

LEGEND:

	EXISTING CURB AND GUTTER
	PROPOSED CURB AND GUTTER (NO. CO. DETAIL R-301)
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING MAILBOX
	EXISTING SIGN
	EXISTING SANITARY MANHOLE
	EXISTING SANITARY LINE
	EXISTING CLEANOUT
	EXISTING FIRE HYDRANT
	EXISTING WATER LINE
	PROPOSED STORM DRAIN
	PROPOSED STORM DRAIN INLET
	EXISTING TREES (FIELD LOCATED)
	EXISTING TREELINE (FIELD LOCATED)
	EXISTING FENCE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	ADJACENT PROPERTY LINE
	PROPOSED SIDEWALK (NO. CO. DETAIL R-302)
	PROP. LIGHT POLE
	PROP. LIGHT BOLLARD
	PROPOSED TREELINE
	20\"/>
	EX. 40\"/>
	EX. 30\"/>
	EX. PUBLIC SWIM, SWIM ACCESS, SEWER, DRAINAGE AND UTILITY EASEMENT (PLATS 15888-5888)
	EX. PUBLIC FOREST CONSERVATION EASEMENT (PLAT 20078)
	EX. PUBLIC FOREST CONSERVATION EASEMENT (RESTORATION) (PLAT 18000)
	EX. WETLAND

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division: *[Signature]* 5/13/10

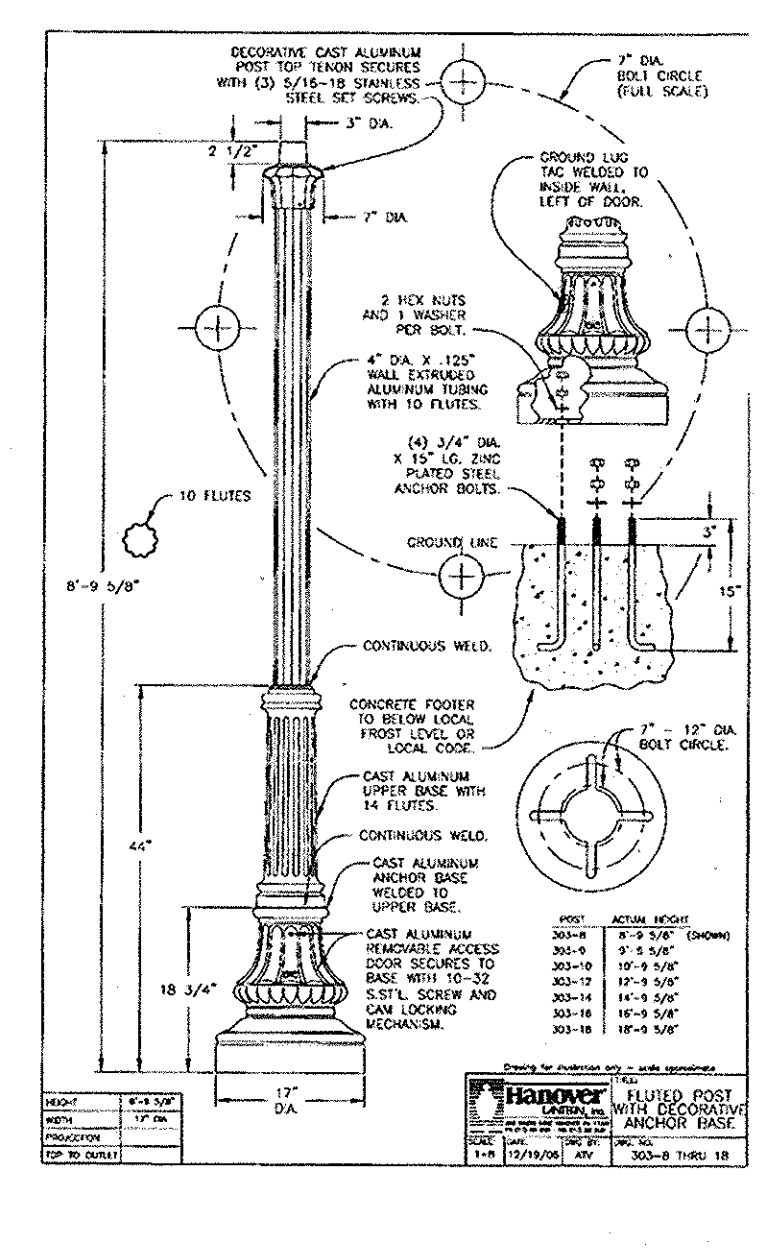
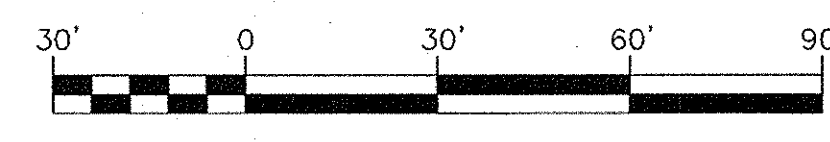
Chief, Division of Land Development: *[Signature]* 5/13/10

Director: *[Signature]* 5/13/10

CONCRETE PAVING SECTION
(AS PER GEOTECHNICAL REPORT RECOMMENDATIONS PREPARED BY EGS, LLC, DATED SEPTEMBER 10, 2009)

DUMPSTER PAD	DRIVEWAYS/GARAGE APRON
MIN. 4\"/>	MIN. 4\"/>
MIN. 4\"/>	MIN. 4\"/>

NOTE: PAVING SECTIONS ARE TO BE VERIFIED AND APPROVED BY THE GEOTECH PRIOR TO CONSTRUCTION.



48 ★ Measurements to Ground Trench "A" 5/13/10

NO.	REVISION	DATE

SITE DEVELOPMENT PLAN
LAYOUT PLAN

THE ENCLAVE AT EMERSON APARTMENTS
PARCEL 'E' (SECTION 2, PHASE 8B)
129 APARTMENTS & 85 TOWNHOUSES
PLAT 2,113,132
TAX MAP 47 GRID 8 6TH ELECTION DISTRICT (L-11826-F-480) PARCEL 462; PARCEL 'E' HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET ELLICOTT CITY, MD 21043
TEL: 410.461.7666 FAX: 410.461.8961

PROFESSIONAL CERTIFICATE

DESIGN BY: RHV
DRAWN BY: DZ
CHECKED BY: RHV
DATE: APRIL 2010
SCALE: 1"=30'
W.O. NO.: 09-12

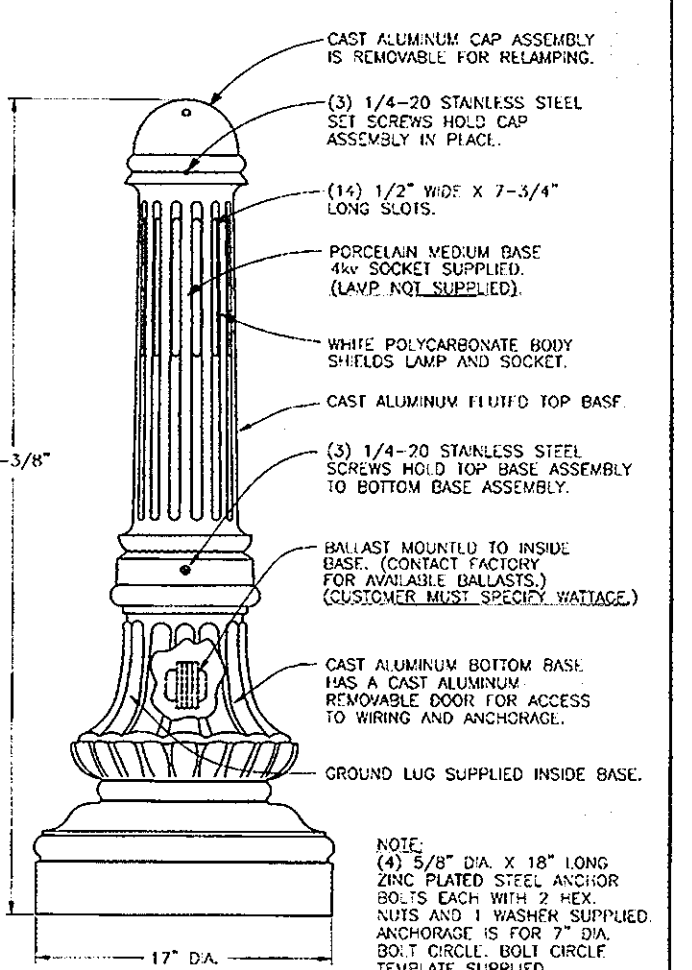
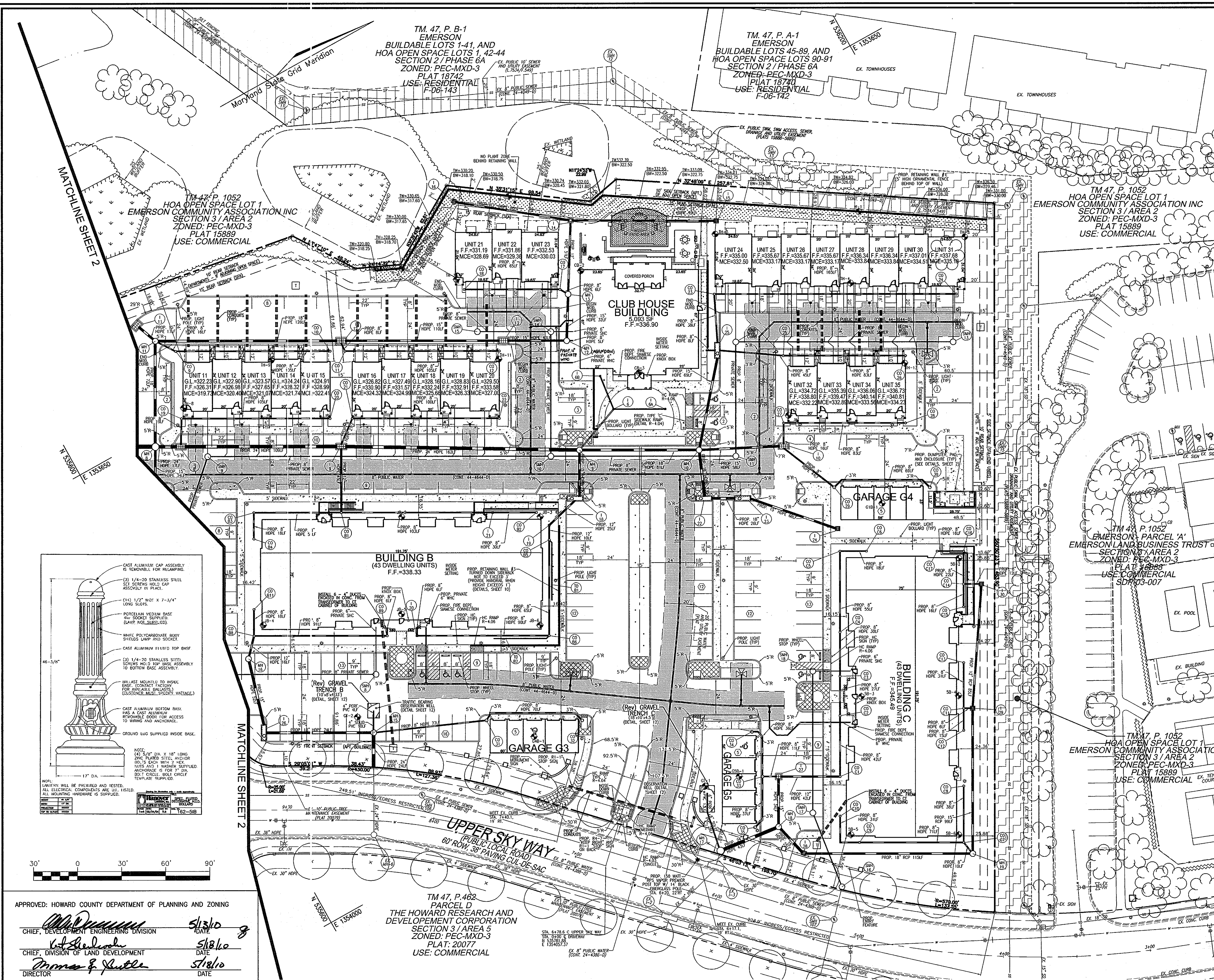
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2010

2 SHEET OF 27

* As-Built 5/13/10

LEGEND:

- ===== EXISTING CURB AND GUTTER
- ===== PROPOSED CURB AND GUTTER (HO. CO. DETAIL R.301)
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN INLET
- EXISTING TREES (FIELD LOCATED)
- EXISTING TREELINE (FIELD LOCATED)
- EXISTING FENCE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- ADJACENT PROPERTY LINE
- PROPOSED SIDEWALK (HO. CO. DETAIL R.304)
- PROP. LIGHT POLE
- PROP. LIGHT BOLLARD
- PROPOSED TREELINE
- 20' PUBLIC WATER AND UTILITY EASEMENT
- EX. 40' PUBLIC SEWER, WATER, STORM DRAIN, SWM ACCESS, AND UTILITY EASEMENT (PLAT 2007B-20079)
- EX. 30' PUBLIC SEWER, WATER, AND UTILITY EASEMENT (PLATS 2007B-20079)
- EX. PUBLIC SWM SWM ACCESS, SEWER, DRAINAGE AND UTILITY EASEMENT (PLATS 1588B-588B)
- EX. PUBLIC FOREST CONSERVATION EASEMENT (RETENTION) (PLAT 2007B)
- EX. PUBLIC FOREST CONSERVATION EASEMENT (REFORESTATION) (PLAT 1600)
- EX. WETLAND



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 5/13/10
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] 5/18/10
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] 5/18/10
 DIRECTOR

TM 47, P. 462
 PARCEL D
 THE HOWARD RESEARCH AND
 DEVELOPMENT CORPORATION
 SECTION 3 / AREA 2
 ZONED: PEC-MXD-3
 PLAT: 20077
 USE: COMMERCIAL

TM 47, P. 1052
 HOA OPEN SPACE LOT 1
 EMERSON COMMUNITY ASSOCIATION INC
 SECTION 3 / AREA 2
 ZONED: PEC-MXD-3
 PLAT 15889
 USE: COMMERCIAL

TM 47, P. 1052
 EMERSON LAND BUSINESS TRUST
 SECTION 3 / AREA 2
 ZONED: PEC-MXD-3
 PLAT 15888
 USE: COMMERCIAL
 SDP 03-007

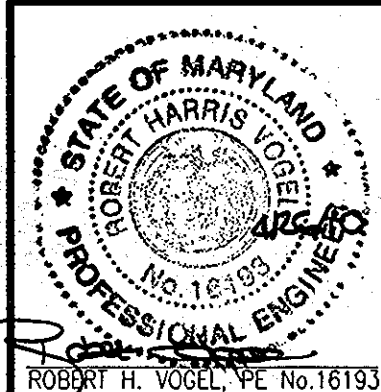
TM 47, P. 1052
 HOA OPEN SPACE LOT 1
 EMERSON COMMUNITY ASSOCIATION
 SECTION 3 / AREA 2
 ZONED: PEC-MXD-3
 PLAT 15889
 USE: COMMERCIAL

OWNER/DEVELOPER
 EMERSON APARTMENTS, LLC
 1966 GREENSPRING DRIVE, SUITE 400
 TIMONIUM, MD. 21093
 410-560-0300

NO.	REVISION	DATE
2	REVISE PLAN TO ABANDON WHIC TO CLUBHOUSE AND PROVIDE NEW WHIC	11-08-2010

SITE DEVELOPMENT PLAN
LAYOUT PLAN
THE ENCLAVE AT EMERSON APARTMENTS
 PARCEL 'E' (SECTION 2, PHASE 8B)
 129 APARTMENTS AND 35 TOWNHOUSES
 TAX MAP 47 GRID 8
 6TH ELECTION DISTRICT

ROBERT H. VOGEL
ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET
 ELLICOTT CITY, MD 21043
 TEL: 410.461.7666
 FAX: 410.461.9961

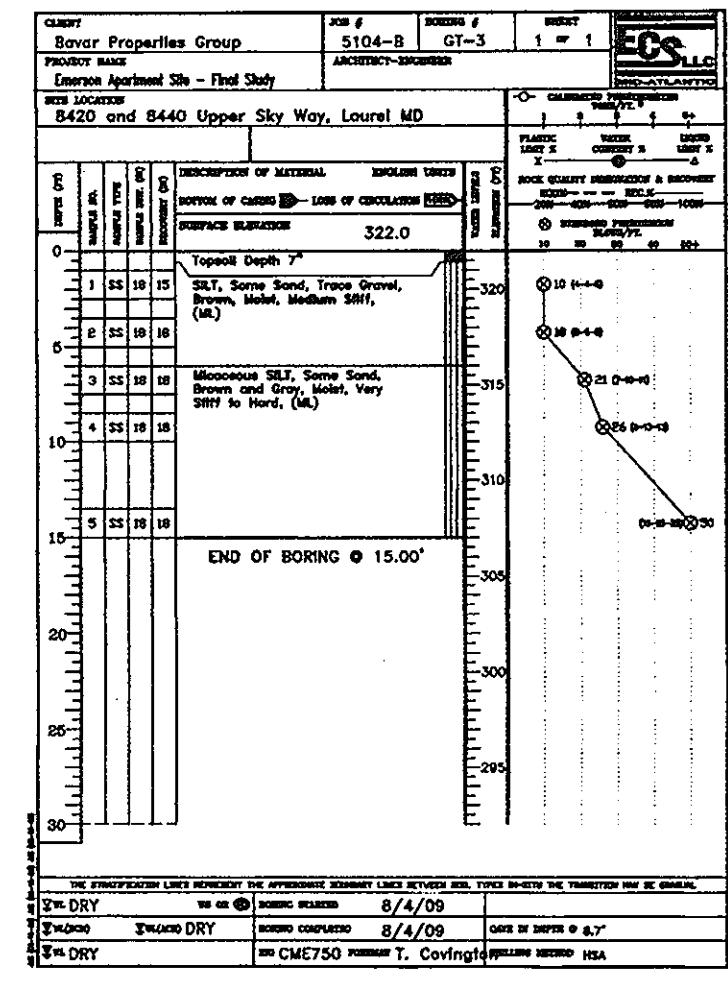
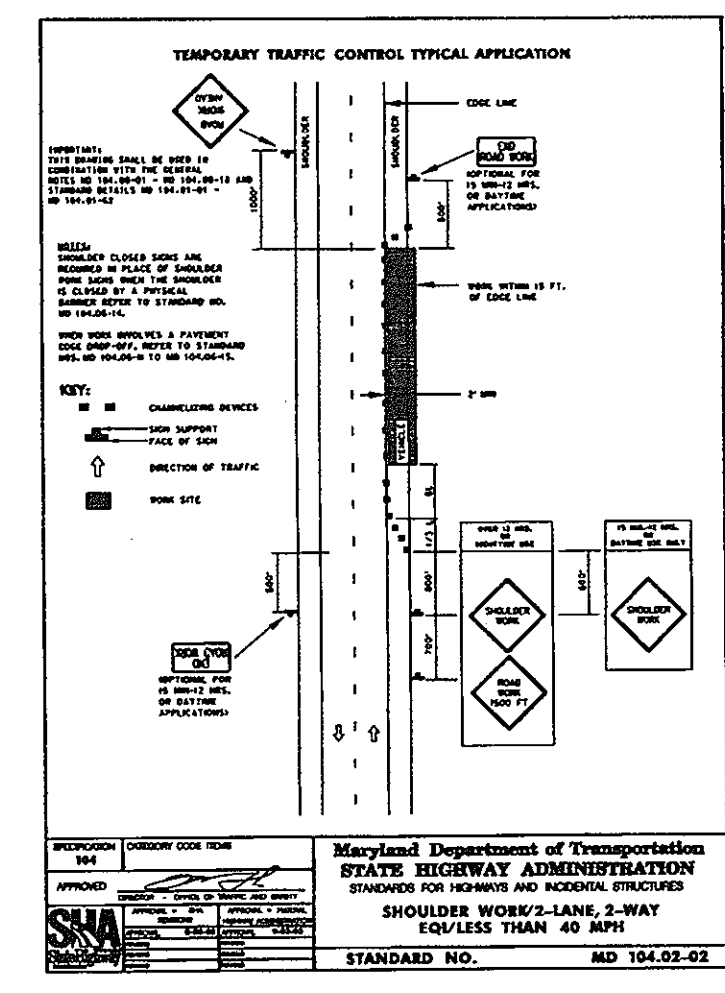
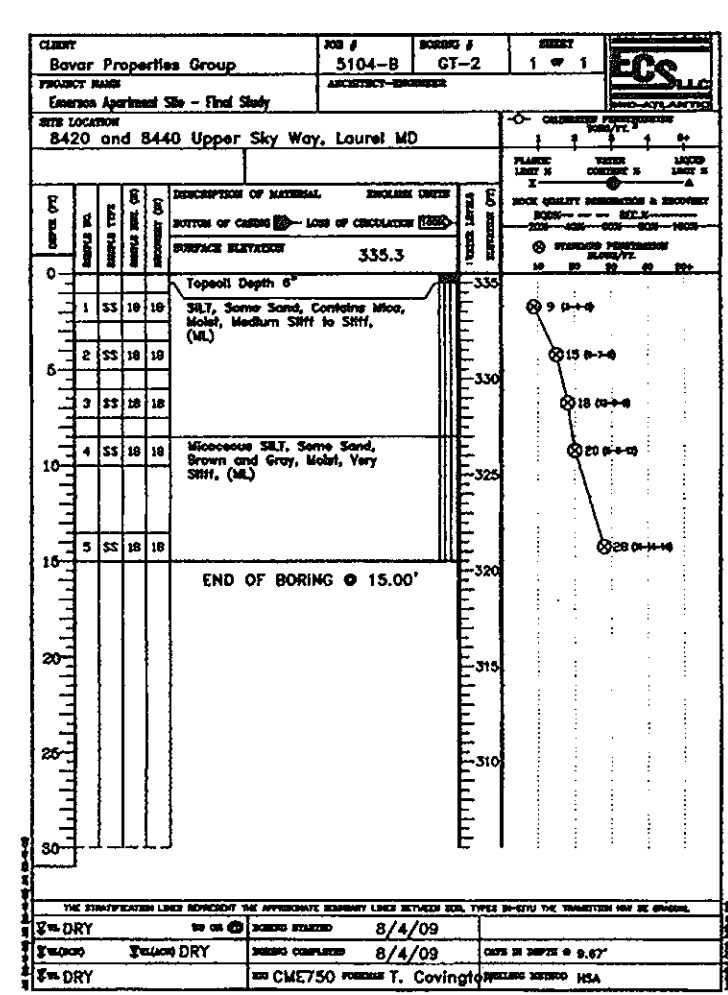
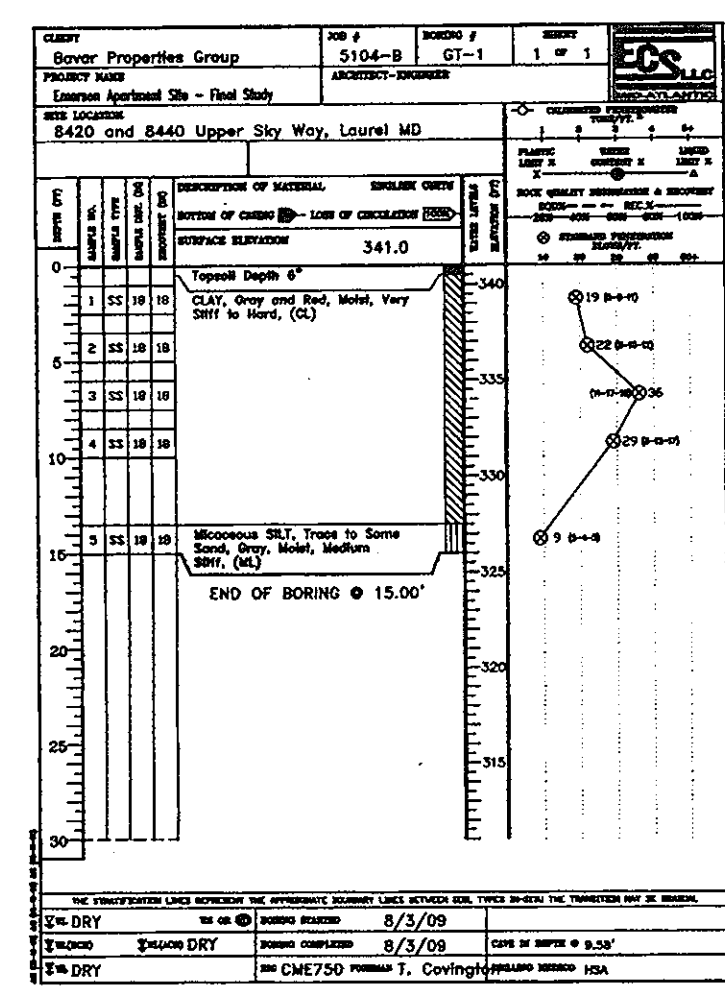
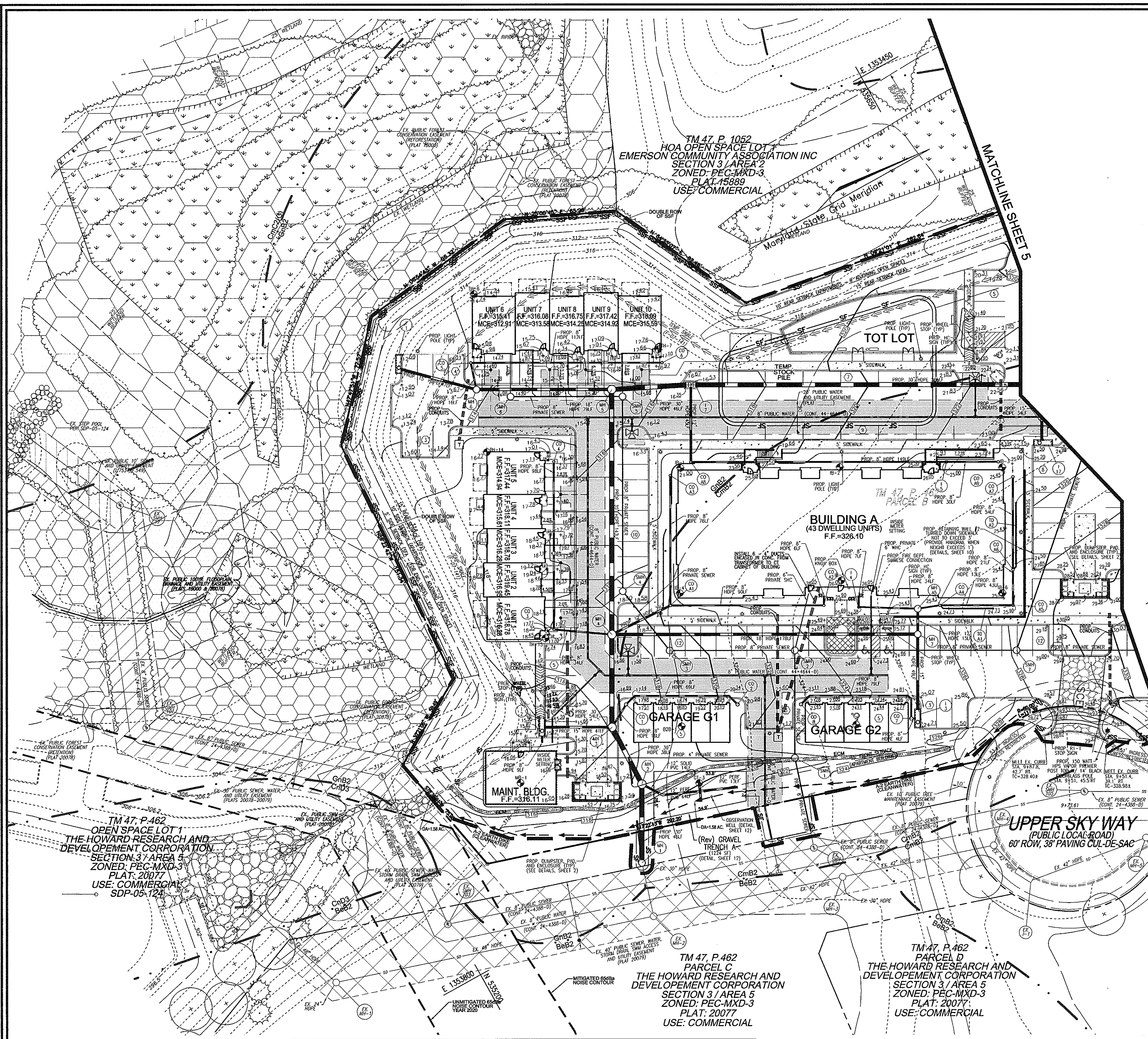


PROFESSIONAL CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 161893, EXPIRATION DATE: 09-27-2010

DESIGN BY: RHV
 DRAWN BY: DZ
 CHECKED BY: RHV
 DATE: APRIL 2010
 SCALE: 1"=30'
 W.O. NO.: 09-12

3 SHEET OF 27



- LEGEND:**
- EXISTING CURB AND GUTTER
 - PROPOSED CURB AND GUTTER (HO. CO. DETAIL R-301)
 - EXISTING UTILITY POLE
 - EXISTING LIGHT POLE
 - EXISTING MAILBOX
 - EXISTING SIGN
 - EXISTING SANITARY MANHOLE
 - EXISTING SANITARY LINE
 - EXISTING CLEANOUT
 - EXISTING FIRE HYDRANT
 - EXISTING WATER LINE
 - PROPOSED STORM DRAIN
 - PROPOSED STORM DRAIN INLET
 - EXISTING TREES (FIELD LOCATED)
 - EXISTING TREELINE (FIELD LOCATED)
 - EXISTING FENCE
 - PROPERTY LINE
 - RIGHT-OF-WAY LINE
 - ADJACENT PROPERTY LINE
 - PROPOSED SIDEWALK (HO. CO. DETAIL R-309)
 - PROP. LIGHT POLE
 - PROP. LIGHT BOLLARD
 - PROPOSED TREELINE
 - 20" PUBLIC WATER AND UTILITY EASEMENT
 - EX. 40" PUBLIC SEWER WATER, STORM DRAIN, SWM ACCESS AND UTILITY EASEMENT (PLAT 20078-20079)
 - EX. 30" PUBLIC SEWER WATER, AND UTILITY EASEMENT (PLATS 20078-20079)
 - EX. PUBLIC SWM, SWM ACCESS, SEWER, DRAINAGE AND UTILITY EASEMENT (PLATS 15588-5889)
 - EX. PUBLIC FOREST CONSERVATION EASEMENT (PLAT 20078)
 - EX. PUBLIC FOREST CONSERVATION EASEMENT (REFORESTATION) (PLAT 18000)
 - EX. WETLAND
 - SILT FENCE
 - SUPER SILT FENCE
 - LIMIT OF DISTURBANCE
 - CIP CURB INLET PROTECTION
 - AGIP AT GRADE INLET PROTECTION
 - STABILIZED CONSTRUCTION ENTRANCE
 - EARTH DIKES
 - EROSION CONTROL

OWNER/DEVELOPER
 EMERSON APARTMENTS, LLC.
 1966 GREENSPRING DRIVE, SUITE 400
 TIMONIUM, MD. 21093
 410-560-0300

BASIN TABLE (F-07-141)

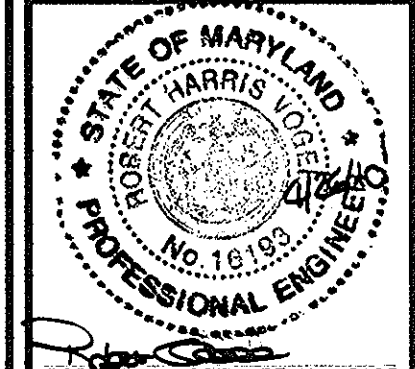
BASIN TYPE	BASIN
EXISTING DRAINAGE AREA: ACRES	2.79
INTERIM DRAINAGE AREA: ACRES	16.14*
PROPOSED DRAINAGE AREA: ACRES	16.14*
STORAGE REQUIRED (CF)	
CO	14,526
WET	29,052
DRY	29,052
TOTAL	58,104
STORAGE PROVIDED (CF)	
CO	13,907
WET	37,983
DRY	87,859
TOTAL	125,342
EXISTING GROUND ELEVATION	299.50
TOP EMBANKMENT ELEVATION	306.00
WEIR CHEST ELEVATION	299.50
DRY STORAGE ELEVATION	299.50
WET STORAGE ELEVATION	296.50
CLEANOUT ELEVATION	295.50
BOTTOM ELEVATION	294.50
BOTTOM DIMENSION	300x150
BASIN SIDE SLOPES	3:1
BASIN DEPTH	
CO	1.0
WET	2.0
DRY	5.0
WET STORAGE ZONE ELEVATION	294.50-296.50
DRY STORAGE ZONE ELEVATION	265-299.50
EXISTING 1-YR OUTFLOW (CFS)	1.0
PROPOSED (SEC) 1-YR OUTF (CFS)	1.0
ULTIMATE (SWM) 1-YR (CFS)	0.5

* ACTUAL DRAINAGE AREA IS 13.34 ACRES.

NO.	REVISION	DATE

SITE DEVELOPMENT PLAN
GRADING, SEDIMENT AND EROSION CONTROL PLAN
THE ENCLAVE AT EMERSON APARTMENTS
 PARCEL 'E' (SECTION 2, PHASE 8B)
 129 APARTMENTS AND 35 TOWNHOUSES
 PLAT 21131-32
 (L-11826.F.490) PARCEL 462; PARCEL 'E'
 HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET TEL: 410.461.7666
 ELLICOTT CITY, MD 21043 FAX: 410.461.8961



PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A duly licensed PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 18193, EXPIRATION DATE 09-27-2010

DESIGN BY: RHV
 DRAWN BY: DZ
 CHECKED BY: RHV
 DATE: APRIL 2010
 SCALE: 1"=30'
 W.O. NO.: 09-12

4 SHEET OF 27

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 [Signature]
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature]
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature]
 DIRECTOR

DATE: 5/13/10
 DATE: 5/13/10
 DATE: 5/13/10

BY THE DEVELOPER:
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

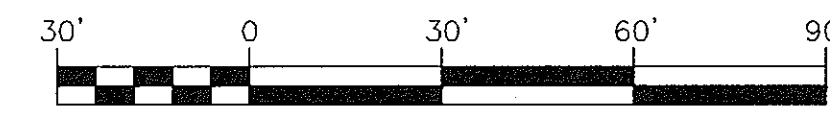
[Signature]
 SIGNATURE OF DEVELOPER
 DATE: 4/23/10

BY THE ENGINEER:
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature]
 SIGNATURE OF ENGINEER
 DATE: 4/24/10

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature]
 HOWARD S.O.D.
 DATE: 5/10



- LEGEND:**
- EXISTING CURB AND GUTTER
 - PROPOSED CURB AND GUTTER (HO. CO. DETAIL R-301)
 - EXISTING UTILITY POLE
 - EXISTING LIGHT POLE
 - EXISTING MAILBOX
 - EXISTING SIGN
 - EXISTING SANITARY MANHOLE
 - EXISTING SANITARY LINE
 - EXISTING CLEANOUT
 - EXISTING FIRE HYDRANT
 - EXISTING WATER LINE
 - PROPOSED STORM DRAIN
 - PROPOSED STORM DRAIN INLET
 - EXISTING TREES (FIELD LOCATED)
 - EXISTING TREELINE (FIELD LOCATED)
 - EXISTING FENCE
 - PROPERTY LINE
 - RIGHT-OF-WAY LINE
 - ADJACENT PROPERTY LINE
 - PROPOSED SCHEDULED (HO. CO. DETAIL R-305)
 - PROP. LIGHT POLE
 - PROP. LIGHT BOLLARD
 - PROPOSED TREELINE
 - 20" PUBLIC WATER AND UTILITY EASEMENT
 - EX. 40" PUBLIC SEWER, WATER, STORM DRAIN, SWM ACCESS AND UTILITY EASEMENT (PLAT 20079)
 - EX. 30" PUBLIC SEWER, WATER, AND UTILITY EASEMENT (PLATS 20078-20079)
 - EX. PUBLIC SWM, SWM ACCESS, SEWER, DRAINAGE AND UTILITY EASEMENT (PLATS 15888-889)
 - EX. PUBLIC FOREST CONSERVATION EASEMENT (RECREATION) (PLAT 20078)
 - EX. PUBLIC FOREST CONSERVATION EASEMENT (REForestation) (PLAT 18000)
 - SILT FENCE
 - SUPER SILT FENCE
 - LIMIT OF DISTURBANCE
 - CIP
 - AGIP
 - AT GRADE INLET PROTECTION
 - STABILIZED CONSTRUCTION ENTRANCE
 - EX. WETLAND
 - EARTH Dikes
 - EROSION CONTROL

OWNER/DEVELOPER
 EMERSON APARTMENTS, LLC
 1966 GREENSPRING DRIVE, SUITE 400
 TIMONIUM, MD. 21093
 410-560-0300

NO.	REVISION	DATE
2	REVISE PLAN TO ABANDON WHIC TO CLUBHOUSE, AND PROVIDE NEW WHIC.	11-08-2010

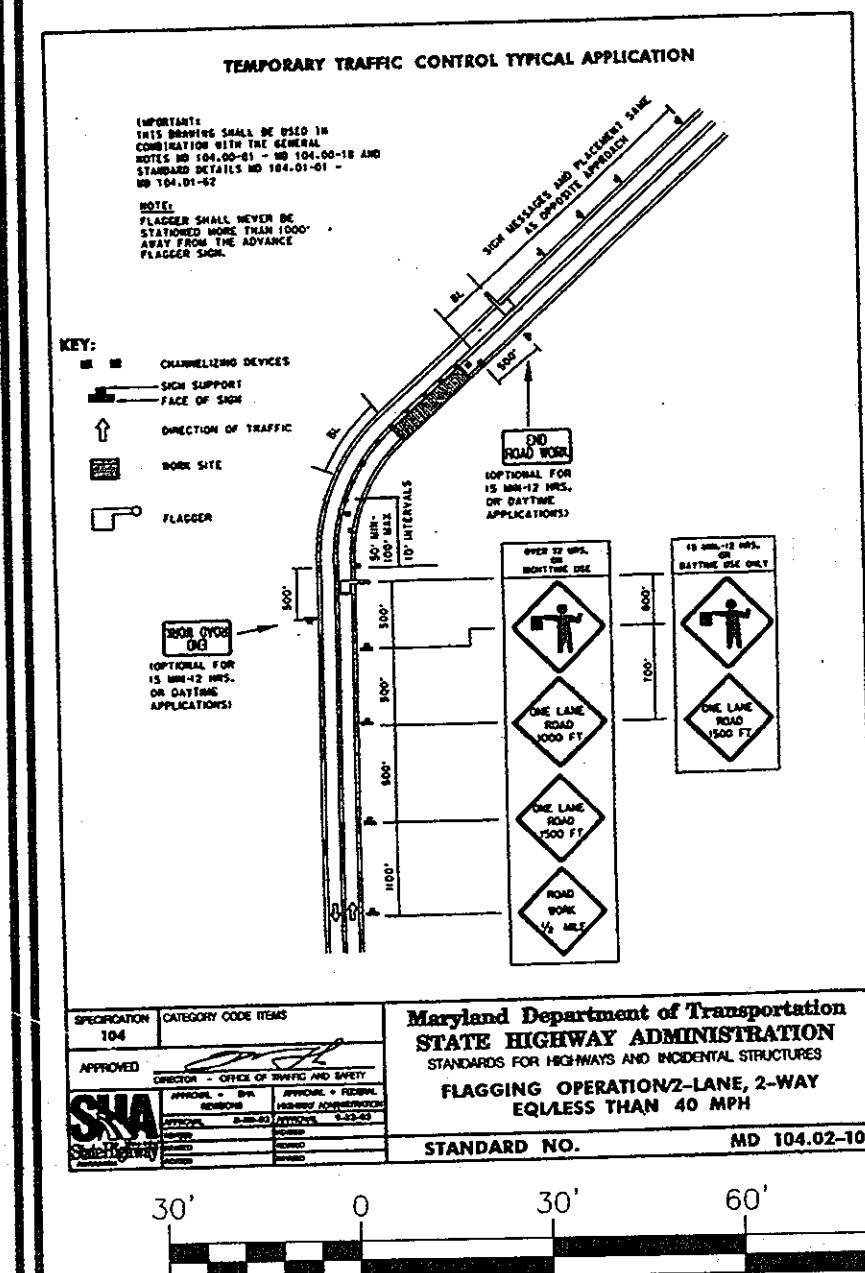
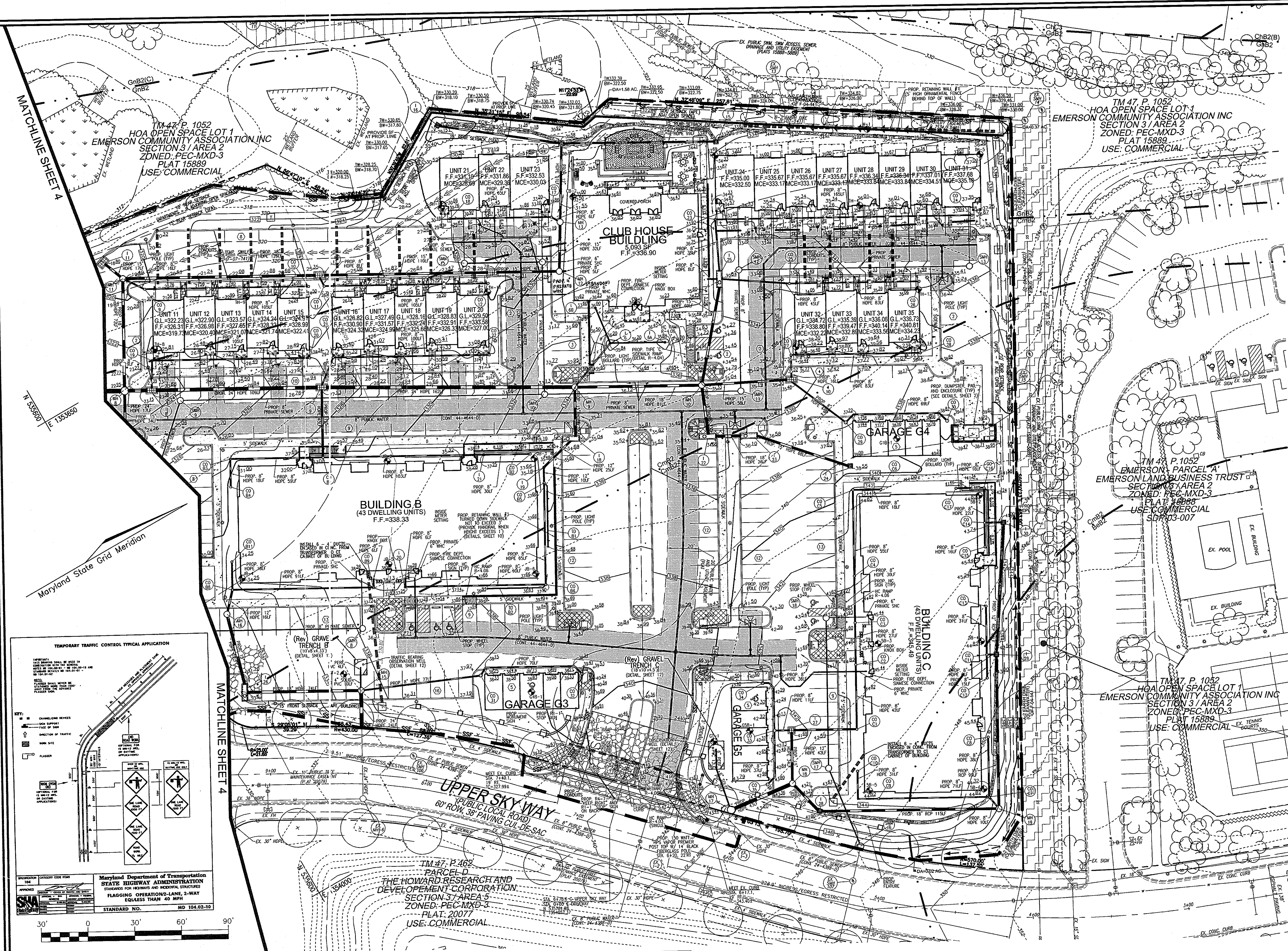
SITE DEVELOPMENT PLAN
GRADING, SEDIMENT AND EROSION CONTROL PLAN
THE ENCLAVE AT EMERSON APARTMENTS
 PARCEL 'E' (SECTION 2, PHASE 8B)
 129 APARTMENTS AND 35 TOWNHOUSES
 PLAT 21131-32
 (L.11826.F.490)
 TAX MAP 47 GRID B
 6TH ELECTION DISTRICT

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET
 ELLICOTT CITY, MD 21043
 TEL: 410-461-7666
 FAX: 410-461-8961

PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16183, EXPIRES DATE 09-27-2016

DESIGN BY: RHV
 DRAWN BY: DZ
 CHECKED BY: RHV
 DATE: APRIL 2010
 SCALE: 1"=30'
 W.O. NO.: 09-12

5 SHEET OF 27



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION
[Signature] 5/12/10
 DATE

CHIEF, DIVISION OF LAND DEVELOPMENT
[Signature] 5/18/10
 DATE

DIRECTOR
[Signature] 5/18/10
 DATE

BY THE DEVELOPER:

I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION OF THIS PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 4/23/10
 SIGNATURE OF DEVELOPER DATE

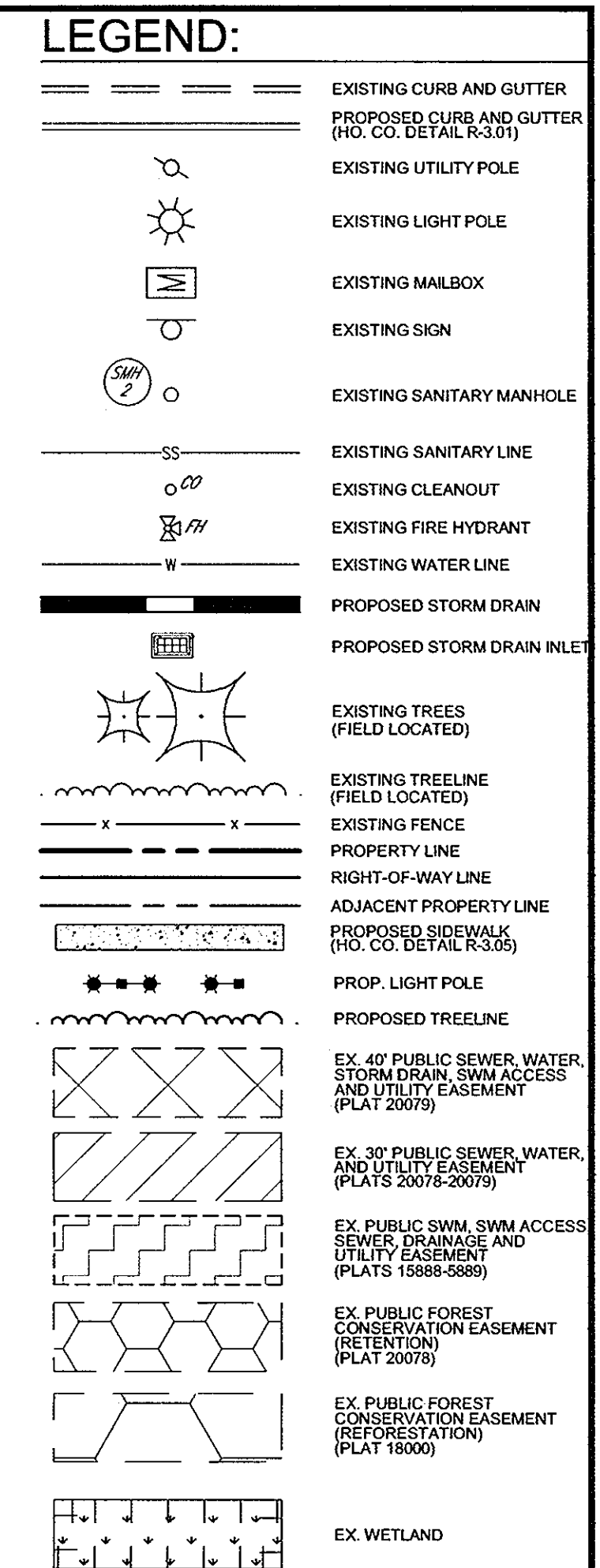
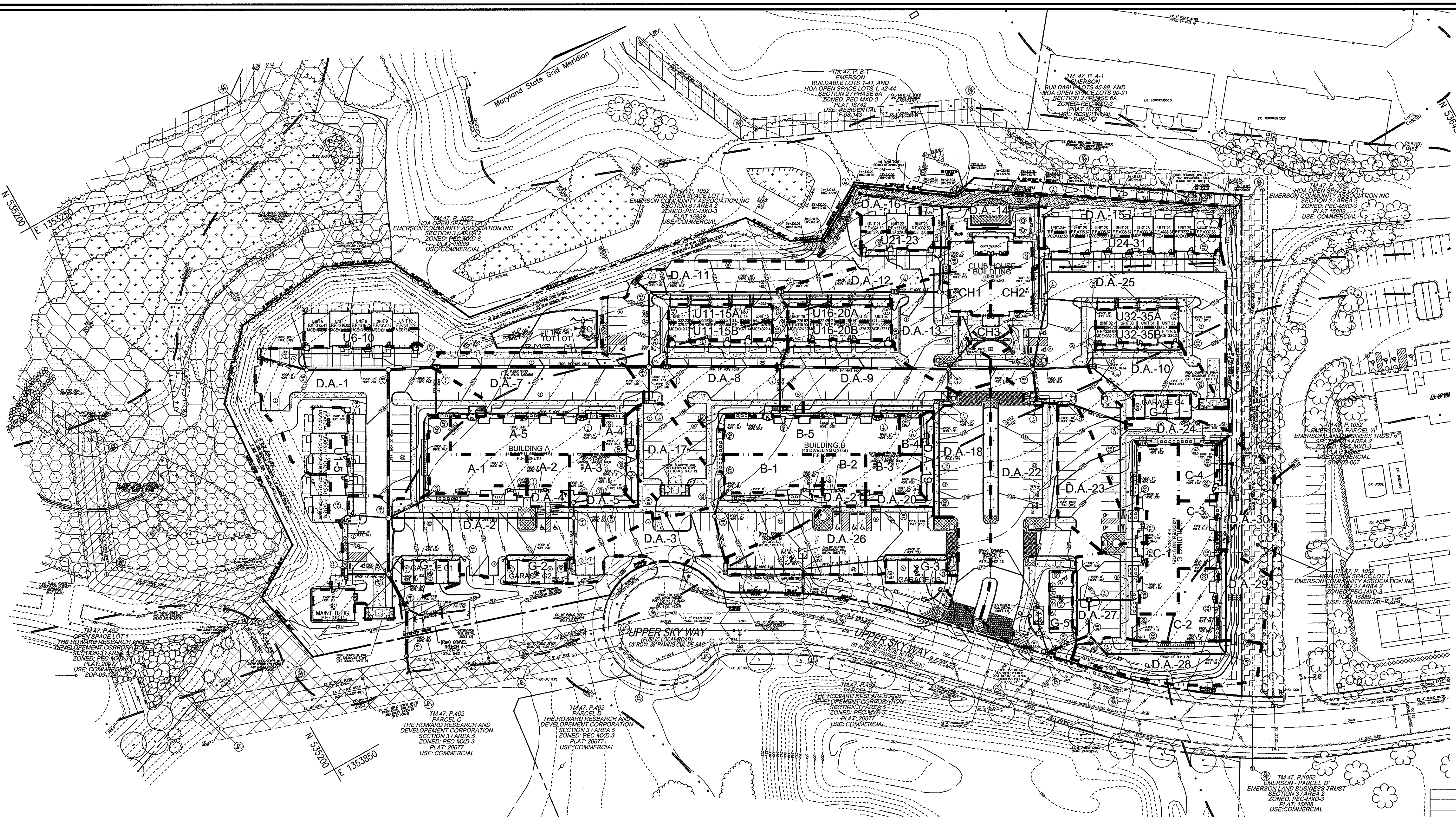
BY THE ENGINEER:

I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 5/11/10
 SIGNATURE OF ENGINEER DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

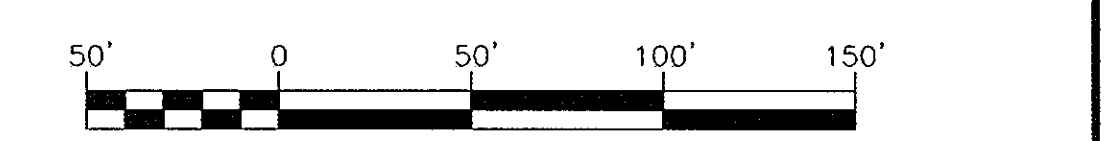
[Signature] 5/11/10
 HOWARD S.C.D. DATE



SOILS LEGEND

SYMBOL	DESCRIPTION	TYPE
GnB2	GLENVALE SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED	C
CmB2	CHILLUM SILT LOAM, 1 TO 5 PERCENT SLOPES, MODERATELY ERODED	C
BeB2	BELTSVILLE SILT LOAM, 1 TO 5 PERCENT SLOPES, MODERATELY ERODED	C

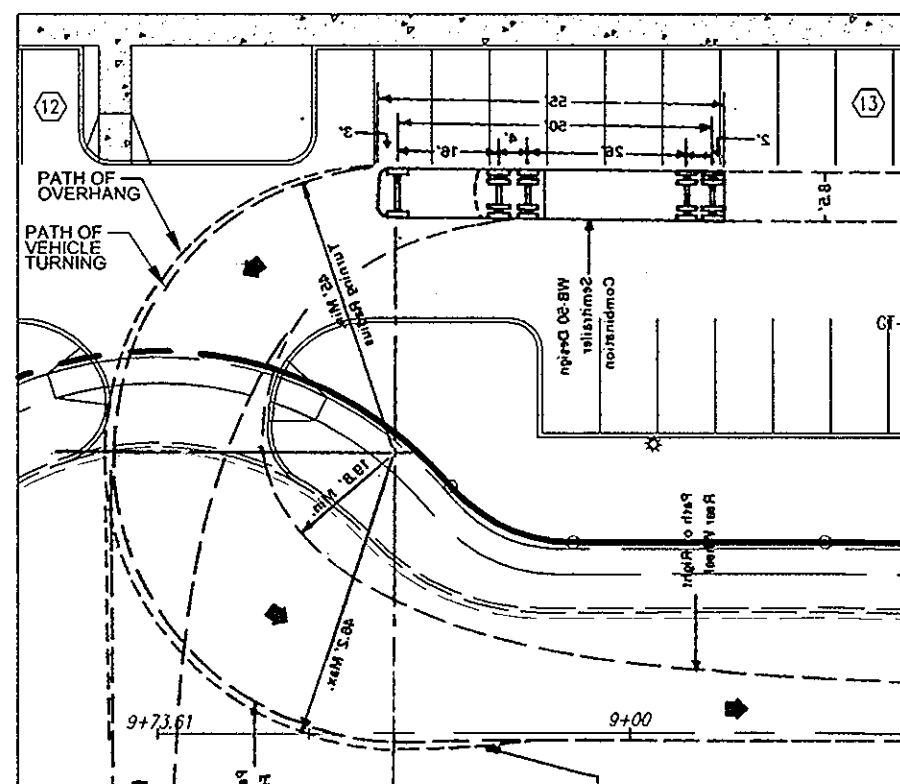
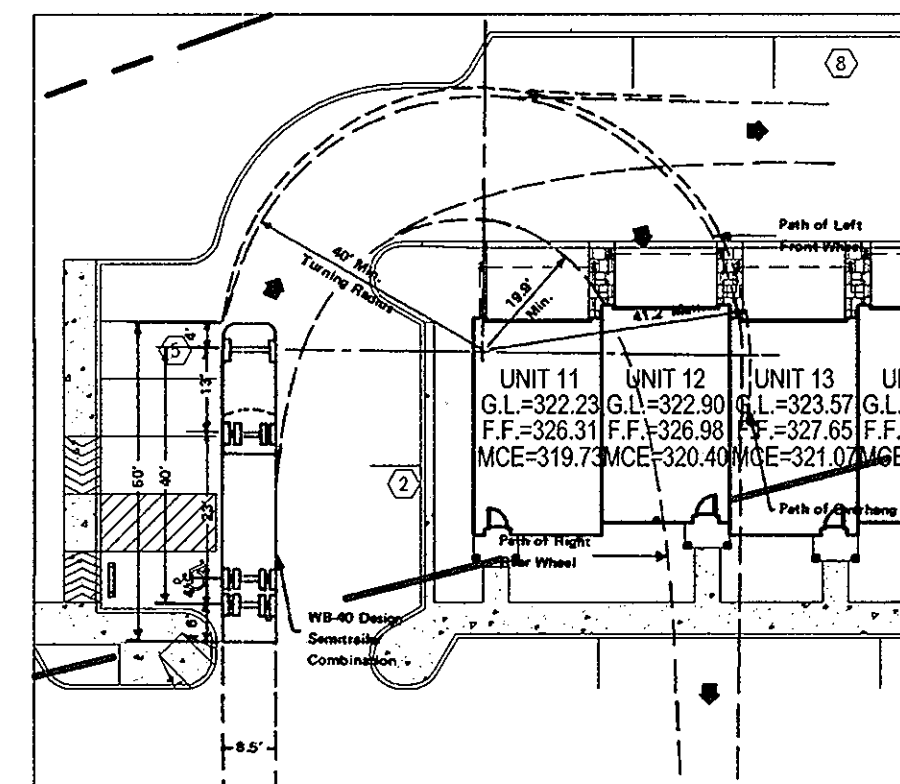
NOTES:
 1. SOILS INFORMATION WAS TAKEN FROM THE USDA WEB SOIL SURVEY, WWW.WEBSOILSURVEY.NRCS.USDA.GOV.
 2. THERE ARE NO SLOPES IN EXCESS OF 15% ON THE PROPERTY.



OWNER/DEVELOPER
 EMERSON APARTMENTS, LLC.
 1966 GREENSPRING DRIVE, SUITE 400
 TIMONIUM, MD, 21093
 410-560-0300

STORM DRAIN DRAINAGE AREAS

DA	AREA (AC)	% IMP.	'C' FACTOR	DA	AREA (AC)	% IMP.	'C' FACTOR	DA	AREA (AC)	% IMP.	'C' FACTOR	DA	AREA (AC)	% IMP.	'C' FACTOR
1	0.46	73	0.68	16	0.06	41	0.46	A-1	0.09	100	0.86	U24-31	0.07	100	0.86
2	0.46	82	0.74	17	0.13	80	0.73	A-2	0.03	100	0.86	CH-2	0.06	100	0.86
3	0.22	76	0.70	18	0.22	88	0.78	A-3	0.05	100	0.86	CH-3	0.04	30	0.39
4	0.02	16	0.30	19	0.02	0	0.19	A-4	0.02	100	0.86	G-1	0.03	100	0.86
5	0.02	0	0.19	20	0.02	0	0.19	A-5	0.13	100	0.86	G-2	0.03	100	0.86
6	0.04	16	0.30	21	0.02	16	0.30	B-1	0.08	100	0.86	G-3	0.03	100	0.86
7	0.23	85	0.76	22	0.39	69	0.66	B-2	0.03	100	0.86	G-4	0.03	100	0.86
8	0.19	75	0.69	23	0.15	89	0.79	B-3	0.05	100	0.86	G-5	0.03	100	0.86
9	0.22	76	0.70	24	0.05	18	0.31	B-4	0.02	100	0.86	U1-5	0.04	100	0.86
10	0.14	76	0.70	25	0.56	78	0.71	B-5	0.15	100	0.86	U6-10	0.04	100	0.86
11	0.36	79	0.72	26	0.25	94	0.82	C-1	0.13	100	0.86	U11-15A	0.04	100	0.86
12	0.12	79	0.72	27	0.13	76	0.70	C-2	0.08	100	0.86	U11-15B	0.04	100	0.86
13	0.15	64	0.62	28	0.15	5	0.22	C-3	0.06	100	0.86	U16-20A	0.04	100	0.86
14	0.13	40	0.46	29	0.09	0	0.19	C-4	0.05	100	0.86	U16-20B	0.04	100	0.86
15	0.14	54	0.55	30	0.14	0	0.19	MB	0.03	100	0.86	U21-23	0.03	100	0.86



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 [Signature]
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature]
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature]
 DIRECTOR

BY THE DEVELOPER:
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.
 [Signature]
 SIGNATURE OF DEVELOPER
 4/23/10
 DATE

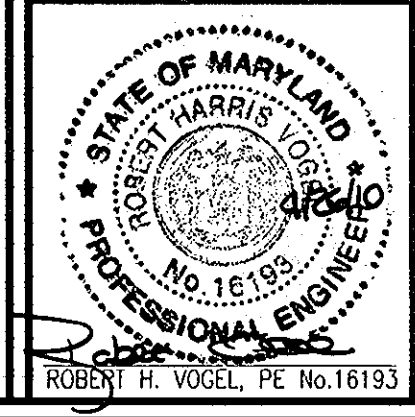
BY THE ENGINEER:
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 [Signature]
 SIGNATURE OF ENGINEER
 4/23/10
 DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 [Signature]
 HOWARD S.C.D.
 5/1/10
 DATE

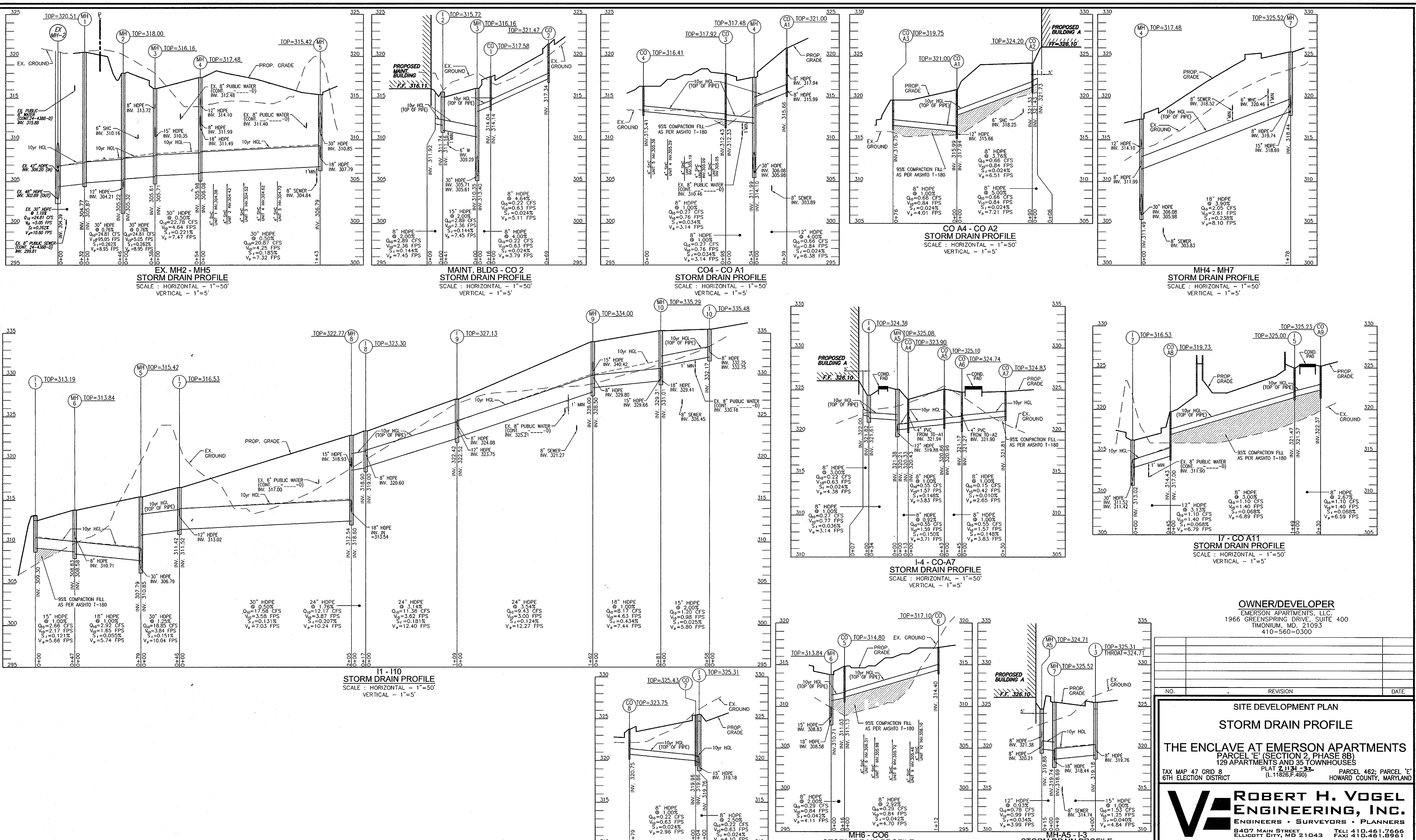
NO.	REVISION	DATE

SITE DEVELOPMENT PLAN
STORM DRAIN DRAINAGE AREA MAP AND SOILS MAP
THE ENCLAVE AT EMERSON APARTMENTS
 PARCEL 'E' (SECTION 2, PHASE 8B)
 129 APARTMENTS AND 35 TOWNHOUSES
 PLAT 2184-32
 (L-11826,F-490)
 TAX MAP 47 GRID 8
 6TH ELECTION DISTRICT
 PARCEL 462; PARCEL 'E'
 HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET
 ELLICOTT CITY, MD 21043
 TEL: 410.461.7666
 FAX: 410.461.8961



PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2010.
 DESIGN BY: RHY
 DRAWN BY: DVZ
 CHECKED BY: RHV
 DATE: APRIL 2010
 SCALE: 1"=50'
 W.O. NO.: 09-12
 7 SHEET OF 27



OWNER/DEVELOPER
 EMERSON APARTMENTS, LLC.
 1966 GREENSPRING DRIVE, SUITE 400
 TIMONIUM, MD. 21093
 410-560-0300

NO.	REVISION	DATE

SITE DEVELOPMENT PLAN
STORM DRAIN PROFILE
THE ENCLAVE AT EMERSON APARTMENTS
 PARCEL 'E' (SECTION 2, PHASE 8B)
 129 APARTMENTS AND 35 TOWNHOUSES
 PLAT # 113-23 (L-11826.F.490)
 TAX MAP 47 GRID 8
 6TH ELECTION DISTRICT

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET
 ELLICOTT CITY, MD 21043
 TEL: 410.461.7666
 FAX: 410.461.8961

PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 06-27-2010.

DESIGN BY: RHV
 DRAWN BY: DZ
 CHECKED BY: RHV
 DATE: APRIL 2010
 SCALE: AS SHOWN
 W.O. NO.: 09-12

8 SHEET OF 27

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 5/18/10
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
[Signature] 5/18/10
 CHIEF, DIVISION OF LAND DEVELOPMENT
[Signature] 5/18/10
 DIRECTOR

BY THE DEVELOPER:

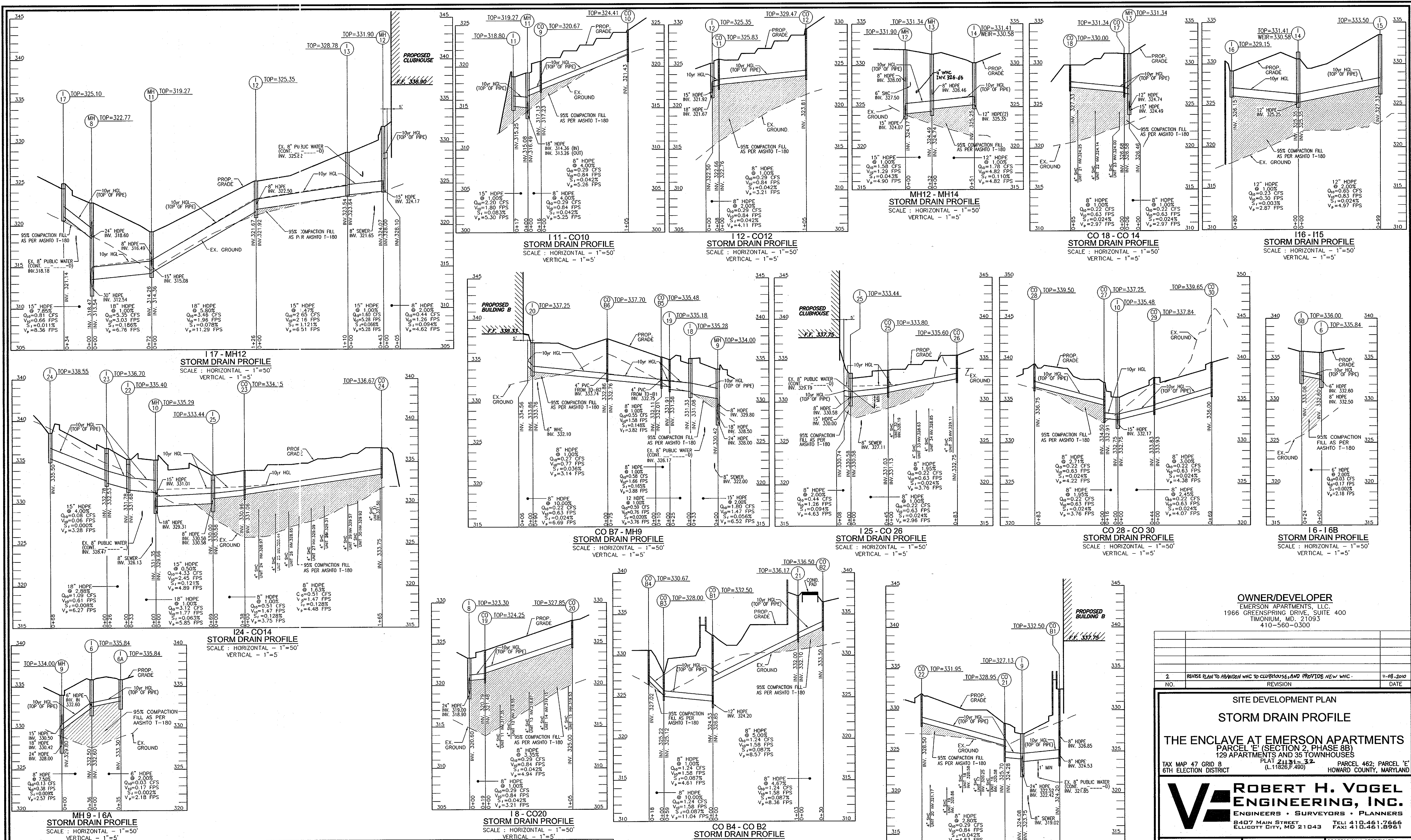
[Signature] 4/23/10
 SIGNATURE OF DEVELOPER
 DATE

BY THE ENGINEER:

[Signature] 4/23/10
 SIGNATURE OF ENGINEER
 DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

[Signature] 5/1/10
 HOWARD S.C.D. DATE



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 5/13/10
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
[Signature] 5/13/10
 CHIEF, DIVISION OF LAND DEVELOPMENT
[Signature] 5/13/10
 DIRECTOR

BY THE DEVELOPER:

[Signature] 4/23/10
 SIGNATURE OF DEVELOPER
 DATE

BY THE ENGINEER:

[Signature] 4/23/10
 SIGNATURE OF ENGINEER
 DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 5/13/10
 HOWARD S.C.D.
 DATE

OWNER/DEVELOPER
 EMERSON APARTMENTS, LLC
 1966 GREENSPRING DRIVE, SUITE 400
 TIMONIUM, MD. 21093
 410-560-0300

NO.	REVISION	DATE
2	REVISE PLAN TO ABANDON WIC TO CLUBHOUSE, AND PROVIDE NEW WIC.	11-08-2010

SITE DEVELOPMENT PLAN
 STORM DRAIN PROFILE

THE ENCLAVE AT EMERSON APARTMENTS
 PARCEL 'E' (SECTION 2, PHASE 8B)
 129 APARTMENTS AND 35 TOWNHOUSES
 TAX MAP 47 GRID B PLAT 211.31-32 PARCEL 462; PARCEL 'E'
 6TH ELECTION DISTRICT (L11826.F.480) HOWARD COUNTY, MARYLAND

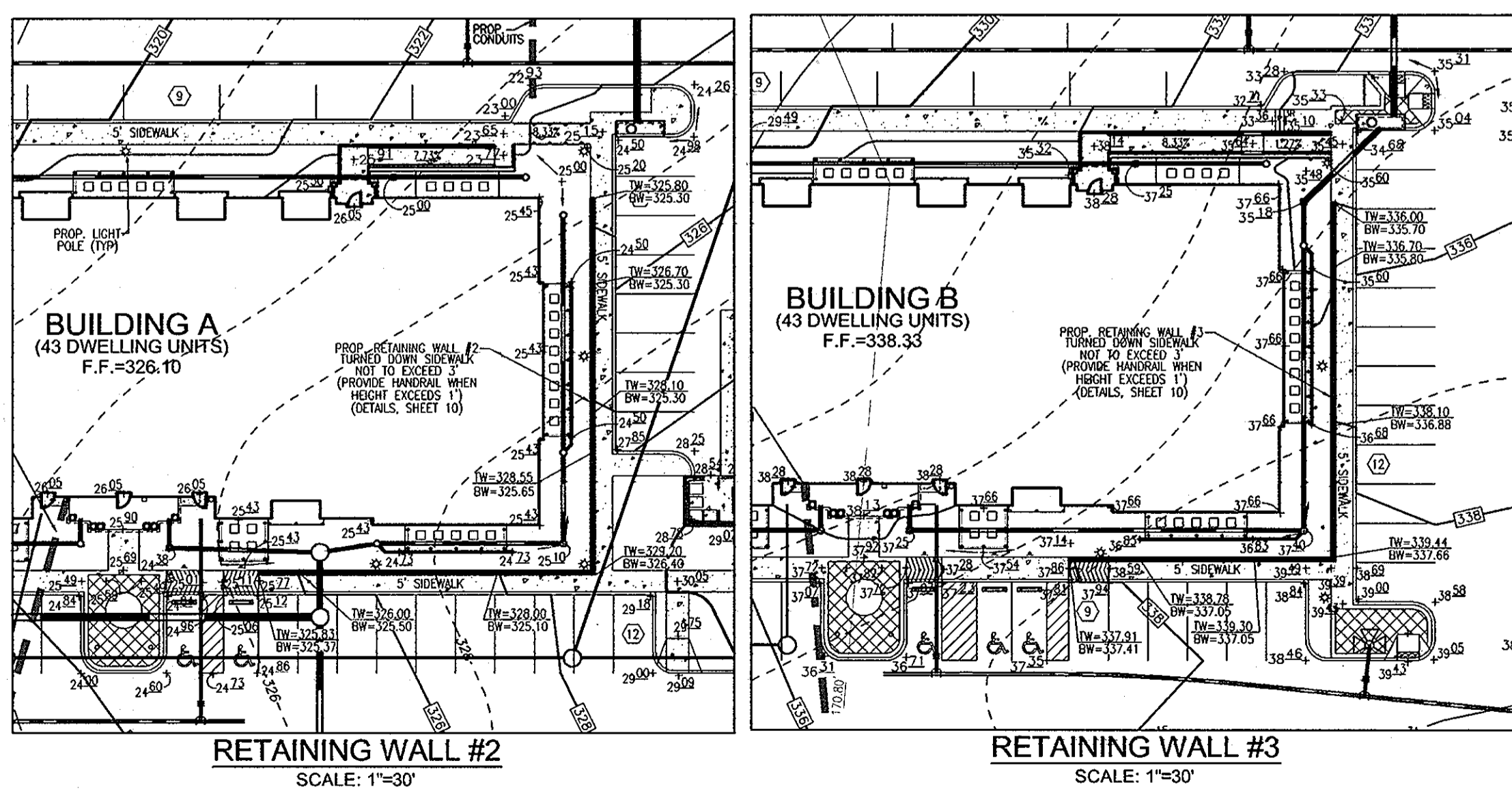
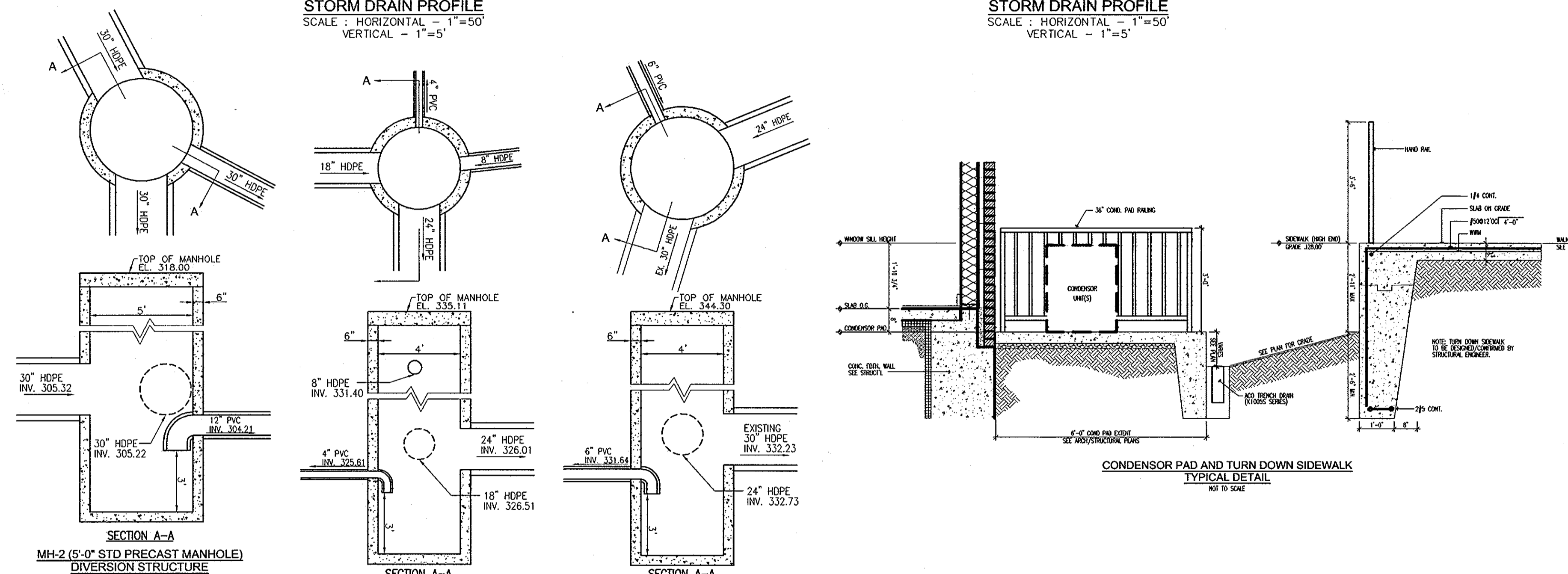
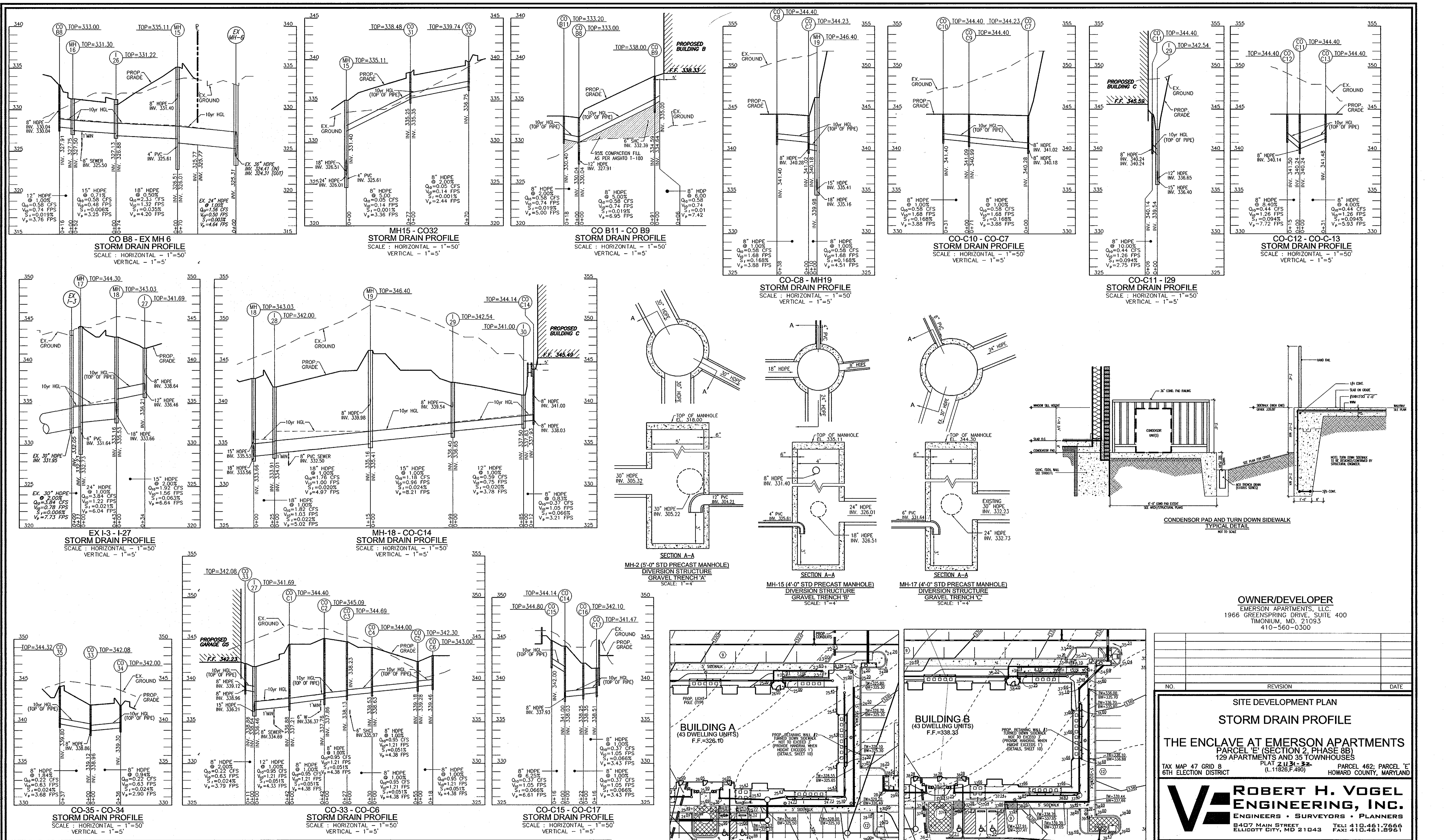
ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET TEL: 410.461.7666
 ELLICOTT CITY, MD 21043 FAX: 410.461.8961

PROFESSIONAL CERTIFICATE

STATE OF MARYLAND
 ROBERT H. VOGEL
 PROFESSIONAL ENGINEER
 NO. 151193
 EXPIRES 09-27-2010

DESIGN BY: RHV
 DRAWN BY: DZ
 CHECKED BY: RHV
 DATE: APRIL 2010
 SCALE: AS SHOWN
 W.O. NO.: 09-12

9 SHEET OF 27



OWNER/DEVELOPER
 EMERSON APARTMENTS, LLC.
 1966 GREENSPRING DRIVE, SUITE 400
 TIMONIUM, MD, 21093
 410-560-0300

NO. _____ REVISION _____ DATE _____

SITE DEVELOPMENT PLAN
STORM DRAIN PROFILE

THE ENCLAVE AT EMERSON APARTMENTS
 PARCEL 'E' (SECTION 2, PHASE 8B)
 129 APARTMENTS AND 35 TOWNHOUSES
 PLAT 2113, 2-2
 (L11826.F490) PARCEL 462; PARCEL 'E'
 HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET TEL: 410.461.7666
 ELLICOTT CITY, MD 21043 FAX: 410.461.8961

DESIGN BY: RHV
 DRAWN BY: DZ
 CHECKED BY: RHV
 DATE: APRIL 2010
 SCALE: AS SHOWN
 W.O. NO.: 09-12

PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16183, EXPIRATION DATE 08-27-2010.

10 SHEET OF 27

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Keith Shadlock 5/12/10
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Thomas J. Antler 5/18/10
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Thomas J. Antler 5/18/10
 DIRECTOR DATE

BY THE DEVELOPER:

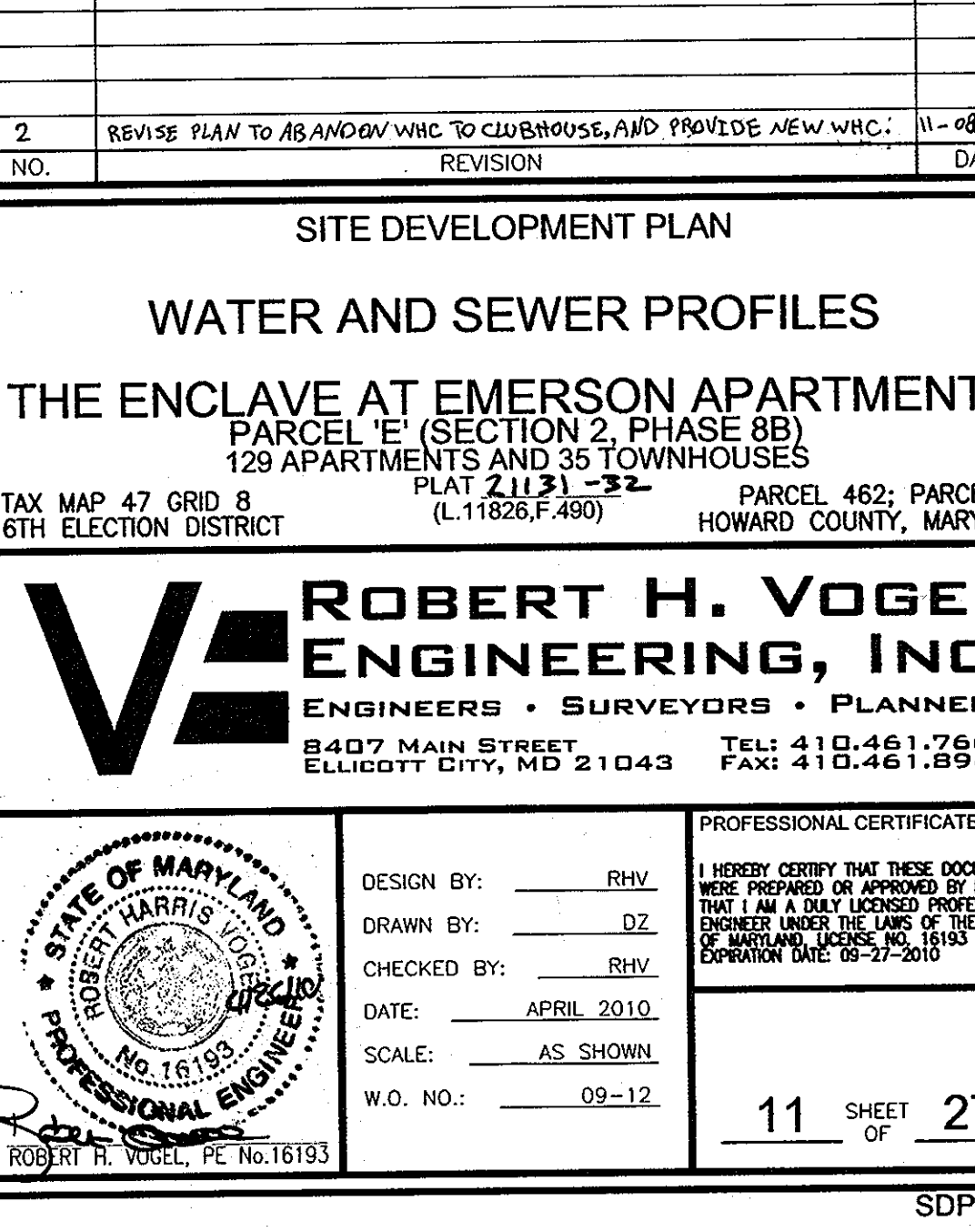
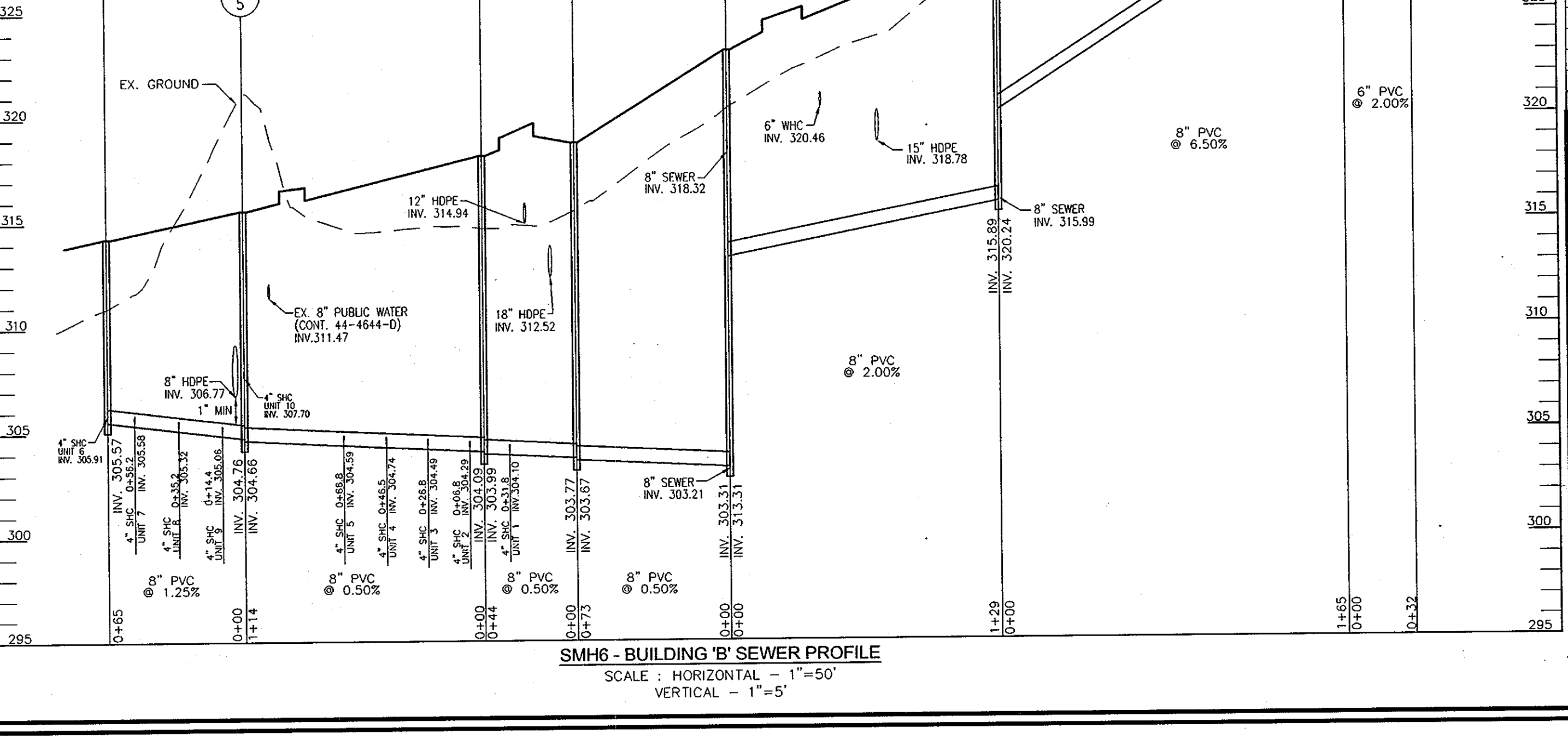
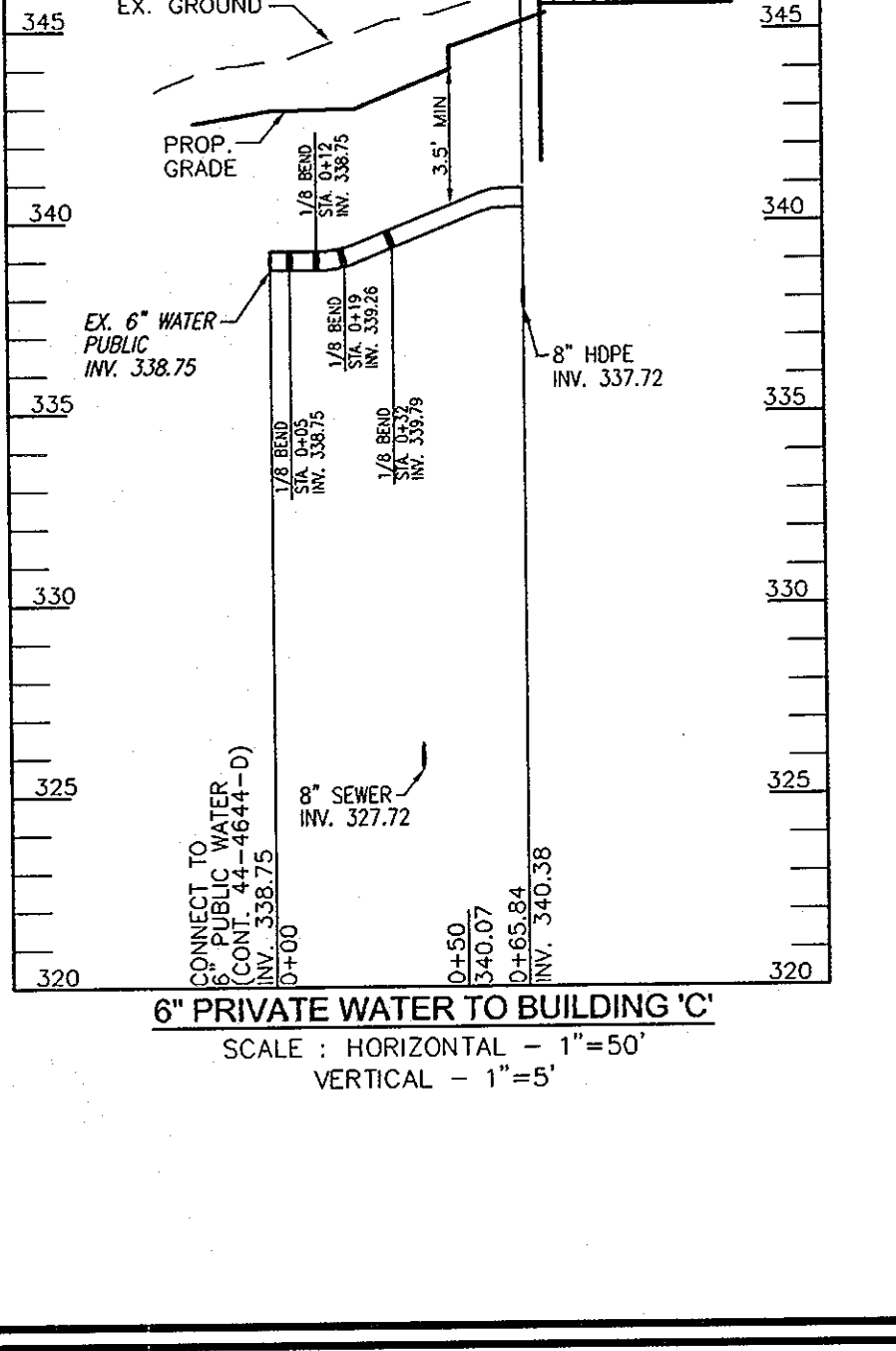
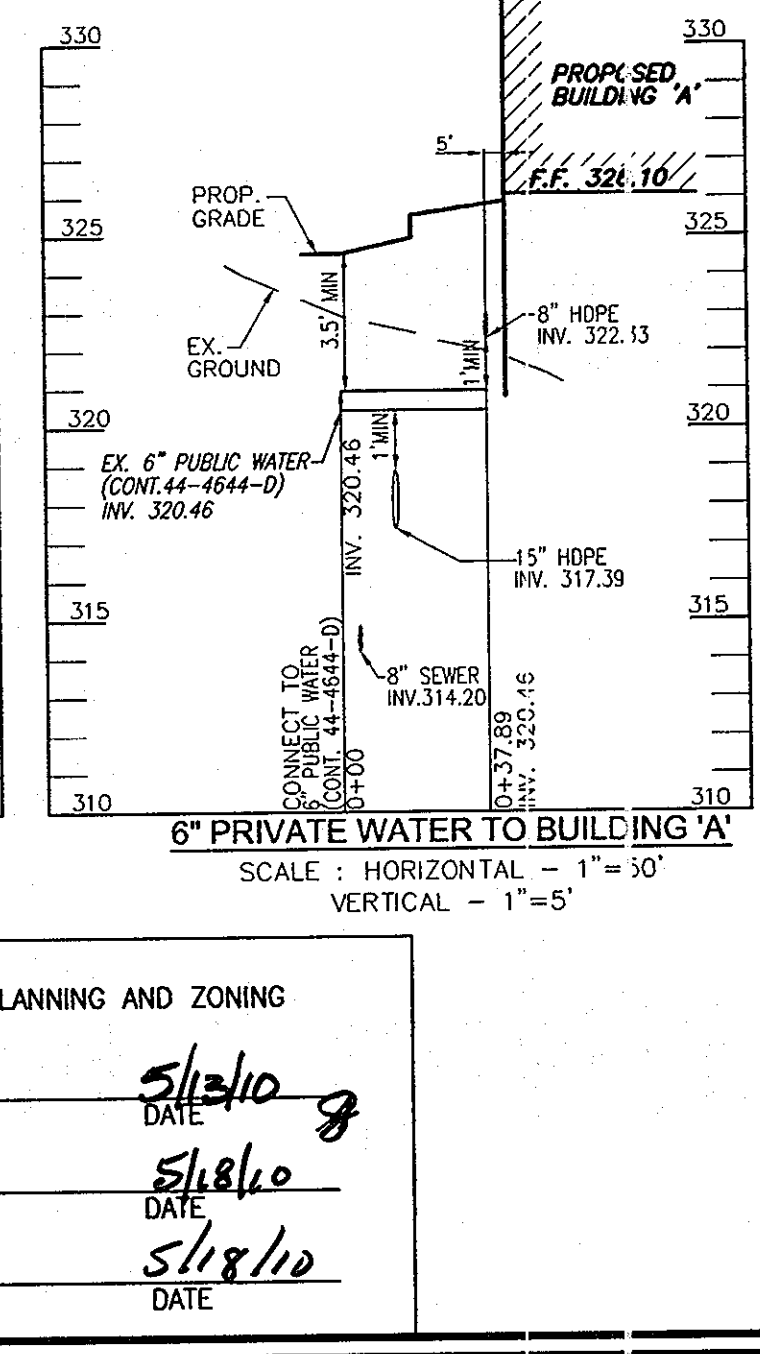
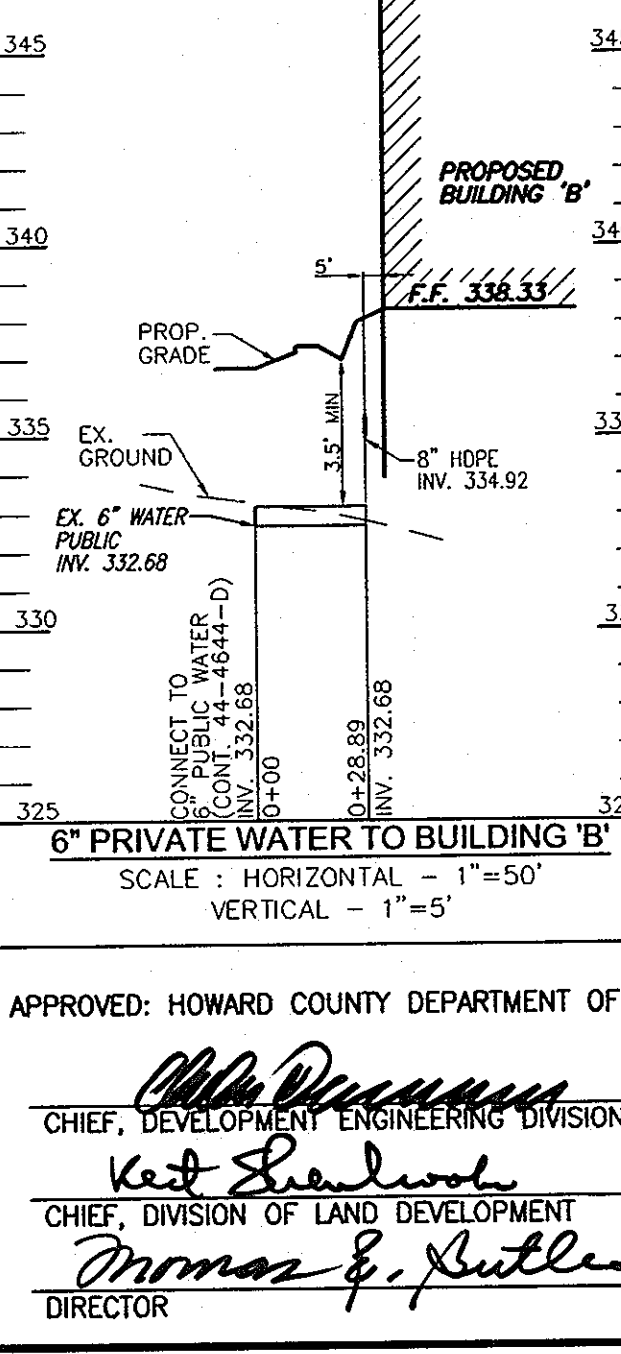
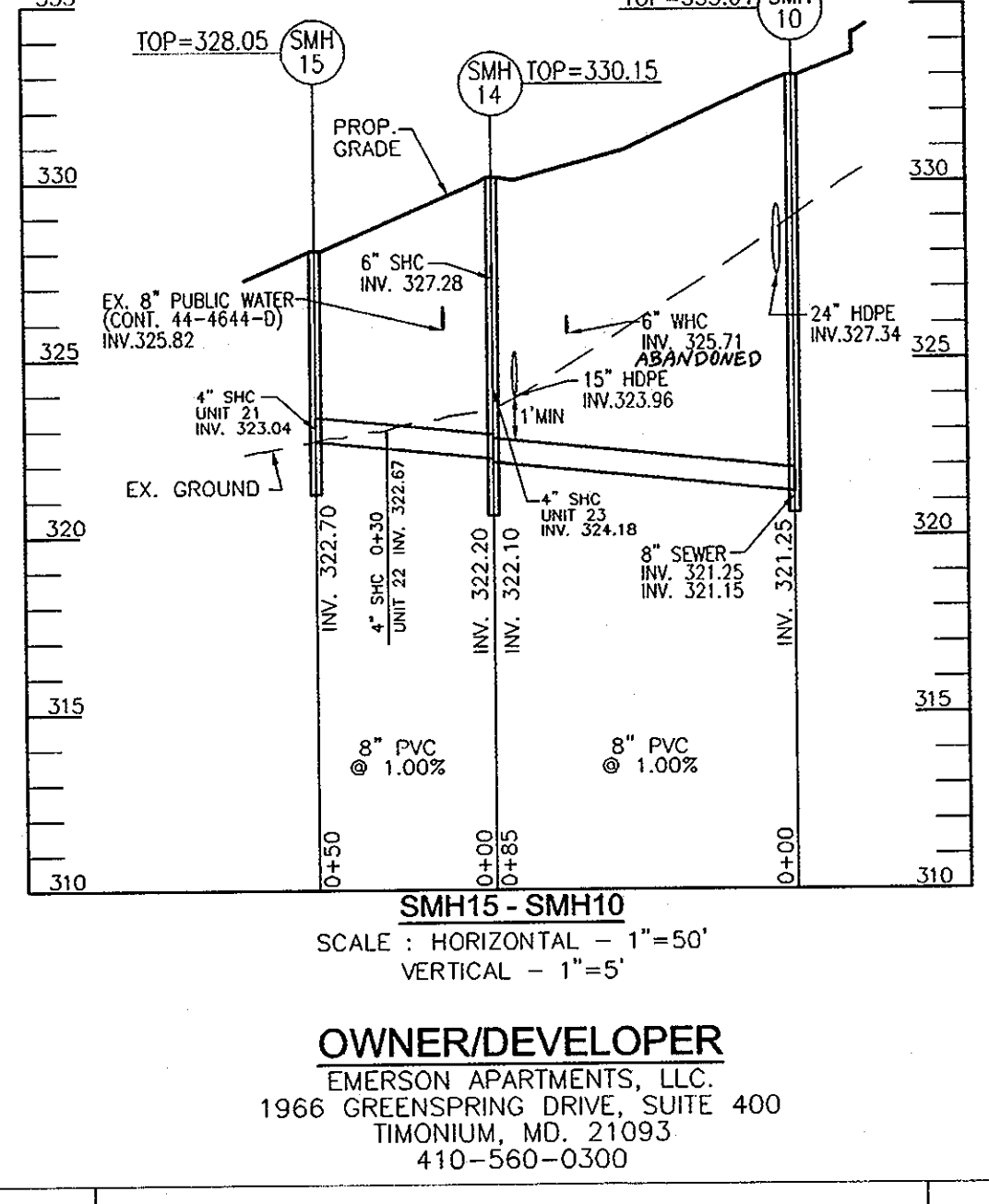
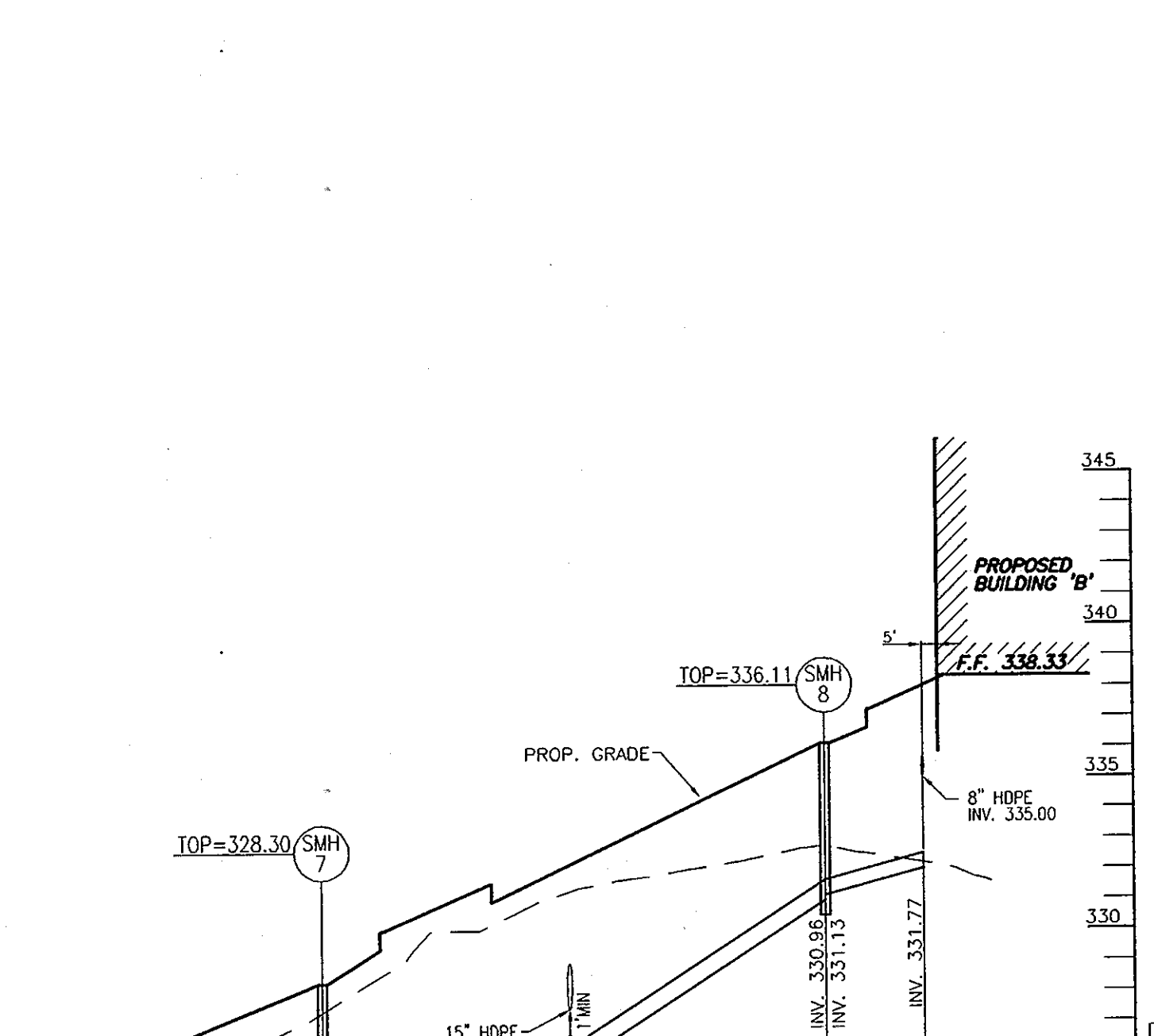
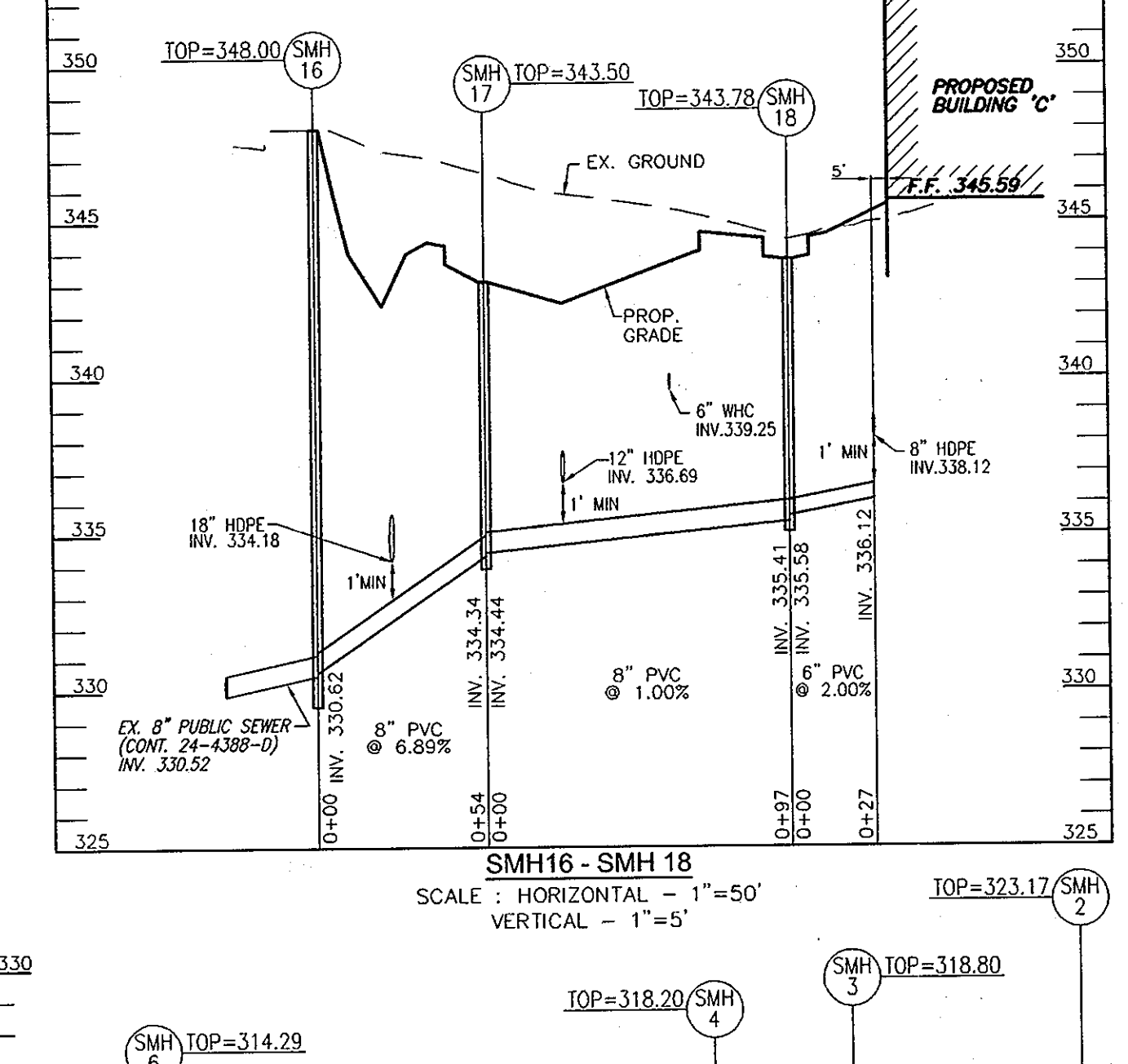
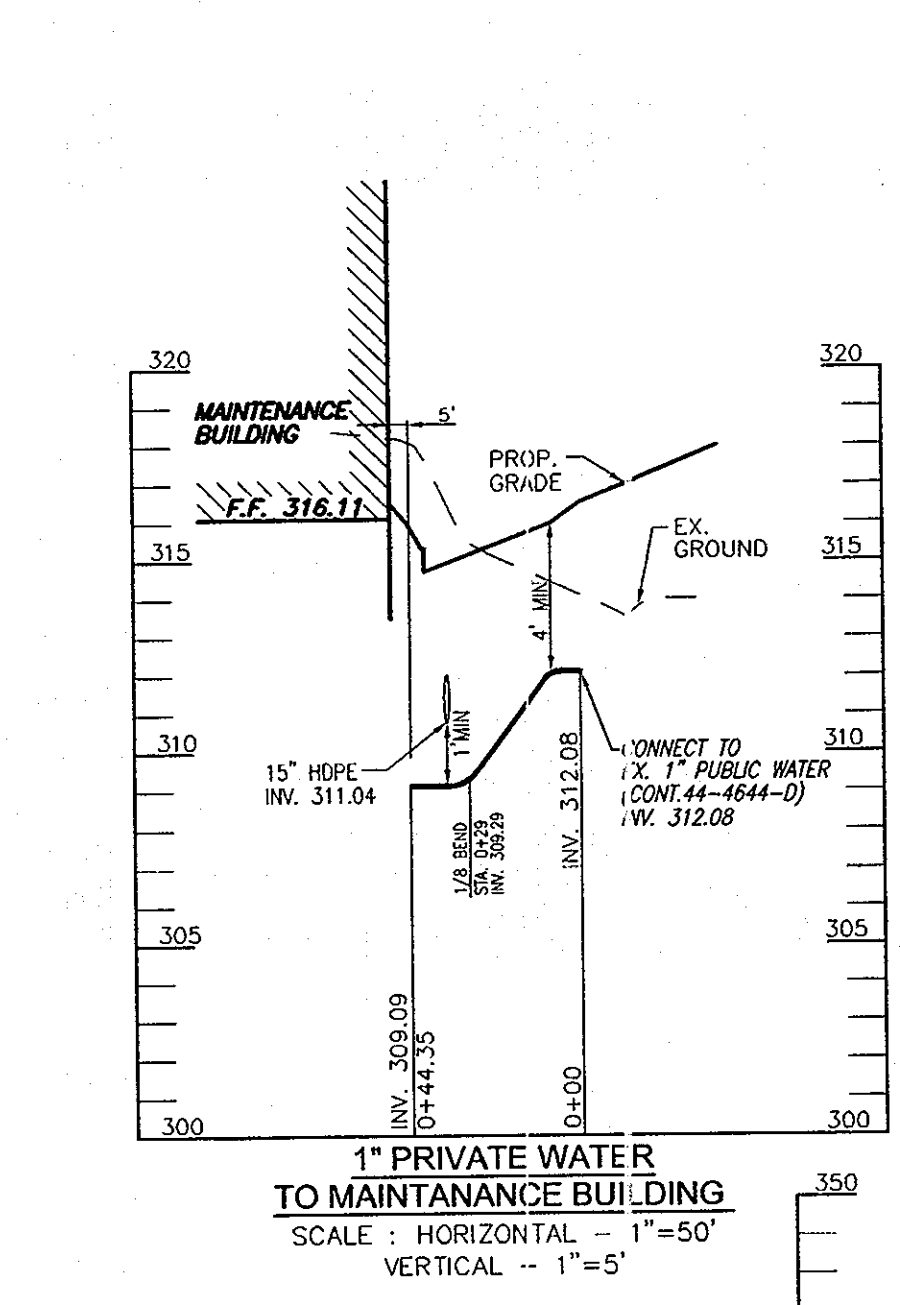
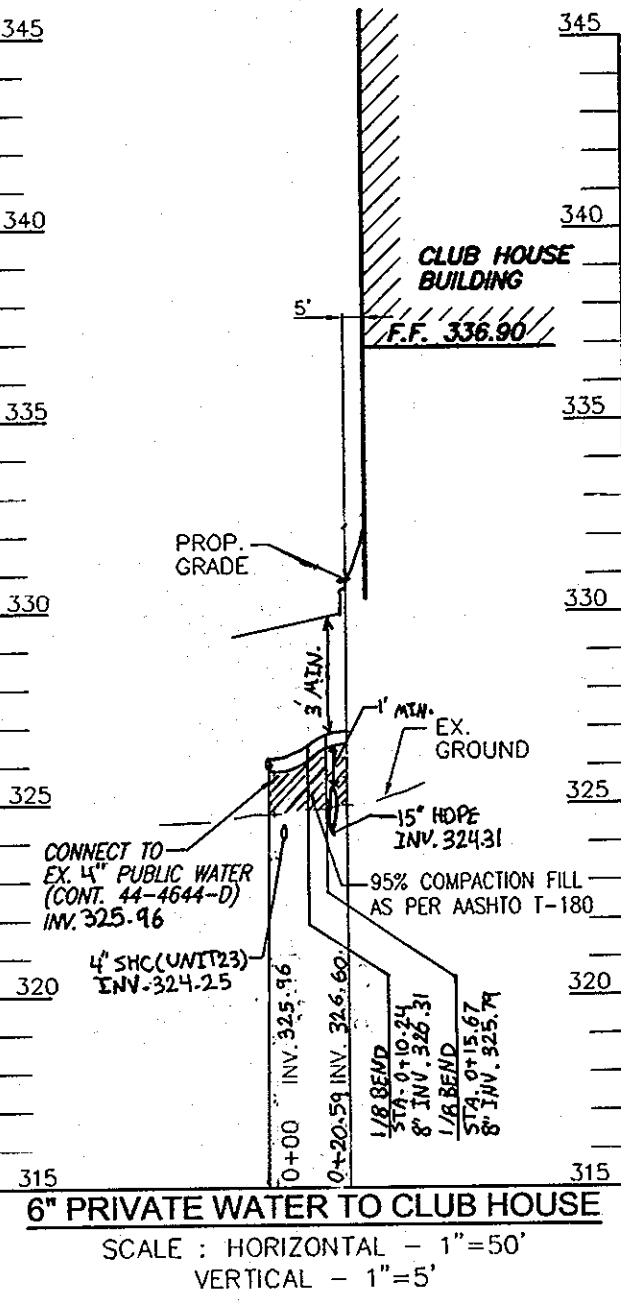
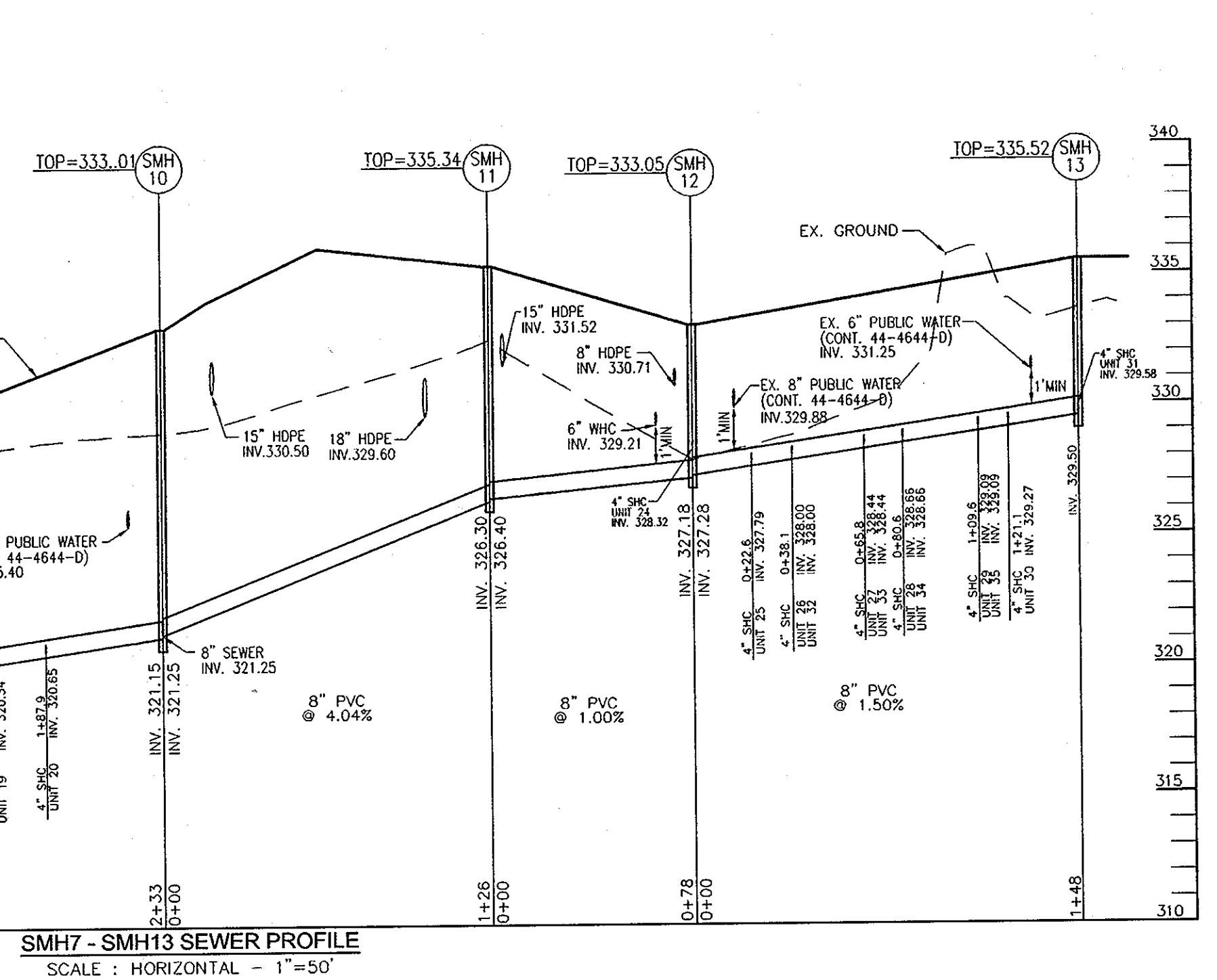
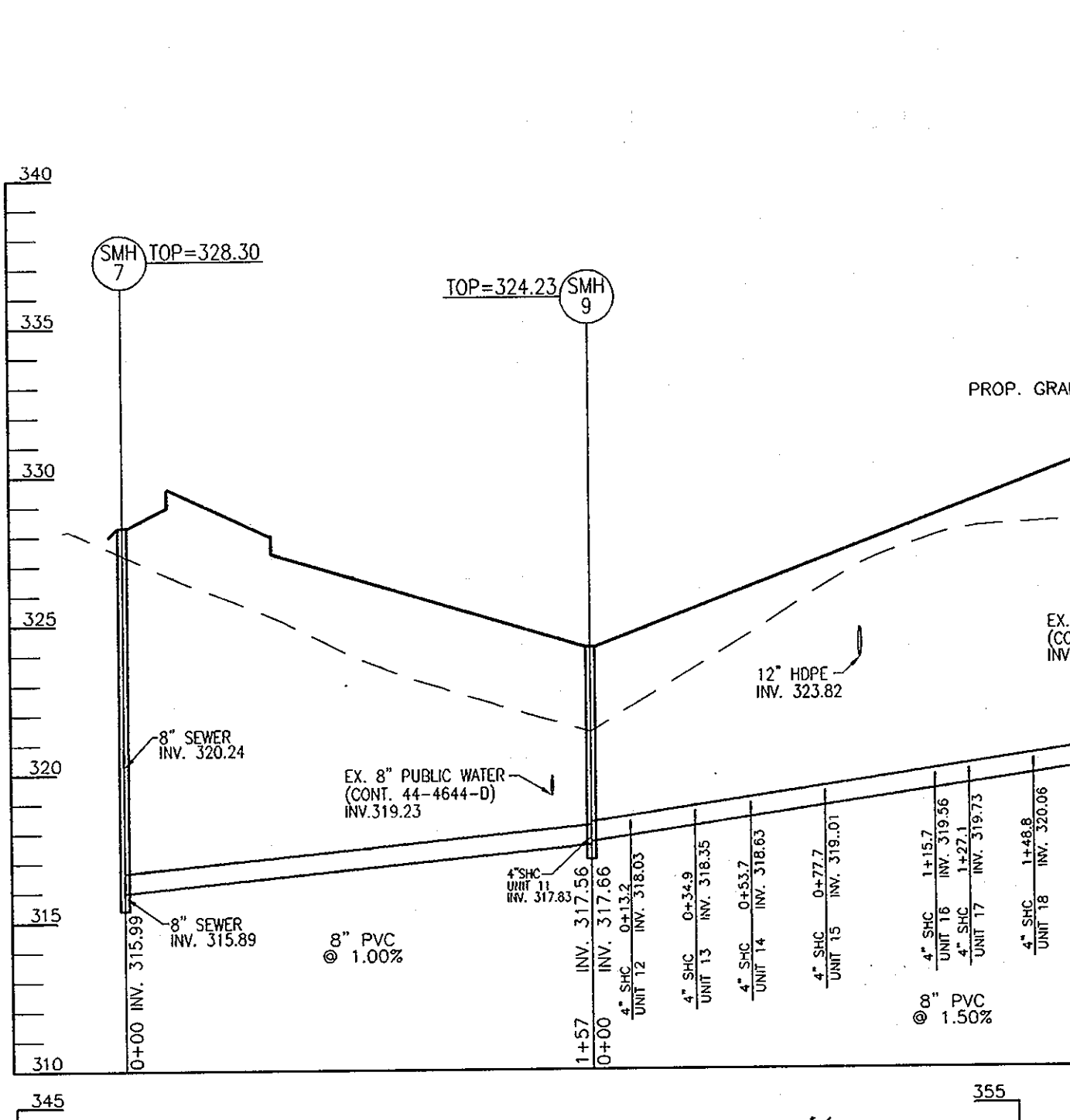
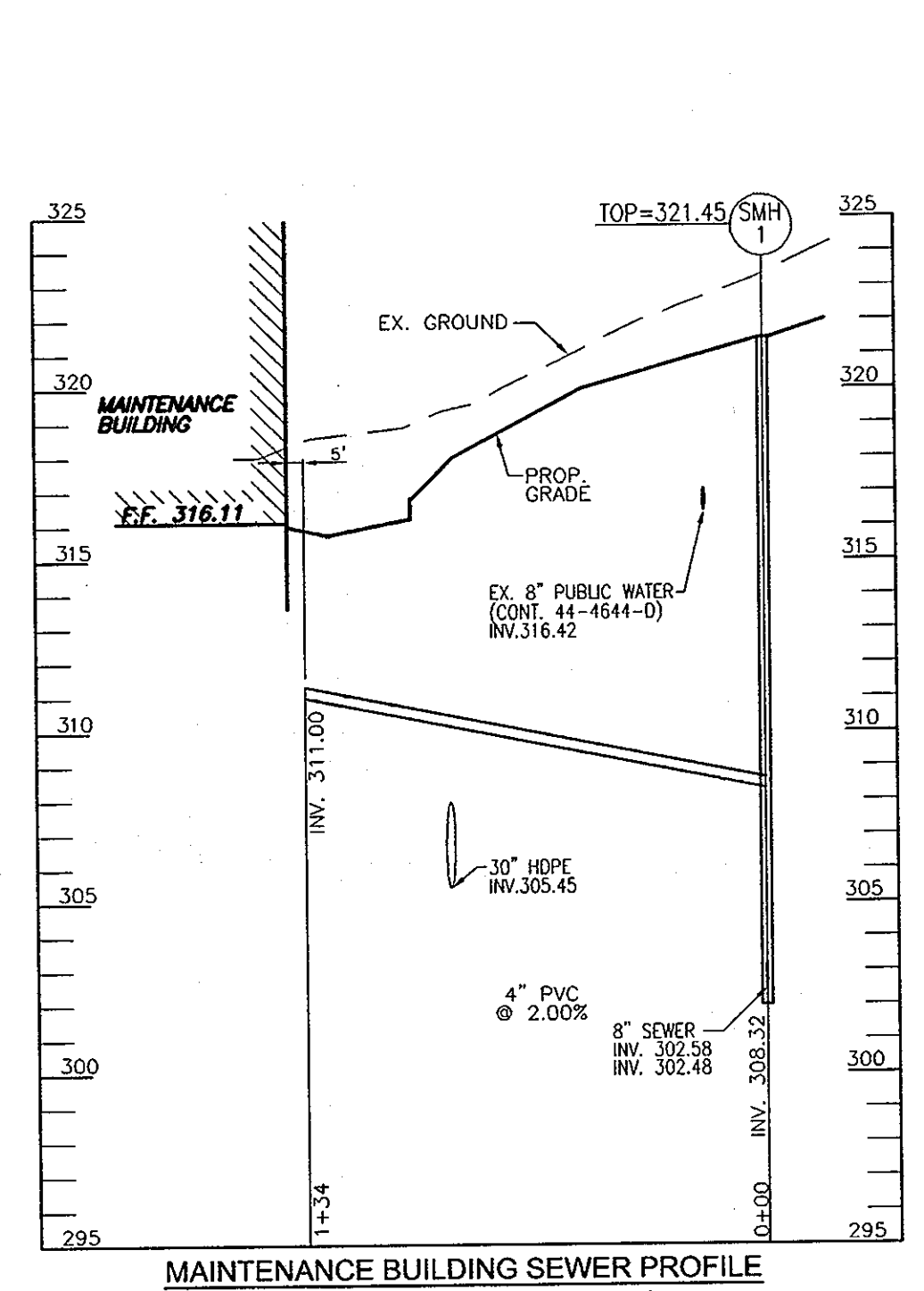
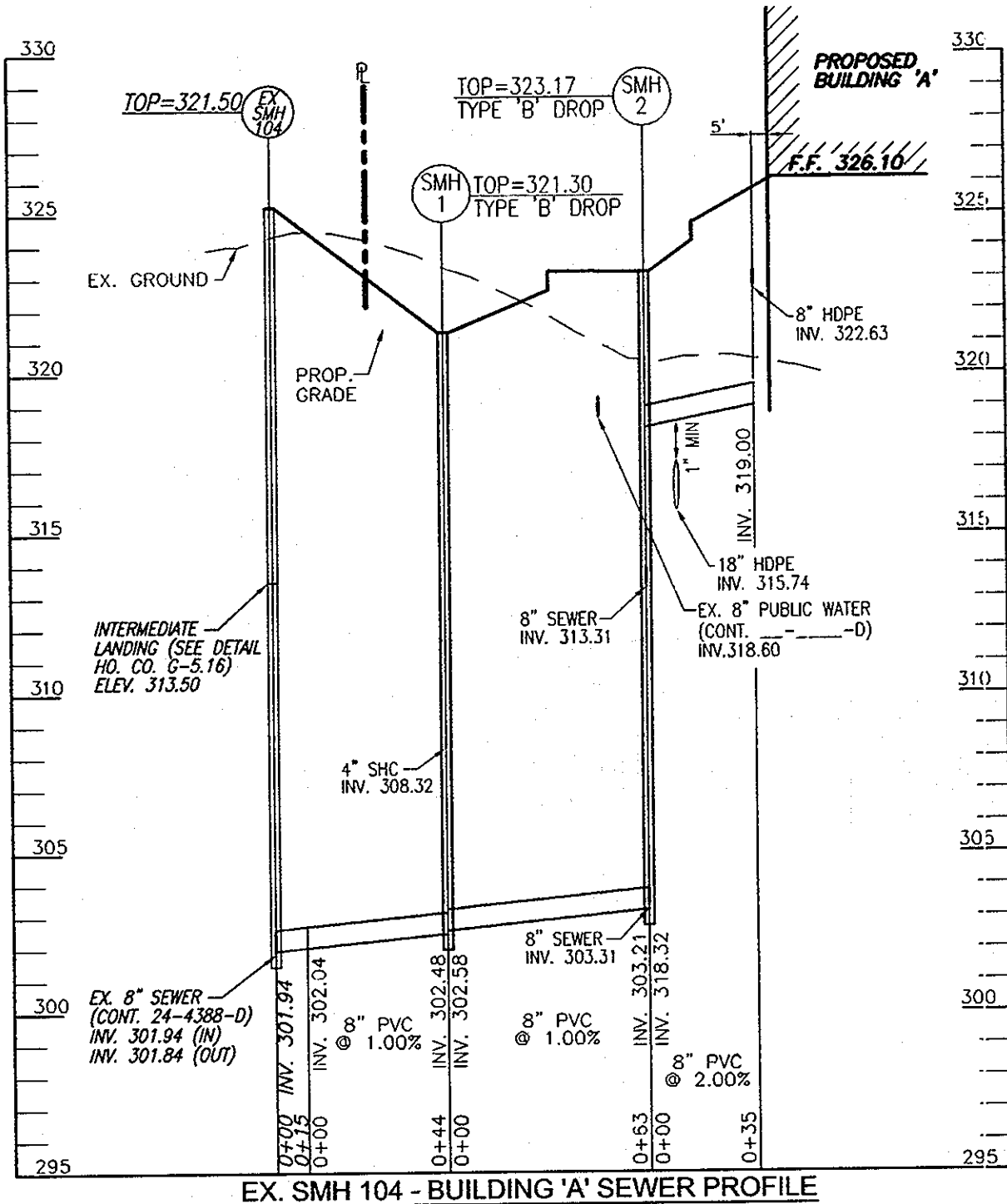
Cliff H. L. 4/23/10
 SIGNATURE OF DEVELOPER DATE

BY THE ENGINEER:

Howard S.C.D. 5/1/10
 SIGNATURE OF ENGINEER DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Howard S.C.D. 5/1/10
 HOWARD S.C.D. DATE



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division: *[Signature]* DATE: 5/12/10

Chief, Division of Land Development: *[Signature]* DATE: 5/18/10

Director: *[Signature]* DATE: 5/18/10

OWNER/DEVELOPER
EMERSON APARTMENTS, LLC
1966 GREENSPRING DRIVE, SUITE 400
TIMONIUM, MD. 21093
410-560-0300

NO.	REVISION	DATE
2	REVISE PLAN TO ABANDON WHC TO CLUBHOUSE, AND PROVIDE NEW WHC.	11-08-2010

SITE DEVELOPMENT PLAN
WATER AND SEWER PROFILES
THE ENCLAVE AT EMERSON APARTMENTS
PARCEL 'E' (SECTION 2, PHASE 8B)
APARTMENTS AND 35 TOWNHOUSES
PLAT 21131-32 PARCEL 462; PARCEL 'E'
6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET ELLICOTT CITY, MD 21043 TEL: 410.461.7666 FAX: 410.461.8961

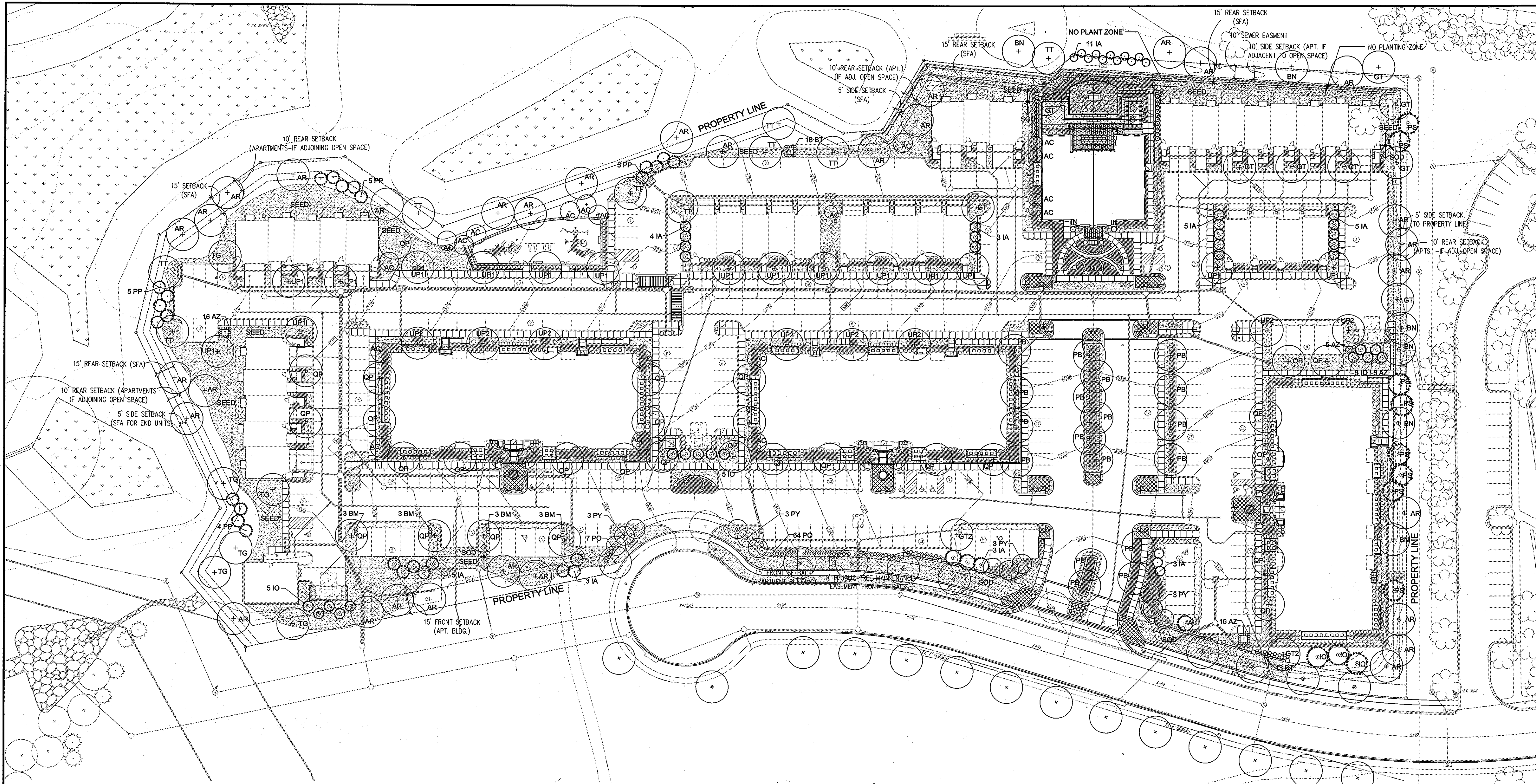
DESIGN BY: RHY
DRAWN BY: OZ
CHECKED BY: RHY
DATE: APRIL 2010
SCALE: AS SHOWN
W.O. NO.: 09-12

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRES DATE 09-27-2010

11 SHEET OF 27

SDP-10-013

STORM DRAIN STRUCTURE SCHEDULE													
NO.	TYPE	LOCATION	TOP ELEV.	INV. IN	INV. OUT	COMMENTS	NO.	TYPE	LOCATION	TOP ELEV.	INV. IN	INV. OUT	COMMENTS
1-1	TYPE 'A'-10" INLET	N 53534.5 E 135346.8	313.19	309.30	302.48	HO. CO. STD. 50-4.03	SMH-1	TYPE 'B' DROPP	N 53442.0 E 135377.7	321.30	302.48	302.48	HO. CO. STD. G-5.12
1-2	TYPE 'A'-10" INLET	N 53530.7 E 135369.1	315.18	312.15	311.00	HO. CO. STD. 50-4.03	SMH-2	TYPE 'B' DROPP	N 53545.6 E 135372.8	323.17	303.21	303.21	HO. CO. STD. G-5.12
1-3	TYPE 'A'-10" INLET	N 53549.7 E 135379.4	319.76	319.18	318.00	HO. CO. STD. 50-4.03	SMH-3	STANDARD	N 53538.8 E 135388.2	318.80	303.77	307.67	HO. CO. STD. G-5.12
1-4	ADS 15" CATCH BASIN	N 53550.7 E 135372.4	325.00	321.71	321.61	ADS 2815AG	SMH-4	STANDARD	N 53531.9 E 135364.6	318.20	304.09	303.99	HO. CO. STD. G-5.12
1-5	ADS 15" CATCH BASIN	N 53538.5 E 135370.6	325.00	321.47	321.47	ADS 2815AG	SMH-5	TYPE 'A' DROPP	N 53437.4 E 135345.1	315.60	302.28	304.66	HO. CO. STD. G-5.12
1-6	ADS 15" CATCH BASIN	N 53538.6 E 135378.9	335.84	332.50	332.50	ADS 2815AG	SMH-6	STANDARD	N 53530.4 E 135351.3	314.29	305.91	305.57	HO. CO. STD. G-5.12
1-7	ADS 15" CATCH BASIN	N 53549.7 E 135379.4	335.84	332.50	332.50	ADS 2815AG	SMH-7	TYPE 'B' DROPP	N 53545.6 E 135372.8	323.17	303.21	303.21	HO. CO. STD. G-5.12
1-8	ADS 15" CATCH BASIN	N 53549.7 E 135379.4	335.84	332.50	332.50	ADS 2815AG	SMH-8	STANDARD	N 53579.2 E 135386.0	336.11	333.13	330.96	HO. CO. STD. G-5.12
1-9	DOUBLE 'S' INLET	N 53547.5 E 135355.6	316.53	313.82	311.42	HO. CO. STD. 50-4.23	SMH-9	STANDARD	N 53561.9 E 135381.5	324.23	317.83	317.56	HO. CO. STD. G-5.12
1-10	DOUBLE 'S' INLET	N 53566.3 E 135366.7	323.30	321.30	318.90	HO. CO. STD. 50-4.23	SMH-10	STANDARD	N 53585.7 E 135379.5	333.01	331.28	331.15	HO. CO. STD. G-5.12
1-11	DOUBLE 'S' INLET	N 53574.5 E 135371.9	327.13	325.29	322.42	HO. CO. STD. 50-4.23	SMH-11	STANDARD	N 53599.5 E 135385.5	335.34	326.40	326.30	HO. CO. STD. G-5.12
1-12	DOUBLE 'S' INLET	N 53567.3 E 135366.5	335.48	332.21	331.23	HO. CO. STD. 50-4.23	SMH-12	STANDARD	N 53603.6 E 135378.4	335.05	332.18	327.18	HO. CO. STD. G-5.12
1-13	DOUBLE 'S' INLET	N 53568.9 E 135375.6	318.20	315.23	315.23	HO. CO. STD. 50-4.35	SMH-13	STANDARD	N 53612.7 E 135380.5	335.52	330.83	330.50	HO. CO. STD. G-5.12
1-14	DOUBLE 'S' INLET	N 53579.6 E 135365.8	325.35	323.62	321.67	HO. CO. STD. 50-4.35	SMH-14	STANDARD	N 53592.7 E 135372.0	330.15	327.81	321.68	HO. CO. STD. G-5.12
1-15	DOUBLE 'S' INLET	N 53589.6 E 135371.6	328.78	323.54	323.54	HO. CO. STD. 50-4.35	SMH-15	STANDARD	N 53583.5 E 135369.5	328.15	323.04	322.03	HO. CO. STD. G-5.12
1-16	YARD INLET	N 53598.7 E 135367.9	330.28	326.45	326.45	HO. CO. STD. 50-4.10	SMH-16	STANDARD	N 53591.5 E 135414.3	348.00	330.62	330.52	HO. CO. STD. G-5.12
1-17	TYPE 'A'-10" INLET	N 53591.3 E 135361.2	329.15	326.15	326.15	HO. CO. STD. 50-4.14	SMH-17	STANDARD	N 53592.2 E 135409.3	343.08	334.44	334.34	HO. CO. STD. G-5.12
1-18	TYPE 'A'-10" INLET	N 53593.7 E 135369.1	325.10	321.14	321.14	HO. CO. STD. 50-4.03	SMH-18	STANDARD	N 53599.7 E 135401.0	343.78	335.58	335.41	HO. CO. STD. G-5.12
1-19	ADS 15" CATCH BASIN	N 53588.0 E 135383.0	335.28	331.33	331.08	HO. CO. STD. 50-4.03							
1-20	ADS 15" CATCH BASIN	N 53586.1 E 135383.5	335.18	331.91	331.58	ADS 2815AG							
1-21	ADS 15" CATCH BASIN	N 53574.5 E 135385.7	337.25	333.86	333.76	ADS 2815AG							
1-22	ADS 15" CATCH BASIN	N 53582.4 E 135380.9	337.25	332.10	332.00	ADS 2815AG							
1-23	TYPE 'A'-10" INLET	N 53596.1 E 135387.8	335.40	330.97	330.87	HO. CO. STD. 50-4.03							
1-24	TYPE 'A'-10" INLET	N 53594.6 E 135387.8	335.40	330.97	330.78	HO. CO. STD. 50-4.03							
1-25	TYPE 'A'-10" INLET	N 53602.0 E 135393.5	338.55	335.50	335.00	HO. CO. STD. 50-4.14							
1-26	TYPE 'A'-10" INLET	N 53602.1 E 135378.3	333.44	330.58	330.00	HO. CO. STD. 50-4.03							
1-27	TYPE 'A'-10" INLET	N 53562.1 E 135385.7	331.22	327.13	326.83	HO. CO. STD. 50-4.03							
1-28	'S' INLET	N 53591.4 E 135406.1	341.09	336.21	336.21	HO. CO. STD. 50-4.27							
1-29	YARD INLET	N 53593.8 E 135411.5	342.00	337.11	337.11	HO. CO. STD. 50-4.14							
1-30	YARD INLET	N 53592.2 E 135408.5	342.54	337.54	337.54	HO. CO. STD. 50-4.14							
1-31	YARD INLET	N 53609.7 E 135401.1	341.00	337.83	337.50	HO. CO. STD. 50-4.14							
MH-1	5'-0" STANDARD PRECAST MANHOLE	N 53531.4 E 135378.9	320.51	304.87	304.77	HO. CO. STD. G-5.13							
MH-2	5'-0" STANDARD PRECAST MANHOLE	N 53533.6 E 135374.6	318.00	305.32	305.31	HO. CO. STD. G-5.13							
MH-3	5'-0" STANDARD PRECAST MANHOLE	N 53537.8 E 135371.1	316.16	305.61	305.61	HO. CO. STD. G-5.13							
MH-4	5'-0" STANDARD PRECAST MANHOLE	N 53534.9 E 135368.7	317.49	305.89	305.89	HO. CO. STD. G-5.13							
MH-5	5'-0" STANDARD PRECAST MANHOLE	N 53543.9 E 135353.4	315.42	307.67	307.79	HO. CO. STD. G-5.13							
MH-6	4'-0" STANDARD PRECAST MANHOLE	N 53536.1 E 135350.0	313.84	308.58	308.58	HO. CO. STD. G-5.12							
MH-7	4'-0" STANDARD PRECAST MANHOLE	N 53519.7 E 135375.0	325.52	319.24	318.44	HO. CO. STD. G-5.12							
MH-8	5'-0" STANDARD PRECAST MANHOLE	N 53565.4 E 135368.3	322.77	314.27	314.60	HO. CO. STD. G-5.12							
MH-9	4'-0" STANDARD PRECAST MANHOLE	N 53590.4 E 135390.1	334.00	328.00	328.00	HO. CO. STD. G-5.12							
MH-10	4'-0" STANDARD PRECAST MANHOLE	N 53577.7 E 135384.7	335.29	331.29	331.29	HO. CO. STD. G-5.12							
MH-11	4'-0" STANDARD PRECAST MANHOLE	N 53568.9 E 135359.5	319.27	316.46	314.26	HO. CO. STD. G-5.12							
MH-12	4'-0" STANDARD PRECAST MANHOLE	N 53593.6 E 135371.5	331.90	327.97	324.07	HO. CO. STD. G-5.12							
MH-13	4'-0" STANDARD PRECAST MANHOLE	N 53549.9 E 135370.4	331.34	324.49	324.49	HO. CO. STD. G-5.12							
MH-14	4'-0" STANDARD PRECAST MANHOLE	N 53597.6 E 135366.1	330.30	325.25	325.25	HO. CO. STD. G-5.12							
MH-15	4'-0" STANDARD PRECAST MANHOLE	N 53588.4 E 135390.1	335.11	331.11	331.11	HO. CO. STD. G-5.12							
MH-16	4'-0" STANDARD PRECAST MANHOLE	N 53588.8 E 135391.5	331.30	327.75	327.75	HO. CO. STD. G-5.12							
MH-17	5'-0" STANDARD PRECAST MANHOLE	N 53585.1 E 135408.5	344.30	332.73	332.73	HO. CO. STD. G-5.13							
MH-18	4'-0" STANDARD PRECAST MANHOLE	N 53587.6 E 135409.1	343.03	333.16	333.16	HO. CO. STD. G-5.12							
MH-19	4'-0" STANDARD PRECAST MANHOLE	N 53603.9 E 135417.8	346.40	334.21	334.21	HO. CO. STD. G-5.12							
MH-20	4'-0" STANDARD PRECAST MANHOLE	N 53572.0 E 135373.7	324.71	319.89	319.89	HO. CO. STD. G-5.12							
CO-1	CLEANOUT	N 53531.2 E 135370.4	314.58	314.14	314.14	HO. CO. STD. S-2.22							
CO-2	CLEANOUT	N 53540.8 E 135373.1	321.47	317.34	317.34	HO. CO. STD. S-2.22							
CO-3	CLEANOUT	N 53533.8 E 135364.6	317.92	312.43	312.33	HO. CO. STD. S-2.22							
CO-4	CLEANOUT	N 53533.8 E 135358.8	316.41	313.41	313.41	HO. CO. STD. S-2.22							
CO-5	CLEANOUT	N 53539.8 E 135348.4	314.80	311.13	311.03	HO. CO. STD. S-2.22							
CO-6	CLEANOUT	N 53548.7 E 135346.1	314.00	314.40	314.40	HO. CO. STD. S-2.22							
CO-7	CLEANOUT	N 53549.3 E 135373.8	325.43	319.96	319.86	HO. CO. STD. S-2.22							
CO-8	CLEANOUT	N 53544.3 E 135375.1	323.65	320.65	320.65	HO. CO. STD. S-2.22							
CO-9	CLEANOUT	N 53569.0 E 135360.2	320.67	317.23	317.13	HO. CO. STD. S-2.22							
CO-10	CLEANOUT	N 53578.9 E 135365.9	324.41	321.43	321.43	HO. CO. STD. S-2.22							
CO-11	CLEANOUT	N 53579.8 E 135366.4	325.83	322.76	322.66	HO. CO. STD. S-2.22							
CO-12	CLEANOUT	N 53589.1 E 135371.4	329.47	326.49	326.49	HO. CO. STD. S-2.22							
CO-17	CLEANOUT	N 53594.6 E 135369.8	331.34	326.68	326.58	HO. CO. STD. S-2.22							
CO-18	CLEANOUT	N 53589.8 E 135366.7	330.00	327.33	327.33	HO. CO. STD. S-2.22							
CO-19	CLEANOUT	N 53579.1 E 135365.0	324.25	321.48	321.48	HO. CO. STD. S-2.22							
CO-20	CLEANOUT	N 53576.7 E 135369.9	327.85	325.00	325.00	HO. CO. STD. S-2.22							
CO-21	CLEANOUT	N 53578.4 E 135370.8	328.95	325.70	325.70	HO. CO. STD. S-2.22							
CO-22	CLEANOUT	N 53587.7 E 135375.5	331.59	328.61	328.61	HO. CO. STD. S-2.22							
CO-23	CLEANOUT	N 53603.6 E 135375.8	334.00	331.06	330.96	HO. CO. STD. S-2.22							
CO-24	CLEANOUT	N 53618.4 E 135383.0	336.67	333.73	333.63	HO. CO. STD. S-2.22							
CO-25	CLEANOUT	N 53607.2 E 135381.4	333.80	331.03	331.03	HO. CO. STD. S-2.22							
CO-26	CLEANOUT	N 53612.8 E 135385.9	335.60	332.75	332.75	HO. CO. STD. S-2.22							
CO-27	CLEANOUT	N 53625.0 E 135385.6	336.50	334.50	334.50	HO. CO. STD. S-2.22							
CO-28	CLEANOUT	N 53607.4 E 135389.0	336.50	334.75	334.75	HO. CO. STD. S-2.22							
CO-29	CLEANOUT	N 53604.6 E 135390.7	337.84	333.93	333.93	HO. CO. STD. S-2.22							
CO-30	CLEANOUT	N 53610.4 E 135393.3	339.65	336.00	336.00	HO. CO. STD. S-2.22							
CO-31	CLEANOUT	N 53575.9 E 135393.1	338.48	335.25	335.25	HO. CO. STD. S-2.22							
CO-32	CLEANOUT	N 53581.3 E 135396.9	340.00	336.75	336.75	HO. CO. STD. S-2.22							
CO-33	CLEANOUT	N 53590.6 E 135395.1	339.75	337.91	337.91	HO. CO. STD. S-2.22							
CO-34	CLEANOUT	N 53591.6 E 135402.4	342.80	339.30	339.30	HO. CO. STD. S-2.22							
CO-35	CLEANOUT	N 53588.4 E 135408.2	343.25	339.80	339.80	HO. CO. STD. S-2.22							
CO-A1	CLEANOUT	N 53540.2 E 135366.5	321.00	315.84	315.68	HO. CO. STD. S-2.22							
CO-A2	CLEANOUT	N 53544.2 E 135368.1	324.20	321.26	321.16	HO. CO. STD. S-2.22							
CO-A3	CLEANOUT	N 53549.2 E 135399.0	319.75	316.75	316.75	HO. CO. STD. S-2.22							
CO-A4	CLEANOUT	N 53550.3 E 135374.1	323.90	320.43	320.43	HO. CO. STD. S-2.22							
CO-A5	CLEANOUT	N 53575.5 E 135376.2	325.10	320.96	320.86	HO. CO. STD. S-2.22							
CO-A6	CLEANOUT	N 53586.7 E 135374.6	324.74	321.27	321.17	HO. CO. STD. S-2.22							
CO-A7	CLEANOUT	N 53613.2 E											



MINIMUM LANDSCAPE PLANTING SCHEDULE

QTY.	KEY	BOTANICAL/COMMON NAME	SIZE	ROOT	COMMENTS
32	AR	Acer rubrum 'Red Sunset' Red Sunset Maple	2.5" Cal.	B & B	Full
6	BN	Nelumbo nigra 'Vierlage' Hardage River Birch	2.5" Cal.	B & B	Full
9	GT	Gleditsia triacanthos 'Shademaster' Shademaster Honey Locust	2.5" Cal.	B & B	Full
2	GT2	Gleditsia triacanthos 'Shademaster' Shademaster Honey Locust	3.5" Cal.	B & B	Full
18	PB	Platanus x acerifolia 'Bloodgood' Bloodgood London Plane Tree	3.5" Cal.	B & B	Full
29	QP	Quercus phillos 'HighTower' HighTower Willow Oak	3.5" Cal.	B & B	Full
6	TG	Tilia cordata 'Greenispine' Greenispine Linden	2.5" Cal.	B & B	Full
9	TT	Tilia tomentosa Silver Linden	2.5" Cal.	B & B	Full
16	UP1	Ulmus parvifolia 'Emer II' Emer Lacobark Elm	2.5" Cal.	B & B	Full
6	UP2	Ulmus parvifolia 'Emer II' Emer Lacobark Elm	3.5" Cal.	B & B	Full
EVERGREEN TREES					
19	PP	Picea canadensis Colorado Spruce	6'-8" HL	B & B	Full
43	IA	Ilex x attenuata 'Fosteri' Foster's Holly	6'-8" HL	B & B	Full
18	IO	Ilex opaca 'Miss Helen' Miss Helen American Holly	6'-8" HL	B & B	Full
8	PS	Pinus strobus Eastern White Pine	6'-8" HL	B & B	Full

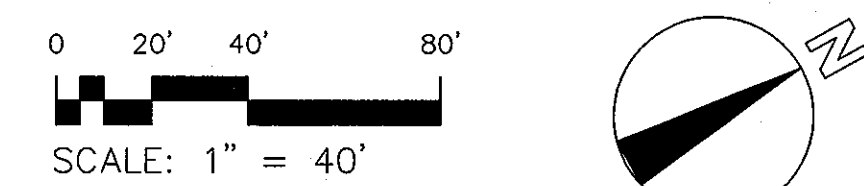
FLOWERING TREES					
18	AC	Amelanchier canadensis Shadblow Serviceberry	8-10' HL	B & B	Full
18	PY	Prunus x yedoensis 'Shidare Yoshino' Shidare Yoshino Cherry	10'-12' HL	B & B	Full
EVERGREEN SHRUBS					
42	AZ	Azalea 'Gumpo White' Gumpo White Azalea	30"	Cont.	Full
71	PO	Prunus laurocerasus 'Otto Luyken' Otto Luyken Cherry Laurel	30"	Cont.	Full
29	BT	Barberry thunbergii straminea 'Crimson Pygmy' Crimson Pygmy Barberry	30"	Cont.	Full
12	BM	Buxus sempervirens 'Green Mountain' Green Mountain Boxwood	30"	Cont.	Full

SCHEDULE A PERIMETER LANDSCAPE EDGE ADJACENT TO PERIMETER PROPERTIES AND DUMPSTER					
CATEGORY	A	B	D	E	
PERIMETER FRONTAGE DESIGNATION					
LANDSCAPE TYPE					
LINEAR FEET OF ROADWAY FRONTAGE/PERMETER	218'	118'	150'	415'	
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET DESCRIBE BELOW IF NEEDED)	NO	NO	NO	NO	
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET DESCRIBE BELOW IF NEEDED)	NO	NO	NO	NO	
NUMBER OF PLANTS REQUIRED	1:50 37	1:50 2	1:50 3	1:40 10	82
SHADE TREES	-	1:40 3	1:10 15	-	18
SHRUBS	-	-	-	1:4 164	164
NUMBER OF PLANTS PROVIDED	38	2	3	2	42
SHADE TREES	4 (2)	-	-	4 (2)	8
SHRUBS (2:1 SUBSTITUTION)	-	-	-	12 (6)	12
DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)	-	-	-	104	104

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING					
NUMBER OF PARKING SPACES	247				
NUMBER OF TREES REQUIRED	25				
NUMBER OF PLANTS PROVIDED	25				
SHADE TREES	-				
OTHER TREES (2:1 SUBSTITUTION)	-				

SCHEDULE C RESIDENTIAL DEVELOPMENT INTERNAL LANDSCAPING (per the landscape criteria established in PB case 330)		
CATEGORY	SINGLE FAMILY ATTACHED	APARTMENT
NUMBER OF DWELLING UNITS	35	129
NUMBER OF TREES REQUIRED	3.0 I.D.U. 105	2.0 I.D.U. 258
NUMBER OF PLANTS PROVIDED		
SHADE TREES	31	37
EVERGREEN TREES (2:1 SUB)	59 (29)	12 (6)
OTHER TREES (2:1 SUB)	24 (12)	-
SHRUB (1:1 SUB)	370 (37)	2150 (215)

Table 2 LANDSCAPED EDGES ADJACENT TO ROADWAYS (per the landscape criteria established in PB case 339)		
CATEGORY	SINGLE FAMILY ATTACHED	APARTMENT
ORIENTATION OF STRUCTURE OR USE TO ROADWAY/LINEAR FEET	FRONT: N/A SIDE/REAR: 667 LF	ALL SIDES 1478 LF
NUMBER OF TREES REQUIRED/ LF	FRONT - NONE SIDE/REAR - SHADE 1:40 (17) SIDE/REAR - EVERGREEN 1:20 (33)	ALL SIDES - SHADE 1:50 (20) ALL SIDES - EVERGREEN 1:40 (37)
NUMBER OF PLANTS PROVIDED		
SHADE TREES	0	0
OTHER TREES (2:1 SUB)	0	0
SHRUB (1:1 SUB)	500 (50)	670 (67)



LANDSCAPE SCHEDULE NOTE:

- ALL PLANT MATERIALS SHALL BE FULL AND HEAVY, BE WELL FORMED AND SYMMETRICAL, CONFORM TO THE MOST CURRENT AN SPECIFICATIONS AND BE INSTALLED IN ACCORDANCE WITH HOWARD COUNTY PLANTING SPECIFICATIONS.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
- FINAL LOCATION OF PLANT MATERIAL MAY NEED TO VARY TO MEET FINAL FIELD CONDITIONS. TREES SHALL NOT BE PLANTED IN THE BOTTOM OF DRAINAGE SWALES.
- CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO BIDDING. IF PLAN DIFFERS FROM LANDSCAPE SCHEDULE, THE PLAN SHALL GOVERN.

GENERAL NOTES:

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. THE REQUIRED PARKING AND PERIMETER LANDSCAPING WILL BE BONDED PER THIS SUBMISSION.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$162,420 FOR THE REQUIRED 487 SHADE TREES, 88 EVERGREEN TREES, AND 104 SHRUBS.
- THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, PLANT MATERIALS, BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS LISTED HERewith AND APPROVED FOR THIS SITE SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT THE PREVIOUS REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.
- THERE ARE NO WETLANDS, STREAMS, OR 100YR FLOODPLAIN ON SITE.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature]
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 5/18/10

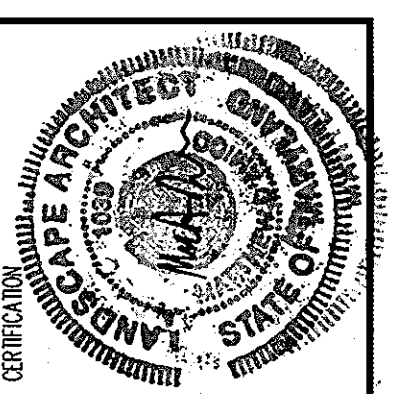
[Signature]
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 5/18/10

[Signature]
DIRECTOR
DATE: 5/18/10

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

[Signature]
SIGNATURE OF DEVELOPER
DATE: 4/23/10



HA

DESIGN COLLECTIVE

HENNEMAN + ASSOCIATES ARCHITECTS & PLANNERS
10708 Charter Drive, Suite 440
Columbia, Maryland 21044
Tel: 410.992.4417 • Fax: 410.992.4497
www.hennemanarchitects.com

CONSULTANT

THE ENCLAVE AT EMERSON APARTMENTS
MINIMUM LANDSCAPE PLAN
HOWARD COUNTY, MARYLAND
EMERSON APARTMENTS, LLC

EMERSON APARTMENTS, LLC, TIMONIUM, MD, 21093
131 BACKLICK STREET, SUITE 200
BOWING, MARYLAND 20746
Tel: 410.992.4417 • Fax: 410.992.4497
www.hennemanarchitects.com

OWNER/DEVELOPER:

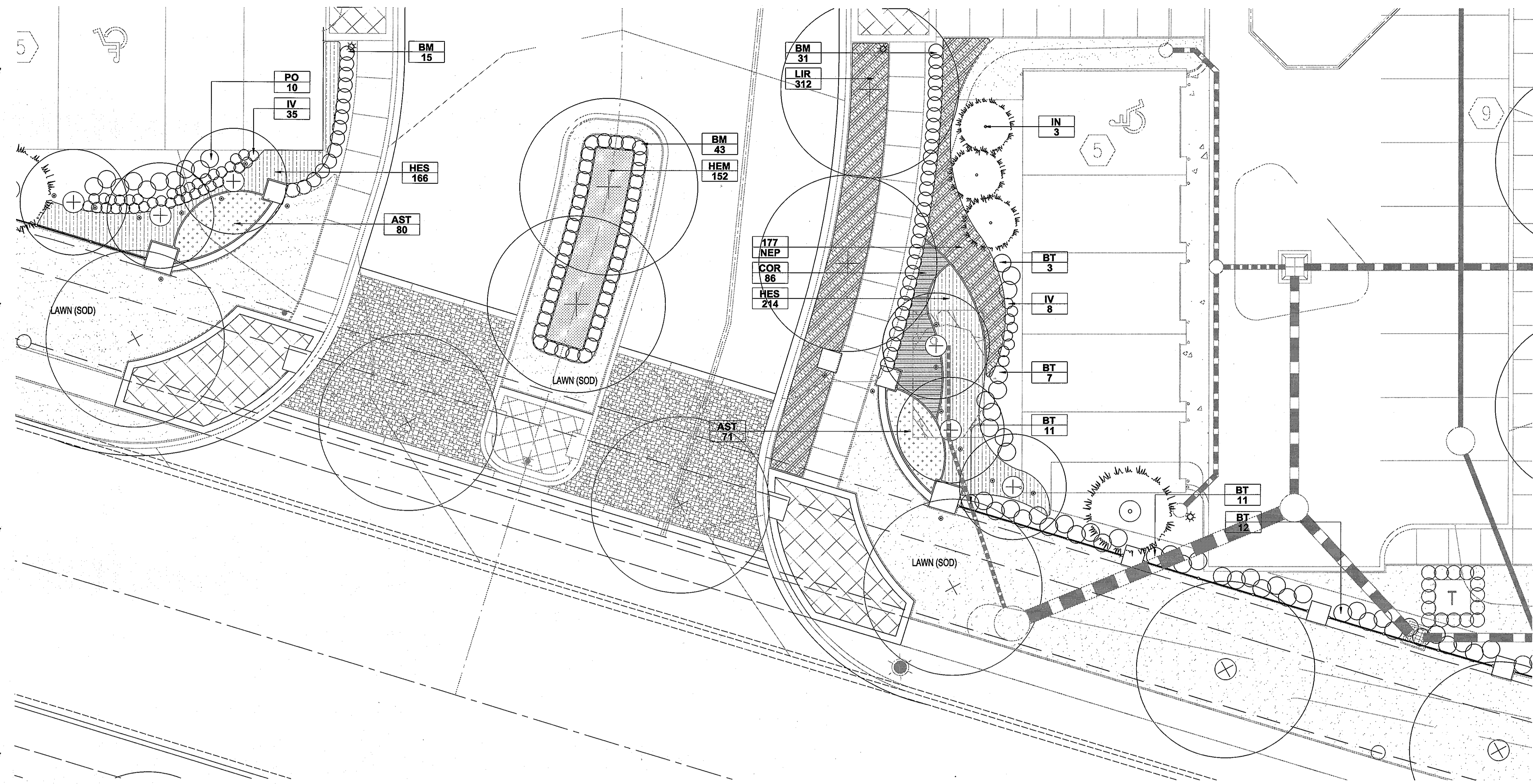
EMERSON APARTMENTS, LLC, TIMONIUM, MD, 21093
1966 GREENSPRING DRIVE, SUITE 400 410-560-0300

REVISIONS

PROJECT NO.: 2009.10.4
SCALE:
DATE: 04/09/2010

L202
SHEET 13 OF 27

SDP-10-013



PLANT LIST (This Sheet Only)

EVERGREEN

Qty	Abbrev.	Scientific Name	Common Name	Size	Notes
89	BM	<i>Buxus sempervirens</i> 'Green Mountain'	Green Mountain Boxwood	30" Dia	
10	PO	<i>Prunus laurocerasus</i> 'Otto Luyken'	Cherry Laurel	30" Dia	
40	BT	<i>Berberis thunbergii atropurpurea</i> 'Crimson Pygmy'	Crimson Pygmy Barberry	30" Dia	
43	IV	<i>Itea virginica</i> 'Little Henry'	Little Henry Sweetspire	30" Dia	
3	IN	<i>Ilex x. Nellie R. Stevens</i>	Nellie R. Stevens Holly	6'-8' Ht.	

ORNAMENTAL GRASSES

Qty	Abbrev.	Scientific Name	Common Name	Size	Notes
380	HES	<i>Helictotrichon sempervirens</i>	Blue Oat Grass	18" Dia	

DECIDUOUS SHRUBS

Qty	Abbrev.	Scientific Name	Common Name	Size	Notes
43	IV	<i>Cornus stolonifera</i>	Red Osier Dogwood	30" Dia	

PERENNIALS/GROUNDCOVERS/VINES

Qty	Abbrev.	Scientific Name	Common Name	Size	Notes
177	NEP	<i>Nepeta nervosa</i> 'Felix'	Catmint		
151	AST	<i>Astilbe x. arendsii</i>	Astilbe	18" Dia	
312	LIR	<i>Liriope muscari</i> 'Big Blue'	Lilyturf	18" Dia	
86	COR	<i>Coreopsis verticillata</i> 'Moonbeam'	Threadleaf Coreopsis	18" Dia	
152	HEM	<i>Hemerocallis fulva</i>	Daylily	1 Gal.	

ENTRY PLANTING ENLARGEMENT

SCALE: 1/8" = 1'-0"

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

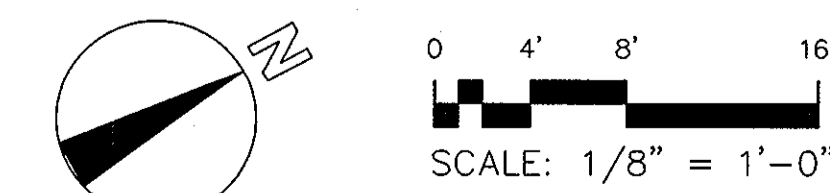
CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 5/13/10

 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 5/13/10
 DIRECTOR

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

SIGNATURE OF DEVELOPER
 DATE: 4/23/10

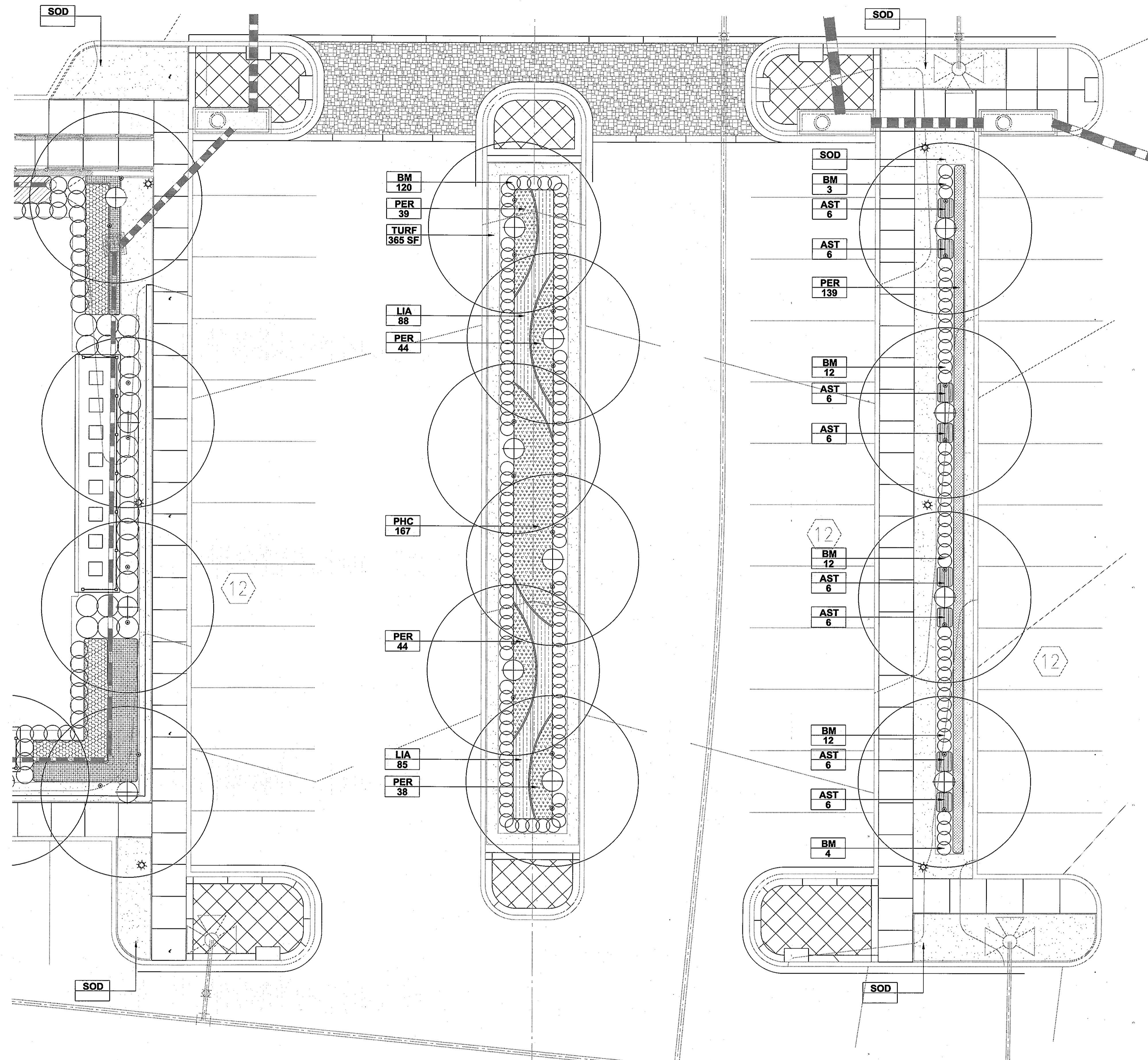


H.A. HENNEMAN + ASSOCIATES
 ARCHITECTS & PLANNERS
 10057 Charter Drive, Suite 400
 Columbia, Maryland 21044
 Tel: 410-992-4417 • Fax: 410-992-4497
 www.hennemans.com

DESIGN COLLECTIVE
 CONSULTANT
 465 EAST FRONT STREET, SUITE 200
 BALTIMORE, MARYLAND 21201
 TEL: 410-525-5055 • FAX: 410-525-5044
 WWW.DESIGNCOLLECTIVE.COM

THE ENCLAVE AT EMERSON APARTMENTS
 ENTRY PLANTING ENLARGEMENT
 HOWARD COUNTY, MARYLAND
 EMERSON APARTMENTS, LLC
 EMERSON APARTMENTS, LLC, TIMONIUM, MD, 21093
 1966 GREENSPRING DRIVE, SUITE 400 410-560-0300

OWNER/DEVELOPER:
 PROJECT NO.: 2009.10.4
 SCALE:
 DATE: 04/09/2010
L203
 SHEET 14 OF 27



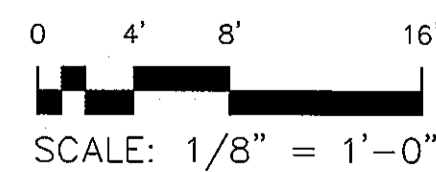
PLANT LIST (This Sheet Only)

EVERGREEN		Scientific Name	Common Name	Size	Notes
163	BM	<i>Buxus sempervirens</i> 'Green Mountain'	Green Mountain Boxwood 30" Dia		

PERENNIALS/GROUNDCOVERS/VINES		Scientific Name	Common Name	Size	Notes
304	PER	<i>Perovskia</i> 'Little Spire'	Russian Sage	18" Dia	
48	AST	<i>Astilbe x. arendsii</i>	Astilbe	18" Dia	
173	LIA	<i>Liatris</i>	Gay Feather	1 Gal.	
167	PHC	<i>Phlox carolina</i> 'Miss Lingard'	Carolina Phlox	1 Gal.	

1 PARKING LOT ENLARGEMENT

SCALE: 1/8" = 1'-0"



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 5/13/10

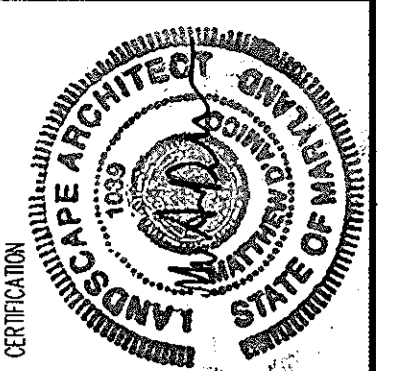
CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 5/18/10

DIRECTOR
 DATE: 5/18/10

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

SIGNATURE OF DEVELOPER
 DATE: 4/23/10



HA
 HENNEMAN + ASSOCIATES
 ARCHITECTS & PLANNERS
 1078 Charter Drive, Suite 440
 Columbia, Maryland 21044
 Tel: 410.992.4417 • Fax: 410.992.4497
 www.hennemans.com

DESIGN COLLECTIVE
 CONSULTANT
 131 BLACKWELL STREET, SUITE 200
 BOWEN, MARYLAND 21024
 TEL: 410.321.1100
 WWW.DESIGNCOLLECTIVE.COM

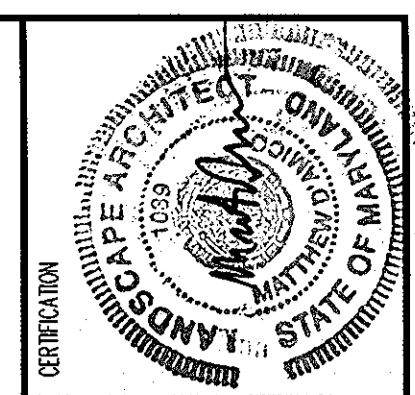
THE ENCLAVE AT EMERSON APARTMENTS
 CORE PARKING LOT PLANTING ENLARGEMENT
 HOWARD COUNTY, MARYLAND
 EMERSON APARTMENTS, LLC

EMERSON APARTMENTS, LLC, TIMONIUM, MD. 21093
 OWNER/DEVELOPER: 1966 GREENSPRING DRIVE, SUITE 400 410-560-0300

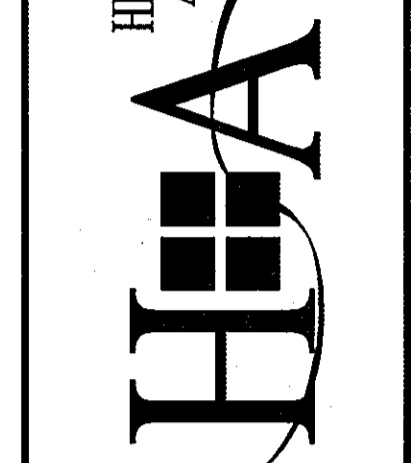
REVISIONS

PROJECT NO.: 2009.10.4
 SCALE:
 DATE: 04/09/2010

L204
 SHEET 15 OF 27
 SDP-10-013



HENNEMAN + ASSOCIATES
ARCHITECTS & PLANNERS
10705 Charter Drive, Suite 440
Columbia, Maryland 21044
Tel: 410.992.4417 • Fax: 410.992.4497
www.hennemancollective.com



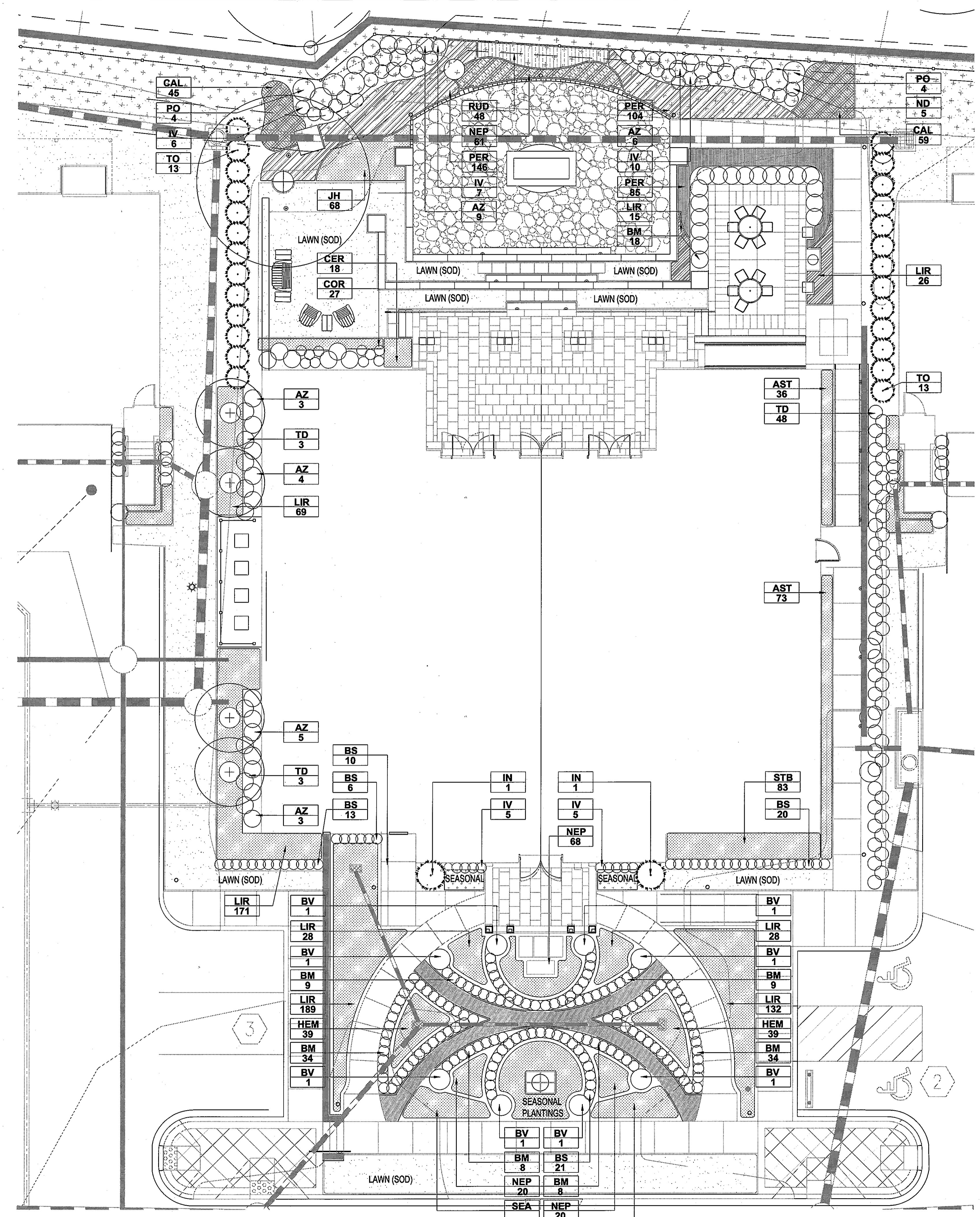
DESIGN COLLECTIVE
ARCHITECTURAL PLANNING, INTERIORS
660 EAST PACIFIC STREET, SUITE 200
BALTIMORE, MARYLAND 21201
Tel: 410.992.4417 • Fax: 410.992.4497
www.hennemancollective.com

CONSULTANT
THE ENCLAVE AT EMERSON APARTMENTS
CLUBHOUSE PLANTING ENLARGEMENT
HOWARD COUNTY, MARYLAND
EMERSON APARTMENTS, LLC

EMERSON APARTMENTS, LLC, TIMONIUM, MD. 21093
OWNER/DEVELOPER: 1966 GREENSPRING DRIVE, SUITE 400 410-560-0300

REVISIONS
PROJECT NO.: 2009.10.4
SCALE:
DATE: 04/09/2010

L205
SHEET 16 OF 27
SDP-10-013



PLANT LIST (This Sheet Only)

Qty	Abbrev.	Scientific Name	Common Name	Size	Notes
EVERGREEN					
26	TO	<i>Thuja occidentalis 'Emerald Green'</i>	Emerald Green Arborvitae	6'-8' Ht.	
68	JH	<i>Juniperus horizontalis 'plumosa'</i>	Andorra Juniper	30" Dia	
50	BS	<i>Buxus sempervirens 'Suffruticosa'</i>	English Boxwood	30" Dia	
8	BV	<i>Buxus sempervirens 'Green Velvet'</i>	Green Velvet Boxwood	30" Dia	
8	PO	<i>Prunus laurocerasus 'Otto Luyken'</i>	Cherry Laurel	30" Dia	
53	TD	<i>Taxus x media 'Densifomis'</i>	Dense Yew	30" Dia	
34	AZ	<i>Rhododendron 'P.J.M.'</i>	P.J.M Rhododendron	30" Dia	
5	ND	<i>Nandina domestica 'Harbour Dwarf'</i>	Harbour Dwarf Nandina	30" Dia	
2	IN	<i>Ilex x. Nellie R. Stevens'</i>	Nellie R. Stevens Holly	6'-8' Ht	
10	BM	<i>Buxus Sempervirens 'Green Mountain'</i>	Green Mountain Boxwood	30" Dia	

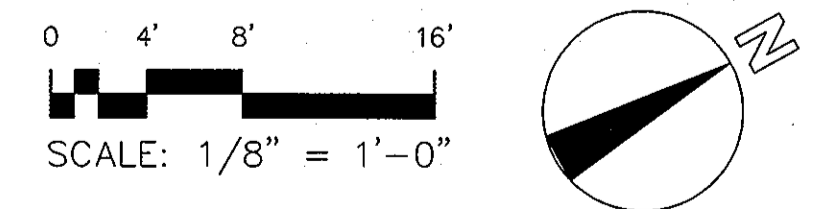
Qty	Abbrev.	Scientific Name	Common Name	Size	Notes
ORNAMENTAL GRASSES					
104	CAL	<i>Calamagrostis acutiflora 'Karl Foerster'</i>	Feather Reed Grass	18" Dia	

Qty	Abbrev.	Scientific Name	Common Name	Size	Notes
DECIDUOUS SHRUBS					
33	IV	<i>Cornus stolonifera</i>	Red Osier Dogwood	30" Dia	

Qty	Abbrev.	Scientific Name	Common Name	Size	Notes
PERENNIALS/GROUNDCOVERS/VINES					
48	RUD	<i>Rudbeckia hirta</i>	Black-eyed Susan	18" Dia	
169	NEP	<i>Nepeta nervosa 'Felix'</i>	Catmint	12" Dia	
335	PER	<i>Perovskia 'Little Spire'</i>	Russian Sage	18" Dia	
109	AST	<i>Astilbe x. arendsii</i>	Astilbe	18" Dia	
658	LIR	<i>Liriope muscari 'Big Blue'</i>	Lilyturf	18" Dia	
27	COR	<i>Coreopsis verticillata 'Moonbeam'</i>	Threadleaf Coreopsis	18" Dia	
80	STB	<i>Stachys bizantina</i>	Lambs Ears	12" Dia	
18	CER	<i>Cerostigmata plumbaginoides</i>	Plumbago	1 Gal.	
78	HEM	<i>Hemerocallis fulva</i>	Daylily	1 Gal.	

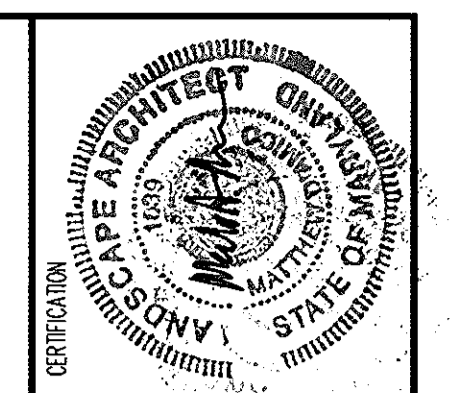
Qty	Abbrev.	Notes
SOD		
586 sf	Sod	

Qty	Abbrev.	Notes
ANNUALS		
500 sf	Annu	To be selected



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 [Signature] 5/13/10
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] 5/13/10
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] 5/13/10
 DIRECTOR

DEVELOPER'S/BUILDER'S CERTIFICATE
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.
 [Signature] 4/23/10
 SIGNATURE OF DEVELOPER DATE



HA
HENNEMAN + ASSOCIATES
 ARCHITECTS & PLANNERS
 10705 Clarendon Drive, Suite 440
 Rockville, Maryland 20850
 Tel: 410.988.2417 Fax: 410.988.4487
 www.hennemans.com

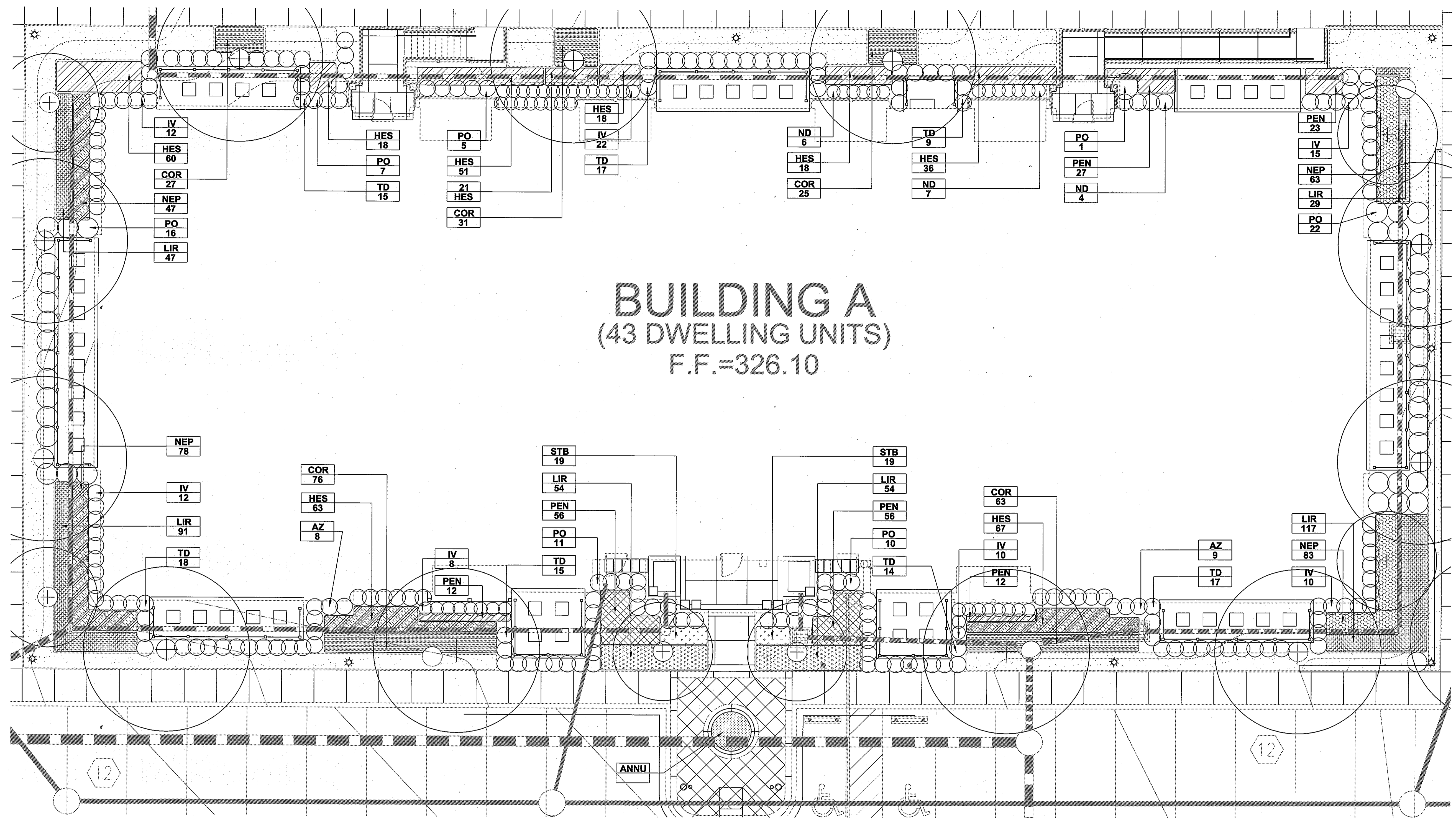
DESIGN COLLECTIVE
 CONSULTANT
 111 BALDWIN STREET, SUITE 200
 GREENBELT, MARYLAND 20878
 Tel: 301.931.9999 Fax: 301.931.9999
 www.designcollective.com

THE ENCLAVE AT EMERSON APARTMENTS
 APARTMENT A PLANTING ENLARGEMENT
 HOWARD COUNTY, MARYLAND
 EMERSON APARTMENTS, LLC
 EMERSON APARTMENTS, LLC, TIMONIUM, MD. 21093
 OWNER/DEVELOPER: 1966 GREENSPRING DRIVE, SUITE 400 410-560-0300

REVISIONS

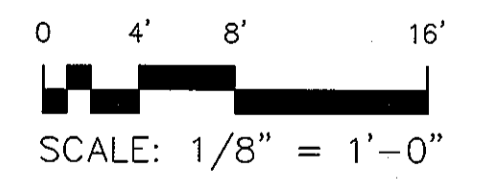
PROJECT NO.: 2009.10.4
 SCALE: 1/8" = 1'-0"
 DATE: 04/09/2010

L206
 SHEET 17 OF 27
 SDP-10-013



BUILDING A
 (43 DWELLING UNITS)
 F.F.=326.10

1 APARTMENT A ENLARGEMENT
 SCALE: 1/8" = 1'-0"



PLANT LIST (This Sheet Only)

EVERGREEN					
Qty	Abbrev.	Scientific Name	Common Name	Size	Notes
63	PO	<i>Prunus laurocerasus</i> 'Otto Luyken'	Cherry Laurel	30" Dia	
105	TD	<i>Taxus x media</i> 'Densifomis'	Dense Yew	30" Dia	
17	AZ	<i>Rhododendron</i> 'P.J.M.'	P.J.M Rhododendron	30" Dia	
19	ND	<i>Nandina domestica</i> 'Harbour Dwarf'	Harbour Dwarf Nandina	30" Dia	
ORNAMENTAL GRASSES					
Qty	Abbrev.	Scientific Name	Common Name	Size	Notes
352	HES	<i>Helictotrichon sempervirens</i>	Blue Oat Grass	18" Dia	
186	PEN	<i>Pennisetum alopecuroides</i> 'Hameln'	Dwarf Fountain Grass	1 Gal	
DECIDUOUS SHRUBS					
Qty	Abbrev.	Scientific Name	Common Name	Size	Notes
89	IV	<i>Cornus stolonifera</i>	Red Osier Dogwood	30" Dia	
PERENNIALS/GROUNDCOVERS/VINES					
Qty	Abbrev.	Scientific Name	Common Name	Size	Notes
270	NEP	<i>Nepeta nervosa</i> 'Felix'	Catmint	12" Dia	
392	LIR	<i>Liriope muscari</i> 'Big Blue'	Lilyturf	18" Dia	
222	COR	<i>Coreopsis verticillata</i> 'Moonbeam'	Threadleaf Coreopsis	18" Dia	
38	STB	<i>Stachys bizantina</i>	Lambs Ears	12" Dia	

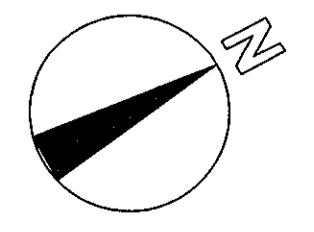
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

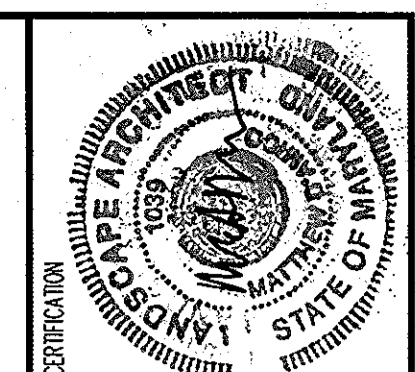
[Signature] 5/12/10
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
[Signature] 5/12/10
 CHIEF, DIVISION OF LAND DEVELOPMENT
[Signature] 5/18/10
 DIRECTOR

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

[Signature] 4/23/10
 SIGNATURE OF DEVELOPER
 DATE





HENNEMAN + ASSOCIATES
ARCHITECTS & PLANNERS
 10705 Chas. Dr., Suite 400
 Columbia, MD 21044
 Tel: 410.992.4417 Fax: 410.992.4497
 www.hennenmanarchitects.com

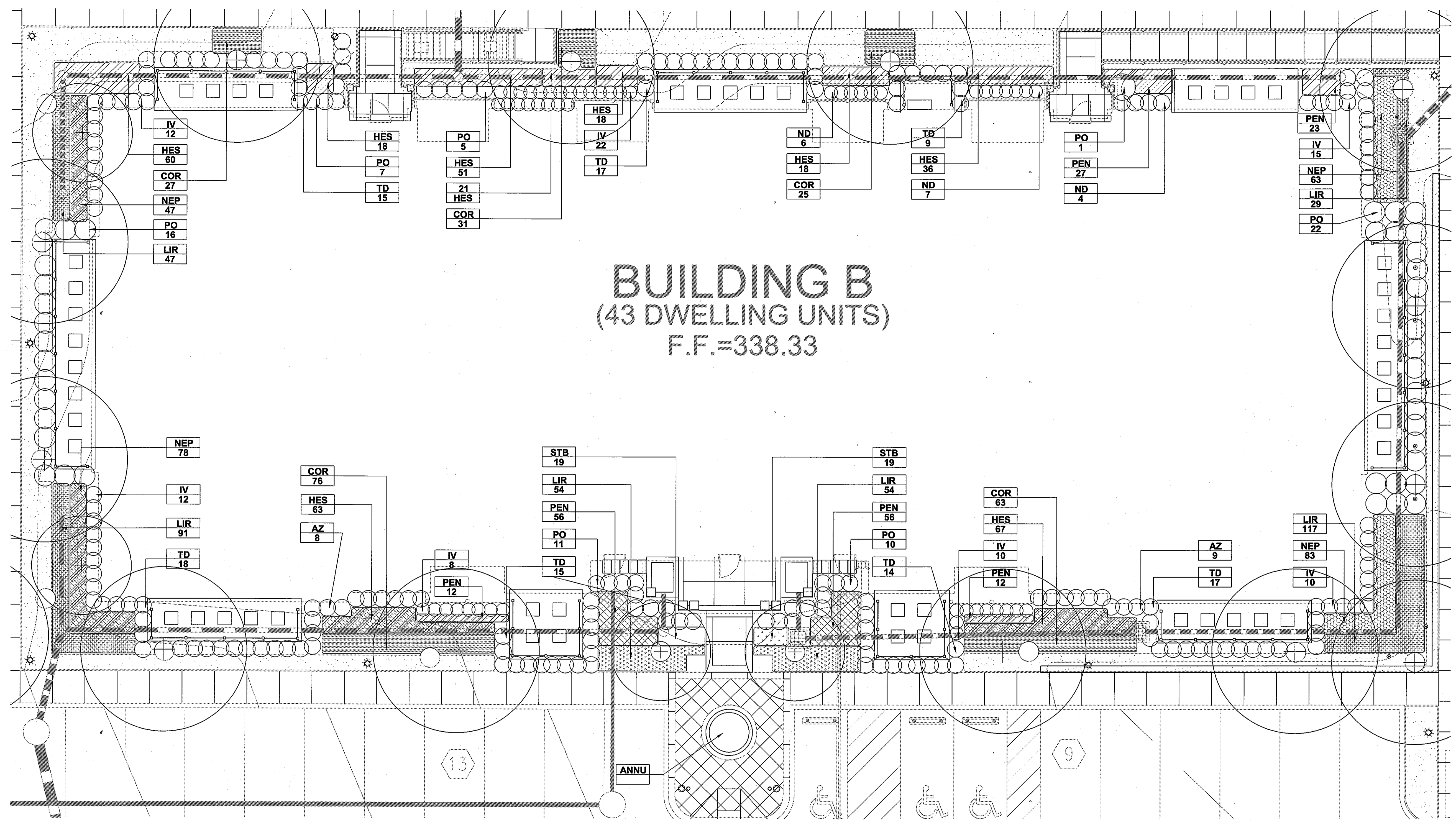
DESIGN COLLECTIVE
 ARCHITECTURAL, PLANNING, INTERIORS
 60 EAST HART STREET, SUITE 300
 BALTIMORE, MARYLAND 21202
 TEL: 410.542.4444 FAX: 410.542.4444
 WWW.DESIGNCOLLECTIVE.COM

THE ENCLAVE AT EMERSON APARTMENTS
 APARTMENT B PLANTING ENLARGEMENT
 HOWARD COUNTY, MARYLAND
 EMERSON APARTMENTS, LLC

EMERSON APARTMENTS, LLC, TIMONIUM, MD. 21093
 OWNER/DEVELOPER: 1966 GREENSPRING DRIVE, SUITE 400 410-560-0300

PROJECT NO.: 2009.10.4
 SCALE:
 DATE: 04/09/2010

L207
 SHEET 18 OF 27

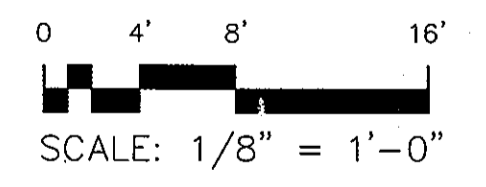


BUILDING B
 (43 DWELLING UNITS)
 F.F.=338.33

PLANT LIST (This Sheet Only)

EVERGREEN					
Qty	Abbrev.	Scientific Name	Common Name	Size	Notes
63	PO	<i>Prunus laurocerasus</i> 'Otto Luyken'	Cherry Laurel	30" Dia	
105	TD	<i>Taxus x media</i> 'Densifomis'	Dense Yew	30" Dia	
17	AZ	<i>Rhododendron</i> 'P.J.M.'	P.J.M Rhododendron	30" Dia	
19	ND	<i>Nandina domestica</i> 'Harbour Dwarf'	Harbour Dwarf Nandina	30" Dia	
ORNAMENTAL GRASSES					
Qty	Abbrev.	Scientific Name	Common Name	Size	Notes
352	HES	<i>Helictotrichon sempivirens</i> '	Blue Oat Grass	18" Dia	
186	PEN	<i>Pennisetum alopecuroides</i> 'Hameln'	Dwarf Fountain Grass	1 Gal	
DECIDUOUS SHRUBS					
Qty	Abbrev.	Scientific Name	Common Name	Size	Notes
89	IV	<i>Cornus stolonifera</i>	Red Osier Dogwood	30" Dia	
PERENNIALS/GROUNDCOVERS/VINES					
Qty	Abbrev.	Scientific Name	Common Name	Size	Notes
270	NEP	<i>Nepeta nervosa</i> 'Felix'	Catmint	12" Dia	
392	LIR	<i>Liriope muscari</i> 'Big Blue'	Lilyturf	18" Dia	
222	COR	<i>Coreopsis verticillata</i> 'Moonbeam'	Threadleaf Coreopsis	18" Dia	
38	STB	<i>Stachys bizantina</i>	Lambs Ears	12" Dia	

1 APARTMENT B ENLARGEMENT
 SCALE: 1/8" = 1'-0"



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 5/13/10
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

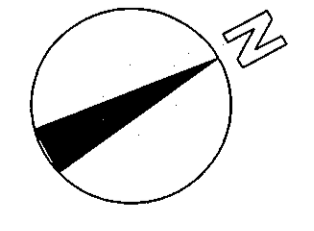
[Signature] 5/18/10
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

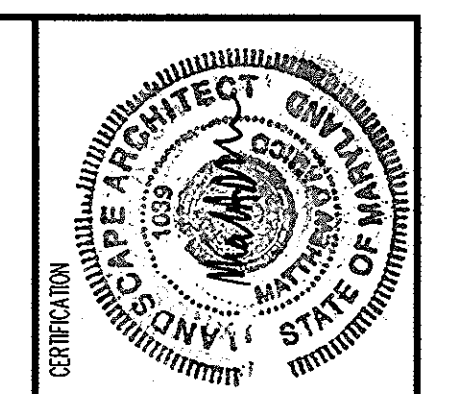
[Signature] 5/18/10
 DIRECTOR DATE

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.24 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATE OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

[Signature] 4/23/10
 SIGNATURE OF DEVELOPER DATE



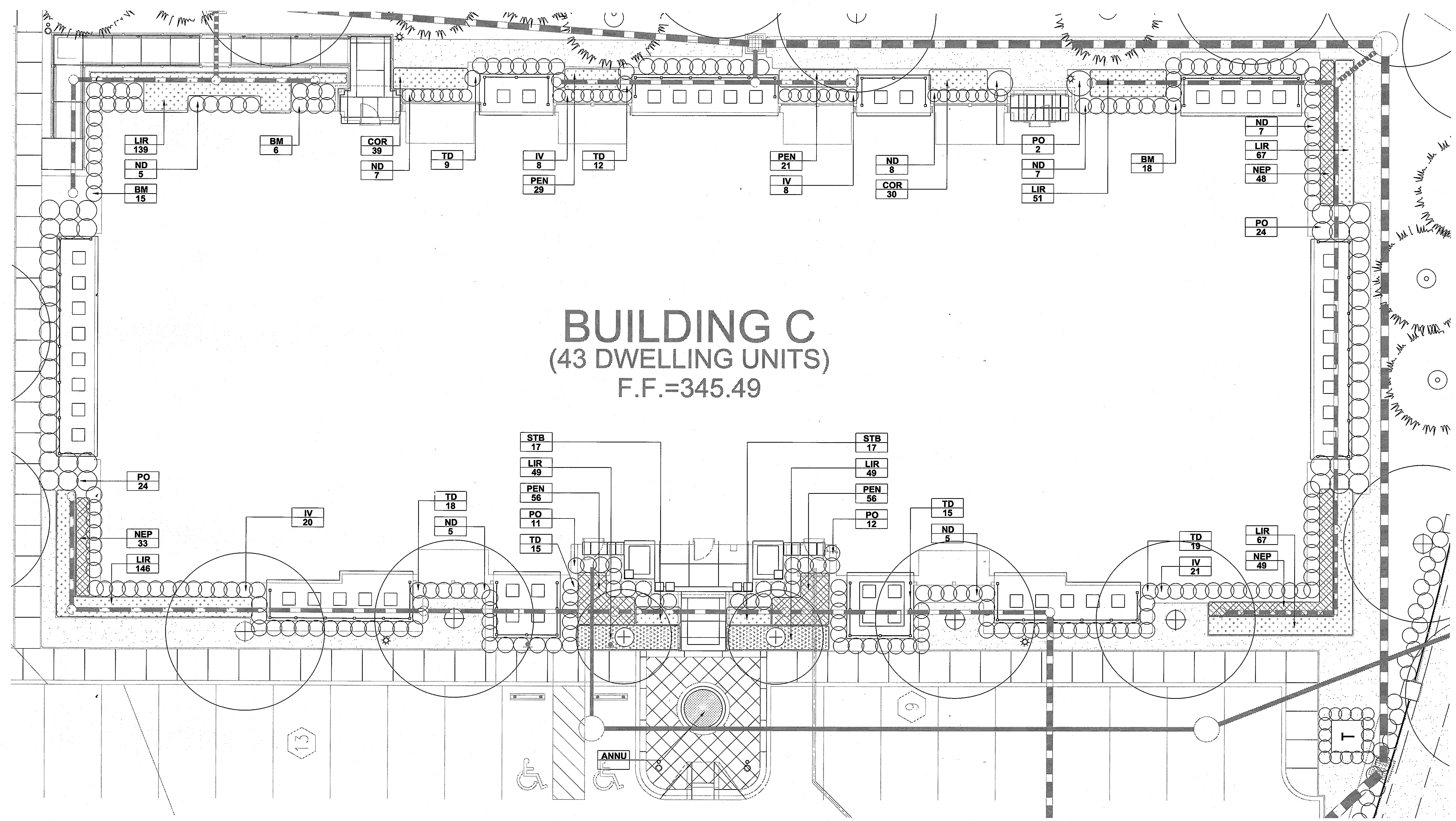


HA
HENNEMAN + ASSOCIATES
 ARCHITECTS & PLANNERS
 10700 Clauer Drive, Suite 400
 Columbia, Maryland 21044
 Tel: 410-271-1171 Fax: 410-271-4497
 www.hennemans.com

DESIGN COLLECTIVE
 CONSULTANT
 100 BALDWIN STREET, SUITE 100
 ANNAPOLIS, MARYLAND 21403
 TEL: 410-293-8888 FAX: 410-293-8889
 WWW.DESIGNCOLLECTIVE.COM

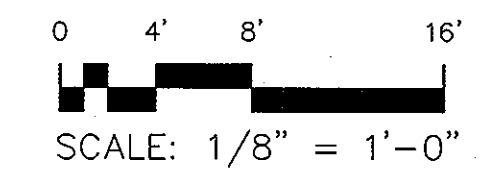
THE ENCLAVE AT EMERSON APARTMENTS
 APARTMENT C PLANTING ENLARGEMENT
 HOWARD COUNTY, MARYLAND
 EMERSON APARTMENTS, LLC
 EMERSON APARTMENTS, LLC, TIMONIUM, MD. 21083
 EMERSON APARTMENTS, 1966 GREENSPRING DRIVE, SUITE 400 410-560-0300

OWNER/DEVELOPER:
 PROJECT NO.: 2009.10.4
 SCALE:
 DATE: 04/09/2010
L208
 SHEET 19 OF 27
 SDP-10-013



BUILDING C
 (43 DWELLING UNITS)
 F.F.=345.49

1 APARTMENT C ENLARGEMENT
 SCALE: 1/8" = 1'-0"



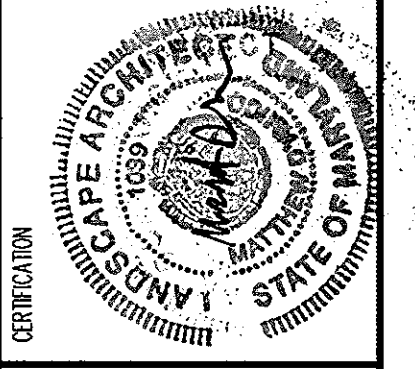
PLANT LIST (This Sheet Only)

EVERGREEN						
Qty	Abbrev.	Scientific Name	Common Name	Size	Notes	
73	PO	<i>Prunus laurocerasus</i> 'Otto Luyken'	Cherry Laurel	30" Dia		
88	TD	<i>Taxus x media</i> 'Densifomis'	Dense Yew	30" Dia		
44	ND	<i>Nandina domestica</i> 'Harbour Dwarf'	Harbour Dwarf Nandina	30" Dia		
39	BM	<i>Buxus sempervirens</i> 'Green Mountain'	Green Mountain Boxwood	30" Dia		
ORNAMENTAL GRASSES						
Qty	Abbrev.	Scientific Name	Common Name	Size	Notes	
162	PEN	<i>Pennisetum alopecuroides</i> 'Hameln'	Dwarf Fountain Grass	1 Gal		
DECIDUOUS SHRUBS						
Qty	Abbrev.	Scientific Name	Common Name	Size	Notes	
57	IV	<i>Cornus stolonifera</i>	Red Osier Dogwood	30" Dia		
PERENNIALS/GROUNDCOVERS/VINES						
Qty	Abbrev.	Scientific Name	Common Name	Size	Notes	
130	NEP	<i>Nepeta nervosa</i> 'Felix'	Catmint	12" Dia		
568	LIR	<i>Liriope muscari</i> 'Big Blue'	Lilyturf	18" Dia		
69	COR	<i>Coreopsis verticillata</i> 'Moonbeam'	Threadleaf Coreopsis	18" Dia		
34	STB	<i>Stachys bizantina</i>	Lambs Ears	12" Dia		

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 [Signature] 5/13/10
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] 5/13/10
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] 5/18/10
 DIRECTOR

DEVELOPER'S/BUILDER'S CERTIFICATE
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.
 [Signature] 4/23/10
 SIGNATURE OF DEVELOPER DATE

© 2009 Hennemans & Associates
 10700 Clauer Drive, Suite 400
 Columbia, Maryland 21044
 Tel: 410-271-1171 Fax: 410-271-4497
 www.hennemans.com



HAA
HENNEMAN + ASSOCIATES
 ARCHITECTS & PLANNERS
 1000 Clearview Drive, Suite 400
 Columbia, Maryland 21046
 Tel: 410-326-1100
 www.hennemanarchitects.com

DESIGN COLLECTIVE
 ARCHITECTURAL PLANNING INTERIORS
 66 445 AMER FRUIT RD STE 100
 NATIONAL HARBOR, MARYLAND 21077
 Tel: 443-445-4455
 www.designcollective.com

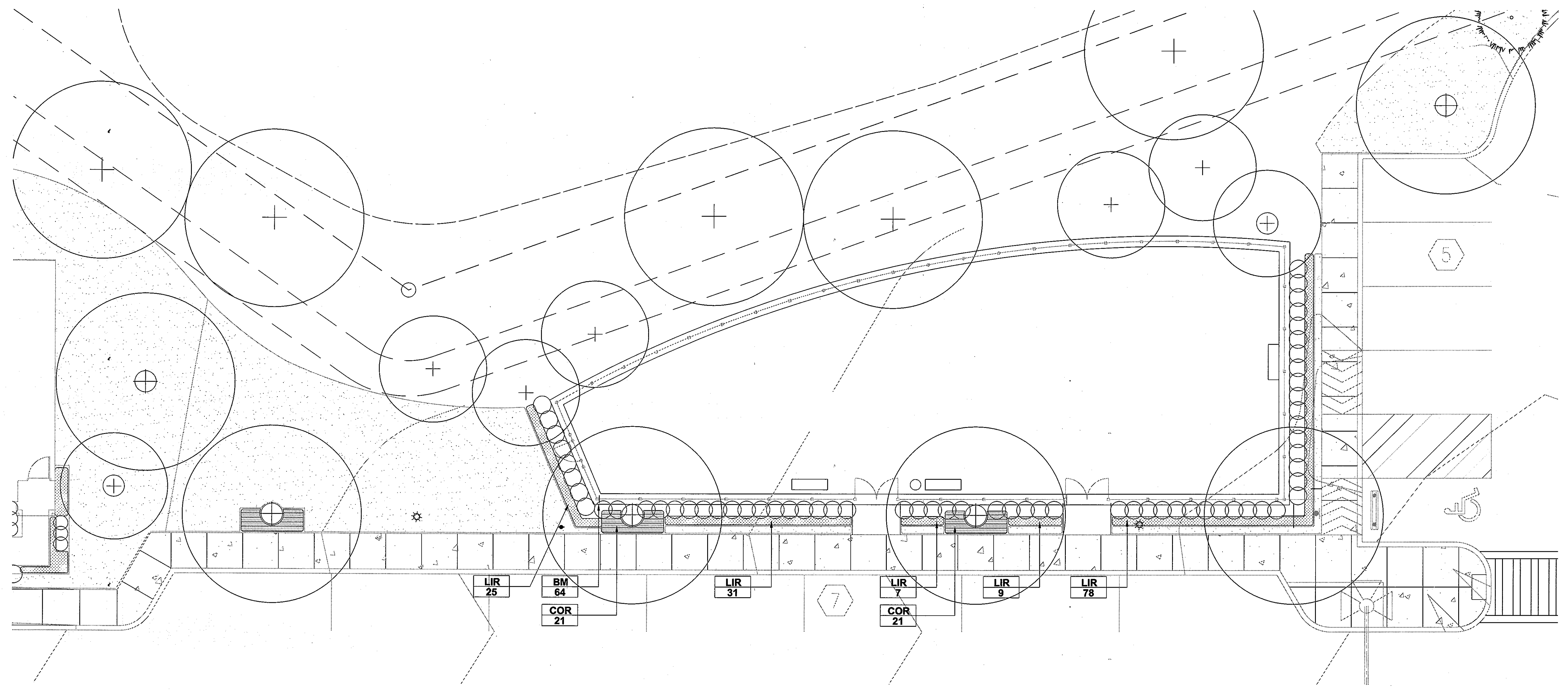
THE ENCLAVE AT EMERSON APARTMENTS
 PLAYGROUND PLANTING ENLARGEMENT
 HOWARD COUNTY, MARYLAND
 EMERSON APARTMENTS, LLC

EMERSON APARTMENTS, LLC, TIMONIUM, MD, 21083
 OWNER/DEVELOPER: 1986 GREENSPRING DRIVE, SUITE 400 410-560-0300

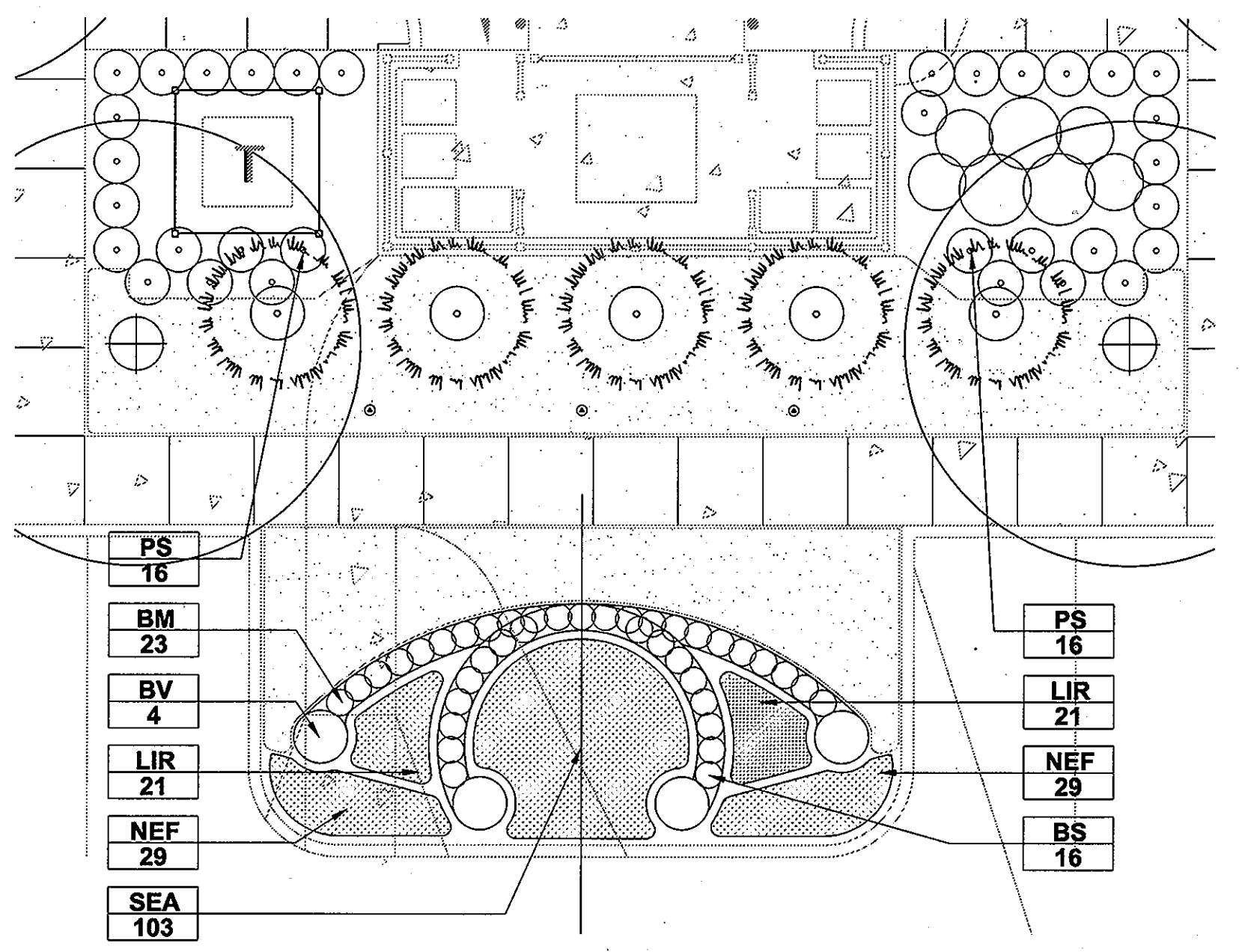
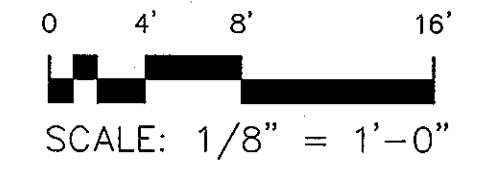
REVISIONS
 PROJECT NO.: 2009.10.4
 SCALE:
 DATE: 04/09/2010

L209
 SHEET 20 OF 27

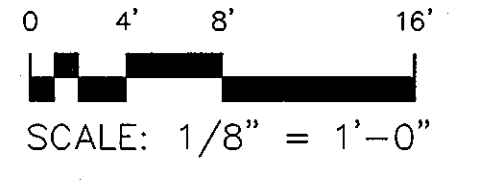
SDP-10-013



1 PLAYGROUND PLANTING ENLARGEMENT C
 SCALE: 1/8" = 1'-0"



2 PLANTING ENLARGEMENT L
 SCALE: 1/8" = 1'-0"

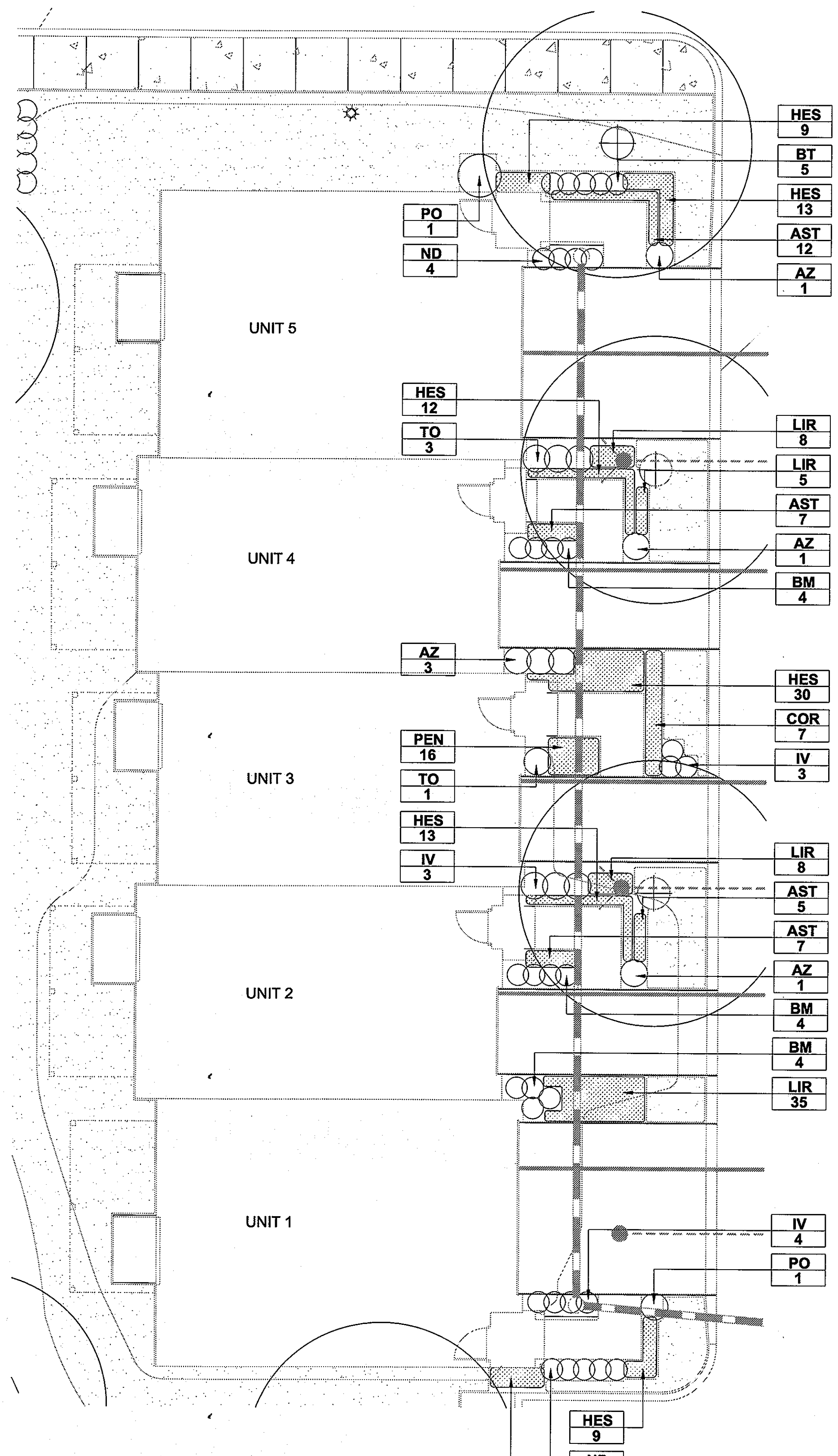


PLANT LIST (This Sheet Only)

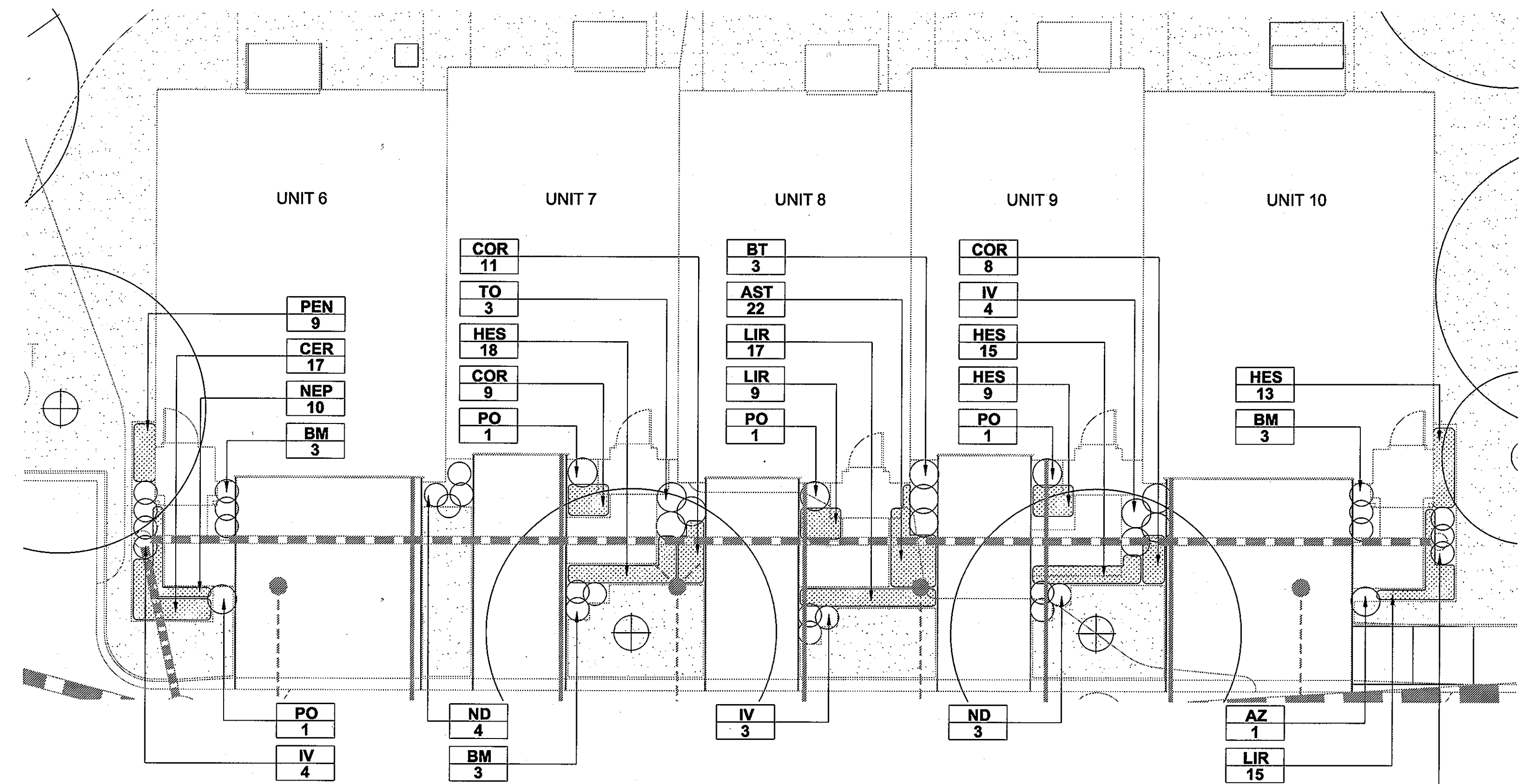
EVERGREEN			
Qty	Abbrev.	Scientific Name	Common Name Size
16	BS	<i>Buxus sempervirens 'Suffruticosa'</i>	English Boxwood 30" Dia
4	BV	<i>Buxus sempervirens 'Green Velvet'</i>	Green Velvet Boxwood 30" Dia
32	PS	<i>Prunus laurocerasus 'Skip Laurel'</i>	Skip Laurel Cherry 30" Dia
87	BM	<i>Buxus sempervirens 'Green Mountain'</i>	Green Mountain Boxwood 30" Dia
PERENNIALS/GROUNDCOVERS/VINES			
Qty	Abbrev.	Scientific Name	Common Name Size
185	LIR	<i>Liriope muscari 'Big Blue'</i>	Lilyturf 18" Dia
42	COR	<i>Coreopsis verticillata 'Moonbeam'</i>	Threadleaf Coreopsis 18" Dia
58	NEP	<i>Nepeta nervosa 'Felix'</i>	Catmint
SOD			
Qty	Abbrev.	Notes	
224	Sod		
ANNUALS			
Qty	Abbrev.	Notes	
103	Annu	To be selected	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 [Signature] 5/13/10
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] 5/13/10
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] 5/13/10
 DIRECTOR

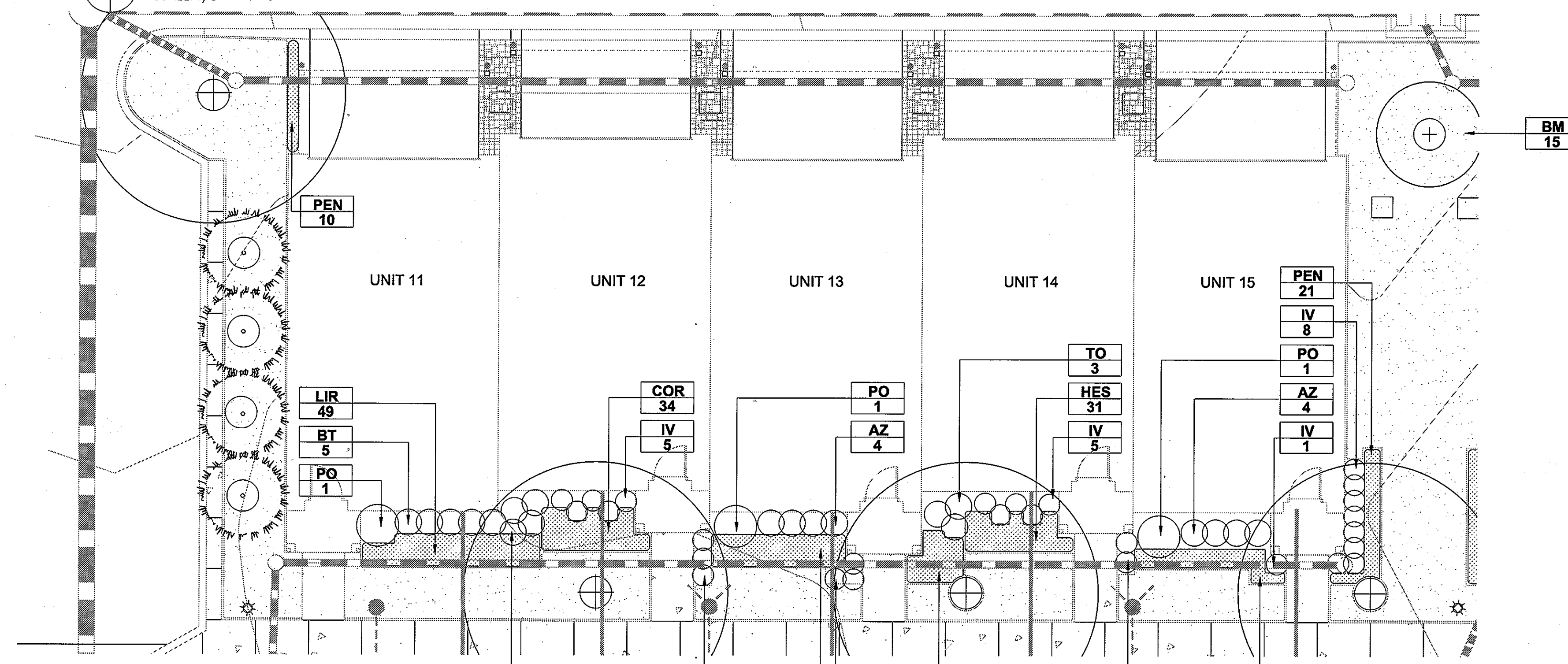
DEVELOPER'S/BUILDER'S CERTIFICATE
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.
 [Signature] 4/23/10
 SIGNATURE OF DEVELOPER DATE



1 PLANTING ENLARGEMENT E
SCALE: 1/8" = 1'-0"



2 PLANTING ENLARGEMENT F
SCALE: 1/8" = 1'-0"



3 PLANTING ENLARGEMENT G
SCALE: 1/8" = 1'-0"

PLANT LIST (This Sheet Only)

EVERGREEN

Qty	Abbrev.	Scientific Name	Common Name	Size	Notes
13	TO	<i>Thuja occidentalis</i> 'Emerald Green'	Emerald Green Arborvitae	6' Ht.	
9	PO	<i>Prunus laurocerasus</i> 'Otto Luyken'	Cherry Laurel	30" Dia	
15	AZ	<i>Rhododendron</i> 'P.J.M.'	P.J.M. Rhododendron	30" Dia	
20	ND	<i>Nandina domestica</i> 'Harbour Dwarf'	Harbour Dwarf Nandina	30" Dia	
16	BT	<i>Berberis thunbergii atropurpurea</i> 'Crimson Pygmy'	Crimson Pygmy Barberry	30" Dia	
26	BM	<i>Buxus sempervirens</i> 'Green Mountain'	Green Mountain Boxwood	30" Dia	

PERENNIALS/GROUNDCOVERS/VINES

Qty	Abbrev.	Scientific Name	Common Name	Size	Notes
10	NEP	<i>Nepeta nervosa</i> 'Felix'	Catmint	12" Dia	
53	AST	<i>Astilbe x. arendsii</i>	Astilbe	18" Dia	
170	LIR	<i>Liriope muscari</i> 'Big Blue'	Lilyturf	18" Dia	
69	COR	<i>Coreopsis verticillata</i> 'Moonbeam'	Threadleaf Coreopsis	18" Dia	
17	CER	<i>Cerostigmata plumbaginoides</i>	Plumbago	1 Gal.	

ORNAMENTAL GRASSES

Qty	Abbrev.	Scientific Name	Common Name	Size	Notes
197	HES	<i>Helictotrichon sempervirens</i>	Blue Oat Grass	18" Dia	
65	PEN	<i>Pennisetum alopecuroides</i> 'Hamel'	Dwarf Fountain Grass	1 Gal	

DECIDUOUS SHRUBS

Qty	Abbrev.	Scientific Name	Common Name	Size	Notes
55	IV	<i>Cornus stolonifera</i>	Red Osier Dogwood	30" Dia	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 5/13/10
CHIEF, DEVELOPMENT ENGINEERING DIVISION

[Signature] 5/18/10
CHIEF, DIVISION OF LAND DEVELOPMENT

[Signature] 5/18/10
DIRECTOR

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

[Signature] 4/23/10
SIGNATURE OF DEVELOPER



Henneman + Associates
ARCHITECTS & PLANNERS
10700 Cluster Drive, Suite 400
Pikesville, Maryland 21093
Tel: 410-651-1000
Fax: 410-651-1001
www.hennemanarchitects.com

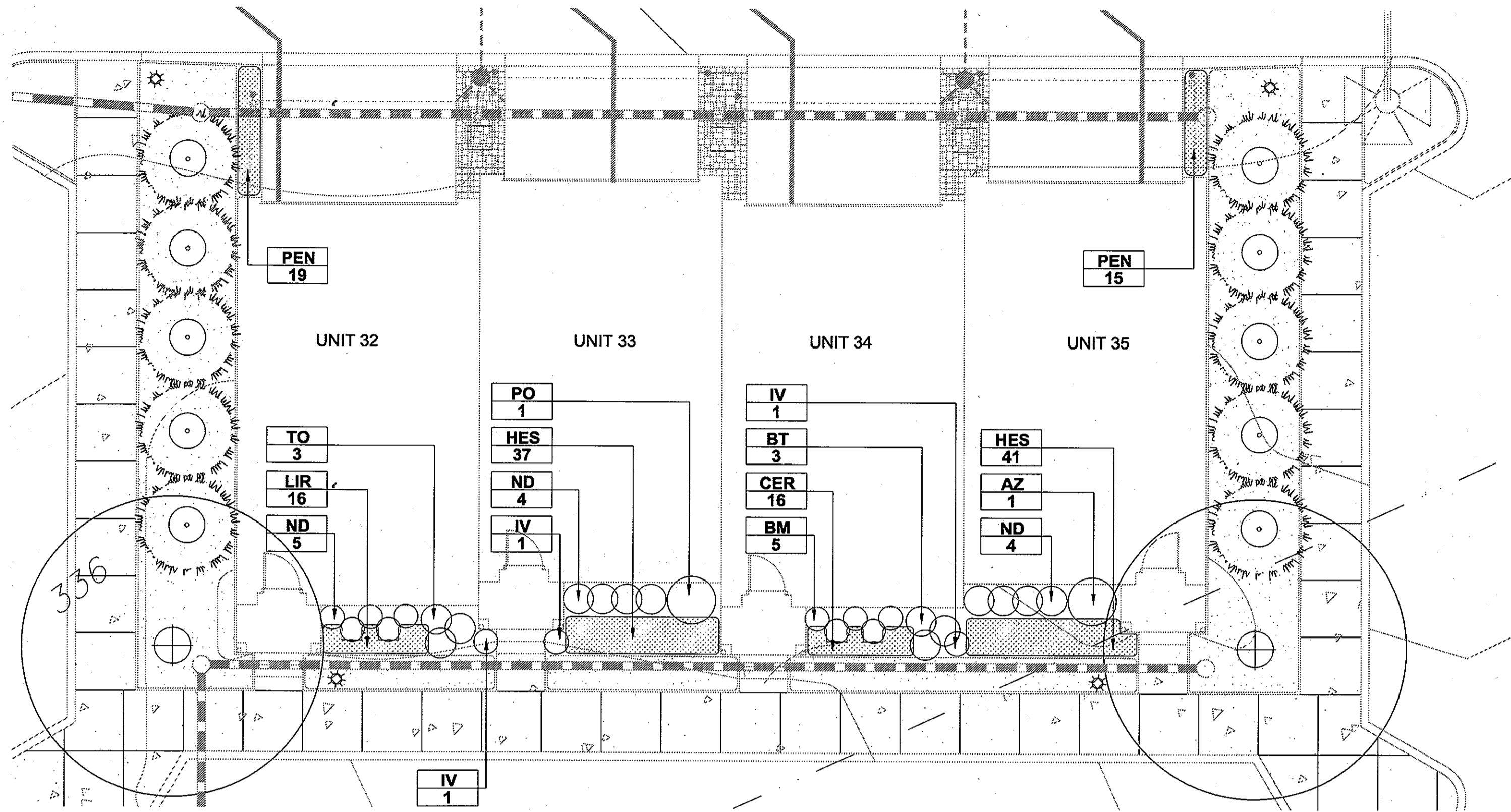
DESIGN COLLECTIVE
CONSULTANT
ARCHITECTURAL PLANNING SERVICES
100 EAST BAYVIEW DRIVE, SUITE 100
ANN ARBOR, MICHIGAN 48106
Tel: 734-769-1000
Fax: 734-769-1001
www.designcollective.com

THE ENCLAVE AT EMERSON APARTMENTS
TOWNHOME PLANTING ENLARGEMENTS
HOWARD COUNTY, MARYLAND
EMERSON APARTMENTS, LLC
EMERSON APARTMENTS, LLC, TIMONIUM, MD. 21093
1966 GREENSPRING DRIVE, SUITE 400 410-560-0300

OWNER/DEVELOPER:
EMERSON APARTMENTS, LLC, TIMONIUM, MD. 21093
1966 GREENSPRING DRIVE, SUITE 400 410-560-0300

PROJECT NO.: 2009.10.4
SCALE:
DATE: 04/09/2010

L210
SHEET 21 OF 27



PLANTING ENLARGEMENT K
 SCALE: 1/8" = 1'-0"

PLANT LIST (This Sheet Only)

Qty	Abbrev.	Scientific Name	Common Name	Size	Notes
3	TO	<i>Thuja occidentalis 'Emerald Green'</i>	Emerald Green Arborvitae	6' Ht.	
1	PO	<i>Prunus laurocerasus 'Otto Luyken'</i>	Cherry Laurel	30" Dia	
1	AZ	<i>Rhododendron 'Delaware Valley White'</i>	Evergreen Azalea	30" Dia	
9	ND	<i>Nandina domestica 'Harbour Dwarf'</i>	Harbour Dwarf Nandina	30" Dia	
3	BT	<i>Berberis thunbergii atropurpurea 'Crimson Pygmy'</i>	Crimson Pygmy Barberry	30" Dia	
5	BM	<i>Buxus sempervirens 'Green Mountain'</i>	Green Mountain Boxwood	30" Dia	

Qty	Abbrev.	Scientific Name	Common Name	Size	Notes
78	HES	<i>Helictotrichon sempervirens'</i>	Blue Oat Grass	18" Dia	
34	PEN	<i>Pennisetum alopecuroides 'Hameln'</i>	Dwarf Fountain Grass	1 Gal	

Qty	Abbrev.	Scientific Name	Common Name	Size	Notes
2	IV	<i>Cornus stolonifera</i>	Red Osier Dogwood	30" Dia	

Qty	Abbrev.	Scientific Name	Common Name	Size	Notes
16	LIR	<i>Liriope muscari 'Big Blue'</i>	Lilyturf	18" Dia	
16	CER	<i>Cerostigmata plumbaginoides</i>	Plumbago	1 Gal.	

Qty	Abbrev.	Notes
984 sf	Sod	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 5/12/10

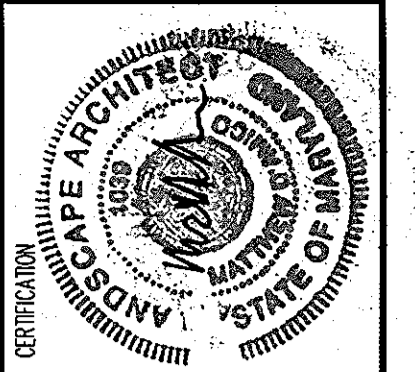
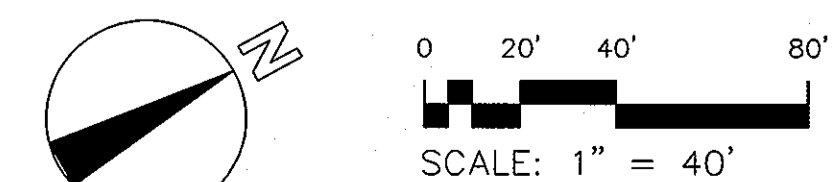
CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 5/12/10

DIRECTOR
 DATE: 5/12/10

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

SIGNATURE OF DEVELOPER
 DATE: 4/23/10



Henneman + Associates
 ARCHITECTS & PLANNERS
 10705 Charter Drive, Suite 404
 Columbia, Maryland 21044
 Tel: 410.992.4417 • Fax: 410.992.4497
 www.hennemanarchitects.com

DESIGN COLLECTIVE
 CONSULTANT
 1000 North Street, Suite 100
 Baltimore, Maryland 21202
 Tel: 410.528.1300 • Fax: 410.528.1301
 www.designcollective.com

THE ENCLAVE AT EMERSON APARTMENTS
 TOWNHOME PLANTING ENLARGEMENTS
 HOWARD COUNTY, MARYLAND
 EMERSON APARTMENTS, LLC

EMERSON APARTMENTS, LLC, TIMONIUM, MD. 21083
 OWNER/DEVELOPER: 1966 GREENSPRING DRIVE, SUITE 400 410-560-0300

PROJECT NO.: 2009.10.4
 SCALE:
 DATE: 04/09/2010

L212
 SHEET 23 OF 27



HHA
HENNEMAN + ASSOCIATES
ARCHITECTS + PLANNERS
 10705 Cluster Drive, Suite 400
 Columbia, Maryland 21044
 Tel: 410.742.4477 or Fax: 410.742.4497
 www.hennemanassociates.com

DESIGN COLLECTIVE
 CONSULTANT
 10705 Cluster Drive, Suite 400
 Columbia, Maryland 21044
 Tel: 410.742.4477 or Fax: 410.742.4497
 www.designcollective.com

THE ENCLAVE AT EMERSON APARTMENTS
 OVERALL PLANT LIST
 HOWARD COUNTY, MARYLAND
 EMERSON APARTMENTS, LLC
 EMERSON APARTMENTS, LLC, TIMONIUM, MD. 21093
 OWNER/DEVELOPER: 1966 GREENSPRING DRIVE, SUITE 400 410-560-0300
 PROJECT NO.: 2009.10.4
 SCALE: 1" = 40'
 DATE: 04/09/2010
L213
 SHEET 24 OF 27
 SDP-10-013

PLANT LIST By Sheet

L202	L203	L204	L205	L206	L207	L208	L209	L210	L211	L212
			26					13	12	3
			68							
			50				16			
			8				4			
71	10		8	63	63	73		9	16	1
			53	105	105	88				
26			34	17	17			15	24	1
			5	19	19	44		20	34	9
29	40							16	12	3
	3		2							
44	89	163	120				39	87	26	5
							32			

OVERALL PLANT LIST

EVERGREEN				
Qty	Abbrev.	Scientific Name	Common Name	Size
54	TO	<i>Thuja occidentalis 'Emerald Green'</i>	Emerald Green Arborvitae	6' Ht.
68	JH	<i>Juniperus horizontalis 'Plumosa'</i>	Andorra Juniper	30" Dia
66	BS	<i>Buxus sempervirens 'Suffruticosa'</i>	English Boxwood	30" Dia
12	BV	<i>Buxus sempervirens 'Green Velvet'</i>	Green Velvet Boxwood	30" Dia
314	PO	<i>Prunus laurocerasus 'Otto Luyken'</i>	Cherry Laurel	30" Dia
351	TD	<i>Taxus x media 'Densifomis'</i>	Dense Yew	30" Dia
134	AZ	<i>Rhododendron 'P.J.M.'</i>	P.J.M. Rhododendron	30" Dia
150	ND	<i>Nandina domestica 'Harbour Dwarf'</i>	Harbour Dwarf Nandina	30" Dia
100	BT	<i>Berberis thunbergii atropurpurea 'Crimson Pygmy'</i>	Japanese Barberry	30" Dia
5	IN	<i>Ilex x. Nellie R. Stevens'</i>	Nellie R. Stevens Holly	6'-8' Ht.
596	BM	<i>Buxus sempervirens 'Green Mountain'</i>	Green Mountain Boxwood	30" Dia
32	PS	<i>Prunus laurocerasus 'Schipkaensis'</i>	Schip Cherry Laurel	30" Dia
ORNAMENTAL GRASSES				
Qty	Abbrev.	Scientific Name	Common Name	Size
104	CAL	<i>Calamagrostis acutiflora 'Karl Foerster'</i>	Feather Reed Grass	18" Dia
1478	HES	<i>Helictotrichon sempervirens'</i>	Blue Oat Grass	18" Dia
743	PEN	<i>Pennisetum alopecuroides 'Hameln'</i>	Dwarf Fountain Grass	1 Gal
DECIDUOUS SHRUBS				
Qty	Abbrev.	Scientific Name	Common Name	Size
398	IV	<i>Itea virginica 'Little Henry'</i>	Virginia Sweetspire	30" Dia
PERENNIALS/GROUNDCOVERS/VINES				
Qty	Abbrev.	Scientific Name	Common Name	Size
48	RUD	<i>Rudbeckia hirta</i>	Black-eyed Susan	18" Dia
1048	NEP	<i>Nepeta nervosa 'Felix'</i>	Catmint	
639	PER	<i>Perovskia 'Little Spire'</i>	Russian Sage	18" Dia
441	AST	<i>Astilbe x. arendsii</i>	Astilbe	18" Dia
2923	LIR	<i>Liriope muscari 'Big Blue'</i>	Lilyturf	1 Gal.
850	COR	<i>Coreopsis verticillata 'Moonbeam'</i>	Threadleaf Coreopsis	18" Dia
190	STB	<i>Stachys bizantina</i>	Lambs Ears	12" Dia
89	CER	<i>Cerostigmata plumbaginoides</i>	Plumbago	1 Gal.
230	HEM	<i>Hemerocallis fulva</i>	Daylily	1 Gal.
173	LIA	<i>Liatris</i>	Gay Feather	1 Gal.
167	PHC	<i>Phlox carolina 'Miss Lingard'</i>	Carolina Phlox	1 Gal.

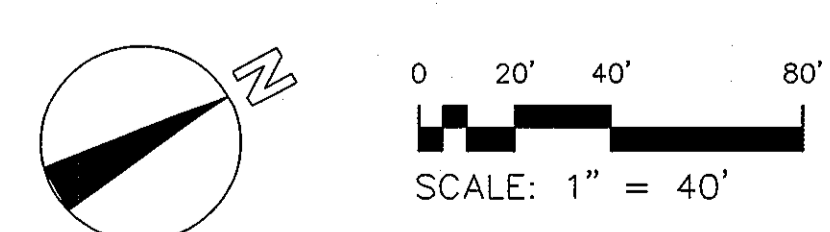
MINIMUM LANDSCAPE PLAN

Schedule B Perimeter E	Schedule C	Table 2	EVERGREEN						
Qty	Abbrev.	Scientific Name	Common Name	Size	Qty	Abbrev.	Scientific Name	Common Name	Size
44	10		54	TO	<i>Thuja occidentalis 'Emerald Green'</i>	Emerald Green Arborvitae	6' Ht.		
60	8		68	JH	<i>Juniperus horizontalis 'Plumosa'</i>	Andorra Juniper	30" Dia		
	66		66	BS	<i>Buxus sempervirens 'Suffruticosa'</i>	English Boxwood	30" Dia		
	12		12	BV	<i>Buxus sempervirens 'Green Velvet'</i>	Green Velvet Boxwood	30" Dia		
	314		314	PO	<i>Prunus laurocerasus 'Otto Luyken'</i>	Cherry Laurel	30" Dia		
	351		351	TD	<i>Taxus x media 'Densifomis'</i>	Dense Yew	30" Dia		
	134		134	AZ	<i>Rhododendron 'P.J.M.'</i>	P.J.M. Rhododendron	30" Dia		
	150		150	ND	<i>Nandina domestica 'Harbour Dwarf'</i>	Harbour Dwarf Nandina	30" Dia		
	100		100	BT	<i>Berberis thunbergii atropurpurea 'Crimson Pygmy'</i>	Crimson Pygmy Barberry	30" Dia		
	5		5	IN	<i>Ilex x. Nellie R. Stevens'</i>	Nellie R. Stevens Holly	6'-8' Ht.		
	576		576	BM	<i>Buxus sempervirens 'Green Mountain'</i>	Green Mountain Boxwood	30" Dia		
	32		32	PS	<i>Prunus laurocerasus 'Schipkaensis'</i>	Schip Cherry Laurel	30" Dia		
ORNAMENTAL GRASSES					Qty	Abbrev.	Scientific Name	Common Name	Size
			392		774	HES	<i>Helictotrichon sempervirens'</i>	Blue Oat Grass	18" Dia
					268	PEN	<i>Pennisetum alopecuroides 'Hameln'</i>	Dwarf Fountain Grass	1 Gal
					128				
DECIDUOUS SHRUBS					Qty	Abbrev.	Scientific Name	Common Name	Size
					128	IV	<i>Cornus stolonifera</i>	Red-Osier Dogwood	30" Dia
TOTAL	TOTAL	TOTAL	TOTAL	TOTAL	TOTAL	TOTAL	TOTAL	TOTAL	TOTAL
104	2150	1170							

NOTE:
 ABOVE LISTED SHRUBS FULFILL LANDSCAPE REQUIREMENTS PER SCHEDULES A,B,C AND TABLE 2 SHOWN ON SHEET L202

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 [Signature] 5/13/10
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] 5/18/10
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] 5/18/10
 DIRECTOR

DEVELOPER'S/BUILDER'S CERTIFICATE
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.
 [Signature] 4/23/10
 SIGNATURE OF DEVELOPER
 DATE



Date: 2009
 Drawn by: [Name]
 Scale: 1" = 40'
 Job No.: [Number]



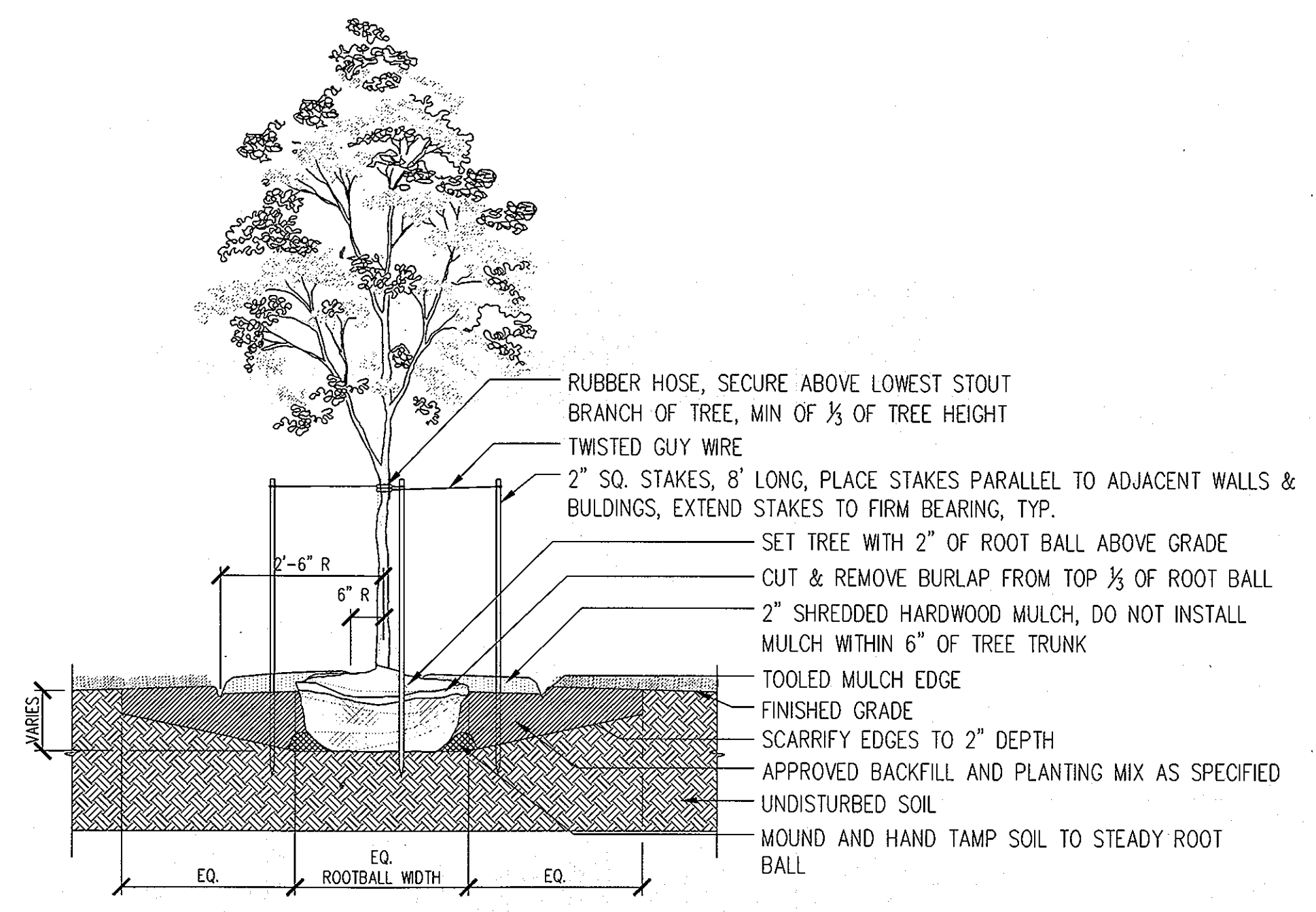
HHA
HENNEMAN + ASSOCIATES
ARCHITECTS & PLANNERS
 10705 Charter Drive, Suite 400
 Columbia, Maryland 21044
 Tel: 410.992.4417 • Fax: 410.992.4497
 www.hennemanarchitects.com

DESIGN COLLECTIVE
 CONSULTANT
 314 BLACKWELL STREET, SUITE 100
 BALTIMORE, MARYLAND 21201
 410.528.1100
 410.528.1101
 www.designcollective.com

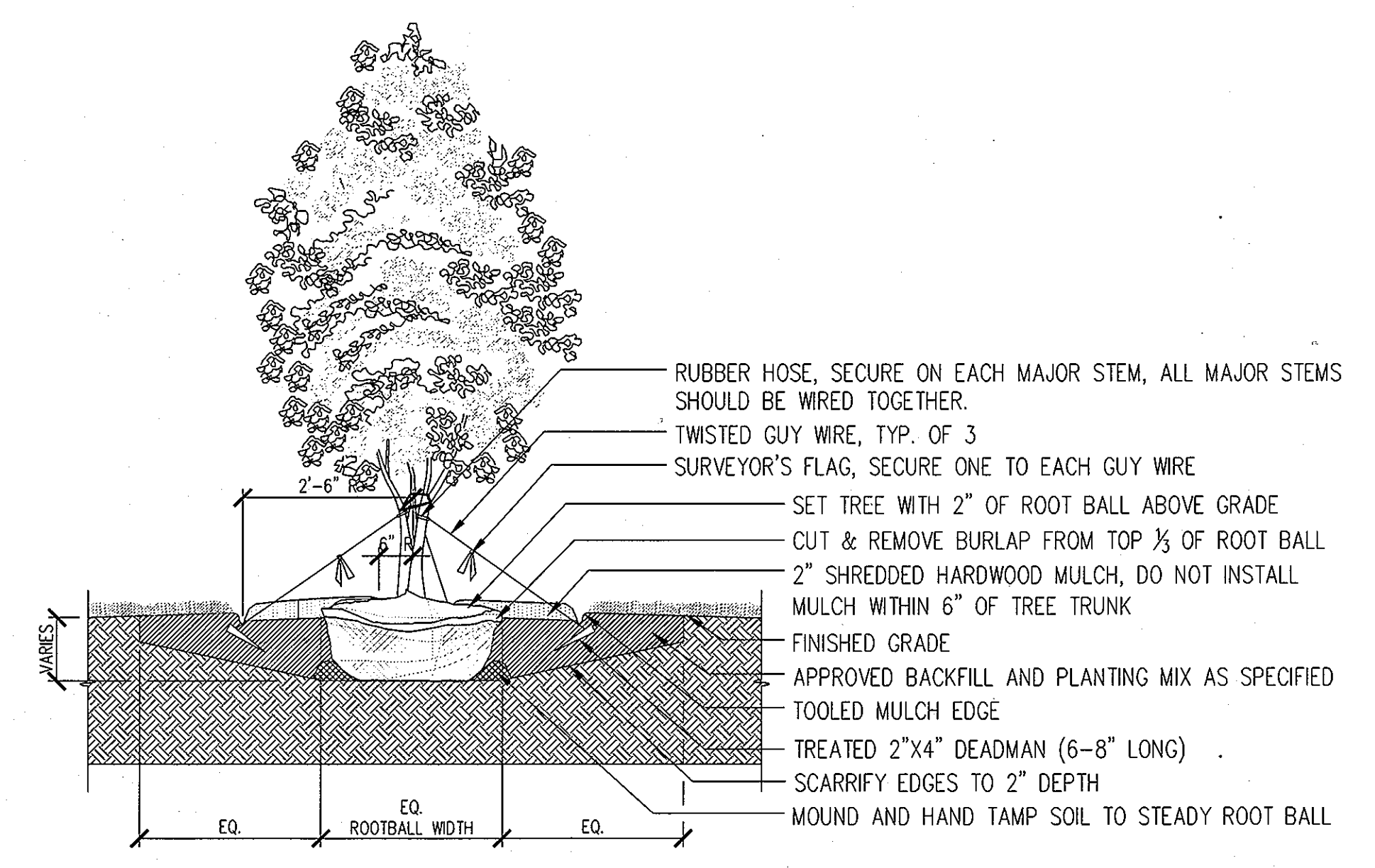
THE ENCLAVE AT EMERSON APARTMENTS
 PLANTING DETAILS
 HOWARD COUNTY, MARYLAND
 EMERSON APARTMENTS, LLC

OWNER/DEVELOPER: EMERSON APARTMENTS, LLC, TIMONIUM, MD, 21093
 1966 GREENSPRING DRIVE, SUITE 400 410-560-0300

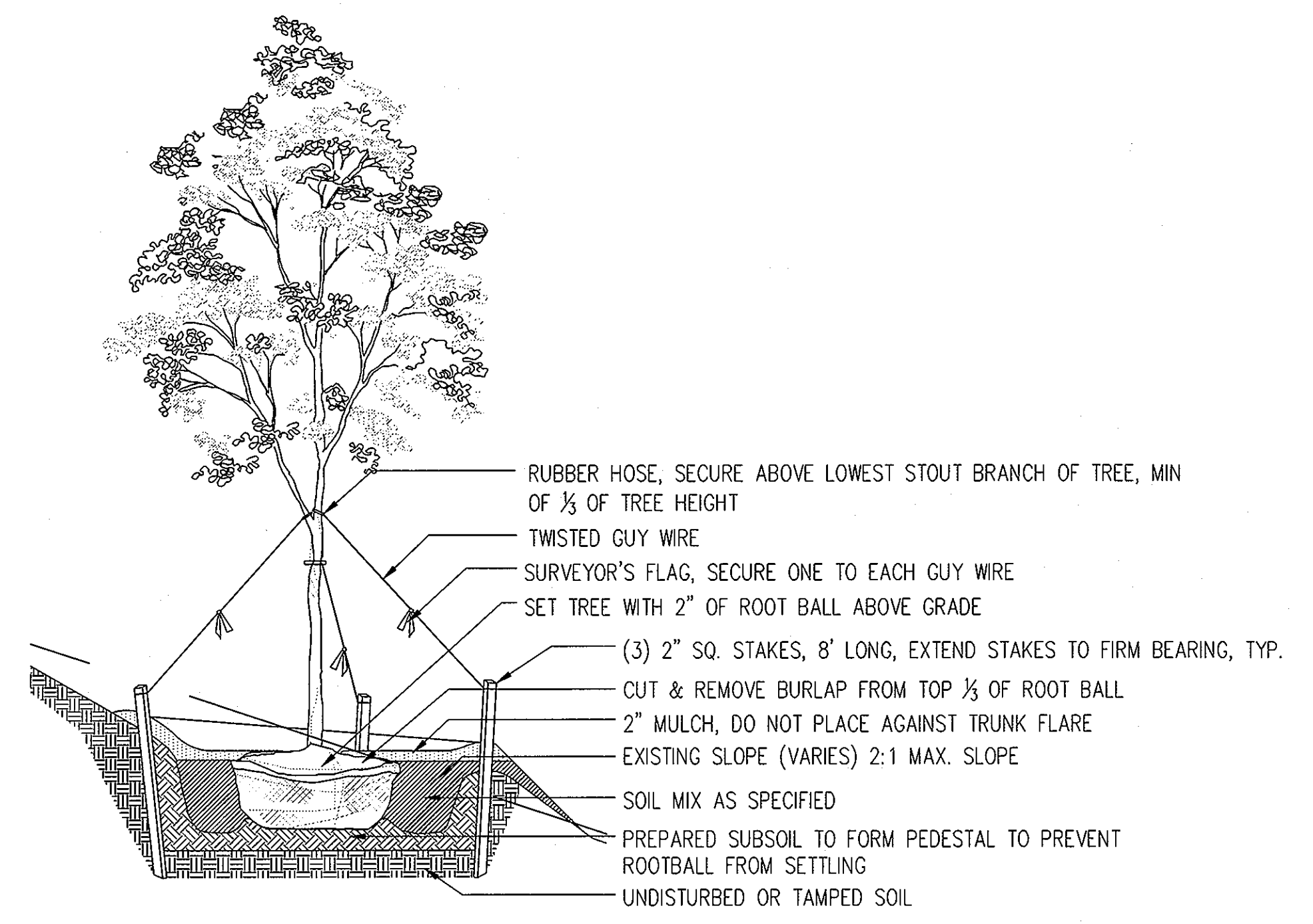
REVISIONS
 PROJECT NO.: 2009.10.4
 SCALE:
 DATE: 04/09/2010
L215
 SHEET 25 OF 27
 SDP-10-013



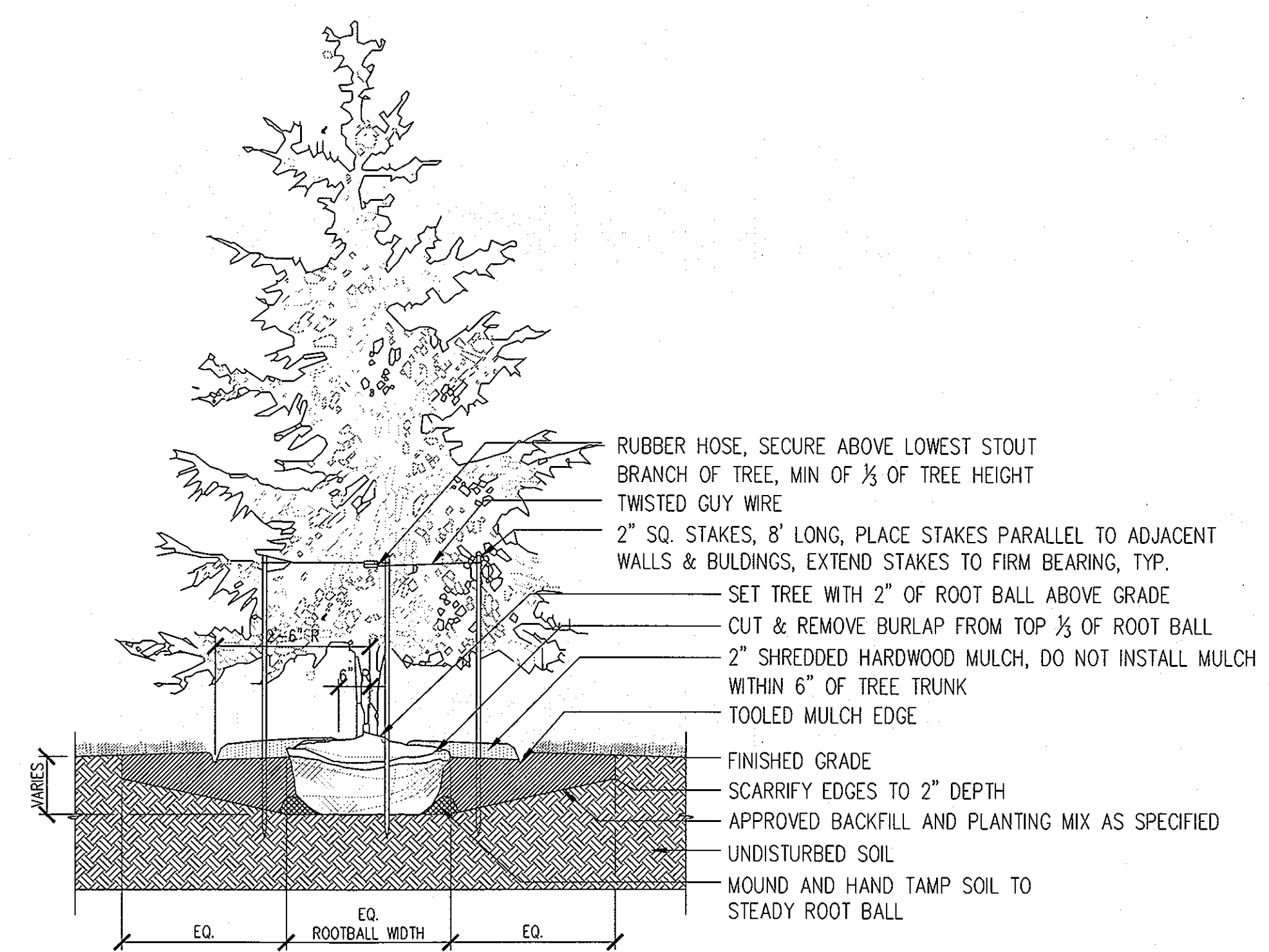
1 TYPICAL DECIDUOUS TREE PLANTING
 SCALE: 1/2" = 1'-0"



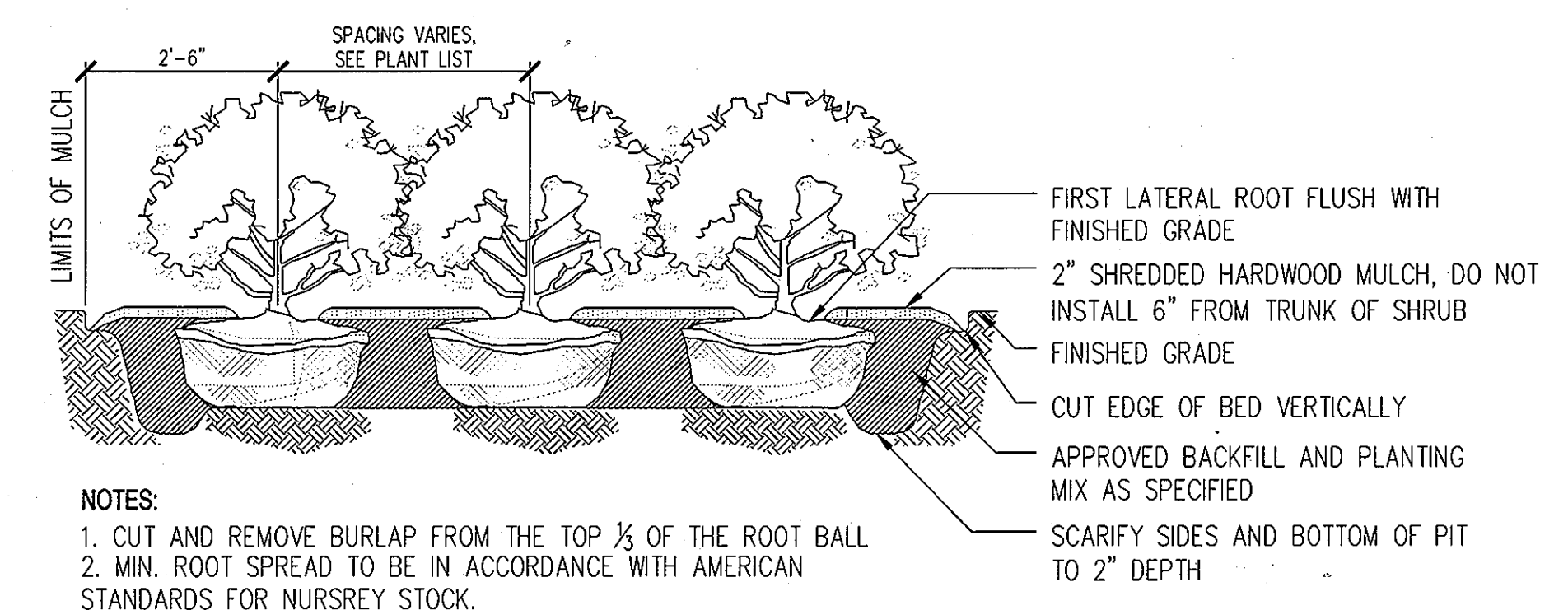
2 TYPICAL MULTI-STEM TREE PLANTING
 SCALE: 1/2" = 1'-0"



3 TREE PLANTING ON SLOPE
 SCALE: 1/2" = 1'-0"



4 TYPICAL EVERGREEN TREE PLANTING
 SCALE: 1/2" = 1'-0"



- NOTES:
 1. CUT AND REMOVE BURLAP FROM THE TOP 1/3 OF THE ROOT BALL
 2. MIN. ROOT SPREAD TO BE IN ACCORDANCE WITH AMERICAN STANDARDS FOR NURSERY STOCK.
 3. PRUNE ALL DAMAGED, DISEASED, OR WEAK LIMBS AND ROOTS.
 4. CLEANLY PRUNE ALL DAMAGED ROOT ENDS.
 5. DO NOT ALLOW ROOTS TO DRY OUT DURING INSTALLATION PROCESS.
 6. SOAK ROOTS IN WATER OVERNIGHT BEFORE PLANTING.

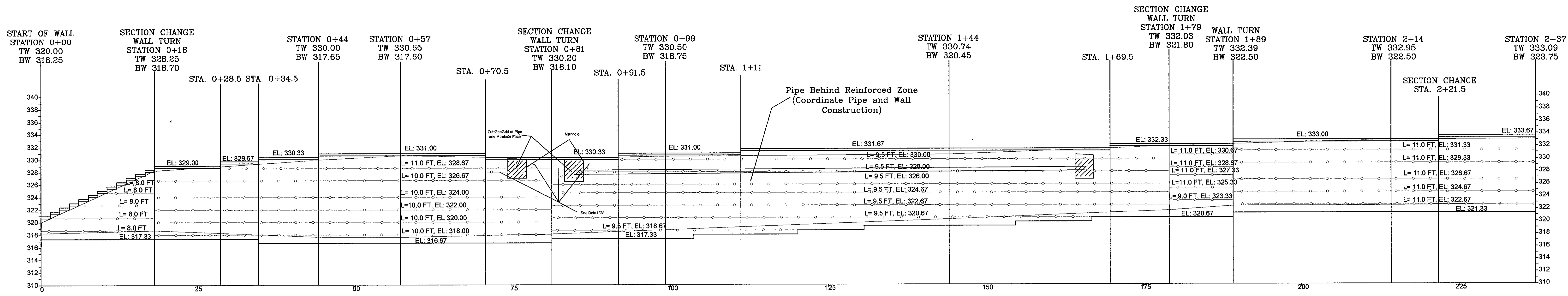
5 TYPICAL SHRUB PLANTING
 SCALE: 1/2" = 1'-0"

- TREE PLANTING NOTES:
 1. NEVER CUT CENTRAL LEADER.
 2. TREE SHALL STAND PLUMB.
 3. COMPLETELY REMOVE WIRE BASKETS BEFORE INSTALLATION. BASKETS SHOULD BE CUT IN A MINIMUM OF 4 PLACES.
 4. MULCH SHOULD NOT BE PLACED AGAINST TRUNK FLARE.
 5. WATER THOROUGHLY TWICE WITHIN THE FIRST 48 HOURS.
 6. FILL MUST NOT BE COMPACTED.
 7. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.
 8. PRUNING AFTER PLANTING SHOULD BE LIMITED TO DEAD OR DAMAGED BRANCHES, OR THOSE THAT THREATEN THE APPEARANCE AND BRANCHING STRUCTURE OF THE TREE.

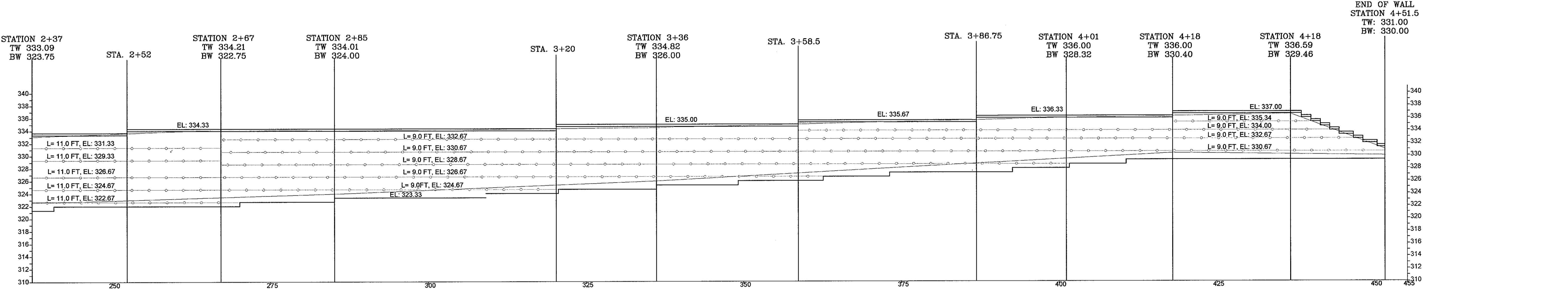
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 [Signature] 5/13/10
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] 5/13/10
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] 5/18/10
 DIRECTOR

DEVELOPER'S/BUILDER'S CERTIFICATE
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.
 [Signature] 4/23/10
 SIGNATURE OF DEVELOPER DATE

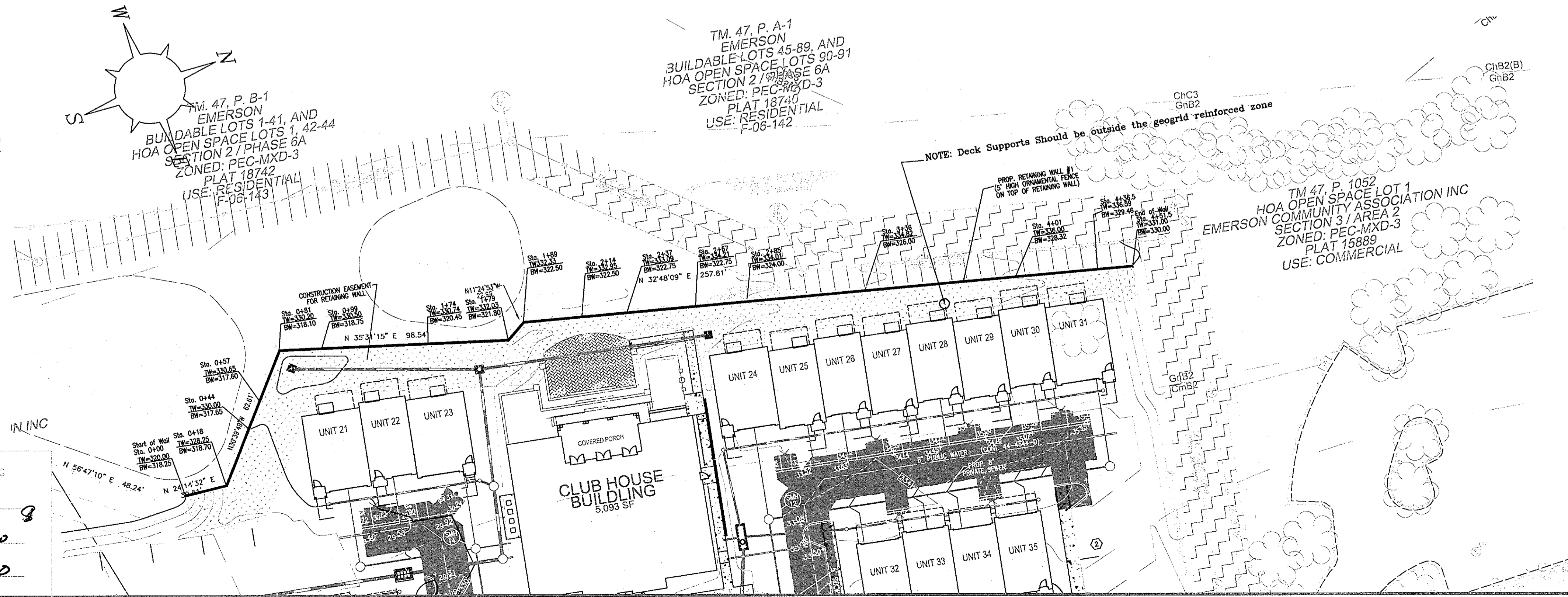
File: Henneman & Associates
 Drawn by: [Name]
 Date: 4/23/10
 Scale: 1/2" = 1'-0"



RETAINING WALL
HORIZONTAL SCALE 1" = 7.5'
VERTICAL SCALE 1" = 7.5'



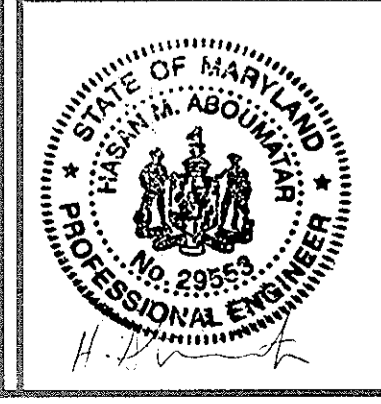
NOTE: The retaining wall should be constructed before the houses otherwise sheeting and shoring or sloping of at least 1H:1V should be utilized as not to undermine the houses foundations.



OWNER/DEVELOPER
EMERSON APARTMENTS, LLC
1996 GREENSPRING DRIVE, SUITE 508
TIMONIUM, MD, 21093
443-472-2846

NO.	REVISION	DATE

SITE DEVELOPMENT PLAN
THE ENCLAVE AT EMERSON APARTMENTS
PARCEL 'E' (SECTION 2, PHASE 8B)
APARTMENTS AND TOWNHOUSES
TAX MAP 47 GRID B
6TH ELECTION DISTRICT
PLAT 111-1-22
(L-11826.F.490)
PARCELS 837, P/O 462
HOWARD COUNTY, MARYLAND



DESIGN BY: HMA
DRAWN BY: JMS
CHECKED BY: HMA
DATE: January 2010
SCALE: AS SHOWN
W.O. NO.: 02-5104-B

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
John D. ... 5/13/10
 CHIEF DEVELOPER ENGINEERING DIVISION
Kit ... 5/18/10
 CHIEF DIVISION OF LAND DEVELOPMENT
Thomas & ... 5/18/10
 DIRECTOR

RETAINING WALL SPECIFICATION GUIDELINES

PART 1: GENERAL
1.01 Description
 A. Retaining walls must be constructed under the supervision of a Maryland Registered Professional Engineer.
 B. Work includes furnishing and installing concrete modular block retaining wall units to the lines and grades shown on the construction drawings and as specified herein.
 C. Work includes preparing foundation soil, furnishing and installing leveling pad, unit fill and reinforced backfill to the lines and grades shown on the construction drawings.
 D. Work includes furnishing and installing all related materials required for construction of the retaining wall as shown on the construction drawings.

1.02 Reference Standards
 A. ASTM C 90 Load Bearing Concrete Masonry Units.
 B. ASTM C 140 Sampling and Testing Concrete Masonry Units.
 C. ASTM D 448 Sizes of Aggregate for Road and Bridge Construction.
 D. ASTM D 698 Laboratory Compaction Characteristics using Standard Effort.

1.03 Delivery, Storage and Handling
 A. Contractor shall check the materials upon delivery to ensure that proper materials have been received.
 B. Contractor shall prevent excessive mud, wet cement, epoxy, and similar materials (which may affix themselves) from coming in contact with the materials.
 C. Contractor shall protect the materials from damage and exposure to sunlight. Damaged materials shall not be incorporated into the retaining wall structure and backfill.

1.04 Quality Assurance
 A. Owner will be responsible for soil testing and construction observations for quality control during earthwork and retaining wall construction operations.

PART 2: MATERIALS
2.01 Definitions
 A. Modular Wall Units - KEYSTONE or equivalent modular concrete facing and corner units, machine made from portland cement, water, and mineral aggregates.
 B. Structural Geogrid - a structural geogrid formed by a regular network of integrally connected tensile elements with apertures of sufficient size to allow interlocking with surrounding soil, rock, or earth and function primarily as reinforcement.
 C. Unit Fill/Drainage Aggregate - drainage aggregate, such as No. 57 Stone, which is placed within the cells of the modular concrete units and immediately behind the units to a width of at least 12 inches.
 D. Reinforced Backfill - material placed within the reinforced soil zone as shown on the plans.
 E. Excavation Face - The interface between the reinforced backfill and the retained fill. During construction, measures shall be taken to avoid developing a shear plane at this interface.
 F. Retained Backfill - On-site material located behind the reinforced zone of soil.

2.02 Concrete Units
 A. Concrete segmental units shall conform to the requirements of NCMA TEK 2-4 and have a minimum 28-day compression strength of 4,000 psi. The units shall also pass 150 freeze thaw cycles in water with less than 1% weight loss for samples tested in accordance with ASTM C-1262.
 B. Wall Face Units for general use shall be KEYSTONE Standard II Units or equivalent. Sculptured face or straight (flat) face units may be used.
 C. Top of wall Cap Units shall be KEYSTONE Cap Units or equivalent with fiberglass connecting pins.

2.03 Fiberglass Connecting Pins
 A. Connecting pins shall be 1/2" diameter thermoset isophthalic polyester resin-pultruded fiberglass reinforcement rods supplied by the unit manufacturer.

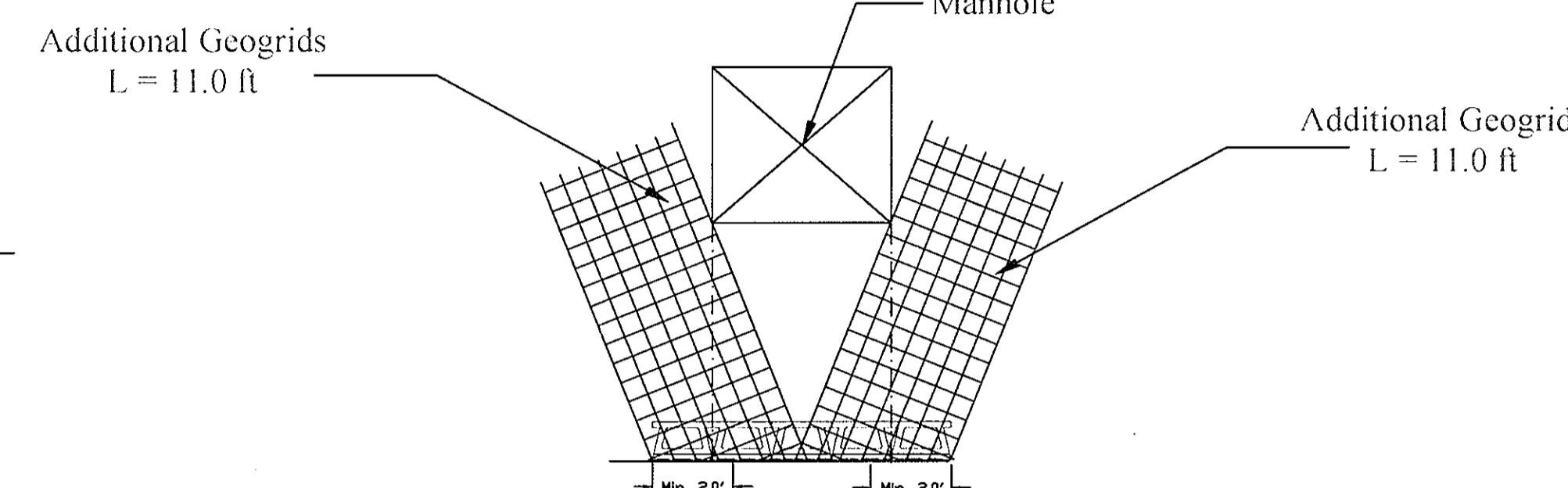
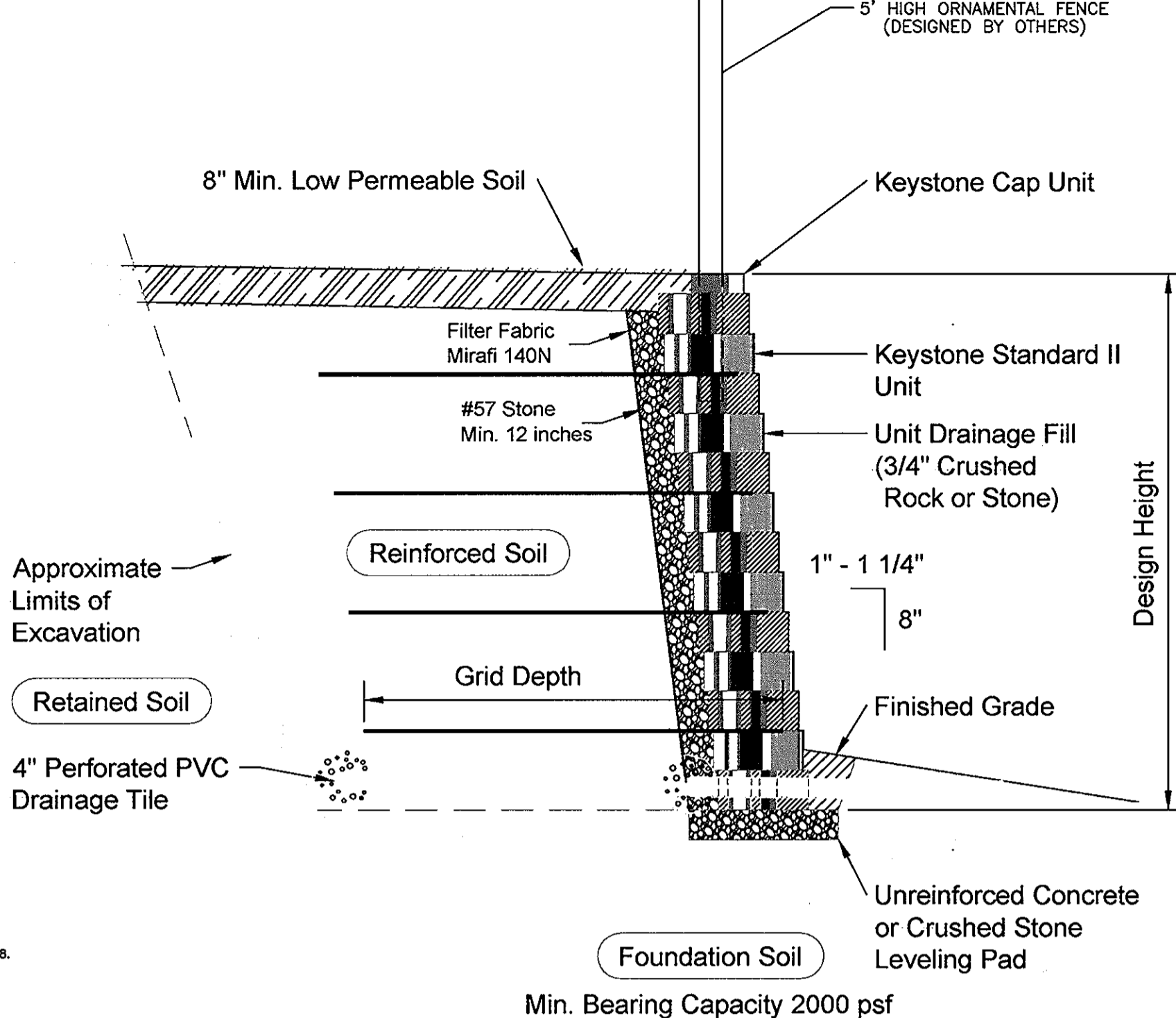
2.04 Construction Adhesive
 A. Construction adhesive for top of wall cap blocks shall be KEYSTONE KapSealTM or an approved equivalent construction adhesive. Material shall conform to ASTM 2339 and shall be supplied by the block unit supplier.

2.05 Drainage Pipe
 A. Continuous collection pipe shall consist of 4-inch diameter slotted or perforated PVC pipe (Schedule 40).
 B. Outlet (discharge) pipe shall consist of 4-inch diameter solid PVC pipe (Schedule 40).
 C. All pipe fittings shall be appropriate for the pipe size and schedule used.

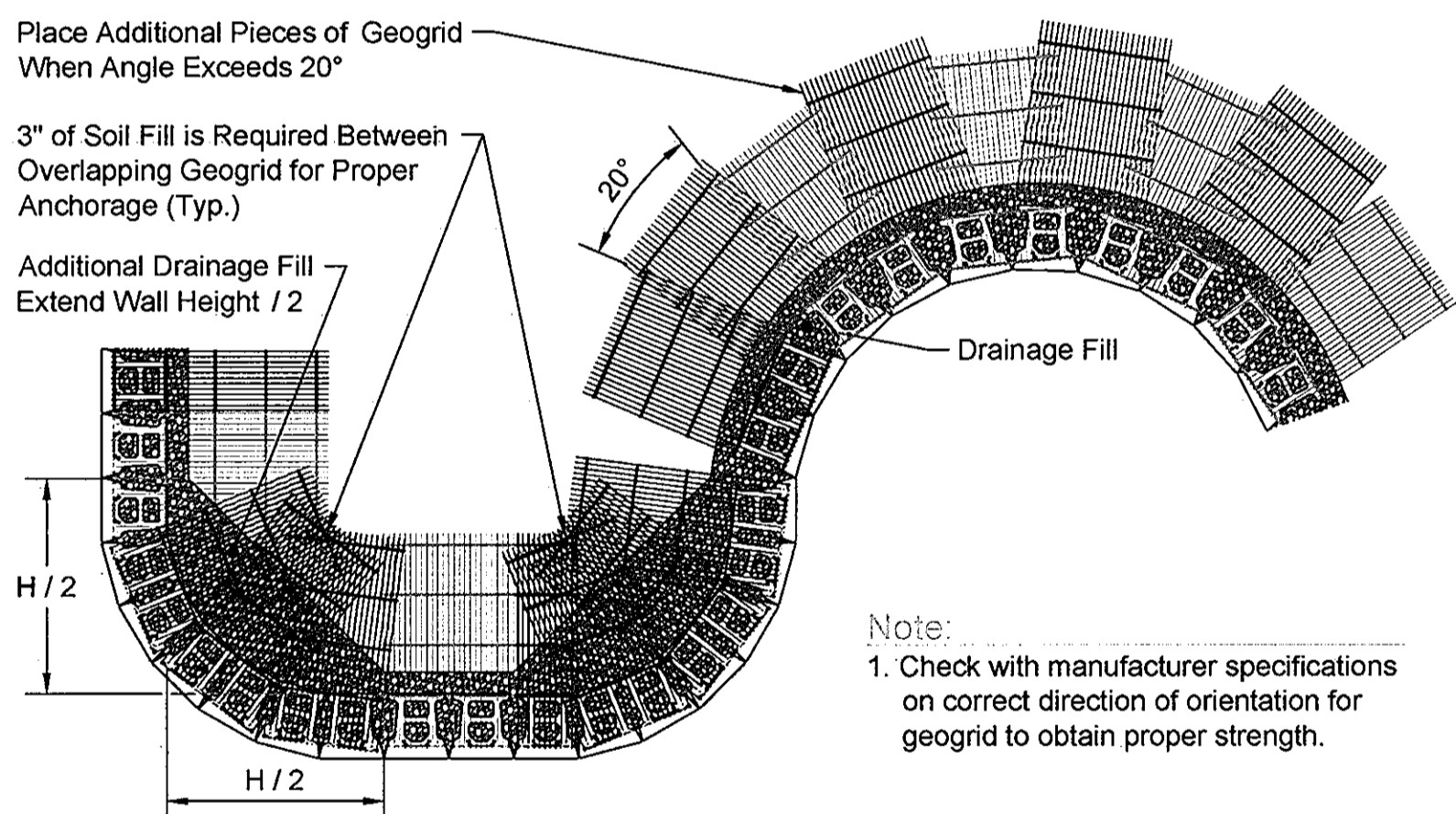
2.06 Soil Fill Materials
 A. Base Leveling and Pad Material
 1. Material shall consist of crushed stone (3/8" S/B) as shown on the construction drawing. The leveling pad shall be a minimum 6-inch thick. MSHA No. 57 Stone or pea gravel is not permitted.
 B. Unit Fill/Drainage Aggregate
 1. Fill for units shall be free draining crushed stone or gravel, with a maximum aggregate size of 1/2" to 3/4" and no more than 2% passing the No. 20 sieve and conforming to ASTM D 448. Gradation of the unit fill shall be approved by the Geotechnical Engineer. Pea gravel shall not be used. MSHA No. 57 stone may be used.
 C. Reinforced Backfill
 1. Material shall consist of soil classified as SM, SC or more granular soils per USCS with minimum soil parameters as indicated under design parameters. The backfill material shall contain no particles greater than 2.5 inches in diameter. The backfill material shall contain at least 30 percent by weight retained on the US Standard No. 200 sieve. Other backfill materials may be approved by the Geotechnical Engineer.
 D. Impervious Soil
 1. Material may be imported or site excavated soils exhibiting a USCS designation of a lean clay (CL) or clayey sand (SC). The material shall contain no less than 40 percent by weight passing the US Standard No. 200 sieve and exhibit a plasticity index no less than 4 and no greater than 20. Other materials may be approved by the Geotechnical Engineer.
 E. Sample Submitted
 1. The contractor shall submit samples and material specifications of the proposed backfill soils (unit fill, pad material, reinforced backfill) to the Geotechnical Engineer for approval.
 2. Soil must meet or exceed the friction angle specified in design parameters.
 3. Direct shear testing is required for all soil samples used for Reinforced Backfill.

2.07 Structural Geogrid
 A. The geogrid identified for the retaining wall consists of the following:
 Tensar UX15006B.
 B. Other geogrid may be utilized provided the materials meet or exceed the minimum strength with similar or better strain characteristics of the Tensar geogrid and are approved by the Geotechnical Engineer for use with soil backfill. The material shall be protected from sunlight and weather while stored on site in accordance with the manufacturer's recommendation.

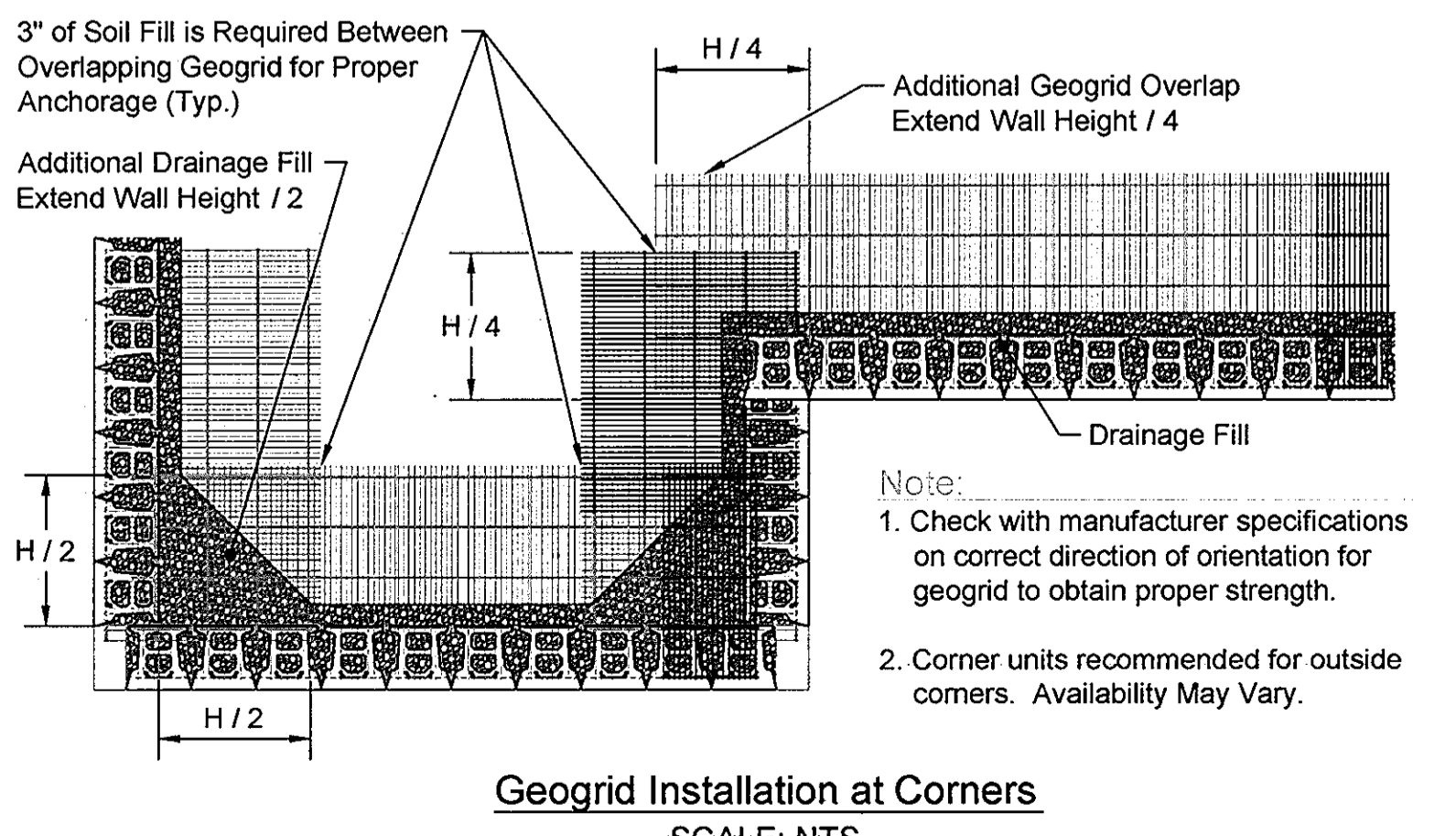
2.08 Geotextile
 A. A non-woven geotextile shall be utilized as shown on the plans to provide a filter between the unit fill/drainage aggregate and the reinforced backfill.
 B. The geotextile shall be a minimum 140N, or an approved equivalent.
 C. Where geogrids are located, the geotextile shall be placed as illustrated on the plans. At junctions and ends, the geotextile shall be overlapped at least 12 inches. The geotextile shall be placed so that intimate contact is made between the geotextile and the backfill material.
 D. Ripped or otherwise damaged material shall not be used. The material shall be protected from sunlight and weather while stored on site in accordance with the manufacturer's recommendation.



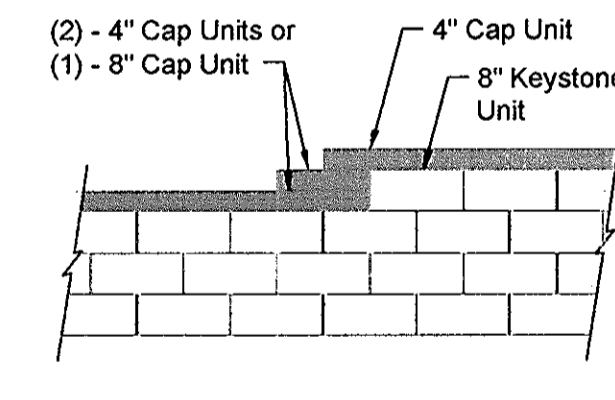
Typical Reinforced Wall Section
 Standard Unit - 1' Setback



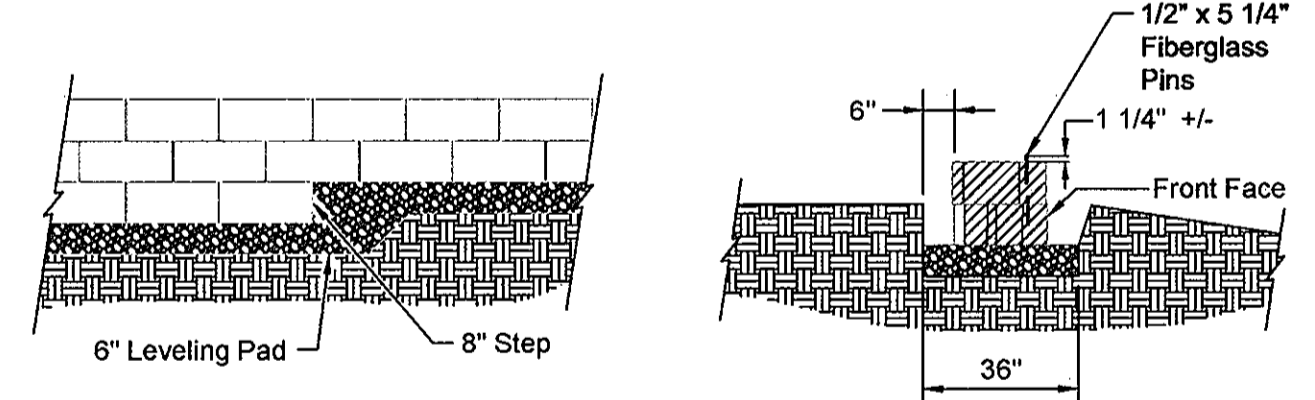
Geogrid Installation on Curves
 SCALE: NTS



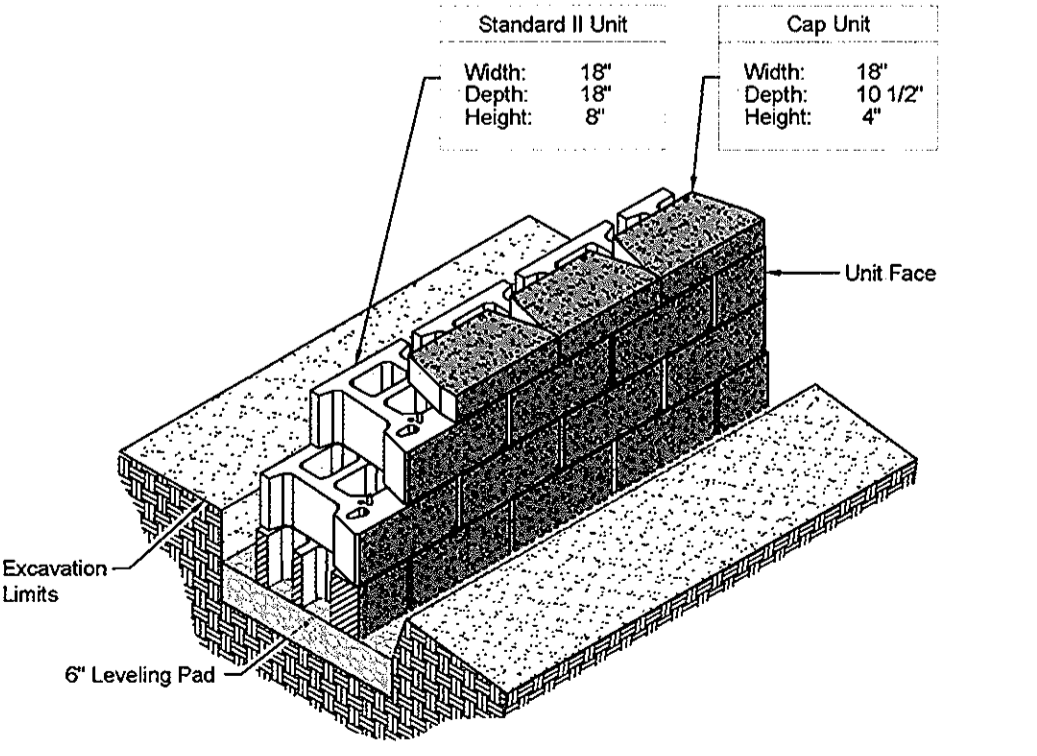
Geogrid Installation at Corners
 SCALE: NTS



TOP OF WALL STEPS
 SCALE: NTS



LEVELING PAD AND STEP DETAILS
 SCALE: NTS



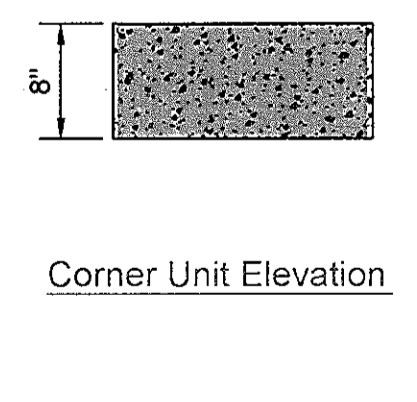
STANDARD II UNIT ISOMETRIC SECTION VIEW
 SCALE: NTS



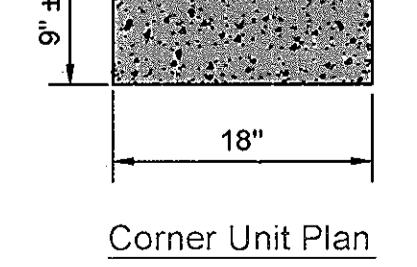
Standard II Elevation



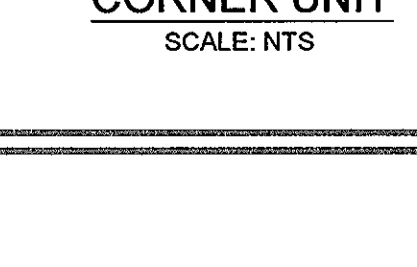
Corner Unit Elevation



Cap Unit Elevation



Corner Unit Plan



Cap Unit Plan

STANDARD II UNIT
 SCALE: NTS

Corner Unit
 SCALE: NTS

3-PLANE SPLIT
 CAP UNIT OPTION
 SCALE: NTS

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 [Signature] 5/13/10
 [Signature] 5/18/10
 [Signature] 5/18/10

OWNER/DEVELOPER
 EMERSON APARTMENTS, LLC
 1996 GREENSPRING DRIVE, SUITE 508
 TIMONILUM, MD 21093
 443-472-2846

NO.	REVISION	DATE

SITE DEVELOPMENT PLAN
THE ENCLAVE AT EMERSON APARTMENTS
 PARCEL 'E' (SECTION 2, PHASE 8B)
 APARTMENTS AND TOWNHOUSE
 TAX MAP 47 GRID B PARCELS 837, P/O 462
 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND



DESIGN BY: HMA
 DRAWN BY: JMS
 CHECKED BY: HMA
 DATE: January 2010
 SCALE: AS SHOWN
 W.O. NO.: 02-5104-B