

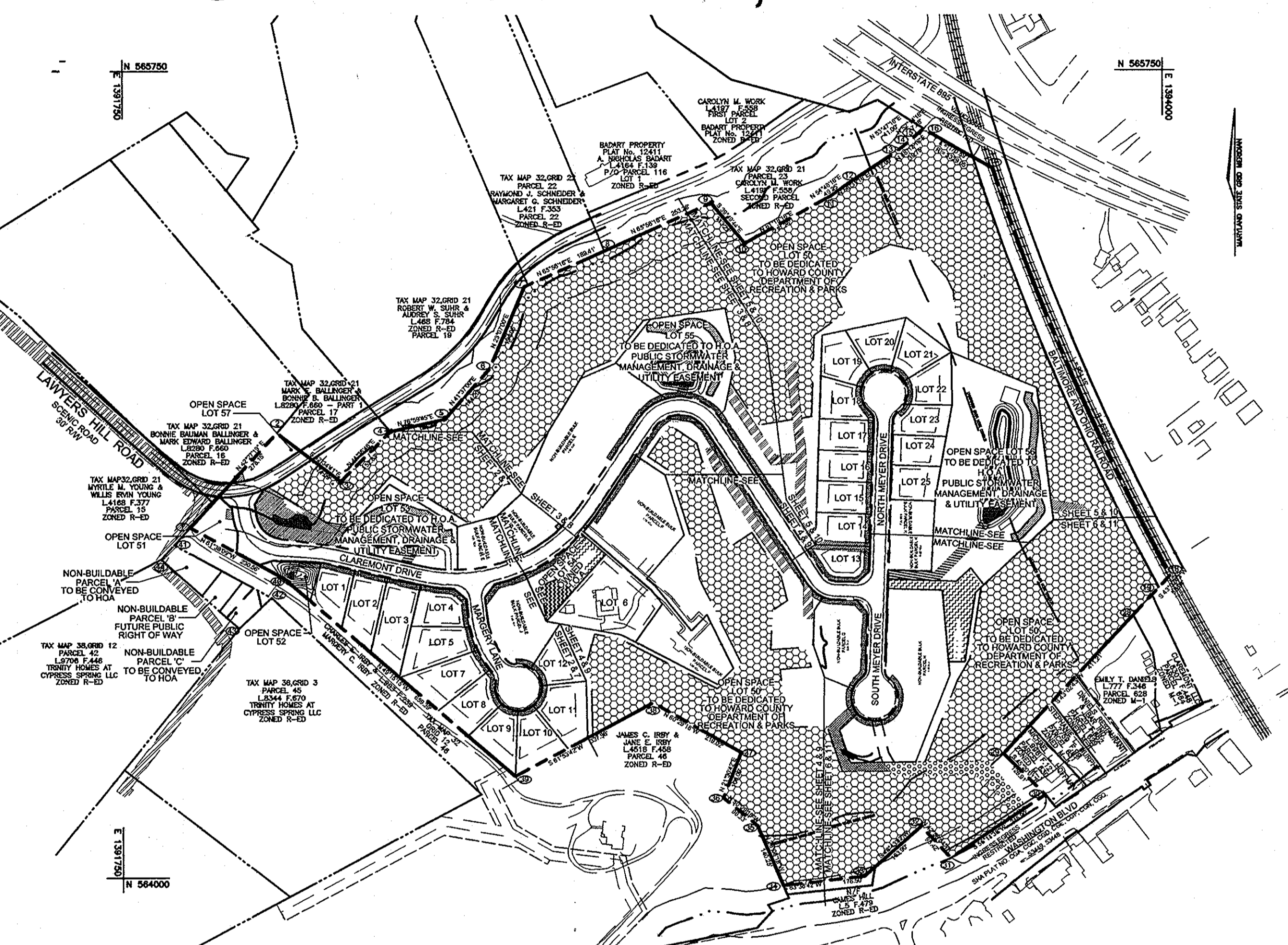
**GENERAL NOTES**

- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS:  
 MISS UTILITY 1-800-257-7777  
 BELL ATLANTIC TELEPHONE CO. 725-9976  
 HOWARD COUNTY BUREAU OF UTILITIES: 313-2366  
 VERIZON CABLE LOCATION DIVISION: 383-3553  
 B.G.&E. CO. CONTRACTOR SERVICES: 850-4620  
 B.G.&E. CO. UNDERGROUND DAMAGE CONTROL: 787-4820  
 STATE HIGHWAY ADMINISTRATION: 531-5533
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/ BUREAU OF ENGINEERING/ CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
- ANY DAMAGE TO PUBLIC RIGHT-OF-WAY, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- EXISTING UTILITIES LOCATED FROM ROAD CONSTRUCTION PLANS AND AVAILABLE RECORD DRAWINGS. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:  
 A) WIDTH - 12 FEET (16 FEET IF SERVING MORE THAN ONE RESIDENCE);  
 B) SURFACE - 6 INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1-1/2" MIN.);  
 C) GEOMETRY - MAXIMUM 14% GRADE, MAXIMUM 10% GRADE CHANGE, AND MINIMUM 45 FOOT TURNING RADIUS;  
 D) STRUCTURES (GULCHES/ BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (125 LOADING);  
 E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE;  
 F) MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE.
- ALL ASPECTS OF THE PROJECT ARE IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN APPROVED.
- DEED REFERENCE: LIBER 5307, FOLIO 448
- THE PROJECT BOUNDARY IS BASED ON A BOUNDARY SURVEY PREPARED BY FREDERICK WARD ASSOCIATES, INC., DATED NOVEMBER 2002.
- THE EXISTING TOPOGRAPHY IS TAKEN FROM AERIAL TOPOGRAPHIC SURVEY WITH TWO(2) FOOT CONTOUR INTERVALS PREPARED BY POTOMAC AERIAL SURVEYS, DATED MARCH 2003.
- WATER AND SEWER FOR THIS PROJECT WILL BE PUBLIC. WATER WILL PROVIDED THROUGH CONTRACT NO. 14-3208. SEWER WILL BE PROVIDED THROUGH CONTRACT NO. 86-5.
- STORMWATER MANAGEMENT IS PROVIDED FOR THIS DEVELOPMENT UNDER F-08-63 BY 3 POCKET PONDS FOR THE REQUIRED Qp AND Wp. DRY WELLS ARE PROVIDED FOR THE REQUIRED Qp AND Wp. THE STORMWATER MANAGEMENT FACILITIES ARE HAZARD CLASS A. POND 3 ALSO PROVIDES Qp AND Wp OF MANAGEMENT.
- THIS SITE IS NOT LOCATED IN A HISTORIC DISTRICT.
- STREAMS SHOWN ON SITE ARE BASED ON A FIELD INVESTIGATION PREPARED BY FREDERICK WARD ASSOCIATES, INC., DATED AUGUST 2002.
- THERE IS NO 100-YEAR FLOODPLAIN LOCATED ON THIS SITE.
- FOREST CONSERVATION PLAN PREPARED BY FREDERICK WARD ASSOCIATES, INC., DATED JULY 2003, APPROVED UNDER F-08-63.
- FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1202 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY THE RETENTION OF 18.38 AC. OF EXISTING FOREST INTO RETENTION EASEMENTS WHICH IS SUFFICIENT TO MEET THE FOREST CONSERVATION OBLIGATIONS FOR THIS SITE. SURETY IN THE AMOUNT OF \$160,126.56 (800,632.5 SF X .20) HAS BEEN POSTED WITH THE DEVELOPER'S AGREEMENT FOR THE FINAL PLAT, F-08-63.
- A TRAFFIC STUDY IS NOT REQUIRED FOR THIS SITE.
- PERIMETER AND STORMWATER MANAGEMENT LANDSCAPING AND TRASH PAD SCREENING HAS BEEN PROVIDED FOR THIS SITE IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN PROVIDED WITH THE DEVELOPER'S AGREEMENT UNDER THE FINAL PLAT, F-08-63 IN THE AMOUNT OF \$16,230.00.
- THIS PROPERTY IS WITHIN THE METROPOLITAN DISTRICT.
- TO THE BEST OF THE OWNERS KNOWLEDGE, THERE ARE NO BURIAL/ CEMETERY LOCATIONS ON SITE.
- STREET TREES HAVE BEEN PROVIDED UNDER F-08-63.
- A NOISE STUDY IS NOT REQUIRED FOR THIS PLAN.
- NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAM(S) OR THEIR BUFFERS, FOREST CONSERVATION EASEMENT AREAS AND 100-YEAR FLOODPLAIN.
- PIPESTEM LOTS WILL UTILIZE A USE-IN-COMMON DRIVEWAY PER HOWARD COUNTY STANDARD DETAIL NO. R-6.06 WILL BE UTILIZED FOR THE ENTRANCE AT THE INTERSECTION OF CLAREMONT DRIVE.
- REFUSE COLLECTION, SNOW REMOVAL, AND MAINTENANCE FOR PIPESTEM LOTS SHALL BE PROVIDED AT THE JUNCTION OF THE PRIVATE USE-IN-COMMON ACCESS EASEMENT AND THE RIGHT-OF-WAY OF CLAREMONT DRIVE.
- LAWYERS HILL ROAD IS A SCENIC ROAD.
- TREE PROTECTION FENCING WILL BE PROVIDED AT THE LIMITS OF DISTURBANCE WHERE GRADING IS ADJACENT TO ENVIRONMENTAL AREAS.
- EXISTING STRUCTURES ON LOT 6 ARE TO REMAIN. NO ADDITIONS OR EXPANSIONS ARE ALLOWED UNLESS IN COMPLIANCE WITH THE APPLICABLE ZONING REGULATIONS.
- THIS SUBDIVISION COMPLIES WITH THE AMENDED 5TH EDITION OF THE SUBDIVISION AND ZONING REGULATIONS (CB-45-2003) AND THE ZONING REGULATIONS, AS AMENDED BY COUNCIL BILL 75-2003.
- THE EXISTING HOUSE, LOCATED ON LOT 6, IS LISTED AS HO-798 IN THE HOWARD COUNTY HISTORICAL INVENTORY.
- INGRESS AND EGRESS IS RESTRICTED ALONG WASHINGTON BOULEVARD.
- THE SUBJECT PROPERTY IS ZONED R-ED PER THE FEBRUARY 2, 2004 COMPREHENSIVE ZONING PLAN, AND THE COMPREHENSIVE LITE ZONING AMENDMENTS 07/28/06.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 321A AND 388B WERE USED FOR THIS PROJECT.
- SHC ELEVATIONS SHOWN ARE LOCATED AT THE PROPERTY LINE.
- FOR DRIVEWAY ENTRANCE DETAILS REFER TO THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, STANDARD DETAIL R-6.03.
- THE 65dBA NOISE CONTOUR LINE DRAWN ON THIS DEVELOPMENT PLAN IS ADVISORY AS REQUIRED BY THE HOWARD COUNTY DESIGN MANUAL, CHAPTER 4, REVISION FEBRUARY, 1992, AND CANNOT BE CONSIDERED TO EXACTLY LOCATE THE 65dBA NOISE EXPOSURE. THE 65dBA NOISE LINE WAS ESTABLISHED BY HOWARD COUNTY TO ALERT DEVELOPERS, BUILDERS AND FUTURE RESIDENTS THAT AREAS BEYOND THIS THRESHOLD MAY EXCEED GENERALLY ACCEPTED NOISE LEVELS ESTABLISHED BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT.
- THE HOMEOWNERS ASSOCIATION DOCUMENTS HAVE BEEN RECORDED WITH THE MARYLAND STATE DEPARTMENT OF ASSESSMENTS AND TAXATION AS RECORDING REFERENCE NUMBER.
- THIS PLAN IS SUBJECT TO AIRPORT ZONING NUMBER 08-139, APPROVED ON JULY 10, 2008.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- LANDSCAPE SURETY IN THE AMOUNT OF \$600.00 FOR THE REQUIRED 1 SHADE TREE AND 2 EVERGREEN TREES WILL BE POSTED WITH THE GRADING PERMIT FOR LOT 4.
- LANDSCAPE SURETY IN THE AMOUNT OF \$1,500.00 FOR THE REQUIRED 3 SHADE TREE AND 4 EVERGREEN TREES WILL BE POSTED WITH THE GRADING PERMIT FOR LOT 13.
- FOR THE EXISTING HOUSE THAT IS TO REMAIN ON LOT 6, THE WATER AND SEWER CONTRACT PLAN WILL NEED TO BE RED-LINED WITH A NOTE INDICATING THAT THE "WATER METERS WILL NOT BE RELEASED BY HOWARD COUNTY TO ANY NEW BUILDINGS UNTIL THE EXISTING WELLS AND SEPTIC SYSTEMS HAVE BEEN ABANDONED IN ACCORDANCE WITH HOWARD COUNTY HEALTH DEPARTMENT REGULATION AND THE EXISTING BUILDINGS ARE CONNECTED TO THE PUBLIC WATER AND SEWER MAINS.
- THE DISTURBANCE OF THE STEEP SLOPES FOR CLAREMONT DRIVE HAS BEEN CONSIDERED ESSENTIAL DISTURBANCE BY THE DEPARTMENT OF PLANNING AND ZONING PER SECTION 16.116(G) OF THE SUBDIVISION REGULATIONS.

# SITE DEVELOPMENT PLAN CLAREMONT OVERLOOK

## PHASES 1 & 2

### LOTS 1- 25, OPEN SPACE LOTS 50 - 57 & NON-BUILDABLE BULK PARCELS E-H, J&K HOWARD COUNTY, MARYLAND



LOCATION PLAN  
SCALE: 1"=200'

NO.	NORTHING	EASTING	NO.	NORTHING	EASTING
1	564760.14	1391895.57	28	564568.62	1393934.33
2	564985.36	1392083.32	29	564268.11	1393653.65
3	564859.56	1392221.58	30	564178.89	1393743.91
4	564968.38	1392328.92	31	564042.08	1393475.89
5	564995.70	1392447.30	32	564110.42	1393475.89
6	565103.50	1392543.07	33	564002.31	1393352.71
7	565281.98	1392619.26	34	563982.67	1393177.30
8	565359.21	1392792.21	35	564111.84	1393122.19
9	565462.48	1393023.48	36	564172.93	1393047.87
10	565478.96	1393096.00	37	564271.54	1393086.74
11	565478.96	1393281.31	38	564379.43	1392896.14
12	565505.34	1393321.56	39	564220.21	1392598.01
13	565567.12	1393414.97	40	564850.60	1392098.45
14	565591.35	1393448.05	41	564722.27	1391880.92
15	565617.84	1393477.69	42	564608.70	1392071.26
16	565622.65	1393483.90	43	564542.47	1393996.62
17	565537.81	1393631.88	44	564691.44	1391832.72
18	564654.09	1394014.15			
19	564612.47	1393975.28			

**SITE DATA**

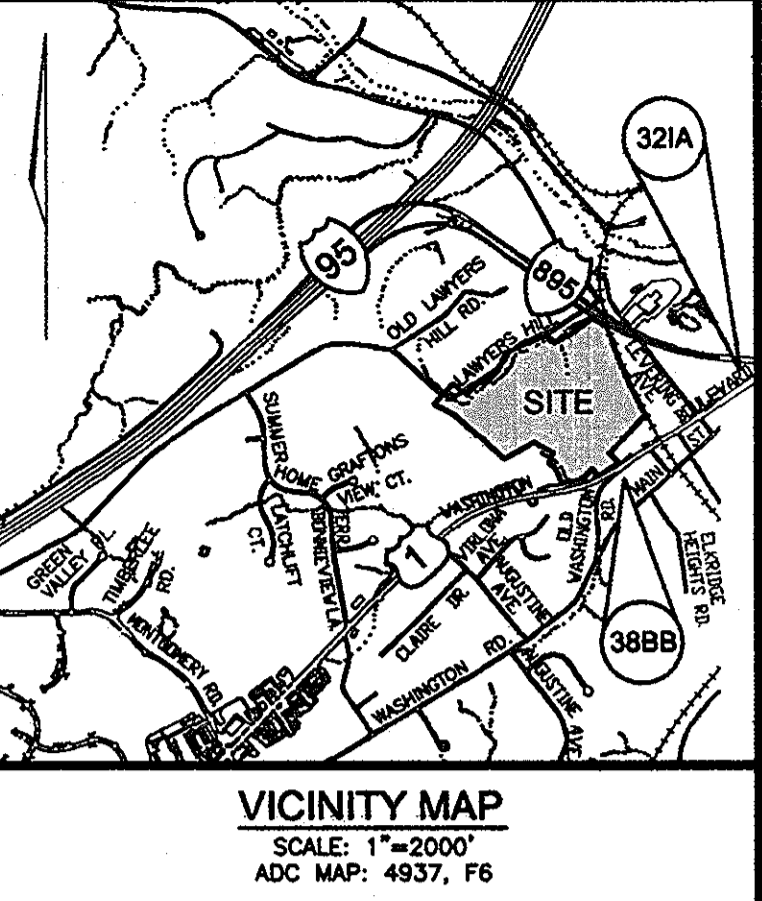
LOCATION: TAX MAP 32 AND 38, GRID 21, PARCELS 632 AND 24  
 1ST ELECTION DISTRICT  
 EXISTING ZONING: R-ED  
 TOTAL AREA OF PROJECT: 43.61302 AC  
 TOTAL AREA OF PLAN SUBMISSION: AREA OF LOTS 5.68 AC  
 NUMBER OF LOTS/ PARCELS PROPOSED: 25 BUILDABLE LOTS (INCLUDING EXISTING)  
 PREVIOUS DPZ FILE REFERENCE NO.: SP-04-001, F-08-63, F-09-45, F10-11  
 WP-09-207, WP-09-208,  
 WP-09-223 & PB CASE# 365  
 LIMIT OF DISTURBED AREA: 3.1 AC±

LOT NO	STREET ADDRESS
1	5810 CLAREMONT DRIVE
2	5814 CLAREMONT DRIVE
3	5818 CLAREMONT DRIVE
4	5902 MARGERY LANE
5	5906 MARGERY LANE
6	5840 CLAREMONT DRIVE
7	5910 MARGERY LANE
8	5914 MARGERY LANE
9	5918 MARGERY LANE
10	5922 MARGERY LANE
11	5917 MARGERY LANE
12	5913 MARGERY LANE
13	6001 NORTH MEYER DRIVE
14	6005 NORTH MEYER DRIVE
15	6009 NORTH MEYER DRIVE
16	6013 NORTH MEYER DRIVE
17	6017 NORTH MEYER DRIVE
18	6021 NORTH MEYER DRIVE
19	6025 NORTH MEYER DRIVE
20	6029 NORTH MEYER DRIVE
21	6028 NORTH MEYER DRIVE
22	6024 NORTH MEYER DRIVE
23	6020 NORTH MEYER DRIVE
24	6016 NORTH MEYER DRIVE
25	6012 NORTH MEYER DRIVE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
 [Signature] 8/12/10  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 [Signature] 8/10/10  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 [Signature] 8/12/10  
 DIRECTOR

LOT NO	TYPE	ELEV. MAIN	ELEV. DHC	ELEV. @ R/W OR EASEMENT	ELEV. @ UNIT	M.C.E.
LOT 1	4" SHC @1%	174.27	--	174.57	174.82	177.32
LOT 2	4" SHC @2%	173.60	--	174.22	174.76	177.26
LOT 3	4" SHC @2%	173.17	--	173.78	174.32	176.82
LOT 4	4" SHC @2%	172.50	176.20	176.78	177.24	179.74
LOT 5	4" SHC @2%	186.28	--	186.78	187.92	190.42
LOT 6	4" SHC @2%	189.12	--	189.38	190.28	192.78
LOT 7	4" SHC @2%	187.87	--	188.41	189.69	192.19
LOT 8	4" SHC @2%	190.70	--	191.20	192.46	194.96
LOT 9	4" SHC @2%	192.19	--	193.21	193.91	196.41
LOT 10	4" SHC @2%	192.19	--	193.03	193.85	196.35
LOT 11	4" SHC @2%	192.19	--	192.97	193.41	195.91
LOT 12	4" SHC @2%	192.19	--	193.07	193.61	196.11
LOT 13	4" SHC @2%	122.47	--	122.95	123.65	125.63
LOT 14	4" SHC @2%	123.71	--	124.19	124.79	126.79
LOT 15	4" SHC @2%	125.18	--	125.66	126.26	128.26
LOT 16	4" SHC @2%	128.13	--	128.61	129.31	131.31
LOT 17	4" SHC @2%	130.85	--	131.13	131.85	133.85
LOT 18	4" SHC @2%	132.84	--	133.43	134.49	136.49
LOT 19	4" SHC @1%	135.84	--	136.09	136.49	136.49
LOT 20	4" SHC @1%	135.64	--	135.93	136.23	138.23
LOT 21	4" SHC @1%	135.64	--	135.95	136.35	138.35
LOT 22	4" SHC @1%	134.61	--	135.07	135.33	137.33
LOT 23	4" SHC @2%	131.76	--	132.08	132.97	134.97
LOT 24	4" SHC @2%	129.58	--	129.90	130.52	132.52
LOT 25	4" SHC @2%	127.00	--	127.32	127.92	129.92

NOTES  
 \* MANHOLES MUST BE CHANNELED FOR ALL SEWER HOUSE CONNECTIONS.  
 \* 2.0' BETWEEN BASEMENT SLAB AND SHC INVERT AT HOUSE PER BUREAU OF ENGINEERING.  
 \*\* NO BASEMENT GRAVITY SERVICE.



NO.	NORTHING	EASTING	ELEVATION
321A	565,065.463'	1,395,212.248	27.696'
388B	564,007.646'	1,393,649.975	27.696'

LOT	NET AREA	PIPE STEM	TOTAL AREA
6	25,216 SF	413 SF	25,629 SF

DESCRIPTION	SHEET NO
COVER SHEET	1 OF 13
SITE LAYOUT AND LANDSCAPE PLAN FOR LOT 4	2 OF 13
SITE LAYOUT	3 OF 13
SITE LAYOUT	4 OF 13
SITE LAYOUT	5 OF 13
SITE LAYOUT AND LANDSCAPE PLAN FOR LOT 13	6 OF 13
GRADING, SEDIMENT, AND EROSION CONTROL AND SOILS PLAN	7 OF 13
GRADING, SEDIMENT, AND EROSION CONTROL AND SOILS PLAN	8 OF 13
GRADING, SEDIMENT, AND EROSION CONTROL AND SOILS PLAN	9 OF 13
GRADING, SEDIMENT, AND EROSION CONTROL AND SOILS PLAN	10 OF 13
GRADING, SEDIMENT, AND EROSION CONTROL AND SOILS PLAN	11 OF 13
SEDIMENT AND EROSION CONTROL AND LANDSCAPE NOTES AND DETAILS	12 OF 13
HOUSE PLANS	13 OF 13

SUBMISSION NAME	SECTION/ AREA
CLAREMONT OVERLOOK	PHASES I AND II
LOT/ PARCELS 24 AND 632	
PLAT REF #	BLOCK NO
PHASE I 20085-2100	21
PHASE II 21032-21035	R-ED
TAX MAP	ELECT DIST
32	1
CENSUS TR	
	6012.01

**OWNER**  
 CLAREMONT L.L.C.  
 MR. ALAN MEYER  
 11046 DORSCH FARM ROAD  
 ELLICOTT CITY, MARYLAND 21042  
 (410) 730-4556

**DEVELOPER**  
 RYAN HOMES  
 6031 UNIVERSITY BLVD.  
 SUITE 250  
 ELLICOTT CITY, MARYLAND 21043  
 (410) 796-0980

**SITE DEVELOPMENT PLAN  
COVER SHEET  
CLAREMONT OVERLOOK**  
 PHASES 1 & 2  
 LOTS 1- 25, OPEN SPACE LOTS 50 - 57 & NON-BUILDABLE BULK PARCELS E-H, J & K  
 TAX MAP 32 GRID 21  
 1ST ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

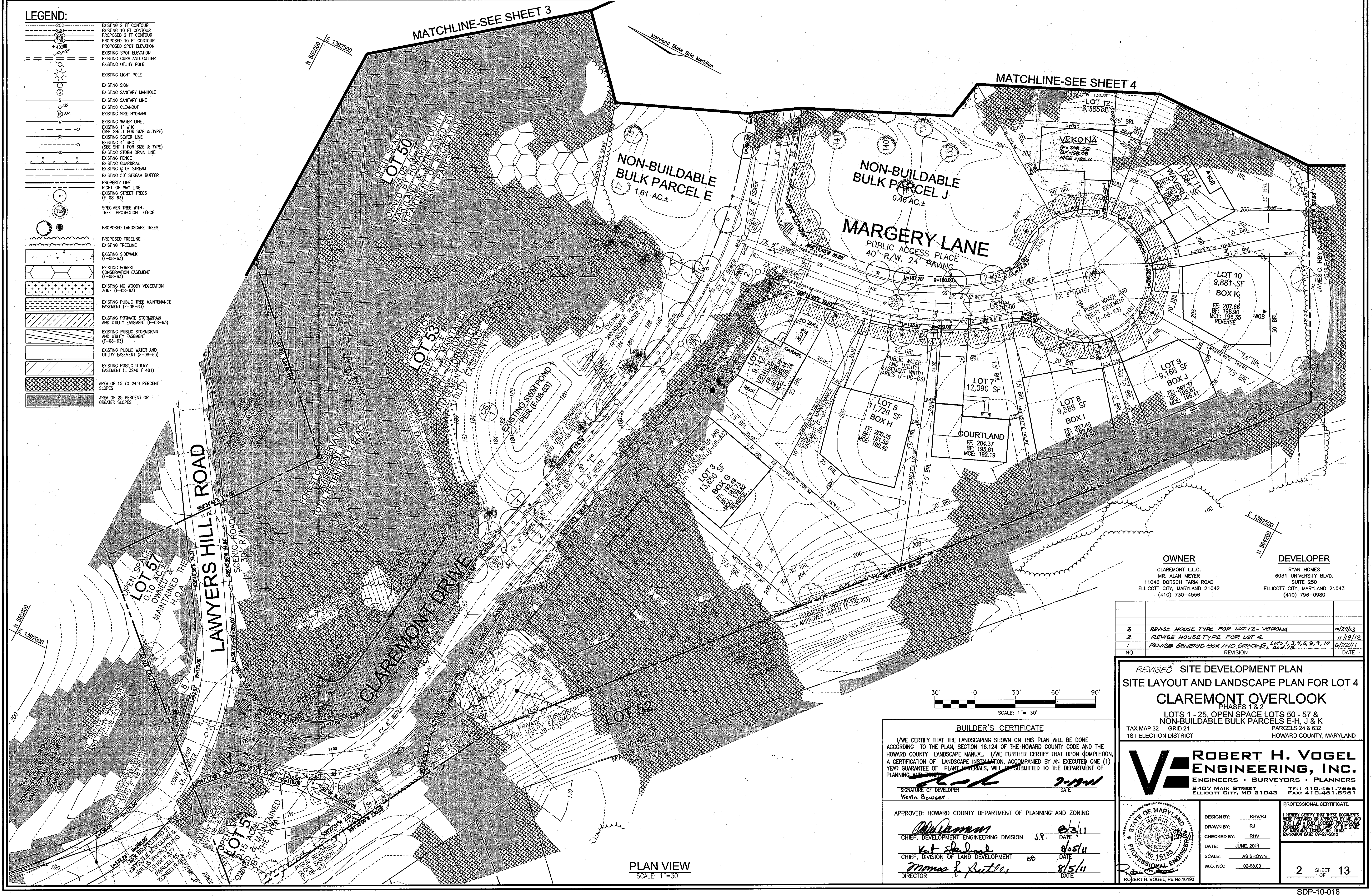
**ROBERT H. VOGEL ENGINEERING, INC.**  
 ENGINEERS • SURVEYORS • PLANNERS  
 8407 MAIN STREET  
 ELLICOTT CITY, MD 21043  
 TEL: 410.461.7666  
 FAX: 410.461.8961

PROFESSIONAL CERTIFICATE  
 DESIGN BY: RHV/RJ  
 DRAWN BY: RJV  
 CHECKED BY: RHV  
 DATE: JUNE, 2010  
 SCALE: AS SHOWN  
 W.O. NO.: 02-88.00

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MARYLAND. MY LICENSE NO. IS 10180. MY EXPIRES DATE IS 06-30-2010.

1 SHEET OF 13

- LEGEND:**
- 202 --- EXISTING 2 FT CONTOUR
  - 200 --- EXISTING 10 FT CONTOUR
  - 200 --- PROPOSED 2 FT CONTOUR
  - 200 --- PROPOSED 10 FT CONTOUR
  - +402.68 --- PROPOSED SPOT ELEVATION
  - 402.68 --- EXISTING SPOT ELEVATION
  - EXISTING CURB AND GUTTER
  - EXISTING UTILITY POLE
  - EXISTING LIGHT POLE
  - EXISTING SIGN
  - EXISTING SANITARY MANHOLE
  - EXISTING SANITARY LINE
  - EXISTING CLEANOUT
  - EXISTING FIRE HYDRANT
  - EXISTING WATER LINE
  - EXISTING 1" W/C (SEE SHEET 1 FOR SIZE & TYPE)
  - EXISTING 4" S/W (SEE SHEET 1 FOR SIZE & TYPE)
  - EXISTING STORM DRAIN LINE
  - EXISTING FENCE
  - EXISTING GUARDRAIL
  - EXISTING 2' OF STREAM
  - EXISTING 50' STREAM BUFFER
  - PROPERTY LINE
  - RIGHT-OF-WAY LINE
  - EXISTING STREET TREES (F-08-63)
  - SPECIMEN TREE WITH TREE PROTECTION FENCE
  - PROPOSED LANDSCAPE TREES
  - PROPOSED TREELINE
  - EXISTING TREELINE
  - EXISTING SIDEWALK (F-08-63)
  - EXISTING FOREST CONSERVATION EASEMENT (F-08-63)
  - EXISTING NO WOODY VEGETATION ZONE (F-08-63)
  - EXISTING PUBLIC TREE MAINTENANCE EASEMENT (F-08-63)
  - EXISTING PRIVATE STORMDRAIN AND UTILITY EASEMENT (F-08-63)
  - EXISTING PUBLIC STORMDRAIN AND UTILITY EASEMENT (F-08-63)
  - EXISTING PUBLIC WATER AND UTILITY EASEMENT (F-08-63)
  - EXISTING PUBLIC UTILITY EASEMENT (L 3240 F 481)
  - AREA OF 15 TO 24.9 PERCENT SLOPES
  - AREA OF 25 PERCENT OR GREATER SLOPES



**OWNER**  
 CLAREMONT LLC  
 MR. ALAN MEYER  
 11046 DORSCH FARM ROAD  
 ELLICOTT CITY, MARYLAND 21042  
 (410) 730-4556

**DEVELOPER**  
 RYAN HOMES  
 6031 UNIVERSITY BLVD.  
 SUITE 250  
 ELLICOTT CITY, MARYLAND 21043  
 (410) 798-0980

NO.	REVISION	DATE
3	REVISE HOUSE TYPE FOR LOT 12 - VERONA	6/29/13
2	REVISE HOUSE TYPE FOR LOT 4L	11/19/12
1	REVISE GENERIC BOX AND GRADING, LOTS 1, 3, 4, 5, 6, 9, 10	6/22/11

**REVISED SITE DEVELOPMENT PLAN**  
**SITE LAYOUT AND LANDSCAPE PLAN FOR LOT 4**  
**CLAREMONT OVERLOOK**  
 PHASES 1 & 2  
 LOTS 1 - 25, OPEN SPACE LOTS 50 - 57 &  
 NON-BUILDABLE BULK PARCELS E-H, J & K  
 TAX MAP 32 GRID 21 PARCELS 24 & 632  
 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

**ROBERT H. VOGEL**  
**ENGINEERS, SURVEYORS, INC.**  
 ENGINEERS • SURVEYORS • PLANNERS  
 8407 MAIN STREET TEL: 410.461.7666  
 ELLICOTT CITY, MD 21043 FAX: 410.461.8911

**BUILDER'S CERTIFICATE**

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

SIGNATURE OF DEVELOPER: *Kevin Cowser* DATE: 7/19/11

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION: *J.R.* DATE: 6/21/11

CHIEF, DIVISION OF LAND DEVELOPMENT: *8/5/11* DATE: 8/5/11

DIRECTOR: *M. J. Butler* DATE: 8/15/11

**PROFESSIONAL CERTIFICATE**

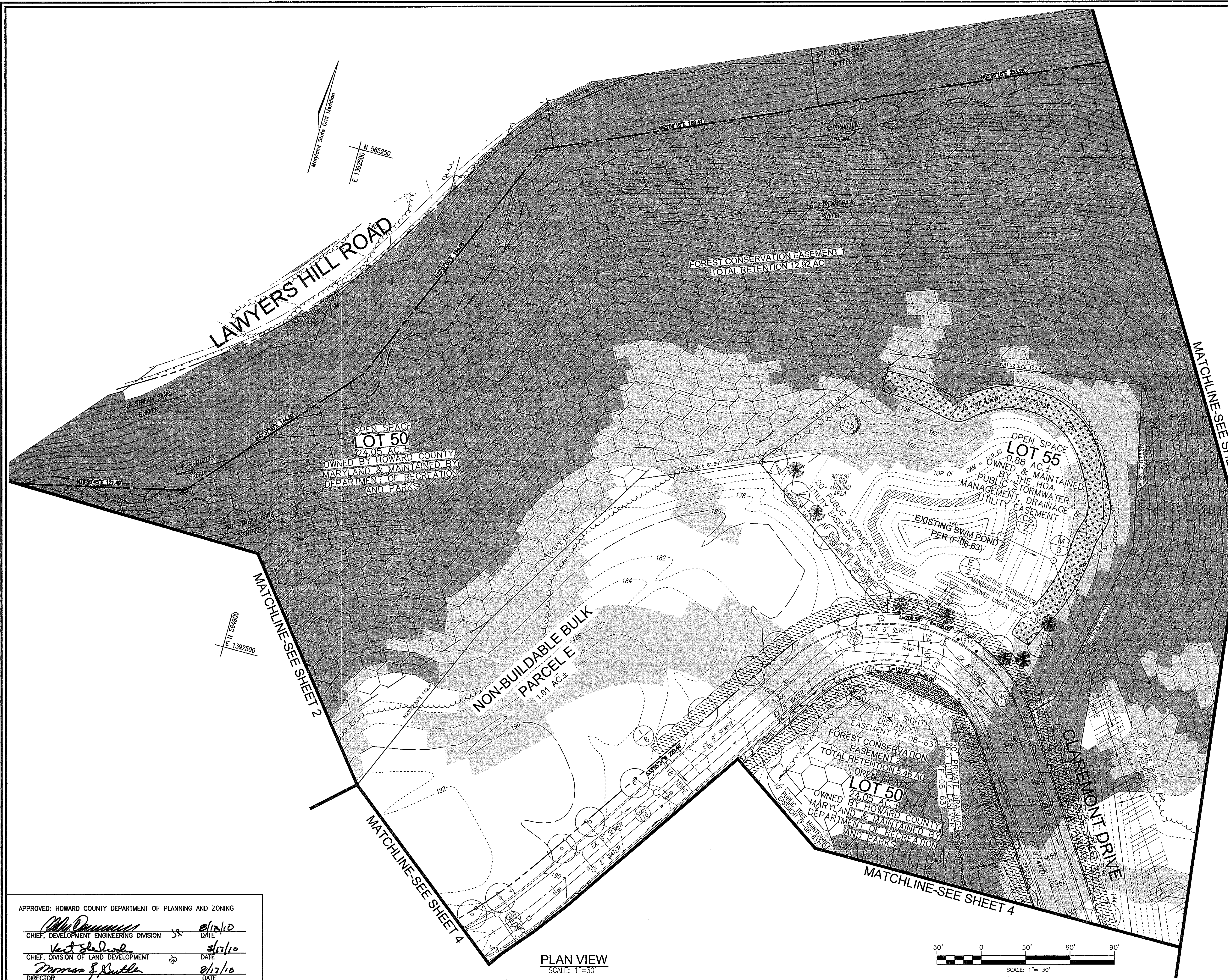
STATE OF MARYLAND  
 HARRIS LEONARD  
 PROFESSIONAL ENGINEER  
 NO. 18193

DESIGN BY: RHV/RJ  
 DRAWN BY: RJ  
 CHECKED BY: RHV  
 DATE: JUNE, 2011  
 SCALE: AS SHOWN  
 W.O. NO.: 02-68.00

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 18193, EXPIRATION DATE: 06-27-2012.

2 SHEET OF 13

**PLAN VIEW**  
 SCALE: 1"=30'



**LEGEND:**

--- 202 ---	EXISTING 2 FT CONTOUR
--- 200 ---	EXISTING 10 FT CONTOUR
--- 200 ---	PROPOSED 2 FT CONTOUR
--- 200 ---	PROPOSED 10 FT CONTOUR
+ 402.88	PROPOSED SPOT ELEVATION
+ 402.88	EXISTING SPOT ELEVATION
---	EXISTING CURB AND GUTTER
---	EXISTING UTILITY POLE
---	EXISTING LIGHT POLE
---	EXISTING SIGN
---	EXISTING SANITARY MANHOLE
---	EXISTING SANITARY LINE
---	EXISTING CLEANOUT
---	EXISTING FIRE HYDRANT
---	EXISTING WATER LINE
---	EXISTING 1" M/C (SEE SHIT 1 FOR SIZE & TYPE)
---	EXISTING SEWER LINE
---	EXISTING 4" S/C (SEE SHIT 1 FOR SIZE & TYPE)
---	EXISTING 8" S/C (SEE SHIT 1 FOR SIZE & TYPE)
---	EXISTING STORM DRAIN LINE
---	EXISTING FENCE
---	EXISTING CLASORDIAL
---	EXISTING C OF STREAM
---	EXISTING 50' STREAM BUFFER
---	PROPERTY LINE
---	RIGHT-OF-WAY LINE
---	EXISTING STREET TREES (F-08-63)
---	SPECIMEN TREE WITH TREE PROTECTION FENCE
---	PROPOSED TREELINE
---	EXISTING TREELINE
---	EXISTING SIDEWALK (F-08-63)
---	EXISTING PUBLIC SIGHT DISTANCE EASEMENT (F-08-63)
---	EXISTING FOREST CONSERVATION EASEMENT (F-08-63)
---	EXISTING NO WOODY VEGETATION ZONE (F-08-63)
---	EXISTING PUBLIC TREE MAINTENANCE EASEMENT (F-08-63)
---	EXISTING PRIVATE STORMDRAIN AND UTILITY EASEMENT (F-08-63)
---	EXISTING PUBLIC STORMDRAIN AND UTILITY EASEMENT (F-08-63)
---	EXISTING PRIVATE DRAINAGE AND UTILITY EASEMENT (F-08-63)
---	AREA OF 15 TO 24.9 PERCENT SLOPES
---	AREA OF 25 PERCENT OR GREATER SLOPES
---	FUTURE PHASE LOTS

**OWNER**  
 CLAREMONT L.L.C.  
 MR. ALAN MEYER  
 11046 DORSCH FARM ROAD  
 ELLICOTT CITY, MARYLAND 21042  
 (410) 730-4556

**DEVELOPER**  
 RYAN HOMES  
 6031 UNIVERSITY BLVD.  
 SUITE 250  
 ELLICOTT CITY, MARYLAND 21043  
 (410) 796-0980

NO.	REVISION	DATE

**SITE DEVELOPMENT PLAN**  
**SITE LAYOUT**  
**CLAREMONT OVERLOOK**  
 PHASES 1 & 2  
 LOTS 1 - 25, OPEN SPACE LOTS 50 - 57 &  
 NON-BUILDABLE BULK PARCELS E-H, J & K  
 TAX MAP 32 GRID 21  
 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

**ROBERT H. VOGEL ENGINEERING, INC.**  
 ENGINEERS • SURVEYORS • PLANNERS  
 8407 MAIN STREET TEL: 410.461.7666  
 ELLICOTT CITY, MD 21043 FAX: 410.461.6961

**PROFESSIONAL CERTIFICATE**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 18185 EXPIRATION DATE: 09-27-2010

DESIGN BY: RHV/RJ  
 DRAWN BY: RJ  
 CHECKED BY: RHV  
 DATE: JUNE, 2010  
 SCALE: AS SHOWN  
 W.O. NO.: 02-68.00

3 SHEET OF 13

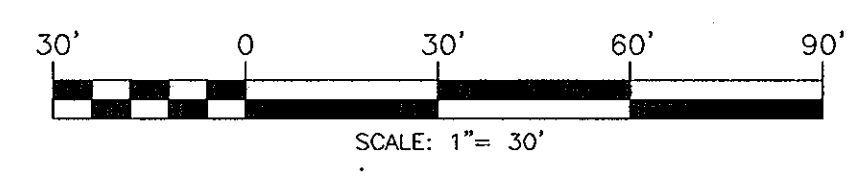
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

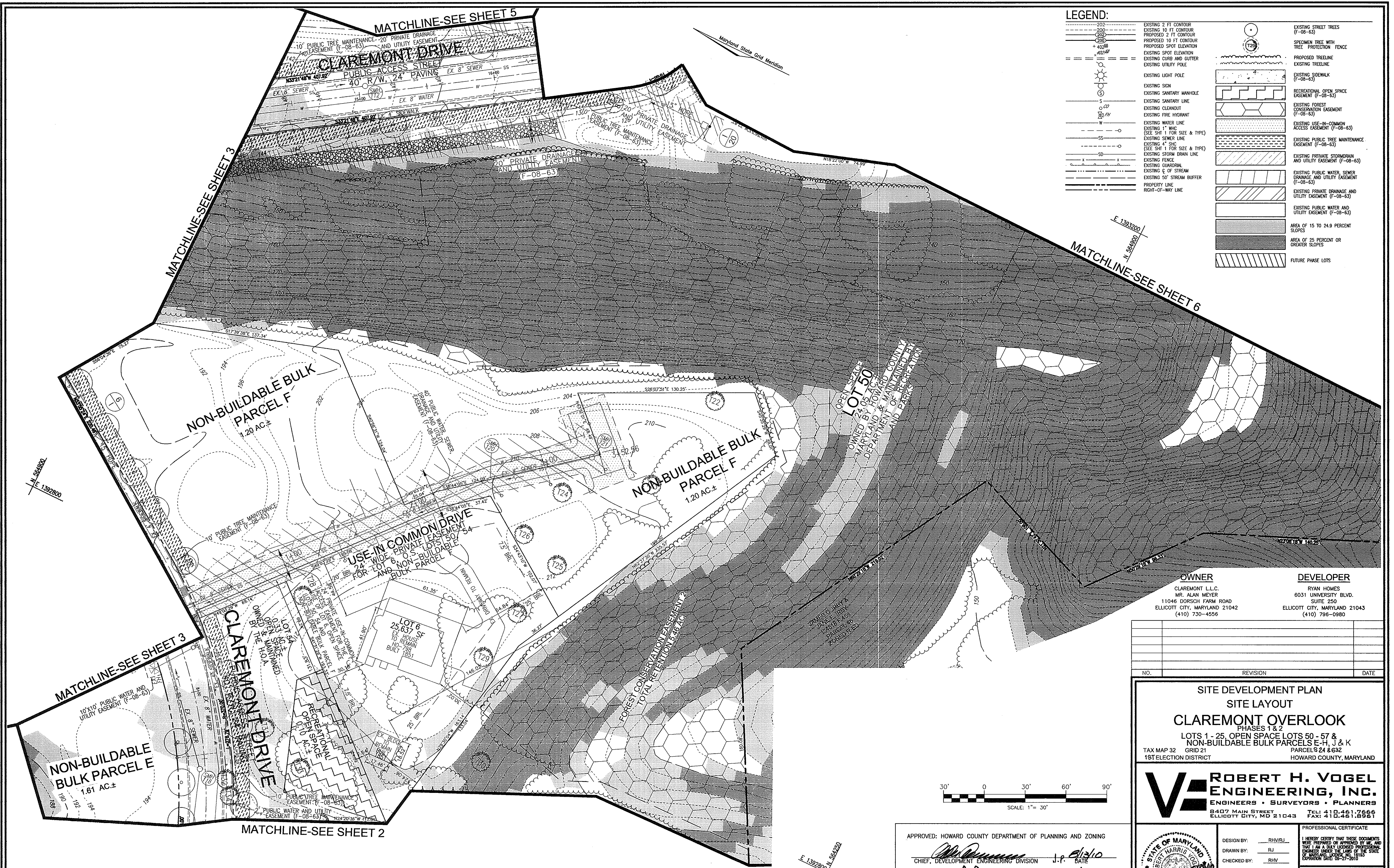
*Alan Meyer*  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION 8/12/10  
 DATE

*West Shalinski*  
 CHIEF, DIVISION OF LAND DEVELOPMENT 8/17/10  
 DATE

*Dorcas E. Stubbs*  
 DIRECTOR 8/17/10  
 DATE

PLAN VIEW  
 SCALE: 1"=30'





**LEGEND:**

--- 202 ---	EXISTING 2 FT CONTOUR	○	EXISTING STREET TREES (F-08-63)
--- 200 ---	EXISTING 10 FT CONTOUR	○	SPECIMEN TREE WITH TREE PROTECTION FENCE
--- 200 ---	PROPOSED 2 FT CONTOUR	○	PROPOSED TREE LINE
--- 200 ---	PROPOSED 10 FT CONTOUR	○	EXISTING TREE LINE
--- 200 ---	PROPOSED SPOT ELEVATION	○	EXISTING SIDEWALK (F-08-63)
--- 200 ---	EXISTING SPOT ELEVATION	○	RECREATIONAL OPEN SPACE EASEMENT (F-08-63)
--- 200 ---	EXISTING CURB AND GUTTER	○	EXISTING FOREST CONSERVATION EASEMENT (F-08-63)
--- 200 ---	EXISTING UTILITY POLE	○	EXISTING USE-IN-COMMON ACCESS EASEMENT (F-08-63)
○	EXISTING LIGHT POLE	○	EXISTING PUBLIC TREE MAINTENANCE EASEMENT (F-08-63)
○	EXISTING SIGN	○	EXISTING PRIVATE STORMDRAIN AND UTILITY EASEMENT (F-08-63)
○	EXISTING SANITARY MANHOLE	○	EXISTING PUBLIC WATER, SEWER DRAINAGE AND UTILITY EASEMENT (F-08-63)
○	EXISTING SANITARY LINE	○	EXISTING PRIVATE DRAINAGE AND UTILITY EASEMENT (F-08-63)
○	EXISTING CLEANOUT	○	EXISTING PUBLIC WATER AND UTILITY EASEMENT (F-08-63)
○	EXISTING FIRE HYDRANT	○	AREA OF 15 TO 24.9 PERCENT SLOPES
○	EXISTING WATER LINE	○	AREA OF 25 PERCENT OR GREATER SLOPES
○	EXISTING 1" W&U (SEE SH1 FOR SIZE & TYPE)	○	FUTURE PHASE LOTS
○	EXISTING SEWER LINE (SEE SH1 FOR SIZE & TYPE)	○	
○	EXISTING STORM DRAIN LINE	○	
○	EXISTING FENCE	○	
○	EXISTING CLAMDRAL	○	
○	EXISTING C OF STREAM	○	
○	EXISTING 50' STREAM BUFFER	○	
○	PROPERTY LINE	○	
○	RIGHT-OF-WAY LINE	○	

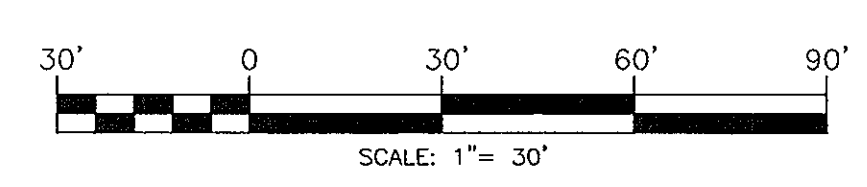
**OWNER**  
 CLAREMONT L.L.C.  
 MR. ALAN MEYER  
 11046 DORSCH FARM ROAD  
 ELLICOTT CITY, MARYLAND 21042  
 (410) 730-4556

**DEVELOPER**  
 RYAN HOMES  
 6031 UNIVERSITY BLVD.  
 SUITE 250  
 ELLICOTT CITY, MARYLAND 21043  
 (410) 796-0980

NO.	REVISION	DATE

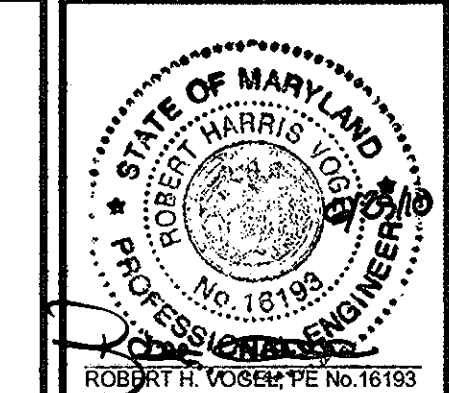
**SITE DEVELOPMENT PLAN**  
**SITE LAYOUT**  
**CLAREMONT OVERLOOK**  
 PHASES 1 & 2  
 LOTS 1 - 25, OPEN SPACE LOTS 50 - 57 &  
 NON-BUILDABLE BULK PARCELS E-H, J & K  
 TAX MAP 32 GRID 21 PARCELS 24 & 632  
 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

**ROBERT H. VOGEL**  
**ENGINEERING, INC.**  
 ENGINEERS • SURVEYORS • PLANNERS  
 8407 MAIN STREET TEL: 410.481.2956  
 ELLICOTT CITY, MD 21043 FAX: 410.481.2951



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION J.P. J. J. J. DATE 8/17/10  
  
 CHIEF, DIVISION OF LAND DEVELOPMENT K. J. J. DATE 8/17/10  
  
 DIRECTOR P. J. J. DATE 8/17/10



**PROFESSIONAL CERTIFICATE**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 18193, EXPIRATION DATE: 08-27-2010

DESIGN BY: RHV/RJ  
 DRAWN BY: RJ  
 CHECKED BY: RHV  
 DATE: JUNE, 2010  
 SCALE: AS SHOWN  
 W.O. NO.: 02-68.00

4 SHEET OF 13

**PLAN VIEW**  
 SCALE: 1"=30'

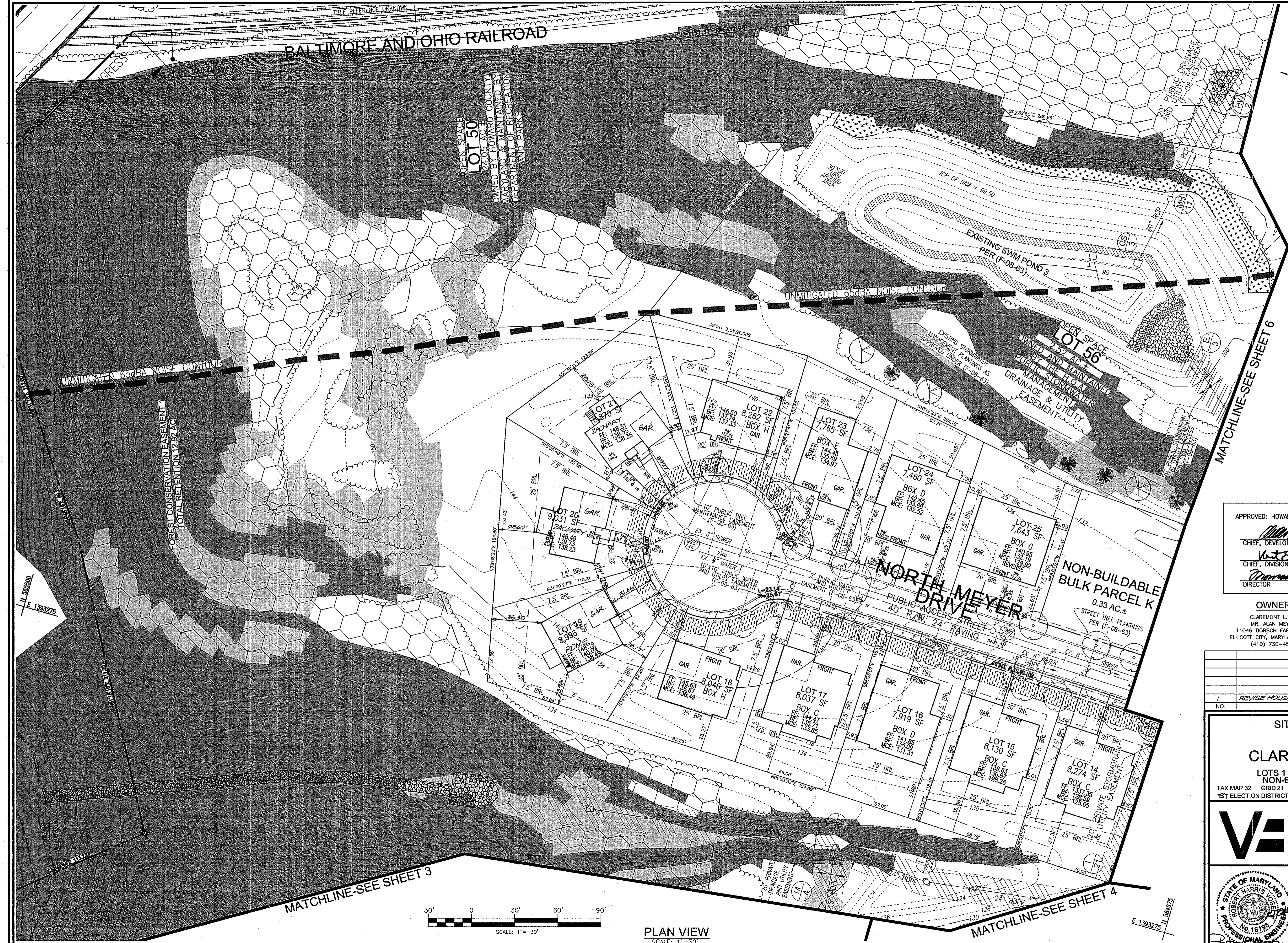
NOTE: FOR SHEET LEGEND,  
SEE SHEETS 2,  
3,4 AND/OR 6

BALTIMORE AND OHIO RAILROAD

OPEN SPACE  
LOT 50  
24.05 AC.±  
OWNED BY HOWARD COUNTY  
& MAINTAINED BY  
MARYLAND DEPARTMENT OF  
RECREATION AND PARKS

OPEN SPACE  
LOT 56  
2.52 AC.±  
OWNED AND MAINTAINED  
BY THE HOA  
PUBLIC STORMWATER  
DRAINAGE & UTILITY  
EASEMENT

NON-BUILDABLE  
BULK PARCEL K  
0.33 AC.±  
STREET TREE PLANTINGS  
PER (F-08-63)



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*[Signature]* S.P. 8/10/10  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*[Signature]* 8/17/10  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 8/17/10  
DIRECTOR DATE

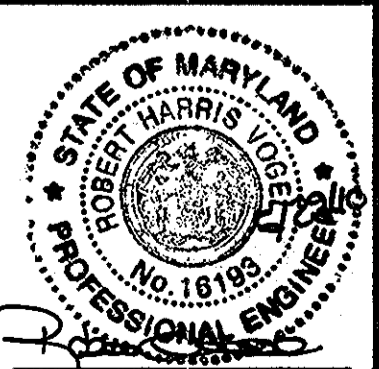
**OWNER**  
CLAREMONT L.L.C.  
MR. ALAN MEYER  
11046 DORSCH FARM ROAD  
ELlicott CITY, MARYLAND 21042  
(410) 730-4556

**DEVELOPER**  
RYAN HOMES  
6031 UNIVERSITY BLVD.  
SUITE 250  
ELlicott CITY, MARYLAND 21043  
(410) 796-0980

NO.	REVISION	DATE
1	REVISE HOUSE FOOTPRINT LOTS 19-21	5/26/11

**SITE DEVELOPMENT PLAN**  
**SITE LAYOUT**  
**CLAREMONT OVERLOOK**  
PHASES 1 & 2  
LOTS 1 - 25, OPEN SPACE LOTS 50 - 57 & K  
NON-BUILDABLE BULK PARCELS E-H, J & K  
TAX MAP 32 GRID 21 PARCELS 24 & 632  
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

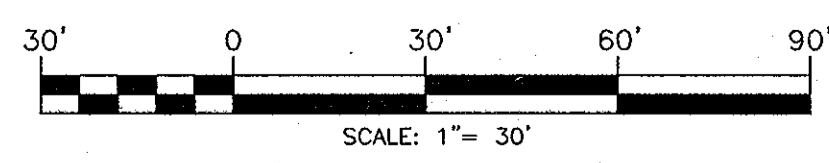
**ROBERT H. VOGEL ENGINEERING, INC.**  
ENGINEERS • SURVEYORS • PLANNERS  
8407 MAIN STREET TEL: 410.461.7666  
ELlicott CITY, MD 21043 FAX: 410.461.8961



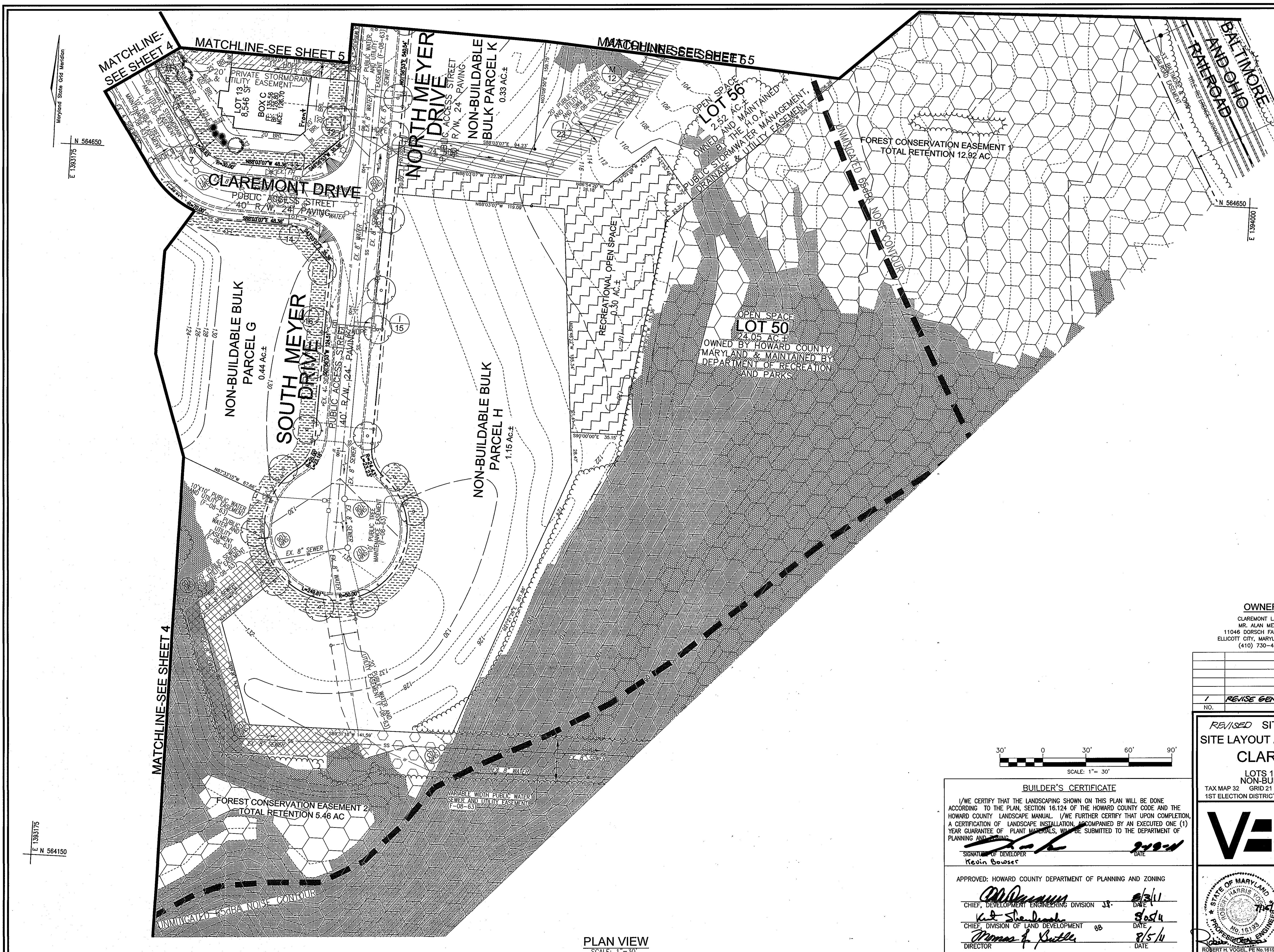
DESIGN BY: RHV/RJ  
DRAWN BY: RJ  
CHECKED BY: RHV  
DATE: JUNE, 2010  
SCALE: AS SHOWN  
W.O. NO.: 02-68.00

PROFESSIONAL CERTIFICATE  
I HEREBY CERTIFY THAT THESE DOCUMENTS  
WERE PREPARED OR APPROVED BY ME, AND  
THAT I AM A FULLY LICENSED PROFESSIONAL  
ENGINEER UNDER THE LAWS OF THE STATE  
OF MARYLAND, LICENSE NO. 16195  
EXPIRATION DATE: 09-27-2010

5 SHEET OF 13



PLAN VIEW  
SCALE: 1" = 30'



**LEGEND:**

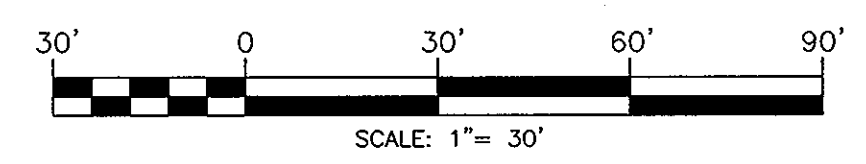
	EXISTING 2 FT CONTOUR
	EXISTING 10 FT CONTOUR
	PROPOSED 2 FT CONTOUR
	PROPOSED 10 FT CONTOUR
	EXISTING SPOT ELEVATION
	EXISTING CURB AND GUTTER
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	EXISTING SANITARY MANHOLE
	EXISTING SANITARY LINE
	EXISTING FIRE HYDRANT
	EXISTING WATER LINE
	EXISTING 1" WIC (SEE SHIT 1 FOR SIZE & TYPE)
	EXISTING SEWER LINE (SEE SHIT 1 FOR SIZE & TYPE)
	EXISTING STORM DRAIN LINE (SEE SHIT 1 FOR SIZE & TYPE)
	EXISTING FENCE
	EXISTING EASEMENT
	EXISTING C/O OF STREAM
	EXISTING 50' STREAM BUFFER
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	EXISTING STREET TREES (F-08-63)
	SPECIMEN TREE WITH TREE PROTECTION FENCE
	PROPOSED LANDSCAPE TREES
	PROPOSED TREELINE
	EXISTING TREELINE
	EXISTING SIDEWALK (F-08-63)
	RECREATIONAL OPEN SPACE EASEMENT (F-08-63)
	EXISTING FOREST CONSERVATION EASEMENT (F-08-63)
	EXISTING PUBLIC TREE MAINTENANCE EASEMENT (F-08-63)
	EXISTING PRIVATE STORMDRAIN AND UTILITY EASEMENT (F-08-63)
	EXISTING PUBLIC STORMDRAIN AND UTILITY EASEMENT (F-08-63)
	EXISTING PUBLIC WATER SEWER AND UTILITY EASEMENT (F-08-63)
	EXISTING PUBLIC WATER AND UTILITY EASEMENT (F-08-63)
	AREA OF 15 TO 24.9 PERCENT SLOPES
	AREA OF 25 PERCENT OR GREATER SLOPES

**OWNER**  
 CLAREMONT LLC.  
 MR. ALAN MEYER  
 11046 DORSCH FARM ROAD  
 ELLICOTT CITY, MARYLAND 21042  
 (410) 730-4556

**DEVELOPER**  
 RYAN HOMES  
 6031 UNIVERSITY BLVD.  
 SUITE 250  
 ELLICOTT CITY, MARYLAND 21043  
 (410) 796-0980

NO.	REVISION	DATE
1	REVISE GENERIC BOX AND GRADING, Lot 13	6/22/11

**REVISED SITE DEVELOPMENT PLAN**  
**SITE LAYOUT AND LANDSCAPE PLAN FOR LOT 13**  
**CLAREMONT OVERLOOK**  
 PHASES 1 & 2  
 LOTS 1 - 25, OPEN SPACE LOTS 50 - 57 &  
 NON-BUILDABLE BULK PARCELS E-H, J & K  
 TAX MAP 32 GRID 21 PARCELS 24 & 632  
 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND



**BUILDER'S CERTIFICATE**

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

SIGNATURE OF DEVELOPER: *Kevin Bowser* DATE: 8/29/11

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION: *[Signature]* DATE: 8/3/11

CHIEF, DIVISION OF LAND DEVELOPMENT: *[Signature]* DATE: 8/5/11

DIRECTOR: *[Signature]* DATE: 8/5/11

**ROBERT H. VOGEL ENGINEERING, INC.**  
 ENGINEERS • SURVEYORS • PLANNERS  
 8407 MAIN STREET ELLICOTT CITY, MD 21043 TEL: 410.461.7666 FAX: 410.461.4896

**PROFESSIONAL CERTIFICATE**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 18193 EXPIRATION DATE: 09-27-2012

DESIGN BY: RHV/RJL  
 DRAWN BY: RJ  
 CHECKED BY: RHV  
 DATE: JUNE, 2011  
 SCALE: AS SHOWN  
 W.O. NO.: 02-68.00

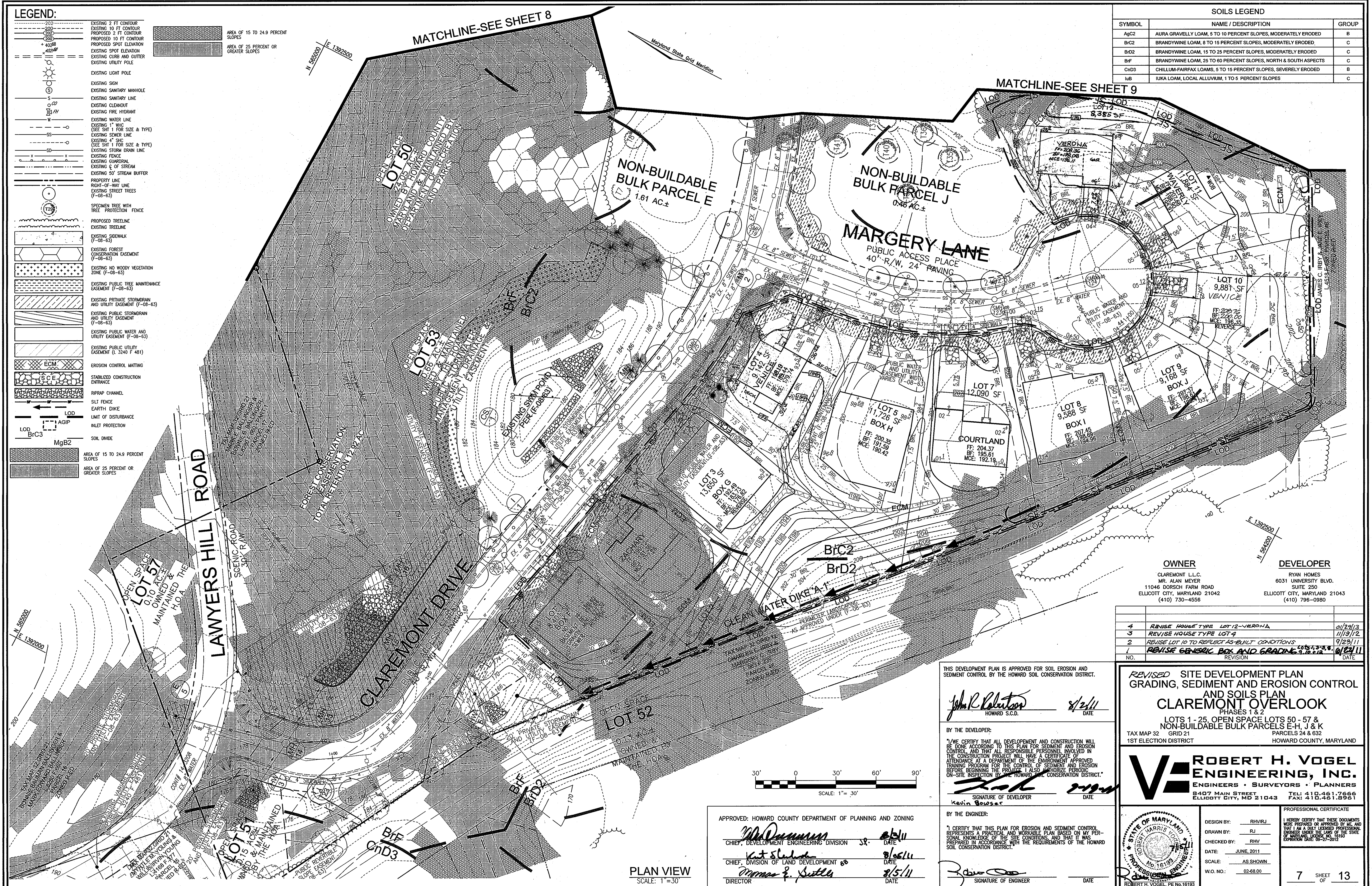
6 SHEET OF 13

**PLAN VIEW**  
 SCALE: 1"=30'

**LEGEND:**

	EXISTING 2 FT CONTOUR		AREA OF 15 TO 24.9 PERCENT SLOPES
	EXISTING 10 FT CONTOUR		AREA OF 25 PERCENT OR GREATER SLOPES
	EXISTING 2 FT CONTOUR		
	EXISTING 10 FT CONTOUR		
	PROPOSED SPOT ELEVATION		
	EXISTING SPOT ELEVATION		
	EXISTING CURB AND GUTTER		
	EXISTING UTILITY POLE		
	EXISTING LIGHT POLE		
	EXISTING SIGN		
	EXISTING SANITARY MANHOLE		
	EXISTING SANITARY LINE		
	EXISTING CLEANOUT		
	EXISTING FIRE HYDRANT		
	EXISTING WATER LINE		
	EXISTING 1" W/C (SEE SHEET 1 FOR SIZE & TYPE)		
	EXISTING SEWER LINE		
	EXISTING 4" S/W (SEE SHEET 1 FOR SIZE & TYPE)		
	EXISTING STORM DRAIN LINE		
	EXISTING FENCE		
	EXISTING GUARDRAIL		
	EXISTING 6" OF STREAM		
	EXISTING 50' STREAM BUFFER		
	PROPERTY LINE		
	RIGHT-OF-WAY LINE		
	EXISTING STREET TREES (F-08-63)		
	SPECIMEN TREE WITH TREE PROTECTION FENCE		
	PROPOSED TREE LINE		
	EXISTING SIDEWALK (F-08-63)		
	EXISTING FOREST CONSERVATION EASEMENT (F-08-63)		
	EXISTING NO WOODY VEGETATION ZONE (F-08-63)		
	EXISTING PUBLIC TREE MAINTENANCE EASEMENT (F-08-63)		
	EXISTING PRIVATE STORMWATER AND UTILITY EASEMENT (F-08-63)		
	EXISTING PUBLIC STORMWATER AND UTILITY EASEMENT (F-08-63)		
	EXISTING PUBLIC WATER AND UTILITY EASEMENT (F-08-63)		
	EXISTING PUBLIC UTILITY EASEMENT (L 3240 F 481)		
	EROSION CONTROL MATTING		
	STABILIZED CONSTRUCTION ENTRANCE		
	RIPRAP CHANNEL		
	SILT FENCE		
	EARTH DIKE		
	LIMIT OF DISTURBANCE		
	INLET PROTECTION		
	SOIL DIVIDE		
	AREA OF 15 TO 24.9 PERCENT SLOPES		
	AREA OF 25 PERCENT OR GREATER SLOPES		

SOILS LEGEND		
SYMBOL	NAME / DESCRIPTION	GROUP
AgC2	AURA GRAVELLY LOAM, 5 TO 10 PERCENT SLOPES, MODERATELY ERODED	B
BrC2	BRANDYWINE LOAM, 8 TO 15 PERCENT SLOPES, MODERATELY ERODED	C
BrD2	BRANDYWINE LOAM, 15 TO 25 PERCENT SLOPES, MODERATELY ERODED	C
BfF	BRANDYWINE LOAM, 25 TO 60 PERCENT SLOPES, NORTH & SOUTH ASPECTS	C
ChD3	CHILLUM-FAIRFAX LOAMS, 5 TO 15 PERCENT SLOPES, SEVERELY ERODED	B
IuB	IUKA LOAM, LOCAL ALLUVIUM, 1 TO 5 PERCENT SLOPES	C



**OWNER**  
 CLAREMONT LLC  
 MR. ALAN MEYER  
 11046 DORSCH FARM ROAD  
 ELLICOTT CITY, MARYLAND 21042  
 (410) 730-4556

**DEVELOPER**  
 RYAN HOMES  
 6031 UNIVERSITY BLVD.  
 SUITE 250  
 ELLICOTT CITY, MARYLAND 21043  
 (410) 796-0980

NO.	REVISION	DATE
4	REVISE HOUSE TYPE LOT 12-VERONA	8/29/13
3	REVISE HOUSE TYPE LOT 9	11/19/12
2	REVISE LOT 10 TO REFLECT AS-BUILT CONDITIONS	9/29/11
1	REVISE GENERIC BOX AND GRADING	6/24/11

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*John R. Robertson* 8/2/11  
 HOWARD S.C.D. DATE

BY THE DEVELOPER:  
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SOIL EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

*Kevin Gueser* 8/2/11  
 SIGNATURE OF DEVELOPER DATE

BY THE ENGINEER:  
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

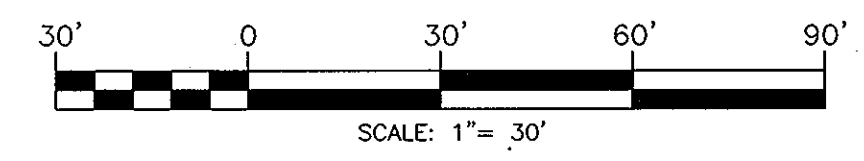
*Robert H. Vogel*  
 SIGNATURE OF ENGINEER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*Michael J. ...* 8/1/11  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Victoria ...* 8/1/11  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

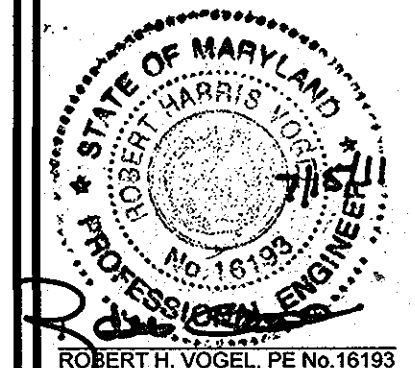
*Morgan ...* 8/5/11  
 DIRECTOR DATE



PLAN VIEW  
 SCALE: 1"=30'

REVISED SITE DEVELOPMENT PLAN  
 GRADING, SEDIMENT AND EROSION CONTROL  
 AND SOILS PLAN  
**CLAREMONT OVERLOOK**  
 PHASES 1 & 2  
 LOTS 1 - 25, OPEN SPACE LOTS 50 - 57 &  
 NON-BUILDABLE BULK PARCELS E-H, J & K  
 TAX MAP 32 GRID 21 PARCELS 24 & 632  
 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

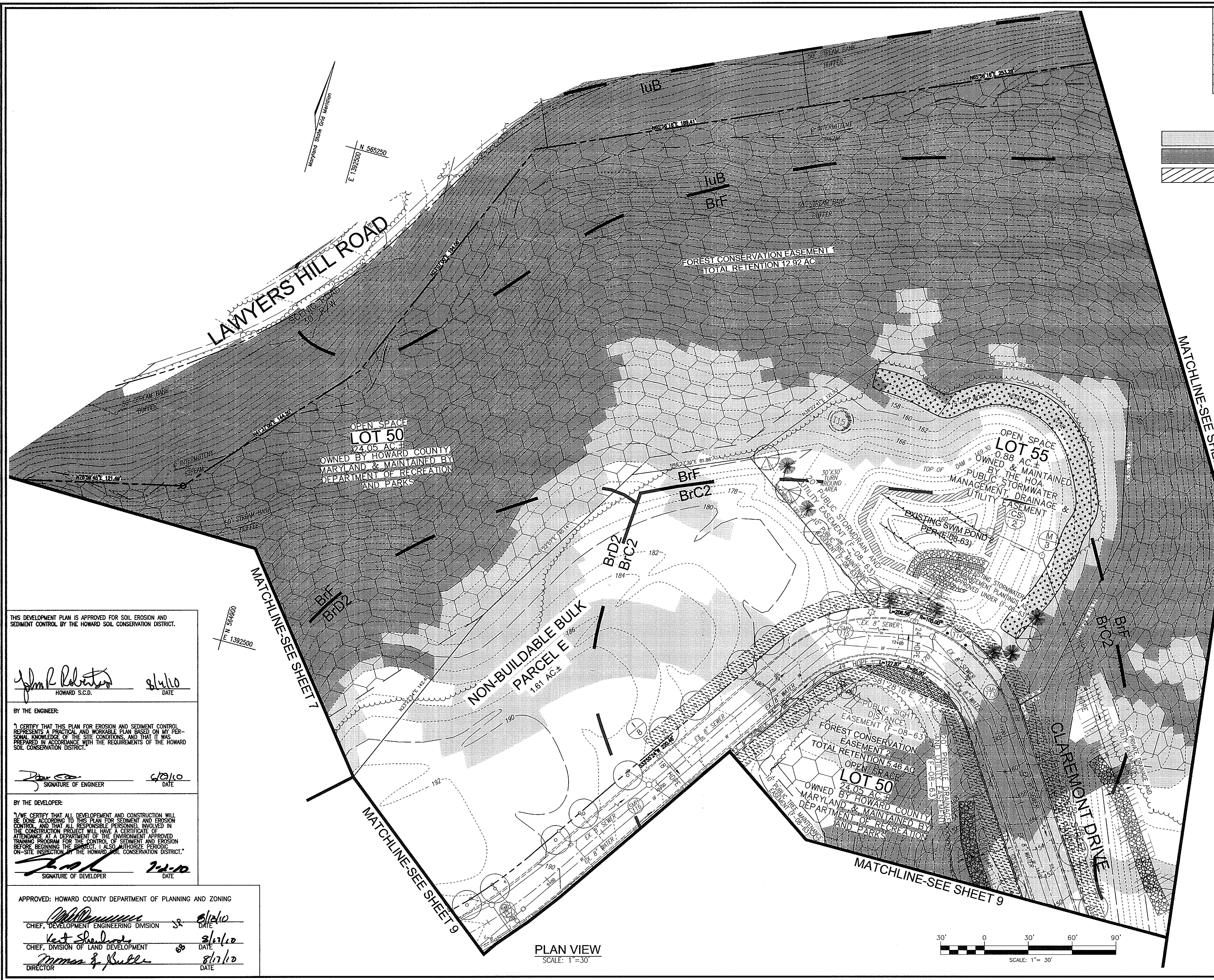
**ROBERT H. VOGEL**  
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 8407 MAIN STREET TEL: 410.461.7666  
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DESIGN BY: RHV/RJ  
 DRAWN BY: RJ  
 CHECKED BY: RHV  
 DATE: JUNE, 2011  
 SCALE: AS SHOWN  
 W.O. NO.: 02-68.00

PROFESSIONAL CERTIFICATE  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. MY LICENSE NUMBER IS 16193. EXPIRATION DATE: 09-27-2012

7 SHEET OF 13



SOILS LEGEND		
SYMBOL	NAME / DESCRIPTION	GROUP
AgC2	AURA GRAVELLY LOAM, 5 TO 10 PERCENT SLOPES, MODERATELY ERODED	B
BrC2	BRANDYWINE LOAM, 8 TO 15 PERCENT SLOPES, MODERATELY ERODED	C
BrD2	BRANDYWINE LOAM, 15 TO 25 PERCENT SLOPES, MODERATELY ERODED	C
BrF	BRANDYWINE LOAM, 25 TO 60 PERCENT SLOPES, NORTH & SOUTH ASPECTS	C
CnD3	CHILLUM-FAIRFAX LOAMS, 5 TO 15 PERCENT SLOPES, SEVERELY ERODED	B
IuB	IUKA LOAM, LOCAL ALLUVIUM, 1 TO 5 PERCENT SLOPES	C

**LEGEND:**

	AREA OF 15 TO 24.9 PERCENT SLOPES		EXISTING 2 FT CONTOUR
	AREA OF 25 PERCENT OR GREATER SLOPES		EXISTING 10 FT CONTOUR
	FUTURE PHASE LOTS		PROPOSED 2 FT CONTOUR
			PROPOSED 10 FT CONTOUR
			PROPOSED SPOT ELEVATION
			EXISTING SPOT ELEVATION
			EXISTING CURB AND GUTTER
			EXISTING UTILITY POLE
			EXISTING LIGHT POLE
			EXISTING SIGN
			EXISTING SANITARY MANHOLE
			EXISTING SANITARY LINE
			EXISTING CLEANOUT
			EXISTING FIRE HYDRANT
			EXISTING WATER LINE
			EXISTING 1" WVC (SEE SHIT 1 FOR SIZE & TYPE)
			EXISTING SEWER LINE (SEE SHIT 1 FOR SIZE & TYPE)
			EXISTING STORM DRAIN LINE (SEE SHIT 1 FOR SIZE & TYPE)
			EXISTING FENCE
			EXISTING GLAUDROMAL
			EXISTING C OF STREAM
			EXISTING 50' STREAM BUFFER
			UNMITIGATED 65dBA NOISE CONTOUR
			PROPERTY LINE
			RIGHT-OF-WAY LINE
			EXISTING STREET TREES (F-08-63)
			SPECIMEN TREE WITH TREE PROTECTION FENCE
			PROPOSED TREELINE
			EXISTING TREELINE
			EXISTING SIDEWALK (F-08-63)
			EXISTING PUBLIC SIGHT DISTANCE EASEMENT (F-08-63)
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			EXISTING PRIVATE STORMDRAIN AND UTILITY EASEMENT (F-08-63)
			EXISTING PUBLIC STORMDRAIN AND UTILITY EASEMENT (F-08-63)
			EXISTING PRIVATE DRAINAGE AND UTILITY EASEMENT (F-08-63)
			EROSION CONTROL MATTING
			STABILIZED CONSTRUCTION ENTRANCE
			RIPRAP CHANNEL
			SILT FENCE
			EARTH DIKE
			LIMIT OF DISTURBANCE
			INLET PROTECTION
			SOIL DIVIDE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

BY THE ENGINEER:  
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: *John L. Robertson* DATE: 8/10/10  
 HOWARD S.C.D.

BY THE DEVELOPER:  
 I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

Signature: *Alan Meyer* DATE: 8/10/10  
 SIGNATURE OF DEVELOPER

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Signature: *Michael J. ...* DATE: 8/10/10  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

Signature: *Keith ...* DATE: 8/10/10  
 CHIEF, DIVISION OF LAND DEVELOPMENT

Signature: *Morgan ...* DATE: 8/10/10  
 DIRECTOR

**OWNER**  
 CLAREMONT L.L.C.  
 MR. ALAN MEYER  
 11046 DORSCH FARM ROAD  
 ELLICOTT CITY, MARYLAND 21042  
 (410) 730-4556

**DEVELOPER**  
 RYAN HOMES  
 6031 UNIVERSITY BLVD.  
 SUITE 250  
 ELLICOTT CITY, MARYLAND 21043  
 (410) 796-0980

NO.	REVISION	DATE

**SITE DEVELOPMENT PLAN**  
**GRADING, SEDIMENT AND EROSION CONTROL**  
**AND SOILS PLAN**  
**CLAREMONT OVERLOOK**  
 PHASES 1 & 2  
 LOTS 1 - 25, OPEN SPACE LOTS 50 - 57 & K  
 NON-BUILDABLE BULK PARCELS E-H, J & K  
 TAX MAP 32 GRID 21 PARCELS 24 & 632  
 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

**ROBERT H. VOGEL ENGINEERING, INC.**  
 ENGINEERS • SURVEYORS • PLANNERS  
 8407 MAIN STREET ELLICOTT CITY, MD 21043 FAX: 410.461.7669  
 TEL: 410.461.8991

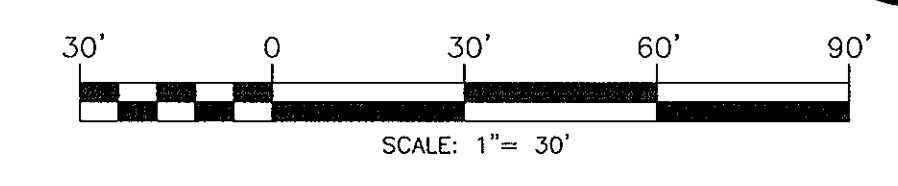
**PROFESSIONAL CERTIFICATE**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 181193, EXPIRATION DATE: 06-27-2010

DESIGN BY: RHV/RJ  
 DRAWN BY: RJ  
 CHECKED BY: RHV  
 DATE: JUNE, 2010  
 SCALE: AS SHOWN  
 W.O. NO.: 02-68.00

8 SHEET OF 13

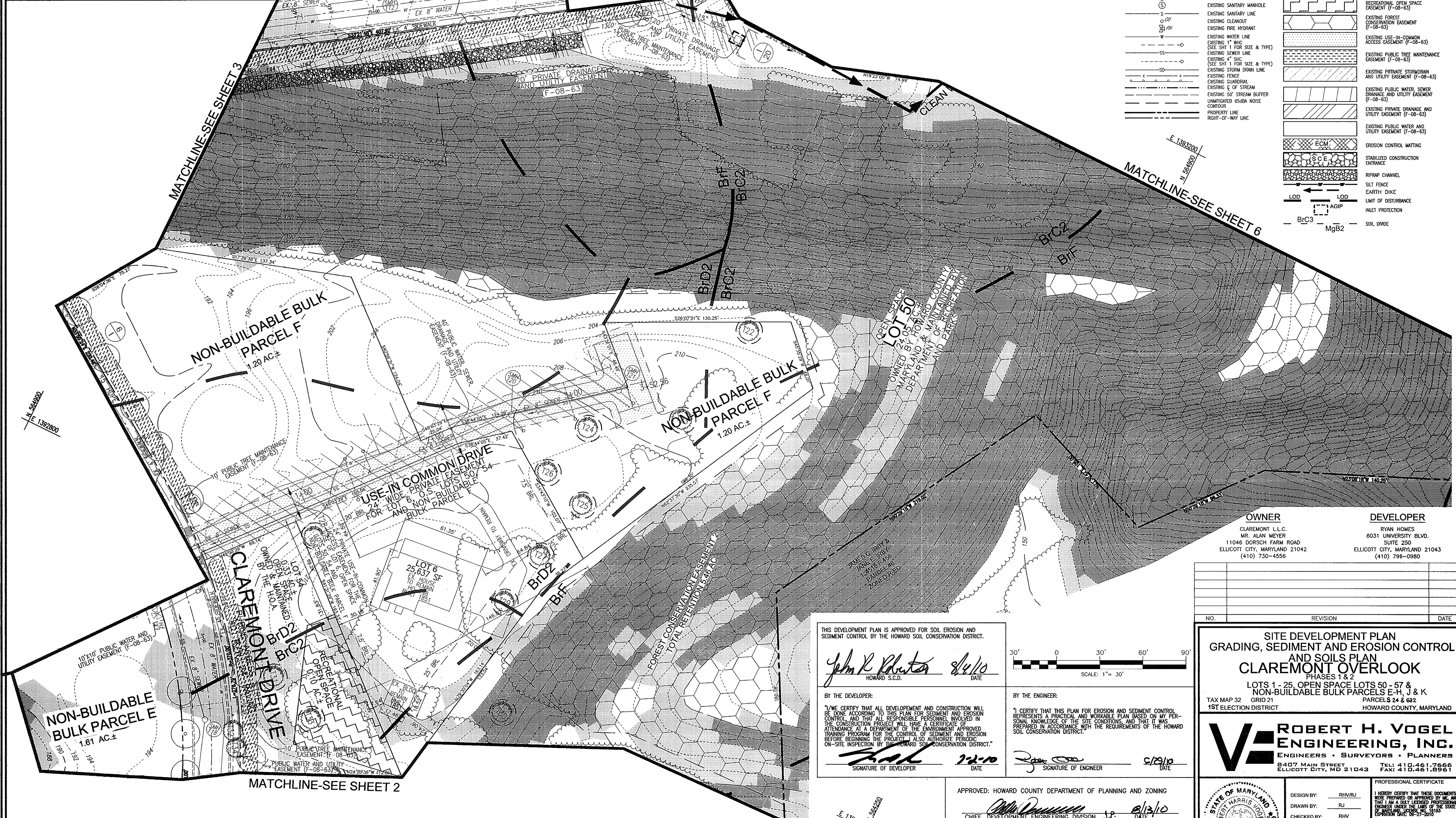
PLAN VIEW  
 SCALE: 1"=30'





SOILS LEGEND		
SYMBOL	NAME / DESCRIPTION	GROUP
AgC2	AURA GRAVELLY LOAM, 5 TO 10 PERCENT SLOPES, MODERATELY ERODED	B
BrC2	BRANDYWINE LOAM, 8 TO 15 PERCENT SLOPES, MODERATELY ERODED	C
BrD2	BRANDYWINE LOAM, 15 TO 25 PERCENT SLOPES, MODERATELY ERODED	C
BrF	BRANDYWINE LOAM, 25 TO 35 PERCENT SLOPES, NORTH & SOUTH ASPECTS	C
CnD3	CHILLUM-FAIRFAX LOAMS, 5 TO 15 PERCENT SLOPES, SEVERELY ERODED	B
IuB	IUKA LOAM, LOCAL ALLUVIUM, 1 TO 5 PERCENT SLOPES	C

LEGEND:	
	AREA OF 15 TO 24.9 PERCENT SLOPES
	AREA OF 25 PERCENT OR GREATER SLOPES
	FUTURE PHASE LOTS
	EXISTING 2 FT CONTOUR
	EXISTING 10 FT CONTOUR
	PROPOSED 10 FT CONTOUR
	EXISTING SPOT ELEVATION
	EXISTING CURB AND GUTTER
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	EXISTING SANITARY MANHOLE
	EXISTING SANITARY LINE
	EXISTING CLEANOUT
	EXISTING FIRE HYDRANT
	EXISTING WATER LINE
	EXISTING 1" WVC (SEE SH1 FOR SIZE & TYPE)
	EXISTING 4" SWC (SEE SH1 FOR SIZE & TYPE)
	EXISTING STORM DRAIN LINE
	EXISTING FENCE
	EXISTING CURBSIDE
	EXISTING 50' STREAM BUFFER
	UNMITIGATED 65dBA NOISE CONTOUR
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	EXISTING STREET TREES (F-08-63)
	SPECIMEN TREE WITH TREE PROTECTION FENCE
	PROPOSED TREE LINE
	EXISTING SIDEWALK (F-08-63)
	RECREATIONAL OPEN SPACE EASEMENT (F-08-63)
	EXISTING FOREST CONSERVATION EASEMENT (F-08-63)
	EXISTING USE-IN-COMMON ACCESS EASEMENT (F-08-63)
	EXISTING PUBLIC TREE MAINTENANCE EASEMENT (F-08-63)
	EXISTING PRIVATE STORM DRAIN AND UTILITY EASEMENT (F-08-63)
	EXISTING PRIVATE WATER, SEWER, DRAINAGE AND UTILITY EASEMENT (F-08-63)
	EXISTING PRIVATE DRAINAGE AND UTILITY EASEMENT (F-08-63)
	EXISTING PUBLIC WATER AND UTILITY EASEMENT (F-08-63)
	EROSION CONTROL MATTING
	STABILIZED CONSTRUCTION ENTRANCE
	RIPRAP CHANNEL
	SILT FENCE
	EARTH DIKE
	LIMIT OF DISTURBANCE
	INLET PROTECTION
	SOIL DIVIDE

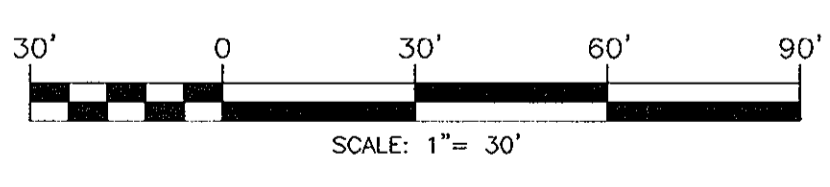


**OWNER**  
 CLAREMONT L.L.C.  
 MR. ALAN MEYER  
 11046 DORSCH FARM ROAD  
 ELLICOTT CITY, MARYLAND 21042  
 (410) 730-4556

**DEVELOPER**  
 RYAN HOMES  
 6031 UNIVERSITY BLVD.  
 SUITE 250  
 ELLICOTT CITY, MARYLAND 21043  
 (410) 796-0980

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*John R. Reuter* 8/4/10  
 HOWARD S.C.D. DATE



BY THE DEVELOPER:  
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

*[Signature]* 7/2/10  
 SIGNATURE OF DEVELOPER DATE

BY THE ENGINEER:  
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*[Signature]* 8/19/10  
 SIGNATURE OF ENGINEER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*[Signature]* 8/13/10  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*[Signature]* 8/17/10  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 8/17/10  
 DIRECTOR DATE

NO.	REVISION	DATE

**SITE DEVELOPMENT PLAN**  
**GRADING, SEDIMENT AND EROSION CONTROL**  
**AND SOILS PLAN**  
**CLAREMONT OVERLOOK**  
 PHASES 1 & 2  
 LOTS 1 - 25, OPEN SPACE LOTS 50 - 57 &  
 NON-BUILDABLE BULK PARCELS E-H, J & K  
 TAX MAP 32 GRID 21 PARCELS 24 & 62  
 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

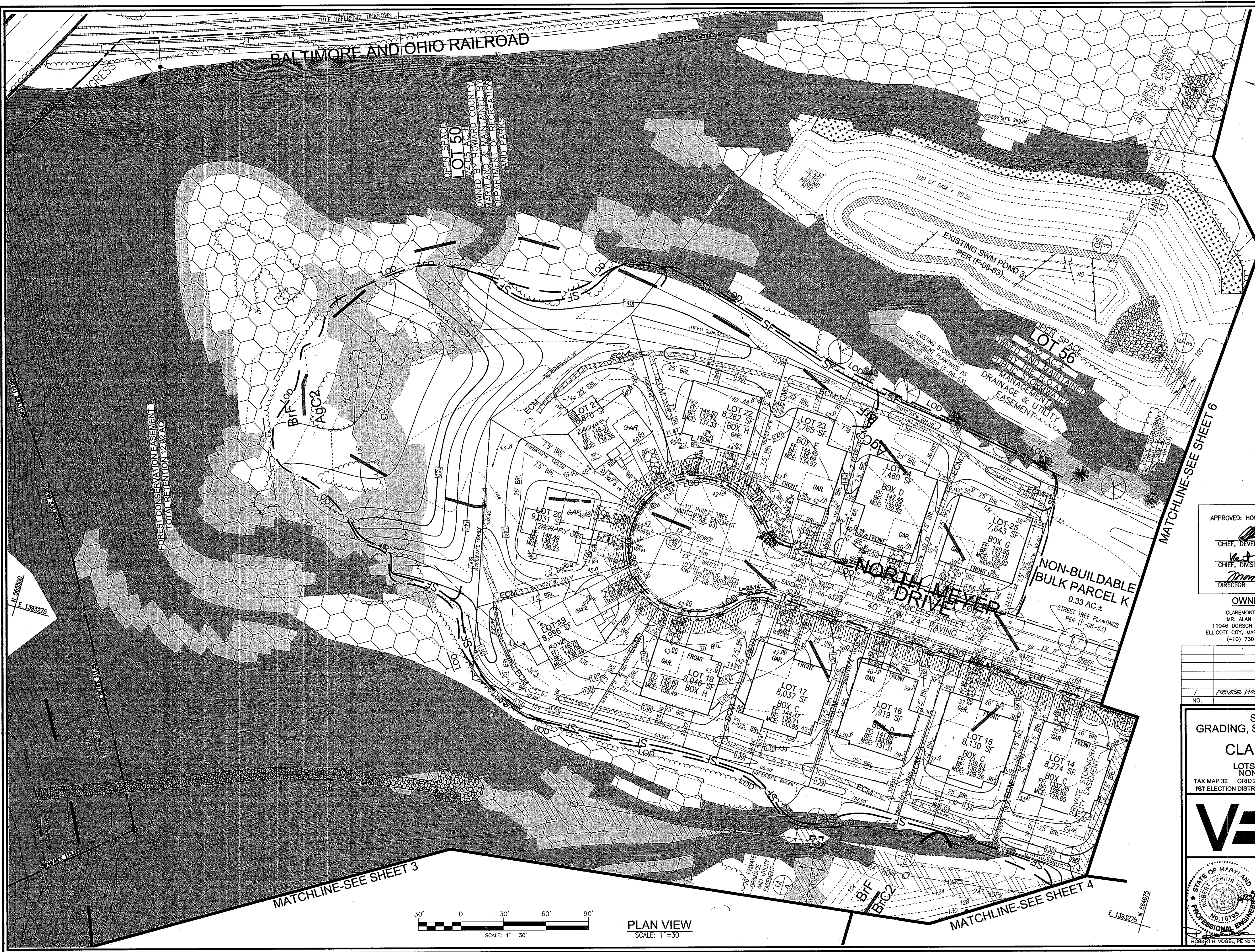
**ROBERT H. VOGEL**  
**ENGINEERS • SURVEYORS • PLANNERS**  
 8407 MAIN STREET TEL: 410.461.7666  
 ELLICOTT CITY, MD 21043 FAX: 410.461.8961

**PROFESSIONAL CERTIFICATE**  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. MY LICENSE NO. IS 16195 AND MY EXPIRATION DATE IS 08-27-2010.

DESIGN BY: RHV/RJ  
 DRAWN BY: RJ  
 CHECKED BY: RHV  
 DATE: JUNE, 2010  
 SCALE: AS SHOWN  
 W.O. NO.: 02-68.00

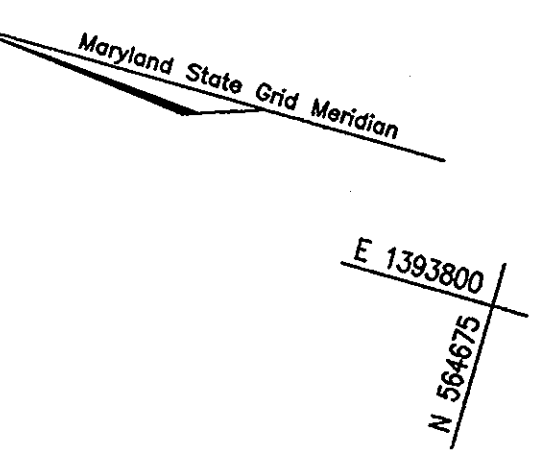
9 SHEET OF 13

PLAN VIEW  
 SCALE: 1" = 30'



NOTE: FOR SOILS LEGEND, SEE SHEETS 7, 8, 9 AND/OR 11

NOTE: FOR SHEET LEGEND, SEE SHEETS 7, 8, 9 AND/OR 11



THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*John R. Blanton* 8/4/10  
 HOWARD S.C.D. DATE

BY THE DEVELOPER:  
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.  
*Paul* 8/1/10  
 SIGNATURE OF DEVELOPER DATE

BY THE ENGINEER:  
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.  
*John R. Blanton* 8/29/10  
 SIGNATURE OF ENGINEER DATE

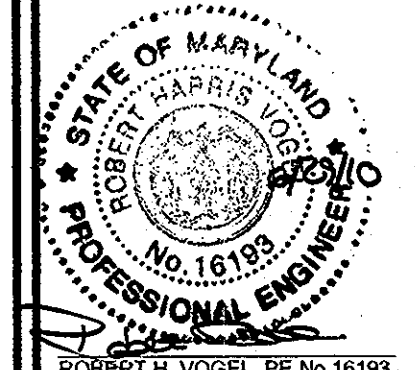
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
*John D. ...* 8/12/10  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE  
*Neil ...* 8/12/10  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE  
*Mona ...* 8/12/10  
 DIRECTOR DATE

OWNER: CLAREMONT L.L.C. MR. ALAN MEYER 11046 DORSCH FARM ROAD ELLICOTT CITY, MARYLAND 21042 (410) 730-4556  
 DEVELOPER: RYAN HOMES 6031 UNIVERSITY BLVD. SUITE 250 ELLICOTT CITY, MARYLAND 21043 (410) 796-0980

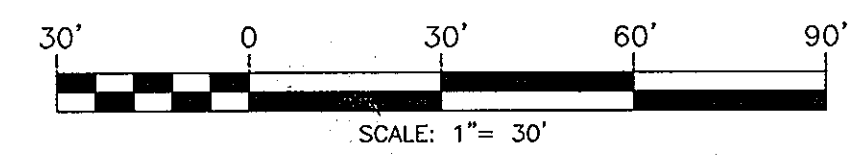
NO.	REVISION	DATE
1	REVISE HOUSE FOOTPRINT LOTS 19-21	5/20/11

**SITE DEVELOPMENT PLAN  
 GRADING, SEDIMENT AND EROSION CONTROL  
 AND SOILS PLAN  
 CLAREMONT OVERLOOK**  
 PHASES 1 & 2  
 LOTS 1 - 25, OPEN SPACE LOTS 50 - 57 &  
 NON-BUILDABLE BULK PARCELS E-H, J & K  
 TAX MAP 32 GRID 21 PARCELS 24 & 632  
 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

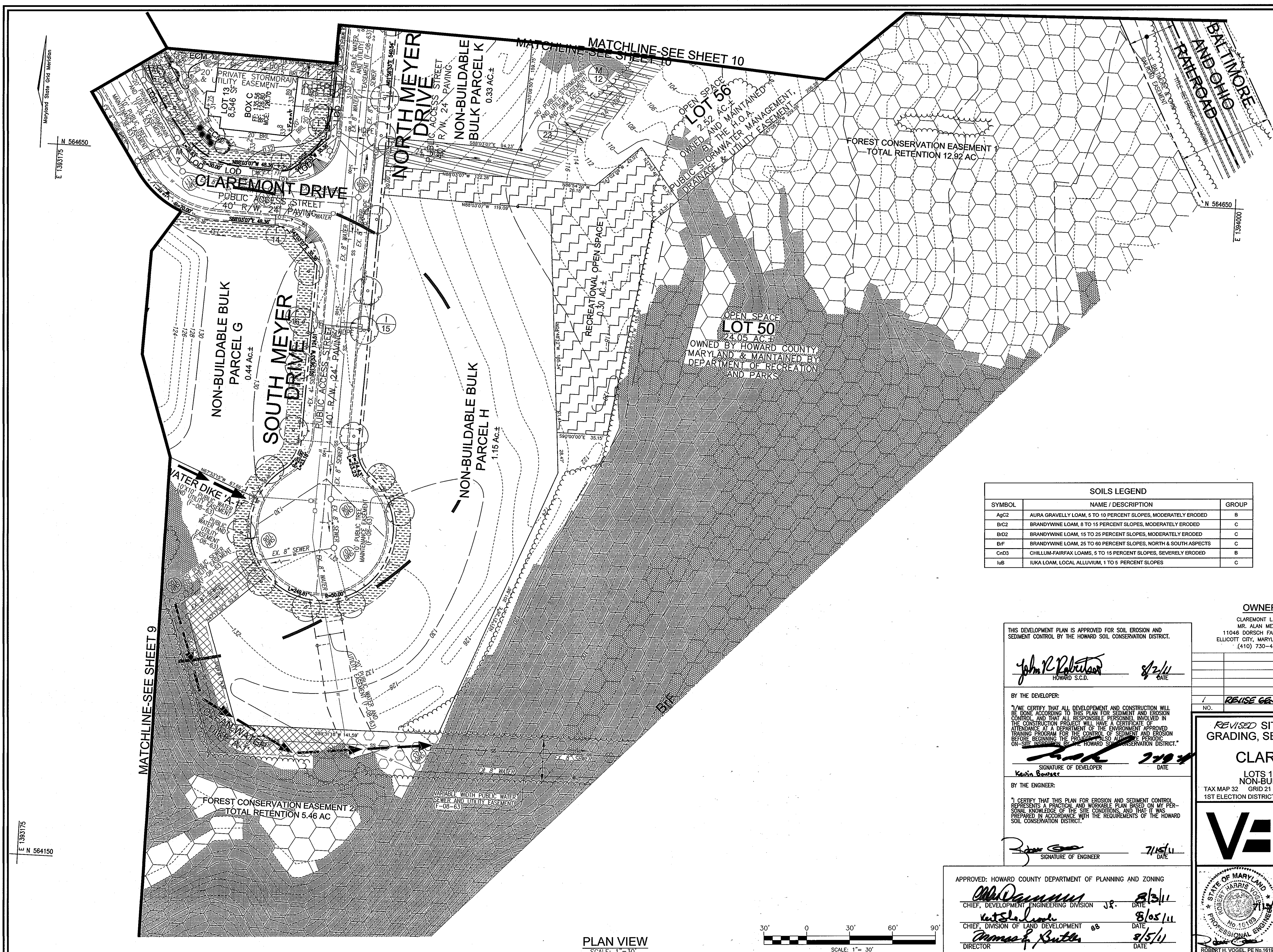
**ROBERT H. VOGEL ENGINEERING, INC.**  
 ENGINEERS • SURVEYORS • PLANNERS  
 8407 MAIN STREET TEL: 410.461.7666  
 ELLICOTT CITY, MD 21043 FAX: 410.461.8961



PROFESSIONAL CERTIFICATE  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRES DATE 08-27-2010  
 DESIGN BY: RHV/RJ  
 DRAWN BY: RJ  
 CHECKED BY: RHV  
 DATE: JUNE, 2010  
 SCALE: AS SHOWN  
 W.O. NO.: 02-68-00  
 10 SHEET OF 13



PLAN VIEW  
 SCALE: 1" = 30'



**LEGEND:**

- EXISTING 2 FT CONTOUR
- EXISTING 10 FT CONTOUR
- PROPOSED 2 FT CONTOUR
- PROPOSED 10 FT CONTOUR
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- EXISTING CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING 1" WHV (SEE SH 1 FOR SIZE & TYPE)
- EXISTING SEWER LINE
- EXISTING 4" SHV (SEE SH 1 FOR SIZE & TYPE)
- EXISTING STORM DRAIN LINE
- EXISTING FENCE
- EXISTING QUADRANTAL
- EXISTING C OF STREAM
- EXISTING 50' STREAM BUFFER
- UNMITIGATED 65DBA NOISE CONTOUR
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- EXISTING STREET TREES (F-08-63)
- SPECIMEN TREE WITH TREE PROTECTION FENCE
- PROPOSED TREELINE
- EXISTING TREELINE
- EXISTING SIDEWALK (F-08-63)
- RECREATIONAL OPEN SPACE EASEMENT (F-08-63)
- EXISTING FOREST CONSERVATION EASEMENT (F-08-63)
- EXISTING PUBLIC TREE MAINTENANCE EASEMENT (F-08-63)
- EXISTING PUBLIC SEWER AND UTILITY EASEMENT (F-08-63)
- EXISTING PRIVATE STORMDRAIN AND UTILITY EASEMENT (F-08-63)
- EXISTING PUBLIC STORMDRAIN AND UTILITY EASEMENT (F-08-63)
- EXISTING PUBLIC WATER SEWER AND UTILITY EASEMENT (F-08-63)
- EXISTING PUBLIC WATER AND UTILITY EASEMENT (F-08-63)
- ECM
- SCE
- EROSION CONTROL MATTING
- STABILIZED CONSTRUCTION ENTRANCE
- RIPRAP CHANNEL
- SILT FENCE
- EARTH DIKE
- LIMIT OF DISTURBANCE
- INLET PROTECTION
- LOD
- AGIP
- BrC3
- MgB2
- SOIL DIVIDE
- AREA OF 15 TO 24.9 PERCENT SLOPES
- AREA OF 25 PERCENT OR GREATER SLOPES

**SOILS LEGEND**

SYMBOL	NAME / DESCRIPTION	GROUP
AgC2	AURA GRAVELLY LOAM, 5 TO 10 PERCENT SLOPES, MODERATELY ERODED	B
BcC2	BRANDYWINE LOAM, 8 TO 15 PERCENT SLOPES, MODERATELY ERODED	C
BdD2	BRANDYWINE LOAM, 15 TO 25 PERCENT SLOPES, MODERATELY ERODED	C
BfF	BRANDYWINE LOAM, 25 TO 60 PERCENT SLOPES, NORTH & SOUTH ASPECTS	C
CrdD3	CHILLUM-FAIRFAX LOAMS, 5 TO 15 PERCENT SLOPES, SEVERELY ERODED	B
IuB	IUKA LOAM, LOCAL ALLUVIUM, 1 TO 5 PERCENT SLOPES	C

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*John R. Robertson* 8/2/11  
HOWARD S.C.D. DATE

BY THE DEVELOPER:  
"I WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. ALSO I WILL PERFORM PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT."

*Kevin Bousser* 7/15/11  
SIGNATURE OF DEVELOPER DATE

BY THE ENGINEER:  
"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

*Robert H. Vogel* 7/15/11  
SIGNATURE OF ENGINEER DATE

**OWNER**  
CLAREMONT L.L.C.  
MR. ALAN MEYER  
11048 DORSCH FARM ROAD  
ELLCOTT CITY, MARYLAND 21042  
(410) 730-4556

**DEVELOPER**  
RYAN HOMES  
6031 UNIVERSITY BLVD.  
SUITE 250  
ELLCOTT CITY, MARYLAND 21043  
(410) 796-0980

NO. 1 REVISION REVISE GENERAL BOX AND GRADING, Lot 13 DATE 6/22/11

**REVISED SITE DEVELOPMENT PLAN**  
**GRADING, SEDIMENT AND EROSION CONTROL**  
**AND SOILS PLAN**  
**CLAREMONT OVERLOOK**  
PHASES 1 & 2  
LOTS 1 - 25, OPEN SPACE LOTS 50 - 57 &  
NON-BUILDABLE BULK PARCELS E-H, J & K  
TAX MAP 32 GRID 21 PARCELS 24 & 632  
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

**ROBERT H. VOGEL ENGINEERS, INC.**  
ENGINEERS • SURVEYORS • PLANNERS  
8407 MAIN STREET TEL: 410.461.7666  
ELLCOTT CITY, MD 21043 FAX: 410.461.8961

PROFESSIONAL CERTIFICATE  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. EXPIRES 09-27-2012

DESIGN BY: RHV/RJL  
DRAWN BY: RJ  
CHECKED BY: RHV  
DATE: JUNE, 2011  
SCALE: AS SHOWN  
W.O. NO.: 02-68.00

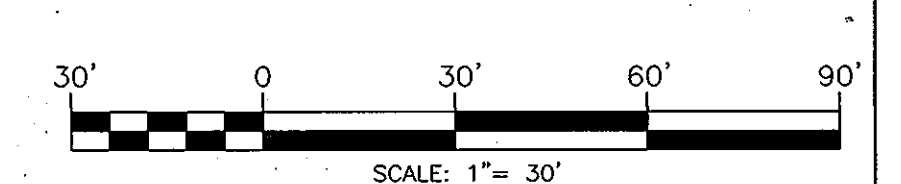
11 SHEET OF 13

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*Chris Dammus* 8/3/11  
CHIEF, DEVELOPMENT ENGINEERING DIVISION JR. DATE

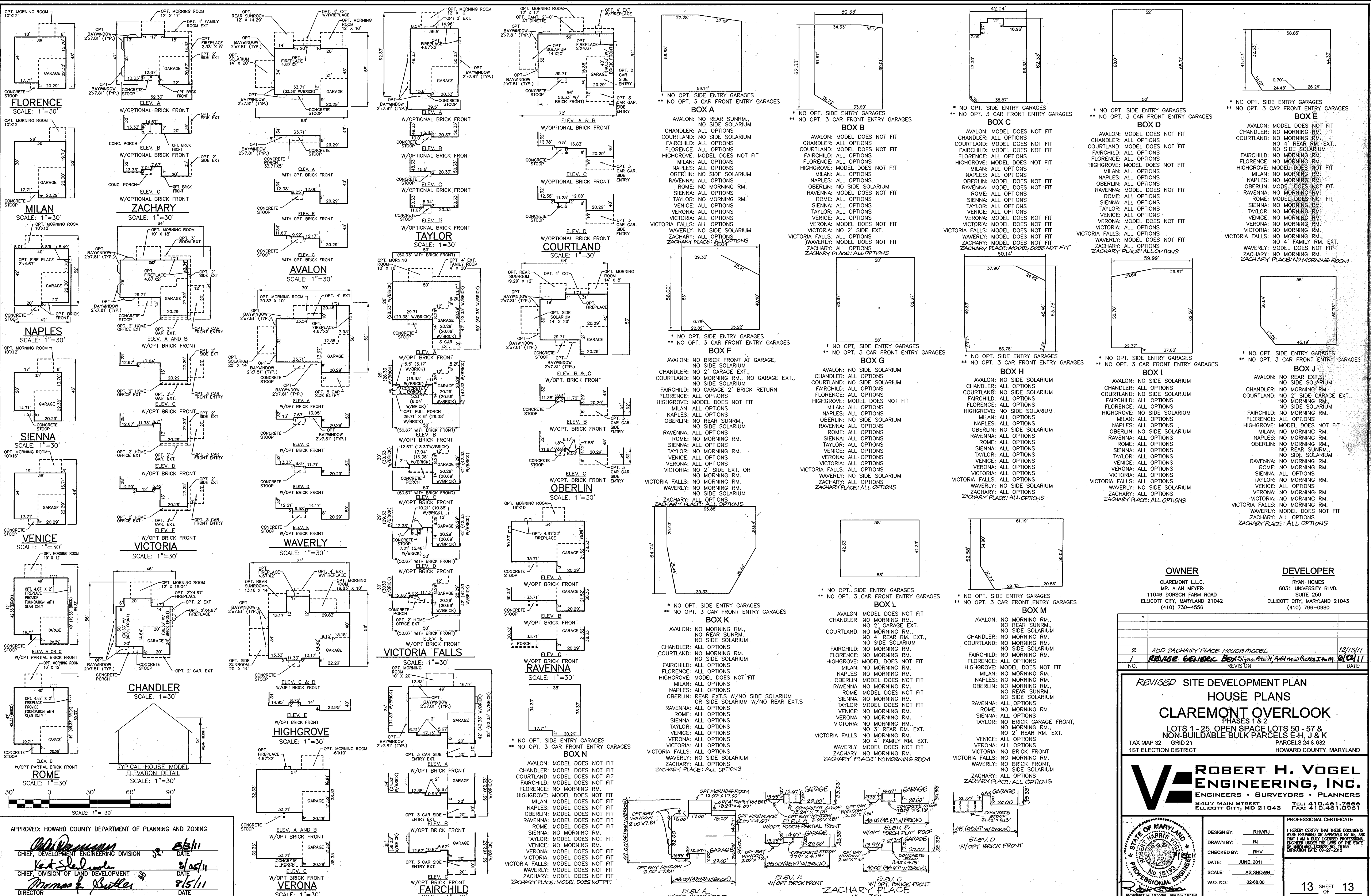
*Wesley Lane* 8/05/11  
CHIEF, DIVISION OF LAND DEVELOPMENT EB DATE

*Thomas J. Butler* 8/5/11  
DIRECTOR DATE



PLAN VIEW  
SCALE: 1"=30'





APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*[Signature]* 8/11/11  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*[Signature]* 8/15/11  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]*  
 DIRECTOR DATE

OWNER		DEVELOPER	
CLAREMONT L.L.C. MR. ALAN MEYER 11046 DORSCH FARM ROAD ELICOTT CITY, MARYLAND 21042 (410) 730-4556		RYAN HOMES 6031 UNIVERSITY BLVD. SUITE 200 ELICOTT CITY, MARYLAND 21043 (410) 796-0980	
NO.	REVISION	DATE	
2	ADD ZACHARY PLACE HOUSE MODEL	12/13/11	
1	REVISE GENERAL BOX 5, 6, 7, 8, 9, 10, 11	01/11	

**REVISED SITE DEVELOPMENT PLAN**  
**HOUSE PLANS**  
**CLAREMONT OVERLOOK**  
 PHASES 1 & 2  
 LOTS 1 - 25, OPEN SPACE LOTS 50 - 57 & J & K  
 NON-BUILDABLE BULK PARCELS E-H, J & K

TAX MAP 32 GRID 21 PARCELS 24 & 632  
 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

**ROBERT H. VOGEL ENGINEERING, INC.**  
 ENGINEERS • SURVEYORS • PLANNERS  
 8407 MAIN STREET TEL: 410.461.7666  
 ELICOTT CITY, MD 21043 FAX: 410.461.8961

DESIGN BY: RHR/JJ  
 DRAWN BY: RJ  
 CHECKED BY: RHR  
 DATE: JUNE, 2011  
 SCALE: AS SHOWN  
 W.O. NO.: 02-88.00

13 SHEET OF 13  
 SDP-10-118