<u>CENTENNIAL</u>

CENTENNIAL III

DOES NOT FIT

DOES NOT FIT

ALL OPT.

CENTENNIAL .

DOES NOT FIT

ALL OPT.

CENTENNIAL I

₹ 24.00'

FULTON II

DOES NOT FIT

NO COVERED PORCH

NO MORNING ROOM

NO COVERED PORCH

ALL OPT.

GENERIC BOXES

FULTON I

NO COVERED PORCH

NO COVERED PORCH

ALL OPT.

SCALE 1"=30'

20.33

19.67

65.16

ROCKBURNE 38

ALL OPT

NO MORNING ROOM

ALL OPT.

ALL OPT.

ALL OPT.

ROCKBURNE 34

NO MORNING ROOM

ALL OPT.

ALL OPT.

RAINING PROCRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE EGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON—SITE INSPECTION

ENGINEER'S CERTIFICATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL

EROSION AND SEDIMENT CONTROL BY THE HOWARD

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF, DIVISION OF LAND DEVELOPMENT

SIGNATURE OF ENGINEER

R. JACOB HIKMAT PRINTED NAME OF ENGINEER

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESEN A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH TH REQUIREMENTS OF THE NATURAL MESOURCE CONSERVATION SERVICE.

BASEMENT

FULTON I

19.67

CENTENNIAL I

ALL OPT.

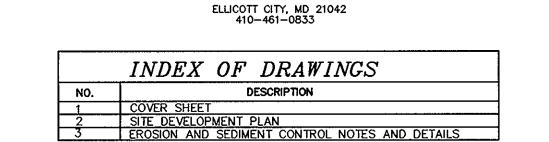
DOES NOT FIT

ALL OPT.

ALL OPT.

GENERIC BOX

OWNER AND DEVELOPER HARMONY BUILDERS INC. 4228 COLUMBIA ROAD



	ADDRESS CHART
LOT/PARCEL NO.	STREET ADDRESS
LOT 1	8957 CHAPEL AVE
LOT 2	8955 CHAPEL AVE
LOT 3	8953 CHAPEL AVE
LOT 4	8951 CHAPEL AVE

	PEI	RMIT	INF	ORMATI	ON CH	ART	
ROCKBURNE 40	SUBDIVISION NAM LANCELOTTA PI			SECTION/AREA N/A	LOT/PARCE		
ALL OPT.	PLAT # OR L/F 20425-6	BLOCK #	ZONE R-20	TAX MAP 17	ELEC. DIST. SECOND	CENSUS TRACT 8021.00	
NO MORNING ROOM	WATER CODE	WATER CODE			SEWER CODE		
ALL OPT.		PROPOSED IMPROVEMENTS: CONSTRUCT HOUSES, ASSOCIATED GRADING, AND SEDIMENT CONTROL					
	-		•				

**GENERAL NOTES:** 

- 1. THE SUBJECT PROPERTY IS ZONED R-20 PER THE 02/02/04 COMPREHENSIVE ZONING PLAN AND "COMP LITE ZONING AMENDMENTS EFFECTIVE 7/28/06.
- 2. ALL ASPECTS OF THE PROJECT ARE IN CONFORMANCE WITH THE
- LATEST HOWARD COUNTY STANDARDS. 3. SITE ANALYSIS DATA: TAX MAP: 17 , PARCEL: 437 LOTS: 68 & 69

ELECTION DISTRICT : SECOND ZONING: R-20 DEED REFERENCE: L. 9192/ F. 169, L. 9192/ F. 172 TOTAL TRACT AREA: 2.22 AC.± NUMBER OF PROPOSED UNITS: 4 LIMIT OF DISTURBED AREA: 1.71 AC.± PROPOSED USE: SINGLE FAMILY DETACHED

DPZ FILES: F-08-056, WP-08-103

- ON-SITE TOPOGRAPHY SHOWN HEREON IS BASED ON A FIELD RUN SURVEY CONDUCTED BY SHANABERGER & LANE ON OR ABOUT AUGUST 2007.
- HORIZONTAL AND VERTICAL DATUMS ARE RELATED TO THE MARYLAND STATE PLANE COORDINATE SYSTEM AS PROJECTED FROM HOWARD COUNTY CONTROL STATIONS NO. 17F7 AND 17FA

595,829.6194 NORTHING 594,948.349 EASTING 1,364,626.768 EASTING 1,364,62 ELEVATION 477.48 1,363,088.3646 ELEVATION 469.46

- 6. PUBLIC WATER AND SEWER WILL BE UTILIZED UNDER CONTRACT # 184-S & 70-W. 7. NO WETLANDS EXIST ON SITE AS CERTIFIED BY MILDENBERG, BOENDER & ASSOCIATES, INC.
- 8. A USE-IN-COMMON MAINTENANCE AGREEMENT FOR LOTS 2 AND 3 HAS BEEN RECORDED IN THE LAND
- RECORDS OF HOWARD COUNTY, MARYLAND, LIBER 11496 FOLIO 74.
- 9. STEEP SLOPES OVER 20,000 SQ. FT. IN AREA DO NOT EXIST ON-SITE 10. DRIVEWAYS SHALL BE PROVIDED PRIOR TO RESIDENTIAL
- OCCUPANCY TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS: A) WIDTH - 12 FEET (16 FEET SERVING MORE THAN ONE RESIDENCE).
- B) SURFACE 6 INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING.
- C) GEOMETRY MAXIMUM 14% GRADE, MAXIMUM 10% GRADE CHANGE AND MINIMUM OF 45—FOOT TURNING RADIUS.
- D) STRUCTURES (CULVERT/BRIDGES) CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING).

  E) DRAINAGE ELEMENTS CAPABLE OF SAFELY PASSING 100-YEAR FLOOD
- WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.
- F) STRUCTURE CLEARANCES MINIMUM 12 FEET
  G) MAINTENANCE SUFFICIENT TO ENSURE ALL WEATHER USE.
- 11. FOREST CONSERVATION OBLIGATIONS IN ACCORDANCE WITH SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT FOR THIS SUBDIVISION HAS BEEN FULFILLED BY PAYMENT OF A FEE-IN-LIEU OF 0.93 ACRES (40,510.8 SQ. FT.) OF AFFORESTATION IN THE AMOUNT OF \$30,383.10 TO THE FOREST CONSERVATION FUND UNDER F-08-056.
- THIS PLAN IS IN COMPLIANCE WITH SECTION 16.124 OF HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. EIGHT (8) SHADE TREES ARE REQUIRED ALONG THE PERIMETER OF LOTS 2-4 AND FIVE (5) STREET TREES ARE REQUIRED ALONG THE FRONTAGE OF CHAPEL AVENUE. SURETY IN THE AMOUNT OF \$3,900.00 WILL BE POSTED AS PART OF THE BUILDER'S GRADING PERMIT.
- 13. NO CLEARING OF EXISTING VEGETATION IS PERMITTED WITHIN THE LANDSCAPED EDGE FOR WHICH CREDIT IS BEING TAKEN; HOWEVER, LANDSCAPE MAINTENANCE IS AUTHORIZED.
- 14. SHOULD ANY TREE DESIGNATED FOR PRESERVATION, FOR WHICH LANDSCAPING CREDIT IS GIVEN, DIE PRIOR TO RELEASE OF BONDS, THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT SPECIES OR WITH A TREE WHICH WILL OBTAIN THE SAME HEIGHT, SPREAD, AND GROWTH CHARACTERISTICS. THE REPLACEMENT TREE MUST BE A MINIMUM OF 2 1/2 TO 3 INCHES IN CALIPER AND INSTALLED AS REQUIRED IN THE LANDSCAPE MANUAL.
- 15. DRIVEWAY ENTRANCE IS PER HOWARD COUNTY STANDARD DETAIL R-6.06
- 16. FOR FLAG OR PIPSTEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPESTEM LOT AND ROAD RIGHT OF WAY LINE AND NOT TO THE PIPESTEM LOT DRIVEWAY.
- 17. STORMWATER MANAGEMENT IS PROVIDED VIA ROOFTOP, NON-ROOFTOP DISCONNECTION UNDER F-08-056
- IN ACCORDANCE WITH THE 2000 MDE STORMWATER DÉSIGN MANUAL. 18. NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAM(S) OR THEIR BUFFERS, FOREST CONSERVATION EASEMENT AREAS AND 100 YEAR FLOODPLAIN
- UNLESS APPROVED BY THE DEPARTMENT OF PLANNING AND ZONING OR OTHER APPLICABLE REGULATORY AGENCY.
- 19. THE OPEN SPACE REQUIREMENT, BASED ON CREATION OF 2 NEW LOTS, HAS BEEN SATISFIED BY PAYMENT OF A FEE-IN-LIEU UNDER F-08-056.
- 20. THE 65 dBA NOISE CONTOUR LINE DRAWN ON THIS SUBDIVISION PLAN IS ADVISORY AS REQUIRED BY THE HOWARD COUNTY DESIGN MANUAL, AND CANNOT BE CONSIDERED TO EXACTLY LOCATE THE 65 dba noise exposure. The 65 dba noise line was established by howard county to alert developers and future residents that area beyond this threshold may exceed generally ACCEPTED NOISE LEVELS ESTABLISHED BY U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT
- 21. NO EXISTING STRUCTURES EXIST ON SITE.

(410) 725-9976

(410) 313-4900

(410) 393-3533

(410) 685-0123

(410) 531-5533

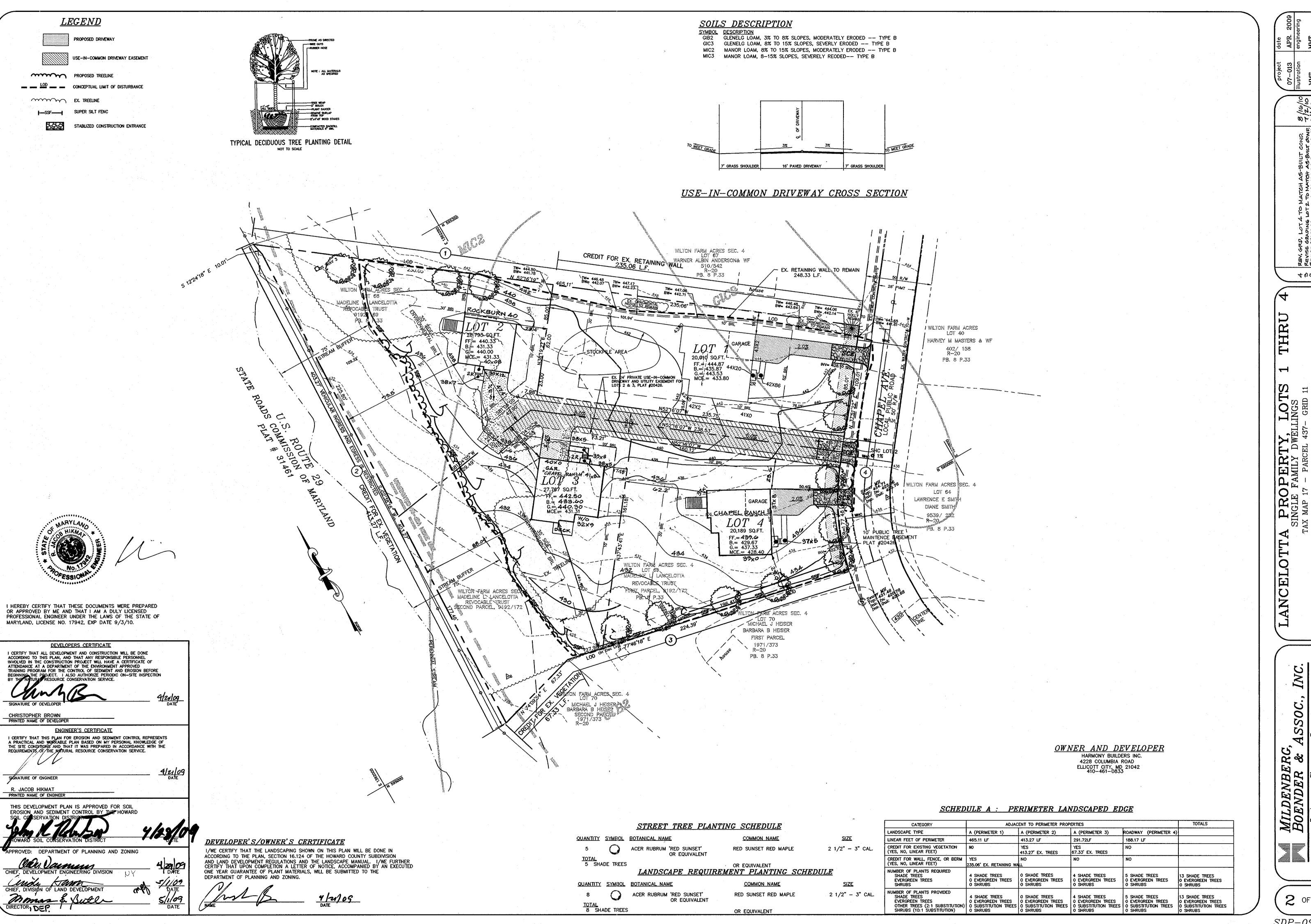
(410) 313-1880

- 22. THE REAR BUILDING RESTRICTION LINES FOR LOTS 2 AND 3 COINCIDE WITH THE BOUNDARY OF 16.120.(b).(4).(iii) OF THE SUBDIVISION REGULATIONS WHICH PROHIBITS THE BUILDING ENVELOPE TO BE CLOSER THAN 35 FEET FROM ENVIRONMENTAL BUFFERS. THEREFORE, THE DISTANCE FROM THE REAR BRLS TO THE REAR PROPERTY LINES OF LOTS 2 AND 3 WILL VARY IN DISTANCE AND SHALL NOT BE LESS THAN 50 FEET PER THE R-20 ZONING REGULATIONS.
- 23. THIS DEVELOPMENT IS DESIGNED TO BE IN ACCORDANCE WITH SECTION 16.127-- RESIDENTIAL INFILL DEVELOPMENT- OF SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. THE DEVELOPER OF THIS PROJECT SHALL CREATE COMPATIBILITY WITH THE EXISTING NEIGHBORHOOD THROUGH THE USE OF ENHANCED PERIMETER LANDSCAPING, BERMS, FENCES, SIMILAR HOUSING UNIT TYPES AND THE DIRECTIONAL ORIENTATION OF THE PROPOSED HOUSES AND SHALL IMPROVE THE DESIGN OF THE PROJECT AND ITS RELATIONSHIP TO THE SURROUNDING RESIDENTIAL PROPERTIES BY PROTECTING ENVIRONMENTAL LANDS AND BY INCORPORATION INTO THE DESIGN LOCALLY SIGNIFICANT SITE FEATURES SUCH AS HISTORIC STRUCTURES AND
- 24. THIS R-20 RESIDENTIAL INFILL DEVELOPMENT IS RESTRICTED IN USING OPTIONAL LOT SIZES UNDER SECTION 16.121.(a) OF THE SUBDIVISION REGULATIONS; THEREFORE, THE STREAM BUFFER FROM THE ADJACENT STREAM MAY BE LOCATED ON LOTS 2 AND 3 PROVIDED THAT THE BUILDING ENVELOPE IS NO CLOSER THAN 35 FEET FROM THESE ENVIRONMENTAL FEATURES.
- 25. THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES, AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- 26. AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREWITH LISTED AND APPROVED FOR THIS SITE, SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.
- 27. THIS PLAN IS SUBJECT TO WAIVER PETITION WP-08-103 SECTIONS 16.132.(α).(2).(i).(α), 16.134.(b) AND 16.135.(a) WHICH REQUIRES ROAD, SIDEWALK AND STREET LIGHT IMPROVEMENTS TO BE PROVIDED ALONG THE FRONTAGE OF CHAPEL AVENUE, WHICH WAS APPROVED BY THE DIRECTOR OF THE DEPARTMENT OF PLANNING AND ZONING ON MAY 28, 2008. SECTION 16.136 WHICH REQUIRES STREET TREES TO BE PROVIDED ALONG THE FRONTAGE OF CHAPEL AVENUE WAS DENIED ON MAY 28, 2008. THE APPROVAL/DENIAL DECISION OF THE WAIVER REQUEST IS SUBJECT TO THE FOLLOWING:
- COMPLIANCE WITH ALL SRC AGENCY COMMENTS GENERATED WITH THE REVIEW OF THE SUBDIVISION 2. COMPLIANCE WITH COMMENTS FROM DEVELOPMENT ENGINEERING DIVISION REQUIRING THE PAYMENT OF A FEE-IN-LIEU OF PROVIDING SIDEWALKS ON ONE SIDE ALONG THE FRONTAGE OF CHAPEL AVENUE; AND FOR THE PAYMENT OF A FEE-IN-LIEU OF PROVIDING STREET LIGHTING.
- REQUIREMENT FOR ELIMINATION OF PROVIDING STREET TREES HAS BEEN DENIED BECAUSE THE ADDITION OF STREET TREES WILL ENHANCE RATHER THAN DETRACT FROM THE STEREOSCOPE ALONG THE FRONTAGE OF THIS INFILL SUBDIVISION, PARTICULARLY SINCE LOT GRADING WILL REMOVE MANY OF THE EXISTING MATURE TREES ALONG THE FRONTAGE OF THIS PROPERTY. A 10' TREE MAINTENANCE EASEMENT, MEASURED FROM THE ROAD RIGHT-OF-WAY, SHALL BE RECORDED ON THE SUBDIVISION PLAT, F-08-056.
- 28. IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
- 29. WATER AND SEWER SERVICE TO THESE LOTS WILL BE PROVIDED IN ACCORDANCE WITH SECTION 18.122B OF THE HOWARD COUNTY CODE. PUBLIC WATER AND SEWAGE ALLOCATION WILL BE GRANTED AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT IF CAPACITY IS AVAILABLE.
- 30. THERE ARE NO HISTORIC STRUCTURES/FEATURES ON SITE. THIS SITE IS NOT ADJACENT TO A DESIGNATED SCENIC ROAD.
- 31. IN ACCORDANCE WITH THE CONDITIONS OF APPROVAL OF WP-08-103, THE DEVELOPER HAS PAID A FEE-IN-LIEU OF PROVIDING SIDEWALKS ALONG THE FRONTAGE OF CHAPEL AVENEUE IN THE AMOUNT OF \$7,500.00 TO ACCOUNT 816-99D-7076-5054-901D- CAPITAL PROJECT K-5054.
- 32. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/CONSTRUCTION INSPECTIONS AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- 33. EXISTING UTILITIES ARE BASED ON CONTRACT # 184-S & 70-W.
- 34. ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
- 35. SEWER HOUSE CONNECTIONS SHOWN ARE LOCATED AT THE PROPERTY LINE.

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SDP - 0.9 - 0.41



SDP-09-041

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2010

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# HOWARD SOIL CONSERVATION DISTRICT

### PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:

1) PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ.FT.)

AND 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ.FT.) BEFORE SEEDING.

HARROW OF DISK INTO UPPER THREE INVESTOR SOLD AT THE OF SEEDING, APPLY

400 LBS. PER ACRE 30-0-0 UREAFORM FERTILIZER (9 LBS./1000 SQ.FT.).

ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS./1000 SQ.FT.) AND 1000 LBS. PER ACRE 10-10-10 FERTILIZER (23 LBS./1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISK INTO UPPER THREE INCHES OF SOIL.

SEEDING — FOR THE PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU OCTOBER 15, SEED WITH 60 LBS. PER ACRE 1.4 LBS/1000 SQ.FT.) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31, SEED WITH 60 LBS. KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS. PER ACRE (.05 LBS./1000 SQ.FT.) OF WEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY: OPTION (1) — 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) — USE SOD. OPTION (3) — SEED WITH 60 LBS./ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELL ANCHORED STRAW.

MULCHING - APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS./1000 SQ.FT) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL/1000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL/1000 SQ.FT.) FOR ANCHORING.

MAINTENANCE - INSPECT ALL SEEDING AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

### TEMPORARY SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED. SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, FOR NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS: APPLY 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ.FT.)

SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30 AND FROM AUGUST 15 THRU OCTOBER 15, SEED WITH 2-1/2 BUSHEL PER ACRE OF ANNUAL RYE (3.2 LBS./1000 SQ.FT.) FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS. PER ACRE OF WEEPING LOVEGRASS (.07 LBS./1000 SQ.FT.). FOR THE PERIOD NOVEMBER 16 THRU NOVEMBER 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOD.

MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS./1000 SQ.FT.) OF UNROTTED WEED FREE SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GAL PER ACRE (5 GAL/1000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FEET OR HIGHER, USE 348 GAL PER ACRE (8 GAL/1000 SQ.FT.) FOR ANCHORING.

REFER TO THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR ADDITIONAL RATES AND METHODS NOT COVERED.

### STANDARD SEDIMENT CONTROL NOTES

- 1) A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION, (313-1855).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT "MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", AND REVISIONS THERETO.
- 3) FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1, B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- 4) ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- 5) ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1991 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING (SEC.51), SOD (SEC. 54), TEMPORARY SEEDING (SEC. 50) AND MULCHING (SEC.52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- 6) ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR

	COUNTY SEDIMENT CONTINGE INCIDENCE	
7)	SITE ANALYSIS: TOTAL AREA OF SITE:	2.22 ACRES
	ARFA DISTURBED:	1.71 ACRES
	AREA TO BE ROOFED OR PAVED:	0.46 ACRES
	AREA TO BE VEGETATIVELY STABILIZED:	1.25 ACRES
	TOTAL CUT:	2,000_ CU. YDS
	TOTAL FILL:	2,000_ CU. YDS
	TOTAL WASTE/BORROW AREA LOCATION:	N/A

THESE QUANTITIES ARE FOR PERMIT PURPOSES ONLY.
CONTRACTOR IS REQUIRED TO PROVIDE HIS OWN QUANTY MEASUREMENTS.



	DEVELOPERS CERTIFICATE
	I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING OF THE PROJECT. I ALSO AUTHORIZE PERIODIC ON—SITE INSPECTION BY THE NATURAL RESOURCE CONSERVATION SERVICE.  42109  DATE
	CHRISTOPHER BROWN
	PRINTED NAME OF DEVELOPER
	ENGINEER'S CERTIFICATE
	I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.  SIGNATURE OF ENGINEER  DATE
	R. JACOB HIKMAT
WG \sdp.DWG	THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT HOWARD SOIL CONSERVATION DISTRICT DATE
NC\S	APPROVED: DEPARTMENT OF PLANNING AND ZONING

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 17942, EXP DATE 9/3/10.

OWNER AND DEVELOPER

HARMONY BUILDERS

4228 COLUMBIA ROAD

ELLICOTT CITY, MD 21042

410-461-0833

- 8) ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- 9) ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- 10) ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- 11) TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN BE BACK FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.

# STANDARD AND SPECIFICATIONS FOR TOPSOIL

DEFINITION

PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

#### <u>PURPOSE</u>

TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW pH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

### CONDITIONS WHERE PRACTICE APPLIES

- I. THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:
- a. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE
- b. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.
- c. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
- d. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.
- FOR THE PURPOSE OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION. AREAS HAVING SLOPES STEEPER THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE PLANS.

#### CONSTRUCTION AND MATERIAL SPECIFICATIONS

- TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.
- II. TOPSOIL SPECIFICATIONS SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:
  - TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND.

    OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 1/2" IN
  - i. TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACKGRASS, JOHNSON-GRASS, NUTSEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.
  - iii. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.
- III. FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES:
  - i. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN <u>20.0 VEGETATIVE</u> STABILIZATION SECTION I VEGETATIVE STABILIZATION METHODS AND MATERIALS.
- IV. FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES:

DISIPATION OF PHYTO-TOXIC MATERIALS.

GRADING AND SEEDBED PREPARATION.

- i. ON SOIL MEETING TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS DICTATING FERTILIZER AND LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING:
  - g. ph for topsoils shall be between 6.0 and 7.5. If the tested soil demonstrates a ph of LESS than 6.0, sufficient lime shall be prescribed to raise the ph to 6.5 or higher.
- b. ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 1.5 PERCENT BY WEIGHT.
- c. TOPSOIL HAVING SOLUBLE SALT CONTENT GREATER THAN 500 PARTS PER MILLION SHALL NOT BE USED.
   d. NO SOD OR SEED SHALL BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT

NOTE: TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL

- ii. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN <u>20.0 VEGETATIVE</u> STABILIZATION SECTION I VEGETATIVE STABILIZATION METHODS AND MATERIALS.
- V. TOPSOIL APPLICATION
- i. WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS.
- ii. GRADES ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE MAINTAINED, ALBEIT 4" 8" HIGHER IN ELEVATION.
- MAINTAINED, ALBEIT 4" 8" HIGHER IN ELEVATION.

  III. TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4" TO 8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE
- FORMATION OF DEPRESSIONS OR WATER POCKETS.

  iv. TOPSOIL SHALL NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER

SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE

- VI. ALTERNATIVE FOR PERMANENT SEEDING INSTEAD OF APPLYING THE FULL AMOUNTS OF LIME AND COMMERCIAL FERTILIZER, COMPOSTED SLUDGE AND AMENDMENTS MAY BE APPLIED AS SPECIFIED BELOW:
- i. COMPOSTED SLUDGE MATERIAL FOR USE AS A SOIL CONDITIONER FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES SHALL BE TESTED TO PRESCRIBE AMENDMENTS AND FOR SITES HAVING AREAS UNDER 5 ACRES SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:
  - a. COMPOSTED SLUDGE SHALL BE SUPPLIED BY, OR ORIGINATE FROM, A PERSON OR PERSONS WHO ARE PERMITTED (AT THE TIME OF ACQUISITION OF THE COMPOST) BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT UNDER COMAR 26.04.06.
  - b. COMPOSTED SLUDGE SHALL CONTAIN AT LEASE 1 PERCENT NITROGEN, 1.5 PERCENT PHOSPHOURUS, AND 0.2 PERCENT POTASSIUM AND HAVE A Ph OF 7.0 TO 8.0. IF COMPOST DOES NOT MEET THESE REQUIREMENTS, THE APPROPRIATE CONSTITUENTS MUST BE ADDED TO MEET THE REQUIREMENTS PRIOR TO USE.
- ii. COMPOSTED SLUDGE SHALL BE AMENDED WITH A POTASSIUM FERTILIZER APPLIED AT THE RATE OF 4 LB/1,000 SQUARE FEET, AND 1/3 THE NORMAL LIME APPLICATION RATE.

REFERENCES: GUIDELINE SPECIFICATIONS, SOIL PREPARATION AND SODDING. MD-VA, PUB. #1, COOPERATIVE EXTENSION SERVICE, UNIVERSITY OF MARYLAND AND VIRGINIA POLYTECHNIC INSTITUTES. REVISED 1973.

c. COMPOSTED SLUDGE SHALL BE APPLIED AT A RATE OF 1 TON/1,000 SQUARE FEET.

### EROSION AND SEDIMENT CONTROL NOTES

- ALL SEDIMENT CONTROL OPERATIONS ARE TO BE DONE IN ACCORDANCE WITH SECTION 219 OF THE
  HOWARD COUNTY VOLUME IV DESIGN MANUAL AND THE STANDARDS AND SPECIFICATIONS FOR SEDIMENT
  CONTROL IN DEVELOPING AREAS.
   ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED AS THE FIRST ORDER OF BUSINESS.
- 3. ALL EXCAVATED MATERIALS SHALL BE STOCKPILED ON THE UPGRADE SIDE OF THE MAIN TRENCH.
- 4. EXCAVATION AND BACKFILL SHALL BE LIMITED TO THAT WHICH CAN BE STABILIZED WITHIN ONE WORKING DAY.
  5. IMMEDIATELY FOLLOWING BACKFILL OF THE SEWER TRENCH, ALL DISTURBED AREAS ARE TO BE STABILIZED
- IN ACCORDANCE WITH THE PERMANENT STABILIZATION AND SEEDING NOTES SHOWN ON THIS SHEET.
- 6. THROUGHOUT THE PROJECT, THE CONTRACTOR SHALL REGULARLY INSPECT ALL SEDIMENT CONTROL DEVICES AND PROVIDE ALL NECESSARY MAINTENANCE TO ENSURE THAT ALL DEVICES ARE IN OPERATIVE CONDITION.
- 7. ALL SEDIMENT CONTROL FACILITIES SHALL REMAIN IN PLACE UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

## TEMPORARY DUST CONTROL MEASURES

 MULCHES — SEE STANDARDS FOR VEGETATIVE STABILIZATION WITH MULCHES ONLY. MULCH SHOULD BE CRIMPED OR TACKED TO PREVENT BLOWING.

2. VEGETATIVE COVER - SEE STANDARDS FOR TEMPORARY VEGETATIVE

3. TILLAGE — TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS AN EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL—TYPE PLOWS APCED ABOUT 12" APART, SPRING—TOOTHED HARROWS, AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.

4. IRRIGATION — THIS IS GENERALLY DONE AS AN EMERGENCY TREATMENT. SITE IS SPRINKLED WITH WATER UNTIL THE SURFACE IS MOIST. REPEAT AS NEEDED. AT NO TIME SHOULD THE SITE BE IRRIGATED TO THE POINT THAT RUNOFF BEGINS TO FLOW.

5. BARRIERS — SOLID BOARD FENCES, SILT FENCES, SNOW FENCES, BURLAP FENCES, STRAW BALES, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING. BARRIERS PLACED AT RIGHT ANGLES TO PREVAILING CURRENTS AT INTERVALS OF ABOUT 10 TIMES THEIR HEIGHT ARE EFFECTIVE IN CONTROLLING SOIL BLOWING.

6. CALCIUM CHLORIDE -- APPLY AT RATES THAT WILL KEEP SURFACE MOIST. MAY NEED RETREATMENT.

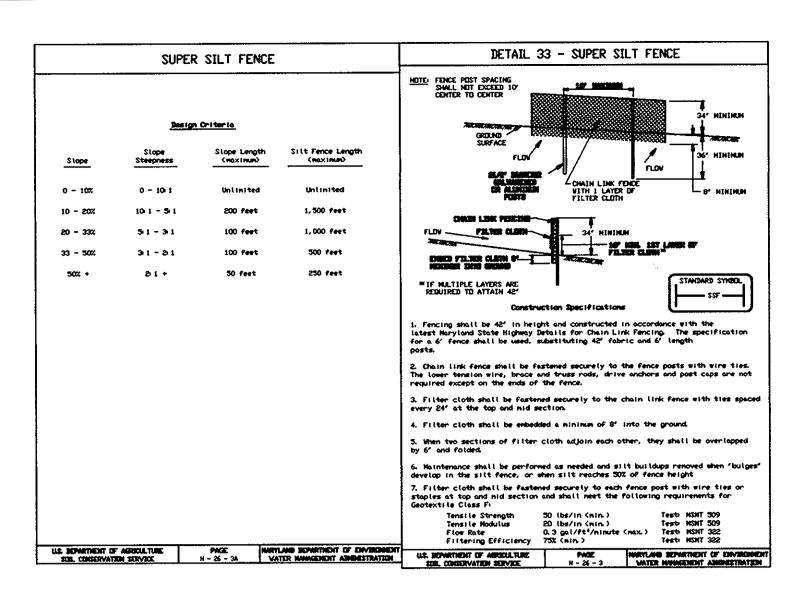
### SEQUENCE OF CONSTRUCTION

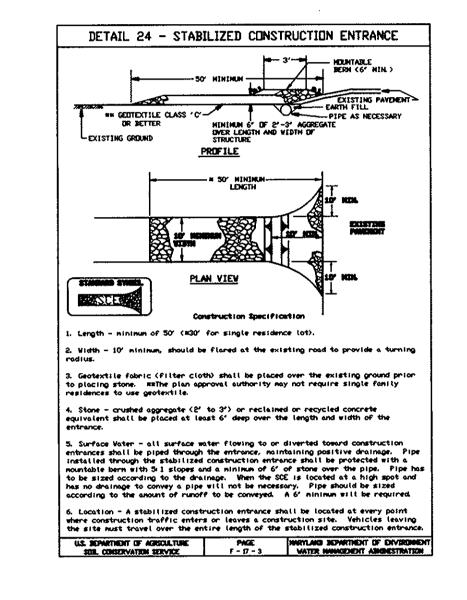
- 1. OBTAIN GRADING PERMIT (1 DAY).
- 2. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AT LOCATION SHOWN (1 DAY).
- CONSTRUCT SILT FENCES AND SUPER SILT FENCES (2 DAYS).
   CONSTRUCT SITE TO GRADES INDICATED WITH PERMISSION
- FROM INSPECTOR BEFORE PROCEEDING (10 DAYS).
- 5. CONSTRUCT HOUSES (90 180 DAYS).
- 7. SEED AND MULCH ALL REMAINING DISTURBED AREAS (1 DAY).

6. COMPLETE FINE GRADING OF SITE TO GRADES INDICATED (2 DAYS).

8. WHEN ALL CONTRIBUTING DRAINAGE AREAS TO SEDIMENT CONTROL DEVICES HAVE BEEN STABILIZED, AND WITH PERMISSION OF SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT CONTROL

DEVICES AND STABILIZE REMAINING DISTURBED AREAS (ONE DAY).





FY, LOTS 1 THRU 4

DWELLINGS

EL 437- GRID 11

HOWARD COINTY MARYLAND

LANCELOTTA PROPERTY, LOTS 1
SINGLE FAMILY DWELLINGS

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NDER & ASSOC., INC.
eers Planners Surveyors
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