

SITE DEVELOPMENT PLAN MOUNT GREGORY UNITED METHODIST CHURCH 4th ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SHEET INDEX

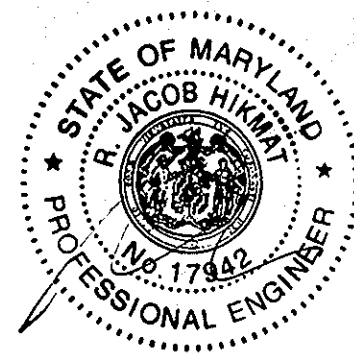
1	COVER SHEET
2	SITE DEVELOPMENT PLAN
3	MISCELLANEOUS DETAILS
4	EROSION & SEDIMENT CONTROL NOTES AND DETAILS

ADDRESS CHART	
LOT/PARCEL NO.	STREET ADDRESS
PARCEL 130 - GRID 5 & PARCEL 193 - GRID 11	2333 ROUTE 97

PERMIT INFORMATION BLOCK						
SDP NAME	BLOCK(S)	ZONING	TAX MAP NO.	ELECTION DISTRICT	CENSUS TRACT	SECTION/AREA
MT. GREGORY UNITED METHODIST CHURCH	5 & 11	RC-DEO	14	4TH	604002	PARCEL: 130 GRID 5 PARCEL: 193 GRID 11
PLAT NO.						
N/A						
WATER CODE	PRIVATE	SEWER CODE				PRIVATE

OWNER / DEVELOPER
MOUNT GREGORY UNITED METHODIST CHURCH
2333 MARYLAND ROUTE 97
COOKSVILLE MARYLAND, 21723

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO.: 17942 EXPIRATION DATE: 09/03/2010



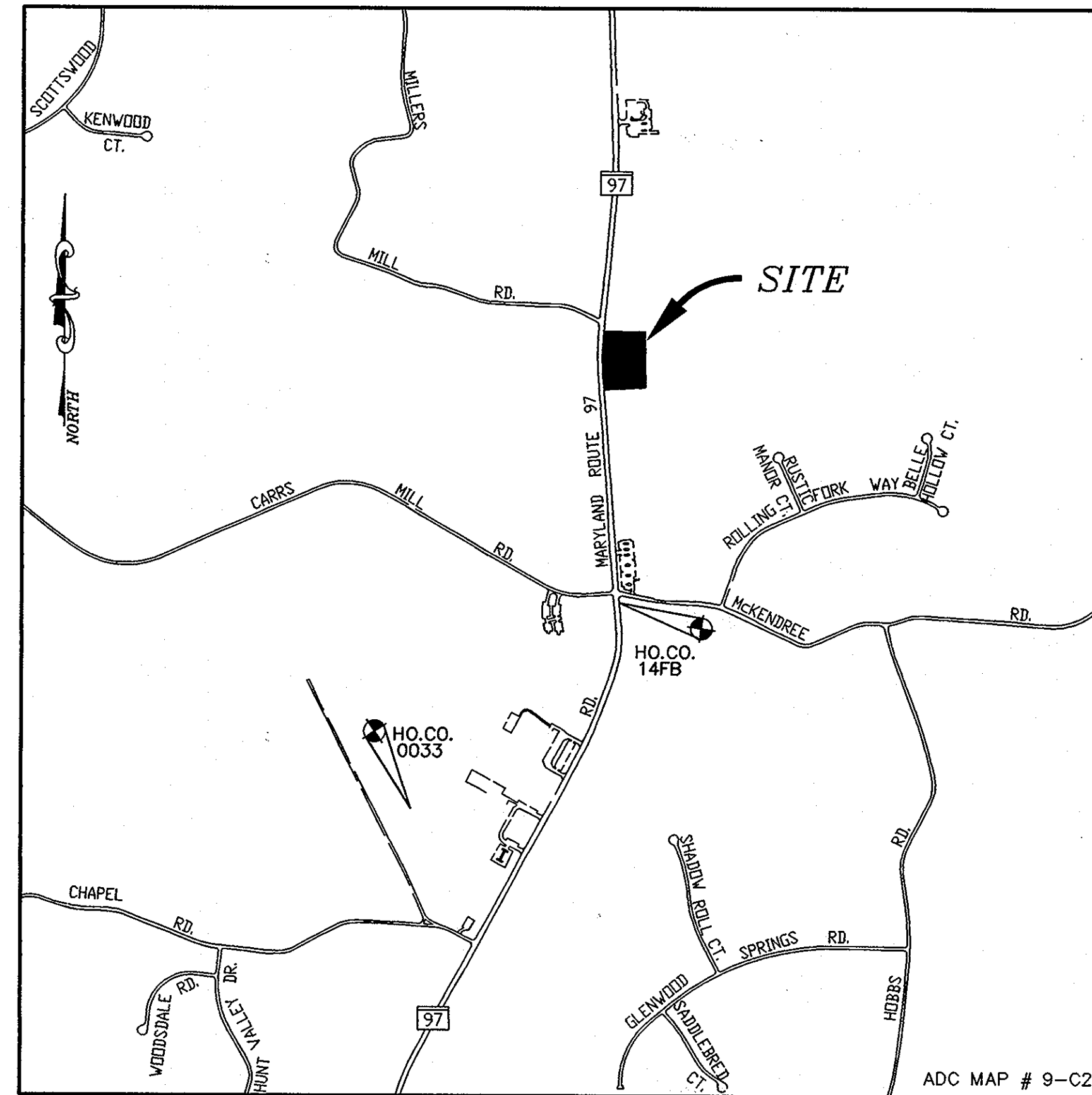
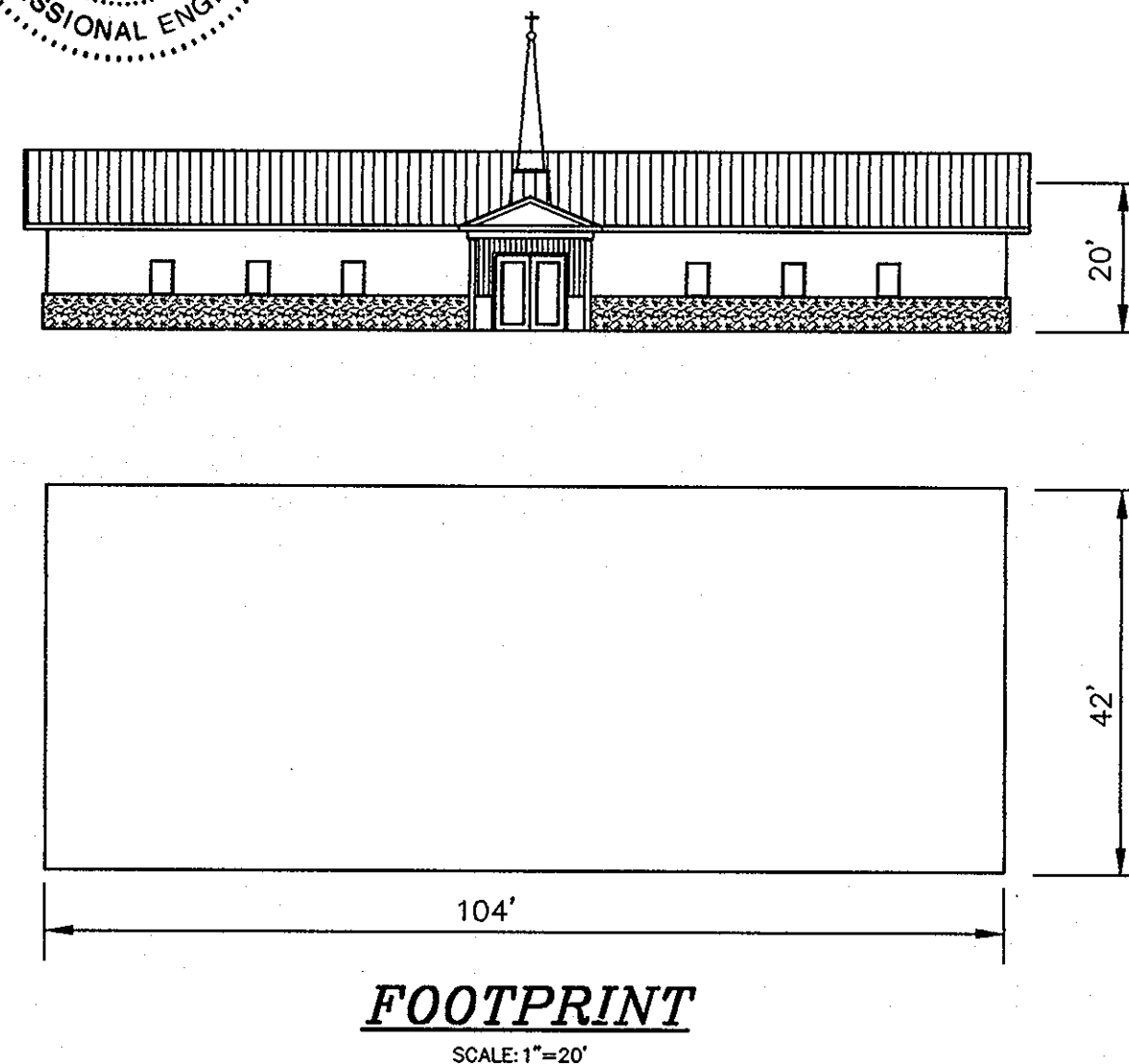
ENGINEER'S CERTIFICATE
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY CONSERVATION DISTRICT.
Signature: R. Jacob Hinnat
Date: 9/15/09

DEVELOPER'S CERTIFICATE
I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THE PLAN FOR EROSION AND SEDIMENT CONTROL, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING FROM THE HOWARD COUNTY CONSERVATION DISTRICT.
Signature: Philip E. Tyus
Date: 9/15/09

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT.
Signature: [Signature]
Date: 10/20/09

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Signature: [Signature]
Date: 10-20-09
Signature: [Signature]
Date: 11-05-09
Signature: [Signature]
Date: 4/8/05

APPROVED: FOR PUBLIC WATER AND SEWERAGE SYSTEM
Signature: [Signature]
Date: 11/4/09
Signature: [Signature]
Date: [Date]



VICINITY MAP
SCALE: 1"=1000'
MAILING ADDRESS: P.O. BOX 63, GLENWOOD, MARYLAND 21738
TAX MAP 14, PARCEL 130, GRID 5 & PARCEL 193, GRID 11

GENERAL NOTES

- SITE DATA:**
ADDRESS: 2333 ROUTE 97, COOKSVILLE, MARYLAND 21723 (EAST SIDE OF MD ROUTE 97, APPROXIMATELY 100 FEET SOUTH OF MILLERS MILL ROAD)
FOURTH ELECTION DISTRICT
TAX MAP 14, PARCEL 130, GRID 5 & PARCEL 193, GRID 11
DEED: LIBER 5532, FOLIO 683
AREA: 3.827 ACRES
ZONING: RC-DEO
EXISTING USE: EXISTING CHURCH USED FOR RELIGIOUS ACTIVITIES
COMMUNITY: COOKSVILLE, MARYLAND
DPZ FILES: SDP-07-006, BA CASE NOS.: BA 00-38E, BA05-16C, AND BA 08-029C DATED FEBRUARY 04, 2009
LOT COVERAGE CALCULATION:
BUILDING AREA = 0.10 AC, LOT AREA=3.827 AC
LOT COVERAGE: (0.10/3.827)= 2.6%
- DEVELOPMENT DATA:**
PROPOSED USE: CONDITIONAL USE FOR A NEW CHURCH STRUCTURE USED PRIMARILY FOR RELIGIOUS ACTIVITIES TO REPLACE AN EXISTING CHURCH AND NEW PAVED PARKING LOT TO REPLACE AN EXISTING GRAVEL PARKING AREA.
- PROPERTY OWNER:** (MAILING ADDRESS)
MOUNT GREGORY UNITED METHODIST CHURCH
POST OFFICE BOX 63
GLENWOOD, MARYLAND 21738
410-442-9718
- NO WETLANDS OR STREAMS EXIST ON SITE.
- NO FLOODPLAIN EXISTS ON SITE.
- NO FOREST EXISTS ON SITE.
- EXISTING WELL TO BE ABANDONED AND SEALED PRIOR TO BUILDING PERMIT APPROVAL.
- WATER AND SEWER ARE PRIVATE.
- BOUNDARY AND TOPOGRAPHIC DATA SHOWN ARE BASED ON A FIELD RUN SURVEY PERFORMED AUGUST 2005 BY SURVEY SERVICES OF MARYLAND, LLC.
- PROPERTY IS NOT ADJACENT TO A SCENIC ROAD AS REFERENCED FROM THE SCENIC ROADS INVENTORY. THE 0.6 MILE SCENIC ROAD CALLED "ROXBURY MILL ROAD" IS LOCATED OVER 3.9 MILES AWAY FROM THIS SITE.
- THE EXISTING CHURCH IS A HISTORIC STRUCTURE (140-276).
- A CEMETERY EXISTS ON SITE PER THE HOWARD COUNTY CEMETERY INVENTORY (SITE 14-7). BASED UPON HISTORICAL RECORDS AND ORAL INTERVIEWS WITH MEMBERS OF THE CONGREGATION, A CEMETERY BOUNDARY HAS BEEN ESTABLISHED AS SHOWN ON THIS PLAN. THE AREA OF CONSTRUCTION FOR THE PROPOSED IMPROVEMENTS ON THIS SITE WILL NOT CAUSE ANY DISTURBANCE INTO THE CEMETERY BOUNDARY.
- PARKING REQUIREMENT:**
CHURCH: 99 SEATS IN CHURCH
EXISTING PARKING: APPROXIMATELY 46 UNMARKED GRAVEL SPACES
REQUIRED PARKING: (1 PARKING SPACE / 3 SEATS) = 99/3 = 33 SPACES
PROVIDED PARKING: 33 SPACES (30 REGULAR SPACES AND 3 HANDICAP SPACES)
- LANDSCAPING IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL SHALL BE PROVIDED ON THIS SITE PLAN. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING (16 SHADE TREES, 8 EVERGREEN, 102 SHRUBS) IN THE AMOUNT OF \$9,060.00 SHALL BE POSTED WITH THE GRADING PERMIT.
- AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTING HEREWIT LISTED AND APPROVED FOR THIS SITE SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTING MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. DEVIATION FROM THIS APPROVED LANDSCAPING MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.
- THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES, AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY, AND MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/CONSTRUCTION INSPECTION DIVISION AT (410)-313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- COORDINATES BASED ON NAD '83 (HORIZONTAL) AND NAVD '88 (VERTICAL) MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 033 AND 14FB
STATION 033 14FB
NORTHING 593953.245 NORTHING 595657.282
EASTING 1304825.84 EASTING 1306552.16
ELEVATION 594.019 ELEVATION 619.858
- THIS PLAN IS SUBJECT TO BA CASE #08-29C APPROVED AND DATED FEBRUARY 04, 2009 SUBJECT TO THE FOLLOWING CONDITIONS:
1. THE CONDITIONAL USE SHALL BE CONSTRUCTED IN CONFORMANCE WITH AND SHALL APPLY ONLY TO THE RELIGIOUS FACILITY AND USE DESCRIBED IN THE PETITION AND DEPICTED ON THE PLAN DATED SEPTEMBER 2008 AND NOT TO ANY OTHER ACTIVITIES, USES, OR STRUCTURES ON THE PROPERTY.
2. THE PETITIONER MUST OBTAIN A BUILDING PERMIT FOR PHASE 1 OF THE RELIGIOUS FACILITY WITHIN FIVE (5) YEARS OF THE DATE OF THE DECISION AND ORDER (02/04/2014).
3. THE PETITIONER MUST COMMENCE THE USE OF ALL REQUESTED CONDITIONAL USE ACTIVITIES WITHIN TWO YEARS AFTER THE BUILDING PERMIT FOR PHASE II.
4. THE PETITIONER SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND COUNTY LAWS AND REGULATIONS.
- STORMWATER MANAGEMENT IS PROVIDED IN ACCORDANCE WITH THE 2000 MARYLAND STORMWATER DESIGN MANUAL AND THE DEVELOPMENT ENGINEERING DIVISION'S REDEVELOPMENT CRITERIA. THE IMPERVIOUS PERCENTAGE HAS BEEN REDUCED BY MORE THAN 20% SWM WAS APPROVED IN JUNE 2009.
- NO STEEP SLOPES EXIST ON-SITE.
- WETLAND STUDY AND FOREST STAND DELINEATION PREPARED BY ECO-SCIENCE, DATED MARCH 2006.
- COMMERCIAL DRIVEWAY ENTRANCE SHA. STD. 630.02 TO BE USED UNLESS OTHERWISE NOTED.
- NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN WETLANDS, STREAMS AND THEIR BUFFERS EXCEPT AS SHOWN ON APPROVED PLANS.
- HOWARD COUNTY STANDARD R-3.01-STANDARD COMBINATION CURB AND GUTTER WILL BE USED, UNLESS OTHERWISE NOTED.
- FOREST CONSERVATION OBLIGATIONS IN ACCORDANCE WITH SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT FOR THIS SUBDIVISION HAS BEEN FULFILLED BY FEE-IN-LIEU OF AFFORESTATION FOR 0.57 ACRES IN THE AMOUNT OF \$9,147.60 UNDER SDP-07-006.
- EXISTING GRAVEL AREAS OUTSIDE OF PROPOSED PAVEMENT TO BE REMOVED (SEE THE SEQUENCE OF CONSTRUCTION ON SHEET 3 FOR THE REMOVAL OF THE EXISTING GRAVEL COVERING THE ABANDONED SEPTIC FIELD).
- NO DAY CARE OR NURSERY SCHOOL FACILITIES ARE PROPOSED AT THIS TIME.
- ALL LIGHTING SHALL BE IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY MILDENBERG, BOENDER AND ASSOCIATES, INC. DATED MAY 12, 2009 AND WAS APPROVED ON JUNE 4, 2009.
- THE HOWARD COUNTY PLANNING BOARD RECOMMENDED ACCEPTANCE OF THE CEMETERY BOUNDARY AND DOCUMENTATION AND ACCOMMODATION PLAN PRESENTED AT THE DECEMBER 7, 2008 HOWARD COUNTY PLANNING BOARD MEETING REQUIRING THE CEMETERY AREA BE FENCED.
- PROPOSED SEPTIC RESERVE AREA FOR REPLACEMENT DISPOSAL AREA AS REQUIRED BY THE MARYLAND DEPARTMENT OF ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED. THIS SEWAGE DISPOSAL AREA SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWAGE DISPOSAL AREA.
- THE SEPTIC SYSTEM IS NOT ADEQUATE TO SUPPORT A KITCHEN.
- A CERTIFIED GROUNDWATER APPROPRIATIONS PERMIT WILL BE ISSUED AND ALL WELLS MUST BE DRILLED PRIOR TO BUILDING PERMIT APPROVAL. THE EXISTING WELL MUST BE ABANDONED PRIOR TO BUILDING PERMIT APPROVAL.
- EXISTING CHURCH BUILDING WILL BE RAZED BEFORE THE ISSUANCE OF THE FINAL USE AND OCCUPANCY PERMIT. EXISTING SEPTIC SYSTEM MUST BE ABANDONED PRIOR TO ISSUANCE OF USE AND OCCUPANCY PERMIT.

MT. GREGORY UNITED METHODIST CHURCH (PHASE I)
TAX MAP 14 - PARCEL 130 GRID 5 & PARCEL 193 GRID 11
HOWARD COUNTY, MARYLAND
FOURTH ELECTION DISTRICT

MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland 21042
(410) 997-0288 Fax

NOTES:

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- LANDSCAPING IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL SHALL BE PROVIDED ON THIS SITE PLAN. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING (16 SHADE TREES, 8 EVERGREEN, 102 SHRUBS) IN THE AMOUNT OF \$9,060.00 SHALL BE POSTED WITH THE DEVELOPER'S AGREEMENT FOR SDP-07-006.

PARKING LOT INTERIOR TREE CALCULATION

NUMBER OF PARKING SPACES = 59
 ISLANDS REQUIRED = 5 (1 ISLAND / 20 PARKING SPACES)
 ISLANDS PROVIDED = 3
 SHADE TREES REQUIRED = 3 (1 SHADE TREE / 20 PARKING SPACES)
 SHADE TREES PROVIDED = 3

LANDSCAPE REQUIREMENT PLANTING SCHEDULE

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
16		ACER RUBRUM 'RED SUNSET'	RED SUNSET RED MAPLE	2 1/2" - 3" CAL.
8		PINUS STROBUS	EASTERN WHITE PINE	6' - 8' HT.
102		CORNUS STOLONIFERA OR EQUIVALENT	RED-OSIER DOGWOOD	2 1/2" - 3" HT.

TOTAL
 16 SHADE TREES
 8 EVERGREEN
 102 SHRUBS

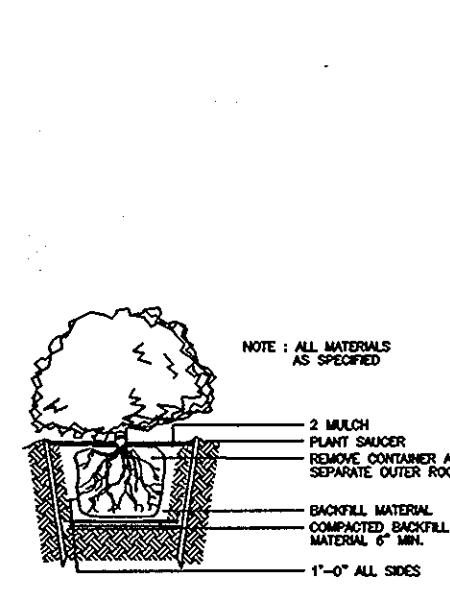
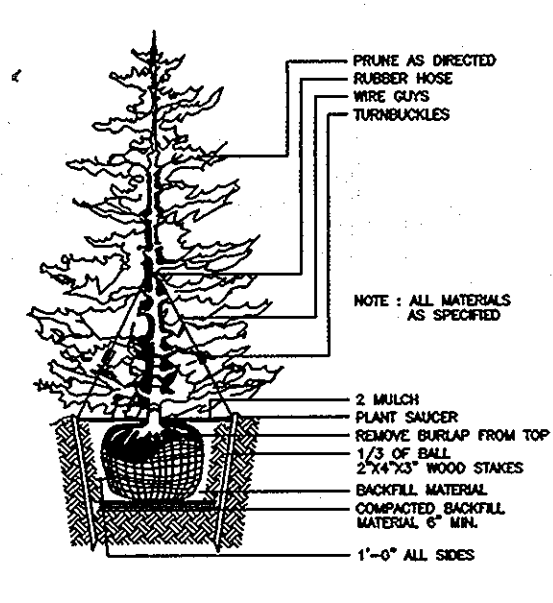
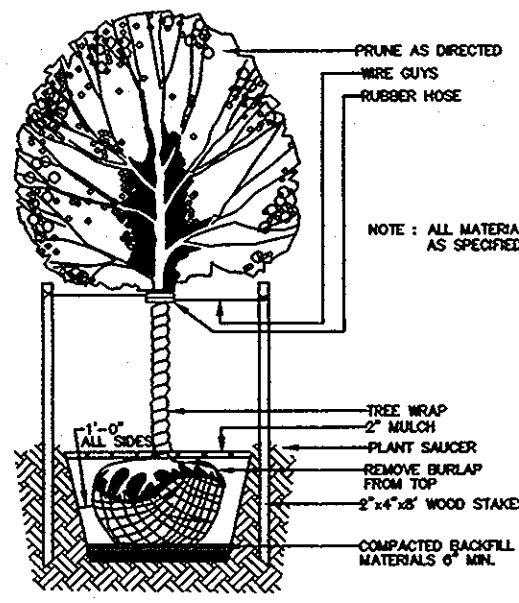
SOILS CLASSIFICATION

SYMBOL	DESCRIPTION	SOIL TYPE
CgB2	CHESTER GRAVELLY SILT LOAM, 3 TO 8 % SLOPES, MODERATELY ERODED	B

SCHEDULE A : PERIMETER LANDSCAPED EDGE

CATEGORY	ADJACENT TO ROADWAY				TOTAL
	E (PERIMETER 1)	C (PERIMETER 2)	C (PERIMETER 3)	C (PERIMETER 4)	
LINEAR FEET OF PERIMETER	429 LF	332 LF	485 LF	341 LF	
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET)	YES, 20 LF OF EXISTING TREES	YES, 287 LF OF EXISTING TREES	YES, 335 LF OF EXISTING TREES	YES, 341 LF OF EXISTING TREES	
CREDIT FOR WALL, FENCE, OR BERM (YES, NO, LINEAR FEET)	NO	NO	NO	NO	
NUMBER OF PLANTS REQUIRED	10 SHADE TREES 0 EVERGREEN TREES 108 SHRUBS	1 SHADE TREES 2 EVERGREEN TREES* 0 SHRUBS	4 SHADE TREE** 8 EVERGREEN TREES 0 SHRUBS	0 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	15 SHADE TREES 00 EVERGREEN TREES 108 SHRUBS
CREDIT FOR EXISTING VEGETATION	0 SHADE TREES	2 SHADE TREES	1 SHADE TREES	0 SHADE TREES	3 SHADE TREES
NUMBER OF PLANTS PROVIDED	10 SHADE TREES 0 EVERGREEN TREES 102 SHRUBS	0 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	3 SHADE TREE 8 EVERGREEN TREES 0 SHRUBS	0 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	13 SHADE TREES 8 EVERGREEN TREES 102 SHRUBS

* PERIMETER 2: CREDIT HAS BEEN TAKEN FOR 2 EXISTING SHADE TREES TO SATISFY THE REQUIRED 2 EVERGREENS.
 ** PERIMETER 3: CREDIT HAS BEEN TAKEN FOR 1 EXISTING SHADE TREES TO SATISFY THE REQUIRED 4 SHADE TREES.



TYPICAL DECIDUOUS TREE PLANTING DETAIL TYPICAL EVERGREEN TREE PLANTING DETAIL TYPICAL SHRUB PLANTING DETAIL

DEVELOPER'S/OWNER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE

A LETTER OF NOTICE OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME: Philip E. Tyrus DATE: 9/15/09

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION SERVICE.

SIGNATURE OF ENGINEER: R. JACOB HEMAT DATE: 9/15/09

DEVELOPER'S CERTIFICATE

I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT BEFORE BEGINNING THE PROJECT.

SIGNATURE OF DEVELOPER: Philip E. Tyrus DATE: 9/15/09

STATE OF MARYLAND PROFESSIONAL ENGINEER REG. NO. 17942

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION: 10-20-09
 CHIEF, DIVISION OF LAND DEVELOPMENT: 11-05-09
 DIRECTOR: 11/15/09

APPROVED: FOR PRIVATE WATER AND SEWERAGE SYSTEM
 COUNTY HEALTH OFFICER: 11/1/09
 HOWARD COUNTY HEALTH DEPARTMENT

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 17942 EXPIRATION DATE: 09/03/2010

SOILS CLASSIFICATION

SYMBOL	DESCRIPTION	SOIL TYPE
CgB2	CHESTER GRAVELLY SILT LOAM, 3 TO 8 % SLOPES, MODERATELY ERODED	B

SEPTIC DESIGN

DESCRIPTION OF CHURCH'S ACTIVITIES:

- SUMMER VACATION BIBLE STUDY - 1000 GPD
- MINISTRY AND CLUB MEETINGS - 90 GPD
- HALL EVENTS - 300 GPD
- TOTAL - 1390 GPD**

ALTERNATIVE ACTIVITIES:

- BANQUET (175 SEATS MAX.) (FUNERALS, WEDDINGS, ETC.) - 1,000 GPD

EASEMENT AREA = 20,742 SQ.FT.

AVERAGE DAILY FLOW = (1390 GALLONS PER DAY) / (3) * (0.8) = 370 LF. OF TRENCH REQUIRED
 380 LF. OF TRENCH PROVIDED

TRENCHES

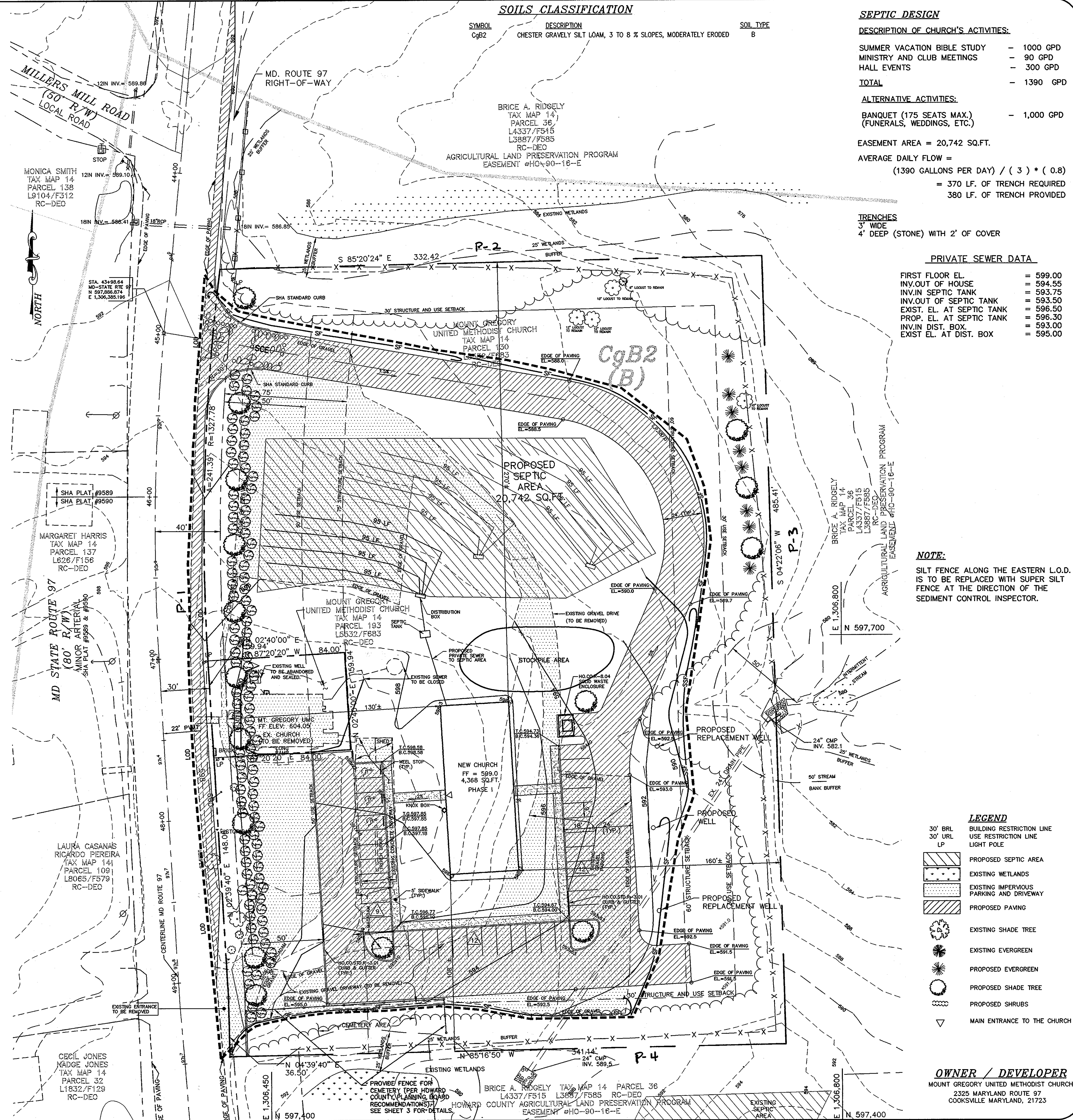
- 3' WIDE
- 4' DEEP (STONE) WITH 2' OF COVER

PRIVATE SEWER DATA

- FIRST FLOOR EL. = 599.00
- INV. OUT OF HOUSE = 594.55
- INV. IN SEPTIC TANK = 593.75
- INV. OUT OF SEPTIC TANK = 593.50
- EXIST. EL. AT SEPTIC TANK = 596.50
- PROP. EL. AT SEPTIC TANK = 596.30
- INV. IN DIST. BOX = 593.00
- EXIST. EL. AT DIST. BOX = 595.00

NOTE:

SILT FENCE ALONG THE EASTERN L.O.D. IS TO BE REPLACED WITH SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.



LEGEND

- 30' BRL BUILDING RESTRICTION LINE
- 30' URL USE RESTRICTION LINE
- LP LIGHT POLE
- PROPOSED SEPTIC AREA
- EXISTING WETLANDS
- EXISTING IMPERVIOUS PARKING AND DRIVEWAY
- PROPOSED PAVING
- EXISTING SHADE TREE
- EXISTING EVERGREEN
- PROPOSED EVERGREEN
- PROPOSED SHADE TREE
- PROPOSED SHRUBS
- MAIN ENTRANCE TO THE CHURCH

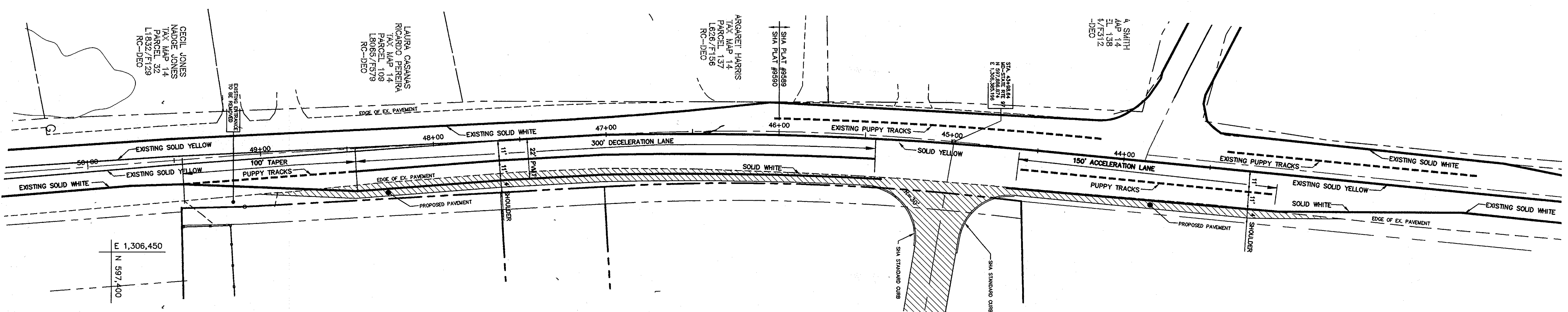
OWNER / DEVELOPER
 MOUNT GREGORY UNITED METHODIST CHURCH
 2325 MARYLAND ROUTE 97
 COOKVILLE MARYLAND, 21723

Project	date	description	scale	approval	no.
SEP. 2009	04-031	engineering	MM	MM	1"-90'
illustration	MM	MM	MM	MM	

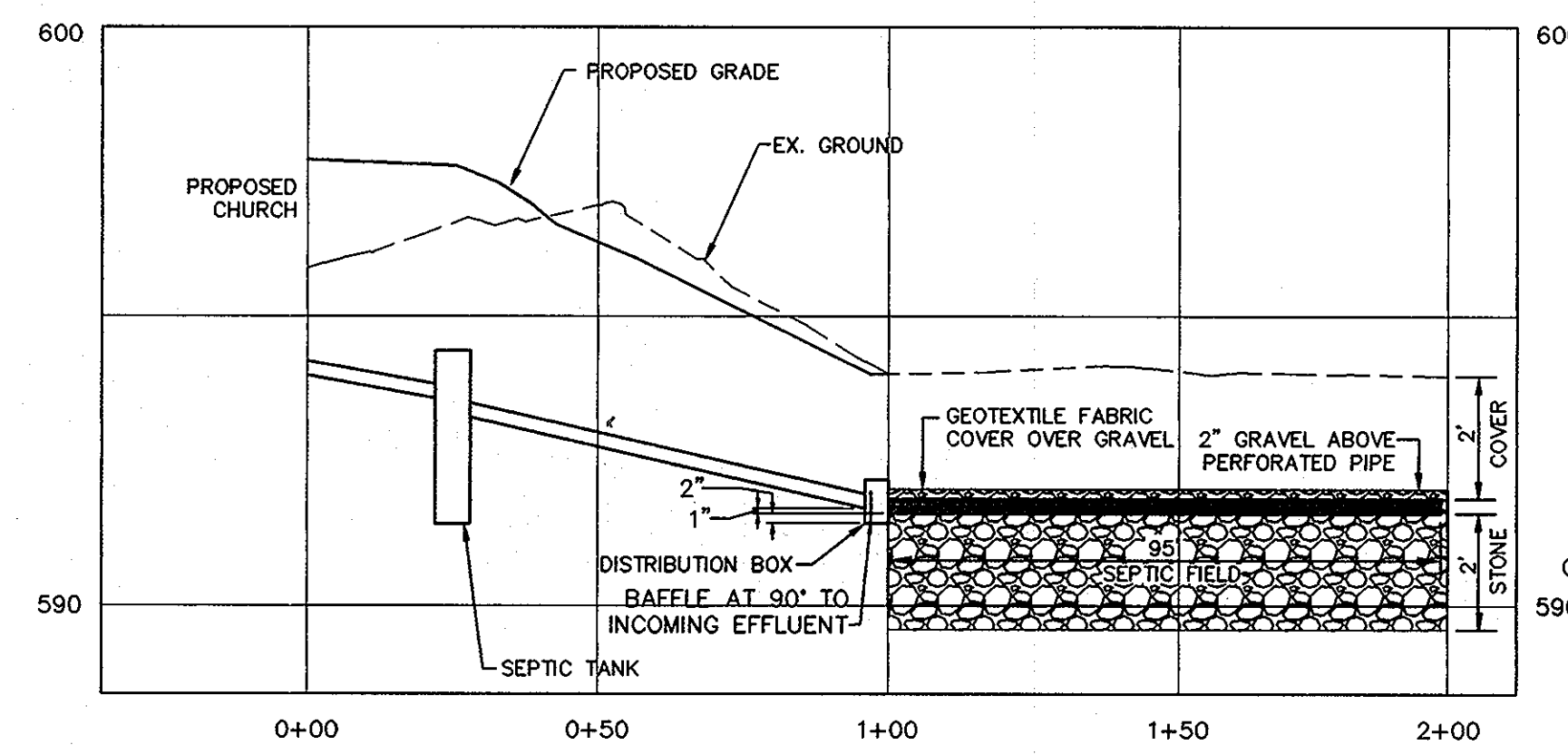
date	description	revisions

MT. GREGORY UNITED METHODIST CHURCH (PHASE I)
 TAX MAP 14 - PARCEL 130 GRID 5 & PARCEL 193 GRID 11
 FORTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SITE DEVELOPMENT PLAN

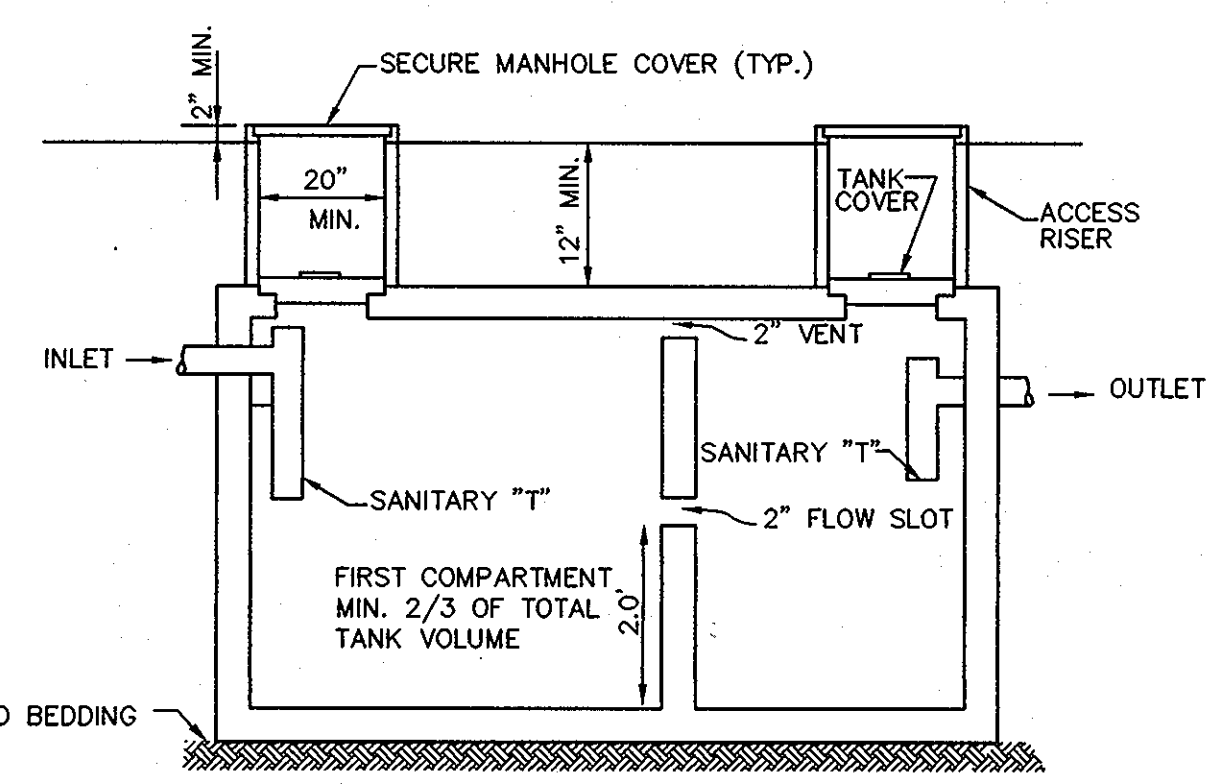
MILDENBERG, BOENDER & ASSOC., INC.
 Engineers Planners Surveyors
 5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland 21042
 (410) 997-0288 Fax



ROAD MARKING PLAN
SCALE: 1"=30'



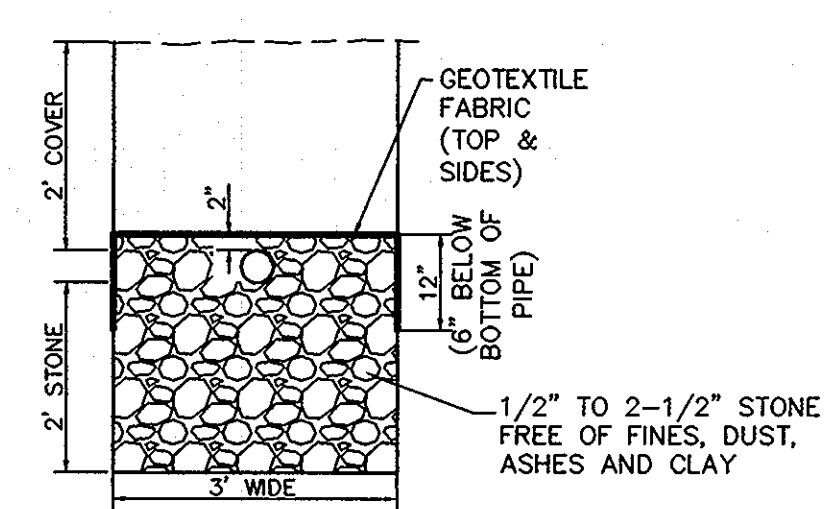
SEPTIC SYSTEM PROFILE
SCALE: 1"=50' (HORIZ)
1"=5' (VERT)



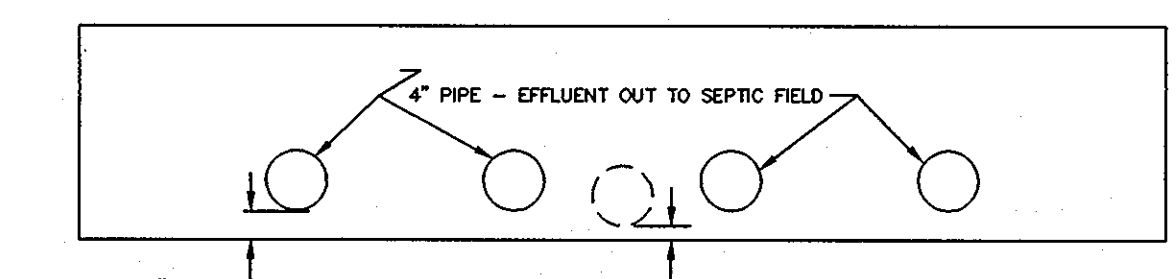
NOTE: MANUFACTURER WILL ADJUST THE DIMENSIONS AND SIZE OF SEPTIC TANK TO BE 2,100 GALLONS.
SEPTIC TANK DETAIL
SCALE: N.T.S.

SEQUENCE OF CONSTRUCTION OF THE WELL AND SEPTIC FACILITIES:

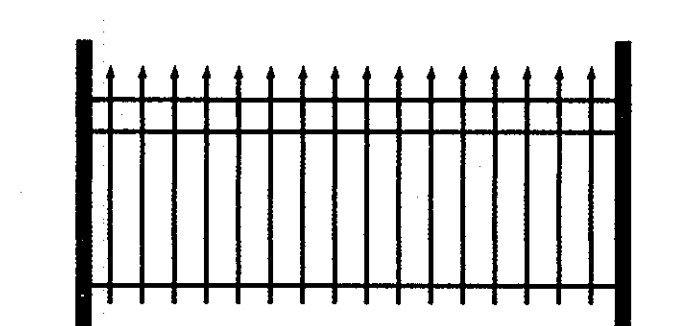
1. INSTALL THE PROPOSED WELL.
2. CONNECT THE PROPOSED WELL TO THE EXISTING CHURCH STRUCTURE VIA A TEMPORARY CONNECTION.
3. DISCONNECT AND ABANDON (FILL) THE EXISTING WELL IN ACCORDANCE WITH HEALTH DEPARTMENT REQUIREMENTS.
4. CONSTRUCT THE SEPTIC SYSTEM AND CONNECT TO THE NEW CHURCH.
5. OBTAIN A USE AND OCCUPANCY PERMIT.
6. ABANDON THE EXISTING SEPTIC SYSTEM IN ACCORDANCE WITH HEALTH DEPARTMENT REQUIREMENTS.
7. REMOVE THE EXISTING BUILDING.



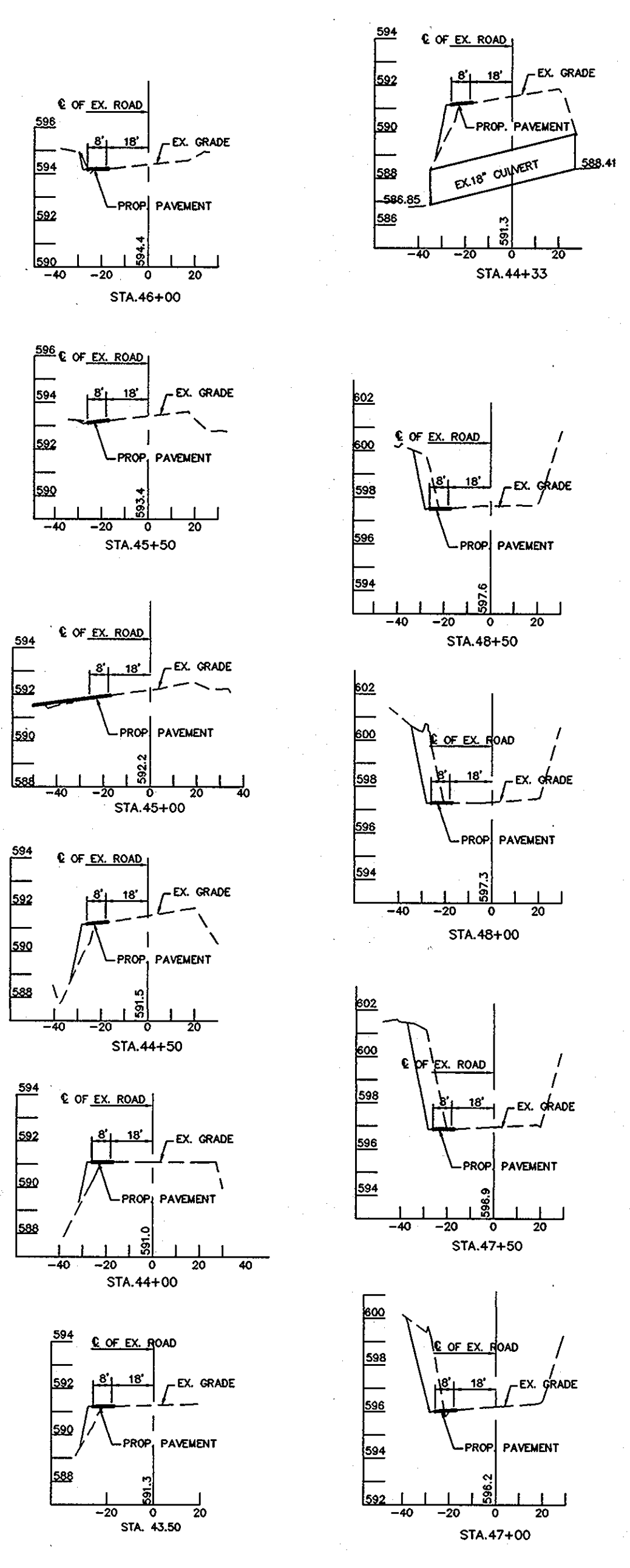
NOTE: SLOPE OF TRENCH NOT TO EXCEED 4" PER 100 LF.
TRENCH DETAIL
SCALE: N.T.S.



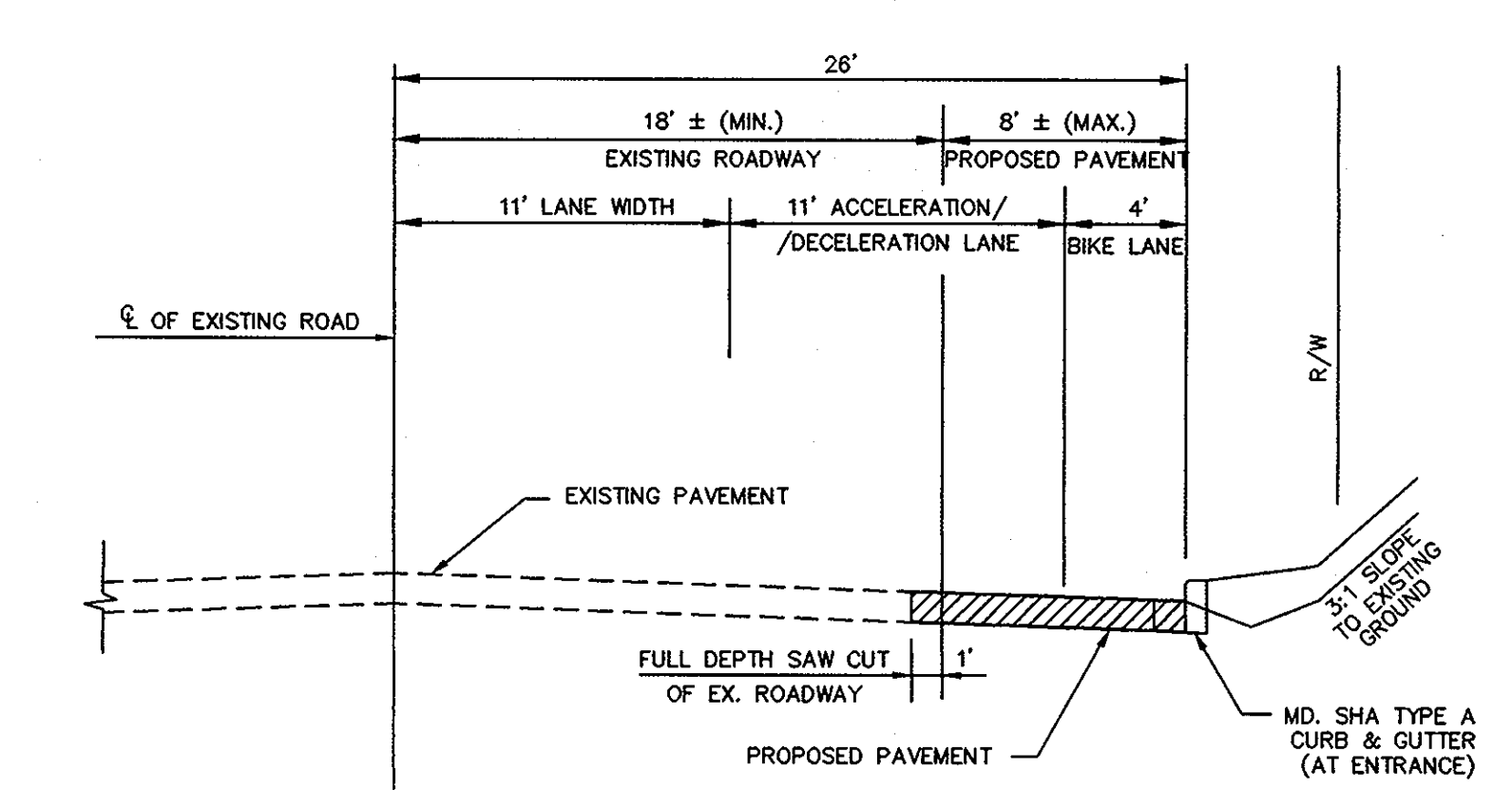
NOTE: BAFFLE PLACED AT RIGHT ANGLES TO THE DIRECTION OF THE INCOMING TANK EFFLUENT.
DISTRIBUTION BOX DETAIL
SCALE: N.T.S.



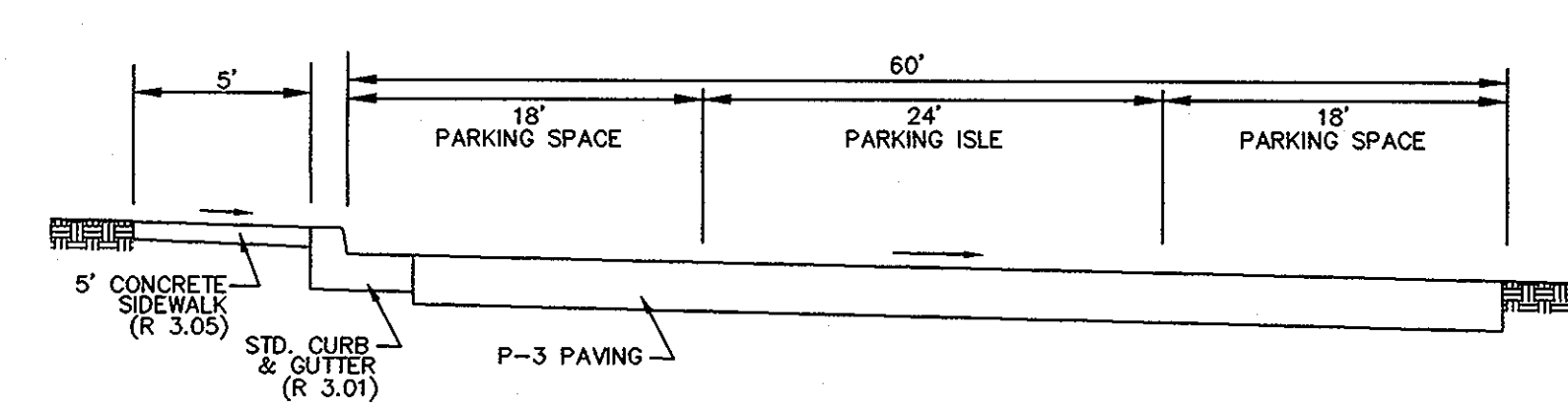
CEMETERY FENCE DETAIL
JERITH STEEL CONSTRUCTION SECTIONAL FENCING 48" TALL WITH POSTS AT SECTION ENDS & GATE. OR EQUAL.



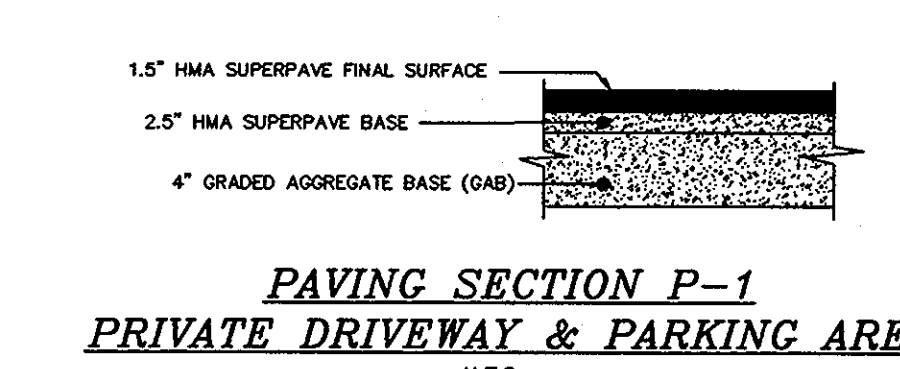
ROUTE 97 ROAD IMPROVEMENTS
CROSS-SECTIONS
SCALE: HOR. 1"=50'
VER. 1"=5'



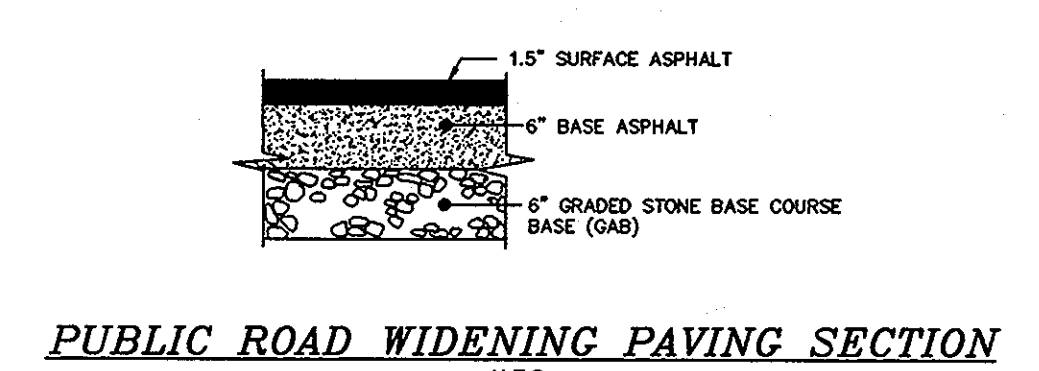
ACCELERATION / DECELERATION LANE ROAD WIDENING
SECTION NOT TO SCALE



TYPICAL SECTION A-A
SECTION NOT TO SCALE

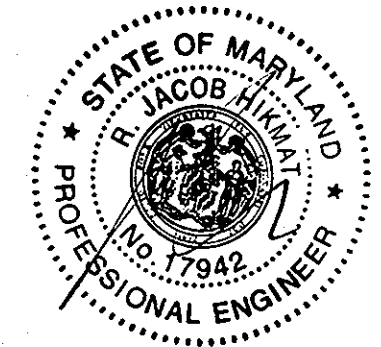


PAVING SECTION P-1
PRIVATE DRIVEWAY & PARKING AREA
N.T.S.



PUBLIC ROAD WIDENING PAVING SECTION
N.T.S.

OWNER / DEVELOPER
MOUNT GREGORY UNITED METHODIST CHURCH
2325 MARYLAND ROUTE 97
COOKSVILLE MARYLAND, 21723



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO.: 17942 EXPIRATION DATE: 09/03/2010

ENGINEER'S CERTIFICATE	
I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION SERVICE.	
SIGNATURE OF ENGINEER	9/15/09
R. JACOB HIGMAT	DATE
DEVELOPER'S CERTIFICATE	
I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.	
SIGNATURE OF DEVELOPER	9/15/09
Philip E. Lyons	DATE
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.	
SIGNATURE OF DISTRICT	10/3/09
HOWARD SOIL CONSERVATION DISTRICT	DATE
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
Chief, Development Engineering Division	10-20-09
Chief, Division of Land Development	11-05-09
Director	11/4/09
APPROVED: FOR PRIVATE WATER AND SEWERAGE SYSTEM	
County Health Officer	11/4/09
HOWARD COUNTY HEALTH DEPARTMENT	DATE

Project	04-031	Date	SEP. 2009
Illustration	MMM	Engineering	MMM
Scale	AS SHOWN	Approval	RJH

MT. GREGORY UNITED METHODIST CHURCH (PHASE-I)
TAX MAP 14 - PARCEL 130 GRID 5 & PARCEL 193 GRID 11
FORTH ELECTION DISTRICT

MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland 21042
(410) 987-0589 Fax

MISCELLANEOUS DETAILS

3 OF 4

04-031 (Rev) SDP-MAY 2009 SDP-REVISES-5-8-09.dwg

