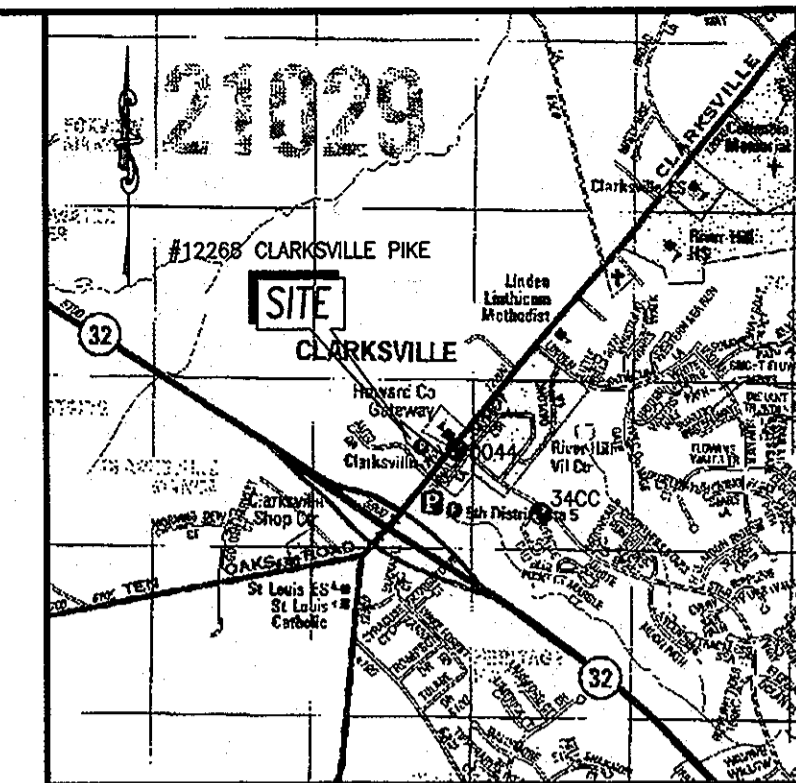


**GENERAL NOTES**

- The existing topography shown is taken from a field run survey, conducted April 1, 2010, by Leon A. Podolak and Associates, LLC and is based on the Howard County Survey Control Stations 0044 and 34CC. Off-site topography is taken from the Howard County GIS information.
- Existing utilities shown are based on a field run survey and 'As-Built' information obtained from Howard County records.
- The Traffic Study for this project was prepared by the Mars Group dated June 2010 and has not been approved.
- The subject property is Zoned B-2 per the February 2, 2004 Comprehensive Zoning Plan, and per the Comp. Lite Zoning Regulation amendments effective on 7/28/06.
- Existing Use: Restaurant  
Proposed Use: Restaurant (Existing) and Retail and/or Office
- Parking Requirements:  
Restaurant: 14 parking spaces per 1,000 square feet of floor area  
Retail: 5.0 parking spaces per 1,000 square feet of floor area  
Office: 3.3 parking spaces per 1,000 square feet of floor area  
Parking Required:  
(3,500 sq. ft.)(14 space/1,000 sq.ft.) + (6,680 sq.ft.)(5 space/1,000 sq.ft.)  
Required Parking = 83 spaces  
Parking Provided: 98 standard and 5 handicap spaces = 103 parking spaces
- Bulk Regulations:  
Maximum Building Height = 40 feet  
Building Setbacks: From Public Street Right-of-Way = 30 feet  
Except for Parking Uses = 10 feet  
From Residential Districts = 30 feet
- Refuse shall be disposed of daily in trash receptacles. Trash removal will be privately contracted.
- Lighting shall be shielded and directed so that it does not shine directly onto any adjacent properties. It shall not illuminate residential properties and shall not produce glare which could cause a hazard for motor vehicle operations in the vicinity of the site. Lighting shall comply with Section 134 of the Howard County Zoning Regulations.
- Utilities: Water- (H.C. CONTRACT#20-3340) Sewer- an existing 8" Sanitary Sewer Line runs along MD. Rte. 108  
Storm Drain- an existing 18" BCCMP runs along the northeastern property line and discharges into an existing storm drainage infiltration basin to the rear of the property shown herein.
- Election District: 5
- The property shown hereon is owned by:  
S & W MANAGEMENT, INC., a Kansas corporation formerly known as S & W PIZZA HUT OF MARYLAND, INC., a Kansas corporation, after a certificate of amendment was filed with the Kansas Secretary of State on November 20, 1998. S & W PIZZA HUT OF MARYLAND, INC., a Kansas corporation is also formerly known as PIZZA HUT OF MARYLAND, INC., a Kansas corporation, after a certificate of amendment was filed with the Kansas Secretary of State on December 12, 1989. PIZZA HUT OF MARYLAND, INC. was originally incorporated in the State of Kansas on September 9, 1970. The current title deed was recorded on December 22, 1986, among the Land Records of Howard Co. in Liber CMP 1608, Folio 215.
- Tax Map: 34 Block: 6 Parcel: 27 Tax Account Number: 05-355656
- Property is located in Clarksville.
- All construction shall be in accordance with the latest standards and specifications of Howard County and MSHA standards and specifications, if applicable.
- The contractor shall notify the Department of Public Works/Bureau of Engineering/Construction Inspection Division at 410-313-1880 at least five (5) working days prior to start of work.
- The contractor shall notify 'Miss Utility' at 1-800-257-7777 at least 48 hours prior to any excavation work.
- Traffic control devices, markings, and signage shall be in accordance with the Manual of Uniform Traffic Control devices (MUTCD). All street and regulatory signs shall be in place prior to the placement of any asphalt.
- All plan dimensions are to face of curb unless otherwise noted.
- There are no known burial grounds located on-site.
- The coordinates shown hereon are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System. Howard County monument nos. 0044 and 34CC were used for this project.
- There are no floodplains, streams, or wetlands or their buffers present on this site, as certified by Eco-Science Professionals, dated April 27, 2010.
- This plan is subject to the Amended 5th Edition of the Subdivision and Land Development Regulations per Council Bill 45-2003 and the Amended Zoning Regulations per Council Bill 75-2003.
- Related D.P.Z. file applications: SDP-89-21, WP-11-010 and ECP-11-009.
- Financial surety for the required landscaping in the amount of \$79,500.00 (14 major deciduous trees @ \$300.00 ea., 11 evergreen @ \$150.00 ea., 14 minor deciduous trees @ \$150.00 ea.) is part of the DPW Developer's Agreement.
- No grading, removal of vegetative cover or trees, paving and new structures shall be permitted within the required wetlands, streams or their buffers, forest conservation easement areas and 100 year floodplain.
- Earth fills for roads, embankments, and structures shall be in accordance with Section 204 EMBANKMENT AND SUBGRADE of the MD SHA Standard Specifications. Compaction below top one foot of fill shall not be less than 92.0% of maximum dry density using AASHTO T-180 method. Compaction of top one foot of fill shall not be less than 97.0% of maximum dry density using the same method.
- Locations of existing utilities are shown only as notification to Contractor of the presence of underground utilities. Howard County and the design engineer do not warrant or guarantee correctness of completeness of information given. Contractor shall be responsible for verifying existence and location of all utilities to his own satisfaction prior to beginning work. Phone Miss Utility @ 1-800-257-7777. Any damage to existing utilities incurred due to Contractor's operation shall be repaired immediately at Contractor's expense.
- In case of discrepancy between scaled and figured dimensions, figured dimensions shall govern.
- Failure to mention specifically the provision of any item(s), or performance of any work or procedure which would normally be required to complete the project, shall not relieve the Contractor of his responsibility to provide such item(s) or to perform such work or procedure.
- Pipe elevations shown on storm drain profiles are invert elevations unless otherwise noted.
- Developer is responsible in all regards for relocation of any existing utilities.
- A Petition (WP-11-010) requesting that Section 16.1201(n) of the Howard County Code (Subtitle 12) and the Subdivision and Land Regulations be waived, so that the limits of disturbance (LOD) can be used as the net tract area for the purpose of calculating Forest Conservation requirements, was conditionally granted by the Director of the Department of Planning and Zoning on August 19, 2010. Approval of the waiver petition is subject to the following two conditions:  
a.) Compliance with all comments related to ECP-11-009.  
b.) That a fee-in-lieu be paid to the Department of Planning & Zoning in conjunction with the processing of a Site Development Plan for the proposed Retail / Office building.
- Forest conservation for this site has been met with a fee-in-lieu payment of \$3,267.00 for 0.10 acres of afforestation.
- A 'knox box' (fire department access box) shall be placed to the right of the proposed Retail/Office building main entrance door 4'-5" in height and no more than 6' laterally from the door. See sheet 3 for location. The box shall be electronically supervised to notify the Owner that it is being accessed (integrated with the fire alarm system). NFPA-1 10.12.1

# SITE DEVELOPMENT PLAN for a RETAIL BUILDING on the CLARKSVILLE PIZZA HUT PROPERTY

#12268 CLARKSVILLE PIKE  
TAX MAP: 34 BLOCK: 6 PARCEL: 27  
CLARKSVILLE  
HOWARD COUNTY, MARYLAND



VICINITY MAP  
Scale 1" = 2000'

HOWARD COUNTY ADC MAP: 14 GRID: E-7  
COPYRIGHT ADC THE MAP PEOPLE PERMITTED USE NUMBER 21096444

**BENCHMARK INFORMATION**

HOWARD COUNTY GEODETIC SURVEY CONTROL  
Datum (NAD 1983 Adj 07 - NAVD83)  
NOTE: SEE SHEET 2 FOR BENCHMARK PLAN VIEW LOCATIONS.

**BM1** - REBAR & CAP ("PODOLAK TRAVERSE")  
N 562139.7904 E 1329519.8764 ELEV. 484.68  
REBAR & CAP set flush with the ground at the location shown on sheet 2.

**BM2** - REBAR & CAP ("PODOLAK TRAVERSE")  
N 562228.8312 E 1329204.8680 ELEV. 482.96  
REBAR & CAP set flush with the ground at the location shown on sheet 2.

HOWARD COUNTY GEODETIC SURVEY CONTROL MONUMENTS USED TO ESTABLISH ON-SITE CONTROL SHOWN ON SHEET 2.

**DISK '0044'** N 562176.4869 E 1329641.8452 ELEV. 484.477  
A Howard County control station, being a concrete monument set flush with the ground on the east most side of Md. Rte. 108 at its intersection with Great Star Drive, 112ft. north from utility pole BGE#31720.

**DISK '34CC'** N 561680.0747 E 1330244.4382 ELEV. 468.416  
A Howard County control station, being a concrete monument set flush with the ground on the south most side of Great Star Drive near the entrance to the 'Fidstone Subdivision' 3.381 south of the existing face of curb and 27.5ft. west of an existing fire hydrant.

Topography shown on these plans was field run on April 1, 2010 by Leon A. Podolak & Associates, L.L.C. and is based on the 1988 NAVD as established by the Howard County Survey Control.

NOTE: ALL COORDINATE VALUES SHOWN ON THESE PLANS ARE BASED ON THE STATE GRID NORTH AS ESTABLISHED BY THE HOWARD COUNTY SURVEY CONTROL NETWORK. SEE ABOVE FOR BENCHMARK INFORMATION ESTABLISHED FOR THIS CONSTRUCTION SITE. COORDINATE VALUES ARE PROVIDED AS A CONVENIENCE TO THE CONTRACTOR FOR STAKEOUT. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF PLAN AND PROFILE DIMENSIONS PRIOR TO FINAL CONSTRUCTION OF EACH ITEM.

**INDEX OF DRAWINGS**

- SHEET 1 TITLE SHEET
- SHEET 2 SITE OVERVIEW
- SHEET 3 SITE GRADING DETAIL
- SHEET 4 EROSION and SEDIMENT CONTROL PLAN
- SHEET 5 STORM WATER MANAGEMENT DETAILS and SPECIFICATIONS
- SHEET 6 STORM WATER MANAGEMENT PROFILES
- SHEET 7 DRAINAGE AREA MAP
- SHEET 8 ROOF DRAIN PROFILES BUILDING ELEVATION
- SHEET 9 WATER/SEWER BUILDING CONNECTION PROFILES
- SHEET 10 LANDSCAPE PLAN
- SHEET 11 SITE LIGHTING PLAN
- SHEET 12 SIDEWALK PLAN

SITE ANALYSIS DATA SHEET	
PROJECT AREA: PARCEL 27 = 2.2139 ACS.±	96,437 SQ.FT.
LIMIT OF DISTURBED AREA: 34,130 SQ.FT. (0.7835 AC.±)	
PRESENT ZONING: B-2 (GENERAL BUSINESS DISTRICT)	
PROPOSED USE: EXISTING RESTAURANT and RETAIL / OFFICE	
FLOOR AREA: EXISTING RESTAURANT- 3,500 SQ.FT.	
PROPOSED RETAIL BUILDING- 6,680 SQ.FT.	
PARKING SPACES REQUIRED: 83 (SEE GENERAL NOTE 6 ON THIS SHEET)	
PARKING SPACES PROVIDED: 103 (INCLUDING 5 HANDICAP SPACES)	
BUILDING COVERAGE OF SITE: 0.23 AC.± (10.39% OF GROSS AREA)	
APPLICABLE DPZ FILE REFERENCES: SDP-89-21, WP-11-010 and ECP-11-009.	
HOWARD COUNTY WATER CONTRACT NO. 20-3340.	
HOWARD COUNTY SEWER CONTRACT NO. 30-3731.	



THERE IS NO 'AS-BUILT' INFORMATION PROVIDED ON THIS SHEET.

*Peter L. Podolak* 1-11-14  
PETER L. PODOLAK, REG. NO. 19561 DATE  
STATE OF MARYLAND PROFESSIONAL ENGINEER

**PERMIT INFORMATION BLOCK SDP 11-037**

SUBDIVISION NAME		SECTION / AREA		LOT / PARCEL #	
Pizza Hut Property		N/A		P. 27	
PLAT # OF L/F	BLOCK #	ZONE	TAX/ZONE MAP	ELECTION DIST	CENSUS TRACT
L/F - 1608/215	6	B-2	34	5	6051012
WATER CODE		SEWER CODE			
ADDRESS CHART					
Lot Number	Street Address				
Retail Building	12272 Clarksville Pike				
Pizza Hut	12268 Clarksville Pike				

**TITLE SHEET 'AS-BUILT'**

CURRENT TITLE REFERENCE: PIZZA HUT OF MARYLAND, INC. DEED: 1608/215 2.2139 ACS.±  
5TH ELECTION DISTRICT  
#12268 CLARKSVILLE PIKE - ZONED: B-2 TAX MAP: 34 BLOCK: 6 PARCEL: 27 ACCT. NO.: 05-355656

LEON A. PODOLAK and ASSOCIATES, L.L.C.	
SHEET 1 OF 12	SURVEYING and CIVIL ENGINEERING 147 East Main St. (P.O. Box 286) Westminster, Maryland 21157 (410) 848-2229 - (410) 876-1228
Date: 5-11-11	Revision: COUNTY COMMENTS
Date: 6-15-11	Revision: SHA COMMENTS
Date: 7-12-11	Revision: COUNTY COMMENTS
Date: 7-20-11	Revision: COUNTY COMMENTS
Date: 12-2-13	Revision: AS-BUILT INFORMATION
Date: Feb. 11, 2011	Scale: 1"=40'
Date: 12-18-11	Drawing No. SDP-11-037

**OWNER / DEVELOPER**  
S & W MANAGEMENT, INC, a Kansas Corporation  
7070 OAKLAND MILLS ROAD  
COLUMBIA, MARYLAND 21046  
PHONE: (410) 720-6336

**APPROVED: DEPARTMENT OF PLANNING AND ZONING**

*John J. ...* JR. Date: 1/10/12  
Chief, Development Engineering Division

*Kat ...* Date: 1/12/12  
Chief, Division of Land Development

*Thomas ...* Date: 1/12/12  
Director

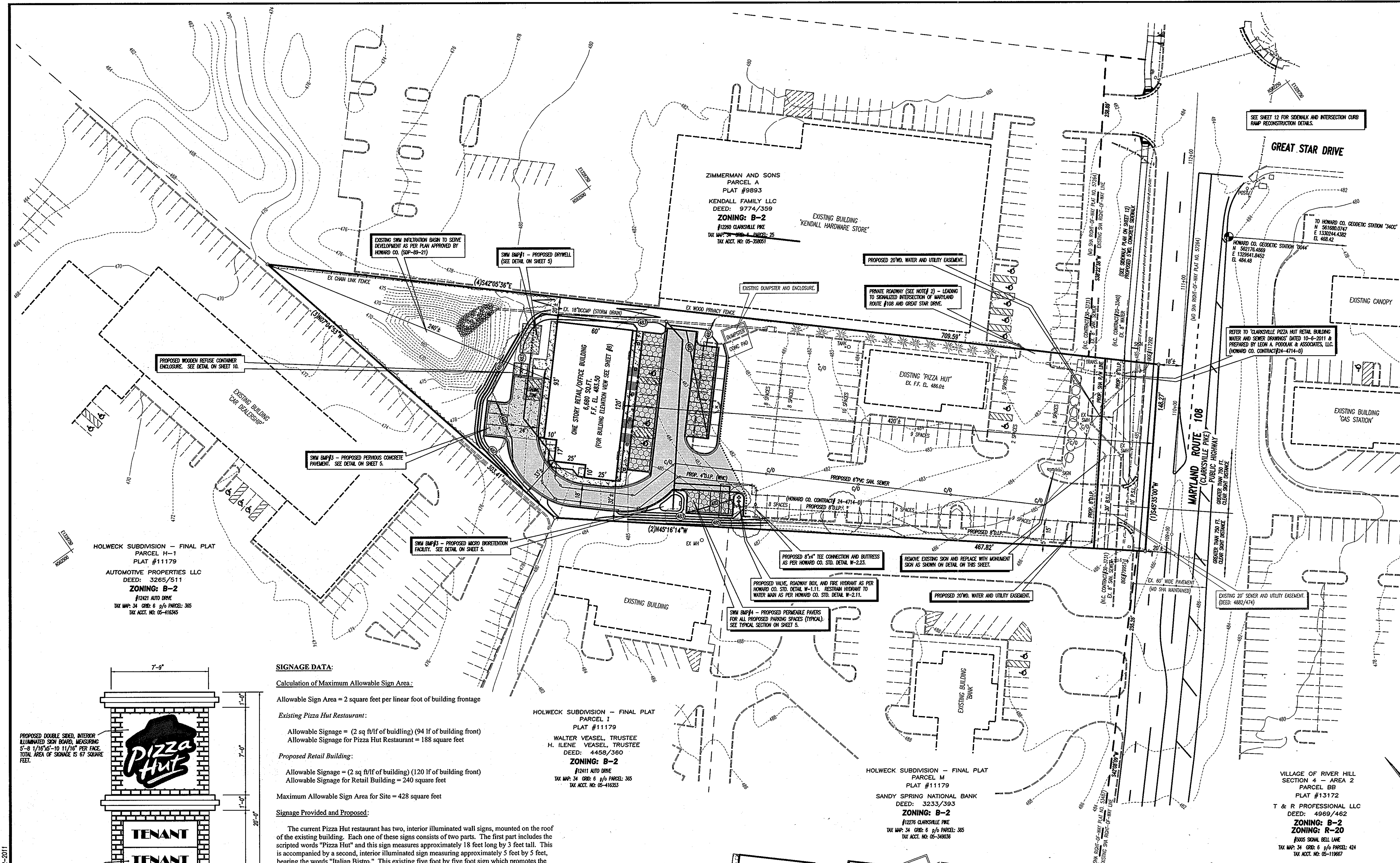
**SYMBOLS LEGEND**

- INDICATES EXISTING CONCRETE CURB AND GUTTER
- M.B.L. INDICATES MINIMUM BUILDING SETBACK LINE
- [Pattern] INDICATES PROPOSED BITUMINOUS CONCRETE PAVEMENT
- [Pattern] INDICATES PROPOSED PERMEABLE PAVEMENT (SEE DETAIL ON SHEET 5)
- [Pattern] INDICATES PROPOSED CONCRETE SIDEWALK & SURFACE AS PER HOWARD CO. DETAIL R-3.05
- [Pattern] INDICATES PROPOSED POROUS CONCRETE SURFACE (SEE DETAIL ON SHEET 5)
- [Pattern] INDICATES PROPOSED PARALLEL SIDEWALK RAMP (SEE DETAIL ON SHEET 3)
- SMH INDICATES PROPOSED SANITARY SEWER MANHOLE
- [Symbol] INDICATES PROPOSED SEWER CONNECTION LINE (SEE SITE GRADING DETAIL ON SHEET 3)
- INDICATES EXISTING GROUND CONTOUR LINE
- [Symbol] INDICATES STORM WATER MANAGEMENT DRYWELL (HOWARD CO. DETAIL D-9.01)
- [Symbol] INDICATES PROPOSED TOP OF CURB ELEVATION
- [Symbol] INDICATES PROPOSED CLEANOUT ASSEMBLY AS PER HOWARD COUNTY DETAIL S-3.21
- 30' B.S.L. INDICATES 30 FT. MINIMUM BUILDING SETBACK LINE
- 10' P.S.L. INDICATES 10 FT. MINIMUM PARKING SETBACK LINE
- [Symbol] INDICATES APPROXIMATE LOCATIONS UNDERGROUND UTILITIES  
E- ELECTRIC G- GAS P-PHONE (FIELD MARKED AND LOCATED 9-2-2011)

VILLAGE OF RIVER HILL  
SECTION 4 - AREA 2  
PARCEL C  
PLAT #13172  
RIVER HILL VILLAGE CENTER LTD PARTNERSHIP  
DEED: 3885/295  
ZONING: R-20  
SEWAL BELL LINE  
TAX MAP: 34 ORER: 6 1/6 PARCEL: 424  
TAX ACCT. NO: 05-118659

**General Notes:**

- 1) The property is subject to the restrictions, terms and conditions set forth in a Maintenance Agreement for a Private Stormwater Management Facility, dated May 22, 1991 and recorded among the Land Records of Howard County in Liber 2348, Folio 422.
- 2) Access is provided to the signalized intersection of Maryland Route #108 and Great Star Drive via a parking lot connection with the Parcel A, as shown on a Plat entitled "ZIMMERMAN & SONS' PARCEL A (A Resubdivision of J. Jerome Blaney Property, Lots 1 & 2 and Parcel 25, Tracts 1 & 2)," as recorded among the Land Records of Howard County as Plat No. 9893. Said access was created in accordance with the requirements, terms and conditions set forth by approved Site Development Plans SDP-89-21 and SDP-90-220.
- 3) The property is subject to the terms and conditions set forth in a Deed of Easement granted to Howard County Maryland, a body corporate and politic, for the construction, maintenance and repair of a sanitary sewer. Said easement is recorded among the Land Records of Howard County in Liber 4882, Folio 474 and is depicted hereon.
- 4) Access to the rear of the proposed Retail/Office building has been designed for tractor trailer deliveries. A tractor trailer entering the subject property will access the site and make a right hand turn into the parking access aisle in front of the proposed building pulling the cab up to the end of the curb adjoining the Kendall Hardware Store property. He will then back into the driveway along the south side of the building and make the turn so that the trailer is parallel to the rear of the building. The access drives have been designed to accommodate the turning movements of a 53' tractor trailer. See truck turning movements sketch on this sheet.
- 5) A Knox Box shall be placed to the right of each front building entrance at a height of 4 to 5 feet. The box shall be electronically supervised and integrated with the fire alarm system, in accordance with NFPS-1 10.12.1, to notify the owner that the building is being accessed. See Architectural plans for details.



**SIGNAGE DATA:**

**Calculation of Maximum Allowable Sign Area:**  
 Allowable Sign Area = 2 square feet per linear foot of building frontage

**Existing Pizza Hut Restaurant:**  
 Allowable Signage = (2 sq ft/lf of building) (94 lf of building front)  
 Allowable Signage for Pizza Hut Restaurant = 188 square feet

**Proposed Retail Building:**  
 Allowable Signage = (2 sq ft/lf of building) (120 lf of building front)  
 Allowable Signage for Retail Building = 240 square feet

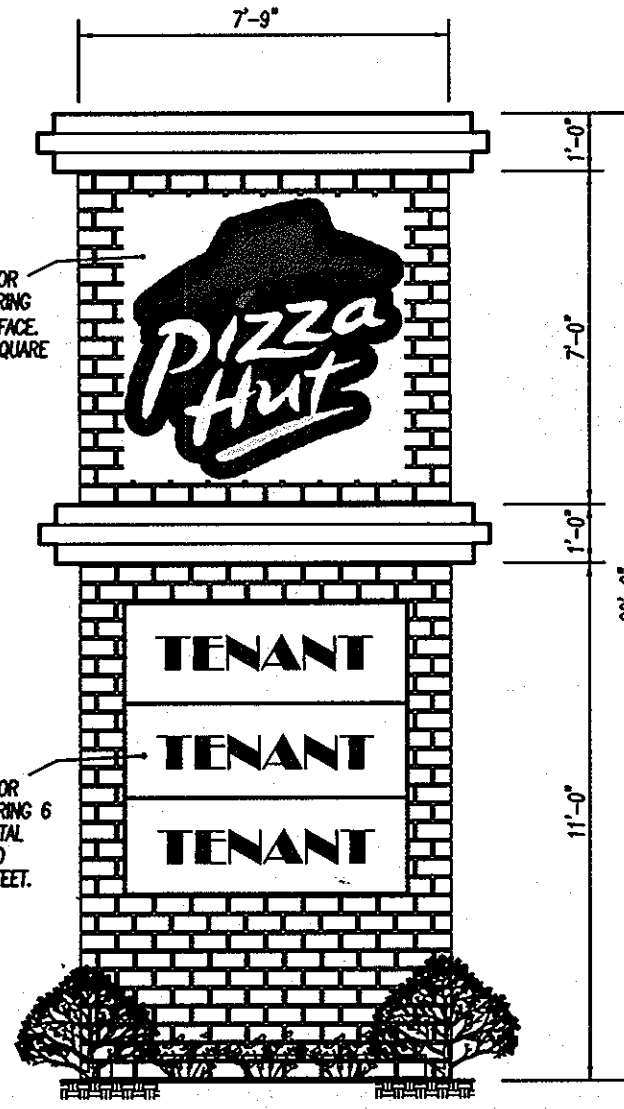
**Maximum Allowable Sign Area for Site = 428 square feet**

**Signage Provided and Proposed:**

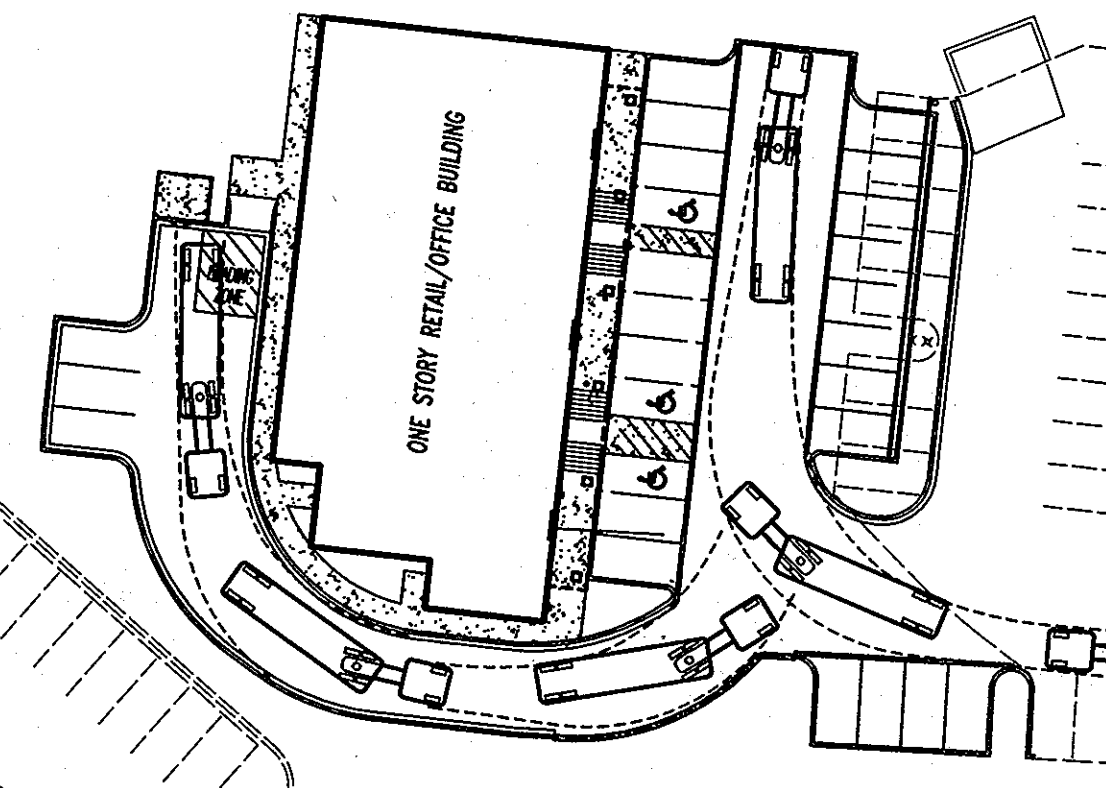
The current Pizza Hut restaurant has two, interior illuminated wall signs, mounted on the roof of the existing building. Each one of these signs consists of two parts. The first part includes the scripted words "Pizza Hut" and this sign measures approximately 18 feet long by 3 feet tall. This is accompanied by a second, interior illuminated sign measuring approximately 5 feet by 5 feet, bearing the words "Italian Bistro." This existing five foot by five foot sign which promotes the Italian Bistro will be removed. This will bring the total sign area for building mounted signage for the existing restaurant to approximately 108 square feet.

The Pizza Hut restaurant currently has a double, sided, interior illuminated, monument sign, with a sign board area of 75 square feet per side, in the location depicted on the Site Development Plan. This sign shall be removed and replaced with the monument sign that bears the Pizza Hut Logo plus the three tenants which will occupy the proposed Retail Building. The Pizza Hut logo on this monument sign measures approximately 33.5 square feet. Therefore, the total signage for the existing Pizza Hut restaurant, including building mounted and free-standing signage, will be 175 square feet.

The proposed sign board for the three Retail Building tenants shall measure approximately 36 square feet per face. In addition to this signage, there will be three, single sided rooftop mounted signs, each interiorly illuminated and measuring up to 3.5 feet by 15 feet. This will bring the total area of signage for the proposed Retail Building to approximately 230 square feet. For detail of rooftop mounted signage, refer to Building Elevation View on Sheet #8.



**MONUMENT SITE SIGN DETAIL**  
NOT TO SCALE



**TRUCK TURNING MOVEMENTS**  
SCALE: 1"=40'

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.

*Peter L. Podolak*  
 PETER L. PODOLAK, REG. NO. 19561  
 STATE OF MARYLAND PROFESSIONAL ENGINEER  
 DATE: 1-11-14



**'AS-BUILT' SITE OVERVIEW**

**OWNER / DEVELOPER**  
 S & W MANAGEMENT, INC. a Kansas Corporation  
 7070 OAKLAND MILLS ROAD  
 COLUMBIA, MARYLAND 21046  
 PHONE: (410) 720-6336

CURRENT TITLE REFERENCE: PIZZA HUT OF MARYLAND, INC. DEED: 1608/215 2.2139 ACS.±  
 5TH ELECTION DISTRICT  
 #12268 CLARKSVILLE PIKE - ZONED: B-2 TAX MAP: 34 BLOCK: 6 PARCEL: 27 ACCT. NO.: 05-355656

**LEON A. PODOLAK and ASSOCIATES, L.L.C.**

**SURVEYING and CIVIL ENGINEERING**  
 147 East Main St. (P.O. Box 269) Westminster, Maryland 21157  
 (410) 948-2229 - (410) 876-1226

*Peter L. Podolak*  
 Peter L. Podolak, P.E.  
 Date: 12-18-11

I hereby certify that these documents were prepared or approved by me, and I am a duly licensed professional engineer under the laws of the State of Maryland, license no. 19561, expiration date: 3-3-2012.

Date	Revision
5-11-11	SHA COMMENTS
6-15-11	SHA COMMENTS
7-12-11	COUNTY COMMENTS
7-20-11	COUNTY COMMENTS
12-2-13	AS-BUILT INFORMATION

Date: Feb. 11, 2011  
 Scale: 1"=40'  
 Drawing No. \_\_\_\_\_

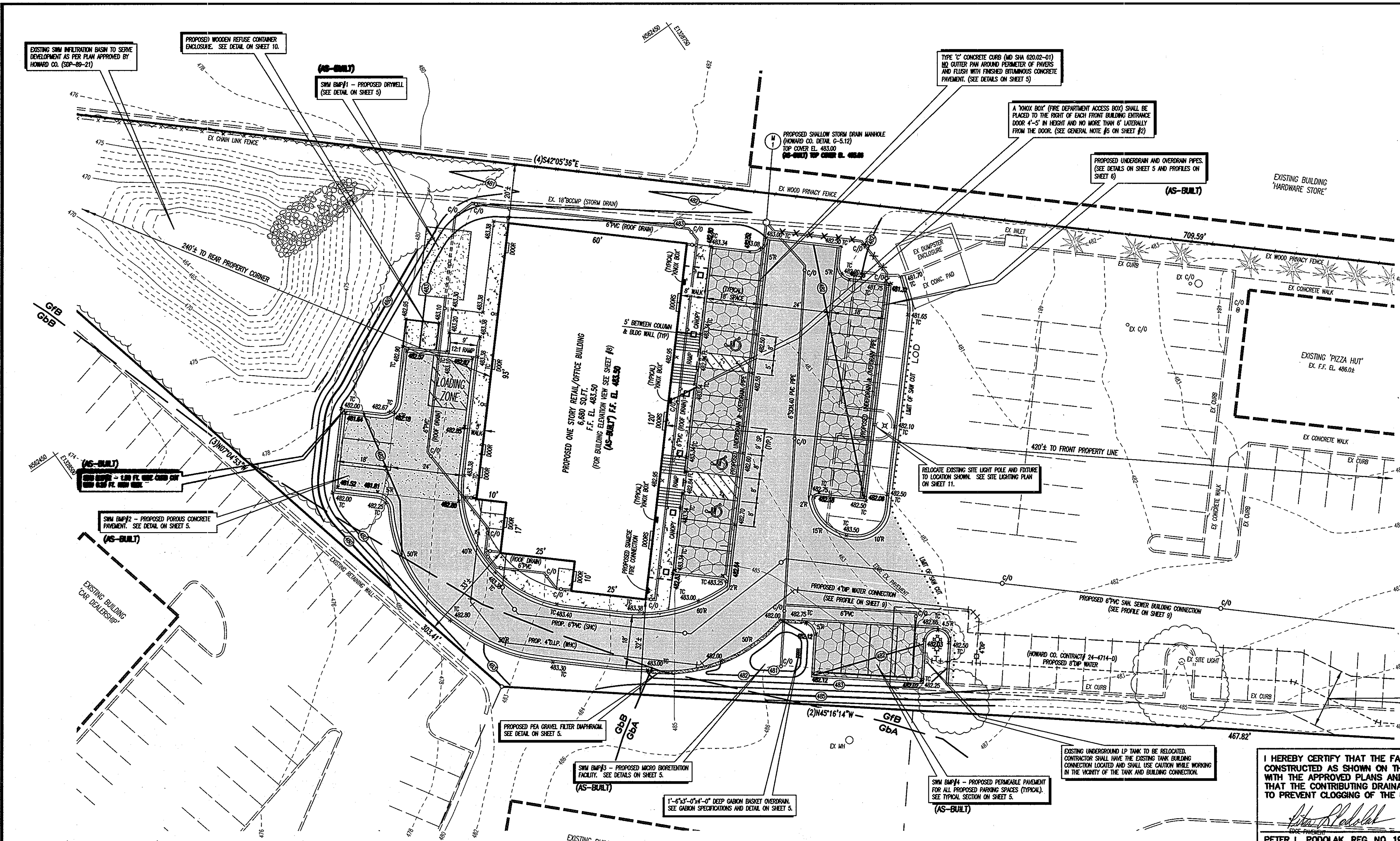
**APPROVED: DEPARTMENT OF PLANNING AND ZONING**

*John J. ...*  
 Chief, Development Engineering Division  
 Date: 1/10/12

*Kurt ...*  
 Chief, Division of Land Development  
 Date: 1/12/12

*Thomas ...*  
 Director  
 Date: 1/12/12

I:\Server\CAD Drawings\Pizza Hut - #12268 Clarksville PIKE SITE PLAN\FINAL PLANS 2.dwg 10-12-2011



**TEMPORARY SEEDING NOTES**

Scope: Planting short term (no more than 1 year) vegetation to temporarily stabilize any areas where soil disturbance has occurred, until the area can be permanently stabilized with vegetative or non-vegetative practices.

Standards: The following notes shall conform to the "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL" Published jointly by the Maryland Department of Environment - Water Management Administration, the National Resource Conservation Service, and the State Soil Conservation Committee.

The seed bed shall be prepared by loosening the soil to a depth of 3 to 5 inches and incorporating the lime and fertilizer into this loosened layer of soil. See G-20 Sec. 1-C.

Fertilizer shall consist of a mixture of 10-10-10 and be applied at a rate of 600 lb. per acre (15lb per 1,000 sq.ft.) and will meet the requirements in G-20 Sec. 1-B.

Lime shall be applied at a rate of 2 tons per acre (100 lb. per 1000 sq.ft.) and shall meet the requirements in G-20 Sec. 1-B.

Seed tags shall be made available to the inspector to verify the type and rate of seed used. The seed must meet the requirements in G-20 Sec. 1-C.

Mulching will be applied immediately after seeding and will need to meet the requirements in G-20 Sec. 1-F, G, & H.

Seeding mixtures shall be selected from or will be equal to those on Table 26.

**Temporary Seeding Summary**

Seed Mixture Hardiness Zone 6b (G-20 Figure 5)

No.	Application Species	Seeding Rate (lb/ac)	Seeding Dates	Seeding Depths
2	Barley or Rye plus Foxtail Millet	150	2-1 to 11-30	1"

**PERMANENT SEEDING NOTES**

Scope: Planting permanent, long lived vegetative cover on graded and/or cleared areas and areas that have been in temporary vegetation for more than 1 year.

Standards: The following notes shall conform to the "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL" Published jointly by the Maryland Department of Environment - Water Management Administration, the National Resource Conservation Service, and the State Soil Conservation Committee.

The seed bed shall be prepared by loosening the soil to a depth of 3 to 5 inches and incorporating the lime and fertilizer into this loosened layer of soil. See G-20 Sec. 1-C.

For sites over 5 ac. soil tests will be performed to determine the exact mixture and application rates for both lime and fertilizer. Soils tests will be prepared by the University of Maryland or a recognized commercial laboratory. If the existing soil does not meet the minimum conditions as stated in G-20 Sec. 1-C-i, then topsoil will need to be obtained that meets these conditions and applied so as to meet the requirements in G-21.

For sites of 5 ac. or less of disturbance, the following fertilizer and lime rates shall apply.

Fertilizer shall consist of a mixture of 10-20-20 and be applied at the following rates:

N=90 lb. per acre (2 lb. per 1000 sq.ft.)  
 P205= 175 lb. per acre (4 lb. per 1000 sq.ft.)  
 K20= 175 lb. per acre (4 lb. per 1000 sq.ft.)

Fertilizer shall meet the requirements in G-20 Sec. 1-B.

Lime shall be applied at a rate of 2 tons per acre (100 lb. per 1000 sq.ft.) and shall meet the requirements in G-20 Sec. 1-B.

Seed tags shall be made available to the inspector to verify the type and rate of seed used. The seed must meet the requirements in G-20 Sec. 1-C.

Mulching will be applied immediately after seeding and will need to meet the requirements in G-20 Sec. 1-F, G, & H.

Refer to G-20 Sec. 1-E for Methods of Seeding specifications.

Refer to G-20 Sec. 4 for Sod specifications.

Refer to G-20 Sec. 5 for Turfgrass Establishment specifications.

Seeding mixtures shall be selected from or will be equal to those on Table 25.

**Permanent Seeding Summary**

Fertilizer mixture and application rates

N 90 lb/acre P205 175 lb/acre K20 175 lb/acre  
 Lime application rate 2 tons/acre (100lb per 1000 sq. ft.)  
 Seed Mixture Hardiness Zone 6b (G-20 Figure 5)

No.	Application Species	Seeding Rate (lb/ac)	Seeding Dates	Seeding Depths
3	Tall Fescue (85%) Permanent Ryegrass (10%) Kentucky Bluegrass (5%)	125	3-1 to 5-15	1"
		15	8-15 to 11-15	1"
		10		1"

**SYMBOLS LEGEND**

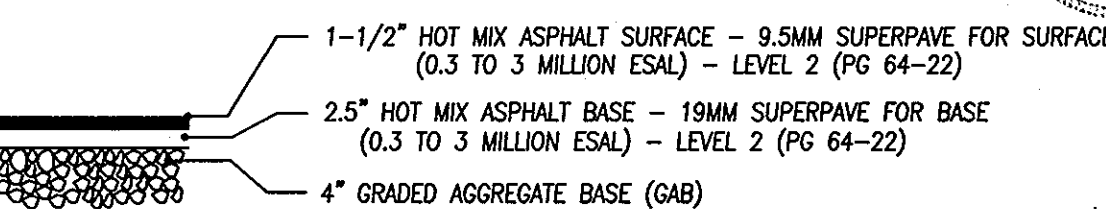
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- M.B.L. INDICATES MINIMUM BUILDING SETBACK LINE
- [Pattern] INDICATES PROPOSED BITUMINOUS CONCRETE PAVEMENT (SEE DETAIL ON THIS SHEET)
- [Pattern] INDICATES PROPOSED PERMEABLE PAVEMENT (SEE DETAIL ON SHEET 5) (AS-BUILT)
- [Pattern] INDICATES PROPOSED CONCRETE SIDEWALK & SURFACE AS PER HOWARD CO. DETAIL R-305
- [Pattern] INDICATES PROPOSED PERVIOUS CONCRETE SURFACE (AS-BUILT)
- [Symbol] INDICATES PROPOSED PARALLEL SIDEWALK RAMP (SEE DETAIL ON THIS SHEET)
- SMH INDICATES PROPOSED SANITARY SEWER MANHOLE
- [Symbol] INDICATES PROPOSED GRADING CONTOUR LINE
- [Symbol] INDICATES PROPOSED SPOT GRADE ELEVATION
- [Symbol] INDICATES EXISTING GROUND CONTOUR LINE
- [Symbol] INDICATES STORM WATER MANAGEMENT DRYWELL (HOWARD CO. DETAIL D-9.01) (AS-BUILT)
- [Symbol] INDICATES PROPOSED TOP OF CURB ELEVATION
- [Symbol] INDICATES PROPOSED CLEANOUT AS PER HOWARD COUNTY DETAIL S-3.21
- [Symbol] INDICATES PROPOSED KNOX BOX (SEE GENERAL NOTE #5 ON SHEET 2)

I HEREBY CERTIFY THAT THE FACILITIES SHOWN ON THE PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.

*Peter L. Podolak*  
 PETER L. PODOLAK, REG. NO. 19561  
 STATE OF MARYLAND PROFESSIONAL ENGINEER  
 DATE: 1-11-14

**PLAN VIEW**

SCALE: 1"=20'



**TYPICAL PAVING SECTION**

NOT TO SCALE

- CONCRETE GENERAL NOTES AND SPECIFICATIONS**
- CONCRETE SHALL CONFORM TO MARYLAND STATE HIGHWAY ADMINISTRATION MIX NO. 4 AND SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI. CONCRETE SHALL MEET MINIMUM REQUIREMENTS SET FORTH IN SIA SPECIFICATIONS, SECTION 916 (PORTLAND CEMENT CONCRETE MIXTURES), FOR MIX NO. 3(A-1) OR 2(B-1) CONCRETE AND SECTION 911 FOR REINFORCEMENT. CONCRETE CONSTRUCTION SHALL CONFORM TO SIA SPECIFICATIONS, SECTION 608 AND SECTION 905.
  - REINFORCING STEEL SHALL HAVE A MINIMUM YIELD STRENGTH OF 60,000 PSI.
  - SOIL FOR FOUNDATION OF STRUCTURE SHALL BE COMPACTED TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM DRY DENSITY OBTAINED IN COMPACTION TESTS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MASHTO DESIGNATION T-99 METHOD A.

**CONCRETE SPECIFICATIONS**

NOT TO SCALE  
 (SEE HOWARD CO. DETAIL R-305)

**'AS-BUILT' SITE GRADING DETAIL**

**OWNER / DEVELOPER**  
 S & W MANAGEMENT, INC. a Kansas Corporation  
 7070 OAKLAND MILLS ROAD  
 COLUMBIA, MARYLAND 21046  
 PHONE: (410) 720-6336

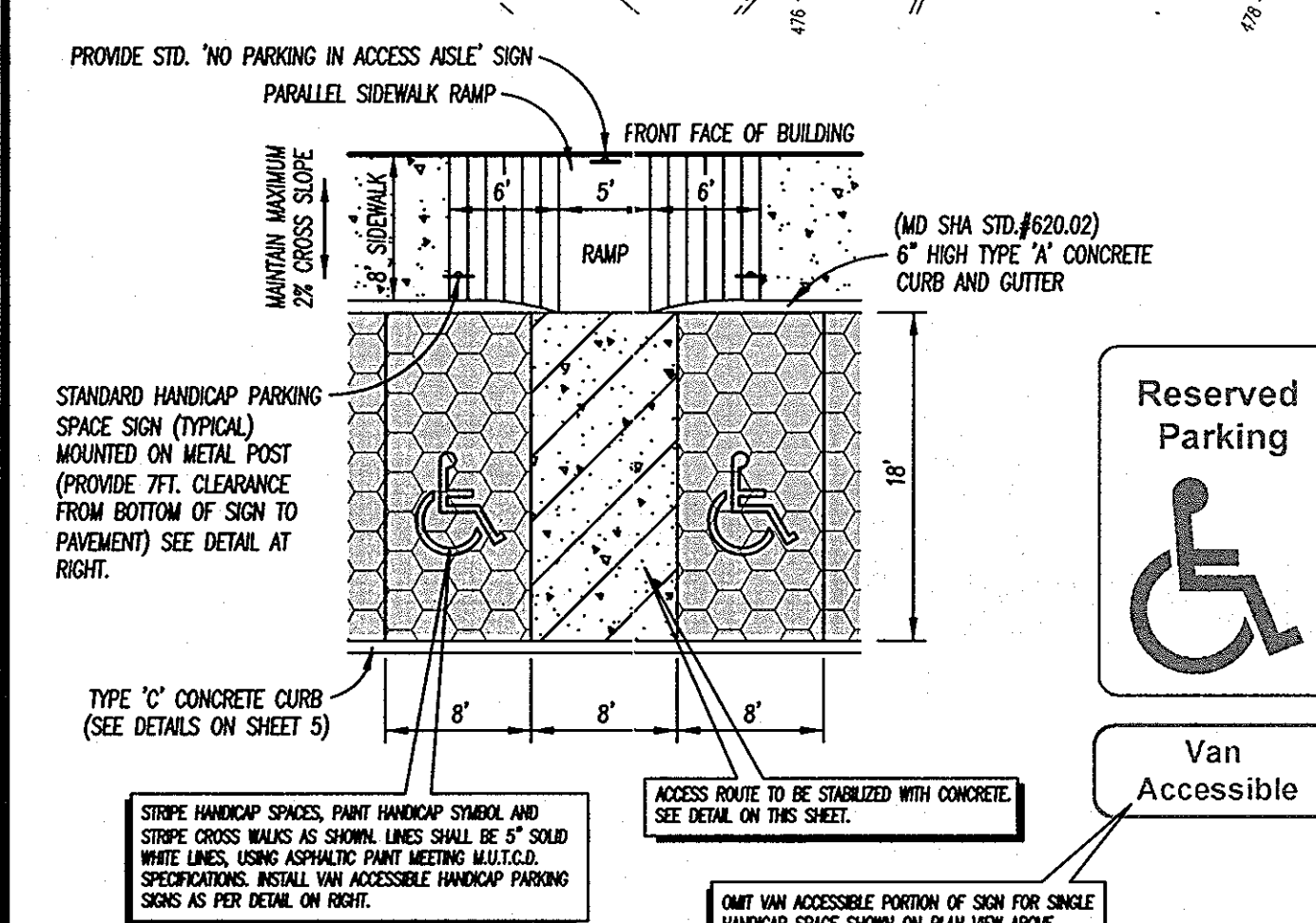
CURRENT TITLE REFERENCE: PIZZA HUT OF MARYLAND, INC. DEED: 1608/215 2.2139 ACS.±  
 5TH ELECTION DISTRICT  
 #12268 CLARKSVILLE PIKE -- ZONED: B-2 TAX MAP: 34 BLOCK: 6 PARCEL: 27 ACCT. NO.: 05-355656

**LEON A. PODOLAK AND ASSOCIATES, L.L.C.**

**SURVEYING and CIVIL ENGINEERING**  
 147 East Main St. (P.O. Box 286) Westminster, Maryland 21157  
 (410) 848-2229 - (410) 876-1226

Date: 12-18-11  
 Peter L. Podolak, P.E.  
 I hereby certify that these documents were prepared or approved by me, and I am a duly licensed professional engineer under the laws of the State of Maryland, license no. 19561, expiration date: 3-3-2012.

Date: Feb. 11, 2011  
 Scale: 1"=20'  
 Drawing No.:



**HANDICAP PARKING SPACE DETAIL**

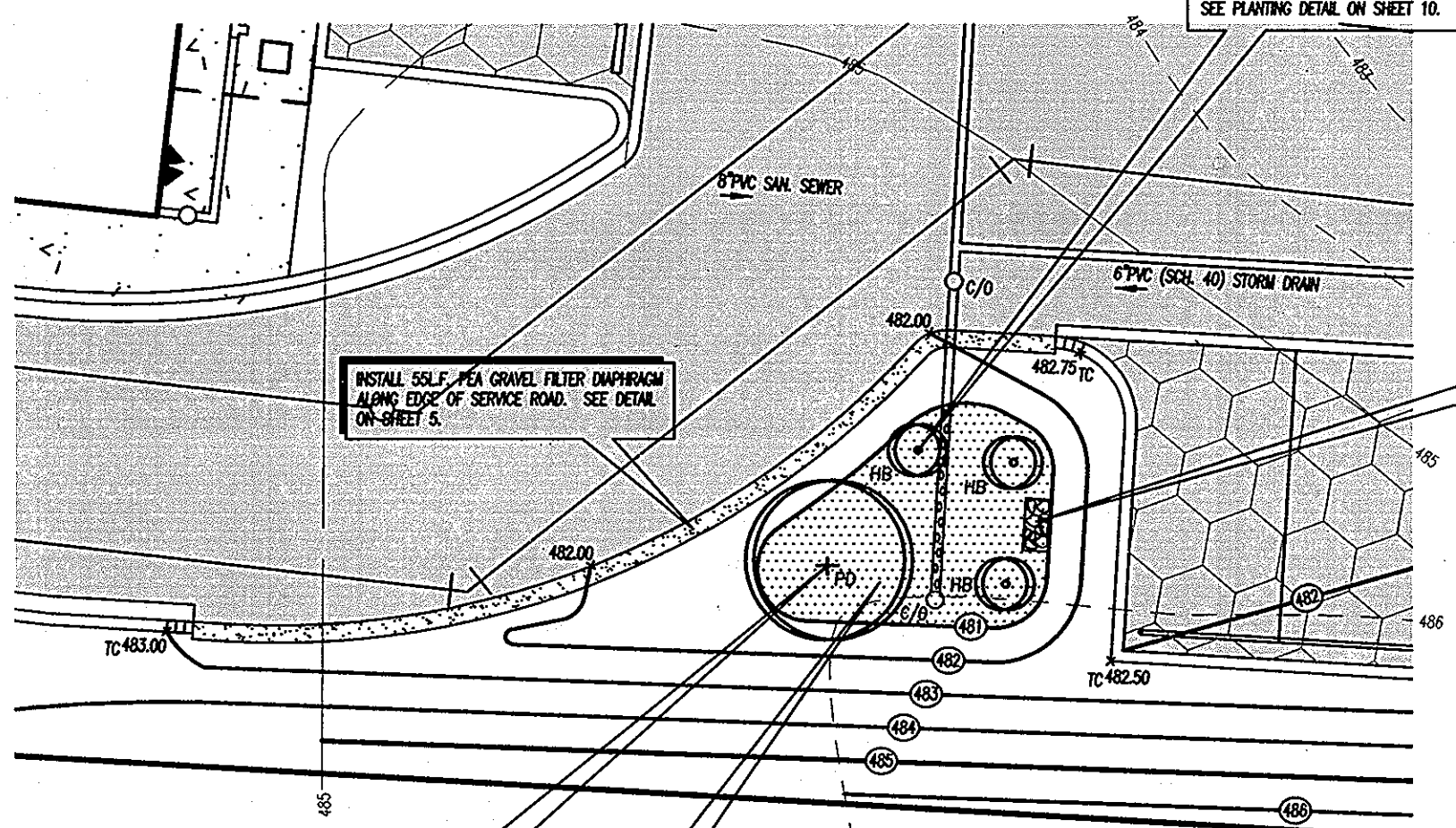
SCALE: 1" = 10'

**APPROVED: DEPARTMENT OF PLANNING AND ZONING**

Chief, Development Engineering Division: *[Signature]* Date: 1/10/12

Chief, Division of Land Development: *[Signature]* Date: 1/12/12

Director: *[Signature]* Date: 1/12/12

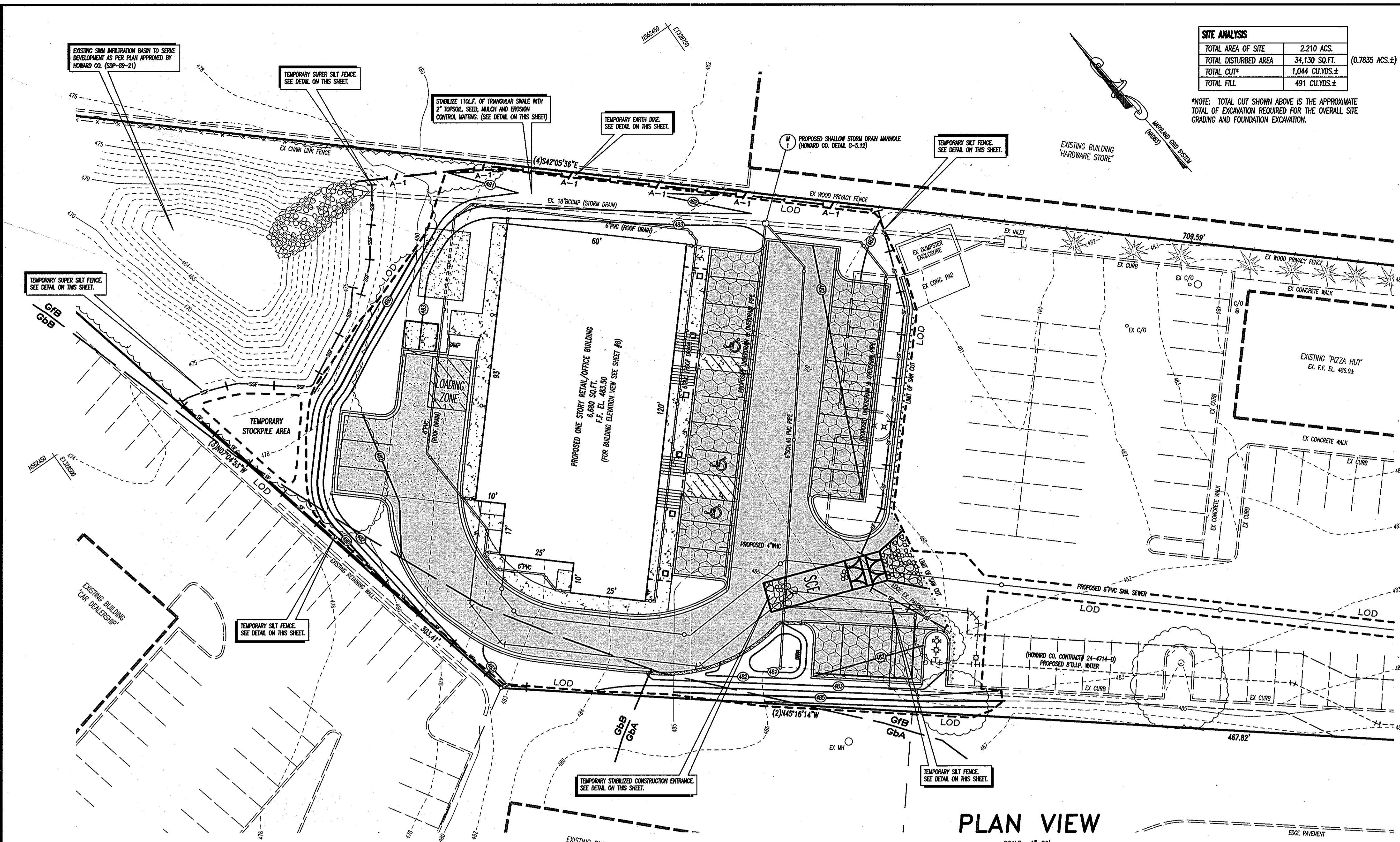


**MICRO BIORETENTION FACILITY PLAN VIEW DETAIL**

SCALE: 1"=10'

- PLANT (1) EASTERN COTTONWOOD, *populus deltoides*. SEE PLANTING DETAIL ON SHEET 10.
- PLANT (2) HIGHBUSH BLUEBERRY SHRUBS, *vaccinium corymbosum*. AT LOCATIONS SHOWN, SEE PLANTING DETAIL ON SHEET 10.
- PLANT (3) NEW YORK ASTER, *aster (symphylicolus) novae-boracae*, BUTTERFLYWEED *echinacea incarnata*, SWAMP MILKWEED, *asclepias incarnata*, WHITE SWALLOWTAIL, *papilio glaucus* (optional), PINKER GATS, *chaenactis hololepis* (optional), and yellow iris.
- INSTALL SOLID PEA GRAVEL FILTER DRAINAGE ALONG TOP OF SERVICE ROAD. SEE DETAIL ON SHEET 5.
- 1'-6" x 3'-0" x 1'-0" DEEP CARBON BASKET OVERFLOW. SEE GABON SPECIFICATIONS AND DETAIL ON SHEET 5.
- 1'-6" x 3'-0" x 1'-0" DEEP CARBON BASKET OVERFLOW. SEE GABON SPECIFICATIONS AND DETAIL ON SHEET 5.
- EXISTING UNDERGROUND UP TANK TO BE RELOCATED. CONTRACTOR SHALL HAVE THE EXISTING TANK BUILDING LOCATED AND SHALL USE CAUTION WHILE WORKING IN THE VICINITY OF THE TANK AND BUILDING CONNECTION.
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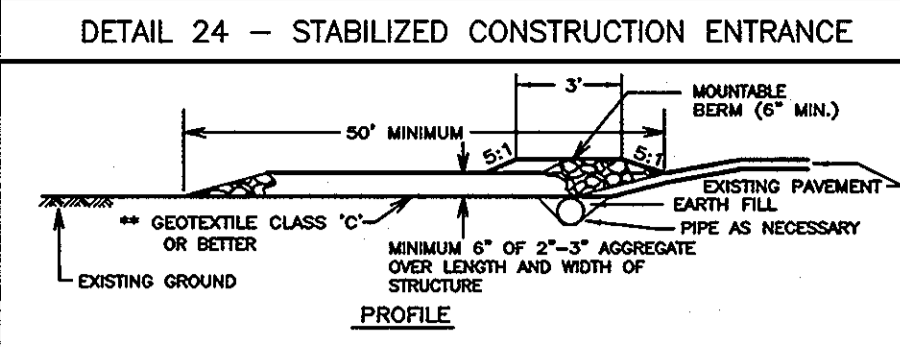
\S\Draw\CD\Drawings\Plan\AS-BUILT PLANS\AS-BUILT PLANS.dwg 10-12-2011



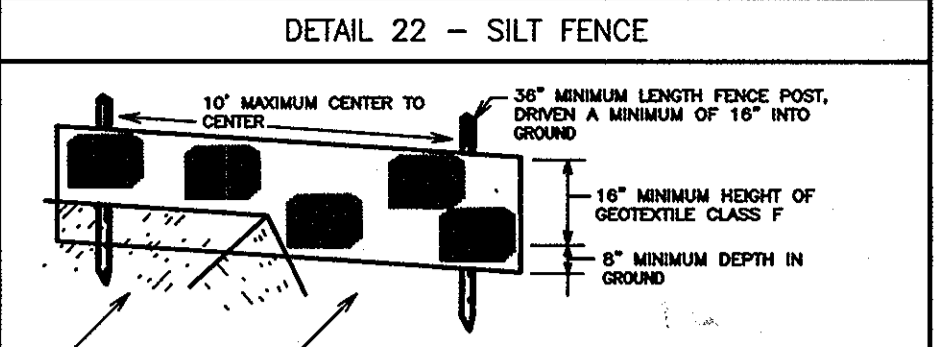
**SITE ANALYSIS**

TOTAL AREA OF SITE	2,210 ACS.
TOTAL DISTURBED AREA	34,130 SQ.FT. (0.7835 ACS.±)
TOTAL CUT*	1,044 CU.YDS.±
TOTAL FILL	491 CU.YDS.±

\*NOTE: TOTAL CUT SHOWN ABOVE IS THE APPROXIMATE TOTAL OF EXCAVATION REQUIRED FOR THE OVERALL SITE GRADING AND FOUNDATION EXCAVATION.

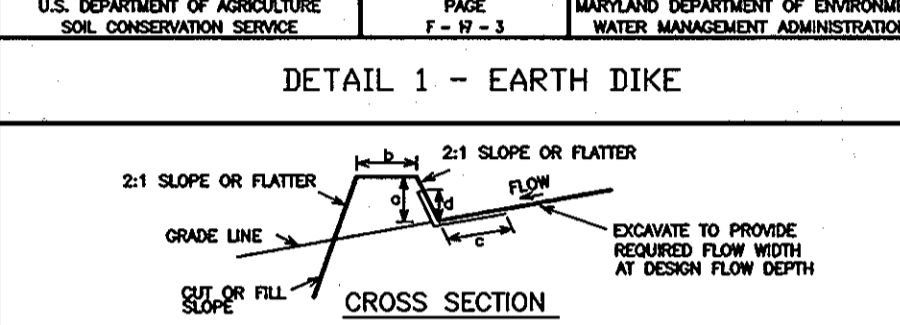


- Construction Specifications**
- Length - minimum of 50' (\*30' for single residence lot).
  - Width - 10' minimum, should be flared at the existing road to provide a turning radius.
  - Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. The plan approval authority may not require single family residences to use geotextile.
  - Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
  - Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mounded berm with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage, concrete pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
  - Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.



- Construction Specifications**
- Fence posts shall be a minimum of 3/8" long driven 16" minimum into the ground. Wood posts shall be 1 1/2" x 1 1/2" square (minimum) cut to 13/4" diameter (minimum) round and shall be of sound quality hardwood. Steel posts will be standard T or U section weighing not less than 1.00 pound per linear foot.
  - Geotextile shall be fastened securely to each fence post with wire ties or staples at top and mid-section and shall meet the following requirements for Geotextile Class F:
 

Tensile Strength	50 lb/in (min.)	Test: MSMT 509
Tensile Modulus	20 lb/in (min.)	Test: MSMT 509
Flow Rate	0.3 gal / minute (max.)	Test: MSMT 322
Filtering Efficiency	75% (min.)	Test: MSMT 322
  - Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.
  - Silt Fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reached 50% of the fabric height.



**Construction Specifications**

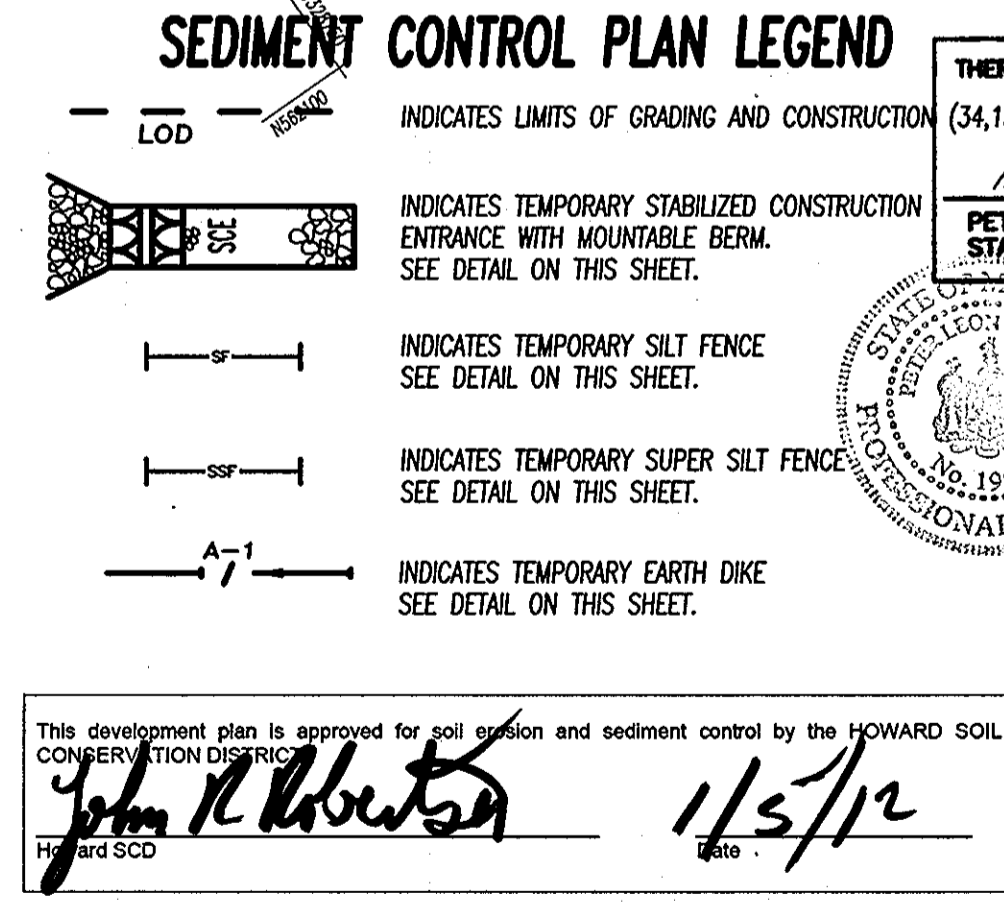
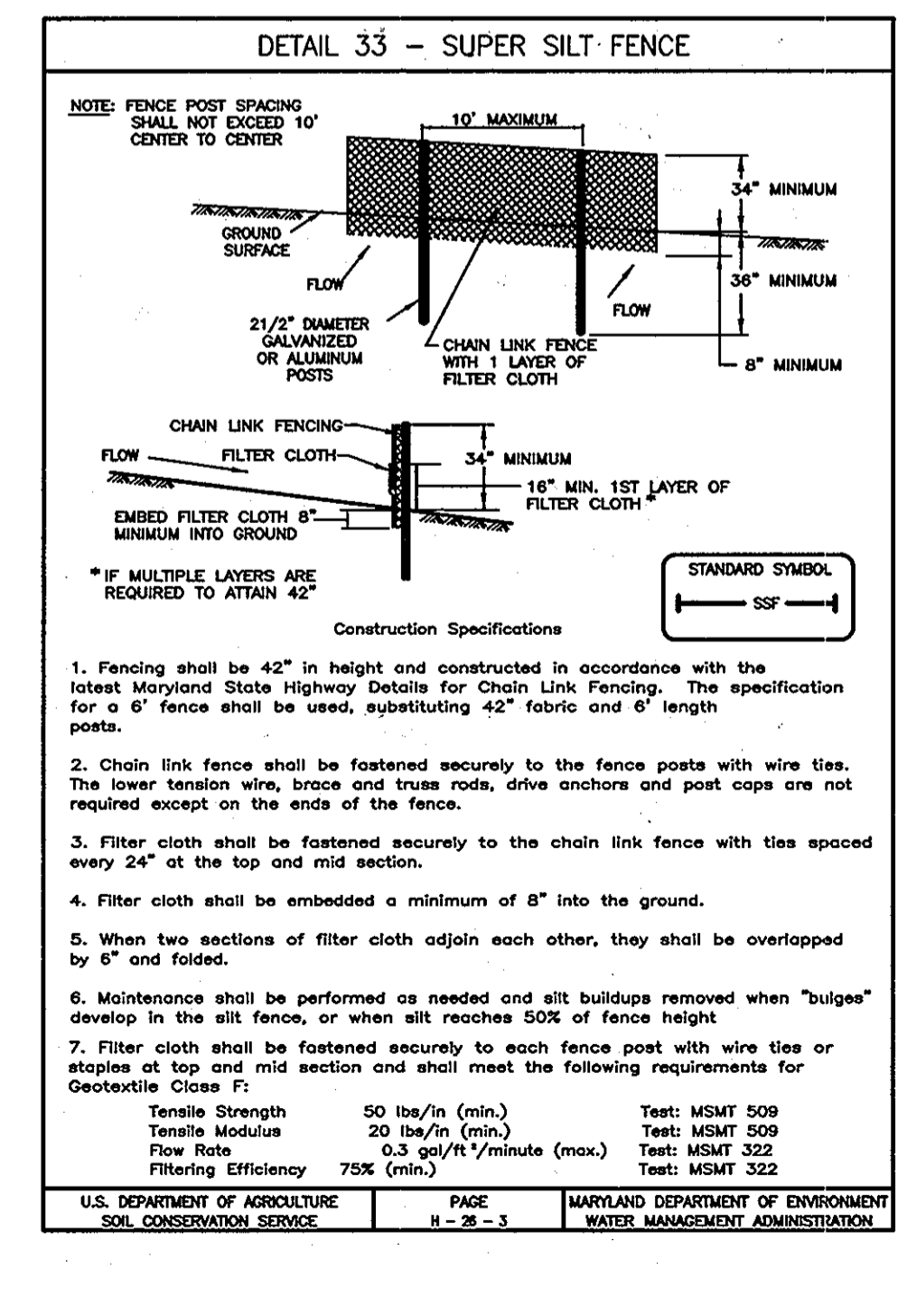
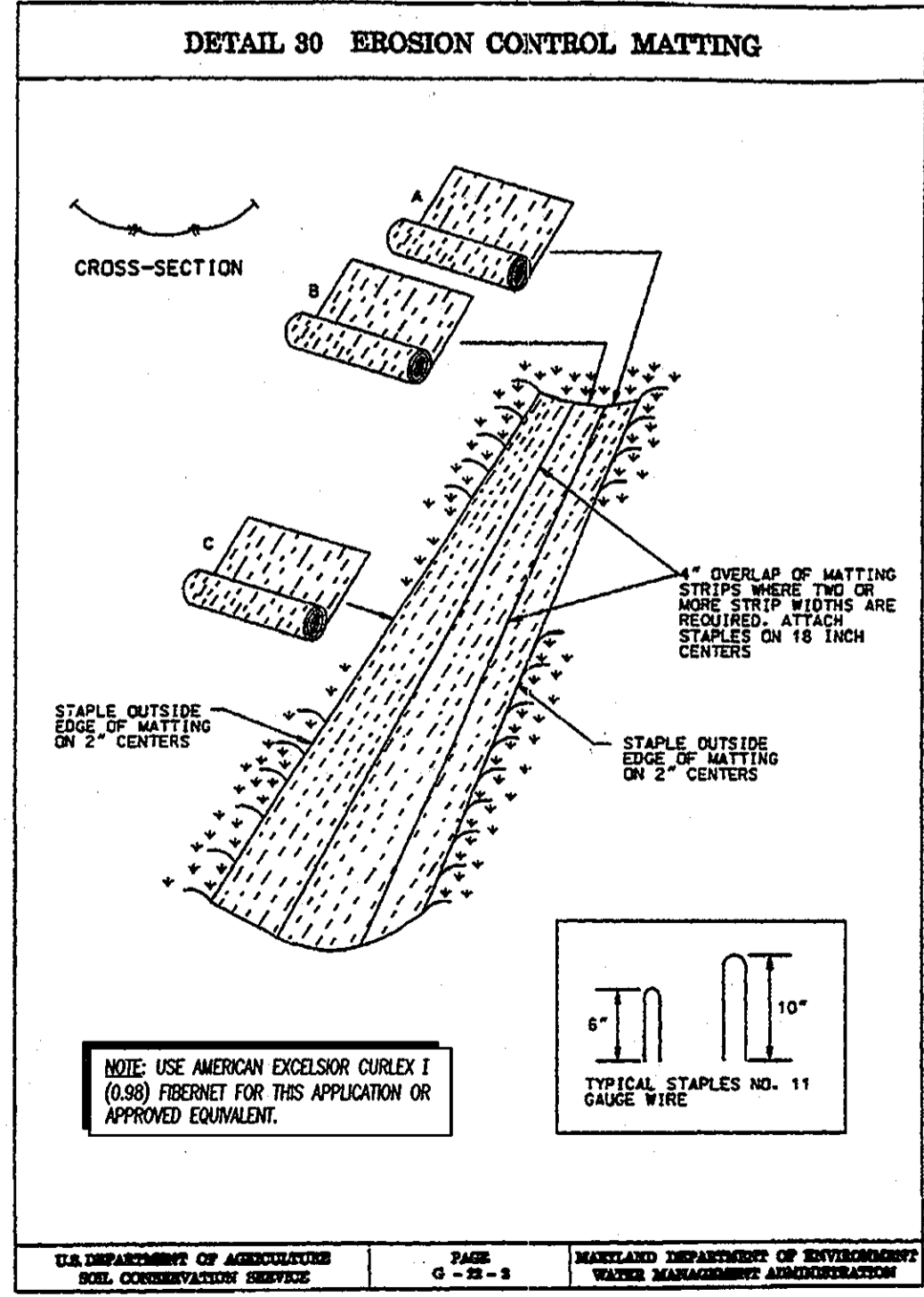
- Seed and cover with straw mulch.
- Seed and cover with Erosion Control Matting or silt with seed.
- 2" to 4" stone or recycled concrete equivalent pressed into the soil 7' minimum.

**Silt Fence Design Criteria**

Slope Steepness	(Medium)	
	Slope Length	Silt Fence Length
Flatter than 50:1	unlimited	unlimited
50:1 to 10:1	125 feet	1,000 feet
10:1 to 5:1	75 feet	750 feet
5:1 to 3:1	60 feet	500 feet
3:1 to 2:1	40 feet	250 feet
2:1 and steeper	20 feet	125 feet

Note: In areas of less than 2% slope and sandy soils (USDA general classification system, soil Class A) maximum slope length and silt fence length will be unlimited. In these areas a silt fence may be the only perimeter control required.

- REQUIRED SEQUENCE OF CONSTRUCTION**
- The contractor or developer shall contact the Construction Inspection Division 24 hours in advance of commencement of work at 410-313-1880. Also at this time contact the office of Leon A. Podolak and Associates at 410-876-1228 (Engineer) to arrange for inspection of the construction of the storm water management facilities. Work with the Maryland State Highway Right-of-Way will require a utility permit from the district office.
  - Clear and grub brush as necessary to install perimeter sediment control devices and topsoil stockpile. Install stabilized construction entrance, silt fence and straw bale dikes along the perimeter of the saw cut made into the existing pavement. Test pit for vertical and horizontal location of existing utilities, specifically for the storm drain pipe in the vicinity of proposed Storm Drain Manhole M-1; for the water main within the Right-of-Way of Maryland Rte. #108; and for the sanitary sewer.
  - Upon approval of the Sediment Control Inspector, strip topsoil, stockpile at the northwestern portion of the property, and stabilize in accordance with temporary seeding specifications. Grade site to lines and elevations shown on plan. Excess borrow material shall be hauled from the site and disposed of properly. All fill material shall be compacted in 8 inch layers and to a dry density of 95 percent, as measured by AASHTO Method T-99.
  - Extend water main and install fire hydrant and related appurtenances as depicted on the plan. Install tapping sleeve, valve and roadway box and install building water connection. Repair trench and pavement in accordance with specifications depicted on plans.
  - Install in-line manhole above existing sanitary sewer and install building sewer connection, including intermediate sanitary manhole. Repair trench and pavement in accordance with specifications depicted on plans.
  - Fine grade for building and install floor slab. Begin construction of building.
  - At this time, contact the office of Leon A. Podolak and Associates at 410-876-1228 (Engineer) to arrange for inspection of the construction of the storm water management facilities. Install Storm Drain Manhole M-1 and install all piping draining to this manhole, including underdrain from BioRetention Facility and piping connections for pervious concrete paved parking areas. Do not install perforated underdrains or overdrains for parking areas at this time.
  - Install roof drain piping and install concrete curbing. Excavate and install perforated underdrain for BioRetention Facility. Contact Engineer for 'As-Built' verification of the piping prior to proceeding further. Upon Engineer's approval, install and perforate cleanout assembly and attach cap as depicted on plan. Install stone jacket around pipe, gabion overdrain and sand layer above stone jacket. Backfill with approved planting media and compact lightly using plate compactors. Do not install plants or mulch in the BioRetention Facility at this time.
  - Excavate for Drywell and contact Engineer for 'As-Built' verification of trench. Install steel plate and PVC coupling for Observation Well and install this perforated pipe and as depicted on plan. Line walls of excavation with approved filter fabric, but do not place filter cloth on bottom of drywell. Install sand layer and upon approval of the Engineer, place and compact stone within the trench using a plate compactor. Fold filter cloth over top of trench, making sure there is a minimum 2 foot overlap between adjacent rolls. Backfill over drywell in 8 inch lifts and compact to a dry density of 95 percent, as measured by AASHTO Method T-99.
  - Excavate for pervious pavers in parking areas and contact Engineer for 'As-Built' verification of excavations. Upon engineer's approval, install sand layer and perforated underdrain. Install stone subbase and perforated overdrain piping and connect to piping leading to Manhole M-1. Install graded base and bedding course and place pervious concrete pavers in place.
  - Excavate for porous concrete pavement and contact engineer for 'As-Built' verification of excavation. Upon engineer's approval, install and compact said layer, stone subbase, graded base and bedding. Pour porous concrete in accordance with manufacturer's recommendations.
  - Install concrete sidewalk along Maryland Route #108 as depicted on plan. Contractor shall excavate for sidewalk and stockpile excavated material upgrade of the open excavation. Contractor to only construct that portion of the sidewalk which can be excavated, formed and poured within one working day. Excavated material to be placed and compacted once concrete has set and forms are removed. Stabilize disturbed areas immediately with seed and mulch as per permanent seeding specifications. Remove excess borrow material from site and dispose of properly.
  - Install stone base and bituminous concrete base course on all parking lot access aisles and that portion of the access road leading around the building which will not have a porous concrete surface. Install bituminous concrete surface course.
  - Fine grade all pervious areas and stabilize with 2 inches of topsoil, and seed in accordance with permanent seeding specifications. Landscaping in accordance with approved landscape plan and add mulch to BioRetention Area.
  - Upon approval of the Howard County Sediment Control Inspector, remove all temporary sediment control devices.



**APPROVED: DEPARTMENT OF PLANNING AND ZONING**

Chief, Development Engineering Division: *[Signature]* Date: *11/12/12*

Chief, Division of Land Development: *[Signature]* Date: *11/12/12*

Director: *[Signature]* Date: *11/12/12*

THERE IS NO 'AS-BUILT' INFORMATION PROVIDED ON THIS SHEET.

*[Signature]* 11/14/12 DATE

PETER PODOLAK, REG. NO. 10281  
STATE OF MARYLAND PROFESSIONAL ENGINEER

OWNER / DEVELOPER  
E & W MANAGEMENT, INC. a Kansas Corporation  
8707 OAKLAND MILLS ROAD  
COLUMBIA, MARYLAND 21046  
PHONE: (410) 720-6336

**EROSION and SEDIMENT CONTROL PLAN**

CURRENT TITLE REFERENCE: PIZZA HUT OF MARYLAND, INC. DEED: 1608/215 2.2139 ACS.±

5TH ELECTION DISTRICT  
TAX MAP: 34 BLOCK: 6 PARCEL: 27 ACCT. NO.: 05-355656

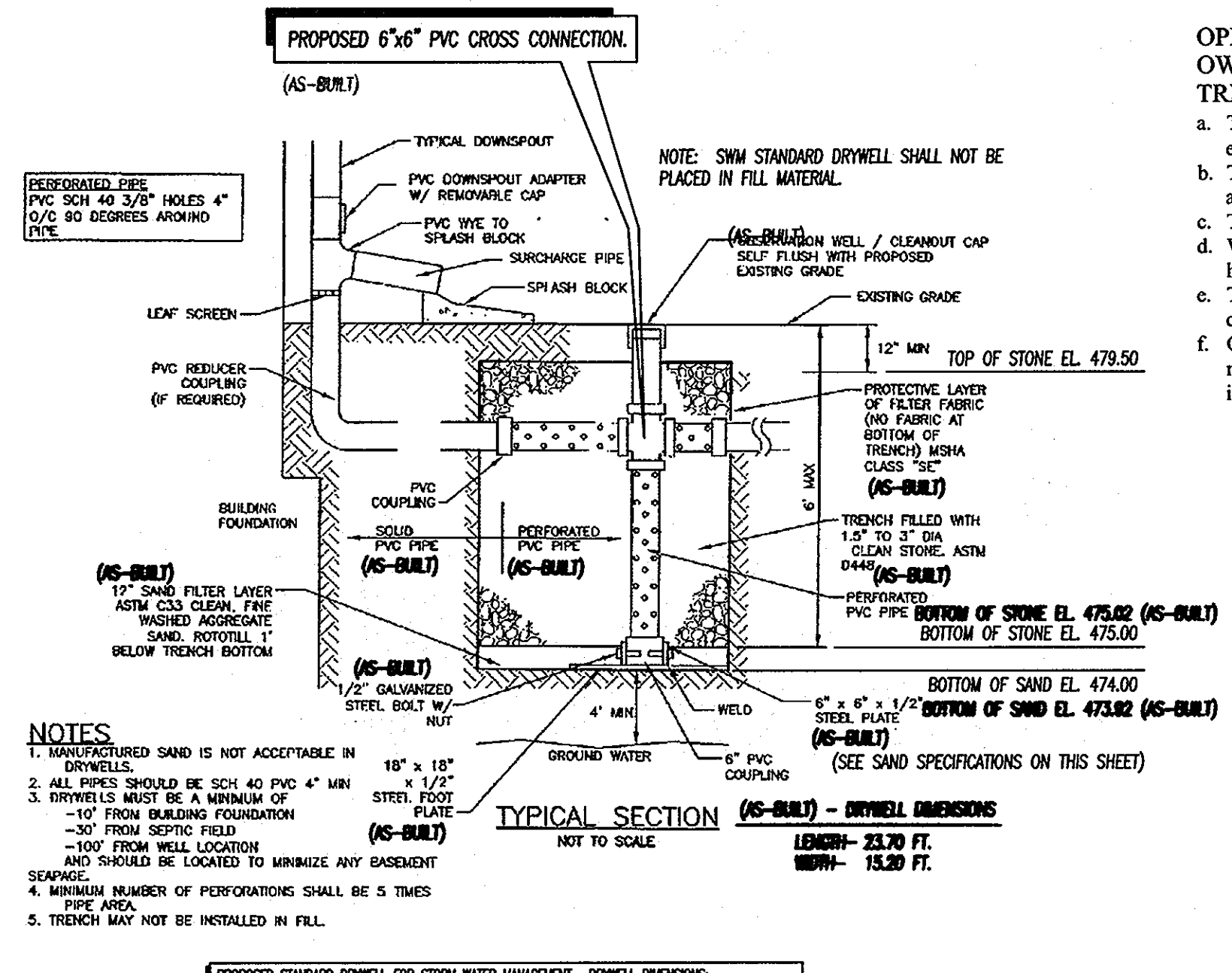
#12268 CLARKSVILLE PIKE - ZONED: B-2

**LEON A. PODOLAK and ASSOCIATES, L.L.C.**

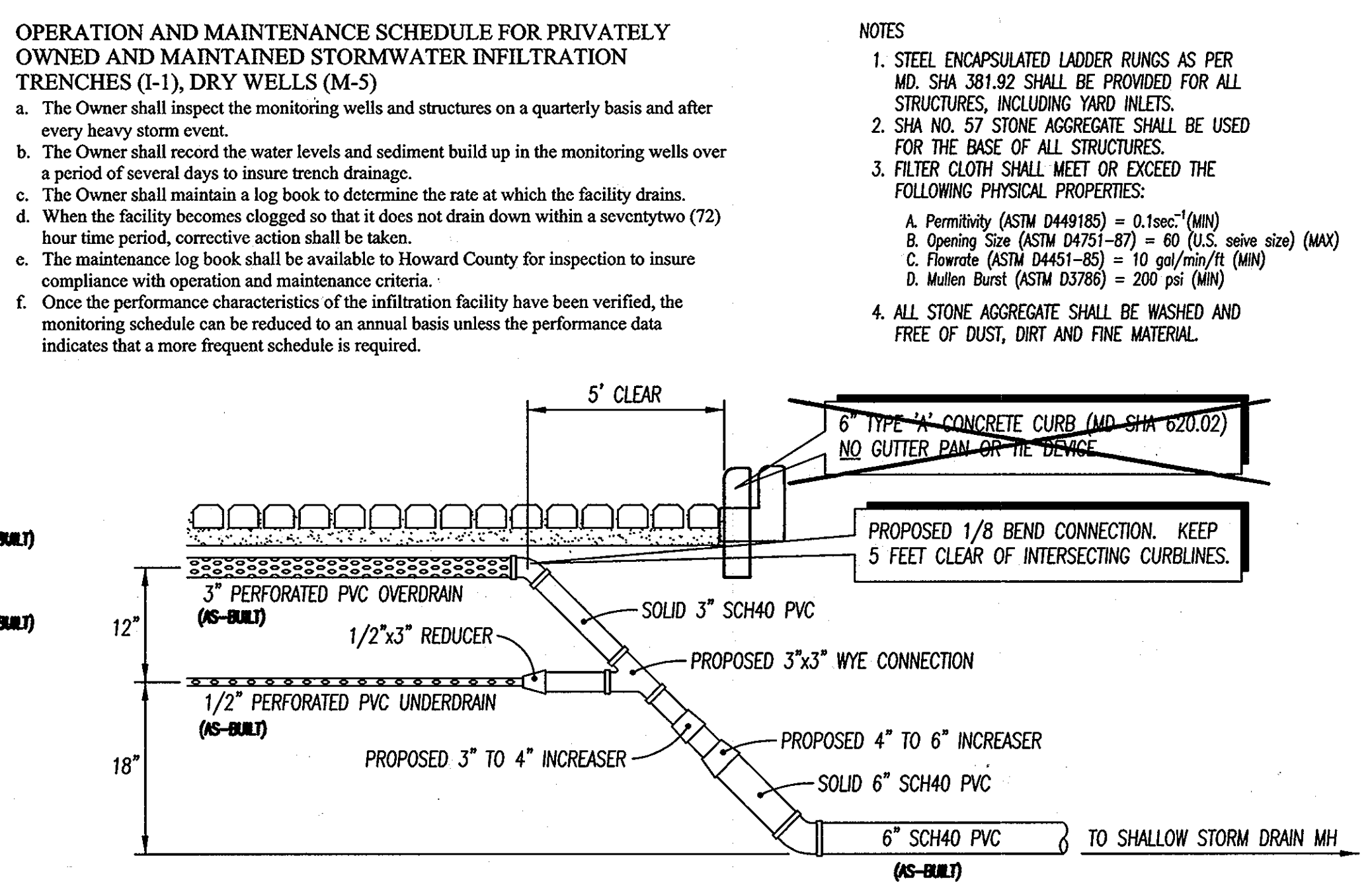
SHEET 4 OF 12

**DATE: Feb. 11, 2011**  
Scale: 1"=20'  
Drawing No. SDP-11-037

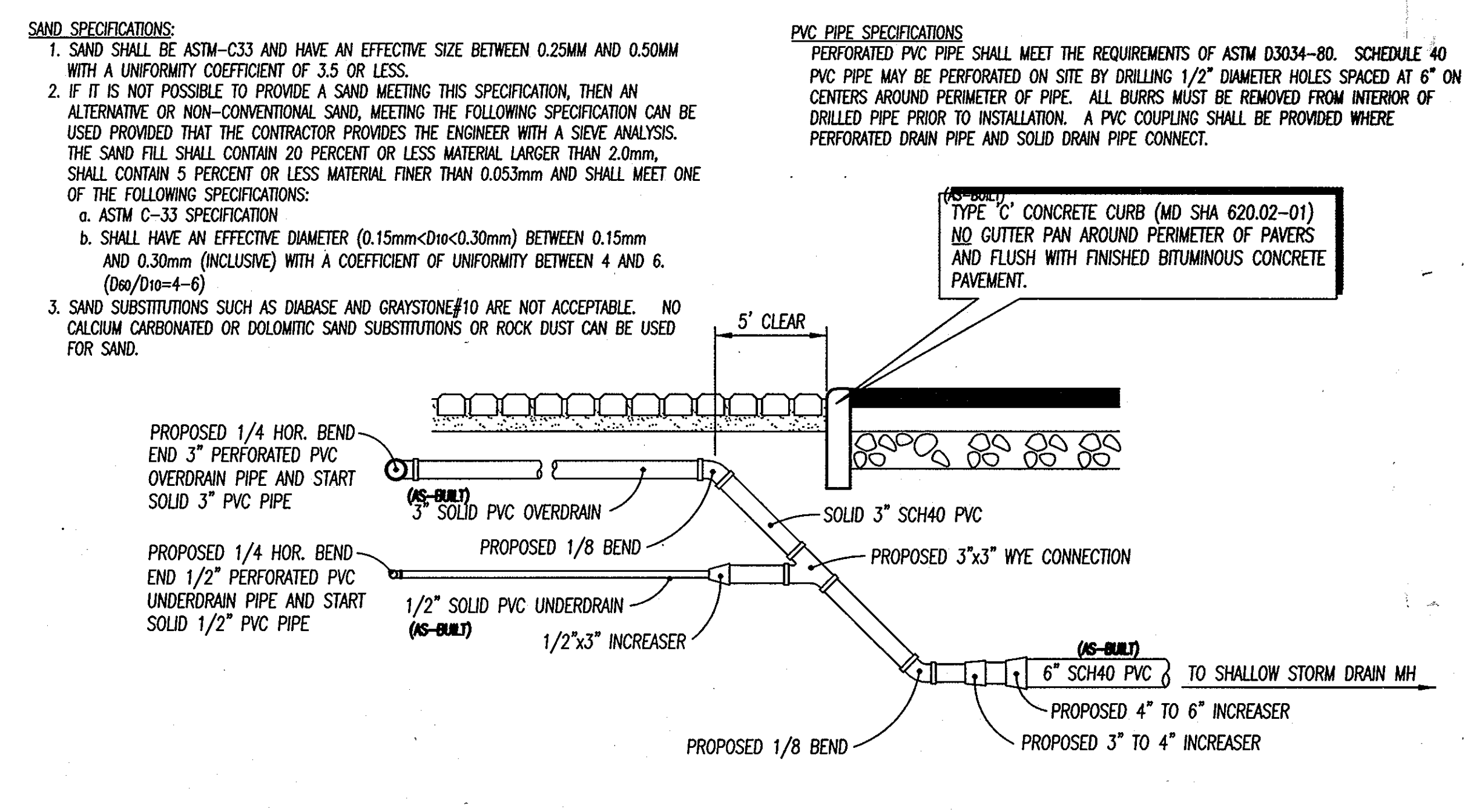
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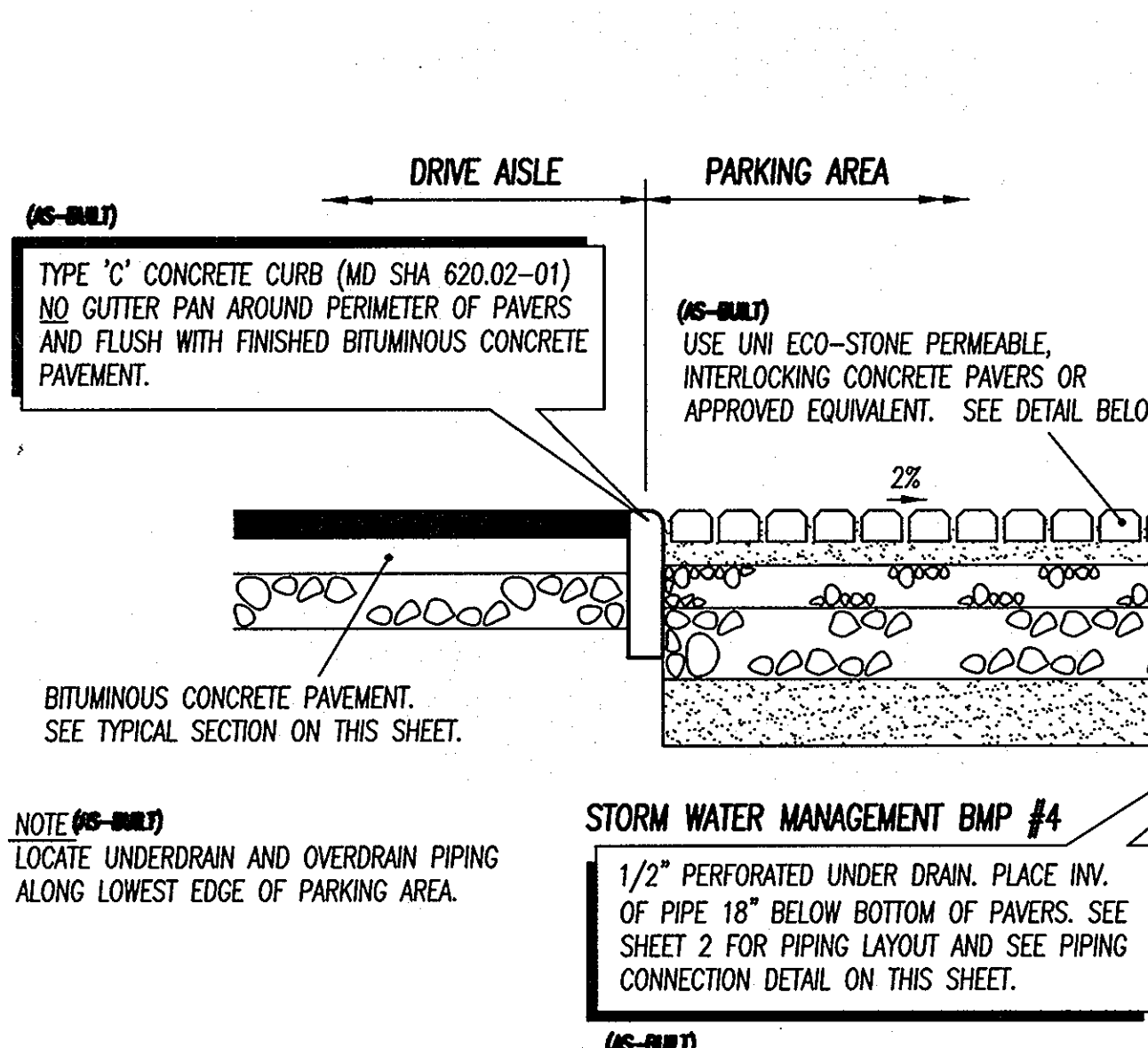
**STORM WATER MANAGEMENT BMP#1  
DRYWELL DETAIL**  
HOWARD COUNTY DETAIL NO. D-9.01 (MODIFIED)  
NOT TO SCALE



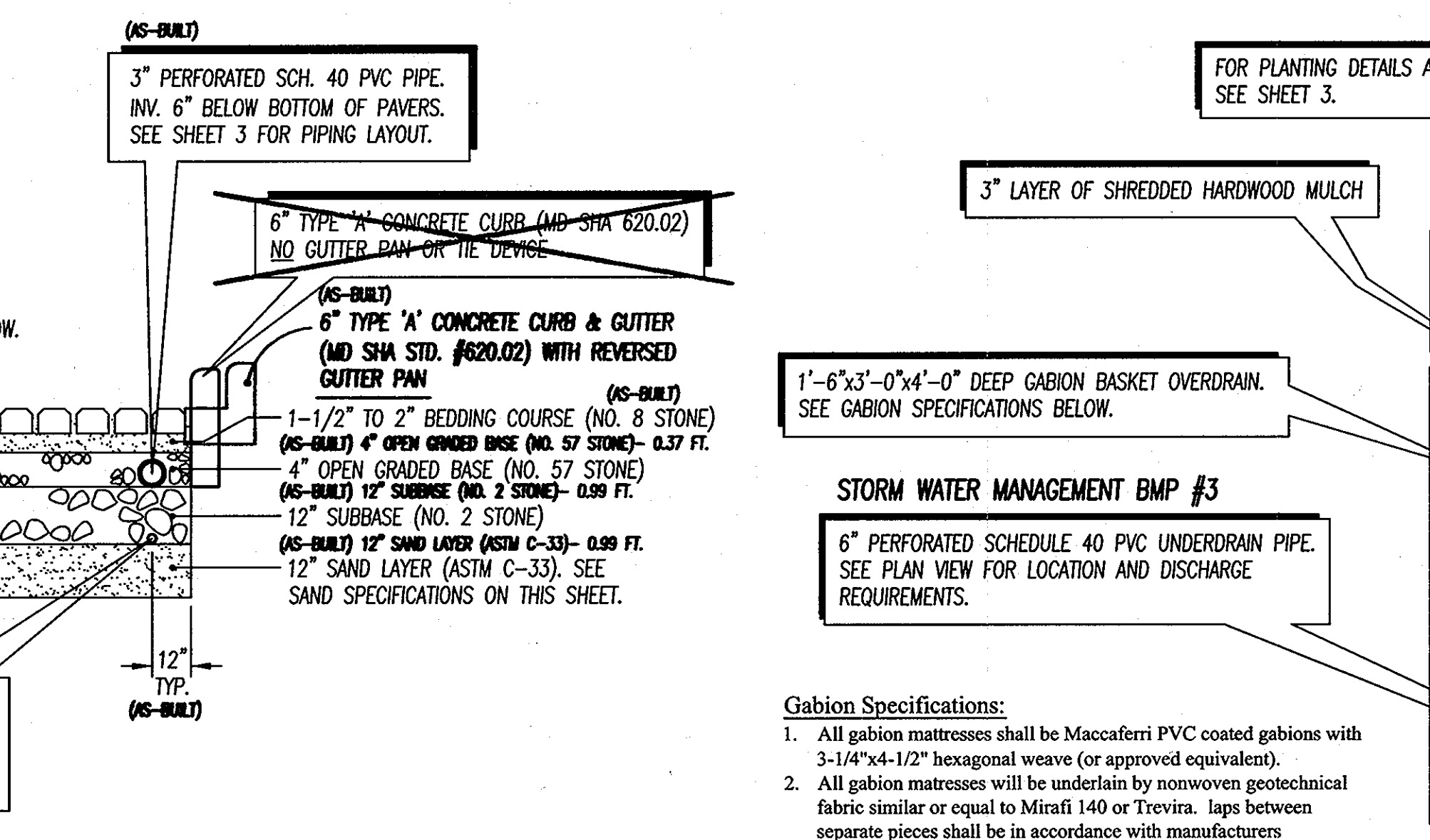
**OVERDRAIN & UNDERDRAIN PIPING CONNECTION DETAIL  
FOR PARKING AREAS IN FRONT OF PROPOSED BUILDING**  
NOT TO SCALE



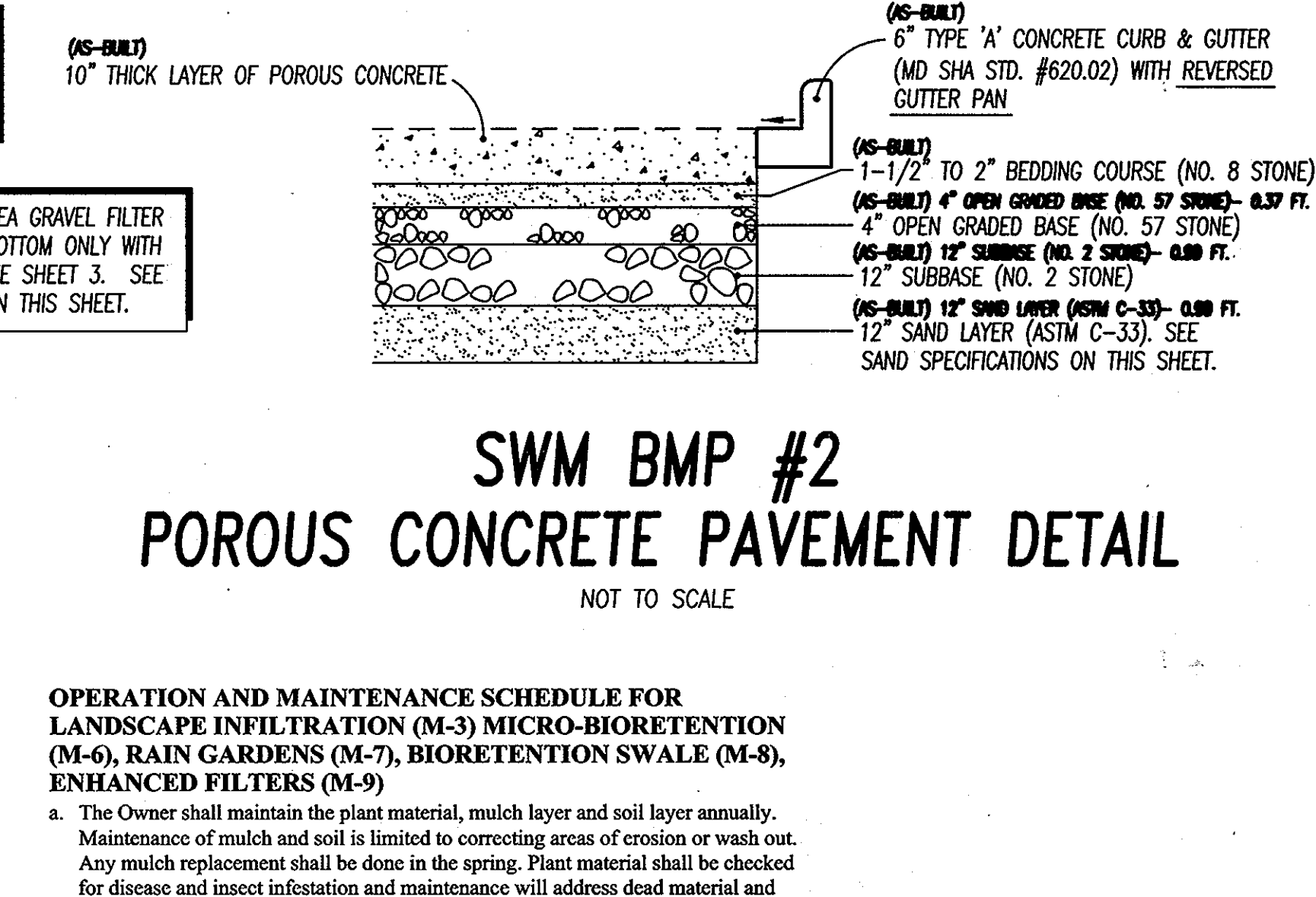
**OVERDRAIN & UNDERDRAIN PIPING CONNECTION DETAIL FOR  
FOUR PARKING SPACES ALONG SOUTHWESTERN PROPERTY LINE**  
NOT TO SCALE



**SWM BMP #4  
TYPICAL SECTION OF PERMEABLE PAVERS FOR PARKING AREAS**  
NOT TO SCALE



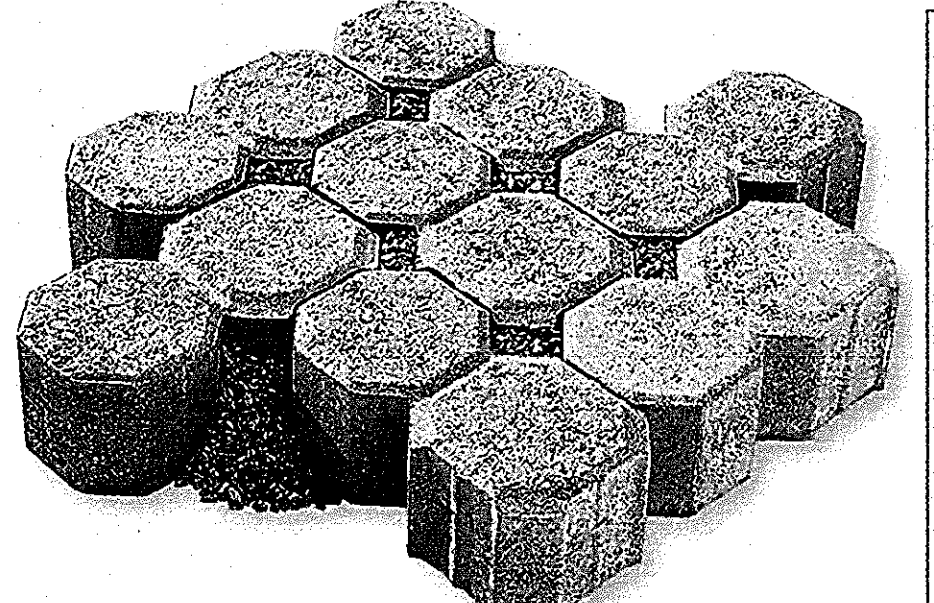
**SWM BMP #3  
MICRO BIO-RETENTION FACILITY DETAIL**  
NOT TO SCALE



**SWM BMP #2  
POROUS CONCRETE PAVEMENT DETAIL**  
NOT TO SCALE

I HEREBY CERTIFY THAT THE FACILITIES SHOWN ON THE PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.

*Peter L. Podolak* 1-11-19  
PETER L. PODOLAK, REG. NO. 19561  
STATE OF MARYLAND PROFESSIONAL ENGINEER DATE



Physical Characteristics	
Height/Thickness	3 1/8" = 80mm
Width	4 1/2" = 115mm
Length	9" = 230mm
Pavers per sq ft	= 3.55
Percentage of drainage void area per sq ft	= 12.18%

Composition and Manufacture	
Minimum compressive strength	- 8000psi
Maximum water absorption	- 5%
Meets or exceeds	ASTM C-936
and freeze-thaw testing per	section 8 of ASTM C-67.

**BALCON/BETCO**  
2630 Conway Road, Crofton, MD 21114  
(410) 721-1900 / FAX (410) 793-0657  
800-580-5838  
Baltimore (410) 793-0638  
Metro Washington, DC (301) 261-0200  
http://www.balcon.biz/

UNI ECO-STONE® PERMEABLE, INTERLOCKING CONCRETE PAVERS.

**OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED PERMEABLE PAVEMENT (A-2)**

- The Owner shall periodically sweep (or vacuum porous concrete pavement) the pavement surfaces to reduce sediment accumulation and ensure continued surface porosity. Sweeping should be performed at least twice annually with a commercial cleaning unit. Washing or compressed air units should not be used to perform surface cleaning.
- The Owner shall periodically clean drainage pipes, inlets, stone edge drains and other structures within or draining to the subbase.
- The Owner shall use deicers in moderation. Deicers should be non-toxic and be applied either as calcium magnesium acetate or as pretreated salt.
- The Owner shall ensure snow plowing is performed carefully with blades set oneinch above the surface. Plowed snow piles and snowmelt should not be directed to permeable pavement.

**OPERATION AND MAINTENANCE SCHEDULE FOR LANDSCAPE INFILTRATION (M-3) MICRO-BIORETENTION (M-6), RAIN GARDENS (M-7), BIORETENTION SWALE (M-8), ENHANCED FILTERS (M-9)**

- The Owner shall maintain the plant material, mulch layer and soil layer annually. Maintenance of mulch and soil is limited to correcting areas of erosion or wash out. Any mulch replacement shall be done in the spring. Plant material shall be checked for disease and insect infestation and maintenance will address dead material and pruning. Acceptable replacement plant material is limited to the following: 2000 Maryland Stormwater Design Manual Volume II, Table A.4.1 and 2.
- The Owner shall perform a plant in the spring and in the fall of each year. During the inspection, the Owner shall remove dead and diseased vegetation considered beyond treatment, replace dead plant material with acceptable replacement plant material, treat diseased trees and shrubs, and replace all deficient stakes and wires.
- The Owner shall inspect the mulch each spring. The mulch shall be replaced every two to three years. The previous mulch layer shall be removed before the new layer is applied.
- The Owner shall correct soil erosion on an as needed basis, with a minimum of once per month and after each heavy storm.

**'AS-BUILT'  
STORM WATER MANAGEMENT DETAILS  
and SPECIFICATIONS**

**OWNER / DEVELOPER**  
S & W MANAGEMENT, INC., a Kansas Corporation  
7070 OAKLAND HILLS ROAD  
COLUMBIA, MARYLAND 21046  
PHONE: (410) 720-6336

CURRENT TITLE REFERENCE: PIZZA HUT OF MARYLAND, INC. DEED: 1608/215 2.2139 ACS.±  
5TH ELECTION DISTRICT  
#12268 CLARKSVILLE PIKE - ZONED: B-2 TAX MAP: 34 BLOCK: 6 PARCEL: 27 ACCT. NO.: 05-355656

**APPROVED: DEPARTMENT OF PLANNING AND ZONING**

Chief, Development Engineering Division J.P. Date 4/10/12

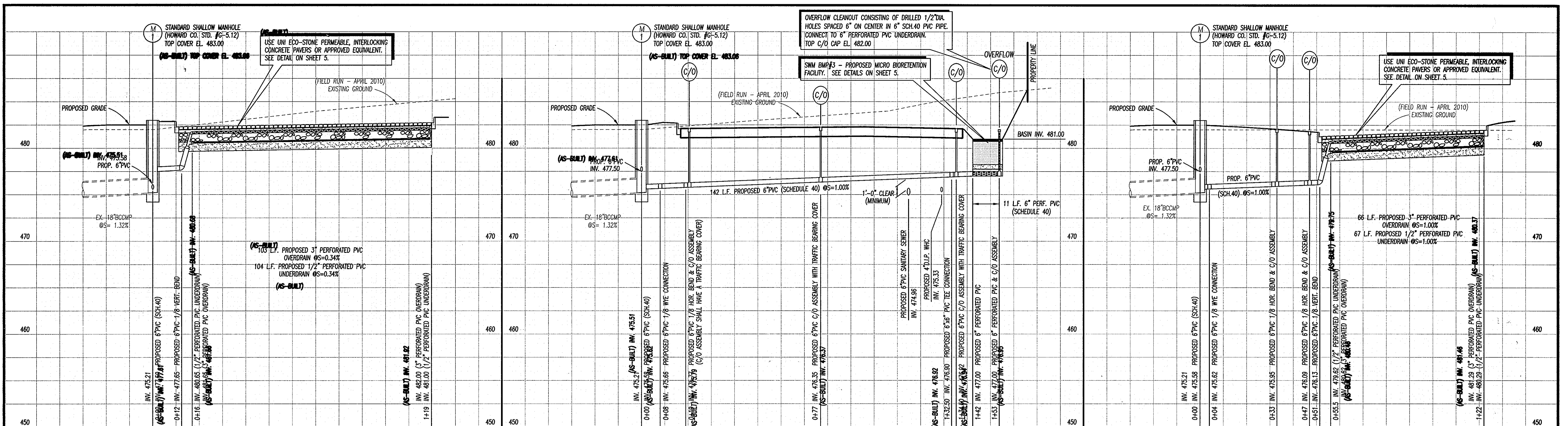
Chief, Division of Land Development Date 4/12/12

Director Thomas E. Butler Date 4/12/12



SHEET 5 OF 12		<b>SURVEYING and CIVIL ENGINEERING</b> 147 East Main St. (P.O. Box 266) Westminster, Maryland 21157 (410) 848-2229 - (410) 876-1226 <i>Peter L. Podolak</i> 4-11-11 Peter L. Podolak, P.E. Date I hereby certify that these documents were prepared or approved by me, and I am a duly licensed professional engineer under the laws of the State of Maryland, license no. 19561, expiration date: 3-3-2012.	
		Date: Feb. 11, 2011 Scale: 1"=20' Drawing No.	Revision COUNTY COMMENTS SHA COMMENTS COUNTY COMMENTS COUNTY COMMENTS AS-BUILT INFORMATION

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### STORM DRAIN PROFILE

(FROM PARKING SPACES ALONG THE FRONT OF THE PROPOSED BUILDING TO PROPOSED SHALLOW MANHOLE M-1)  
SCALE: HORIZONTAL: 1"=20' VERTICAL: 1"=5'

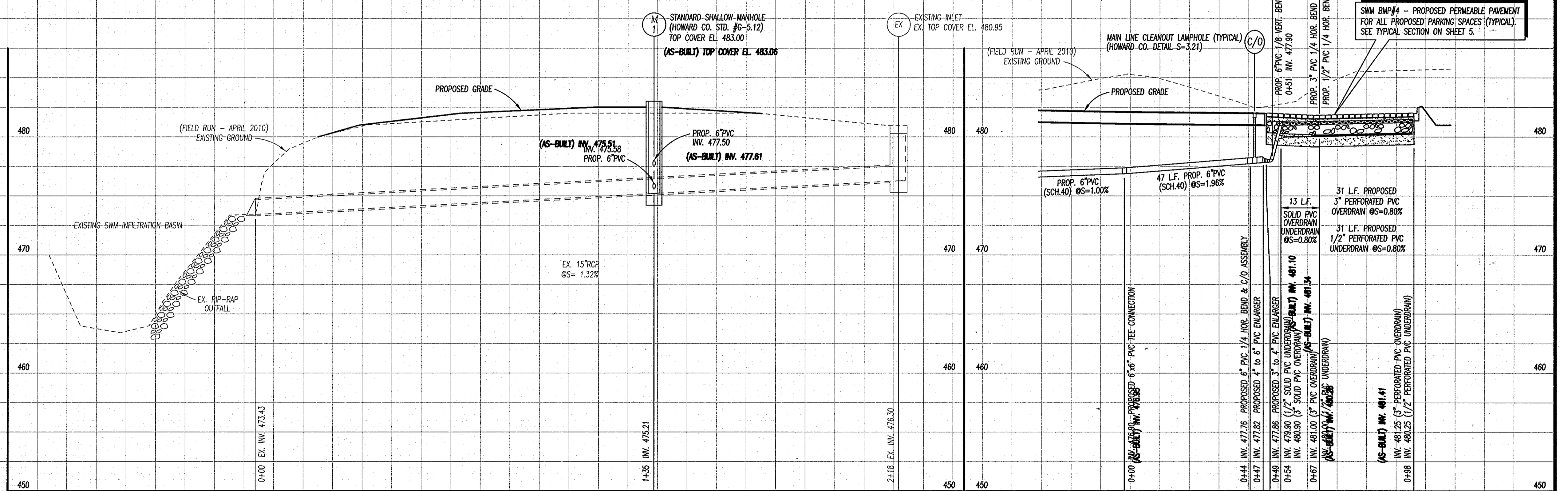
### STORM DRAIN PROFILE

(FROM PROPOSED MICRO BIoretention FACILITY TO PROPOSED SHALLOW MANHOLE M-1)  
SCALE: HORIZONTAL: 1"=20' VERTICAL: 1"=5'

### STORM DRAIN PROFILE

(FROM EIGHT PARKING SPACES ALONG EXISTING PARKING LOT TO PROPOSED SHALLOW MANHOLE M-1)  
SCALE: HORIZONTAL: 1"=20' VERTICAL: 1"=5'

NOTE: BACKFILL OF TRENCHES FOR STORM DRAINS, ROOF DRAINS, UNDERDRAINS & OVERDRAINS SHALL BE COMPLETED IN 8" LIFTS. COMPACTION BELOW TOP ONE FOOT SHALL NOT BE LESS THAN 92% OF MAXIMUM DRY DENSITY USING AASHTO T-180 METHOD, COMPACTION OF TOP ONE FOOT SHALL NOT BE LESS 97% OF MAXIMUM DRY DENSITY USING THE SAME METHOD. BEDDING FOR AFORMENTIONED PIPE SHALL BE IN ACCORDANCE WITH HOWARD COUNTY DETAIL G-2.12.



### PROFILE FROM EXISTING INLET TO M-1 TO EXISTING SWM INFILTRATION BASIN

SCALE: HORIZONTAL: 1"=20' VERTICAL: 1"=5'

### STORM DRAIN PROFILE

(FROM FOUR PARKING SPACES ALONG SOUTHWESTERN PROPERTY LINE TO WYE CONNECTION)  
SCALE: HORIZONTAL: 1"=20' VERTICAL: 1"=5'

'AS-BUILT'

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division J.R. 1/10/12  
 Chief, Division of Land Development M.S. 1/12/12  
 Director M.S. & Suttler 1/12/12



I HEREBY CERTIFY THAT THE FACILITIES SHOWN ON THE PLAN WAS CONSTRUCTED AS SHOWN ON THE 'AS-BUILT' PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.

Peter L. Podolak, REG. NO. 19551 DATE 1-11-12  
 PETER L. PODOLAK, REG. NO. 19551  
 STATE OF MARYLAND PROFESSIONAL ENGINEER

## STORM WATER MANAGEMENT PROFILES

OWNER / DEVELOPER  
 S & W MANAGEMENT, INC., a Kansas Corporation  
 7070 OAKLAND MILLS ROAD  
 COLUMBIA, MARYLAND 21046  
 PHONE: (410) 720-6336

SHEET 6 OF 12

LEON A. PODOLAK and ASSOCIATES, L.L.C.

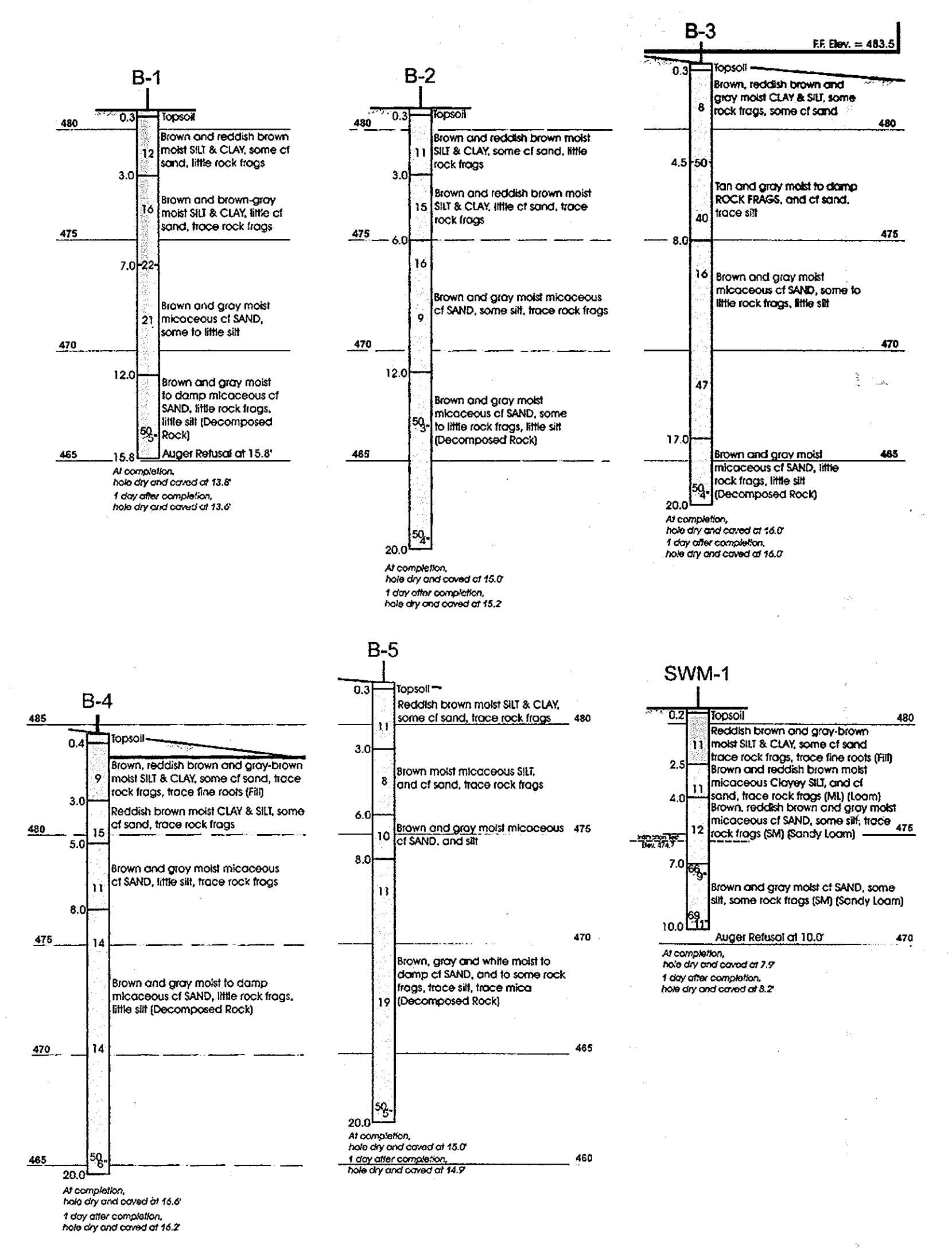
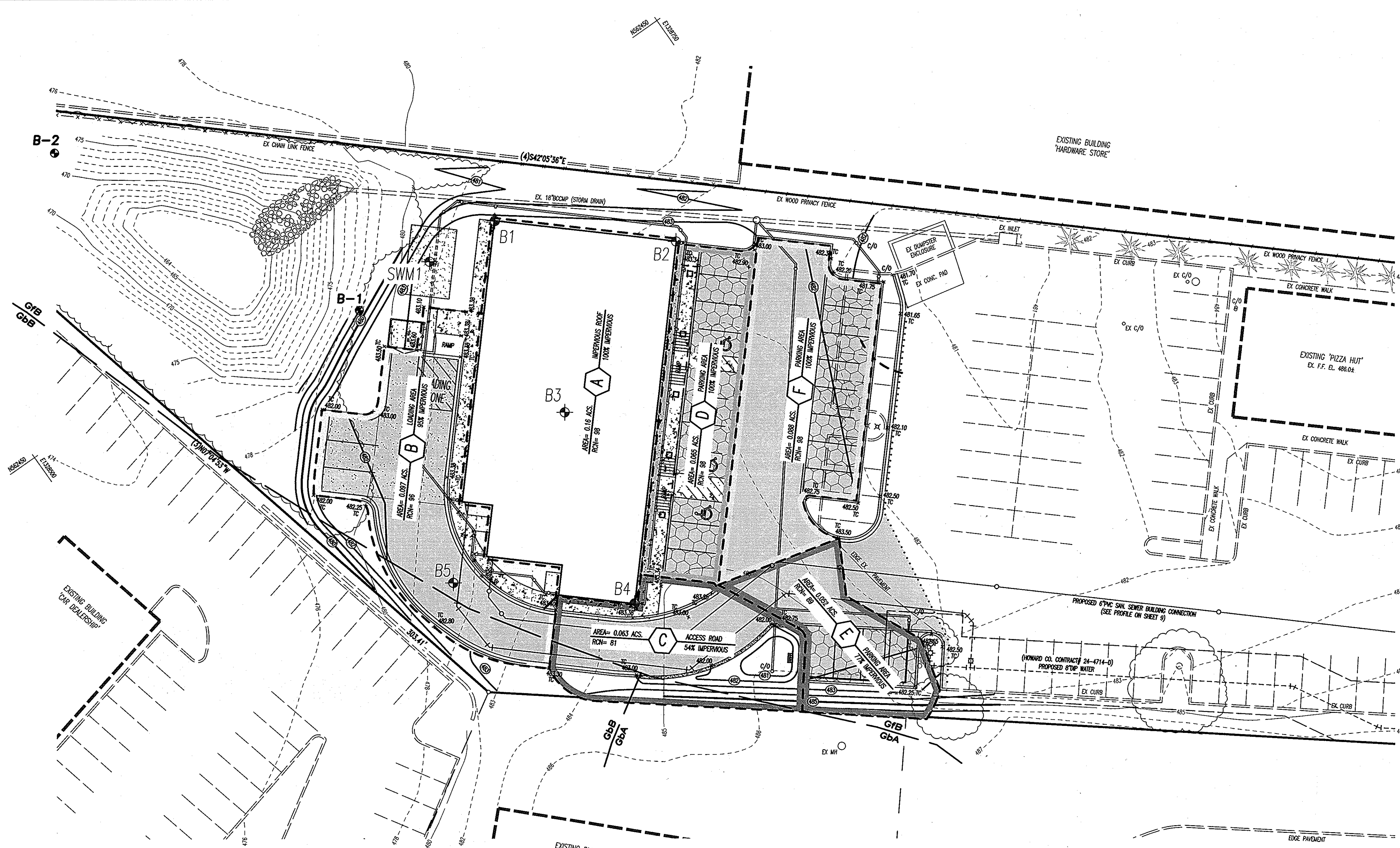


SURVEYING and CIVIL ENGINEERING  
 147 East Main St. (P.O. Box 266) Westminster, Maryland 21157  
 (410) 848-2228 - (410) 876-1226

Peter L. Podolak, P.E. Date 12-19-11  
 I hereby certify that these documents were prepared or approved by me, and I am a duly licensed professional engineer under the laws of the State of Maryland, license no. 19551, expiration date: 3-3-2012.

Date	Revision
5-11-11	COUNTY COMMENTS
6-15-11	SMA COMMENTS
7-12-11	COUNTY COMMENTS
7-20-11	COUNTY COMMENTS
7-27-11	COUNTY COMMENTS
8-2-11	AS-BUILT REPRESENTATION

Date: Feb. 11, 2011  
 Scale: 1"=20'  
 Drawing No.:



### DRAINAGE AREA MAP

SCALE: 1"=20'

- STORM WATER MANAGEMENT NOTES:**
- The on-site Storm Water Management (SWM) Devices shall be owned and maintained by the owner and developer of the property.
  - Quantitative and Qualitative Storm Water Management for this project shall be provided by the following Best Management Practices:
    - Disconnection of Rooftop Runoff using a Drywell
    - Disconnection of Non-Rooftop Runoff using a Pervious Pavement
    - Disconnection of Non-Rooftop Runoff using a Bio Retention Facility
 See the SWM Summary Table for Water Quality and Recharge Volume Requirements.
  - Water Shed Name: Middle Patuxent Watershed (02-14-02)  
Discharge Point: Tributary to the Middle Patuxent River

**STORM WATER MANAGEMENT SUMMARY:**

BMP#1: Disconnection of Rooftop Runoff using a Drywell:	BMP#4: Disconnection of Runoff from Parking Lot using Permeable Pavement
Drainage Area A = 7000 square feet = 0.16 Acres Percent Impervious Cover = 100%	Drainage Area D = 2835 square feet = 0.065 Acres Percent Impervious Cover = 100.0 %
Water Quality Volume Required = 0.0127 Ac-Ft = 552 cubic feet Recharge Volume Required = 0.0032 Ac-Ft = 138 cubic feet	Water Quality Volume Required = 0.0051 Ac-Ft = 224 cubic feet Recharge Volume Required = 0.0013 Ac-Ft = 56 cubic feet
Water Quality Volume Provided = 0.0142 Ac-Ft = 620 cubic feet Recharge Volume Provided = 0.0142 Ac-Ft = 620 cubic feet	Water Quality Volume Provided = 0.0164 Ac-Ft = 714 cubic feet Recharge Volume Provided = 0.0144 Ac-Ft = 627 cubic feet
BMP#2: Disconnection of Runoff from Loading Area using Pervious Concrete Pavement	BMP#5: Disconnection of Runoff from Service Road to Rear of Building using Bioretention
Drainage Area B = 4245 square feet = 0.097 Acres Percent Impervious Cover = 95.0 %	Drainage Area E = 2274 square feet = 0.052 Acres Percent Impervious Cover = 76.6 %
Water Quality Volume Required = 0.0073 Ac-Ft = 319 cubic feet Recharge Volume Required = 0.0018 Ac-Ft = 80 cubic feet	Water Quality Volume Required = 0.0032 Ac-Ft = 140 cubic feet Recharge Volume Required = 0.0008 Ac-Ft = 35 cubic feet
Water Quality Volume Provided = 606 cubic feet Recharge Volume Provided = 606 cubic feet	Water Quality Volume Provided = 0.0075 Ac-Ft = 325 cubic feet Recharge Volume Provided = 0.0044 = 194 cubic feet
BMP#3: Disconnection of Runoff from Service Road to Rear of Building using Bioretention	Drainage Area F = 3832 square feet = 0.088 Acres Percent Impervious Cover = 100.0 %
Drainage Area C = 4245 square feet = 0.097 Acres Percent Impervious Cover = 54.0 %	Water Quality Volume Required = 0.0070 Ac-Ft = 303 cubic feet Recharge Volume Required = 0.0017 Ac-Ft = 76 cubic feet
Water Quality Volume Required = 0.0028 Ac-Ft = 123 cubic feet Recharge Volume Required = 0.0007 Ac-Ft = 31 cubic feet	Water Quality Volume Provided = 0.0118 Ac-Ft = 514 cubic feet Recharge Volume Provided = 0.0112 = 490 cubic feet
Water Quality Volume Provided = 0.0030 Ac-Ft = 135 cubic feet Recharge Volume Provided = 0.0009 Ac-Ft = 41 cubic feet	

**APPROVED: DEPARTMENT OF PLANNING AND ZONING**

Chief, Development Engineering Division: *[Signature]* Date: 1/10/12

Chief, Division of Land Development: *[Signature]* Date: 1/12/12

Director: *[Signature]* Date: 1/12/12



THIS IS NO 'AS-BUILT' INFORMATION PROVIDED ON THIS SHEET.

*[Signature]* DATE: 1-11-11

PETER L. PODOLAK, REG. NO. 19561  
STATE OF MARYLAND PROFESSIONAL ENGINEER

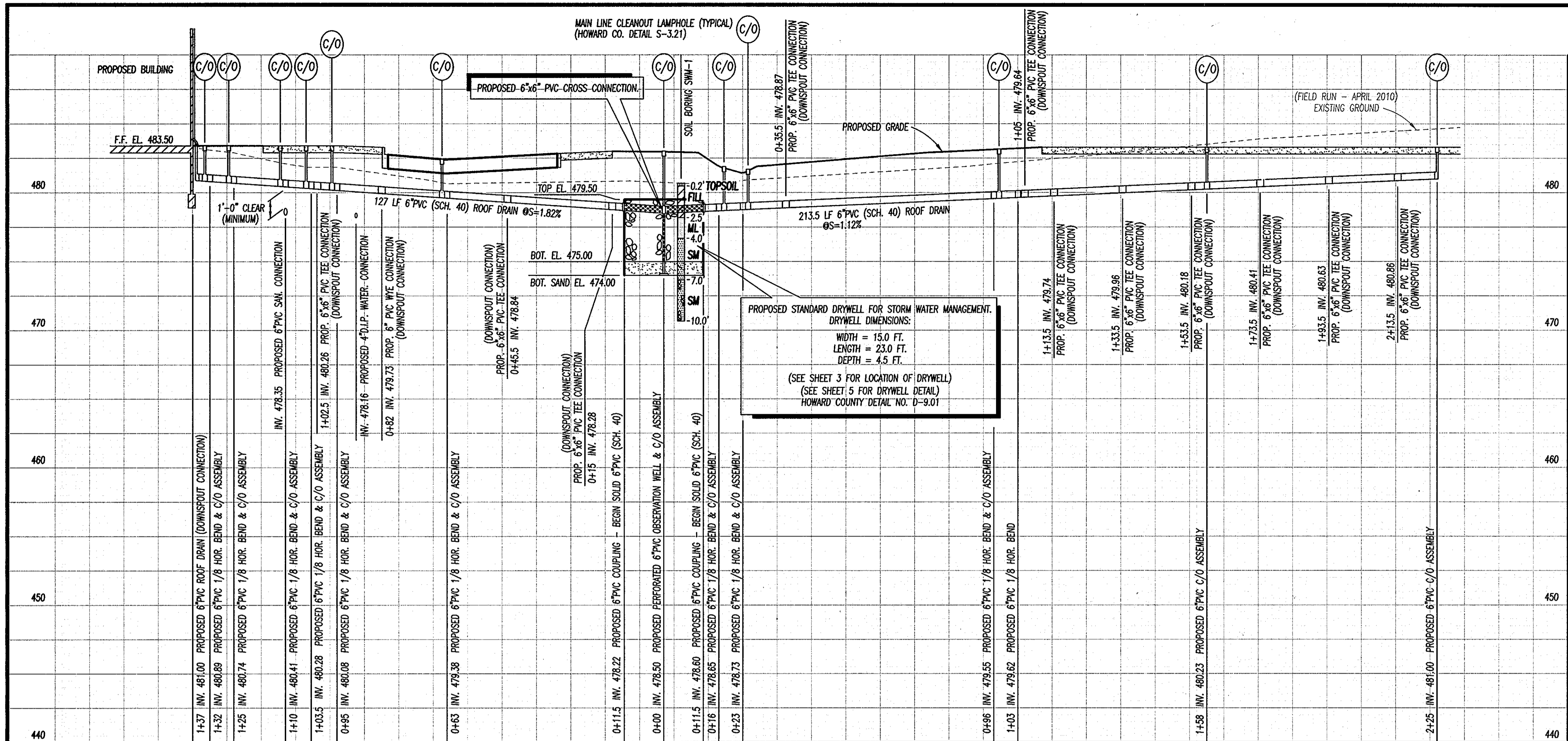
## 'AS-BUILT' DRAINAGE AREA MAP

OWNER / DEVELOPER: S & W MANAGEMENT, INC. a Kansas Corporation  
7070 OAKLAND MILLS ROAD  
COLUMBIA, MARYLAND 21046  
PHONE: (410) 720-6336

CURRENT TITLE REFERENCE: PIZZA HUT OF MARYLAND, INC. DEED: 1608/215 2.2139 ACS.±  
5TH ELECTION DISTRICT  
#12268 CLARKSVILLE PIKE - ZONED: B-2 TAX MAP: 34 BLOCK: 6 PARCEL: 27 ACCT. NO.: 05-355656

SHEET 7 OF 12	<b>LEON A. PODOLAK and ASSOCIATES, L.L.C.</b>	
	SURVEYING and CIVIL ENGINEERING 147 East Main St. (P.O. Box 268) Westminster, Maryland 21157 (410) 848-2229 - (410) 876-1228	
	Date: 11-11-11 I hereby certify that these documents were prepared or approved by me, and I am a duly licensed professional engineer under the laws of the State of Maryland, license no. 19561, expiration date: 3-3-2012.	Revision: COUNTY COMMENTS COUNTY COMMENTS COUNTY COMMENTS AS-BUILT INFORMATION

Date: Feb. 11, 2011  
Scale: 1"=20'  
Drawing No. SDP-11-037



NOTE: BACKFILL OF TRENCHES FOR STORM DRAINS, ROOF DRAINS, UNDERDRAINS & OVERDRAINS SHALL BE COMPLETED IN 8" LIFTS. COMPACTION BELOW TOP ONE FOOT SHALL NOT BE LESS THAN 92% OF MAXIMUM DRY DENSITY USING AASHTO T-180 METHOD; COMPACTION OF TOP ONE FOOT SHALL NOT BE LESS 97% OF MAXIMUM DRY DENSITY USING THE SAME METHOD.

**PIPE SCHEDULE:**

Description	Proposed Use	Total Linear Footage
1/2 inch perforated Schedule 40 PVC Pipe	SWM Underdrain	171 feet
3 inch perforated Schedule 40 PVC Pipe	SWM Overdrain	169 feet
6 inch perforated Schedule 40 PVC Pipe	SWM	41 feet
1/2 inch solid Schedule 40 PVC Pipe	Stormwater Conveyance	13 feet
3 inch solid Schedule 40 PVC Pipe	Stormwater Conveyance	22 feet
4 inch solid Schedule 40 PVC Pipe	Stormwater Conveyance	3 feet
6 inch solid Schedule 40 PVC Pipe	Stormwater Conveyance	732 feet
6 inch solid Schedule 40 PVC Pipe	Sewer Connection	491 feet
4 inch Ductile Iron Pipe	Water Connection	225 feet

**PIPE FITTINGS:**

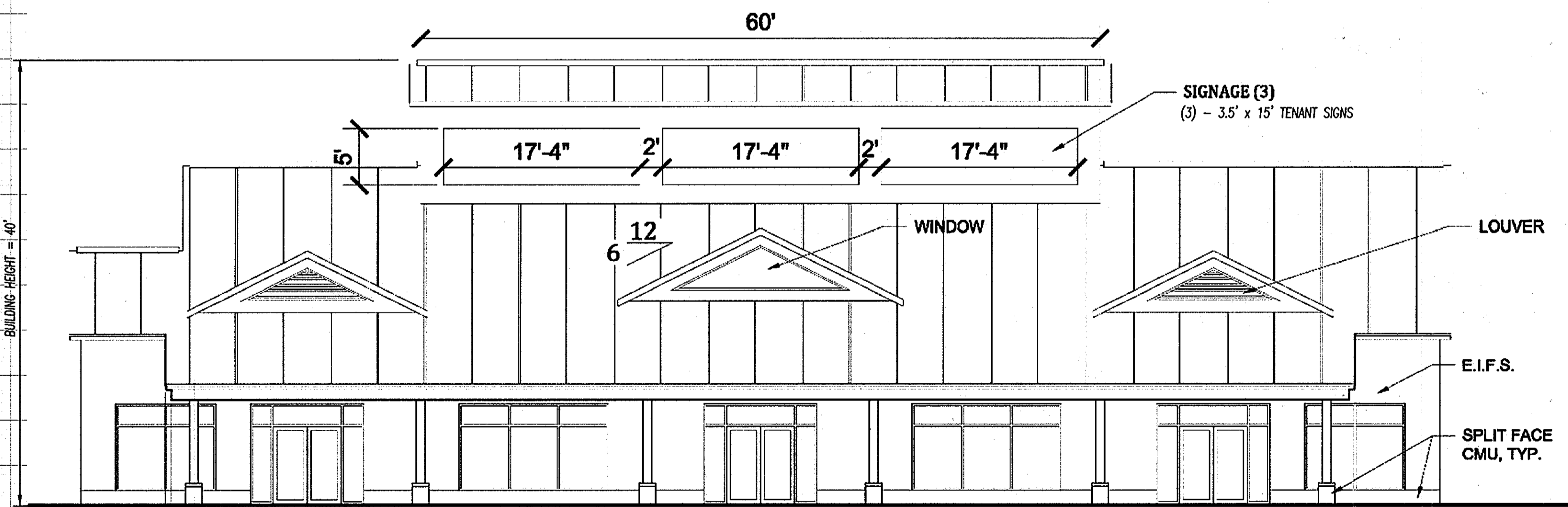
Description	Total Number
1/2 inch Schedule 40 PVC 1/4 Bend	1
3 inch Schedule 40 PVC 1/4 Bend	1
6 inch Schedule 40 PVC 1/4 Bend	4
3 inch Schedule 40 PVC 1/8 Bend	3
4 inch Ductile Iron 1/8 Bend	6
6 inch Schedule 40 PVC 1/8 Bend	30
3 inch to 1/2 inch Schedule 40 PVC Reducer	3
4 inch to 3 inch Schedule 40 PVC Reducer	3
6 inch to 4 inch Schedule 40 PVC Reducer	3
3 inch x 3 inch Schedule 40 PVC Wye Connection	3
6 inch x 6 inch Schedule 40 PVC Wye Connection	28
6 inch x 6 inch Schedule 40 PVC Tee Connection	11
6 inch x 6 inch Schedule 40 PVC Cross Connection	1
Traffic Bearing Cleanout Caps	26

**STRUCTURE SCHEDULE:**

Description  
Standard Shallow Manhole (Howard Co. Detail G5-12)  
Top cover elev. 483.00  
Inv. in (6" PVC drain) 477.50  
Inv. in (6" PVC drain) 475.58  
Inv. out (Ex. 18" BCCMP) 475.21

**ROOF DRAIN PROFILE**

SCALE: HORIZONTAL: 1"=20' VERTICAL: 1"=5'



**EAST (FRONT) ELEVATION**

SCALE: 1/8" = 1'-0"

THERE IS NO 'AS-BUILT' INFORMATION PROVIDED ON THIS SHEET.  
*Peter L. Podolak*  
PETER L. PODOLAK, REG. NO. 19561  
STATE OF MARYLAND PROFESSIONAL ENGINEER  
DATE 1-11-11



**'AS-BUILT'**

**ROOF DRAIN PROFILES  
BUILDING ELEVATION**

OWNER / DEVELOPER  
S & W MANAGEMENT, INC., a Kansas Corporation  
7070 OAKLAND MILLS ROAD  
COLUMBIA, MARYLAND 21046  
PHONE: (410) 720-6336

CURRENT TITLE REFERENCE: PIZZA HUT OF MARYLAND, INC. DEED: 1608/215 2.2139 ACS.±  
5TH ELECTION DISTRICT  
#12268 CLARKSVILLE PIKE - ZONED: B-2 TAX MAP: 34 BLOCK: 6 PARCEL: 27 ACCT. NO.: 05-355656

**LEON A. PODOLAK and ASSOCIATES, L.L.C.**

SHEET 8 OF 12

SURVEYING and CIVIL ENGINEERING  
147 East Main St. (P.O. Box 286) Westminster, Maryland 21157  
(410) 848-2229 - (410) 876-1226

*Peter L. Podolak*  
Peter L. Podolak, P.E.  
I hereby certify that these documents were prepared or approved by me, and I am a duly licensed professional engineer under the laws of the State of Maryland, license no. 19561, expiration date: 3-3-2012.

Date: Feb. 11, 2011  
Scale: 1"=20'  
Drawing No.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*[Signature]*  
Chief, Development Engineering Division J.R. Date 1/12/12

*[Signature]*  
Chief, Division of Land Development Date 1/12/12

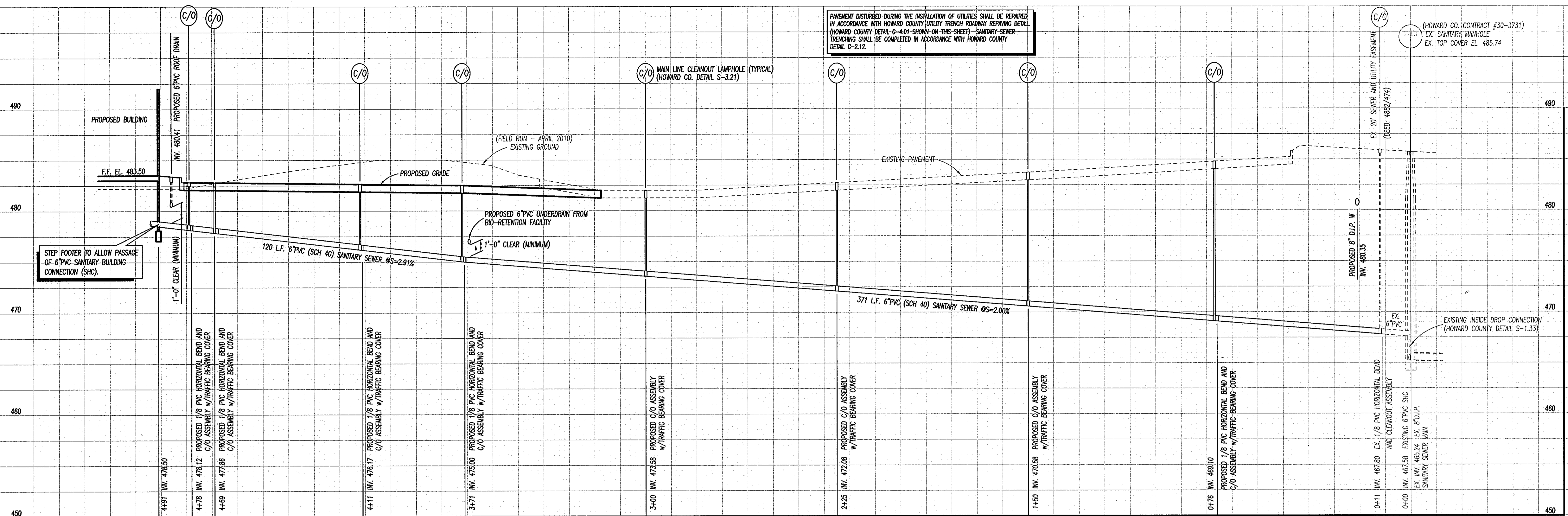
*[Signature]*  
Director Date 1/12/12

I:\Server\CD\Drawings\Pizza Hut - #12268 Clarksville BA\SITE PLAN\FINAL PLANS c3.dwg 10-12-2011



PAVEMENT DISTURBED DURING THE INSTALLATION OF UTILITIES SHALL BE REPAIRED IN ACCORDANCE WITH HOWARD COUNTY UTILITY TRENCH ROADWAY REPAIRING DETAIL (HOWARD COUNTY DETAIL C-4.01 SHOWN ON THIS SHEET) - SANITARY SEWER TRENCHING SHALL BE COMPLETED IN ACCORDANCE WITH HOWARD COUNTY DETAIL C-2.12.

(HOWARD CO. CONTRACT #30-3731)  
EX. SANITARY MANHOLE  
EX. TOP COVER EL. 485.74

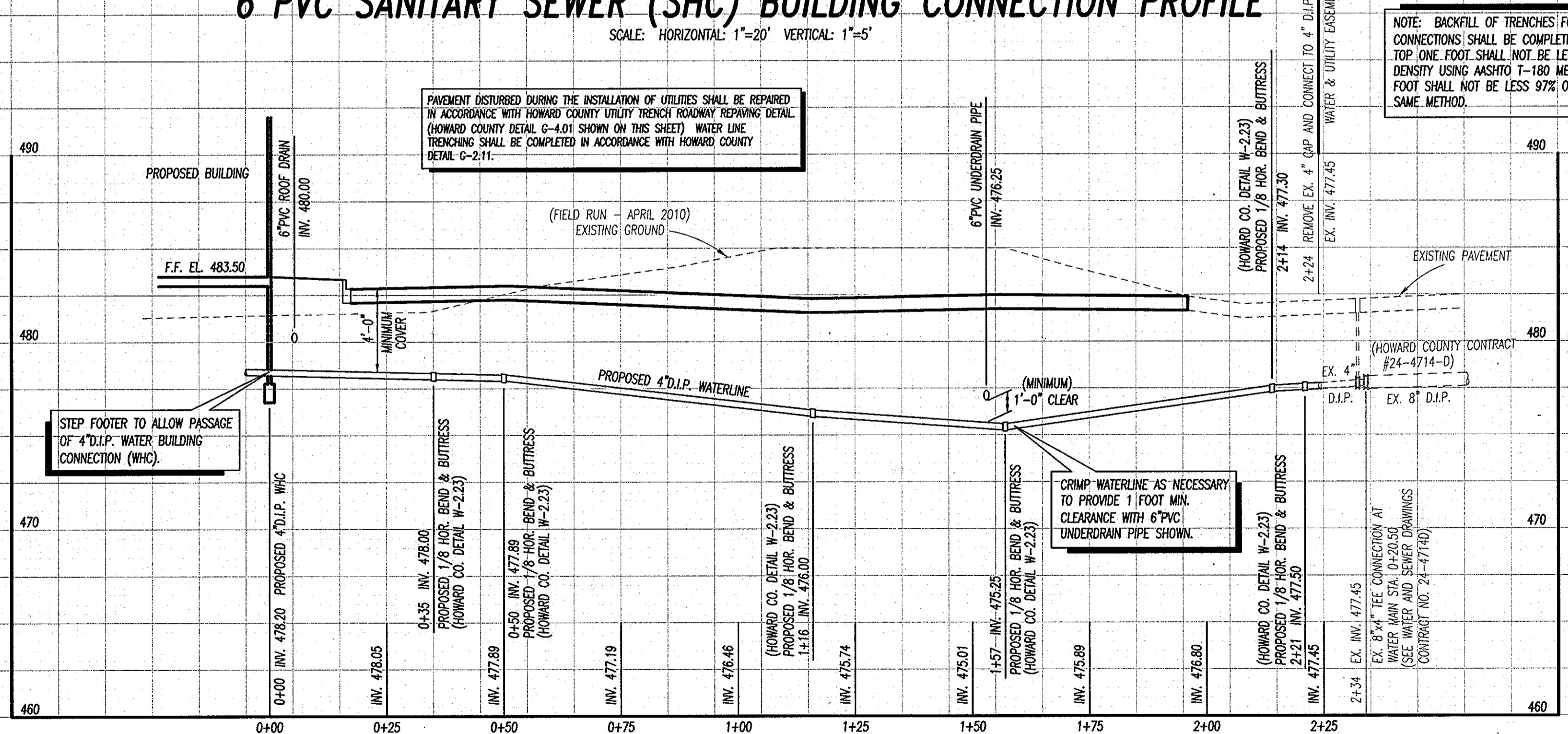


**6\"/>**

SCALE: HORIZONTAL: 1\"/>

NOTE: BACKFILL OF TRENCHES FOR WATER AND SEWER BUILDING CONNECTIONS SHALL BE COMPLETED IN 8\"/>

PAVEMENT DISTURBED DURING THE INSTALLATION OF UTILITIES SHALL BE REPAIRED IN ACCORDANCE WITH HOWARD COUNTY UTILITY TRENCH ROADWAY REPAIRING DETAIL (HOWARD COUNTY DETAIL C-4.01 SHOWN ON THIS SHEET) - WATER LINE TRENCHING SHALL BE COMPLETED IN ACCORDANCE WITH HOWARD COUNTY DETAIL C-2.11.



**4\"/>**

SCALE: HORIZONTAL: 1\"/>

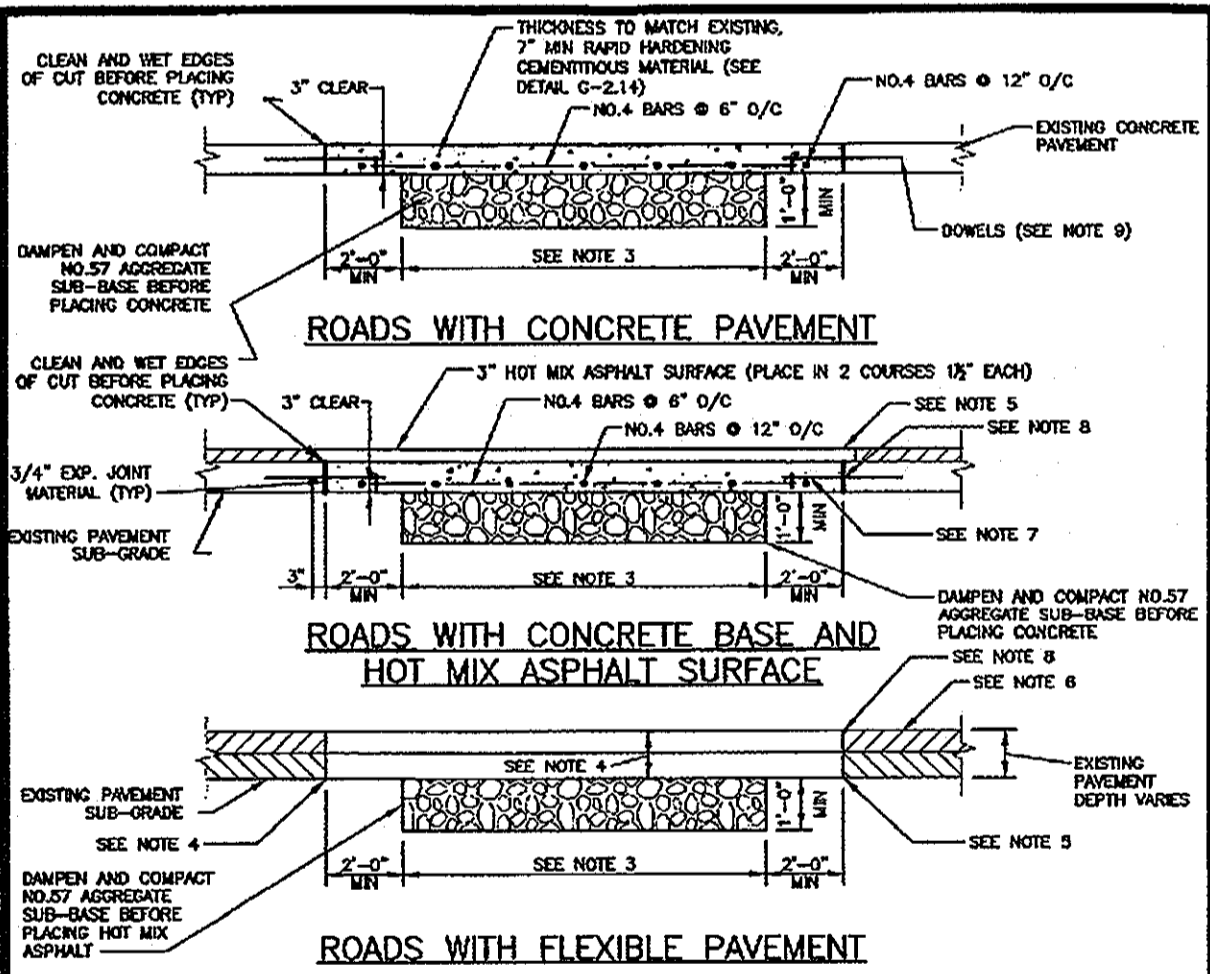
**PRIVATE WATER/SEWER BUILDING CONNECTION PROFILES**

**'AS-BUILT'**

CURRENT TITLE REFERENCE: PIZZA HUT OF MARYLAND, INC. DEED: 1608/215 2.2139 ACS.±  
5TH ELECTION DISTRICT  
#12268 CLARKSVILLE PIKE - ZONED: B-2 TAX MAP: 34 BLOCK: 6 PARCEL: 27 ACCT. NO.: 05-355656

LEON A. PODOLAK and ASSOCIATES, L.L.C.

	SURVEYING and CIVIL ENGINEERING 147 East Main St. (P.O. Box 266) Westminster, Maryland 21157 (410) 848-2229 - (410) 876-1226	Date: 12-19-11 Revision: COUNTY COMMENTS
	Peter L. Podolak, P.E. I hereby certify that these documents were prepared or approved by me, and I am a duly licensed professional engineer under the laws of the State of Maryland, license no. 19561, expiration date: 3-3-2012.	Date: Feb. 11, 2011 Scale: 1\"/>



- NOTES:**
- WHENEVER A TRENCH CROSSES A CONCRETE ROADWAY THAT HAS JOINT INSTALLATIONS THE ENTIRE SLAB BETWEEN THE EDGE OF THE TRENCH AND THE NEAREST JOINT SHALL BE REMOVED TO THE DISTANCE IS LESS THAN 10 FEET.
  - CLEAN AND WET EDGES OF CUT AND SUBGRADE BEFORE PLACING CONCRETE.
  - AGGREGATE SUB-BASE WIDTH SHALL BE 6 FT MINIMUM OR ACTUAL TRENCH WIDTH, WHICHEVER IS GREATER.
  - HOT MIX ASPHALT PAVEMENT PATCH THICKNESS SHALL BE EQUAL TO THE EXISTING PAVING SECTION OR AS APPROVED BY DPW. THE MINIMUM PAVING PATCH SHALL CONSIST OF 2\"/>

Howard County, Maryland Department of Public Works Utility Trench Roadway Repairing Detail G-4.01
--

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division: *[Signature]* Date: 1/10/12

Chief, Division of Land Development: *[Signature]* Date: 1/12/12

Director: *[Signature]* Date: 1/10/12

**PRIVATE WATER / SEWER BUILDING CONNECTION PROFILES**



PETER L. PODOLAK, REG. NO. 19561  
STATE OF MARYLAND PROFESSIONAL ENGINEER  
DATE: 1-11-12

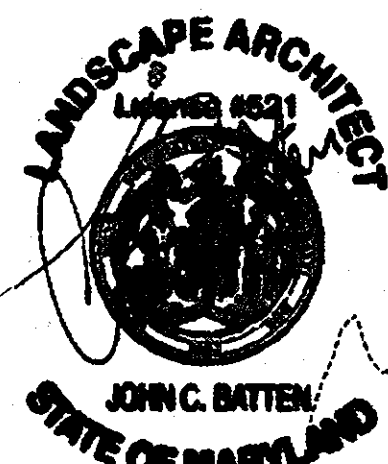
OWNER / DEVELOPER  
S & W MANAGEMENT, INC. a Kansas Corporation  
7070 OAKLAND MILLS ROAD  
COLUMBIA, MARYLAND 21046  
PHONE: (410) 720-6336

SHEET 9 OF 12

THERE IS NO 'AS-BUILT' INFORMATION PROVIDED ON THIS SHEET.

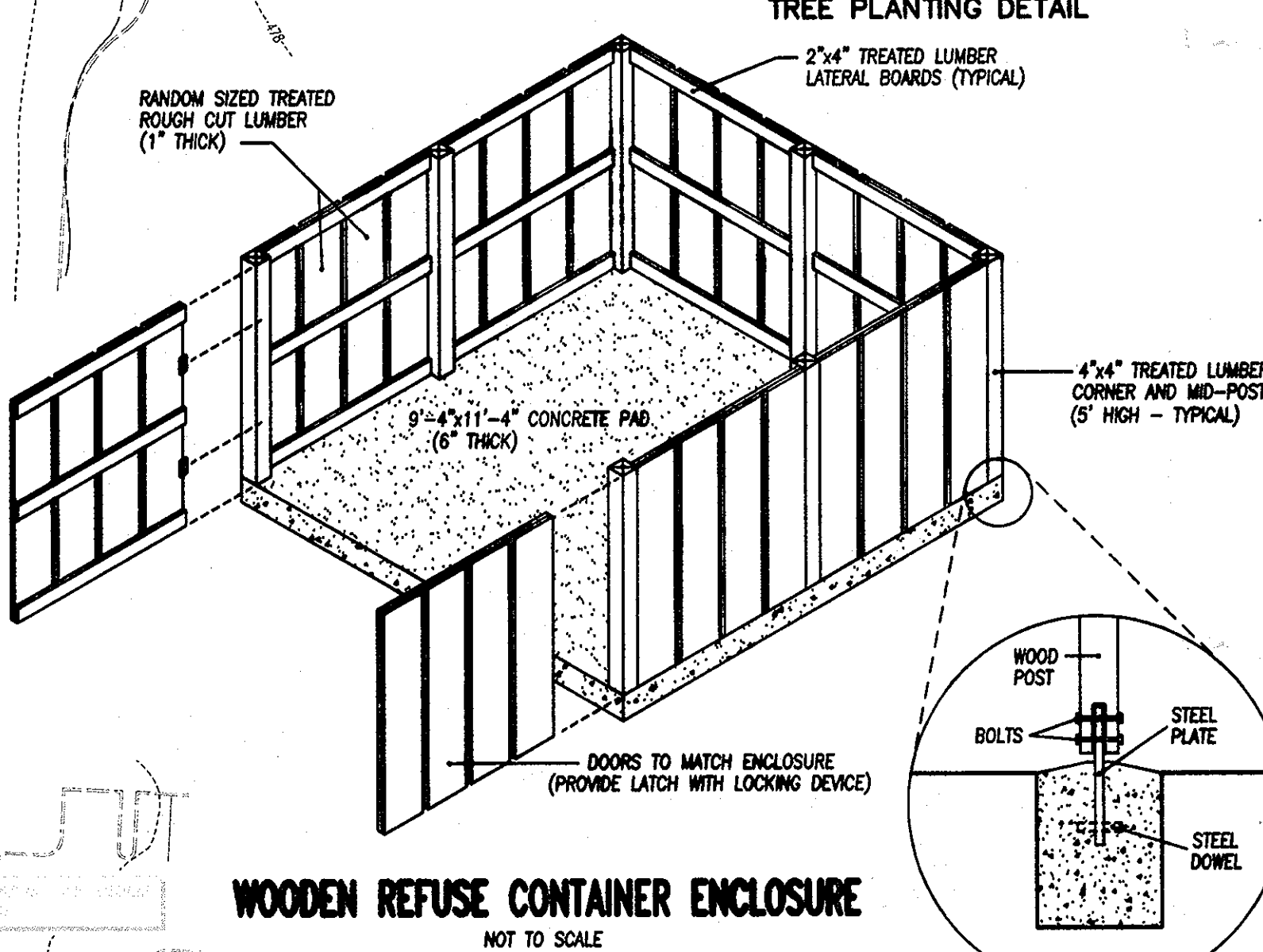
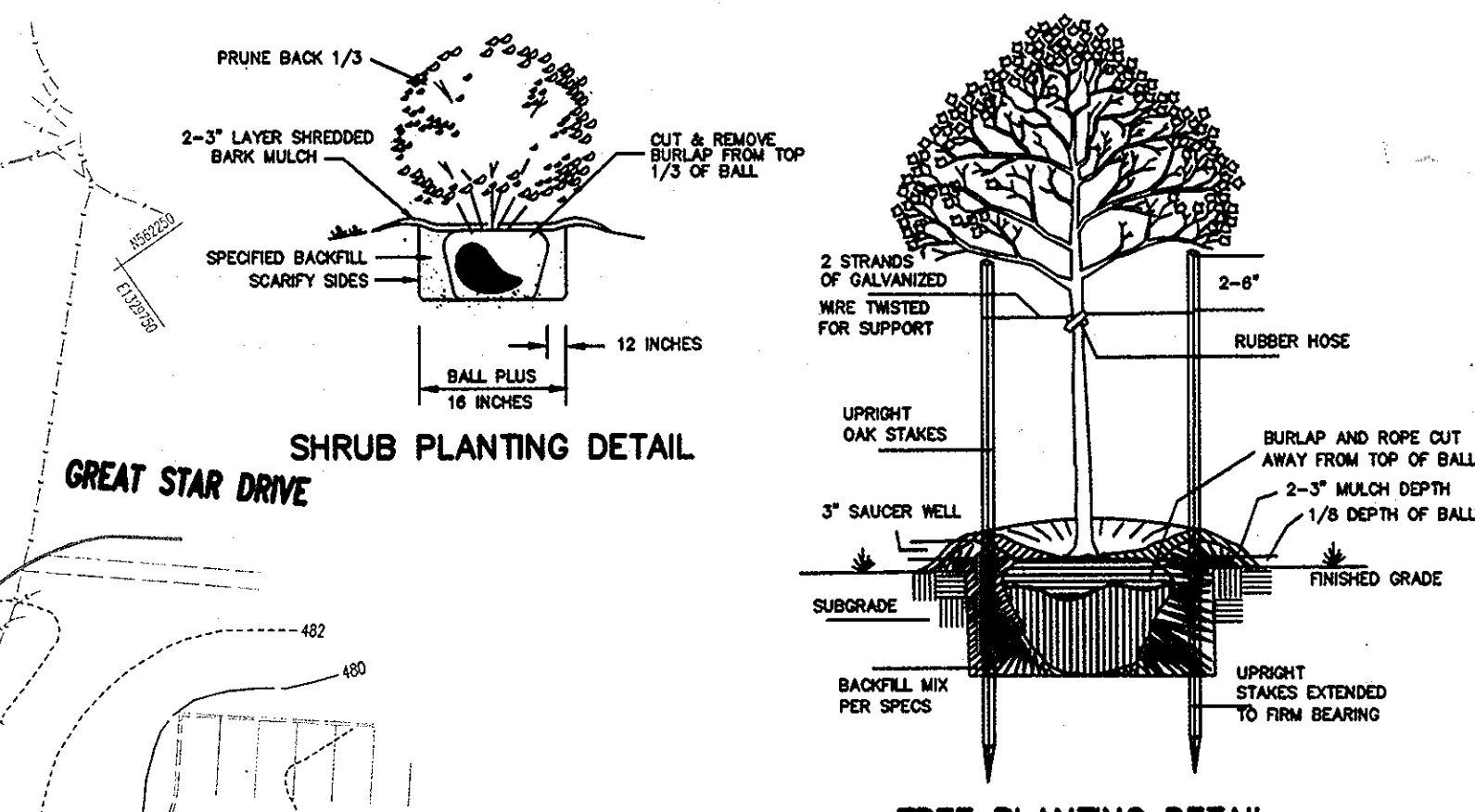
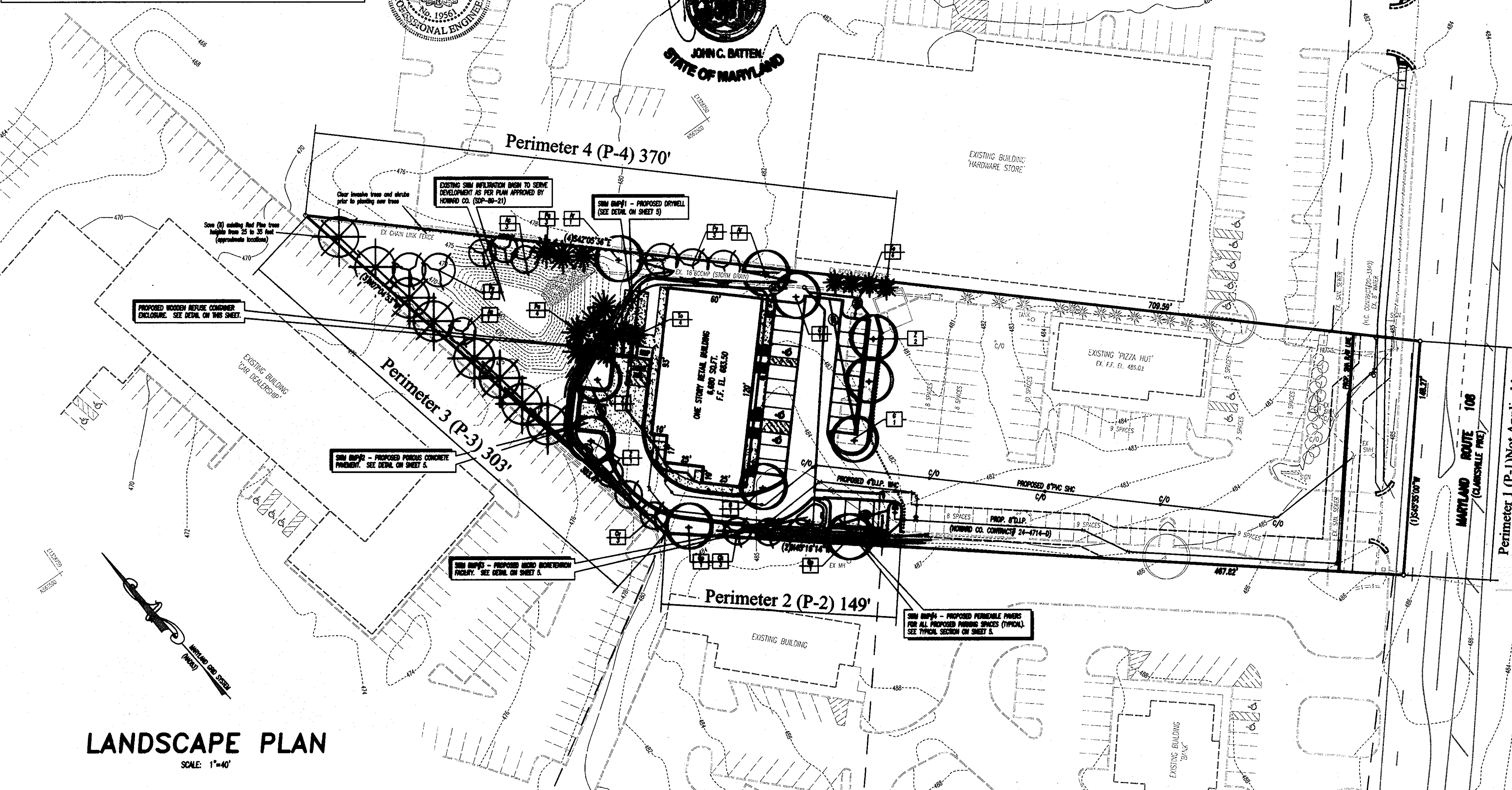
PETER L. PODOLAK, REG. NO. 19561  
STATE OF MARYLAND PROFESSIONAL ENGINEER

DATE  
1-18-14



**LANDSCAPE SPECIFICATIONS**

- All nursery stock shall conform to American Association of Nurserymen, Inc. standards as described in American Standard for Nursery Stock, current ANSI A-300 specifications.
- All nursery stock shall be planted in accordance with the procedures outlined in the Landscape Guidelines for Maryland, Washington, D.C. and Virginia, latest edition.
- A minimum of three (3) inches of topsoil on all disturbed areas to be landscaped, seeded or sodded is required.



**LANDSCAPE PLAN**  
SCALE: 1"=40'

**STANDARD LANDSCAPE PLAN NOTES**  
AT THE TIME OF INSTALLATION ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN SHALL COMPLY WITH THE HEIGHT OR CALIBER REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.

THE OWNER, TENANTS AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND, WHEN NECESSARY, REPAIRED OR REPLACED.

- GENERAL NOTES**
- NO SUBSTITUTIONS OF PLANT MATERIAL SHALL BE PERMITTED WITHOUT WRITTEN AUTHORIZATION OF THE LANDSCAPE ARCHITECT OR HOWARD COUNTY PLANNING AND ZONING. THIS SHALL APPLY TO SUBSTITUTIONS OF SPECIES, SIZE, QUANTITY AND LOCATION.
  - TREES SHALL BE LOCATED A MINIMUM OF 5' FROM ANY SEWER OR WATER LINES. CONTRACTOR IS LIABLE FOR DAMAGE TO ANY AND ALL PUBLIC AND PRIVATE UTILITIES.
  - CONTRACTOR WILL ADJUST PLANT LOCATIONS SLIGHTLY AS NECESSARY TO BE CLEAR OF DRAINAGE SWALES AND UTILITIES. FINISHED PLANTING BEDS SHALL BE GRADED SO AS NOT TO IMPEDE DRAINAGE AWAY FROM BUILDINGS.
  - SEEDING AREAS THAT WASH OUT MUST BE FILLED AND GRADED AND RESEEDED AS NECESSARY. SOME TYPE OF ANCHORING METHOD SHOULD THEN BE USED TO HOLD THE SEED AND MULCH IN PLACE. THIS IS ESPECIALLY CRITICAL AROUND WATER COURSES, IN SWALES AND AREAS OF CONCENTRATED FLOWS AND ON SLOPES.
  - THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 18.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.
  - FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING IN THE AMOUNT OF \$7,860 (AS TABULATED ON THE PLANT LIST) IS TO BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY REQUIREMENTS.
  - THERE ARE NO SIGNIFICANT VEGETATIVE COMMUNITIES OR SPECIMEN TREES ON SITE.
  - PLANS AND PLANTING MUST CONFORM TO THE 'LANDSCAPE SPECIFICATIONS GUIDELINES' LATEST EDITION BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF MD, DC AND VA.

**WARRANTY AND CERTIFICATION**  
IN ORDER TO OBTAIN A RELEASE OF SURETY, A QUALIFIED LANDSCAPE PROFESSIONAL MUST SUBMIT WRITTEN CERTIFICATION TO THE HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING THAT HEALTHY PLANT MATERIALS WERE PROPERLY INSTALLED IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN AND THAT A ONE YEAR GUARANTEE HAS BEEN EXECUTED. THE GUARANTEE MUST COVER REPLACEMENT OF ANY AND ALL PLANTS THAT ARE NOT IN HEALTHY CONDITION WITHIN ONE YEAR OF THE INITIAL INSPECTION AND APPROVAL. A COPY OF THE GUARANTEE MUST BE SUBMITTED ALONG WITH THE PROFESSIONAL CERTIFICATION.

I/We certify that landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the landscape manual. I/We further certify that upon completion of the project, a letter of landscape installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

*J. Selby* Other  
*W. Selby* Date

**OWNER / DEVELOPER**  
S & W MANAGEMENT, INC. a Kansas Corporation  
7070 OAKLAND MILLS ROAD  
COLUMBIA, MARYLAND 21046  
PHONE: (410) 720-6336

**LANDSCAPE PLAN 'AS-BUILT'**  
SHEET 10 OF 12

CURRENT TITLE REFERENCE: PIZZA HUT OF MARYLAND, INC. DEED: 1508/215 2.2133 ACS.4  
#12268 CLARKSBURG PIKE - RETAIL BUILDING TAX MAP: 34 BLOCK: 6 PARCEL: 27 ACCT. NO.: 05-355656  
SCALE: 1"=40'  
FEBRUARY 11, 2011 REVISED: MAY 11, 2011, JULY 12, 2011, JULY 20, 2011

**Pizza Hut Retail-Commercial Bldg. - Clarksville**

ID	QUANT	BOTANIC NAME	COMMON NAME	SIZE	ROOT	SEASONING	Planting Units	Cost Estimate		
								UNIT	TOTAL	UNIT
<b>14 Major Deciduous Trees</b>										
Ar	6	Acer rubrum 'October Glory'	October Glory Maple	2.0' cal.	B&B	random	6	\$300	\$1,800	\$300
G	3	Gleditsia triacanthos 'Shademaster'	Shademaster Locust	2.0' cal.	B&B	random	3	\$300	\$900	\$300
Qp	2	Quercus phellos	Willow Oak	2.0' cal.	B&B	random	2	\$300	\$600	\$300
Z	4	Zelkova serrata 'Green Vase'	Green Vase Zelkova	2.0' cal.	B&B	random	4	\$300	\$1,200	\$300
<b>16 Evergreen Trees</b>										
Pa	7	Prunus alba	Norway Spruce	6'	B&B	random	3.5	\$150	\$1,050	\$300
To	8	Thuja occidentalis 'Nigra'	Dark Green Arborvitae	6'	B&B	random	4	\$150	\$1,200	\$300
<b>14 Minor Deciduous Trees</b>										
Ac	3	Amaranthus canadensis	Serviceberry	6'	B&B	random	1.5	\$150	\$450	\$300
Cy	3	Cornus florida 'Winter King'	Winter King Hawthorn	1.8' cal.	B&B	random	1.5	\$150	\$450	\$300
Ci	3	Cornus kousa	Kousa Dogwood	6'	B&B	random	1.5	\$150	\$450	\$300
Py	5	Prunus yedoensis	Yoshino Cherry	1.8' cal.	B&B	random	2.5	\$150	\$750	\$300
total planting units = 28.0								total = \$9,000		

**SCHEDULE A**  
Perimeter Landscape Edge

CATEGORY	P-1		P-2		P-3		P-4	
	non-residential adjacent to roadways	parking lot adjacent to roadways	non-res. adjacent to perimeter property	non-res. adjacent to perimeter property	non-res. adjacent to perimeter property	non-res. adjacent to perimeter property	non-res. adjacent to perimeter property	non-res. adjacent to perimeter property
Linear feet			140'	300'	370'			
credit for existing plants (yes, no, linear feet) describe below if needed					yes - 240'			
credit for wall, fence or berm (yes, no, linear feet) describe below if needed				none	none	none		
number of plants required				9	1	7		
shade trees								
number of plants provided				2	1	5		
shade trees								
number of plants provided				2	1	2		
other trees (2:1 substitution)				2		2		
shrubs (10:1 substitution)								
describe plant sub. credits (below if needed)								
				schedule A	schedule B	schedule D	TOTAL	
Shade Trees				0	4	2	14	
Evergreen Trees				2		9	11	
Other trees (2:1 substitution)				4		10	14	
Shrubs							0	

**SCHEDULE B**  
Parking Lot Internal Landscaping

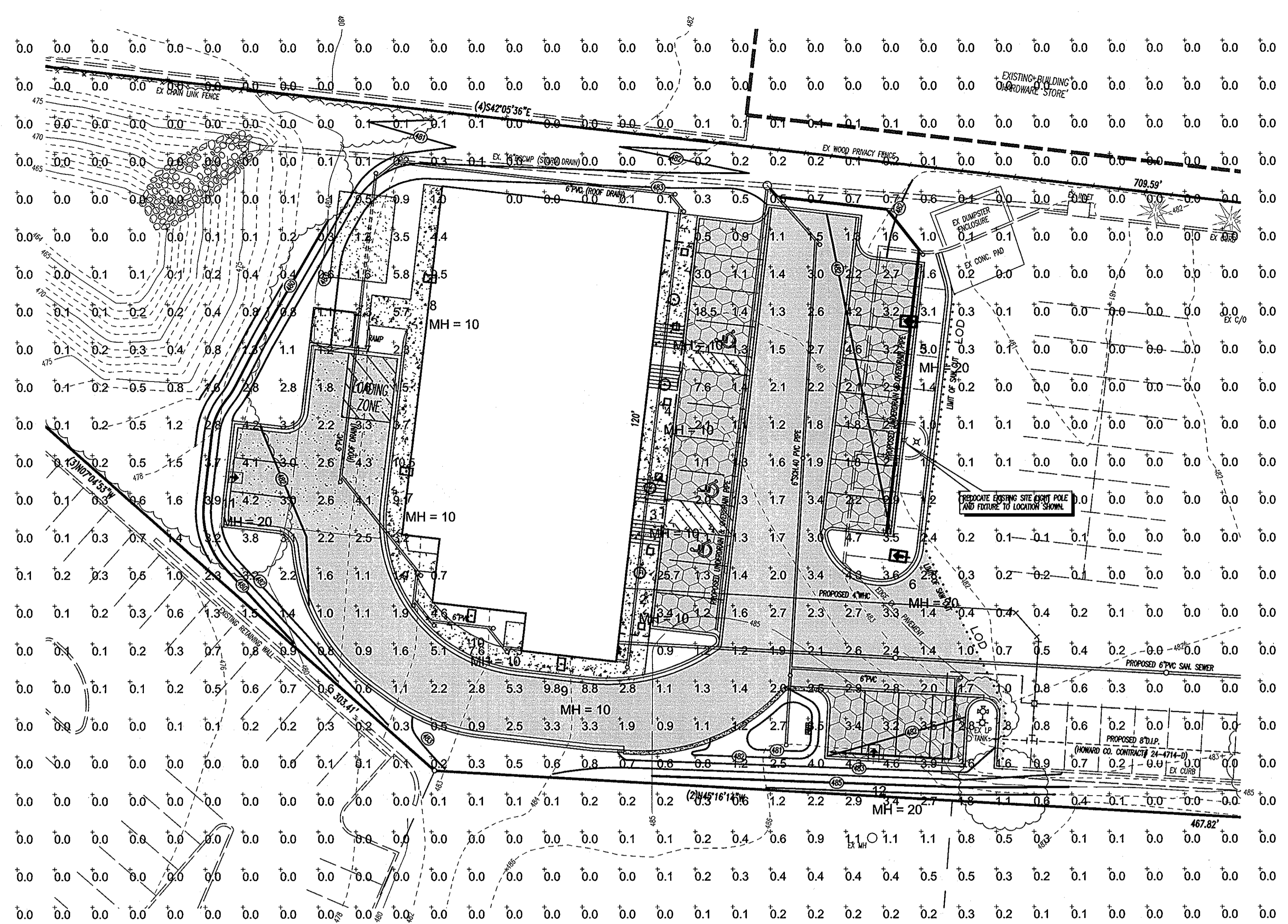
Number of Parking Spaces	26
Number of Trees required	2
Number of trees provided	4
Shade trees	
Other trees (2:1 substitution)	
<b>SCHEDULE D</b> Storm water Management Area Landscaping	
Linear Feet of Perimeter	340'
Number of Trees required	7
Shade trees	
Evergreen Trees	9
Credit for Existing Vegetation (no, Yes and %)	no
Credit for Other Landscaping (no, Yes and %)	no
Number of trees provided	2
Shade trees	
Other trees (2:1 substitution)	10
Evergreen Trees	9

**APPROVED: DEPARTMENT OF PLANNING AND ZONING**

Chief, Department of Planning and Zoning  
*John C. Batten* J.C.B.  
Date: 1/18/14

Chief, Division of Land Development  
*John C. Batten* J.C.B.  
Date: 1/18/14

Director  
*John C. Batten* J.C.B.  
Date: 1/18/14



### PHOTOMETRIC SITE LIGHTING PLAN

SCALE: 1"=20'

Lighting shall be shielded and directed so that it does not shine directly onto any adjacent properties. It shall not illuminate residential properties and shall not produce glare which could cause a hazard for motor vehicle operations in the vicinity of the site. Lighting shall comply with Section 134 of the Howard County Zoning Regulations.

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description	[TEST]
	4	L1	SINGLE	14000	0.720	1238M175EB-ST850L	2663
	2	L2	SINGLE	22000	0.720	CR1-P25-H4P	3284
	4	L3	SINGLE	14000	0.720	LMC-150P	L10171
	2	L4	SINGLE	22000	0.720	CR1-P25-H3P	3283

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts	ILLUMINANCE	Fc	0.65	25.7	0.0	N.A.	N.A.
WALKWAY FRONT OF STORE	ILLUMINANCE	Fc	15.60	31.4	3.5	4.46	8.97
PARKING	ILLUMINANCE	Fc	2.75	25.7	0.9	3.06	28.56

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*[Signature]*  
Chief, Development Engineering Division  
Date: 1/10/12

*[Signature]*  
Chief, Division of Land Development  
Date: 1/12/12

*[Signature]*  
Director  
Date: 1/12/12

#### LAREDO SERIES

Outdoor Lighting

**APPLICATIONS**

- Decorative cast aluminum housing and door. Rugged protection for internal components. Provides heat sink and long ballast life.
- Full cutoff distribution - flat glass and segmented reflector provides wide spread with an environmentally-friendly light control. Standard, removable front shims on single lamp units, reduces forward beam projection while maintaining lateral throw, if desired.
- Vertical lamp position (lamp is optional) provides maximum performance and life.
- Three point fix over recessed wiring boxes. Three 1/2" conduit hubs allow lead-thru surface wiring capability.
- Wide selection of wattage and sources including pulse start, electronic metal halide and two-lamp fluorescent systems.
- 600 Series powder paint for lasting appearance in outdoor environments.
- Multiple options customize including a tool-free latch, which allows re-lamping of H.I.D. units from the ground, photocell for energy savings, integral ballast back-up battery for fluorescent units, ballast, quartz standby and ballast for remote power, lamps and fine standard fixtures.

**LISTINGS**

- USA certified to UL 1598 for use in wet locations.

**ORDERING INFORMATION**

ORDERING EXAMPLE: LMC 175P S 1 TL

Series Wattage Voltage Type Options

**SERIES**

Series	Wattage	Voltage	Options
LMC	175W	120V	1 TL (120, 277, 247V)
LMC	175W	277V	1 TL (120, 277, 247V)
LMC	175W	277V	1 TL (120, 277, 247V)

#### SITE LIGHTING - TYPE F

PROPOSED BUILDING MOUNTED SITE LIGHTING.

**APPLICATIONS**

- Area and wall lighting.
- IES Type II, III, IV, V (square) light distribution.
- Flat lens design for full cutoff control.
- 175W to 400W lamps in HPS, MH, Super MH, and Pulse Start for design flexibility.
- Mounts on standard, weight arms for poles or on wall bracket for a uniform project look.
- 3 standard, 2 premium, and custom colors are available.

**LISTINGS**

- UL and CSA certified for outdoor use in wet locations.

**ORDERING INFORMATION**

ORDERING EXAMPLE: CR1 - A - H17 - H2 - F - Q - DB - PR1

Series Mounting Wattage/Source Color Options

**SERIES**

Series	Wattage/Source	Options
CR1	175W (E2-E)	WBAD
CR1	175W (E2-E)	WBAD
CR1	175W (E2-E)	WBAD

#### CIMARRON SERIES

Outdoor Lighting

**APPLICATIONS**

- Area and wall lighting.
- IES Type II, III, IV, V (square) light distribution.
- Flat lens design for full cutoff control.
- 175W to 400W lamps in HPS, MH, Super MH, and Pulse Start for design flexibility.
- Mounts on standard, weight arms for poles or on wall bracket for a uniform project look.
- 3 standard, 2 premium, and custom colors are available.

**LISTINGS**

- UL and CSA certified for outdoor use in wet locations.

**ORDERING INFORMATION**

ORDERING EXAMPLE: CR1 - A - H17 - H2 - F - Q - DB - PR1

Series Mounting Wattage/Source Color Options

**SERIES**

Series	Wattage/Source	Options
CR1	175W (E2-E)	WBAD
CR1	175W (E2-E)	WBAD
CR1	175W (E2-E)	WBAD

#### SITE LIGHTING - TYPE B, C, & D

PROPOSED FREE STANDING LIGHTING TO BE MOUNTED ON 15FT. HIGH STEEL POLES.

**APPLICATIONS**

- Area and wall lighting.
- IES Type II, III, IV, V (square) light distribution.
- Flat lens design for full cutoff control.
- 175W to 400W lamps in HPS, MH, Super MH, and Pulse Start for design flexibility.
- Mounts on standard, weight arms for poles or on wall bracket for a uniform project look.
- 3 standard, 2 premium, and custom colors are available.

**LISTINGS**

- UL and CSA certified for outdoor use in wet locations.

**ORDERING INFORMATION**

ORDERING EXAMPLE: CR1 - A - H17 - H2 - F - Q - DB - PR1

Series Mounting Wattage/Source Color Options

**SERIES**

Series	Wattage/Source	Options
CR1	175W (E2-E)	WBAD
CR1	175W (E2-E)	WBAD
CR1	175W (E2-E)	WBAD

#### 12" Lensed One Lamp MH Downlights

### 1238M9 1238M10

One 175W or 250W M.H. ET/ET-28 Megal Base MH Lamp 120V or 277V

Hubbell Lighting, Inc.

**APPLICATIONS**

- Decorative cast aluminum housing and door. Rugged protection for internal components. Provides heat sink and long ballast life.
- Full cutoff distribution - flat glass and segmented reflector provides wide spread with an environmentally-friendly light control. Standard, removable front shims on single lamp units, reduces forward beam projection while maintaining lateral throw, if desired.
- Vertical lamp position (lamp is optional) provides maximum performance and life.
- Three point fix over recessed wiring boxes. Three 1/2" conduit hubs allow lead-thru surface wiring capability.
- Wide selection of wattage and sources including pulse start, electronic metal halide and two-lamp fluorescent systems.
- 600 Series powder paint for lasting appearance in outdoor environments.
- Multiple options customize including a tool-free latch, which allows re-lamping of H.I.D. units from the ground, photocell for energy savings, integral ballast back-up battery for fluorescent units, ballast, quartz standby and ballast for remote power, lamps and fine standard fixtures.

**LISTINGS**

- USA certified to UL 1598 for use in wet locations.

**ORDERING INFORMATION**

ORDERING EXAMPLE: LMC 175P S 1 TL

Series Wattage Voltage Type Options

**SERIES**

Series	Wattage	Voltage	Options
LMC	175W	120V	1 TL (120, 277, 247V)
LMC	175W	277V	1 TL (120, 277, 247V)
LMC	175W	277V	1 TL (120, 277, 247V)

#### SITE LIGHTING - TYPE G

PROPOSED RECESSED LIGHTING USED UNDER FRONT OF BUILDING OVERHANG.

**APPLICATIONS**

- Area and wall lighting.
- IES Type II, III, IV, V (square) light distribution.
- Flat lens design for full cutoff control.
- 175W to 400W lamps in HPS, MH, Super MH, and Pulse Start for design flexibility.
- Mounts on standard, weight arms for poles or on wall bracket for a uniform project look.
- 3 standard, 2 premium, and custom colors are available.

**LISTINGS**

- UL and CSA certified for outdoor use in wet locations.

**ORDERING INFORMATION**

ORDERING EXAMPLE: CR1 - A - H17 - H2 - F - Q - DB - PR1

Series Mounting Wattage/Source Color Options

**SERIES**

Series	Wattage/Source	Options
CR1	175W (E2-E)	WBAD
CR1	175W (E2-E)	WBAD
CR1	175W (E2-E)	WBAD

THERE IS NO 'AS-BUILT' INFORMATION PROVIDED ON THIS SHEET.

*[Signature]*  
Peter L. Podolak  
1-11-12

PETER L. PODOLAK, REG. NO. 19561  
STATE OF MARYLAND PROFESSIONAL ENGINEER

DATE

SITE LIGHTING PLAN PREPARED BY:

**HUBBELL**  
Hubbell Lighting, Inc.  
701 MILLENNIUM BLVD  
GREENVILLE, SC 29607

OWNER / DEVELOPER  
S & W MANAGEMENT, INC., a Kansas Corporation  
707 OAKLAND MILLS ROAD  
COLUMBIA, MARYLAND 21046  
PHONE: (410) 720-6336

CURRENT TITLE REFERENCE: PIZZA HUT OF MARYLAND, INC. DEED: 1608/215 2.2139 ACS.±  
5TH ELECTION DISTRICT

#12268 CLARKSVILLE PIKE - ZONED: B-2 TAX MAP: 34 BLOCK: 6 PARCEL: 27 ACCT. NO.: 05-355656

**LEON A. PODOLAK and ASSOCIATES, L.L.C.**

SHEET 11 OF 12

**STATE OF MARYLAND PROFESSIONAL ENGINEER**

*[Signature]*  
Peter L. Podolak  
Professional Engineer  
Reg. No. 19561

DATE: 11-11-12  
REVISION: COUNTY COMMENTS  
6-11-11  
7-12-11  
7-20-11  
12-2-11

DATE: Feb. 11, 2011  
SCALE: 1"=20'  
DRAWING NO.: SDP-11-037