SITE DEVELOPMENT PLAN MOUNT GREGORY UNITED METHODIST CHURCH

4th ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SHEET INDEX

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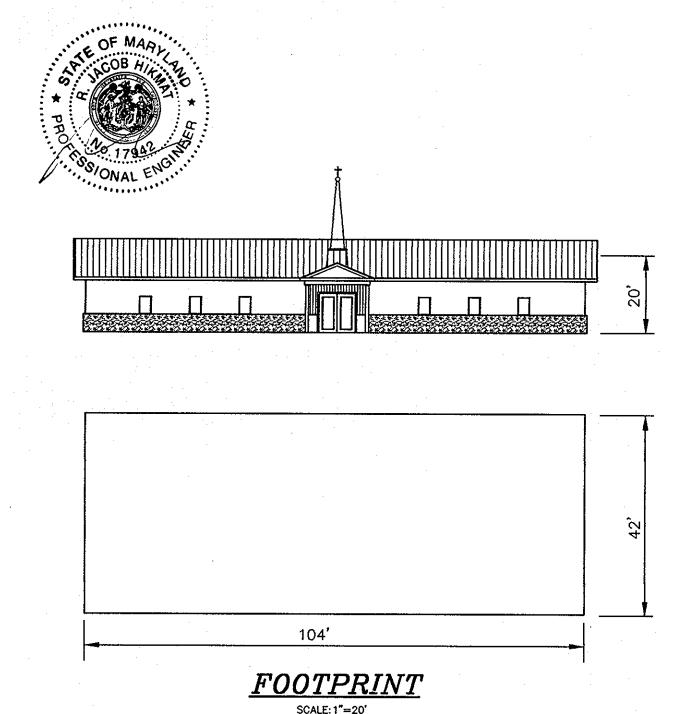
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LOT/PARCEL NO.	STREET ADDRESS
PARCEL 130 - GRID 5 & PARCEL 193 - GRID 11	2333 ROUTE 97

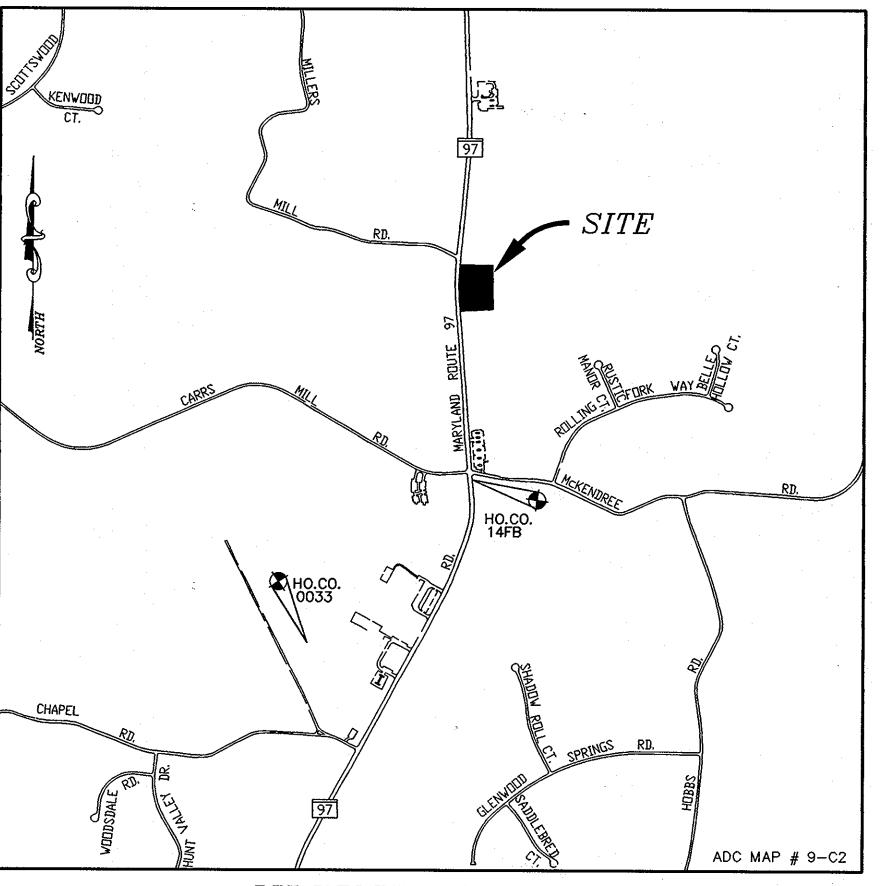
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SDP NAME MT. GREGORY UNITED METHODIST CHURCH			SECTION/AREA			PARCEL: 130 GRID 5 PARCEL: 193 GRID 11	
PLAT NO. N/A	BLOCK(S) 5 & 11	ZONING RC-DEO	TAX MAI	P NO.	ELECTION E		CENSUS TRACT 604002
WATER CODE	PRIVATE			SEWER		RIVATE	

OWNER / DEVELOPER MOUNT GREGORY UNITED METHODIST CHURCH 2333 MARYLAND ROUTE 97 COOKSVILLE MARYLAND, 21723

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO.:17942 EXPIRATION DATE: 09/03/2010

ENGINEER'S CERTIFICATE	
I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL R A PRACTICAL AND WORKASILE PLANTBASED ON MY PERSONAL KNOW THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE REQUIREMENTS OF THE HOWARD SOIL PONSERVATION SERVICE.	EPRESENTS EDGE OF WITH THE
	9/15/09
SIGNATURE OF ENGINEER	DATE
R. JACOB HIKMAT PRINTED NAME OF ENGINEER	
FRINTED RAME OF ENGINEER	
DEVELOPERS CERTIFICATE	
I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DON TO THES PLANFOR SEDIMENT AND EROSION CONTROL, AND THAT ANY PERSONEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A C ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED IT FOR THE CONTROL OF SEDIMENT AND EROSION SEFORE BEGINNING TO I ALSO AUTHORIZE PERIODIC ON—SITE INSPECTION BY THE HOWARD ODSTRICT.	RESPONSIBLE DERIFICATE OF REARING PROGRAM HE PROJECT. COIL CONSERVATION
	9/15/09
SIGNATURE OF DEVELOPER PRINTED NAME OF DEVELOPER PRINTED NAME OF DEVELOPER	DATE
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.	
	10/13/00
HOWARD SOIL CONSERVATION DISTRICT	DATE
APPROVED: DEPARTMENT OF PLANNING AND ZONING	· · · · · · · · · · · · · · · · · · ·
Chad Ramonder	10.20.9
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
Lest Sheloole	11-05-09
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
shard a legle_	11/5/09
DIRECTOR	PATE





VICINITY MAP SCALE: 1"=1000'

MAILING ADDRESS: P.O. BOX 63, GLENWOOD, MARYLAND 21738 TAX MAP 14, PARCEL 130, GRID 5 & PARCEL 193, GRID 11

GENERAL NOTES

1. SITE DATA ADDRESS: 2333 ROUTE 97, COOKSVILLE, MARYLAND 21723 (EAST SIDE OF MD ROUTE 97, APPROXIMATELY 100 FEET SOUTH OF MILLERS MILL ROAD) **FOURTH ELECTION DISTRICT**

TAX MAP 14, PARCEL 130, GRID 5 & PARCEL 193, GRID 11 DEED: LIBER 5532, FOLIO 683 AREA: 3.827 ACRES ±

ZONING: RC-DEO EXISTING USE: EXISTING CHURCH USED FOR RELIGIOUS ACTIVITIES

COMMUNITY: COOKSVILLE, MARYLAND DPZ FILES: SDP-07-006, BA CASE NOS.: BA 00-38E, BA05-16C, AND BA 08-029C DATED FEBRICO, 2009

LOT COVERAGE CALCULATION: BUILDING AREA = 0.10 AC, LOT AREA=3.827 ACLOT COVERAGE: (0.10/3.827)= 0.26%

PROPOSED USE: CONDITIONAL USE FOR A NEW CHURCH STRUCTURE USED PRIMARILY FOR RELIGIOUS ACTIVITIES TO REPLACE AN EXISTING CHURCH AND A NEW PAVED PARKING LOT TO REPLACE AN EXISTING GRAVEL PARKING AREA.

3. PROPERTY OWNER: (MAILING ADDRESS) MOUNT GREGORY UNITED METHODIST CHURCH POST OFFICE BOX 63 GLENWOOD, MARYLAND 21738 410-442-9718

4. NO WETLANDS OR STREAMS EXIST ON SITE

5. NO FLOODPLAIN EXISTS ON SITE.

6. NO FOREST EXISTS ON SITE.

7. EXISTING WELL TO BE ABANDONED AND SEALED PRIOR TO BUILDING PERMIT APPROVAL

8. WATER AND SEWER ARE PRIVATE.

9. BOUNDARY AND TOPOGRAPHIC DATA SHOWN ARE BASED ON A FIELD RUN SURVEY PERFORMED AUGUST 2005 BY SURVEY SERVICES OF MARYLAND, LLC.

10. PROPERTY IS NOT ADJACENT TO A SCENIC ROAD AS REFERENCED FROM THE SCENIC ROADS INVENTORY. THE 0.6 MILE SCENIC ROAD CALLED "ROXBURY MILL ROAD" IS LOCATED OVER 3.9 MILES AWAY FROM THIS SITE

11. THE EXISTING CHURCH IS A HISTORIC STRUCTURE (HO-276).

12. A CEMETERY EXISTS ON SITE PER THE HOWARD COUNTY CEMETERY INVENTORY (SITE 14-7). BASED UPON HISTORICAL RECORDS AND ORAL INTERVIEWS WITH MEMBERS OF THIS. CONGREGATION, A CEMETERY BOUNDARY HAS BEEN ESTABLISHED AS SHOWN OF THIS PLAN. THE AREA OF CONSTRUCTION FOR THE PROPOSED IMPROVEMENTS ON THIS SIT. WILL NOT CAUSE ANY DISTURBANCE INTO THE CEMETERY BOUNDARY.

CHURCH: 99 SEATS IN CHURCH

EXISTING PARKING: APPROXIMATELY 46 UNMARKED GRAVEL SPACES.
REQUIRED PARKING: (1 PARKING SPACE/ 3 SEATS) = 99/3 = 33 SPACES PROVIDED PARKING: 33 SPACES (30 REGULAR SPACES AND 3 HANDICAP SPACES)

14. LANDSCAPING IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL SHALL BE PROVIDED ON THIS SITE PLAN. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING (16 SHADE TREES, 8 EVERGREEN, 102 SHRUBS) IN THE AMOUNT OF \$9,060.00 SHALL BE POSTED WITH THE GRADING PERMIT.

15. AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTING HEREWITH LISTED AND APPROVED FOR THIS SITE SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTING MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. DEVIATION FROM THIS APPROVED LANDSCAPING MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.

16. THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES, AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.

17. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY, AND MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.

18. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/CONSTRUCTION INSPECTION DIVISION AT (410)-313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK. 19. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.

20. COORDINATES BASED ON NAD '83 (HORIZONTAL) AND NAVD '88 (VERTICAL) MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 033 AND 14FB

STATION 033 NORTHING 593953.245 NORTHING 595657.262 EASTING 1304825.84 EASTING 1306552.16 ELEVATION 594.019 ELEVATION 619.858

21. THIS PLAN IS SUBJECT TO BA CASE #08-29C APPROVED AND DATED FEBRUARY 04, 2009 SUBJECT TO THE FOLLOWING CONDITIONS:

1. THE CONDITIONAL USE SHALL BE CONSTRUCTED IN CONFORMANCE WITH AND SHALL APPLY ONLY TO THE RELIGIOUS FACILITY AND USE DESCRIBED IN THE PETITION AND DEPICTED ON THE PLAN DATED SEPTEMBER 2008 AND NOT TO ANY OTHERS ACTIVITIES, USES, OR

STRUCTURES ON THE PROPERTY. 2. THE PETITIONER MUST OBTAIN A BUILDING PERMIT FOR PHASE 1 OF THE RELIGIOUS FACILIT WITHIN FIVE (5) YEARS OF THE DATE OF THE DECISION AND ORDER (02/04/2014).

3. THE PETITIONER MUST COMMENCE THE USE OF ALL REQUESTED CONDITIONAL USE ACTIVITIES WITHIN TWO YEARS AFTER THE BUILDING PERMIT FOR PHASE II. 4. THE PETITIONER SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND COUNTY LAW

22. STORMWATER MANAGEMENT IS PROVIDED IN ACCORDANCE WITH THE 2000 MARYLAND STORMWATER DESIGN MANUAL AND THE DEVELOPMENT ENGINEERING DIVISION'S REDEVELOPMENT CRITERIA. THE IMPERVIOUS PERCENTAGE HAS BEEN REDUCED BY MORE THAN 20% SWM WAS APPROVED IN JUNE

23. NO STEEP SLOPES EXIST ON-SITE.

24. WETLAND STUDY AND FOREST STAND DELINEATION PREPARED BY ECO-SCIENCE.

DATED MARCH 2006.

25. COMMERCIAL DRIVEWAY ENTRANCE SHA. STD. 630.02 TO BE USED UNLESS OTHERWISE NOTED. 26. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN WETLANDS, STREAMS AND THEIR BUFFERS EXCEPT AS SHOWN ON APPROVED PLANS.

27. HOWARD COUNTY STANDARD R-3.01-STANDARD COMBINATION CURB AND GUTTER WILL BE USED, UNLESS OTHERWISE NOTED. 28. FOREST CONSERVATION OBLIGATIONS IN ACCORDANCE WITH SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT FOR THIS

SUBDIVISION HAS BEEN FULFILLED BY FEE-IN-LIEU OF AFFORESTATION FOR 0.57 ACRES IN THE AMOUNT OF \$9,147.60 UNDER SDP-07-006. 29. EXISTING GRAVEL AREAS OUTSIDE OF PROPOSED PAVEMENT TO BE REMOVED (SEE THE SEQUENCE OF CONSTRUCTION ON SHEET 3 FOR THE REMOVAL OF THE

EXISTING GRAVEL COVERING THE ABANDONED SEPTIC FIELD). 30. NO DAY CARE OR NURSERY SCHOOL FACILITIES ARE PROPOSED AT THIS TIME. 31. ALL LIGHTING SHALL BE IN ACCORDANCE WITH SECTION 134 OF THE HOWARD

COUNTY ZONING REGULATIONS, TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.

33. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY MILDENBERG, BOENDER AND ASSOCIATES, INC. DATED MAY 12, 2009 AND WAS APPROVED ON JUNE 4,

35. THE HOWARD COUNTY PLANNING BOARD RECOMMENDED ACCEPTANCE OF THE CEMETERY BOUNDARY AND DOCUMENTATION AND ACCOMMODATION PLAN PRESENTED AT THE DECEMBER 7, 2006 HOWARD COUNTY PLANNING BOARD MEETING REQUIRING THE CEMETERY AREA BE FENCED.

PROPOSED SEPTIC RESERVE AREA FOR REPLACEMENT SYSTEM. THIS AREA DESIGNATES A PRIVATE SEWAGE DISPOSAL AREA AS REQUIRED BY THE MARYLAND DEPARTMENT OF ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED. THIS SEWAGE DISPOSAL AREA SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWAGE DISPOSAL AREA.

37. THE SEPTIC SYSTEM IS NOT ADEQUATE TO SUPPORT A KITCHEN.

38. A CERTIFIED GROUNDWATER APPROPRIATIONS PERMIT WILL BE ISSUED AND ALL WELLS MUST BE DRILLED PRIOR TO BUILDING PERMIT APPROVAL. THE EXISTING WELL MUST BE ABANDONED PRIOR TO BUILDING PERMIT APPROVAL.

39. EXISTING CHURCH BUILDING WILL BE RAZED BEFORE THE ISSUANCE OF THE FINAL USE AND OCCUPANCY PERMIT. EXISTING SEPTIC SYSTEM MUST BE ABANDONED PRIOR TO ISSUANCE OF USE AND OCCUPANCY PERMIT.

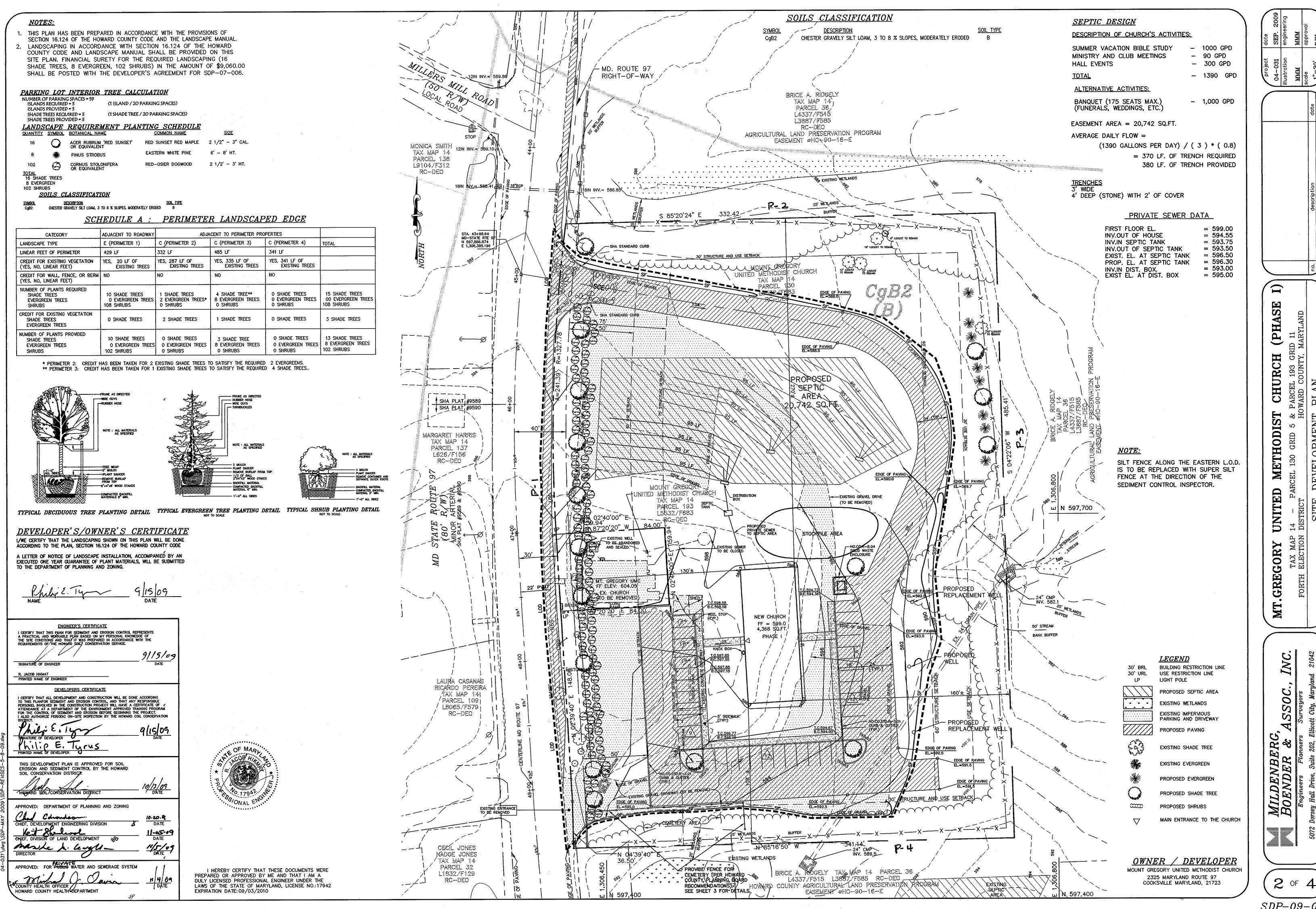
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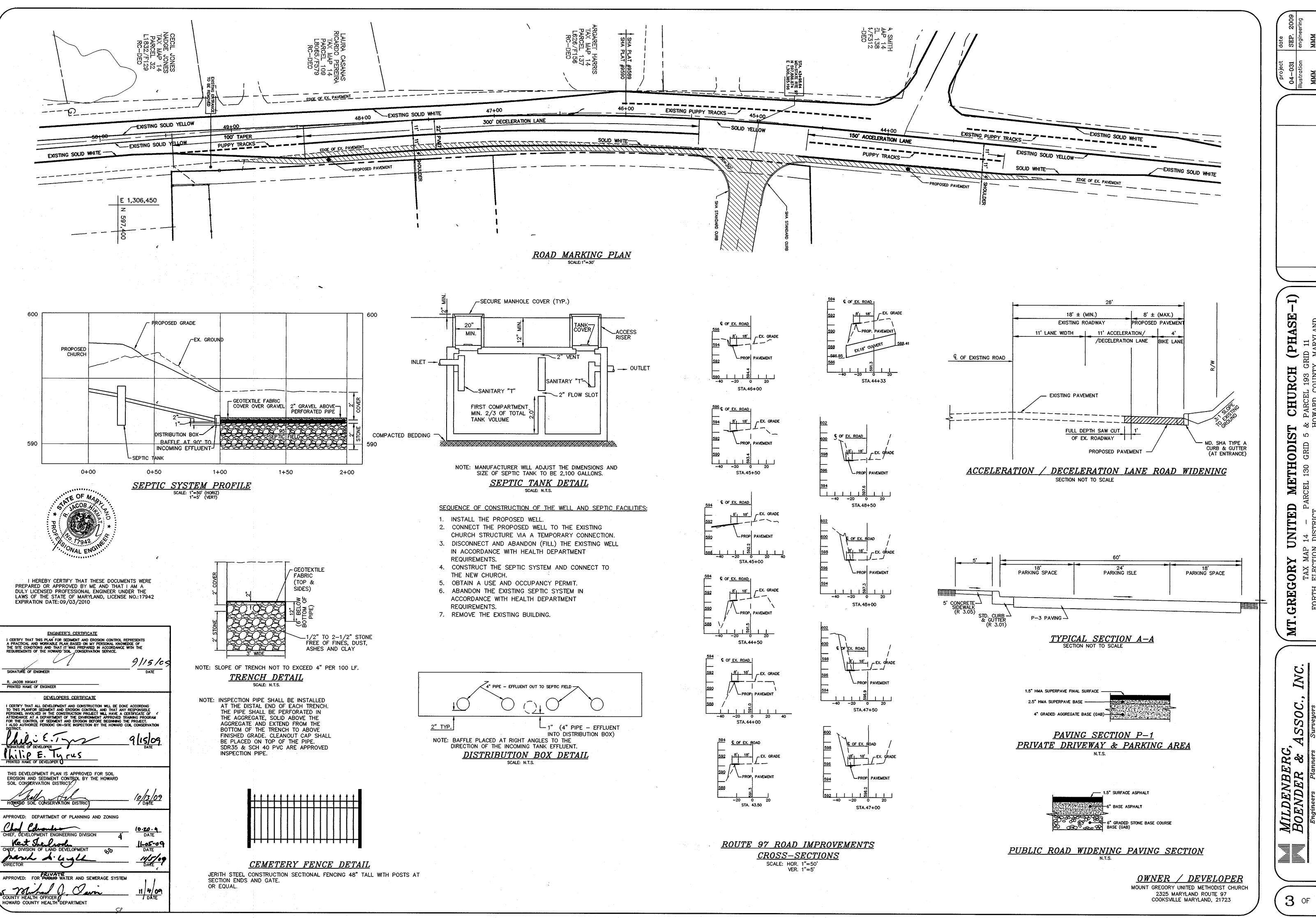
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1 of 4

SDP-09-057



SDP-09-057



SDP-09-057

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HOWARD SOIL CONSERVATION DISTRICT

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING. IF NOT PREVIOUSLY LOOSENED.

- SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES: 1) PREFERRED - APPLY 2 TONS PER ACRES DOLOMITIC LIMESTONE (92 LBS/1000 SQ.FT.) AND 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISK INTO UPPER THREE INCHES OF SOIL. AT TIME OF SEEDING, APPLY 400 LBS. PER ACRE 30-0-0 UREAFORM FERTILIZER (9 LBS./1000 SQ.FT.).
 - ACCEPTABLE APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS./1000 SQ.FT.) AND 1000 LBS. PER ACRE 10-10-10 FERTILIZER (23 LBS./1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISK INTO UPPER THREE INCHES OF SOIL.

SEEDING - FOR THE PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU OCTOBER 15, SEED WITH 60 LBS. PER ACRE 1.4 LBS/1000 SO.FT.) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31, SEED WITH 60 LBS. KENTUCKY 31 TALL FÉSCUE PER ACRE AND 2 LOBS. PER ACRE (.05 LBS./1000 SQ.FT.) OF WEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY: OPTION (1) - 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) - USE SOD. OPTION (3) -SEED WITH 60 LBS./ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONE/ACRE WELL ANCHORED STRAW.

MULCHING - APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS./1000 SQ.FT) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL/1000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FEET OR HIGHER,

MAINTENANCE - INSPECT ALL SEEDING AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

TEMPORARY SEEDING NOTES

OWNER / DEVELOPER

MOUNT GREGORY UNITED METHODIST CHURCH

2325 MARYLAND ROUTE 97

COOKSVILLE MARYLAND, 21723

EXPIRATION DATE: 09/03/2010

R. JACOB HIKMAT
PRINTED NAME OF ENGINEER

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE

PREPARED OR APPROVED BY ME AND THAT I AM A

LAWS OF THE STATE OF MARYLAND, LICENSE NO.:17942

DULY LICENSED PROFESSIONAL ENGINEER UNDER THE

Engineer's certificate

DEVELOPERS CERTIFICATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD

APPROVED: DEPARTMENT OF PLANNING AND ZONING

COUNTY HEALTH OFFICER

CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWEDGE OF HE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE EQUIREMENTS OF THE HOWARD SOUL CONSERVATION SERVICE.

USE 348 GALLONS PER ACRE (8 GAL/1000 SQ.FT.) FOR ANCHORING.

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED. SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, FOR NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS: APPLY 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ.FT.)

SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30 AND FROM AUGUST 15 THRU OCTOBER 15. SEED WITH 2-1/2 BUSHEL PER ACRE OF ANNUAL RYE (3.2 LBS./1000 SQ.FT.) FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS. PER ACRE OF WEEPING LOVEGRASS (.07 LBS./1000 SQ.FT.). FOR THE PERIOD NOVEMBER 16 THRU NOVEMBER . 28, PROTECT SITE BY APPLYING 2 TONS PER ACRÉ OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOD.

MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS./1000 SQ.FT.) OF UNROTTED WEED FREE SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GAL PER ACRE (5 GAL/1000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FEET OR HIGHER, USE 348 GAL PER ACRE (8 GAL/1000 SQ.FT.) FOR ANCHORING.

REFER TO THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR ADDITIONAL RATES AND METHODS NOT COVERED.

STANDARD SEDIMENT CONTROL NOTES

- 1) A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF NAY CONSTRUCTION. (313-1855).
- 2) ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT "MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT
- 3) FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1, B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- 4) ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL STORM DRAINAGE.
- 5) ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1991 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING (SEC.51), SOD (SEC. 54), TEMPORARY SEEDING (SEC. 50) AND MULCHING (SEC.52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- 6) ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

7) SITE ANALYSIS: TOTAL AREA OF SITE:____ AREA DISTURBED:

ACRES AREA TO BE ROOFED OR PAVED: __ ACRES _ ACRES AREA TO BE VEGITATIVELY STABILIZED: TOTAL CUT: ___ _ CU. YDS. TOTAL WASTE/BORROW AREA LOCATION:

THESE QUANTITIES ARE FOR PERMIT PURPOSES ONLY. CONTRACTOR IS REQUIRED TO PROVIDE HIS OWN QUANTITIES MEASUREMENTS.

- 8) ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- 10) ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- 11) TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN BE BACK FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.

STANDARD AND SPECIFICATIONS FOR TOPSOIL

PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW pH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

CONDITIONS WHERE PRACTICE APPLIES

- I. THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:
- a. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE
- b. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS
- c. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
- d. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.
- FOR THE PURPOSE OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION. AREAS HAVING SLOPES STEEPER THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE PLANS.

CONSTRUCTION AND MATERIAL SPECIFICATIONS

- TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATION. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.
- TOPSOIL SPECIFICATIONS SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:
 - TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CON-TRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 1/2" IN
- ii. TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACKGRASS, JOHNSON-SON GRASS, NUTSEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.
- WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING
- III. FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES:
 - PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE

STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS.

FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES:

- ON SOIL MEETING TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS DICTATING FERTILIZER AND LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING:
- a. ph for topsoils shall be between 6.0 and 7.5. If the tested soil demonstrates a ph of
- LESS THAN 6.0, SUFFICIENT LIME SHALL BE PERSCRIBED TO RAISE THE pH TO 6.5 OR HIGHER.
- b. ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 1.5 PERCENT BY WEIGHT. c. TOPSOIL HAVING SOLUBLE SALT CONTENT GREATER THAN 500 PARTS PER MILLION SHALL NOT BE USED.

STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS.

d. NO SOD OR SEED SHALL BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.

NOTE: TOPSOIL SUBSTITUTES OR AMENDMENTS. AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL

ii. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE

V. TOPSOIL APPLLICATION

- WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS,
- GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS. II. GRADES ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE
- MAINTAINED, ALBEIT 4" 8" HIGHER IN ELEVATION. iii. TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4" TO 8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM
- THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
- TOPSOIL SHALL NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION
- ALTERNATIVE FOR PERMANENT SEEDING INSTEAD OF APPLYING THE FULL AMOUNTS OF LIME AND COMMERCIAL FERTILIZER, COMPOSTED SLUDGE AND AMENDMENTS MAY BE APPLIED AS SPECIFIED BELOW:
 - COMPOSTED SLUDGE MATERIAL FOR USE AS A SOIL CONDITIONER FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES SHALL BE TESTED TO PRESCRIBE AMENDMENTS AND FOR SITES HAVING AREAS UNDER 5 ACRES SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:
 - a. COMPOSTED SLUDGE SHALL BE SUPPLIED BY, OR ORIGINATE FROM, A PERSON OR PERSONS WHO ARE PERMITTED (AT THE TIME OF ACQUISITION OF THE COMPOST) BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT UNDER COMAR 26.04.06.
 - b. COMPOSTED SLUDGE SHALL CONTAIN AT LEASE 1 PERCENT NITROGEN, 1.5 PERCENT PHOSPHOURUS, AND 0.2 PERCENT POTASSIUM AND HAVE A Ph OF 7.0 TO 8.0. IF COMPOST DOES NOT MEET THESE REQUIREMENTS, THE APPROPRIATE CONSTITUENTS MUST BE ADDED TO MEET THE REQUIREMENTS PRIOR TO USE.
- c. COMPOSTED SLUDGE SHALL BE APPLIED AT A RATE OF 1 TON/1,000 SQUARE FEET. iv. COMPOSTED SLUDGE SHALL BE AMENDED WITH A POTASSIUM FERTILLIZER APPLIED AT THE RATE OF 4 LB/1,000 SQUARE FEET, AND 1/3 THE NORMAL LIME APPLICATION RATE.

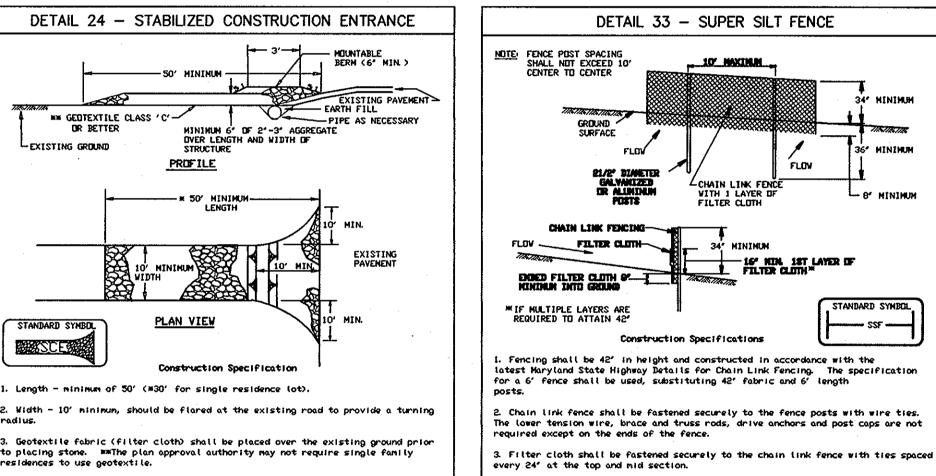
REFERENCES: GUIDELINE SPECIFICATIONS, SOIL PREPARATION AND SODDING. MD-VA, PUB. #1, COOPERATIVE EXTENSION SERVICE, UNIVERSITY OF MARYLAND AND VIRGINIA POLYTECHNIC INSTITUTES. REVISED 1973.

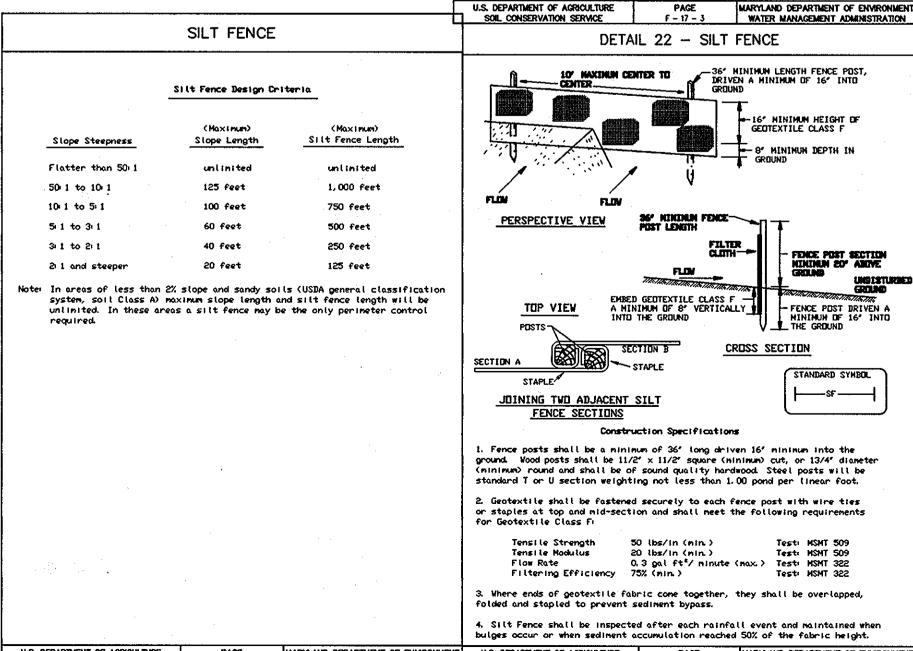
EROSION AND SEDIMENT CONTROL NOTES

- 1. ALL SEDIMENT CONTROL OPERATIONS ARE TO BE DONE IN ACCORDANCE WITH SECTION 219 OF THE HOWARD COUNTY VOLUME IV DESIGN MANUAL AND THE STANDARDS AND SPECIFICATIONS FOR SEDIMENT CONTROL IN DEVELOPING AREAS.
- 2. ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED AS THE FIRST ORDER OF
 - 3. ALL EXCAVATED MATERIALS SHALL BE STOCKPILED ON THE NORTHERN MOST AREA WITHIN THE THE LIMIT OF DISTURBANCE.
 - 4. EXCAVATION AND BACKFILL SHALL BE LIMITED TO THAT WHICH CAN BE STABILIZED WITHIN ONE WORKING DAY.
 - 5. IMMEDIATELY FOLLOWING BACKFILL OF THE WATER AND SEWER HOUSE CONNECTION TRENCH. ALL DISTURBED AREAS ARE TO BE STABILIZED IN ACCORDANCE WITH THE PERMANENT
- 6. THROUGHOUT THE PROJECT, THE CONTRACTOR SHALL REGULARLY INSPECT ALL SEDIMENT CONTROL DEVICES AND PROVIDE ALL NECESSARY MAINTENANCE TO INSURE THAT ALL DEVICES ARE IN
- 7. ALL SEDIMENT CONTROL FACILITIES SHALL REMAIN IN PLACE UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

SEQUENCE OF CONSTRUCTION

- OBTAIN GRADING PERMIT. (1 DAY)
- 2. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AT LOCATION SHOWN. (1 DAY)
- CONSTRUCT SILT FENCES. (1 DAYS)
- 4. COMPLETE CONSTRUCTION AS SHOWN, INCLUDING UTILITIES, BUILDING & PAVEMENT WITH PERMISSION OF INSPECTOR TO PROCEED. (90 DAYS).
- COMPLETE FINE GRADING OF SITE TO GRADES INDICATED. (5 DAYS) (INCLUDING REMOVAL OF OLD GRAVEL PARKING)
- 6. CONSTRUCT SEPTIC SYSTEM AND DRILL WELL. SEQUENCE OF CONSTRUCTION IS
- LOCATED ON SHEET 3.
- 6. SEED AND MULCH ALL REMAINING DISTURBED AREAS. (2 DAYS)
- 7. UPON STABILIZATION OF THE SITE AND WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT CONTROL DEVICES AND STABILIZE REMAINING DISTURBED AREAS.





4. Stone - crushed aggregate (2' to 3') or reclaimed or recycled concrete equivalent shall be placed at least 6' deep over the length and width of the

5. Surface Water - all surface water flowing to or diverted toward construction

installed through the stabilized construction entrance shall be protected with a

entrances shall be piped through the entrance, maintaining positive drainage. Pipe

to be sized according to the drainage. When the SDE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized

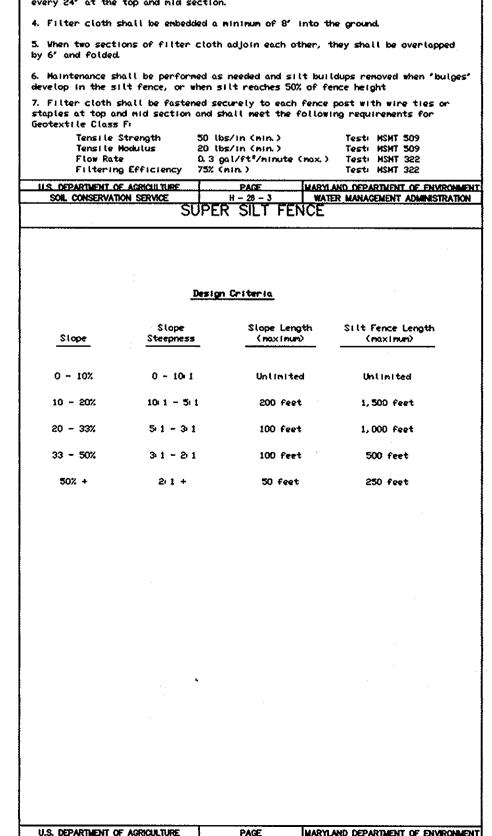
according to the amount of runoff to be conveyed. A 6' minimum will be required

. Location - A stabilized construction entrance shall be located at every point

where construction traffic enters or leaves a construction site. Vehicles leaving

the site must travel over the entire length of the stabilized construction entranc

table berm with 5:1 slopes and a minimum of 6° of stone over the pipe. Pipe ha



MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION PAGE E - 15 - 3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION U.S. DEPARTMENT OF AGRICULTURE

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