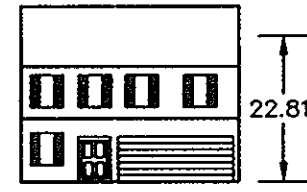
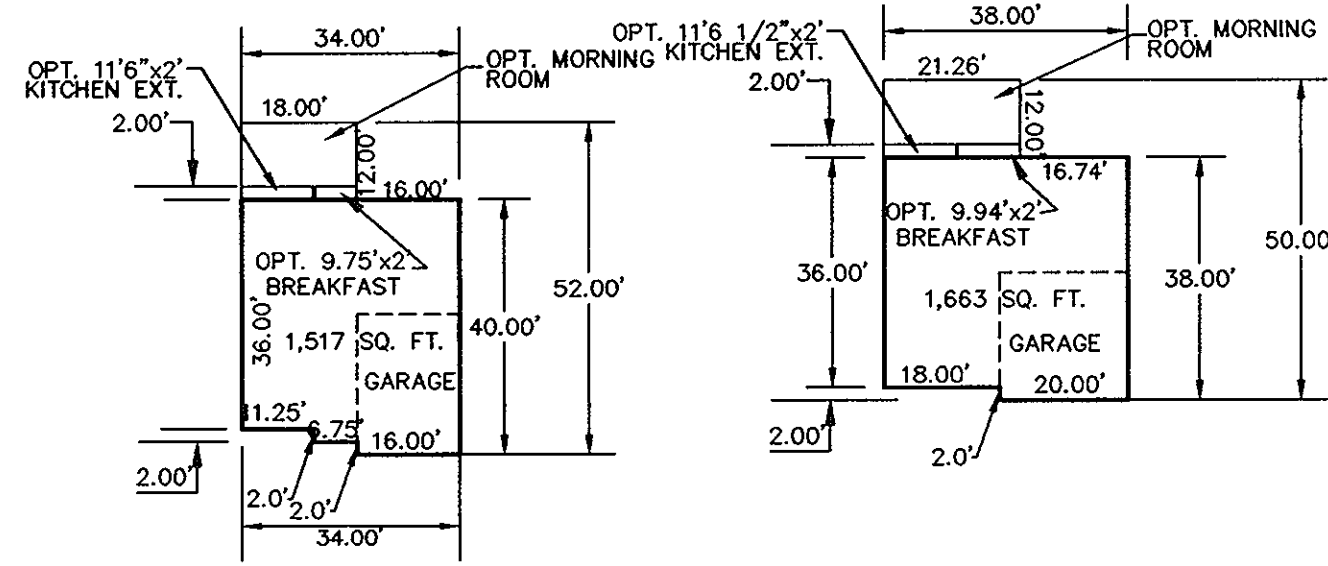


# SITE DEVELOPMENT PLAN

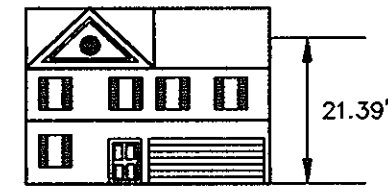
## LANCELOTTA PROPERTY

### LOTS 1 THRU 4

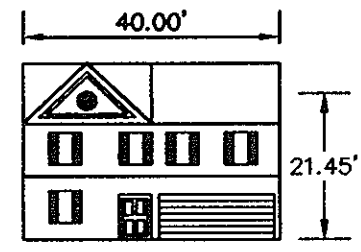
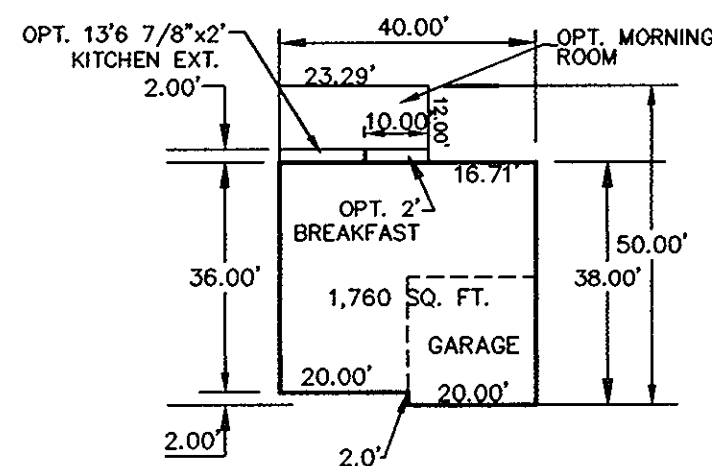
#### 2nd ELECTION DISTRICT



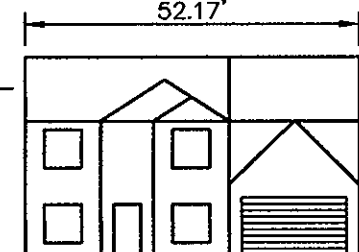
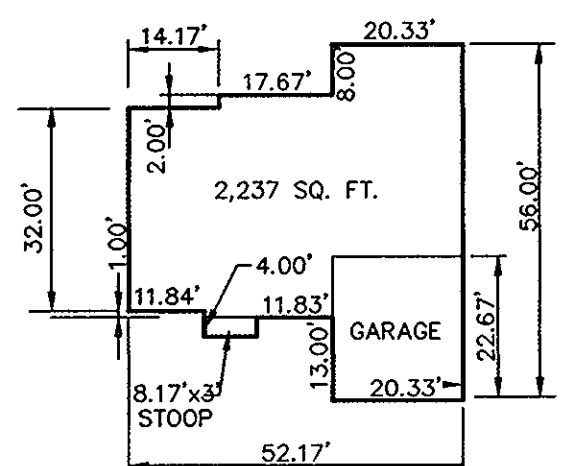
**THE ROCKBURNE 34**  
SCALE 1"=30'



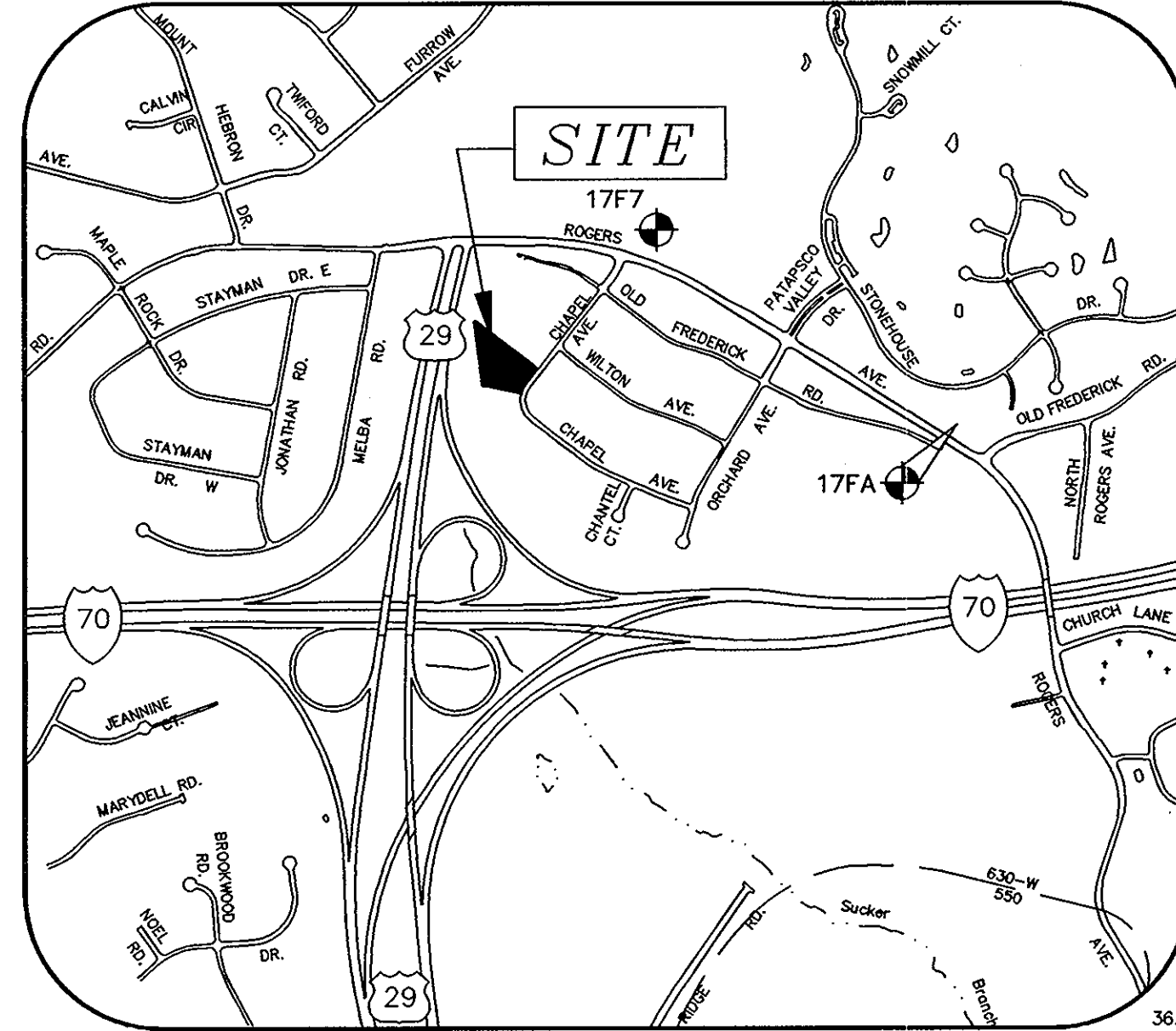
**THE ROCKBURNE 38**  
SCALE 1"=30'



**THE ROCKBURNE 40**  
SCALE 1"=30'



**CENTENNIAL III**  
SCALE 1"=30'



**VICINITY MAP**  
SCALE: 1"=2000'  
ADC MAP: 12-3C



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 17942, EXP. DATE 9/2/10.

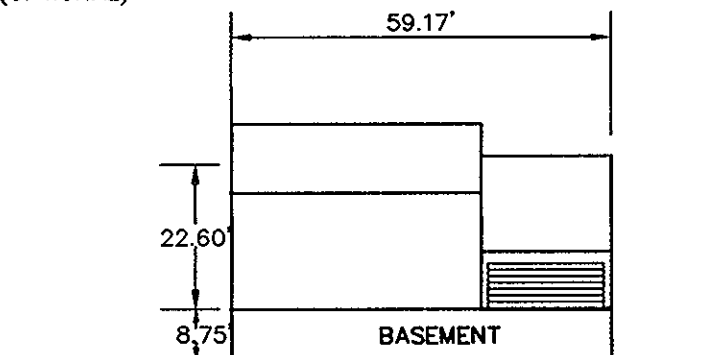
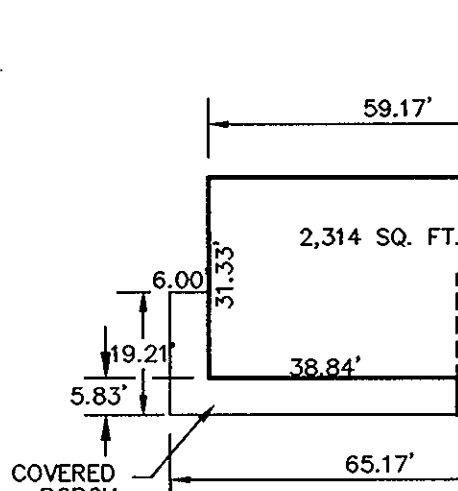
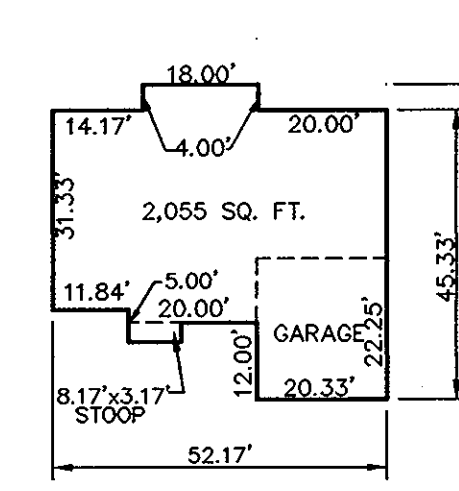
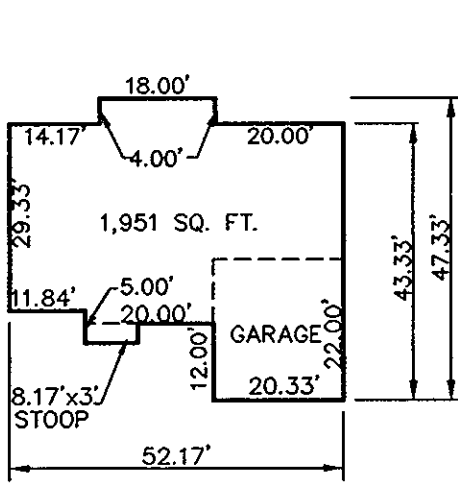
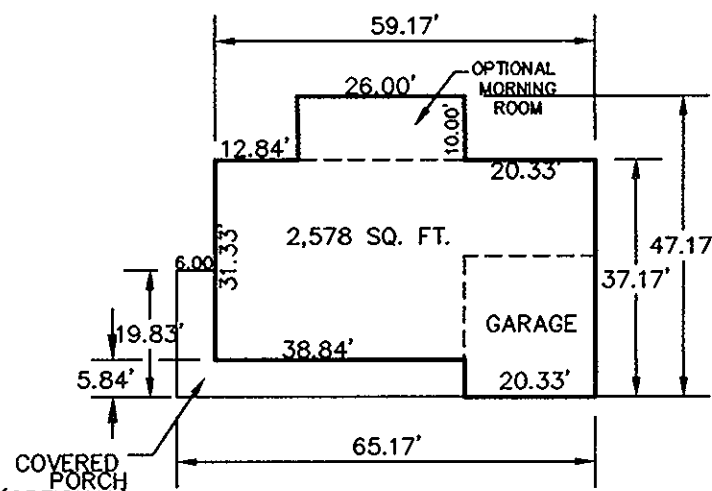
**DEVELOPERS CERTIFICATE**  
I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE NATURAL RESOURCE CONSERVATION SERVICE.

Signature of Developer: *Chad B.* Date: 4/12/09  
Name: CHRISTOPHER BROWN  
Title: PRINTED NAME OF DEVELOPER

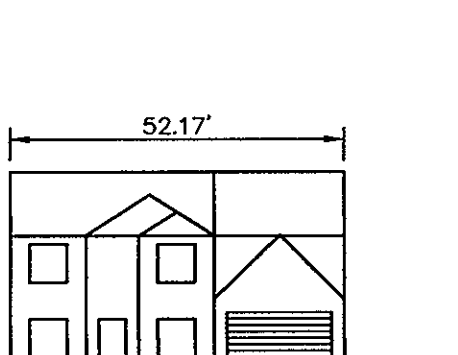
**ENGINEER'S CERTIFICATE**  
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.

Signature of Engineer: *R. Jacob Hikmat* Date: 4/12/09  
Name: R. JACOB HIKMAT  
Title: PRINTED NAME OF ENGINEER

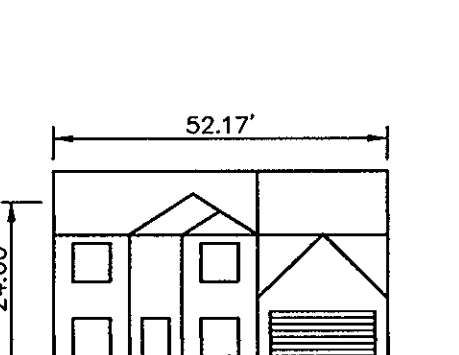
APPROVED: DEPARTMENT OF PLANNING AND ZONING  
Signature: *John K. Whitton* Date: 4/23/09  
Name: JOHN K. WHITTON  
Title: DIRECTOR, DEP.



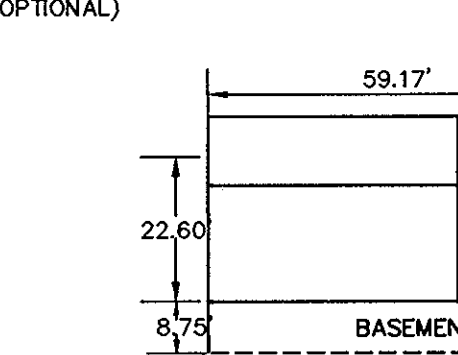
**FULTON II**  
SCALE 1"=30'



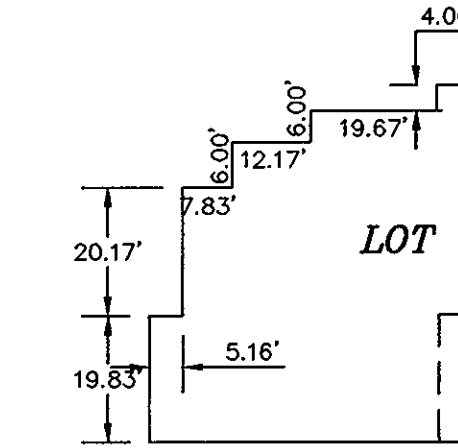
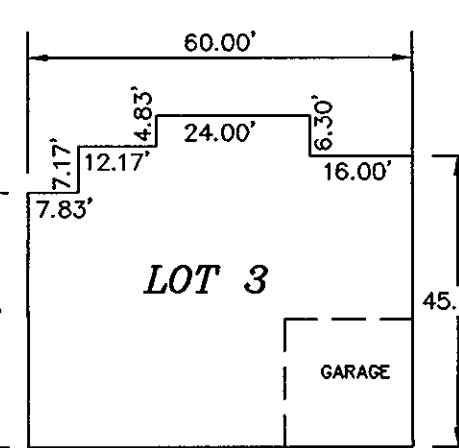
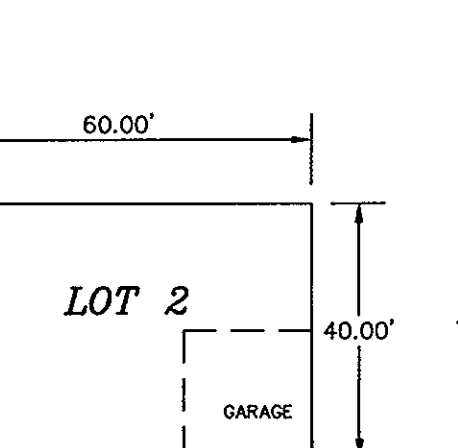
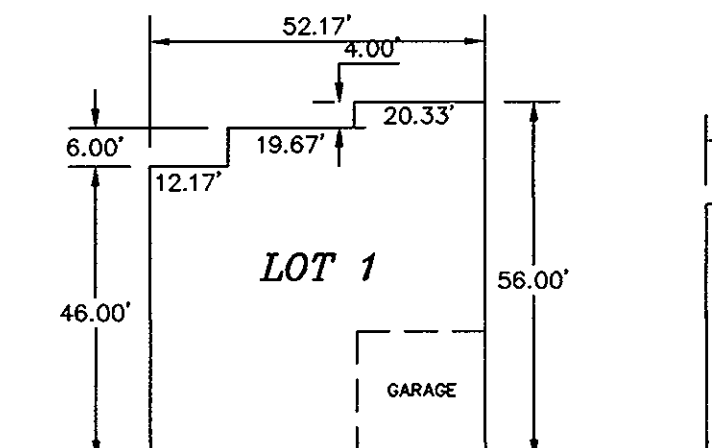
**CENTENNIAL I**  
SCALE 1"=30'



**CENTENNIAL II**  
SCALE 1"=30'



**FULTON I**  
SCALE 1"=30'



**GENERIC BOXES**  
SCALE 1"=30'

GENERIC BOX	CENTENNIAL I	CENTENNIAL II	CENTENNIAL III	FULTON I	FULTON II	ROCKBURNE 34	ROCKBURNE 38	ROCKBURNE 40
LOT 1	ALL OPT.	ALL OPT.	ALL OPT.	DOES NOT FIT	DOES NOT FIT	ALL OPT.	ALL OPT.	ALL OPT.
LOT 2	DOES NOT FIT	DOES NOT FIT	DOES NOT FIT	NO COVERED PORCH	NO COVERED PORCH	NO MORNING ROOM NO KITCHEN/ BREAKFAST RM/EXT.	NO MORNING ROOM	NO MORNING ROOM
LOT 3	ALL OPT.	ALL OPT.	DOES NOT FIT	NO COVERED PORCH	NO COVERED PORCH	ALL OPT.	ALL OPT.	ALL OPT.
LOT 4	ALL OPT.	ALL OPT.	ALL OPT.	ALL OPT.	ALL OPT.	ALL OPT.	ALL OPT.	ALL OPT.

36. THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK:
- MISS UTILITY 1-800-257-7777
  - VERIZON TELEPHONE COMPANY (410) 725-8976
  - HOWARD COUNTY BUREAU OF UTILITIES (410) 313-4900
  - AT&T CABLE LOCATION DIVISION (410) 393-3533
  - BALTIMORE GAS & ELECTRIC (410) 685-0123
  - STATE HIGHWAY ADMINISTRATION (410) 531-5533
  - HOWARD COUNTY DEPT. OF PUBLIC WORKS/CONSTRUCTION INSPECTION DIVISION (410) 313-1880

**OWNER AND DEVELOPER**  
HARMONY BUILDERS INC.  
4228 COLUMBIA ROAD  
ELLCOTT CITY, MD 21042  
410-461-0833

NO.	DESCRIPTION
1	COVER SHEET
2	SITE DEVELOPMENT PLAN
3	EROSION AND SEDIMENT CONTROL NOTES AND DETAILS

LOT/PARCEL NO.	STREET ADDRESS
LOT 1	8957 CHAPEL AVE.
LOT 2	8955 CHAPEL AVE.
LOT 3	8953 CHAPEL AVE.
LOT 4	8951 CHAPEL AVE.

SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL #
LANCELOTTA PROPERTY	N/A	LOTS 1, 2, 3, 4
PLAT # OR L/P	BLOCK #	ZONE
20425-6	11	R-20
TAX MAP	ELEC. DIST.	CENSUS TRACT
17	SECOND	8021.00
WATER CODE	SEWER CODE	

PROPOSED IMPROVEMENTS:  
CONSTRUCT HOUSES, ASSOCIATED GRADING, AND SEDIMENT CONTROL.

- GENERAL NOTES:**
- THE SUBJECT PROPERTY IS ZONED R-20 PER THE 02/02/04 COMPREHENSIVE ZONING PLAN AND "COMP LITE ZONING AMENDMENTS EFFECTIVE 7/28/06.
  - ALL ASPECTS OF THE PROJECT ARE IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS.
  - SITE ANALYSIS DATA:**  
TAX MAP: 17, PARCEL: 437 LOTS: 68 & 69  
ELECTION DISTRICT: SECOND  
ZONING: R-20  
DEED REFERENCE: L. 9192/ F. 169, L. 9192/ F. 172  
TOTAL TRACT AREA: 2.22 AC.±  
NUMBER OF PROPOSED UNITS: 4  
LIMIT OF DISTURBED AREA: 1.71 AC.±  
PROPOSED USE: SINGLE FAMILY DETACHED  
DPZ FILES: F-08-056, WP-08-103
  - ON-SITE TOPOGRAPHY SHOWN HEREON IS BASED ON A FIELD RUN SURVEY CONDUCTED BY SHANABERGER & LANE ON OR ABOUT AUGUST 2007.
  - HORIZONTAL AND VERTICAL DATUMS ARE RELATED TO THE MARYLAND STATE PLANE COORDINATE SYSTEM AS PROJECTED FROM HOWARD COUNTY CONTROL STATIONS NO. 1777 AND 177A  
STATION 1777 STATION 177A  
NORTHING 595,829.6194 NORTHING 594,948.349  
EASTING 1,363,088.3646 EASTING 1,364,626.768  
ELEVATION 469.48 ELEVATION 477.48
  - PUBLIC WATER AND SEWER WILL BE UTILIZED UNDER CONTRACT # 184-S & 70-W.
  - NO WETLANDS EXIST ON SITE AS CERTIFIED BY MILDENBERG, BOENDER & ASSOCIATES, INC. ON 8/25/08.
  - A USE-IN-COMMON MAINTENANCE AGREEMENT FOR LOTS 2 AND 3 HAS BEEN RECORDED IN THE LAND RECORDS OF HOWARD COUNTY, MARYLAND, LIBER. 11496 FOLIO 74.
  - STEEP SLOPES OVER 20,000 SQ. FT. IN AREA DO NOT EXIST ON-SITE.
  - DRIVEWAYS SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:  
A) WIDTH - 12 FEET (16 FEET SERVING MORE THAN ONE RESIDENCE).  
B) SURFACE - 6 INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING.  
C) GEOMETRY - MAXIMUM 14% GRADE, MAXIMUM 10% GRADE CHANGE AND MINIMUM OF 45-FOOT TURNING RADIUS.  
D) STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (125 LOADS).  
E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.  
F) STRUCTURE CLEARANCES - MINIMUM 12 FEET  
G) MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE.
  - FOREST CONSERVATION OBLIGATIONS IN ACCORDANCE WITH SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT FOR THIS SUBDIVISION HAS BEEN FULFILLED BY PAYMENT OF A FEE-IN-LIEU OF 0.93 ACRES (40,510.8 SQ. FT.) OF AFFORESTATION IN THE AMOUNT OF \$30,383.10 TO THE FOREST CONSERVATION FUND UNDER F-08-056.
  - THIS PLAN IS IN COMPLIANCE WITH SECTION 16.124 OF HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL EIGHT (8) SHADE TREES ARE REQUIRED ALONG THE PERIMETER OF LOTS 2-4 AND FIVE (5) STREET TREES ARE REQUIRED ALONG THE FRONTAGE OF CHAPEL AVENUE. SURETY IN THE AMOUNT OF \$3,900.00 WILL BE POSTED AS PART OF THE BUILDER'S GRADING PERMIT.
  - NO CLEARING OF EXISTING VEGETATION IS PERMITTED WITHIN THE LANDSCAPED EDGE FOR WHICH CREDIT IS BEING TAKEN; HOWEVER, LANDSCAPE MAINTENANCE IS AUTHORIZED.
  - SHOULD ANY TREE DESIGNATED FOR PRESERVATION, FOR WHICH LANDSCAPING CREDIT IS GIVEN, DIE PRIOR TO THE USE OF THE SOILS, THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT SPECIES OR WITH A TREE WHICH WILL OBTAIN THE SAME HEIGHT, SPREAD, AND GROWTH CHARACTERISTICS. THE REPLACEMENT TREE MUST BE A MINIMUM OF 2 1/2 TO 3 INCHES IN CALIPER AND INSTALLED AS REQUIRED IN THE LANDSCAPE MANUAL.
  - DRIVEWAY ENTRANCE IS PER HOWARD COUNTY STANDARD DETAIL R-6.06.
  - FOR FLAG OR PIPESTEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPESTEM LOT AND ROAD RIGHT OF WAY LINE AND NOT TO THE PIPESTEM LOT DRIVEWAY.
  - STORMWATER MANAGEMENT IS PROVIDED VIA ROOFTOP, NON-ROOFTOP DISCONNECTION UNDER F-08-056 IN ACCORDANCE WITH THE 2000 MDE STORMWATER DESIGN MANUAL.
  - NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAM(S) OR THEIR BUFFERS, FOREST CONSERVATION EASEMENT AREAS AND 100 YEAR FLOODPLAIN UNLESS APPROVED BY THE DEPARTMENT OF PLANNING AND ZONING OR OTHER APPLICABLE REGULATORY AGENCY.
  - THE OPEN SPACE REQUIREMENT, BASED ON CREATION OF 2 NEW LOTS, HAS BEEN SATISFIED BY PAYMENT OF A FEE-IN-LIEU UNDER F-08-056.
  - THE 65 dBA NOISE CONTOUR LINE DRAWN ON THIS SUBDIVISION PLAN IS ADVISORY AS REQUIRED BY THE HOWARD COUNTY DESIGN MANUAL, AND CANNOT BE CONSIDERED TO EXACTLY LOCATE THE 65 dBA NOISE EXPOSURE. THE 65 dBA NOISE LINE WAS ESTABLISHED BY HOWARD COUNTY TO ALERT DEVELOPERS AND FUTURE RESIDENTS THAT AREA BEYOND THIS THRESHOLD MAY EXCEED GENERALLY ACCEPTED NOISE LEVELS ESTABLISHED BY U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT.
  - NO EXISTING STRUCTURES EXIST ON SITE.
  - THE REAR BUILDING RESTRICTION LINES FOR LOTS 2 AND 3 COINCIDE WITH THE BOUNDARY OF THE 35' ENVIRONMENTAL SETBACK FROM THE 75' STREAM BUFFER IN ACCORDANCE WITH SECTION 16.1201(A)(4) OF THE SUBDIVISION REGULATIONS WHICH PROHIBITS THE BUILDING ENVELOPE TO BE CLOSER THAN 35 FEET FROM ENVIRONMENTAL BUFFERS. THEREFORE, THE DISTANCE FROM THE REAR BUILT TO THE REAR PROPERTY LINES FOR LOTS 2 AND 3 WILL VARY IN DISTANCE AND SHALL NOT BE LESS THAN 50 FEET PER THE R-20 ZONING REGULATIONS.
  - THIS DEVELOPMENT IS DESIGNED TO BE IN ACCORDANCE WITH SECTION 16.127- RESIDENTIAL INFILL DEVELOPMENT- OF SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. THE DEVELOPER OF THIS PROJECT SHALL CREATE COMPATIBILITY WITH THE EXISTING NEIGHBORHOOD THROUGH THE USE OF ENHANCED PERIMETER LANDSCAPING, BERMS, FENCES, SIMILAR HOUSING UNIT TYPES AND THE DIRECTIONAL ORIENTATION OF THE PROJECT AND SHALL IMPROVE THE DESIGN OF THE PROJECT AND ITS RELATIONSHIP TO THE SURROUNDING RESIDENTIAL PROPERTIES BY PROTECTING ENVIRONMENTAL LANDS AND BY INCORPORATION INTO THE DESIGN LOCALLY SIGNIFICANT SITE FEATURES SUCH AS HISTORIC STRUCTURES AND UNIQUE TOPOGRAPHIC FEATURES.
  - THIS R-20 RESIDENTIAL INFILL DEVELOPMENT IS RESTRICTED IN USING OPTIONAL LOT SIZES UNDER SECTION 16.121.(a) OF THE SUBDIVISION REGULATIONS; THEREFORE, THE STREAM BUFFER FROM THE ADJACENT STREAM MAY BE LOCATED ON LOTS 2 AND 3 PROVIDED THAT THE BUILDING ENVELOPE IS NO CLOSER THAN 35 FEET FROM THESE ENVIRONMENTAL FEATURES.
  - THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES, AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
  - AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREWITH LISTED AND APPROVED FOR THIS SITE, SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN WILL RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.
  - THIS PLAN IS SUBJECT TO WAIVER PETITION WP-08-103 SECTIONS 16.132(a)(2),(i),(g), 16.134(b) AND 16.135.(d) WHICH RELIEVES ROAD, SIDEWALK AND STREET LIGHT IMPROVEMENTS TO BE PROVIDED ALONG THE FRONTAGE OF CHAPEL AVENUE, WHICH WAS APPROVED BY THE DIRECTOR OF THE DEPARTMENT OF PLANNING AND ZONING ON MAY 28, 2008. SECTION 16.136 WHICH REQUIRES STREET TREES TO BE PROVIDED ALONG THE FRONTAGE OF CHAPEL AVENUE WAS DENIED ON MAY 28, 2008. THE APPROVAL/DENIAL DECISION OF THE WAIVER REQUEST IS SUBJECT TO THE FOLLOWING:  
1. COMPLIANCE WITH ALL SRC AGENCY COMMENTS GENERATED WITH THE REVIEW OF THE SUBDIVISION.  
2. COMPLIANCE WITH COMMENTS FROM DEVELOPMENT ENGINEERING DIVISION REQUIRING THE PAYMENT OF A FEE-IN-LIEU OF PROVIDING SIDEWALKS ON ONE SIDE ALONG THE FRONTAGE OF CHAPEL AVENUE; AND FOR THE PAYMENT OF A FEE-IN-LIEU OF PROVIDING STREET LIGHTING.  
3. REQUIREMENT FOR PLANTING OF PROVIDING STREET TREES HAS BEEN DENIED BECAUSE THE ADDITION OF STREET TREES WILL ENHANCE RATHER THAN DEDUCT FROM THE STEREOSCOPE ALONG THE FRONTAGE OF THIS INFILL SUBDIVISION, PARTICULARLY SINCE LOT GRADING WILL REMOVE MANY OF THE EXISTING MATURE TREES ALONG THE FRONTAGE OF THIS PROPERTY. A 10' TREE MAINTENANCE EASEMENT, MEASURED FROM THE ROAD RIGHT-OF-WAY, SHALL BE RECORDED ON THE SUBDIVISION PLAN, F-08-056.
  - IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
  - WATER AND SEWER SERVICE TO THESE LOTS WILL BE PROVIDED IN ACCORDANCE WITH SECTION 18.122B OF THE HOWARD COUNTY CODE. PUBLIC WATER AND SEWAGE ALLOCATION WILL BE GRANTED AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT IF CAPACITY IS AVAILABLE.
  - THERE ARE NO HISTORIC STRUCTURES/FEATURES ON SITE. THIS SITE IS NOT ADJACENT TO A DESIGNATED SCENIC ROAD.
  - IN ACCORDANCE WITH THE CONDITIONS OF APPROVAL OF WP-08-103, THE DEVELOPER HAS PAID A FEE-IN-LIEU OF PROVIDING SIDEWALKS ALONG THE FRONTAGE OF CHAPEL AVENUE IN THE AMOUNT OF \$7,500.00 TO ACCOUNT 816-990-7076-5054-901D- CAPITAL PROJECT K-5054.
  - THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/CONSTRUCTION INSPECTIONS AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
  - EXISTING UTILITIES ARE BASED ON CONTRACT # 184-S & 70-W.
  - ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
  - SEWER HOUSE CONNECTIONS SHOWN ARE LOCATED AT THE PROPERTY LINE.

date	project	scale	approval
APR 2009	07-013	MMT	AS SHOWN
		MMT	
		MMT	

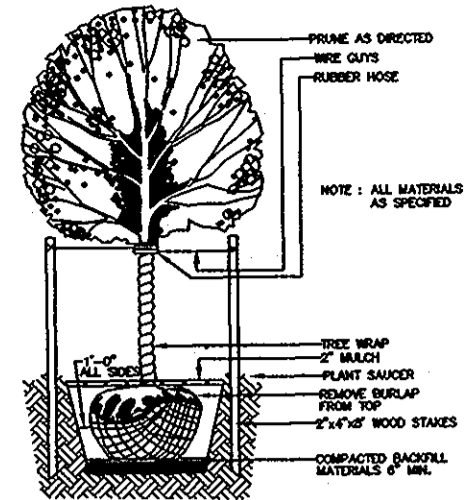
date	description	revisions

**LANCELOTTA PROPERTY LOTS 1 THRU 4**  
SINGLE FAMILY DWELLINGS  
TAX MAP 17 - PARCEL 437 - GRID 11  
HOWARD COUNTY, MARYLAND  
SECOND ELECTION DISTRICT  
COVER SHEET

**MILDENBERG, BOENDER & ASSOC., INC.**  
Engineers Planners Surveyors  
5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland 21042  
(410) 997-0286 Fax: (301) 621-6527 Wash. (410) 997-0286 Fax

**LEGEND**

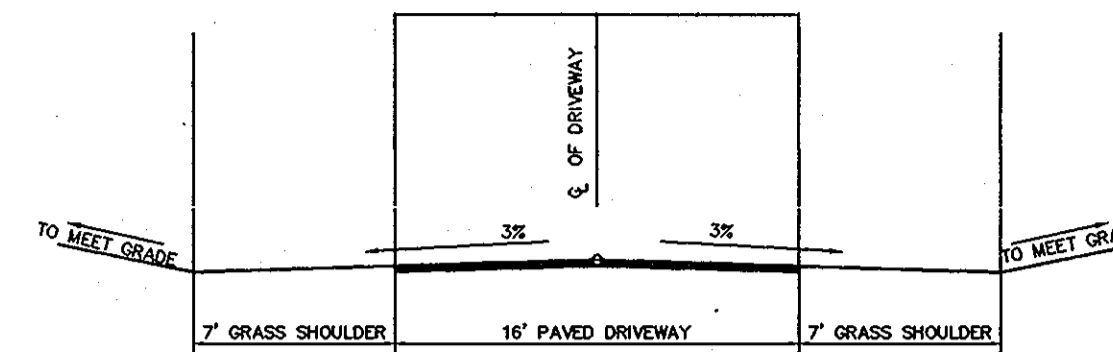
- PROPOSED DRIVEWAY
- USE-IN-COMMON DRIVEWAY EASEMENT
- PROPOSED TREE LINE
- CONCEPTUAL LIMIT OF DISTURBANCE
- EX. TREE LINE
- SUPER SILT FENCE
- STABILIZED CONSTRUCTION ENTRANCE



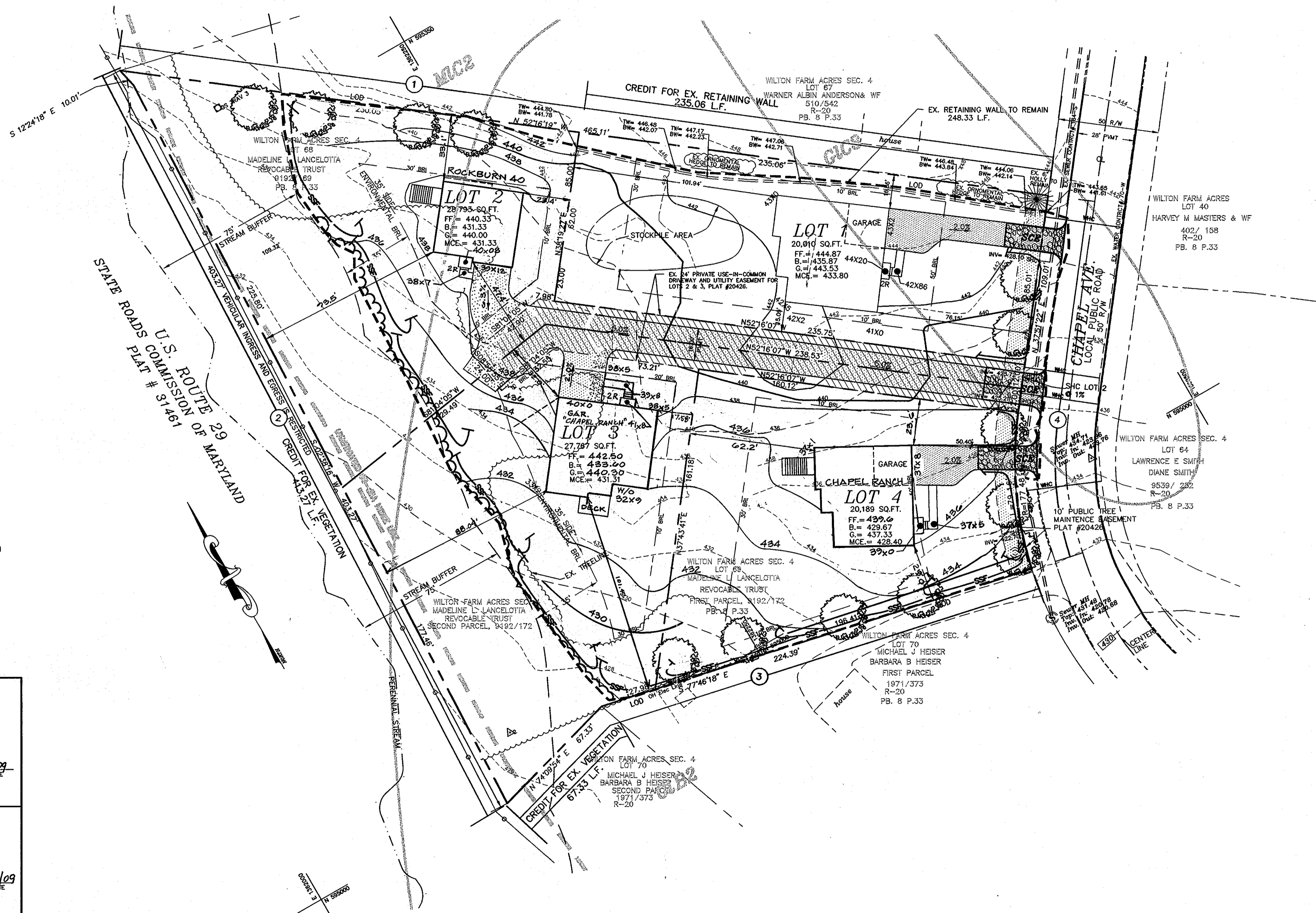
TYPICAL DECIDUOUS TREE PLANTING DETAIL  
NOT TO SCALE

**SOILS DESCRIPTION**

- SYMBOL DESCRIPTION**
- Q12 GLENELG LOAM, 3% TO 8% SLOPES, MODERATELY ERODED --- TYPE B
  - Q13 GLENELG LOAM, 8% TO 15% SLOPES, SEVERELY ERODED --- TYPE B
  - MIC2 MANOR LOAM, 8% TO 15% SLOPES, MODERATELY ERODED --- TYPE B
  - MIC3 MANOR LOAM, 8-15% SLOPES, SEVERELY ERODED --- TYPE B



USE-IN-COMMON DRIVEWAY CROSS SECTION



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 17382, EXP DATE 9/3/10.

**DEVELOPERS CERTIFICATE**

I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE NATURAL RESOURCE CONSERVATION SERVICE.

Signature: Christopher Brown  
DATE: 4/21/09

**ENGINEER'S CERTIFICATE**

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.

Signature: R. Jacob Hikmat  
DATE: 4/21/09

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

Signature: John K. [unclear]  
DATE: 4/22/09

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Signature: [unclear]  
DATE: 4/21/09  
Signature: [unclear]  
DATE: 5/1/09  
Signature: [unclear]  
DATE: 5/1/09

**DEVELOPER'S/OWNER'S CERTIFICATE**

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE IN ACCORDANCE TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF NOTICE, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Signature: [unclear]  
DATE: 4/21/09

**STREET TREE PLANTING SCHEDULE**

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
5		ACER RUBRUM 'RED SUNSET' OR EQUIVALENT	RED SUNSET RED MAPLE	2 1/2" - 3" CAL.
TOTAL				5 SHADE TREES

**LANDSCAPE REQUIREMENT PLANTING SCHEDULE**

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
8		ACER RUBRUM 'RED SUNSET' OR EQUIVALENT	RED SUNSET RED MAPLE	2 1/2" - 3" CAL.
TOTAL				8 SHADE TREES

**SCHEDULE A : PERIMETER LANDSCAPED EDGE**

CATEGORY	ADJACENT TO PERIMETER PROPERTIES				TOTALS
	A (PERIMETER 1)	A (PERIMETER 2)	A (PERIMETER 3)	ROADWAY (PERIMETER 4)	
LANDSCAPE TYPE	465.11 LF	413.27 LF	291.72 LF	188.17 LF	
LINEAR FEET OF PERIMETER					
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET)	NO	YES 413.27' EX. TREES	YES 67.33' EX. TREES	NO	
CREDIT FOR WALL, FENCE, OR BERM (YES, NO, LINEAR FEET)	YES 235.06' EX. RETAINING WALL	NO	NO	NO	
NUMBER OF PLANTS REQUIRED	4 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	0 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	4 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	5 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	13 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS
NUMBER OF PLANTS PROVIDED	4 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS (10:1 SUBSTITUTION)	0 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	4 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	5 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	13 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS

**OWNER AND DEVELOPER**

HARMONY BUILDERS INC.  
4228 COLUMBIA ROAD  
ELLICOTT CITY, MD 21042  
410-461-0833

date	APR. 2009
project	07-013
illustration	MMT
scale	1" = 30'

no.	1	date	4/16/09
description	REV. GRP. LOT 4 TO MATCH AS-BUILT CONDS	revision	1
no.	2	date	4/16/09
description	REVISE GRASSING LOT 5 TO MATCH AS-BUILT CONDS	revision	2
no.	3	date	4/16/09
description	APD. CHAPEL RANCH TO LOT 3	revision	3

**LANCELOTTA PROPERTY, LOTS 1 THRU 4**  
SINGLE FAMILY DWELLINGS  
TAX MAP 17 - PARCEL 437 - GRID 11  
SECOND ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND  
SITE DEVELOPMENT PLAN

**MILDENBERG, BOENDER & ASSOC., INC.**  
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