GENERAL NOTES

- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK. THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON
- THESE DRAWINGS: BELL ATLANTIC TELEPHONE CO: HOWARD COUNTY BUREAU OF UTILITIES: VERIZON CABLE LOCATION DIVISION: B.G.&E. CO. CONTRACTOR SERVICES: B.G.&E. CO. UNDERGROUND DAMAGE CONTROL: 787-4620
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/ BUREAU OF ENGINEERING/ CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
- . ANY DAMAGE TO PUBLIC RIGHT—OF—WAY, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE EXISTING UTILITIES LOCATED FROM ROAD CONSTRUCTION PLANS AND AVAILABLE RECORD DRAWINGS. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE
- IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS. PORCHES OR
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
- WIDTH 12 FEET (16 FEET IF SERVING MORE THAN ONE RESIDENCE); SURFACE - 6 INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1-1/2" MIN.)
- C) GEOMETRY MAXIMUM 14% GRADE, MAXIMUM 10% GRADE CHANGE, AND MINIMUM 45 FOOT TURNING RADIUS;
 D) STRUCTURES (CULVERTS/ BRIDGES) CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING);
 E) DRAINAGE ELEMENTS CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER F) MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE.
- . ALL ASPECTS OF THE PROJECT ARE IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE
- 10. DEED REFERENCE: LIBER 5307, FOLIO 448
- I**1. THE PROJECT BOUNDARY** IS **BASED ON A BOUNDARY SURVEY PREPARED BY FREDERICK WARD ASSOCIATES INC., DATED**
- WATER AND SEWER FOR THIS PROJECT WILL BE PUBLIC. WATER WILL PROVIDED THROUGH CONTRACT NO. 14-3208 SEWER WILL BE PROVIDED THROUGH CONTRACT NO. 86-S.
- 4. STORMWATER MANAGEMENT IS PROVIDED FOR THIS DEVELOPMENT UNDER F-08-63 BY 3 POCKET PONDS FOR THE REQUIRED CPV AND WQV, DRY WELLS ARE PROVIDED FOR THE REQUIRED Rev. THE STORMWATER MANAGEMENT FACILITIES ARE HAZARD CLASS A. POND 3 ALSO PROVIDES QP AND QF MANAGEMENT.
- 15. THIS SITE IS NOT LOCATED IN A HISTORIC DISTRICT.
- 17. THERE IS NO 100—YEAR FLOODPLAIN LOCATED ON THIS SITE
- 18. FOREST CONSERVATION PLAN PREPARED BY FREDERICK WARD ASSOCIATES, INC., DATED JULY 2003, APPROVED UNDER F-08-63. 19. FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1202 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY THE RETENTION OF 18.38 AC. OF EXISTING FOREST INTO RETENTION EASEMENTS WHICH IS SUFFICIENT TO MEET THE FOREST CONSERVATION OBLIGATIONS FOR THIS SITE. SURETY IN THE AMOUNT

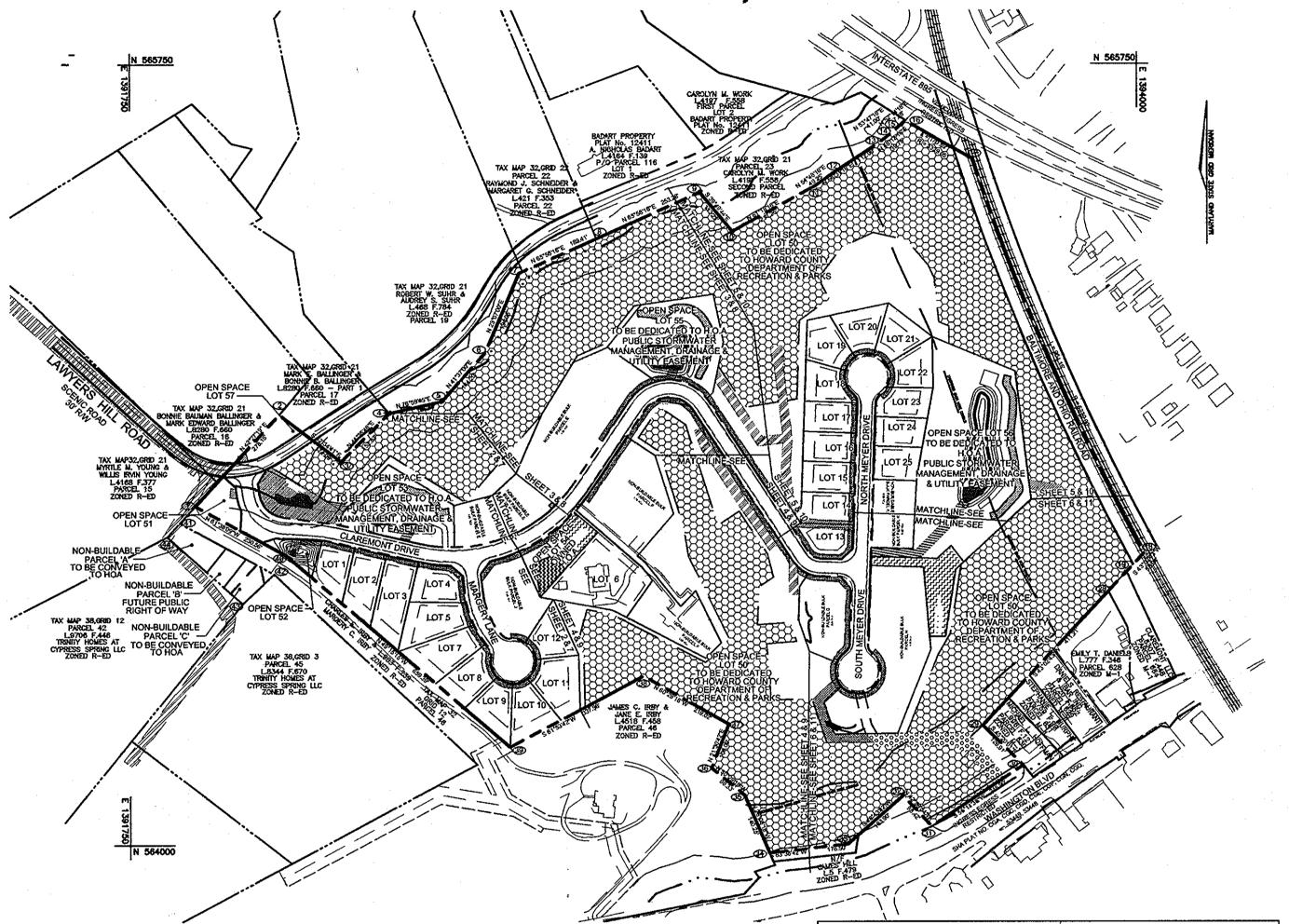
OF \$160,126.56 (800,632.5 SF. X .20) HAS BEEN POSTED WITH THE DEVELOPERS AGREEMENT FOR THE FINAL PLAT, F-08-63.

- PERIMETER AND STORMWATER MANAGEMENT LANDSCAPING AND TRASH PAD SCREENING HAS BEEN PROVIDED FOR THIS SITE IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN PROVIDED WITH THE DEVELOPER'S AGREEMENT UNDER THE FINAL PLAT, F-08-63 IN THE
- 22. THIS PROPERTY IS WITHIN THE METROPOLITAN DISTRICT.
- 23. TO THE BEST OF THE OWNERS KNOWLEDGE, THERE ARE NO BURIAL/ CEMETERY LOCATIONS ON SITE.
- 24. STREET TREES HAVE BEEN PROVIDED UNDER F-08-63
- 25. A NOISE STUDY IS NOT REQUIRED FOR THIS PLAN.
- 26. NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAM(S) OR THEIR BUFFERS, FOREST CONSERVATION EASEMENT AREAS AND 100-YEAR FLOODPLAIN
- 27. PIPESTEM LOTS WILL UTILIZE A USE—IN—COMMON DRIVEWAY PER HOWARD COUNTY STANDARD DETAIL NO. R—6.06 WILL BE
- 28. REFUSE COLLECTION, SNOW REMOVAL, AND MAINTENANCE FOR PIPESTEM LOTS SHALL BE PROVIDED AT THE JUNCTION OF THE PRIVATE USE-IN-COMMON ACCESS EASEMENT AND THE RIGHT-OF-WAY OF CLAREMONT DRIVE.
- 29. LAWYERS HILL ROAD IS A SCENIC ROAD. 30. TREE PROTECTION FENCING WILL BE PROVIDED AT THE LIMITS OF DISTURBANCE WHERE GRADING IS ADJACENT TO
- 13. EXISTING STRUCTURES ON LOT 6 ARE TO REMAIN. NO ADDITIONS OR EXPANSIONS ARE ALLOWED UNLESS IN COMPLIANCE WITH THE APPLICABLE ZONING REGULATIONS.
- 32. THIS SUBDIVISION COMPLIES WITH THE AMENDED 5TH EDITION OF THE SUBDIVISION AND ZONING REGULATIONS (CB-45-2003)
- AND THE ZONING REGULATIONS, AS AMENDED BY COUNCIL BILL 75-2003.
- 33. THE EXISTING HOUSE, LOCATED ON LOT 6, IS LISTED AS HO-798 IN THE HOWARD COUNTY HISTORICAL INVENTORY. 34. INGRESS AND EGRESS IS RESTRICTED ALONG WASHINGTON BOULEVARD.
- 35. THE SUBJECT PROPERTY IS ZONED R-ED PER THE FEBRUARY 2, 2004 COMPREHENSIVE ZONING PLAN, AND THE COMPREHENSIVE LITE ZONING AMENDMENTS 07/28/06.
- 6. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 32IA AND 38BB WERE USED FOR THIS
- 37. SHC ELEVATIONS SHOWN ARE LOCATED AT THE PROPERTY LINE.
- 38. FOR DRIVEWAY ENTRANCE DETAILS REFER TO THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, STANDARD DETAIL R-6.03.
- 39. THE 65dBA NOISE CONTOUR LINE DRAWN ON THIS DEVELOPMENT PLAN IS ADVISORY AS REQUIRED BY THE HOWARD COUNTY DESIGN MANUAL, CHAPTER 5, REVISED FEBRUARY, 1992, AND CANNOT BE CONSIDERED TO EXACTLY LOCATE THE 65dBA NOISE EXPOSURE. THE 65dBA NOISE LINE WAS ESTABLISHED BY HOWARD COUNTY TO ALERT DEVELOPERS, BUILDERS AND FUTURE RESIDENTS THAT AREAS BEYOND THIS THRESHOLD MAY EXCEED GENERALLY ACCEPTED NOISE LEVELS ESTABLISHED BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT.
- 40. THE HOMEOWNERS ASSOCIATION DOCUMENTS HAVE BEEN RECORDED WITH THE MARYLAND STATE DEPARTMENT OF ASSESSMENTS AND TAXATION AS RECORDING REFERENCE NUMBER.
- 1. THIS PLAN IS SUBJECT TO AIRPORT ZONING NUMBER 08-139, APPROVED ON JULY 10, 2008.
- 42. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE
- LANDSCAPE SURETY IN THE AMOUNT OF \$600.00 FOR THE REQUIRED 1 SHADE TREE AND 2 EVERGREEN TREES WILL BE POSTED WITH THE GRADING PERMIT FOR LOT 4.
- LANDSCAPE SURETY IN THE AMOUNT OF \$1,500.00 FOR THE REQUIRED 3 SHADE TREE AND 4 EVERGREEN TREES WILL BE POSTED WITH THE GRADING PERMIT FOR LOT 13.
- 43. FOR THE EXISTING HOUSE THAT IS TO REMAIN ON LOT 6, THE WATER AND SEWER CONTRACT PLAN WILL NEED TO BE RED-LINED WITH A NOTE INDICATING THAT THE "WATER METERS WILL NOT BE RELEASED BY HOWARD COUNTY TO ANY NEW BUILDINGS UNTIL THE EXISTING WELLS AND SEPTIC SYSTEMS HAVE BEEN ABANDONED IN ACCORDANCE WITH HOWARD COUNTY HEALTH DEPARTMENT REGULATIONS AND THE EXISTING BUILDINGS ARE CONNECTED TO THE PUBLIC WATER AND SEWER MAINS.
- 4. THE DISTURBANCE OF THE STEEP SLOPES FOR CLAREMONT DRIVE HAS BEEN CONSIDERED ESSENTIAL DISTURBANCE BY THE DEPARTMENT OF PLANNING AND ZONING PER SECTION 16.1 10(c) OF THE SUBDIVISION REGULATIONS.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

SITE DEVELOPMENT PLAN CLAREMONT OVERLOOK

PHASES 1 & 2 LOTS 1- 25, OPEN SPACE LOTS 50 - 57 & NON-BUILDABLE BULK PARCELS E-H,JK HOWARD COUNTY, MARYLAND



LOT NO STREET ADDRESS 1 5810 CLAREMONT DRIVE 2 5814 CLAREMONT DRIVE 3 5818 CLAREMONT DRIVE 4 5902 MARGERY LANE 5 5906 MARGERY LANE 6 5840 CLAREMONT DRIVE 7 5910 MARGERY LANE 8 5914 MARGERY LANE 9 5918 MARGERY LANE 10 5922 MARGERY LANE 11 5917 MARGERY LANE 12 5913 MARGERY LANE 13 6001 NORTH MEYER DRIVE 14 6005 NORTH MEYER DRIVE 15 6009 NORTH MEYER DRIVE 16 6013 NORTH MEYER DRIVE 17 6017 NORTH MEYER DRIVE 19 6025 NORTH MEYER DRIVE 20 6029 NORTH MEYER DRIVE 21 6028 NORTH MEYER DRIVE 22 6024 NORTH MEYER DRIVE 23 6020 NORTH MEYER DRIVE 24 6016 NORTH MEYER DRIVE 25 6012 NORTH MEYER DRIVE	ADDRESS CHART			
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NO.	NORTHING	EASTING	NO.	NORTHING	EASTING
1	564760.14	1391895.57	28	564568.62	1393934.33
.2	564965.36	1392083.32	29	564268.11	1393653.65
3	564859.56	1392221.58	30	564178.89	1393743.91
4	564968.38	1392328.92	31	564042.08	1393475.89
5	564995.70	1392447.30	32	564110.42	1393475.89
6	565103.50	1392543.07	33	564002.31	1393352.71
7	565281.98	1392619.26	34	563982.67	1393177.30
8	565359.21	1392792.21	35	564111.64	1393122.19
9	565462.48	1393023.48	36	564172.93	1393047.87
10	565375.52	1393096.00	37	564271.54	1393086.74
11	565476.96	1393281.31	38	564379.43	1392896.14
12	565505.34	1393321.56	39	564220.21	1392598.01
13	565567.12	1393414.97	40	564650.60	1392098.45
14	565591.35	1393448.05	41	564722.27	1391860.92
15	565617.84	1393477.69	42	564608.70	1392071.26
16	565622.65	1393483.90	43	564542.47	1393996.62
17	565537.81	1393631.88	44	564691.44	1391832.72
18	564654.09	1394014.15			
19	564612.47	1393975.28			

COORDINATE TABLE

SITE DATA

LOCATION: TAX MAP 32 AND 38, GRID 21, PARCELS 632 AND 24 1STELECTION DISTRICT EXISTING ZONING: R-ED

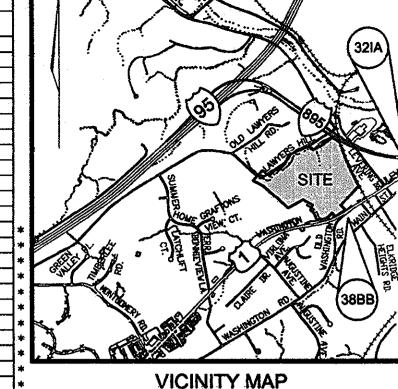
- TOTAL AREA OF PROJECT: 43.61302 AC TOTAL AREA OF PLAN SUBMISSION: AREA OF LOTS 5.68 AC NUMBER OF LOTS/ PARCELS PROPOSED: 25 BUILDABLE LOTS (INCLUDING
- PREVIOUS DPZ FILE REFERENCE NO.: SP-04-001, F-08-63, F-09-45, F10-117 WP-09-207, WP-09-208, WP-09-223 & PB CASE# 365

LIMIT OF DISTURBED AREA: 3.1 AC±

		5	SEWER CO	NNECTI	ON TABULATIO	N	· · · · · · · · · · · · · · · · · · ·
	LOT NO	TYPE	ELEV.	ELEV. DHC	ELEV.OR/W O R/W OR EASEMENT	ELEV.	M.C.E.
	LOT 1	4" SHC @1%	174.27	-	174.57	174.82	177.32
	LOT 2	4" SHC, @2%	173.60		174.22	174.76	177.26
	LOT 3	4" SHC, @2%	173.17	_	173.78	174.32	176.82
	LOT 4	4" DHC, @2%	172.50	176.20	176.78	177.24	179.74
	LOT 5	4" SHC, @2%	186.28	-	186.78	187.92	190.42
	LOT 6	4" SHC, @2%	189.12	_	189.38	190.28	192.78
	LOT 7	4" SHC, @2%	187.87	_	188.41	189.69	192.19
	LOT 8	4" SHC, @2%	190.70	_	191.20	192.46	194.96
	LOT 9	4" SHC, @2%	192.19	_	193.21	193.91	196.41
	LOT 10	4" SHC, @2%	192.19		193.03	193.85	196.35
	LOT 11	4" SHC, @2%	192.19		192.97	193.41	195.91
	LOT 12	4" SHC, @2%	192.19		193.07	193.61	196.11
	LOT 13	4" SHC, @2%	122.47	-	122.95	123.65	125.63
	LOT 14	4" SHC, @2%	123.71		124.19	124.79	126.79
	LOT 15	4" SHC, @2%	125.18		125.66	126.26	128.26
	LOT 16	4" SHC, @2%	128.13	_	128.61	129.31	131.31
	LOT 17	4" SHC, @2%	130.65	_	131.13	131.85	133,85
-	LOT 18	4" SHC, @2%	132.84	_	133.43	134.49	136.49
	LOT 19	4" SHC, @1%	135.64	_	136.09	136.49	138.49
	LOT 20	4" SHC, @1%	135.64		135.93	136.23	138.23
	LOT 21	4" SHC, @1%	135.64	1 -	135.95	136.35	138.35
	LOT 22	4" SHC, @1%	134.61	-	135.07	135.33	137.33
	LOT 23	4" SHC, @2%	131.76	_	132.08	132.97	134.97
	LOT 24	4" SHC, @2%	129.58	-	129.90	130.52	132.52
	LOT 25	4" SHC, @2%	127.00	-	127.32	127.92	129.92

- -MANHOLES MUST BE CHANNELED FOR ALL SEWER HOUSE CONNECTIONS. * 2.0' BETWEEN BASEMENT SLAB AND SHC INVERT AT HOUSE PER BUREAU OF ENGINEERING.
- ** NO BASEMENT GRAVITY SERVICE.

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BULATIO	N	·		
.OR/W OR EASEMENT	ELEV. • Unit	M.C.E.]	
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4.22	174.76	177.26	7	
3.78	174.32	176.82]	١ ١
6.78	177.24	179.74]	
6.78	187.92	190.42	7	l
9.38	190.28	192.78	7	
8.41	189.69	192.19	7	
1.20	192.46	194.96	7	ł
3.21	193.91	196.41	7	
3.03	193.85	196.35	7	
2.97	193.41	195.91	7	ł
3.07	193.61	196.11]	ŀ
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5.66	126.26	128.26	*	
3.61	129.31	131.31] *	(
.13	131.85	133.85	*	
3.43	134.49	136.49	*	
5.09	136.49	138.49	∃ ∗	*
5.93	136.23	138.23	*	F
5.95	136.35	138.35	*	
5.07	135.33	137.33	* '	
2.08	132.97	134.97	*	
9.90	130.52	132.52	*	
			┪.	



SCALE: 1"=2000' ADC MAP: 4937, F6

	BENCHMARKS				
NO.	NORTHING	EASTING	ELEVATION		
32IA	565,065.463'	1,395,212.248	27.696*		
38BB	564,007.646	1,393,649.975	27.696		

	MINIMUM LOT SIZE CHART			
LOT	NET AREA	PIPE STEM	TOTAL AREA	
6	25,216 SF	413 SF	25,629 SF	

SHEET INDEX	
DESCRIPTION	SHEET NO
COVER SHEET	1 OF 13
SITE LAYOUT AND LANDSCAPE PLAN FOR LOT 4	2 OF 13
SITE LAYOUT	3 OF 13
SITE LAYOUT	4 OF 13
SITE LAYOUT	5 OF 13
SITE LAYOUT AND LANDSCAPE PLAN FOR LOT 13	6 OF 13
GRADING, SEDIMENT, AND EROSION CONTROL AND SOILS PLAN	7 OF 13
GRADING, SEDIMENT, AND EROSION CONTROL AND SOILS PLAN	8 OF 13
GRADING, SEDIMENT, AND EROSION CONTROL AND SOILS PLAN	9 OF 13
GRADING, SEDIMENT, AND EROSION CONTROL AND SOILS PLAN	10 OF 13
GRADING, SEDIMENT, AND EROSION CONTROL AND SOILS PLAN	11 OF 13
SEDIMENT AND EROSION CONTROL AND LANDSCAPE NOTES AND DETAILS	12 OF 13
HOUSE PLANS	13 OF 13

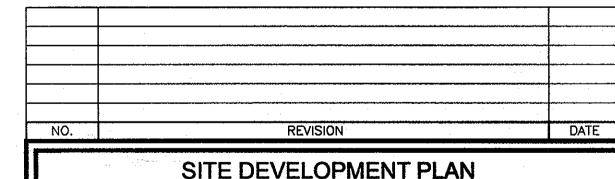
PERMIT	INFOR	MATIC	ON CHA	RT
SUBDMS	ION NAM	E	SE	CTION/ AREA
CLAREMONT	T OVERLOO	K 5	. PI	USES I AND II
	LOT/ PA	D 632'		:
PLAT REF # BLOCK N	O ZONE	TAX MAP	ELECT DIST	CENSUS TR
PHASE I 20995-21001 PHASE II 21032-21035 21	R-ED	32	1	6012.01

OWNER CLAREMONT L.L.C. MR. ALAN MEYER 11046 DORSCH FARM ROAD

ELLICOTT CITY, MARYLAND 21042

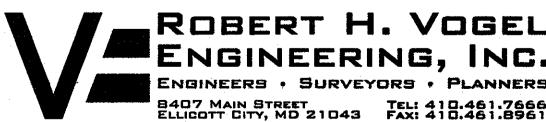
(410) 730-4556

DEVELOPER RYAN HOMES 6031 UNIVERSITY BLVD. SUITE 250 ELLICOTT CITY, MARYLAND 21043 (410) 796-0980

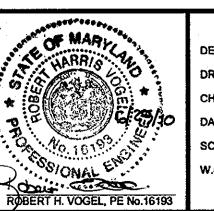


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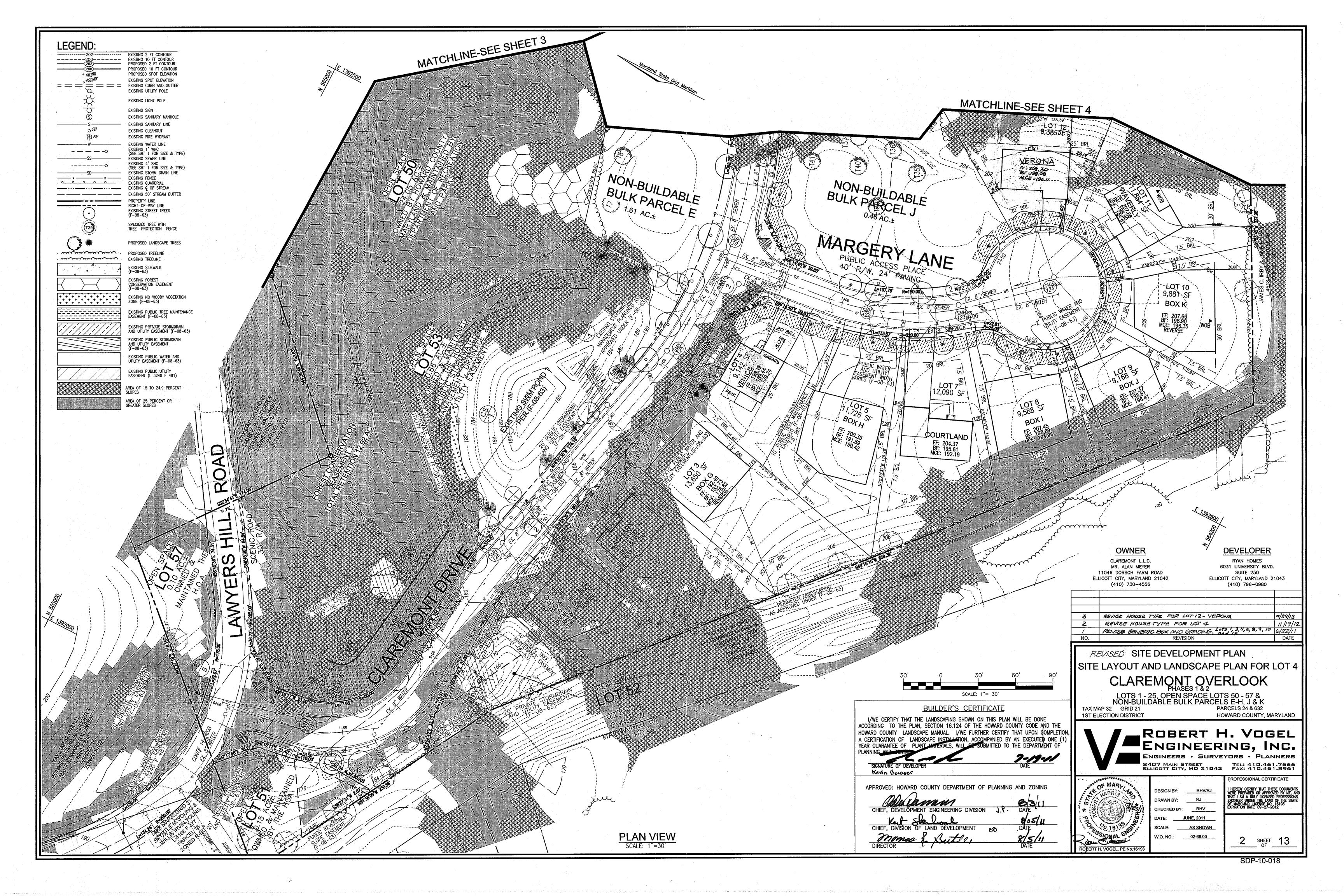
PARCELS 24 & 632 TAX MAP 32 GRID 21 HOWARD COUNTY, MARYLAND 1STELECTION DISTRICT

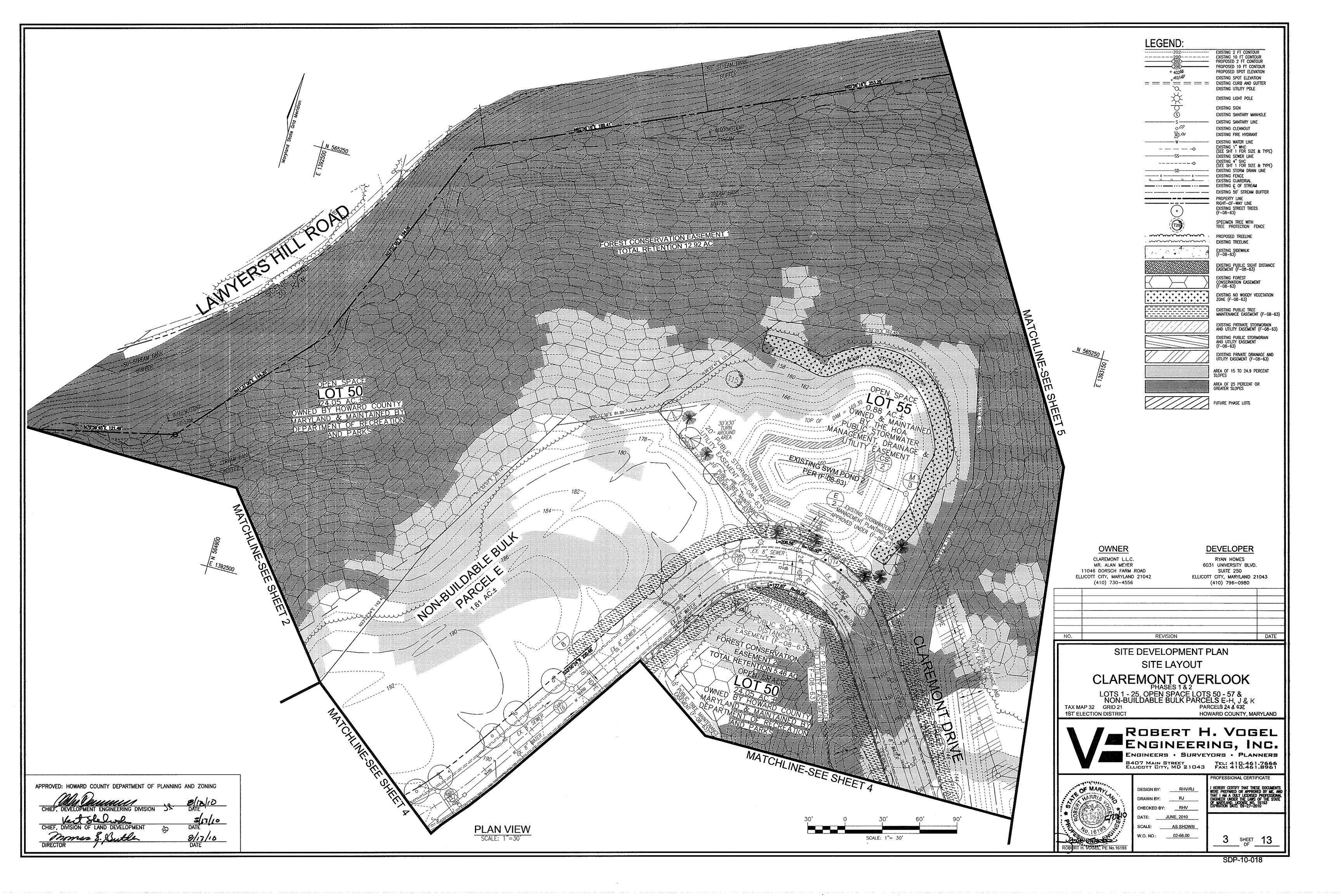


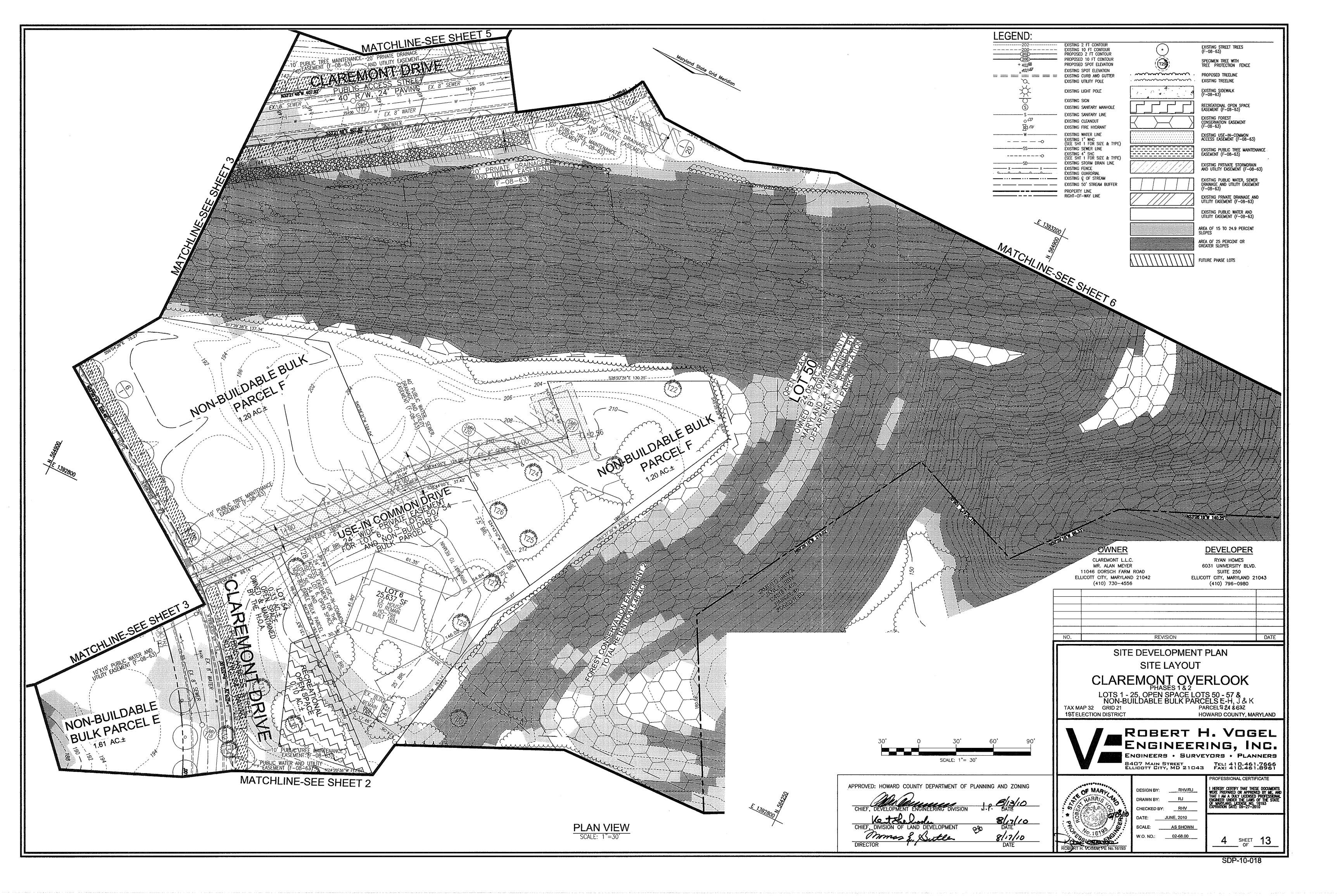
ROBERT H. VOGEL Engineering, Inc. ENGINEERS . SURVEYORS . PLANNERS

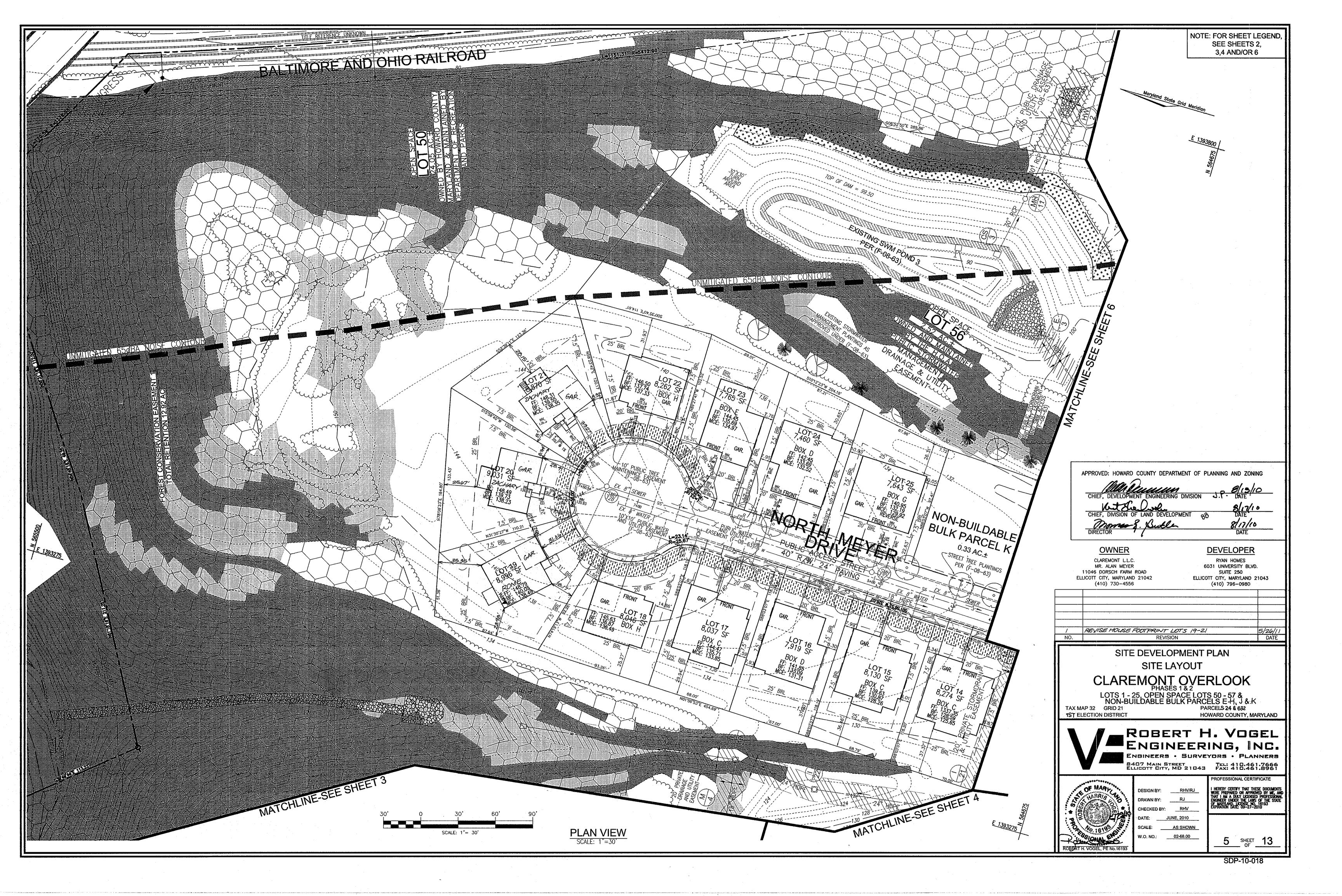


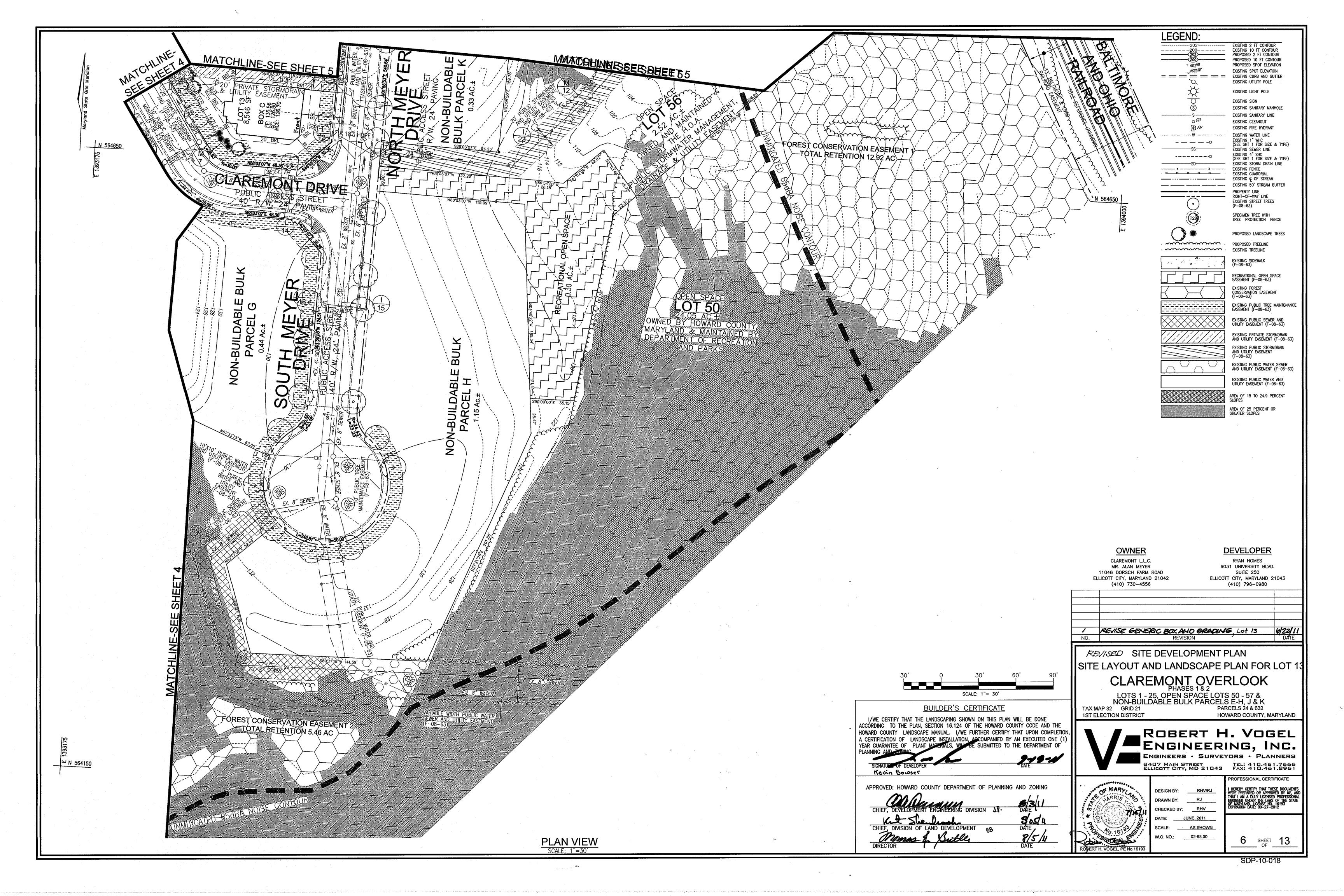
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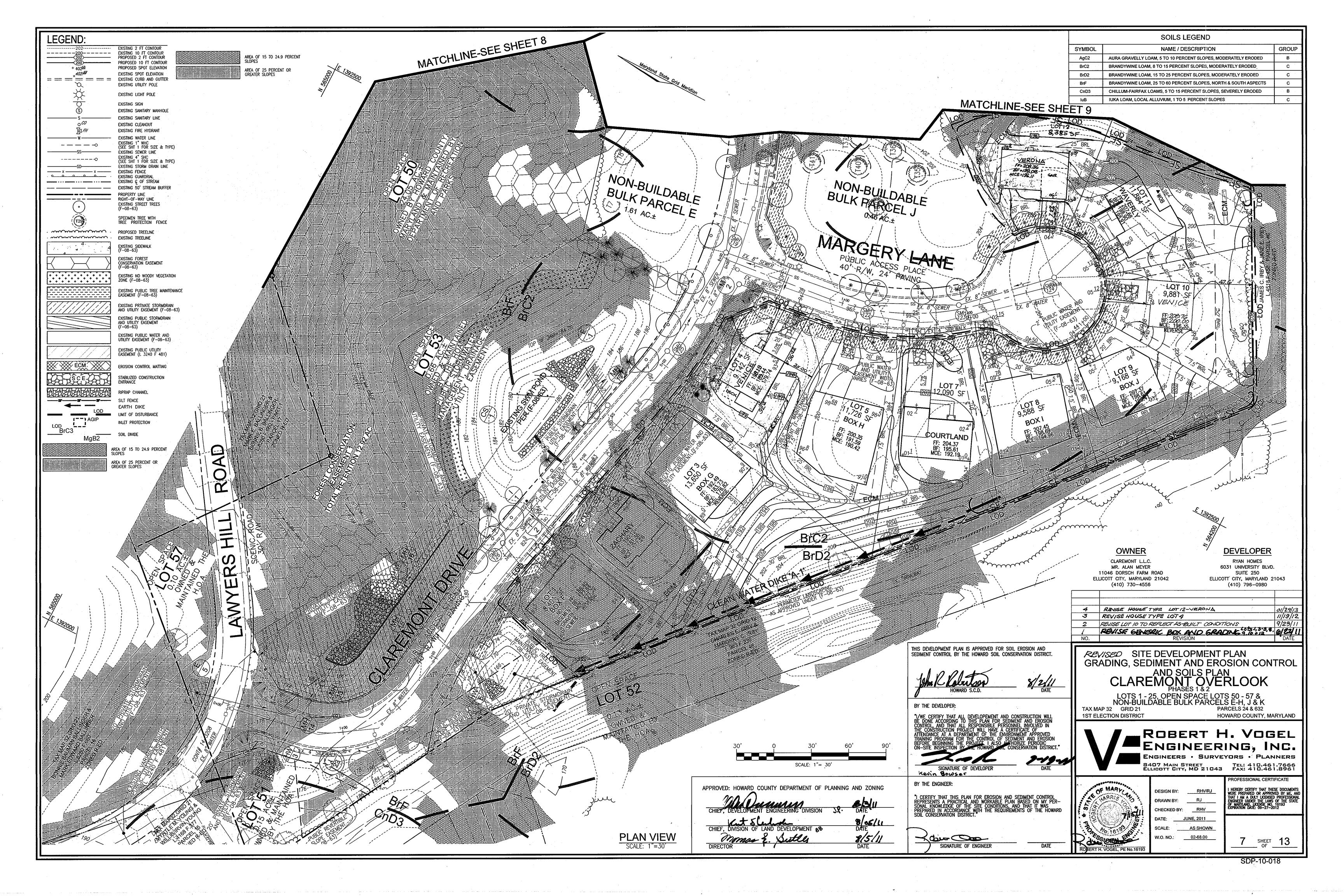


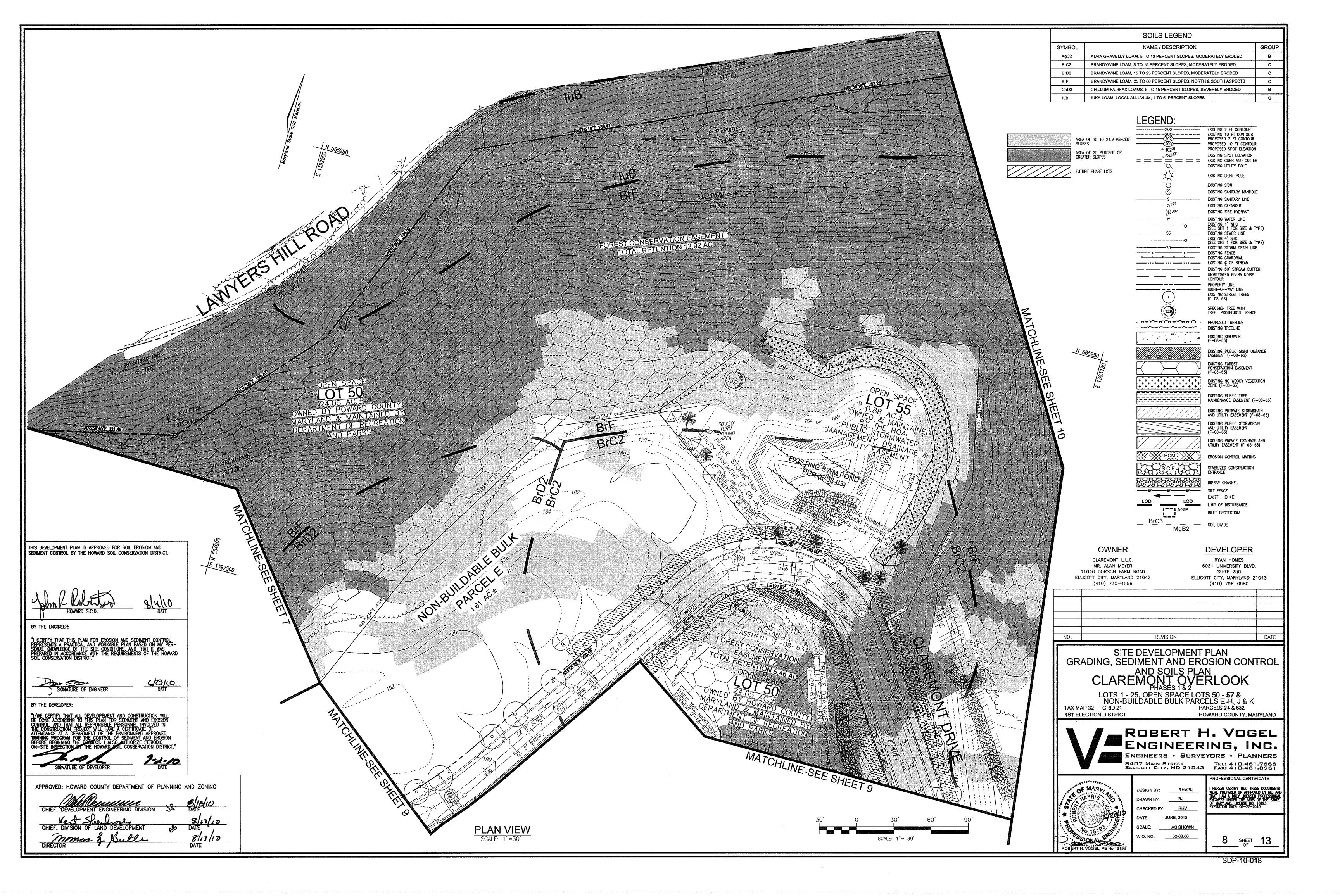


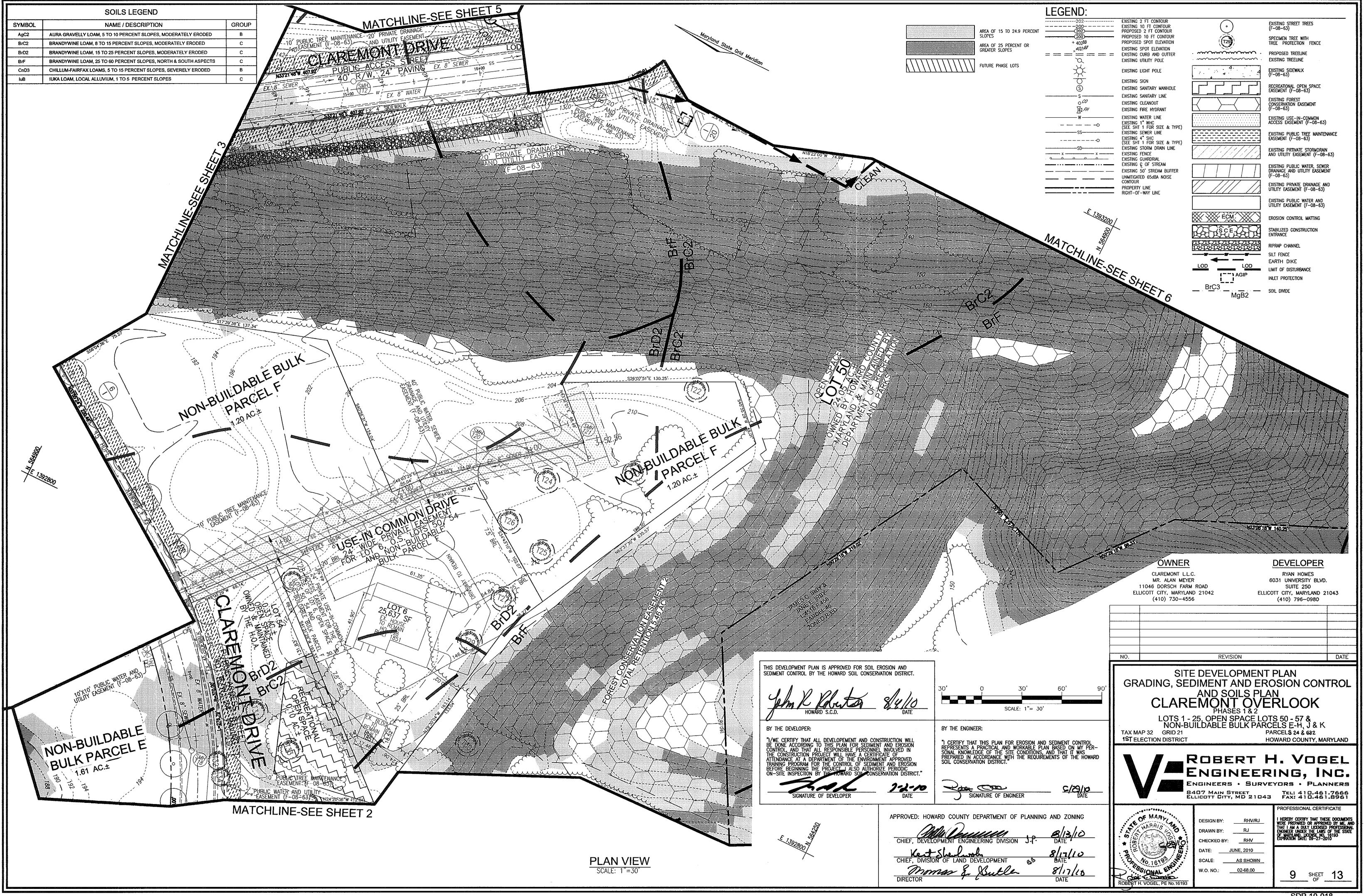




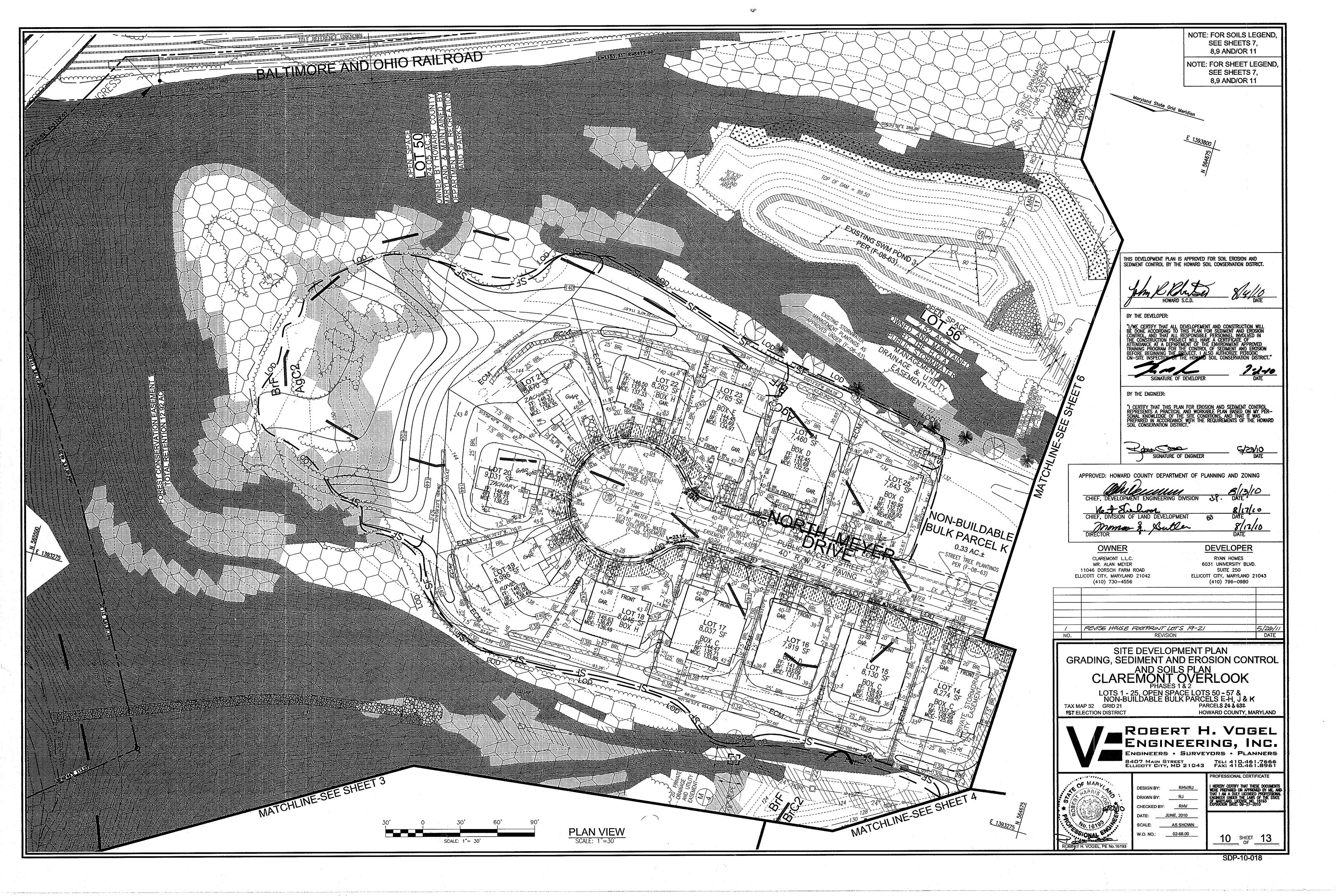


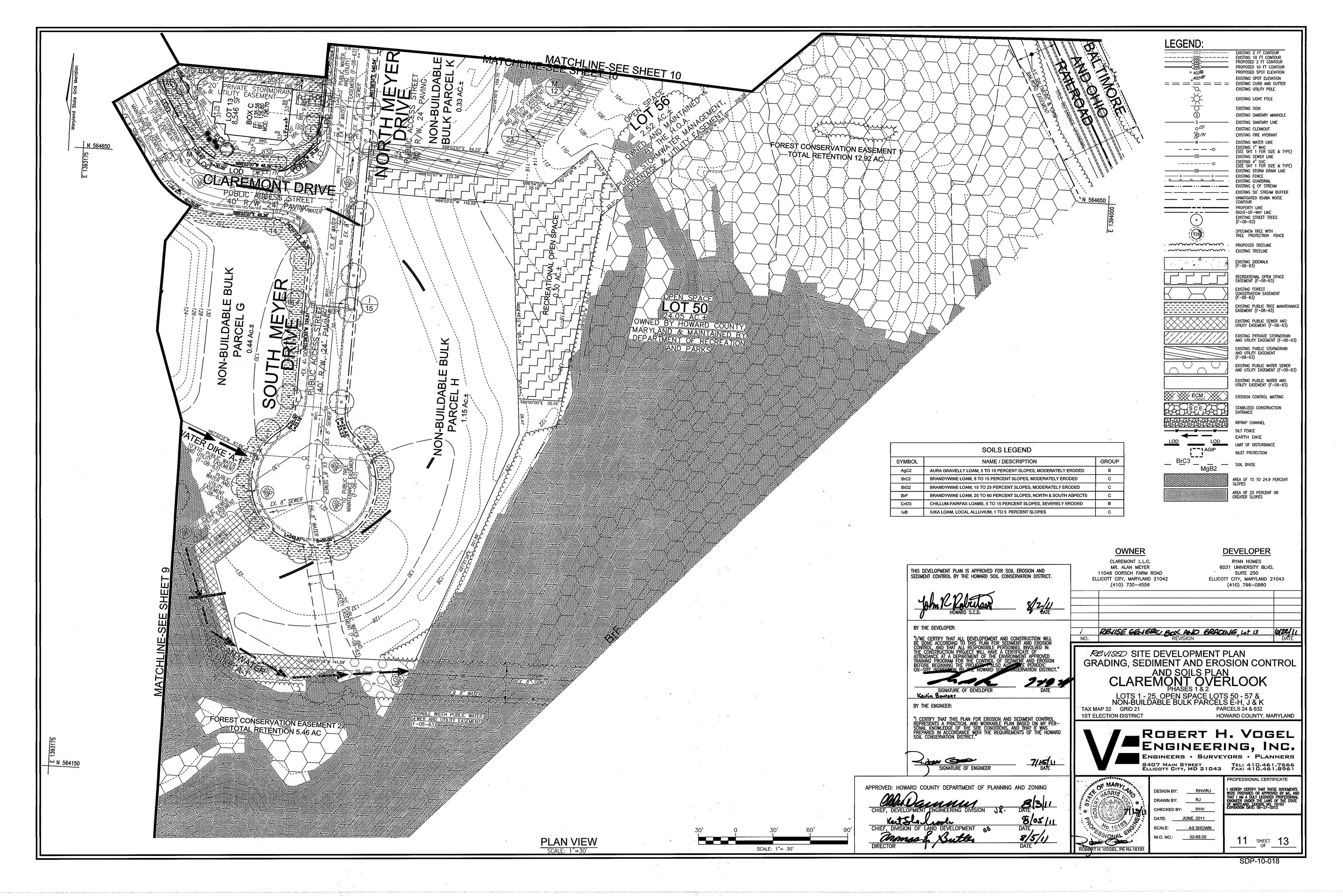


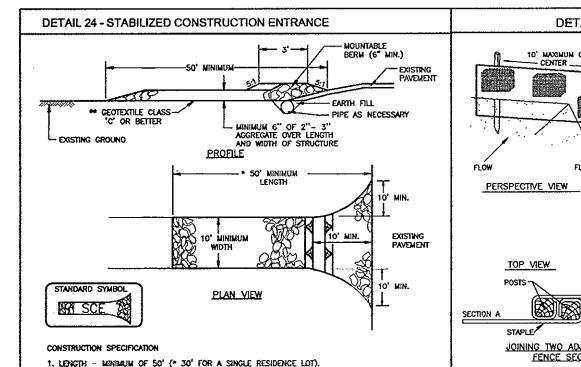




SDP-10-018







1. LENGTH - MINIMUM OF 50' (* 30' FOR A SINGLE RESIDENCE LOT).

PERMANENT SEEDING NOTES

- 2. WIDTH 10' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS. GEOTEXTILE FABRIC (FILTER CLOTH) SHALL BE PLACED OVER THE EXISTING GROUND PRIOR TO PLACING STONE. ** THE PLAN APPROVAL AUTHORITY MAY NOT REQUIRE SINGLE FAMILY RESIDENCES TO USE GEOTEXTILE.
- 4. STONE CRUSHED AGGREGATE (2" TO 3") OR RECLAIMED OR RECYCLED CONCRETE THE ENTRANCE.

5. SURFACE WATER — ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD CONSTRUCTION EXTRANCES SHALL BE PIPED THROUGH THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERN WITH 5:1 SLOPES AND A MINIAUM OF 6" OF STONE OVER THE PIPE HAS TO BE SIZED ACCORDING TO THE DRAINAGE. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY, A PIPE WILL NOT BE NECESSARY, PIPE SHOULD BE SIZED ACCORDING TO THE AMOUNT OF RUNOFF TO BE CONVEYED. A 6" MINIMUM WILL BE REQUIRED. 8. LOCATION — A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED AT EVERY POINT WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES A CONSTRUCTION SITE, VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE STABILIZED CONSTRUCTION ENTRANCE.

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER

OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR

JOINING TWO ADJACENT SILT FENCE SECTIONS TENSILE STRENGTH TENSILE MODULUS 20 LBS/IN (MIN.) 0.3 GAL FT /MINUTE (MAX.) FILTERING EGGECIENCY 75% (MIN.) WHERE ENDS OF GEOTEXTILE FABRIC COME TOGETHER, THEY SHALL BE OVERLAPPED, FOLDED AND STAPLED TO PREVENT SEDIMENT BYPASS.

U.S. DEPARTMENT OF AGRICULTURE PAGE MARYLAND DEPARTMENT OF ENVIRONMENT SOIL CONSERVATION SERVICE E - 15 - 3 WATER MANAGEMENT ADMINISTRATION

DETAIL 22 - SILT FENCE

TOP VIEW

STAPLE

DRIVEN A MINIMUM OF 16" INTO GROUND

CROSS SECTION

UNDISTURBED

STANDARD SYMBOL

DETAIL 1 - EARTH DIKE _ 2:1 SLOPE OR FLATTER 2:1 SLOPE OR FLATTER EXCAVATE TO PROVIDE CROSS SECTION -DIKE HEIGHT 18" POSITIVE DRAINAGE b-DIKE WIDTH 24" SUFFICIENT TO DRAIN c-FLOW WIDTH 4' ~~ ~ ~ ~~ ~ ~ ~ ~ d-FLOW DEPTH 12" CUT OR FILL SLOPE-STANDARD SYMBOL PLAN VIEW

1. SEED AND COVER WITH STRAW MULCH. 2. SEED AND COVER WITH EROSION CONTROL MATTING OR LINE WITH SOD. 3. 4" - 7" STONE OR RECYCLED CONCRETE EQUIVALENT PRESSED INTO THE SOIL 7"

CONSTRUCTION SPECIFICATIONS LONSTRUCTION SPECIFICATIONS

1. ALL TEMPORARY EARTH DIKES SHALL HAVE UNINTERRUPTED POSITIVE GRADE TO AN OUTLET. SPOT ELEVATIONS MAY BE NECESSARY FOR GRADES LESS THAN 1%.

2. RUNOFF DIVERTED FROM A DISTURBED AREA SHALL BE CONVEYED TO A SEDIMENT TRAPPING DEVICE.

3. RUNOFT DIVERTED FROM AN UNDISTURBED AREA SHALL OUTLET DIRECTLY INTO AN UNDISTURBED, STABILIZED AREA AT A NON-EROSIVE VELOCITY.

4. ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBJECTIONAL MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE DIKE.

5. THE DIKE SHALL BE EXCLUSIVED OR SHAPED TO LINE GRADE AND CROSS PROPER FUNCTIONING OF THE DIKE.

5. THE DIKE SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARITIES WHICH WILL IMPEDE NORMAL FLOW.

6. FILL SHALL BE COMPACTED BY EARTH MOVING EQUIPMENT.

7. ALL EARTH REMOVED AND NOT NEEDED FOR CONSTRUCTION SHALL BE PLACED SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE DIKE.

8. INSPECTION AND MAINTENANCE MUST BE PROVIDED PERIODICALLY AND AFTER EACH RAIN EVENT.

DETAIL 33 - SUPER SILT FENCE GROUND / SURFACE 36" MINIMUM CHAIN LINK FENCING -FILTER CLOTH-_ 34" MINIMUM STANDARD SYMBOL ----- SSF ---CONSTRUCTION SPECIFICATION

1. FENCING SHALL BE 42" IN HEIGHT AND CONSTRUCTED IN ACCORDANCE WITH THE LATEST MARYLAND STATE HIGHWAY DETAILS FOR CHAIN LINK FENCING. THE SPECIFICATION FOR A 6' FENCE SHALL BE USED, SUBSTITUTING 42" FABRIC AND 6' LENGTH POSTS 2. CHAIN LINK FENCE SHALL BE FASTENED SECURELY TO THE FENCE POSTS WITH WIRE TIES, THE LOWER TENSION WIRE, BRACE AND TRUSS RODS, DRIVE ANCHORS AND POST CAPS ARE NOT REQUIRED EXCEPT ON THE ENDS OF THE FENCE.

3. FILTER CLOTH SHALL BE FASTENED SECURELY TO THE CHAIN LINK FENCE WITH TIES SPACED EVERY $24^{\prime\prime}$ AT THE TOP AND MID SECTION. 4. FILTER CLOTH SHALL BE EMBEDDED A MINIMUM OF 8" INTO THE GROUND. 5. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6" AND FOLDED.

DEVELOP IN THE SILT FENCE, OR WHEN SILT REACHES 50% OF FENCE HEIGHT 7. FILTER CLOTH SHALL BE FASTENED SECURELY TO EACH FENCE POST WITH WIRE TIES OR STAPLES AT TOP AND MID SECTION AND SHALL MEET THE FOLLOWING REQUIREMENTS FOR CECTEXTILE CLASS F:

LE CLASS F:

TENSILE STRENGTH 50 LBS/IN (MIN.)

TENSILE MODULUS 20 LBS/IN (MIN.)

FLOW RATE 0.3 GAL/FT /MINUTE (MAX.) U.S. DEPARTMENT OF AGRICULTURE PAGE MARYLAND DEPARTMENT OF ENVIRONMENT SOIL CONSERVATION SERVICE H - 26 - 3 WATER MANAGEMENT ADMINISTRATION

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE

PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES: 1. PREFERRED: APPLY 2 TONS/ACRE DOLOMITIC LIMESTONE (92 IBS/1000 SQ. FT.) AND 600 IBS/ACRE 10-10-10 FERTILIZER (14 IBS/1000 SQ. FT.) BEFORE SEEDING. HARROW OR DISK INTO UPPER THREE INCHES OF SOIL. AT TIME OF SEEDING, APPLY 400 IBS/ACRE 30-0-0 UREAFORM FERTILIZER (9 IBS/1000 SQ. FT.) 2. ACCEPTABLE: APPLY 2 TONS/ACRE DOLOMITIC LIMESTONE (92 IBS/1000 SQ. FT.) AND 1000 IBS/ACRE 10-10-10 FERTILIZER (23 IBS/1000 SQ. FT.) BEFORE SEEDING. HARROW OR DISK INTO UPPER THREE INCHES OF SOIL.

PAGE MARYLAND DEPARTMENT OF ENVIRONMENT F - 17 - 3 WATER MANAGEMENT ADMINISTRATION

SEEDING: FOR THE PERIODS MARCH 1 THUR APRIL 30, AND AUGUST 1 THRU OCTOBER 15, SEED WITH 60 IBS/ACRE (1.4 IBS/1000 SQ.FT.) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31, SEED WITH 60 IBS KENTUCKY 31 TALL FESCUE PER ACRE AND 2 IBS/ACRE (.05 IBS/100() SQ. FT.) OF WEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY: OPTION 1: TWO TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING.

OPTION 3: SEER: WITH 60 IBS/ACRE KENTUCKY 30 TALL FESCUE AND MULCH WITH $2\,$

TONS/ACRE WELL ANCHORED STRAW. MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 IBS/1000 SQ. FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH MMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL/1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPE 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL/1000 SQ. FT.) FOR ANCHORING.

MAINTENANCE: INSPECT ALL SEEDING AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

TEMPORARY SEEDING NOTES APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE RE-DISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY

SOIL AMENDMENTS: APPLY 600 IBS/ACRE 10-10-10 FERTILIZER (14 IBS/1000 SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30 AND FROM AUGUST 15 THRU OCTOBER 15, SEED WITH 2-1/2 BUSHEL PER ACRE OF ANNUAL RYE (3.2 IBS/1000 SQ. FT.). FOR THE PERIOD MAY 1 -- AUGUST 14, SEED WITH 3

IBS/ACRE OF WEEPING LOVEGRASS (.07 IBS/1000 SQ. FT.). FOR THE PERIOD

NOVEMBER 16 -- FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS/ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, MULCHING: APPLY L-1/2 TO 2 TONS/ACRE (70 TO 90 IBS/1000 SQ. FT.) OF UNROTTED WEED-FREE, SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218

ON SLOPE 8 FT. OR HIGHER, USE 348 GAL. PER ACRE (8 GAL/1000 SQ. FT.) FOR REFER TO THE 1994 MAR4AND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR ADDITIONAL RATES AND METHODS NOT COVERED.

GAL PER ACRE (5 GAL/1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS.

TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH.
SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT
LEVELS, LOW pH, MATERIALS TOXIC TO PLANTS, AND/OR
UNACCEPTABLE SOIL GRADATION. CONDITIONS WHERE PRACTICE APPLIES
1. THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE: A. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.

B. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS. C. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH. D. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE. II. FOR THE PURPOSE OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL

CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION AREAS HAVING SLOPES STEEPER THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE PLANS. CONSTRUCTION AND MATERIAL SPECIFICATIONS TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN

THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA—SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION. II. TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING: I. TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM,

SILT LOAM, SANDY CLAY LOAM, LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR A SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS. TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING
TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5%
BY VOLUME OF CINDERS, STONES, SLAG, COARSE
FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER
MATERIALS LARGER THAT 1 AND 1/2" IN DIAMETER.
TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH

AS BERMUDA GRASS, QUACKGRASS, JOHNSONGRASS, NUTSEDGE, POISON MY, THISTLE, OR OTHERS AS SPECIFIED.

WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. REAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH ILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING

III. FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES:
I. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION—SECTION I-VEGETATIVE STABILIZATION METHODS AND MATERIALS. NOTE: TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF II. PLACE TOPSOIL (IF REQURED) AND APPLY SOIL AMENDMENTS

AS SPECIFIED IN AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION — SECTION I — VEGETATIVE STABILIZATION METHODS AND MATERIALS.

IV. FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES 1. ON SOIL MEETING TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS DICTATING FERTILIZER AND LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING:
A. ph for topsoil shall be between 6.0 and 7.5. If
THE TESTED SOIL DEMONSTRATES A ph of less than 6.0, SUFFICIENT LIME SHALL BE PRESCRIBED TO RAISE THE pH TO 6.5 OR HIGHER.

B. ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN C. TOPSOIL HAVING SOLUBLE SALT CONTENT GREATER THAN D. NO SOD OR SEED SHALL BE PLACED ON SOIL WHICH
HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS
USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS
ELABOR OF THE PLACED OF ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.

NOTE: TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY NATURAL TOPSOIL. II. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION — SECTION I — VEGETATIVE STABILIZATION METHODS AND MATERIALS.

TOPSOIL APPLICATION WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS.

HIGHER IN ELEVATION. III. TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4"-8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4" SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER

ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS. IV. TOPSOIL SHALL NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION ALTERNATIVE TO PERMANENT SEEDING - INSTEAD OF APPLYING THE FULL AMOUNTS OF LIME AND COMMERCIAL FERTILIZER,

COMPOSTED SLUDGE AND AMENDMENTS MAY BE APPLIED AS SPECIFIED BELOW: COMPOSTED SLUDGE MATERIAL FOR USE AS A SOIL CONDITIONER FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES SHALL BE TESTED TO PRESCRIBE AMENDMENTS AND FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES SHALL CONFORM TO THE FOLLOWING REQUIREMENTS: OLLOWING REQUIREMENTS:

COMPOSTED SLUDGE SHALL BE SUPPLIED BY, OR ORIGINATE FROM, A PERSON OR PERSONS THAT ARE PERMITTED (AT TIME OF ACQUISITION OF THE COMPOST) BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT UNDER COMAR 26.04.06 COMPOSTED SLUDGE SHALL CONTAIN AT LEAST 1 PERCENT NITROGEN, 1.5 PERCENT PHOSPHORUS, AND 0.2 PERCENT POTASSIUM AND HAVE A PH OF 7.0 TO 8.0. IF COMPOSTED DOES NOT MEET THESE REQUIREMENTS, THE APPROPRIATE CONSTITUENTS MUST BE ADDED TO MEET THE REQUIREMENTS PRIOR TO LISE

COMPOSTED SLUDGE SHALL BE APPLIED AT A RATE OF 1 TON/1,000 SQUARE FEET. COMPOSTED SLUDGE SHALL BE AMENDED WITH A POTASSIUM FERTILIZER APPLIED AT THE RATE OF 4 LB/1,000 SQUARE FEET, AND 1/3 THE NORMAL LIME APPLICATION RATE. SEQUENCE OF CONSTRUCTION

BEFORE STARTING ANY WORK

SOIL CONSERVATION SERVICE

- 1. OBTAIN GRADING PERMIT. 2. NOTIFY HOWARD COUNTY BUREAU OF INSPECTIONS AND PERMITS (410.313.1880) AT LEAST 24 HOURS
- 3. INSTALL SEDIMENT CONTROL MEASURES AS SHOWN ON PLAN AND IN ACCORDANCE WITH DETAILS. (5 DAYS) 4. INSPECT SEDIMENT CONTROL MEASURES FROM F-08-63 TO REMAIN PER SDP. REPAIR AS NEEDED.
- AFTER OBTAINING PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR TO PROCEED, ROUGH GRADE SITE. 6. CONSTRUCT HOUSES. THE FIRST FLOOR ELEVATIONS CANNOT BE

MORE THAN 1' HIGHER OR 0.2' LOWER THAN THE ELEVATIONS SHOWN ON THIS PLAN. 7. UPON STABILIZATION OF ALL DISTURBED AREAS AND WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, REMOVE ALL SEDIMENT CONTROL DEVICES.

1. DURING GRADING AND AFTER EACH RAINFALL, CONTRACTOR WILL INSPECT AND PROVIDE NECESSARY MAINTENANCE TO THE SEDIMENT CONTROL

2. FOLLOWING INITIAL SOIL DISTURBANCES OR REDISTURBANCE PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A. 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL B. 14 CALENDAR DAYS FOR ALL OTHER DISTURBED AREAS.

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTION, LICENSE AND PERMITS SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (410-313-1855). ALL VEGETATION AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE
- PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. AND REVISIONS THERETO. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: (A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3:1, (B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- 4. ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 7, HOWARD COUNTY
- DESIGN MANUAL, STORM DRAINAGE. 5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING, SOD, TEMPORARY SEEDING, AND MULCHING (SEC. G). TEMPORARY STABILIZATION WITH MULCH ALONE SHALL BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- . ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

TOTAL AREA____ AREA DISTURBED AREA TO BE ROOFED OR PAVED AREA TO BE VEGETATIVELY STABILIZED

HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

- WASTE/BORROW LOCATION -8. ANY SÉDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- 9. ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE
- 10. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- 11. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.
- * TO BE DETERMINED BY CONTRACTOR, WITH PRE-APPROVAL OF THE SEDIMENT CONTROL INSPECTOR WITH AN APPROVED AND ACTIVE GRADING PERMIT

SCHEDULE A: PERIMETER LANDSCAPE EDGE ADJACENT TO CATEGORY CLAREMONT DRIVE LOT 4 LOT 13 PERIMETER/FRONTAGE DESIGNATION TOTAL LANDSCAPÉ TYPE 72 142 PERIMETER/FRONTAGE CREDIT FOR EXISTING VEGETATION (YES, NO. LINEAR FEET DESCRIBE BELOW IF NEEDED CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET DESCRIBE BELOW IF NEEDED) NUMBER OF PLANTS REQUIRED (LF REMAINING) REQUIRED EVERGREEN TREES 1:40 2 1:40 4 NUMBER OF PLANTS PROVIDED SHADE TREES EVERGREEN TREES OTHER TREES (2:1 SUBSTITUTION) SHRUBS (10:1 SUBSTITUTION) (DESCRIBE PLANT SUBSTITUTION CREDITS

		PLANT SCHEDU	LE	
KEY	QUAN.	PLANT NAME	SIZE	REMARK
	4	ACER RUBRUM RED MAPLE	2-1/2" - 3" CAL.	B&B
**	6	PINUS STROBUS EASTERN WHITE PINE	6'-8' Ht.	B&B

- 1. ALL PLANT MATERIALS SHALL BE FULL AND HEAVY, BE WELL FORMED AND SYMMETRICAL, CONFORM TO THE MOST CURRENT AAN SPECIFICATIONS AND BE INSTALLED IN ACCORDANCE WITH LCAMW PLANTING SPECIFICATIONS.
- 2. CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. 3. FINAL LOCATION OF PLANT MATERIAL MAY NEED TO VARY TO MEET FINAL CONDITIONS. TREES SHALL NOT BE PLANTED IN THE BOTTOM OF DRAINAGE SWALES.
- 4. CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO BIDDING. IF PLAN DIFFERS FROM LANDSCAPE SCHEDULE, THE PLAN SHALL GOVERN.

AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN, SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING, ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.

THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.

THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. LANDSCAPE SURETY FOR LOT 4 IN THE AMOUNT OF \$600.00 FOR THE REQUIRED 1 SHADE TREE AND 2 EVERGREEN TREES WILL BE POSTED WITH THE GRADING PERMIT. LANDSCAPE SURETY FOR LOT 13 IN THE AMOUNT OF \$1,500.00 FOR THE REQUIRED 3 SHADE TREES AND 4 EVERGREEN TREESWILL BE POSTED WITH THE GRADING PERMIT.

THE LOCATION AND SPECIES FOR PERIMETER LANDSCAPING WILL BE PROVIDED WITH THE FINAL ROAD CONSTRUCTION PLANS.

NO LANDSCAPING TO BE INSTALLED WITHIN ANY PUBLIC EASEMENT FOR WATER, SEWER OR STORM DRAIN.

NO CLEARING OF EXISTING VEGETATION IS PERMITTED WITHIN THE LANDSCAPE EDGE FOR WITCH CREDIT IS TAKEN; HOWEVER, LANDSCAPE MAINTENANCE IS AUTHORIZED.

OWNER

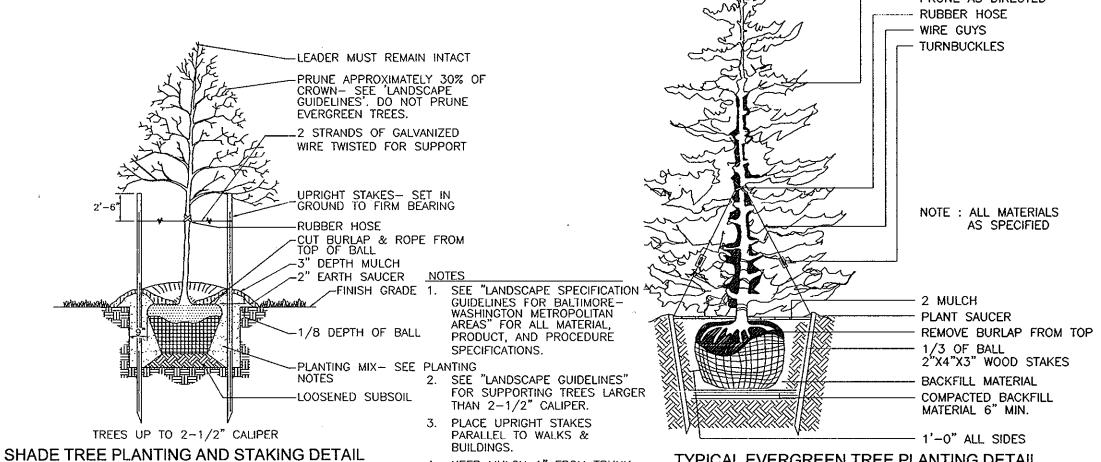
CLAREMONT L.L.C.

MR. ALAN MEYER

11046 DORSCH FARM ROAD

ELLICOTT CITY, MARYLAND 21042

(410) 730-4556



4. KEEP MULCH 1" FROM TRUNK

5. TREES ARE NOT TO BE

SEWAGE EASEMENT.

PLANTED OVER PRIVATE

BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

83

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

BY THE DEVELOPER: CONTROL OF SEDIMENT AND EROSION ECT. I ALSO AUTHORIZE PERIODIC HOWARD SOIL CONSERVATION DISTRICT."

BY THE ENGINEER: "I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PER—SONAL KNOWLEDGE OF THE SITE CONDITIONS, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT." - CON COS SIGNATURE OF ENGINEER

NOT TO SCALE

- PRUNE AS DIRECTED

TYPICAL EVERGREEN TREE PLANTING DETAIL NOT TO SCALE

1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND ROBERT H. VOGEL Engineering, Inc. ENGINEERS • SURVEYORS • PLANNERS 8407 MAIN STREET TEL: 410.461.7666 ELLICOTT CITY, MD 21043 FAX: 410.461.8961

REVISION

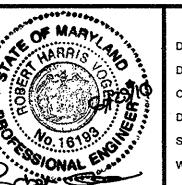
SITE DEVELOPMENT PLAN

SEDIMENT AND EROSION CONTROL AND

LANDSCAPE NOTES AND DETAILS

LAREMONT OVERLOOK

LOTS 1 - 25, OPEN SPACE LOTS 50 - 57 & NON-BUILDABLE BULK PARCELS E-H, J & K



TAX MAP 32 GRID 21

DESIGN BY: DRAWN BY: CHECKED BY: __RHV__ JUNE, 2010 DATE: SCALE: AS SHOWN 02-68.00 W.O. NO.:

DEVELOPER

RYAN HOMES

6031 UNIVERSITY BLVD.

SUITE 250

ELLICOTT CITY, MARYLAND 21043

(410) 796-0980

PARCELS 24 & 632

12 SHEET 13 SDP-10-018

PROFESSIONAL CERTIFICATE

