

SITE LOCATION PLAN

SCALE: 1" = 100'

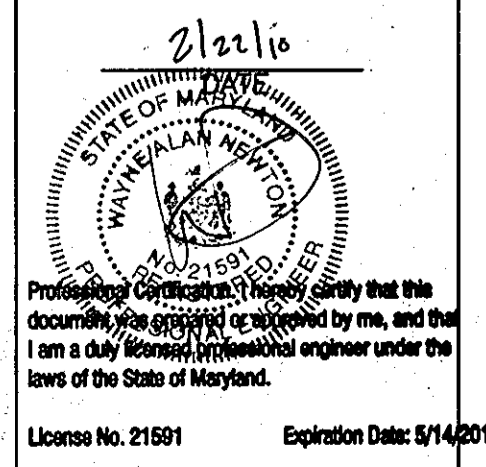
LEGEND

	EXISTING CONTOUR
	EXISTING CURB & GUTTER
	EXISTING BUILDING
	EXISTING OVERHEAD WIRE
	EXISTING UTILITY POLE
	EXISTING EDGE OF PAVEMENT
	EXISTING FUEL ISLAND
	EXISTING CONCRETE PAD
	EXISTING CANOPY
	EXISTING WATER LINE
	EXISTING SEWER LINE
	PROPERTY LINE
	BUILDING RESTRICTION LINE
	EXISTING EASEMENT
	EXISTING PAVEMENT TO BE REMOVED
	EXISTING MEAN CENTERLINE OF ROAD
	EXISTING TREE
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	EXISTING GUY WIRE
	EXISTING FENCE
	EXISTING BOLLARD
	EXISTING OVERHEAD WIRE
	EXISTING UNDERGROUND ELECTRIC
	ZONING LINE
	SOILS BOUNDARY

PLAN

SCALE: 1" = 40'

MESSICK & ASSOCIATES
 CONSULTING ENGINEERS
 SURVEYORS & PLANNERS
 2120 RENARD COURT
 ANNAPOLIS, MARYLAND 21401
 (410) 266-3212 * FAX (410) 266-3502



RECORD DRAWING MARCH 2012

OWNER:
 THE NORMANDY VENTURE LIMITED PARTNESHIP
 P.O. BOX 1424
 ELLICOTT CITY, MD. 21041-1424

DEVELOPER:
 HIGHS OF BALTIMORE INC.
 7477 NEW RIDGE ROAD
 HANOVER, MARYLAND 20794
 410-859-3636

PROJECT HIGH'S @ NORMANDY
 NORMANDY SHOPPING CENTER, P/O PARCEL B
 NEW BUILDING, GAS PUMPS & PARKING LOT EXPANSION

TITLE THE NORMANDY VENTURE LIMITED PARTNESHIP
 SITE DEVELOPMENT PLAN

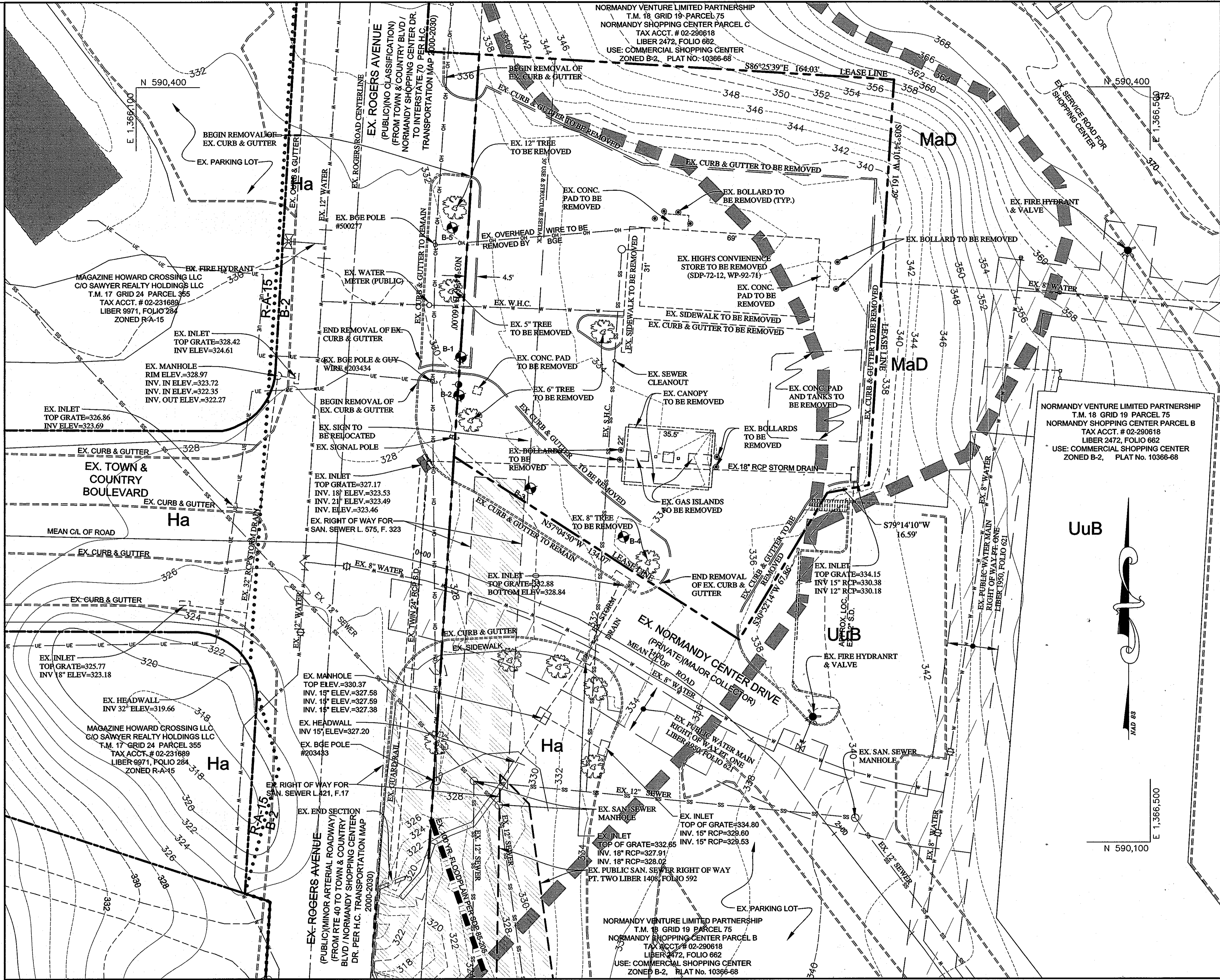
F-98-33, BA 08-045C, SDP 86-89, SDP 85-205, SDP 84-297, SDP 79-140, SDP 77-15, SDP 72-12

EXISTING CONDITIONS PLAN
 TAX MAP 18, GRID 19, PARCEL 75, P/O PARCEL B
 ELECTION DISTRICT NO. 2, LIBER 2472, FOLIO 662 PLAT M.D.R. NO. 10367
 DATE: MARCH 2009 DESIGN BY: WAM DRAWN BY: BPO
 HOWARD COUNTY, MARYLAND SCALE: AS SHOWN SHEET 2 OF 12

APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] 2/12/10
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

APPROVED: DIVISION OF LAND DEVELOPMENT
[Signature] 4-12-10
 CHIEF, DIVISION OF LAND DEVELOPMENT

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
[Signature] 3/26/2010
 COUNTY HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT

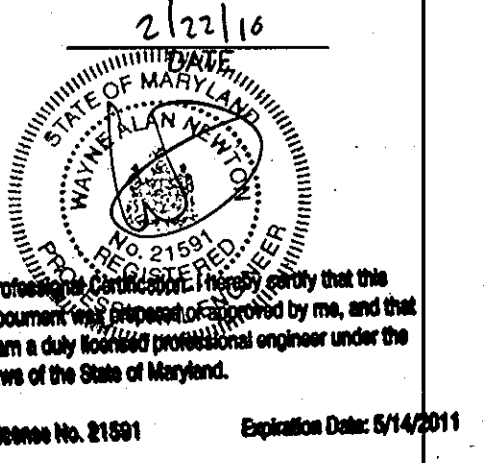


- LEGEND**
- - - 632 EXISTING CONTOUR
 - - - EXISTING CURB & GUTTER
 - [] EXISTING BUILDING
 - - - EXISTING OVERHEAD WIRE
 - - - EXISTING UTILITY POLE
 - - - EXISTING EDGE OF PAVEMENT
 - - - EXISTING FUEL ISLAND
 - [] EXISTING CONCRETE PAD
 - - - EXISTING CANOPY
 - - - EXISTING WATER LINE
 - - - EXISTING SEWER LINE
 - - - PROPERTY LINE
 - - - BUILDING RESTRICTION LINE
 - - - EXISTING EASEMENT
 - [] EXISTING PAVEMENT TO BE REMOVED
 - - - EXISTING MEAN CENTERLINE OF ROAD
 - [] EXISTING TREE
 - [] EXISTING WATER VALVE
 - [] EXISTING FIRE HYDRANT
 - [] EXISTING GUY WIRE
 - [] EXISTING FENCE
 - [] EXISTING BOLLARD
 - [] EXISTING OVERHEAD WIRE
 - [] EXISTING UNDERGROUND ELECTRIC
 - [] ZONING LINE
 - [] SOILS BOUNDARY

PLAN
SCALE: 1" = 20' RECORD DRAWING MARCH 2012

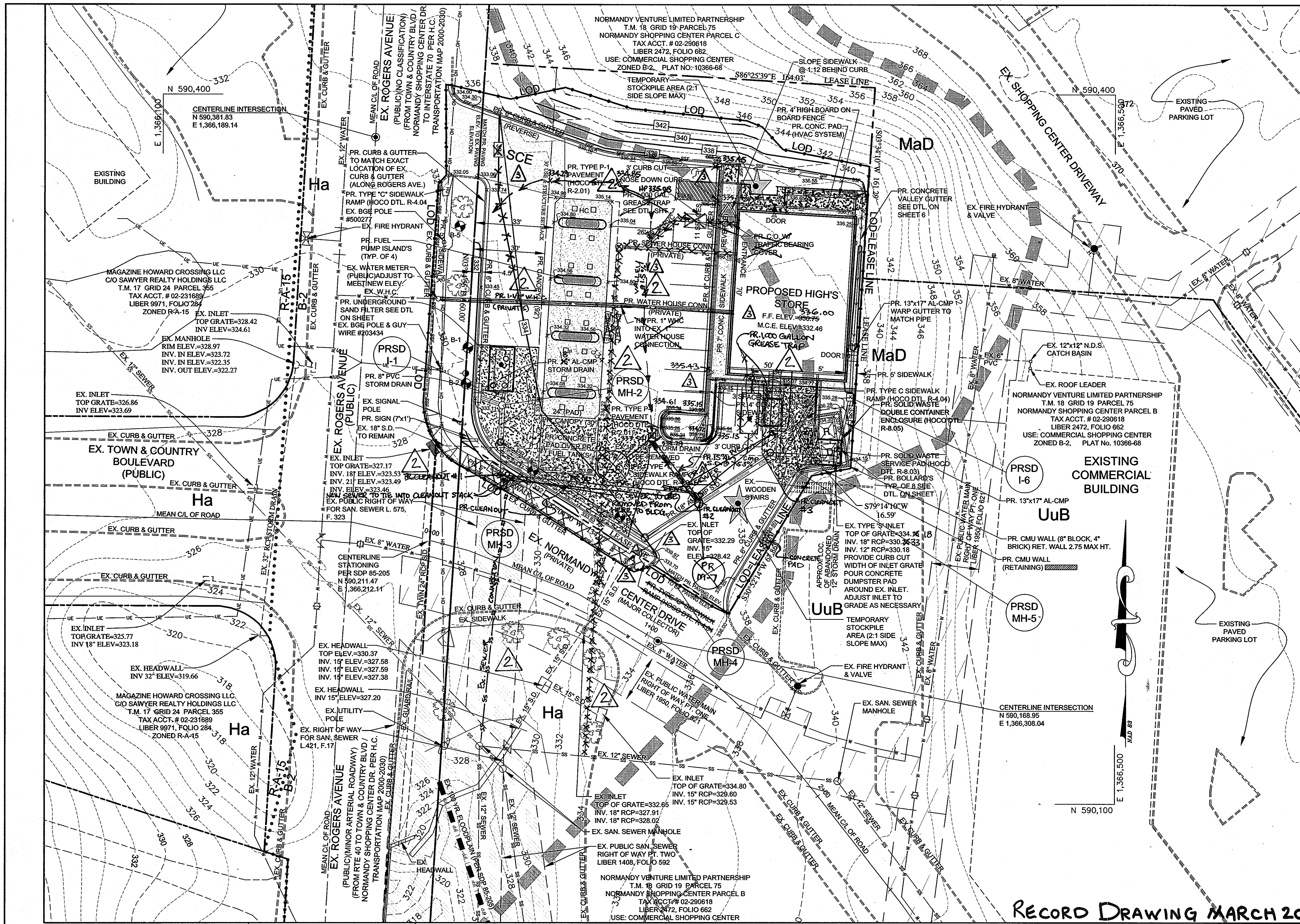
APPROVED: DEPARTMENT OF PLANNING AND ZONING
 [Signature] 2/12/10
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] 4/12/10
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] 4/12/10
 DIRECTOR
 APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 [Signature] 3/26/2010
 COUNTY HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT

MESSICK & ASSOCIATES
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 ANNAPOLIS, MARYLAND 21401
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OWNER:
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 P.O. BOX 1424
 ELLICOTT CITY, MD. 21041-1424
 DEVELOPER:
 HIGHS OF BALTIMORE INC.
 7477 NEW RIDGE ROAD
 HANOVER, MARYLAND 20794
 410-859-3636

PROJECT: **HIGHS @ NORMANDY**
 NORMANDY SHOPPING CENTER, P/O PARCEL B
 NEW BUILDING, GAS PUMPS & PARKING LOT EXPANSION
 TITLE: THE NORMANDY VENTURE LIMITED PARTNERSHIP
 SITE DEVELOPMENT PLAN
 F-98-33, BA 08-045C, SDP 86-89, SDP 85-205, SDP 84-297, SDP 77-15, SDP 72-12
SITE DEMOLITION PLAN
 TAX MAP 18, GRID 19, PARCEL 75, P/O PARCEL B
 LIBER 2472 FOLIO 662 PLAT M.D.R. NO. 10367
 DATE: MARCH 2009 DESIGN BY: WAN DRAWN BY: BPO
 HOWARD COUNTY MARYLAND SCALE: AS SHOWN SHEET 3 OF 12
SDP-09-049



LEGEND

	EXISTING CONTOUR
	EXISTING CURB & GUTTER
	EXISTING BUILDING
	EXISTING OVERHEAD WIRE
	EXISTING UTILITY POLE
	EXISTING EDGE OF PAVEMENT
	EXISTING FUEL ISLAND
	EXISTING CONCRETE PAD
	EXISTING CANOPY
	EXISTING WATER LINE
	EXISTING SEWER LINE
	PROPERTY LINE
	BUILDING RESTRICTION LINE
	EXISTING BASEMENT
	EXISTING PAVEMENT TO BE REMOVED
	EXISTING MEAN CENTERLINE OF ROAD
	EXISTING TREE
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	EXISTING GLY WIRE
	EXISTING FENCE
	EXISTING BOLLARD
	EXISTING OVERHEAD WIRE
	EXISTING UNDERGROUND ELECTRIC
	ZONING LINE
	SOILS BOUNDARY
	PROPOSED BUILDING
	PROPOSED CANOPY
	PROPOSED CONTOUR
	PROPOSED CURB & GUTTER
	PROPOSED CONCRETE PAD
	PROPOSED FUEL ISLAND
	PROPOSED SIDEWALK
	PROPOSED SPOT SHOT
	PROPOSED SEWER
	PROPOSED WATER
	PROPOSED BOLLARD
	STABILIZED CONSTRUCTION ENTRANCE
	SUPER SILT FENCE
	LIMIT OF DISTURBANCE

DETAIL SCHEDULE

DETAIL	DETAIL REFERENCE	SHEET REF.
PAVEMENT SECTION (TYPE P-1)	HO.CO. DTL. R-2.01	SEE SHEET 10
4" CONCRETE SIDEWALK SECTION	HO.CO. DTL. R-3.05	SEE SHEET 10
SOLID WASTE SERVICE PAD (MODIFIED)	HO.CO. DTL. R-8.03	SEE SHEET 10
8" COMBINATION CURB & GUTTER DETAIL	HO.CO. DTL. R-9.01	SEE SHEET 10
REVERSE COMBINATION CURB & GUTTER DETAIL	HO.CO. DTL. R-9.01	SEE SHEET 10
DEPRESSED CURB DETAIL	HO.CO. DTL. R-9.01	SEE SHEET 10
CURB & GUTTER TRANSITION	HO.CO. DTL. R-3.02	SEE SHEET 10
2" WIDE CURB OPENING DETAIL	---	SEE SHEET 10
HVAC SYSTEM ENCLOSURE BLOW-UP	---	SEE SHEET 10
BOARD ON BOARD FENCE DETAIL (FOR FENCE & DUMPSTER ENCLOSURE)	---	SEE SHEET 10
HANDICAP RAMPS (TYPE C)	HO.CO. DTL. R-4.04	SEE SHEET 10
STABILIZED CONSTRUCTION ENTRANCE	SCD DETAIL 24	SEE SHEET 11
SUPER SILT FENCE	SCD DETAIL 33	SEE SHEET 11

HANDICAP ACCESS NOTE:
 ALL PATRONS INCLUDING ONE'S WITH DISABILITIES SHALL ACCESS THE STORE THROUGH THE MAIN ENTRANCE LOCATED ON THE FRONT OF THE BUILDING.

DEVELOPERS CERTIFICATE:
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT & EROSION CONTROL, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT & EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.
Brian Darnell 9/15/10
 DEVELOPER: BRIAN DARNELL (HIGHS OF BALTIMORE, INC.) DATE

ENGINEERS CERTIFICATE:
 I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
Wayne A. Newton 9/15/10
 ENGINEER: WAYNE A. NEWTON (MESSICK & ASSOC.) DATE

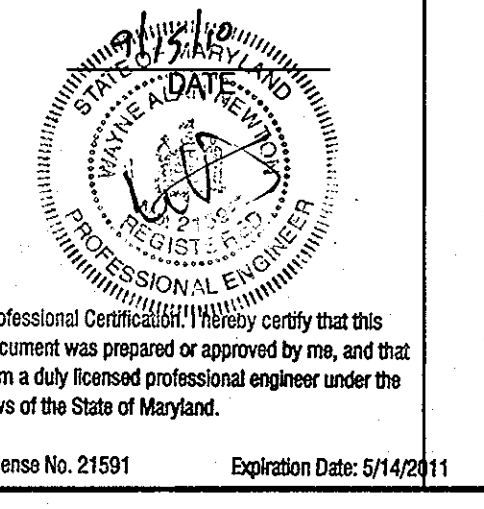
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
John L. White 9/27/10
 HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING <i>Michael J. ...</i> 9/20/10	DATE: 9/20/10
APPROVED: DIVISION OF LAND DEVELOPMENT <i>Victoria ...</i> 10/07/10	DATE: 10/07/10
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS <i>Robert ...</i> 10/14/2010	DATE: 10/14/2010

DATE	#	REVISION DESCRIPTION
8/15/11	3	REMOVED SIDEWALK ALONG NORMANDY CENTER DRIVE. ADDED STORM DRAIN. REVISED SITE GRADE TO MEET AS-BUILT FLOOR ELEV.

DATE	#	REVISION DESCRIPTION	REVISED SDP
6/27/11	2	RELOCATED SEWER CONNECTION TO MATCH EXIST FIELD CONDITIONS & SHOW REPLACEMENT OF W.H.C.	8/15/11
9/15/10	1	Relocate Building, Revised dumpster with 8' high retain. wall. Added Inlet	6/27/11
			9/15/10

MESSICK & ASSOCIATES
 CONSULTING ENGINEERS
 SURVEYORS & PLANNERS
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 P.O. BOX 1424
 ELLICOTT CITY, MD. 21041-1424

DEVELOPER:
 HIGHS OF BALTIMORE INC.
 7477 NEW RIDGE ROAD
 HANOVER, MARYLAND 20794
 410-859-3636

PROJECT: HIGH'S @ NORMANDY
 NORMANDY SHOPPING CENTER, P/O PARCEL B
 NEW BUILDING, GAS PUMPS & PARKING LOT EXPANSION

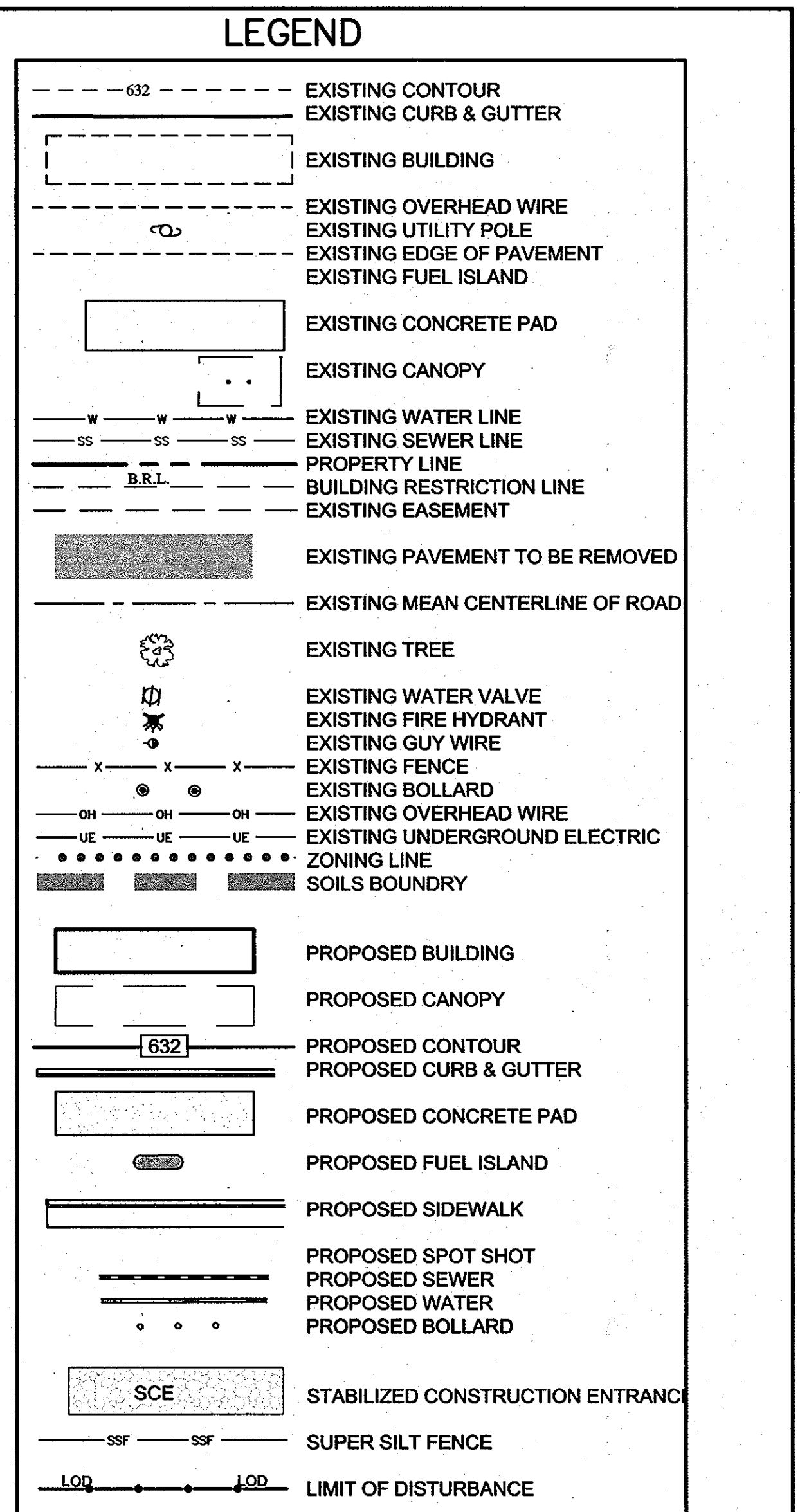
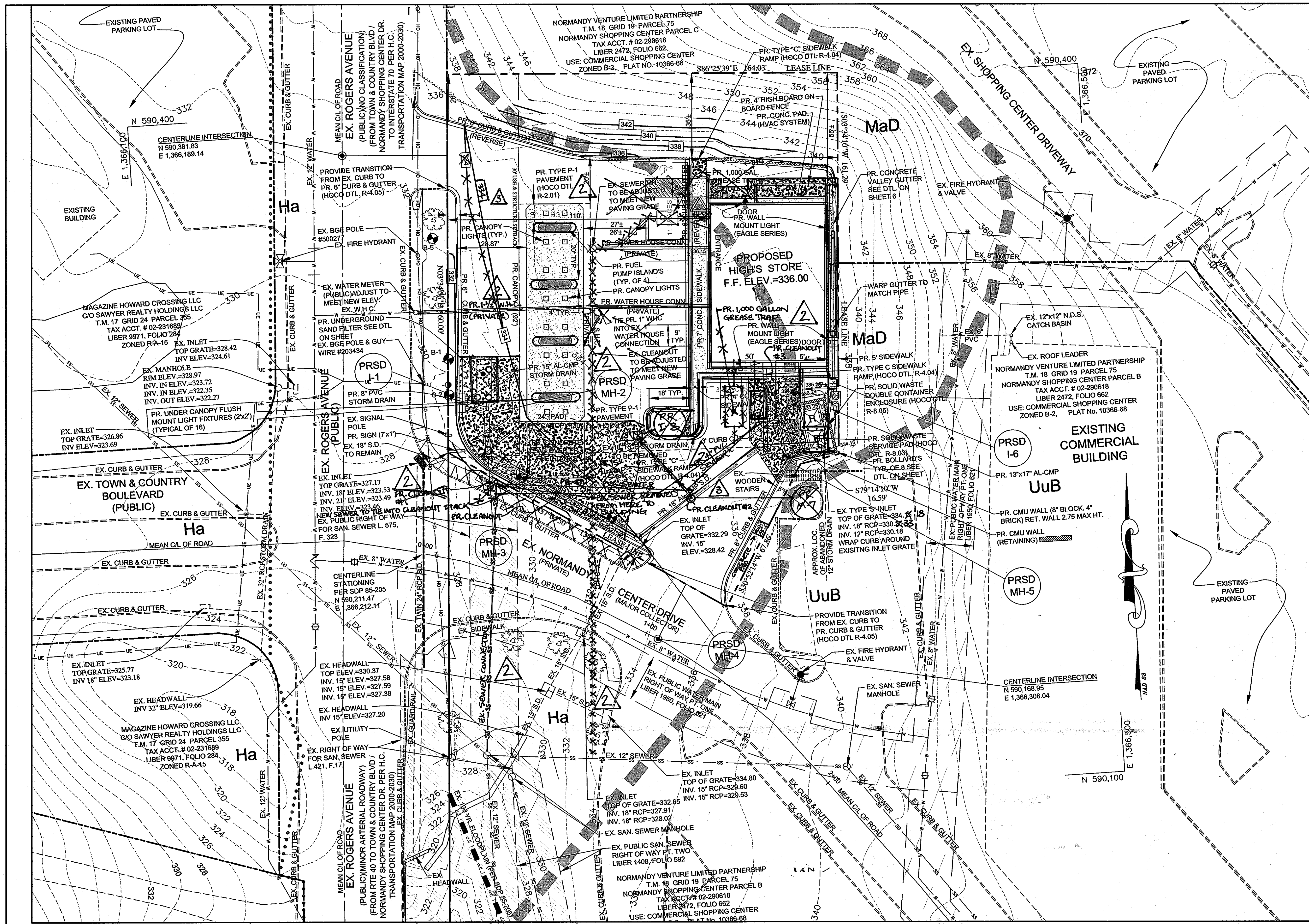
TITLE: THE NORMANDY VENTURE LIMITED PARTNERSHIP
 SITE DEVELOPMENT PLAN

F-98-33, BA 08-045C, SDP 86-89, SDP 85-205, SDP 84-297, SDP 79-140, SDP 77-15, SDP 72-12

GRADING, SEDIMENT & EROSION CONTROL PLAN
 TAX MAP 18, GRID 19, PARCEL 75, P/O PARCEL B
 ELECTION DISTRICT NO. 2 LIBER 2472 FOLIO 662 PLAT M.D.R. NO. 10367
 DATE: MARCH 2009 DESIGN BY: WAN DRAWN BY: BPO
 HOWARD COUNTY MARYLAND SCALE: AS SHOWN SHEET 4 OF 12

RECORD DRAWING MARCH 2012

PLAN
 SCALE: 1" = 20'



HANDICAP ACCESS NOTE:
 ALL PATRONS INCLUDING ONE'S WITH DISABILITIES SHALL ACCESS THE STORE THROUGH THE MAIN ENTRANCE LOCATED ON THE FRONT OF THE BUILDING.

DETAIL	DETAIL REFERENCE	SHEET REF.
PAVEMENT SECTION (TYPE P-1)	HO.CO. DTL. R-2.01	SEE SHEET 10
4" CONCRETE SIDEWALK SECTION	HO.CO. DTL. R-3.05	SEE SHEET 10
SOLID WASTE SERVICE PAD (MODIFIED)	HO.CO. DTL. R-8.03	SEE SHEET 10
6" COMBINATION CURB & GUTTER DETAIL	HO.CO. DTL. R-9.01	SEE SHEET 10
REVERSE COMBINATION CURB & GUTTER DETAIL	HO.CO. DTL. R-9.01	SEE SHEET 10
DEPRESSED CURB DETAIL	HO.CO. DTL. R-9.01	SEE SHEET 10
CURB & GUTTER TRANSITION	HO.CO. DTL. R-3.02	SEE SHEET 10
12" WIRE CURB OPENING DETAIL	---	SEE SHEET 10
HVAC SYSTEM ENCLOSURE BLOW UP	---	SEE SHEET 10
BOARD ON BOARD FENCE DETAIL	---	SEE SHEET 10
TAXI ZONE DETAIL (FOR FENCE & DUMPSTER ENCLOSURE)	---	SEE SHEET 10
HANDICAP RAMP (TYPE C)	HO.CO. DTL. R-4.04	SEE SHEET 10
STABILIZED CONSTRUCTION ENTRANCE	SCD DETAIL 24	SEE SHEET 11
SUPER SILT FENCE	SCD DETAIL 33	SEE SHEET 11

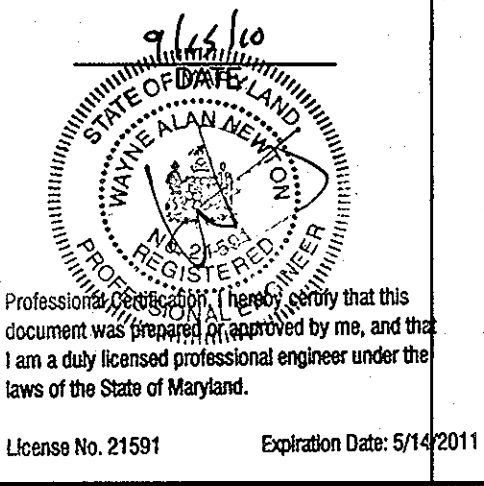
DATE	#	REVISION DESCRIPTION
8/15/11	3	REMOVED SIDEWALK ALONG NORMANDY CENTER DR. ADDED STORM DRAIN, REVISED SITE GRADES TO MEET AS-BUILT FLOOR ELEV.

DATE	#	REVISION DESCRIPTION
6/21/11	2	RELOCATED SEWER CONNECTION TO MATCH EXISTING FIELD CONDITIONS & REPLACE OF W.H.C.
9/16/10	1	Relocate Building, Revised Dumpster with 8' high chain wall, Added Inlet

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 [Signature] DATE 9/20/10
 [Signature] DATE 10/07/10
 [Signature] DATE 10/21/10
 APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 [Signature] DATE 10/14/2010

DATE: 8/15/11
 REVISION: 3
 DESCRIPTION: REMOVED SIDEWALK ALONG NORMANDY CENTER DR. ADDED STORM DRAIN, REVISED SITE GRADES TO MEET AS-BUILT FLOOR ELEV.

MESSICK & ASSOCIATES
 CONSULTING ENGINEERS
 SURVEYORS & PLANNERS
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DEVELOPER:
 HIGHS OF BALTIMORE INC.
 7477 NEW RIDGE ROAD
 HANOVER, MARYLAND 20794
 410-859-3636

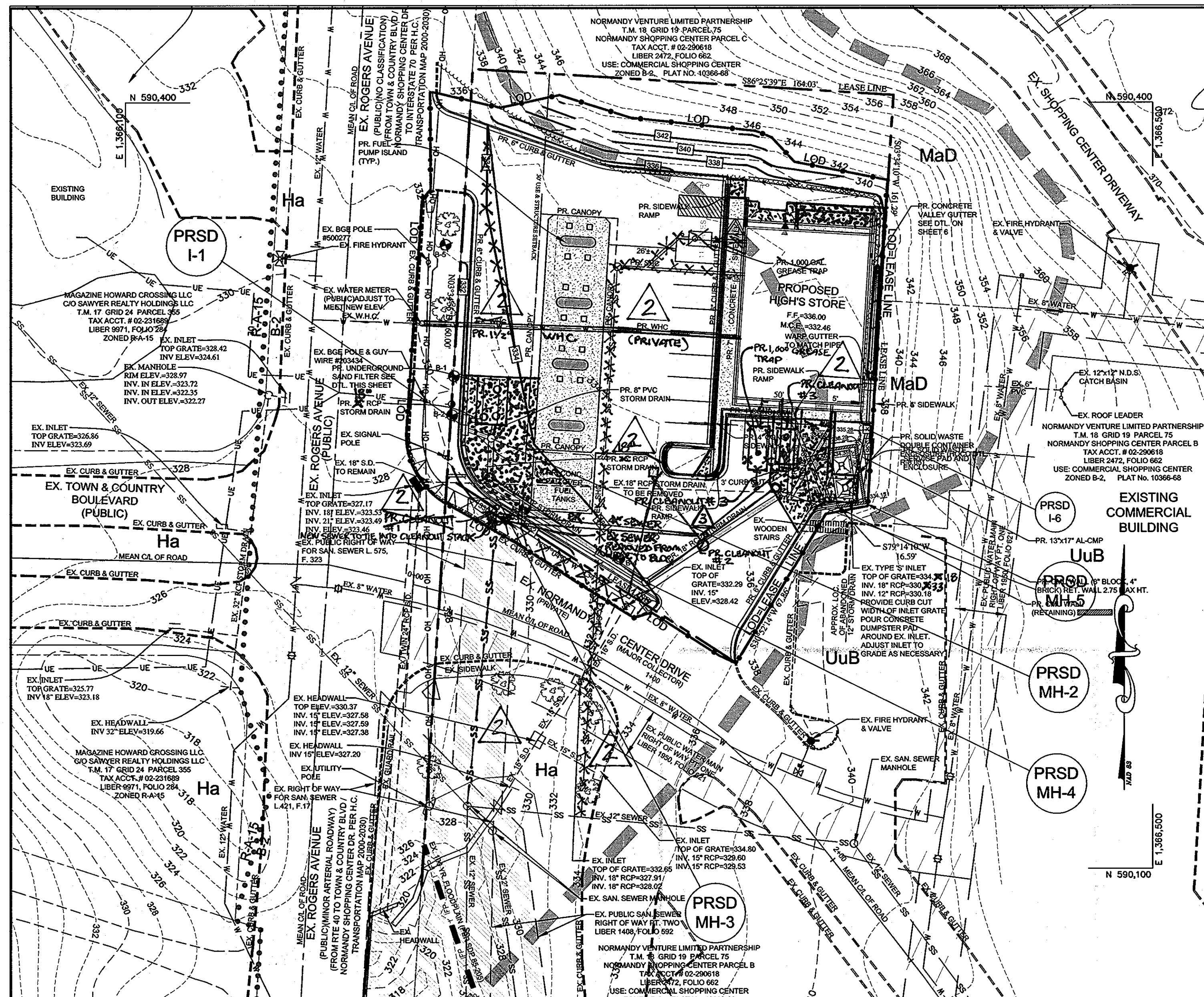
PROJECT: **HIGHS @ NORMANDY**
 NORMANDY SHOPPING CENTER, P/O PARCEL B
 NEW BUILDING, GAS PUMPS & PARKING LOT EXPANSION

TITLE: **THE NORMANDY VENTURE LIMITED PARTNERSHIP**
 SITE DEVELOPMENT PLAN

F-98-33, BA 08-045C, SDP 86-89, SDP 85-205, SDP 84-297, SDP 79-140, SDP 77-15, SDP 72-12

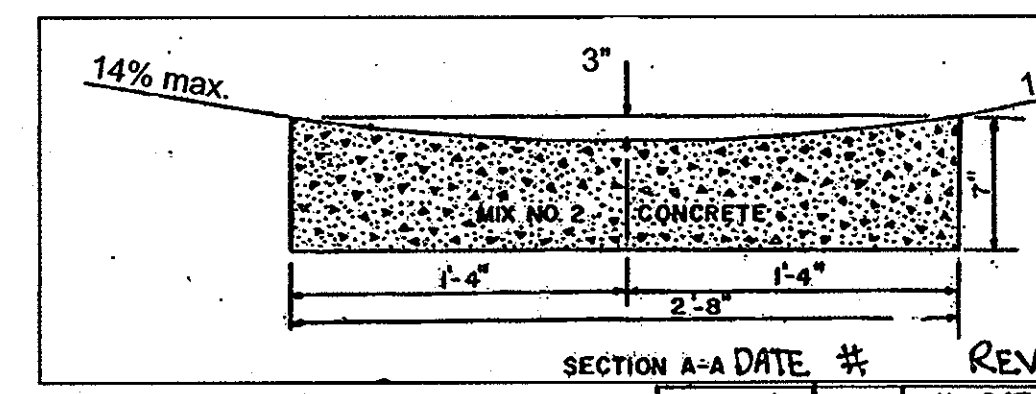
SITE DEVELOPMENT PLAN
 TAX MAP 18, GRID 19, PARCEL 75, P/O PARCEL B
 ELECTION DISTRICT NO. 2 LIBER 2472 FOLIO 662 PLAT M.D.R. NO. 10367
 DATE: MARCH 2009 DESIGN BY: WAN DRAWN BY: EPO
 HOWARD COUNTY MARYLAND SCALE: AS SHOWN SHEET 5 OF 12

SDP-09-049



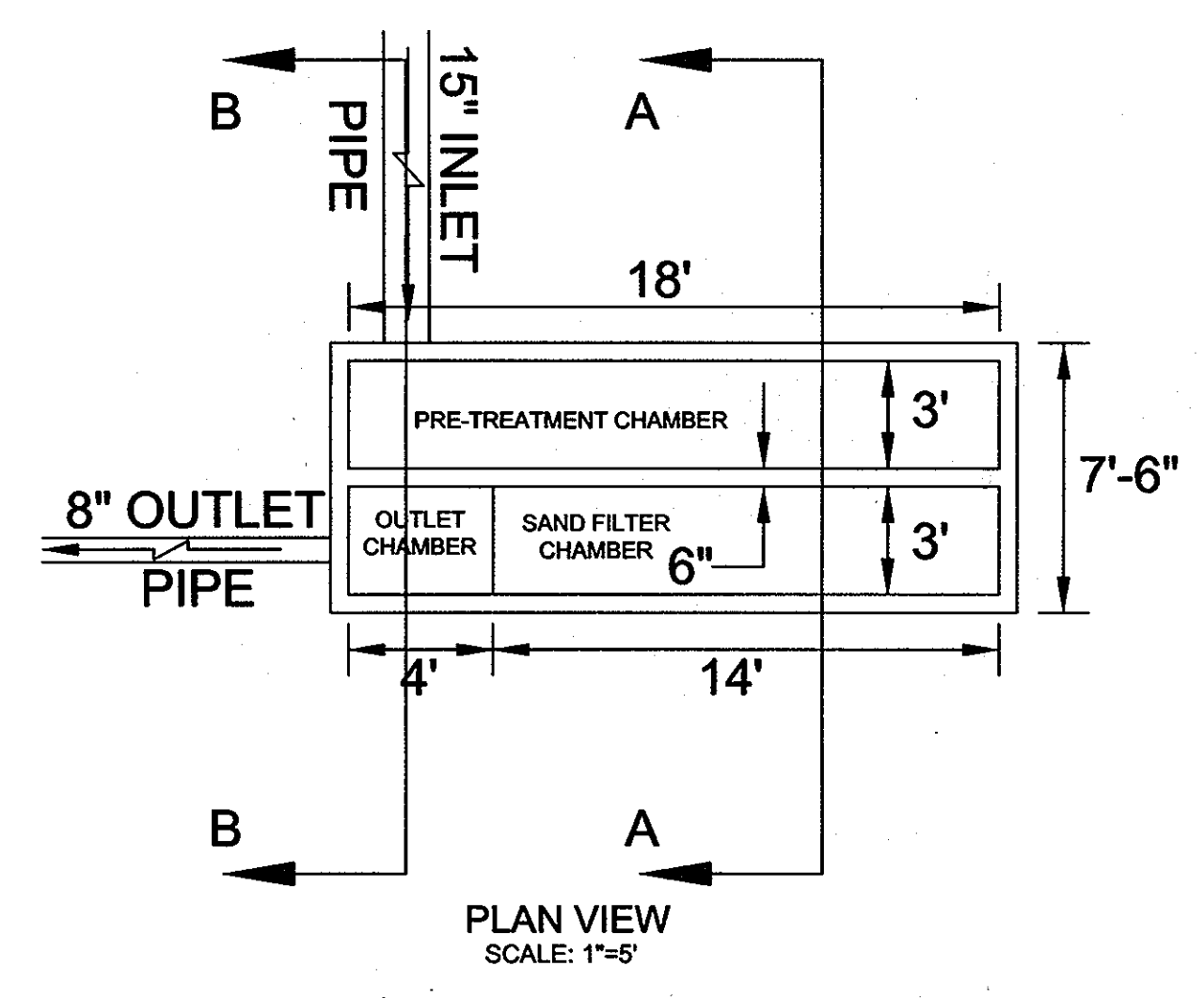
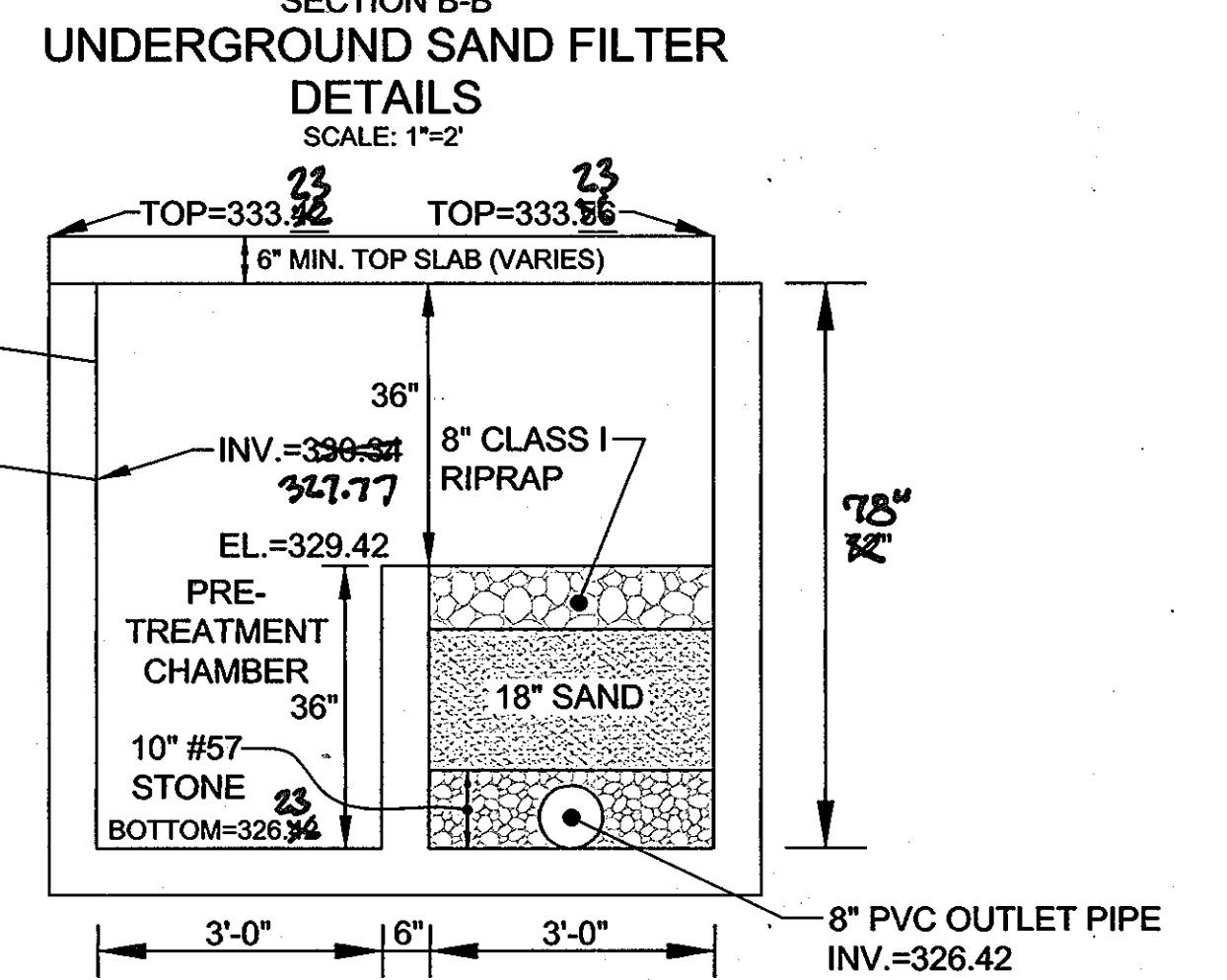
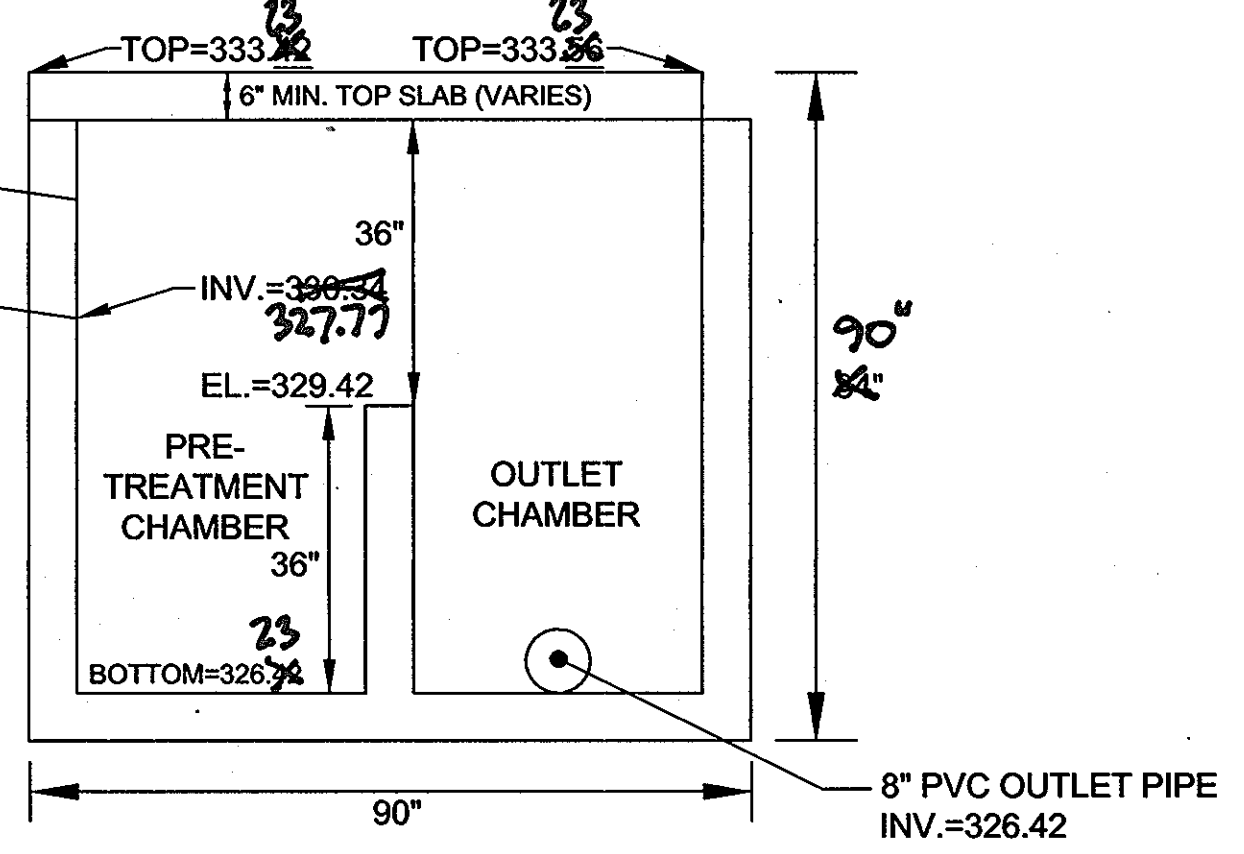
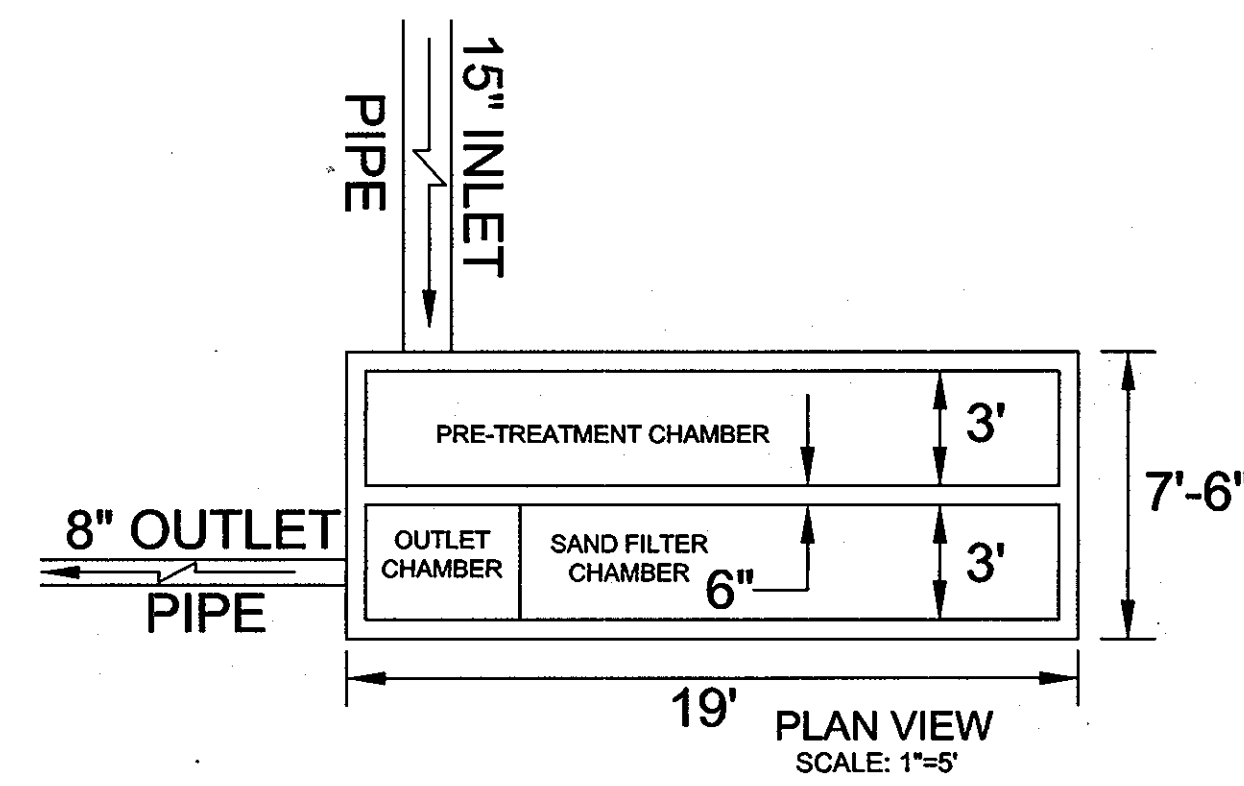
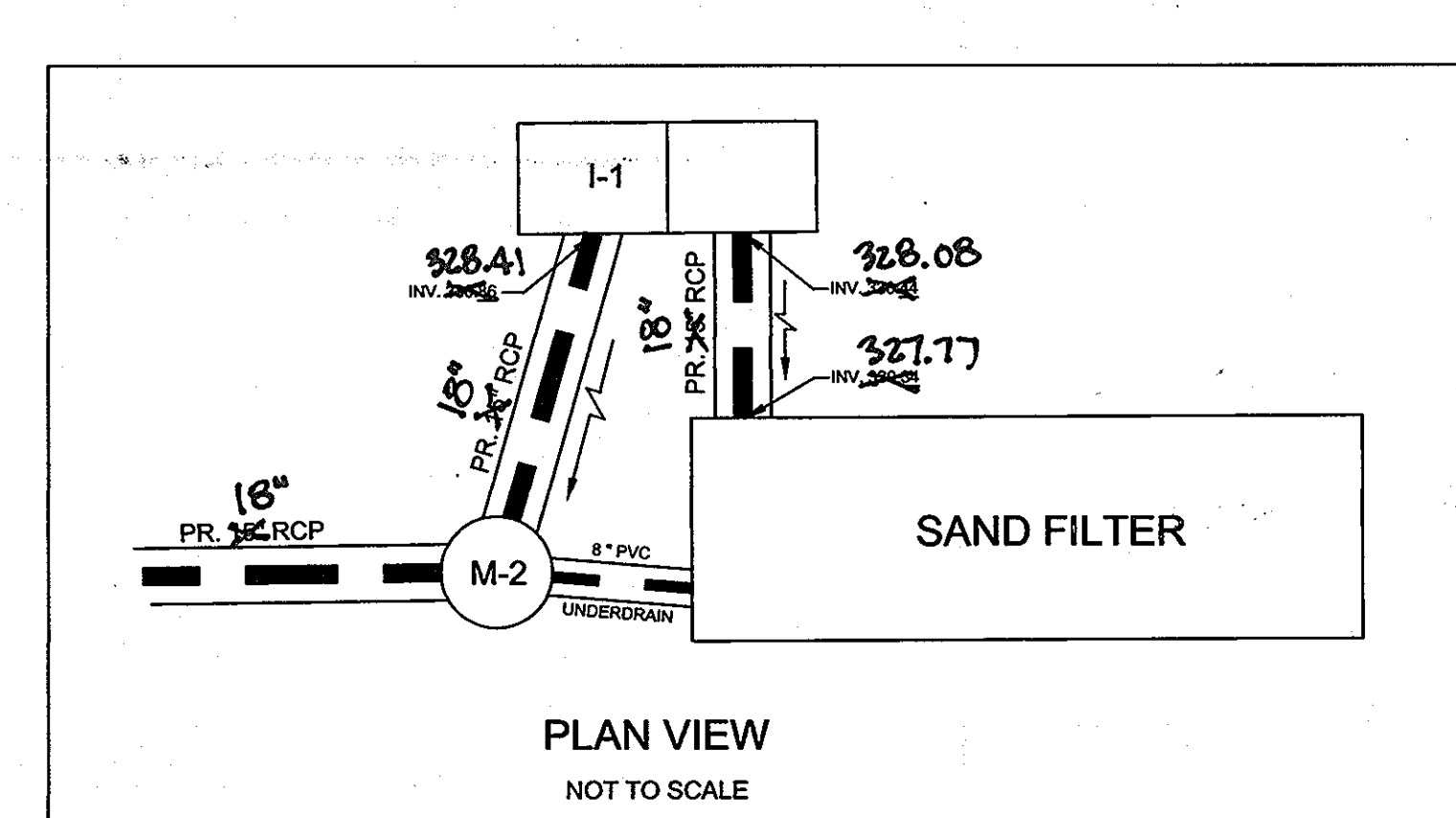
STORMWATER MANAGEMENT PLAN
SCALE: 1" = 30'

- NOTES:**
- 1) ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATION OF HOWARD COUNTY.
 - 2) THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1800 AT LEAST FIVE (5) DAYS PRIOR TO THE START OF WORK.
 - 3) THE TOPOGRAPHY & BOUNDARY SHOWN HEREON THIS PLAN IS BASED ON A TOPOGRAPHIC SURVEY CONDUCTED BY MESSICK & ASSOCIATES.
 - 4) THE TOPOGRAPHY AS SHOWN ON THE DRAINAGE AREA MAPS IS BASED ON HOWARD COUNTY'S MOST RECENT TOPOGRAPHIC 200' SCALE MAPS.
 - 5) THE STORMWATER MANAGEMENT FACILITIES IS PRIVATELY OWNED AND WILL REMAIN PRIVATELY OWNED AND MAINTAINED.
 - 6) THE PROPOSED UNDERGROUND SAND FILTER WILL BE USED FOR WATER QUALITY STORMWATER MANAGEMENT CONTROL.
 - 7) NO DISTURBANCE OF WETLAND OR FLOODPLAIN AREAS IS PROPOSED.
- GENERAL DATA:**
ZONING: B-2
IMPERVIOUS COVERAGE: (FOR WATER QUALITY COMPUTATIONS)
EXISTING IMPERVIOUS COVERAGE = 0.51 ACRES
PROPOSED IMPERVIOUS COVERAGE = 0.53 ACRES
- NOTES:**
- 1) ALL IMPROVEMENTS WILL BE CONSTRUCTED ONLY ON THE HIGH'S STORE LEASE AREA. THEREFORE, THE PROJECT IS CLASSIFIED AS A REDEVELOPMENT PROJECT AS DEFINED IN ITEM "C" OF SECTION 5.1.2 "APPLICABILITY" IN CHAPTER 5 OF THE HOWARD COUNTY DESIGN MANUAL.
 - 2) PER ITEM "E" OF SECTION SECTION 5.2.1 "STORMWATER CONTROL REQUIREMENTS" IN THE DESIGN MANUAL, ONLY WATER QUALITY VOLUME, RECHARGE VOLUME, AND CREEP/PROTECTION VOLUME IS REQUIRED FOR REDEVELOPMENT PROJECTS.



SECTION A-A DATE #	REVISION DESCRIPTION
6/27/11 2	RELOCATED SEWER CONNECTION TO MATCH EXISTING FIELD CONDITIONS & SHOW REPLACEMENT OF W.H.C.
7/15/10 1	Relocate Building, Revised dumpster with 8' high retain wall. Added Inlet

DATE	#	REVISION DESCRIPTION
8/15/11	3	REMOVED SIDEWALK ALONG NORMANDY CENTER DR. ADDED STORM DRAIN, REVISED SITE GRADES TO MEET AS-BUILT FLOOR ELEV. REVISED SDP 8/15/11



DEVELOPER'S CERTIFICATION

I/We certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I shall engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District.

R. Darnell
Signature of Developer
Date: 9-15-10

Brian Darnell
High's of Baltimore Inc.
7477 New Ridge Road
Hanover, MD 20763

ENGINEER'S CERTIFICATION

I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he/she must engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion.

Wayne A. Newton
Signature of Engineer
Date: 9/15/10

Wayne A. Newton, P.E.
Messick Group, Inc.
T/A Messick & Associates
2120 Renard Court
Annapolis, MD 21401

HOWARD SOIL CONSERVATION DISTRICT CERTIFICATION

These plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.

[Signature]
Howard Soil Conservation District
Conservation Service
Date

DEVELOPER'S CERTIFICATE:

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT & EROSION CONTROL, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT & EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

R. Darnell
DEVELOPER: BRIAN DARNELL (HIGH'S OF BALT. INC.) DATE: 9-15-10

ENGINEER'S CERTIFICATE:

I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Wayne A. Newton
ENGINEER: WAYNE A. NEWTON (MESSICK & ASSOC.) DATE: 9/15/10

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature]
HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] DATE: 9/28/10
[Signature] DATE: 10/07/10
[Signature] DATE: 10/10/10

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS

[Signature] DATE: 10/14/2010
 COUNTY HEALTH OFFICER DATE: 10/14/2010

MESSICK & ASSOCIATES
CONSULTING ENGINEERS
SURVEYORS & PLANNERS

2120 RENARD COURT
ANNAPOLIS, MARYLAND 21401
(410) 266-3212 * FAX (410) 266-3502

[Professional Seal]

Professional Certification. I hereby certify that this document was prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

License No. 21591 Expiration Date: 5/14/2011

OWNER:
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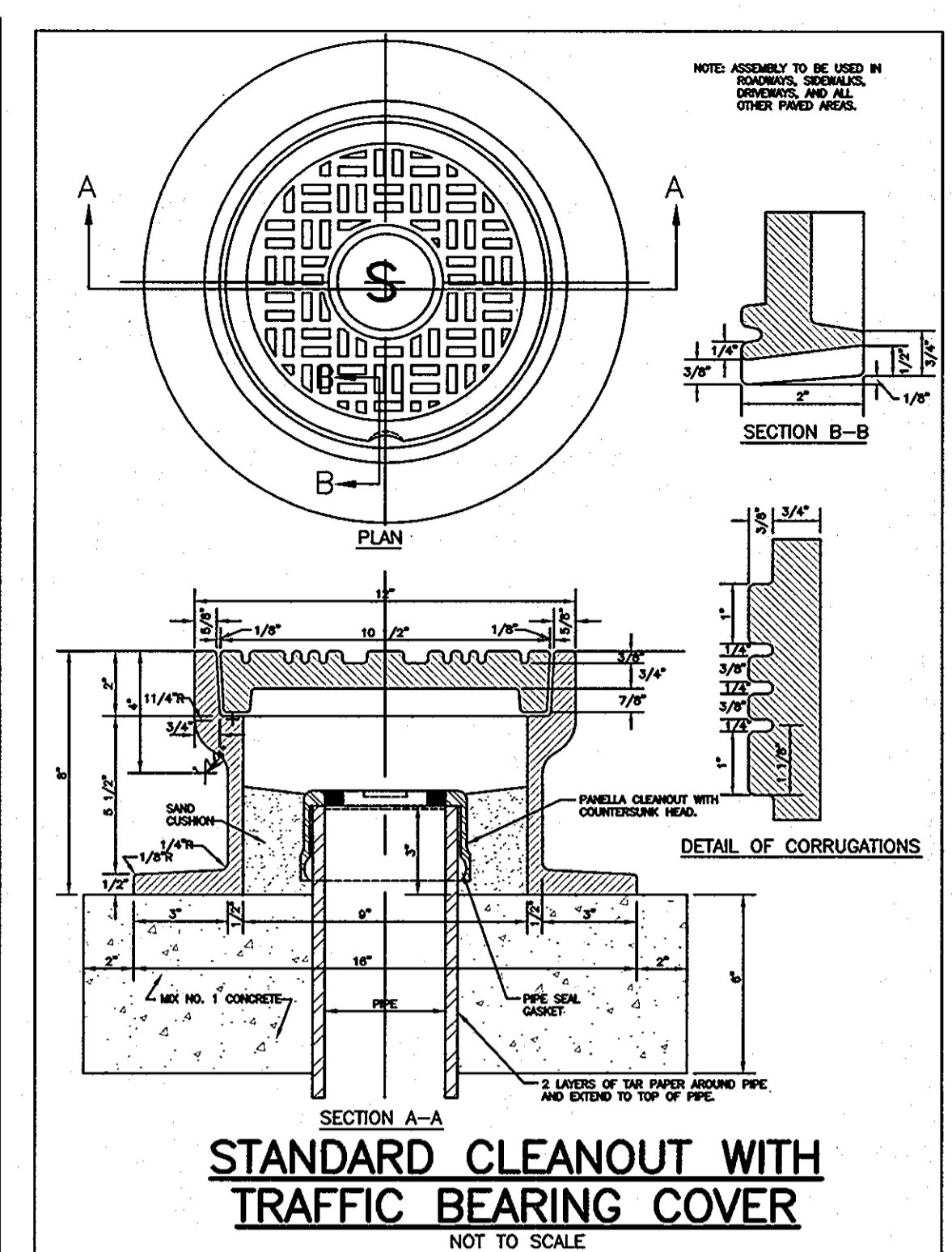
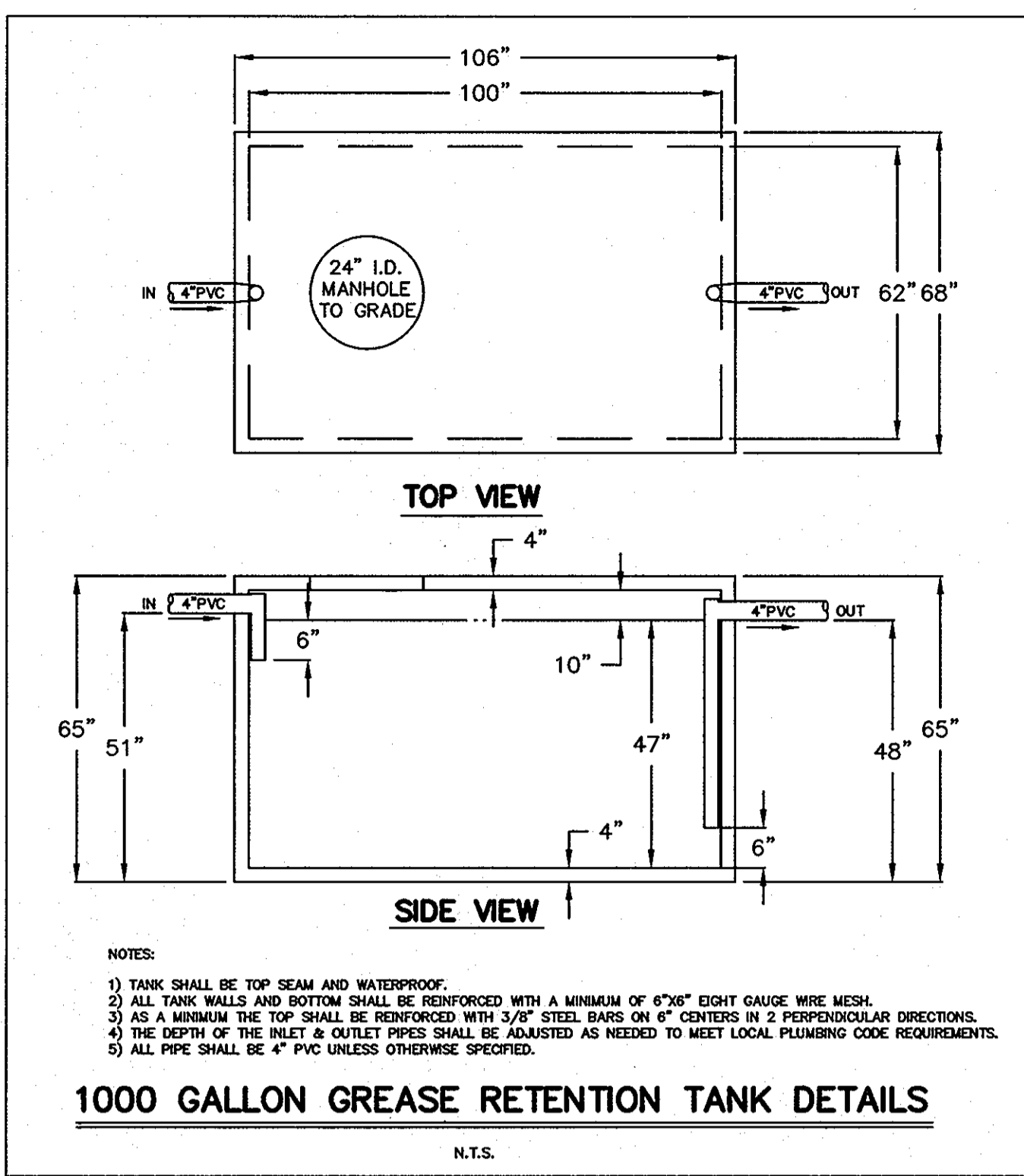
PROJECT: HIGH'S @ NORMANDY
NORMANDY SHOPPING CENTER, P/O PARCEL B
NEW BUILDING, GAS PUMPS & PARKING LOT EXPANSION

TITLE: THE NORMANDY VENTURE LIMITED PARTNERSHIP
SITE DEVELOPMENT PLAN

F-98-33, BA 08-045C, SDP 86-89, SDP 85-205, SDP 84-297, SDP 79-140, SDP 77-15, SDP 72-12

STORMWATER MANAGEMENT PLAN
TAX MAP 18, GRID 19, PARCEL 75, P/O PARCEL B
ELECTION DISTRICT NO. 2 LIBER 2472 FOLIO 662 PLAT M.D.R. NO. 10367
DATE: MARCH 2009 DESIGN BY: WAN DRAWN BY: BPO
HOWARD COUNTY MARYLAND SCALE: AS SHOWN SHEET 6 OF 12

SDP-09-049



OPERATION AND MAINTENANCE SCHEDULE FOR THE UNDERGROUND STORMWATER MANAGEMENT FACILITY

The underground stormwater management facility shall be inspected, cleaned, and maintained periodically to maintain optimal operation and function.

Inspection

The underground SWM facility shall be inspected, at minimum, once a year. The inspection shall include but not limited to:

1. Check inlet, outlet, control structure, and trash rack for obstructions. If obstructions are found, remove immediately.
2. Check both pipe joints and control structure for water tightness (leaks).
3. Check the structural integrity (deflections) of all pipes & structures.
4. Check sediment depth in the structure.

The inspection shall be documented in written log books. The log books shall be retained on site and be made available to Anne Arundel County officials upon request.

Maintenance

The underground SWM facility shall be maintained as needed to provide optimal operation and function.

1. Obstructions - remove immediately upon inspection.
2. Sediment and debris - The facility shall be cleaned if sediment exceeds 6 inches in depth, or if debris prevents the structure from functioning properly.
3. Cracks/Structural Problems - Consult manufacturer for repair services and/or details.

DEVELOPER'S CERTIFICATION

I/We certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I shall engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District.

Signature of Developer: *Brian Darnell* Date: 2-22-10

Brian Darnell
High's of Baltimore Inc.
7477 New Ridge Road
Hanover, MD 20763

ENGINEER'S CERTIFICATION

I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he/she must engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion.

Signature of Developer: *Wayne A. Newton* Date: 2/22/10

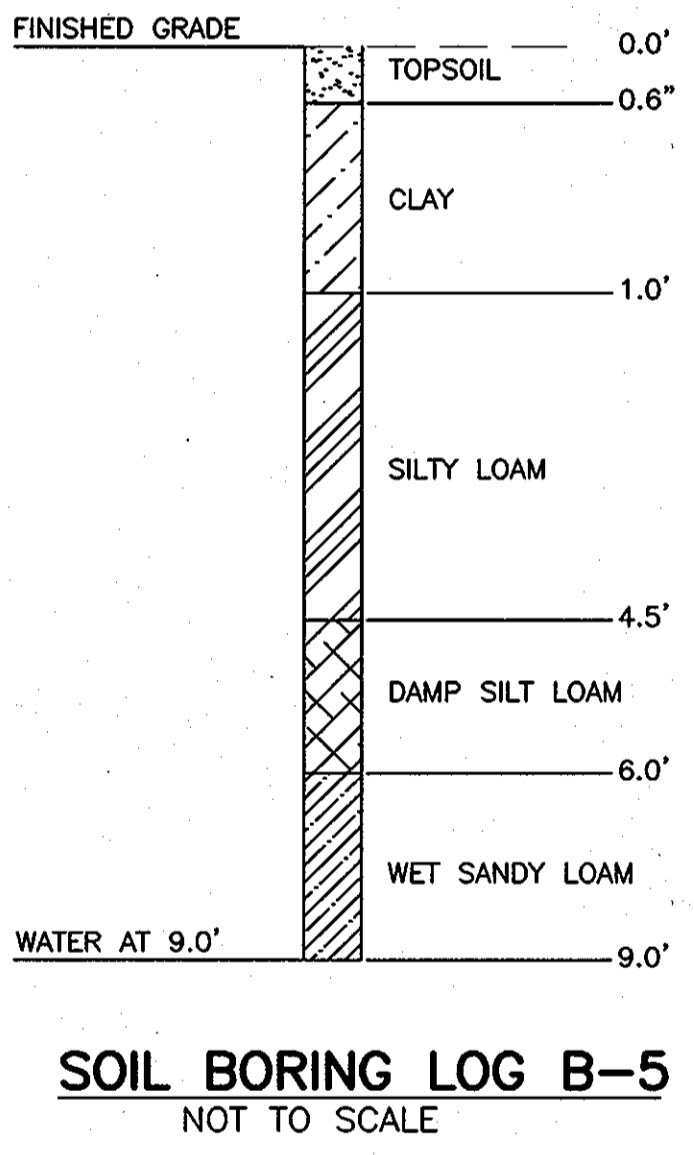
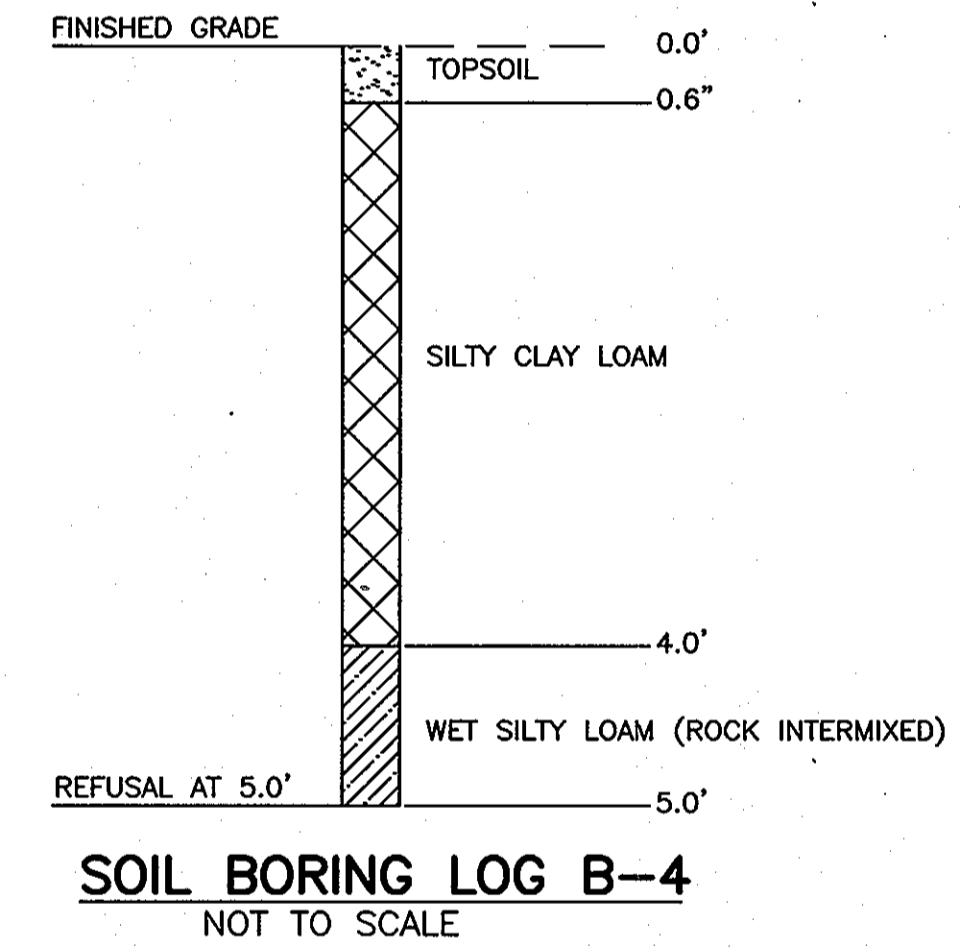
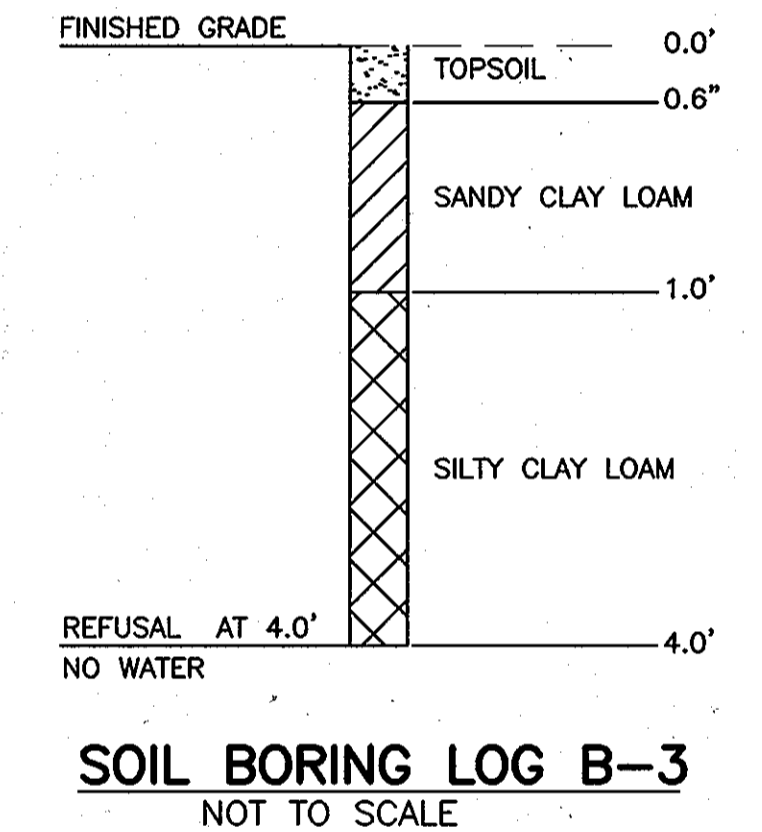
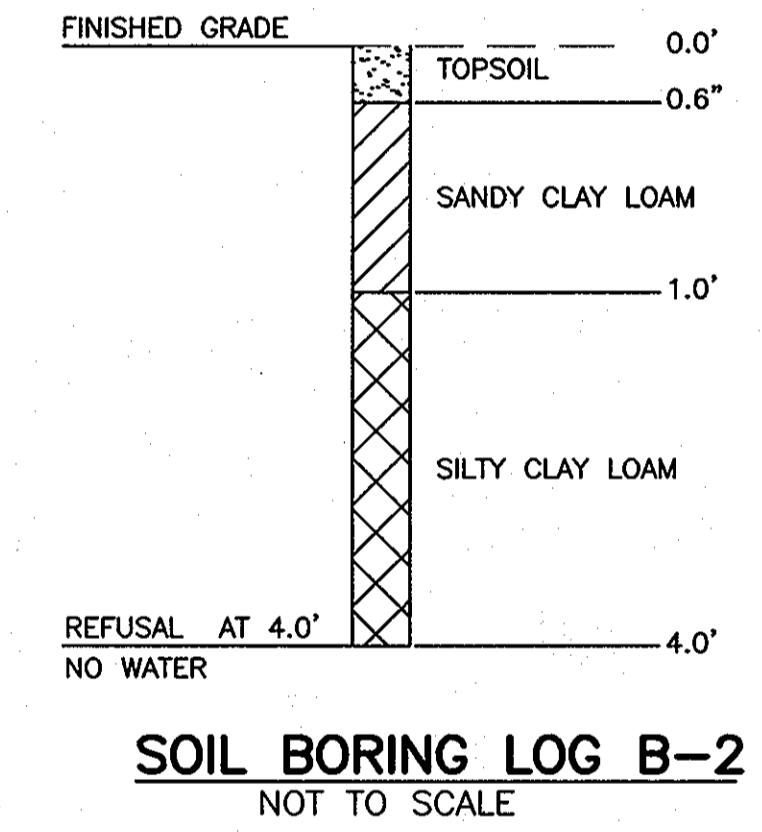
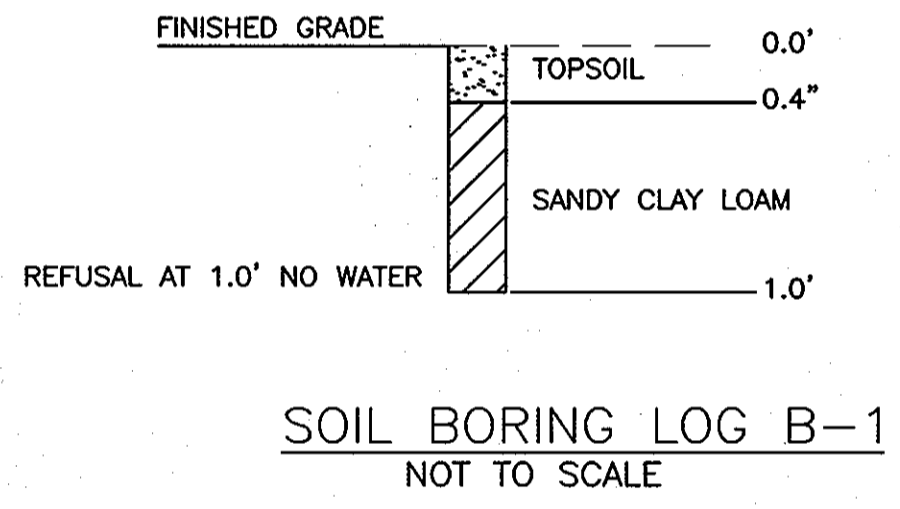
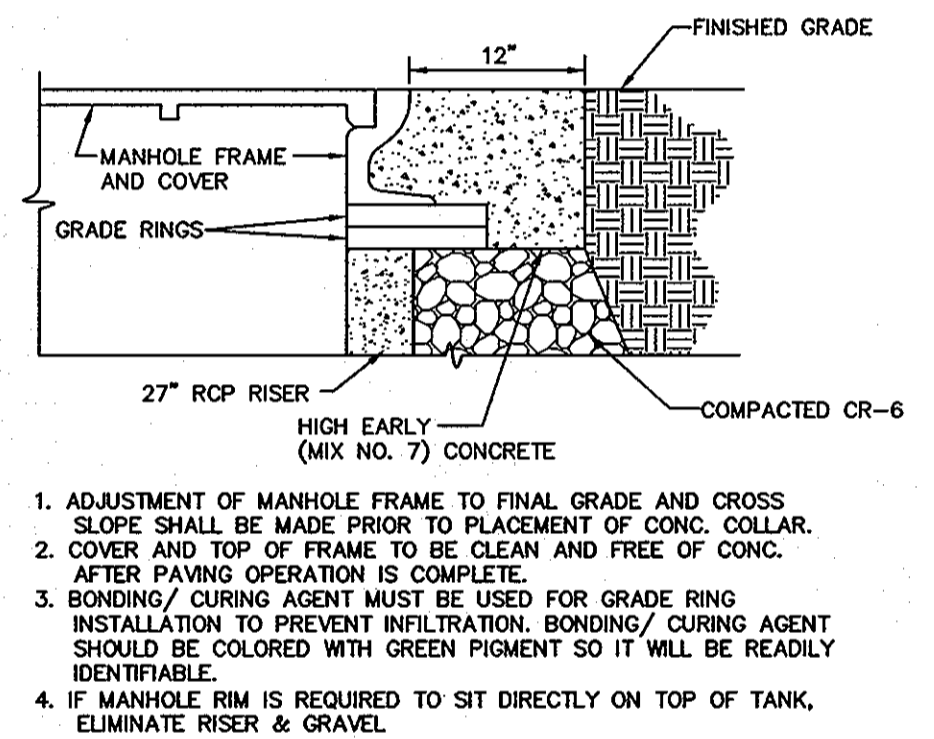
Wayne A. Newton, P.E.
Messick Group, Inc.
T/A Messick & Associates
2120 Renard Court
Annapolis, MD 21401

HOWARD SOIL CONSERVATION DISTRICT CERTIFICATION

These plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.

Signature: *[Signature]* Date: *[Date]*

Howard Soil Conservation District
Conservation Service



DEVELOPER'S CERTIFICATE :

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT & EROSION CONTROL, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT & EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: *Brian Darnell* Date: 2/22/10

DEVELOPER: BRIAN DARNELL (HIGH'S OF BALT. INC.) DATE

ENGINEER'S CERTIFICATE :

I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: *Wayne A. Newton* Date: 2/22/10

ENGINEER: WAYNE A. NEWTON (MESSICK & ASSOC.) DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: *[Signature]* DATE

PERMIT INFORMATION CHART

SUBDIVISION NAME -	SECT./AREA -	PARCEL -
NORMANDY SHOPPING CENTER	N/A	75 PARCEL B
PLAT -	BLOCK # -	ZONING -
10367	19	B-2
TAX MAP NO. -	ELECT. DIST. -	CENSUS TRACT -
18	2nd	6026
WATER CODE -	SEWER CODE -	
PUBLIC	PUBLIC	

ADDRESS CHART

3095 ROGERS AVENUE
ELLCOTT CITY, MD. 21043

PROJECT HIGH'S @ NORMANDY
NORMANDY SHOPPING CENTER, P/O PARCEL B
NEW BUILDING, GAS PUMPS & PARKING LOT EXPANSION

TITLE THE NORMANDY VENTURE LIMITED PARTNERSHIP
SITE DEVELOPMENT PLAN

F-98-33, BA 08-045C, SDP 86-89, SDP 85-205, SDP 84-297, SDP 79-140, SDP 77-15, SDP 72-12

STORMWATER MANAGEMENT NOTES, GREASE TRAP DETAILS

TAX MAP 18, GRID 19, PARCEL 75, P/O PARCEL B
ELECTION DISTRICT NO. 2 LIBER 2472 FOLIO 662 PLAT M.D.R. NO. 10367
DATE: MARCH 2009 DESIGN BY: WAN DRAWN BY: BPO
HOWARD COUNTY MARYLAND SCALE: AS SHOWN SHEET 7 OF 12

APPROVED: DEPARTMENT OF PLANNING AND ZONING

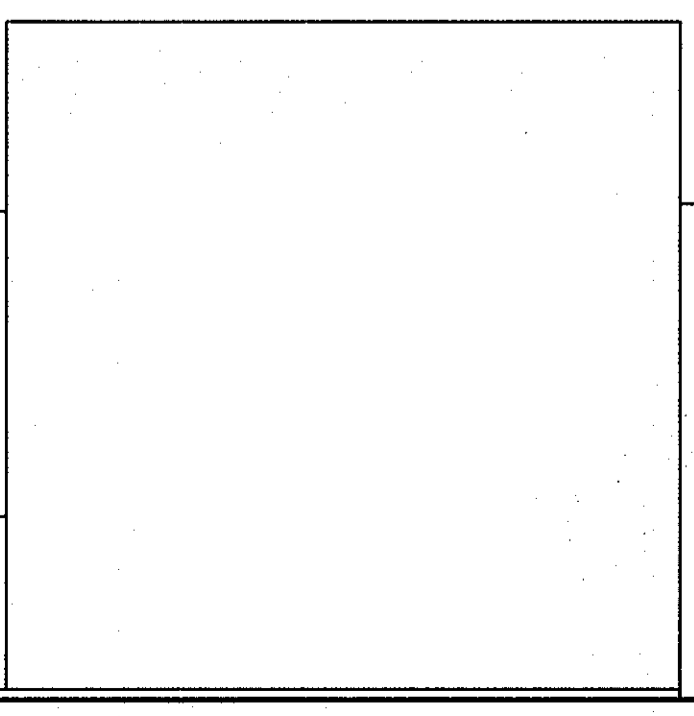
Signature: *[Signature]* Date: 3/12/10

Signature: *[Signature]* Date: 4/12/10

Signature: *[Signature]* Date: 4/12/10

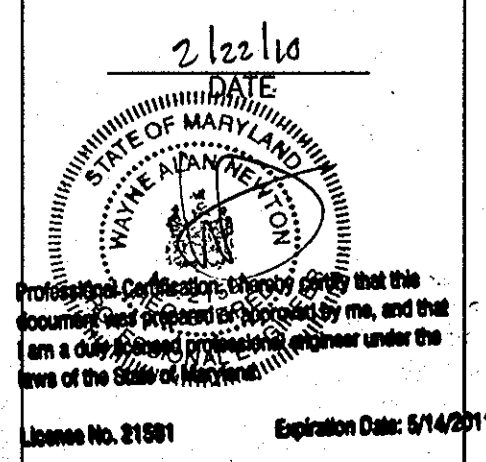
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS

Signature: *[Signature]* Date: 3/26/2010



MESSICK & ASSOCIATES
CONSULTING ENGINEERS
SURVEYORS & PLANNERS

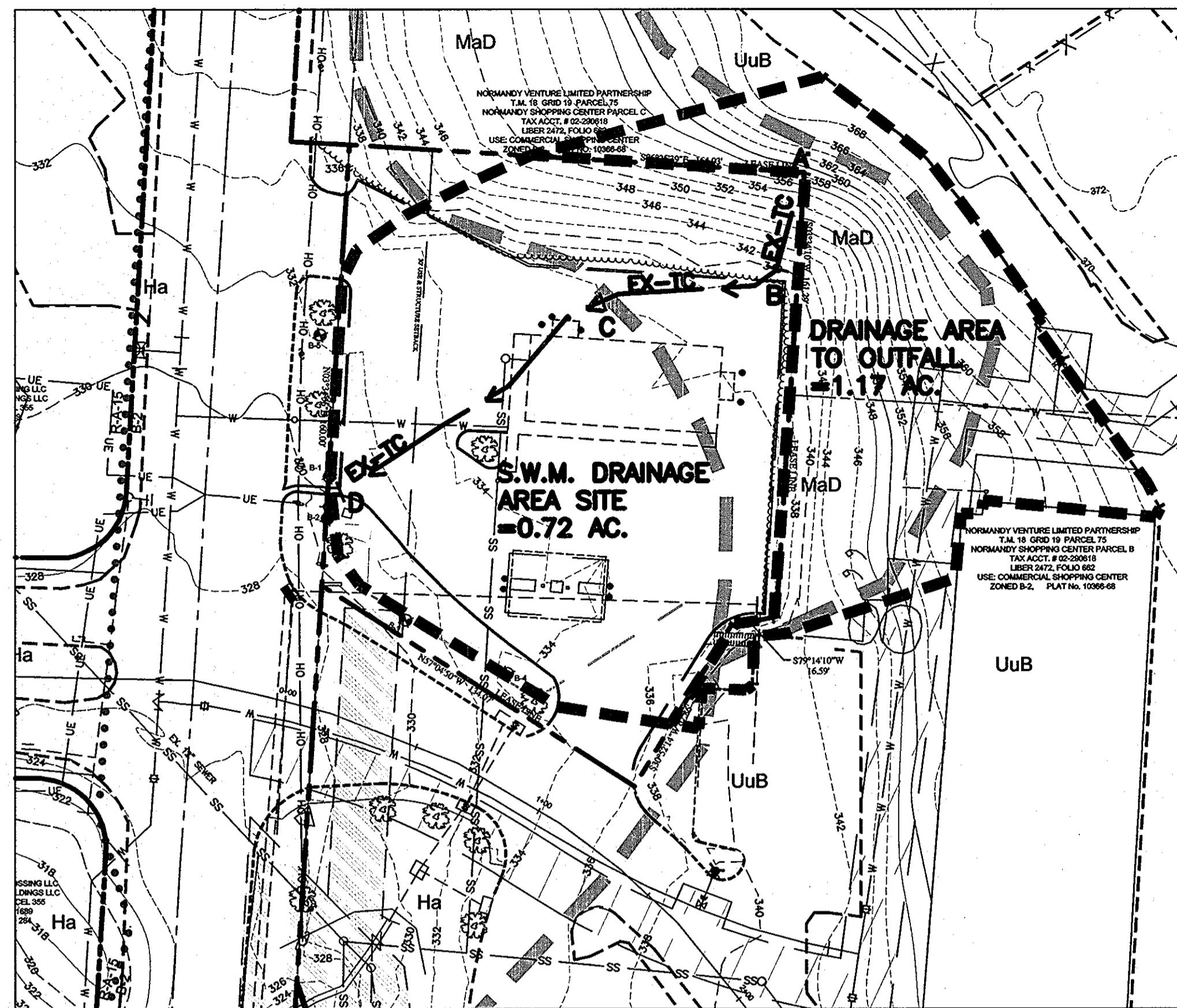
2120 RENARD COURT
ANNAPOLIS, MARYLAND 21401
(410) 266-3212 * FAX (410) 266-3502



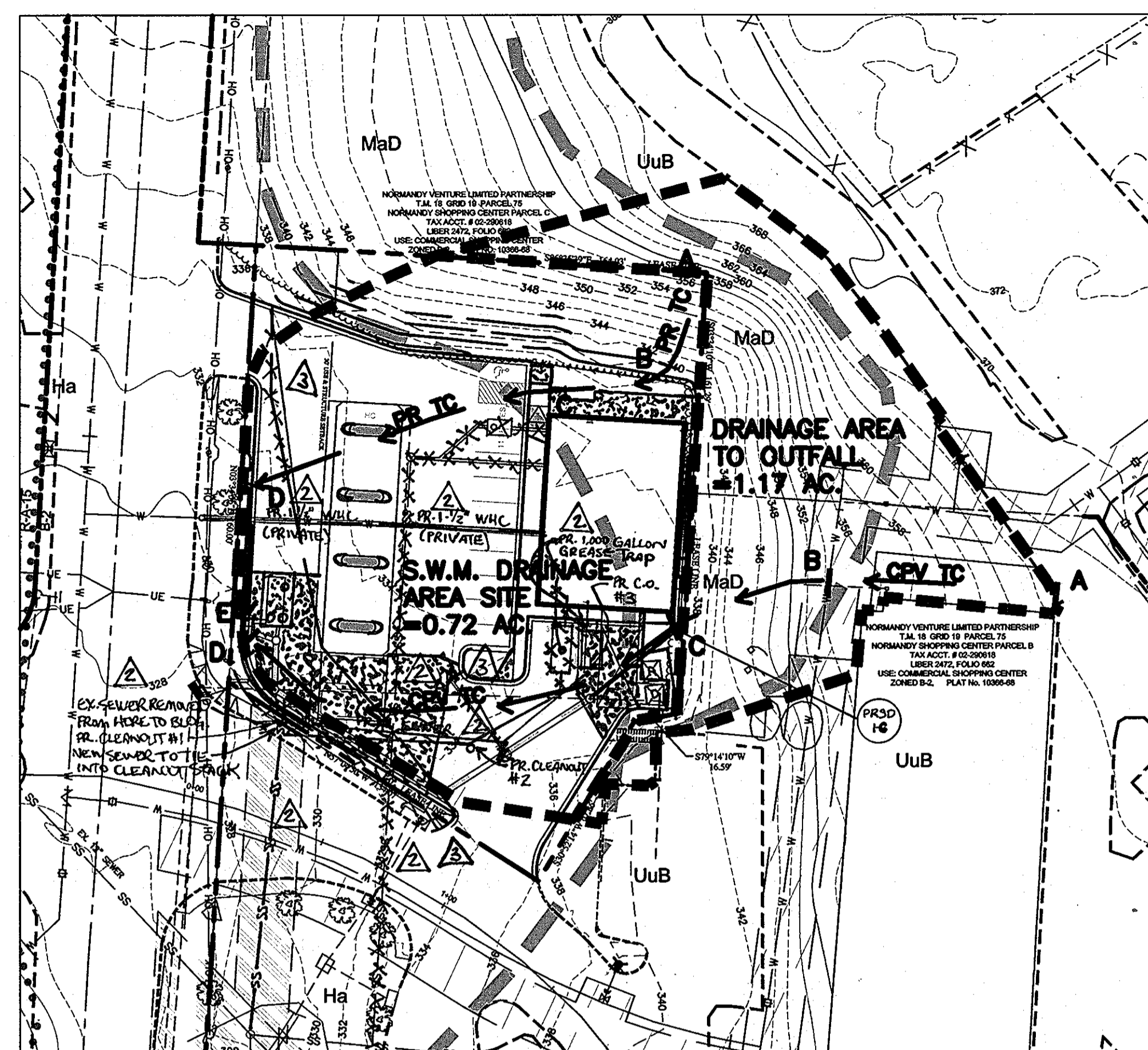
RECORD DRAWING MARCH 2012

OWNER:
THE NORMANDY VENTURE LIMITED PARTNERSHIP
P.O. BOX 1424
ELLCOTT CITY, MD. 21041-1424

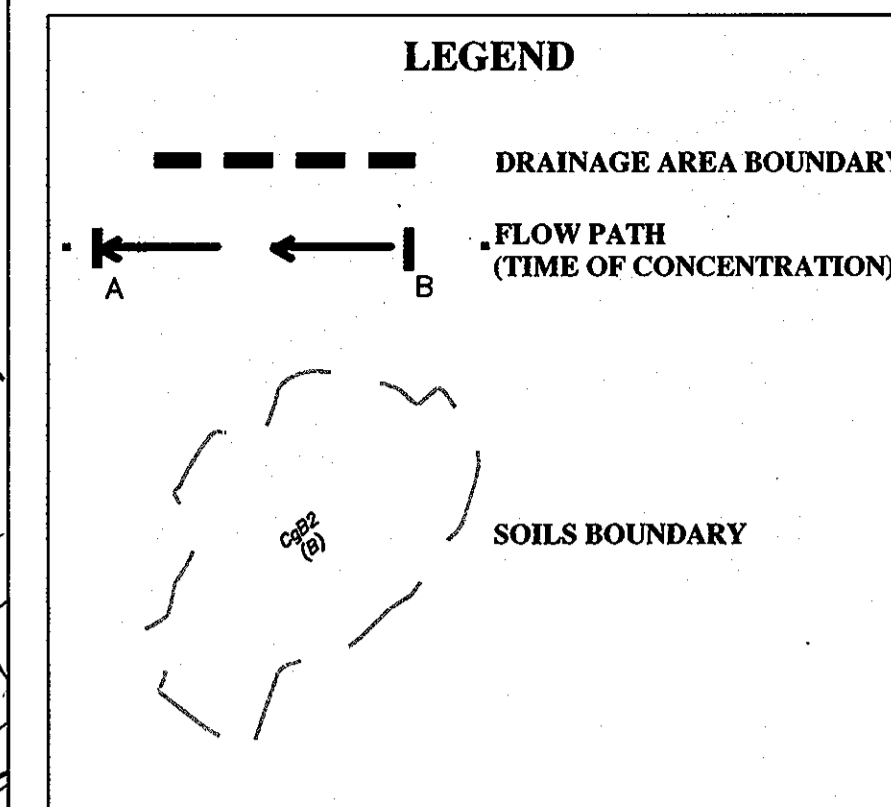
DEVELOPER:
HIGHS OF BALTIMORE INC.
7477 NEW RIDGE ROAD
HANOVER, MARYLAND 20794
410-859-3636



**EXISTING CONDITIONS
DRAINAGE AREA MAP**
SCALE: 1" = 40'



**SITE
DRAINAGE AREA MAP**
SCALE: 1" = 200'



	EXIST	PROP
TOTAL AREA (ACRES)	0.72	0.72
RUNOFF CURVE NUMBER	92	92
TIME OF CONCENTRATION	0.11	0.14

SOIL ID	NAME	HYDROLOGIC GROUP
Ha	HATBORO-CODORUS SILT LOAM (0-3% SLOPE)	D
MIB2	MANOR LOAM (3-8% SLOPE)	B
MIC2	MANOR LOAM (8-15% SLOPE)	B

TC PATHS

EXISTING

- A-B = 35' SHEET FLOW @ 51%
- B-C = 60' SHALLOW CONC. FLOW @ 3.3%
- C-D = 130' SHALLOW CONC. FLOW @ 3.85%

PROPOSED

- A-B = 35' SHEET FLOW @ 51%
- B-C = 45' SHALLOW CONC. FLOW @ 2%
- C-D = 100' SHALLOW CONC. FLOW @ 2.3%
- D-E = 55' CHANNEL FLOW @ 1%

PROPOSED CPV

- A-B = 85' SHEET FLOW @ 14%
- B-C = 55' SHALLOW CONC. FLOW @ 36%
- C-D = 180' SHALLOW CONC. FLOW @ 2.3%

REVISIONS

#1 Relocated Bldg, Revised Dumpster & Added Inlet
9/15/10 WJ (WAN)

DATE	#	REVISION DESCRIPTION
8/15/11	3	REMOVED SIDEWALK ALONG NORMANDY CENTER DR. ADDED STORM DRAIN, REVISED SITE GARDENS TO MEET AS-BUILT FLOOR ELEV.

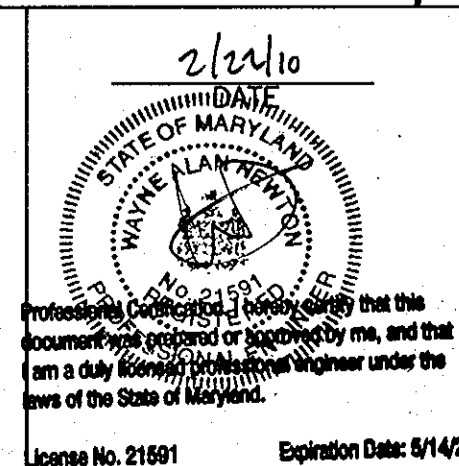
DATE	#	REVISION DESCRIPTION
6/27/11	2	RELOCATED SEWER CONNECTIONS TO MATCH EXISTING FIELD CONDITIONS & SHOW REPLACEMENT OF W.H.C.
9/15/10	1	RELOCATE BUILDING, REVISED DUMPSTER WITH 2' HIGH RETAIN. WALL, ADDED INLET

REVISED SDP 8/15/11
REVISED SDP 6/27/11
REVISED SDP 9/15/10

RECORD DRAWING MARCH 2012

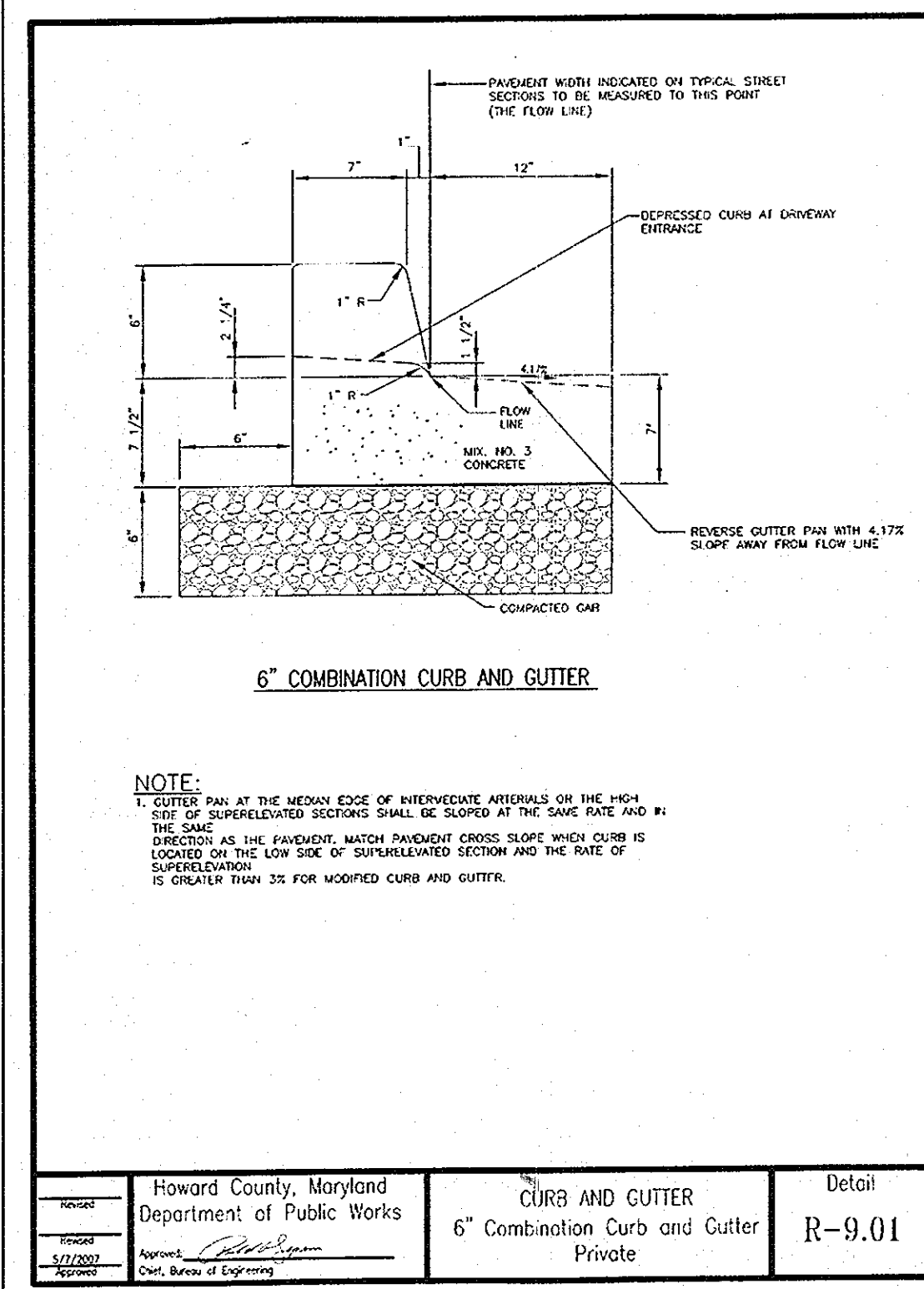
APPROVED: DEPARTMENT OF PLANNING AND ZONING
 [Signature] 3/12/10
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] 4-12-10
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] 4/12/10
 DIRECTOR
 APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 [Signature] 3/26/2010
 COUNTY HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT

MESSICK & ASSOCIATES
 CONSULTING ENGINEERS
 SURVEYORS & PLANNERS
 2120 RENARD COURT
 ANNAPOLIS, MARYLAND 21401
 (410) 266-3212 * FAX (410) 266-3502

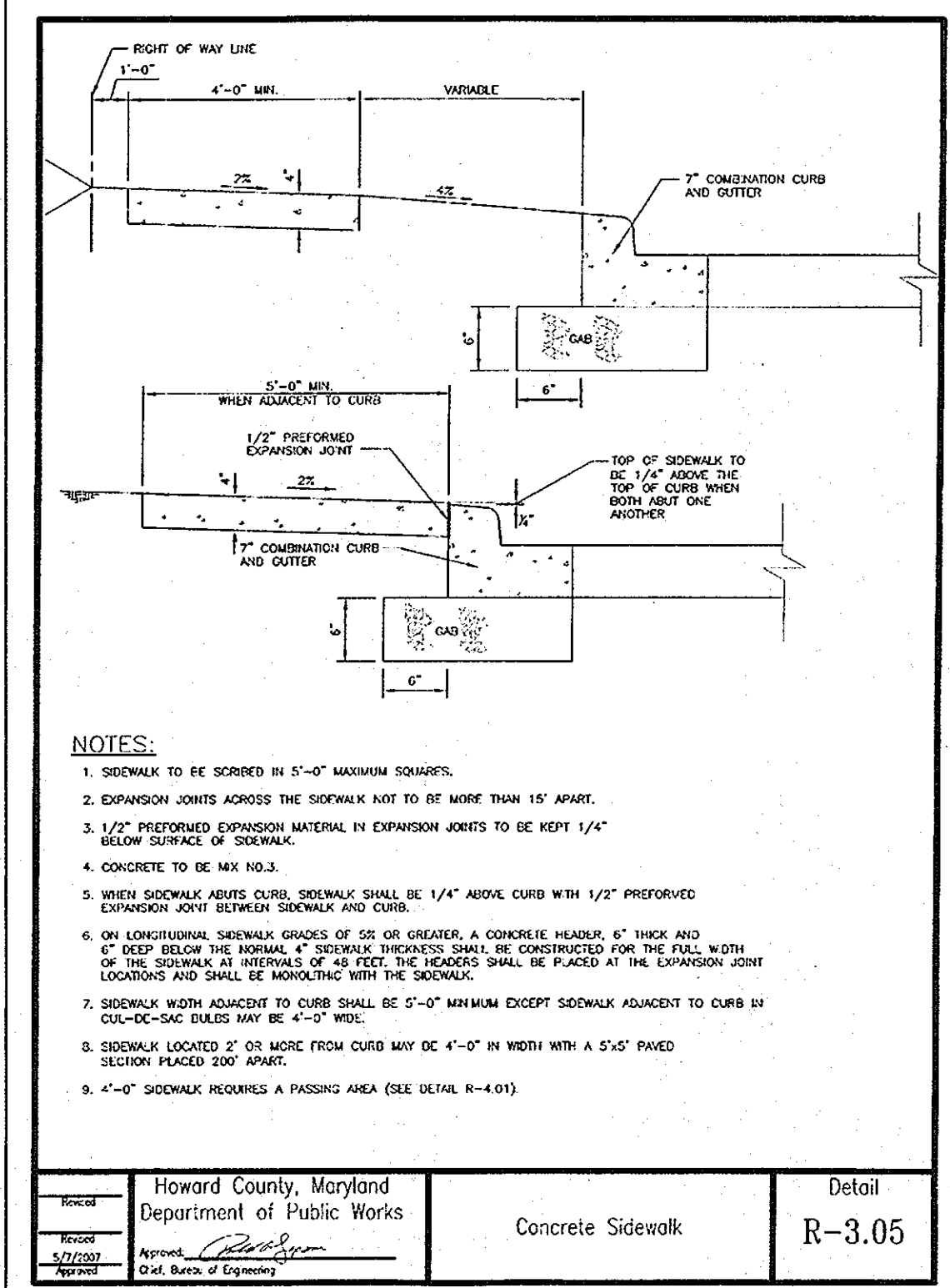


OWNER:
 THE NORMANDY VENTURE LIMITED PARTNERSHIP
 P.O. BOX 1424
 ELLICOTT CITY, MD. 21041-1424
 DEVELOPER:
 HIGHS OF BALTIMORE INC.
 7477 NEW RIDGE ROAD
 HANOVER, MARYLAND 20794
 410-859-3636

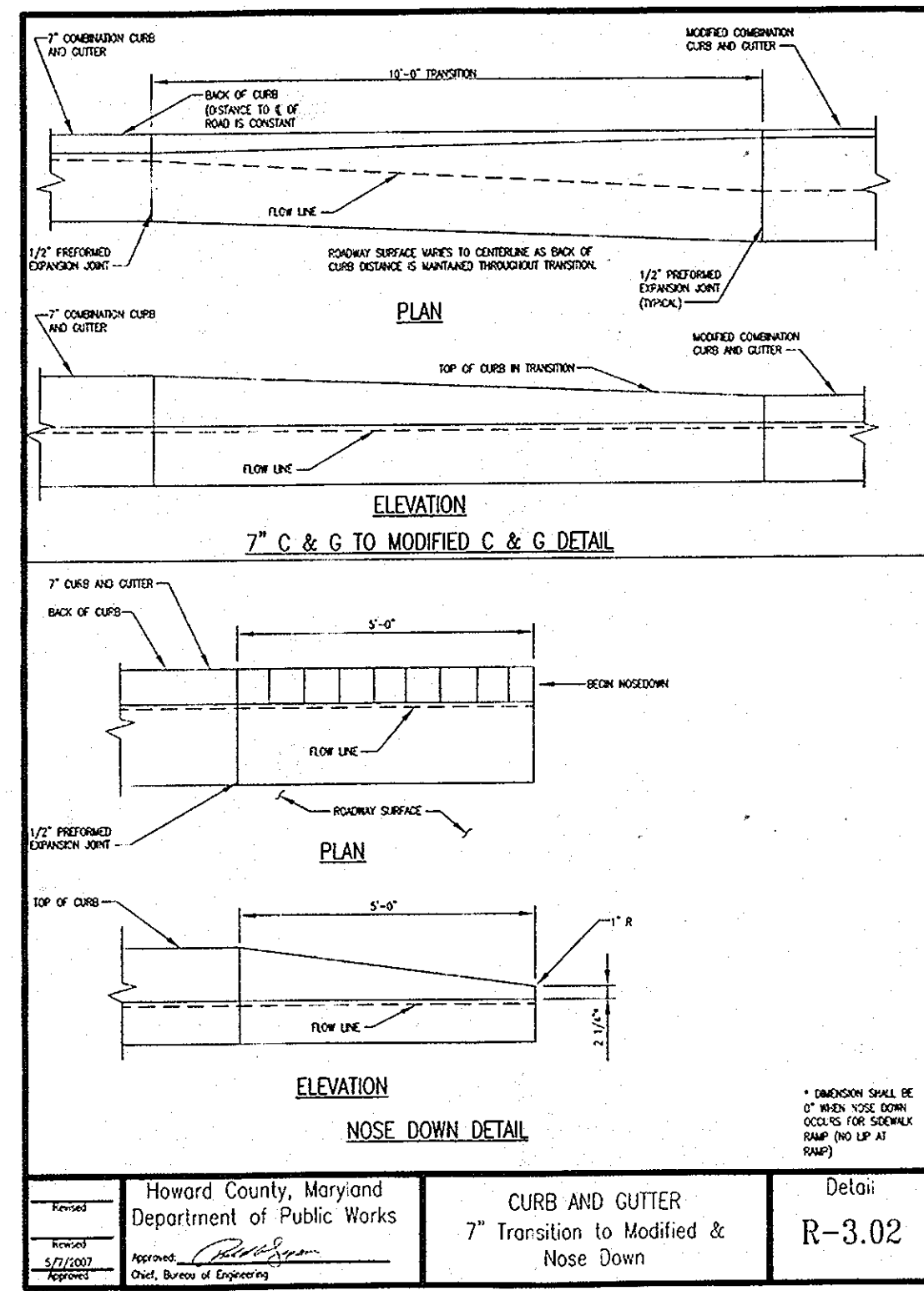
PROJECT: **HIGHS @ NORMANDY**
 NORMANDY SHOPPING CENTER, P/O PARCEL B
 NEW BUILDING, GAS PUMPS & PARKING LOT EXPANSION
 TITLE: **THE NORMANDY VENTURE LIMITED PARTNERSHIP**
 SITE DEVELOPMENT PLAN
 F-88-33, BA 08-045C, SDP 88-89, SDP 85-205, SDP 84-297, SDP 79-140, SDP 77-15, SDP 72-12
STORMWATER MANAGEMENT DRAINAGE AREA MAPS
 TAX MAP 18, GRID 19, PARCEL 75, P/O PARCEL B
 ELECTION DISTRICT NO. 2 LIBER 2472 FOLIO 662 PLAT M.D.R. NO. 10367
 DATE: MARCH 2009 DESIGN BY: WAN DRAWN BY: BPO
 HOWARD COUNTY MARYLAND SCALE: AS SHOWN SHEET 8 OF 12
SDP-09-04A



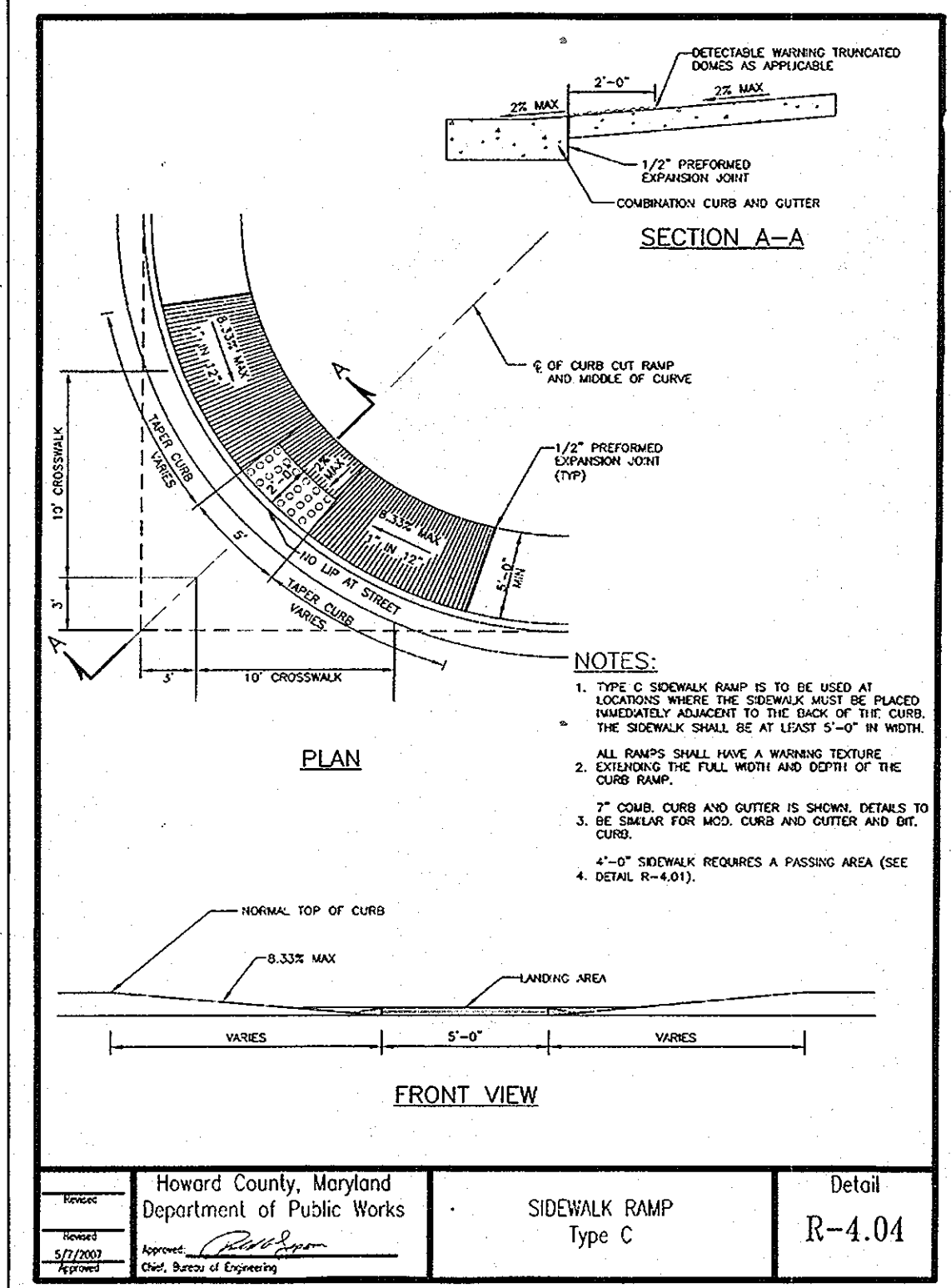
Howard County, Maryland Department of Public Works
 CURB AND GUTTER
 6" Combination Curb and Gutter
 Private
 Detail
 R-9.01



Howard County, Maryland Department of Public Works
 Concrete Sidewalk
 Detail
 R-3.05



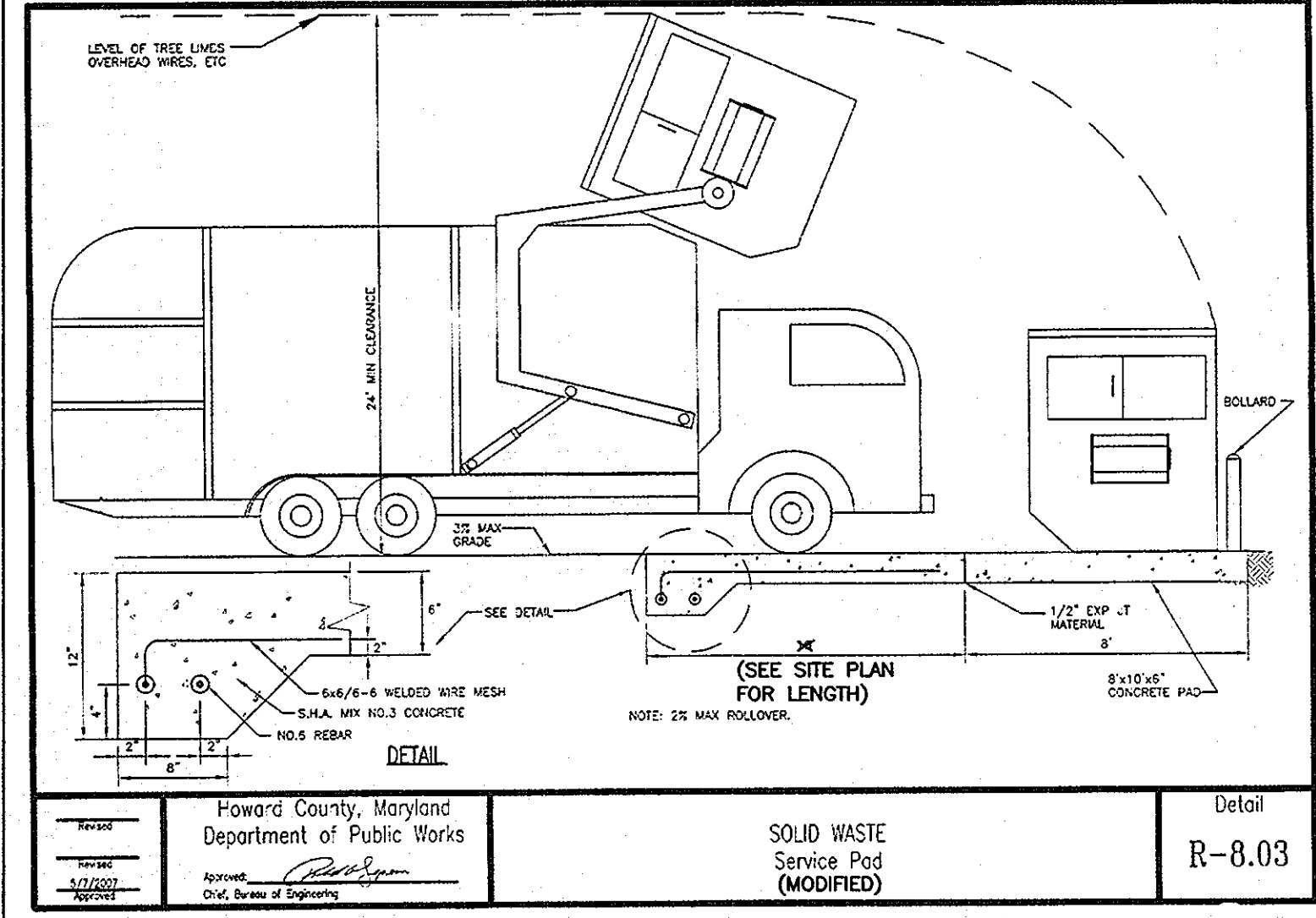
Howard County, Maryland Department of Public Works
 CURB AND GUTTER
 7" Transition to Modified & Nose Down
 Detail
 R-3.02



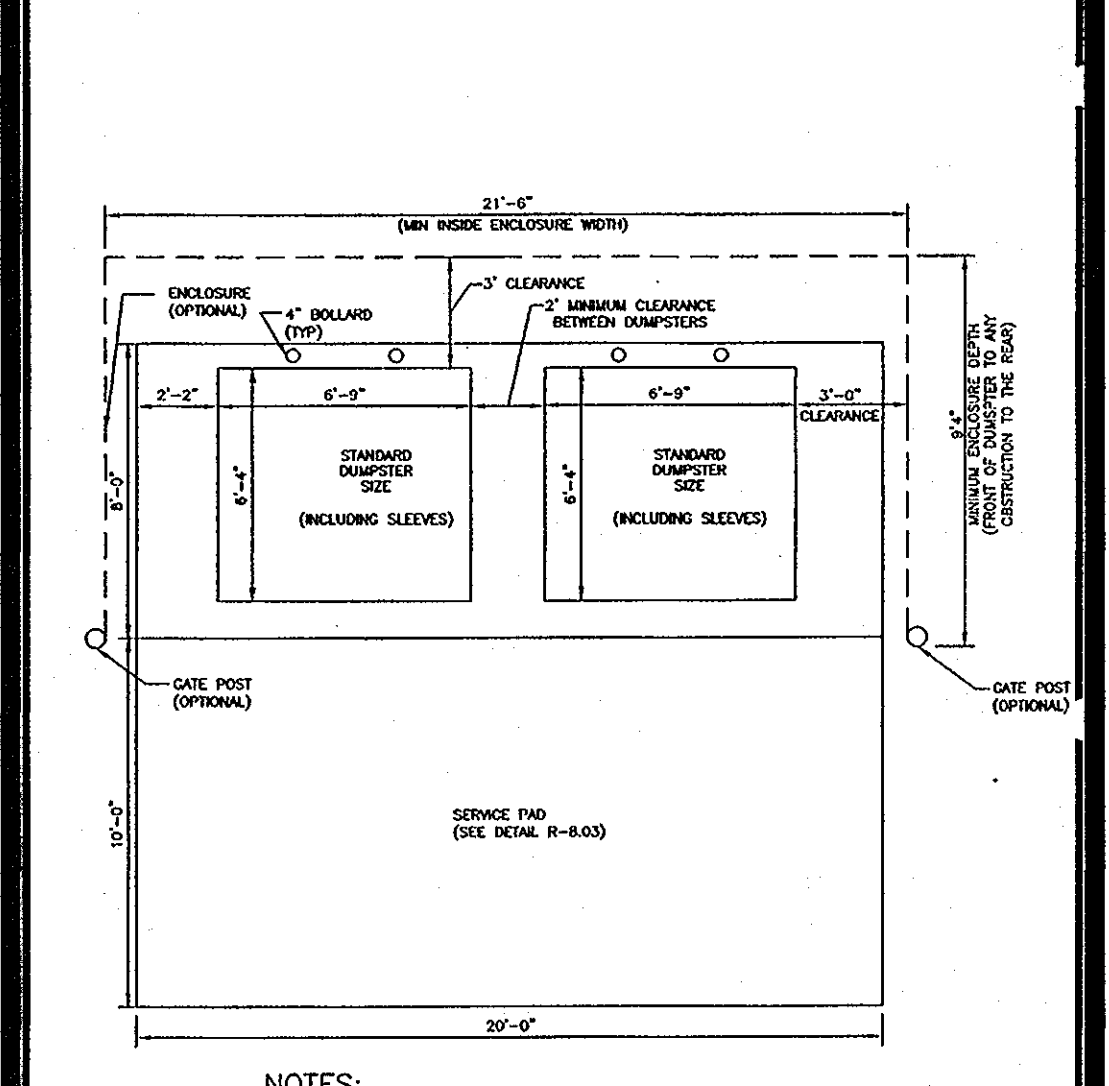
Howard County, Maryland Department of Public Works
 SIDEWALK RAMP
 Type C
 Detail
 R-4.04

SECTION NUMBER	ROAD AND STREET CLASSIFICATION	CALIFORNIA BEARING RATIO (CBR)					
		3 TO <5	5 TO <7	7 TO <9	9 TO <12	12 TO <15	15 TO <20
P-1	PARKING DRIVE ASSESS: RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 2 HEAVY TRUCKS PER DAY	PAVEMENT MATERIAL (INCHES)					
		MIN. HMA WITH GAB	1.5	1.5	1.5	1.5	1.5
		MIN. HMA WITH CONSTANT GAB	1.5	1.5	1.5	1.5	1.5
P-2	PARKING DRIVE ASSESS: RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 10 HEAVY TRUCKS PER DAY	PAVEMENT MATERIAL (INCHES)					
		MIN. HMA WITH GAB	1.5	1.5	1.5	1.5	1.5
		MIN. HMA WITH CONSTANT GAB	1.5	1.5	1.5	1.5	1.5
P-3	PARKING DRIVE ASSESS: LOCAL ROAD, ACCESS PLACE, ACCESS STREET	PAVEMENT MATERIAL (INCHES)					
		MIN. HMA WITH GAB	1.5	1.5	1.5	1.5	1.5
		MIN. HMA WITH CONSTANT GAB	1.5	1.5	1.5	1.5	1.5
P-4	ARMS: MAJOR COLLECTORS	PAVEMENT MATERIAL (INCHES)					
		MIN. HMA WITH GAB	1.5	1.5	1.5	1.5	1.5
		MIN. HMA WITH CONSTANT GAB	1.5	1.5	1.5	1.5	1.5

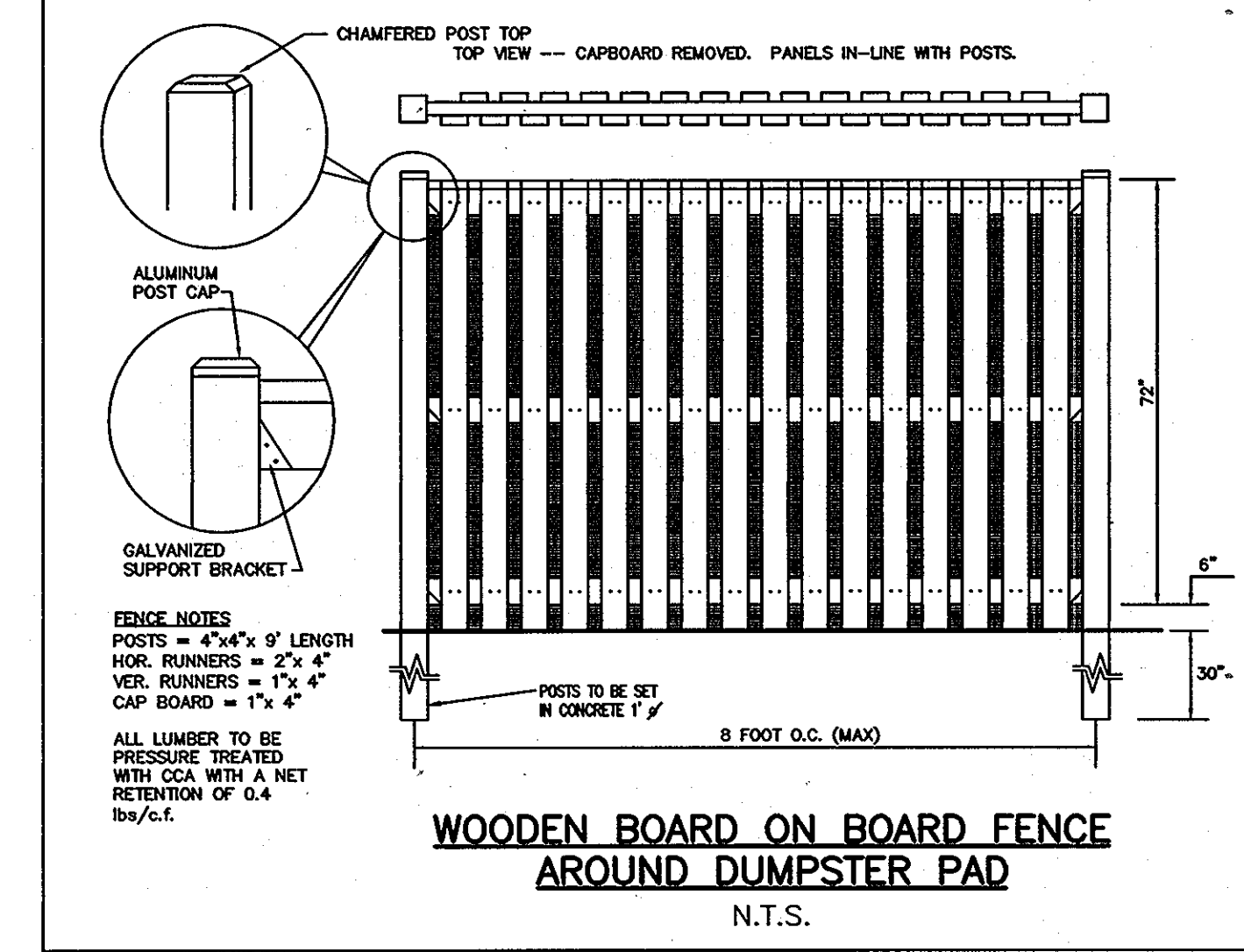
Howard County, Maryland Department of Public Works
 PAVING SECTIONS
 P-1 to P-4
 Detail
 R-2.01



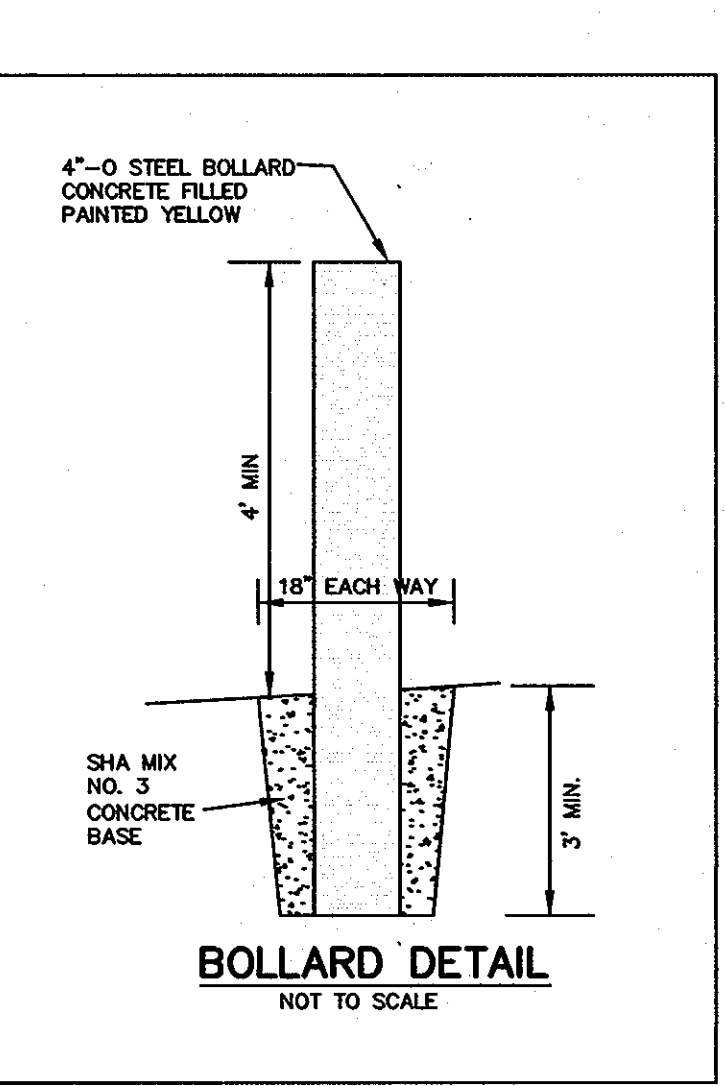
Howard County, Maryland Department of Public Works
 SOLID WASTE Service Pad (MODIFIED)
 Detail
 R-8.03



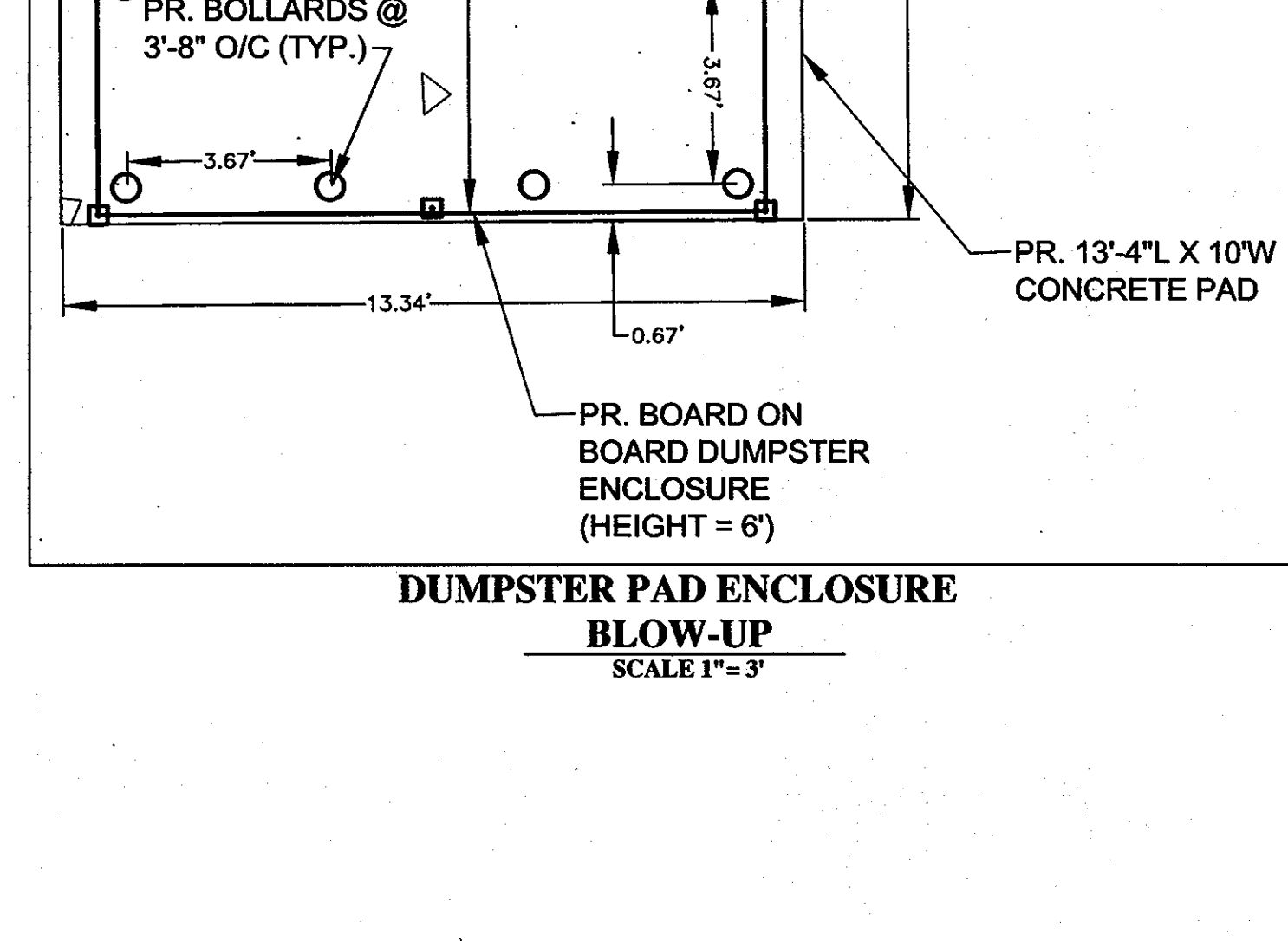
Howard County, Maryland Department of Public Works
 SOLID WASTE Double Container Enclosure 2 Gate System
 Detail
 R-8.05



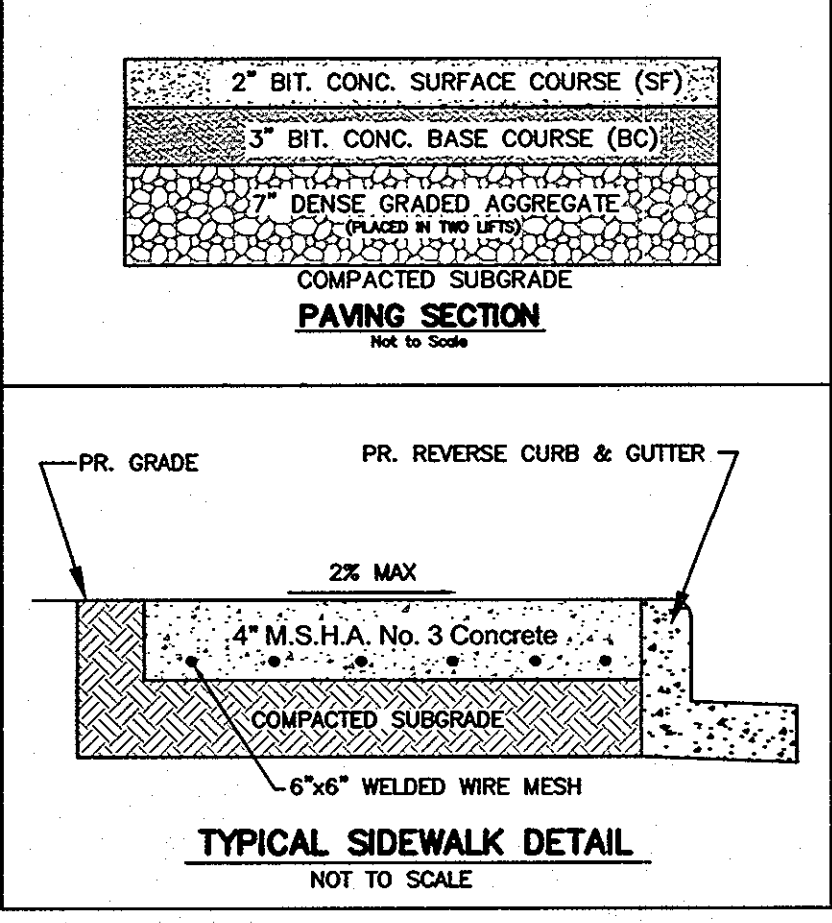
WOODEN BOARD ON BOARD FENCE AROUND DUMPSTER PAD
 N.T.S.



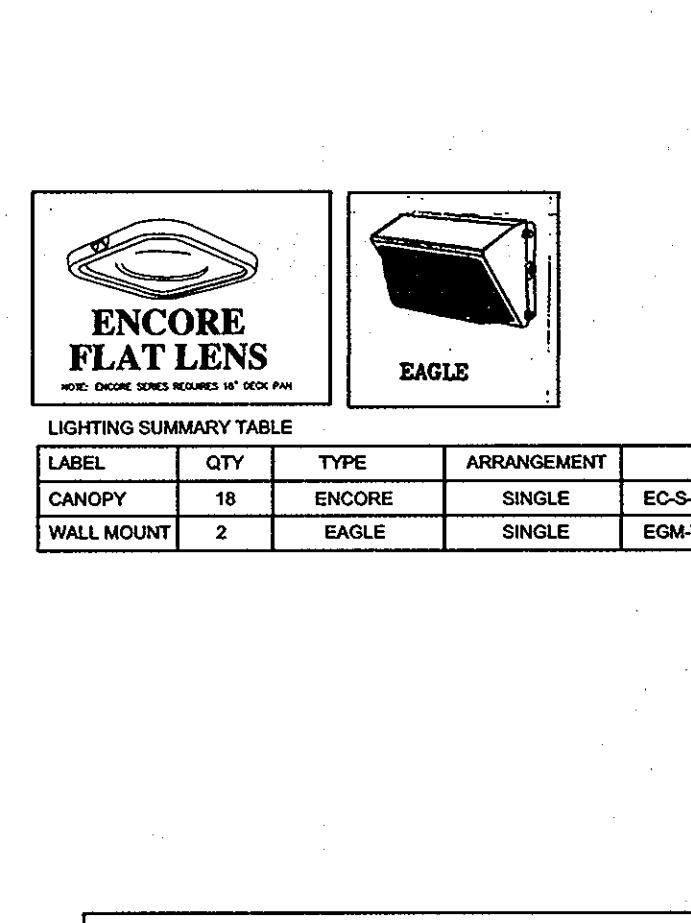
BOLLARD DETAIL
 NOT TO SCALE



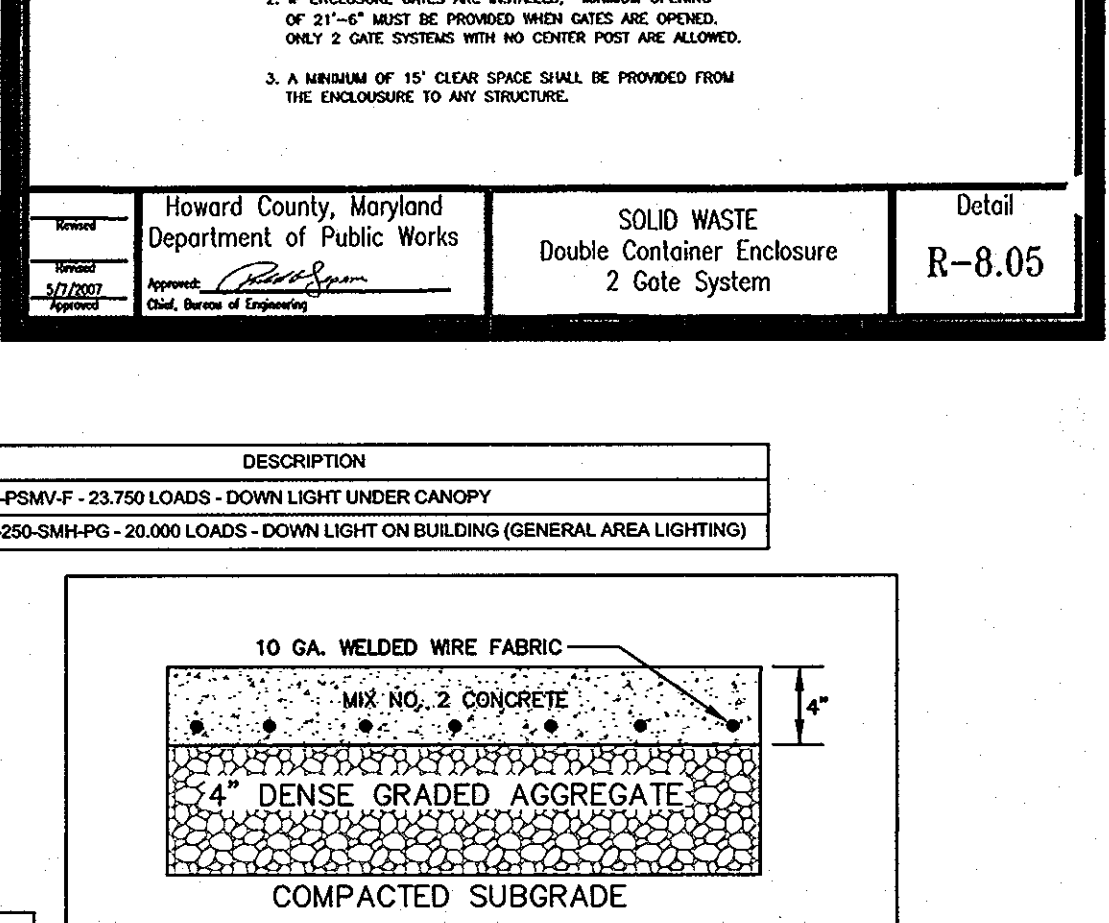
DUMPSTER PAD ENCLOSURE BLOW-UP
 SCALE 1"=3'



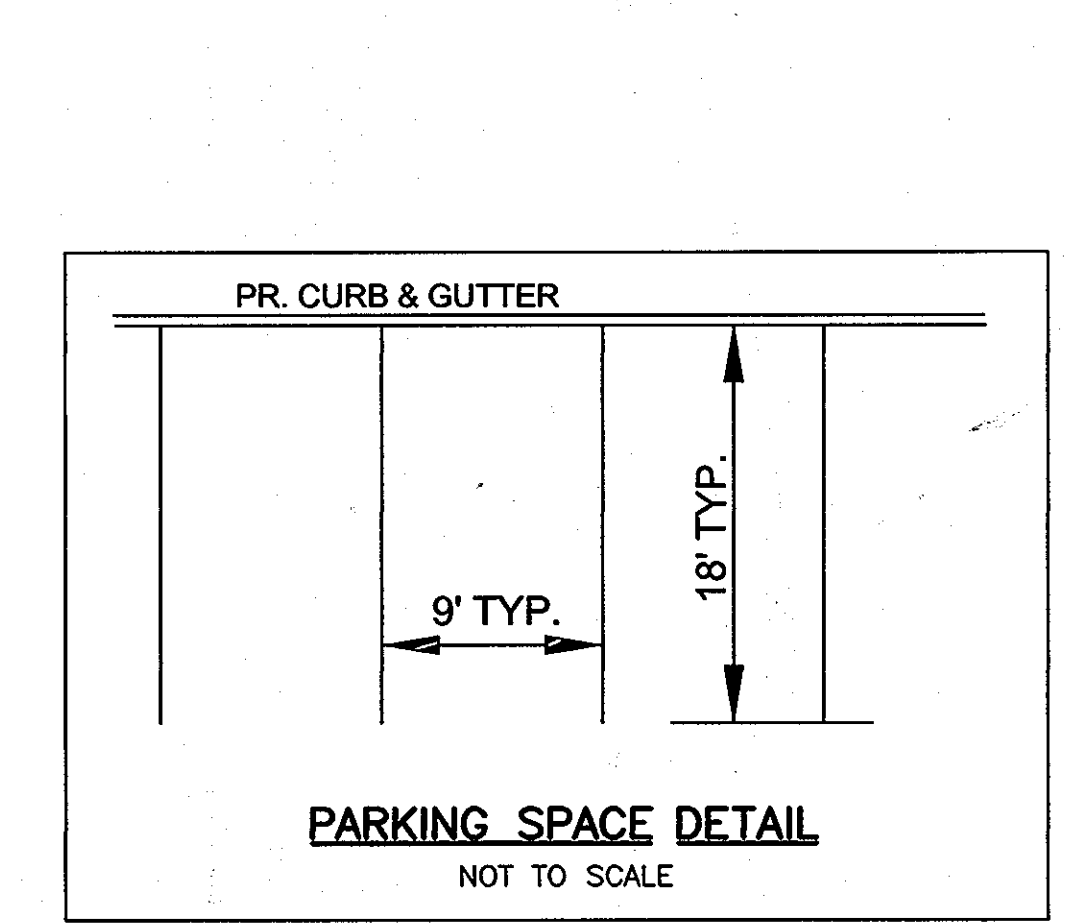
TYPICAL SIDEWALK DETAIL
 NOT TO SCALE



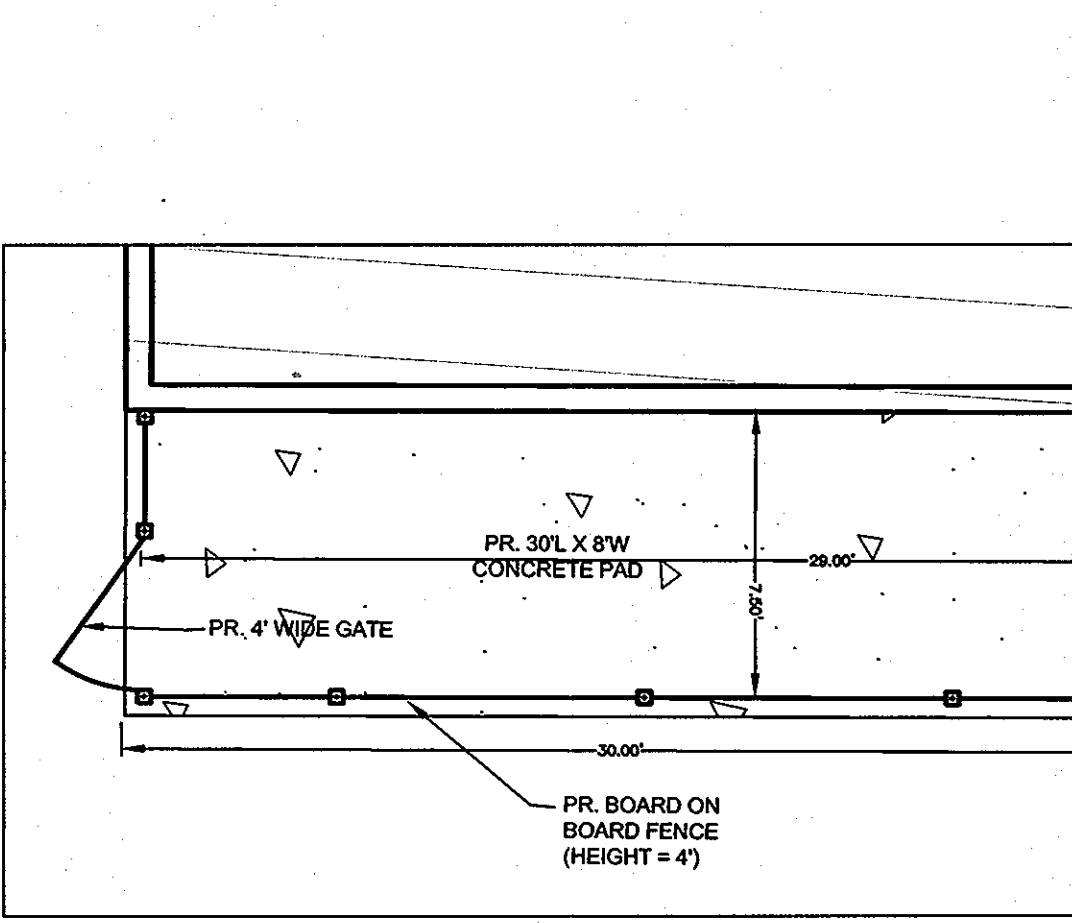
ENCORE FLAT LENS
 EAGLE



CONCRETE PAD SECTION FOR MECHANICAL (HVAC SYSTEMS)
 NOT TO SCALE



PARKING SPACE DETAIL
 NOT TO SCALE



HVAC SYSTEM ENCLOSURE BLOW-UP
 SCALE 1"=5'

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 DATE: 9/20/10
 DATE: 10/27/10
 DATE: 10/27/10
 DATE: 10/14/2010
 DATE: 10/14/2010

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 DATE: 10/14/2010

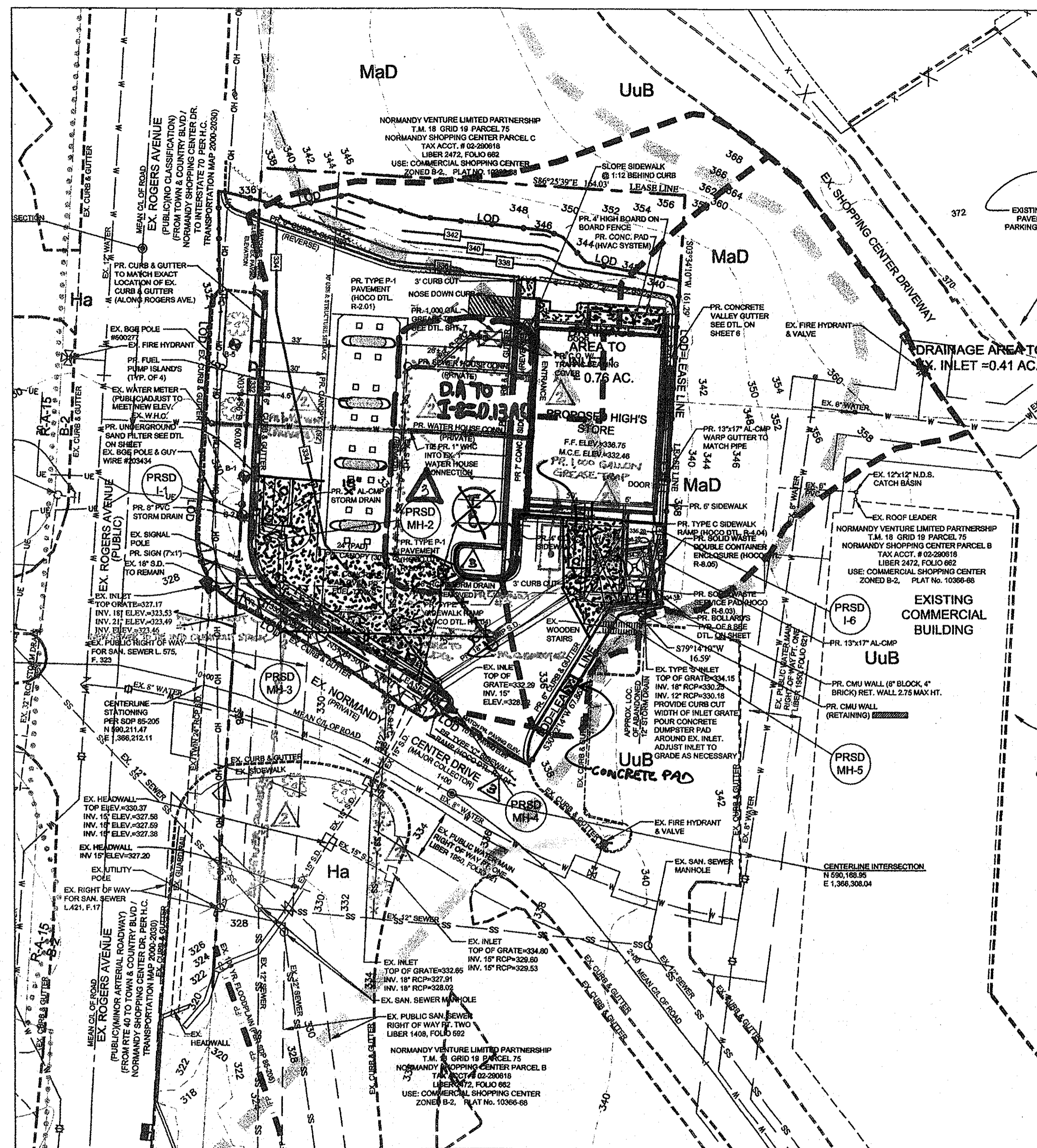
RECORD DRAWING
 MARCH 2012
 MESSICK & ASSOCIATES
 CONSULTING ENGINEERS
 SURVEYORS & PLANNERS
 2120 RENARD COURT
 ANNAPOLIS, MARYLAND 21401
 (410) 266-3212 * FAX (410) 266-3502

OWNER: THE NORMANDY VENTURE LIMITED PARTNESHIP
 P.O. BOX 1424
 ELLICOTT CITY, MD. 21041-1424
 DEVELOPER: HIGHS OF BALTIMORE INC.
 7477 NEW RIDGE ROAD
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PROJECT: HIGH'S @ NORMANDY
 NORMANDY SHOPPING CENTER, P/O PARCEL B
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 F-98-33, BA 08-045C, SDP 86-89, SDP 85-205, SDP 84-297, SDP 79-140, SDP 77-15, SDP 72-12
 DATE: 9/15/10
 ENGINEER: WAYNE A. NEWTON (MESSICK & ASSOC.) DATE: 9/15/10
 HOWARD SOIL CONSERVATION DISTRICT DATE: 9/15/10

DEVELOPERS CERTIFICATE:
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 DATE: 9/15/10
 ENGINEER: WAYNE A. NEWTON (MESSICK & ASSOC.) DATE: 9/15/10
 HOWARD SOIL CONSERVATION DISTRICT DATE: 9/15/10

SITE DETAILS
 TAX MAP 18, GRID 19, PARCEL 75, P/O PARCEL B
 ELECTION DISTRICT NO. 2 LIBER 2472 FOLIO 662 PLAT M.D.R. NO. 10367
 DATE: MARCH 2009 DESIGN BY: MAN DRAWN BY: BPO
 HOWARD COUNTY MARYLAND SCALE: AS SHOWN SHEET 9 OF 12
 SDP-09-049



STORM DRAIN DRAINAGE AREA MAP

SCALE: 1"=30'

PIPE SCHEDULE

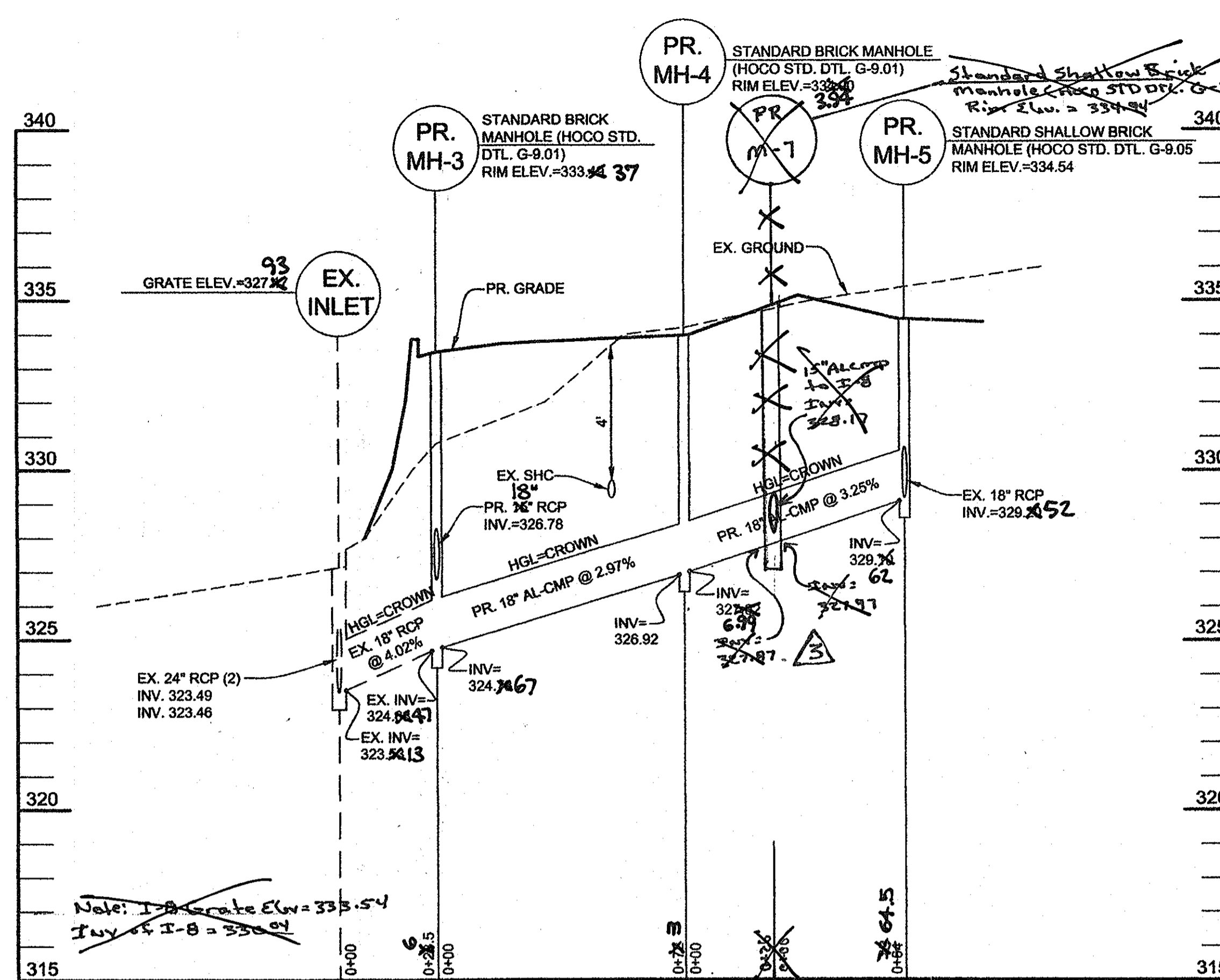
SIZE	TYPE	LENGTH
8"	PVC	8'
15"	AL-CMP	65'
18"	AL-CMP	136'

SOILS TABLE

Soil Type	Description
Ha	Hatboro-Codorus silt loams, 0 to 3% slopes
MaD	Manor loam, 15 to 25% slopes

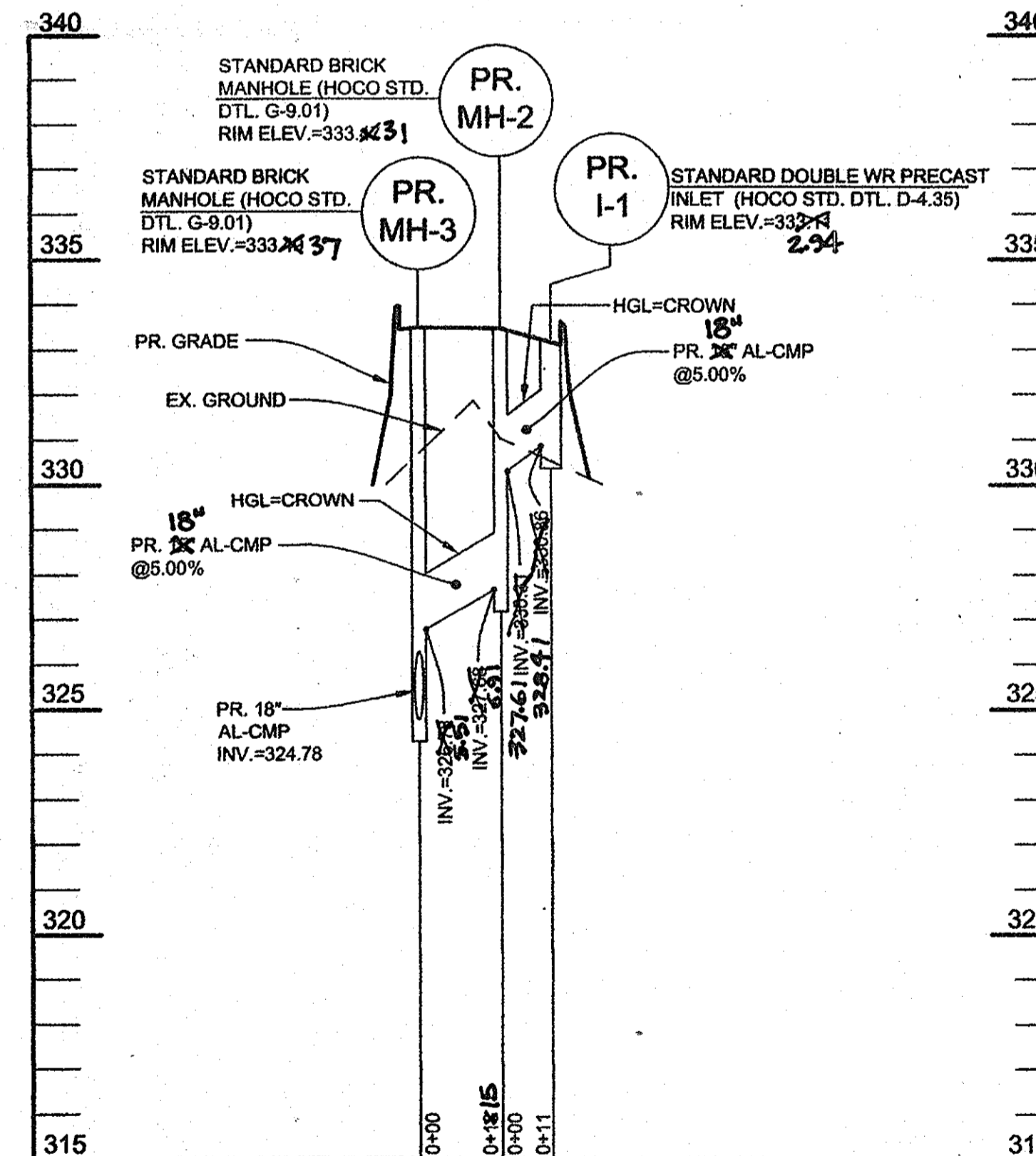
STORM DRAIN DRAINAGE AREA CHART

DRAINAGE AREA	AREA (AC)	% IMPERV.	WEIGHTED "C"
AREA TO EX. I	0.41	32%	0.49
AREA TO PR. I-1	0.63	80%	0.78
AREA TO PR. I-8	0.13	100%	0.90



STORM DRAIN PROFILE

SCALE: 1"=30' HORIZ, 1"=3' VERT

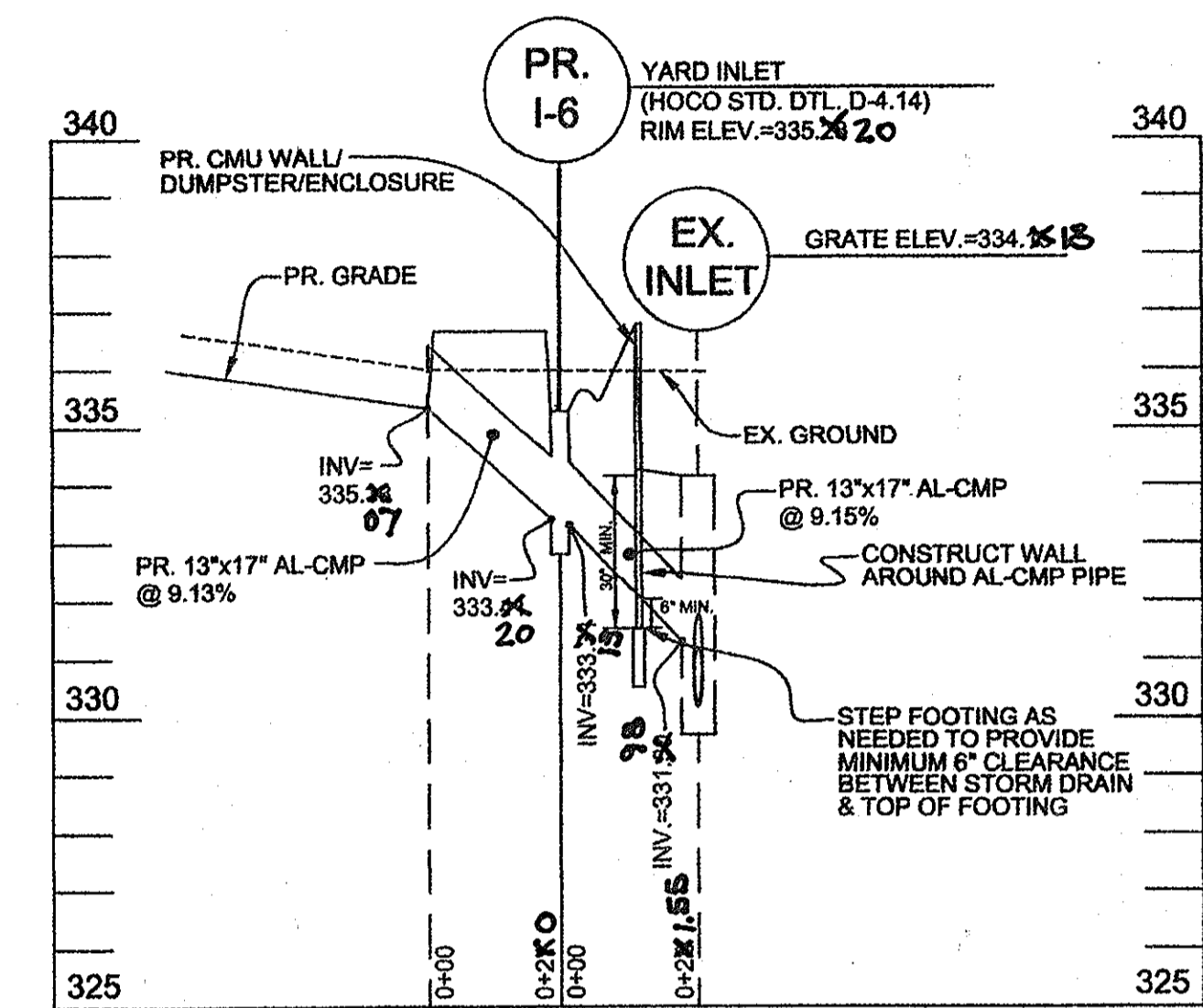


STORM DRAIN PROFILE

SCALE: 1"=30' HORIZ, 1"=3' VERT

STORM DRAIN STRUCTURE SCHEDULE

STRUCTURE ID	STRUCTURE TYPE	TOP ELEVATION	INVERTS	LOCATION (COORDINATES)	DETAIL REFERENCE	
1	DOUBLE WR INLET	333.11	330.86	590273.82	1368232.22 D-4.35	
2	MANHOLE	333.47	330.31	327.88	590268.84	1368242.53 G-9.01
3	MANHOLE	334.00	328.78	324.78	590250.77	1368241.86 G-9.01
4	MANHOLE	334.00	327.02	328.82	590212.34	1368302.54 G-9.01
5	MANHOLE	334.54	329.10	329.10	590247.19	1368356.54 G-9.01
6	MANHOLE	338.00	333.55	333.45	590272.03	1368388.81 G-9.01
7	MANHOLE	334.94	328.17	327.87	590227.46	1368325.96 G-9.05
8	SINGLE WR INLET	333.54	330.04	590254.76	1368305.66 D-4.37	



STORM DRAIN PROFILE

SCALE: 1"=30' HORIZ, 1"=3' VERT

DEPARTMENT OF PUBLIC WORKS
STORM DRAIN FLOW TABULATION FORM

SITE: High's @ Normandy
LOCATION: Ellicott City, MD
Storm Frequency: 10 - year Storm Drain

FROM I	TO	AREA	ACRES	COEFF.	CA	L CA	TIME CONC. MIN	INLET	INTEN	G = CA	PIPE	PIPE	PIPE	PIPE	REMARKS				
EX. I-1	M-5	0.28	0.28	0.48	0.14	0.14	5.0	0.0	5.0	7.00	0.06	18	RCP	0.013	0.80%	5.3	28	6.42	T-0.1
M-5	M-7	0.00	0.00	0.00	0.00	0.00	5.0	0.1	5.1	7.00	0.00	18	AL-CMP	0.013	3.25%	10.7	38	18.99	T-0.1
M-7	M-2	0.13	0.41	0.90	0.12	0.28	5.0	0.1	5.1	7.00	1.78	15	AL-CMP	0.013	3.25%	9.5	26	11.68	T-0.1
M-2	M-4	0.41	0.00	0.00	0.00	0.00	5.1	0.1	5.2	7.00	1.78	18	AL-CMP	0.013	2.97%	10.3	72	18.15	T-0.12
M-4	M-3	0.63	0.63	0.78	0.49	0.49	5.0	0.0	5.0	7.00	3.44	15	AL-CMP	0.013	5.00%	11.8	11	14.48	T-0.0
M-3	M-3	0.00	0.00	0.00	0.49	0.49	5.0	0.0	5.0	7.00	3.44	15	AL-CMP	0.013	5.00%	11.8	18	14.48	T-0.15
M-3	EX. I-8	0.00	1.04	0.00	0.75	5.7	0.1	5.3	6.95	5.18	18	AL-CMP	0.013	4.90%	11.9	29	21.07		

NOTE: ASSUMED TO 5 MINUTES (min) FOR CONSERVATIVENESS

DATE: 8/15/11 #3

REVISION DESCRIPTION: REVISED SIDEWALK ALONG NORMANDY CENTER DR. ABOVE STORM DRAIN. REVISED GITE GRAPED TO MEET AS-BUILT FLOOR ELEV.

RECORD DRAWING MARCH 2012

REVISED SDP 6/27/11
REVISED SDP 9/15/10

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 9/20/10
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 10/07/10
 DIRECTOR
 DATE: 10/3/10
 APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 COUNTY HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT
 DATE: 10/4/2010

MESSICK & ASSOCIATES
 CONSULTING ENGINEERS
 SURVEYORS & PLANNERS
 2120 RENARD COURT
 ANNAPOLIS, MARYLAND 21401
 (410) 266-3212 * FAX (410) 266-3502

Professional Certification. I hereby certify that this document was prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
 License No. 21591 Expiration Date: 5/14/2011

OWNER:
 THE NORMANDY VENTURE LIMITED PARTNERSHIP
 P.O. BOX 1424
 ELICOTT CITY, MD. 21041-1424
 DEVELOPER:
 HIGHS OF BALTIMORE INC.
 7477 NEW RIDGE ROAD
 HANOVER, MARYLAND 20794
 410-859-3636

PROJECT: **HIGHS @ NORMANDY**
 NORMANDY SHOPPING CENTER, P/O PARCEL B
 NEW BUILDING, GAS PUMPS & PARKING LOT EXPANSION
 TITLE: **THE NORMANDY VENTURE LIMITED PARTNERSHIP**
 SITE DEVELOPMENT PLAN
 F-98-33, BA 08-045C, SDP 88-89, SDP 85-205, SDP 84-297, SDP 79-140, SDP 77-15, SDP 72-12
STORM DRAIN PROFILES & DRAINAGE AREA MAP
 TAX MAP 18, GRID 19, PARCEL 75, P/O PARCEL B
 ELECTION DISTRICT NO. 2 LIBER 2472 - FOLIO 862 PLAT M.D.R. NO. 10367
 DATE: MARCH 2009 DESIGN BY: WAN DRAWN BY: BPO
 HOWARD COUNTY MARYLAND SCALE: AS SHOWN
 SHEET 10 OF 12
SDP-09-049

TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.

Seedbed Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

Soil Amendments: Apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs. per 1000 sq. ft.)

Seeding: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2-1/2 bushels per acre of annual rye (3.2 lbs. per 1000 sq. ft.) For the period May 1 thru August 14, seed with 3 lbs. per acre of weeping lovegrass (0.07 lbs. per 1000 sq. ft.) For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

Mulching: Apply 1-1/2 to 2 tons per acre (70 to 90 lbs. per 1000 sq. ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal. per acre (5 gal. per 1000 sq.ft.) of emulsified asphalt on flat areas. On slopes, 8 ft. or higher, use 347 gal. per acre (8 gal. per 1000 sq.ft.) for anchoring.

Refer to the 1983 Maryland Standards and Specifications for Soil Erosion and Sediment Control for rate and methods not covered.

PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seedbed Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

Soil Amendments: In lieu of soil test recommendations, use one of the following schedules:

- 1) Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs. per 1000 sq.ft.) and 600 lbs. per acre 10-10-10 fertilizer (14 lbs. per 1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs. per acre 30-0-0 ureaform fertilizer (9 lbs. per 1000 sq.ft.).
- 2) Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs. per 1000 sq.ft.) and 1000 lbs. per acre 10-10-10 fertilizer (25 lbs. per 1000 sq. ft.) before seeding. Harrow or disc into upper three inches of soil.

Seeding: for the period March 1 thru April 30 and from August 1 thru October 15, seed with 60 lbs. per acre (1.4 lbs. per 1000 sq. ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs. per acre (0.05 lbs. per 1000 sq.ft.) of weeping lovegrass. During the period October 16 thru February 28, protect site by one of the following options:

- 1) 2 tons per acre of well-anchored mulch straw and seed as soon as possible in the spring.
- 2) Use sod.
- 3) Seed with 60 lbs. per acre Kentucky 31 Tall Fescue and mulch with 2 tons per acre well anchored straw.

Mulching: Apply 1-1/2 to 2 tons per acre (70 to 90 lbs. per 1000 sq.ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal. per acre (5 gal. per 1000 sq.ft.) of emulsified asphalt on flat areas. On slopes, 8 ft. or higher, use 347 gal. per acre (8 gal. per 1000 sq.ft.) for anchoring.

Maintenance: Inspect all seeded areas and make needed repairs, replacements and reseeds.

BORROW SITE INFORMATION

The name and/or location of a borrow site is not known at this time. The contractor shall submit all necessary paper work or information to Howard SCD or its legal representative for approval.

21.0 Standard and Specifications for Topsoil

Definition: Topsoil is soil from a prepared subsoil prior to establishment of permanent vegetation.

Purpose: To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

Conditions Where Practice Applies:

1. This practice is limited to areas having 2:1 or flatter slopes where:
 - a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
 - b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
 - c. The original soil to be vegetated contains material toxic to plant growth.
 - d. The soil is so acidic that treatment with limestone is not feasible.
2. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications

1. Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experimentation Station.
2. Topsoil Specifications - Soil to be used as topsoil must meet the following:

- i. Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1-1/2" in diameter.
- ii. Topsoil must be free of plants or plant parts such as bermuda grass, quackgrass, johnsongrass, nutsedge, poison ivy, thistle, or others as specified.
- iii. Where subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

For sites having disturbed areas under 5 acres:

- i. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.
- ii. For sites having disturbed areas over 5 acres:

- i. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.

References: Guideline Specifications, Soil Preparation and Sodding. MD-WA, Pub. #1, Cooperative Extension Service, University of Maryland and Virginia Polytechnic Institutes. Revised 1973.

On soil meeting topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:

- a. pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.
- b. Organic content of topsoil shall be not less than 1.5 percent by weight.
- c. Topsoil having soluble salt content greater than 500 parts per million.

No soil or seed shall be placed on soil which has been treated with soil sterilants or chemicals for weed control until sufficient time has elapsed (14 days minimum) to permit dissipation of phytotoxic materials.

Note: Topsoil substitutes to amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority may be used in lieu of natural topsoil.

2. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.
3. Topsoil Application
 - i. When topsoiling, maintain needed erosion and sediment control practices such as Sediment Control Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.
 - ii. Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4" - 8" higher in elevation.
 - iii. Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.
 - iv. Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.
 - v. Alternative to permanent seeding - Instead of applying the full amounts of lime and commercial fertilizer, composted sludge and amendments may be applied as specified below:
 1. Composted sludge material for use as a soil conditioner for sites having disturbed areas over 5 acres shall be tested to prescribe amendments and for site having disturbed areas under 5 acres shall conform to the following requirements:
 - a. Composted sludge shall be supplied by, or originate from, a person or persons that are permitted (at the time of acquisition of the compost) by the Maryland Department of the Environment under COMAR 26.04.06.
 - b. Composted sludge shall contain at least 1 percent nitrogen, 1.5 percent phosphorus, and 0.2 percent potassium and have a pH of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.
 - c. Composted sludge shall be applied at a rate of 1 ton/1,000 square feet.
 - d. Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 lb/1,000 square feet, and 1/3 the normal lime application rate.

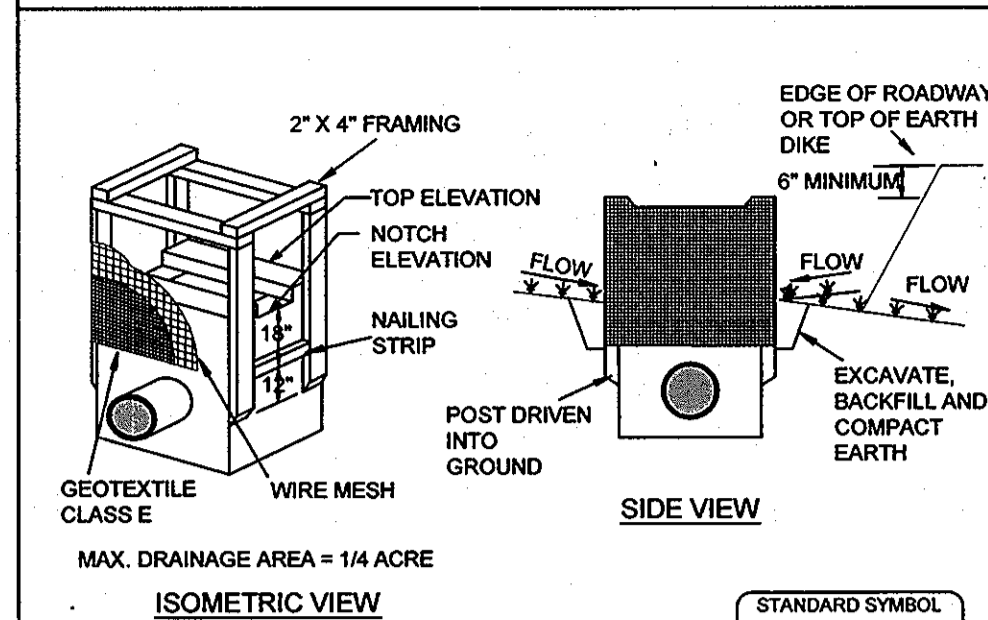
SEDIMENT CONTROL NOTES

1. A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (410) 313-1855.
2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL AND EROSION CONTROL, AND REVISIONS THEREOF.
3. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN A 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1; B) 14 DAYS AS TO OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
4. ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THE PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL AND EROSION CONTROL FOR PERMANENT SEEDINGS (SEC. 51), SOD (SEC. 54), TEMPORARY SEEDINGS (SEC.50) AND MULCHING (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
6. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

SITE ANALYSIS	
TOTAL SITE AREA	0.7173 ACRES
AREA DISTRIBUTED	0.6734 ACRES
AREA TO BE ROOFED AND PAVED	0.5468 ACRES
AREA TO BE VEGETATIVELY STABILIZED	0.1266 ACRES
TOTAL CUT	350± CU. YDS.
TOTAL FILL (contractor to check quantities)	950± CU. YDS.
OFFSITE WASTE/BORROW AREA LOCATION	A SITE WITH AN ACTIVE GRADING PERMIT, APPROVED BY THE COUNTY INSPECTOR

8. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE DAY OF DISTURBANCE.
9. ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
10. SITE GRADING WILL BEGIN ONLY AFTER ALL PERIMETER SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED AND ARE IN A FUNCTIONING CONDITION.
11. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 AC., APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
12. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS THAT WHICH CAN BE BACKFILLED AND STABILIZED BY THE END OF EACH WORKING DAY, WHICHEVER IS SHORTER.

DETAIL 23A - STANDARD INLET PROTECTION



MAX. DRAINAGE AREA = 1/4 ACRE

CONSTRUCTION SPECIFICATIONS

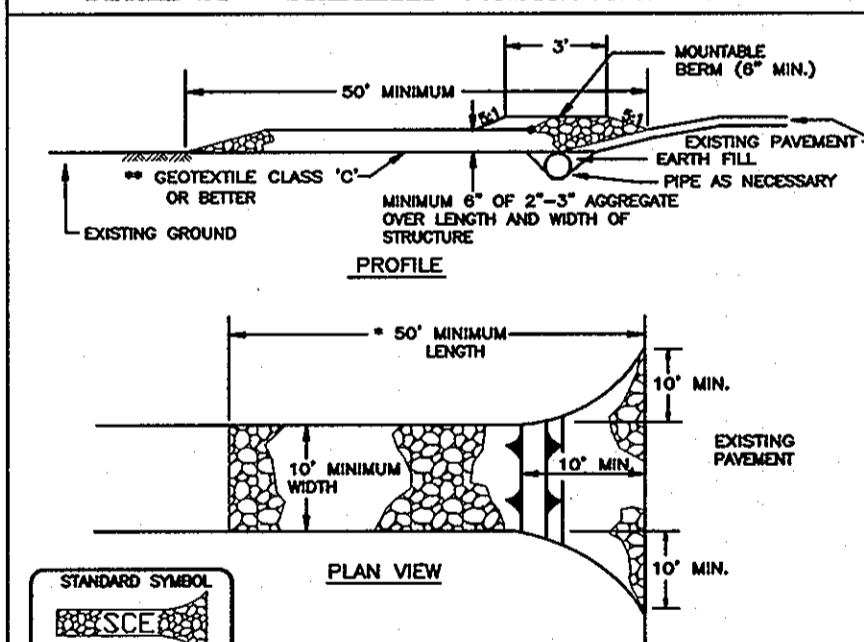
1. Excavate completely around the inlet to a depth of 18" below the notch elevation.
2. Drive the 2" x 4" construction grade lumber posts 1" into the ground at each corner of the inlet. Place nail strips between the posts on the ends of the inlet. Assemble the top portion of the 2" x 4" frame using the overlap joint shown on Detail 23A. The top of the frame (weir) must be 6" below adjacent roadways where flooding and safety issues may arise.
3. Stretch the 1/2" x 1/2" wire mesh tightly around the frame and fasten securely. The ends must meet and overlap at a post.
4. Stretch the Geotextile Class E tightly over the wire mesh with the geotextile extending from the top of the frame to 18" below the inlet notch elevation. Fasten the geotextile firmly to the frame. The ends of the geotextile must meet at a post, be overlapped and folded, then fastened down.
5. Backfill around the inlet in compacted 6" layers until the layer of earth is level with the notch elevation on the ends and top elevation on the sides.
6. If the inlet is not in a sump, construct a compacted earth dike across the ditch line directly below it. The top of the earth dike should be at least 6" higher than the top of the frame.
7. The structure must be inspected periodically and after each rain and the geotextile replaced when it becomes clogged.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE E - 14 - 5	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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SEQUENCE OF CONSTRUCTION

1. Contractor shall obtain all necessary approvals and the grading permit prior to beginning construction. The contractor shall notify the Howard County Department of Inspections & Permits, Miss Utility at least 48 hours prior to beginning construction.
 2. The contractor shall schedule a pre construction meeting with the respective agencies to review the plans and permits.
 3. Clear only for and install stabilized construction entrance as shown on the plans. (1 day)
 4. Clear and grub only the area necessary for the installation of super silt fence. (2 days)
 5. Clear and grub site as needed. (1 day)
 6. Remove existing gravel, pavement & buildings. Strip and stockpile topsoil. (2 days)
 7. Rough grade site. Remove and replace unsuitable soil with select fill. (3 weeks)
 8. Install utilities & begin building construction. (4 months)*
 9. Install tanks and pump islands. (2 weeks)*
 10. Remove existing storm drain & install new storm drain & the underground stormwater management system. Immediately upon completion of storm drain inlet's install the inlet protection devices. (2 weeks)*
 11. Install curb and gutter and dense graded aggregate in parking lot and drive aisles. (2 weeks)*
 12. Install bituminous concrete, concrete aprons, concrete dumpster pad and sidewalks. (2 weeks)*
 13. Place and fine grade topsoil as needed to provide positive drainage. Stabilize with seed and mulch. (1 week)*
 14. Install landscaping. (2 weeks)*
 15. Stabilize all remaining disturbed areas with seed & mulch. (1 day)
 16. With the sediment control inspectors approval, remove all temporary sediment controls, flush out outfall structure. Re-stabilize all minor disturbance on vegetative growth is not established. (2 days)
- *=Can be done concurrently

DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE

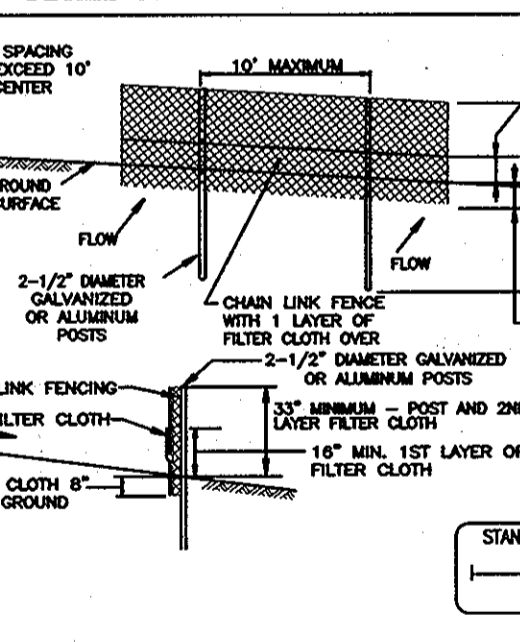


Construction Specifications

1. Length - minimum of 50' (*30' for single residence lot).
2. Width - 10' minimum, should be flared at the existing road to provide a turning radius.
3. Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. **The plan approval authority may not require single family residences to use geotextile.
4. Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
5. Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mounlable term with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage when the SCD is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" pipe will be required.
6. Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE 1 - 2 - 1	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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DETAIL 33 - SUPER SILT FENCE



Construction Specifications

Fencing shall be 42 inches in height and constructed in accordance with the specifications for Super Silt Fence. The specification for 6' x 6' foot fence shall be used, substituting 42 inch fabric and 6' foot length over 6'.

1. The posts do not need to be set in concrete.
2. Chain link fence shall be fastened securely to the fence posts with wire ties or staples.
3. Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.
4. Filter cloth shall be embedded a minimum of 8" into the ground.
5. When two sections of filter cloth overlap each other, they shall be overlapped by 6" and folded.
6. Maintenance shall be performed as needed and silt buildup removed when "cup" develops in the silt fence.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE 1 - 2 - 2	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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DEVELOPERS CERTIFICATE :

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT & EROSION CONTROL, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT, WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT & EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

DEVELOPER: BRIAN DARNELL (HIGH'S OF BALT. INC.) DATE 2-2-10

ENGINEERS CERTIFICATE :

I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

ENGINEER: WAYNE A. NEWTON (MESSICK & ASSOC.) DATE 2/1/10

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John K. Robertson 3/1/10
HOWARD SOIL CONSERVATION DISTRICT

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERS DIVISION: *[Signature]* DATE: 3/2/10

CHIEF, DIVISION OF LAND DEVELOPMENT: *[Signature]* DATE: 4-12-10

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS

Barbara Ester Beilinson 3/26/2010
COUNTY HEALTH OFFICER DATE: 1/20/11

MESSICK & ASSOCIATES
CONSULTING ENGINEERS
SURVEYORS & PLANNERS

2120 RENARD COURT
ANNAPOLIS, MARYLAND 21401
(410) 266-3212 * FAX (410) 266-3502

DATE: 2/11/10

STATE OF MARYLAND
Professional Engineer Seal
License No. 21591 Expiration Date: 6/14/2011

OWNER: THE NORMANDY VENTURE LIMITED PARTNERSHIP
P.O. BOX 1424
ELLCOTT CITY, MD. 21041-1424

DEVELOPER: HIGH'S OF BALTIMORE INC.
7477 NEW RIDGE ROAD
HANOVER, MARYLAND 20794
410-859-3636

PROJECT: HIGH'S @ NORMANDY
NORMANDY SHOPPING CENTER, P/O PARCEL B
NEW BUILDING, GAS PUMPS & PARKING LOT EXPANSION

TITLE: THE NORMANDY VENTURE LIMITED PARTNERSHIP
SITE DEVELOPMENT PLAN

F-98-33, BA 08-045C, SDP 86-89, SDP 85-205, SDP 84-297, SDP 79-140, SDP 77-15, SDP 72-12

SEDIMENT CONTROL DETAILS & NOTES

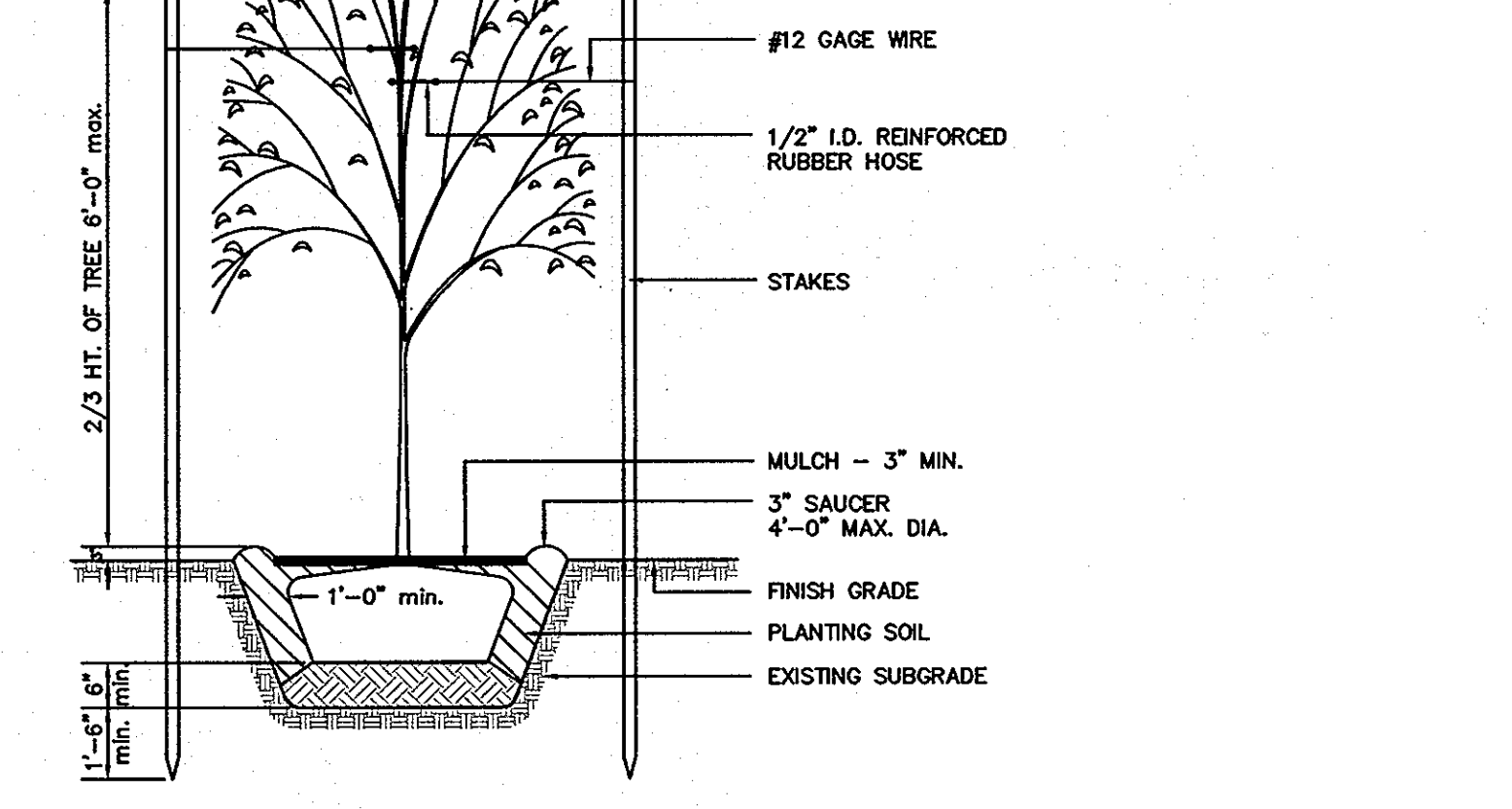
TAX MAP 18, GRID 19, PARCEL 75, P/O PARCEL B
ELECTION DISTRICT NO. 2 LIBER 2472 FOLIO 662 PLAT M.D.R. NO. 10367
DATE: MARCH 2009 DESIGN BY: WAN DRAWN BY: BPO
HOWARD COUNTY MARYLAND SCALE: AS SHOWN SHEET 11 OF 12

SDP-09-049

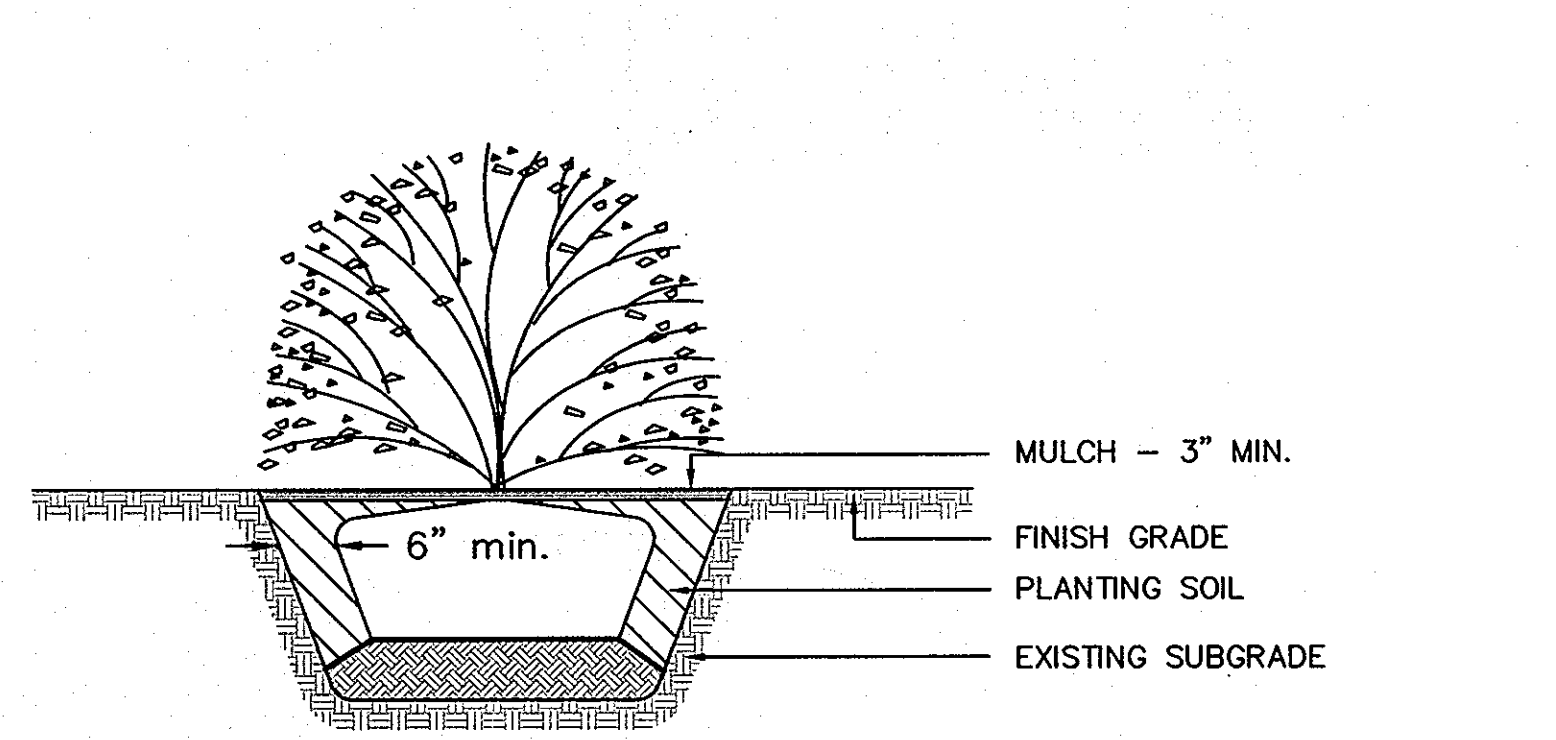
RECORD DRAWING MARCH 2012

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING	
NUMBER OF PARKING SPACES	17 SPACES
NUMBER OF TREES REQUIRED	1 REQUIRED
NUMBER OF TREES PROVIDED	1 DECIDUOUS TREE PROVIDED

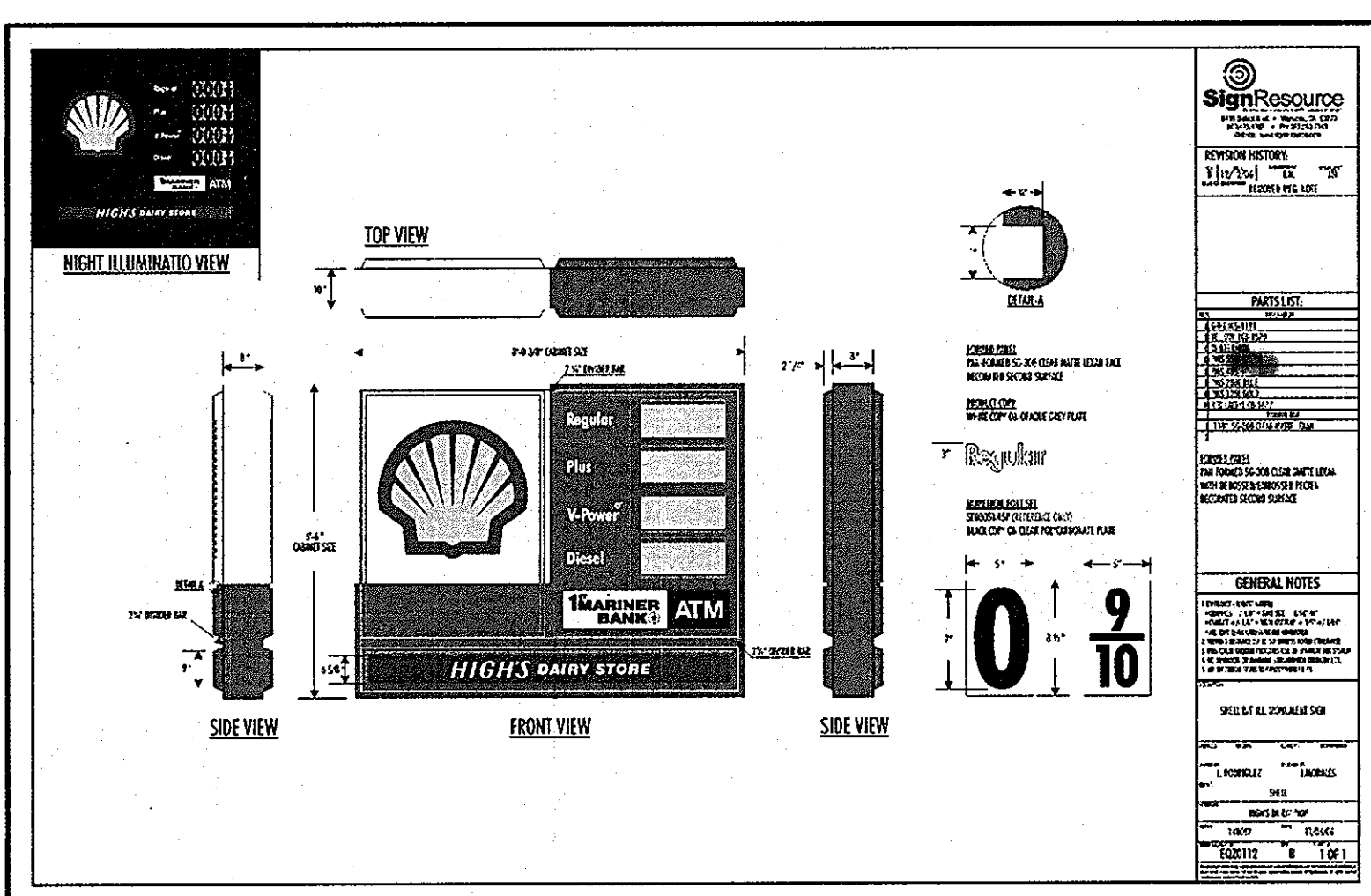
SCHEDULE A PERIMETER LANDSCAPE EDGE				
CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES		
LANDSCAPE TYPE	#1. E	#2. E	#3. A	#4. A
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	128±	96±	N/A	N/A
CREDIT OF EX. VEGETATION (YES/NO LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	YES	NO	YES (245')	YES (184')
CREDIT OF WALL, FENCE OR BURN (YES/NO LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	NO	NO
NUMBER OF PLANTS REQ. SHADE TREES	3	2	4	3
NUMBER OF PLANTS REQ. EVERGREEN TREES	0	0	0	0
NUMBER OF PLANTS REQ. SHRUBS	32	24	4	0
NUMBER OF PLANTS PROVIDED SHADE TREES	2 ex. shade	4 pr. small trees	4 ex. to remain	3 ex. to remain
OTHER TREES (2:1 SUBSTITUTION)	2 pr. small trees	2 pr. small trees		
SHRUBS (10:1 SUBSTITUTION) (DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)	32 pr. shrubs	27 pr. shrubs		



TREE PLANTING DETAIL - LESS THAN 4" CAL.

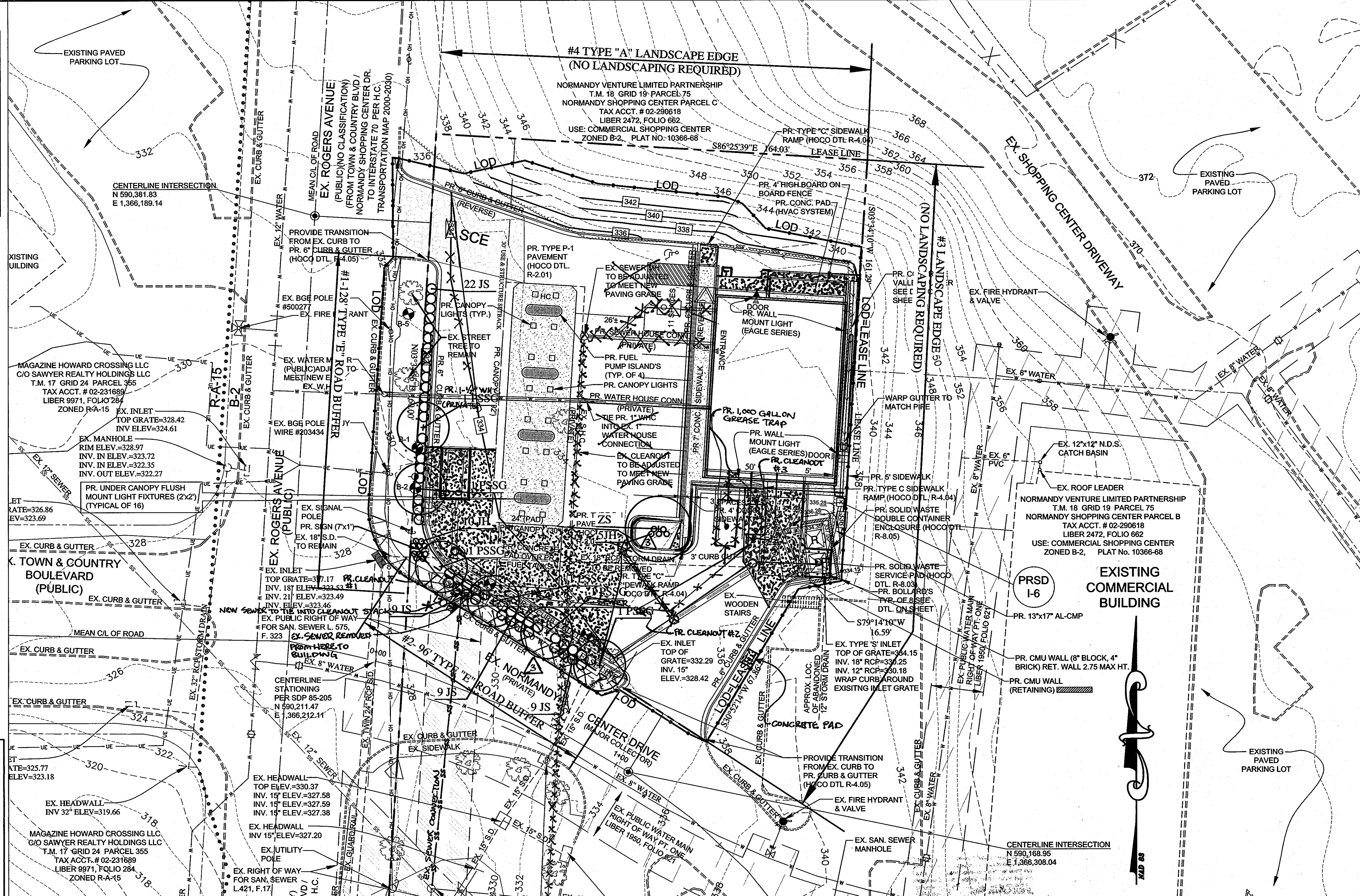


SHRUB PLANTING DETAIL



ENCORE FLAT LENS and EAGLE WALL MOUNT LIGHT

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 COUNTY HEALTH OFFICER
 DATE: 10/14/2010



SCALE: 1"=20'
 DATE # REVISION DESCRIPTION
 8/15/11 3 REMOVED SIDEWALK ALONG NORMANDY CENTER DR. ADDED STORM DRAIN REVISED SITE GRADES TO MEET AS BUILT FLOOR ELEV. REVISED SDP 8/15/11

QTY.	SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	SPACING	ROOT
15	JH	18" Ht.	Juniperus ch. 'Blue Rug'	Blue Rug Juniper	3' o.c.	Cont.
49	JS	2-2 1/2" Ht.	Juniperus ch. 'Sargent'	Sargent's Juniper	4-5' o.c.	Cont.
6	PSSG	2-1/2" Cal.	Prunus serotina 'Snow Goose'	Snow Goose Cherry	30' o.c.	B & B
1	ZS	2-1/2"-3" Cal.	Zelkova serrata 'Village Green'	Japanese Zelkova	In Island	B & B

RECORD DRAWING MARCH 2012

MESSICK & ASSOCIATES
 CONSULTING ENGINEERS
 SURVEYORS & PLANNERS
 2120 RENARD COURT
 ANNAPOLIS, MARYLAND 21401
 (410) 266-3212 * FAX (410) 266-3502

OWNER:
 THE NORMANDY VENTURE LIMITED PARTNESHIP
 P.O. BOX 1424
 ELLICOTT CITY, MD. 21041-1424

DEVELOPER:
 HIGHS OF BALTIMORE INC.
 7477 NEW RIDGE ROAD
 HANOVER, MARYLAND 20794
 410-859-3636

PROJECT: HIGHS @ NORMANDY
 NORMANDY SHOPPING CENTER, P/O PARCEL B
 NEW BUILDING, GAS PUMPS & PARKING LOT EXPANSION

TITLE: THE NORMANDY VENTURE LIMITED PARTNESHIP
 SITE DEVELOPMENT PLAN

LANDSCAPE PLAN
 TAX MAP 18, GRID 19, PARCEL 75, P/O PARCEL B
 ELECTION DISTRICT NO. 2
 LIBER 2472, FOLIO 662, PLAT M.D.R. NO. 10367
 DATE: MARCH 2009 DESIGN BY: WAN DRAWN BY: BPO
 HOWARD COUNTY MARYLAND SCALE: AS SHOWN SHEET 12 OF 12

SDP-09-049