

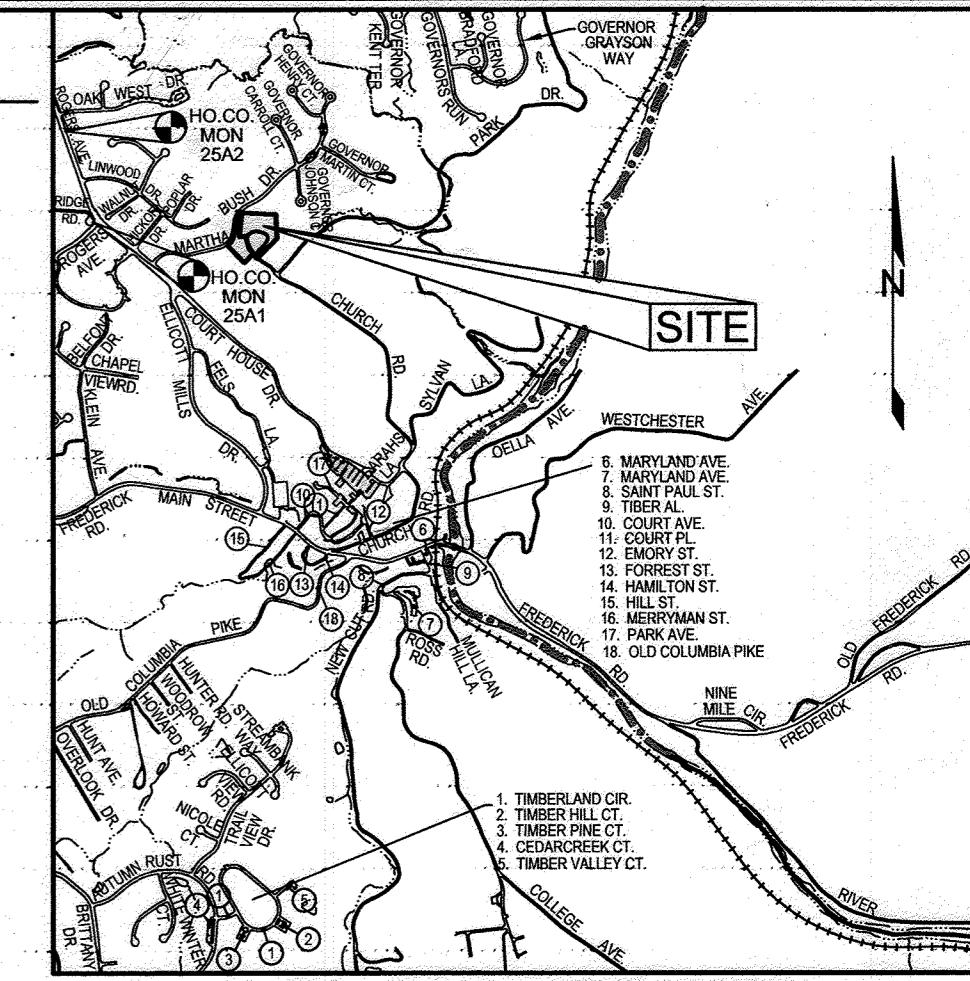
GENERAL NOTES

- SUBJECT PROPERTY IS ZONED "POR" AND "CCT" PER THE 202/04 COMPREHENSIVE ZONING PLAN AND THE "COMP. LITE" ZONING AMENDMENTS EFFECTIVE 7/28/08.
- TOTAL PROJECT AREA = 4.19 AC ±
AREA OF PLAN SUBMISSION = 4.19 AC ±
LIMIT OF DISTURBED AREA = 2.67 AC ±
EXISTING USE = PRIVATE SCHOOL
PROPOSED USE = PRIVATE SCHOOL
NUMBER OF PARKING SPACES REQUIRED = 1 PER 3 STUDENTS X 75 STUDENTS = 25 SPACES
NUMBER OF PARKING SPACES PROPOSED = 71 SPACES, INCLUDING 4 HANDICAP SPACES AND 1 LOADING SPACE.
DEED REFERENCE: LIBER 269, FOLIO 123 AND LIBER 11087, FOLIO 358.
PREVIOUS DPZ FILE NUMBERS: HDC-10-10; ECP-11-037.
- THIS PROPERTY IS WITHIN THE METROPOLITAN DISTRICT.
- THIS PROPERTY IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS EFFECTIVE 10/2/03 PER COUNCIL BILL 75-2003.
- PUBLIC WATER AND PUBLIC SEWER WILL BE USED WITHIN THIS SITE. WATER AND SEWER SERVICE WILL BE PROVIDED BY AN EXTENSION OF CONTRACT #640-W AND #14-400-D UNDER CONTRACT #14-4705-D.
- SOIL BOUNDARIES ARE BASED ON NRCS WEBSOIL SURVEY.
- BOUNDARY SHOWN HEREON IS BASED ON A BOUNDARY SURVEY PREPARED BY JOHN E. HARMS, JR. & ASSOCIATES, INC., DATED APRIL 2008.
- TOPOGRAPHY IS BASED ON A FIELD RUN TOPOGRAPHICAL SURVEY PERFORMED BY JOHN E. HARMS, JR. & ASSOCIATES, INC., DATED APRIL 2008 AND SUPPLEMENTED BY TOPOGRAPHIC SURVEY PERFORMED BY SILL, ADCOCK & ASSOCIATES, LLC DATED MARCH 2011 AND HOWARD COUNTY AERIAL TOPOGRAPHIC MAPS. ADJACENT BUILDING LOCATIONS BASED ON HOWARD COUNTY AERIAL TOPOGRAPHIC MAPS.
- THERE ARE NO FLOODPLAINS OR CEMETERIES WITHIN THE PROJECT BOUNDARY.
- STEEP SLOPES, WETLANDS, AND STREAMS HAVE BEEN SHOWN IN ACCORDANCE WITH THE WETLAND AND FOREST STAND DELINEATION PREPARED BY ECO-SCIENCE PROFESSIONALS DATED MARCH 2011 AND APPROVED UNDER ECP-11-037.
- THE ENTIRE PROPERTY IS LOCATED WITHIN THE ELLICOTT CITY HISTORIC DISTRICT. ONE OF THE EXISTING ON-SITE STRUCTURES IS LISTED ON THE HISTORIC SITES INVENTORY AS HO-193 AND IS KNOWN AS 3421 MARTHA BUSH DRIVE, ELLICOTT CITY, MARYLAND 21043. THE HISTORIC HOUSE IS LISTED ON THE HISTORIC SITES INVENTORY AS HO-193. THIS PLAN CAN BE BEFORE THE HISTORIC DISTRICT COMMISSION AS HDC-10-10 AND WAS APPROVED ON MAY 6, 2010.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES OR AGENCIES AT LEAST FIVE (5) WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE PLANS:
STATE HIGHWAY ADMINISTRATION 410.631.5533
BGE (CONTRACTOR SERVICES) 410.850.4520
BGE (UNDERGROUND DAMAGE CONTROL) 410.787.9088
MISS UTILITY 1.800.257.7777
COLONIAL PIPELINE COMPANY 410.785.1390
HOWARD COUNTY, DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES 410.313.4590
HOWARD COUNTY HEALTH DEPARTMENT 410.313.2640
AT&T 1.800.252.1133
VERIZON 1.800.743.0033/410.234.9210
- THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- ANY DAMAGE TO PUBLIC RIGHT-OF-WAYS, PAVING OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP, WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY IN ADDITION TO MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN APPROVED.
- EXISTING UTILITIES ARE LOCATED BY THE USE OF ANY OR ALL OF THE FOLLOWING: ROAD CONSTRUCTION PLANS, FIELD SURVEYS, PUBLIC WATER AND SEWER PLANS AND OTHER AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF THE EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTOR'S INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO THE CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- ALL HOPE PIPE SPECIFICATION AND INSTALLATION SHALL MEET AASHTO M-252 TYPE S, M-294 TYPE S AND ASTM D2321, RESPECTIVELY.
- SOIL COMPACTION SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER. DRIVEWAY PAVING TO BE HOWARD COUNTY STANDARD P-1 PAVING SECTION. GEOTECHNICAL ENGINEER TO CONFIRM ACCEPTABILITY OF PROPOSED PAVING SECTION, BASED ON SOIL TEST, PRIOR TO CONSTRUCTION.
- ESTIMATES OF EARTHWORK QUANTITIES ARE PROVIDED SOLELY FOR THE PURPOSE OF CALCULATING FEES.
- ALL TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL, WHICH IS BASED ON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENTS NUMBERS 25A1AND25A2 WERE USED FOR THIS PROJECT.
- DRIVEWAY(S) SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING REQUIREMENTS:
1) WIDTH - 12 FEET (16 FEET BEING MORE THAN ONE RESIDENCE);
2) SURFACE - SIX (6) INCHES OF COMPACTED CRUSHER RUN BASED WITH TAR AND CHIP COATING (1-1/2" MINIMUM);
3) GEOMETRY - MAXIMUM 14% GRADE, MAXIMUM 10% GRADE CHANGE AND 45-FOOT TURNING RADIUS;
4) STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H2S-LOADING);
5) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE;
6) MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE
- NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, OR THEIR REQUIRED BUFFERS, FLOODPLAIN AND FOREST CONSERVATION EASEMENT AREAS.
- ALL DITCHES AND SWALES WILL HAVE EROSION CONTROL MATTING.
- STORMWATER MANAGEMENT (SWM) IS PROVIDED FOR THIS PROJECT. THE ON-SITE P_{0.2} IS BEING TREATED THROUGH USE OF MICRO-BIORETENTION, PERVIOUS PAVEMENT, INFILTRATION BERM, DRIVEABLE GRASS (REINFORCED TURF), AND RAIN BARRELS. RAIN BARRELS HAVE BEEN PROVIDED ON THE EXISTING STRUCTURES TO TAKE THE FIRST 0.2" OF RUNOFF FROM THE ASSOCIATED ROOFTOPS. SWM FOR THE EXISTING STRUCTURES IS NOT REQUIRED.
- IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
- THE TRAFFIC STUDY, INTERSECTION SAFETY ANALYSIS, AND SPEED STUDY FOR THIS PROJECT WERE PREPARED BY MARS GROUP, DATED FEBRUARY 2011.
- THIS PLAN COMPLIES WITH THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY THE ON-SITE RETENTION OF 0.11 ACRES (4,792 SF) OF FOREST, REFORESTATION PLANTING OF 0.36 ACRES (15,882 SF) OF FOREST, AND THE REMAINING 0.64 ACRES (27,876 SF) OF OBLIGATION WILL BE BY FEE-IN-LIEU OF REFORESTATION IN THE AMOUNT OF \$29,909. SURETY IN THE AMOUNT OF \$6,841 (10,282 x \$0.60) HAS BEEN POSTED AS PART OF THE DPW DEVELOPER'S AGREEMENT, WHICH INCLUDES A 2,400 SQ.FT. CREDIT FOR LANDSCAPING.
- STANDARD CURB TO BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY STANDARD DETAIL R-3.01 AND DRIVEWAY ENTRANCE TO BE PER HOWARD COUNTY STANDARD DETAIL R-6.05.
- SIDEWALK RAMP ALONG ENTRANCE LOOP TO BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY STANDARD DETAIL R-4.04. RAMP WIDTH EXCEEDS 5' MINIMUM, SEE PLAN FOR WIDTH. SIDEWALK RAMP AT MARTHA BUSH DRIVE ARE TO BE IN ACCORDANCE WITH HOWARD COUNTY STANDARD DETAIL R-4.05. ALL RAMPS, INCLUDING SIDEWALK IN FRONT OF HANDICAP PARKING AREA, ARE TO HAVE A DETECTABLE WARNING STRIP PER DETAIL R-4.04 & R-4.07.
- SEWER HOUSE CONNECTION (SHC) TO BE AT 2.0% UNLESS OTHERWISE NOTED. CLEANOUTS ARE TO BE PROVIDED AT ALL BENDS.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 10.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$15,930 FOR THE REQUIRED LANDSCAPING (31 SHADE TREES, 27 EVERGREENS, AND 86 SHRUBS).
- CONTRACTOR TO VERIFY LOCATION OF PRIVATE SEWER AND FORCE MAIN LINES ON-SITE PRIOR TO CONSTRUCTION. TEST PITS MAY BE REQUIRED TO ASSESS THE LOCATION AND DEPTH. EXISTING MANHOLE COVERS AND CLEANOUTS WILL HAVE TO BE RAISED / LOWERED AS NECESSARY BASED ON NEW PARKING LOT GRADING WEST OF THE EXISTING HISTORIC STRUCTURE.
- A KNOX BOX (A FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. IT SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4' TO 5' IN HEIGHT AND NO MORE THAN 6 FEET LATERALLY FROM THE DOOR. THE KNOX BOX SHALL BE ELECTRICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE ALARM SYSTEM) IN ACCORDANCE WITH NFPA-1.10.12.1. ALL GATES ARE REQUIRED TO HAVE A KNOX BOX OVERRIDE CONTROL TO ENSURE TIMELY FIRE DEPARTMENT ACCESS IN ACCORDANCE WITH NFPA-1.10.12. GATES ACCESSIBLE TO EMERGENCY APPARATUS BY APPROVED MECHANISM OF FIRE DEPARTMENT.
- NO COUNTY TRASH OR RECYCLING COLLECTION SERVICES WILL BE PROVIDED.
- THE NEW 1.5" WHC AND 6" WHC ARE TO BE CONSTRUCTED UNDER AN ADVANCE DEPOSIT ORDER (ADO).

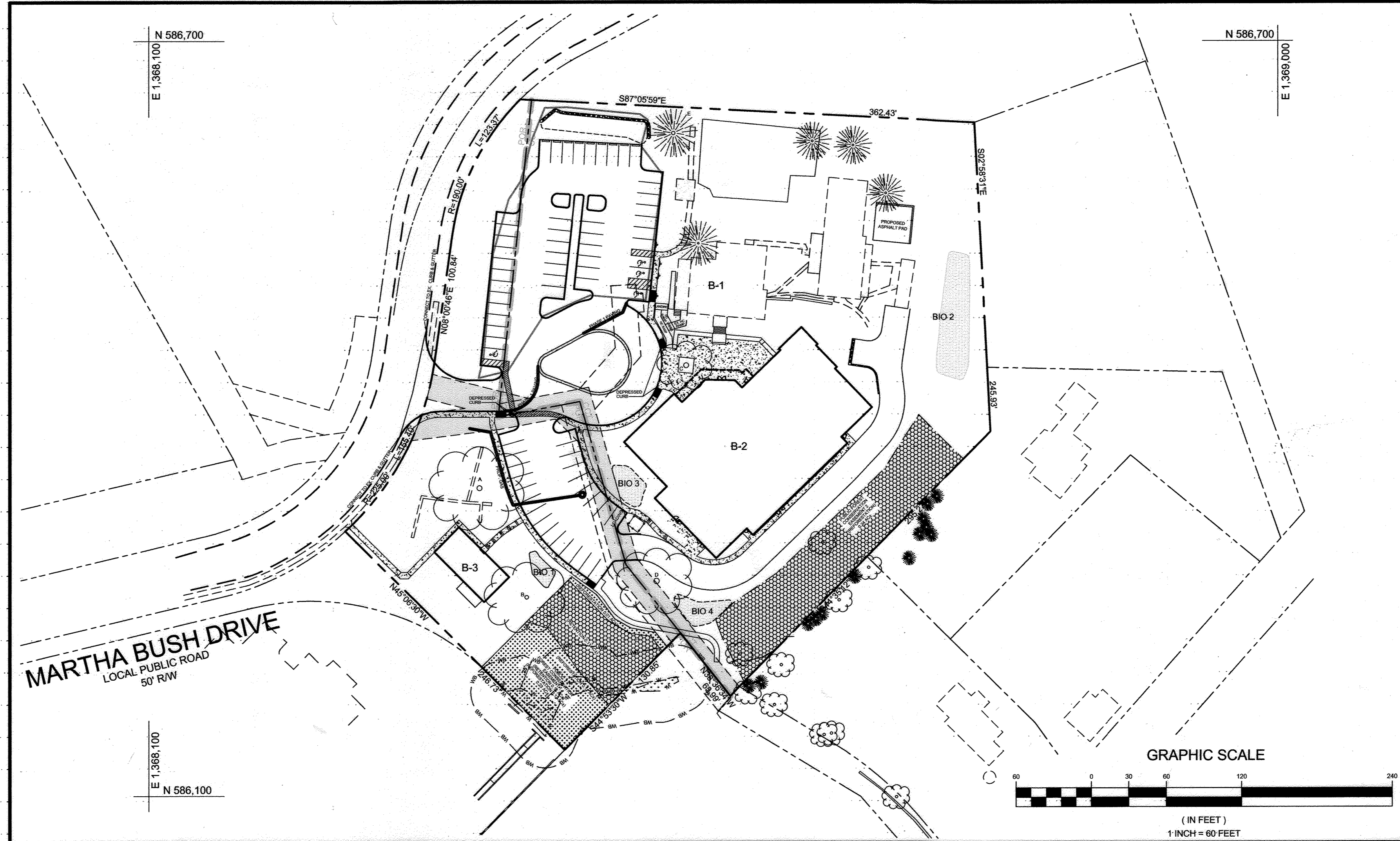
SITE DEVELOPMENT PLANS LINWOOD CENTER, INC. HOWARD COUNTY, MARYLAND

LEGEND

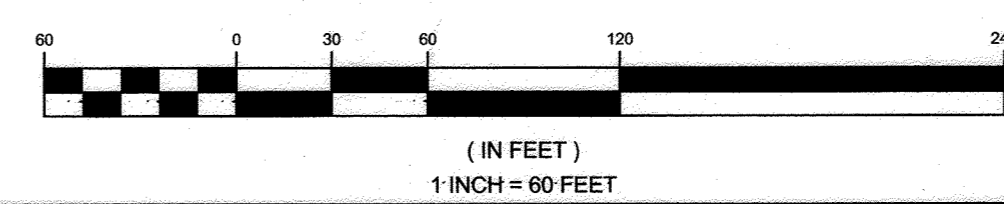
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- DIRECTION OF FLOW
- EXISTING TREELINE
- PROPOSED TREELINE
- EX. STREET LIGHT
- STORMWATER MANAGEMENT TEST BORING



VICINITY MAP
SCALE: 1"=2000'



GRAPHIC SCALE



LOCATION MAP

SCALE: 1"=60'

SHEET INDEX

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	DEMOLITION PLAN
3	SITE DEVELOPMENT PLAN
4	GRADING, SEDIMENT, & EROSION CONTROL PLAN
5	SEDIMENT & EROSION CONTROL NOTES & DETAILS
6	DRAINAGE AREA & SOILS MAP
7	UNDERDRAIN AND WATER & SEWER HOUSE CONNECTION PROFILES
8	STORMWATER MANAGEMENT PLAN & DETAILS
9	STORMWATER MANAGEMENT PLAN & DETAILS
10	BORING LOGS & MDE DETAILS
11	LANDSCAPE & FOREST CONSERVATION PLAN
12	LANDSCAPE & FOREST CONSERVATION NOTES & DETAILS
13	SITE LIGHTING PLAN
14	SITE LIGHTING DETAILS

BENCHMARKS

NUMBER	NORTHING	EASTING	ELEVATION	DESCRIPTION
25A1	590,475.2538	1,344,753.9350	469.892	11.5' SOUTHWEST OF WBL RT. 40, 20.8' SOUTH OF PK NAIL IN SHOULDER, 66.4' SOUTH OF LAST POST IN GUARDRAIL.
25A2	590,475.2538	1,344,753.9350	469.892	11' SOUTHWEST OF WBL RT. 40, 134.8' WEST OF CEMETERY LANE SIGN, 144.8' NORTH OF FIRST POST IN GUARDRAIL.

SITE ANALYSIS DATA CHART

TOTAL PROJECT AREA	AREA OF SUBMISSION	DISTURBED AREA	PRESENT ZONING
4.19 AC ±	4.19 AC ±	2.87 AC	POR / CCT
PROPOSED USE	FLOOR SPACE PER USE	TOTAL UNITS ALLOWED	TOTAL UNITS PROPOSED
PRIVATE SCHOOL	37,874 SF SCHOOL BLDGS & 9,344 SF DORMITORIES	/ N/A	N/A
MAX. # EMPLOYEES/TENANTS	PARKING SPACES REQ.	PARKING SPACES PROV.	HC SPACES PROVIDED
120	25 SPACES	70 SPACES	3
OPEN SPACE REQUIRED	OPEN SPACE PROVIDED	REC. O.S. REQUIRED	REC. O.S. PROVIDED
N/A	N/A	N/A	N/A
BUILDING COVERAGE	FLOOR AREA RATIO		DPZ FILE REFERENCES
N/A	N/A		HDC-10-10; ECP-11-037

PERMIT INFORMATION CHART

SUBDIVISION / PROJECT NAME	SECTION / AREA	PARCEL #			
LINWOOD CENTER, INC.	N/A	218 & 333			
PLAT OR L/F	GRID #	ZONING	TAX MAP #	ELECT. DIS.	CENSUS TRACT
269/123 & 11087/358	1	POR/CCT	25	2ND	602303

OWNER/DEVELOPER

LINWOOD CENTER, INC.
C/O WILLIAM MOSS
3421 MARTHA BUSH DRIVE
ELLICOTT CITY, MARYLAND 21043
410.465.1352

AS-BUILT

COVER SHEET

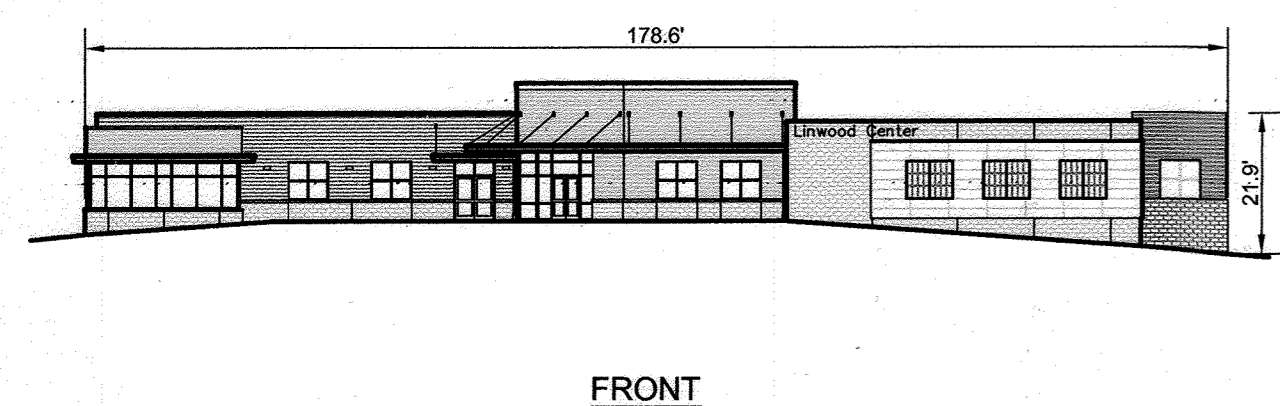
LINWOOD CENTER, INC.
TWO-STORY PRIVATE SCHOOL BUILDING
HDC-10-10; ECP-11-037

TAX MAP 25 GRID 1
2ND ELECTION DISTRICT
ZONING: CCT / POR
PARCELS 218 & 333
HOWARD COUNTY, MARYLAND

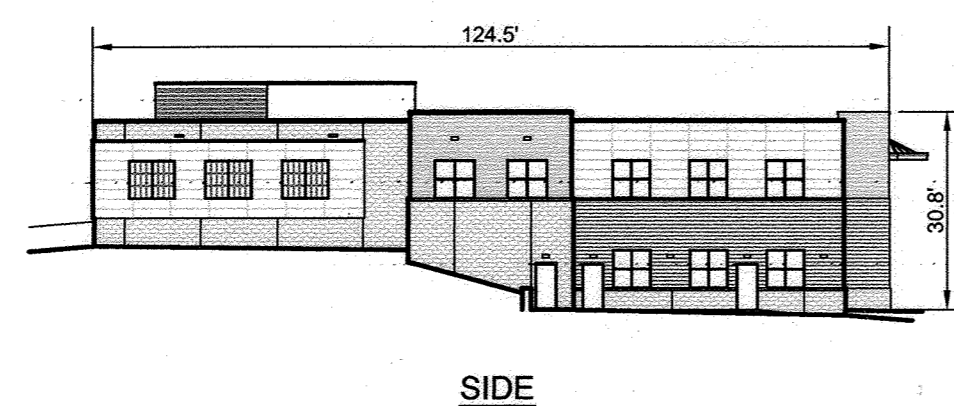
DESIGN BY: SJT
DRAWN BY: SJT
CHECKED BY: PS
SCALE: AS SHOWN
DATE: AUGUST 28, 2011
PROJECT #: 09-044
SHEET #: 1 of 14

Sill · Adcock & Associates · LLC
Engineers · Surveyors · Planners
3300 North Ridge Road, Suite 160
Ellicott City, Maryland 21043
Phone: 443.325.7682 Fax: 443.325.7685
Email: info@saaland.com

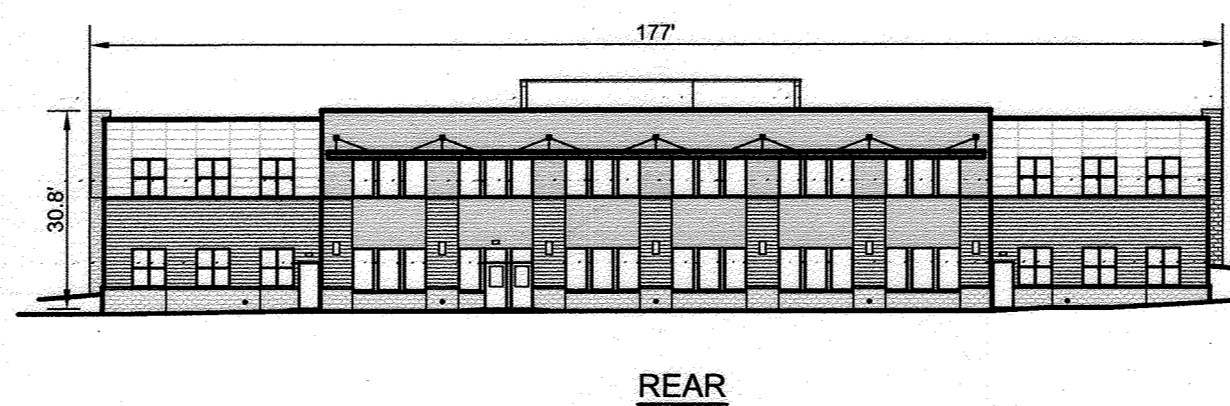
PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38366, EXPIRATION DATE: JANUARY 12, 2012



FRONT



SIDE



REAR

ELEVATIONS

SCALE: 1"=30'

ADDRESS CHART

BUILDING #	STREET ADDRESS
B-1	3421 MARTHA BUSH DRIVE
B-2	3423 MARTHA BUSH DRIVE
B-3	3425 MARTHA BUSH DRIVE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION
12/23/11
DATE
4/10/12
DATE
1/14/12
DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS IN ACCORDANCE WITH THE MASTER PLAN OF HOWARD COUNTY
12/13/2011
DATE
COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT

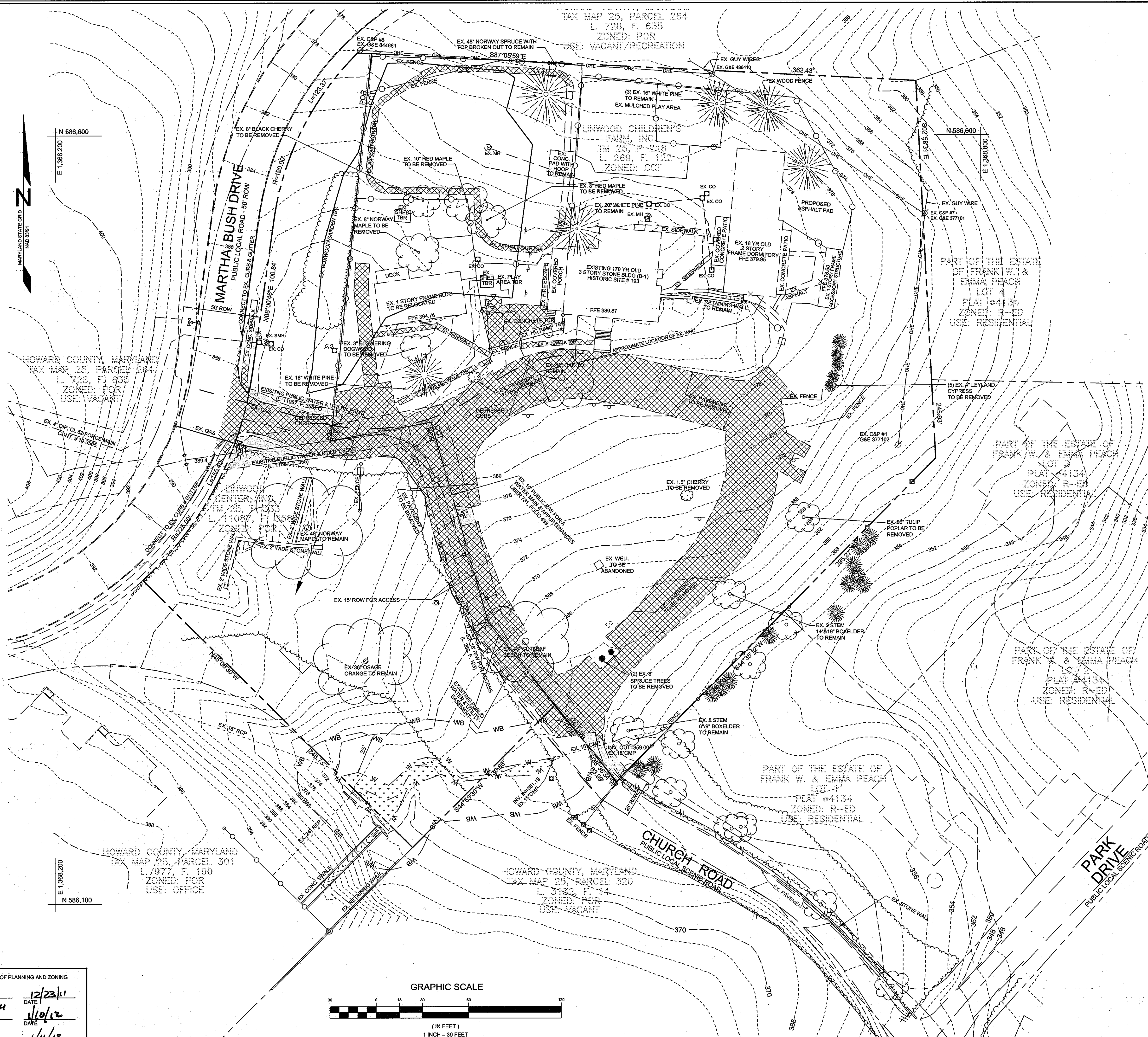


AS-BUILT CERTIFICATION
I certify that the information on this sheet is true and correct.
Michael D. Adcock 12/28/15
Michael D. Adcock, P.E.
MD Reg. No. 38366, Exp. Date: 06-16-17

NO.	DESCRIPTION	DATE
1	Add Greenhouse on existing conc. pad	5/15/24

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- DIRECTION OF FLOW
- EXISTING TREELINE
- PROPOSED TREELINE
- EXISTING TREES
- EXISTING SIGN
- EXISTING WATER LINE
- EXISTING FORCE MAIN
- EXISTING SIDEWALK TO BE REMOVED
- TO BE REMOVED



OWNER/DEVELOPER
 LINWOOD CENTER, INC.
 C/O WILLIAM MOSS
 3421 MARTHA BUSH DRIVE
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 410.465.1352

DEMOLITION PLAN
LINWOOD CENTER, INC.
 TWO-STORY PRIVATE SCHOOL BUILDING
 HDC-10-10; ECP-11-037

TAX MAP 25 GRID 1
 2ND ELECTION DISTRICT
 ZONING: CCT / POR
 PARCELS 218 & 333
 HOWARD COUNTY, MARYLAND



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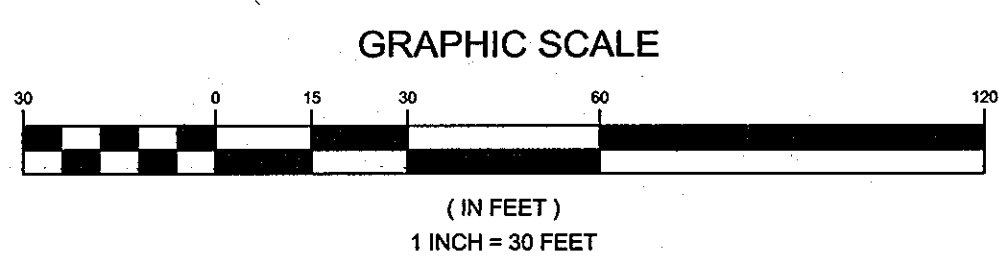
DESIGN BY: SJT
 DRAWN BY: SJT
 CHECKED BY: PS
 SCALE: 1"=30'
 DATE: AUGUST 26, 2011
 PROJECT #: 09-044
 SHEET #: 2 of 14

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 12/23/11

 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 1/10/12

 DIRECTOR
 DATE: 1/11/12

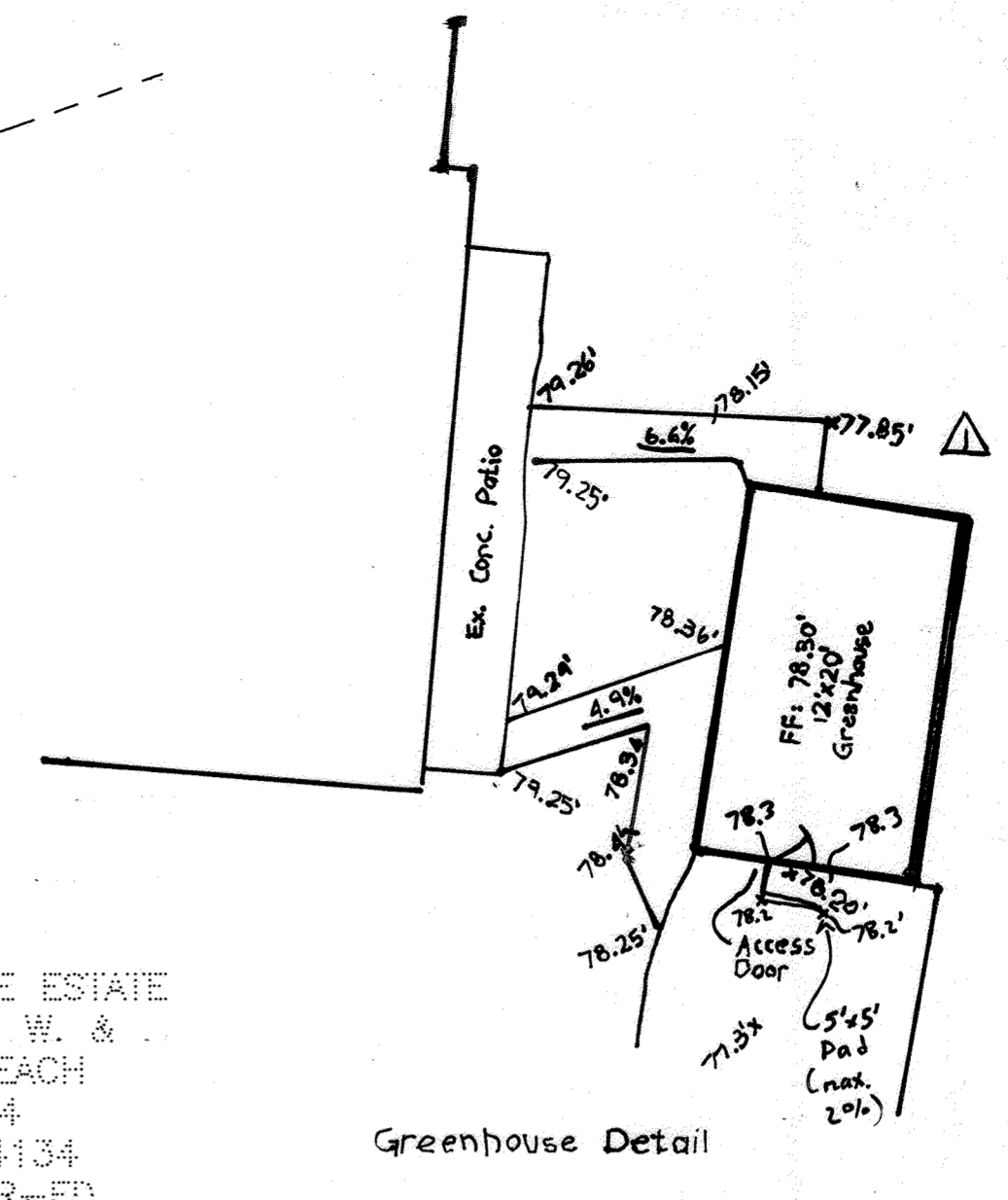


HOWARD COUNTY, MARYLAND
TAX MAP 25, PARCEL 264
L. 728, F. 635
ZONED: POR
USE: VACANT/RECREATION

N 586,600
E 1,368,200

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- DIRECTION OF FLOW
- EXISTING TREELINE
- PROPOSED TREELINE
- EXISTING TREES
- EXISTING SPECIMEN TREES
- EXISTING SIGN
- EXISTING WATER LINE
- EXISTING FORCE MAIN
- ROOF LEADERS
- RAIN BARREL
- PROPOSED FOREST CONSERVATION EASEMENT
- PROPOSED BIORETENTION
- PROPOSED PERMEABLE PAVEMENT
- PROPOSED DRIVABLE GRASS
- PROPOSED DRIVABLE GRASS AREA NOT CREDITED FOR SWM
- PROPOSED INFILTRATION BERM



PART OF THE ESTATE OF FRANK W. & EMMA PEACH
LOT 4
PLAT #4134
ZONED: R-ED
USE: RESIDENTIAL

PART OF THE ESTATE OF FRANK W. & EMMA PEACH
LOT 3
PLAT #4134
ZONED: R-ED
USE: RESIDENTIAL

PART OF THE ESTATE OF FRANK W. & EMMA PEACH
LOT 1
PLAT #4134
ZONED: R-ED
USE: RESIDENTIAL

HOWARD COUNTY, MARYLAND
TAX MAP 25, PARCEL 264
L. 728, F. 635
ZONED: POR
USE: VACANT

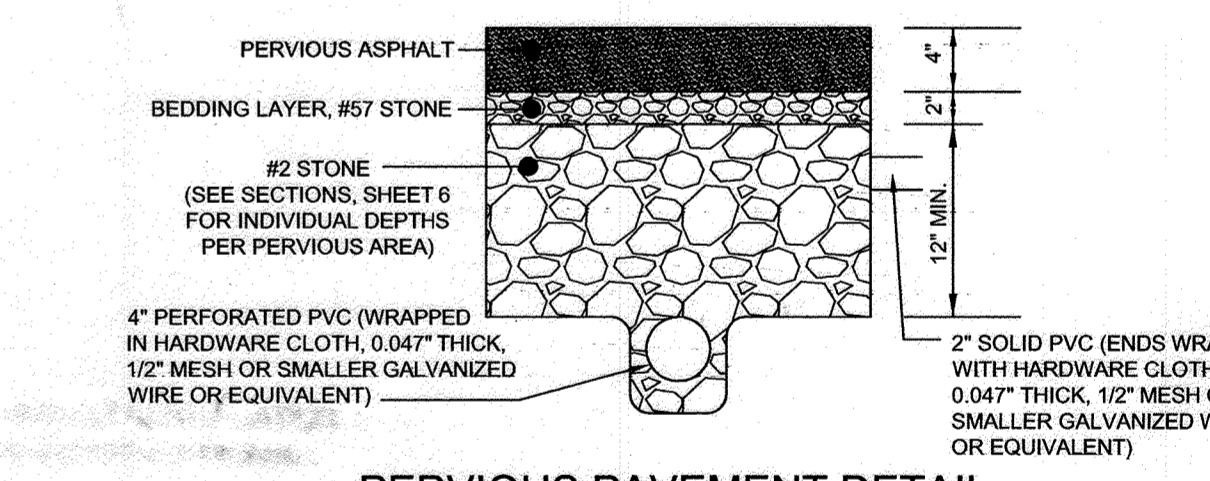
LINWOOD CENTER, INC.
TM 25, P. 333
L. 1104, F. 351
ZONED: POR

HOWARD COUNTY, MARYLAND
TAX MAP 25, PARCEL 320
L. 3132, F. 14
ZONED: POR
USE: VACANT

STANDARD PAVING SECTIONS

SEC. NO.	ROAD AND STREET CLASSIFICATION	CALIFORNIA BEARING RATIO (CBR)		3 TO <5 TO <7		3 TO <5 TO <7	
		3 TO <5	5 TO <7	3 TO <5	5 TO <7	3 TO <5	5 TO <7
P-1	PARKING BAYS: RESIDENTIAL AND NON-RESIDENTIAL	PAVEMENT MATERIAL (INCHES)		MIN HMA WITH GAB		HMA WITH CONSTANT GAB	
	PARKING DRIVE AISLES: RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 2 HEAVY TRUCKS PER DAY.	HMA SUPERPAVE FINAL SURFACE 9.5 MM, PG 64-22, LEVEL 1 (ESAL)		1.5	1.5	1.5	1.5
		HMA SUPERPAVE INTERMEDIATE SURFACE (NA)		N/A	N/A	N/A	N/A
		HMA SUPERPAVE BASE 180 MM, PG 64-22 LEVEL 1 (ESAL)		2.0	2.0	2.0	2.5
		GRADED AGGREGATE BASE (GAB)		8.5	7.0	5.0	4.0

NOTES:
1. HEAVY TRUCKS ARE DEFINED AS THOSE WITH SIX (6) WHEELS OR MORE INCLUDING GARBAGE TRUCKS.
2. HMA SUPERPAVE LAYERS SHALL BE PLACED IN APPROPRIATE COMPACTED LIFT THICKNESS: 1.0" MIN BASE (2.0" MIN TO 4.0" MAX), 1.25" MIN SURFACE (1.5" MIN TO 3.0" MAX), AND 9.5" MIN SURFACE (1.0" MIN TO 2.0" MAX).
3. GRADED AGGREGATE BASE (GAB) TO BE PLACED AND COMPACTED IN 6" MAX COMPACTED THICKNESS LAYERS.
4. THE INTERMEDIATE SURFACE COURSE LAYER MUST BE PLACED WITHIN 2 WEEKS OF PLACEMENT OF BASE COURSE, AND IS REQUIRED PRIOR TO SUBSTANTIAL COMPLETION INSPECTION AND BOND REDUCTION.
5. IN LIEU OF PLACING THE INTERMEDIATE SURFACE COURSE LAYER FOR COMMERCIAL/INDUSTRIAL ENTRANCE APPROX WITHIN THE COUNTY RIGHT-OF-WAY WHERE AUXILIARY LANES ARE NOT REQUIRED, THE THICKNESS OF THE INTERMEDIATE PAVEMENT LAYER CAN BE ADDED TO THE REQUIRED THICKNESS OF THE BASE ASPHALT LAYER.
6. THE CONSTRUCTION DRAWINGS SHALL SHOW THE PAVING SECTION, ROAD CLASSIFICATION AND CBR VALUE FOR EACH ROADWAY.



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3421 MARTHA BUSH DRIVE
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AS-BUILT

SITE DEVELOPMENT PLAN

LINWOOD CENTER, INC.

TWO-STORY PRIVATE SCHOOL BUILDING
HDC-10-10; ECP-11-037

TAX MAP 25 GRID 1
2ND ELECTION DISTRICT

ZONING: COT / POR
PARCELS 218 & 333
HOWARD COUNTY, MARYLAND

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DESIGN BY: SJT
DRAWN BY: SJT
CHECKED BY: PS
SCALE: 1"=30'
DATE: AUGUST 26, 2011
PROJECT #: 09-044
SHEET #: 3 of 14

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2012

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Walter D. Adcock
CHIEF DEVELOPMENT ENGINEERING DIVISION
DATE: 12/28/11

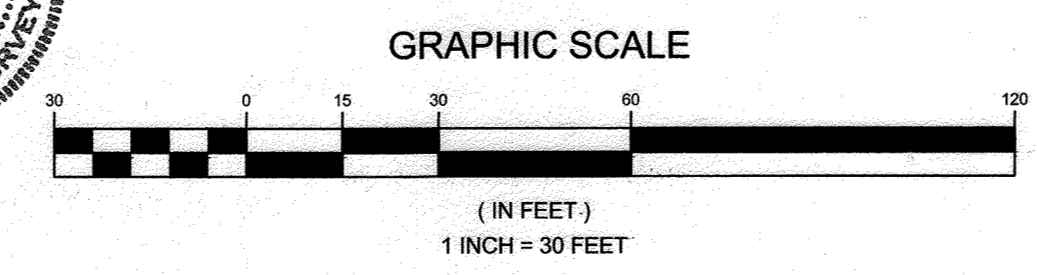
Kat Shedd
CHIEF DIVISION OF LAND DEVELOPMENT
DATE: 1/10/12

Thomas J. Butler
DIRECTOR
DATE: 1/11/12

AS-BUILT CERTIFICATION

I HEREBY CERTIFY, BY MY SEAL, THAT THE CONDITIONS SHOWN ON THIS PLAN WERE CONSTRUCTED TO THE LINES AND GRADES SHOWN IN RED ON THIS "AS-BUILT" PLAN AND MEET THE APPROVED PLANS AND SPECIFICATIONS AND ALSO THAT THESE TO CONSTRUCTION WERE PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND.

Michael D. Adcock
MICHAEL D. ADCOCK, PROFESSIONAL LAND SURVEYOR
NO. REG. NO. 21257, EXPIRATION DATE: 06-10-17
DATE: 12/28/11

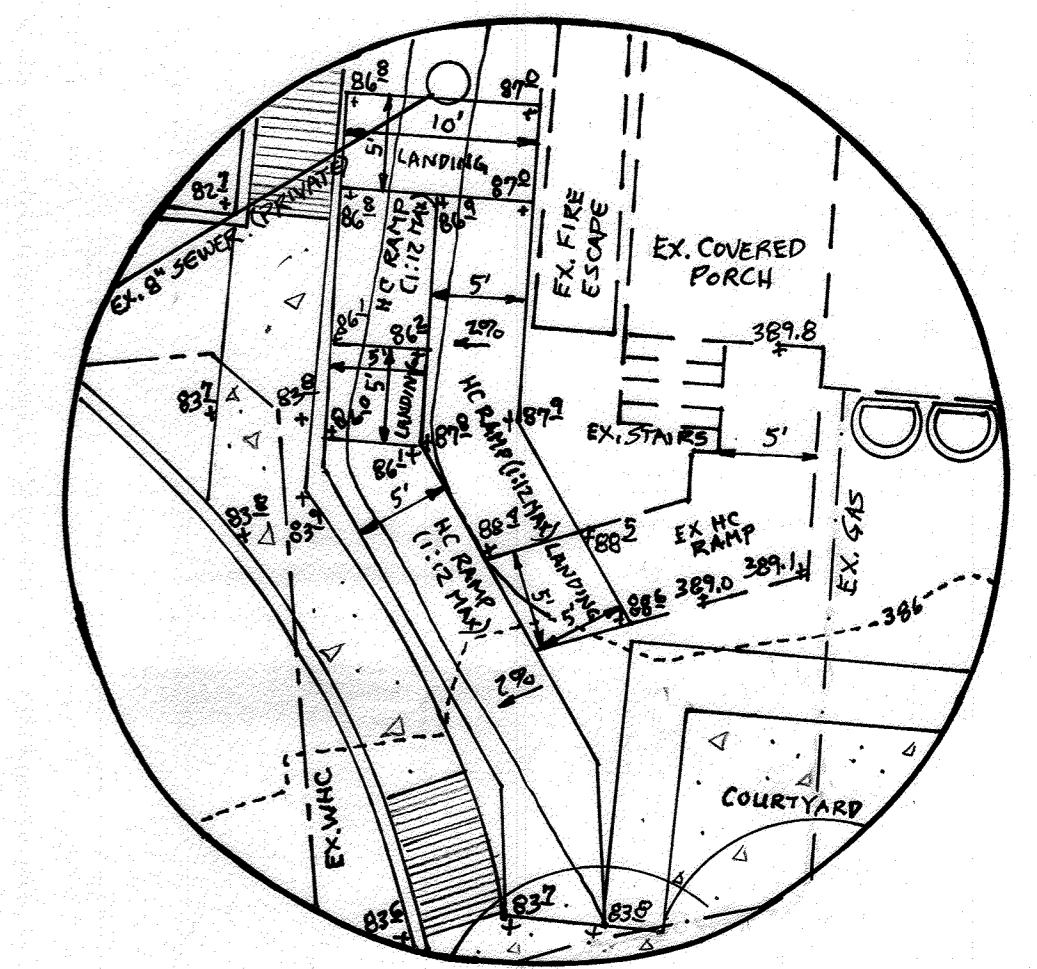


△ Add Greenhouse over existing pad (8/15/24)

SOILS LEGEND			
SYMBOL	NAME / DESCRIPTION	GROUP	K FACTOR
GgB	GLENELG LOAM, 3 TO 8 PERCENT SLOPES	B	0.20
MaC	MAJOR LOAM, 8 TO 15 PERCENT SLOPES	B	0.24
McD	MAJOR LOAM, 15 TO 25 PERCENT SLOPES, VERY ROCKY	B	0.24
UuB	URBAN LAND - UDORIENTS COMPLEX, 0 TO 8 PERCENT SLOPES	D	-

LEGEND	
EXISTING CONTOUR	---
PROPOSED CONTOUR	---
EXISTING SPOT ELEVATION	382.3
PROPOSED SPOT ELEVATION	382.3
DIRECTION OF FLOW	---
EXISTING TREENLINE	---
PROPOSED TREENLINE	---
EXISTING TREES	---
EXISTING SPECIMEN TREES	---
EXISTING SIGN	---
EXISTING WATER LINE	---
EXISTING FORCE MAIN	---
SOIL BOUNDARY	---
ROOFLEADERS	---
RAIN BARREL	---
PROPOSED FOREST CONSERVATION EASEMENT	---
STABILIZED CONSTRUCTION ENTRANCE	---
SILT FENCE	---
SUPER SILT FENCE	---
LIMIT OF DISTURBANCE	---
EROSION CONTROL MATTING	---
STONE EDGE FOR DRIVEWAY LOOP AND RIPRAP	---
SIDEWALK (HANDICAP) RAMP	---
TO REMAIN	---

NOTE: CONTINUE DOUBLE ROW OF SUPER SILT FENCE (SSF) AND SILT FENCE SHALL BE REPLACED WITH SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.



HANDICAP RAMP DETAIL
1" = 10'

AS-BUILT CERTIFICATION
I hereby certify that the information on this sheet is true and correct to the best of my knowledge and belief.
W. P. ... 12/20/11
Professional Engineer License No. 21251
Professional Land Surveyor License No. 16-17

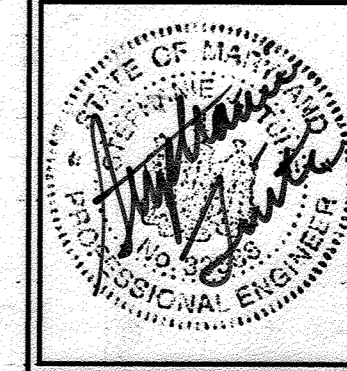


OWNER/DEVELOPER
LINWOOD CENTER, INC.
C/O WILLIAM MOSS
3421 MARTHA BUSH DRIVE
ELLCOTT CITY, MARYLAND 21043
410.465.1352

AS-BUILT

GRADING, SEDIMENT & EROSION CONTROL PLAN
LINWOOD CENTER, INC.
TWO-STORY PRIVATE SCHOOL BUILDING
HDC-10-10; ECP-11-037

TAX MAP 25 GRID 1
2ND ELECTION DISTRICT
HOWARD COUNTY, MARYLAND



Sill Adcock & Associates - LLC
Engineers - Surveyors - Planners
3300 North Ridge Road, Suite 160
Ellicott City, Maryland 21043
Phone: 443.325.7682 Fax: 443.325.7685
Email: info@silladcock.com

DESIGN BY: SJT
DRAWN BY: SJT
CHECKED BY: PS
SCALE: 1" = 30'
DATE: AUGUST 26, 2011
PROJECT #: 09-044
SHEET #: 4 of 14

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 36388, EXPIRATION DATE: JANUARY 12, 2012.

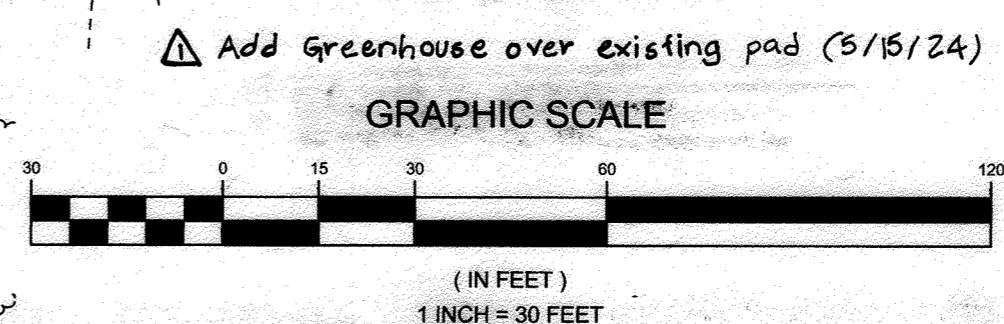
SDP-11-041

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION
W. P. Adcock 12/23/11
CHIEF, DIVISION OF LAND DEVELOPMENT
W. P. Adcock 1/10/12
W. P. Adcock 1/16/12
DIRECTOR

DEVELOPER'S CERTIFICATE
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERSONS ON SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."
W. P. Adcock 12/14/11
SIGNATURE OF DEVELOPER DATE

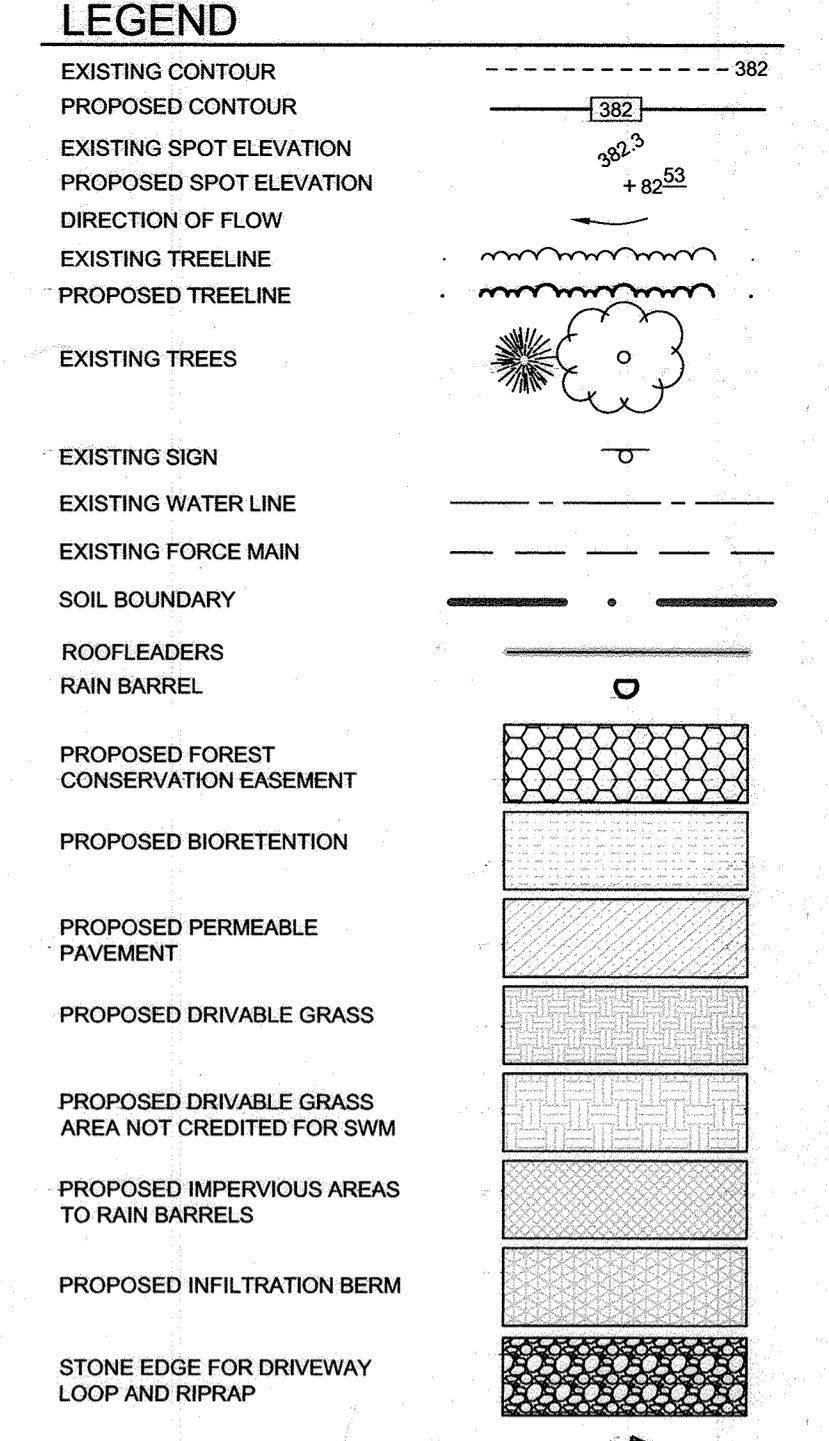
ENGINEERS CERTIFICATE
"I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
Stephanie J. Tuite 12/14/11
SIGNATURE OF ENGINEER DATE
STEPHANIE J. TUITE, RLA, PE, LEED AP

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT
John P. Roberts 12/20/11
HOWARD SCD DATE





STORMWATER MANAGEMENT	
LOTS / PARCELS / AREA	TREATMENT
EXISTING 3-STORY HISTORIC STRUCTURE	10 RAIN BARRELS (0.2' OF TREATMENT)
EXISTING 2-STORY DORMITORY	7 RAIN BARRELS (0.2' OF TREATMENT) AND PERVIOUS PAVEMENT
EXISTING 1-STORY STRUCTURE	1 RAIN BARREL (0.2' OF TREATMENT)
EXISTING DORMITORY BEING RELOCATED	2 RAIN BARRELS AND MICRO-BIORETENTION
PARKING AREA NEAR BORING B-6	INFILTRATION BERM
PARKING AREA NEAR BORING B-7	PERVIOUS PAVEMENT
ENTRANCE DRIVE AND DROP-OFF LOOP	TWO MICRO-BIORETENTIONS AND PERVIOUS PAVEMENT
PARKING AREA NEAR BORING B-5	PERVIOUS PAVEMENT AND REINFORCED TURF
FIRE AND DORMITORY ACCESS IN THE REAR OF PROPOSED STRUCTURE	REINFORCED TURF
SIDEWALK CONNECTION TO EXISTING PATH TO CHURCH ROAD	PERVIOUS PAVEMENT
ASPHALT PAD	PERVIOUS PAVEMENT
PROPOSED 2-STORY STRUCTURE	MICRO-BIORETENTION
COURTYARD BETWEEN STRUCTURES	MICRO-BIORETENTION AND REINFORCED TURF



STORMWATER MANAGEMENT NOTES & DESIGN NARRATIVE

- THE SITE HAS AN HISTORIC STRUCTURE, TWO DORMITORIES, ONE ACCESSORY STRUCTURE, AND A LOOP DRIVEWAY WITH PARKING ON THE PROPERTY. NO STORMWATER MANAGEMENT CURRENTLY EXISTS ON-SITE. WITHIN THE LAST FEW YEARS, ADDITIONAL LAND WAS OBTAINED FROM HOWARD COUNTY THAT CONTAINED RUINS OF A CARRIAGE HOUSE THAT ORIGINALLY A PART OF THE LINWOOD PROPERTY AND TO ALSO HELP IN THE DEVELOPMENT OF A NEW SCHOOL FACILITY. ALL EXISTING STRUCTURES ARE TO BE RETAINED, ONE OF WHICH IS PROPOSED TO BE RELOCATED. ALTHOUGH THE PROPERTY IS CURRENTLY DEVELOPED, AT 24% IMPERVIOUS, IT DOES NOT MEET THE MINIMUM IMPERVIOUS AREA IN ORDER TO MEET THE CRITERIA FOR REDEVELOPMENT, THEREFORE THE PROPERTY IS BEING ANALYZED TO PROVIDE ON-SITE TREATMENT FOR ALL OF THE EXISTING AND PROPOSED IMPERVIOUS AREAS.
- WETLANDS, THEIR BUFFERS, AND STEEP SLOPES LESS THAN 20,000 SQ. FT. EXIST ON-SITE. NO OTHER ENVIRONMENTALLY SENSITIVE AREAS (STREAM, STREAM BUFFERS, FLOODPLAIN, ETC.) EXIST ON-SITE. FIVE (5) SPECIMEN TREES EXIST ON-SITE, ALL OF WHICH ARE TO REMAIN. EXISTING WETLANDS AND A PORTION OF THE STEEP SLOPES ARE BEING PROTECTED AND PRESERVED BY REFORESTATION AND PLACEMENT OF A FOREST CONSERVATION EASEMENT. THE REMAINING PORTION OF STEEP SLOPES NOT WITHIN A PROTECTIVE EASEMENT ARE BEING RETAINED OUTSIDE THE LIMITS OF DISTURBANCE.
- ONE OVERALL P₁₀ OF 1" HAS BEEN CALCULATED FOR THE SITE BASED ON THE SITE ACREAGE OF 4.19 ACRES THAT IS MADE UP OF "B" AND "D" SOILS AND THE PROPOSED IMPERVIOUS ACREAGE OF 41%.
- STORMWATER MANAGEMENT OBLIGATIONS WILL BE TREATED BY RAIN BARRELS FOR THE MAJORITY OF THE EXISTING ROOFTOP RUNOFF, FOUR (4) MICRO-BIORETENTION FACILITIES FOR THE PROPOSED STRUCTURE'S ROOFTOP AND LOOP DRIVE RUNOFF, PERVIOUS PAVEMENT, INFILTRATION BERM, AND REINFORCED TURF FOR THE PARKING AREAS, FIRE ACCESS, SIDEWALKS / PATHS, AND ASPHALT PAD.

AS-BUILT CERTIFICATION
 There is no on-site information on this sheet.
 Michael D. Adcock, License No. 26-16-17
 12/22/11
 STATE OF MARYLAND
 MICHAEL D. ADCKOCK
 PROFESSIONAL LAND SURVEYOR
 No. 21251

SOILS LEGEND			
SYMBOL	NAME / DESCRIPTION	GROUP	K FACTOR
GgB	GLENELG LOAM, 3 TO 8 PERCENT SLOPES	B	0.20
MaC	MANOR LOAM, 8 TO 15 PERCENT SLOPES	B	0.24
MaD	MANOR LOAM, 15 TO 25 PERCENT SLOPES, VERY ROCKY	B	0.24
UuB	URBAN LAND - UOORHTMENTS COMPLEX, 0 TO 8 PERCENT SLOPES	D	-

OWNER/DEVELOPER
 LINWOOD CENTER, INC.
 C/O WILLIAM MOSS
 3421 MARTHA BUSH DRIVE
 ELLICOTT CITY, MARYLAND 21043
 410.465.1352

DRAINAGE AREA & SOILS MAP
LINWOOD CENTER, INC.
 TWO-STORY PRIVATE SCHOOL BUILDING
 HDC-10-10; ECP-11-037
 TAX MAP 25 GRID 1
 2ND ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

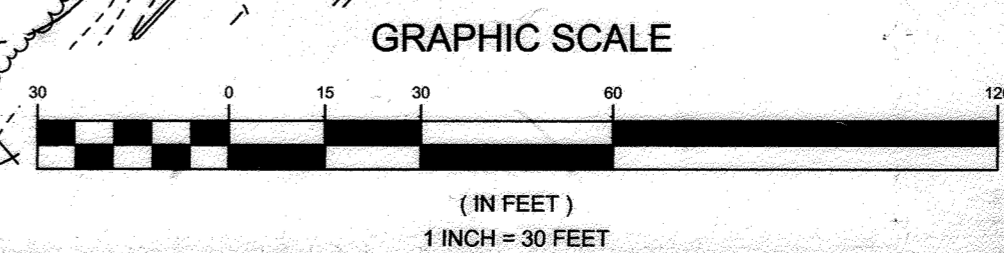
Sill · Adcock & Associates · LLC
 Engineers · Surveyors · Planners
 3300 North Ridge Road, Suite 160
 Ellicott City, Maryland 21043
 Phone: 443.325.7682
 Email: info@silladcock.com
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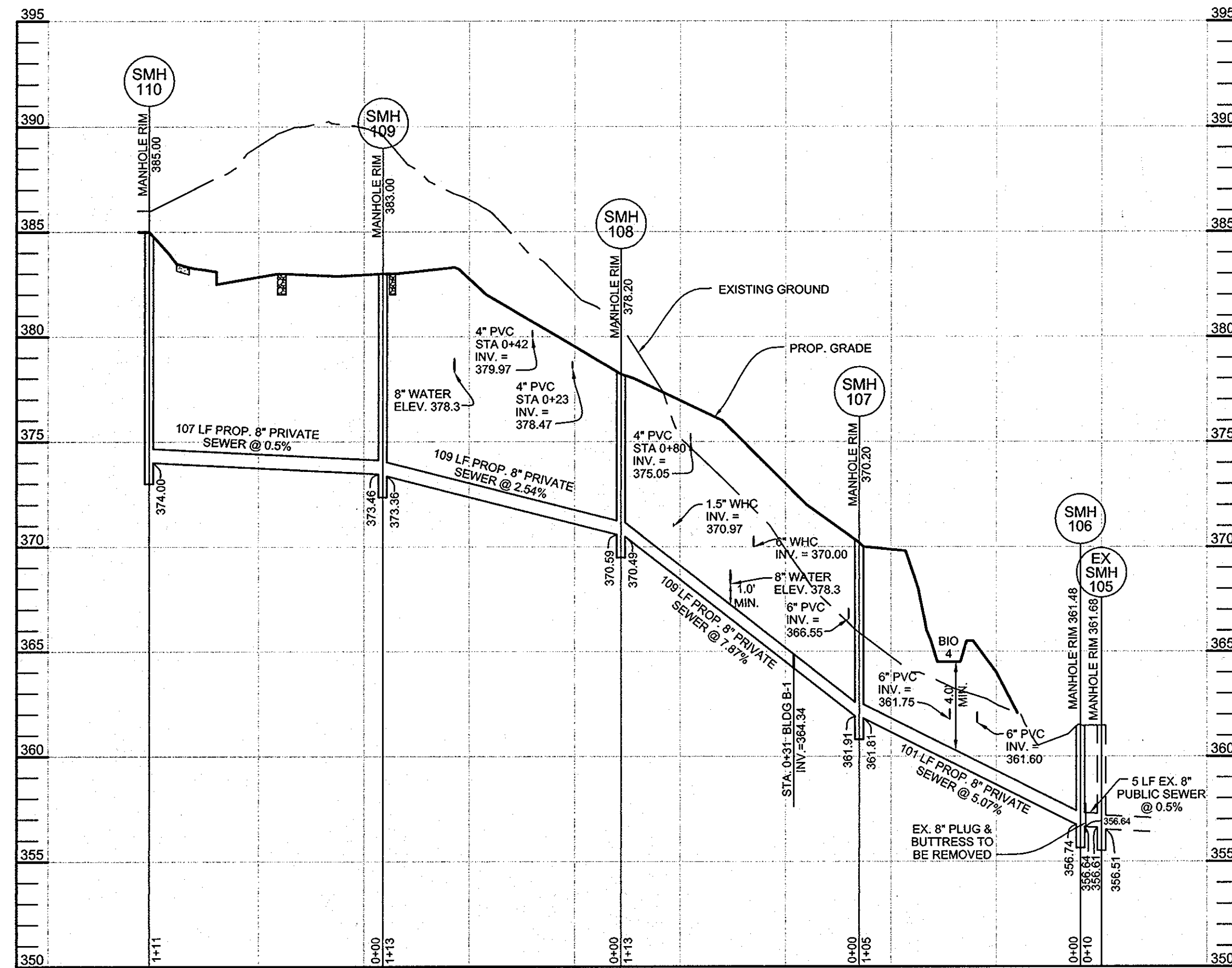
DESIGN BY: SJT
 DRAWN BY: SJT
 CHECKED BY: PS
 SCALE: 1"=30'
 DATE: AUGUST 26, 2011
 PROJECT #: 09-044
 SHEET #: 6 OF 14

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

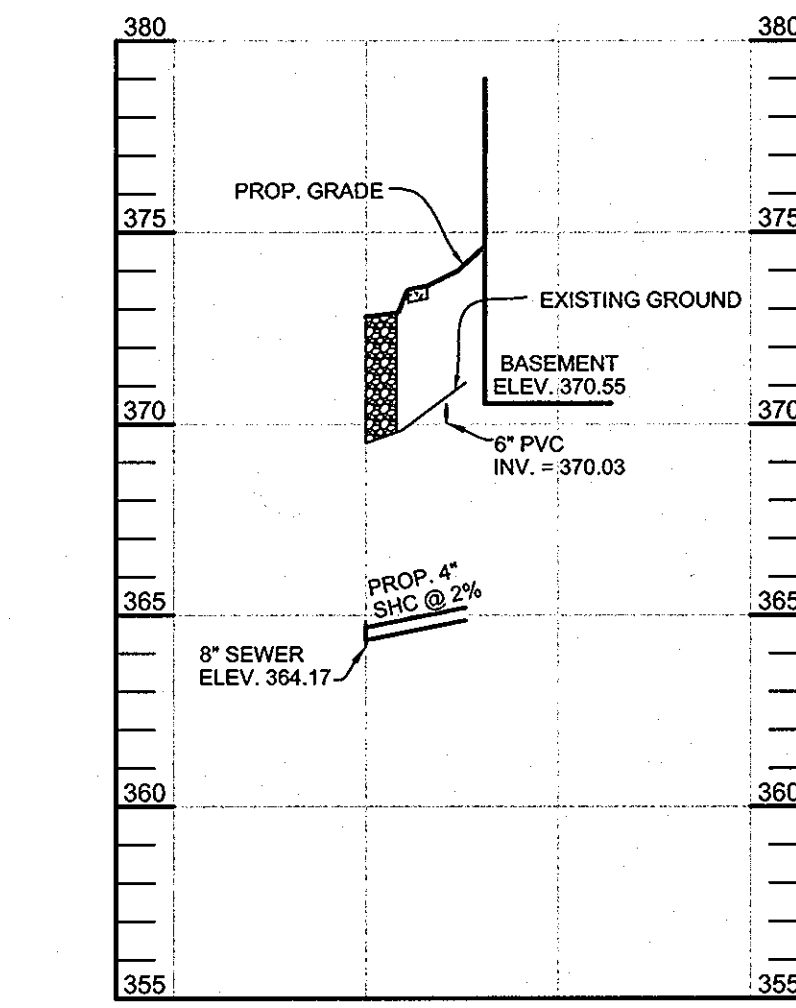
12/22/11
 11/01/12
 11/12/12

STORMWATER MANAGEMENT - EXISTING STRUCTURES												
ROOF AREA	REQUIRED STORAGE	PROVIDED STORAGE	ROOF AREA	REQUIRED STORAGE	PROVIDED STORAGE	ROOF AREA	REQUIRED STORAGE	PROVIDED STORAGE	ROOF AREA	REQUIRED STORAGE	PROVIDED STORAGE	
A 788 SQ.FT.	117 CF	7.35 CF OR 55 GAL (1 RAIN BARREL) & 110 CF IN MICRO-BIORETENTION	E 769 SQ.FT.	N/A	14.7 CF OR 110 GAL (2 RAIN BARRELS)	I 120 SQ.FT.	N/A	9.7 CF	N/A	14.7 CF OR 110 GAL (2 RAIN BARRELS)	J 120 SQ.FT.	N/A
B 790 SQ.FT.	117 CF	7.35 CF OR 55 GAL (1 RAIN BARREL) & 110 CF IN MICRO-BIORETENTION	F 668 SQ.FT.	N/A	14.7 CF OR 110 GAL (2 RAIN BARRELS)	K 466 SQ.FT.	N/A	5.4 CF	N/A	7.4 CF OR 55 GAL (1 RAIN BARREL)	L 518 SQ.FT.	N/A
C 840 SQ.FT.	N/A	14.7 CF OR 110 GAL (2 RAIN BARRELS)	G 274 SQ.FT.	N/A	7.4 CF OR 55 GAL (1 RAIN BARREL)	M 466 SQ.FT.	N/A	5.4 CF	N/A	7.4 CF OR 55 GAL (1 RAIN BARREL)	N 466 SQ.FT.	N/A
D 837 SQ.FT.	N/A	14.7 CF OR 110 GAL (2 RAIN BARRELS)	H 284 SQ.FT.	N/A	7.4 CF OR 55 GAL (1 RAIN BARREL)	O 466 SQ.FT.	N/A	6.8 CF	N/A	14.7 CF OR 110 GAL (2 RAIN BARRELS)	P 466 SQ.FT.	N/A

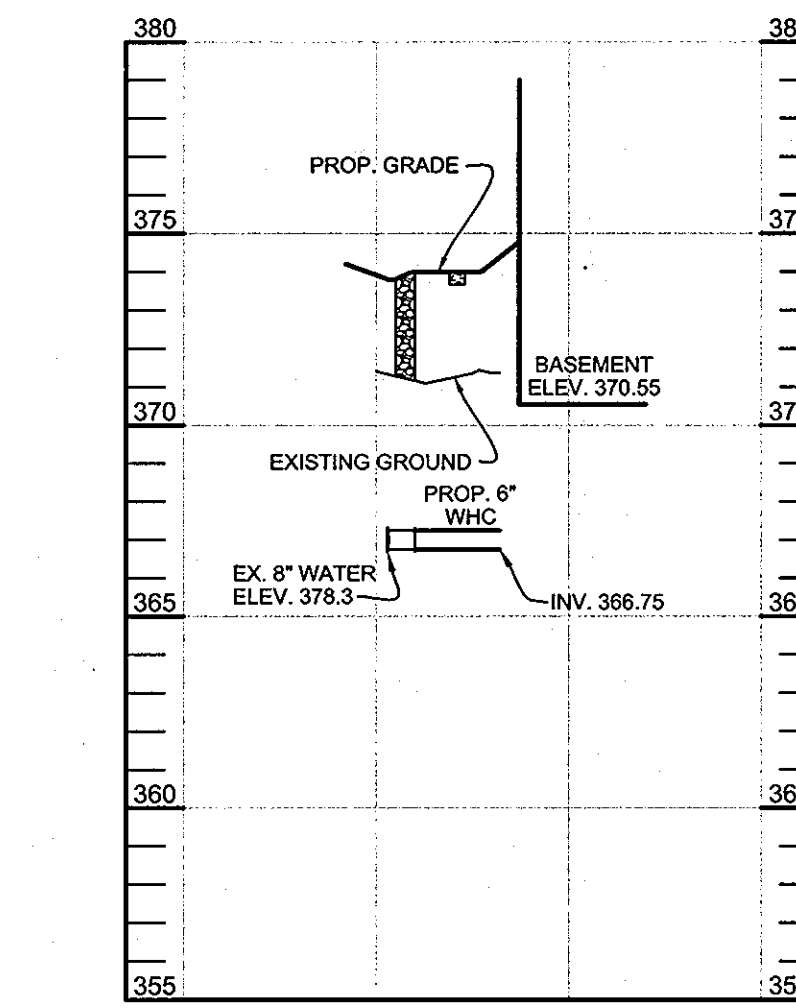




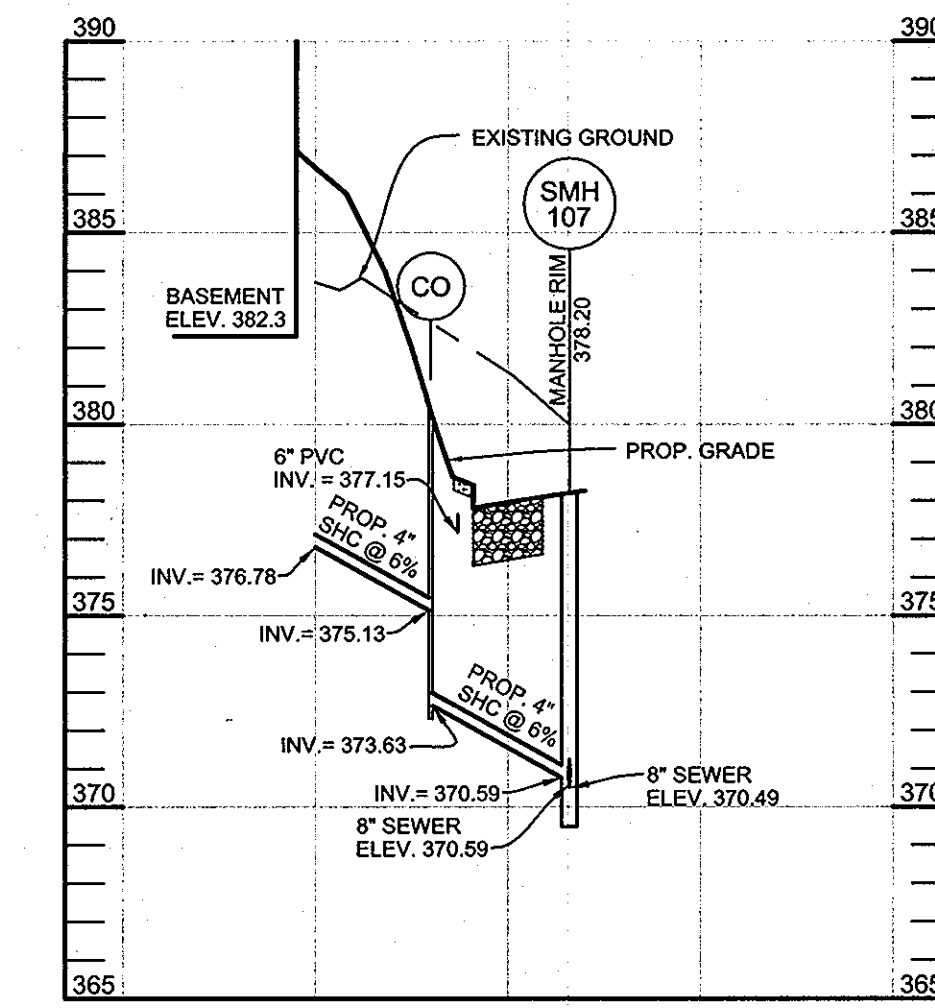
PRIVATE SEWER PROFILE
 HORIZONTAL SCALE: 1"=50'
 VERTICAL SCALE: 1"=5'



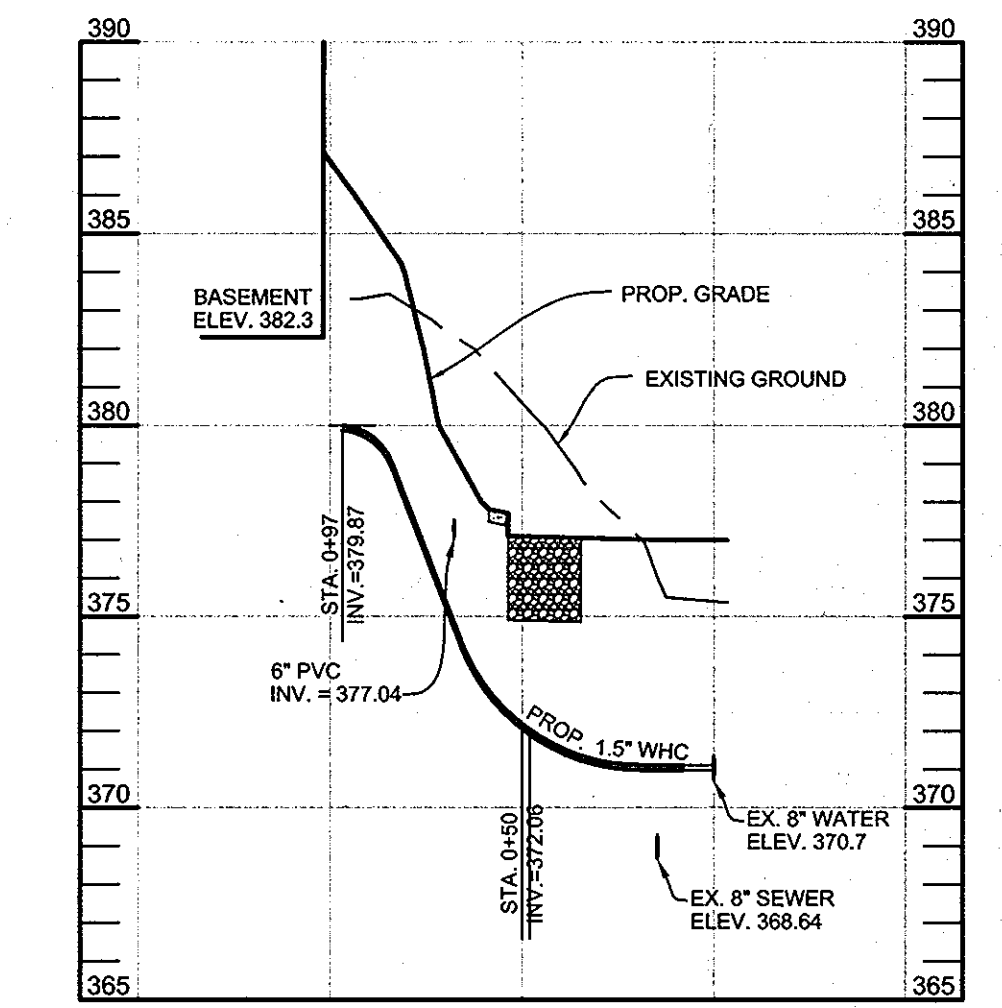
SEWER HOUSE CONNECTION PROFILE (B-2)
 HORIZONTAL SCALE: 1"=50'
 VERTICAL SCALE: 1"=5'



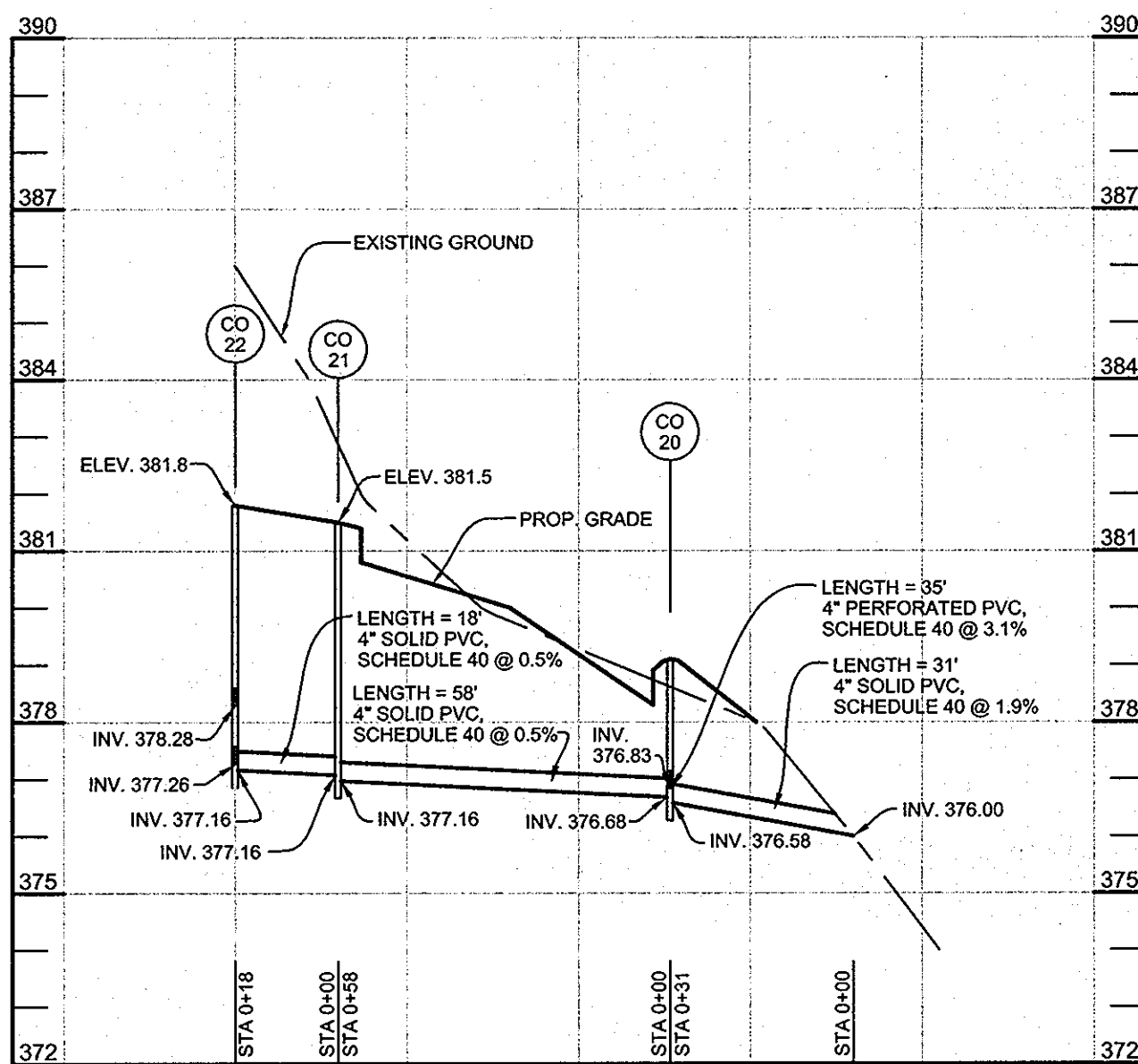
WATER HOUSE CONNECTION PROFILE (B-2)
 HORIZONTAL SCALE: 1"=50'
 VERTICAL SCALE: 1"=5'



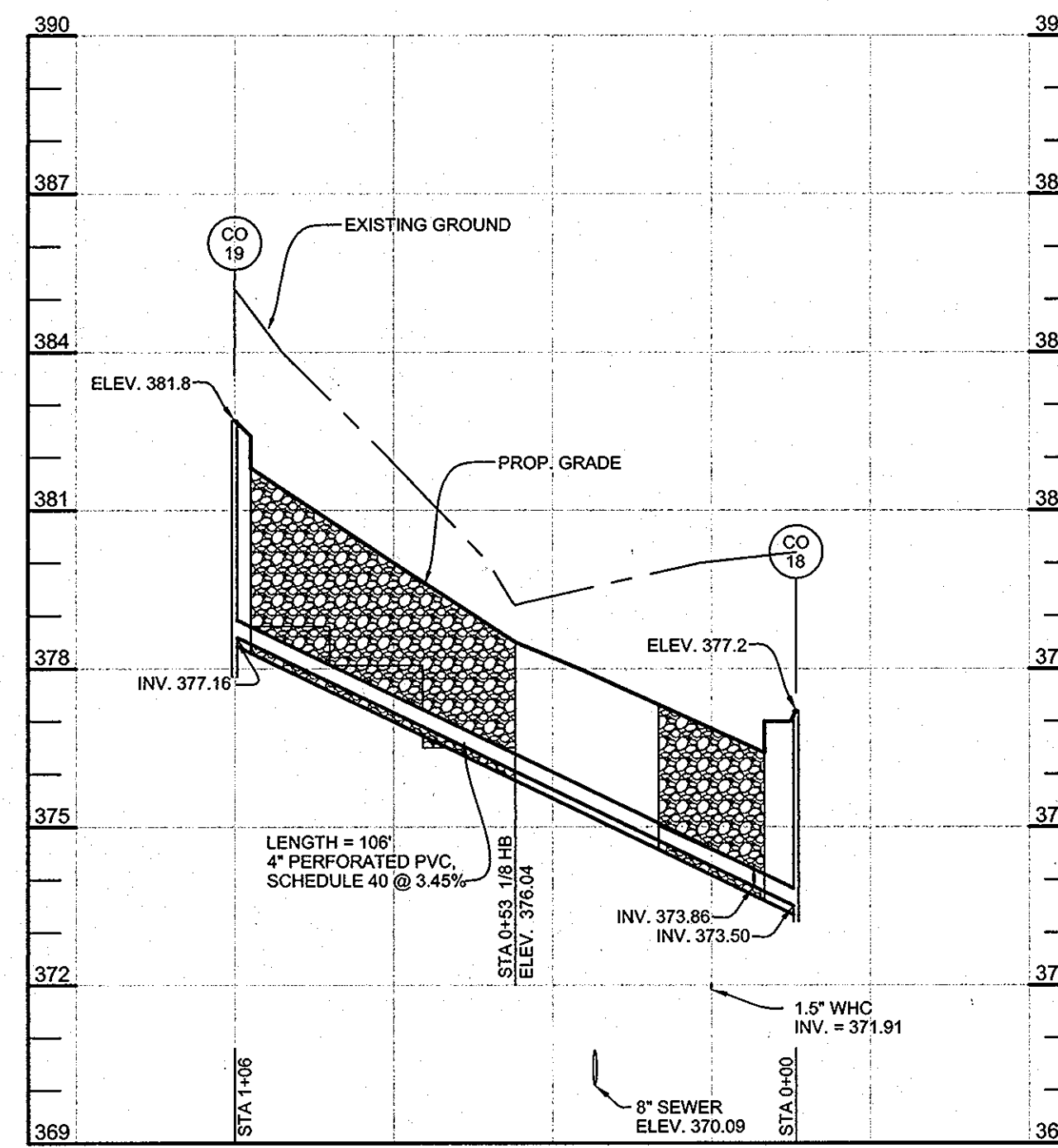
SEWER HOUSE CONNECTION PROFILE (B-3)
 HORIZONTAL SCALE: 1"=50'
 VERTICAL SCALE: 1"=5'



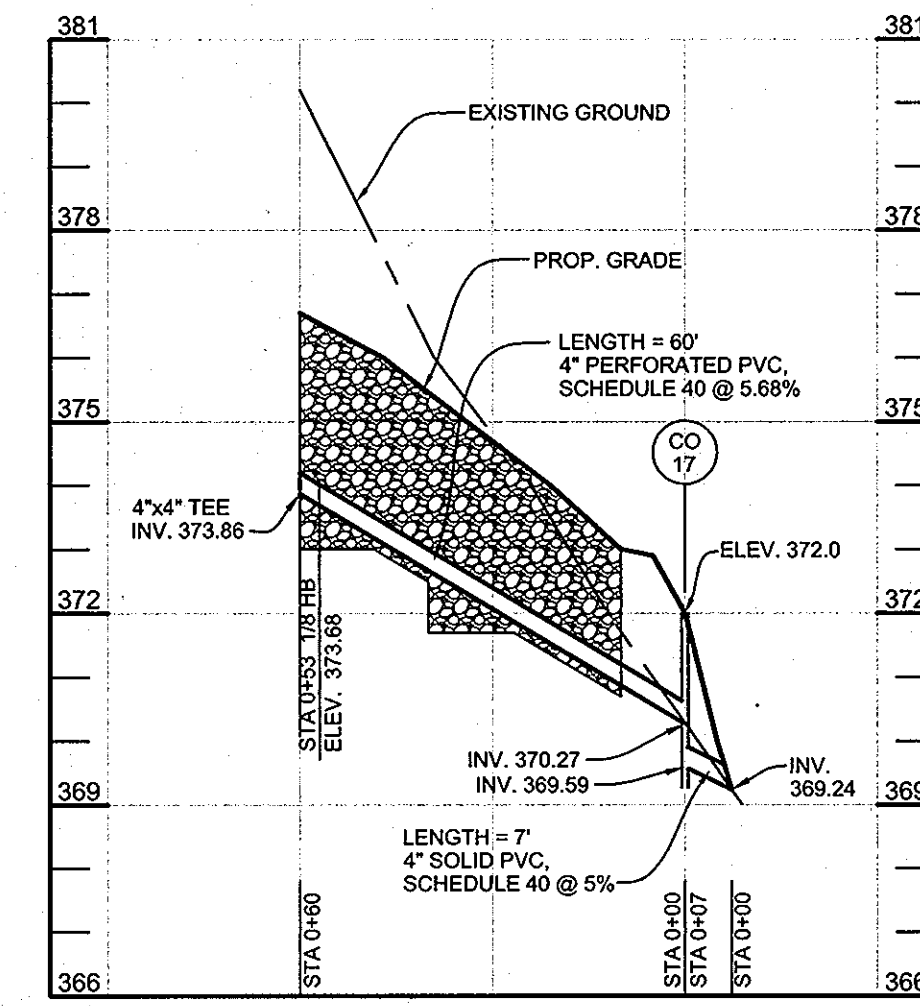
WATER HOUSE CONNECTION PROFILE (B-3)
 HORIZONTAL SCALE: 1"=50'
 VERTICAL SCALE: 1"=5'



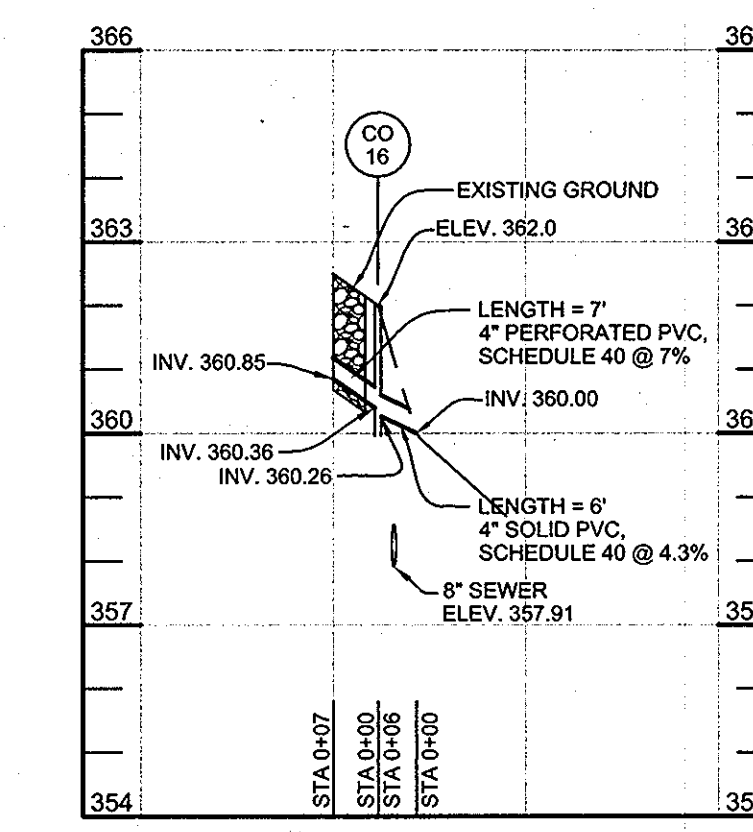
PERVIOUS PAVEMENT UNDERDRAIN PROFILE
 HORIZONTAL SCALE: 1"=30'
 VERTICAL SCALE: 1"=3'



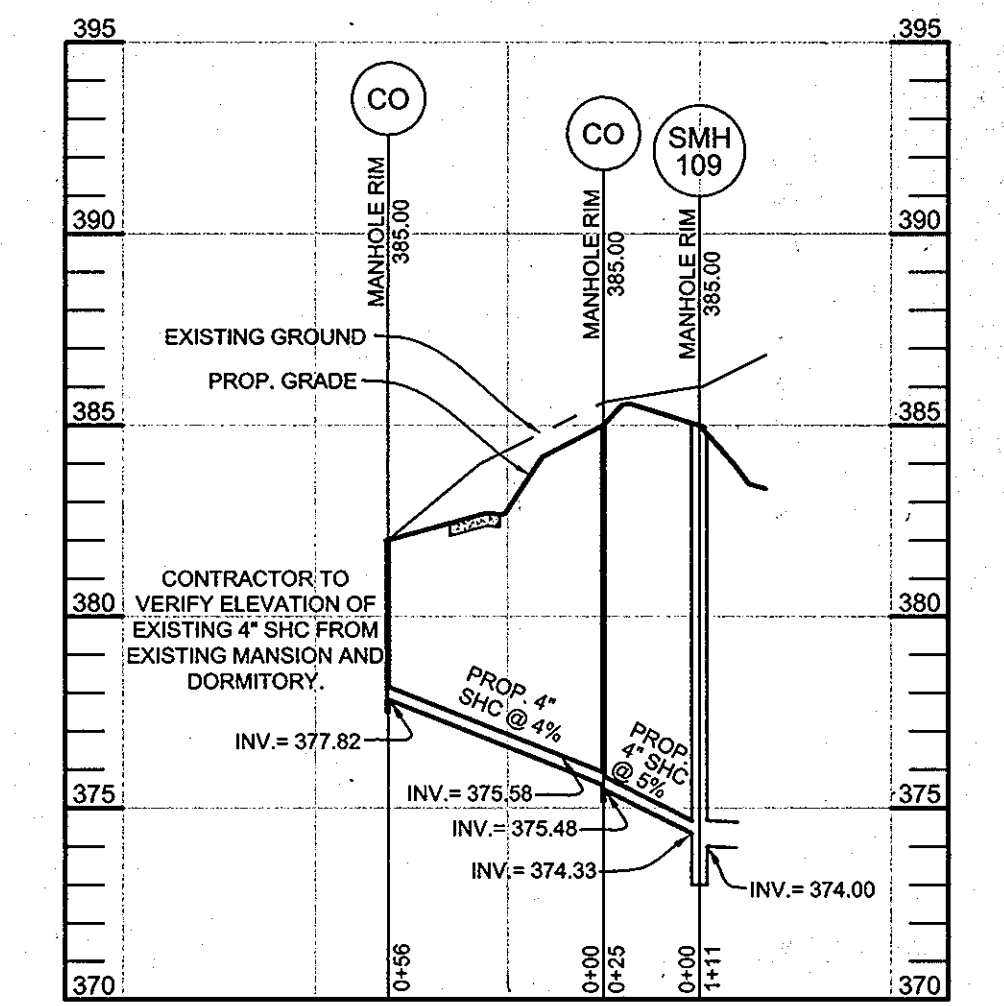
PERVIOUS PAVEMENT UNDERDRAIN PROFILE
 HORIZONTAL SCALE: 1"=30'
 VERTICAL SCALE: 1"=3'



PERVIOUS PAVEMENT UNDERDRAIN PROFILE
 HORIZONTAL SCALE: 1"=30'
 VERTICAL SCALE: 1"=3'



ASPHALT PATH UNDERDRAIN PROFILE
 HORIZONTAL SCALE: 1"=30'
 VERTICAL SCALE: 1"=3'



SEWER HOUSE CONNECTION PROFILE (B-1)
 HORIZONTAL SCALE: 1"=50'
 VERTICAL SCALE: 1"=5'

OWNER/DEVELOPER
 LINWOOD CENTER, INC.
 C/O WILLIAM MOSS
 3421 MARTHA BUSH DRIVE
 ELLICOTT CITY, MARYLAND 21043
 410.465.1352

UNDERDRAIN AND WATER & SEWER HOUSE CONNECTION PROFILES
LINWOOD CENTER, INC.
 TWO-STORY PRIVATE SCHOOL BUILDING
 HDC-10-10; ECP-11-037

TAX MAP 25 GRID 1
 2ND ELECTION DISTRICT
 ZONING: CCT / POR
 PARCELS 216 & 333
 HOWARD COUNTY, MARYLAND

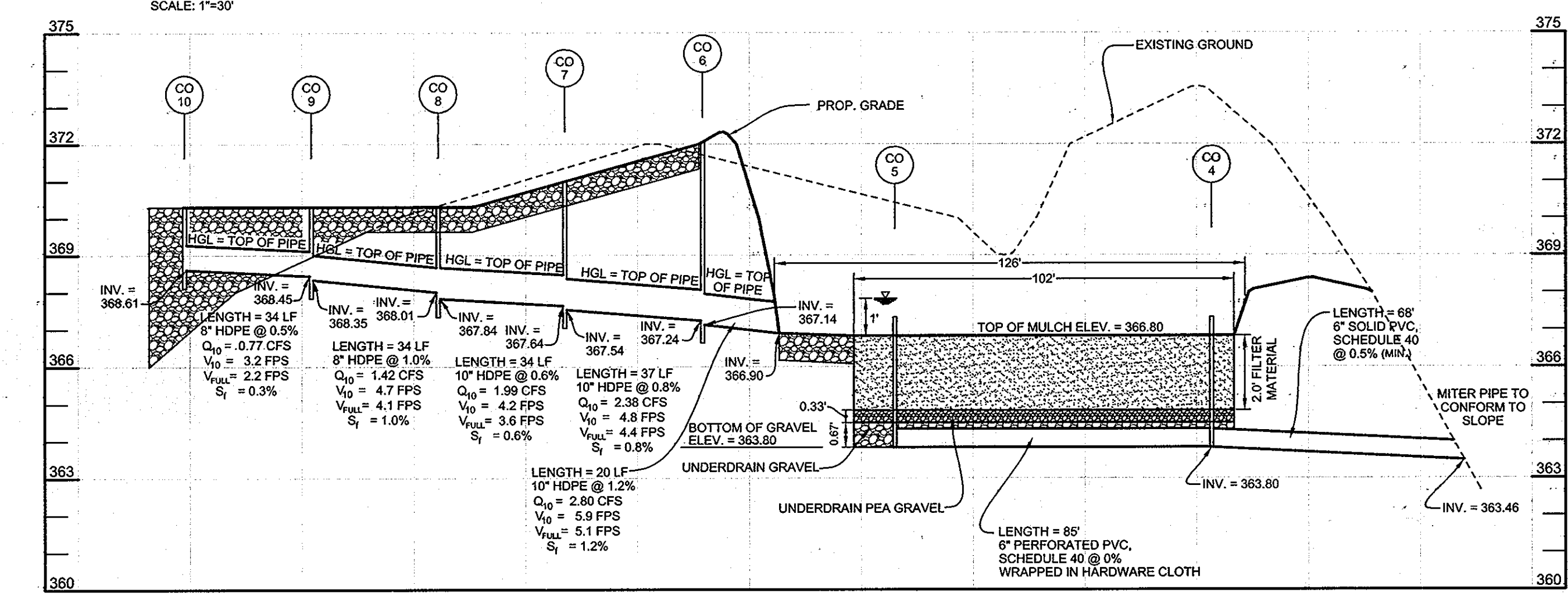
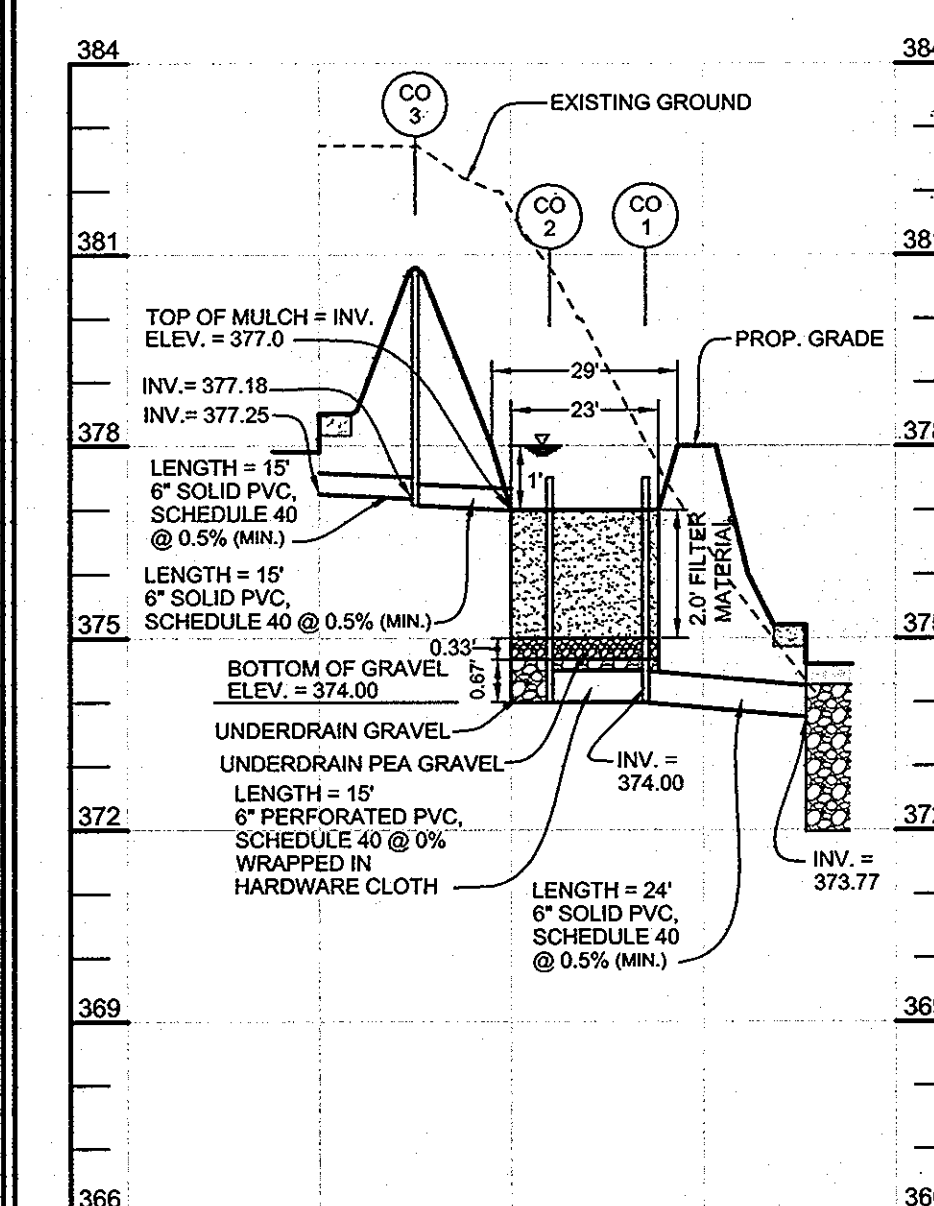
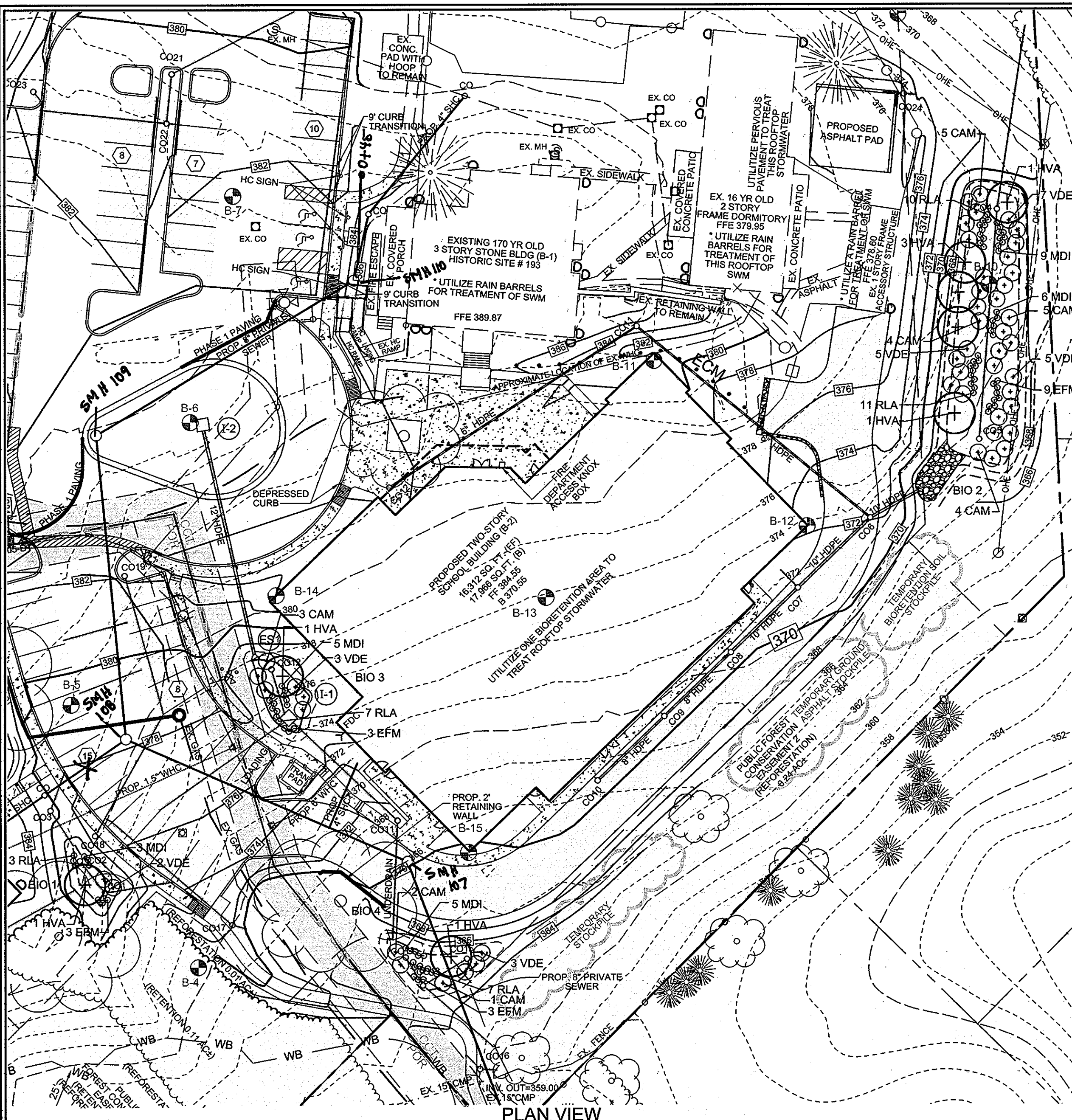
Sill · Adcock & Associates · LLC
 Engineers · Surveyors · Planners
 3300 North Ridge Road, Suite 160
 Ellicott City, Maryland 21043
 Phone: 443.325.7682 Fax: 443.325.7685
 Email: info@saaland.com

DESIGN BY: SJT
 DRAWN BY: SJT
 CHECKED BY: PS
 SCALE: AS SHOWN
 DATE: AUGUST 26, 2011
 PROJECT #: 09-044
 SHEET #: 7 of 14

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 [Signature]
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature]
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature]
 DIRECTOR

DATE: 12/22/11
 DATE: 1/10/12
 DATE: 1/11/12

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38366, EXPIRATION DATE: JANUARY 12, 2012

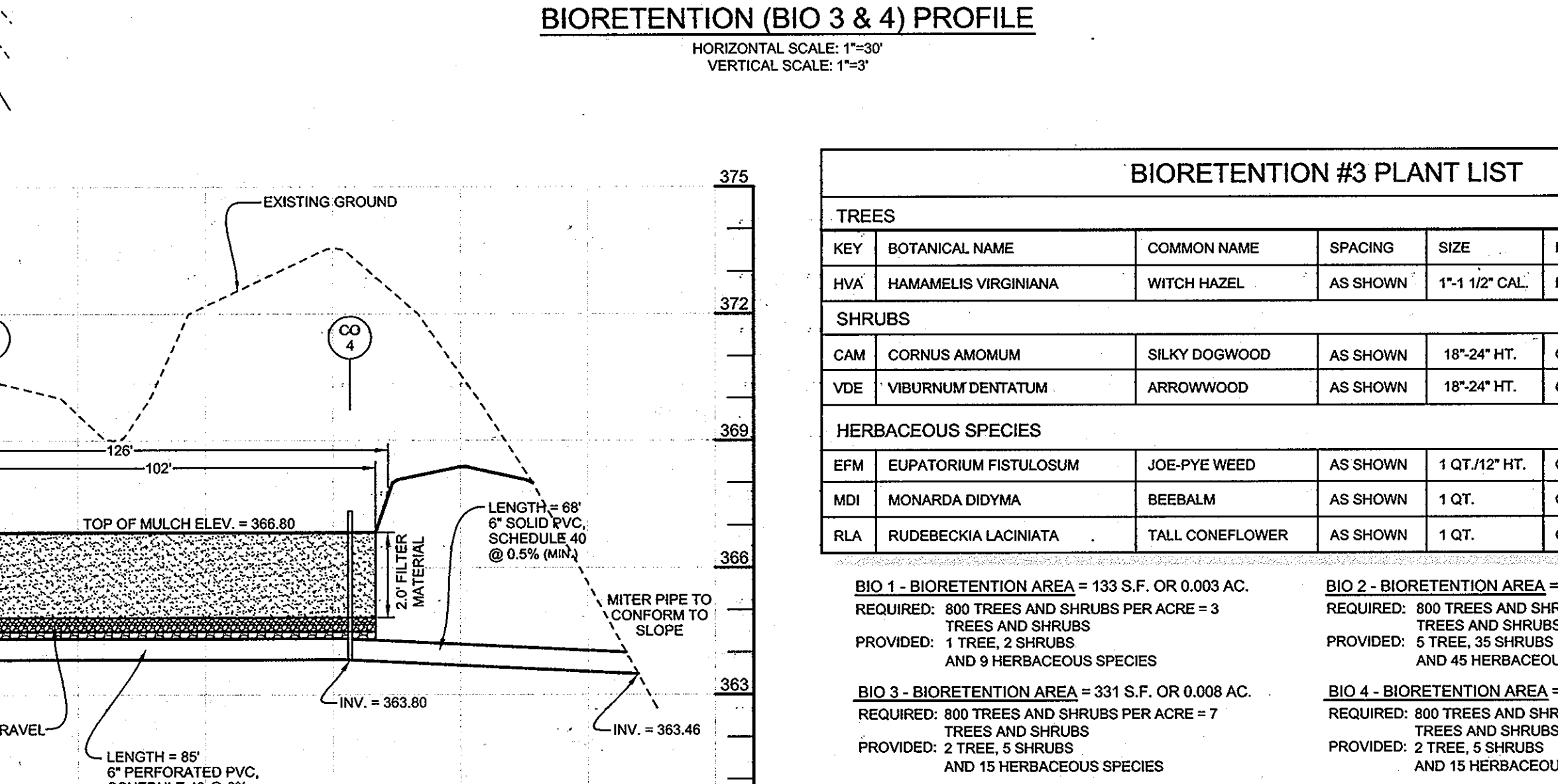
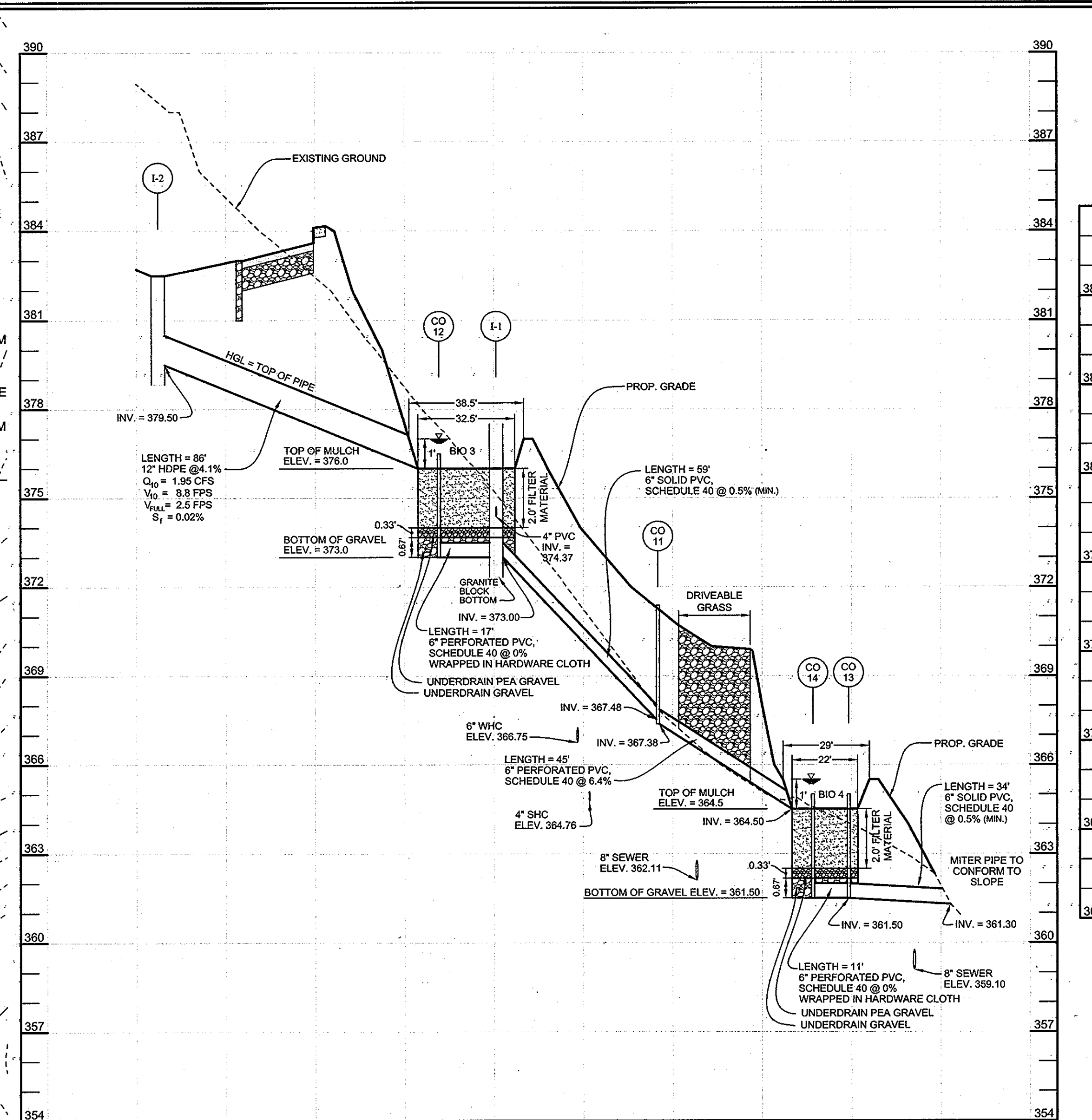
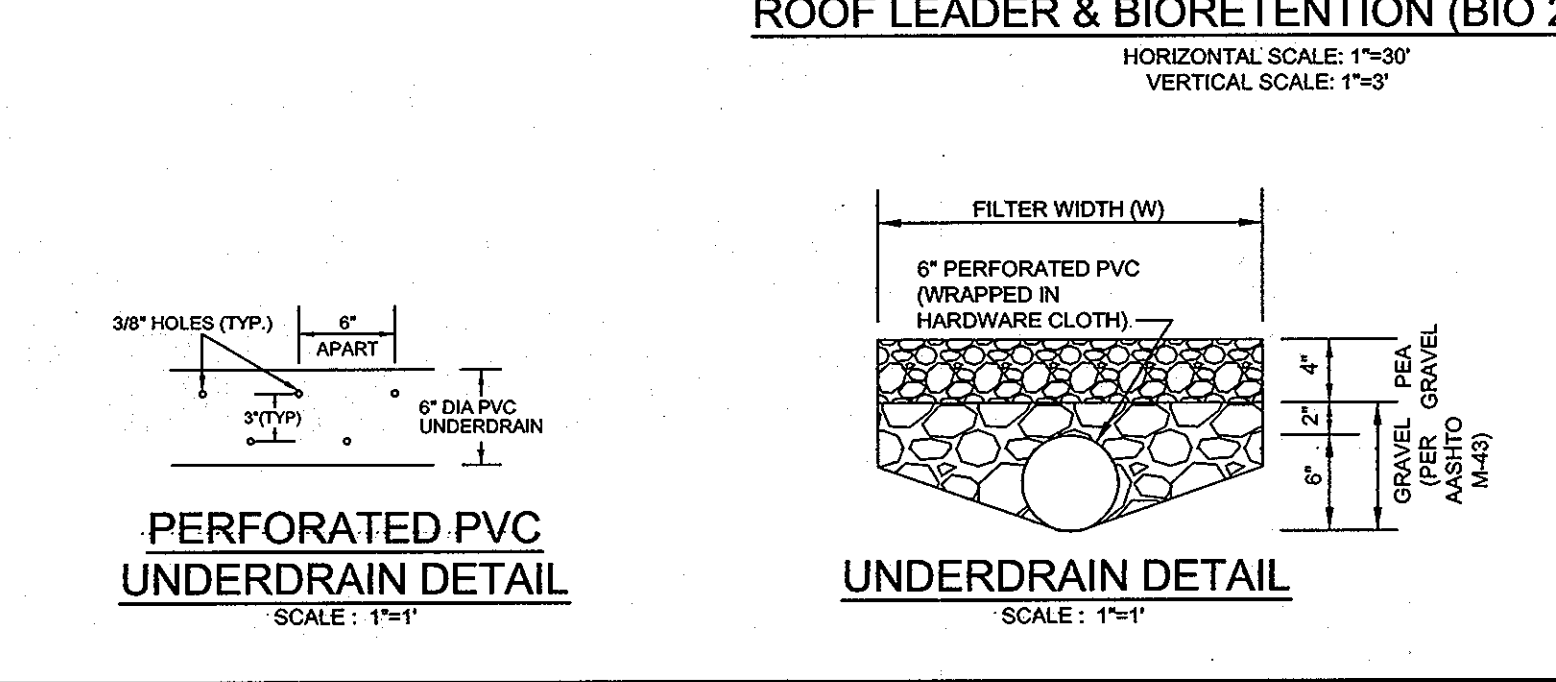


APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

12/23/11
DATE

1/10/12
DATE

1/11/12
DATE



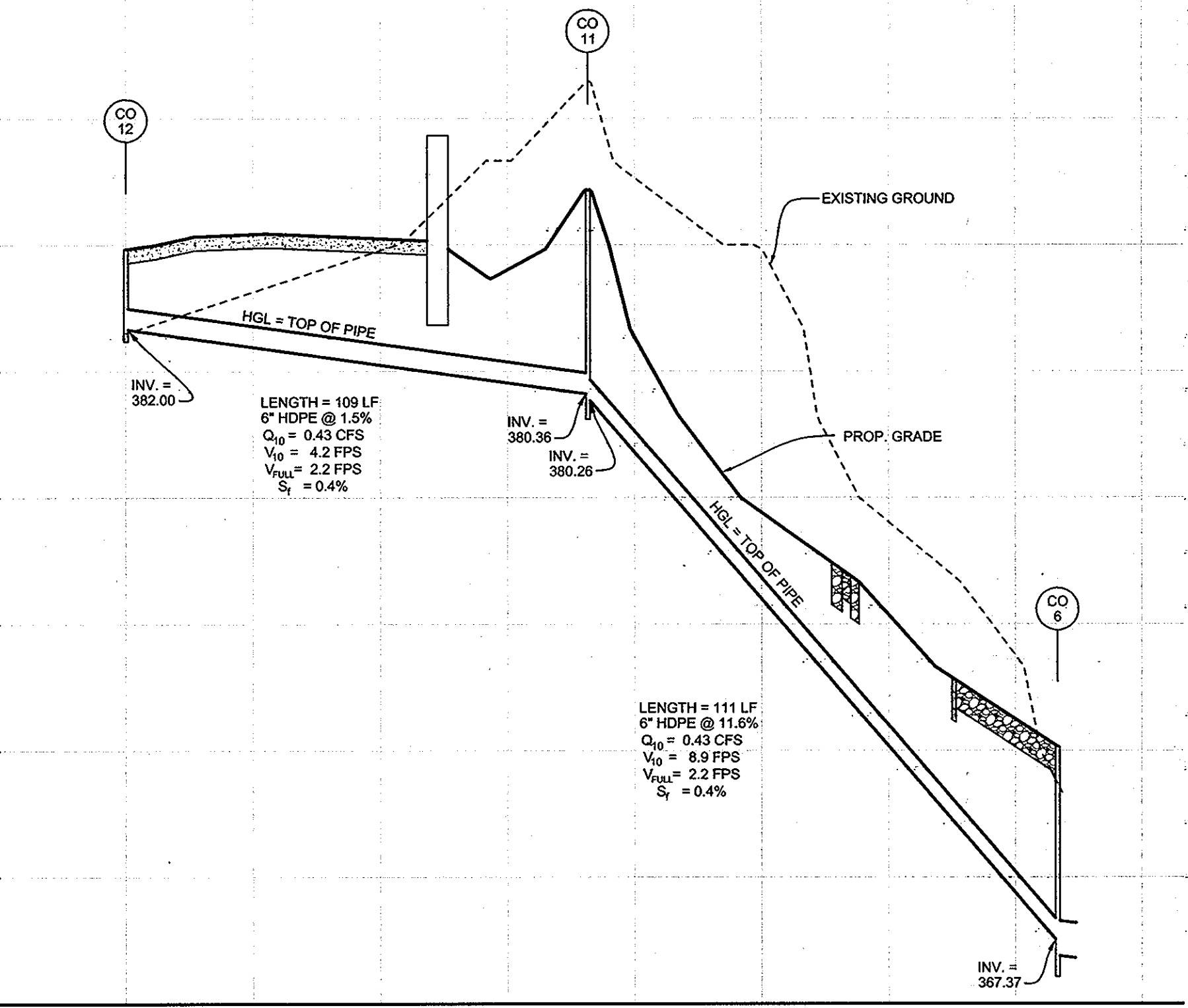
OPERATION AND MAINTENANCE SCHEDULE FOR LANDSCAPE INFILTRATION (M-3) MICRO-BIORETENTION (M-6), RAIN GARDENS (M-7), BIORETENTION SWALE (M-8), ENHANCED FILTERS (M-9)

- The Owner shall maintain the plant material, mulch layer and soil layer annually. Maintenance of mulch and soil is limited to correcting areas of erosion or wash out. Any mulch replacement shall be done in the spring. Plant material shall be checked for disease and insect infestation and maintenance will address dead material and pruning. Acceptable replacement plant material is limited to the following: 2000 Maryland Stormwater Design Manual Volume II, Table A.4.1 and 2.
- The Owner shall perform a plant in the spring and in the fall of each year. During the inspection, the Owner shall remove dead and diseased vegetation considered beyond treatment, replace dead plant material with acceptable replacement plant material, treat diseased trees and shrubs, and replace all deficient stakes and wires.
- The Owner shall inspect the mulch each spring. The mulch shall be replaced every two to three years. The previous mulch layer shall be removed before the new layer is applied.
- The Owner shall correct soil erosion on an as needed basis, with a minimum of once per month and after each heavy storm.

STRUCTURE SCHEDULE

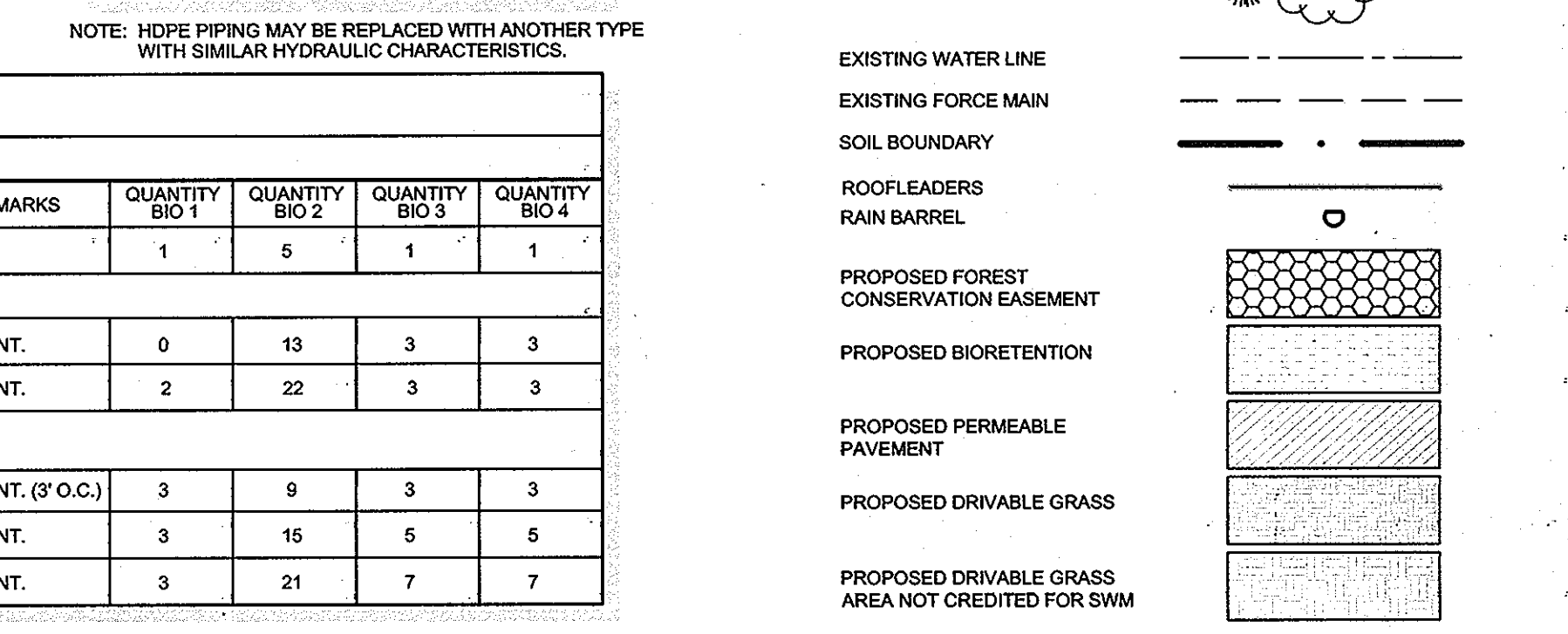
NO.	TYPE & OWNERSHIP	LOCATION	TOP ELEV.	INV. IN	INV. OUT	REMARKS
I-2	YARD INLET	N 586,446.471 E 1,368,454.260	382.00	---	379.50	HO CO DTL D-4.14
I-1	YARD INLET	N 586,338.186 E 1,368,485.803	382.00	374.37	373.25	HO CO DTL D-4.106-4.11 WITH GRANITE BLOCK BOTTOM
ES1	12" HDPE END SECTION	N 586,361.578 E 1,368,473.195	---	---	376.00	---

NOTES:
 1. LOCATION AND TOP ELEVATION FOR I-2 ARE TO THE CENTER TOP OF GRADE.
 2. LOCATION AND TOP ELEVATION OF I-1 ARE TO CENTER OF INLET TOP OF SLAB.
 3. LOCATION OF END SECTION IS TO THE CENTER, POINT OF THE CONNECTION WITH THE STORM DRAIN PIPE.



PIPE SCHEDULE

SIZE	TYPE	LENGTH
12"	HDPE	88 LF
10"	HDPE	91 LF
8"	HDPE	68 LF
6"	HDPE	220 LF
6"	PVC	216 LF
6"	PVC, PERFORATED	175 LF
4"	PVC	230 LF
4"	PVC, PERFORATED	268 LF
2"	PVC	58 LF



OWNER/DEVELOPER
 LINWOOD CENTER, INC.
 C/O WILLIAM MOSS
 3421 MARTHA BUSH DRIVE
 ELLICOTT CITY, MARYLAND 21043
 410.465.1352

BIORETENTION PLAN & DETAILS

LINWOOD CENTER, INC.
 TWO-STORY PRIVATE SCHOOL BUILDING
 HDC-10-10; ECP-11-037

TAX MAP 25 GRID 1
 2ND ELECTION DISTRICT

ZONING: CCT / POR
 PARCELS 218 & 333
 HOWARD COUNTY, MARYLAND

Sill · Adcock & Associates · LLC
 Engineers · Surveyors · Planners

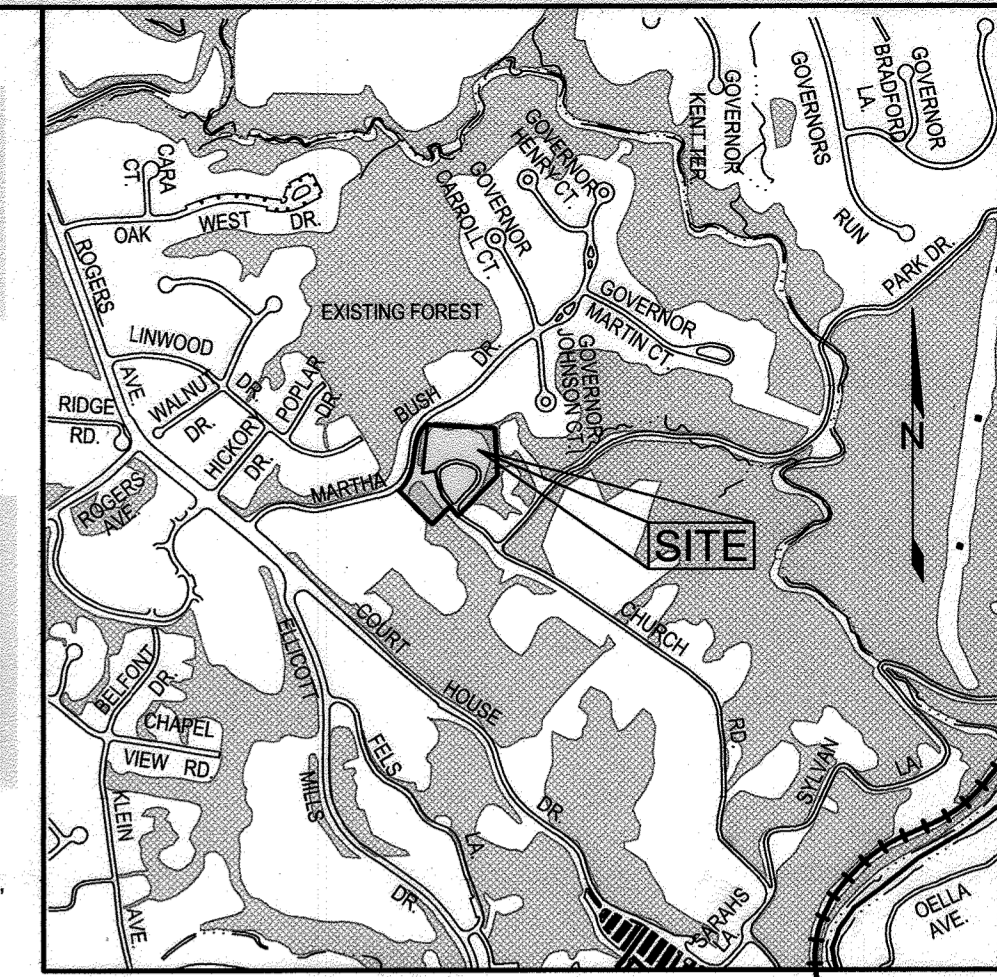
3300 North Ridge Road, Suite 160
 Ellicott City, Maryland 21043
 Phone: 443.325.7682 Fax: 443.325.7685
 Email: info@saalland.com

DESIGN BY: SJT
 DRAWN BY: SJT
 CHECKED BY: PS
 SCALE: AS SHOWN
 DATE: AUGUST 26, 2011
 PROJECT #: 09-044
 SHEET #: 8 OF 14

Revision	Purpose	Date
1	Add Greenhouse on existing conc. pad	5/15/24

HOWARD COUNTY, MARYLAND
TAX MAP 25, PARCEL 264
L. 728, F. 635
ZONED: POR
USE: VACANT/RECREATION

WETLAND DATA		
WETLAND SYSTEM	COWardin CLASSIFICATION	DOMINANT VEGETATION
A	PEM1A	ACER NEGUNDO, SALIX NIGRA, SCIRPUS CYPERINUS, RANUNCULUS FICARIA



VICINITY MAP
SCALE: 1"=1000'

FOREST STAND DATA					
KEY	COMMUNITY TYPE	ACREAGE	DOMINANT VEGETATION	GENERAL CONDITION	PRIORITY ACREAGE
F1	SUCCESSIONAL	0.6 (NTA)	ACER NEGUNDO, ACER PLATANOIDES, MICRUS RUBRA, PRUNUS SEROTINA, ULMUS RUBRA, ROSA MULTIFLORA ROSE	FAIR	0.2 +/- BUFFERS/SLOPES

- NOTE:
- NO RARE, THREATENED, OR ENDANGERED SPECIES WERE OBSERVED ON THE PROPERTY.
 - SURROUNDING LAND USE IS PRIMARILY HIGH DENSITY RESIDENTIAL AND PARK LAND, THOUGH THE PROPERTY TO THE SOUTH IS DEVELOPED INTO A COUNTY OFFICE COMPLEX.
 - THE PROPERTY INCLUDES A HISTORIC BUILDING.
 - THERE ARE 0.3 ACRES OF CONTIGUOUS FOREST WITHIN 100 FEET OF THE SUBJECT PROPERTY. THE FOREST CONNECTION IS IN THE SOUTHEAST CORNER OF THE SITE.
 - ALL FOREST ON SITE IS WITHIN STAND F1.

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- DIRECTION OF FLOW
- EXISTING TREELINE
- PROPOSED TREELINE
- EXISTING TREES
- EXISTING SPECIMEN TREES
- EXISTING SIGN
- EXISTING WATER LINE
- EXISTING FORCE MAIN
- SOIL BOUNDARY
- ROOFLEADERS
- RAIN BARREL
- PROPOSED FOREST CONSERVATION (RETENTION) EASEMENT
- PROPOSED FOREST CONSERVATION (REFORESTATION) EASEMENT
- PROPOSED FOREST AREA TO BE CLEARED (0.5 ACRES)
- PROPOSED BIORETENTION
- PROPOSED PERMEABLE PAVEMENT
- PROPOSED DRIVABLE GRASS
- PROPOSED DRIVABLE GRASS AREA NOT CREDITED FOR SWM
- PROPOSED IMPERVIOUS AREAS TO RAIN BARRELS
- PROPOSED INFILTRATION BERM
- SLOPES 15% TO 25%
- SLOPES 25% OR GREATER
- STONE EDGE FOR DRIVEWAY LOOP AND RIPRAP
- SIDEWALK (HANDICAP) RAMP
- TO REMAIN
- LANDSCAPE ISLAND CREDITED

NOTE: SILT FENCE (SF) AND SUPER SILT FENCE (SSF) TO BE USED AS TREE PROTECTIVE FENCING.



AS-BUILT CERTIFICATION
There is no as-built information on this sheet.
12-28-15

OWNER/DEVELOPER
LINWOOD CENTER, INC.
C/O WILLIAM MOSS
3421 MARTHA BUSH DRIVE
ELLICOTT CITY, MARYLAND 21043
410.465.1352

AS-BUILT

LANDSCAPE & FOREST CONSERVATION PLAN

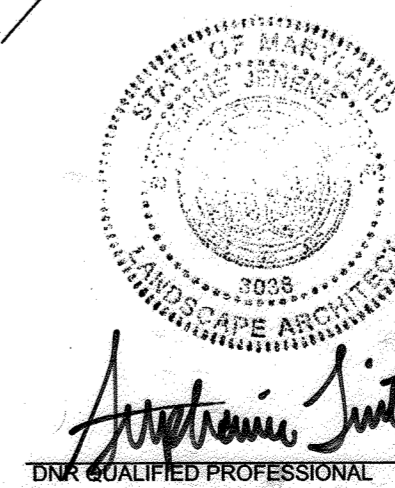
LINWOOD CENTER, INC.
TWO-STORY PRIVATE SCHOOL BUILDING
HDC-10-10; ECP-11-037

TAX MAP 25 GRID 1
2ND ELECTION DISTRICT

ZONING: CCT / POR
PARCELS 218 & 333
HOWARD COUNTY, MARYLAND

Sill · Adcock & Associates · LLC
Engineers · Surveyors · Planners
3300 North Ridge Road, Suite 100
Ellicott City, Maryland 21043
Phone: 443.325.7682 Fax: 443.325.7685
Email: info@sasalland.com

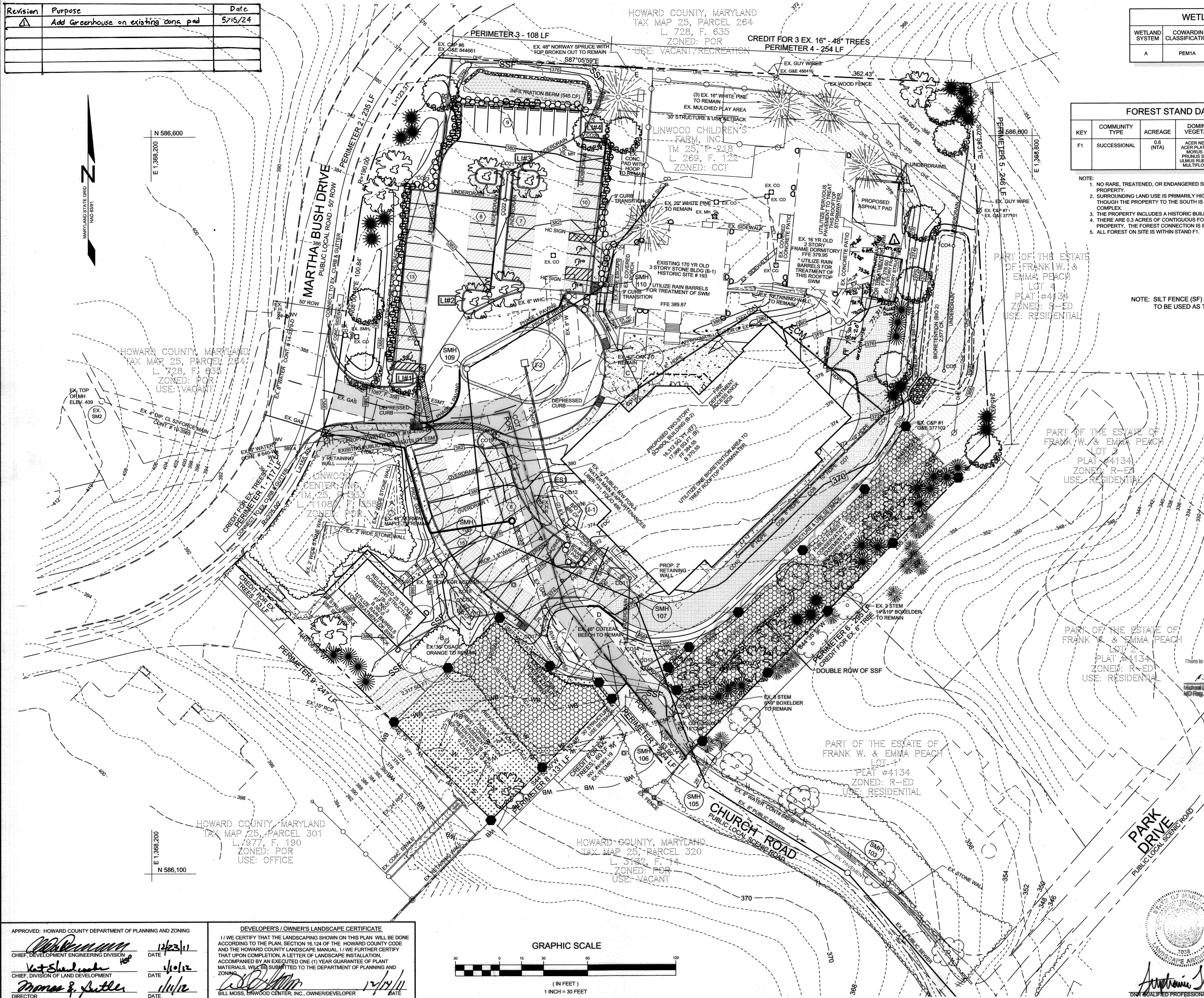
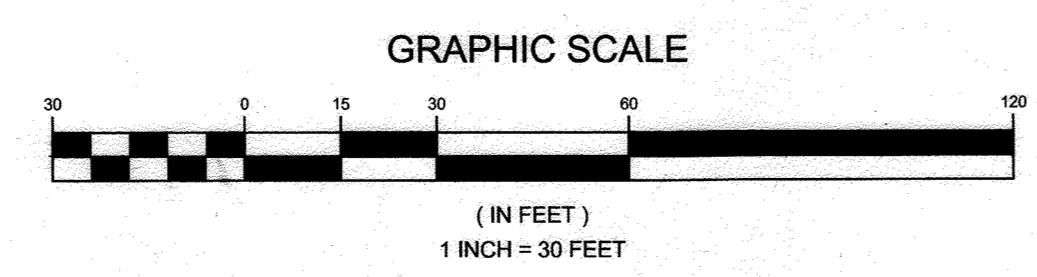
DESIGN BY: SJT
DRAWN BY: SJT
CHECKED BY: PS
SCALE: 1"=30'
DATE: AUGUST 26, 2011
PROJECT #: 09-044
SHEET #: 11 of 14



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38586, EXPIRATION DATE: JANUARY 12, 2012.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
1/2/23/11
1/10/12
1/14/12

DEVELOPER'S / OWNER'S LANDSCAPE CERTIFICATE
I / WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I / WE FURTHER CERTIFY THAT UPON COMPLETION, A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.
12/14/11
BILL MOSS, LINWOOD CENTER, INC., OWNER/DEVELOPER



NOTES

- THIS PLAN COMPLIES WITH THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY THE ON-SITE RETENTION OF 0.11 ACRES (4,792 SF) OF FOREST, REFORESTATION PLANTING OF 0.36 ACRES (15,632 SF) OF FOREST, AND THE REMAINING 0.54 ACRES (23,778 SF) OF OBLIGATION WILL BE BY FEE-IN-LIEU OF REFORESTATION IN THE AMOUNT OF \$20,809, SURETY IN THE AMOUNT OF \$8,641 (13,282 x \$0.50) HAS BEEN POSTED AS PART OF THE DPW DEVELOPER'S AGREEMENT, WHICH INCLUDES A 2,400 SQ.FT. CREDIT FOR LANDSCAPING.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$15,630 FOR THE REQUIRED LANDSCAPING (31 SHADE TREES, 27 EVERGREENS, AND 86 SHRUBS).
- AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREWITH LISTED AND APPROVED FOR THIS SITE, SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPING MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.
- THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- SEE THE DEED OF EASEMENT DESCRIPTION FOR THE BEARING AND DISTANCE DESCRIPTIONS OF THE FOREST CONSERVATION EASEMENTS.

GENERAL NOTES

FOREST PROTECTION

- ALL FOREST RETENTION AREAS SHALL BE TEMPORARILY PROTECTED BY WELL ANCHORED BLAZE ORANGE PLASTIC MESH FENCING AND SIGNAGE AS INDICATED ON THIS PLAN. THE DEVICE SHALL BE INSTALLED ALONG THE FOREST RETENTION BOUNDARY PRIOR TO ANY LAND CLEARING, GRUBBING, OR GRADING ACTIVITIES.
- THE FOREST PROTECTION DEVICES SHALL BE INSTALLED SUCH THAT THE CRITICAL ROOT ZONES OF ALL TREES WITHIN THE RETENTION AREA NOT OTHERWISE PROTECTED WILL BE WITHIN FOREST PROTECTION DEVICES.
- ALL PROTECTION DEVICES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION, INCLUDING SILT FENCE BEING USED AS PROTECTIVE FENCING. ALL DEVICES SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION HAS CEASED IN THE IMMEDIATE VICINITY.
- ATTACHMENT OF SIGNS, OR ANY OTHER OBJECTS TO TREES IS PROHIBITED. NO EQUIPMENT, MACHINERY, VEHICLES, MATERIALS OR EXCESSIVE PEDESTRIAN TRAFFIC SHALL BE ALLOWED WITHIN THESE PROTECTED AREAS.
- INSTALLATION AND MAINTENANCE OF PROTECTIVE FENCING AND SIGNAGE SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL TAKE THE UTMOST CARE TO PROTECT TREE ROOT SYSTEMS DURING ALL CONSTRUCTION ACTIVITIES. TREE ROOT SYSTEMS SHALL BE PROTECTED FROM SMOTHERING, FLOODING, EXCESSIVE WETTING FROM DEWATERING OPERATIONS, OFF-SITE RUN OFF, SPLASHING AND DRAINING OF MATERIALS THAT MAY BE HARMFUL TO TREES.
- THE GENERAL CONTRACTOR SHALL PREVENT PARKING OF CONSTRUCTION VEHICLES AND EQUIPMENT, AND THE STORING OF BUILDING SUPPLIES OR STOCKPILING OF EARTH WITHIN FOREST CONSERVATION EASEMENTS.
- REMOVAL OF TOPSOIL OR ROOT MAT WITHIN THE TREE PRESERVATION AREA SHALL BE PROHIBITED.
- THE GENERAL CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY TREES DAMAGED OR DESTROYED WITHIN THE FOREST CONSERVATION EASEMENTS.
- ROOT PRUNING SHALL BE USED AT THE LIMIT OF DISTURBANCE OR LIMIT OF GRADING WITHIN AND ADJACENT TO ALL PRESERVATION AREAS, AS NECESSARY.

REFORESTATION PLANTING NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES, UTILITY CONTRACTORS AND "MISS UTILITY" A MINIMUM OF 48 HOURS PRIOR TO BEGINNING WORK. CONTRACTOR SHALL BE WORK. CONTRACTOR MAY MAKE MINOR ADJUSTMENTS IN SPACING AND LOCATION OF PLANT MATERIAL TO AVOID CONFLICTS WITH UTILITIES.
- PLANTS, RELATED MATERIAL, AND OPERATIONS SHALL MEET THE DETAILED DESCRIPTION AS GIVEN ON THE PLANS AND AS DESCRIBED HEREIN.
- PLANT MATERIAL, UNLESS OTHERWISE SPECIFIED, SHALL BE NURSERY GROWN, UNIFORMLY BRANCHED AND HAVE A VIGOROUS ROOT SYSTEM. PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS PLANTS FREE FROM DEFECTS, DECAY, DISFIGURING ROOTS, SUNSCALD INJURIES, ABRASIONS OF THE BARK, PLANT DISEASE, INSECT PEST EGGS, BOXERS, INFESTATIONS OR OBJECTIONABLE DISFIGUREMENTS. PLANT MATERIAL THAT IS WEAK OR WHICH HAS BEEN CUT BACK FROM LARGER GRADES TO MEET SPECIFIED REQUIREMENTS WILL BE REJECTED. TREES WITH FORKED LEADERS WILL NOT BE ACCEPTED. PLANTS SHALL BE FRESHLY DUG; NO HELED-IN PLANTS OR PLANTS FROM COLD STORAGE WILL BE ACCEPTED.
- UNLESS OTHERWISE SPECIFIED, PLANT MATERIAL SHALL CONFORM TO "AMERICAN STANDARD FOR NURSERY STOCK" ANSI Z60.1-1990, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INCLUDING ALL ADDENDA.
- UNLESS OTHERWISE SPECIFIED, GENERAL CONDITIONS, PLANTING OPERATIONS, DETAILS AND PLANTING SPECIFICATIONS SHALL CONFORM TO "LANDSCAPE SPECIFICATION GUIDELINES", (HEREINAFTER "LANDSCAPE GUIDELINES") APPROVED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF METROPOLITAN WASHINGTON AND THE POTOMAC CHAPTER OF THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS, LATEST EDITION, INCLUDING ALL ADDENDA.
- CONTRACTOR WILL BE REQUIRED TO GUARANTEE PLANT MATERIAL FOR A PERIOD OF TWO YEARS AFTER DATE OF ACCEPTANCE AND MAINTAIN A 75% SURVIVABILITY AT THE END OF TWO YEARS.
- AFTER THE FIRST YEAR OF PLANTING A SOIL TEST SHOULD BE MADE AND A FERTILIZATION PROGRAM DETERMINED. CONTRACTOR'S ATTENTION IS DIRECTED TO THE "LANDSCAPE GUIDELINES" FOR FERTILIZING SPECIFICATIONS. SOIL SHOULD BE AN APPROXIMATE PH OF 6.0.
- TO LESSEN THE CHANCE OF LOSS THE TREES SHOULD BE CHECKED FROM TIME TO TIME TO INSURE THAT THEY ARE RECEIVING SUFFICIENT WATER. IF NECESSARY, PLANTINGS SHOULD BE REGULARLY WATERED DURING DRY PERIODS UNTIL PLANTINGS ARE WELL ESTABLISHED IN ORDER TO MAINTAIN SURVIVABILITY.
- THE LOCATION AND ORIENTATION OF ALL PLANT MATERIAL SHALL BE RANDOMLY PLANTED IN DESIGNATED REFORESTATION AREAS BY THE LANDSCAPE CONTRACTOR. CONTRACTOR SHALL BE RESPONSIBLE FOR MOVING ANY PLANT MATERIAL, INSTALLED WITHOUT APPROVAL.
- MOWING AND APPLYING HERBICIDES TO THE REFORESTATION AREA IS PROHIBITED AT ANY AND ALL STAGES OF THE PLANTING PROCESS IN ORDER TO ENCOURAGE THE EXISTING SAPLINGS TO GROW.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND PRUNING PLANT MATERIAL IN THE PROPER PLANTING SEASON FOR EACH PLANT TYPE. SEE TREE PLANTING AND MAINTENANCE CALENDAR.
- PLANTING MIX SHALL BE AS FOLLOWS:
DECIDUOUS PLANTS - TWO PARTS TOPSOIL, ONE PART WELL-ROTTED COW MANURE. ADD 3 LBS. OF STANDARD FERTILIZER PER CUBIC YARD OF PLANTING MIX.
TOPSOIL SHALL CONFORM TO THE LANDSCAPE GUIDELINES.
- THIS PLAN IS INTENDED FOR FOREST CONSERVATION USE ONLY. SEE OTHER PLAN SHEETS FOR MORE INFORMATION ON GRADING, SEDIMENT CONTROL, UTILITIES, LAYOUT, ETC.
- UPON COMPLETION OF INSTALLATION, PROTECTIVE FENCING AND SIGNAGE SHALL BE INSTALLED AS SHOWN.

PRE-CONSTRUCTION MEETING

- AFTER THE BOUNDARIES OF THE FOREST RETENTION AREAS HAVE BEEN FIELD LOCATED AND MARKED, AND AFTER THE FOREST PROTECTION DEVICES HAVE BEEN INSTALLED, BUT BEFORE ANY OTHER DISTURBANCE HAS TAKEN PLACE ON SITE, A PRE-CONSTRUCTION MEETING SHALL TAKE PLACE ON SITE. THE DEVELOPER, CONTRACTOR OR PROJECT MANAGER, AND HOWARD COUNTY INSPECTORS SHALL ATTEND. THE PURPOSE OF THIS MEETING WILL BE:
 - TO IDENTIFY THE LOCATIONS OF THE FOREST RETENTION AREAS, SPECIMEN TREES WITHIN 50 FEET OF THE LIMIT OF DISTURBANCE, LIMITS OF CONSTRUCTION, EMPLOYEE PARKING AREAS AND EQUIPMENT STAGING AREAS;
 - INSPECT ALL FLAGGED BOUNDARIES AND PROTECTION DEVICES;
 - MAKE ALL NECESSARY ADJUSTMENTS;
 - ASSIGN RESPONSIBILITIES AS APPROPRIATE AND DISCUSS PENALTIES.

CONSTRUCTION MONITORING

- THE SITE SHALL BE INSPECTED PERIODICALLY DURING THE CONSTRUCTION PHASE OF THE PROJECT. A QUALIFIED PROFESSIONAL SHALL BE RESPONSIBLE FOR IDENTIFYING DAMAGE TO PROTECTED FOREST AREAS OR INDIVIDUAL TREES WHICH MAY HAVE BEEN CAUSED BY CONSTRUCTION ACTIVITIES, SUCH AS SOIL COMPACTION, ROOT INJURY, TRUNK WOUNDS, LIMB INJURY, OR STRESS CAUSED BY FLOODING OR DROUGHT CONDITIONS.
- ANY SUCH DAMAGE THAT MAY OCCUR SHALL BE REMEDIATED IMMEDIATELY USING APPROPRIATE MEASURES. SEVERE PROBLEMS MAY REQUIRE CONSULTATION WITH A PROFESSIONAL ARBORIST.
- THE CONSTRUCTION PROCEDURE SHALL NOT DAMAGE AREAS OUTSIDE OF THE LIMITS OF DISTURBANCE AS DESIGNATED ON THE PLANS. ANY DAMAGE SHALL BE RESTORED BY THE CONTRACTOR AT HIS EXPENSE AND TO THE SATISFACTION OF THE DESIGN TEAM OR ENGINEER.

FOREST CONSERVATION WORKSHEET

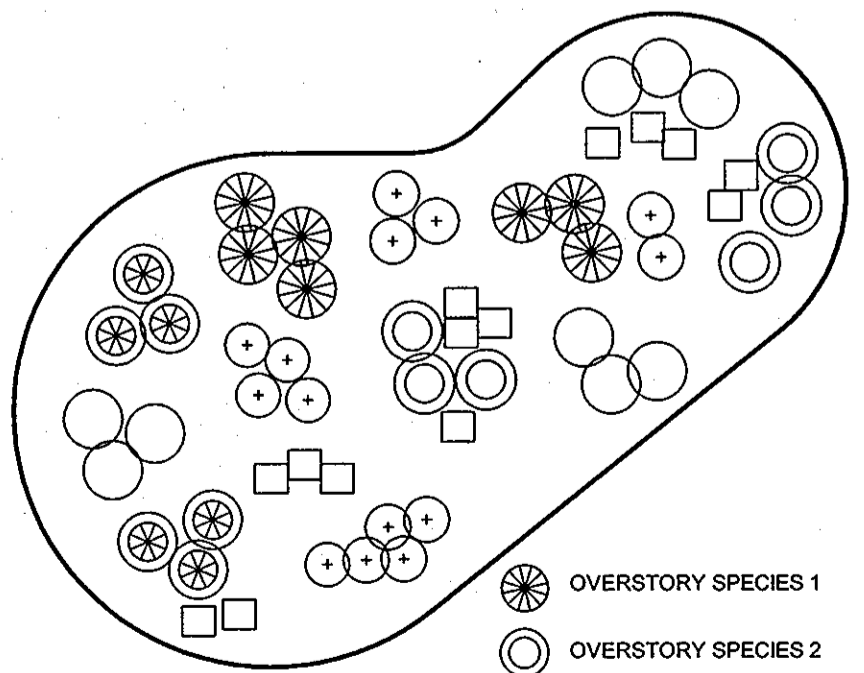
NET TRACT AREA					
A	TOTAL TRACT AREA				4.2 AC
B	DEDUCTIONS (PRESERVATION PARCELS)				0.0 AC
C	NET TRACT AREA				4.2 AC
LAND USE CATEGORY					
ARA	MDR	IDA	HDR	MPD	CIA
0	0	0	0	0	1
D	AFFORESTATION THRESHOLD (NET TRACT AREA x 20%)				0.8 AC
E	CONSERVATION THRESHOLD (NET TRACT AREA x 25%)				0.6 AC
EXISTING FOREST COVER					
F	EXISTING FOREST COVER WITHIN THE NET TRACT AREA				0.6 AC
G	AREA OF FOREST ABOVE CONSERVATION THRESHOLD				0.0 AC
BREAK EVEN POINT					
H	BREAK EVEN POINT				0.6 AC
I	FOREST CLEARING PERMITTED WITHOUT MITIGATION				0.0 AC
PROPOSED FOREST CLEARING					
J	TOTAL AREA OF FOREST TO BE CLEARED				0.5 AC
K	TOTAL AREA OF FOREST TO BE RETAINED				0.1 AC
PLANTING REQUIREMENTS					
L	REFORESTATION FOR CLEARING ABOVE THE CONSERVATION THRESHOLD				0.0 AC
M	REFORESTATION FOR CLEARING BELOW THE CONSERVATION THRESHOLD				1.0 AC
N	CREDIT FOR RETENTION ABOVE THE CONSERVATION THRESHOLD				0.0 AC
P	TOTAL REFORESTATION REQUIRED				1.0 AC
Q	TOTAL AFFORESTATION REQUIRED				0.0 AC
R	TOTAL PLANTING REQUIRED				1.0 AC

* NOTE: 0.36 ACRES WILL BE REFORESTED ON-SITE. THE REMAINING 0.64 ACRES WILL BE BY FEE-IN-LIEU OF REFORESTATION.

FOREST CONSERVATION EASEMENT PLANT LIST (0.36 AC)

QUANTITY	BOTANICAL NAME	SIZE	SPACING	NOTE
FCE 1	ACER RUBRUM 'RED SUNSET'	1" CAL.	15' x 15'	B & B
FCE 2	NYSSA SYLVATICA 'BLACK GUM'	1" CAL.	15' x 15'	B & B
3	PRUNUS SEROTINA 'BLACK CHERRY'	1" CAL.	15' x 15'	B & B
5	ACER NEGUNDO 'BOXELDER'	1" CAL.	15' x 15'	B & B
4	CORNUS FLORIDA 'WHITE FLOWERING DOGWOOD'	1" CAL.	15' x 15'	B & B
2	LINDERA BENZOIN 'SPICEBUSH'	1" CAL.	15' x 15'	B & B
3	VIBURNUM DENTATUM 'ARROWWOOD VIBURNUM'	1" CAL.	15' x 15'	B & B
6				

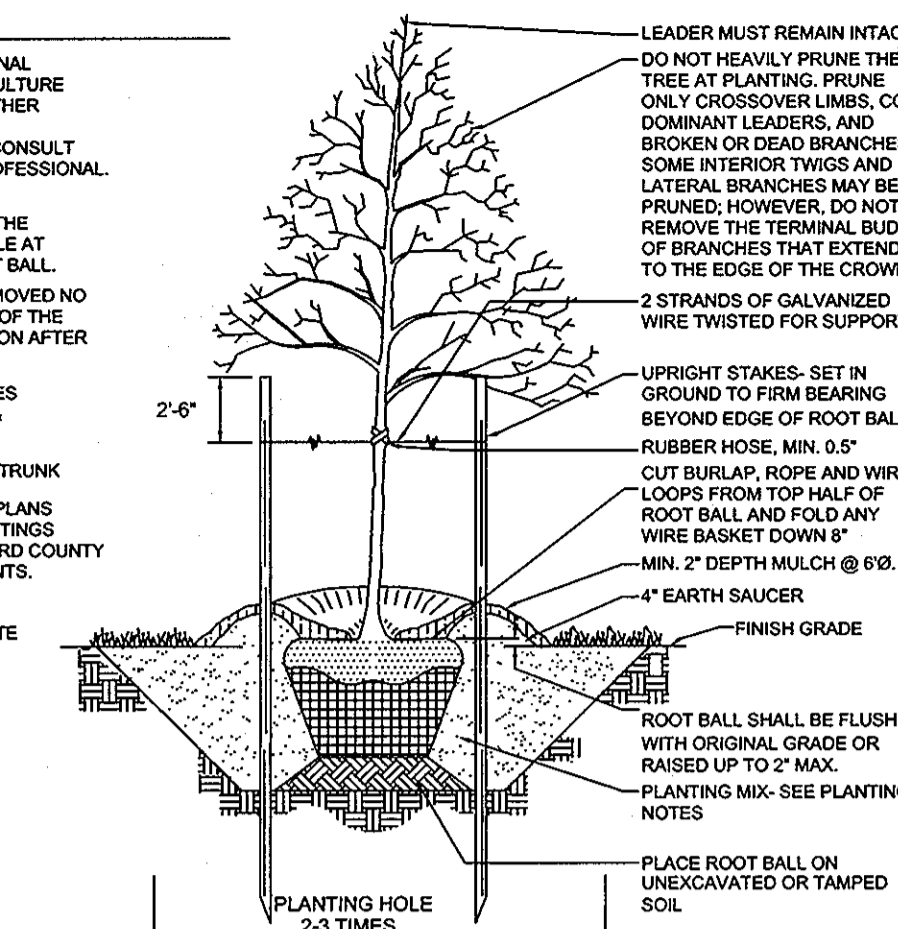
TOTAL: FCE 1 (22 SHADE TREES, 5 SMALL TREES, & 6 SHRUBS) & FCE 2 (33 SHADE TREES, 10 SMALL TREES, & 6 SHRUBS)
NOTE: IN FCE 2, CREDIT IS BEING TAKEN FOR 4 RED MAPLES (2.5"-3" CAL.) AND 2 EXISTING BOXELDERS - 2,400 SQ.FT. REDUCING REQUIREMENT TO 37' - 1" CAL. TREES (8,955 SF)



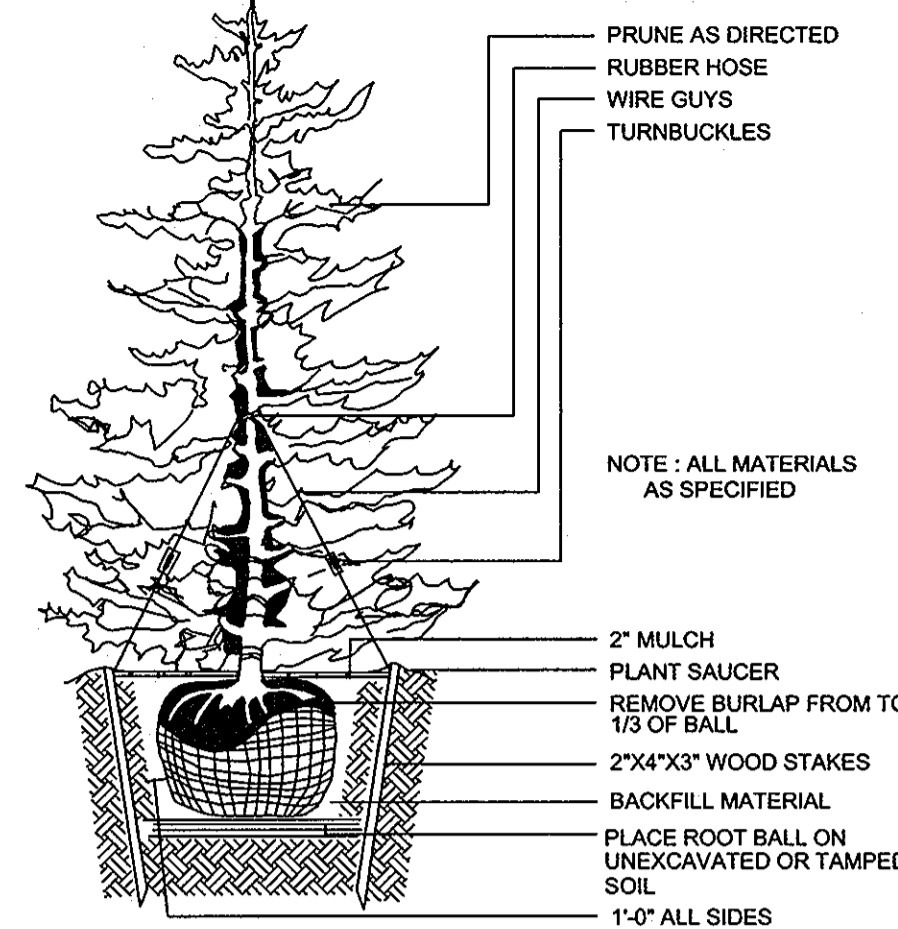
RANDOM PLANTING DISTRIBUTION PLAN
NOT TO SCALE

NOTES

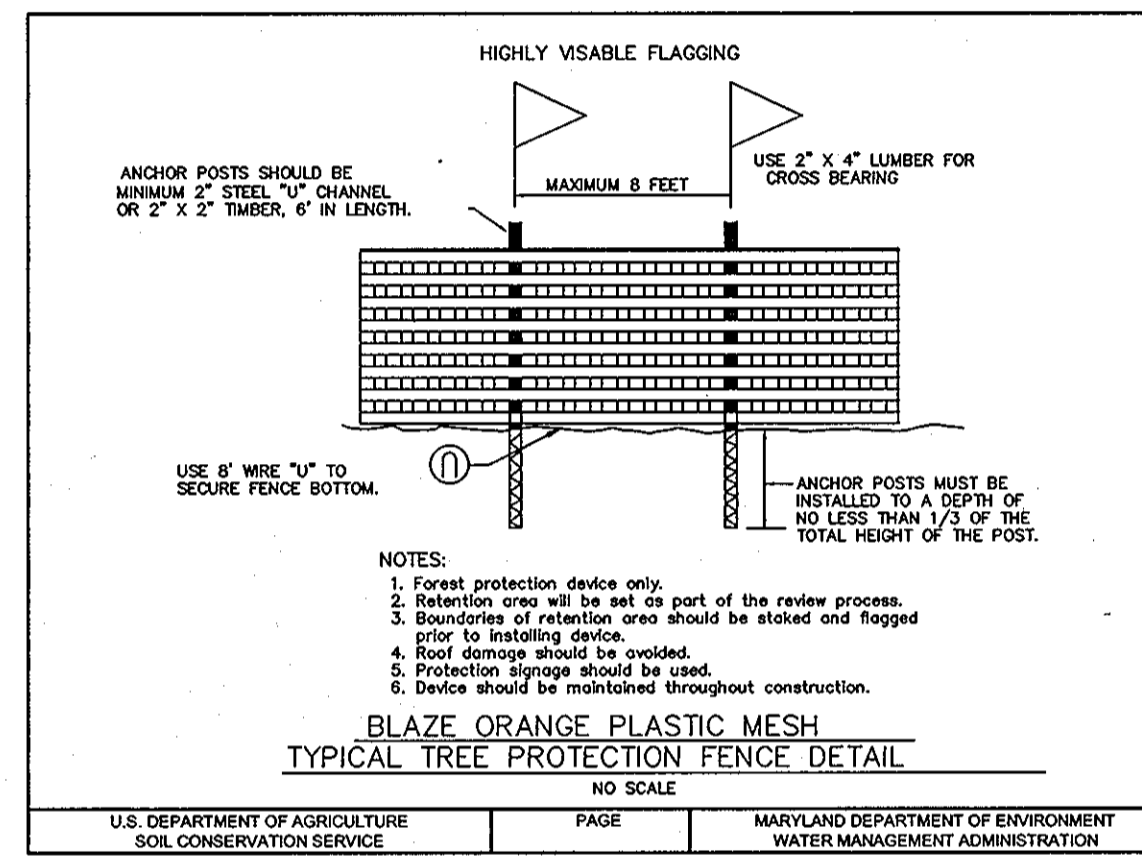
- CONSULT INTERNATIONAL SOCIETY OF ARBORICULTURE GUIDELINES FOR FURTHER DETAILS OF PLANTING SPECIFICATIONS, OR CONSULT WITH A QUALIFIED PROFESSIONAL.
- EACH TREE SHALL BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL.
- STAKES SHALL BE REMOVED NO LATER THAN THE END OF THE FIRST GROWING SEASON AFTER PLANTING.
- PLACE UPRIGHT STAKES PARALLEL TO WALKS & BUILDINGS.
- KEEP MULCH 1" FROM TRUNK.
- SEE ARCHITECTURAL PLANS FOR ADDITIONAL PLANTINGS WHICH EXCEED HOWARD COUNTY MINIMUM REQUIREMENTS.
- TREES ARE NOT TO BE PLANTED OVER PRIVATE SEWAGE EASEMENT.



TYPICAL TREE PLANTING AND STAKING
DECIDUOUS TREES UP TO 2-1/2" CALIPER
NOT TO SCALE



TYPICAL EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE



BLAZE ORANGE PLASTIC MESH TYPICAL TREE PROTECTION FENCE DETAIL
NO SCALE

SPECIMEN TREE TABLE

KEY	SIZE	TYPE	CONDITION	REMARKS
A	48"	NORWAY MAPLE	POOR	TRUNK ROT AND UNEVEN CROWN SPREAD - NON NATIVE
B	36"	OSAGE ORANGE	POOR	TWISTED TRUNK - NON-NATIVE
C	42"	OAK SP.	POOR	MOST OF CRZ PAVED OVER, TRUNK SUCKERS - SHAPE GOOD
D	48"	CUTLEAF BEECH	GOOD	APPEARS HEALTHY THOUGH SHAPE IS POOR AND CRZ IMPACTED BY PAVING - NON-NATIVE
E	40"	NORWAY SPRUCE	POOR	TOP OF TREE BROKEN OUT - NON-NATIVE

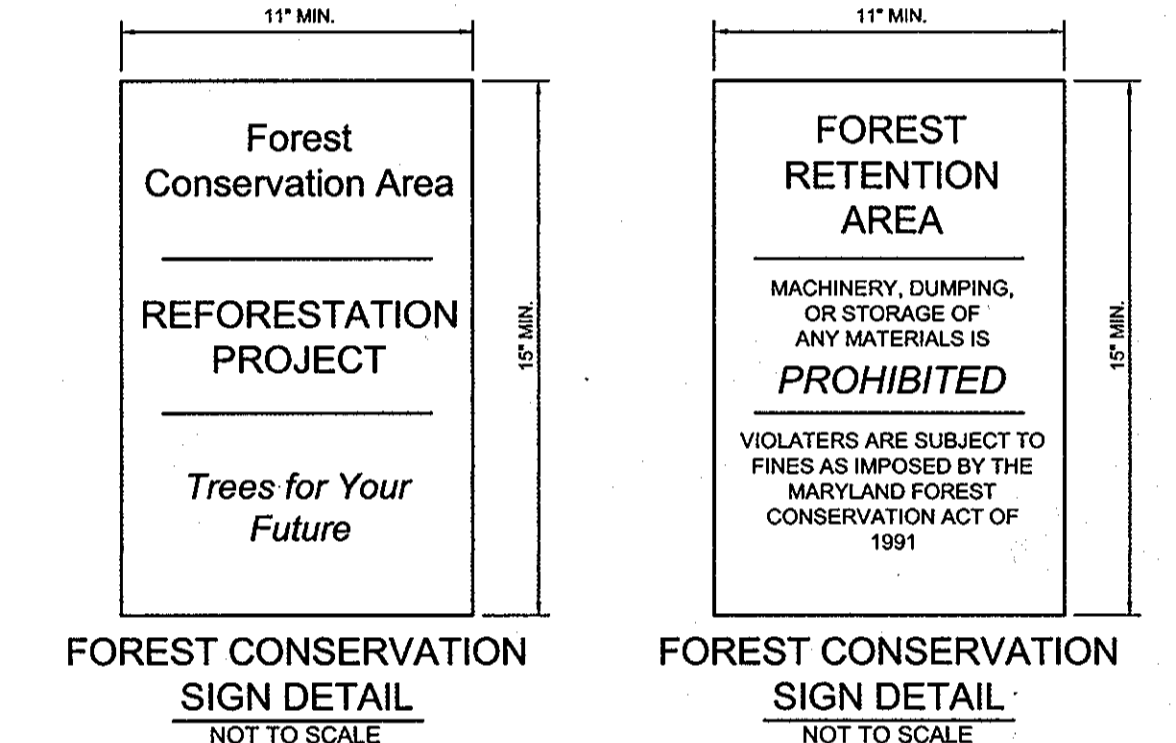
SCHEDULE A PERIMETER LANDSCAPE EDGE

CATEGORY	ADJACENT TO ROADWAY			ADJACENT TO PERIMETER PROPERTIES								
	1	2	3	4	5	6	7	8	9	10	11	
PERIMETER/FRONTAGE DESIGNATION												
LANDSCAPE TYPE												
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	117	235	108	254	246	295	64	131	247			
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET)	YES, 117 LF	NO	NO	YES, 3 EX. TREES	NO	YES, 1 EX. TREE	NO	YES, 60 LF	YES, 53 LF			
REMAINING PERIMETER LENGTH												
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET)	NO	NO	NO	NO	NO	NO	NO	NO	NO			
REMAINING PERIMETER LENGTH												
NUMBER OF PLANTS REQUIRED												
SHADE TREES	-	1:40 = 6	1:40 = 3	1:40 = 1	1:40 = 6	1:60 = 6	1:60 = 1	1:60 = 1	1:60 = 3			
EVERGREEN TREES	-	-	-	-	1:20 = 12	1:20 = 15	-	-	-			
SHRUBS	-	1:4 = 59	1:4 = 27	-	-	-	-	-	-			
NUMBER OF PLANTS PROVIDED												
SHADE TREES	-	4	2	1	6	6	3	1	1			
EVERGREEN TREES	-	4	2	-	12	15	-	-	4			
OTHER TREES (2:1 SUBSTITUTION)	-	-	-	-	-	-	-	-	-			
SHRUBS (10:1 SUBSTITUTION)	-	59	27	-	-	-	-	-	-			
(DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)												

TOTAL NUMBER OF PLANTS PROVIDED = 22 SHADE TREES, 37 EVERGREEN TREES, & 86 SHRUBS PLUS 35 ADDITIONAL SHRUBS BETWEEN HISTORIC STRUCTURE AND PARKING AND AROUND THE ELECTRIC TRANSFORMER

SCHEDULE B: PARKING LOT INTERNAL LANDSCAPING

NUMBER OF PARKING SPACES	70
NUMBER OF TREES REQUIRED	4
(1 SHADE TREE PER 20 SPACES)	
NUMBER OF TREES PROVIDED	
SHADE TREES	6
OTHER TREES (2:1 SUBSTITUTION)	-



FOREST CONSERVATION SIGN DETAIL
NOT TO SCALE

LANDSCAPE PLANT LIST

KEY	QUANTITY	BOTANICAL NAME	SIZE	NOTE
16	ACER RUBRUM 'RED SUNSET'	2.5"-3" CAL.	B & B	
12	PRUNUS CERASIFERA ATROPURPUREA 'PURPLE-LEAF PLUM'	1.5"-2" CAL.	B & B	
19	ILEX OPACA 'AMERICAN HOLLY'	5'-6" HT.	B & B	
18	JUNIPERUS VIRGINIANA 'CUPRESSIFOLIA'	6'-8" HT.	B & B	
59	ABELLA X GRANDIFLORA 'GLOSSY ABELLA'	2.5"-3" HT.	B & B	
62	VIBURNUM CARLESII 'KOREAN SPICE VIBURNUM'	2.5"-3" HT.	B & B	

TOTAL NUMBER OF PLANTS PROVIDED = 28 SHADE TREES, 37 EVERGREEN TREES, & 121 SHRUBS

OWNER/DEVELOPER

LINWOOD CENTER, INC.
C/O WILLIAM MOSS
3421 MARTHA BUSH DRIVE
ELLCOTT CITY, MARYLAND 21043
410.465.1352

LANDSCAPE & FOREST CONSERVATION NOTES & DETAILS

LINWOOD CENTER, INC.
TWO-STORY PRIVATE SCHOOL BUILDING
HDC-10-10; ECP-11-037

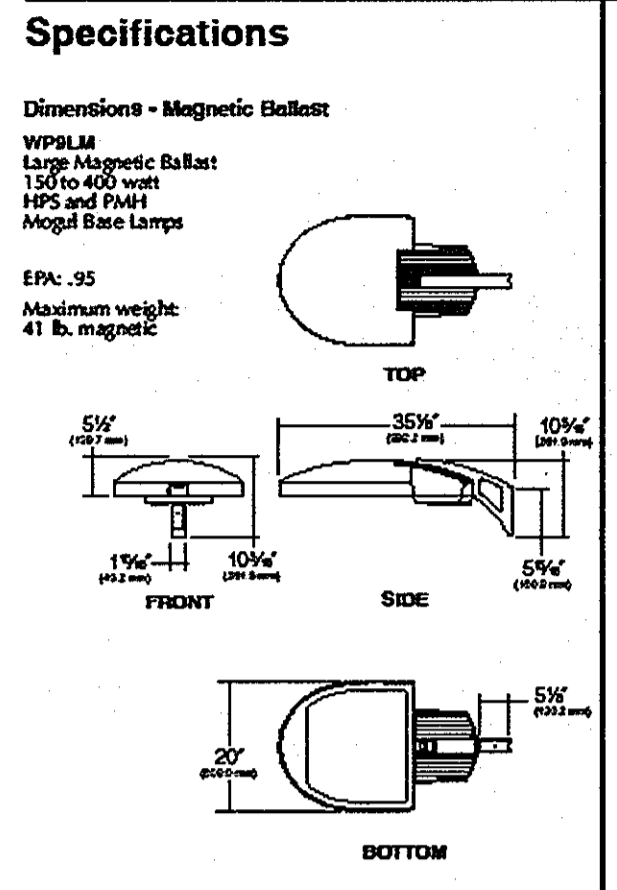
TAX MAP 25 GRID 1
2ND ELECTION DISTRICT
ZONING: CCT / POR
PARCELS 218 & 333
HOWARD COUNTY, MARYLAND

Sill - Adcock & Associates - LLC
Engineers - Surveyors - Planners
3300 North Ridge Road, Suite 160
Ellicott City, Maryland 21043
Phone: 443.325.7662 Fax: 443.325.7665
Email: info@silland.com

DESIGN BY: SJT
DRAWN BY: SJT
CHECKED BY: PS
SCALE: AS SHOWN
DATE: AUGUST 26, 2011
PROJECT #: 09-044
SHEET #: 12 of 14

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 33396, EXPIRATION DATE: JANUARY 12, 2013

KIM LIGHTING
 Type: WARP9[®] - Large, magnetic
 Job: WARP9[®] - Large, magnetic
 Catalog number: WARP9[®] - Large, magnetic
 Date: 11/16/10
 Approvals: [Signature]
 Date: 12/23/11
 Pages: 1 of 5



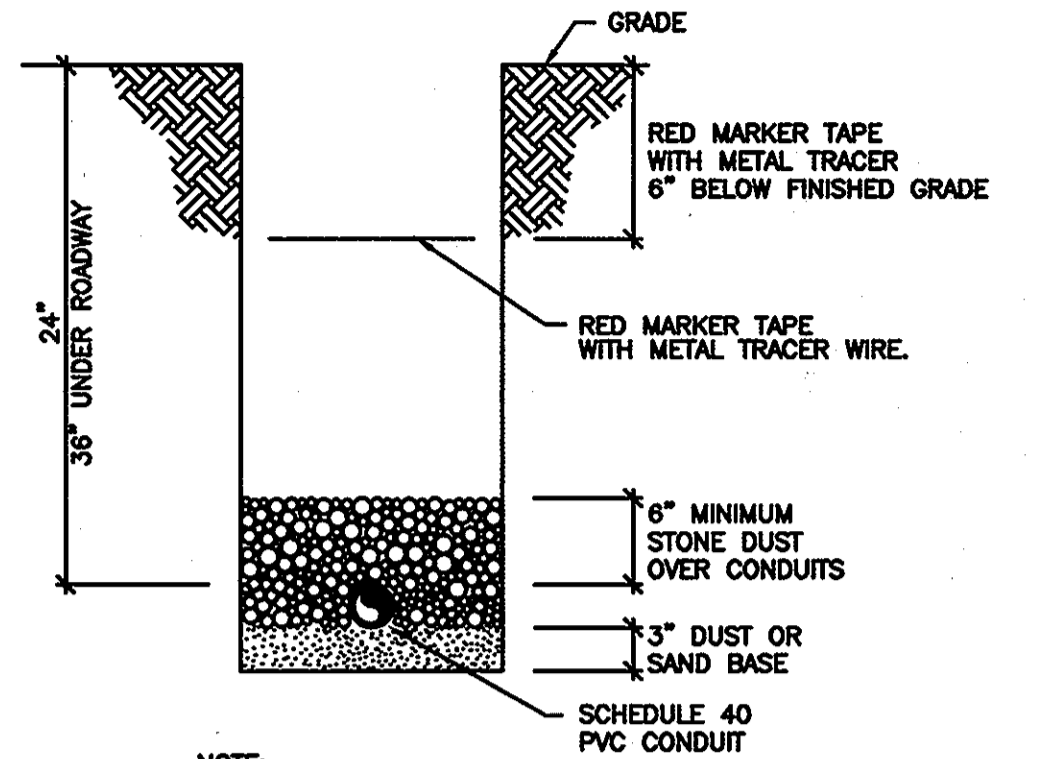
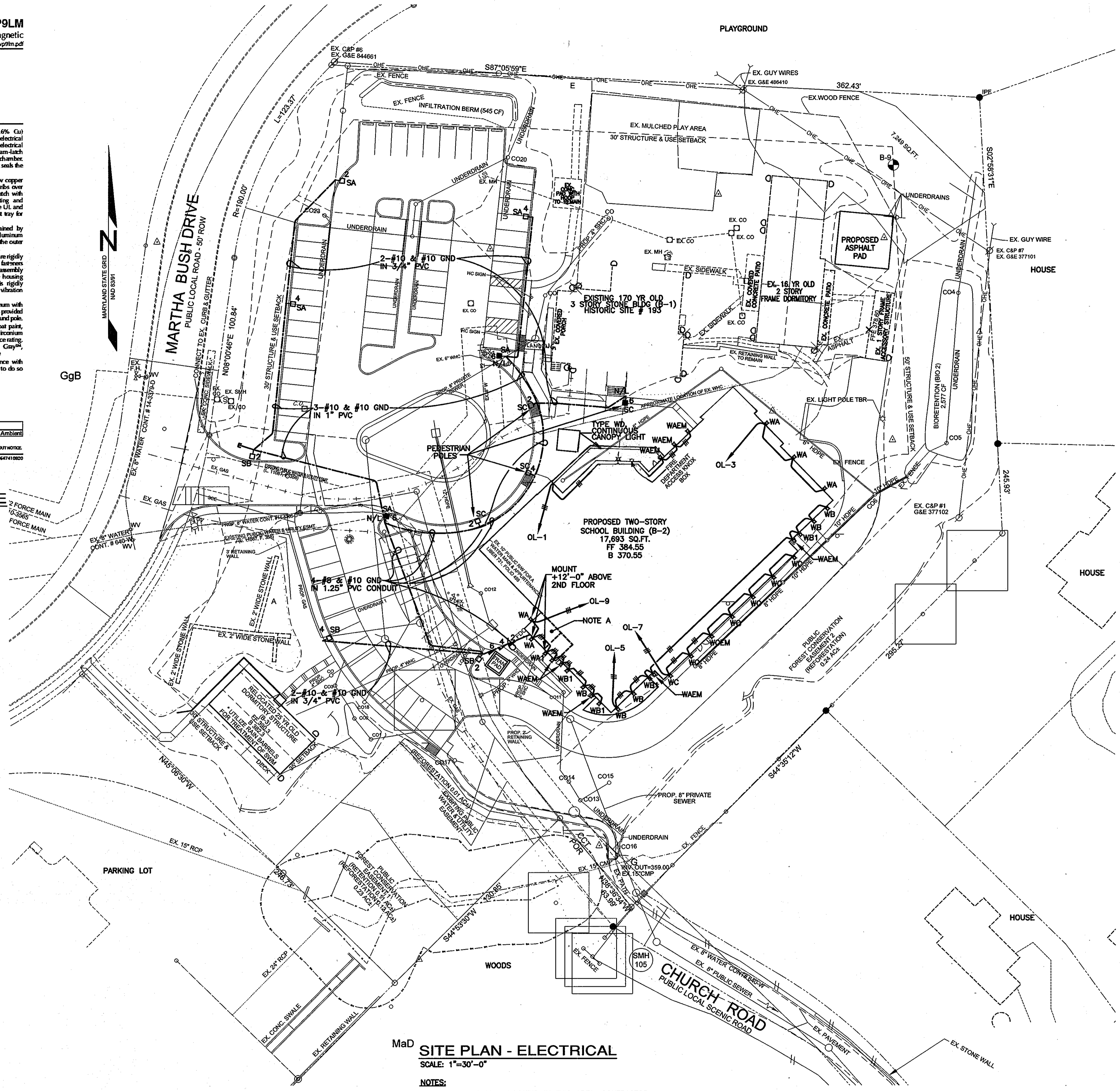
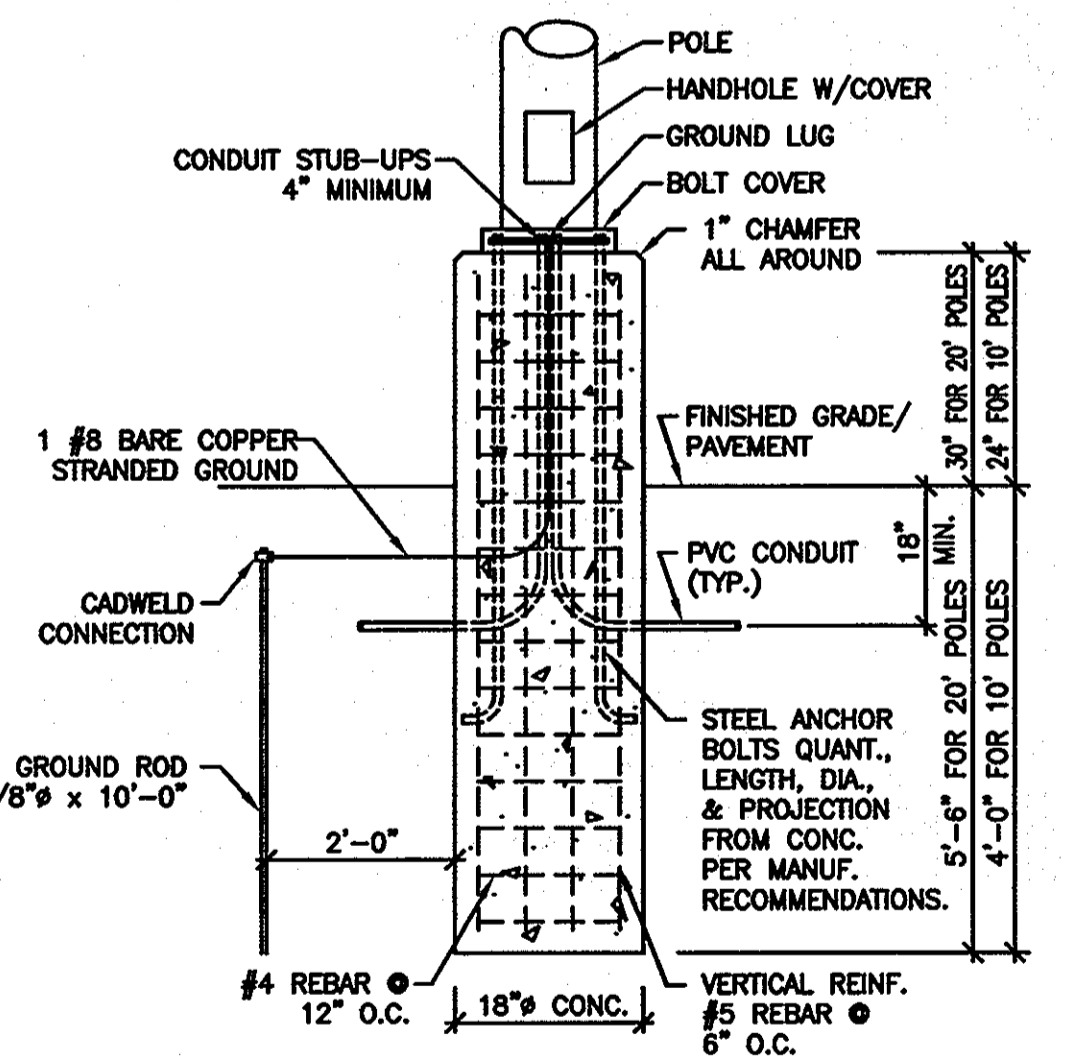
Housing: One-piece die-cast, low copper (0.6% Cu) aluminum alloy with integral cooling ribs over the electrical compartment. Solid barrier wall separates optical and electrical compartments. A single die-cast aluminum cam-latch provides positive locking and sealing of the optical chamber. A one-piece enameled and vulcanized silicone gasket seals the housing against the lens surface.
Magnetic Ballast Module: One-piece die-cast, low copper (0.6% Cu) aluminum alloy with integral cooling ribs over exposed bottom surface. Integral fuses and slide latch with stainless steel hardware provides no-tool mounting and removal from housing. All electrical components are UL and CSA recognized and mounted directly to the ballast tray for maximum heat dissipation.
Lens: Clear 1/4" thick tempered glass lens retained by a stainless steel piano hinge and a single die-cast aluminum cam-latch. The edges are camouflaged to conceal the outer portion of the housing.
Reflector Module: High specular optical segments are rigidly mounted within carrier plates to maintain form. No fasteners are placed on the reflective surface. The entire assembly is rotatable in 90° increments and fastened to the housing as a one-piece module. The appropriate socket is rigidly attached to the reflector module and includes a lamp vibration dampener.
Support Arm: Heavy cast, low copper alloy aluminum with stainless steel mounting hole. A pole anchoring plate is provided with wire strain relief. Arm is circular cut for specified round pole.
Finish: Super YCC thermos polyester powder coat paint, 2.5 mil nominal thickness, applied over a titanium zirconium conversion coating. 2500 hour salt spray test endurance rating. Standard colors are Black, Dark Bronze, Stainless Gray, Platinum Silver, or White. Custom colors are available.
CAUTION: Fixtures must be grounded in accordance with national, state and/or local electrical codes. Failure to do so may result in serious personal injury.

Listings and Finishes

UL cUL 1500 [®]	CE	IP65 Rated	25C Ambient
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*Suitable for wet locations.
 NEW LIGHTING REQUIRES THE RIGHT TO CHANGE SPECIFICATIONS WITHOUT NOTICE.

TYPE "SA" & "SB" 250W METAL HALIDE
 NO SCALE



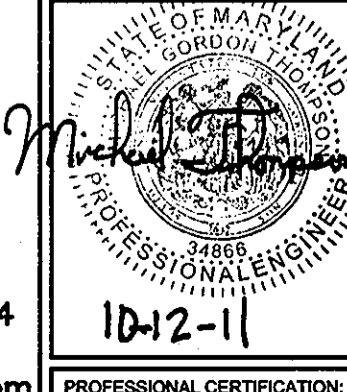
SITE NOTES

- CONTRACTOR SHALL PROVIDE ALL LIGHT FIXTURES, POLES, POLE BASES, WIRE AND CONDUIT, TRENCHING AND BACKFILL, ETC. MEETING NATIONAL ELECTRICAL CODE AND AS INDICATED ON THIS DRAWING TO PROVIDE A FULLY OPERABLE SYSTEM.
- SUCCESSFUL CONTRACTOR SHALL CALL MISS UTILITY 72 HOURS PRIOR TO ANY EXCAVATION AND MAKE PROVISIONS TO FIELD LOCATE ALL EXISTING UTILITIES.
- EACH LIGHT POLE SHALL BE ON DESIGNATED CIRCUIT AND TAGGED WITH A PERMANENT LABEL LOCATED INSIDE HANDHOLE.
- CONTRACTOR SHALL COORDINATE POLE LOCATIONS WITH SITE UTILITIES, LANDSCAPING DRIVEWAYS, ETC. PRIOR TO ROUGH-IN.
- NOTE EXISTING UNDERGROUND UTILITIES ARE NOT LOCATED ON THIS PLAN. CONTRACTOR SHALL CONTACT MISS UTILITY AND MAKE PROVISIONS TO FIELD LOCATE EXISTING UTILITIES PRIOR TO EXCAVATION. THIS PLAN SHALL NOT BE USED AS A GUIDE TO LOCATE EXISTING UTILITIES.
- CONTRACTOR IS RESPONSIBLE TO REPAIR ANY DAMAGE TO PAVED SURFACES OR EXISTING UTILITIES WHICH OCCURRED DURING EXCAVATION.

OWNER/DEVELOPER
 LINWOOD CENTER, INC.
 C/O WILLIAM MOSS
 3421 MARTHA BUSH DRIVE
 ELLICOTT CITY, MARYLAND 21043
 410.465.1352

SITE LIGHTING PLAN
 LINWOOD CENTER, INC.
 TWO-STORY PRIVATE SCHOOL BUILDING
 HDC-10-10; ECP-11-037

TAX MAP 25 GRID 1
 2ND ELECTION DISTRICT
 ZONING: CCT / POR
 PARCELS 218 & 333
 HOWARD COUNTY, MARYLAND



Sill · Adcock & Associates · LLC
 Engineers · Surveyors · Planners
 3300 North Ridge Road, Suite 160
 Ellicott City, Maryland 21043
 Phone: 443.325.7682 Fax: 443.325.7685
 Email: info@saatltd.com

DESIGN BY: MGT
 DRAWN BY: DWS
 CHECKED BY: MGT/RHL
 SCALE: AS SHOWN
 DATE: OCTOBER 12, 2011
 PROJECT #: RHL110177
 SHEET #: 13 of 14

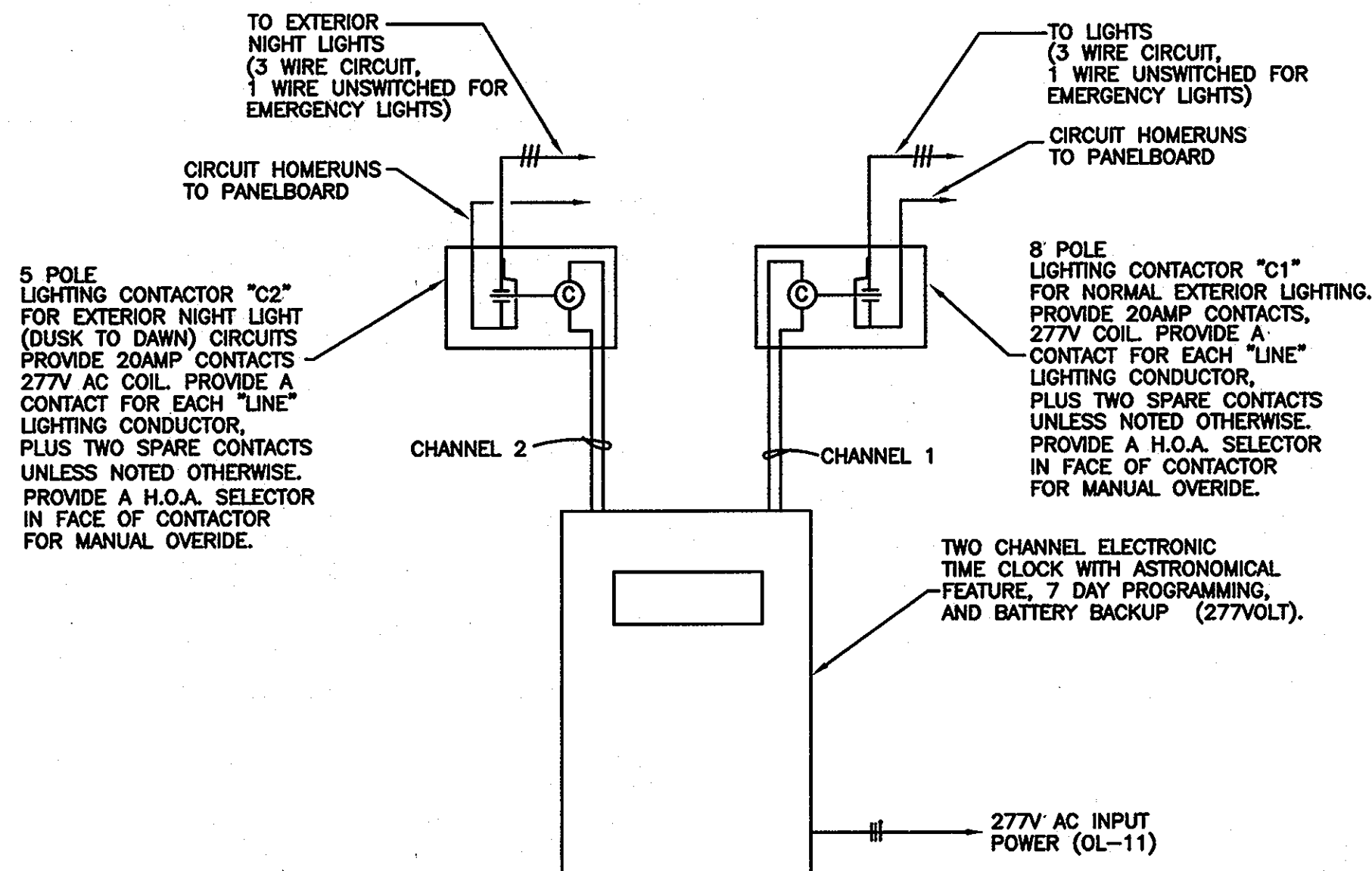
RHL ENGINEERING COMPANY, INC.
 3 West Second Street
 Frederick, Md. 21701
 Office: (301) 695-9424
 Fax: (301) 293-6338
 E-mail: rhleng@rhleng.com

NOTES:
 A. ELECTRIC ROOM IS LOCATED IN THIS AREA. CONTRACTOR SHALL INSTALL A 50 AMP, 24 SPACE ELECTRIC PANEL TO FEED OUTDOOR LIGHTING. SEE DETAIL ON DRAWING E-2 FOR MORE INFORMATION. SEE ELECTRICAL BUILDING PLANS FOR EXACT PANEL LOCATION.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 [Signatures and Dates]
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DIRECTOR

ELECTRICAL LEGEND AND ABBREVIATIONS

- COORDINATE LOCATIONS AND SIZES WITH ARCHITECTURAL AND MECHANICAL DRAWINGS.
 - UNLESS OTHERWISE NOTED, MOUNTING HEIGHTS ARE TO CENTER LINE OF EQUIPMENT.
 - WHERE APPLICABLE, MOUNTING HEIGHTS SHALL CONFORM TO HANDICAPPED CODE.
- HOMERUN TO PANELBOARD: ARROWS INDICATE NUMBER OF CIRCUITS, SLASHES INDICATE NUMBER OF CONDUCTORS. LETTER(S) INDICATES PANEL, NUMBER INDICATES CIRCUIT. REFER TO PANEL SCHEDULES FOR CONDUCTOR SIZES.
 CONCEALED BRANCH CIRCUIT, WIRING RUN IN WALLS OR ABOVE CEILING.
 CONCEALED BRANCH CIRCUIT, WIRING RUN WITHIN OR UNDER FLOOR.
 BRANCH CIRCUIT, WIRING IN CONDUIT 24" BELOW GRADE.
 BRANCH CIRCUIT IN A GROUP OF TWO OR MORE CIRCUITS.
 LIGHT FIXTURE
 A LETTER INDICATES LIGHTING FIXTURE TYPE, SEE FIXTURE SCHEDULE.
 AFF ABOVE FINISHED FLOOR.



EXTERIOR LIGHTING CONTROL SCHEMATIC
NO SCALE

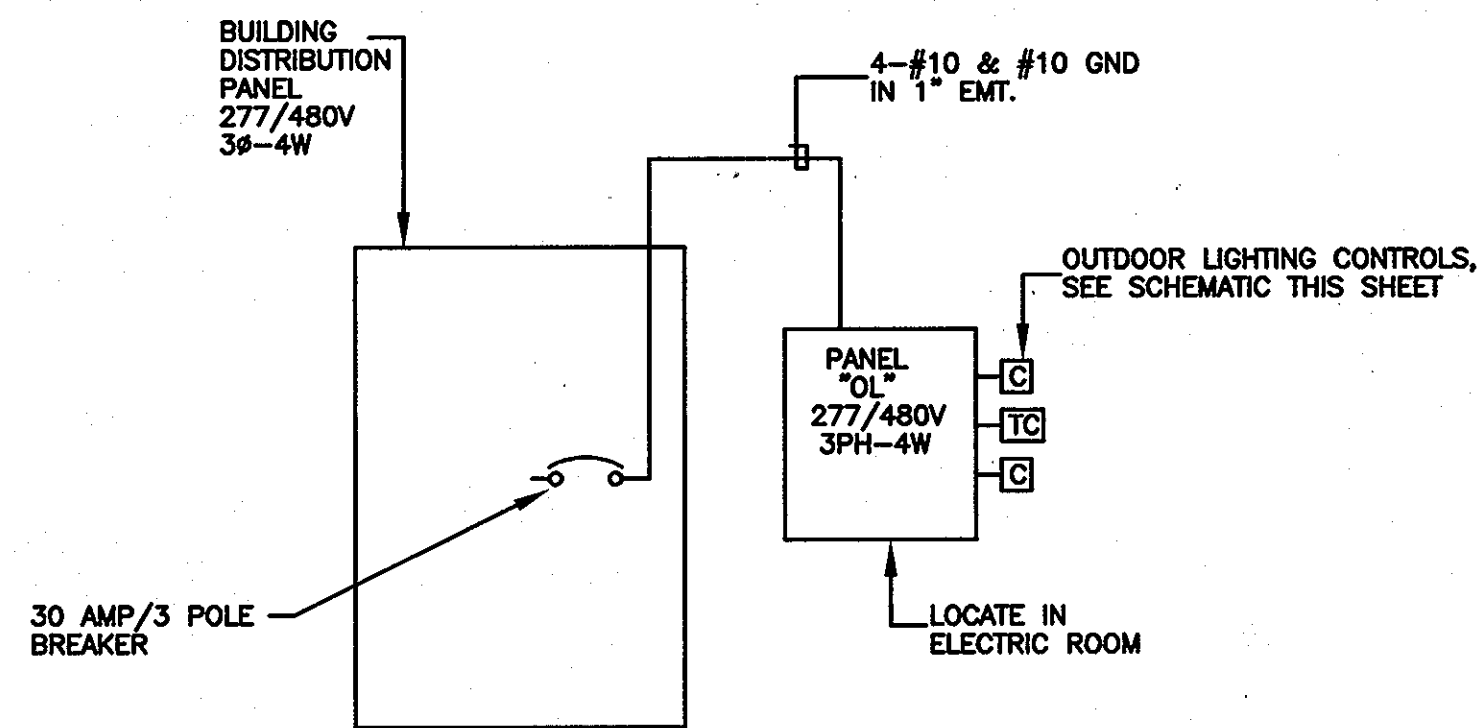
LIGHT FIXTURE SCHEDULE			
TYPE	DESCRIPTION	MANUFACTURER	NAMED EQUAL
SA	250 WATT METAL HALIDE, DECORATIVE, LOW VISIBILITY, SHARP CUT OFF LUMINAIRE MOUNTED ON A 20" HIGH STRAIGHT ROUND STEEL POLE, IES TYPE 4, MULTITAP BALLAST, STEALTH GREY FINISH, 277V	KIM WARP 9 1SA-WP9LM4- 250PMH277-SG POLE: 20'-4" 90 EPA	OR APPROVED EQUAL
SB	SAME AS TYPE "SA", BUT IES TYPE 3.	KIM WARP 9 1SA-WP9LM3- 250PMH277-SG POLE: 20'-4" 90 EPA	OR APPROVED EQUAL
SC	SAME AS TYPE "SB", BUT WALL MOUNTED ON A 10' HIGH POLE AND 150W PULSE START METAL HALIDE	KIM WARP 9 1SA-WP9LM3- 150PMH277-SG POLE: 10' HIGH-4" 90 MPH EPA RATED	OR APPROVED EQUAL
WA	WALL MOUNTED DECORATIVE SCENCE, 150 WATT PULSE START METAL HALIDE 100% DOWNLIGHT FORWARD THROW LIGHT DISTRIBUTION, 277 VOLT NATURAL/BRUSHED ALUMINUM FINISH.	GARDCO #104-FT-150MH-277- OC-AR	OR APPROVED EQUAL
WA1	SAME AS "WA", BUT WITH QUARTZ RESTRIKE.	GARDCO #104-FT-150MH-277- OC-AR-QS	OR APPROVED EQUAL
WAEM	DECORATIVE WALL MOUNTED MINI WALL LIGHT WITH EMERGENCY LIGHTING BATTERY BACKUP. 32 WATT AMALGAM (TEMP STABILIZED) LAMP, COLD TEMPERATURE BATTERY. MOUNT +8"-4" AFF	GARDCO 114EMC-MT-UNV- 32TRF-OC-PC	OR APPROVED EQUAL
WB	WALL MOUNTED DECORATIVE SCENCE 90% DOWNLIGHT 10% UPLIGHT, FORWARD THROW, MOUNT 13'2" AFF, 277 VOLT NATURAL/BRUSHED ALUMINUM FINISH.	GARDCO 103-FT-U-100MH-277- OC-AR	OR APPROVED EQUAL
WB1	SAME AS TYPE "WB", BUT WITH QUARTZ RESTRIKE.	GARDCO 103-FT-U-100MH-277- OC-AR-QS	OR APPROVED EQUAL
WC	WALL MOUNTED DECORATIVE SCENCE, 2-36 WATT FLUORESCENT LAMPS, STAINLESS STEEL COVER WITH PERFORATED HOLES, WHITE OPAL ACRYLIC LENS, 277 VOLT.	BETA CALICO WRAP PM 31 2034-2	OR APPROVED EQUAL
WCEM	SAME AS "WC" BUT WITH EMERGENCY LIGHTING BATTERY BACKUP.	BETA CALICO WRAP PM 31 2034-2-EM	OR APPROVED EQUAL
WD	CONTINUOUS ROW LINEAR FLUORESCENT MOUNTED UNDER CANOPY T-5 LAMP. TOTAL LENGTH REQUIRED IS 64', SECTION LENGTH SHALL BE COORDINATED WITH CANOPY. USE 8' SECTIONS WHERE POSSIBLE. SEE ARCHITECTURAL CANOPY DETAILS, 277 VOLT.	ARDEE 115-SERIES 115-XXX-2000-SA-X- BRACKET 115-WA/WB-SA	OR APPROVED EQUAL

PANELBOARD: "OL"
BUS AMPACITY: 100A
BRANCH BRKR. MTG. SPACE: 24 SPACE
MLO: X MAIN BREAKER:
PANEL MANUFACTURER: SQUARE-D NF
ISOLATED GROUND BAR:

VOLTAGE/PHASE: 277/480V, 3φ-4W
EQUIPMENT GROUND BAR: X
SURFACE MOUNTED: X **RECESSED:**
INTERRUPT CAPACITY: 14,000 AIC
FEEDER BREAKER SIZE: 30A
ACCESSORIES:

LOAD	CKT NO.	BKR A/P	WIRE SIZE	KW/PHASE			KW/PHASE			WIRE SIZE	BKR A/P	CKT NO.	LOAD
				A	B	C	A	B	C				
** LGT: FRONT CANOPY	1	20/1	8	0.9			1.4			8	20/1	2	POLE LIGHTS
* LGT: NE WALL	3	20/1	8		0.6			1.0		8	20/1	4	POLE LIGHTS
* LGT: SE WALL	5	20/1	10			1.3				8	20/1	6	POLE LIGHTS
* LGT: SE WALL	7	20/1	10	0.7							20/1	8	SPARE
* LGT: SW WALL	9	20/1	12			1.3					20/1	10	SPARE
TIME CLOCK/CONTACTORS	11	20/1	12			0.1					20/1	12	SPARE
	13											14	
	15											16	
	17											18	
	19											20	
	21											22	
	23											24	
SUBTOTAL / PHASE				1.6	1.9	1.4	1.4	1.0	0.8				
TOTAL / PHASE				3.0	2.9	2.2					TOTAL KVA: 8.1	AMPS: 10	

* CONTROLLED BY CONTACTOR "C1"
 ** CONTROLLED BY CONTACTOR "C2"- EMERGENCY LIGHTS TO BE UNSWITCHED.



PANEL "OL" FEEDER DIAGRAM
NO SCALE

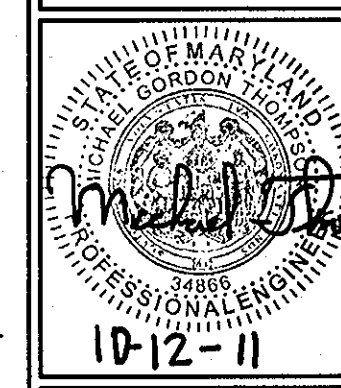
OWNER/DEVELOPER

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 410.465.1352

SITE LIGHTING DETAILS

LINWOOD CENTER, INC.
 TWO-STORY PRIVATE SCHOOL BUILDING
 HDC-10-10; ECP-11-037

TAX MAP 25 GRID 1
 2ND ELECTION DISTRICT
 ZONING: CCT / POR
 PARCELS 218 & 333
 HOWARD COUNTY, MARYLAND



Sill · Adcock & Associates · LLC
 Engineers · Surveyors · Planners
 3300 North Ridge Road, Suite 160
 Ellicott City, Maryland 21043
 Phone: 443.325.7682 Fax: 443.325.7685
 Email: info@saaland.com

DESIGN BY: MGT
 DRAWN BY: DWS
 CHECKED BY: MGT/RHL
 SCALE: AS SHOWN
 DATE: OCTOBER 12, 2011
 PROJECT #: 09-044
 SHEET #: 14 of 14

RHL ENGINEERING COMPANY, INC.
 3 West Second Street
 Frederick, Md. 21701
 OFFICE: (301) 695-9424
 FAX: (301) 293-6338
 E-mail: rhlengr@rhlengr.com

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 34866, EXPIRATION DATE: OCTOBER 23, 2011.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 12/23/11

 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 1/10/12

 DIRECTOR
 DATE: 1/11/12