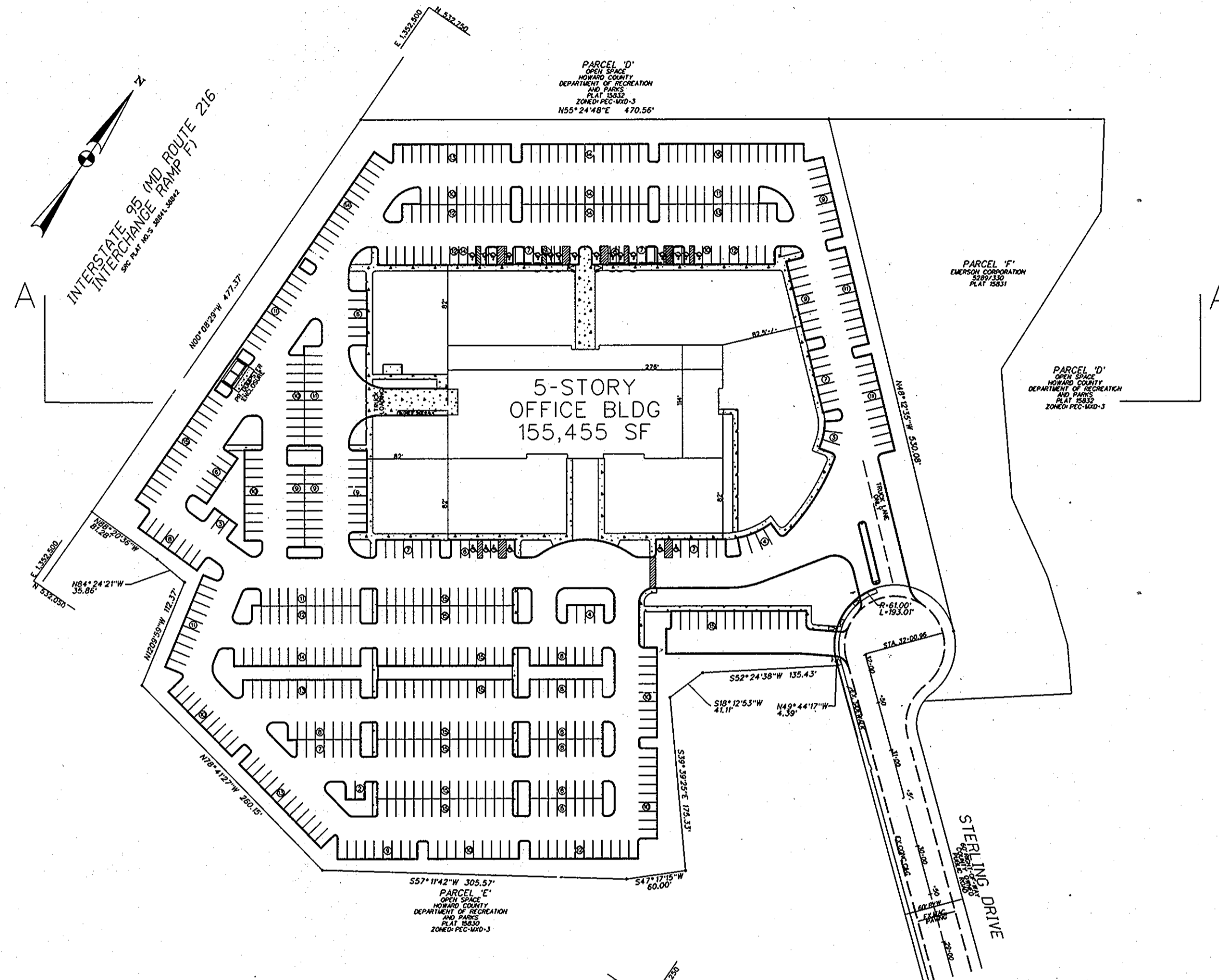


GENERAL NOTES

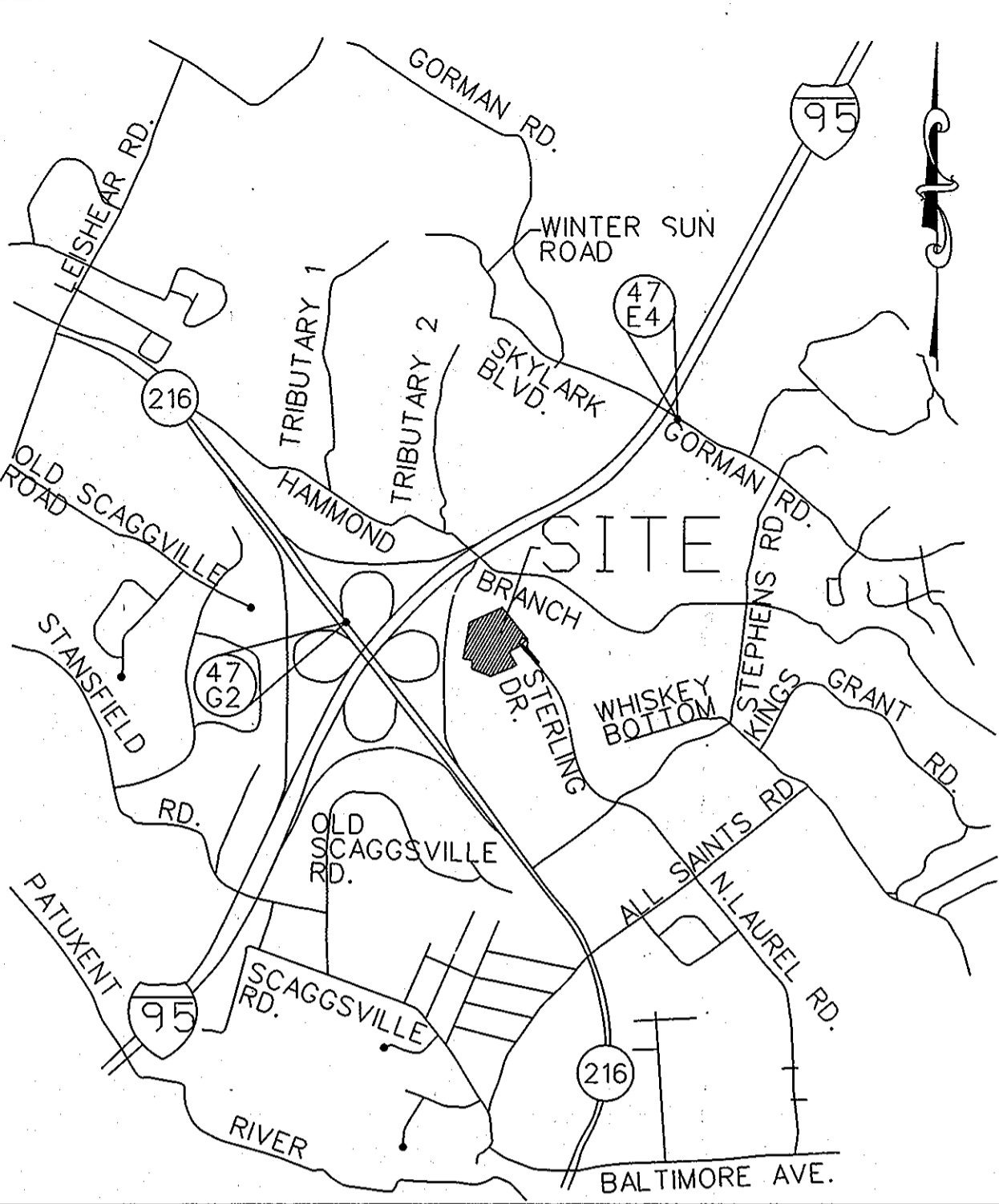
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE OR AS SPECIFIED.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE BASED SOLELY ON AVAILABLE RECORDS. CONTRACTOR SHALL VERIFY THE LOCATION OF ANY UTILITIES WHICH MAY BE IMPACTED BY THE WORK. MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTORS OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST FIVE (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS TO VERIFY THEIR LOCATION AND ELEVATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF LOCATION OF UTILITIES IS OTHER THAN SHOWN.
- THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE AND SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS BUREAU OF ENGINEERING & CONSTRUCTION INSPECTION DIVISION AT 410-313-1800 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK. ANY DAMAGE CAUSED BY THE CONTRACTOR TO EXISTING PUBLIC RIGHT-OF-WAY, EX. PAVING, EX. CURB & GUTTER, EX. UTILITIES, ETC. SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- EXISTING PUBLIC WATER AND PUBLIC SEWER PROVIDED BY CONTRACT NUMBER 24-4024-D. PROPOSED ONSITE PUBLIC WATER PROVIDED BY CONTRACT NUMBER 47-4652-D.
- THE SUBSURFACE EXPLORATION AND GEOTECHNICAL ENGINEERING ANALYSIS FOR THIS PROJECT WAS MADE ON OCTOBER 20, 2009 BY HERBST/BENSON & ASSOCIATES.
- ALL FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED AND VERIFIED IN ACCORDANCE WITH ASHTO T-99, AS SPECIFIED BY THE GEOTECHNICAL ENGINEER.
- OPERATING EXISTING VALVES, SWITCHES, SERVICES OR START UP OF NEW SERVICES SHALL BE COORDINATED WITH THE OWNERS REPRESENTATIVE. THE BUILDINGS WILL BE PROVIDED WITH A SPRINKLER SYSTEM.
- TRENCH COMPACTION FOR STORM DRAINS WITHIN THE ROAD OR STREET RIGHT OF WAY LIMITS SHALL BE IN ACCORDANCE WITH HOWARD COUNTY DESIGN MANUAL IV, 3-D, NO. G-2-01.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS.
- THE CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL WATER, SEWER, AND DRAIN HOUSE CONNECTIONS WITH THE MECHANICAL DRAWINGS.
- THE CONTRACTOR SHALL MAINTAIN 2.0 FEET MINIMUM PROTECTIVE COVER OVER ALL UTILITIES DURING CONSTRUCTION.
- THERE ARE NO KNOWN CEMETERIES OR BURIAL GROUNDS ON THIS SITE. HOWEVER, UPON DISCOVERY OF ANY EVIDENCE OF BURIAL OR GRAVES, THE DEVELOPER WILL BE SUBJECT TO SECTION 16.1305 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- ALL SLOPES 2:1 MIN.
- PAVING MARKINGS TO BE "TRAFFIC WHITE".
- CONTRACTOR SHALL MAINTAIN A MINIMUM 2 FOOT BENCH BEHIND CURB AND GUTTER IN FILL AREAS.
- ALL FIRE LINE PIPING SHALL MEET THE REQUIREMENTS OF THE NFPA PIPE SHALL BE UL LISTED, FM APPROVED AND MEET THE AWWA STANDARDS FOR FIRE PROTECTION USE. FITTINGS SHALL HAVE PRESSURE CLASS RATINGS COMPATIBLE WITH THE PIPE USED.
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3.5 FEET OF COVER OVER THE PRIVATE WATER MAIN SHOWN HEREON UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE ALL CRUMPS OR VERTICAL BENDS NECESSARY TO MAINTAIN CLEARANCES WITH OTHER UTILITIES.
- THE CONTRACTOR SHALL INSPECT THE SITE TO DETERMINE IF ANY TREES, PAVING OR STRUCTURES ARE TO BE REMOVED, PRIOR TO PLACING A BID ON THESE ITEMS. THE CONTRACTOR SHALL CLEAR THE CONSTRUCTION AREA OF ALL EXISTING TREES, PAVING, STRUCTURES, ETC., UNLESS NOTED ON PLAN.
- THE SUBJECT PROPERTY IS ZONED PEC-MXD-3 PER THE 2-2-04 COMPREHENSIVE ZONING PLAN AND THE "COMP LITE" ZONING AMENDMENTS EFFECTIVE 7/28/06.
- NO GRADING OR REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAMS OR THEIR BUFFERS, FORES CONSERVATION EASEMENT AREAS AND 100 YEAR FLOODPLAIN.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPERS AGREEMENT IN THE AMOUNT OF \$214,500.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- THE EXISTING TOPOGRAPHY IS TAKEN FROM FIELD RUN SURVEY WITH TWO FOOT CONTOUR INTERVALS PREPARED BY SHANABGER & LANE, DATED NOVEMBER 27, 2007. BOUNDARY INFORMATION SHOWN HEREON IS BASED UPON A BOUNDARY SURVEY PREPARED BY SURVEY SERVICES OF MD, LLC DATED DECEMBER 9, 2008.
- THE COURSE AND COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 4764 AND 4762 WERE USED FOR THIS PROJECT.
- ALL EXTERIOR LIGHTING SHALL COMPLY WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
- LIGHT TRESPASS ONTO ADJACENT RESIDENTIAL PROPERTIES SHALL BE LIMITED TO 0.5 FOOT CANDLES PER SECTION 134D OF THE HOWARD COUNTY ZONING REGULATIONS.
- THE TRAFFIC STUDY WAS PERFORMED BY TRAFFIC CONSULTANTS, INC. DATED OCTOBER 13, 2009.
- NOISE STUDY IS NOT REQUIRED FOR THIS INDUSTRIAL ZONED PROPERTY.
- CONTRACTOR TO PLACE A WITNESS POST AT THE TERMINUS OF ALL UTILITY STUBS.
- CONTRACTOR TO VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL WATER, SEWER AND STORM DRAIN CONNECTIONS AT THE BUILDING WITH THE MECHANICAL CONTRACTOR BEFORE BEGINNING CONSTRUCTION OF SERVICE CONNECTIONS TO SERVE THE BUILDING.
- CONCRETE WALL STOPS SHALL BE INSTALLED WHERE SHOWN ON THE PLAN AND SHALL BE PRECAST STANDARD CONCRETE, ANCHORED TO THE PAVEMENT WITH 2 STEEL RODS PER EACH WHEEL STOP DRIVEN A MINIMUM OF 8" INTO BITUMINOUS CONCRETE PAVEMENT OR TWO DOWELS PER EACH WHEEL STOP GROUDED A MINIMUM OF 4" INTO CEMENT PAVEMENT.
- STORM WATER MANAGEMENT REQUIREMENTS FOR THIS PROJECT WILL BE MET VIA A PRIVATE PERIMETER STORMWATER MANAGEMENT FACILITY. STORMWATER MANAGEMENT FACILITY QUALITY AND QUANTITY IS PROVIDED PER F-02-131. THE BMP WILL BE OWNED AND MAINTAINED BY THE OWNER, SUCCESSOR OR ASSIGNEE.
- HANDICAP PARKING DETAILS SHALL BE IN ACCORDANCE WITH THE MD BUILDING CODE FOR THE HANDICAPPED SECTION 5-01-7.05.
- ANY DAMAGE TO COUNTY OWNED RIGHT-OF-WAY SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- ALL SIDEWALKS SHALL BE CROSS SLOPED AT 1/4 INCH PER FOOT.
- ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV.
- ALL ON SITE DRIVEWAYS AND PARKING AREAS TO BE PRIVATELY MAINTAINED.
- ALL PROPOSED RAMP SHALL BE IN ACCORDANCE WITH CURRENT ADA STANDARDS.
- THIS PROPERTY IS LOCATED WITHIN THE METROPOLITAN DISTRICT.
- ELECTRIC, GAS, CABLE, TELEPHONE AND LIGHTING LINES DESIGNED BY OTHERS.
- THE FOREST CONSERVATION REQUIREMENTS UNDER SECTION 16.1200 FOR THIS SUBDIVISION WERE ADDRESSED WITH THE FINAL PLANS, F-02-131. CUMULATIVE FOREST CLEARING TOTALS 39.47 AC, CUMULATIVE RETENTION IS 45.83 AC AND CUMULATIVE REFORESTATION PROVIDED IS 5.03 AC.
- OPEN SPACE REQUIREMENTS FOR THIS SUBDIVISION WERE ADDRESSED WITH THE FINAL PLANS, F-02-131. OPEN SPACE REQUIRED - 24,604 AC (35% OF SITE ACREAGE) OPEN SPACE PROVIDED - 47,477 AC (68% OF SITE ACREAGE).
- THERE ARE NO SLOPES 15-24.9%, SLOPES 25% OR GREATER, WETLANDS, WETLAND BUFFERS, STREAMS, STREAM BUFFERS AND 100-YR FLOODPLAIN ONSITE.
- THIS SDP IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS PER COUNCIL BILL NO. 45-2003 AND THE AMENDED ZONING REGULATIONS PER COUNCIL NO. 75-2003 AND THE "COMP LITE" ZONING AMENDMENTS EFFECTIVE 07/28/06. DEVELOPMENT OR CONSTRUCTION ON THIS PROPERTY MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, WAIVER PETITION APPLICATION OR BUILDING/GRADING PERMIT APPLICATIONS.
- ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
- STREET LIGHT PLACEMENT AND THE TYPE OF FIXTURES AND POLE SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME III (2006), SECTION 5.5.A. A MINIMUM OF 20' SHALL BE MAINTAINED BETWEEN ANY STREET LIGHTS WITH ANY TREE.
- THE SITE IS CURRENTLY VACANT.
- PROPOSED BUILDING WILL HAVE AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM.
- WAIVER REQUEST #WP-10-072 TO WAIVE SECTION 16.155(a)(1)(ii) APPLICABILITY FOR WAIVER TO THE SITE DEVELOPMENT PLAN REQUIREMENT FOR NON-RESIDENTIAL OR COMMERCIAL PROPERTIES TO ALLOW MASS GRADING PRIOR TO APPROVAL OF A SITE DEVELOPMENT PLAN FOR ISSUANCE OF A GRADING PERMIT WAS APPROVED ON DECEMBER 18, 2009. APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:
 - APPROVAL FROM THE HOWARD SOIL CONSERVATION DISTRICT AND THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS IS REQUIRED FOR THE ASSOCIATED GRADING PLAN PRIOR TO THE ISSUANCE OF ANY REQUIRED PERMITS.
 - THE LIMIT OF DISTURBANCE IS RESTRICTED TO 45,500 SQUARE FEET FOR THE STABILIZED CONSTRUCTION ENTRANCE AND THE BUILDING FOOTPRINT ONLY.
 - THE PUBLIC WATER PLANS ARE APPROVED PRIOR TO APPROVAL OF SDP-10-042.
 - ALL REQUIRED DEVELOPER AGREEMENTS ASSOCIATED WITH SDP-10-042 AND/OR PUBLIC WATER PLANS ARE EXECUTED PRIOR TO SIGNATURE OF SDP-10-042.
- AN ALTERNATIVE COMPLIANCE TO DMV SECTION 5.2.5.E, TO REDUCE THE MIN. REQUIRED IMPERVIOUS COVER FROM 85% TO 75% WAS APPLIED FOR ON JANUARY 7, 2010. THE REQUEST WAS APPROVED ON JANUARY 19, 2010. THE MAXIMUM IMPERVIOUS AREA ALLOWED ON THE SITE SHALL BE NO MORE THAN 75% OF THE TOTAL SITE AREA.

SITE DEVELOPMENT PLAN for EMERSON - PARCEL C SECTION 3, AREA 1 HOWARD COUNTY, MARYLAND



RESOLUTION NOTES:

- RESOLUTION NO. 112-2011 (JULY 28, 2011)
A RESOLUTION TO CLOSE A PORTION OF S. ERLING DRIVE, AS SHOWN IN EXHIBITS A AND B, IN ACCORDANCE WITH SECTION 16.204 OF THE HOWARD COUNTY CODE AND PROVIDING THAT THE COSTS OF THE CLOSING WILL BE PAID BY ONE OR MORE DEVELOPERS.
- RESOLUTION NO. 113-2011 (JULY 28, 2011)
A RESOLUTION TO CLOSE A PORTION OF WHISKEY BOTTOM ROAD, AS SHOWN IN EXHIBITS A AND B, IN ACCORDANCE WITH SECTION 16.204 OF THE HOWARD COUNTY CODE AND PROVIDING THAT THE COSTS OF THE CLOSING WILL BE PAID BY ONE OR MORE DEVELOPERS.
- RESOLUTION NO. 118-2011 (JULY 28, 2011)
A RESOLUTION PURSUANT TO SECTIONS 16.301 AND 16.201(a) OF THE HOWARD COUNTY CODE, GRANTING A VARIANCE FOR GOVERNMENT USES FROM THE STRUCTURE AND USE SETBACK FOR A FENCE ON PROPERTY LOCATED ALONG MD ROUTE 216 AND STEPHENS ROAD AND LOCATED IN THE PLANNED EMPLOYMENT CENTER ZONING DISTRICT.
- RESOLUTION NO. 119-2011 (JULY 28, 2011)
A RESOLUTION DECLARING THAT A TOTAL OF APPROXIMATELY 64.664 ACRES OF REAL PROPERTY OWNED BY HOWARD COUNTY AND IDENTIFIED AS (1) A PORTION OF THE ROAD BED OF STERLING DRIVE AND WHISKEY BOTTOM ROAD AND (2) CERTAIN OPEN SPACE PARCELS, ARE NO LONGER NEEDED FOR PUBLIC PURPOSE AND AUTHORIZING THE COUNTY EXECUTIVE TO WAIVE THE ADVERTISING AND BIDDING REQUIREMENTS OF SECTION 4.201 OF THE HOWARD COUNTY CODE IN ORDER TO CONVEY THE PROPERTY TO THE HOMEOWNERS ASSOCIATION SERVING THE ADJACENT PROPERTIES, EMERSON DEVELOPMENT HOA LLC AND PROVIDING THAT THE COUNTY EXECUTIVE IS NOT BOUND TO CONVEY THE PROPERTY IF HE FINDS THAT THE LAND MAY HAVE A FURTHER PUBLIC USE AND SUBMITS HIS FINDINGS TO THE COUNTY FOR ITS CONSIDERATION.



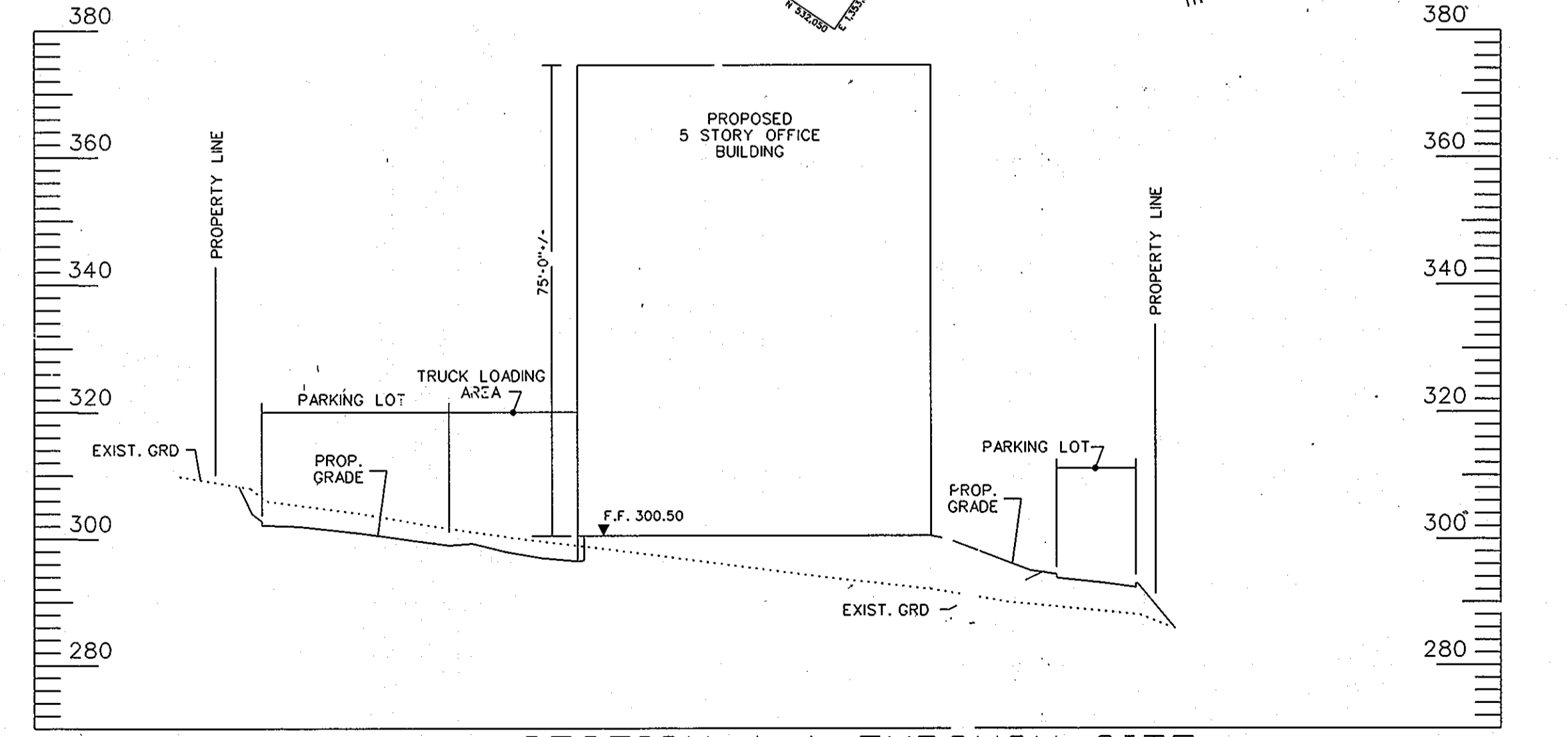
VICINITY MAP
SCALE: 1" = 200'
ADC MAP COORDINATES: N477,500 / E840,682

BENCH MARK
COORDINATES IN MARYLAND NAD83 (91) (HORIZONTAL) AND NAD29 (VERTICAL) DATUMS.

47E4	47G2
N 163,326.2295	N 162,440.1212
E 415,136.2550	E 411,953.9279
ELEV. 338.908 FT.	ELEV. 364.210 FT.

SHEET INDEX	
NO.	SHEET TITLE
1	COVER SHEET
2	SITE PLAN
2A	SITE PLAN
3	GRADING PLAN & UTILITY
3A	GRADING PLAN
4	SITE DETAILS I (NOT INCLUDED IN SUBMISSION)
5	SITE DETAILS II (NOT INCLUDED IN SUBMISSION)
5A	SITE DETAILS
6	STORM DRAIN DRAINAGE AREA MAP (NOT INCLUDED IN SUBMISSION)
7	UTILITY PROFILES (NOT INCLUDED IN SUBMISSION)
8	EROSION AND SEDIMENT CONTROL PLAN (NOT INCLUDED IN SUBMISSION)
8A	EROSION AND SEDIMENT CONTROL PLAN
9	EROSION AND SEDIMENT CONTROL DETAILS (NOT INCLUDED IN SUBMISSION)
10	EROSION AND SEDIMENT CONTROL NOTES (NOT INCLUDED IN SUBMISSION)
11	SOILS MAP & STORMWATER MANAGEMENT PLAN - RECHARGE ONLY (NOT INCLUDED IN SUBMISSION)
12	STORMWATER MANAGEMENT PROFILES AND DETAILS (NOT INCLUDED IN SUBMISSION)
13	LANDSCAPE PLAN (NOT INCLUDED IN SUBMISSION)
14	LANDSCAPE NOTES AND DETAILS (NOT INCLUDED IN SUBMISSION)

- I. GENERAL SITE DATA:**
- SITE AREA: 10.764 AC
 - PLAT REFERENCE: 20960
 - DEED REFERENCES: 11479/9
 - TAX ACCOUNT NUMBER: 06-572561
 - PRESENT ZONING: PEC-MXD-3
 - APPLICABLE DPZ FILE REFERENCES: F-02-11, F-02-131, F-10-071
 - EXISTING USE: VACANT
 - PROPOSED USE: 5 STORY OFFICE BUILDING (155,455 SF)
 - EXISTING WATER: PUBLIC
 - EXISTING SEWER: PUBLIC
 - EXISTING WATER AND SEWER CONTRACT #24-4024-D
- II. AREA TABULATION:**
- AREA: 468,880 SF OR 10.764 ACRES
 - TOTAL DISTURBED AREA: 561,926 SF OR 12.90 ACRES
 - TOTAL IMPERVIOUS AREA: 356,885.20 SF OR 8.23 ACRES - 76.2%
 - BUILDING COVERAGE TO SITE: 7.90% OR 0.85 AC
 - FAR: 155,455 SF / 468,880 SF = 0.331% < 0.35
- III. OPEN SPACE DATA: SEE GENERAL NOTE #45**
- IV. PARKING SPACE DATA:**
- PARKING REQUIRED: OFFICE - 155,455 SF @ 3.3 PS/1000 SF = 513 PS
 - PARKING PROVIDED: 692
- TOTAL INCLUDES:**
- 633 STANDARD SPACES @ 9' x 18'
 - 35 LOW EMITTING FUEL EFFICIENT VEHICLE SPACES @ 9' x 18'
 - 10 STANDARD HANDICAP SPACES @ 21' x 18' TWO SIDE BY SIDE
 - 4 VAN ACCESSIBLE HANDICAP SPACES @ 24' x 18' TWO SIDE BY SIDE
 - 10 MOTORCYCLE SPACES @ 4.5' x 18'



SECTION A-A THROUGH SITE
SCALE: H: 1" = 100'
V: 1" = 20'

NOTES:

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- CLOUDED REVISIONS WERE COMPLETED BY JACOBS ENGINEERING GROUP, INC.

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 31011, EXPIRATION DATE: 10/17/2012

BLDG
Baltimore Land Design Group Inc.
Consulting Engineers
222 SCHILLING CIRCLE SUITE 105 HUNT VALLEY, MARYLAND 21030
PHONE: 410.229.9851 • FAX: 410.229.9865 BLDG@BLDGINC.COM



OWNER / DEVELOPER
EMERSON DEVELOPMENT III LLC
CO DLA PAPER LLP
1 TEXAS STATION COURT
SUITE 200
TIMONIUM, MD 21093-8288
(443) 689-8000

DATE	ITEM	BY
12/31/09	REVISED PER HOWARD COUNTY COMMENTS	BLDG
01/22/10	REVISED PER HOWARD COUNTY COMMENTS	BLDG
03/17/10	REVISED PER OLP COMMENTS	BLDG
09/07/11	REVISED SITE DEVELOPMENT PLAN	ACOBS

HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN

COVER SHEET
EMERSON - PARCEL 'C'
5 STORY OFFICE BUILDING

PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.	
EMERSON	3 / 1	C / 1051	
PLAT NO. or L/F	GRID NO.	ZONING	TAX MAP NO.
20960	G14	PEC-MXD-3	47
ELEC. DIST.	CENSUS TRACT		
6TH	6069-03		

SHEET 1 OF 14
DATE: JANUARY 25, 2010
SDP-10-042

REVISION

LEGEND

RIGHT-OF-WAY LINE	=====
PROPERTY LINE	=====
EX. STORM DRAIN	EX. 18" D
EX. SANITARY SEWER, MANHOLE & CLEANOUT	EX. 8" S
EX. WATER MAIN, VALVE & FIRE HYDRANT	EX. 8" W
EX. ELECTRIC LINE	-----
EX. TREE LINE	-----
EX. INDEX CONTOURS	-----300-----
EX. INTERMEDIATE CONTOURS	-----298-----
PR. TREE LINE	-----
PR. STORM DRAIN	PR. 18" D
PR. SANITARY SEWER & CLEANOUT	PR. 8" S
PR. WATER MAIN, VALVE & FIRE HYDRANT	PR. 8" W
PR. EASEMENT LINE	-----
PR. INDEX CONTOURS	-----300-----
PR. INTERMEDIATE CONTOURS	-----298-----
PR. CONC. CURB & GUTTER	=====
PR. PARKING COUNT	(B)
PR. LOW EMITTING / FUEL EFFICIENT VEHICLE PARKING	LE FEV
PR. ON-SITE LIGHTS	
COOPER ICON TWIN ASSEMBLY WITH DIAM. SHAPED CONC. BASE	(Symbol)
COOPER ICON TWIN ASSEMBLY	(Symbol)
COOPER ICON SINGLE	(Symbol)
SATURN CUTOFF 12" COLUMN LIGHT	(Symbol)

NOTE
 1. SEE SHEET 4 OF 14 FOR HANDICAP ACCESSIBLE ROUTES FOR PROPOSED BUILDING.
 2. SEE SHEET 5 OF 14 FOR LIGHTING DETAIL.
 3. SEE SHEET 5 OF 14 FOR PAVEMENT DETAIL FOR MAIN ENTRANCE.

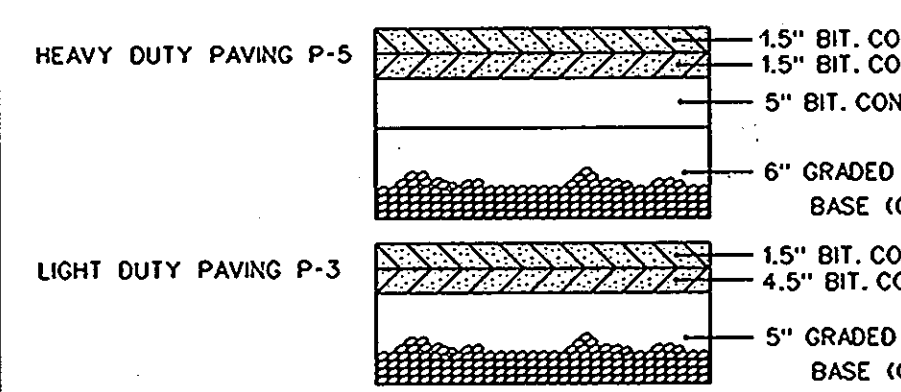
SITE CONSTRUCTION NOTES

1. STERLING DRIVE: SAW CUT EXISTING PAVING. REMOVE EXISTING CONCRETE CURB & GUTTER AND EX. SIDEWALK. REGRADE. INSTALL NEW CONCRETE CURB & GUTTER (SEE HOWARD CO. STD. DETAIL PLATE R-3.0) AND NEW PAVING. MATCH EXISTING CONCRETE CURB & GUTTER FOR GRADE AND LINE. PROVIDE HANDICAP RAMPS (R-4.05) AT CURB RETURNS OF THE ENTRANCES AS SHOWN ON THE PLAN.

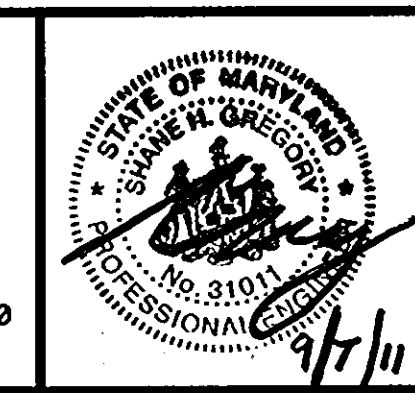
PAVEMENT SECTION LEGEND

HEAVY DUTY PAVING	(Symbol)
LIGHT DUTY PAVING	(Symbol)
CONCRETE	(Symbol)

PAVEMENT SECTION DETAILS



BLDG
 Baltimore Land Design Group Inc.
 Consulting Engineers
 222 SCHILLING CIRCLE SUITE 105 HUNT VALLEY, MARYLAND 21083
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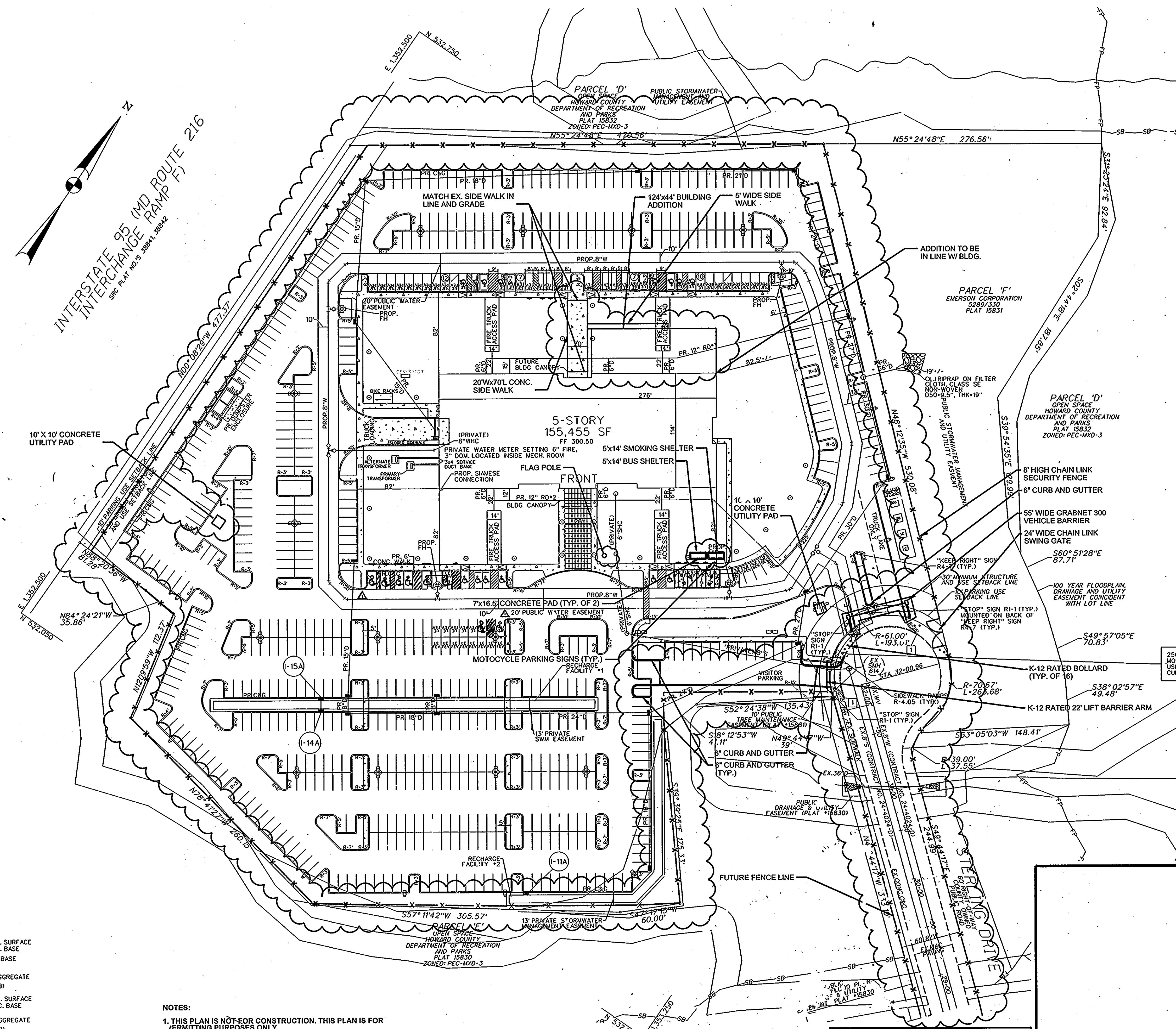
DATE	ITEM	BY
12/3/09	REVISED PER HOWARD COUNTY COMMENTS	BLDG
01/22/10	REVISED PER HOWARD COUNTY COMMENTS	BLDG
03/17/10	REVISED PER DLP COMMENTS	BLDG
09/07/11	REVISED SITE DEVELOPMENT PLAN	JAC/CBS
05/23/12	HDCP PARKING SPACES	JAC/CBS

APPROVED: DEPARTMENT OF PLANNING AND ZONING		
Chief, Development Engineering Division	9/16/11	Date
Chief, Division of Land Development	9/20/11	Date
Director	9/20/11	Date
ADDRESS CHART		
LOT / PARCEL NO.	STREET ADDRESS	
PARCEL C	9160 STERLING DRIVE	
PERMIT INFORMATION CHART		
SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.
EMERSON	3 / 1	C / 1051
PLAT NO. or L/F	GRD NO.	ZONING
20960	G14	PEC-MXD-3
TAX MAP NO.	ELEC. DST.	CENSUS TRACT
47	61H	6069-03

SITE PLAN
EMERSON - PARCEL 'C'
 5 STORY OFFICE BUILDING

HOWARD COUNTY, MARYLAND
 SCALE: 1"=50'

SHEET 2 OF 14
REVISION 50P-18-042



US Army Corps of Engineers
Baltimore District

REAL PROPERTY SERVICES
ANNAPOLIS JUNCTION, MARYLAND

JACOBS
1100 N. GLEBE RD., ARLINGTON, VA 22201

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Rev.	Date	Description

Designed by: S. PARENT	Date: AUGUST 31, 2011
Drawn by: S. PARENT	Project No. 24377
RFPO Project Manager: CHARLES CANTIZ	File name: AUGUST 31, 2011
Submitted by: WILLIAM REEHL	Proj. date: AUGUST 31, 2011
PROJECT MANAGER	Proj. code:

EMERSON - PERIMETER SECURITY AND SITE

SITE PLAN

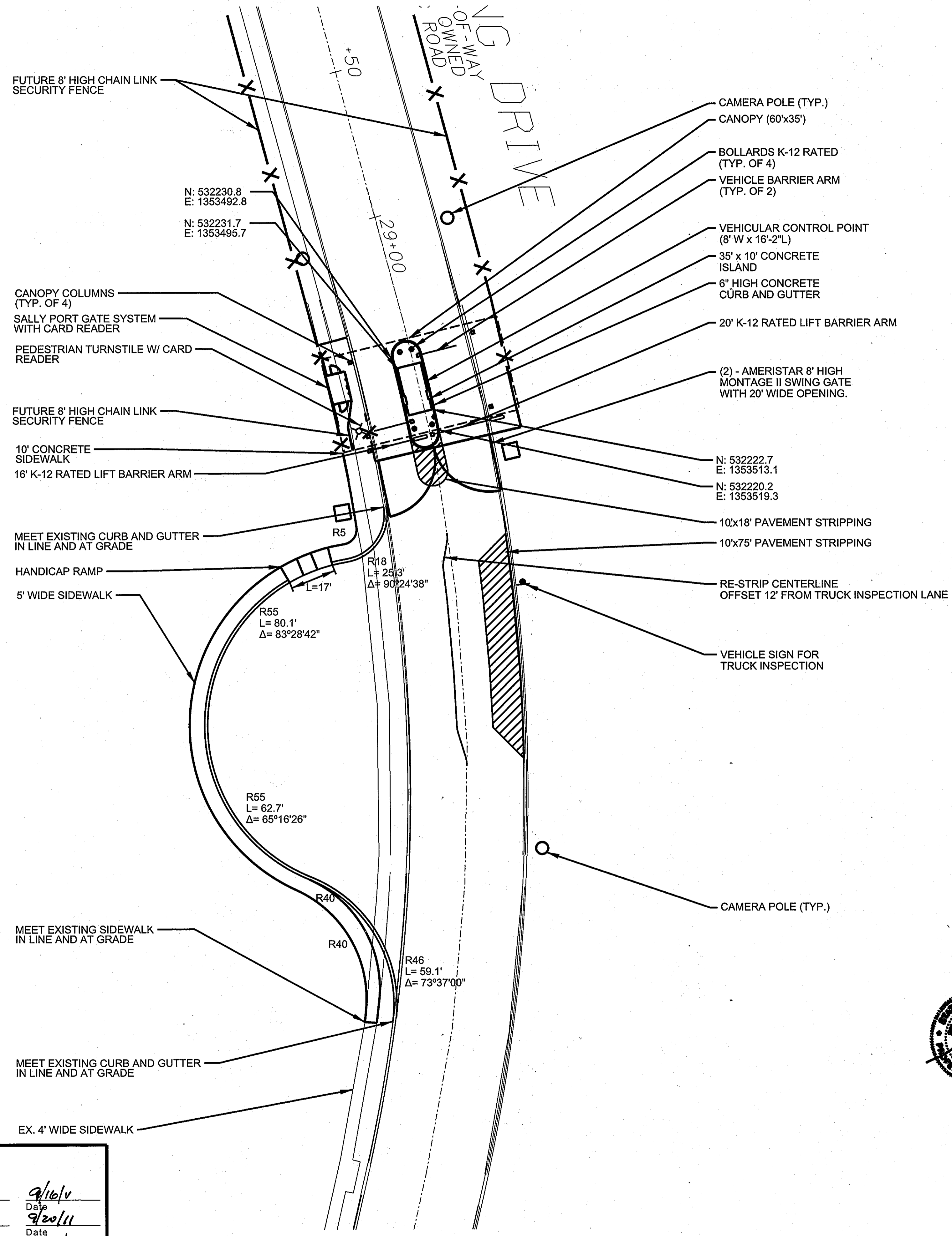
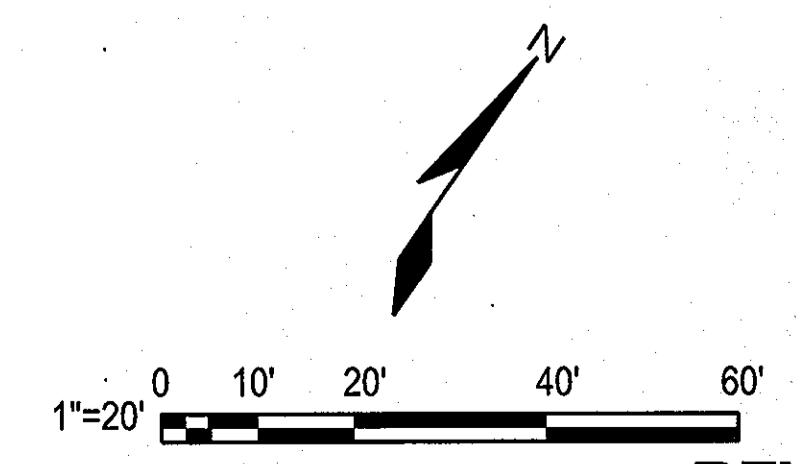
ROOM(S) OR FLOOR

LAUREL, MD

Drawing No.
Sheet Reference No.
2A
Sheet of 14

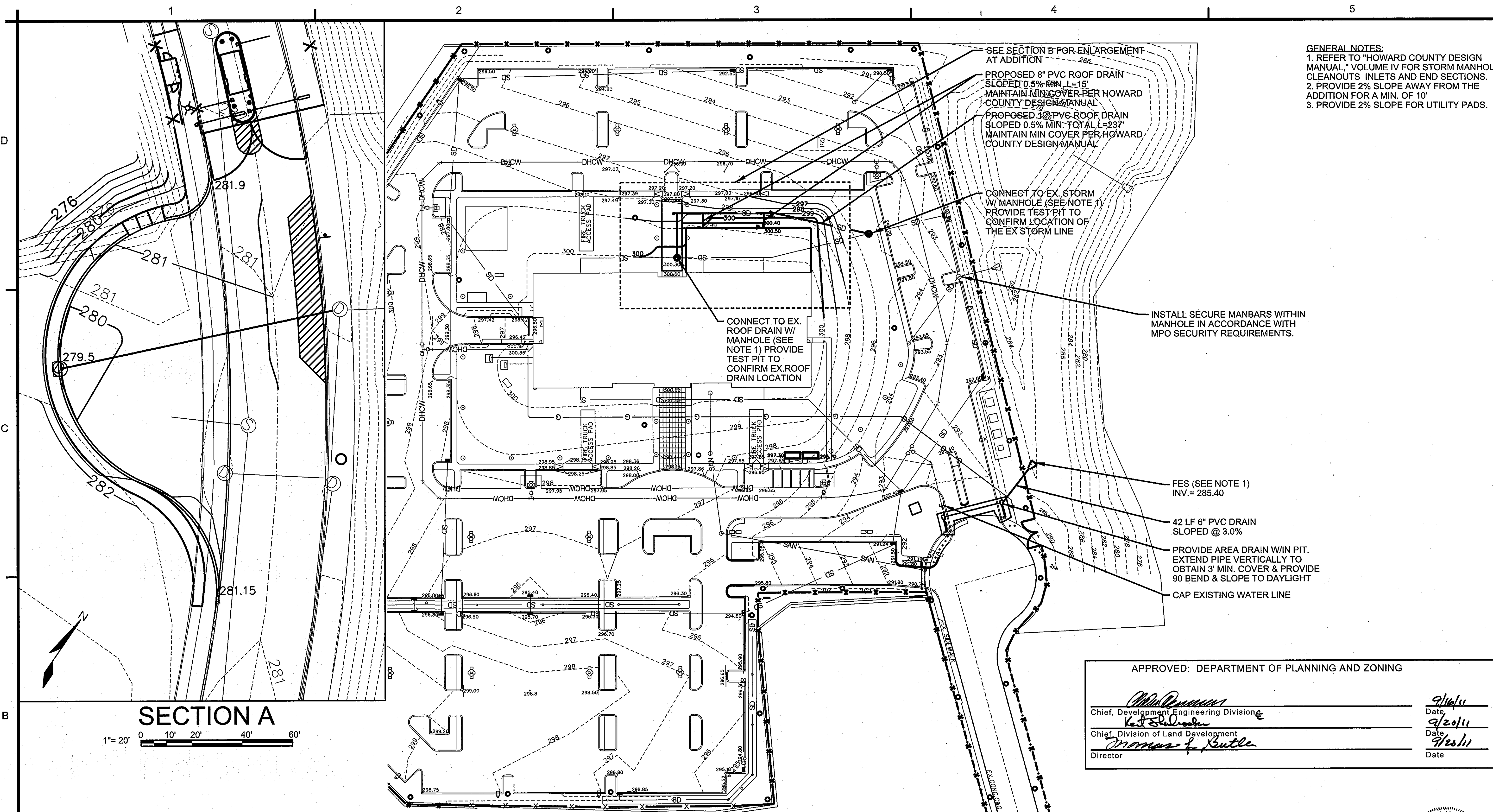
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I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 31011, EXPIRATION DATE: 10/17/2012



APPROVED: DEPARTMENT OF PLANNING AND ZONING

<i>[Signature]</i>	9/16/11
Chief, Development Engineering Division	Date
<i>[Signature]</i>	9/20/11
Chief, Division of Land Development	Date
<i>[Signature]</i>	9/20/11
Director	Date



GENERAL NOTES:
 1. REFER TO "HOWARD COUNTY DESIGN MANUAL," VOLUME IV FOR STORM MANHOLE, CLEANOUTS, INLETS AND END SECTIONS.
 2. PROVIDE 2% SLOPE AWAY FROM THE ADDITION FOR A MIN. OF 10'
 3. PROVIDE 2% SLOPE FOR UTILITY PADS.

SEE SECTION B FOR ENLARGEMENT AT ADDITION
 PROPOSED 8" PVC ROOF DRAIN SLOPED @ 0.5% MIN. L=15' MAINTAIN MIN COVER PER HOWARD COUNTY DESIGN MANUAL
 PROPOSED 12" PVC ROOF DRAIN SLOPED 0.5% MIN. TOTAL L=237' MAINTAIN MIN COVER PER HOWARD COUNTY DESIGN MANUAL

CONNECT TO EX. STORM W/ MANHOLE (SEE NOTE 1) PROVIDE TEST PIT TO CONFIRM LOCATION OF THE EX STORM LINE

INSTALL SECURE MANBARS WITHIN MANHOLE IN ACCORDANCE WITH MPO SECURITY REQUIREMENTS.

CONNECT TO EX. ROOF DRAIN W/ MANHOLE (SEE NOTE 1) PROVIDE TEST PIT TO CONFIRM EX. ROOF DRAIN LOCATION

FES (SEE NOTE 1) INV.= 285.40

42 LF 6" PVC DRAIN SLOPED @ 3.0%

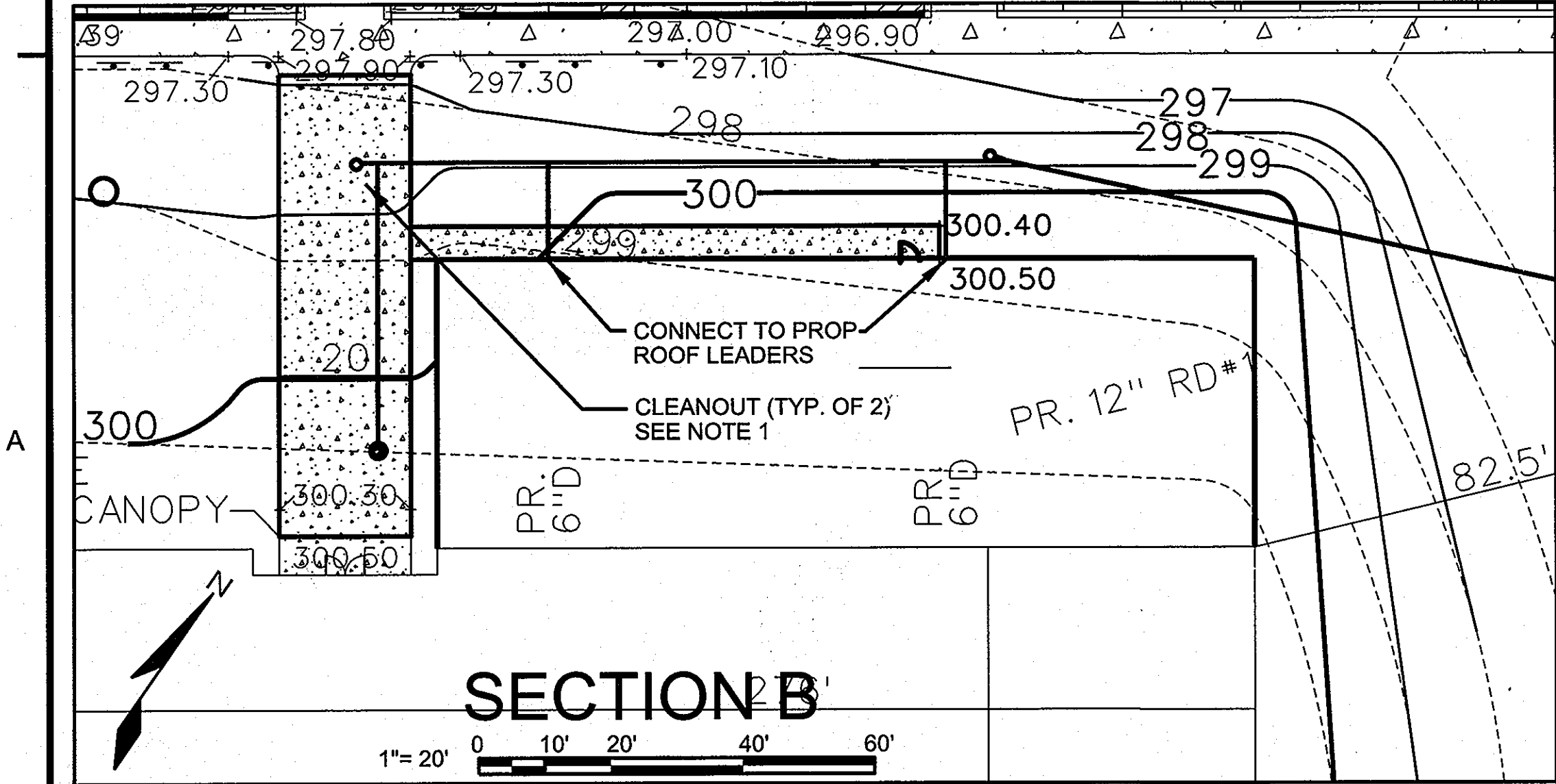
PROVIDE AREA DRAIN W/IN PIT. EXTEND PIPE VERTICALLY TO OBTAIN 3' MIN. COVER & PROVIDE 90 BEND & SLOPE TO DAYLIGHT

CAP EXISTING WATER LINE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

Date: 9/16/11
 Date: 9/20/11
 Date: 9/20/11

SECTION A
 1"= 20'



SECTION B
 1"= 20'

SEE SECTION A FOR ENLARGEMENT AT VCP

110 LF 24" CLASS IV RCP SLOPED @ 1.5%

PROPOSED A-5 INLET RIM ELEV.=279.50 INV. OUT=275.30 SEE NOTE 1

REPLACE EX. INLET WITH MANHOLE (SEE NOTE 1) MATCH RIM WITH PROPOSED GRADE

TEST PIT TO CONFIRM LOCATION OF SAN. SEWER. MAINTAIN MIN OF 6" VERTICAL CLEARANCE

NOTES:
 1. THIS PLAN IS NOT FOR CONSTRUCTION. THIS PLAN IS FOR PERMITTING PURPOSES ONLY.
 3. THIS PLAN IS FOR REFERENCE ONLY. EXISTING INFORMATION SHOWN ON THIS PLAN IS ASSUMED TO BE ACCURATE. ALL INFORMATION SHOWN IS BASED ON DESIGN PLANS BY BALTIMORE LAND DESIGN GROUP, INC. ON MARCH 17, 2010.

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1"= 50'

US Army Corps of Engineers
 Baltimore District
 REAL PROPERTY SERVICES
 ANNAPOLIS JUNCTION, MARYLAND
JACOBS
 1100 N. GLEBE RD., ARLINGTON, VA, 22201

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Rev.	Date	Description

Designed by: S. PARENT	Checked by: S. PARENT	Project No. 24377	Date AUGUST 31, 2011
Drawn by: S. PARENT	Reviewed by: S. GREGORY	File name: AS SHOWN	Plot date: AS SHOWN
Submitted by: CHARLES GANTZ	Project Manager: WILLIAM REEHL		

EMERSON - PERIMETER SECURITY AND SITE GRADING PLAN
 ROOM(S) OR FLOOR: LAUREL, MD

Drawing No.
 Sheet Reference No.
3A
 Sheet of 14

LEGEND

- RIGHT-OF-WAY LINE
- PROPERTY LINE
- EX. CONCRETE CURB & GUTTER
- EX. STORM DRAIN MANHOLE & INLET
- EX. SANITARY SEWER MANHOLE & CLEANOUT
- EX. WATER MAIN, VALVE & FIRE HYDRANT
- EX. LIGHT POLE
- EX. TREE LINE
- EX. TREE
- EX. INDEX CONTOURS
- EX. INTERMEDIATE CONTOURS
- EX. CONCRETE CURB & GUTTER TO BE REMOVED
- PROP. CONCRETE CURB & GUTTER
- PROP. STORM DRAIN, MANHOLE & INLET
- PROP. SANITARY SEWER, MANHOLE & CLEANOUT
- PROP. WATER MAIN, VALVE & FIRE HYDRANT
- PROP. INDEX CONTOURS
- PROP. INTERMEDIATE CONTOURS
- PROP. PARKING COUNT

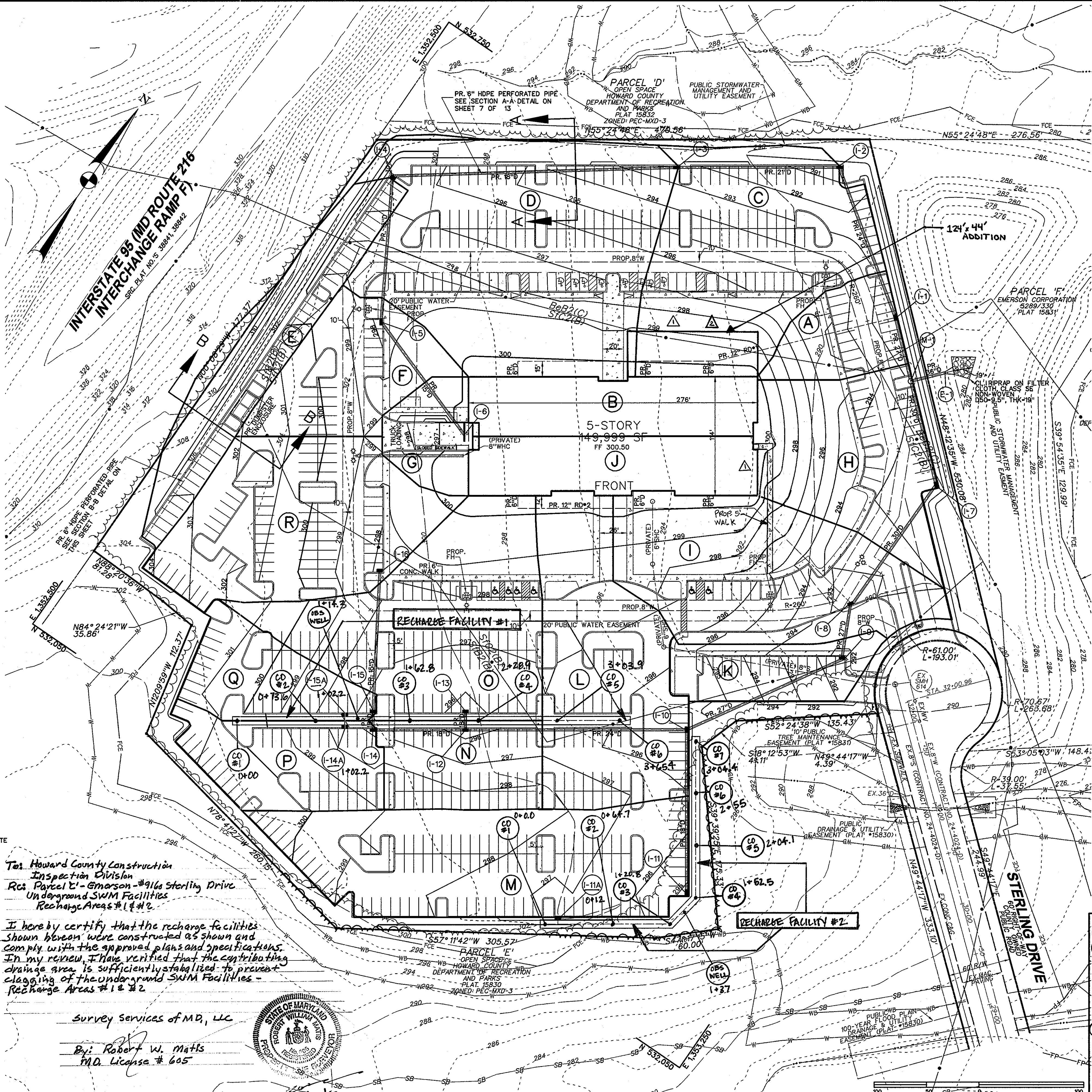
SOIL CLASSIFICATION

Ba2	Beltville Silty Loam, 1 to 5% Slopes	C
Bc2	Beltville Silty Loam, 5 to 10% Slopes	C
Sf2	Sassafras Gravelly Sandy Loam, 1 to 5% Slopes	B
Sfc2	Sassafras Gravelly Sandy Loam, 5 to 10% Slopes	B

NOTE: SITE WAS MASS GRADED SEVERAL YEARS AGO. THEREFORE, ANY HYDRO/AGRICULTURAL SOIL TYPES HAVE BEEN REMOVED. THERE ARE NO SOILS WITH SLOPES OF LESS THAN 15% WITH SIGNIFICANT EROSION POTENTIAL.

DRAINAGE AREA

NO.	ACRES (AC)	COEFF. "C"	IMP. (1/2)
A	0.22	0.77	77
B	0.36	0.90	100
C	0.88	0.82	86
D	1.29	0.84	90
E	0.48	0.58	46
F	0.39	0.78	79
G	0.17	0.80	82
H	0.56	0.48	30
I	0.81	0.79	81
J	0.34	0.90	100
K	0.24	0.71	67
L	0.76	0.80	83
M	0.89	0.88	97
N	0.30	0.80	83
O	0.86	0.87	95
P	0.17	0.76	76
Q	0.24	0.88	95
R	0.74	0.82	86



STORM DRAIN INLET SCHEDULE

NO.	TYPE	INV. IN	INV. OUT	TOP ELEV	REMARKS
I-1	DOUBLE TYPE 'S' COMB.	284.00	281.80	292.00	SEE HOWARD CO. STD. DETAIL PLATE 4.34
I-2	DOUBLE TYPE 'S' COMB.	284.96	282.93	290.50	SEE HOWARD CO. STD. DETAIL PLATE 4.34
I-3	DOUBLE TYPE 'S' COMB.	287.89	285.88	292.50	SEE HOWARD CO. STD. DETAIL PLATE 4.34
I-4	DOUBLE TYPE 'S' COMB.	290.06	289.81	296.50	SEE HOWARD CO. STD. DETAIL PLATE 4.34
I-5	DOUBLE TYPE 'S' COMB.	291.62	291.42	297.80	SEE HOWARD CO. STD. DETAIL PLATE 4.34
I-6	TRENCH DRAIN	-----	-----	-----	ACODRAIN - POWER S300K (SLOTTED DUCTILE IRON - CLASS F)
I-7	DOUBLE TYPE 'S' COMB.	282.91	282.61	292.00	SEE HOWARD CO. STD. DETAIL PLATE 4.34
I-8	DOUBLE TYPE 'S' COMB.	285.69	284.44	292.40	SEE HOWARD CO. STD. DETAIL PLATE 4.34
I-9	DOUBLE TYPE 'S' COMB.	285.16	284.98	291.24	SEE HOWARD CO. STD. DETAIL PLATE 4.34
I-10	DOUBLE TYPE 'S' COMB.	288.57	288.07	294.60	SEE HOWARD CO. STD. DETAIL PLATE 4.34
I-11	DOUBLE TYPE 'S' COMB.	-----	-----	290.13	SEE HOWARD CO. STD. DETAIL PLATE 4.34
I-12	DOUBLE TYPE 'S' COMB.	290.65	290.65	290.15	SEE HOWARD CO. STD. DETAIL PLATE 4.34
I-13	DOUBLE TYPE 'S' COMB.	-----	-----	290.75	SEE HOWARD CO. STD. DETAIL PLATE 4.34
I-14	DOUBLE TYPE 'S' COMB.	291.76	291.56	296.80	SEE HOWARD CO. STD. DETAIL PLATE 4.34
I-15	DOUBLE TYPE 'S' COMB.	292.19	291.94	296.80	SEE HOWARD CO. STD. DETAIL PLATE 4.34
I-16	DOUBLE TYPE 'S' COMB.	-----	-----	294.15	SEE HOWARD CO. STD. DETAIL PLATE 4.34

*TOP ELEVATION - TOP OF GRADE ELEVATION
**SEE SHEET 11 OF 14 FOR INLETS I-11A, I-14A AND I-15A

MANHOLE SCHEDULE

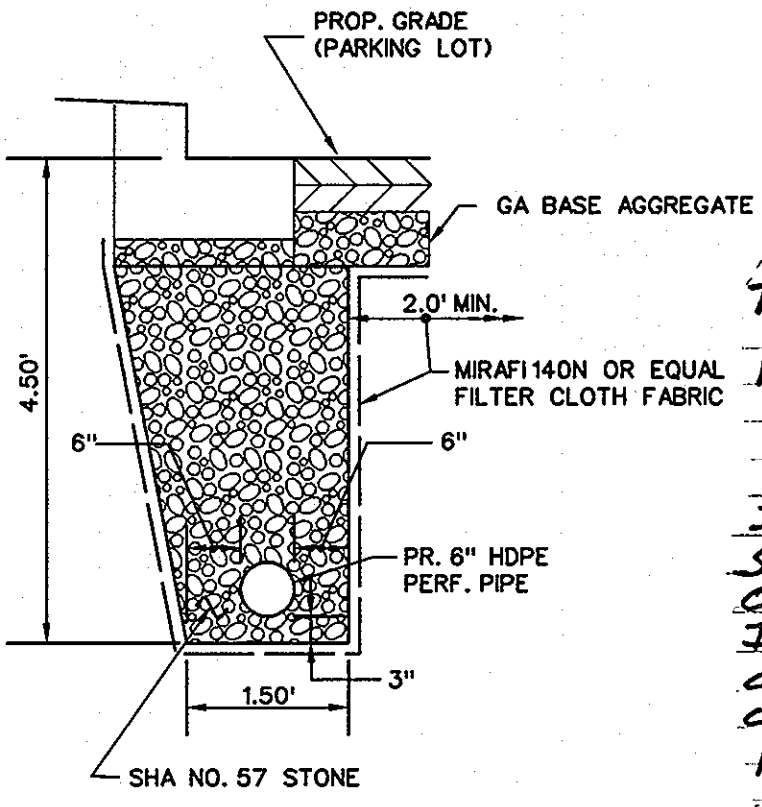
NO.	TYPE	INV. OUT	TOP ELEV	REMARKS
MH-1	STANDARD PRECAST MANHOLE	281.42	280.42	293.60
		280.92		SEE HOWARD CO. STD. DETAIL G- 5.11

STRUCTURE SCHEDULE

NO.	TYPE	SIZE	INV. OUT	TOP ELEV	REMARKS
E-1	STD. CONC. END SECT.	36"	280.08	283.08	SEE HOWARD CO. STD. DETAIL S.D. - 5.51

PIPE SCHEDULE

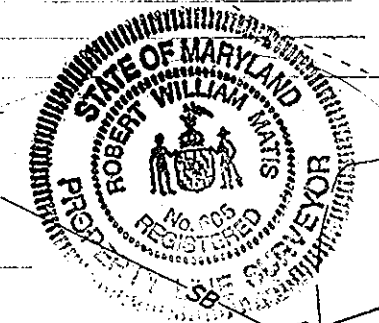
SIZE	TYPE	ESTIMATED QUANTITY
15"	RCOP CL. IV	407 LF
18"	RCOP CL. IV	555 LF
21"	RCOP CL. IV	154 LF
24"	RCOP CL. IV	426 LF
27"	RCOP CL. IV	216 LF
30"	RCOP CL. IV	241 LF
36"	RCOP CL. IV	38 LF



Top: Howard County Construction Inspection Division
Re: Parcel C1 - Emerson #916 Sterling Drive
Underground SWM Facilities
Recharge Areas #1 & #2

I hereby certify that the recharge facilities shown herein were constructed as shown and comply with the approved plans and specifications. In my review, I have verified that the contributing drainage area is sufficient to stabilize to prevent clogging of the underground SWM facilities - Recharge Areas #1 & #2

Survey Services of MD, LLC
By: Robert W. Mathis
MD License # 605
7/20/10



NOTES:
① "AS-BUILT" DENOTES "AS-BUILT" INFO.
② THIS SHEET FOR SWM RECHARGE AREAS ONLY. SEE SHEET ENTITLED "STORM DRAIN & SANITARY SEWER AS-BUILT" & SHEET ENTITLED "AS-BUILT UNDER PLUM" DATED AUGUST 3, 2010 & JULY 10, 2010, RESPECTIVELY FOR AS-BUILT INFORMATION ON THOSE UTILITIES.
③ RECHARGE FACILITIES AS BUILTS DATED JULY 20, 2010.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division: *[Signature]* Date: 7/20/10
 Chief, Division of Land Development: *[Signature]* Date: 7/20/10
 Director, DEP: *[Signature]* Date: 7/20/10

ADDRESS CHART

LOT / PARCEL NO.	STREET ADDRESS
PARCEL C	9160 STERLING DRIVE
	9161

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.
EMERSON	3 / 1	C / 1051
PLAT NO. or L/F	GRID NO.	ZONING
20960	G14	PEC-MXD-3
	TAX MAP NO.	ELEC. DIST.
	47	6TH
	CENSUS TRACT	
	6069-03	

BLDG
Baltimore Land Design Group Inc.
Consulting Engineers
222 SCHILLING CIRCLE SUITE 105 • HUNT VALLEY, MARYLAND 21030
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2010.

OWNER / DEVELOPER
EMERSON DEVELOPMENT III LLC
CO DLA PIPER LLP
1 TEXAS STATION COURT
SUITE 200
TIMONIUM, MD 21093-8288
(443) 689-8000

DATE	ITEM	BY
12/31/09	REVISED PER HOWARD COUNTY COMMENTS	BLDG
01/22/10	REVISED PER HOWARD COUNTY COMMENTS	BLDG
3/17/10	ADDED CONC. WALK AND RELOCATED HDOP PARKING SPACES	BLDG
7/20/10	RECHARGE FACILITIES	JACOBS
7/20/10	REVISED SITE DEVELOPMENT PLAN	JACOBS

REVISED
STORM DRAIN DRAINAGE AREA MAP
EMERSON - PARCEL 'C'
5 STORY OFFICE BUILDING

HOWARD COUNTY, MARYLAND
SHEET 6 OF 14
DATE: JANUARY 25, 2010
SDP-10-042

LEGEND

- RIGHT-OF-WAY LINE
- PROPERTY LINE
- EX. CONCRETE CURB & GUTTER
- EX. STORM DRAIN MANHOLE & INLET
- EX. SANITARY SEWER MANHOLE & CLEANOUT
- EX. WATER MAIN, VALVE & FIRE HYDRANT
- EX. LIGHT POLE
- EX. TREE LINE
- EX. TREE
- EX. INDEX CONTOURS
- EX. INTERMEDIATE CONTOURS
- EX. CONCRETE CURB & GUTTER TO BE REMOVED
- PROP. CONCRETE CURB & GUTTER
- PROP. STORM DRAIN, MANHOLE & INLET
- PROP. SANITARY SEWER, MANHOLE & CLEANOUT
- PROP. WATER MAIN, VALVE & FIRE HYDRANT
- PROP. INDEX CONTOURS
- PROP. INTERMEDIATE CONTOURS
- PROP. PARKING COUNT

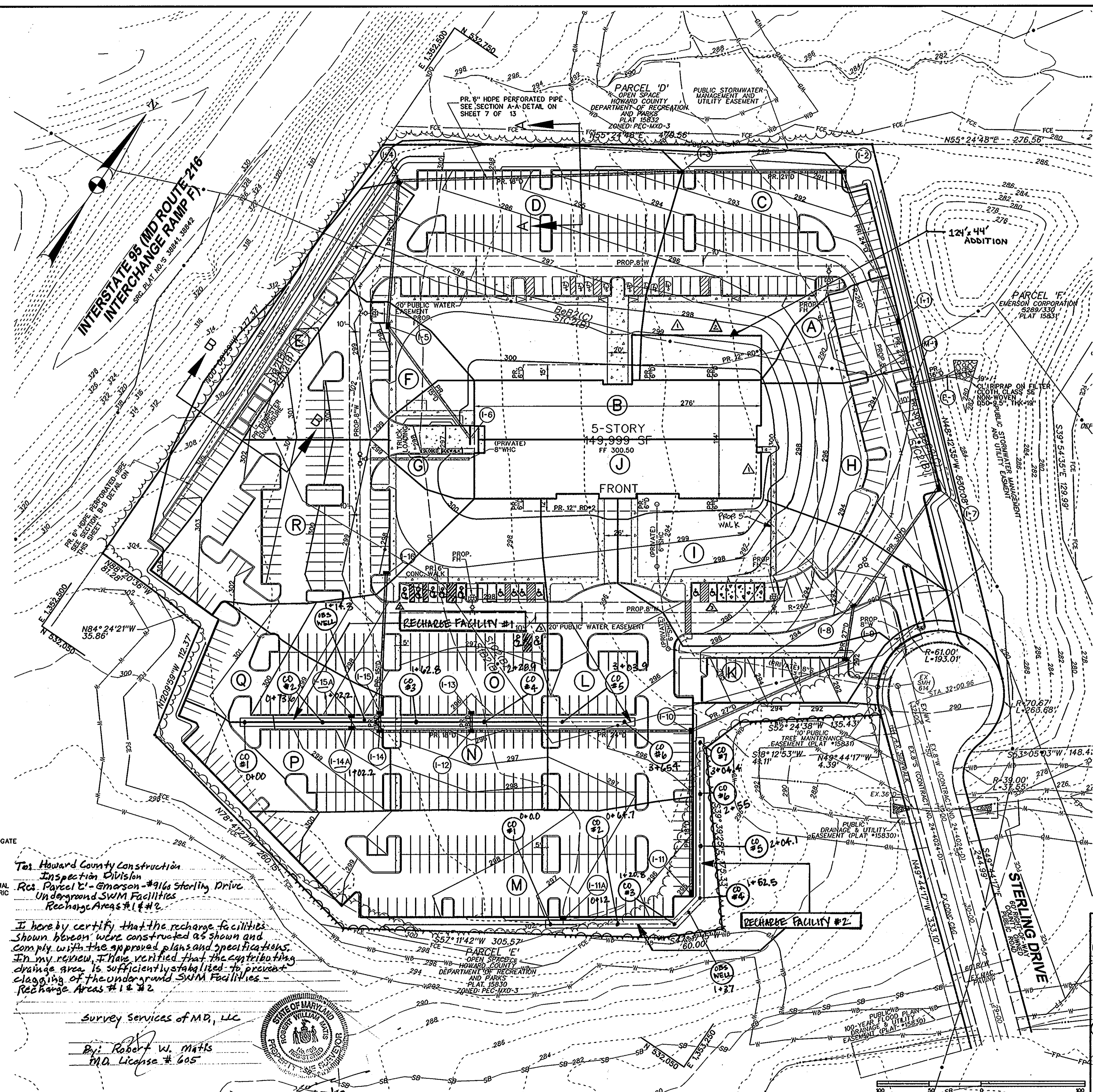
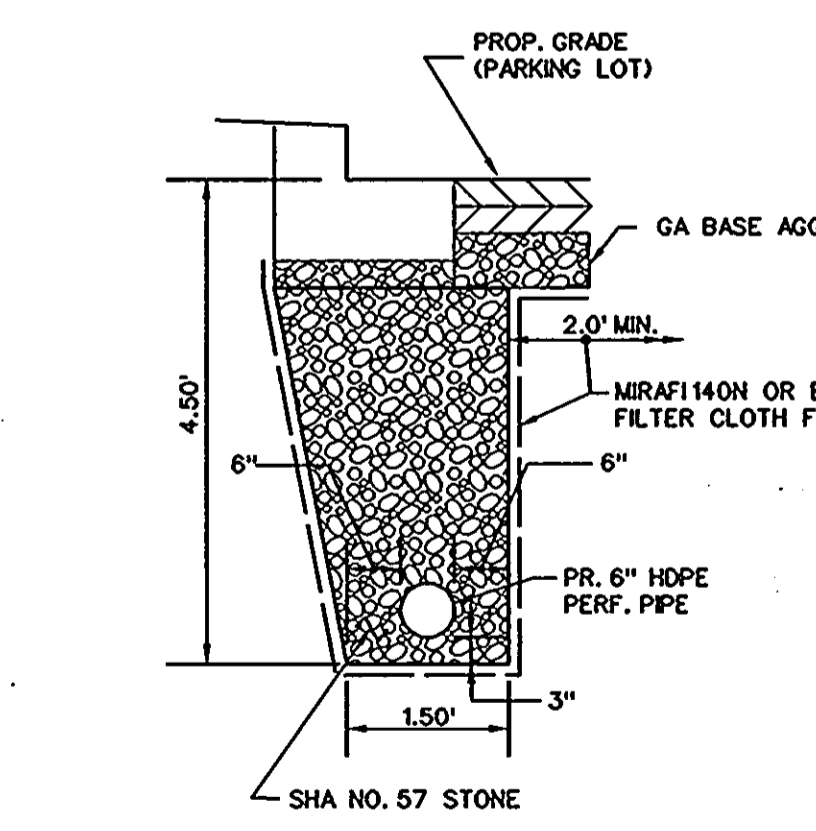
SOIL CLASSIFICATION

BaB2	Beltville Sil Loom, 1 to 5% Slopes	C
BaC2	Beltville Sil Loom, 5 to 10% Slopes	C
SfB2	Sassafras Gravelly Sandy Loom, 1 to 5% Slopes	B
SfC2	Sassafras Gravelly Sandy Loom, 1 to 5% Slopes	B

NOTE: SITE WAS MASS GRADED SEVERAL YEARS AGO. THEREFORE, ANY HYDRO/AGRICULTURAL SOIL TYPES HAVE BEEN REMOVED. THERE ARE NO SOILS WITH SLOPES OF LESS THAN 15% WITH SIGNIFICANT EROSION POTENTIAL.

DRAINAGE AREA

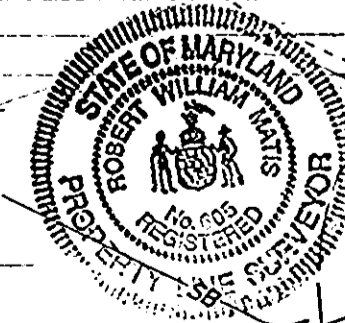
NO.	ACRES (AC)	COEFF. "C"	IMP. (I)
A	0.22	0.77	77
B	0.36	0.90	100
C	0.88	0.82	86
D	1.29	0.84	90
E	0.48	0.58	46
F	0.39	0.78	79
G	0.17	0.80	82
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M	0.69	0.88	97
N	0.30	0.80	83
O	0.86	0.87	95
P	0.17	0.76	76
Q	0.24	0.88	95
R	0.74	0.82	86



For Howard County Construction Inspection Division
 Re: Parcel C - Emerson - 9166 Sterling Drive
 Undergroud SWM Facilities
 Recharge Areas #1 & #2

I hereby certify that the recharge facilities shown hereon were constructed as shown and comply with the approved plans and specifications. In my review, I have verified that the contributing drainage area is sufficient to stabilize the recharge areas of the undergroud SWM facilities - Recharge Areas #1 & #2.

Survey Services of MD, LLC
 By: Robert W. Mattis
 MD License # 605
 7/20/10



STORM DRAIN INLET SCHEDULE

NO.	TYPE	INV. IN	INV. OUT	TOP ELEV	REMARKS
I-1	DOUBLE TYPE 'S' COMB.	284.00	281.80	292.00	SEE HOWARD CO. STD. DETAIL PLATE 4.34
I-2	DOUBLE TYPE 'S' COMB.	284.96	282.93	290.50	SEE HOWARD CO. STD. DETAIL PLATE 4.34
I-3	DOUBLE TYPE 'S' COMB.	287.89	285.88	292.50	SEE HOWARD CO. STD. DETAIL PLATE 4.34
I-4	DOUBLE TYPE 'S' COMB.	290.06	289.81	296.50	SEE HOWARD CO. STD. DETAIL PLATE 4.34
I-5	DOUBLE TYPE 'S' COMB.	291.62	291.42	297.80	SEE HOWARD CO. STD. DETAIL PLATE 4.34
I-6	TRENCH DRAIN	-----	-----	-----	ACCURATE - POWER S300K (SLOTTED DUCTILE IRON - CLASS F)
I-7	DOUBLE TYPE 'S' COMB.	282.91	282.61	292.00	SEE HOWARD CO. STD. DETAIL PLATE 4.34
I-8	DOUBLE TYPE 'S' COMB.	285.69	284.44	292.40	SEE HOWARD CO. STD. DETAIL PLATE 4.34
I-9	DOUBLE TYPE 'S' COMB.	285.18	284.98	291.24	SEE HOWARD CO. STD. DETAIL PLATE 4.34
I-10	DOUBLE TYPE 'S' COMB.	288.57	288.07	294.60	SEE HOWARD CO. STD. DETAIL PLATE 4.34
I-11	DOUBLE TYPE 'S' COMB.	-----	290.13	294.80	SEE HOWARD CO. STD. DETAIL PLATE 4.34
I-12	DOUBLE TYPE 'S' COMB.	290.65	290.65	290.15	SEE HOWARD CO. STD. DETAIL PLATE 4.34
I-13	DOUBLE TYPE 'S' COMB.	-----	290.75	295.40	SEE HOWARD CO. STD. DETAIL PLATE 4.34
I-14	DOUBLE TYPE 'S' COMB.	291.76	291.56	296.80	SEE HOWARD CO. STD. DETAIL PLATE 4.34
I-15	DOUBLE TYPE 'S' COMB.	292.19	291.94	296.80	SEE HOWARD CO. STD. DETAIL PLATE 4.34
I-16	DOUBLE TYPE 'S' COMB.	-----	294.15	297.60	SEE HOWARD CO. STD. DETAIL PLATE 4.34

*TOP ELEVATION - TOP OF GRADE ELEVATION
 **SEE SHEET 11 OF 14 FOR INLETS I-11A, I-14A AND I-15A

MANHOLE SCHEDULE

NO.	TYPE	INV. OUT	TOP ELEV	REMARKS	
MH-1	STANDARD PRECAST MANHOLE	281.42	280.42	293.60	SEE HOWARD CO. STD. DETAIL G- 5.11

STRUCTURE SCHEDULE

NO.	TYPE	SIZE	INV. OUT	TOP ELEV	REMARKS
E-1	STD. CONC. END SECT.	36"	280.08	283.08	SEE HOWARD CO. STD. DETAIL S.D. - 5.51

PIPE SCHEDULE

SIZE	TYPE	ESTIMATED QUANTITY
15"	RCCP CL. IV	407 LF
18"	RCCP CL. IV	555 LF
21"	RCCP CL. IV	154 LF
24"	RCCP CL. IV	426 LF
27"	RCCP CL. IV	216 LF
30"	RCCP CL. IV	241 LF
36"	RCCP CL. IV	38 LF

NOTES:
 1) "AS-BUILT" DENOTES "AS-BUILT" INFO.
 2) THIS SHEET FOR SWM RECHARGE AREAS ONLY. SEE SHEET ENTITLED "STORM DRAIN & SANITARY SEWER AS-BUILT" & SHEET ENTITLED "AS-BUILT WATER PLAN" DATED AUGUST 5, 2010 & JULY 10, 2010, RESPECTIVELY FOR AS-BUILT INFORMATION ON THESE UTILITIES.
 3) RECHARGE FACILITIES AS-BUILTS DATED JULY 20, 2010.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division: *[Signature]* Date: 7/22/10
 Chief, Division of Land Development: *[Signature]* Date: 7/22/10
 Director, DEP: *[Signature]* Date: 7/22/10

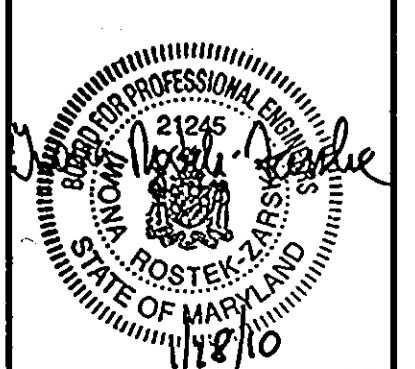
ADDRESS CHART

LOT / PARCEL NO.	STREET ADDRESS
PARCEL C	9166 STERLING DRIVE

PERMIT INFORMATION CHART

SUBDIVISION NAME	EMERSON	SECTION / AREA	3 / 1	LOT / PARCEL NO.	C / 1051
PLAT NO. or L/F	20960	GRD NO.	G14	ZONING	PEC-MXD-3
TAX MAP NO.	47	ELEC. DIST.	6TH	CENSUS TRACT	6069-03

BLDG
 Baltimore Land Design Group Inc.
 Consulting Engineers
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 PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



PROFESSIONAL CERTIFICATION
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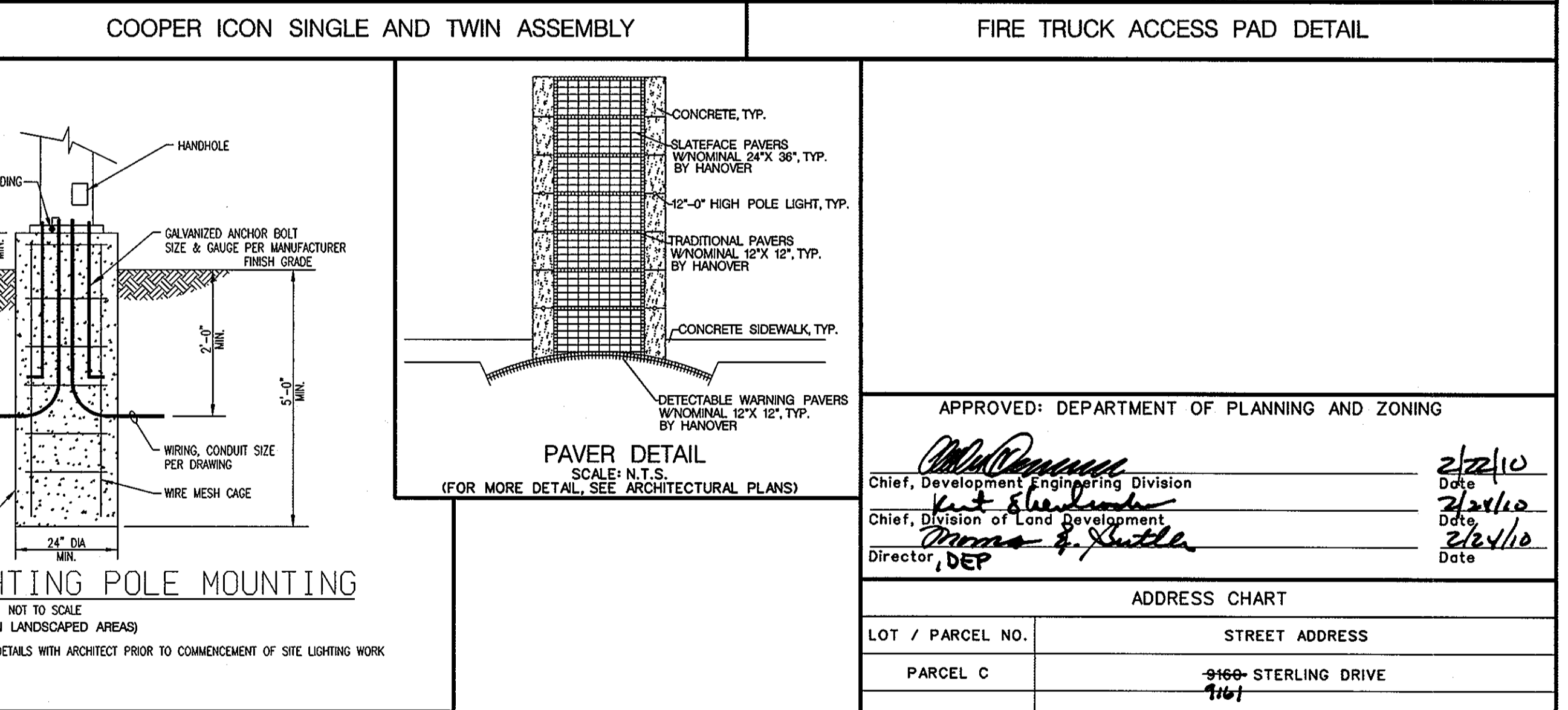
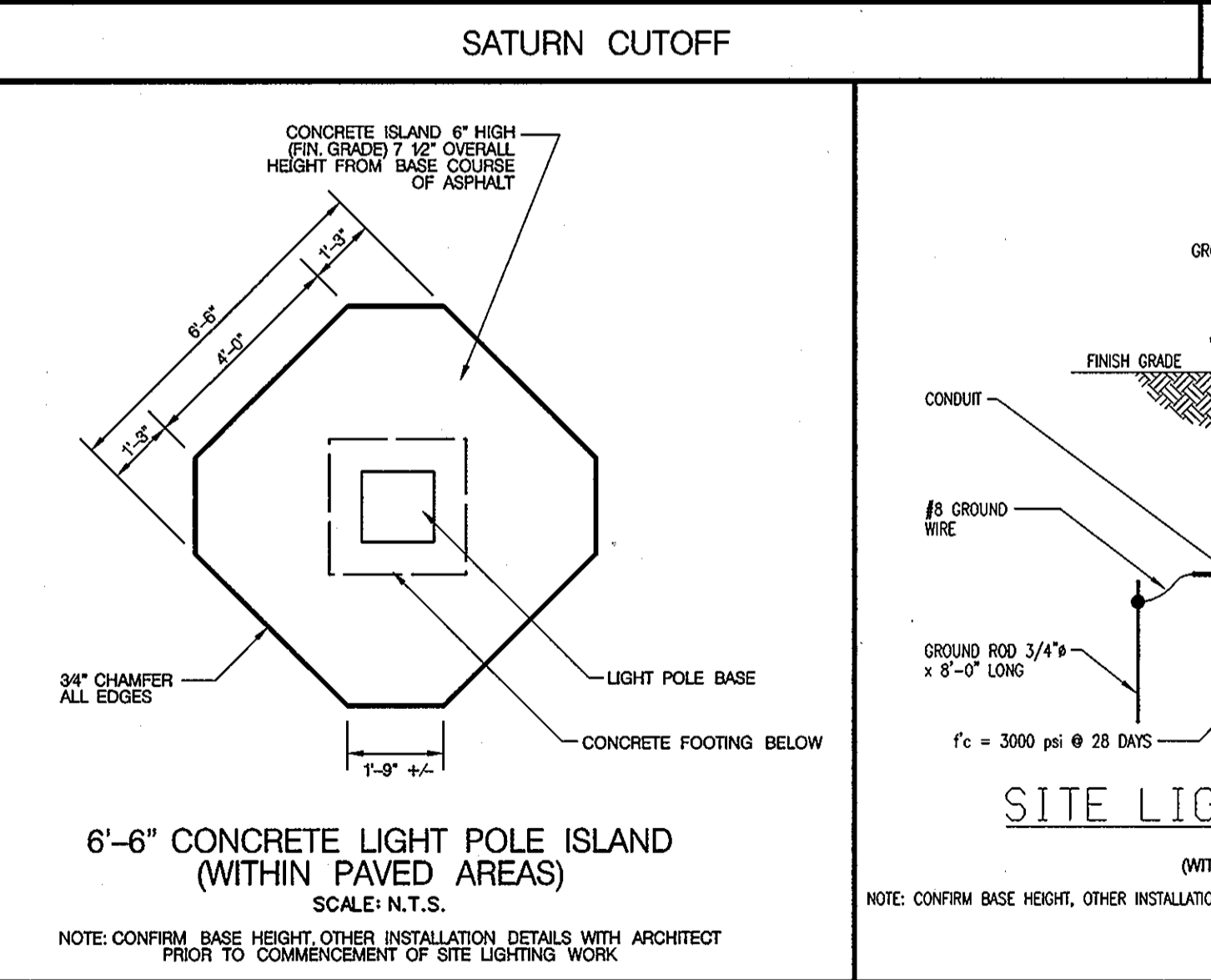
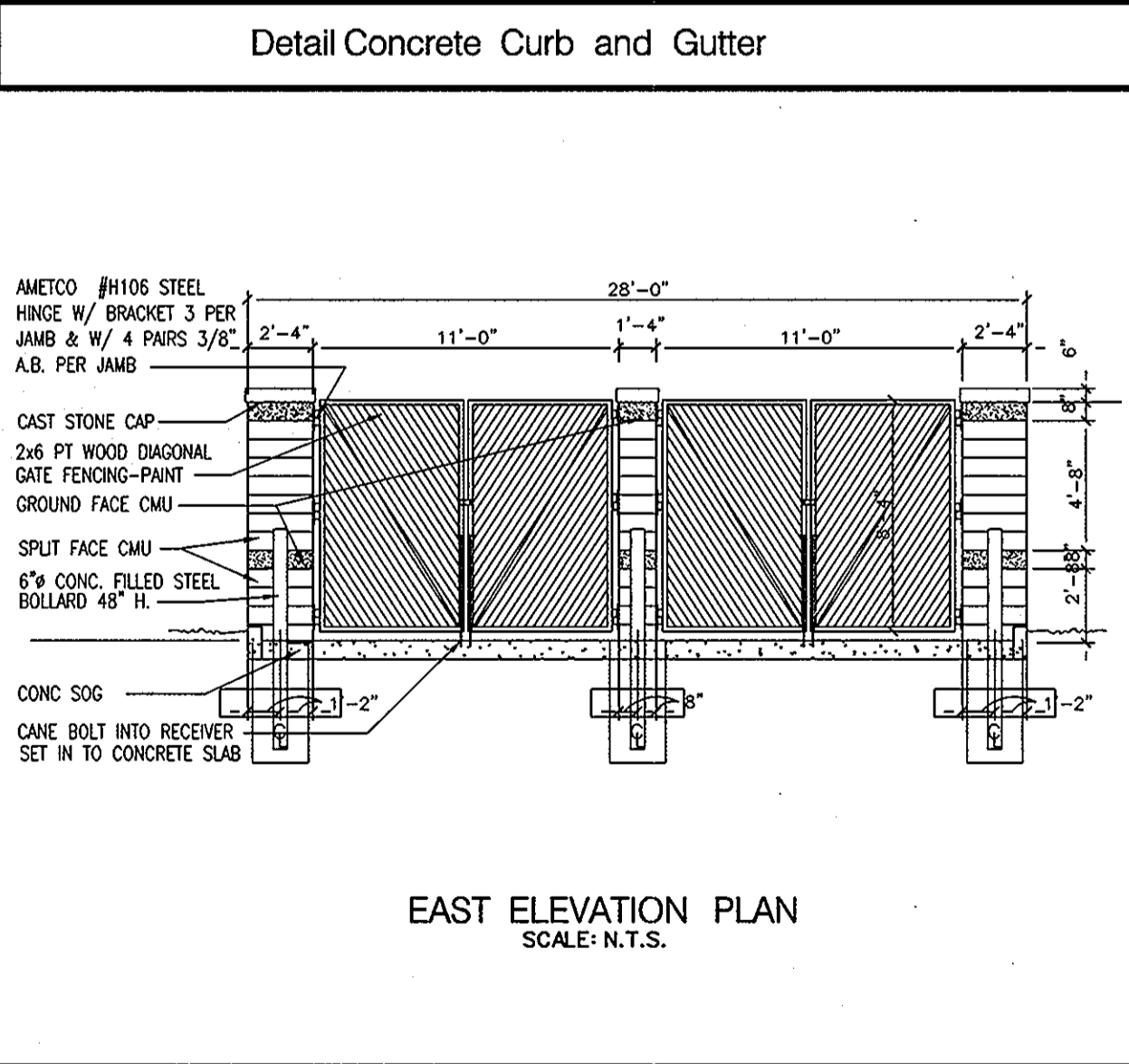
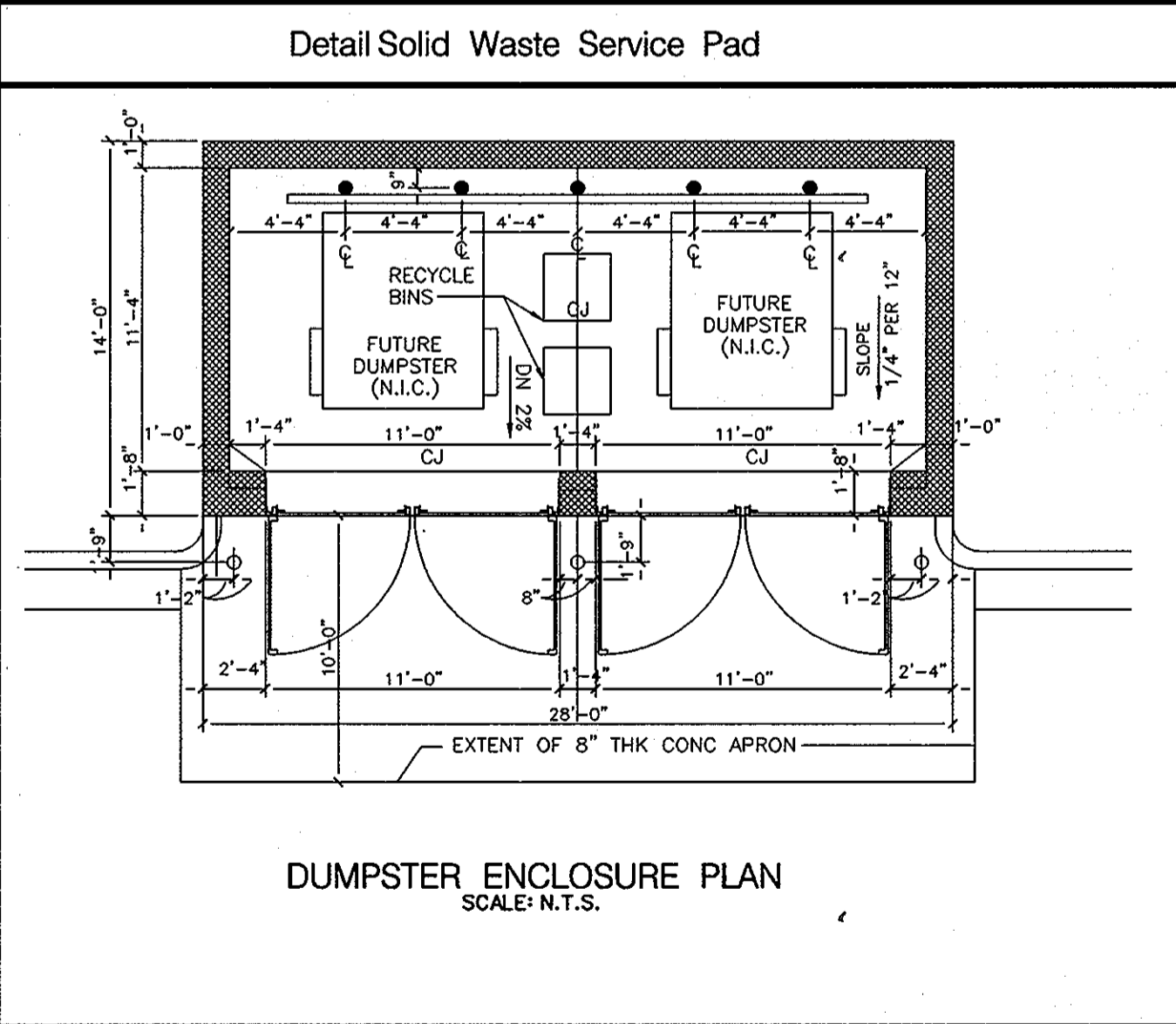
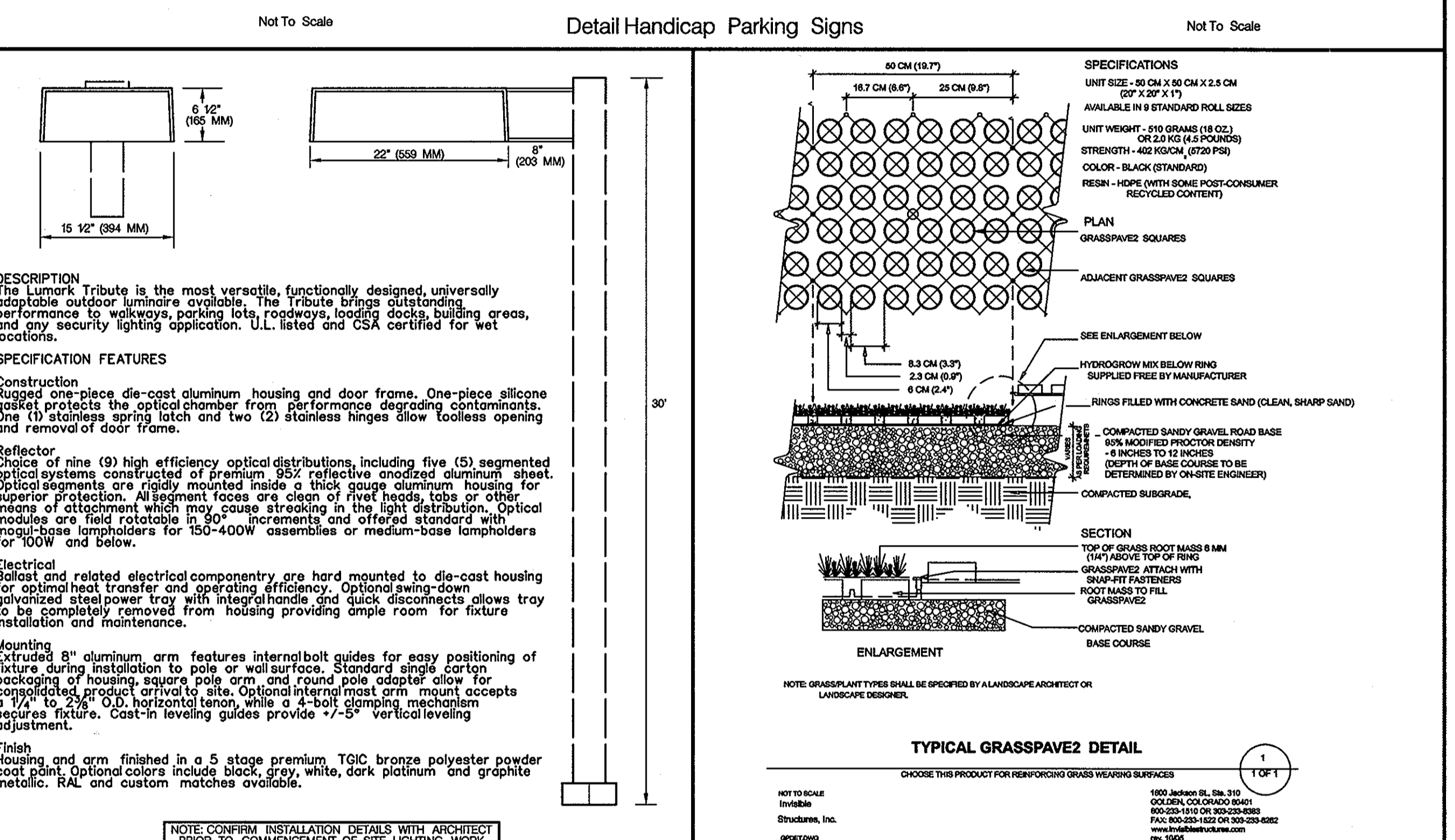
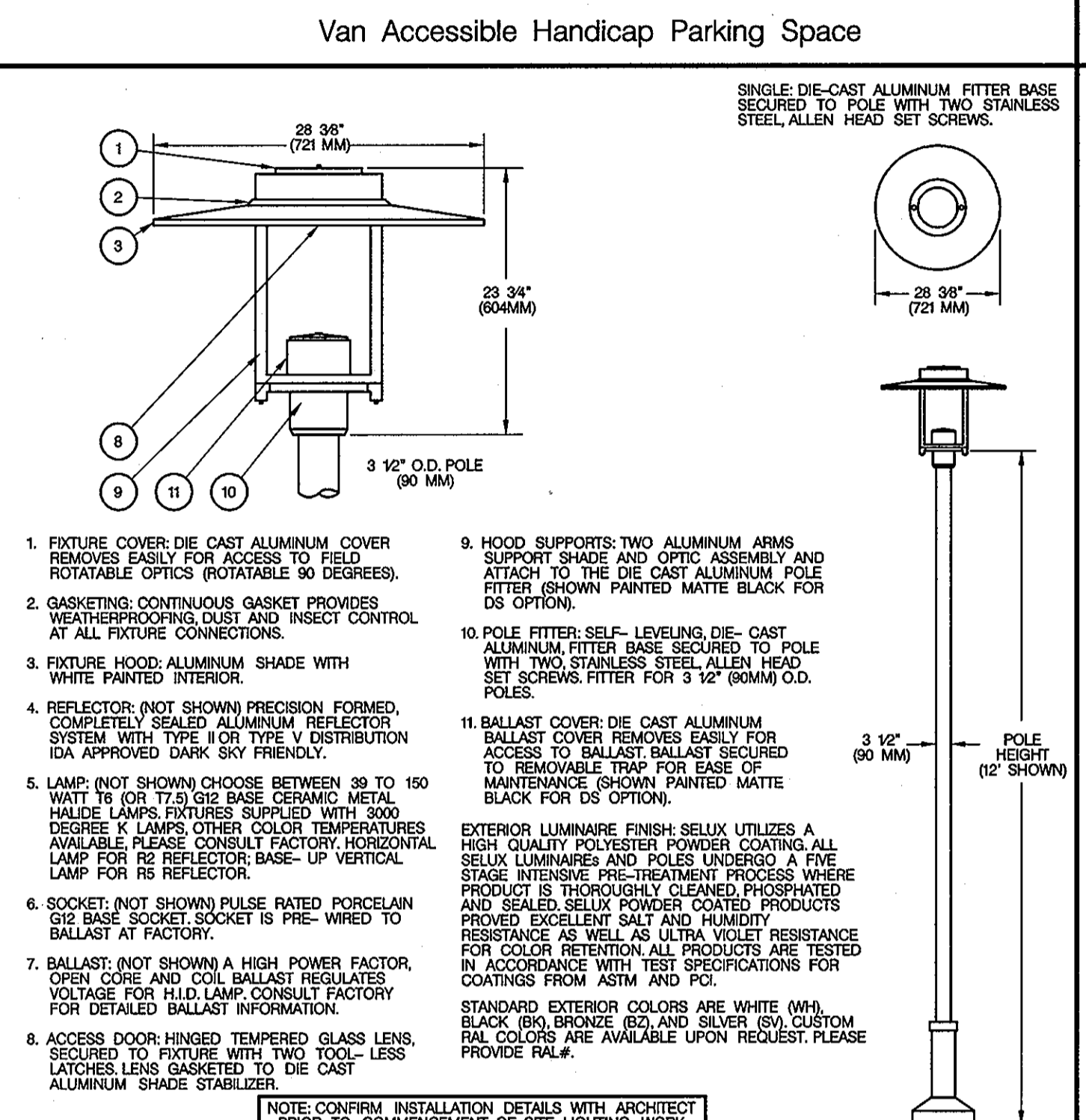
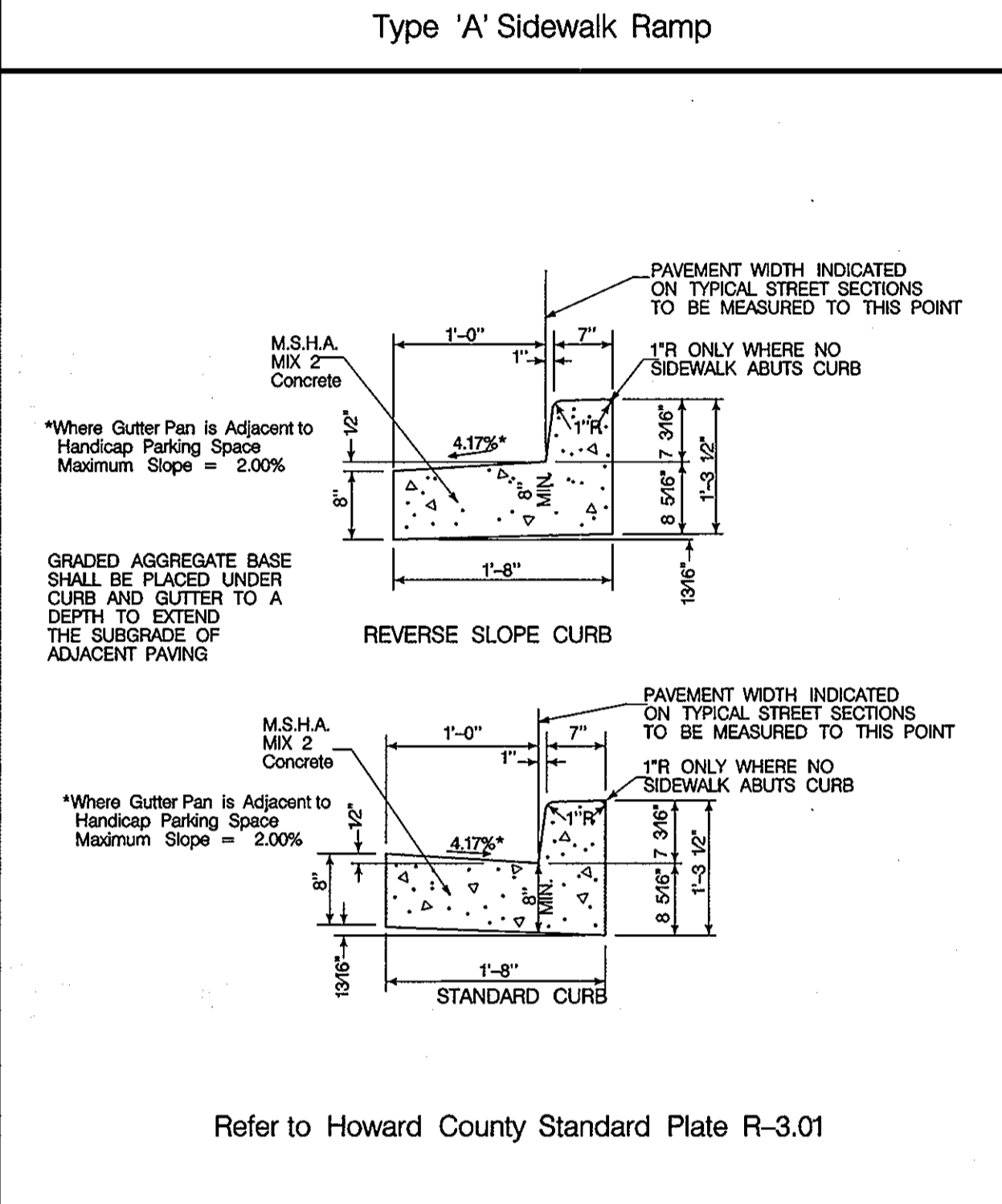
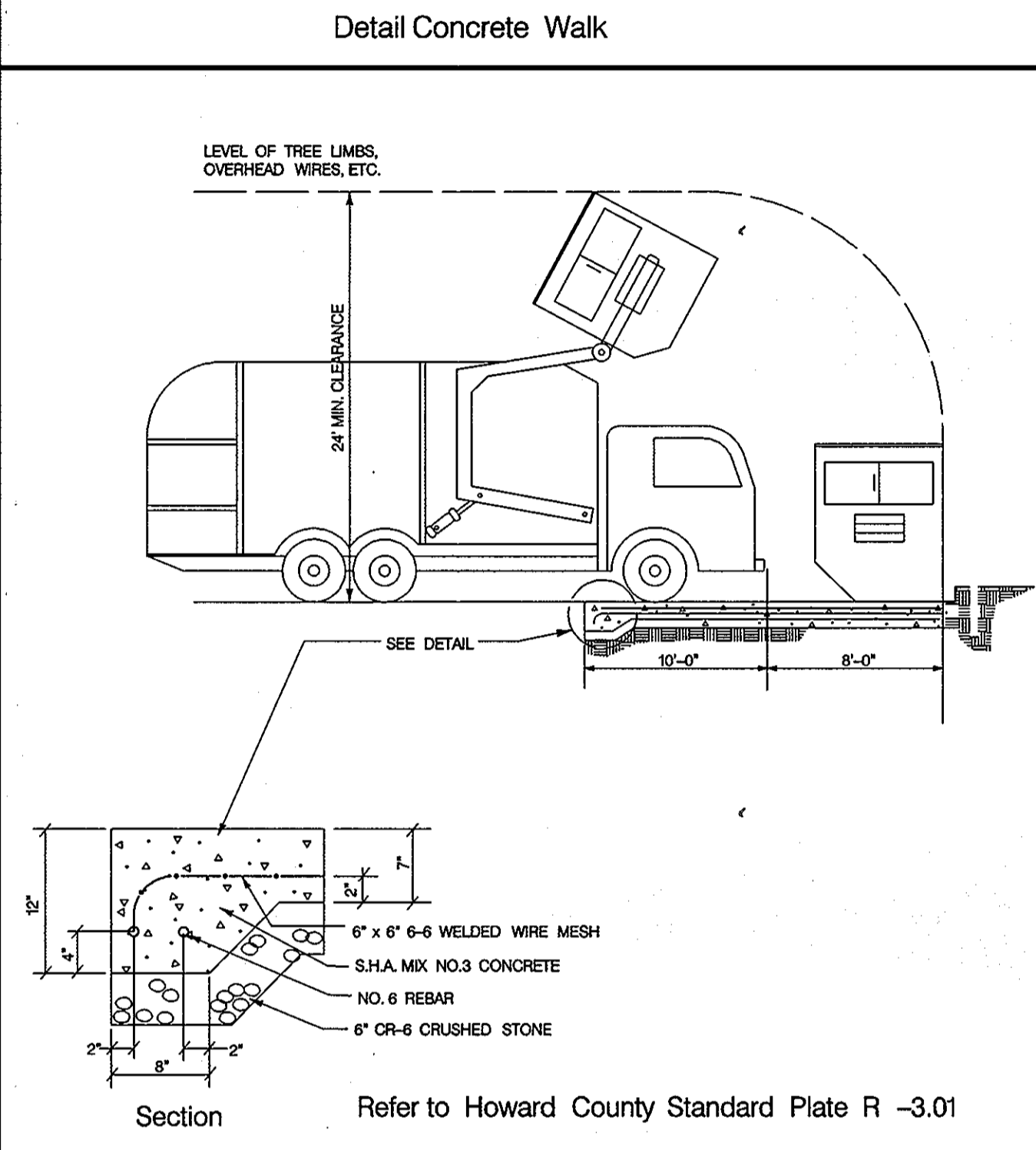
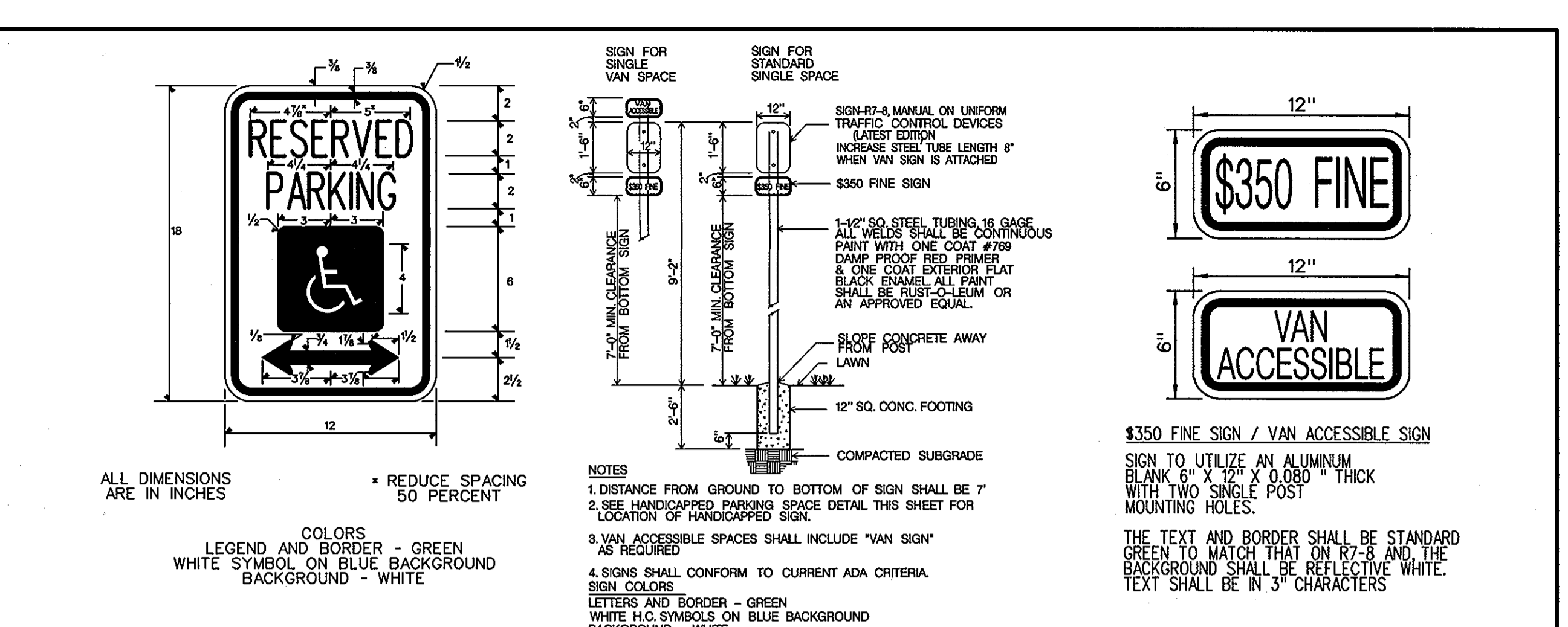
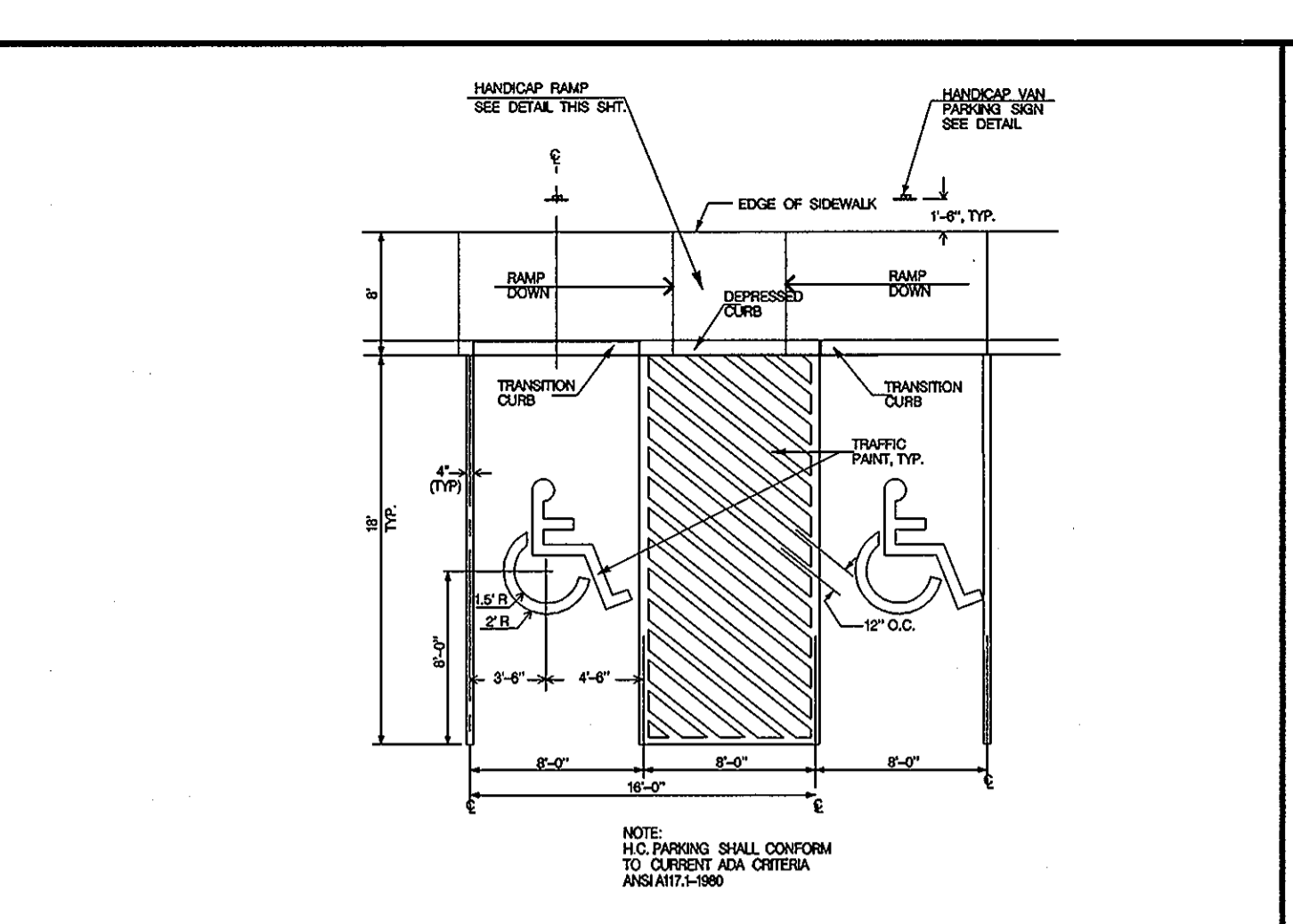
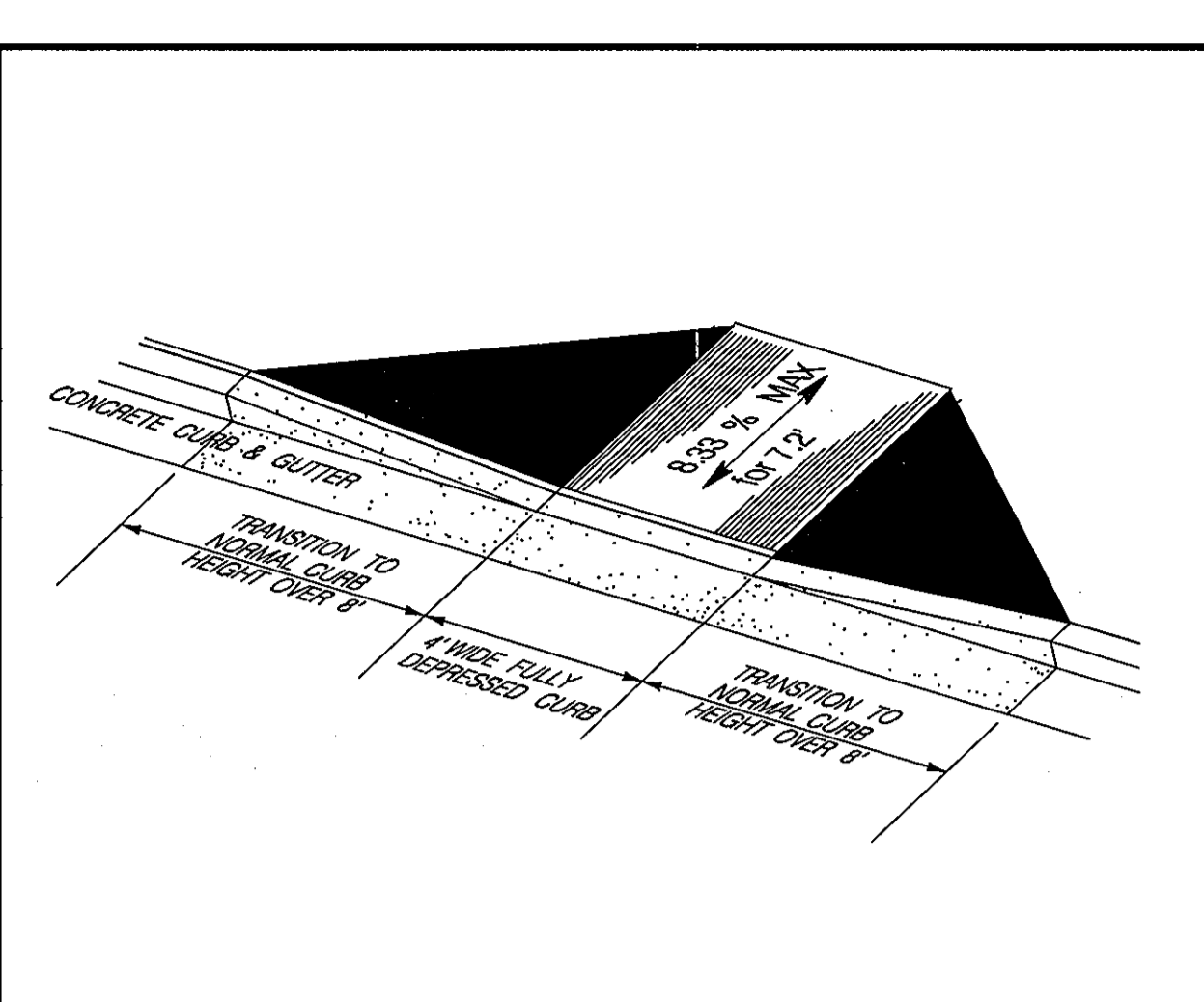
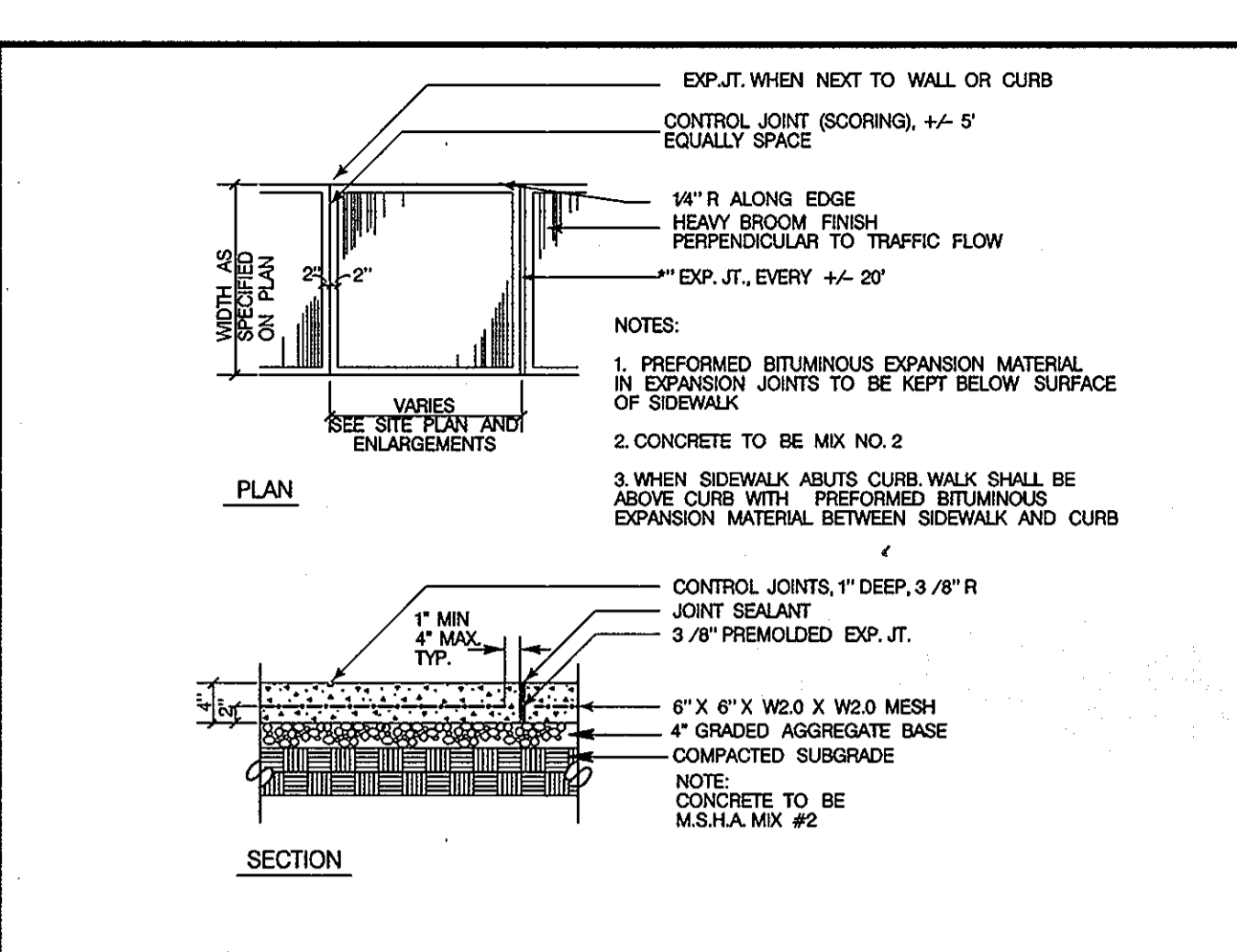
OWNER / DEVELOPER
 EMERSON DEVELOPMENT III LLC
 CO DLA PIPER LLP
 1 TEXAS STATION COURT
 SUITE 200
 TIMONIUM, MD 21093-8288
 (443) 689-8000

DATE	ITEM	BY
12/31/09	REVISED PER HOWARD COUNTY COMMENTS	BLDG
01/22/10	REVISED PER HOWARD COUNTY COMMENTS	BLDG
3/17/10	ADDED CONC. WALK AND RELOCATED HDPC PARKING SPACES	BLDG
6/11/10	RECHARGE FACILITIES	JACOBS
7/27/10	REVISED SITE DEVELOPMENT PLAN	JACOBS
8/23/12	HDPC PARKING SPACES	JACOBS

REVISED
STORM DRAIN DRAINAGE AREA MAP
EMERSON - PARCEL 'C'
 5 STORY OFFICE BUILDING

HOWARD COUNTY, MARYLAND
 SCALE: 1"=50'

SHEET 6 OF 14
 DATE: JANUARY 25, 2010
 SDP-10-042



BLDG
Baltimore Land Design Group Inc.
Consulting Engineers
222 SCHILLING CIRCLE SUITE 105 HUNT VALLEY, MARYLAND 21030
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2010.

DATE	ITEM	BY
12/31/09	REVISED PER HOWARD COUNTY COMMENTS	BLDG
01/22/10	REVISED PER HOWARD COUNTY COMMENTS	BLDG

OWNER / DEVELOPER
EMERSON DEVELOPMENT III LLC
CO DLA PIPER LLP
1 TEXAS STATION COURT
SUITE 200
TIMONIUM, MD 21093-8288
(443) 689-8000

SITE DETAILS II
EMERSON - PARCEL 'C'
5 STORY OFFICE BUILDING

HOWARD COUNTY, MARYLAND
SCALE: 1"=50'

SHEET 5 OF 14
DATE: JANUARY 25, 2010
SDP-10-042

LEGEND

RIGHT-OF-WAY LINE	---
PROPERTY LINE	---
EX. STORM DRAIN	EX. 18" D
EX. SANITARY SEWER MANHOLE & CLEANOUT	EX. 8" S
EX. WATER MAIN, VALVE & FIRE HYDRANT	EX. 8" W
EX. TREE LINE	---
EX. INDEX COUNTOURS	300
EX. INTERMEDIATE COUNTOURS	298
PR. STORM DRAIN	PR. 15" D
PR. SANITARY SEWER & CLEANOUT	PR. 8" S
PR. WATER MAIN, VALVE & FIRE HYDRANT	PR. 8" W
PR. EASEMENT LINE	---
PR. INDEX COUNTOURS	180
PR. INTERMEDIATE COUNTOURS	182
PR. CONC. CURB & GUTTER	---

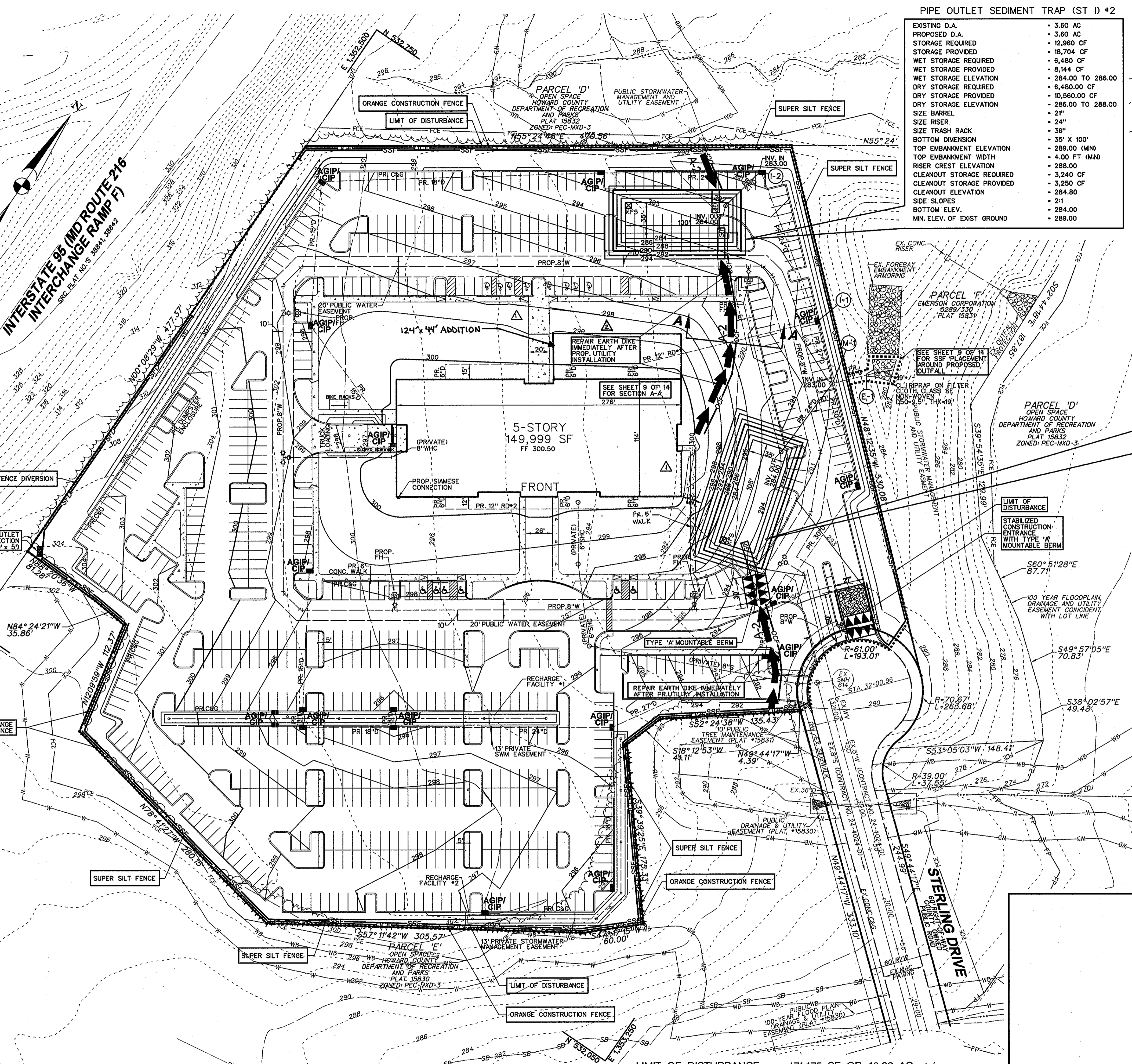
SEDIMENT CONTROL LEGEND

LIMIT OF DISTURBANCE	-----
SUPER SILT FENCE	---
SUPER FENCE DIVERSION	---
ORANGE CONSTRUCTION FENCE	---
STABILIZED CONSTRUCTION ENTRANCE	---
MOUNTABLE BERM TYPE A	▲▲▲▲
ROCK OUTLET PROTECTION	■
STANDARD INLET PROTECTION	SIP
AT GRADE INLET PROTECTION	AGIP
CURB INLET PROTECTION	CIP
REMOVEABLE PUMP STATION	RPS
GABION INFLOW PROTECTION	GIP
EARTH DIKE	→ A-1 →

SEQUENCE OF OPERATION

- OBTAIN GRADING PERMIT.
- NOTIFY HOWARD COUNTY DEPARTMENT OF PERMITS AND LICENSES 48 HOURS PRIOR TO BEGINNING WORK. (1 DAY)
- INSTALL STABILIZED CONSTRUCTION ENTRANCE, ORANGE CONSTRUCTION FENCE, SUPER SILT FENCE AND SUPER FENCE DIVERSION AS SHOWN ON THE PLAN. (3 DAYS)
- WITH PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR, INSTALL STORM DRAIN SYSTEM FROM E-1 TO I-2. PROVIDE INLET PROTECTION FOR I-1 AND I-2. MAINTAIN TWO (2) FEET OF COVER OVER STORM DRAIN SYSTEM.
- CLEAR AND GRUB AND INSTALL PIPE OUTLET SEDIMENT TRAP #1 AND #2. EARTH DIKES, REMOVEABLE PUMPING STATION AND GABION INFLOW PROTECTION AS SHOWN ON THE PLAN.
- WITH PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR, BEGIN GRADING OPERATIONS. MAINTAIN POSITIVE DRAINAGE TO SEDIMENT CONTROL MEASURES AND DEVICES AT ALL TIMES. DO NOT PERFORM ANY GRADING OPERATIONS WITHIN 10 FEET OF THE EARTH DIKE. SEE DUST CONTROL SPECIFICATIONS ON SHEET 10 OF 14. (10 DAYS)
- BEGIN CONSTRUCTION OF PROPOSED BUILDING. AS WORK PROGRESSES INSTALL REMAINING UTILITIES EXCEPT FOR RECHARGE FACILITIES. PROVIDE INLET PROTECTION FOR NEWLY INSTALLED INLETS. (20 DAYS)
- CONTINUE WITH GRADING OPERATIONS AND BUILDING CONSTRUCTION. (15 DAYS)
- AS WORK PROGRESSES INSTALL RECHARGE FACILITIES.
- FINE GRADE ALL AREAS. INSTALL CONCRETE CURB & GUTTER AND STONE SUB-BASE. PROCEED WITH LANDSCAPING EXCEPT WITHIN PIPE OUTLET SEDIMENT TRAP AREAS. (12 DAYS)
- WITH PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR REMOVE PIPE OUTLET SEDIMENT TRAPS AND EARTH DIKE. FINE GRADE THAT AREA. INSTALL REMAINING CONCRETE CURB AND GUTTER, STONE SUBBASE AND LANDSCAPING. CONTRACTOR IS TO CLEAN, RESTORE AND STABILIZE THE RECEIVING POND TO ITS ORIGINAL CONDITION OF ANY SEDIMENT PRODUCED BY THIS PROJECT. (5 DAYS)
- AFTER ALL AREAS DRAINING TO THE SEDIMENT CONTROL MEASURES AND DEVICES ARE VEGETATIVELY STABILIZED AND WITH PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR, REMOVE ALL REMAINING SEDIMENT CONTROL MEASURES AND DEVICES AND PROCEED WITH PAVING OPERATIONS. (5 DAYS)

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PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



PIPE OUTLET SEDIMENT TRAP (ST 1) #2

EXISTING D.A.	- 3.60 AC
PROPOSED D.A.	- 3.60 AC
STORAGE REQUIRED	- 12,960 CF
STORAGE PROVIDED	- 18,704 CF
WET STORAGE REQUIRED	- 6,480 CF
WET STORAGE PROVIDED	- 8,144 CF
WET STORAGE ELEVATION	- 284.00 TO 286.00
DRY STORAGE REQUIRED	- 6,480.00 CF
DRY STORAGE PROVIDED	- 10,560.00 CF
DRY STORAGE ELEVATION	- 286.00 TO 288.00
SIZE BARREL	- 24"
SIZE RISER	- 24"
SIZE TRASH RACK	- 36"
BOTTOM DIMENSION	- 35' X 100'
TOP EMBANKMENT ELEVATION	- 289.00 (MIN)
TOP EMBANKMENT WIDTH	- 4.00 FT (MIN)
RISER CREST ELEVATION	- 288.00
CLEANOUT STORAGE REQUIRED	- 3,240 CF
CLEANOUT STORAGE PROVIDED	- 3,250 CF
CLEANOUT ELEVATION	- 284.80
SIDE SLOPES	- 2:1
BOTTOM ELEV.	- 284.00
MIN. ELEV. OF EXIST GROUND	- 289.00

SEDIMENT CONTROL STANDARD GENERAL NOTES

- A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF PERMITS AND LICENSES PRIOR TO THE START OF ANY CONSTRUCTION.
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL".
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
 - SEVEN (7) DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1.
 - FOURTEEN (14) DAYS AS TO ALL OTHER DISTURBED AREAS ON THE PROJECT SITE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" FOR PERMANENT SEEDING, TEMPORARY SEEDING, AND MULCHING (SECTION G). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMITS FROM THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:

TOTAL AREA OR SITE	10.82	ACRES +/-
AREA TO BE ROOFED OR PAVED	7.00	ACRES +/-
AREA TO BE VEGETATIVELY STABILIZED	3.82	ACRES +/-
TOTAL CUT	25,000	CUBIC YARDS +/-
TOTAL FILL	25,000	CUBIC YARDS +/-
OFF-SITE WASTE/BORROW AREA LOCATION WASTE	N/A	
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED BEFORE COMPLETION OF PERIMETER EROSION AND SEDIMENT CONTROL. PERMITS FROM THE INSPECTION AGENCY MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE DAY, WHICHEVER IS SHORTER.
- STOCKPILING WILL NOT BE PERMITTED ON SITE.
- EARTH QUANTITY VOLUMES ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. CONTRACTOR IS ADVISED TO PERFORM HIS OWN ANALYSIS PRIOR TO PLACING A BID ON THIS ITEM.

PIPE OUTLET SEDIMENT TRAP (ST 1) #1

EXISTING D.A.	- 4.70 AC
PROPOSED D.A.	- 4.70 AC
STORAGE REQUIRED	- 16,920 CF
STORAGE PROVIDED	- 19,564 CF
WET STORAGE REQUIRED	- 8,460.00 CF
WET STORAGE PROVIDED	- 8,534.00 CF
WET STORAGE ELEVATION	- 284.00 TO 286.00
DRY STORAGE REQUIRED	- 8,460 CF
DRY STORAGE PROVIDED	- 11,030 CF
DRY STORAGE ELEVATION	- 286.00 TO 288.00
SIZE BARREL	- 24"
SIZE RISER	- 27"
SIZE TRASH RACK	- 42"
BOTTOM DIMENSION	- 35' X 105'
TOP EMBANKMENT ELEVATION	- 289.00 (MIN)
TOP EMBANKMENT WIDTH	- 4.00 FT (MIN)
RISER CREST ELEVATION	- 288.00
CLEANOUT STORAGE REQUIRED	- 4,230 CF
CLEANOUT STORAGE PROVIDED	- 4,250 CF
CLEANOUT ELEVATION	- 285.10
SIDE SLOPES	- 2:1
BOTTOM ELEV.	- 284.00
MIN. ELEV. OF EXIST GROUND	- 289.00

This development plan is approved for soil erosion and sediment control by the HOWARD COUNTY DEPARTMENT OF PERMITS AND LICENSES.

Howard Co. SCD *[Signature]* /25/10 Date

DEVELOPER'S CERTIFICATE
"I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

[Signature] /25/10 Date
James F. Knott, Jr.

ENGINEER'S CERTIFICATE
"I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

[Signature] /25/10 Date
Iwona Rostek-Zarska, P.E. 21245

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division	<i>[Signature]</i> /22/10 Date
Chief, Division of Land Development	<i>[Signature]</i> /24/10 Date
Director, DEP.	<i>[Signature]</i> /25/10 Date

ADDRESS CHART

LOT / PARCEL NO.	STREET ADDRESS
PARCEL C	9466 STERLING DRIVE 916J

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.
EMERSON	3 / 1	C / 1051
PLAT NO. or L/F	GRID NO.	ZONING
20460	G14	PEC-MXD-3
	TAX MAP NO.	ELEC. DIST.
	47	6TH
	CENSUS TRACT	
	6069-03	

OWNER / DEVELOPER
EMERSON DEVELOPMENT III LLC
CO DLA PIPER LLP
1 TEXAS STATION COURT
SUITE 200
TIMONIUM, MD 21093-8288
(443) 689-8000

DATE	ITEM	BY
12/31/09	REVISED PER HOWARD COUNTY COMMENTS	BLDG
01/22/10	REVISED PER HOWARD COUNTY COMMENTS	BLDG
3/17/10	ADDED CONC. WALK AND RELOCATED HDPC PARKING SPACES	BLDG
9/7/2011	REVISED SITE DEVELOPMENT PLAN	JACOBS

Revised
EROSION AND SEDIMENT CONTROL PLAN
EMERSON - PARCEL 'C'
5 STORY OFFICE BUILDING

HOWARD COUNTY, MARYLAND
SCALE: 1"=50'

SHEET 8 OF 14
DATE: JANUARY 25, 2010
SDP-10-402

PROFESSIONAL CERTIFICATION

HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2010.

[Signature]
Iwona Rostek-Zarska, P.E.

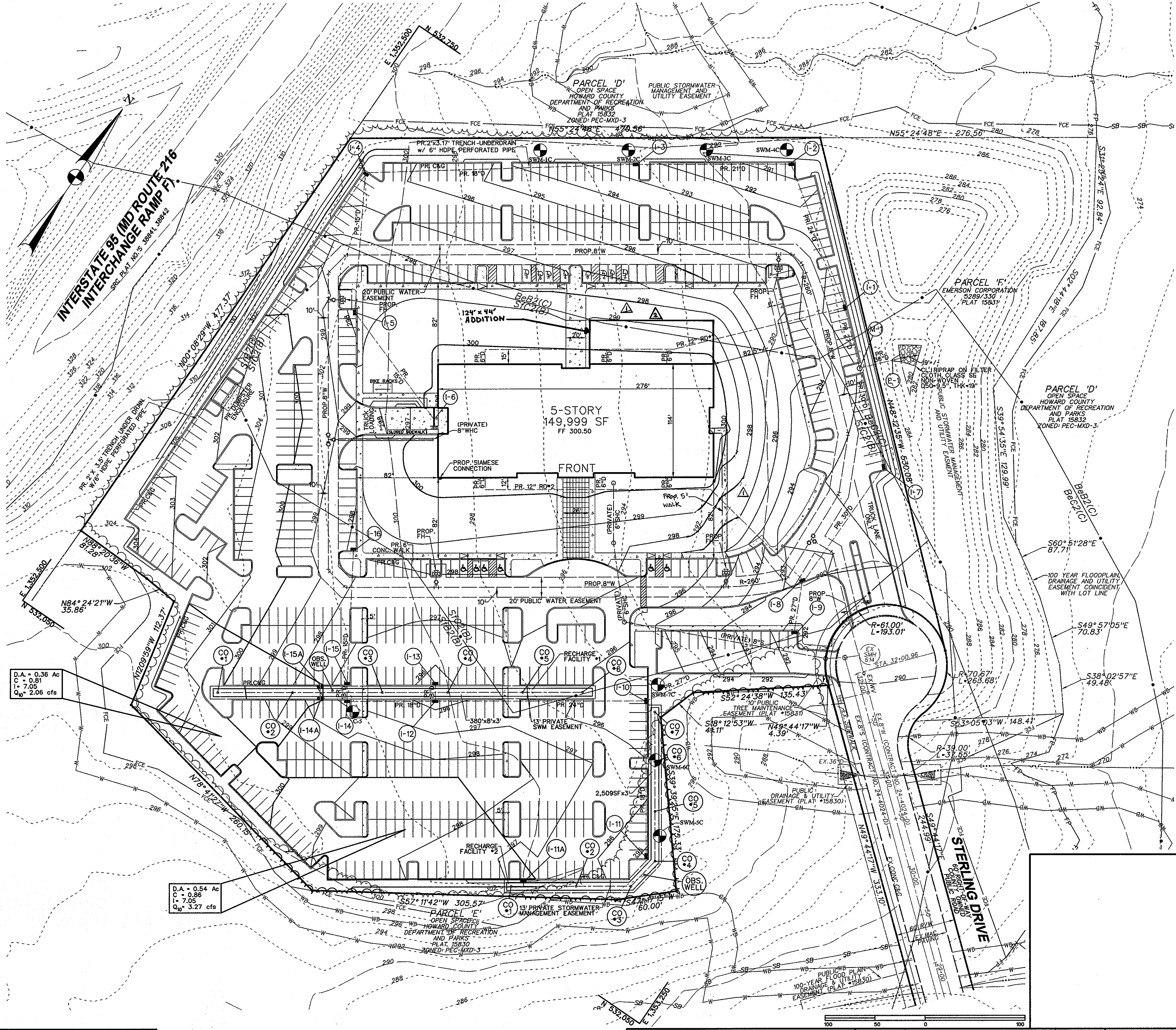
LEGEND

RIGHT-OF-WAY LINE	---
PROPERTY LINE	---
EX. STORM DRAIN	EX. 18" D
EX. SANITARY SEWER, MANHOLE & CLEANOUT	EX. 8" S
EX. WATER MAIN, VALVE & FIRE HYDRANT	EX. 8" W
EX. ELECTRIC LINE	---
EX. TREE LINE	---
EX. INDEX CONTOURS	---300---
EX. INTERMEDIATE CONTOURS	---298---
PR. TREE LINE	---
PR. STORM DRAIN	PR. 15" D
PR. SANITARY SEWER & CLEANOUT	PR. 6" S
PR. WATER MAIN, VALVE & FIRE HYDRANT	PR. 8" W
PR. EASEMENT LINE	---
PR. INDEX CONTOURS	---300---
PR. INTERMEDIATE CONTOURS	---298---
PR. CONC. CURB & GUTTER	---

SOIL CLASSIFICATION

BeB2	Beltville Silt Loam, 1 to 5% Slopes	C
BeC2	Beltville Silt Loam, 5 to 10% Slopes	C
SfB2	Sassafras Gravelly Sandy Loam, 1 to 5% Slopes	B
SfC2	Sassafras Gravelly Sandy Loam, 1 to 5% Slopes	B

NOTE: SITE WAS MASS GRADED SEVERAL YEARS AGO. THEREFORE, ANY HYDRIC/AGRICULTURAL SOIL TYPES HAVE BEEN REMOVED. THERE ARE NO SOILS WITH SLOPES OF LESS THAN 1% WITH SIGNIFICANT EROSION POTENTIAL.



STORM DRAIN INLET SCHEDULE

NO.	TYPE	INV. OUT	TOP ELEV.	REMARKS
I-11A	SHALLOW 5' COG INLET	293.30	297.15	SEE SHA STD. DETAIL NO. 374.66
I-14A	SHALLOW 5' COG INLET	294.30	298.15	SEE SHA STD. DETAIL NO. 374.66
I-15A	SHALLOW 5' COG INLET	294.30	297.90	SEE SHA STD. DETAIL NO. 374.66

*TOP OF CURB

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Mark Dorman Chief, Development Engineering Division Date: 2/22/10
Walter S. ... Chief, Division of Land Development Date: 2/22/10
Dorman & ... Director, DEP. Date: 2/22/10

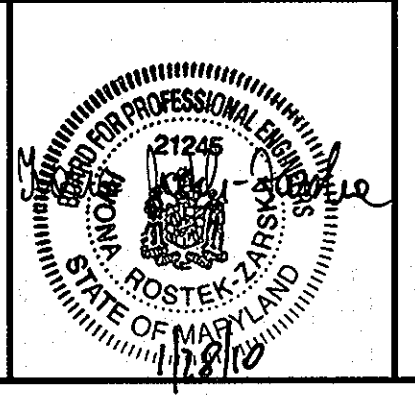
ADDRESS CHART

LOT / PARCEL NO.	STREET ADDRESS
PARCEL C	2160 STERLING DRIVE

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.
EMERSON	3 / 1	C / 1051
PLAT NO. or L/F	GRID NO.	ZONING
20960	G14	PEC-MXD-3
TAX MAP NO.	ELEC. DIST.	CENSUS TRACT
47	6TH	6069-03

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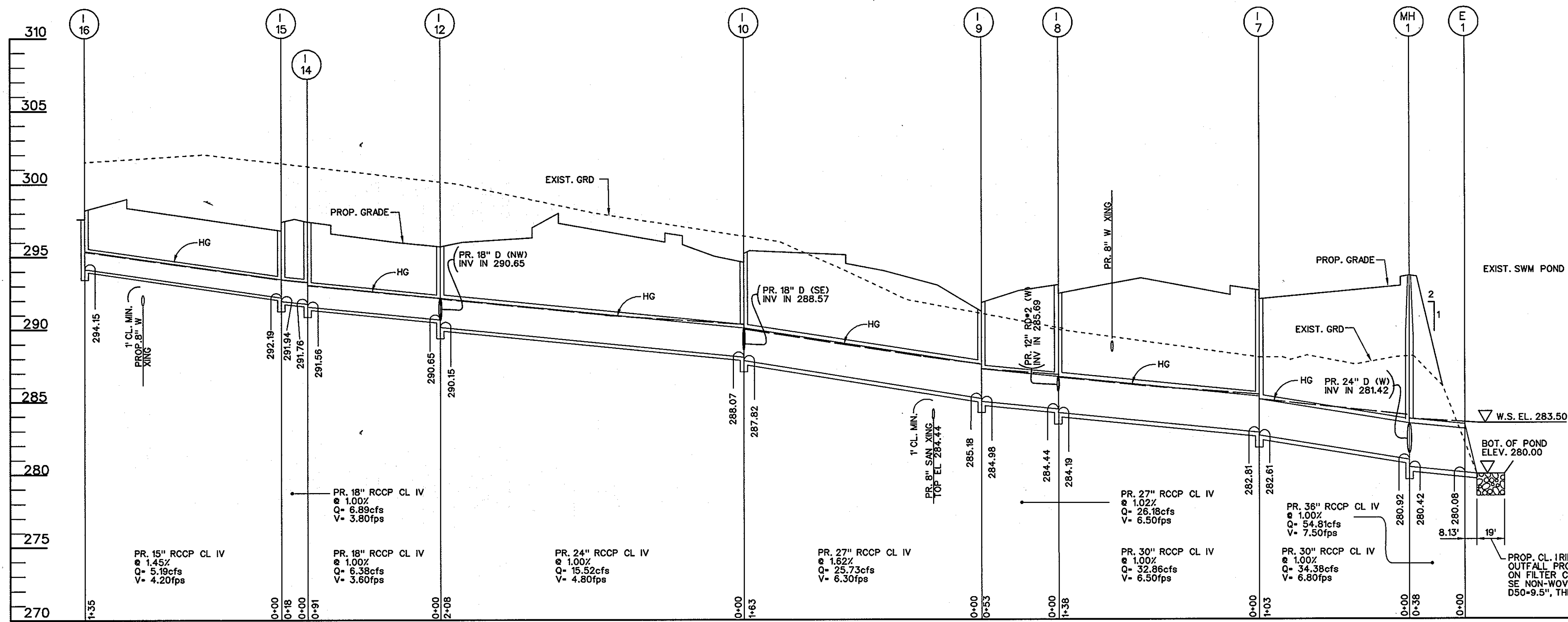
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OWNER / DEVELOPER
 EMERSON DEVELOPMENT III LLC
 CO DLA PIPER LLP
 1 TEXAS STATION COURT
 SUITE 200
 TIMONIUM, MD 21093-8288
 (443) 689-8000

DATE	ITEM	BY
12/31/09	REVISED PER HOWARD COUNTY COMMENTS	BLDG
01/22/10	REVISED PER HOWARD COUNTY COMMENTS	BLDG
3/17/10	ADDED CONC. WALK AND RELOCATED	BLDG
4/7/2011	W/C PARKING SPACES	JACOBS
9/7/2011	REVISED SITE DEVELOPMENT PLAN	JACOBS

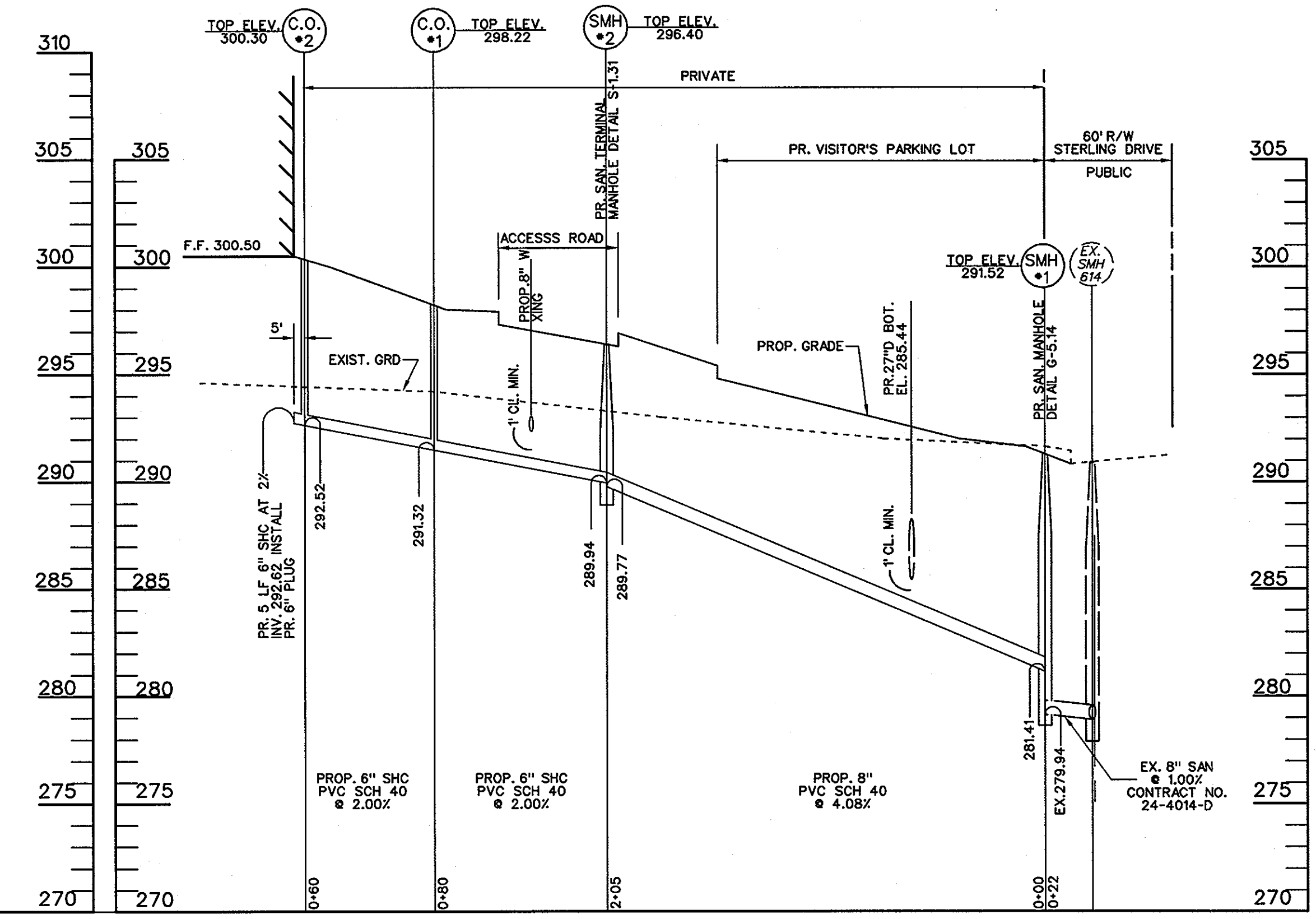
SOILS MAP AND STORMWATER MANAGEMENT PLAN
 RECHARGE ONLY
EMERSON - PARCEL 'C'
 5 STORY OFFICE BUILDING

HOWARD COUNTY, MARYLAND
 SHEET 11 OF 14
 DATE: JANUARY 25, 2010
 SCALE: 1"=50'
 SDP-10-042



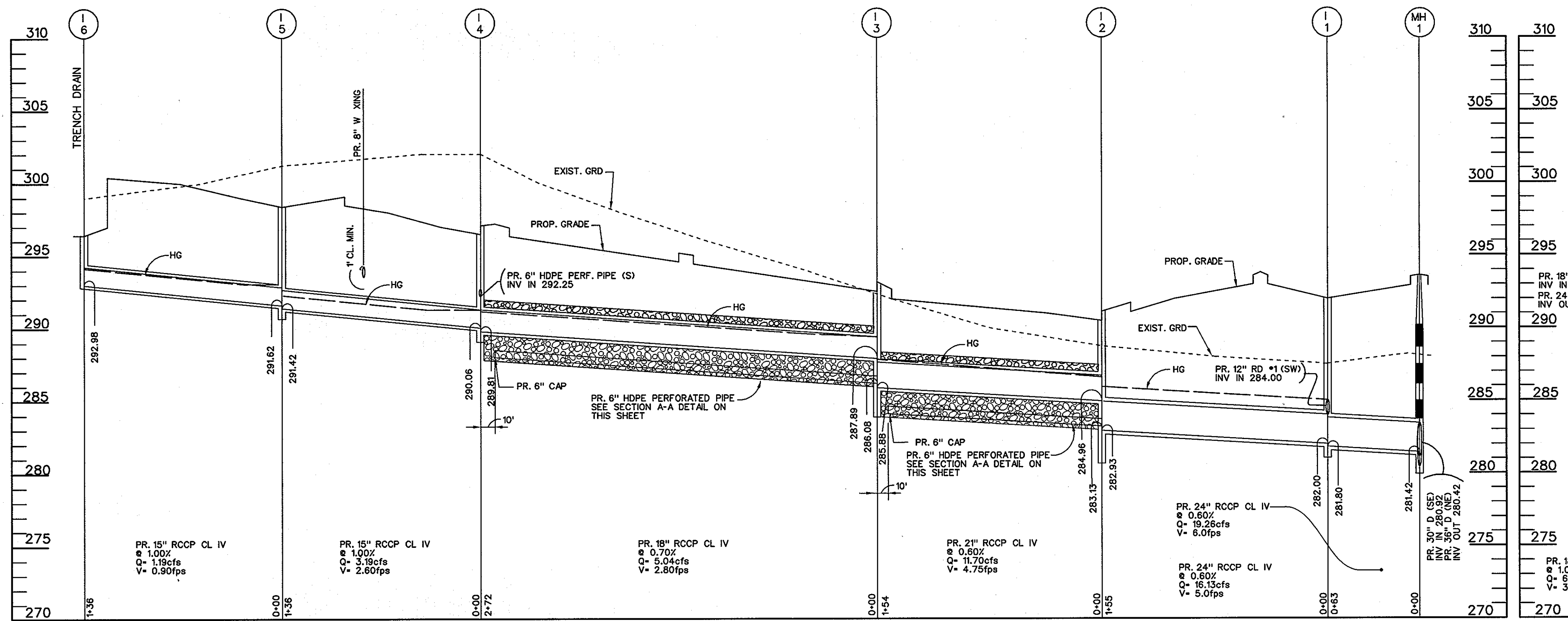
STORM DRAIN PROFILES

SCALE: H: 1" = 50'
V: 1" = 5'



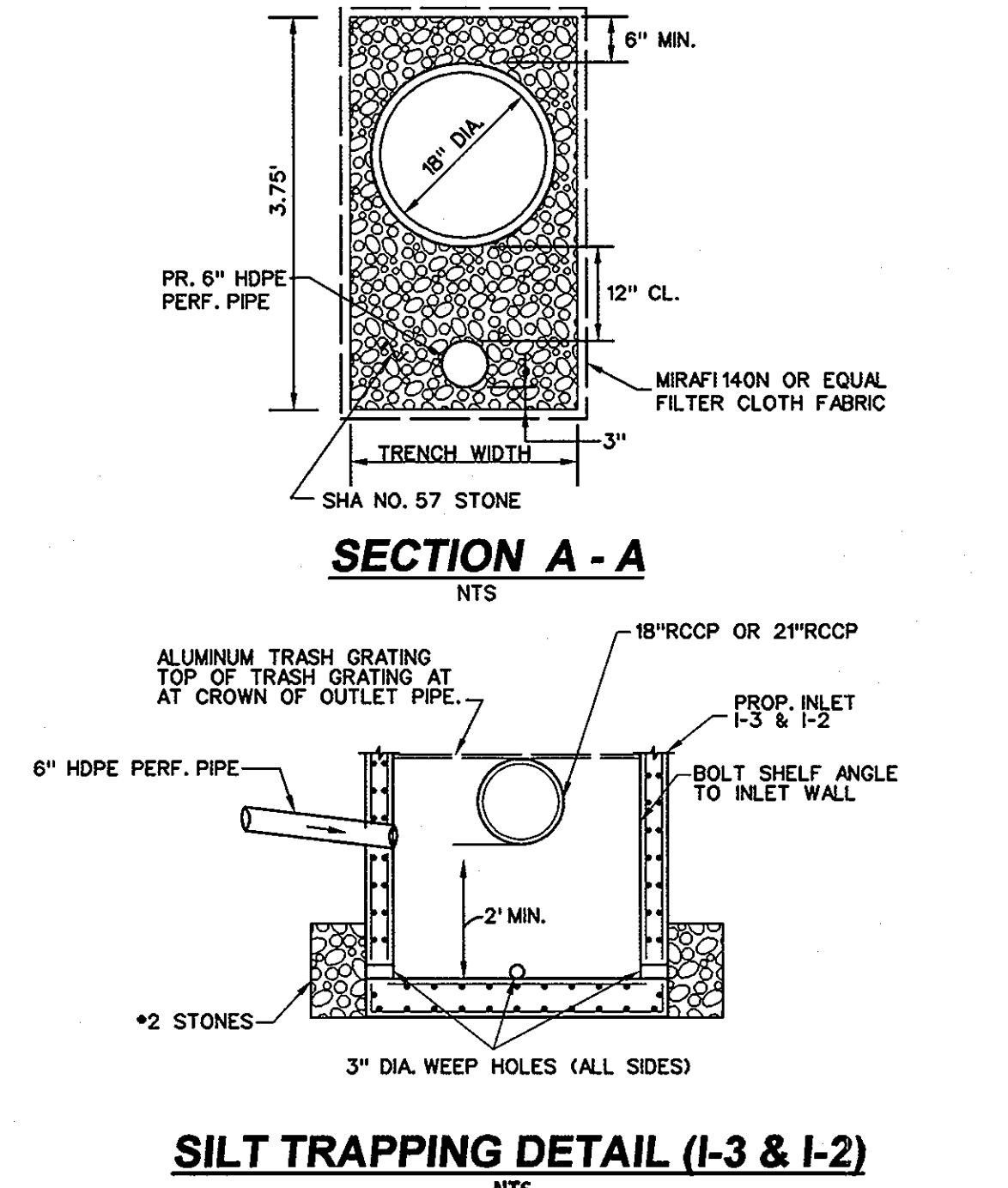
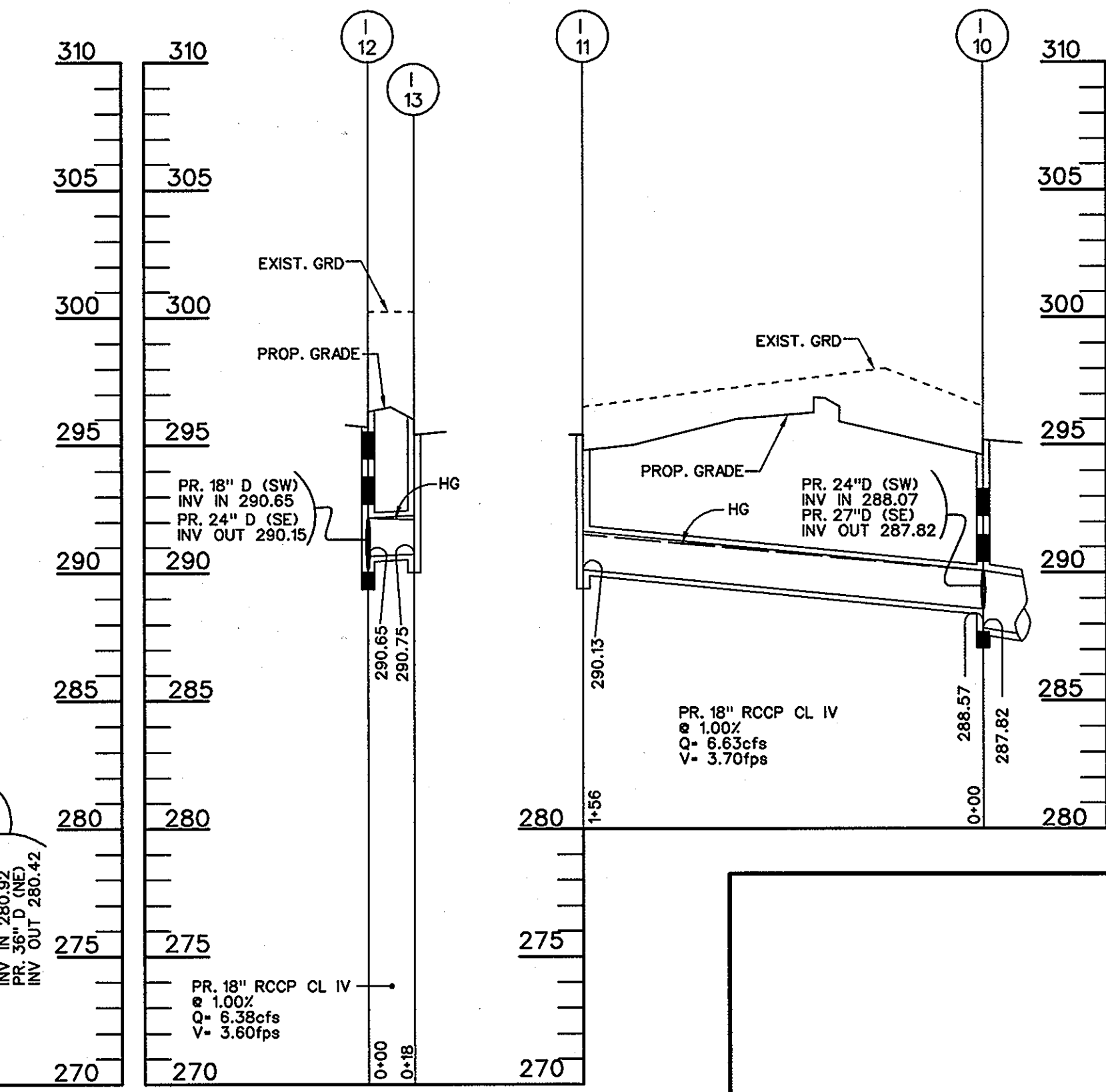
SANITARY SEWER PROFILE

SCALE: H: 1" = 50'
V: 1" = 5'



STORM DRAIN PROFILES

SCALE: H: 1" = 50'
V: 1" = 5'



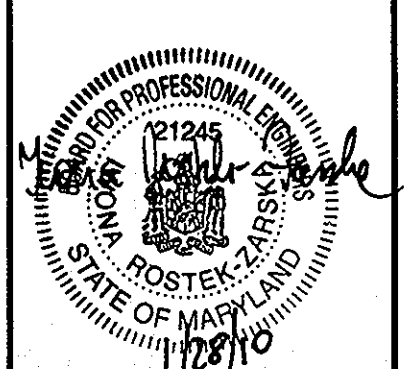
APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division: *[Signature]* Date: 2/22/10
 Chief, Division of Land Development: *[Signature]* Date: 2/22/10
 Director, DEP: *[Signature]* Date: 2/22/10

ADDRESS CHART	
LOT / PARCEL NO.	STREET ADDRESS
PARCEL C	9160 STERLING DRIVE 9167

PERMIT INFORMATION CHART				
SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.		
EMERSON	3 / 1	C / 1051		
PLAT NO. or L/F	GRID NO.	ZONING	TAX MAP NO.	ELEC. DIST.
20960	G14	PEC-MXD-3	47	6TH
				CENSUS TRACT
				6069-03

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DATE	ITEM	BY
12/31/09	REVISED PER HOWARD COUNTY COMMENTS	BLDG
01/22/10	REVISED PER HOWARD COUNTY COMMENTS	BLDG

UTILITY PROFILES
EMERSON - PARCEL 'C'
 5 STORY OFFICE BUILDING

HOWARD COUNTY, MARYLAND
 SCALE: 1" = 50'

SHEET 7 OF 14
 DATE: JANUARY 25, 2010
 SDP-10-042

LEGEND

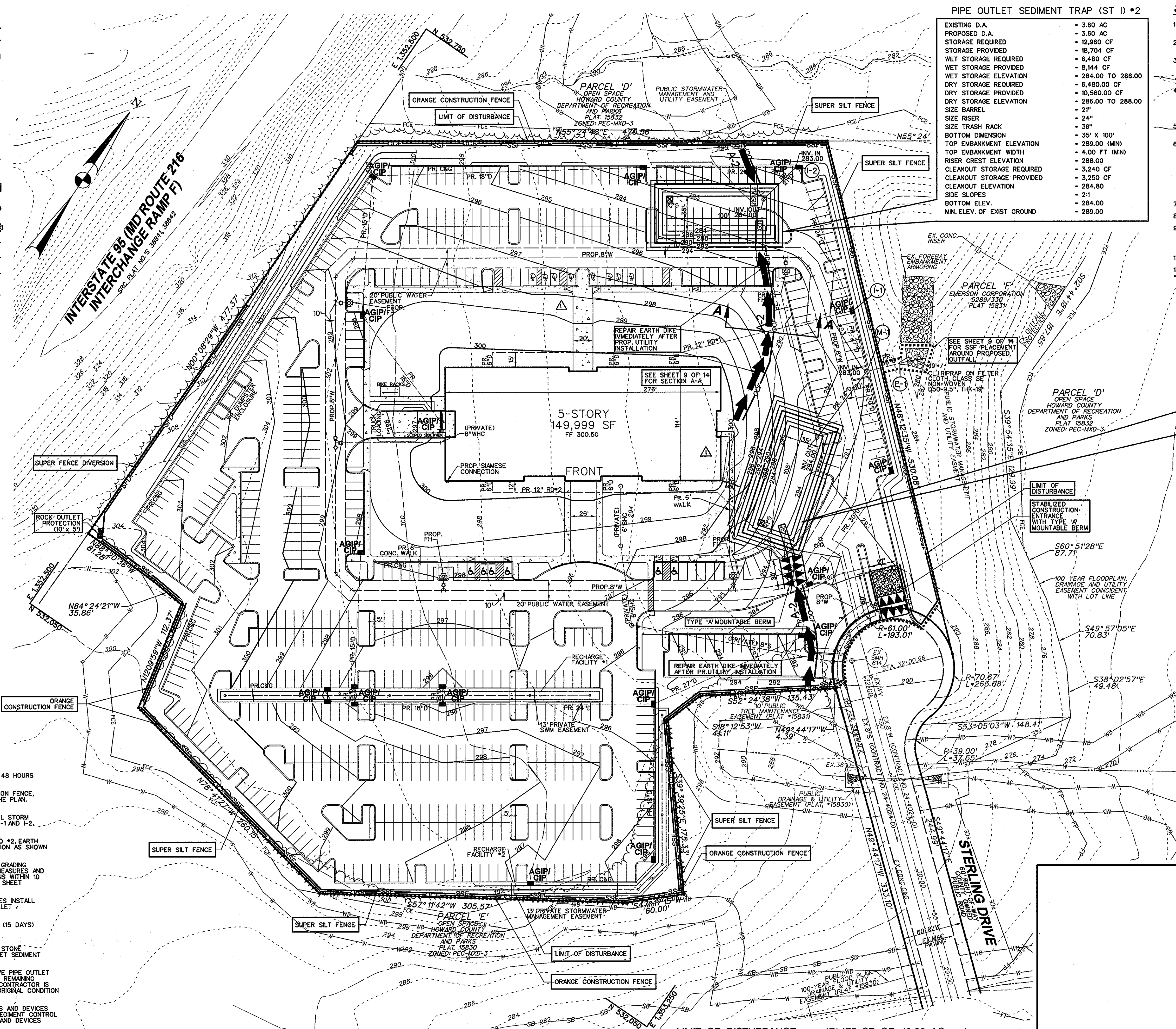
RIGHT-OF-WAY LINE	---
PROPERTY LINE	---
EX. STORM DRAIN	EX. 18" D
EX. SANITARY SEWER MANHOLE & CLEANOUT	EX. 8" S
EX. WATER MAIN, VALVE & FIRE HYDRANT	EX. 8" W
EX. TREE LINE	---
EX. INDEX CONTOURS	300
EX. INTERMEDIATE CONTOURS	298
PR. STORM DRAIN	PR. 15" D
PR. SANITARY SEWER & CLEANOUT	PR. 8" S
PR. WATER MAIN, VALVE & FIRE HYDRANT	PR. 8" W
PR. EASEMENT LINE	---
PR. INDEX CONTOURS	180
PR. INTERMEDIATE CONTOURS	182
PR. CONC. CURB & GUTTER	---

SEDIMENT CONTROL LEGEND

LIMIT OF DISTURBANCE	-----
SUPER SILT FENCE	SSF
SUPER FENCE DIVERSION	SFD
ORANGE CONSTRUCTION FENCE	OCF
STABILIZED CONSTRUCTION ENTRANCE	SCE
MOUNTABLE BERM TYPE A	▲▲▲▲
ROCK OUTLET PROTECTION	■ ■ ■ ■
STANDARD INLET PROTECTION	SIP
AT GRADE INLET PROTECTION	AGIP
CURB INLET PROTECTION	CIP
REMOVABLE PUMP STATION	RPS
GABION INFLOW PROTECTION	GIP
EARTH DIKE	→ A-1 →

SEQUENCE OF OPERATION

- OBTAIN GRADING PERMIT.
- NOTIFY HOWARD COUNTY DEPARTMENT OF PERMITS AND LICENSES 48 HOURS PRIOR TO BEGINNING WORK. (1 DAY)
- INSTALL STABILIZED CONSTRUCTION ENTRANCE, ORANGE CONSTRUCTION FENCE, SUPER SILT FENCE AND SUPER FENCE DIVERSION AS SHOWN ON THE PLAN. (3 DAYS)
- WITH PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR, INSTALL STORM DRAIN SYSTEM FROM E-1 TO I-2. PROVIDE INLET PROTECTION FOR I-1 AND I-2. MAINTAIN TWO (2) FEET OF COVER OVER STORM DRAIN SYSTEM.
- CLEAR AND GRUB AND INSTALL PIPE OUTLET SEDIMENT TRAP #1 AND #2. EARTH DIKES, REMOVABLE PUMPING STATION AND GABION INFLOW PROTECTION AS SHOWN ON THE PLAN.
- WITH PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR, BEGIN GRADING OPERATIONS. MAINTAIN POSITIVE DRAINAGE TO SEDIMENT CONTROL MEASURES AND DEVICES AT ALL TIMES. DO NOT PERFORM ANY GRADING OPERATIONS WITHIN 10 FEET OF THE EARTH DIKE. SEE DUST CONTROL SPECIFICATIONS ON SHEET 10 OF 14. (10 DAYS)
- BEGIN CONSTRUCTION OF PROPOSED BUILDING. AS WORK PROGRESSES INSTALL REMAINING UTILITIES EXCEPT FOR RECHARGE FACILITIES. PROVIDE INLET PROTECTION FOR NEWLY INSTALLED INLETS. (20 DAYS)
- CONTINUE WITH GRADING OPERATIONS AND BUILDING CONSTRUCTION. (15 DAYS)
- AS WORK PROGRESSES INSTALL RECHARGE FACILITIES.
- FINE GRADE ALL AREAS. INSTALL CONCRETE CURB & GUTTER AND STONE SUB-BASE. PROCEED WITH LANDSCAPING EXCEPT WITHIN PIPE OUTLET SEDIMENT TRAP AREAS. (12 DAYS)
- WITH PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR REMOVE PIPE OUTLET SEDIMENT TRAPS AND EARTH DIKE. FINE GRADE THAT AREA. INSTALL REMAINING CONCRETE CURB AND GUTTER. STONE SUBBASE AND LANDSCAPING CONTRACTOR IS TO CLEAN, RESTORE AND STABILIZE THE RECEIVING POND TO ITS ORIGINAL CONDITION OF ANY SEDIMENT PRODUCED BY THIS PROJECT. (5 DAYS)
- AFTER ALL AREAS DRAINING TO THE SEDIMENT CONTROL MEASURES AND DEVICES ARE VEGETATIVELY STABILIZED AND WITH PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR, REMOVE ALL REMAINING SEDIMENT CONTROL MEASURES AND DEVICES AND PROCEED WITH PAVING OPERATIONS. (5 DAYS)



PIPE OUTLET SEDIMENT TRAP (ST 1) #2

EXISTING D.A.	3.80 AC
PROPOSED D.A.	3.80 AC
STORAGE REQUIRED	12,960 CF
STORAGE PROVIDED	18,704 CF
WET STORAGE REQUIRED	6,480 CF
WET STORAGE PROVIDED	8,144 CF
WET STORAGE ELEVATION	284.00 TO 286.00
DRY STORAGE REQUIRED	6,480.00 CF
DRY STORAGE PROVIDED	10,560.00 CF
DRY STORAGE ELEVATION	286.00 TO 288.00
SIZE BARREL	24"
SIZE RISER	24"
SIZE TRASH RACK	36"
BOTTOM DIMENSION	35' X 100'
TOP EMBANKMENT ELEVATION	289.00 (MIN)
TOP EMBANKMENT WIDTH	4.00 FT (MIN)
RISER CREST ELEVATION	288.00
CLEANOUT STORAGE REQUIRED	3,240 CF
CLEANOUT STORAGE PROVIDED	3,250 CF
CLEANOUT ELEVATION	284.80
SIDE SLOPES	2:1
BOTTOM ELEV.	284.00
MIN. ELEV. OF EXIST GROUND	289.00

SEDIMENT CONTROL STANDARD GENERAL NOTES

- A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF PERMITS AND LICENSES PRIOR TO THE START OF ANY CONSTRUCTION (410-333-1881).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE "1984 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL".
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
 - A. SEVEN CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1.
 - B. FOURTEEN DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE "1984 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" FOR PERMANENT SEEDINGS, SOGS, TEMPORARY SEEDING AND MULCHING SECTION G. TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:

TOTAL AREA OR SITE	10.82	ACRES +/-
AREA TO BE ROOFED OR PAVED	7.00	ACRES +/-
AREA TO BE VEGETATIVELY STABILIZED	3.82	ACRES +/-
TOTAL CUT	25,000	CUBIC YARDS +/-
TOTAL FILL	25,000	CUBIC YARDS +/-
OFF-SITE WASTE/BORROW AREA LOCATION WASTE	N/A	
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROL MEASURES. PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING, OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE DAY, WHICHEVER IS SHORTER.
- STOCKPILING WILL NOT BE PERMITTED ON SITE.
- EARTH QUANTITY VOLUMES ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. CONTRACTOR IS ADVISED TO PERFORM HIS OWN ANALYSIS PRIOR TO PLACING A BID ON THIS ITEM.

PIPE OUTLET SEDIMENT TRAP (ST 1) #1

EXISTING D.A.	4.70 AC
PROPOSED D.A.	4.70 AC
STORAGE REQUIRED	16,920 CF
STORAGE PROVIDED	19,564 CF
WET STORAGE REQUIRED	8,460.00 CF
WET STORAGE PROVIDED	8,534.00 CF
WET STORAGE ELEVATION	284.00 TO 286.00
DRY STORAGE REQUIRED	8,460 CF
DRY STORAGE PROVIDED	11,030 CF
DRY STORAGE ELEVATION	286.00 TO 288.00
SIZE BARREL	24"
SIZE RISER	27"
SIZE TRASH RACK	42"
BOTTOM DIMENSION	35' X 105'
TOP EMBANKMENT ELEVATION	289.00 (MIN)
TOP EMBANKMENT WIDTH	4.00 FT (MIN)
RISER CREST ELEVATION	288.00
CLEANOUT STORAGE REQUIRED	4,230 CF
CLEANOUT STORAGE PROVIDED	4,250 CF
CLEANOUT ELEVATION	285.10
SIDE SLOPES	2:1
BOTTOM ELEV.	284.00
MIN. ELEV. OF EXIST GROUND	289.00

This development plan is approved for soil erosion and sediment control by the HOWARD COUNTY DEPARTMENT OF PERMITS AND LICENSES.

[Signature]
 Howard Co. SCD
 Date: 1/25/10

DEVELOPER'S CERTIFICATE
 "I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I/We authorize periodic on-site inspection by the Howard Soil Conservation District."

[Signature]
 James F. Knott, Jr.
 Date: 1/25/10

ENGINEER'S CERTIFICATE
 "I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

[Signature]
 Iwona Rostek-Zarska, P.E. 21245
 Date: 1/25/10

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature]
 Chief, Development Engineering Division
 Date: 2/22/10

[Signature]
 Chief, Division of Land Development
 Date: 2/24/10

[Signature]
 Director, DEP.
 Date: 2/24/10

ADDRESS CHART					
LOT / PARCEL NO.	STREET ADDRESS				
PARCEL C	9466 STERLING DRIVE 9161				
PERMIT INFORMATION CHART					
SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.			
EMERSON	3 / 1	C / 1051			
PLAT NO. or L/F	ZONING	TAX MAP NO.	ELEC. DIST.	CENSUS TRACT	
20960	G14	PEC-MD-3	47	6TH	6069-03

LIMIT OF DISTURBANCE = 471,175 SF OR 10.82 AC +/-

BLDG
 Baltimore Land Design Group Inc.
 Consulting Engineers
 222 SCHILLING CIRCLE SUITE 105 • HUNT VALLEY, MARYLAND 21030
 PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGC.COM

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2010.

[Signature]
 Iwona Rostek-Zarska, P.E.
 1/25/10

OWNER / DEVELOPER
 EMERSON DEVELOPMENT III LLC
 CO DLA PIPER LLP
 1 TEXAS STATION COURT
 SUITE 200
 TIMONIUM, MD 21093-8288
 (443) 689-8000

DATE	ITEM	BY
12/31/09	REVISED PER HOWARD COUNTY COMMENTS	BLDG
01/22/10	REVISED PER HOWARD COUNTY COMMENTS	BLDG
2/17/10	ADDED CONC. WALK AND RELOCATED HDCP PARKING SPACES	BLDG

EROSION AND SEDIMENT CONTROL PLAN
EMERSON - PARCEL 'C'
 5 STORY OFFICE BUILDING

HOWARD COUNTY, MARYLAND
 SCALE: 1"=50'

REVISOR: [Signature]

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US Army Corps of Engineers
Baltimore District

REAL PROPERTY SERVICES
ANNAPOLIS JUNCTION, MARYLAND

JACOBS
1100 N. GLEBE RD., ARLINGTON, VA 22201

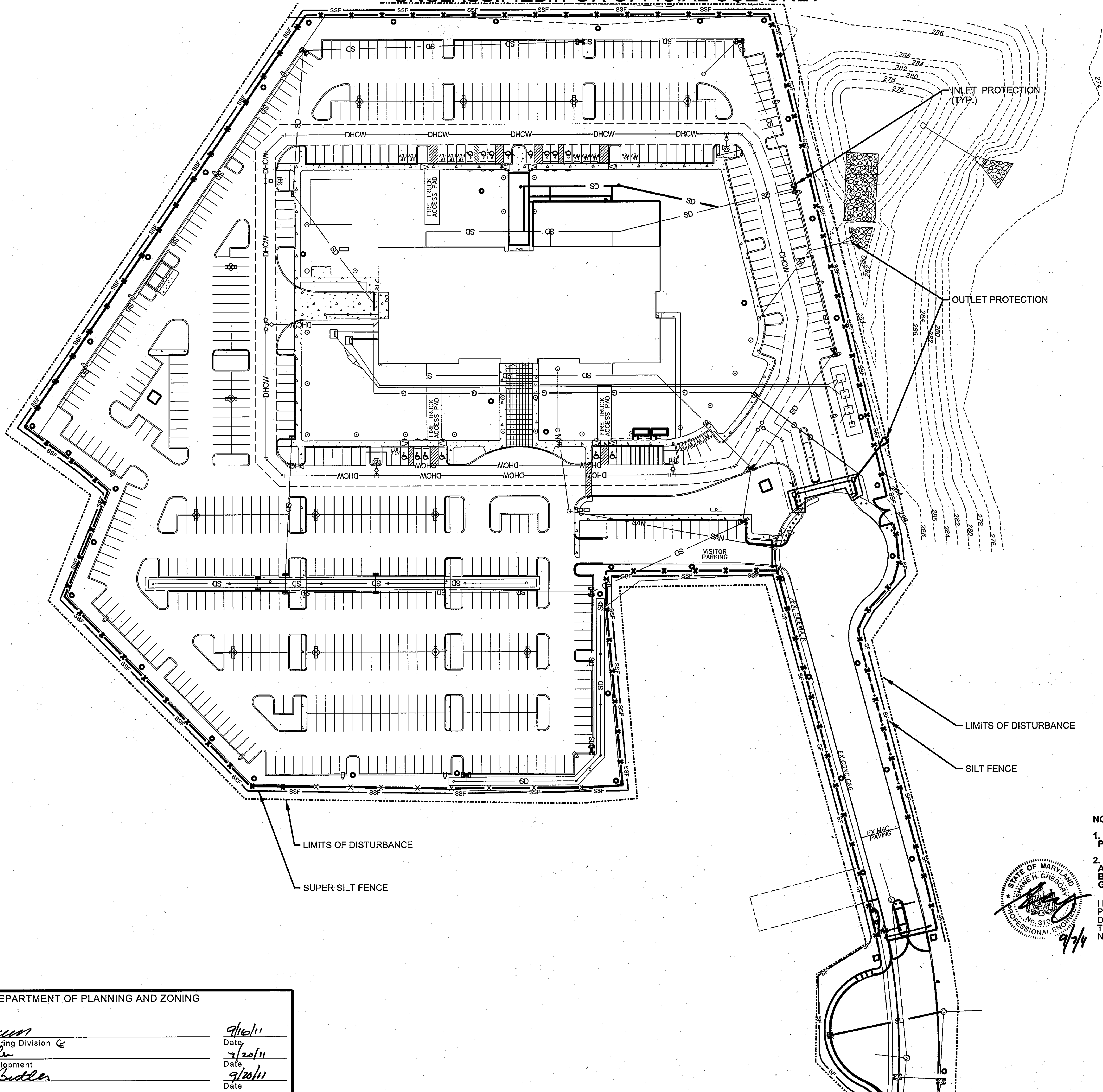
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Rev.	Date	Description

Designed by: S. PARENT	Date: AUGUST 31, 2011
Drawn by: S. PARENT	Project No. 24377
RSFO Project Manager: CHARLES CANITZ	File name: AU-JUST 31, 2011
Submitted by: WILLIAM REEHL	Proj. code:
PROJECT MANAGER	

EMERSON - PERIMETER SECURITY AND SITE EROSION AND SEDIMENT CONTROL PLAN	ROOM(S) OR FLOOR
	LAUREL, MD

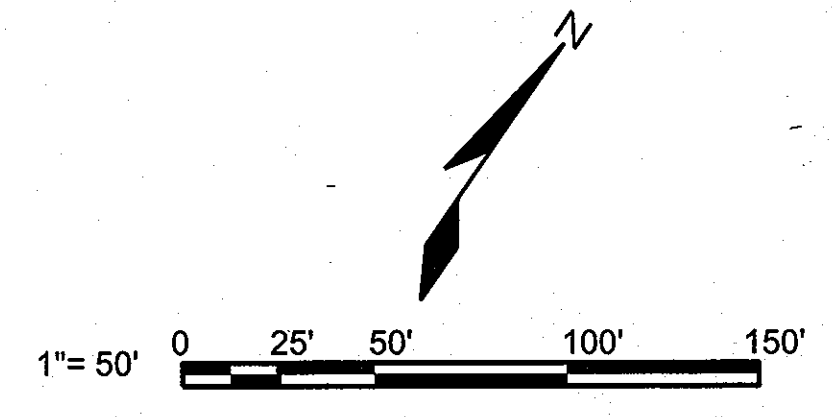
Drawing No.	
Sheet Reference No.	8A
Sheet of 14	



- NOTES:
1. THIS PLAN IS NOT FOR CONSTRUCTION. THIS PLAN IS FOR PERMITTING PURPOSES ONLY.
 2. ALL EXISTING INFORMATION SHOWN ON THIS PLAN IS ASSUMED TO BE ACCURATE. ALL INFORMATION SHOWN IS BASED ON DESIGN PLANS BY BALTIMORE LAND DESIGN GROUP, INC. ON MARCH 17, 2010.



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 31011, EXPIRATION DATE: 10/17/2012



APPROVED: DEPARTMENT OF PLANNING AND ZONING

<i>John D. ...</i> Chief, Development Engineering Division	9/16/11 Date
<i>Kevin ...</i> Chief, Division of Land Development	9/20/11 Date
<i>Thomas ...</i> Director	9/20/11 Date

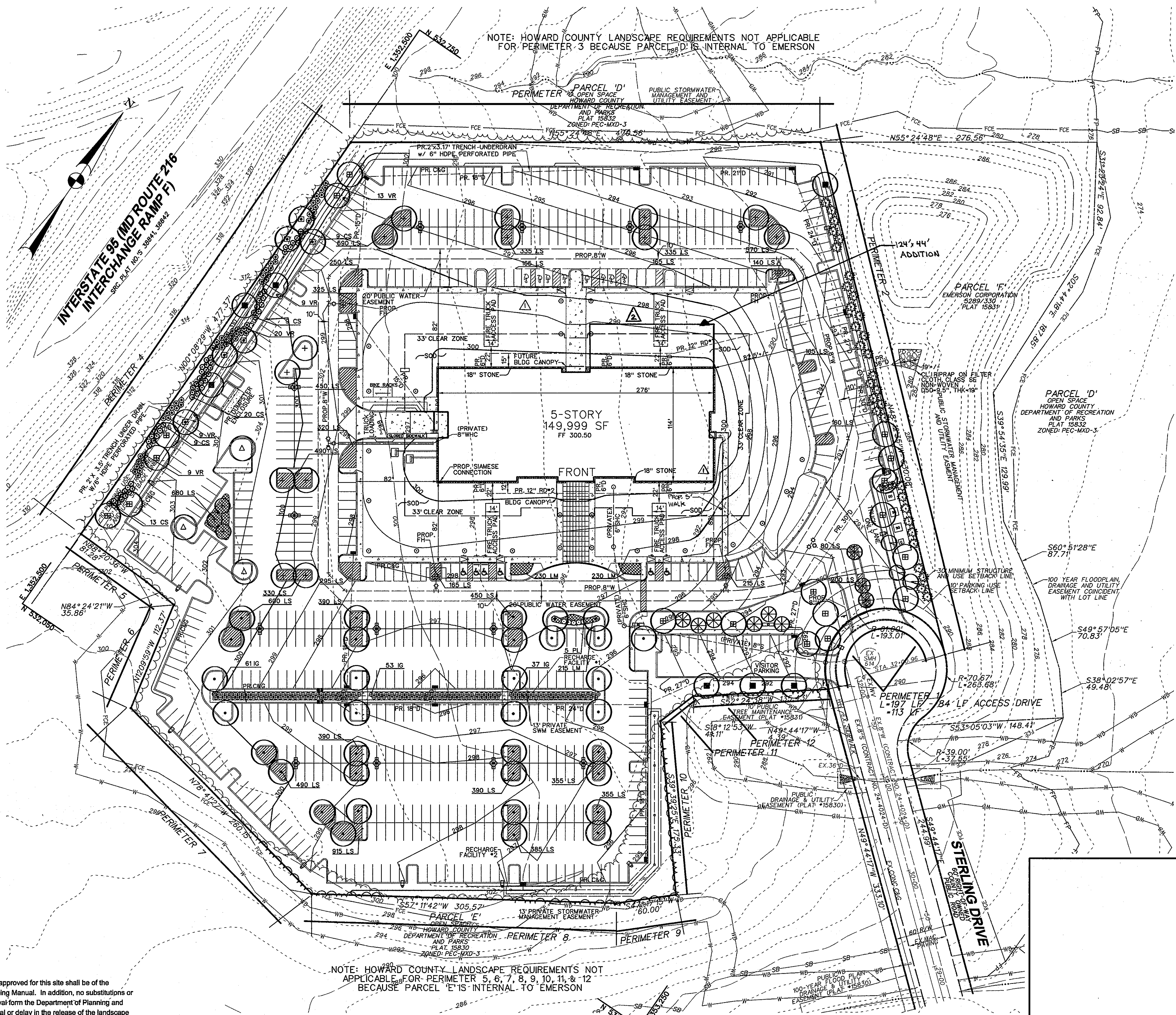
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REVISION

LEGEND

RIGHT-OF-WAY LINE	
PROPERTY LINE	
EX. STORM DRAIN	EX. 18" D
EX. SANITARY SEWER, MANHOLE & CLEANOUT	EX. 8" S
EX. WATER MAIN, VALVE & FIRE HYDRANT	EX. 8" W
EX. ELECTRIC LINE	
EX. TREE LINE	
EX. INDEX CONTOURS	-300
EX. INTERMEDIATE CONTOURS	-298
PR. TREE LINE	
PR. STORM DRAIN	PR. 15" D
PR. SANITARY SEWER & CLEANOUT	PR. 6" S
PR. WATER MAIN, VALVE & FIRE HYDRANT	PR. 8" W
PR. EASEMENT LINE	
PR. INDEX CONTOURS	-300
PR. INTERMEDIATE CONTOURS	-298
PR. CONC. CURB & GUTTER	
PR. PARKING COUNT	(B)
PR. LOW EMITTING / FUEL EFFICIENT VEHICLE PARKING	
PR. ON-SITE LIGHTS	
COOPER ICON TWIN ASSEMBLY WITH DIAMOND SHAPED CONC. BASE	
COOPER ICON TWIN ASSEMBLY	
COOPER ICON SINGLE	
SATURN CUTOFF 12' COLUMN LIGHT	



At the time of instalment, all shrubs and other plantings herewith listed and approved for this site shall be of the proper height requirements in accordance with the Howard County Landscaping Manual. In addition, no substitutions or relocation of required plantings may be made without prior review and approval from the Department of Planning and Zoning. Any deviation from this approved Landscape Plan may result in denial or delay in the release of the landscape surety until such time as all required materials are planted and/or revisions are made to applicable plans and certificates.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

	2/22/10
Chief, Development Engineering Division	Date
	2/24/10
Chief, Division of Land Development	Date
	2/24/10
Director, DEP	Date

ADDRESS CHART

LOT / PARCEL NO.	STREET ADDRESS
PARCEL C	9100 STERLING DRIVE
	9101

PERMIT INFORMATION CHART

SUBDIVISION NAME EMERSON	SECTION / AREA 3 / 1	LOT / PARCEL NO. C / 1051
PLAT NO. or L/F 20960	GRID NO. G14	ZONING PEC-MD-3
TAX MAP NO. 47	ELEC. DIST. 6TH	CENSUS TRACT 6069-03

BLDG
Baltimore Land Design Group Inc.
Consulting Engineers
222 SCHILLING CIRCLE SUITE 105 • HUNT VALLEY, MARYLAND 21030
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 647, EXPIRATION DATE: JULY 30, 2011.

LANDSCAPE ARCHITECTS
HUMAN & ROHDE, INC.
512 VIRGINIA AVENUE
TOWSON, MARYLAND 21286
(410) 825-3885

OWNER / DEVELOPER
EMERSON DEVELOPMENT III LLC
CO DLA PIPER LLP
1 TEXAS STATION COURT
SUITE 200
TIMONIUM, MD 21093-8288
(443) 689-8000

DATE	ITEM	BY
12/31/09	REVISED PER HOWARD COUNTY COMMENTS	BLDG
01/22/10	REVISED PER HOWARD COUNTY COMMENTS	BLDG
3/17/10	APPROVED CONC. WALK AND RELOCATED HOOP	BLDG
	PARKING SPACES	
9/7/2011	REVISED SITE DEVELOPMENT PLAN	JACOBS

REVISOR
LANDSCAPE PLAN
EMERSON - PARCEL 'C'
5 STORY OFFICE BUILDING
HOWARD COUNTY, MARYLAND
SCALE: 1"=50'
SHEET 13 OF 14
DATE: JANUARY 25, 2010
SDP-10-042

21.0 STANDARD AND SPECIFICATIONS FOR TOPSOIL

DEFINITION

PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

PURPOSE

TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

CONDITIONS WHERE PRACTICE APPLIES

- THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:
 - THE TEXTURE OF THE EXPOSED SUBSOIL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.
 - THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.
 - THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
 - THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.
- FOR THE PURPOSES OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION. AREAS HAVING SLOPES STEEPER THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE PLANS.

CONSTRUCTION AND MATERIAL SPECIFICATIONS

- TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SGS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.
- TOPSOIL SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:
 - TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND, OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH OR OTHER MATERIAL LARGER THAN 1/2" IN DIAMETER.
 - TOPSOIL MUST BE FREE OF PLANTS, PLANT PARTS SUCH AS S. BERMUDA GRASS, QUACKGRASS, JOHNSONGRASS, NUTSEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.
 - WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4 TONS/ACRES (200,000 LBS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.
- FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES:
 - PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION 1 - VEGETATIVE STABILIZATION METHODS AND MATERIALS.
- FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES:
 - ON SITE MEETING TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS DICTATING FERTILIZER AND LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING:
 - A PH FOR TOPSOIL SHALL BE BETWEEN 6.0 AND 7.5. IF THE TESTED SOIL DEMONSTRATES A PH OF LESS THAN 6.0, SURFACE LIME SHALL BE APPLIED TO RAISE THE PH TO 6.5 OR HIGHER.
 - ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 1.5 PERCENT BY WEIGHT.
 - C TOPSOIL HAVING SOLUBLE SALT CONTENT GREATER THAN 500 PARTS PER MILLION SHALL NOT BE USED.
 - NO SOIL OR SEED SHALL BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DEGRADATION OF PHYTO-TOXIC MATERIALS.
 NOTE: TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL.
 - PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION 1 - VEGETATIVE STABILIZATION METHODS AND MATERIALS.
- TOPSOIL APPLICATION
 - WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSION, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS.
 - GRADES ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE MAINTAINED, ABOUT 1/4" - 3/8" HIGHER IN ELEVATION.
 - TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4" - 8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH MINIMUM OF PREPARATION AND TILLAGE. ANY IRRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
 - TOPSOIL SHALL NOT BE PLACED ON SUBSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.
- ALTERNATIVE FOR PERMANENT SEEDING - INSTEAD OF APPLYING THE FULL AMOUNTS OF LIME AND COMMERCIAL FERTILIZER, COMPOSTED SLUDGE AND AMENDMENTS MAY BE APPLIED AS SPECIFIED, BELOW:
 - COMPOSTED SLUDGE MATERIAL FOR USE AS A SOIL CONDITIONER FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES SHALL BE TESTED TO PRESCRIBE AMENDMENTS AND FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:
 - COMPOSTED SLUDGE SHALL BE SUPPLIED BY, OR ORIGINATED FROM, A PERSON OR PERSONS THAT ARE PERMITTED (AT THE TIME OF ACQUISITION OF THE COMPOST) BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT UNDER COMAR 26.04.06.
 - COMPOSTED SLUDGE SHALL CONTAIN AT LEAST 1 PERCENT NITROGEN, 1.5 PERCENT PHOSPHORUS, AND 0.2 PERCENT POTASSIUM AND HAVE A PH OF 7.0 TO 8.0. IF COMPOST DOES NOT MEET THESE REQUIREMENTS, THE APPROPRIATE CONSTITUENTS MUST BE ADDED TO MEET THE REQUIREMENTS PRIOR TO USE.
 - COMPOSTED SLUDGE SHALL BE APPLIED AT A RATE OF 1 TON/1,000 SQUARE FEET.
 - COMPOSTED SLUDGE SHALL BE AMENDED WITH A POTASSIUM FERTILIZER APPLIED AT THE RATE OF 4 LB./1,000 SQUARE FEET, AND 1/3 THE NORMAL LIME APPLICATION RATE.

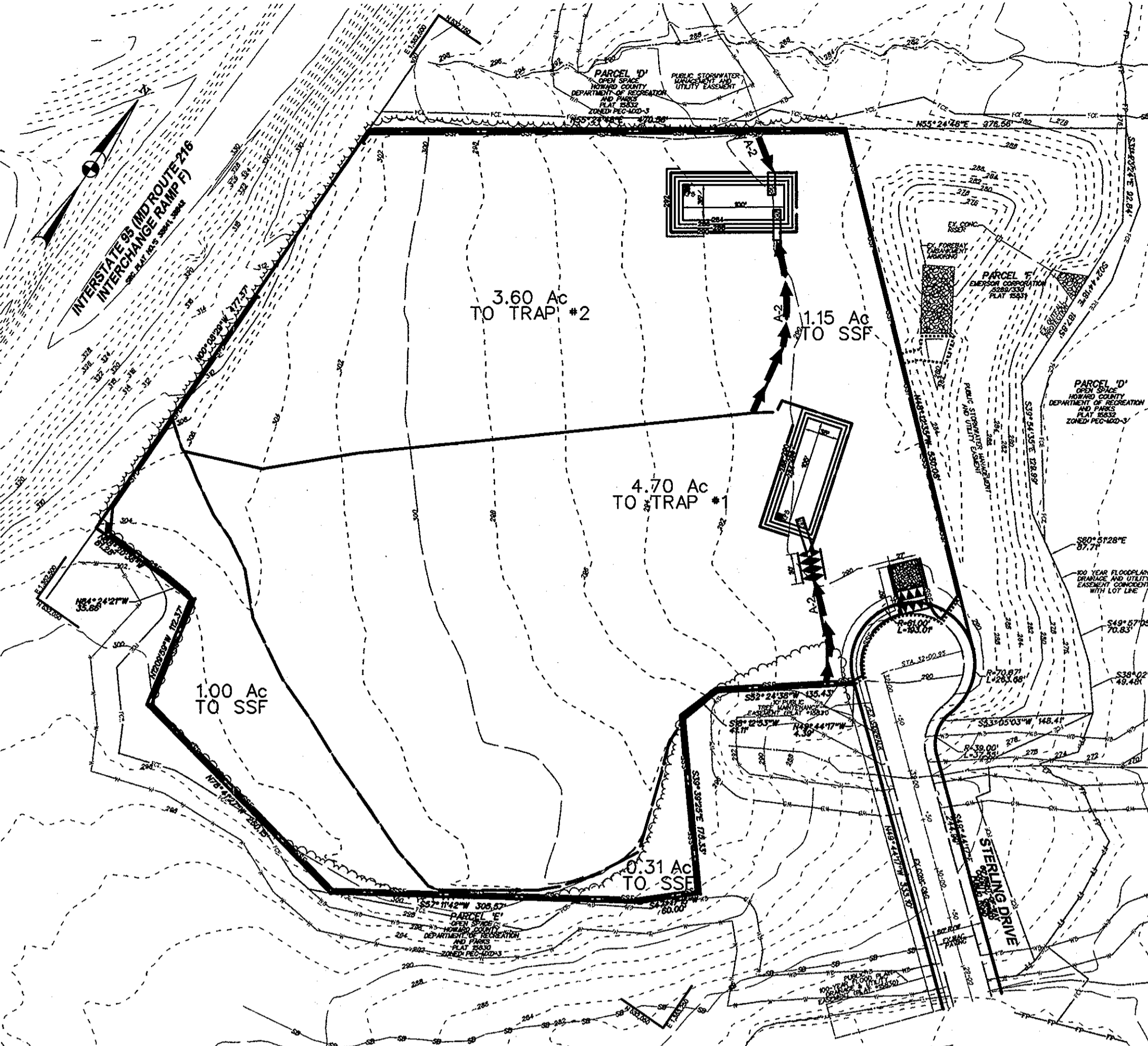
REFERENCES: GUIDELINE SPECIFICATIONS, SOIL PREPARATION AND SODDING, MD-VA, PUB. #1, COOPERATIVE EXTENSION SERVICE, UNIVERSITY OF MARYLAND AND VIRGINIA POLYTECHNIC INSTITUTES, REVISED 1973.

PERMANENT / TEMPORARY SEEDING NOTES

- PERMANENT SEEDING NOTES**
- APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.
- SEEDBED PREPARATION - LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.
- SOIL AMENDMENTS - IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:
- PREFERRED - APPLY 2 TONS PER ACRES DOLOMITIC LIMESTONE (92 LBS./1000 SQ. FT.) AND 1000 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ. FT.) BEFORE SEEDING. HARROW OR DISK INTO UPPER THREE INCHES OF SOIL AT TIME OF SEEDING, APPLY 400 LBS. PER ACRE 30-0-0 UREAFORM FERTILIZER (9 LBS./1000 SQ. FT.)
 - ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS./1000 SQ. FT.) AND 1000 LBS. PER ACRE 10-10-10 FERTILIZER (23 LBS./1000 SQ. FT.) BEFORE SEEDING. HARROW OR DISK INTO UPPER THREE INCHES OF SOIL.
- SEEDING - FOR THE PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU OCTOBER 15, SEED WITH 80 LBS. PER ACRE (14 LBS./1000 SQ. FT.) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31 SEED WITH 80 LBS. KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS. PER ACRE (60 LBS./1000 SQ. FT.) OF WEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY: OPTION (1) - 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) - USE SOD. (3) - SEED WITH 80 LBS./ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELL ANCHORED STRAW.
- MULCHING - APPLY 1/2" TO 2 TONS PER ACRE (70 - 90 LBS./1000 SQ. FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATIONS USING MULCH ANCHORING TOOL OR 2/8 GALLONS PER ACRE (5 GAL/1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS, ON SLOPES 8 FEET OR HIGHER, USE 3/48 GALLONS PER ACRE (8 GAL/1000 SQ. FT.) FOR ANCHORING.
- MAINTENANCE - INSPECT ALL SEEDING AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDING.
- TEMPORARY SEEDING NOTES**
- APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.
- SEEDBED PREPARATION - LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.
- SOIL AMENDMENTS - APPLY 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ. FT.)
- SEEDING - FOR THE PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU OCTOBER 15, SEED WITH 2 1/2" BUSHEL PER ACRE OF ANNUAL SOY BEANS. FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 1 LBS. PER ACRE OF WEEPING LOVEGRASS (0.07 LBS./1000 SQ. FT.). FOR THE PERIOD NOVEMBER 16 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOD.
- MULCHING - APPLY 1/2" TO 2 TONS PER ACRE (70 - 90 LBS./1000 SQ. FT.) OF UNROTTED WEEP FREE SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 2/8 GAL. PER ACRE (5 GAL/1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS, ON SLOPES 8 FT. OR HIGHER, USE 3/48 GAL. PER ACRE (8 GAL/1000 SQ. FT.) FOR ANCHORING.
- REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR ADDITIONAL RATES AND METHODS NOT COVERED.

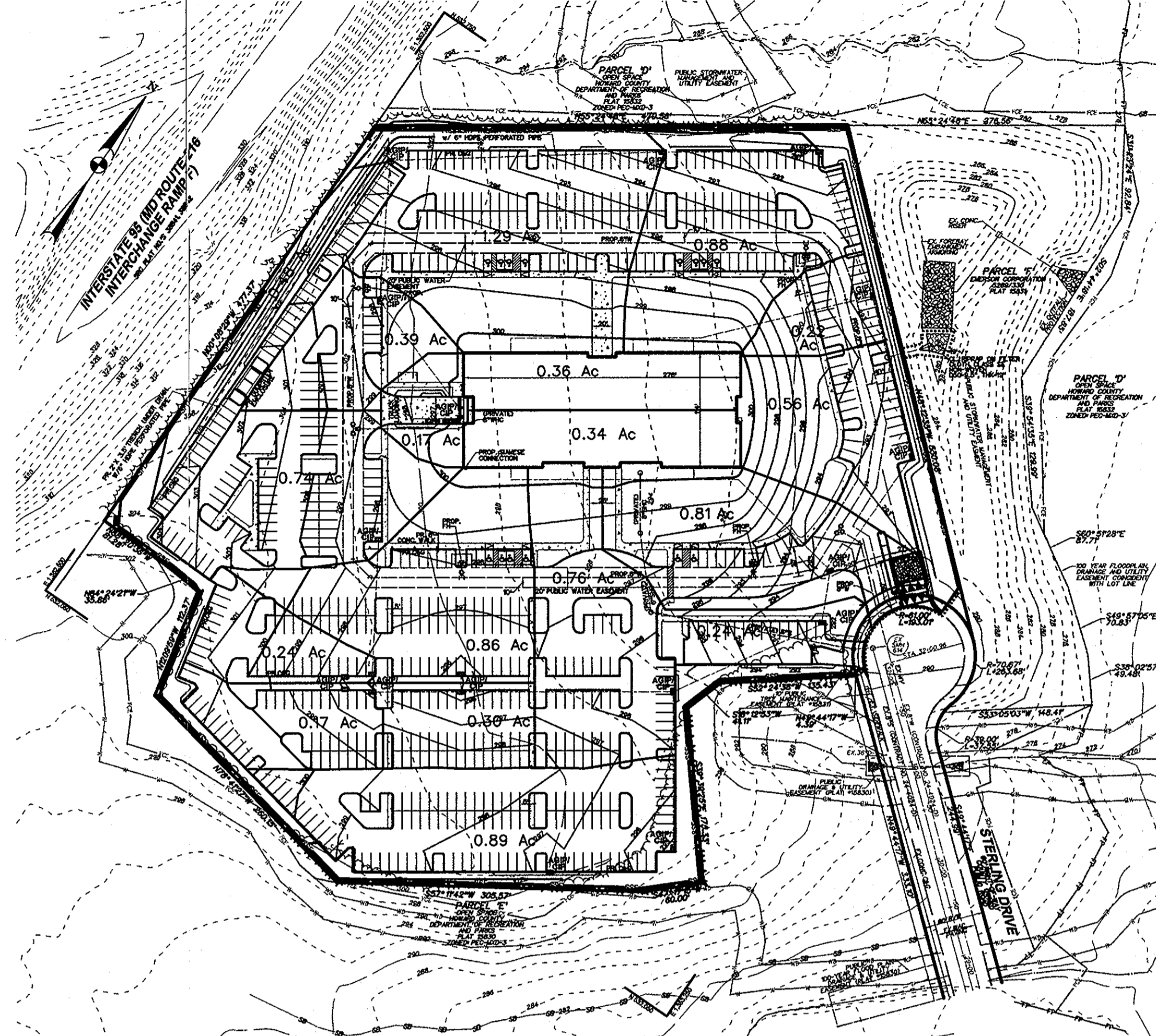
DUST CONTROL SPECIFICATIONS

- TEMPORARY METHODS:**
- MULCHES - SEE STANDARDS FOR VEGETATIVE STABILIZATION WITH MULCHES ONLY. MULCH SHOULD BE CRIMPED OR TACKED TO PREVENT BLOWING.
 - VEGETATIVE COVER - SEE STANDARDS FOR TEMPORARY VEGETATIVE COVER.
 - TILLAGE - TO ROUGHEN SURFACE AND BRING CLOUDS TO THE SURFACE. THIS IS AN EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN FLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, SPRING-TOOTHED HARROWS, AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
 - IRRIGATION - THIS IS GENERALLY DONE AS AN EMERGENCY TREATMENT. SITE IS SPRINKLED WITH WATER UNTIL THE SURFACE IS MOIST. REPEAT AS NEEDED. AT NO TIME SHOULD THE SITE BE IRRIGATED TO THE POINT THE RUNOFF BEGINS TO FLOW.
 - BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, STRAW BALES, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING. BARRIERS PLACED AT RIGHT ANGLES TO PREVAILING CURRENTS AT INTERVALS OF ABOUT 10 TIMES THEIR HEIGHT ARE EFFECTIVE IN CONTROLLING SOIL BLOWING.
 - CALCIUM CHLORIDE - APPLY AT A RATE THAT WILL KEEP SURFACE MOIST. MAY NEED RETREATMENT.
- PERMANENT METHODS:**
- PERMANENT VEGETATION - SEE STANDARDS FOR PERMANENT VEGETATIVE COVER, AND PERMANENT STABILIZATION WITH SOD, EXISTING TREES OR LARGE SHRUBS MAY AFFORD VALUABLE PROTECTION IF LEFT IN PLACE.
 - TOPSOILING - COVERING WITH LESS EROSION SOIL MATERIALS. SEE STANDARDS FOR TOPSOILING.
 - STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

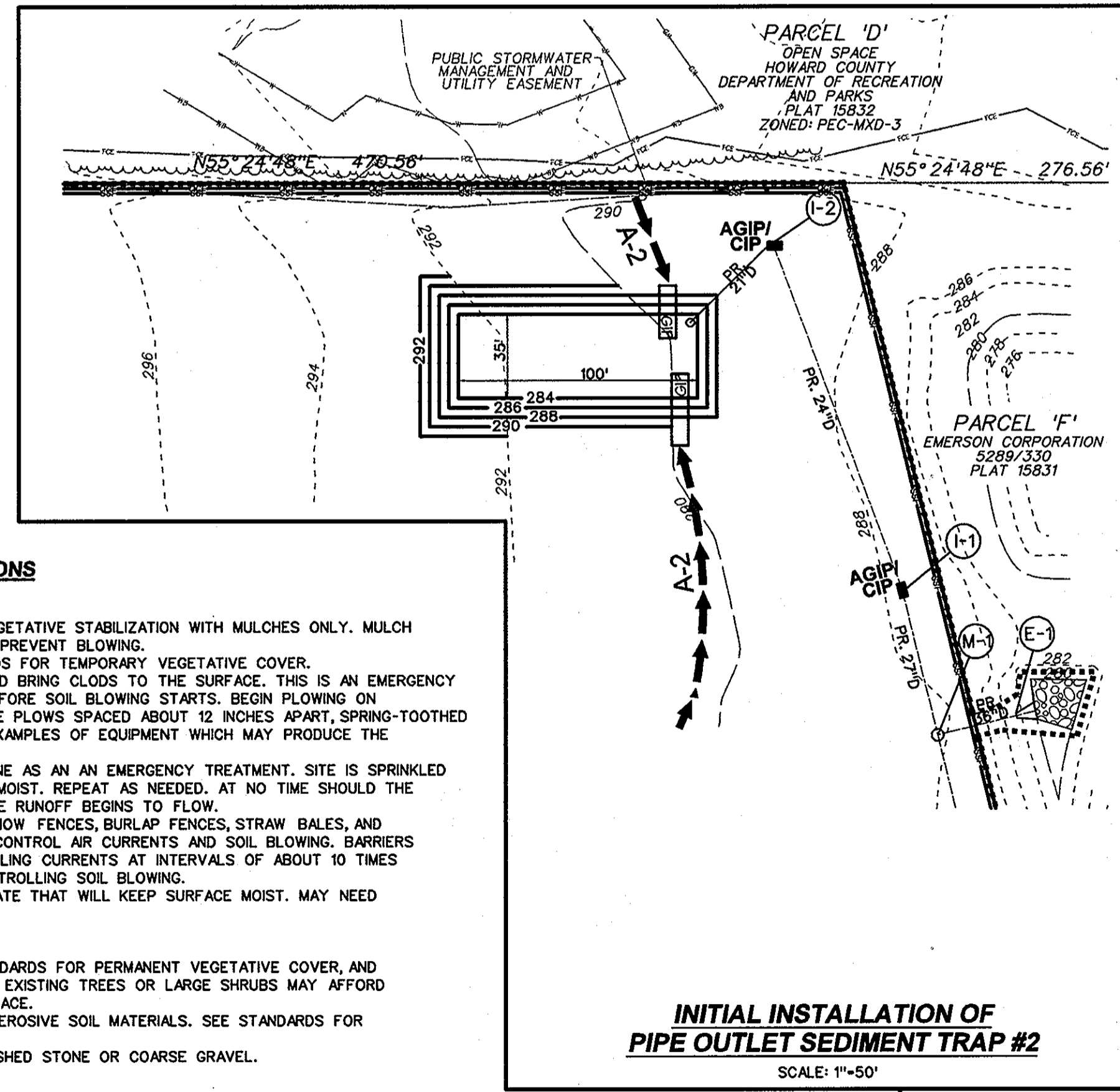


EXISTING DRAINAGE AREA MAP
SCALE: 1"=100'

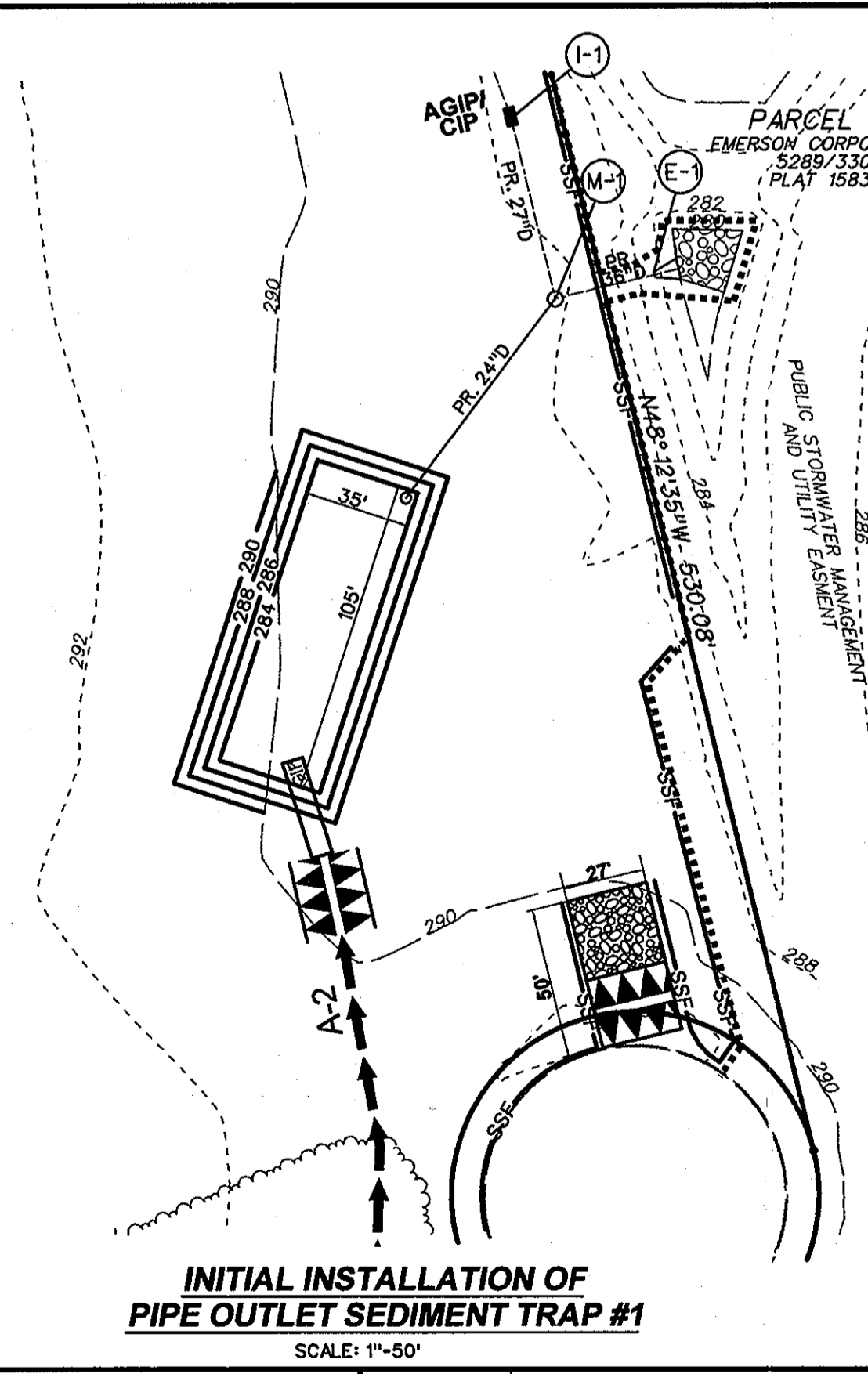
SEE INITIAL INSTALLATION DETAIL BELOW FOR STORM DRAIN CONNECTIONS



PROPOSED DRAINAGE AREA MAP
SCALE: 1"=100'



INITIAL INSTALLATION OF PIPE OUTLET SEDIMENT TRAP #2
SCALE: 1"=50'



INITIAL INSTALLATION OF PIPE OUTLET SEDIMENT TRAP #1
SCALE: 1"=50'

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
Howard Co. SCD Date: 1/25/10

DEVELOPER'S CERTIFICATE
I/we certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
James F. Knott, Jr. Date: 1/25/10

ENGINEER'S CERTIFICATE
I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
Iwona Rostek-Zarska, P.E. 21245 Date: 1/25/10

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Department of Engineering Division Date: 2/2/10
Chief, Division of Land Development Date: 2/2/10
Director, DEP Date: 2/2/10

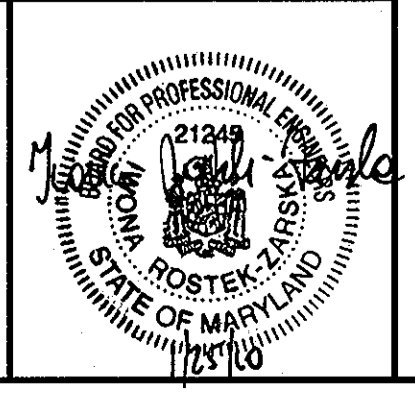
ADDRESS CHART

LOT / PARCEL NO.	STREET ADDRESS
PARCEL C	2100 STERLING DRIVE

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.
EMERSON	3 / 1	C / 1051
PLAT NO. or L/F	GRID NO.	ZONING
20960	G14	PEC-MXD-3
TAX MAP NO.	ELEC. DIST.	CENSUS TRACT
47	6TH	6069-03

BLDG
Baltimore Land Design Group Inc.
Consulting Engineers
222 SCHILLING CIRCLE SUITE 105 HUNT VALLEY, MARYLAND 21030
PHONE: 410.229.9851 FAX: 410.229.9865 BLDG@BLDGINC.COM



PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2010.

OWNER / DEVELOPER
EMERSON DEVELOPMENT III LLC
CO DLA PIPER LLP
1 TEXAS STATION COURT SUITE 200
TIMONIUM, MD 21093-8288
(443) 689-8000

DATE	ITEM	BY
12/31/09	REVISED PER HOWARD COUNTY COMMENTS	BLDG
01/22/10	REVISED PER HOWARD COUNTY COMMENTS	BLDG

EROSION AND SEDIMENT CONTROL NOTES
EMERSON - PARCEL 'C'
5 STORY OFFICE BUILDING
HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN
SHEET 10 OF 14
DATE: JANUARY 25, 2010
SDP-10-042

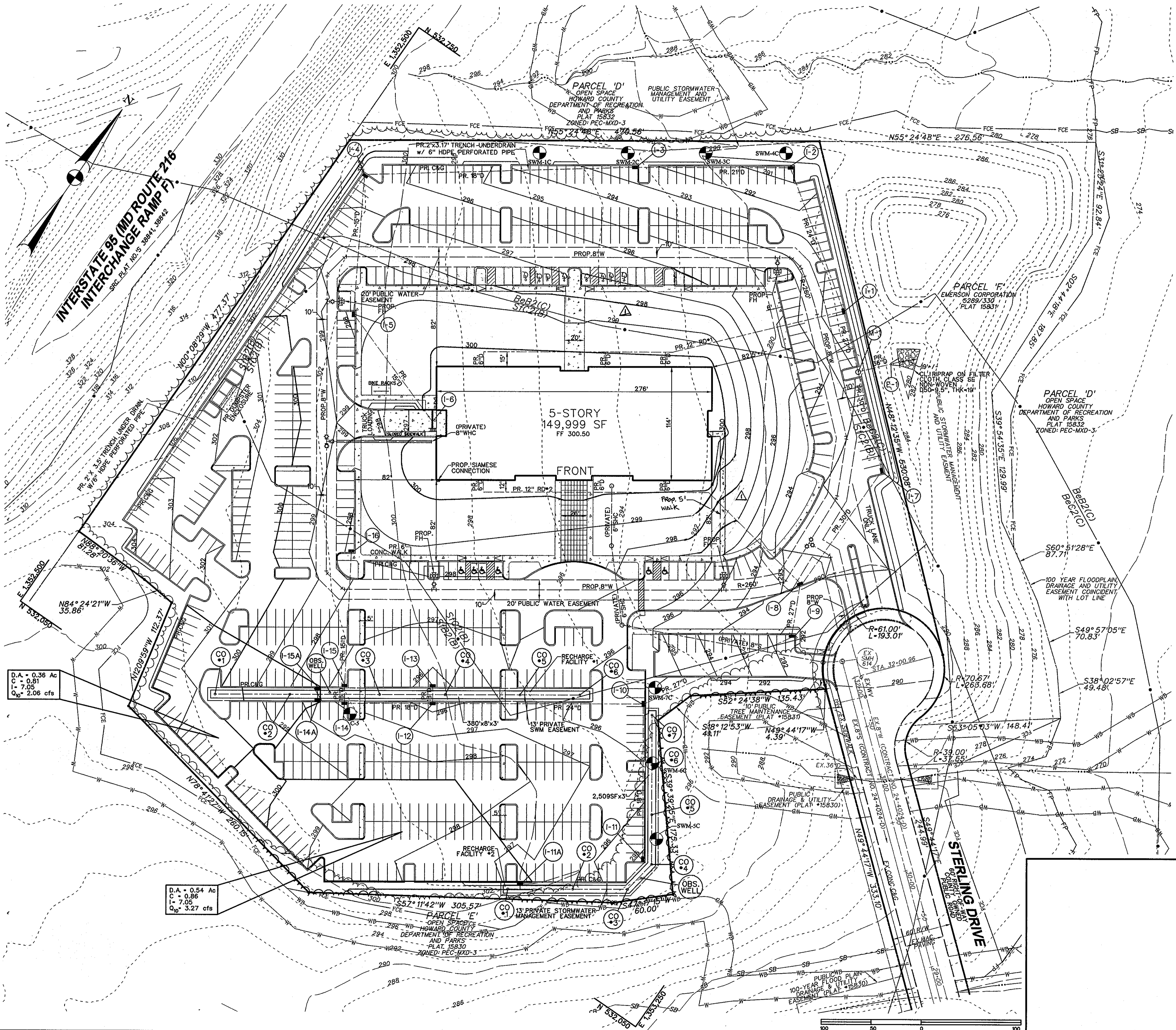
LEGEND

RIGHT-OF-WAY LINE	
PROPERTY LINE	
EX. STORM DRAIN	EX. 18" D
EX. SANITARY SEWER, MANHOLE & CLEANOUT	EX. 8" S
EX. WATER MAIN, VALVE & FIRE HYDRANT	EX. 8" W
EX. ELECTRIC LINE	
EX. TREE LINE	
EX. INDEX CONTOURS	-300
EX. INTERMEDIATE CONTOURS	-298
PR. TREE LINE	
PR. STORM DRAIN	PR. 15" D
PR. SANITARY SEWER & CLEANOUT	PR. 6" S
PR. WATER MAIN, VALVE & FIRE HYDRANT	PR. 8" W
PR. EASEMENT LINE	
PR. INDEX CONTOURS	-300
PR. INTERMEDIATE CONTOURS	-298
PR. CONC. CURB & GUTTER	

SOIL CLASSIFICATION

BeB2	Beltville Silt Loam, 1 to 5% Slopes	C
BeC2	Beltville Silt Loam, 5 to 10% Slopes	C
SbB2	Sassafras Gravelly Sandy Loam, 1 to 5% Slopes	B
SfC2	Sassafras Gravelly Sandy Loam, 1 to 5% Slopes	B

NOTE: SITE WAS MASS GRADED SEVERAL YEARS AGO, THEREFORE, ANY HYDRO/AGRICULTURAL SOIL TYPES HAVE BEEN REMOVED. THERE ARE NO SOILS WITH SLOPES OF LESS THAN 15% WITH SIGNIFICANT EROSION POTENTIAL.

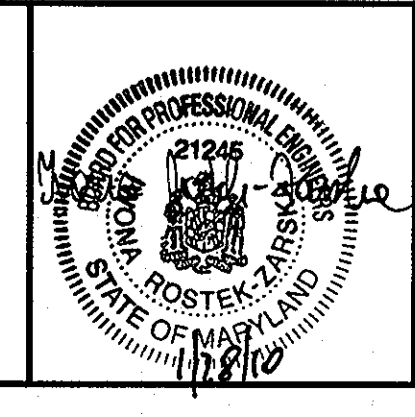


STORM DRAIN INLET SCHEDULE

NO.	TYPE	INV. OUT	TOP ELEV	REMARKS
I-11A	SHALLOW 5' COG INLET	293.30	297.15	SEE SHA STD. DETAIL NO. 374.66
I-14A	SHALLOW 5' COG INLET	294.30	298.15	SEE SHA STD. DETAIL NO. 374.66
I-15A	SHALLOW 5' COG INLET	294.30	297.90	SEE SHA STD. DETAIL NO. 374.66

*TOP OF CURB

BLDG
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Consulting Engineers
222 SCHILLING CIRCLE SUITE 105 • HUNT VALLEY, MARYLAND 21030
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



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OWNER / DEVELOPER
EMERSON DEVELOPMENT III LLC
C/O DLA PIPER LLP
1 TEXAS STATION COURT
SUITE 200
TIMONIUM, MD 21093-8288
(443) 689-8000

DATE	ITEM	BY
12/31/09	REVISED PER HOWARD COUNTY COMMENTS	BLDG
01/22/10	REVISED PER HOWARD COUNTY COMMENTS	BLDG
3/17/10	ADDED CONC. WALK AND RELOCATED HCCP PARKING SPACES	BLDG

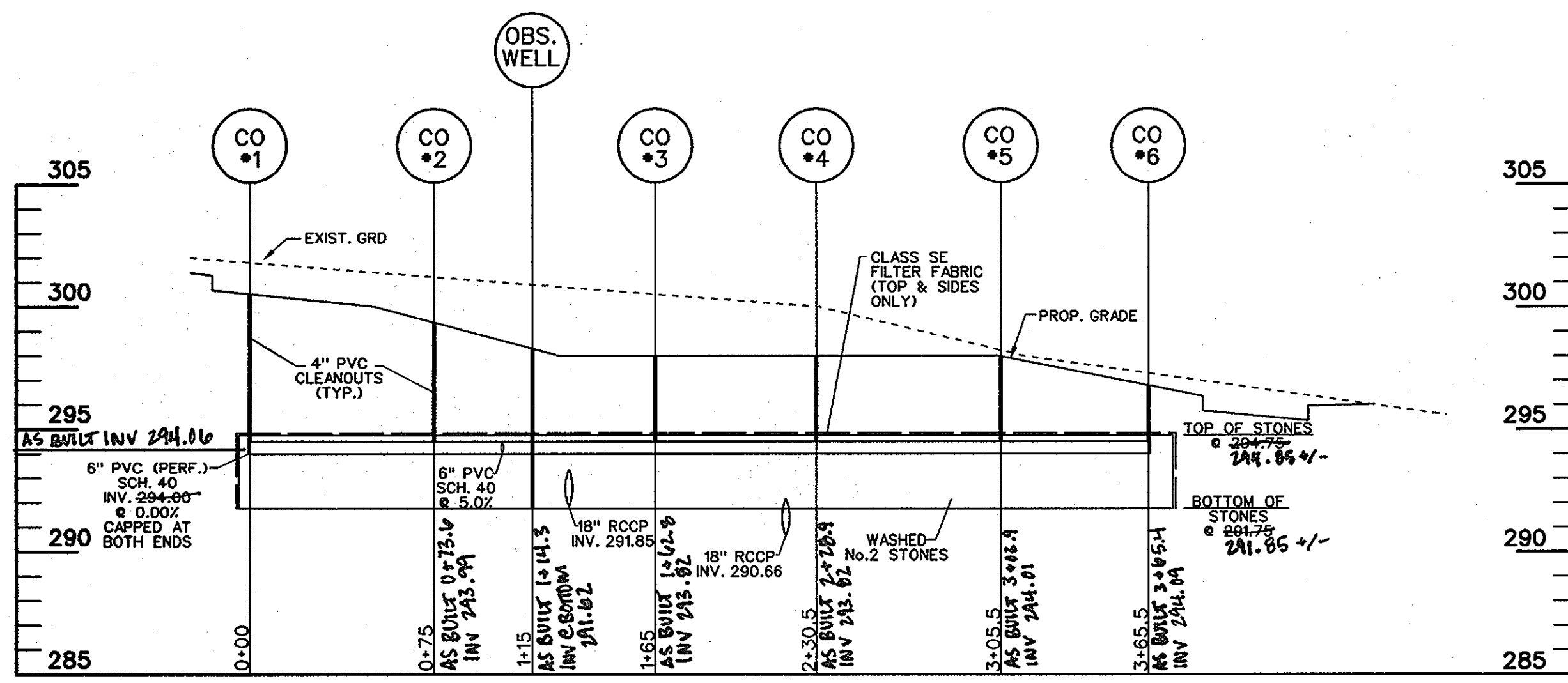
APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division: *[Signature]* 2/22/10
 Chief, Division of Land Development: *[Signature]* 2/22/10
 Director, DEP: *[Signature]* 2/22/10

ADDRESS CHART
 LOT / PARCEL NO. STREET ADDRESS
 PARCEL C 9100 STERLING DRIVE
 9161

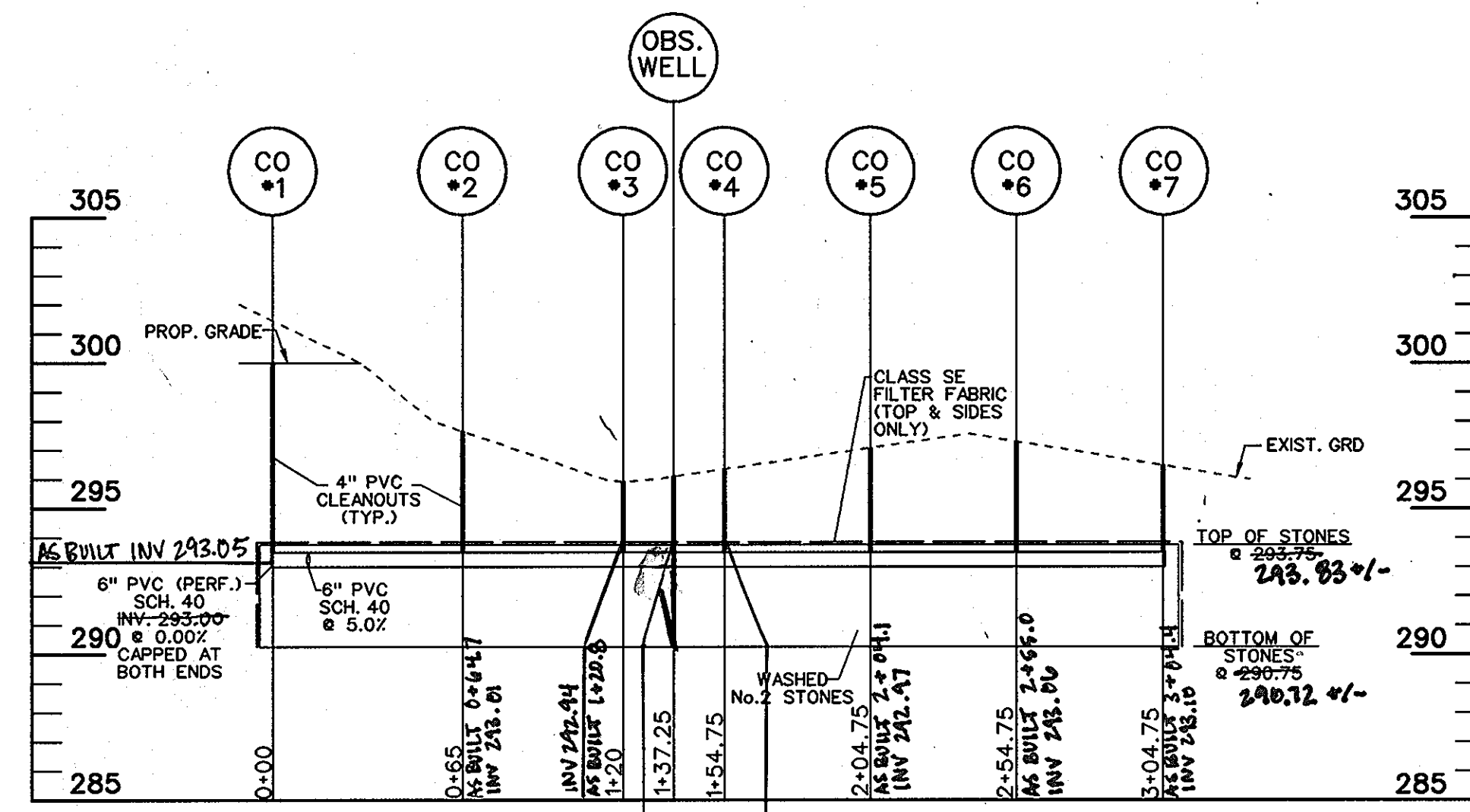
PERMIT INFORMATION CHART
 SUBDIVISION NAME: EMERSON SECTION / AREA: 3 / 1 LOT / PARCEL NO.: C / 1051
 PLAT NO. or L/F: 20960 GRID NO.: G14 ZONING: PEC-MXD-3 TAX MAP NO.: 47 ELEC. DIST.: 6TH CENSUS TRACT: 6069-03

EMERSON - PARCEL 'C'
5 STORY OFFICE BUILDING

HOWARD COUNTY, MARYLAND
SCALE: 1"=50'
SHEET 11 OF 14
DATE: JANUARY 25, 2010
SDP-10-042

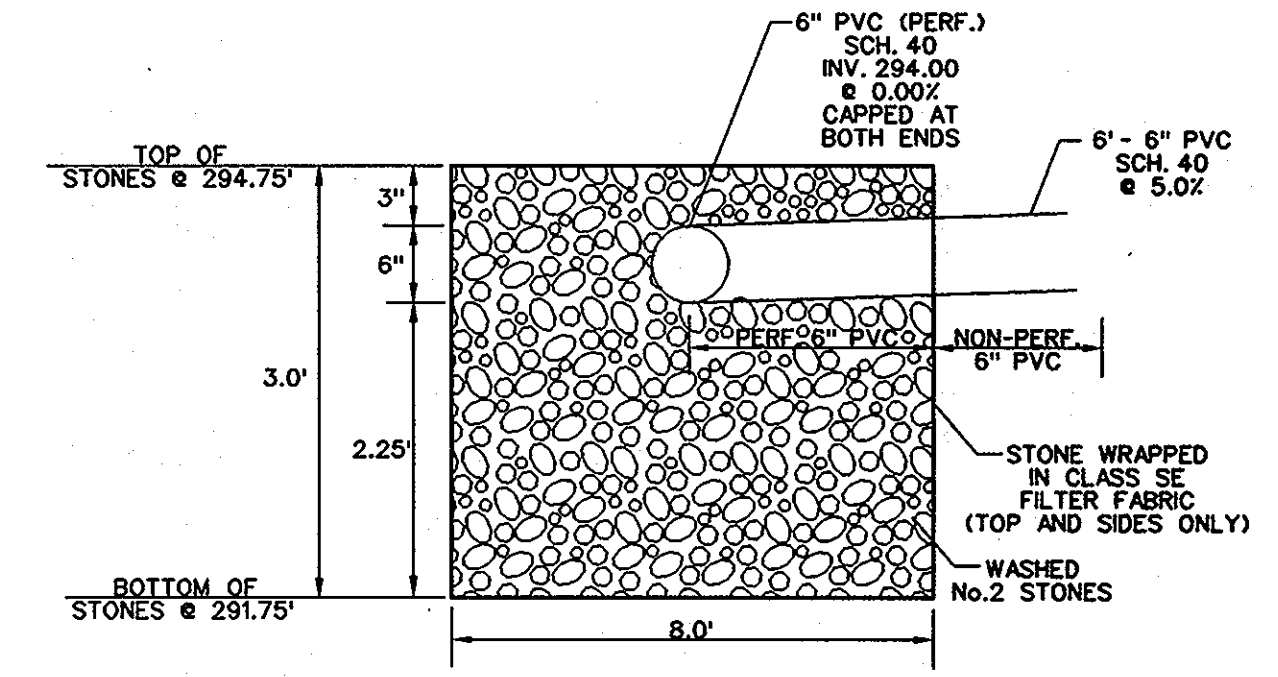


SECTION THROUGH RECHARGE FACILITY #1
SCALE: H: 1" = 50'
V: 1" = 5'

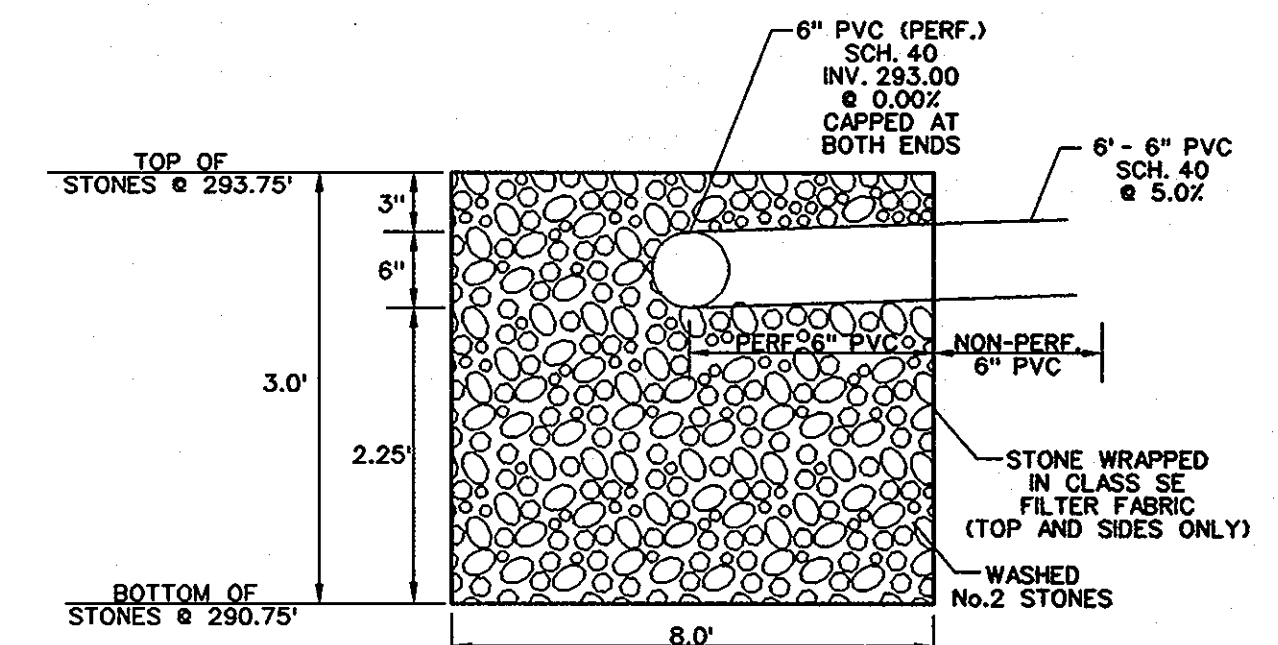


SECTION THROUGH RECHARGE FACILITY #2
SCALE: H: 1" = 50'
V: 1" = 5'

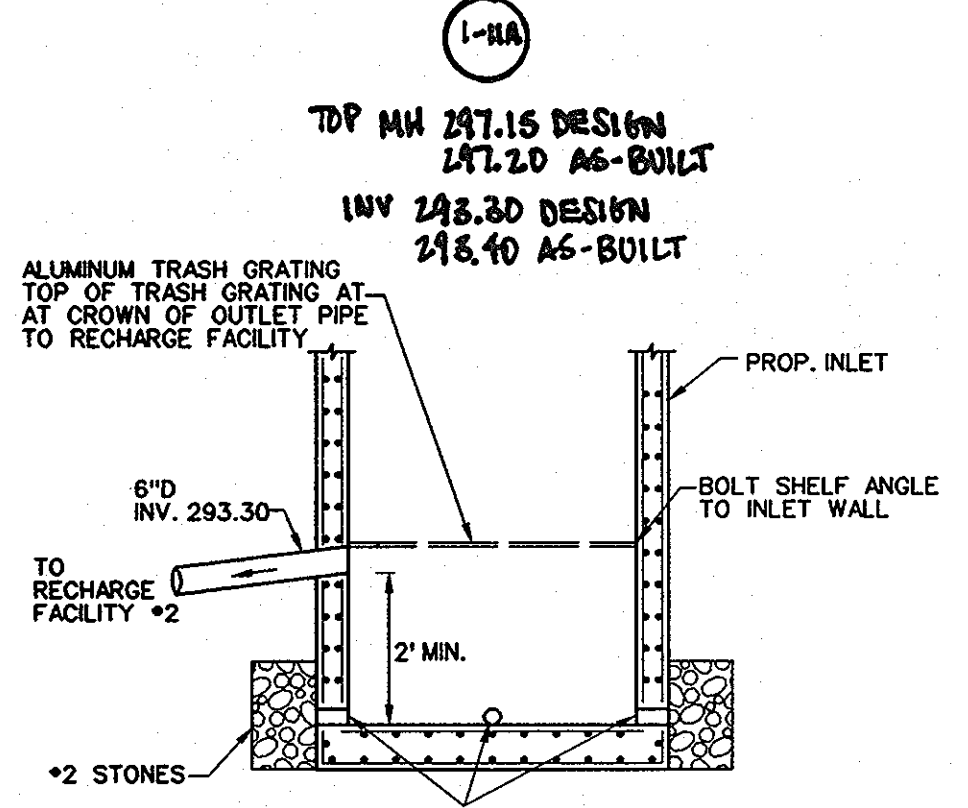
OPERATION AND MAINTENANCE SCHEDULE FOR RECHARGE FACILITY
 1. RECHARGE FACILITY SHALL BE INSPECTED ANNUALLY AND BE REPAIRED OR CLEANED AS NEEDED.
 2. REMOVE SEDIMENT AND TRASH FROM SEDIMENT TRAPPING INLET AS NEEDED AND CLEAN OPENINGS AT INLET BOTTOM.
 3. INSPECT FACILITY EVERY OTHER MONTH AND AFTER LARGE STORM EVENTS TO OBSERVE WATER ELEVATIONS. IF STANDING WATER IS OBSERVED IN THE FACILITY, RE-INSPECT AFTER 72 HOURS AND REPAIR AS NECESSARY.



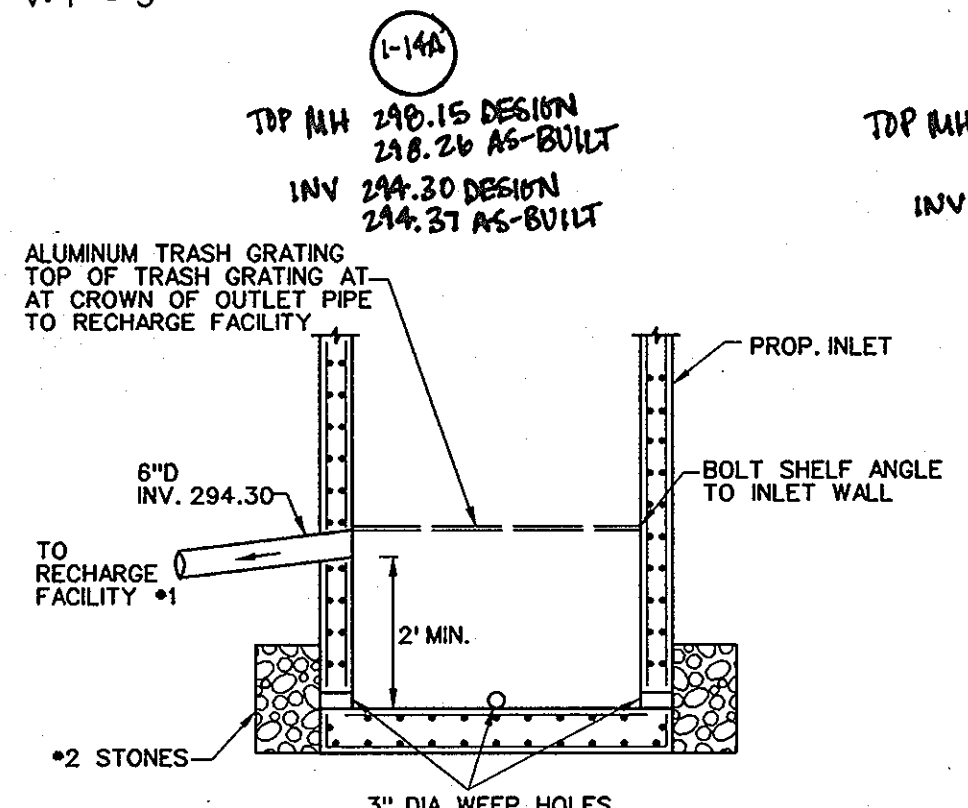
RECHARGE FACILITY #1
NOT TO SCALE



RECHARGE FACILITY #2
NOT TO SCALE



SILT TRAPPING DETAIL (I-11A)
NOT TO SCALE



SILT TRAPPING DETAIL (I-14A & I-15A)
NOT TO SCALE

PIPE SCHEDULE

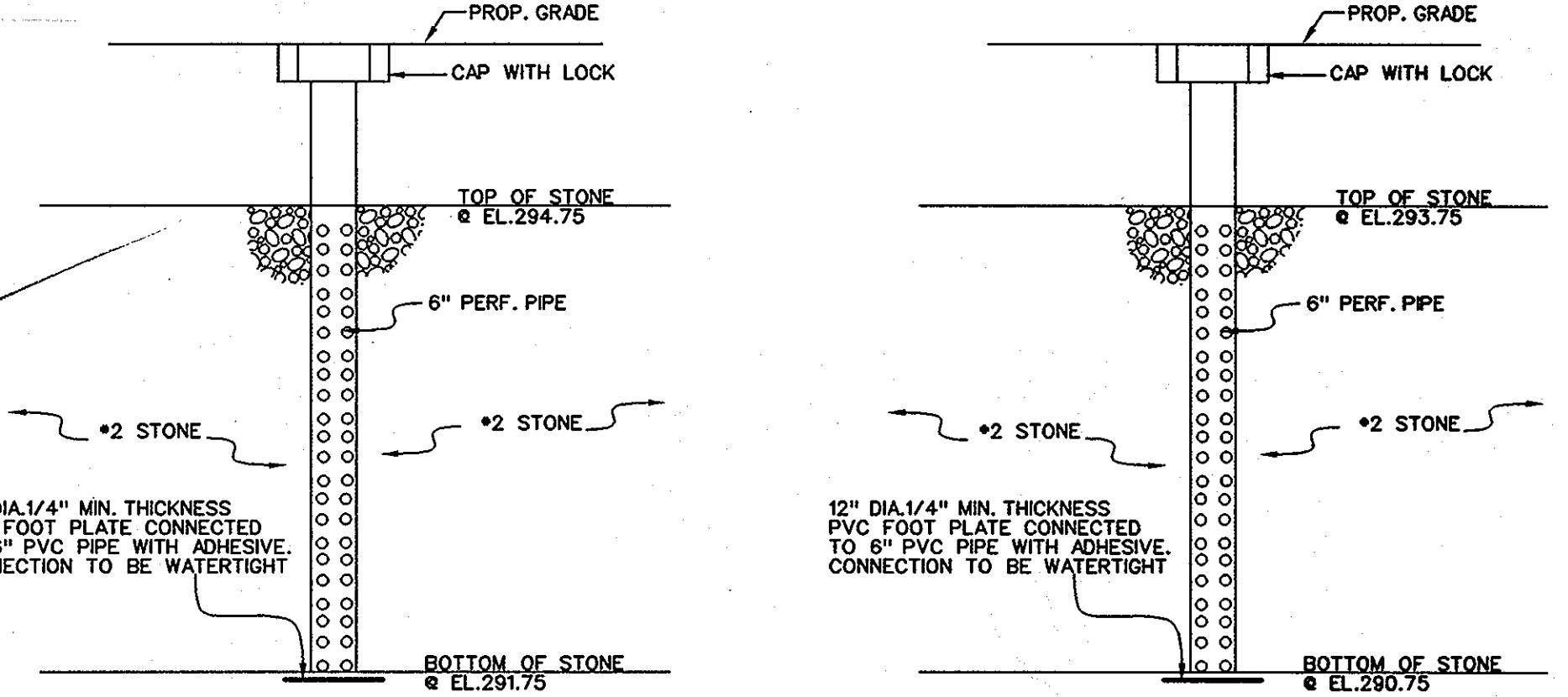
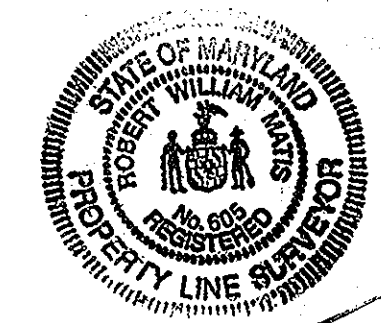
SIZE	TYPE	ESTIMATED QUANTITY
4"	PVC SCH. 40	50 LF
6"	PVC SCH. 40 (PERF.)	677 LF
6"	PVC SCH. 40 (NON-PERF.)	18 LF

To: Howard County Construction Inspection Division
 Re: Parcel 'C' - Emerson - #9160 Sterling Drive
 Underground SWM Facilities - Recharge Areas #1 & #2

I hereby certify that the recharge facilities shown hereon were constructed as shown and comply with the approved plans and specifications. In my review, I have verified that the contributing drainage area is sufficiently stabilized to prevent clogging of the underground SWM Facilities - Recharge Areas #1 & #2.

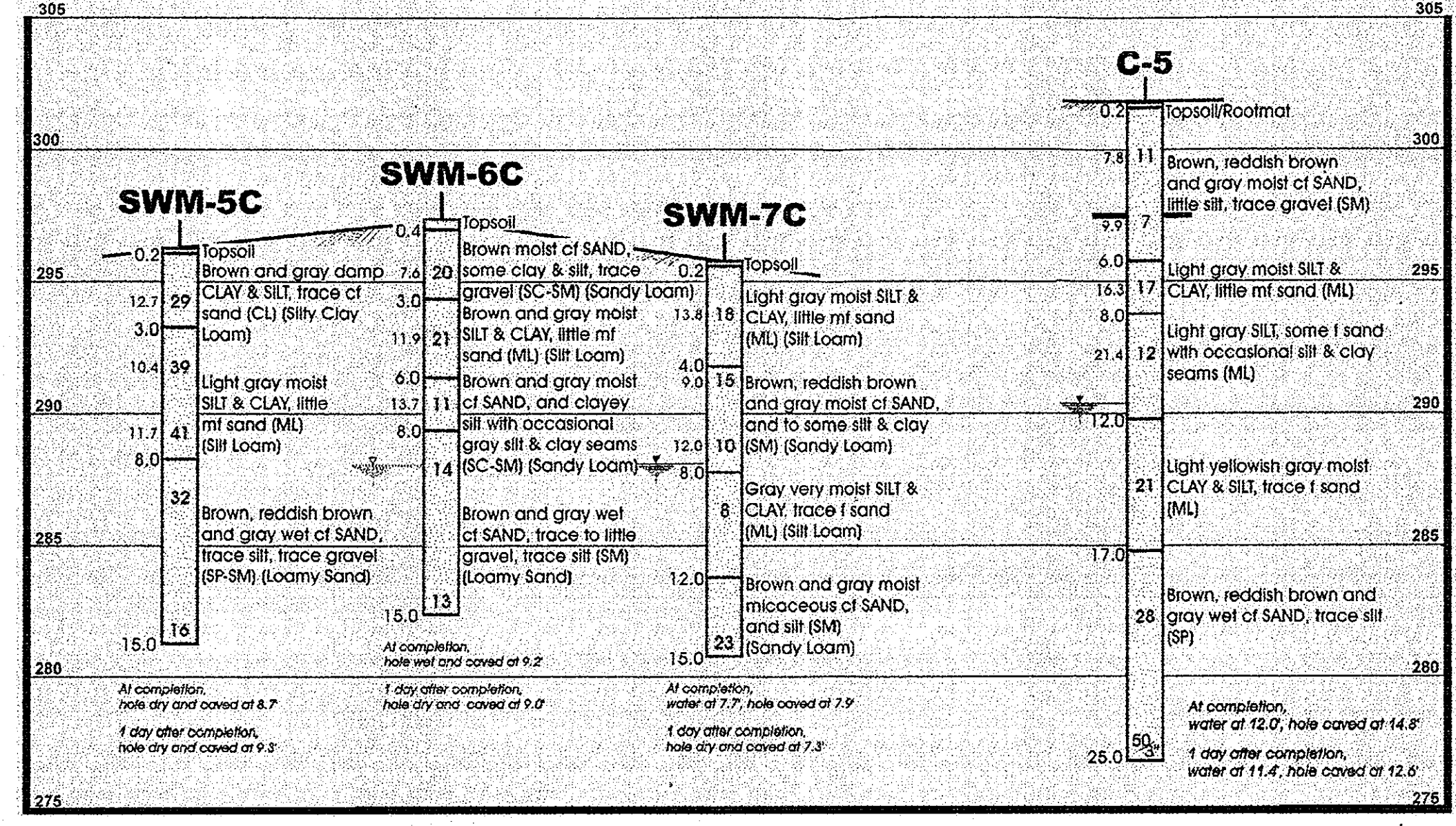
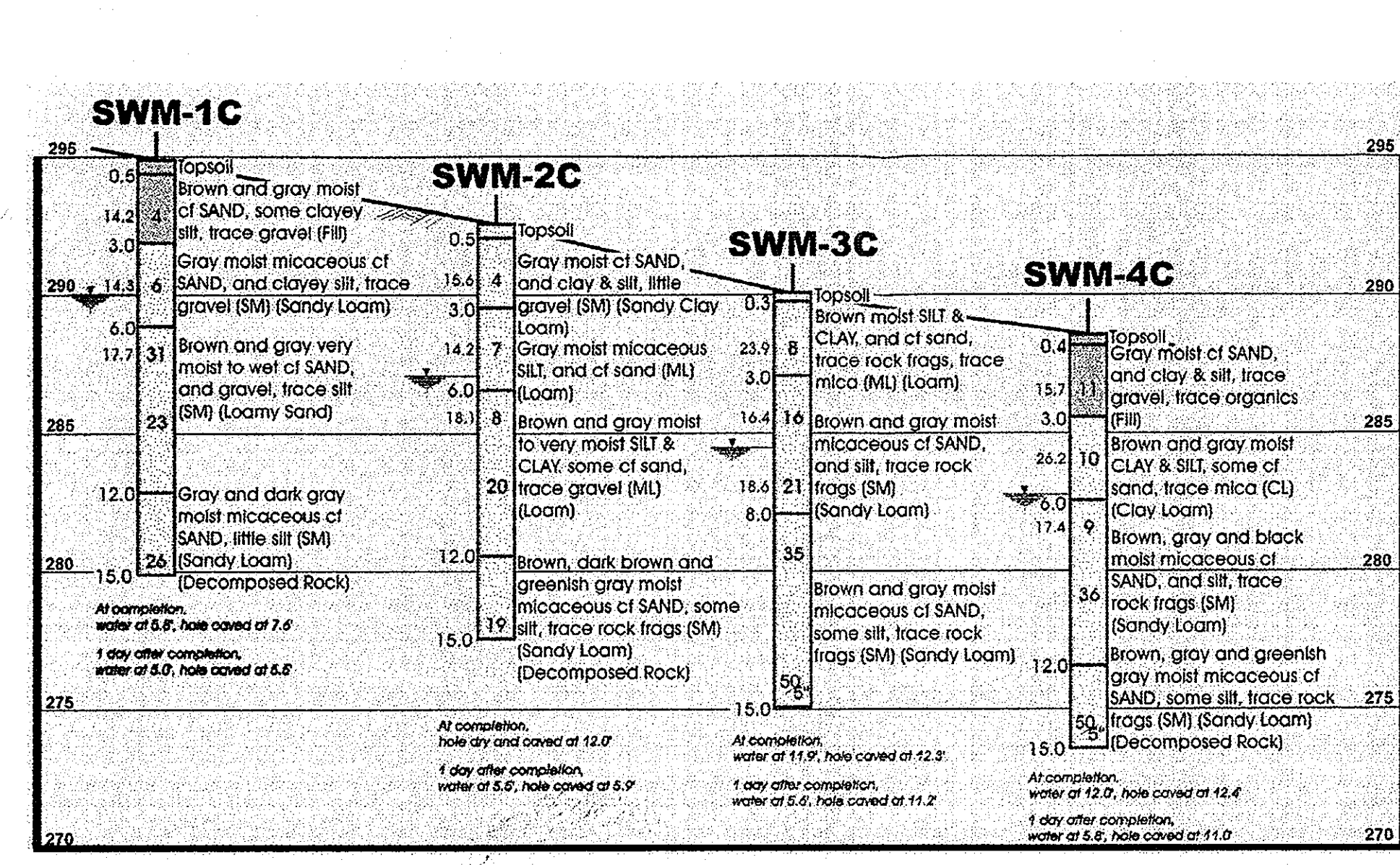
Survey Services of MD, LLC

By: Robert W. Matz
 MD License # 605



RECHARGE FACILITY #1
 RECHARGE FACILITY #2
 OBSERVATION WELL DETAIL
 NOT TO SCALE

NOTES: "RED" DENOTES "AS-BUILT" INFORMATION.



STORMWATER MANAGEMENT SOIL BORINGS

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division: *[Signature]* Date: 2/22/10
 Chief, Division of Land Development: *[Signature]* Date: 2/22/10
 Director, DEP: *[Signature]* Date: 2/22/10

ADDRESS CHART

LOT / PARCEL NO. STREET ADDRESS
 PARCEL C 3460-STERLING DRIVE
 9161

PERMIT INFORMATION CHART

SUBDIVISION NAME: EMERSON SECTION / AREA: 3 / 1 LOT / PARCEL NO.: C / 1051
 PLAT NO. or L/F: 20960 GRID NO.: G14 ZONING: PEC-MD-3 TAX MAP NO.: 47 ELEC. DIST.: 6TH CENSUS TRACT: 6069-03

BLDG
 Baltimore Land Design Group Inc.
 Consulting Engineers
 222 SCHILLING CIRCLE SUITE 105 • HUNT VALLEY, MARYLAND 21030
 PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2010.

OWNER / DEVELOPER
 EMERSON DEVELOPMENT III LLC
 CO DLA PIPER LLP
 1 TEXAS STATION COURT
 SUITE 200
 TIMONIUM, MD 21093-8288
 (443) 689-8000

DATE	ITEM	BY
12/31/09	REVISED PER HOWARD COUNTY COMMENTS	BLDG
01/22/10	REVISED PER HOWARD COUNTY COMMENTS	BLDG
7/20/10	RECHARGE AS-BUILTS	ROBERT MATZ

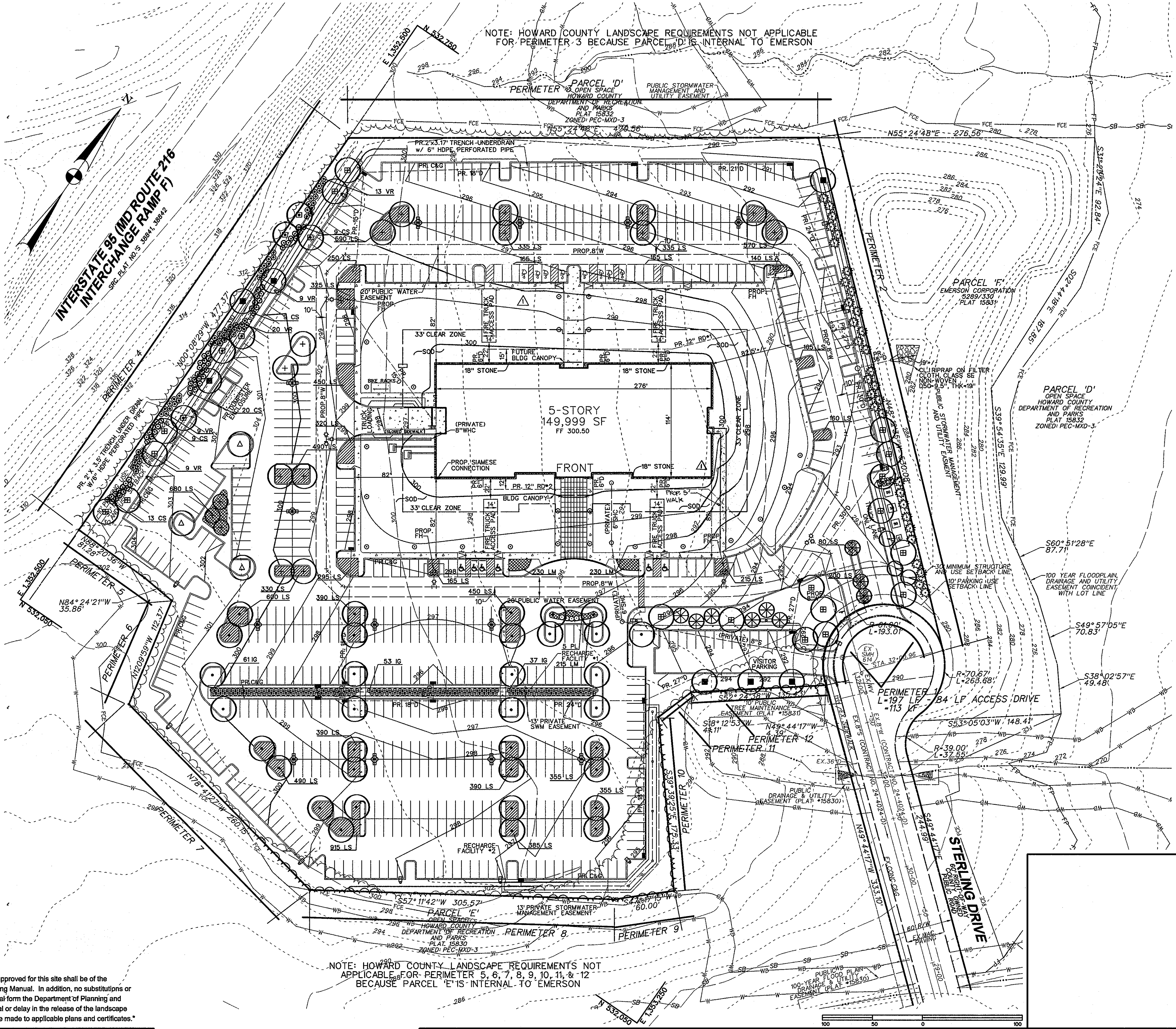
STORMWATER MANAGEMENT PLAN
 PROFILES AND DETAILS
EMERSON - PARCEL 'C'
 5 STORY OFFICE BUILDING

HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN

SHEET 12 OF 14
 DATE: JANUARY 25, 2010
 SDP-10-042

LEGEND

- RIGHT-OF-WAY LINE
- PROPERTY LINE
- EX. STORM DRAIN
- EX. SANITARY SEWER, MANHOLE & CLEANOUT
- EX. WATER MAIN, VALVE & FIRE HYDRANT
- EX. ELECTRIC LINE
- EX. TREE LINE
- EX. INDEX CONTOURS
- EX. INTERMEDIATE CONTOURS
- PR. TREE LINE
- PR. STORM DRAIN
- PR. SANITARY SEWER & CLEANOUT
- PR. WATER MAIN, VALVE & FIRE HYDRANT
- PR. EASEMENT LINE
- PR. INDEX CONTOURS
- PR. INTERMEDIATE CONTOURS
- PR. CONC. CURB & GUTTER
- PR. PARKING COUNT
- PR. LOW EMITTING / FUEL EFFICIENT VEHICLE PARKING
- PR. ON-SITE LIGHTS
- COOPER ICON TWIN ASSEMBLY WITH DIAMOND SHAPED CONC. BASE
- COOPER ICON TWIN ASSEMBLY
- COOPER ICON SINGLE
- SATURN CUTOFF 12' COLUMN LIGHT



NOTE: HOWARD COUNTY LANDSCAPE REQUIREMENTS NOT APPLICABLE FOR PERIMETER 3 BECAUSE PARCEL 'D' IS INTERNAL TO EMERSON

NOTE: HOWARD COUNTY LANDSCAPE REQUIREMENTS NOT APPLICABLE FOR PERIMETER 5, 6, 7, 8, 9, 10, 11, & 12 BECAUSE PARCEL 'E' IS INTERNAL TO EMERSON

At the time of installation, all shrubs and other plantings herewith listed and approved for this site shall be of the proper height requirements in accordance with the Howard County Landscaping Manual. In addition, no substitutions or relocation of required plantings may be made without prior review and approval from the Department of Planning and Zoning. Any deviation from this approved Landscape Plan may result in denial or delay in the release of the landscape surety until such time as all required materials are planted and/or revisions are made to applicable plans and certificates.

APPROVED: DEPARTMENT OF PLANNING AND ZONING				
 Chief, Development Engineering Division Date: 2/22/10		 Director, DEP Date: 2/22/10		
ADDRESS CHART				
LOT / PARCEL NO.	STREET ADDRESS			
PARCEL C	3100 STERLING DRIVE			
	916			
PERMIT INFORMATION CHART				
SUBDIVISION NAME EMERSON	SECTION / AREA 3 / 1	LOT / PARCEL NO. C / 1051		
PLAT NO. or L/F 20960	GRID NO. G14	ZONING PEC-MXD-3	TAX MAP NO. 47	ELEC. DIST. 6TH
CENSUS TRACT 6069-03				

BLDG
 Baltimore Land Design Group Inc.
 Consulting Engineers
 222 SCHILLING CIRCLE SUITE 105 • HUNT VALLEY, MARYLAND 21030
 PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



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 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 647, EXPIRATION DATE: JULY 30, 2011.

LANDSCAPE ARCHITECTS
 HUMAN & ROHDE, INC.
 512 VIRGINIA AVENUE
 TOWSON, MARYLAND 21286
 (410) 825-3885

OWNER / DEVELOPER
 EMERSON DEVELOPMENT III LLC
 CO DLA PIPER LLP
 1 TEXAS STATION COURT
 SUITE 200
 TIMONIUM, MD 21093-8288
 (443) 689-8000

DATE	ITEM	BY
12/31/09	REVISED PER HOWARD COUNTY COMMENTS	BLDG
01/22/10	REVISED PER HOWARD COUNTY COMMENTS	BLDG
3/17/10	ADDED CONC. WALK AND RELOCATED HOOP PARKING SPACES	BLDG

REVISED
LANDSCAPE PLAN
EMERSON - PARCEL 'C'
 5 STORY OFFICE BUILDING
 HOWARD COUNTY, MARYLAND
 SCALE: 1"=50'
 SHEET 13 OF 14
 DATE: JANUARY 25, 2010
 SDP-10-042

**SCHEDULE A
PERIMETER LANDSCAPE EDGE**

CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES											
		1	2	3	4	5	6	7	8	9	10	11	12
PERIMETER NUMBER	B	A	A	E	A	A	A	A	A	A	A	A	A
LANDSCAPE TYPE	B	A	A	E	A	A	A	A	A	A	A	A	A
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	83 LF	530	470	477	117	112	280	305	60	175	41	135	
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	YES* 30 LF	YES* 470	YES* 470	YES* 117	YES* 112	YES* 280	YES* 305	YES* 60	YES* 175	YES* 41	YES* 135	YES* 135	
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO
NUMBER OF PLANTS REQUIRED													
SHADE TREES	2	9	12										
EVERGREEN TREES	3												
SHRUBS			120										
NUMBER OF PLANTS PROVIDED													
SHADE TREES	3	9	15										
EVERGREEN TREES	3												
OTHER TREES (2:1 SUBSTITUTION) SHRUBS (10:1 SUBSTITUTION) DESCRIBE PLANT SUBSTITUTIONS (CREDITS BELOW IF NEEDED)	3		120										

* CREDIT IS BEING TAKEN FOR THESE PERIMETERS BECAUSE THEY ARE ALL PART OF EMERSON AND THEY ARE PART OF THE FOREST CONSERVATION EASEMENT

**SCHEDULE B
PARKING LOT INTERNAL LANDSCAPING**

NUMBER OF PARKING SPACES	689
NUMBER OF TREES REQUIRED	35
NUMBER OF TREES PROVIDED	
SHADE TREES	59
OTHER TREES (2:1 SUBSTITUTION)	
INTERNAL ISLANDS REQUIRED	35
INTERNAL ISLANDS PROVIDED (MIN. 200 SF)	115

NOTE:

THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.

LANDSCAPE SURETY NOTE:

FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF:

(58) SHADE TREES @ \$300 EACH	=	\$17,400.00
(3) EVERGREEN TREES @ \$150 EACH	=	\$ 450.00
(120) SHRUBS @ \$30 EACH	=	\$ 3,600.00
TOTAL	=	\$21,450.00

DEVELOPER'S / BUILDER'S CERTIFICATE

I / We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I / We further certify that upon completion, a Certification of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

James F. Knott, Jr. Senior Vice President 01/28/10
 SIGNATURE PRINT NAME TITLE DATE

SPECIFICATIONS FOR PLANTING

Plant Identification : All plants shall be properly marked for identification and checking.

List of Plant Materials : The Contractor will verify plant quantities prior to bidding and any discrepancies shall be brought to the attention of the Landscape Architect. The Contractor shall furnish and plant all plants required to complete the work as shown on the drawings. Substitutions shall not be made without the written approval of the Landscape Architect. This contract will be based on the bidder having verified, prior to bidding, the availability of the required plant materials as specified on the Plant List.

Plant Quantity : All shrubs shall be dense, heavy to the ground, and well grown, showing evidence of having been sheared regularly, and sound, free of plant disease or insect eggs, and shall have a healthy, normal root system. Plants shall be nursery grown. Plants shall not be pruned prior to delivery. The shape of the plant shall in general conform to its natural growth proportions unless otherwise specified. All plants including container grown shall conform to American Standard for Nursery Stock (ANSI z60.1, latest edition), and shall have a well-shaped, heavy branch structure for the species. Evergreen trees are to have an internode no greater than 24" and shall be uniformly well-shaped. All plant sizes shall average at least the middle of the range given in the plant list.

Plant Spacing: Plant spacing is to scale on the plan or as shown on the plant list.

Soil Mix: Soil mix will be 2/3 existing soil and 1/3 leaf mold or equal organic material, thoroughly mixed and homogenized.

Ball Size: The ball size shall conform to the American Association of Nurserymen's publication entitled American Standard for Nursery Stock, ANSI z60.1, latest edition.

Excavation: Holes for all plants shall be 18" larger in diameter than size of ball or container and shall have vertical sides. Hedges shall be planted in a trench 12" wider than ball diameter. Beds for mass planting shall be entirely rototilled to a depth of 8" and shall be 18" beyond the average outside edge of plant balls. A 2" layer of organic material (i.e., leaf mold) will be incorporated into plant beds by tilling again.

Planting: Backfilling shall be done with soil mix, reasonably free of stones, subsoil, clay, lumps, stumps, roots, weeds, bermuda grass, litter, toxic substances, or any other material which may be harmful to plant growth or hinder grading, planting, or maintenance operations. Should any unforeseen or unsuitable planting conditions arise, such as faulty soil drainage or chemical residues, they should be called to the attention of the Landscape Architect and Owner for adjustments before planting. The plant shall be set plumb and straight and shall be staked at the time of planting. Backfill shall be well worked about the roots and settled by watering. Plants will be planted higher than surrounding grade.

Shrubs will be 1" higher and trees will be 3" higher. Remove rope from around tree trunks and lay back burlap from top of all B&B material. Nylon or vinyl rope and/or burlap will be completely removed from all plant material prior to planting.

Transplanting Trees by Tree Machines: Trees shall be moved by machines that provide a minimum of 9" per 1" of tree caliper. Holes are to be dug by the same size machine as the one transporting the plant. The plant material shall be transplanted in approximately the same growing condition as it is presently growing, in terms of soil type and moisture content. Fertilize and gey as described in these plans and specifications.

Cultivation: All trenches and shrub beds shall be cultivated, edged and mulched to a depth of 3" with shredded bark. The area around isolated plants shall be mulched to at least 6" greater diameter than that of the hole. Plant beds adjacent to buildings shall be mulched to the building wall.

Maintenance: The Contractor shall be responsible during the contract and up to the time of acceptance for keeping the planting and work incidental thereto in good condition, by replanting, plant replacement, watering, weeding, cultivating, pruning and spraying, restaking and cleaning up and by performing all other necessary operations of care for promotion of good plant growth so that all work is in satisfactory condition at time of acceptance, at no additional cost to the Owner.

Fertilizer: Fertilizer shall be a slow release type contained in polyethylene perforated bags with micropore holes for controlled feeding, such as Easy Grow as manufactured by Specialty Fertilizer, Inc., Box 355, Suffern, New York 10901, or approved equal. The bags shall contain 1 ounce of soluble fertilizer analysis 16-16-16 per unit to last three (3) years and shall be applied during planting as recommended by the manufacturer. If fertilizer packets are not used, the Contractor shall apply granular fertilizer to the soil mix with 10-6-4 analysis, 50% organic, at the following rates: Trees @ 2-3 lbs. per caliper inch; Shrub Beds @ 3-5 lbs. per 100 sq. ft.; and Groundcover Beds @ 2-3 lbs. per 100 sq. ft.

Groundcover: All areas of groundcover shall be rototilled to a depth of 6". Apply 2" of organic material and rototill until thoroughly mixed. Apply fertilizer as stated above.

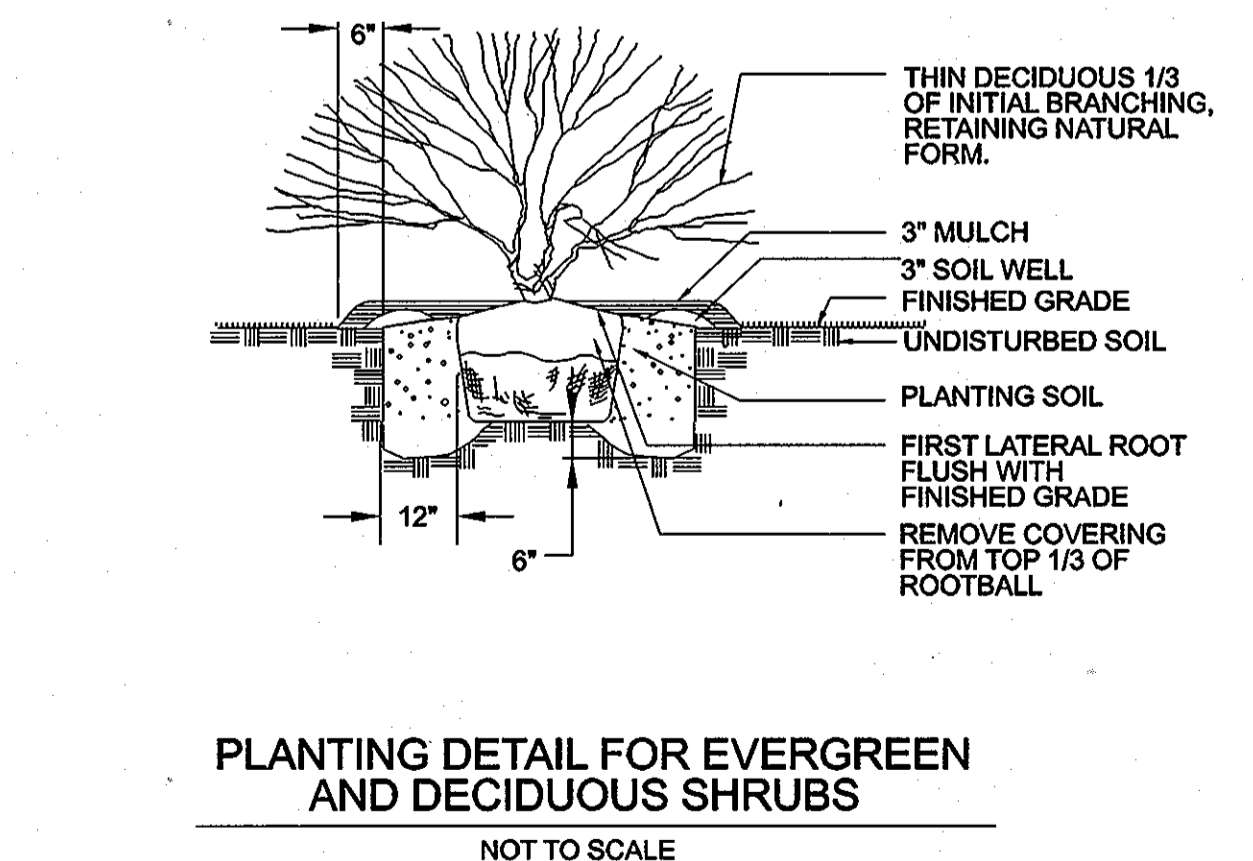
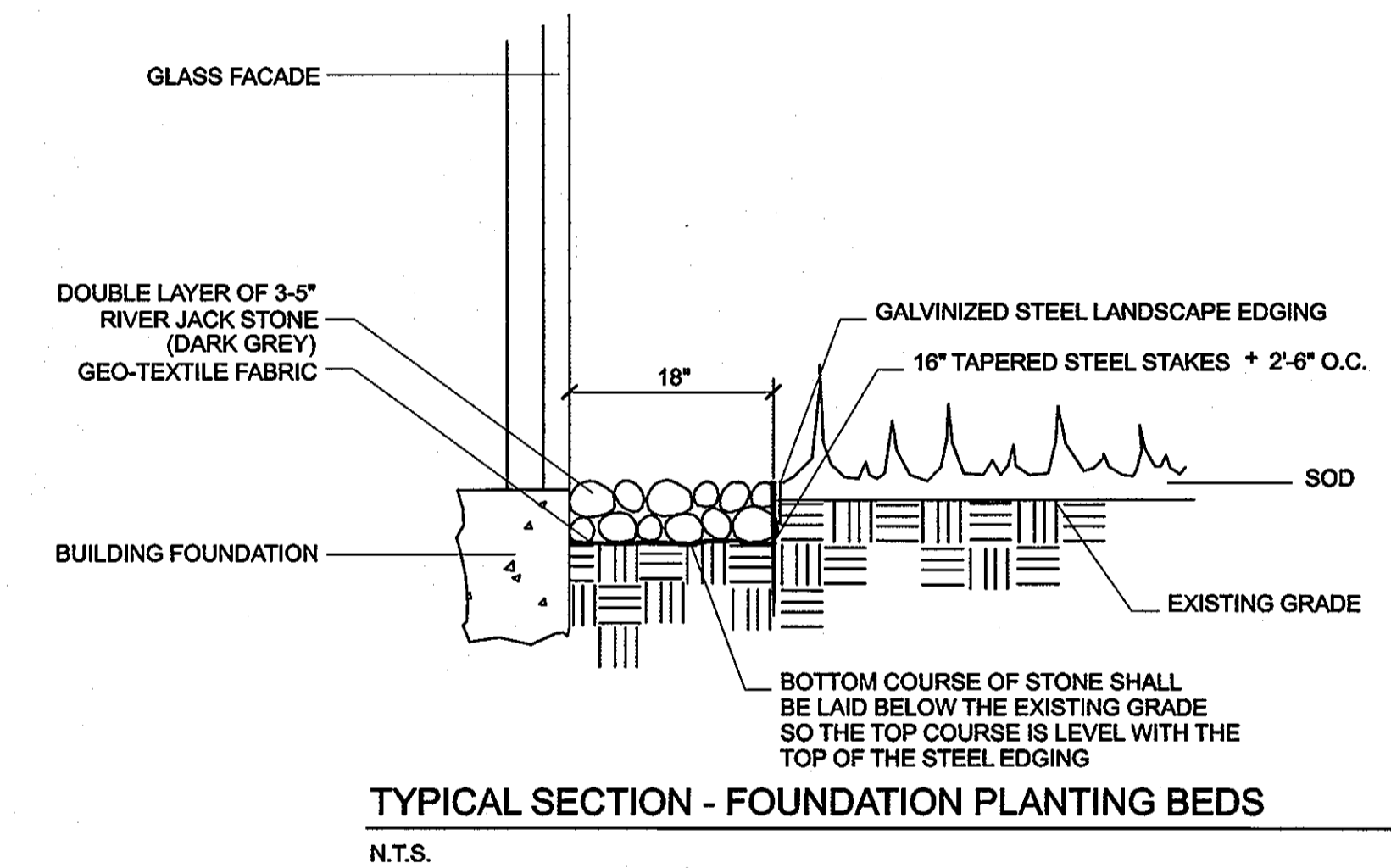
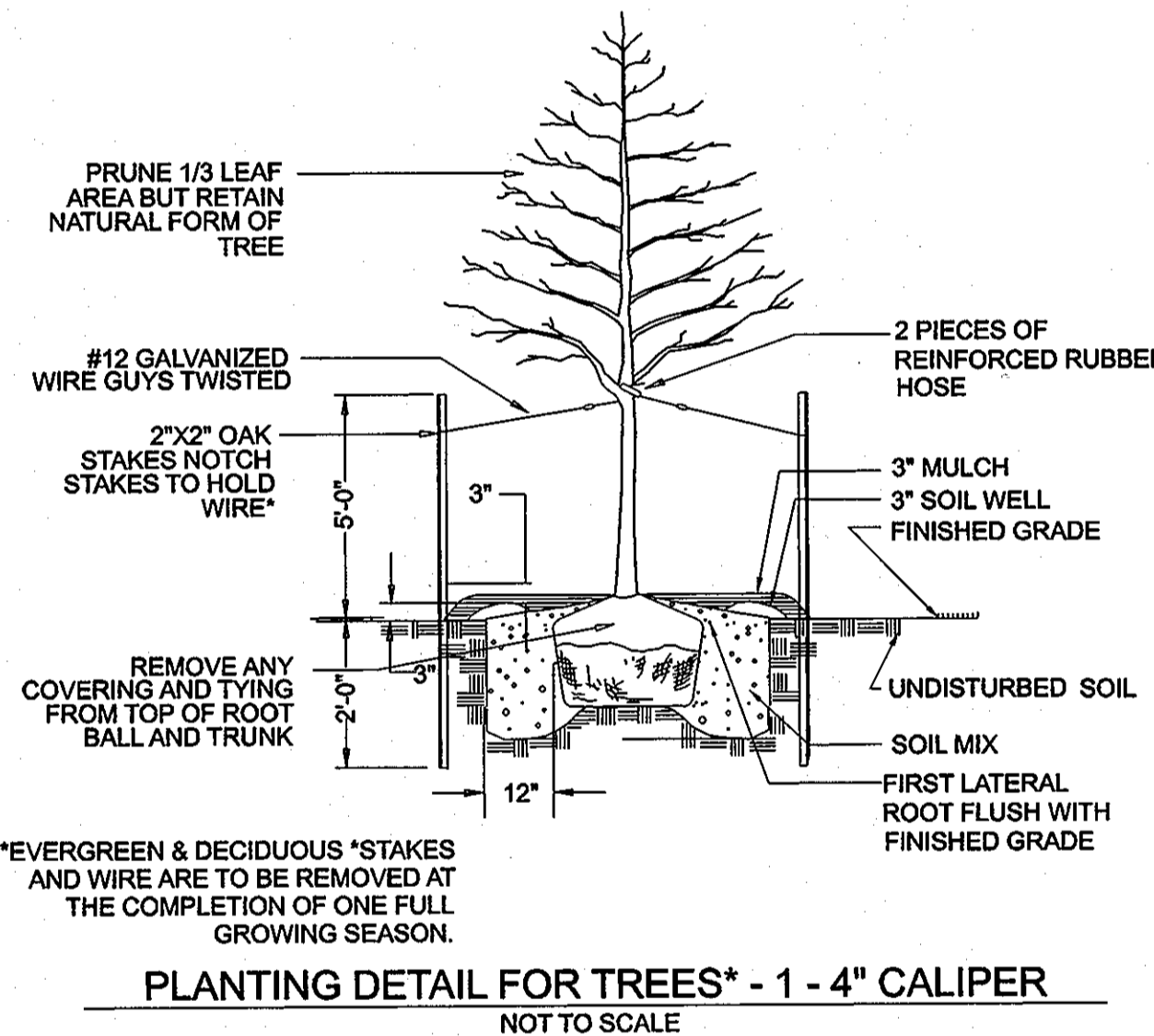
Guarantee and Replacement: All material shall be unconditionally guaranteed for one (1) year. The Contractor is responsible for watering but not for losses or damage caused by mechanical injury or vandalism.

PLANTING NOTES:

- This Plan is for planting purposes only.
- This Plan has been prepared in accordance with the provisions of section 16.124 of the Howard County Code and the Landscape Manual.
- All plant material shall be nursery grown and shall conform to American Association of Nurserymen latest standards. Plant installation must conform to the minimum standards cited in the latest edition of the "LANDSCAPE SPECIFICATION GUIDELINES" by the Landscape Contractor's Association.
- Contractor is to notify Miss Utility a minimum of 72 hours prior to digging. Telephone 1-800-257-7777
- The Landscape Architect is to be notified 48 hours before planting begins. The location of all plant material is to be approved in field by the Landscape Architect.
- No tree or shrub planting pits are to be left open or unattended.
- Shrubs are to be grouped into mulched beds. Beds are to be edged and the grass is to be killed or removed prior to mulching.
- Any existing soil conditions that may pose a threat to the life and health of the plant material must be brought to the attention of the Landscape Architect by the landscape contractor prior to the installation of the plant material.
- Sod is to be: Kentucky blue/fall fescue mix.
- "Install tree protection fencing along the Limits of Disturbance (LOD) of the existing woods. All site grading, planting bed preparation and tree and shrub planting must be done outside of the drip line of existing trees to be preserved in order to maintain and protect the root system.

PLANT SCHEDULE

KEY	QNTY.	BOTANICAL NAME COMMON NAME	SIZE	COND.	REMARKS
○	34	ACER RUBRUM 'RED SUNSET' RED SUNSET MAPLE	2 1/2 - 3" CAL.	B & B	AS SHOWN
+	14	QUERCUS COCCINEA SCARLET OAK	2 1/2 - 3" CAL.	B & B	AS SHOWN
⊖	6	ACER RUBRUM 'RED SUNSET' RED SUNSET MAPLE	4" CAL.	B & B	AS SHOWN
⊖	18	QUERCUS COCCINEA SCARLET OAK	4" CAL.	B & B	AS SHOWN
△	3	GLEDITSIA TRIACANTHOS var. INERMIS 'SHADEMASTER' COMMON THORNLESS HONEYLOCUST	4" CAL.	B & B	AS SHOWN
■	7	LIQUIDAMBAR STYRACIFLUA AMERICAN SWEETGUM	4" CAL.	B & B	AS SHOWN
+	3	BETULA NIGRA 'HERITAGE' HERITAGE RIVER BIRCH	12 - 14' HT.	B & B	AS SHOWN
☀	32	PICEA ABIES NORWAY SPRUCE	6 - 8' HT.	B & B	STAGGER 10' O.C.
☀	3	CRATAEGUS VIRIDIS 'WINTER KING' WINTER KING HAWTHORN	2 - 2 1/2" CAL.	B & B	AS SHOWN
☀	9	PRUNUS SERRULATA 'KWANZAN' KWANZAN CHERRY	8 - 10' HT.	B & B	AS SHOWN
⊖	5	PRUNUS LAUROCERASUS 'OTTO LUYKEN' OTTO LUYKEN CHERRY/LAUREL	18 - 24" SPRD.	B & B	STAGGER 5' O.C.
⊖	151	ILEX GLABRA 'NIGRA' NIGRA INKBERRY	24 - 30" HT.	#3 CONT.	STAGGER 4' O.C.
⊖	60	VIBURNUM RHYTIDOPHTLOIDES 'ALLEGHANY' ALLEGHANY LEATHERLEAF VIBURNUM	30 - 36" HT.	#7 CONT.	STAGGER 5' O.C.
⊖	60	CORNUS SERICEA 'BAILEY' BAILEY'S RED TWIG DOGWOOD	30 - 36" HT.	#7 CONT.	STAGGER 5' O.C.
LS	11,145	LIRIOPE SPICATA LILLY TURF	1 QT.	CONT.	STAGGER 12" O.C.
LM	675	LIRIOPE MUSCARI 'VARIEGATA' VARIEGATED LIRIOPE	1 QT.	CONT.	STAGGER 12" O.C.



LANDSCAPE ARCHITECTS
HUMAN & ROHDE, INC.

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TOWSON, MARYLAND 21286
(410) 825-3885

OWNER / DEVELOPER
EMERSON DEVELOPMENT III LLC
CO DLA PIPER LLP
1 TEXAS STATION COURT
SUITE 200
TIMONIUM, MD 21093-8288
(443) 689-8000

DATE	ITEM	BY
12/31/09	REVISED PER HOWARD COUNTY COMMENTS	H & R
01/22/10	REVISED PER HOWARD COUNTY COMMENTS	BLDG

HOWARD COUNTY, MARYLAND
SCALE: 1"=50'

BLDG
Baltimore Land Design Group Inc.
Consulting Engineers
222 SCHILLING CIRCLE SUITE 105 • HUNT VALLEY, MARYLAND 21030
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 547, EXPIRATION DATE: JULY 30, 2011.

LANDSCAPE NOTES AND DETAILS
EMERSON - PARCEL 'C'
5 STORY OFFICE BUILDING