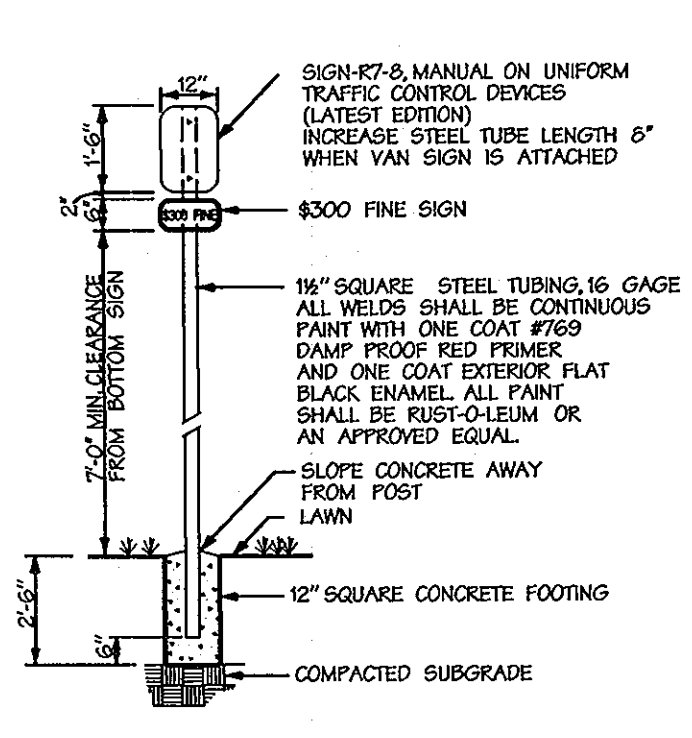
HEAVY DUTY PAVING
(FOR THE ENTRANCEWAYS AND TRAVEL LANES SUBJECT TO REGULAR HEAVY TRUCK TRAFFIC)
2.0" HOT-MIX ASPHALT SURFACE (9.5MM SUPERPAVE LEVEL 1)
2.5" HOT-MIX ASPHALT BASE (12.5MM SUPERPAVE LEVEL 1)
10" GRADED AGGREGATE (GA BASE) APPROVED COMPACTED SUBGRADE

INTERMEDIATE DUTY PAVING
(DRIVE AISLES AND ENTRANCEWAYS SUBJECT TO PASSENGER VEHICLE TRAFFIC PLUS OCCASIONAL BUS OR DELIVERY BOX TRUCK TRAFFIC)
2.0" HOT-MIX ASPHALT SURFACE (9.5MM SUPERPAVE LEVEL 1)
2.5" HOT-MIX ASPHALT BASE (12.5MM SUPERPAVE LEVEL 1)
8.0" GRADED AGGREGATE (GA BASE) APPROVED COMPACTED SUBGRADE

LIGHT DUTY PAVING
(PARKING LOTS AREAS SUBJECT TO PASSENGER VEHICLE TRAFFIC ONLY)
2.0" HOT-MIX ASPHALT SURFACE (9.5MM SUPERPAVE LEVEL 1)
2.5" HOT-MIX ASPHALT BASE (12.5MM SUPERPAVE LEVEL 1)
6.0" GRADED AGGREGATE (GA BASE) APPROVED COMPACTED SUBGRADE

LOADING DOCK PAVING
(TRUCK LOADS UNKNOWN AT THIS TIME)
7.0" 4000 PSI AIR-ENTRAINED PORTLAND CEMENT WITH HEAVY WIRE MESH REINFORCING
6.0" GRADED AGGREGATE (GA BASE) APPROVED COMPACTED SUBGRADE

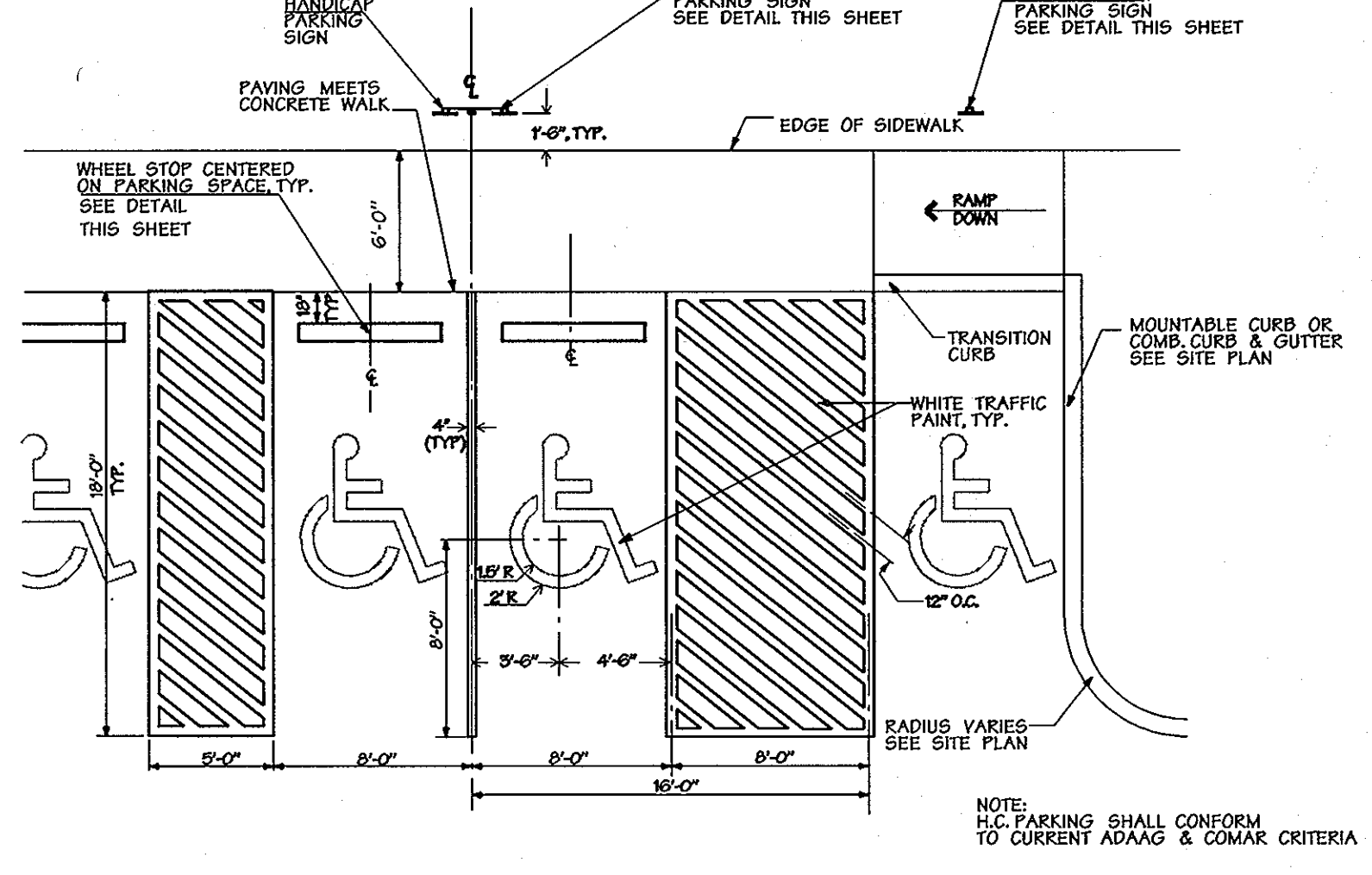
NOTES:
1. PAVING SECTIONS WERE DESIGNED BY HERBST BENSON & ASSOCIATES ON JANUARY 2011.
2. CONTRACTOR TO VERIFY WITH GEOTECHNICAL ENGINEER ON-SITE PRIOR TO PAVING.
3. FOR LOCATION OF PAVING TYPES SEE SHEET 26 OF 26.



Handicap Parking Sign
Not to Scale

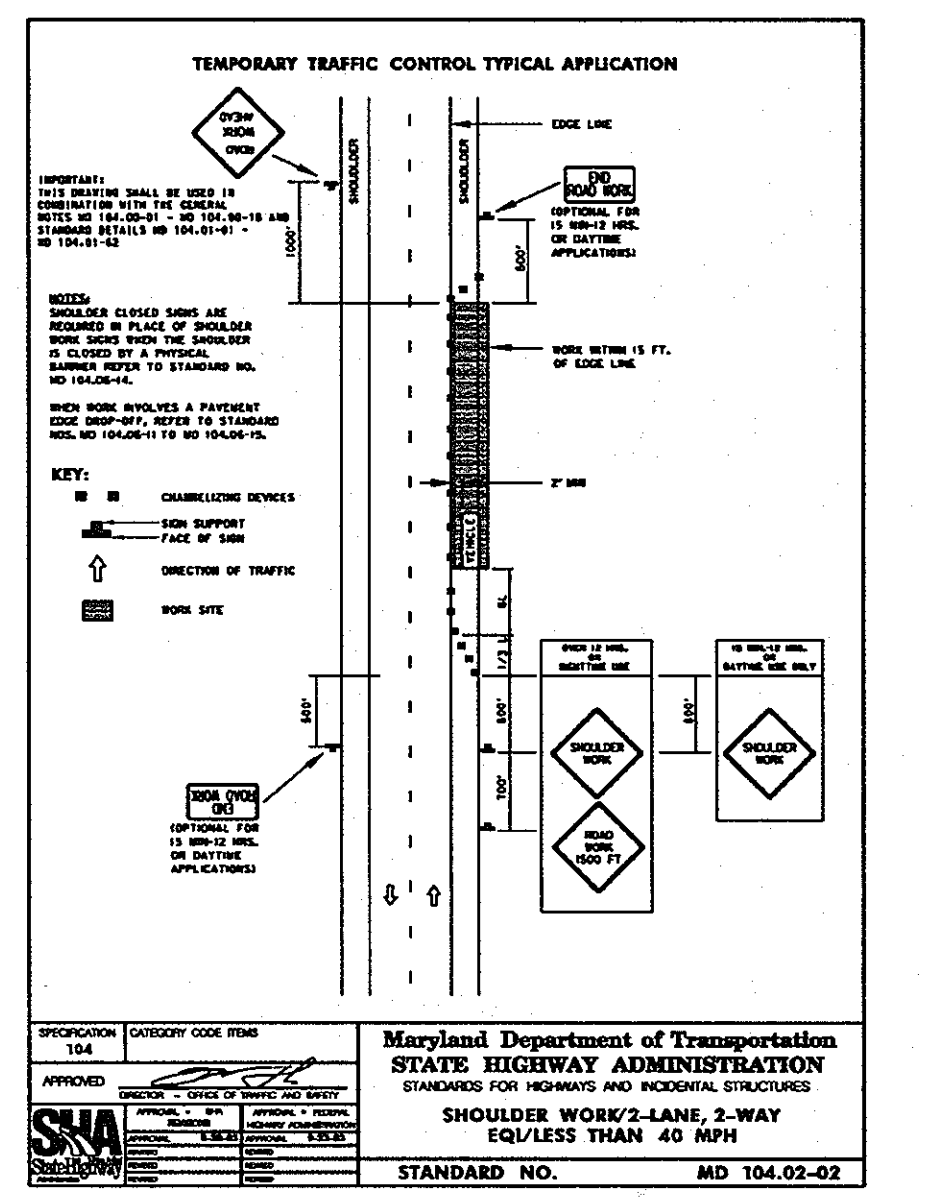
NOTES:
1. DISTANCE FROM GROUND TO BOTTOM OF SIGN SHALL BE 7'-0".
2. SEE HANDICAPPED PARKING SPACE DETAIL THIS SHEET FOR LOCATION OF HANDICAPPED SIGN.
3. SIGNS SHALL CONFORM TO CURRENT ADAAG & COMAR CRITERIA.

SIGN COLORS:
LETTERS AND BORDER - GREEN
WHITE 1/2" SYMBOLS ON BLUE BACKGROUND
BACKGROUND - WHITE



Handicap Parking: Van & Standard
Not to Scale

NOTE:
1. HANDICAPPED PARKING SHALL CONFORM TO CURRENT ADAAG & COMAR CRITERIA.



Maryland Department of Transportation
STATE HIGHWAY ADMINISTRATION
STANDARDS FOR HIGHWAYS AND INCIDENTAL STRUCTURES
SHOULDER WORK/2-LANE, 2-WAY
SQUARES THAN 40 MPH
STANDARD NO. MD 104-02-02

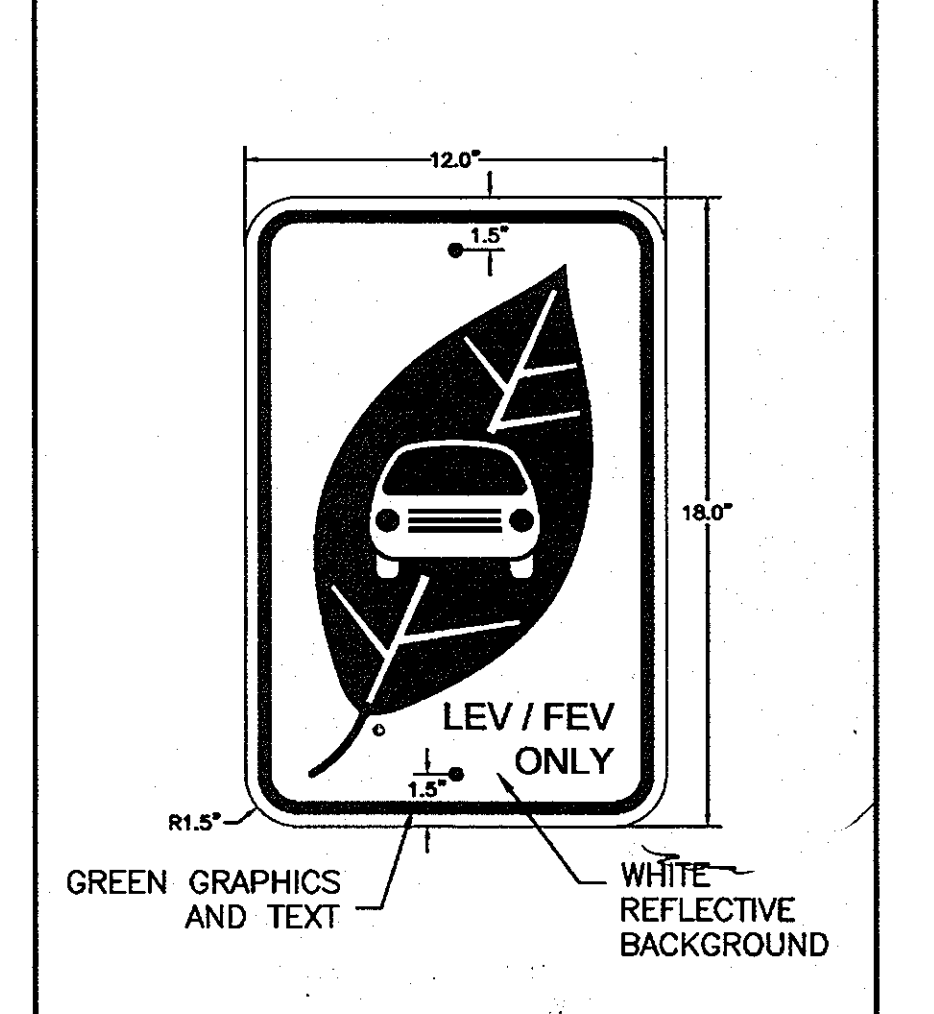
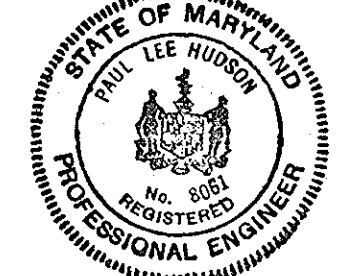


Handicap Parking Sign Details
Not to Scale

AS-BUILT NOT REQUIRED
SURVEY SERVICES OF MD., LLC.
BY: ROBERT MATIS - REG. #605



AS-BUILT
CERTIFICATION FOR PSWM
THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.
Paul Hudson 5-23-13
PAUL HUDSON PE #8061



TITLE: LOW-EMISSION & FUEL-EFFICIENT VEHICLE PREFERRED PARKING SIGN
GREEN SIGN DESIGNS, LLC
DATE: APRIL 24, 2010
SCALE: NTS

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING
K. J. Shalaby, CHIEF, DIVISION OF LAND DEVELOPMENT, 4.10.12
Chad Edwards, CHIEF, DEVELOPMENT ENGINEERING DIVISION, 4.2.12
Diana L. Ayler, DIRECTOR, 4.10.12

EMERSON PARCEL B & E-1
L.E.E.D. BUILDING
5-STORY COMMERCIAL OFFICE BUILDING
OWNER/DEVELOPER:
PARCEL 'B' - EMERSON DEVELOPMENT V, LLC
1 TERAS STATION COURT SUITE 200
TIMONIA, MD 21085
TAX MAP 47 GRID 8 PARCEL 1051
EMERSON SECTION 3 AREA 1
DEED: H47917
TAX ACCT # 06-572253
PLAT: 15629

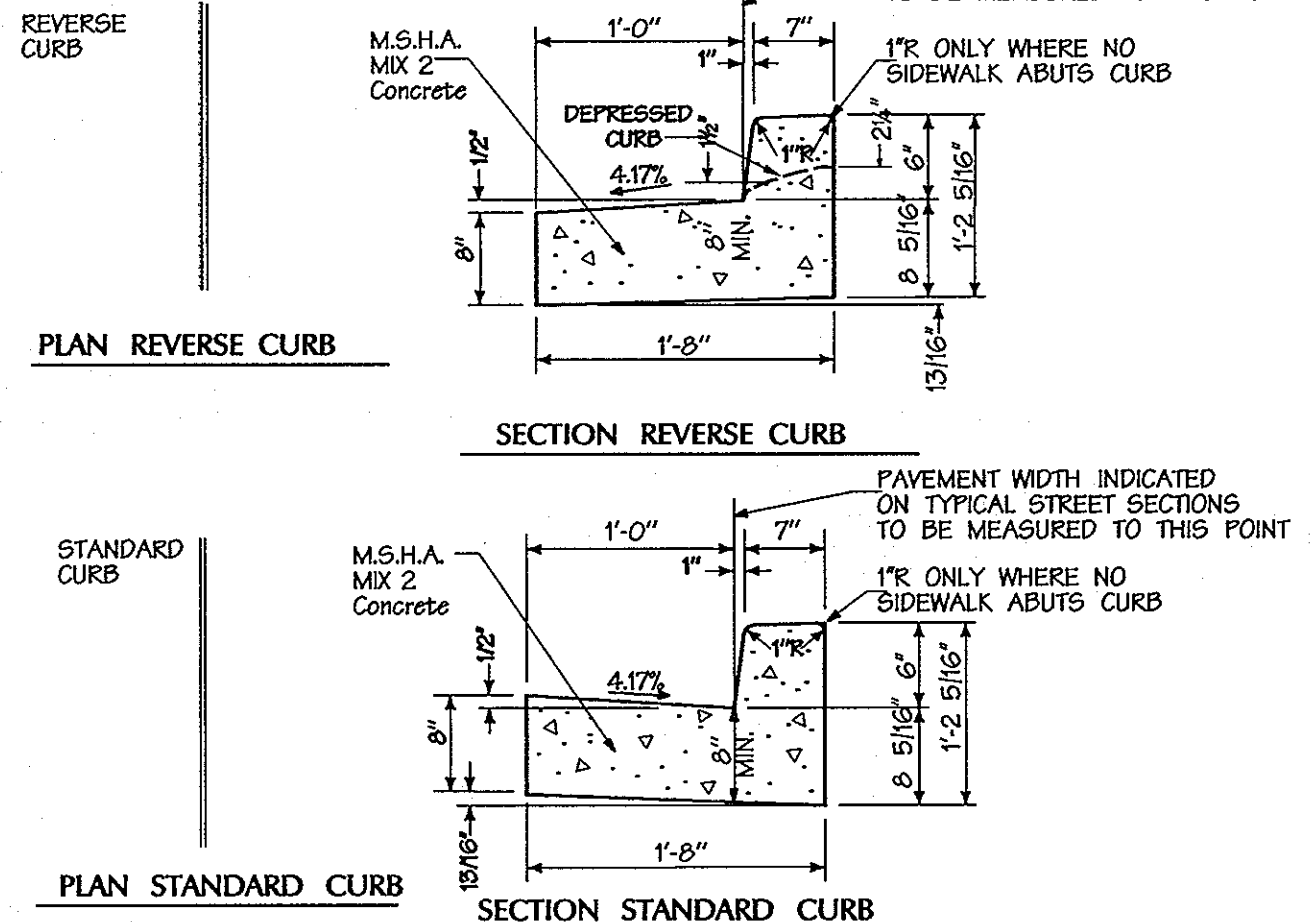
PARCEL 'E-1' - EMERSON DEVELOPMENT V, LLC
1 TERAS STATION COURT SUITE 200
TIMONIA, MD 21085
TAX MAP 47 GRID 20 PARCEL 165
RENTZ PROPERTY
DEED: H47917
TAX ACCT # 06-572227
PLAT: 15655

DMW
DAFT M'CUNE WALKER INC.
230 EAST PENNSYLVANIA AVENUE - TOWSON, MD 21286
P - 410-259-4343 F - 410-259-8766 WWW.DMW.COM
A TEAM OF LAND PLANNERS, LANDSCAPE ARCHITECTS, ENGINEERS, SURVEYORS & ENVIRONMENTAL PROFESSIONALS

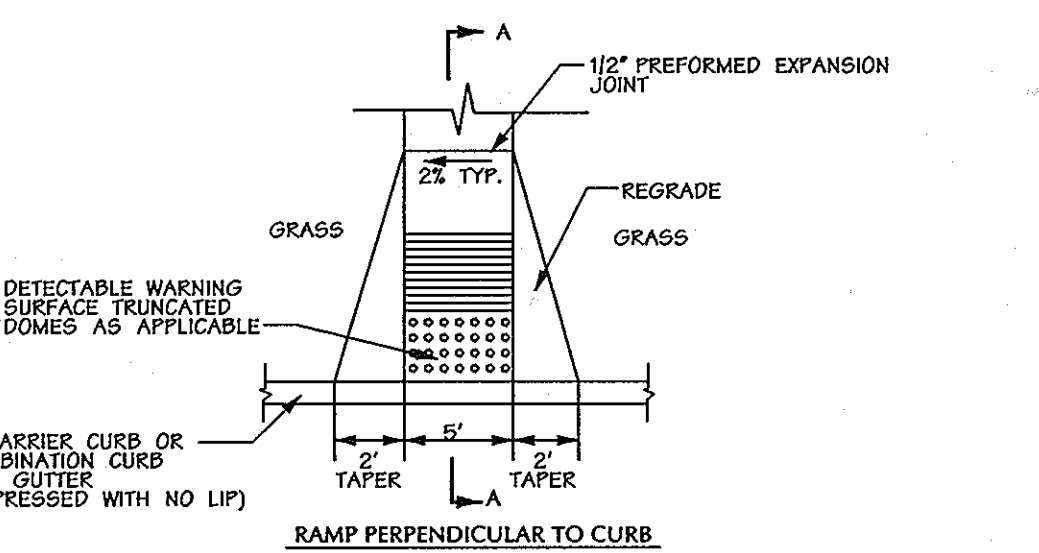
SUBDIVISION NAME: RENTZ PROPERTY & EMERSON SECTION 3 AREA 1
PARCEL # 21277 & 21278
BLOCK # 20
LOT # 47
SHEET 6 OF 6
DATE: 12/25/11
PROJECT: PARCEL B & E-1 PAR. 165
DRAWING NO.: 606903

SITE DETAILS

Des. By: JBS Scale: AS NOTED Proj. No.: 95054.6
Dm. By: JSB Date: 12-13-11
Chk. By: MCB/JDF Approved: 6 of 26

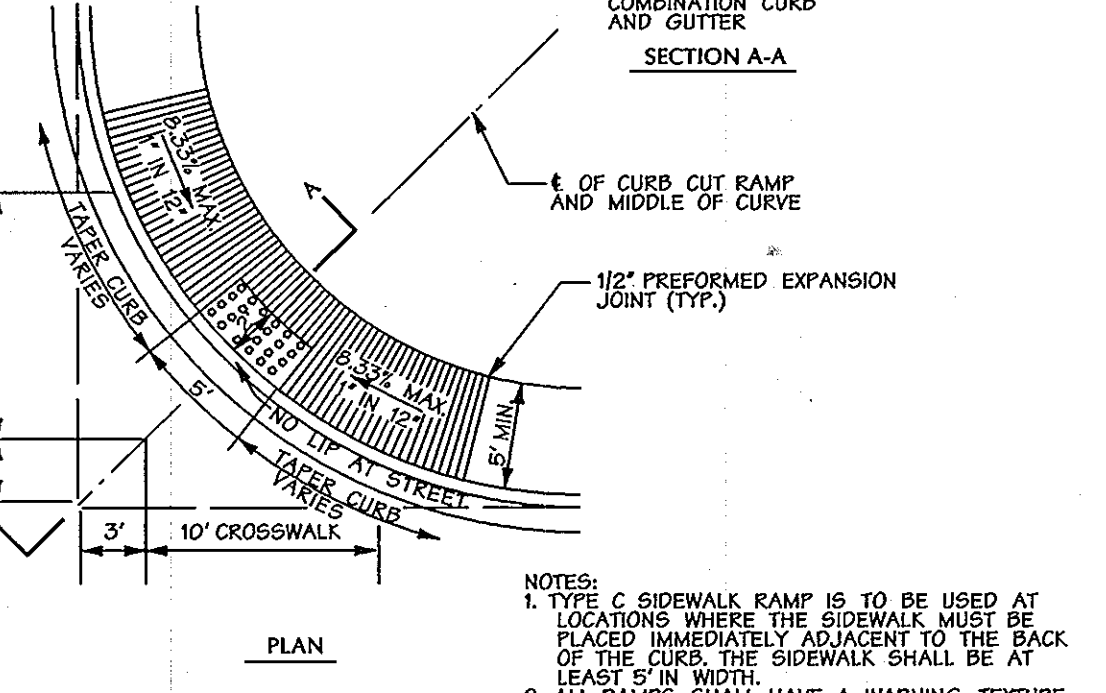


6" Combination Curb & Gutter
Not to Scale



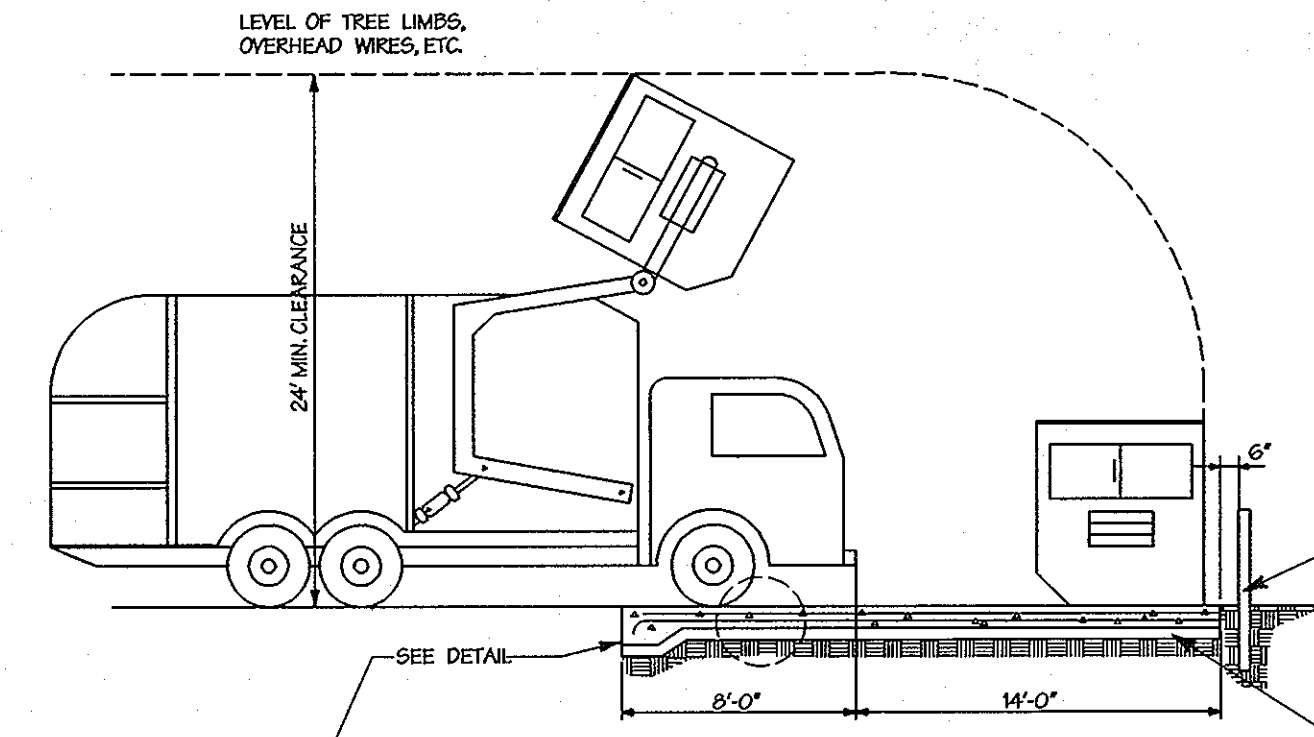
Sidewalk Ramp - Type 'A'
Not to Scale

NOTES:
1. ALL RAMP SHALL HAVE A WARNING TEXTURE EXTENDING THE FULL WIDTH AND DEPTH OF RAMP (SEE H.O.CO.STD. DETAIL R-4.07)
2. GRASS AREA ADJACENT TO SIDEWALK MUST BE SLOPED TO MEET RAMP.
3. 4" SIDEWALK REQUIRES PASSING AREA (SEE H.O.CO.STD. DETAIL R-4.07).



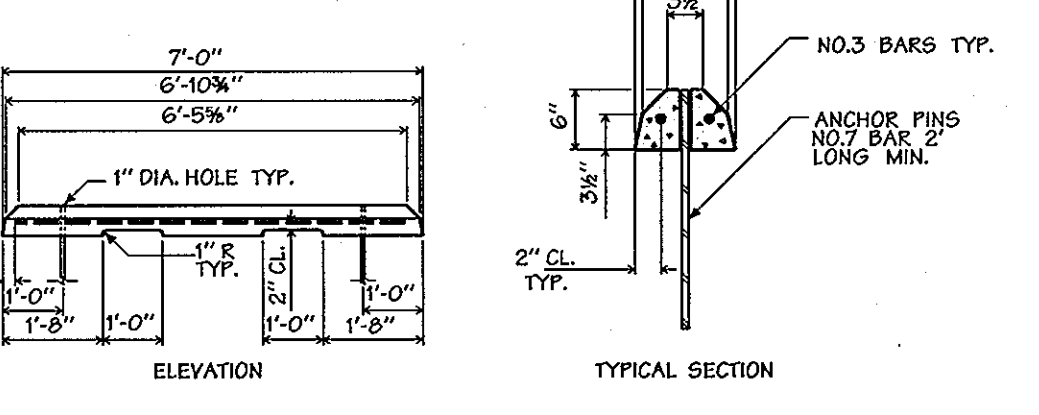
Sidewalk Ramp - Type 'C'
Not to Scale

NOTES:
1. TYPE 'C' SIDEWALK RAMP IS TO BE USED AT LOCATIONS WHERE THE SIDEWALK MUST BE PLACED IMMEDIATELY ADJACENT TO THE BACK OF THE CURB. THE SIDEWALK SHALL BE AT LEAST 5" IN WIDTH.
2. ALL RAMP SHALL HAVE A WARNING TEXTURE EXTENDING THE FULL WIDTH THE DEPTH OF THE CURB RAMP.
3. 7" CONG. CURB AND GUTTER IS SHOWN DETAILS TO BE SIMILAR FOR MODIFIED CURB AND BITUMINOUS CURB.
4. 4" SIDEWALK REQUIRES A PASSING AREA (SEE H.O.CO.STD. DETAIL R-4.01).

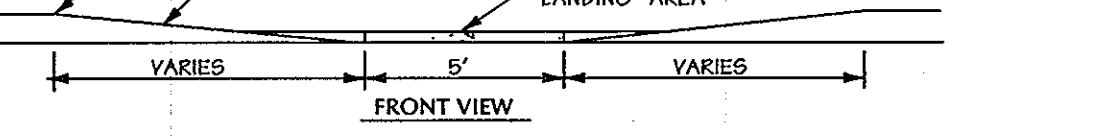


Service Pad and Dumpster Bin
Not to Scale

NOTE: SEE STANDARD HOWARD COUNTY DETAIL R-101 FOR ADDITIONAL DIMENSIONS



Concrete Cast Wheel Stop
Not to Scale

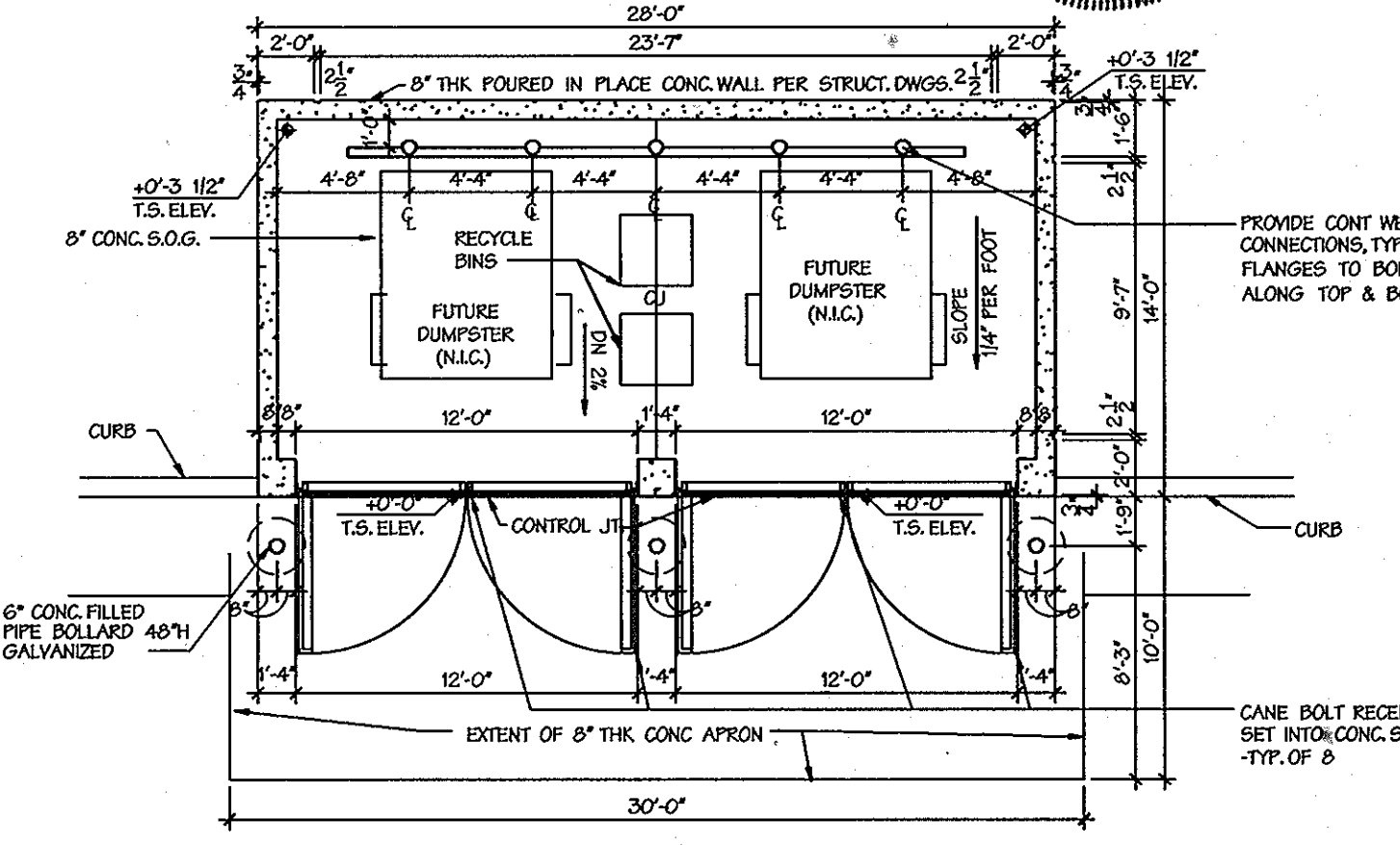


Bike Rack
Not to Scale

10"x22"-6" CONCRETE PAD, 6"X6"X4" TRUCK WITH EXPANSION JOINTS ALONG INTERSECT WITH ADJACENT SIDEWALK AREAS

JOINT SCORING AND CRACK CONTROL JOINTS SHALL BE PER SIDEWALK DETAIL.

TWO SETS OF DERO BR44-H BIKE RACK EACH BIKE RACK CAN PARK 9 BIKES WITH A TOTAL OF 18 BIKES, INSTALLED PER MANUFACTURER'S SPECIFICATIONS



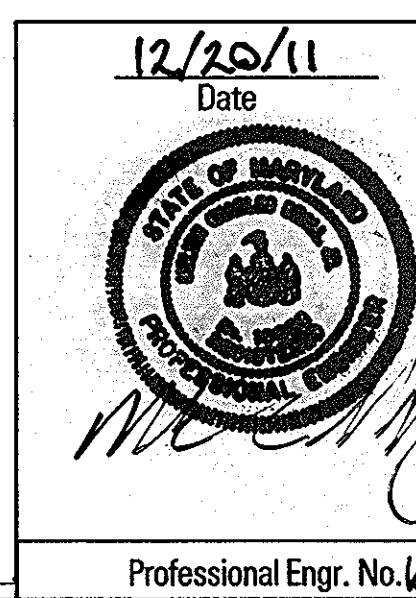
Dumpster Enclosure
Not to Scale

(3) GATE HINGES PER SPECS
CONC. WALL POURED IN PLACE BEYOND FINISH TO MATCH BUILDING SYNTHETIC WOOD SLATS, TYP. SYNTHETIC WOOD TRIM, TYP.

BENT PLATE DOOR PULL, TYP.
GALV. SILL TUBE, TYP.
GALV. SILL TUBE BRACKETS, TYP.

CANE BOLT RECEIVERS SET INTO CONCRETE SLAB, TYP. NOTE: PROVIDE HOOK FOR CANE BOLT TO HOLD IN OPEN POSITION

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 16228, EXPIRATION DATE: 5/13/12



12/25/11 Date
Professional Engr. No. 16228

SDP-12-010

COOPER LIGHTING - LUMARK

DESCRIPTION: The Lumark Tribute is the most versatile, functionally designed, universally adaptable outdoor luminaire available. The Tribute brings outstanding performance to walkways, parking lots, roadways, loading docks, building areas, and any security lighting application. UL listed and CSA certified for wet locations.

MPTR-SL-350-MT-DP
EMERSON
S1

CONSTRUCTION FEATURES

Construction: Rugged one-piece die-cast aluminum housing and door frame. One-piece silicone gasket protects the optical chamber from performance-degrading contaminants. One (1) stainless steel latch and two (2) stainless hinges allow toolless opening and removal of door frame.

Reflector: Choice of nine (9) high efficiency optical distributions, including five (5) segmented optical systems consisting of premium 95% reflective anodized aluminum sheet. Optical segments are rigidly mounted inside a thick frame aluminum housing for superior protection. All segment faces are clean of rivet heads, tabs or other means of attachment which may cause straying in the light distribution. Optical modules are field rotatable in 90° increments and offered standard with mogul base lampholders for 150-400W assemblies or medium base lampholders for 100W and below.

Electrical: Ballast and related electrical components are hard mounted to die-cast housing for optimal heat transfer and operating efficiency. Optional swing-down gimballed steel power tray with integral handle and quick disconnects allows tray to be completely removed from housing providing ample room for future re-wiring and maintenance.

Mounting: Castored 3" aluminum arm features internal bolt guides for easy positioning of fixture during installation to pole or wall surface.

Standard single carton packaging of housing, system pole arm and round pole adapter allow for consolidated product arrival to site. Optional internal trim arm mount accepts a 1 3/4" to 2 3/8" O.D. horizontal trim, with a bolt clamping mechanism securing fixture. Custom leveling guides provide +/- 0.5° vertical leveling adjustment.

Finish: Housing and arm finished in a 5 stage premium TGIC bronze powder-coated finish. Optional colors include black, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.

70 - 400W
High Pressure Sodium
Pulse Start Metal Halide
Metal Halide
ASIA LUMINAIRE
DARK SKY COMPLIANT

TR TRIBUTE

TECHNICAL DATA
UL Wet Location Listed
CSA Certified
CSA Construction - IP
ENERGY DATA
18-Reactance Ballast Input Watts
750W (95% EFF. 100V) @ 100V
1000W (95% EFF. 120V) @ 120V
1500W (95% EFF. 150V) @ 150V
2000W (95% EFF. 200V) @ 200V
2500W (95% EFF. 250V) @ 250V
3000W (95% EFF. 300V) @ 300V
4000W (95% EFF. 400V) @ 400V
5000W (95% EFF. 500V) @ 500V
6000W (95% EFF. 600V) @ 600V
7500W (95% EFF. 750V) @ 750V
10000W (95% EFF. 1000V) @ 1000V
CFL Ballast Input Watts
1700W (95% EFF. 100V) @ 100V
2000W (95% EFF. 120V) @ 120V
2500W (95% EFF. 150V) @ 150V
3000W (95% EFF. 200V) @ 200V
3500W (95% EFF. 250V) @ 250V
4000W (95% EFF. 300V) @ 300V
4500W (95% EFF. 350V) @ 350V
5000W (95% EFF. 400V) @ 400V
6000W (95% EFF. 500V) @ 500V
7500W (95% EFF. 750V) @ 750V
10000W (95% EFF. 1000V) @ 1000V
EPA
Classified Product Area (CPA) P1
Without Area 1.10
SHIPPING DATA
Approximate Net Weight:
33 lbs. (15.0 kg)

Dimensions: 16" (406mm) x 16" (406mm) x 16" (406mm)

Drilling Patterns: WALL MOUNT, TRIBUTION MOUNT

Specifications and Dimensions subject to change without notice.

COOPER LIGHTING

TYPE: SSSQUARE STRAIGHT STEEL
Mounting Height: SQUARE STRAIGHT STEEL

DETAILS: 10'-3'9" Mounting Height

TECHNICAL DATA
UL Wet Location Listed
CSA Certified
CSA Construction - IP
ENERGY DATA
18-Reactance Ballast Input Watts
750W (95% EFF. 100V) @ 100V
1000W (95% EFF. 120V) @ 120V
1500W (95% EFF. 150V) @ 150V
2000W (95% EFF. 200V) @ 200V
2500W (95% EFF. 250V) @ 250V
3000W (95% EFF. 300V) @ 300V
4000W (95% EFF. 400V) @ 400V
5000W (95% EFF. 500V) @ 500V
6000W (95% EFF. 600V) @ 600V
7500W (95% EFF. 750V) @ 750V
10000W (95% EFF. 1000V) @ 1000V
CFL Ballast Input Watts
1700W (95% EFF. 100V) @ 100V
2000W (95% EFF. 120V) @ 120V
2500W (95% EFF. 150V) @ 150V
3000W (95% EFF. 200V) @ 200V
3500W (95% EFF. 250V) @ 250V
4000W (95% EFF. 300V) @ 300V
4500W (95% EFF. 350V) @ 350V
5000W (95% EFF. 400V) @ 400V
6000W (95% EFF. 500V) @ 500V
7500W (95% EFF. 750V) @ 750V
10000W (95% EFF. 1000V) @ 1000V
EPA
Classified Product Area (CPA) P1
Without Area 1.10
SHIPPING DATA
Approximate Net Weight:
33 lbs. (15.0 kg)

SPECIFICATION FEATURES

- ASTM Grade steel base plate with ASTM A36 base cover.
- Hand hole assembly 3" x 5" on 5" and 6" pole; and 2" x 4" on 4" pole.
- ASTM A500 grade "B" steel shaft. Shot blasted and painted with polyester powder coat.
- 4" O.D. or 3" O.D. (optional).
- Another bolt per ASTM A576 with (2) nuts, (2) flat washers, and (1) lock washer. Nut, washers and threaded portion of bolt are hot dip galvanized. 3" hook for 3/8" bolt, 4" hook for 1" bolt.

FOUR BOLT ANCHORAGE (see ordering information)

BC-Bolt Circle
P/Bolt Projection
All-Bolt Dimensions
D/Bolt Dimension
H/Bolt Dimension
F/C/Bolt
G/C/Bolt
V/Bolt

FINISH COLORS
F-Cast Bronze
G-Galvanized
V-Vulcanite
Y-Black

COOPER LIGHTING

Saturn Cutoff

Project: EMERSON
Type: S5
Qty:

SAC - R5 - 1 - H070E - 630 - SV - X - DS

Series	Reflector	Mounting	Lamping	Lamp Color	Finish	Voltage	Options
SAC R5	R2 Type II Aluminum reflector	1 Single	T5 Metal Halide	630 3000°K	WH White	120	DS Full Cut Off
Saturn Cutoff	R5 Type V Aluminum reflector	2 Double Wall Mount	H070E 35W T6 G12	NOL Lamp not included	BL Black	208	OPC House Side Stand (HPS)
			H070E 70W T6 G12		BR Bronze	277	
			H190E 150W T6 G12		SV Silver	347	

FINISH COLORS
F-Cast Bronze
G-Galvanized
V-Vulcanite
Y-Black

TECHNICAL DATA
UL Wet Location Listed
CSA Certified
CSA Construction - IP
ENERGY DATA
18-Reactance Ballast Input Watts
750W (95% EFF. 100V) @ 100V
1000W (95% EFF. 120V) @ 120V
1500W (95% EFF. 150V) @ 150V
2000W (95% EFF. 200V) @ 200V
2500W (95% EFF. 250V) @ 250V
3000W (95% EFF. 300V) @ 300V
4000W (95% EFF. 400V) @ 400V
5000W (95% EFF. 500V) @ 500V
6000W (95% EFF. 600V) @ 600V
7500W (95% EFF. 750V) @ 750V
10000W (95% EFF. 1000V) @ 1000V
CFL Ballast Input Watts
1700W (95% EFF. 100V) @ 100V
2000W (95% EFF. 120V) @ 120V
2500W (95% EFF. 150V) @ 150V
3000W (95% EFF. 200V) @ 200V
3500W (95% EFF. 250V) @ 250V
4000W (95% EFF. 300V) @ 300V
4500W (95% EFF. 350V) @ 350V
5000W (95% EFF. 400V) @ 400V
6000W (95% EFF. 500V) @ 500V
7500W (95% EFF. 750V) @ 750V
10000W (95% EFF. 1000V) @ 1000V
EPA
Classified Product Area (CPA) P1
Without Area 1.10
SHIPPING DATA
Approximate Net Weight:
33 lbs. (15.0 kg)

SPECIFICATION FEATURES

- Fixture Cover - Die cast aluminum cover removes easily for access to field replaceable optics (optional 90 degree).
- Fixture Hood - Aluminum shade with white painted interior.
- Reflector - (Not shown) Precision formed, completely sealed aluminum reflector system with a Type II or Type V distribution. IMA-Approved™ dark sky friendly.
- Access Door - Hinged tempered glass lens, secured to fixture with two lock-less latches. Lens gasketed to die cast aluminum shade stabilizer.
- Hood Supports - Two aluminum arms support shade and optic assembly and attach to the die cast aluminum pole filler (shown painted matte black for DS option).
- Ballast Cover - Die cast aluminum ballast cover removes easily for access to ballast. Ballast secured to remountable tray for ease of maintenance (shown painted matte black for DS option).
- Access Door - Hinged tempered glass lens, secured to fixture with two lock-less latches. Lens gasketed to die cast aluminum shade stabilizer.
- Hood Supports - Two aluminum arms support shade and optic assembly and attach to the die cast aluminum pole filler (shown painted matte black for DS option).
- Ballast Cover - Die cast aluminum ballast cover removes easily for access to ballast. Ballast secured to remountable tray for ease of maintenance (shown painted matte black for DS option).
- Pole Fitter - Self-levelling, die-cast aluminum, filler base secured to pole with two, stainless steel, Allen head set screws. Fitter for 3 1/2" (90mm) O.D. poles.
- Ballast cover - Die cast aluminum ballast cover removes easily for access to ballast. Ballast secured to remountable tray for ease of maintenance (shown painted matte black for DS option).
- Access Door - Hinged tempered glass lens, secured to fixture with two lock-less latches. Lens gasketed to die cast aluminum shade stabilizer.
- Hood Supports - Two aluminum arms support shade and optic assembly and attach to the die cast aluminum pole filler (shown painted matte black for DS option).
- Ballast Cover - Die cast aluminum ballast cover removes easily for access to ballast. Ballast secured to remountable tray for ease of maintenance (shown painted matte black for DS option).

SELUX Corp. © 2009
TEL (848) 691-7725
FAX (848) 691-4749
www.selu.com
SAC-100-01 (S5-23)

NTL Listed (in U.S. & Canada)
UL Listed (in U.S. & Canada)
UL Listed (in U.S. & Canada)

SECTION A-A

CONCRETE ISLAND 6" HIGH (FIN. GRADE)

3/4" CHAMFER ALL EDGES

LIGHT POLEBASE (FLUSH)

CONCRETE FOOTING BELOW

NOTES:

- OPTIONAL TO BE USED ONLY IF ADJUTORY LINES ARE NOT REQUIRED IN ACCORDANCE WITH DESIGN MANUAL VOL. 8 SECTION 2.3.6.3 AND SECTION 2.3.6.4.
- WHEN PROPOSED DRIVEWAY IS CONSTRUCTED ON AN EXISTING STREET WITH EXISTING CURB OR CURB & GUTTER, THE CURB OR GUTTER OR DRIVEWAY SHALL BE REPAIRED TO THE EXISTING SURFACE OR REPAIRED TO THE PROPOSED SURFACE AND REPAIRED TO THE EXISTING SURFACE OF THE DRIVEWAY.
- GRASS AREA ADJACENT TO DRIVEWAY MUST BE SLOPED TO MEET PAVEMENT OF THE DRIVEWAY.
- ALL PAVEMENT SHALL HAVE A FINISHING TREATMENT BEYOND THE FULL WIDTH OF THE CURB PAVE.

Howard County, Maryland
Department of Public Works

COMMERCIAL-INDUSTRIAL-APARTMENT
Entrance on Closed Section Roadway
(<200 V.P.H.)

Detail R-6.09

TEMPORARY TRAFFIC CONTROL TYPICAL APPLICATION

IMPORTANT: THESE SIGNS SHALL BE USED IN COMBINATION WITH THE ORIGINAL SIGNS AND SIGNS ON THE EXISTING ROADWAY. STRIPED DETAILS 10' TO 15' TO 20' AND 15' TO 20' TO 25'.

NOTE: THESE SIGNS SHALL BE STATIONED UPON THE 1000' PAVEMENT WIDTH OF THE DRIVEWAY FLAGGER SIGN.

KEY:

- CHANNELING DEVICES
- SIDE SUPPORT
- FACE OF SIGN
- DIRECTION OF TRAFFIC
- WORK SITE
- FLAGGER

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 4-10-12

CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 4-2-12

DIRECTOR
DATE: 4/10/12

AS-BUILT NOT REQUIRED
SURVEY SERVICES OF MD., LLC.
BY: ROBERT MATIS - REG #605

STATE OF MARYLAND
PROFESSIONAL ENGINEER
4-30-12

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 4-10-12

CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 4-2-12

DIRECTOR
DATE: 4/10/12

EMERSON PARCEL B & E-1
L.E.E.D. BUILDING
5-STORY COMMERCIAL OFFICE BUILDING
OWNER/DEVELOPER:
PARCEL 'B' - EMERSON DEVELOPMENT V, LLC
1 TEXAS STATION COURT
SUITE 200
TIMONUM, MD 21088
TAX MAP 47 GRID 8 PARCEL 1051
EMERSON SECTION 3 AREA 1
DEED 1H010519
TAX ACCT # 06-572553
PLAT: 150283

PARCEL 'E-1' - EMERSON DEVELOPMENT II, LLC
1 TEXAS STATION COURT
SUITE 200
TIMONUM, MD 21088
TAX MAP 47 GRID 20 PARCEL 1055
RENTZ PROPERTY
DEED 1H010519
TAX ACCT # 06-572227
PLAT: 150685

DMW
DAFT MCCUNE WALKER INC
220 EAST PENNSYLVANIA AVENUE • TOWSON, MD 21284
P • 410 296 8333 F • 410 296 4795 WWW.DMW.COM
A TEAM OF LAND PLANNERS, LANDSCAPE ARCHITECTS,
ENGINEERS, SURVEYORS & ENVIRONMENTAL PROFESSIONALS

SECTION/AREA
SECTION 3 AREA 1
PARCEL B & E-1 / PAR. 1055
BLOCK # 47
LOT # 6
GRID TRACT 606903

TITLE
SITE DETAILS

Des. By: JBS Scale: AS NOTED Proj. No.: 95054.6
Dm. By: JSS Date: 12-13-11
Professional Engr. No. 16928 Chk. By: MCB/JDF Approved 7 of 26

Lighting Specs and Details

NOTE: 1. CONFIRM INSTALLATION DETAILS WITH ARCHITECT PRIOR TO COMMENCEMENT OF SITE LIGHTING WORK.
2. SIGHT LIGHTING TO BE 4000K COLOR.

Lighting Specs and Details

NOTE: 1. CONFIRM INSTALLATION DETAILS WITH ARCHITECT PRIOR TO COMMENCEMENT OF SITE LIGHTING WORK.
2. SIGHT LIGHTING TO BE 4000K COLOR.

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Lighting Specs and Details

NOTE: 1. CONFIRM INSTALLATION DETAILS WITH ARCHITECT PRIOR TO COMMENCEMENT OF SITE LIGHTING WORK.
2. SIGHT LIGHTING TO BE 4000K COLOR.

Lighting Specs and Details

NOTE: 1. CONFIRM INSTALLATION DETAILS WITH ARCHITECT PRIOR TO COMMENCEMENT OF SITE LIGHTING WORK.
2. SIGHT LIGHTING TO BE 4000K COLOR.

TYPICAL GRASSPAVE2 DETAIL

CHOOSE THIS PRODUCT FOR REINFORCING GRASS WEARING SURFACES

NOT TO SCALE
Invisible
Structures, Inc.
C/O: 2008

1600 Jackson St., Ste. 310
GOLDEN, CO. 80401
800-233-1510 OR 303-233-8989
FAX: 800-233-1522 OR 303-233-8282
WWW.STRUCTURES.COM
REV. 10/05

FIRE TRUCK AND BGE TRUCK ACCESS PAD DETAIL

NTS

Lighting Specs and Details

NOTE: 1. CONFIRM INSTALLATION DETAILS WITH ARCHITECT PRIOR TO COMMENCEMENT OF SITE LIGHTING WORK.
2. SIGHT LIGHTING TO BE 4000K COLOR.

SITE LIGHTING POLE MOUNTING

NOT TO SCALE

NOTE: CONFIRM BASE HEIGHT, OTHER INSTALLATION DETAILS WITH ARCHITECT PRIOR TO COMMENCEMENT OF SITE LIGHTING WORK

GROUNDING
HANDHOLE
FINISH GRADE
GALVANIZED ANCHOR BOLT
SIZE & GRADE PER MANUFACTURER
FINISH GRADE
CONDUIT
#8 GROUND WIRE
GROUND ROD 3/4" x 8' LONG
f = 3000 psi @ 28 DAYS

TEMPORARY TRAFFIC CONTROL TYPICAL APPLICATION

IMPORTANT: THESE SIGNS SHALL BE USED IN COMBINATION WITH THE ORIGINAL SIGNS AND SIGNS ON THE EXISTING ROADWAY. STRIPED DETAILS 10' TO 15' TO 20' AND 15' TO 20' TO 25'.

NOTE: THESE SIGNS SHALL BE STATIONED UPON THE 1000' PAVEMENT WIDTH OF THE DRIVEWAY FLAGGER SIGN.

KEY:

- CHANNELING DEVICES
- SIDE SUPPORT
- FACE OF SIGN
- DIRECTION OF TRAFFIC
- WORK SITE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 4-10-12

CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 4-2-12

DIRECTOR
DATE: 4/10/12

AS-BUILT NOT REQUIRED
SURVEY SERVICES OF MD., LLC.
BY: ROBERT MATIS - REG #605

STATE OF MARYLAND
PROFESSIONAL ENGINEER
4-30-12

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 4-10-12

CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 4-2-12

DIRECTOR
DATE: 4/10/12

EMERSON PARCEL B & E-1
L.E.E.D. BUILDING
5-STORY COMMERCIAL OFFICE BUILDING
OWNER/DEVELOPER:
PARCEL 'B' - EMERSON DEVELOPMENT V, LLC
1 TEXAS STATION COURT
SUITE 200
TIMONUM, MD 21088
TAX MAP 47 GRID 8 PARCEL 1051
EMERSON SECTION 3 AREA 1
DEED 1H010519
TAX ACCT # 06-572553
PLAT: 150283

PARCEL 'E-1' - EMERSON DEVELOPMENT II, LLC
1 TEXAS STATION COURT
SUITE 200
TIMONUM, MD 21088
TAX MAP 47 GRID 20 PARCEL 1055
RENTZ PROPERTY
DEED 1H010519
TAX ACCT # 06-572227
PLAT: 150685

DMW
DAFT MCCUNE WALKER INC
220 EAST PENNSYLVANIA AVENUE • TOWSON, MD 21284
P • 410 296 8333 F • 410 296 4795 WWW.DMW.COM
A TEAM OF LAND PLANNERS, LANDSCAPE ARCHITECTS,
ENGINEERS, SURVEYORS & ENVIRONMENTAL PROFESSIONALS

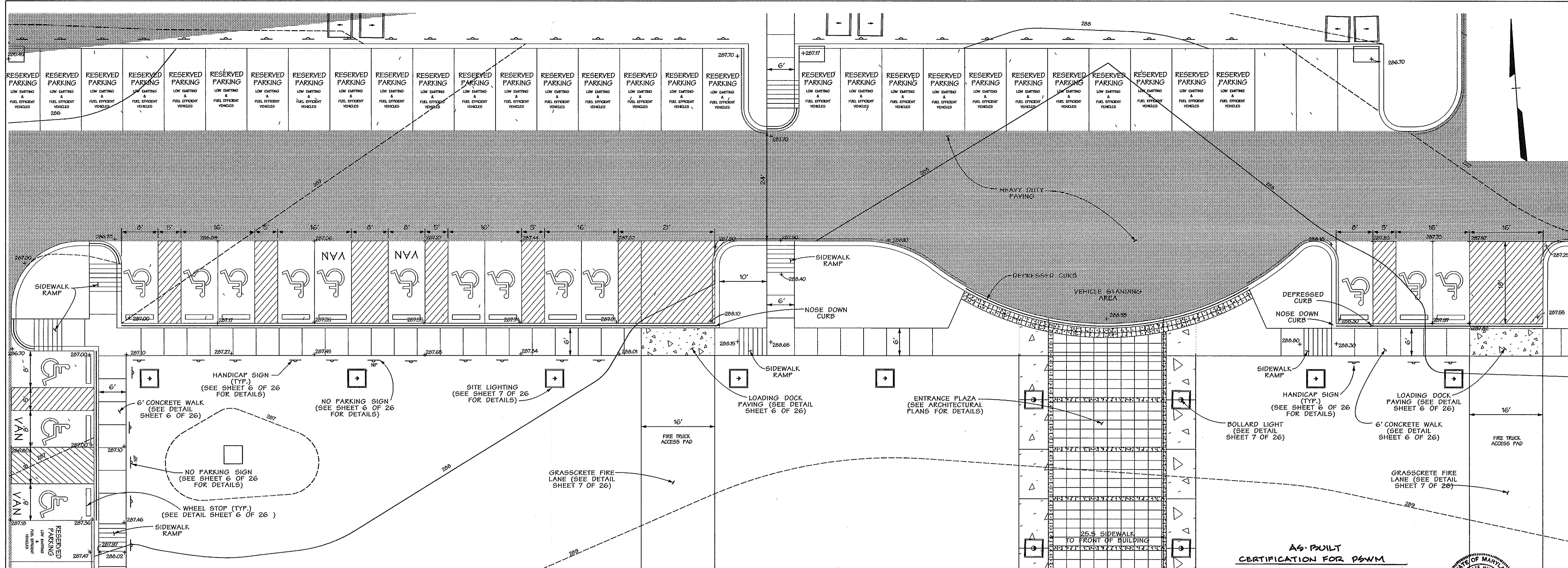
SECTION/AREA
SECTION 3 AREA 1
PARCEL B & E-1 / PAR. 1055
BLOCK # 47
LOT # 6
GRID TRACT 606903

TITLE
SITE DETAILS

Des. By: JBS Scale: AS NOTED Proj. No.: 95054.6
Dm. By: JSS Date: 12-13-11
Professional Engr. No. 16928 Chk. By: MCB/JDF Approved 7 of 26

Lighting Specs and Details

NOTE: 1. CONFIRM INSTALLATION DETAILS WITH ARCHITECT PRIOR TO COMMENCEMENT OF SITE LIGHTING WORK.
2. SIGHT LIGHTING TO BE 4000K COLOR.



PROPOSED HANDICAP PARKING AND ACCESS (FRONT)

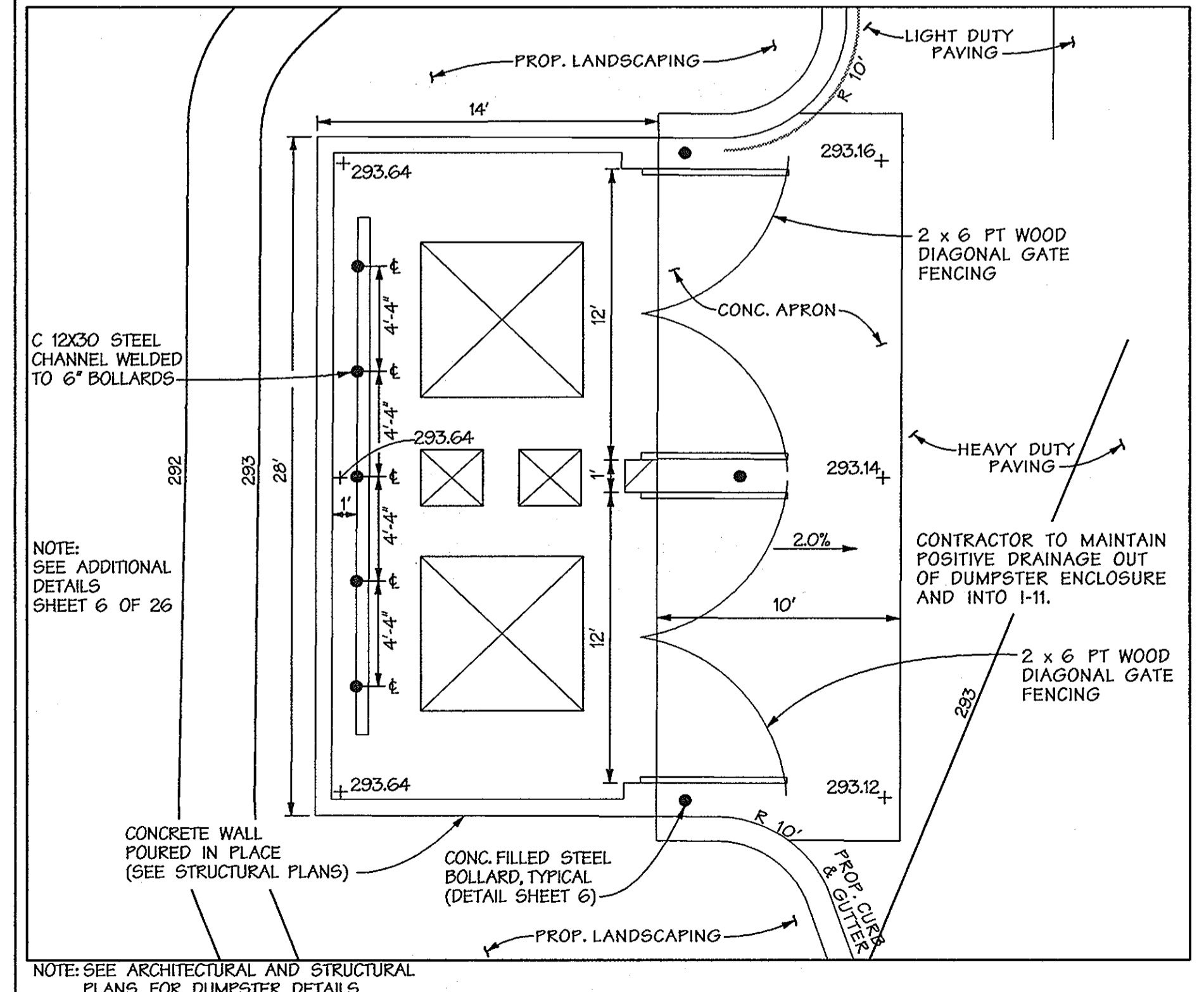
SCALE: 1"=10'

AS-BUILT
CERTIFICATION FOR PSWM
THERE IS NO "AS-BUILT" INFORMATION
PROVIDED ON THIS SHEET.
Paul Hudson 5-28-13
PAUL HUDSON PE#8061



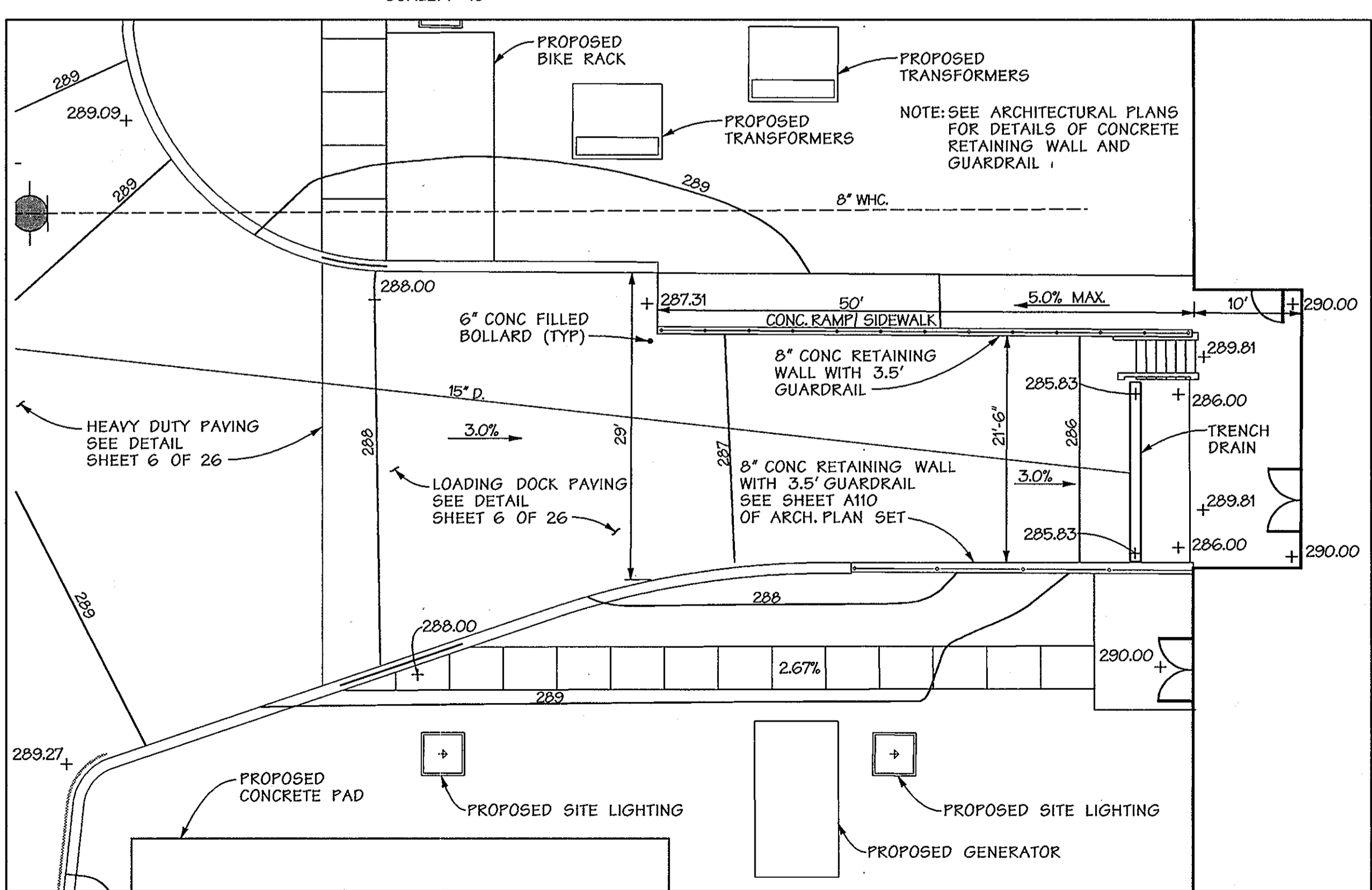
AS BUILT NOT REQUIRED
SURVEY SERVICES OF MD, LLC.
BY: ROBERT MATS-REG#605

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING	DATE: 4-10-12
Chief, DIVISION OF LAND DEVELOPMENT	
Chief, DEVELOPMENT ENGINEERING DIVISION	DATE: 4-2-12
DIRECTOR	DATE: 4/1/12



DUMPSTER ENCLOSURE DETAIL

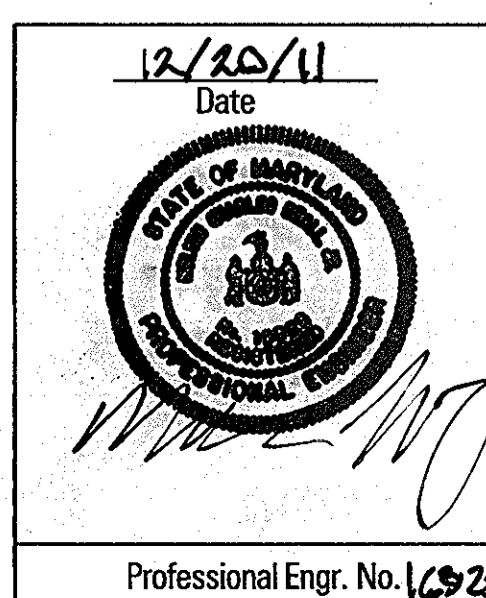
SCALE: 1"=5'



LOADING DOCK AREA

SCALE: 1"=10'

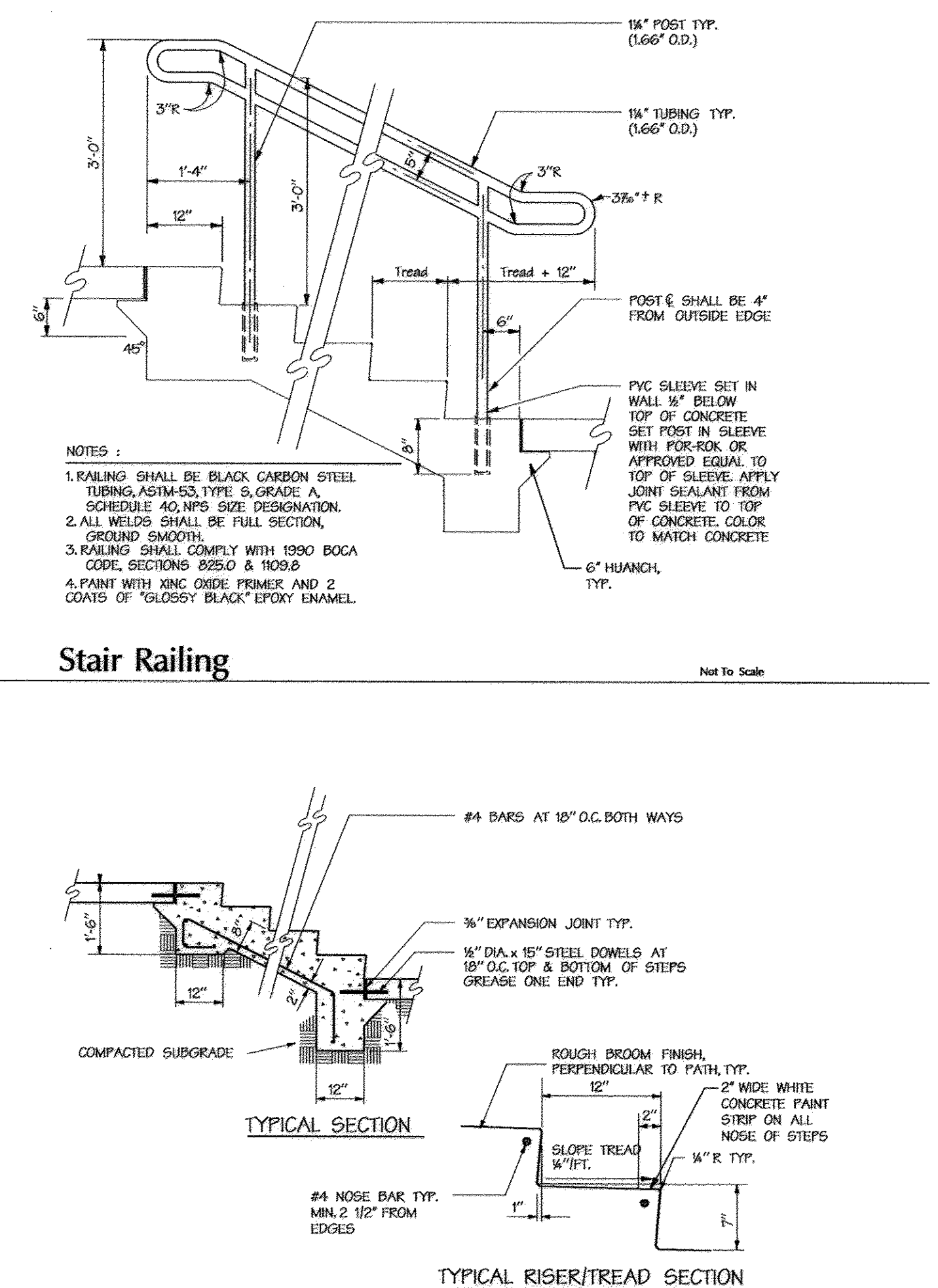
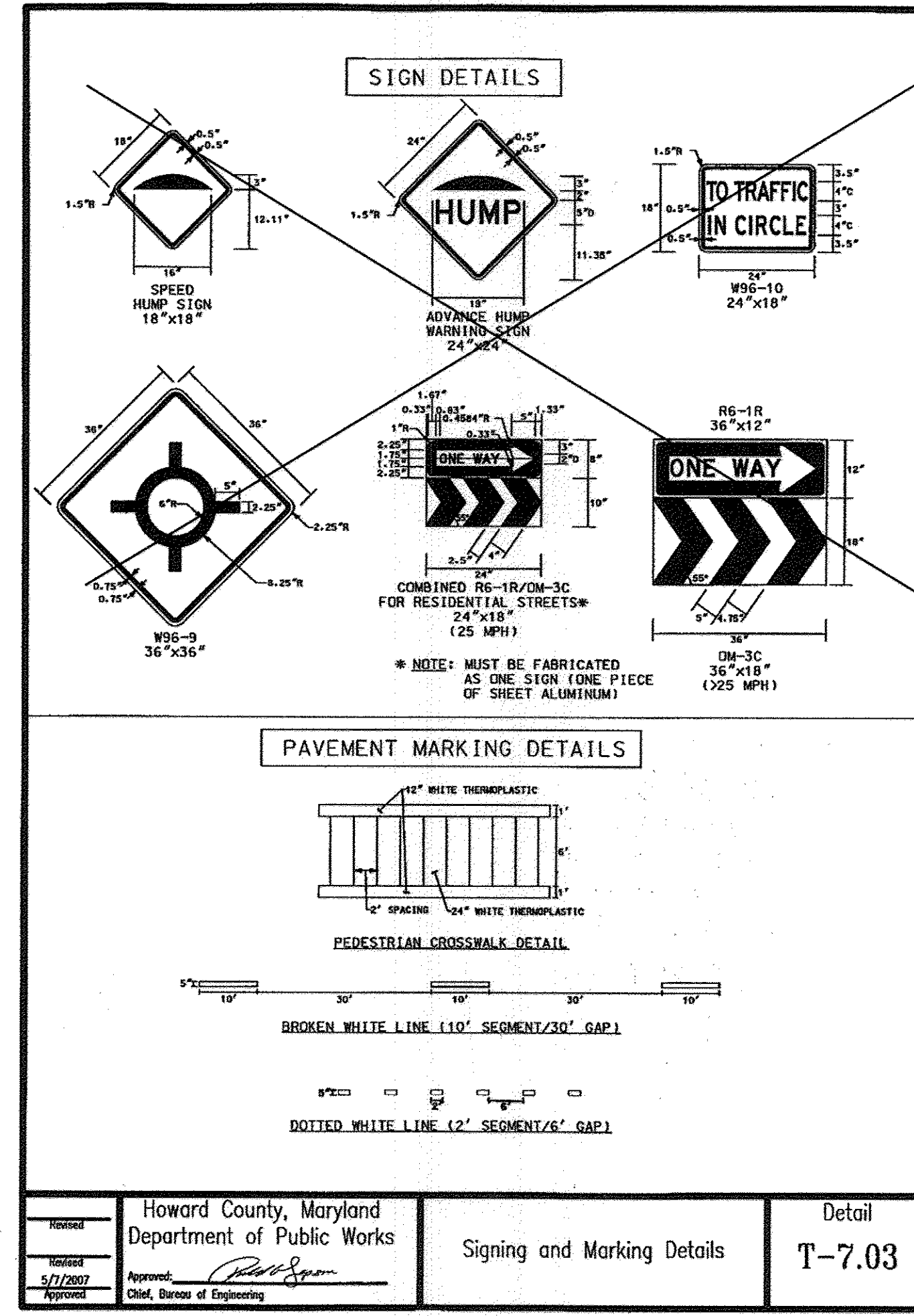
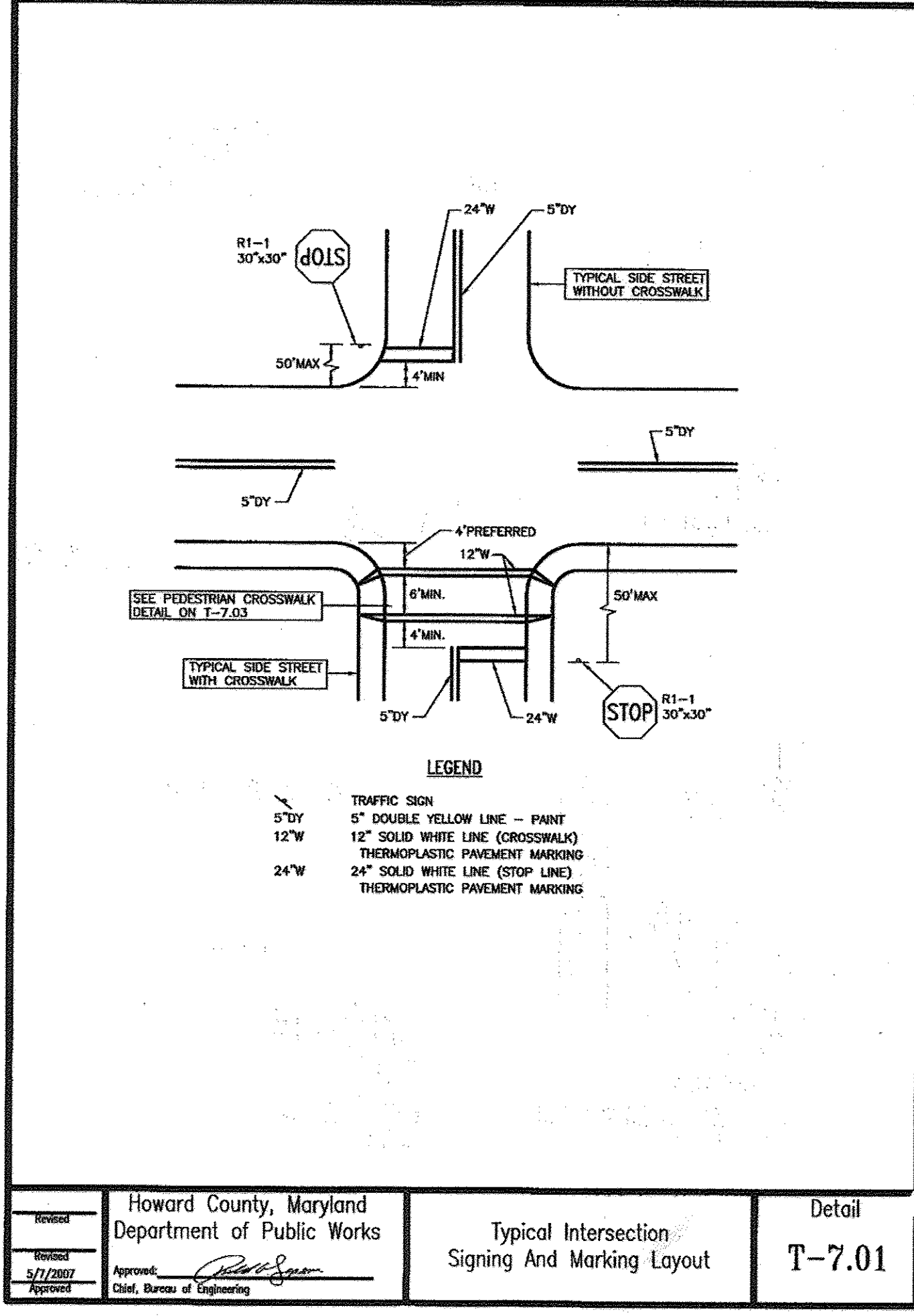
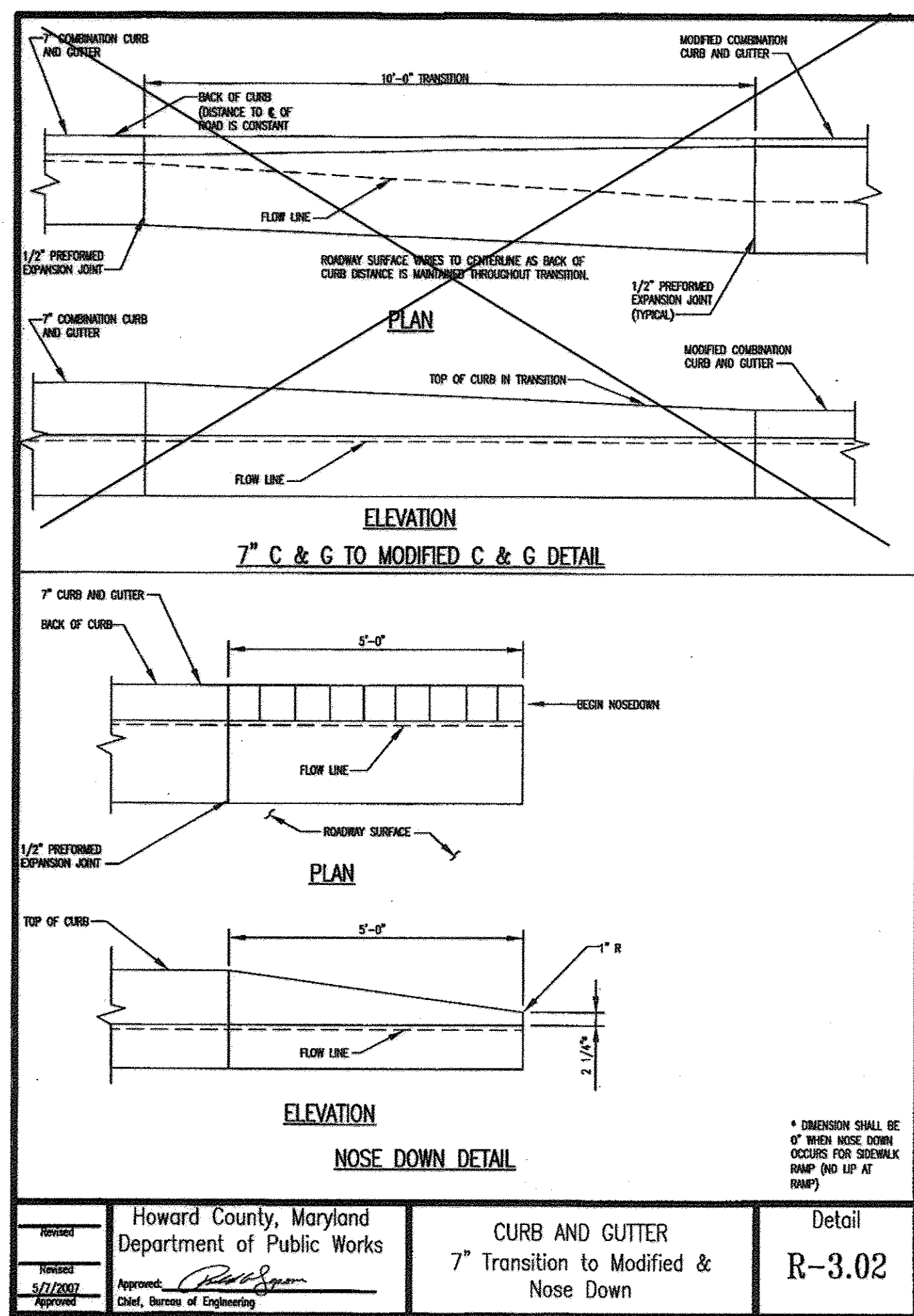
PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 16928, EXPIRATION DATE: 5/13/12



EMERSON PARCEL B & E-1
L.E.E.D. BUILDING
5-STORY COMMERCIAL OFFICE BUILDING
OWNER/DEVELOPER:
PARCEL 'B' - EMERSON DEVELOPMENT, LLC
PARCEL 'E-1' - EMERSON DEVELOPMENT, LLC

		200 EAST PENNSYLVANIA AVENUE • TOWSON, MD 21286 P: 410.296.2820 F: 410.296.4705 WWW.DMW.COM	
		A TEAM OF LAND PLANNERS, LANDSCAPE ARCHITECTS, ENGINEERS, SURVEYORS & ENVIRONMENTAL PROFESSIONALS	
SUBDIVISION NAME REVIZIT PROPERTY & EMERSON STATION COURT	SECTION/AREA SECTION 3 AREA 1	LOT/PARCEL # PARCEL B & E-1 / PAR. 165	DATE 12/10/11
PLAT # 15829 & 15689	BLOCK # 20	TRACT # 47	SHEET NUMBER 6
WATER CODE 	SEWER CODE 	TAX ACCT # 06-572253	PARCEL TAX 606903

SITE DETAILS			
Des. By	MCB/JDF	Scale	AS NOTED
Dim. By	JSS	Date	12-13-11
Chk. By	MCB/JDF	Approved	Professional Engr. No. 16928
			Proj. No. 95054.6
			8 of 26

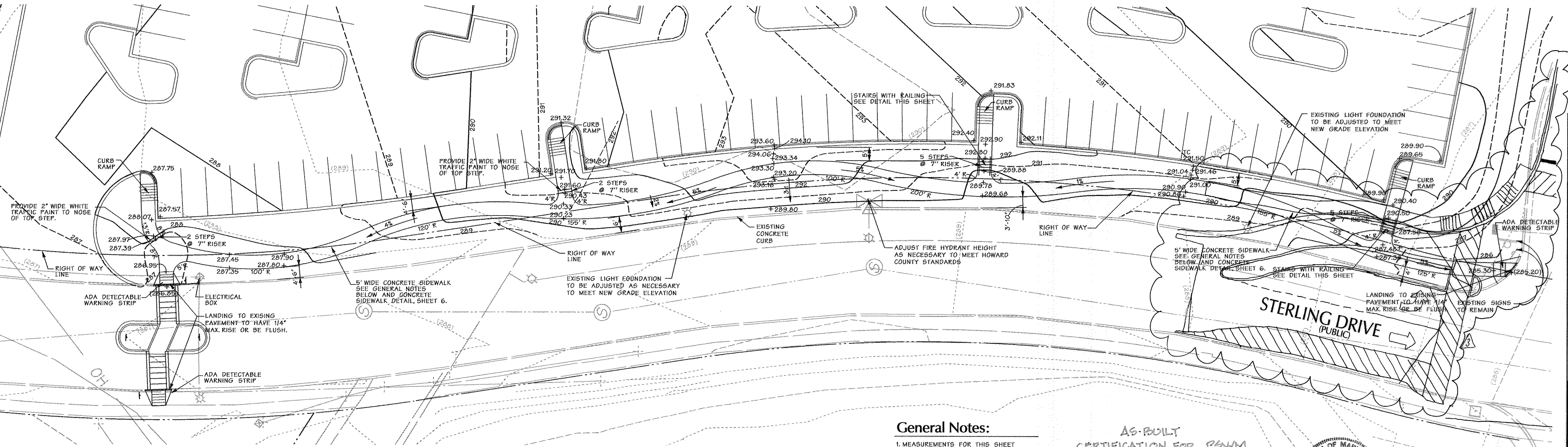


Howard County, Maryland Department of Public Works	CURB AND GUTTER 7" Transition to Modified & Nose Down	Detail R-3.02
-------------------------------------------------------	-------------------------------------------------------------	------------------

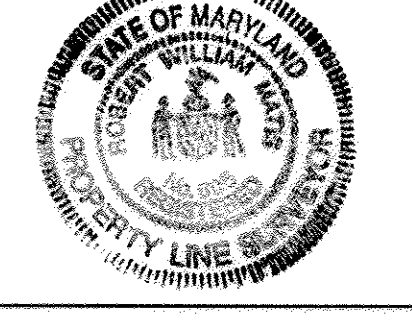
Howard County, Maryland Department of Public Works	Typical Intersection Signing And Marking Layout	Detail T-7.01
-------------------------------------------------------	----------------------------------------------------	------------------

Howard County, Maryland Department of Public Works	Signing and Marking Details	Detail T-7.03
-------------------------------------------------------	-----------------------------	------------------

Concrete Step Risers and Reinforcement



AS-BUILT NOT REQUIRED
SURVEY SERVICES OF MD, LLC.
BY: ROBERT MATIS - REG #605



APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING	4-10-12
Chief, Division of Land Development	DATE
Chief, Development Engineering Division	DATE
Director	DATE

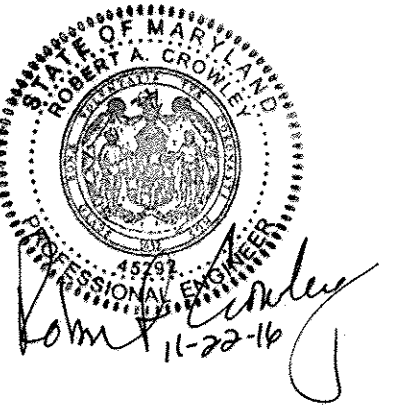
9-26-13	EMERSON CAMPUS VCP
Date	Revision Description

EMERSON PARCEL B & E-1
L.E.E.D. BUILDING
5-STORY COMMERCIAL OFFICE BUILDING

OWNER/DEVELOPER:	EMERSON DEVELOPMENT I, LLC
PARCEL B - EMERSON DEVELOPMENT I, LLC	PARCEL E-1 - EMERSON DEVELOPMENT I, LLC
1 TEXAS STATION COURT	1 TEXAS STATION COURT
SUITE 200	SUITE 200
TIMONUM, MD 21083	TIMONUM, MD 21083
TAX MAP 47 GRID 6 PARCEL 105H	TAX MAP 47 GRID 20 PARCEL 165
EMERSON SECTION 3 AREA 1	RENTZ PROPERTY
DEED: 1449317	DEED: 1402619
TAX ACCT # 06-572253	TAX ACCT # 06-572227
PLAT: 15829	PLAT: 15665

THE PURPOSE OF REVISION #13 IS TO SHOW THE WORK ASSOCIATED WITH THE EMERSON CAMPUS VCP, SDP-10-005

PROFESSIONAL CERTIFICATION FOR REV #3
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 46292
EXPIRATION DATE: 05/21/2018



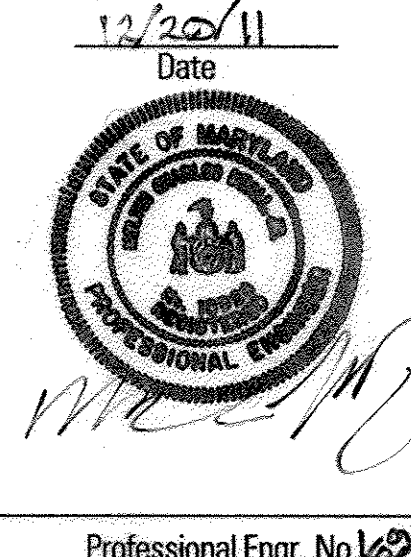
SIDEWALK DETAIL
1"=20'

- General Notes:
1. MEASUREMENTS FOR THIS SHEET THAT ARE FROM THE CURB IS TO THE BACK OF THE CURB UNLESS OTHERWISE NOTED ON THIS SHEET.
 2. FINAL SIDEWALK ALIGNMENT CAN BE SLIGHTLY MODIFIED TO ACCOMMODATE PROPER GRADING AND GENERAL NOTE REQUIREMENTS. CONTACT ENGINEER FOR ANY MAJOR CHANGES TO SIDEWALK ALIGNMENT PRIOR TO MAKING THE CHANGE IN THE FIELD.
 3. PROVIDE 1 TO 2 FOOT LEVEL AREA (2% SLOPE) ON BOTH SIDES OF SIDEWALK.
 4. PROVIDE 1 TO 2 FOOT LEVEL AREA (2% SLOPE) ADJACENT TO BACK OF CURB, TYP.
 5. SIDEWALK TO HAVE 2% CROSS SLOPE, TYP.
 6. FOLLOW STANDARD SIDEWALK DETAIL SHOWN ON SHEET 6, EXCEPT PROVIDE 6" COMPACTED CRUSHER RUN #6 (CR6) UNDER CONCRETE SIDEWALK.

AS-BUILT CERTIFICATION FOR PAVM
THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.
Paul Hudson 6-23-13
PAUL HUDSON PE#8061



PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16228, EXPIRATION DATE: 5/13/12



DMW DAFT MCCUNE WALKER INC			
220 EAST PENNSYLVANIA AVENUE • TOWSON, MD 21284 P: 410 296 3888 F: 410 296 4708 WWW.DMW.COM			
A TEAM OF LAND PLANNERS, LANDSCAPE ARCHITECTS, ENGINEERS, SURVEYORS & ENVIRONMENTAL PROFESSIONALS			
DISCIPLINE NAME	SECTION/AREA	SHEET NO.	
RENTZ PROPERTY & EMERSON 311	SECTION 3 AREA 1	PARCEL B & E-1 / PAR. 165	
PLAT # 2127 & 2127A	BLOCK # 20	TAX/ZONE MAP	GRID
20	47	6	606903
OWNER	OWNER		
TITLE			
SITE DETAILS			
Des. By	TPC	Scale	AS NOTED
Dim. By	JSS/TPC	Date	12-13-11
Proj. No.	95054.6	Chk. By	MCB/JDF
Approved			

SEQUENCE OF CONSTRUCTION

1. Obtain a grading permit for the proposed work.
2. Notify the Howard County Department of Permits and Licenses (DPL) at least 48 hours prior to beginning work (2 days)
3. Install the Stabilized Construction Entrance (SCE) and perimeter control; Super Silt Fence (SBF) and Super Fence Diversion (SFD) and tree protection as shown on the plans, (5 days)
4. With permission from the Sediment Control Inspector, install Sediment Trap No. 1 and No. 2 with SFD. (5 days)
5. Upon completion of the sediment traps and with permission of the Sediment Control Inspector, begin clearing and grubbing operations across the remaining site area. Temporarily stockpile excavated material in the designated locations. Continue grading operations to bring the site to proposed grades stabilizing paved areas with gravel subbase. Begin proposed building construction (3 weeks)
6. Continue building construction and trench for and install the storm drains; connect to the existing structures as shown on sheet 11 and 13. Install inlet protection or inlet blocking with RPS as inlets are completed. The following inlets shall also be wrapped with SBF: I-1, I-3, I-6, I-7, I-13, I-16, I-19, I-23, I-24 and I-25. (12 months)
7. When earthwork has reached appropriate grades, continue with construction of storm drains, water and sanitary sewer along with other dry utility lines (i.e. electric/telecom duct bank and gas service line). Install the proposed underground groundwater recharge trench No. 1, per the plans. Temporarily plug the 12" PVC pipe leading to the trench for connection at a later time. (30 days)
8. The contractor shall take care to direct runoff from disturbed areas to the sediment trap or perimeter sediment control devices at all times during construction.
9. Begin construction of the curbs and sidewalks across the site and place asphalt pavement base courses. Adjust SFD on sheet 13 to maintain drainage to Trap No. 2. (20 days)
10. As grading operations and utility construction near completion, install the PVC area drains and roof drain leaders around the building and parking lot. (8 days)
11. Fine grade the site and install permanent seed and mulch on lawn areas. Establish a minimum 70% uniform cover of vegetative species in the previous areas. (14 days)
12. Upon stabilization of the site and with permission of the sediment control inspector, remove the sediment traps. Remove the soft sub base material from pool area prior to backfilling with appropriate fill/solid material. Backfill the trap areas, and install the concrete curb, gravel subbase, and asphalt pavement base courses in the trap areas. Complete the storm drain system with underground groundwater trench No. 2. Temporarily plug the 12" PVC pipe leading to the trench for connection at a later time. install SBF around inlets I-5, I-8, I-11, and I-22 as indicated in the Final Grading Inset for Trap No. 1 and No. 2. (2 weeks)
13. Remove inlet blocking and repair inlet protection measure after asphalt base course.
14. Proceed with final paving operations and install the site landscaping per the plans.
15. Upon final stabilization of all remaining areas and with the permission of the Sediment Control Inspector, remove the 12" plugs to underground groundwater recharge trenches No. 1 & 2. Remove the remaining sediment control measures and stabilize any areas disturbed by doing so.

LEGEND

- PROPERTY BOUNDARY
- - - EX. RIGHT OF WAY
- ADJACENT PROPERTY BOUNDARY
- - - EX. ROADS AND WALKS
- EX. MAJOR CONTOUR
- EX. MINOR CONTOUR
- FOREST CONSERVATION EASEMENT
- PROP. BUILDING
- PROP. CURB
- PROP. DEPRESSED CURB
- PROP. GROUP LIGHT
- PROP. SINGLE LIGHT
- PROP. LIGHT
- PROP. MAJOR CONTOUR
- PROP. MINOR CONTOUR
- LIMIT OF DISTURBANCE
- SBF
- SFD
- OCF
- AGIF
- IS
- SCE
- STABILIZED CONSTRUCTION ENTRANCE
- EROSION CONTROL MATTING
- RPS
- REMOVAL PUMPING STATION
- GM
- GABION INFLOW PROTECTION (GABION MATRESS)
- MOUNTABLE BERM
- TREE PROTECTION
- TREE TO BE REMOVED

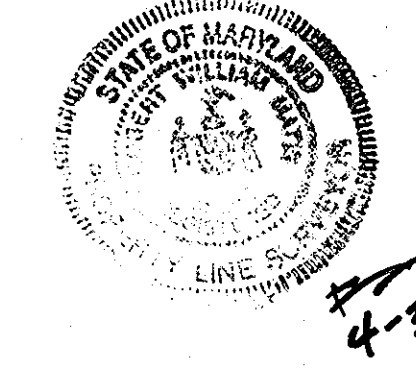
DEVELOPER'S CERTIFICATE
 "I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspections by the Howard Soil Conservation District."

James F. Knott, Jr.
 Signature of Developer
James F. Knott, Jr.
 Print Name
 11/2/11
 Date

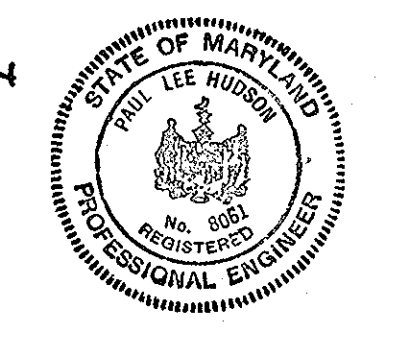
ENGINEER'S CERTIFICATE
 "I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Melvin C. Beatty, Jr.
 Signature of Engineer
Melvin C. Beatty, Jr.
 Print Name
 11/2/11
 Date

AS-BUILT NOT REQUIRED
 SURVEY SERVICES OF MD., LLC.
 BY: ROBERT MIATIS - REG# 605



EXISTING DA	TRAP #1
3.87 AC	3.87 AC
PROPOSED DA (MAX)	4.67 AC
STORAGE REQUIRED	16,812 CF
STORAGE PROVIDED	19,156 CF
WET STORAGE REQUIRED	8,406 CF
WET STORAGE PROVIDED	9,663 CF
WET STORAGE ELEVATION RANGE	280.5 TO 282.3
DRY STORAGE REQUIRED	8,406 CF
DRY STORAGE PROVIDED	9,494 CF
DRY STORAGE ELEVATION RANGE	282.3 TO 283.0
WEIR LENGTH	20'
BOTTOM DIMENSION	10' x 48'
TOP EMBANKMENT ELEVATION	284.8 (MIN)
TOP EMBANKMENT WIDTH	4 FT. (MIN)
CLEANOUT STORAGE REQUIRED	4,203 CF
CLEANOUT STORAGE PROVIDED	5,132 CF
CLEANOUT ELEVATION	281.5
SIDE SLOPES	2:1
BOTTOM ELEVATION	280.5
MIN. ELEVATION OF EXIST. GROUND	282.3

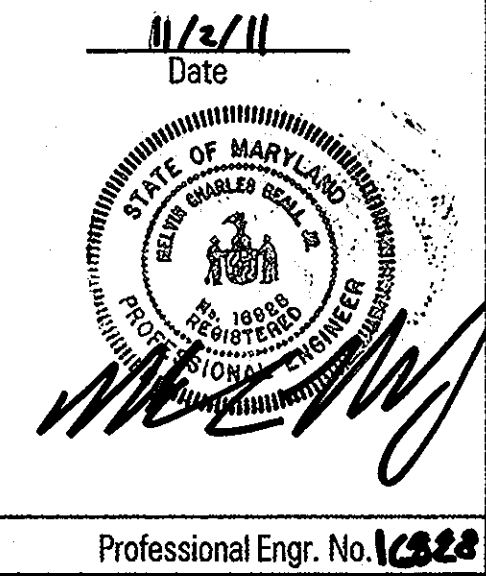


AS-BUILT
 CERTIFICATION FOR PDWM
 THERE IS NO "AS-BUILT" INFORMATION
 PROVIDED ON THIS SHEET
Paul Hudson
 Signature
PAUL HUDSON
 Print Name
 5-23-13
 Date
 PE# 8061

LOD PARCEL 'B' = 265,786 S.F. OR 6.10 Ac.±
 LOD PARCEL 'E-1' = 200,786 S.F. OR 4.61 Ac.±
 TOTAL LOD = 466,572 S.F. OR 10.71 Ac.±

UTILITY CONSTRUCTION OUTSIDE SEDIMENT CONTROL PRACTICES
 1. EXCAVATED TRENCH MATERIAL SHALL BE PLACED ON UPSTREAM SIDE OF TRENCH.
 2. IMMEDIATELY FOLLOWING PIPE INSTALLATION, THE TRENCH SHALL BE BACKFILLED, COMPACTED AND IMMEDIATELY STABILIZED (PERMANENT SEED AND MULCH) AT THE END OF EACH WORK DAY.
 3. SILT FENCE SHALL BE PLACED IMMEDIATELY DOWNSTREAM OF ANY DISTURBED AREA INTENDED TO REMAIN DISTURBED LONGER THAN ONE (1) WORKING DAY. (SILT FENCE AS PER SCS STANDARD DRAWING - E-15-3)
 4. THE CONTRACTOR SHALL DISTURB AND OPEN TRENCH THE MINIMUM PRACTICAL AREA REQUIRED TO ACCOMPLISH THE WORK DESIGNATED FOR EACH DAY.
 5. ALL SEDIMENT AND EROSION CONTROL PRACTICES AND VEGETATIVE STABILIZATION SHALL BE IN ACCORDANCE WITH THE "STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL IN DEVELOPING AREAS; ANY EROSION AND SEDIMENT CONTROL PRACTICES DAMAGED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY."

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16518, EXPIRATION DATE: 5-13-12



This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.
John A. Pollock, Esq.
 Signature
John A. Pollock, Esq.
 Print Name
 11/2/11
 Date

<i>Ken S. Shuler</i>	4-10-12
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
<i>Chad Edwards</i>	4-2-12
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
<i>Paul A. Taylor</i>	4/10/12
DIRECTOR	DATE

Date	No.	Revision Description

EMERSON PARCEL B & E-1
 L.E.E.D. BUILDING
 5-STORY COMMERCIAL OFFICE BUILDING
 OWNER/DEVELOPER:
 PARCEL 'B' - EMERSON DEVELOPMENT V, LLC
 172445 STATION COURT
 SUITE 200
 TAKOMA, MD 20905
 TAX MAP #7 GRID 20 PARCEL 1051
 DEED: 10/19/10
 TAX ACCT # 06-572553
 PLAT: 18665
 PARCEL 'E-1' - EMERSON DEVELOPMENT V, LLC
 172445 STATION COURT
 SUITE 200
 TAKOMA, MD 20905
 TAX MAP #7 GRID 20 PARCEL 1051
 DEED: 10/19/10
 TAX ACCT # 06-572227
 PLAT: 18665

DMW
 DAFT McCUNE WALKER INC.
 200 EAST PENNSYLVANIA AVENUE • JOHNSON, MD 21286
 P: 301.293.3333 F: 301.293.2705 WWW.DMW.COM
 A TEAM OF LAND PLANNERS, LANDSCAPE ARCHITECTS, ENGINEERS, SURVEYORS & ENVIRONMENTAL PROFESSIONALS

DATE: 11/2/11

PHASE I EROSION & SEDIMENT CONTROL PLAN - PARCEL 'B'

Des. By	LNL	Scale	1"=50'	Proj. No.	95054-6
Drn. By	GMO	Date	10-31-11		
Chk. By		Approved			

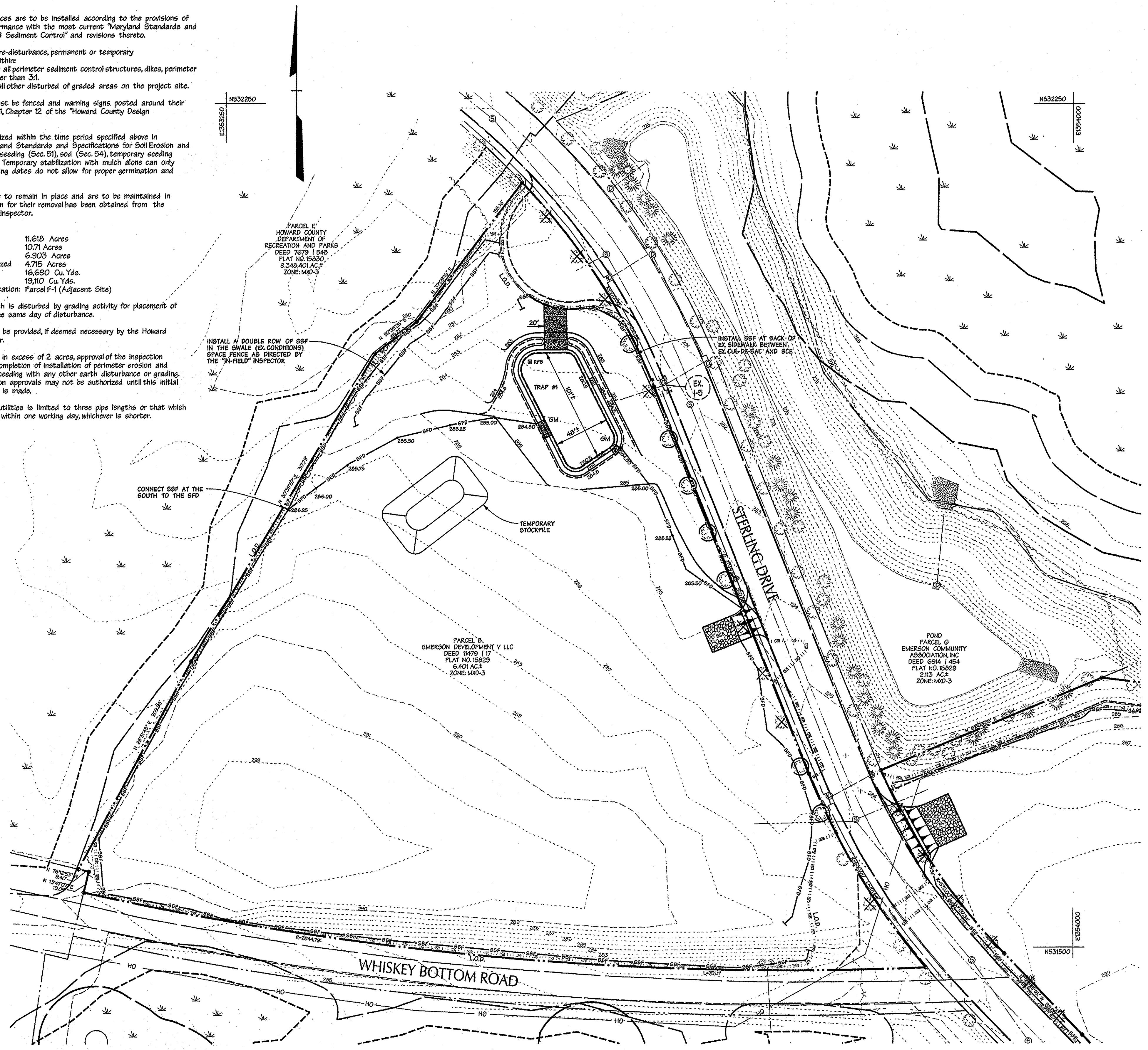
Professional Engr. No. 16518

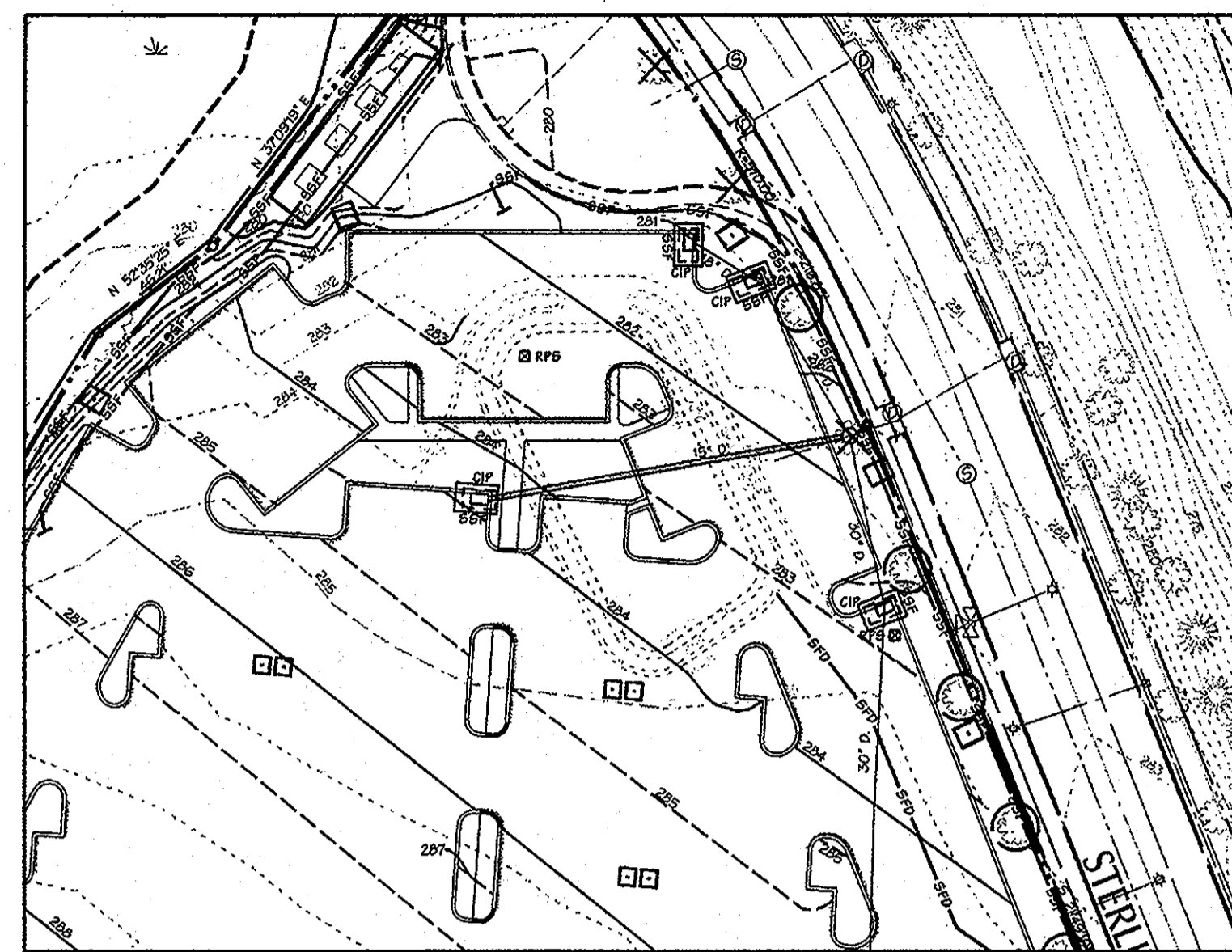
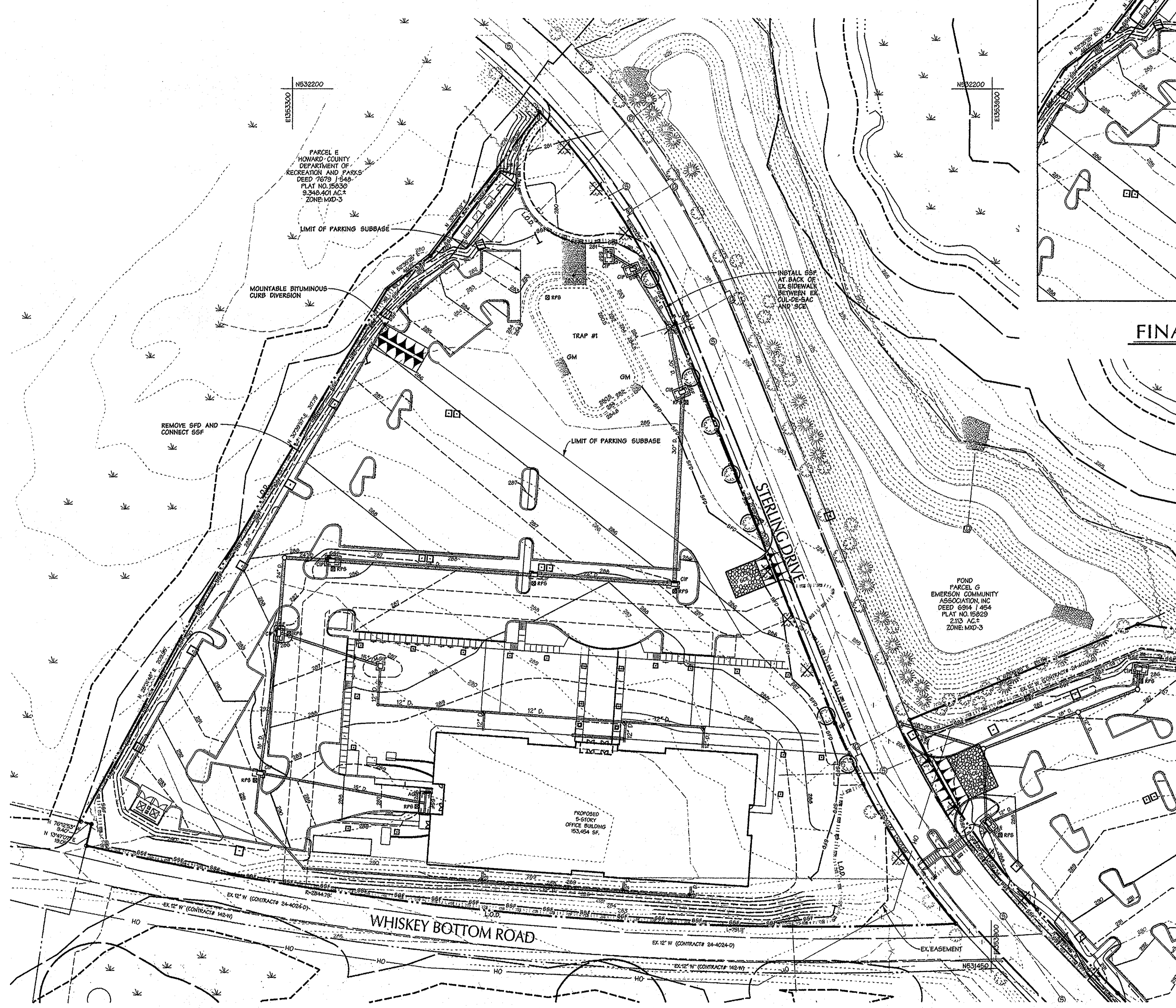
10 of 26

SDP-12-010

STANDARD SEDIMENT CONTROL NOTES

1. A minimum of 48 hours notice must be given to the Howard County Department of Inspections, and Permits, Sediment Control Division prior to the start of any construction (410-313-1855).
2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the most current Maryland Standards and Specifications for Soil Erosion and Sediment Control and revisions thereto.
3. Following initial soil disturbance or re-disturbance, permanent or temporary stabilization shall be completed within:
 - a. Seven (7) calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1.
 - b. Fourteen (14) days as to all other disturbed or graded areas on the project site.
4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12 of the "Howard County Design Manual", Storm Drainage.
5. All disturbed areas must be stabilized within the time period specified above in accordance with the "1934 Maryland Standards and Specifications for Soil Erosion and Sediment Control" for permanent seeding (Sec. 51), sod (Sec. 54), temporary seeding (Sec. 50), and mulching (Sec. 52). Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
7. Site Analysis:
 Total Area of Site 11.618 Acres
 Total Area Disturbed 10.71 Acres
 Area to be roofed or paved 6.903 Acres
 Area to be vegetatively stabilized 4.715 Acres
 Total Cut 16,690 Cu. Yds.
 Total Fill 19,110 Cu. Yds.
 Off-site waste/borrow area location: Parcel F-1 (Adjacent Site)
8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
9. Additional sediment controls must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
11. Trenching for the construction of utilities is limited to three pipe lengths or that which shall be back-filled and stabilized within one working day, whichever is shorter.





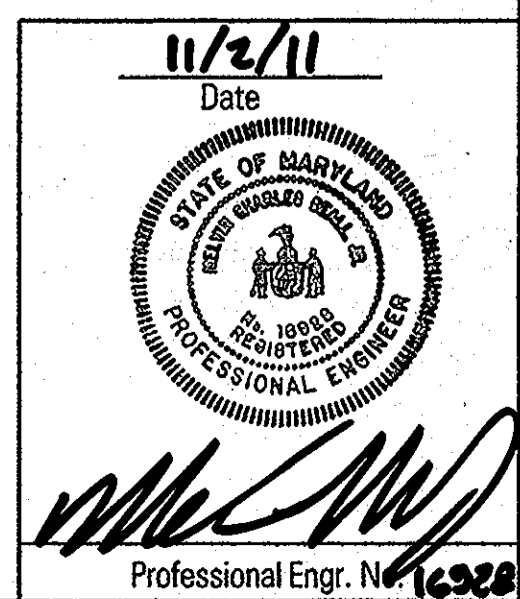
FINAL GRADING - TRAP 1

AS-BUILT NOT REQUIRED
 SURVEY SERVICES OF MD., LLC.
 BY: ROBERT MATIS - REG.# 605



AS-BUILT
 CERTIFICATION FOR POWN
 THERE IS NO "AS-BUILT" INFORMATION
 PROVIDED ON THIS SHEET.

Paul Hudson
 PAUL HUDSON 5-23-13
 PE#8061



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE
 PREPARED OR APPROVED BY ME, AND THAT I AM
 A DULY LICENSED PROFESSIONAL ENGINEER UNDER
 THE LAWS OF THE STATE OF MARYLAND,
 LICENSE NO. 16222, EXPIRATION DATE: 5-13-12

DEVELOPER'S CERTIFICATE
 "I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspections by the Howard Soil Conservation District."

James F. Knou, Jr.
 Signature of Developer 11/2/11
 James F. Knou, Jr.
 Print Name

ENGINEER'S CERTIFICATE
 "I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Melvin C. Beatty, Jr.
 Signature of Engineer 11/2/11
 Melvin C. Beatty, Jr.
 Print Name

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.
John A. Adams, III
 Howard Soil Conservation District 11/2/11
 Date

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING

<i>Victor Shearman</i>	4-10-12
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
<i>Chad Edwards</i>	4-2-12
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
<i>Mervin D. Gault</i>	4/10/11
DIRECTOR	DATE

Date	No.	Revision Description

EMERSON PARCEL B & E-1
 L.E.D. BUILDING
 5-STORY COMMERCIAL OFFICE BUILDING
 OWNER/DEVELOPER:
 PARCEL 'B' - EMERSON DEVELOPMENT V, LLC
 1 TEXAS STATION COURT
 SUITE 200
 TIMONIUM, MD 21083
 TAX MAP #7 GRID 9 PARCEL 1051
 EMERSON SECTION 3 AREA 1
 DEED: H47917
 TAX ACCT # 06-572553
 PLAT: 15629

PARCEL 'E-1' - EMERSON DEVELOPMENT I, LLC
 1 TEXAS STATION COURT
 SUITE 200
 TIMONIUM, MD 21083
 TAX MAP #7 GRID 20 PARCEL 165
 REVITZ PROPERTY
 DEED: H0101619
 TAX ACCT # 06-572227
 PLAT: 15685

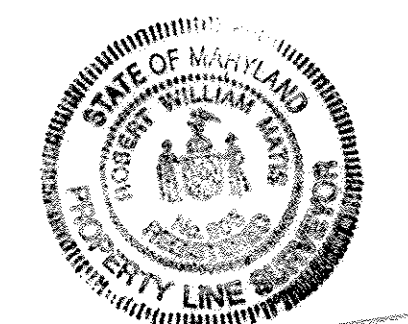
<p>DMW DAFT MCCUNE WALKER INC</p> <p>200 EAST PENNSYLVANIA AVENUE - TOWSON, MD 21286 P - 410-276-3333 F - 410-276-4700 WWW.DMW.COM</p> <p>A TEAM OF LAND PLANNERS, LANDSCAPE ARCHITECTS, ENGINEERS, SURVEYORS & ENVIRONMENTAL PROFESSIONALS</p>			
<p>BLANKET NAME REVITZ PROPERTY & EMERSON SECTION 3 AREA 1 MAP # 7 21277 & 21278</p>	<p>BLANKET # 20</p>	<p>BLANKET TYPE PEC</p>	<p>BLANKET CODE 47</p>
<p>BLANKET AREA 6</p>	<p>BLANKET DISTRICT 6</p>	<p>BLANKET TRACT 606903</p>	<p>BLANKET CODE 606903</p>

<p>PHASE II EROSION & SEDIMENT CONTROL PLAN - PARCEL 'B'</p>			
Des. By	LNL	Scale	1"=50'
Drn. By	GMO	Date	10-31-11
Chk. By	Approved	Proj. No.	95054.6
			11 of 26

LOD PARCEL 'B' = 265,786 S.F. OR 6.10 Ac. ±
 LOD PARCEL 'E-1' = 200,786 S.F. OR 4.61 Ac. ±
 TOTAL LOD = 466,572 S.F. OR 10.71 Ac. ±

- UTILITY CONSTRUCTION OUTSIDE SEDIMENT CONTROL PRACTICES
- EXCAVATED TRENCH MATERIAL SHALL BE PLACED ON UPSTREAM SIDE OF TRENCH.
 - IMMEDIATELY FOLLOWING PIPE INSTALLATION THE TRENCH SHALL BE BACKFILLED, COMPACTED AND IMMEDIATELY STABILIZED (PERMANENT SEED AND MULCH) AT THE END OF EACH WORK DAY.
 - SILT FENCE SHALL BE PLACED IMMEDIATELY DOWNSTREAM OF ANY DISTURBED AREA INTENDED TO REMAIN DISTURBED LONGER THAN ONE (1) WORKING DAY. (SILT FENCE AS PER SCS STANDARD DRAWING - E-45-3)
 - THE CONTRACTOR SHALL DISTURB AND OPEN TRENCH THE MINIMUM PRACTICAL AREA REQUIRED TO ACCOMPLISH THE WORK DESIGNATED FOR EACH DAY.
 - ALL SEDIMENT AND EROSION CONTROL PRACTICES AND VEGETATIVE STABILIZATION SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL IN DEVELOPING AREAS. ANY EROSION AND SEDIMENT CONTROL PRACTICES DAMAGED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.

AS-BUILT NOT REQUIRED
 SURVEY SERVICES OF MD., LLC.
 BY: ROBERT MATS - REG. #605



4-30-13

DEVELOPER'S CERTIFICATE

"I/we certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspections by the Howard Soil Conservation District."

James F. Knox, Jr. 11/2/11
 Signature of Developer Date
 Print Name

ENGINEER'S CERTIFICATE

"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Malcolm C. Beatty, Jr. 11/2/11
 Signature of Engineer Date
 Print Name

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.

John R. Robinson 11/2/11
 Signature of District Director Date
 Howard Soil Conservation District

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING

Chad Edwards 4-10-12
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE
Charles D. Wright 4-2-12
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
 DIRECTOR 4/10/12 DATE

9/22/14 Emerson Campus VCP
 Date No. Revision Description

EMERSON PARCEL B & E-1
 L.E.E.D. BUILDING
 5-STORY COMMERCIAL OFFICE BUILDING

OWNER/DEVELOPER:
 PARCEL 'B' - EMERSON DEVELOPMENT V, LLC SUITE 200
 1 TEXAS STATION COURT
 TIMONIAN, MD 21085
 TAX MAP #7 GRID 8 PARCEL 1051
 EMERSON SECTION 3 AREA 1
 DEED: 1472917
 TAX ACCT # 06-572553
 PLAT: 18629
 PARCEL 'E-1' - EMERSON DEVELOPMENT V, LLC SUITE 200
 1 TEXAS STATION COURT
 TIMONIAN, MD 21085
 TAX MAP #7 GRID 20 PARCEL 165
 REVITZ PROPERTY
 DEED: 1470169
 TAX ACCT # 06-572227
 PLAT: 18625

STONE OUTLET SEDIMENT TRAP (ST II)

EXISTING DA	TRAP #2
1.70 AC.	
PROPOSED DA (MAX)	1.80 AC.
STORAGE REQUIRED	6,480 CF
STORAGE PROVIDED	11,514 CF
WET STORAGE REQUIRED	3,240 CF
WET STORAGE PROVIDED	5,238 CF
WET STORAGE ELEVATION RANGE	282 TO 283.5
DRY STORAGE REQUIRED	3,240 CF
DRY STORAGE PROVIDED	6,276 CF
DRY STORAGE ELEVATION RANGE	283.5 TO 285
WEIR LENGTH	30'
BOTTOM DIMENSION	80' x 40'
TOP EMBANKMENT ELEVATION	285 (MIN)
TOP EMBANKMENT WIDTH	4 FT. (MIN)
CLEANOUT STORAGE REQUIRED	1,620 CF
CLEANOUT STORAGE PROVIDED	1,632 CF
CLEANOUT ELEVATION	282.50
SIDE SLOPES	2:1
BOTTOM ELEVATION	282
MIN. ELEVATION OF EXIST. GROUND	284.5



AS-BUILT
 CERTIFICATION FOR P2WM
 THERE IS NO "AS-BUILT" INFORMATION
 PROVIDED ON THIS SHEET.
Paul Hudson 5-28-13
 PAUL HUDSON PE #2001

UTILITY CONSTRUCTION OUTSIDE SEDIMENT CONTROL PRACTICES

1. EXCAVATED TRENCH MATERIAL SHALL BE PLACED ON UPSTREAM SIDE OF TRENCH.
2. IMMEDIATELY FOLLOWING PIPE INSTALLATION, THE TRENCH SHALL BE BACKFILLED, COMPACTED AND IMMEDIATELY STABILIZED (PERMANENT SEED AND MULCH) AT THE END OF EACH WORK DAY.
3. SILT FENCE SHALL BE PLACED IMMEDIATELY DOWNSTREAM OF ANY DISTURBED AREA INTENDED TO REMAIN DISTURBED LONGER THAN ONE (1) WORKING DAY. (SILT FENCE AS PER 608 STANDARD DRAWING - E-15-3)
4. THE CONTRACTOR SHALL DISTURB AND OPEN TRENCH THE MINIMUM PRACTICAL AREA REQUIRED TO ACCOMPLISH THE WORK DESIGNATED FOR EACH DAY.
5. ALL SEDIMENT AND EROSION CONTROL PRACTICES AND VEGETATIVE STABILIZATION SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL IN DEVELOPING AREAS, ANY EROSION AND SEDIMENT CONTROL PRACTICES DAMAGED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.

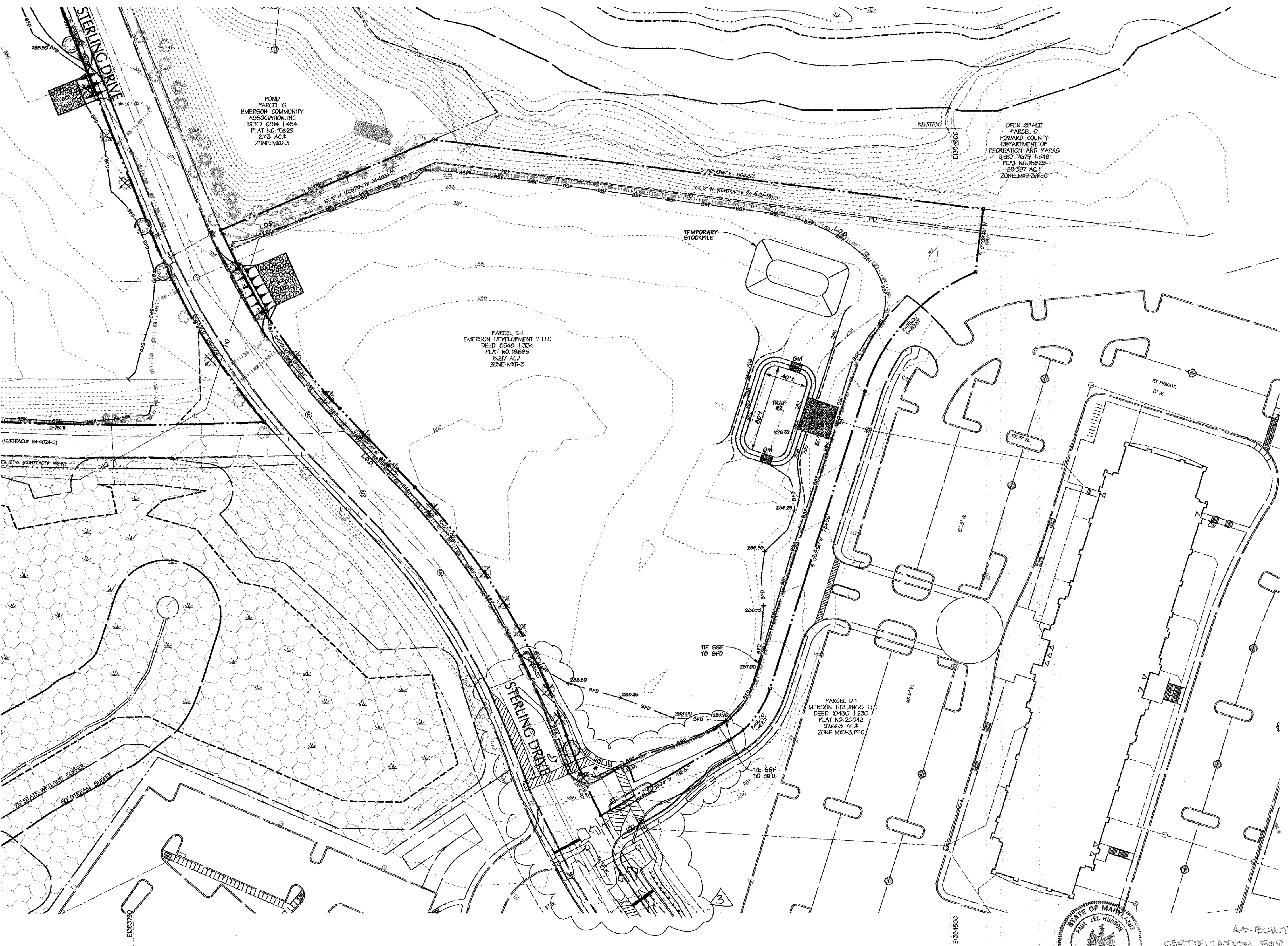
PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16228, EXPIRATION DATE: 5-13-13

11/2/11
 Date
Malcolm C. Beatty, Jr.
 Professional Engr. No. 16288

PHASE I
 EROSION & SEDIMENT
 CONTROL PLAN - PARCEL 'E-1'

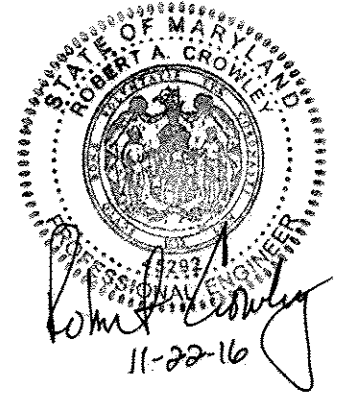
Des. By	LNL	Scale	1"=50'	Proj. No.	95054.6
Dwn. By	GMO	Date	10-31-11		
Chk. By	Approved				12 of 26



PROFESSIONAL CERTIFICATION FOR REV #3

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 45292, EXPIRATION DATE: 05/21/2018

THE PURPOSE OF REVISION #3 IS TO SHOW THE WORK ASSOCIATED WITH THE EMERSON CAMPUS VCP SDP-116-005



LOD PARCEL 'B' = 265,786 S.F. OR 6.10 Ac. ±
 LOD PARCEL 'E-1' = 200,786 S.F. OR 4.61 Ac. ±
 TOTAL LOD = 466,572 S.F. OR 10.71 Ac. ±

AS-BUILT NOT REQUIRED
SURVEY SERVICES OF MD., LLC.
BY: ROBERT MATIS - REG. #605



4/10/13

DEVELOPER'S CERTIFICATE

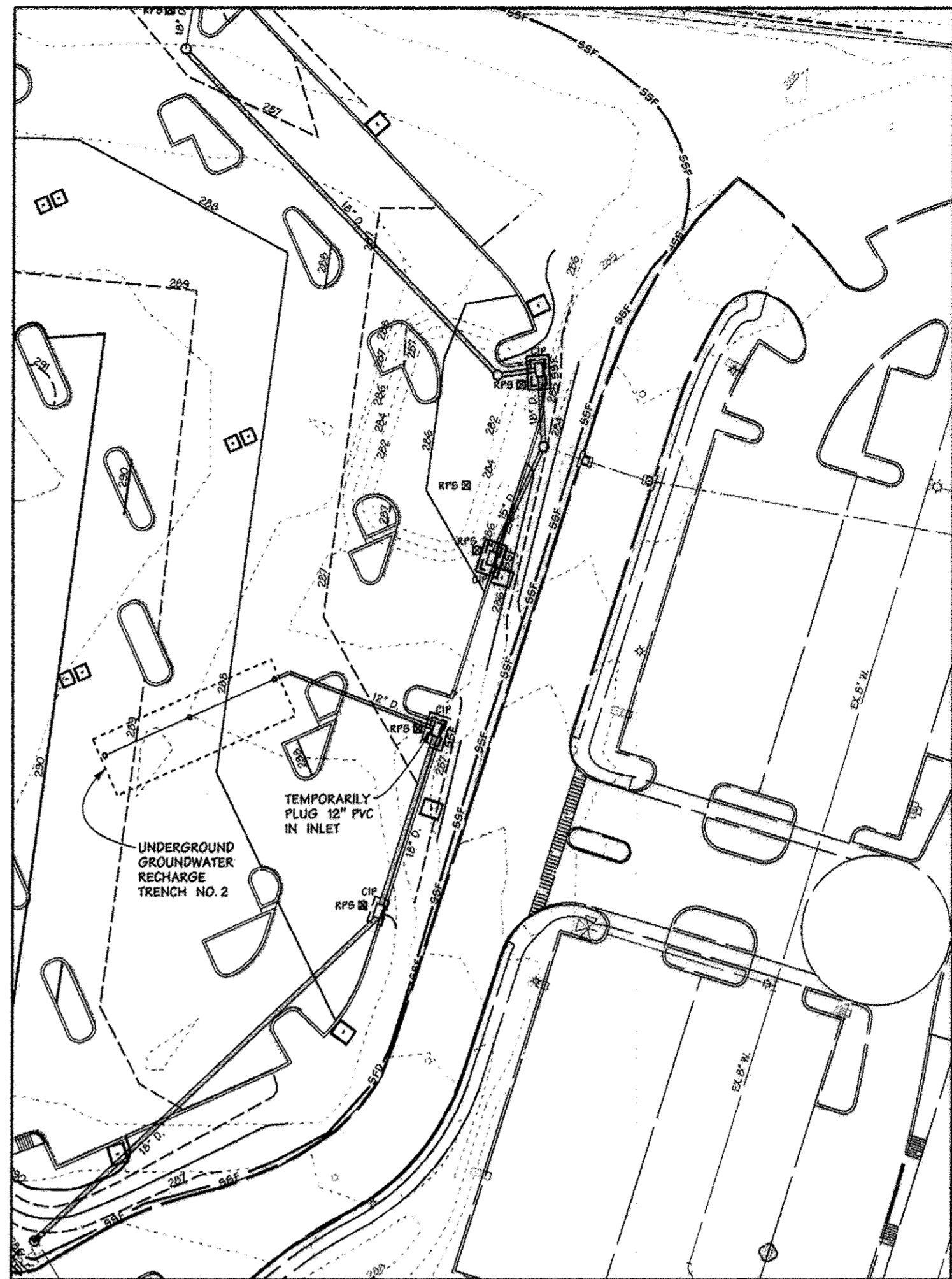
"I certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspections by the Howard Soil Conservation District."

James F. Knox, Jr. 11/2/11
Signature of Developer Date
James F. Knox, Jr.
Print Name

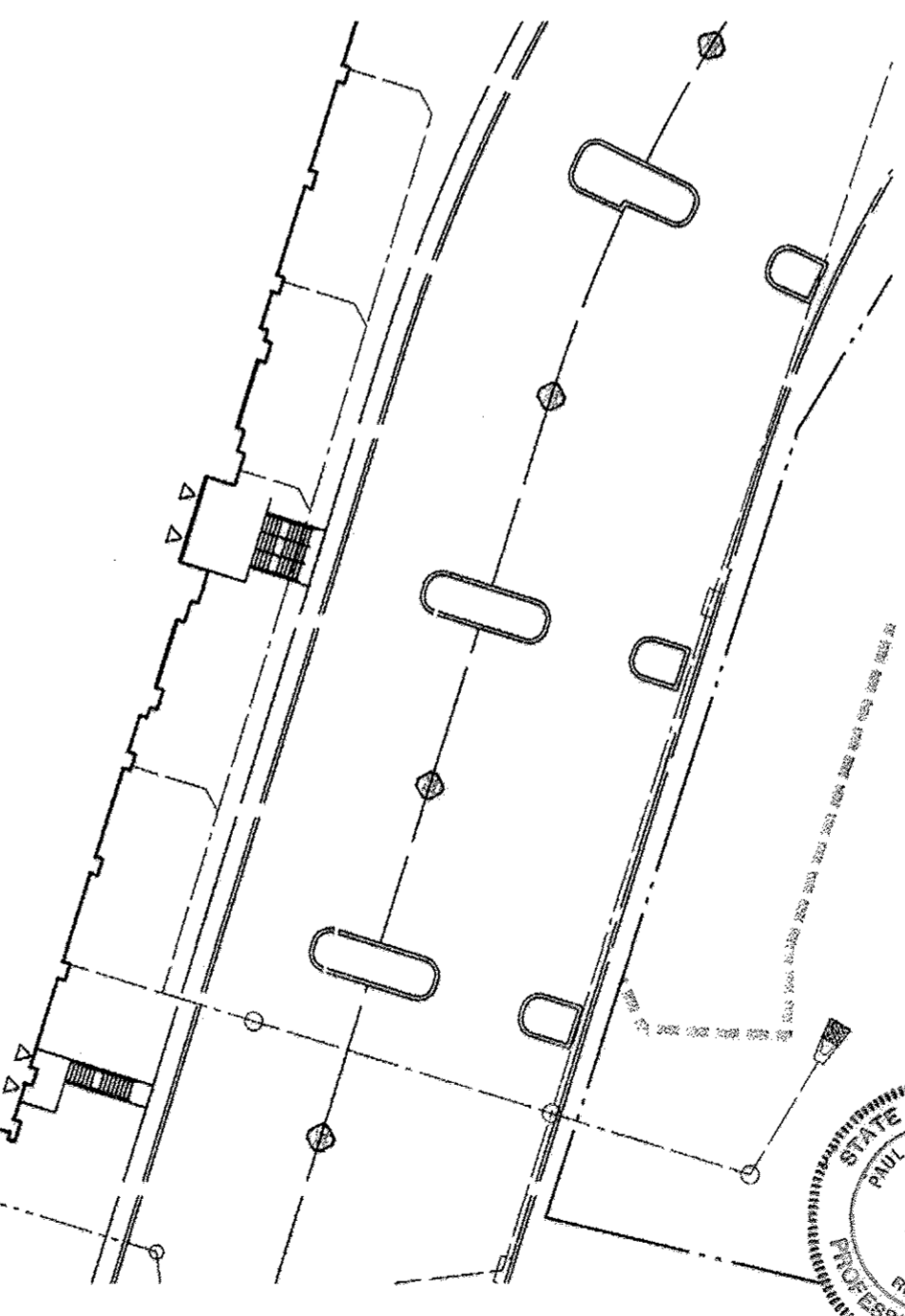
ENGINEER'S CERTIFICATE

"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Melvin C. Bealy, Jr. 11/2/11
Signature of Engineer Date
Melvin C. Bealy, Jr.
Print Name



FINAL GRADING - TRAP 2



AS-BUILT
CERTIFICATION FOR PSWM
THERE IS NO "AS-BUILT" INFORMATION
PROVIDED ON THIS SHEET.

Paul Hudson 5-25-13
PAUL HUDSON PE#8061

11/2/11
Date



PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 16928, EXPIRATION DATE: 5-31-12



Professional Engr. No. 16928

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.
John R. Robertson, III 11/16/11
Howard Soil Conservation District Date

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING	
<i>Vest Shumaker</i>	4-10-12
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
<i>Paul Edwards</i>	4-2-12
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
<i>Wanda H. Wight</i>	4/10/12
DIRECTOR	DATE

EMERSON CAMPUS VCP	
Date	Revision Description

EMERSON PARCEL B & E-1
L.E.E.D. BUILDING
5-STORY COMMERCIAL OFFICE BUILDING

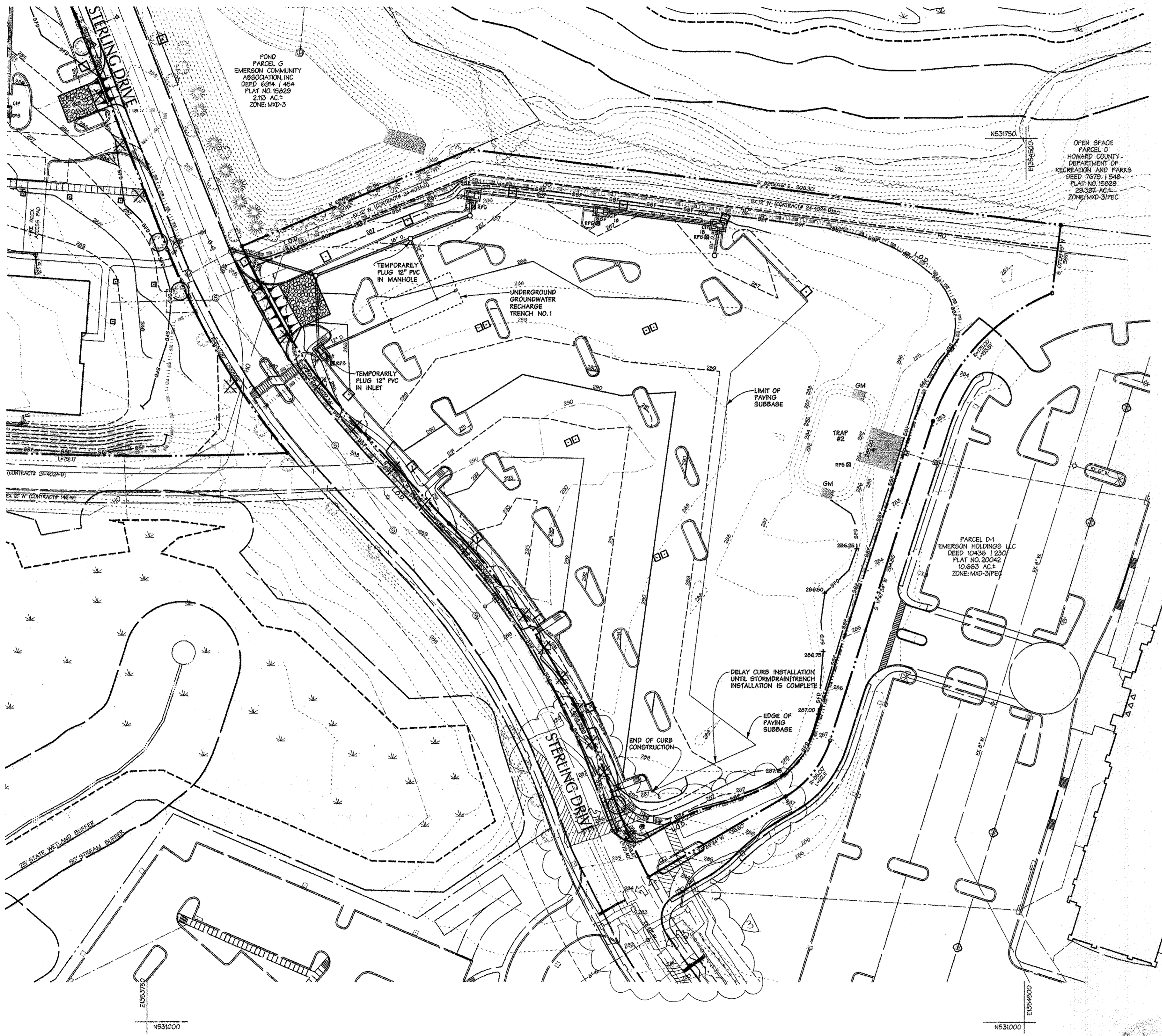
OWNER/DEVELOPER:
PARCEL 'B' - EMERSON DEVELOPMENT V, LLC
1 TEXAS STATION COURT
SUITE 200
TIMONUM, MD 21083
TAX MAP 47 GRID 8 PARCEL 1051
EMERSON SECTION 3 AREA 1
DEED: 1147917
TAX ACCT # 06-972253
PLAT: 189229
PARCEL 'E-1' - EMERSON DEVELOPMENT II, LLC
1 TEXAS STATION COURT
SUITE 200
TIMONUM, MD 21083
TAX MAP 47 GRID 20 PARCEL 165
REVIZ PROPERTY
DEED: 1101619
TAX ACCT # 06-972227
PLAT: 186295

DMW
DAFT MCCUNE WALKER INC
200 EAST PENNSYLVANIA AVENUE • TIMONUM, MD 21286
P. 410.296.3333 F. 410.296.4795 WWW.DMW.COM
A TEAM OF LAND PLANNERS, LANDSCAPE ARCHITECTS,
ENGINEERS, SURVEYORS & ENVIRONMENTAL PROFESSIONALS

SUBDIVISION NAME REVIZ PROPERTY & EMERSON 31	SECTION/AREA SECTION 3 AREA 1	LOT/TRACT # PARCEL B & E-1 / PAR. 165
PLAT # OR LOT 21277 & 21278	BLOCK # ZONE 20 PEC	SECTION TRACT 6
OWNER CODE	OWNER CODE	OWNER CODE 606903

PHASE II
EROSION & SEDIMENT
CONTROL PLAN - PARCEL 'E-1'

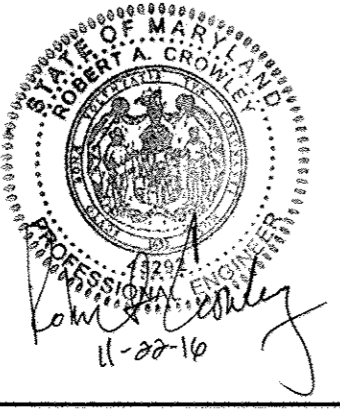
Des. By LNL	Scale 1"=50'	Proj. No. 95054.6
Drn. By GMO	Date 10-31-11	13 of 26
Chk. By	Approved	



LOD PARCEL 'B' = 265,786 S.F. OR 6.10 Ac.±
LOD PARCEL 'E-1' = 200,786 S.F. OR 4.61 Ac.±
TOTAL LOD = 466,572 S.F. OR 10.71 Ac.±

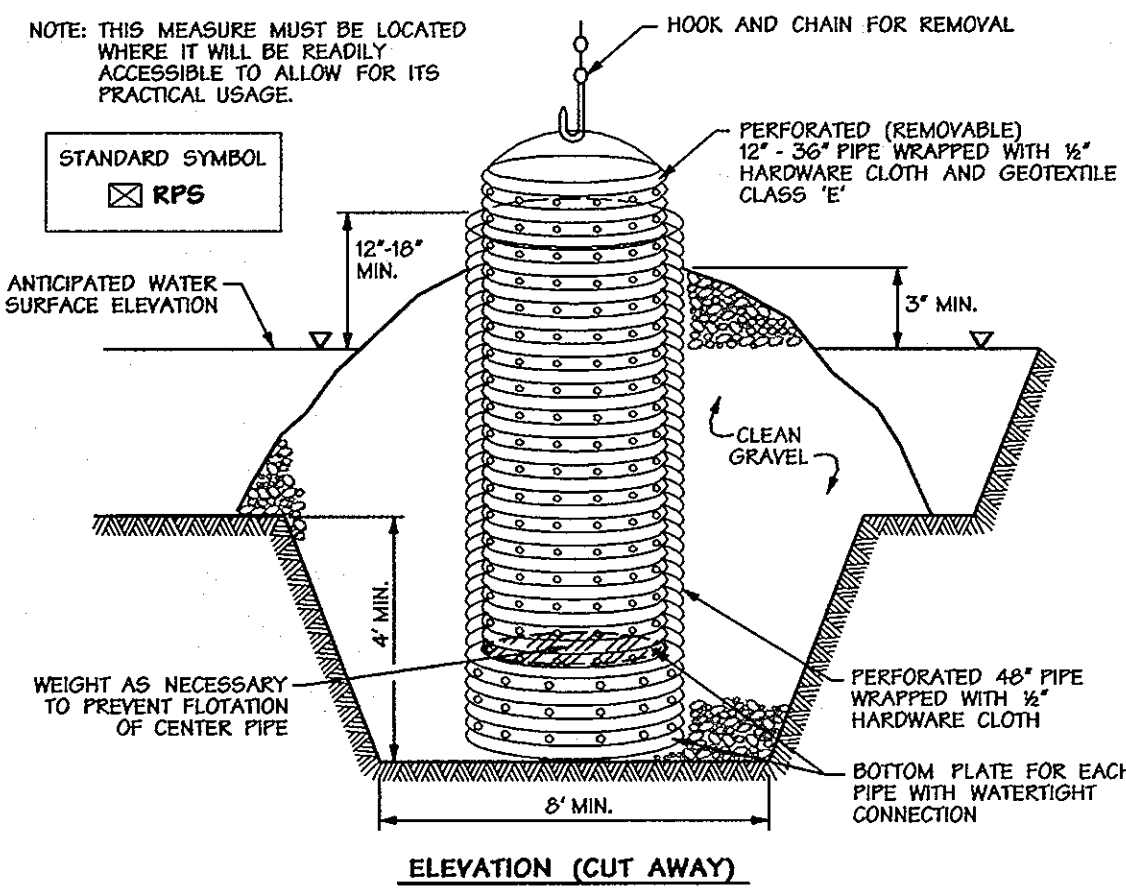
PROFESSIONAL CERTIFICATION FOR REV #3
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 45292
EXPIRATION DATE: 05/21/2018

THE PURPOSE OF REVISION #3 IS TO SHOW THE WORK ASSOCIATED WITH THE EMERSON CAMPUS VCP. SDP-16-005



11/2/2011 11:55:01 AM C:\Users\1986465071\p1

84-85054-01ENGR130P Sheets 13 of 26 SDP-12-010



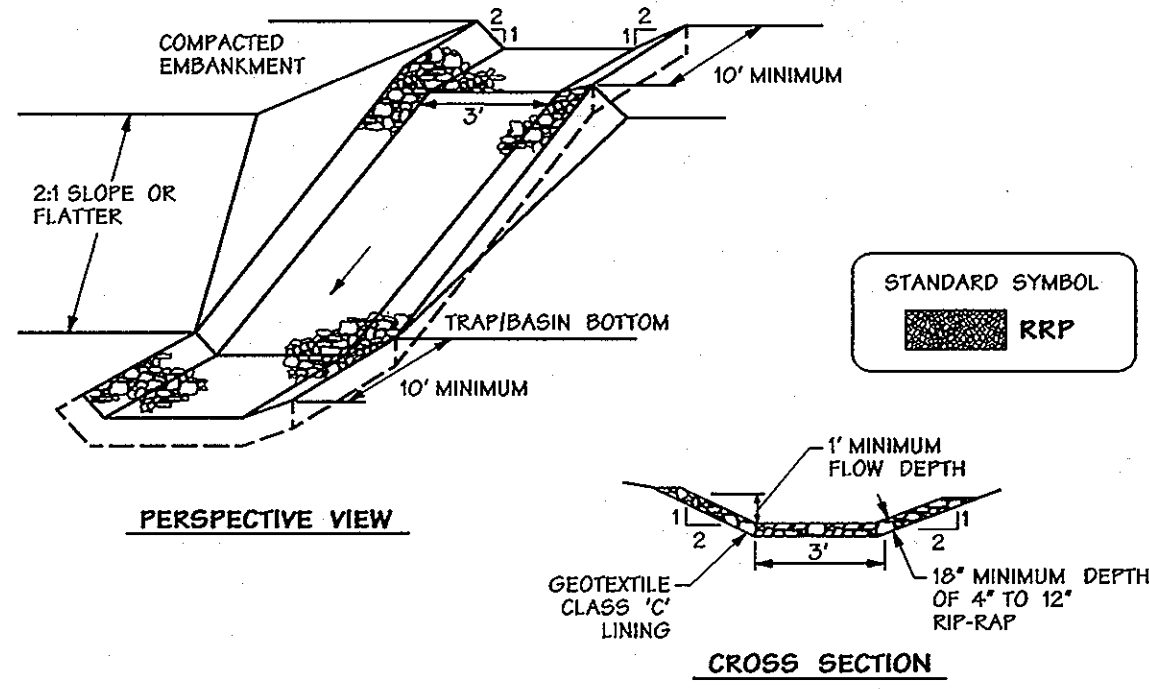
CONSTRUCTION SPECIFICATIONS

1. THE OUTER PIPE SHOULD BE 48\"/>

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

Removable Pumping Station

Not To Scale



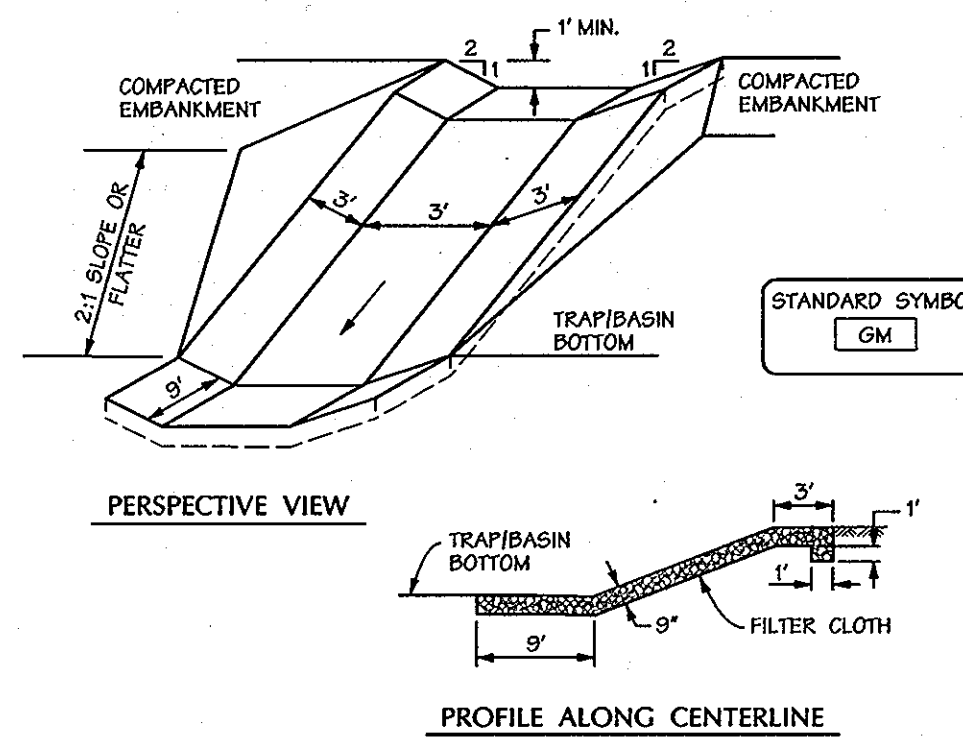
CONSTRUCTION SPECIFICATIONS

1. RIP-RAP LINED INFLOW CHANNELS SHALL BE 1\"/>

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

RipRap Inflow Protection

Not To Scale



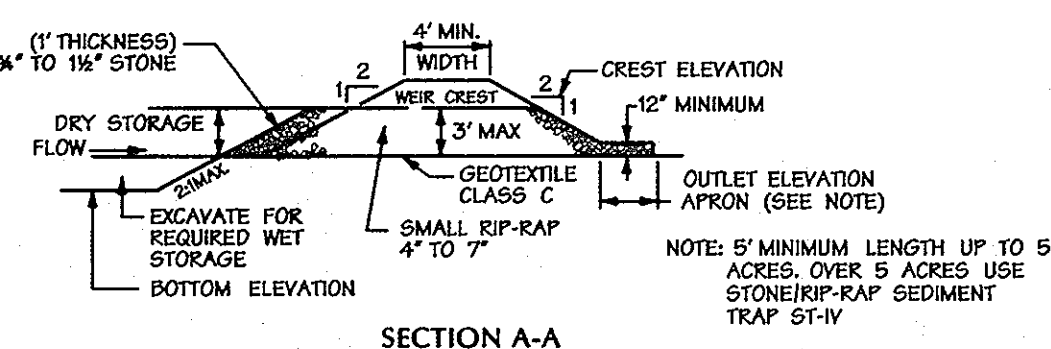
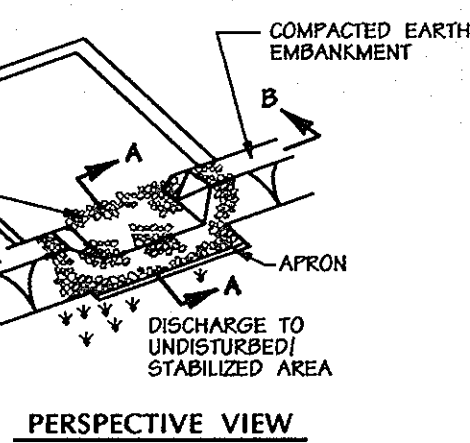
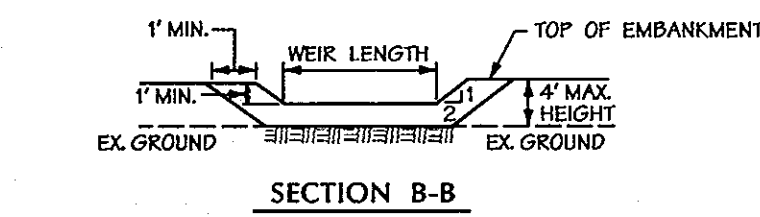
CONSTRUCTION SPECIFICATIONS

1. GABION INFLOW PROTECTION SHALL BE CONSTRUCTED OF 9\"/>

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

Gabion Inflow Protection

NOT TO SCALE



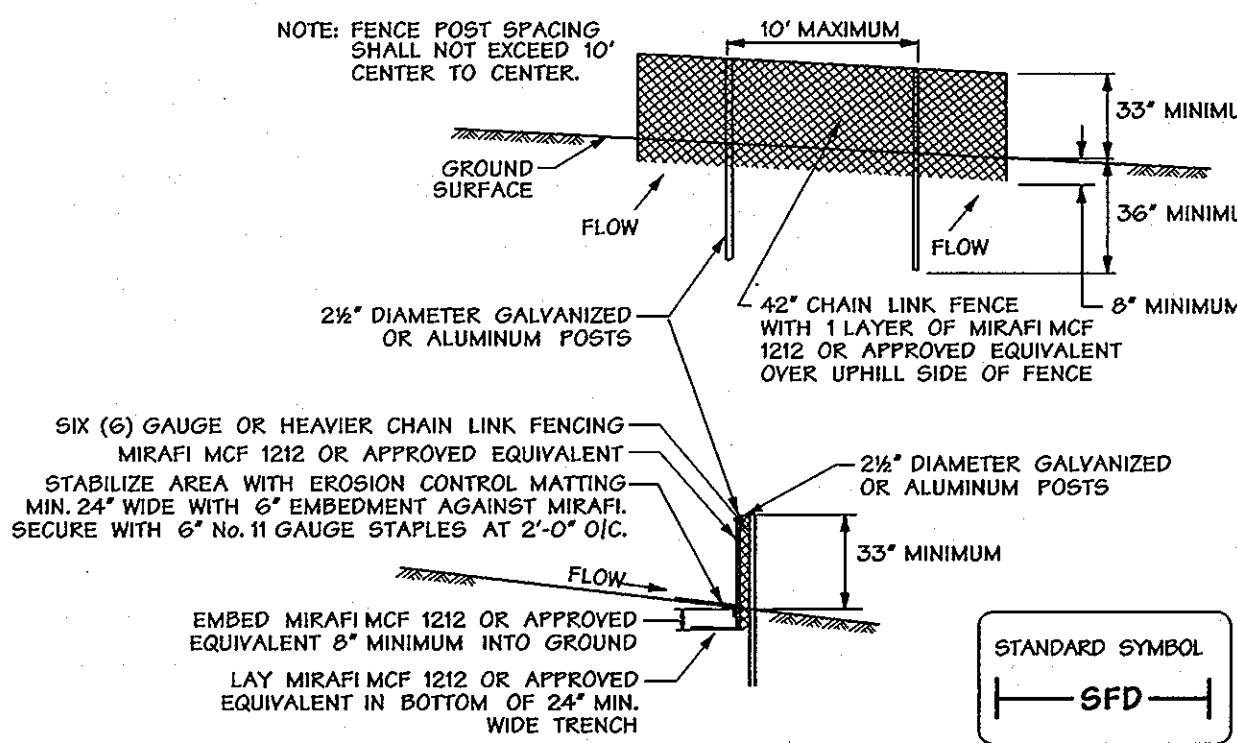
CONSTRUCTION SPECIFICATIONS

1. AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED AND STRIPPED OF ANY VEGETATION AND ROOT MAT. THE POOL AREA SHALL BE CLEARED.
2. THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS AND OTHER WOODY VEGETATION AS WELL AS OVER-SIZED STONES, ROCKS, ORGANIC MATERIAL OR OTHER OBJECTIONABLE MATERIAL. THE EMBANKMENT SHALL BE COMPACTED BY TRAVELING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED.
3. ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER.
4. THE STONE USED IN THE OUTLET SHALL BE SMALL RIP-RAP 4\"/>

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

Stone Outlet Sediment Trap - ST II

Not To Scale



CONSTRUCTION SPECIFICATIONS

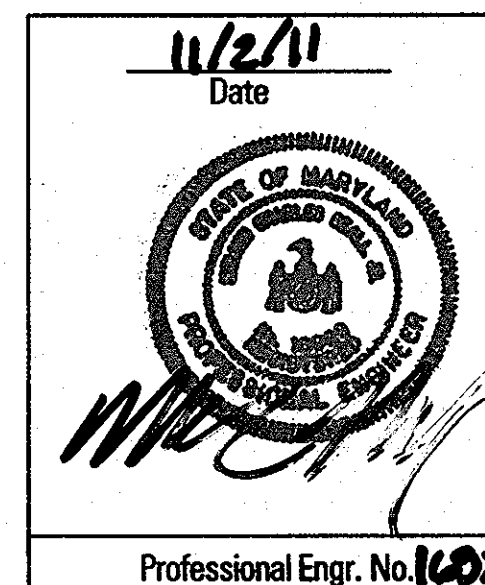
1. FENCING SHALL BE 42 INCHES IN HEIGHT AND CONSTRUCTED IN ACCORDANCE WITH THE LATEST MARYLAND STATE HIGHWAY (SHA) DETAILS FOR CHAIN LINK FENCING. THE SPECIFICATION FOR A 6\"/>



AS-BUILT CERTIFICATION FOR PSWM
THERE IS NO "AS-BUILT" INFORMATION PRESENT ON THIS SHEET.

Paul Hudson 5-28-13
Paul Hudson PE# BOG1

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 16928 EXPIRATION DATE: 5-13-17



Professional Engr. No. 16928

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.

John A. Robinson, Jr. Director
Howard Soil Conservation District

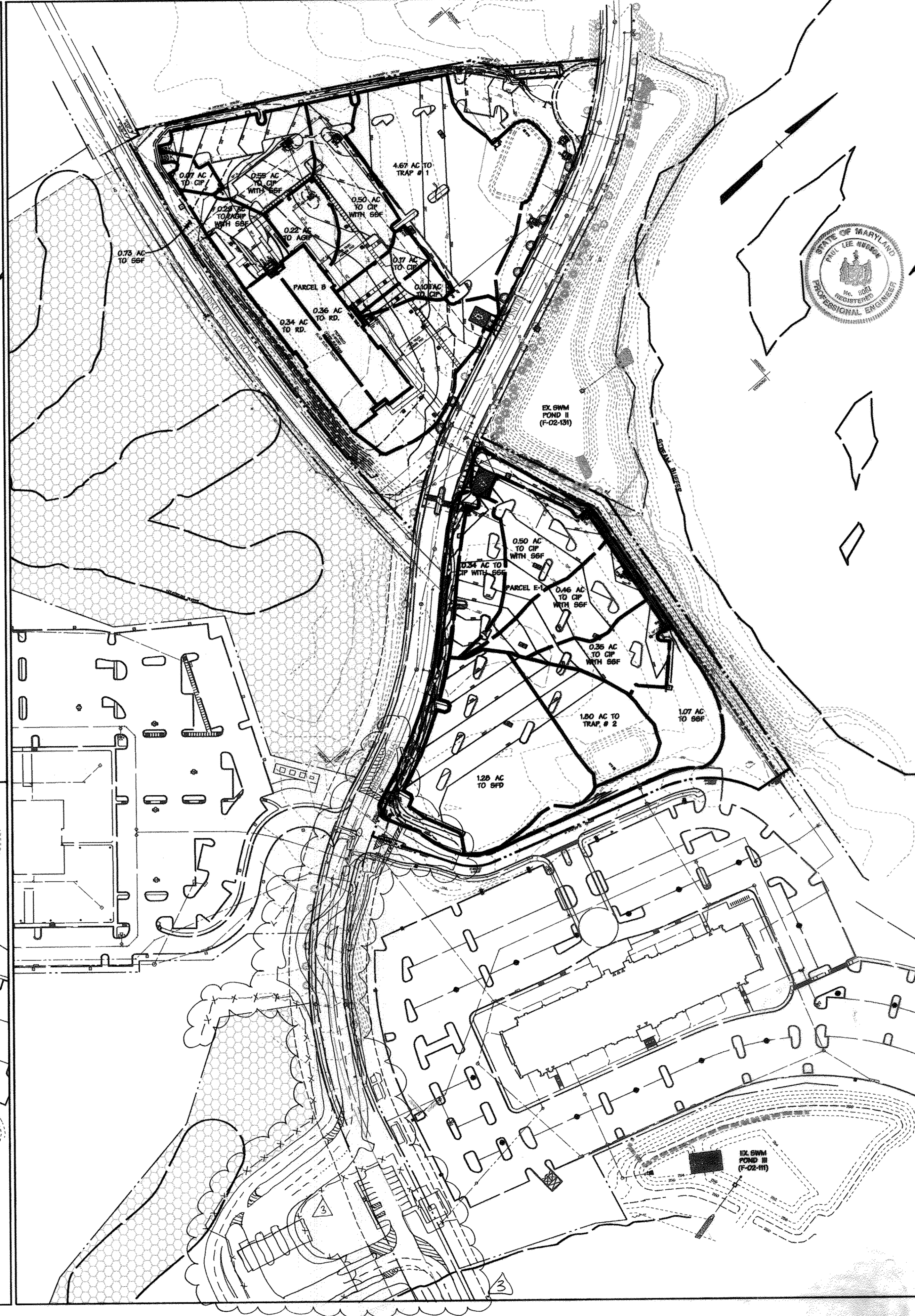
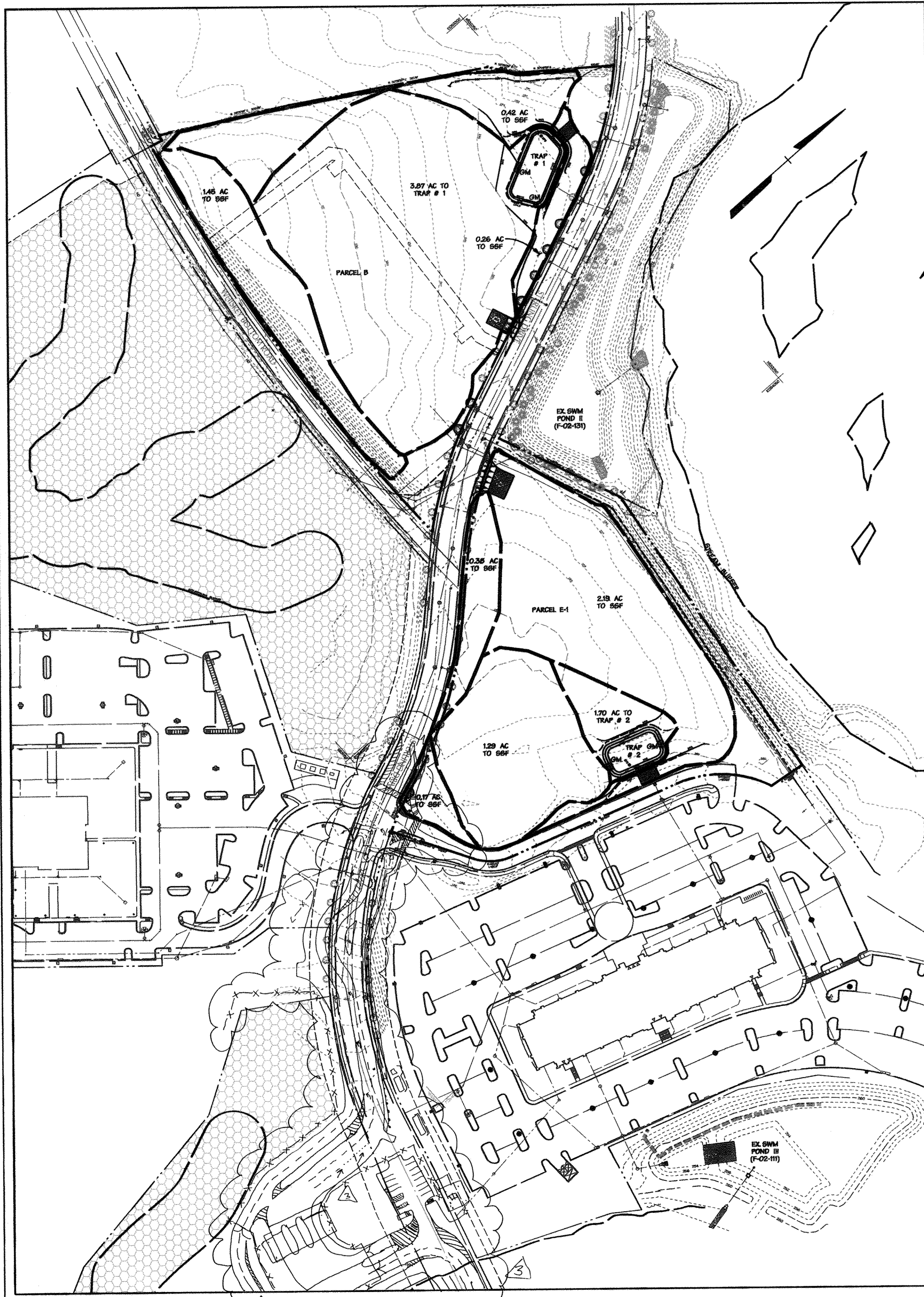
APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING	4-10-12
KEIT SHELDON, CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION	4-2-12
DATE	4/10/12
DIRECTOR	DATE

Date	No.	Revision Description
EMERSON PARCEL B & E-1		
L.E.E.D. BUILDING		
5-STORY COMMERCIAL OFFICE BUILDING		
OWNER/DEVELOPER:		
PARCEL 'B' - EMERSON DEVELOPMENT V, LLC 1 TEXAS STATION COURT SUITE 200 TIMONUM, MD 21085 TAX MAP 47 GRID 8 PARCEL 1051 EMERSON SECTION 3 AREA 1 DEED: M97917 TAX ACCT # 06-572553 PLAT: 16263	PARCEL 'E-1' - EMERSON DEVELOPMENT II, LLC 1 TEXAS STATION COURT SUITE 200 TIMONUM, MD 21085 TAX MAP 47 GRID 20 PARCEL 165 RENTZ PROPERTY DEED: M97917 TAX ACCT # 06-572221 PLAT: 16265	

DMW

SUBDIVISION NAME: RENTZ PROPERTY & EMERSON SECTION 3 AREA 1	SECTION/AREA: SECTION 3 AREA 1	LOT/PARCEL #: PARCEL B & E-1 PAR. 165
PLAT OR LOT: 2127 & 2128	BOOK # DEED: 20	BLK # DEED: 47
DATE: 2/27/12	DATE: 10/31/11	DATE: 10/31/11
WATER CODE: 606903	SEWER CODE: 606903	SEWER CODE: 606903

EROSION & SEDIMENT CONTROL DETAILS			
Des. By: LNL	Scale: AS NOTED	Proj. No.: 95054.6	
Dim. By: GMO	Date: 10-31-11		
Professional Engr. No. 16928	Chk. By: Approved		15 of 26



EXISTING DRAINAGE AREA MAP
SCALE: 1"=100'

PROPOSED DRAINAGE AREA MAP
SCALE: 1"=100'

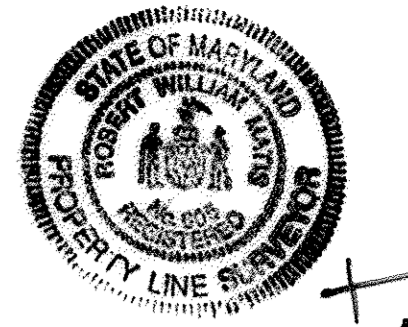
PROFESSIONAL CERTIFICATION FOR REV #3
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 46292
EXPIRATION DATE: 06/21/2018

THE PURPOSE OF REVISION #3 IS TO SHOW THE WORK ASSOCIATED WITH THE EMERSON CAMPUS VCP.
SDP-10-005



LOD PARCEL 'B' = 265,786 S.F. OR 6.10 Ac.±
LOD PARCEL 'E-1' = 200,786 S.F. OR 4.61 Ac.±
TOTAL LOD = 466,572 S.F. OR 10.71 Ac.±

ADULT NOT REQUIRED
SURVEY SERVICES OF MD., LLC.
BY: ROBERT MATIS - REG. #605



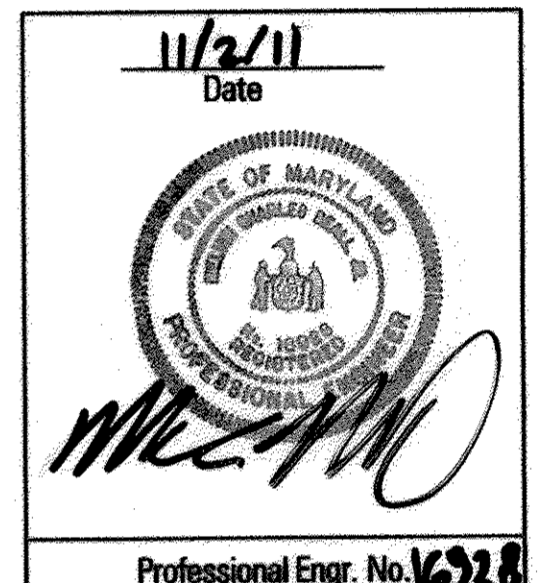
AG-BUILT
CERTIFICATION FOR P2WM
THERE IS NO AG-BUILT INFORMATION PROVIDED ON THIS SHEET
Paul Matis 5-29-12
PAUL MATHIAS PE# 605

UTILITY CONSTRUCTION OUTSIDE SEDIMENT CONTROL PRACTICES

- EXCAVATED TRENCH MATERIAL SHALL BE PLACED ON UPSTREAM SIDE OF TRENCH.
- IMMEDIATELY FOLLOWING PIPE INSTALLATION, THE TRENCH SHALL BE BACKFILLED, COMPACTED AND IMMEDIATELY STABILIZED (PERMANENT SEED AND MULCH) AT THE END OF EACH WORK DAY.
- SILT FENCE SHALL BE PLACED IMMEDIATELY DOWNSTREAM OF ANY DISTURBED AREA INTENDED TO REMAIN DISTURBED LONGER THAN ONE (1) WORKING DAY. (SILT FENCE AS PER SCS STANDARD DRAWING - 1-10-3)
- THE CONTRACTOR SHALL DISTURB AND OPEN TRENCH THE MINIMUM PRACTICAL AREA REQUIRED TO ACCOMPLISH THE WORK DESIGNATED FOR EACH DAY.
- ALL SEDIMENT AND EROSION CONTROL PRACTICES AND VEGETATIVE STABILIZATION SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL IN DEVELOPING AREAS. ANY EROSION AND SEDIMENT CONTROL PRACTICES DAMAGED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. _____, EXPIRATION DATE: _____



This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.

Howard Soil Conservation District Date: 11/2/11

APPROVED: HOWARD COUNTY DEPT. OF PUBLIC WORKS

CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING

CHIEF, DIVISION OF LAND DEVELOPMENT DATE: 4-10-12

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: 4-7-12

DIRECTOR DATE: 4/6/12

EMERSON CAMPUS VCP
Date No. Revision Description

EMERSON PARCEL B & E-1
L.E.D. BUILDING

5-STORY COMMERCIAL OFFICE BUILDING

OWNER/DEVELOPER:

PARCEL 'B' - EMERSON DEVELOPMENT V, LLC
1 TEXAS STATION COURT
SUITE 200
TIMONUM, MD 21085
TAX MAP #7 GRID - PARCEL 1028
EMERSON SECTION 3 AREA 1
DEED: M479417
TAX ACCT # 06-572253
PLAT: 152829

PARCEL 'E-1' - EMERSON DEVELOPMENT II, LLC
1 TEXAS STATION COURT
SUITE 200
TIMONUM, MD 21085
TAX MAP #7 GRID - PARCEL 1028
RENTZ PROPERTY
DEED: M479419
TAX ACCT # 06-572221
PLAT: 152829



SUBDIVISION NAME: REWITZ PROPERTY & EMERSON 30
BLOCK: 21277 & 21278
LOT: 20
FEES: 47
DISTRICT: 6
SECTION/AREA: SECTION 3 AREA 1
PARCEL: PARCEL B & E-1 PAR. 105
SINGLE TRACT: 606903

TITLE: **EROSION & SEDIMENT CONTROL DRAINAGE AREA MAP & DETAILS - B & E-1**

Des. By: LNL Scale: 1"=100' Proj. No.: 95054.6
Dm. By: GMD Date: 10-31-11
Chk. By: Approved

16 of 26

SDP-12-010

LEGEND

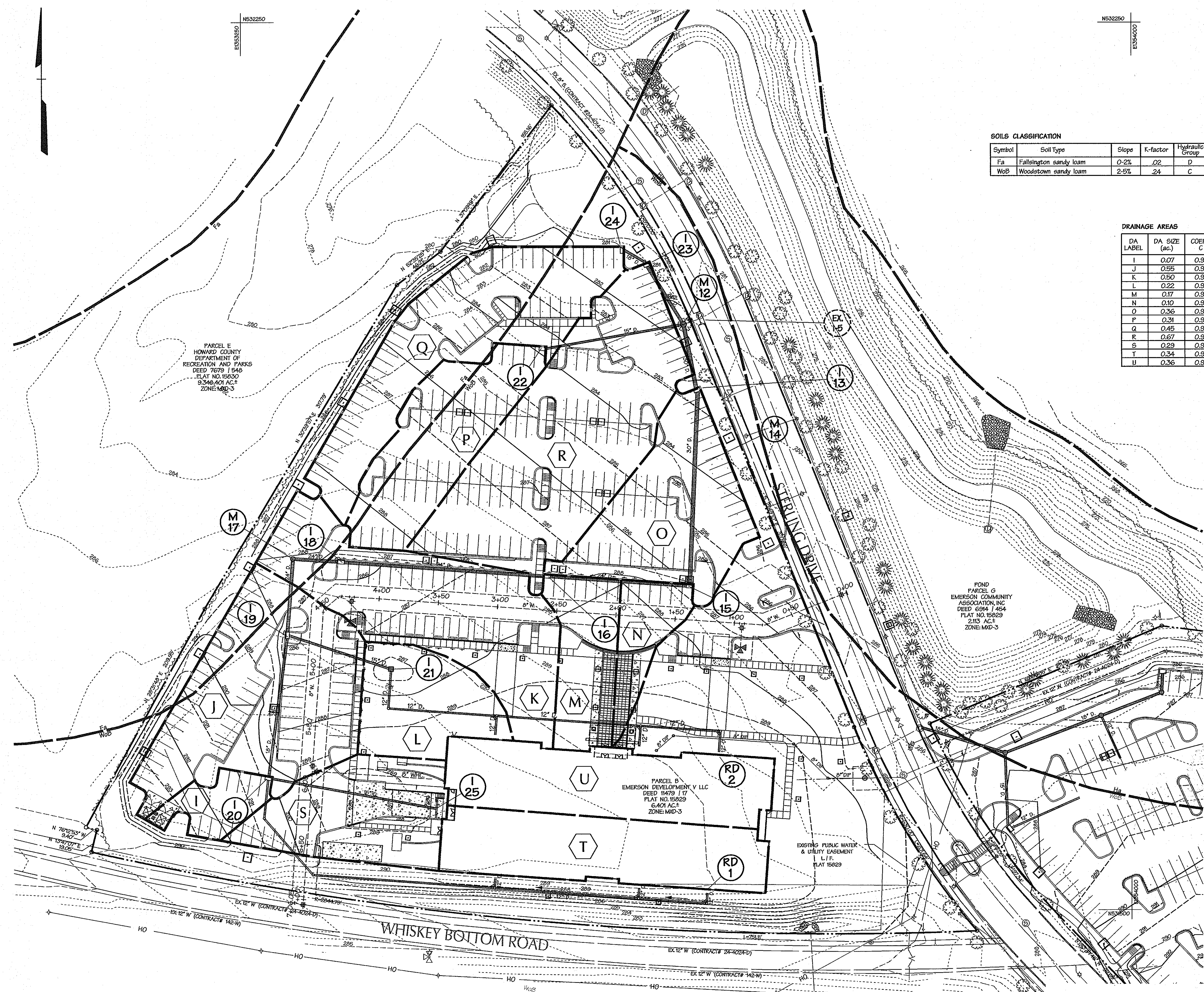
- PROPERTY BOUNDARY
- EX. RIGHT OF WAY
- ADJACENT PROPERTY BOUNDARY
- EX. EASEMENT
- EX. ROADS AND WALKS
- 250 --- EX. MAJOR CONTOUR
- 250 --- EX. MINOR CONTOUR
- FCE --- FOREST CONSERVATION EASEMENT
- ⊙ EX. STREET TREE
- ⊗ EX. STREET TREE TO BE REMOVED
- ⊕ EX. STREET LIGHT
- ⊖ EX. STORMDRAIN
- ⊙ EX. SANITARY SEWER
- ⊗ EX. WATER
- ⊕ OH --- EX. OVERHEAD ELECTRIC
- PROP. BUILDING
- PROP. CURB / EDGE OF PAVING
- PROP. DEPRESSED CURB
- PROP. REVERSE CURB
- ⊕ PROP. GROUP LIGHT (BY OTHERS)
- ⊙ PROP. SINGLE LIGHT (BY OTHERS)
- ⊕ PROP. LIGHT (BY OTHERS)
- 24" D. --- LIMIT OF DISTURBANCE
- 8" PVC --- PROP. STORMDRAIN
- 8" W. --- PROP. SANITARY SEWER
- 8" W. --- PROP. WATER
- PROP. DRAINAGE DIVIDES
- SOIL LIMITS
- A --- DRAINAGE AREA LABEL

SOILS CLASSIFICATION

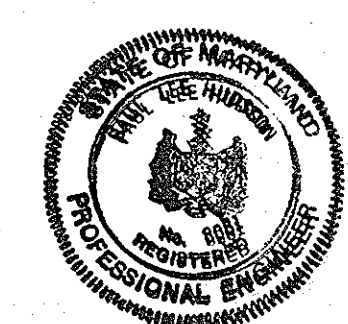
Symbol	Soil Type	Slope	K-factor	Hydraulic Group	Comments
Fa	Fallsington sandy loam	0-2%	.02	D	Hydric
WoB	Woodstown sandy loam	2-5%	.24	C	Hydric

DRAINAGE AREAS

DA LABEL	DA SIZE (ac.)	COEFF. C	IMP. (%)
I	0.07	0.91	95%
J	0.55	0.91	95%
K	0.50	0.91	95%
L	0.22	0.91	95%
M	0.17	0.91	95%
N	0.10	0.91	95%
O	0.36	0.91	95%
P	0.31	0.91	95%
Q	0.45	0.91	95%
R	0.67	0.91	95%
S	0.29	0.91	95%
T	0.34	0.91	95%
U	0.36	0.91	95%



AS-BUILT CERTIFICATION FOR PSWM
 THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.
 Paul Hudson 5-23-13
 PAUL HUDSON PE#8061



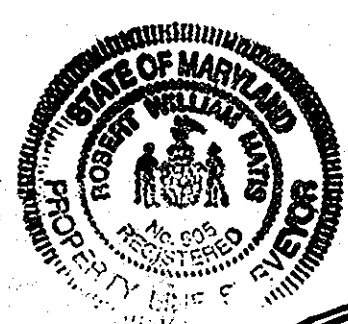
AS-BUILT NOT REQUIRED
 SURVEY SERVICES OF MD, LLC
 BY: ROBERT MATS-REG#605

APPROVED:	HOWARD COUNTY DEPT. OF PLANNING AND ZONING
<i>Robert Mats</i>	CHIEF, DIVISION OF LAND DEVELOPMENT
<i>Paul Hudson</i>	CHIEF, DEVELOPMENT ENGINEERING DIVISION
<i>David A. Wyle</i>	DIRECTOR

Date	No.	Revision Description

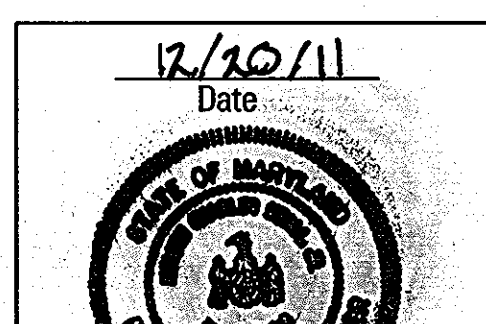
EMERSON PARCEL B & E-1
 L.E.E.D. BUILDING
 5-STORY COMMERCIAL OFFICE BUILDING
 OWNER/DEVELOPER:
 PARCEL 'B' - EMERSON DEVELOPMENT V, LLC
 1 TEXAS STATION COURT
 SUITE 202
 TIMONIA, MD 21083
 TAX MAP 47 GRID 3 PARCEL 1051
 EMERSON SECTION 3 AREA 1
 DEED: H47917
 TAX ACCT # 06-572553
 PLAT: 15829

PARCEL 'E-1' - EMERSON DEVELOPMENT II, LLC
 1 TEXAS STATION COURT
 SUITE 202
 TIMONIA, MD 21083
 TAX MAP 47 GRID 20 PARCEL 165
 RENTZ PROPERTY
 DEED: H01619
 TAX ACCT # 06-572221
 PLAT: 16695



DMW
 DAFT M'CUNE WALKER INC

200 EAST PENNSYLVANIA AVENUE • TOWSON, MD 21286
 P: 410.296.6550 F: 410.296.4795 WWW.DMW.COM
 A TEAM OF LAND PLANNERS, LANDSCAPE ARCHITECTS, ENGINEERS, SURVEYORS & ENVIRONMENTAL PROFESSIONALS



SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL #
RENTZ PROPERTY & EMERSON SECTION 3 AREA 1	SECTION 3 AREA 1	PARCEL B & E-1
GROUP OR LOT	BLOCK #	LOT/SECTION
15829 & 16695	20	47
WATER CODE	SEWER CODE	GENSIS TRACT
		606903

TITLE
 STORM DRAIN DRAINAGE AREA & SOILS MAP - 'B'

Des. By	JBS	Scale	1"=40'	Proj. No.	95054.6
Drn. By	JSS	Date	12-13-11		
Chk. By	MCB/JDF	Approved			17 of 26

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 16228 EXPIRATION DATE: 5/13/12

Professional Engr. No. 16228

LEGEND

- PROPERTY BOUNDARY
- EX. RIGHT OF WAY
- ADJACENT PROPERTY BOUNDARY
- EX. EASEMENT
- EX. ROADS AND WALKS
- 280 EX. MAJOR CONTOUR
- EX. MINOR CONTOUR
- FOREST CONSERVATION EASEMENT
- EX. STREET TREE
- EX. STREET TREE TO BE REMOVED
- EX. STREET LIGHT
- EX. STORMDRAIN
- EX. SANITARY SEWER
- EX. WATER
- OH --- EX. OVERHEAD ELECTRIC
- PROP. BUILDING
- PROP. CURB / EDGE OF PAVING
- PROP. DEPRESSED CURB
- PROP. REVERSE CURB
- PROP. GROUP LIGHT (BY OTHERS)
- PROP. SINGLE LIGHT (BY OTHERS)
- PROP. LIGHT (BY OTHERS)
- LIMIT OF DISTURBANCE
- PROP. STORMDRAIN
- PROP. SANITARY SEWER
- PROP. WATER
- PROP. DRAINAGE DIVIDES
- SOIL LIMITS
- DRAINAGE AREA LABEL

SOILS CLASSIFICATION

Symbol	Soil Type	Slope	K-factor	Hydraulic Group	Comments
Ha	Harboro-Cadonus Silty Loam	0-3%	.37	D	Hydric
WaB	Woodstown sandy loam	2-5%	.24	C	Hydric
SaC	Gaessathas loam	5-10%	.24	B	

DRAINAGE AREAS

DA LABEL	DA SIZE (ac)	COEFF. C	IMP. (%)
A	0.24	0.91	95%
B	0.52	0.91	95%
C	0.42	0.91	95%
D	0.60	0.91	95%
E	0.35	0.91	95%
F	0.46	0.91	95%
G	0.50	0.91	95%
H	0.34	0.91	95%

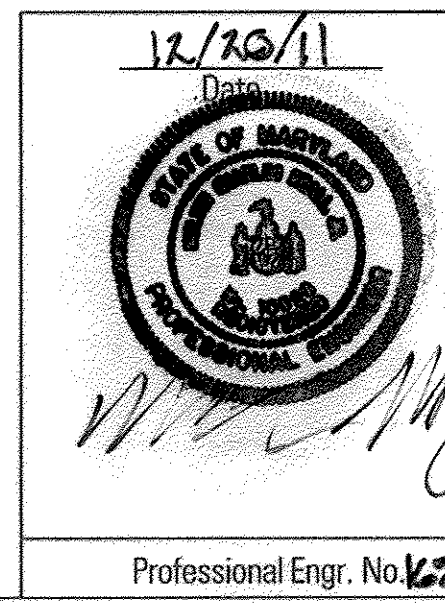
AS-BUILT NOT REQUIRED
 SURVEY SERVICES OF MD., LLC.
 BY: ROBERT MATIAS-REG #605

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING
Robert Matias 4-10-12
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE
Paul Hudson 4-12-12
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
David L. Taylor 4/10/12
 DIRECTOR DATE

1/12/11	3	EMERSON CAMPUS VCP
Date	No.	Revision Description

EMERSON PARCEL B & E-1
 L.E.D. BUILDING
 5-STORY COMMERCIAL OFFICE BUILDING

OWNER/DEVELOPER:
 PARCEL B - EMERSON DEVELOPMENT V, LLC
 1 TEXAS STATION COURT
 SUITE 200
 TIMONUM, MD 21083
 TAX MAP 47 GRD B PARCEL 1051
 EMERSON SECTION 3 AREA 1
 DEED: 11/01/09
 TAX ACCT # 06-972953
 PLAT: 15693
 PARCEL E-1 - EMERSON DEVELOPMENT V, LLC
 1 TEXAS STATION COURT
 SUITE 200
 TIMONUM, MD 21083
 TAX MAP 47 GRD 20 PARCEL 165
 REZITZ PROPERTY
 DEED: 11/01/09
 TAX ACCT # 06-972227
 PLAT: 15693

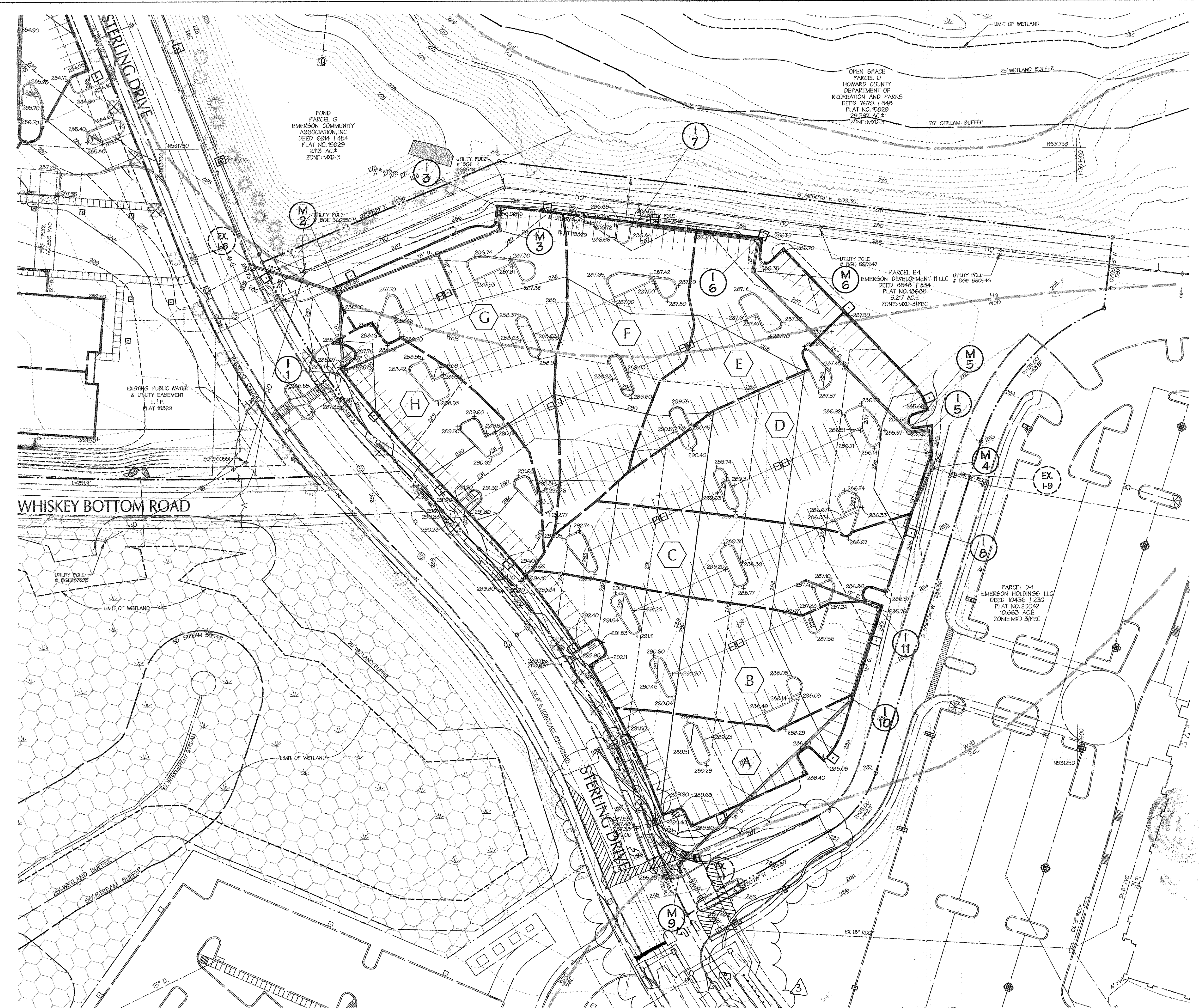


DMW
 DAFT MCCUNE WALKER INC.
 200 EAST PENNSYLVANIA AVENUE • TOWSON, MD 21286
 P: 410 296 3333 F: 410 296 4705 WWW.DMW.COM
 A TEAM OF LAND PLANNERS, LANDSCAPE ARCHITECTS
 ENGINEERS, SURVEYORS & ENVIRONMENTAL PROFESSIONALS

SUBDIVISION NAME	REZITZ PROPERTY & EMERSON SECTION 3 AREA 1	SECTION AREA	SECTION 3 AREA 1	LOT/PARCEL #	PARCEL B & E-1
PLAT OR LOT	2002 & 18695	BLK #	47	TAXING MAP	47 GRD B
WATER CODE	207	BLK. ORBET	G	GENUS TRACT	606903
		BLK. CODE			

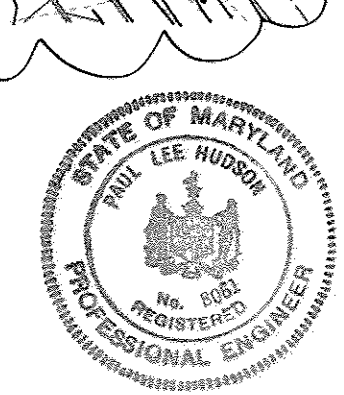
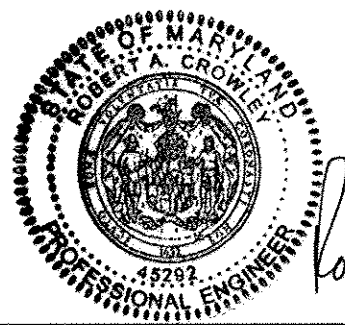
STORM DRAIN DRAINAGE AREA & SOILS MAP - E-1

Des. By	JB5	Scale	1"=40'	Proj. No.	95054.6
Dm. By	J55	Date	12-13-11	18 of 26	
Chk. By	MCB/JDF	Approved			



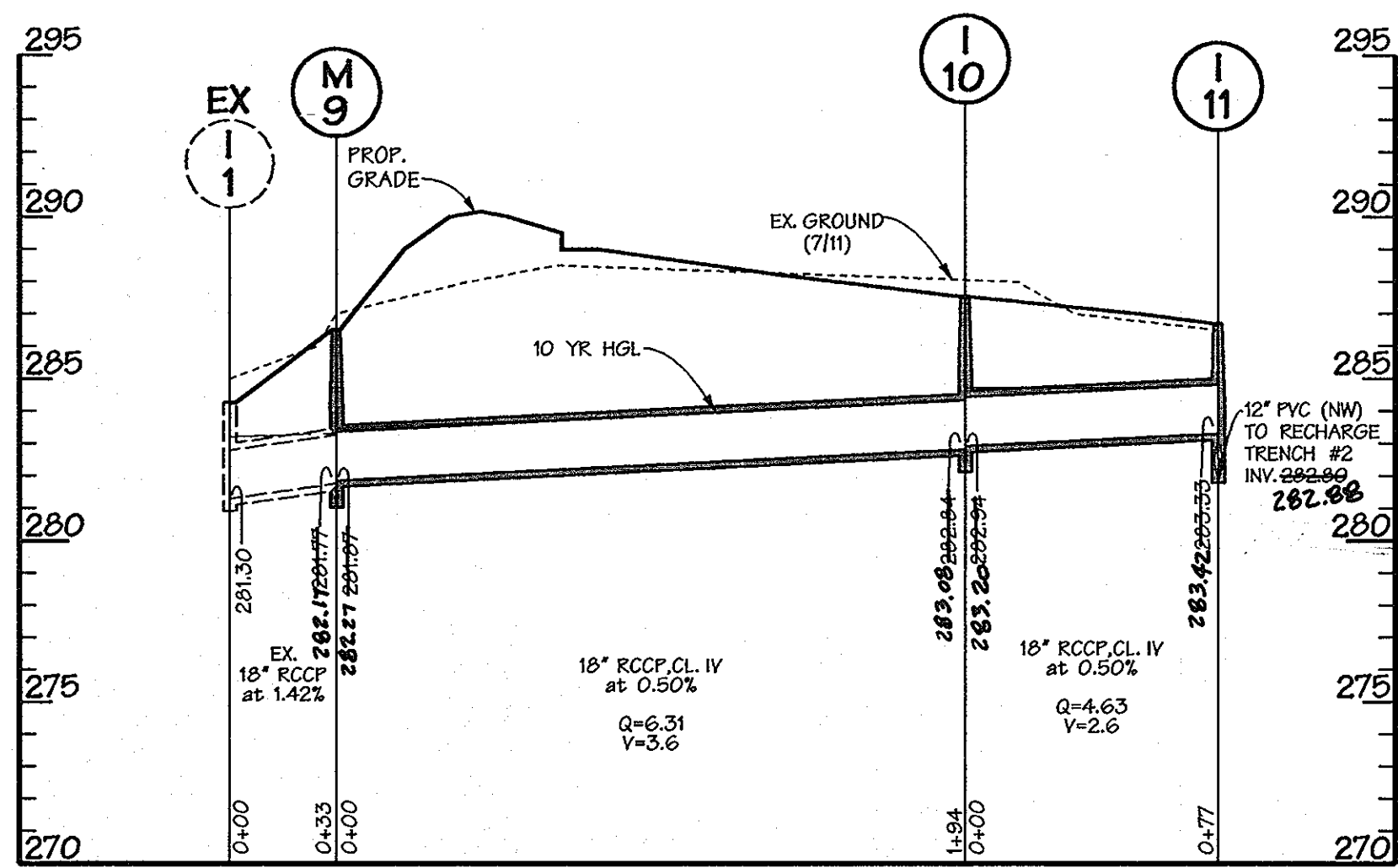
PROFESSIONAL CERTIFICATION FOR REV #3
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 49292, EXPIRATION DATE: 05/21/2018

THE PURPOSE OF REVISION #3 IS TO SHOW THE WORK ASSOCIATED WITH THE EMERSON CAMPUS VCP. SDP-110-005



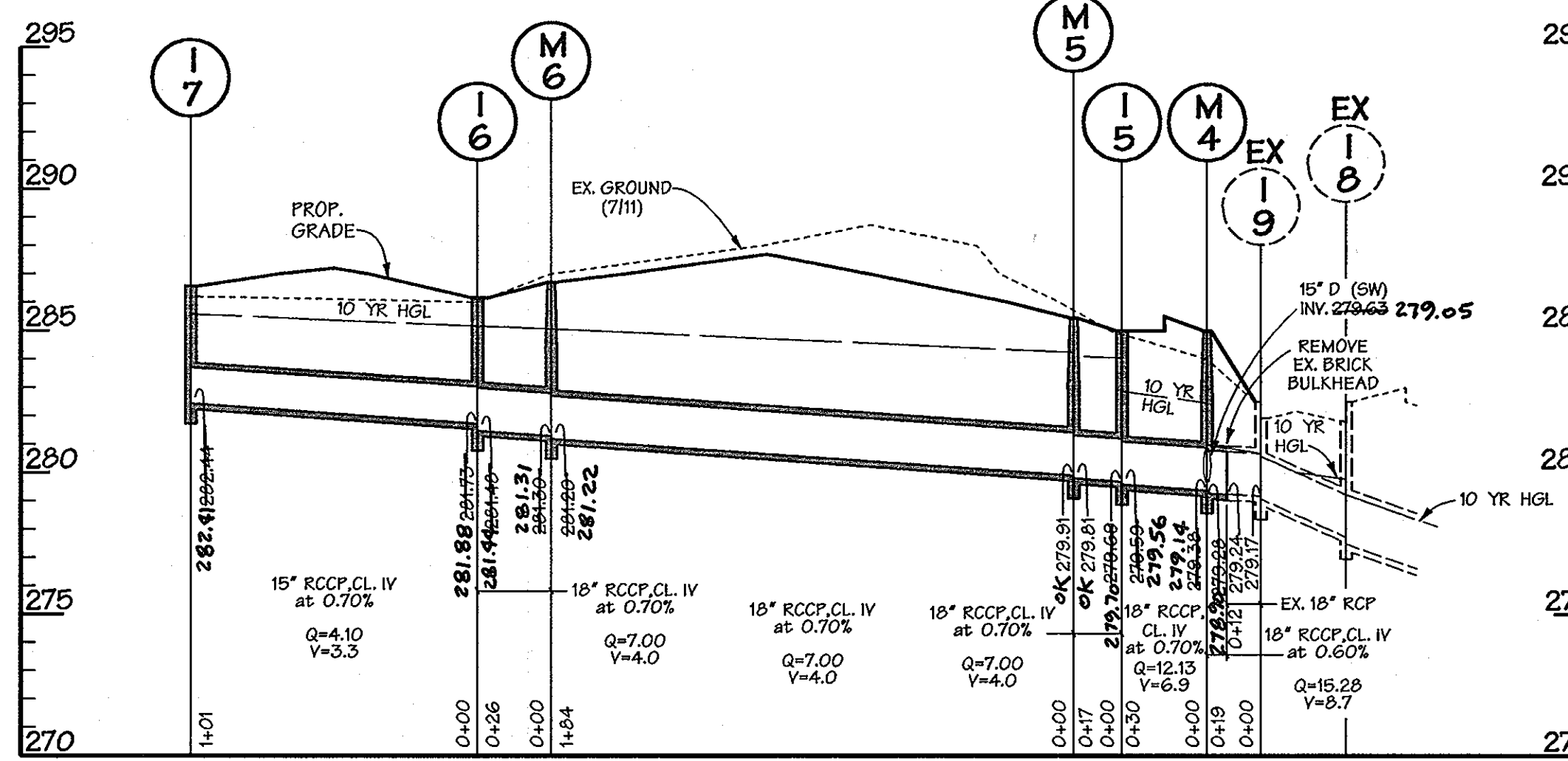
AS-BUILT CERTIFICATION FOR PSWM
 THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.
Paul Hudson 5-29-15
 PAUL HUDSON PE# 8001

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 6218, EXPIRATION DATE: 5/12/12



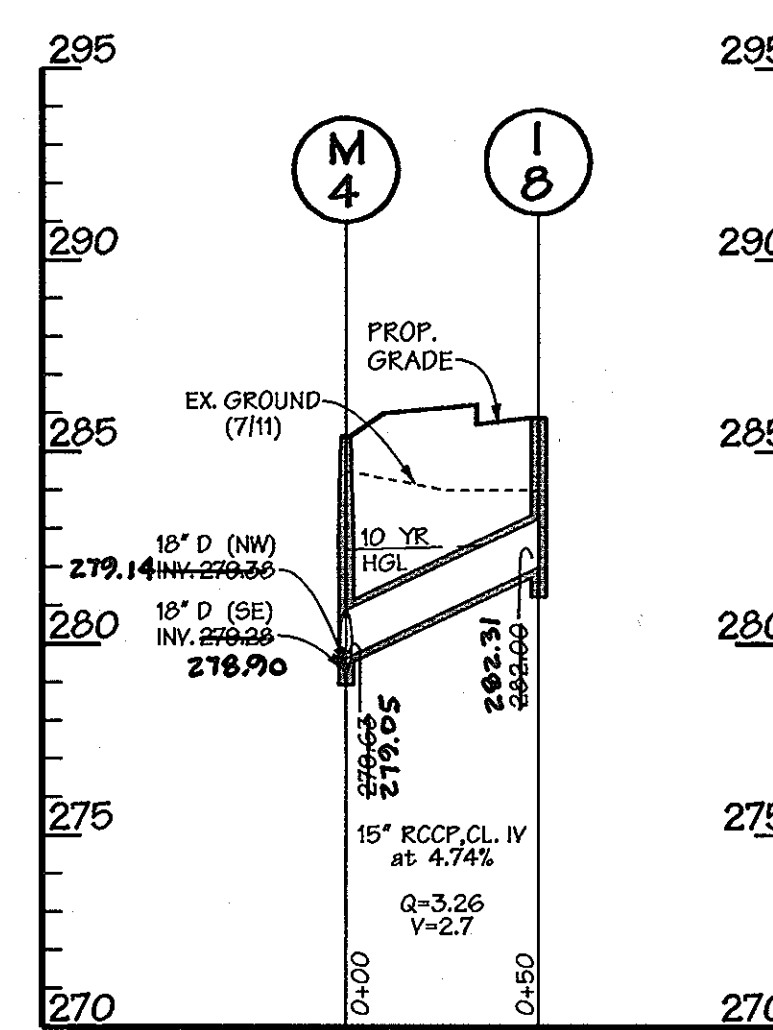
PROFILE

SCALE: HORIZ. 1"=50'
VERT. 1"=5'



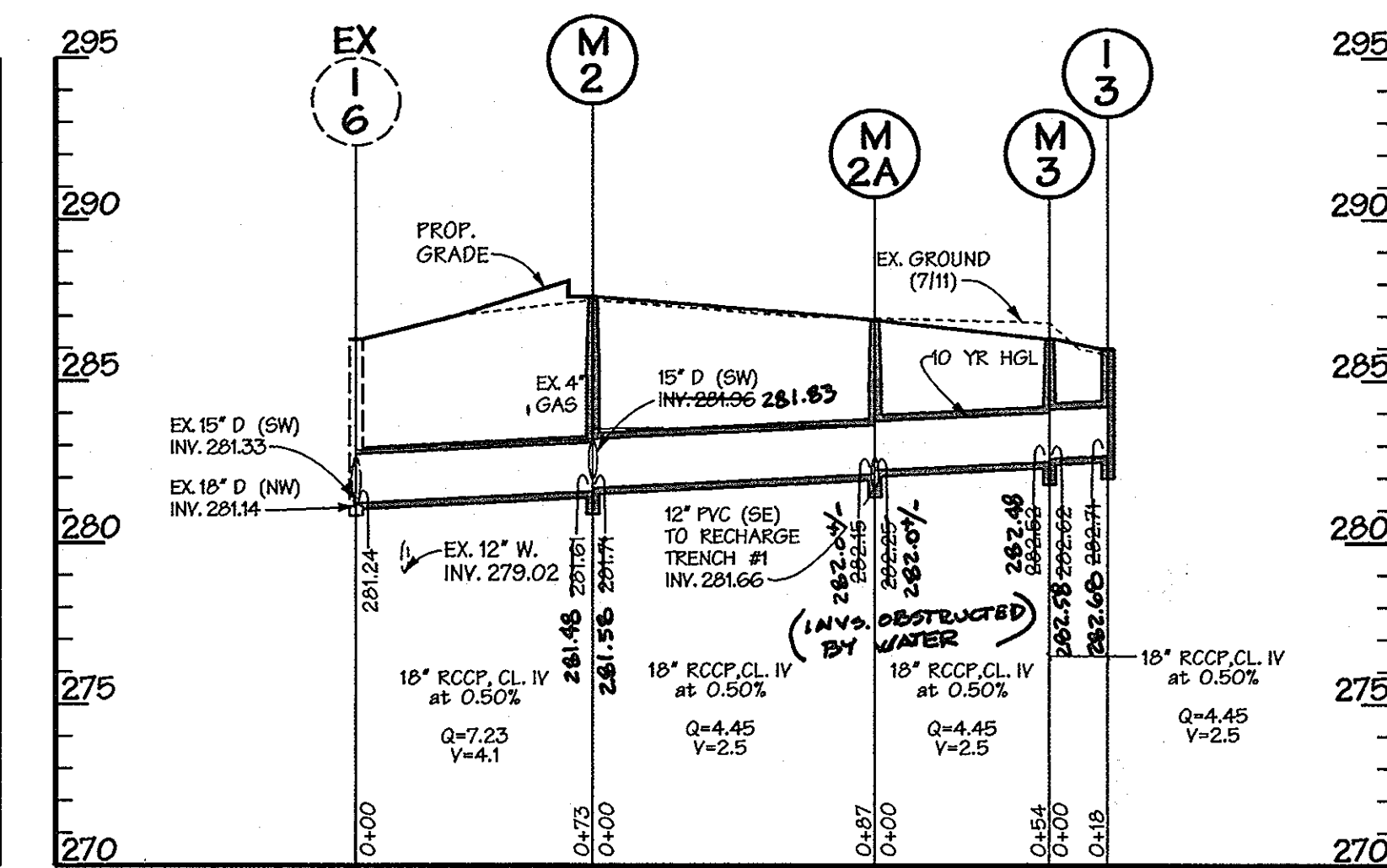
PROFILE

SCALE: HORIZ. 1"=50'
VERT. 1"=5'



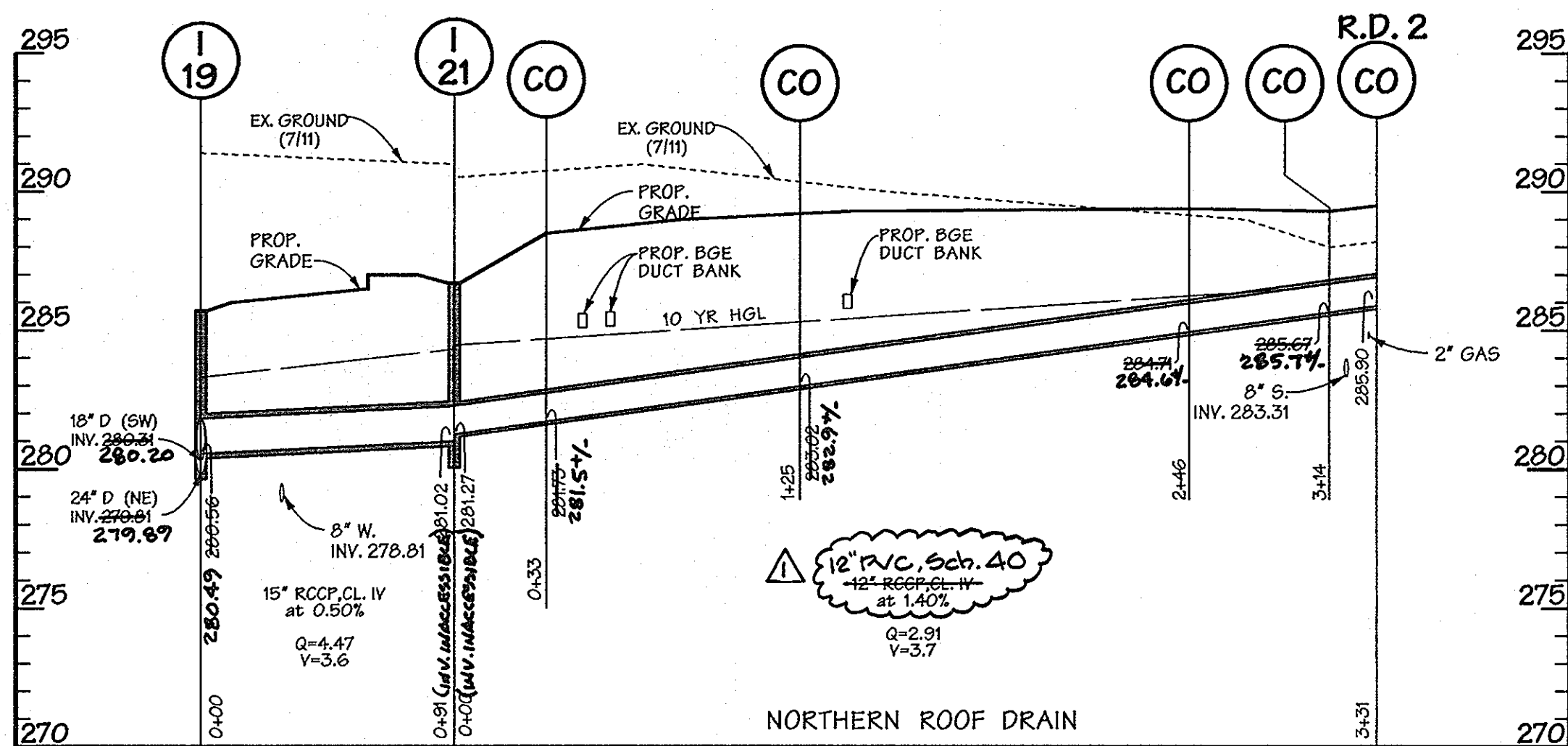
PROFILE

SCALE: HORIZ. 1"=50'
VERT. 1"=5'



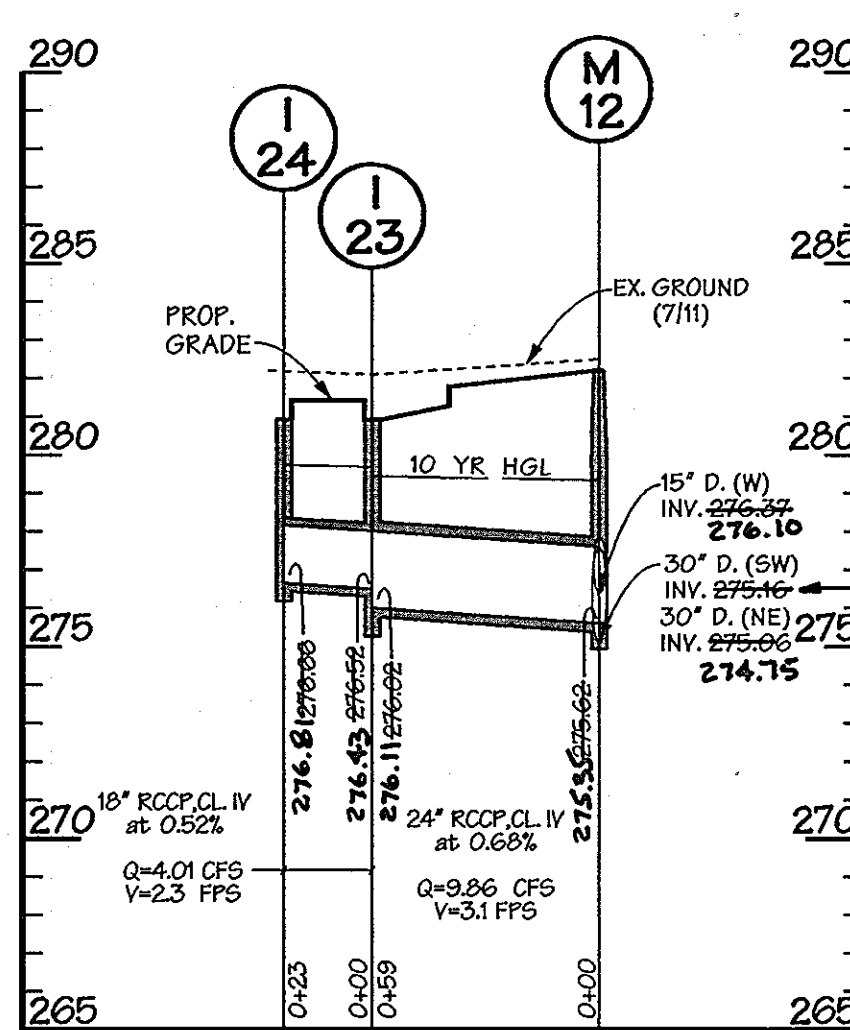
PROFILE

SCALE: HORIZ. 1"=50'
VERT. 1"=5'



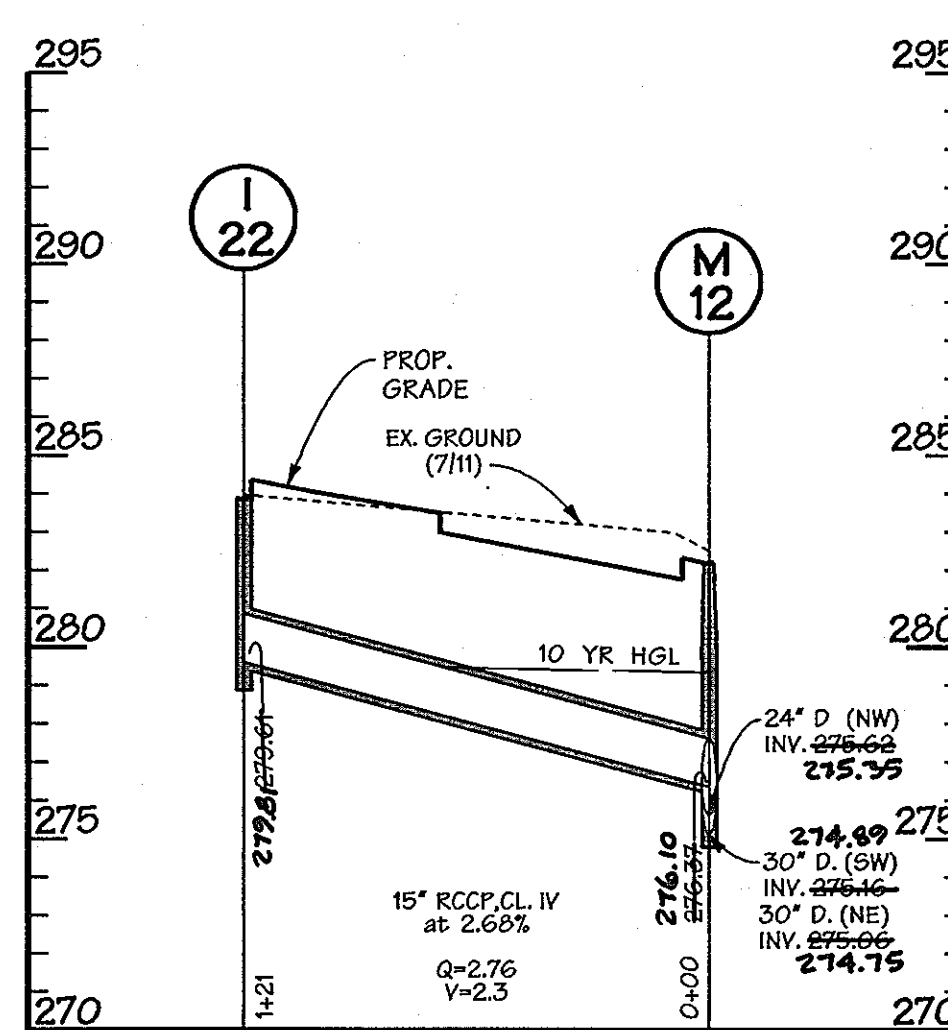
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VERT. 1"=5'



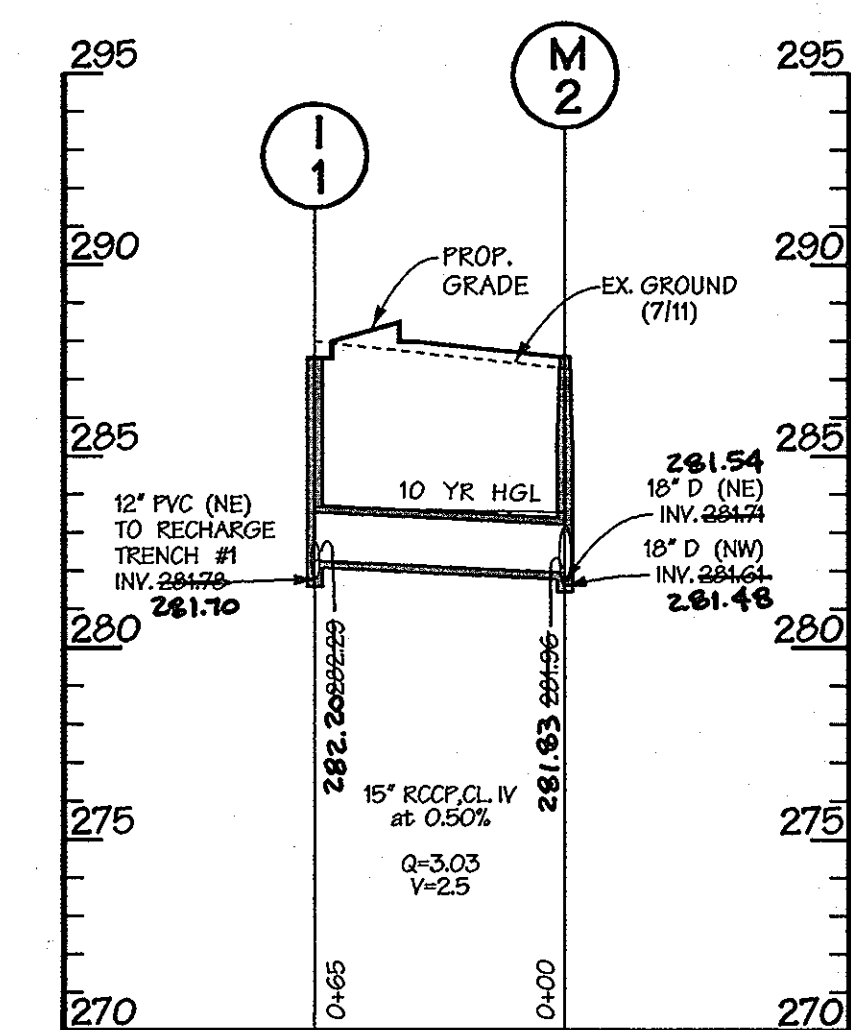
PROFILE

SCALE: HORIZ. 1"=50'
VERT. 1"=5'



PROFILE

SCALE: HORIZ. 1"=50'
VERT. 1"=5'



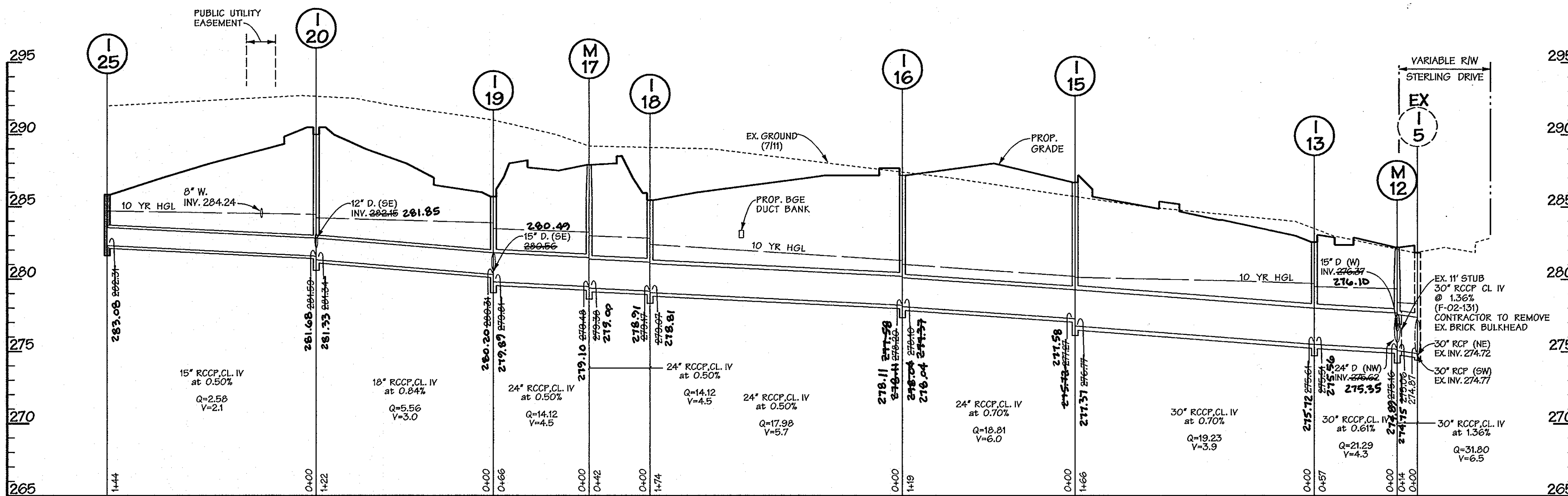
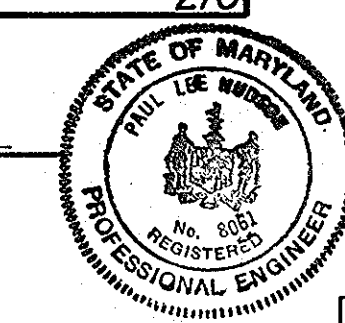
PROFILE

SCALE: HORIZ. 1"=50'
VERT. 1"=5'

**AS-BUILT
CERTIFICATION FOR RDM**

I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THE PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.

AS-BUILT DATE: 4-30-13
5-23-13
PE# 8061



PROFILE

SCALE: HORIZ. 1"=50'
VERT. 1"=5'

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 16222, EXPIRATION DATE: 5/13/16.

4-30-13
"RED LINE" AS BUILT
SURVEY SERVICES OF MD, LLC.
408 AUBURN AVENUE
TOWSON, MD 21284
410-321-8692
410-321-8693



For Revision Only
3/22/13
Date

RE. No. 16222
Date

12/20/11
Date

Professional Engr. No. 16222

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING
4-10-12
DATE

4/2/12
DATE

4/10/12
DATE

9-12-12
DATE

NO. 1
REVISION DESCRIPTION

EMERSON PARCEL B & E-1
L.E.E.D. BUILDING
5-STORY COMMERCIAL OFFICE BUILDING

OWNER/DEVELOPER:
PARCEL 'B' - EMERSON DEVELOPMENT V, LLC
PARCEL 'E-1' - EMERSON DEVELOPMENT II, LLC

DMW
DAFT MCCUNE WALKER INC.

230 EAST PENNSYLVANIA AVENUE • TOWSON, MD 21286
P: 410-290-2883 F: 410-290-4705 WWW.DMW.COM

A TEAM OF LAND PLANNERS, LANDSCAPE ARCHITECTS,
ENGINEERS, SURVEYORS & ENVIRONMENTAL PROFESSIONALS

SECTION NAME: RDMZ PROPERTY & EMERSON STN
SECTION AREA: SECTION 3 AREA 1
LIT/PARCEL #: PARCEL B & E-1 / PAR. 165

TITLE: **STORM DRAIN PROFILES**

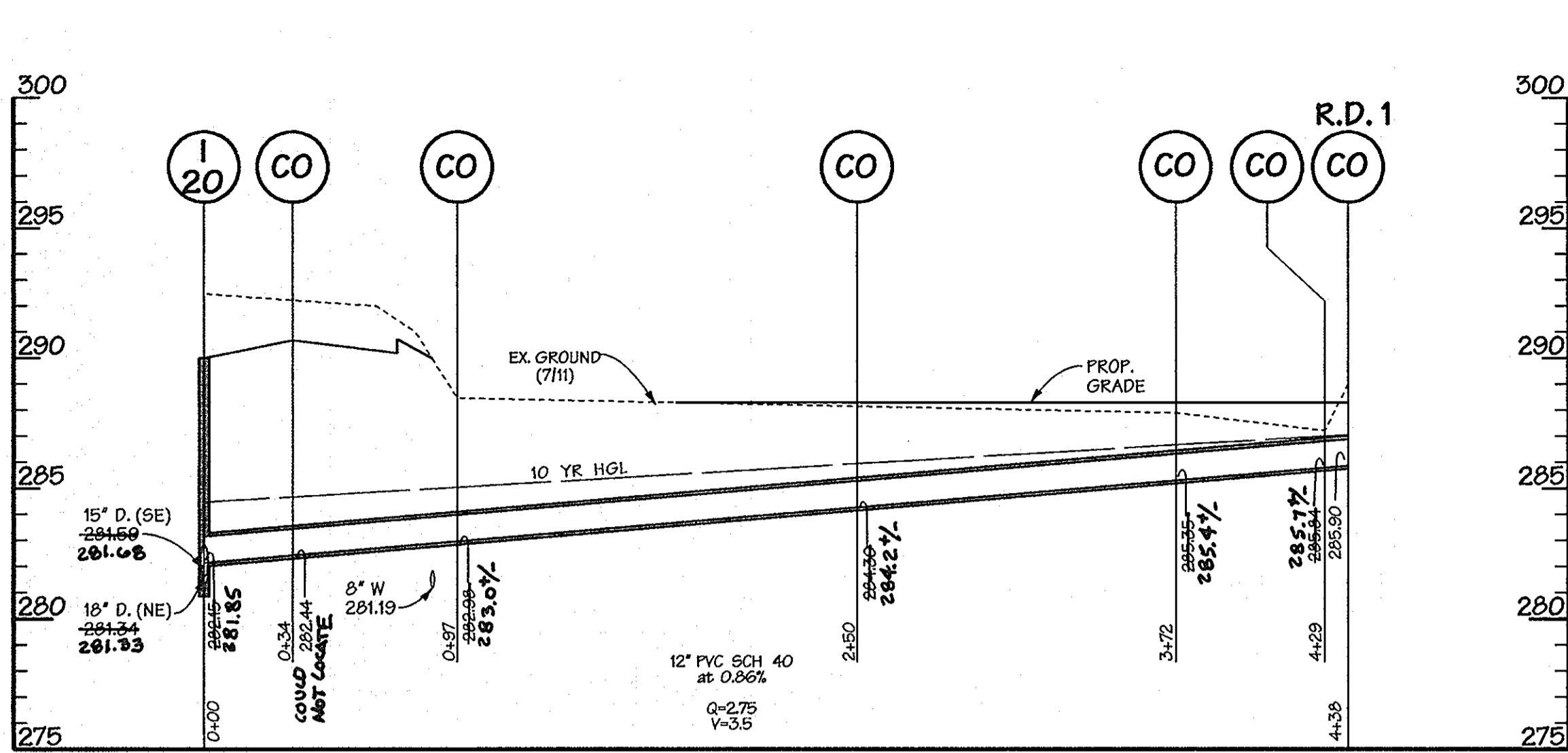
Des. By: JBS
Scale: AS SHOWN
Proj. No.: 95054.6

Dm. By: JBS
Date: 12-13-11

19 of 26

Professional Engr. No. 16222
Checked By: MCB/JDF
Approved

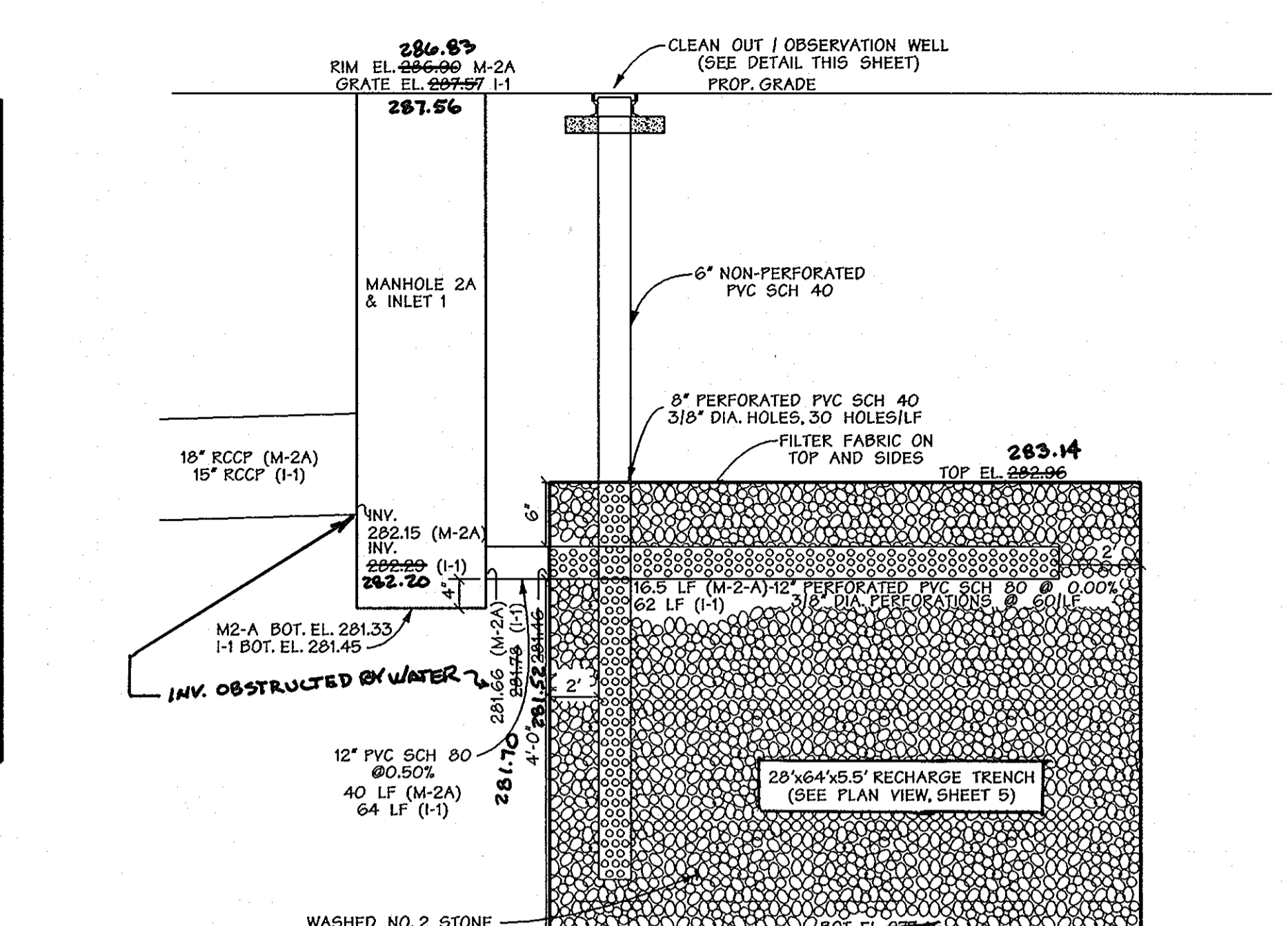
SDP-12-010



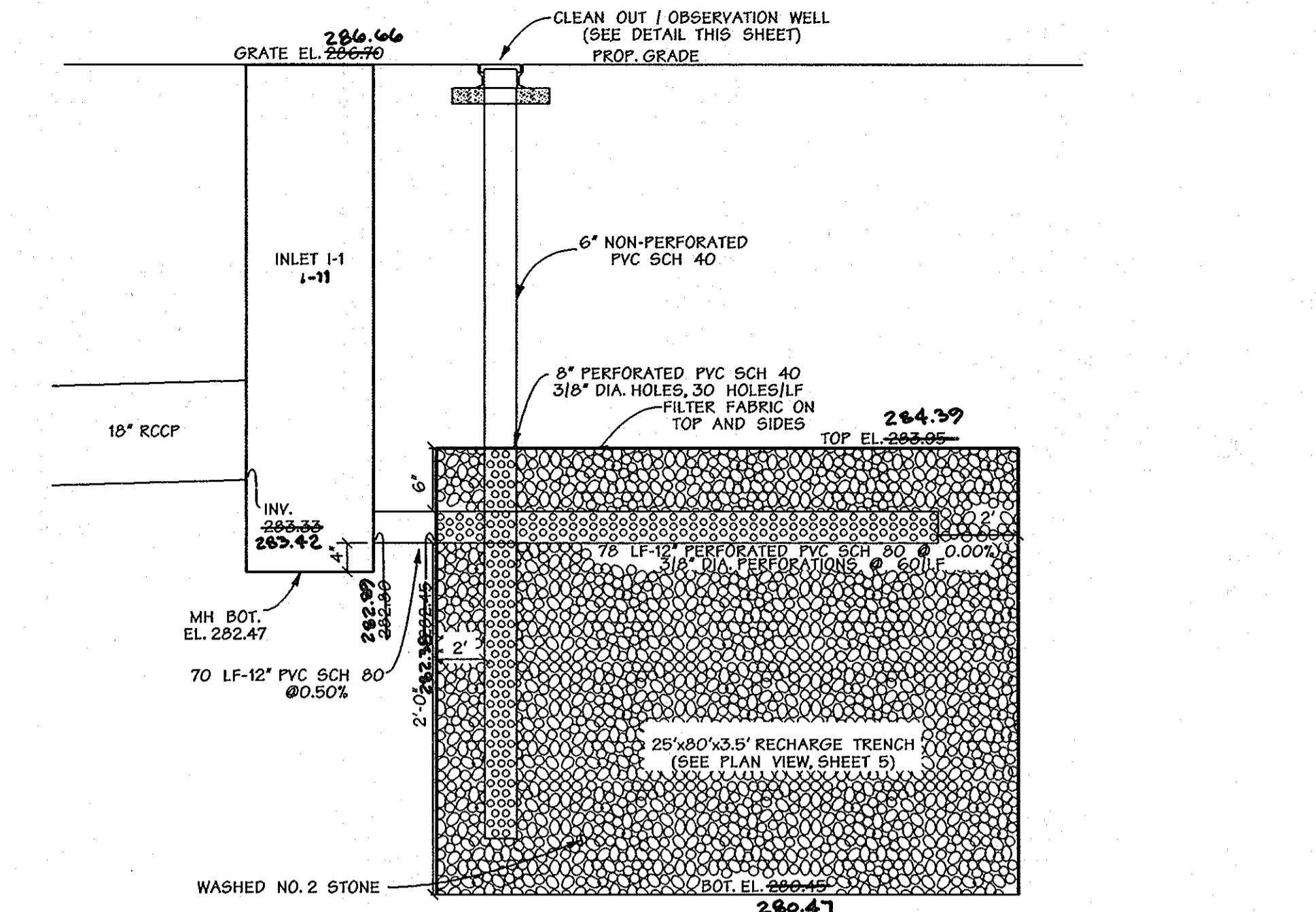
PIPE SCHEDULE

SIZE	TYPE	LENGTH
12"	PVC SCH 40	769 LF
15"	RCCP, CL IV	471 LF
18"	RCCP, CL IV	1017 LF
24"	RCCP, CL IV	460 LF
30"	RCCP, CL IV	225 LF

SOUTHERN ROOF DRAIN
SCALE: HORIZ. 1"=50'
VERT. 1"=5'

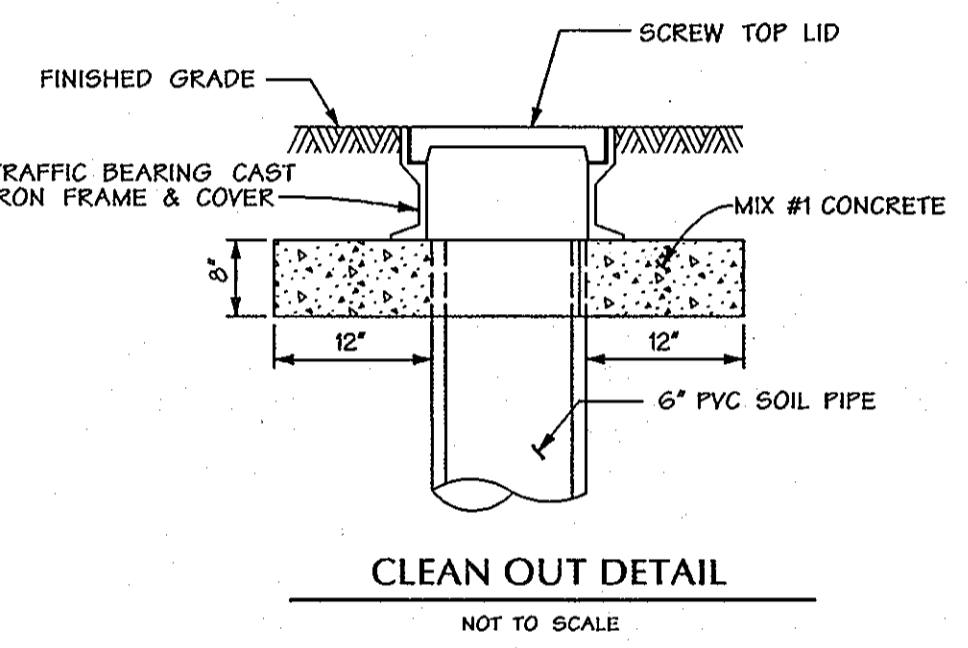


PARCEL E-1 RECHARGE TRENCH #1 DETAIL
N.T.S.



PARCEL E-1 RECHARGE TRENCH #2 DETAIL
N.T.S.

- OPERATION AND MAINTENANCE SCHEDULE FOR RECHARGE FACILITY**
- RECHARGE FACILITY SHALL BE INSPECTED ANNUALLY AND BE REPAIRED OR CLEANED AS NEEDED.
 - REMOVE SEDIMENT AND TRASH FROM SEDIMENT TRAPPING INLET AS NEEDED AND CLEAN OPENING AT INLET BOTTOM.
 - INSPECT FACILITY EVERY OTHER MONTH AND AFTER LARGE STORM EVENTS TO OBSERVE WATER ELEVATIONS. IF STANDING WATER IS OBSERVED IN THE FACILITY RE-INSPECT AFTER 72 HOURS AND REPAIR AS NECESSARY.



CLEAN OUT DETAIL
NOT TO SCALE

- EACH CLEANOUT SHALL INCLUDE THE FOLLOWING**
- FOR AN UNDERGROUND FLUSH MOUNTED CLEANOUT, PROVIDE A TUBE MADE OF NON-CORROSIVE MATERIAL, SCHEDULE 40 PVC OR EQUAL, AT LEAST 3 FEET LONG WITH AN INSIDE DIAMETER OF AT LEAST 6-INCHES.
 - THE TUBE SHALL HAVE A FACTORY ATTACHED CAST IRON OR HIGH IMPACT PLASTIC COLLAR WITH RIBS TO PREVENT ROTATION WHEN REMOVING SCREW TOP LID. THE SCREW TOP LID SHALL BE CAST IRON OR HIGH IMPACT PLASTIC THAT WILL WITHSTAND ULTRA-VIOLET RAYS.

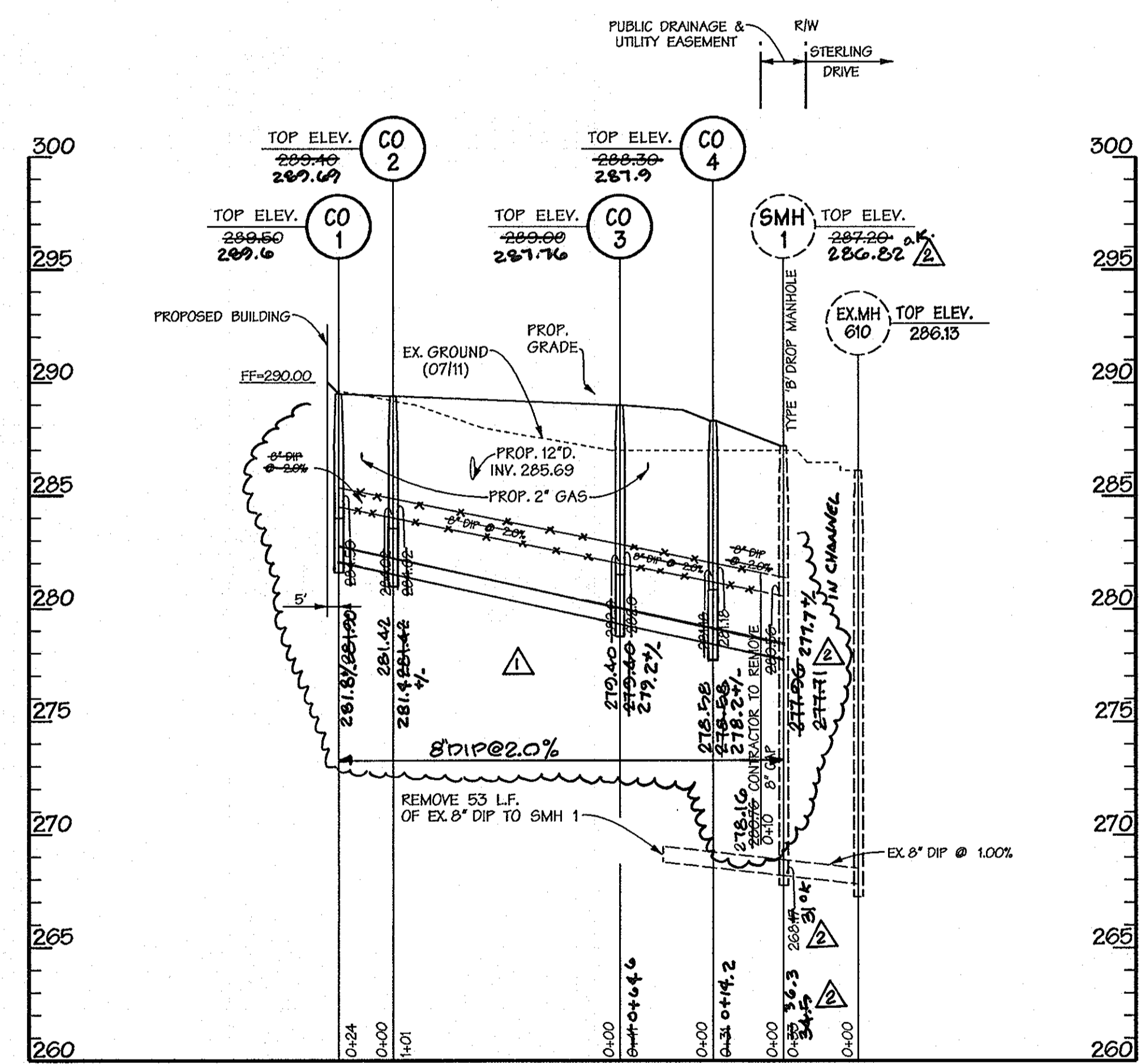
AS-BUILT CERTIFICATION FOR P5WM

I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THE PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.

Paul Hudson 3-23-13 PE#8001
PAUL HUDSON
AS-BUILT DATE: 4-30-13



4-30-13
"RED LINE" AS BUILT
SURVEY SERVICES OF MD., LLC
408 ALLEGHENY AVE
TOWSON, MD. 21284
410-321-8692
410-321-8693

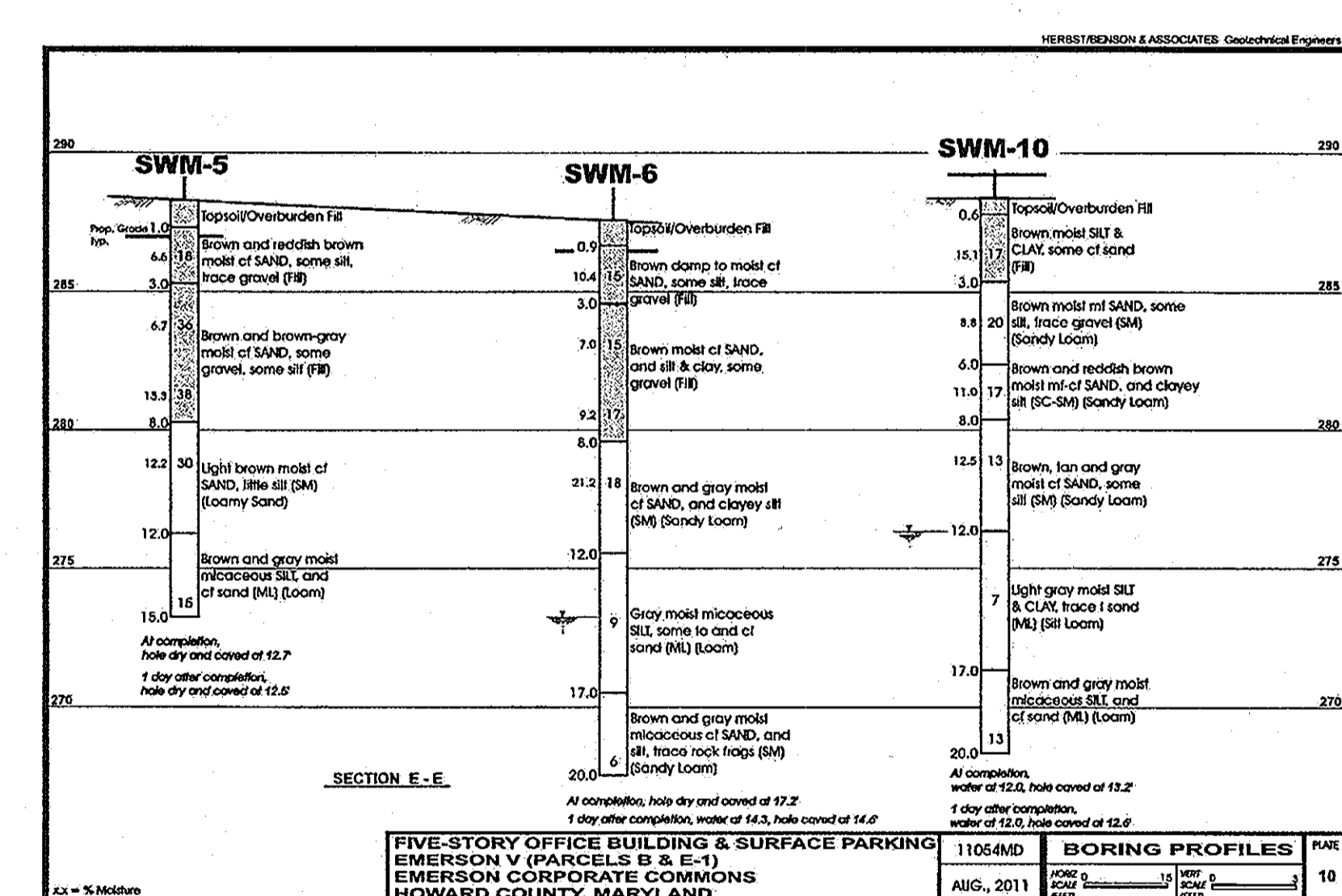


PRIVATE SEWER
SCALE: HORIZ. 1"=50'
VERT. 1"=5'

- MINIMUM IN OUT RIM**
- M-2 = 281.48 281.12
 - M-2A 282.22 281.85 (INV. OBSTRUCTED)
 - M-3 = 282.53 282.15 281.50 BY WATER
 - M-4 = 278.90 284.05
 - M-5 = 279.81 279.81 285.52
 - M-6 = 281.91 281.22 284.48
 - M-9 = 282.21 282.17 284.49
 - M-12 = 274.15 282.10
 - M-17 = 279.10 279.00 281.90
- SEE SHEET 19 OF 26 (PROFILES)

MANHOLE SCHEDULE

MH #	TYPE	INTERNAL DIAMETER	INV. IN	INV. OUT	RIM ELEV.	REMARKS
M-2	STD. MANHOLE	48"	281.71	281.61	287.70	HOWARD CO. STD. DETAIL PLATE G-5-12
M-2A	STD. MANHOLE	48"	282.25	282.15 / 281.66	286.90	HOWARD CO. STD. DETAIL PLATE G-5-12 - FLOW SPLITTER
M-3	SHALLOW MANHOLE	48"	282.62	282.52	286.40	HOWARD CO. STD. DETAIL PLATE G-5-12
M-4	STD. MANHOLE	48"	279.38	279.28	285.40	HOWARD CO. STD. DETAIL PLATE G-5-12
M-5	STD. MANHOLE	48"	279.91	279.81	285.45	HOWARD CO. STD. DETAIL PLATE G-5-12
M-6	STD. MANHOLE	48"	281.30	281.20	286.70	HOWARD CO. STD. DETAIL PLATE G-5-12
M-9	STD. MANHOLE	48"	281.87	281.77	286.50	HOWARD CO. STD. DETAIL PLATE G-5-12
M-12	STD. MANHOLE	60"	275.16	275.06	282.45	HOWARD CO. STD. DETAIL PLATE G-5-13
M-17	STD. MANHOLE	48"	279.48	279.38	287.90	HOWARD CO. STD. DETAIL PLATE G-5-12



INLET SCHEDULE

Inlet #	TYPE	INV. IN	INV. OUT	GRATE ELEV.	REMARKS
I-1	DBL 'S' COMB.	-	282.29	287.57	MDSHA STD. DETAIL 374.71 - FLOW SPLITTER - 12" PVC INV. 281.78
I-3	DBL 'S' COMB.	-	282.71	286.00	MDSHA STD. DETAIL 374.71
I-5	DBL 'S' COMB.	279.69	279.59	285.00	MDSHA STD. DETAIL 374.71
I-6	DBL 'S' COMB.	281.73	281.68	286.15	MDSHA STD. DETAIL 374.71
I-7	DBL 'S' COMB.	-	282.44	286.56	MDSHA STD. DETAIL 374.71
I-8	DBL 'S' COMB.	-	282.00	285.88	MDSHA STD. DETAIL 374.71
I-10	DBL 'S' COMB.	282.94	282.84	287.54	MDSHA STD. DETAIL 374.71
I-20	DBL 'S' COMB.	-	283.33	286.70	MDSHA STD. DETAIL 374.71 - FLOW SPLITTER - 12" PVC INV. 282.80
I-13	DBL 'S' COMB.	278.61	278.51	282.57	MDSHA STD. DETAIL 374.71
I-15	DBL 'S' COMB.	277.22	276.77	286.70	MDSHA STD. DETAIL 374.71
I-16	DBL 'S' COMB.	278.20	278.10	287.17	MDSHA STD. DETAIL 374.71
I-18	DBL 'S' COMB.	279.17	279.07	285.45	MDSHA STD. DETAIL 374.71
I-19	DBL 'S' COMB.	280.31	280.21	286.70	MDSHA STD. DETAIL 374.71
I-21	DBL 'S' COMB.	281.59	281.44	289.00	MDSHA STD. DETAIL 374.71
I-22	DBL 'S' COMB.	281.27	281.00	286.70	ADS DRAINTECH 24" SQUARE BASIN W/ GRATE
I-23	DBL 'S' COMB.	-	279.61	283.86	MDSHA STD. DETAIL 374.71
I-24	DBL 'S' COMB.	-	276.52	280.93	MDSHA STD. DETAIL 374.71
I-25	TRENCH DRAIN	-	276.66	280.93	MDSHA STD. DETAIL 374.71
I-25	TRENCH DRAIN	-	282.50	285.83	ACO DRAIN-POWER S300K (SLOTTED DUCTILE IRON-CLASS F)

NOTE: THE INTERIOR WIDTH OF ALL DBL 'S' COMBINATION INLETS IS 3'-5" AS PER MDSHA STD. DETAIL 374.71

INLET IN INLET GRATE

Inlet #	INV. IN	INV. OUT
I-1	282.20	287.50
I-3	282.50	285.90
I-5	279.70	284.90
I-6	281.80	286.20
I-7	282.41	286.57
I-8	282.31	285.96
I-10	283.20	287.62
I-11	283.42	286.60
I-13	278.72	282.56
I-15	277.58	286.71
I-16	278.11	286.90
I-18	278.91	285.88
I-20	281.99	285.87
I-21 (INV. OBSTRUCTED)	284.11	286.71
I-22	279.81	284.90
I-23	276.43	280.96
I-24	276.91	281.02
I-25	282.08	285.83

SEE SHEET 19 OF 26 (PROFILES)

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 16722, EXPIRATION DATE: 5/12/12

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING
Keat Sealwood
 CHIEF, DIVISION OF LAND DEVELOPMENT 4-10-12 DATE
Paul Hudson
 CHIEF, DEVELOPMENT ENGINEERING DIVISION 4-2-12 DATE
Paul Hudson
 DIRECTOR 4/10/12 DATE

10-29-12 AS-BUILT Elev. SMH 1
 0-4-12 Lower San. Sewer SMH 1 to CO 1
 Date No. Revision Description

EMERSON PARCEL B & E-1
 L.E.E.D. BUILDING
 5-STORY COMMERCIAL OFFICE BUILDING

OWNER/DEVELOPER: EMERSON DEVELOPMENT I, LLC
 EMERSON DEVELOPMENT I, LLC
 1 TEXAS STATION COURT
 SUITE 200
 TIMONIUM, MD 21083
 TAX MAP 47 GRID B, PARCEL 1051
 EMERSON SECTION 3 AREA 1
 DEED: H47917
 TAX ACCT # 06-972563
 PLAN: 18626

DATE: 3/28/13

DATE: 12/10/11

DMW
 DAFT MCCUNE WALKER INC
 230 EAST PENNSYLVANIA AVENUE - TOWSON, MD 21286
 P: 410.286.5883 F: 410.286.8795 WWW.DMW.COM
 A TEAM OF LAND PLANNERS, LANDSCAPE ARCHITECTS,
 ENGINEERS, SURVEYORS & ENVIRONMENTAL PROFESSIONALS

TITLE: **UTILITY PROFILES & GROUNDWATER RECHARGE**

Des. By: JBS Scale: AS SHOWN Proj. No.: 95054.6
 Dm. By: JBS Date: 12-13-11
 Chk. By: MCB/JDF Approved
 Professional Engr. No. 14928

20 of 26
 SDP-12-010

LEGEND

- PROPERTY BOUNDARY
- - - EX. RIGHT OF WAY
- - - ADJACENT PROPERTY BOUNDARY
- - - EX. EASEMENT
- - - EX. ROADS AND WALKS
- - - EX. MAJOR CONTOUR
- - - EX. MINOR CONTOUR
- [Symbol] FOREST CONSERVATION EASEMENT
- [Symbol] EX. STREET TREE
- [Symbol] EX. STREET TREE TO BE REMOVED
- [Symbol] EX. STREET LIGHT
- [Symbol] EX. STORM DRAIN
- [Symbol] EX. SANITARY SEWER
- [Symbol] EX. WATER
- [Symbol] EX. OVERHEAD ELECTRIC
- [Symbol] PROP. BUILDING
- [Symbol] PROP. CURB / EDGE OF PAVING
- [Symbol] PROP. DEPRESSED CURB
- [Symbol] PROP. REVERSE CURB
- [Symbol] PROP. GROUP LIGHT (BY OTHERS)
- [Symbol] PROP. SINGLE LIGHT (BY OTHERS)
- [Symbol] PROP. LIGHT (BY OTHERS)
- [Symbol] LIMIT OF DISTURBANCE
- [Symbol] PROP. STORM DRAIN
- [Symbol] PROP. SANITARY SEWER
- [Symbol] PROP. WATER
- [Symbol] PROP. DECIDUOUS SHADE TREE
- [Symbol] PROP. EVERGREEN TREE
- [Symbol] PROP. SHRUBS
- [Symbol] DESIGNATED STREET TREE
- [Symbol] HOWARD COUNTY REQUIRED TREE

PLANT LIST

QTY.	SYM.	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
SHADE TREES					
7	AR	<i>Acer rubrum</i> 'October Glory'	October Glory Red Maple	2 1/2" - 3" Cal., 12'-14' Ht.	B & B, Full head
5	LS	<i>Liquidambar styraciflua</i> 'Rotundiloba'	Seedless Sweetgum	2 1/2" - 3" Cal., 12'-14' Ht.	B & B, Full head
7	NS	<i>Nyssa sylvatica</i>	Black Gum	2 1/2" - 3" Cal., 12'-14' Ht.	B & B, Full head
7	PA	<i>Platanus x acerifolia</i> 'Bloodgood'	Bloodgood London Plane Tree	2 1/2" - 3" Cal., 12'-14' Ht.	B & B, Full head
9	QP	<i>Quercus palustris</i>	Pin Oak	2 1/2" - 3" Cal., 12'-14' Ht.	B & B, Full head
Flowering Trees					
2	CV	<i>Crataegus viridis</i> 'Winter King'	'Winter King' Hawthorn	2" - 2 1/2" cal. - 8' Ht.	B&B Single Leader
Evergreen Trees					
3	IO	<i>Ilex opaca</i>	American Holly	6' - 7' Ht.	B&B Single Leader
26	TP	<i>Thuja plicata</i> 'Green Giant'	Green Giant Arborvitae	6' - 7' Ht.	Cont. or B&B Single Leader
SHRUBS					
27	ca	<i>Clethra alnifolia</i>	Summersweet Clethra	2 1/2" - 3" Ht.	Cont. or B&B
40	tb	<i>Taxus baccata</i> 'Repandens'	Spreading English Yew	18" - 24" Spread	Cont. or B&B
35	vd	<i>Viburnum dentatum</i>	Arrowwood Viburnum	2 1/2" - 3" Ht.	Cont. or B&B

SEEDING IS REQUIRED FOR ALL OPEN AREAS. SEE NOTE 5.
 * DESIGNATED STREET TREE

THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION AND WHEN NECESSARY, REPAIRED OR REPLACED.

NOTES:

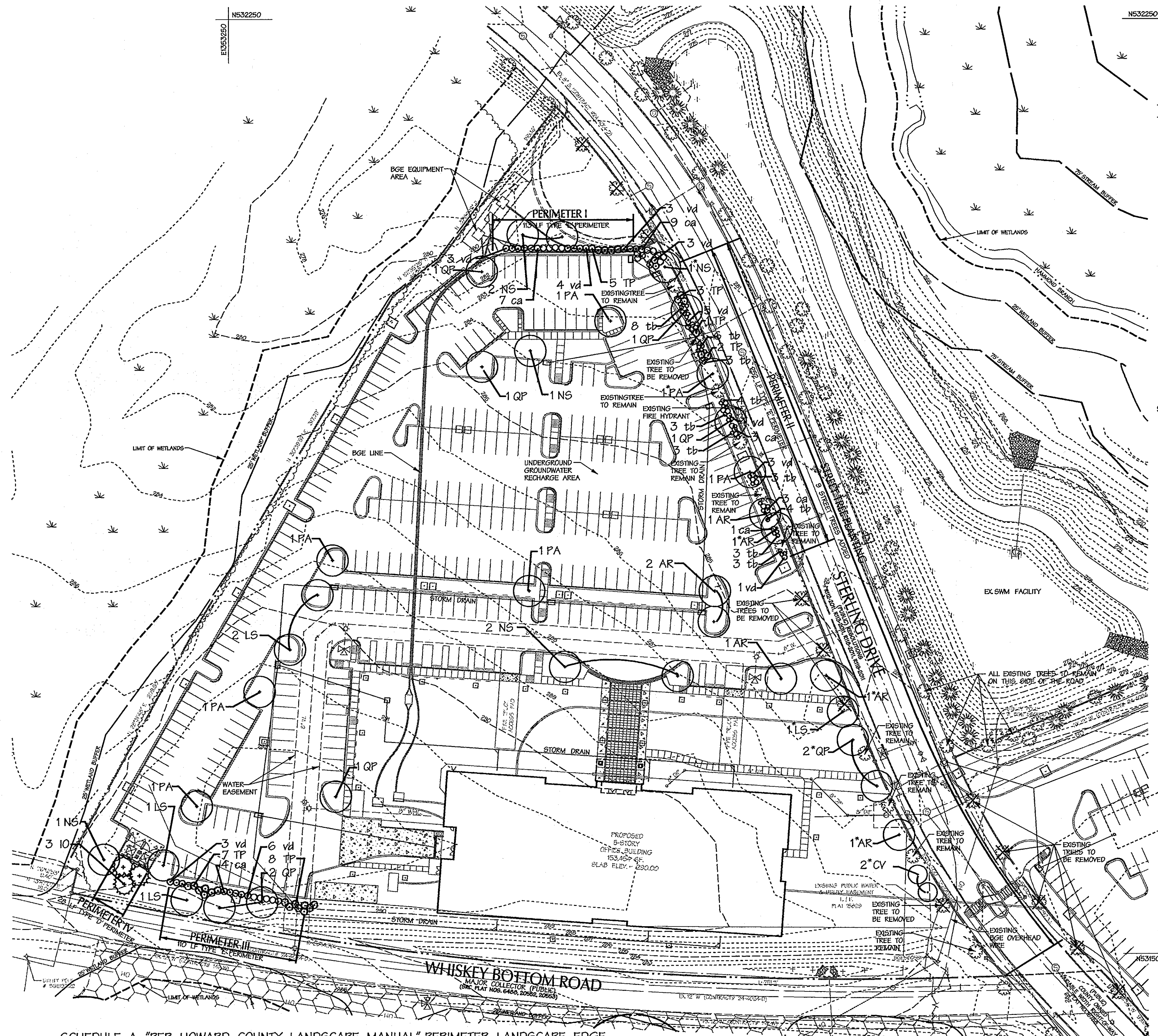
- AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELAXATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL. FINANCIAL LANDSCAPE SURETY FOR PARCEL B, IN THE AMOUNT OF \$13,020 IS TO BE POSTED FOR 30 SHADE TREES (B&B), 5 EVERGREEN TREES, AND 110 SHRUBS. THE TOTAL FINANCIAL LANDSCAPE SURETY FOR BOTH PARCELS B AND E-1 IS \$33,630. SURETY MUST BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT.
- EMERSON IS GOVERNED BY COVENANTS WHICH REQUIRE ADDITIONAL PLANT MATERIAL AND APPROVAL FROM THE HOWARD HUGHES ARCHITECTURAL REVIEW COMMITTEE. PLEASE REFER TO PLAN APPROVAL LETTER FROM HOWARD HUGHES.
- ALL PROPERTY PERIMETERS, EXCEPT STERLING DRIVE AND WHISKEY BOTTOM ROAD, ARE EXEMPT FROM LANDSCAPING REQUIREMENTS. SINCE THIS PARCEL IS INTERNAL TO THE EMERSON (REVITZ PROPERTY) SUBDIVISION.
- SEEDING IS REQUIRED FOR ALL OPEN AREAS. PROVIDE A MINIMUM OF 4 INCHES OF TOPSOIL. WHERE SEEDING IS PLAZED, USE TALL FESCUE STATE CERTIFIED GRASS SEED.

SCHEDULE B "PER HOWARD COUNTY LANDSCAPE MANUAL" PARKING LOT INTERNAL LANDSCAPING

Number of Surface Parking Spaces	337
Number of Trees Required (1 sh/20 sp.)	17
Number of Trees Provided	17
Shade Trees	
Other Trees (2:1 substitution)	

STREET TREE LANDSCAPING (FOR SHEET 21 OF 26)

Street trees along Sterling Drive affected	35	
Number of street trees in cut-de-sac	-5	
Number of street trees in BGE Green Zone	-1	
Number of street trees saved	-11	
Total number of street trees to be replaced	18	TREE VALUE
Number of street trees replaced in Parcel B	9	
Shade Trees provided	2	B
Other Trees (2:1 substitution)	7	1
Number of street trees replaced in Parcel E-1	9	
Shade Trees provided	0	
Evergreen Trees (2:1 substitution)	9	
Other Trees (2:1 substitution)	0	
		9



SCHEDULE A "PER HOWARD COUNTY LANDSCAPE MANUAL" PERIMETER LANDSCAPE EDGE

Category	Perimeter I Parking Adjacent to Roadway	Perimeter II Parking Adjacent to Roadway	Perimeter III Parking Adjacent to Roadway	Perimeter IV Screen Adjacent to Roadway
Landscape Type	E	E	E	D
Linear Feet of Roadway Frontage/Perimeter	113 LF.	252 LF.	110 LF.	28 LF.
Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	NO	NO	NO	NO
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)	NO	NO	NO	NO
Number of Plants Required				
Shade Trees	113/40 = 3	252/40 = 6	110/40 = 3	28/60 = 1
Evergreen Trees	0	0	0	28/10 = 3
Shrubs	113/4 = 28	252/4 = 63	110/4 = 28	0
Number of Plants Provided				
Shade Trees	2	4	3	1
Evergreen Trees	5	6	15	3
Other Trees (2:1 substitution)	0	0	0	0
Shrubs (10:1 substitution)	26	63	15	0

AS-BUILT CERTIFICATION FOR PDMA
 THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.
 Paul Hudson 5-28-13
 PAUL HUDSON PE# 8061



AS-BUILT NOT REQUIRED
 SURVEY SERVICES OF MD., LLC.
 BY: ROBERT MATIS - REG. # 605



Landscape Plans
 1 of 3
 12/20/11
 Date

DAFT MCCUNE WALKER INC
 200 EAST PENNSYLVANIA AVENUE • TOWSON, MD 21286
 P: 410 296 3333 F: 410 296 4705 WWW.DMW.COM

A TEAM OF LAND PLANNERS, LANDSCAPE ARCHITECTS, ENGINEERS, SURVEYORS & ENVIRONMENTAL PROFESSIONALS

PROJECT NAME: EMERSON DEVELOPMENT V, LLC SECTION/AREA: PARCEL B & E-1 PAR. 165
 112045 STATION COURT SUITE 200 TIMONIA, MD 21088
 PARCEL # OR LOT: 21077 & 21278 BOOK # 20 PAGE # 47 TAX MAP # 47 GRID 8 PARCEL 1051 TAX MAP # 47 GRID 20 PARCEL 165
 PROJECT CODE: 609503 SHEET CODE: 609503

TITLE: **LANDSCAPE PLAN PARCEL B'**

Des. By: TPC Scale: 1" = 50' Proj. No.: 95054.6
 Dm. By: TPC Date: 12-13-11
 Chk. By: THRJDF Approved: 21 of 26
 Landscape Architect

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING
 Chief, Division of Land Development 4-10-12 DATE
 Chief, Development Engineering Division 4-2-12 DATE
 Director 8/1/12 DATE

EMERSON PARCEL B & E-1
 L.E.E.D. BUILDING
 5-STORY COMMERCIAL OFFICE BUILDING
 OWNER/DEVELOPER:
 PARCEL B' - EMERSON DEVELOPMENT V, LLC 112045 STATION COURT SUITE 200 TIMONIA, MD 21088
 PARCEL E-1 - EMERSON DEVELOPMENT II, LLC 112045 STATION COURT SUITE 200 TIMONIA, MD 21088
 TAX MAP # 47 GRID 8 PARCEL 1051 TAX MAP # 47 GRID 20 PARCEL 165
 EMERSON SECTION 3 AREA 1 REVITZ PROPERTY DEED: 1479747
 TAX ACCT # 06-572553 TAX ACCT # 06-572221
 PLAT: 162829 PLAT: 162825

DMW

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LEGEND

- PROPERTY BOUNDARY
- - - EX RIGHT OF WAY
- - - ADJACENT PROPERTY BOUNDARY
- - - EX EASEMENT
- - - EX ROADS AND WALKS
- - - EX MAJOR CONTOUR
- - - EX MINOR CONTOUR
- 280 ---
- FOREST CONSERVATION EASEMENT
- EX STREET TREE
- ⊗ EX STREET TREE TO BE REMOVED
- ⊕ EX STREET LIGHT
- ⊙ EX STORM DRAIN
- ⊖ EX SANITARY SEWER
- ⊗ EX WATER
- ⚡ OH --- EX OVERHEAD ELECTRIC
- ▭ PROP. BUILDING
- ▬ PROP. CURB / EDGE OF PAVING
- ▬ PROP. DEPRESSED CURB
- ▬ PROP. REVERSE CURB
- ⊕ PROP. GROUP LIGHT (BY OTHERS)
- ⊕ PROP. SINGLE LIGHT (BY OTHERS)
- ⊕ PROP. LIGHT (BY OTHERS)
- ▬ LIMIT OF DISTURBANCE
- ⊙ PROP. STORM DRAIN
- ⊙ PROP. SANITARY SEWER
- ⊙ PROP. WATER
- PROP. DECIDUOUS SHADE TREE
- PROP. EVERGREEN TREE
- PROP. SHRUBS
- DESIGNATED STREET TREE
- 1 NS HOWARD COUNTY REQUIRED TREE

PLANT LIST

QTY.	SYM.	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
SHADE TREES					
11	AR	Acer rubrum 'October Glory'	October Glory Red Maple	2 1/2" - 3" Cal, 12'-14" Ht.	B & B, Full head
4	LS	Liquidambar styraciflua 'Rotundiloba'	Seedless Sweetgum	2 1/2" - 3" Cal, 12'-14" Ht.	B & B, Full head
9	NS	Nyssa sylvatica	Black Gum	2 1/2" - 3" Cal, 12'-14" Ht.	B & B, Full head
8	PA	Platanus x acerifolia 'Bloodgood'	Bloodgood London Plane Tree	2 1/2" - 3" Cal, 12'-14" Ht.	B & B, Full head
8	QP	Quercus palustris	Pin Oak	2 1/2" - 3" Cal, 12'-14" Ht.	B & B, Full head
SHADE TREES					
8	MZ	Malus x zumi 'Calocarpa'	Zumi Crabapple	2" - 2 1/2" Cal, 8'-10" Ht.	B & B, Full head
4	PY	Prunus x yedoensis	Yoshino Cherry	2" - 2 1/2" Cal, 8'-10" Ht.	B & B, Full head
Evergreen Trees					
6	IN	Ilex x 'Nelle R. Stevens'	'Nelle R. Stevens' Holly	6' - 7' Ht.	B&B Single Leader
2	IO	Ilex opaca	American Holly	6' - 7' Ht.	B&B Single Leader
6	TP	Thuja plicata 'Green Giant'	Green Giant Arborvitae	6' - 7' Ht.	B&B Single Leader
SHRUBS					
45	ca	Clethra alnifolia	Summersweet Clethra	2 1/2" - 3" Ht.	Cont. or B&B
16	mp	Myrica pensylvanica	Northern Bayberry	2' - 2 1/2" Ht.	Cont. or B&B
49	rc	Rhododendron catawbiense 'Roseum Elegans'	'Roseum Elegans' Catawba Rhododendron	2' - 2 1/2" Ht.	Cont. or B&B
22	rp	Rhododendron 'PJM'	PJM Rhododendron	2' - 2 1/2" Ht.	Cont. or B&B
39	tb	Taxus baccata 'Repandens'	Spreading English Yew	18" - 24" Spread	Cont. or B&B
48	vd	Viburnum dentatum	Arrowwood Viburnum	2 1/2" - 3" Ht.	Cont. or B&B

SEEDING IS REQUIRED FOR ALL OPEN AREAS. SEE NOTE 5.
 * DESIGNATED STREET TREE

THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.

NOTES:

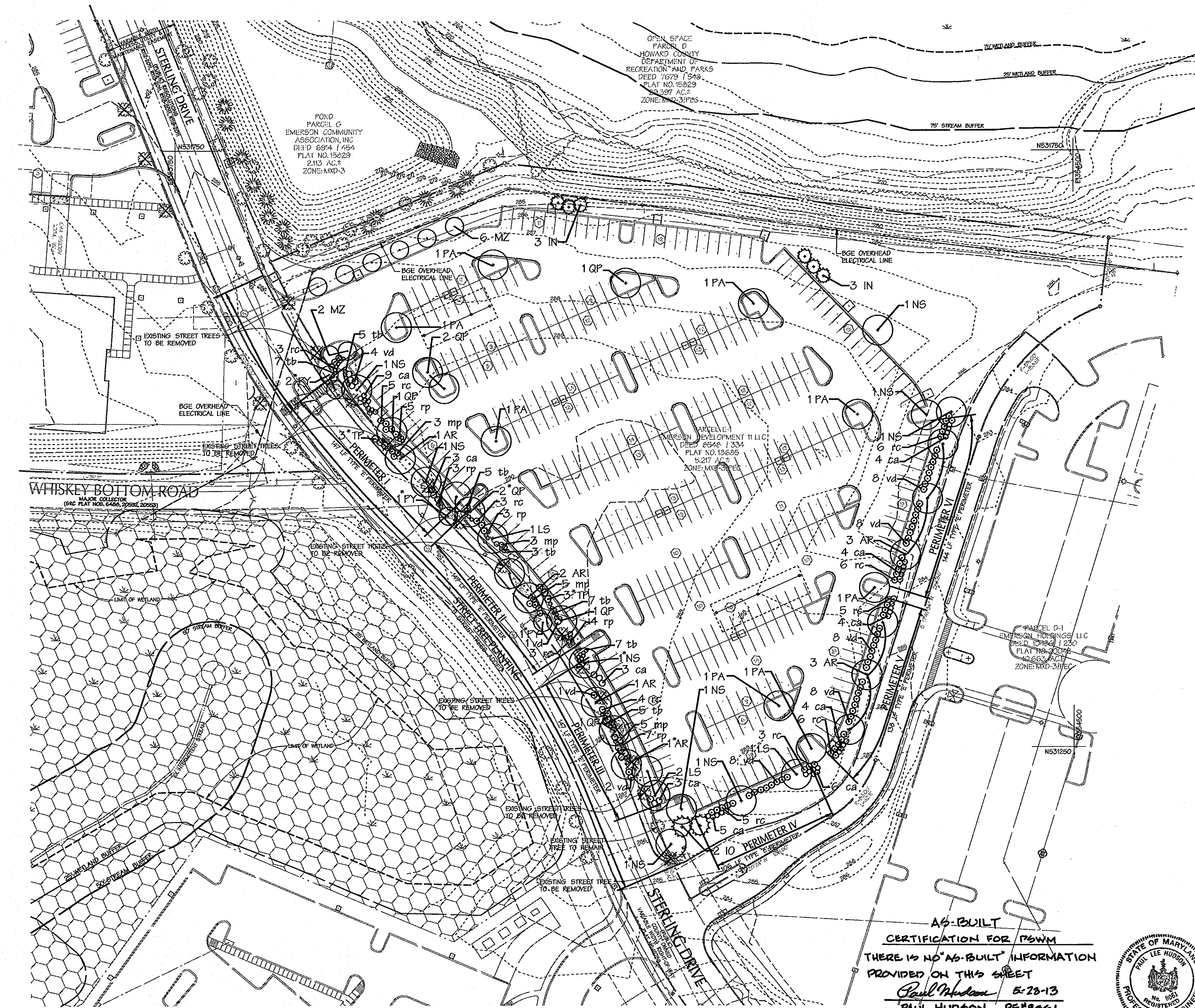
- AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.024 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL. FINANCIAL LANDSCAPE SURETY FOR PARCEL E-1 IN THE AMOUNT OF \$19,750 IS TO BE POSTED FOR 43 SHADE TREES (28,000 each) AND 209 SHRUBS. THE TOTAL FINANCIAL SURETY FOR BOTH PARCELS B AND E-1 IS \$28,000. SURETY MUST BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT.
- EMERSON IS GOVERNED BY COVENANTS WHICH REQUIRE ADDITIONAL PLANT MATERIAL AND APPROVAL FROM THE HOWARD HUGHES ARCHITECTURAL REVIEW COMMITTEE. PLEASE REFER TO PLAN APPROVAL LETTER FROM HOWARD HUGHES.
- ALL PROPERTY PERIMETERS, EXCEPT STERLING DRIVE AND WHISKEY BOTTOM ROAD, ARE EXEMPT FROM LANDSCAPING REQUIREMENTS SINCE THIS PARCEL IS INTERNAL TO THE EMERSON (REVITZ PROPERTY) SUBDIVISION.
- SEEDING IS REQUIRED FOR ALL OPEN AREAS. PROVIDE A MINIMUM OF 4 INCHES OF TOPSOIL WHERE SEEDING IS PLACED. USE TALL FESCUE STATE CERTIFIED GRASS SEED.

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING

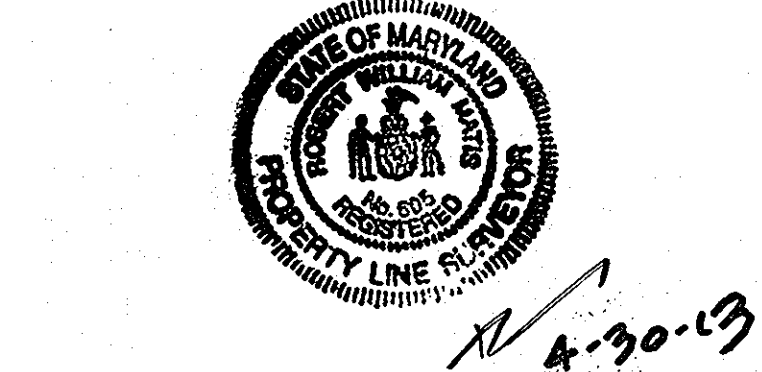
	TREE VALUE
Number of Surface Parking Spaces	426
Number of Trees Required (1 sh120 sp.)	21
Number of Trees Provided	
Shade Trees	14
Ornamental Trees (21 substitution)	4
Evergreen Trees (21 substitution)	3
Shrubs (101 substitution)	1
Per Howard County Landscape Manual	22

STREET TREE LANDSCAPING (FOR SHEET 22 OF 26)

	TREE VALUE
Street trees along Sterling Drive affected	35
Number of street trees in cul-de-sac	-5
Number of street trees in BGE Green Zone	-1
Number of street trees saved	-11
Total number of street trees to be replaced	18
Number of street trees to replace in Parcel B	9
Shade Trees provided	5
Other Trees (21 substitution)	4
Number of street trees to replace in Parcel E-1	9
Shade Trees provided	5
Evergreen Trees (21 substitution)	3
Other Trees (21 substitution)	2
	10



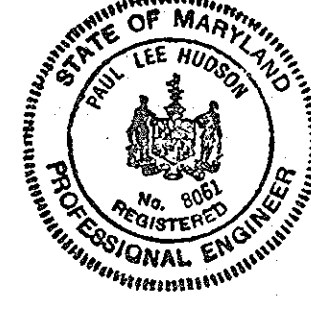
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 SURVEY SERVICES OF MD., LLC.
 BY: ROBERT MATIS - REG.#605



SCHEDULE A PERIMETER LANDSCAPE EDGE - Per Howard County Landscape Manual

Category	Perimeter I Parking Adjacent to Roadway	Perimeter II Parking Adjacent to Roadway	Perimeter III Parking Adjacent to Roadway	Perimeter IV Parking Adjacent to Roadway	Perimeter V Parking Adjacent to Roadway	Perimeter VI Parking Adjacent to Roadway
Landscape Type	E	E	E	E	E	E
Linear Feet of Roadway Frontage/Perimeter	147 LF.	147 LF.	147 LF.	106 LF.	138 LF.	144 LF.
Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	NO	NO	NO	NO	NO	NO
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)	NO	NO	NO	NO	NO	NO
Number of Plants Required						
Shade Trees	147/40 = 4	147/40 = 4	147/40 = 4	106/40 = 3	138/40 = 3	144/40 = 4
Evergreen Trees	0	0	0	0	0	0
Shrubs	147/4 = 37	147/4 = 37	147/4 = 37	106/4 = 27	138/4 = 35	144/4 = 36
Number of Plants Provided						
Shade Trees	4	4	4	3	3	4
Evergreen Trees	0	0	0	2	0	0
Other Trees (21 substitution)	0	0	0	2	0	0
Shrubs (101 substitution)	37	37	37	27	35	36

AS-BUILT CERTIFICATION FOR PSWM
 THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET
 Paul Hudson 5-23-13
 PAUL HUDSON PE#8061



Landscape Plans
 2 of 3
 Date: 12/20/11
 Landscape Architect

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING
 Chief, Division of Land Development: 4-10-12
 Chief, Development Engineering Division: 4-2-12
 Director: 4/10/12

EMERSON PARCEL B & E-1
 L.E.E.D. BUILDING
 5-STORY COMMERCIAL OFFICE BUILDING
 OWNER/DEVELOPER:

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 1724AS STATION COURT
 SUITE 200
 TIMONIUM, MD 21088
 TAX MAP # 47 GRID 8 PARCEL 1051
 REVITZ PROPERTY
 DEED: 10/09/09
 TAX ACCT # 06-572553
 PLAT: 15829

PARCEL E-1 - EMERSON DEVELOPMENT II, LLC
 1724AS STATION COURT
 SUITE 200
 TIMONIUM, MD 21088
 TAX MAP # 47 GRID 20 PARCEL 165
 REVITZ PROPERTY
 DEED: 10/09/09
 TAX ACCT # 06-572227
 PLAT: 15829

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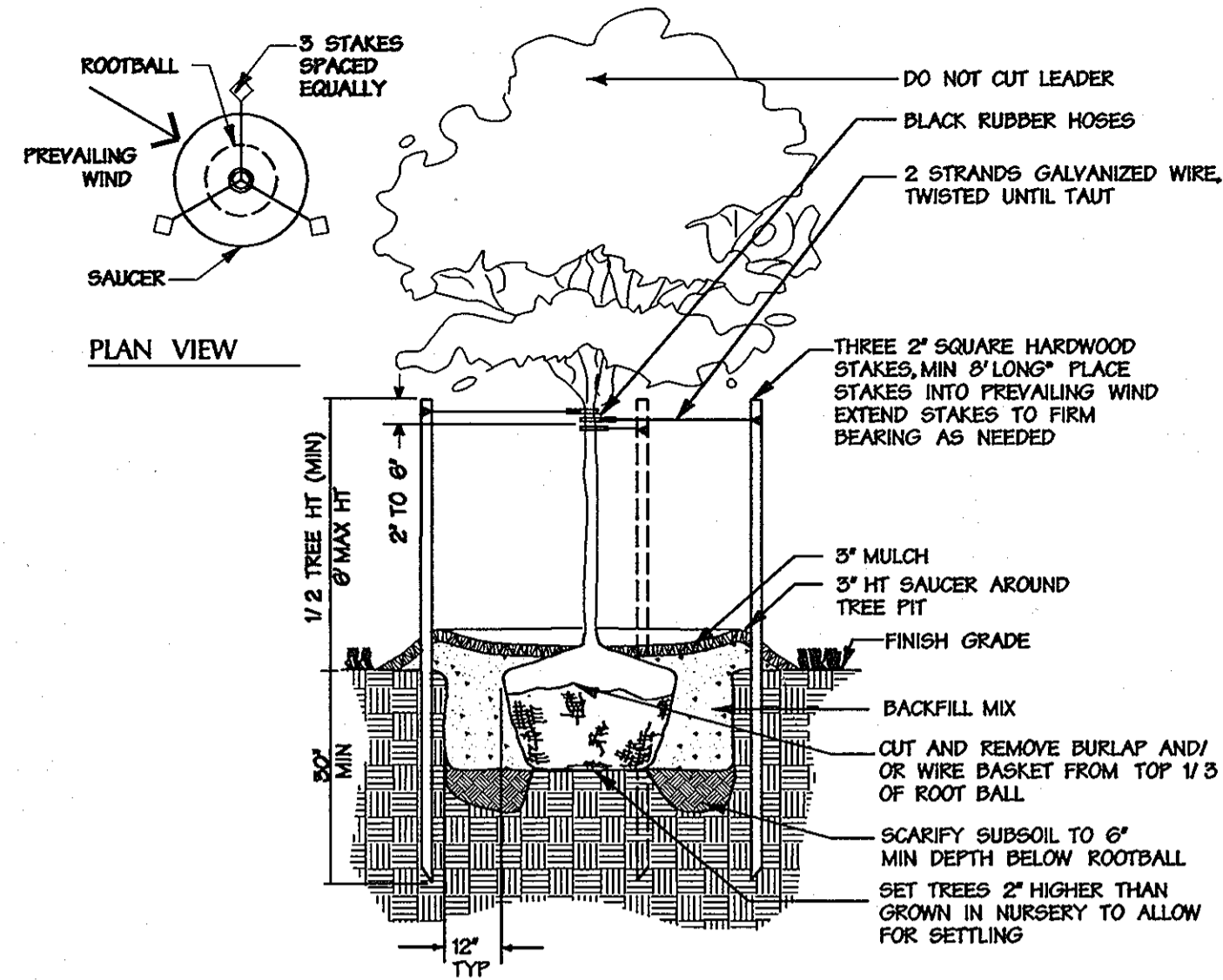
SECTION NAME: REVITZ PROPERTY & EMERSON SUBDIVISION SECTION 3 AREA 1
 PLAT OR L.P. NO.: 21277 & 21278
 BLOCK # 20
 LOT # 1051
 YOUR CODE: 06

SECTION/AREA: SECTION 3 AREA 1
 PARCEL # PARCEL B & E-1 PAR. 165
 BASIS TRACT: 606903

TITLE: **LANDSCAPE PLAN PARCEL E-1**

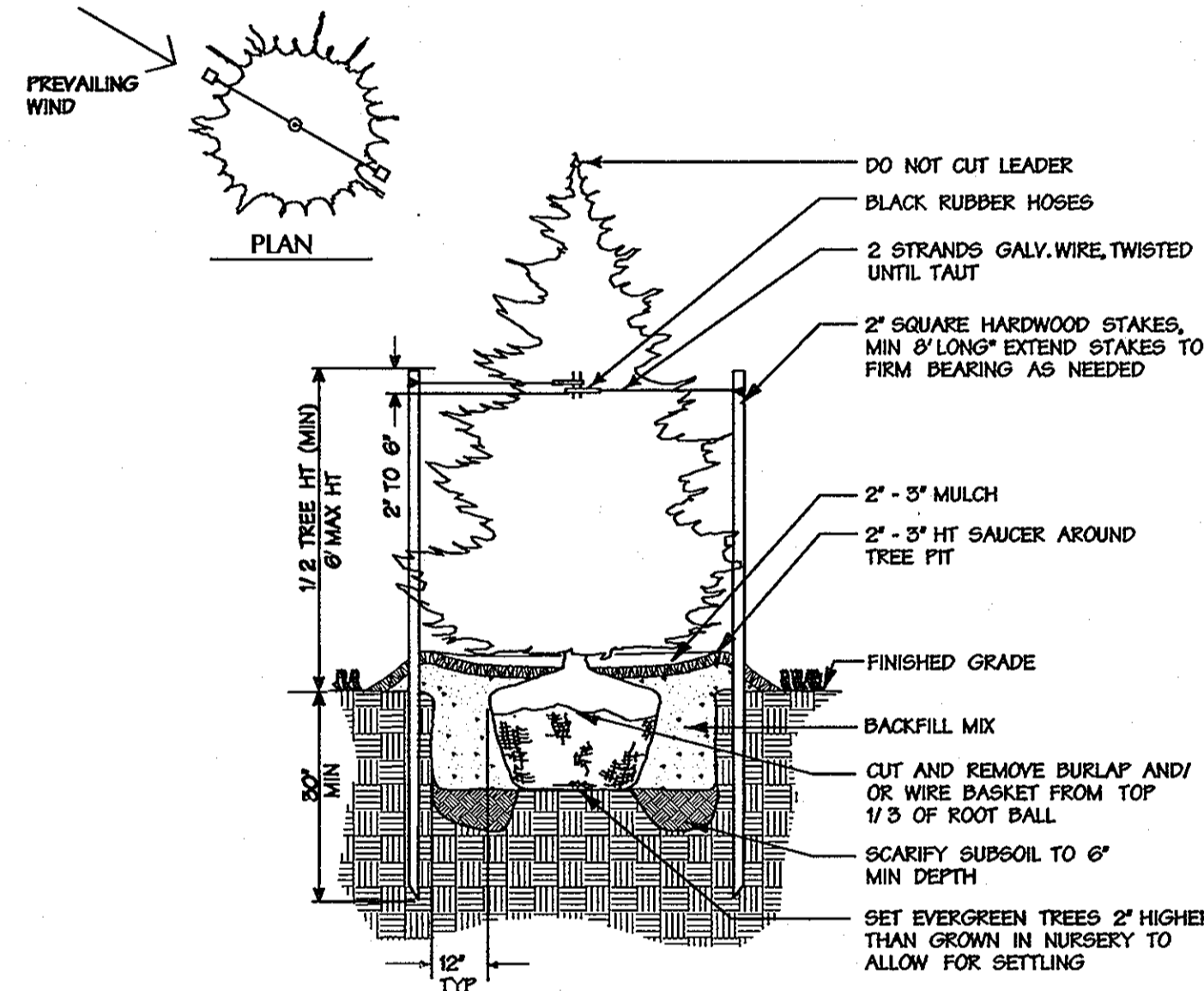
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22 of 26
 SDP-12-010



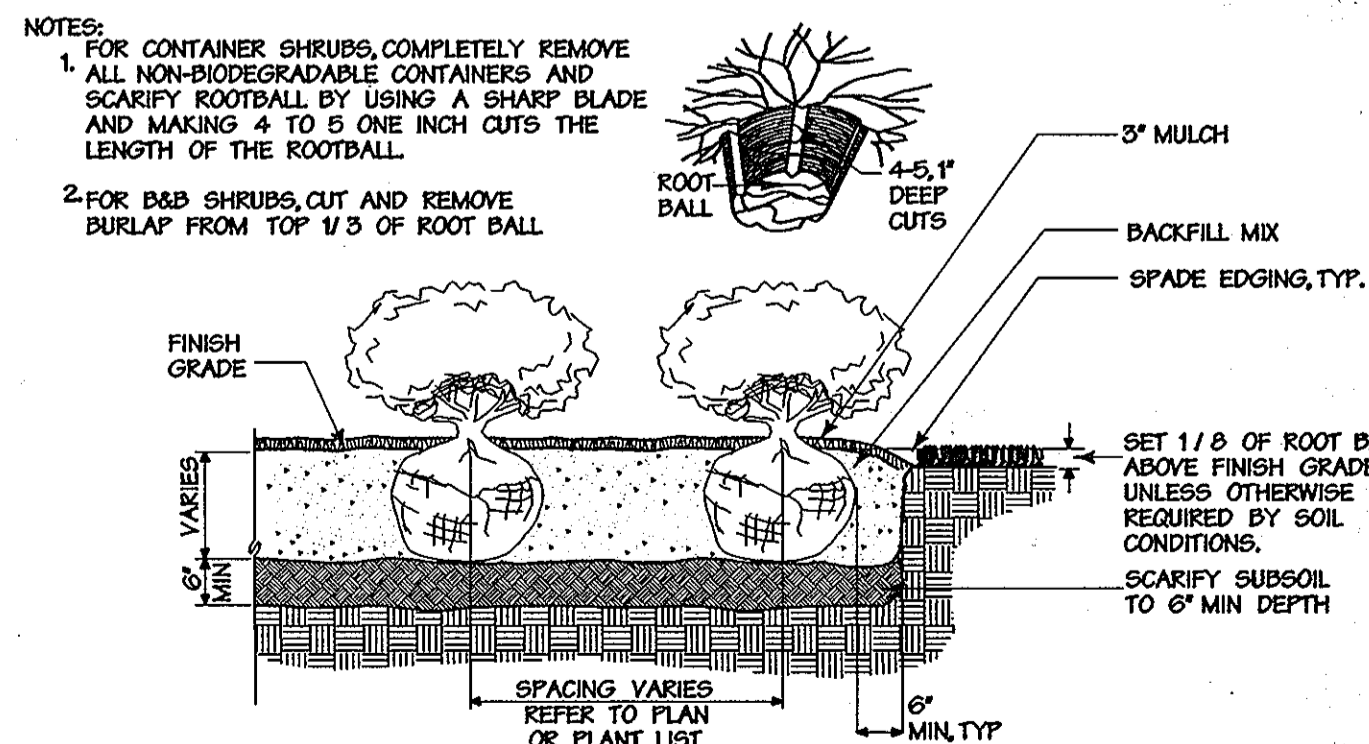
Deciduous Tree Planting Detail

Not to Scale



Evergreen Tree Planting Detail

Not to Scale



Continuous Bed Shrub Planting Detail

Not to Scale

PLANTING SPECIFICATIONS

1. MAINTAIN POSITIVE DRAINAGE OUT OF PLANTING BEDS AT A MINIMUM 2% SLOPE. ALL GRADES, DIMENSIONS, AND EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR ON SITE BEFORE CONSTRUCTION BEGINS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT OR OWNER.
2. THE CONTRACTOR SHALL NOTIFY MISS UTILITY (800-257-7777) A MINIMUM OF THREE WORKING DAYS PRIOR TO PLANTING AND CONSTRUCTION.
3. THE CONTRACTOR IS ADVISED OF THE EXISTENCE OF UNDERGROUND UTILITIES ON THE SITE. THEIR EXACT LOCATION SHALL BE VERIFIED IN THE FIELD WITH THE OWNER OR GENERAL CONTRACTOR PRIOR TO THE COMMENCEMENT OF ANY DIGGING OPERATIONS. IN THE EVENT THEY ARE UNCOVERED, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DAMAGE TO UTILITIES AND SUCH DAMAGE SHALL NOT RESULT IN ANY ADDITIONAL EXPENSES TO THE OWNER.
4. IF UTILITY LINES ARE ENCOUNTERED IN EXCAVATION OF TREE PITS, OTHER LOCATIONS FOR TREES SHALL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COMPENSATION. NO CHANGES OF LOCATION SHALL BE MADE WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT.
5. PLANT MATERIAL SUBSTITUTIONS WILL NOT BE ACCEPTED WITHOUT WRITTEN CONSENT OF THE OWNER OR LANDSCAPE ARCHITECT.
6. PLANT QUANTITIES ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. IN THE EVENT OF VARIATION BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND THE PLANS, THE PLANS SHALL CONTROL. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES PRIOR TO THE COMMENCEMENT OF WORK. SOO QUANTITY TAKE-OFFS ARE THE RESPONSIBILITY OF THE CONTRACTOR. ALL DISCREPANCIES SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO BIDDING. THE CONTRACTOR SHALL FURNISH PLANT MATERIAL IN SIZES AS SPECIFIED IN PLANT LIST.
7. PLANT MATERIAL SUBSTITUTIONS WILL NOT BE ACCEPTED WITHOUT WRITTEN CONSENT OF THE OWNER OR LANDSCAPE ARCHITECT.
8. ALL PLANTS (B&B OR CONTAINER) SHALL BE PROPERLY IDENTIFIED BY WEATHER-PROOF LABELS SECURELY ATTACHED THERETO BEFORE DELIVERY TO PROJECT SITE. LABELS SHALL IDENTIFY PLANTS BY NAME, SPECIES, AND SIZE. LABELS SHALL NOT BE REMOVED UNTIL THE FINAL INSPECTION BY THE LANDSCAPE ARCHITECT OR AGENT IN CHARGE.
9. ANY MATERIAL AND/OR WORK MAY BE REJECTED BY THE LANDSCAPE ARCHITECT IF IT DOES NOT MEET THE REQUIREMENTS OF THE SPECIFICATIONS. ALL REJECTED MATERIALS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.
10. THE LANDSCAPE CONTRACTOR SHALL STAKE ALL MATERIAL LOCATED ON THE SITE FOR REVIEW AND POSSIBLE ADJUSTMENTS BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING. ALL LOCATIONS ARE TO BE APPROVED BY THE LANDSCAPE ARCHITECT BEFORE EXCAVATION.
11. THE LANDSCAPE ARCHITECT OR OWNER SHALL HAVE THE RIGHT, AT ANY STAGE OF THE OPERATIONS, TO RECTIFY ANY AND ALL WORK AND MATERIAL WHICH IN HIS OPINION, DOES NOT MEET THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS.
12. THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR STABILITY AND CONDITIONS OF ALL TREES AND SHRUBS AND SHALL BE LEGALLY LIABLE FOR ANY DAMAGE CAUSED BY INSTABILITY OF ANY PLANT MATERIALS.
13. ALL PROPOSED TREES TO BE INSTALLED EITHER ENTIRELY IN OR ENTIRELY OUT OF PLANTING BEDS. PLANTING BED LINES ARE NOT TO BE OBSTRUCTED. ALL SHRUBS AND GROUND COVER AREAS SHALL BE PLANTED IN CONTINUOUS PREPARED BED AND TOP DRESSED WITH 3-INCH SHREDDED HARDWOOD MULCH. MULCH SHALL HAVE BEEN SHREDDED WITHIN THE LAST SIX MONTHS.
14. ALL PLANTING BEDS ADJACENT TO LAWN, SOO, OR SEEDED AREAS SHALL BE SPADE EDGED.
15. ALL SOO SHALL BE OBTAINED FROM AREAS HAVING GROWING CONDITIONS FAMILIAR TO AREAS TO BE COVERED. AREAS TO BE SOOED SHALL BE RAKED OF STONES AND DEBRIS. DEBRIS AND STONES OVER 1 INCH IN DIAMETER SHALL BE REMOVED FROM THE SITE. ALL DAMAGED SOO WILL BE REJECTED. ALL SOO MUST BE PLACED WITH STAGGERED JOINTS, TIGHTLY BUTTED, WITH NO INEQUALITIES IN GRADE. PLACE ALL SOO IN ROWS AT RIGHT ANGLES TO SLOPES (WHERE APPLICABLE).
16. MAINTENANCE SHALL BEGIN AFTER EACH PLANT HAS BEEN INSTALLED AND SHALL CONTINUE UNTIL 90 DAYS AFTER FINAL ACCEPTANCE BY THE ARCHITECT OR OWNER. REPRESENTATIVE MAINTENANCE INCLUDES MOWING OF TURF, WATERING, PRUNING, WEEDING, FERTILIZING, MULCHING, REPLACEMENT OF SICK OR DEAD PLANTS, AND ANY OTHER CARE NECESSARY FOR THE PROPER GROWTH OF THE PLANT MATERIAL. THE CONTRACTOR MUST BE ABLE TO PROVIDE CONTINUED MAINTENANCE IF REQUESTED BY THE OWNER.
17. UPON COMPLETION OF ALL LANDSCAPING AN ACCEPTANCE OF THE WORK SHALL BE HELD. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OR OWNER FOR SCHEDULING THE INSPECTION AT LEAST SEVEN (7) DAYS PRIOR TO THE ANTICIPATED INSPECTION DATE.
18. THE LIFE AND ROBUST HEALTH OF ALL TREES, SHRUBS AND GROUND COVER SHALL BE GUARANTEED FOR 12 MONTHS FROM THE DATE OF ACCEPTANCE.
19. MAINTAIN POSITIVE DRAINAGE OUT OF PLANTING BEDS AT A MINIMUM 2% SLOPE. ALL GRADES, DIMENSIONS, AND EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR ON SITE BEFORE CONSTRUCTION BEGINS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT OR OWNER.
20. THE CONTRACTOR SHALL INSURE THAT HIS WORK DOES NOT INTERRUPT ESTABLISHED OR PROTECTED DRAINAGE PATTERNS.
21. THE CONTRACTOR SHALL INSURE ADEQUATE VERTICAL DRAINAGE IN ALL PLANT BEDS AND PLANTERS.
22. THE CONTRACTOR SHALL REVIEW ARCHITECTURAL/ENGINEERING PLANS TO BECOME THOROUGHLY FAMILIAR WITH GRADING AND SURFACE UTILITIES.
23. ALL EQUIPMENT AND TOOLS SHALL BE PLACED SO AS NOT TO INTERFERE OR HINDER THE PEDESTRIAN AND VEHICULAR TRAFFIC FLOW.
24. THE CONTRACTOR SHALL COORDINATE WITH LIGHTING AND IRRIGATION CONTRACTORS REGARDING TIMING OF INSTALLATION OF PLANT MATERIAL.
25. DURING PLANTING OPERATIONS, EXCESS WASTE MATERIALS SHALL BE PROMPTLY AND FREQUENTLY REMOVED FROM THE SITE.
26. THE CONTRACTOR SHALL DISPOSE OF STUMPS AND MAJOR ROOTS OF ALL PLANTS TO BE REMOVED. ANY DEPRESSIONS CAUSED BY REMOVAL OPERATIONS SHALL BE REEFILLED WITH FERTILE, FRIABLE SOIL PLACED AND COMPACTED SO AS TO REESTABLISH PROPER GRADE FOR NEW PLANTING AND/OR LAWN AREAS.
27. ALL AREAS WITHIN CONTRACT LIMITS DISTURBED DURING OR PRIOR TO CONSTRUCTION NOT DESIGNATED TO RECEIVE PLANTINGS AND MULCH SHALL BE FINE GRADED AND SEEDED IN ACCORDANCE WITH PLANTING AND CONSTRUCTION SPECIFICATIONS.
28. EVERY POSSIBLE SAFEGUARD SHALL BE TAKEN TO PROTECT BUILDING SURFACES, EQUIPMENT, AND FURNISHING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSON OR PROPERTY WHICH MAY OCCUR AS A RESULT OF HIS NEGLIGENCE IN THE EXECUTION OF THE WORK.
29. THE CONTRACTOR IS RESPONSIBLE FOR TESTING PROJECT SOILS. THE CONTRACTOR IS TO PROVIDE A CERTIFIED SOILS REPORT TO THE OWNER. THE CONTRACTOR SHALL VERIFY THAT THE SOILS ON SITE ARE ACCEPTABLE FOR THE PROPER GROWTH OF THE PROPOSED PLANT MATERIAL. SHOULD THE CONTRACTOR FIND POOR SOIL CONDITIONS, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE SOIL AMENDMENTS AS NECESSARY. THESE AMENDMENTS SHALL INCLUDE, BUT NOT BE LIMITED TO, FERTILIZERS, LIME, AND TOPSOIL. PROPER PLANTING SOILS MUST BE VERIFIED PRIOR TO PLANTING OF MATERIALS.
30. PLANTING MIX:
 - A) PLANTING MIX SHALL BE PREPARED AT APPROVED ON-SITE STAGING AREA USING APPROVED ON-SITE EXISTING SOIL. MIX MINIMUM QUANTITIES OF 20 CUBIC YARDS OR SUFFICIENT MIX FOR ENTIRE JOB IF LESS THAN 20 CUBIC YARDS IS REQUIRED.
 - B) THOROUGHLY MIXED IN THE FOLLOWING PROPORTIONS FOR TREE AND SHRUB PLANTING MIX:
 - 5 CY EXISTING SOIL
 - 2 CY SHARP SAND
 - 3 CY WOOD RESIDUALS
 - 4.5 LBS TREBLE SUPERPHOSPHATE
 - 5 LBS DOLMONTITE LIMESTONE (ELIMINATE FOR ACID LOVING PLANTS)
 - C) FOR BED PLANTING SHRUBS AND GROUNDCOVER SPACES 24 INCHES OR CLOSER, INCORPORATE THE FOLLOWING INGREDIENTS PER 20 SF AND INCORPORATE INTO TOP 8 INCHES OF EXISTING SOILS BY ROTOTILLING OR SIMILAR METHOD OF INCORPORATION:
 - 2 CY SHARP SAND
 - 3 CY ORGANIC MATERIAL
 - 4.5 LBS TREBLE SUPERPHOSPHATE
 - 5 LBS DOLMONTITE LIMESTONE (ELIMINATE FOR ACID LOVING PLANTS)
31. PLANTS SHALL CONFORM TO CURRENT "AMERICAN STANDARDS FOR NURSERY STOCK" BY AMERICAN ASSOCIATION OF NURSERMEN (AAN), PARTICULARLY WITH REGARD TO SIZE, GROWTH, SIZE OF BALL, AND DENSITY OF BRANCH STRUCTURE. PLANT MATERIAL SHALL BE TAGGED AT THE SOURCE BY THE LANDSCAPE ARCHITECT UNLESS THIS REQUIREMENT IS SPECIFICALLY WAIVED.
32. ALL PLANTING PROCEDURES SHALL CONFORM TO LANDSCAPE CONTRACTORS ASSOCIATION (LCA) SPECIFICATION GUIDELINES FOR BALTIMORE / WASHINGTON METROPOLITAN AREA (LATEST EDITION), LCA LANDSCAPE SPECIFICATION GUIDELINES (4TH ED) SECTION 1.6, REPLACEMENT AND CONDITIONS. "ITEM F. PLANT LOSSES DUE TO ABNORMAL WEATHER" DOES NOT APPLY.
33. ALL PLANTING PROCEDURES SHALL CONFORM TO DAFT MACHINE WALKER, INC. SPECIFICATIONS.
34. PLANTING RECOMMENDATIONS DELINEATED IN DMW'S STANDARD SPECIFICATIONS AND PLANTING DETAILS, WHICH ARE INCLUDED OR REFERENCED IN THESE DRAWINGS, ARE INTENDED AS A GENERAL GUIDE. THESE RECOMMENDATIONS ARE NOT BASED UPON A COMPREHENSIVE SOIL TEST OR AN EVALUATION OF THE POST-CONSTRUCTION CONDITIONS IN WHICH THE LANDSCAPE CONTRACTOR WILL BE EXPECTED TO WORK.

IN ORDER FOR PLANT MATERIAL TO THRIVE, A SOIL TEST MAY BE NECESSARY. SOIL TESTING SHOULD ADDRESS MICRO- AND MACRO-NUTRIENT LEVELS, SOIL PH, AND A USDA SOIL TEXTURE CLASSIFICATION. FURTHER UNDERSTANDING SOIL CONDITIONS IN AREAS THAT HAVE BEEN DISTURBED BY CONSTRUCTION MAY CONTAIN COMPRESSED AND POORLY DRAINED SOIL, AND THEY MAY LACK ORGANIC MATERIAL OR MICRO-ORGANISMS NECESSARY FOR SUCCESSFUL PLANT GROWTH.

IF THESE CONDITIONS APPEAR TO THE CONTRACTOR TO BE A LIMITATION TO PLANT GROWTH, THE CONTRACTOR IS ENCOURAGED TO MAKE RECOMMENDATIONS FOR A SOIL AMENDMENT PROGRAM SUBJECT TO THE APPROVAL OF THE OWNER AND THE LANDSCAPE ARCHITECT.

SUCCESS OF THE LANDSCAPE PLANTING WILL DEPEND UPON A COMBINATION OF NATURAL RAINFALL AND SUPPLEMENTAL IRRIGATION. IT SHOULD BE NOTED THAT IRRIGATION SHOULD BE APPLIED CAUTIOUSLY, AS NEW PLANTINGS ARE PARTICULARLY VULNERABLE TO OVER-WATERING. WATER CONDITIONS SHOULD BE MONITORED SIX INCHES BELOW THE SURFACE, AND POCKET PLANTED PLANT MATERIAL SHOULD BE CAREFULLY INVESTIGATED FOR ACCUMULATION OF WATER IN THE PLANTING PITS.

ANOTHER KEY INGREDIENT TO SUCCESSFUL PLANTING IS THE USE OF PLANT MATERIAL THAT HAS BEEN GROWN IN SIMILAR LIGHT AND WATER CONDITIONS TO THOSE PROPOSED. IN PARTICULAR, GROUNDCOVERS, ANNUALS, AND PERENNIALS -- WHICH MAY HAVE BEEN GROWN UNDER PROTECTED SHADING OR COVER AND ARE THEN SUBJECTED TO FULL WEATHER CONDITIONS -- MAY NEED CONDITIONING PRIOR TO INSTALLATION.

AS-BUILT CERTIFICATION FOR PSWM
THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.

Paul Hudson 5-28-13
PAUL HUDSON PE# 8061



DEVELOPER'S | BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.

I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME: *[Signature]* DATE: 12/16/11

"THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL."

PROVIDE THE FOLLOWING NOTE ON THE LANDSCAPE PLAN:

THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.

AS-BUILT NOT REQUIRED
SURVEY SERVICES OF MD, LLC.
BY: ROBERT MATIS - REG. # 605



APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING	4-10-12
<i>[Signature]</i> CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
<i>[Signature]</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION	4-2-12
<i>[Signature]</i> DIRECTOR	4/10/12
DATE	

Date	No.	Revision Description

EMERSON PARCEL B & E-1
L.E.E.D. BUILDING
5-STORY COMMERCIAL OFFICE BUILDING
OWNER/DEVELOPER:

PARCEL "B" - EMERSON DEVELOPMENT LLC 1 TEXAS STATION COURT SUITE 200 TIMONUM, MD 21085 TAX MAP 47 GRID 3 PARCEL 1051 EMERSON SECTION 3 AREA 1 DEED: 147917 TAX ACCT # 06-572253 PLAT: 152629	PARCEL "E-1" - EMERSON DEVELOPMENT LLC 1 TEXAS STATION COURT SUITE 200 TIMONUM, MD 21085 TAX MAP 47 GRID 20 PARCEL 965 KEYTZ PROPERTY DEED: 1010619 TAX ACCT # 06-572221 PLAT: 152626
----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

Landscape Plans
3 of 3
12/20/11
Date

LANDSCAPE DETAILS

Des. By	TPC	Scale	NTS	Proj. No.	95054.6
Dim. By	TPC	Date	12-13-11		
Chk. By	THR/JDF	Approved			

23 of 26

SDP-12-010



200 EAST PENNSYLVANIA AVENUE • TOWSON, MD 21286
P - 410.294.5355 F - 410.299.8706 WWW.DMW.COM

SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL #
KEYTZ PROPERTY & EMERSON SECTION 3 AREA 1	SECTION 3 AREA 1	PARCEL B & E-1 / PAR. 165
PLAT OR LOT	BLK. #	BLK. #
21074 & 21270	20	1000
WATER CODE	SEWER CODE	
		606903



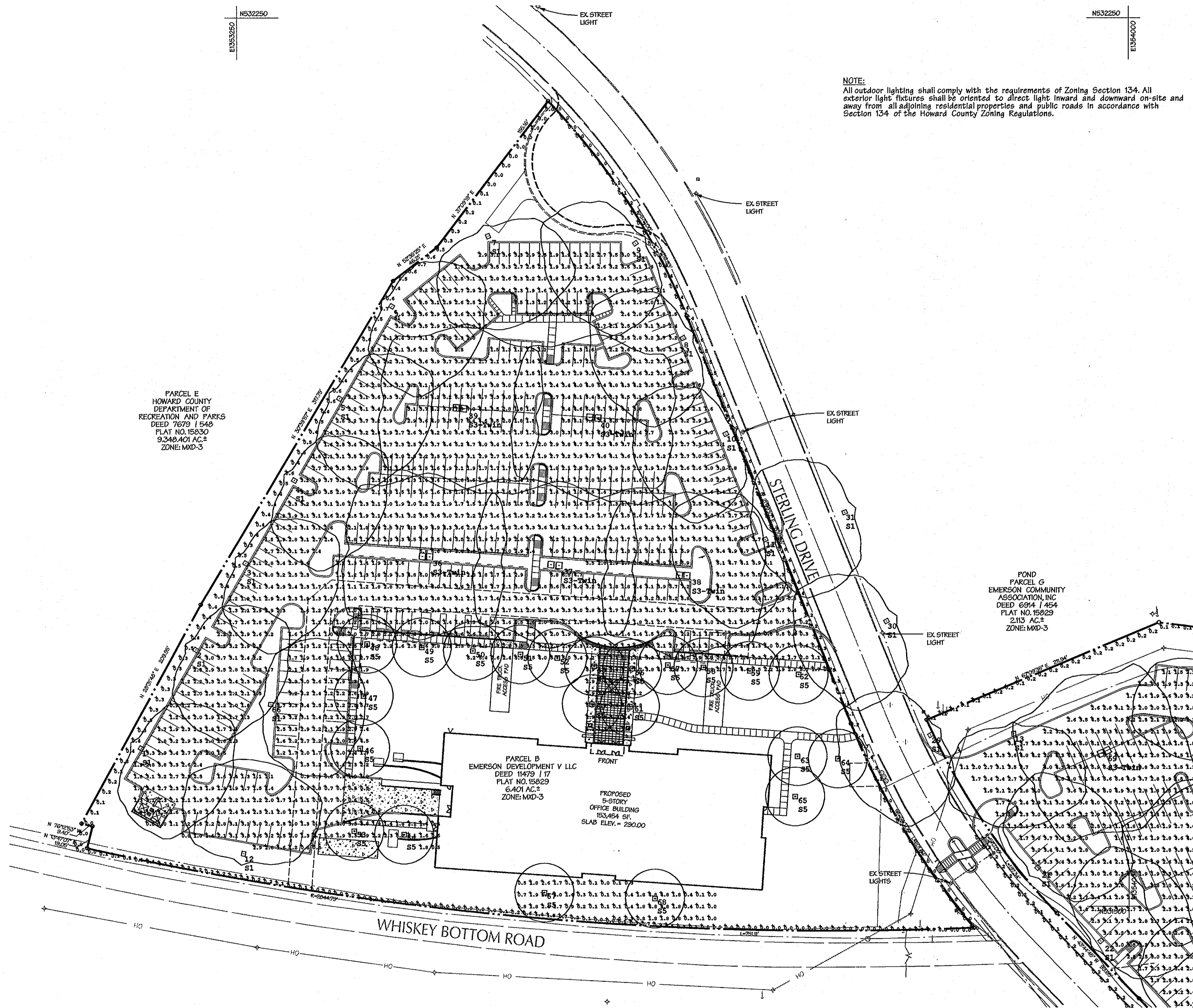
16028100 2011

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Back of Building	Illuminance	Fc	1.14	4.9	0.0	N.A.
Boundary Lot 1	Illuminance	Fc	0.26	1.5	0.0	N.A.
Boundary Lot 2	Illuminance	Fc	0.09	0.3	0.0	N.A.
Parking Lot 1	Illuminance	Fc	2.63	7.5	0.2	13.15
Parking Lot 2	Illuminance	Fc	2.77	8.0	0.8	3.46

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Lumens	LF	Description
[E]	22	S5	SINGLE	6700	0.880	SAC-45-14076
[F]	11	S3-Twin	GROUP	N.A.	0.800	(2) MPR-350-MP-MT-4S COOPER TRIBUTE TWIN ASSEMBLY
[G]	31	S1	SINGLE	33000	0.800	MFR-350-MP-XX-SL COOPER TRIBUTE SINGLE WITH SPILL LIGHT CONTROL

Luminaire Location Summary						
LumNo	Label	X	Y	Z	Orient	TR
1	S1	1134	1288	30	330.396	0
2	S1	1180	1341	30	330.396	0
3	S1	1222	1414	30	330.396	0
4	S1	1263	1484	30	330.396	0
5	S1	1301	1553	30	330.396	0
6	S1	1345	1631	30	330.396	0
7	S1	1426	1690	30	292.109	0
8	S1	1590	1604	30	205.907	0
9	S1	1550	1684	30	213.69	0
10	S1	1626	1523	30	205.907	0
11	S1	1659	1434	30	205.907	0
12	S1	1230	1169	30	79.995	0
13	S1	1858	1270	30	273.356	0
15	S1	2030	1326	30	263.991	0
16	S1	2118	1316	30	262.876	0
17	S1	2207	1303	30	241.477	0
18	S1	2276	1242	30	220.601	0
19	S1	2342	1169	30	205.201	0
20	S1	2327	1060	30	162.951	0
21	S1	1888	1157	30	45	0
22	S1	1941	1095	30	39.805	0
23	S1	1998	1035	30	39.094	0
24	S1	2051	965	30	35.838	0
25	S1	2094	891	30	21.801	0
26	S1	2171	827	30	106.59	0
27	S1	2252	876	30	144.211	0
28	S1	2258	972	30	160.498	0
29	S1	1798	1269	30	211.608	0
30	S1	1761	1365	30	207.051	0
31	S1	1726	1457	30	200.266	0
36	S3-Twin	1372	1420	30	80.828	0
37	S3-Twin	1462	1413	30	80.828	0
38	S3-Twin	1590	1404	30	80.828	0
39	S3-Twin	1408	1545	30	229.399	0
40	S3-Twin	1514	1537	30	80.828	0
41	S3-Twin	2035	1165	30	79.992	0
42	S3-Twin	2122	1072	30	76.43	0
43	S3-Twin	2143	1211	30	257.9	0
44	S3-Twin	2221	1117	30	81.469	0
45	S3-Twin	2182	957	30	263.047	0
46	S5	1318	1288	12	0	0
47	S5	1321	1302	12	0	0
48	S5	1324	1346	12	0	0
49	S5	1370	1348	12	0	0
50	S5	1413	1340	12	0	0
51	S5	1453	1337	12	0	0
52	S5	1484	1334	12	0	0
53	S5	1515	1188	12	0	0
54	S5	1355	1185	12	0	0
55	S5	1515	1327	12	0	0
56	S5	1547	1325	12	0	0
57	S5	1577	1328	12	0	0
58	S5	1607	1326	12	0	0
59	S5	1646	1323	12	0	0
60	S5	1513	1295	12	0	0
61	S5	1545	1293	12	0	0
62	S5	1687	1320	12	0	0
63	S5	1686	1251	12	0	0
64	S5	1720	1249	12	0	0
65	S5	1684	1217	12	0	0
66	S1	1243	1295	30	356.186	0
67	S5	1473	1136	12	0	0
68	S5	1556	1131	12	0	0
69	S3-Twin	1943	1253	30	79.992	0

NOTE:
All outdoor lighting shall comply with the requirements of Zoning Section 13.4. All exterior light fixtures shall be oriented to direct light inward and downward on-site and away from all adjoining residential properties and public roads in accordance with Section 13.4 of the Howard County Zoning Regulations.

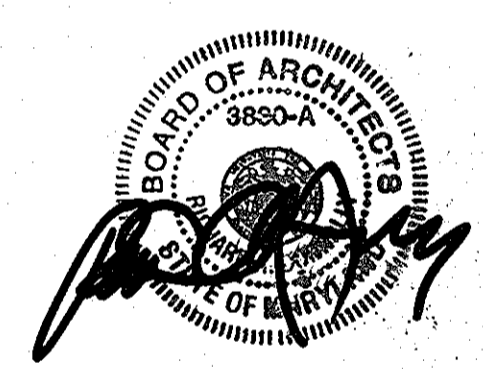
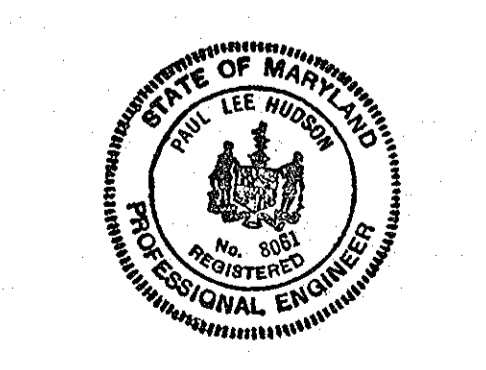


AS-BUILT NOT REQUIRED
SURVEY SERVICES OF MD., LLC.
BY: ROBERT MATIS - REG.# 405



AS-BUILT
CERTIFICATION FOR PSMM
THERE IS NO "AS-BUILT" INFORMATION
PROVIDED ON THIS SHEET.

Paul Hudson 9-28-13
PAUL HUDSON PE# 8061



APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING

Robert Matis 4-10-12
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Paul Hudson 4-2-12
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Mark L. Wright 4/10/12
DIRECTOR DATE

Date	No.	Revision Description

EMERSON PARCEL B & E-1
L.E.E.D. BUILDING
5-STORY COMMERCIAL OFFICE BUILDING
OWNER/DEVELOPER:

PARCEL 'B' - EMERSON DEVELOPMENT V, LLC
1 TEXAS STATION COURT
SUITE 200
TIMONIA, MD 21085
TAX MAP 47 GRID 9 PARCEL 1051
EMERSON SECTION 3 AREA 1
DEED: 1479717
TAX ACCT # 06-572553
PLAT: 15829

PARCEL 'E-1' - EMERSON DEVELOPMENT II, LLC
1 TEXAS STATION COURT
SUITE 200
TIMONIA, MD 21085
TAX MAP 47 GRID 20 PARCEL 1055
RENTZ PROPERTY
DEED: 1470919
TAX ACCT # 06-572227
PLAT: 16665

DMW
DAFT MCCUNE WALKER INC
230 EAST PENNSYLVANIA AVENUE • THURSDAY, MD 21296
F: 410.296.8338 F: 410.296.4705 WWW.DMW.COM
A TEAM OF LAND PLANNERS, LANDSCAPE ARCHITECTS,
ENGINEERS, SURVEYORS & ENVIRONMENTAL PROFESSIONALS

SECTION NAME	SECTION/AREA	LOT/PARCEL #
RENTZ PROPERTY & EMERSON SECTION 3 AREA 1	PARCEL E-1	PARCEL B & E-1 PAR. 105
PLAT # OR LIP	BLOCK #	ZONE
21077 & 21278	20	MDC
WATER CODE	SEWER CODE	

TITLE
LIGHTING PLAN - 'B'

Des. By	JBG	Scale	1" = 50'	Proj. No.	95054.6
Dim. By	JSS	Date	12-13-11		
Chk. By	MCBJ/JDF	Approved			

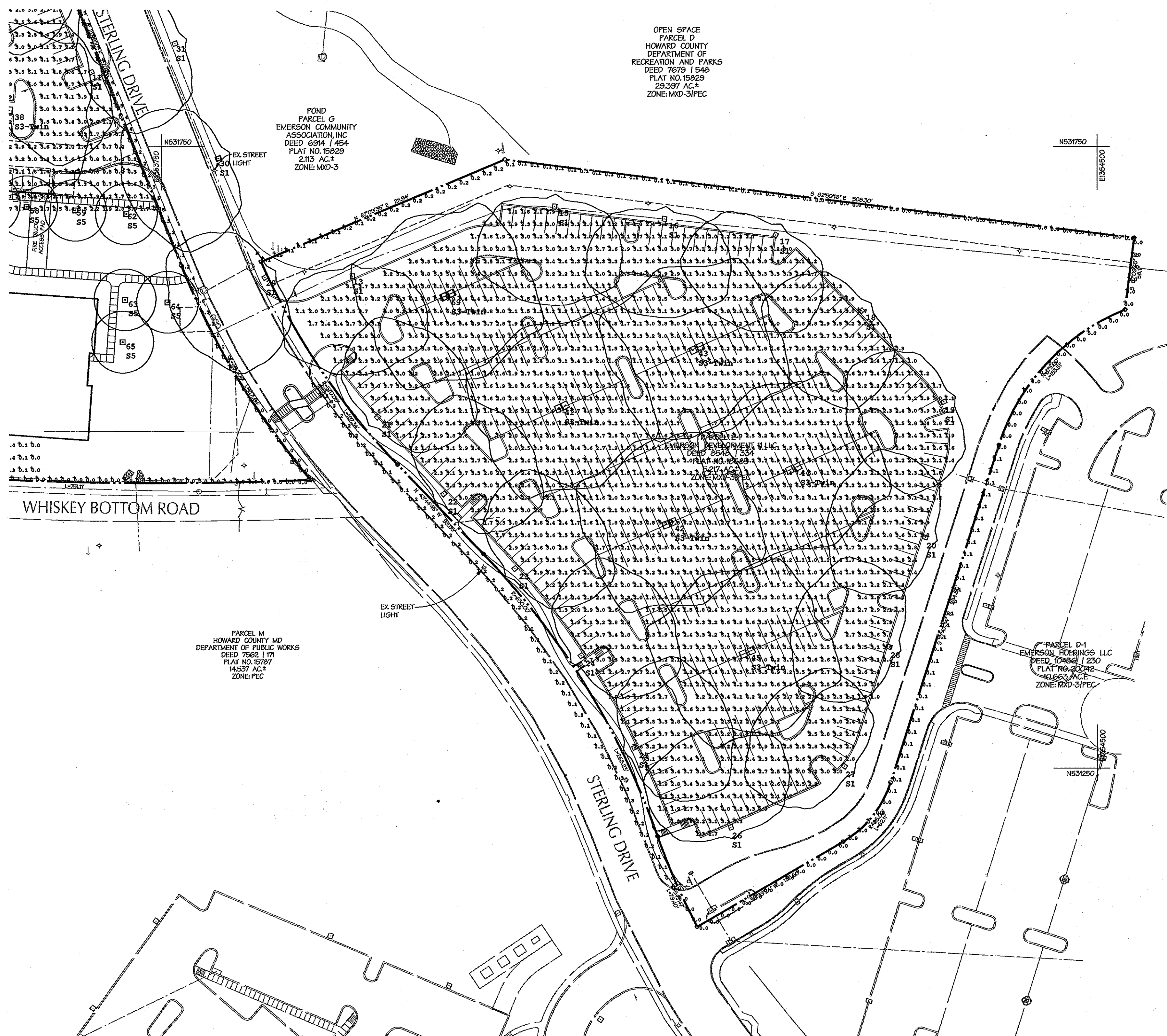
24 of 26

SDP-12-010

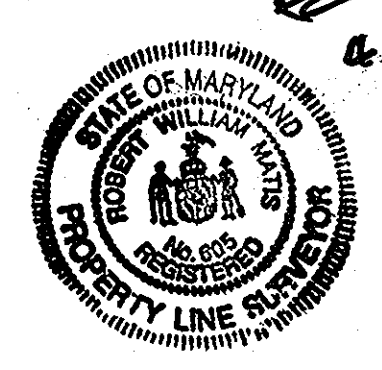
Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Max/Min
Back of Building	Illuminance	Fc	1.14	4.8	0.0	N.A.
Boundary Lot 1	Illuminance	Fc	0.26	1.5	0.0	N.A.
Boundary Lot 2	Illuminance	Fc	0.09	0.3	0.0	N.A.
Parking Lot 1	Illuminance	Fc	2.43	7.5	0.2	13.15
Parking Lot 2	Illuminance	Fc	2.77	8.0	0.8	3.46

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Lumens	LF	Description
[S]	22	S5	SINGLE	2700	0.800	SAC-RS-147076
[T]	11	S3-Twin	GROUP	N.A.	0.800	[2] MFR-350-WP-ME-4S COOPER TRIBUTE TWIN ASSEMBLY
[L]	31	S1	SINGLE	33000	0.800	MFR-350-WP-3X-4L COOPER TRIBUTE SINGLE WITH SPILL LIGHT CONTROL

Luminaire Location Summary						
LumNo	Label	X	Y	Z	Orient	TIP
1	S1	1134	1288	30	330.396	0
2	S1	1180	1341	30	330.396	0
3	S1	1222	1414	30	330.396	0
4	S1	1263	1484	30	330.396	0
5	S1	1301	1553	30	330.396	0
6	S1	1345	1631	30	330.396	0
7	S1	1423	1690	30	292.109	0
8	S1	1590	1604	30	205.907	0
9	S1	1650	1684	30	213.69	0
10	S1	1626	1628	30	205.907	0
11	S1	1659	1434	30	205.907	0
12	S1	1220	1169	30	79.295	0
13	S1	1668	1290	30	275.345	0
14	S1	2030	1326	30	263.991	0
15	S1	2118	1316	30	262.875	0
16	S1	2207	1300	30	241.477	0
17	S1	2276	1242	30	220.601	0
18	S1	2342	1169	30	205.201	0
19	S1	2327	1060	30	162.951	0
20	S1	1888	1157	30	45	0
21	S1	1941	1095	30	39.806	0
22	S1	1998	1035	30	39.094	0
23	S1	2051	965	30	35.538	0
24	S1	2094	891	30	31.801	0
25	S1	2171	827	30	106.39	0
26	S1	2262	875	30	144.211	0
27	S1	2299	972	30	160.498	0
28	S1	1798	1259	30	211.608	0
29	S1	1761	1365	30	207.051	0
30	S1	1726	1457	30	200.266	0
31	S1	1372	1420	30	50.528	0
32	S3-Twin	1482	1413	30	50.528	0
33	S3-Twin	1390	1464	30	50.528	0
34	S3-Twin	1403	1545	30	229.359	0
35	S3-Twin	1514	1537	30	50.528	0
36	S3-Twin	2035	1165	30	79.992	0
37	S3-Twin	2122	1092	30	76.43	0
38	S3-Twin	2143	1211	30	257.8	0
39	S3-Twin	2221	1117	30	81.469	0
40	S3-Twin	2162	967	30	263.047	0
41	S5	1318	1298	12	0	0
42	S5	1321	1302	12	0	0
43	S5	1324	1346	12	0	0
44	S5	1370	1343	12	0	0
45	S5	1413	1340	12	0	0
46	S5	1453	1337	12	0	0
47	S5	1484	1334	12	0	0
48	S5	1313	1188	12	0	0
49	S5	1355	1185	12	0	0
50	S5	1515	1327	12	0	0
51	S5	1547	1325	12	0	0
52	S5	1577	1328	12	0	0
53	S5	1607	1326	12	0	0
54	S5	1646	1323	12	0	0
55	S5	1513	1295	12	0	0
56	S5	1545	1293	12	0	0
57	S5	1687	1320	12	0	0
58	S5	1686	1251	12	0	0
59	S5	1720	1249	12	0	0
60	S5	1684	1217	12	0	0
61	S1	1243	1295	30	355.186	0
62	S5	1473	1136	12	0	0
63	S5	1566	1131	12	0	0
64	S5	1943	1283	30	79.992	0



AS BUILT NOT REQUIRED
 SURVEY SERVICES OF MD., LLC.
 BY: ROBERT MATIS - REG.# 605



AS-BUILT
 CERTIFICATION FOR PSWM
 THERE IS NO "AS-BUILT" INFORMATION
 PROVIDED ON THIS SHEET.
 Paul Hudson 6-23-13
 PAUL HUDSON PE# 8061

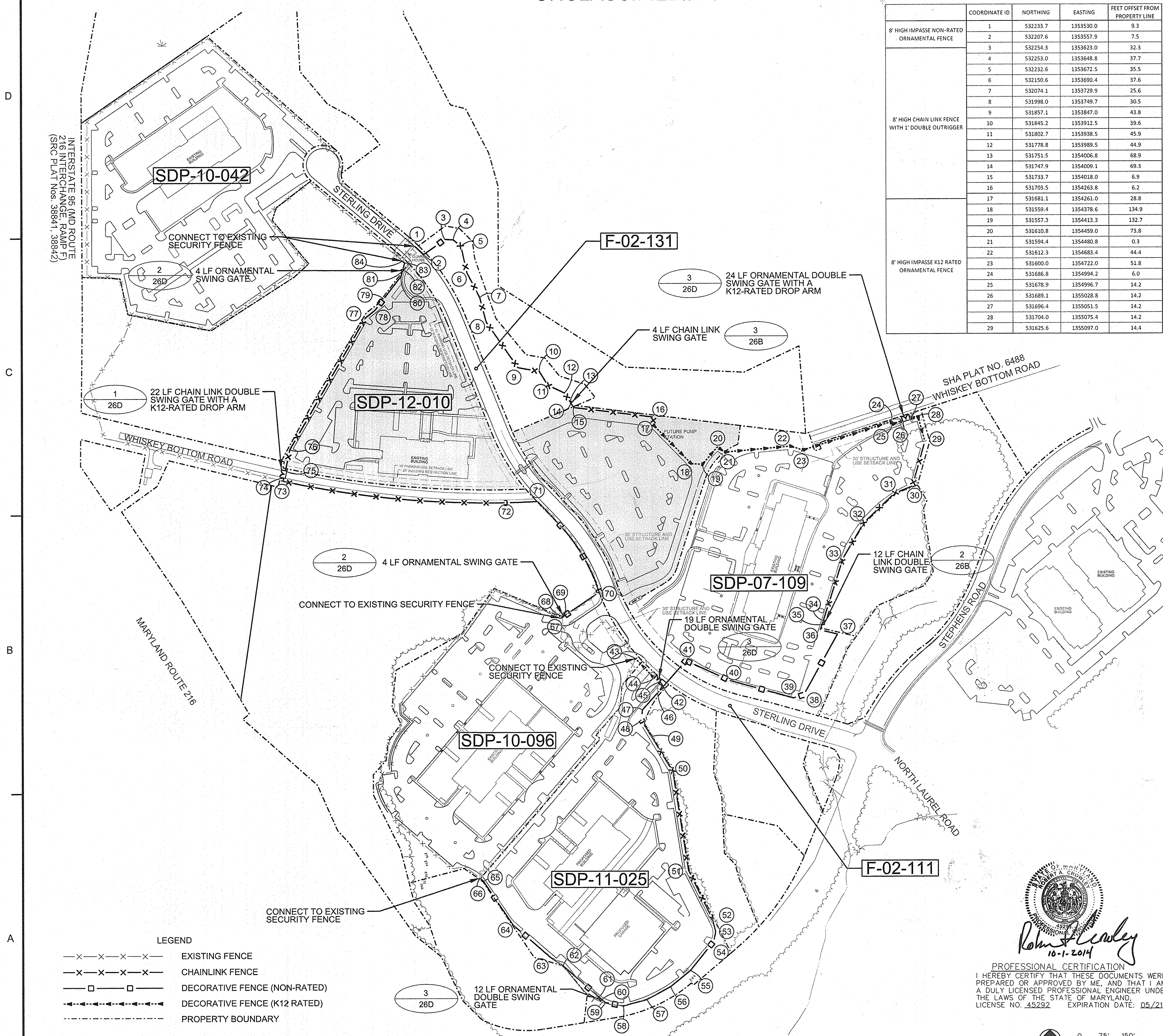
APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING
 Chief, Division of Land Development 4-10-12
 Chief, Development Engineering Division 4-2-12
 Director 4/6/12

EMERSON PARCEL B & E-1
 L.E.E.D. BUILDING
 5-STORY COMMERCIAL OFFICE BUILDING
 OWNER/DEVELOPER:
 PARCEL 'B' - EMERSON DEVELOPMENT V, LLC
 1 TEXAS STATION COURT
 SUITE 200
 TIMONIA, MD 21083
 TAX MAP 47 GRD 8 PARCEL 1051
 EMERSON SECTION 3 AREA 1
 DEED: H47917
 TAX ACT # 06-572253
 PLAT: 16623

SECTION/AREA		PARCEL B & E-1 PAR. 165	
EMERSON SECTION 3 AREA 1	SECTION/AREA	PARCEL B & E-1 PAR. 165	SECTION/AREA
PLAT # OR LOT	BLOCK #	DEED	TRACT
2177 & 2178	20	H47917	6
WATER CODE		SEWER CODE	

TITLE
 LIGHTING PLAN - 'E-1'
 Des. By JBS Scale 1" = 50' Proj. No. 95054.6
 Dm. By JSS Date 12-13-11
 Chk. By MCB/JDF Approved 25 of 26

UNCLASSIFIED//FOR OFFICIAL USE ONLY



COORDINATE ID	NORTHING	EASTING	FEET OFFSET FROM PROPERTY LINE
1	532233.7	1353530.0	9.3
2	532207.6	1353557.9	7.5
3	532254.3	1353623.0	32.3
4	532253.0	1353648.8	37.7
5	532232.6	1353672.5	35.5
6	532150.6	1353690.4	37.6
7	532074.1	1353729.9	25.6
8	531998.0	1353749.7	30.5
9	531857.1	1353847.0	48.8
10	531845.2	1353912.5	39.6
11	531802.7	1353938.5	45.9
12	531778.8	1353989.5	44.9
13	531751.5	1354006.8	68.9
14	531747.9	1354009.1	69.3
15	531733.7	1354018.0	6.9
16	531703.5	1354263.8	6.2
17	531681.1	1354261.0	28.8
18	531559.4	1354378.6	134.9
19	531557.3	1354413.3	132.7
20	531610.8	1354459.0	73.8
21	531594.4	1354480.8	0.3
22	531612.3	1354683.4	44.4
23	531600.0	1354722.0	51.8
24	531686.8	1354994.2	6.0
25	531678.9	1354996.7	14.2
26	531689.1	1355028.8	14.2
27	531696.4	1355051.5	14.2
28	531704.0	1355075.4	14.2
29	531625.6	1355097.0	14.4

COORDINATE ID	NORTHING	EASTING	FEET OFFSET FROM PROPERTY LINE
29	531625.6	1355097.0	14.4
30	531487.3	1355058.4	2.5
31	531466.2	1355003.9	2.5
32	531375.2	1354908.7	2.5
33	531266.0	1354845.0	0.0
34	531075.5	1354783.8	0.0
35	531063.8	1354780.1	0.0
36	531045.8	1354774.3	6.0
37	531033.3	1354827.1	6.0
38	530846.1	1354723.0	50.0
39	530837.3	1354691.9	33.0
40	530891.5	1354495.6	34.4
41	530953.0	1354360.7	26.5
42	530874.1	1354291.6	14.5
43	530959.6	1354206.6	13.4
44	530900.0	1354263.2	12.8
45	530886.4	1354277.9	10.0
46	530854.5	1354274.0	7.5
47	530802.1	1354227.0	20.0
48	530771.7	1354223.7	12.3
49	530720.0	1354255.0	2.0
50	530615.3	1354318.4	2.0
51	530308.5	1354367.5	2.0
52	530158.1	1354404.4	4.7
53	530119.6	1354450.4	13.0
54	530090.6	1354444.4	31.4
55	530001.4	1354372.7	40.2
56	529952.2	1354311.7	29.6
57	529912.6	1354238.4	28.6
58	529892.6	1354166.4	31.3
59	529903.4	1354111.0	51.6
60	529912.9	1354100.1	46.3
61	529920.8	1354091.1	36.4
62	530016.4	1353981.6	0.0
63	530042.7	1353942.5	14.2
64	530141.4	1353828.3	2.2
65	530275.8	1353737.0	1.9
66	530286.0	1353726.9	4.4
67	531084.8	1353977.6	3.7
68	531089.6	1353984.8	0.0
69	531092.0	1353988.4	0.0
70	531164.5	1354095.9	0.9
71	531443.9	1353905.8	0.9
72	531440.2	1353802.7	0.0
73	531508.5	1353124.3	0.0
74	531518.5	1353126.4	10.2
75	531540.6	1353131.8	7.0
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77	532012.6	1353378.9	5.7
78	532035.8	1353407.9	10.0
79	532070.3	1353434.3	4.4
80	532140.6	1353488.1	4.7
81	532155.9	1353492.3	1.1
82	532160.1	1353493.5	2.7
83	532181.5	1353499.4	7.9
84	532187.4	1353492.6	8.5

INTERSTATE 95 (MD ROUTE 216 INTERCHANGE, RAMP F) (SRC PLAT NOS. 38841, 38842)

SDP-10-042

F-02-131

SDP-12-010

SDP-07-109

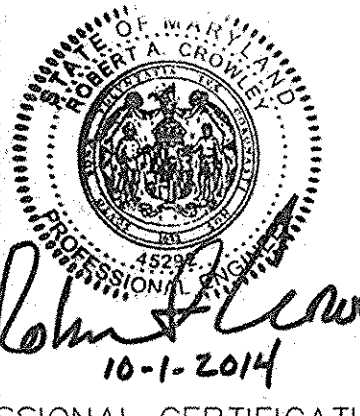
SDP-10-096

SDP-11-025

F-02-111

LEGEND

---x---x---x---x---	EXISTING FENCE
-x-x-x-x-	CHAINLINK FENCE
—□—□—□—□—□—□—	DECORATIVE FENCE (NON-RATED)
—-□- -□- -□- -□- -□- -□-	DECORATIVE FENCE (K12 RATED)
-----	PROPERTY BOUNDARY



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. 45292 EXPIRATION DATE: 05/21/2016

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING
 DIVISION OF LAND DEVELOPMENT
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DIRECTOR

Date: 10-10-14
 Date: 10/15/14

EMERSON PARCEL B & E-1
 L.E.E.D. BUILDING
 5-STORY COMMERCIAL OFFICE BUILDING

OWNER DEVELOPER:
 PARCEL 'B' EMERSON DEVELOPMENT V. LLC
 PARCEL 'E-1' EMERSON DEVELOPMENT II, LLC

REVISIONS:

Date	No.	Revision Description
------	-----	----------------------

TITLE: **FENCE LAYOUT PLAN**

Des. By: _____ Scale 1"=150'
 Drn. By: _____ Date 09-12-14
 Chk. By: _____ Approved: _____

Proj. No. 95054.60
26A

US Army Corps of Engineers
 Baltimore District

REAL PROPERTY SERVICES
 FIELD OFFICE
 ANNAPOLIS JUNCTION, MARYLAND

JACOBS
 1100 N. GLEE RD., ARLINGTON, VA 22201

THE INFORMATION PROVIDED HEREIN IS THE PROPERTY OF THE U.S. ARMY CORPS OF ENGINEERS. IT IS TO BE USED FOR THE PURPOSES STATED IN THE ACCOMPANYING DOCUMENT. DISTRIBUTION OF THIS DOCUMENT AND THE INFORMATION CONTAINED HEREIN IS RESTRICTED TO THE PERSONNEL OF THE U.S. ARMY CORPS OF ENGINEERS AND TO SUCH PERSONNEL OF OTHER AGENCIES AS ARE AUTHORIZED BY THE U.S. ARMY CORPS OF ENGINEERS. REPRODUCTION OR DISSEMINATION OF THIS DOCUMENT OR OF THE INFORMATION CONTAINED HEREIN TO ANY OTHER PERSON OR AGENCY WITHOUT THE APPROVAL OF THE U.S. ARMY CORPS OF ENGINEERS IS STRICTLY PROHIBITED. VIOLATORS OF THIS REQUIREMENT WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW.

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DATE: SEPTEMBER 18, 2014
 PROJECT NO.: 31435
 DRAWN BY: R. CROWLEY
 CHECKED BY: M. WEBER
 SDCO PROJECT MANAGER: M. WEBER
 SDCO PROJECT MANAGER: M. WEBER
 SDCO PROJECT MANAGER: M. WEBER

EMERSON - CAMPUS FENCE
 FENCE LAYOUT PLAN
 ROOM(S) OR FLOOR: LAUREL, MD

Drawing No. _____
 Sheet Reference No. **26A**
 Sheet of 006

UNCLASSIFIED//FOR OFFICIAL USE ONLY

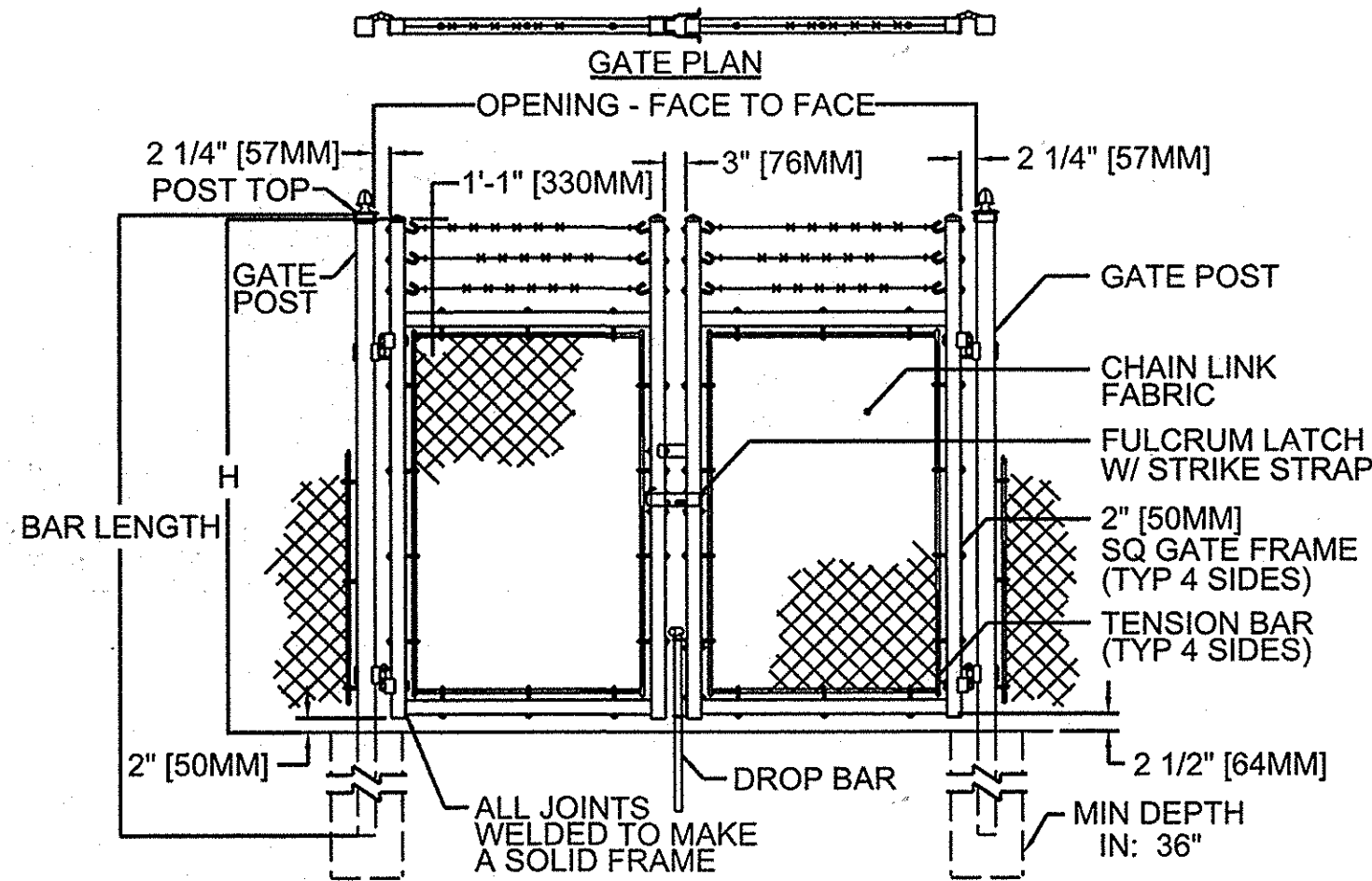
END & CORNER POST TOP OPTIONS	
STANDARD	FLAT

GATE POST					
GATE LEAF WIDTH	GATE POST (OD)	FABRIC HEIGHT	"A" DIAM	"B" DEPTH	"C" POST EMBED.
3' TO 6'	2.875"	3' TO 5'	12"	38"	36"
		6' TO 9'	14"	42"	40"
		10' TO 12'	16"	46"	44"
7' TO 12'	4.000"	3' TO 5'	14"	38"	36"
		6' TO 9'	16"	42"	40"
		10' TO 12'	18"	46"	44"

NOM HEIGHT (H)	8'-0" [2438MM]
----------------	----------------

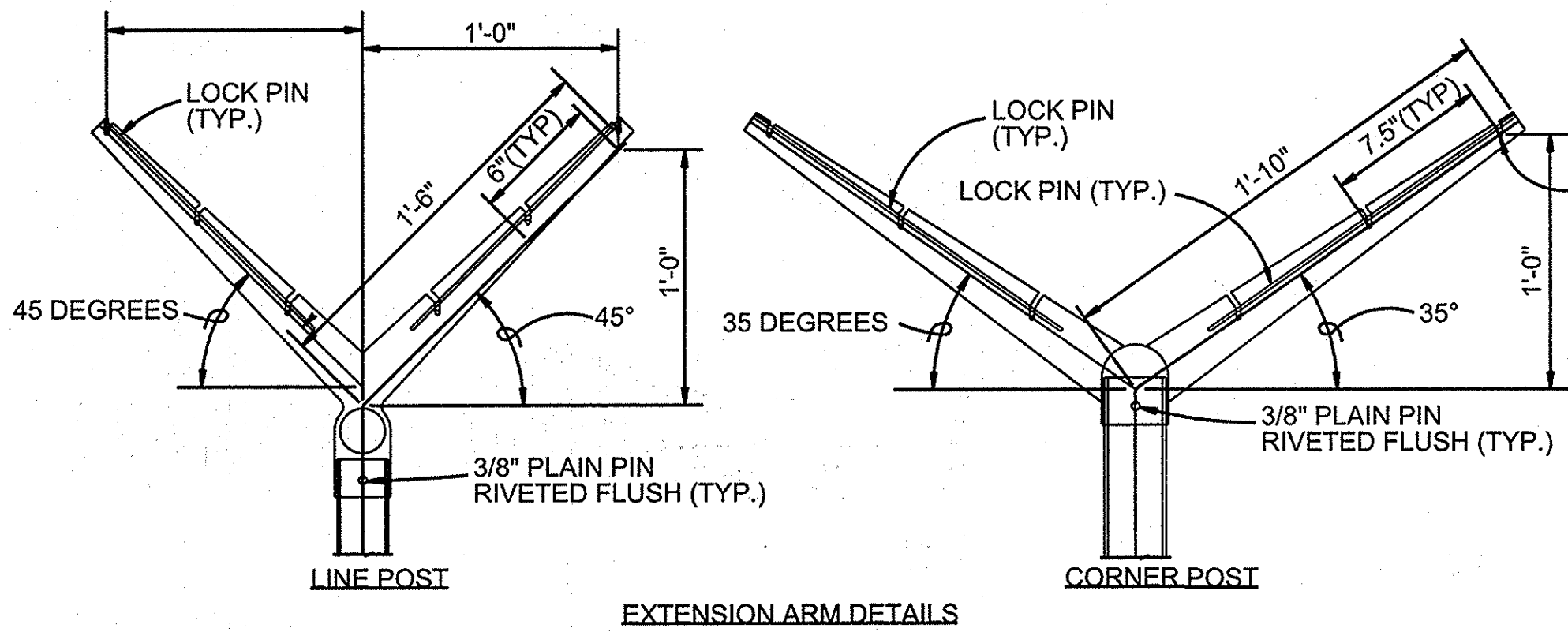
OPENING (F/F)	24' [7315MM]
---------------	--------------

- NOTES:
 1. METRIC DIMENSIONS ARE NOMINAL EQUIVALENTS TO U.S. DIMENSIONS.
 2. SPECIFICATIONS SHOWN CAN BE CHANGED BY MASTER HALCO ONLY.
 3. FOOTING WIDTH TO BE (4)X POST WIDTH.
 4. GATES MAY BE MANUALLY OR ELECTRICALLY OPERATED. HARDWARE WILL VARY FOR ELECTRICALLY OPERATED GATES.

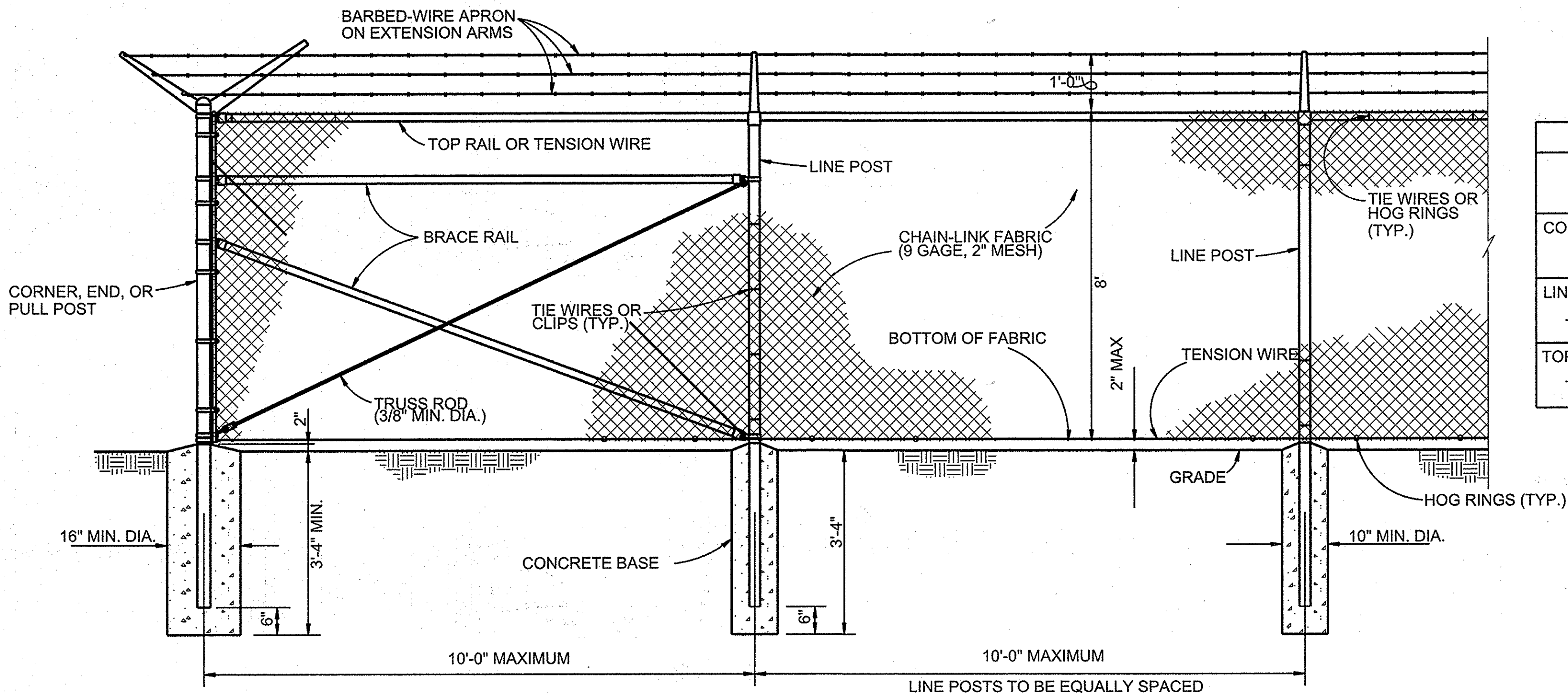


GATE ELEVATION

2 SINGLE-LEAF DOUBLE SWING GATE
SCALE: NONE



EXTENSION ARM DETAILS



1 CHAIN LINK SECURITY FENCE
SCALE: NONE

END & CORNER POST TOP OPTIONS	
STANDARD	FLAT

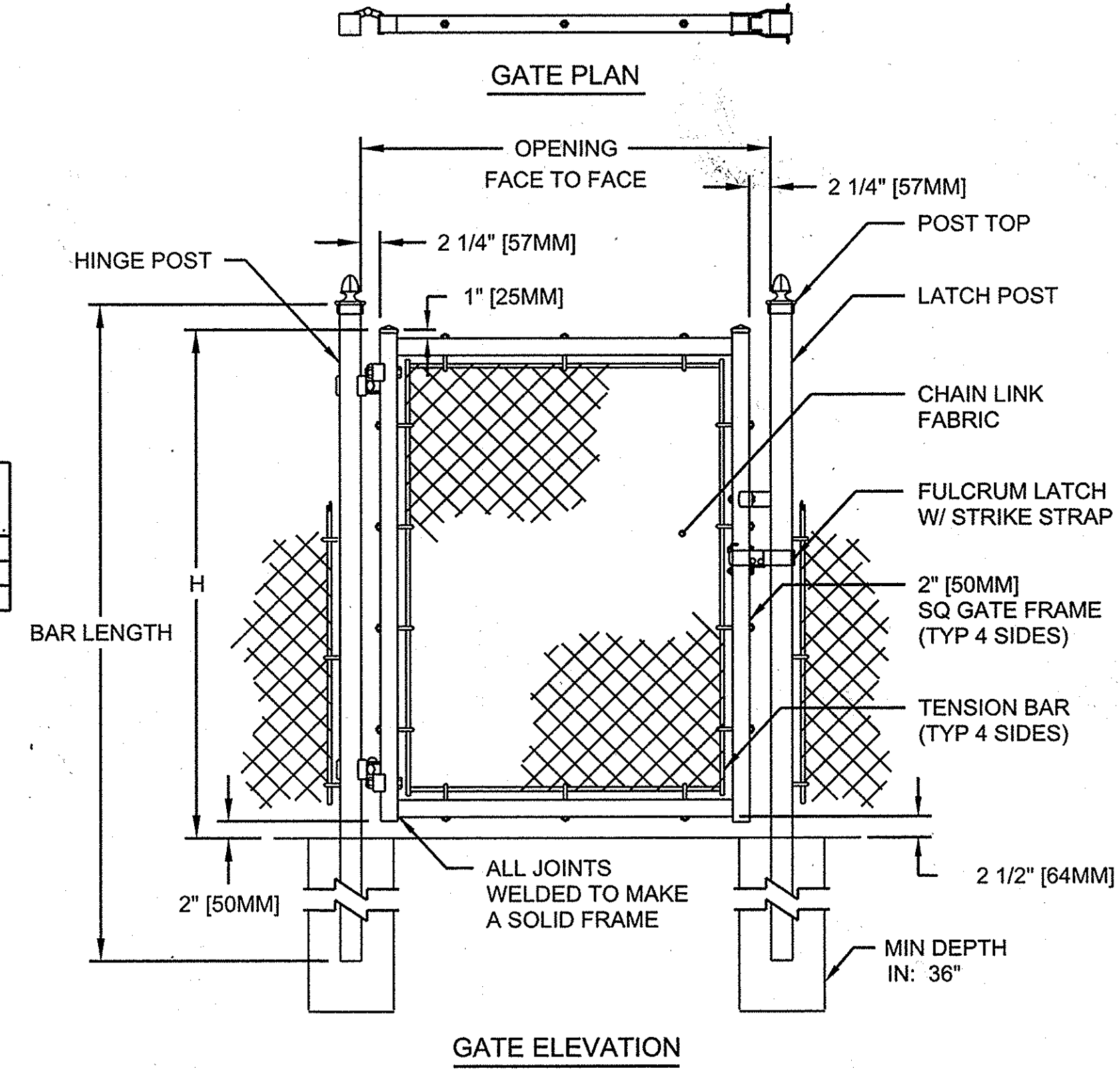
GATE POST					
GATE LEAF WIDTH	GATE POST (OD)	FABRIC HEIGHT	"A" DIAM	"B" DEPTH	"C" POST EMBED.
3' TO 6'	2.875"	3' TO 5'	12"	38"	36"
		6' TO 9'	14"	42"	40"
		10' TO 12'	16"	46"	44"

NOM HEIGHT (H)	8'-0" [2438MM]
----------------	----------------

OPENING (F/F)	4'-0" [1219MM]
---------------	----------------

- NOTES:
 1. METRIC DIMENSIONS ARE NOMINAL EQUIVALENTS TO U.S. DIMENSIONS.
 2. SPECIFICATIONS SHOWN CAN BE CHANGED BY MASTER-HALCO ONLY.
 3. FOOTING WIDTH TO BE (4)X POST WIDTH.
 4. GATES MAY BE MANUALLY OR ELECTRICALLY OPERATED. HARDWARE WILL VARY FOR ELECTRICALLY OPERATED GATES.

3 SINGLE SWING GATE
SCALE: NONE



GATE ELEVATION

STEEL POST SCHEDULE	
USE AND SECTION	MINIMUM OUTSIDE DIMENSIONS (NOMINAL)
CORNER, END & PULL POSTS	FABRIC WIDTH 84" TO 96"
TUBULAR - ROUND	2.875" O.D.
LINE POSTS	2.375" O.D.
TOP, BOTTOM & BRACE RAILS	1.66" O.D.

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 45292 EXPIRATION DATE: 05/21/2016.

Robert Crowley
10-1-2014

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE: 10/15/14
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: 10-10-14
 DIRECTOR DATE: 10/15/14

Date	No.	Revision	Description

EMERSON PARCEL B & E-1
 L.E.E.D. BUILDING
 5-STORY COMMERCIAL OFFICE BUILDING

OWNER DEVELOPER:
 PARCEL "B" EMERSON DEVELOPMENT V, LLC
 1 TEXAS STATION COURT
 SUITE 200
 TIMONIUM, MD 21093
 TAX MAP 47 GRID 8 PARCEL 1051
 EMERSON SECTION 3 AREA 1
 DEED: 11479/17
 TAX ACCT # 06-572553
 PLAT: 15829

PARCEL "E-1" EMERSON DEVELOPMENT II, LLC
 1 TEXAS STATION COURT
 SUITE 200
 TIMONIUM, MD 21093
 TAX MAP 47 GRID 20 PARCEL 165
 REVITZ PROPERTY
 DEED: 11010/619
 TAX ACCT # 06-572227
 PLAT: 18685

SUBDIVISION NAME: EMERSON & REVITZ PROPERTY
 PLAT: 15829 & 18685
 SECTION AREA: SECTION 3 AREA 1
 TAX ZONE: MARBLECT, DISTRICT
 LOT PARCEL # LOT E-1 / PAR. 1051
 CENSUS TRACT: 606903

TITLE: **FENCE LAYOUT PLAN**

Des. By	Scale 1"=150'	Proj. No. 95054.60
Drn. By	Date 09-12-14	26B
Chk. By	Approved	

US Army Corps of Engineers
 Baltimore District

REAL PROPERTY SERVICES
 ANNAPOLIS, JUNCTION, MARYLAND

JACOBS
 1100 N. GLEBE RD., ARLINGTON, VA 22201

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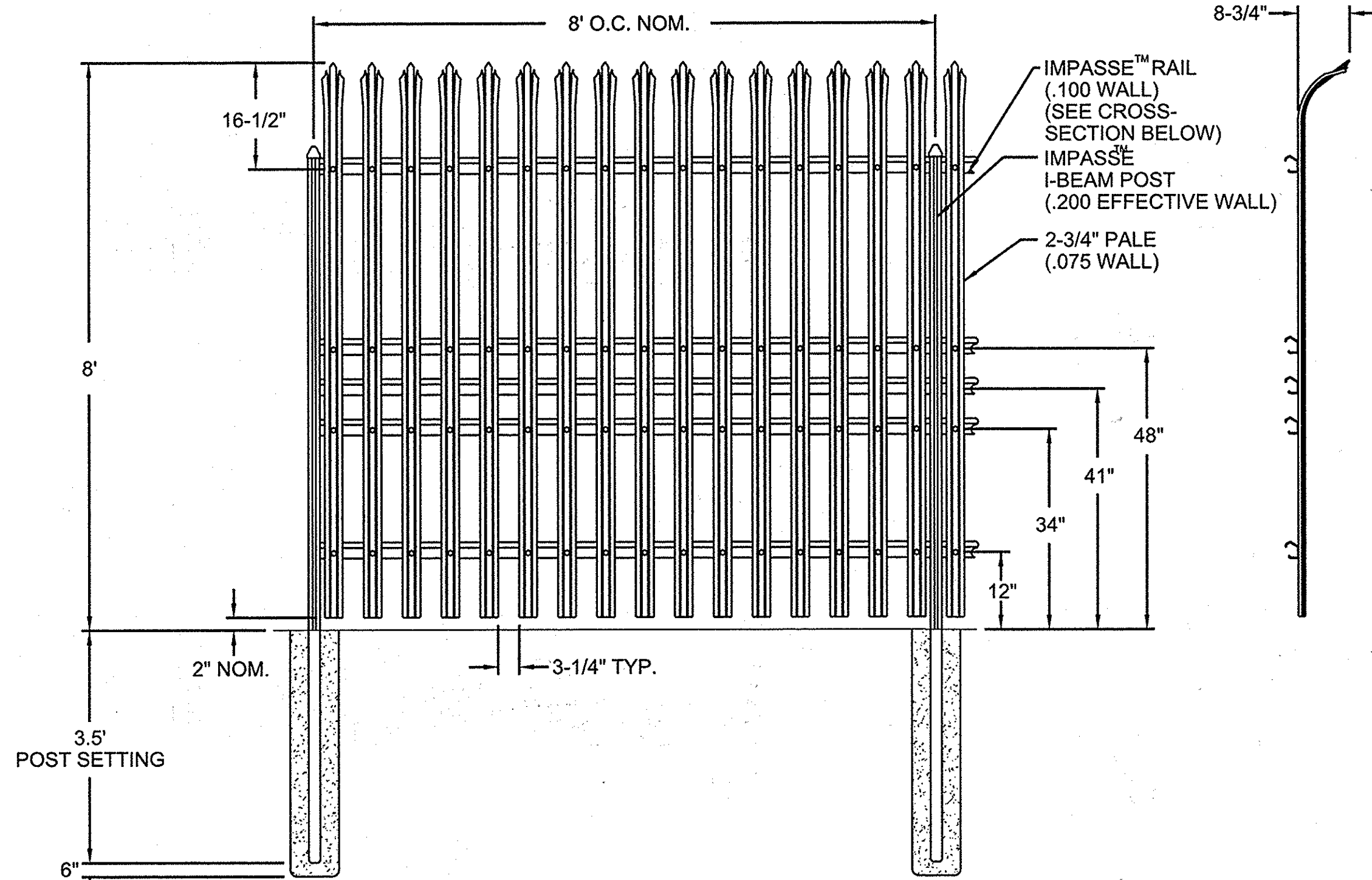
Rev.	Date	Appr.
1		

EMERSON - CAMPUS FENCE
 LAUREL, MD

SITE DETAILS
 ROOM(S) OR FLOOR

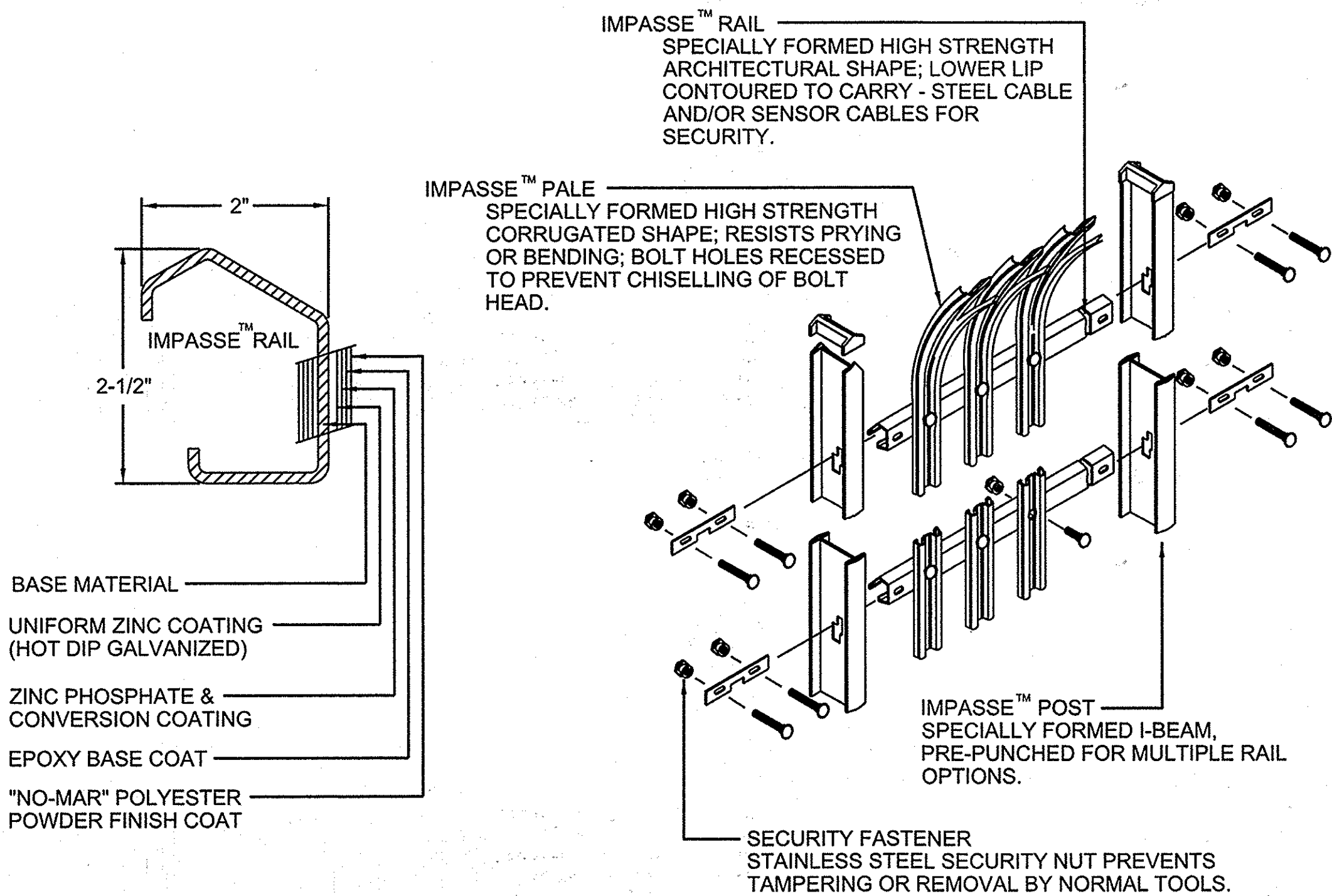
Drawing No. **26B**
 Sheet of 006

SDP-12-010



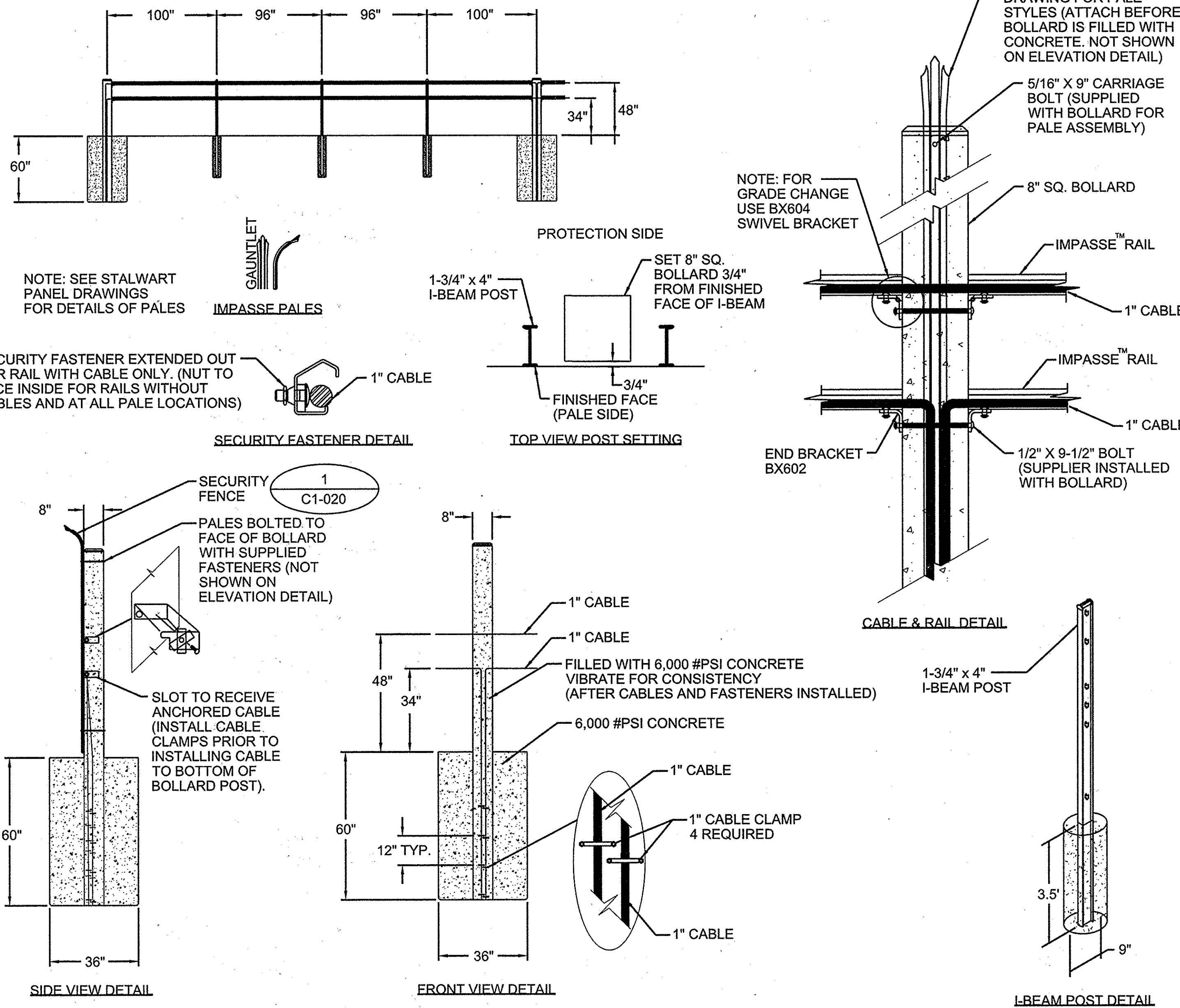
NOTES:

- SEE DETAIL 2 ON THIS SHEET FOR K-12 ANTI-RAM CABLED STEEL BARRIER INSTALLATION FOR PORTIONS OF FENCE TO BE K-12 RATED. SEE SITE LAYOUT PLAN FOR SECTION OF FENCE THAT IS TO BE K-12 RATED.
- IDS SYSTEM IS TO BE ATTACHED TO FENCE PICKETS EVERY 8'. REPLACE CURVED PICKETS WITH STRAIGHT PICKETS AT LOCATIONS FOR IDS CONNECTIONS. FENCE HALF POSTS CAN BE USED FOR IDS CONNECTIONS. STRAIGHT PICKETS ARE TO BE SAME HEIGHT AS CURVED PICKETS.



1 AMERISTAR 8' HIGH IMPASSE GAUNTLET HIGH SECURITY STEEL FENCE

SCALE: NONE
 DETAIL IS BASE DESIGN. CONTRACTOR MAY USE EQUIVALENT PRODUCT THAT MEETS PROJECT REQUIREMENTS AND SPECIFICATIONS AND AS APPROVED BY THE COR.



2 STALLWART M40 (K12) ANTI-RAM CABLED STEEL BARRIER

SCALE: NONE
 DETAIL IS BASE DESIGN. CONTRACTOR MAY USE EQUIVALENT PRODUCT THAT MEETS PROJECT REQUIREMENTS AND SPECIFICATIONS AND AS APPROVED BY THE COR.

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING	DATE: 10/15/14
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE: 10-10-14
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE: 10/15/14
DIRECTOR	DATE:

EMERSON PARCEL B & E-1
 L.E.E.D. BUILDING

5-STORY COMMERCIAL OFFICE BUILDING
 OWNER DEVELOPER:
 PARCEL 'B' EMERSON DEVELOPMENT V, LLC
 1 TEXAS STATION COURT
 SUITE 200
 TIMONIUM, MD 21093
 TAX MAP 47 GRID 3 PARCEL 1051
 EMERSON SECTION 3 AREA 1
 DEED: 11479/17
 TAX ACCT # 06-572553
 PLAT: 15829

PARCEL 'E-1' EMERSON DEVELOPMENT II, LLC
 1 TEXAS STATION COURT
 SUITE 200
 TIMONIUM, MD 21093
 TAX MAP 47 GRID 20 PARCEL 165
 REVIZ PROPERTY
 DEED: 11010/819
 TAX ACCT # 06-572227
 PLAT: 18685

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 45292, EXPIRATION DATE: 05/21/2016.

Robert Crowley
 10-1-2014

SUBDIVISION NAME	SECTION AREA	LOT PARCEL #	LOT # / PAR. 1051
EMERSON & REVIZ PROPERTY	SECTION 3 AREA 1	LOT E-1 / PAR. 1051	
PLAT# OR L.P. BLOCK# / ZONE	TAX ZONE	MANELECT. DISTRICT	CENSUS TRACT
15829 & 18685 / 20 / PEC	47	6	606903
WATER CODE	SEWER CODE		

TITLE: **FENCE LAYOUT PLAN**

Des. By	Scale 1"=150'	Proj. No. 95054.60
Drn. By	Date 09-12-14	26C
Chk. By	Approved	

US Army Corps of Engineers
 Baltimore District

REAL PROPERTY SERVICES
 ANNAPOLIS JUNCTION, MARYLAND

JACOBS
 1100 N. GLEBE RD., ARLINGTON, VA 22201

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DATE	REV.	BY	APP.
SEPTEMBER 18, 2014	1	AS SHOWN	

EMERSON - CAMPUS FENCE
 SITE DETAILS
 ROOM(S) OR FLOOR
 LAUREL, MD

Drawing No. **26C**
 Sheet of 006

SDP-12-010

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Rev.	Date	Description
1	10/10/14	NEW SHEET ADDED FOR REVISION #12

Designed by:	M. WERDER	Date:	SEPTEMBER 18, 2014
Drawn by:	M. WERDER	Project No.:	31435
Reviewed by:	R. CROWLEY	File name:	
Submitted by:	AMY YALE	Plot date:	
Project Manager:	NATHAN JAMES	Plot scale:	AS SHOWN

Date:	No.	Revision	Description

EMERSON PARCEL B & E-1
L.E.E.D. BUILDING
5-STORY COMMERCIAL OFFICE BUILDING

OWNER DEVELOPER:
PARCEL 'B'
EMERSON DEVELOPMENT V, LLC
1 TEXAS STATION COURT
SUITE 200
TIMONUM, MD 21093
TAX MAP 47 GRID 8 PARCEL 1051
EMERSON SECTION 3 AREA 1
DEED: 11479/17
TAX ACCT # 06-572553
PLAT: 15829

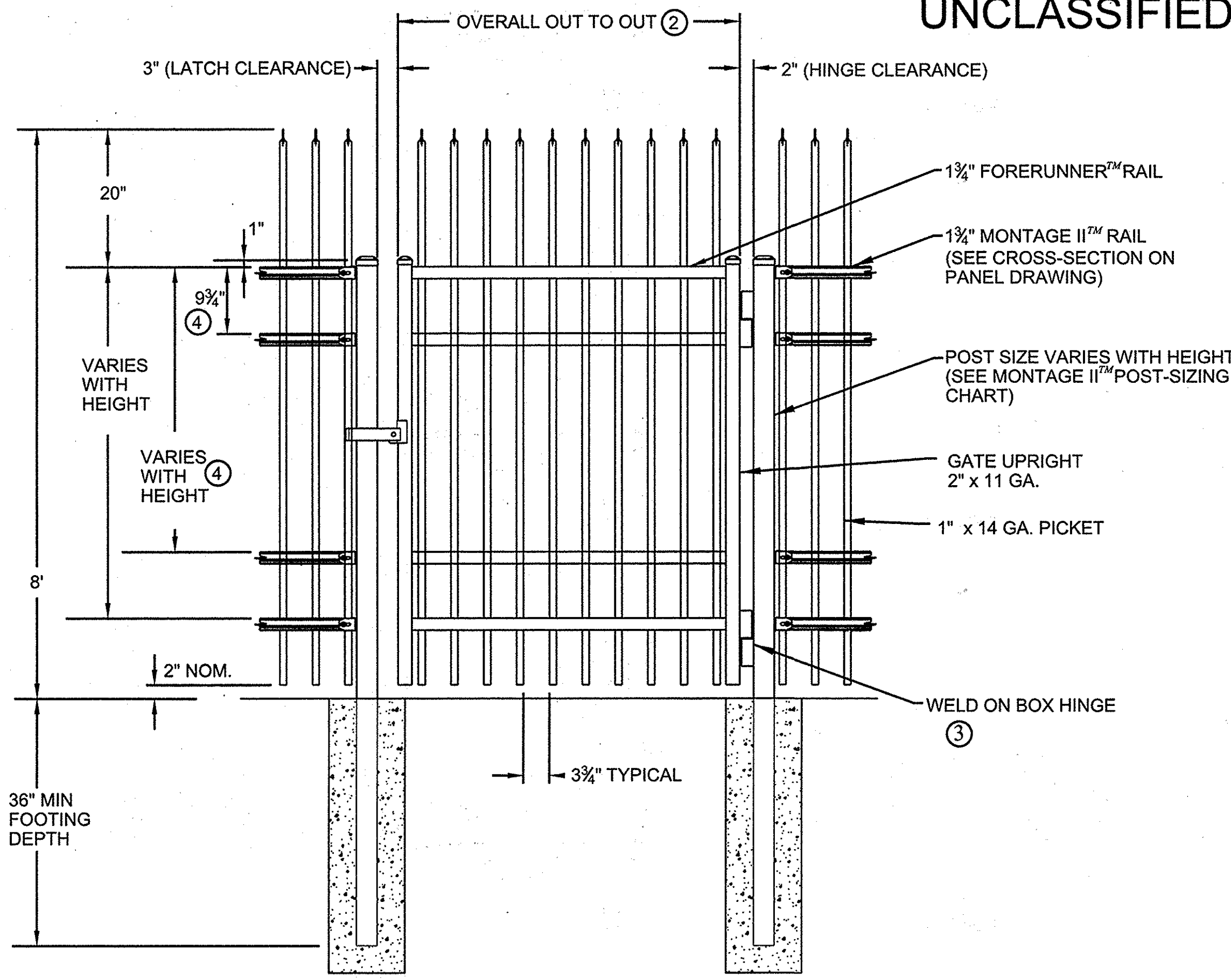
PARCEL 'E-1'
EMERSON DEVELOPMENT II, LLC
1 TEXAS STATION COURT
SUITE 200
TIMONUM, MD 21093
TAX MAP 47 GRID 20 PARCEL 165
REVITZ PROPERTY
DEED: 11010/619
TAX ACCT # 06-572227
PLAT: 18665

SUBDIVISION NAME: EMERSON & REVITZ PROPERTY
SECTION AREA: SECTION 3 AREA 1
LOT PARCEL # LOT B / PAR. 1051
PLAT # OR L F BLOCK ZONE TAX ZONE MARELECT. DISTRICT CENSUS TRACT
15829 & 18665 20 IPEC 47 6 606903
WATER CODE SEWER CODE

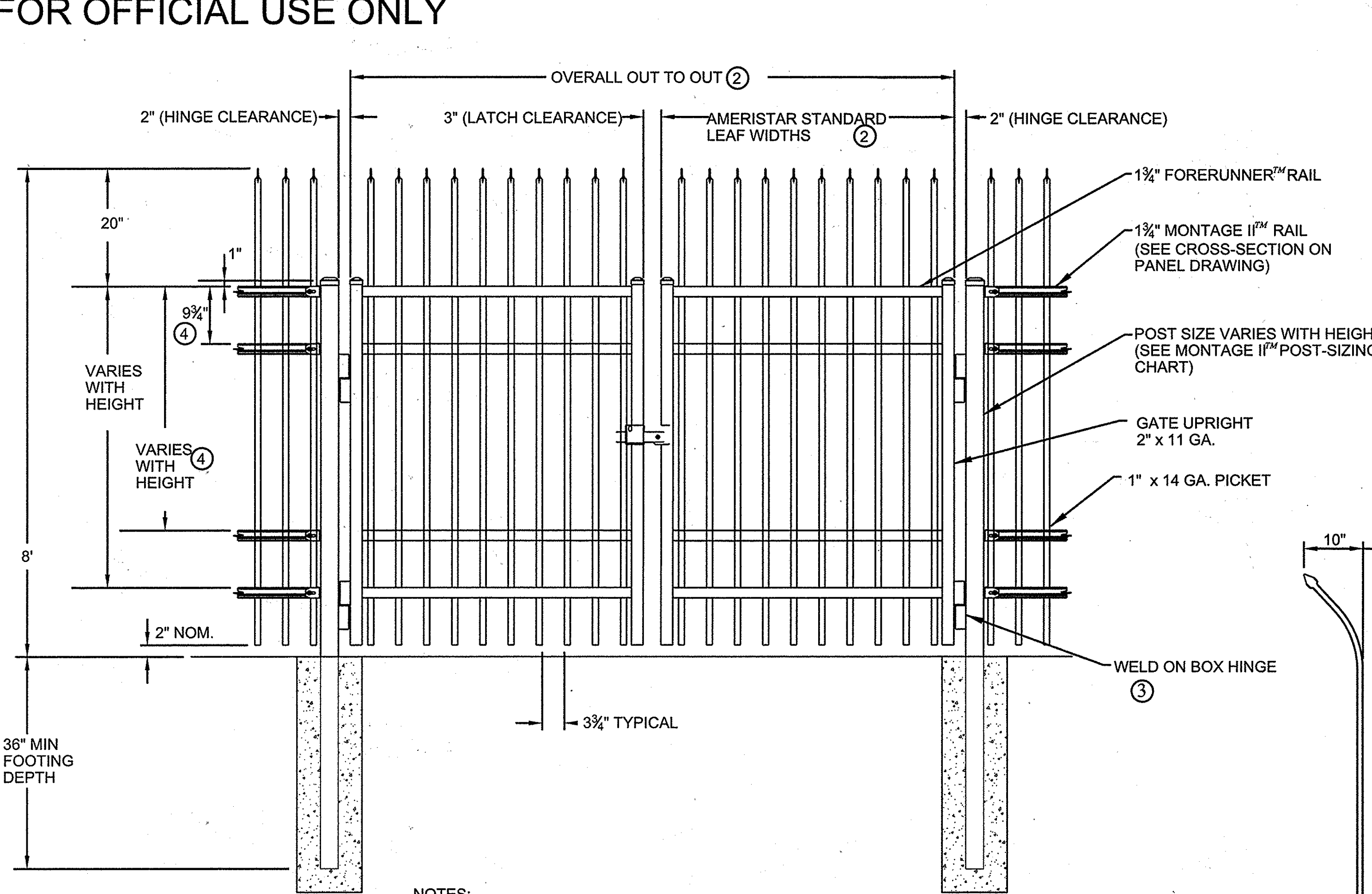
FENCE LAYOUT PLAN

Des. By	Scale 1"=150'	Proj. No. 95054.60
Drn. By	Date 09-12-14	26D
Chk. By	Approved	

Drawing No.	26D
Sheet Reference No.	26D
Sheet	of 008



- NOTES:**
- 1.) POST SIZE DEPENDS ON FENCE HEIGHT, WEIGHT AND WIND LOADS. SEE MONTAGE II™ SPECIFICATIONS FOR POST SIZING CHART.
 - 2.) SEE AMERISTAR GATE TABLE FOR STANDARD OUT TO OUTS. CUSTOM GATE OPENINGS AVAILABLE FOR SPECIAL OUT TO OUT/LEAF WIDTHS.
 - 3.) ADDITIONAL STYLES OF GATE HARDWARE ARE AVAILABLE ON REQUEST THIS COULD CHANGE THE LATCH & HINGE CLEARANCE.
 - 4.) THIRD & FORTH RAIL OPTIONAL.



- NOTES:**
- 1.) POST SIZE DEPENDS ON FENCE HEIGHT, WEIGHT AND WIND LOADS. SEE MONTAGE II SPECIFICATIONS FOR POST SIZING CHART.
 - 2.) SEE AMERISTAR GATE TABLE FOR STANDARD OUT TO OUTS. CUSTOM GATE OPENINGS AVAILABLE FOR SPECIAL OUT TO OUT/LEAF WIDTHS.
 - 3.) ADDITIONAL STYLES OF GATE HARDWARE ARE AVAILABLE ON REQUEST. THIS COULD CHANGE THE LATCH AND HINGE CLEARANCE.
 - 4.) THIRD AND FOURTH RAIL OPTIONAL.
 - 5.) CONTRACTOR SHALL SAND DOWN END OF SCREWS ON HASPS AS NEEDED TO WELD HASP TO GATE.

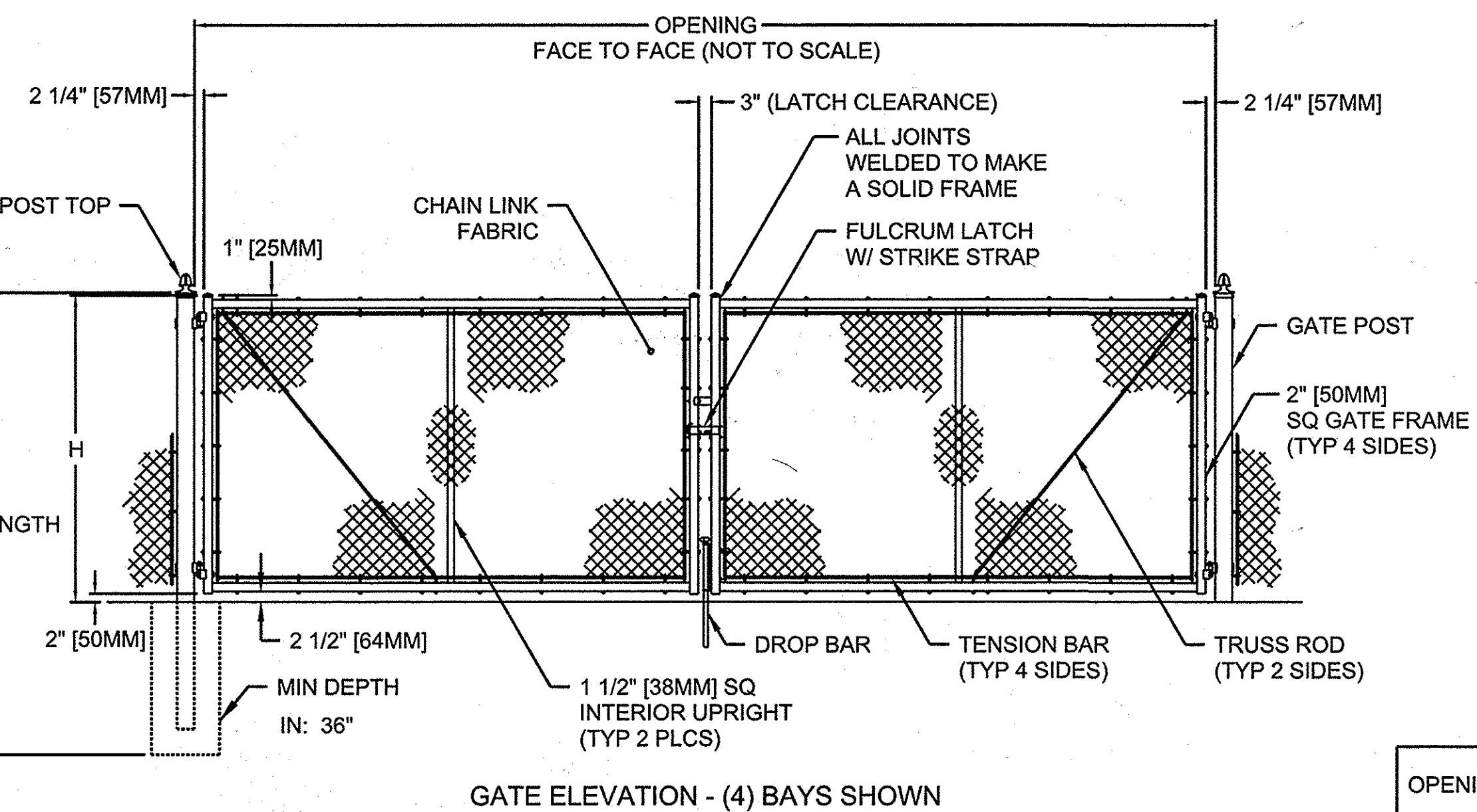
2 AMERISTAR MONTAGE II ORNAMENTAL INVINCIBLE SINGLE SWING GATE

SCALE: NONE
DETAIL IS BASE DESIGN. CONCRATOR MAY USE EQUIVALENT PRODUCT THAT MEETS PROJECT REQUIREMENTS AND SPECIFICATIONS AND AS APPROVED BY THE COR.



3 AMERISTAR MONTAGE II ORNAMENTAL INVINCIBLE DOUBLE SWING GATE

SCALE: NONE
DETAIL IS BASE DESIGN. CONCRATOR MAY USE EQUIVALENT PRODUCT THAT MEETS PROJECT REQUIREMENTS AND SPECIFICATIONS AND AS APPROVED BY THE COR.



NOM HEIGHT (H)	8'-0" [2438MM]
----------------	----------------

BAYS	OPENING (F/F)
4	20'-0" [6096MM]
4	22'-0" [6706MM]
4	24'-0" [7315MM]

END & CORNER POST TOP OPTIONS	
STANDARD	FLAT

OPENING	GATE POST (OD)	FABRIC HEIGHT	"A" DIAM	"B" DEPTH	"C" POST EMBED.
14' TO 24'	4"	3' TO 5'	12"	38"	36"
		6' TO 9'	14"	42"	40"
		10' TO 12'	16"	46"	44"

- NOTES:**
1. METRIC DIMENSIONS ARE NOMINAL EQUIVALENTS TO U.S. DIMENSIONS.
 2. SPECIFICATIONS SHOWN CAN BE CHANGED BY MASTER-HALCO ONLY.
 3. FOOTING WIDTH TO BE (4)X POST WIDTH.
 4. GATES MAY BE MANUALLY OR ELECTRICALLY OPERATED. HARDWARE WILL VARY FOR ELECTRICALLY OPERATED GATES.

1 DOUBLE-LEAF DOUBLE SWING GATE

SCALE: NONE

PROFESSIONAL CERTIFICATION
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Robert L. ...
10-1-2014