

- GENERAL NOTES**
- THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN APPROVED.
 - THE SUBJECT PROPERTY IS ZONED R-20 PER THE FEBRUARY 2, 2004 COMPREHENSIVE ZONING PLAN AND THE "COMP LITE" ZONING AMENDMENTS EFFECTIVE 7/28/2006.
 - PROJECT BACKGROUND: LOCATION: TAX MAP 24, GRID 2, PARCEL 812; GRID 3, PARCELS 916 & 1119. ZONING: R-20. ELECTION DISTRICT: 2ND. SITE AREA: 6.838 AC. SKETCH PLAN APPROVAL DATE (S-04-02): JANUARY 31, 2005. PRELIM. PLAN APPROVAL DATE (P-08-003): SEPTEMBER 18, 2009. FINAL PLAN APPROVAL DATE (F-09-070): NOVEMBER 17, 2009.
 - AREA OF PROPOSED LOTS: 6.256 AC. AREA OF PROPOSED ROADS: 0.582 AC. (DEBRA COURT)
 - NUMBER OF LOTS: 11 (BUILDABLE LOTS): 1 (OPEN SPACE LOT 12)
 - OPEN SPACE REQUIRED: 14,000 S.F. (MIN LOT SIZE) IS 30% \times 6.838=2,051 AC. OPEN SPACE PROVIDED: 2,18 AC.
 - RECREATIONAL OPEN SPACE REQ'D (200 S.F./UNIT): 2,200 S.F. RECREATIONAL OPEN SPACE PROVIDED: 2,200 S.F.
 - ARTICLES OF INCORPORATION FOR DEBRA COURT H.O.A. RECORDED ON APRIL 07, 2010 BY THE STATE DEPARTMENT OF TAXATION AND ASSESSMENTS UNDER RECEIPT NO: 1000361999997978.
 - THE EXISTING ON-SITE TOPOGRAPHY AND ADJOINING FEATURES WERE DERIVED FROM FIELD SURVEYS BY LITTLE & ASSOCIATES, INC. IN MAY, 2002 AND SEPTEMBER, 2007. TOPOGRAPHY BEYOND THESE LIMITS WAS DERIVED FROM HOWARD COUNTY GIS TOPOGRAPHY DATED 1998.
 - PROPERTY BOUNDARY SHOWN IS BASED ON BOUNDARY SURVEY PERFORMED BY LITTLE & ASSOCIATES, INC. IN MAY, 2002.
 - PUBLIC WATER AND SEWER EXIST IN DEBRA COURT FOR USE BY THE SITE CONTRACT NO. 24-4525-D. THE SITE IS WITHIN THE METROPOLITAN DISTRICT OF HO. CO., MD.
 - EXISTING UTILITIES ARE BASED ON FIELD INVESTIGATION AND THE BEST AVAILABLE INFORMATION FROM HOWARD COUNTY, MD. LITTLE & ASSOCIATES, INC. DOES NOT GUARANTEE THE COMPLETENESS OR ACCURACY OF THE UTILITY INFORMATION SHOWN.
 - THERE ARE NO 100-YEAR FLOOD PLAINS LOCATED ON THE SUBJECT SITE. FLOOD PLAIN LIMITS AS SHOWN FROM FEMA MAP OF HOWARD COUNTY - 240044 023 B.
 - THERE ARE NO KNOWN GRAVESITES, CEMETERIES, HISTORIC SITES OR STRUCTURES LOCATED ON THE SITE.
 - THERE ARE NO KNOWN RARE, THREATENED OR ENDANGERED SPECIES ON THE SUBJECT SITE.
 - THERE ARE NO WETLANDS, STREAMS, FLOOD PLAINS OR BUFFERS PRESENT ON THE SUBJECT SITE.
 - SOIL LINES AND TYPES SHOWN ARE TAKEN FROM HOWARD COUNTY USDA SOILS MAP NO. 15.
 - OTHER HOWARD COUNTY REFERENCE FILES FOR THE SITE: F80-81 (PLAT 4567), BA 02-039C, S-04-02, PLAT 8/92, P-08-003, F-09-070, PLAT 21180-21183.
 - NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING, AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, WELLS AND STREAM BUFFERS, FLOOD PLAIN AND FOREST CONSERVATION EASEMENT AREAS.
 - DEBRA COURT IS PUBLIC AND WAS DEDICATED TO HOWARD COUNTY, MARYLAND AT NO COST TO THE COUNTY UNDER PLAT 21180-21183. DEBRA COURT WAS ORIGINALLY SHOWN ON A PLAT OF GLENBROOK SECTION 3, RECORDED IN 1962 (PLAT 8/92). THE OWNERS DEDICATION INDICATED THAT THE OWNERS "RESERVE THE FEE SIMPLE TITLE TO THE BEDS OF THE STREETS AND/OR ROADS SHOWN HEREON". THE NOTE ALSO INCLUDED STANDARD LANGUAGE THAT THE OWNERS GRANTED UNDER THE BOARD OF COUNTY COMMISSIONERS OF HOWARD COUNTY THE RIGHT AND OPTION TO ACQUIRE FEE SIMPLE TITLE TO THE BEDS OF THE STREETS. THIS WAS ALSO THE CASE ON PLAT # 4567. A RESUBDIVISION OF LOTS 73 THRU 78, RECORDED IN 1980 (F-80-81), THE COUNTY HAD INCORRECTLY SHOWN DEBRA COURT AS A PUBLIC ROAD ON COUNTY RECORDS, ALTHOUGH THERE IS NO RECORD THAT THE COUNTY EXERCISED ITS OPTION AND ACQUIRED THE BEDS TO THE STREET. THIS HAS BEEN CORRECTED AS INDICATED IN DEED 6637/254 AND AS SHOWN ON PLAT 21180-21183.
 - STORMWATER MANAGEMENT WAS APPROVED UNDER F-09-070. THE MICROPOLE EXTENDED DETENTION POND (P-1) IS TO BE OWNED BY A HOMEOWNERS ASSOCIATION. THE HOMEOWNERS ASSOCIATION SHALL TAKE RESPONSIBILITY FOR ROUTINE STORMWATER MANAGEMENT POND MAINTENANCE. HOWARD COUNTY WILL TAKE RESPONSIBILITY FOR NON-ROUTINE SWM POND MAINTENANCE. THE ON-LOT BIORETENTION FACILITIES FOR LOTS 1-4 WILL BE PRIVATELY OWNED AND MAINTAINED. ROOF LEADERS FOR LOTS 1-4 SHALL BE DIRECTED TO THE CORRESPONDING BIORETENTION FACILITY USING 6" HOPE PIPE OR APPROVED EQUAL.
 - THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. COUNTY MONUMENTS NOS. 24AA AND 24BS WERE USED FOR THIS PROJECT.
 - FOR DRIVEWAY ENTRANCE DETAILS REFER TO HOWARD COUNTY DESIGN MANUAL VOLUME IV, STANDARD DETAIL R-6.03.
 - THIS PROJECT IS SUBJECT TO COUNCIL BILL 45-2003, WHICH AMENDED THE SIXTH EDITION SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, EFFECTIVE OCTOBER 2, 2003, AND THE APRIL 13, 2004 ZONING REGULATIONS.
 - THIS PROJECT, WITH ELEVEN (11) LOTS PROPOSED IS NOT SUBJECT TO THE REQUIREMENTS / RESTRICTIONS OF AMENDED SECTION 16.12 (A), AND THEREFORE MAY PROPOSE THE R-20 OPTIONAL LOT SIZE WITH H.O.A. OWNED OPEN SPACE, IF, HOWEVER, A RESIDENTIAL LOT IS DELETED, COMPLIANCE WITH AMENDED SECTION 16.12(A) WILL BE REQUIRED.
 - THIS PROJECT IS A RESUBDIVISION OF LOT 80 (F-80-81), GLENBROOK SECTION 3 (PLAT #4567) AND A SUBDIVISION OF PARCELS 812 & 1119.
 - A WAIVER FROM THE DESIGN MANUAL REGULATIONS ON INTERSECTION SPACING WAS APPLIED FOR IN A LETTER DATED JANUARY 8, 2004 ADDRESSED TO CHARLES DAMMERS AND APPROVED ON JANUARY 29, 2004.
 - ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
 - SEWER HOUSE CONNECTION ELEVATIONS ARE LOCATED AT THE PROPERTY LINE. ALL SEWER HOUSE CONNECTIONS ARE TO BE A MINIMUM OF 1.0% AND A MAXIMUM OF 5.0% IF NO SLOPE IS SHOWN 2.0% MAY BE ASSUMED.
 - THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY HERBST/RENSON AND ASSOCIATES, DATED JUNE 16, 2004 AND WAS APPROVED ON JANUARY 31, 2005.
 - RETAINING WALL COMPUTATIONS WERE APPROVED AS PART OF THE FINAL PLAN SET F-09-070.
 - THE LOTS CREATED BY THIS SUBDIVISION ARE SUBJECT TO A FEE OR ASSESSMENT TO COVER OR REPAY ALL OR PART OF THE DEVELOPER'S COST OF INSTALLATION OF WATER AND SEWER FACILITIES, PURSUANT TO THE HOWARD COUNTY CODE. THIS FEE OR ASSESSMENT, WHICH RUNS WITH THE LAND, IS A CONTRACTUAL OBLIGATION BETWEEN THE DEVELOPER AND EACH OWNER OF THIS PROPERTY AND IS NOT IN ANY WAY A FEE OR ASSESSMENT OF HOWARD COUNTY.
 - THE UNMITIGATED 850BA LINE FOR FREDERICK ROAD IS AS SHOWN IN A REPORT PREPARED BY STAIANO ENGINEERING, INC. DATED DECEMBER 26, 2007. NO MITIGATION IS REQUIRED.

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- A WAIVER FROM THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WAS APPROVED ON DECEMBER 23, 2004 REGARDING SECTIONS 16.121(a)(1) FOR RELIEF FROM OPEN SPACE FRONTAGE AND 16.120(a)(4)(v) TO ALLOW AN ACCESS EASEMENT FOR THE STORMWATER MANAGEMENT FACILITY ON RESIDENTIAL LOTS AND TO ALLOW ACCESS TO THE PRIVATE RECHARGE (R/R) FACILITY BEHIND LOT 9 (WP-04-117). CONDITIONS FOR APPROVAL WERE:
 - THE DEVELOPER SHALL DEED OPEN SPACE LOT 12 TO THE HOMEOWNERS ASSOCIATION FOR THIS PROPERTY.
 - THE DEVELOPER SHALL PROVIDE A 14' WIDE (MIN) ACCESS EASEMENT FOR PEDESTRIAN AND VEHICULAR ACCESS TO OPEN SPACE LOT 12 WHICH SHALL EXTEND FROM DEBRA COURT NORTHWARD TO OPEN SPACE LOT 12. THIS EASEMENT SHALL BE WITHIN THE PROPOSED USE-IN-COMMON DRIVEWAY EASEMENT SERVING LOTS 5,6,7,8&12 ACROSS LOTS 6,7,8& AND BEYOND THAT TO THE SOUTHERN BOUNDARY OF OPEN SPACE LOT 12.
 - A MAINTENANCE AGREEMENT FOR THE SHARED DRIVEWAY WITHIN A 24' WIDE EASEMENT SHALL BE RECORDED WITH THE CORRESPONDING SUBDIVISION PLAT. PER THE REQUIREMENT OF DEVELOPMENT ENGINEERING DIVISION, THE ACCESS EASEMENT LANGUAGE SHALL STATE THAT THE COUNTY IS HELD HARMLESS FOR ANY PROPERTY DAMAGE THAT MIGHT OCCUR DUE TO FUTURE MAINTENANCE ACTIVITY FOR THE STORMWATER MANAGEMENT FUND BY HOWARD COUNTY. THE DEVELOPER SHALL BE RESPONSIBLE FOR PREPARING THE MAINTENANCE AGREEMENT, AND THE COUNTY WILL RECORD THE AGREEMENT WITH THE FINAL PLAT.
 - THE 24' WIDE USE-IN-COMMON ACCESS EASEMENT SERVING RESIDENTIAL LOTS SHALL ALSO BE LABELED AS SERVING OPEN SPACE LOT 12.
 - THE DEVELOPER SHALL PROVIDE A 12' WIDE (MIN) ACCESS EASEMENT FOR VEHICULAR ACCESS TO OPEN SPACE LOT 12 ACROSS LOTS 9&10 FOR THE PURPOSE OF MAINTENANCE OF A HOMEOWNERS OWNED AND MAINTAINED DRYWELL RECHARGE FACILITY LOCATED BEHIND LOT 9. THE EASEMENT SHALL BE MAINTAINED AS GRASS OR OTHER APPROPRIATE GROUND COVER, BUT NOT PAVING.
 - THE EASEMENT SHALL NOT BE FOR PEDESTRIAN ACCESS TO OPEN SPACE LOT 12 AND SHALL NOT BE FOR ACCESS FOR MAINTENANCE OF THE FOREST CONSERVATION EASEMENT.
 - THE SIDE SETBACKS ADJACENT TO THE EASEMENT ON LOTS 9&10 SHALL BE INCREASED BY 10' ON EACH LOT.
- A LEFT TURN POCKET ALONG FREDERICK ROAD FOR EAST BOUND TRAFFIC WAS DETERMINED UNFEASIBLE THROUGH DISCUSSIONS WITH HOWARD COUNTY TRAFFIC ENGINEERING. THE CURB RADI FOR DEBRA COURT AT FREDERICK ROAD HAS BEEN INCREASED TO 40' TO AID INGRESS/EGRESS. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, INC., DATED JULY 2, 2002.
- THE EXISTING 100' SHA EASEMENT ALONG THE PROPERTY FRONTAGE ON US 40 GRANTS TO THE STATE THE PERPETUAL RIGHT TO ERECT AND MAINTAIN BETWEEN OCTOBER 1ST AND APRIL 1ST OF EACH AND EVERY YEAR, SNOW FENCES WITHIN ONE HUNDRED FEET OF THE LAND HEREBY GRANTED IN FEE SIMPLE, PROVIDED THAT SAID SNOW FENCE SHALL NOT INTERFERE WITH AND TYPES AND KIND OF BUILDINGS NOW ERECTED OR HEREAFTER ERECTED OR WITH GROWING CROPS.
- A WAIVER FROM THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS REGARDING SECTIONS 16.116(b)(3)(c) WAS APPROVED ON JULY 24, 2008 TO ALLOW MINIMAL DISTURBANCE TO STEEP SLOPES ON-SITE (MP-08-088). THE FOLLOWING CONDITIONS WERE APPLIED TO THE APPROVAL.
 - LIMITS OF DISTURBANCE WILL BE THE MINIMUM NECESSARY TO INSTALL THE IMPROVEMENTS AND SHALL NOT EXCEED THE DISTURBANCE SHOWN ON THE WAIVER PETITION EXHIBIT SUBMITTED JUNE 20, 2008. DISTURBANCE RELATED TO THE STORMWATER MANAGEMENT POND IS LIMITED TO 1000 S.F. OF STEEP SLOPES DISTURBANCE. DISTURBANCE RELATED TO LOT 7 IS LIMITED TO 800 S.F. OF STEEP SLOPE DISTURBANCE.
 - SUPER SILT FENCING SHALL BE INSTALLED ALONG THE ENTIRE LEO PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR GRADING ACTIVITY AND SHALL REMAIN IN PLACE FOR THE DURATION OF CONSTRUCTION.
- A WAIVER FROM THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WAS APPROVED ON JUNE 24, 2008 REGARDING SECTIONS 16.134(O)(1) & 16.132(O)(3)&2 TO PAY A FEE-IN-LIEU OF PROVIDING ROAD IMPROVEMENTS ALONG FREDERICK ROAD (WP-08-115). THE FEE-IN-LIEU OF \$107,442.00 FOR THE ROAD FRONTAGE IMPROVEMENTS WILL BE USED FOR CAPITAL PROJECT D-1158 AND WAS PAID UNDER F-09-070.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- BUILDER TO DETERMINE FINAL NUMBER OF STEPS FOR BASEMENT EXIT IN THE FIELD.
- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- STREET LIGHT PLACEMENT AND THE TYPE OF FIXTURE AND POLE SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME III (1993) AND AS MODIFIED BY "GUIDELINES FOR STREET LIGHTS IN RESIDENTIAL DEVELOPMENTS (JUNE 1993)". A MINIMUM SPACING OF 20' SHALL BE MAINTAINED BETWEEN ANY STREET LIGHT AND ANY TREE.
- ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
- THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, INC. IN A REPORT DATED OCTOBER 15, 2003, AND WAS APPROVED UNDER P-08-003.
- THE FOREST STAND DELINEATION (FSD) FOR THIS PROJECT (DATED JUNE, 2008) WAS APPROVED UNDER P-08-003.
- ALL FILLED AREAS SHALL REQUIRE 95% COMPACTION IN ACCORDANCE WITH AASHTO T-180 STANDARDS.
- THE BUILDING RESTRICTION LINES (BRL'S) SHOWN ON LOTS 1 AND 11 ARE ESTABLISHED 10 FEET FROM THE FACE OF THE RETAINING WALL AS REQUIRED IN THE DESIGN MANUAL.
- THE SIDE BUILDING RESTRICTION LINES (BRL'S) SHOWN ON LOTS 5-9 ARE ESTABLISHED 10 FEET FROM THE UTILITY EASEMENT AS REQUIRED IN THE DESIGN MANUAL.
- IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY MINN CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 16FT IN WIDTH MAY PROJECT NOT MORE THAN 4FT INTO ANY SETBACKS, PORCHES, OR DECK OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10FT INTO THE FRONT OR REAR YARD SETBACKS.
- FOR FLAG OR PIPE STEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE TO BE PROVIDED AT THE JUNCTION OF FLAG OR PIPE STEM AND THE ROAD RIGHT-OF-WAY AND NOT ONTO THE FLAG OR PIPE STEM DRIVEWAY.
- DRIVEWAY(S) SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLING TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 - WIDTH - 12' (16' IF SERVING MORE THAN ONE RESIDENCE)
 - SURFACE - 6" OF COMPACTED CRUSHER RUN BASE WITH 1 1/2" MIN. TAR AND CHIP COATING.
 - GEOMETRY - MAX. 15% GRADE, MAX. 10% GRADE CHANGE, AND 45' TURNING RADIUS.
 - STRUCTURES (BRIDGES/CULVERTS) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25-LOADING).
 - DRAINAGE ELEMENTS CAPABLE OF SAFELY PASSING 100% FLOOD WITH NO MORE THAN ONE FOOT OF DEPTH OVER DRIVEWAY SURFACE.
 - STRUCTURE CLEARANCE - MINIMUM 12'.
 - MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE.
- LANDSCAPING HAS BEEN PROVIDED UNDER F-09-070 IN ACCORDANCE WITH A CERTIFIED LANDSCAPE PLAN INCLUDED IN THE ROAD CONSTRUCTION PLAN SET IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING (29 SHADE TREES, 9 EVERGREENS), HAS BEEN POSTED AS PART OF THE DPW DEVELOPERS AGREEMENT IN THE AMOUNT OF \$10,050.00 UNDER F-09-070.
- THIS PROJECT COMPLIES WITH THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION THROUGH 0.9 ACRES OF ON-SITE RETENTION, 0.4 ACRES OF ON-SITE REFORESTATION, AND A FEE-IN-LIEU FOR THE REMAINING 0.69 ACRES. SURETY IN THE AMOUNT OF \$16,652.80 WAS POSTED WITH THE DEVELOPERS AGREEMENT UNDER F-09-070. A FEE-IN-LIEU AMOUNT OF \$22,542.30 WAS PAID UNDER F-09-070.
- DEVELOPER SHALL MAINTAIN POSITIVE DRAINAGE TO ALL STORM DRAIN AND STORMWATER MANAGEMENT STRUCTURES ON SITE AT ALL TIMES. MINIMUM SLOPE FOR GRASSED AREAS SHALL BE 2%.
- THE PRIVATE 24' USE-IN-COMMON MAINTENANCE AGREEMENT AND ACCESS EASEMENT HAVE BEEN RECORDED AS LIBER 12543 FOLIO 332 ON FEBRUARY 16, 2010.
- A TEMPORARY USE PERMIT WAS GRANTED BY THE DIRECTOR OF THE DEPARTMENT OF PLANNING & ZONING ON JUNE 8, 2010 TO ALLOW THE CONTINUED USE OF THE EXISTING DWELLING AND IMPROVEMENTS ON THE PROPERTY (TU CASE NO. 10-002). THE TEMPORARY USE PERMIT WILL EXPIRE 90 DAYS FROM THIS DATE ON SEPTEMBER 6, 2010. ANY ADDITIONAL REQUEST FOR TIME FOR THE TEMPORARY USE WILL REQUIRE AN EXTENSION REQUEST APPROVAL THROUGH THE DIVISION OF PUBLIC SERVICE AND ZONING ADMINISTRATION.
- THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR DEBRA COURT HOMEOWNERS ASSOCIATION, INC. HAVE BEEN RECORDED AS LIBER 12543 FOLIO 342 ON JANUARY 25, 2010.

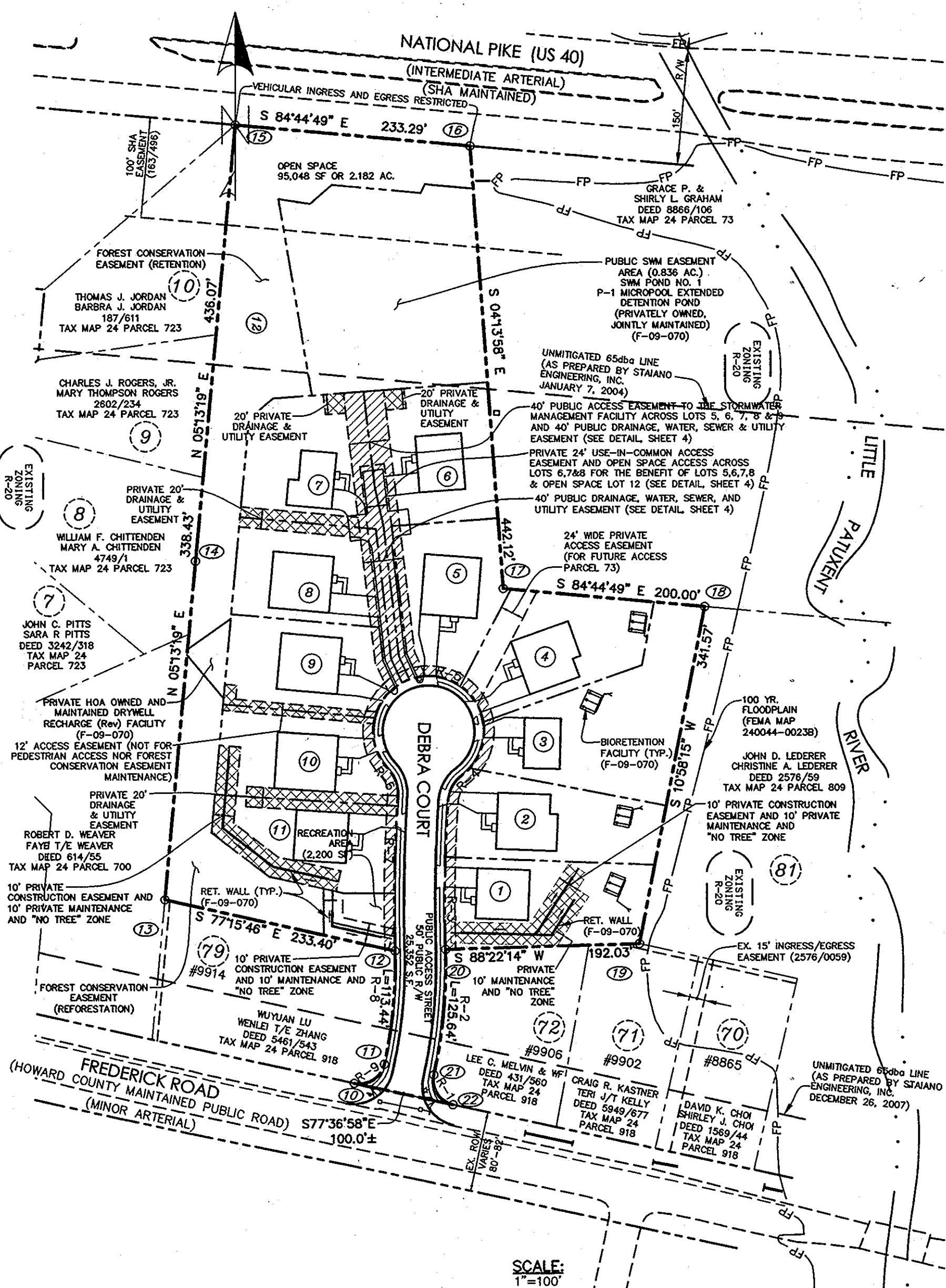
SITE DEVELOPMENT PLANS

DEBRA COURT

LOTS 1-12

2ND ELECTION DISTRICT

HOWARD COUNTY, MARYLAND



COORDINATE TABLE

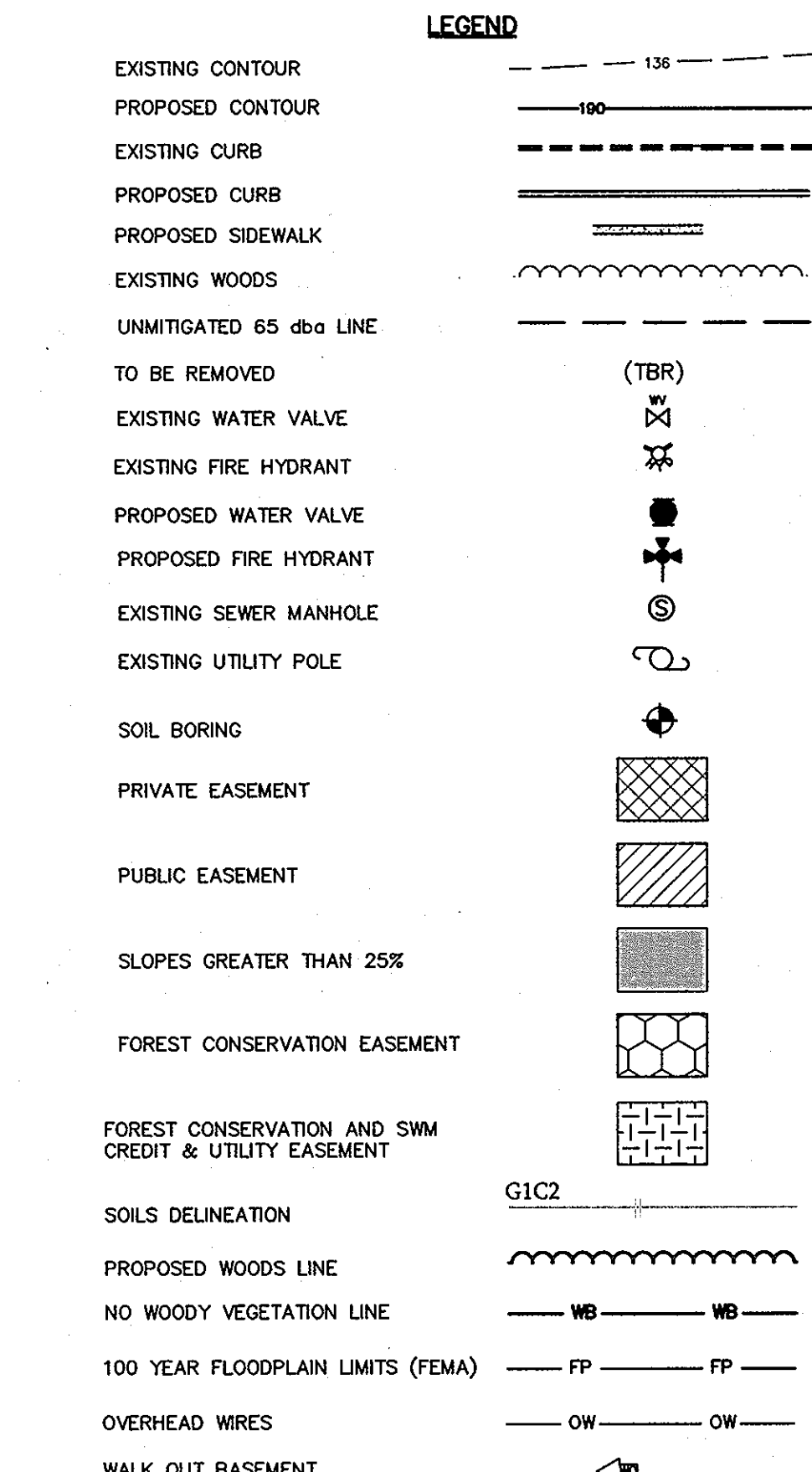
POINT	NORTH	EAST
10	N 586217.6749	E 1353565.4755
11	N 586236.7253	E 1353595.2540
12	N 586349.3855	E 1353605.8695
13	N 586400.8470	E 1353378.2084
14	N 586737.8733	E 1353409.0102
15	N 587172.1381	E 1353448.6989
16	N 587150.7792	E 1353691.0091
17	N 586709.8651	E 1353713.6414
18	N 586691.5542	E 1353912.8014
19	N 588356.2276	E 1353847.7981
20	N 586350.7676	E 1353655.8505
21	N 586225.9896	E 1353644.0878
22	N 586196.2351	E 1353663.1192

RIGHT-OF-WAY TABLE - DEBRA COURT

CURVE	RADIUS	DELTA	LENGTH	TANGENT	CHORD	BEARING
R-1	25.00'	89°53'12"	39.22'	24.95'	S32°36'13" E	35.32'
R-2	513.22'	14°01'31"	125.64'	63.14'	N05°23'07" E	125.33'
R-3	1578.61'	5°21'31"	147.64'	73.87'	S01°03'04" W	147.59'
R-4	35.00'	49°25'22"	30.19'	16.11'	S28°26'31" W	29.26'
R-5	55.00'	27°21'25"	285.28'	48.21'	N85°01'31" W	73.35'
R-6	35.00'	47°01'26"	28.73'	15.23'	N19°41'30" W	27.93'
R-7	1628.61'	5°26'49"	154.83'	77.47'	S01°05'48" W	154.77'
R-8	483.22'	14°01'54"	113.44'	57.01'	N05°22'58" E	113.16'
R-9	25.00'	89°58'07"	39.26'	24.99'	N57°23'29" E	35.35'

SHEET INDEX

SHEET	TITLE
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2	HOUSE TYPE PLAN
3	SITE PLAN 1
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5	GRADING & SEDIMENT CONTROL PLAN 1
6	GRADING & SEDIMENT CONTROL PLAN 2
7	SEDIMENT CONTROL NOTES
8	SEDIMENT CONTROL DETAILS & RETAINING WALL DETAILS
9	BIORETENTION FACILITY DETAILS AND SPECIFICATIONS



MINIMUM LOT SIZE CHART

LOT NO.	GROSS AREA	PIPESTEM AREA	MIN. LOT SIZE
1	17,080 S.F.	-	17,080 S.F.
2	15,863 S.F.	-	15,863 S.F.
3	22,786 S.F.	-	22,786 S.F.
4	15,983 S.F.	-	15,983 S.F.
5	14,203 S.F.	-	14,203 S.F.
6	17,527 S.F.	1,232 S.F.	16,295 S.F.
7	18,994 S.F.	1,231 S.F.	15,763 S.F.
8	14,559 S.F.	475 S.F.	14,084 S.F.
9	14,016 S.F.	-	14,016 S.F.
10	14,447 S.F.	-	14,447 S.F.
11	14,025 S.F.	-	14,025 S.F.
12	95,030 S.F.	-	95,030 S.F.

ADDRESS CHART

LOT NO.	STREET ADDRESS
1	3308 DEBRA COURT
2	3312 DEBRA COURT
3	3316 DEBRA COURT
4	3320 DEBRA COURT
5	3324 DEBRA COURT
6	3328 DEBRA COURT
7	3327 DEBRA COURT
8	3323 DEBRA COURT
9	3318 DEBRA COURT
10	3315 DEBRA COURT
11	3311 DEBRA COURT
12	OPEN SPACE

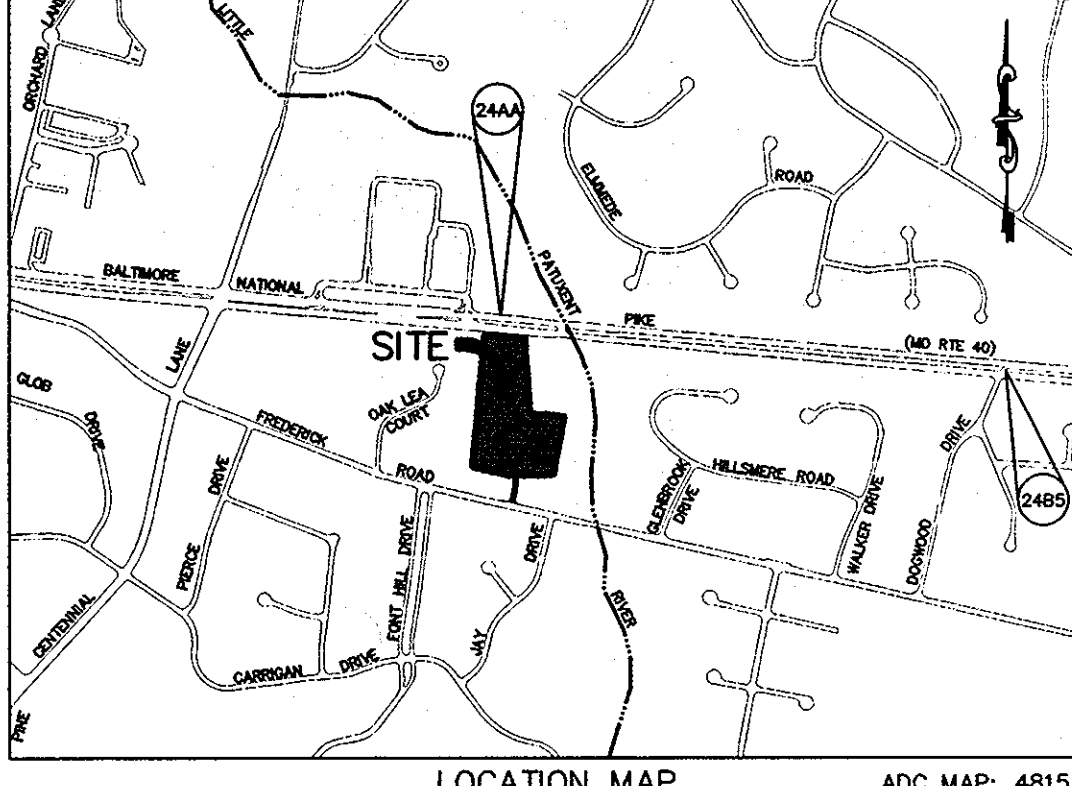
APPROVED: DEPARTMENT OF PLANNING & ZONING
HOWARD COUNTY, MARYLAND

[Signature] 2/7/10
CHIEF, DEVELOPMENT ENGINEERING DIVISION NY DATE

[Signature] 2/08/11
CHIEF, DIVISION OF LAND DEVELOPMENT TN DATE

[Signature] 2/6/10
DIRECTOR DATE

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 18019, EXPIRATION DATE: 5/8/2012.



BENCHMARK
GEODETIC CONTROL 24AA: STANDARD HOWARD COUNTY STAMPED DISC LOCATED AT THE ENTRANCE TO THE ENCHANTED FOREST SHOPPING CENTER.
N 587,380.458 E 1,352,603.488
ELEV. 386.37 (NAVD 88)

GEODETIC CONTROL 24BS: STANDARD HOWARD COUNTY STAMPED DISC LOCATED AT THE INTERSECTION OF MD RTE 40 AND DOGWOOD DR.
N 586,956.233 E 1,356,570.840
ELEV. 390.04 (NAVD 88)

SITE ANALYSIS DATA CHART

- GENERAL SITE DATA
 - PRESENT ZONING: R-20
 - LOCATION: TAX MAP 24, GRID 2,3 PARCEL 918/812/1119
 - APPLICABLE DPZ FILE REFERENCES: S-04-02, F-80-81, P-08-003, F-09-070
 - DEED REFERENCE: L8918 / F276
 - PLAT 21180-21183
 - PROPOSED USE: 11 SFD HOMES
 - PROPOSED WATER AND SEWER SYSTEMS: PUBLIC
- AREA TABULATION
 - TOTAL AREA OF SITE: 6.838 AC±
 - AREA OF 100 YEAR FLOODPLAIN (APPROX.): N/A
 - AREA OF STEEP SLOPES (25% OR GREATER): 0.752 AC±
 - NET AREA OF SITE: 6.086 AC±
 - AREA OF THIS PLAN SUBMISSION: 6.838 AC±
 - LIMIT OF DISTURBANCE (APPROX.): 3.0 AC±
 - AREA OF PROPOSED BUILDABLE LOTS: 4.074 AC±
 - AREA OF OPEN SPACE LOTS: 2.182 AC±
 - AREA OF PROPOSED PUBLIC R/W DEDICATION: 0.582 AC±
- LOT TABULATION
 - NET AREA OF SITE: 6.86 AC±
 - ALLOWABLE RESIDENTIAL LOT YIELD: 12
 - TOTAL NUMBER OF RESIDENTIAL LOTS PROPOSED ON THIS SUBMISSION: 11
 - TOTAL NUMBER OF OPEN SPACE LOTS PROPOSED ON THIS SUBMISSION: 1
- OPEN SPACE DATA
 - MINIMUM RESIDENTIAL LOT SIZE: 14,000 S.F.
 - OPEN SPACE REQUIRED FOR TOTAL AREA OF SITE: 2,051 AC.
 - TOTAL AREA OF PROPOSED OPEN SPACE LOTS PROVIDED WITH SUBDIVISION: 2,182 AC.
 - OPEN SPACE AREAS LESS THAN 35' IN WIDTH (NON-CREDITED): 0.00 AC.
 - TOTAL AREA OF OPEN SPACE MEETING ELLIOTT REQUIREMENTS (CREDITED): 2,182 AC.
 - AREA OF RECREATIONAL OPEN SPACE REQUIRED (200 S.F./UNIT \times 11 = 2,200 S.F.): 0.05 AC.
 - TOTAL AREA OF RECREATIONAL OPEN SPACE PROVIDED: 0.05 AC.

PERMIT INFORMATION CHART

PROJECT NAME	SECTION/AREA	LOT/PARCEL
DEBRA COURT	N/A	LOTS 1-12
PLAT REF.	GRID # ZONING	TAX MAP ELECT. DIST. CENSUS TR.
21180-21183	2, 3 R-20	24 2 6023.04
WATER CODE	SEWER CODE	
E-12	5272200	

LITTLE & ASSOCIATES, INC.
ENGINEERS~LAND PLANNERS~SURVEYORS
1055 TAYLOR AVENUE, SUITE 307
TOWSON, MARYLAND 21286
PHONE: (410)296-1636 FAX: (410)296-1639

OWNER/DEVELOPER:
KIMBERLY HOMES
ELLIOTT PROPERTIES, LLC.
P.O. BOX 6194
BALTIMORE, MARYLAND, 21231
(410) 522-4987

DES: AMK

DRN: PFS

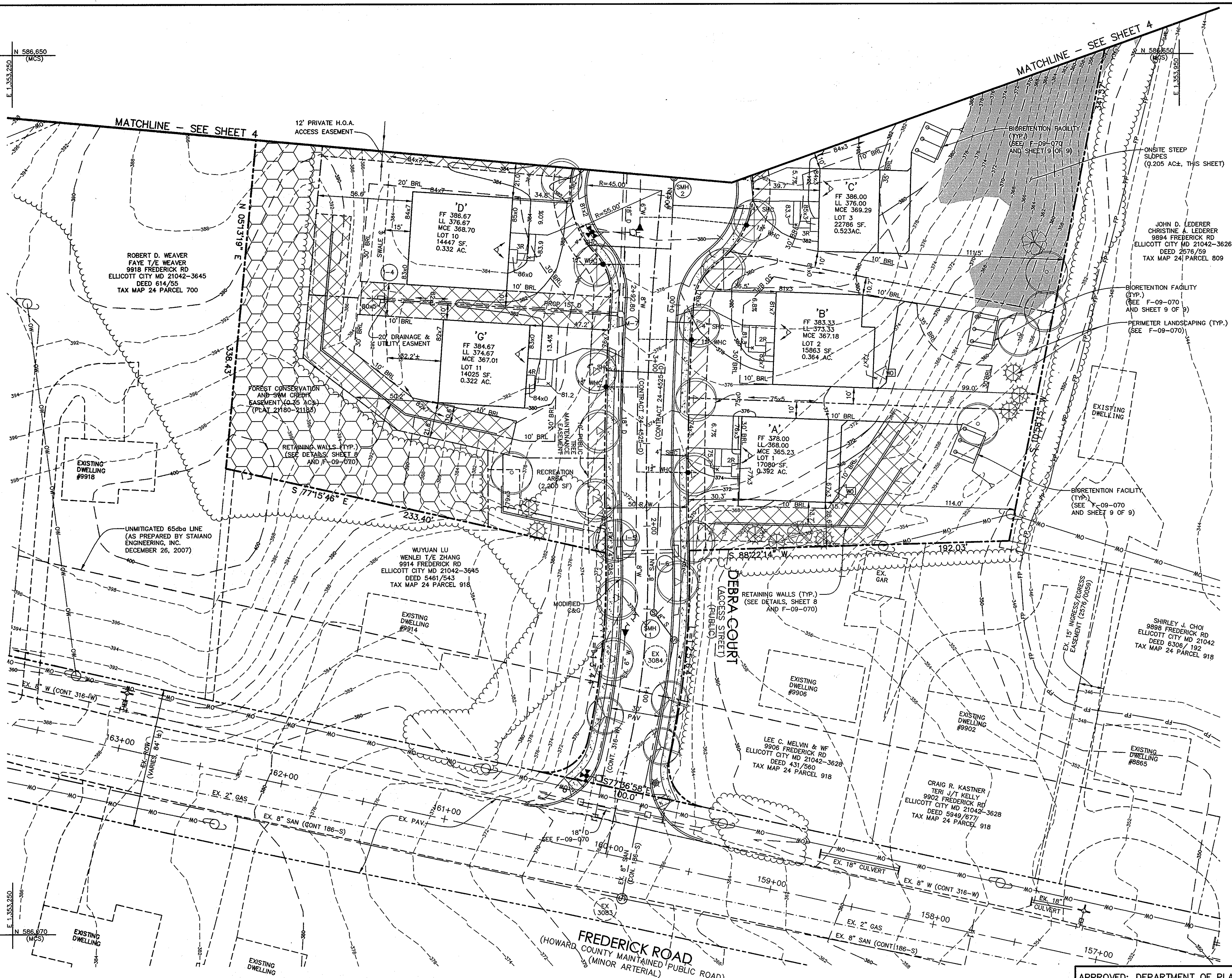
CHK: AMK

DATE: 11/17/09 BY: NO. REVISION DATE

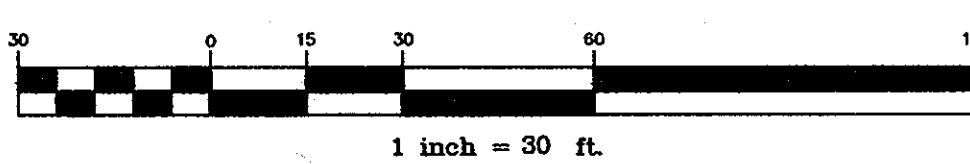
SITE DEVELOPMENT PLANS
TITLE SHEET
SDP-10-079
DEBRA COURT
LOTS 1 - 11 & OPEN SPACE LOT 12
SINGLE FAMILY DETACHED

ELECTION DISTRICT 2
SCALE: AS SHOWN
PRIOR PLANS: F-09-070, P-08-003, S-04-02
PLAT 21180-21183

HOWARD COUNTY, MD
M 24 G 2,3 P 918,812,1119
JUNE 11, 2010
SHEET 1 OF 9
SDP-10-079



- LEGEND**
- EXISTING CONTOUR --- 136 ---
 - PROPOSED CONTOUR --- 240 ---
 - EXISTING CURB ---
 - PROPOSED CURB ---
 - PROPOSED STORM DRAINS ---
 - EXISTING WOODS ---
 - PROPOSED WOODS ---
 - UNMITIGATED 65 dba LINE TO BE REMOVED (TBR) ---
 - EXISTING WATER VALVE ---
 - EXISTING FIRE HYDRANT ---
 - PROPOSED WATER VALVE ---
 - PROPOSED FIRE HYDRANT ---
 - EXISTING SEWER MANHOLE ---
 - EXISTING UTILITY POLE ---
 - SOILS DELINEATION GIC2 ---
 - 15' NO WOODY VEGETATION LINE ---
 - 100 YEAR FLOODPLAIN LIMITS (FEMA) ---
 - OVERHEAD WIRES ---
 - LIMIT OF DISTURBANCE ---
 - SPLIT RAIL FENCE ---
 - PRIVATE EASEMENT [Symbol]
 - PUBLIC EASEMENT [Symbol]
 - SLOPES GREATER THAN 25% (0.205 AC. THIS SHEET) [Symbol]
 - FOREST CONSERVATION EASEMENT [Symbol]
 - FOREST CONSERVATION AND SWM CREDIT & UTILITY EASEMENT [Symbol]
 - STREET TREES SEE F-09-070 [Symbol]
 - STREETLIGHT SEE F-09-070 [Symbol]
 - HOUSE ORIENTATION [Symbol]



LITTLE & ASSOCIATES, INC.
 ENGINEERS~LAND PLANNERS~SURVEYORS
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DES: AMK			
DRN: PFS			
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DATE: 11/17/09	BY: NO.	REVISION	DATE

NOTE: DESIGN AND DRAWING BASED ON THE MARYLAND COORDINATE SYSTEM HORIZONTAL -NAD 83/91, VERTICAL-NAVD 88

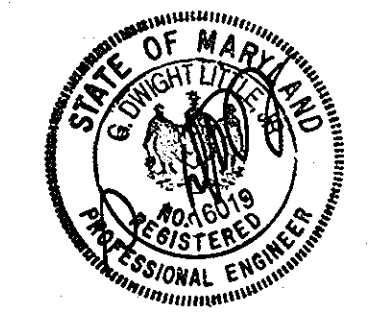
PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 18019 - EXPIRATION DATE: 5/8/2012

APPROVED: DEPARTMENT OF PLANNING & ZONING
 HOWARD COUNTY, MARYLAND

Mr. [Signature] 2/7/11 DATE
 CHIEF, DEVELOPMENT ENGINEERING DIVISION WY

Mr. [Signature] 2/8/11 DATE
 CHIEF, DIVISION OF LAND DEVELOPMENT W

Mr. [Signature] 2/8/11 DATE
 DIRECTOR



SITE DEVELOPMENT PLANS
SITE PLAN 1
 SDP-10-079
DEBRA COURT
 LOTS 1 - 11 & OPEN SPACE LOT 12
 SINGLE FAMILY DETACHED

ELECTION DISTRICT 2 HOWARD COUNTY, MD
 SCALE: AS SHOWN M 24 G 2,3 P 918,812,1119
 PRIOR PLANS: F-09-070, P-08-003, S-04-02. JUNE 11, 2010
 PLAT 21180-21183 SHEET 3 OF 9
 SDP-10-079

PLAN
 SCALE: 1"=30'

FREDERICK ROAD
 (HOWARD COUNTY MAINTAINED PUBLIC ROAD)
 (MINOR ARTERIAL)

DEBRA COURT
 (ACCESS STREET)

MATCHLINE - SEE SHEET 4

MATCHLINE - SEE SHEET 4

12' PRIVATE H.O.A. ACCESS EASEMENT

ROBERT D. WEAVER
 FAYE T/E WEAVER
 9918 FREDERICK RD
 ELLICOTT CITY MD 21042-3645
 DEED 614/55
 TAX MAP 24 PARCEL 700

FOREST CONSERVATION AND SWM CREDIT & UTILITY EASEMENT (0.75 AC.) (PLAT 21180-21183)

WUYUAN LIJ
 WENLEI T/E ZHANG
 9914 FREDERICK RD
 ELLICOTT CITY MD 21042-3645
 DEED 5461/543
 TAX MAP 24 PARCEL 918

LEE C. MELVIN & WF
 9908 FREDERICK RD
 ELLICOTT CITY MD 21042-3628
 DEED 437/560
 TAX MAP 24 PARCEL 918

CRAIG R. KASTNER
 TERE J/T KELLY
 9902 FREDERICK RD
 ELLICOTT CITY MD 21042-3628
 DEED 8849/677
 TAX MAP 24 PARCEL 918

JOHN D. LEDERER
 CHRISTINE A. LEDERER
 9894 FREDERICK RD
 ELLICOTT CITY MD 21042-3626
 DEED 2576/55
 TAX MAP 24 PARCEL 809

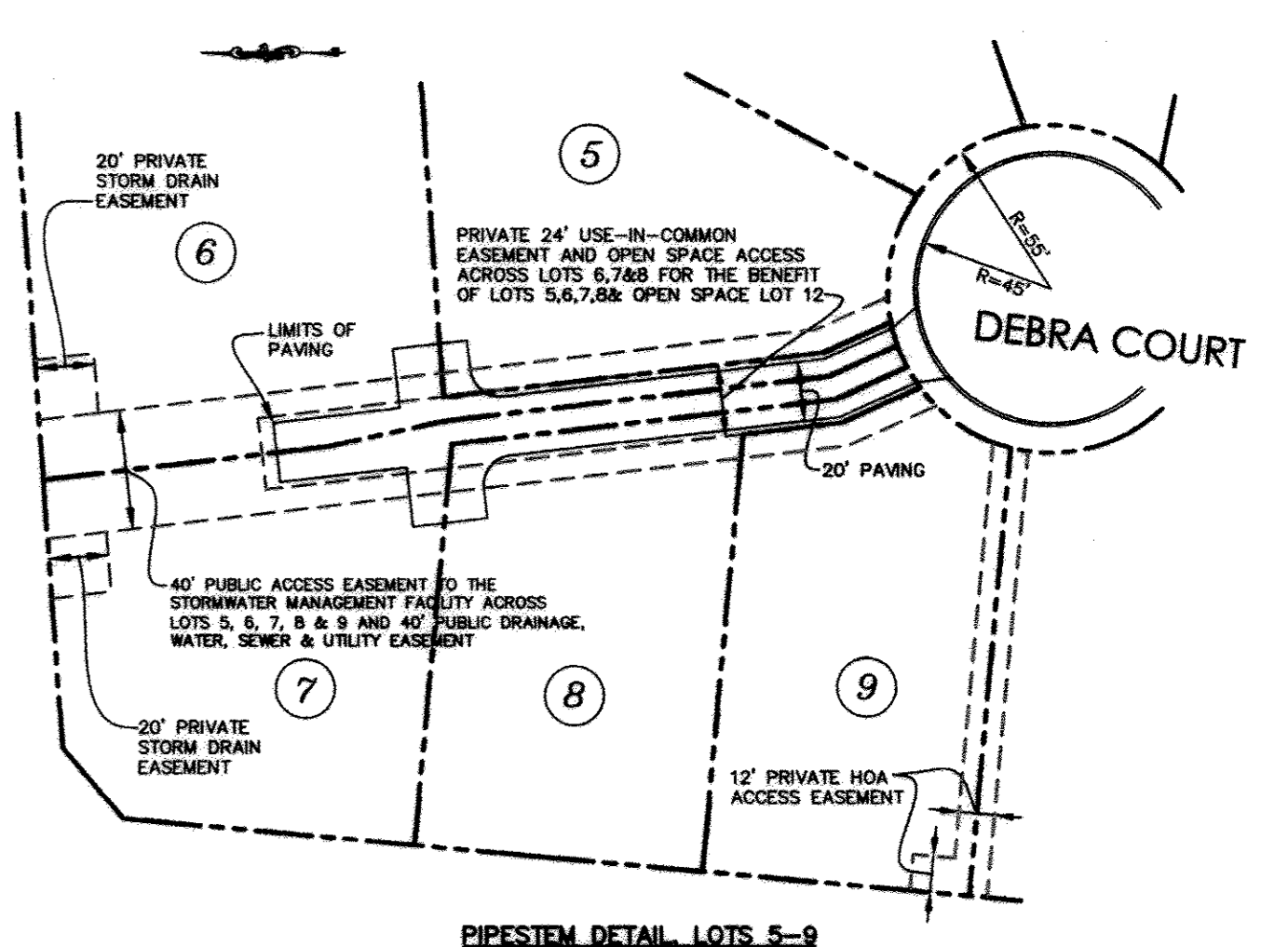
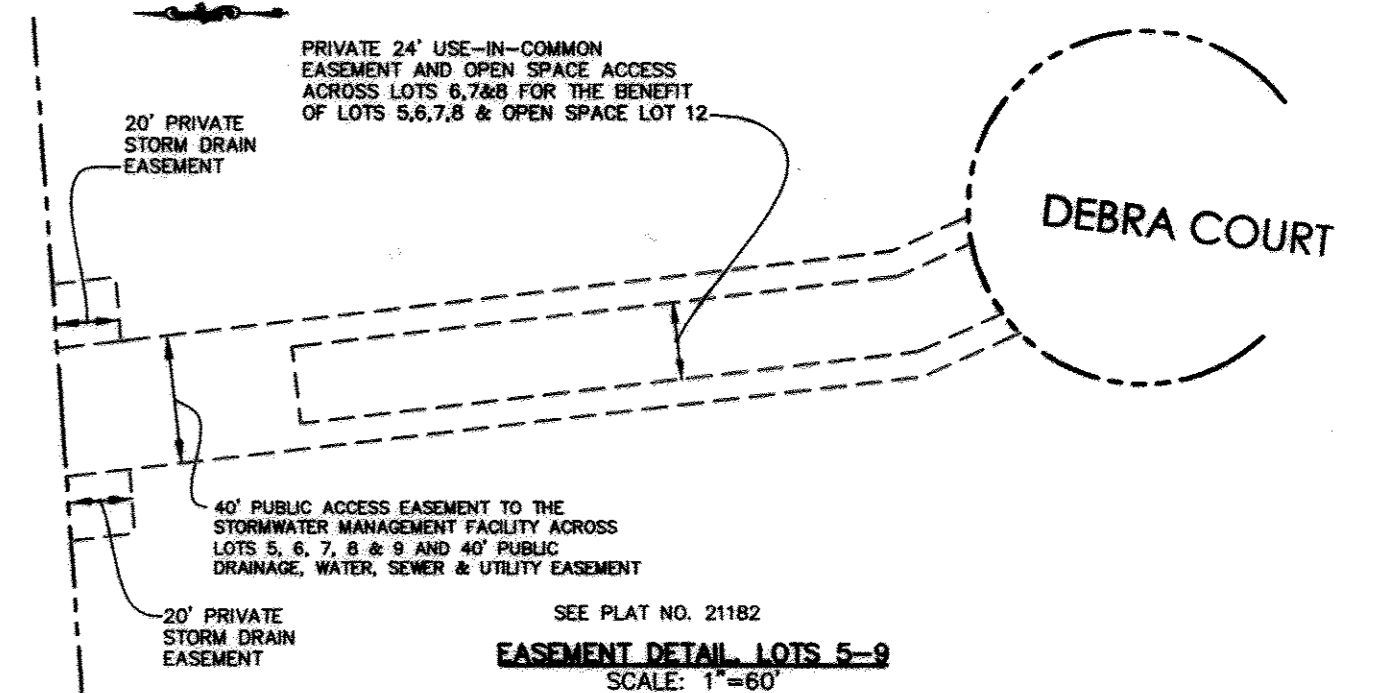
SHIRLEY J. CHOI
 9898 FREDERICK RD
 ELLICOTT CITY MD 21042
 DEED 6308/192
 TAX MAP 24 PARCEL 918

Y:\BARNDORA\0157\AWG\SDP\03 - SITE PLAN 1.dwg, 12/22/2010 2:15:23 PM, Designer: SDP\HPH\JL C77789, User: JLP, 139



LEGEND

EXISTING CONTOUR	136	LIMIT OF DISTURBANCE
PROPOSED CONTOUR	240	SPLIT RAIL FENCE	X
EXISTING CURB	---	PRIVATE EASEMENT	[Cross-hatch pattern]
PROPOSED CURB	---	PUBLIC EASEMENT	[Diagonal lines]
EXISTING WOODS	~~~~~	SLOPES GREATER THAN 25%	[Stippled pattern]
PROPOSED WOODS	~~~~~	FOREST CONSERVATION EASEMENT	[Hexagonal pattern]
UNMITIGATED 65 dba LINE TO BE REMOVED	(TBR)	FOREST CONSERVATION AND SWM CREDIT & UTILITY EASEMENT	[Grid pattern]
EXISTING UTILITY POLE	⊕	STREET TREES SEE F-09-070	[Tree symbol]
SOILS DELINEATION	G1C2	HOUSE ORIENTATION	[Arrow symbol]
15' NO WOODY VEGETATION LINE	WB		
100 YEAR FLOODPLAIN LIMITS (FEMA)	FP		
OVERHEAD WIRES	OW		
STREETLIGHT SEE F-09-070	☼		



LITTLE & ASSOCIATES, INC.
 ENGINEERS ~ LAND PLANNERS ~ SURVEYORS
 1055 TAYLOR AVENUE, SUITE 307
 TOWSON, MARYLAND 21286
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OWNER/DEVELOPER:
 KIMBERLY HOMES
 ELLICOTT PROPERTIES, LLC.
 P.O. BOX 6194
 BALTIMORE, MARYLAND, 21231
 (410) 522-4987

DES: AMK	
DRN: PFS	
CHK: AMK	LAI Δ MODIFY HOUSE DRW. P.W.M. LOCATION ON LOT 7 9/20/14
DATE: 11/17/09	LAI Δ REVISED LOCATION OF RAIN GARDEN ON LOT 4 10/13
BY: NO.	REVISION

SITE DEVELOPMENT PLANS
SITE PLAN 2
 SDP-10-079
DEBRA COURT
 LOTS 1 - 11 & OPEN SPACE LOT 12
 SINGLE FAMILY DETACHED

ELECTION DISTRICT 2 HOWARD COUNTY, MD
 SCALE: AS SHOWN M 22 C 2.3 P 918,812,1119
 PRIOR PLANS: F-09-070, P-08-003, S-04-02, JUNE 11, 2010
 PLAT 21180-21183 SHEET 4 OF 9

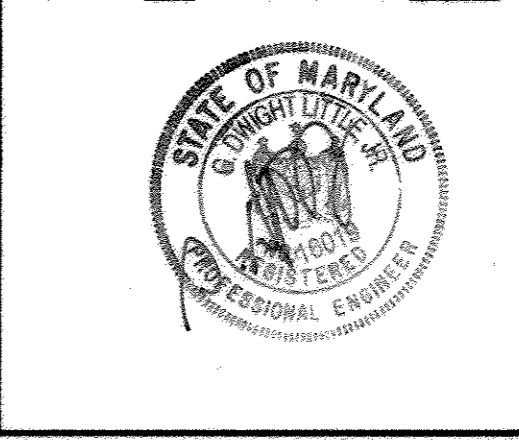
APPROVED: DEPARTMENT OF PLANNING & ZONING
 HOWARD COUNTY, MARYLAND

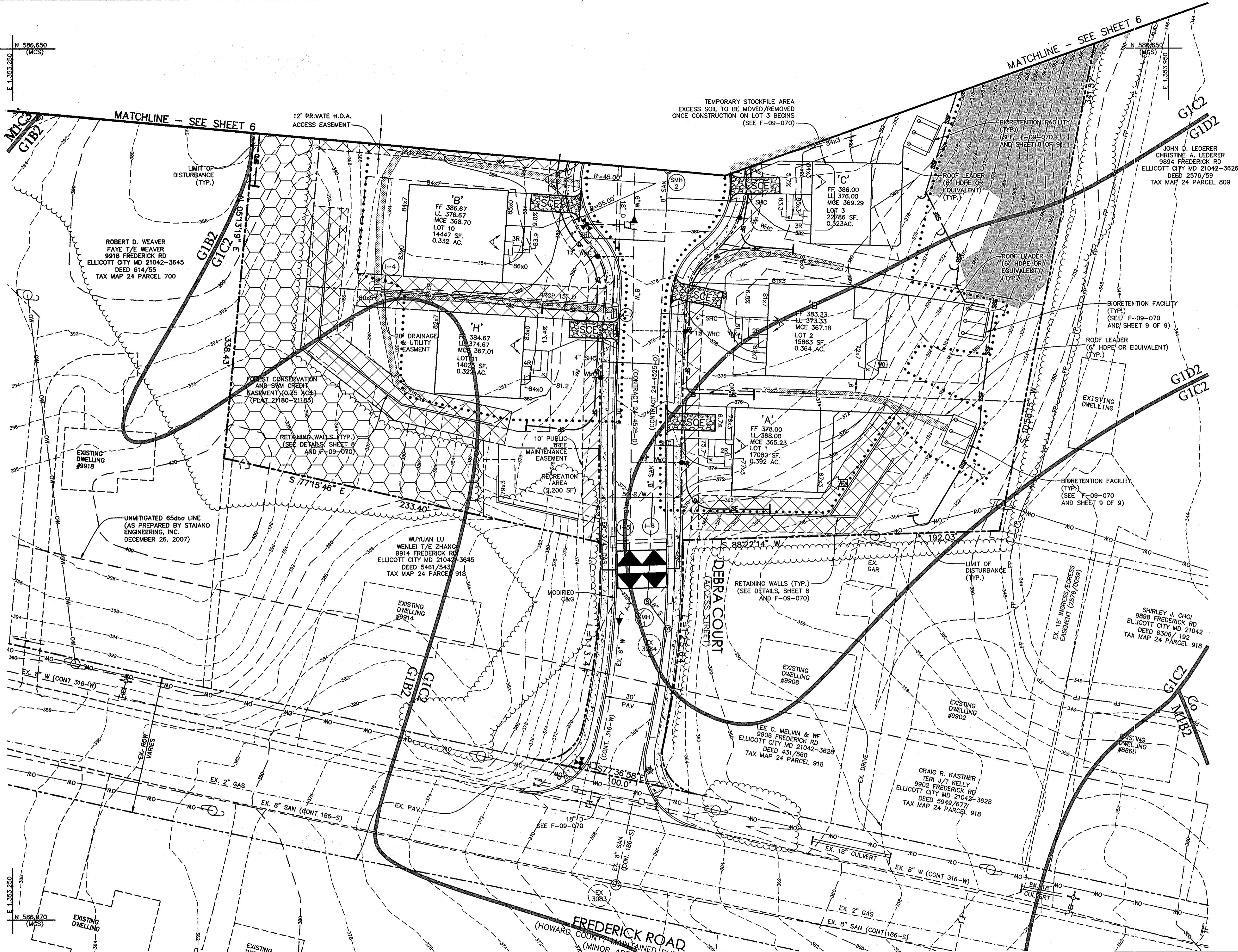
[Signature] 2/7/11
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] NY 2/08/11
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 2/8/11
 DIRECTOR DATE

NOTE: DESIGN AND DRAWING BASED ON THE MARYLAND COORDINATE SYSTEM
 HORIZONTAL - NAD 83/91,
 VERTICAL - NAVD 88





LEGEND

EXISTING CONTOUR	--- 136
PROPOSED CONTOUR	--- 221
EXISTING CURB	---
PROPOSED CURB	---
PROPOSED STORM DRAINS	---
EXISTING WOODS	---
PROPOSED WOODS	---
UNMITIGATED 65 dba LINE	---
TO BE REMOVED	(TBR)
EXISTING WATER VALVE	---
EXISTING FIRE HYDRANT	---
PROPOSED WATER VALVE	---
PROPOSED FIRE HYDRANT	---
EXISTING SEWER MANHOLE	---
EXISTING UTILITY POLE	---
SOILS DELINEATION	---
15' NO WOODY VEGETATION LINE	WB
100 YEAR FLOODPLAIN LIMITS (FEMA)	FP
OVERHEAD WIRES	OW
LIMIT OF DISTURBANCE	---
SPLIT RAIL FENCE	X

SOIL DESIGNATION	SOIL TYPES	SOIL CHARACTERISTICS	SOIL GROUP
Co ^o	COORUS SILT LOAM		C
GIB2 ^f	GLENELG WAM	3-8% MODERATELY ERODED	B
GIC2 ^f	GLENELG WAM	8-15% MODERATELY ERODED	B
GID2	GLENELG WAM	15-25% MODERATELY ERODED	B
Md	MADE LAND		D
MB2 ^f	MANOR LOAM	3-8% MODERATELY ERODED	B
MIC2 ^f	MANOR LOAM	8-15% MODERATELY ERODED	B
MIC3 ^f	MANOR LOAM	8-15% MODERATELY ERODED	B
MID2	MANOR LOAM	15-25% MODERATELY ERODED	B
MID3	MANOR LOAM	15-25% MODERATELY ERODED	B

SOIL SHOWN ARE TAKEN FROM HOWARD CO. SOILS MAP NO. 15.
 * INDICATES A HYDRIC SOIL
 # INDICATES A SOIL WITH SLOPES LESS THAN 15% AND SIGNIFICANT EROSION POTENTIAL

- GENERAL NOTES:**
- EXISTING SEDIMENT BASIN NO. 1 (F-09-070) IS TO REMAIN UNTIL CONSTRUCTION IS COMPLETED, WITH THE EXCEPTION OF LOTS 1, 2 AND 3.
 - CONSTRUCTION OF LOTS 1, 2 AND 3 IS TO BE DELAYED UNTIL SEDIMENT TRAP NO. 1 IS REMOVED (F-09-070).
 - LIMIT OF DISTURBANCE AND PROPOSED WOODS SYMBOLS ALONG PROPERTY LINES OR BUFFER LIMIT AS SHOWN ARE FOR CLARITY. ACTUAL LOCATION WILL BE AT THE PROPERTY LINE OR BUFFER LIMIT. THERE SHALL BE NO GRADING BEYOND THESE LIMITS.

PRIVATE EASEMENT	---
PUBLIC EASEMENT	---
SLOPES GREATER THAN 25%	---
FOREST CONSERVATION EASEMENT	---
FOREST CONSERVATION AND SWM CREDIT & UTILITY EASEMENT	---
STREETLIGHT SEE F-09-070	---
HOUSE ORIENTATION	---
STABILIZED CONSTRUCTION ENTRANCE (SCE)	---
SILT FENCE	---
SUPER SILT FENCE	---
SUPER FENCE DIVERSION	---
BUILDING RESTRICTION LINE	---
MOUNTABLE BERM	---
INLET PROTECTION	---
EARTH DIKE	---
TEMPORARY SWALE	---
REMOVABLE PUMPING STATION	RPS
GABION INFLOW PROTECTION	---
RIP-RAP OUTFALL PROTECTION	---
EROSION CONTROL MATTING (ECM)/SEED OR SOD	---

OWNER'S/ DEVELOPER'S CERTIFICATION:
 I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

Scott P. Wade 1-11-2011
 SIGNATURE OF OWNER/ DEVELOPER DATE

KIMBERLY HOMES ELLICOTT PROPERTIES LLC c/o SCOTT WADE
 PRINT NAME

CONSULTANTS CERTIFICATION
 I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

D. Little 1/11/11
 SIGNATURE DATE

G DWIGHT LITTLE, JR. 16019
 PRINT NAME MD. LICENSE NO.

WOODY VEGETATION NOTE:
 TREES, SHRUBS, OR OTHER WOODY VEGETATION WILL NOT BE ALLOWED WITHIN 25' OF THE INLET STRUCTURE IN THE POOL AREA, AND NOT ALLOWED ON, OR WITHIN 15' OF ANY PORTION OF THE EMBANKMENT.

STANDARD DISTURBANCE NOTE:
 THERE SHALL BE NO CLEARING, GRADING, CONSTRUCTION OR DISTURBANCE OF VEGETATION IN THE FOREST BUFFER EASEMENT AND FOREST CONSERVATION EASEMENTS.

1 inch = 30 ft

LIMIT OF DISTURBANCE
 131,491± SF (3.0± AC)

APPROVED: DEPARTMENT OF PLANNING & ZONING
 HOWARD COUNTY, MARYLAND

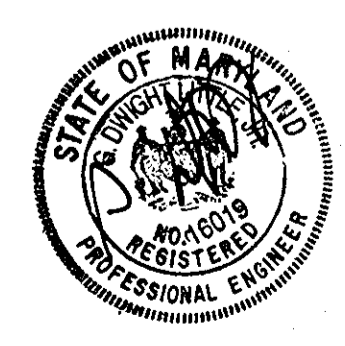
John R. Kastner 2/7/11
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Thomas J. Butler 2/8/11
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Thomas J. Butler 2/8/11
 DIRECTOR DATE

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. 16019, EXPIRATION DATE: 5/8/2012

John R. Kastner 1/20/11
 HOWARD SCD DATE



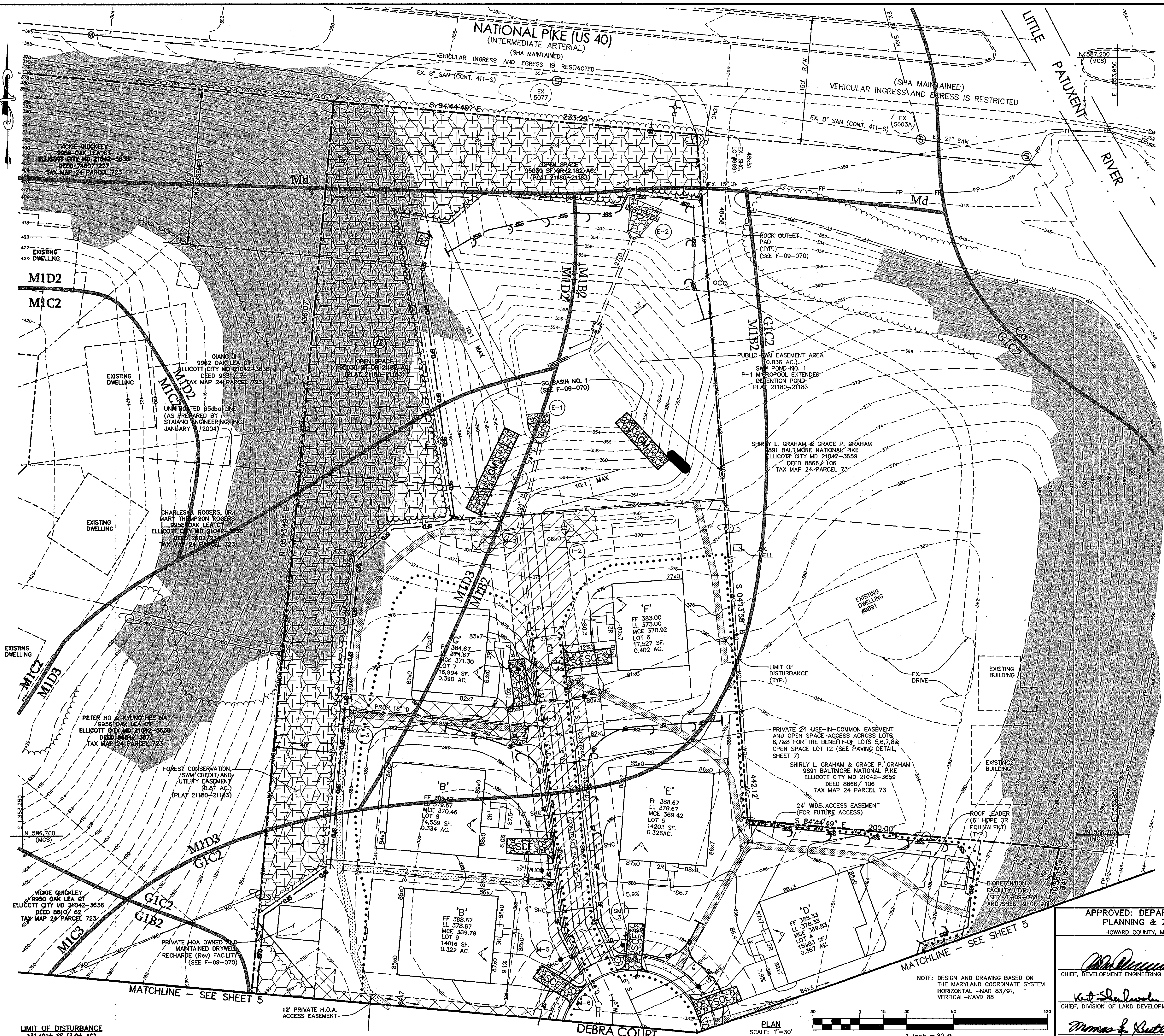
LITTLE & ASSOCIATES, INC.
 ENGINEERS~LAND PLANNERS~SURVEYORS
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 PHONE: (410)296-1636 FAX: (410)296-1639

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 P.O. BOX 5194
 BALTIMORE, MARYLAND, 21231
 (410) 522-4987

DES: AMK			
DRN: PFS			
CHK: AMK			
DATE: 11/17/09	BY NO.	REVISION	DATE

SITE DEVELOPMENT PLANS
GRADING & SEDIMENT CONTROL
AND SOILS MAP 1
 SDP-10-079
DEBRA COURT
 LOTS 1 - 11 & OPEN SPACE LOT 12
 SINGLE FAMILY DETACHED

ELECTION DISTRICT 2 HOWARD COUNTY, MD
 SCALE: AS SHOWN M 24 G 2.3 P 918,812,1119
 PRIOR PLANS: F-09-070, P-08-003, S-04-02, JUNE 11, 2010
 PLAT 21180-21183 SHEET 5 OF 9
 SDP-10-079



EX. SC BASIN NO. 1 TABLE**

BASIN TYPE	BASIN	
EXISTING DRAINAGE AREA (ACRES):	2.65	
INTERIM DRAINAGE AREA (ACRES):	2.05	
PROPOSED DRAINAGE AREA (ACRES):	4.48	
STORAGE REQUIRED (CUBIC FEET)	C/D	4,077
	WET	8,154
TOTAL	DRY	8,154
	TOTAL	16,308
STORAGE PROVIDED (CUBIC FEET)	C/D	3,954
	WET	9,550
TOTAL	DRY	21,631
	TOTAL	31,181
EXISTING GROUND ELEVATION	353.0±	
TOP EMBANKMENT ELEVATION	362.00	
WEIR CREST ELEVATION	358.00 (SC)	
DRY STORAGE ELEVATION	358.00	
WET STORAGE ELEVATION	355.00	
CLEANOUT ELEVATION	354.00	
BOTTOM ELEVATION	353.00	
DEPTH OF CHANNEL	N/A	
OUTLET WIDTH	N/A	
BOTTOM DIMENSION	N/A	
BASIN SIDE SLOPES	3:1	
BASIN DEPTH	WET	2.00'
	DRY	5.00'
TOTAL	7.00'	
BARREL DIAMETER	27"	
RISER DIMENSIONS (PER SIDE)	4"	
WET STORAGE ZONE ELEVATION	353.00-355.00	
DRY STORAGE ZONE ELEVATION	355.00-358.00	
1-YR DISCHARGE (EX. CONDITION)	1.2 CFS	
1-YR DISCHARGE (INT. CONDITION)	0.2 CFS	
1-YR DISCHARGE (PROP. CONDITION)	0.3 CFS	

LEGEND

EXISTING CONTOUR	--- 136
PROPOSED CONTOUR	--- 240
EXISTING CURB	=====
PROPOSED CURB	=====
PROPOSED STORM DRAINS	=====
EXISTING WOODS	=====
PROPOSED WOODS	=====
UNMITIGATED 65 dba LINE	-----
TO BE REMOVED	(TBR)
EXISTING WATER VALVE	⊗
EXISTING FIRE HYDRANT	⊗
PROPOSED WATER VALVE	⊗
PROPOSED FIRE HYDRANT	⊗
EXISTING SEWER MANHOLE	⊗
EXISTING UTILITY POLE	⊗
SOILS DELINEATION	=====
15' NO WOODY VEGETATION LINE	--- WB --- WB ---
100 YEAR FLOODPLAIN LIMITS (FEMA)	--- FP --- FP ---
OVERHEAD WRES	--- OW --- OW ---
LIMIT OF DISTURBANCE
SPLIT RAIL FENCE	--- X --- X ---

GENERAL NOTES:

- EXISTING SEDIMENT BASIN NO. 1 (F-09-070) IS TO REMAIN UNTIL CONSTRUCTION IS COMPLETED, WITH THE EXCEPTION OF LOTS 1, 2 AND 3.
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STANDARD DISTURBANCE NOTE:
THERE SHALL BE NO CLEARING, GRADING, CONSTRUCTION OR DISTURBANCE OF VEGETATION IN THE FOREST BUFFER EASEMENT AND FOREST CONSERVATION EASEMENTS.

OWNER'S/ DEVELOPER'S CERTIFICATION:
I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I/WE ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

Scott Wade 1-11-2011
SIGNATURE OF OWNER/ DEVELOPER DATE
KIMBERLY HOMES ELLICOTT PROPERTIES LLC c/o SCOTT WADE
PRINT NAME

CONSULTANTS CERTIFICATION
I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

D. Little 1/11/11
SIGNATURE DATE
G DWIGHT LITTLE, JR. 16019 MD. LICENSE NO.

SOIL DESIGNATION	SOIL TYPES	SOIL CHARACTERISTICS	SOIL GROUP
Co	COORPUS SILT LOAM		C
GB2	GLENELG WAM	3-8% MODERATELY ERODED	B
GIC2	GLENELG WAM	8-15% MODERATELY ERODED	B
GID2	GLENELG WAM	15-25% MODERATELY ERODED	B
Md	MADE LAND		D
Md	MANOR LOAM	3-8% MODERATELY ERODED	B
MIC2	MANOR LOAM	8-15% MODERATELY ERODED	B
MIC3	MANOR LOAM	8-15% MODERATELY ERODED	B
MID2	MANOR LOAM	15-25% MODERATELY ERODED	B
MID3	MANOR LOAM	15-25% MODERATELY ERODED	B

SOIL SHOWN ARE TAKEN FROM HOWARD CO. SOILS MAP NO. 15.
* INDICATES A HYDRIC SOIL
INDICATES A SOIL WITH SLOPES LESS THAN 15% AND SIGNIFICANT EROSION POTENTIAL

HOWARD SOIL CONSERVATION DISTRICT:
THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Belton 1/25/11
HOWARD SCD DATE

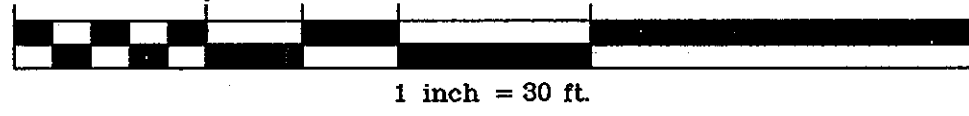
APPROVED: DEPARTMENT OF PLANNING & ZONING
HOWARD COUNTY, MARYLAND

W. D. ... 2/7/11
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
W. D. ... 2/28/11
CHIEF, DIVISION OF LAND DEVELOPMENT DATE
Thomas J. ... 2/7/11
DIRECTOR DATE

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 32224 - EXPIRATION DATE: 5/8/2012



NOTE: DESIGN AND DRAWING BASED ON THE MARYLAND COORDINATE SYSTEM
HORIZONTAL - NAD 83/91,
VERTICAL - NAVD 88



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ENGINEERS~LAND PLANNERS~SURVEYORS
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P.O. BOX 6104
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DES:	AMK	DATE:
DRN:	PPS	
CHK:	AMK	
DATE:	11/17/09	
BY:	NO.	DATE

**SITE DEVELOPMENT PLANS
GRADING & SEDIMENT CONTROL
AND SOILS MAP 2
SDP-10-079
DEBRA COURT
LOTS 1 - 11 & OPEN SPACE LOT 12
SINGLE FAMILY DETACHED**

ELECTION DISTRICT 2
SCALE: AS SHOWN
PRIOR PLANS: F-09-070, P-08-003, S-04-02,
PLAT 21180-21183

HOWARD COUNTY, MD
M 24 C 2.3 P 918,812,1119
JUNE 11, 2010
SHEET 6 OF 9
SDP-10-079

SEDIMENT CONTROL NOTES

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (313-1855).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERETO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: a) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3:1 b) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING (SEC. 51), SOD (SEC. 54), TEMPORARY SEEDING (SEC. 50), AND MULCHING (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL CONSTRUCTION FOR THEIR LATERAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:**
TOTAL AREA OF SITE 6.8 ACRES
AREA DISTURBED 3.0 ACRES
AREA TO BE ROOFED OR PAVED 1.4 ACRES
AREA TO BE VEGETATIVELY STABILIZED 1.6 ACRES
TOTAL CUT 9,800 CU.YDS.
TOTAL FILL 9,800 CU.YDS.
OFFSITE WASTE/BORROW AREA LOCATION IS TO BE DETERMINED. AREAS WILL HAVE ADEQUATE GRADING PERMITS AND APPROVED EROSION CONTROL PLANS. NO STOCKPILE IS PERMITTED OUTSIDE OF THE LIMIT OF DISTURBANCE.
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE. 9) ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.

SEQUENCE OF CONSTRUCTION

- OBTAIN GRADING PERMIT.
- INSTALL SEDIMENT CONTROLS AS SHOWN ON PLAN. (1 day)
- PERFORM NECESSARY GRADING AND STABILIZE THE SITE. (2 days)
- CONSTRUCT DWELLING ON SITE. (90 days)
- AFTER THE SITE IS STABILIZED AND PERMISSION IS GRANTED FROM THE SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT CONTROLS AND STABILIZE ANY REMAINING DISTURBED AREAS.

TEMPORARY SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION:

LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING. IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS:

APPLY 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ. FT.)

SEEDING:

FOR THE PERIODS MARCH 1 THROUGH APRIL 30, AND AUGUST 15 THROUGH NOVEMBER 15, SEED WITH 1 1/2 BUSHEL PER ANNUAL RYE (3.2 LBS/1,000 SQ.FT.) BEFORE SEEDING HARROW OR DISC. THRU AUGUST 14, SEED WITH 3 LBS/ACRE OF WEEPING LOVEGRASS (0.7 LBS/1000SQ.FT.). FOR THE PERIOD NOVEMBER 16 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOD.

MULCHING:

APPLY 1 1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1,000 SQ.FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL./1,000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT ACRES, ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL./1,000 SQ.FT.) FOR ANCHORING. REFER TO THE 1988 MARYLAND STANDARDS AND SPECIFICATION FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

PERMANENT SEEDING NOTES

ALL DISTURBED AREAS SHALL BE STABILIZED AS FOLLOWS:

SEEDBED PREPARATION:

LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING.

SOIL AMENDMENTS:

APPLY TWO TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/1,000 SQ.FT.) AND 600 LBS PER ACRE 0-20-20 FERTILIZER (14 LBS/1,000 SQ.FT.) BEFORE SEEDING HARROW OR DISC. INTO UPPER THREE INCHES OF SOIL. AT TIME OF SEEDING, APPLY 400 LBS PER ACRE 38-0-0 UREAFORM FERTILIZER (9 LBS/1,000 SQ.FT.) AND 500 LBS PER ACRE (11.5 LBS/1,000 SQ.FT.) OF 10-20-20 FERTILIZER.

SEEDING:

FOR THE PERIODS MARCH 1 THROUGH APRIL 30, AND AUGUST 1 THROUGH OCTOBER 15, SEED WITH 100 LBS PER ACRE (2.3 LBS/1,000 SQ.FT.) OF KENTUCKY 31 TALL FESCUE, FOR THE PERIOD MAY 1 THROUGH JULY 31, SEED WITH 60 LBS/ACRE (1.4 LBS/1,000 SQ.FT.) KENTUCKY 31 TALL FESCUE AND 2 LBS PER ACRE (0.05 LBS/1,000 SQ.FT.) OF WEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THROUGH FEBRUARY 28, PROTECT SITE BY: OPTION (1) - TWO TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING; OPTION (2) - USE SOD; OPTION (3) SEED WITH 100 LBS/ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH TWO TONS/ACRE WELL ANCHORED STRAW. ALL SLOPES SHOULD BE HYDROSEEDED.

MULCHING:

APPLY 1 1/2 TO 2 TONS PER ACRE (10 TO 90 LBS/1,000 SQ.FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING 200 GALLONS PER ACRE (5 GAL./1,000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT ACRES, ON SLOPES 8 FEET OR HIGHER USE 348 GALLONS PER ACRE (8 GAL./1,000 SQ.FT.) FOR ANCHORING.

MAINTENANCE:

INSPECT ALL SEEDED AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDING. * FOR PUBLIC PONDS SUBSTITUTE CHEMUNG GROWN VETCH AT 15 LBS/ACRE AND KENTUCKY 31 TALL FESCUE AT 40 LBS/ACRE AS THE SEEDING REQUIREMENT. OPTIMUM SEEDING DATE FOR THIS MIXTURE IS MARCH 1 TO APRIL 30.

STANDARDS & SPECIFICATIONS FOR TOPSOIL

DEFINITION: PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

PURPOSE: TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF THESE TYPES HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

CONDITIONS WHERE PRACTICE APPLIES:

- THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:
 - THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.
 - THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.
 - THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
 - THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.

FOR THE PURPOSE OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION. AREAS HAVING SLOPES STEEPER THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE PLANS.

CONSTRUCTION AND MATERIAL SPECIFICATIONS:

- TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY THE USDA IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENT STATION.
 - TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:
 - TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CINDERS, STONE, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 1/2" IN DIAMETER.
 - TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACKGRASS, JOHNSON GRASS, NUTSEDGE, POISON IVY, THISTLE OR OTHERS AS SPECIFIED.
 - WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.
 - FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES:
 - PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS.
 - FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES:
 - ON SOIL MEETING TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS DICTATING FERTILIZER AND LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING:
 - PH FOR TOPSOILS SHALL BE BETWEEN 6.0 AND 7.5. IF THE TESTED SOIL DEMONSTRATES A PH OF LESS THAN 6.0, SUFFICIENT LIME SHALL BE PRESCRIBED TO RAISE THE PH TO 6.5 OR HIGHER.
 - ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 1.5 PERCENT BY WEIGHT.
 - TOPSOIL HAVING SOLUBLE SALT CONTENT GREATER THAN 500 PARTS PER MILLION SHALL NOT BE USED.
 - NO SOD OR SEED SHALL BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.

NOTE: TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL.

- PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS.

V. TOPSOIL APPLICATION

- WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSION, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE, AND SEDIMENT TRAPS AND BASINS.
- GRADES ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE MAINTAINED, ALBERT 4"-8" HIGHER IN ELEVATION.
- TOPSOIL SHALL BE EVENLY DISTRIBUTED IN A 4" TO 8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SODDING AND SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.

ALTERNATIVE FOR PERMANENT SEEDING - INSTEAD OF APPLYING THE FULL AMOUNT OF LIME AND COMMERCIAL FERTILIZER, COMPOSTED SLUDGE AND AMENDMENTS MAY BE APPLIED AS SPECIFIED BELOW:

- COMPOSTED SLUDGE MATERIAL FOR USE AS SOIL CONDITIONER FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES SHALL BE TESTED TO PRESCRIBE AMENDMENTS AND FOR AREAS UNDER 5 ACRES SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:
 - COMPOSTED SLUDGE SHALL BE SUPPLIED BY, OR ORIGINATED FROM, A PERSON OR PERSONS WHO ARE PERMITTED (AT THE TIME OF ACQUISITION OF THE COMPOST) BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT UNDER COMAR 26.04.06.
 - COMPOSTED SLUDGE SHALL CONTAIN AT LEAST 1 PERCENT NITROGEN, 1.5 PERCENT PHOSPHOROUS, AND 0.2 PERCENT POTASSIUM AND HAVE A PH OF 7.0 TO 8.0. IF COMPOST DOES NOT MEET THE REQUIREMENTS, THE APPROPRIATE CONSTITUENTS MUST BE ADDED TO MEET THE REQUIREMENTS PRIOR TO USE.
 - COMPOSTED SLUDGE SHALL BE APPLIED AT A RATE OF 1 TON/1,000 SQ FT
- COMPOSTED SLUDGE SHALL BE AMENDED WITH A POTASSIUM FERTILIZER APPLIED AT A RATE OF 4 LBS/1,000 SQ SOIL, AND 1/2 THE NORMAL LIME APPLICATION RATE.

REFERENCES: GUIDELINE SPECIFICATIONS, SOIL PREPARATION AND SODDING, MD-VA, PUB. #1, COOPERATIVE EXTENSION SERVICE, UNIVERSITY OF MARYLAND AND VIRGINIA POLYTECHNIC INSTITUTES. REVISED 1973.

24.0 MATERIALS SPECIFICATIONS

CLASS	APPARENT OPENING SIZE MM. MAX.	GRAB TENSILE STRENGTH LB. MIN.	BURST STRENGTH PSI. MIN.
A	0.30 **	250	500
B	0.60	200	320
C	0.30	200	320
D	0.60	90	145
E	0.30	90	145
F (SILT FENCE)	0.40-0.80*	90	190

* US Std Sieve CW-02215 ** 0.5 MM Max. For Super Silt Fence

THE PROPERTIES SHALL BE DETERMINED IN ACCORDANCE WITH THE FOLLOWING PROPERTIES:

-APPEARANT OPENING SIZE MSMT 323

-GRAB TENSILE STRENGTH ASTM D 1682: 4x8" SPECIMEN, 1x2" CLAMPS, 12"/MIN. STRAIN RATE IN BOTH PRINCIPAL DIRECTIONS OF GEOTEXTILE FABRIC.

-BURST STRENGTH ASTM D 3786

THE FABRIC SHALL BE INERT TO COMMONLY ENCOUNTERED CHEMICALS AND HYDROCARBONS, AND WILL BE ROT AND MILDEW RESISTANT. IT SHALL BE MANUFACTURED FROM FIBERS CONSISTING OF LONG CHAIN SYNTHETIC POLYMERS, AND COMPOSED OF A MINIMUM OF 85% BY WEIGHT OF POLYOLEPHINS, POLYESTERS, OR POLYAMIDES. THE GEOTEXTILE FABRIC SHALL RESIST DETERIORATION FROM ULTRAVIOLET EXPOSURE.

IN ADDITION, CLASSES A THROUGH E SHALL HAVE A 0.01 CM./SEC. MINIMUM PERMEABILITY WHEN TESTED IN ACCORDANCE WITH MSMT 507, AND AN APPARENT MINIMUM ELONGATION OF 20 PERCENT (20%) WHEN TESTED IN ACCORDANCE WITH THE GRAB TENSILE STRENGTH REQUIREMENTS LISTED ABOVE.

SILT FENCE

CLASS F GEOTEXTILE FABRICS FOR SILT FENCE SHALL HAVE A 50 LBS MINIMUM TENSILE STRENGTH AND A 20 LBS MINIMUM TENSILE MODULES WHEN TESTED IN ACCORDANCE WITH MSMT 509. THE MATERIAL SHALL ALSO HAVE A 0.3 GAL./FT./MIN. FLOW RATE AND SEVENTY-FIVE PERCENT (75%) MINIMUM FILTERING EFFICIENCY WHEN TESTED IN ACCORDANCE WITH MSMT 322.

GEOTEXTILE FABRICS USED IN THE CONSTRUCTION OF SILT FENCE SHALL RESIST DETERIORATION FROM ULTRAVIOLET EXPOSURE. THE FABRIC SHALL CONTAIN SUFFICIENT AMOUNTS OF ULTRAVIOLET RAY INHIBITORS AND STABILIZERS TO PROVIDE A MINIMUM OF 12 MONTHS OF EXPECTED USABLE CONSTRUCTION LIFE AT A TEMPERATURE RANGE OF 0 TO 120 DEGREES F.

GENERAL NOTES

- REFER TO "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" FOR STANDARD DETAILS AND DETAILED SPECIFICATIONS OF EACH PRACTICE SPECIFIED HEREIN.
- WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, MINOR FIELD ADJUSTMENTS CAN AND WILL BE MADE TO INSURE THE CONTROL OF ANY SEDIMENT. CHANGES IN SEDIMENT CONTROL PRACTICES REQUIRE PRIOR APPROVAL OF THE SEDIMENT CONTROL INSPECTOR AND THE BALTIMORE COUNTY SOIL CONSERVATION DISTRICT.
- AT THE END OF EACH WORKING DAY, ALL SEDIMENT CONTROL PRACTICES WILL BE INSPECTED AND LEFT IN OPERATIONAL CONDITION.
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) SEVEN CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN THREE HORIZONTAL TO ONE VERTICAL (3:1), AND B) FOURTEEN DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE WHICH WILL REMAIN IDLE OVER FOURTEEN DAYS.
- ANY CHANGE TO THE GRADING PROPOSED ON THIS PLAN REQUIRES RE-SUBMISSION TO BALTIMORE COUNTY SOIL CONSERVATION DISTRICT FOR APPROVAL.
- DUST CONTROL WILL BE PROVIDED FOR ALL DISTURBED AREAS. REFER TO "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", PG. H-30-1 FOR ACCEPTABLE METHODS AND SPECIFICATIONS FOR DUST CONTROL.
- ANY VARIATIONS FROM THE SEQUENCE OF OPERATIONS STATED ON THIS PLAN REQUIRES THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR AND THE BALTIMORE COUNTY SOIL CONSERVATION DISTRICT PRIOR TO THE INITIATION OF THE CHANGE.
- EXCESS CUT OR BORROW MATERIALS SHALL GO TO, OR COME FROM, RESPECTIVELY, A SITE WITH AN OPEN GRADING PERMIT.

TEMPORARY DUST CONTROL MEASURES

- MULCHES - SEE STANDARDS FOR VEGETATIVE STABILIZATION WITH MULCHES ONLY. MULCH SHOULD BE CRIMPED OR STACKED TO PREVENT BLOWING.
- VEGETATIVE COVER - SEE STANDARDS FOR TEMPORARY VEGETATIVE COVER.
- TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS AN EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12" APART. SPRING-TOOTHED HARROWS AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
- IRRIGATION - THIS IS GENERALLY DONE AS AN EMERGENCY TREATMENT. SITE IS SPRINKLED WITH WATER UNTIL THE SURFACE IS MOIST. REPEAT AS NEEDED, AT NO TIME SHOULD THE SITE BE IRRIGATED TO THE POINT THAT RUNOFF BEGINS TO FLOW.
- BARRIERS - SOLID BOARD FENCES, SILT FENCES, SNOW FENCES, BURLAP FENCES, STRAW BALES, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING. BARRIERS PLACED AT RIGHT ANGLES TO PREVAILING CURRENTS AT INTERVAL OF ABOUT 10 TIMES THEIR HEIGHT ARE EFFECTIVE IN CONTROLLING SOIL BLOWING.
- CALCIUM CHLORIDE - APPLY AT RATES THAT WILL KEEP SURFACE MOIST. MAY NEED RETREATMENT.

PRIVATE INFILTRATION TRENCH OPERATION & MAINTENANCE SCHEDULE

- THE MONITORING WELLS AND STRUCTURES SHALL BE INSPECTED ON A QUARTERLY BASIS AND AFTER EVERY LARGE STORM EVENT.
- WATER LEVELS AND SEDIMENT BUILD UP IN THE MONITORING WELLS SHALL BE RECORDED OVER A PERIOD OF SEVERAL DAYS TO INSURE TRENCH DRAINAGE.
- A LOGBOOK SHALL BE MAINTAINED TO DETERMINE THE RATE AT WHICH THE FACILITY DRAINS.
- WHEN THE FACILITY BECOMES CLOGGED SO THAT IT DOES NOT DRAIN DOWN WITHIN THE 72 HOUR TIME PERIOD, CORRECTIVE ACTION SHALL BE TAKEN.
- THE MAINTENANCE LOGBOOK SHALL BE AVAILABLE TO HOWARD COUNTY FOR INSPECTION TO INSURE COMPLIANCE WITH OPERATION AND MAINTENANCE CRITERIA.
- ONCE THE PERFORMANCE CHARACTERISTICS OF THE INFILTRATION FACILITY HAVE BEEN VERIFIED, THE MONITORING SCHEDULE CAN BE REDUCED TO AN ANNUAL BASIS UNLESS THE PERFORMANCE DATA INDICATES THAT A MORE FREQUENT SCHEDULE IS REQUIRED.

PRIVATE BIORETENTION FILTER OPERATION & MAINTENANCE SCHEDULE

- ANNUAL MAINTENANCE OF PLANT MATERIAL, MULCH LAYER, AND SOIL LAYER IS REQUIRED. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE OR INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING.
- SCHEDULE OF PLANT INSPECTION WILL BE TWICE A YEAR IN SPRING AND FALL. THIS INSPECTION WILL INCLUDE REMOVAL OF DEAD AND DISEASED TREES AND SHRUBS AND REPLACEMENT OF ALL DEFICIENT STAKES AND WIRES.
- MULCH SHALL BE INSPECTED EACH SPRING. REMOVE EXCESS MULCH LAYER BEFORE APPLYING NEW LAYER. ONCE EVERY 2 OR 3 YEARS.
- SOIL EROSION TO BE ADDRESSED ON AN AS NEEDED BASIS, WITH MINIMUM OF ONCE PER MONTH AND AFTER HEAVY STORM EVENTS.

MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND JOINTLY MAINTAINED STORMWATER PONDS

ROUTINE MAINTENANCE (BY HOA):

- FACILITY SHALL BE INSPECTED ANNUALLY AND AFTER MAJOR STORMS. INSPECTIONS SHALL BE PERFORMED DURING WET WEATHER TO DETERMINE IF THE POND IS FUNCTIONING PROPERLY.
- TOP AND SIDE SLOPES OF THE EMBANKMENT SHALL BE MOWED A MINIMUM OF TWO (2) TIMES PER YEAR, ONCE IN JUNE AND ONCE IN SEPTEMBER. OTHER SIDE SLOPES AND MAINTENANCE ACCESS SHALL BE MOWED AS NEEDED.
- DEBRIS AND LITTER SHALL BE REMOVED DURING REGULAR MOWING OPERATIONS AND AS NEEDED.
- VISIBLE SIGNS OF EROSION IN THE POND AS WELL AS THE RIPRAP OR GABION OUTLET AREA SHALL BE REPAIRED AS SOON AS IT IS NOTICED.

NON-ROUTINE MAINTENANCE (BY COUNTY):

- STRUCTURAL COMPONENTS OF THE POND SUCH AS THE DAM, THE RISER, AND THE PIPES SHALL BE REPAIRED UPON THE DETECTION OF ANY DAMAGE. THE COMPONENTS SHALL BE INSPECTED DURING ROUTINE MAINTENANCE OPERATIONS. SEDIMENT SHALL BE REMOVED FROM THE POND, AND FOREBAY, NO LATER THAN WHEN THE CAPACITY OF THE POND, OR FOREBAY, IS HALF FULL OF SEDIMENT, OR WHEN DEEMED NECESSARY FOR AESTHETIC REASONS, UPON APPROVAL FROM THE DEPARTMENT OF PUBLIC WORKS.

POND OPERATION, MAINTENANCE AND INSPECTION

INSPECTION OF THE POND(S) SHOWN HEREON SHALL BE PERFORMED AT LEAST ANNUALLY, IN ACCORDANCE WITH THE CHECKLIST AND REQUIREMENTS CONTAINED WITHIN USDA, SCS "STANDARDS AND SPECIFICATIONS FOR PONDS" (MD-378). THE POND OWNER(S) AND ANY HEIRS, SUCCESSORS, OR ASSIGNS SHALL BE RESPONSIBLE FOR THE SAFETY OF THE POND AND THE CONTINUED OPERATION, SURVEILLANCE, INSPECTION, AND MAINTENANCE THEREOF. THE POND OWNER(S) SHALL PROMPTLY NOTIFY THE SOIL CONSERVATION DISTRICT OF ANY UNUSUAL OBSERVATIONS THAT MAY BE INDICATIONS OF DISTRESS SUCH AS EXCESSIVE SEEPAGE, TURBID SEEPAGE, SLIDING OR SLUMPING.

SEQUENCE OF CONSTRUCTION

- OBTAIN GRADING PERMITS. ALL SEDIMENT CONTROL DEVICES FROM PLAN F-09-070 ARE TO REMAIN IN PLACE FOR THE DURATION OF THIS PROJECT.
- INSTALL A STABILIZED CONSTRUCTION ENTRANCE AT EACH BUILDING LOT AS HOUSE CONSTRUCTION BEGINS. INSTALL SILT FENCE AND SUPER SILT FENCE.
- PROCEED WITH ROUGH GRADING OF HOUSE SITES. (12 MONTHS) CONTRACTOR IS TO PROVIDE DUST CONTROL AS NECESSARY AND AS DIRECTED BY THE INSPECTOR. CONTRACTOR TO INSPECT AND REPAIR OR REPLACE EARTH DIKES DAILY WHILE MAINTAINING POSITIVE DRAINAGE TO EXISTING BASIN.
- BEGIN CONSTRUCTION OF THE INDIVIDUAL HOUSES. TEMPORARY STOCKPILE IS TO BE REMOVED FROM LOT 3 ONCE CONSTRUCTION ON THIS LOT COMMENCES AND MOVED OR REMOVED FROM SITE.
- APPLY TOPSOIL AND STABILIZE DISTURBED AREAS IN ACCORDANCE WITH PERMANENT SEEDING NOTES. (2 WEEKS)
- ONCE SITE IS STABILIZED CONSTRUCT BIORETENTION FACILITIES AND LANDSCAPE. (1 WEEK)
- UPON PERMISSION OF COUNTY SEDIMENT CONTROL INSPECTOR, REMOVE ALL REMAINING SEDIMENT CONTROL DEVICES AND CONVERT SEDIMENT BASIN TO PERMANENT STORMWATER MANAGEMENT FACILITY PER PLAN F-09-070. CONVERT FACILITY IN THE FOLLOWING STEPS:
 - FLUSH STORM DRAIN SYSTEM.
 - PUMP OUT STANDING WATER IN BASIN USING PUMP STATION. (2 DAYS)
 - REMOVE ACCUMULATED SEDIMENT. (2 DAYS)
 - REMOVE TEMPORARY DRAWDOWN DEVICE AND PLYWOOD. (1 DAY)
 - INSTALL ORIFICE PLATE. (1 DAY)
 - STABILIZE ANY REMAINING DISTURBED AREAS IN ACCORDANCE WITH PERMANENT SEEDING NOTES. (1 DAY)

OWNER'S/ DEVELOPER'S CERTIFICATION:

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

Scott Wade 1-11-2016
SIGNATURE OF OWNER/ DEVELOPER DATE

KIMBERLY HOMES ELLICOTT PROPERTIES LLC c/o SCOTT WADE
PRINT NAME

CONSULTANTS CERTIFICATION

"I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

D. Wright Little, Jr. 1/11/11
SIGNATURE DATE

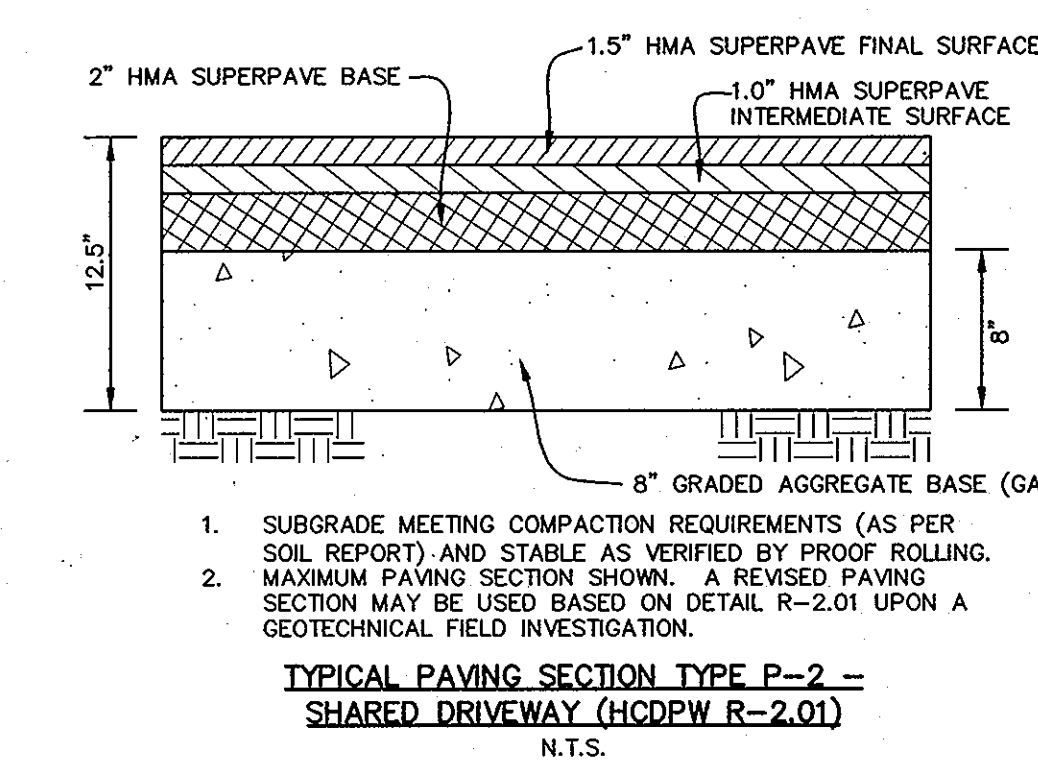
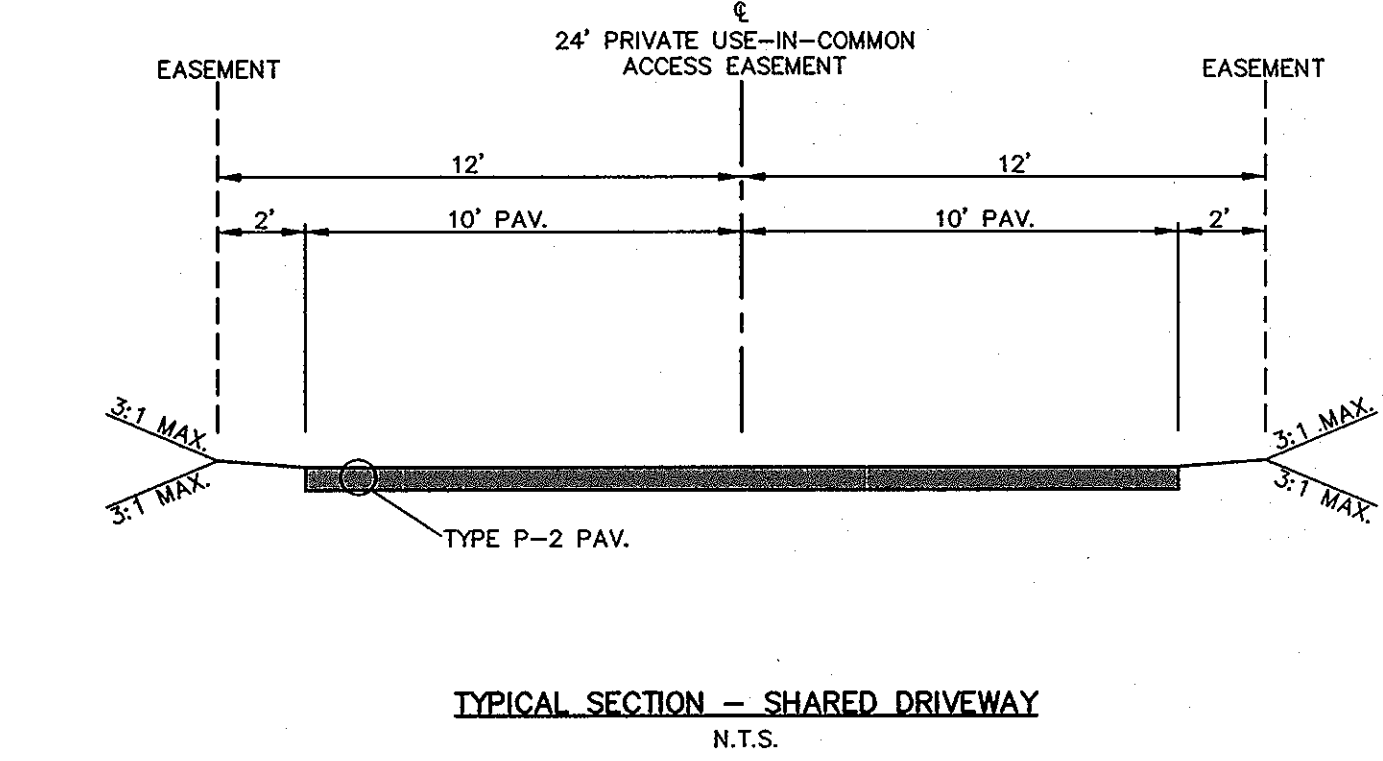
G DWIGHT LITTLE, JR. 16019
PRINT NAME MD. LICENSE NO.

LITTLE & ASSOCIATES, INC.
ENGINEERS ~ LAND PLANNERS ~ SURVEYORS
1055 TAYLOR AVENUE, SUITE 307
TOWSON, MARYLAND 21286
PHONE: (410)296-1636 FAX: (410)296-1639

OWNER/DEVELOPER:	
KIMBERLY HOMES ELLICOTT PROPERTIES, LLC. P.O. BOX 6194 BALTIMORE, MARYLAND, 21231 (410) 522-4987	
DES: AMK	
DRN: PFS	
CHK: AMK	
DATE: 11/17/09	REVISION: _____ DATE: _____

SITE DEVELOPMENT PLANS
SEDIMENT AND EROSION CONTROL NOTES
SDP-10-079
DEBRA COURT
LOTS 1 - 11 & OPEN SPACE LOT 12
SINGLE FAMILY DETACHED

ELECTION DISTRICT 2 HOWARD COUNTY, MD
SCALE AS SHOWN P 018,812,118
PRIOR PLANS: F-09-070, P-08-003, S-04-02 M 24 G 2,3 JUNE 11, 2010
PLAT 21180-21183 SHEET 7 OF 9
SDP-10-079



HOWARD SOIL CONSERVATION DISTRICT:
THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Roberts 2/1/11
HOWARD SCD DATE

APPROVED: DEPARTMENT OF PLANNING & ZONING
HOWARD COUNTY, MARYLAND

William J. ... 2/7/11
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Krista ... 2/08/11
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Thomas ... 2/8/11
DIRECTOR DATE

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 15018, EXPIRATION DATE: 5/9/2012



SUMMARY OF GENERAL STORAGE REQUIREMENTS - DA #1 - 1.22 AC.

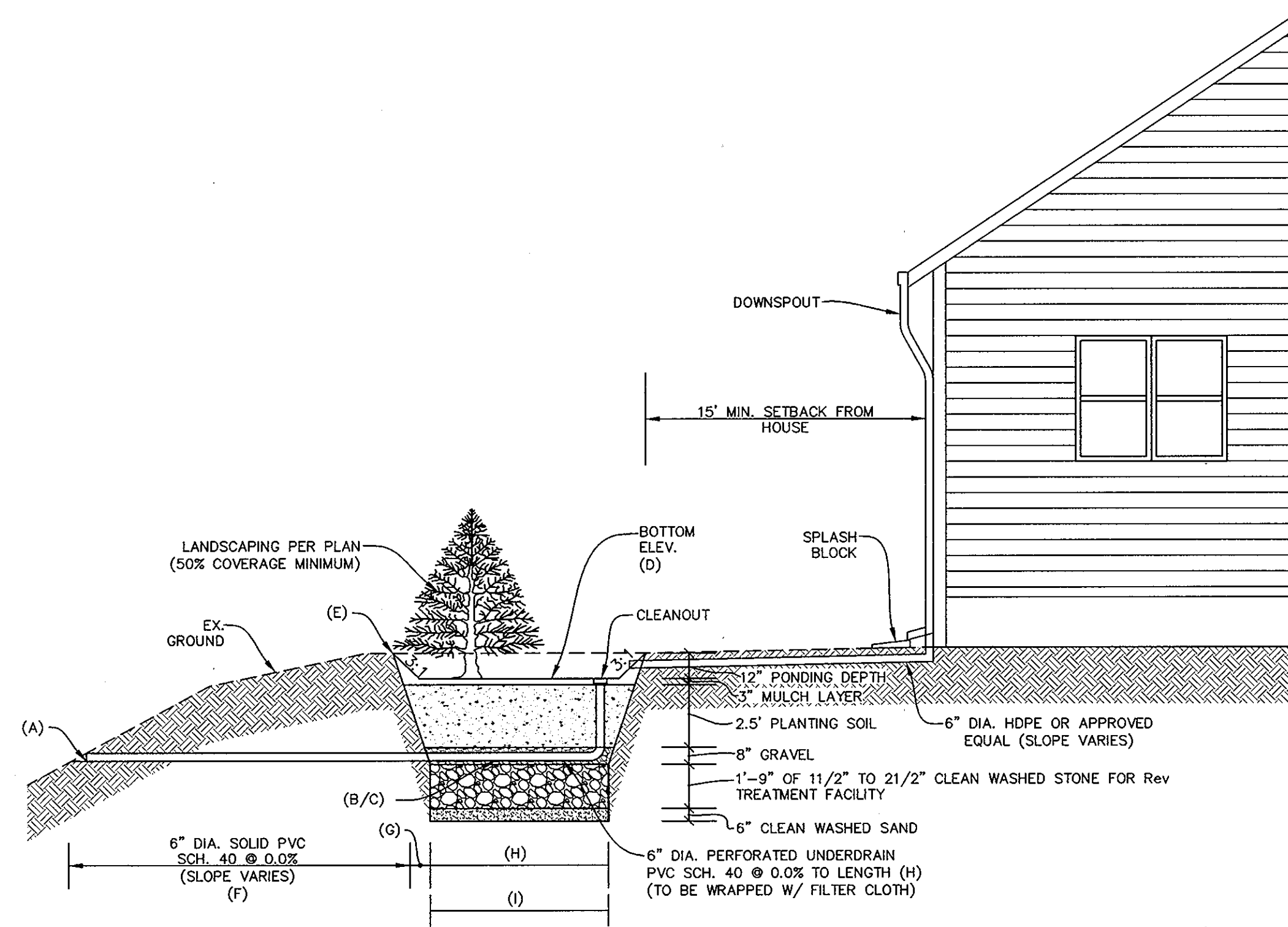
STEP	REQUIREMENTS	VOLUME REQUIRED (AC-FT)	VOLUME PROVIDED (AC-FT)	NOTES
1	WATER QUALITY VOLUME (WQv)	0.0325 (1,416 C.F.)	0.0344 (1,500 C.F.)	BIORETENTION
2	RECHARGE VOLUME (Rev)	0.0084 OR 0.0950 AC	0.0096 AC OR 0.0950 AC	UNDERGROUND STONE CHAMBER
3	CHANNEL PROTECTION VOLUME (Cpv)	N/A	N/A	NOT REQUIRED
4	OVERBANK FLOOD PROTECTION VOLUME (Op100)	N/A	N/A	NOT REQUIRED
5	EXTREME FLOOD VOLUME (Of100)	N/A	N/A	NOT REQUIRED

BIORETENTION AREAS PROPOSED TO TREAT THE WQv AND Rev FOR DA #1

FACILITY SUMMARY TABLE AREA 001					
BMP No.	Type	Detention Time	1-yr WSEL	10-yr WSEL	100-yr WSEL
2	BIORETENTION AREA	N/A	N/A	N/A	N/A

PRIVATE BIORETENTION FILTER OPERATION & MAINTENANCE SCHEDULE

- ANNUAL MAINTENANCE OF PLANT MATERIAL, MULCH LAYER, AND SOIL LAYER IS REQUIRED. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE OR INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING.
- SCHEDULE OF PLANT INSPECTION WILL BE TWICE A YEAR IN SPRING AND FALL. THIS INSPECTION WILL INCLUDE REMOVAL OF DEAD AND DISEASED TREES AND SHRUBS AND REPLACEMENT OF ALL DEFICIENT STAKES AND WIRES.
- MULCH SHALL BE INSPECTED EACH SPRING. REMOVE PREVIOUS MULCH LAYER BEFORE APPLYING NEW LAYER ONCE EVERY 2 OR 3 YEARS.
- SOIL EROSION TO BE ADDRESSED ON AN AS NEEDED BASIS, WITH MINIMUM OF ONCE PER MONTH AND AFTER HEAVY STORM EVENTS



AREA 001 BMP - LOTS 1-4
BIORETENTION FACILITY TYPICAL CROSS SECTION
NOT TO SCALE
(ALSO SEE F-09-070)

BIORETENTION FILTER DATA										
BIORETENTION FILTER	A	B	C	D	E	F	G	H	I	J
LOT #1	352.00	349.58	349.58	353	354	35	1	12.5	15	20
LOT #2	360.00	357.58	357.58	361	362	22	1	12.5	15	20
LOT #3	380.00	376.58	376.58	380	381	24	1	12.5	15	20
LOT #4	373.5	373.9	373.9	377.3	378.3	34	1	12.5	15	20

NOTE
ROOF LEADERS ON LOTS 1-4 SHALL BE DIRECTED TO THE CORRESPONDING BIORETENTION FACILITY USING 6" HDPE PIPE OR APPROVED EQUAL.

OWNER'S/ DEVELOPER'S CERTIFICATION:
"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

SIGNATURE OF OWNER/ DEVELOPER: *Kimberly Homes* DATE: 1-11-2011
KIMBERLY HOMES ELLICOTT PROPERTIES LLC c/o SCOTT WADE
PRINT NAME

CONSULTANTS CERTIFICATION
"I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THE HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION."

SIGNATURE: *D. Dwight Little, Jr.* DATE: 1/11/11
G DWIGHT LITTLE, JR. 16019
PRINT NAME MD. LICENSE NO.

LITTLE & ASSOCIATES, INC.
ENGINEERS~LAND PLANNERS~SURVEYORS
1055 TAYLOR AVENUE, SUITE 307
TOWSON, MARYLAND 21286
PHONE: (410)296-1636 FAX: (410)296-1639

OWNER/DEVELOPER:
KIMBERLY HOMES
ELLICOTT PROPERTIES, LLC.
P.O. BOX 5194
BALTIMORE, MARYLAND, 21231
(410) 522-4987

DES: AMK			
DRN: PFS			
CHK: AMK			
DATE: 11/17/09	BY: NO. 101	REVISION: REVISED LOCATION OF RAIN GARDEN ON LOT 4	DATE: 10/13

APPROVED: DEPARTMENT OF PLANNING & ZONING
HOWARD COUNTY, MARYLAND
John Deussen 2/7/11
CHIEF, DEVELOPMENT ENGINEERING DIVISION
Kate B. Deussen 2/10/11
CHIEF, DIVISION OF LAND DEVELOPMENT
Thomas E. Ruttler 2/10/11
DIRECTOR

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 18012, EXPIRATION DATE: 5/8/2012

SITE DEVELOPMENT PLANS
LOT 1-4 BIORETENTION FACILITY
NOTES AND DETAILS
SDP-10-079
DEBRA COURT
LOTS 1 - 11 & OPEN SPACE LOT 12
SINGLE FAMILY DETACHED
ELECTION DISTRICT 2 HOWARD COUNTY, MD
SCALE: AS SHOWN M 24 G 2,3 P 918,812,1119
PRIOR PLANS: F-09-070, P-08-003, S-04-02 JUNE 11, 2010
PLAT 21180-21183 SHEET 9 OF 9