

General Notes

- All construction shall be in accordance with the latest standards and specifications of Howard County plus MSHA standards and specifications if applicable.
- The contractor shall notify the Department of Public Works/Bureau of Engineering/Construction Inspection Division at 410-315-1880 at least five (5) working days prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work being done.
- The contractor shall verify the location and elevation of all existing utilities at least five (5) days prior to the start of construction to verify their location and elevation. The contractor shall notify the engineer immediately if the location is different than shown.
- The contractor shall coordinate the location of all water, sewer and drain house connections with the mechanical drawings.
- Traffic control devices, markings and signing shall be in accordance with the latest edition of the Maryland Manual of Uniform Traffic Control Devices (MUTCD).
- All paving markings shall be "Traffic white", unless otherwise noted.
- All plan dimensions are to face of curb unless otherwise noted.
- The existing topography is taken from field run survey with two foot contour intervals prepared by Silvanus Strider & Lane on January 24, 2005 and field verified by Darr McCune Walker, Inc in April 2010.
- The courses and coordinates shown hereon are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System. Howard County monument No's 47DA, 47EA, and 47GZ were used for this project.
- The contractor shall maintain a minimum of a 2.0 foot protective cover over all utilities during construction.
- Refer to Architectural drawings for exact building dimensions.
- There is no floodplain, wetlands, streams, buffers or 25% steep slopes located within the subject parcel.
- Project background information:
Tax Map: 47
Zoning: PEC
Election District: 6
Subdivision Name: Revitz Property Parcel F-1
Lot/Parcel: 167
Total Parcel Area: 10.410 Acres, Existing 10.410, F-07-055, F-07-059 and ZB 979M, PB-359, File Numbers: File #110101, F-01-15, F-02-131, F-07-95, and F-08-93, F-08-207, F-11-014.
- All outdoor lighting shall comply with the requirements of Zoning Section 134. All exterior light fixtures shall be oriented to direct light inward and downward on-site and away from all adjoining residential properties and public roads in accordance with Section 134 of the Howard County Zoning Regulations.
- Handicap parking details and signage shall be in accordance with ADAAG (Americans with Disabilities Act Accessibility Guidelines) and COMAR (Code of Maryland Regulations) Section 5.02.02.
- Any damage to the county owned right-of-way shall be corrected at the contractor's expense.
- All sidewalks shall be cross sloped at 1/4 inch per foot.
- Trench bedding for storm drainage structures shall be in accordance with Howard County Standard G2.01.
- All inlets shall be constructed in accordance with Howard County standards or MSHA standards as specified on the structure.
- All materials and construction shall be in strict accordance with the Howard County Design Manual, Volume IV.
- Building setback restrictions from property lines and right-of-way lines of any public road shall be in accordance with the PEC Zoning Regulations and Record Plat.
- All onsite driveways and parking areas to be privately maintained.
- All curb radii are to be 5 feet unless otherwise labeled and all curbs are to be 6 inches in height.
- All equipment and tools to be placed so as not to interfere with vehicular or pedestrian movement unless specified.
- The contractor shall be responsible for any damage to existing property which may occur as a result of negligence during the execution of work.
- All proposed handicap ramps shall be in accordance with current ADA standards.
- This property is located within the Metropolitan District.
- Electric, gas, cable, telephone and lighting lines are designed by others.
- This plan has been prepared in accordance with the provisions of section 16.124 of the Howard County Code and Landscaping shall be provided in accordance with the Landscape Plan and financial surety shall be paid with the DPW Developer's Agreement in the amount of \$12,000.00 for 37 shade trees and 52 shrubs.
- (From plat #15783) As a result of the Preliminary Equivalent Sketch Plan, SP-01-12, being submitted to the County for review prior to 11/15/01, on 04/14/01, this subdivision is subject to compliance with the fourth edition of the Subdivision and Land Development Regulations. In addition, because SP-01-12 did not obtain a signature approval prior to 11/01/01, this subdivision is subject to compliance with County Bill 02-2001, which amends the zoning regulations and the amended Zoning Regulations which became effective on 01/08/02. This SDP is subject to the amended Fifth Edition of the Subdivision and Land Development Regulations and the development or construction on this property must comply with the setback and buffer regulations in effect at the time of submission of the SDP, waiver or grading and building permits.
- The Forest Conservation requirements for this development were previously addressed under DPZ File #15783 with 26.2 acres of retention and 5.20 acres of reforestation planting provided as part of the Revitz Property Plan.
- An existing SWM pond, privately owned and maintained, designed and approved under F-02-11 meets the requirements for WQV and Cvp Management. Existing SWM pond is owned and maintained by the Emerson Community Association. Key will be met as shown on the Stormwater Management plan with stone recharge trenches, which shall be owned and maintained by the owner.
- The Declaration of Easement Access Easement was recorded on December 20, 2006, Liber 10436, Folio 105.
- The existing utilities shown within Sterling Drive are based on approved Water Drawings, Contract No. 24-4014-D and were field located by DMW, Inc on May 13, 2010.
- Water and Sewer are public, Contract No. 24-4683-D.
- The open space requirements for this development were previously addressed under DPZ file no. F-02-11, Plat #15783 recorded on January 27, 2003. A total of 40.275 of open space is provided on Parcels J, O, P, Q, R, I, K, L, M and N. No open space exists on Parcel F.
- No cemeteries or historic structures exist within the boundaries of the site.
- The proposed building shall have an Automatic Fire Protection Sprinkler System (by others).
- Street light placement and the type of fixture and poles shall be in accordance with the Howard County Design Manual, Volume III (2006), section 5.5A. A minimum of 20 shall be maintained between any street light and any trees.
- All sign posts used for traffic control signs installed within the county right-of-way shall be mounted on a 2" galvanized steel, perforated, square tube post (1 1/2" gauge) installed into a 2-1/2" galvanized steel, perforated, sleeve (12 gauge) 3' long. A galvanized steel pole cap shall be mounted on top of each post.
- Site deed reference: Deed 1147911 Plat no. 15787, 21277 & 21278.
- This site complies with the Howard County Green Building law set forth under Title 3, Subtitle 10 of the Howard County Code and section 3.1005(a) of the Code. Registration with the LEED Building Council and the applicable LEED registration fee was paid on 12/18/2009. The LEED New Construction checklist was prepared, signed, and dated by the project LEED accredited professional and was received by DPZ on June 2, 2010. The proposed building is tentatively certified by LEED with a Silver rating.
- The Traffic Study for this project was prepared by Traffic Concepts, Inc. in May 2010 and approved on July 2, 2010.
- The proposed project is in compliance with the APFO Study for the Revitz property prepared by Wills & Associates and Approved Feb. 1, 2002.
- The subject property is zoned PEC per the Jan. 8, 2002 Comprehensive Zoning Plan.
- No grading, removal of vegetative cover or trees, paving and new structures shall be permitted within the required wetlands, stream(s) or there buffers, forest conservation easement areas and 100' year floodplain.
- The public water main contract number is: 24-4683-D.

PROPOSED BUILDING FLOOR AREA	
30,128 SF	1ST FLOOR AREA
30,114 SF	2ND FLOOR AREA
30,114 SF	3RD FLOOR AREA
30,114 SF	4TH FLOOR AREA
28,520 SF	5TH FLOOR AREA
149,990 SF	TOTAL FLOOR AREA

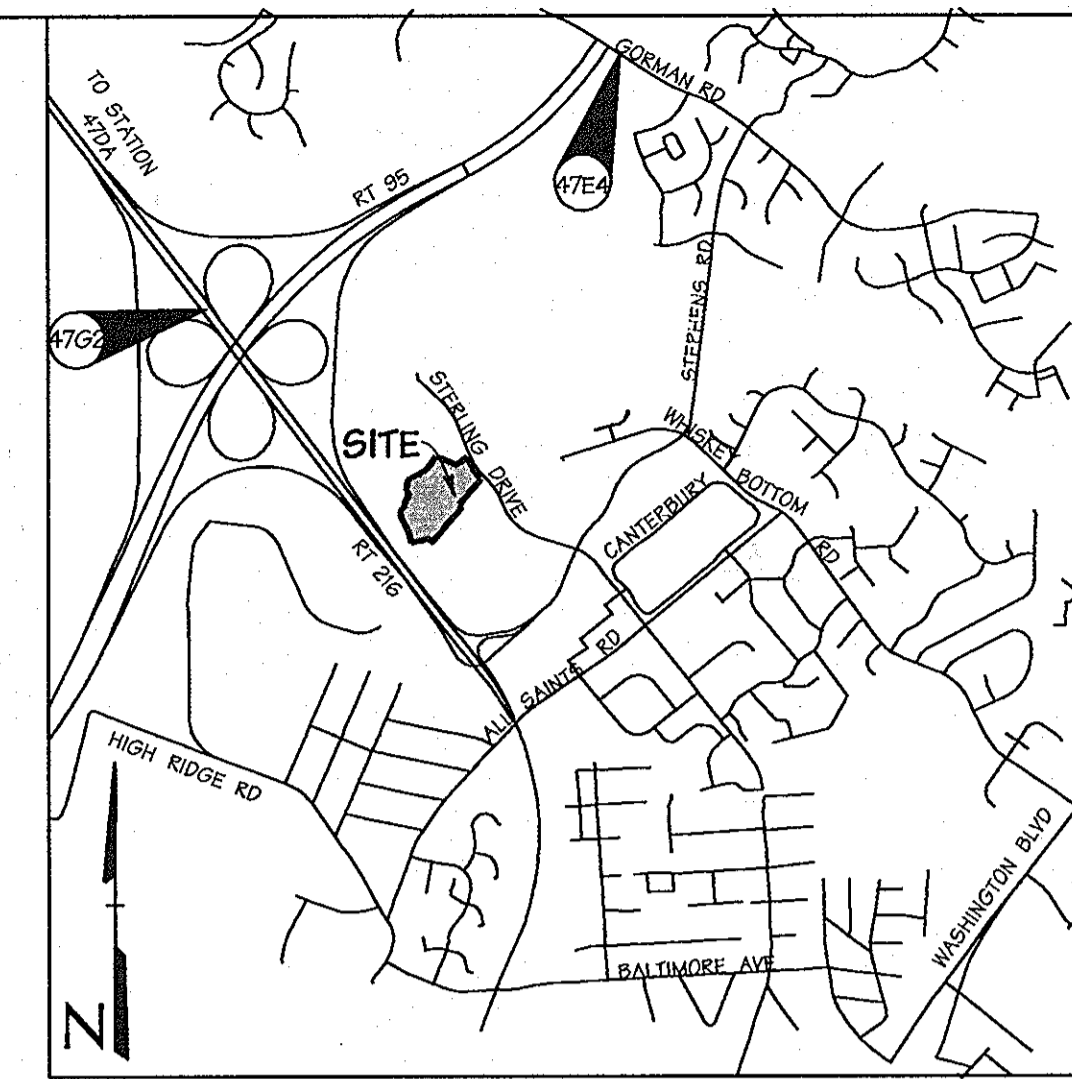
Site Development Plan for Emerson Parcel F (Revitz Property)

Howard County

Maryland

Sheet Index

SHEET	DESCRIPTION
1	COVER SHEET
2	SITE PLAN
3	GRADING AND UTILITY PLAN
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7	SITE DETAILS
8	EROSION & SEDIMENT CONTROL PLAN
9	EROSION & SEDIMENT CONTROL DRAINAGE AREA MAP AND DETAILS
10	EROSION & SEDIMENT CONTROL DETAILS
11	EROSION & SEDIMENT CONTROL DETAILS
12	STORM DRAIN DRAINAGE AREA & SOILS MAP
13	STORM DRAIN PROFILES
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15	STORM DRAIN & SEWER PROFILES
16	LANDSCAPE PLAN
17	LANDSCAPE DETAILS
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19	SITE DETAILS
20	SITE DETAILS



VICINITY MAP

Scale: 1"=2000'
HOWARD COUNTY ADC MAP NUMBER 5053, BLOCK H9

BENCHMARK

DESCRIPTION

COORDINATES IN MARYLAND NAD83(91) (HORIZONTAL) AND NGVD29 (VERTICAL) DATUMS.

47G2 NORTHING: 162440.1212	47E4 NORTHING: 163326.2295
EASTING: 411853.9279	EASTING: 413136.2950
ELEVATION: 364.210F.	ELEVATION: 338.909F.
47DA NORTHING: 163191.9104	
EASTING: 411286.5759	
ELEVATION: 96.2879F.	

AS-BUILT CERTIFICATION FOR PSWM

NOTE: THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.

SIGNED: MELVIN CHARLES WALKER, P.E. # 16312, 5/23/12



Site Analysis Data Chart

- General Site Data
 - Present Zoning: PEC per the Comprehensive Plan, Feb. 2, 2004. The plan is subject to the Comp Lite Zoning Regulation amendments effective on July 29, 2006.
 - Applicable DPZ File References: File # 16604, 18058, F-07-055, ZB-979M, S-93, F-01-25, SP-01-15, PB-359, F-07-055, F-07-059, F-08-93, and F-08-207, F-11-014.
 - Proposed Use: 5-Story commercial office building
 - Proposed Water: Public
 - Proposed Sewer: Public
 - Any other relevant information: N/A
 - Area of steep slopes: 0 Acres
 - Area of floodplain: 0 Acres
- Area Tabulation
 - Total Site Area: Existing - 10.410 - 10.410 Ac.
 - Limit of Disturbed Area: 459,990 SF / 10.56 Acres
 - Total Impervious Area: 253,110 SF / 5.81 Acres
 - Building Coverage of Site: 0.70 Acres and 6.7% of Proposed Gross Area
- Parking Space Data
 - Number of Parking Spaces Required by Zoning Regulations and Criteria: 524
 - Total Includes:
 - 276 Standard spaces
 - 31 Low Emitting / Fuel Efficient Vehicle spaces
 - 13 Handicap spaces
 - 86 Compact & Motorcycle

ADDRESS CHART

PARCEL NUMBERS	STREET ADDRESS
PARCEL F-1	9055 STERLING DRIVE

APPROVED: HOWARD COUNTY DEPT. OF PUBLIC WORKS

Wills & Associates, Inc. 10-8-10
CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING

Robert W. Matis, RLS 605 11-18-10
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

APPROVED: HOWARD COUNTY DEPT. OF ENGINEERING

Robert W. Matis, RLS 605 11/18/10
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

APPROVED: DIRECTOR

Robert W. Matis, RLS 605 11/18/10
DIRECTOR DATE

EMERSON PARCEL F-1 REVITZ PROPERTY

5-STORY COMMERCIAL OFFICE BUILDING
OWNER/DEVELOPER:
EMERSON DEVELOPMENT VII LLC
1 TEXAS STATION COURT, SUITE 200
TIMONIUM, MARYLAND 21093-8288
(443) 689-8000

DMW
DAFT MCCUNE WALKER INC.
200 EAST PENNSYLVANIA AVENUE • TOWSON, MD 21286
P: 410.296.3333 F: 410.254.4705 WWW.DMW.COM
A TEAM OF LAND PLANNERS, LANDSCAPE ARCHITECTS, ENGINEERS, SURVEYORS & ENVIRONMENTAL PROFESSIONALS

AS BUILT NOT REQUIRED

SURVEY SERVICES OF MD, LLC
BY: ROBERT W. MATIS - RLS 605

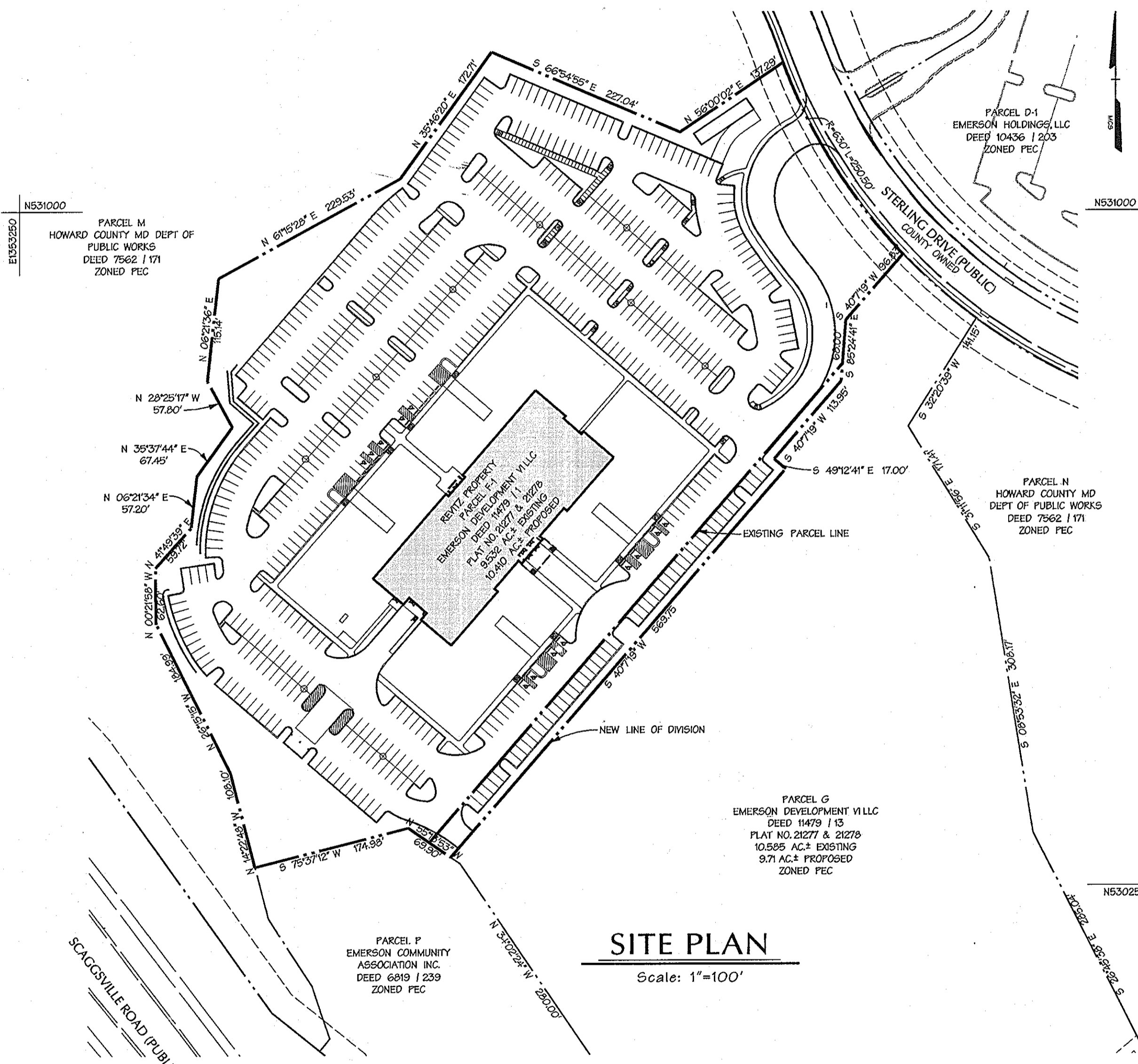


PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 8061, EXPIRATION DATE: 08/28/11

10-4-10
Date

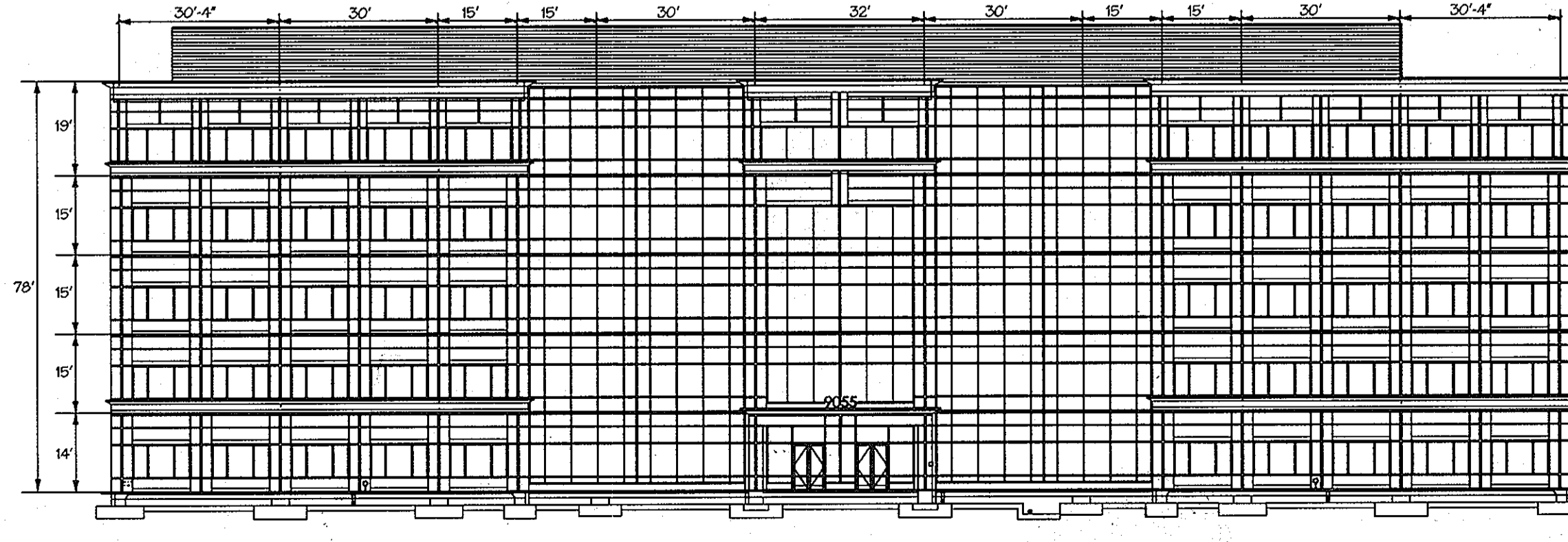


Professional Engr. No. 8061



SITE PLAN

Scale: 1"=100'



BUILDING ELEVATION

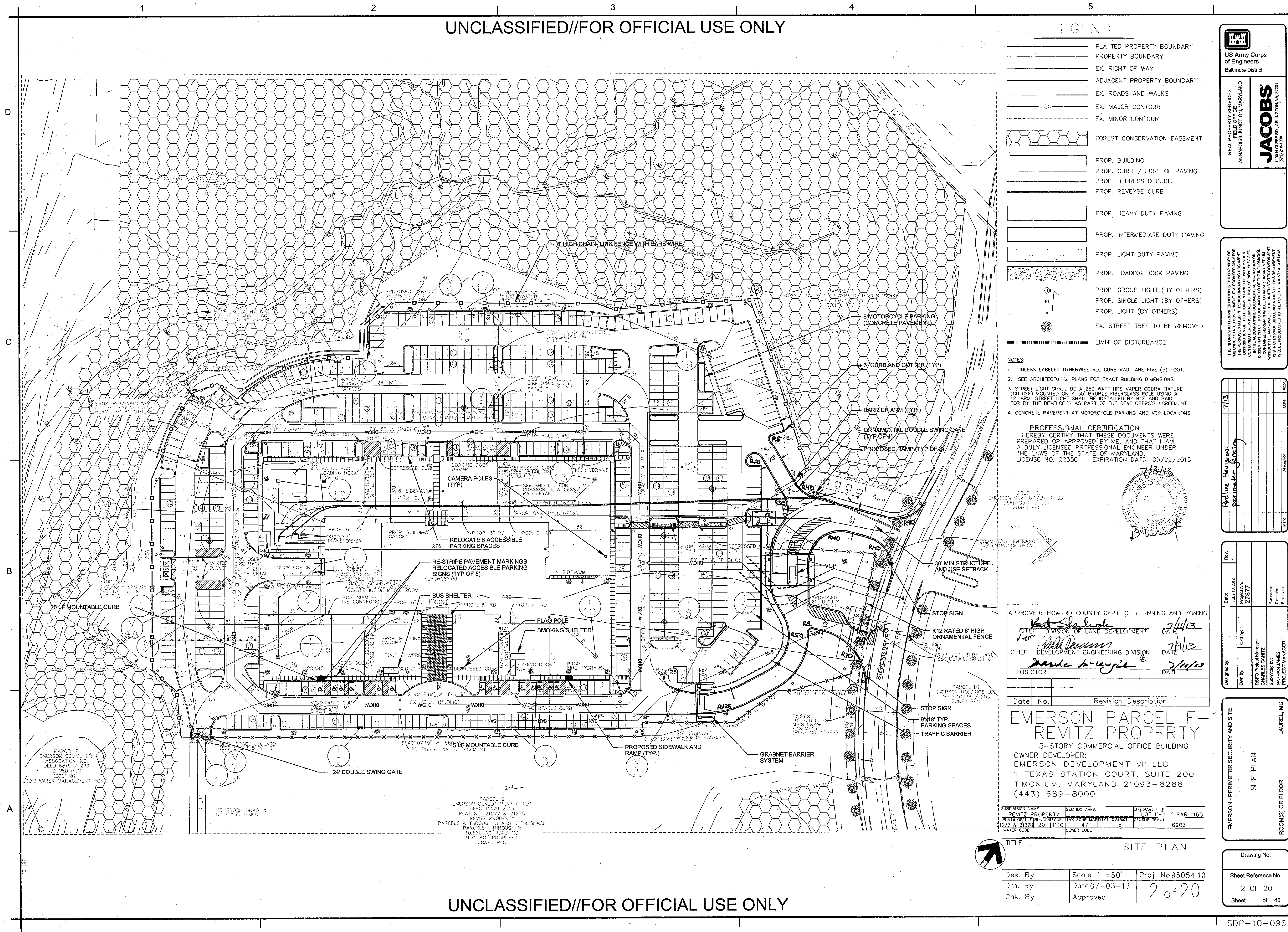
Not to Scale
BUILDING FACADE TO BE CONCRETE/MASONRY AND GLASS

DATE	NO.	REVISION DESCRIPTION
9/5/10	1	Parking & Additional sheets

DES. BY	CHK. BY	SCALE	DATE	PROJ. NO.
THR/JDF	CRH	1"=100'	09-29-10	95054.10

Professional Engr. No. 8061 Approved 1 of 18
SDP-10-096 20

REVISED SDP

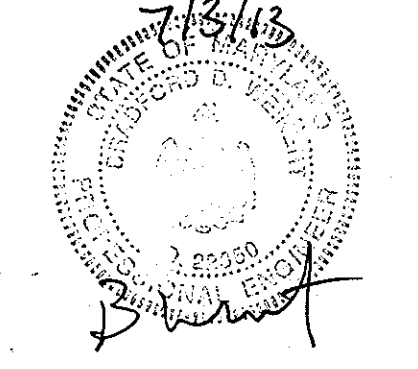


LEGEND

- PLATTED PROPERTY BOUNDARY
PROPERTY BOUNDARY
EX. RIGHT OF WAY
ADJACENT PROPERTY BOUNDARY
EX. ROADS AND WALKS
EX. MAJOR CONTOUR
EX. MINOR CONTOUR
FOREST CONSERVATION EASEMENT
PROP. BUILDING
PROP. CURB / EDGE OF PAVING
PROP. DEPRESSED CURB
PROP. REVERSE CURB
PROP. HEAVY DUTY PAVING
PROP. INTERMEDIATE DUTY PAVING
PROP. LIGHT DUTY PAVING
PROP. LOADING DOCK PAVING
PROP. GROUP LIGHT (BY OTHERS)
PROP. SINGLE LIGHT (BY OTHERS)
PROP. LIGHT (BY OTHERS)
EX. STREET TREE TO BE REMOVED
LIMIT OF DISTURBANCE

- NOTES:
1. UNLESS LABELED OTHERWISE ALL CURB RADI ARE FIVE (5) FOOT.
2. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
3. STREET LIGHT SHALL BE A 250 WATT HPS VAPER COBRA FIXTURE (CUTOFF) MOUNTED ON A 30' BRONZE FIBERGLASS POLE USING A 12' ARM. STREET LIGHT SHALL BE INSTALLED BY BGC AND PAID FOR BY THE DEVELOPER AS PART OF THE DEVELOPER'S OBLIGATION.
4. CONCRETE PAVEMENT AT MOTORCYCLE PARKING AND VCP LOCATIONS.

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 22350 EXPIRATION DATE: 05/22/2015



APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING
Chief, Division of Land Development: David A. Taylor
Chief, Development Engineering Division: Charles Cantiz
Director: David A. Taylor

EMERSON PARCEL F-1
REVITZ PROPERTY
5-STORY COMMERCIAL OFFICE BUILDING
OWNER DEVELOPER:
EMERSON DEVELOPMENT VII LLC
1 TEXAS STATION COURT, SUITE 200
TIMONIUM, MARYLAND 21093-8288
(443) 689-8000

Table with columns: SUBDIVISION NAME, SECTION AREA, LOT PARCEL #, PLANNING DISTRICT, TAX ZONE, WAREHOUSE DISTRICT, CENSUS TRACT, WATER CODE, SEWER CODE.

Table with columns: TITLE, SITE PLAN, Des. By, Scale 1" = 50', Proj. No. 95054.10, Dwn. By, Date 07-03-13, 2 of 20, Chk. By, Approved.

JACOBS REAL PROPERTY SERVICES FIELD OFFICE ANNAPOLIS JUNCTION, MARYLAND 1100 HIGGINS RD., ANNAPOLIS, VA 22014 (410) 298-1000

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Revision table with columns: Rev., Date, Description, Mark.

Designated by table with columns: Date, Project No., Dwn. By, RSD Project Manager, Submitted by, Project Manager.

EMERSON - PERIMETER SECURITY AND SITE SITE PLAN ROOM(S) OR FLOOR LAUREL, MD

Table with columns: Drawing No., Sheet Reference No., Sheet of 45.

LEGEND

- PROPERTY BOUNDARY
- EX. RIGHT OF WAY
- ADJACENT PROPERTY BOUNDARY
- EX. ROADS AND WALKS
- EX. MAJOR CONTOUR
- EX. MINOR CONTOUR
- 280 --- PROP. MAJOR CONTOUR
- 280 --- PROP. MINOR CONTOUR
- DRAINAGE & UTILITY EASEMENT
- LIMIT OF DISTURBANCE
- PROP. BUILDING
- PROP. CURB / EDGE OF PAVING
- PROP. DEPRESSED CURB
- PROP. SINGLE LIGHT (BY OTHERS)
- PROP. LIGHT (BY OTHERS)

- GENERAL NOTES:
1. APPLICANT OWNS PARCELS "F" AND "G".
 2. CONTRACTOR TO MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATION AND LOADING DOCK AREA AT ALL TIMES DURING CONSTRUCTION.
 3. CONTRACTOR TO COORDINATE LOCATION OF UTILITY CONNECTIONS TO BUILDING WITH ARCHITECTURAL PLANS.

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 22350. EXPIRATION DATE: 05/22/2015.



US Army Corps of Engineers
 Baltimore District

REAL PROPERTY SERVICES
 FIELD OFFICE
 ANNAPOLIS JUNCTION, MARYLAND

JACOBS
 1100 N. SLEBE RD., ARLINGTON, VA 22201
 971.278.1000

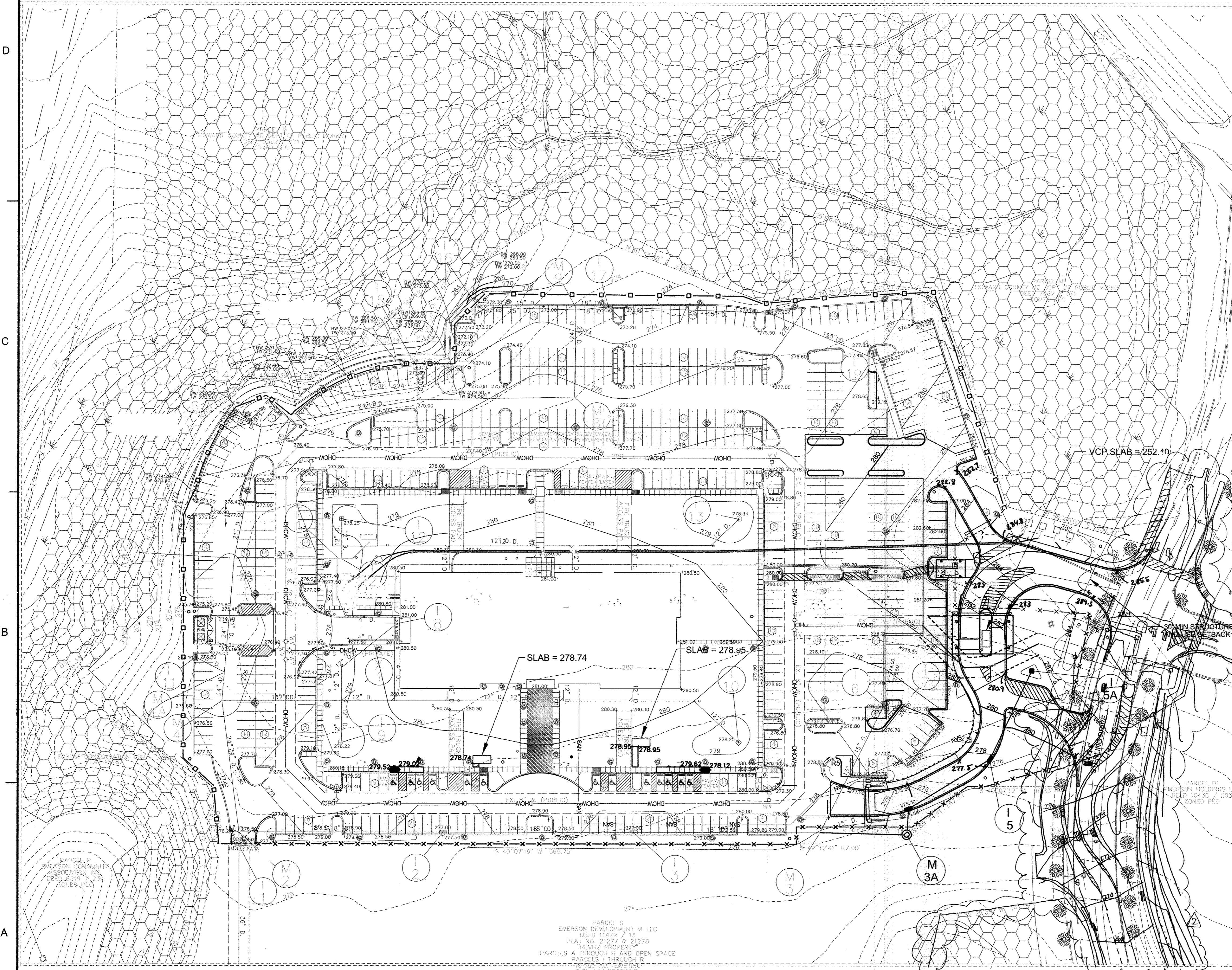
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Date	Appr.
7/13	

Designated by	Rev.
Down by	7/13/13
Project No.	27877
File name:	
File date:	

EMERSON - PERIMETER SECURITY AND SITE GRADING AND UTILITY PLAN	LAUREL, MD
ROOM(S) OR FLOOR	

Drawing No.	Sheet Reference No.	Sheet	of
	3 OF 20		45



APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING

Chief, Division of Land Development	7/13/13
Chief, Development Engineering Division	7/9/13
Director	7/11/10

EMERSON CAMPUS VCP
 Revision Description

**EMERSON PARCEL F-1
 REVITZ PROPERTY**
 5-STORY COMMERCIAL OFFICE BUILDING
 OWNER DEVELOPER:
 EMERSON DEVELOPMENT VII LLC
 1 TEXAS STATION COURT, SUITE 200
 TIMONIUM, MARYLAND 21093-8288
 (443) 689-8000

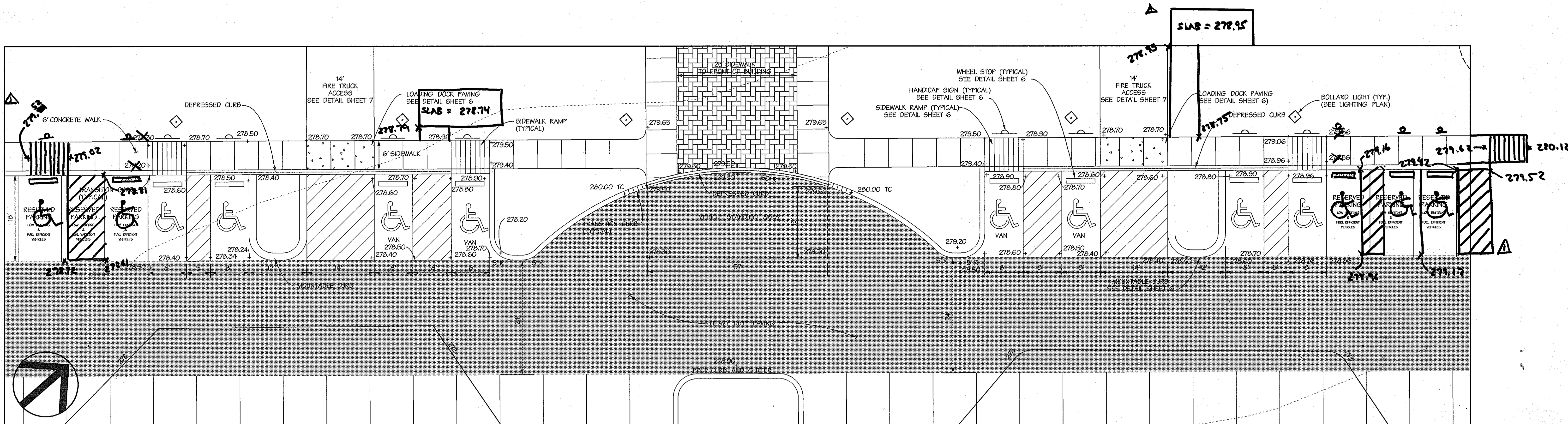
Subdivision Name	Section Area	Lot Parcel #
REVITZ PROPERTY	27	LOT F-1 / PAR. 165
PLAT # 21278	20	PFC
Tax Zone	WAPLETT, DISTRICT	CENSUS TRACT
Water Code	6	6903

TITLE: GRADING AND UTILITY PLAN

Des. By	Scale 1"=50'	Proj. No. 95054.10
Drn. By	Date 07-05-13	3 of 20
Chk. By	Approved	

PROFESSIONAL CERTIFICATION FOR REV #2
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 46292. EXPIRATION DATE: 06/21/2018.

THE PURPOSE OF REVISION #2 IS TO SHOW THE WORK ASSOCIATED WITH THE EMERSON CAMPUS VCP. SDP-10-005



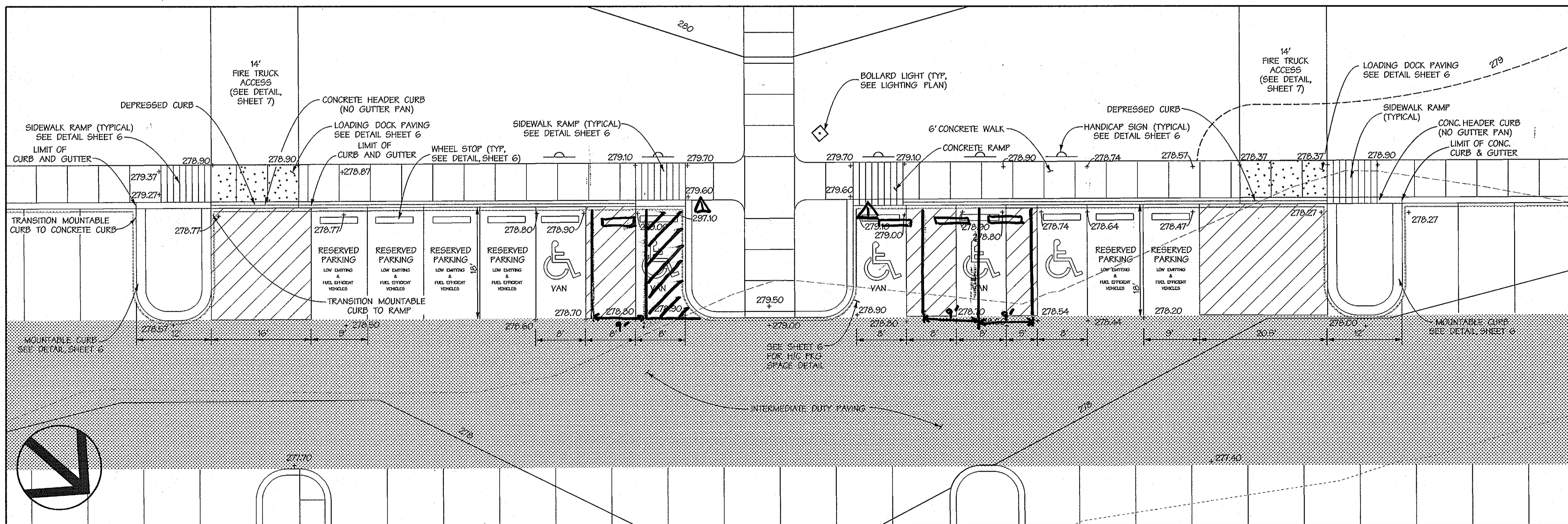
PROPOSED HANDICAP PARKING AND ACCESS (FRONT)

1"=10'



AS BUILT NOT REQUIRED

SURVEY SERVICES OF MD, LLC
BY: ROBERT W. MATIS - RLS 605



PROPOSED HANDICAP PARKING AND ACCESS (REAR)

1"=10'



AS-BUILT CERTIFICATION FOR PSWM

NOTE: THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.

SIGNED: *Melvin Charles Real, Jr.* 5/23/12 P.E. # 16928

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 8061, EXPIRATION DATE: 8-26-2011

10-4-10
Date

Professional Engr. No. 8061

APPROVED: HOWARD COUNTY DEPT. OF PUBLIC WORKS	10-9-10
<i>Walter J. Matis</i> CHIEF, BUREAU OF HIGHWAYS	DATE
APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING	11-18-10
<i>Kurt Scholten</i> CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
<i>Mark Dorman</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION	11/16/10
<i>Dorcas & Sells</i> DIRECTOR	11/16/10

6/4/12	1	RELOCATED NC SPOTS
Date	No.	Revision Description

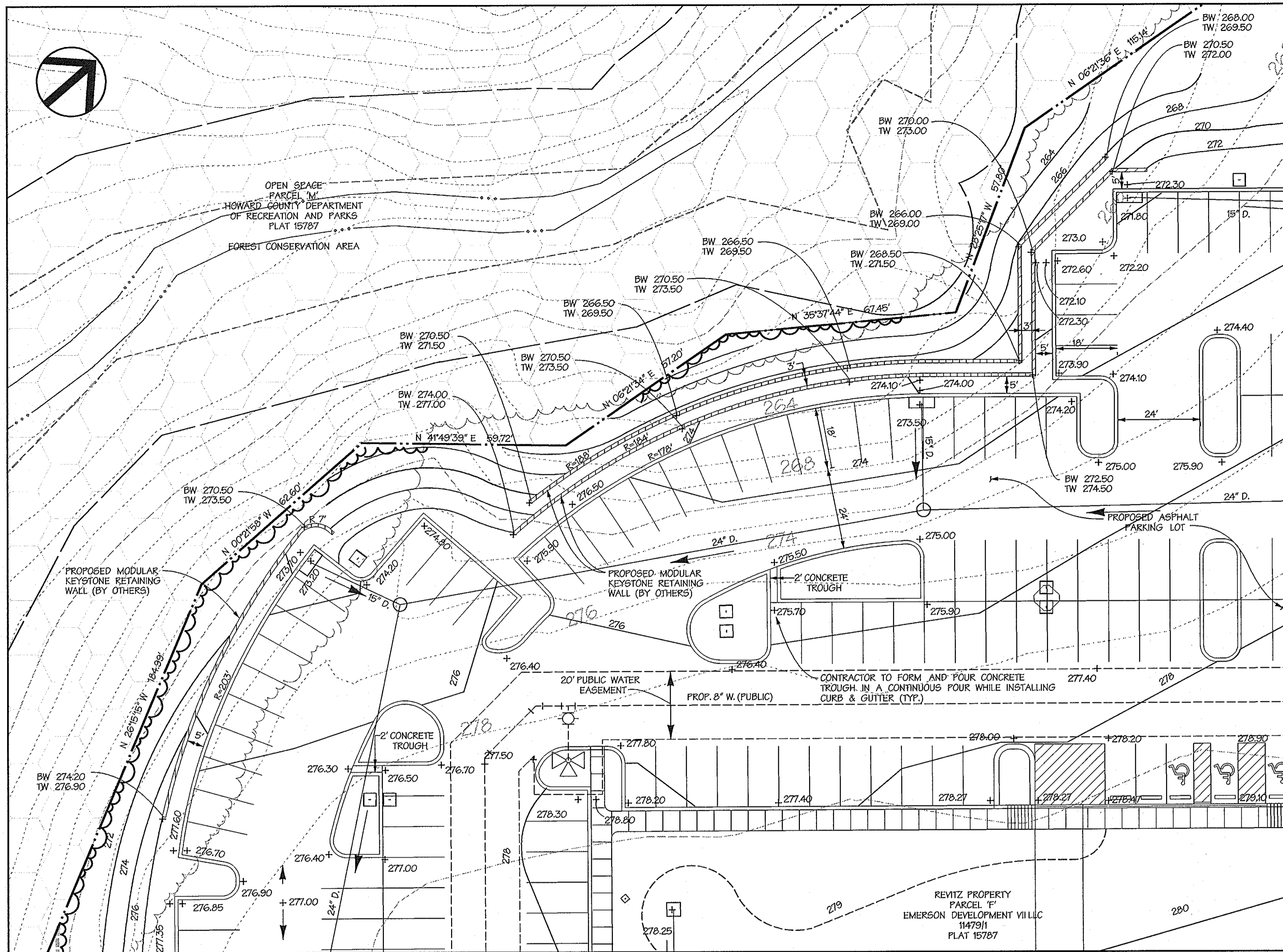
**EMERSON PARCEL F-1
REVITZ PROPERTY**
5-STORY COMMERCIAL OFFICE BUILDING
OWNER/DEVELOPER:
EMERSON DEVELOPMENT VII LLC
1 TEXAS STATION COURT, SUITE 200
TIMONIUM, MARYLAND 21093-8288
(443) 689-8000

DMW
DAFT MCCUNE WALKER INC
200 EAST PENNSYLVANIA AVENUE • TOWSON, MD 21286
P: 410 296 3333 F: 410 296 4705 WWW.DMW.COM
A TEAM OF LAND PLANNERS, LANDSCAPE ARCHITECTS,
ENGINEERS, SURVEYORS & ENVIRONMENTAL PROFESSIONALS

SUBDIVISION NAME REVITZ PROPERTY		SECTION / AREA	LOT/PARCEL #
TRACED TO CORNER	2127 & 2127B	20	PEC
PLAT	47	6	6803
TITLE SITE DETAILS			
Des. By	THR/JDF	Scale	1"=10'
Proj. No.	9505410	Date	09-29-10
Dim. By	CRH	Chk. By	Approved
Professional Engr. No.	8061	4 of 18	
SDP-10-096			

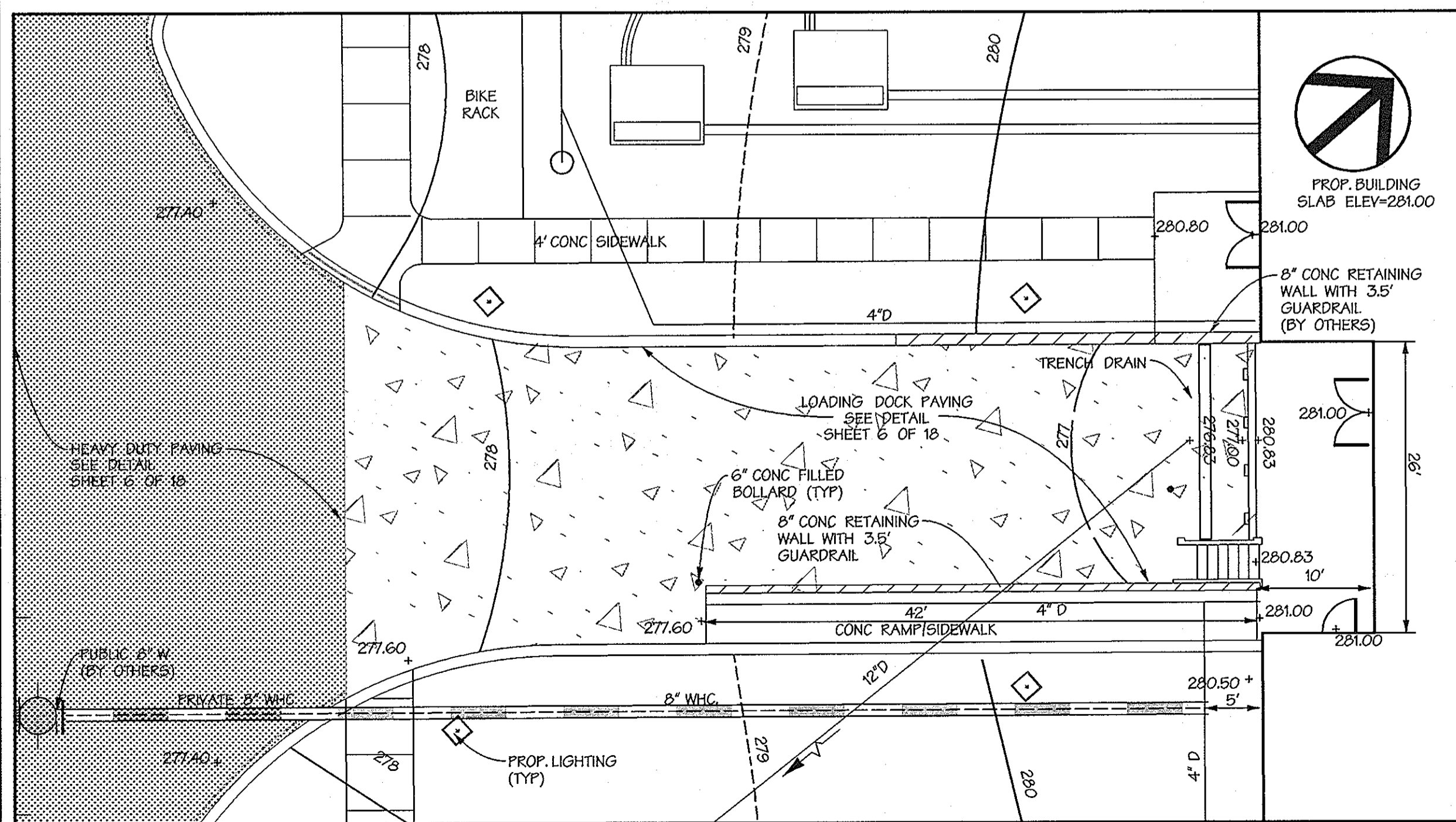
REVISED SDP

20



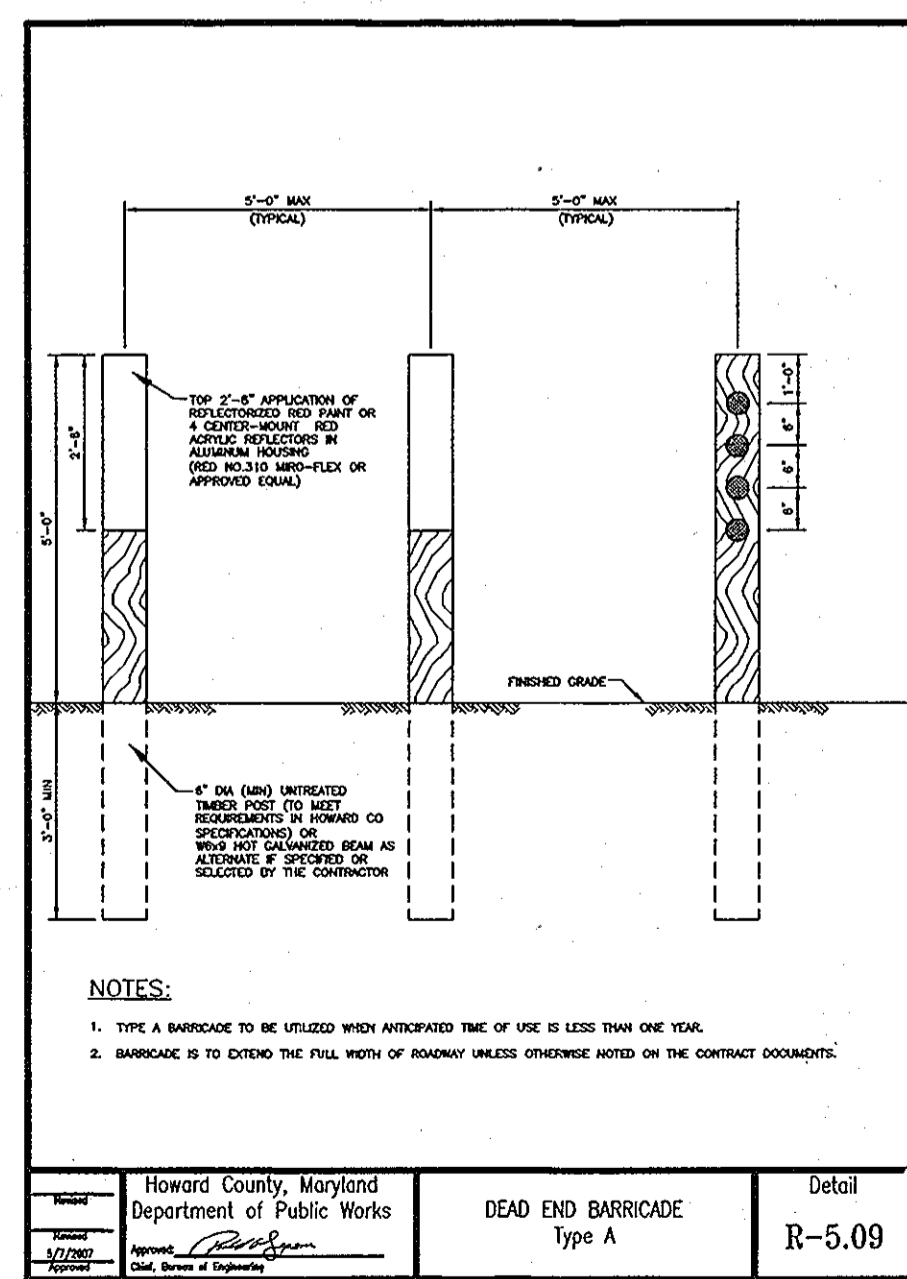
RETAINING WALL DETAIL

SCALE: 1"=20'



LOADING DOCK DETAIL

SCALE: 1"=10'

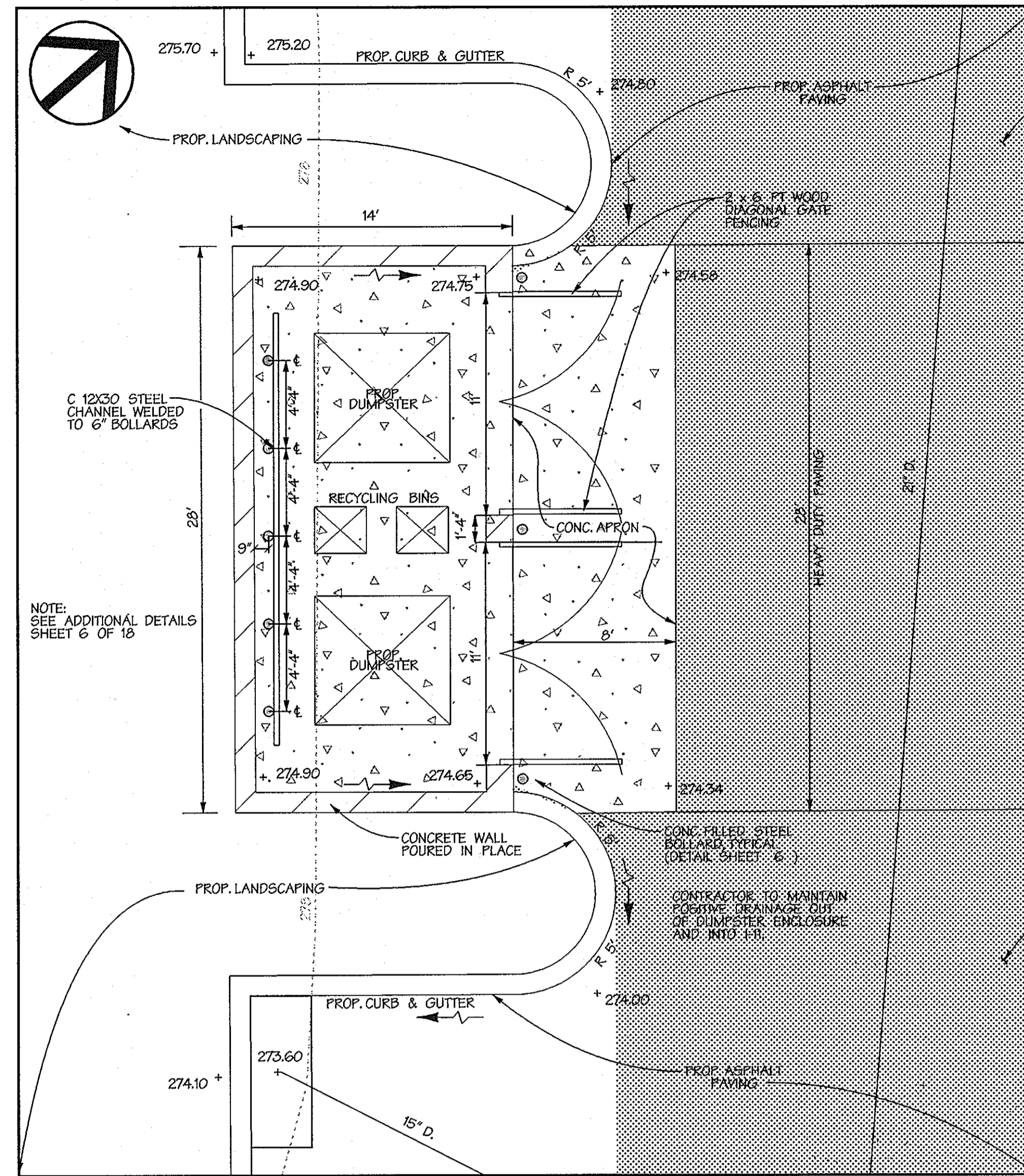


TIERED RETAINING WALL SECTION

NOT TO SCALE

AS BUILT NOT REQUIRED

SURVEY SERVICES OF MD, LLC BY: ROBERT W. MATIS - RLS 605



DUMPSTER ENCLOSURE DETAIL

SCALE: 1"=5'

AS-BUILT CERTIFICATION FOR PSWM

NOTE: THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.

SIGNED: *Melvin Charles Beal* 5/23/10
MELVIN CHARLES BEAL, License No. E-16928



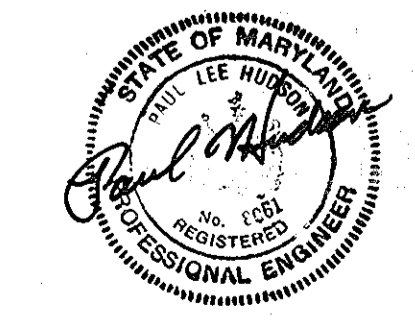
APPROVED: HOWARD COUNTY DEPT. OF PUBLIC WORKS	<i>Walter Z. Muth</i>	10-8-10
CHIEF, BUREAU OF HIGHWAYS		DATE
APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING	<i>Walter Z. Muth</i>	11-18-10
CHIEF, DIVISION OF LAND DEVELOPMENT		DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION	<i>Walter Z. Muth</i>	11/16/10
DATE		
DIRECTOR	<i>Thomas E. Suttell</i>	11/18/10
DATE		

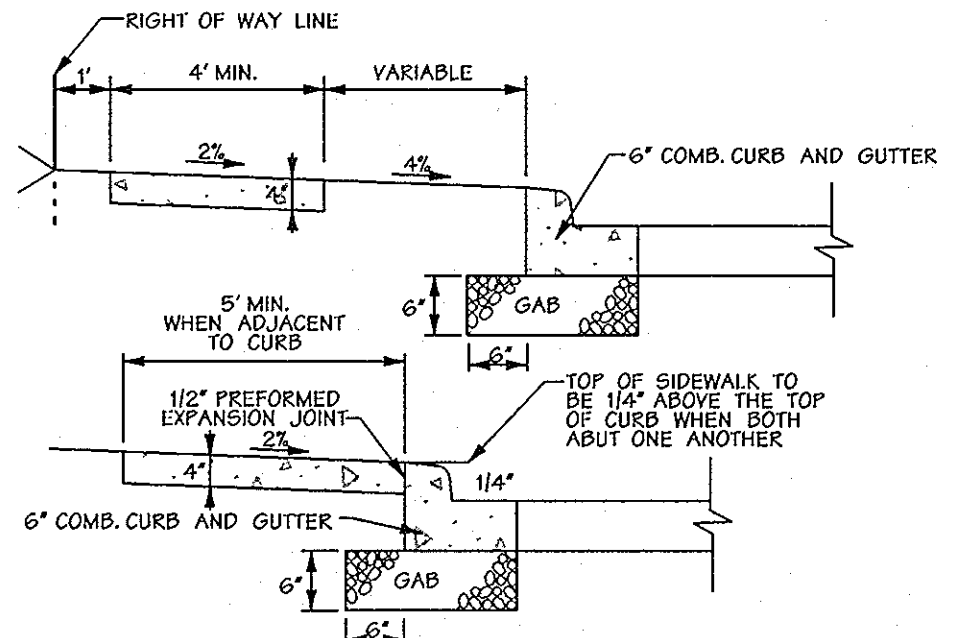
EMERSON PARCEL F-1 REVITZ PROPERTY
5-STORY COMMERCIAL OFFICE BUILDING
OWNER/DEVELOPER:
EMERSON DEVELOPMENT VII LLC
1 TEXAS STATION COURT, SUITE 200
TIMONIUM, MARYLAND 21093-8288
(443) 689-8000

DMW
DAFT MCCUNE WALKER INC
200 EAST PENNSYLVANIA AVENUE • TOWSON, MD 21286
P: 410 296 3333 F: 410 296 3705 WWW.DMW.COM
A TEAM OF LAND PLANNERS, LANDSCAPE ARCHITECTS, ENGINEERS, SURVEYORS & ENVIRONMENTAL PROFESSIONALS

SUBDIVISION NAME	REVITZ PROPERTY	SECTION AREA	LOT #	PARCEL 165
PLAT OR L.F.	21277 & 21278	ZONE	47	GENUS TRACT
TRACT CODE	20	SEC	6	6903
TITLE				
SITE DETAILS				
Des. By	THR/JDF	Scale	AS SHOWN	Proj. No. 95054.10
Dm. By	CRH	Date	09-29-10	5 of 18
Chk. By		Approved		

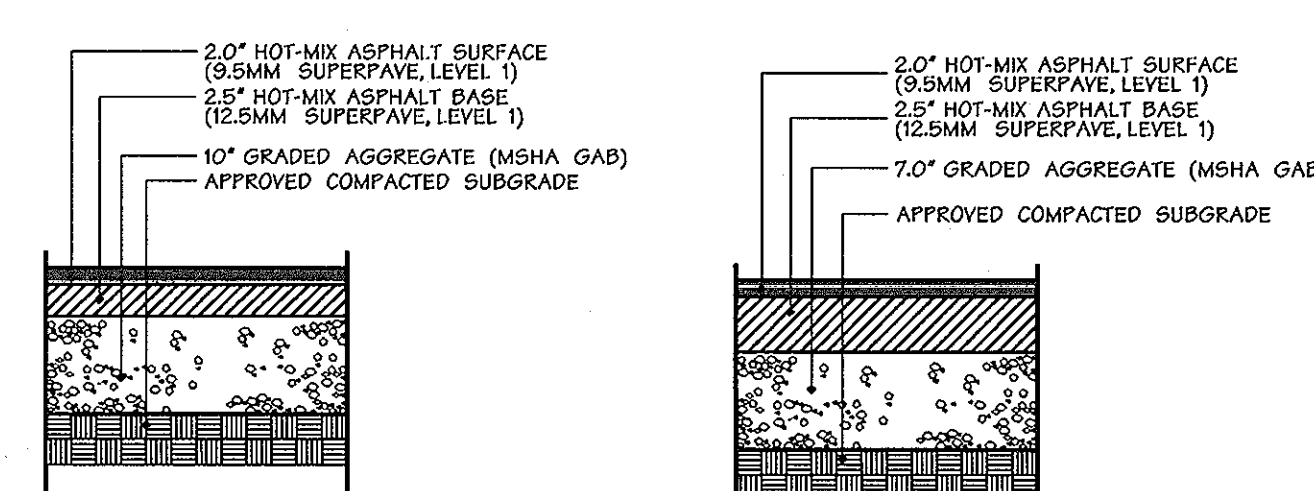
10-4-10
Date
Professional Engr. No. 8061





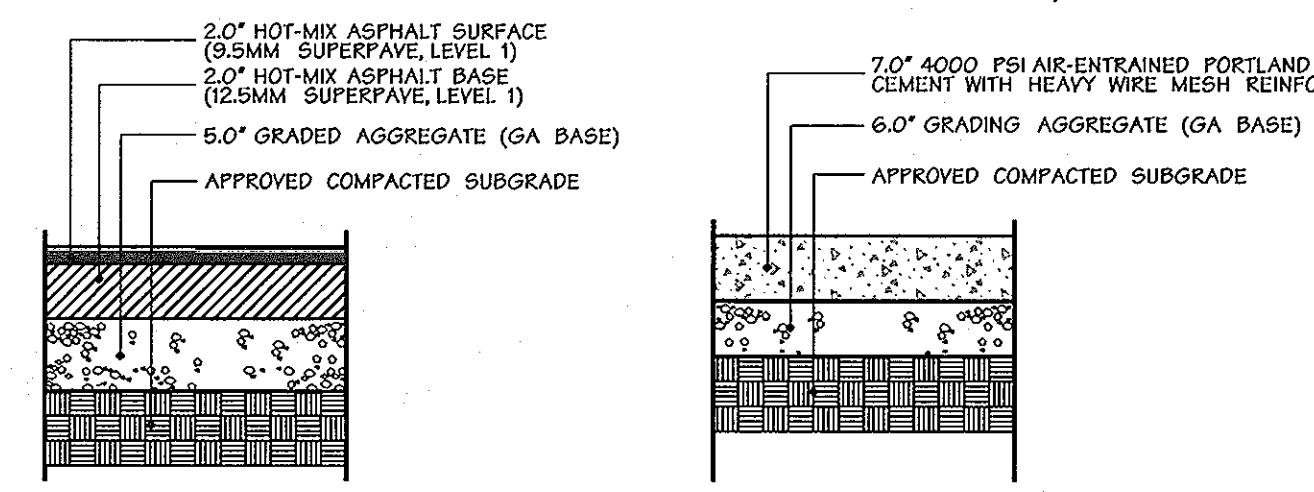
Concrete Sidewalk
Not to Scale

NOTES:
1. SIDEWALK TO BE SCRIBED IN 5'-0" MAXIMUM SQUARES.
2. EXPANSION JOINTS ACROSS SIDEWALK NOT TO BE MORE THAN 15' APART.
3. 1/2" PREFORMED EXPANSION MATERIAL IN EXPANSION JOINTS TO BE 1/2" BELOW SURFACE OF SIDEWALK.
4. CONCRETE TO BE MIX NO. 3.
5. WHEN SIDEWALK ABUTS CURB, SIDEWALK SHALL BE 1/4" ABOVE CURB WITH 1/2" PREFORMED EXPANSION JOINT BETWEEN SIDEWALK AND CURB.
6. ON LONGITUDINAL SIDEWALK GRABES OF 5/4 OR GREATER, A CONCRETE HEAR OF 12" DEEP SHALL BE PLACED ON THE NORMAL 4" SIDEWALK THICKNESS SHALL BE CONSTRUCTED FOR THE FULL WIDTH OF THE SIDEWALK AT INTERVALS OF 40 FEET. THE HEADERS SHALL BE PLACED AT THE EXPANSION JOINT LOCATIONS AND SHALL BE MONOLITHIC WITH THE SIDEWALK.
7. 4' SIDEWALK REQUIRES A PASSING AREA (SEE HO.CO.STD.DETAIL R-4.01)
8. SEE SITE PLAN FOR PROPOSED SIDEWALK WIDTHS.



HEAVY DUTY PAVING
(FOR THE ENTRANCEWAYS AND TRAVEL LANES SUBJECT TO REGULAR HEAVY TRUCK TRAFFIC)

INTERMEDIATE DUTY PAVING
(DRIVE AISLES AND ENTRANCEWAYS SUBJECT TO PASSENGER VEHICLE TRAFFIC PLUS OCCASIONAL BUS OR DELIVERY BOX TRUCK TRAFFIC)

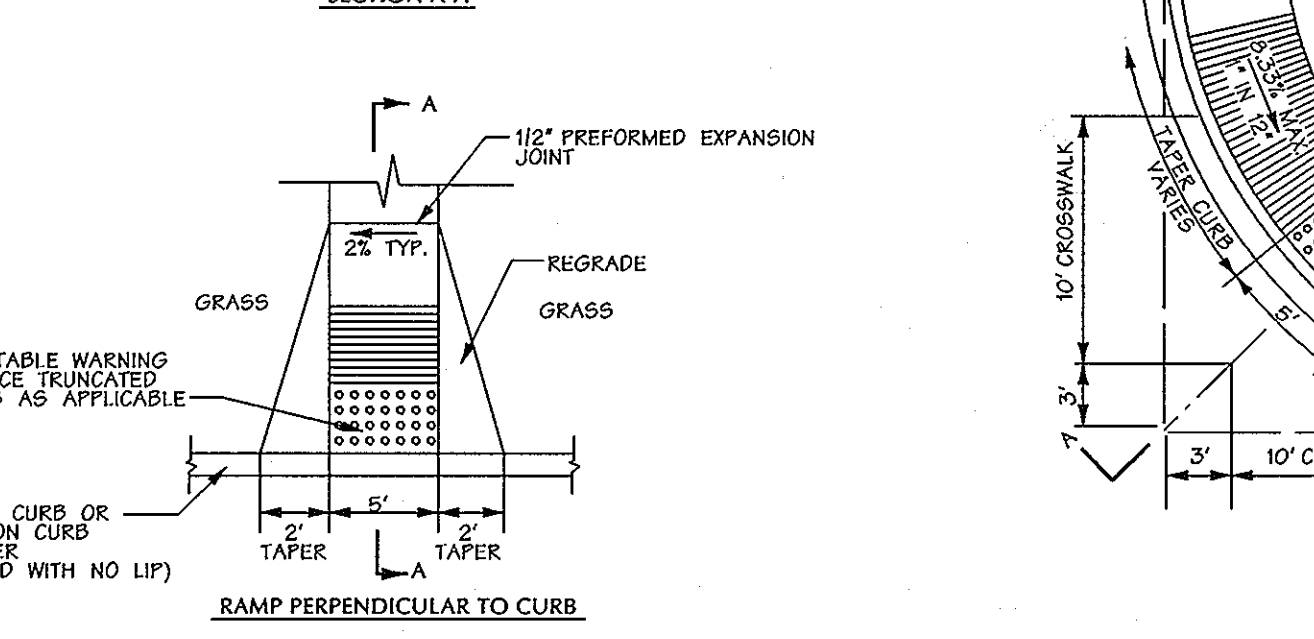
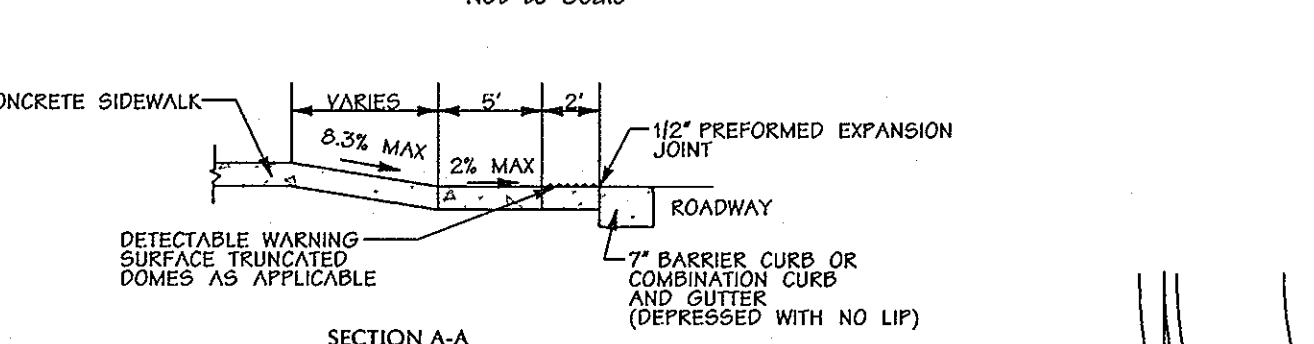


LIGHT DUTY PAVING
(PARKING LOTS AREAS SUBJECT TO PASSENGER VEHICLE TRAFFIC ONLY)

LOADING DOCK PAVING
(TRUCK LOADS UNKNOWN AT THIS TIME)

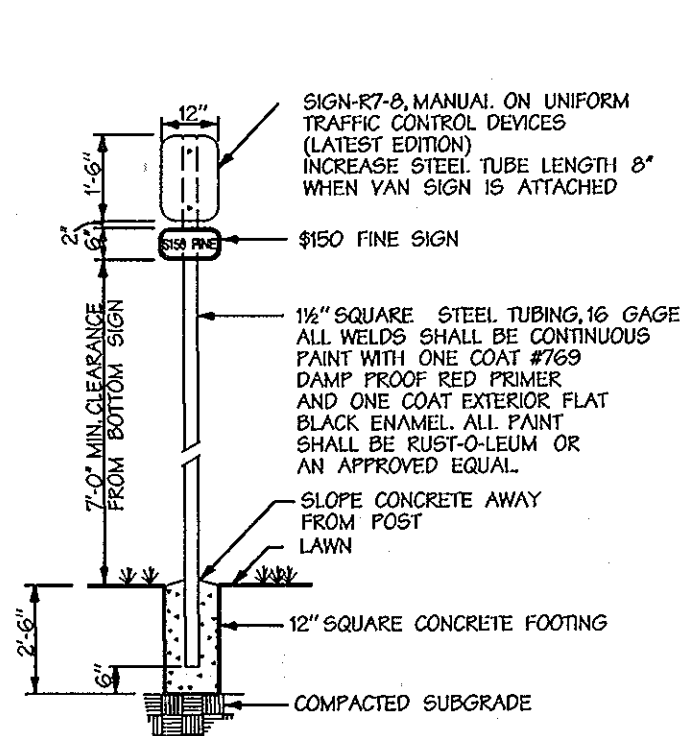
NOTE: PAVING SECTIONS WERE DESIGNED BY HERBST BENSON & ASSOCIATES ON MAY 19, 2010.

Paving Details
Not to Scale



Sidewalk Ramp - Type 'A'
Not to Scale

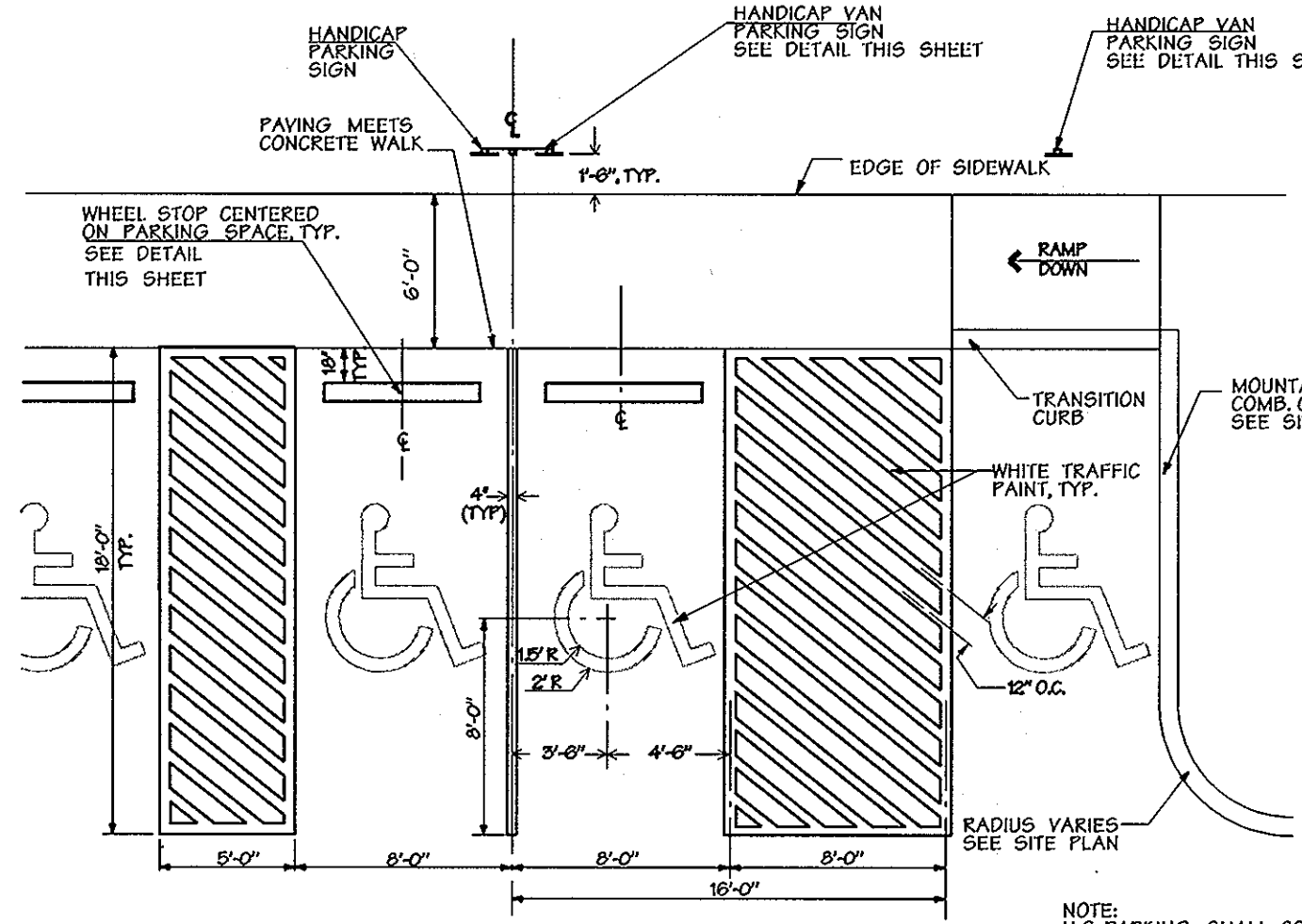
NOTES:
1. ALL RAMPS SHALL HAVE A WARNING TEXTURE EXTENDING THE FULL WIDTH AND DEPTH OF RAMP (SEE HO.CO.STD.DETAIL R-4.07).
2. GRASS AREA ADJACENT TO SIDEWALK MUST BE SLOPED TO MEET RAMP.
3. SIDEWALK REQUIRES A PASSING AREA (SEE HO.CO.STD.DETAIL R-4.01).



Handicap Parking Sign
Not to Scale

NOTES:
1. DISTANCE FROM FRONT TO BOTTOM OF SIGN SHALL BE 7'-0".
2. SEE HANDICAPPED PARKING SPACE DETAIL THIS SHEET FOR LOCATION OF HANDICAPPED SIGN.
3. SIGNS SHALL CONFORM TO CURRENT ADA CRITERIA.

SIGN COLORS:
LETTERS AND BORDER - GREEN
WHITE SYMBOLS ON BLUE BACKGROUND
BACKGROUND - WHITE

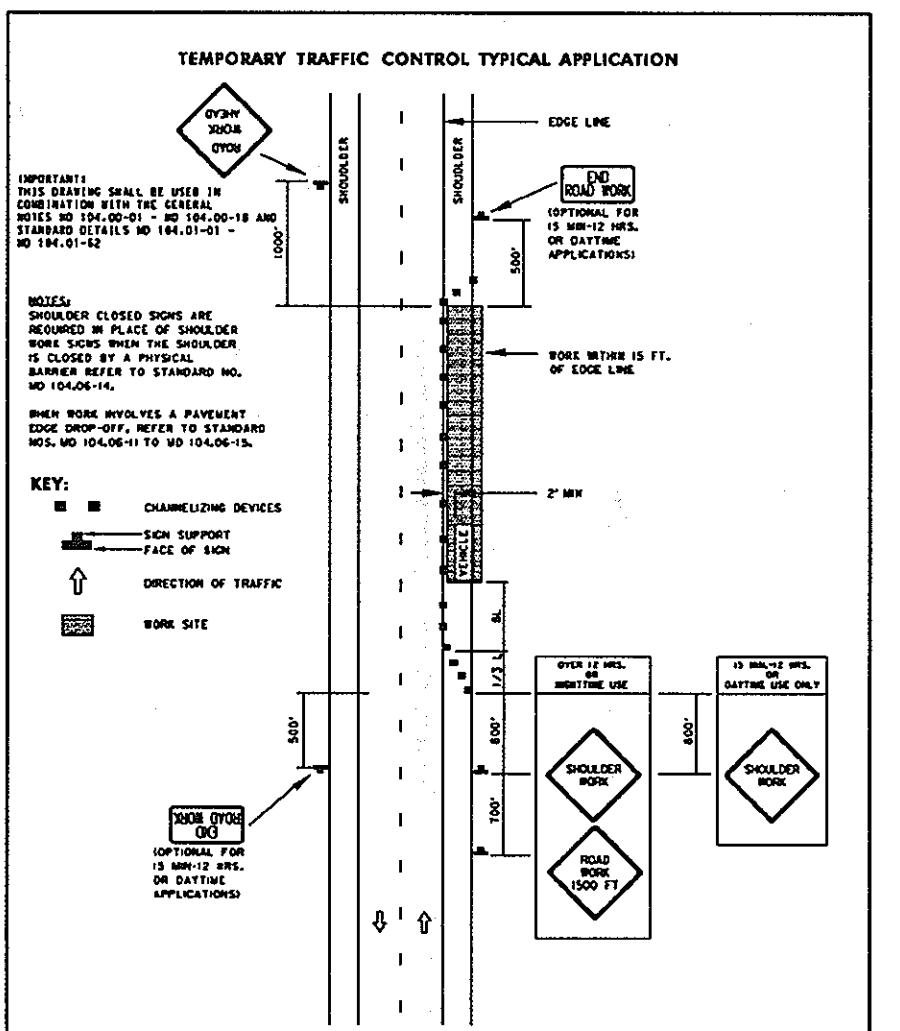
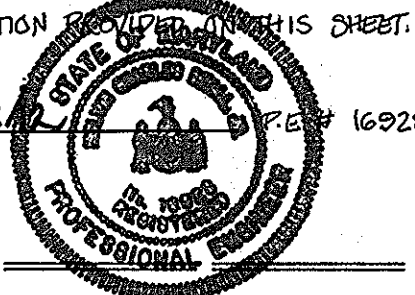


Handicap Parking: Van & Standard
Not to Scale

AS-BUILT CERTIFICATION FOR PSWM

NOTE: THERE IS NO "AS-BUILT" INFORMATION FOR THIS SHEET.

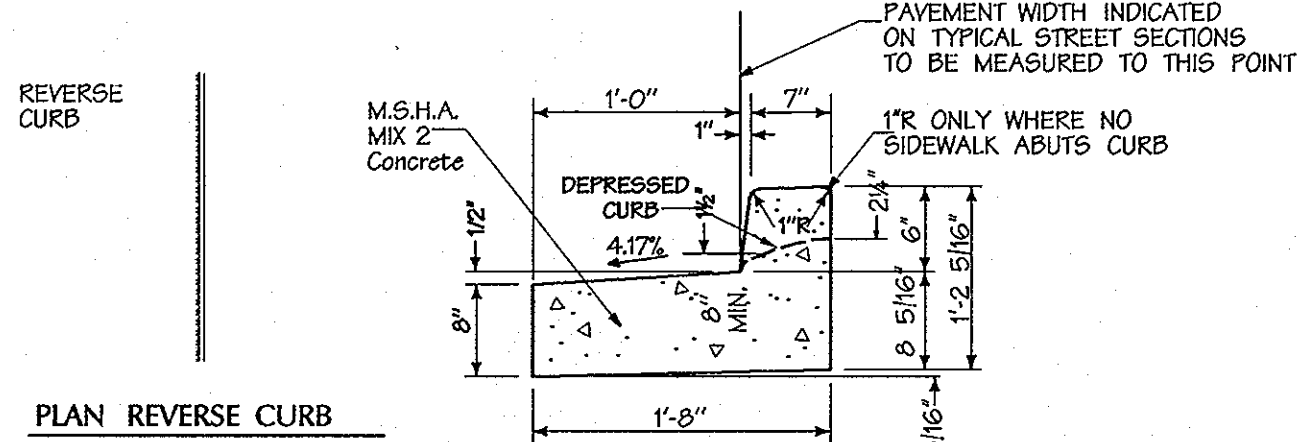
SIGNED: MELVIN CHARLES GORRILL, JR.
DATE: 10/28/10



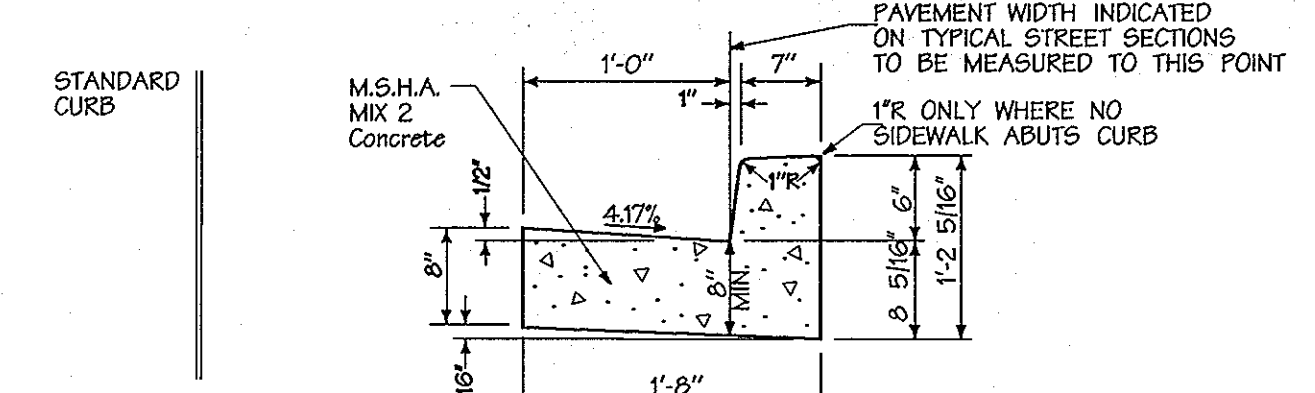
TEMPORARY TRAFFIC CONTROL TYPICAL APPLICATION

KEY:
- CHALLENGE DEVICES
- FACE OF SIGN
- DIRECTION OF TRAFFIC
- WORK SITE

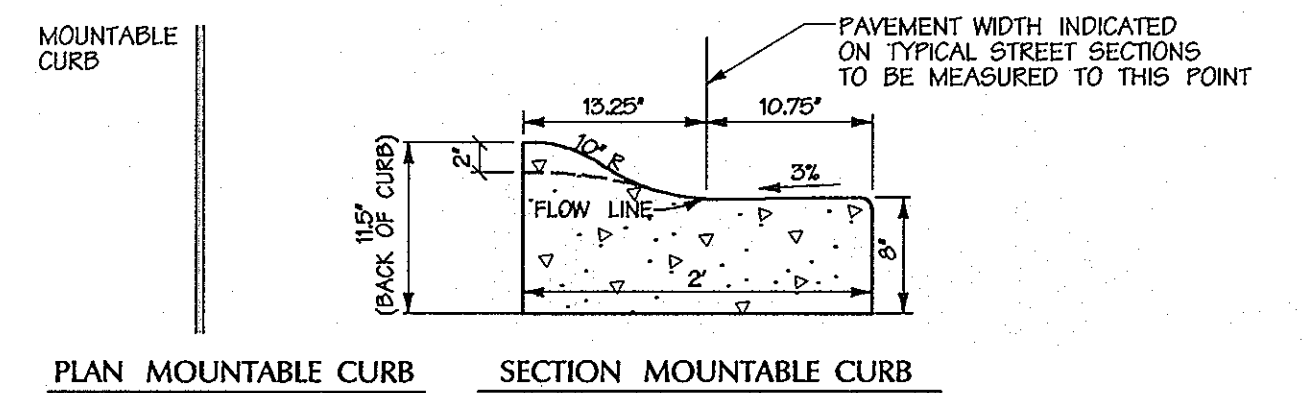
STANDARD NO. MD 104.02-02



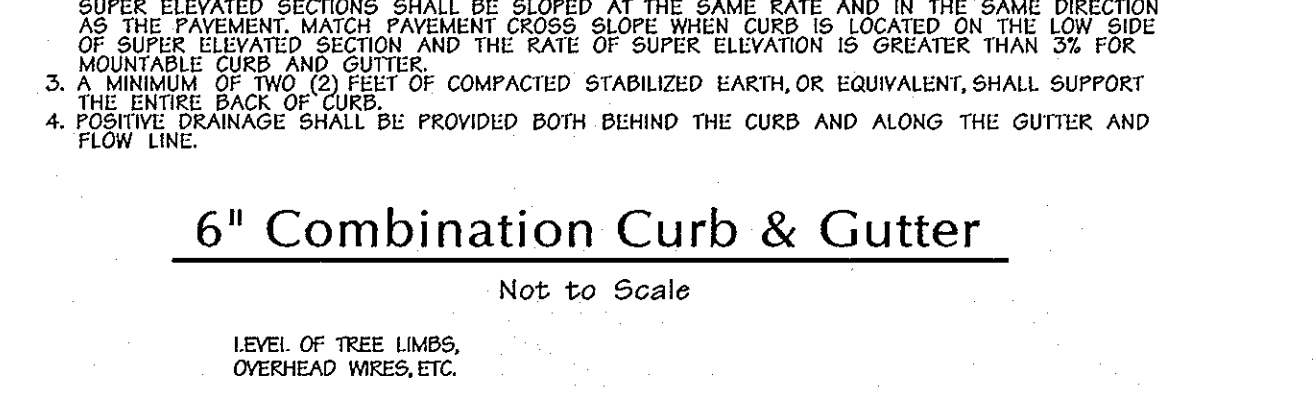
PLAN REVERSE CURB



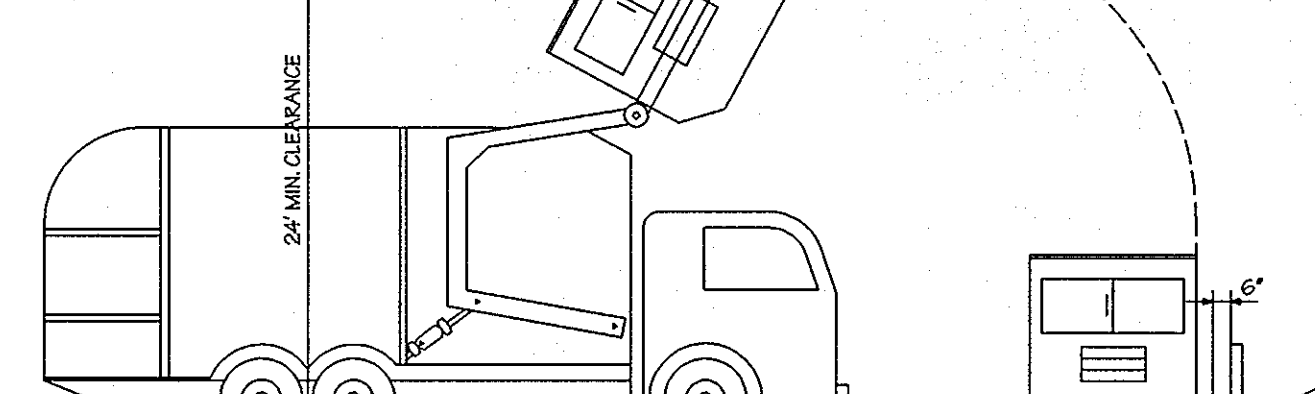
SECTION REVERSE CURB



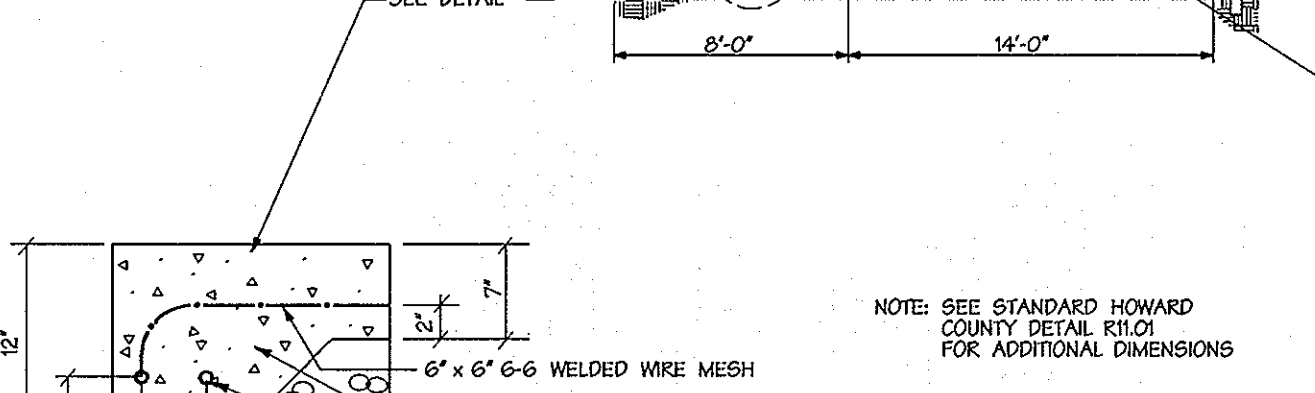
PLAN STANDARD CURB



SECTION STANDARD CURB



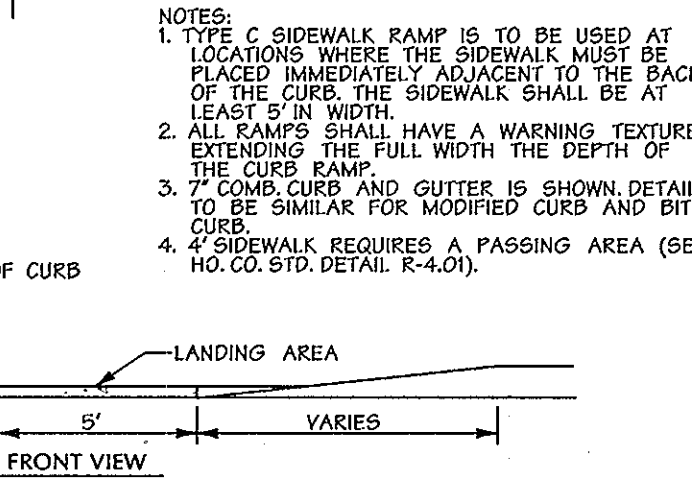
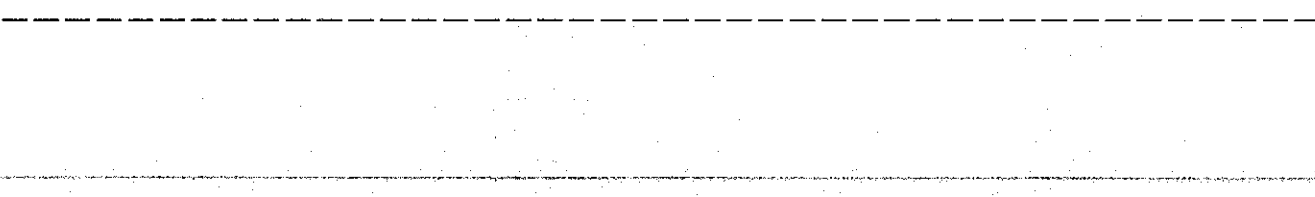
PLAN MOUNTABLE CURB



SECTION MOUNTABLE CURB

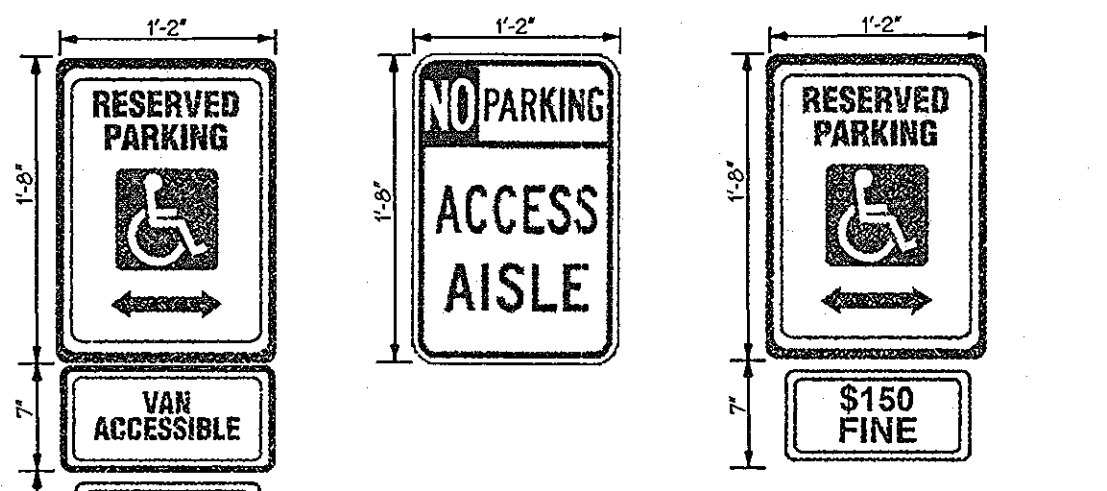
NOTE:
1. A REVERSE GUTTER PAN SHALL HAVE A GUTTER SLOPE OF 4.17% AWAY FROM THE FLOW LINE, AND SHALL NOT BE USED WHERE THIS DRAINAGE CREATES A HAZARDOUS CONDITION.
2. GUTTER PAN AT THE MEDIAN EDGE, INTERMEDIATE, ADJACENT TO THE HIGH SIDE OF SUPER ELEVATED SECTIONS SHALL BE SLOPED AT THE SAME RATE AND IN THE SAME DIRECTION AS THE PAVEMENT CROSS SLOPE WHICH CURB IS LOCATED ON THE LOW SIDE OF SUPER ELEVATED SECTION AND THE RATE OF SUPER ELEVATION IS GREATER THAN 3% FOR MOUNTABLE CURBS AND GUTTERS.
3. A MINIMUM OF TWO (2) FEET OF COMPACTED STABILIZED EARTH, OR EQUIVALENT, SHALL SUPPORT THE ENTIRE CURB AND GUTTER.
4. POSITIVE DRAINAGE SHALL BE PROVIDED BOTH BEHIND THE CURB AND ALONG THE GUTTER AND FLOW LINE.

6" Combination Curb & Gutter
Not to Scale

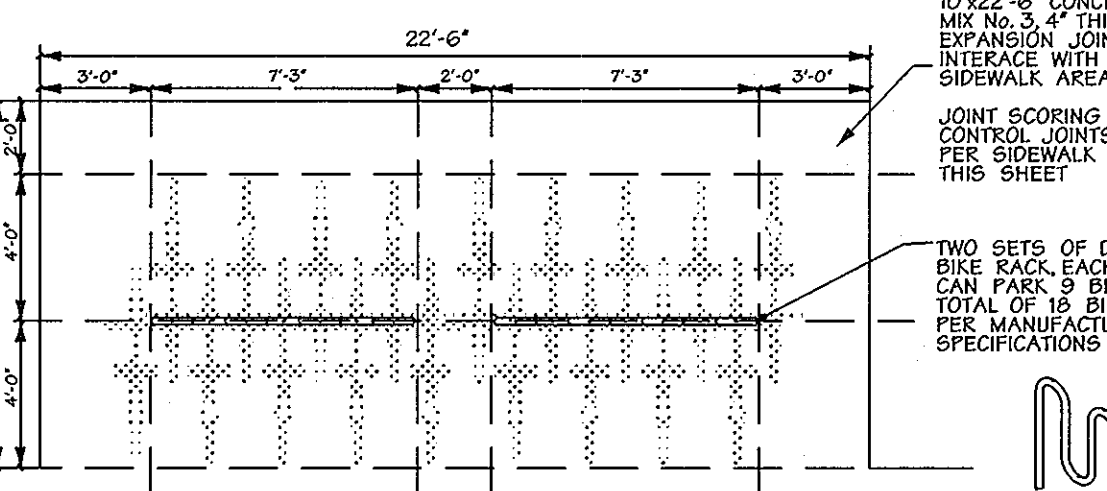


Sidewalk Ramp - Type 'C'
Not to Scale

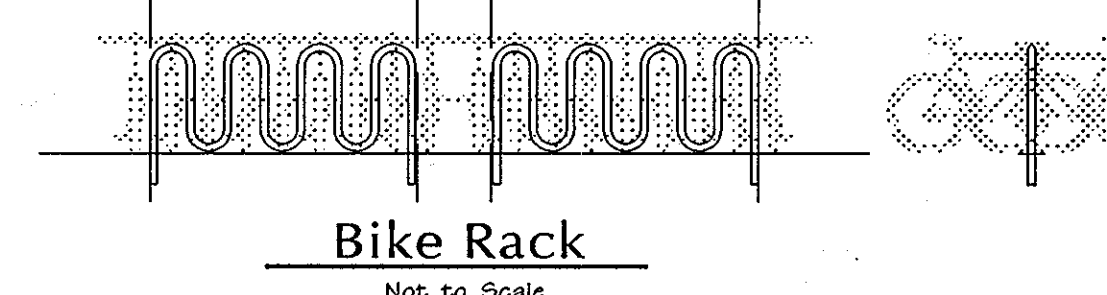
NOTE:
1. TYPE 'C' SIDEWALK RAMP IS TO BE USED AT LOCATIONS WHERE THE SIDEWALK MUST BE PLACED IMMEDIATELY ADJACENT TO THE BACK OF THE CURB. THE SIDEWALK SHALL BE AT LEAST 5' IN WIDTH.
2. ALL RAMPS SHALL HAVE A WARNING TEXTURE EXTENDING THE FULL WIDTH THE DEPTH OF THE CURB RAMP.
3. 7\"/>



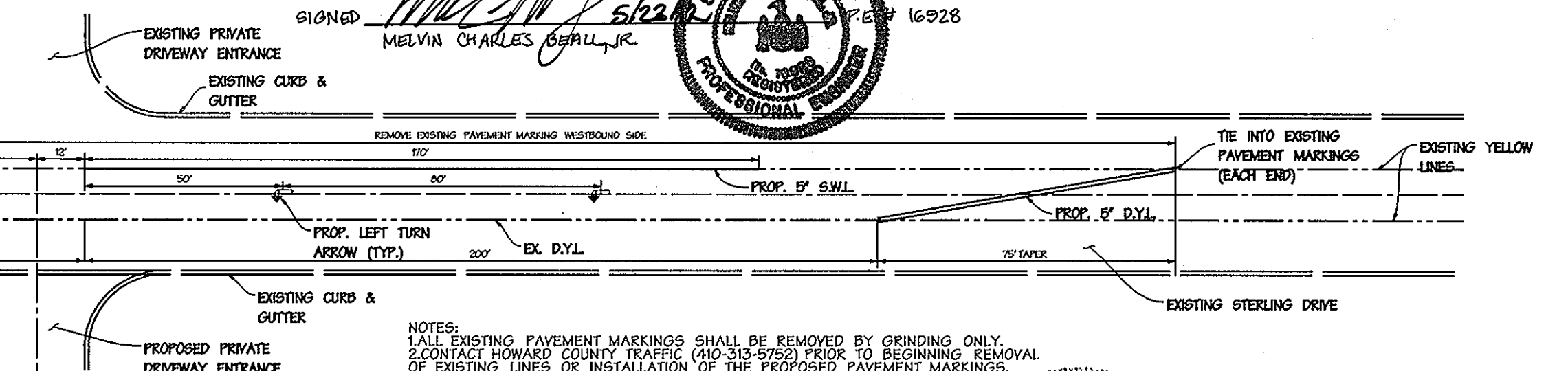
Handicap Parking Sign Details
Not to Scale



Concrete Cast Wheel Stop
Not to Scale

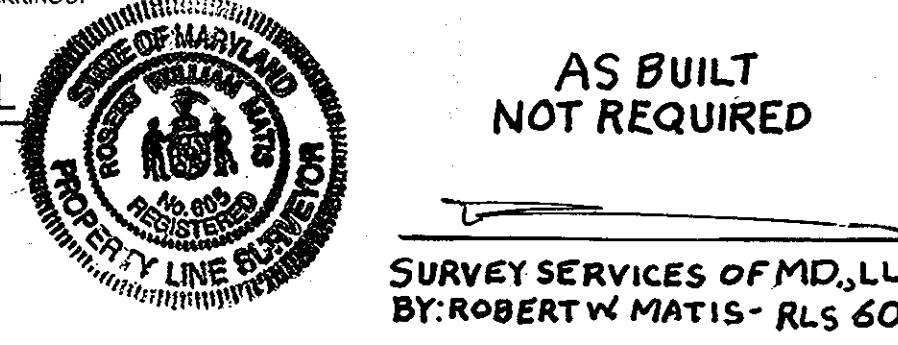


Bike Rack
Not to Scale



STERLING DRIVE LEFT TURN LANE DETAIL
Not to Scale

NOTES:
1. ALL EXISTING PAVEMENT MARKINGS SHALL BE REMOVED BY GRINDING ONLY.
2. CONTACT HOWARD COUNTY TRAFFIC (410-313-5752) PRIOR TO BEGINNING REMOVAL OF EXISTING LINES OR INSTALLATION OF THE PROPOSED PAVEMENT MARKINGS.
3. SEE SHEET 7 FOR ADDITIONAL STANDARD TRAFFIC CONTROL DETAILS.



AS BUILT NOT REQUIRED

SURVEY SERVICES OF MD, LLC
BY: ROBERT W. MATIS - RLS 605

APPROVED: HOWARD COUNTY DEPT. OF PUBLIC WORKS	10-8-10
<i>With 2 m.w.</i> CHIEF, BUREAU OF HIGHWAYS	DATE
APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING	11-18-10
<i>K. Sh. Ouellet</i> CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
<i>John Damann</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
<i>Thomas E. Butler</i> DIRECTOR	DATE

Date	No.	Revision Description

EMERSON PARCEL F-1 REVITZ PROPERTY
5-STORY COMMERCIAL OFFICE BUILDING
OWNER/DEVELOPER:
EMERSON DEVELOPMENT VII LLC
1 TEXAS STATION COURT, SUITE 200
TIMONIUM, MARYLAND 21093-8288
(443) 689-8000



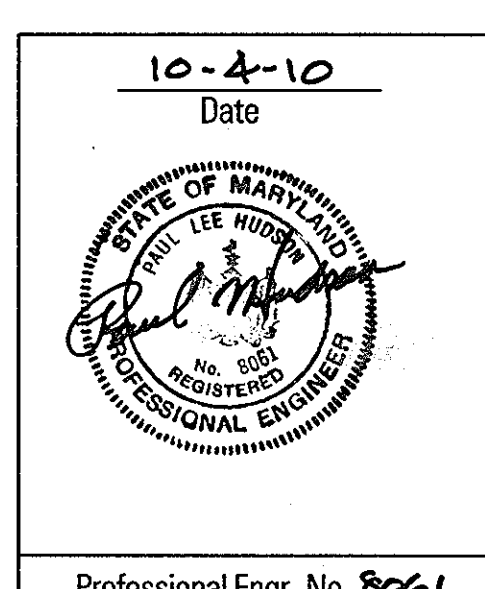
200 EAST PENNSYLVANIA AVENUE • TOWSON, MD 21286
P: 410 296 3333 F: 410 296 4705 WWW.DMW.COM

SECTION NAME	SECTION AREA	SECTION #
REVITZ PROPERTY		LOT F-1 / PAR. 165
21277 & 21278	20	FEC
WATER CODE		SEWER CODE

TITLE SITE DETAILS

Des. By	JDF	Scale	AS SHOWN	Proj. No.	95054.10
Dwn. By	CRH	Date	09-29-10		
Chk. By	Approved				

Professional Engr. No. 8061



SDP-10-096

STANDARD SEDIMENT CONTROL NOTES

- A minimum of 48 hours notice must be given to the Howard County Department of Inspections, and Permits, Sediment Control Division prior to the start of any construction (410-313-1855).
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the most current "Maryland Standards and Specifications for Soil Erosion and Sediment Control" and revisions thereto.
- Following initial soil disturbance or re-disturbance, permanent or temporary stabilization shall be completed within:
 - Seven (7) calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1.
 - Fourteen (14) days as to all other disturbed or graded areas on the project site.
- All sediment traps/basin shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 12 of the "Howard County Design Manual", Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the "1994 Maryland Standards and Specifications for Soil Erosion and Sediment Control" for permanent seeding (Sec. 51), sod (Sec. 54), temporary seeding (Sec. 50), and mulching (Sec. 52). Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:

Total Area of Site	10.41 Acres
Area Disturbed	13.0 Acres
Area to be roofed or paved	5.81 Acres
Area to be vegetatively stabilized	4.29 Acres
Total Cut	12,378 Cu. Yds.
Total Fill	10,085 Cu. Yds.
Off-site waste/borrow area location:	N/A
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment controls must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
- Trenching for the construction of utilities is limited to three pipe lengths or that which shall be back-filled and stabilized within one working day, whichever is shorter.

UNCLASSIFIED//FOR OFFICIAL USE ONLY

STONE OUTLET SEDIMENT TRAP (ST II) #1

EXISTING DA	2.95 AC.
PROPOSED DA	2.95 AC.
STORAGE REQUIRED	10,620 CF
STORAGE PROVIDED	22,176 CF
WET STORAGE REQUIRED	5,310 CF
WET STORAGE PROVIDED	8,060 CF
WET STORAGE ELEVATION	262 TO 266
DRY STORAGE REQUIRED	14,002 CF
DRY STORAGE PROVIDED	14,116 CF
DRY STORAGE ELEVATION	266 TO 269
SIZE BARREL	NA
SIZE RISER	NA
SIZE TRASH RACK	NA
BOTTOM DIMENSION	NA
TOP EMBANKMENT ELEVATION	270 (MIN)
TOP EMBANKMENT WIDTH	4 FT. (MIN)
RISER ELEVATION	---
CLEANOUT STORAGE REQUIRED	2,597 CF
CLEANOUT STORAGE PROVIDED	2,597 CF
CLEANOUT ELEVATION	264
SIDE SLOPES	2:1
BOTTOM ELEVATION	262
MIN. ELEVATION OF EXIST. GROUND	268



THE PURPOSE OF REVISION #2 IS TO SHOW THE WORK ASSOCIATED WITH THE EMERSON CAMPUS VCP SDP-10-005

PROFESSIONAL CERTIFICATION FOR REV #2

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. 46292
 EXPIRATION DATE: 05/21/2019

SEQUENCE OF CONSTRUCTION

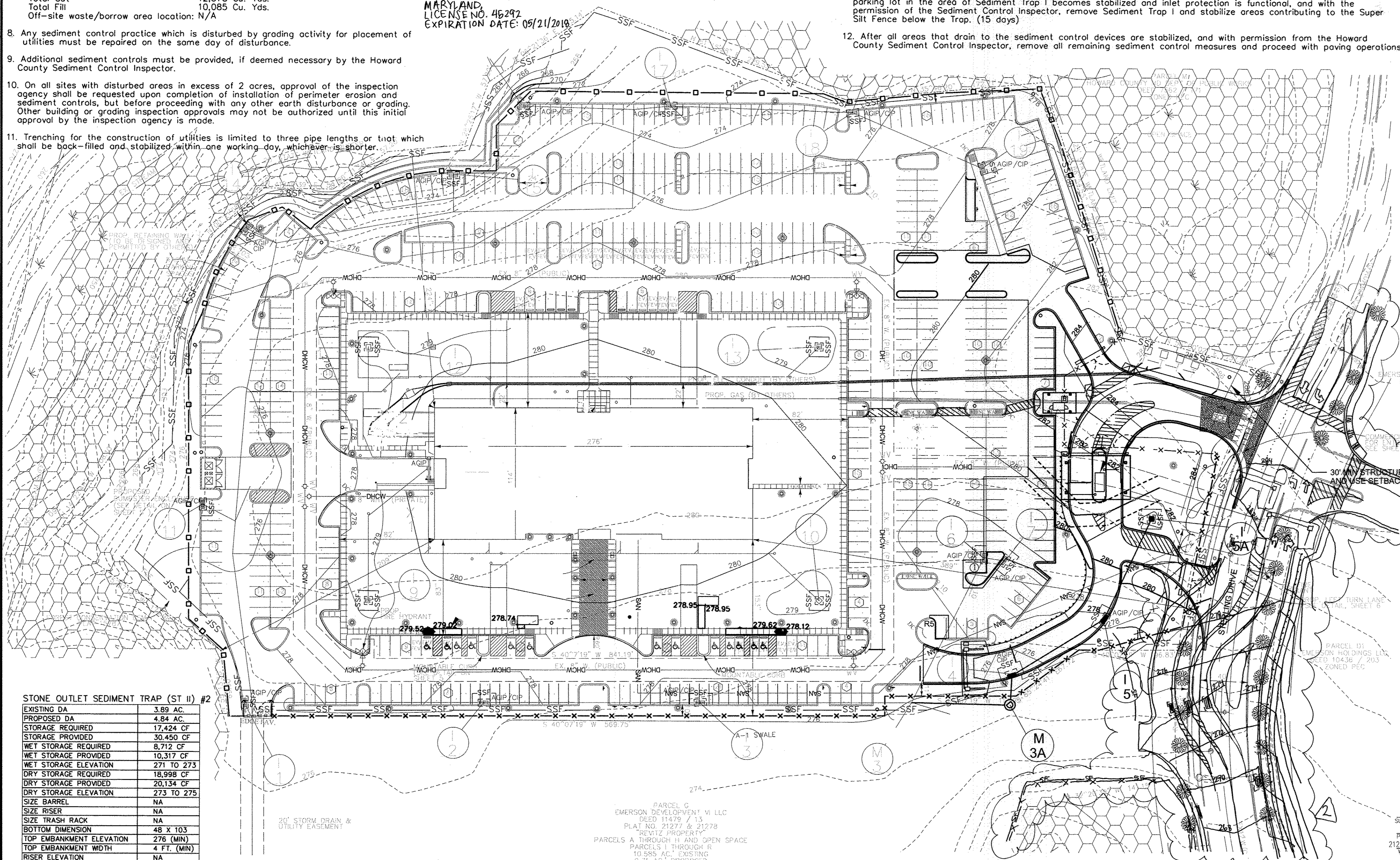
- Obtain Grading Permit.
- Notify Howard County Department of Permits and Licenses 48 hours prior to beginning work. (1 day)
- Install Stabilized Construction Entrance and Super Silt Fence as shown on the Plan.
- Manually install Orange Construction Fence along the limits of the Forest Conservation Easement, except in the areas of the proposed retaining walls. This shall be completed by and inspected at the Pre-Construction Meeting.
- With permission from the Sediment Control Inspector, begin clearing and grubbing for and install Erosion and Sediment Control Devices for the installation of the retaining walls and Sediment Traps.
- Construct Sediment Traps 1 and 2 and the temporary swales that accompany them.
- Construct Retaining Walls and storm drain pipe to the existing SWM Facility, beginning work downstream at the Facility and working upstream to the Site. For the storm drain construction, use the "Utility Construction Outside Sediment Control Practices" sequence provided on the plans. (20 days). All storm inlets shall receive additional protection in the form of super silt fence.
- Upon completion of the retaining walls, stabilization of the area below the wall with seed and mulch, and with the permission of the Sediment Control Inspector, begin grading operations. Maintain positive drainage to all sediment control measures and devices at all times. See "Dust Control Specifications" on sheet 8.
- Begin construction of the proposed building. As work progresses install remaining utilities except Recharge Facilities. Provide inlet protection for newly installed inlets. Install Super Silt Fence around specified inlets as per plan. (30 days)
- Continue with grading operations and building construction. (30 days)
- As work progresses and disturbed areas draining to the Recharge Facilities are stabilized, install Recharge Facilities.
- Fine grade all areas, install concrete curb and gutter and stone subbase. Proceed with landscaping. As the parking lot in the area of Sediment Trap 1 becomes stabilized and inlet protection is functional, and with the permission of the Sediment Control Inspector, remove Sediment Trap 1 and stabilize areas contributing to the Super Silt Fence below the Trap. (15 days)
- After all areas that drain to the sediment control devices are stabilized, and with permission from the Howard County Sediment Control Inspector, remove all remaining sediment control measures and proceed with paving operations.

LEGEND

- PROPERTY BOUNDARY
- EX. RIGHT OF WAY
- ADJACENT PROPERTY BOUNDARY
- EX. ROADS AND WALKS
- EX. MAJOR CONTOUR
- EX. MINOR CONTOUR
- FOREST CONSERVATION EASEMENT
- PROP. BUILDING
- PROP. CURB / EDGE OF PAVING
- PROP. DEPRESSED CURB
- PROP. GROUP LIGHT
- PROP. SINGLE LIGHT
- PROP. LIGHT
- PROP. MAJOR CONTOUR
- PROP. MINOR CONTOUR
- LIMIT OF DISTURBANCE
- SUPER SILT FENCE
- ORANGE CONSTRUCTION FENCE
- AT GRADE INLET PROTECTION
- CURB INLET PROTECTION
- STABILIZED CONSTRUCTION ENTRANCE
- EROSION CONTROL MATTING

US Army Corps of Engineers
 Baltimore District
 REAL PROPERTY SERVICES
 1100 N. GLEBE RD., ARLINGTON, VA 22201
 (870) 216-1000

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STONE OUTLET SEDIMENT TRAP (ST II) #2

EXISTING DA	3.89 AC.
PROPOSED DA	4.84 AC.
STORAGE REQUIRED	17,424 CF
STORAGE PROVIDED	30,450 CF
WET STORAGE REQUIRED	8,712 CF
WET STORAGE PROVIDED	10,317 CF
WET STORAGE ELEVATION	271 TO 273
DRY STORAGE REQUIRED	18,998 CF
DRY STORAGE PROVIDED	20,134 CF
DRY STORAGE ELEVATION	273 TO 275
SIZE BARREL	NA
SIZE RISER	NA
SIZE TRASH RACK	NA
BOTTOM DIMENSION	48 X 103
TOP EMBANKMENT ELEVATION	276 (MIN)
TOP EMBANKMENT WIDTH	4 FT. (MIN)
RISER ELEVATION	---
CLEANOUT STORAGE REQUIRED	3,320 CF
CLEANOUT STORAGE PROVIDED	3,320 CF
CLEANOUT ELEVATION	272
SIDE SLOPES	2:1
BOTTOM ELEVATION	271
MIN. ELEVATION OF EXIST. GROUND	274

Note : A double row of Super Silt Fence is to be installed in the direction of the Sediment Control Inspector

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. 22350 EXPIRATION DATE: 05/22/2015



APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING
 [Signature] 7/16/13
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE
 [Signature] 7/16/13
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
 [Signature] 7/16/13
 DIRECTOR DATE

Date	7/28/16	No.	02	EMERSON CAMPUS VCP
Revision		Description		

EMERSON PARCEL F-1
 REVITZ PROPERTY
 5-STORY COMMERCIAL OFFICE BUILDING
 OWNER DEVELOPER:
 EMERSON DEVELOPMENT VII LLC
 1 TEXAS STATION COURT, SUITE 200
 TIMONIUM, MARYLAND 21093-8288
 (443) 689-8000

SUBMISSION NAME	SECTION AREA	LOT PARCEL #
REVITZ PROPERTY		LOT F-1 / PAR. 165
PLAT # 21277 & 21278	TAX ZONE MANLEET, DISTRICT	CENSUS TRACT
21277 & 21278 20 IPEC	47	6
WATER CODE	SEWER CODE	6903

TITLE EROSION AND SEDIMENT CONTROL PLAN		
Des. By	Scale 1"=50'	Proj. No. 95054.10
Drn. By	Date 07-05-13	8 of 20
Chk. By	Approved	

Date	Appr.
7/13	

Date	7/10/2013
Project No.	27677
Drawn by	CHASLES CANIZ
Checked by	NATHAN JAMES
Submitted by	NATHAN JAMES
Project Manager	

EMERSON - PERMETER SECURITY AND SITE EROSION AND SEDIMENT CONTROL PLAN ROOM(S) OR FLOOR LAUREL, MD

Drawing No.	8 OF 20
Sheet Reference No.	Sheet of 42

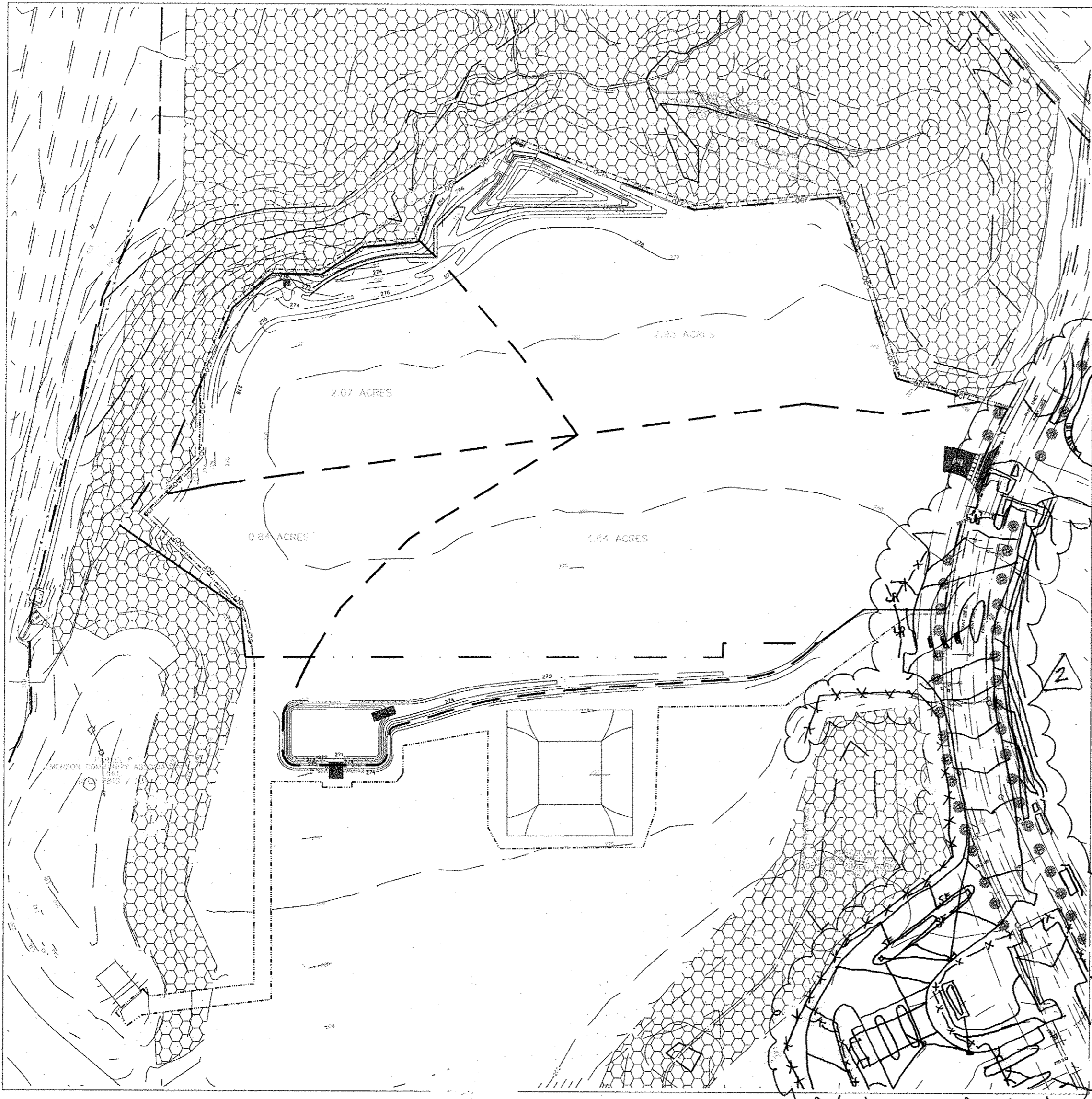
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UNCLASSIFIED//FOR OFFICIAL USE ONLY

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 222350, EXPIRATION DATE: 05/22/2015.

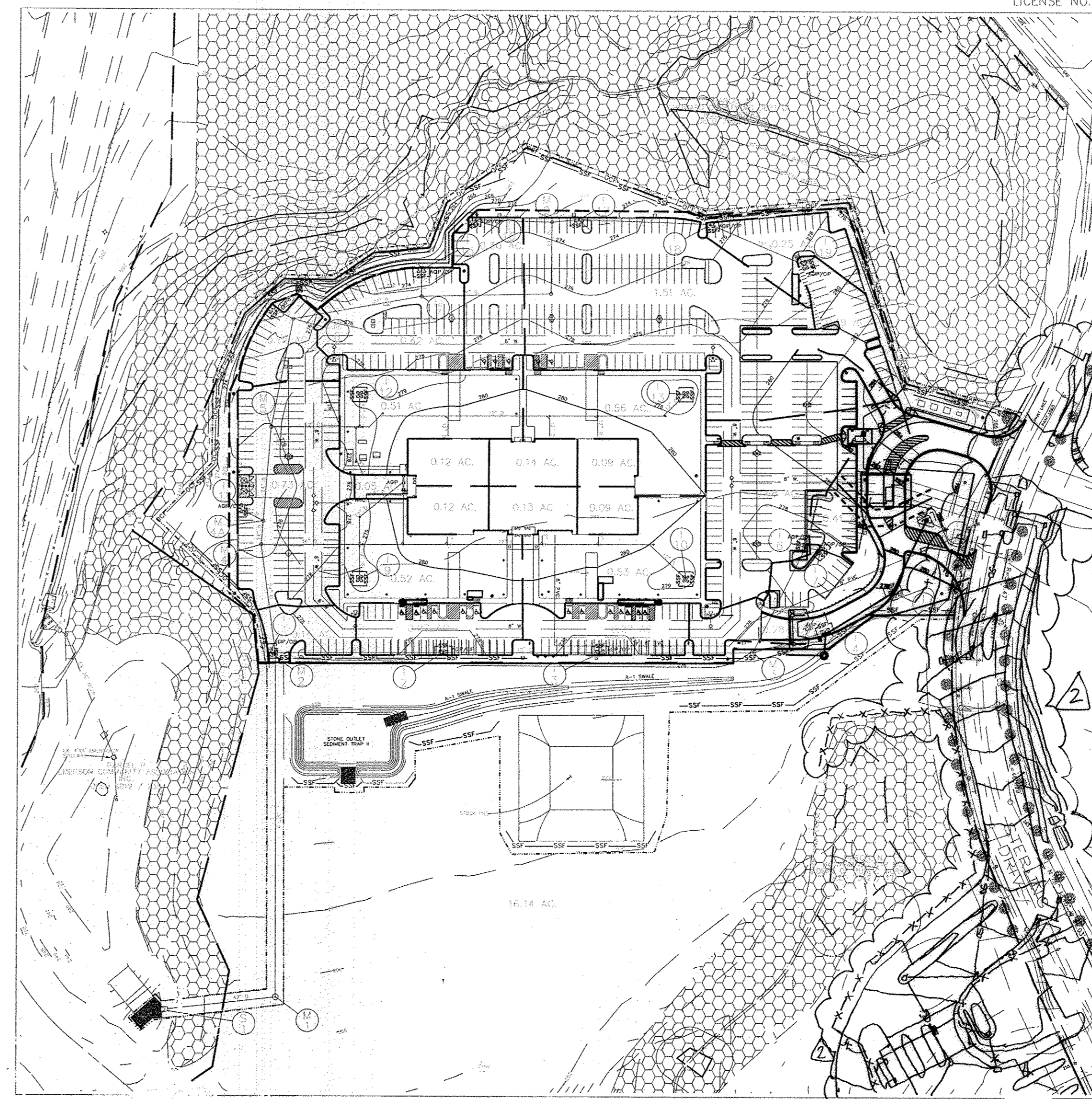
US Army Corps of Engineers
Baltimore District
REAL PROPERTY SERVICES
ANNAPOLIS DIVISION, MARYLAND
JACOBS
1100 N. GLEBE RD., ARLINGTON, VA 22201
(703) 248-1000

7/31/13
B. West



EXISTING DRAINAGE AREA MAP

SCALE: 1"=100'



PROPOSED DRAINAGE AREA MAP

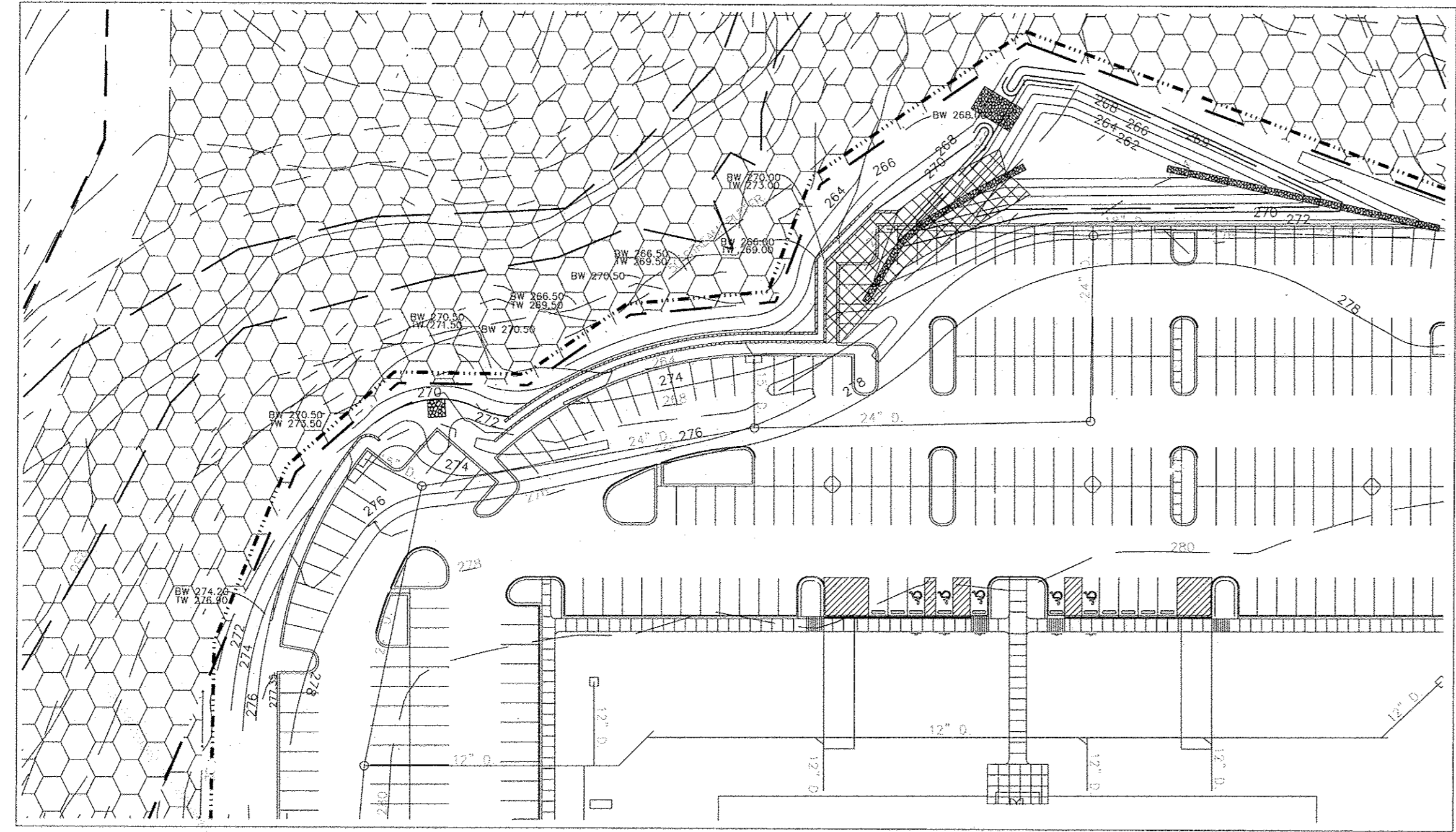
SCALE: 1"=100'

THE PURPOSE OF REVISION #2 IS TO SHOW THE NEW WORK ASSOCIATED WITH THE EMERSON CAMPUS VCP. SDP-14-005
PROFESSIONAL CERTIFICATION FOR REV 2
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 45242, EXPIRATION DATE 05/21/2018

James Conley
11-22-16

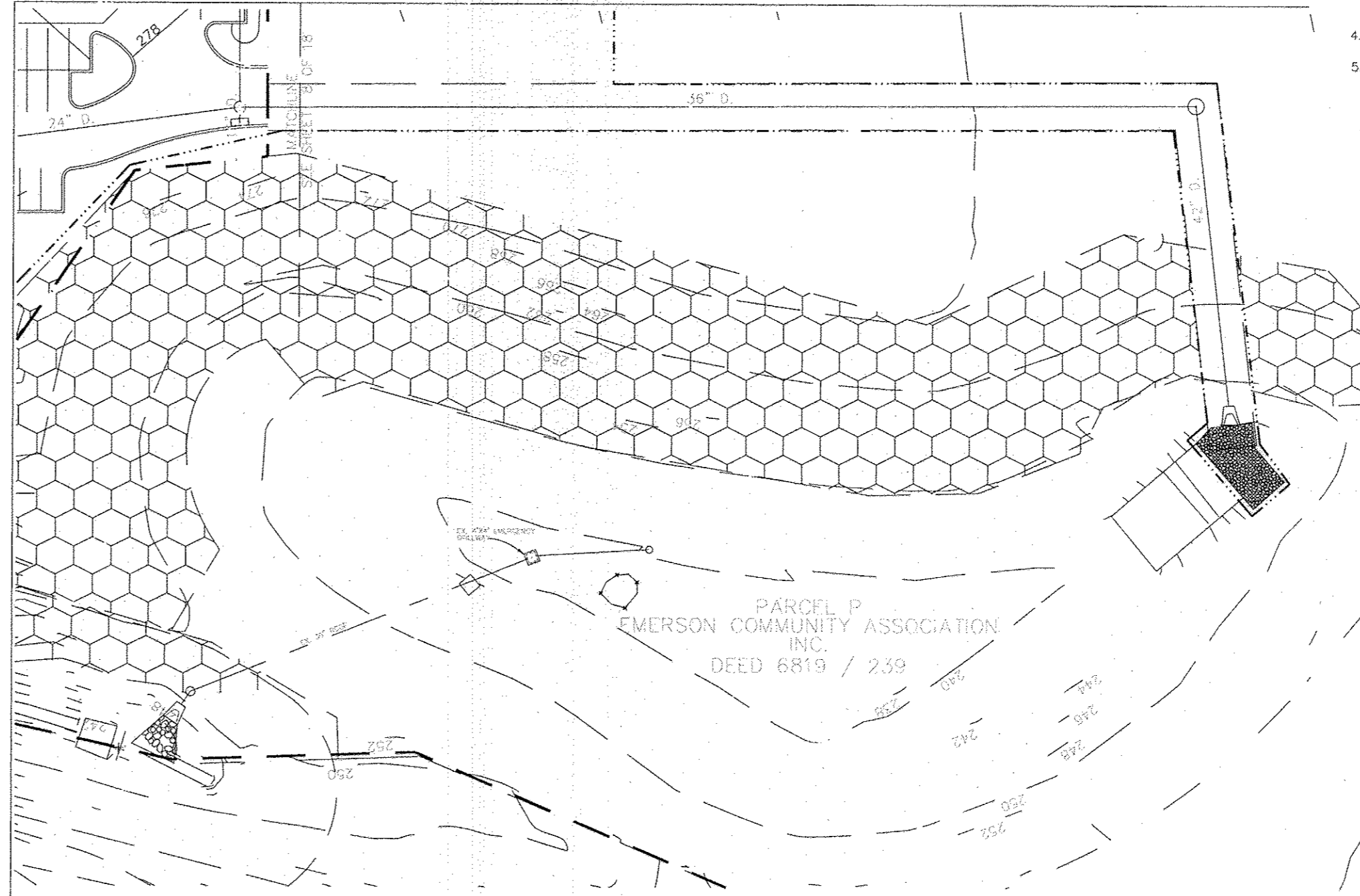
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DATE	APP'D
7/13	
7/13	



RETAINING WALL

SCALE: 1"=50'



OFF-SITE STORMDRAIN

SCALE: 1"=50'

- UTILITY CONST. SIDE SEDIMENT CONTROL PRACTICES
- EXCAVATED TRENCH "H-TRENCH" SHALL BE PLACED ON UPSTREAM SIDE OF TRENCH
 - IMMEDIATELY FOLLOWING PIPE INSTALLATION, THE TRENCH SHALL BE BACKFILLED, COMPACTED AND IMMEDIATELY STABILIZED (PERMANENT SEED AND MULCH) AT THE END OF EACH WORK DAY.
 - SILT FENCE SHALL BE PLACED IMMEDIATELY DOWNSTREAM OF ANY DISTURBED AREA INTENDED TO REMAIN UNOCCUPIED LONGER THAN ONE (1) WORKING DAY. (SILT FENCE AS PER SCS STANDARD DRAWING - E-15-3)
 - THE CONTRACTOR SHALL DISTURB AND OPEN TRENCH TO THE MINIMUM PRACTICAL AREA REQUIRED TO ACCOMPLISH THE WORK DESIGNED FOR EACH DAY.
 - ALL SEDIMENT AND EROSION CONTROL PRACTICES AND VEGETATIVE STABILIZATION SHALL BE IN ACCORDANCE WITH THE "STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL IN DEVELOPING AREAS". ANY EROSION AND SEDIMENT CONTROL PRACTICES DAMAGED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING
Chief, Division of Land Development DATE 7/13/13
Chief, Development Engineering Division DATE 7/13/13
Director DATE 7/13/13

Date	No.	Revision Description
9/28/14	2	EMERSON CAMPUS VCP

**EMERSON PARCEL F-1
REVITZ PROPERTY**
5-STORY COMMERCIAL OFFICE BUILDING
OWNER DEVELOPER:
EMERSON DEVELOPMENT VII LLC
1 TEXAS STATION COURT, SUITE 200
TIMONIUM, MARYLAND 21093-8288
(443) 684-8000

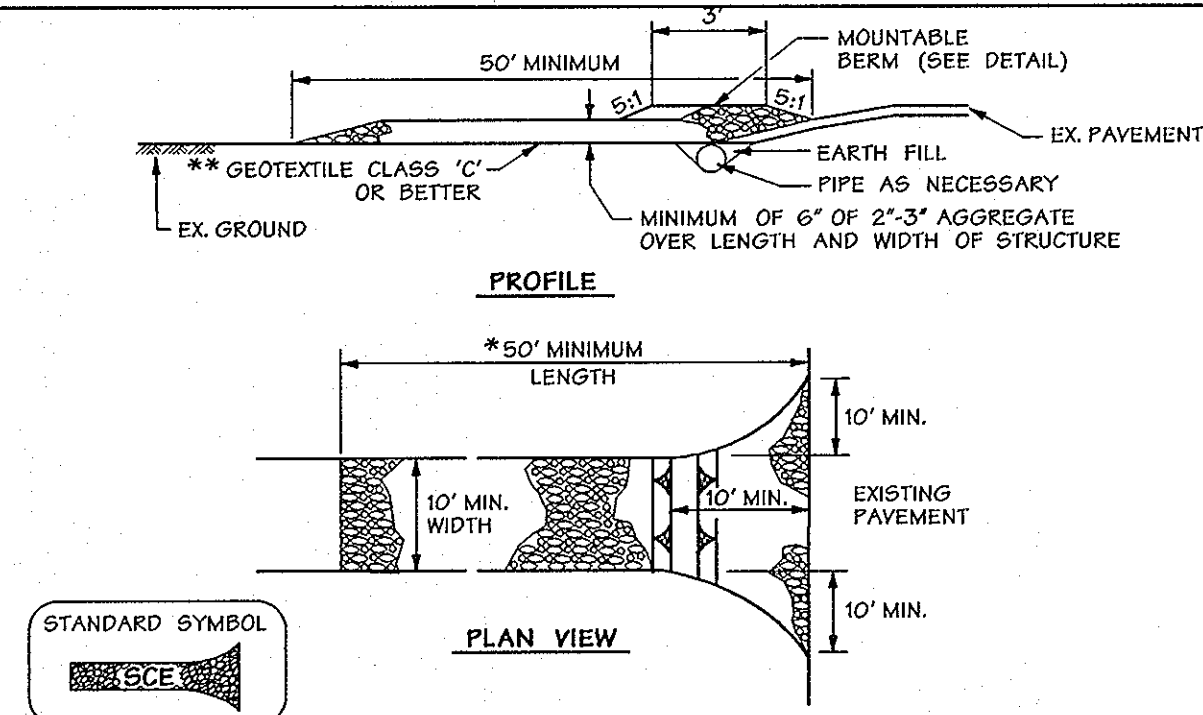
SUBDIVISION NAME	SECTION AREA	LOT PARCEL #
REVITZ PROPERTY	20 PEC	LOT F-1 / PAR. 165
PROPERTY TAX ZONE	47	6
WATER CODE	20	6903
SEWER CODE		

TITLE: EROSION AND SEDIMENT CONTROL DRAINAGE AREA MAP AND DETAILS

Des. By	Scale AS SHOWN	Proj. No.95054.10
Drn. Py	Date:07-05-13	9 of 20
Chk. By	Approved	

EMERSON - PERIMETER SECURITY AND SITE
EROSION AND SEDIMENT CONTROL
DRAINAGE AREA MAP AND DETAILS
ROOMS) OR FLOOR
LAUREL, MD

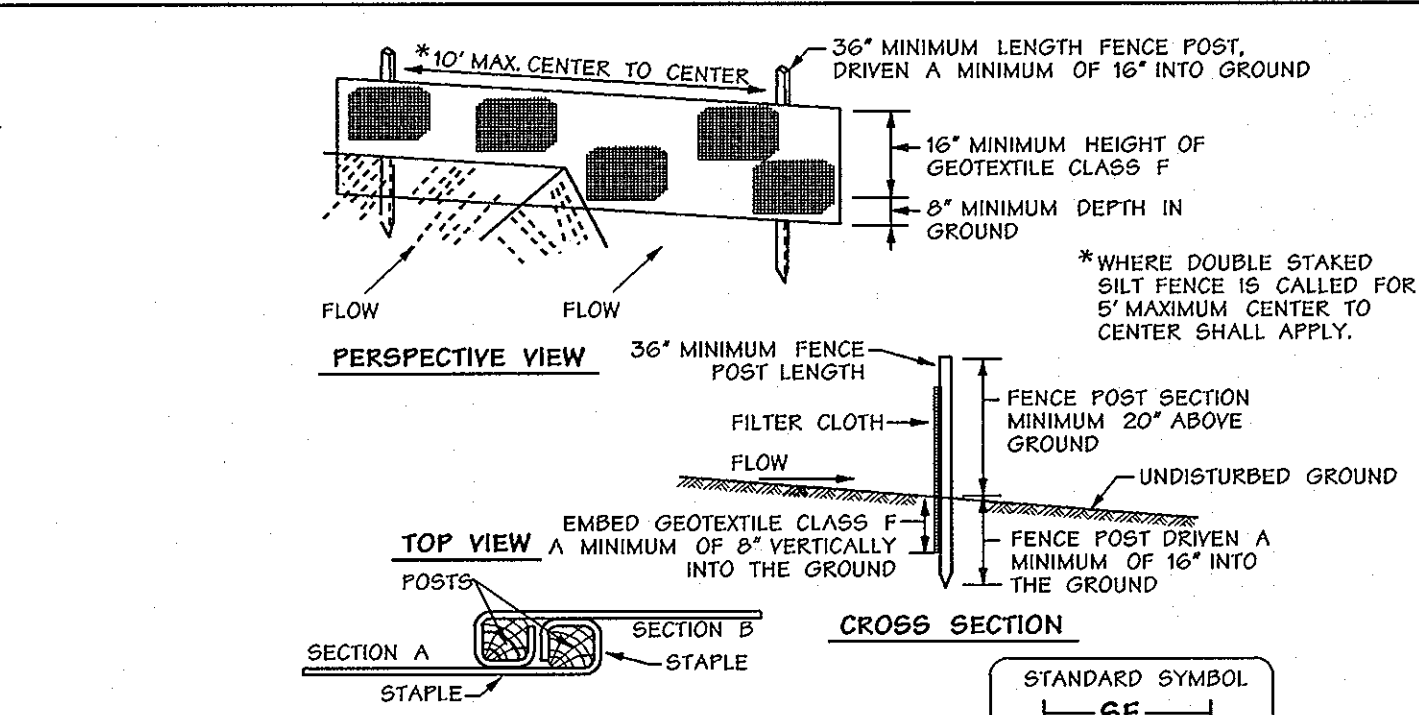
Drawing No.	Sheet Reference No.	Sheet	of	45
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CONSTRUCTION SPECIFICATIONS

- LENGTH - MINIMUM OF 50' (30' FOR SINGLE RESIDENCE LOT).
- WIDTH - 10' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
- GEOTEXTILE FABRIC CLASS C (FILTER CLOTH) SHALL BE PLACED OVER THE EXISTING GROUND PRIOR TO PLACING STONE. THE PLAN APPROVAL AUTHORITY MAY NOT REQUIRE SINGLE FAMILY RESIDENCES TO USE GEOTEXTILE.
- STONE - CRUSHED AGGREGATE (2" TO 3") OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT SHALL BE PLACED AT LEAST 6" DEEP OVER THE LENGTH AND WIDTH OF THE ENTRANCE.
- SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND A MINIMUM OF 6" OF STONE OVER THE PIPE. PIPE HAS TO BE SIZED ACCORDING TO THE DRAINAGE WHEN THE SITE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE, WILL NOT BE NECESSARY. PIPE SHOULD BE SIZED ACCORDING TO THE AMOUNT OF RUNOFF TO BE CONVEYED. A 6" MINIMUM WILL BE REQUIRED.
- LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED AT EVERY POINT WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES A CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE STABILIZED CONSTRUCTION ENTRANCE.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE F-17-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

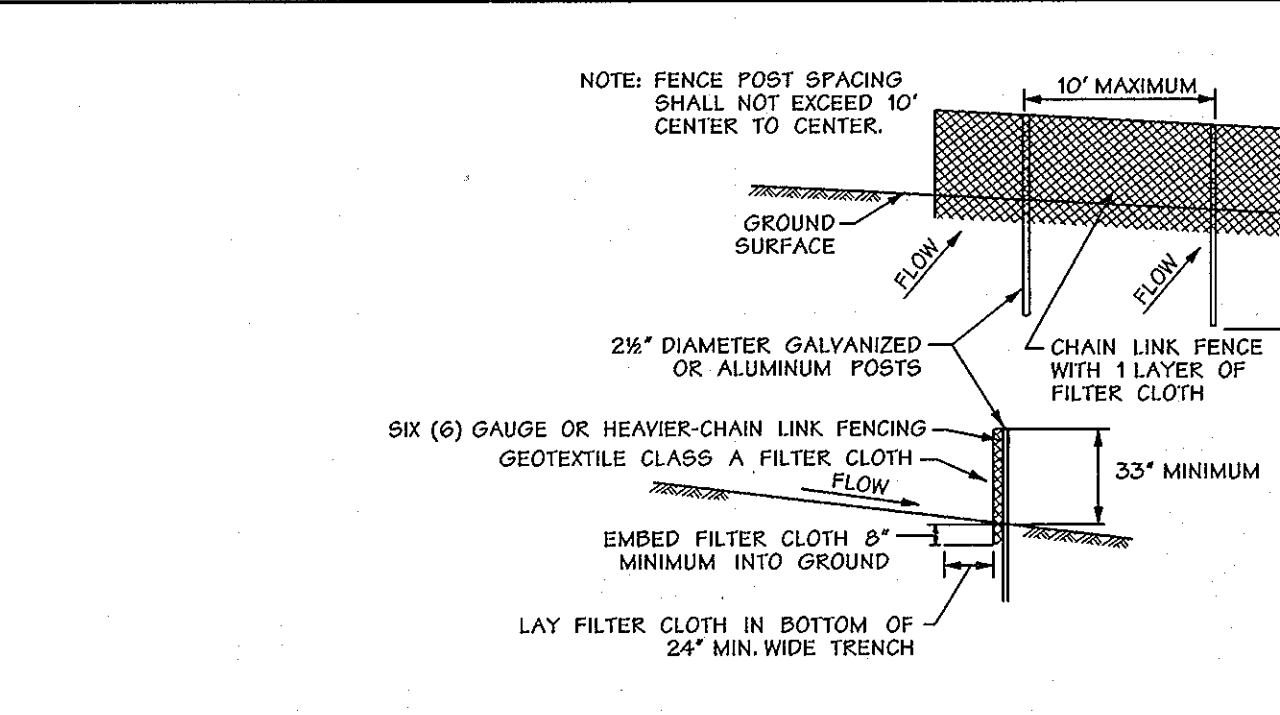


CONSTRUCTION SPECIFICATIONS

- FENCE POSTS SHALL BE A MINIMUM OF 36" LONG DRIVEN 16" MINIMUM INTO THE GROUND. WOOD POSTS SHALL BE 1 1/2" X 1 1/2" SQUARE (MINIMUM) CUT OR 1 1/2" DIAMETER (MINIMUM) ROUND AND SHALL BE OF SOUND QUALITY HARDWOOD. STEEL POSTS WILL BE STANDARD T OR U SECTION WEIGHING NOT LESS THAN 1.00 POUND PER LINEAR FOOT.
- GEOTEXTILE SHALL BE FASTENED TO EACH FENCE POST WITH WIRE TIES OR STAPLES AT TOP AND MID-SECTION AND SHALL MEET THE FOLLOWING REQUIREMENTS FOR GEOTEXTILE CLASS F:
- WHERE ENDS OF GEOTEXTILE FABRIC COME TOGETHER, THEY SHALL BE OVERLAPPED, FOLDED AND STAPLED TO PREVENT WIND UPFLOWS.
- SILT FENCE SHALL BE INSPECTED AFTER EACH RAINFALL EVENT AND MAINTAINED WHEN BULGES OCCUR OR WHEN SEDIMENT ACCUMULATION REACHED 50% OF THE FABRIC HEIGHT.

TENSILE STRENGTH 50 LBS./IN. (MIN.) TEST: MSMT 509
TENSILE MODULUS 20 LBS./IN. (MIN.) TEST: MSMT 509
FLOW RATE 0.3 GAL./FT. MIN. (MAX.) TEST: MSMT 522
FILTERING EFFICIENCY 95% TEST: MSMT 522

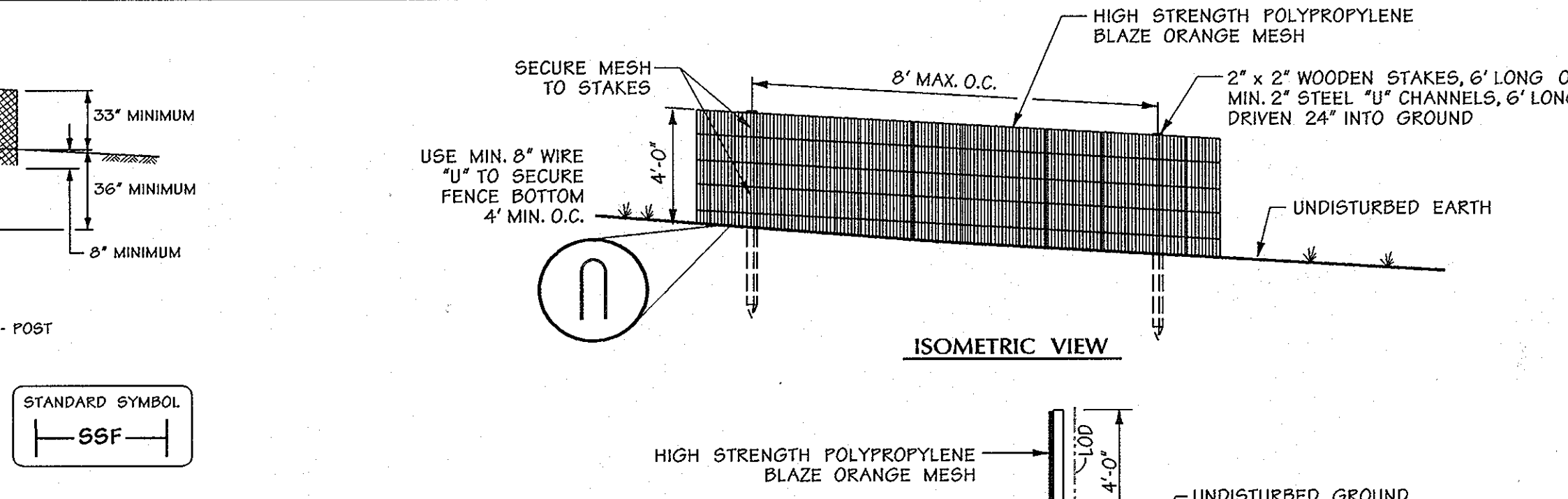
U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE E-19-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



CONSTRUCTION SPECIFICATIONS

- FENCING SHALL BE 42 INCHES IN HEIGHT AND CONSTRUCTED IN ACCORDANCE WITH THE LATEST MARYLAND STATE HIGHWAY (SHA) DETAILS FOR CHAIN LINK FENCING. THE SHA SPECIFICATIONS FOR A 6 FOOT FENCE SHALL BE USED, SUBSTITUTING 42" FABRIC AND 6 FOOT LENGTH POSTS.
- THE POSTS DO NOT NEED TO BE SET IN CONCRETE.
- CHAIN LINK FENCE SHALL BE FASTENED TO EACH FENCE POST WITH WIRE TIES OR STAPLES. THE LOWER TENSION WIRE, BRACE AND TRUSS RODS, DRIVE ANCHORS, AND POST CAPS ARE NOT REQUIRED EXCEPT ON THE ENDS OF THE FENCE. THE CHAIN LINK FENCING SHALL BE SIX (6) GAUGE OR HEAVIER.
- FILTER CLOTH SHALL BE FASTENED TO THE CHAIN LINK FENCE WITH TIES SPACED EVERY 24" AT THE TOP AND MID SECTION.
- FILTER CLOTH SHALL BE EMBEDDED A MINIMUM OF 8" INTO THE GROUND.
- WHEN TWO SECTIONS OF GEOTEXTILE FABRIC ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6" AND FOLDED.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SILT BUILDUPS REMOVED WHEN 'BULGES' DEVELOP IN THE SILT FENCE, OR WHEN SILT REACHES 50% OF THE FABRIC HEIGHT.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE MODIFIED MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



CONSTRUCTION SPECIFICATIONS

- This detail is for Orange Construction Fence Device only.
- Forest retention area will be set as part of the review process.
- Boundaries of forest retention area should be staked and flagged prior to installing the device.
- Root damage shall be avoided.
- Protection signage may also be used.
- Orange Construction fence shall be maintained throughout construction.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

Stabilized Construction Entrance

Super Silt Fence

Orange Construction Fence

Silt Fence

DEFINITION
Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

PURPOSE
To provide a suitable soil medium for vegetative growth, soils of concern have low moisture content, low nutrient levels, low pH, nutrient toxic to plants, and/or unacceptably soil gradation.

CONDITION WHERE PRACTICE APPLIES

- The practice is limited to areas having 2:1 or flatter slopes where:
 - The texture of the exposed subsoil material is such as to produce vegetable growth.
 - The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
 - The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
- The soil is so acidic that treatment with limestone is not feasible.
- The soil is so sandy that stabilization with topsoil is not practical.
- The soil is so saline that stabilization with topsoil is not practical.

For the purpose of these standards and specifications areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have this appropriate stabilization plan on the site plan.

PERMANENT / TEMPORARY SEEDING NOTES

Permanent Seeding Notes
Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long lived vegetative cover is needed.

Seeding Preparation Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

Soil Amendments: In lieu of soil test recommendations, use one of the following schedule:

- Preferred - apply 2 tons per acre dolomitic limestone (92 lbs./1,000 square feet) and disk into upper three inches of soil. At time of seeding, apply 400 lbs. per acre 20-20-0 ureaform fertilizer (9 lbs./1,000 square feet).
- Acceptable - apply 2 tons per acre dolomitic limestone (92 lbs./1,000 square feet) and 1,000 lbs. per acre 10-10-10 fertilizer (20 lbs./1,000 square feet) before seeding. Harvest or disk top two upper three inches of soil.

Seeding - For the period March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs. per acre (1.4 lbs./1,000 square feet) of Kentucky 21 Tall Fescue. For the period of 15 thru July 31, seed with 60 lbs. per acre (1.4 lbs./1,000 square feet) of Kentucky 31 Tall Fescue for acre and 2 lbs. per acre (.05 lbs./1,000 square feet) of Weeping Lovegrass. During the period of October 15 thru February 28, seed with 60 lbs. per acre (1.4 lbs./1,000 square feet) of Kentucky 21 Tall Fescue and 2 lbs. per acre (.05 lbs./1,000 square feet) of Weeping Lovegrass. Option (1) - 2 tons per acre of well-anchored straw. Mulch and seed as soon as possible in the spring. Option (2) - use seed. Option (3) - seed with 60 lbs. per acre Kentucky 31 Tall Fescue and mulch with 2 tons loose well-anchored straw.

Mulching - Apply 1 1/2 to 2 tons per acre (70 - 90 lbs./1,000 square feet) of untreated wood-frame, small-grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 200 galls per acre (5 gal./1,000 square feet) of emulsified asphalt on flat areas or slopes 3:1 or higher. Use 340 galls per acre (8 gal./1,000 square feet) for anchoring.

Maintenance - Inspect all seeded areas and make needed repairs, replacements and reseeding.

CONSTRUCTION SPECIFICATIONS

- EXCAVATE COMPLETELY AROUND THE INLET TO A DEPTH OF 18" BELOW THE NOTCH ELEVATION.
- DRIVE THE 2' X 4' CONSTRUCTION GRADE LUMBER POSTS INTO THE GROUND AT EACH CORNER OF THE INLET. PLACE NAIL STRIPS BETWEEN THE POSTS ON THE ENDS OF THE INLET. ASSEMBLE THE TOP PORTION OF THE 2' X 4' FRAMING USING THE OVERLAP JOINT SHOWN ON DETAIL. THE TOP OF THE FRAME (WEIR) MUST BE 6" BELOW ADJACENT ROADWAYS WHERE FLOODING AND SAFETY ISSUES MAY ARISE.
- STRETCH THE 1/2" X 1/2" WIRE MESH TIGHTLY AROUND THE FRAME AND FASTEN SECURELY. THE ENDS MUST MEET AND OVERLAP AT A POST.
- STRETCH THE GEOTEXTILE CLASS E TIGHTLY OVER THE WIRE MESH WITH THE GEOTEXTILE EXTENDING FROM THE TOP OF THE FRAME TO 18" BELOW THE INLET NOTCH ELEVATION. FASTEN THE GEOTEXTILE FIRMLY TO THE FRAME. THE ENDS OF THE GEOTEXTILE MUST MEET AT A POST. BE OVERLAPPED AND FOLDED, THEN FASTENED DOWN.
- BACKFILL AROUND THE INLET IN COMPACTED 6" LAYERS UNTIL THE LAYER OF EARTH IS LEVEL WITH THE NOTCH ELEVATION ON THE ENDS AND TOP ELEVATION ON THE SIDES.
- IF THE INLET IS NOT IN A GULLY, CONSTRUCT A COMPACTED EARTH DITCH ACROSS THE DITCH LINE DIRECTLY BELOW IT. THE TOP OF THE EARTH DIKE SHOULD BE AT LEAST 6" HIGHER THAN THE TOP OF THE FRAME.
- THE STRUCTURE MUST BE INSPECTED PERIODICALLY AND AFTER EACH RAIN AND THE GEOTEXTILE REPLACED WHEN IT BECOMES CLOGGED.

SILT FENCE DESIGN CRITERIA

SLOPE STEEPNESS	(MAXIMUM) SLOPE LENGTH	(MAXIMUM) SILT FENCE LENGTH
FLATTER than 50:1 (2%)	UNLIMITED	UNLIMITED
50:1 to 10:1 (2-10%)	125 FEET	1,000 FEET
10:1 to 5:1 (10-20%)	100 FEET	750 FEET
5:1 to 3:1 (20-35%)	60 FEET	500 FEET
3:1 to 2:1 (33-50%)	40 FEET	250 FEET
2:1 and STEEPER (> 50%)	20 FEET	125 FEET

NOTE: IN AREAS OF LESS THAN 2% SLOPE AND SANDY SOILS (USDA GENERAL CLASSIFICATION SYSTEMS A, B AND C) MAXIMUM SLOPE LENGTH AND SILT FENCE LENGTH WILL BE UNLIMITED. IN THESE AREAS A SILT FENCE MAY BE THE ONLY PERIMETER CONTROL REQUIRED.

CONSTRUCTION AND MATERIAL SPECIFICATIONS

- Topsoil obtained from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the Agricultural Conservation Handbook, the Soil Survey Manual, and the USDA-NRCS in cooperation with Maryland Agricultural Experiment Station.
- Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand, and other appropriate approval authority. Topsoil shall not be a mixture of contrasting textures, subsoils and shall contain less than 2% by volume of clasts, stones, debris, coarse fragments, gravel, sticks, roots, trash, or other material larger than 1/4" in diameter.
- Topsoil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnson grass, nutgrass, knotweed, or other material larger than 1/4" in diameter.
- Where the topsoil is composed of heavy clay, clays, clays, or silts, it shall be spread at the rate of 4-6 tons per acre (100-150 lbs./1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over the topsoil prior to the placement of topsoil with tillage operations as described in the following procedures.
- For sites having disturbed areas under 5 acres:
 - Place topsoil (if required) and apply soil amendment as specified in 2.0.0 Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.
- For sites having disturbed areas over 5 acres:
 - Place topsoil (if required) and apply soil amendment as specified in 2.0.0 Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.

Topsoil Application

- When topsoiling, maintain needed erosion and sediment control practices such as diversion, grade stabilization structures, earth dikes, silt fence and sediment traps and basins.
- Grades on the areas to be topsoiled, which have been previously established, shall be maintained, about 2" higher in elevation.
- Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 2". Compaction shall be accomplished by walking on the topsoil with a minimum of additional preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of rills, gullies, or other erosion-producing conditions.
- Topsoil shall not be placed while the topsoil is frozen or muddy condition when the soil is excessively wet or in a condition that may otherwise be detrimental to proper grading and needed preparation.

Alternative for permanent seeding - instead of applying the full amounts of lime and commercial fertilizer, composted sludge and amendment 5 may be applied as described below:

- Composted sludge material for use as a soil conditioner in areas having disturbed areas over 5 acres shall conform to the following requirements:
 - Composted sludge shall be supplied by, or originated from a person or persons that are permitted (at the time of acquisition of the compost) by the Maryland Department of the Environment under COMAR 26.04.26.
 - Composted sludge shall contain at least 1 percent nitrogen, 15 percent phosphorus, and 0.2 percent potassium and have a pH of 7.0 to 8.0. If compost does not meet these requirements, the appropriate amendments must be added to meet the requirements.
 - Composted sludge shall be applied at a rate of 1 ton/1,000 square feet.
 - Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 lbs./1,000 square feet and 1/3 the normal lime application rate.

Reference: Guideline Specifications, Soil Preparation and Seeding, MD-VA Pub. # Cooperative Extension Service, University of Maryland and Virginia Polytechnic Institute, Revised 1993.

TEMPORARY SEEDING NOTES

Soil Amendment - Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

Soil Amendments - apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs./1,000 square feet).

Seeding - For the period March 1 thru April 30, and August 1 thru October 15, seed with 2 1/2 bushels per acre of annual ryegrass (5.7 lbs./1,000 square feet) the period May 1 thru August 15, seed with 3 lbs. per acre Weeping Lovegrass (7.0 lbs./1,000 square feet). For the period November 1 thru February 28, seed the site by applying 2 tons per acre of well-anchored straw. Mulch and seed as soon as possible in the spring, or use seed.

Mulching - Apply 1 1/2 to 2 tons per acre (70 - 90 lbs./1,000 square feet) of untreated wood-frame, small-grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 200 galls per acre (5 gal./1,000 square feet) of emulsified asphalt on flat areas or slopes 3:1 or higher. Use 340 galls per acre (8 gal./1,000 square feet) for anchoring.

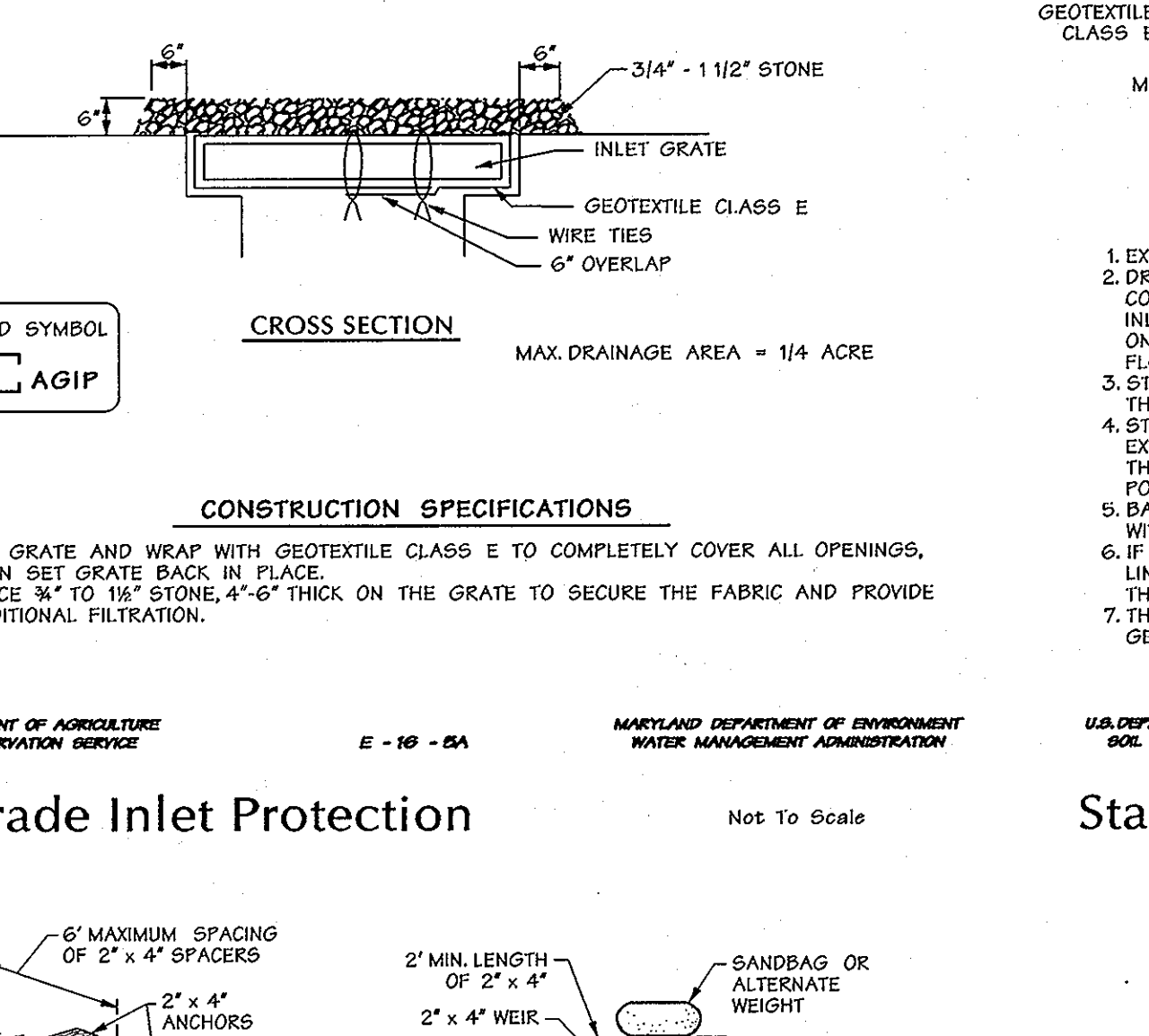
Refer to the 1994 Maryland Standards and Specifications for Soil Erosion and Sediment Control" for additional notes and methods not covered.

Temporary Methods:

- Mulches - see Standards for Vegetative Stabilization with Mulches only. Mulch should be crimped or tilled to prevent blowing.
- Vegetative cover - see Standards for Temporary Vegetative Cover.
- Tillage - to rough surface and bring close to the surface. This is an emergency measure which should be used before soil blowing starts. Begin plowing on windward side of site. Chisel-type plows spaced about 12 inches apart, spring-toothed harrows, and similar plows are examples of equipment which may produce the desired effect.
- Irrigation - this is generally done as an emergency treatment. Site is sprinkled with water until the surface is moist. Repeat as needed. At no time should the site be irrigated to the point the runoff begins to flow.
- Barriers - solid board fences, snow fences, burlap fences, straw bales, and similar material can be used to control runoff and sediment. Barriers placed at right angles to prevailing currents at intervals of about 10 times their height are effective in controlling soil blowing.
- Calcium Chloride - apply at a rate that will keep surface moist. May need reapplication.

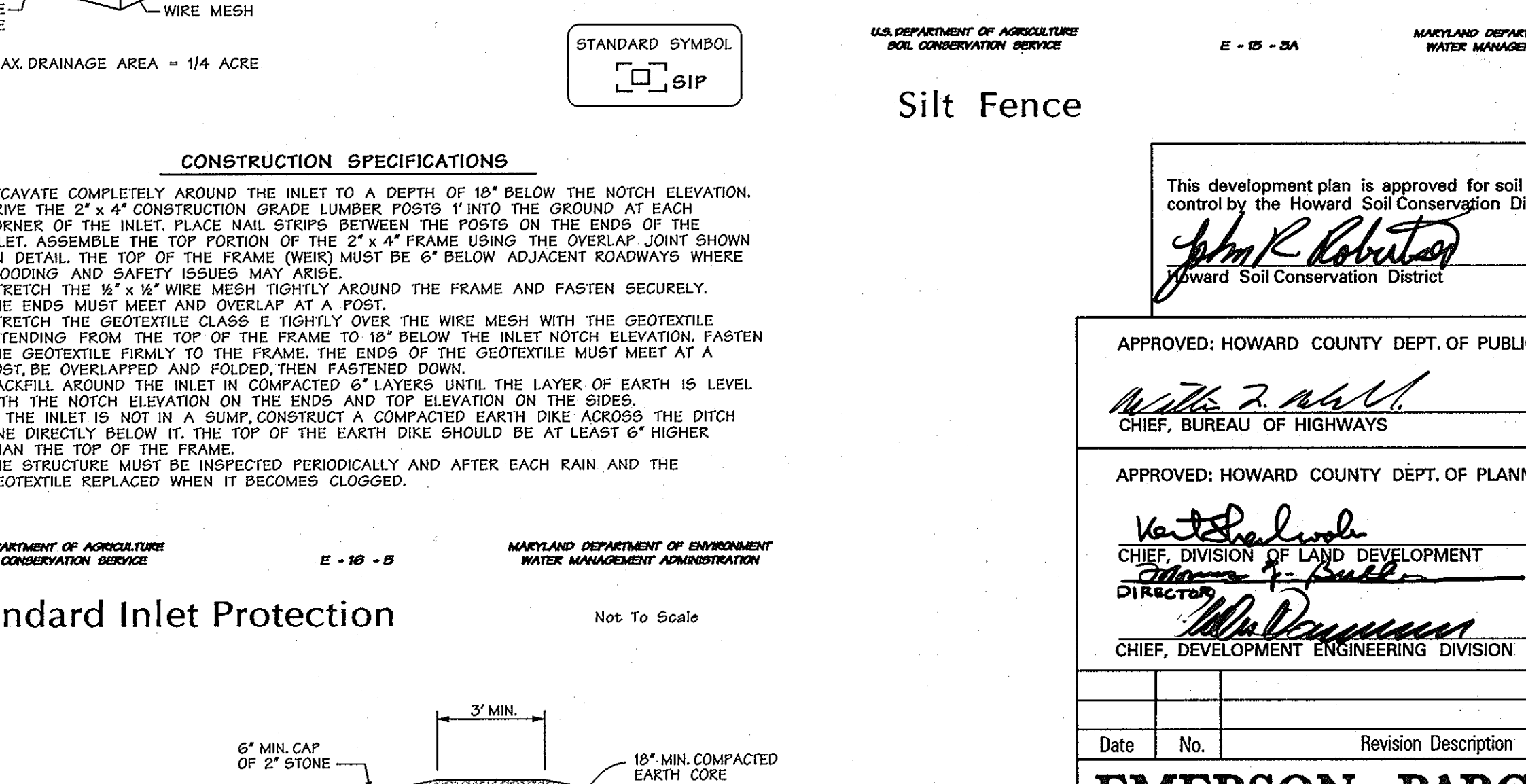
Permanent Methods:

- Permanent Vegetation - see Standards for Vegetative Cover and Permanent Stabilization with seed.
- Soil Amendments - see Standards for Soil Amendments.
- Topsoiling - covering with less erodible soil material. See Standards for Topsoiling.
- Stones - cover surface with crushed or coarse gravel.



CONSTRUCTION SPECIFICATIONS

- LIFT GRADE AND WRAP WITH GEOTEXTILE CLASS E TO COMPLETELY COVER ALL OPENINGS. THEN SET GRADE BACK IN PLACE.
- PLACE 3/4" X 1 1/2" STONE, 4"-6" THICK ON THE GRATE TO SECURE THE FABRIC AND PROVIDE ADDITIONAL FILTRATION.



CONSTRUCTION SPECIFICATIONS

- ATTACH A CONTINUOUS PIECE OF 1/2" X 1/2" WIRE MESH (30" MINIMUM WIDTH BY THROAT LENGTH PLUS 4") TO THE 2" X 4" WEIR (MEASURING THROAT LENGTH PLUS 2") AS SHOWN ON STANDARD DRAWING.
- PLACE A CONTINUOUS PIECE OF GEOTEXTILE CLASS E THE SAME DIMENSIONS AS THE WIRE MESH OVER THE WIRE MESH AND SECURELY ATTACH IT TO THE 2" X 4" WEIR.
- SECURELY NAIL THE 2" X 4" WEIR TO A 9" LONG VERTICAL SPACER TO BE LOCATED BETWEEN THE WEIR AND THE INLET FACE (MAX. 4" APART).
- PLACE THE ASSEMBLY AGAINST THE INLET THROAT AND NAIL (MINIMUM 2" LENGTHS OF 2" X 4" TO THE TOP OF THE WEIR AT SPACER LOCATIONS), THESE 2" X 4" ANCHORS SHALL EXTEND ACROSS THE INLET TOP AND BE HELD IN PLACE BY SANDBAGS OR ALTERNATE WEIGHT.
- THE ASSEMBLY SHALL BE PLACED SO THAT THE END SPACERS ARE A MINIMUM 1" BEYOND BOTH ENDS OF THE THROAT OPENING.
- FORM THE 1/2" X 1/2" WIRE MESH AND THE GEOTEXTILE FABRIC TO THE CONCRETE GUTTER AND AGAINST THE FACE OF THE CURB ON BOTH SIDES OF THE INLET. PLACE 3/4" X 1 1/2" STONE OVER THE WIRE MESH AND GEOTEXTILE IN SUCH A MANNER TO PREVENT WATER FROM ENTERING THE INLET UNDER OR AROUND THE GEOTEXTILE.
- THIS TYPE OF PROTECTION MUST BE INSPECTED FREQUENTLY AND THE FILTER CLOTH AND STONE REPLACED WHEN CLOGGED WITH SEDIMENT.
- ASSURE THAT STORM FLOW DOES NOT BYPASS THE INLET BY INSTALLING A TEMPORARY EARTH OR ASPHALT DIKE TO DIRECT THE FLOW OF THE INLET.

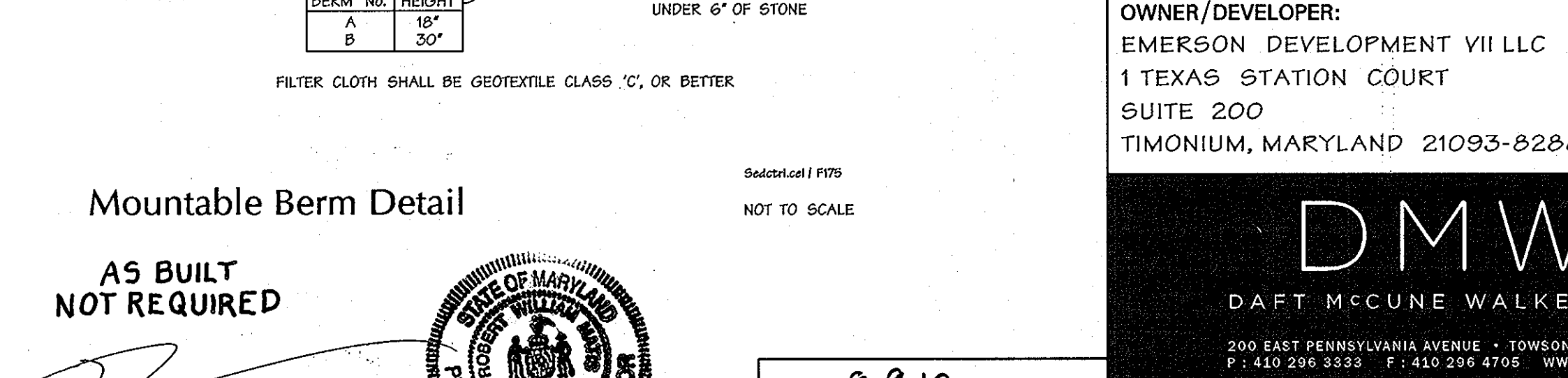
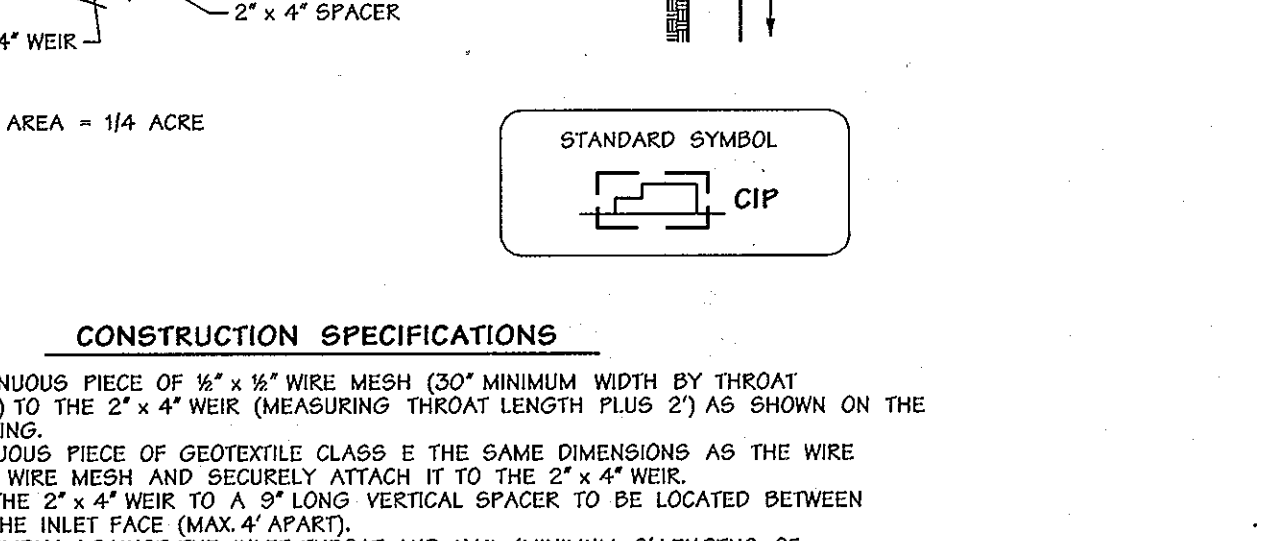
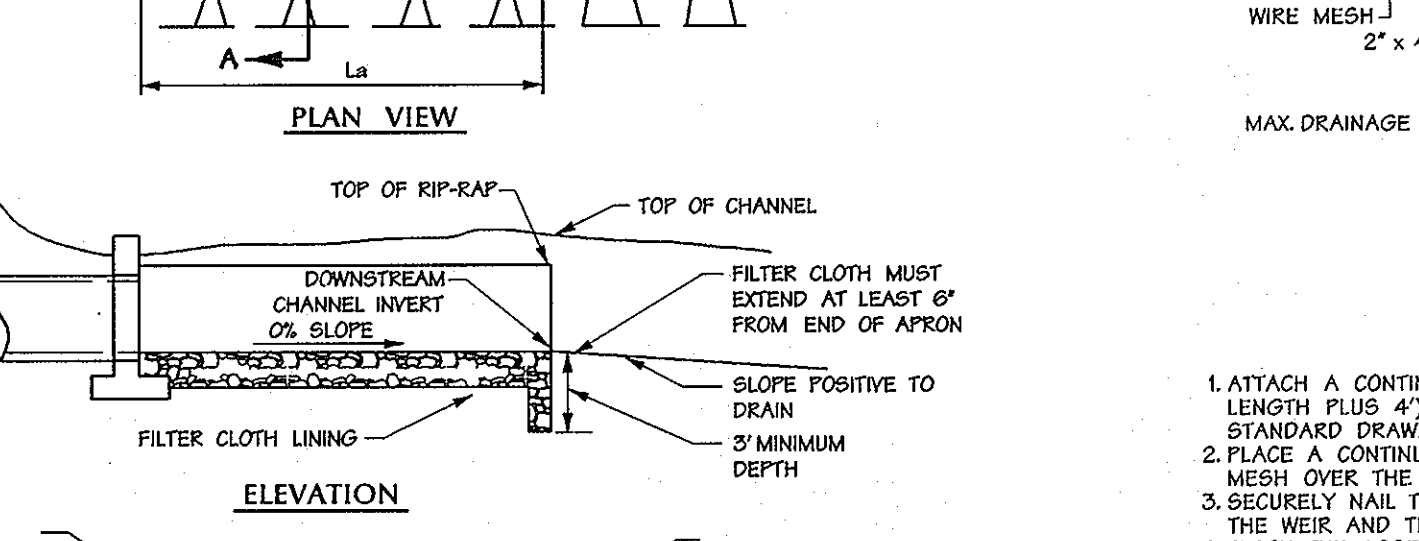
DUST CONTROL SPECIFICATIONS

Temporary Methods:

- Mulches - see Standards for Vegetative Stabilization with Mulches only. Mulch should be crimped or tilled to prevent blowing.
- Vegetative cover - see Standards for Temporary Vegetative Cover.
- Tillage - to rough surface and bring close to the surface. This is an emergency measure which should be used before soil blowing starts. Begin plowing on windward side of site. Chisel-type plows spaced about 12 inches apart, spring-toothed harrows, and similar plows are examples of equipment which may produce the desired effect.
- Irrigation - this is generally done as an emergency treatment. Site is sprinkled with water until the surface is moist. Repeat as needed. At no time should the site be irrigated to the point the runoff begins to flow.
- Barriers - solid board fences, snow fences, burlap fences, straw bales, and similar material can be used to control runoff and sediment. Barriers placed at right angles to prevailing currents at intervals of about 10 times their height are effective in controlling soil blowing.
- Calcium Chloride - apply at a rate that will keep surface moist. May need reapplication.

Permanent Methods:

- Permanent Vegetation - see Standards for Vegetative Cover and Permanent Stabilization with seed.
- Soil Amendments - see Standards for Soil Amendments.
- Topsoiling - covering with less erodible soil material. See Standards for Topsoiling.
- Stones - cover surface with crushed or coarse gravel.



Mountable Berm Detail

AS BUILT NOT REQUIRED

8-9-10 Date

SURVEY SERVICES OF MD, LLC
BY: ROBERT W. MATYIS - RL5 605

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 8061, EXPIRATION DATE: 02-26-2011

Professional Engr. No. 8061

AS-BUILT CERTIFICATION FOR PSWM

NOTE: THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.

SIGNED: *Melvin Charles Deall* 5/12/10

MELVIN CHARLES DEALL, P.E. (6928)

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE F-19-8A MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

Rock Outlet Protection II

NOT TO SCALE

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE E-16-19 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

Curb Inlet Protection (COG or COS Inlets)

NOT TO SCALE

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE E-16-5B MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

EMERSON PARCEL F-1 REVITZ PROPERTY
5-STORY COMMERCIAL OFFICE BUILDING

OWNER/DEVELOPER:
EMERSON DEVELOPMENT VII LLC
1 TEXAS STATION COURT
SUITE 200
TIMONIUM, MARYLAND 21093-8288

DMW
DAFT MCCUNE WALKER, INC.

200 EAST PENNSYLVANIA AVENUE • TOWSON, MD 21286
P: 410.296.3329 F: 410.296.4765 WWW.DMW.COM

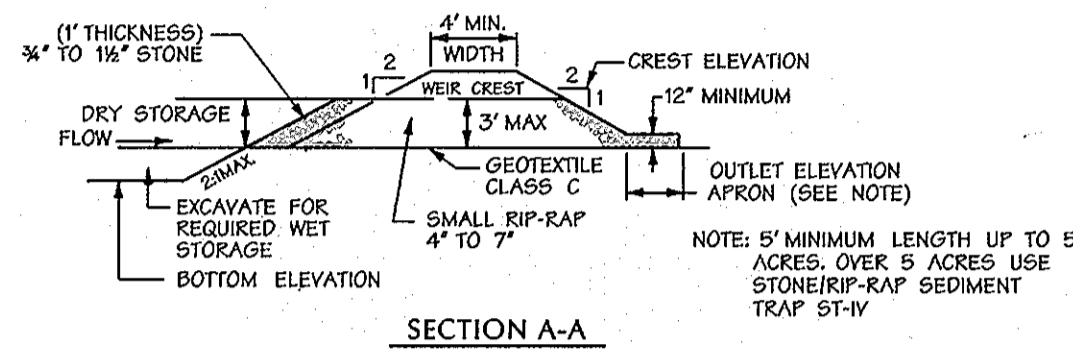
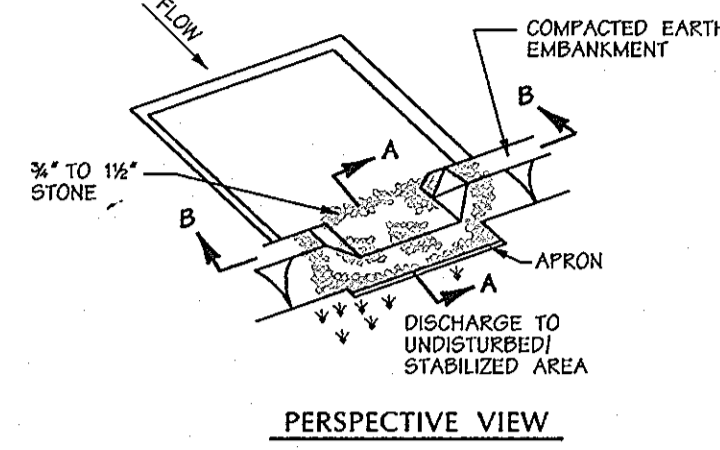
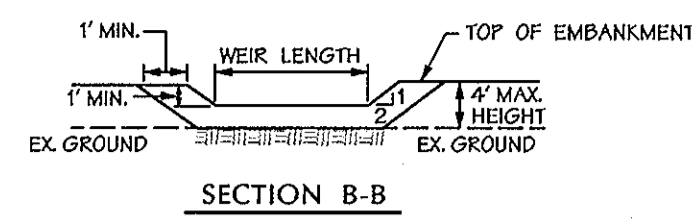
A TEAM OF LAND PLANNERS, LANDSCAPE ARCHITECTS, ENGINEERS, SURVEYORS & ENVIRONMENTAL PROFESSIONALS

SUBDIVISION NAME	REVIEW PROPERTY	SECTION/AREA	REVISION	DATE	LOT-F-1 PAR. 165
REVITZ PROPERTY	REVITZ PROPERTY	SECTION 4	REVISED	8/9/10	
PLAN OF PLAZA BLDG # 200	REVITZ PROPERTY	SECTION 4	REVISED	8/9/10	
WATER CODE	REVITZ PROPERTY	SECTION 4	REVISED	8/9/10	

TITLE
EROSION & SEDIMENT CONTROL DETAILS

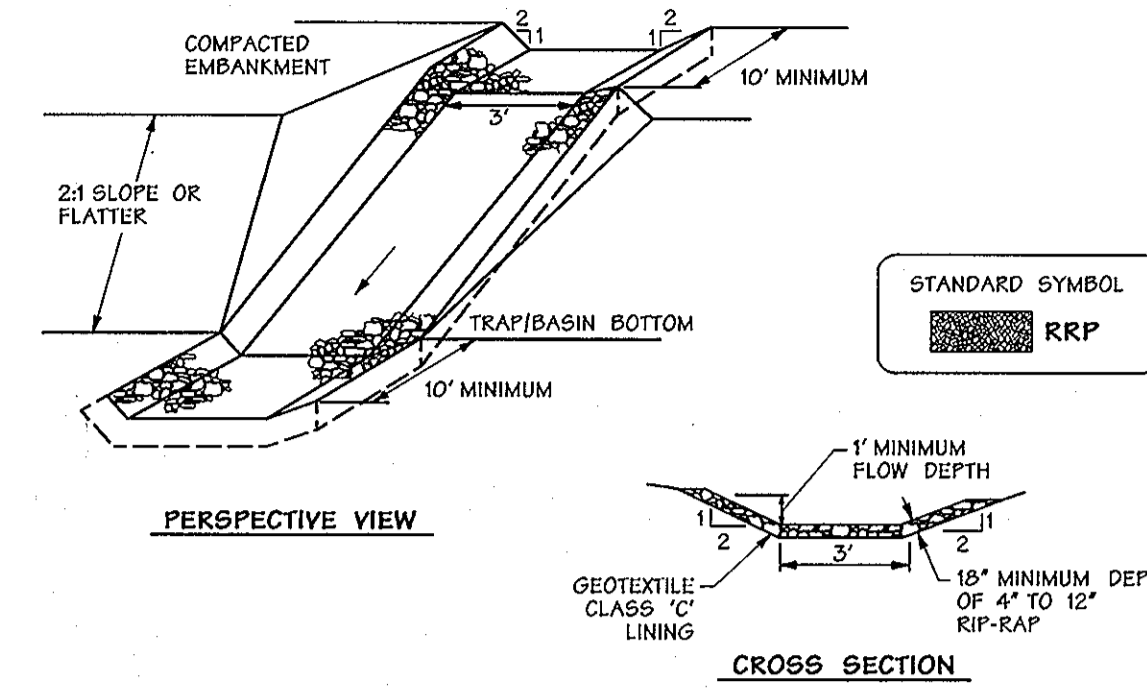
Des. By: JDF/RJD Scale: 1"=50' Proj. No.: 95054.10
 Dm. By: CRH/JSS Date: 07-16-10
 Chk. By: Approved: 10 of 18

SDP-10-096



CONSTRUCTION SPECIFICATIONS

1. AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED AND STRIPPED OF ANY VEGETATION AND ROOT MAT. THE POOL AREA SHALL BE CLEARED.
2. THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS AND OTHER WOODY VEGETATION AS WELL AS OVER-SIZED STONES, ROCKS, ORGANIC MATERIAL OR OTHER OBJECTIONABLE MATERIAL. THE EMBANKMENT SHALL BE COMPACTED BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED.
3. ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER.
4. THE STONE USED IN THE OUTLET SHALL BE SMALL RIP-RAP 4" TO 7" IN SIZE WITH A 1" THICK LAYER OF 3/4" TO 1 1/2" WASHED AGGREGATE PLACED ON THE UPSTREAM FACE OF THE OUTLET. STONE FACING SHALL BE WASHED AS NECESSARY TO PREVENT CLOGGING. GEOTEXTILE CLASS C MAY BE SUBSTITUTED FOR THE STONE FACING BY PLACING IT ON THE INSIDE FACE OF THE STONE OUTLET.
5. SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE HALF OF THE NET STORAGE DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
6. THE STRUCTURE SHALL BE INSPECTED PERIODICALLY AND AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
7. CONSTRUCTION OF TRAPS SHALL BE CARRIED OUT IN SUCH A MANNER THAT SEDIMENT POLLUTION IS ABATED. ONCE CONSTRUCTED, THE TOP AND OUTSIDE FACE OF THE EMBANKMENT SHALL BE STABILIZED WITH SEED AND MULCH. POINTS OF CONCENTRATION INFLOW SHALL BE PROTECTED IN ACCORDANCE WITH GRADE STABILIZATION STRUCTURE CRITERIA. THE REMAINDER OF THE INTERIOR SLOPES SHOULD BE STABILIZED (ONE TIME) WITH SEED AND MULCH UPON TRAP COMPLETION AND MONITORED AND MAINTAINED EROSION FREE DURING THE LIFE OF THE TRAP.
8. THE STRUCTURE SHALL BE DEWATERED BY APPROVED METHODS, REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
9. REFER TO SECTION D FOR SPECIFICATIONS CONCERNING TRAP DEWATERING.
10. MINIMUM TRAP DEPTH SHALL BE MEASURED FROM THE WEIR ELEVATION.
11. THE ELEVATION OF THE TOP OF ANY DIKE DIRECTING WATER INTO THE TRAP MUST EQUAL OR EXCEED THE ELEVATION OF THE TRAP EMBANKMENT.
12. GEOTEXTILE CLASS C SHALL BE PLACED OVER THE BOTTOM AND SIDES OF THE OUTLET CHANNEL PRIOR TO THE PLACEMENT OF STONE. SECTIONS OF FILTER CLOTH MUST OVERLAP AT LEAST 1' WITH THE SECTION NEAREST THE ENTRANCE PLACED ON TOP. THE FILTER CLOTH SHALL BE EMBEDDED AT LEAST 6" INTO EXISTING GROUND AT THE ENTRANCE OF THE OUTLET CHANNEL.
13. OUTLET - AN OUTLET SHALL BE PROVIDED, INCLUDING A MEANS OF CONVEYING THE DISCHARGE IN AN EROSION FREE MANNER TO AN EXISTING STABLE CHANNEL.



CONSTRUCTION SPECIFICATIONS

1. RIP-RAP LINED INFLOW CHANNELS SHALL BE 1' IN DEPTH, HAVE A TRAPEZOIDAL CROSS SECTION WITH 2:1 OR FLATTER SIDE SLOPES AND 2' (MIN.) BOTTOM WIDTH. THE CHANNEL SHALL BE LINED WITH 4" TO 12" RIP-RAP TO A DEPTH OF 12".
2. FILTER CLOTH SHALL BE INSTALLED UNDER ALL RIP-RAP. FILTER CLOTH SHALL BE GEOTEXTILE CLASS C.
3. ENTRANCE AND EXIT SECTIONS SHALL BE INSTALLED AS SHOWN ON THE DETAIL SECTION.
4. RIP-RAP USED FOR THE LINING MAY BE RECYCLED FOR PERMANENT OUTLET PROTECTION IF THE BASIN IS TO BE CONVERTED TO A STORMWATER MANAGEMENT FACILITY.
5. GABION INFLOW PROTECTION MAY BE USED IN LIEU OF RIP-RAP INFLOW PROTECTION.
6. RIP-RAP SHOULD BLEND INTO EXISTING GROUND.
7. RIP-RAP INFLOW PROTECTION SHALL BE USED WHERE THE SLOPE IS BETWEEN 4:1 AND 10:1 FOR SLOPES FLATTER THAN 10:1 USE EARTH DIKE OR TEMPORARY SWALE LINING CRITERIA.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE C-9-10 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

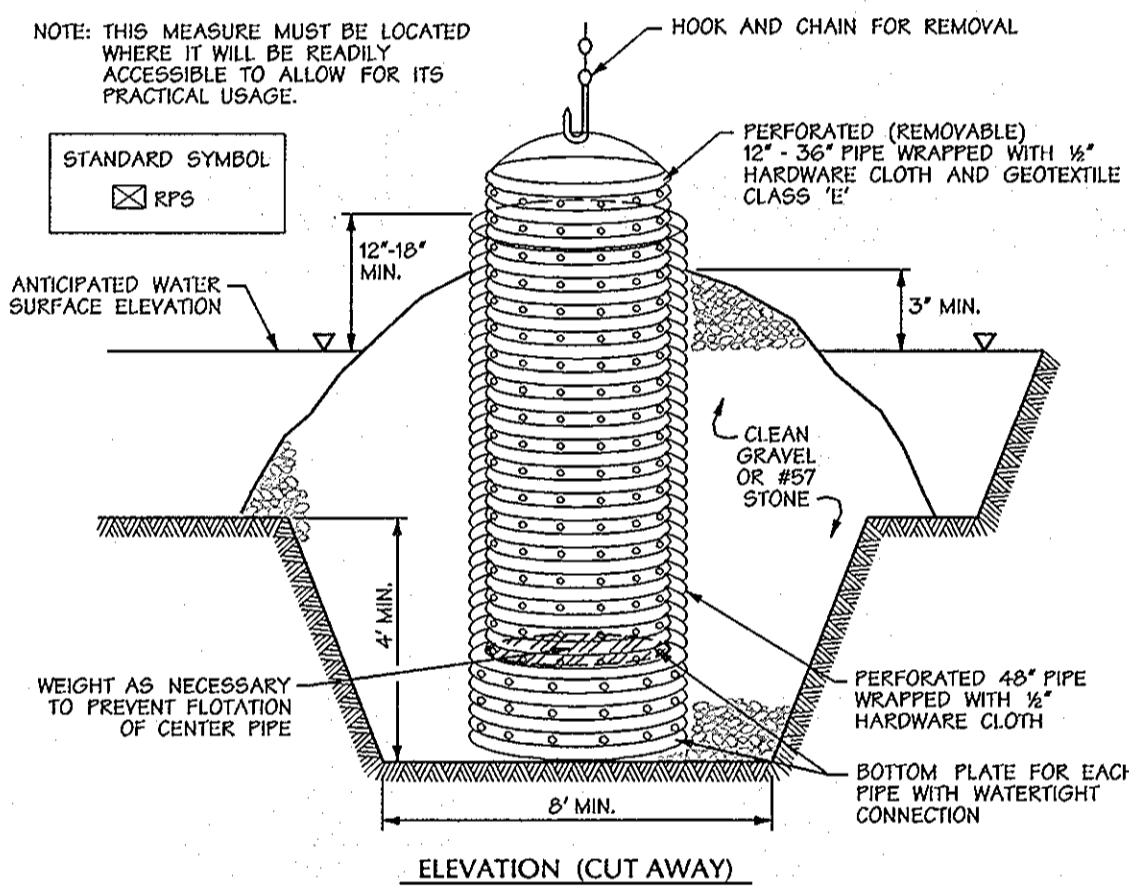
Stone Outlet Sediment Trap - ST II Not To Scale

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE C-9-10A MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

Stone Outlet Sediment Trap - ST II Not To Scale

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE B-6-2 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

RipRap Inflow Protection Not To Scale

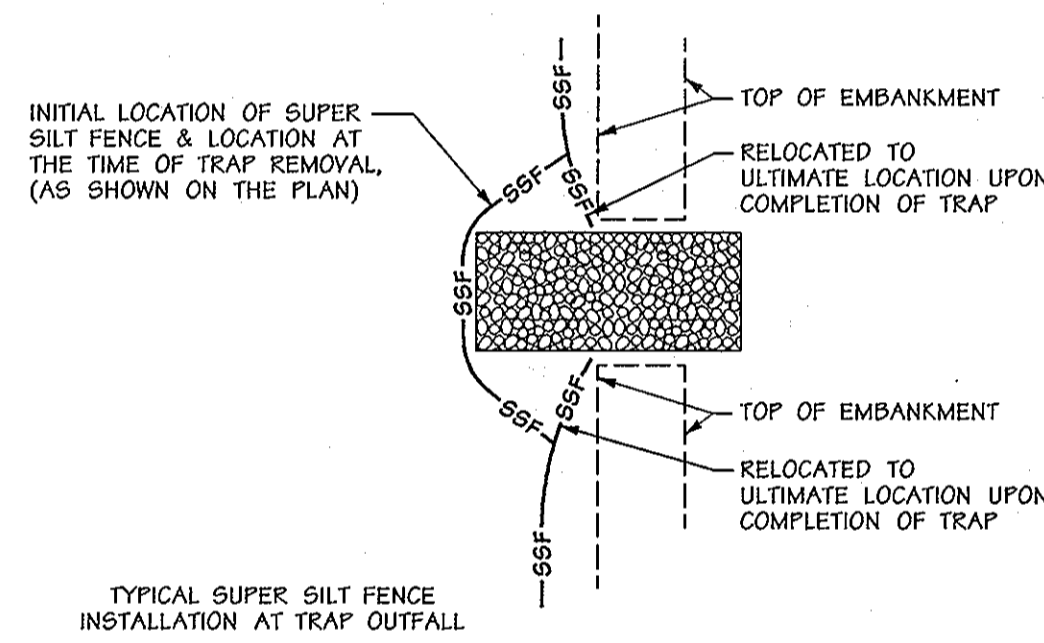


CONSTRUCTION SPECIFICATIONS

1. THE OUTER PIPE SHOULD BE 48" DIAMETER OR SHALL IN ANY CASE BE AT LEAST 4" GREATER IN DIAMETER THAN THE CENTER PIPE. THE OUTER PIPE SHALL BE WRAPPED WITH 1/2" HARDWARE CLOTH TO PREVENT BACKFILL MATERIAL FROM ENTERING THE PERFORATIONS.
2. AFTER INSTALLING THE OUTER PIPE BACKFILL AROUND OUTER PIPE WITH 2" AGGREGATE OR CLEAN GRAVEL.
3. THE INSIDE STAND PIPE (CENTER PIPE) SHOULD BE CONSTRUCTED BY PERFORATING A CORRUGATED OR PVC PIPE BETWEEN 12" AND 36" IN DIAMETER. THE PERFORATIONS SHALL BE 1/2" x 6" SLITS OR 1" DIAMETER HOLES 6" ON CENTER. THE CENTER PIPE SHALL BE WRAPPED WITH 1/2" HARDWARE CLOTH FIRST, THEN WRAPPED AGAIN WITH GEOTEXTILE CLASS C.
4. THE CENTER PIPE SHOULD EXTEND 12" TO 18" ABOVE THE ANTICIPATED WATER SURFACE ELEVATION OR RISER CREST ELEVATION WHEN DEWATERING A BASIN.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE D-12-5 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

Removable Pumping Station NOT TO SCALE



Super Silt Fence Outfall Protection Not To Scale

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.
John K. Robertson 8/5/10
 District Engineer Date

APPROVED: HOWARD COUNTY DEPT. OF PUBLIC WORKS
Willie Z. Matis 10-8-10
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING
Kevin J. DeLoach 11-18-10
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE
Robert W. Matis 11/10/10
 DISTRICT ENGINEER DATE
William J. DeLoach 11/10/10
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Date	No.	Revision Description

EMERSON PARCEL F-1 REVITZ PROPERTY
 5-STORY COMMERCIAL OFFICE BUILDING
 OWNER/DEVELOPER:
 EMERSON DEVELOPMENT VII LLC
 1 TEXAS STATION COURT
 SUITE 200
 TIMONIUM, MARYLAND 21093-8288

DMW
 DAFT MCCUNE WALKER INC
 200 EAST PENNSYLVANIA AVENUE • TOWSON, MD 21286
 P: 410 296 3333 F: 410 296 4705 WWW.DMW.COM
 A TEAM OF LAND PLANNERS, LANDSCAPE ARCHITECTS,
 ENGINEERS, SURVEYORS & ENVIRONMENTAL PROFESSIONALS

DISVISION NAME	SECTION/AREA	LOT/PARCEL #
REVITZ PROPERTY		LOT F-1 / PAR. 165
MAP OR LOT	BLOCK #	DATE
21077-1820	PEC	6
WATER CODE	SEWER CODE	GENUS TRACT
		6903
TITLE		
EROSION & SEDIMENT CONTROL DETAILS		
Des. By	JDF/RJD	Scale 1"=50'
Dm. By	CRH/JSS	Date 07-16-10
Chk. By	Approved	Proj. No. 95054.10

8-9-10
 Date

AS BUILT NOT REQUIRED

SURVEY SERVICES OF MD, LLC
 BY: ROBERT W. MATIS - RLS 605



AS-BUILT CERTIFICATION FOR PSWM

NOTE: THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.
 SIGNED *Melvin Charles Beall* 5/23/12 P.E. # 6828
 MELVIN CHARLES BEALL, JR.



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 8061, EXPIRATION DATE: 08-26-2011.

Professional Engr. No. 8061

SDP-10-096 11 of 18 20

UNCLASSIFIED//FOR OFFICIAL USE ONLY

SOILS CLASSIFICATION

Symbol	Soil Type	Slope	K-factor	Hydraulic Group	Comments
Fa	Fallsington sandy loam	0-2%	02	D	Hydric
SaB	Sassafras loam	2-5%	37	B	
SaC	Sassafras loam	5-10%	24	B	
WoB	Woodstown sandy loam	0-5%	24	C	Hydric

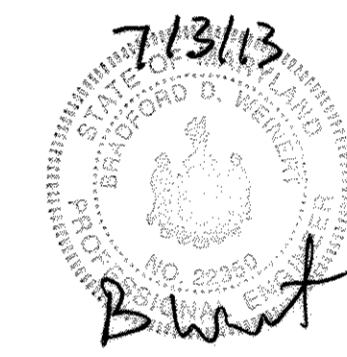
DRAINAGE AREAS

DA LABEL	DA SIZE (ac.)	COEFF. C	IMP. (%)
A	0.16	0.33	90%
B	0.25	0.37	88%
C	1.54	1.27	95%
D	0.30	0.42	97%
E	0.42	0.49	93%
F	0.19	0.34	100%
G	0.56	0.27	16%
H	0.09	0.27	100%
I	0.14	0.31	100%
J	0.12	0.29	100%
K	0.51	0.27	18%
L	0.73	0.73	96%
M	0.53	0.28	21%
N	0.09	0.27	100%
O	0.13	0.30	100%
P	0.12	0.29	100%
Q	0.52	0.28	19%
R	0.05	0.24	100%
S	0.27	0.44	90%
T	0.76	0.67	91%
U	0.30	0.29	95%
V	0.26	0.40	93%
W	0.27	0.40	96%
X	0.27	0.40	96%
Y	0.14	0.31	100%
Z	16.14	9.88	80%
ZZ	0.15	0.25	0%

LEGEND

- PLATTED PROPERTY BOUNDARY
- PROPERTY BOUNDARY
- EX. RIGHT OF WAY
- ADJACENT PROPERTY BOUNDARY
- EX. ROADS AND WALKS
- EX. MAJOR CONTOUR
- EX. MINOR CONTOUR
- FOREST CONSERVATION EASEMENT
- PROP. BUILDING
- PROP. CURB / EDGE OF PAVING
- PROP. DEPRESSED CURB
- PROP. MAJOR CONTOUR
- PROP. MINOR CONTOUR
- PROP. GROUP LIGHT (BY OTHERS)
- PROP. SINGLE LIGHT (BY OTHERS)
- PROP. LIGHT (BY OTHERS)
- PROP. DRAINAGE DIVIDES
- SOIL LIMITS
- DRAINAGE AREA LABEL
- PROP. STORMDRAINS
- PROP. SANITARY SEWER
- PROP. WATER

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. 22350 EXPIRATION DATE: 05/22/2015.



US Army Corps of Engineers
 Baltimore District
 REAL PROPERTY SERVICES
 FIELD OFFICE
 ANNAPOLIS JUNCTION, MARYLAND
JACOBS
 1100 VEEBEE RD., ANNAPOLIS, MD 21401
 (410) 291-0000

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Rev.	Date	Description
7/13	7/13/13	Revised

Rev.	Date	Description
2	7/13/13	Revised

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING
 Chief, Division of Land Development: *[Signature]* DATE: 7/13
 Chief, Development Engineering Division: *[Signature]* DATE: 7/13
 Director: *[Signature]* DATE: 7/13

EMERSON PARCEL F-1
 REVITZ PROPERTY
 5-STORY COMMERCIAL OFFICE BUILDING
 OWNER DEVELOPER:
 EMERSON DEVELOPMENT VII LLC
 1 TEXAS STATION COURT, SUITE 200
 TIMONIUM, MARYLAND 21093-8288
 (443) 689-8000

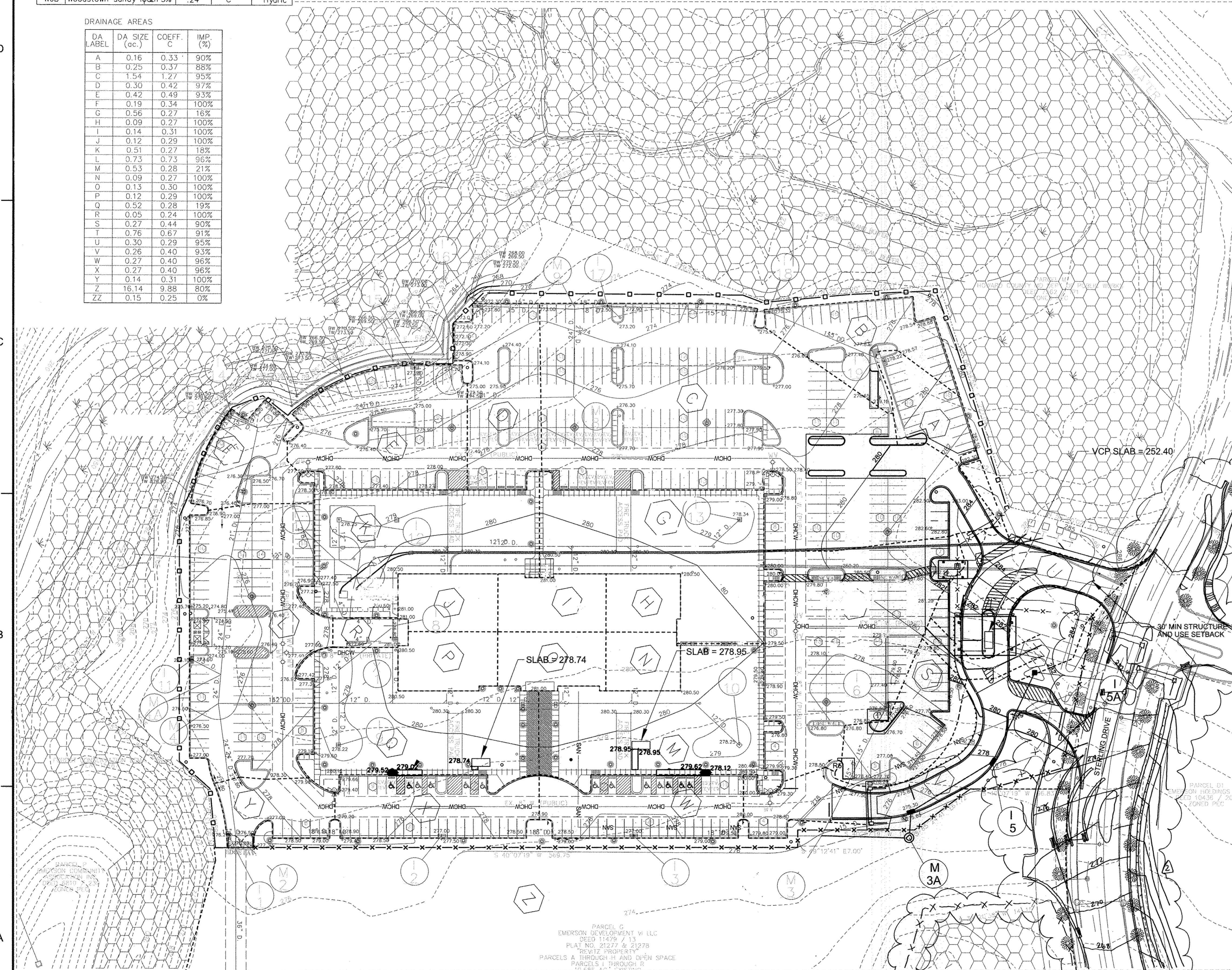
Subdivision Name	Section Area	Lot Parcel #
REVITZ PROPERTY	47	1 / PAR. 165

Des. By	Scale	Proj. No.
Drn. By	1"=50'	95054.10
Chk. By	Date 07-05-13	12 of 20

EMERSON - PERIMETER SECURITY AND SITE
 STORM DRAINAGE AREA AND
 SOILS MAP
 ROOMS OR FLOOR
 LAUREL, MD

Drawing No.	Sheet Reference No.	Sheet
	12 OF 20	of 45

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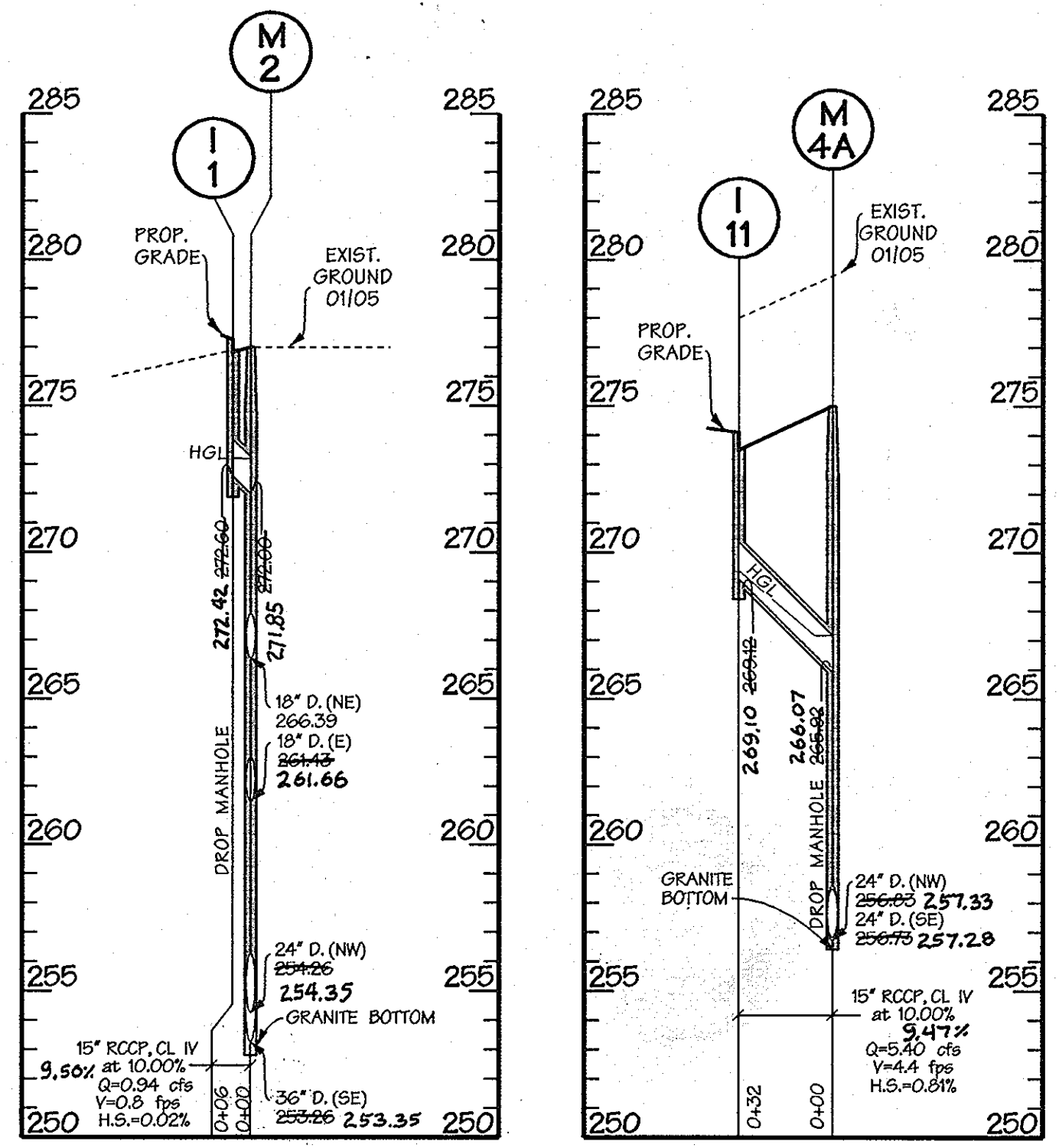
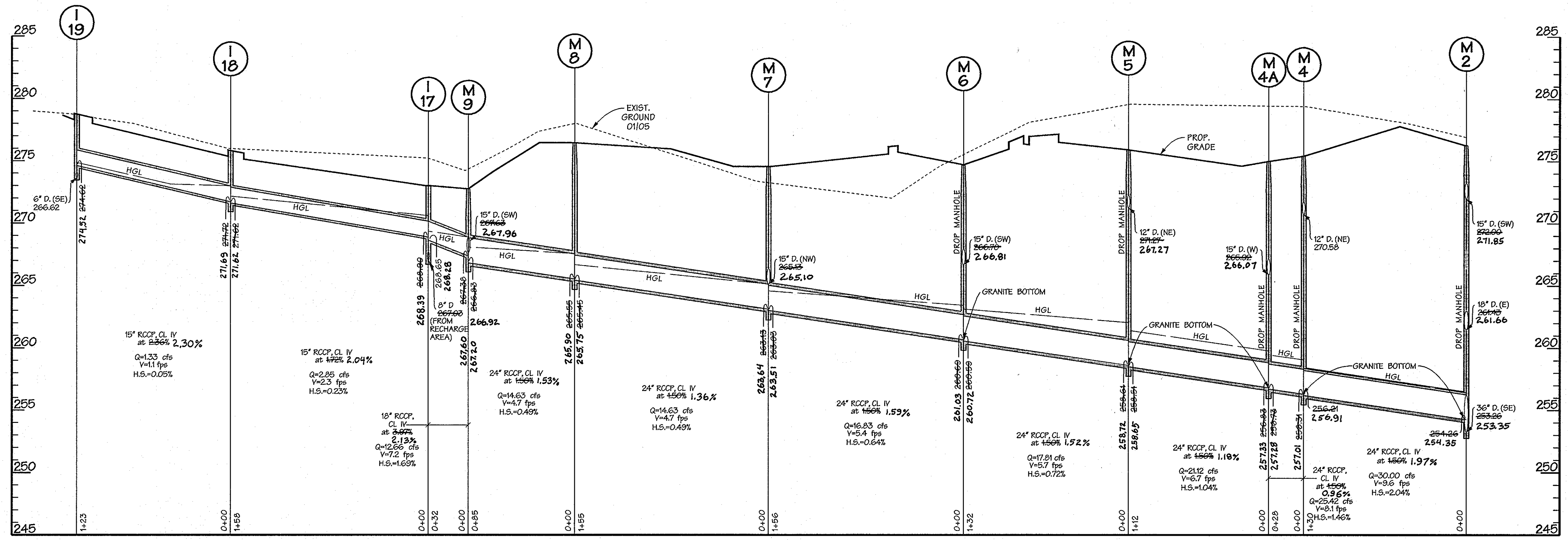


PROFESSIONAL CERTIFICATION FOR REV #2
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. 49292
 EXPIRATION DATE: 05/21/2018

THE PURPOSE OF REVISION #2 IS TO SHOW THE WORK ASSOCIATED WITH THE EMERSON CAMPUS VCP.
 SDP-10-005



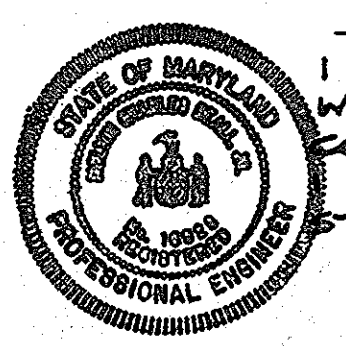
UNCLASSIFIED//FOR OFFICIAL USE ONLY



PROFILES
SCALE: HORIZ. 1"=50'
VERT. 1"=5'

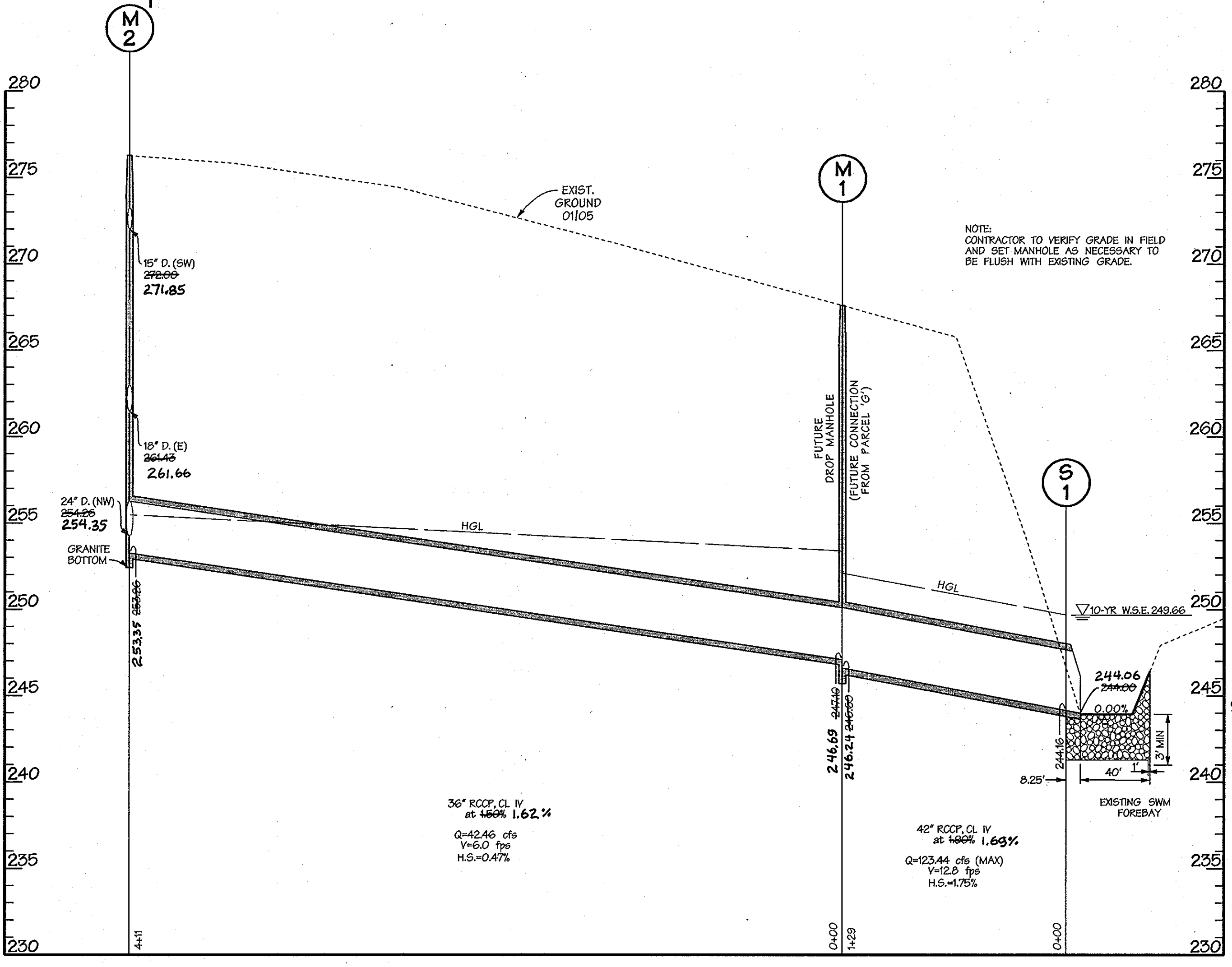
AS-BUILT CERTIFICATION FOR PSWM

I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THE PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.



SIGNED: Melvin Charles Seall, Jr. 5/23/11 RE: # 16928
MELVIN CHARLES SEALL, JR. AS BUILT DATE: 7-26-11

PARCEL F IN DRAINAGE & UTILITY EASEMENT



PROFILES

SCALE: HORIZ. 1"=50'
VERT. 1"=5'

AS BUILT REQUIRED
SEE REDLINES SHOWN HEREON

SURVEY SERVICES OF MD, LLC
BY: ROBERT W. MATIS - RLS 605

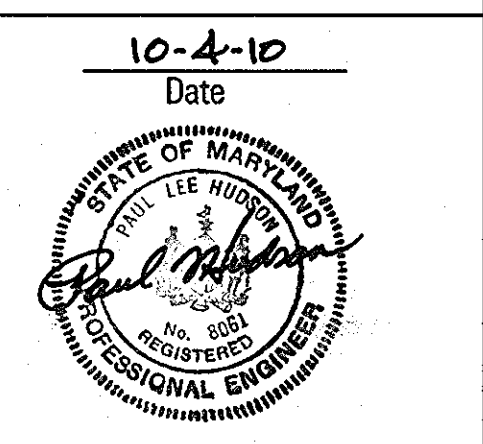


APPROVED: HOWARD COUNTY DEPT. OF PUBLIC WORKS	
<u>Matthew J. Smith</u>	10-8-10
CHIEF, BUREAU OF HIGHWAYS	DATE
APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING	
<u>Kevin J. Smith</u>	11-18-10
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
<u>Thomas J. Fuller</u>	11-18-10
DIRECTOR	DATE
<u>Mr. Dawson</u>	11/16/10
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE

Date: No. Revision Description
EMERSON PARCEL F-1 REVITZ PROPERTY
5-STORY COMMERCIAL OFFICE BUILDING
OWNER/DEVELOPER:
EMERSON DEVELOPMENT VII LLC
1 TEXAS STATION COURT
SUITE 200
TIMONIUM, MARYLAND 21093-8288

SURVEY SERVICES OF MD, LLC
408 ALLEGHENY AVENUE
TOWSON, MD. 21284
410-321-8692
410-321-8693 (fax)

DMW
DAFT MCCUNE WALKER INC
300 EAST PENNSYLVANIA AVENUE • TOWSON, MD 21286
P: 410 296 3388 F: 410 296 4705 WWW.DMW.COM
A TEAM OF LAND PLANNERS, LANDSCAPE ARCHITECTS, ENGINEERS, SURVEYORS & ENVIRONMENTAL PROFESSIONALS

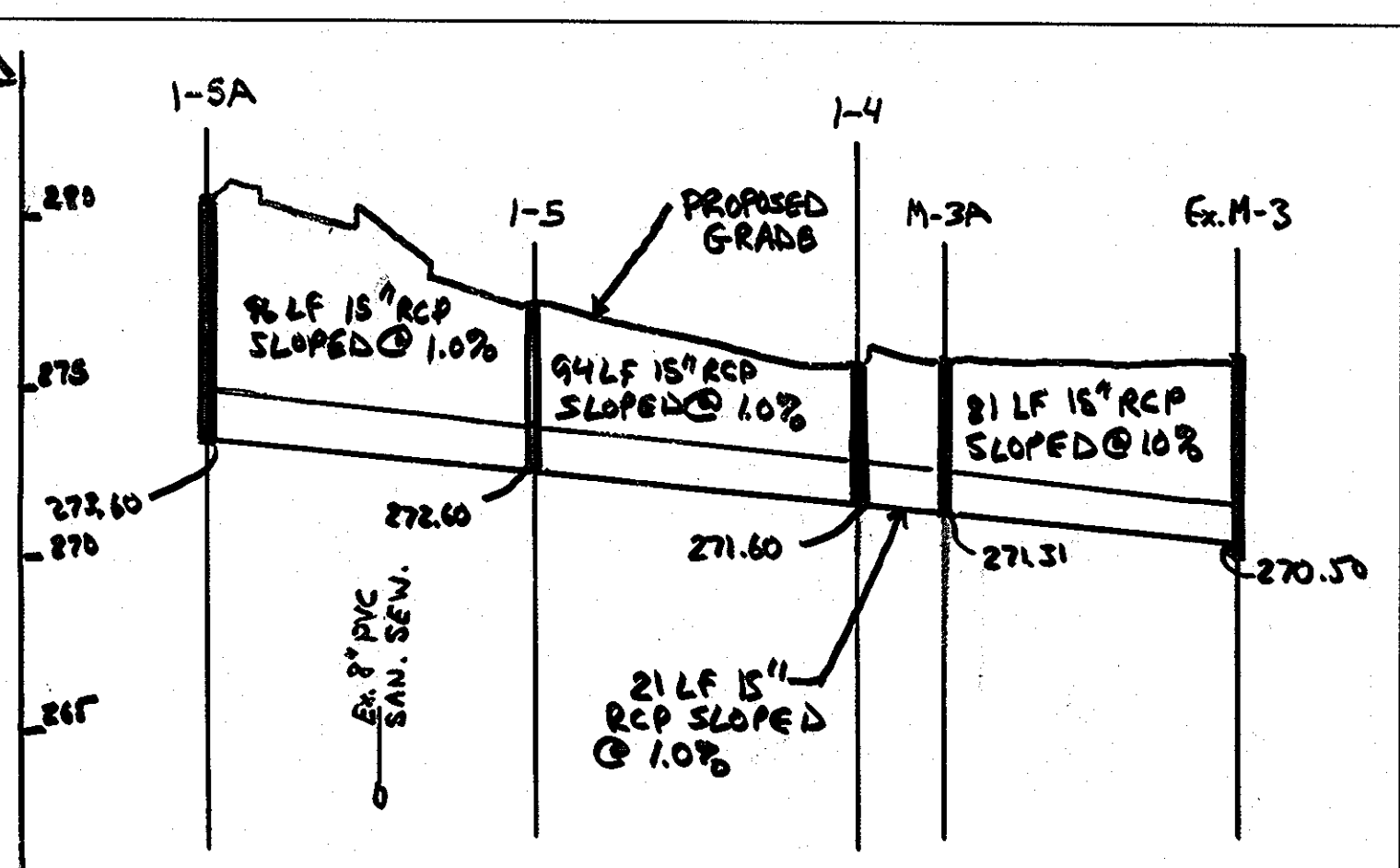
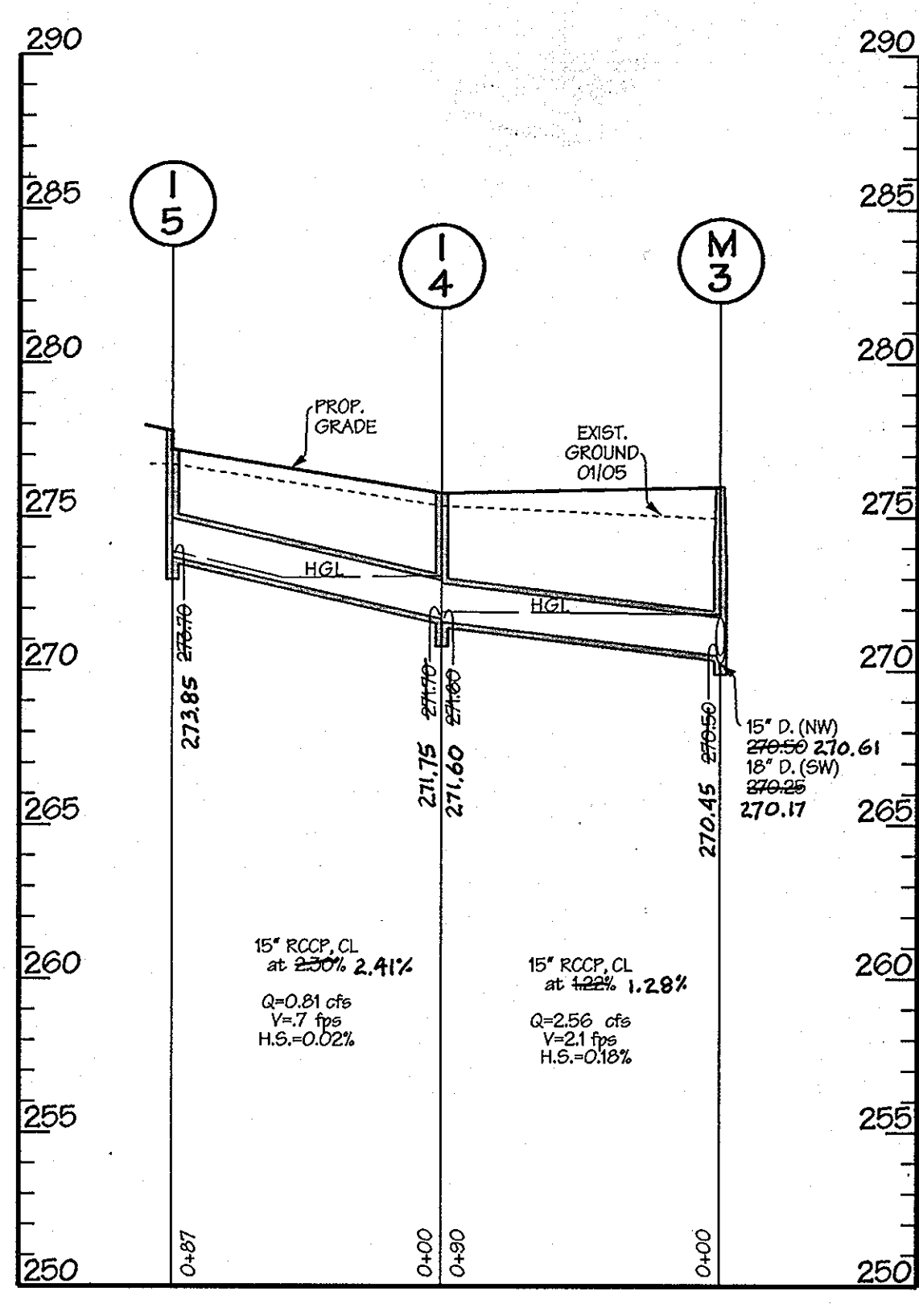
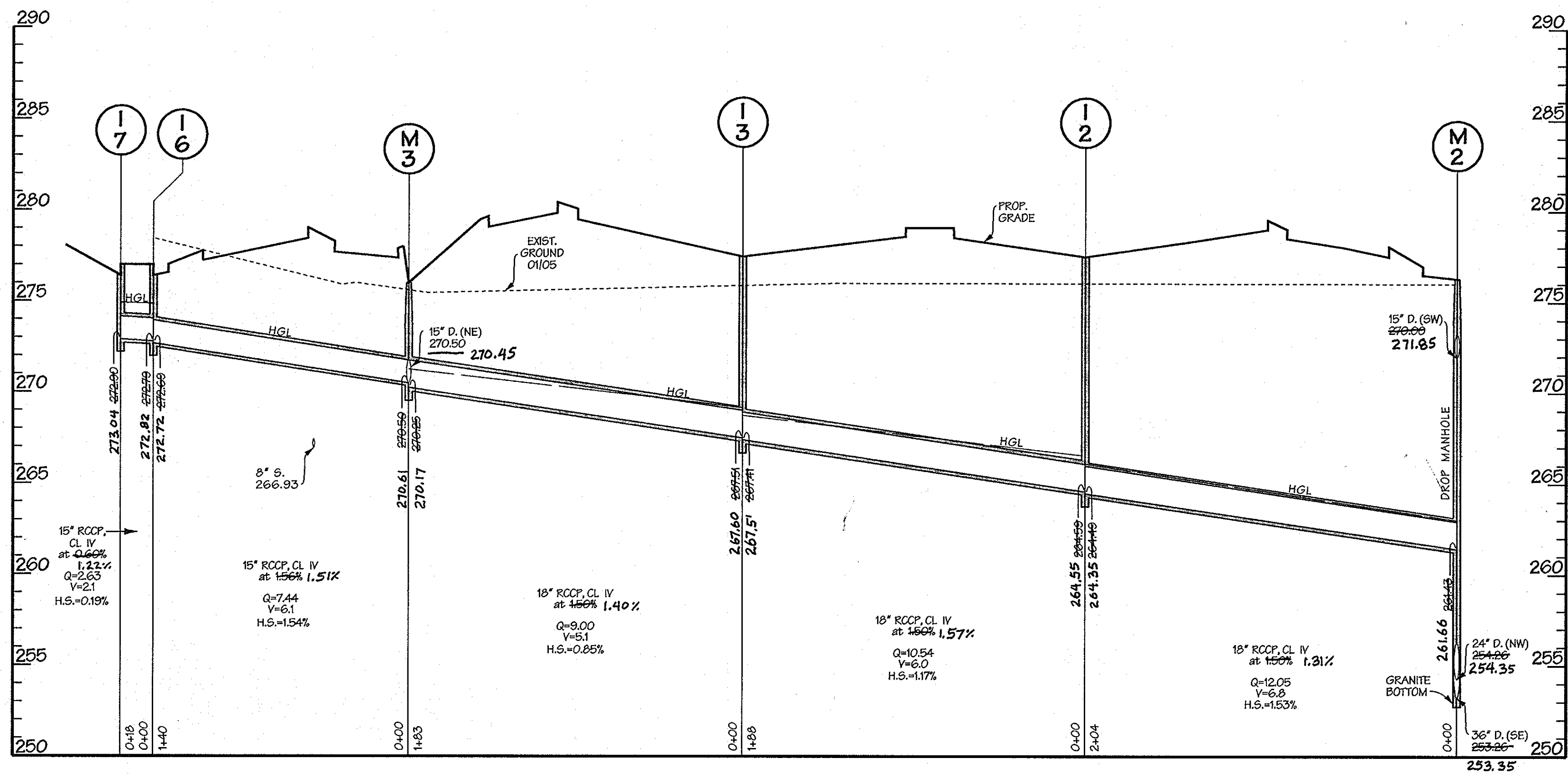


Professional Engr. No. 6061

TITLE			
STORM DRAIN PROFILES			
"AS BUILT" PROFILES-7-26-11			
Des. By	LNL	Scale	1"=50'
Proj. No.	95054.10	Date	09-29-10
Dm. By	JSS	Chk. By	Approved
			13 of 18

Professional Engr. No. 6061

SDP-10-096



AS-BUILT CERTIFICATION FOR P6WM

I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THE PLAN WAS CONSTRUCTED AS SHOWN ON THE AS-BUILT PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOSING OF THE UNDERGROUND SWIM FACILITY.

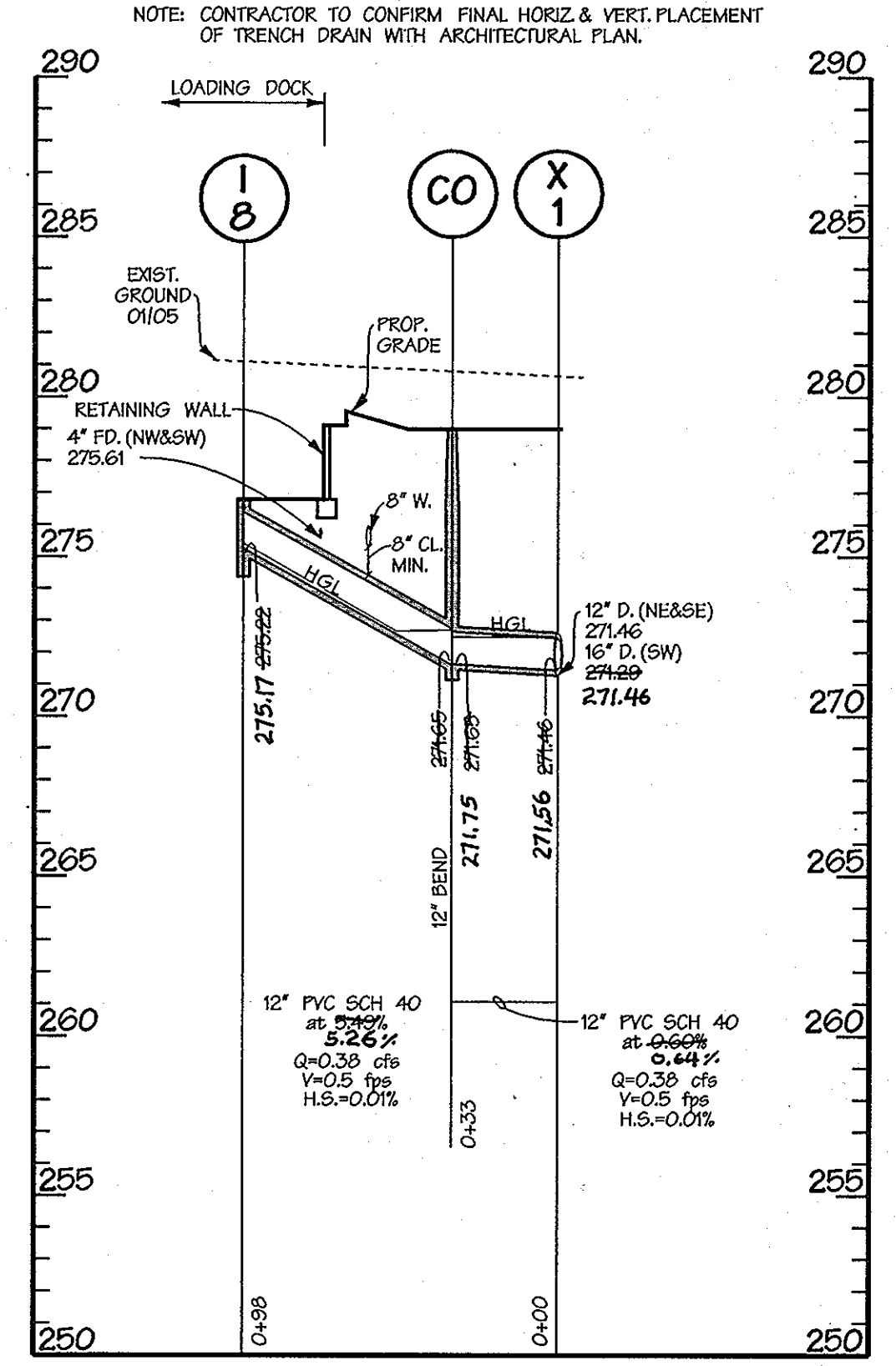
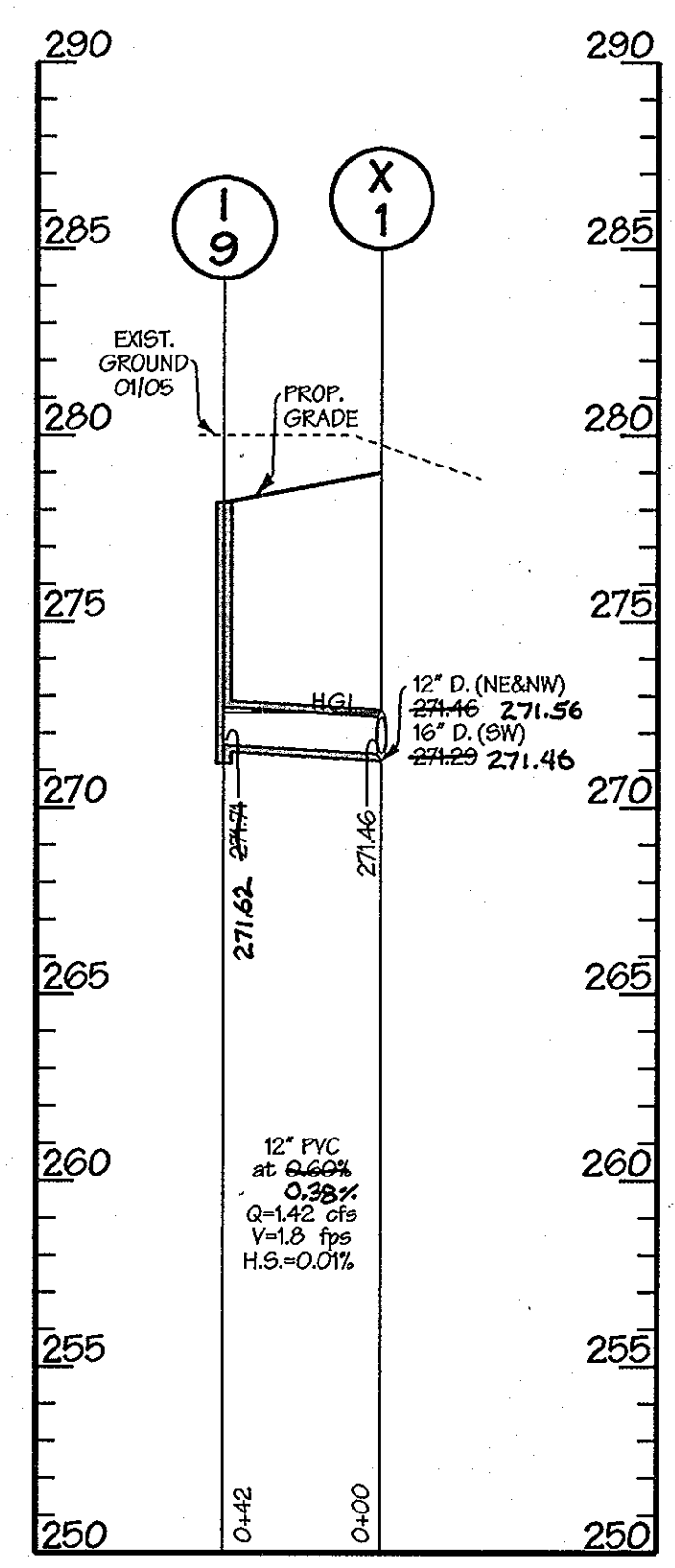
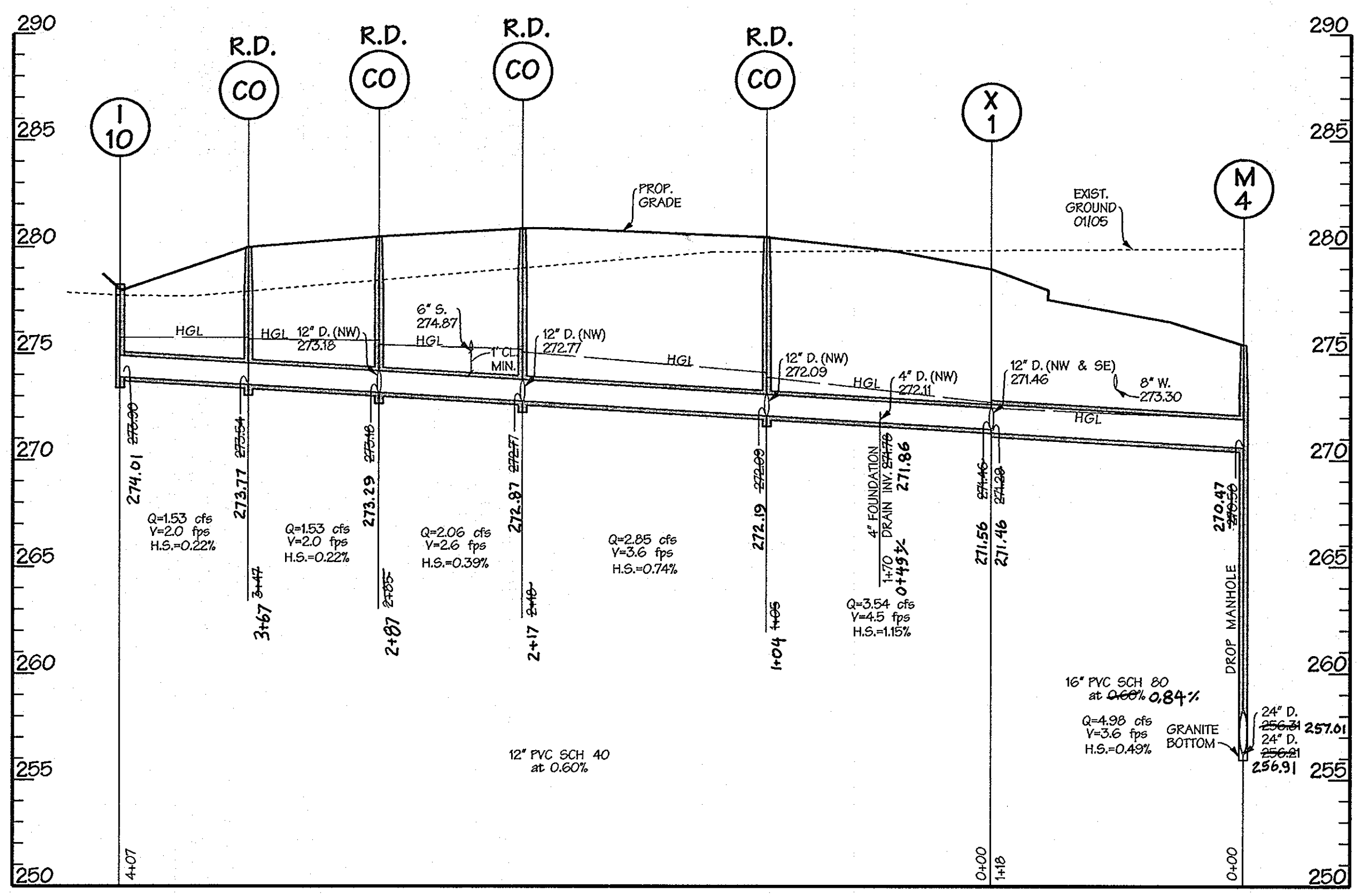
SIGNED: Melvin Charles Bennett 6/23/12 P.E. # 16928
 MELVIN CHARLES BENNETT, AS-BUILT DATE: 7-26-11

STATE OF MARYLAND PROFESSIONAL ENGINEER

AS BUILT REQUIRED
 SEE REDLINES SHOWN HEREON

SURVEY SERVICES OF MD, LLC
 BY: ROBERT W. MATIS - RLS 605

PROFILES
 SCALE: HORIZ. 1"=50'
 VERT. 1"=5'



PROFILES
 SCALE: HORIZ. 1"=50'
 VERT. 1"=5'

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 2021, EXPIRATION DATE: 02-26-2011.

SURVEY SERVICES OF MD, LLC
 408 ALLEGHENY AVE
 TOWSON, MD 21284
 410-321-8692
 410-321-8693 (fax)

10-4-10
 Date

STATE OF MARYLAND PROFESSIONAL ENGINEER

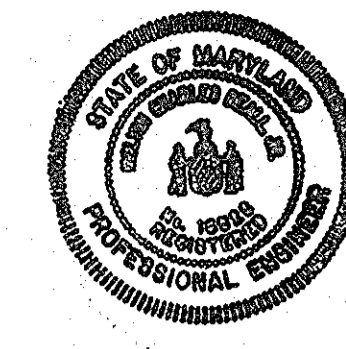
APPROVED: HOWARD COUNTY DEPT. OF PUBLIC WORKS
With 2 CHIEF, BUREAU OF HIGHWAYS DATE 10-8-10

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING
Ketchum CHIEF, DIVISION OF LAND DEVELOPMENT DATE 11-18-10
Thomas S. Butler DIRECTOR DATE 11/9/10
W. Dennis CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE 11/10/10

1-5A-M-3 PROFILE
 Date No. Revision Description

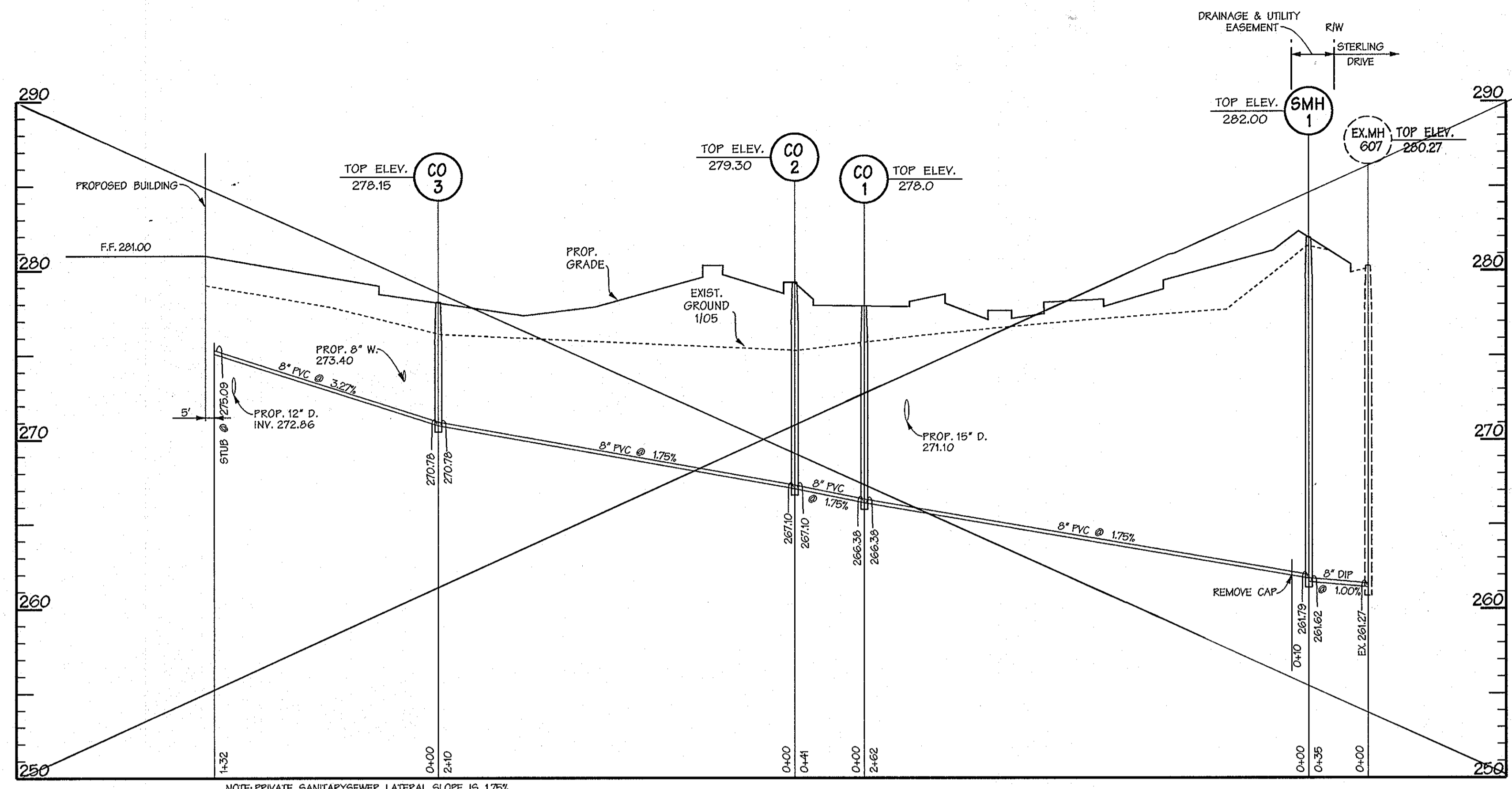
**EMERSON PARCEL F-1
 REVITZ PROPERTY**
 5-STORY COMMERCIAL OFFICE BUILDING
 OWNER/DEVELOPER:
 EMERSON DEVELOPMENT VII LLC
 1 TEXAS STATION COURT
 SUITE 200
 TIMONIUM, MARYLAND 21093-8288

SUBSECTION NAME		SECTION/AREA		LOT/PARCEL #
REVITZ PROPERTY		SECTION 47		LOT F-1 PAR. 165
PLAT # 18 12	BLOCK # 20	CORNER # 47	EASEMENT MAP # 6	OWNER TRACT # 6903
2007 & 2012	20	47		
TITLE				
STORM DRAIN PROFILES				
AS BUILT PROFILES 5-7-26-11				
Des. By	LNL	Scale	1"=50'	Proj. No.
Drn. By	JGS	Date	09-29-10	95054.10
Chk. By	Approved	14 of 18		

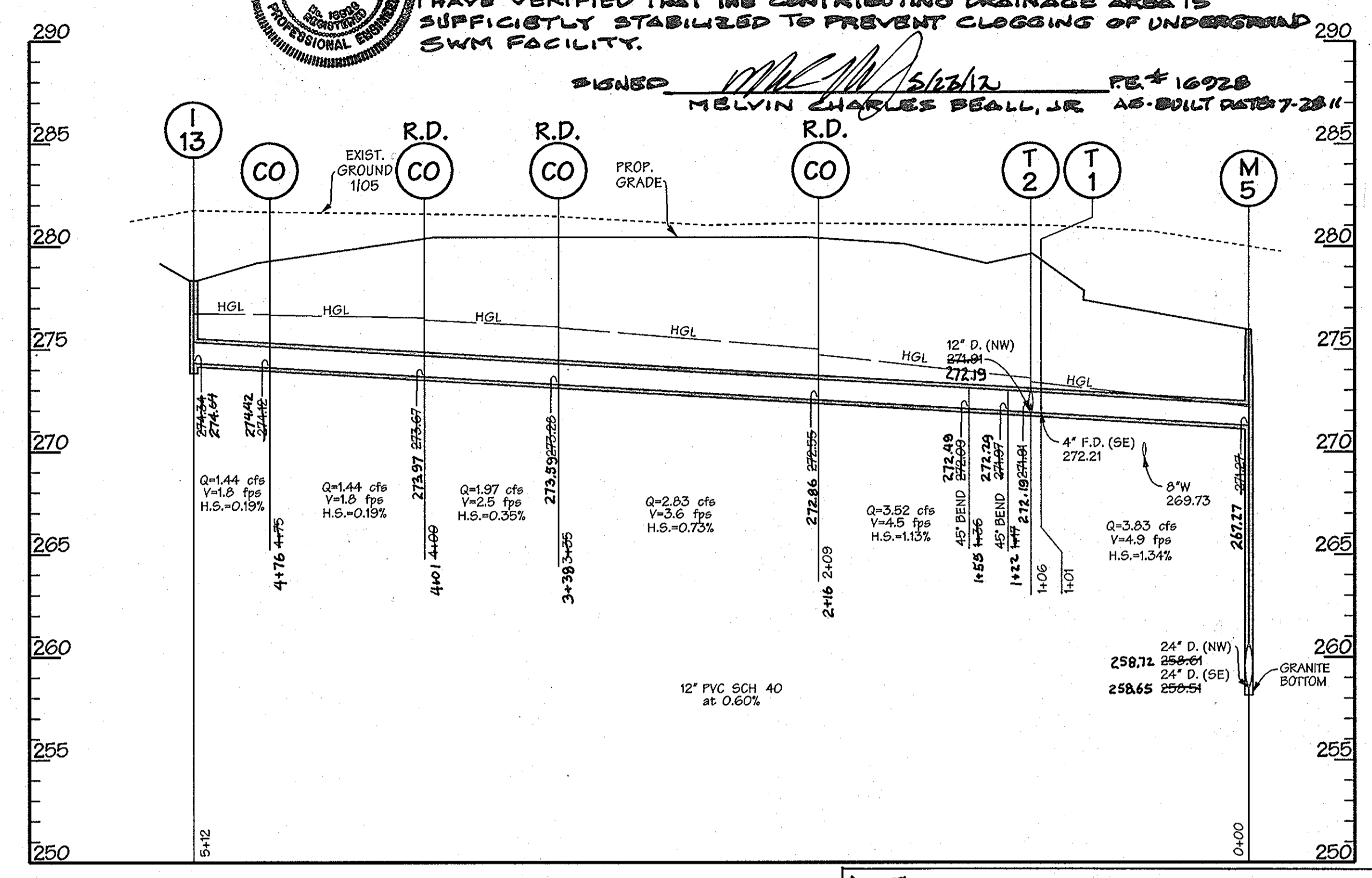


AS-BUILT CERTIFICATION FOR P&WM
 I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE AS-BUILT PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOSING OF UNDERGROUND SWM FACILITY.

SIGNED: *Robert W. Matis* 5/6/12
 MELVIN CHARLES BEALL, JR. AS-BUILT DATE: 7-28-11



SANITARY SEWER PROFILE
 SCALE: HORIZ. 1"=50'
 VERT. 1"=5'



STORM DRAIN PROFILE
 SCALE: HORIZ. 1"=50'
 VERT. 1"=5'

NOTE: SEE SHEETS 13 OF 18 & 14 OF 18 "AS-BUILT" PROFILES FOR INVERT ELEVATIONS

MH #	TYPE	SIZE	INV. IN	INV. OUT	TOP ELEV.	REMARKS
M-1	STD. MANHOLE	84"	247.10	246.60	267.60	SEE HOWARD CO. STD. DETAIL PLATE G-5.11
M-2	DROP MANHOLE	60"	272.00	265.26	276.26	SEE HOWARD CO. STD. DETAIL PLATE G-5.11 WITH G-5.16
M-3	S'D. MANHOLE	60"	270.50	270.25	276.90	SEE HOWARD CO. STD. DETAIL PLATE G-5.11
M-4	DROP MANHOLE	48"	270.75	266.21	276.43	SEE HOWARD CO. STD. DETAIL PLATE G-5.11 WITH G-5.16
M-5	DROP MANHOLE	48"	265.92	258.73	276.01	SEE HOWARD CO. STD. DETAIL PLATE G-5.11 WITH G-5.16
M-6	DROP MANHOLE	48"	271.27	268.51	275.34	SEE HOWARD CO. STD. DETAIL PLATE G-5.11 WITH G-5.16
M-7	DROP MANHOLE	48"	266.70	260.59	274.61	SEE HOWARD CO. STD. DETAIL PLATE G-5.11 WITH G-5.16
M-8	STD. MANHOLE	48"	263.13	263.83	274.55	SEE HOWARD CO. STD. DETAIL PLATE G-5.11
M-9	SHALLOW MANHOLE	48"	265.55	265.45	276.47	SEE HOWARD CO. STD. DETAIL PLATE G-5.11
M-3A	STD. MANHOLE	48"	267.63	266.88	272.75	SEE HOWARD CO. STD. DETAIL PLATE G-5.12

PIPE SCHEDULE

SIZE	TYPE	LENGTH
4"	PVC SCH 40	226 LF
12"	PVC SCH 40	1208 LF
16"	PVC SCH 80	118 LF
18"	RCCP, CL IV	803 LF
24"	RCCP, CL IV	604 LF
36"	RCCP, CL IV	411 LF
42"	RCCP, CL IV	129 LF

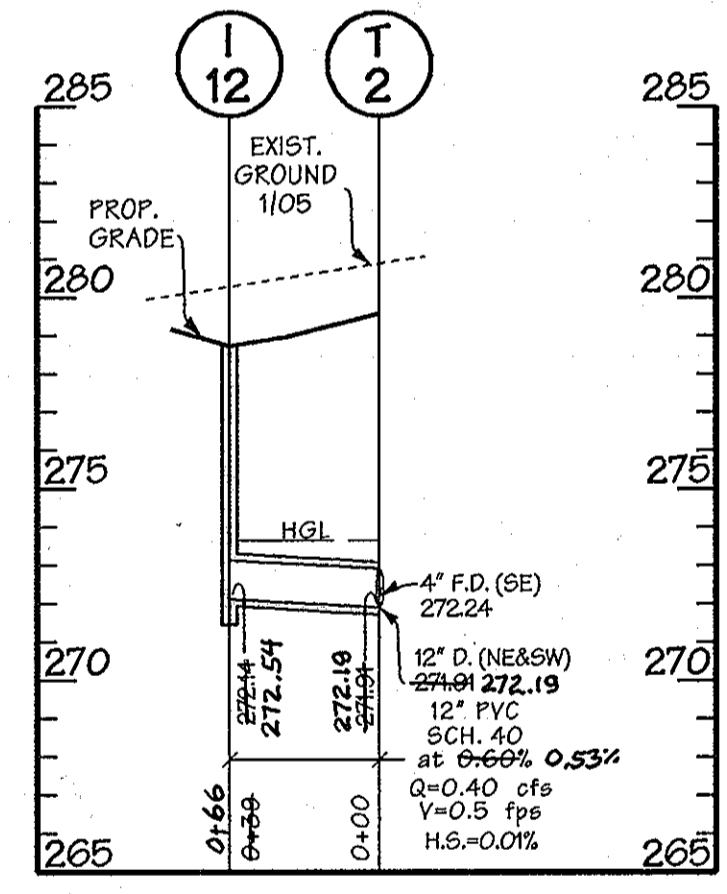
STRUCTURE SCHEDULE

STRUCTURE #	TYPE	SIZE	INV. IN	INV. OUT	REMARKS
S-1	STD. CONC. END SECTION	42"	244.16	244.00	SEE HOWARD CO. STD. DETAIL PLATE D-5.51
X-1	PVC CROSS	16"	271.46	271.29	SEE HARRISON MACHINE & PLASTIC CORP. PART NO. 720-16
X-2	PVC CROSS	12"	271.91	271.91	SEE HARRISON MACHINE & PLASTIC CORP. PART NO. 720-12

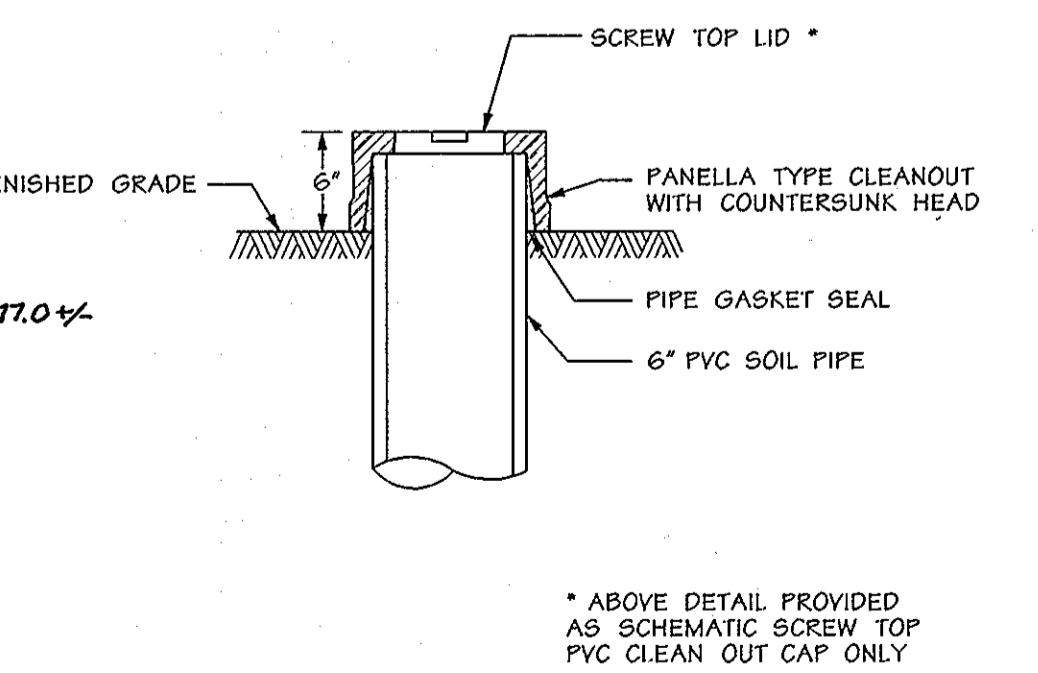
INLET SCHEDULE

Inlet #	TYPE	INV. IN	INV. OUT	TOP* ELEV.	REMARKS
I-1	DBL. 'S' COMB.	272.60	272.60	276.70	SEE HOWARD CO. STD. DETAIL PLATE 4.34 TC 276.72
I-2	DBL. 'S' COMB.	264.59	264.49	277.50	SEE HOWARD CO. STD. DETAIL PLATE 4.34 TC 277.65
I-3	DBL. 'S' COMB.	267.51	267.41	277.50	SEE HOWARD CO. STD. DETAIL PLATE 4.34 TC 277.64
I-4	DBL. 'S' COMB.	271.70	271.60	275.80	SEE HOWARD CO. STD. DETAIL PLATE 4.34 TC 275.85
I-5	DBL. 'S' COMB.	274.70	274.60	277.80	SEE HOWARD CO. STD. DETAIL PLATE 4.34 TC 277.85
I-6	DBL. 'S' COMB.	272.79	272.69	277.00	SEE HOWARD CO. STD. DETAIL PLATE 4.34 TC 277.04
I-7	DBL. 'S' COMB.	272.90	272.80	277.00	SEE HOWARD CO. STD. DETAIL PLATE 4.34 TC 277.02
I-8	TRENCH DRAIN	275.22	276.80	---	ACO DRAIN-POWER S300K (SLOTTED DUCTILE IRON-CLASS F)
I-9	YARD	271.71	278.22	---	NOS #2400 WITH #2411 GRATE TG 278.42
I-10	YARD	273.90	278.25	---	NOS #2400 WITH #2411 GRATE TG 278.41
I-11	DBL. 'S' COMB.	269.12	274.10	---	SEE HOWARD CO. STD. DETAIL PLATE 4.34 TC 274.50
I-12	YARD	272.14	272.14	---	NOS #2400 WITH #2411 GRATE TG 278.24
I-13	YARD	274.34	274.34	---	NOS #2400 WITH #2411 GRATE TG 278.64
I-14	DBL. 'S' COMB.	268.60	273.70	---	SEE HOWARD CO. STD. DETAIL PLATE 4.34 TC 273.91
I-15	DBL. 'S' COMB.	269.90	274.00	---	SEE HOWARD CO. STD. DETAIL PLATE 4.34 TC 274.03
I-16	DBL. 'S' COMB.	268.20	272.30	---	SEE HOWARD CO. STD. DETAIL PLATE 4.34 TC 271.80
I-17	DBL. 'S' COMB.	268.90	268.65	273.00	SEE HOWARD CO. STD. DETAIL PLATE 4.34 TC 273.01
I-18	DBL. 'S' COMB.	271.72	271.62	275.82	SEE HOWARD CO. STD. DETAIL PLATE 4.34 TC 275.90
I-19	DBL. 'S' COMB.	274.62	278.72	---	SEE HOWARD CO. STD. DETAIL PLATE 4.34 TC 278.77

*TOP AND CENTER OF STD. 6" CURB
 **CONFIRM WITH ARCHITECTURAL PLANS
 I-5 DBL 'S' COMB 272.60 272.60 277.60 SEE HOWARD CO. STD. DETAIL 4.34
 I-5A YARD 273.60 280.80 NOS #2400 WITH #2411 GRATE

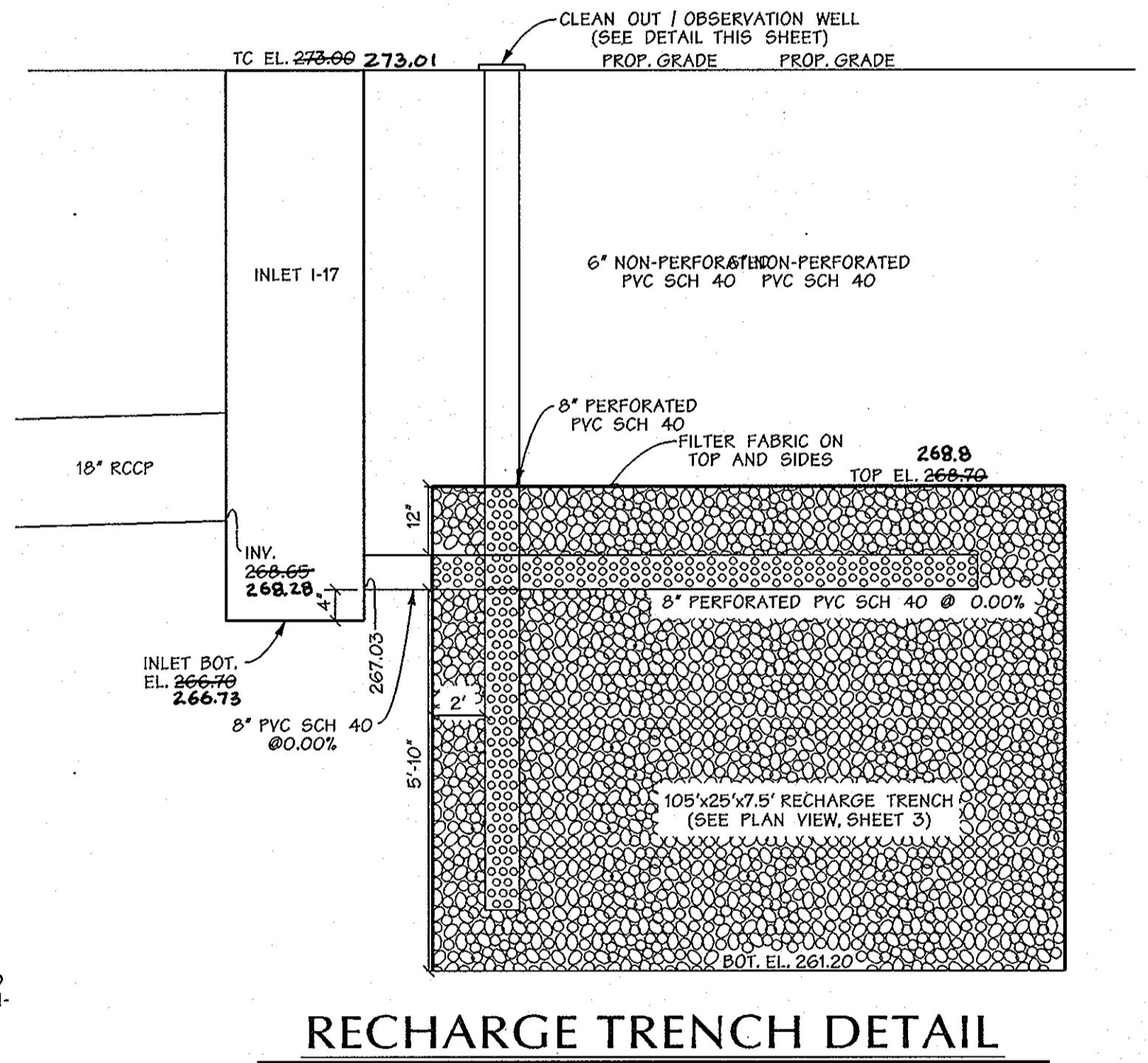


CLEAN OUT DETAIL
 NOT TO SCALE



- EACH CLEANOUT SHALL INCLUDE THE FOLLOWING
1. FOR AN UNDERGROUND FLUSH MOUNTED CLEANOUT, PROVIDE A TUBE MADE OF NON-CORROSIVE MATERIAL, SCHEDULE 40 OR EQUAL, AT LEAST 3-FEET LONG WITH AN INSIDE DIAMETER OF AT LEAST 6-INCHES.
 2. THE TUBE SHALL HAVE A FACTORY ATTACHED CAST IRON OR HIGH IMPACT PLASTIC COLLAR WITH RIBS TO PREVENT ROTATION WHEN REMOVING SCREW TOP LID. THE SCREW TOP LID SHALL BE CAST IRON OR HIGH IMPACT PLASTIC THAT WILL WITHSTAND ULTRA-VIOLET RAYS.
 3. ALL CLEAN OUTS TO BE LOCATED IN LANDSCAPE ISLANDS.

CLEAN OUT DETAIL
 NOT TO SCALE

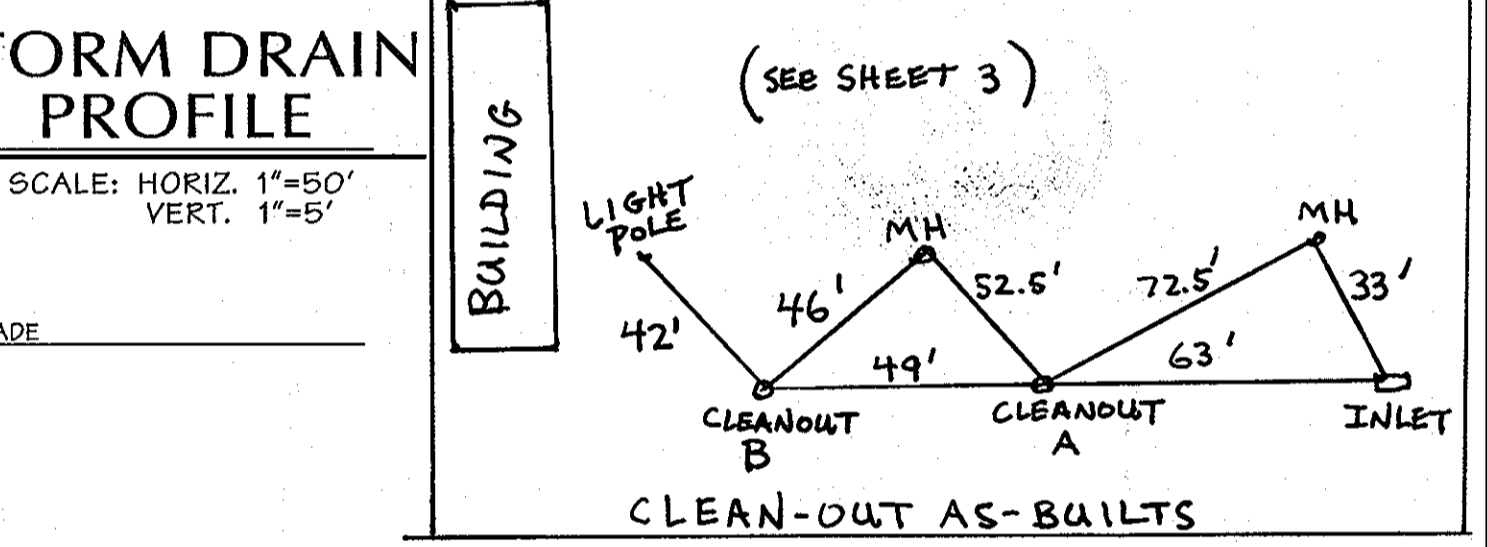


RECHARGE TRENCH DETAIL
 N.T.S.
 AS BUILT REQUIRED
 SEE REDLINES SHOWN HEREON

SURVEY SERVICES OF MD, LLC
 BY: ROBERT W. MATIS - RLS 605



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. 8061, EXPIRATION DATE: 8-26-11



APPROVED: HOWARD COUNTY DEPT. OF PUBLIC WORKS
With 2 add. 10-8-10
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING
Kevin Lynch 11-18-10
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Thomas J. Rutledge 11/18/10
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

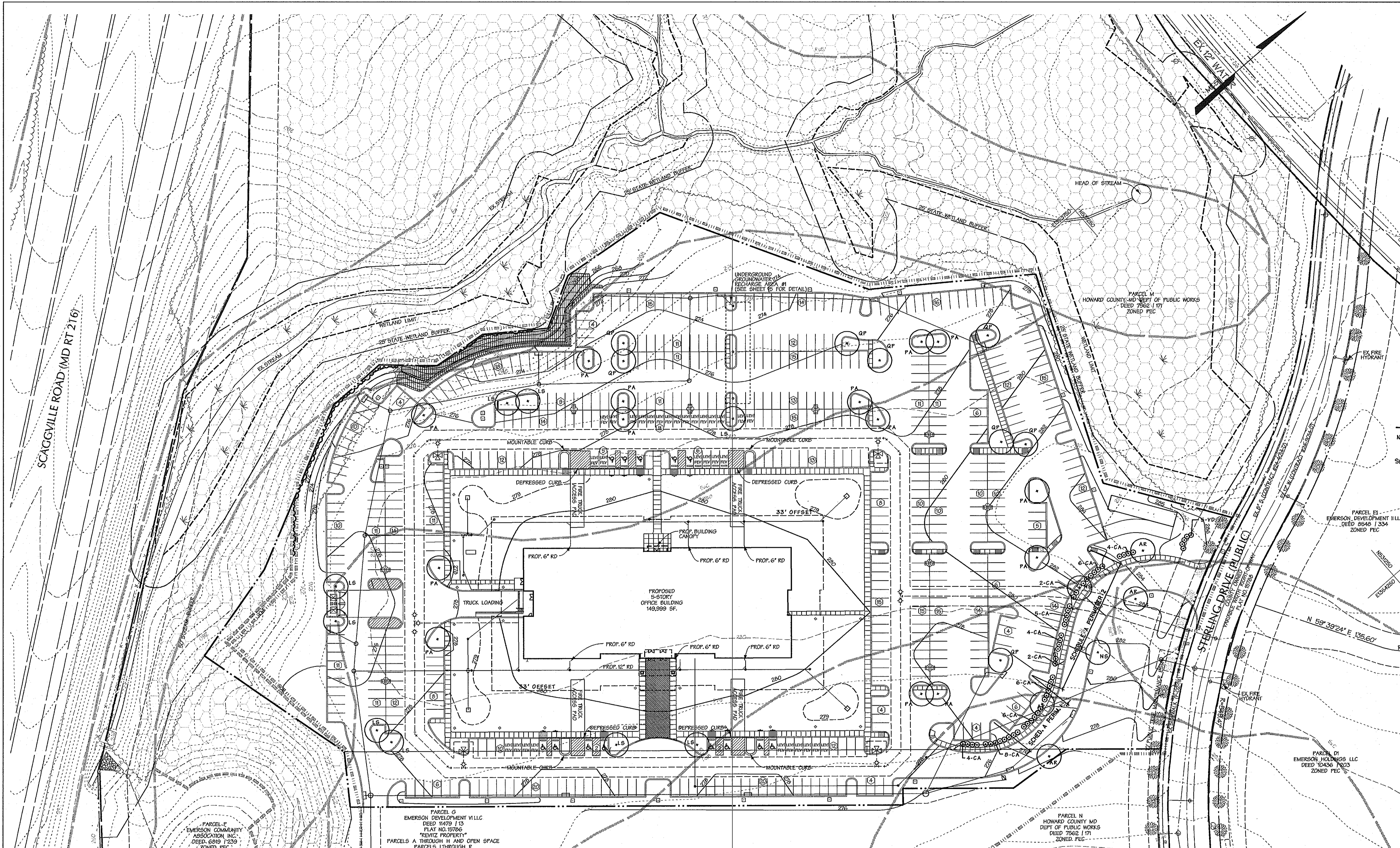
Thomas J. Rutledge 11/18/10
 DIRECTOR DATE

DATE: 10-4-10
 PROJECT: STORM STRUCTURES M-3A, I-5, I-5A

**EMERSON PARCEL F-1
 REVITZ PROPERTY**
 5-STORY COMMERCIAL OFFICE BUILDING
 OWNER/DEVELOPER:
 EMERSON DEVELOPMENT VII LLC
 1 TEXAS STATION COURT, SUITE 200
 TIMONIUM, MARYLAND 21093-8288
 (443) 689-8000

DMW
 DAFT MCCUNE WALKER INC
 200 EAST PENNSYLVANIA AVENUE • TOWSON, MD 21286
 P: 410 296 3883 F: 410 296 4705 WWW.DMW.COM
 A TEAM OF LAND PLANNERS, LANDSCAPE ARCHITECTS,
 ENGINEERS, SURVEYORS & ENVIRONMENTAL PROFESSIONALS

SECTION/AREA	DATE	LOT/F-1 PAR. 165
RECHARGE TRENCH	10-4-10	LOT F-1 PAR. 165
DATE	10-4-10	
TITLE	SANITARY SEWER AND STORM DRAIN PROFILES	
Des. By	THR	Scale 1"=50'
Drn. By	CRH	Date 09-29-10
Proj. No.	95054-10	
15 of 18		
SDP-10-096		



LEGEND

- PLATTED PROPERTY BOUNDARY
- PROPERTY BOUNDARY
- EX RIGHT OF WAY
- ADJACENT PROPERTY BOUNDARY
- EX ROADS AND WALKS
- EX MAJOR CONTOUR
- EX MINOR CONTOUR
- FOREST CONSERVATION EASEMENT
- LIMIT OF DISTURBANCE
- PROP. BUILDING
- PROP. CURB / EDGE OF PAVING
- PROP. DEPRESSED CURB
- PROP. MAJOR CONTOUR
- PROP. MINOR CONTOUR
- PROPOSED OVERSTORY SHADE TREE
- PROPOSED ORNAMENTAL TREE
- PROPOSED EVERGREEN TREE
- PROPOSED SHRUB

AS-BUILT CERTIFICATION FOR PSWM

NOTE: THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.

SIGNED: *Melvin Charles* 5/23/12 P.E. # 16928
 MELVIN CHARLES, Director



APPROVED: HOWARD COUNTY DEPT. OF PUBLIC WORKS
With 2 amendments 10-8-10
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING
V. L. ... 11-18-10
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

... 11/16/10
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

... 11/16/10
 DIRECTOR DATE

Date No. Revision Description

EMERSON PARCEL F-1 REVITZ PROPERTY
 5-STORY COMMERCIAL OFFICE BUILDING

OWNER/DEVELOPER:
 EMERSON DEVELOPMENT VII LLC
 1 TEXAS STATION COURT
 SUITE 200
 TIMONIUM, MARYLAND 21093-8288



200 EAST PENNSYLVANIA AVENUE • TOWSON, MD 21286
 P: 410 296 3383 F: 410 296 4705 WWW.DMW.COM

SECTION NAME REVITZ PROPERTY	SECTION AREA	SHEET/PAGE # 20 / 20	LOT # / PAR. # F-1 / PAR. 165
DATE OF PLAN 2/12/12	SCALE 1"=50'	DESIGNER JEG	DRAWN BY JEG
DATE OF FIELD WORK 11/16/10	DATE OF DESIGN 09-27-10	DATE OF CHECK 11/16/10	DATE OF APPROVAL 11/16/10

TITLE: **LANDSCAPE PLAN**

Des. By JEG Scale 1"=50' Proj. No. 9505410
 Dm. By JEG Date 09-27-10
 Chk. By Approved 16 of 18

SDP-10-096

PLANT LIST

QTY.	SYM.	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
SHADE TREES					
4	AR	Acer rubrum 'October Glory'	October Glory Red Maple	2 1/2 - 3" Cal., 12-14' Ht.	B & B, Full head
2	LS	Liquidambar styraciflua 'Rotundiloba'	Rotundiloba Sweetgum	2 1/2 - 3" Cal., 12-14' Ht.	B & B, Full head
8	NS	Nyssa sylvatica	Black Gum	2 1/2 - 3" Cal., 12-14' Ht.	B & B, Full head
14	PA	Platanus x acerifolia 'Bloodgood'	Bloodgood London Plane Tree	2 1/2 - 3" Cal., 12-14' Ht.	B & B, Full head
9	QP	Quercus palustris	Pin Oak	2 1/2 - 3" Cal., 12-14' Ht.	B & B, Full head
SHRUBS					
47	CA	Clethra alnifolia	Summersweet	3-4' Ht.	B & B
5	VD	Viburnum dentatum	Arrowwood Viburnum	3-4' Ht.	B & B

NOTES:
 1. PLANT MATERIAL PROVIDED ABOVE COUNTY REQUIREMENTS ARE NEEDED TO FULFILL THE EMERSON CORPORATE COMMONS DESIGN AND DEVELOPMENT STANDARDS FOR LANDSCAPE REQUIREMENTS.
 2. PLANT LIST REFLECTS REQUIREMENTS FOR THE EMERSON CORP. COMMONS DESIGN AND DEVELOPMENT STANDARDS WHICH MEETS AND EXCEEDS THE NUMBER OF PLANT MATERIALS REQUIRED BY COUNTY SCHEDULES A AND B.

SCHEDULE A PERIMETER LANDSCAPE EDGE

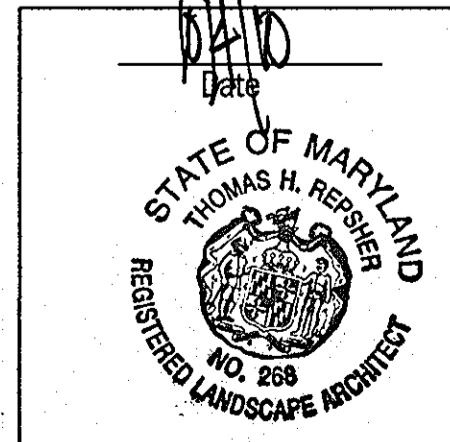
Category	Perimeter No. 1 Parking Adjacent Roadway	Perimeter No. 2 Parking Adjacent Roadway	TOTALS
Landscape Type	E	E	
Linear Feet of Roadway Frontage/Perimeter	62 LF.	143 LF.	
Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	NO	NO	
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)	N.A.	N.A.	
Number of Plants Required			
Shade Trees	2	4	6
Evergreen Trees	16	36	52
Shrubs			
Number of Plants Provided			
Shade Trees	2	4	6
Evergreen Trees	-	-	-
Other Trees (2:1 substitution)	-	-	-
Shrubs (10:1 substitution)	16	36	52

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING

Number of Parking Spaces	620
Number of Trees Required	31
Number of Trees Provided	
Shade Trees	
Other Trees (2:1 substitution)	37

AS BUILT NOT REQUIRED

SURVEY SERVICES OF MD, LLC
 BY: ROBERT W. MATIS - RLS 605



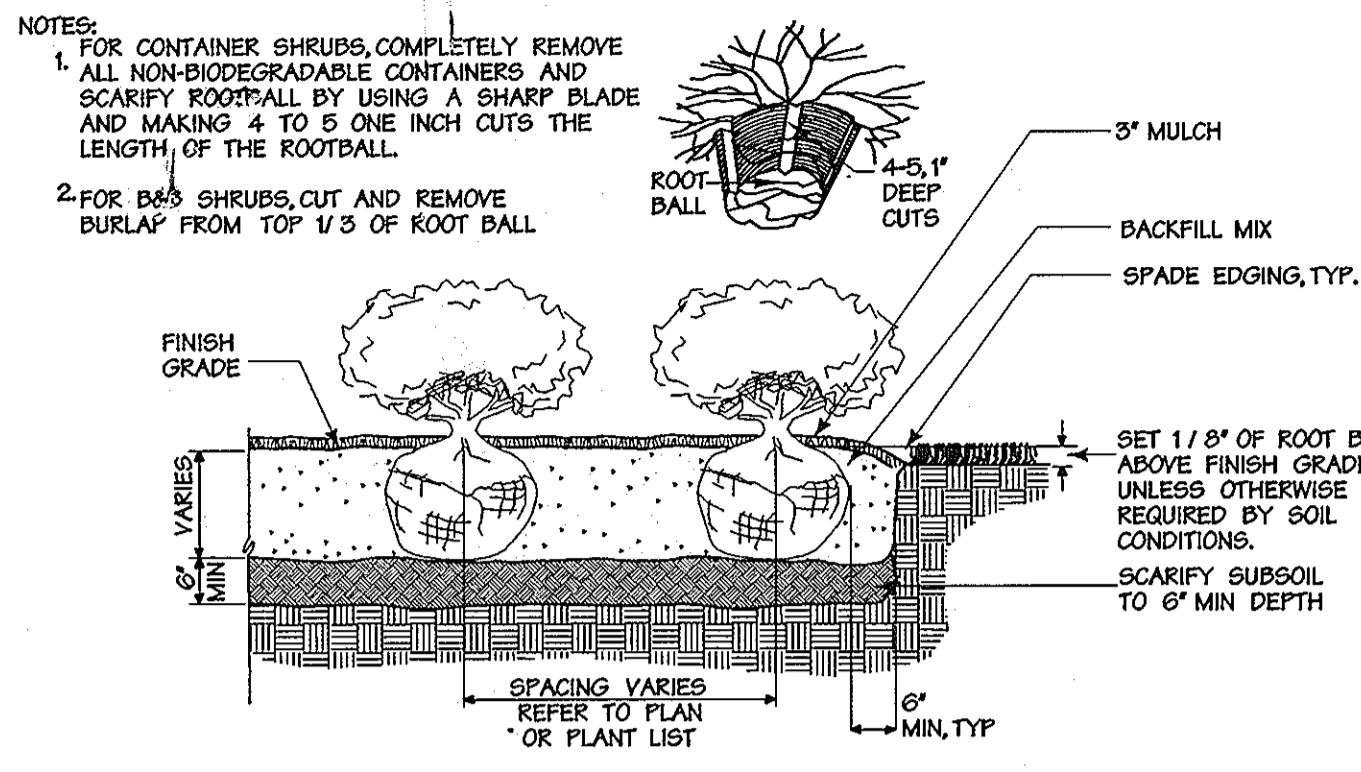
LANDSCAPE ARCHITECT NO. *JEG*

THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD-GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.

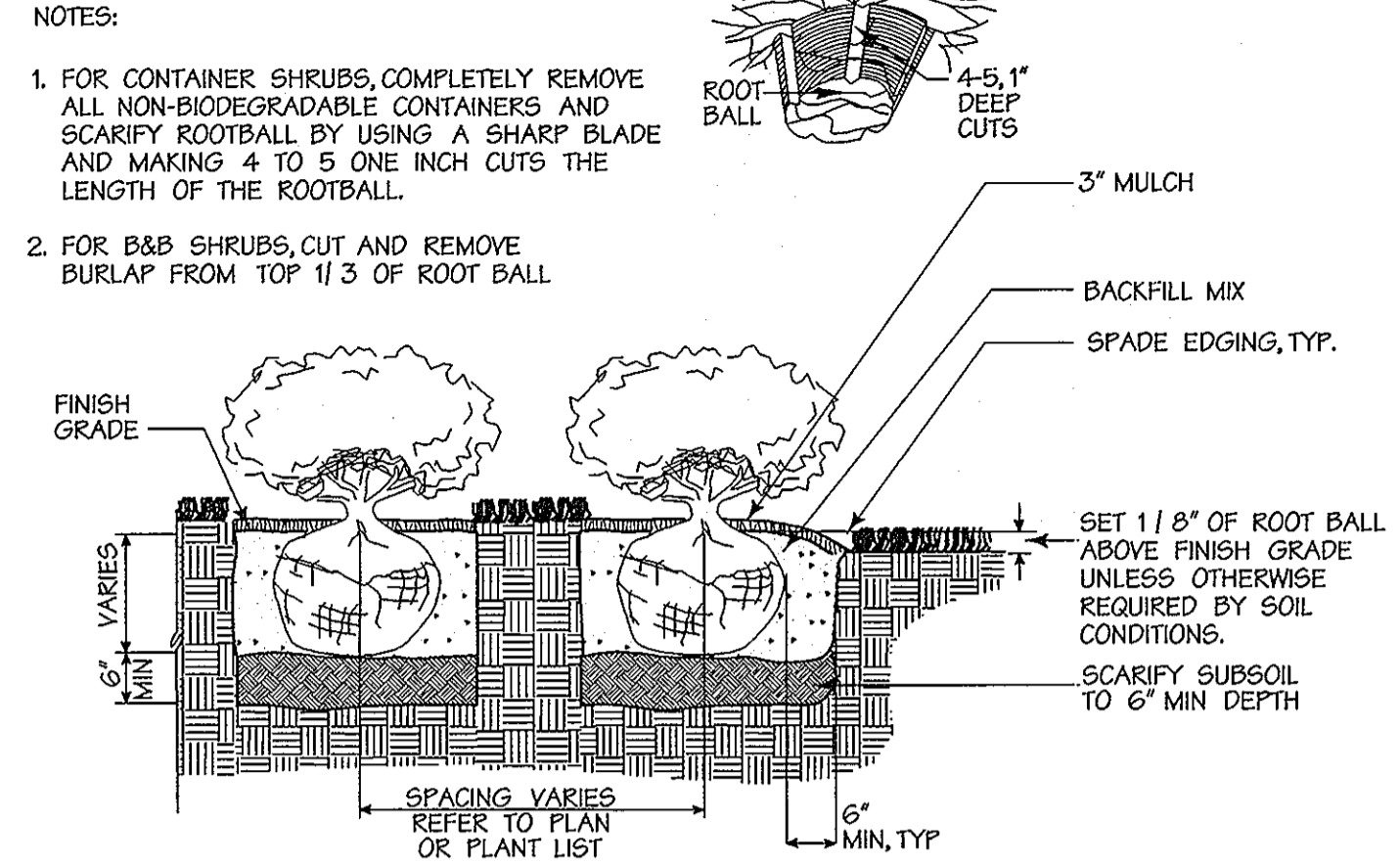
NOTES:
 1. AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE GRANTING OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.
 2. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE EMERSON CORPORATE COMMONS LANDSCAPE DESIGN CRITERIA. FINANCIAL LANDSCAPE SURETY, IN THE AMOUNT OF \$26,600 (UNLESS COUNTY CHANGES IS TO BE POSTED FOR 37 SHADE TREES AND 52 SHRUBS, THE SURETY MUST BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT.
 3. EMERSON IS GOVERNED BY COVENANTS WHICH REQUIRE ADDITIONAL PLANT MATERIAL AND APPROVAL FROM THE HRD ARCHITECTURAL REVIEW COMMITTEE. PLEASE REFER TO PLAN APPROVAL LETTER FROM HRD.
 4. ALL PROPERTY PERIMETERS, EXCEPT STERLING DRIVE AVE, EXEMPT FROM LANDSCAPING REQUIREMENTS SINCE THIS PARCEL IS INTERNAL TO THE EMERSON (REVITZ PROPERTY) SUBDIVISION.

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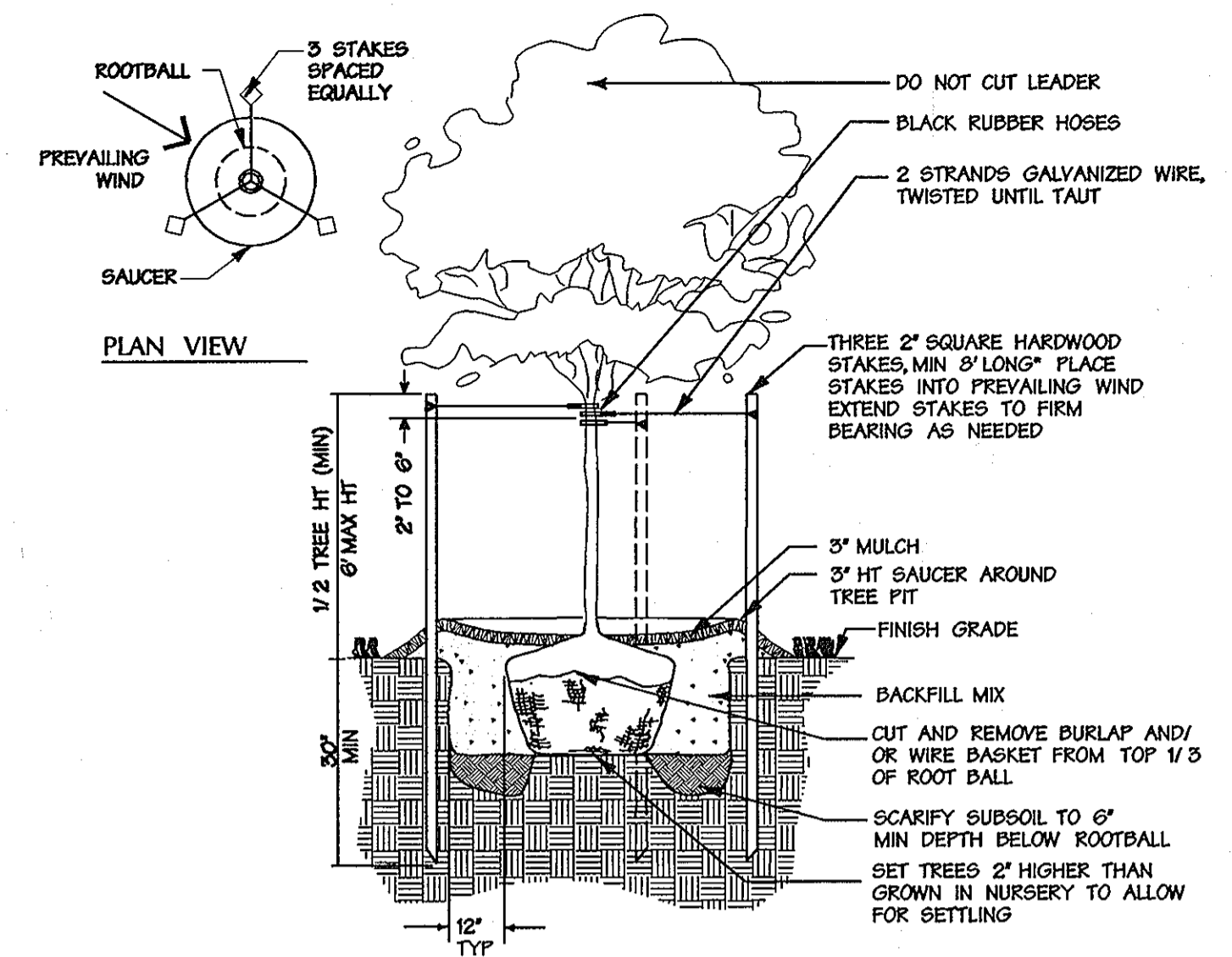
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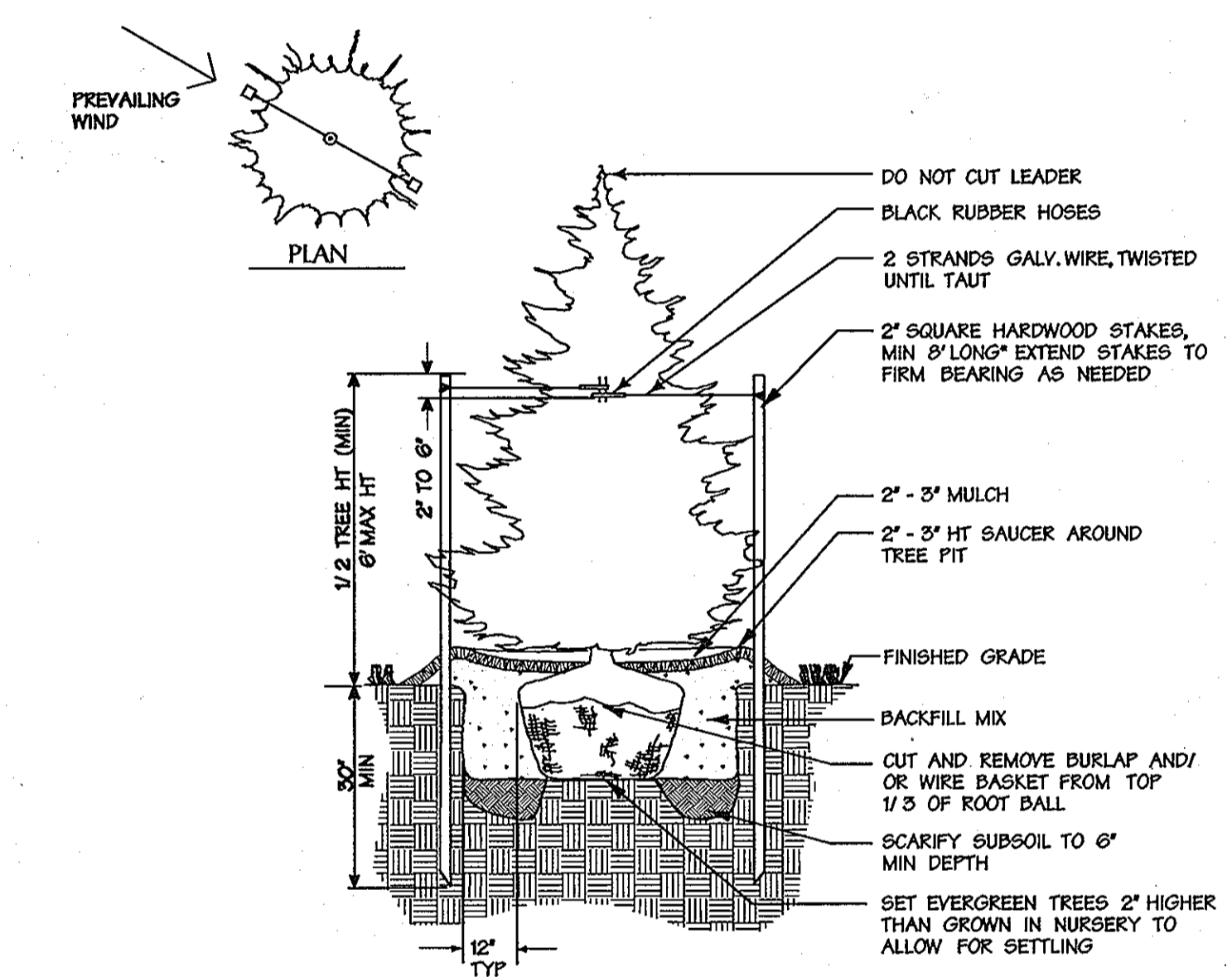
Shrub Bed Planting Detail
Not to Scale



Container Planting
Not to Scale



Deciduous Tree Planting Detail
Not to Scale



Evergreen Tree Planting Detail
Not to Scale

- PLANTING SPECIFICATIONS**
- MAINTAIN POSITIVE DRAINAGE OUT OF PLANTING BEDS AT A MINIMUM 2% SLOPE. ALL GRADES, DIMENSIONS, AND EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR ON SITE BEFORE CONSTRUCTION BEGINS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT OR OWNER.
 - THE CONTRACTOR SHALL NOTIFY MISS UTILITY (800-257-7777) A MINIMUM OF THREE WORKING DAYS PRIOR TO PLANTING AND CONSTRUCTION.
 - THE CONTRACTOR IS ADVISED OF THE EXISTENCE OF UNDERGROUND UTILITIES ON THE SITE. THEIR EXACT LOCATION SHALL BE VERIFIED IN THE FIELD WITH THE OWNER OR GENERAL CONTRACTOR PRIOR TO THE COMMENCEMENT OF ANY DIGGING OPERATIONS. IN THE EVENT THEY ARE UNCOVERED, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DAMAGE TO UTILITIES AND SUCH DAMAGE SHALL NOT RESULT IN ANY ADDITIONAL EXPENSES TO THE OWNER.
 - IF UTILITY LINES ARE ENCOUNTERED IN EXCAVATION OF TREE PITS, OTHER LOCATIONS FOR TREES SHALL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COMPENSATION. NO CHANGES OF LOCATION SHALL BE MADE WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT.
 - PLANT MATERIAL SUBSTITUTIONS WILL NOT BE ACCEPTED WITHOUT WRITTEN CONSENT OF THE OWNER OR LANDSCAPE ARCHITECT.
 - PLANT QUANTITIES ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. IN THE EVENT OF VARIATION BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND THE PLANS, THE PLANS SHALL CONTROL. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES PRIOR TO THE COMMENCEMENT OF WORK. SOD QUANTITY TAKE-OFFS ARE THE RESPONSIBILITY OF THE CONTRACTOR. ALL DISCREPANCIES SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO BIDDING. THE CONTRACTOR SHALL FURNISH PLANT MATERIAL IN SIZES AS SPECIFIED IN PLANT LIST.
 - PLANT MATERIAL SUBSTITUTIONS WILL NOT BE ACCEPTED WITHOUT WRITTEN CONSENT OF THE OWNER OR LANDSCAPE ARCHITECT.
 - ALL PLANTS (B&B OR CONTAINER) SHALL BE PROPERLY IDENTIFIED BY WEATHER-PROOF LABELS SECURELY ATTACHED THERETO BEFORE DELIVERY TO PROJECT SITE. LABELS SHALL IDENTIFY PLANTS BY NAME, SPECIES, AND SIZE. LABELS SHALL NOT BE REMOVED UNTIL THE FINAL INSPECTION BY THE LANDSCAPE ARCHITECT OR AGENT IN CHARGE.
 - ANY MATERIAL AND/OR WORK MAY BE REJECTED BY THE LANDSCAPE ARCHITECT IF IT DOES NOT MEET THE REQUIREMENTS OF THE SPECIFICATIONS. ALL REJECTED MATERIALS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.
 - THE LANDSCAPE CONTRACTOR SHALL STAKE ALL MATERIAL LOCATED ON THE SITE FOR REVIEW AND POSSIBLE ADJUSTMENTS BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING. ALL LOCATIONS ARE TO BE APPROVED BY THE LANDSCAPE ARCHITECT BEFORE EXCAVATION.
 - THE LANDSCAPE ARCHITECT OR OWNER SHALL HAVE THE RIGHT, AT ANY STAGE OF THE OPERATIONS, TO REJECT ANY AND ALL WORK AND MATERIAL WHICH IN HIS OPINION DOES NOT MEET THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS.
 - THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR STABILITY AND CONDITIONS OF ALL TREES AND SHRUBS AND SHALL BE LEGALLY LIABLE FOR ANY DAMAGE CAUSED BY INSTABILITY OF ANY PLANT MATERIALS.
 - ALL PROPOSED TREES TO BE INSTALLED EITHER ENTIRELY IN OR ENTIRELY OUT OF PLANTING BEDS. PLANTING BED LINES ARE NOT TO BE OBSTRUCTED. ALL SHRUBS AND GROUND COVER AREAS SHALL BE PLANTED IN CONTINUOUS PREPARED BED AND TOP DRESSED WITH 3-INCH SHREDED HARDWOOD MULCH. MULCH SHALL HAVE BEEN SHREDED WITHIN THE LAST SIX MONTHS.
 - ALL PLANTING BEDS ADJACENT TO LAWN, SOD, OR SEEDED AREAS SHALL BE SPADE EDGED.
 - ALL SOD SHALL BE OBTAINED FROM AREAS HAVING GROWING CONDITIONS FAMILIAR TO AREAS TO BE COVERED. AREAS TO BE SODDED SHALL BE RAKED OF STONES AND DEBRIS. DEBRIS AND STONES OVER 1 INCH IN DIAMETER SHALL BE REMOVED FROM THE SITE. ALL DAMAGED SOD WILL BE REJECTED. ALL SOD MUST BE PLACED WITH STAGGERED JOINTS, TIGHTLY BUTTED, WITH NO INEQUALITIES IN GRADE. PLACE ALL SOD IN ROWS AT RIGHT ANGLES TO SLOPES (WHERE APPLICABLE).
 - MAINTENANCE SHALL BEGIN AFTER EACH PLANT HAS BEEN INSTALLED AND SHALL CONTINUE UNTIL 90 DAYS AFTER FINAL ACCEPTANCE BY THE ARCHITECT OR OWNER REPRESENTATIVE. MAINTENANCE INCLUDES MOWING OF TURF, WATERING, PRUNING, WEEDING, FERTILIZING, MULCHING, REPLACEMENT OF SICK OR DEAD PLANTS, AND ANY OTHER CARE NECESSARY FOR THE PROPER GROWTH OF THE PLANT MATERIAL. THE CONTRACTOR MUST BE ABLE TO PROVIDE CONTINUED MAINTENANCE IF REQUESTED BY THE OWNER.
 - UPON COMPLETION OF ALL LANDSCAPING, AN ACCEPTANCE OF THE WORK SHALL BE HELD. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OR OWNER FOR SCHEDULING THE INSPECTION AT LEAST SEVEN (7) DAYS PRIOR TO THE ANTICIPATED INSPECTION DATE.
 - THE LIFE AND ROBUST HEALTH OF ALL TREES, SHRUBS AND GROUND COVER SHALL BE GUARANTEED FOR 12 MONTHS FROM THE DATE OF ACCEPTANCE.
 - MAINTAIN POSITIVE DRAINAGE OUT OF PLANTING BEDS AT A MINIMUM 2% SLOPE. ALL GRADES, DIMENSIONS, AND EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR ON SITE BEFORE CONSTRUCTION BEGINS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT OR OWNER.
 - THE CONTRACTOR SHALL INSURE THAT HIS WORK DOES NOT INTERRUPT ESTABLISHED OR PROJECTED DRAINAGE PATTERNS.
 - THE CONTRACTOR SHALL INSURE ADEQUATE VERTICAL DRAINAGE IN ALL PLANT BEDS AND PLANTERS.
 - THE CONTRACTOR SHALL REVIEW ARCHITECTURAL/ENGINEERING PLANS TO BECOME THOROUGHLY FAMILIAR WITH GRADING AND SURFACE UTILITIES.
 - ALL EQUIPMENT AND TOOLS SHALL BE PLACED SO AS NOT TO INTERFERE OR HINDER THE PEDESTRIAN AND VEHICULAR TRAFFIC FLOW.
 - THE CONTRACTOR SHALL COORDINATE WITH LIGHTING AND IRRIGATION CONTRACTORS REGARDING TIMING OF INSTALLATION OF PLANT MATERIAL.
 - DURING PLANTING OPERATIONS, EXCESS WASTE MATERIALS SHALL BE PROMPTLY AND FREQUENTLY REMOVED FROM THE SITE.
 - THE CONTRACTOR SHALL DISPOSE OF STUMPS AND MAJOR ROOTS OF ALL PLANTS TO BE REMOVED. ANY DEPRESSIONS CAUSED BY REMOVAL OPERATIONS SHALL BE REFILLED WITH FERTILE, FRIABLE SOIL PLACED AND COMPACTED SO AS TO REESTABLISH PROPER GRADE FOR NEW PLANTING AND/OR LAWN AREAS.
 - ALL AREAS WITHIN CONTRACT LIMITS DISTURBED DURING OR PRIOR TO CONSTRUCTION NOT DESIGNATED TO RECEIVE PLANTINGS AND MULCH SHALL BE FINE GRADED AND SEEDED IN ACCORDANCE WITH PLANTING AND CONSTRUCTION SPECIFICATIONS.
 - EVERY POSSIBLE SAFEGUARD SHALL BE TAKEN TO PROTECT BUILDING SURFACES, EQUIPMENT, AND FURNISHING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSON OR PROPERTY WHICH MAY OCCUR AS A RESULT OF HIS NEGLIGENCE IN THE EXECUTION OF THE WORK.
 - THE CONTRACTOR IS RESPONSIBLE FOR TESTING PROJECT SOILS. THE CONTRACTOR IS TO PROVIDE A CERTIFIED SOILS REPORT TO THE OWNER. THE CONTRACTOR SHALL VERIFY THAT THE SOILS ON SITE ARE ACCEPTABLE FOR THE PROPER GROWTH OF THE PROPOSED PLANT MATERIAL. SHOULD THE CONTRACTOR FIND POOR SOIL CONDITIONS, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE SOIL AMENDMENTS AS NECESSARY. THESE AMENDMENTS SHALL INCLUDE, BUT NOT BE LIMITED TO, FERTILIZERS, LIME, AND TOPSOIL. PROPER PLANTING SOILS MUST BE VERIFIED PRIOR TO PLANTING OF MATERIALS.
 - PLANTING MIX:
 A) PLANTING MIX SHALL BE PREPARED AT APPROVED ON-SITE STAGING AREA USING APPROVED ON-SITE EXISTING SOIL. MIX MINIMUM QUANTITIES OF 20 CUBIC YARDS OR SUFFICIENT MIX FOR ENTIRE JOB IF LESS THAN 20 CUBIC YARDS IS REQUIRED.
 B) THOROUGHLY MIXED IN THE FOLLOWING PROPORTIONS FOR TREE AND SHRUB PLANTING MIX:
 5 CY EXISTING SOIL
 2 CY SHARP SAND
 3 CY WOOD RESIDUALS
 45 LBS TREBLE SUPERPHOSPHATE
 5 LBS DOLOMITE LIMESTONE (ELIMINATE FOR ACID LOVING PLANTS)
 C) FOR BED PLANTING, SHRUBS AND GROUNDCOVER SPACES 24 INCHES OR CLOSER, INCORPORATE THE FOLLOWING INGREDIENTS PER 20 SF AND INCORPORATE INTO TOP 8 INCHES OF EXISTING SOILS BY ROTOTILLING OR SIMILAR METHOD OF INCORPORATION:
 2 CY SHARP SAND
 3 CY ORGANIC MATERIAL
 45 LBS TREBLE SUPERPHOSPHATE
 5 LBS DOLOMITE LIMESTONE (ELIMINATE FOR ACID LOVING PLANTS)
 - PLANTS SHALL CONFORM TO CURRENT "AMERICAN STANDARDS FOR NURSERY STOCK" BY AMERICAN ASSOCIATION OF NURSEKYMEN (AAN), PARTICULARLY WITH REGARD TO SIZE, GROWTH, SIZE OF BALL, AND DENSITY OF BRANCH STRUCTURE. PLANT MATERIAL SHALL BE TAGGED AT THE SOURCE BY THE LANDSCAPE ARCHITECT UNLESS THIS REQUIREMENT IS SPECIFICALLY WAIVED.
 - ALL PLANTING PROCEDURES SHALL CONFORM TO LANDSCAPE CONTRACTORS ASSOCIATION (LCA) SPECIFICATION GUIDELINES FOR BALTIMORE / WASHINGTON METROPOLITAN AREA (LATEST EDITION), LCA LANDSCAPE SPECIFICATION GUIDELINES (6TH ED) SECTION 116, REPLACEMENT AND CONDITIONS, "ITEM F, PLANT LOSSES DUE TO ABNORMAL WEATHER" DOES NOT APPLY.
 - ALL PLANTING PROCEDURES SHALL CONFORM TO DAFT MCCUNE WALKER INC. SPECIFICATIONS.
 - PLANTING RECOMMENDATIONS DELINEATED IN DMW'S STANDARD SPECIFICATIONS AND PLANTING DETAILS, WHICH ARE INCLUDED OR REFERENCED IN THESE DRAWINGS, ARE INTENDED AS A GENERAL GUIDE. THESE RECOMMENDATIONS ARE NOT BASED UPON A COMPREHENSIVE SOIL TEST OR AN EVALUATION OF THE POST-CONSTRUCTION CONDITIONS IN WHICH THE LANDSCAPE CONTRACTOR WILL BE EXPECTED TO WORK.
 IN ORDER FOR PLANT MATERIAL TO THRIVE, A SOIL TEST MAY BE NECESSARY. SOIL TESTING SHOULD ADDRESS MICRO- AND MACRO-NUTRIENT LEVELS, SOIL PH, AND A USDA SOIL TEXTURE CLASSIFICATION. FURTHER, UNDERLYING SOIL CONDITIONS IN AREAS THAT HAVE BEEN DISTURBED BY CONSTRUCTION MAY CONTAIN COMPRESSED AND POORLY DRAINED SOIL, AND THEY MAY LACK ORGANIC MATERIAL OR MICRO-ORGANISMS NECESSARY FOR SUCCESSFUL PLANT GROWTH.
 IF THESE CONDITIONS APPEAR TO THE CONTRACTOR TO BE A LIMITATION TO PLANT GROWTH, THE CONTRACTOR IS ENCOURAGED TO MAKE RECOMMENDATIONS FOR A SOIL AMENDMENT PROGRAM SUBJECT TO THE APPROVAL OF THE OWNER AND THE LANDSCAPE ARCHITECT.
 SUCCESS OF THE LANDSCAPE PLANTING WILL DEPEND UPON A COMBINATION OF NATURAL RAINFALL AND SUPPLEMENTAL IRRIGATION. IT SHOULD BE NOTED THAT IRRIGATION SHOULD BE APPLIED CAUTIOUSLY, AS NEW PLANTINGS ARE PARTICULARLY VULNERABLE TO OVER-WATERING. WATER CONDITIONS SHOULD BE MONITORED 6" INCHES BELOW THE SURFACE, AND POCKET PLANTED PLANT MATERIAL SHOULD BE CAREFULLY INVESTIGATED FOR ACCUMULATION OF WATER IN THE PLANTING PITS.
 ANOTHER KEY INGREDIENT TO SUCCESSFUL PLANTING IS THE USE OF PLANT MATERIAL THAT HAS BEEN GROWN IN SIMILAR LIGHT AND WATER CONDITIONS TO THOSE PROPOSED. IN PARTICULAR, GROUNDCOVERS, ANNUALS, AND PERENNIALS - WHICH MAY HAVE BEEN GROWN UNDER PROTECTED SHADING OR COVER AND ARE THEN SUBJECTED TO FULL WEATHER CONDITIONS - MAY NEED CONDITIONING PRIOR TO INSTALLATION.

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL.

I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

[Signature] 9/27/10
 NAME DATE

"THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL."

PROVIDE THE FOLLOWING NOTE ON THE LANDSCAPE PLAN:
 THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.

APPROVED: HOWARD COUNTY DEPT. OF PUBLIC WORKS	
<i>[Signature]</i> CHIEF, BUREAU OF HIGHWAYS	10-8-10 DATE
APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING	
<i>[Signature]</i> CHIEF, DIVISION OF LAND DEVELOPMENT	11-18-10 DATE
<i>[Signature]</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION	11/16/10 DATE
<i>[Signature]</i> DIRECTOR	11/18/10 DATE

Date No. Revision Description

**EMERSON PARCEL F-1
REVITZ PROPERTY**
 6-STORY COMMERCIAL OFFICE BUILDING

OWNER/DEVELOPER:
 EMERSON DEVELOPMENT VII LLC
 1 TEXAS STATION COURT
 SUITE 200
 TIMONIUM, MARYLAND 21093-8288

DMW
 DAFT MCCUNE WALKER INC.
 200 EAST PENNSYLVANIA AVENUE • TOWSON, MD 21286
 P: 410 296 3333 F: 410 296 4705 WWW.DMW.COM

A TEAM OF LAND PLANNERS, LANDSCAPE ARCHITECTS, ENGINEERS, SURVEYORS & ENVIRONMENTAL PROFESSIONALS

SUBDIVISION NAME REVITZ PROPERTY	SECTION/AREA LOT F-1 I PAR. 165
PLAT NO. 212777-78	BLDG # 20
ZONE PEC	LOT DISTRICT 47
SEWER CODE	SEWER TRACT 6803

TITLE: **LANDSCAPE DETAILS**

Des. By JEG	Scale 1"=50'	Proj. No. 9505410
Drn. By JEG	Date 09-27-10	17 of 18
Chk. By	Approved	

SDP-10-096 20

AS BUILT NOT REQUIRED

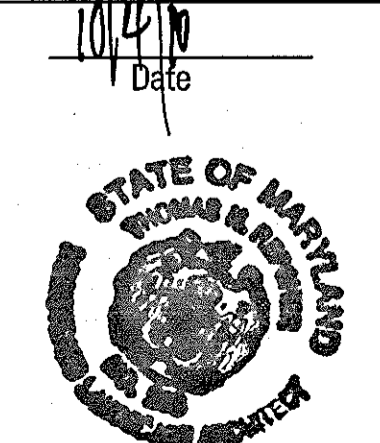
SURVEY SERVICES OF MD, LLC
 BY: ROBERT W. MATIS - RL5605



AS-BUILT CERTIFICATION FOR PSWM

NOTE: THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.

SIGNED: *[Signature]* 6/23/12 P.E.# 16920
 MELVIN CHARLES BEALL, JR.



[Signature]
 Landscape Architect No. *[Signature]*

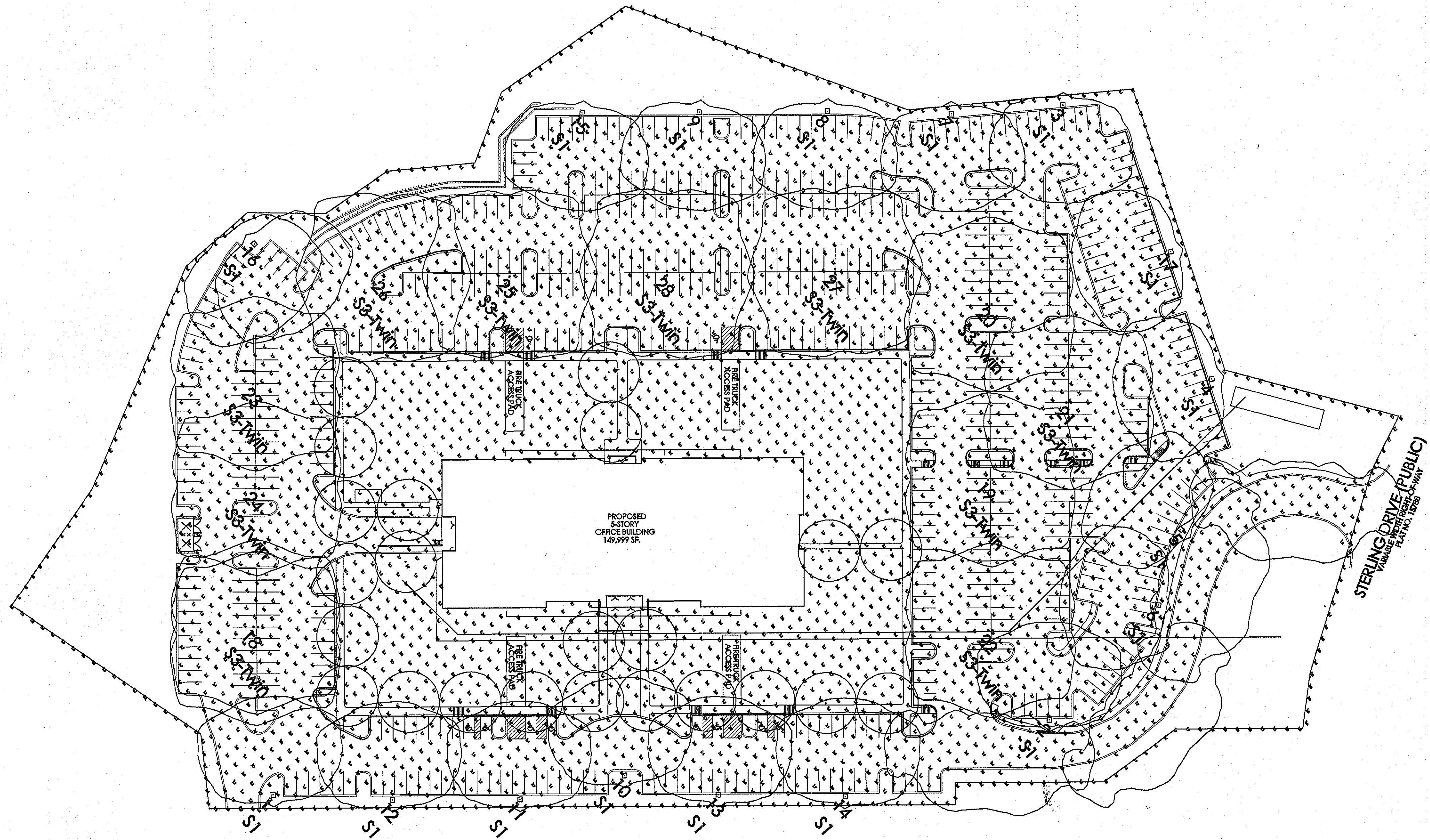
10/15/2010 3:42:58 PM tcr-awley.ctb\hpm\SITE LITTING SHEET 18.dgn SITE LITTING SHEET 18.dgn From elec\SITE LITTING SHEET 18.dgn

The C:\OS 1541\22701855\95054\1\ENGR\transfer\transh\2010-08-14.dgn From elec\SITE LITTING SHEET 18.dgn

Symbol	Qty	Label	Arrangement	Lumens	LF	Description
S1	23	S5	SINGLE	6700	0.800	SAC-R5-1-47016
S1	11	S3-Twin	GROUP	N.A.	0.800	(2) MPTR-380-MP-MF-45 COOPER TRIBUTE TWIN ASSEMBLY
S1	4	S4	SINGLE	38000	0.800	MPTR-380-MP-25 COOPER TRIBUTE SINGLE
S1	17	S1	SINGLE	38000	0.800	MPTR-380-MP-XCSL COOPER TRIBUTE SINGLE WITH SPILL LIGHT CONTROL

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking and Drive Aisle	Illuminance	Fc	2.04	8.0	0.0	N.A.	N.A.
Property Line	Illuminance	Fc	0.41	3.0	0.0	N.A.	N.A.

LumNo	Label	X	Y	Z	Orient	TH
1	S1	112507.4	43772.47	30	142.855	0
2	S1	112593	44293.47	30	138.829	0
3	S1	112534.9	44618.85	30	316.595	0
4	S1	112750.5	44555.51	30	240.554	0
5	S1	112524.1	44454.4	30	182.016	0
6	S1	112540.5	44410.67	30	220.551	0
7	S1	112461.0	44545.45	30	320.77	0
8	S1	112394.0	44472.71	30	316.266	0
9	S1	112316.7	44394.27	30	311.762	0
10	S1	112682.1	43995.92	30	144.654	0
11	S1	112641.2	43919.82	30	139.981	0
12	S1	112573.9	43842.16	30	142.91	0
13	S1	112743.3	44042.48	30	136.782	0
14	S1	112511.7	44118.82	30	135.581	0
15	S1	112254.9	44322.94	30	311.762	0
16	S1	112147.0	44332.21	30	0	0
17	S1	112515.4	44353.13	30	240.554	0
18	S3-Twin	112402.4	43844.87	30	103.241	0
19	S3-Twin	112594.5	44375.13	30	104.036	0
20	S3-Twin	112534.9	44457.99	30	104.036	0
21	S3-Twin	112659.0	44453.83	30	104.036	0
22	S3-Twin	112786.7	44295.12	30	104.036	0
23	S3-Twin	112246.7	43979.98	30	103.241	0
24	S3-Twin	112311.4	43925.26	30	103.241	0
25	S3-Twin	112315.3	44192.36	30	193.588	0
26	S3-Twin	112250.5	44115.12	30	13.179	0
27	S3-Twin	112455.6	44322.47	30	17.184	0
28	S3-Twin	112393.0	44293.48	30	191.645	0
29	S4	112871.8	44218.75	30	134.929	0
30	S4	112535.2	44347.83	30	189.725	0
31	S4	112880.7	44456.7	30	229.742	0
32	S4	112880.1	44638.53	30	134.585	0
33	S5	112427.5	44200.97	12	0	0
34	S5	112679.1	44084.67	12	0	0
35	S5	112703.3	44120.27	12	0	0
36	S5	112548.2	44049.27	12	0	0
37	S5	112520	44016.37	12	0	0
38	S5	112594.2	44048.17	12	0	0
39	S5	112610.7	44391.07	12	0	0
40	S5	112588	43978.47	12	0	0
41	S5	112555.8	43941.27	12	0	0
42	S5	112522.8	43903.97	12	0	0
43	S5	112464.8	44170.67	12	0	0
44	S5	112435.5	43976.87	12	0	0
45	S5	112405.1	44005.67	12	0	0
46	S5	112372.7	43966.77	12	0	0
47	S5	112412.1	43934.87	12	0	0
48	S5	112480.4	43901.87	12	0	0
49	S5	112455.5	43869.87	12	0	0
50	S5	112353.3	44301.37	12	0	0
51	S5	112297.1	44262.77	12	0	0
52	S5	112482.9	44289.45	12	0	0
53	S5	112585.3	44277.85	12	138.568	0
54	S5	112744.4	44155.64	12	0	0
55	S5	112777.2	44193.98	12	0	0



APPROVED: HOWARD COUNTY DEPT. OF PUBLIC WORKS
William R. Matis 10-8-10
 CHIEF, BUREAU OF HIGHWAYS DATE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING
K. J. Deane 11-18-10
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

William R. Matis 11/16/10
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Norman S. Swalle 11/18/10
 DIRECTOR DATE

Date No. Revision Description

**EMERSON PARCEL F
 REVITZ PROPERTY**
 5-STORY COMMERCIAL OFFICE BUILDING

OWNER/DEVELOPER:
 EMERSON DEVELOPMENT VII LLC
 1 TEXAS STATION COURT, SUITE 200
 TIMONIUM, MARYLAND 21093-8288
 (443) 689-8000

AS BUILT
 NOT REQUIRED

SURVEY SERVICES OF MD., LLC
 BY: ROBERT W. MATIS-RLS 605



AS-BUILT CERTIFICATION FOR PSWM

NOTE: THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.

SIGNED: *Melvin Charles Beaulieu* 5/13/12 P.E. # 16928
 MELVIN CHARLES BEAULIEU, JR.

OWNER NAME	SECTION/AREA	LOT/PARCEL #
REVITZ PROPERTY		LOT F / PAR. 165
PLAN OR L.P.	BOOK #	DATE
21-27-0978	20	PEC
TAX/ZONE MAP	ELECT. DISTRICT	GENESIS TRACT
	6	6903
OWNER CODE	OWNER CODE	
TITLE		
SITE LIGHTING PLAN		
Des. By	Scale	Proj. No.
Dr. By	Date	95054.10
Chk. By	Approved	18 of 18
		SDP-10-096
		20

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Rev.	Date	Description
1	7/13	Redline Revisions (Gate)
2		Revised Gate
3		Revised Gate

Designed by:	S. PARENT	Checked by:	B. WIENERT
Drawn by:	S. PARENT	RFPO Project Manager:	CHARLES CAMTZ
Submitted by:	NATHAN JAMES	Project Manager:	

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING
 Chief, Division of Land Development DATE 7/11/13
 Chief, Development Engineering Division DATE 7/9/13
 Director DATE 7/11/13

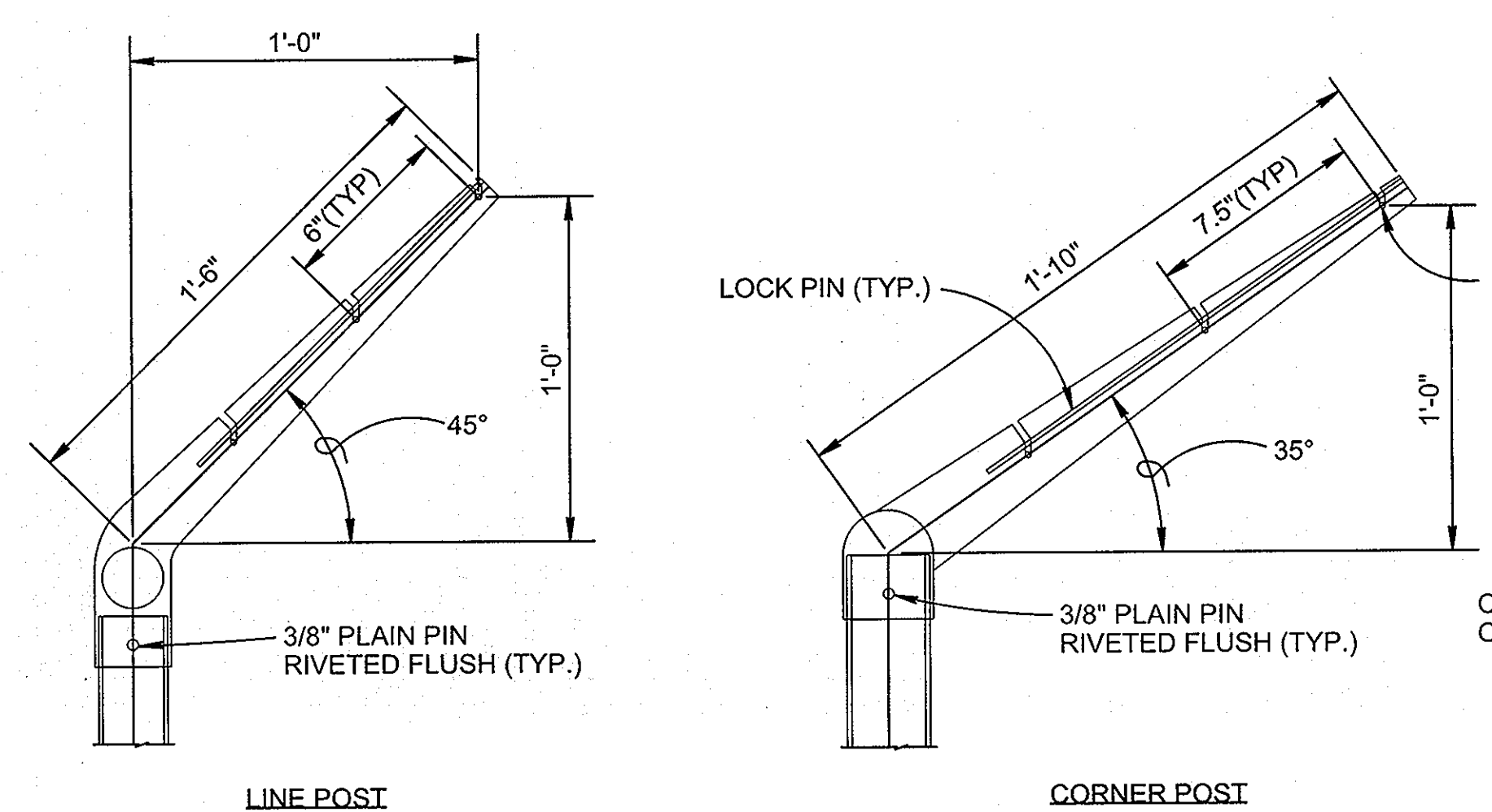
EMERSON PARCEL F-1
 REVITZ PROPERTY
 5-STORY COMMERCIAL OFFICE BUILDING
 OWNER DEVELOPER:
 EMERSON DEVELOPMENT VII LLC
 1 TEXAS STATION COURT, SUITE 200
 TIMONIUM, MARYLAND 21093-8288
 (443) 689-8000

SUBDIVISION NAME	REVITZ PROPERTY	SECTION AREA	LOT / PAR.
PLAT / DIST. / BLOCK / ZONE	21277 & 21278 / 20 / PEC	TAX ZONE / MARSHCT. DISTRICT	47 / 6
WATER CODE		CENSUS TRACT	6903

TITLE	SITE DETAILS	
Des. By	Scale 1"=50'	Proj. No. 95054.10
Drn. By	Date 07-05-13	19 of 20
Chk. By	Approved	

EMERSON - PERIMETER SECURITY AND SITE
 ROOM(S) OR FLOOR
 LAUREL, MD

Drawing No.
 Sheet Reference No.
 19 OF 20
 Sheet of 45



NOTES:

1. RAILS, POSTS, AND BRACES SHALL BE CONSTRUCTED ON THE SECURE SIDE OF THE FENCE ALIGNMENT. SECURA MESH FABRIC SHALL BE PLACED ON THE SIDE OPPOSITE THE SECURE AREA. FABRIC SHALL BE ATTACHED TO THE FENCE PER SECURA FENCE SYSTEM ASF .75-9R REQUIREMENTS.

2. UNLESS SPECIFICALLY SHOWN OR SPECIFIED, ALL AMERISTAR MATRIX FENCE SHALL HAVE APRON EXTENDED OUTWARD FROM THE AREA BEING PROTECTED.

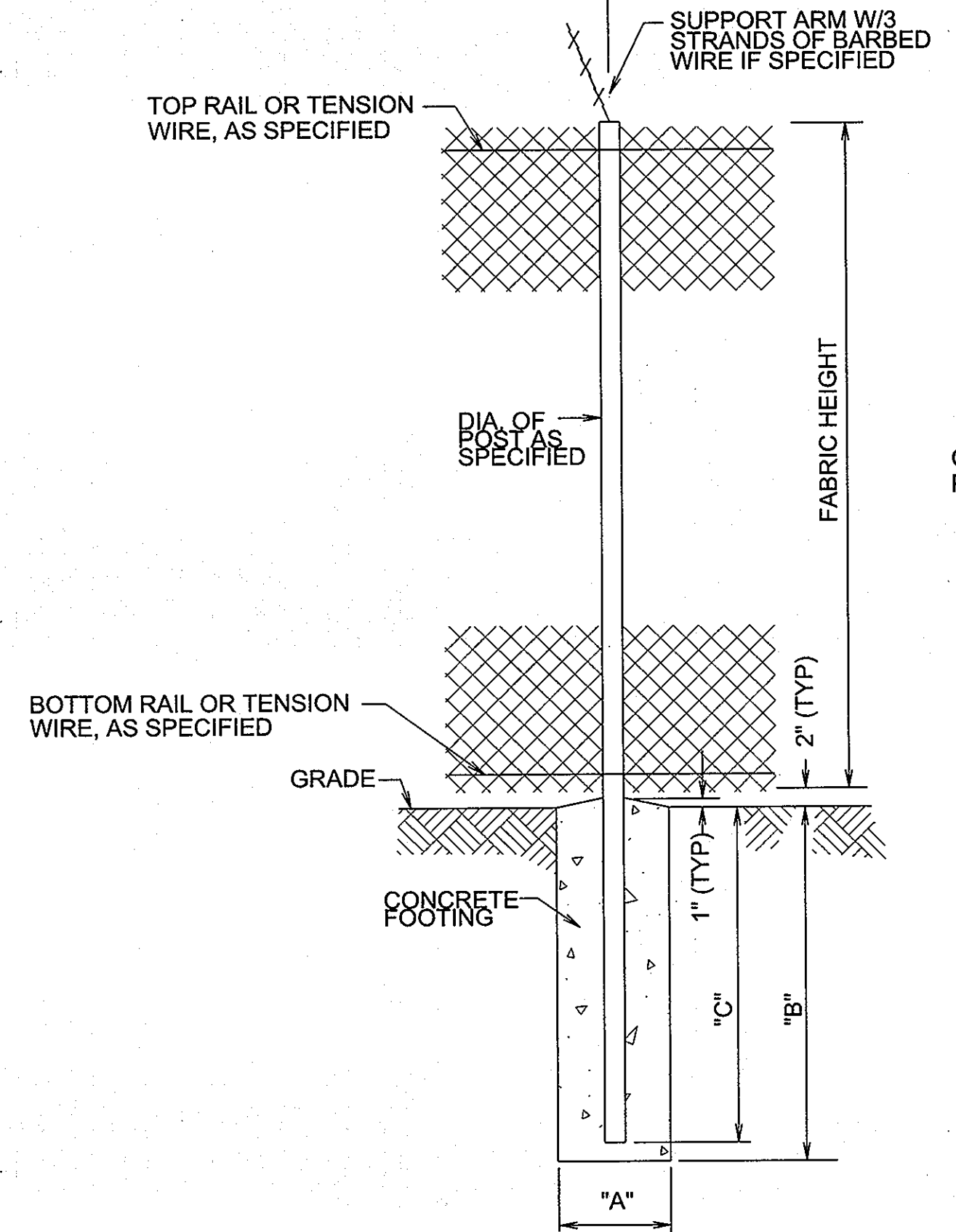
GATE POST

GATE LEAF WIDTH	GATE POST (OD)	FABRIC HEIGHT	"A" DIAM	"B" DEPTH	"C" POST EMBED.
3' TO 6'	2.875"	TO 5'	12"	38"	36"
		6' TO 9'	14"	42"	40"
		10' TO 12'	16"	46"	44"
7' TO 12'	4.000"	3' TO 5'	14"	38"	36"
		6' TO 9'	16"	42"	40"
		10' TO 12'	18"	46"	44"

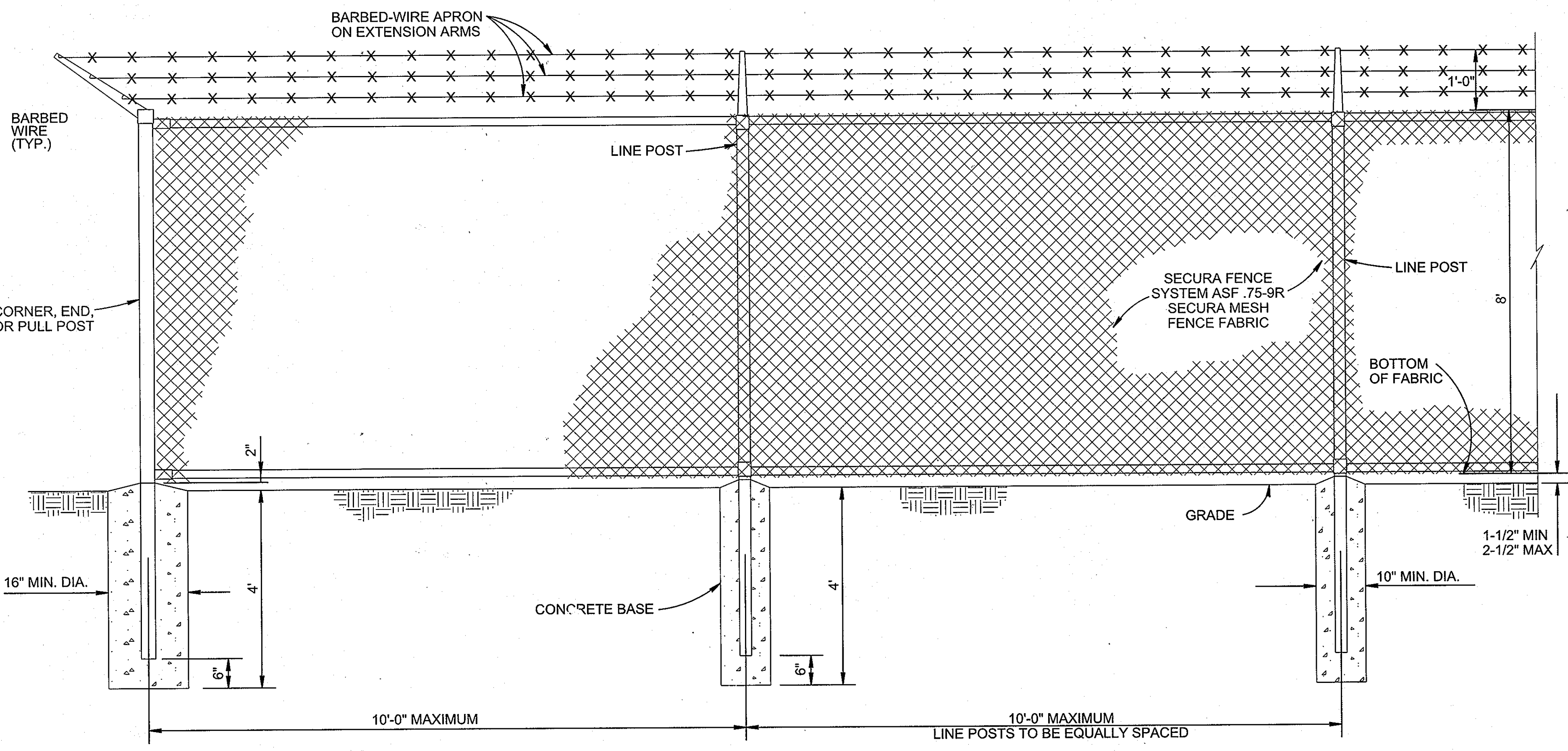
LINE AND TERMINAL POSTS

FABRIC HEIGHT	TYPE POST	"A" DIAM	"B" DEPTH	"C" POST EMBEDMENT
6'-0" TO 9'-0"	LINE	12"	38"	36"
	TERMINAL	12"	38"	36"

NOTE: TERMINAL POSTS INCLUDE END, CORNER, AND PULL POSTS
 10' CENTER OF POST TO CENTER OF POST (MAXIMUM)

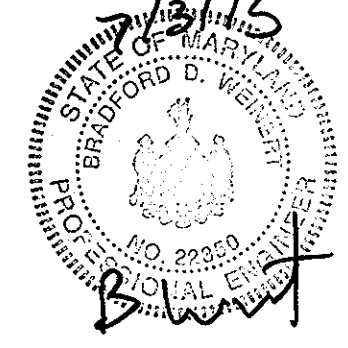


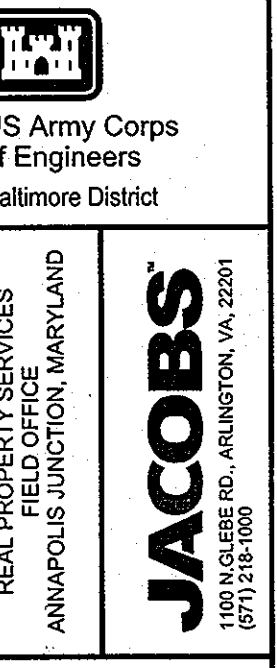
2 8' HIGH CHAIN LINK SECURITY FENCE
 SCALE: NONE



1 8' HIGH AMERISTAR MATRIX FENCE FRAME
 SCALE: NONE
 DETAIL IS BASE DESIGN. CONTRACTOR MAY USE EQUIVALENT PRODUCT THAT MEETS PROJECT REQUIREMENTS AND SPECIFICATIONS AND AS APPROVED BY THE COR.

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. 22350 EXPIRATION DATE: 05/22/2015





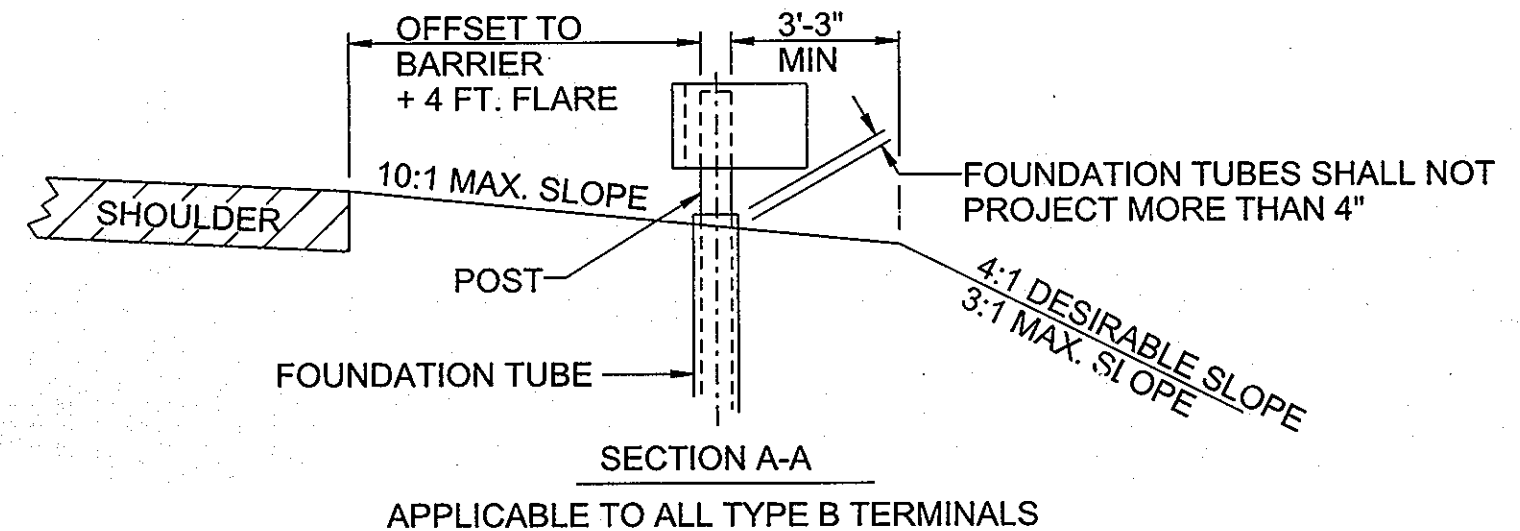
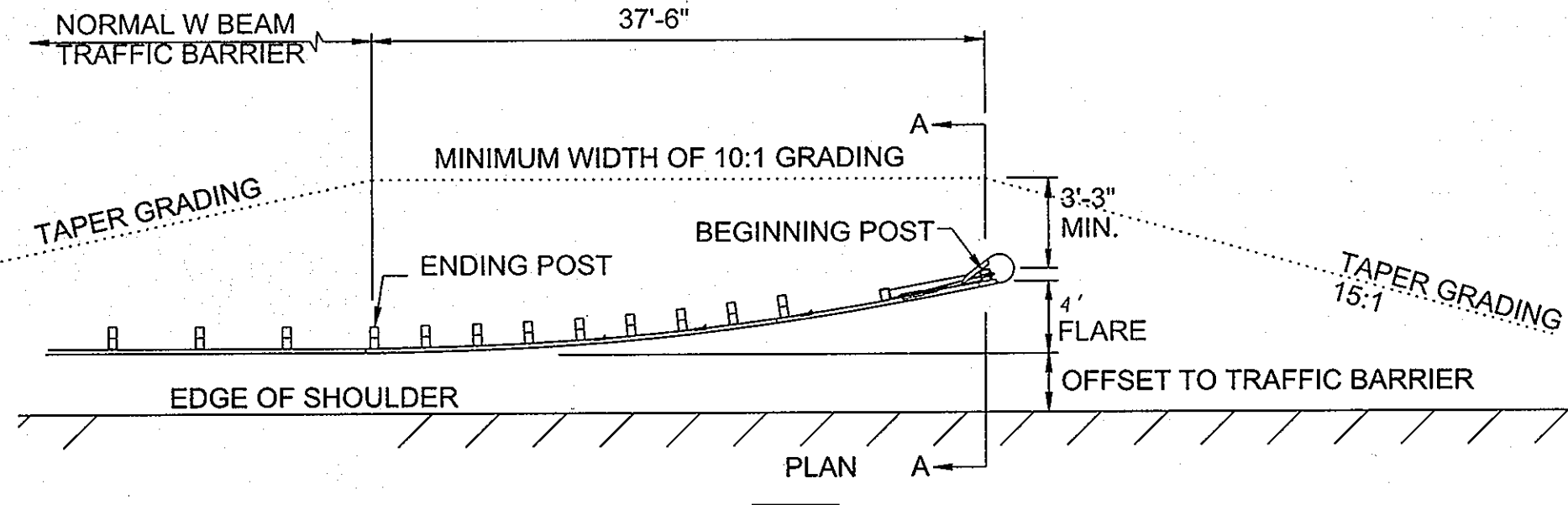
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Rev.	Date	Description
1	7/13	Revised (check) 7/13
2		
3		
4		
5		
6		
7		
8		
9		
10		

Designed by:	S. PARENT	Date:	JULY 16, 2013
Drawn by:	S. PARENT	Project No.:	27877
Submitted by:	NATHAN JAMES	File name:	
Project Manager:	CHARLES CANITZ	Postcode:	

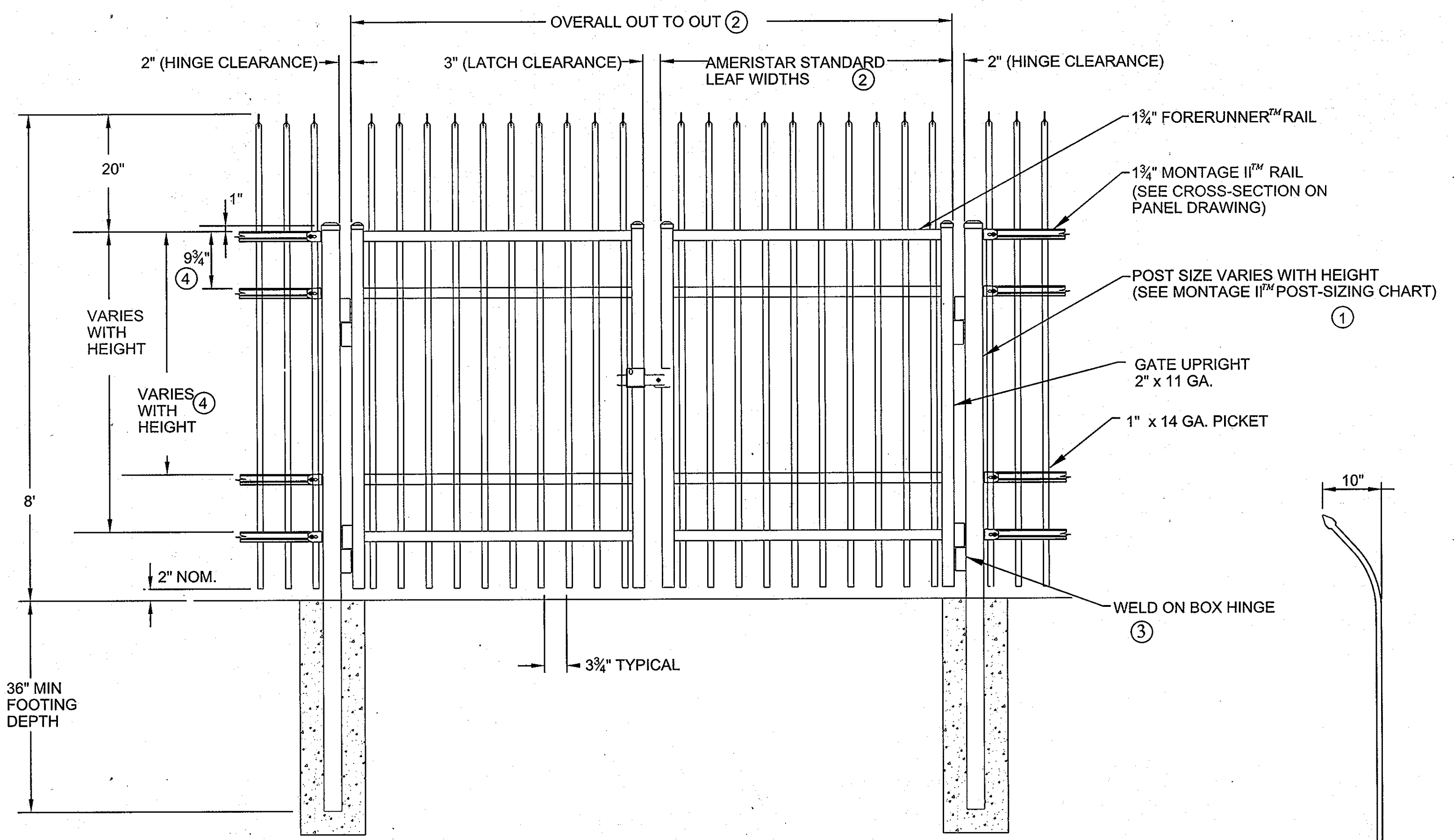
EMERSON - PERIMETER SECURITY AND SITE	LAUREL MD
SITE DETAILS	ROOM(S) OR FLOOR

Drawing No.	20 OF 20
Sheet Reference No.	20 OF 20
Sheet	of 45



- NOTES
- 6:1 MAX GRADING IS ALLOWABLE WHEN THE BARRIER IS LOCATED 12 FT. OR MORE FROM THE OUTSIDE EDGE OF SHOULDER.
 - END TREATMENT DELINEATION SHALL BE PLACED IN ACCORDANCE WITH STD. MD 605.02-01
 - 4' FLARE REQUIRED
 - TYPE B TERMINAL SHALL ONLY BE USED WHEN THE GRADING AS SHOWN AND THE REQUIRED LENGTH OF NEED IS PROVIDED.

2 TRAFFIC BARRIER
SCALE: NONE



- NOTES:
- POST SIZE DEPENDS ON FENCE HEIGHT, WEIGHT AND WIND LOADS. SEE MONTAGE II SPECIFICATIONS FOR POST SIZING CHART.
 - SEE AMERISTAR GATE TABLE FOR STANDARD OUT TO OUTS. CUSTOM GATE OPENINGS AVAILABLE FOR SPECIAL OUT TO OUT/LEAF WIDTHS.
 - ADDITIONAL STYLES OF GATE HARDWARE ARE AVAILABLE ON REQUEST. THIS COULD CHANGE THE LATCH AND HINGE CLEARANCE.
 - THIRD AND FOURTH RAIL OPTIONAL.

1 8' HIGH AMERISTAR MONTAGE II INVINCIBLE DOUBLE SWING GATE
SCALE: NONE

DETAIL IS BASE DESIGN. CONCRATOR MAY USE EQUIVALENT PRODUCT THAT MEETS PROJECT REQUIREMENTS AND SPECIFICATIONS AND AS APPROVED BY THE COR.

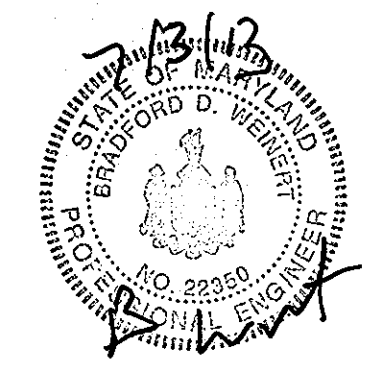
APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING	DATE	7/13
Chief, Division of Land Development	DATE	7/13
Chief, Development Engineering Division	DATE	7/13
Director	DATE	7/13

EMERSON PARCEL F-1
REVITZ PROPERTY
5-STORY COMMERCIAL OFFICE BUILDING
OWNER DEVELOPER:
EMERSON DEVELOPMENT VII LLC
1 TEXAS STATION COURT, SUITE 200
TIMONIUM, MARYLAND 21093-8288
(443) 689-8000

SUBDIVISION NAME	SECTION AREA	LOT PARCEL #
REVITZ PROPERTY		LOT F-1 / PAR. 165
21277 & 21278	20	PEC
WATER CODE	TAX ZONE	MARSHCT. DISTRICT
	47	6
	SEWER CODE	CENSUS TRACT
		6903

TITLE SITE DETAILS

Des. By	Scale 1"=50'	Proj. No.95054.10
Drn. By	Date 07-05-13	20 of 20
Chk. By	Approved	



PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 22350 EXPIRATION DATE: 05/22/2015.

UNCLASSIFIED//FOR OFFICIAL USE ONLY

PROFESSIONAL CERTIFICATION FOR REV #2
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 45292, EXPIRATION DATE: 05/21/2016.
 THE PURPOSE OF REVISION #2 IS TO SHOW THE WORK ASSOCIATED WITH THE EMERSON CAMPUS VCP, SDP-10-005



	COORDINATE ID	NORTHING	EASTING	FEET OFFSET FROM PROPERTY LINE
8' HIGH IMPASSE NON-RATED ORNAMENTAL FENCE	1	532233.7	1353530.0	9.3
	2	532207.6	1353557.9	7.5
	3	532254.3	1353623.0	32.3
	4	532253.0	1353648.8	37.7
	5	532232.6	1353672.5	35.5
	6	532150.6	1353660.4	37.6
	7	532074.1	1353729.9	25.6
8' HIGH CHAIN LINK FENCE WITH 1' DOUBLE OUTRIGGER	8	531998.0	1353749.7	30.5
	9	531857.1	1353847.0	43.8
	10	531845.2	1353912.5	39.6
	11	531802.7	1353938.5	45.9
	12	531778.8	1353989.5	44.9
	13	531751.5	1354006.8	68.9
	14	531747.9	1354009.1	69.3
8' HIGH IMPASSE K12 RATED ORNAMENTAL FENCE	15	531733.7	1354018.0	6.9
	16	531703.5	1354263.8	6.2
	17	531681.1	1354261.0	28.8
	18	531559.4	1354378.6	134.9
	19	531557.3	1354413.3	132.7
	20	531610.8	1354459.0	73.8
	21	531594.4	1354480.8	0.3
8' HIGH IMPASSE K12 RATED ORNAMENTAL FENCE	22	531612.3	1354683.4	44.4
	23	531600.0	1354722.0	51.8
	24	531686.8	1354994.2	6.0
	25	531678.9	1354996.7	14.2
	26	531689.1	1355028.8	14.2
	27	531696.4	1355051.5	14.2
	28	531704.0	1355075.4	14.2
	29	531625.6	1355097.0	14.4

	COORDINATE ID	NORTHING	EASTING	FEET OFFSET FROM PROPERTY LINE
8' HIGH CHAIN LINK FENCE WITH 1' DOUBLE OUTRIGGER	29	531625.6	1355097.0	14.4
	30	531487.3	1355058.4	2.5
	31	531466.2	1355003.9	2.5
	32	531375.2	1354908.7	2.5
	33	531266.0	1354845.0	0.0
	34	531075.5	1354783.8	0.0
	35	531065.8	1354780.1	0.0
8' HIGH IMPASSE NON-RATED ORNAMENTAL FENCE	36	531045.8	1354774.3	6.0
	37	531033.3	1354827.1	6.0
	38	530846.1	1354723.0	50.0
	39	530837.3	1354691.9	33.0
	40	530891.5	1354495.6	34.4
	41	530953.0	1354360.7	26.5
	42	530874.1	1354291.6	14.5
8' HIGH IMPASSE K12 RATED ORNAMENTAL FENCE	43	530959.6	1354206.6	13.4
	44	530900.0	1354263.2	12.8
	45	530886.4	1354277.9	10.0
	46	530854.5	1354274.0	7.5
	47	530802.1	1354227.0	20.0
	48	530771.7	1354223.7	12.3
	49	530720.0	1354255.0	2.0
8' HIGH CHAIN LINK FENCE WITH 1' DOUBLE OUTRIGGER	50	530615.3	1354318.4	2.0
	51	530308.5	1354367.5	2.0
	52	530158.1	1354404.4	4.7
	53	530119.6	1354450.4	13.0
	54	530090.6	1354444.4	31.4
	55	530001.4	1354372.7	40.2
	56	529952.2	1354311.7	29.6
8' HIGH IMPASSE NON-RATED ORNAMENTAL FENCE	57	529912.6	1354238.4	28.6
	58	529892.6	1354166.4	31.3
	59	529902.4	1354111.0	51.6
	60	529912.9	1354100.1	46.3
	61	529920.8	1354091.1	36.4
	62	530016.4	1353981.6	0.0
	63	530042.7	1353942.5	14.2
8' HIGH IMPASSE NON-RATED ORNAMENTAL FENCE	64	530141.4	1353828.3	2.2
	65	530275.8	1353737.0	1.9
	66	530286.0	1353726.9	4.4
	67	531094.8	1353977.6	3.7
	68	531089.6	1353984.8	0.0
	69	531092.0	1353988.4	0.0
	70	531164.5	1354095.9	0.9
8' HIGH CHAIN LINK FENCE WITH 1' DOUBLE OUTRIGGER	71	531443.9	1353905.8	0.9
	72	531440.2	1353802.7	0.0
	73	531508.5	1353124.3	0.0
	74	531518.5	1353126.4	10.2
	75	531540.6	1353131.8	7.0
	76	531605.3	1353145.4	6.4
	77	532012.6	1353378.9	5.7
8' HIGH IMPASSE NON-RATED ORNAMENTAL FENCE	78	532035.8	1353407.9	10.0
	79	532070.3	1353434.3	4.4
	80	532140.6	1353488.1	4.7
	81	532155.9	1353492.3	1.1
	82	532160.1	1353493.5	2.7
	83	532181.5	1353499.4	7.9
	84	532187.4	1353492.6	8.5

US Army Corps of Engineers
 Baltimore District
 REAL PROPERTY SERVICES
 ANNAPOLIS, MARYLAND
JACOBS
 1100 N. GLEBE RD., ARLINGTON, VA 22201

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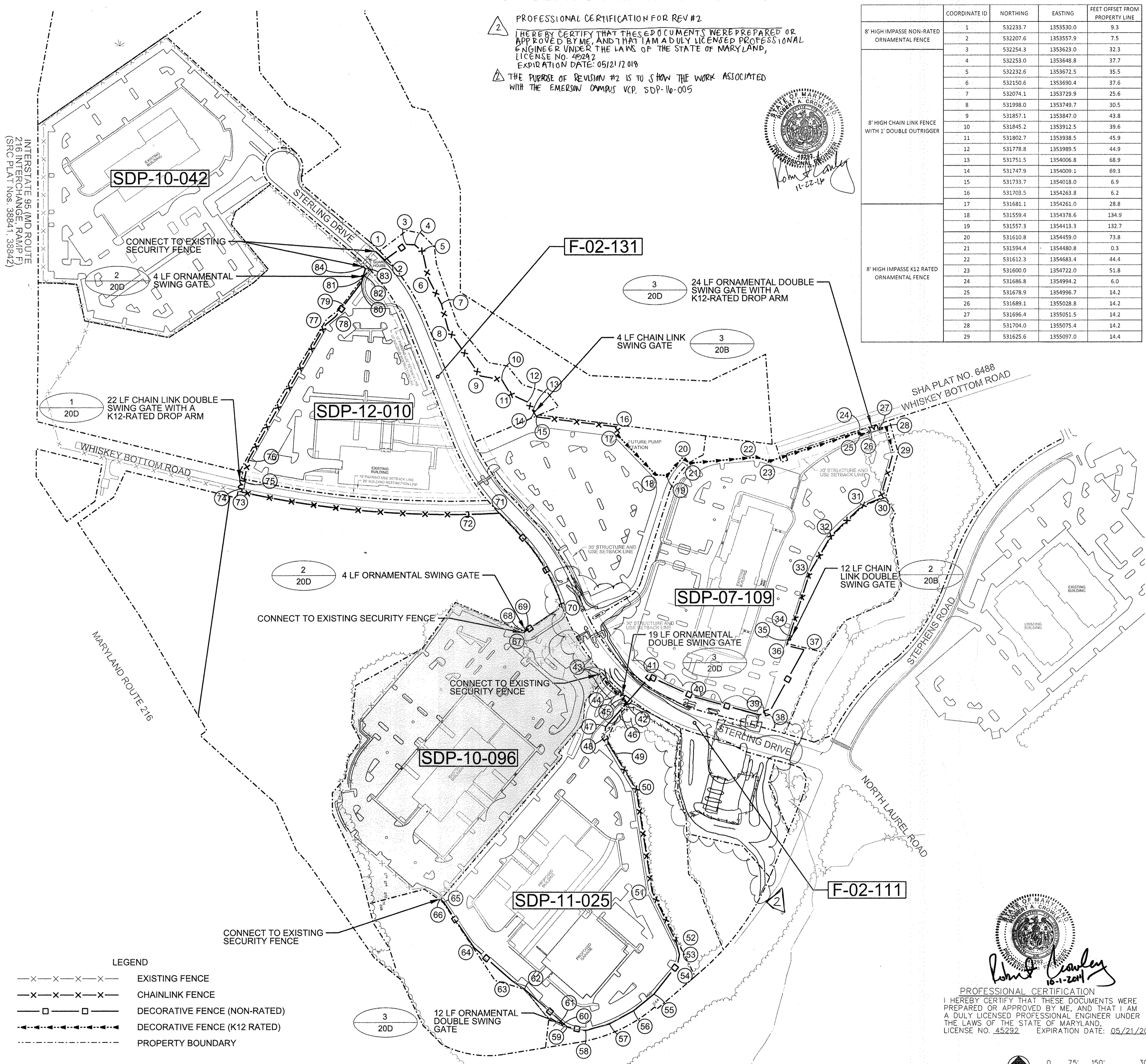
Date	Rev.	Description
10/15/14 <td>1 <td>NEW SHEET ADDED FOR REVISION</td> </td>	1 <td>NEW SHEET ADDED FOR REVISION</td>	NEW SHEET ADDED FOR REVISION

Date	Rev.	Description
SEPTEMBER 18, 2014	1	NEW SHEET ADDED FOR REVISION

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING
 Chief, Division of Land Development: *10/15/14*
 Chief, Development Engineering Division: *10-10-14*
 Director: *10/15/14*

EMERSON PARCEL F-1 REVITZ PROPERTY
 5-STORY COMMERCIAL OFFICE BUILDING
 OWNER DEVELOPER:
 EMERSON DEVELOPMENT VII LLC
 1 TEXAS STATION COURT, SUITE 200
 TIMONIUM, MARYLAND 21093-8288
 (443) 689-8000

Des. By	Scale 1"=150'	Proj. No. 95054.10
Drn. By	Date 09-12-14	20A
Chk. By	Approved	



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 45292, EXPIRATION DATE: 05/21/2016.



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UNCLASSIFIED//FOR OFFICIAL USE ONLY

EMERSON - CAMPUS FENCE
 FENCE LAYOUT PLAN
 ROOM(S) OR FLOOR: LAUREL, MD
 Drawing No. 20A
 Sheet of 006
 SDP-10-095

END & CORNER POST TOP OPTIONS

STANDARD	FLAT

GATE POST

GATE LEAF WIDTH	GATE POST (OD)	FABRIC HEIGHT	"A" DIAM	"B" DEPTH	"C" POST EMBED.
3' TO 6'	2.875"	3' TO 5'	12"	38"	36"
		6' TO 9'	14"	42"	40"
		10' TO 12'	16"	46"	44"
7' TO 12'	4.000"	3' TO 5'	14"	38"	36"
		6' TO 9'	16"	42"	40"
		10' TO 12'	18"	46"	44"

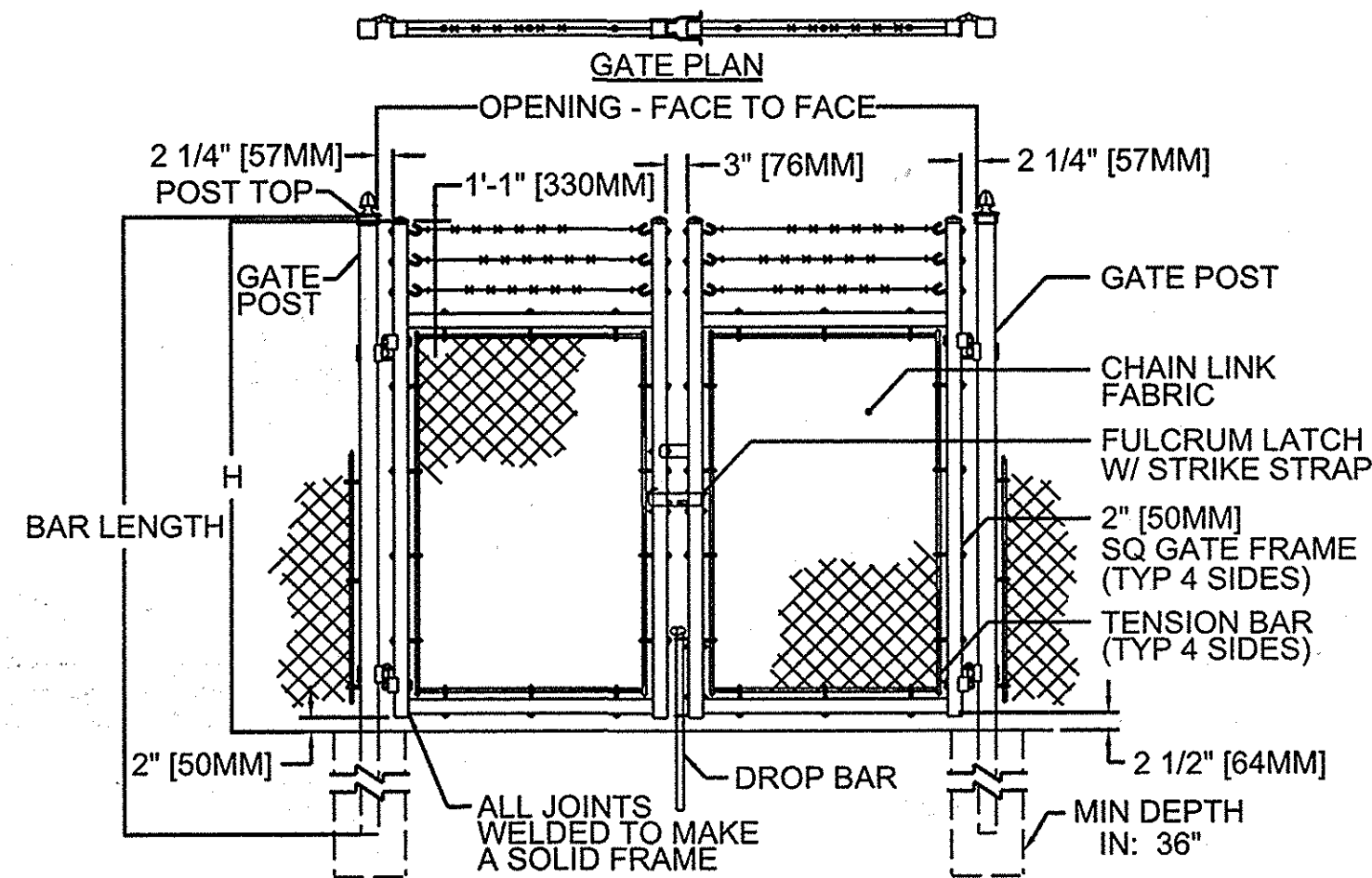
NOM HEIGHT (H)

8'-0" [2438MM]

OPENING (F/F)

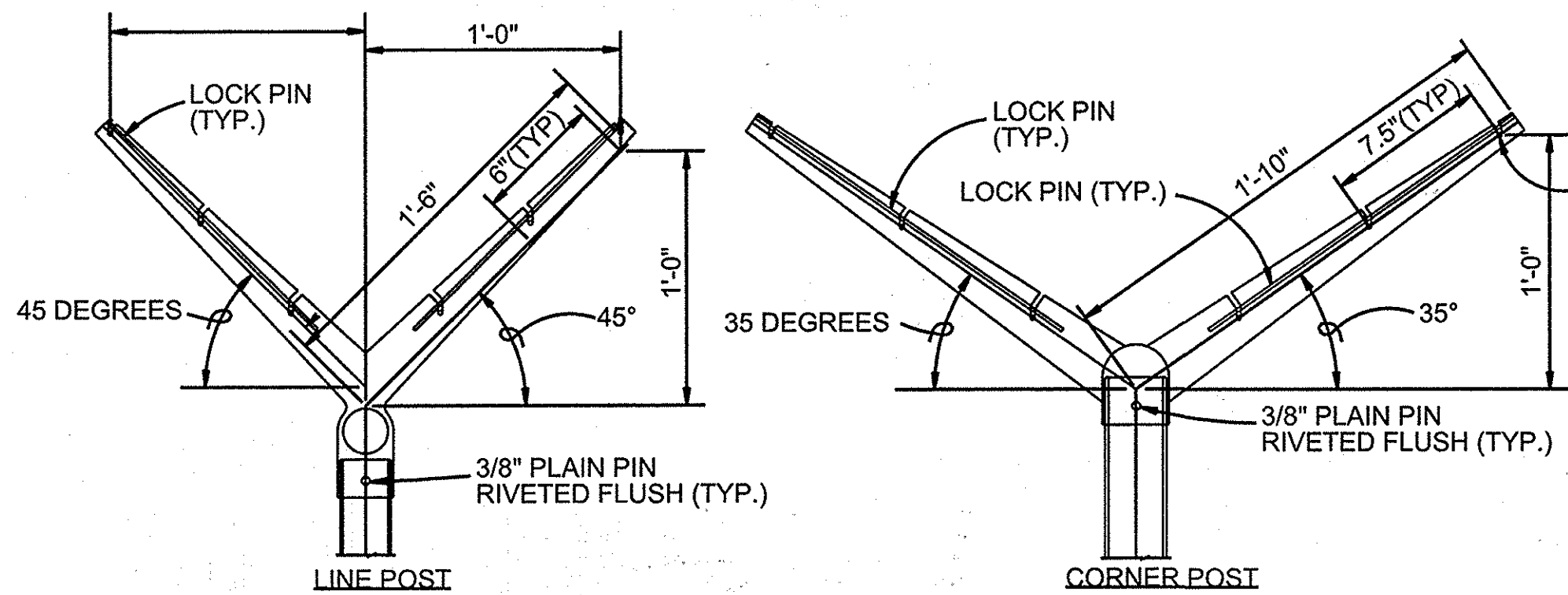
24' [7315MM]

- NOTES:
1. METRIC DIMENSIONS ARE NOMINAL EQUIVALENTS TO U.S. DIMENSIONS.
 2. SPECIFICATIONS SHOWN CAN BE CHANGED BY MASTER HALCO ONLY.
 3. FOOTING WIDTH TO BE (4)X POST WIDTH.
 4. GATES MAY BE MANUALLY OR ELECTRICALLY OPERATED. HARDWARE WILL VARY FOR ELECTRICALLY OPERATED GATES.

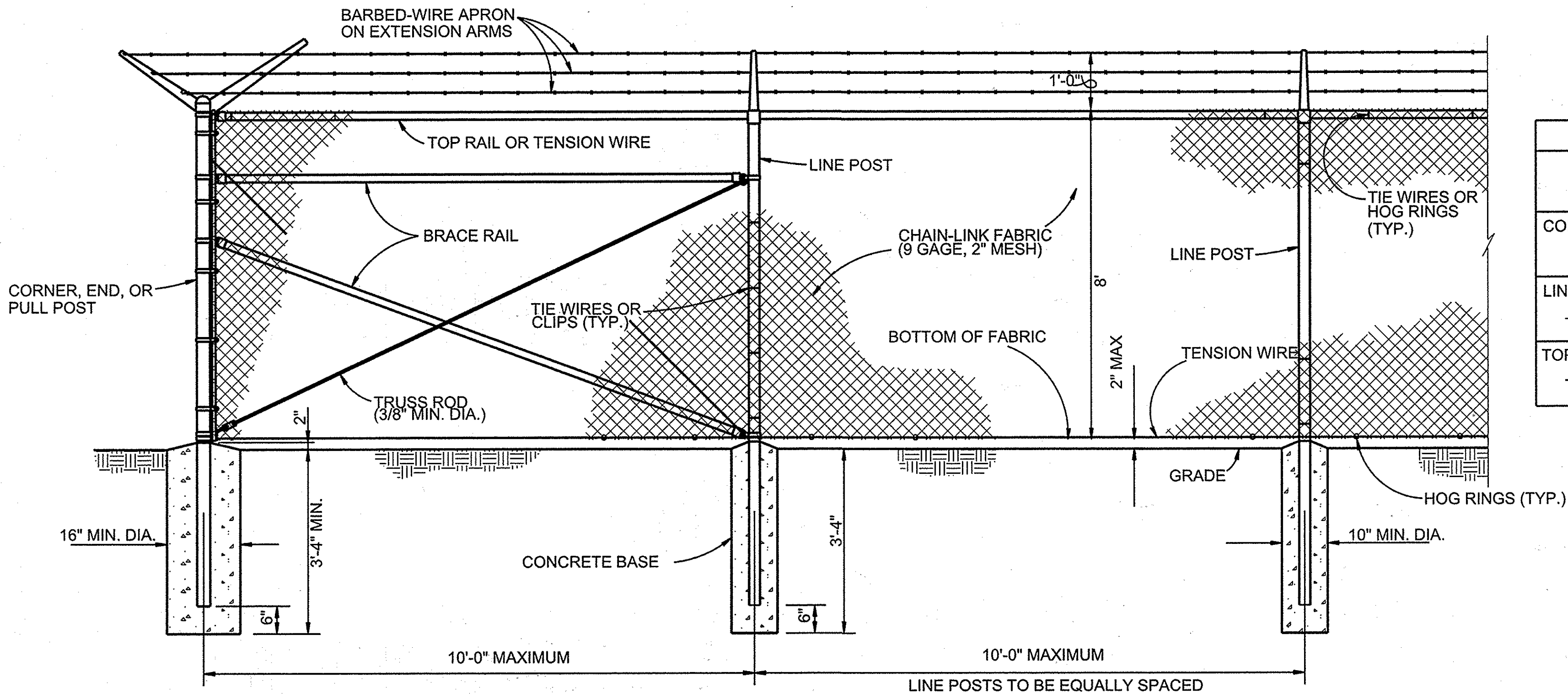


GATE ELEVATION

2 SINGLE-LEAF DOUBLE SWING GATE
SCALE: NONE



EXTENSION ARM DETAILS



1 CHAIN LINK SECURITY FENCE
SCALE: NONE

END & CORNER POST TOP OPTIONS

STANDARD	FLAT

GATE POST

GATE LEAF WIDTH	GATE POST (OD)	FABRIC HEIGHT	"A" DIAM	"B" DEPTH	"C" POST EMBED.
3' TO 6'	2.875"	3' TO 5'	12"	38"	36"
		6' TO 9'	14"	42"	40"
		10' TO 12'	16"	46"	44"

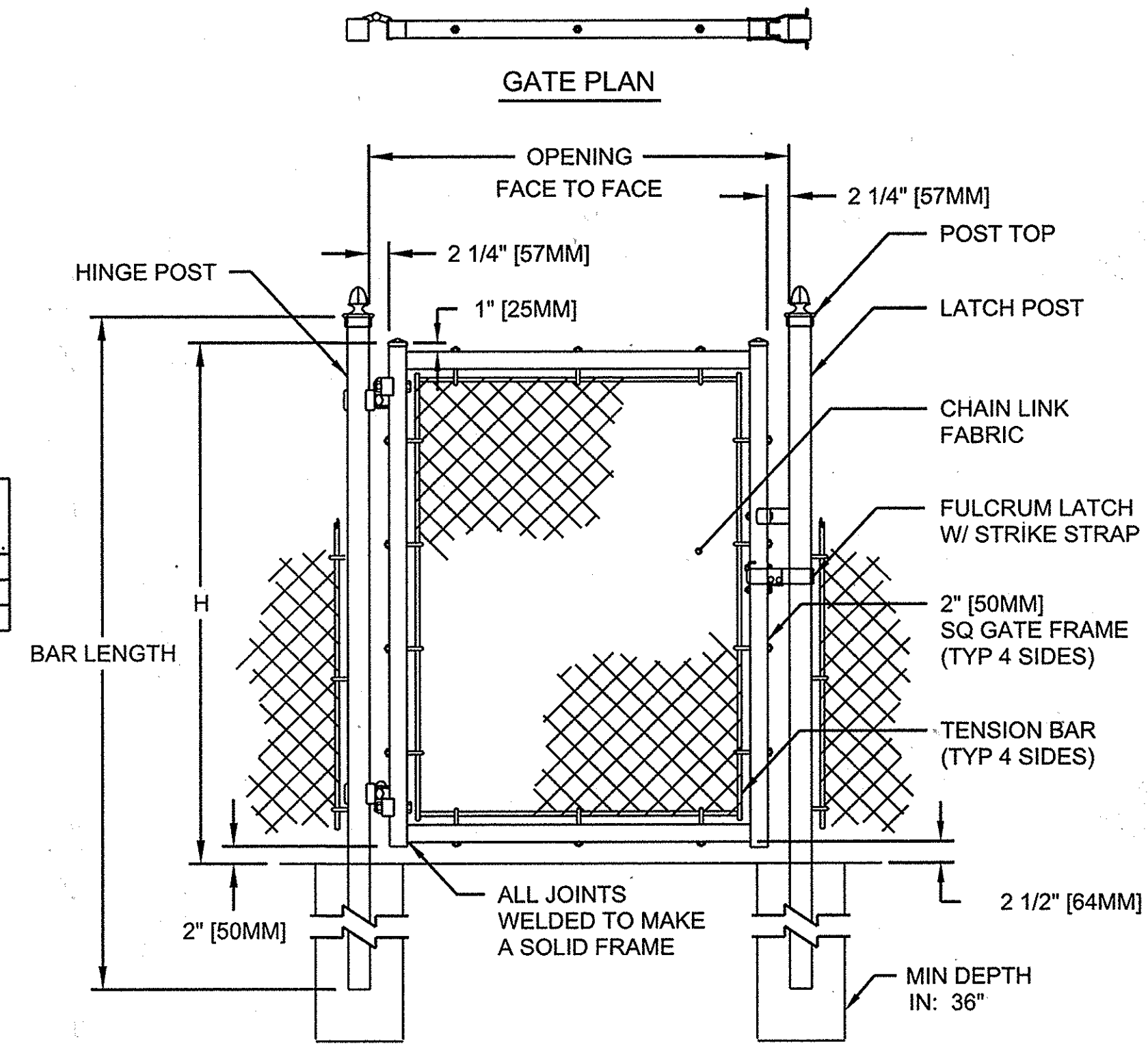
NOM HEIGHT (H)

8'-0" [2438MM]

OPENING (F/F)

4'-0" [1219MM]

- NOTES:
1. METRIC DIMENSIONS ARE NOMINAL EQUIVALENTS TO U.S. DIMENSIONS.
 2. SPECIFICATIONS SHOWN CAN BE CHANGED BY MASTER-HALCO ONLY.
 3. FOOTING WIDTH TO BE (4)X POST WIDTH.
 4. GATES MAY BE MANUALLY OR ELECTRICALLY OPERATED. HARDWARE WILL VARY FOR ELECTRICALLY OPERATED GATES.



GATE ELEVATION

3 SINGLE SWING GATE
SCALE: NONE

STEEL POST SCHEDULE

USE AND SECTION	MINIMUM OUTSIDE DIMENSIONS (NOMINAL)
	FABRIC WIDTH 84" TO 96"
CORNER, END & PULL POSTS	
TUBULAR - ROUND	2.875" O.D.
LINE POSTS	
TUBULAR - ROUND	2.375" O.D.
TOP, BOTTOM & BRACE RAILS	
TUBULAR - ROUND	1.66" O.D.

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING

DATE: SEPTEMBER 18, 2014	CHK BY: <i>R. CROWLEY</i>	DATE: 10/15/14
PROJECT NO: 31435	RSFO PROJECT MANAGER	DATE: 10/10/14
	DIR: <i>AMY YALE</i>	DATE: 10/15/14

EMERSON PARCEL F-1
REVITZ PROPERTY
5-STORY COMMERCIAL OFFICE BUILDING
OWNER DEVELOPER:
EMERSON DEVELOPMENT VII LLC
1 TEXAS STATION COURT, SUITE 200
TIMONIUM, MARYLAND 21093-8288
(443) 689-8000

REVITZ PROPERTY	SECTION AREA	LOT PARCEL #
PLAT/ OR L F BLOCK/ZONE	TAX ZONE MAR/ECT. DISTRICT	LOT F-1 / PAR. 165
WATER CODE 20	SEWER CODE 6	CENSUS TRACT 6903

TITLE FENCE LAYOUT PLAN

Des. By	Scale 1"=150'	Proj. No.95054.10
Drn. By	Date 09-12-14	20B
Chk. By	Approved	

US Army Corps of Engineers
Baltimore District

REAL PROPERTY SERVICES
ANNAPOLIS JUNCTION, MARYLAND

JACOBS
1100 N. GLEBE RD., ARLINGTON, VA, 22201

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Rev.	Date	Desc.
1	10/10/14	NEW SHEET ADDED FOR REDLINE REVISION #2

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 45292 EXPIRATION DATE: 05/21/2016.

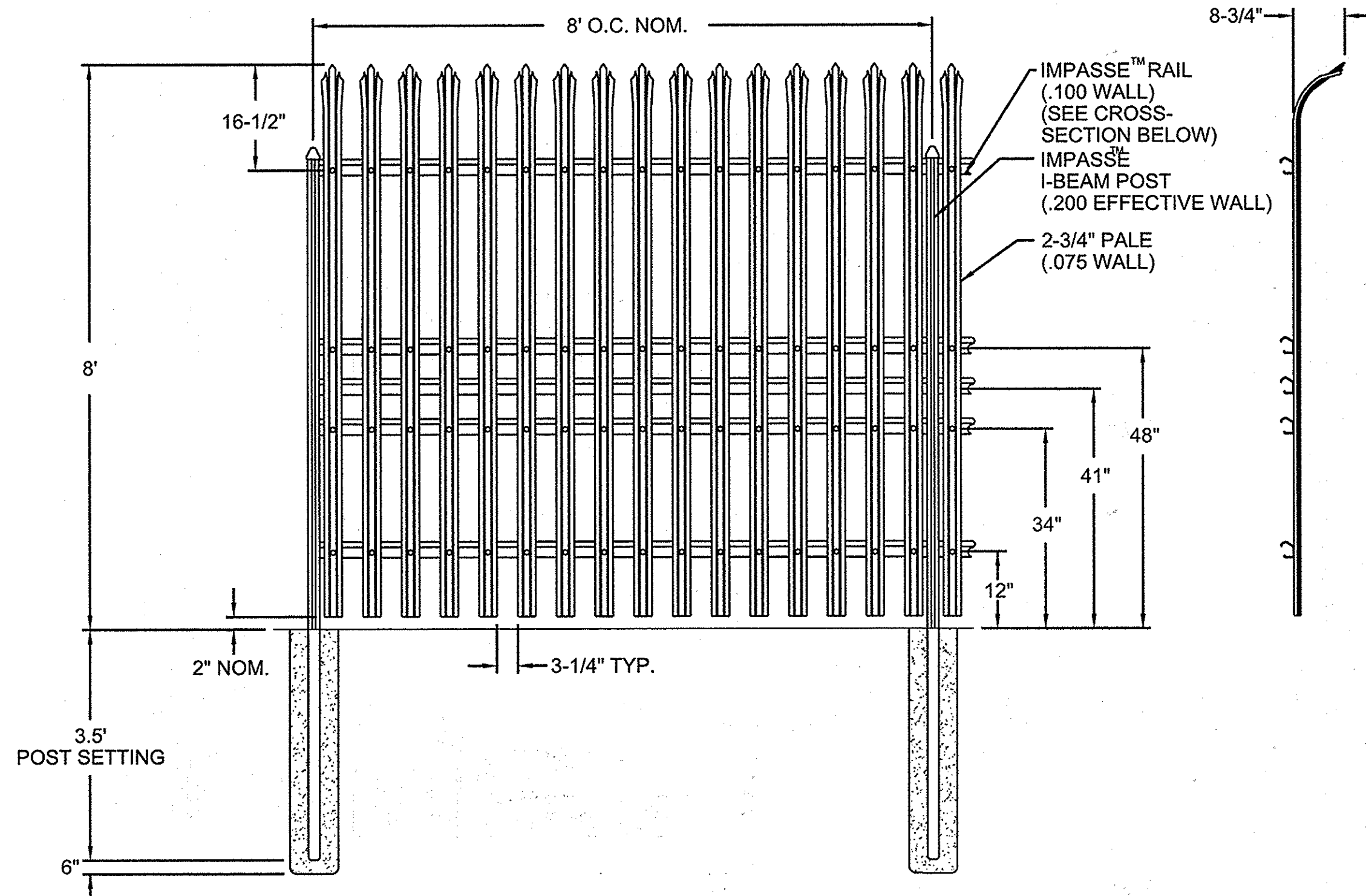
Robert Crowley
10-1-2014

DATE: SEPTEMBER 18, 2014	CHK BY: R. CROWLEY	DATE: 10/15/14
PROJECT NO: 31435	RSFO PROJECT MANAGER	DATE: 10/10/14
	DIR: AMY YALE	DATE: 10/15/14

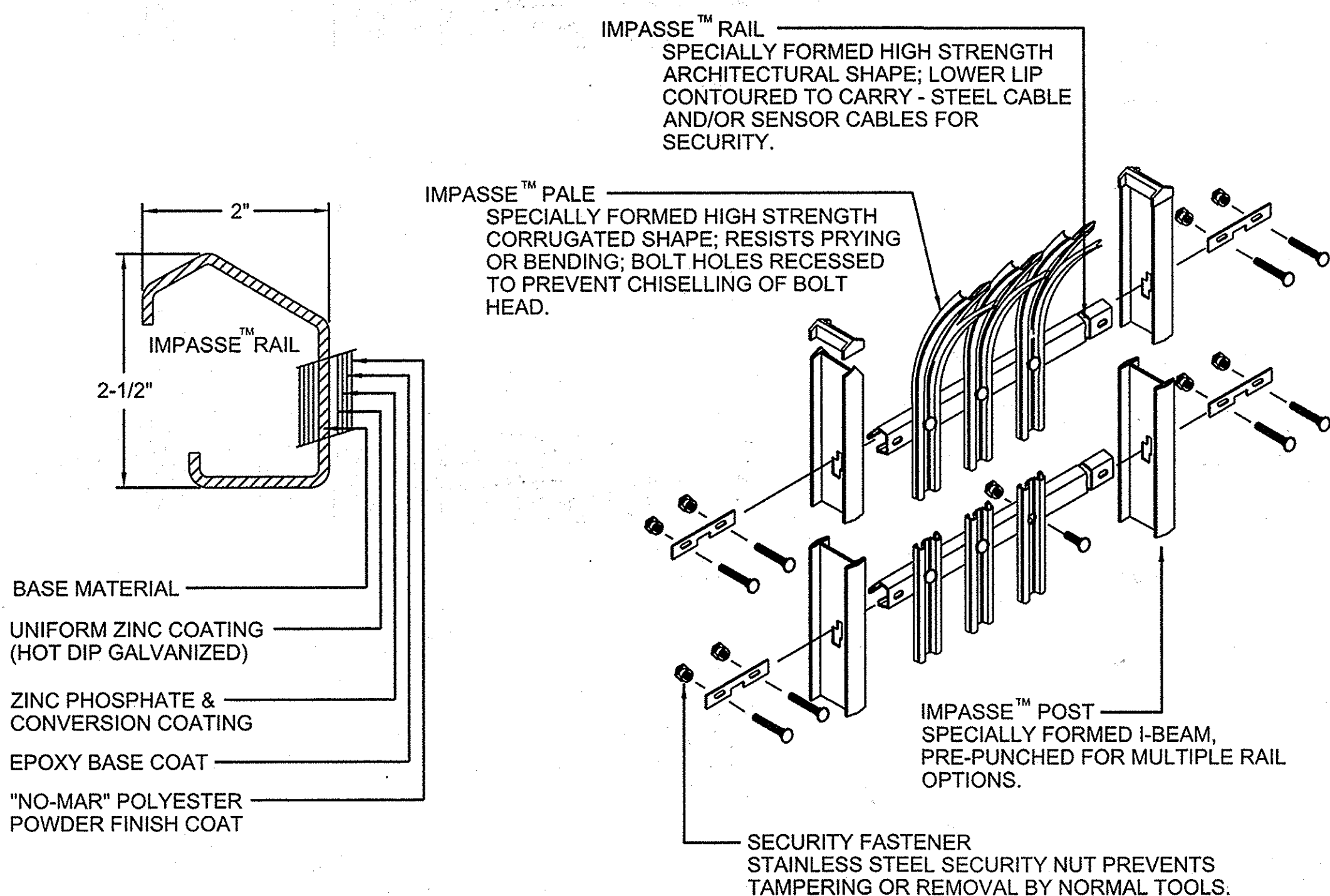
EMERSON - CAMPUS FENCE
SITE DETAILS
ROOM(S) OR FLOOR
LAUREL, MD

Drawing No.
Sheet Reference No.
20B
Sheet of 006

SDP-10-096

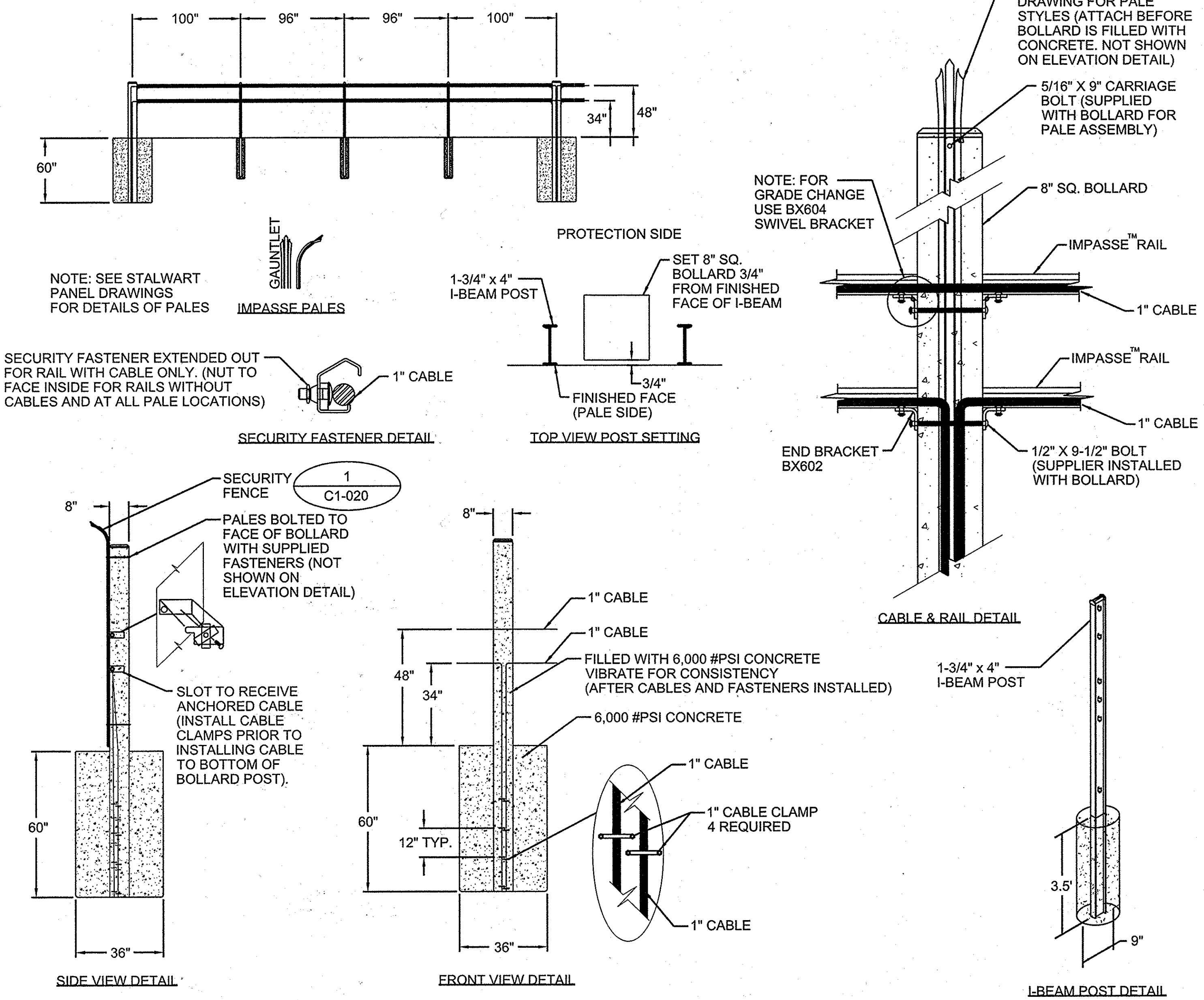


NOTES:
 1. SEE DETAIL 2 ON THIS SHEET FOR K-12 ANTI-RAM CABLED STEEL BARRIER INSTALLATION FOR PORTIONS OF FENCE TO BE K-12 RATED. SEE SITE LAYOUT PLAN FOR SECTION OF FENCE THAT IS TO BE K-12 RATED.
 2. IDS SYSTEM IS TO BE ATTACHED TO FENCE PICKETTS EVERY 8'. REPLACE CURVED PICKETTS WITH STRAIGHT PICKETTS AT LOCATIONS FOR IDS CONNECTIONS. FENCE HALF POSTS CAN BE USED FOR IDS CONNECTIONS. STRAIGHT PICKETTS ARE TO BE SAME HEIGHT AS CURVED PICKETTS.



1 AMERISTAR 8' HIGH IMPASSE GAUNTLET HIGH SECURITY STEEL FENCE

SCALE: NONE
 DETAIL IS BASE DESIGN. CONTRACTOR MAY USE EQUIVALENT PRODUCT THAT MEETS PROJECT REQUIREMENTS AND SPECIFICATIONS AND AS APPROVED BY THE COR.



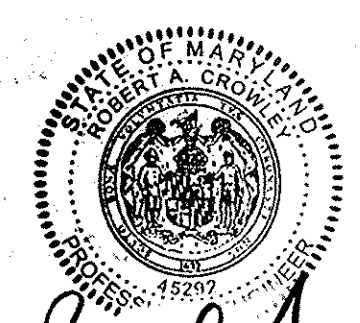
2 STALLWART M40 (K12) ANTI-RAM CABLED STEEL BARRIER

SCALE: NONE
 DETAIL IS BASE DESIGN. CONTRACTOR MAY USE EQUIVALENT PRODUCT THAT MEETS PROJECT REQUIREMENTS AND SPECIFICATIONS AND AS APPROVED BY THE COR.

APPROVED: HOWARD COUNTY DEPT. OF PLANNING AND ZONING

DATE: SEPTEMBER 18, 2014	PROJECT NO: 31435	FILE NAME: AS SHOWN
CHK BY: R. GROWLEY	DATE: 10/15/14	
CHK BY: R. GROWLEY	DATE: 10-10-14	
DIR: NATHAN JAMES	DATE: 10/10/14	

EMERSON PARCEL F-1
REVITZ PROPERTY
 5-STORY COMMERCIAL OFFICE BUILDING
 OWNER DEVELOPER:
 EMERSON DEVELOPMENT VII LLC
 1 TEXAS STATION COURT, SUITE 200
 TIMONIUM, MARYLAND 21093-8288
 (443) 689-8000



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REVITZ PROPERTY	SECTION AREA	LOT PARCEL #
PLAT 20 IPEC	TAX ZONE MAP/ELECT. DISTRICT 47	LOT F-1 / PAR. 165
WATER CODE 20	SEWER CODE	CENSUS TRACT 6903
TITLE: FENCE LAYOUT PLAN		
Des. By	Scale 1"=150'	Proj. No. 95054.10
Drn. By	Date 09-12-14	20C
Chk. By	Approved	

US Army Corps of Engineers
 Baltimore District

REAL PROPERTY SERVICES
 ANNAPOLIS JUNCTION, MARYLAND

JACOBS
 1100 N. GLEBE RD., ARLINGTON, VA 22201

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Rev.	Date	Description
1	10/10/14	NEW SHEET ADDED FOR REDLINE REVISION #2

DATE: SEPTEMBER 18, 2014
 PROJECT NO: 31435
 FILE NAME: AS SHOWN

CHK BY: R. GROWLEY
 DATE: 10/15/14

CHK BY: R. GROWLEY
 DATE: 10-10-14

DIR: NATHAN JAMES
 DATE: 10/10/14

EMERSON - CAMPUS FENCE
 SITE DETAILS
 ROOM(S) OR FLOOR
 LAUREL, MD

Drawing No.
 Sheet Reference No.
20C
 Sheet of 008



US Army Corps of Engineers
Baltimore District

REAL PROPERTY SERVICES
ANNAPOLIS JUNCTION, MARYLAND
JACOBS
1100 N. GLEBE RD., ARLINGTON, VA 22201

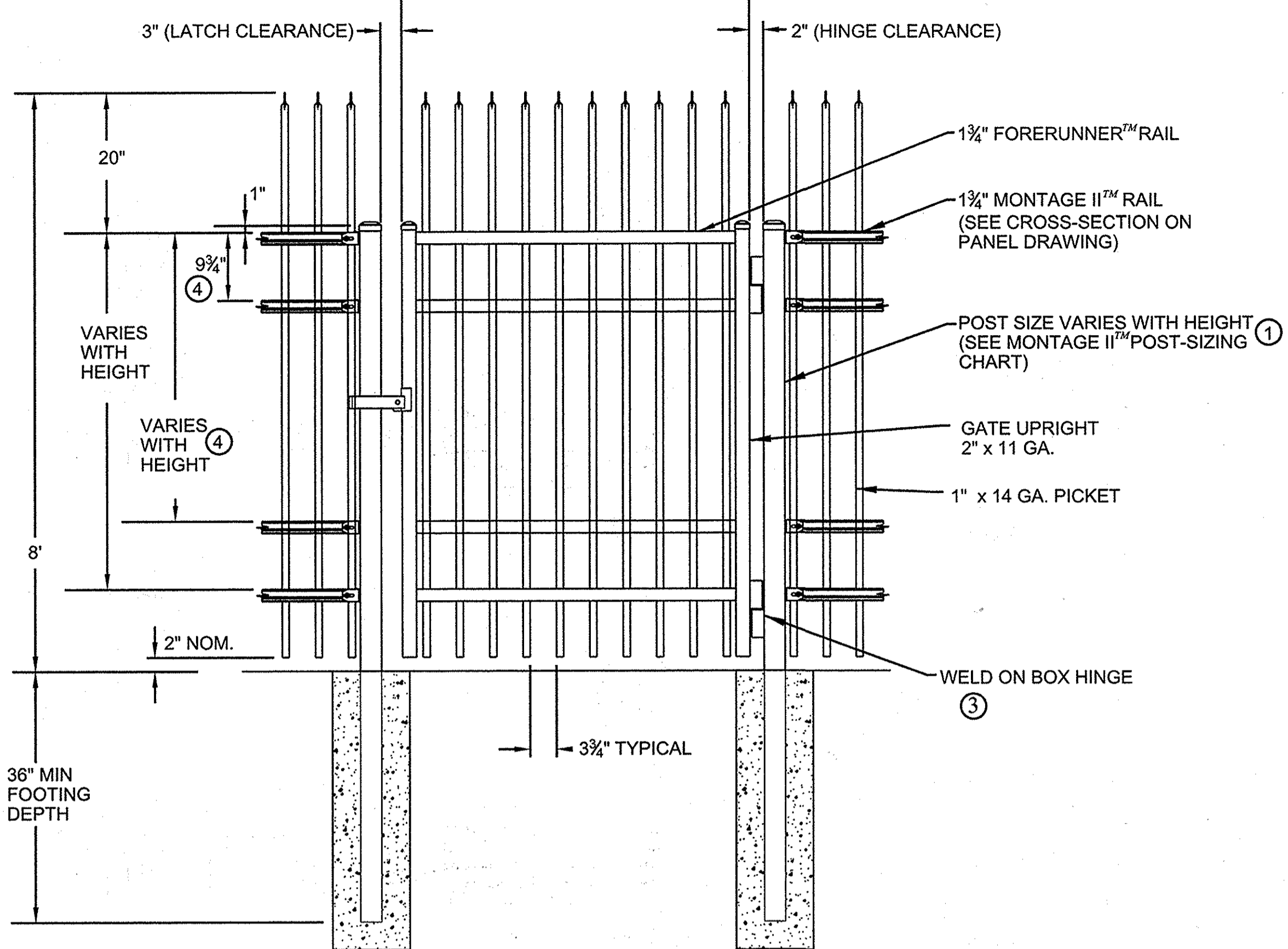
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Rev.	Date	Description
1	10/20/14	NEW SHEET ADDED FOR REVISION #2

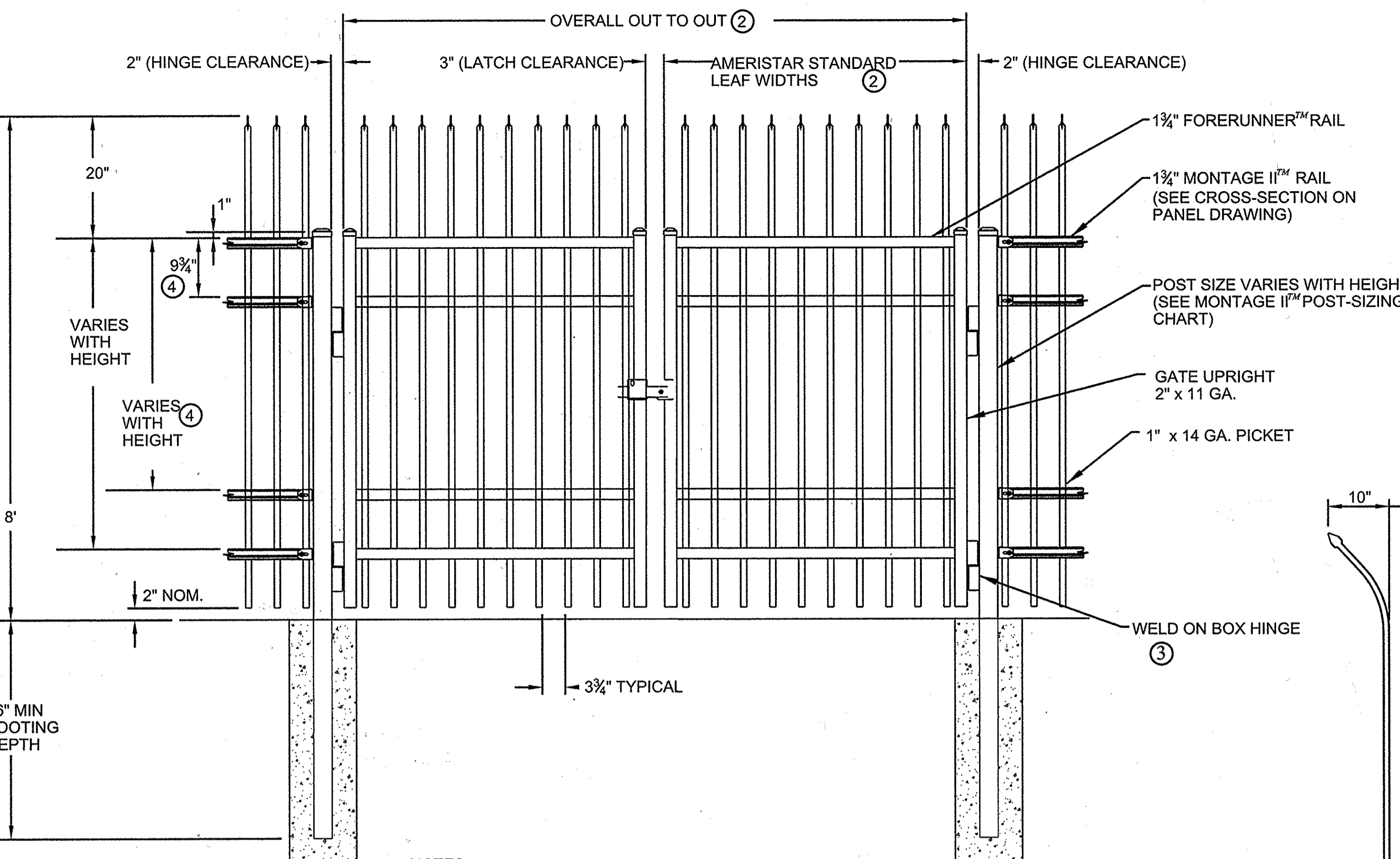
Date:	SEPTEMBER 18, 2014
Project No.:	31435
Drawn by:	M. WERBER
RSFO Project Manager:	AMY YALE
Submitted by:	NATHAN JAMES
Project Manager:	AS SHOWN

Date	No.	Revision Description

Des. By	Scale 1"=150'	Proj. No. 95054.10
Drn. By	Date 09-12-14	20D
Chk. By	Approved	



- NOTES:
- 1.) POST SIZE DEPENDS ON FENCE HEIGHT, WEIGHT AND WIND LOADS. SEE MONTAGE II SPECIFICATIONS FOR POST SIZING CHART.
 - 2.) SEE AMERISTAR GATE TABLE FOR STANDARD OUT TO OUTS. CUSTOM GATE OPENINGS AVAILABLE FOR SPECIAL OUT TO OUT/LEAF WIDTHS.
 - 3.) ADDITIONAL STYLES OF GATE HARDWARE ARE AVAILABLE ON REQUEST THIS COULD CHANGE THE LATCH & HINGE CLEARANCE.
 - 4.) THIRD & FORTH RAIL OPTIONAL.



- NOTES:
- 1.) POST SIZE DEPENDS ON FENCE HEIGHT, WEIGHT AND WIND LOADS. SEE MONTAGE II SPECIFICATIONS FOR POST SIZING CHART.
 - 2.) SEE AMERISTAR GATE TABLE FOR STANDARD OUT TO OUTS. CUSTOM GATE OPENINGS AVAILABLE FOR SPECIAL OUT TO OUT/LEAF WIDTHS.
 - 3.) ADDITIONAL STYLES OF GATE HARDWARE ARE AVAILABLE ON REQUEST. THIS COULD CHANGE THE LATCH AND HINGE CLEARANCE.
 - 4.) THIRD AND FOURTH RAIL OPTIONAL.
 - 5.) CONTRACTOR SHALL SAND DOWN END OF SCREWS ON HASPS AS NEEDED TO WELD HASP TO GATE.

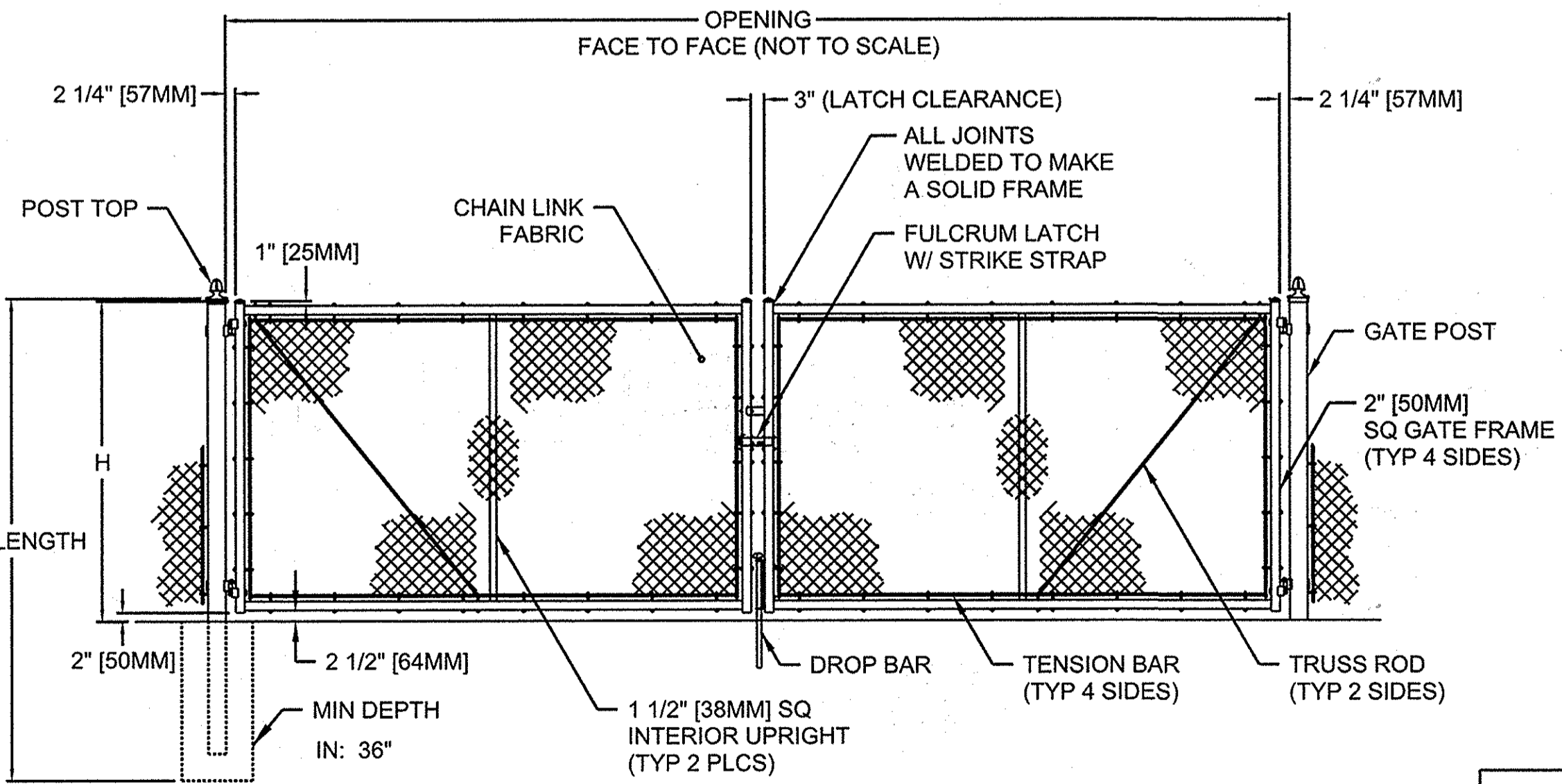
2 AMERISTAR MONTAGE II ORNAMENTAL INVINCIBLE SINGLE SWING GATE

SCALE: NONE
DETAIL IS BASE DESIGN. CONCRATOR MAY USE EQUIVALENT PRODUCT THAT MEETS PROJECT REQUIREMENTS AND SPECIFICATIONS AND AS APPROVED BY THE COR.



3 AMERISTAR MONTAGE II ORNAMENTAL INVINCIBLE DOUBLE SWING GATE

SCALE: NONE
DETAIL IS BASE DESIGN. CONCRATOR MAY USE EQUIVALENT PRODUCT THAT MEETS PROJECT REQUIREMENTS AND SPECIFICATIONS AND AS APPROVED BY THE COR.



NOM HEIGHT (H)
8'-0" [2438MM]

BAYS	OPENING (F/F)
4	20'-0" [6096MM]
4	22'-0" [6706MM]
4	24'-0" [7315MM]

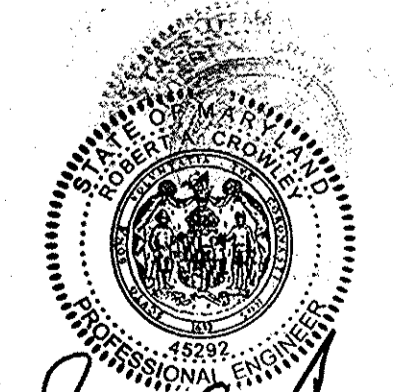
END & CORNER POST TOP OPTIONS	
STANDARD	FLAT

OPENING	GATE POST (OD)	FABRIC HEIGHT	"A" DIAM	"B" DEPTH	"C" POST EMBED.
14' TO 24'	4"	3' TO 5'	12"	38"	36"
		6' TO 9'	14"	42"	40"
		10' TO 12'	16"	46"	44"

- NOTES:
1. METRIC DIMENSIONS ARE NOMINAL EQUIVALENTS TO U.S. DIMENSIONS.
 2. SPECIFICATIONS SHOWN CAN BE CHANGED BY MASTER-HALCO ONLY.
 3. FOOTING WIDTH TO BE (4)X POST WIDTH.
 4. GATES MAY BE MANUALLY OR ELECTRICALLY OPERATED. HARDWARE WILL VARY FOR ELECTRICALLY OPERATED GATES.

1 DOUBLE-LEAF DOUBLE SWING GATE

SCALE: NONE



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5-STORY COMMERCIAL OFFICE BUILDING
OWNER DEVELOPER:
EMERSON DEVELOPMENT VII LLC
1 TEXAS STATION COURT, SUITE 200
TIMONIUM, MARYLAND 21093-8288
(443) 689-8000

REVITZ PROPERTY	SECTION AREA	LOT PARCEL #
PLAT OFF. F. BLOCK/ZONE	TAX ZONE	LOT F-1 / PAR. 165
20 / PEC	47	6
WATER CODE	SEWER CODE	CENSUS TRACT
		6903

TITLE: **FENCE LAYOUT PLAN**