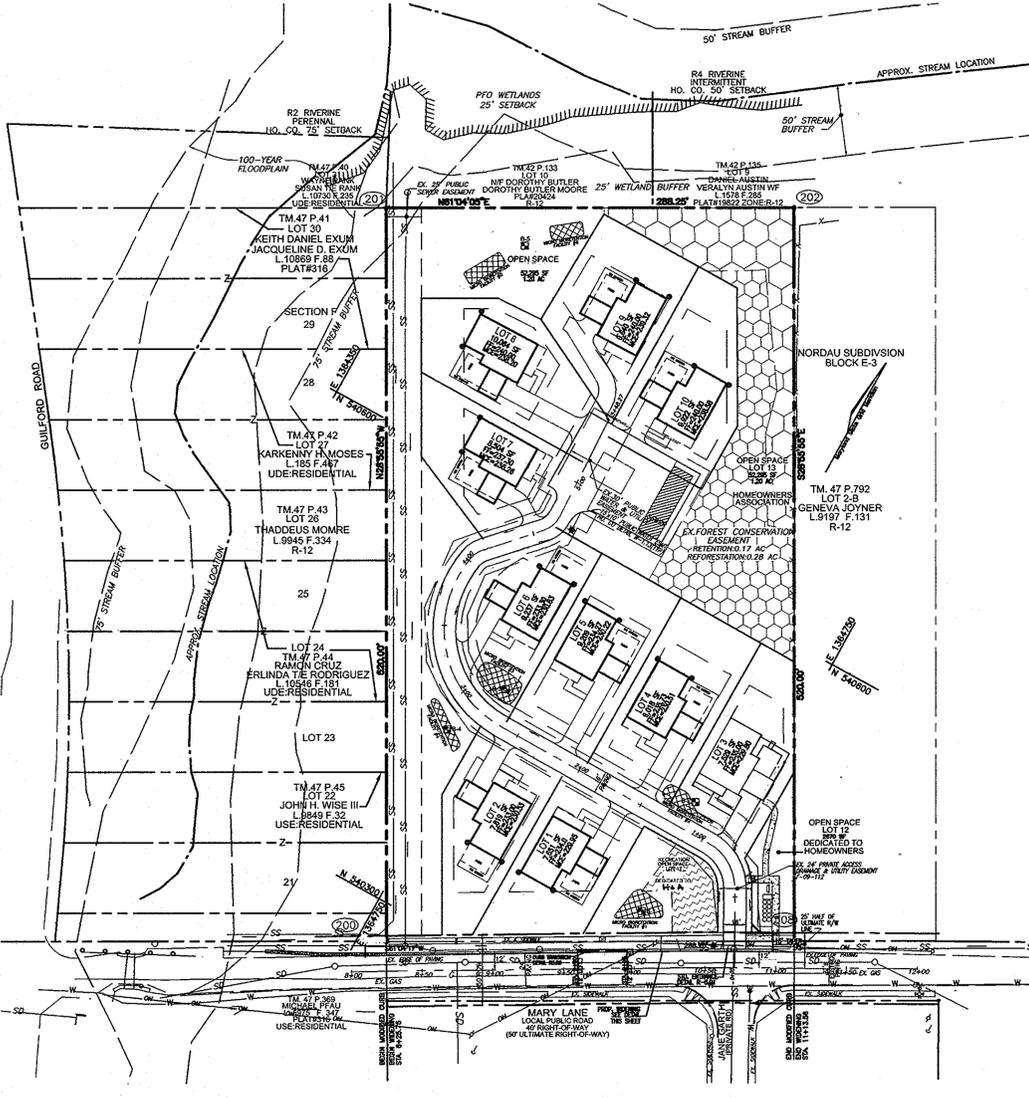


GENERAL NOTES

- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS:
 MISS UTILITY: 1-800-257-7777
 VERIZON TELEPHONE COMPANY: 1-800-743-0033
 HOWARD COUNTY BUREAU OF UTILITIES: 410-313-4900
 AT&T CABLE LOCATION DIVISION: 1-800-252-1133
 B.G. & E. CO. CONTRACTOR SERVICES: 410-637-8713
 B.G. & E. CO. UNDERGROUND DAMAGE CONTROL: 410-685-0123
 STATE HIGHWAY ADMINISTRATION: 410-531-5533
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
- ANY DAMAGE TO THE COUNTY'S RIGHTS-OF-WAY, PAVING, OR EXISTING UTILITIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS. PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT FRONT OR REAR YARD SETBACK.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 A) WIDTH - 12 FEET (16 FEET IF SERVING MORE THAN ONE RESIDENCE)
 B) SURFACE - 7 INCHES OF PERMEABLE CONCRETE WITH 12 INCHES ASTM C-33 3/4" TO 2" STONE SUB-BASE
 C) GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE, AND MINIMUM 45 FOOT TURNING RADIUS
 D) STRUCTURES (CULVERTS/BRIDGES) - MUST SUPPORT 25 GROSS TON LOADING (H2S LOADING)
 E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD EVENTS WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE
 F) STRUCTURE CLEARANCES - MINIMUM 12 FEET
 G) MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE
- DEED REFERENCE: L5125/F.672
- THE PROJECT BOUNDARY AND TOPOGRAPHY IS TAKEN FROM FIELD SURVEY WITH TWO FOOT CONTOUR INTERVALS PREPARED BY CLARK, FINEPROCK, & SACKET, AUGUST 2002 OF PARCEL 46 AND 815.
- MARY LANE IS A LOCAL PUBLIC ROAD.
- DPZ REFERENCE: P-07-15, S-03-011, WP-10-059, F-09-112.
- STORM WATER MANAGEMENT (OPV, REV AND WOV) HAS BEEN PROVIDED FOR THIS DEVELOPMENT BY ENVIRONMENTAL SITE DESIGN UTILIZING 6 MICRO-BURSTRETMENT, RAIN BARRELS FOR ROOF DOWNSPOUTS, PERVIOUS PAVEMENT FOR DRIVEWAYS AND SIDEWALKS, AND GREEN ROOFS FOR CARPORTS. THESE MEASURES TO BE MAINTAINED BY THE HOA, APPROVED UNDER F-09-112.
- THE OFFSITE 100-YR FLOODPLAIN INDICATED IS TAKEN FROM HOWARD COUNTY FEMA PANELS #240044-0039 AND #240044-0043. THERE ARE NO FLOODPLAINS ON THIS SITE.
- FOREST STAND DELINEATION PLAN AND WETLAND REPORT PREPARED BY ENVIRONMENTAL SYSTEMS ANALYSIS, DATED DECEMBER, 2002. THERE ARE NO WETLANDS ON THIS SITE.
- THE FOREST CONSERVATION REQUIREMENTS PER SECTION 16.200 OF THE HOWARD COUNTY CODE, FOREST CONSERVATION ACT FOR THIS SUBDIVISION HAVE BEEN FULFILLED BY 0.17 AC. OF RETENTION AND 0.28 AC. OF REFORESTATION PROVIDED ON-SITE. SURETY IN THE AMOUNT OF \$7,579.44 HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT UNDER F-09-112. THE REMAINING 0.89 AC. TO BE PROVIDED BY AN OFF-SITE FOREST EASEMENT. (NORDAU) SUBDIVISION, LOTS 8 & 9.
- APPO TRAFFIC STUDY PREPARED BY STREET TRAFFIC STUDIES, LTD., DATED DECEMBER, 2002 AND APPROVED BY SKETCH PLAN 4/28/03.
- TO THE BEST OF THE OWNERS KNOWLEDGE, THERE ARE NO BURIAL/CEMETERY LOCATIONS ON SITE.
- NOISE STUDY IS NOT REQUIRED BASED ON DESIGN MANUAL, SECTION 5.2.F GUIDELINES.
- THE SUBJECT PROPERTY IS ZONED "R-12" IN ACCORDANCE WITH THE 2/2/04 COMPREHENSIVE ZONING PLAN AND THE COMP. LITE ZONING REGULATIONS EFFECTIVE ON 7/28/06, AND IS SUBJECT TO THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS EFFECTIVE 10/2/03 PER COUNCIL BILL 75-2003.
- ALL SIGN POST USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL PERFORATED, SQUARE TUBE POST (1 1/2" GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL PERFORATED SQUARE SLEEVE (12 GAUGE-3" LONG. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
- THE FINAL PAVING SECTION TO BE CONFIRMED BY HOWARD COUNTY CONSTRUCTION INSPECTION DESIGN.
- SHC ELEVATIONS ARE LOCATED AT THE PROPERTY LINE.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 0080 AND 421A WERE USED FOR THIS PROJECT.
- FOR DRIVEWAY ENTRANCE DETAILS REFER TO THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, STANDARD DETAIL R-6.06.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- LANDSCAPING HAS BEEN PROVIDED FOR UNDER F-09-112, IN ACCORDANCE WITH SECTION 16.124(e)(1) OF THE SUBDIVISION REGULATIONS AND THE LANDSCAPE MANUAL. SURETY IN THE AMOUNT OF \$13,350.00, HAS BEEN PROVIDED UNDER F-09-112.
- THE PROJECT IS IN CONFORMANCE WITH THE 5TH EDITION OF THE HOWARD COUNTY SUBDIVISION REGULATIONS.
- SOILS INFORMATION WAS TAKEN FROM THE USDA WEB SOIL SURVEY.
- ALL LOTS TO BE SERVED BY THE PRIVATE ACCESS PLACE. (GLENROBBIN PLACE)
- FOR FLAG OR PIPESTEM LOT, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE PRIVATE FLAG OR PIPESTEM AND THE PUBLIC ROAD RIGHT-OF-WAY, AND NOT ONTO THE FLAG OR PIPESTEM LOT DRIVEWAY.
- THE OPEN SPACE LOTS (11-13) WILL BE OWNED AND MAINTAINED BY A HOMEOWNERS ASSOCIATION.
- THERE ARE NO SLOPES IN EXCESS OF 15% ON THE PROPERTY.
- THE SITE IS LOCATED IN THE METROPOLITAN DISTRICT.
- THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY HILLES-CARNES, DATED NOVEMBER 3, 2006
- THIS CONCRETE TRASH PAD (6 INCHES IN DEPTH) WILL BE MAINTAINED BY THE OWNERS OF LOTS 1-10 PURSUANT TO THE DECLARATION OF RIGHT OF ACCESS AND MAINTENANCE OBLIGATIONS RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY.
- THE SIDEWALK ADJACENT TO MARY LANE WILL SERVE AS A CHILD STANDING PAD IN ACCORDANCE WITH THE APPROVAL OF THE BOARD OF EDUCATION.
- A PRIVATE ROAD STREET NAME SIGN (SNS) THAT NEEDS TO BE INSTALLED AT THE INTERSECTION OF THE PRIVATE ROAD WITH A PUBLIC ROAD, SHALL BE FABRICATED AND INSTALLED BY HOWARD COUNTY BUREAU OF HIGHWAYS AT THE DEVELOPER'S EXPENSE. CONTACT HOWARD COUNTY TRAFFIC DIVISION AT 410-313-5752 FOR DETAILS AND COST ESTIMATES.
- THERE ARE NO STREAMS AND WETLANDS LOCATED WITHIN THE PROPERTY.
- STREET TREES ARE REQUIRED FOR THIS SUBDIVISION IN ACCORDANCE WITH SECTION 16.124(j)(1) OF THE SUBDIVISION REGULATIONS AND THE LANDSCAPE MANUAL. A MINIMUM OF 20' SHALL BE MAINTAINED BETWEEN STREET LIGHTS AND TREES.
- EXISTING UTILITY LOCATIONS SHOWN ARE TAKEN FROM AVAILABLE RECORDS.
- ARTICLES OF INCORPORATION FOR THE HOMEOWNER'S ASSOCIATION WERE ACCEPTED BY THE STATE DEPARTMENT OF ASSESSMENTS AND TAXATION NO. D13745955 INCORPORATION DATED SEPTEMBER 10, 2010.
- THIS PLAN IS SUBJECT WP-10-059 APPROVED NOVEMBER 18, 2009 TO WAIVE SECTION 16.121(g)(3)(iii) - PARKING LOT ISLANDS, DRIVEWAY EASEMENTS SERVING NON-OPEN SPACE USES, OVERHEAD UTILITY TRANSMISSION LINES, AND NARROW STRIPS UNDER 35 FEET WIDE MAY NOT COUNT TOWARDS MINIMUM OPEN SPACE REQUIREMENTS TO PROVIDE CREDITED OPEN SPACE AREAS LESS THAN 35' IN WIDTH SUBJECT TO THE OPEN SPACE LOTS MUST BE DEDICATED TO THE HOMEOWNERS ASSOCIATION.
- NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAM(S) OR THEIR BUFFERS, FOREST CONSERVATION EASEMENT AREAS AND 100 YEAR FLOODPLAIN.
- UNIVERSAL DESIGN GUIDELINES - FOR SINGLE-FAMILY DETACHED DEVELOPERS, A "NO-STEP" ACCESS TO ALL DWELLINGS IS RECOMMENDED (A NO-STEP ENTRANCE IS DESIRABLE, BUT NOT REQUIRED AT OTHER ENTRANCES).
 - 36" SIDE FRONT DOOR WITH EXTERIOR LIGHTING OF THE ENTRANCE.
 - ALL INTERIOR DOORWAYS AT LEAST 32" WIDE (36" IS PREFERABLE).
 - HALLWAYS AT LEAST 36" WIDE (40-42" IS PREFERABLE).
 - COMPLETE LIVING AREA INCLUDING MASTER BEDROOM AND BATH ON FIRST FLOOR.
 - LEVEL HANDLES ON INTERIOR AND EXTERIOR DOORS.
 - BLOCKING FOR GRAB BARS IN WALLS IN BATHROOM WALL NEAR TOILET AND SHOWER.
- THIS SITE MEETS THE REQUIREMENTS FOR A GREEN NEIGHBORHOOD SITE REQUIREMENTS, UNIVERSAL DESIGN STANDARDS AND MODERATE INCOME HOUSING UNITS.
- PUBLIC WATER AND SEWER HAVE BEEN PROVIDED UNDER CONTRACT # 24-4454-D.

SITE DEVELOPMENT PLAN THE GLENS AT GUILFORD LOTS 1-10 HOWARD COUNTY, MARYLAND



LEGEND

- EXISTING CONTOUR: - - - - -382
- PROPOSED CONTOUR: [Symbol]
- EXISTING SPOT ELEVATION: +382.56
- PROPOSED SPOT ELEVATION: +82.53
- DIRECTION OF FLOW: [Symbol]
- EXISTING TREES TO REMAIN: [Symbol]
- LIGHT POLES: [Symbol]
- LIMIT OF WETLAND: [Symbol]
- WETLAND BUFFER: [Symbol]
- 100YR FLOOD PLAIN: [Symbol]
- EXISTING PARCEL/LOT DIVIDE LINE: [Symbol]



SITE ANALYSIS DATA CHART

A. TOTAL PROJECT AREA:	3.44 AC.
B. LIMIT OF DISTURBED AREA:	1.38 AC.
C. PRESENT ZONING DESIGNATION:	R-12
D. PROPOSED USES FOR SITE AND STRUCTURES:	SINGLE-FAMILY DETACHED
E. TOTAL NUMBER OF UNITS ALLOWED:	10
F. TOTAL NUMBER OF UNITS PROPOSED ON SUBMISSION:	10
G. OPEN SPACE ON SITE:	1.37 AC. (40% OF 3.44 AC.)
H. AREA OF REGISTRATION OPEN SPACE REQUIRED:	0.05 AC.(2,000 SF.) PROVIDED 0.05 AC.(2,000 SF.)
I. DPZ REFERENCE:	S-03-011, P-07-15, WP-10-059, F-09-112.

BENCHMARKS

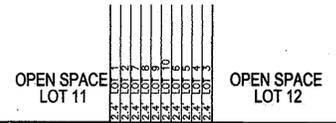
NO.	NORTHING	EASTING	ELEVATION	TYPE
421A	N 543390.409	E 1364912.625	211.956	CONC. MONUMENT
0080	N 542366.913	E 1362075.951	282.350	CONC. MONUMENT

MINIMUM LOT SIZE CHART

LOT NO.	GROSS AREA	PIPE STEM AREA	MINIMUM LOT SIZE
1	7,651 SF	250 SF	7,401 SF
2	7,819 SF	418 SF	7,401 SF
3	7,529 SF	126 SF	7,403 SF
4	9,018 SF	279 SF	8,739 SF
5	9,209 SF	429 SF	8,780 SF
6	9,237 SF	576 SF	8,661 SF
7	8,504 SF	954 SF	7,550 SF
8	10,064 SF	1,180 SF	8,884 SF
9	9,640 SF	1,261 SF	8,379 SF
10	9,922 SF	1,232 SF	8,690 SF

LOT 3 ACCESSIBILITY NOTES

- CROSS SLOPE OF ALL ACCESSIBLE ROUTES CANNOT EXCEED 2%.
- SLOPE AT THE INTERSECTION OF ACCESSIBLE ROUTES CANNOT EXCEED 2% IN ANY DIRECTION.
- UNBEVELED VERTICAL LEVEL CHANGES ALONG ACCESSIBLE ROUTES MUST NOT EXCEED 1/4" INCH. LEVEL CHANGES BETWEEN 1/4" AND 1/2" INCH MUST BE BEVELED WITH THE SLOPE OF THE BEVEL NO MORE THAN 1:2. LEVEL CHANGES IN EXCESS OF 1/2" INCH MUST BE RAMPED.
- IF THE ACCESSIBLE ROUTE NEGOTIATES OVER A GRADE, COMPLY WITH UFAS 4.5.4.



**MARY LANE LOCAL PUBLIC ROAD
40' RIGHT-OF-WAY
(50' ULTIMATE RIGHT-OF-WAY)
LOT FRONTAGE DETAIL**
SCALE=1"=20'

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL #
THE GLENS AT GUILFORD		1-10
PLAT # OR L/F	BLOCK NO.	ZONE
81415-16	6 & 24	R-12
	TAX MAP NO.	ELECT. DIST.
	47	6
	CENSUS TR.	
	6069.01	

OWNER/DEVELOPER
HOWARD COUNTY HOUSING COMMISSION
6751 COLUMBIA GATEWAY DRIVE
3RD FLOOR, GATEWAY BUILDING
COLUMBIA, MARYLAND 21044
410-313-6316

NO.	REVISION	DATE
1	REVISE HOUSE TYPE LOT 3 FOR HANDICAP ACCESSIBLE	3/14/11

**SITE DEVELOPMENT PLANS
COVER SHEET
THE GLENS AT GUILFORD
LOTS 1-10**

TAX MAP #47 GRID 6 & 24 PARCELS 46 & 815
6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET TEL: 410.461.7666
ELLCOTT CITY, MD 21043 FAX: 410.461.8961

DESIGN BY: JCO
DRAWN BY: KG
CHECKED BY: RHW
DATE: NOVEMBER 2010
SCALE: 1"=80'
W.O. NO.: 08-35

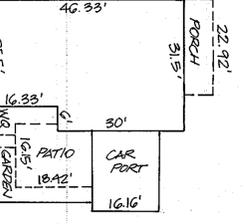
PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: 09-27-2012

1 SHEET OF 4

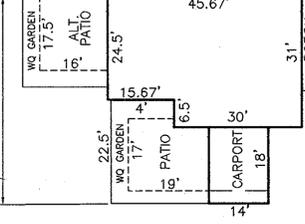
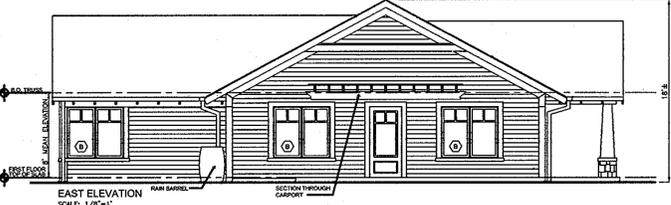
COORDINATE LIST

NO.	NORTHING	EASTING
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201	540730.9603	1364317.6350
202	540870.3928	1364569.9179
508	540415.2772	1364821.4527

NOTE: FOR EXACT DIMENSIONS, MATERIAL AND LOCATION OF PATIOS AND W.G. GARDENS, SEE ARCHITECTURAL PLANS



LOT 3 HOUSE FOOTPRINT PLAN
SCALE: 1"=20'



HOUSE FOOTPRINT PLAN
SCALE: 1"=20'

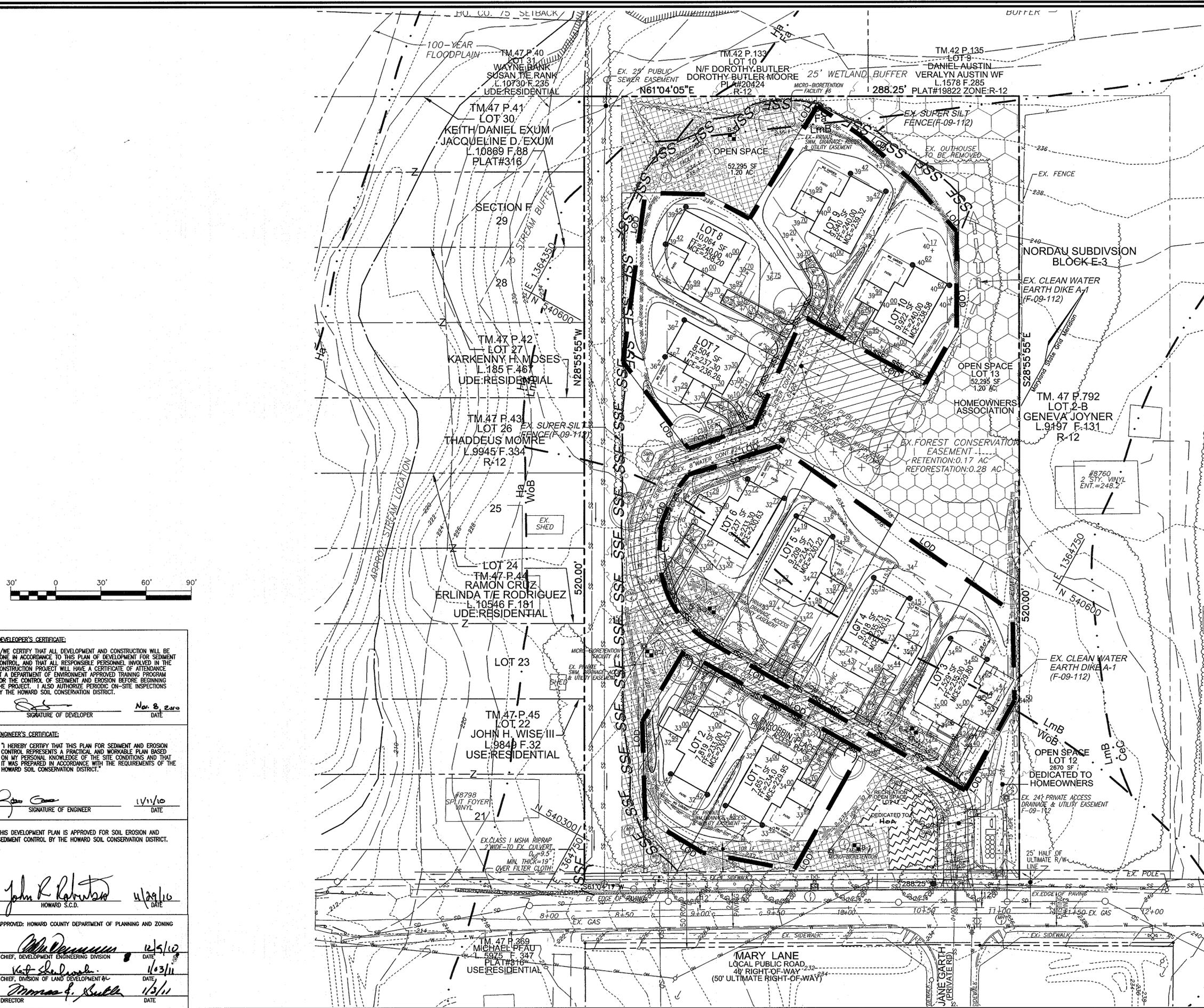


APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 2/6/10
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 10/31/11
CHIEF, DIVISION OF LAND DEVELOPMENT II DATE

[Signature] 10/31/11
DIRECTOR DATE



LEGEND:

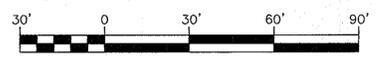
	EXISTING CONTOUR		SILT FENCE
	PROPOSED CONTOUR		SUPER SILT FENCE
	PROPOSED SPOT ELEVATION		LIMIT OF DISTURBANCE
	EXISTING SPOT ELEVATION		STABILIZED CONSTRUCTION ENTRANCE
	EXISTING CURB AND GUTTER		EXISTING LIGHT POLES
	EXISTING UTILITY POLE		LIMIT OF WETLAND
	EXISTING LIGHT POLE		WETLAND BUFFER
	EXISTING MAILBOX		100YR FLOOD PLAIN
	EXISTING SIGN		PUBLIC SEWER, WATER AND UTILITY EASEMENT (F-09-112)
	EXISTING SANITARY MANHOLE		EXISTING PARCEL/LOT DIVIDE LINE
	EXISTING SANITARY LINE		MICRO-BIO RETENTION FACILITY (F-09-112)
	EXISTING CLEANOUT		RECREATION OPEN SPACE (F-09-112)
	EXISTING FIRE HYDRANT		PRIVATE ACCESS DRAINAGE AND UTILITY EASEMENT (F-09-112)
	EXISTING WATER LINE		EXISTING RAIN BARREL
	EXISTING STORM DRAIN		EXISTING EARTH DIKE (F-09-112)
	EXISTING STORM DRAIN INLET		EXISTING EROSION CONTROL MATTING (F-09-112)
	EXISTING TREELINE		
	EXISTING VEGETATION (F-09-112)		
	EXISTING STREET TREES (F-09-112)		
	EXISTING FENCE		
	PROPERTY LINE		
	RIGHT-OF-WAY LINE		
	M1B2 SOILS BOUNDARY		
	M1D3 SOILS BOUNDARY		

SOILS LEGEND

SYMBOL	DESCRIPTION	TYPE
CeC	CHILLUM LOAM, 5 TO 10 PERCENT SLOPES	B
CrD	CROOM AND EVESBORO SOILS, 10 TO 15 PERCENT SLOPES	C
Fa	FALLSINGTON SANDY LOAM, 0 TO 2 PERCENT SLOPES	D
Ha	HATBORO-CORDORUS SILT LOAMS, MD TO 3 PERCENT SLOPES	D
LeC	LEGORE SILT LOAM, 8 TO 15 PERCENT SLOPES, STONY	B
LmB	LEGORE-MONTALTO SILT LOAMS, 3 TO 8 PERCENT SLOPES	B
UcB	URBAN LAND-CHILLUM-BELTSVILLE COMPLEX, 0 TO 5 PERCENT SLOPES	B
UcD	URBAN LAND-CHILLUM-BELTSVILLE COMPLEX, 5 TO 15 PERCENT SLOPES	B
WoB	WOODSTOWN SANDY LOAM, 2 TO 5 PERCENT SLOPES MODERATELY ERODED	C

NOTES:
 1. SOILS INFORMATION WAS TAKEN FROM THE USDA WEB SOIL SURVEY, WWW.WEBSOILSURVEY.NRCS.USDA.GOV.
 2. THERE ARE NO SLOPES IN EXCESS OF 15% ON THE PROPERTY.

NOTE: STOCKPILING WILL BE PERMITTED ON EACH LOT ONLY.



DEVELOPER'S CERTIFICATE:
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THIS PLAN OF DEVELOPMENT FOR SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.
 SIGNATURE OF DEVELOPER: *[Signature]* DATE: Nov. 8, 2010

ENGINEER'S CERTIFICATE:
 I HEREBY CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 SIGNATURE OF ENGINEER: *[Signature]* DATE: 11/11/10

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION: *[Signature]* DATE: 11/5/10
 CHIEF, DIVISION OF LAND DEVELOPMENT: *[Signature]* DATE: 11/03/10
 DIRECTOR: *[Signature]* DATE: 11/3/11

OWNER/DEVELOPER
 HOWARD COUNTY HOUSING COMMISSION
 6751 COLUMBIA GATEWAY DRIVE
 3RD FLOOR, GATEWAY BUILDING
 COLUMBIA, MARYLAND 21044
 410-313-6316

NO.	REVISION	DATE
1	REVISE HOUSE TYPE LOT 3 FOR HANDICAP ACCESSIBLE	8/14/11

SITE DEVELOPMENT PLANS
GRADING, SEDIMENT AND EROSION CONTROL PLAN
THE GLENS AT GUILFORD
LOTS 1-10

TAX MAP #47 GRID 6 & 24 PARCELS 46 & 815
 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
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 8407 MAIN STREET TEL: 410.461.7666
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PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: 09-27-2012

DESIGN BY: JCO
 DRAWN BY: KG
 CHECKED BY: RHV
 DATE: NOVEMBER 2010
 SCALE: 1"=32'
 W.O. NO.: 08-35

3 SHEET OF 4

