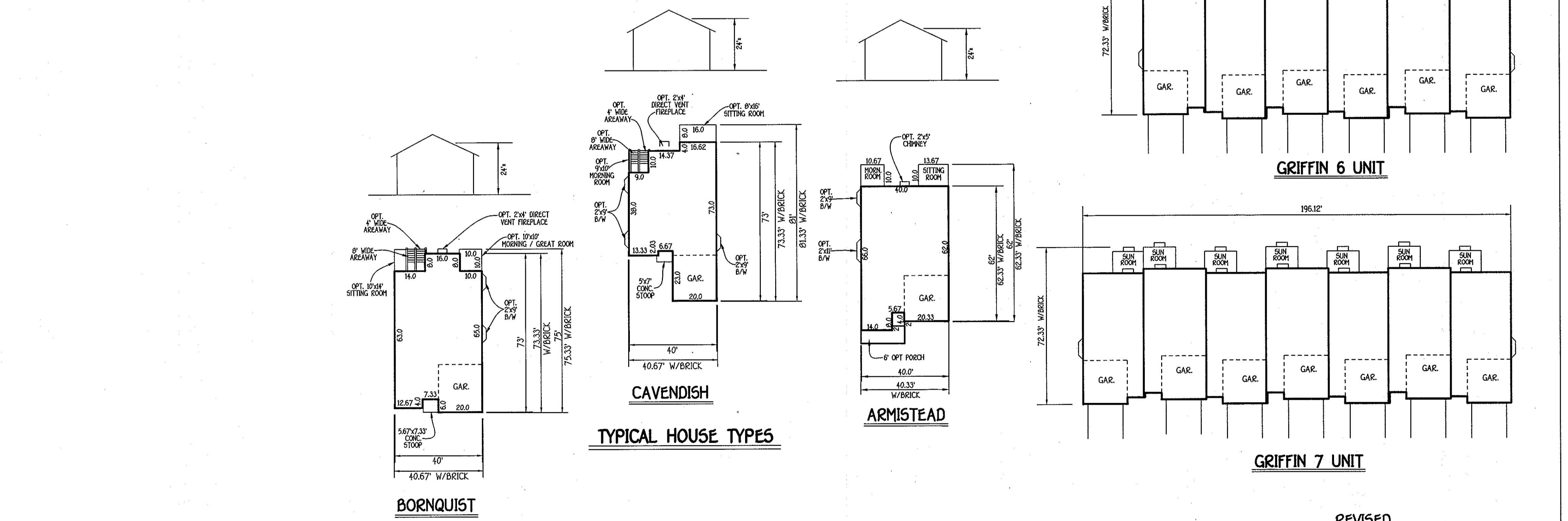
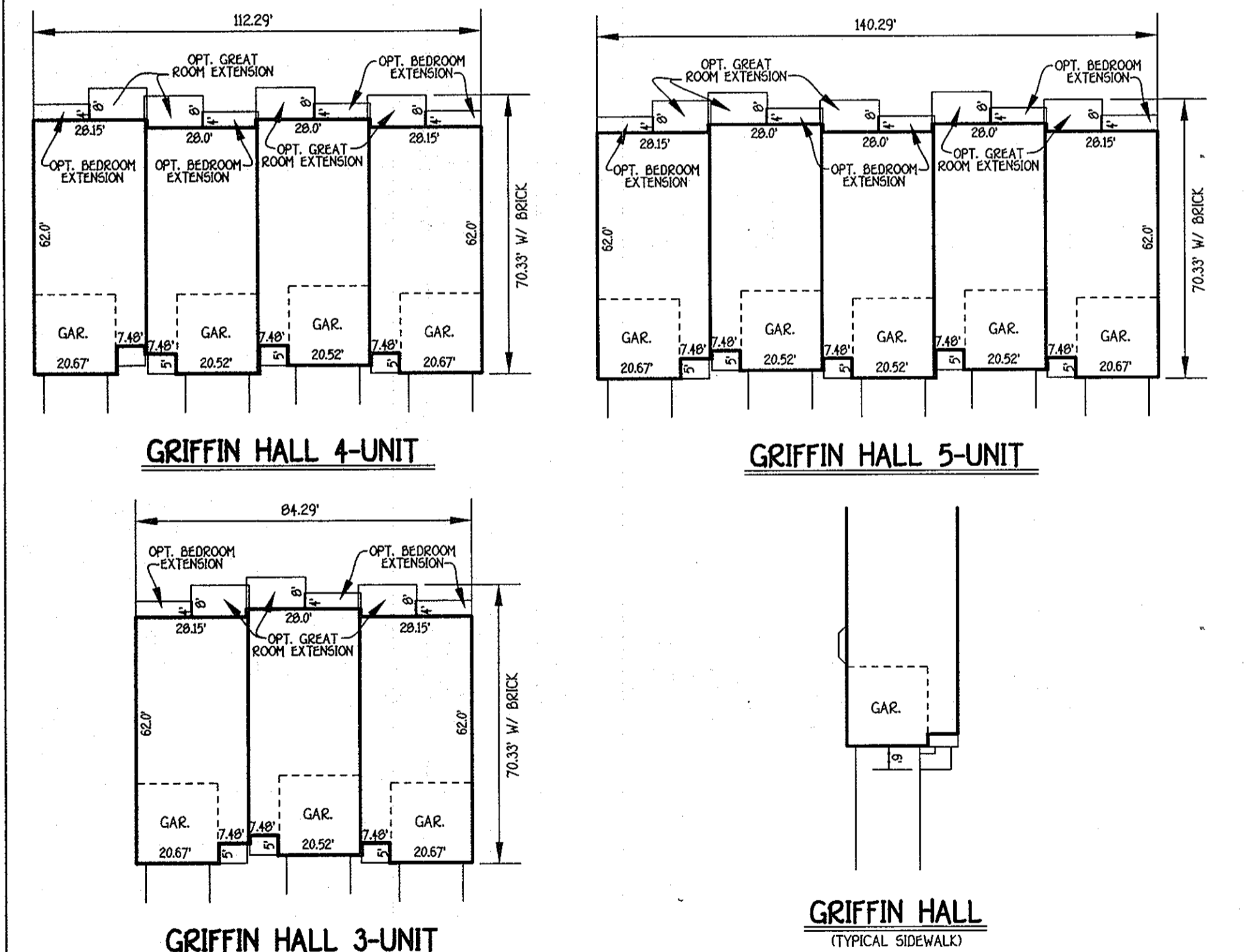
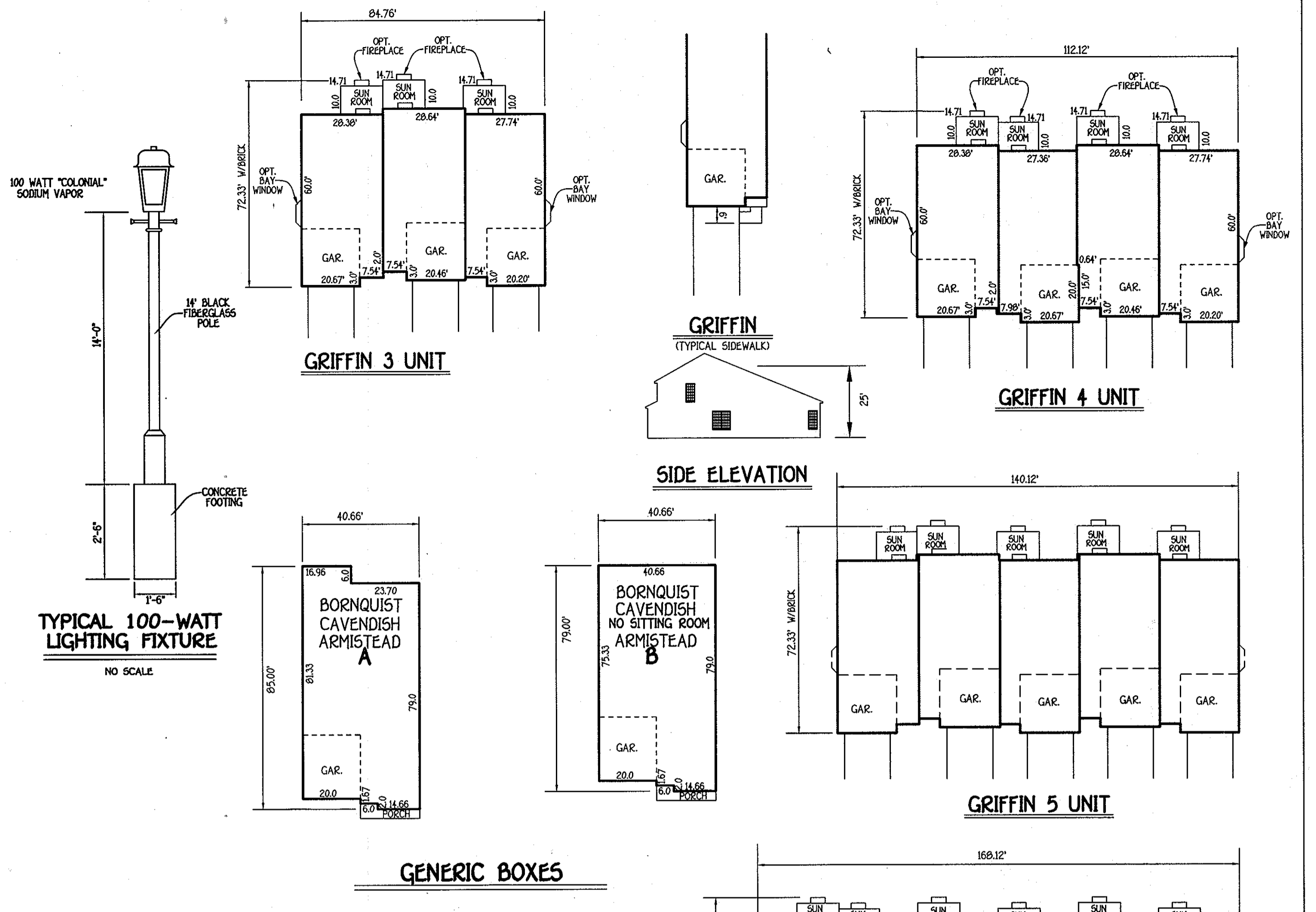


STREET ADDRESS CHART																	
UNIT NO.	LOT NO.	STREET ADDRESS	PHASE	UNIT NO.	LOT NO.	STREET ADDRESS	PHASE	UNIT NO.	LOT NO.	STREET ADDRESS	PHASE	UNIT NO.	LOT NO.	STREET ADDRESS	PHASE		
1	5	2321 ADAM DAVID WAY	2	71	137	2403 ANDERSON HILL STREET	3	141	2593 SOPHIA CHASE DRIVE	5	211	54	1122 GENTLE ROLLING DRIVE	2	281	1166 GENTLE ROLLING DRIVE	3
2	6	2322 ADAM DAVID WAY	2	72	138	2404 ANDERSON HILL STREET	3	142	2594 SOPHIA CHASE DRIVE	5	212	55	1123 GENTLE ROLLING DRIVE	2	282	2311 NOAH FINN ROAD	4
3	7	2323 ADAM DAVID WAY	2	73	139	2405 ANDERSON HILL STREET	3	143	2595 SOPHIA CHASE DRIVE	5	213	56	2911 GREAT ALEXANDER STREET	3	283	2307 NOAH FINN ROAD	4
4	8	2324 ADAM DAVID WAY	2	74	140	2406 ANDERSON HILL STREET	3	144	2596 SOPHIA CHASE DRIVE	5	214	57	2909 GREAT ALEXANDER STREET	3	284	2303 NOAH FINN ROAD	4
5	9	2325 ADAM DAVID WAY	2	75	141	2407 ANDERSON HILL STREET	3	145	2597 SOPHIA CHASE DRIVE	5	215	58	2907 GREAT ALEXANDER STREET	3	285	1124 GENTLE ROLLING DRIVE	3
6	10	2326 ADAM DAVID WAY	2	76	142	2408 ANDERSON HILL STREET	3	146	2598 SOPHIA CHASE DRIVE	5	216	59	2905 GREAT ALEXANDER STREET	3	286	1123 GENTLE ROLLING DRIVE	3
7	11	2327 ADAM DAVID WAY	2	77	143	2409 ANDERSON HILL STREET	3	147	2599 SOPHIA CHASE DRIVE	5	217	60	2903 GREAT ALEXANDER STREET	3	287	1122 GENTLE ROLLING DRIVE	3
8	12	2328 ADAM DAVID WAY	2	78	144	2410 ANDERSON HILL STREET	3	148	2600 SOPHIA CHASE DRIVE	5	218	61	2403 SOPHIA CHASE DRIVE	5	288	1124 GENTLE ROLLING DRIVE	3
9	13	2329 ADAM DAVID WAY	2	79	145	2411 ANDERSON HILL STREET	3	149	2601 SOPHIA CHASE DRIVE	5	219	62	2311 ANDERSON HILL STREET	3	289	1125 GENTLE ROLLING DRIVE	3
10	14	2330 ADAM DAVID WAY	2	80	146	2412 ANDERSON HILL STREET	3	150	2602 SOPHIA CHASE DRIVE	5	220	63	2312 ANDERSON HILL STREET	3	290	2406 SOPHIA CHASE DRIVE	4
11	15	2331 ADAM DAVID WAY	2	81	147	2413 ANDERSON HILL STREET	3	151	2603 SOPHIA CHASE DRIVE	5	221	64	2313 ANDERSON HILL STREET	3	291	2407 SOPHIA CHASE DRIVE	4
12	16	2332 ADAM DAVID WAY	2	82	148	2414 ANDERSON HILL STREET	3	152	2604 SOPHIA CHASE DRIVE	5	222	65	2314 ANDERSON HILL STREET	3	292	2408 SOPHIA CHASE DRIVE	4
13	17	2333 ADAM DAVID WAY	2	83	149	2415 ANDERSON HILL STREET	3	153	2605 SOPHIA CHASE DRIVE	5	223	66	2315 ANDERSON HILL STREET	3	293	2409 SOPHIA CHASE DRIVE	4
14	18	2334 ADAM DAVID WAY	2	84	150	2416 ANDERSON HILL STREET	3	154	2606 SOPHIA CHASE DRIVE	5	224	67	2316 ANDERSON HILL STREET	3	294	2410 SOPHIA CHASE DRIVE	4
15	19	2335 ADAM DAVID WAY	2	85	151	2417 ANDERSON HILL STREET	3	155	2607 SOPHIA CHASE DRIVE	5	225	68	2317 ANDERSON HILL STREET	3	295	2411 SOPHIA CHASE DRIVE	4
16	20	2336 ADAM DAVID WAY	2	86	152	2418 ANDERSON HILL STREET	3	156	2608 SOPHIA CHASE DRIVE	5	226	69	2318 ANDERSON HILL STREET	3	296	2412 SOPHIA CHASE DRIVE	4
17	21	2337 ADAM DAVID WAY	2	87	153	2419 ANDERSON HILL STREET	3	157	2609 SOPHIA CHASE DRIVE	5	227	70	2319 ANDERSON HILL STREET	3	297	2413 SOPHIA CHASE DRIVE	4
18	22	2338 ADAM DAVID WAY	2	88	154	2420 ANDERSON HILL STREET	3	158	2610 SOPHIA CHASE DRIVE	5	228	71	2320 ANDERSON HILL STREET	3	298	2414 SOPHIA CHASE DRIVE	4
19	23	2339 ADAM DAVID WAY	2	89	155	2421 ANDERSON HILL STREET	3	159	2611 SOPHIA CHASE DRIVE	5	229	72	2321 ANDERSON HILL STREET	3	299	2415 SOPHIA CHASE DRIVE	4
20	24	2340 ADAM DAVID WAY	2	90	156	2422 ANDERSON HILL STREET	3	160	2612 SOPHIA CHASE DRIVE	5	230	73	2322 ANDERSON HILL STREET	3	300	2416 SOPHIA CHASE DRIVE	4
21	25	2341 ADAM DAVID WAY	2	91	157	2423 ANDERSON HILL STREET	3	161	2613 SOPHIA CHASE DRIVE	5	231	74	2323 ANDERSON HILL STREET	3	301	2417 SOPHIA CHASE DRIVE	4
22	26	2342 ADAM DAVID WAY	2	92	158	2424 ANDERSON HILL STREET	3	162	2614 SOPHIA CHASE DRIVE	5	232	75	2324 ANDERSON HILL STREET	3	302	2418 SOPHIA CHASE DRIVE	4
23	27	2343 ADAM DAVID WAY	2	93	159	2425 ANDERSON HILL STREET	3	163	2615 SOPHIA CHASE DRIVE	5	233	76	2325 ANDERSON HILL STREET	3	303	2419 SOPHIA CHASE DRIVE	4
24	28	2344 ADAM DAVID WAY	2	94	160	2426 ANDERSON HILL STREET	3	164	2616 SOPHIA CHASE DRIVE	5	234	77	2326 ANDERSON HILL STREET	3	304	2420 SOPHIA CHASE DRIVE	4
25	29	2345 ADAM DAVID WAY	2	95	161	2427 ANDERSON HILL STREET	3	165	2617 SOPHIA CHASE DRIVE	5	235	78	2327 ANDERSON HILL STREET	3	305	2421 SOPHIA CHASE DRIVE	4
26	30	2346 ADAM DAVID WAY	2	96	162	2428 ANDERSON HILL STREET	3	166	2618 SOPHIA CHASE DRIVE	5	236	79	2328 ANDERSON HILL STREET	3	306	2422 SOPHIA CHASE DRIVE	4
27	31	2347 ADAM DAVID WAY	2	97	163	2429 ANDERSON HILL STREET	3	167	2619 SOPHIA CHASE DRIVE	5	237	80	2329 ANDERSON HILL STREET	3	307	2423 SOPHIA CHASE DRIVE	4
28	32	2348 ADAM DAVID WAY	2	98	164	2430 ANDERSON HILL STREET	3	168	2620 SOPHIA CHASE DRIVE	5	238	81	2330 ANDERSON HILL STREET	3	308	2424 SOPHIA CHASE DRIVE	4
29	33	2349 ADAM DAVID WAY	2	99	165	2431 ANDERSON HILL STREET	3	169	2621 SOPHIA CHASE DRIVE	5	239	82	2331 ANDERSON HILL STREET	3	309	2425 SOPHIA CHASE DRIVE	4
30	34	2350 ADAM DAVID WAY	2	100	166	2432 ANDERSON HILL STREET	3	170	2622 SOPHIA CHASE DRIVE	5	240	83	2332 ANDERSON HILL STREET	3	310	2426 SOPHIA CHASE DRIVE	4
31	35	2351 ADAM DAVID WAY	2	101	167	2433 ANDERSON HILL STREET	3	171	2623 SOPHIA CHASE DRIVE	5	241	84	2333 ANDERSON HILL STREET	3	311	2427 SOPHIA CHASE DRIVE	4
32	36	2352 ADAM DAVID WAY	2	102	168	2434 ANDERSON HILL STREET	3	172	2624 SOPHIA CHASE DRIVE	5	242	85	2334 ANDERSON HILL STREET	3	312	2428 SOPHIA CHASE DRIVE	4
33	37	2353 ADAM DAVID WAY	2	103	169	2435 ANDERSON HILL STREET	3	173	2625 SOPHIA CHASE DRIVE	5	243	86	2335 ANDERSON HILL STREET	3	313	2429 SOPHIA CHASE DRIVE	4
34	38	2354 ADAM DAVID WAY	2	104	170	2436 ANDERSON HILL STREET	3	174	2626 SOPHIA CHASE DRIVE	5	244	87	2336 ANDERSON HILL STREET	3	314	2430 SOPHIA CHASE DRIVE	4
35	39	2355 ADAM DAVID WAY	2	105	171	2437 ANDERSON HILL STREET	3	175	2627 SOPHIA CHASE DRIVE	5	245	88	2337 ANDERSON HILL STREET	3	315	2431 SOPHIA CHASE DRIVE	4
36	40	2356 ADAM DAVID WAY	2	106	172	2438 ANDERSON HILL STREET	3	176	2628 SOPHIA CHASE DRIVE	5	246	89	2338 ANDERSON HILL STREET	3	316	2432 SOPHIA CHASE DRIVE	4
37	41	2357 ADAM DAVID WAY	2	107	173	2439 ANDERSON HILL STREET	3	177	2629 SOPHIA CHASE DRIVE	5	247	90	2339 ANDERSON HILL STREET	3	317	2433 SOPHIA CHASE DRIVE	4
38	42	2358 ADAM DAVID WAY	2	108	174	2440 ANDERSON HILL STREET	3	178	2630 SOPHIA CHASE DRIVE	5	248	91	2340 ANDERSON HILL STREET	3	318	2434 SOPHIA CHASE DRIVE	4
39	43	2359 ADAM DAVID WAY	2	109	175	2441 ANDERSON HILL STREET	3	179	2631 SOPHIA CHASE DRIVE	5	249	92	2341 ANDERSON HILL STREET	3	319	2435 SOPHIA CHASE DRIVE	4
40	44	11105 GENTLE ROLLING DRIVE	2	110	2457 SOPHIA CHASE DRIVE	4	180	2647 SOPHIA CHASE DRIVE	5	250	107	2436 WALKING JANELLE WAY	3	320	11295 BARNESLEY WAY	4	
41	45	11109 GENTLE ROLLING DRIVE	2	111	2458 SOPHIA CHASE DRIVE	4	181	2648 SOPHIA CHASE DRIVE	5	251	108	2437 WALKING JANELLE WAY	3	321	11296 BARNESLEY WAY	4	
42	46	11113 GENTLE ROLLING DRIVE	2	112	2459 SOPHIA CHASE DRIVE	4	182	2649 SOPHIA CHASE DRIVE	5	252	109	2438 WALKING JANELLE WAY	3	322	11297 BARNESLEY WAY	4	
43	47	11117 GENTLE ROLLING DRIVE	2	113	2460 SOPHIA CHASE DRIVE	4	183	2650 SOPHIA CHASE DRIVE	5	253	110	2439 WALKING JANELLE WAY	3	323	11298 BARNESLEY WAY	4	
44	48	11121 GENTLE ROLLING DRIVE	2	114	2461 SOPHIA CHASE DRIVE	4	184	2651 SOPHIA CHASE DRIVE	5	254	111	2440 WALKING JANELLE WAY	3	324	11299 BARNESLEY WAY	4	
45	49	11125 GENTLE ROLLING DRIVE	2	115	2462 SOPHIA CHASE DRIVE	4	185	2652 SOPHIA CHASE DRIVE	5	255	112	2441 WALKING JANELLE WAY	3	325	11300 BARNESLEY WAY	4	
46	50	11129 GENTLE ROLLING DRIVE	2	116	2463 SOPHIA CHASE DRIVE	4	186	2653 SOPHIA CHASE DRIVE	5	256	113	2442 WALKING JANELLE WAY	3	326	11301 BARNESLEY WAY	4	
47	51	11133 GENTLE ROLLING DRIVE	2	117	2464 SOPHIA CHASE DRIVE	4	187	2654 SOPHIA CHASE DRIVE	5	257	114	2443 WALKING JANELLE WAY	3	327	11302 BARNESLEY WAY	4	
48	52	11137 GENTLE ROLLING DRIVE	2	118	2465 SOPHIA CHASE DRIVE	4	188	2655 SOPHIA CHASE DRIVE	5	258	115	2444 WALKING JANELLE WAY	3	328	11303 BARNESLEY WAY	4	
49	53	2315 ANDERSON HILL STREET	3	119	2466 SOPHIA CHASE DRIVE	4	189	2656 SOPHIA CHASE DRIVE	5	259	116	2445 WALKING JANELLE WAY	3	329	2432 ANDERSON HILL STREET	3	
50	54	2317 ANDERSON HILL STREET	3	120	2467 SOPHIA CHASE DRIVE	4	190	2657 SOPHIA CHASE DRIVE	5	260	117	2446 WALKING JANELLE WAY	3	330	2433 ANDERSON HILL STREET	3	
51	55	2319 ANDERSON HILL STREET	3	121	2468 SOPHIA CHASE DRIVE	4	191	2658 SOPHIA CHASE DRIVE	5	261	118	2447 WALKING JANELLE WAY	3	331	2434 ANDERSON HILL STREET	3	
52	56	2321 ANDERSON HILL STREET	3	122	2469 SOPHIA CHASE DRIVE	4	192	2659 SOPHIA CHASE DRIVE	5	262	119	2448 WALKING JANELLE WAY	3	332	2435 ANDERSON HILL STREET	3	
53	57	2323 ANDERSON HILL STREET	3	123	2470 SOPHIA CHASE DRIVE	4	193	2660 SOPHIA CHASE DRIVE	5	263	120	2449 WALKING JANELLE WAY	3	333	2436 ANDERSON HILL STREET	3	
54	58	2325 ANDERSON HILL STREET	3	124	2471 SOPHIA CHASE DRIVE	4	194	2661 SOPHIA CHASE DRIVE	5	264	121	2450 WALKING JANELLE WAY	3	334	2437 ANDERSON HILL STREET	3	
55	59	2327 ANDERSON HILL STREET	3	125	2472 SOPHIA CHASE DRIVE	4	195	2662 SOPHIA CHASE DRIVE	5	265	122	2451 WALKING JANELLE WAY	3	335	2438 ANDERSON HILL STREET	3	
56	60	2329 ANDERSON HILL STREET	3	126	2473 SOPHIA CHASE DRIVE	4	196	2663 SOPHIA CHASE DRIVE	5	266	123	2452 WALKING JANELLE WAY	3	336	2439 ANDERSON HILL STREET	3	
57	61	2331 ANDERSON HILL STREET	3	127	2474 SOPHIA CHASE DRIVE	4	197	2664 SOPHIA CHASE DRIVE	5	267	124	2453 WALKING JANELLE WAY	3	337	2440 ANDERSON HILL STREET	3	
58	62	2333 ANDERSON HILL STREET	3	128	2475 SOPHIA CHASE DRIVE	4	198	2665 SOPHIA CHASE DRIVE	5	268	125	2454 WALKING JANELLE WAY	3	338	2441 ANDERSON HILL STREET	3	
59	63	2335 ANDERSON HILL STREET	3	129	2476 SOPHIA CHASE DRIVE	4	199	2666 SOPHIA CHASE DRIVE	5	269	126	2455 WALKING JANELLE WAY	3	339	2442 ANDERSON HILL STREET	3	
60	64	2337 ANDERSON HILL STREET	3	130	2477 SOPHIA CHASE DRIVE	4	200	2667 SOPHIA CHASE DRIVE	5	270	127	2456 WALKING JANELLE WAY	3	340	2443 ANDERSON HILL STREET	3	
61	65	2339 ANDERSON HILL STREET	3	131	2478 SOPHIA CHASE DRIVE	4	201	2668 SOPHIA CHASE DRIVE	5	271	128	2457 WALKING JANELLE WAY	3	341	2444 ANDERSON HILL STREET	3	
62	66	2341 ANDERSON HILL STREET	3	132	2479 SOPHIA CHASE DRIVE	4	202	2669 SOPHIA CHASE DRIVE	5	272	129	2458 WALKING JANELLE WAY	3	342	2445 ANDERSON HILL STREET	3	
63	67	2343 ANDERSON HILL STREET	3	133	2480 SOPHIA CHASE DRIVE	4	203	2670 SOPHIA CHASE DRIVE	5	273	130	2459 WALKING JANELLE WAY	3	343	2446 ANDERSON HILL STREET	3	
64	68	2345 ANDERSON HILL STREET	3	134	2481 SOPHIA CHASE DRIVE	4	204	2671 SOPHIA CHASE DRIVE	5	274	131	2460 WALKING JANELLE WAY	3	344	2447 ANDERSON HILL STREET	3	
65	69	2347 ANDERSON HILL STREET	3	135	2482 SOPHIA CHASE DRIVE	4	205	2672 SOPHIA CHASE DRIVE	5	275	132	2461 WALKING JANELLE WAY	3	345	2448 ANDERSON HILL STREET	3	
66	70	2349 ANDERSON HILL STREET	3	136	2483 SOPHIA CHASE DRIVE	4	206	2673 SOPHIA CHASE DRIVE	5	276	133	2462 WALKING JANELLE WAY	3	346	2449 ANDERSON HILL STREET	3	
67	71	2351 ANDERSON HILL STREET	3	137	2484 SOPHIA CHASE DRIVE	4	207	2674 SOPHIA CHASE DRIVE	5	277	134	2463 WALKING JANELLE WAY	3	347	2450 ANDERSON HILL STREET	3	
68	72	2353 ANDERSON HILL STREET	3	138	2485 SOPHIA CHASE DRIVE	4	208	2675 SOPHIA CHASE DRIVE	5	278	135	2464 WALKING JANELLE WAY	3	348	2451 ANDERSON HILL STREET	3	
69	73	2355 ANDERSON HILL STREET	3	139	2486 SOPHIA CHASE DRIVE	4	209	2676 SOPHIA CHASE DRIVE	5	279	136	2465 WALKING JANELLE WAY	3	349	2452 ANDERSON HILL STREET	3	
70	74	2357 ANDERSON HILL STREET	3	140	2487 SOPHIA CHASE DRIVE	4	210	2677 SOPHIA CHASE DRIVE	5	280	137	2466 WALKING JANELLE WAY	3	350	2453 ANDERSON HILL STREET	3	



NO.	REV.	TO ADD FEE SIMPLE LOTS PER F-102-089 AND ADD GRIFFIN HALL
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PLAN
SCALE 1"=30'

SEE L.O.D. ON SEDIMENT
EROSION CONTROL PLAN
ON SHEET 17

SYMBOL	DESCRIPTION
(Symbol)	EXISTING CONTOUR 2' INTERVAL
(Symbol)	PROPOSED CONTOUR 2' INTERVAL
(Symbol)	SPOT ELEVATION
(Symbol)	WALKOUT BASEMENT
(Symbol)	5'-0" SLOPE
(Symbol)	5'-0" SLOPE
(Symbol)	EROSION CONTROL MATTING
(Symbol)	LIMIT OF DISTURBANCE
(Symbol)	STREET LIGHT PER F-09-057
(Symbol)	UNUTILIZED EROSION HOSE LINE
(Symbol)	PROPOSED STORM DRAIN PIPE
(Symbol)	PROPOSED SEWER
(Symbol)	1% TO 24.9% Slope
(Symbol)	EXISTING LANDSCAPING PER F-09-057
(Symbol)	EXISTING STREET TREES PER F-09-057
(Symbol)	REVERSE GUTTER PAN SLOPE
(Symbol)	EXISTING STORMDRAIN
(Symbol)	EXISTING WATERS
(Symbol)	EXISTING WATER & SEWER UTILITY EASEMENT
(Symbol)	EXISTING STREET TREES PER SDP-09-037
(Symbol)	EXISTING LANDSCAPING PER SDP-09-037
(Symbol)	FOREST CONSERVATION
(Symbol)	FOREST CONSERVATION PLANTING
(Symbol)	COMBINATION SUPER SILT FENCE AND TREE PROTECTION
(Symbol)	55F/TP SUPER SILT FENCE

Q CURVE DATA

ROAD NAME	STATION TO STATION	RADIUS	LENGTH	DELTA	TANGENT	NORTHING & EASTING
EX. ADAM DAVID WAY	STA. 0+00.00 TO STA. 2+28.67	R=500.00	L=228.67	41°19'37"	TAN=100.00	CHORD=500.00
EX. ADAM DAVID WAY	STA. 2+28.67 TO STA. 4+50.02	R=500.00	L=221.35	25°21'55"	TAN=100.00	CHORD=500.00
EX. ADAM DAVID WAY	STA. 4+50.02 TO STA. 7+30.87	R=500.00	L=280.85	41°19'37"	TAN=100.00	CHORD=500.00
EX. ADAM DAVID WAY	STA. 7+30.87 TO STA. 10+11.72	R=500.00	L=280.85	41°19'37"	TAN=100.00	CHORD=500.00
EX. ADAM DAVID WAY	STA. 10+11.72 TO STA. 12+92.57	R=500.00	L=280.85	41°19'37"	TAN=100.00	CHORD=500.00
EX. ADAM DAVID WAY	STA. 12+92.57 TO STA. 15+73.42	R=500.00	L=280.85	41°19'37"	TAN=100.00	CHORD=500.00
EX. ADAM DAVID WAY	STA. 15+73.42 TO STA. 18+54.27	R=500.00	L=280.85	41°19'37"	TAN=100.00	CHORD=500.00
EX. ADAM DAVID WAY	STA. 18+54.27 TO STA. 21+35.12	R=500.00	L=280.85	41°19'37"	TAN=100.00	CHORD=500.00
EX. ADAM DAVID WAY	STA. 21+35.12 TO STA. 24+15.97	R=500.00	L=280.85	41°19'37"	TAN=100.00	CHORD=500.00
EX. ADAM DAVID WAY	STA. 24+15.97 TO STA. 26+96.82	R=500.00	L=280.85	41°19'37"	TAN=100.00	CHORD=500.00
EX. ADAM DAVID WAY	STA. 26+96.82 TO STA. 29+77.67	R=500.00	L=280.85	41°19'37"	TAN=100.00	CHORD=500.00
EX. ADAM DAVID WAY	STA. 29+77.67 TO STA. 32+58.52	R=500.00	L=280.85	41°19'37"	TAN=100.00	CHORD=500.00
EX. ADAM DAVID WAY	STA. 32+58.52 TO STA. 35+39.37	R=500.00	L=280.85	41°19'37"	TAN=100.00	CHORD=500.00
EX. ADAM DAVID WAY	STA. 35+39.37 TO STA. 38+20.22	R=500.00	L=280.85	41°19'37"	TAN=100.00	CHORD=500.00
EX. ADAM DAVID WAY	STA. 38+20.22 TO STA. 41+01.07	R=500.00	L=280.85	41°19'37"	TAN=100.00	CHORD=500.00
EX. ADAM DAVID WAY	STA. 41+01.07 TO STA. 43+81.92	R=500.00	L=280.85	41°19'37"	TAN=100.00	CHORD=500.00
EX. ADAM DAVID WAY	STA. 43+81.92 TO STA. 46+62.77	R=500.00	L=280.85	41°19'37"	TAN=100.00	CHORD=500.00
EX. ADAM DAVID WAY	STA. 46+62.77 TO STA. 49+43.62	R=500.00	L=280.85	41°19'37"	TAN=100.00	CHORD=500.00
EX. ADAM DAVID WAY	STA. 49+43.62 TO STA. 52+24.47	R=500.00	L=280.85	41°19'37"	TAN=100.00	CHORD=500.00
EX. ADAM DAVID WAY	STA. 52+24.47 TO STA. 55+05.32	R=500.00	L=280.85	41°19'37"	TAN=100.00	CHORD=500.00
EX. ADAM DAVID WAY	STA. 55+05.32 TO STA. 57+86.17	R=500.00	L=280.85	41°19'37"	TAN=100.00	CHORD=500.00
EX. ADAM DAVID WAY	STA. 57+86.17 TO STA. 60+67.02	R=500.00	L=280.85	41°19'37"	TAN=100.00	CHORD=500.00
EX. ADAM DAVID WAY	STA. 60+67.02 TO STA. 63+47.87	R=500.00	L=280.85	41°19'37"	TAN=100.00	CHORD=500.00
EX. ADAM DAVID WAY	STA. 63+47.87 TO STA. 66+28.72	R=500.00	L=280.85	41°19'37"	TAN=100.00	CHORD=500.00
EX. ADAM DAVID WAY	STA. 66+28.72 TO STA. 69+09.57	R=500.00	L=280.85	41°19'37"	TAN=100.00	CHORD=500.00
EX. ADAM DAVID WAY	STA. 69+09.57 TO STA. 71+90.42	R=500.00	L=280.85	41°19'37"	TAN=100.00	CHORD=500.00
EX. ADAM DAVID WAY	STA. 71+90.42 TO STA. 74+71.27	R=500.00	L=280.85	41°19'37"	TAN=100.00	CHORD=500.00
EX. ADAM DAVID WAY	STA. 74+71.27 TO STA. 77+52.12	R=500.00	L=280.85	41°19'37"	TAN=100.00	CHORD=500.00
EX. ADAM DAVID WAY	STA. 77+52.12 TO STA. 80+32.97	R=500.00	L=280.85	41°19'37"	TAN=100.00	CHORD=500.00
EX. ADAM DAVID WAY	STA. 80+32.97 TO STA. 83+13.82	R=500.00	L=280.85	41°19'37"	TAN=100.00	CHORD=500.00
EX. ADAM DAVID WAY	STA. 83+13.82 TO STA. 85+94.67	R=500.00	L=280.85	41°19'37"	TAN=100.00	CHORD=500.00
EX. ADAM DAVID WAY	STA. 85+94.67 TO STA. 88+75.52	R=500.00	L=280.85	41°19'37"	TAN=100.00	CHORD=500.00
EX. ADAM DAVID WAY	STA. 88+75.52 TO STA. 91+56.37	R=500.00	L=280.85	41°19'37"	TAN=100.00	CHORD=500.00
EX. ADAM DAVID WAY	STA. 91+56.37 TO STA. 94+37.22	R=500.00	L=280.85	41°19'37"	TAN=100.00	CHORD=500.00
EX. ADAM DAVID WAY	STA. 94+37.22 TO STA. 97+18.07	R=500.00	L=280.85	41°19'37"	TAN=100.00	CHORD=500.00
EX. ADAM DAVID WAY	STA. 97+18.07 TO STA. 100+00.00	R=500.00	L=280.85	41°19'37"	TAN=100.00	CHORD=500.00

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 1072 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
410 481-2955

NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
2	REV. PER ADDITION OF PHASE 4 BLDGS & 5-06-13 PHASING TAB AND ADJUSTMENTS ASSOCIATED WITH INTERIOR TOWNHOUSE UNIT.	12/19/11
3	REV. TO ADD FEE SIMPLE LOTS PER F-10-113	1/12/11
4	REV. PER ADDITION OF PHASE 3 BLDGS & 5-06-13 PHASING TAB	3/24/10

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757
EXPIRATION DATE IS 3/3/14.
James P. Fisher 12/14/12
TERRELL A. FISHER, PROFESSIONAL ENGINEER DATE

BUILDERS
NV HOMES 6085 MARSHALEE DRIVE SUITE 130 ELKCRIDGE, MD 21075 410-379-5956
RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELKCRIDGE, MD 21075 410-379-5956

DEVELOPER
WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLCOTT CITY, MARYLAND 21042
443-367-0422

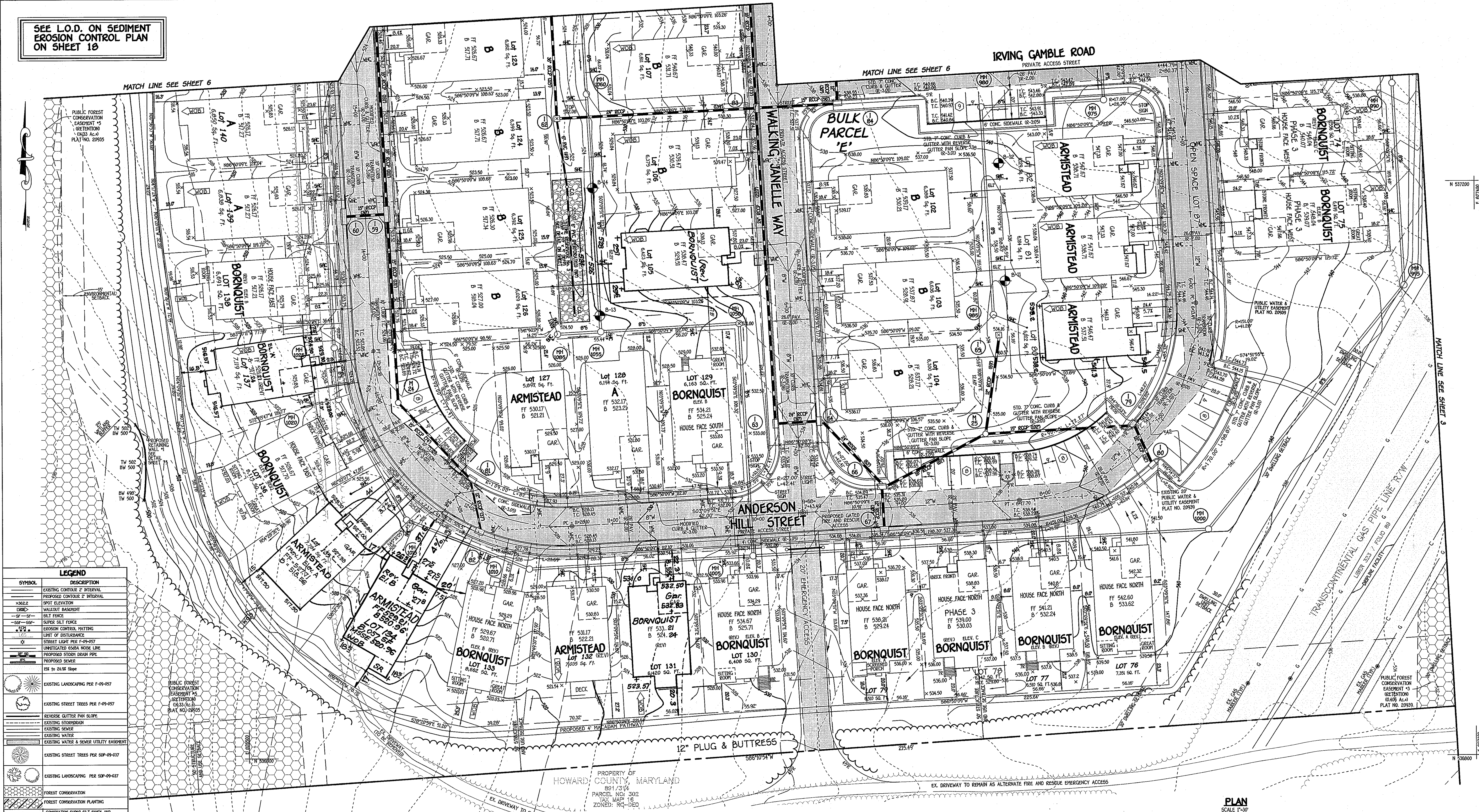
OWNERS
WAVERLY WOODS DEVELOPMENT CORPORATION,
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLCOTT CITY, MARYLAND 21042
443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Kevin D. Lough 12/14/12
Chief, Division of Land Development
John J. ... 12/14/12
Chief, Development Engineering Division
... 12/14/12
Director - Department of Planning and Zoning

PROJECT: GTW'S WAVERLY WOODS SECTION: 14 PARCEL NO. 'E'
PLAT 21427 21435 AND 22082 - 22089 BLOCK NO. 3 & 4 ZONE PSC TAX/ZONE 16 ELEC. DIST. THIRD CENSUS TR. 60300
WATER CODE K-02 SEWER CODE 5992000

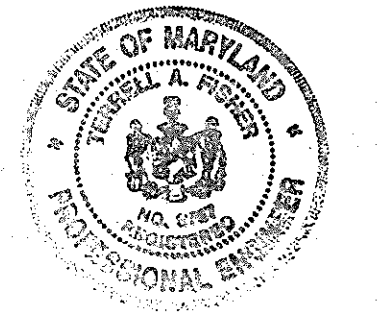
REVISED SITE DEVELOPMENT PLAN
AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 66 & 80 THRU 165 & PHASES IV & V - UNITS 80 THRU 119, 153 THRU 161, 196 THRU 200, 237 THRU 239, 268 THRU 271, 282 THRU 295, & 290 THRU 320
TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES
TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: DECEMBER 14, 2012
SHEET 3 OF 100 SDP-09-039

SEE L.O.D. ON SEDIMENT EROSION CONTROL PLAN ON SHEET 1B



SYMBOL	DESCRIPTION
(Symbol)	EXISTING CONTOUR 2' INTERVAL
(Symbol)	PROPOSED CONTOUR 2' INTERVAL
(Symbol)	SPOT ELEVATION
(Symbol)	WALKOUT BASEMENT
(Symbol)	SILT FENCE
(Symbol)	SUPER SILT FENCE
(Symbol)	EROSION CONTROL MATTING
(Symbol)	LIMIT OF DISTURBANCE
(Symbol)	STREET LIGHT PER F-09-057
(Symbol)	UNLIMITED 6000 WIDE LINE
(Symbol)	PROPOSED STORM DRAIN PIPE
(Symbol)	PROPOSED SEWER
(Symbol)	1% TO 24% SLOPE
(Symbol)	EXISTING LANDSCAPING PER F-09-057
(Symbol)	EXISTING STREET TREES PER F-09-057
(Symbol)	REVERSE GUTTER PAN SLOPE
(Symbol)	EXISTING STORMDRAIN
(Symbol)	EXISTING SEWER
(Symbol)	EXISTING WATER
(Symbol)	EXISTING WATER & SEWER UTILITY EASEMENT
(Symbol)	EXISTING STREET TREES PER 500-09-037
(Symbol)	EXISTING LANDSCAPING PER 500-09-037
(Symbol)	FOREST CONSERVATION
(Symbol)	FOREST CONSERVATION PLANTING
(Symbol)	CONVENTIONAL SUPER SILT FENCE AND TREE PROTECTION
(Symbol)	SUPER SILT FENCE

NO.	REVISION	DATE
18	Rev. Ord. Lot 80 to show Ex. Conditions	6.7.13
17	Rev. hsc & grd Lot 134	5.29.13
16	Rev. hsc & grd Lot 135	4.25.13
15	Rev. hsc & grd Lot 105	6.19.12
14	Rev. hsc. type Lot 137 from Cavandish to Bornquist	1.29.13
13	REV. TO ADD FEE SIMPLE LOTS PER F-12-009 AND ADD GRIFFIN HALL	9/28/12
12	REV. HSE. & GRD. LOT 129, FROM GEN. BOX TO BORNQUIST	10/25/12
11	REV. HSE. & GRD. LOT 130, 133, 136, 139 FROM GEN. BOX TO BORNQUIST	10/16/12
10	REV. HSE. & GRD. LOT 76, FROM GEN. BOX TO ARMISTEAD	6/18/12
9	REV. HSE. & GRD. LOT 75, FROM GEN. BOX TO BORNQUIST	6/14/12
8	REV. HSE. & GRD. LOT 74, FROM GEN. BOX TO BORNQUIST	6/13/12
7	REV. GRDS. LOT 48, TO SHOW ASBUILT COND.	2/7/12
6	REV. GRDS. LOT 47, TO SHOW ASBUILT COND.	2/3/12
5	REV. GRDS. LOT 46, TO SHOW ASBUILT COND.	1/24/12
4	REV. GRDS. LOT 5, TO SHOW ASBUILT COND.	7/26/11
3	REV. HSE. TYP. LOT 5, FROM ARMISTEAD TO BORNQUIST	2/14/11
2	REV. TO ADD FEE SIMPLE LOTS PER F-09-113	1/12/11
11	REV. PER ADDITION AFFO PHASE 3 BLDGS & S-06-13 FINISHING TAB	3/28/10



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/31/14.

Terrell A. Fisher 12/14/12
 TERRELL A. FISHER, PROFESSIONAL ENGINEER DATE

BUILDERS	
NV HOMES 6085 MARSHALLEE DRIVE SUITE 130 ELKDRIDGE, MD 21075 410-379-5956	RYAN HOMES 6085 MARSHALLEE DRIVE SUITE 140 ELKDRIDGE, MD 21075 410-379-5956
DEVELOPER	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-367-0422	
OWNERS	
WAVERLY WOODS DEVELOPMENT CORPORATION, C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-367-0422	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING			
Chief, Division of Land Development		12/15/12	
Chief, Development Engineering Division		12/16/12	
Director - Department of Planning and Zoning		12/14/12	
PROJECT	SECTION	PARCEL NO. 'E'	
GTW'S WAVERLY WOODS	14	PHASE 3 & 4, LOTS 101-135	
PLAT 21427	BLOCK NO.	ZONE	TAX/ZONE
21435	3 & 4	P5C	16
AND 22092 - 22099			
WATER CODE	SEWER CODE	ELEC. DIST. CENSUS TR.	
K-02	5992000	60300	

REVISION

SCALE T-30'

SITE DEVELOPMENT PLAN

AGE RESTRICTED ADULT HOUSING

GTW'S WAVERLY WOODS

SECTION 14

"THE COURTYARDS AT WAVERLY WOODS - WEST"

PHASE II & V - LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 165 & 237 THRU 239, 260 THRU 271, 282 THRU 295, & 290 THRU 328

TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES

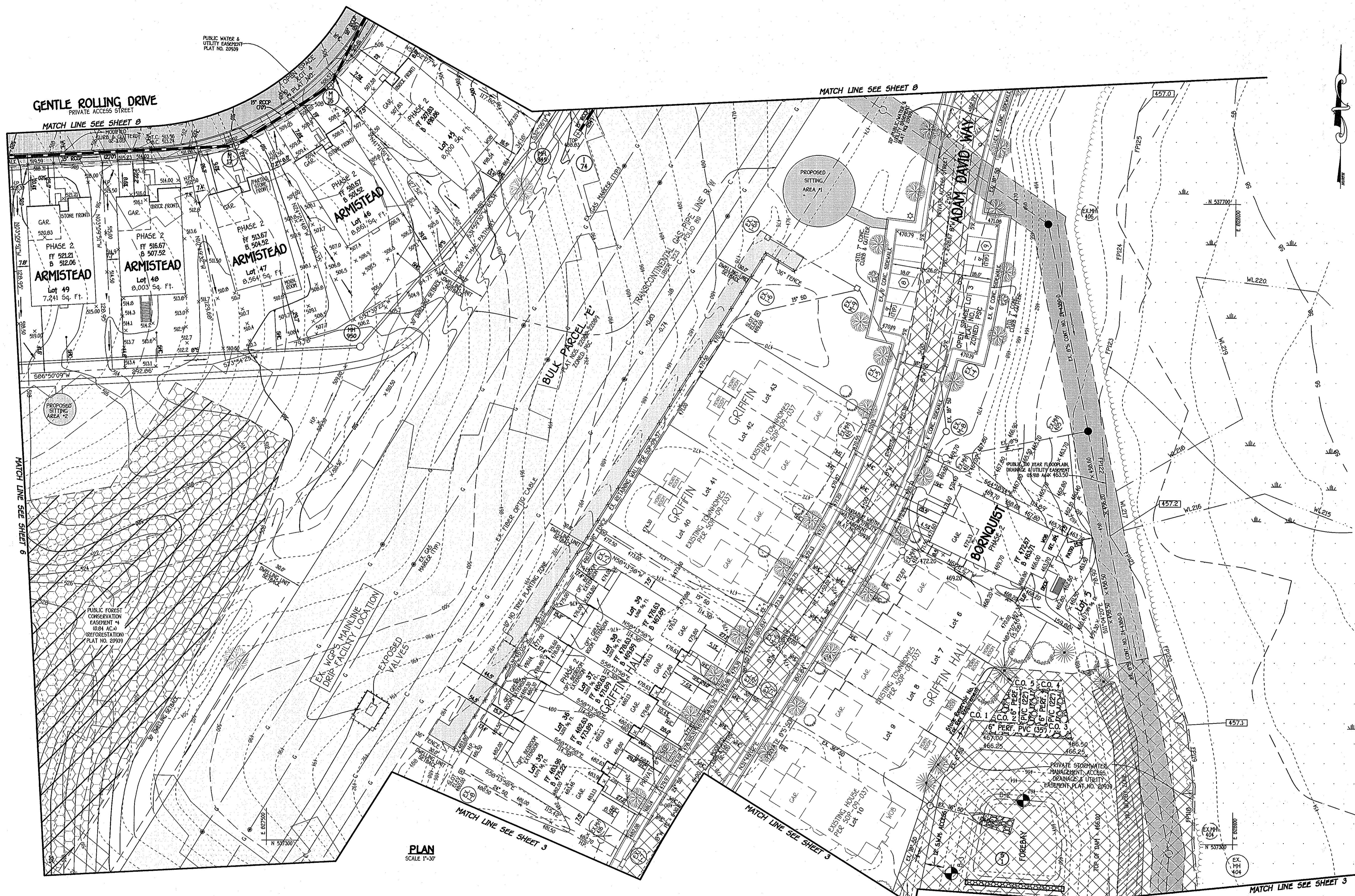
ZONING P5C

TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249

THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SCALE: AS SHOWN DATE: DECEMBER 14, 2012

SHEET 4 OF 100 SDP-09-039



LEGEND	
(Symbol)	EXISTING CONTOUR 2' INTERVAL
(Symbol)	PROPOSED CONTOUR 2' INTERVAL
(Symbol)	SPOT ELEVATION
(Symbol)	WALKOUT BARGHENT
(Symbol)	SILT FENCE
(Symbol)	SUPER SILT FENCE
(Symbol)	EROSION CONTROL MATTING
(Symbol)	LIMIT OF DISTURBANCE
(Symbol)	STREET LIGHT PER F-09-057
(Symbol)	LIMITATOR SIGN NOISE LINE
(Symbol)	PROPOSED STORM DRAIN PIPE
(Symbol)	PROPOSED SEWER
(Symbol)	15% TO 24.9% Slope
(Symbol)	EXISTING LANDSCAPING PER F-09-057
(Symbol)	EXISTING STREET TREES PER F-09-057
(Symbol)	REVERSE GUTTER PAN SLOPE
(Symbol)	EXISTING STORMDRAIN
(Symbol)	EXISTING SEWER
(Symbol)	EXISTING WATER
(Symbol)	EXISTING WATER & SEWER UTILITY EASEMENT
(Symbol)	EXISTING STREET TREES PER 50P-09-037
(Symbol)	EXISTING LANDSCAPING PER 50P-09-037
(Symbol)	FOREST CONSERVATION
(Symbol)	FOREST CONSERVATION PLANTING
(Symbol)	CHARMATION SUPER SILT FENCE AND TREE PROTECTION
(Symbol)	SUPER SILT FENCE

SEE L.O.D. ON SEDIMENT EROSION CONTROL PLAN ON SHEET 19

PLAN SCALE 1"=30'

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK • 10722 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 410-461-2825



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/3/14.

Terrell A. Fisher 11/12/12
 TERRELL A. FISHER, PROFESSIONAL ENGINEER / DATE

BUILDERS	
NV HOMES 6005 MARSHALLER DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-5956	RYAN HOMES 6005 MARSHALLER DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956
OWNERS	
WAVELY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 BORSLEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422	WAVELY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 BORSLEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Kate Padgett 12/19/12
 Chief, Division of Land Development / Date

Terrell A. Fisher 12/19/12
 Chief, Development Engineering Division / Date

David A. Wolfe 12/19/12
 Director - Department of Planning and Zoning / Date

PROJECT	SECTION	PARCEL NO. 'E'
GTW'S WAVELY WOODS	14	PHASE II & III PHASE II & III LOTS 44 THRU 66 & 88 THRU 165 & PHASE IV & V - UNITS 60 THRU 119, 153 THRU 161, 196 THRU 200, 237 THRU 239, 268 THRU 271, 282 THRU 285, & 290 THRU 328
PLAT 21427-21435 AND 22082-22089	BLOCK NO. 3 & 4	ZONE PSC
TAX/ZONE 16	ELEC. DIST. THIRD	CENSUS TR. 60300
WATER CODE K-02	SEWER CODE 5992000	

REVISED SITE DEVELOPMENT PLAN

AGE RESTRICTED ADULT HOUSING
GTW'S WAVELY WOODS
 SECTION 14

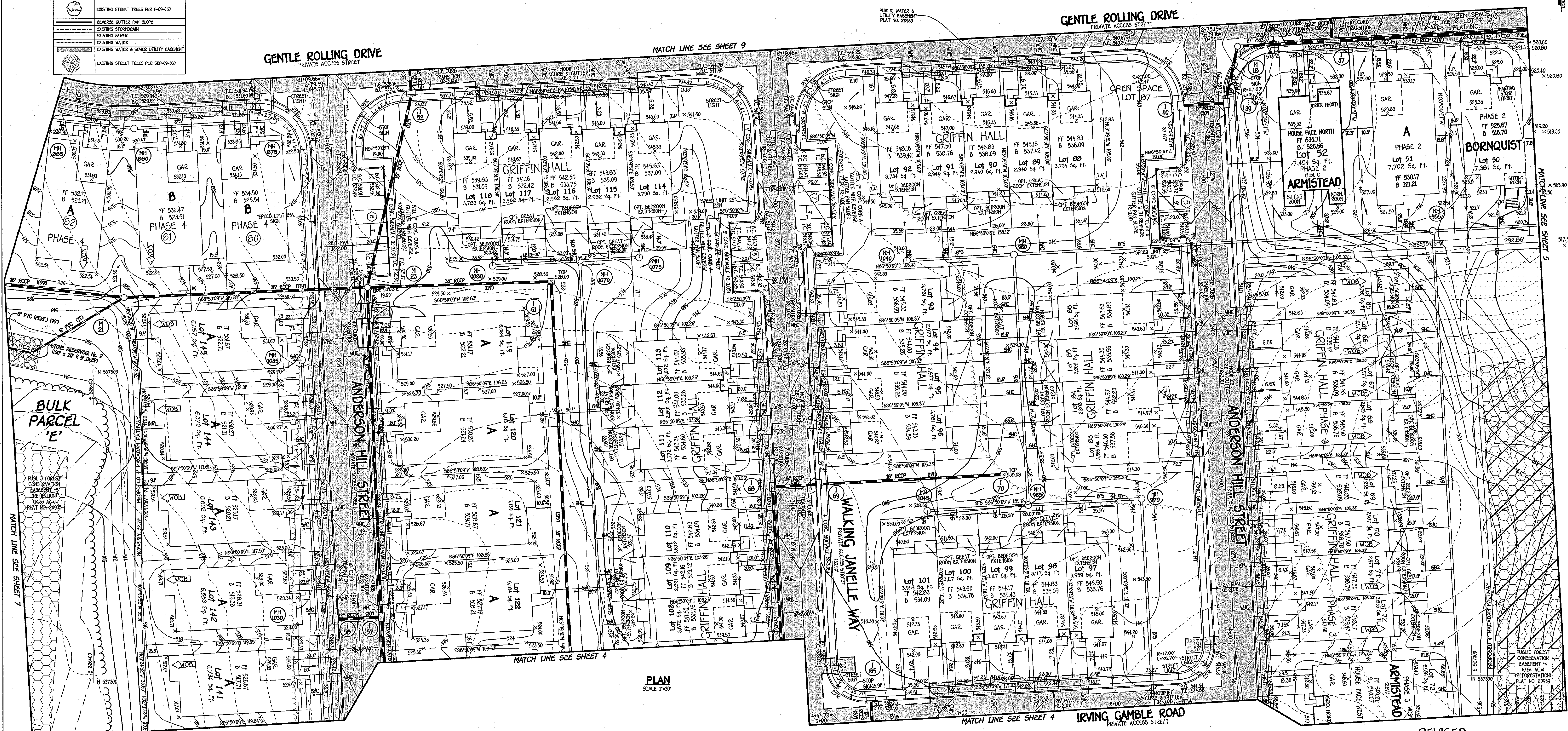
"THE COURTYARDS AT WAVELY WOODS - WEST"
 PHASE II & III LOTS 44 THRU 66 & 88 THRU 165 &
 PHASE IV & V - UNITS 60 THRU 119, 153 THRU 161, 196 THRU 200,
 237 THRU 239, 268 THRU 271, 282 THRU 285, & 290 THRU 328
 TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES
 ZONING PSC

TAX MAP NO. 16 GRID NO. 3 & 4 PARCEL NO. PART OF 249
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
 SHEET 5 OF 100

LEGEND	
[Symbol]	EXISTING CONTOUR 2' INTERVAL
[Symbol]	PROPOSED CONTOUR 2' INTERVAL
[Symbol]	SPOT ELEVATION
[Symbol]	WALKOUT BASEMENT
[Symbol]	SILT FENCE
[Symbol]	SUPER SILT FENCE
[Symbol]	EROSION CONTROL MATTING
[Symbol]	LIMIT OF DISTURBANCE
[Symbol]	STREET LIGHT PER F-09-057
[Symbol]	UNIMPROVED EXHIB NOISE LINE
[Symbol]	PROPOSED STORM DRAIN PIPE
[Symbol]	PROPOSED SEWER
[Symbol]	1% to 24% Slope
[Symbol]	EXISTING LANDSCAPING PER F-09-057
[Symbol]	EXISTING STREET TREES PER F-09-057
[Symbol]	REVERSE CUTTER PAN SLOPE
[Symbol]	EXISTING STORMDRAIN
[Symbol]	EXISTING SEWER
[Symbol]	EXISTING WATER
[Symbol]	EXISTING WATER & SEWER UTILITY EASEMENT
[Symbol]	EXISTING STREET TREES PER 500-09-037

LEGEND	
[Symbol]	EXISTING LANDSCAPING PER 500-09-037
[Symbol]	FOREST CONSERVATION
[Symbol]	FOREST CONSERVATION PLANTING
[Symbol]	COMBINATION SUPER SILT FENCE AND TREE PROTECTION
[Symbol]	SUPER SILT FENCE

SEE L.O.D. ON SEDIMENT EROSION CONTROL PLAN ON SHEET 20



PLAN SCALE 1"=30'

REVISED

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SOURCE OFFICE PLACE - 10722 CALVERTON NATIONAL PARK
 ELLICOTT CITY, MARYLAND 21042
 410 461-2995

NO.	REVISION	DATE
7	REV. TO ADD FEE SIMPLE LOTS PER F-12-029 AND ADD GRIFFIN HALL	9/28/12
6	REV. HSE. & C&D. LOT 92, FROM ARMISTEAD TO BORNQUIST	5/23/12
5	REV. TITLE BLOCK ADDED LOTS 65-06 & OS. LOT 87	6/20/12
4	REV. PER ADDITION APPD PHASE 4 BLDGS & 5-06-13 PHASING TAB AND ADJUSTMENTS ASSOCIATED WITH INTERIOR TOUBHOUSE UNIT	12/19/11
3	REV. C&D. LOT 90, TO SHOW ASBUILT CONDITIONS	3/2/12
2	REV. TO ADD FEE SIMPLE LOTS PER F-10-113	1/12/11
1	REV. PER ADDITION APPD PHASE 3 BLDGS & 5-06-13 PHASING TAB	3/24/10



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/31/14.
 Terrell A. Fisher, PROFESSIONAL ENGINEER
 DATE 12/19/12

BUILDERS	
NV HOMES 6085 MARSHALEE DRIVE SUITE 130 ELKROCKE, MD 21075 410-379-5956	RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELKROCKE, MD 21075 410-379-5956
DEVELOPER	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422	
OWNERS	
WAVERLY WOODS DEVELOPMENT CORPORATION, C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422	

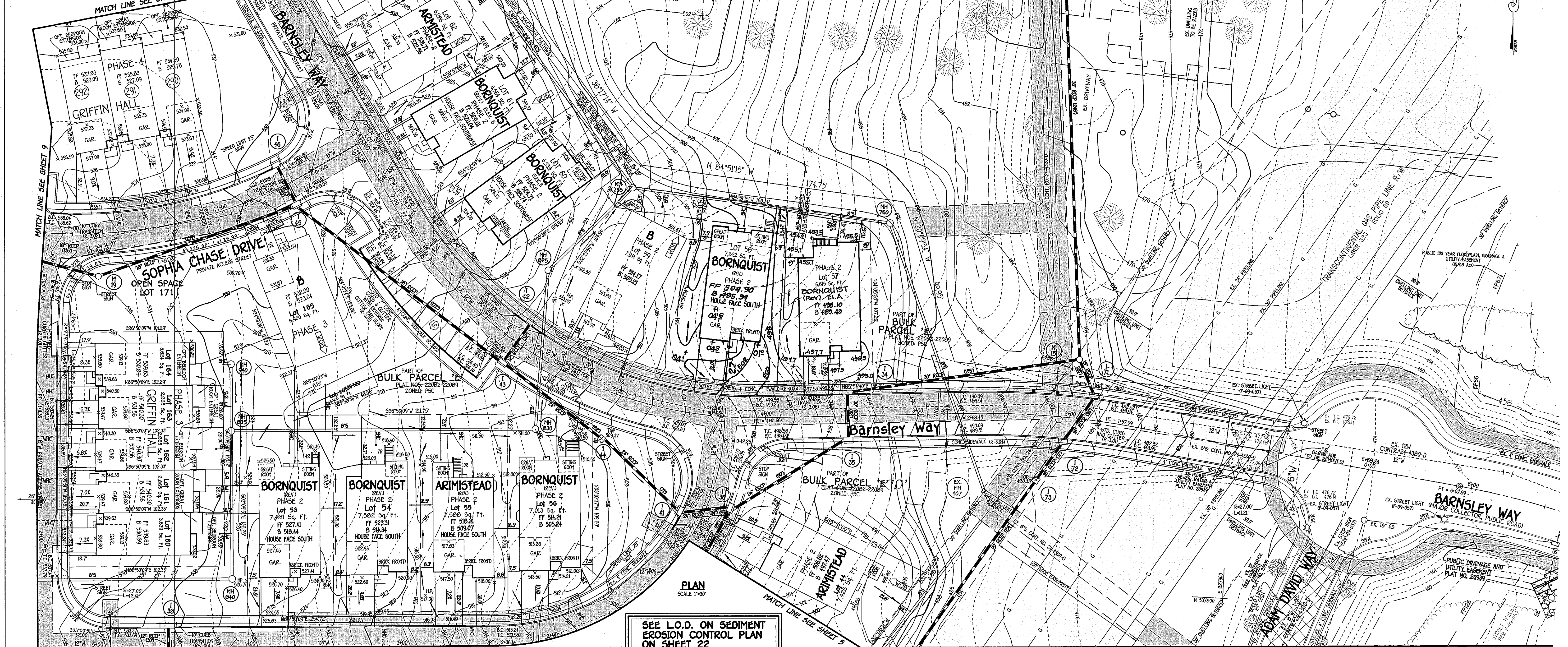
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development	[Signature]	12/19/12
Chief, Development Engineering Division	[Signature]	12/19/12
Director - Department of Planning and Zoning	[Signature]	12/19/12

PROJECT	SECTION	PARCEL NO. "E"
GTW'S WAVERLY WOODS	14	PHASE 3 & 4, LOTS 87-112, 113-114, 115-116, 117-118, 119-120, 121-122, 123-124, 125-126, 127-128, 129-130, 131-132, 133-134, 135-136, 137-138, 139-140, 141-142, 143-144, 145-146, 147-148, 149-150, 151-152, 153-154, 155-156, 157-158, 159-160, 161-162, 163-164, 165-166, 167-168, 169-170, 171-172, 173-174, 175-176, 177-178, 179-180, 181-182, 183-184, 185-186, 187-188, 189-190, 191-192, 193-194, 195-196, 197-198, 199-200, 201-202, 203-204, 205-206, 207-208, 209-210, 211-212, 213-214, 215-216, 217-218, 219-220, 221-222, 223-224, 225-226, 227-228, 229-230, 231-232, 233-234, 235-236, 237-238, 239-240, 241-242, 243-244, 245-246, 247-248, 249-250, 251-252, 253-254, 255-256, 257-258, 259-260, 261-262, 263-264, 265-266, 267-268, 269-270, 271-272, 273-274, 275-276, 277-278, 279-280, 281-282, 283-284, 285-286, 287-288, 289-290, 291-292, 293-294, 295-296, 297-298, 299-300, 301-302, 303-304, 305-306, 307-308, 309-310, 311-312, 313-314, 315-316, 317-318, 319-320, 321-322, 323-324, 325-326, 327-328, 329-330, 331-332, 333-334, 335-336, 337-338, 339-340, 341-342, 343-344, 345-346, 347-348, 349-350, 351-352, 353-354, 355-356, 357-358, 359-360, 361-362, 363-364, 365-366, 367-368, 369-370, 371-372, 373-374, 375-376, 377-378, 379-380, 381-382, 383-384, 385-386, 387-388, 389-390, 391-392, 393-394, 395-396, 397-398, 399-400, 401-402, 403-404, 405-406, 407-408, 409-410, 411-412, 413-414, 415-416, 417-418, 419-420, 421-422, 423-424, 425-426, 427-428, 429-430, 431-432, 433-434, 435-436, 437-438, 439-440, 441-442, 443-444, 445-446, 447-448, 449-450, 451-452, 453-454, 455-456, 457-458, 459-460, 461-462, 463-464, 465-466, 467-468, 469-470, 471-472, 473-474, 475-476, 477-478, 479-480, 481-482, 483-484, 485-486, 487-488, 489-490, 491-492, 493-494, 495-496, 497-498, 499-500, 501-502, 503-504, 505-506, 507-508, 509-510, 511-512, 513-514, 515-516, 517-518, 519-520, 521-522, 523-524, 525-526, 527-528, 529-530, 531-532, 533-534, 535-536, 537-538, 539-540, 541-542, 543-544, 545-546, 547-548, 549-550, 551-552, 553-554, 555-556, 557-558, 559-560, 561-562, 563-564, 565-566, 567-568, 569-570, 571-572, 573-574, 575-576, 577-578, 579-580, 581-582, 583-584, 585-586, 587-588, 589-590, 591-592, 593-594, 595-596, 597-598, 599-600, 601-602, 603-604, 605-606, 607-608, 609-610, 611-612, 613-614, 615-616, 617-618, 619-620, 621-622, 623-624, 625-626, 627-628, 629-630, 631-632, 633-634, 635-636, 637-638, 639-640, 641-642, 643-644, 645-646, 647-648, 649-650, 651-652, 653-654, 655-656, 657-658, 659-660, 661-662, 663-664, 665-666, 667-668, 669-670, 671-672, 673-674, 675-676, 677-678, 679-680, 681-682, 683-684, 685-686, 687-688, 689-690, 691-692, 693-694, 695-696, 697-698, 699-700, 701-702, 703-704, 705-706, 707-708, 709-710, 711-712, 713-714, 715-716, 717-718, 719-720, 721-722, 723-724, 725-726, 727-728, 729-730, 731-732, 733-734, 735-736, 737-738, 739-740, 741-742, 743-744, 745-746, 747-748, 749-750, 751-752, 753-754, 755-756, 757-758, 759-760, 761-762, 763-764, 765-766, 767-768, 769-770, 771-772, 773-774, 775-776, 777-778, 779-780, 781-782, 783-784, 785-786, 787-788, 789-790, 791-792, 793-794, 795-796, 797-798, 799-800, 801-802, 803-804, 805-806, 807-808, 809-810, 811-812, 813-814, 815-816, 817-818, 819-820, 821-822, 823-824, 825-826, 827-828, 829-830, 831-832, 833-834, 835-836, 837-838, 839-840, 841-842, 843-844, 845-846, 847-848, 849-850, 851-852, 853-854, 855-856, 857-858, 859-860, 861-862, 863-864, 865-866, 867-868, 869-870, 871-872, 873-874, 875-876, 877-878, 879-880, 881-882, 883-884, 885-886, 887-888, 889-890, 891-892, 893-894, 895-896, 897-898, 899-900, 901-902, 903-904, 905-906, 907-908, 909-910, 911-912, 913-914, 915-916, 917-918, 919-920, 921-922, 923-924, 925-926, 927-928, 929-930, 931-932, 933-934, 935-936, 937-938, 939-940, 941-942, 943-944, 945-946, 947-948, 949-950, 951-952, 953-954, 955-956, 957-958, 959-960, 961-962, 963-964, 965-966, 967-968, 969-970, 971-972, 973-974, 975-976, 977-978, 979-980, 981-982, 983-984, 985-986, 987-988, 989-990, 991-992, 993-994, 995-996, 997-998, 999-1000, 1001-1002, 1003-1004, 1005-1006, 1007-1008, 1009-1010, 1011-1012, 1013-1014, 1015-1016, 1017-1018, 1019-1020, 1021-1022, 1023-1024, 1025-1026, 1027-1028, 1029-1030, 1031-1032, 1033-1034, 1035-1036, 1037-1038, 1039-1040, 1041-1042, 1043-1044, 1045-1046, 1047-1048, 1049-1050, 1051-1052, 1053-1054, 1055-1056, 1057-1058, 1059-1060, 1061-1062, 1063-1064, 1065-1066, 1067-1068, 1069-1070, 1071-1072, 1073-1074, 1075-1076, 1077-1078, 1079-1080, 1081-1082, 1083-1084, 1085-1086, 1087-1088, 1089-1090, 1091-1092, 1093-1094, 1095-1096, 1097-1098, 1099-1100, 1101-1102, 1103-1104, 1105-1106, 1107-1108, 1109-1110, 1111-1112, 1113-1114, 1115-1116, 1117-1118, 1119-1120, 1121-1122, 1123-1124, 1125-1126, 1127-1128, 1129-1130, 1131-1132, 1133-1134, 1135-1136, 1137-1138, 1139-1140, 1141-1142, 1143-1144, 1145-1146, 1147-1148, 1149-1150, 1151-1152, 1153-1154, 1155-1156, 1157-1158, 1159-1160, 1161-1162, 1163-1164, 1165-1166, 1167-1168, 1169-1170, 1171-1172, 1173-1174, 1175-1176, 1177-1178, 1179-1180, 1181-1182, 1183-1184, 1185-1186, 1187-1188, 1189-1190, 1191-1192, 1193-1194, 1195-1196, 1197-1198, 1199-1200, 1201-1202, 1203-1204, 1205-1206, 1207-1208, 1209-1210, 1211-1212, 1213-1214, 1215-1216, 1217-1218, 1219-1220, 1221-1222, 1223-1224, 1225-1226, 1227-1228, 1229-1230, 1231-1232, 1233-1234, 1235-1236, 1237-1238, 1239-1240, 1241-1242, 1243-1244, 1245-1246, 1247-1248, 1249-1250, 1251-1252, 1253-1254, 1255-1256, 1257-1258, 1259-1260, 1261-1262, 1263-1264, 1265-1266, 1267-1268, 1269-1270, 1271-1272, 1273-1274, 1275-1276, 1277-1278, 1279-1280, 1281-1282, 1283-1284, 1285-1286, 1287-1288, 1289-1290, 1291-1292, 1293-1294, 1295-1296, 1297-1298, 1299-1300, 1301-1302, 1303-1304, 1305-1306, 1307-1308, 1309-1310, 1311-1312, 1313-1314, 1315-1316, 1317-1318, 1319-1320, 1321-1322, 1323-1324, 1325-1326, 1327-1328, 1329-1330, 1331-1332, 1333-1334, 1335-1336, 1337-1338, 1339-1340, 1341-1342, 1343-1344, 1345-1346, 1347-1348, 1349-1350, 1351-1352, 1353-1354, 1355-1356, 1357-1358, 1359-1360, 1361-1362, 1363-1364, 1365-1366, 1367-1368, 1369-1370, 1371-1372, 1373-1374, 1375-1376, 1377-1378, 1379-1380, 1381-1382, 1383-1384, 1385-1386, 1387-1388, 1389-1390, 1391-1392, 1393-1394, 1395-1396, 1397-1398, 1399-1400, 1401-1402, 1403-1404, 1405-1406, 1407-1408, 1409-1410, 1411-1412, 1413-1414, 1415-1416, 1417-1418, 1419-1420, 1421-1422, 1423-1424, 1425-1426, 1427-1428, 1429-1430, 1431-1432, 1433-1434, 1435-1436, 1437-1438, 1439-1440, 1441-1442, 1443-1444, 1445-1446, 1447-1448, 1449-1450, 1451-1452, 1453-1454, 1455-1456, 1457-1458, 1459-1460, 1461-1462, 1463-1464, 1465-1466, 1467-1468, 1469-1470, 1471-1472, 1473-1474, 1475-1476, 1477-1478, 1479-1480, 1481-1482, 1483-1484, 1485-1486, 1487-1488, 1489-1490, 1491-1492, 1493-1494, 1495-1496, 1497-1498, 1499-1500, 1501-1502, 1503-1504, 1505-1506, 1507-1508, 1509-1510, 1511-1512, 1513-1514, 1515-1516, 1517-1518, 1519-1520, 1521-1522, 1523-1524, 1525-1526, 1527-1528, 1529-1530, 1531-1532, 1533-1534, 1535-1536, 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1719-1720, 1721-1722, 1723-1724, 1725-1726, 1727-1728, 1729-1730, 1731-1732, 1733-1734, 1735-1736, 1737-1738, 1739-1740, 1741-1742, 1743-1744, 1745-1746, 1747-1748, 1749-1750, 1751-1752, 1753-1754, 1755-1756, 1757-1758, 1759-1760, 1761-1762, 1763-1764, 1765-1766, 1767-1768, 1769-1770, 1771-1772, 1773-1774, 1775-1776, 1777-1778, 1779-1780, 1781-1782, 1783-1784, 1785-1786, 1787-1788, 1789-1790, 1791-1792, 1793-1794, 1795-1796, 1797-1798, 1799-1800, 1801-1802, 1803-1804, 1805-1806, 1807-1808, 1809-1810, 1811-1812, 1813-1814, 1815-1816, 1817-1818, 1819-1820, 1821-1822, 1823-1824, 1825-1826, 1827-1828, 1829-1830, 1831-1832, 1833-1834, 1835-1836, 1837-1838, 1839-1840, 1841-1842, 1843-1844, 1845-1846, 1847-1848, 1849-1850, 1851-1852, 1853-1854, 1855-1856, 1857-1858, 1859-1860, 1861-1862, 1863-1864, 1865-1866, 1867-1868, 1869-1870, 1871-1872, 1873-1874, 1875-1876, 1877-1878, 1879-1880, 1881-1882, 1883-1884, 1885-1886, 1887-1888, 1889-1890, 1891-1892, 1893-1894, 1895-1896, 1897-1898, 1899-1900, 1901-1902, 1903-1904, 1905-1906, 1907-1908, 1909-1910, 1911-1912, 1913-1914, 1915-1916, 1917-1918, 1919-1920, 1921-1922, 1923-1924, 1925-1926, 1927-1928, 1929-1930, 1931-1932, 1933-1934, 1935-1936, 1937-1938, 1939-1940, 1941-1942, 1943-1944, 1945-1946, 1947-1948, 1949-1950, 1951-1952, 1953-1954, 1955-1956, 1957-1958, 1959-1960, 1961-1962, 1963-1964, 1965-1966, 1967-1968, 1969-1970, 1971-1972, 1973-1974, 1975-1976, 1977-1978, 1979-1980, 1981-1982, 1983-1984, 1985-1986, 1987-1988, 1989-1990, 1991-1992, 1993-1994, 1995-1996, 1997-1998, 1999-2000, 2001-2002, 2003-2004, 2005-2006, 2007-2008, 2009-2010, 2011-2012, 2013-2014, 2015-2016, 2017-2018, 2019-2020, 2021-2022, 2023-2024, 2025-2026, 2027-2028, 2029-

LEGEND	
SYMBOL	DESCRIPTION
(Symbol)	EXISTING CONTOUR 2' INTERVAL
(Symbol)	PROPOSED CONTOUR 2' INTERVAL
(Symbol)	SPOT ELEVATION
(Symbol)	WALKOUT BASEMENT
(Symbol)	SILT FENCE
(Symbol)	STAKE SILT FENCE
(Symbol)	EROSION CONTROL MATING
(Symbol)	LIMIT OF DISTURBANCE
(Symbol)	STREET LIGHT PER F-09-057
(Symbol)	UNIMPROVED CURB AND GUTTER
(Symbol)	PROPOSED STORM DRAIN PIPE
(Symbol)	PROPOSED SEWER
(Symbol)	1% to 24.9% slope
(Symbol)	EXISTING LANDSCAPING PER F-09-057
(Symbol)	EXISTING STREET TREES PER F-09-057
(Symbol)	REVERSE CUTTER PAN SLOPE
(Symbol)	EXISTING STORMDRAIN
(Symbol)	EXISTING SEWER
(Symbol)	EXISTING WATER
(Symbol)	EXISTING WATER & SEWER UTILITY EASEMENT
(Symbol)	EXISTING STREET TREES PER S09-09-037

LEGEND	
SYMBOL	DESCRIPTION
(Symbol)	EXISTING LANDSCAPING PER S09-09-037
(Symbol)	FOREST CONSERVATION
(Symbol)	FOREST CONSERVATION PLANTING
(Symbol)	COMBINATION SUPER SILT FENCE AND TREE PROTECTION
(Symbol)	SSEF/TP
(Symbol)	SUPER SILT FENCE



SEE L.O.D. ON SEDIMENT EROSION CONTROL PLAN ON SHEET 22

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 1072 BALTIMORE NATIONAL FEE
 ELLICOTT CITY, MARYLAND 21042
 (410) 481-2055

NO.	REVISION	DATE
9	REV. QRS. LOT 97 TO SHOW AS BUILT EX. CONDITIONS	1-21-19
10	REV. QRS. LOT 59 TO SHOW EX. CONDITIONS	1-14-19
7	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
6	REV. HSE. & GRD. LOT 53 FROM GEN. BOX TO BORNQUIST	7/12/12
5	REV. HSE. & GRD. LOT 61 FROM ARMISTEAD TO BORNQUIST	4/27/12
4	REV. PER ADDITION APPD PHASE 4 BLDGS & 5-06-13 PHASING TAB	12/19/11
3	REV. HSE. TYPE LOT 56 FROM ARMISTEAD TO BORNQUIST	3/8/12
2	REV. TO ADD FEE SIMPLE LOTS PER F-10-113	1/12/11
1	REV. PER ADDITION APPD PHASE 3 BLDGS & 5-06-13 PHASING TAB	3/24/10



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/3/14.

Terrell A. Fisher 12/19/12
 TERRELL A. FISHER, PROFESSIONAL ENGINEER

BUILDERS	
NV HOMES 6085 MARSHALEE DRIVE SUITE 130 ELK RIDGE, MD 21075 410-379-5956	RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELK RIDGE, MD 21075 410-379-5956
DEVELOPER	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422	
OWNERS	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

John A. Cuffe 12/19/12
 Chief, Division of Land Development
 Chief, Development Engineering Division
 Director - Department of Planning and Zoning

PROJECT	SECTION	PARCEL NO. "E"
GTW'S WAVERLY WOODS	14	60300

PLAT 21427 - BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
21435 AND 22082 - 22089	3 & 4	PSC	16	THIRD

WATER CODE: K-02
 SEWER CODE: 5992000

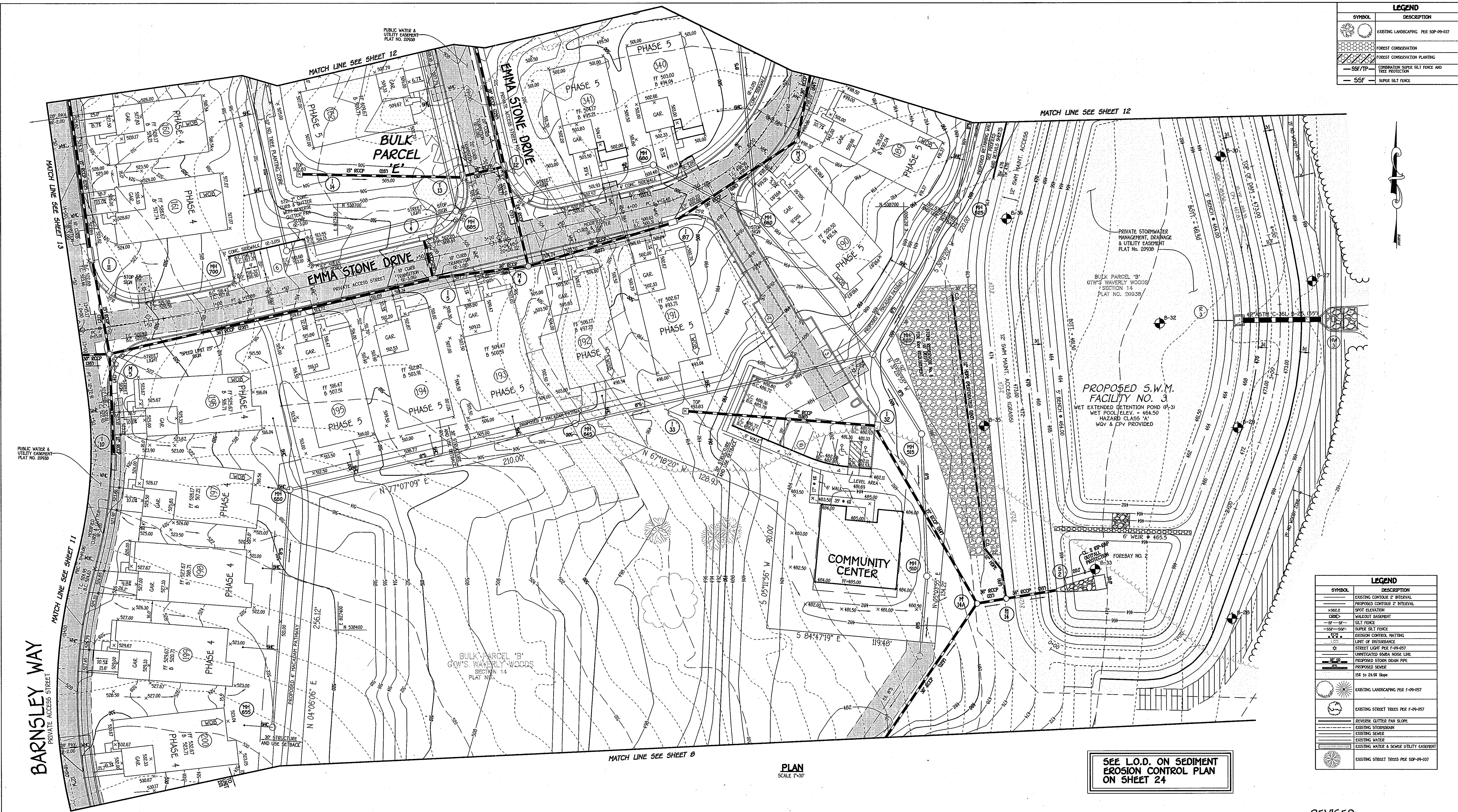
REVISED

SITE DEVELOPMENT PLAN
AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS

SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASE I & II LOTS 5, 12 THRU 39, 44 THRU 65 & 68 THRU 165 &
 PHASES IV & V - UNITS 80 THRU 119, 153 THRU 161, 196 THRU 200,
 237 THRU 239, 268 THRU 271, 282 THRU 295, & 290 THRU 320
 TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES

TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: DECEMBER 14, 2012
 SHEET 8 OF 100 SDP-09-039

K:\SDP\030770 GTW WEST\030770 Construction Documents\030770 Leds\Construction Document - 30770 Sdp Phase Two Thru 4 with 78 Leds.dwg, Sheet 8, 12/14/2012 11:01:39 AM, 11



SYMBOL	DESCRIPTION
	EXISTING LANDSCAPING PER SDP-09-037
	FOREST CONSERVATION
	FOREST CONSERVATION PLANTING
	COMBINATION SUPER SILT FENCE AND TREE PROTECTION
	SUPER SILT FENCE

SYMBOL	DESCRIPTION
	EXISTING CONTOUR 2' INTERVAL
	PROPOSED CONTOUR 2' INTERVAL
	SPOT ELEVATION
	WALKOUT EASEMENT
	SILT FENCE
	SUPER SILT FENCE
	EROSION CONTROL MATTING
	LIMIT OF DISTURBANCE
	STREET LIGHT POLE 10-90-957
	UNMITIGATED EASA NOISE LINE
	PROPOSED STORM DRAIN PIPE
	PROPOSED SEWER
	1% to 24.9% Slope
	EXISTING LANDSCAPING PER F-09-057
	EXISTING STREET TREES PER F-09-057
	REVERSE GUTTER PAN SLOPE
	EXISTING STORMWATER
	EXISTING SEWER
	EXISTING WATER
	EXISTING WATER & SEWER UTILITY EASEMENT
	EXISTING STREET TREES PER SDP-09-037

PLAN
SCALE 1"=30'

SEE L.O.D. ON SEDIMENT
EROSION CONTROL PLAN
ON SHEET 24

REVISED

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10725 BALTIMORE NATIONAL PARK
ELLICOTT CITY, MARYLAND 21042
(410) 481-2855

NO.	REVISION	DATE
4	REV. TO ADD FEE SIMPLE LOTS PER F-12-099 AND ADD GREYFIN HALL	9/28/12
3	REV. PER ADDITION AFFO PHASE 4 BLDGS & 5-06-13 PHASING TAB	12/19/11
2	REV. TO ADD FEE SIMPLE LOTS REV EASEMENT PER F-13-113 AND RECALC. PUBLIC SEWER	12/6/10
1	REV. PER ADDITION AFFO PHASE 3 BLDGS & 5-06-13 PHASING TAB	3/24/10



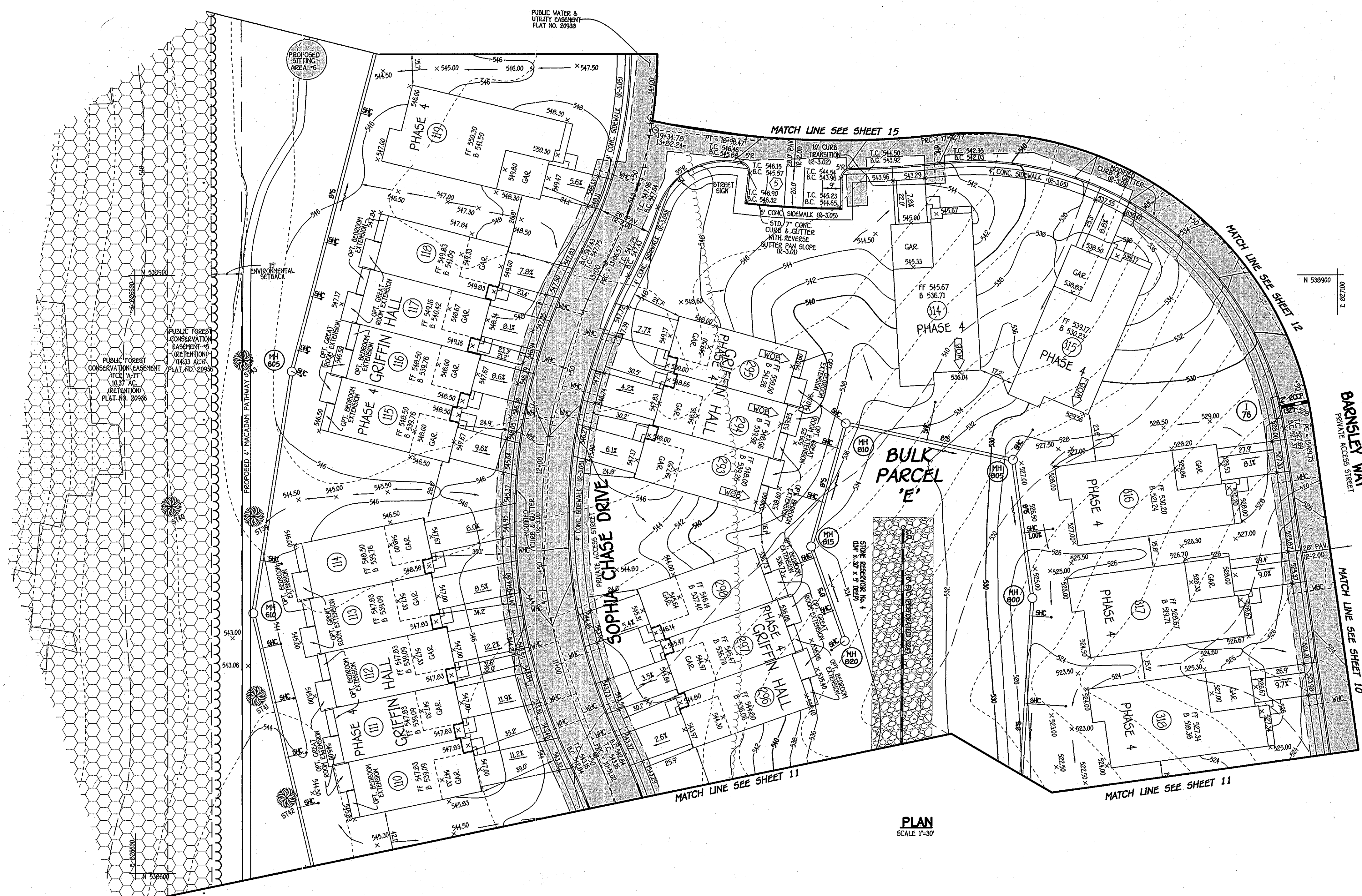
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/31/14.
Terrell A. Fisher 4/14/12
TERRELL A. FISHER, PROFESSIONAL ENGINEER

BUILDERS	
NV HOMES 6085 MARSHALEE DRIVE SUITE 130 ELKRIEDGE, MD. 21075 410-379-5956	RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELKRIEDGE, MD. 21075 410-379-5956
DEVELOPER	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422	
OWNERS	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Victoria DeLeon 12/18/12
Chief, Division of L&Z Development
Mark A. Layton 12/18/12
Chief, Development Engineering Division
Director - Department of Planning and Zoning

PROJECT	SECTION	PARCEL NO. "E"		
GTW'S WAVERLY WOODS	14	PHASE 4 & 5 LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 185 & PHASES IV & V - UNITS 80 THRU 119, 153 THRU 161, 196 THRU 200, 237 THRU 239, 288 THRU 271, 282 THRU 295, & 290 THRU 328		
PLAT 21427 - BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
21427 AND 22082 - 3 & 4	PSC	16	THIRD	60300
WATER CODE	SEWER CODE			
K-02	5992000			

SITE DEVELOPMENT PLAN
AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 185 & PHASES IV & V - UNITS 80 THRU 119, 153 THRU 161, 196 THRU 200, 237 THRU 239, 288 THRU 271, 282 THRU 295, & 290 THRU 328
TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES
TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
SHEET 10 OF 100 SDP-09-039



SEE L.O.D. ON SEDIMENT EROSION CONTROL PLAN ON SHEET 27

SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
•	SPOT ELEVATION
---	WALKOUT BASEMENT
---	SILT FENCE
---	STORM SILT FENCE
---	EROSION CONTROL MATING
---	LIMIT OF DISTURBANCE
---	STREET LIGHT PER F-09-057
---	UNLIMITED SABA NOISE LINE
---	PROPOSED STORM SEWER PIPE
---	PROPOSED SEWER
---	1% TO 24.9% SLOPE
---	EXISTING LANDSCAPING PER F-09-057
---	EXISTING STREET TREES PER F-09-057
---	REVERSE GUTTER PAN SLOPE
---	EXISTING STOPOVERKAN
---	EXISTING SEWER
---	EXISTING WATER
---	EXISTING WATER & SEWER UTILITY EASEMENT
---	EXISTING STREET TREES PER 509-09-037
---	EXISTING LANDSCAPING PER 509-09-037
---	FOREST CONSERVATION
---	FOREST CONSERVATION PLANTING
---	COMBINATION SUPER SILT FENCE AND TREE PROTECTION
---	SUPER SILT FENCE

PLAN SCALE 1"=30'

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 1072 BALTIMORE NATIONAL FEE
 ELLICOTT CITY, MARYLAND 21042
 (410) 481-2855

NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-009 AND ADD GRIFFIN HALL	9/28/12
2	REV. PER ADDITION APFO PHASE 4 BLDGS & 5-06-13 PHASING TAB	12/19/11
1	REV. PER ADDITION APFO PHASE 3 BLDGS & 5-06-13 PHASING TAB	3/24/10



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/31/14.
 Terrell A. Fisher, PROFESSIONAL ENGINEER
 DATE: 11/14/12

BUILDERS
 NV HOMES 6005 MARSHALEE DRIVE SUITE 130 ELKRIEGE, MD 21075 410-379-5956
 RYAN HOMES 6005 MARSHALEE DRIVE SUITE 140 ELKRIEGE, MD 21075 410-379-5956

DEVELOPER
 WAVERLY WOODS DEVELOPMENT CORPORATION, C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422

OWNERS
 WAVERLY WOODS DEVELOPMENT CORPORATION, C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Chief, Division of Land Development
 Chief, Development Engineering Division
 Director - Department of Planning and Zoning

PROJECT: GTW'S WAVERLY WOODS SECTION 14 PARCEL NO. 'E'

PLAT 21427	BLOCK NO. 21435 AND 22082	ZONE 3 & 4	TAX/ZONE PSC	ELEC. DIST. 16	CENSUS TR. THRD 60300
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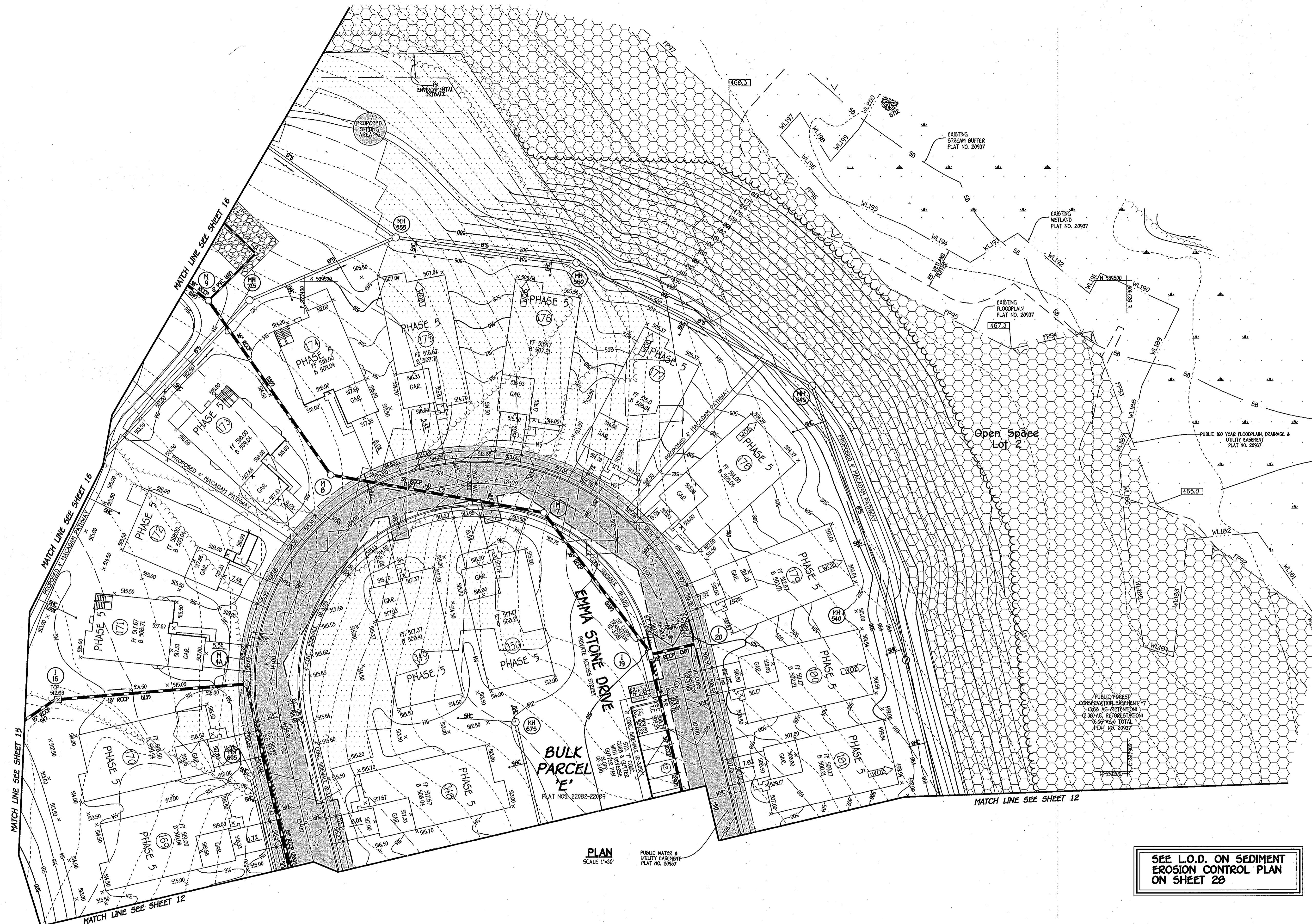
WATER CODE K-02 SEWER CODE 5992000

REVISED

SITE DEVELOPMENT PLAN
AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
 SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 105 & PHASES IV & V - UNITS 80 THRU 119, 150 THRU 161, 196 THRU 200, 237 THRU 239, 260 THRU 271, 282 THRU 285, & 290 THRU 320
 TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES

TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249 ZONING: PSC
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
 SHEET 13 OF 100 SDP-09-039

LEGEND	
SYMBOL	DESCRIPTION
	EXISTING CONTOUR 2' INTERVAL
	PROPOSED CONTOUR 2' INTERVAL
	SPOT ELEVATION
	WALLOUT BASEMENT
	SILT FENCE
	SUPER SILT FENCE
	EROSION CONTROL MATTING
	LIMIT OF DISTURBANCE
	STREET LIGHT PER F-09-057
	UNRESTRICTED EXHAUST LINE
	PROPOSED STORM DRAIN PIPE
	PROPOSED SEWER
	1% to 24.9% Slope
	EXISTING LANDSCAPING PER F-09-057
	EXISTING STREET TREES PER F-09-057
	REVERSE GUTTER PAN SLOPE
	EXISTING STORMDRAIN
	EXISTING SEWER
	EXISTING WATER & SEWER UTILITY CASING
	EXISTING STREET TREES PER SDP-09-037
	EXISTING LANDSCAPING PER SDP-09-037
	FOREST CONSERVATION
	FOREST CONSERVATION PLANTING
	COMBINATION SUPER SILT FENCE AND TREE PROTECTION
	SUPER SILT FENCE



PLAN
SCALE 1"=30'

PUBLIC WATER & UTILITY CASING
PLAT NO. 20937

SEE L.O.D. ON SEDIMENT
EROSION CONTROL PLAN
ON SHEET 20

REVISED

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTONIAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042
410 483 - 2955



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 17412 EXPIRATION DATE IS 3/31/14.
Terrell A. Fisher 1/14/12
TERRELL A. FISHER, PROFESSIONAL ENGINEER DATE

BUILDERS	
NV HOMES 6085 MARSHALEE DRIVE SUITE 130 ELKRIDGE, MD 21075 410-379-5956	RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELKRIDGE, MD 21075 410-379-5956
DEVELOPER	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELICOTT CITY, MARYLAND 21042 443-367-0422	
OWNERS	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELICOTT CITY, MARYLAND 21042 443-367-0422	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Ketshelwood 12/19/12
Chief, Division of Land Development Date

William 12/19/12
Chief, Development Engineering Division Date

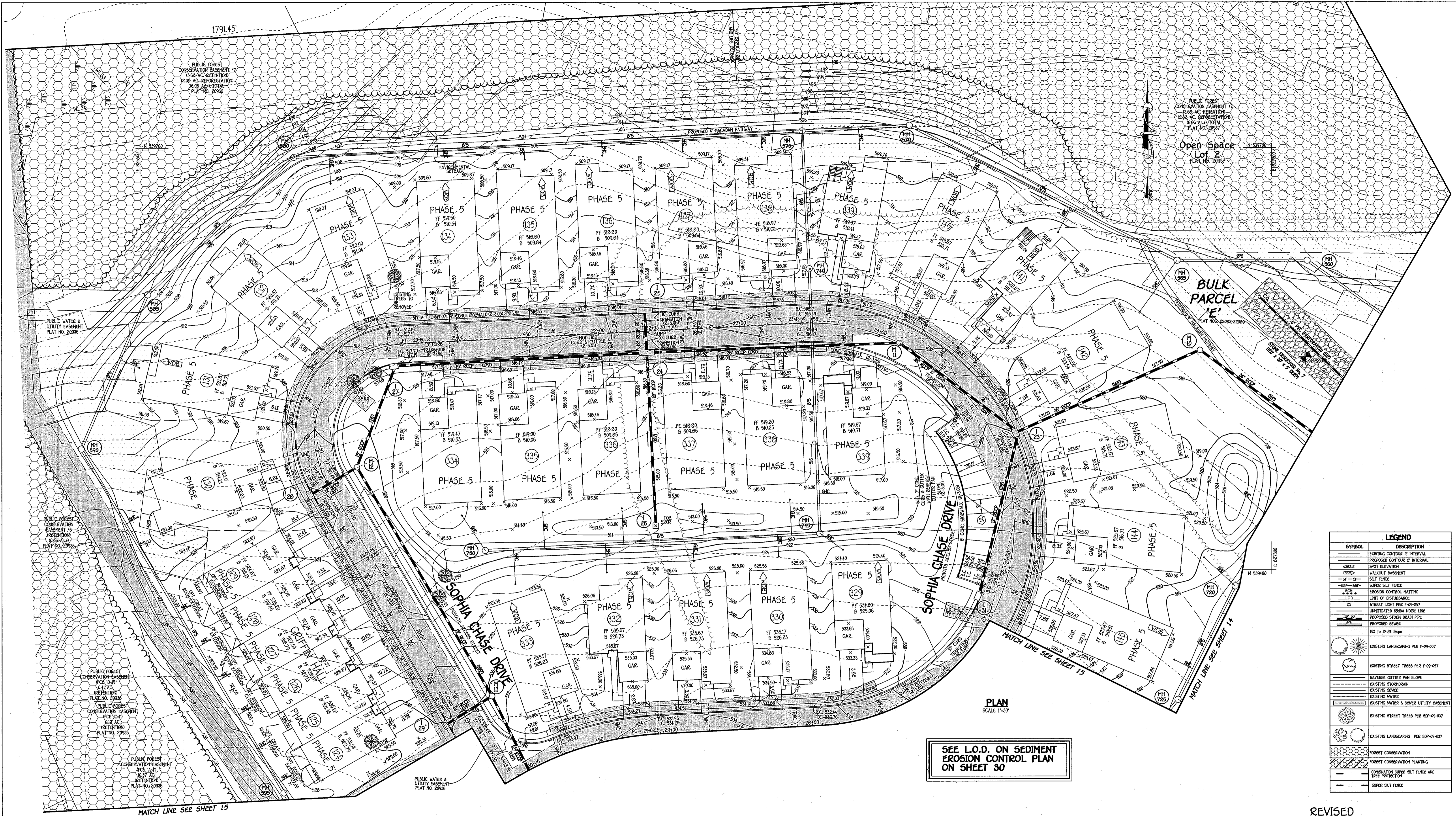
Masha A. Coughlin 12/19/12
Director - Department of Planning and Zoning Date

PROJECT	SECTION	PARCEL NO. "E"			
GTW'S WAVERLY WOODS	14	14			
PLAT 21427	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
21435 AND 22082 - 22089	3 & 4	PSC	16	THIRD	60300
WATER CODE	SEWER CODE				
K-02	5992000				

SITE DEVELOPMENT PLAN
AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS

SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 66 & 68 THRU 165 & PHASES IV & V - UNITS 60 THRU 119, 153 THRU 161, 196 THRU 200, 237 THRU 239, 268 THRU 271, 282 THRU 295, & 290 THRU 328
TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES
ZONING: PSC
TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
SHEET 14 OF 100

NO.	REVISION	DATE
2	REV. TO ADD FEE SIMPLE LOTS PER F-12-009 AND ADD GRIFFIN HALL	9/28/12
1	REV. PER ADDITION APFO PHASE 3 BLDGS & 9-06-13 PHASING TAB	3/24/10



LEGEND	
SYMBOL	DESCRIPTION
(dashed line)	EXISTING CONTOUR 2' INTERVAL
(dotted line)	PROPOSED CONTOUR 2' INTERVAL
(number)	SPOT ELEVATION
(line with dashes)	WALKOUT BASEMENT
(line with dashes)	SILT FENCE
(line with dashes)	SUPER SILT FENCE
(line with dashes)	EROSION CONTROL MATING
(line with dashes)	LIMIT OF DISTURBANCE
(line with dashes)	STREET LIGHT PER F-09-07
(line with dashes)	UNMITIGATED 65DBA NOISE LINE
(line with dashes)	PROPOSED SEWER
(line with dashes)	PROPOSED STORM DRAIN PIPE
(line with dashes)	15# TO 24\"/>

SEE L.O.D. ON SEDIMENT EROSION CONTROL PLAN ON SHEET 30

PLAN SCALE 1\"/>

REVISED

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10725 BALTIMORE NATIONAL FEE
 ELLICOTT CITY, MARYLAND 21042
 410-461-2899

NO.	REVISION	DATE
2	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	3/25/12
1	REV. PER ADDITION APTO PHASE 5 BLDGS & 5-06-13 PHASING TAB	3/24/10



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/31/14.

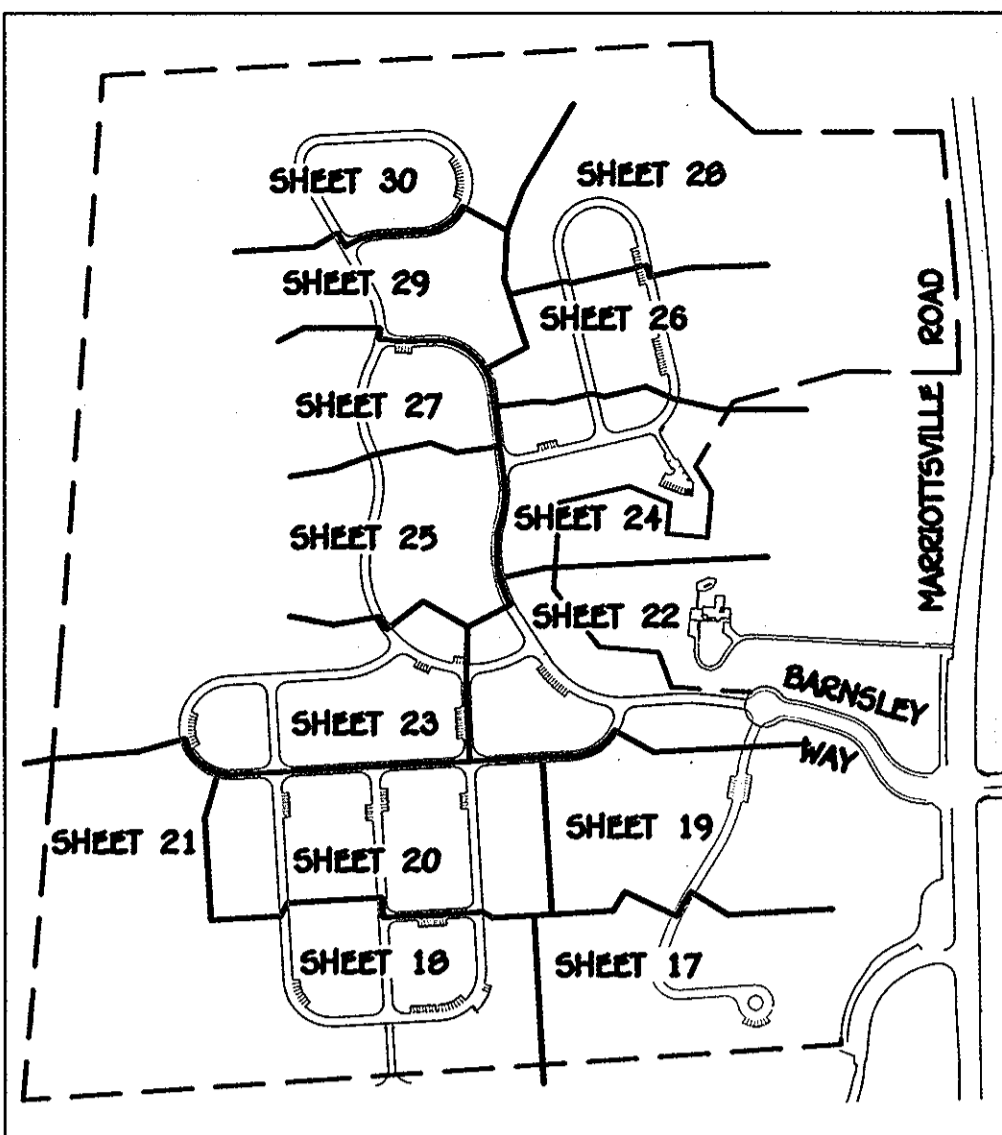
Terrell A. Fisher 11/14/12 DATE
 TERRELL A. FISHER, PROFESSIONAL ENGINEER

BUILDERS	
NV HOMES 6085 MARSHALEE DRIVE SUITE 130 ELK RIDGE, MD 21075 410-379-5956	RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELK RIDGE, MD 21075 410-379-5956
DEVELOPER	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422	
OWNERS	
WAVERLY WOODS DEVELOPMENT CORPORATION, C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Howard County Department of Planning and Zoning 12/10/12 DATE
 Chief, Division of Land Development
Howard County Department of Planning and Zoning 12/10/12 DATE
 Chief, Development Engineering Division
Howard County Department of Planning and Zoning 12/10/12 DATE
 Director - Department of Planning and Zoning

PROJECT	SECTION	PARCEL NO. "E"
GTW'S WAVERLY WOODS	14	PHASE 5 & 6 - 148 780 05 4 155-05 1 155-05 2 155-05 3 155-05 4 155-05 5 155-05 6 155-05 7 155-05 8 155-05 9 155-05 10 155-05 11 155-05 12 155-05 13 155-05 14 155-05 15 155-05 16 155-05 17 155-05 18 155-05 19 155-05 20 155-05 21 155-05 22 155-05 23 155-05 24 155-05 25 155-05 26 155-05 27 155-05 28 155-05 29 155-05 30 155-05 31 155-05 32 155-05 33 155-05 34 155-05 35 155-05 36 155-05 37 155-05 38 155-05 39 155-05 40 155-05 41 155-05 42 155-05 43 155-05 44 155-05 45 155-05 46 155-05 47 155-05 48 155-05 49 155-05 50 155-05 51 155-05 52 155-05 53 155-05 54 155-05 55 155-05 56 155-05 57 155-05 58 155-05 59 155-05 60 155-05 61 155-05 62 155-05 63 155-05 64 155-05 65 155-05 66 155-05 67 155-05 68 155-05 69 155-05 70 155-05 71 155-05 72 155-05 73 155-05 74 155-05 75 155-05 76 155-05 77 155-05 78 155-05 79 155-05 80 155-05 81 155-05 82 155-05 83 155-05 84 155-05 85 155-05 86 155-05 87 155-05 88 155-05 89 155-05 90 155-05 91 155-05 92 155-05 93 155-05 94 155-05 95 155-05 96 155-05 97 155-05 98 155-05 99 155-05 100 155-05 101 155-05 102 155-05 103 155-05 104 155-05 105 155-05 106 155-05 107 155-05 108 155-05 109 155-05 110 155-05 111 155-05 112 155-05 113 155-05 114 155-05 115 155-05 116 155-05 117 155-05 118 155-05 119 155-05 120 155-05 121 155-05 122 155-05 123 155-05 124 155-05 125 155-05 126 155-05 127 155-05 128 155-05 129 155-05 130 155-05 131 155-05 132 155-05 133 155-05 134 155-05 135 155-05 136 155-05 137 155-05 138 155-05 139 155-05 140 155-05 141 155-05 142 155-05 143 155-05 144 155-05 145 155-05 146 155-05 147 155-05 148 155-05 149 155-05 150 155-05 151 155-05 152 155-05 153 155-05 154 155-05 155 155-05 156 155-05 157 155-05 158 155-05 159 155-05 160 155-05 161 155-05 162 155-05 163 155-05 164 155-05 165 155-05 166 155-05 167 155-05 168 155-05 169 155-05 170 155-05 171 155-05 172 155-05 173 155-05 174 155-05 175 155-05 176 155-05 177 155-05 178 155-05 179 155-05 180 155-05 181 155-05 182 155-05 183 155-05 184 155-05 185 155-05 186 155-05 187 155-05 188 155-05 189 155-05 190 155-05 191 155-05 192 155-05 193 155-05 194 155-05 195 155-05 196 155-05 197 155-05 198 155-05 199 155-05 200 155-05 201 155-05 202 155-05 203 155-05 204 155-05 205 155-05 206 155-05 207 155-05 208 155-05 209 155-05 210 155-05 211 155-05 212 155-05 213 155-05 214 155-05 215 155-05 216 155-05 217 155-05 218 155-05 219 155-05 220 155-05 221 155-05 222 155-05 223 155-05 224 155-05 225 155-05 226 155-05 227 155-05 228 155-05 229 155-05 230 155-05 231 155-05 232 155-05 233 155-05 234 155-05 235 155-05 236 155-05 237 155-05 238 155-05 239 155-05 240 155-05 241 155-05 242 155-05 243 155-05 244 155-05 245 155-05 246 155-05 247 155-05 248 155-05 249 155-05 250 155-05 251 155-05 252 155-05 253 155-05 254 155-05 255 155-05 256 155-05 257 155-05 258 155-05 259 155-05 260 155-05 261 155-05 262 155-05 263 155-05 264 155-05 265 155-05 266 155-05 267 155-05 268 155-05 269 155-05 270 155-05 271 155-05 272 155-05 273 155-05 274 155-05 275 155-05 276 155-05 277 155-05 278 155-05 279 155-05 280 155-05 281 155-05 282 155-05 283 155-05 284 155-05 285 155-05 286 155-05 287 155-05 288 155-05 289 155-05 290 155-05 291 155-05 292 155-05 293 155-05 294 155-05 295 155-05 296 155-05 297 155-05 298 155-05 299 155-05 300 155-05 301 155-05 302 155-05 303 155-05 304 155-05 305 155-05 306 155-05 307 155-05 308 155-05 309 155-05 310 155-05 311 155-05 312 155-05 313 155-05 314 155-05 315 155-05 316 155-05 317 155-05 318 155-05 319 155-05 320 155-05 321 155-05 322 155-05 323 155-05 324 155-05 325 155-05 326 155-05 327 155-05 328 155-05 329 155-05 330 155-05 331 155-05 332 155-05 333 155-05 334 155-05 335 155-05 336 155-05 337 155-05 338 155-05 339 155-05 340 155-05 341 155-05 342 155-05 343 155-05 344 155-05 345 155-05 346 155-05 347 155-05 348 155-05 349 155-05 350 155-05 351 155-05 352 155-05 353 155-05 354 155-05 355 155-05 356 155-05 357 155-05 358 155-05 359 155-05 360 155-05 361 155-05 362 155-05 363 155-05 364 155-05 365 155-05 366 155-05 367 155-05 368 155-05 369 155-05 370 155-05 371 155-05 372 155-05 373 155-05 374 155-05 375 155-05 376 155-05 377 155-05 378 155-05 379 155-05 380 155-05 381 155-05 382 155-05 383 155-05 384 155-05 385 155-05 386 155-05 387 155-05 388 155-05 389 155-05 390 155-05 391 155-05 392 155-05 393 155-05 394 155-05 395 155-05 396 155-05 397 155-05 398 155-05 399 155-05 400 155-05 401 155-05 402 155-05 403 155-05 404 155-05 405 155-05 406 155-05 407 155-05 408 155-05 409 155-05 410 155-05 411 155-05 412 155-05 413 155-05 414 155-05 415 155-05 416 155-05 417 155-05 418 155-05 419 155-05 420 155-05 421 155-05 422 155-05 423 155-05 424 155-05 425 155-05 426 155-05 427 155-05 428 155-05 429 155-05 430 155-05 431 155-05 432 155-05 433 155-05 434 155-05 435 155-05 436 155-05 437 155-05 438 155-05 439 155-05 440 155-05 441 155-05 442 155-05 443 155-05 444 155-05 445 155-05 446 155-05 447 155-05 448 155-05 449 155-05 450 155-05 451 155-05 452 155-05 453 155-05 454 155-05 455 155-05 456 155-05 457 155-05 458 155-05 459 155-05 460 155-05 461 155-05 462 155-05 463 155-05 464 155-05 465 155-05 466 155-05 467 155-05 468 155-05 469 155-05 470 155-05 471 155-05 472 155-05 473 155-05 474 155-05 475 155-05 476 155-05 477 155-05 478 155-05 479 155-05 480 155-05 481 155-05 482 155-05 483 155-05 484 155-05 485 155-05 486 155-05 487 155-05 488 155-05 489 155-05 490 155-05 491 155-05 492 155-05 493 155-05 494 155-05 495 155-05 496 155-05 497 155-05 498 155-05 499 155-05 500 155-05 501 155-05 502 155-05 503 155-05 504 155-05 505 155-05 506 155-05 507 155-05 508 155-05 509 155-05 510 155-05 511 155-05 512 155-05 513 155-05 514 155-05 515 155-05 516 155-05 517 155-05 518 155-05 519 155-05 520 155-05 521 155-05 522 155-05 523 155-05 524 155-05 525 155-05 526 155-05 527 155-05 528 155-05 529 155-05 530 155-05 531 155-05 532 155-05 533 155-05 534 155-05 535 155-05 536 155-05 537 155-05 538 155-05 539 155-05 540 155-05 541 155-05 542 155-05 543 155-05 544 155-05 545 155-05 546 155-05 547 155-05 548 155-05 549 155-05 550 155-05 551 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155-05 734 155-05 735 155-05 736 155-05 737 155-05 738 155-05 739 155-05 740 155-05 741 155-05 742 155-05 743 155-05 744 155-05 745 155-05 746 155-05 747 155-05 748 155-05 749 155-05 750 155-05 751 155-05 752 155-05 753 155-05 754 155-05 755 155-05 756 155-05 757 155-05 758 155-05 759 155-05 760 155-05 761 155-05 762 155-05 763 155-05 764 155-05 765 155-05 766 155-05 767 155-05 768 155-05 769 155-05 770 155-05 771 155-05 772 155-05 773 155-05 774 155-05 775 155-05 776 155-05 777 155-05 778 155-05 779 155-05 780 155-05 781 155-05 782 155-05 783 155-05 784 155-05 785 155-05 786 155-05 787 155-05 788 155-05 789 155-05 790 155-05 791 155-05 792 155-05 793 155-05 794 155-05 795 155-05 796 155-05 797 155-05 798 155-05 799 155-05 800 155-05 801 155-05 802 155-05 803 155-05 804 155-05 805 155-05 806 155-05 807 155-05 808 155-05 809 155-05 810 155-05 811 155-05 812 155-05 813 155-05 814 155-05 815 155-05 816 155-05 817 155-05 818 155-05 819 155-05 820 155-05 821 155-05 822 155-05 823 155-05 824 155-05 825 155-05 826 155-05 827 155-05 828 155-05 829 155-05 830 155-05 831 155-05 832 155-05 833 155-05 834 155-05 835 155-05 836 155-05 837 155-05 838 155-05 839 155-05 840 155-05 841 155-05 842 155-05 843 155-05 844 155-05 845 155-05 846 155-05 847 155-05 848 155-05 849 155-05 850 155-05 851 155-05 852 155-05 853 155-05 854 155-05 855 155-05 856 155-05 857 155-05 858 155-05 859 155-05 860 155-05 861 155-05 862 155-05 863 155-05 864 155-05 865 155-05 866 155-05 867 155-05 868 155-05 869 155-05 870 155-05 871 155-05 872 155-05 873 155-05 874 155-05 875 155-05 876 155-05 877 155-05 878 155-05 879 155-05 880 155-05 881 155-05 882 155-05 883 155-05 884 155-05 885 155-05 886 155-05 887 155-05 888 155-05 889 155-05 890 155-05 891 155-05 892 155-05 893 155-05 894 155-05 895 155-05 896 155-05 897 155-05 898 155-05 899 155-05 900 155-05 901 155-05 902 155-05 903 155-05 904 155-05 905 155-05 906 155-05 907 155-05 908 155-05 909 155-05 910 155-05 911 155-05 912 155-05 913 155-05 914 155-05 915 155-05 916 155-05 917 155-05 918 155-05 919 155-05 920 155-05 921 155-05 922 155-05 923 155-05 924 155-05 925 155-05 926 155-05 927 155-05 928 155-05 929 155-05 930 155-05 931 155-05 932 155-05 933 155-05 934 155-05 935 155-05 936 155-05 937 155-05 938 155-05 939 155-05 940 155-05 941 155-05 942 155-05 943 155-05 944 155-05 945 155-05 946 155-05 947 155-05 948 155-05 949 155-05 950 155-05 951 155-05 952 1



SHEET INDEX
NO SCALE

SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
x362.2	SPOT ELEVATION
CHB	WALLOUT BASIN
---	SILT FENCE
---	SUPER SILT FENCE
---	EROSION CONTROL MATTING
---	LIMIT OF DISTURBANCE
---	STREET LIGHT PER F-09-057
---	UNLIMITED 600A WALK LINE
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED SEWER
---	15% TO 24.5% SLOPE
---	EXISTING LANDSCAPING PER F-09-057
---	EXISTING STREET TREES PER F-09-057
---	REVERSE CUTTER PAN SLOPE
---	EXISTING STORMSEAN
---	EXISTING SEWER
---	EXISTING WATER
---	EXISTING WATER & SEWER UTILITY EASEMENT
---	EXISTING STREET TREES PER SDP-09-037
---	EXISTING LANDSCAPING PER SDP-09-037
---	FOREST CONSERVATION
---	FOREST CONSERVATION PLANTING
---	COMBINATION SUPER SILT FENCE AND TREE PROTECTION
---	SUPER SILT FENCE
---	EROSION CONTROL MATTING
---	HVF
---	HIGH VISIBILITY FENCING
---	EARTH DICE W/ELEVATION

LIMIT OF DISTURBANCE NOTE:
NO MORE THAN 20 ACRES MAY BE UNSTABILIZED AT ANY TIME.

HIGH VISIBILITY FENCING "HVF" NOTE:
PROVIDE WITH ALL INTERNAL EARTH DIKES.

SILT FENCE NOTE:
CONTRACTOR TO IMBRICATE ALL SF/SF RUNNING DOWNHILL INTO J-SHAPED SEGMENTS AT 25' AND CURL ENDS UPHILL 2' IN ELEVATION.

CONTRACTOR NOTE:
CONTRACTOR SHALL REMOVE ALL OLD AND NEW JUNK, TRASH AND DEBRIS FROM FORESTS, FLOODPLAIN, STREAMS, WETLANDS AND THEIR BUFFERS.



TEMPORARY SEDIMENT BASIN No. 1 @ BMP #1
INITIAL D.A. = 9.30 Ac±
FINAL D.A. = 12.77 Ac±
STORAGE REQUIRED
WET = 1800 x 12.77 = 22,986 CuFt.
DRY = 1800 x 12.77 = 22,986 CuFt.
STORAGE PROVIDED
WET = 22,986 CuFt. @ ELEV. 463.30
DRY = 22,986 CuFt. @ ELEV. 465.45
BOTTOM ELEV. = 458.00
STORAGE DEPTH = 5.3'
TOP OF SETTLED EMBANKMENT = 469.00
CLEAN OUT ELEV. = 461.50
RISER CREST ELEV. = 465.50
1 YR. ORIFICE EL. = 463.30
Q1 exist. = 0.47 c.f.s. @ 465.46
Q1 prop. = 0.6 c.f.s. @ 465.46

PLAN
SCALE: 1" = 30'

REVISED

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
333 CENTRAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL FEE
ELLCOTT CITY, MARYLAND 21042
410 481-2955

NO.	REVISION	DATE
4	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
3	REV. PER ADDITION AFFO PHASE 4 BLDGS & 5-06-13 PHASING TAB AND ADJUSTMENTS ASSOCIATED WITH INTERIOR TOWNHOUSE UNIT.	12/19/11
2	REV. TO ADD FEE SIMPLE LOTS PER F-10-113	1/2/11
1	REV. PER ADDITION OF AFFO PHASE 3 BLDGS & 5-06-13 PHASING TAB	3/24/10
	NO. REVISION	DATE

DEVELOPER'S CERTIFICATE
"I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion. I Also Authorize Periodic Quality Inspections By The Howard Soil Conservation District."

[Signature] 11/15/12
Signature Of Developer Date

ENGINEER'S CERTIFICATE
"I Certify That This Plan For Pond Construction, Erosion And Sediment Control Represents A Practical And Workable Plan Based On My Personal Knowledge Of The Site Conditions. This Plan Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District. I Have Notified The Developer That He/She Must Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion."

[Signature] 11/14/12
Signature Of Engineer Date

These Plans For Small Pond Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.

[Signature] 11/15/12
Howard SCD Date

BUILDERS	
NV HOMES 6085 MARSHALLE DRIVE SUITE 130 ELKRIDGE, MD 21075 410-379-5956	RYAN HOMES 6085 MARSHALLE DRIVE SUITE 140 ELKRIDGE, MD 21075 410-379-5956

DEVELOPER		OWNERS	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-367-0422	WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-367-0422		

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 12/19/12
Chief, Division of Land Development Date

[Signature] 12/19/12
Chief, Development Engineering Division Date

[Signature] 12/19/12
Director - Department of Planning and Zoning Date

PROJECT	SECTION	PARCEL NO. 12'
GTW'S WAVERLY WOODS	14	1481THRU 154 PHASE II & III W/ 180THRU 200 155THRU 165 166THRU 180 181THRU 200

PLAT 21427 - BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
21435 AND 22082 - 22089	3 & 4	PSC	16	THIRD

WATER CODE	SEWER CODE
K-02	5992000

SEDIMENT/EROSION CONTROL PLAN (PHASE ONE)

AGE RESTRICTED ADULT HOUSING GTW'S WAVERLY WOODS

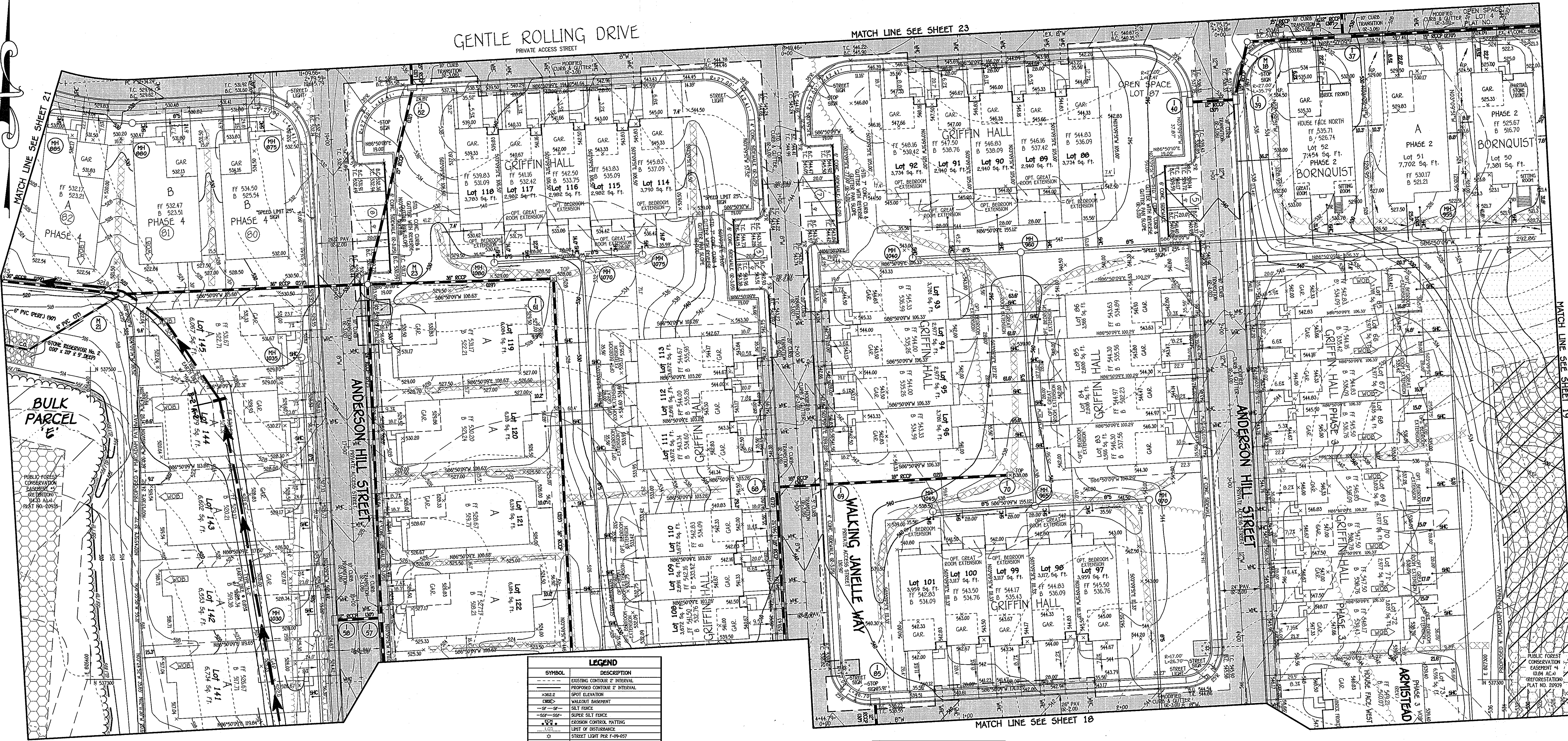
SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 96 & 98 THRU 165 & PHASES IV & V - UNITS 80 THRU 119, 153 THRU 161, 196 THRU 200, 237 THRU 239, 268 THRU 271, 282 THRU 295, & 190 THRU 328
TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES
ZONING: PSC

TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
SHEET 17 OF 100

SDP-09-039

GENTLE ROLLING DRIVE
PRIVATE ACCESS STREET

MATCH LINE SEE SHEET 23



LEGEND

SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
○	SPOT ELEVATION
---	WALKOUT BASEMENT
---	SILT FENCE
---	SUPER SILT FENCE
---	EROSION CONTROL MATTING
---	LIFT OF DISTURBANCE
---	STREET LIGHT PER F-9-057
---	UNFENCED 6000 NOISE LINE
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED SEWER
---	1% to 24.9% Slope
---	EXISTING LANDSCAPING PER F-9-057
---	EXISTING STREET TREES PER F-9-057
---	REVERSE OUTLET PAN SLOPE
---	EXISTING STORMSEWER
---	EXISTING SEWER
---	EXISTING WATER
---	EXISTING WATER & SEWER UTILITY EASEMENT
---	EXISTING STREET TREES PER SDP-09-037

LEGEND

SYMBOL	DESCRIPTION
---	EXISTING LANDSCAPING PER SDP-09-037
---	FOREST CONSERVATION
---	FOREST CONSERVATION PLANTING
---	COMBINATION SUPER SILT FENCE AND TREE PROTECTION
---	SUPER SILT FENCE
---	EROSION CONTROL MATTING
---	HIGH VISIBILITY FENCING

PLAN
SCALE: 1" = 30'

T.S.W.M. TRAP NOTE:
GEOTEXTILE SHALL BE PLACED OVER THE UPSTREAM FACE OF TSWM TRAPS

LIMIT OF DISTURBANCE NOTE:
NO MORE THAN 20 ACRES MAY BE UNSTABILIZED AT ANY TIME.

HIGH VISIBILITY FENCING "HVF" NOTE:
PROVIDE WITH ALL INTERNAL EARTH DIKES.

SILT FENCE NOTE:
CONTRACTOR TO IMBRICATE ALL 5% SFF RUNNING DOWNHILL INTO J-SHAPED SEGWENTS AT 25' AND CURL ENDS UPHILL 2' IN ELEVATION.

REVISED

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
EDITORIAL SQUARE, OFFICE PARK - 1072 BALTIMORE NATIONAL PARK
ELLICOTT CITY, MARYLAND 21114
410 481 - 2955



DEVELOPER'S CERTIFICATE
I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An As-Built Plan Of The Pond Within 30 Days Of Completion. I Also Authorize Periodic On-Site Inspections By The Howard Soil Conservation District.

Signature of Developer: *John K. K... 11/14/12*
Date: 11/14/12

ENGINEER'S CERTIFICATE
I Certify That This Plan For Pond Construction, Erosion And Sediment Control Represents A Practical And Workable Plan Based On My Personal Knowledge Of The Site Conditions. This Plan Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District. I Have Notified The Developer That I Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An As-Built Plan Of The Pond Within 30 Days Of Completion.

Signature of Engineer: *[Signature]* 11/14/12
Date: 11/14/12

These Plans For Small Pond Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.

APPROVED: *John K. K...* 4/15/12
Howard SCD Date

BUILDERS
NV HOMES 6085 MARSHALEE DRIVE SUITE 140 ELKRDGE, MD. 21075 410-379-9956
RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELKRDGE, MD. 21075 410-379-9956

DEVELOPER
WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLICOTT CITY, MARYLAND 21142
443-367-0422

OWNERS
WAVERLY WOODS DEVELOPMENT CORPORATION,
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLICOTT CITY, MARYLAND 21142
443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 12/19/12
Chief, Division of Land Development

[Signature] 12/19/12
Chief, Development Engineering Division

[Signature] 12/19/12
Director - Department of Planning and Zoning

PROJECT: GTW'S WAVERLY WOODS SECTION: 14

PLAT 21427 - BLOCK NO. 3 & 4 ZONE PSC TAX/ZONE 15 ELEC. DIST. THIRD CENSUS TR. 60300

WATER CODE K-02 SEWER CODE 5992000

SEDIMENT/EROSION CONTROL PLAN (PHASE ONE)

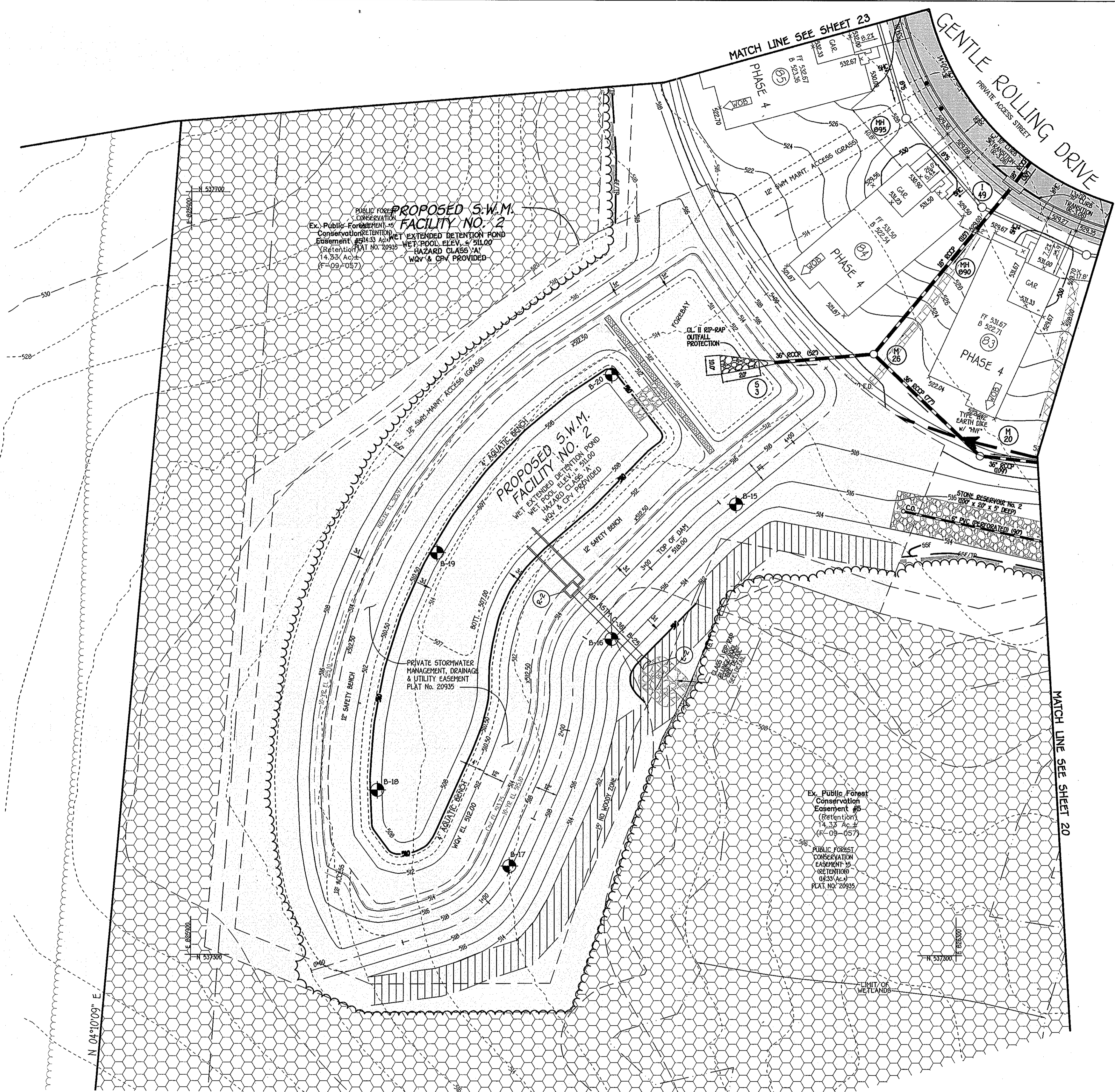
AGE RESTRICTED ADULT HOUSING GTW'S WAVERLY WOODS SECTION 14

"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 165 & PHASES IV & V - UNITS 80 THRU 119, 153 THRU 161, 196 THRU 200, 237 THRU 239, 268 THRU 271, 282 THRU 285, & 290 THRU 320
TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES

TAX MAP NO: 16 ZONING: PSC PARCEL NO: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
SHEET 20 OF 100 SDP-09-039

NO.	REVISION	DATE
5	REV. TO ADD FEE SIMPLE LOTS PER F-12-009 AND ADD GRIFFIN HALL	3/28/12
4	REV. PER ADDITION APFO PHASE 4 BLDGS & 5-06-13 PHASING TAB AND ADJUSTMENTS ASSOCIATED WITH INTERIOR TOWNHOUSE UNIT.	12/19/11
3	REV. GDS. LOT 50, TO SHOW AS-BUILT CONDITIONS	3/2/12
2	REV. TO ADD FEE SIMPLE LOTS PER F-10-113	1/12/11
1	REV. PER ADDITION APFO PHASE 3 BLDGS & 5-06-13 PHASING TAB	3/24/10

TEMPORARY SEDIMENT BASIN No. 2 ● BMP #2
 INITIAL D.A. = 13.35 Ac.±
 FINAL D.A. = 26.81 Ac.±
 STORAGE REQUIRED
 WET = 1800 x 26.81 = 48,258 CuFt.
 DRY = 1800 x 26.81 = 48,258 CuFt.
 STORAGE PROVIDED
 WET = 48,118 CuFt. @ ELEV. 511.00
 DRY = 48,258 CuFt. @ ELEV. 512.90
 BOTTOM ELEV. = 507.00
 STORAGE DEPTH = 4.0'
 TOP OF SETTLED EMBANKMENT = 518.00
 CLEAN OUT ELEV. = 509.70
 RISER CREST ELEV. = 513.75
 1 YR. ORIFICE EL. = 511.00
 Q1 exist. = 1.0 c.f.s.
 Q1 prop. = 1.8 c.f.s. @ 513.89 (NON-EROSIVE)



LEGEND	
---	EXISTING CONTOUR 2' INTERVAL
- - - -	PROPOSED CONTOUR 2' INTERVAL
SPOT	SPOT ELEVATION
-----	WALKOUT BASEMENT
--- ---	SILT FENCE
--- --- ---	SUPER SILT FENCE
-----	EROSION CONTROL MATTING
-----	LIMIT OF DISTURBANCE
○	STREET LIGHT PER F-09-057
-----	UNSTABILIZED GRASS NOISE LINE
-----	PROPOSED STORM DRAIN PIPE
-----	PROPOSED SEWER
-----	15# TO 24# SLOPE
○	EXISTING LANDSCAPING PER F-09-057
○	EXISTING STREET TREES PER F-09-057
-----	REVERSE CUTTER PAN SLOPE
-----	EXISTING STORMDRAIN
-----	EXISTING SEWER
-----	EXISTING WATER
-----	EXISTING WATER & SEWER UTILITY CASING
○	EXISTING STREET TREES PER S0P-09-037
○	EXISTING LANDSCAPING PER S0P-09-037
-----	FOREST CONSERVATION
-----	FOREST CONSERVATION PLANTING
-----	COMBINATION SUPER SILT FENCE AND TREE PROTECTION
-----	SSF/TP
-----	SUPER SILT FENCE
-----	EROSION CONTROL MATTING

PLAN
 SCALE 1" = 30'

LIMIT OF DISTURBANCE NOTE:
 NO MORE THAN 20 ACRES MAY BE UNSTABILIZED AT ANY TIME.

REVISED

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 1072 BALTIMORE NATIONAL FREE
 ELLICOTT CITY, MARYLAND 21042
 410 481 - 2955

NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/26/12



DEVELOPER'S CERTIFICATE
 "I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion. I Also Authorize Personnel On-Site Inspections By The Howard Soil Conservation District."
 Signature Of Developer: *[Signature]* Date: 11/14/12

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These Plans For Small Pond Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.
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 Howard SCD

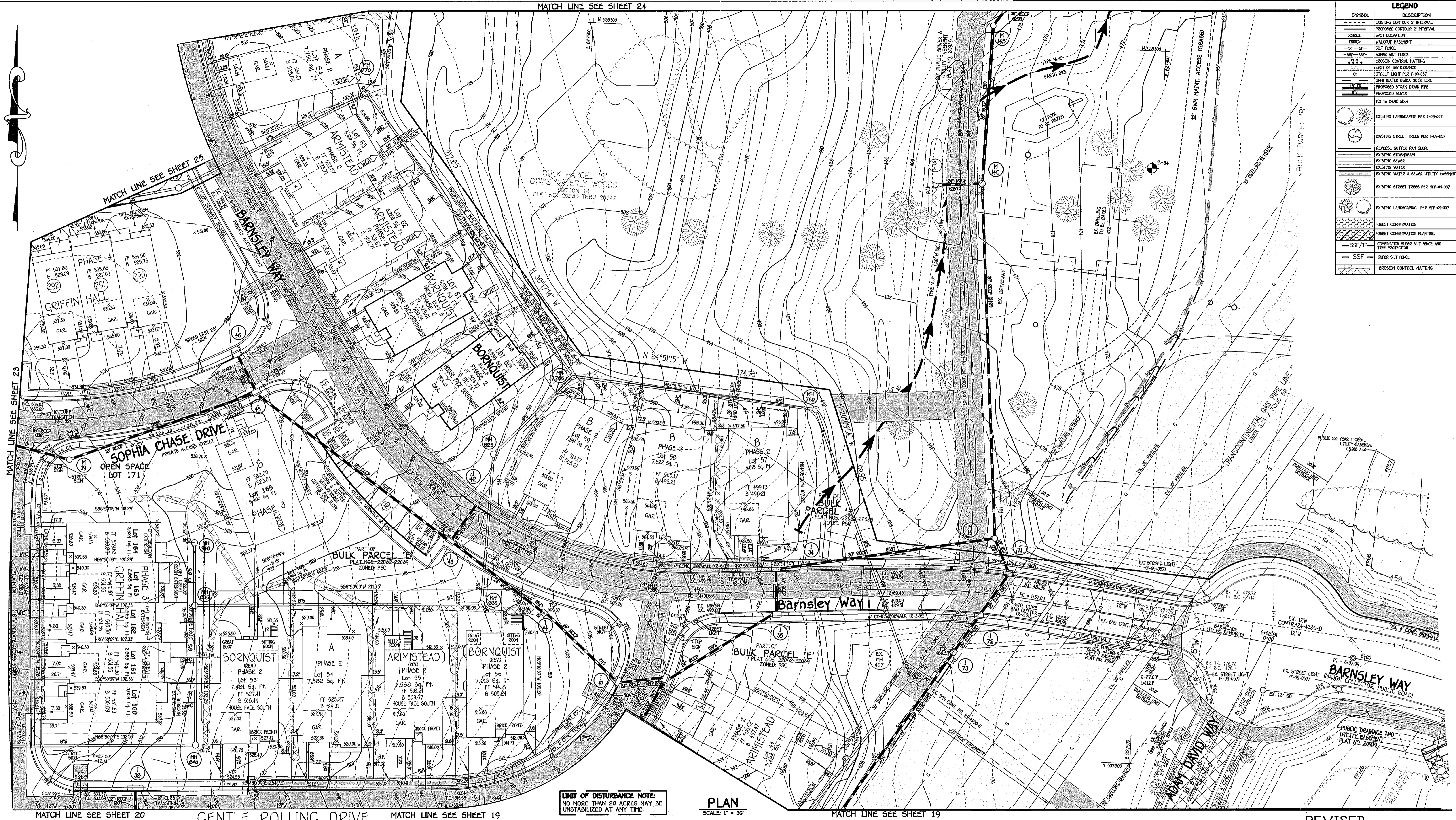
BUILDERS	
NV HOMES 6085 MARSHALEE DRIVE SUITE 140 ELKRIDGE, MD. 21075 410-379-5955	RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELKRIDGE, MD. 21075 410-379-5956

DEVELOPER		OWNERS	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-367-0422	WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-367-0422		

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Signature: *[Signature]* Date: 12/15/12
 Chief, Division of Land Development
 Signature: *[Signature]* Date: 12/15/12
 Chief, Development Engineering Division
 Signature: *[Signature]* Date: 12/15/12
 Director - Department of Planning and Zoning

PROJECT	SECTION	PARCEL NO. 'E'
GTW'S WAVERLY WOODS	14	12052, 12053, 12054, 12055, 12056, 12057, 12058, 12059, 12060, 12061, 12062, 12063, 12064, 12065, 12066, 12067, 12068, 12069, 12070, 12071, 12072, 12073, 12074, 12075, 12076, 12077, 12078, 12079, 12080, 12081, 12082, 12083, 12084, 12085, 12086, 12087, 12088, 12089, 12090, 12091, 12092, 12093, 12094, 12095, 12096, 12097, 12098, 12099, 12100, 12101, 12102, 12103, 12104, 12105, 12106, 12107, 12108, 12109, 12110, 12111, 12112, 12113, 12114, 12115, 12116, 12117, 12118, 12119, 12120, 12121, 12122, 12123, 12124, 12125, 12126, 12127, 12128, 12129, 12130, 12131, 12132, 12133, 12134, 12135, 12136, 12137, 12138, 12139, 12140, 12141, 12142, 12143, 12144, 12145, 12146, 12147, 12148, 12149, 12150, 12151, 12152, 12153, 12154, 12155, 12156, 12157, 12158, 12159, 12160, 12161, 12162, 12163, 12164, 12165, 12166, 12167, 12168, 12169, 12170, 12171, 12172, 12173, 12174, 12175, 12176, 12177, 12178, 12179, 12180, 12181, 12182, 12183, 12184, 12185, 12186, 12187, 12188, 12189, 12190, 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12763, 12764, 12765, 12766, 12767, 12768, 12769, 12770, 12771, 12772, 12773, 12774, 12775, 12776, 12777, 12778, 12779, 12780, 12781, 12782, 12783, 12784, 12785, 12786, 12787, 12788, 12789, 12790, 12791, 12792, 12793, 12794, 12795, 12796, 12797, 12798, 12799, 12800, 12801, 12802, 12803, 12804, 12805, 12806, 12807, 12808, 12809, 12810, 12811, 12812, 12813, 12814, 12815, 12816, 12817, 12818, 12819, 12820, 12821, 12822, 12823, 12824, 12825, 12826, 12827, 12828, 12829, 12830, 12831, 12832, 12833, 12834, 12835, 12836, 12837, 12838, 12839, 12840, 12841, 12842, 12843, 12844, 12845, 12846, 12847, 12848, 12849, 12850, 12851, 12852, 12853, 12854, 12855, 12856, 12857, 12858, 12859, 12860, 12861, 12862, 12863, 12864, 12865, 12866, 12867, 12868, 12869, 12870, 12871, 12872, 12873, 12874, 12875, 12876, 12877, 12878, 12879, 12880, 12881, 12882, 12883, 12884, 12885, 12886, 12887, 12888, 12889, 12890, 12891, 12892, 12893, 12894, 12895, 12896, 12897, 12898, 12899, 12900, 12901, 12902, 12903, 12904, 12905, 12906, 12907, 12908, 12909, 12910, 12911, 12912, 12913, 12914, 12915, 12916, 12917, 12918, 12919, 12920, 12921, 12922, 12923, 12924, 12925, 12926, 12927, 12928, 12929, 12930, 12931, 12932, 12933, 12934, 12935, 12936, 12937, 12938, 12939, 12940, 12941, 12942, 12943, 12944, 12945, 12946, 12947, 12948, 12949, 12950, 12951, 12952, 12953, 12954, 12955, 12956, 12957, 12958, 12959, 12960, 12961, 12962, 12963, 12964, 12965, 12966, 12967, 12968, 12969, 12970, 12971, 12972, 12973, 12974, 12975, 12976, 12977, 12978, 12979, 12980, 12981, 12982, 12983, 12984, 12985, 12986, 12987, 12988, 12989, 12990, 12991, 12992, 12993, 12994, 12995, 12996, 12997, 12998, 12999, 13000, 13001, 13002, 13003, 13004, 13005, 13006, 13007, 13008, 13009, 13010, 13011, 13012, 13013, 13014, 13015, 13016, 13017, 13018, 13019, 13020, 13021, 13022, 13023, 13024, 13025, 13026, 13027, 13028, 13029, 13030, 13031, 13032, 13033, 13034, 13035, 13036, 13037, 13038, 13039, 13040, 13041, 13042, 13043, 13044, 13045, 13046, 13047, 13048, 13049, 13050, 13051, 13052, 13053, 13054, 13055, 13056, 13057, 13058, 13059, 13060, 13061, 13062, 13063, 13064, 13065, 13066, 13067, 13068, 13069, 13070, 13071, 13072, 13073, 13074, 13075, 13076, 13077, 13078, 13079, 13080, 13081, 13082, 13083, 13084, 13085, 13086, 13087, 13088, 13089, 13090, 13091, 13092, 13093, 13094, 13095, 13096, 13097, 13098, 13099, 13100, 13101, 13102, 13103, 13104, 13105, 13106, 13107, 13108, 13109, 13110, 13111, 13112, 13113, 13114, 13115, 13116, 13117, 13118, 13119, 13120, 13121, 13122, 13123, 13124, 13125, 13126, 13127, 13128, 13129, 13130, 13131, 13132, 13133, 13134, 13135, 13136, 13137, 13138, 13139, 13140, 13141, 13142, 13143, 13144, 13145, 13146, 13147, 13148, 13149, 13150, 13151, 13152, 13153, 13154, 13155, 13156, 13157, 13158, 13159, 13160, 13161, 13162, 13163, 13164, 13165, 13166, 13167, 13168, 13169, 13170, 13171, 13172, 13173, 13174, 13175, 13176, 13177, 13178, 13179, 13180, 13181, 13182, 13183, 13184, 13185, 13186, 13187, 13188, 13189, 13190, 13191, 13192, 13193, 13194, 13195, 13196, 13197, 13198, 13199, 13200, 13201, 13202, 13203, 13204, 13205, 13206, 13207, 13208, 13209, 13210, 13211, 13212, 13213, 13214, 13215, 13216, 13217, 13218, 13219, 13220, 13221, 13222, 13223, 13224, 13225, 13226, 13227, 13228, 13229, 13230, 13231, 13232, 13233, 13234, 13235, 13236, 13237, 13238, 13239, 13240, 13241, 13242, 13243, 13244, 13245, 13246, 13247, 13248, 13249, 13250, 13251, 13252, 13253, 13254, 13255, 13256, 13257, 13258, 13259, 13260, 13261, 13262, 13263, 13264, 13265, 13266, 13267, 13268, 13269, 13270, 13271, 13272, 13273, 13274, 13275, 13276, 13277, 13278, 13279, 13280, 13281, 13282, 13283, 13284, 13285, 13286, 13287, 13288, 13289, 13290, 13291, 13292, 13293, 13294, 13295, 13296, 13297, 13298, 13299, 13300, 13301, 13302, 13303, 13304, 13305, 13306, 13307, 13308, 13309, 13310, 13311, 13312, 13313, 13314, 13315, 13316, 13317, 13318, 13319, 13320, 13321, 13322, 13323, 13324, 13325, 13326, 13327, 13328, 13329, 13330, 13331, 13332, 13333, 13334, 13335, 13336, 13337, 13338, 13339, 13340, 13341, 13342, 13343, 13344, 13345, 13346, 13347, 13348, 13349, 13350, 13351, 13352, 13353, 13354, 13355, 13356, 13357, 13358, 13359, 13360, 13361, 13362, 13363, 13364, 13365, 13366, 13367, 13368, 13369, 13370, 13371, 13372, 13373, 13374, 13375, 13376, 13377, 13378, 13379, 13380, 13381, 13382, 13383, 13384, 13385, 13386, 13387, 13388, 13389, 13390, 13391, 13392, 13393, 13394, 13395, 13396, 13397, 1

MATCH LINE SEE SHEET 24



LEGEND	
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
•	SPOT ELEVATION
---	VALLEY BASEMENT
---	5'-0" SFT
---	SUPER SILT FENCE
---	EROSION CONTROL MATTING
---	LIMIT OF DISTURBANCE
---	STREET LIGHT PER F-09-057
---	UNDEVELOPED AREA WIDE LOT
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED SEWER
---	15% TO 24% SLOPE
---	EXISTING LANDSCAPING PER F-09-057
---	EXISTING STREET TREES PER F-09-057
---	REVERSE GUTTER PAN SLOPE
---	EXISTING STORMDRAIN
---	EXISTING SEWER
---	EXISTING WATER
---	EXISTING WATER & SEWER UTILITY EASEMENT
---	EXISTING STREET TREES PER S0P-09-037
---	EXISTING LANDSCAPING PER S0P-09-037
---	FOREST CONSERVATION
---	FOREST CONSERVATION PLANTING
---	COMBINATION SUPER SILT FENCE AND TREE PROTECTION
---	SSSF
---	SUPER SILT FENCE
---	EROSION CONTROL MATTING

MATCH LINE SEE SHEET 23

MATCH LINE SEE SHEET 25

MATCH LINE SEE SHEET 20

GENTLE ROLLING DRIVE

MATCH LINE SEE SHEET 19

LIMIT OF DISTURBANCE NOTE:
NO MORE THAN 20 ACRES MAY BE UNSTABILIZED AT ANY TIME.

PLAN
SCALE: 1" = 30'

MATCH LINE SEE SHEET 19

REVISED

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
NATIONAL SQUARE OFFICE PARK - 10725 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042
410-481-2555



NO.	REVISION	DATE
5	REV. TO ADD FEE SIMPLE LOTS PER F-10-099 AND ADD GRIFFIN HALL	9/28/12
4	REV. PER ADDITION APPRO PHASE 4 BLDGS & 5-06-13 PHASING TAB	12/19/11
3	REV. HSE. TYPE LOT 56, FROM ARMISTEAD TO BORNQUIST	3/8/12
2	REV. TO ADD FEE SIMPLE LOTS PER F-10-013	1/12/11
1	REV. PER ADDITION APPRO PHASE 3 BLDGS & 5-06-13 PHASING TAB	3/24/10

DEVELOPER'S CERTIFICATE

"I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion. I Also Authorize Periodic On-Site Inspections By The Howard Soil Conservation District."

Signature of Developer: *John R. Roberts* Date: 11/14/12

ENGINEER'S CERTIFICATE

"I Certify That This Plan For Pond Construction, Erosion And Sediment Control Represents A Practical And Workable Plan Based On My Personal Knowledge Of The Site Conditions. This Plan Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District. I Have Notified The Developer That He/She Must Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion."

Signature of Engineer: *John R. Roberts* Date: 11/14/12

These Plans For Small Pond Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.

Signature: *John R. Roberts* Date: 11/13/12
Howard SCD

BUILDERS	
NV HOMES 6085 MARSHALEE DRIVE SUITE 130 ELKRODGE, MD 21075 410-379-5956	RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELKRODGE, MD 21075 410-379-5956
DEVELOPER	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422	
OWNERS	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Signature: *John R. Roberts* Date: 12/19/12
Signature: *John R. Roberts* Date: 12/19/12
Signature: *John R. Roberts* Date: 12/19/12

PROJECT	SECTION	PARCEL NO. "E"
GTW'S WAVERLY WOODS	14	14
PLAT 21427 21436 AND 22082 - 22089	BLOCK NO. 3 & 4	ZONE PSC
TAX/ZONE 16	ELEC. DIST. THIRD	CENSUS TR. 60300
WATER CODE K-02	SEWER CODE 5992000	

SEDIMENT/EROSION CONTROL PLAN (PHASE ONE)

**AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS**
SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 105 &
PHASES IV & V - LOTS 80 THRU 119, 150 THRU 161, 196 THRU 200,
237 THRU 239, 260 THRU 271, 282 THRU 295, & 290 THRU 320
TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES
ZONING: PSC
TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
SHEET 22 OF 100 S0P-09-039



PLAN
SCALE: 1" = 30'

LIMIT OF DISTURBANCE NOTE:
NO MORE THAN 20 ACRES MAY BE UNSTABILIZED AT ANY TIME.

HIGH VISIBILITY FENCING "HVP" NOTE:
PROVIDE WITH ALL INTERNAL EARTH DIKES.

SILT FENCE NOTE:
CONTRACTOR TO IMBRICATE ALL SF/SSF RUNNING DOWNHILL INTO U-SHAPED SEGMENTS AT 25' AND CURL ENDS UPHILL 2' IN ELEVATION.

SYMBOL	DESCRIPTION
	EXISTING LANDSCAPING PER SEP-09-037
	FOREST CONSERVATION
	FOREST CONSERVATION PLANTING
	COMBINATION SUPER SILT FENCE AND TREE PROTECTION
	SUPER SILT FENCE
	EROSION CONTROL MATTING

TEMPORARY SEDIMENT BASIN No. 3 @ BMP #3
INITIAL D.A. = 25.44 Ac.±
FINAL D.A. = 46.75 Ac.±
STORAGE REQUIRED:
WET = 1800 x 46.75 = 84,150 Cuft.
DRY = 1800 x 46.75 = 84,150 Cuft.
STORAGE PROVIDED:
WET = 87,253 Cuft. @ ELEV. 464.50
DRY = 84,150 Cuft. @ ELEV. 466.44
BOTTOM ELEV. = 461.50
STORAGE DEPTH = 3.0'
TOP OF SETTLED EMBANKMENT = 473.00
CLEAN OUT ELEV. = 463.10
RISER CREST ELEV. = 468.40
1 YR. ORIFICE EL. = 464.50
Q1 prop. = 3.2 c.f.s. @ 468.37 (NON-EROSIVE)

SYMBOL	DESCRIPTION
	EXISTING CONTOUR 2' INTERVAL
	PROPOSED CONTOUR 2' INTERVAL
	SPOT ELEVATION
	WALKOUT BASEMENT
	SILT FENCE
	SUPER SILT FENCE
	EROSION CONTROL MATTING
	LIGHT OF DISTURBANCE
	STREET LIGHT PER F-09-057
	UNLIMITED 650A HOSE LINE
	PROPOSED STORM DRAIN PER F-09-057
	EXISTING LANDSCAPING PER F-09-057
	EXISTING STREET TREES PER F-09-057
	REVERSE GUTTER PAN SLOPE
	EXISTING STORM DRAIN
	EXISTING SEWER
	EXISTING WATER
	EXISTING WATER & SEWER UTILITY EASEMENT
	EXISTING STREET TREES PER SDP-09-037

CONTRACTOR NOTE:
CONTRACTOR SHALL REMOVE ALL OLD AND NEW JUNK, TRASH AND DEBRIS FROM FORESTS, FLOODPLAIN, STREAMS, WETLANDS AND THEIR BUFFERS.

NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-099 AND ADD GRIFFIN HALL	9/28/12
2	REV. PER ADDITION APPRO PHASE 4 BLOCKS 4 & 5-06-13 PHASING TAB	12/19/11
3	REV. TO ADD FEE SIMPLE LOTS REV EASEMENT PER F-10-313	12/16/10
4	REV. PER ADDITION APPRO PHASE 3 BLOCKS 3 & 4-06-13 PHASING TAB	3/24/10

NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-099 AND ADD GRIFFIN HALL	9/28/12
2	REV. PER ADDITION APPRO PHASE 4 BLOCKS 4 & 5-06-13 PHASING TAB	12/19/11
3	REV. TO ADD FEE SIMPLE LOTS REV EASEMENT PER F-10-313	12/16/10
4	REV. PER ADDITION APPRO PHASE 3 BLOCKS 3 & 4-06-13 PHASING TAB	3/24/10

DEVELOPER'S CERTIFICATE
I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion. I Also Authorize Periodic On-Site Inspections By The Howard Soil Conservation District.

Signature of Developer: *[Signature]* Date: 11/14/12

ENGINEER'S CERTIFICATE
I Certify That This Plan For Pond Construction, Erosion And Sediment Control Represents A Practical And Workable Plan Based On My Personal Knowledge Of The Site Conditions. This Plan Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District. I Have Notified The Developer That He/She Must Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion.

Signature of Engineer: *[Signature]* Date: 11/14/12

These Plans For Small Pond Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.

Signature of Developer: *[Signature]* Date: 11/14/12

BUILDERS
NV HOMES 6095 MARSHALEE DRIVE SUITE 130 ELKBRIDGE, MD 21075 410-379-9956
RYAN HOMES 6095 MARSHALEE DRIVE SUITE 140 ELKBRIDGE, MD 21075 410-379-9956

DEVELOPER
WAVERLY WOODS DEVELOPMENT CORPORATION, C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422

OWNERS
WAVERLY WOODS DEVELOPMENT CORPORATION, C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Signature: *[Signature]* Date: 12/15/12
Chief, Division of Land Development

Signature: *[Signature]* Date: 12/14/12
Chief, Department Engineering Division

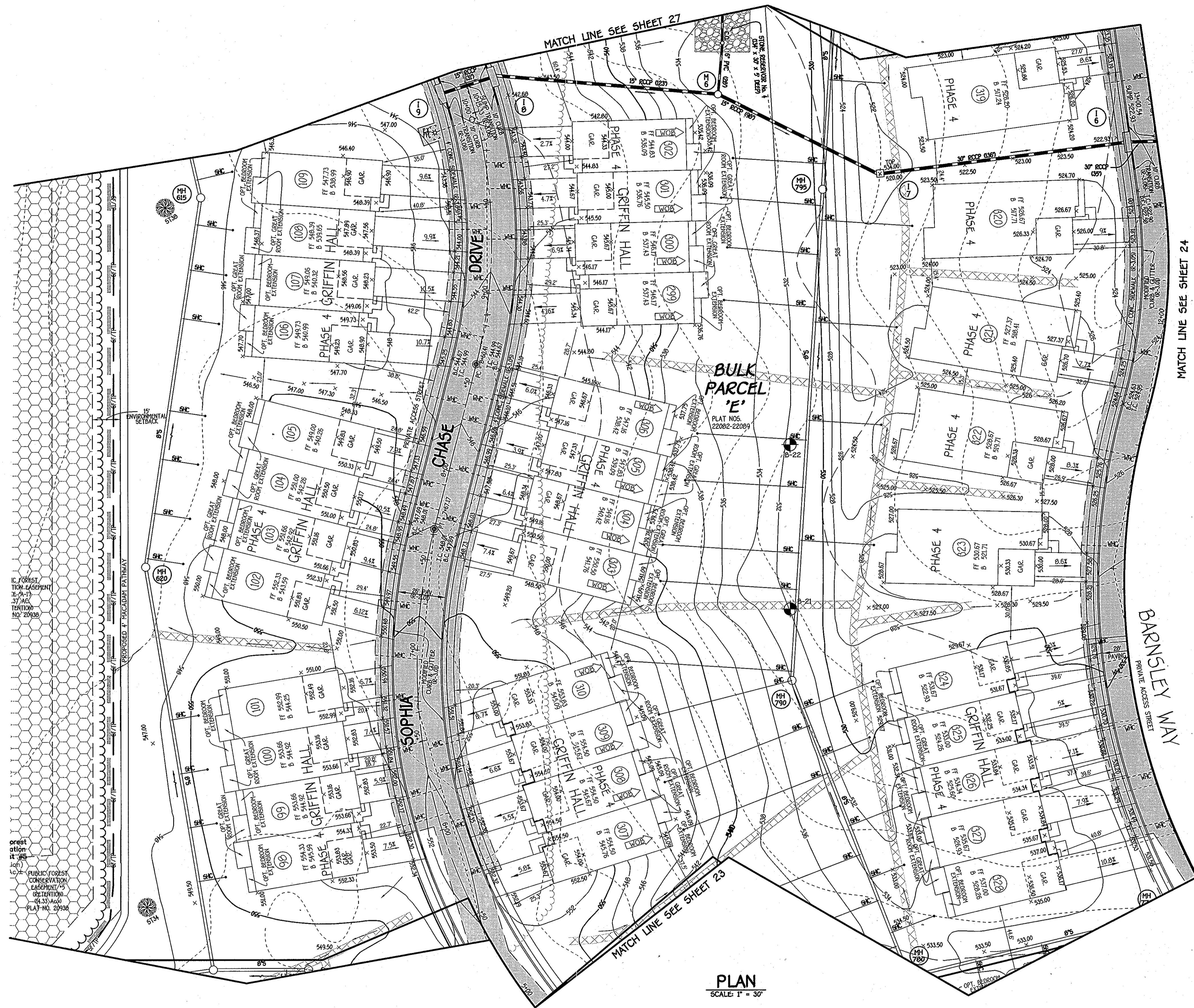
Signature: *[Signature]* Date: 12/14/12
Director - Department of Planning and Zoning

PROJECT	SECTION	PARCEL NO. 'E'
GTW'S WAVERLY WOODS	14	1015 5 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100
PLAT 21427 AND 22085-22089	BLOCK NO. 3 & 4	ZONE PSC
WATER CODE K-02	TAX/ZONE 16	ELEC. DIST. THIRD
	SEWER CODE 5992000	CENSUS TR. 60300

REVISED SEDIMENT/EROSION CONTROL PLAN (PHASE ONE)
AGE RESTRICTED ADULT HOUSING GTW'S WAVERLY WOODS SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 66 & 80 THRU 165 & PHASES IV & V - UNITS 80 THRU 119, 153 THRU 161, 196 THRU 200, 237 THRU 239, 268 THRU 271, 282 THRU 295, & 290 THRU 326
TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES
TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
SHEET 24 OF 100 SDP-09-039

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10722 BALTIMORE NATIONAL FEE ELLICOTT CITY, MARYLAND 21144
410 661 - 2655





MATCH LINE SEE SHEET 24

MATCH LINE SEE SHEET 27

PLAN
SCALE: 1" = 30'

LIMIT OF DISTURBANCE NOTE:
NO MORE THAN 20 ACRES MAY BE UNSTABILIZED AT ANY TIME.

LEGEND	
---	EXISTING CONTOUR 2' INTERVAL
- - -	PROPOSED CONTOUR 2' INTERVAL
•	SPOT ELEVATION
◻	WALKOUT BASEMENT
—	SILT FENCE
—	SUPER SILT FENCE
—	EROSION CONTROL MATTING
—	LIMIT OF DISTURBANCE
—	STREET LIGHT PER F-09-057
—	UNPAVED ROAD NOISE LINE
—	PROPOSED STORM DRAIN PIPE
—	PROPOSED SEWER
—	ISE TO 24.95 Slope
⊙	EXISTING LANDSCAPING PER F-09-057
⊙	EXISTING STREET TREES PER F-09-057
—	REVERSE GUTTER PAN SLOPE
—	EXISTING STORMDRAIN
—	EXISTING SEWER
—	EXISTING WATER
—	EXISTING WATER & SEWER UTILITY EASEMENT
⊙	EXISTING STREET TREES PER SOP-09-037
⊙	EXISTING LANDSCAPING PER SOP-09-037
—	FOREST CONSERVATION
—	FOREST CONSERVATION PLANTING
—	COMBINATOR SUPER SILT FENCE AND TREE PROTECTION
—	SUPER SILT FENCE
—	EROSION CONTROL MATTING

NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-099 AND ADD GRIFFIN HALL	3/28/12
2	REV. PER ADDITION AFPO PHASE 1 BLDGS & 5'-09" IS PHASING TAB	12/19/11
3	REV. PER ADDITION AFPO PHASE 1 BLDGS & 5'-09" IS PHASING TAB AND ADJUSTMENTS ASSOCIATED WITH INTERIOR TO HOUSE UNIT.	12/16/10
2	REV. TO ADD THE SEWER LOTS REV EASEMENT PER F-20-143 AND RELOCATE PUBLIC SEWER	12/16/10
1	REV. PER ADDITION AFPO PHASE 3 BLDGS & 5'-06" IS PHASING TAB	3/24/10



DEVELOPER'S CERTIFICATE
I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I/We Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion. I Also Authorize Periodic On-Site Inspections By The Howard Soil Conservation District.

Signature of Developer: *[Signature]* Date: 11/14/12

ENGINEER'S CERTIFICATE
I Certify That This Plan For Pond Construction, Erosion And Sediment Control Represents A Practical And Workable Plan Based On My Personal Knowledge Of The Site Conditions. This Plan Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District. I Have Notified The Developer That He/She Must Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion.

Signature of Engineer: *[Signature]* Date: 11/14/12

These Plans For Small Pond Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.

Signature: *[Signature]* Date: 11/15/12
Howard SCD

BUILDERS	
NV HOMES 6095 MARSHALEE DRIVE SUITE 130 ELK RIDGE, MD 21075 410-379-5956	RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELK RIDGE, MD 21075 410-379-5956

DEVELOPER		OWNERS	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-367-0422	WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-367-0422		

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development: *[Signature]* Date: 12/19/12
 Chief, Development Engineering Division: *[Signature]* Date: 12/19/12
 Director - Department of Planning and Zoning: *[Signature]* Date: 12/19/12

PROJECT	SECTION	PARCEL NO. "E"
GTW'S WAVERLY WOODS	14	14

PLAT 21427 AND 22082-22089	BLOCK NO. 3 & 4	ZONE PSC	TAX/ZONE 16	ELEC. DIST. THIRD	CENSUS TR. 60300
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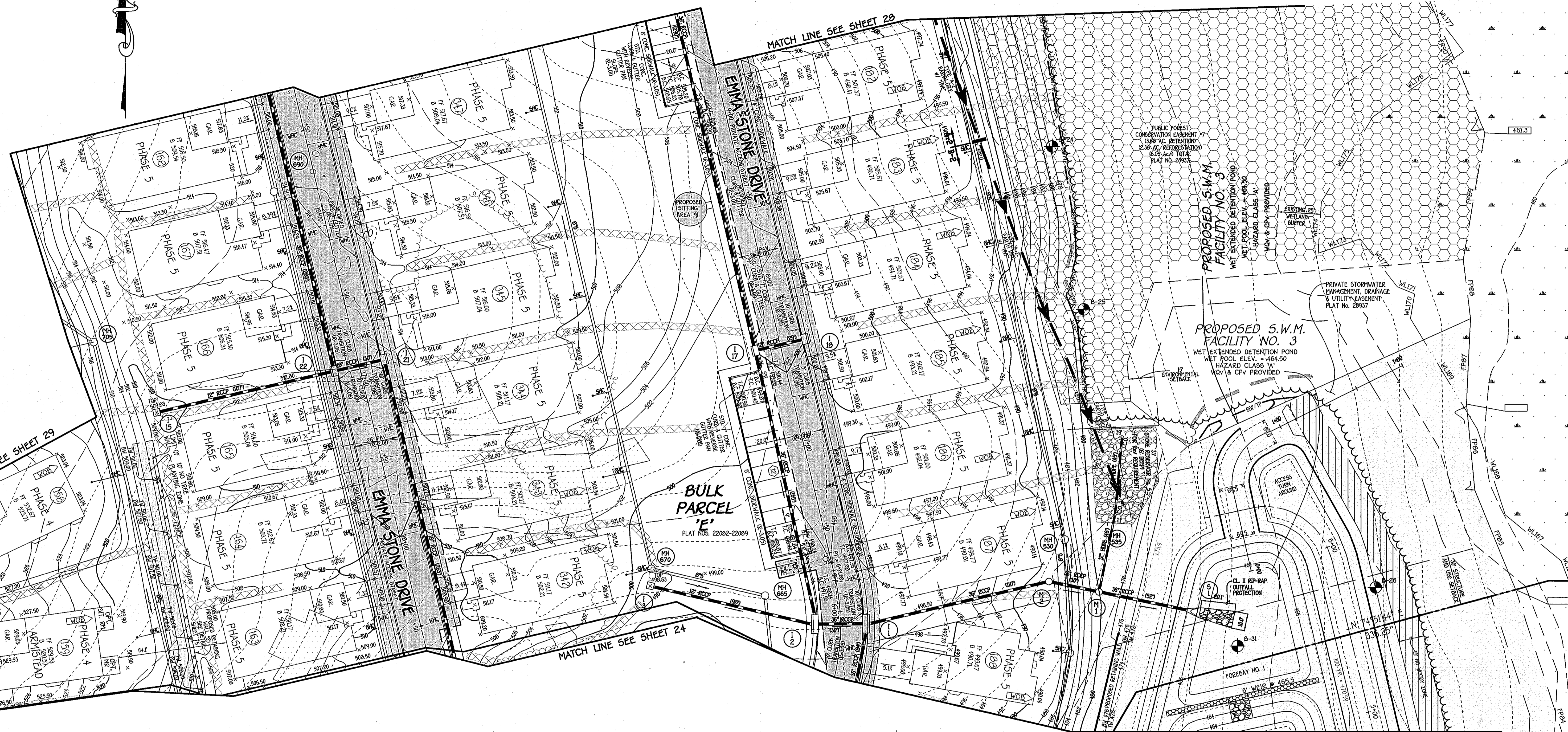
WATER CODE K-02	SEWER CODE 5992000
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REVISED SEDIMENT/EROSION CONTROL PLAN (PHASE ONE)
AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 105 & PHASES IV & V - UNITS 80 THRU 119, 150 THRU 161, 196 THRU 200, 237 THRU 239, 260 THRU 271, 282 THRU 295, & 290 THRU 326
TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES

TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
SHEET 25 OF 100 SDP-09-039

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE, P.O. BOX 1072 BALTIMORE NATIONAL FEE
ELLCOTT CITY, MARYLAND 21042
(410) 468-2895

SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
•	SPOT ELEVATION
○	WALKOUT BASIN
—	SILT FENCE
—	SUPER SILT FENCE
—	EROSION CONTROL MATTING
—	LIMIT OF DISTURBANCE
○	STREET LIGHT PER F-09-057
—	UNSATURATED GROUND WATER LINE
—	PROPOSED STORM DRAIN PIPE
—	PROPOSED SEWER
—	1% TO 24% SLOPE
○	EXISTING LANDSCAPING PER F-09-057
○	EXISTING STREET TREES PER F-09-057
—	REVERSE GUTTER PAN SLOPE
—	EXISTING STORMDRAIN
—	EXISTING SEWER
—	EXISTING WATER
—	EXISTING WATER & SEWER UTILITY EASEMENT
○	EXISTING STREET TREES PER SDP-09-037
○	EXISTING LANDSCAPING PER SDP-09-037
—	FOREST CONSERVATION
—	FOREST CONSERVATION PLANTING
—	CORPORATION SUPER SILT FENCE AND TREE PROTECTION
—	SUPER SILT FENCE
—	EROSION CONTROL MATTING



BARNSELEY WAY
PRIVATE ACCESS STREET
MATCH LINE SEE SHEET 29

PLAN
SCALE: 1" = 30'

LIMIT OF DISTURBANCE NOTE:
NO MORE THAN 20 ACRES MAY BE
UNSTABILIZED AT ANY TIME.

REVISED

NO.	REVISION	DATE
4	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRFTN HALL	9/28/12
3	REV. PER ADDITION APTO PHASE 4 BLDGS & 5-06-13 PHASING TAB	12/19/11
2	REV. TO ADD FEE SIMPLE LOTS REV EASEMENT PER F-10-113 AND RELOCATE PUBLIC SEWER	12/6/10
1	REV. PER ADDITION APTO PHASE 3 BLDGS & 5-06-13 PHASING TAB	3/24/10



DEVELOPER'S CERTIFICATE
"I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion. I Also Authorize Persons Off-Site Inspections By The Howard Soil Conservation District."

Signature of Developer: *[Signature]* Date: 11/14/12

ENGINEER'S CERTIFICATE
"I Certify That This Plan For Pond Construction, Erosion And Sediment Control Represents A Practical And Workable Plan Based On My Personal Knowledge Of The Site Conditions. This Plan Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District. I Have Notified The Developer That He/She Must Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion."

Signature of Engineer: *[Signature]* Date: 11/14/12

These Plans For Small Pond Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.

Signature of Howard SOB: *[Signature]* Date: 11/15/12

BUILDERS	
NV HOMES 6085 MARSHALEE DRIVE SUITE 130 ELKRIEDE, MD. 21075 410-379-5956	RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELKRIEDE, MD. 21075 410-379-5956

DEVELOPER		OWNERS	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 3300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-367-0422	WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 3300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-367-0422		

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

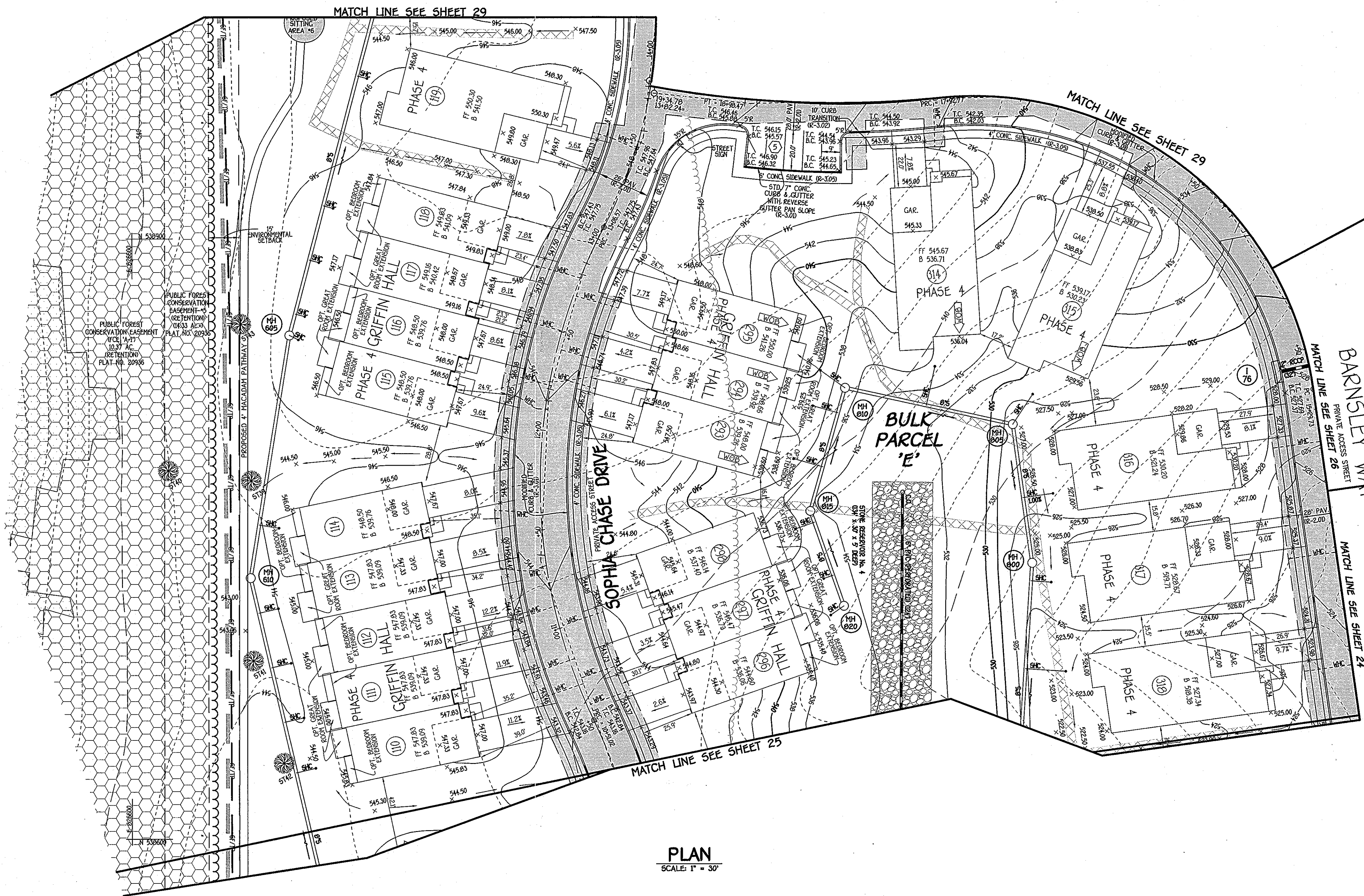
Signature: *[Signature]* Date: 12/19/12
Chief, Division of Land Development

Signature: *[Signature]* Date: 12/19/12
Chief, Development Engineering Division

Signature: *[Signature]* Date: 12/19/12
Director - Department of Planning and Zoning

PROJECT	SECTION	PARCEL NO. "E"
GTW'S WAVERLY WOODS	14	14015, 14016, 14017, 14018, 14019, 14020, 14021, 14022, 14023, 14024, 14025, 14026, 14027, 14028, 14029, 14030, 14031, 14032, 14033, 14034, 14035, 14036, 14037, 14038, 14039, 14040, 14041, 14042, 14043, 14044, 14045, 14046, 14047, 14048, 14049, 14050, 14051, 14052, 14053, 14054, 14055, 14056, 14057, 14058, 14059, 14060, 14061, 14062, 14063, 14064, 14065, 14066, 14067, 14068, 14069, 14070, 14071, 14072, 14073, 14074, 14075, 14076, 14077, 14078, 14079, 14080, 14081, 14082, 14083, 14084, 14085, 14086, 14087, 14088, 14089, 14090, 14091, 14092, 14093, 14094, 14095, 14096, 14097, 14098, 14099, 14100, 14101, 14102, 14103, 14104, 14105, 14106, 14107, 14108, 14109, 14110, 14111, 14112, 14113, 14114, 14115, 14116, 14117, 14118, 14119, 14120, 14121, 14122, 14123, 14124, 14125, 14126, 14127, 14128, 14129, 14130, 14131, 14132, 14133, 14134, 14135, 14136, 14137, 14138, 14139, 14140, 14141, 14142, 14143, 14144, 14145, 14146, 14147, 14148, 14149, 14150, 14151, 14152, 14153, 14154, 14155, 14156, 14157, 14158, 14159, 14160, 14161, 14162, 14163, 14164, 14165, 14166, 14167, 14168, 14169, 14170, 14171, 14172, 14173, 14174, 14175, 14176, 14177, 14178, 14179, 14180, 14181, 14182, 14183, 14184, 14185, 14186, 14187, 14188, 14189, 14190, 14191, 14192, 14193, 14194, 14195, 14196, 14197, 14198, 14199, 14200, 14201, 14202, 14203, 14204, 14205, 14206, 14207, 14208, 14209, 14210, 14211, 14212, 14213, 14214, 14215, 14216, 14217, 14218, 14219, 14220, 14221, 14222, 14223, 14224, 14225, 14226, 14227, 14228, 14229, 14230, 14231, 14232, 14233, 14234, 14235, 14236, 14237, 14238, 14239, 14240, 14241, 14242, 14243, 14244, 14245, 14246, 14247, 14248, 14249, 14250, 14251, 14252, 14253, 14254, 14255, 14256, 14257, 14258, 14259, 14260, 14261, 14262, 14263, 14264, 14265, 14266, 14267, 14268, 14269, 14270, 14271, 14272, 14273, 14274, 14275, 14276, 14277, 14278, 14279, 14280, 14281, 14282, 14283, 14284, 14285, 14286, 14287, 14288, 14289, 14290, 14291, 14292, 14293, 14294, 14295, 14296, 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15298, 15299, 15300, 15301, 15302, 15303, 15304, 15305, 15306, 15307, 15308, 15309, 15310, 15311, 15312, 15313, 15314, 15315, 15316, 15317, 15318, 15319, 15320, 15321, 15322, 15323, 15324, 15325, 15326, 15327, 15328, 15329, 15330, 15331, 15332, 15333, 15334, 15335, 15336, 15337, 15338, 15339, 15340, 15341, 15342, 15343, 15344, 15345, 15346, 15347, 15348, 15349, 15350, 15351, 15352, 15353, 15354, 15355, 15356, 15357, 15358, 15359, 15360, 15361, 15362, 15363, 15364, 15365, 15366, 15367, 15368, 15369, 15370, 15371, 15372, 15373, 15374, 15375, 15376, 15377, 15378, 15379, 15380, 15381, 15382, 15383, 15384, 15385, 15386, 15387, 15388, 15389, 15390, 15391, 15392, 15393, 15394, 15395, 15396, 15397, 15398, 15399, 15400, 15401, 15402, 15403, 15404, 15405, 15406, 15407, 15408, 15409, 15410, 15411, 15412, 15413, 15414, 15415,

SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
•	SPOT ELEVATION
---	WALKOUT BASEMENT
---	SILT FENCE
---	SUPER SILT FENCE
---	EROSION CONTROL MATTING
---	LIMIT OF DISTURBANCE
---	STREET LIGHT PER F-09-057
---	LIMITED ACCESS WALK LINE
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED SEWER
---	USE TO 24% Slope
---	EXISTING LANDSCAPING PER F-09-057
---	EXISTING STREET TREES PER F-09-057
---	REVERSE CUTTER PAN SLOPE
---	EXISTING STORMDRAIN
---	EXISTING SEWER
---	EXISTING WATER
---	EXISTING WATER & SEWER UTILITY EASEMENT
---	EXISTING STREET TREES PER SDP-09-037
---	EXISTING LANDSCAPING PER SDP-09-037
---	FOREST CONSERVATION
---	FOREST CONSERVATION PLANTING
---	COMBINATION SUPER SILT FENCE AND TREE PROTECTION
---	SUPER SILT FENCE
---	EROSION CONTROL MATTING



PLAN
SCALE: 1" = 30'

LIMIT OF DISTURBANCE NOTE:
NO MORE THAN 20 ACRES MAY BE UNSTABILIZED AT ANY TIME.

HIGH VISIBILITY FENCING "HVF" NOTE:
PROVIDE WITH ALL INTERNAL EARTH DIKES.

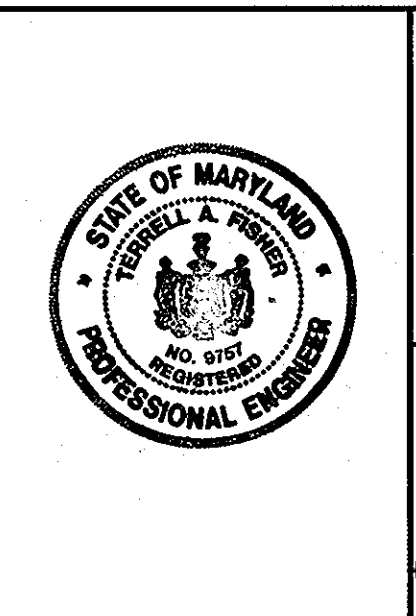
SILT FENCE NOTE:
CONTRACTOR TO IMBRICATE ALL SF/SFF RUNNING DOWNHILL INTO J-SHAPED SEGMENTS AT 25' AND CURB ENDS UPHILL 2' IN ELEVATION.

CONTRACTOR NOTE:
CONTRACTOR SHALL REMOVE ALL OLD AND NEW JUNK, TRASH AND DEBRIS FROM FORESTS, FLOODPLAIN, STREAMS, WETLANDS AND THEIR BUFFERS.

REVISED

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10722 BALTIMORE NATIONAL PARK
ELLICOTT CITY, MARYLAND 21042
410 481 - 2955

NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
2	REV. PER ADDITION APPRO PHASE 4 BLDGS & S-06-13 PRASING TAB	12/19/12
3	REV. TO ADD FEE SIMPLE LOTS REV EASEMENT PER F-10-113	12/16/10
1	REV. PER ADDITION APPRO PHASE 3 BLDGS & S-06-13 PRASING TAB	3/24/10



DEVELOPER'S CERTIFICATE
"I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion. I Also Authorize Periodic On-Site Inspections By The Howard Soil Conservation District."

Signature of Developer: *[Signature]* Date: 11/14/12

ENGINEER'S CERTIFICATE
"I Certify That This Plan For Pond Construction, Erosion And Sediment Control Represents A Practical And Workable Plan Based On My Personal Knowledge Of The Site Conditions. This Plan Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District. I Have Notified The Developer That He/She Must Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion."

Signature of Engineer: *[Signature]* Date: 11/14/12

These Plans For Small Pond Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.

Signature: *[Signature]* Date: 11/15/12

BUILDERS	
NV HOMES 6095 MARSHALEE DRIVE SUITE 130 ELKCRIDGE, MD 21075 410-379-5956	RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELKCRIDGE, MD 21075 410-379-5956

DEVELOPER		OWNERS	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422	WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422		

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Signature: *[Signature]* Date: 12/19/12
Chief, Division of Land Development

Signature: *[Signature]* Date: 12/10/12
Chief, Development Engineering Division

Signature: *[Signature]* Date: 12/14/12
Director - Department of Planning and Zoning

PROJECT	SECTION	PARCEL NO. "E"
GTW'S WAVERLY WOODS	14	PHASE 1 & 2 100' x 150' x 150' x 150' 100' x 150' x 150' x 150'

PLAT 21427	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
21435 AND 22082 - 22089	3 & 4	PSC	16	THIRD	60300

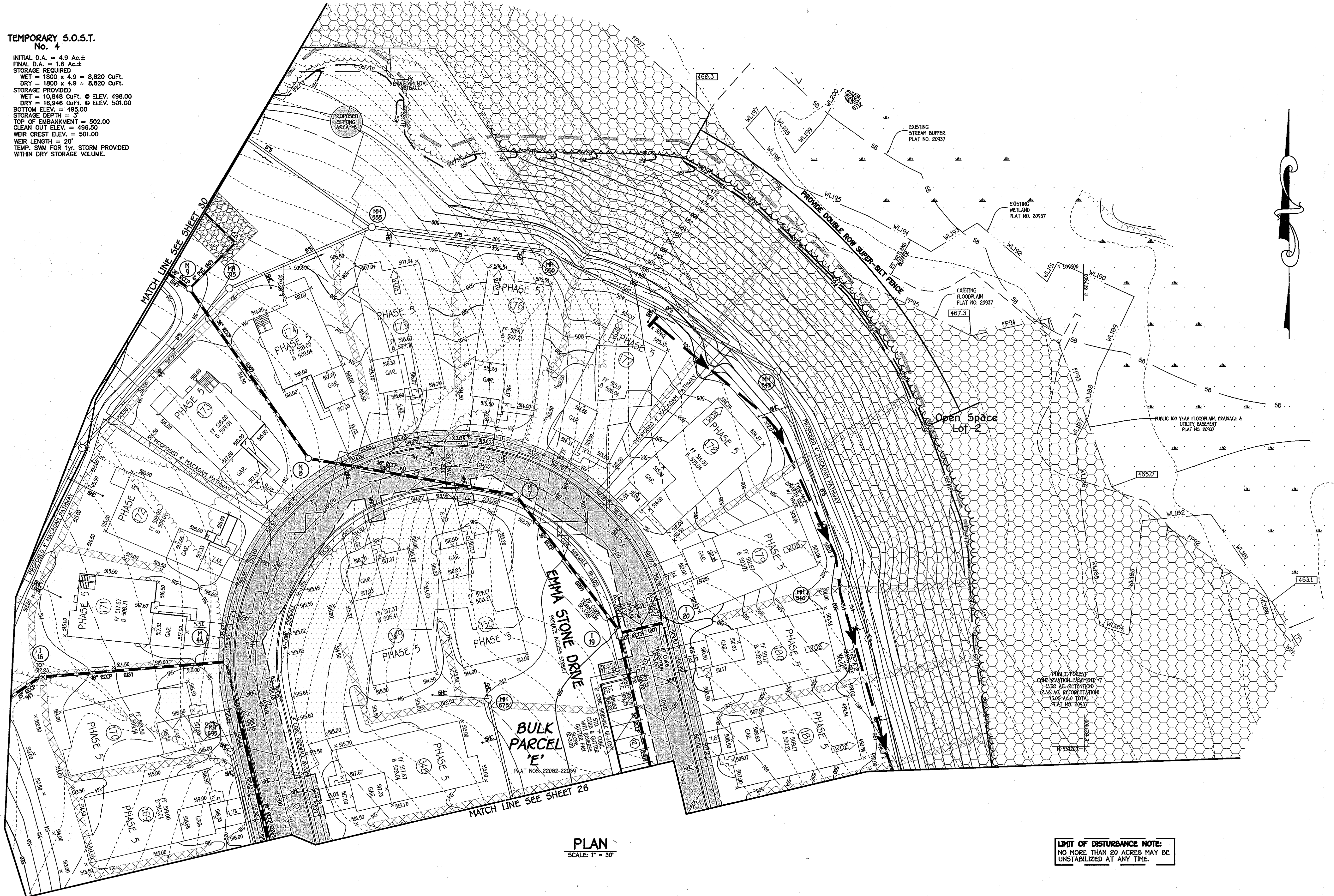
WATER CODE	SEWER CODE
K-02	5992000

SEDIMENT/EROSION CONTROL PLAN (PHASE ONE)
AGE RESTRICTED ADULT HOUSING GTW'S WAVERLY WOODS
SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 165 & PHASES IV & V - UNITS 80 THRU 119, 153 THRU 161, 196 THRU 200, 237 THRU 239, 266 THRU 271, 282 THRU 285, & 290 THRU 320
TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES
ZONING: PSC
TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
SHEET 27 OF 100



TEMPORARY S.O.S.T. No. 4
 INITIAL D.A. = 4.9 Ac.±
 FINAL D.A. = 1.6 Ac.±
STORAGE REQUIRED
 WET = 1800 x 4.9 = 8,820 CuFt.
 DRY = 1800 x 4.9 = 8,820 CuFt.
STORAGE PROVIDED
 WET = 10,848 CuFt. @ ELEV. 498.00
 DRY = 16,946 CuFt. @ ELEV. 501.00
 BOTTOM ELEV. = 495.00
 STORAGE DEPTH = 3'
 TOP OF EMBANKMENT = 502.00
 CLEAN OUT ELEV. = 498.50
 WEIR CREST ELEV. = 501.00
 WEIR LENGTH = 20'
 TEMP. SWM FOR 1yr. STORM PROVIDED WITHIN DRY STORAGE VOLUME.

LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
SPOT	SPOT ELEVATION
CBSC	WALKOUT BASEMENT
---	SILT FENCE
---	SUPER SALT FENCE
---	EROSION CONTROL MATTING
---	LIMIT OF DISTURBANCE
---	STREET LIGHT PER F-09-057
---	UNPUNCTURED GARRA HOSE LINE
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED SEWER
---	1% to 24.9% Slope
---	EXISTING LANDSCAPING PER F-09-057
---	EXISTING STREET TREES PER F-09-057
---	REVERSE CHITTER PAN SLOPE
---	EXISTING STORMDRAIN
---	EXISTING SEWER
---	EXISTING WATER
---	EXISTING WATER & SEWER UTILITY EASEMENT
---	EXISTING STREET TREES PER 50P-09-037
---	EXISTING LANDSCAPING PER 50P-09-037
---	FOREST CONSERVATION
---	FOREST CONSERVATION PLANTING
---	COMBINATION SUPER SALT FENCE AND TREE PROTECTION
---	SUPER SALT FENCE
---	EROSION CONTROL MATTING
---	EARTH DRE. w/ELEVATION



PLAN
 SCALE: 1" = 30'

LIMIT OF DISTURBANCE NOTE:
 NO MORE THAN 20 ACRES MAY BE UNSTABILIZED AT ANY TIME.

REVISED

<p>FISHER, COLLINS & CARTER, INC. CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL Pk. ELLICOTT CITY, MARYLAND 21142 410-481-2899</p>		
	<p>1 REV. TO ADD FEE SIMPLE LOTS PER F-12-009 AND ADD GRIFFIN HALL</p>	
NO.	REVISION	DATE

DEVELOPER'S CERTIFICATE
 "I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion. I Also Authorize Periodic On-Site Inspections By The Howard Soil Conservation District."

Signature of Developer: *[Signature]* Date: 11/14/12

ENGINEER'S CERTIFICATE
 "I Certify That This Plan For Pond Construction, Erosion And Sediment Control Represents A Practical And Workable Plan Based On My Personal Knowledge Of The Site Conditions. This Plan Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District. I Have Notified The Developer That He/She Must Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion."

Signature of Engineer: *[Signature]* Date: 11/14/12

These Plans For Small Pond Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.

Howard SCD

BUILDERS
 NV HOMES 6085 MARSHALEE DRIVE SUITE 130 ELKRIEDE, MD 21075 410-379-5956
 RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELKRIEDE, MD 21075 410-379-5956

DEVELOPER
 WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 443-367-0422

OWNERS
 WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 12/19/12
 Chief, Division of Land Development

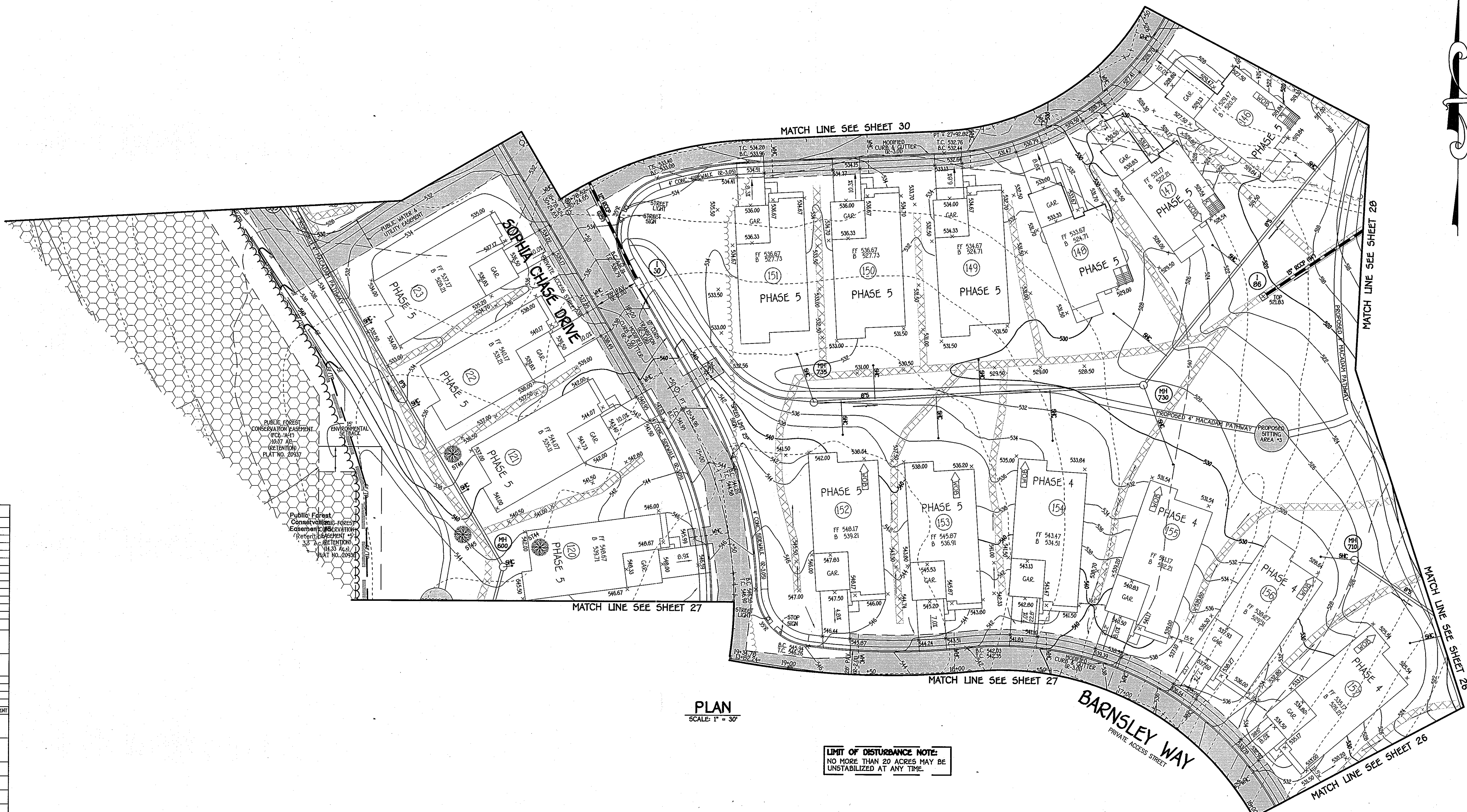
[Signature] 12/19/12
 Chief, Development Engineering Division

[Signature] 12/19/12
 Director - Department of Planning and Zoning

PROJECT	SECTION	PARCEL NO. "E"
GTW'S WAVERLY WOODS	14	PHASE 5 & 6, LOTS 16 THROUGH 20, 237 THRU 239, 268 THRU 271, 282 THRU 295, & 290 THRU 320
PLAT 21427 21435 AND 22082 - 22089	BLOCK NO. 3 & 4	ZONE PSC
WATER CODE K-02	TAX/ZONE 16	ELEC. DIST. THIRD
	SEWER CODE 5992000	CENSUS TR. 60300

SEDIMENT/EROSION CONTROL PLAN (PHASE ONE)
AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
 SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 165 & PHASES IV & V - UNITS 80 THRU 119, 153 THRU 161, 196 THRU 200, 237 THRU 239, 268 THRU 271, 282 THRU 295, & 290 THRU 320
 TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES
 ZONING: PSC
 TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
 THIRD ELECTION DISTRICT - HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
 SHEET 26 OF 100

SDP-09-039



LEGEND

SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
•	SPOT ELEVATION
---	WALKOUT BASEMENT
---	SILT FENCE
---	SUPER SILT FENCE
---	EROSION CONTROL MATTING
---	LIMIT OF DISTURBANCE
---	STREET LIGHT PER F-09-057
---	UNMITIGATED ESDM NOISE LINE
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED SEWER
---	1% TO 2% SLOPE
---	EXISTING LANDSCAPING PER F-09-057
---	EXISTING STREET TREES PER F-09-057
---	REVERSE CUTTER PAN SLOPE
---	EXISTING STORMSEAN
---	EXISTING SEWER
---	EXISTING WATER
---	EXISTING WATER & SEWER UTILITY EASEMENT
---	EXISTING STREET TREES PER S0P-09-037
---	EXISTING LANDSCAPING PER S0P-09-037
---	FOREST CONSERVATION
---	FOREST CONSERVATION PLANTING
---	COMBINATION SUPER SILT FENCE AND TREE PROTECTION
---	SUPER SILT FENCE
---	EROSION CONTROL MATTING

PLAN
SCALE: 1" = 30'

LIMIT OF DISTURBANCE NOTE:
NO MORE THAN 20 ACRES MAY BE UNSTABILIZED AT ANY TIME.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 18772 BALDORNE NATIONAL PRX
ELICOTT CITY, MARYLAND 21042
410-469-2955

NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12



DEVELOPER'S CERTIFICATE
I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Shall Engage A Registered-Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion. I Also Authorize Periodic On-Site Inspections By The Howard Soil Conservation District.

Signature Of Developer: *[Signature]* Date: 11/14/12

ENGINEER'S CERTIFICATE
I Certify That This Plan For Pond Construction, Erosion And Sediment Control Represents A Practical And Workable Plan Based On My Personal Knowledge Of The Site Conditions. This Plan Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District. I Have Notified The Developer That I Have "As-Built" Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion.

Signature Of Engineer: *[Signature]* Date: 11/14/12

These Plans For Small Pond Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.

Signature: *[Signature]* Date: 11/15/12
Howard SCD

BUILDERS
NV HOMES 6085 MARSHALEE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-5956
RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956

DEVELOPER
WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELICOTT CITY, MARYLAND 21042
443-367-0422

OWNERS
WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELICOTT CITY, MARYLAND 21042
443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Signature: *[Signature]* Date: 12/16/12
Chief, Division of Land Development

Signature: *[Signature]* Date: 12/16/12
Chief, Development Engineering Division

Signature: *[Signature]* Date: 12/14/12
Director - Department of Planning and Zoning

PROJECT	SECTION	PARCEL NO. "E"
GTW'S WAVERLY WOODS	14	PHASE I & II PHASE I & II UNITS 119, 153 THRU 165 & UNITS 166 THRU 180
PLAT 21427 - 21435 AND 22082 - 22089	BLOCK NO. 3 & 4	ZONE PSC
TAX MAP NO. 16	GRID NO. 3 & 4	PARCEL NO. PART OF 249
WATER CODE K-02	SEWER CODE 5992000	THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND

REVISED SEDIMENT/EROSION CONTROL PLAN (PHASE ONE)

AGE RESTRICTED ADULT HOUSING GTW'S WAVERLY WOODS

SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASE I & II LOTS 5, 12 THRU 39, 44 THRU 66 & 88 THRU 165 & PHASES IV & V - UNITS 60 THRU 119, 153 THRU 161, 196 THRU 200, 237 THRU 239, 268 THRU 271, 282 THRU 285, & 290 THRU 328
TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES

ZONING: PSC
TAX MAP NO. 16 GRID NO. 3 & 4 PARCEL NO. PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
SHEET 29 OF 100

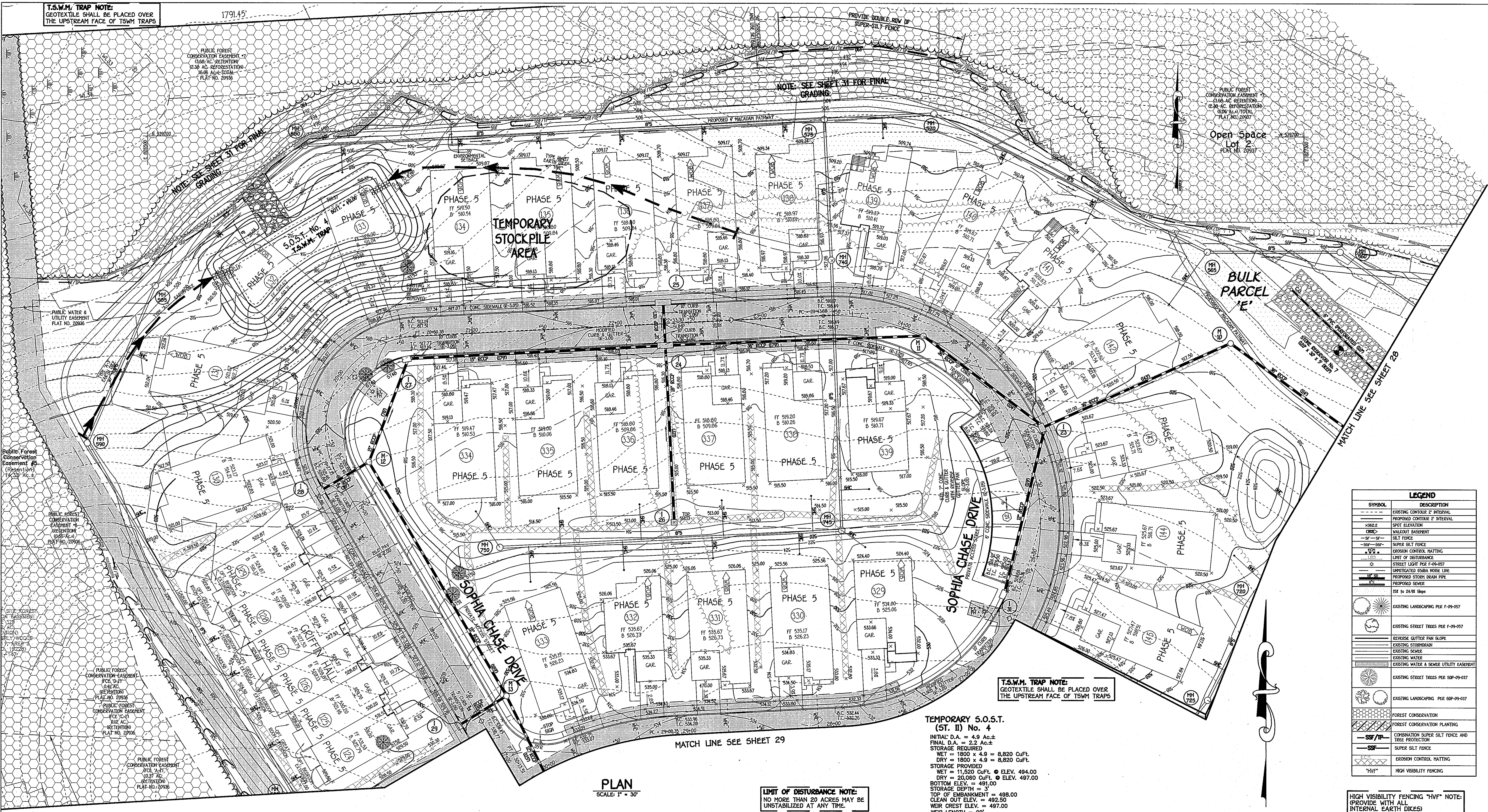
T.S.W.M. TRAP NOTE:
GEOTEXTILE SHALL BE PLACED OVER
THE UPSTREAM FACE OF TSWM TRAPS

1791.45

PUBLIC FOREST
CONSERVATION EASEMENT #7
0.38 AC RETENTION
0.38 AC REFORESTATION
0.66 AC TOTAL
PLAT NO. 20935

PUBLIC FOREST
CONSERVATION EASEMENT #7
0.38 AC RETENTION
0.38 AC REFORESTATION
0.66 AC TOTAL
PLAT NO. 20937

Open Space
Lot 2
PLAT NO. 20937



PLAN
SCALE: 1" = 30'

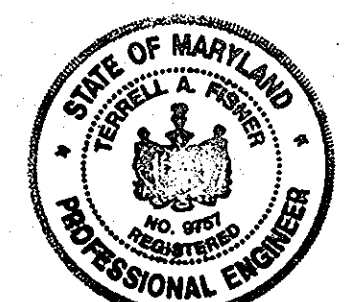
LIMIT OF DISTURBANCE NOTE:
NO MORE THAN 20 ACRES MAY BE
UNSTABILIZED AT ANY TIME.

**TEMPORARY S.O.S.T.
(ST. II) No. 4**
INITIAL D.A. = 4.9 Ac.±
FINAL D.A. = 2.2 Ac.±
STORAGE REQUIRED
WET = 1800 x 4.9 = 8,820 Cuft.
DRY = 1800 x 4.9 = 8,820 Cuft.
STORAGE PROVIDED
WET = 11,520 Cuft. @ ELEV. 494.00
DRY = 20,080 Cuft. @ ELEV. 497.00
BOTTOM ELEV. = 491.00
STORAGE DEPTH = 3'
TOP OF EMBANKMENT = 498.00
CLEAN OUT ELEV. = 492.50
WEIR CREST ELEV. = 497.00
WEIR LENGTH = 20'
TEMP. SWM FOR 1yr. STORM PROVIDED
WITHIN DRY STORAGE VOLUME.

SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
x362.2	SPOT ELEVATION
---	WALKOUT EASEMENT
---	SET FENCE
---	SUPER SILT FENCE
---	EROSION CONTROL MATTING
---	LIMIT OF DISTURBANCE
---	STREET LIGHT PER F-09-057
---	UNSTABILIZED EARTH NOISE LINE
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED SEWER
---	15% to 24.9% Slope
---	EXISTING LANDSCAPING PER F-09-057
---	EXISTING STREET TREES PER F-09-057
---	REVERSE GUTTER PAN SLOPE
---	EXISTING STORMDRAIN
---	EXISTING WATER
---	EXISTING WATER & SEWER UTILITY EASEMENT
---	EXISTING STREET TREES PER S0P-09-037
---	EXISTING LANDSCAPING PER S0P-09-037
---	FOREST CONSERVATION
---	FOREST CONSERVATION PLANTING
---	COMBINATION SUPER SILT FENCE AND TREE PROTECTION
---	SUPER SILT FENCE
---	EROSION CONTROL MATTING
---	"HVF"

HIGH VISIBILITY FENCING "HVF" NOTE:
(PROVIDE WITH ALL
INTERNAL EARTH DIKES)

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 1072 BALTIMORE NATIONAL FEE
ELLCOTT CITY, MARYLAND 21042
410 488-2955



DEVELOPER'S CERTIFICATE
"I/We Certify that All Development And/Or Construction Will be Done According to These Plans, And that Any Responsible Personnel Involved in the Construction Project Will Have a Certificate of Attendance at a Department of the Environment Approved Training Program For the Control of Sediment and Erosion Before Beginning the Project. I Shall Engage a Registered Professional Engineer to Supervise Pond Construction and Provide the Howard Soil Conservation District with an "As-Built" Plan of the Pond Within 30 Days of Completion. I Also Authorize Periodic On-Site Inspections by the Howard Soil Conservation District."
Signature of Developer: [Signature] Date: 11/14/12

ENGINEER'S CERTIFICATE
"I Certify that This Plan for Pond Construction, Erosion and Sediment Control Represents a Practical and Workable Plan Based on My Personal Knowledge of the Site Conditions. This Plan Was Prepared in Accordance with the Requirements of the Howard Soil Conservation District. I Have Notified the Developer that He/She Must Engage a Registered Professional Engineer to Supervise Pond Construction and Provide the Howard Soil Conservation District with an "As-Built" Plan of the Pond Within 30 Days of Completion."
Signature of Engineer: [Signature] Date: 11/14/12

These Plans for Small Pond Construction, Soil Erosion and Sediment Control Meet the Requirements of the Howard Soil Conservation District.

BUILDERS
NV HOMES 6095 MARSHALEE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-9596
RYAN HOMES 6095 MARSHALEE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-9596

DEVELOPER
WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLCOTT CITY, MARYLAND 21042
443-367-0422

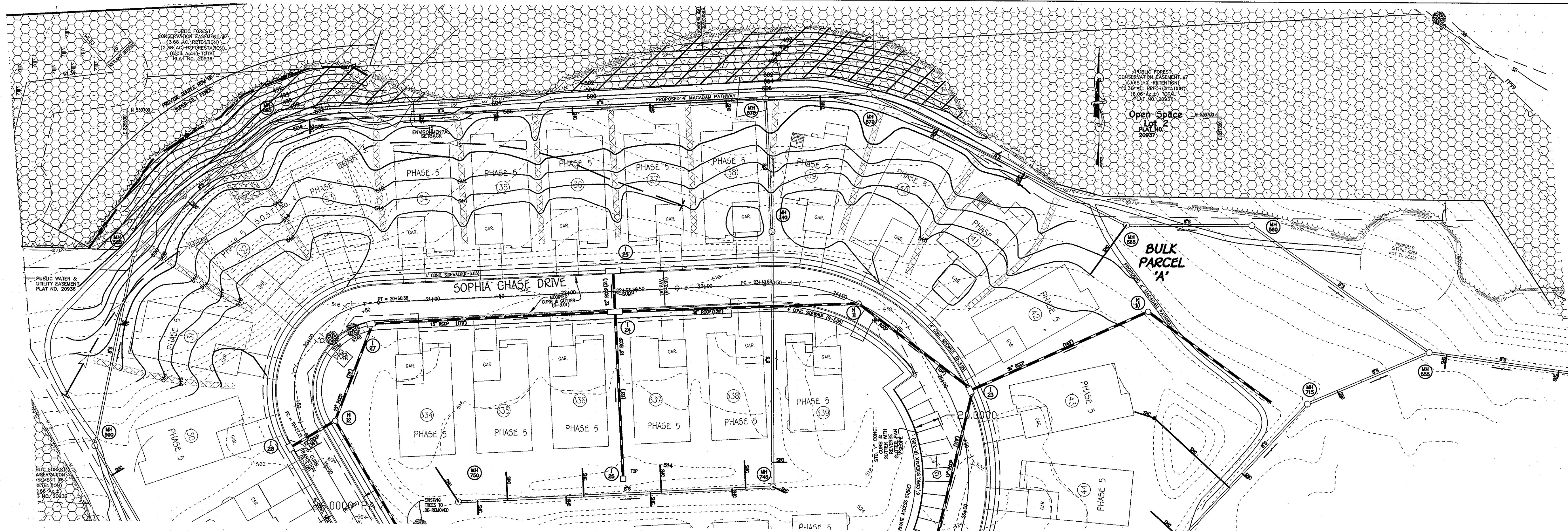
OWNERS
WAVERLY WOODS DEVELOPMENT CORPORATION,
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLCOTT CITY, MARYLAND 21042
443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
[Signature] 12/18/12 Date
Chief, Division of Land Development
[Signature] 12/18/12 Date
Chief, Development Engineering Division
[Signature] 12/18/12 Date
Director - Department of Planning and Zoning

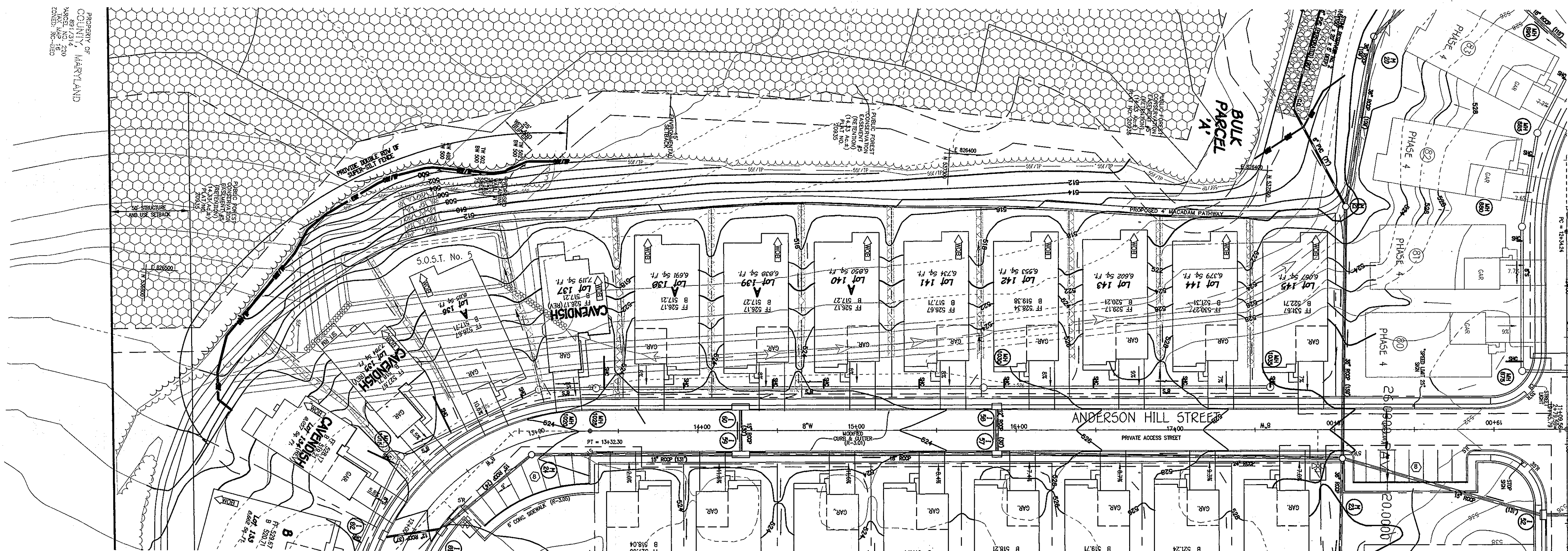
PROJECT: GTW'S WAVERLY WOODS SECTION: 14
PLAT 21427 - BLOCK NO. 21435 ZONE 3 & 4 TAX/ZONE PSC ELEC. DIST. THRD CENSUS TR. 60300
AND 22029
WATER CODE K-02 SEWER CODE 5992000

**REVISED
SEDIMENT/EROSION CONTROL PLAN
(PHASE ONE)**
**AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS**
SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 165 &
PHASES IV & V - UNITS 80 THRU 119, 153 THRU 161, 196 THRU 200,
237 THRU 239, 268 THRU 271, 282 THRU 285, & 290 THRU 328
TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES
ZONING: PSC
TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
SHEET 30 OF 100 S0P-09-039

NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-009 AND ADD GRIFFIN HALL	9/28/12



PLAN
SCALE: 1" = 40'



LEGEND	
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
+	SPOT ELEVATION
○	MANHOLE EASIMENT
—	SILT FENCE
—	SUPER SILT FENCE
—	EROSION CONTROL MATTING
—	LIMIT OF DISTURBANCE
—	STREET LIGHT PER F-09-057
—	UNIDENTIFIED 6624 HOSE LINE
—	PROPOSED STORM DRAIN PIPE
—	PROPOSED SEWER
—	1% TO 24.9% Slope
○	EXISTING LANDSCAPING PER F-09-057
○	EXISTING STREET TREES PER F-09-057
—	GENUINE CUTTER PAN SLOPE
—	EXISTING STORMSEWER
—	EXISTING WATER
—	EXISTING WATER & SEWER UTILITY EASEMENT
○	EXISTING STREET TREES PER 50P-09-037
○	EXISTING LANDSCAPING PER 50P-09-037
—	FOREST CONSERVATION
—	FOREST CONSERVATION PLANTING
—	COMBINATION SUPER SILT FENCE AND TREE PROTECTION
—	SUPER SILT FENCE
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LIMIT OF DISTURBANCE NOTE:
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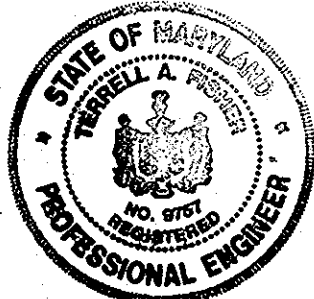
HIGH VISIBILITY FENCING "HVP" NOTE:
PROVIDE WITH ALL INTERNAL EARTH DIKES.

SILT FENCE NOTE:
CONTRACTOR TO IMBRICATE ALL 5F/50F RUNNING DOWNHILL INTO U-SHAPED SEGMENTS AT 25' AND CURB ENDS UPHILL 2' IN ELEVATION.

CONTRACTOR NOTE:
CONTRACTOR SHALL REMOVE ALL OLD AND NEW JUNK, TRASH AND DEBRIS FROM FORESTS, FLOODPLAIN, STREAMS, WETLANDS AND THEIR BUFFERS.

REVISED

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 5072 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042
410 461 - 2955



DEVELOPER'S CERTIFICATE
"I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion. I Also Authorize Periodic On-Site Inspections By The Howard Soil Conservation District."

Signature of Developer: *[Signature]* Date: 11/14/12

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Signature of Engineer: *[Signature]* Date: 11/14/12

These Plans For Small Pond Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.

BUILDERS
RYAN HOMES
6085 MARSHALLE DRIVE
SUITE 130
ELK RIDGE, MD 21075
410-379-9956

OWNERS
WAVERLY WOODS DEVELOPMENT CORPORATION,
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELICOTT CITY, MARYLAND 21042
443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 12/19/12
Chief, Division of Land Development
[Signature] 12/18/12
Chief, Development Engineering Division
[Signature] 12/18/12
Director - Department of Planning and Zoning

PROJECT: GTW'S WAVERLY WOODS
SECTION: 14
PLAT 21427-21435 AND 22082-22089
BLOCK NO. 3 & 4
ZONE: PSC
TAX/ZONE: 16
ELEC. DIGIT.: THIRD
PARCEL NO. "E"
60300
WATER CODE: K-02
SEWER CODE: 5992000

SEDIMENT/EROSION CONTROL PLAN (PHASE TWO)
FINAL GRADING FOR BASIN NO. 4 THRU 7
AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASES II & III LOTS 5, 12 THRU 39, 44 THRU 66 & 68 THRU 165 &
PHASES IV & V - UNITS 60 THRU 119, 153 THRU 161, 196 THRU 200,
237 THRU 239, 268 THRU 271, 282 THRU 285, & 290 THRU 328
TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES
ZONING: PSC
TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
THIRD ELECTION DISTRICT - HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
SHEET 31 OF 100

200 STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION

Using vegetation as cover for barren soil to protect it from factors that cause erosion.

Vegetative stabilization specifications are used to promote the establishment of vegetation on exposed soil. When soil is stabilized with vegetation, the soil is less likely to erode and more likely to allow infiltration of rainfall, thereby reducing sediment loads and runoff to downstream areas, and improving wildlife habitat and visual resources.

CONDITIONS THESE PRACTICES APPLIES

This practice shall be used on denuded areas as specified on the plans and used on highly erodible or critically eroding areas. This specification is divided into Temporary Seeding, to quickly establish vegetative cover for short duration (up to one year), and Permanent Seeding, for long term vegetative cover. Examples of applicable areas for Temporary Seeding are temporary soil stabilization on construction phases, earth dikes, etc. and for Permanent Seeding are lawns, dunes, cut and fill slopes and other areas of final grade, former stockpile and staging areas, etc.

EFFECTS ON WATER QUALITY AND QUANTITY

Planting vegetation in disturbed areas will have an effect on the water budget, especially on volumes and rates of runoff. Infiltration evaporation, transpiration, percolation and groundwater recharge. Vegetation over time, will increase organic matter content and improve the water holding capacity of the soil and subsequent plant growth. Vegetation will help reduce the movement of sediment, nutrients, and other chemicals carried by the runoff to receiving waters. Plants will also help protect groundwater supplies by reducing these substances present within the root zone. Sediment control devices must remain in place during grading, seeded preparation, seeding, mulching and vegetative establishment to prevent large quantities of sediment and associated chemicals and nutrients from washing into surface waters.

SECTION 1 - VEGETATIVE STABILIZATION METHODS AND MATERIALS

- Install erosion and sediment control structures (either temporary or permanent) such as diversions, grade stabilization structures, berms, waterways, or sediment control basins.
- Perform all grading operations at right angles to the slope. Final grading and sloping is not usually necessary for temporary seeding.
- Schedule required soil tests to determine soil amendment composition and application rates for sites having disturbed areas over 5 acres.
- Soil Amendments (Fertilizer and Lime Specifications)
 - Soil tests must be used to determine the seed ratios and application rates for both lime and fertilizer on sites having disturbed areas over 5 acres. Soil analysis may be performed by the University of Maryland or a recognized commercial laboratory. Soil samples taken for engineering purposes may also be used for chemical analysis.
 - Fertilizers shall be uniform in composition, free flowing and suitable for accurate application by approved equipment. Manure may be substituted for fertilizer with prior approval from the appropriate authority. Fertilizers shall all be delivered to the site fully baled according to the applicable state fertilizer law and shall bear the name, trade name or trademark and warranty of the producer.
 - Lime materials shall be ground limestone hydrated or burnt lime, which contains at least 50% total oxidized calcium oxide plus magnesium oxide. Limestone shall be ground to such fineness that at least 50% will pass through a #100 mesh sieve and 98-100% will pass through a #20 mesh sieve.
 - Incorporate lime and fertilizer into the top 3-5" of soil by disk or other suitable means.
- Temporary Seeding
 - Seeded preparation shall consist of loosening soil to a depth of 3" to 5" by means of suitable surface construction equipment, such as disk harrows or chisel plows or rippers mounted on construction equipment. After the soil is loosened it should not be rolled or dragged amount but left in the roughened condition. Sloped areas greater than 3:1 should be tracked having a surface and ridge to be tracked by a dozer leaving the surface. Steep slopes (steeper than 3:1) should be tracked by a dozer leaving the soil in an irregular condition with ridges running parallel to the contour of the slope. The top 3-5" of soil should be loose and friable. Seeded loosening may not be necessary on newly disturbed areas.
 - Apply soil amendments as per soil test or as included on the plans.
 - Hit soil amendments into the top 3-5" of topsoil by disk or other suitable means. Lawns and areas should be rolled to smooth the surface, remove large objects like stones and branches, and ready the area for seed and application. Where site conditions will not permit normal seeded preparation, soil may be drilled with a hole chain or other equipment to roughen the surface. Steep slopes (steeper than 3:1) should be tracked by a dozer leaving the soil in an irregular condition with ridges running parallel to the contour of the slope. The top 3-5" of soil should be loose and friable. Seeded loosening may not be necessary on newly disturbed areas.
- Seed Specifications
 - All seed must meet the requirements of the Maryland Seed Law. All seed shall be subject to retesting by a recognized laboratory. Seed used shall have been tested within the 6 months immediately preceding the date of sowing such material on this job.
 - Seed tags shall be made available to the inspector to verify time and rate of seed used.
 - Incubation - The incubation for testing become seed in the seed mixtures shall be a pure culture of hydrogenating bacteria prepared specifically for the species. Incubation shall not be used after the date indicated on the container. Add the incubation as directed on package. Use four times the recommended rate when hydroseeding. Note: It is very important to keep incubation as cool as possible until used. Temperature should be between 72-80 F.
- Methods of Seeding
 - Hydroseeding - Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer), broadcast or drop seeder, or a cultipacker seeder.
 - If fertilizer is being applied at the time of seeding, the application rates amounts will not exceed the following: nitrogen 100 lbs/acre, phosphorus 100 lbs/acre, potassium 200 lbs/acre.
 - Time of application - Fertilizer should be applied 3 to 4 weeks prior to seeding. Fertilizer should be applied by hydroseeding. Normally, not more than 2 tons are applied by hydroseeding at any one time. Do not use burnt or hydrated lime when hydroseeding.
 - Seed and fertilizer shall be mixed on site and seeding shall be done immediately and without interruption.
 - Dry Seeding - Seeding use of conventional drop or broadcast spreaders.
 - Seed spread dry shall be incorporated into the subsoil at the rates prescribed in the Temporary or Permanent Seeding Summaries or Tables 25 or 26. The seeded area shall then be rolled with a weighted roller to provide good seed to soil contact.
 - Where practical, seed should be applied in two directions perpendicular to each other. Apply at the seeding rate in each direction.
 - Drill or Cultipacker Seeding - Mechanized seeders that apply and cover seed with soil.
 - Cultipacker seeders are required to bury the seed in such a fashion as to provide at least 1/4 inch of soil covering. Seeding must be firm after planting.
 - Where practical, seed should be applied in two directions perpendicular to each other. Apply at the seeding rate in each direction.
- Mulch Specifications (in order of preference)
 - Straw shall consist of thoroughly threshed wheat, rye or oat straw, reasonable bright in color, and shall not be overly moldy, clipped, or excessively dirty and shall be free of noxious weed seeds as specified in the Maryland Seed Law.
 - Wood Cellulose Fiber Mulch (WCFM)
 - WCFM shall consist of specially prepared wood cellulose processed into a uniform fibrous material.
 - WCFM shall be dyed green or contain a green dye in the package that will provide an appropriate color to facilitate visual inspection of the uniform spread slurry.
 - WCFM including dye, shall contain no germination or growth inhibiting factors.
 - WCFM materials shall be manufactured and processed in such a manner that the wood cellulose fiber mulch will remain in uniform suspension in water under agitation and will blend with seed, fertilizer and other additives to form a homogeneous slurry. The mulch material shall form a bottle-like ground cover, on application having moisture absorption and percolation properties and shall cover and hold grass seed in contact with the soil without inhibiting the growth of the grass seedlings.
 - WCFM material shall contain no elements or compounds of concentration levels that will be phytotoxic.
 - WCFM must conform to the following physical requirements: fiber length to approximately 10 mm., diameter approximately 0.01 mm., pH of 6.0 to 8.5, ash content of 1.0% maximum and water holding capacity of 90% minimum.
 - Only sterile straw mulch should be used in areas where use of species of grass is desired.
- Mulching Seeded Areas - Mulch shall be applied to all seeded areas immediately after seeding.
 - If grading is completed outside of the seeding season, mulch shall be applied as prescribed in this section and maintained until the seeding season returns and seeding can be performed in accordance with these specifications.
 - When straw mulch is used, it shall be spread over all seeded areas at the rate of 2 tons/acre. Mulch shall be applied to a uniform loose depth of between 1" and 2". Mulch applied shall achieve a uniform distribution and depth so that the soil surface is not exposed. If a mulch anchoring tool is used, the rate should be increased to 2.5 tons/acre.
 - Wood cellulose fiber used as a mulch shall be applied at a net dry weight of 1500 lbs. per acre. The wood cellulose fiber shall be mixed with water and the mixture shall contain a maximum of 50 lbs. of wood cellulose fiber per 100 gallons of water.
- Securing Straw Mulch (When Anchored) - Mulch anchoring shall be performed immediately following mulch application to minimize loss by wind or water. This may be done by one of the following methods (listed by preference), depending upon size of area and erosion hazard:
 - A mulch anchoring tool is a tractor driven implement designed to punch and anchor mulch into the soil surface a minimum of two (2) inches. This practice is most effective on large areas, but is limited to flatter areas where equipment can operate safely. If used on sloping areas, this practice should be used on the contour. If used on the contour, the mulch shall be applied at a net dry weight of 1500 lbs. per acre. The wood cellulose fiber shall be mixed with water and the mixture shall contain a maximum of 50 pounds of wood cellulose fiber per 100 gallons of water.

STANDARDS AND SPECIFICATIONS FOR TOPSOIL

Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Definition

Purpose: To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, nutrients toxic to plants, and/or unacceptable soil gradation.

Conditions Where Practice Applies

- This practice is limited to areas having 2:1 or flatter slopes where:
 - The texture of the exposed subsoil is not adequate to produce vegetative growth.
 - The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
 - The original soil to be vegetated contains material toxic to plant growth.
 - The soil is so acidic that treatment with limestone is not feasible.
- For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications

- Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experimental Station.
- Topsoil Specifications - Soil to be used as topsoil must meet the following:
 - Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate authority. Topsoil shall be free of stones, sticks, roots, trash, or other materials larger than 1 1/2" in diameter.
 - Topsoil must be free of plants or plant parts such as bermuda grass, quackgrass, Johnson grass, nutgrass, poison ivy, white, or others as specified.
 - Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.
- For sites having disturbed areas under 5 acres:
 - Place topsoil (if required) and apply soil amendments as specified in 200 Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.
- For sites having disturbed areas over 5 acres:
 - Do not meeting Topsoil specifications, obtain test results dictating fertilizer and the amendments required to bring the soil into compliance with the following:
 - pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.
 - Inorganic content of topsoil shall be not less than 15 percent by weight.
 - Topsoil having silt/clay content greater than 500 parts per million shall not be used.
 - No sod or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (90 days min) to permit dissipation of phytotoxic materials.
 - Place topsoil (if required) and apply soil amendments as specified in 200 Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.
- Topsoil Application
 - When topsoiling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.
 - Grades on the areas to be topsoiled, which have been previously established, shall be maintained, about 4" - 8" higher in elevation.
 - Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with the uniformity of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.
 - Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seeded preparation.
- Alternative For Permanent Seeding - Instead of applying the full amount of lime and commercial fertilizer, composted sludge and amendments may be applied as specified below:
 - Composted Sludge Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall conform to the following requirements:
 - Composted sludge shall be supplied by, or originate from, a person or persons that are permitted (at the time of acquisition of the compost) by the Maryland Department of the Environment under COMAR 86.04.06.
 - Composted sludge shall contain at least 1 percent nitrogen, 15 percent phosphorus, and 0.2 percent potassium and have a Ph of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.
 - Composted sludge shall be applied at a rate of 1 ton/1,000 square feet.
 - Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 lb/1,000 square feet, and 1/3 the normal application rate.

SECTION 2 - TEMPORARY SEEDING

Vegetation - annual grass or grain used to provide cover on disturbed areas for up to 12 months. For longer duration vegetative cover, Permanent Seeding is required.

A. Seed mixtures - Temporary Seeding

- Select one or more of the species or mixtures listed in Table 25 for the appropriate Plant Hardness Zone (from Figure 5) and enter them in the Temporary Seeding Summary below, along with application rates, seeding dates and seeding depths. If this summary is not put on the plans and completed, then Table 25 must be put on the plans.
- For sites having soil tests performed, the rates shown on this table shall be deleted and the rates recommended by the testing agency shall be written in. Soil tests are not required for Temporary Seeding.

Seed Mixture (Hardness Zone - 6B -) From Table 25		Fertilizer Rate (0-10-10)	Lime Rate
No.	Species	Application Rate (lb/acre)	Seeding Dates
1	BARLEY	122	3/1 - 5/15
	OATS	96	8/15 - 10/15
	RYE	140	1" - 2"

SECTION 3 - PERMANENT SEEDING

Seeding grass and legumes to establish ground cover for a minimum of one year on disturbed areas generally receiving low maintenance.

A. Seed mixtures - Permanent Seeding

- Select one or more of the species or mixtures listed in Table 25 for the appropriate Plant Hardness Zone (from Figure 5) and enter them in the Permanent Seeding Summary below, along with application rates and seeding depths. Seeding depths can be estimated using Table 26. If this summary is not put on the construction plans and completed, then Table 25 must be put on the plans. Additional planting specifications for erosion control areas such as shorelines, streambanks, or dunes or for special purposes such as wildlife or aesthetic treatment may be found in USDA-SCS Technical Field Office Guide, Section 342 - Critical Area Planting. For special lawn maintenance areas, see Sections IV and V of this plan.
- For sites having disturbed areas over 5 acres, the rates shown on this table shall be deleted and the rates recommended by the soil testing agency shall be written in.
- For areas receiving low maintenance, apply urea-form fertilizer (46-0-0) at 3 1/2 lbs/1000 sq. ft. (50 lbs/acre) in addition to the above soil amendments shown in the table below, to be performed at the time of seeding.

Seed Mixture (Hardness Zone - 6B -) From Table 25		Fertilizer Rate (0-20-20)	Lime Rate
No.	Species	Application Rate (lb/acre)	Seeding Dates
1	TALL FESCUE (250)	125	3/1 - 5/15
3	PERENNIAL RYE GRASS (100)	15	8/15 - 10/15
	KENTUCKY BLUEGRASS (50)	120	3/1 - 5/15
10	HARD FESCUE (200)	30	8/15 - 10/15

SEDIMENT CONTROL NOTES

- A minimum of 48 hours notice must be given to the HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION OPERATIONS.
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND REVISIONS THEREOF.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN 7 CALENDAR DAYS FOR ALL PREPARED STRUCTURES, SLOPE PROTECTIVE STRUCTURES AND ALL SLOPES STEEPER THAN 3:1. 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAP/DIVERSIONS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12 OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, FOR PERMANENT SEEDING, SEC. 20, AND TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GRADATION AND ESTABLISHMENT OF VEGETATION FOR THESE PURPOSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIONAL CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:
 - TOTAL AREA OF SITE: 150,329 ACRES
 - AREA TO BE GRADED OR PAVED: 96.99 ACRES
 - AREA TO BE VEGETATIVELY STABILIZED: 71.99 ACRES
 - TOTAL CUT: 274,870 CUBIC YDS.
 - TOTAL FILL: 40,920 CUBIC YDS.
 - SITE WASTEWATER/BORROW AREA LOCATION: 14.4843 ACRES
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY SHALL BE REPAIRED OR UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE OBTAINED PRIOR TO THE COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING, OTHER BUILDING.
- NO GRADING OR CONSTRUCTION OPERATIONS SHALL BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- WHERE THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHEREVER IS SHORTER.

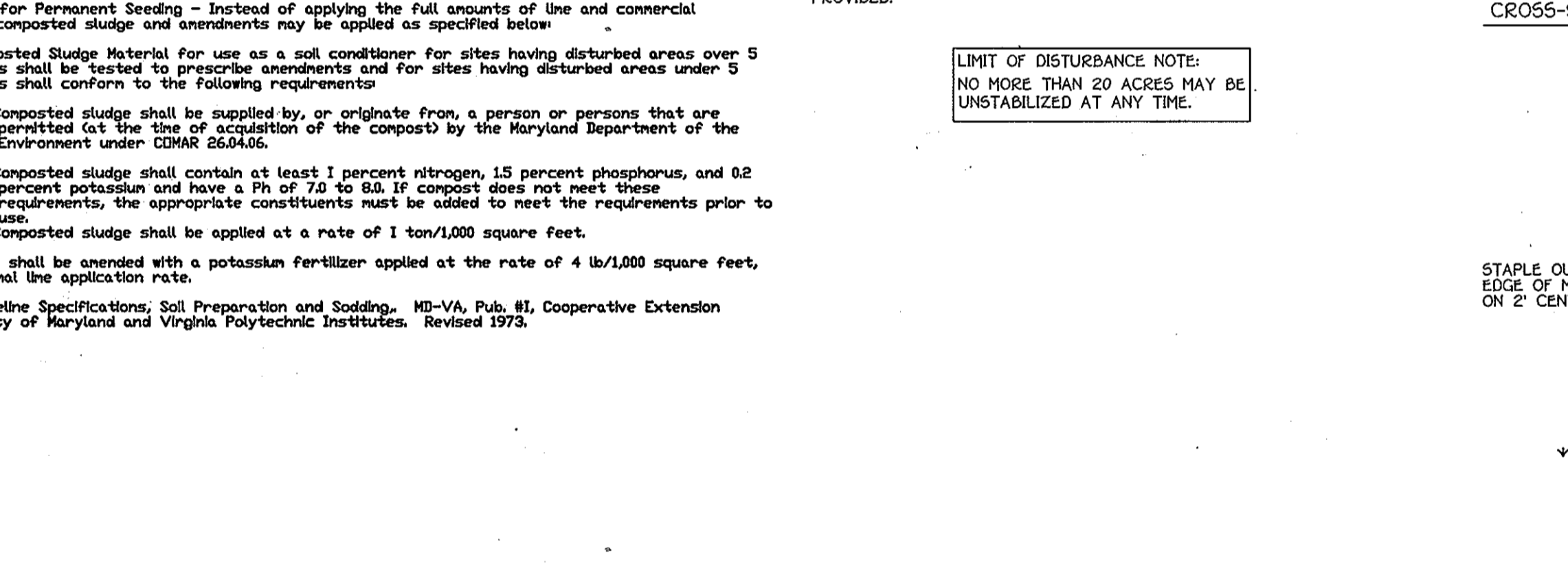
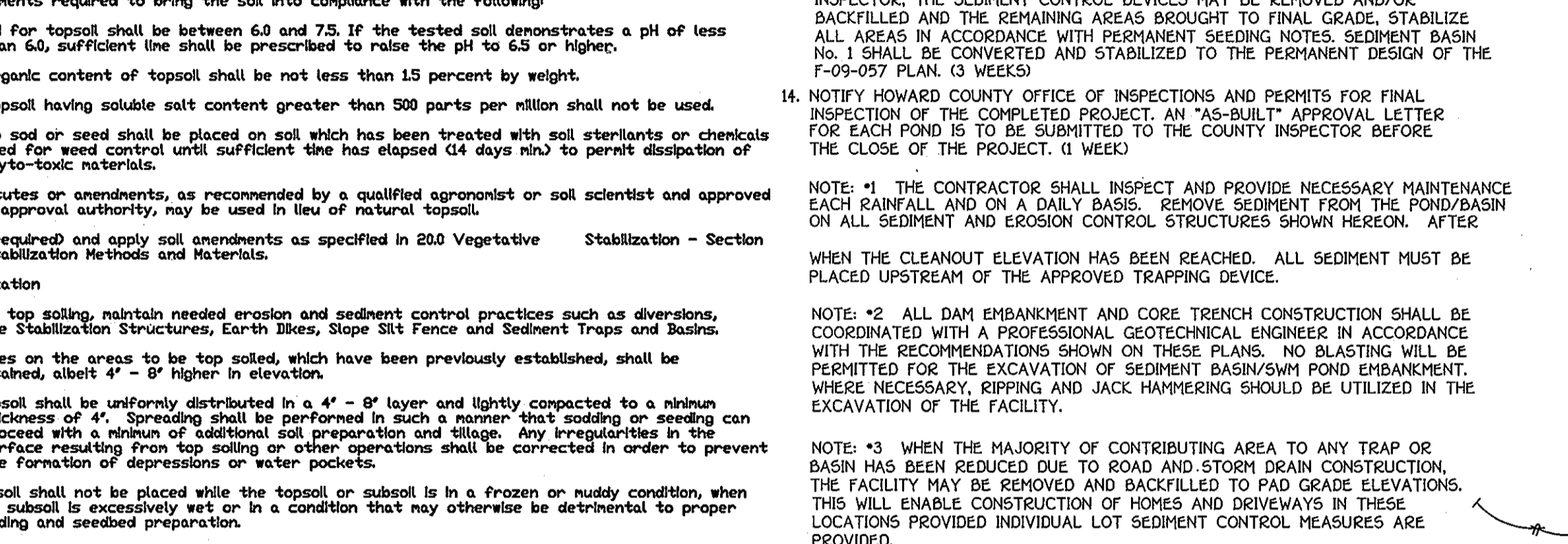
SEQUENCE OF CONSTRUCTION

- OBTAIN A GRADING PERMIT. (2 WEEKS)
- NOTIFY "MISS UTILITY" AT LEAST 48 HOURS BEFORE BEGINNING ANY WORK AT I-800-257-7777. NOTIFY THE HOWARD COUNTY OFFICE OF CONSTRUCTION/INSPECTION AT 410-313-1330 AT LEAST 24 HOURS BEFORE STARTING WORK.
- INSTALL THE STABILIZED CONSTRUCTION ENTRANCE. INSTALL ALL TREE PROTECTION FENCE FOR TREES TO BE UNDISTURBED AS INDICATED ON THE PLANS. (1 WEEK)
 - THE CONTRACTOR SHALL VERIFY THAT BASIN NO. 1 AND CONTROLS PER F-09-057 HAVE BEEN COMPLETELY INSTALLED BEFORE PROCEEDING.
- INSTALL SILT FENCE A SUPER-SILT FENCE. THEN INSTALL STONE OUTLET SEDIMENT TRAPS AND BASINS WITH ASSOCIATED DEWATERING DEVICES IN CONJUNCTION WITH CONSTRUCTION OF THE PROPOSED SEDIMENT BASIN/SWMP POND AND DAM EMBANKMENT. UPON COMPLETION OF TRAPS AND BASINS, INSTALL EARTH DIKES AS REQUIRED. NOTE THAT NO DISTURBANCE IS ALLOWED UNTIL ALL SWM/BASIN MATERIAL FOR THE PRINCIPAL SPILLWAYS ARE ON SITE AND PERMISSION FROM THE INSPECTOR IS GRANTED IN WRITING TO PROCEED. (6 WEEKS)
 - DURING THE INSTALLATION OF EARTH DIKES, GRADING SHALL BE LIMITED TO OCCUR ONLY BETWEEN THE L.O.D. AND EARTH DIKE UNTIL ALL FINAL EARTH DIKE GRADINGS ARE REACHED. AT WHICH TIME, MASS GRADING MAY OCCUR UPON PERMISSION FROM INSPECTOR.
- UPON COMPLETION OF THE SWM POND/SEDIMENT BASIN CONSTRUCTION RECEIVE PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR PRIOR TO PROCEEDING WITH THE INSTALLATION OF ASSOCIATED EARTH DIKES. (1 WEEK)
- CLEAR AND GRUB FOR THE INSTALLATION OF THE REMAINING PERIMETER SEDIMENT CONTROL MEASURES. INSTALL TREE PROTECTION FENCE, SILT FENCE, EARTH DIKES AS SHOWN ON THESE PLANS. (3 WEEKS)
 - THE ORDER OF INSTALLATION SHALL BE SILT FENCE, TRAPS/BASINS THEN EARTH DIKES.
- CLEAR AND GRUB FOR THE REMAINDER OF THE SITE. (3 WEEKS)
- GRADE SITE TO PROPOSED SUBGRADE AND INSTALL THE STORM DRAIN SYSTEMS, WATER AND SEWER LINES. STABILIZE ALL SLOPES IN ACCORDANCE WITH THE ORDER OF GRADING. DO NOT BLOCK INLETS AS STORM DRAIN SYSTEM WILL BE USED TO CONVEY SEDIMENT RUNOFF INTO THE BASIN. (9 WEEKS)
- CONSTRUCT CURBS & GUTTER AND INSTALL ROAD BASE COURSE FOR SUBDIVISION ROADS. (3 WEEKS)
- CONSTRUCT BUILDINGS AND DRIVEWAYS. (SEE NOTE *3 BELOW)
- INSTALL FINISHED SURFACE COURSE, SIDEWALKS AND STREET TREES. (3 WEEKS)
- CONTRACTOR SHALL REMOVE ALL OLD AND NEW JUNK, TRASH, AND DEBRIS FROM FORESTS, FLOODPLAIN, STREAMS, WETLANDS AND THEIR BUFFERS.
- ALL FINAL GRADING AND STABILIZATION SHOULD BE COMPLETED BEFORE ANY REMOVAL OF CONTROLS.
 - WHEN ALL CONTRIBUTING AREAS TO THE SEDIMENT CONTROL DEVICES AND PONDS HAVE BEEN STABILIZED AND WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, THE SEDIMENT CONTROL DEVICES MAY BE REMOVED AND/OR BACKFILLED AND THE REMAINING AREAS BROUGHT TO FINAL GRADE. STABILIZE ALL AREAS IN ACCORDANCE WITH PERMANENT SEEDING NOTES. SEDIMENT BASIN NO. 1 SHALL BE CONVERTED AND STABILIZED TO THE PERMANENT DESIGN OF THE F-09-057 PLAN. (3 WEEKS)
- NOTIFY HOWARD COUNTY OFFICE OF INSPECTIONS AND PERMITS FOR FINAL INSPECTION OF THE COMPLETED PROJECT. AN "AS-BUILT" APPROVAL LETTER FOR EACH POND IS TO BE SUBMITTED TO THE COUNTY INSPECTOR BEFORE THE CLOSE OF THE PROJECT. (1 WEEK)

WHEN THE CLEANOUT ELEVATION HAS BEEN REACHED, ALL SEDIMENT MUST BE PLACED UPSTREAM OF THE APPROVED TRAPPING DEVICE.

NOTE *2: ALL DAM EMBANKMENT AND CORE TRENCH CONSTRUCTION SHALL BE COORDINATED WITH A PROFESSIONAL GEOTECHNICAL ENGINEER IN ACCORDANCE WITH THE RECOMMENDATIONS SHOWN ON THESE PLANS. NO BLASTING WILL BE PERMITTED FOR THE EXCAVATION OF SEDIMENT BASIN/SWMP POND EMBANKMENT. WHERE NECESSARY, RIPPING AND JACK HAMMERING SHOULD BE UTILIZED IN THE EXCAVATION OF THE FACILITY.

NOTE *3: WHEN THE MAJORITY OF CONTRIBUTING AREA TO ANY TRAP OR BASIN HAS BEEN REDUCED DUE TO ROAD AND STORM DRAIN CONSTRUCTION, THE FACILITY MAY BE REMOVED AND BACKFILLED TO PAD GRADE ELEVATIONS. THIS WILL ENABLE CONSTRUCTION OF HOMES AND DRIVEWAYS IN THESE LOCATIONS PROVIDED INDIVIDUAL LOT SEDIMENT CONTROL MEASURES ARE PROVIDED.



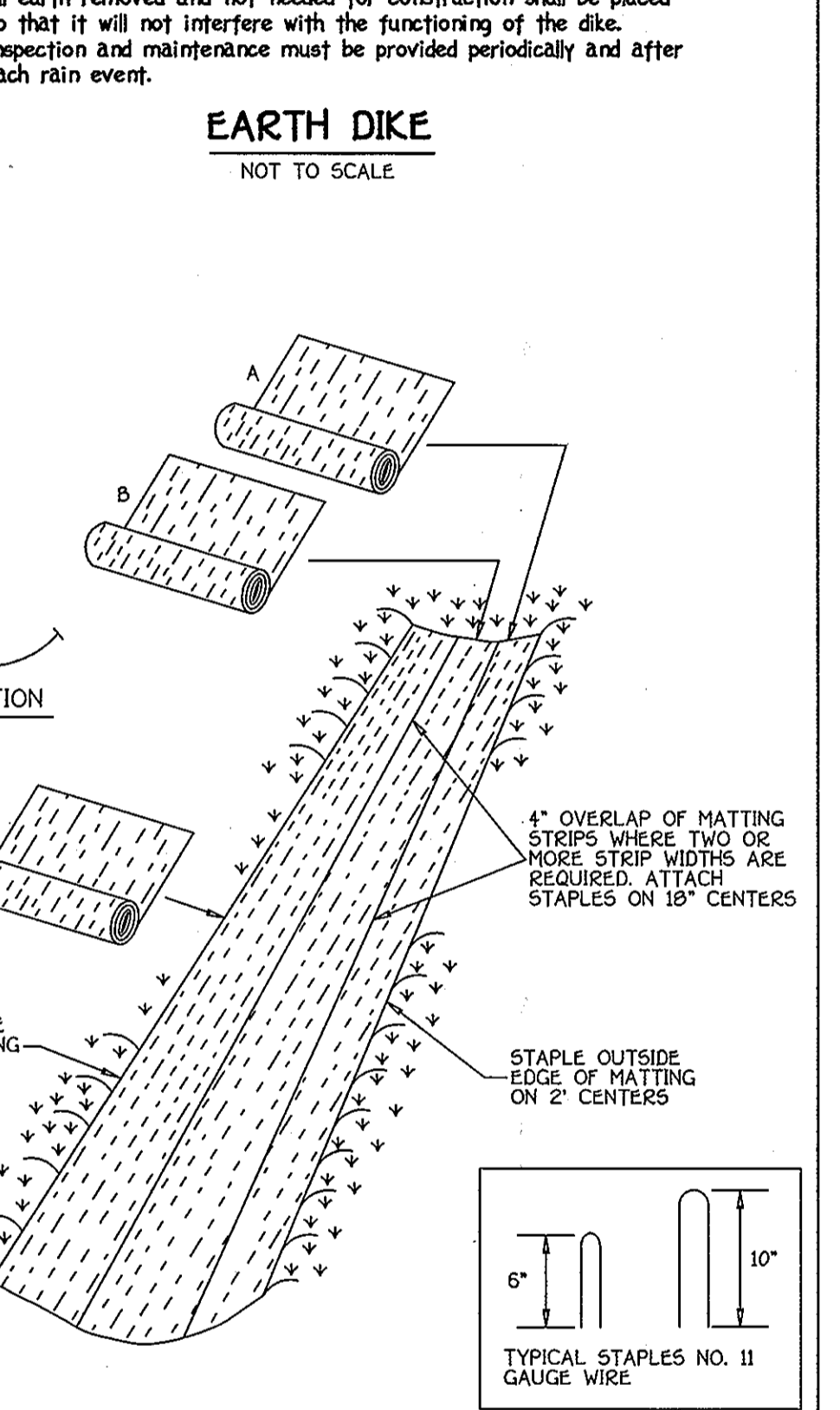
CONSTRUCTION SPECIFICATIONS

- Key-in the matting by placing the top ends of the matting in a narrow trench, 6" in depth. Backfill the trench and tamp firmly to conform to the channel cross-section. Secure with a row of staples about 4" down slope from the trench. Spacing between staples is 6".
- Staple the overlap in the channel center using an 18" spacing between staples.
- Before stapling the outer edges of the matting, make sure the matting is smooth and in firm contact with the soil.
- Staples shall be placed 2" apart with 4" rows for each strip, 2" outer rows, and 2 alternating rows down the center.
- Where one roll of matting ends and another begins, the end of the top strip shall overlap the upper end of the lower strip by 4". Staple (fasten) together the overlap with a double row of staples spaced 6" apart in a staggered pattern on either side.
- The discharge end of the matting roll should be similarly secured with 2 double rows of staples.

Note: If flow will enter from the edge of the matting then the area effected by the flow must be keyed-in.

EROSION CONTROL MATTING

NOT TO SCALE



EROSION CONTROL MATTING

NOT TO SCALE

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE: 1022 BALTIMORE NATIONAL FEE
ELLIOTT CITY, MARYLAND 20641
410 461-2955

STATE OF MARYLAND
PROFESSIONAL ENGINEER

NO. 1 REV. TO ADD FIVE SIMPLE LOTS PER F-12-009 AND ADD GRIFFIN HALL

DATE 9/28/12

DEVELOPER'S CERTIFICATE

I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, Specifications, Standards, And Details. I/We, The Responsible Person Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Shall Engage A Professional Engineer To Supervise Pond Construction And Erosion And Sediment Control. I Shall Engage A Professional Engineer To Supervise Pond Construction And Erosion And Sediment Control Within 30 Days Of Completion. I Also Authorize Periodic Inspections By The Howard Soil Conservation District.

Signature of Developer: *[Signature]* Date: 11/14/12

ENGINEER'S CERTIFICATE

I Certify That This Plan For Pond Construction, Erosion And Sediment Control Represents A Practical And Workable Plan Based On My Personal Knowledge Of The Site Conditions. This Plan Complies With The Requirements Of The Howard Soil Conservation District. I Have Notified The Developer That He/She Must Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion.

Signature of Engineer: *[Signature]* Date: 11/14/12

These Plans For Small Pond Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.

Signature of Developer: *[Signature]* Date: 11/15/12

Signature of Engineer: *[Signature]* Date: 11/14/12

BUILDERS

NV HOMES 6085 MARSHALEE DRIVE SUITE 140 ELKEMORE, MD. 2075 410-379-5956	RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELKEMORE, MD. 2075 410-379-5956
---	---

DEVELOPER

WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 202
ELLIOTT CITY, MARYLAND 21042
443-367-0422

OWNERS

WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 202
ELLIOTT CITY, MARYLAND 21042
443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Signature: *[Signature]* Date: 12/10/12

Signature: *[Signature]* Date: 12/10/12

Signature: *[Signature]* Date: 12/10/12

PROJECT: GTW'S WAVERLY WOODS SECTION: 14

PLAT 21427 - BLOCK NO. 3 & 4 ZONE PSC TAX/ZONE 16 ELEC. DIST. THIRD CENSUS TR. 60300

WATER CODE K-02 SEWER CODE 5992000

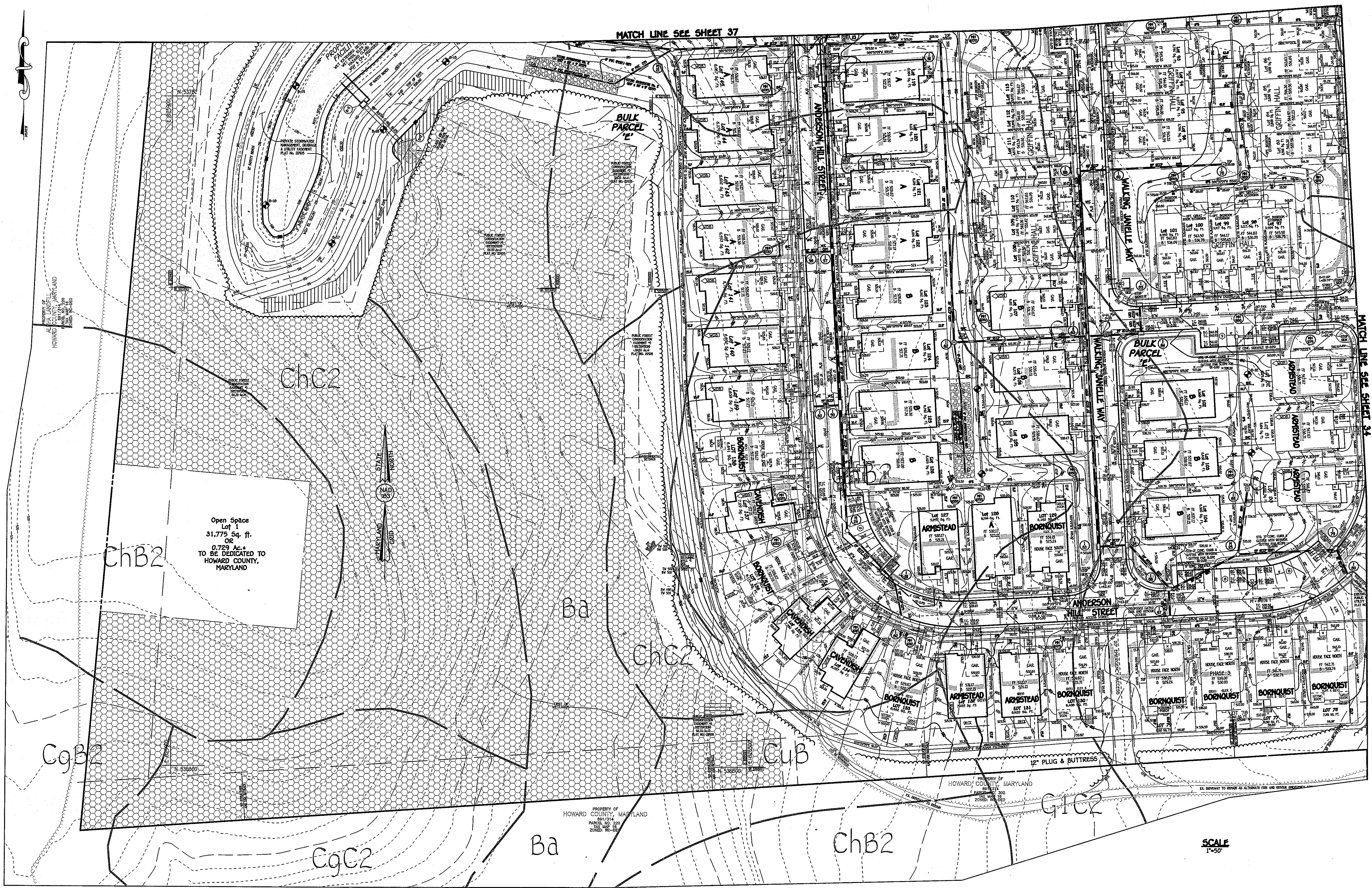
REVISED SEDIMENT CONTROL NOTES AND DETAILS

AGE RESTRICTED ADULT HOUSING GTW'S WAVERLY WOODS SECTION 14

"THE COURTYARDS AT WAVERLY WOODS - WEST" PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 66 & 80 THRU 165 & PHASES IV & V - LOTS 50 THRU 119, 153 THRU 161, 178 THRU 200, 237 THRU 239, 268 THRU 271, 282 THRU 295, & 290 THRU 320

TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES

TAX MAP NO: 16 GRID NO: 203 PARCEL NO: PART OF 249 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012 SHEET 33 OF 100 SDP-09-039



LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
•	SPOT ELEVATION
---	WALKOUT BASEMENT
---	SILT FENCE
---	SUPER SILT FENCE
---	EROSION CONTROL MATTING
---	LIMIT OF DISTURBANCE
---	STREET LIGHT PER F-09-057
---	LIMITED PERMITS NOISE LINE
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED SEWER
---	15% TO 24.9% Slope
---	EXISTING LANDSCAPING PER S0P-09-037
---	EXISTING STREET TREES PER F-09-057
---	REVERSE GUTTER PAN SLOPE
---	EXISTING STORM DRAIN
---	EXISTING SEWER
---	EXISTING WATER
---	EXISTING WATER, SEWER & UTILITY EASEMENT
---	EXISTING STREET TREES

NO.	REVISION	DATE
4	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
3	REV. PER ADDITION APPRO PHASE 3 BLDGS & 5-06-13 PHASING TAB AND ADJUSTMENTS ASSOCIATED WITH INTERIOR TOWNHOUSE UNIT	12/19/11
2	REV. TO ADD FEE SIMPLE LOTS REV EASEMENT PER F-30-13 AND SECULAR SUB-C-2042	12/6/10
1	REV. PER ADDITION APPRO PHASE 3 BLDGS & 5-06-13 PHASING TAB	3/24/10



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9377 EXPIRATION DATE IS 3/3/14.

Robert A. Fisher 11/14/12
 ROBERT A. FISHER, PROFESSIONAL ENGINEER DATE

BUILDERS	
NV HOMES 6085 MARSHALEE DRIVE SUITE 130 ELKBRIDGE, MD. 21075 410-379-5956	RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELKBRIDGE, MD. 21075 410-379-5956
DEVELOPER	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422	
OWNERS	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Let Gleason 12/19/12
 Chief, Division of Land Development Date

David J. Caylor 12/10/12
 Chief, Development Engineering Division Date

Director - Department of Planning and Zoning

PROJECT	SECTION	PARCEL NO. 14			
GTW'S WAVERLY WOODS	14	PHASE 3 & 4 21435 AND 22092 - 22099			
PLAT 21427 -	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
21435 AND 22092 - 22099	3 & 4	PSC	16	THIRD	60300
WATER CODE	SEWER CODE				
K-02	5992000				

REVISED
 DRAINAGE AREA MAP/SOILS MAP

AGE RESTRICTED ADULT HOUSING
 GTW'S WAVERLY WOODS

SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 165 &
 PHASES IV & V - UNITS 80 THRU 119, 153 THRU 161, 196 THRU 200,
 237 THRU 239, 288 THRU 271, 282 THRU 285, & 290 THRU 328
 TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES

TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
 SHEET 95 OF 100

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10712 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 410 461 - 2295



LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
•	SPOT ELEVATION
---	WALKOUT BASEMENT
---	SILT FENCE
---	SUPER SILT FENCE
---	EROSION CONTROL MATTING
---	LIMIT OF DISTURBANCE
---	STREET LIGHT PER F-09-057
---	UNLIMITED 65-8A NOISE LINE
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED SEWER
---	15% TO 24.9% Slope
---	EXISTING LANDSCAPING PER SDP-09-037
---	EXISTING STREET TREES PER F-09-057
---	REVERSE GUTTER PAN SLOPE
---	EXISTING STOORMAN
---	EXISTING WATER
---	EXISTING WATER/SEWER & UTILITY EASEMENT
---	EXISTING STREET TREES

SCALE
1"=50'

REVISED

NO.	REVISION	DATE
2	REV. TO ADD FEE SIMPLE LOTS PER F-12-099 AND ADD GRIFFIN HALL	9/28/12
1	REV. TO ADD FEE SIMPLE LOTS REV EASEMENT PER F-10-113	1/12/11

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/31/14.

TERRILL A. FISHER 1/12/12
TERRILL A. FISHER, PROFESSIONAL ENGINEER DATE

BUILDERS

NV HOMES 6085 MARSHALEE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-5956	RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-9956
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DEVELOPER
WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLICOTT CITY, MARYLAND 21042
443-367-0422

OWNERS
WAVERLY WOODS DEVELOPMENT CORPORATION,
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLICOTT CITY, MARYLAND 21042
443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Kathleen 12/19/12
Chief, Division of Land Development DATE

David 12/19/12
Chief, Development Engineering Division DATE

David 12/19/12
Director - Department of Planning and Zoning DATE

PROJECT	SECTION	PARCEL NO. "E"
GTW'S WAVERLY WOODS	14	14
PLAT 21427 - 21435 AND 22082 - 22089	BLOCK NO. 3 & 4	ZONE PSC
TAX/ZONE	ELEC. DIST.	CENSUS TR.
16	THIRD	60300
WATER CODE K-02	SEWER CODE 5992000	

DRAINAGE AREA MAP/SOILS MAP

AGE RESTRICTED ADULT HOUSING

GTW'S WAVERLY WOODS

SECTION 14

"THE COURTYARDS AT WAVERLY WOODS - WEST"

PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 165 & PHASES IV & V - UNITS 80 THRU 119, 153 THRU 161, 196 THRU 200, 237 THRU 239, 268 THRU 271, 282 THRU 285, & 290 THRU 328

TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES

ZONING: PSC

TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249

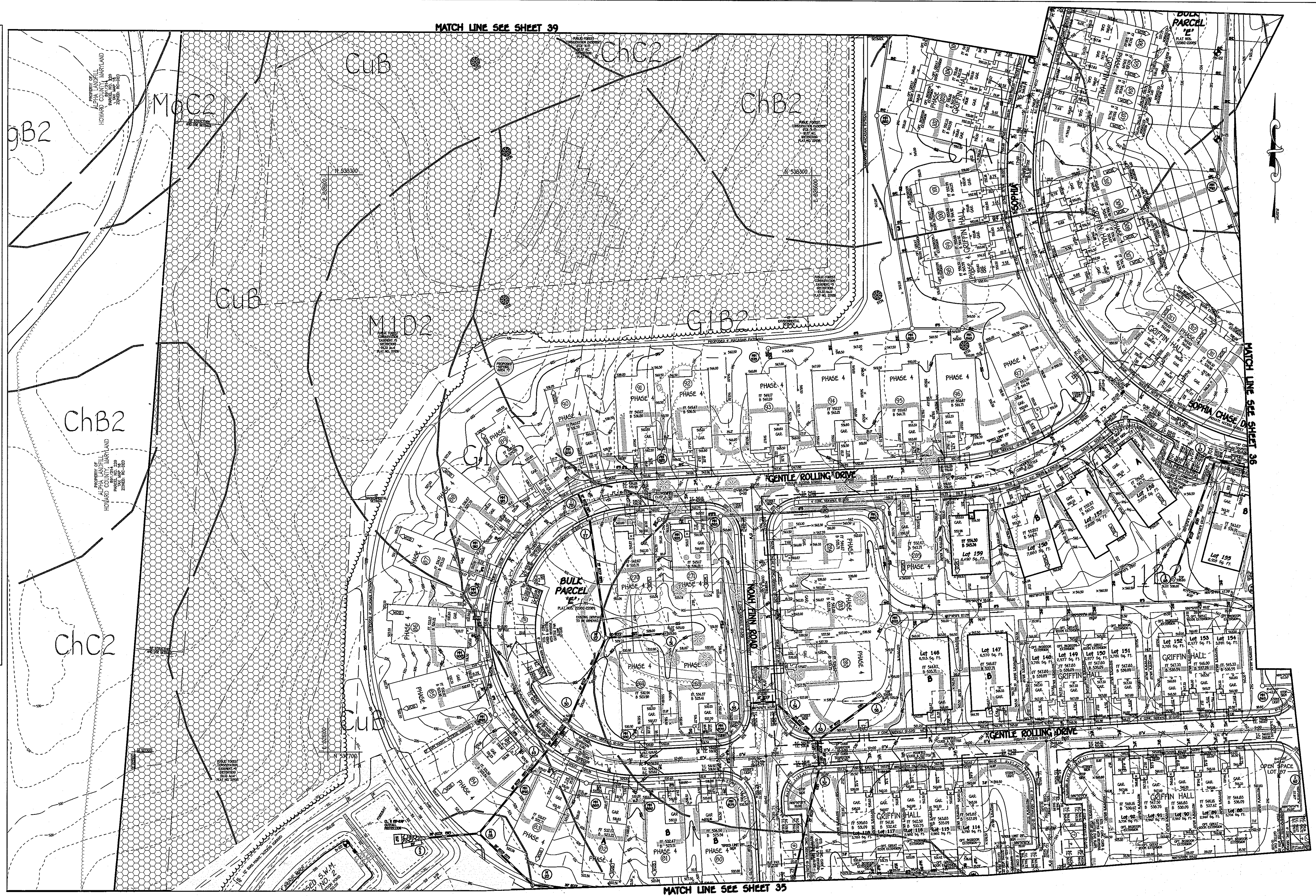
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012

SHEET 35 OF 100 SDP-09-039

SOIL CLASSIFICATION		
Soil Sym.	Name	HYDROLOGIC GROUP
* Ba	Baile silt loam	D
BrB2	Beltsville silt loam	C
BrC2	Beltsville silt loam	C
BrC3	Beltsville silt loam	C
BrD2	Beltsville silt loam	C
BrF	Brandywine loam	C
ChA	Chester silt loam	B
ChB2	Chester silt loam	B
ChC2	Chester silt loam	B
ChC3	Chester silt loam	B
CgC2	Chester silt loam	B
** Co	Codorus silt loam	C
** CuB	Comus silt loam	B
** DeA	Delanco silt loam	C
** DeB2	Delanco silt loam	C
EkB2	Elioak silt loam	B
EIC3	Elioak silty clay loam	B
EID3	Elioak silty clay loam	B
EnB2	Elsinboro loam	B
EnC2	Elsinboro loam	B
G1A	Glenelg loam	B
G1B2	Glenelg loam	B
G1C2	Glenelg loam	B
G1C3	Glenelg loam	B
G1D2	Glenelg loam	B
G1D3	Glenelg loam	B
** GnA	Glenville silt loam	C
** GnB2	Glenville silt loam	C
* Ha	Hatboro silt loam	D
* Kn	Kinkora silt loam	D
MgB2	Manor gravelly loam	B
MgC2	Manor gravelly loam	B
M1A	Manor loam	B
M1B2	Manor loam	B
M1C2	Manor loam	B
M1C3	Manor loam	B
M1D2	Manor loam	B
M1D3	Manor loam	B
M1E	Manor loam	B

* HYDRIC SOILS
 ** SOILS SUBJECT TO HYDRIC CONDITIONS
 SOILS MAP - Pg 8 & Pg 9



LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
•	SPOT ELEVATION
---	WALKOUT BASEMENT
-SF-SF-	SILT FENCE
---	SUPER SILT FENCE
---	EROSION CONTROL MATTING
---	LIMIT OF DISTURBANCE
---	STREET LIGHT PER F-09-057
---	UNMITIGATED SOUND NOISE LINE
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED SEWER
---	15% to 24.9% Slope
---	EXISTING LANDSCAPING PER S0P-09-037
---	EXISTING STREET TREES PER F-09-057
---	REVERSE GUTTER PAN SLOPE
---	EXISTING STORMDRAIN
---	EXISTING SEWER
---	EXISTING WATER
---	EXISTING WATER/SEWER & UTILITY EASEMENT
---	EXISTING STREET TREES

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK • 1877 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 410-461-2955



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/3/16.

Robert A. Fisher 11/14/12
 ROBERT A. FISHER, PROFESSIONAL ENGINEER DATE

BUILDERS
 NV HOMES 6095 MARSHALLEE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-5956
 RYAN HOMES 6095 MARSHALLEE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956

DEVELOPER
 WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 443-367-0422

OWNERS
 WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
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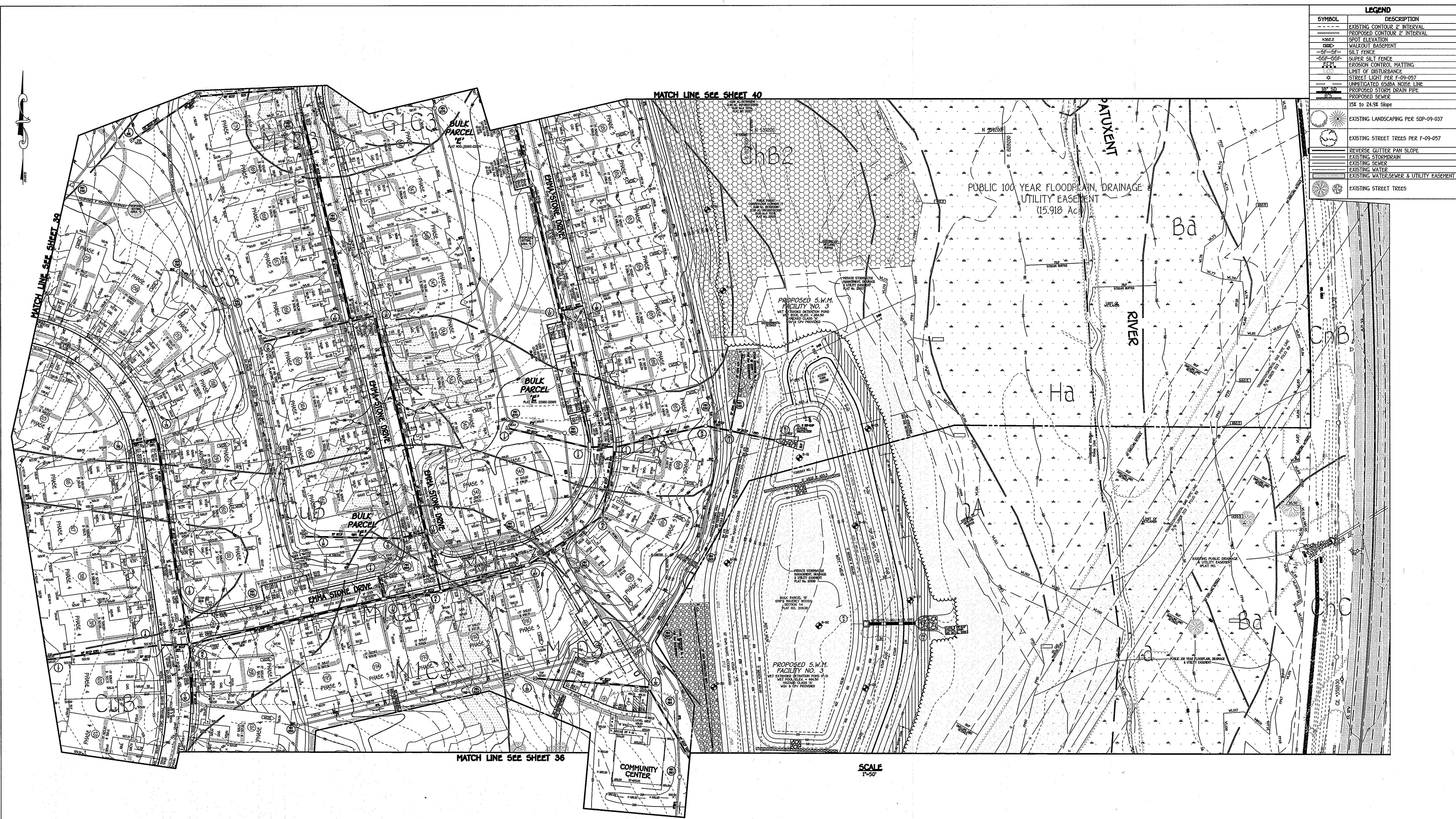
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Victor Belland 12/19/12
 Chief, Division of Land Development

Michael Williams 12/19/12
 Chief, Development Engineering Division

Mark A. Long 12/19/12
 Director - Department of Planning and Zoning

PROJECT	SECTION	PARCEL NO. 'E'
GTW'S WAVERLY WOODS	14	1058, 1059, 1060, 1061, 1062, 1063, 1064, 1065, 1066, 1067, 1068, 1069, 1070, 1071, 1072, 1073, 1074, 1075, 1076, 1077, 1078, 1079, 1080, 1081, 1082, 1083, 1084, 1085, 1086, 1087, 1088, 1089, 1090, 1091, 1092, 1093, 1094, 1095, 1096, 1097, 1098, 1099, 1100, 1101, 1102, 1103, 1104, 1105, 1106, 1107, 1108, 1109, 1110, 1111, 1112, 1113, 1114, 1115, 1116, 1117, 1118, 1119, 1120, 1121, 1122, 1123, 1124, 1125, 1126, 1127, 1128, 1129, 1130, 1131, 1132, 1133, 1134, 1135, 1136, 1137, 1138, 1139, 1140, 1141, 1142, 1143, 1144, 1145, 1146, 1147, 1148, 1149, 1150, 1151, 1152, 1153, 1154, 1155, 1156, 1157, 1158, 1159, 1160, 1161, 1162, 1163, 1164, 1165, 1166, 1167, 1168, 1169, 1170, 1171, 1172, 1173, 1174, 1175, 1176, 1177, 1178, 1179, 1180, 1181, 1182, 1183, 1184, 1185, 1186, 1187, 1188, 1189, 1190, 1191, 1192, 1193, 1194, 1195, 1196, 1197, 1198, 1199, 1200, 1201, 1202, 1203, 1204, 1205, 1206, 1207, 1208, 1209, 1210, 1211, 1212, 1213, 1214, 1215, 1216, 1217, 1218, 1219, 1220, 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2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643,



LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
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---	SPOT ELEVATION
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---	SILT FENCE
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---	EXISTING WATER
---	EXISTING WATER, SEWER & UTILITY EASEMENT
---	EXISTING STREET TREES

MATCH LINE SEE SHEET 36

SCALE 1"=50'

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10725 BALTIMORE NATIONAL Pk.
 ELLICOTT CITY, MARYLAND 21042
 410 481-2955

NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-009 AND ADD GRIFFIN HALL	9/28/12



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/3/14.

Terrell A. Fisher 12/12
 DATE

TERRELL A. FISHER, PROFESSIONAL ENGINEER

BUILDERS	
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WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422	
OWNERS	
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APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Victor DeJure 12/12
 Chief, Division of Land Development

Cheryl DeJure 12/12
 Chief, Development Engineering Division

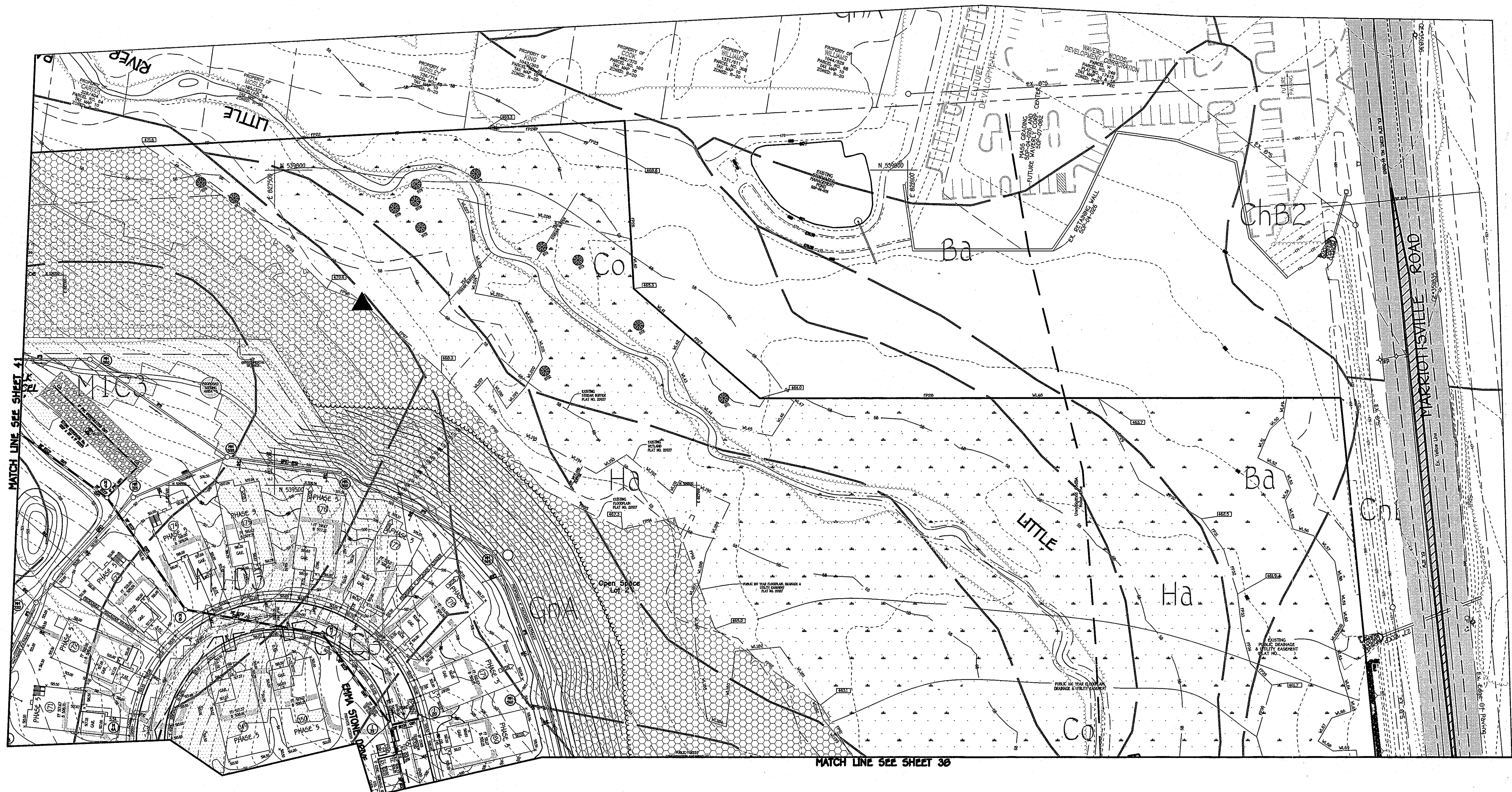
David DeJure 12/12
 Director - Department of Planning and Zoning

PROJECT	SECTION	PARCEL NO. "E"			
GTW'S WAVERLY WOODS	14	PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 66 & 80 THRU 165 & PHASES IV & V - LOTS 60 THRU 110, 153 THRU 161, 195 THRU 200, 237 THRU 239, 269 THRU 271, 282 THRU 285, & 290 THRU 320			
PLAT 21427	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
21435 AND 22082-22089	3 & 4	PSC	16	THIRD	60300
WATER CODE	SEWER CODE				
K-02	5992000				

REVISED
 DRAINAGE AREA MAP/SOILS MAP

AGE RESTRICTED ADULT HOUSING
 GTW'S WAVERLY WOODS

SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 66 & 80 THRU 165 &
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 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
 SHEET 38 OF 100 S0P-09-039



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---	REVERSE GUTTER PAN SLOPE
---	EXISTING STORMDRAIN
---	EXISTING SEWER
---	EXISTING WATER
---	EXISTING WATER, SEWER & UTILITY EASEMENT
---	EXISTING STREET TREES

MATCH LINE SEE SHEET 30

SCALE
1"=50'

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL, FEE
ELICOTT CITY, MARYLAND 21042
(410) 461-2255



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/3/14.
Terrell A. Tisler 11/12
TERRELL A. TISLER, PROFESSIONAL ENGINEER DATE

NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-009 AND ADD GRIFFIN HALL	9/28/12

BUILDERS
 NV HOMES 6085 MARSHALEE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-5956
 RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956

DEVELOPER
 WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELICOTT CITY, MARYLAND 21042
 443-367-0422

OWNERS
 WAVERLY WOODS DEVELOPMENT CORPORATION,
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELICOTT CITY, MARYLAND 21042
 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Kevin L. ... 12/18/12
Chief, Division of Land Development Date

... 12/18/12
Chief, Development Engineering Division Date

... 12/18/12
Director - Department of Planning and Zoning Date

PROJECT	SECTION	PARCEL NO. 'E'
GTW'S WAVERLY WOODS	14	1605 2 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100
PLAT 21427 - BLOCK NO. 21435 AND 22082 - 22089	ZONE 3 & 4	TAX/ZONE PSC 16
WATER CODE K-02	ELEC. DIST. THIRD	CENSUS TR. 60300
SEWER CODE 5992000		

REVISED
DRAINAGE AREA MAP/SOILS MAP

AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS

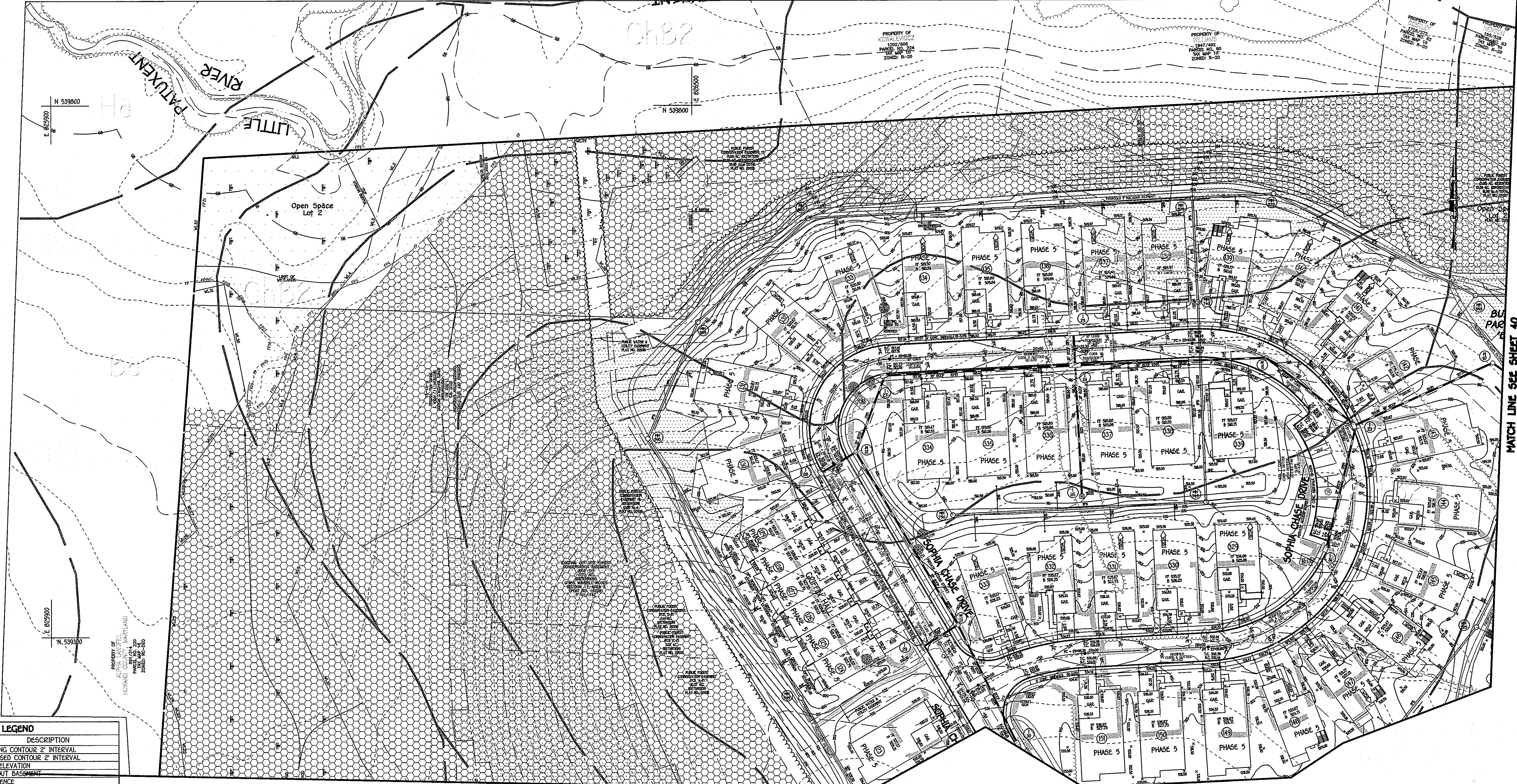
SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 66 & 80 THRU 165 &
PHASES IV & V - UNITS 80 THRU 119, 153 THRU 161, 198 THRU 200,
237 THRU 239, 268 THRU 271, 282 THRU 285, & 290 THRU 328
TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES

TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
SHEET 40 OF 100

SDP-09-039

**STORM DRAIN
STRUCTURE SCHEDULE**

STRUCTURE NUMBER	AREA	'C'	ZONED	X INP.
I-1	0.75 AC.	0.71	PSC	65X
I-2	0.72 AC.	0.57	PSC	45X
I-3	0.78 AC.	0.57	PSC	45X
I-4	0.25 AC.	0.71	PSC	65X
I-5	0.31 AC.	0.71	PSC	65X
I-6	1.43 AC.	0.71	PSC	65X
I-7	4.60 AC.	0.46	PSC	30X
I-8	1.09 AC.	0.71	PSC	65X
I-9	1.38 AC.	0.71	PSC	65X
I-10	0.55 AC.	0.71	PSC	65X
I-11	0.89 AC.	0.71	PSC	65X
I-12	0.29 AC.	0.71	PSC	65X
I-13	0.29 AC.	0.71	PSC	65X
I-14	1.22 AC.	0.45	PSC	28X
I-15	0.78 AC.	0.40	PSC	22X
I-16	2.25 AC.	0.40	PSC	21X
I-17	1.19 AC.	0.44	PSC	27X
I-18	0.41 AC.	0.71	PSC	65X
I-19	0.35 AC.	0.71	PSC	65X
I-20	0.67 AC.	0.71	PSC	65X
I-21	0.56 AC.	0.71	PSC	65X
I-22	0.48 AC.	0.71	PSC	65X
I-23	0.71 AC.	0.71	PSC	65X
I-24	0.70 AC.	0.71	PSC	65X
I-25	1.10 AC.	0.71	PSC	65X
I-26	1.39 AC.	0.71	PSC	65X
I-27	0.54 AC.	0.44	PSC	27X
I-28	0.33 AC.	0.71	PSC	65X
I-29	0.51 AC.	0.71	PSC	65X
I-30	0.15 AC.	0.94	PSC	98X
I-31	0.29 AC.	0.71	PSC	65X
I-32	0.44 AC.	0.71	PSC	65X
I-33	0.73 AC.	0.71	PSC	65X
I-34	0.22 AC.	0.71	PSC	65X
I-35	0.20 AC.	0.71	PSC	65X
I-36	0.69 AC.	0.71	PSC	65X
I-37	0.55 AC.	0.71	PSC	65X
I-38	0.69 AC.	0.71	PSC	65X
I-39	0.53 AC.	0.71	PSC	65X
I-40	0.39 AC.	0.81	PSC	85X
I-41	0.49 AC.	0.71	PSC	65X
I-42	0.51 AC.	0.71	PSC	65X
I-43	0.56 AC.	0.71	PSC	65X
I-44	0.92 AC.	0.51	PSC	37X
I-45	0.71 AC.	0.71	PSC	65X
I-46	0.69 AC.	0.71	PSC	65X
I-47	0.86 AC.	0.71	PSC	65X
I-48	1.01 AC.	0.52	PSC	38X
I-49	1.47 AC.	0.71	PSC	65X
I-50	1.04 AC.	0.60	PSC	50X
I-51	0.47 AC.	0.46	PSC	30X
I-52	0.33 AC.	0.71	PSC	65X
I-53	0.34 AC.	0.71	PSC	65X
I-54	0.42 AC.	0.71	PSC	65X
I-55	0.10 AC.	0.94	PSC	98X
I-56	0.82 AC.	0.46	PSC	30X
I-57	0.43 AC.	0.71	PSC	65X
I-58	0.42 AC.	0.71	PSC	65X
I-59	0.86 AC.	0.71	PSC	65X
I-60	1.17 AC.	0.71	PSC	65X
I-61	0.53 AC.	0.46	PSC	30X
I-62	1.96 AC.	0.50	PSC	35X
I-63	0.39 AC.	0.71	PSC	65X
I-64	0.88 AC.	0.71	PSC	65X
I-65	0.83 AC.	0.43	PSC	25X
I-66	0.48 AC.	0.71	PSC	65X
I-67	0.63 AC.	0.71	PSC	65X
I-68	0.43 AC.	0.71	PSC	65X
I-69	0.38 AC.	0.71	PSC	65X
I-70	1.27 AC.	0.59	PSC	49X
I-71	0.08 AC.	0.87	PSC	88X
I-72	0.08 AC.	0.87	PSC	88X
I-73	0.10 AC.	0.25	PSC	0X
I-74	2.27 AC.	0.38	PSC	19X
I-75	0.65 AC.	0.80	PSC	78X
I-76	0.39 AC.	0.80	PSC	79X
I-77	0.19 AC.	0.73	PSC	68X
I-78	0.57 AC.	0.73	PSC	72X
I-79	0.30 AC.	0.79	PSC	77X
I-80	0.34 AC.	0.87	PSC	86X
I-81	0.34 AC.	0.66	PSC	59X
I-82	0.45 AC.	0.82	PSC	82X
I-83	0.27 AC.	0.80	PSC	78X
I-84	0.18 AC.	0.87	PSC	89X
I-85	0.33 AC.	0.83	PSC	86X
I-86	1.29 AC.	0.80	PSC	21X
S-4	3.77 AC.	0.83	PSC	83X



LEGEND

SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
+	SPOT ELEVATION
▭	WALKOUT BASEMENT
—S—S—	SILT FENCE
—S—S—	SUPER SILT FENCE
▨	EROSION CONTROL MATTING
○	LIMIT OF DISTURBANCE
⊙	STREET LIGHT PER F-09-057
—	UNMITIGATED 65dBA NOISE LINE
—	PROPOSED STORM DRAIN PIPE
—	PROPOSED SEWER
—	1% to 24.9% Slope
☀	EXISTING LANDSCAPING PER 50P-09-037
🌳	EXISTING STREET TREES PER F-09-057
—	REVERSE GUTTER PAN SLOPE
—	EXISTING STORMDRAIN
—	EXISTING SEWER
—	EXISTING WATER
—	EXISTING WATER,SEWER & UTILITY EASEMENT
🌳	EXISTING STREET TREES

MATCH LINE SEE SHEET 39

SCALE
1"=50'

MATCH LINE SEE SHEET 40

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE, P.O. BOX 10725 BALTIMORE NATIONAL FIRE
ELICOTT CITY, MARYLAND 21042
410 461-2855

NO.	REV. TO ADD FEE SIMPLE LOTS PER F-12-069 AND ADD GRIFFIN HALL	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-069 AND ADD GRIFFIN HALL	9/28/12
	REVISION	



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/3/14.

Terrell A. Fisher 9/28/12
TERRELL A. FISHER, PROFESSIONAL ENGINEER DATE

BUILDERS	
NV HOMES 6085 MARSHALLEE DRIVE SUITE 130 ELK RIDGE, MD 21075 410-379-5956	RYAN HOMES 6085 MARSHALLEE DRIVE SUITE 140 ELK RIDGE, MD 21075 410-379-5956
DEVELOPER	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELICOTT CITY, MARYLAND 21042 443-367-0422	
OWNERS	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELICOTT CITY, MARYLAND 21042 443-367-0422	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Keith Sheehan 12/19/12
Chief, Division of Land Development Date

John D. Williams 12/10/12
Chief, Development Engineering Division Date

James A. C. Williams 12/14/12
Director - Department of Planning and Zoning Date

PROJECT	SECTION	PARCEL NO. "E"			
GTW'S WAVERLY WOODS	14	PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 165 & PHASES IV & V - UNITS 80 THRU 119, 153 THRU 161, 195 THRU 200, 237 THRU 239, 288 THRU 271, 282 THRU 285, & 290 THRU 328			
PLAT 21427 - 21435 AND 22092 - 22099	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
	3 & 4	PSC	16	THIRD	60300
WATER CODE	SEWER CODE				
K-02	5992000				

REVISED

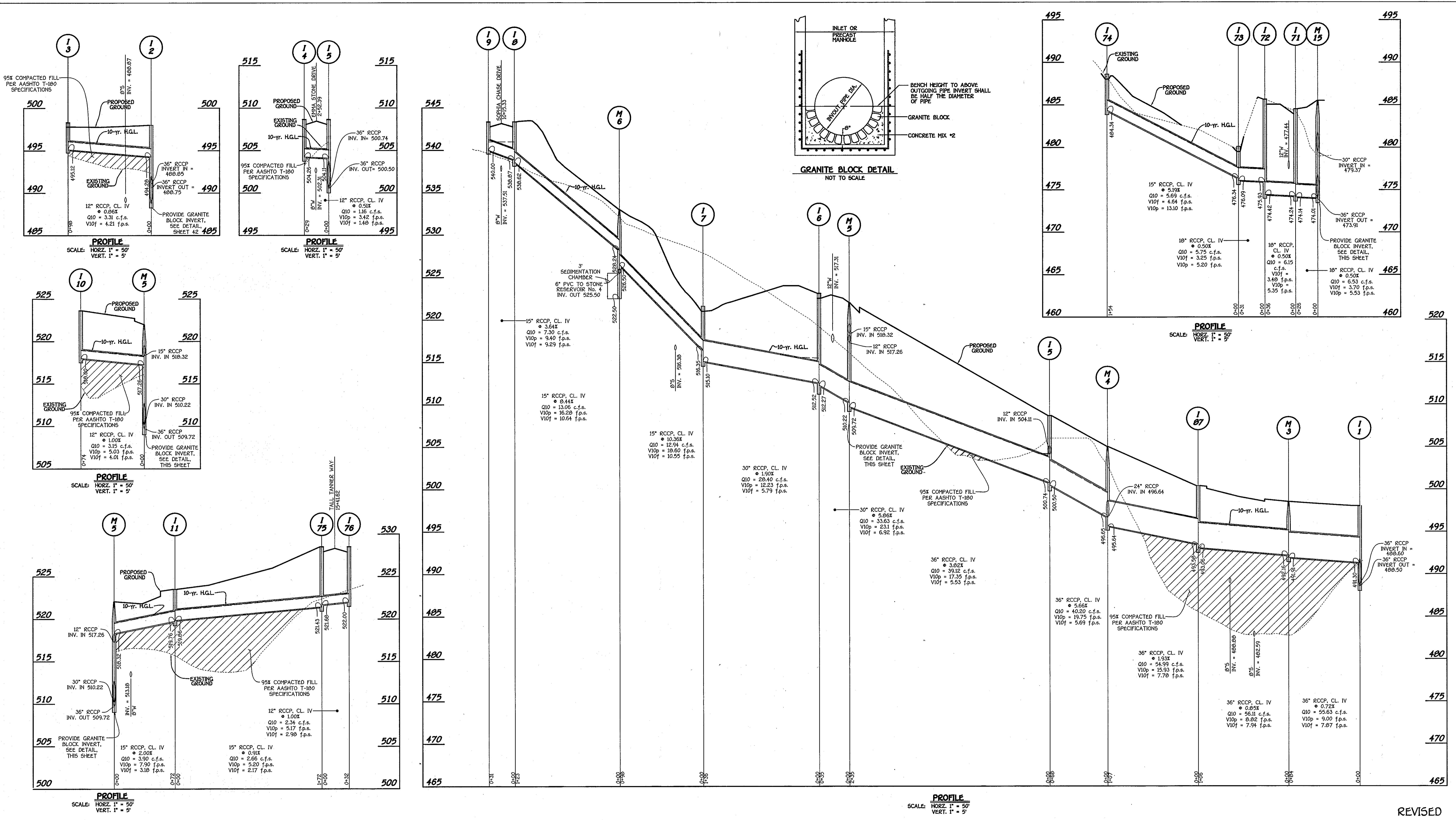
DRAINAGE AREA MAP/SOILS MAP

**AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS**

SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 165 & PHASES IV & V - UNITS 80 THRU 119, 153 THRU 161, 195 THRU 200, 237 THRU 239, 288 THRU 271, 282 THRU 285, & 290 THRU 328
TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES

TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
ZONING: PSC
SHEET 41 OF 100

SDP-09-039

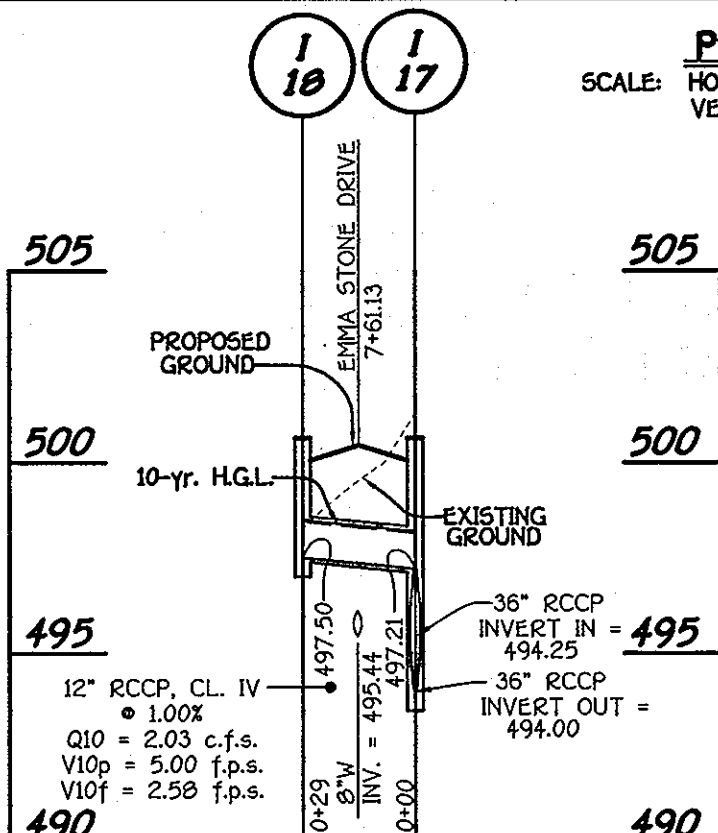
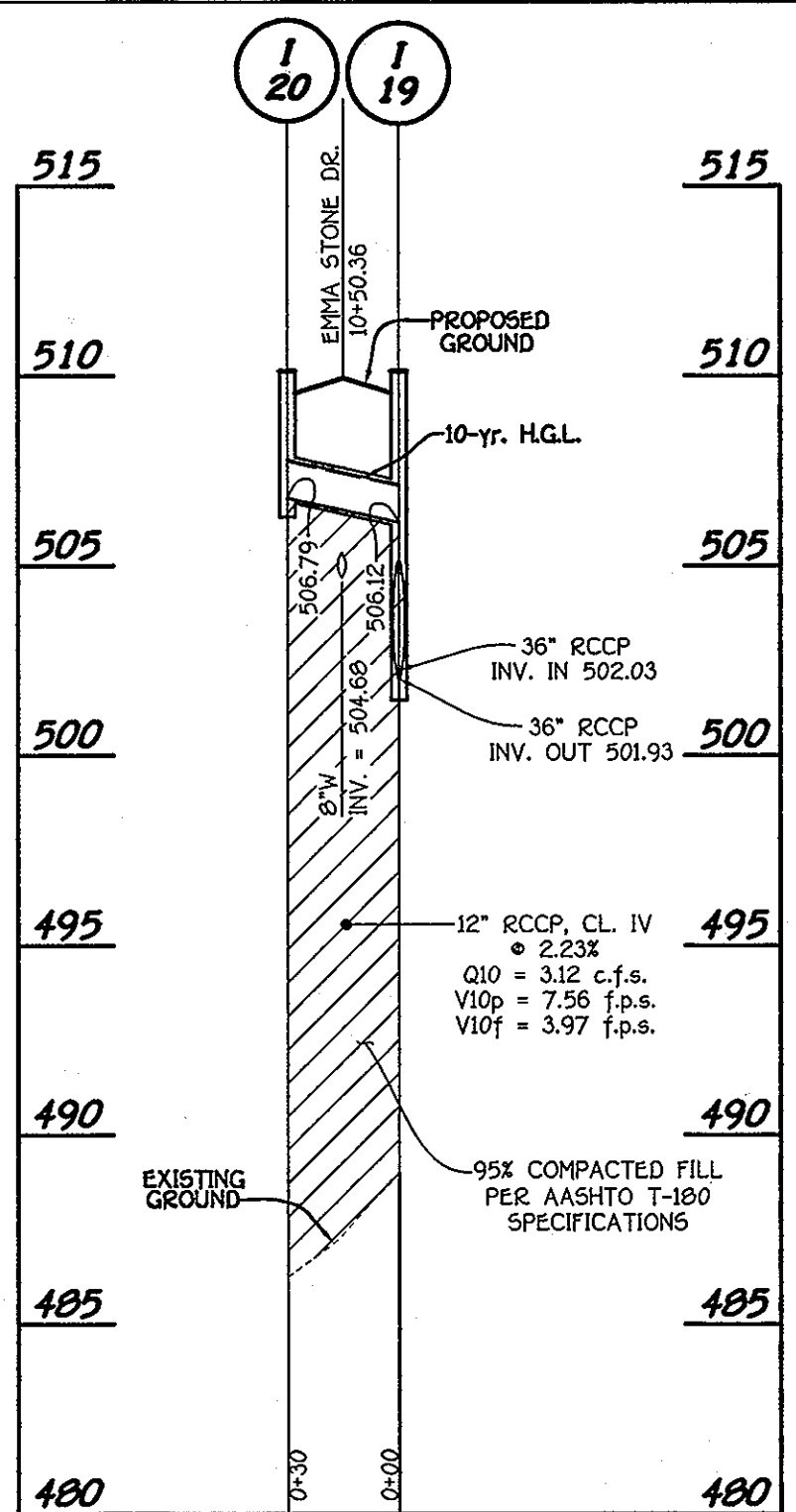
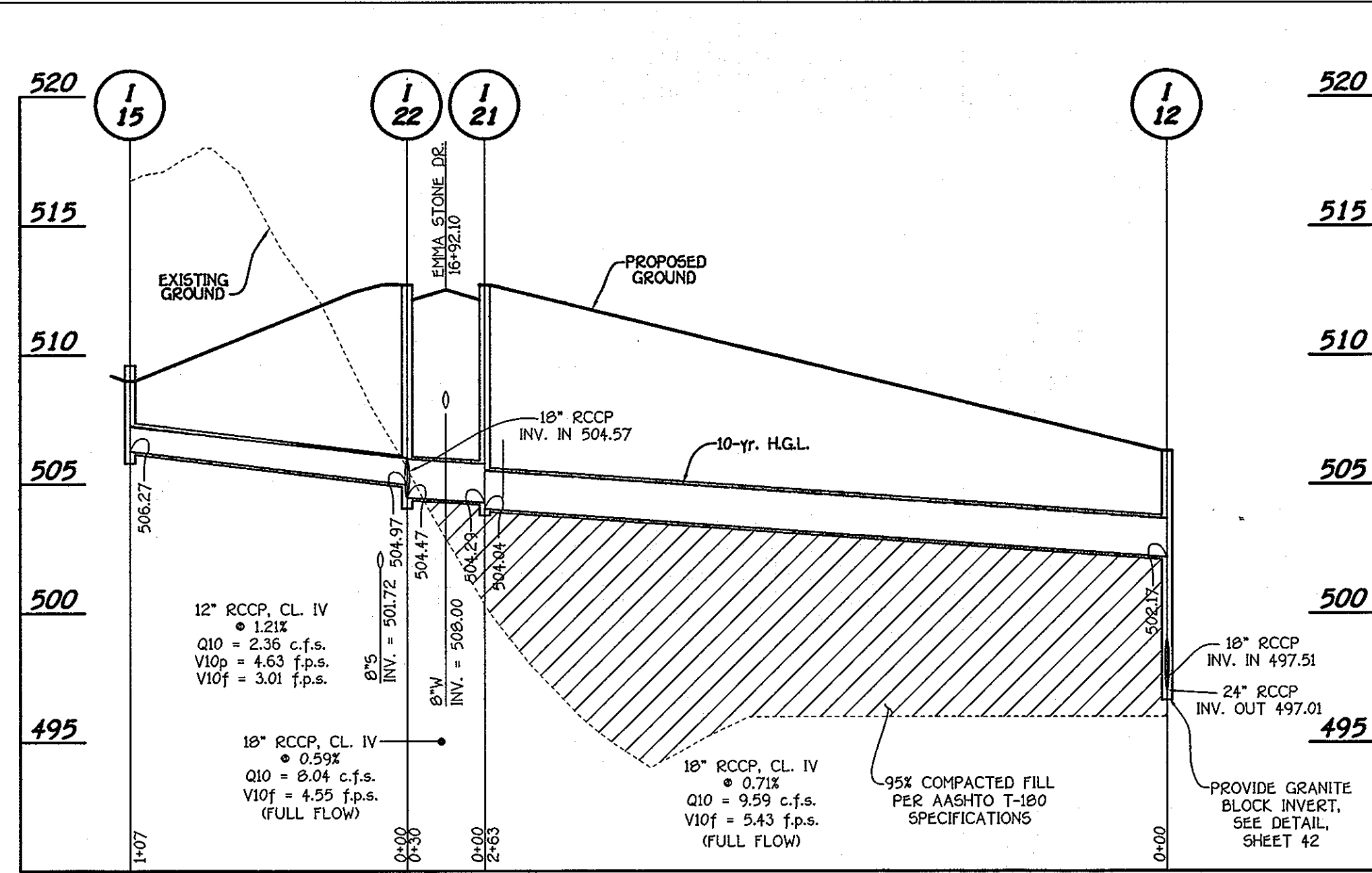


REVISED

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TERRELL A. FISHER, PROFESSIONAL ENGINEER		
BUILDERS NV HOMES 6085 MARSHALEE DRIVE SUITE 140 ELKRIDGE, MD 21075 410-379-5956 RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELKRIDGE, MD 21075 410-379-5956		
DEVELOPER WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422		
OWNERS WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422		
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING Chief, Division of Land Development Chief, Development Engineering Division Director - Department of Planning and Zoning		
STORM DRAIN PROFILES AGE RESTRICTED ADULT HOUSING GTW'S WAVERLY WOODS SECTION 14 "THE COURTYARDS AT WAVERLY WOODS - WEST" PHASES II & III LOTS 25, 12 THRU 39, 44 THRU 66 & 80 THRU 165 & PHASES IV & V - UNITS 60 THRU 119, 153 THRU 161, 196 THRU 200, 237 THRU 239, 268 THRU 271, 282 THRU 285, & 290 THRU 320 TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES ZONING: PSC TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012 SHEET 42 OF 100		
1 REV. TO ADD FEE SIMPLE LOTS PER F-12-069 AND ADD GRIFFIN HALL NO. REVISION DATE	9/28/12	9/28/12

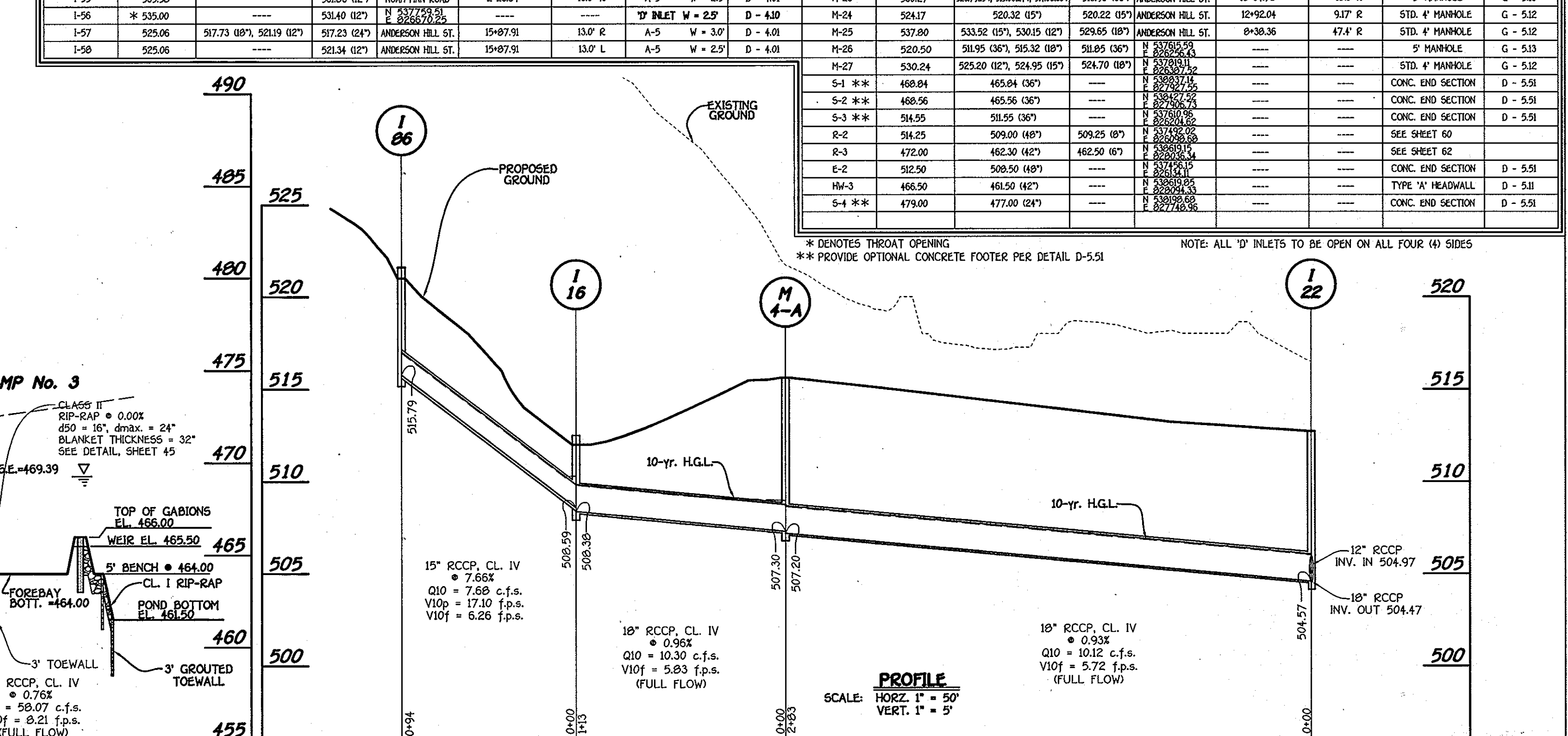
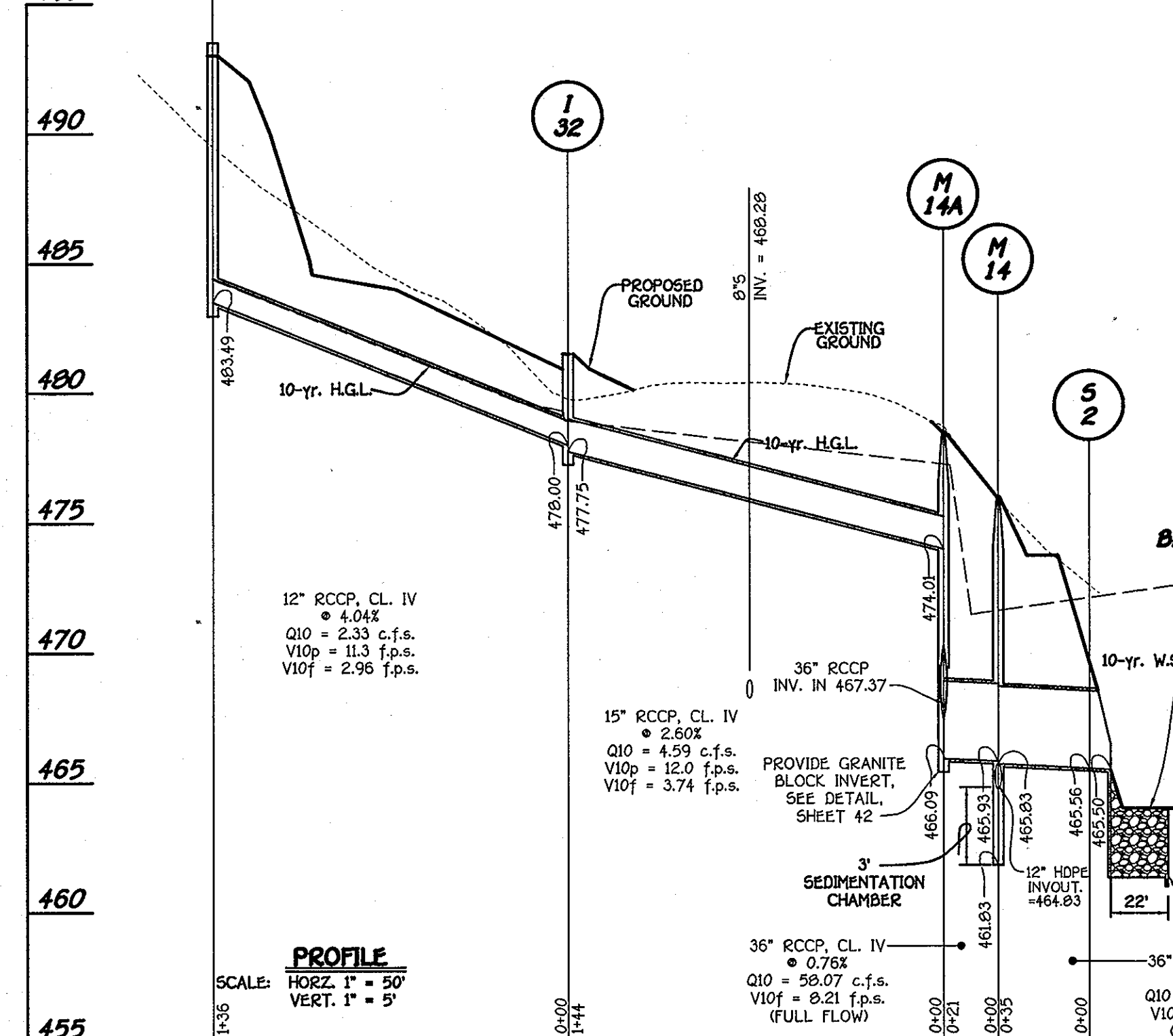
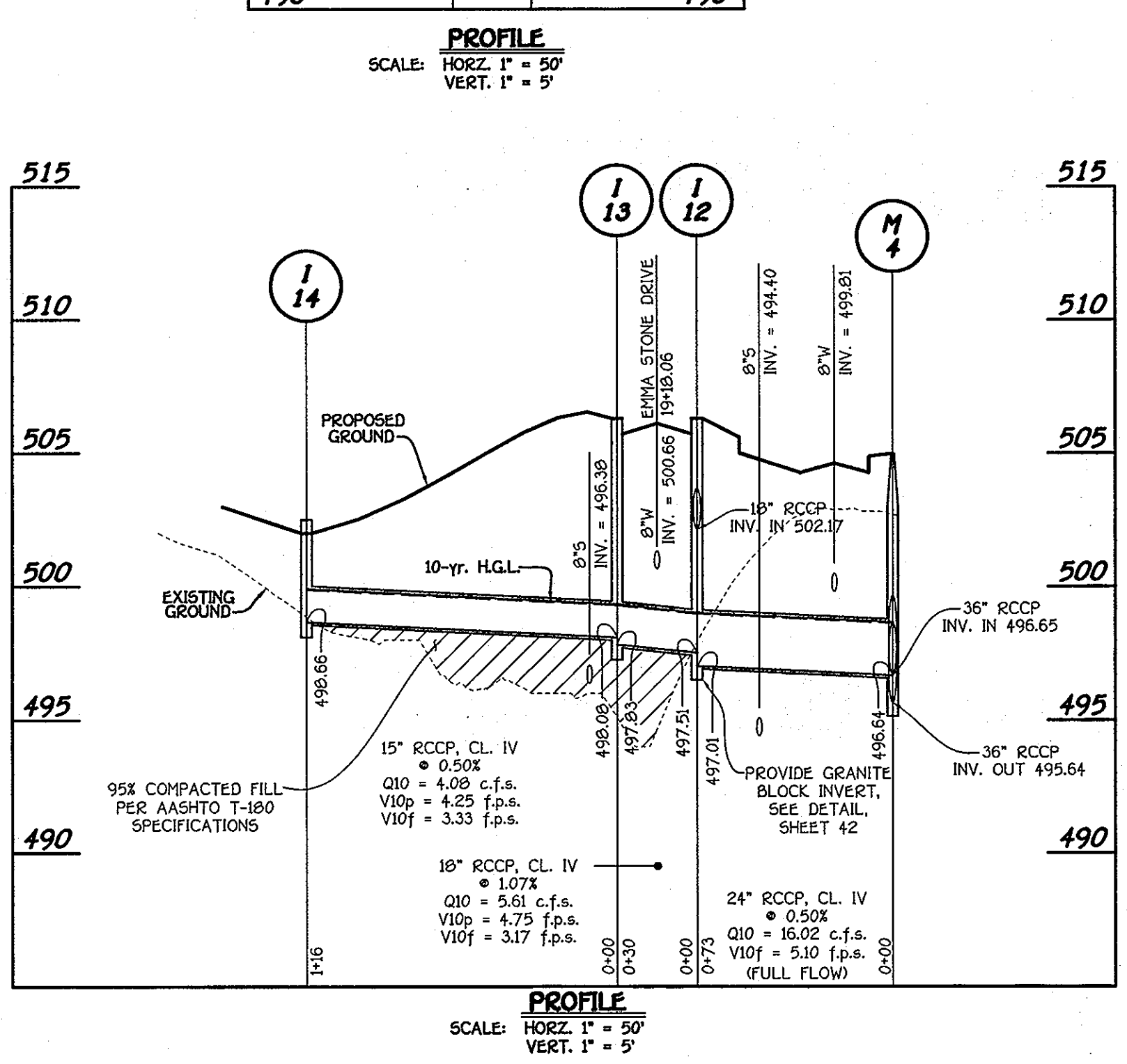
PLAT 21427-21435 AND 22082-22089 BLOCK NO. 3 & 4 ZONE PSC TAX/ZONE 16 ELEC. DIST. THIRD CENSUS TR. 60300	PROJECT GTW'S WAVERLY WOODS SECTION 14 PARCEL NO. "E" PHASE II & III LOTS 25, 12 THRU 39, 44 THRU 66 & 80 THRU 165 & PHASES IV & V - UNITS 60 THRU 119, 153 THRU 161, 196 THRU 200, 237 THRU 239, 268 THRU 271, 282 THRU 285, & 290 THRU 320	WATER CODE K-02 SEWER CODE 5992000
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SDP-09-039

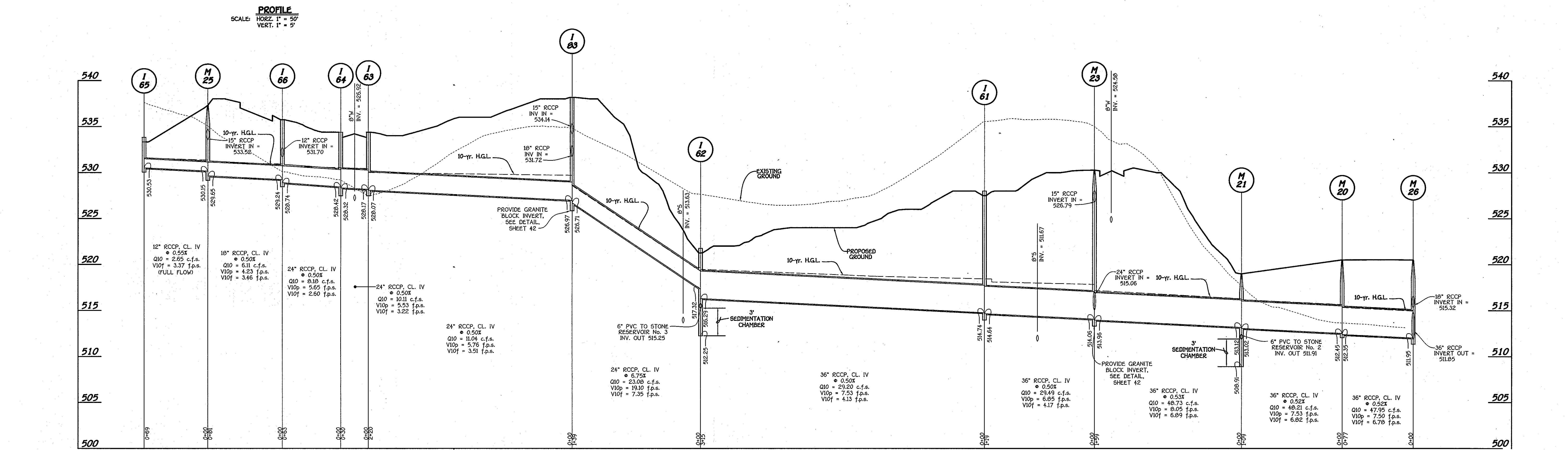
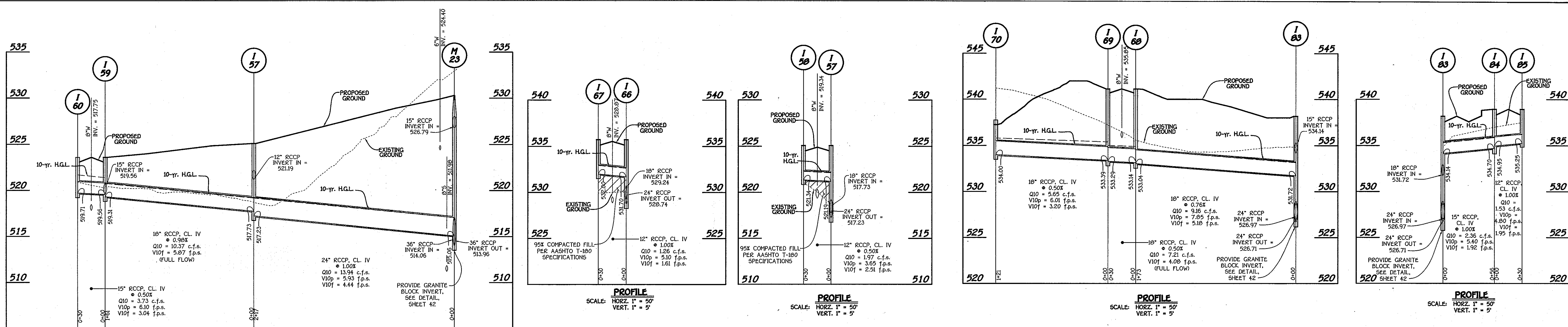


SIZE	CLASS	LENGTH
12"	RCCP CL. IV	195'
18"	RCCP CL. IV	255'
24"	RCCP CL. IV	223'
36"	RCCP CL. IV	105'
36"	RCCP CL. IV	351'

NOTE: RCCP CL. IV MAY BE SUBSTITUTED WITH HOPE PIPE MATERIAL.



STRUCTURE NO.	TOP ELEVATION	INV. IN	INV. OUT	LOCATION	ROAD STA./COORDINATE	OFFSET	TYPE & WIDTH	REMARKS	STRUCTURE NO.	TOP ELEVATION	INV. IN	INV. OUT	LOCATION	ROAD STA./COORDINATE	OFFSET	TYPE & WIDTH	REMARKS
I-1	498.04	488.60 (36")	491.30 (36")	EMMA STONE DRIVE	5+92.81	13.0' R	A-10 W = 4.0'	D - 4.03	I-99	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	13.0' R	A-10 W = 2.5'	D - 4.03
I-2	498.04	488.65 (36")	491.20 (36")	EMMA STONE DRIVE	5+92.81	13.0' L	A-10 W = 4.0'	D - 4.03	I-100	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	13.0' L	A-10 W = 2.5'	D - 4.03
I-3	497.80	488.65 (36")	491.20 (36")	EMMA STONE DRIVE	5+92.81	13.0' L	A-10 W = 2.5'	D - 4.03	I-101	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	13.0' L	A-10 W = 2.5'	D - 4.03
I-4	508.65	504.11 (24")	500.74 (36")	EMMA STONE DRIVE	2+52.39	13.0' R	A-5 W = 4.0'	D - 4.01	I-102	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	13.0' R	A-5 W = 2.5'	D - 4.01
I-5	508.65	504.11 (24")	500.74 (36")	EMMA STONE DRIVE	2+52.39	13.0' R	A-5 W = 4.0'	D - 4.01	I-103	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	13.0' R	A-5 W = 2.5'	D - 4.01
I-6	522.89	512.52 (36")	512.27 (36")	TALL TANNER WAY	13+00.54	16.0' L	A-10 W = 2.5'	D - 4.03	I-104	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	16.0' L	A-10 W = 2.5'	D - 4.03
I-7	521.00	516.35 (36")	515.30 (36")	SOPHIA CHASE DRIVE	10+15.33	13.0' R	A-10 W = 2.5'	D - 4.03	I-105	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	13.0' R	A-10 W = 2.5'	D - 4.03
I-8	513.01	508.87 (36")	508.62 (36")	SOPHIA CHASE DRIVE	10+15.33	13.0' R	A-10 W = 2.5'	D - 4.03	I-106	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	13.0' R	A-10 W = 2.5'	D - 4.03
I-9	513.01	508.87 (36")	508.62 (36")	SOPHIA CHASE DRIVE	10+15.33	13.0' R	A-10 W = 2.5'	D - 4.03	I-107	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	13.0' R	A-10 W = 2.5'	D - 4.03
I-10	523.62	519.96 (36")	519.71 (36")	TALL TANNER WAY	12+22.28	16.0' R	A-10 W = 2.5'	D - 4.03	I-108	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	16.0' R	A-10 W = 2.5'	D - 4.03
I-11	523.62	519.96 (36")	519.71 (36")	TALL TANNER WAY	12+22.28	16.0' R	A-10 W = 2.5'	D - 4.03	I-109	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	16.0' R	A-10 W = 2.5'	D - 4.03
I-12	506.29	502.17 (36")	497.51 (36")	EMMA STONE DRIVE	19+52.22	13.0' L	A-5 W = 3.0'	D - 4.01	I-110	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	13.0' L	A-5 W = 2.5'	D - 4.01
I-13	506.29	498.00 (36")	497.83 (36")	EMMA STONE DRIVE	19+52.22	13.0' R	A-5 W = 2.5'	D - 4.01	I-111	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	13.0' R	A-5 W = 2.5'	D - 4.01
I-14	502.00	498.66 (36")	498.41 (36")	TALL TANNER WAY	3+43.65	16.0' R	A-5 W = 3.0'	D - 4.01	I-112	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	16.0' R	A-5 W = 2.5'	D - 4.01
I-15	509.00	506.27 (36")	506.02 (36")	TALL TANNER WAY	3+43.65	16.0' R	A-5 W = 2.5'	D - 4.01	I-113	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	16.0' R	A-5 W = 2.5'	D - 4.01
I-16	512.00	508.59 (36")	508.34 (36")	TALL TANNER WAY	3+43.65	16.0' R	A-5 W = 2.5'	D - 4.01	I-114	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	16.0' R	A-5 W = 2.5'	D - 4.01
I-17	500.67	497.21 (36")	494.25 (36")	EMMA STONE DRIVE	494.00	13.0' L	A-5 W = 4.0'	D - 4.01	I-115	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	13.0' L	A-5 W = 2.5'	D - 4.01
I-18	500.67	497.21 (36")	494.25 (36")	EMMA STONE DRIVE	494.00	13.0' R	A-5 W = 4.0'	D - 4.01	I-116	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	13.0' R	A-5 W = 2.5'	D - 4.01
I-19	501.2	502.03 (36")	506.12 (36")	EMMA STONE DRIVE	10+50.36	13.0' L	A-5 W = 4.0'	D - 4.01	I-117	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	13.0' L	A-5 W = 2.5'	D - 4.01
I-20	501.2	502.03 (36")	506.12 (36")	EMMA STONE DRIVE	10+50.36	13.0' R	A-5 W = 4.0'	D - 4.01	I-118	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	13.0' R	A-5 W = 2.5'	D - 4.01
I-21	512.71	504.29 (36")	504.04 (36")	EMMA STONE DRIVE	16+92.10	13.0' L	A-5 W = 2.5'	D - 4.01	I-119	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	13.0' L	A-5 W = 2.5'	D - 4.01
I-22	512.71	504.29 (36")	504.04 (36")	EMMA STONE DRIVE	16+92.10	13.0' R	A-5 W = 2.5'	D - 4.01	I-120	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	13.0' R	A-5 W = 2.5'	D - 4.01
I-23	520.57	505.67 (36")	517.47 (36")	SOPHIA CHASE DRIVE	25+14.96	13.0' L	A-5 W = 4.0'	D - 4.01	I-121	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	13.0' L	A-5 W = 2.5'	D - 4.01
I-24	515.62	509.72 (36")	508.87 (36")	SOPHIA CHASE DRIVE	22+33.30	13.0' R	A-10 W = 4.0'	D - 4.03	I-122	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	13.0' R	A-10 W = 2.5'	D - 4.03
I-25	515.62	509.72 (36")	508.87 (36")	SOPHIA CHASE DRIVE	22+33.30	13.0' R	A-10 W = 4.0'	D - 4.03	I-123	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	13.0' R	A-10 W = 2.5'	D - 4.03
I-26	512.30	509.30 (36")	509.05 (36")	SOPHIA CHASE DRIVE	20+52.11	13.0' R	A-5 W = 2.5'	D - 4.01	I-124	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	13.0' R	A-5 W = 2.5'	D - 4.01
I-27	517.94	514.21 (36")	513.96 (36")	SOPHIA CHASE DRIVE	17+35.94	13.0' R	A-5 W = 2.5'	D - 4.01	I-125	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	13.0' R	A-5 W = 2.5'	D - 4.01
I-28	521.52	508.41 (36")	508.16 (36")	SOPHIA CHASE DRIVE	19+24.67	13.0' L	A-5 W = 2.5'	D - 4.01	I-126	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	13.0' L	A-5 W = 2.5'	D - 4.01
I-29	530.31	527.30 (36")	527.05 (36")	SOPHIA CHASE DRIVE	17+35.94	13.0' L	A-5 W = 2.5'	D - 4.01	I-127	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	13.0' L	A-5 W = 2.5'	D - 4.01
I-30	537.64	532.96 (36")	532.71 (36")	SOPHIA CHASE DRIVE	16+22.29	13.0' R	A-5 W = 2.5'	D - 4.01	I-128	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	13.0' R	A-5 W = 2.5'	D - 4.01
I-31	525.33	520.28 (36")	520.03 (36")	SOPHIA CHASE DRIVE	26+34.44	13.0' R	A-5 W = 2.5'	D - 4.01	I-129	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	13.0' R	A-5 W = 2.5'	D - 4.01
I-32	481.51	478.00 (36")	477.75 (36")	TALL TANNER WAY	3+43.65	16.0' R	A-5 W = 2.5'	D - 4.01	I-130	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	16.0' R	A-5 W = 2.5'	D - 4.01
I-33	493.00	489.25 (36")	487.56 (36")	TALL TANNER WAY	3+43.65	16.0' R	A-5 W = 3.0'	D - 4.01	I-131	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	16.0' R	A-5 W = 2.5'	D - 4.01
I-34	493.49	489.25 (36")	487.56 (36")	TALL TANNER WAY	3+43.65	16.0' R	A-5 W = 3.0'	D - 4.01	I-132	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	16.0' R	A-5 W = 2.5'	D - 4.01
I-35	493.49	489.25 (36")	487.56 (36")	TALL TANNER WAY	3+43.65	16.0' R	A-5 W = 3.0'	D - 4.01	I-133	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	16.0' R	A-5 W = 2.5'	D - 4.01
I-36	503.35	498.75 (36")	499.15 (36")	GENTLE ROLLING DR.	0+56.33	13.0' L	A-5 W = 2.5'	D - 4.03	I-134	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	13.0' L	A-5 W = 2.5'	D - 4.03
I-37	530.91	526.04 (36")	526.98 (36")	GENTLE ROLLING DR.	0+56.33	13.0' R	A-10 W = 2.5'	D - 4.03	I-135	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	13.0' R	A-10 W = 2.5'	D - 4.03
I-38	530.91	526.04 (36")	526.98 (36")	GENTLE ROLLING DR.	0+56.33	13.0' R	A-10 W = 2.5'	D - 4.03	I-136	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	13.0' R	A-10 W = 2.5'	D - 4.03
I-39	538.51	534.00 (36")	533.75 (36")	ANDERSON HILL ST.	0+54.46	13.0' R	A-5 W = 2.5'	D - 4.01	I-137	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	13.0' R	A-5 W = 2.5'	D - 4.01
I-40	538.51	534.00 (36")	533.75 (36")	ANDERSON HILL ST.	0+54.46	13.0' R	A-5 W = 2.5'	D - 4.01	I-138	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	13.0' R	A-5 W = 2.5'	D - 4.01
I-41	504.05	499.55 (36")	499.30 (36")	TALL TANNER WAY	0+71.65	16.0' R	A-5 W = 2.5'	D - 4.01	I-139	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	16.0' R	A-5 W = 2.5'	D - 4.01
I-42	515.38	510.84 (36")	511.11 (36")	TALL TANNER WAY	0+71.65	16.0' R	A-5 W = 2.5'	D - 4.01	I-140	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	16.0' R	A-5 W = 2.5'	D - 4.01
I-43	515.38	510.84 (36")	511.11 (36")	TALL TANNER WAY	0+71.65	16.0' R	A-5 W = 2.5'	D - 4.01	I-141	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	16.0' R	A-5 W = 2.5'	D - 4.01
I-44	508.54	504.04 (36")	503.79 (36")	TALL TANNER WAY	4+93.39	30.6' L	A-10 W = 2.5'	D - 4.01	I-142	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	30.6' L	A-10 W = 2.5'	D - 4.01
I-45	529.89	525.20 (36")	524.84 (36")	SOPHIA CHASE DRIVE	0+54.25	13.0' L	A-5 W = 2.5'	D - 4.01	I-143	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	13.0' L	A-5 W = 2.5'	D - 4.01
I-46	529.89	525.20 (36")	524.84 (36")	SOPHIA CHASE DRIVE	0+54.25	13.0' R	A-5 W = 2.5'	D - 4.01	I-144	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	13.0' R	A-5 W = 2.5'	D - 4.01
I-47	512.62	513.69 (36")	513.19 (36")	SOPHIA CHASE DRIVE	3+11.85	13.0' L	A-10 W = 2.5'	D - 4.03	I-145	523.17	519.56 (36")	519.56 (36")	ANDERSON HILL ST.	14+26.16	13.0' L	A-10 W = 2.5'	D - 4.03
I-48	538.00	535.05 (36")	535.05 (36")	TALL TANNER WAY	4+93.39												

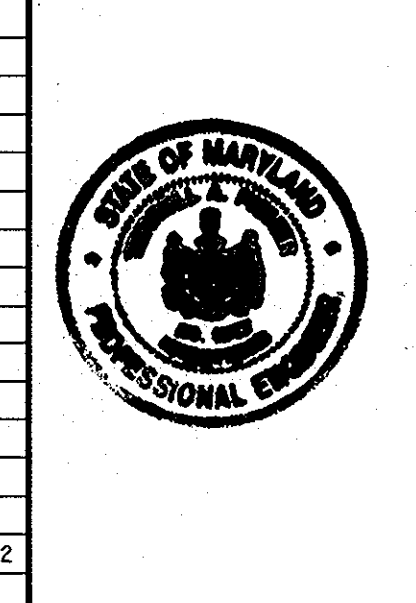


PROFILE
SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'

REVISED

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10725 BALTIMORE NATIONAL FEE
ELLICOTT CITY, MARYLAND 21042
(410) 481-2899

NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER T-12-089 AND ADD GRIFFIN HALL	9/28/12



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/3/14.

Terrell A. Fisher
TERRELL A. FISHER, PROFESSIONAL ENGINEER
11/14/12 DATE

BUILDERS
NV HOMES 6005 MARSHALEE DRIVE SUITE 130 ELK RIDGE, MD 21075 410-379-5956
RYAN HOMES 6005 MARSHALEE DRIVE SUITE 140 ELK RIDGE, MD 21075 410-379-5956

DEVELOPER
WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLICOTT CITY, MARYLAND 21042
443-367-0422

OWNERS
WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLICOTT CITY, MARYLAND 21042
443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Kevin L. Leach
Chief, Division of Land Development
12/19/12 DATE

David A. Williams
Chief, Development Engineering Division
12/18/12 DATE

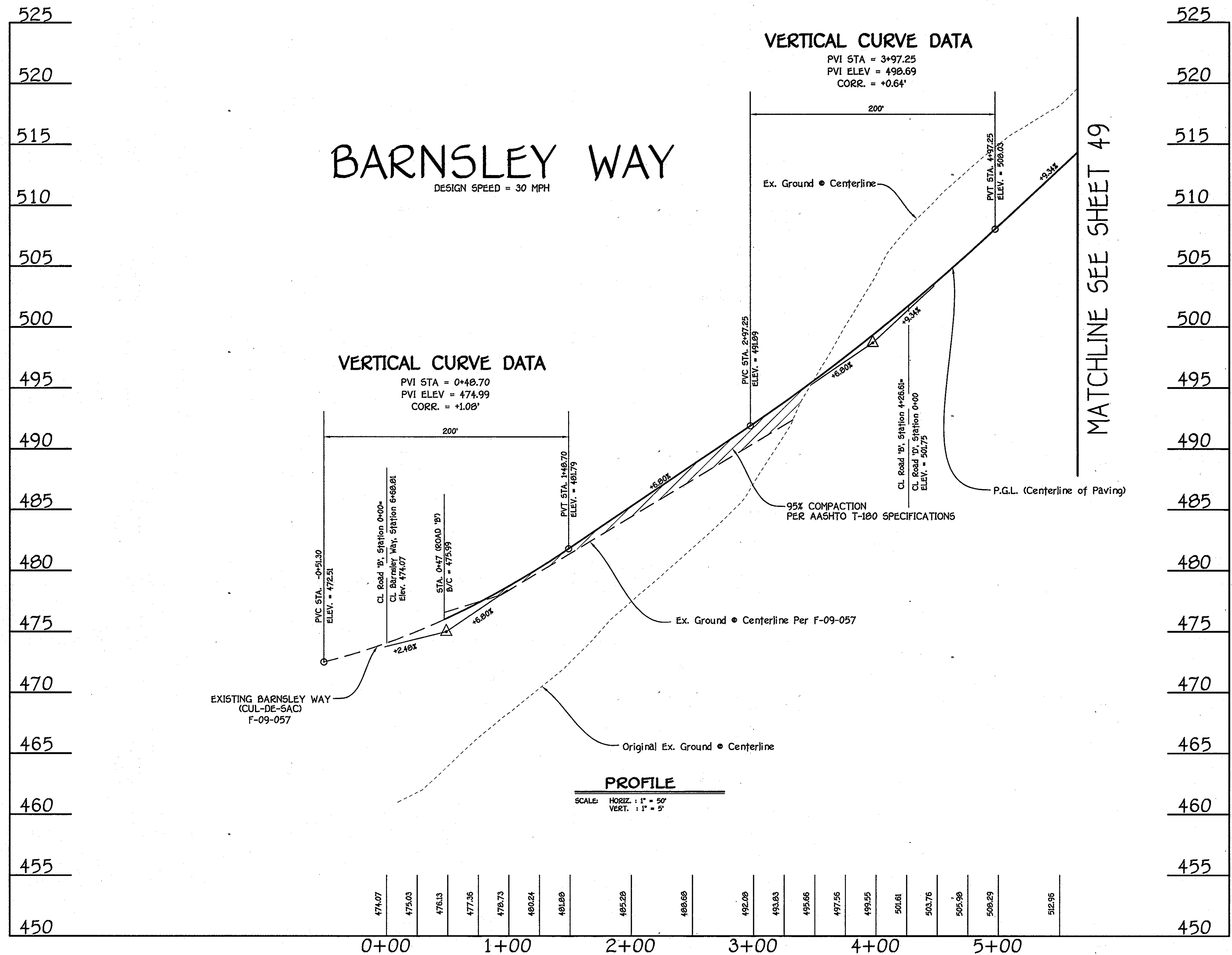
Dorothy A. Lewis
Director - Department of Planning and Zoning
12/18/12 DATE

PROJECT: GTW'S WAVERLY WOODS SECTION: 14
PLAT 21427 AND 22082-22089 BLOCK NO. 3 & 4 ZONE PSC TAX/ZONE 16 ELEC. DIST. THIRD CENSUS TR. 60300
WATER CODE K-02 SEWER CODE 5992000

**AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
SECTION 14**

"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 165 &
PHASES IV & V - UNITS 80 THRU 119, 153 THRU 161, 196 THRU 200,
237 THRU 239, 268 THRU 271, 282 THRU 285, & 290 THRU 320
TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES

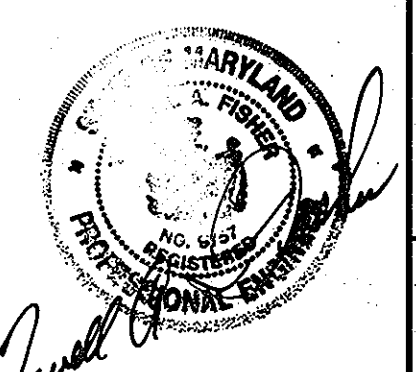
TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
SHEET 47 OF 100 SDP-09-039



MATCHLINE SEE SHEET 49

REVISED

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTURIAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PkE
ELLCOTT CITY, MARYLAND 21042
410-481-2955



NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-009 AND ADD GRIFFIN HALL	6/28/12

BUILDERS
 NV HOMES 6085 MARSHALEE DRIVE SUITE 130 ELKEDGEE, MD 21075 410-379-5956
 RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELKEDGEE, MD 21075 410-379-5956

DEVELOPER
 WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 3300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 443-367-0422

OWNERS
 WAVERLY WOODS DEVELOPMENT CORPORATION,
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 3300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 12/19/12
Chief, Division of Land Development DATE

[Signature] 12/19/12
Chief, Development Engineering Division DATE

[Signature] 12/19/12
Director - Department of Planning and Zoning DATE

PROJECT	SECTION	PARCEL NO. 'E'
GTW'S WAVERLY WOODS	14	1055 S. 11th St. Units 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100
PLAT 21427 21435 AND 22082 - 22089	BLOCK NO. 3 & 4	ZONE PSC
TAX/ZONE 16	ELEC. DIST. THIRD	CENSUS TR. 60300
WATER CODE K-02	SEWER CODE 5992000	

ROAD PROFILE

AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
SECTION 14

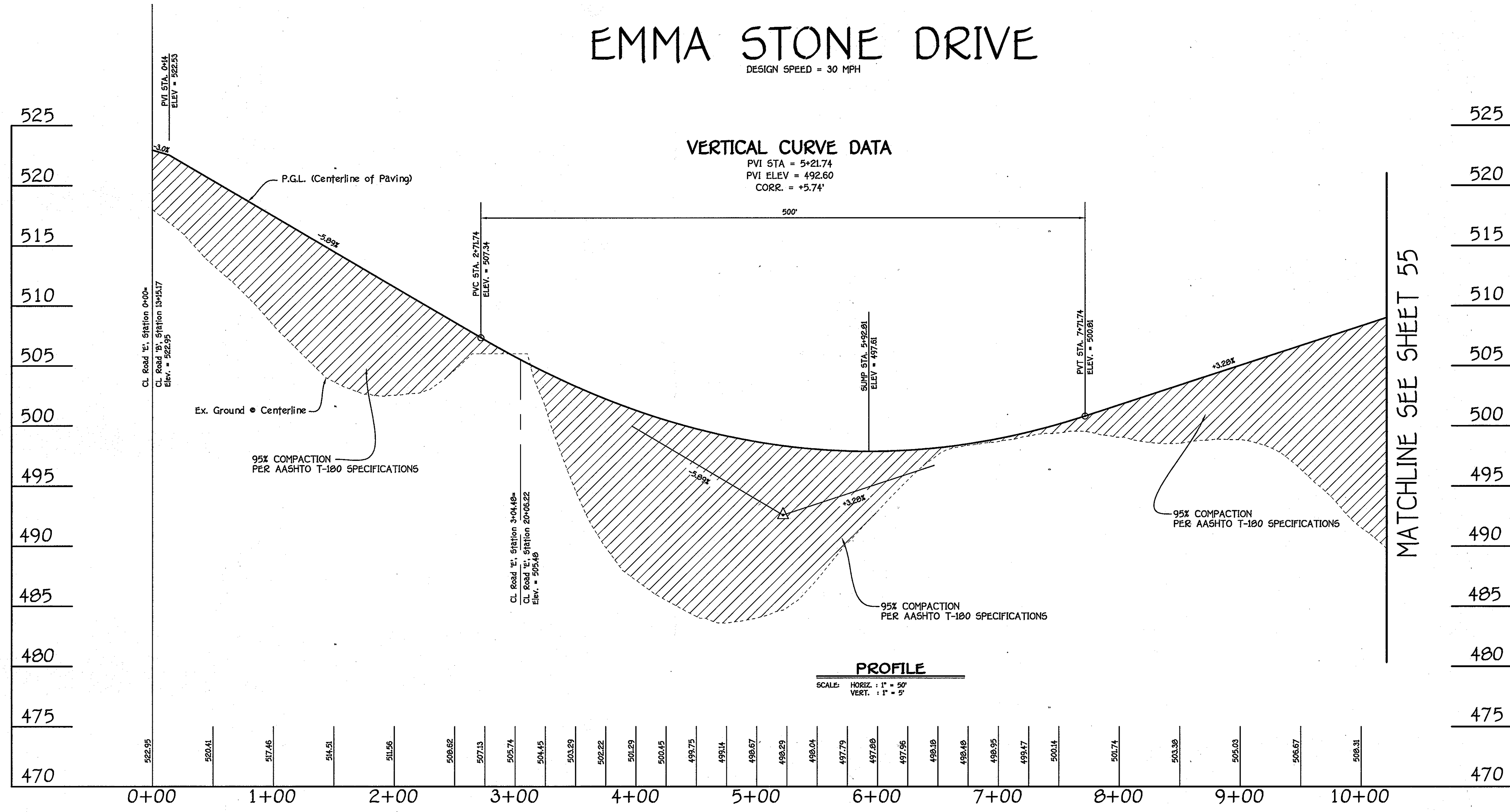
"THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 165 &
 PHASES IV & V - UNITS 80 THRU 119, 153 THRU 161, 196 THRU 200,
 237 THRU 239, 268 THRU 271, 282 THRU 295, & 290 THRU 320
 TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES

TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
 SHEET 48 OF 100

SDP-09-039

EMMA STONE DRIVE

DESIGN SPEED = 30 MPH

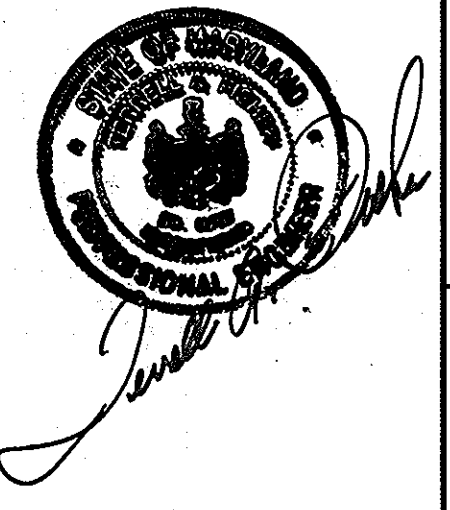


VERTICAL CURVE DATA
 PVI STA = 5+21.74
 PVI ELEV = 492.60
 CORR. = +5.74'

PROFILE
 SCALE: HORIZ. : 1" = 50'
 VERT. : 1" = 5'

REVISED

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTURIAL SQUARE OFFICE PARK - 10722 BALTIMORE NATIONAL Pk.
 ELLICOTT CITY, MARYLAND 21114
 (410) 481-2555



NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER T-12-089 AND ADD GRIFFIN HALL	9/28/12

BUILDERS
 NV HOMES 6085 MARSHALEE DRIVE SUITE 130 ELKBRIDGE, MD. 21075 410-379-5956
 RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELKBRIDGE, MD. 21075 410-379-5956

DEVELOPER
 WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 443-367-0422

OWNERS
 WAVERLY WOODS DEVELOPMENT CORPORATION,
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

K. J. Sheahan 12/19/12
 Chief, Division of Land Development
Robert Newman 12/19/12
 Chief, Development Engineering Division
 Director - Department of Planning and Zoning

PROJECT	SECTION	PARCEL NO. "E"
GTW'S WAVERLY WOODS	14	1005 5 12 39 44 88 89 100 101 102 103 104 105 106 107 108 109 110 111 112 113 114 115 116 117 118 119 120 121 122 123 124 125 126 127 128 129 130 131 132 133 134 135 136 137 138 139 140 141 142 143 144 145 146 147 148 149 150 151 152 153 154 155 156 157 158 159 160 161 162 163 164 165 166 167 168 169 170 171 172 173 174 175 176 177 178 179 180 181 182 183 184 185 186 187 188 189 190 191 192 193 194 195 196 197 198 199 200 201 202 203 204 205 206 207 208 209 210 211 212 213 214 215 216 217 218 219 220 221 222 223 224 225 226 227 228 229 230 231 232 233 234 235 236 237 238 239 240 241 242 243 244 245 246 247 248 249 250 251 252 253 254 255 256 257 258 259 260 261 262 263 264 265 266 267 268 269 270 271 272 273 274 275 276 277 278 279 280 281 282 283 284 285 286 287 288 289 290 291 292 293 294 295 296 297 298 299 300 301 302 303 304 305 306 307 308 309 310 311 312 313 314 315 316 317 318 319 320 321 322 323 324 325 326 327 328 329 330 331 332 333 334 335 336 337 338 339 340 341 342 343 344 345 346 347 348 349 350 351 352 353 354 355 356 357 358 359 360 361 362 363 364 365 366 367 368 369 370 371 372 373 374 375 376 377 378 379 380 381 382 383 384 385 386 387 388 389 390 391 392 393 394 395 396 397 398 399 400 401 402 403 404 405 406 407 408 409 410 411 412 413 414 415 416 417 418 419 420 421 422 423 424 425 426 427 428 429 430 431 432 433 434 435 436 437 438 439 440 441 442 443 444 445 446 447 448 449 450 451 452 453 454 455 456 457 458 459 460 461 462 463 464 465 466 467 468 469 470 471 472 473 474 475 476 477 478 479 480 481 482 483 484 485 486 487 488 489 490 491 492 493 494 495 496 497 498 499 500 501 502 503 504 505 506 507 508 509 510 511 512 513 514 515 516 517 518 519 520 521 522 523 524 525 526 527 528 529 530 531 532 533 534 535 536 537 538 539 540 541 542 543 544 545 546 547 548 549 550 551 552 553 554 555 556 557 558 559 560 561 562 563 564 565 566 567 568 569 570 571 572 573 574 575 576 577 578 579 580 581 582 583 584 585 586 587 588 589 590 591 592 593 594 595 596 597 598 599 600 601 602 603 604 605 606 607 608 609 610 611 612 613 614 615 616 617 618 619 620 621 622 623 624 625 626 627 628 629 630 631 632 633 634 635 636 637 638 639 640 641 642 643 644 645 646 647 648 649 650 651 652 653 654 655 656 657 658 659 660 661 662 663 664 665 666 667 668 669 670 671 672 673 674 675 676 677 678 679 680 681 682 683 684 685 686 687 688 689 690 691 692 693 694 695 696 697 698 699 700 701 702 703 704 705 706 707 708 709 710 711 712 713 714 715 716 717 718 719 720 721 722 723 724 725 726 727 728 729 730 731 732 733 734 735 736 737 738 739 740 741 742 743 744 745 746 747 748 749 750 751 752 753 754 755 756 757 758 759 760 761 762 763 764 765 766 767 768 769 770 771 772 773 774 775 776 777 778 779 780 781 782 783 784 785 786 787 788 789 790 791 792 793 794 795 796 797 798 799 800 801 802 803 804 805 806 807 808 809 810 811 812 813 814 815 816 817 818 819 820 821 822 823 824 825 826 827 828 829 830 831 832 833 834 835 836 837 838 839 840 841 842 843 844 845 846 847 848 849 850 851 852 853 854 855 856 857 858 859 860 861 862 863 864 865 866 867 868 869 870 871 872 873 874 875 876 877 878 879 880 881 882 883 884 885 886 887 888 889 890 891 892 893 894 895 896 897 898 899 900 901 902 903 904 905 906 907 908 909 910 911 912 913 914 915 916 917 918 919 920 921 922 923 924 925 926 927 928 929 930 931 932 933 934 935 936 937 938 939 940 941 942 943 944 945 946 947 948 949 950 951 952 953 954 955 956 957 958 959 960 961 962 963 964 965 966 967 968 969 970 971 972 973 974 975 976 977 978 979 980 981 982 983 984 985 986 987 988 989 990 991 992 993 994 995 996 997 998 999 1000

PLAT 21427 - 21435 AND 22082 - 22089	BLOCK NO. 3 & 4	ZONE PSC	TAX/ZONE 16	ELEC. DIST. THIRD	CENSUS TR. 60300
WATER CODE K-02	SEWER CODE 5992000				

AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
 SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 165 &
 PHASES IV & V - UNITS 80 THRU 119, 153 THRU 161, 196 THRU 200,
 237 THRU 239, 268 THRU 271, 282 THRU 285, & 290 THRU 320
 TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES
 TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
 SHEET 54 OF 100

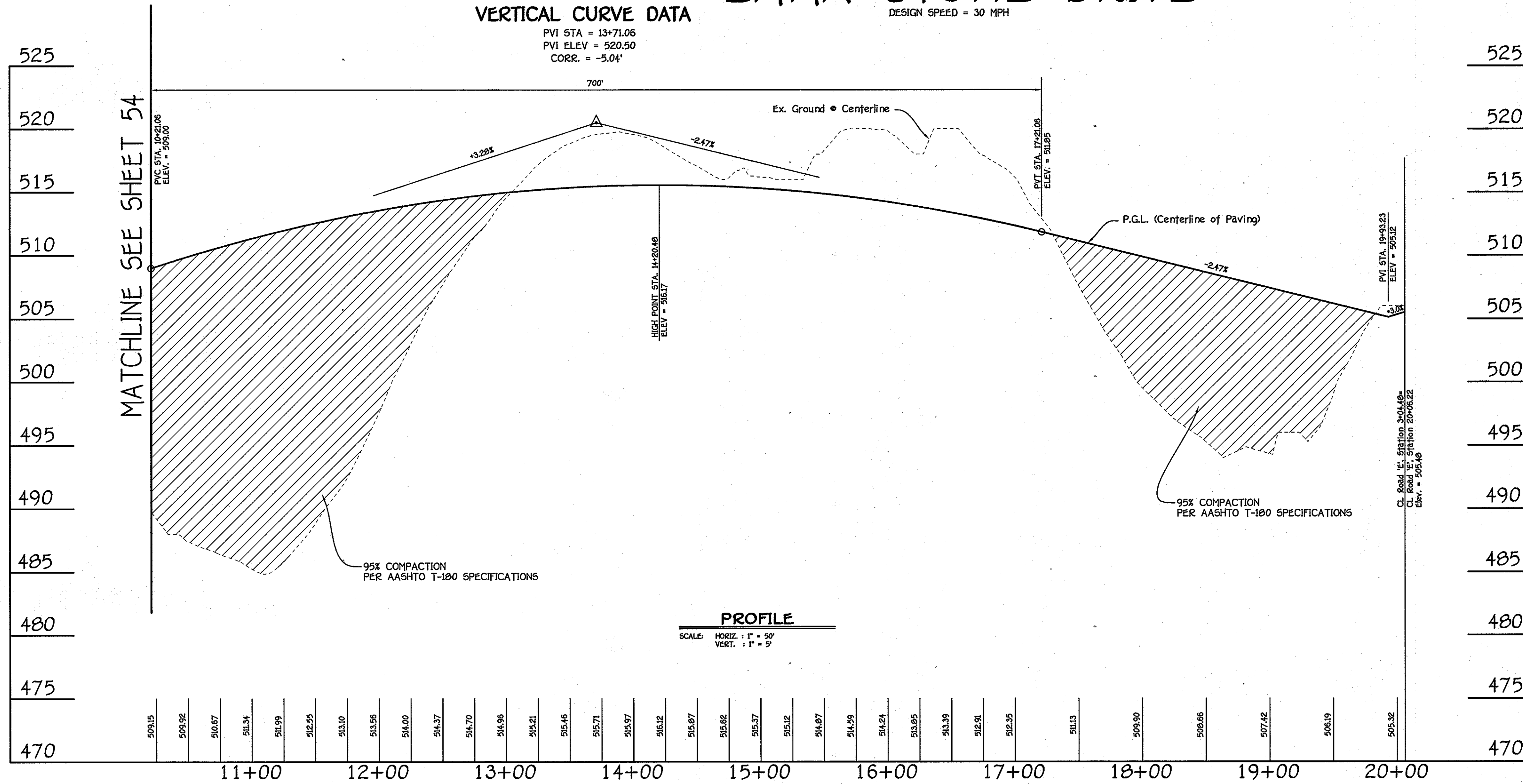
SDP-09-039

EMMA STONE DRIVE

VERTICAL CURVE DATA

PVI STA = 13+71.06
 PVI ELEV = 520.50
 CORR. = -5.04'

DESIGN SPEED = 30 MPH

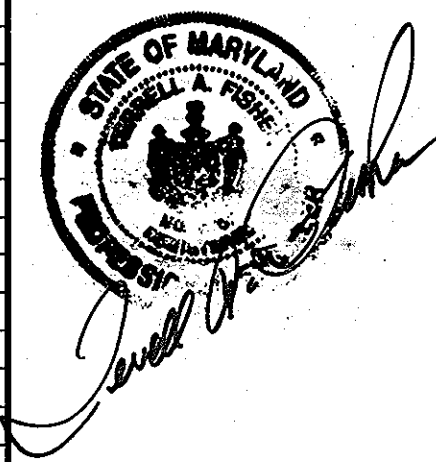


PROFILE

SCALE: HORIZ. : 1" = 50'
 VERT. : 1" = 5'

REVISED

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10722 BALTIMORE NATIONAL FREE
 ELLICOTT CITY, MARYLAND 21142
 (410) 481-2895



NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER T-12-089 AND ADD GRIFFIN HALL	9/28/12

BUILDERS	
NV HOMES 6085 MARSHALEE DRIVE SUITE 130 ELK RIDGE, MD 21075 410-379-5956	RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELK RIDGE, MD 21075 410-379-5956
DEVELOPER	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422	
OWNERS	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Paul Griffin 12/10/12
 Chief, Division of Land Development Date

Paul Griffin 12/10/12
 Chief, Development Engineering Division Date

Paul Griffin 12/10/12
 Director - Department of Planning and Zoning Date

PROJECT	SECTION	PARCEL NO. "E"
GTW'S WAVERLY WOODS	14	PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 165 & PHASES IV & V - UNITS 80 THRU 119, 153 THRU 161, 196 THRU 200, 237 THRU 239, 280 THRU 271, 282 THRU 285, & 290 THRU 320
PLAT 21427 21435 AND 22082 - 22089	BLOCK NO. 3 & 4	TAX/ZONE P5C 16
WATER CODE K-02	SEWER CODE 5992000	ELEC. DIST. THIRD
		CENSUS TR. 60300

ROAD PROFILE

AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS

SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"

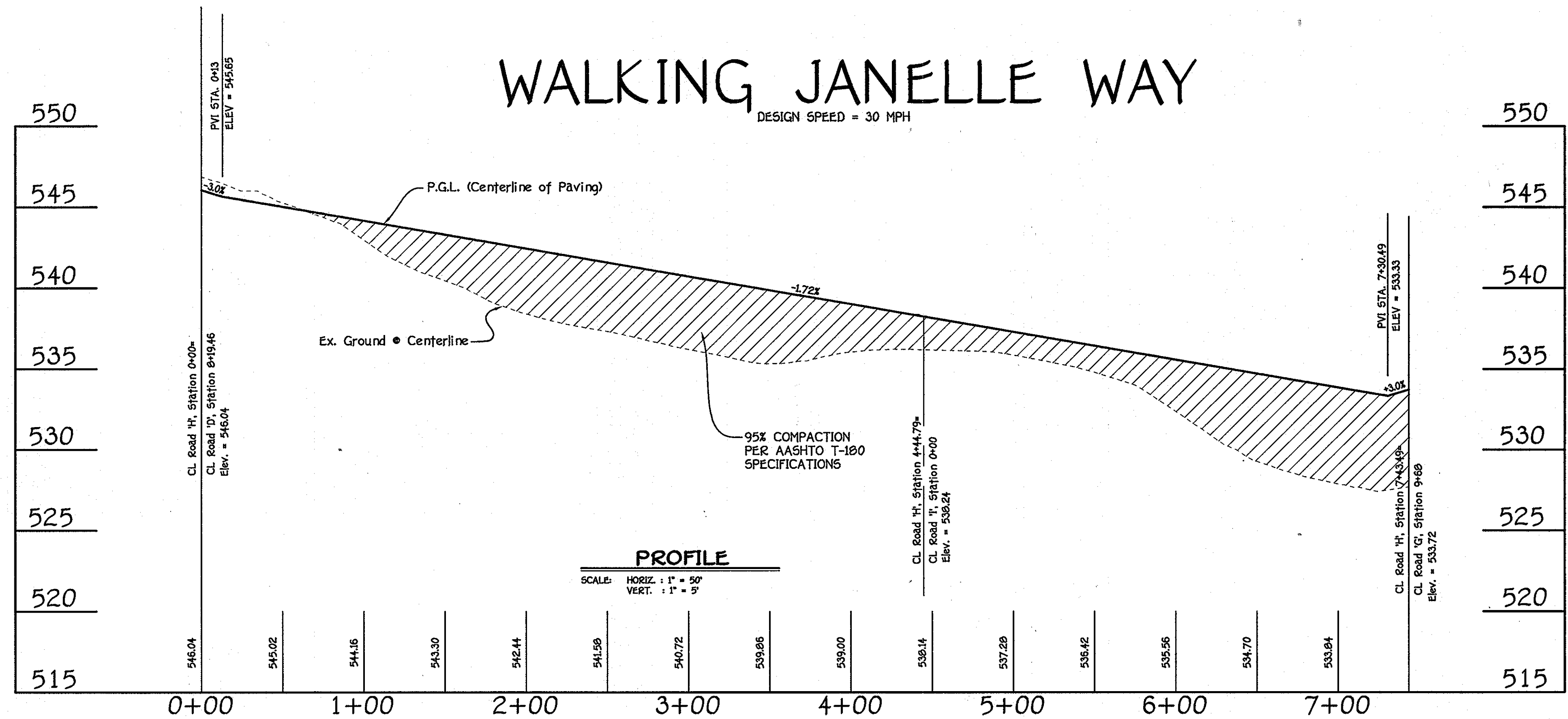
TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES

TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
 SHEET 55 OF 100

SDP-09-039

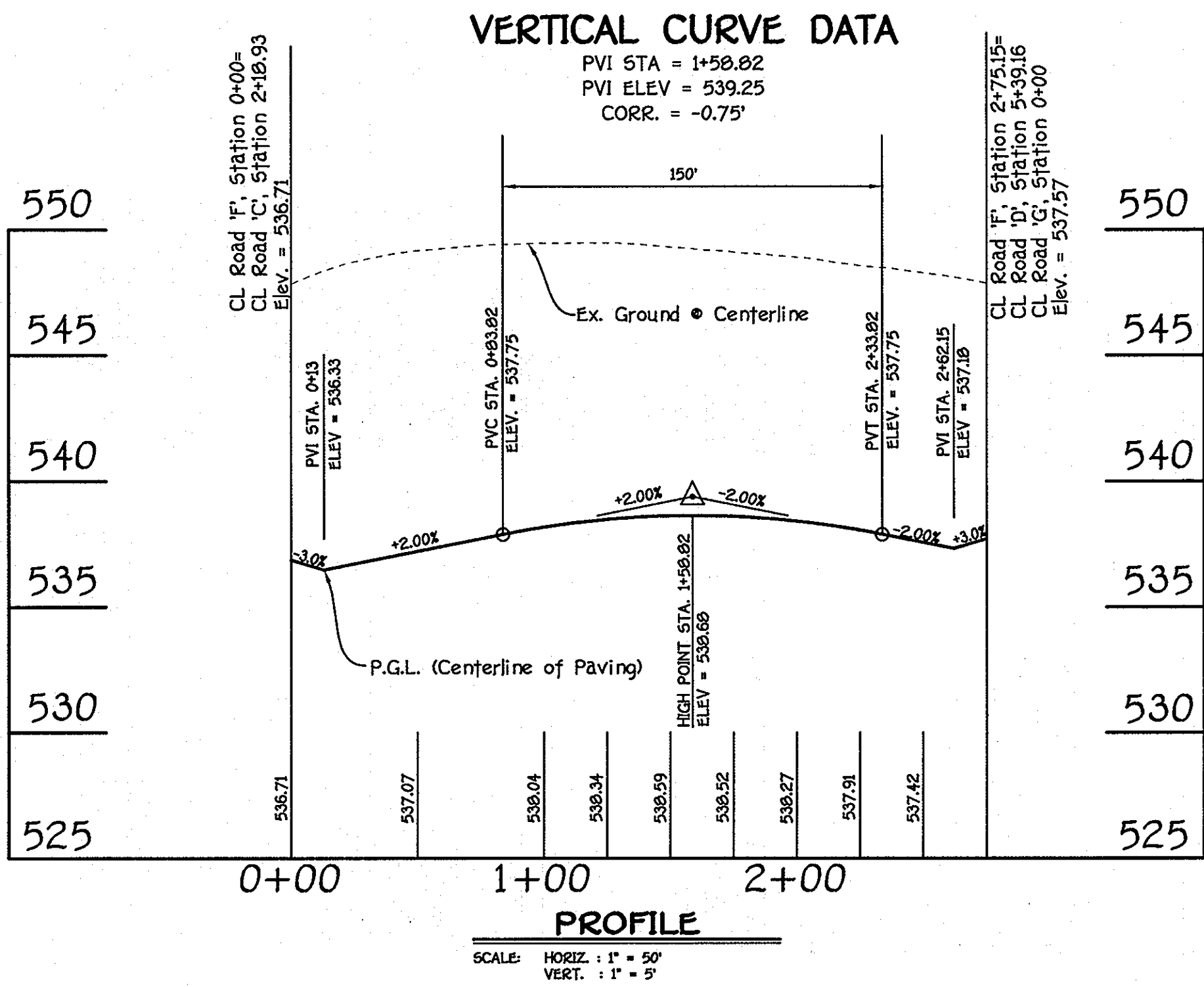
WALKING JANELLE WAY

DESIGN SPEED = 30 MPH



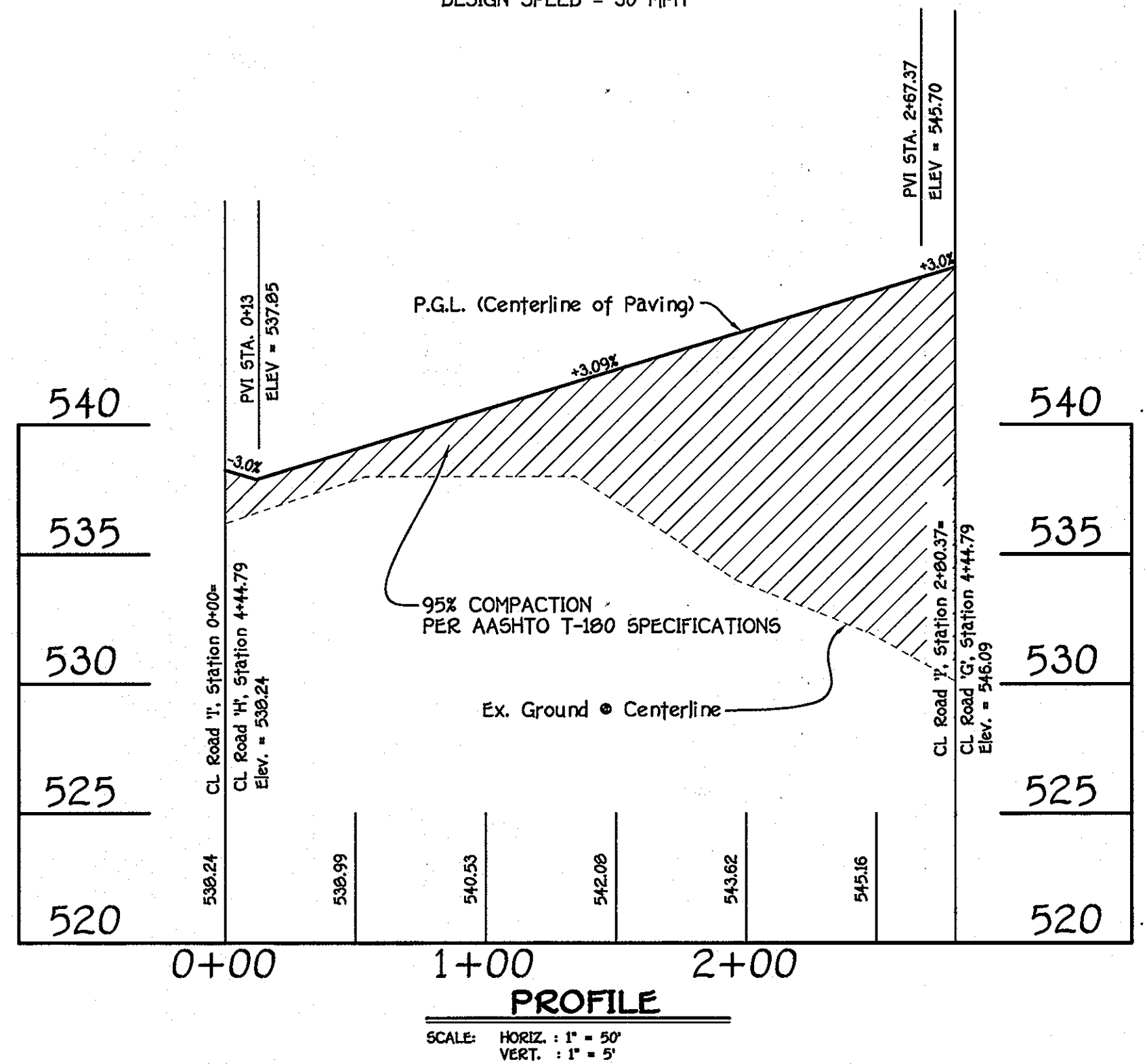
GREAT ALEXANDER STREET

DESIGN SPEED = 30 MPH



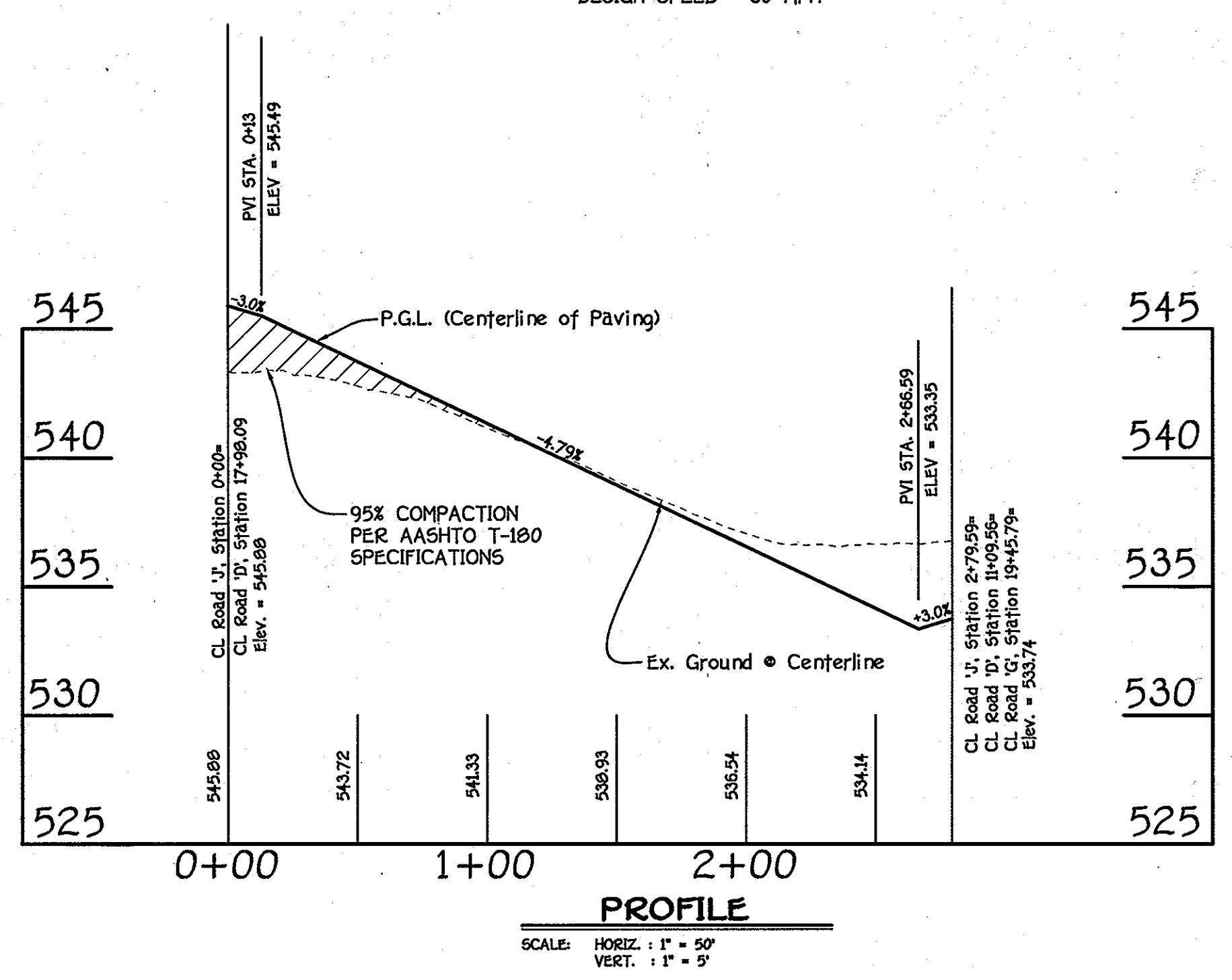
IRVING GAMBLE ROAD

DESIGN SPEED = 30 MPH



NOAH FINN ROAD

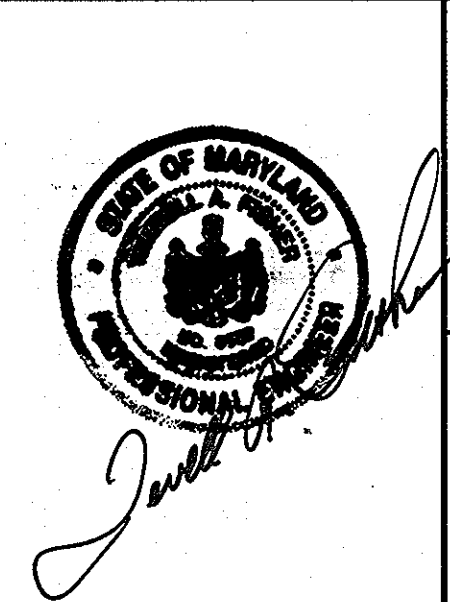
DESIGN SPEED = 30 MPH



REVISED

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 1072 BALTIMORE NATIONAL FEE
ELLCOTT CITY, MARYLAND 21042
410 481-2855

NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER T-12-089 AND ADD GRIFFIN HALL	9/28/12
	REVISION	



BUILDERS
 NV HOMES 6085 MARSHALEE DRIVE SUITE 130 ELK RIDGE, MD 21075 410-379-5956
 RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELK RIDGE, MD 21075 410-379-5956

DEVELOPER
 WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLCOTT CITY, MARYLAND 21042
 443-367-0422

OWNERS
 WAVERLY WOODS DEVELOPMENT CORPORATION,
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLCOTT CITY, MARYLAND 21042
 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Kathleen 12/19/12
Chief, Division of Land Development Date

Mark A. Ugle 12/10/12
Chief, Development Engineering Division Date

Director - Department of Planning and Zoning Date

PROJECT	SECTION	PARCEL NO. "E"
GTW'S WAVERLY WOODS	14	1005 5 18-58 1146 1 00 THRU 105 4 PHASE II & V - UNITS 119, 153 THRU 161, 196 THRU 200, 237 THRU 239, 268 THRU 271, 282 THRU 285, & 290 THRU 320

PLAT 21427	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
21427	3 & 4	PSC	16	THIRD	60300

WATER CODE	SEWER CODE
K-02	5992000

ROAD PROFILE

AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
 SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 165 &
 PHASES IV & V - UNITS 80 THRU 119, 153 THRU 161, 196 THRU 200,
 237 THRU 239, 268 THRU 271, 282 THRU 285, & 290 THRU 320
 TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES

TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
 SHEET 56 OF 100

SDP-09-039

STORMWATER MANAGEMENT POND CONSTRUCTION SPECIFICATIONS

These specifications are appropriate to all ponds within the scope of the Standard Practice MS-376. All references to ASTM and AASHTO specifications apply to the most recent version.

Site Preparation
Areas designated for borrow areas, embankment, and structural works shall be cleared, graded and stripped of topsoil. All trees, woody plants and other objectionable material shall be removed. Channel banks and sharp breaks shall be sloped to no steeper than 1:1. All trees shall be cleared and grubbed within 15 feet of the toe of the embankment. Areas to be covered by the reservoir will be cleared of all trees, brush, logs, fences, rubbish and other objectionable material unless otherwise designated on the plans. Trees, brush and stumps shall be cut approximately level with the ground surface.

For dry stormwater management ponds, a minimum of a 25-foot radius around the inlet structure shall be cleared. All cleared and grubbed material shall be disposed of outside and below the limits of the dam and reservoir as directed by the owner or his representative. When specified, a sufficient quantity of topsoil will be stockpiled in a suitable location for use on the embankment and other designated areas.

EARTH FILL
Material - The fill material shall be taken from approved designated borrow areas. It shall be free of roots, stumps, wood, rubbish, stones greater than 6" frozen or other objectionable materials. Fill material for the center of the embankment and cut off trench shall conform to Unified Soil Classification GC, SC, CH, or CL and must have at least 30% passing the #20 sieve. Consideration may be given to the use of other materials in the embankment if designed by a geotechnical engineer. Such special design must have construction supervised by a geotechnical engineer. Materials used in the outer shell of the embankment must have the capability to support vegetation of the quality required to prevent erosion of the embankment.

Placement - Areas on which fill is to be placed shall be scarified prior to placement of fill. Fill materials shall be placed in maximum 8-inch thick (before compaction) layers which are to be continuous over the entire length of the fill. The most permeable borrow material shall be placed in the downstream portions of the embankment. The principal spillway must be installed concurrently with fill placement and not excavated into the embankment.

Compaction - The movement of the hauling and spreading equipment over the fill shall be controlled so that the entire surface of each lift shall be traversed by not less than one tread track of heavy equipment or compaction shall be achieved by a minimum of four complete passes of a sheepfoot, rubber tired or vibratory roller. Fill material shall contain sufficient moisture such that the required degree of compaction will be obtained with the equipment used. The fill material shall contain sufficient moisture so that if formed into a ball it will not crumble, yet not so wet that water can be squeezed from the ball. Each layer of fill shall be compacted to a minimum dry density of 95% of the maximum dry density of the material. Each layer of fill shall be compacted to a minimum dry density of 95% of the maximum dry density of the material. Each layer of fill shall be compacted to a minimum dry density of 95% of the maximum dry density of the material. Each layer of fill shall be compacted to a minimum dry density of 95% of the maximum dry density of the material.

Cut Off Trench - The cutoff trench shall be excavated into impervious material along or parallel to the centerline of the embankment as shown on the plans. The bottom width of the trench shall be covered by the equipment used for excavation with the minimum width being four feet. The depth shall be at least four feet below existing grade or as shown on the plans. The side slopes of the trench shall be 1 to 1 or flatter. The backfill shall be compacted with construction equipment, rollers, or hand tampers to assure maximum density and minimum permeability.

Embankment Core - The core shall be parallel to the centerline of the embankment as shown on the plans. The top width of the core shall be a minimum of four feet. The height shall extend up to at least the 10 year water elevation or as shown on the plans. The side slopes shall be 1 to 1 or flatter. The core shall be completed with construction equipment, rollers, or hand tampers to assure maximum density and minimum permeability. In addition, the core shall be placed concurrently with the outer shell of the embankment.

Structure Backfill
Backfill adjacent to pipes or structures shall be of the type and quality conforming to that specified for the adjoining fill material. The fill shall be placed in horizontal layers not to exceed four inches in thickness and compacted by hand tampers or other manually directed compaction equipment. The material needs to fill completely all spaces under and adjacent to the pipe. At no time during the backfilling operation shall driven equipment be allowed to operate closer than four feet, measured horizontally, to any part of a structure. Under no circumstances shall equipment be driven over any part of a concrete structure or pipe, unless there is a compacted fill of 24" or greater over the structure or pipe.

Structure backfill may be flowable fill meeting the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 303 as modified. The mixture shall have a 100-200 psi 28 day unconfined compressive strength. The flowable fill shall have a minimum pH of 4.0 and a minimum resistivity of 2,000 ohm-cm. Material shall be placed such that a minimum of 6" (measured perpendicular to the outside of the pipe) of flowable fill shall be under (bedded), over and on the sides of the pipe. It only needs to extend up to the spring line for rigid conduits. Average slump of the fill shall be to assure flowability of the material. Adequate measures shall be taken (sided bags, etc.) to prevent heaving the pipe. When using flowable fill all metal pipe shall be bituminous coated. Any adjoining soil fill shall be placed in horizontal layers not to exceed four inches in thickness and compacted by hand tampers or other manually directed compaction equipment. The material shall completely fill all voids adjacent to the flowable fill zone. At no time during the backfilling operation shall driven equipment be allowed to operate closer than four feet, measured horizontally, to any part of a structure. Under no circumstances shall equipment be driven over any part of a structure or pipe unless there is a compacted fill of 24" or greater over the structure or pipe. Backfill material outside the structural backfill (flowable fill zone) shall be of the type and quality conforming to the specified for the core of the embankment or other embankment materials.

Pipe Conduits

All pipes shall be circular in cross section.

Corrugated Metal Pipe - All of the following criteria shall apply for corrugated metal pipe:

1. Materials - (Polymer Coated steel pipe) - Steel pipes with polymer coatings shall have a minimum coating thickness of 0.01 inch (10 mil) on both sides of the pipe. This pipe and its appurtenances shall conform to the requirements of AASHTO Specifications M-245 & M-246 with watertight coupling bands or flanges.

2. Bedding - (Aluminum Coated Steel Pipe) - This pipe and its appurtenances shall conform to the requirements of AASHTO Specification M-274 with watertight coupling bands or flanges. Aluminum Coated Steel Pipe, when used with flowable fill or when soil and/or water conditions warrant the need for increased durability, shall be fully bituminous coated per requirements of AASHTO Specification M-190 Type A. Any aluminum coating damaged or otherwise removed shall be replaced with cold applied bituminous coating compound. Aluminum surfaces that are to be in contact with concrete shall be painted with one coat of zinc chromate primer or two coats of asphalt.

3. Coupling bands, anti-seep collars, and sections, etc. must be composed of the same material and coatings as the pipe. Metals must be insulated from dissimilar materials with use of rubber or plastic insulating materials at least 24 mils in thickness.

4. Bedding - The pipe shall be firmly and uniformly bedded throughout its entire length. Where rock or soft, spongy or other unstable soil is encountered, all such material shall be removed and replaced with suitable earth compacted to provide adequate support.

5. Backfilling shall conform to "Structure Backfill".

6. Other details (anti-seep collars, valves, etc.) shall be as shown on the drawings. Reinforced Concrete Pipe - All of the following criteria shall apply for reinforced concrete pipe:

1. Materials - Reinforced concrete pipe shall have bell and spigot joints with rubber gaskets and shall equal or exceed ASTM C-308.

2. Bedding - Reinforced concrete pipe conduits shall be laid in a concrete bedding/cradle for their entire length. This bedding/cradle shall consist of high X of slump concrete placed under the pipe and up the sides of the pipe at least 50 ft outside diameter with a minimum thickness of 6 inches. Where a concrete cradle is not needed for structural reasons, flowable fill may be used as described in the "Structure Backfill" section of this standard. Gravel bedding is not permitted.

3. Laying pipe - Bell and spigot pipe shall be placed with the bell end upstream. Joints shall be made in accordance with recommendations of the manufacturer of the material. After the joints are sealed for the entire line, the bedding shall be placed so that all spaces under the pipe are filled. Care shall be exercised to prevent any deviation from the original line and grade of the pipe. The first joint must be located within 4 feet from the riser.

4. Backfilling shall conform to "Structure Backfill".

5. Other details (anti-seep collars, valves, etc.) shall be as shown on the drawings.

Plastic Pipe

The following criteria shall apply for plastic pipe:

1. Materials - PVC pipe shall be PVC-1220 or PVC-1220 conforming to ASTM D-1785 or ASTM D-2241. Corrugated High Density Polyethylene (HDPE) pipe, couplings and fittings shall conform to the following: 4" - 10" inch pipe shall meet the requirement of AASHTO M292 Type 5, and 12" through 24" inch shall meet the requirement of AASHTO M294 Type 5.

2. Joints and connections to anti-seep collars shall be completely watertight.

3. Bedding - The pipe shall be firmly and uniformly bedded throughout its entire length. Where rock or soft, spongy or other unstable soil is encountered, all such material shall be removed and replaced with suitable earth compacted to provide adequate support.

4. Backfilling shall conform to "Structure Backfill".

5. Other details (anti-seep collars, valves, etc.) shall be as shown on the drawings. Drainage Diaphragms - When a drainage diaphragm is used, a registered professional engineer will supervise the design and construction inspection.

Concrete

Concrete shall meet the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 414, 11x No. 3.

Rock Riprap

Rock riprap shall meet the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 311.

Geotextile shall be placed under all riprap and shall meet the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 921.09, Class C.

Care of Water during Construction

All work on permanent structures shall be carried out in areas free from water. The Contractor shall construct and maintain all temporary dikes, levees, cofferdams, drainage channels, and stream diversions necessary to protect the structures to be occupied by the permanent works. The contractor shall also furnish, install, operate, and maintain all necessary pumping and other equipment required for removal of water from various parts of the work and for maintaining the excavation, foundation and other parts of the work free from water as required or directed by the engineer for constructing each part of the work. After having served their purpose, all temporary protective works shall be removed or leveled and graded to the extent required to prevent obstruction in any degree whatsoever of the flow of water to the spillway or outlet works and so as not to interfere in any way with the operation or maintenance of the structure. Stream diversions shall be maintained until the full flow can be passed through the permanent works. The removal of water from the required excavation and the foundation shall be accomplished in a manner and to the extent that will maintain stability of the excavated slopes and bottom required excavations and will allow satisfactory performance of all construction operations. During the placing and compacting of material in required excavations, the water level at the locations being refilled shall be maintained below the bottom of the excavation at such locations which may require draining the water sumps from which the water shall be pumped.

6. Backfilling shall conform to "Structure Backfill".

7. Other details (anti-seep collars, valves, etc.) shall be as shown on the drawings. Riprap - Reinforced concrete pipe shall have bell and spigot joints with rubber gaskets and shall equal or exceed ASTM C-308.

8. Bedding - Reinforced concrete pipe conduits shall be laid in a concrete bedding/cradle for their entire length. This bedding/cradle shall consist of high X of slump concrete placed under the pipe and up the sides of the pipe at least 50 ft outside diameter with a minimum thickness of 6 inches. Where a concrete cradle is not needed for structural reasons, flowable fill may be used as described in the "Structure Backfill" section of this standard. Gravel bedding is not permitted.

9. Laying pipe - Bell and spigot pipe shall be placed with the bell end upstream. Joints shall be made in accordance with recommendations of the manufacturer of the material. After the joints are sealed for the entire line, the bedding shall be placed so that all spaces under the pipe are filled. Care shall be exercised to prevent any deviation from the original line and grade of the pipe. The first joint must be located within 4 feet from the riser.

10. Backfilling shall conform to "Structure Backfill".

11. Other details (anti-seep collars, valves, etc.) shall be as shown on the drawings.

12. Other details (anti-seep collars, valves, etc.) shall be as shown on the drawings.

13. Other details (anti-seep collars, valves, etc.) shall be as shown on the drawings.

14. Other details (anti-seep collars, valves, etc.) shall be as shown on the drawings.

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29. Other details (anti-seep collars, valves, etc.) shall be as shown on the drawings.

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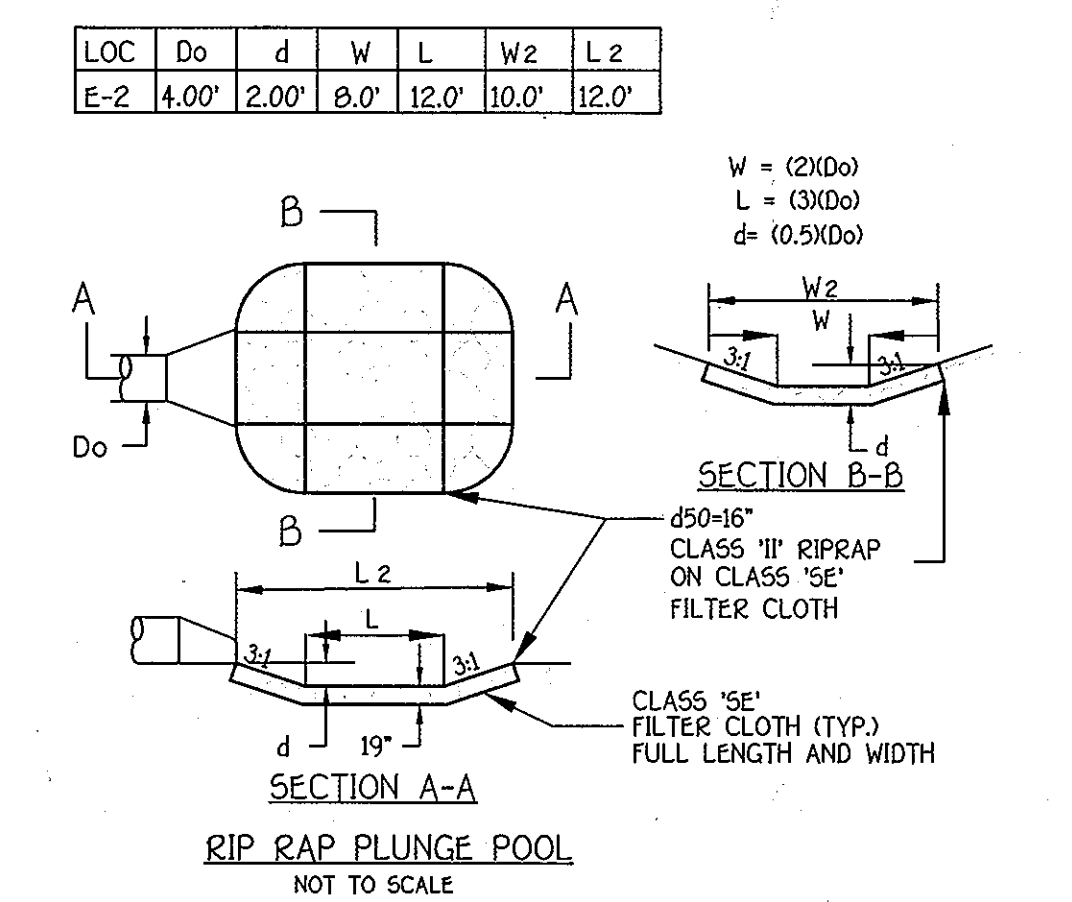
31. Other details (anti-seep collars, valves, etc.) shall be as shown on the drawings.

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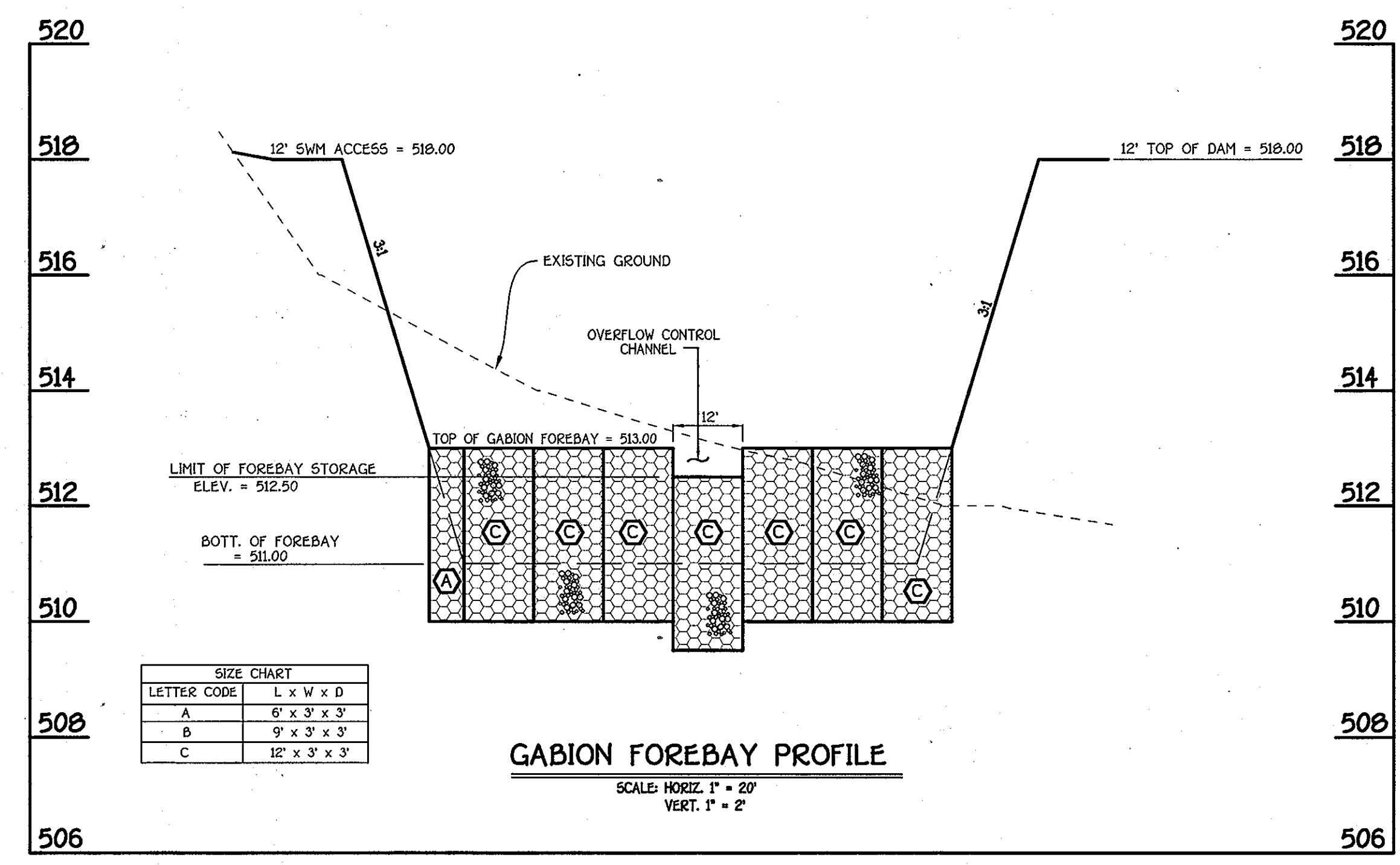
OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED S.W.M. PONDS No. 1, 2 & 3

1. THE FACILITY SHALL BE INSPECTED TWICE ANNUALLY - SPRING AND FALL. INSPECTION TO BE PERFORMED BY THE OWNER'S VISUAL INSPECTION OF ALL COMPONENTS, PHYSICAL INSPECTION OF ANY MOVABLE PARTS, DRAIN VALVES, ETC.
2. VEGETATED COVER SHALL BE MAINTAINED BY MOWING; LIMING AND FERTILIZING AS A MINIMUM REQUIREMENT THE LIME AND FERTILIZER SHALL BE APPLIED ONCE THE EVERY TWO(2) YEARS. NOTE: SPECIAL CARE SHALL BE TAKEN IN THE VICINITY OF STRUCTURES SO AS TO NOT DAMAGE THESE COMPONENTS WITH HEAVY EQUIPMENT.
3. RILLS ON THE SLOPES OF THE BASIN AND WAKES IN THE EARTH SPILLWAY SHALL BE FILLED WITH SUITABLE MATERIAL AND THOROUGHLY COMPACTED. THESE AREAS SHALL BE RESEDED OR RESEDED, LIMED AND FERTILIZED AS NEEDED.
4. ALL APPURTENANCES SHALL BE KEPT FREE OF TRASH.
5. SEDIMENT REMOVAL IN THE FOREBAY SHALL OCCUR WHEN 50% OF THE TOTAL CAPACITY HAS BEEN LOST.
6. SEDIMENT REMOVED FROM THE FACILITY SHALL BE DISPOSED OF BASED ON CURRENT EROSION AND SEDIMENT CONTROL REGULATIONS.
7. CONTACT HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS PRIOR TO ANY REPAIR OF THE STRUCTURE, PIPE, OR DAM.
8. ALL REQUIRED MAINTENANCE SHALL BE PERFORMED BY THE OWNER OR OWNER'S REPRESENTATIVE AT THE OWNER'S USER'S EXPENSE.

FACILITY SUMMARY					
	WQV	CPV	1 YEAR	10 YEAR	100 YEAR
Developed Outflow (cfs)	N/A	0.8	0.6	50.4	112.5
Water Surface Elevation	512.00	514.25	514.19	515.18	515.87
Storage Required (ac. ft.)	0.9655	1.3748	1.3748	NA	NA
Storage Provided (ac. ft.)	1.6599	1.7799	1.7248	0.9157	1.5539
Waterhead Structure Type	MICRO-POOL* EXTENDED DETENTION POND (P-1)				
Structure Classification	LOW HAZARD A - 379				
Structure Location	Urban				
Storage Height Product	55.84ac/1112'				
Watershed Area to Facility	26.81 acres				
Minimum Top Width Provided	12 feet				
Maximum Height of Fill	8.0 feet				
Maximum 100-Year Impoundment Depth	9.87 feet				
Freshboard Provided Above 100 Year	2.13 feet				
FACILITY WILL BE PRIVATELY OWNED AND MAINTAINED. MANAGEMENT PROVIDED. Rev WQV Cpv 1-year					



- ### CONSTRUCTION SPECIFICATIONS
1. THE SUBGRADE FOR THE FILTER, RIP-RAP, OR GABION SHALL BE PREPARED TO THE REQUIRED LINES AND GRADES. ANY FILL REQUIRED IN THE SUBGRADE SHALL BE COMPACTED TO A DENSITY OF APPROXIMATELY THAT OF THE SURROUNDING UNDISTURBED MATERIAL.
 2. THE ROCK OR GRAVEL SHALL CONFORM TO THE SPECIFIED GRADING LIMITS WHEN INSTALLED RESPECTIVELY IN THE RIP-RAP OR FILTER.
 3. GEOTEXTILE SHALL BE PROTECTED FROM PUNCHING, CUTTING, OR TEARING. ANY DAMAGE OTHER THAN AN OCCASIONAL SMALL HOLE SHALL BE REPAIRED BY PLACING ANOTHER PIECE OF GEOTEXTILE OVER THE DAMAGED PART OR BY COMPLETELY REPLACING THE GEOTEXTILE. ALL OVERLAPS WHETHER FOR REPAIRS OR FOR JOINING TWO PIECES OF GEOTEXTILE SHALL BE A MINIMUM OF ONE FOOT.
 4. STONE FOR THE RIP-RAP OR GABION OUTLETS MAY BE PLACED BY EQUIPMENT. THEY SHALL BE CONSTRUCTED TO THE FULL COURSE THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO AVOID DISPLACEMENT OF UNDERLYING MATERIALS. THE STONE FOR RIP-RAP OR GABION OUTLETS SHALL BE DELIVERED AND PLACED IN A MANNER THAT WILL ENSURE THAT IT IS REASONABLY HOMOGENEOUS WITH THE SMALLER STONES. RIP-RAP SHALL BE PLACED IN A MANNER TO PREVENT DAMAGE TO THE FILTER BLANKET OR GEOTEXTILE. HAND PLACEMENT WILL BE REQUIRED TO THE EXTENT NECESSARY TO PREVENT DAMAGE TO THE PERMANENT WORKS.
 5. THE STONE SHALL BE PLACED SO THAT IT BLENDS IN WITH THE EXISTING GROUND. IF THE STONE IS PLACED TOO HIGH THEN THE FLOW WILL BE FORCED OUT OF THE CHANNEL AND SCOUR ADJACENT TO THE STONE WILL OCCUR.



T.E. SCOTT & ASSOCIATES
LANDSCAPE ARCHITECTS - ENVIRONMENTAL ENGINEERS
128 Cockeysville Road phone: 410.458.2651
Hunt Valley, MD 21030 fax: 443.269.0216
tes@mdswm.com www.mdswm.com

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
1 REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL 9/28/12
NO. REVISION DATE

DEVELOPER'S CERTIFICATE
"I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion. I Also Authorize Periodic On-Site Inspections By The Howard Soil Conservation District."
Signature of Developer: [Signature] Date: 11/14/12

ENGINEER'S CERTIFICATE
"I Certify That This Plan For Pond Construction, Erosion And Sediment Control Represents A Practical And Workable Plan Based On My Personal Knowledge Of The Site Conditions. This Plan Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District. I Have Notified The Developer That He/She Must Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion."
Signature of Engineer: [Signature] Date: 11/14/12

These Plans For Small Pond Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.
Signature of Developer: [Signature] Date: 11/15/12
Signature of Engineer: [Signature] Date: 11/14/12

BUILDERS	
NV HOMES 6085 MARSHALEE DRIVE SUITE 140 ELK RIDGE, MD 21075 410-379-9956	RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELK RIDGE, MD 21075 410-379-9956

DEVELOPER		OWNERS	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-367-0422	WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-367-0422		

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Signature of Chief, Development Engineering Division: [Signature] Date: 12/10/12
Signature of Director: [Signature] Date: 12/10/12

PROJECT	SECTION	PARCEL NO. "E"
GTW'S WAVERLY WOODS	14	105 5 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100

PLAT 21427	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
AND 22089	3 & 4	PSC	16	THIRD	60300

WATER CODE	SEWER CODE
K-02	5992000

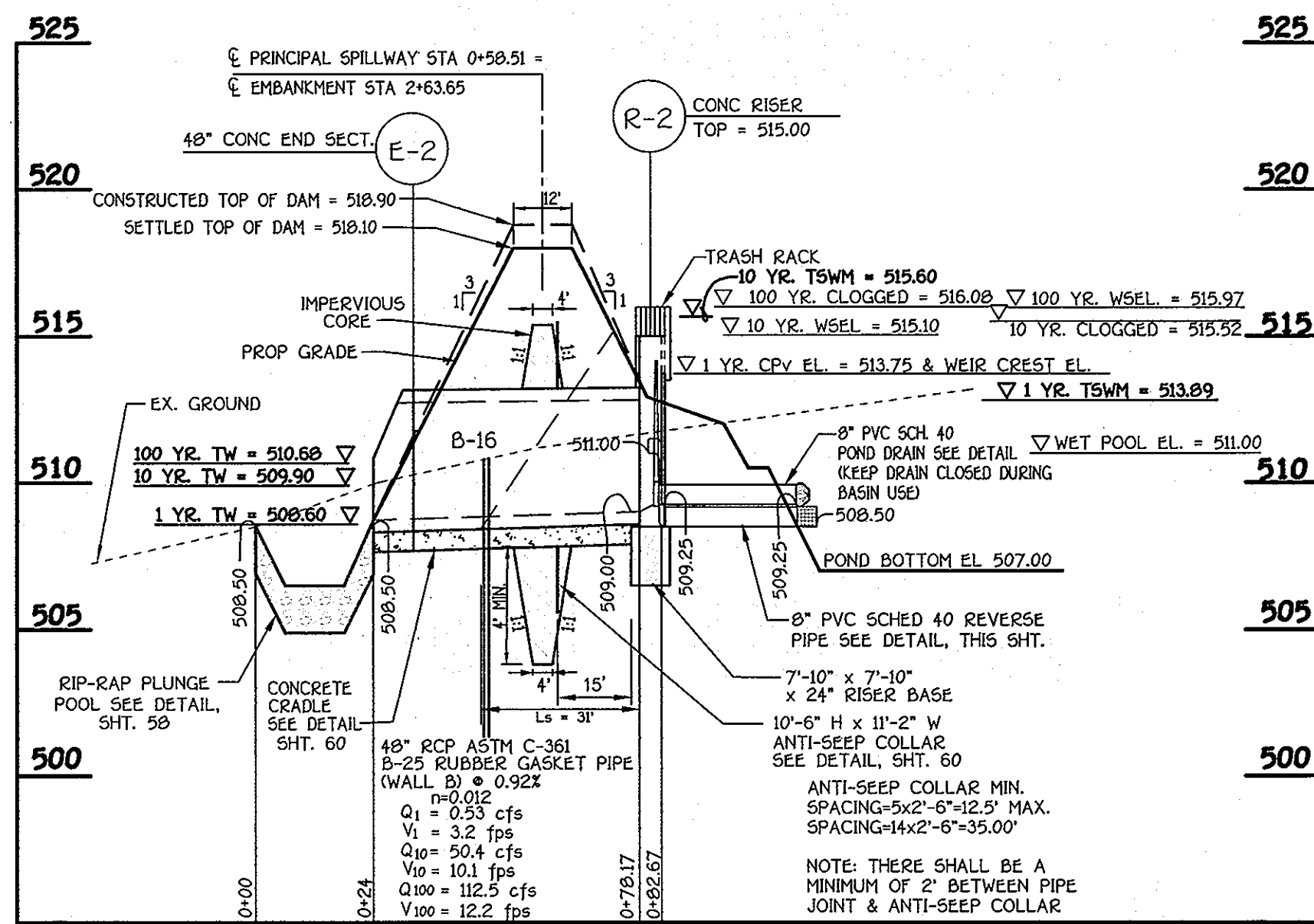
B.M.P. No. 2 - STORMWATER MANAGEMENT NOTES AND DETAILS

**AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS**

SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 165 &
PHASES IV & V - UNITS 80 THRU 119, 153 THRU 161, 196 THRU 200,
237 THRU 239, 268 THRU 271, 282 THRU 295, & 290 THRU 320
TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES

TAX MAP NO: 16 GRID NO: 3 PARCEL NO: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
SHEET 58 OF 100 SDP-09-039

REVISED



SWM FACILITY #2 - PROFILE ALONG PRINCIPAL SPILLWAY

SCALE: HORIZ. 1"=30'
VERT. 1"=5'

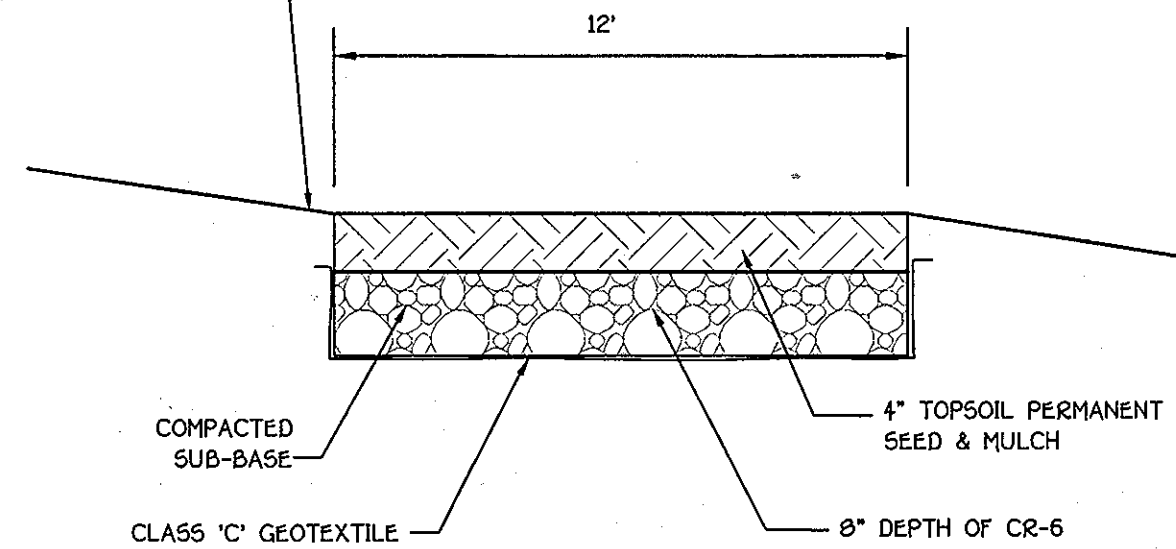
REVERSE SLOPE DRAIN DIMENSIONS / ELEVATIONS

PIPE FAC	PIPE INV #1	VERT BEND STA	PIPE INV #2	VERT BEND STA	END STA
1	511.83	0+05	508.50	0+05	0+43

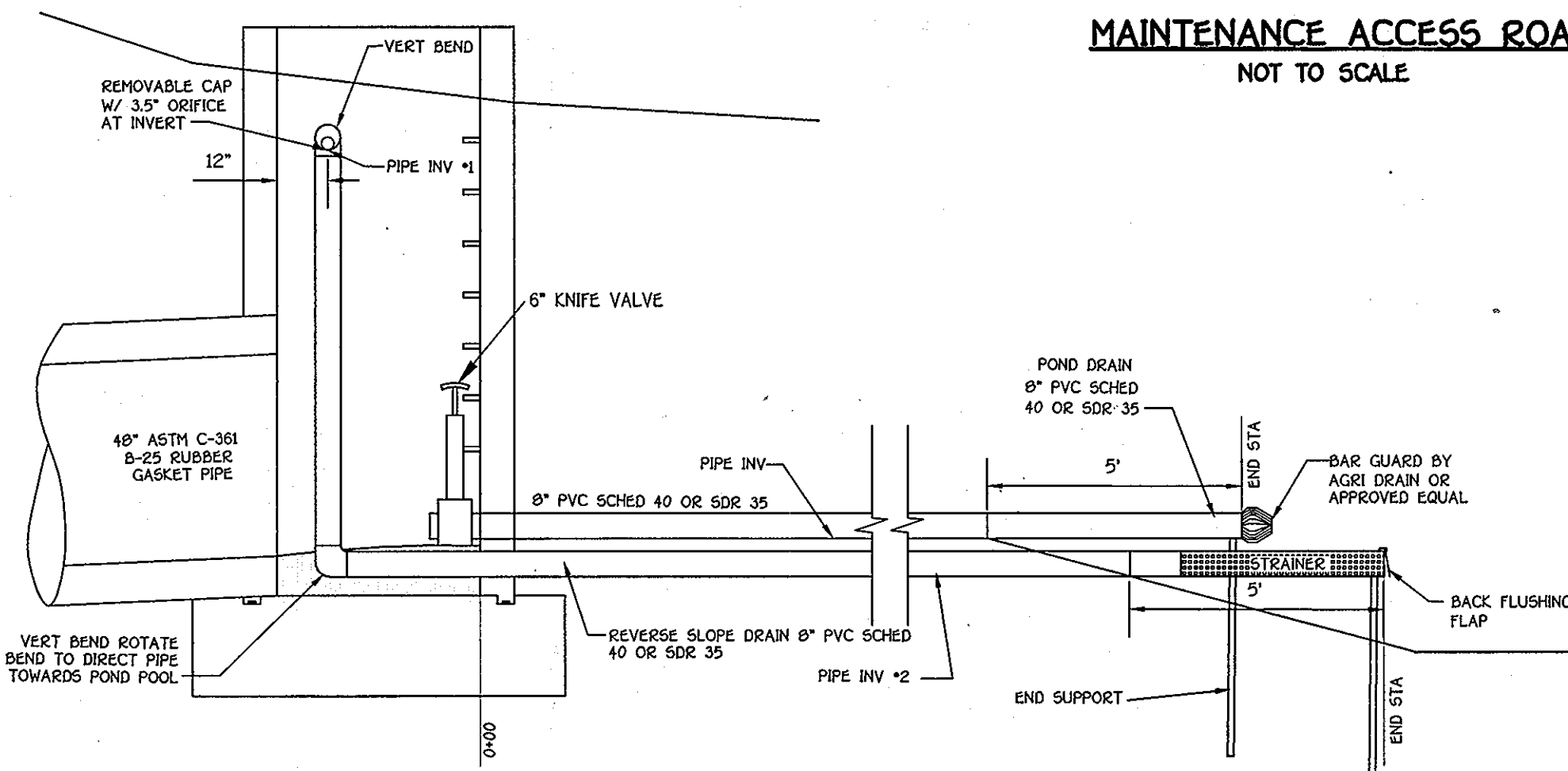
POND DRAIN DIMENSIONS / ELEVATIONS

FAC	POND BOT	PIPE INV	END STA
1	507.00	509.25	0+30

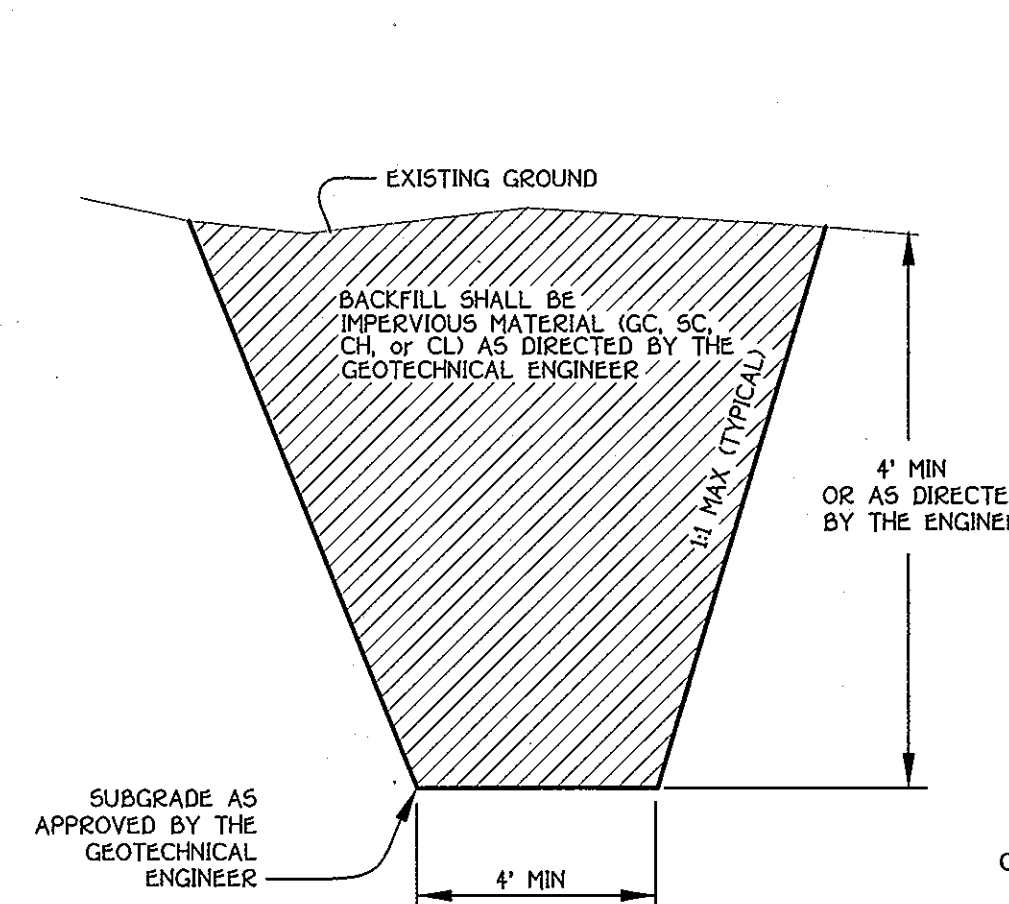
4" TOPSOIL, PERMANENT SEED & TYPE 'A' SOIL STABILIZATION MATTING (TYPICAL)



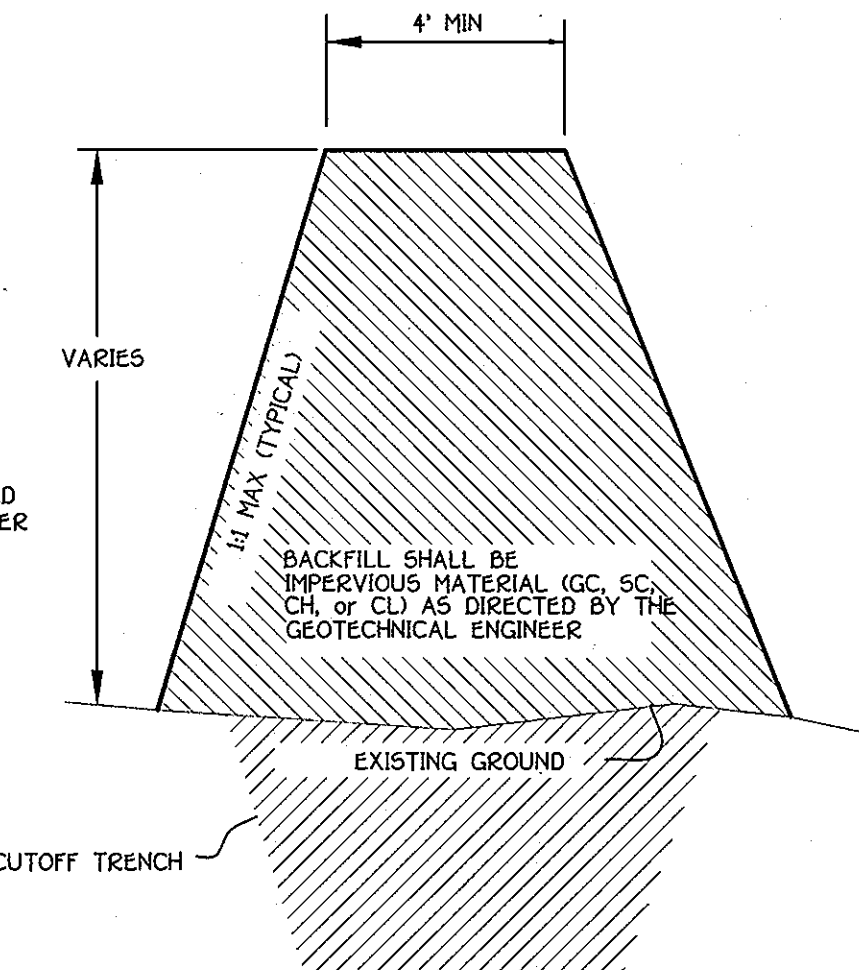
MAINTENANCE ACCESS ROAD
NOT TO SCALE



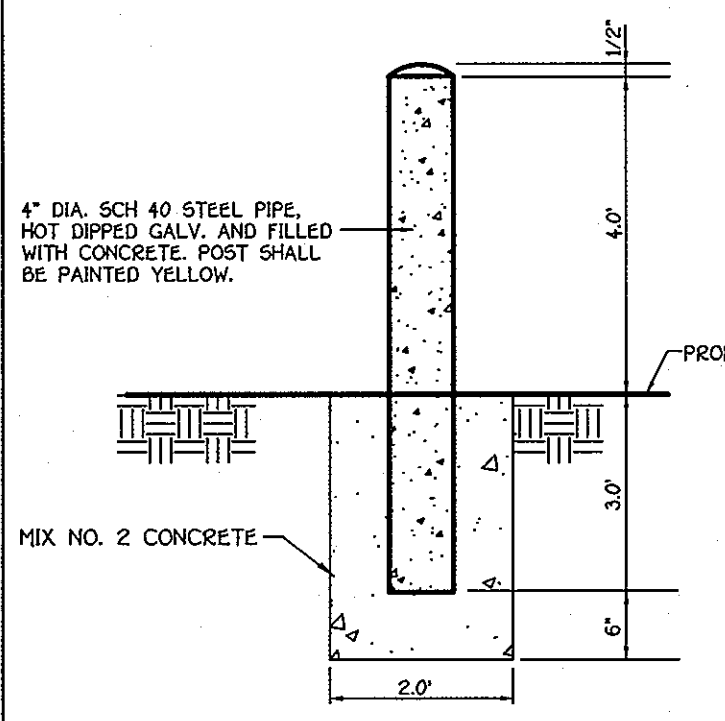
REVERSE SLOPE AND POND DRAIN DETAIL
NOT TO SCALE



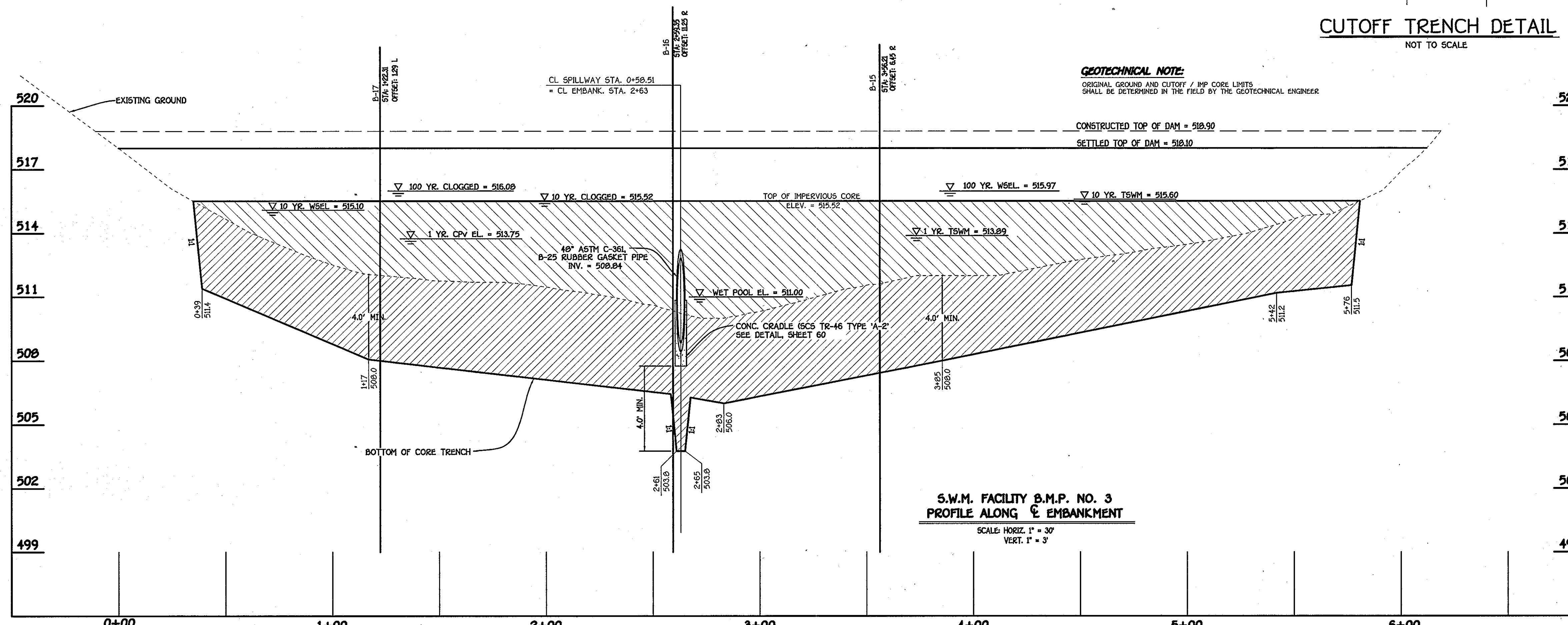
CUTOFF TRENCH DETAIL
NOT TO SCALE



IMPERVIOUS CORE DETAIL
NOT TO SCALE



TYPICAL METAL BOLLARD DETAIL
NOT TO SCALE (STD. G-7.42)



S.W.M. FACILITY S.M.P. NO. 3
PROFILE ALONG EMBANKMENT

SCALE: HORIZ. 1"=30'
VERT. 1"=5'

GEOTECHNICAL NOTE:

ORIGINAL GROUND AND CUTOFF / IMP CORE LIMITS SHALL BE DETERMINED IN THE FIELD BY THE GEOTECHNICAL ENGINEER

T.E. SCOTT+ASSOCIATES
LANDSCAPE STORMWATER ENVIRONMENT
128 Cockeysville Road phone: 410.458.2651
Hunt Valley, MD 21030 fax: 443.269.0216
tes@mdswm.com www.mdswm.com

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10722 BALTIMORE NATIONAL FEE
ELLCOTT CITY, MARYLAND 21042
(410) 468 - 2955



DEVELOPER'S CERTIFICATE

"I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion. I Also Authorize Periodic Site Inspections By The Howard Soil Conservation District."

Signature of Developer: *[Signature]* Date: 11/14/12

ENGINEER'S CERTIFICATE

"I Certify That This Plan For Pond Construction, Erosion And Sediment Control Represents A Practical And Workable Plan Based On My Personal Knowledge Of The Site Conditions. This Plan Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District. I Have Notified The Developer That He/She Must Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion."

Signature of Engineer: *[Signature]* Date: 11/14/12

These Plans For Small Pond Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
[Signature] 12/14/12
Chief, Division of Land Development

BUILDERS	
NV HOMES 6085 MARSHALEE DRIVE SUITE 130 ELLCRIDGE, MD 21075 410-379-9956	RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELLCRIDGE, MD 21075 410-379-9956
DEVELOPER	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-367-0422	
OWNERS	
WAVERLY WOODS DEVELOPMENT CORPORATION, C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-367-0422	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 12/14/12
Chief, Development Engineering Division
[Signature] 12/14/12
Director - Department of Planning and Zoning

PROJECT	SECTION	PARCEL NO. 'E'
GTW'S WAVERLY WOODS	14	14025.5, 14025.6, 14025.7, 14025.8, 14025.9, 14026.0, 14026.1, 14026.2, 14026.3, 14026.4, 14026.5, 14026.6, 14026.7, 14026.8, 14026.9, 14027.0, 14027.1, 14027.2, 14027.3, 14027.4, 14027.5, 14027.6, 14027.7, 14027.8, 14027.9, 14028.0, 14028.1, 14028.2, 14028.3, 14028.4, 14028.5, 14028.6, 14028.7, 14028.8, 14028.9, 14029.0, 14029.1, 14029.2, 14029.3, 14029.4, 14029.5, 14029.6, 14029.7, 14029.8, 14029.9, 14030.0, 14030.1, 14030.2, 14030.3, 14030.4, 14030.5, 14030.6, 14030.7, 14030.8, 14030.9, 14031.0, 14031.1, 14031.2, 14031.3, 14031.4, 14031.5, 14031.6, 14031.7, 14031.8, 14031.9, 14032.0, 14032.1, 14032.2, 14032.3, 14032.4, 14032.5, 14032.6, 14032.7, 14032.8, 14032.9, 14033.0, 14033.1, 14033.2, 14033.3, 14033.4, 14033.5, 14033.6, 14033.7, 14033.8, 14033.9, 14034.0, 14034.1, 14034.2, 14034.3, 14034.4, 14034.5, 14034.6, 14034.7, 14034.8, 14034.9, 14035.0, 14035.1, 14035.2, 14035.3, 14035.4, 14035.5, 14035.6, 14035.7, 14035.8, 14035.9, 14036.0, 14036.1, 14036.2, 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STORMWATER MANAGEMENT POND CONSTRUCTION SPECIFICATIONS

These specifications are appropriate to all ponds within the scope of the Standard for practice 10-370. All references to ASTM and AASHTO specifications apply to the most recent version.

Site Preparation
 Areas designated for borrow areas, embankment, and structural works shall be cleared, grubbed and stripped of topsoil. All trees, vegetation, roots and other objectionable material shall be removed. Channel banks and sharp breaks shall be sloped to no steeper than 1:1. All trees shall be cleared and grubbed within 15 feet of the toe of the embankment.
 Areas to be covered by the reservoir will be cleared of all trees, brush, logs, fences, rubbish and other objectionable material unless otherwise designated on the plans. Trees, brush and stumps shall be cut approximately level with the ground surface. For dry stormwater management ponds, a minimum of a 25-foot radius around the inlet structure shall be cleared.

Earth Fill
 Material - The fill material shall be taken from approved designated borrow areas. It shall be free of roots, stumps, wood, rubbish, stones greater than 6" across or other objectionable material. Fill material for the center of the embankment, and all trench backfill shall conform to ASTM D1557, Class II, or C1, and must have at least 30% passing the #200 sieve. Consideration may be given to the use of other materials in the embankment if designed by a geotechnical engineer. Such special design must have construction supervised by a geotechnical engineer. Materials used in the outer shell of the embankment must have the capability to support vegetation of the quality required to prevent erosion of the embankment.

Placement - Areas on which fill is to be placed shall be scarified prior to placement of fill. Fill material shall be placed in maximum 6-inch thick layers. The most permeable borrow material shall be placed in the downstream portions of the embankment. The principal spillway must be installed concurrently with fill placement and excavated into the embankment.
 Completion - The movement of the hauling and spreading equipment over the fill shall be controlled so that the entire surface of each lift shall be traversed by not less than one track of heavy equipment or combination thereof. The fill material shall contain sufficient moisture so that if formed into a ball it will not crumble, yet not be so wet that water can be squeezed out.
 When required by the reviewing agency the minimum required density shall not be less than 95% maximum dry density with a moisture content within +2% of the optimum. Each layer of fill shall be compacted as necessary to obtain that density, and it to be certified by the Engineer at the time of construction. All compaction is to be determined by AASHTO Method T-99 (Standard Proctor).

Out Off Trench - The out off trench shall be excavated into impervious material along or parallel to the centerline of the embankment as shown on the plans. The bottom width of the trench shall be governed by the equipment used for excavation with the minimum width being four feet. The depth shall be at least four feet below existing grade or as shown on the plans. The side slopes of the trench shall be 1 to 1 or flatter. The backfill shall be compacted with construction equipment, rollers, or hand tampers to assure maximum density and minimum permeability.

Embankment Core - The core shall be parallel to the centerline of the embankment as shown on the plans. The top width of the core shall be a minimum of four feet. The height shall extend to at least the 10 year water elevation to be shown on the plans. The side slopes shall be 1 to 1 or flatter. The core shall be compacted with construction equipment, rollers, or hand tampers to assure maximum density and minimum permeability. In addition, the core shall be placed concurrently with the outer shell of the embankment.

Structure Backfill
 Backfill adjacent to pipes or structures shall be of the type and quality conforming to that specified for the adjoining fill material. The fill shall be placed in horizontal layers not to exceed four inches in thickness and compacted by hand tampers or other manually directed compaction equipment. The material needs to be placed in layers not to exceed four inches in thickness. At the time during the backfilling operation shall driven equipment be allowed to operate closer than four feet, measured horizontally, to any part of a structure. Under no circumstances shall equipment be driven over any part of a concrete structure or pipe, unless there is a compacted fill of 24" or greater over the structure or pipe.

Structure Backfill (continued)
 Structure Backfill may be flowable fill meeting the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 311, as modified. The material shall have a 100-200 psi 28 day unconfined compressive strength. The flowable fill shall have a minimum of 4.0 and a maximum permeability of 2000 dh-cm. Material shall be placed such that a minimum of 6" measured perpendicular to the outside of the pipe shall be under bedding, bedding, over and on the sides of the pipe. It only needs to extend up to the spring line for rigid conduits. Average slump of the fill shall be 7" to assure flowability of the material. Adequate moisture shall be taken from bags, etc.) to prevent flaking the pipe. When using flowable fill all metal pipe shall be bismuthous coated. Any adjoining soil fill shall be placed in horizontal layers not to exceed four inches in thickness and compacted by hand tampers or other manually directed compaction equipment. The material shall completely fill all voids adjacent to the flowable fill zone. At no time during the backfilling operation shall driven equipment be allowed to operate closer than four feet, measured horizontally, to any part of a structure. Under no circumstances shall equipment be driven over any part of a structure or pipe unless there is a compacted fill of 24" or greater over the structure or pipe. Backfill material outside the structural backfill flowable fill zone shall be of the type and quality conforming to the specified for the core of the embankment or other embankment material.

Pipe Conduits
 All pipes shall be circular in cross section.
 Corrugated Metal Pipe - All of the following criteria shall apply for corrugated metal pipe:
 1. Materials - Polymer coated steel pipe - steel pipes with polymer coatings shall have a minimum coating thickness of 0.01 inch (10 mil) on both sides of the pipe. This pipe and its appurtenances shall conform to the requirements of AASHTO Specifications M-245 & M-246 with waterproof coupling bands or flanges.
 Materials - Aluminum Coated Steel Pipe - This pipe and its appurtenances shall conform to the requirements of AASHTO Specification M-245 with waterproof coupling bands or flanges. Aluminum Coated Steel Pipe, when used with flowable fill or when soil and/or water conditions warrant the need for increased durability, shall be fully bismuthous coated per requirements of AASHTO Specification M-190 Type A. Any aluminum coating damaged or otherwise removed shall be repaired with cold applied bismuthous coating compound. Aluminum surfaces that are to be in contact with concrete shall be primed with one coat of zinc chromate primer or two coats of asphalt. Hot dip galvanized bolts may be used for connections. The pH of the surrounding soils shall be between 4 and 9.

2. Coupling bands, anti-seep collars, end sections, etc. must be composed of the same material and coating as the pipe. Metals must be insulated from dissimilar materials with use of rubber or plastic insulating materials at least 24 mils in thickness.
 3. Connections - All connections with pipes must be completely watertight. The drain pipe or barrel connection to the riser shall be welded all around when the pipe and riser are metal. Anti-seep collars shall be connected to the pipe in such a manner as to be completely watertight. Dimple bands are not considered to be watertight.

All connections shall use a rubber or neoprene gasket when joining pipe sections. The end of each pipe shall be covered by a suitable number of connections to accommodate the bandwidth. The following pipe connections are acceptable for pipes less than 24 inches in diameter (flanges on both ends of the pipe with a circular 3/8" inch closed cell neoprene gasket, prepackaged to the flange bolt circle, sandwiched between adjacent flanges a 12-inch wide standard lip type band with 3/8-inch wide by 3/8-inch thick closed cell circular neoprene gasket and a 12-inch wide hanger type band with spring gaskets having a minimum diameter of 1/2-inch greater than the corrugation depth. Pipes 24 inches in diameter and larger shall be connected by a 24-inch long annular corrugated band using a minimum of 4 (four) rods and logs, 2 on each connecting pipe end. A 24-inch wide by 3/8-inch thick closed cell circular neoprene gasket will be installed with 12 inches on the end of each pipe. Flange joints with 3/8-inch closed cell gaskets the full width of the flange is also acceptable.
 Heavily corrugated pipe shall have either continuously welded seams or have lock seams with interlaced caulking or a neoprene bed.
 4. Bedding - The pipe shall be firmly and uniformly bedded throughout its entire length. Where rock or soft, spongy or other unsuitable soil is encountered, all such material shall be removed and replaced with suitable earth compacted to provide adequate support.
 5. Backfilling shall conform to "Structure Backfill".
 6. Other details (anti-seep collars, valves, etc.) shall be as shown on the drawings.
 Reinforced Concrete Pipe - All of the following criteria shall apply for reinforced concrete pipe:
 1. Materials - Reinforced concrete pipe shall have bell and spigot joints with rubber gaskets and shall equal or exceed ASTM C-301.
 2. Bedding - Reinforced concrete pipe conduits shall be laid in a concrete bedding/cradle for their entire length. This bedding/cradle shall consist of high slump concrete placed under the pipe and up the sides of the pipe at least 1/2" of its outside diameter with a minimum thickness of 6 inches. Where a concrete cradle is not needed for structural reasons, flowable fill may be used as described in the "Structure Backfill" section of this standard. Gravel bedding is not permitted.
 3. Laying pipe - Bell and spigot pipe shall be placed with the bell end upstream. Joints shall be made in accordance with recommendations of the manufacturer of the material. After the joints are sealed for the entire length of the bedding shall be placed so that all spaces under the pipe are filled. Care shall be exercised to prevent any deviation from the original line and grade of the pipe. The first joint must be located within 4 feet from the start.
 4. Backfilling shall conform to "Structure Backfill".
 5. Other details (anti-seep collars, valves, etc.) shall be as shown on the drawings.

Plastic Pipe
 The following criteria shall apply for plastic pipe:
 1. Materials - PVC pipe shall be PVC-4020 or PVC-4022 conforming to ASTM D-2725 or ASTM D-2724. Corrugated High Density Polyethylene (HDPE) pipe, couplings and fittings shall conform to the following: 4" - 12" inch pipe shall meet the requirement of AASHTO M-252 Type 5, and 12" through 24" inch shall meet the requirement of AASHTO M-254 Type 2.
 2. Joints and connections to anti-seep collars shall be completely watertight.
 3. Bedding - The pipe shall be firmly and uniformly bedded throughout its entire length. Where rock or soft, spongy or other unsuitable soil is encountered, all such material shall be removed and replaced with suitable earth compacted to provide adequate support.
 4. Backfilling shall conform to "Structure Backfill".
 5. Other details (anti-seep collars, valves, etc.) shall be as shown on the drawings.

Drainage Diaphragms - When a drainage diaphragm is used, a registered professional engineer will supervise the design and construction inspection.

Concrete
 Concrete shall meet the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 414, M-3, N-3.

Rock Riprap
 Rock riprap shall meet the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 311.

Geotextile shall be placed under all riprap and shall meet the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 202.07, Class C.

Care of Water during Construction
 All work on permanent structures shall be carried out in areas free from water. The Contractor shall construct and maintain all temporary dikes, levees, cofferdams, drainage channels, and stream diversions necessary to protect the excavations, foundation, and other parts of the work free from water as required or directed by the engineer. All necessary pumping and other equipment required for removal of water from various parts of the work and for maintaining the excavations, foundation, and other parts of the work free from water as required or directed by the engineer shall be provided and maintained. All temporary protective works shall be removed or graded to the extent required to prevent obstruction in any degree. Diversions shall be maintained until the full flow can be placed through the permanent works. The removal of water from the required excavation and the foundation shall be accomplished in a manner and to the extent that will maintain stability of the excavated slopes and bottom required excavations and will also satisfactory performance of all construction operations. During the placing and compacting of material in the required excavation the water level at the location being refilled shall be maintained below the bottom of the excavation at such locations which may require draining the water pumps from which the water shall be pumped.

Stabilization
 All borrow areas shall be graded to provide proper drainage and left in a slightly condition. All exposed surfaces of the embankment, spillway, soil and borrow areas, and berms shall be stabilized by seeding, liming, fertilizing and mulching in accordance with the Natural Resource Conservation Service (NRCS) Standards and Specifications for Critical Area Planting (WD-342) or as shown on the accompanying drawings.

Erosion and Sediment Control
 Construction operations will be carried out in such a manner that erosion will be controlled and water and air pollution minimized. State and local laws concerning pollution abatement will be followed. Construction plans shall detail erosion and sediment control measures.

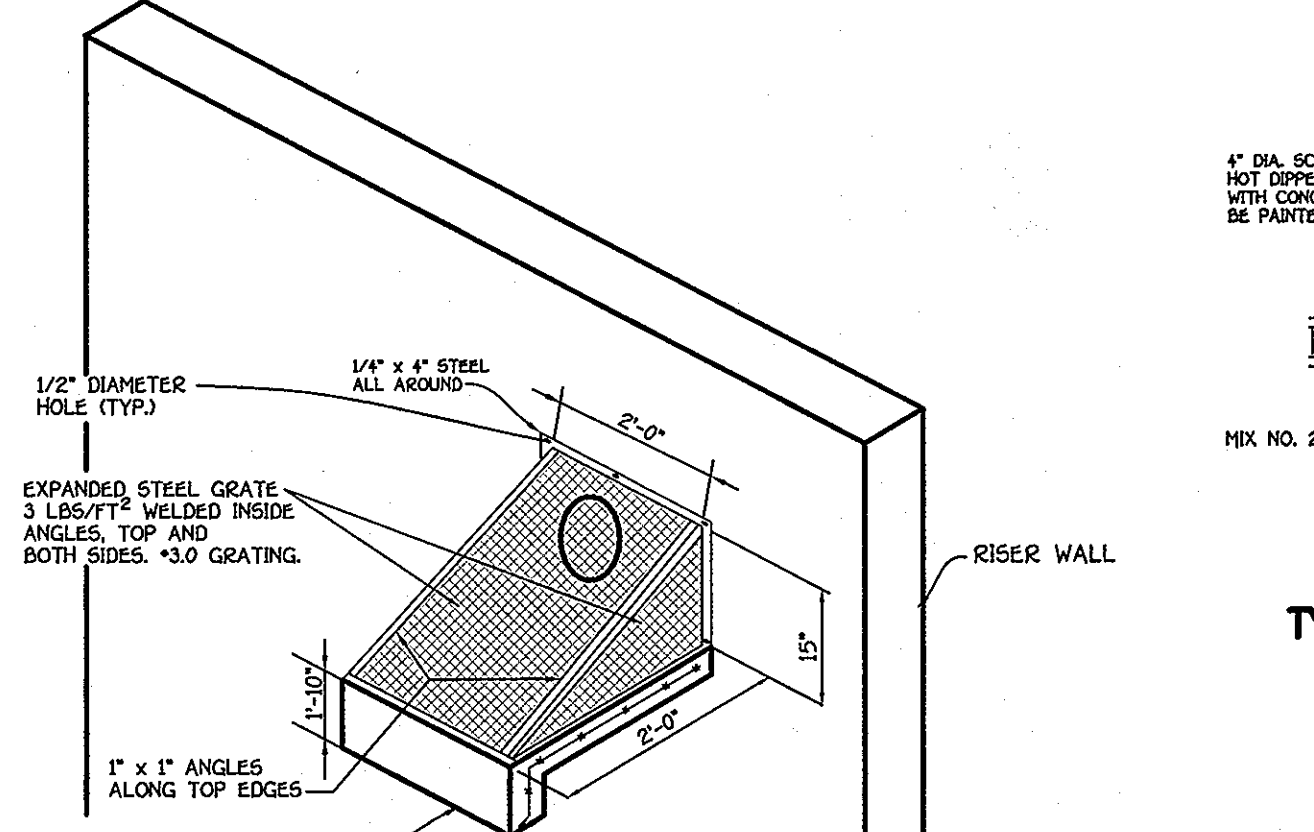
OPERATION AND MAINTENANCE
 An operation and maintenance plan in accordance with local or state regulations will be prepared for all ponds. As a minimum, the dam inspection checklist located in Appendix A shall be included as part of the operation and maintenance plan and performed at least annually. Written records of maintenance and major repairs shall be retained in a file. The issuance of a Maintenance and Repair Permit for any repairs or maintenance that involves the modification of the dam or spillway from its original design and specifications is required. A permit is also required for any repairs or reconstruction that involve a substantial portion of the structure. All indicated repairs are to be made as soon as practical.

ROUTINE MAINTENANCE
 1. Facility shall be inspected annually and after major storms. Inspections shall be performed during wet weather to determine if the pond is functioning properly.
 2. Top and side slopes of the embankment shall be mowed a minimum of two (2) times a year, once in June and once in September. Other side slopes and maintenance access should be mowed as needed.
 3. Debris and litter shall be removed during regular mowing operations and as needed.
 4. Visible signs of erosion in the pond as well as the rip-rap or gabion outlet area shall be repaired as soon as it is noticed.

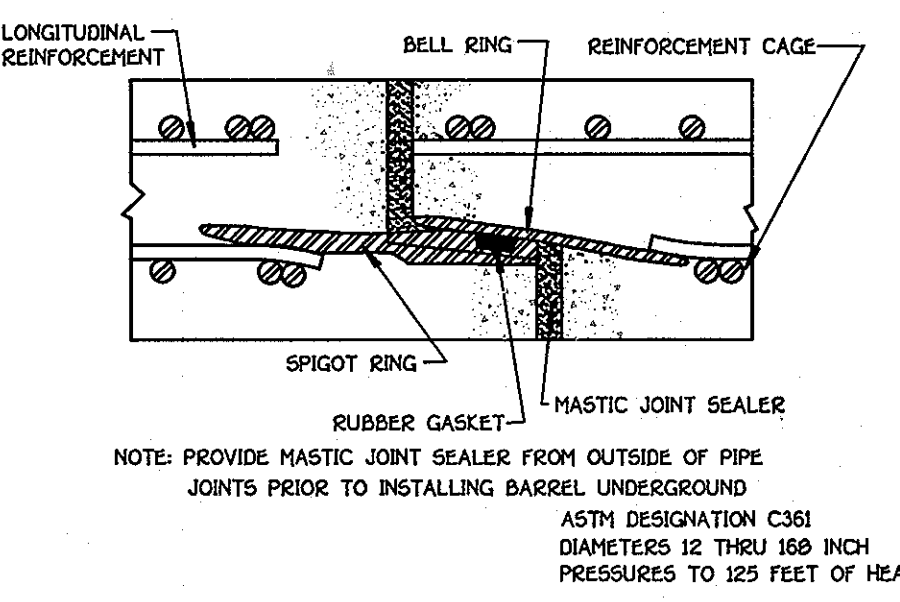
STRUCTURAL MAINTENANCE
 1. Structural components of the pond such as the dam, the riser, and the pipes shall be repaired upon the detection of any damage. The components shall be inspected during routine maintenance operations.
 2. Sediment will be removed from the pond, and forebay, no later than when the capacity of the pond or forebay, is half full of sediment, or, when deemed necessary for aesthetic reasons, upon approval from the Department of Public Works.

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND JOINTLY MAINTAINED STORMWATER MANAGEMENT FACILITIES

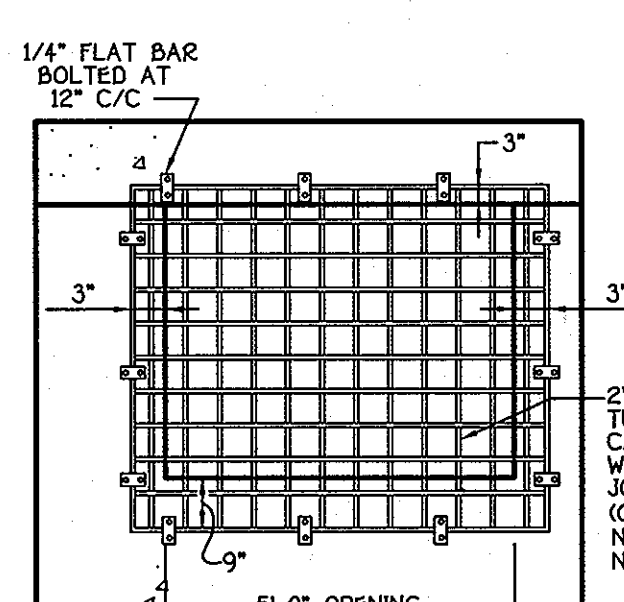
- ROUTINE MAINTENANCE**
- Facility shall be inspected annually and after major storms. Inspections shall be performed during wet weather to determine if the pond is functioning properly.
 - Top and side slopes of the embankment shall be mowed a minimum of two (2) times a year, once in June and once in September. Other side slopes and maintenance access should be mowed as needed.
 - Debris and litter shall be removed during regular mowing operations and as needed.
 - Visible signs of erosion in the pond as well as the rip-rap or gabion outlet area shall be repaired as soon as it is noticed.
- STRUCTURAL MAINTENANCE**
- Structural components of the pond such as the dam, the riser, and the pipes shall be repaired upon the detection of any damage. The components shall be inspected during routine maintenance operations.
 - Sediment will be removed from the pond, and forebay, no later than when the capacity of the pond or forebay, is half full of sediment, or, when deemed necessary for aesthetic reasons, upon approval from the Department of Public Works.



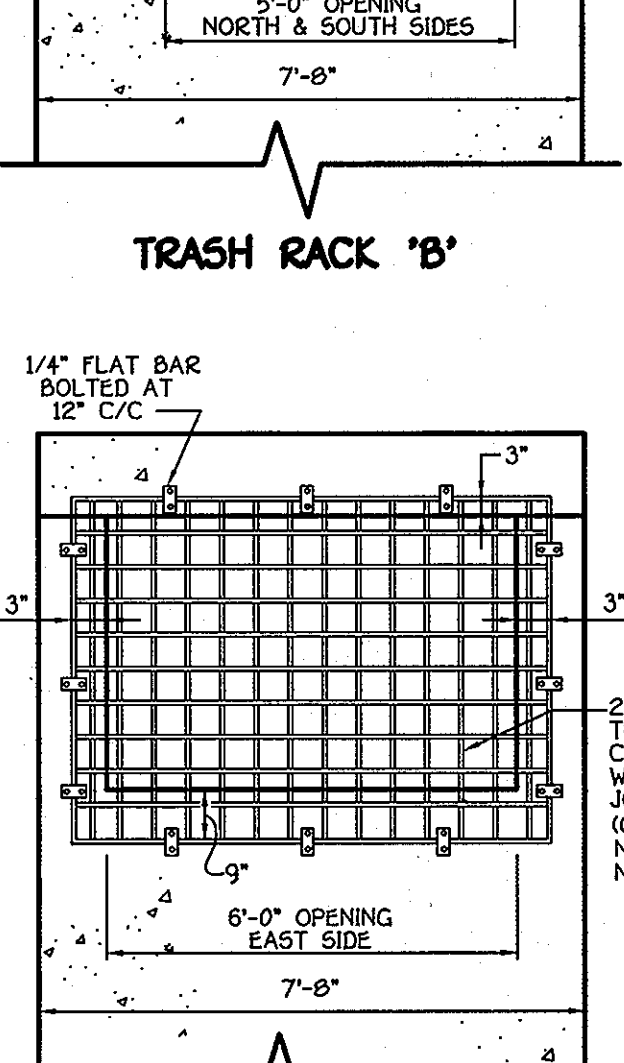
TYPICAL METAL BOLLARD DETAIL
 NOT TO SCALE (STD. G-742)



CONCRETE PIPE JOINT DETAIL
 NOT TO SCALE



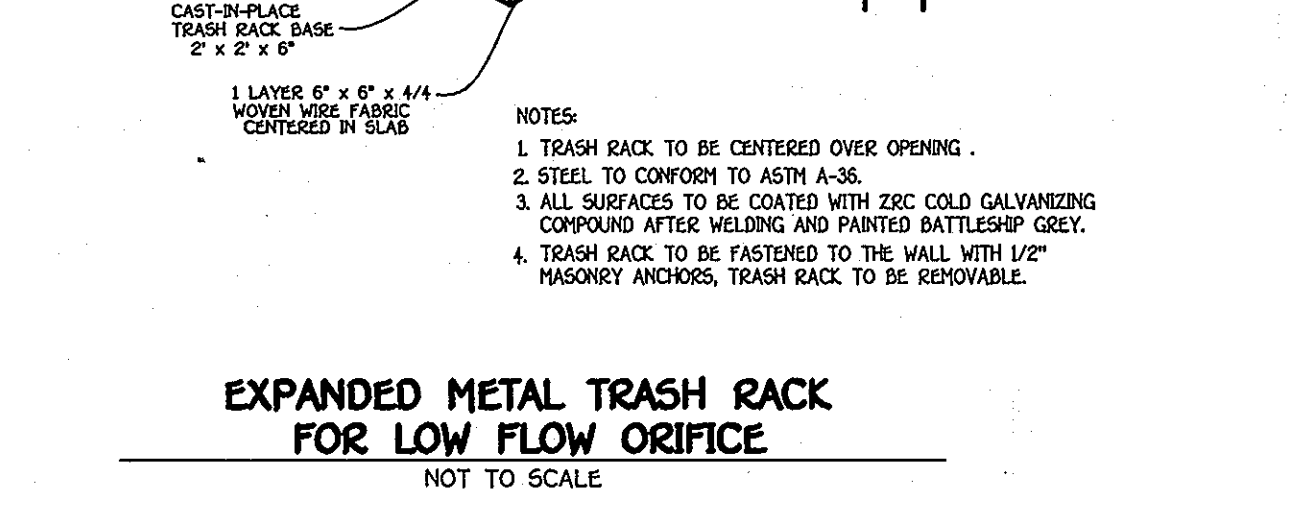
TRASH RACK 'B'



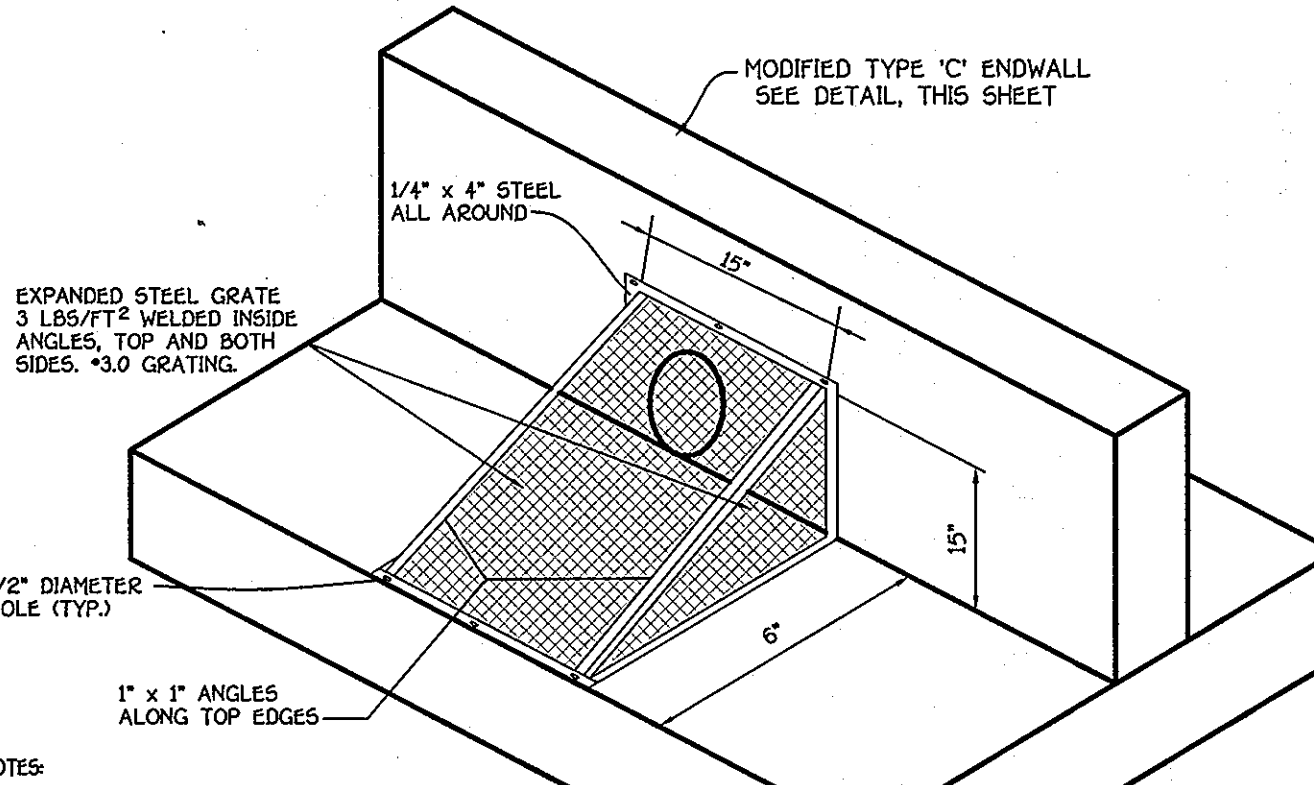
TRASH RACK 'A'

TRASH RACK DETAIL
 NOT TO SCALE

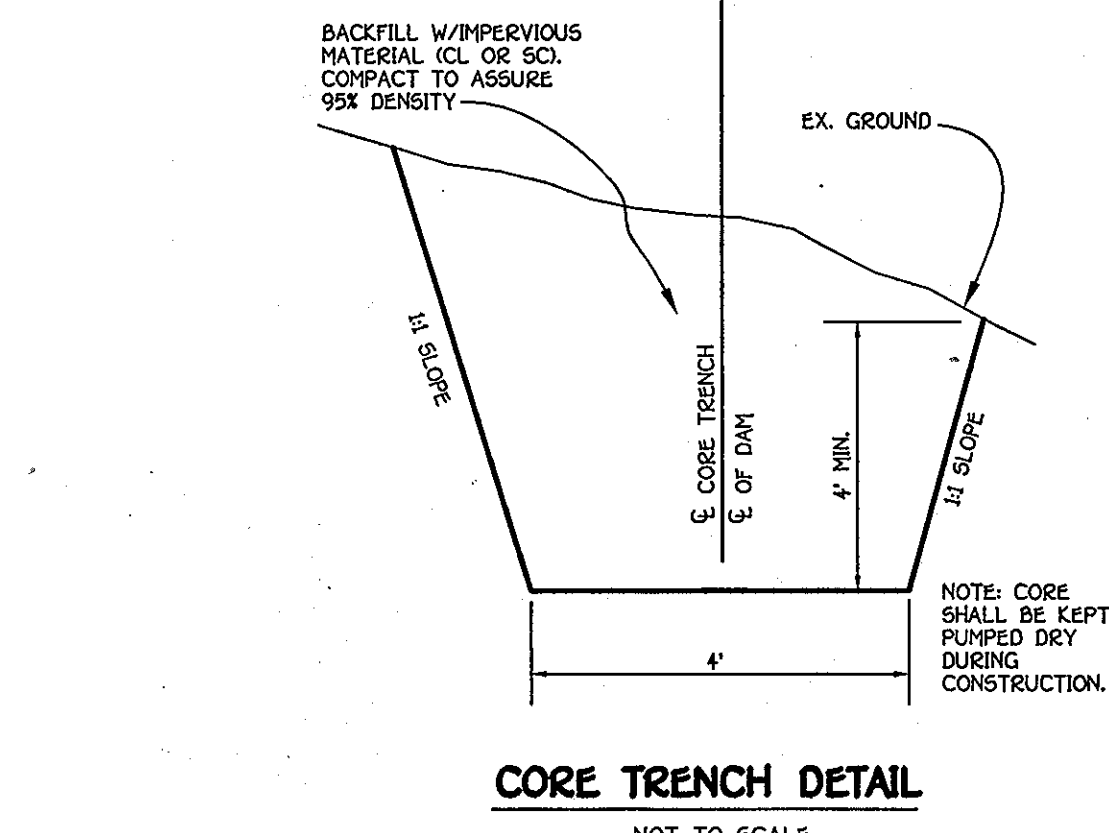
- NOTES:**
- FIELD MEASURE THE STRUCTURE DIMENSIONS TO INSURE EXACT FIT OF TRASH RACK.
 - GALVANIZE ENTIRE TRASH RACK AFTER FABRICATION.
 - PAINT BATTLESHIP GRAY.
 - AB = 467 SQ.FT. AW = 453 SQ.FT. @ 100% CLOGGED AB > AW



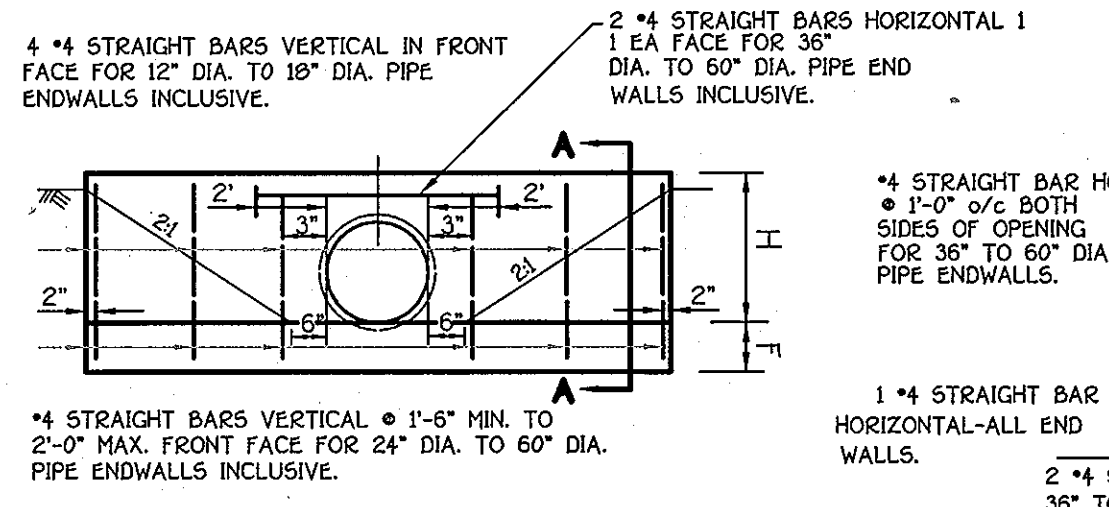
EXPANDED METAL TRASH RACK FOR LOW FLOW ORIFICE
 NOT TO SCALE



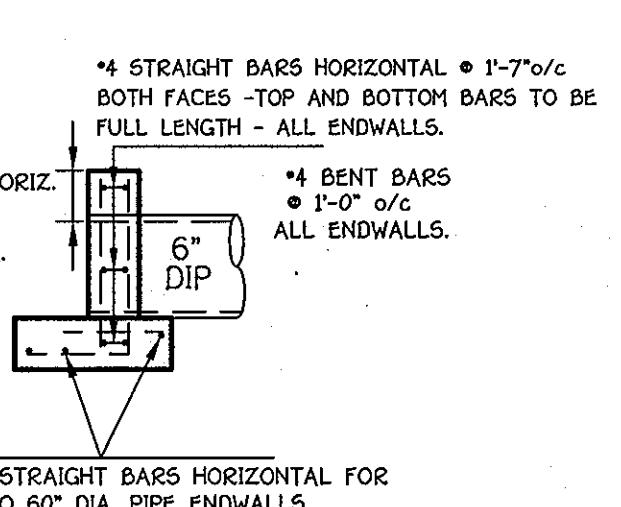
EXPANDED METAL TRASH RACK FOR DRAIN PIPE
 NOT TO SCALE



CORE TRENCH DETAIL
 NOT TO SCALE



ELEVATION
 5' DISTANCES FROM INSIDE SURFACE OF PIPE TO VERTICAL BARS IN FRONT AND REAR FACE.
 4" FOR 12" DIA. TO 18" DIA. PIPES INCL.
 6" FOR 24" DIA. TO 36" DIA. PIPES INCL.
 8" FOR 42" DIA. TO 60" DIA. PIPES INCL.

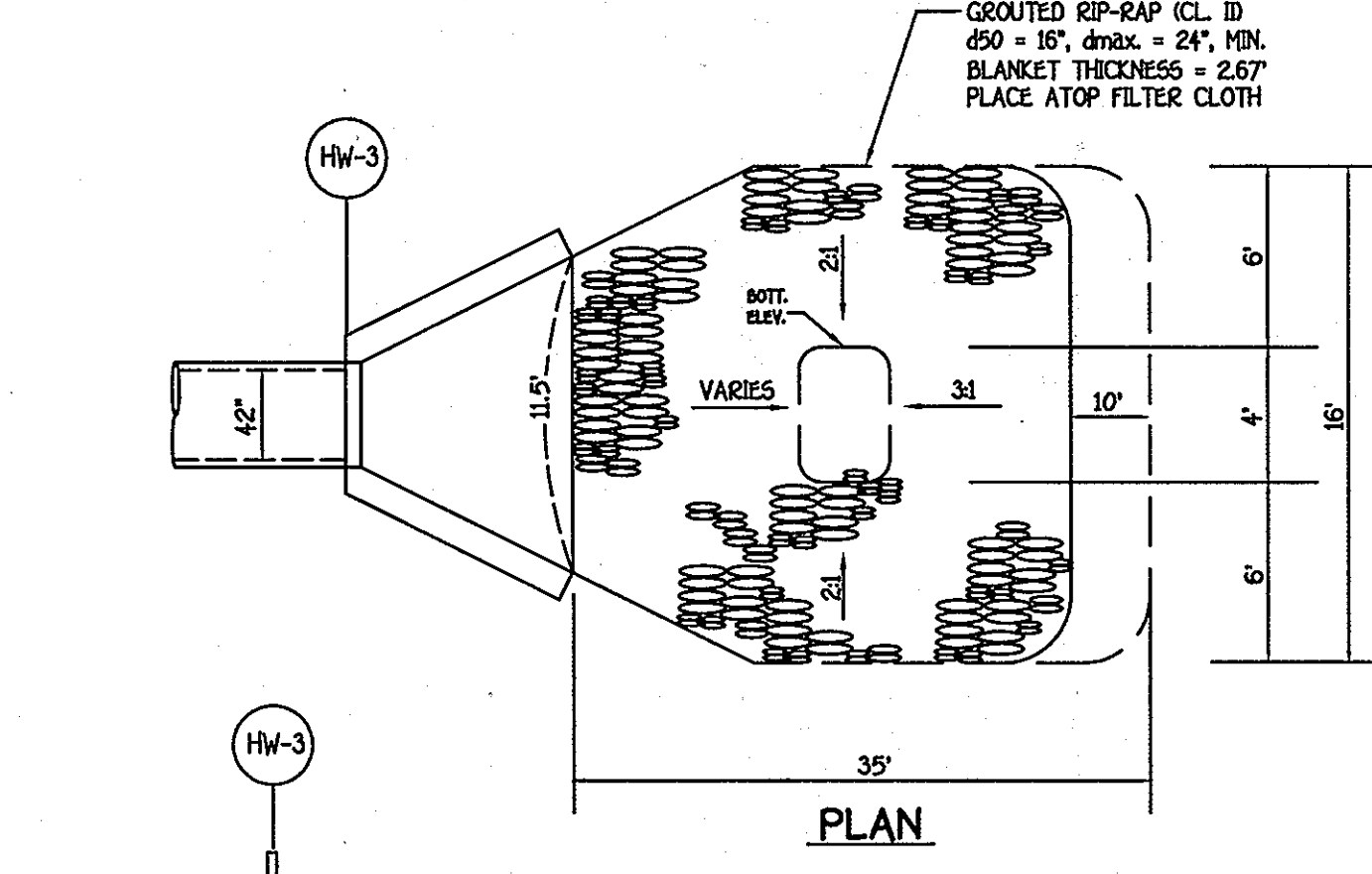


SECTION A-A

DISPOSITION OF BARS - DETAIL

OPENINGS D AREA IN. SQ.FT.	DIMENSIONS					VOLUME STEEL			
	A	B	C	E	F	H	LBS.		
6"	0.79	9"	6"	6"	1'-9"	9"	1'-6"	0.61	30

**REINFORCING: DEFORMED STEEL BARS (1/2" DIA.)
 CHAMFER: ALL EXPOSED EDGES 1" X 1" OR AS DIRECTED.
 CONC. SHALL BE S.H.A. A. MIX NO. 2.**



STILLING BASIN OUTFALL @ POND NO. 3
 NO SCALE

REVISED

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10725 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 481-2855



DEVELOPER'S CERTIFICATE

"I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An 'As-Built' Plan Of The Pond Within 30 Days Of Completion. I Also Authorize Periodic On-Site Inspections By The Howard Soil Conservation District."

Signature of Developer: *[Signature]* Date: 11/14/12

ENGINEER'S CERTIFICATE

"I Certify That This Plan For Pond Construction, Erosion And Sediment Control Represents A Practical And Workable Plan Based On My Personal Knowledge Of The Site Conditions. This Plan Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District. I Have Notified The Developer That He/She Must Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An 'As-Built' Plan Of The Pond Within 30 Days Of Completion."

Signature of Engineer: *[Signature]* Date: 11/14/12

These Plans For Small Pond Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.

Signature of Developer: *[Signature]* Date: 11/15/12

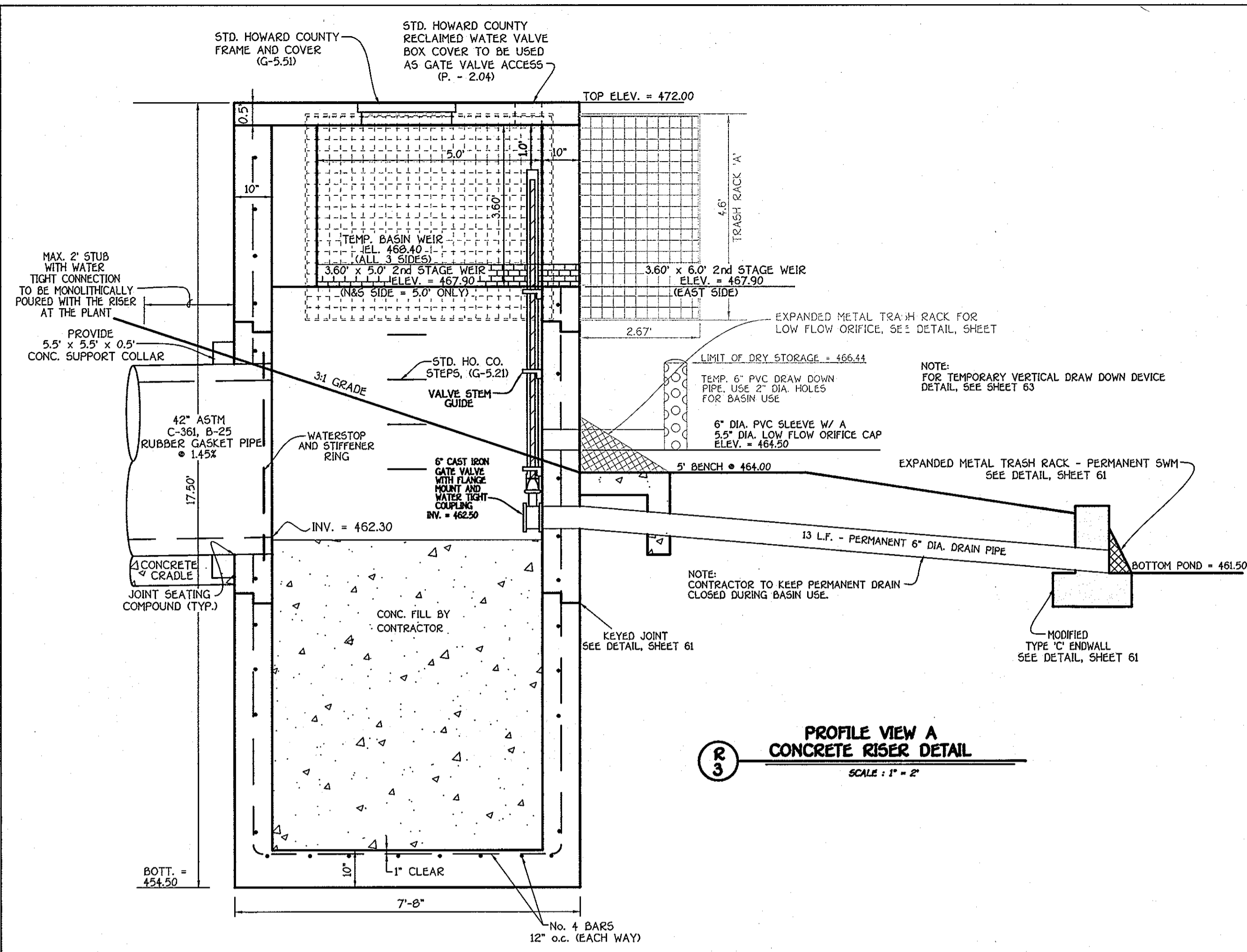
BUILDERS		OWNERS	
NV HOMES 6085 MARSHALEE DRIVE SUITE 140 ELKRICHO, MD. 21075 410-379-5956	RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELKRICHO, MD. 21075 410-379-5956	WAVERY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422	WAVERY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

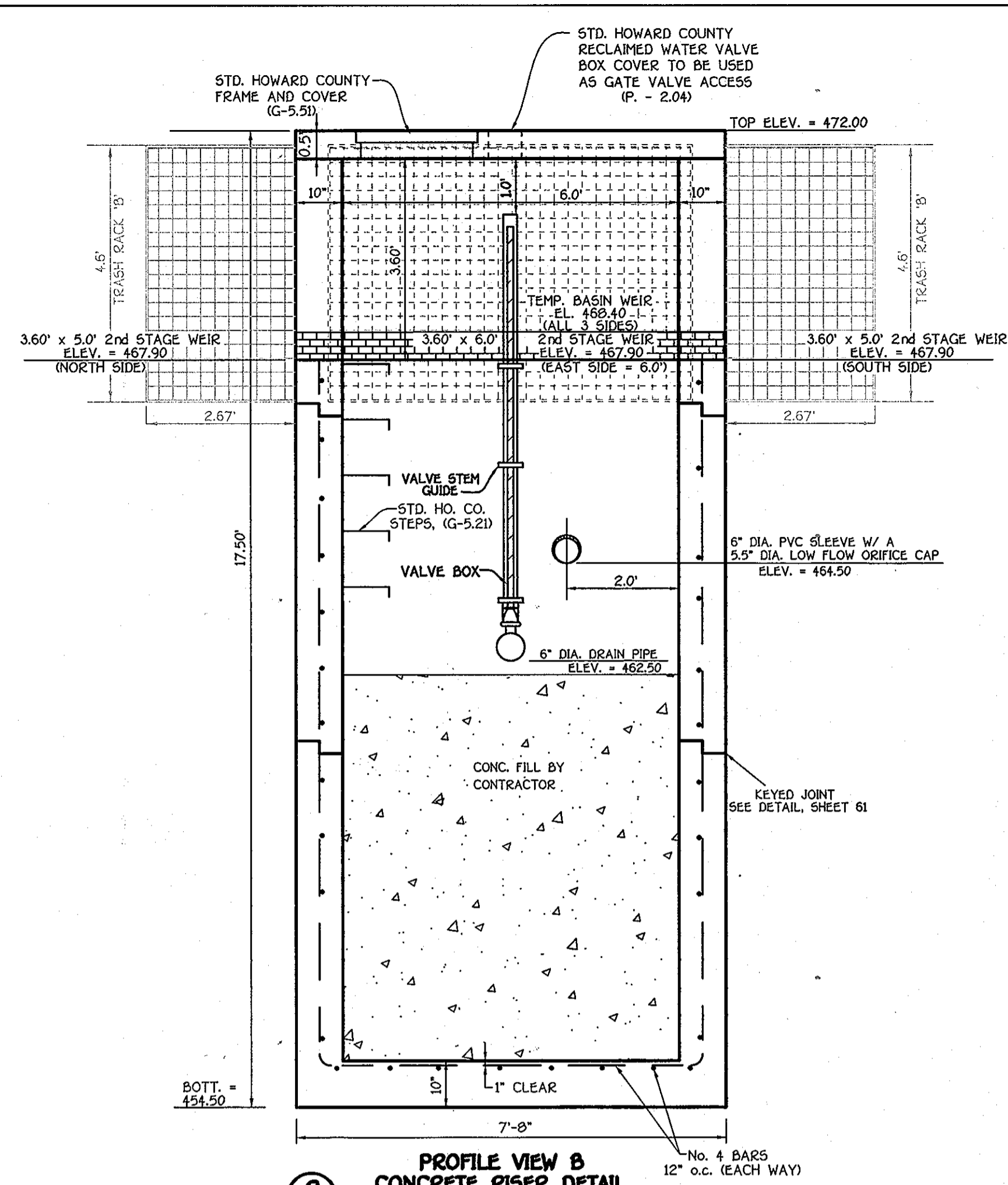
Chief, Department of Planning and Zoning	Date: 12/12/12
Chief, Development Engineering Division	Date: 12/12/12
Director - Department of Planning and Zoning	Date: 12/12/12
PROJECT: GTW'S WAVERY WOODS	SECTION: 14
PLAT 21427 - BLOCK NO. 3 & 4	ZONE: PSC
AND 22082 - 3 & 4	ELEC. DIST. 15
WATER CODE: K-02	SEWER CODE: 5992000
PARCEL NO. "E"	CENSUS TR. 60300

B.M.P. No. 3 - STORMWATER MANAGEMENT NOTES AND DETAILS

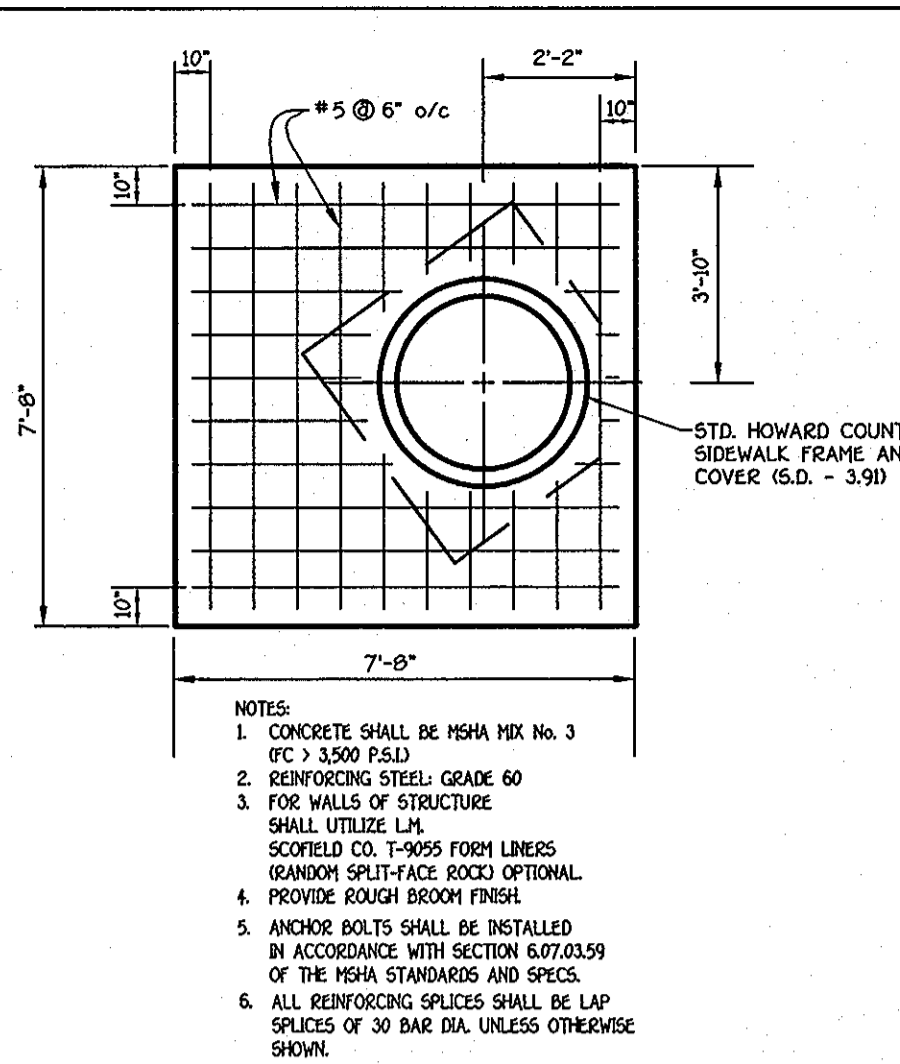
AGE RESTRICTED ADULT HOUSING
GTW'S WAVERY WOODS
 SECTION 14
 "THE COURTYARDS AT WAVERY WOODS - WEST"
 PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 165 &
 PHASE IV & V - LOTS 90 THRU 115, 153 THRU 161, 196 THRU 200,
 237 THRU 239, 286 THRU 271, 282 THRU 285, & 290 THRU 320
 TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES
 TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
 SHEET 61 OF 100 **SDP-09-039**



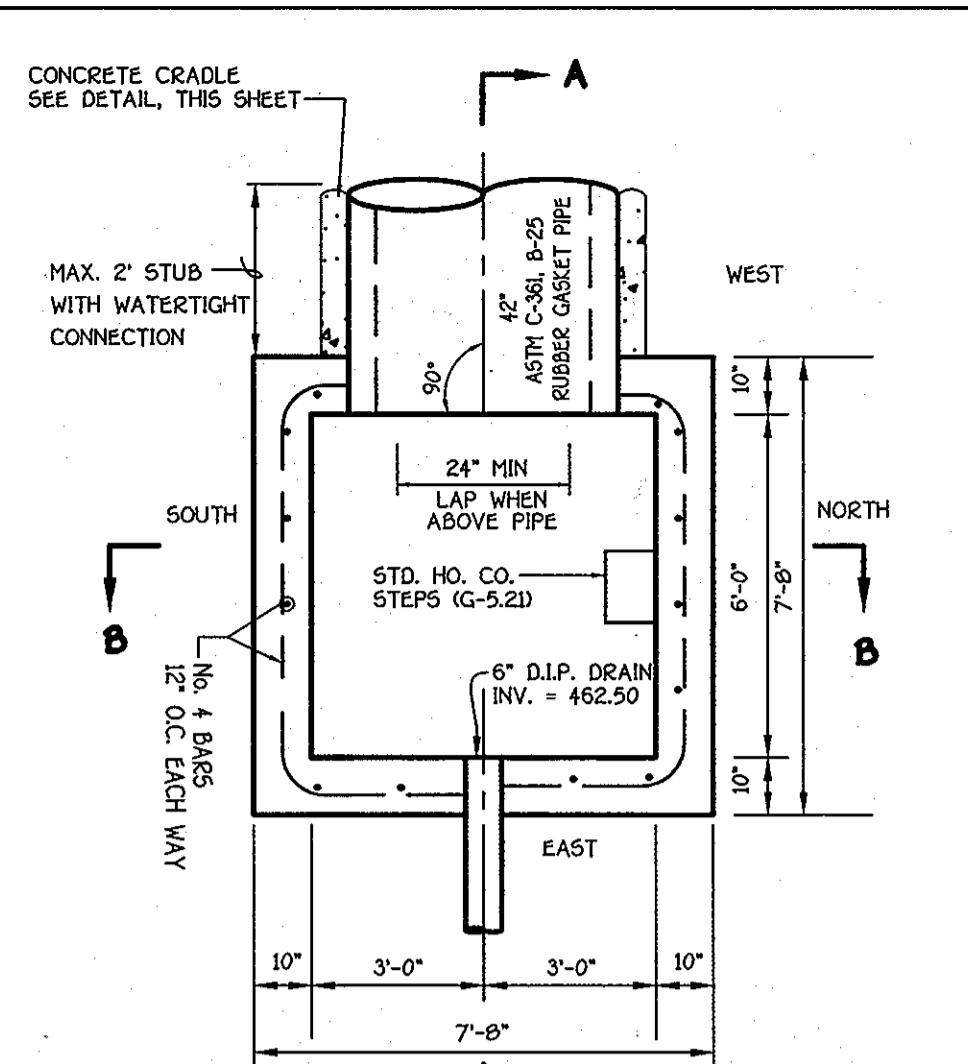
**PROFILE VIEW A
CONCRETE RISER DETAIL**
SCALE: 1" = 2"



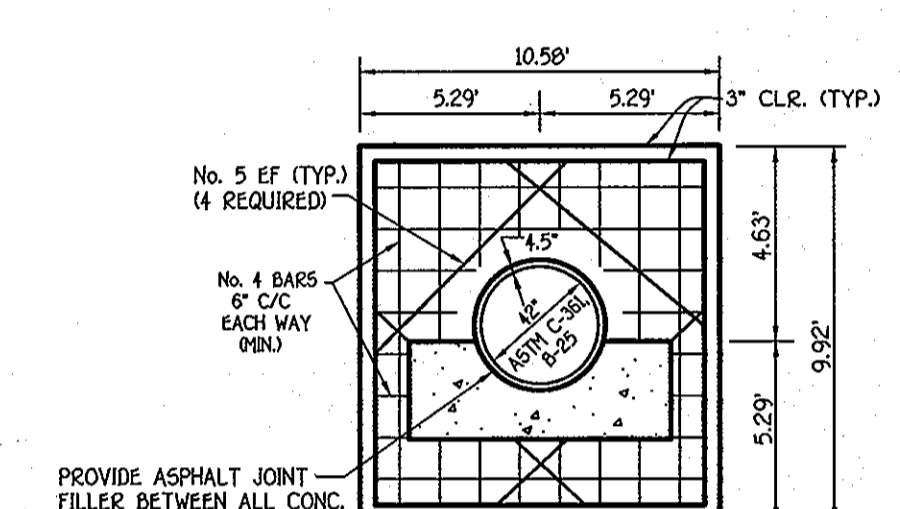
**PROFILE VIEW B
CONCRETE RISER DETAIL**
SCALE: 1" = 2"



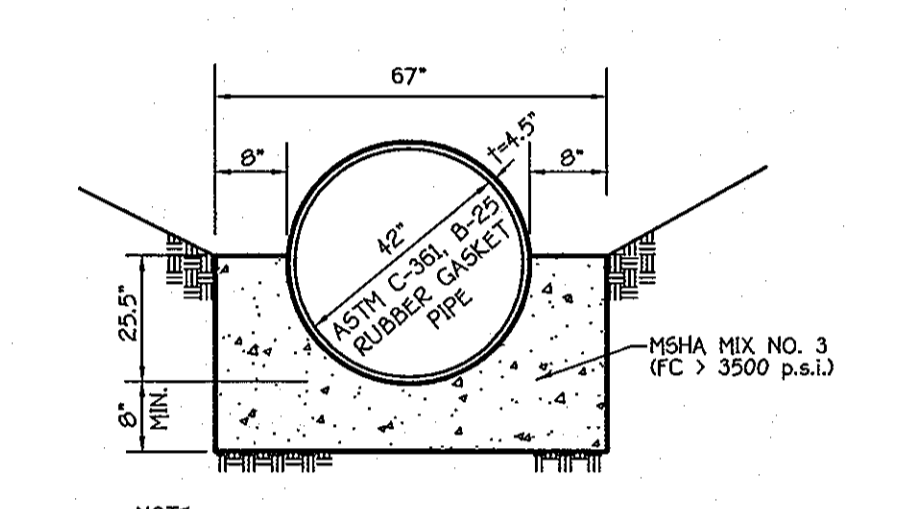
TOP SLAB DETAIL
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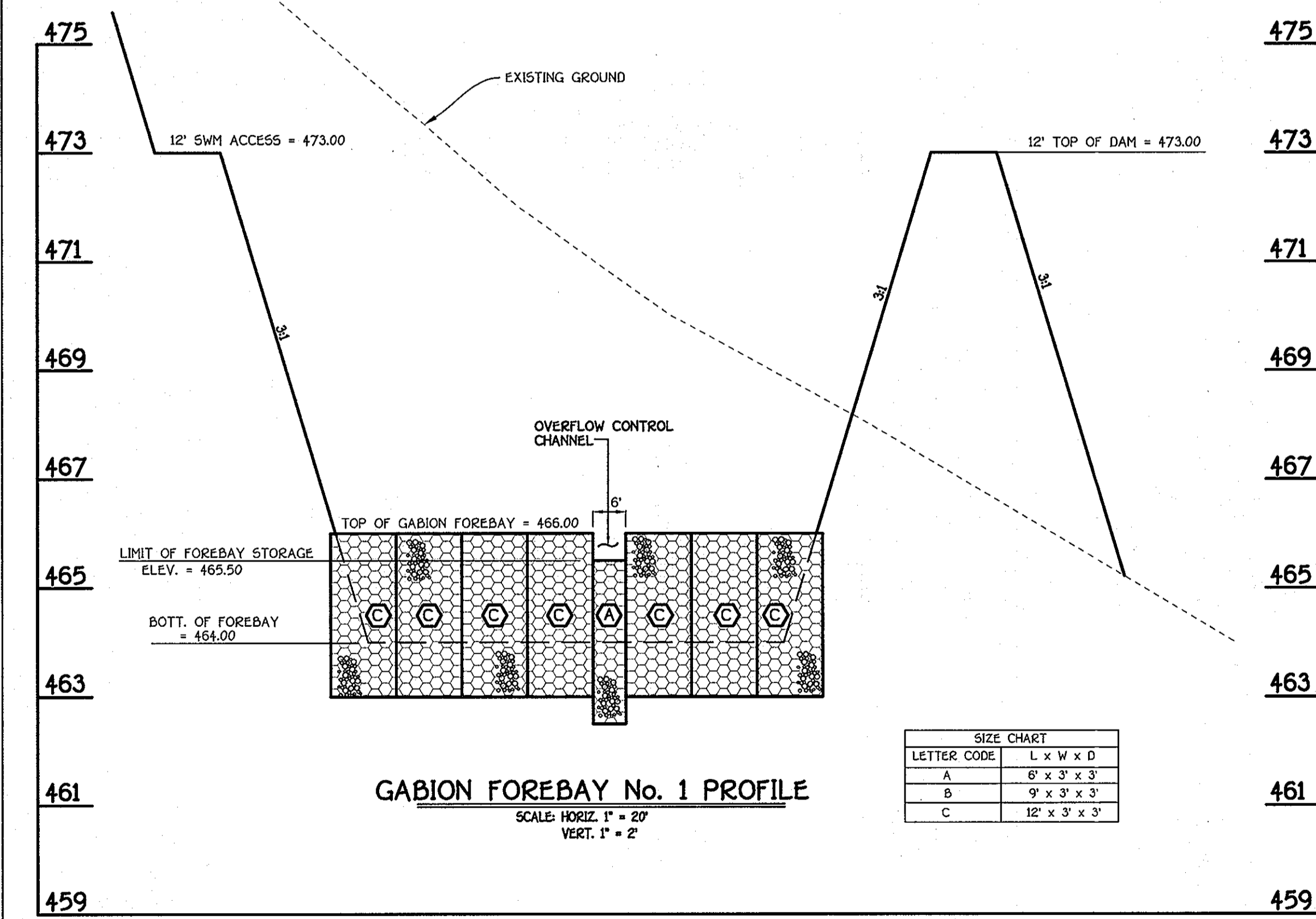
RISER PLAN VIEW
NO SCALE



ANTI-SEEP COLLAR
NO SCALE

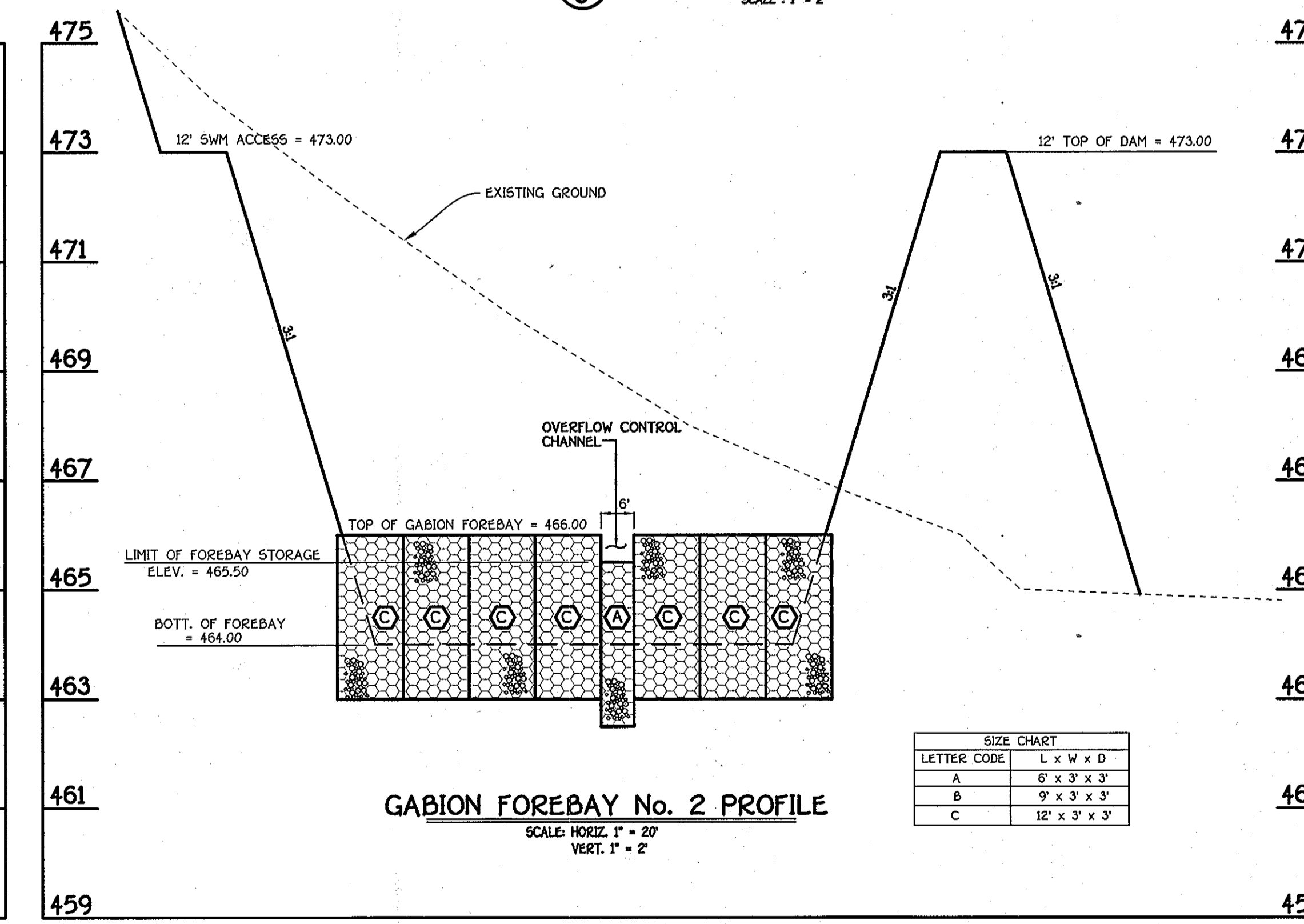


SCS TR-46 A2 CONCRETE CRADLE
NO SCALE



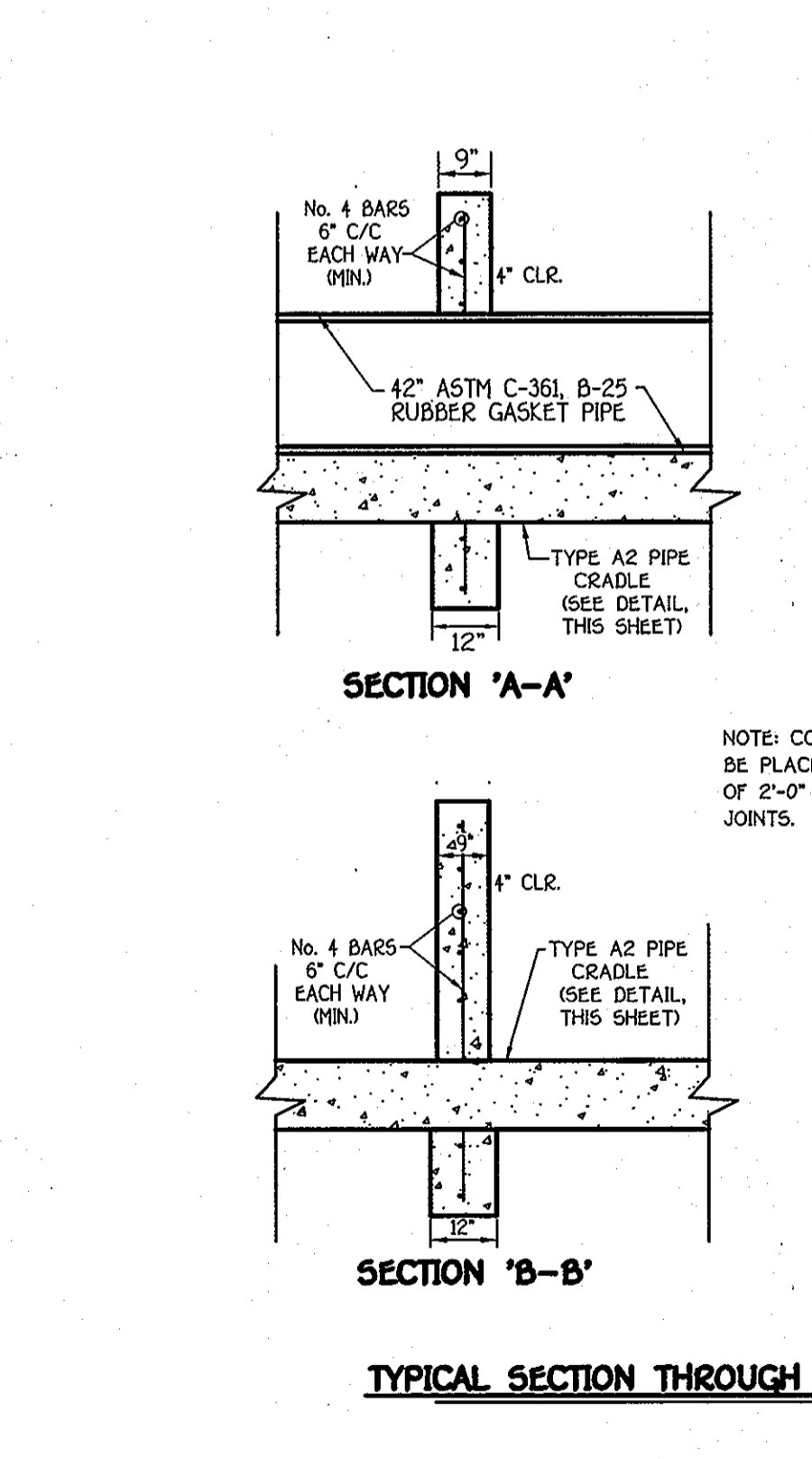
GABION FOREBAY No. 1 PROFILE
SCALE: HORIZ. 1" = 20'
VERT. 1" = 2'

LETTER CODE	L x W x D
A	6' x 3' x 3'
B	9' x 3' x 3'
C	12' x 3' x 3'



GABION FOREBAY No. 2 PROFILE
SCALE: HORIZ. 1" = 20'
VERT. 1" = 2'

LETTER CODE	L x W x D
A	6' x 3' x 3'
B	9' x 3' x 3'
C	12' x 3' x 3'



SECTION 'A-A'
SECTION 'B-B'

TYPICAL SECTION THROUGH BARREL CRADLE AND ANTI-SEEP COLLAR
NO SCALE

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10775 BALTIMORE NATIONAL FREE
ELLCOTT CITY, MARYLAND 21042
(410) 481-2855

NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER T-12-009 AND ADD GRIFFIN HALL	9/28/12

STATE OF MARYLAND
PROFESSIONAL ENGINEER
[Signature]

DEVELOPER'S CERTIFICATE
"I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An 'As-Built' Plan Of The Pond Within 30 Days Of Completion. I Also Authorize Periodic On-Site Inspections By The Howard Soil Conservation District."

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"I Certify That This Plan For Pond Construction, Erosion And Sediment Control Represents A Practical And Workable Plan Based On My Personal Knowledge Of The Site Conditions. This Plan Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District. I Have Notified The Developer That He/She Must Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An 'As-Built' Plan Of The Pond Within 30 Days Of Completion."

These Plans For Small Pond Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.

BUILDERS
NV HOMES 6085 MARSHALEE DRIVE SUITE 130 ELKRIEDE, MD. 21075 410-379-5956
RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELKRIEDE, MD. 21075 410-379-5956

DEVELOPER
WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLCOTT CITY, MARYLAND 21042
443-367-0422

OWNERS
WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLCOTT CITY, MARYLAND 21042
443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

John R. Roberts 11/15/12
Howard SCD Date

Director - Department of Planning and Zoning

GTW'S WAVERLY WOODS

PLAT 21427 - BLOCK NO. 21435 AND 22082 - 3 & 4 ZONE PSC TAX/ZONE 16 ELEC. DIST. THIRD CENSUS TR. 60300

B.M.P. No. 3 - STORMWATER MANAGEMENT NOTES AND DETAILS

**AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS**

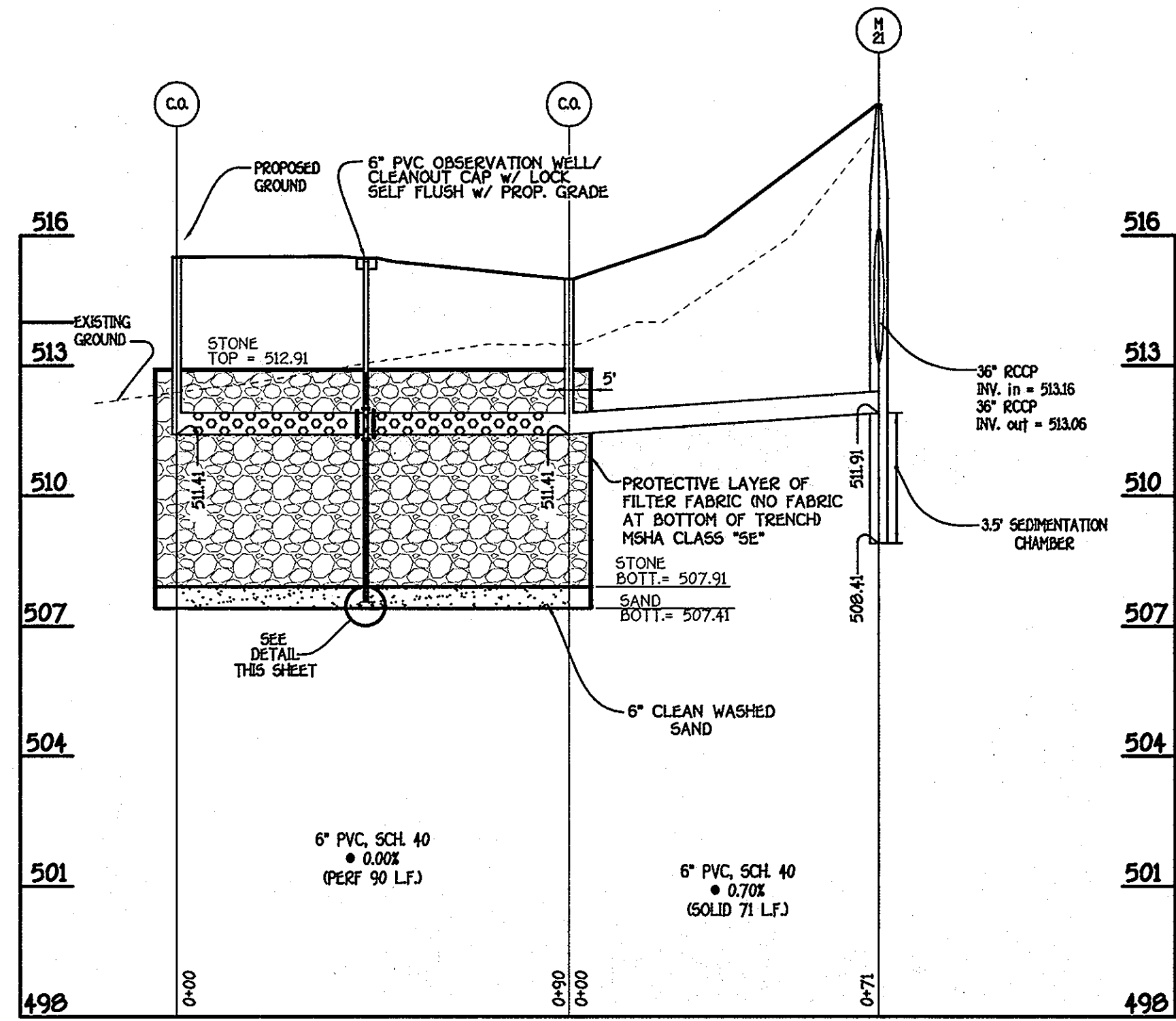
SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASES II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 165 &
PHASES IV & V - UNITS 90 THRU 119, 153 THRU 161, 196 THRU 200,
237 THRU 239, 266 THRU 271, 282 THRU 285, & 290 THRU 329

TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES

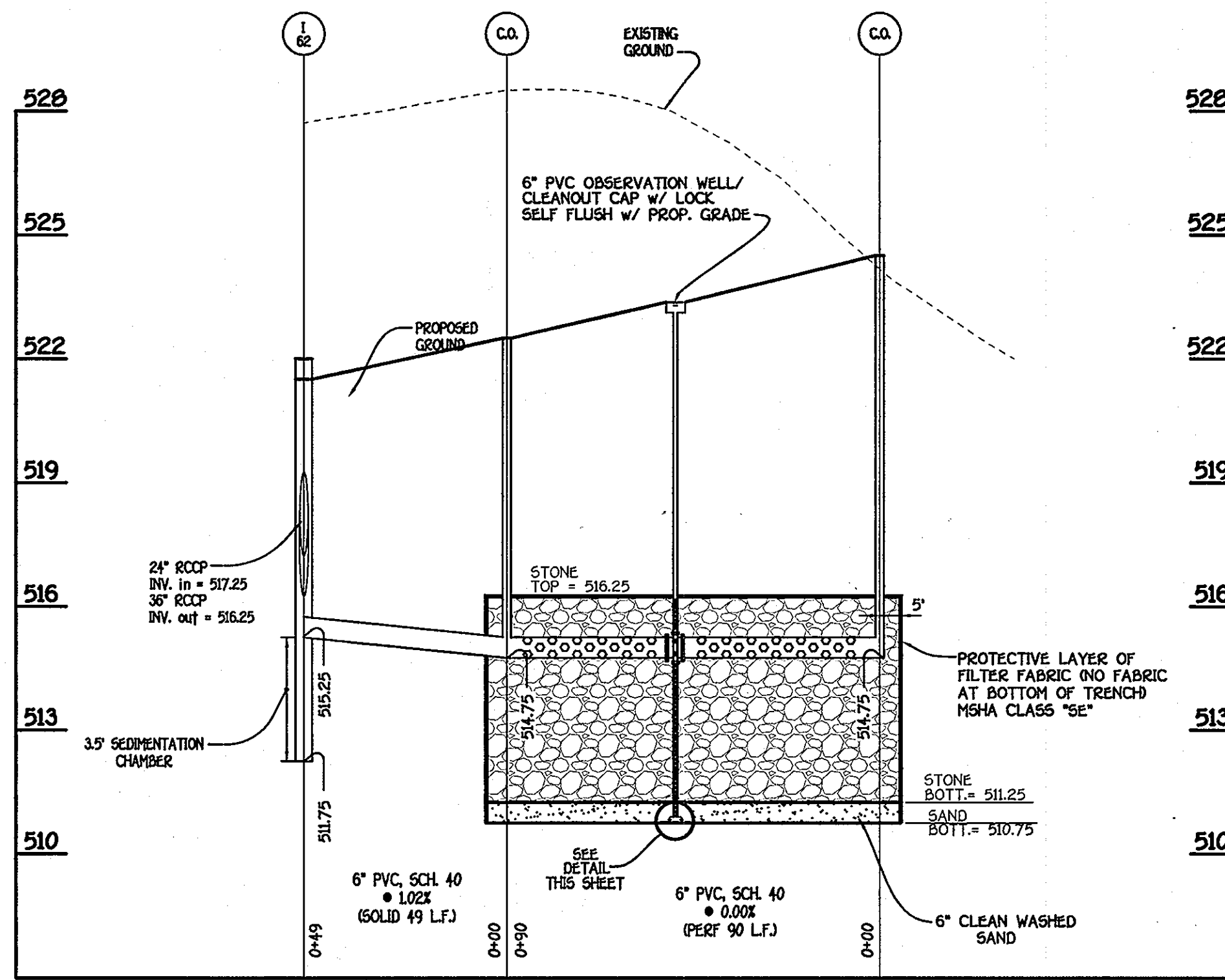
ZONING: PSC
TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
SHEET 62 OF 100

REVISED

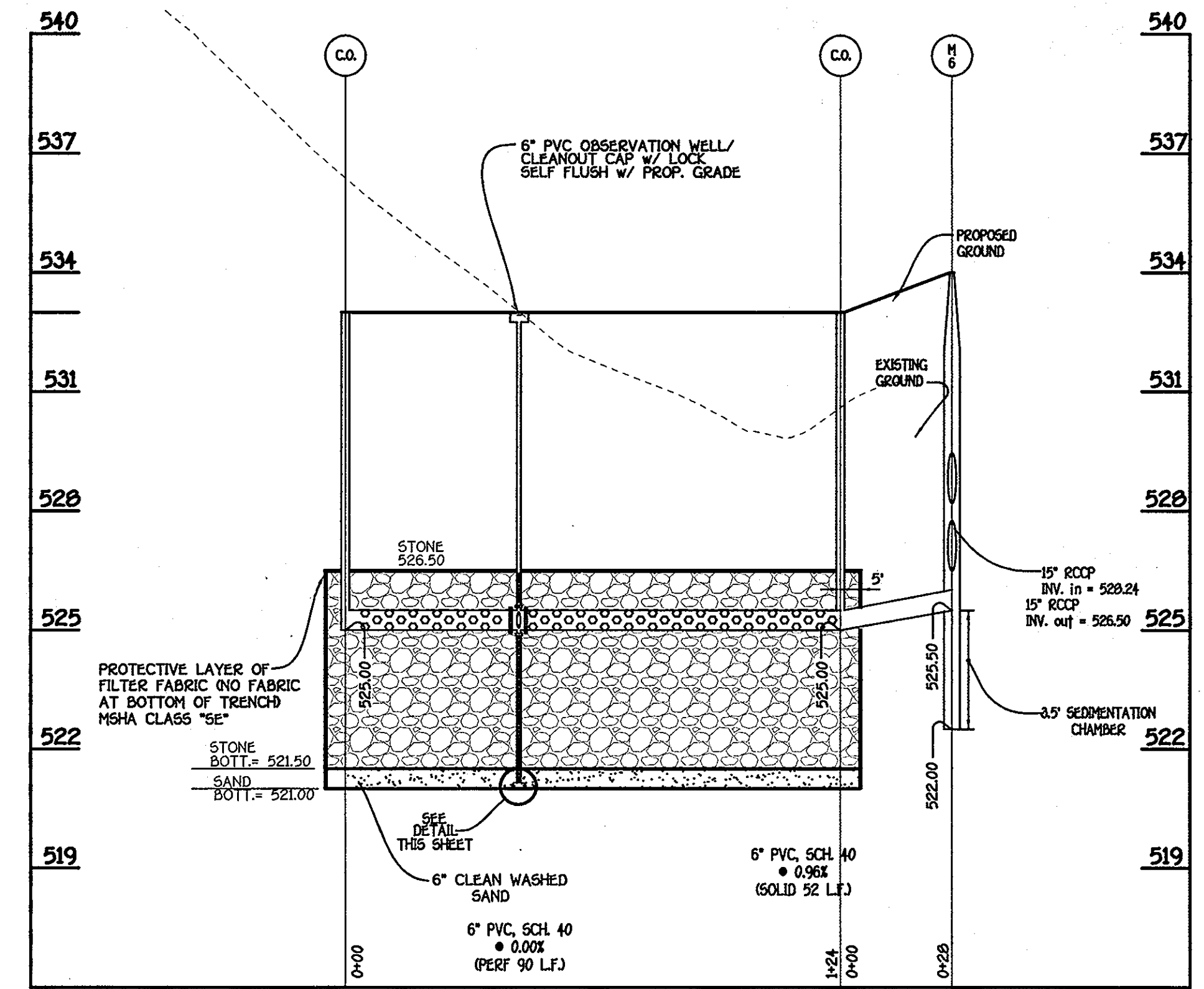
SDP-09-039



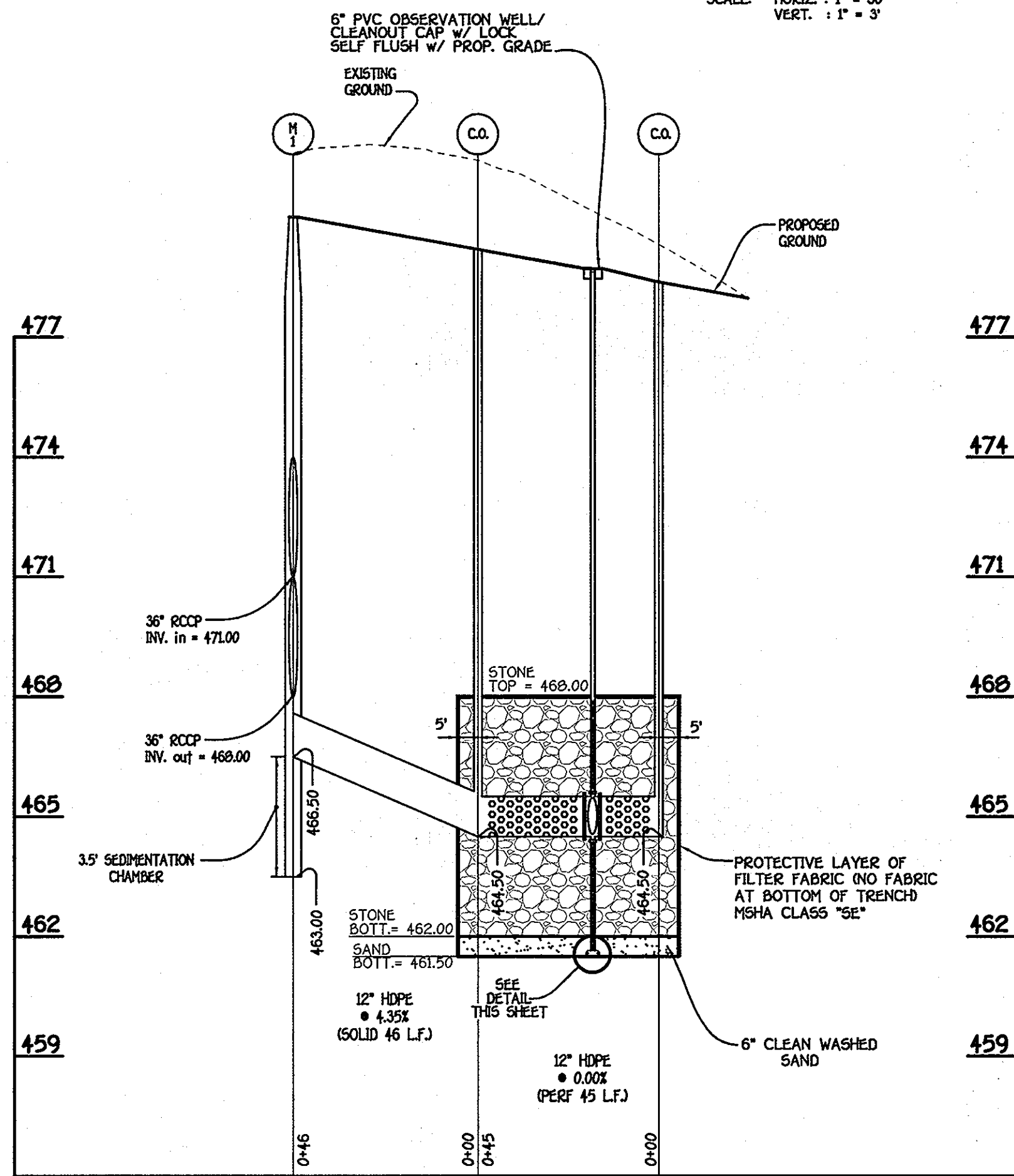
STONE RESERVOIR No. 2
SCALE: HORIZ. : 1" = 30'
VERT. : 1" = 3'



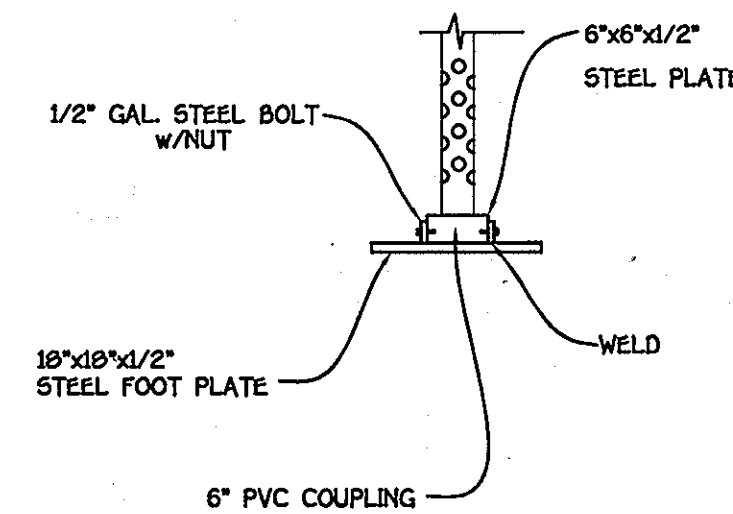
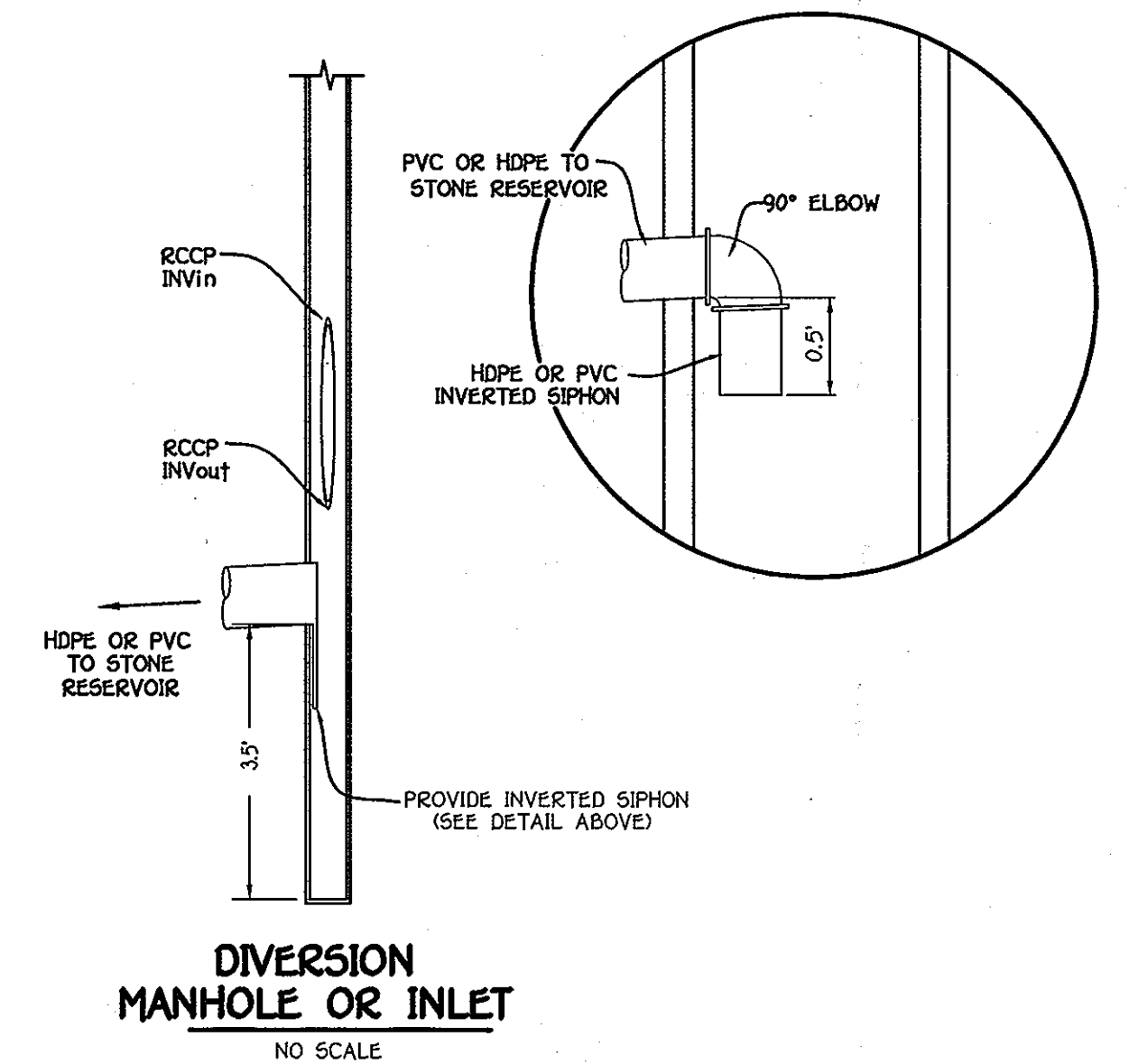
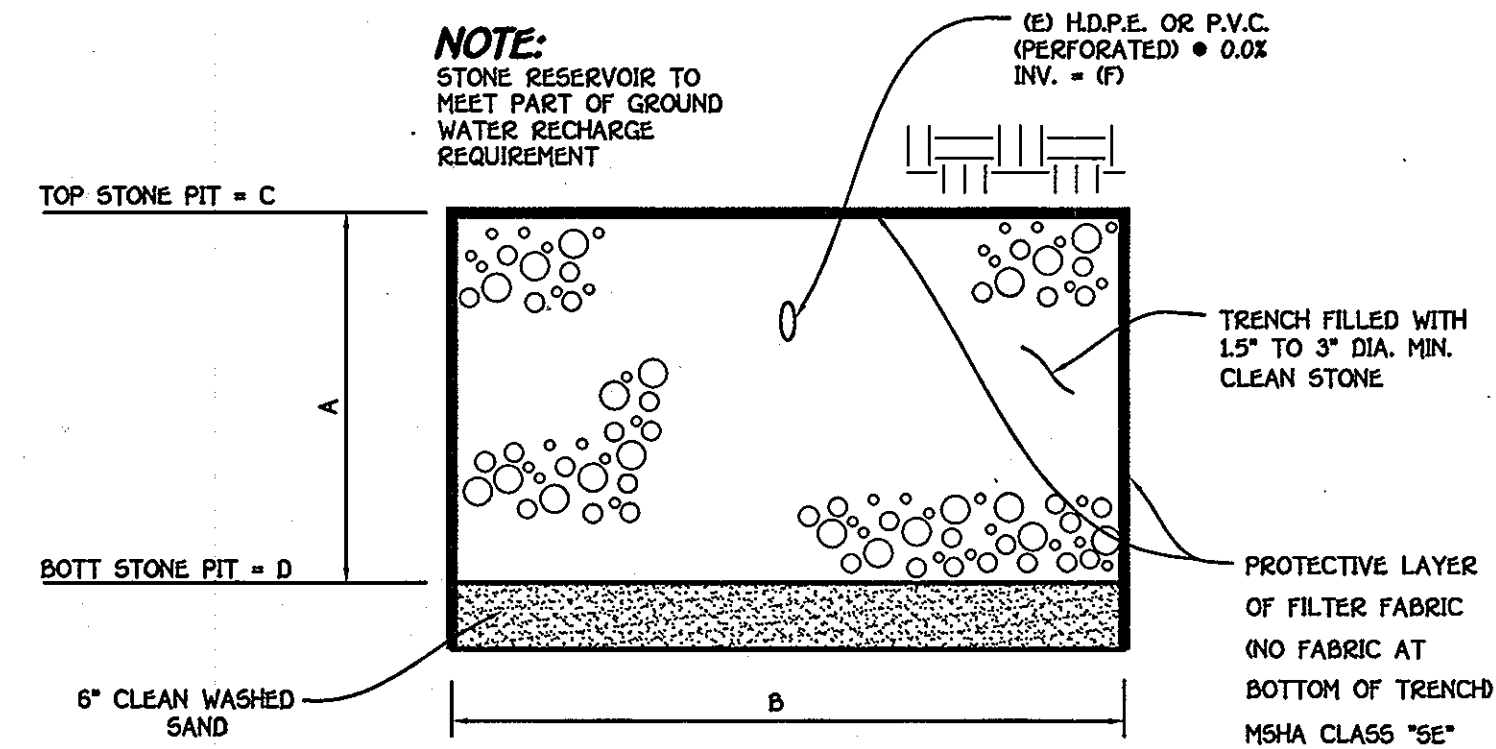
STONE RESERVOIR No. 3
SCALE: HORIZ. : 1" = 30'
VERT. : 1" = 3'



STONE RESERVOIR No. 4
SCALE: HORIZ. : 1" = 30'
VERT. : 1" = 3'



STONE RESERVOIR No. 5
SCALE: HORIZ. : 1" = 30'
VERT. : 1" = 3'



DETAIL
NO SCALE

STONE RESERVOIR No.	A	B	C	D	E	F
2	5.0'	20.0'	512.91	507.91	6" PVC, SCH. 40	511.41
3	5.0'	20.0'	517.00	512.00	6" PVC, SCH. 40	515.50
4	5.0'	40.0'	526.50	521.50	6" PVC, SCH. 40	525.00
5	6.0'	VARIES	468.00	462.00	12" HDPE	464.50
6	6.0'	VARIES	468.00	462.00	12" HDPE	464.50
7	5.0'	30.0'	505.83	500.83	6" PVC, SCH. 40	504.33

OFF-LINE STONE RESERVOIR SECTION FOR Rev
NO SCALE

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL FEE
ELLCOTT CITY, MARYLAND 21042
410-461-2899



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/31/14.
Terrell A. Fisher 11/14/12
TERRELL A. FISHER, PROFESSIONAL ENGINEER DATE

BUILDERS

NV HOMES 6085 MARSHALEE DRIVE SUITE 130 ELK RIDGE, MD 21075 410-379-5956
RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELK RIDGE, MD 21075 410-379-5956

DEVELOPER

WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLCOTT CITY, MARYLAND 21042
443-367-0422

OWNERS

WAVERLY WOODS DEVELOPMENT CORPORATION,
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLCOTT CITY, MARYLAND 21042
443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Victor Redwood 12/19/12
Chief, Division of Land Development Date
John Williams 12/18/12
Chief, Development Engineering Division Date
Paula M. Mager 12/18/12
Director - Department of Planning and Zoning Date

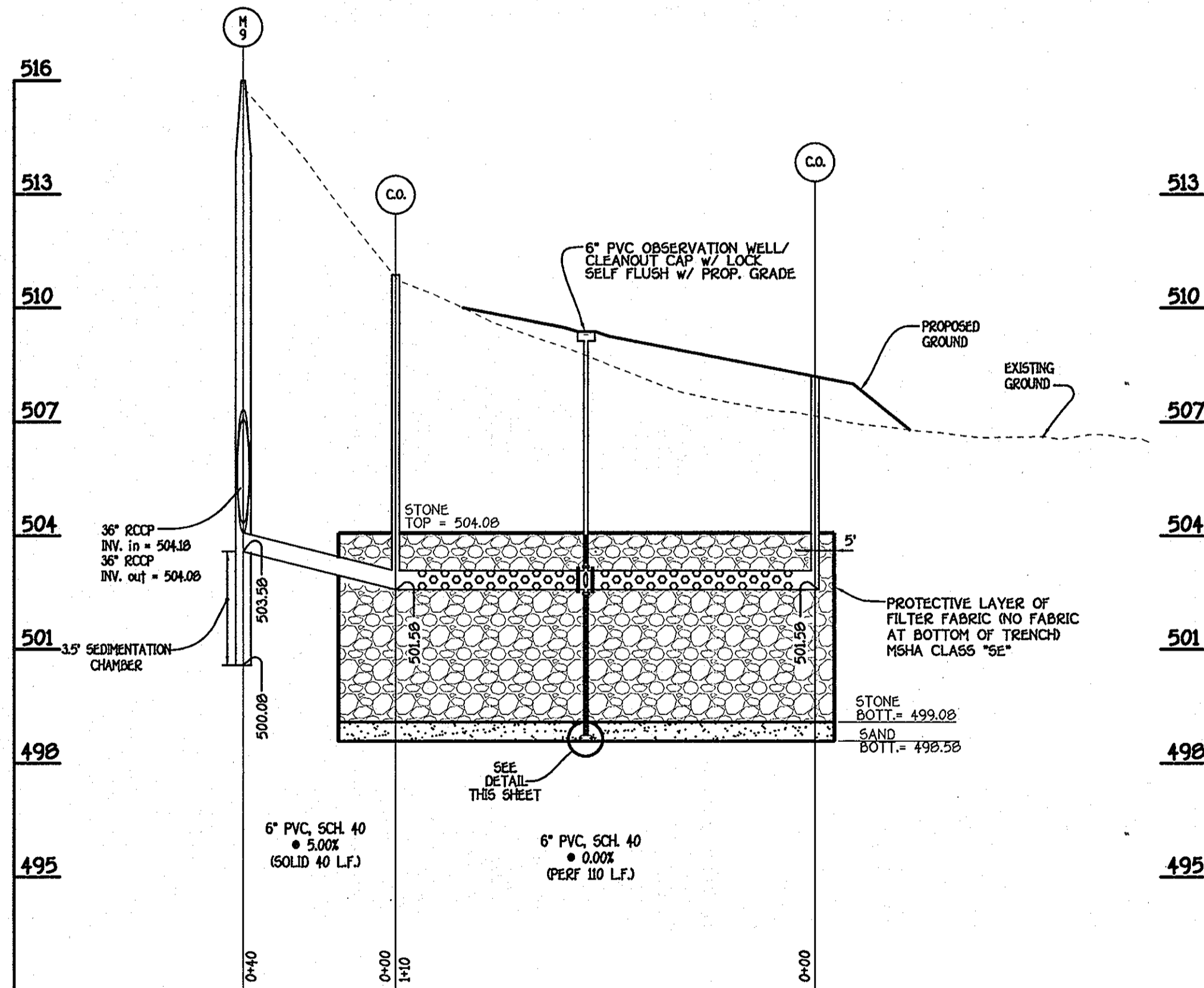
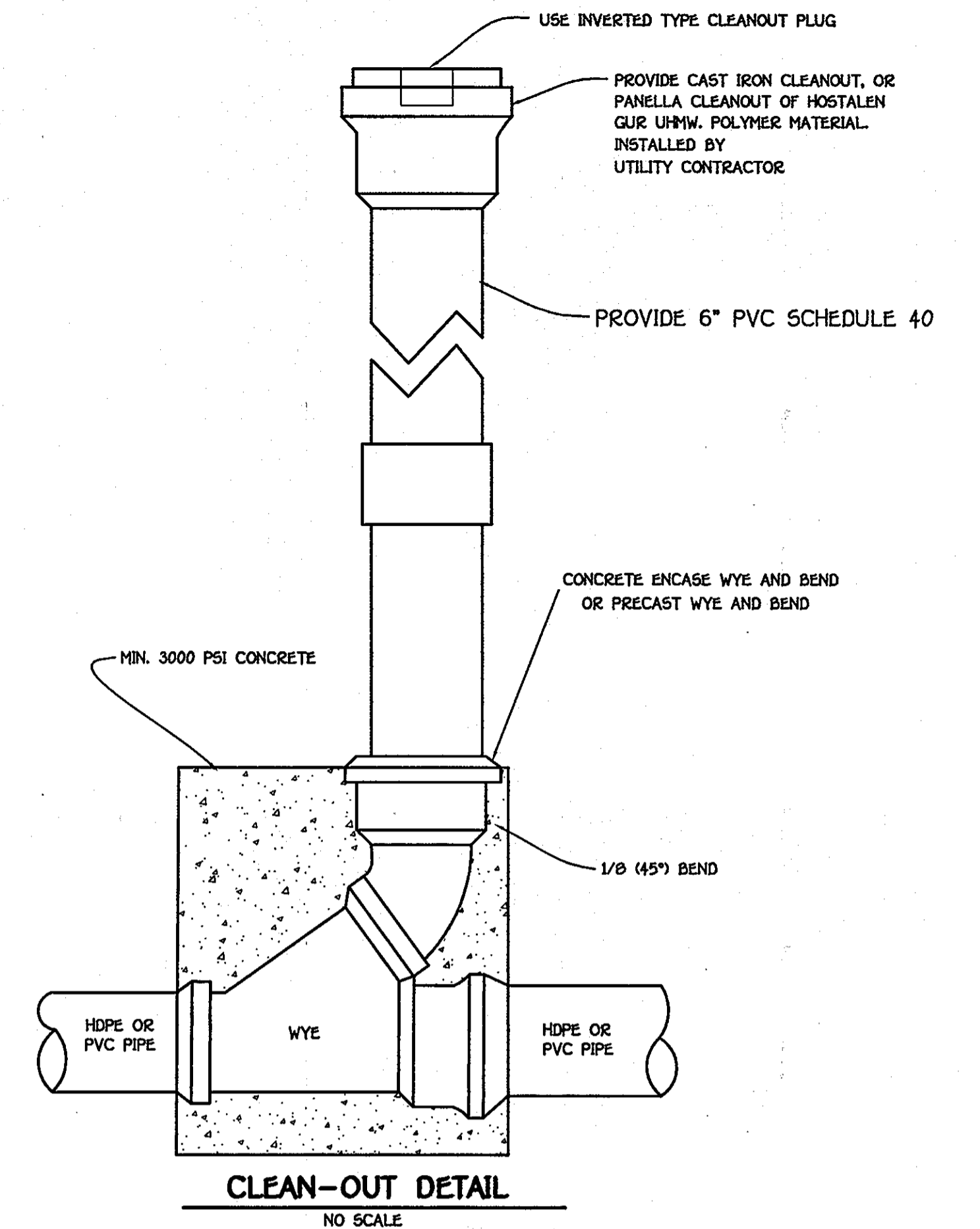
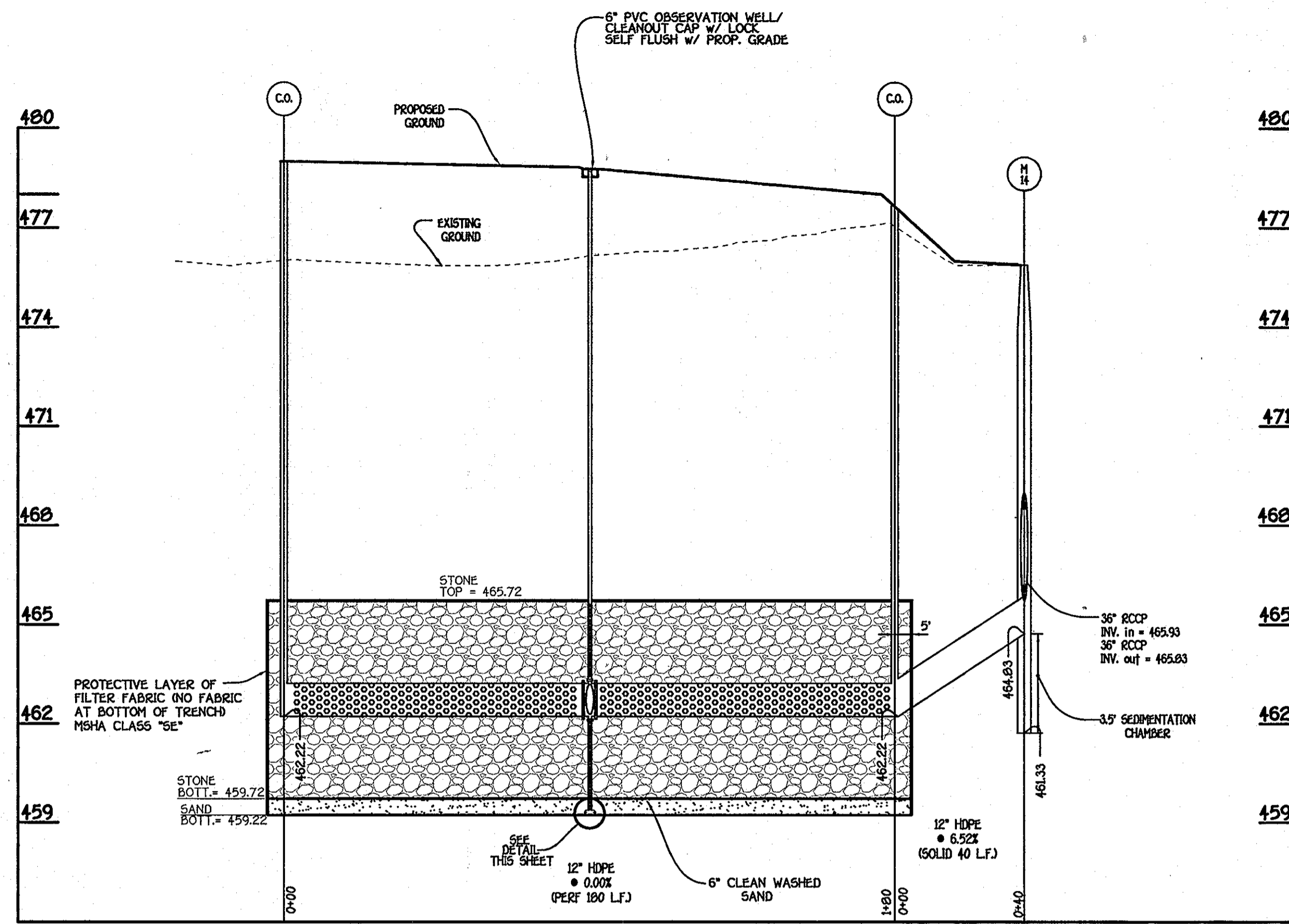
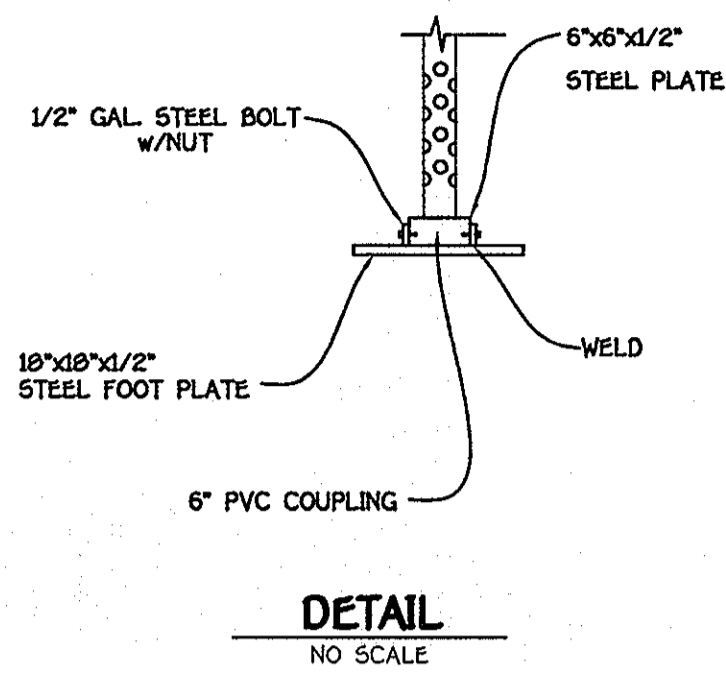
PROJECT	SECTION	PARCEL NO. "E"
GTW'S WAVERLY WOODS	14	1505 2 25 25 46 46 1 000 2000 05 4 1505 2 25 25 46 46 1 000 2000 05 4 1505 2 25 25 46 46 1 000 2000 05 4
PLAT 21427 - 21435 AND 22082 - 22089	BLOCK NO. 3 & 4	ZONE PSC TAX/ZONE 16 ELEC. DIST. THIRD CENSUS TR. 60300
WATER CODE K-02	SEWER CODE 5992000	

REVISED STONE RESERVOIR PROFILES

AGE RESTRICTED ADULT HOUSING GTW'S WAVERLY WOODS SECTION 14

"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASE II & III LOTS 3, 12 THRU 39, 44 THRU 86 & 88 THRU 165 & PHASES IV & V - UNITS 80 THRU 119, 153 THRU 161, 195 THRU 200, 237 THRU 239, 268 THRU 271, 282 THRU 285, & 290 THRU 320
TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES

ZONING: PSC
TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO.: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
SHEET 64 OF 100



STONE RESERVIOR No. 6
SCALE: HORIZ. : 1" = 30'
VERT. : 1" = 3'

STONE RESERVIOR No. 7
SCALE: HORIZ. : 1" = 30'
VERT. : 1" = 3'

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED STORMWATER INFILTRATION TRENCHES FOR Rev (I-1)

- The monitoring wells and structures shall be inspected on a quarterly basis and after every large stone event.
- Water levels and sediment build up in the monitoring wells shall be recorded over a period of several days to insure trench drainage.
- A logbook shall be maintained to determine the rate at which the facility drains.
- When the facility becomes clogged so that it does not drain down within the 72 hour time period, corrective action shall be taken.
- The maintenance logbook shall be available to Howard County for inspection to insure compliance with operation and maintenance criteria.
- Once the performance characteristics of the infiltration facility have been verified, the monitoring schedule can be reduced to an annual basis unless the performance data indicates that a more frequent schedule is required.

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED STORMWATER MANAGEMENT FACILITIES No. 2 & 3

- ROUTINE MAINTENANCE**
- Facility shall be inspected annually and after major storms. Inspections shall be performed during wet weather to determine if the pond is functioning properly.
 - Top and side slopes of the embankment shall be mowed a minimum of two (2) times a year, once in June and once in September. Other side slopes and maintenance access should be mowed as needed.
 - Debris and litter shall be removed during regular mowing operations and as needed.
 - Visible signs of erosion in the pond as well as the rip-rap or gabion outlet area shall be repaired as soon as it is noticed.
 - The off-line storm drains and underground reservoirs shall be inspected annually and after major storms.
- NON-ROUTINE MAINTENANCE**
- Structural components of the pond such as the dam, the riser, and the pipes shall be repaired upon the detection of any damage. The components shall be inspected during routine maintenance operations.
 - Sediment shall be removed from the pond, and forebay, no later than when the capacity of the pond or forebay, is half full of sediment, or, when deemed necessary for aesthetic reasons, upon approval from the Department of Public Works.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10722 BALTIMORE NATIONAL FREE
ELLCOTT CITY, MARYLAND 21042
410 481 - 2055



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/31/14.

Terrell A. Fisher
TERRELL A. FISHER, PROFESSIONAL ENGINEER DATE

BUILDERS

NV HOMES
6085 MARSHALEE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-9956

RYAN HOMES
6085 MARSHALEE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-9956

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443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Terrell A. Fisher 12/10/12
Chief, Division of Land Development
Terrell A. Fisher 12/10/12
Chief, Development Engineering Division
Terrell A. Fisher 12/10/12
Director - Department of Planning and Zoning

PROJECT	SECTION	PARCEL NO. "E"
GTW'S WAVERLY WOODS	14	1000 5 25 25 1 00 000 005 4
PLAT 21427 AND 22089	BLOCK NO. 3 & 4	ZONE TAX/ZONE ELEC. DIST. CENSUS TR.
		16 THIR 60300
WATER CODE K-02	SEWER CODE 5992000	

REVISED STONE RESERVIOR PROFILES

AGE RESTRICTED ADULT HOUSING GTW'S WAVERLY WOODS SECTION 14

"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 165 & PHASES IV & V - UNITS 80 THRU 119, 153 THRU 161, 196 THRU 200, 237 THRU 239, 266 THRU 271, 282 THRU 285, & 290 THRU 328
TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES
ZONING: PSC
TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
SHEET 65 OF 100

SCHEDULE A PERIMETER LANDSCAPE EDGE												
PHASE	PHASE ONE	PHASE ONE	PHASE TWO	PHASE TWO	PHASE TWO	PHASE TWO	PHASE TWO	PHASE TWO	PHASE TWO	PHASE TWO	PHASE TWO	PHASE TWO
PERIMETER	P-1	P-2	P-1	P-2	P-3	P-4	P-5	P-6	P-7	P-8	P-9	P-10
CATEGORY	NON-RES. TO ROAD	SFA TO NON-RES.	SFD REAR TO NON-RES.	NON-RES. TO NON-RES.	SFD REAR TO NON-RES.	NON-RES. TO ROAD	NON-RES. TO NON-RES.	SFD REAR TO NON-RES.	NON-RES. TO ROAD	SFA TO ROAD	SFD TO ROAD	SFD TO ROAD
LANDSCAPE TYPE	B	A	A	A	A	A	B	A	A	B	B	B
LINEAR FEET OR ROADWAY FRONTAGE/PERIMETER	811'	952'	1459'	3598'	1221'	869'	734'	447'	1308'	1002'	60'	79'
CREDIT FOR EXISTING VEGETATION (YES, NO LINEAR FEET) DESCRIBE BELOW IF NEEDED	100%	100%	100%	100%	100%	100%	100%	100%	0	100%	0	0
CREDIT FOR WALL, FENCE OR BERM (YES, NO LINEAR FEET) DESCRIBE BELOW IF NEEDED	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO
NUMBER OF PLANTS REQUIRED	0	0	0	0	0	0	0	0	22	0	1	1
SHADE TREES	0	0	0	0	0	0	0	0	0	0	2	2
EVERGREEN TREES	0	0	0	0	0	0	0	0	0	0	2	2
SHRUBS	0	0	0	0	0	0	0	0	0	0	2	2

SCHEDULE B RESIDENTIAL PARKING LOT INTERNAL LANDSCAPING						
NUMBER OF PARKING SPACES	EXISTING PHASE ONE	EXISTING PHASE TWO	EXISTING PHASE THREE	PROPOSED PHASE FOUR	FUTURE PHASE FIVE	
24	24	12	81	19	37	
NUMBER OF TREES REQUIRED (NO)	2	1	8	2	6	
NUMBER OF TREES PROVIDED	2	2	8	---	---	

SCHEDULE C RESIDENTIAL DEVELOPMENT INTERNAL LANDSCAPING						
NUMBER OF DWELLING UNITS	EXISTING PHASE ONE	EXISTING PHASE TWO	EXISTING PHASE THREE	PROPOSED PHASE FOUR	FUTURE PHASE FIVE	
SINGLE FAMILY ATTACHED	8	23	49	50	6	
SINGLE FAMILY DETACHED	2	22	51	50	84	
TOTAL	10	45	100	100	90	
NUMBER OF TREES REQUIRED (SU SFA) (SU DU APTS)	8	23	49	50	6	
NUMBER OF TREES PROVIDED (SU SFA) (SU DU APTS)	8	23	49	---	---	

SCHEDULE D STORMWATER MANAGEMENT AREA LANDSCAPING		
LINEAR FEET OF TYPE 'B' PERIMETER	D-1: 1737'	D-2: 1331'
NUMBER OF TREES REQUIRED & PROVIDED:	1737' - 948' = 789'	1331' - 1067' = 264'
SHADE TREES	16	7
EVERGREEN TREES	20	7
CREDIT FOR EXISTING VEGETATION (NO, YES AND ID)	948'	1067'
CREDIT FOR OTHER LANDSCAPING (NO, YES AND ID)	NO	NO

LEGEND	
---	EXISTING CONTOUR 2" INTERVAL
---	PROPOSED CONTOUR 2" INTERVAL
▽	SPOT ELEVATION
□	WALKOUT BASEMENT
---	SILT FENCE
---	SUPER SILT FENCE
---	EROSION CONTROL MATTING
---	LIMIT OF DISTURBANCE
---	STREET LIGHT PER F-09-057
---	UNMITIGATED 65DBA NOISE LINE
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED SEWER
---	15% TO 24.94% Slope
☀	EXISTING LANDSCAPING PER SDF-09-037
☀	EXISTING STREET TREES PER F-09-057
---	REVERSE CUTTER PAN SLOPE
---	EXISTING STORMDRAIN
---	EXISTING SEWER
---	EXISTING WATER
---	EXISTING WATER, SEWER & UTILITY EASEMENT
☀	EXISTING STREET TREES

STREET TREE SCHEDULE				
PHASE	QUANTITY	BOTANICAL AND COMMON NAME	SIZE	COMMENTS
EXISTING	131,06 x 2 = 262,12	ACER RUBRUM 'ARMSTRONG'	2 1/2"-3" CALIBER	40' APART ALONG ADAM DAVID WAY
PHASE I	226212 / 40 = 5655	ARMSTRONG COLUMNAR RED MAPLE	2 1/2"-3" CALIBER	30' APART ALONG BARNESLEY WAY
PHASE II	950 x 2 = 1900	ACER RUBRUM 'ARMSTRONG'	2 1/2"-3" CALIBER	30' APART ALONG BARNESLEY WAY
PHASE III	1900 / 40 = 47.50	ARMSTRONG COLUMNAR RED MAPLE	2 1/2"-3" CALIBER	30' APART ALONG SOPHIA CHASE DRIVE
PHASE IV	884.78 x 2 = 1769.56	ACER RUBRUM 'ARMSTRONG'	2 1/2"-3" CALIBER	30' APART ALONG SOPHIA CHASE DRIVE
PHASE V	1969.56 / 40 = 49.23	ARMSTRONG COLUMNAR RED MAPLE	2 1/2"-3" CALIBER	30' APART ALONG GENTLE ROLLING DRIVE
PHASE VI	400 x 2 = 800	ACER RUBRUM 'ARMSTRONG'	2 1/2"-3" CALIBER	30' APART ALONG GENTLE ROLLING DRIVE
PHASE VII	800 / 40 = 20	ARMSTRONG COLUMNAR RED MAPLE	2 1/2"-3" CALIBER	30' APART ALONG GENTLE ROLLING DRIVE
PHASE VIII	982 x 2 = 1964	ACER RUBRUM 'ARMSTRONG'	2 1/2"-3" CALIBER	30' APART ALONG GENTLE ROLLING DRIVE
PHASE IX	1964 / 40 = 49	ARMSTRONG COLUMNAR RED MAPLE	2 1/2"-3" CALIBER	30' APART ALONG GENTLE ROLLING DRIVE
PHASE X	500 x 2 = 1000	ACER RUBRUM 'ARMSTRONG'	2 1/2"-3" CALIBER	30' APART ALONG GENTLE ROLLING DRIVE
PHASE XI	1000 / 40 = 25	ARMSTRONG COLUMNAR RED MAPLE	2 1/2"-3" CALIBER	30' APART ALONG GENTLE ROLLING DRIVE
PHASE XII	600 x 2 = 1200	ACER RUBRUM 'ARMSTRONG'	2 1/2"-3" CALIBER	30' APART ALONG GENTLE ROLLING DRIVE
PHASE XIII	1200 / 40 = 30	ARMSTRONG COLUMNAR RED MAPLE	2 1/2"-3" CALIBER	30' APART ALONG GENTLE ROLLING DRIVE
PHASE XIV	907.19 x 2 = 1814.38	ACER RUBRUM 'ARMSTRONG'	2 1/2"-3" CALIBER	30' APART ALONG GENTLE ROLLING DRIVE
PHASE XV	1814.38 / 40 = 45.35	ARMSTRONG COLUMNAR RED MAPLE	2 1/2"-3" CALIBER	30' APART ALONG GENTLE ROLLING DRIVE
PHASE XVI	200 x 2 = 400	ACER RUBRUM 'ARMSTRONG'	2 1/2"-3" CALIBER	30' APART ALONG GENTLE ROLLING DRIVE
PHASE XVII	400 / 40 = 10	ARMSTRONG COLUMNAR RED MAPLE	2 1/2"-3" CALIBER	30' APART ALONG GENTLE ROLLING DRIVE
PHASE XVIII	2005.22 x 2 = 4010.44	ACER RUBRUM 'ARMSTRONG'	2 1/2"-3" CALIBER	30' APART ALONG GREAT ALEXANDER STREET
PHASE XIX	4010.44 / 40 = 100.26	ARMSTRONG COLUMNAR RED MAPLE	2 1/2"-3" CALIBER	30' APART ALONG GREAT ALEXANDER STREET
PHASE XX	2715 x 2 = 5430	ACER RUBRUM 'ARMSTRONG'	2 1/2"-3" CALIBER	30' APART ALONG GREAT ALEXANDER STREET
PHASE XXI	5430 / 40 = 135.75	ARMSTRONG COLUMNAR RED MAPLE	2 1/2"-3" CALIBER	30' APART ALONG GREAT ALEXANDER STREET
PHASE XXII	1945.73 x 2 = 3891.46	ACER RUBRUM 'ARMSTRONG'	2 1/2"-3" CALIBER	30' APART ALONG GREAT ALEXANDER STREET
PHASE XXIII	3891.46 / 40 = 97.28	ARMSTRONG COLUMNAR RED MAPLE	2 1/2"-3" CALIBER	30' APART ALONG GREAT ALEXANDER STREET
PHASE XXIV	713.19 x 2 = 1426.38	ACER RUBRUM 'ARMSTRONG'	2 1/2"-3" CALIBER	30' APART ALONG WALKING JANELLE WAY
PHASE XXV	1426.38 / 40 = 35.65	ARMSTRONG COLUMNAR RED MAPLE	2 1/2"-3" CALIBER	30' APART ALONG WALKING JANELLE WAY
PHASE XXVI	280.37 x 2 = 560.74	ACER RUBRUM 'ARMSTRONG'	2 1/2"-3" CALIBER	30' APART ALONG IRVING GAMBLE ROAD
PHASE XXVII	560.74 / 40 = 14.02	ARMSTRONG COLUMNAR RED MAPLE	2 1/2"-3" CALIBER	30' APART ALONG IRVING GAMBLE ROAD
PHASE XXVIII	279.59 x 2 = 559.18	ACER RUBRUM 'ARMSTRONG'	2 1/2"-3" CALIBER	30' APART ALONG NOAH FINN ROAD
PHASE XXIX	559.18 / 40 = 13.97	ARMSTRONG COLUMNAR RED MAPLE	2 1/2"-3" CALIBER	30' APART ALONG NOAH FINN ROAD
PHASE XXX	631.51 x 2 = 1263.02	ACER RUBRUM 'ARMSTRONG'	2 1/2"-3" CALIBER	30' APART ALONG SOPHIA CHASE DRIVE
PHASE XXXI	1263.02 / 40 = 31.57	ARMSTRONG COLUMNAR RED MAPLE	2 1/2"-3" CALIBER	30' APART ALONG SOPHIA CHASE DRIVE

LANDSCAPING PLANT LIST (SCHEDULE A, B & C)				
SYMBOL	QUANTITY	BOTANICAL AND COMMON NAME	SIZE	COMMENTS
☀	232	ACER RUBRUM 'OCTOBER GLORY' RED MAPLE	2 1/2"-3" CAL.	40' APART ALONG ROADS
☀	314	ACER RUBRUM 'ARMSTRONG' ARMSTRONG COLUMNAR RED MAPLE	2 1/2"-3" CAL.	40' APART ALONG ROADS
☀	51	ACER RUBRUM 'RED SUNSET' RED MAPLE	2 1/2"-3" CAL.	40' APART ALONG PERIMETER 5
☀	33	PICEA ABIES (NORWAY SPRUCE)	6'-8' HGT.	20' APART ALONG PERIMETER 5
☀	42	ACER RUBRUM 'ARMSTRONG' ARMSTRONG COLUMNAR RED MAPLE	2 1/2"-3" CAL.	NEAR PROPOSED UNITS AND PARKING AREAS

NOTE: APFO PHASE II
THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY RELATED TO APFO PHASE II FOR THE 28 REQUIRED INTERNAL LANDSCAPE TREES, 2 REQUIRED PARKING LANDSCAPE TREES, 32 REQUIRED PERIMETER LANDSCAPE TREES, 40 REQUIRED SWM LANDSCAPE TREES AND THE REQUIRED 73 PRIVATE ROAD STREET TREES HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$49,950.00.

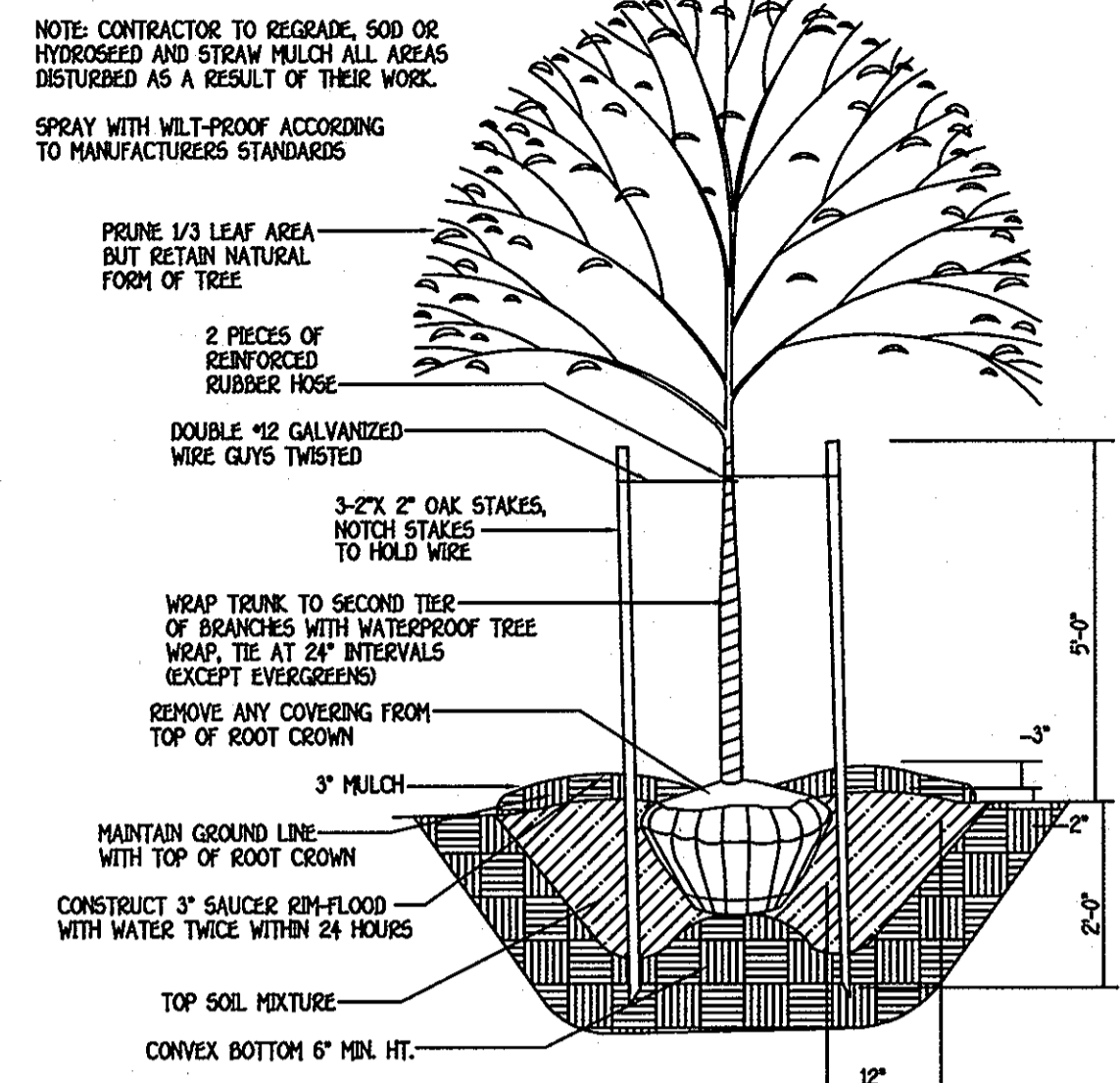
NOTE: APFO PHASE III
THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY RELATED TO APFO PHASE III FOR THE 49 REQUIRED INTERNAL LANDSCAPE TREES, 8 REQUIRED PARKING LANDSCAPE TREES, 40 REQUIRED PERIMETER LANDSCAPE TREES, AND THE REQUIRED 223 PRIVATE ROAD STREET TREES HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$84,000.00.

NOTE: APFO PHASE IV
THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY RELATED TO APFO PHASE IV FOR THE 50 REQUIRED INTERNAL LANDSCAPE TREES, 2 REQUIRED PARKING LANDSCAPE TREES, AND THE REQUIRED 157 PRIVATE ROAD STREET TREES HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$62,700.00.

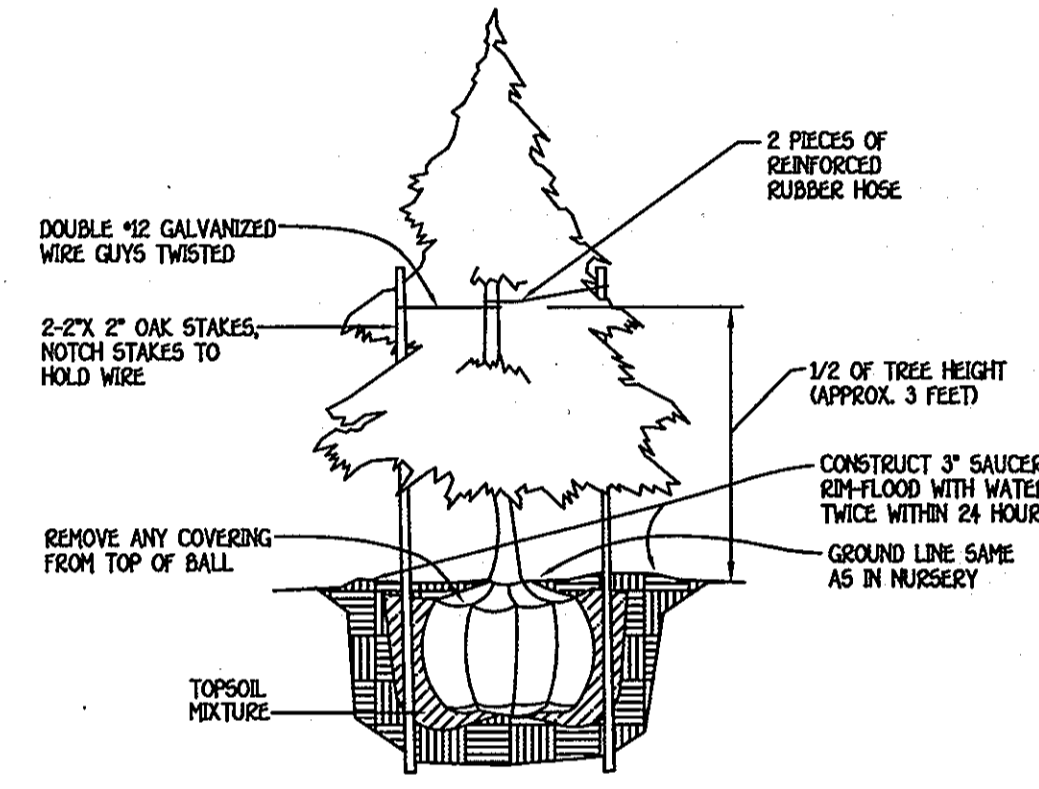
DEVELOPER'S / BUILDER'S CERTIFICATE
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A LETTER OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

[Signature]
NAME

11/14/12
DATE



TREE PLANTING DETAIL
NOT TO SCALE



EVERGREEN PLANTING DETAIL
NOT TO SCALE

PLANTING SPECIFICATIONS

PLANTS, RELATED MATERIALS, AND OPERATIONS SHALL MEET THE DETAILED DESCRIPTION AS GIVEN ON THE PLANS AND AS DESCRIBED HEREIN.

ALL PLANT MATERIALS, UNLESS OTHERWISE SPECIFIED, SHALL BE NURSERY GROWN, UNROOTED BRANCHES HAVE A NECESSARY ROOT SYSTEM, AND SHALL CONFORM TO THE SPECIES, SIZE, SEED, AND GROWTH HABIT AS LISTED AND THE ASSOCIATED ASSOCIATION OF NURSERYMEN (A.N.S.) STANDARDS. PLANT MATERIALS SHALL BE HEALTHY, VIGOROUS, FREE FROM DISEASE, INJURY, OR DEFOLIATION. BRANCHES SHALL BE FULLY DEVELOPED, UNIFORM IN GROWTH, AND ALL TOPS OF BRANCHES SHALL BE FULLY DEVELOPED. PLANT MATERIALS THAT ARE NOT HEALTHY, VIGOROUS, OR FREE FROM DISEASE, INJURY, OR DEFOLIATION SHALL NOT BE ACCEPTED. TREES WITH FROZEN LEAVES SHALL NOT BE ACCEPTED. ALL PLANTS SHALL BE FREELY DIAL NO HEALTHY PLANTS FROM COLD STORAGE WILL BE ACCEPTED.

UNLESS OTHERWISE SPECIFIED, ALL GENERAL CONDITIONS, PLANTING OPERATIONS, DETAILS AND PLANTING SPECIFICATIONS SHALL CONFORM TO LANDSCAPE SPECIFICATION GUIDELINES FOR HEALTHY-MAINTAINED METROPOLITAN AREAS, REVISED STREET TREE AND LANDSCAPE SPECIFICATIONS APPROVED BY THE LANDSCAPE CONTRACTOR ASSOCIATION OF METROPOLITAN WASHINGTON AND THE FUTURE CHAPTER OF THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS, LATEST EDITION, INCLUDING ALL ADDENDA.

CONTRACTOR SHALL BE RESPONSIBLE TO GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR AFTER DATE OF ACCEPTANCE IN ACCORDANCE WITH THE APPROPRIATE SECTION OF THE LANDSCAPE SPECIFICATIONS. CONTRACTOR'S ATTENTION IS DIRECTED TO THE MAINTENANCE REQUIREMENTS FOUND WITHIN THE ONE YEAR SPECIFICATIONS INCLUDING WATERING AND REPLACEMENT OF SPECIFIED PLANT MATERIAL.

CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES, UTILITY CONTRACTORS, AND "POSSIBLE UTILITY" A MINIMUM OF 48 HOURS PRIOR TO BEGINNING ANY WORK. CONTRACTOR SHALL MAKE PRIOR ARRANGEMENTS IN ORDER AND LOCATION OF PLANT MATERIAL. TO AVOID CONFLICTS WITH UTILITIES, UTILITY TO EXISTING STRUCTURE, AND UTILITIES SHALL BE SHOWN AT THE DISCRETION OF THE CONTRACTOR.

PROTECTION OF EXISTING VEGETATION TO REMAIN SHALL BE ACCOMPLISHED BY THE TEMPORARY INSTALLATION OF A FOUR FOOT HIGH FENCE OR BLAZE ORANGE SAFETY FENCE AT THE JOB SITE.

CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL MATERIAL IN THE PROPER PLANTING SEASON FOR EACH PLANT TYPE. ALL PLANTING IS TO BE COMPLETED WITHIN THE GROWING SEASON OF COMPLETION OF SITE CONSTRUCTION.

SO SHALL BE BASED ON ACTUAL SITE CONDITIONS. NO EXTRA PAYMENT SHALL BE MADE FOR WORK ARISING FROM SITE CONDITIONS DIFFERING FROM THOSE INDICATED ON DRAWINGS AND SPECIFICATIONS.

PLANT QUANTITIES ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON PLAN AND THOSE SHOWN ON THE PLANT LIST, THE QUANTITIES OF THE PLAN TAKE PRECEDENCE.

ALL GRASSES SHALL BE PLANTED IN CONTAINERS, TRUCKS OR PREPARED PLANTING BEDS AND MULCHED WITH COMPOSTED WOODSHED MULCH AS DETAILS AND SPECIFIED EXCEPT WHERE NOTED ON PLANS.

POSITIVE DRAINAGE SHALL BE MAINTAINED IN PLANTING BEDS 2 PERCENT SLOPE.

PLANTING BED SHALL BE AS FOLLOWS: EXPOSED PLANTS - TWO PARTS TOPSOIL, ONE PART WELL-AERATED COM OR COARSE SAND, AND 1/2 LBS OF CHLOROPHYLL FERTILIZER PER CUBIC YARD OF PLANTING BED. PERENNIAL PLANTS - TWO PARTS TOPSOIL, ONE PART WOOD CHIPS OR COARSE SAND, AND 1/2 LBS OF CHLOROPHYLL FERTILIZER PER CUBIC YARD OF PLANTING BED. TOPSOIL SHALL CONFORM TO THE LANDSCAPE SPECIFICATIONS.

WOOD CHIPS: INCORPORATE A PER-ACETIC ACID TREATMENT INTO THE PLANTING BED FOLLOWING RECOMMENDED RATES ON THE LABEL. CAUTION: BE SURE TO CAREFULLY CHECK THE OPERATOR'S MANUAL TO ASSURE THE SAFETY OF THE TREATMENT.

ALL AREAS WITHIN CONTRACT LIMITS DISTURBED DURING OR PRIOR TO CONSTRUCTION NOT DESIGNATED TO RECEIVE PLANTS AND MULCH SHALL BE FINE GRADED AND SEEDING.

THIS PLAN IS INTENDED FOR LANDSCAPE USE ONLY. SEE OTHER PLAN SHEETS FOR MORE INFORMATION ON GRADING, SURVEY CONTROL, LAYOUT, ETC.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
NATIONAL SQUARE OFFICE PARK - 10724 BAY TOWNE NATIONAL PARK
ELLICOTT CITY, MARYLAND 21042
(410) 461-2955



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 9/3/14.

[Signature]
TERRELL A. FISHER, PROFESSIONAL ENGINEER

11/14/12
DATE

BUILDERS	
NV HOMES 6085 MARSHALEE DRIVE SUITE 130 ELKRODGE, MD. 21075 410-379-5956	RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELKRODGE, MD. 21075 410-379-5956
DEVELOPER	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422	
OWNERS	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING					
Chief, Division of Land Development	<i>[Signature]</i>	12/19/12	DATE		
Chief, Department Engineering Division	<i>[Signature]</i>	12/19/12	DATE		
Director - Department of Planning and Zoning	<i>[Signature]</i>	12/19/12	DATE		
PROJECT	SECTION	PARCEL NO. "E"	PHASE I & II	PHASE I & II	PHASE I & II
GTW'S WAVERLY WOODS	14	14	14	14	14
PLAT 21427-21435 AND 22082-22089	BLOCK NO. 3 & 4	ZONE PSC	TAX/ZONE 16	ELEC. DIST. THRD	CENSUS TR. 60300
WATER CODE K-02	SEWER CODE 5992000				

REVISED STREET TREE AND LANDSCAPE NOTES AND DETAILS

AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS

SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASE I & II LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 165 & PHASES IV & V - UNITS 80 THRU 119, 153 THRU 161, 196 THRU 200, 237 THRU 239, 268 THRU 271, 282 THRU 285, & 290 THRU 328
TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES
ZONING: PSC

TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
SHEET 66 OF 100



LEGEND

SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
---	SPOT ELEVATION
---	WALKOUT BASEMENT
---	SILT FENCE
---	SUPER SILT FENCE
---	EROSION CONTROL MATTING
---	LIMIT OF DISTURBANCE
---	STREET LIGHT PER F-09-057
---	UNMITIGATED 65DBA NOISE LINE
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED SEWER
---	15% to 24.9% Slope
---	EXISTING LANDSCAPING PER SDP-09-037
---	EXISTING STREET TREES PER F-09-057
---	REVERSE GUTTER PAN SLOPE
---	EXISTING STORMDRAIN
---	EXISTING SEWER
---	EXISTING WATER
---	EXISTING WATER/SEWER & UTILITY EASEMENT
---	EXISTING STREET TREES

SCALE 1"=50'

NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFON HALL	9/28/12
2	REV. PER ADDITION APPRO PHASE 4 BLDGS & 5-06-13 PHASING TAB	12/19/11
3	AND ADJUSTMENTS ASSOCIATED WITH INTERIOR TOWNHOUSE UNIT AND RELOCATE PUBLIC SEWER	12/6/10
1	REV. PER ADDITION APPRO PHASE 3 BLDGS & 5-06-13 PHASING TAB	3/24/10



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/3/14.

Terrell A. Fisher 11/14/12
 TERRELL A. FISHER, PROFESSIONAL ENGINEER DATE

BUILDERS	
NV HOMES 6005 MARSHALEE DRIVE SUITE 140 ELK RIDGE, MD 21075 410-379-5956	RYAN HOMES 6005 MARSHALEE DRIVE SUITE 140 ELK RIDGE, MD 21075 410-379-5956
DEVELOPER	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-367-0422	
OWNERS	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-367-0422	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

V. J. ... 11/14/12
 Chief, Division of Land Development Date

... 12/19/11
 Chief, Development Engineering Division Date

... 12/19/11
 Director - Department of Planning and Zoning Date

PROJECT	SECTION	PARCEL NO. "E"
GTW'S WAVERLY WOODS	14	10002 5 12 119 153 161 198 200 237 239 268 THRU 271 282 THRU 285 & 290 THRU 329
PLAT 21427 AND 22089	BLOCK NO. 3 & 4	ZONE PSC
TAX/ZONE	ELEC. DIST.	CENSUS TR.
16	THIRD	60300
WATER CODE K-02	SEWER CODE 5992000	

REVISED
STREET TREE AND LANDSCAPE PLAN

AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS

SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 165 &
 PHASES IV & V - UNITS 60 THRU 119, 153 THRU 161, 198 THRU 200,
 237 THRU 239, 268 THRU 271, 282 THRU 285, & 290 THRU 329
 TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES

TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
 SHEET 67 OF 100 SDP-09-039

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10275 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 410-481-2895

MATCH LINE SEE SHEET 70

MATCH LINE SEE SHEET 67

LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
•	SPOT ELEVATION
---	WALKOUT BASEMENT
-SF-SF-	SILT FENCE
-SSF-SSF-	SUPER SILT FENCE
---	EROSION CONTROL MATTING
---	LIMIT OF DISTURBANCE
⊙	STREET LIGHT PER F-09-057
---	UNMITIGATED 65DBA NOISE LINE
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED SEWER
---	15% to 24.9% Slope
	EXISTING LANDSCAPING PER S0P-09-037
	EXISTING STREET TREES PER F-09-057
---	REVERSE GUTTER PAN SLOPE
---	EXISTING STORMDRAIN
---	EXISTING SEWER
---	EXISTING WATER
---	EXISTING WATER,SEWER & UTILITY EASEMENT
	EXISTING STREET TREES

P2

P1

Open Space
Lot 1
31,775 Sq. ft.
OR
0.729 Ac.
TO BE DEDICATED TO
HOWARD COUNTY,
MARYLAND

SCALE
1"=50'

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK • 1872 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042
410 461-2955



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/3/14.

Terrell A. Fisher 11/14/12
TERRELL A. FISHER, PROFESSIONAL ENGINEER DATE

BUILDERS

NV HOMES 6085 MARSHALLEE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-9956
RYAN HOMES 6085 MARSHALLEE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-9956

DEVELOPER

WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLICOTT CITY, MARYLAND 21042
443-367-0422

OWNERS

WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLICOTT CITY, MARYLAND 21042
443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Keith Schuch 12/19/12
Chief, Department of Planning and Zoning DATE

Michael J. Lewis 12/19/12
Chief, Development Engineering Division DATE

Michael J. Lewis 12/19/12
Director - Department of Planning and Zoning DATE

PROJECT	SECTION	PARCEL NO. 'E'		
GTW'S WAVERLY WOODS	14	1400-001-001-001		
PLAT 21427 - BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
21435 AND 22089	3 & 4	PSC	16	THIRD
WATER CODE	SEWER CODE			
K-02	5992000			

REVISED
STREET TREE AND LANDSCAPE PLAN

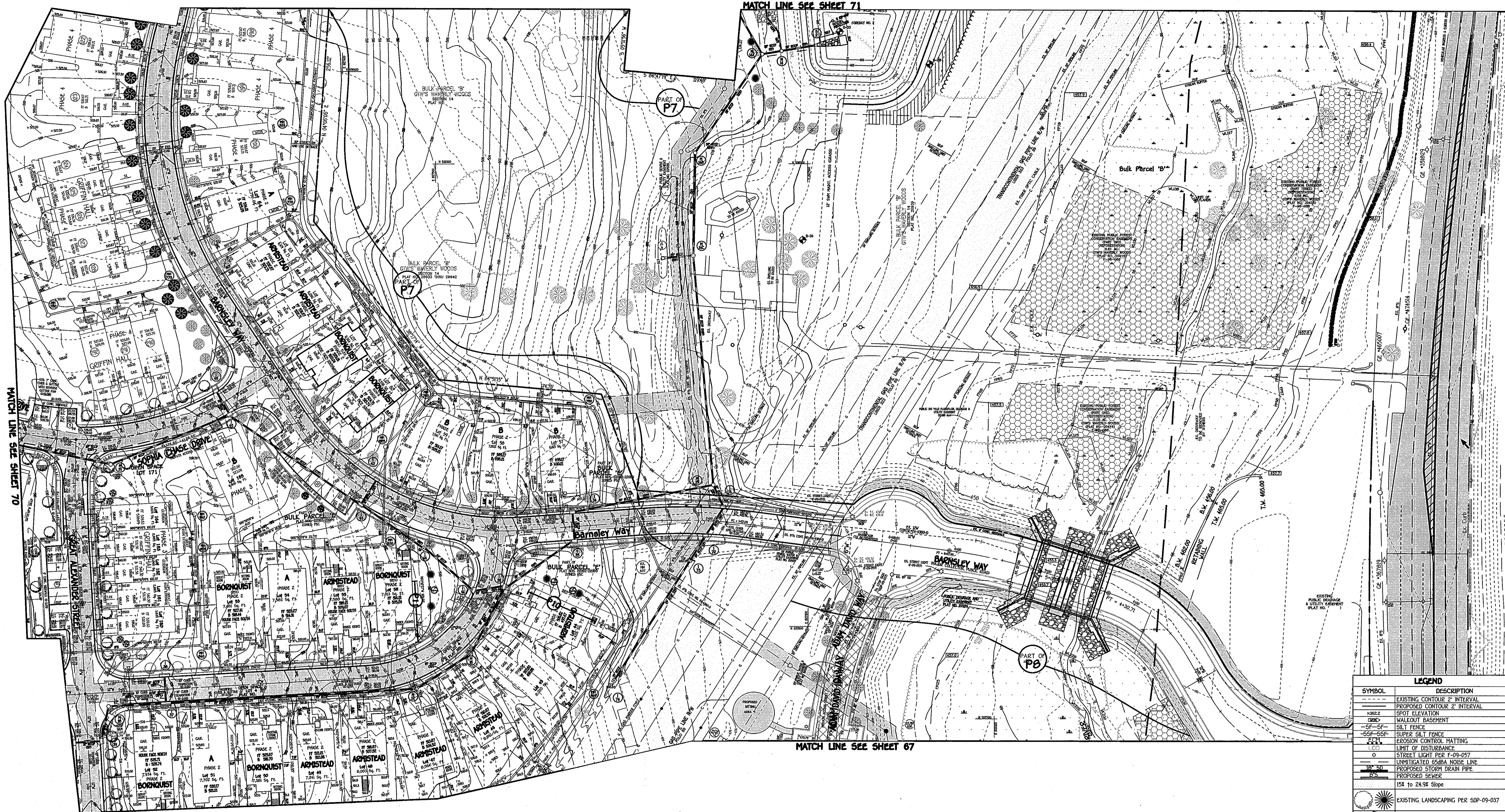
AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
SECTION 14

"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 165 &
PHASES IV & V - UNITS 80 THRU 119, 153 THRU 161, 196 THRU 200,
237 THRU 239, 260 THRU 271, 282 THRU 285, & 290 THRU 328

TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES
ZONING: PSC
TAX MAP NO. 16 GRID NO. 3 & 4 PARCEL NO. PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
SHEET 68 OF 100

S0P-09-039

NO.	REVISION	DATE
4	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRYFFIN HALL	9/28/12
3	REV. PER ADDITION APPO PHASE 4 BLDGS & 5-06-13 PHASING TAB AND ADJUSTMENTS ASSOCIATED WITH INTERIOR TOWNHOUSE UNIT.	12/19/11
2	REV. TO ADD THE SPOT ELEVATION KEY EASEMENT PER F-10-113 AND RELOCATE PUBLIC SEWER.	12/6/10
1	REV. PER ADDITION APPO PHASE 3 BLDGS & 5-06-13 PHASING TAB	3/24/10



LEGEND

SYMBOL	DESCRIPTION
(---)	EXISTING CONTOUR 2' INTERVAL
(---)	PROPOSED CONTOUR 2' INTERVAL
(x)	SPOT ELEVATION
(---)	WALKOUT BASEMENT
(---)	SILT FENCE
(---)	SUPER SILT FENCE
(---)	EROSION CONTROL MATTING
(---)	LIMIT OF DISTURBANCE
(---)	STREET LIGHT PER F-09-057
(---)	UNMITIGATED 55DBA NOISE LINE
(---)	PROPOSED STORM DRAIN PIPE
(---)	PROPOSED SEWER
(---)	15% TO 24.9% Slope
(---)	EXISTING LANDSCAPING PER SDP-09-037
(---)	EXISTING STREET TREES PER F-09-057
(---)	REVERSE GUTTER PAN SLOPE
(---)	EXISTING STORMDRAIN
(---)	EXISTING SEWER
(---)	EXISTING WATER
(---)	EXISTING WATER/SEWER & UTILITY EASEMENT
(---)	EXISTING STREET TREES

SCALE
1"=50'

REVISED

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10725 BALTIMORE NATIONAL FEE
ELLCOTT CITY, MARYLAND 21042
(410) 481-2255

NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
3	REV. PER ADDITION APPD PHASE 4 BLOCKS & 5-06-13 PHASING TAB	12/19/12
2	REV. TO ADD FEE SIMPLE LOTS REV EXISTENT PER F-10-113 AND RELOCATE PUBLIC SEWER	12/16/12
1	REV. PER ADDITION APPD PHASE 3 BUDGS & 5-06-13 PHASING TAB	3/24/10



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/3/14.

Terrell A. Fisher 11/14/12 DATE
TERRELL A. FISHER, PROFESSIONAL ENGINEER

BUILDERS	
NV HOMES 6005 MARSHALEE DRIVE SUITE 140 ELKRDGE, MD. 21075 410-379-5956	RYAN HOMES 6005 MARSHALEE DRIVE SUITE 140 ELKRDGE, MD. 21075 410-379-5956
DEVELOPER	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-367-0422	
OWNERS	
WAVERLY WOODS DEVELOPMENT CORPORATION, C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-367-0422	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Neil Shalvick 12/19/12 DATE
Chief, Division of Land Development

Mark A. Long 12/16/12 DATE
Chief, Development Engineering Division
Director - Department of Planning and Zoning

PROJECT	SECTION	PARCEL NO. "E"
GTW'S WAVERLY WOODS	J4	PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 165 & PHASE IV & V - UNITS 60 THRU 119, 153 THRU 161, 196 THRU 200, 237 THRU 239, 266 THRU 271, 282 THRU 285, & 290 THRU 326
PLAT 21427 - 21435 AND 22082 - 22089	BLOCK NO. 3 & 4	ZONE PSC
TAX/ZONE	ELEC. DIST.	CENSUS TR.
16	THIRD	60300
WATER CODE	SEWER CODE	
K-02	5992000	

STREET TREE AND LANDSCAPE PLAN

**AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS**

SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 165 &
PHASE IV & V - UNITS 60 THRU 119, 153 THRU 161, 196 THRU 200,
237 THRU 239, 266 THRU 271, 282 THRU 285, & 290 THRU 326
TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES

TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
SHEET 69 OF 100 SDP-09-039

MATCH LINE SEE SHEET 72

MATCH LINE SEE SHEET 69

MATCH LINE SEE SHEET 60

LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
•	SPOT ELEVATION
---	WALKOUT BASEMENT
SF-SF	SILT FENCE
SF-SF	SURF SILT FENCE
---	EROSION CONTROL MATTING
---	LIMIT OF DISTURBANCE
○	STREET LIGHT PER F-09-057
---	UNMITIGATED 65DBA NOISE LINE
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED SEWER
---	15% to 24.9% Slope
☀	EXISTING LANDSCAPING PER SDP-09-037
☀	EXISTING STREET TREES PER F-09-057
---	REVERSE GUTTER PAN SLOPE
---	EXISTING STORMDRAIN
---	EXISTING SEWER
---	EXISTING WATER
---	EXISTING WATER/SEWER & UTILITY EASEMENT
☀	EXISTING STREET TREES



SCALE 1"=50'

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 1072 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21114
 410 481-2899

NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER F-10-099 AND ADD GRIFFIN HALL	9/28/12
3	REV. PER ADDITION APFO PHASE 4 BLDGS & 5-06-13 PHASING TAB AND ADJUSTMENTS ASSOCIATED WITH INTERIOR TOWNHOUSE UNIT.	12/19/11
2	REV. TO ADD FEE SIMPLE LOTS PER F-10-113	1/12/11
1	REV. PER ADDITION OF APFO PHASE 3 BLDGS & 5-06-13 PHASING TAB	3/24/10



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/3/14.

Terrell A. Fisher 11/14/12 DATE
 TERRELL A. FISHER, PROFESSIONAL ENGINEER

BUILDERS
 NV HOMES 6095 MARSHALEE DRIVE SUITE 130 ELKDRIDGE, MD. 21075 410-379-5956
 RYAN HOMES 6095 MARSHALEE DRIVE SUITE 140 ELKDRIDGE, MD. 21075 410-379-5956

DEVELOPER
 WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 443-367-0422

OWNERS
 WAVERLY WOODS DEVELOPMENT CORPORATION,
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Kathleen 11/14/12 DATE
 Chief, Division of Land Development

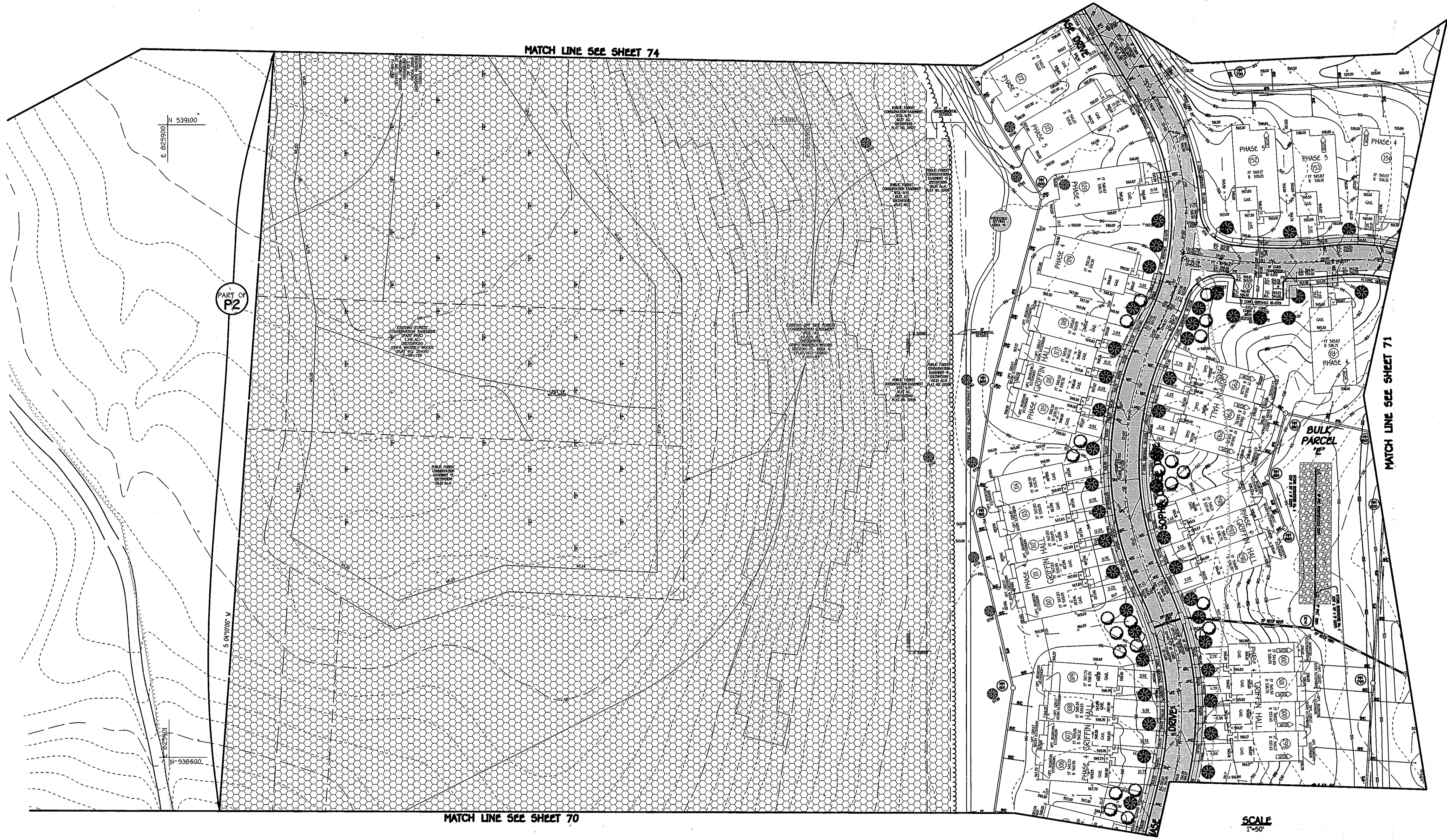
Frank A. C. Kelly 12/10/12 DATE
 Chief, Development Engineering Division
 Director - Department of Planning and Zoning

PROJECT	SECTION	PARCEL NO. "E"
GTW'S WAVERLY WOODS	14	1405 5 12 THRU 39, 44 THRU 86 & 88 THRU 165 & PHASE II & V - UNITS 80 THRU 119, 153 THRU 161, 196 THRU 200, 237 THRU 239, 268 THRU 271, 282 THRU 285, & 290 THRU 320
PLAT 21427 AND 22089	BLOCK NO. 3 & 4	ZONE PSC
WATER CODE K-02	TAX/ZONE 16	ELEC. DIST. THRD
	SEWER CODE 5992000	CENSUS TR. 60300

REVISED STREET TREE AND LANDSCAPE PLAN

AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
 SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 165 & PHASES IV & V - UNITS 80 THRU 119, 153 THRU 161, 196 THRU 200, 237 THRU 239, 268 THRU 271, 282 THRU 285, & 290 THRU 320
 TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES

TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
 SHEET 70 OF 100 SDP-09-039



LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
•	SPOT ELEVATION
---	WALKOUT BASEMENT
---	SILT FENCE
---	SAIPEZ SILT FENCE
---	EROSION CONTROL MATTING
---	LIMIT OF DISTURBANCE
---	STREET LIGHT PER F-09-057
---	UNMITIGATED 65DBA NOISE LINE
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED SEWER
---	15X TO 24.9X Slope
☀	EXISTING LANDSCAPING PER SDP-09-037
☀	EXISTING STREET TREES PER F-09-057
---	REVERSE GUTTER PAN SLOPE
---	EXISTING STORMDRAIN
---	EXISTING SEWER
---	EXISTING WATER
---	EXISTING WATER, SEWER & UTILITY BASEMENT
☀	EXISTING STREET TREES

NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-099 AND ADD GRIFFIN HALL	9/28/12
3	REV. PER ADDITION TO PHASE 4 BLDGS & 5-09-13 PHASING TAB AND ADJUSTMENTS ASSOCIATED WITH INTERIOR TOWNHOUSE UNIT.	12/19/11
2	REV. TO ADD FEE SIMPLE LOTS PER F-10-113	1/12/11
1	REV. PER ADDITION OF APFO PHASE 3 BLDGS & 5-06-13 PHASING TAB	3/24/10



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Terrell A. Fisher 11/14/12
 TERRELL A. FISHER, PROFESSIONAL ENGINEER DATE

BUILDERS	
NV HOMES 6005 MARSHALEE DRIVE SUITE 130 ELKRDIDGE, MD. 21075 410-379-5956	RYAN HOMES 6005 MARSHALEE DRIVE SUITE 140 ELKRDIDGE, MD. 21075 410-379-5956
DEVELOPER	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-367-0422	
OWNERS	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-367-0422	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

John Schuch 12/14/12
 Chief, Division of Land Development DATE

Mark D. Weger 12/14/12
 Chief, Development Engineering Division DATE

Director - Department of Planning and Zoning

PROJECT	SECTION	PARCEL NO. "E"			
GTW'S WAVERLY WOODS	14	PHASE 3 BLDGS 113 THRU 118 PHASE 4 BLDGS 119 THRU 124 PHASE 5 BLDGS 125 THRU 130			
PLAT 21427	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
21435 AND 22082	3 & 4	PSC	16	THIRD	60300
WATER CODE	SEWER CODE				
K-02	5992000				

REVISED
 STREET TREE AND LANDSCAPE PLAN

AGE RESTRICTED ADULT HOUSING
 GTW'S WAVERLY WOODS

SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 165 &
 PHASES IV & V - LOTS 80 THRU 119, 153 THRU 161, 196 THRU 200,
 237 THRU 239, 286 THRU 271, 282 THRU 285, & 290 THRU 329
 TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES

TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
 SHEET 72 OF 100

SDP-09-039

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10775 BALTIMORE NATIONAL PkE.
 ELLICOTT CITY, MARYLAND 21042
 410 461 - 2955



LEGEND	
SYMBOL	DESCRIPTION
--- (dashed line)	EXISTING CONTOUR 2' INTERVAL
--- (dashed line)	PROPOSED CONTOUR 2' INTERVAL
• (dot)	SPOT ELEVATION
--- (dashed line)	WALKOUT BASEMENT
--- (dashed line)	SILT FENCE
--- (dashed line)	SUPER SILT FENCE
--- (dashed line)	EROSION CONTROL MATTING
--- (dashed line)	LIMIT OF DISTURBANCE
○ (circle)	STREET LIGHT PER F-09-057
--- (dashed line)	UNMITIGATED 65DBA NOISE LINE
--- (dashed line)	PROPOSED STORM DRAIN PIPE
--- (dashed line)	PROPOSED SEWER
--- (dashed line)	15% to 24.9% Slope
☀ (sun symbol)	EXISTING LANDSCAPING PER SDP-09-037
🌳 (tree symbol)	EXISTING STREET TREES PER F-09-057
--- (dashed line)	REVERSE GUTTER PAN SLOPE
--- (dashed line)	EXISTING STORMDRAIN
--- (dashed line)	EXISTING SEWER
--- (dashed line)	EXISTING WATER
--- (dashed line)	EXISTING WATER/SEWER & UTILITY EASEMENT
🌳 (tree symbol)	EXISTING STREET TREES

SCALE
1"=50'

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10775 BALTIMORE NATIONAL FREE
ELLCOTT CITY, MARYLAND 21042
410 481 - 2999



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/3/14.
Terrell A. Fisher 11/14/12 DATE
TERRELL A. FISHER, PROFESSIONAL ENGINEER

NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-009 AND ADD GRIFFIN HALL	9/28/12

BUILDERS	
NV HOMES 6005 MARSHALEE DRIVE SUITE 130 ELK RIDGE, MD 21075 410-379-5956	RYAN HOMES 6005 MARSHALEE DRIVE SUITE 140 ELK RIDGE, MD 21075 410-379-5956
DEVELOPER	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-367-0422	
OWNERS	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-367-0422	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Howard 12/15/12
Chief, Division of Land Development

Mark 12/15/12
Chief, Development Engineering Division

Director - Department of Planning and Zoning

PROJECT	SECTION	PARCEL NO. "E"
GTW'S WAVERLY WOODS	14	PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 105 & PHASES IV & V - UNITS 80 THRU 119, 153 THRU 161, 196 THRU 200, 237 THRU 239, 260 THRU 271, 282 THRU 285, & 290 THRU 320
PLAT 21427 AND 22082	BLOCK NO. 3 & 4	ZONE PSC
TAX/ZONE 16	ELEC. DIST. THIRD	CENSUS TR. 60300
WATER CODE K-02	SEWER CODE 5992000	

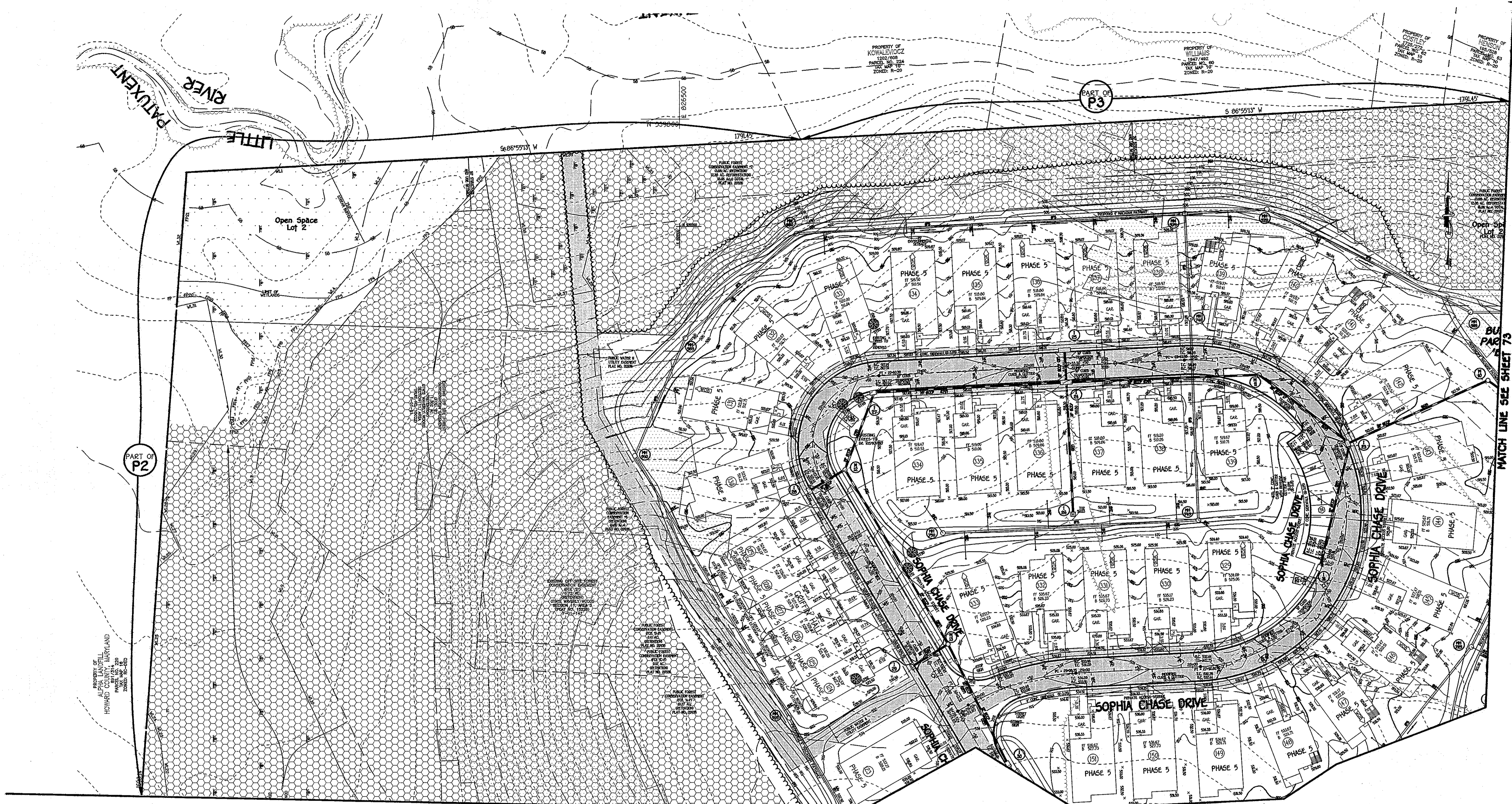
REVISED
STREET TREE AND LANDSCAPE PLAN

AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS

SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 105 & PHASES IV & V - UNITS 80 THRU 119, 153 THRU 161, 196 THRU 200, 237 THRU 239, 260 THRU 271, 282 THRU 285, & 290 THRU 320
TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES

TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
SHEET 73 OF 100

SDP-09-039



LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
•	SPOT ELEVATION
---	WALKOUT BASEMENT
---	SILT FENCE
---	SUPER SILT FENCE
---	EROSION CONTROL MATTING
---	LIMIT OF DISTURBANCE
---	STREET LIGHT PER F-09-057
---	UNMITIGATED OSDA NOISE LINE
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED SEWER
---	15% to 24.9% Slope
---	EXISTING LANDSCAPING PER SDP-09-037
---	EXISTING STREET TREES PER F-09-057
---	REVERSE GUTTER PAN SLOPE
---	EXISTING STORMDRAIN
---	EXISTING SEWER
---	EXISTING WATER
---	EXISTING WATER, SEWER & UTILITY EASEMENT
---	EXISTING STREET TREES

MATCH LINE SEE SHEET 72

SCALE
1"=50'

REVISED

<p>FISHER, COLLINS & CARTER, INC. CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS CENTRAL SQUARE OFFICE PARK - 10775 BALTIMORE NATIONAL PIKE ELLICOTT CITY, MARYLAND 21042 (410) 481-2855</p>	NO.	REVISION	DATE
	1	REV. TO ADD FEE SIMPLE LOTS PER T-12-009 AND ADD GRIFFIN HALL	9/28/12



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/3/14.

Terrell A. Fisher 11/14/12
TERRELL A. FISHER, PROFESSIONAL ENGINEER DATE

BUILDERS	
NV HOMES 6095 MARSHALEE DRIVE SUITE 140 ELK RIDGE, MD 21075 410-379-5956	RYAN HOMES 6095 MARSHALEE DRIVE SUITE 140 ELK RIDGE, MD 21075 410-379-5956
DEVELOPER	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422	
OWNERS	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING					
<i>Victor DeLoach</i> Chief, Division of Land Development Date: 12/10/12		<i>Terrell A. Fisher</i> Chief, Development Engineering Division Date: 12/10/12			
Director - Department of Planning and Zoning					
PROJECT	SECTION	PARCEL NO. "E"	ZONING: PSC		
GTW'S WAVERLY WOODS	14	6095, 6105, 6115, 6125, 6135, 6145, 6155, 6165, 6175, 6185, 6195, 6205, 6215, 6225, 6235, 6245, 6255, 6265, 6275, 6285, 6295, 6305, 6315, 6325, 6335, 6345, 6355, 6365, 6375, 6385, 6395, 6405, 6415, 6425, 6435, 6445, 6455, 6465, 6475, 6485, 6495, 6505, 6515, 6525, 6535, 6545, 6555, 6565, 6575, 6585, 6595, 6605, 6615, 6625, 6635, 6645, 6655, 6665, 6675, 6685, 6695, 6705, 6715, 6725, 6735, 6745, 6755, 6765, 6775, 6785, 6795, 6805, 6815, 6825, 6835, 6845, 6855, 6865, 6875, 6885, 6895, 6905, 6915, 6925, 6935, 6945, 6955, 6965, 6975, 6985, 6995, 7005, 7015, 7025, 7035, 7045, 7055, 7065, 7075, 7085, 7095, 7105, 7115, 7125, 7135, 7145, 7155, 7165, 7175, 7185, 7195, 7205, 7215, 7225, 7235, 7245, 7255, 7265, 7275, 7285, 7295, 7305, 7315, 7325, 7335, 7345, 7355, 7365, 7375, 7385, 7395, 7405, 7415, 7425, 7435, 7445, 7455, 7465, 7475, 7485, 7495, 7505, 7515, 7525, 7535, 7545, 7555, 7565, 7575, 7585, 7595, 7605, 7615, 7625, 7635, 7645, 7655, 7665, 7675, 7685, 7695, 7705, 7715, 7725, 7735, 7745, 7755, 7765, 7775, 7785, 7795, 7805, 7815, 7825, 7835, 7845, 7855, 7865, 7875, 7885, 7895, 7905, 7915, 7925, 7935, 7945, 7955, 7965, 7975, 7985, 7995, 8005, 8015, 8025, 8035, 8045, 8055, 8065, 8075, 8085, 8095, 8105, 8115, 8125, 8135, 8145, 8155, 8165, 8175, 8185, 8195, 8205, 8215, 8225, 8235, 8245, 8255, 8265, 8275, 8285, 8295, 8305, 8315, 8325, 8335, 8345, 8355, 8365, 8375, 8385, 8395, 8405, 8415, 8425, 8435, 8445, 8455, 8465, 8475, 8485, 8495, 8505, 8515, 8525, 8535, 8545, 8555, 8565, 8575, 8585, 8595, 8605, 8615, 8625, 8635, 8645, 8655, 8665, 8675, 8685, 8695, 8705, 8715, 8725, 8735, 8745, 8755, 8765, 8775, 8785, 8795, 8805, 8815, 8825, 8835, 8845, 8855, 8865, 8875, 8885, 8895, 8905, 8915, 8925, 8935, 8945, 8955, 8965, 8975, 8985, 8995, 9005, 9015, 9025, 9035, 9045, 9055, 9065, 9075, 9085, 9095, 9105, 9115, 9125, 9135, 9145, 9155, 9165, 9175, 9185, 9195, 9205, 9215, 9225, 9235, 9245, 9255, 9265, 9275, 9285, 9295, 9305, 9315, 9325, 9335, 9345, 9355, 9365, 9375, 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10895, 10905, 10915, 10925, 10935, 10945, 10955, 10965, 10975, 10985, 10995, 11005, 11015, 11025, 11035, 11045, 11055, 11065, 11075, 11085, 11095, 11105, 11115, 11125, 11135, 11145, 11155, 11165, 11175, 11185, 11195, 11205, 11215, 11225, 11235, 11245, 11255, 11265, 11275, 11285, 11295, 11305, 11315, 11325, 11335, 11345, 11355, 11365, 11375, 11385, 11395, 11405, 11415, 11425, 11435, 11445, 11455, 11465, 11475, 11485, 11495, 11505, 11515, 11525, 11535, 11545, 11555, 11565, 11575, 11585, 11595, 11605, 11615, 11625, 11635, 11645, 11655, 11665, 11675, 11685, 11695, 11705, 11715, 11725, 11735, 11745, 11755, 11765, 11775, 11785, 11795, 11805, 11815, 11825, 11835, 11845, 11855, 11865, 11875, 11885, 11895, 11905, 11915, 11925, 11935, 11945, 11955, 11965, 11975, 11985, 11995, 12005, 12015, 12025, 12035, 12045, 12055, 12065, 12075, 12085, 12095, 12105, 12115, 12125, 12135, 12145, 12155, 12165, 12175, 12185, 12195, 12205, 12215, 12225, 12235, 12245, 12255, 12265, 12275, 12285, 12295, 12305, 12315, 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13755, 13765, 13775, 13785, 13795, 13805, 13815, 13825, 13835, 13845, 13855, 13865, 13875, 13885, 13895, 13905, 13915, 13925, 13935, 13945, 13955, 13965, 13975, 13985, 13995, 14005, 14015, 14025, 14035, 14045, 14055, 14065, 14075, 14085, 14095, 14105, 14115, 14125, 14135, 14145, 14155, 14165, 14175, 14185, 14195, 14205, 14215, 14225, 14235, 14245, 14255, 14265, 14275, 14285, 14295, 14305, 14315, 14325, 14335, 14345, 14355, 14365, 14375, 14385, 14395, 14405, 14415, 14425, 14435, 14445, 14455, 14465, 14475, 14485, 14495, 14505, 14515, 14525, 14535, 14545, 14555, 14565, 14575, 14585, 14595, 14605, 14615, 14625, 14635, 14645, 14655, 14665, 14675, 14685, 14695, 14705, 14715, 14725, 14735, 14745, 14755, 14765, 14775, 14785, 14795, 14805, 14815, 14825, 14835, 14845, 14855, 14865, 14875, 14885, 14895, 14905, 14915, 14925, 14935, 14945, 14955, 14965, 14975, 14985, 14995, 15005, 15015, 15025, 15035, 15045, 15055, 15065, 15075, 15085, 15095, 15105, 15115, 15125, 15135, 15145, 15155, 15165, 15175, 15185, 15195, 15205, 15215, 15225, 15235, 15245, 15255, 15265, 15275, 15285, 15295, 15305, 15315, 15325, 15335, 15345, 15355, 15365, 15375, 15385, 15395, 15405, 15415, 15425, 15435, 15445, 15455, 15465, 15475, 15485, 15495, 15505, 15515, 15525, 15535, 15545, 15555, 15565, 15575, 15585, 15595, 15605, 15615, 15625, 15635, 15645, 15655, 15665, 15675, 15685, 15695, 15705, 15715, 15725, 15735, 15745, 15755, 15765, 15775, 15785, 15795, 15805, 15815, 15825, 15835, 15845, 15855, 15865, 15875, 15885, 15895, 15905, 15915, 15925, 15935, 15945, 15955, 15965, 15975, 15985, 15995, 16005, 16015, 16025, 16035, 16045, 16055, 16065, 16075, 16085, 16095, 16105, 16115, 16125, 16135, 16145, 16155, 16165, 16175, 16185, 16195, 16205, 16215, 16225, 16235, 16245, 16255, 16265, 16275, 16285, 16295, 16305, 16315, 16325, 16335, 16345, 16355, 16365, 16375, 16385, 16395, 16405, 16415, 16425, 16435, 16445, 16455, 16465, 16475, 16485, 16495, 16505, 16515, 16525, 16535, 16545, 16555, 16565, 16575, 16585, 16595, 16605, 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18045, 18055, 18065, 18075, 18085, 18095, 18105, 18115, 18125, 18135, 18145, 18155, 18165, 18175, 18185, 18195, 18205, 18215, 18225, 18235, 18245, 18255, 18265, 18275, 18285, 18295, 18305, 18315, 18325, 18335, 18345, 18355, 18365, 18375, 18385, 18395, 18405, 18415, 18425, 18435, 18445, 18455, 18465, 18475, 18485, 18495, 18505, 18515, 18525, 18535, 18545, 18555, 18565, 18575, 18585, 18595, 18605, 18615, 18625, 18635, 18645, 18655, 18665, 18675, 18685, 18695, 18705, 18715, 18725, 18735, 18745, 18755, 18765, 18775, 18785, 18795, 18805, 18815, 18825, 18835, 18845, 18855, 18865, 18875, 18885, 18895, 18905, 18915, 18925, 18935, 18945, 18955, 18965, 18975, 18985, 18995, 19005, 19015, 19025, 19035, 19045, 19055, 19065, 19075, 19085, 19095, 19105, 19115, 19125, 19135, 19145, 19155, 19165, 19175, 19185, 19195, 19205, 19215, 19225, 19235, 19245, 19255, 19265, 19275, 19285, 19295, 19305, 19315, 19325, 19335, 19345, 19355, 19365, 19375, 19385, 19395, 19405, 19415, 19425, 19435, 19445, 19455, 19465, 19475, 19485, 19495, 19505, 19515, 19525, 19535, 19545, 19555, 19565, 19575, 19585, 19595, 19605, 19615, 19625, 19635, 19645, 19655, 19665, 19675, 19685, 19695, 19705, 19715, 19725, 19735, 19745, 19755, 19765, 19775, 19785, 19795, 19805, 19815, 19825, 19835, 19845, 19855, 19865, 19875, 19885, 19895, 19905, 19915, 19925, 19935, 19945, 19955, 19965, 19975, 19985, 19995, 20005, 20015, 20025, 20035, 20045, 20055, 20065, 20075, 20085, 20095, 20105, 20115, 20125, 20135, 20145, 20155, 20165, 20175, 20185, 20195, 20205, 20215, 20225, 20235, 20245, 20255, 20265, 20275, 20285, 20295, 20305, 20315, 20325, 20335, 20345, 20355, 20365, 20375, 20385, 20395, 20405, 20415, 20425, 20435, 20445, 20455, 20465, 20475, 20485, 20495, 20505, 20515, 20525, 20535, 20545, 20555, 20565, 20575, 20585, 20595, 20605, 20615, 20625, 20635, 20645, 20655, 20665, 20675, 20685, 20695, 20705, 20715, 20725, 20735, 20745, 20755, 20765, 20775, 20785, 20795, 20805, 20815, 20825, 20835, 20845, 20855, 20865, 20875, 20885, 20895, 20905, 20915, 20925, 20935, 20945, 20955, 20965, 20975, 20985, 20995, 21005, 21015, 21025, 21035, 21045, 21055, 21065, 21075, 21085, 21095, 21105, 21115, 21125, 21135, 21145, 21155, 21165, 21175, 21185, 21195, 21205, 21215, 21225, 21235, 21245, 21255, 21265, 21275, 21285, 21295, 21305, 21315, 21325, 21335, 21345, 21355, 21365, 21375, 21385, 21395, 21405, 21415, 21425, 21435, 21445, 21455, 21465, 21475, 21485, 2149			

SPECIFICATIONS

KEYSTONE MODULAR CONCRETE BLOCK RETAINING WALL

PART 1: GENERAL

1.01 Description
A. Work shall consist of furnishing and construction of a KEYSTONE Retaining Wall System in accordance with plans, specifications and in reasonable close conformity with the laws, codes, ordinances and standards shown on the plans.
B. Work includes preparing foundation soil, furnishing and installing leveling pad, and drainage fill and backfill to the base and against the face of the construction drawings.
C. Work includes furnishing and installing geogrid reinforcement of the type, size, location, and length designated on the construction drawings.

1.02 Delivery, Storage and Handling

A. Contractor shall advise all materials upon delivery to ensure that the proper type, grade, color, and condition has been received.
B. Contractor shall protect all materials from damage due to job site conditions and in accordance with manufacturer's recommendations. Damaged materials shall not be incorporated into the work.

PART 2: PRODUCTS

2.01 Modular Concrete Retaining Wall Units

A. Modular concrete units shall conform to the following mechanical requirements:
 face color - concrete gray - standard manufacturer's color may be specified by the Owner.
 face finish - completed rock face in congar to planar configuration. Other face finishes will not be allowed without written approval of Owner.
 finish configuration - matching with blocks normally located at adjacent vertically adjacent walls, in both straight and curved alignment.
 improved surfaces of units shall be free of chips, cracks or other imperfections when viewed from a distance of 10 feet under oblique lighting.

B. Modular concrete materials shall conform to the requirements of ASTM C-1322 - Standard Specifications for Segmental Retaining Wall Units.
C. Modular concrete units shall conform to the following structural and geotechnical requirements measured in accordance with appropriate references:
 compressive strength = 5000 psi minimum
 absorption = 0.15 maximum (5% to northern states) for standard weight geogrids;
 dimensional tolerance = ± 1/8" from nominal unit dimensions and including rough edges, at 1/16" unit height - 1/8" and bottom planes;
 unit size - 4' (H) x 12' (W) x 12' (D) minimum;
 unit weight - 100 lb/ft³ minimum for standard weight

Aggregate:
 minimum shear strength - 1000 psi minimum at 2 psi normal pressure;
 geogrid unit peak connection strength - 1000 psi minimum at 2 psi normal force.

D. Modular concrete units shall conform to the following compressibility requirements:
 vertical voids = 1/8" per course (near vertical) or 1/4" per course per the design;
 aggregate and grid positioning mechanism - fiberglass pins, two per unit minimum;
 maximum horizontal gap between stacked units shall be 1/2 inch.

2.02 Shear Connectors

A. Shear connectors shall be 1/2 inch diameter threaded (epoxy) polyester resin-primed fiberglass reinforcement rods or equivalent to provide connection between vertically and horizontally adjacent units. Strength of shear connectors between vertical adjacent units shall be applicable over a design temperature of 90 degrees F to - 90 degrees F.
B. Shear connectors shall be capable of holding the geogrid in the proper design position during grid pre-tensioning and backfilling.

2.03 Base Leveling Pad Material

A. Material shall consist of a compacted #57 crushed stone base as shown on the construction drawings.

2.04 Unit Drainage Fill

A. Unit drainage fill shall consist of #57 crushed stone

2.05 Reinforced Backfill

A. Reinforced backfill shall type 5M, to face of debris and meet the following geotechnical tests in accordance with ASTM D-422 and meet other properties shown on the plan:

Slime Size	Percent Passing
2 inch	100-75
3/4 inch	100-75
No. 40	0-40
No. 200	0-40

Plasticity Index (PI) < 10 and Liquid Limit (LL) < 40 per ASTM D-4919.

B. Material used to fill excavated soils where the above requirements are not met. The backfill soils for backfill (high plasticity clays or organic soils) shall not be used in the reinforced soil mass.

2.06 Geogrid Soil Reinforcement

A. Geogrid reinforcement shall consist of geogrids manufactured specifically for soil reinforcement applications and shall be manufactured from high tenacity polyester yarn.

2.07 Drainage Pipe

A. The drainage pipe shall be perforated computer HDPE pipe manufactured in accordance with ASTM D-4263.

PART 3: EXECUTION

3.01 Excavation

A. Contractor shall excavate to the lines and grades shown on the construction drawings. Owner's representative shall be responsible for inspecting and approving the excavation prior to placement of leveling material or fill soils.

3.02 Base Leveling Pad

A. Leveling pad material shall be placed to the lines and grades shown on the construction drawings, to a minimum thickness of 6 inches and extend laterally a minimum of 6' in front and behind the modular wall unit.
B. Leveling pad shall be prepared to insure full contact to the base surface of the concrete units.

3.03 Modular Unit Installation

A. First course of units shall be placed on the leveling pad at the appropriate line and grade. Alignment and level shall be checked in all directions and means that all units are in full contact with the base and properly seated.
B. Place the front of units side-by-side. Do not leave gaps between adjacent units. Layout of corners and curves shall be in accordance with manufacturer's recommendations.
C. Install disconnecting devices per manufacturer's recommendations.
D. Place and compact drainage fill within and behind wall units. Place and compact backfill soil behind drainage fill. For wall section and drainage fill closely with structure base.
E. Maximum stacked vertical height of wall units, prior to unit drainage fill and backfill placement and compaction, shall not exceed three courses.

3.04 Structural Geogrid Installation

A. Geogrid shall be selected with the highest strength axis perpendicular to the wall alignment.
B. Geogrid reinforcement shall be placed at the strengths, lengths, and intervals shown on the construction design drawings or as directed by the Engineer.
C. The geogrid shall be held horizontally on compacted backfill and attached to the modular wall units. Place the next course of modular concrete units over the geogrid. The geogrid shall be pulled taut, and anchored prior to

backfill placement on the geogrid.
D. Geogrid reinforcements shall be continuous throughout their embedded lengths and placed side-by-side to provide 100% coverage at each level. Splice connections between similar pieces of geogrid or gaps between adjacent pieces of geogrid are not permitted.

3.05 Reinforced Backfill Placement

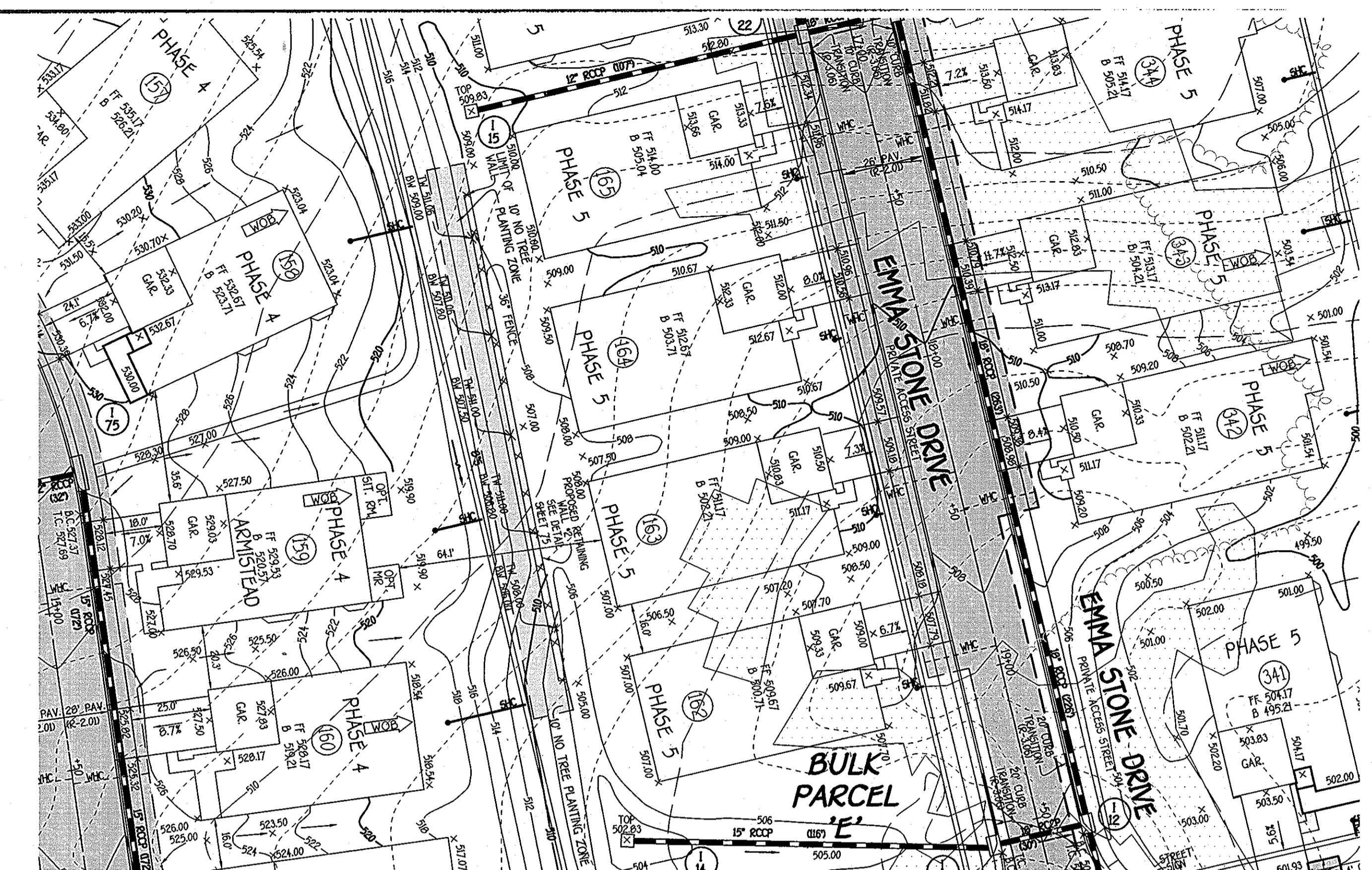
A. Reinforced backfill shall be placed, spread, and compacted to such a manner that minimizes the development of slick in the geogrid and insulation damage.
B. Reinforced backfill shall be placed and compacted in lifts not to exceed 6 inches where hand compaction is used, or 3 - 10 inches where heavy compaction equipment is used. Lift thickness shall be decreased to achieve the required density as required.
C. Reinforced backfill shall be compacted to 95% of the maximum density as determined by ASTM D698. The moisture content of the backfill material prior to and during compaction shall be uniformly distributed throughout each layer and shall be + 2% to - 3% of optimum.
D. Only light-weight hand-operated equipment shall be allowed within 3 feet from the top of the modular concrete unit.
E. Tractioned construction equipment shall not be operated directly upon the geogrid reinforcement. A minimum 6" thickness of 6 inches is required prior to operation of tracked vehicles over the geogrid. Tracked vehicle turning shall be kept to a minimum to prevent tracks from displacing the soil and disturbing the geogrid.
F. Rubber tired equipment may pass over geogrid reinforcement at slow speeds, less than 10 MPH. Sudden braking and sharp turning shall be avoided.
G. At the end of each day operation, the Contractor shall slope the face of reinforced backfill away from the wall units to direct runoff away from wall faces. The Contractor shall not allow surface runoff from adjacent areas to enter the wall construction site.

3.06 Cap Installation

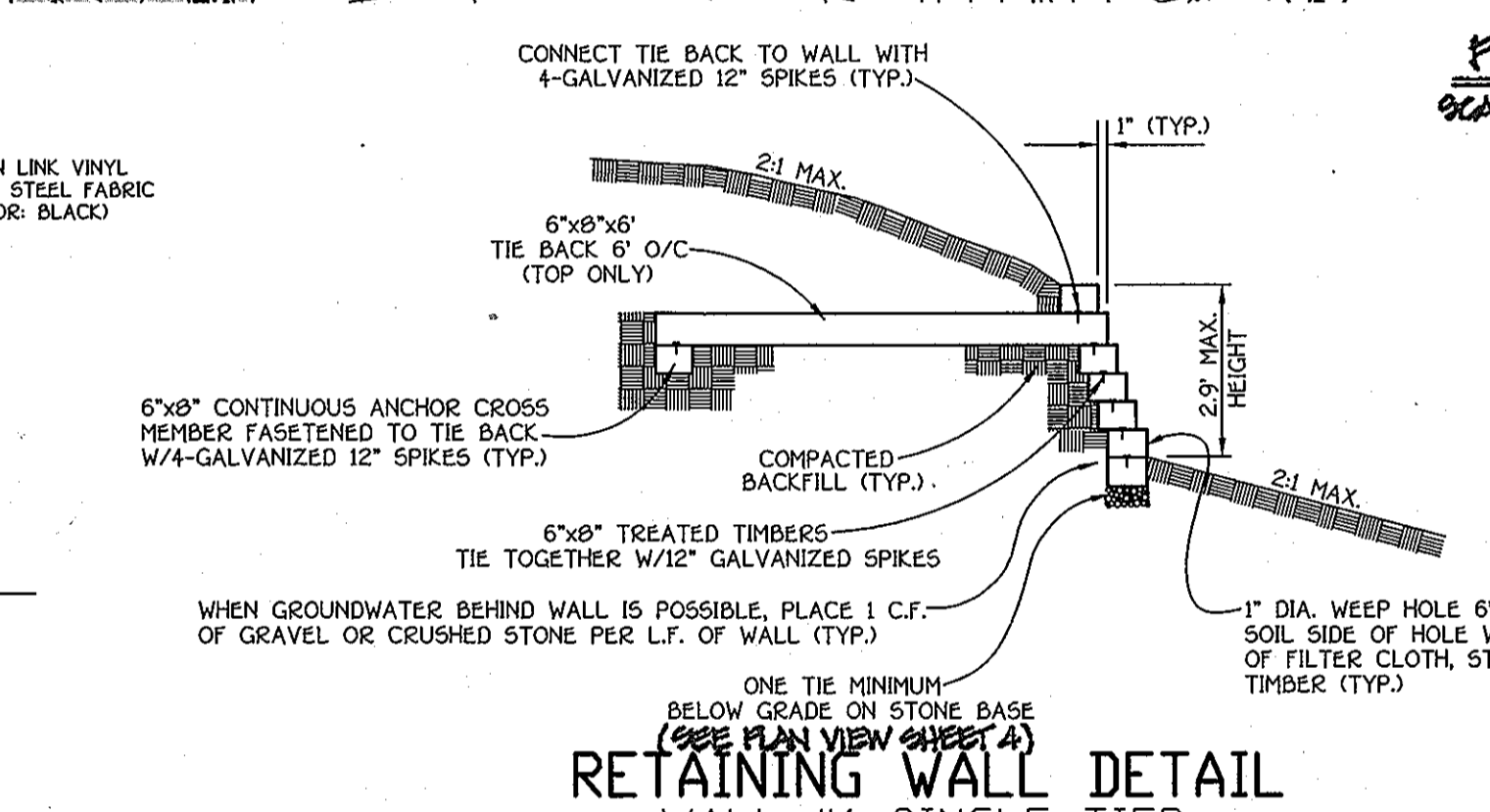
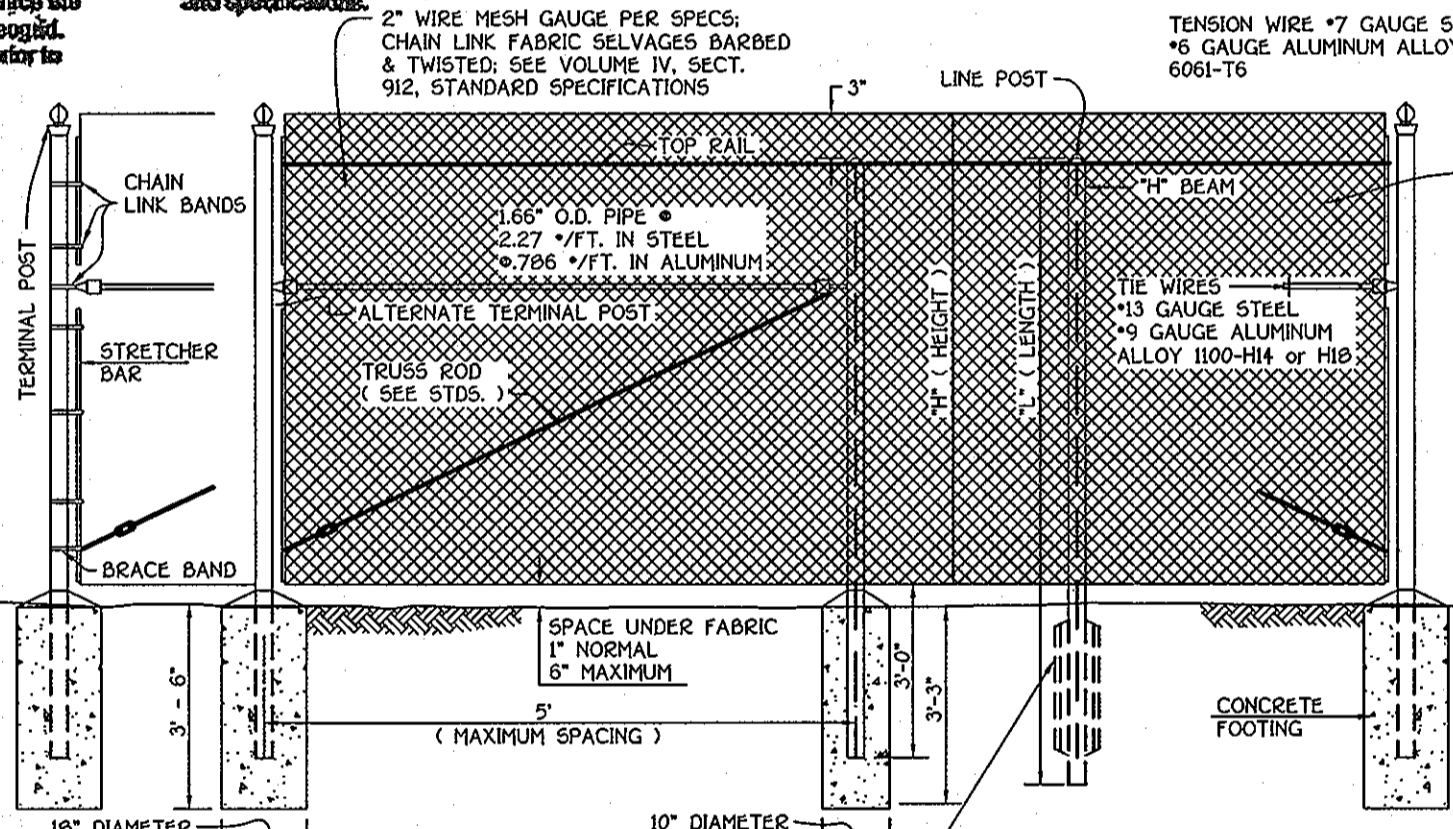
A. Cap units shall be placed to underlying units with an all-weather collector recommended by the manufacturer.

3.07 Final Quality Control

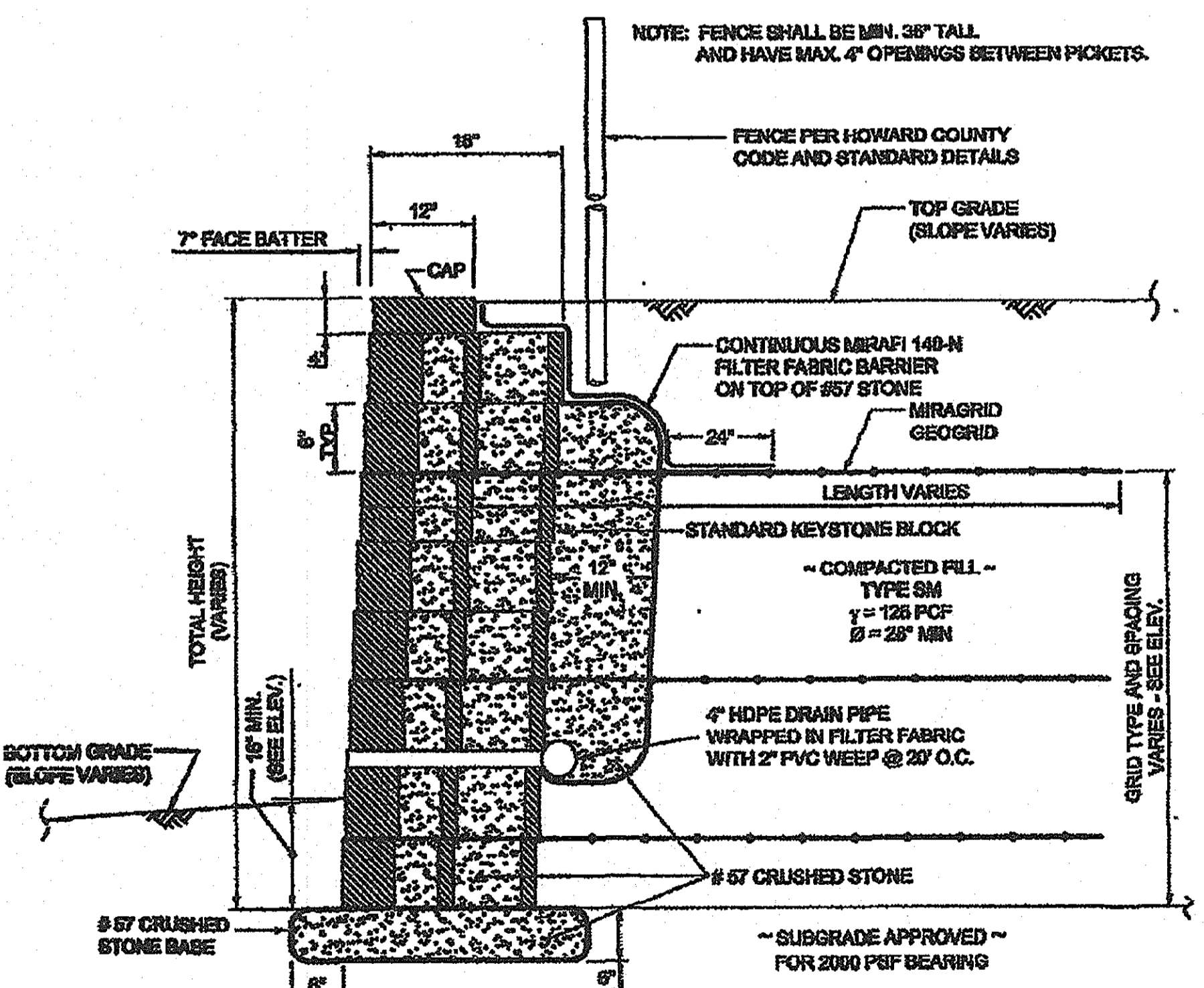
A. The Owner shall engage inspection and testing agencies, including independent laboratories, to provide quality assurance and testing services during construction.
B. As a minimum, quality assurance testing shall include foundation wall inspection, soil and backfill testing, verification of design parameters, and observation of construction for general compliance with design drawings and specifications.



TYPE HEIGHT OF FENCE	7'-0"
1" POST SPACING MAX.	12'-0"
1" LENGTH OF H BEAM	8'-0" MIN.
H BEAM STEEL	2.25 x 1.95" x 4.10" W/FT.
H BEAM ALUMINUM	2.25 x 1.95" x 4.10" W/FT.
TERM. POST STEEL	2.875" O.D. x 5.75" W/FT.
TERM. POST ALUMINUM	2.875" O.D. x 5.70" W/FT.
ALT. TERM. POST STEEL	2.50" O.D. x 5.70" W/FT.
ALT. TERM. POST ALUMINUM	3.00" O.D. x 5.70" W/FT.



- NOTES:**
1. TIMBER SHALL BE EITHER:
 A. CROSCOTE TREATED RAILROAD TIES
 B. CCA TREATED LANDSCAPING TIMBERS (40 LB/CF RETENTION)
 HARDWARE SHALL BE HOT DIPPED GALVANIZED.
 2. WEAP HOLES WITH OR WITHOUT GRAVEL DRAIN ARE MINIMUM MEASURES FOR GROUNDWATER. FOR ANY SUBSTANTIAL AMOUNT OF GROUNDWATER, A DRAIN SYSTEM SHOULD BE DESIGNED AND UTILIZED.
 3. DESIGN SHALL BE VERIFIED FOR SITE SPECIFIC SOIL CONDITION BY A PROFESSIONAL GEOTECHNICAL ENGINEER.

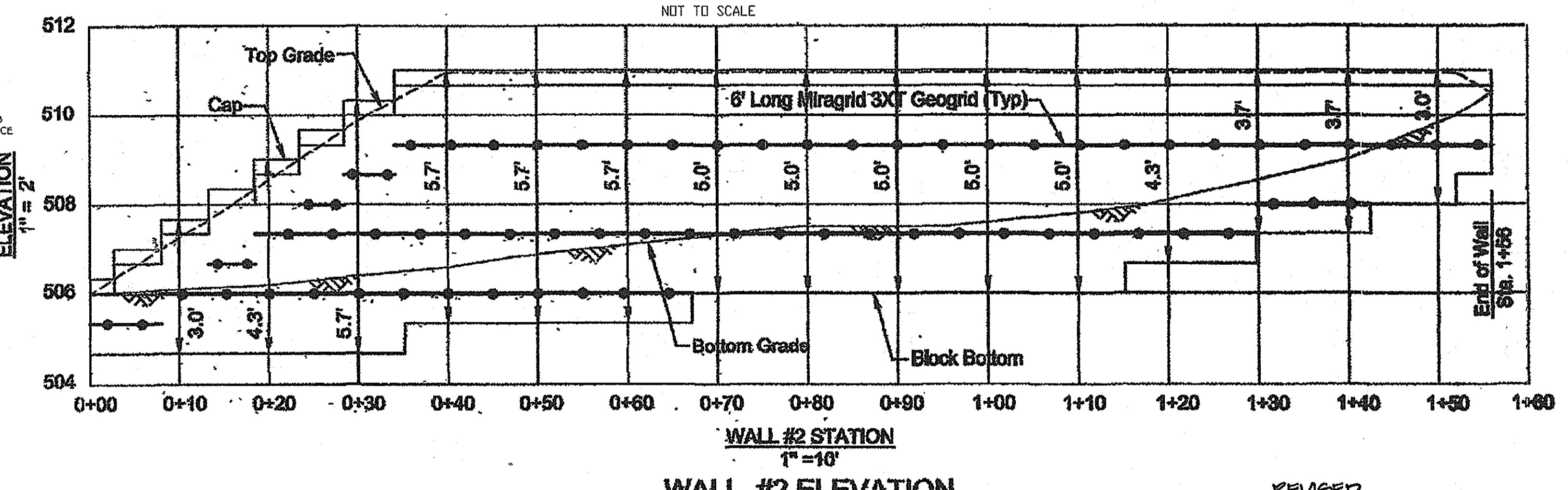


TYPICAL WALL SECTION
 WALL #2
 NOT TO SCALE



DETAIL
 CHAIN LINK FENCE
 NO SCALE

- GENERAL NOTES:**
- 1.) No trees shall be planted within 10 feet of the top of the retaining wall.
 - 2.) Retaining walls shall only be constructed under the observation of a registered professional engineer and a (NICET, WACEL, or equiv.) certified soils technician.
 - 3.) The required bearing pressure beneath the wall system shall be verified in the field by a certified soils technician. Testing documentation must be provided to the Howard County Inspector prior to start of construction. The required bearing test shall be the Dynamic Cone Penetration test ASTM STP-389.
 - 4.) The suitability of fill material shall be confirmed by the on-site soils technician. Each 8" lift must be compacted to a minimum 95% standard proctor density and the testing report shall be made available to the Howard County Inspector upon completion of construction.
 - 5.) Walls shall not be constructed on unclassified fill materials.
 - 6.) Walls shall not be constructed within a Howard Co. right-of-way or easement.



WALL #2 ELEVATION
 (SEE DETAIL ABOVE)

HILLS-CARNES
 ENGINEERING ASSOCIATES
 10179 Gullford Road, Suite A
 (410) 980-4788
 Annapolis Junction, MD
 Fax: (410) 980-4058

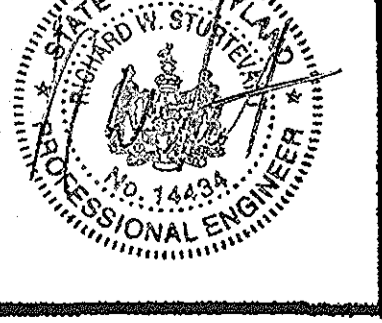
APPROVED: [Signature]
 [Signature]
 [Signature]

OWNER
 GTW JOINT VENTURE
 14401 TRADELPHIA ROAD
 GLENELG, MARYLAND 21757-0020
 (410) 442-2267

DEVELOPER
 WAVERLY WOODS DEVELOPMENT CORP.
 SUITE 102, 5800 DORSEY HALL DRIVE
 ELICOTT CITY, MARYLAND 21112
 (410) 387-6422

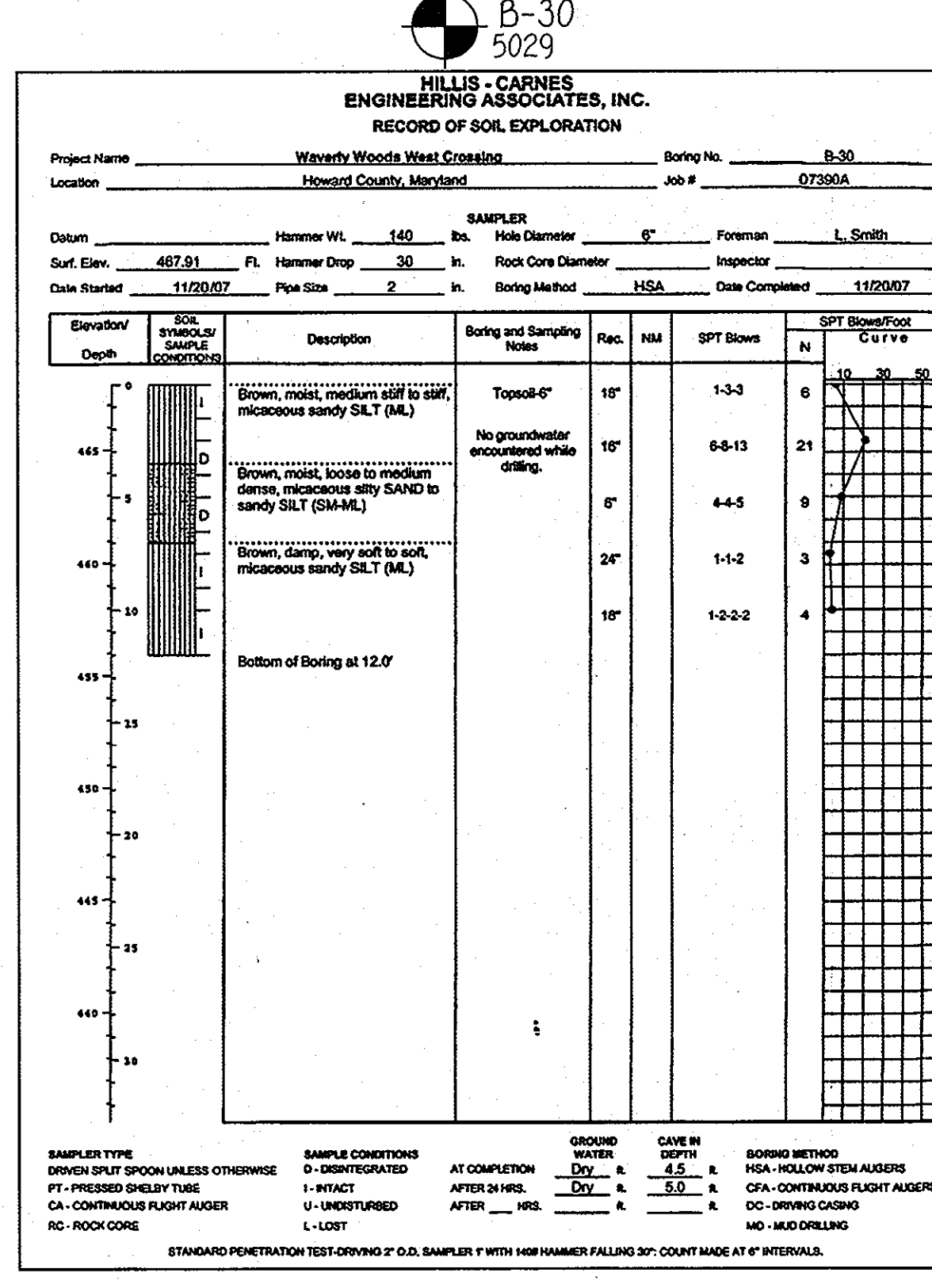
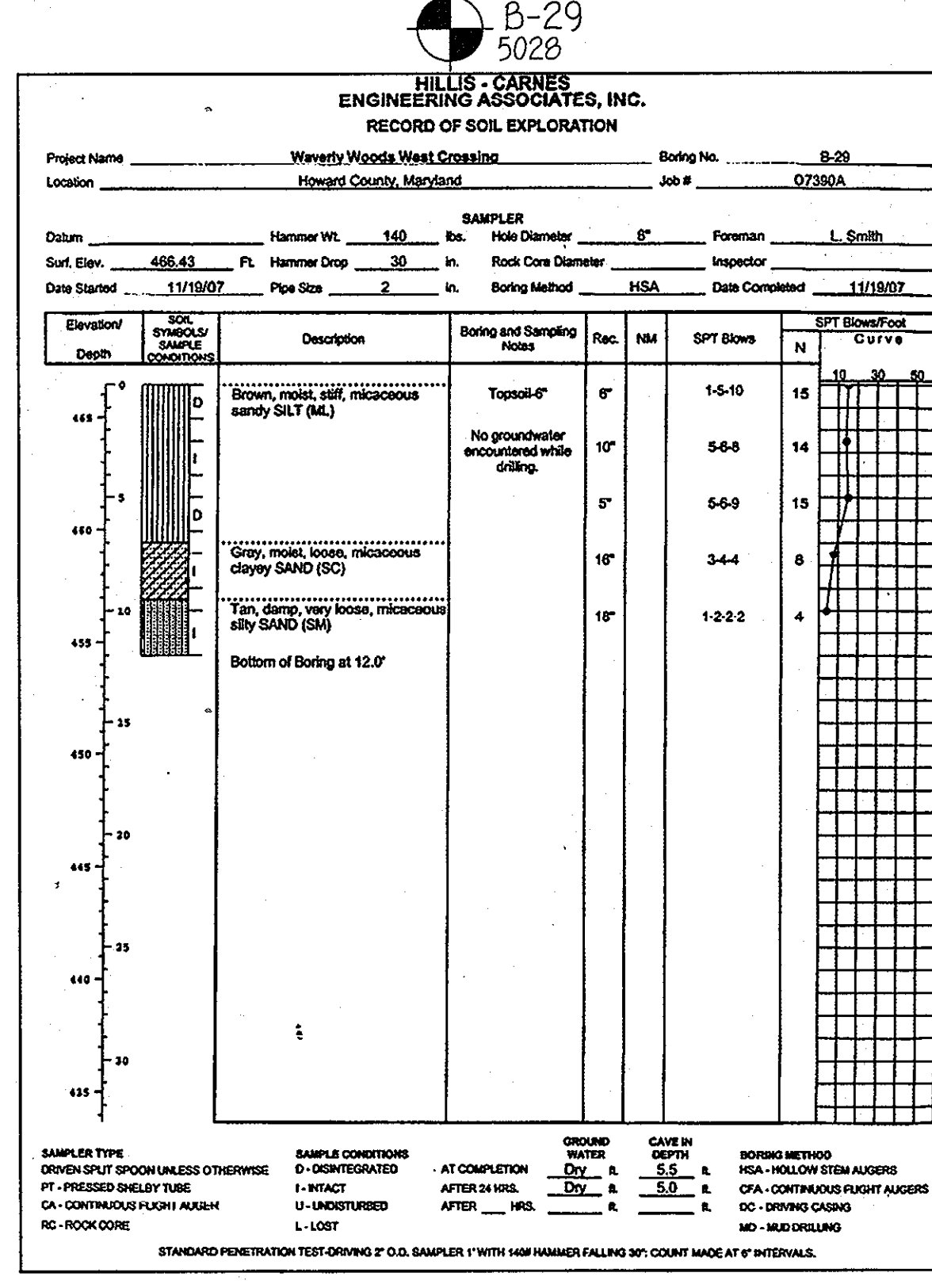
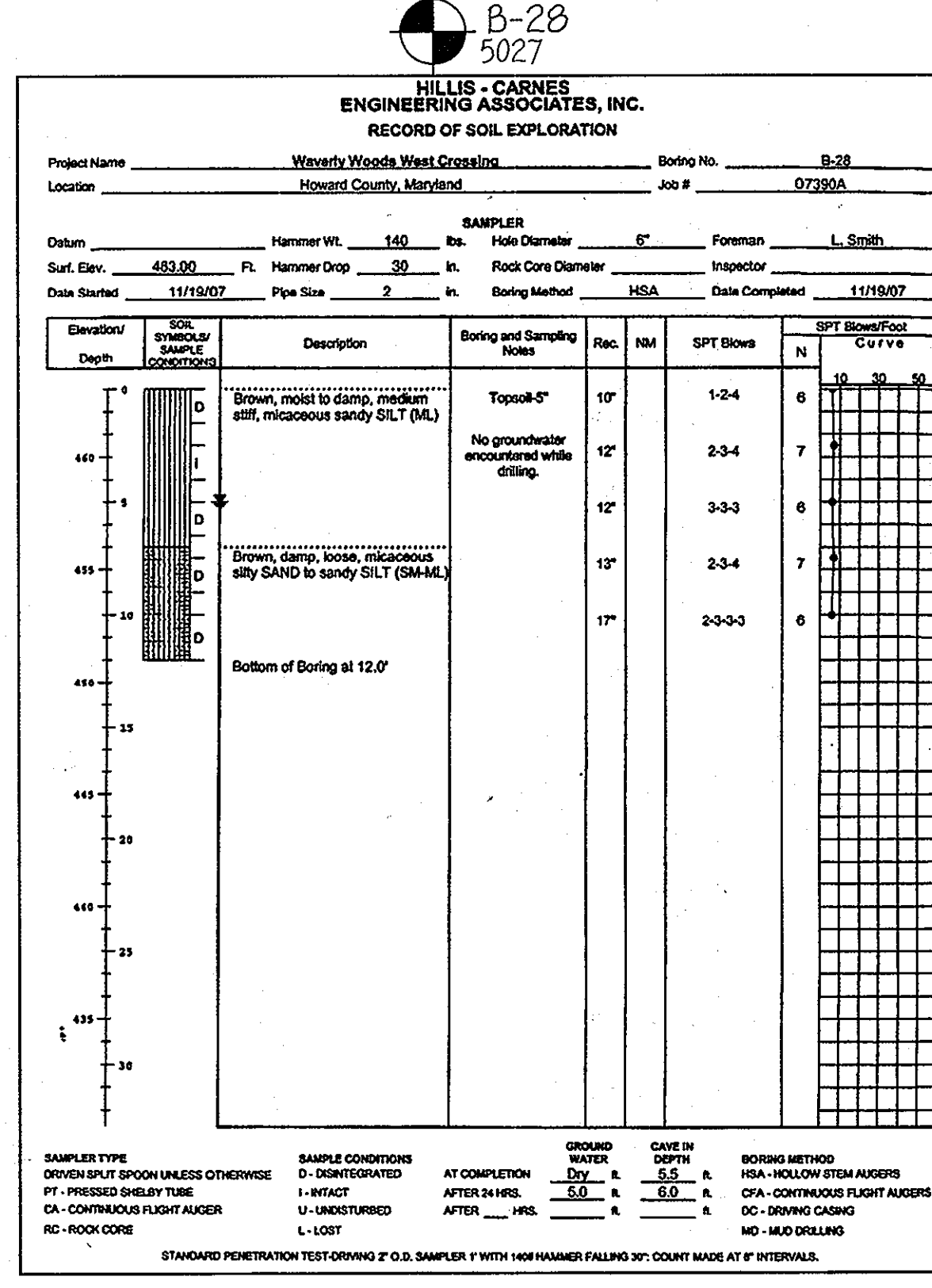
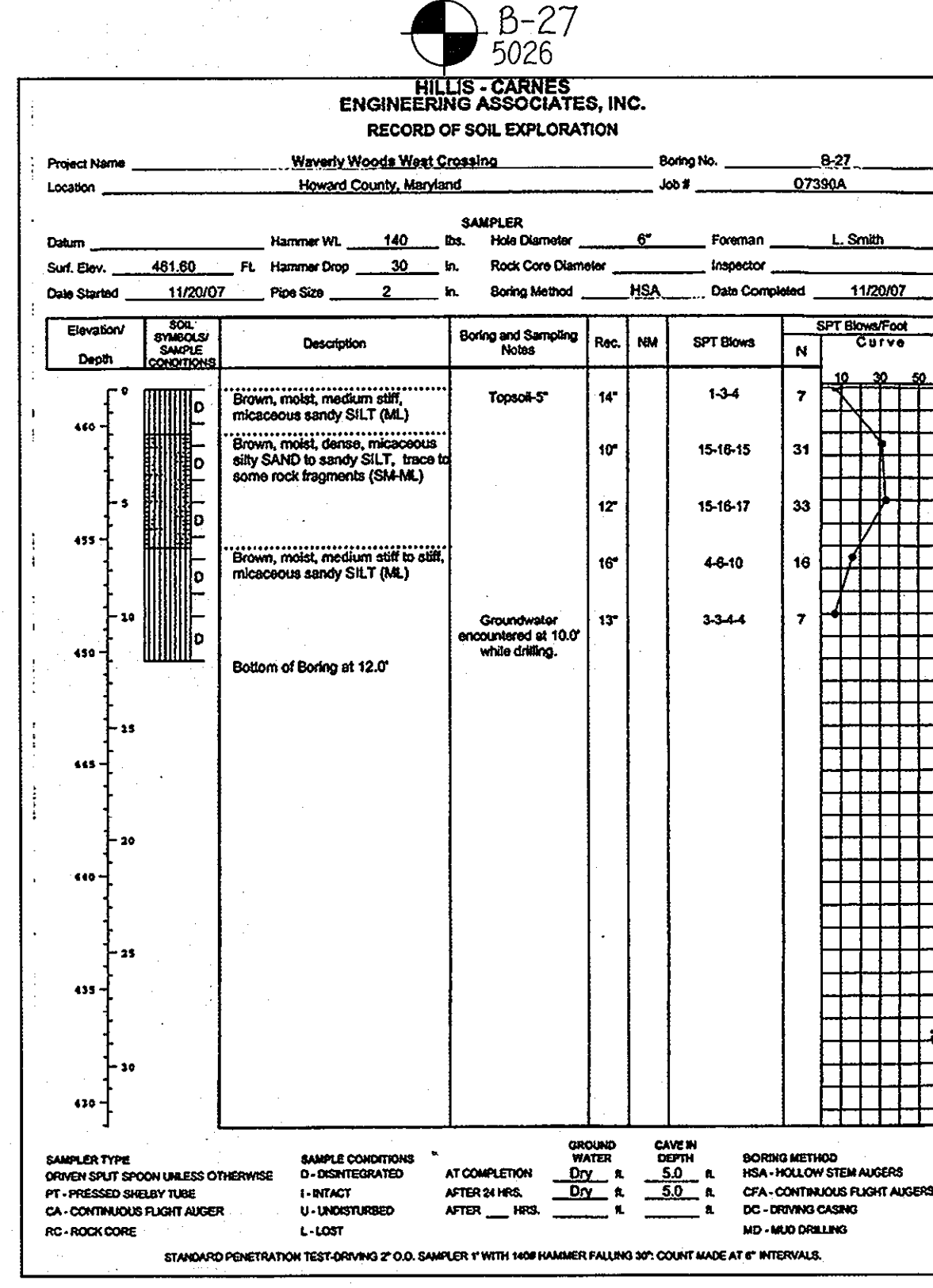
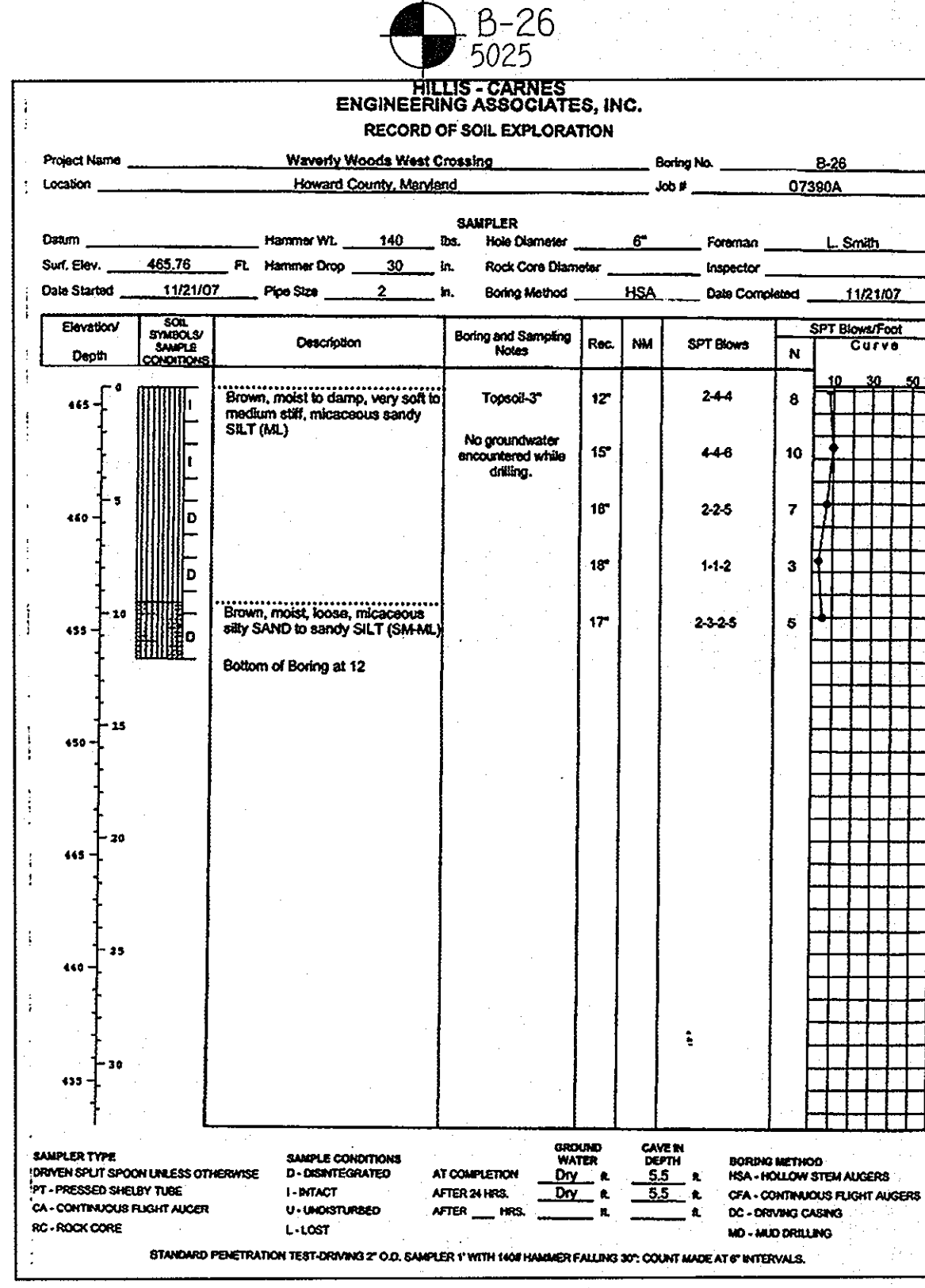
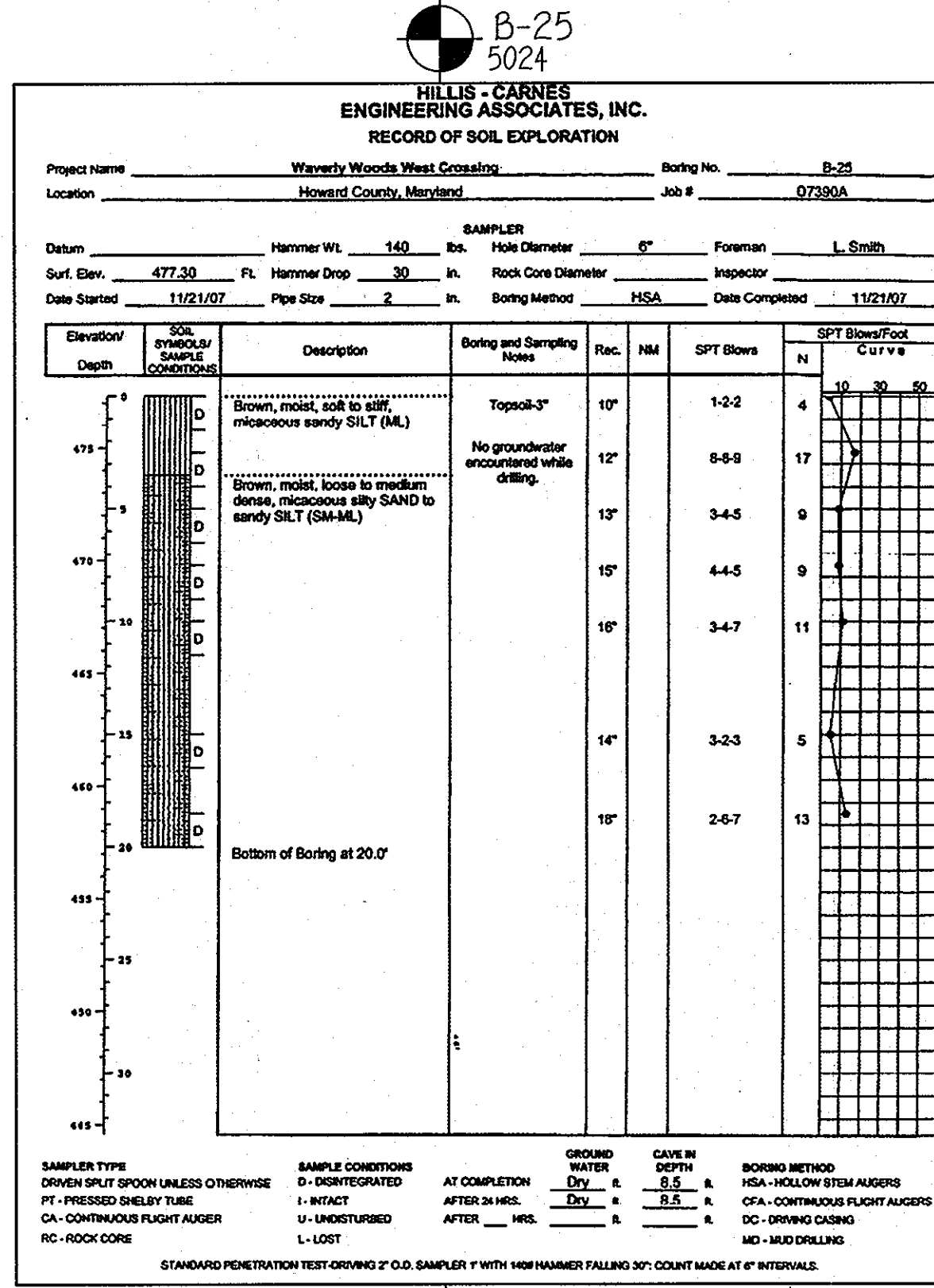
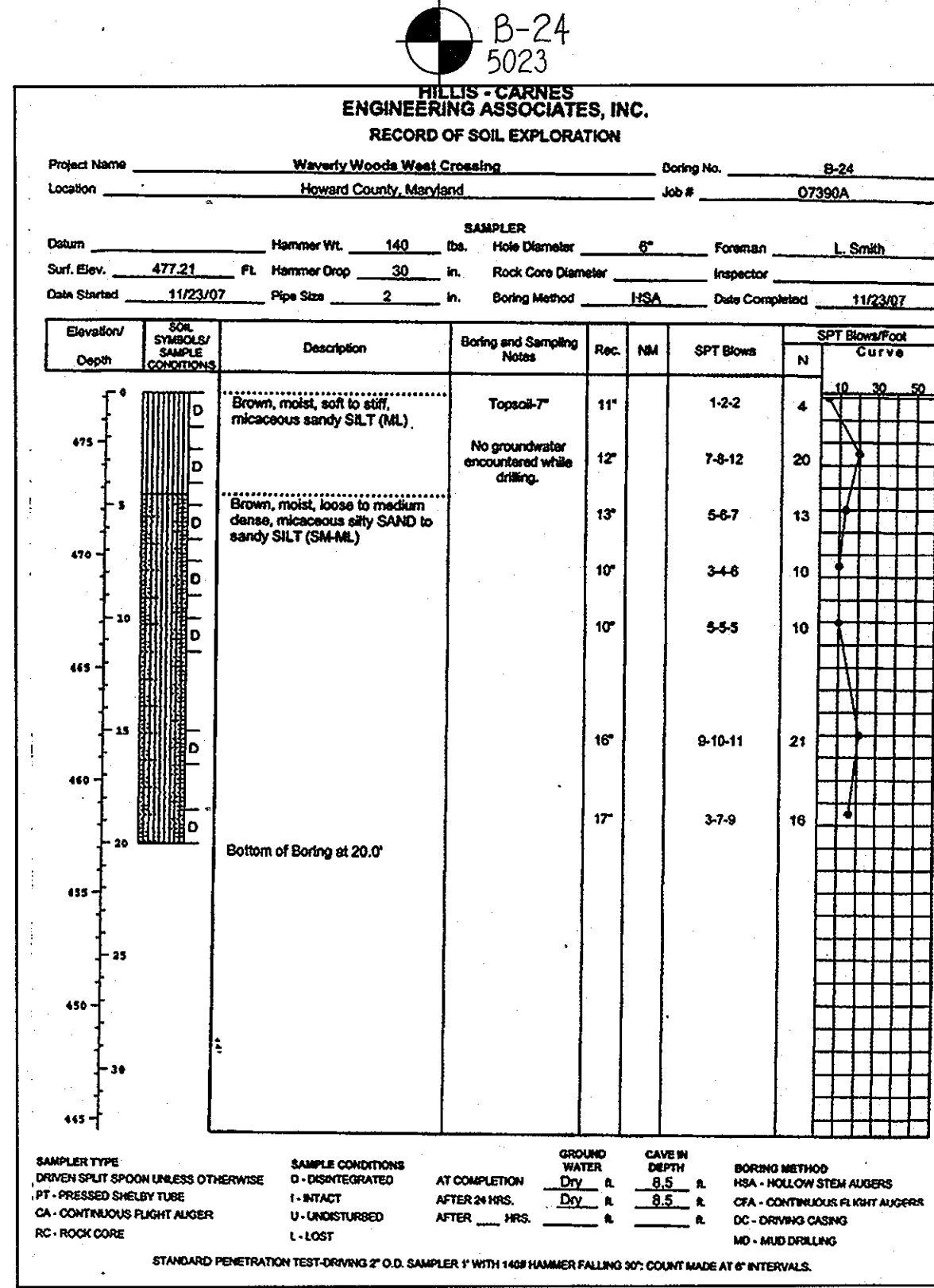
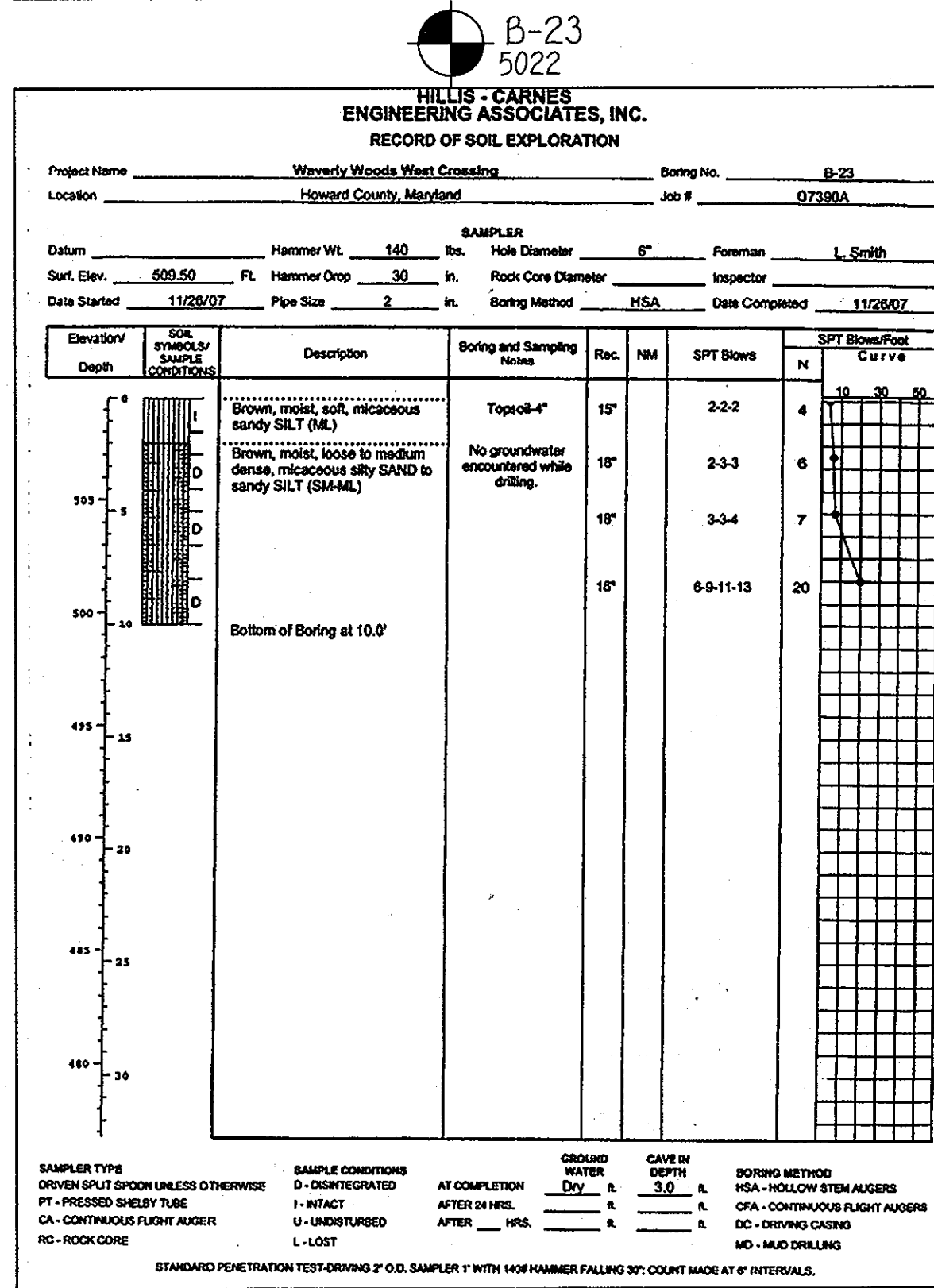
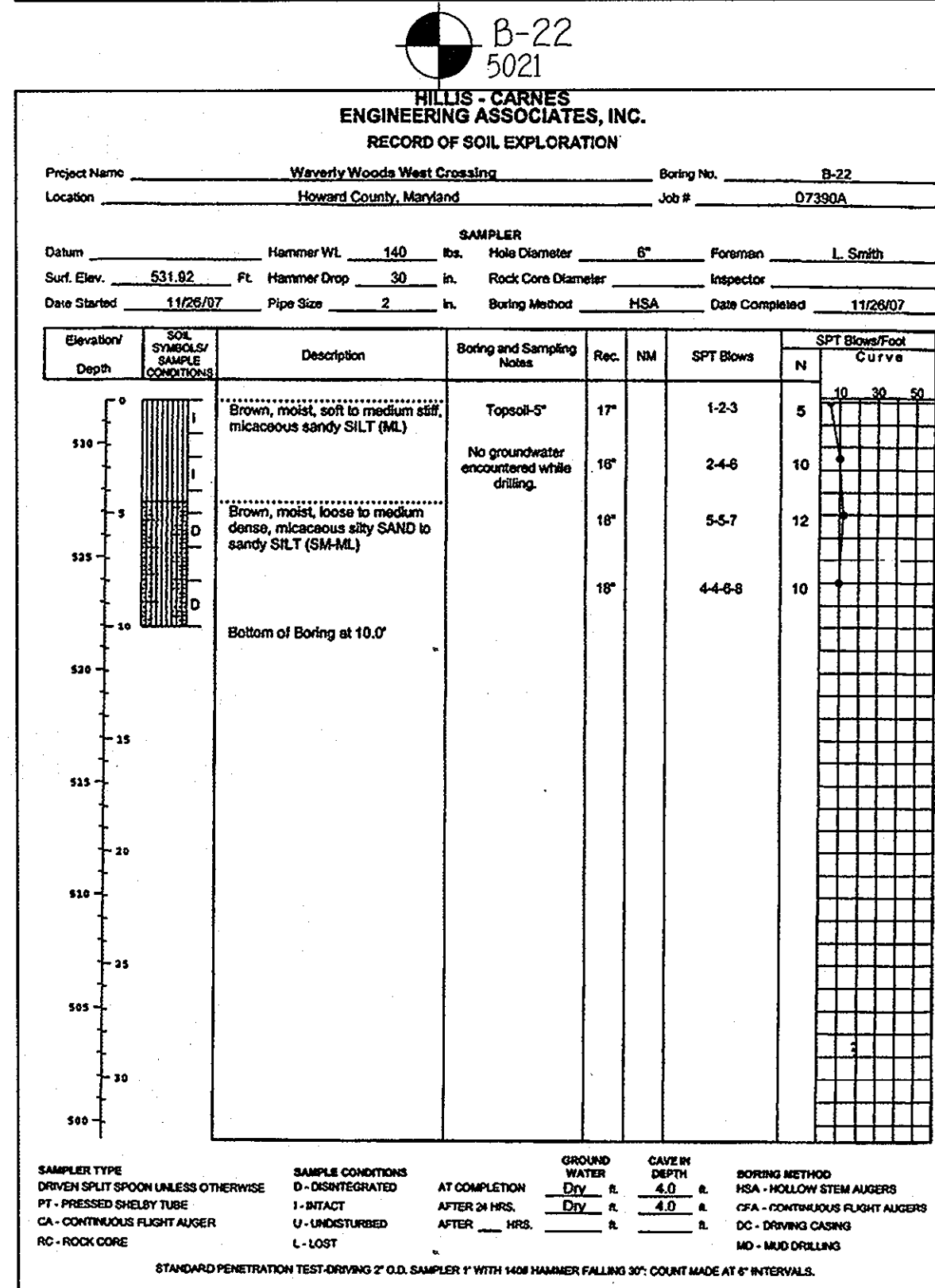
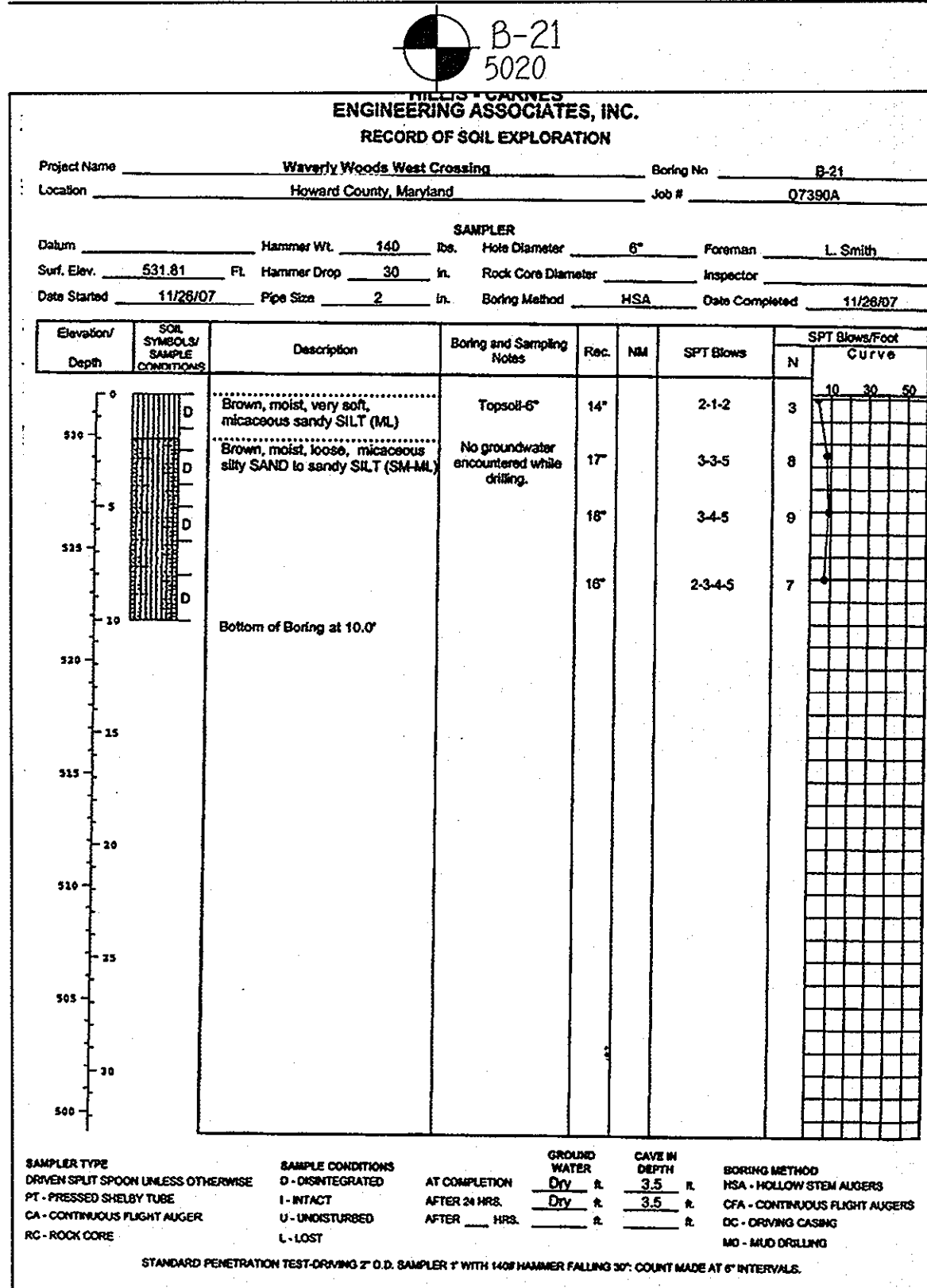
REVISIONS:	DATE	BY	APPROVED BY:
1. REV. PER ADDITION OF PHASE 5 BUILDING & 2.06-13 PLACING TIE.	12/6/10	[Signature]	RWS

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14429, EXPIRATION DATE: 09/30/12.



REVISED
 CONSTRUCTION DOCUMENTS
 RETAINING WALL # 2 PLAN & CONST. DETAILS

AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
 SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASE II & III LOTS 5, 12 THRU 33, 44 THRU 86 & 88 THRU 165 & PHASE IV & V - UNITS 80 THRU 119, 153 THRU 161, 196 THRU 200, 237 THRU 239, 260 THRU 271, 282 THRU 295, & 290 THRU 326
 TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES
 ZONING: P50
 TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
 SHEET 75 OF 109



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
10775 BALTIMORE NATIONAL PKWY.
ELICOTT CITY, MARYLAND 21042
(410) 461-2899



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/31/14.

Terrell A. Fisher
TERRELL A. FISHER, PROFESSIONAL ENGINEER
DATE: 11/19/12

BUILDERS

NV HOMES
6085 MARSHALLEE DRIVE
SUITE 100
ELK RIDGE, MD. 21075
410-379-5956

RYAN HOMES
6085 MARSHALLEE DRIVE
SUITE 100
ELK RIDGE, MD. 21075
410-379-5956

DEVELOPER
WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELICOTT CITY, MARYLAND 21042
443-367-0422

OWNERS
WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELICOTT CITY, MARYLAND 21042
443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Kate DeLoach
Chief, Division of Land Development
Date: 12/19/12

David L. ...
Chief, Development Engineering Division
Date: 12/10/12

...
Director - Department of Planning and Zoning
Date: 12/10/12

PROJECT: GTW'S WAVERLY WOODS SECTION: 14

PLAT 21427 - BLOCK NO. 21435 AND 22082 - ZONE 3 & 4 TAX/ZONE PSC 16 ELEC. DIST. THIRD CENSUS TR. 60300

WATER CODE K-02 SEWER CODE 5992000

REVISED

SOIL BORING SHEET

AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
SECTION 14

"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 165 & PHASES IV & V - UNITS 80 THRU 119, 153 THRU 161, 196 THRU 200, 237 THRU 239, 266 THRU 271, 282 THRU 285, & 290 THRU 320
TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES
ZONING: PSC

TAX MAP NO. 16 GRID NO. 3 & 4 PARCEL NO. PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
SHEET 79 OF 100

SDP-09-039

B-31
5030

HILLIS - CARNES
ENGINEERING ASSOCIATES, INC.
RECORD OF SOIL EXPLORATION

Project Name: Waverly Woods West Crossing
Location: Howard County, Maryland
Boring No.: B-31
Job #: 07390A
Datum: Hammer Wt. 140 lbs., Hole Diameter 6", Foreman L. Smith
Surf. Elev. 470.95 ft., Hammer Drop 30 in., Rock Core Diameter
Date Started 11/21/07, Pipe Size 2 in., Boring Method HSA, Date Completed 11/21/07

Table with columns: Elevation/Depth, SOIL STRATIGRAPHY/SAMPLE CONDITIONS, Description, Boring and Sampling Notes, Rec., NM, SPT Blows, SPT Blow/Foot Curve. Includes soil descriptions like 'Brown, moist, soft to stiff micaceous sandy SILT (ML)' and 'Groundwater encountered at 10.7' while drilling.'

SAMPLER TYPE: DRIVEN SPIGOT SPOON UNLESS OTHERWISE NOTED
SAMPLE CONDITIONS: D - DISINTEGRATED, I - INTACT, U - UNDETERMINED, L - LOST
GROUND WATER: AT COMPLETION, AFTER 15 MINS., AFTER 30 MINS.
CAVE IN DEPTH: 0, 0.5, 1, 1.5, 2, 2.5, 3, 3.5, 4, 4.5, 5, 5.5, 6, 6.5, 7, 7.5, 8, 8.5, 9, 9.5, 10, 10.5, 11, 11.5, 12, 12.5, 13, 13.5, 14, 14.5, 15, 15.5, 16, 16.5, 17, 17.5, 18, 18.5, 19, 19.5, 20, 20.5, 21, 21.5, 22, 22.5, 23, 23.5, 24, 24.5, 25, 25.5, 26, 26.5, 27, 27.5, 28, 28.5, 29, 29.5, 30, 30.5, 31, 31.5, 32, 32.5, 33, 33.5, 34, 34.5, 35, 35.5, 36, 36.5, 37, 37.5, 38, 38.5, 39, 39.5, 40, 40.5, 41, 41.5, 42, 42.5, 43, 43.5, 44, 44.5, 45, 45.5, 46, 46.5, 47, 47.5, 48, 48.5, 49, 49.5, 50
BORING METHOD: HSA - HOLLOW STEM AUGERS, CFA - CONTINUOUS FLIGHT AUGERS, DC - DRIVING CASING, MD - MUD DRILLING

B-32
5031

HILLIS - CARNES
ENGINEERING ASSOCIATES, INC.
RECORD OF SOIL EXPLORATION

Project Name: Waverly Woods West Crossing
Location: Howard County, Maryland
Boring No.: B-32
Job #: 07390A
Datum: Hammer Wt. 140 lbs., Hole Diameter 6", Foreman L. Smith
Surf. Elev. 468.95 ft., Hammer Drop 30 in., Rock Core Diameter
Date Started 11/19/07, Pipe Size 2 in., Boring Method HSA, Date Completed 11/19/07

Table with columns: Elevation/Depth, SOIL STRATIGRAPHY/SAMPLE CONDITIONS, Description, Boring and Sampling Notes, Rec., NM, SPT Blows, SPT Blow/Foot Curve. Includes soil descriptions like 'Brown, moist, soft to stiff micaceous sandy SILT (ML)' and 'Groundwater encountered at 10.7' while drilling.'

SAMPLER TYPE: DRIVEN SPIGOT SPOON UNLESS OTHERWISE NOTED
SAMPLE CONDITIONS: D - DISINTEGRATED, I - INTACT, U - UNDETERMINED, L - LOST
GROUND WATER: AT COMPLETION, AFTER 15 MINS., AFTER 30 MINS.
CAVE IN DEPTH: 0, 0.5, 1, 1.5, 2, 2.5, 3, 3.5, 4, 4.5, 5, 5.5, 6, 6.5, 7, 7.5, 8, 8.5, 9, 9.5, 10, 10.5, 11, 11.5, 12, 12.5, 13, 13.5, 14, 14.5, 15, 15.5, 16, 16.5, 17, 17.5, 18, 18.5, 19, 19.5, 20, 20.5, 21, 21.5, 22, 22.5, 23, 23.5, 24, 24.5, 25, 25.5, 26, 26.5, 27, 27.5, 28, 28.5, 29, 29.5, 30, 30.5, 31, 31.5, 32, 32.5, 33, 33.5, 34, 34.5, 35, 35.5, 36, 36.5, 37, 37.5, 38, 38.5, 39, 39.5, 40, 40.5, 41, 41.5, 42, 42.5, 43, 43.5, 44, 44.5, 45, 45.5, 46, 46.5, 47, 47.5, 48, 48.5, 49, 49.5, 50
BORING METHOD: HSA - HOLLOW STEM AUGERS, CFA - CONTINUOUS FLIGHT AUGERS, DC - DRIVING CASING, MD - MUD DRILLING

B-33
5032

HILLIS - CARNES
ENGINEERING ASSOCIATES, INC.
RECORD OF SOIL EXPLORATION

Project Name: Waverly Woods West Crossing
Location: Howard County, Maryland
Boring No.: B-33
Job #: 07390A
Datum: Hammer Wt. 140 lbs., Hole Diameter 6", Foreman L. Smith
Surf. Elev. 470.30 ft., Hammer Drop 30 in., Rock Core Diameter
Date Started 11/19/07, Pipe Size 2 in., Boring Method HSA, Date Completed 11/19/07

Table with columns: Elevation/Depth, SOIL STRATIGRAPHY/SAMPLE CONDITIONS, Description, Boring and Sampling Notes, Rec., NM, SPT Blows, SPT Blow/Foot Curve. Includes soil descriptions like 'Brown, moist to damp, soft to stiff micaceous sandy SILT (ML)' and 'Groundwater encountered at 10.7' while drilling.'

SAMPLER TYPE: DRIVEN SPIGOT SPOON UNLESS OTHERWISE NOTED
SAMPLE CONDITIONS: D - DISINTEGRATED, I - INTACT, U - UNDETERMINED, L - LOST
GROUND WATER: AT COMPLETION, AFTER 15 MINS., AFTER 30 MINS.
CAVE IN DEPTH: 0, 0.5, 1, 1.5, 2, 2.5, 3, 3.5, 4, 4.5, 5, 5.5, 6, 6.5, 7, 7.5, 8, 8.5, 9, 9.5, 10, 10.5, 11, 11.5, 12, 12.5, 13, 13.5, 14, 14.5, 15, 15.5, 16, 16.5, 17, 17.5, 18, 18.5, 19, 19.5, 20, 20.5, 21, 21.5, 22, 22.5, 23, 23.5, 24, 24.5, 25, 25.5, 26, 26.5, 27, 27.5, 28, 28.5, 29, 29.5, 30, 30.5, 31, 31.5, 32, 32.5, 33, 33.5, 34, 34.5, 35, 35.5, 36, 36.5, 37, 37.5, 38, 38.5, 39, 39.5, 40, 40.5, 41, 41.5, 42, 42.5, 43, 43.5, 44, 44.5, 45, 45.5, 46, 46.5, 47, 47.5, 48, 48.5, 49, 49.5, 50
BORING METHOD: HSA - HOLLOW STEM AUGERS, CFA - CONTINUOUS FLIGHT AUGERS, DC - DRIVING CASING, MD - MUD DRILLING

B-34
5033

HILLIS - CARNES
ENGINEERING ASSOCIATES, INC.
RECORD OF SOIL EXPLORATION

Project Name: Waverly Woods West Crossing
Location: Howard County, Maryland
Boring No.: B-34
Job #: 07390A
Datum: Hammer Wt. 140 lbs., Hole Diameter 6", Foreman L. Smith
Surf. Elev. 471.50 ft., Hammer Drop 30 in., Rock Core Diameter
Date Started 11/21/07, Pipe Size 2 in., Boring Method HSA, Date Completed 11/21/07

Table with columns: Elevation/Depth, SOIL STRATIGRAPHY/SAMPLE CONDITIONS, Description, Boring and Sampling Notes, Rec., NM, SPT Blows, SPT Blow/Foot Curve. Includes soil descriptions like 'Brown, moist, soft to medium stiff micaceous sandy SILT (ML)' and 'Groundwater encountered at 10.7' while drilling.'

SAMPLER TYPE: DRIVEN SPIGOT SPOON UNLESS OTHERWISE NOTED
SAMPLE CONDITIONS: D - DISINTEGRATED, I - INTACT, U - UNDETERMINED, L - LOST
GROUND WATER: AT COMPLETION, AFTER 15 MINS., AFTER 30 MINS.
CAVE IN DEPTH: 0, 0.5, 1, 1.5, 2, 2.5, 3, 3.5, 4, 4.5, 5, 5.5, 6, 6.5, 7, 7.5, 8, 8.5, 9, 9.5, 10, 10.5, 11, 11.5, 12, 12.5, 13, 13.5, 14, 14.5, 15, 15.5, 16, 16.5, 17, 17.5, 18, 18.5, 19, 19.5, 20, 20.5, 21, 21.5, 22, 22.5, 23, 23.5, 24, 24.5, 25, 25.5, 26, 26.5, 27, 27.5, 28, 28.5, 29, 29.5, 30, 30.5, 31, 31.5, 32, 32.5, 33, 33.5, 34, 34.5, 35, 35.5, 36, 36.5, 37, 37.5, 38, 38.5, 39, 39.5, 40, 40.5, 41, 41.5, 42, 42.5, 43, 43.5, 44, 44.5, 45, 45.5, 46, 46.5, 47, 47.5, 48, 48.5, 49, 49.5, 50
BORING METHOD: HSA - HOLLOW STEM AUGERS, CFA - CONTINUOUS FLIGHT AUGERS, DC - DRIVING CASING, MD - MUD DRILLING

B-35
5034

HILLIS - CARNES
ENGINEERING ASSOCIATES, INC.
RECORD OF SOIL EXPLORATION

Project Name: Waverly Woods West Crossing
Location: Howard County, Maryland
Boring No.: B-35
Job #: 07390A
Datum: Hammer Wt. 140 lbs., Hole Diameter 6", Foreman L. Smith
Surf. Elev. 475.11 ft., Hammer Drop 30 in., Rock Core Diameter
Date Started 11/21/07, Pipe Size 2 in., Boring Method HSA, Date Completed 11/21/07

Table with columns: Elevation/Depth, SOIL STRATIGRAPHY/SAMPLE CONDITIONS, Description, Boring and Sampling Notes, Rec., NM, SPT Blows, SPT Blow/Foot Curve. Includes soil descriptions like 'Brown, moist, soft, micaceous sandy SILT (ML)' and 'Groundwater encountered at 10.7' while drilling.'

SAMPLER TYPE: DRIVEN SPIGOT SPOON UNLESS OTHERWISE NOTED
SAMPLE CONDITIONS: D - DISINTEGRATED, I - INTACT, U - UNDETERMINED, L - LOST
GROUND WATER: AT COMPLETION, AFTER 15 MINS., AFTER 30 MINS.
CAVE IN DEPTH: 0, 0.5, 1, 1.5, 2, 2.5, 3, 3.5, 4, 4.5, 5, 5.5, 6, 6.5, 7, 7.5, 8, 8.5, 9, 9.5, 10, 10.5, 11, 11.5, 12, 12.5, 13, 13.5, 14, 14.5, 15, 15.5, 16, 16.5, 17, 17.5, 18, 18.5, 19, 19.5, 20, 20.5, 21, 21.5, 22, 22.5, 23, 23.5, 24, 24.5, 25, 25.5, 26, 26.5, 27, 27.5, 28, 28.5, 29, 29.5, 30, 30.5, 31, 31.5, 32, 32.5, 33, 33.5, 34, 34.5, 35, 35.5, 36, 36.5, 37, 37.5, 38, 38.5, 39, 39.5, 40, 40.5, 41, 41.5, 42, 42.5, 43, 43.5, 44, 44.5, 45, 45.5, 46, 46.5, 47, 47.5, 48, 48.5, 49, 49.5, 50
BORING METHOD: HSA - HOLLOW STEM AUGERS, CFA - CONTINUOUS FLIGHT AUGERS, DC - DRIVING CASING, MD - MUD DRILLING

B-36
5035

HILLIS - CARNES
ENGINEERING ASSOCIATES, INC.
RECORD OF SOIL EXPLORATION

Project Name: Waverly Woods West Crossing
Location: Howard County, Maryland
Boring No.: B-36
Job #: 07390A
Datum: Hammer Wt. 140 lbs., Hole Diameter 6", Foreman L. Smith
Surf. Elev. 474.55 ft., Hammer Drop 30 in., Rock Core Diameter
Date Started 11/20/07, Pipe Size 2 in., Boring Method HSA, Date Completed 11/20/07

Table with columns: Elevation/Depth, SOIL STRATIGRAPHY/SAMPLE CONDITIONS, Description, Boring and Sampling Notes, Rec., NM, SPT Blows, SPT Blow/Foot Curve. Includes soil descriptions like 'Brown, moist, soft to stiff micaceous sandy SILT (ML)' and 'Groundwater encountered at 10.7' while drilling.'

SAMPLER TYPE: DRIVEN SPIGOT SPOON UNLESS OTHERWISE NOTED
SAMPLE CONDITIONS: D - DISINTEGRATED, I - INTACT, U - UNDETERMINED, L - LOST
GROUND WATER: AT COMPLETION, AFTER 15 MINS., AFTER 30 MINS.
CAVE IN DEPTH: 0, 0.5, 1, 1.5, 2, 2.5, 3, 3.5, 4, 4.5, 5, 5.5, 6, 6.5, 7, 7.5, 8, 8.5, 9, 9.5, 10, 10.5, 11, 11.5, 12, 12.5, 13, 13.5, 14, 14.5, 15, 15.5, 16, 16.5, 17, 17.5, 18, 18.5, 19, 19.5, 20, 20.5, 21, 21.5, 22, 22.5, 23, 23.5, 24, 24.5, 25, 25.5, 26, 26.5, 27, 27.5, 28, 28.5, 29, 29.5, 30, 30.5, 31, 31.5, 32, 32.5, 33, 33.5, 34, 34.5, 35, 35.5, 36, 36.5, 37, 37.5, 38, 38.5, 39, 39.5, 40, 40.5, 41, 41.5, 42, 42.5, 43, 43.5, 44, 44.5, 45, 45.5, 46, 46.5, 47, 47.5, 48, 48.5, 49, 49.5, 50
BORING METHOD: HSA - HOLLOW STEM AUGERS, CFA - CONTINUOUS FLIGHT AUGERS, DC - DRIVING CASING, MD - MUD DRILLING

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 1072 BALTIMORE NATIONAL FRIE
ELICOTT CITY, MARYLAND 21042
410-461-2555



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/3/14.

Terrell A. Fisher, PROFESSIONAL ENGINEER
11/14/12
DATE

BUILDERS

NV HOMES 6095 MARSHALEE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-5956
RYAN HOMES 6095 MARSHALEE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956

DEVELOPER

WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELICOTT CITY, MARYLAND 21042
443-367-0422

OWNERS

WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELICOTT CITY, MARYLAND 21042
443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Kat Shalosh Chief, Division of Land Development
12/12/12
Date
Paul L. Wiley Director - Department of Planning and Zoning
12/12/12
Date

REVISED
SOIL BORING SHEET

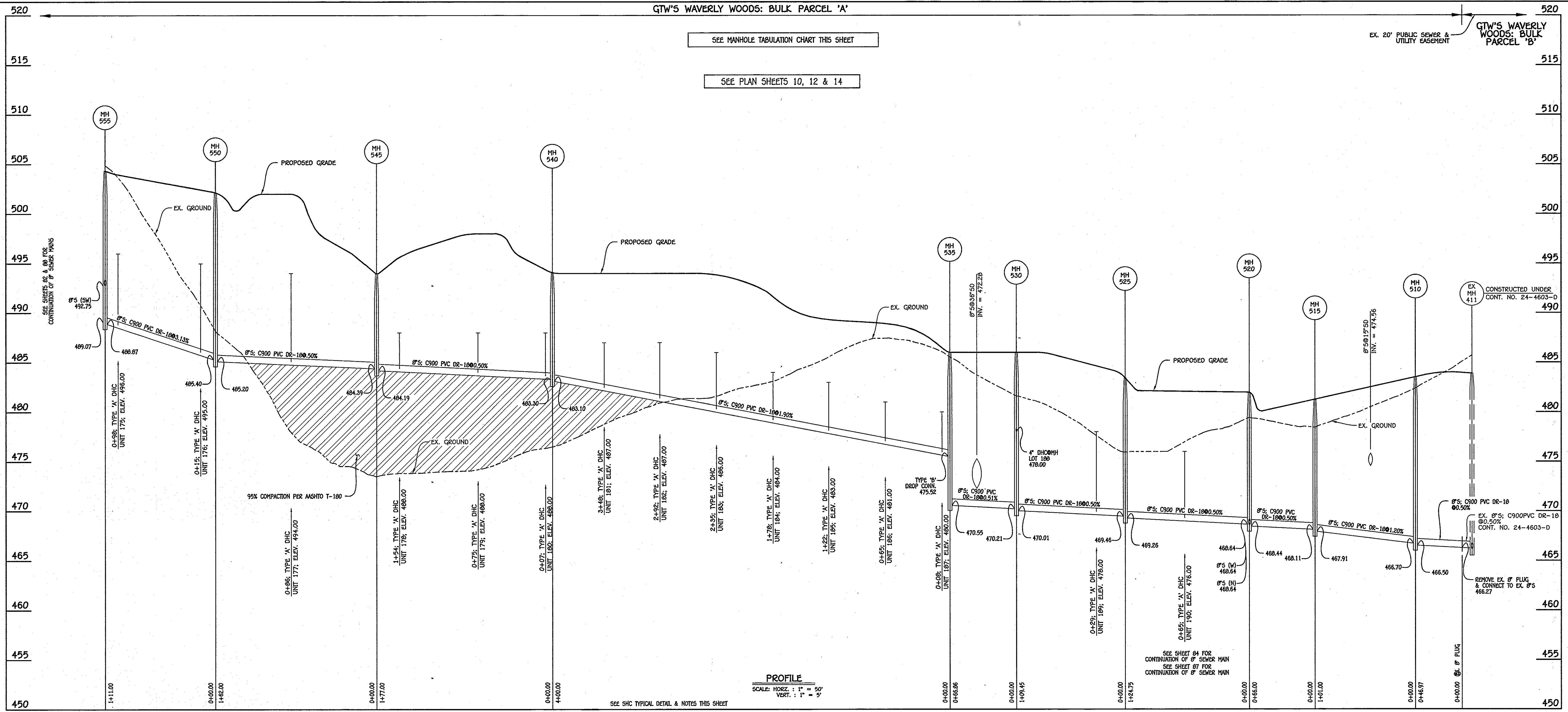
AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
SECTION 14

"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 165 &
PHASES IV & V - UNITS 80 THRU 119, 153 THRU 161, 196 THRU 200,
237 THRU 239, 260 THRU 271, 282 THRU 285, & 290 THRU 320
TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES

ZONING: PSC
TAX MAP NO: 15 GRID NO: 3 & 4 PARCEL NO: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
SHEET 80 OF 100

Table with columns: PROJECT, SECTION, PLAT, BLOCK NO., ZONE, TAX/ZONE, ELEC. DIST., CENSUS TR., WATER CODE, SEWER CODE. Includes project details for GTW's Waverly Woods.

Table with columns: NO., REVISION, DATE. Includes revision 1: REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL, 9/28/12.

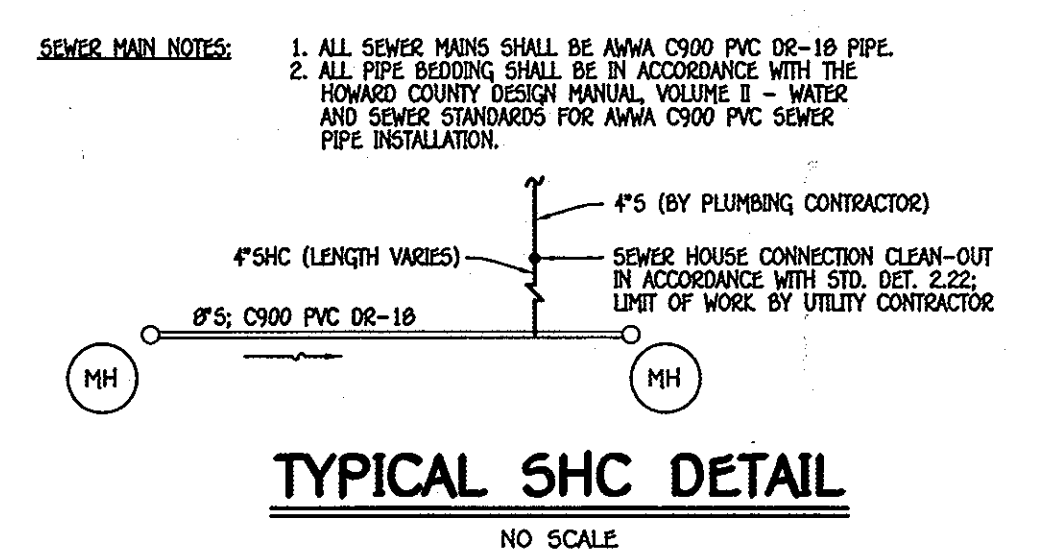


8" SEWER MAIN: MH 510 TO MH 555

STATION	UNIT	ELEVATION
MH 540 TO MH 545		
0+07 LT.	180 (DHC)	488.20
0+75 LT.	179 (DHC)	488.10
1+54 LT.	178 (DHC)	488.40
MH 545 TO MH 550		
0+86 LT.	177 (DHC)	494.20
MH 550 TO MH 555		
0+15 LT.	176 (DHC)	496.20
0+98 LT.	175 (DHC)	495.20

STATION	UNIT	ELEVATION
MH 520 TO MH 525		
0+65 LT.	190 (DHC)	476.40
0+29 LT.	189 (DHC)	478.20
0+MH 530 LT.	188 (DHC@MH)	478.20
MH 535 TO MH 540		
0+08 LT.	187 (DHC)	480.10
0+65 LT.	186 (DHC)	481.20
1+22 LT.	185 (DHC)	483.20
1+78 LT.	184 (DHC)	484.10
2+35 LT.	183 (DHC)	486.10
2+92 LT.	182 (DHC)	487.10
3+48 LT.	181 (DHC)	487.20

NO.	NORTHING	EASTING	RIM ELEVATION
510	538437.72	827815.85	483.50
515	538538.66	827812.30	481.25
520	538595.09	827778.07	482.00
525	538704.67	827837.69	483.40
530	538811.93	827859.46	486.00
535	538878.73	827856.59	486.00
540	539288.19	827765.38	494.00
545	539435.84	827708.63	499.50
550	539511.33	827565.30	502.15
555	539526.84	827455.38	504.35



NOTE: SET MH RIMS FLUSH W/PROPOSED GRADE.

REVISED

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CONTINENTAL SQUARE OFFICE PARK - 10272 BALDORNE NATIONAL PARK
 ELLICOTT CITY, MARYLAND 21042
 (410) 461-2899



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE 9/13/14.

Terrell A. Fisher 11/14/12 DATE
 TERRELL A. FISHER, PROFESSIONAL ENGINEER

BUILDERS

NV HOMES 6085 MARSHALEE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-5956
 RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956

DEVELOPER

WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 443-367-0422

OWNERS

WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

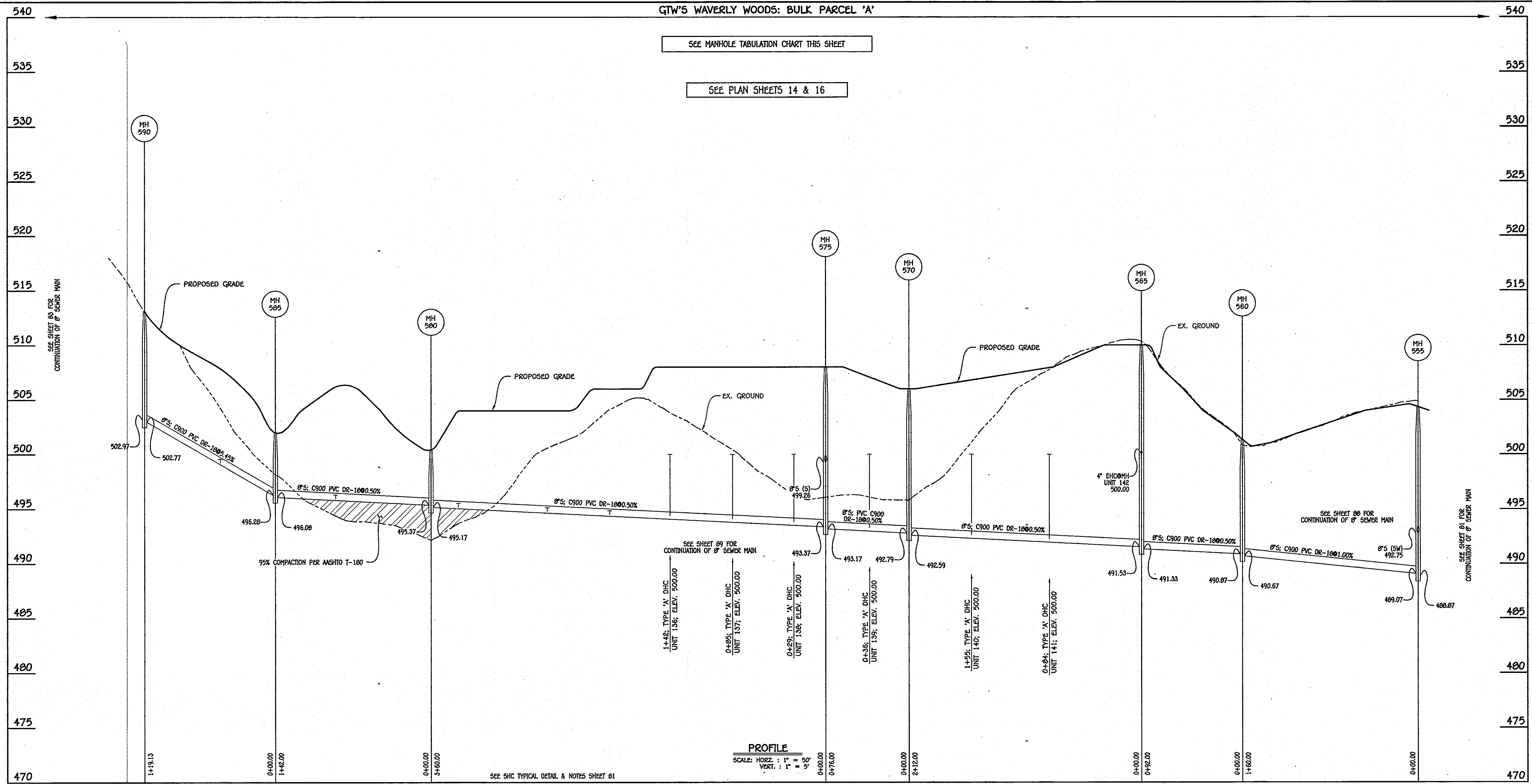
Kevin Land 12/18/12 DATE
 Chief, Division of Land Development
Michael... 12/18/12 DATE
 Chief, Development Engineering Division
... 12/18/12 DATE
 Director - Department of Planning and Zoning

PROJECT	SECTION	PARCEL NO. "2"
GTW'S WAVERLY WOODS	14	PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 165 & PHASES IV & V - UNITS 80 THRU 119, 153 THRU 161, 195 THRU 200, 237 THRU 239, 268 THRU 271, 282 THRU 285, & 290 THRU 328
PLAT 21427 AND 22082	BLOCK NO. 3 & 4	TAX/ZONE 16
WATER CODE K-02	SEWER CODE 5992000	ELEC. DIST. THIRD
		CENSUS TR. 60300

SEWER MAIN PROFILES

AGE RESTRICTED ADULT HOUSING
 GTW'S WAVERLY WOODS
 SECTION 14

"THE COURTYARDS AT WAVERLY WOODS - WEST"
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES
 ZONING: PSC
 TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
 SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
 SHEET 01 OF 100



8" SEWER MAIN: MH 555 TO MH 590

SHC INVERT@BUILDING		
STATION	UNIT	ELEVATION
MH 575 TO MH 580		
0+29 LT.	138 (DHC)	500.20
0+85 LT.	137 (DHC)	500.20
1+42 LT.	136 (DHC)	500.20
1+97 LT.	135	494.73
2+54 LT.	134	495.01
3+35 LT.	133	495.62
MH 580 TO MH 585		
0+87 LT.	132	496.08
MH 585 TO MH 590		
0+50 LT.	131	499.28

SHC INVERT@BUILDING		
STATION	UNIT	ELEVATION
MH 560 TO MH 565		
0+MH 565 LT.	142 (DHC@MH)	500.90
MH 565 TO MH 570		
0+84 LT.	141 (DHC)	500.40
1+55 LT.	140 (DHC)	500.20
MH 570 TO MH 575		
0+36 LT.	139 (DHC)	500.20

MANHOLE TABULATION CHART			
NO.	NORTHING	EASTING	RIM ELEVATION
555	539526.84	827455.38	504.35
560	539619.86	827325.20	501.35
565	539619.85	827233.19	510.00
570	539715.77	827044.13	506.00
575	539711.87	826968.23	508.00
580	539693.40	826608.71	500.50
585	539595.99	826505.39	502.00
590	539486.52	826458.39	513.00

NOTE: SET MH RIMS FLUSH W/PROPOSED GRADE.

REVISED

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SOURCE OFFICE PARK - 10272 BALDORNE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042
 (410) 461-2895



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/3/14.

Terrell A. Fisher
 TERRELL A. FISHER, PROFESSIONAL ENGINEER
 11/14/12 DATE

BUILDERS

NV HOMES 6085 MARSHALEE DRIVE SUITE 130 ELKROCK, MD 21075 410-379-5956

RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELKROCK, MD 21075 410-379-5956

DEVELOPER

WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELICOTT CITY, MARYLAND 21042
 443-367-0422

OWNERS

WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELICOTT CITY, MARYLAND 21042
 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

John P. Grogan 12/19/12
 Chief, Department of Land Development Date

John P. Grogan 12/18/12
 Chief, Engineering Division Date

John P. Grogan 12/18/12
 Director - Department of Planning and Zoning Date

PROJECT: GTW'S WAVERLY WOODS SECTION: 14 PARCEL NO. 'E'

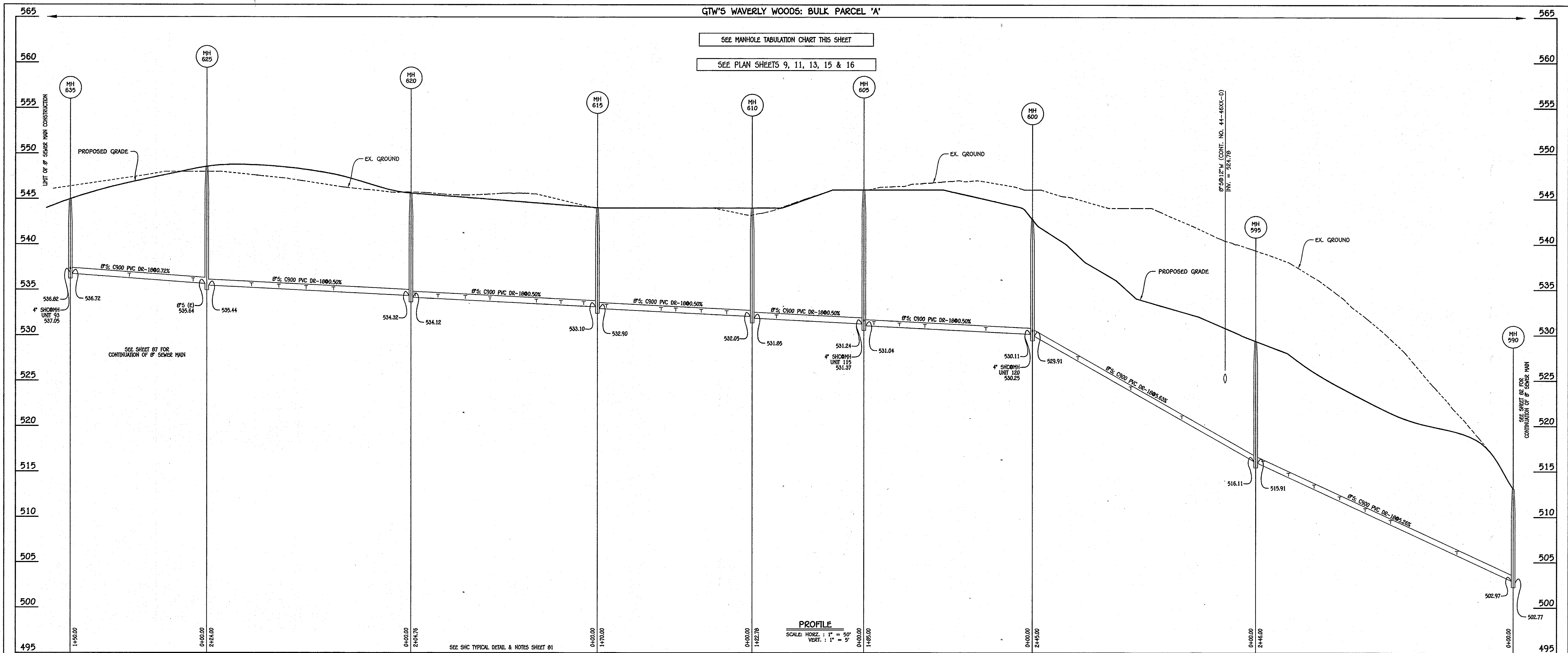
PLAT 21427 - BLOCK NO. 21435 AND 22099 ZONE 3 & 4 PSC TAX/ZONE 16 ELEC. DIST. THIRD CENSUS TR. 60300

WATER CODE K-02 SEWER CODE 5992000

SEWER MAIN PROFILES

AGE RESTRICTED ADULT HOUSING
 GTW'S WAVERLY WOODS
 SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 165 &
 PHASES IV & V - UNITS 80 THRU 119, 153 THRU 161, 196 THRU 200,
 237 THRU 239, 268 THRU 271, 282 THRU 285, & 290 THRU 328
 TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES
 ZONING: PSC
 TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
 SHEET 82 OF 100

NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12



8" SEWER MAIN: MH 590 TO MH 635

SHC INVERT@BUILDING		
STATION	UNIT	ELEVATION
MH 615 TO MH 620		
0+15 LT.	108	533.75
0+40 LT.	107	533.87
0+67 LT.	106	537.01
1+18 LT.	105	534.26
1+45 LT.	104	534.40
1+75 LT.	103	534.55
2+00 LT.	102	534.67
MH 620 TO MH 625		
0+05 LT.	101	535.22
1+15 LT.	100	535.37
1+45 LT.	99	535.52
1+75 LT.	98	535.67

SHC INVERT@BUILDING		
STATION	UNIT	ELEVATION
MH 600 TO MH 605		
0+51 LT.	119	530.64
1+18 LT.	118	530.97
1+46 LT.	117	531.11
1+74 LT.	116	531.25
@MH 605 LT.	115	531.47
MH 605 TO MH 610		
0+96 LT.	114	532.09
MH 610 TO MH 615		
0+28 LT.	113	532.56
0+56 LT.	112	532.70
0+84 LT.	111	532.84
1+12 LT.	110	532.92
1+60 LT.	109	533.42

SHC INVERT@BUILDING		
STATION	UNIT	ELEVATION
MH 590 TO MH 595		
0+62 LT.	130	506.60
1+35 LT.	129	510.44
1+63 LT.	128	511.91
1+91 LT.	127	513.39
2+19 LT.	126	514.86
2+47 LT.	125	516.33
2+75 LT.	124	517.81
MH 595 TO MH 600		
0+81 LT.	123	520.94
1+37 LT.	122	524.09
1+95 LT.	121	527.36
@MH 600 LT.	120	530.33

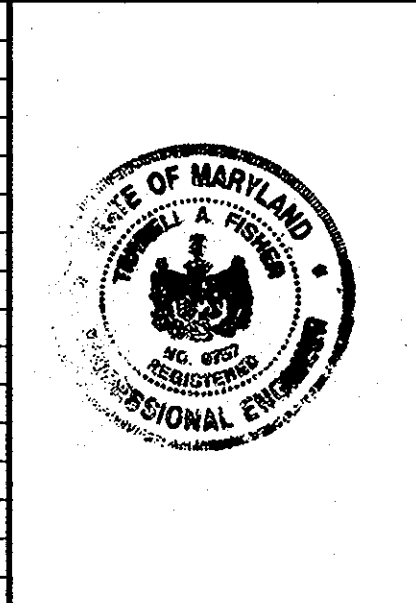
MANHOLE TABULATION CHART			
NO.	NORTHING	EASTING	RIM ELEVATION
590	539486.52	826450.39	513.00
595	539242.17	826601.33	523.35
600	539030.70	826725.04	542.75
605	538851.70	826878.31	546.00
610	538730.45	826958.96	544.00
615	538564.85	826997.37	544.00
620	538362.33	826667.10	545.60
625	538141.35	826703.76	548.50
635	538120.25	826555.25	545.00

NOTE: SET MH RIMS FLUSH W/PROPOSED GRADE.

SHC INVERT@BUILDING		
STATION	UNIT	ELEVATION
MH 625 TO MH 635		
0+15 LT.	95	536.42
0+05 LT.	94	536.72
@MH 635 LT.	93	537.15

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10772 BALDWIN NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 461-2899

NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE 9/3/14.

Terrell A. Fisher
 TERRELL A. FISHER, PROFESSIONAL ENGINEER
 11/14/12 DATE

BUILDERS

IV HOMES 6085 MARSHALEE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-9956	EVAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-9956
---	---

DEVELOPER

WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 443-367-0422

OWNERS

WAVERLY WOODS DEVELOPMENT CORPORATION,
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Kevin Redmond
 Chief, Division of Land Development
 Date: 11/19/12

Michael J. ...
 Chief, Development Engineering Division
 Date: 11/20/12

David L. ...
 Director - Department of Planning and Zoning
 Date: 11/20/12

PROJECT	SECTION	PARCEL NO. 'E'
QTW'S WAVERLY WOODS	14	1025 S. 15-20, 44-65 & 88 THRU 165 & PHASES IV & V - UNITS 80 THRU 119, 153 THRU 161, 196 THRU 200, 237 THRU 239, 268 THRU 271, 282 THRU 285, & 290 THRU 328
PLAT 21427 - 21435 AND 22088 - 22089	BLOCK NO. 3 & 4	ZONE PSC TAX/ZONE 16 ELEC. DIST. THIRD CENSUS TR. 60300
WATER CODE K-02	SEWER CODE 5992000	

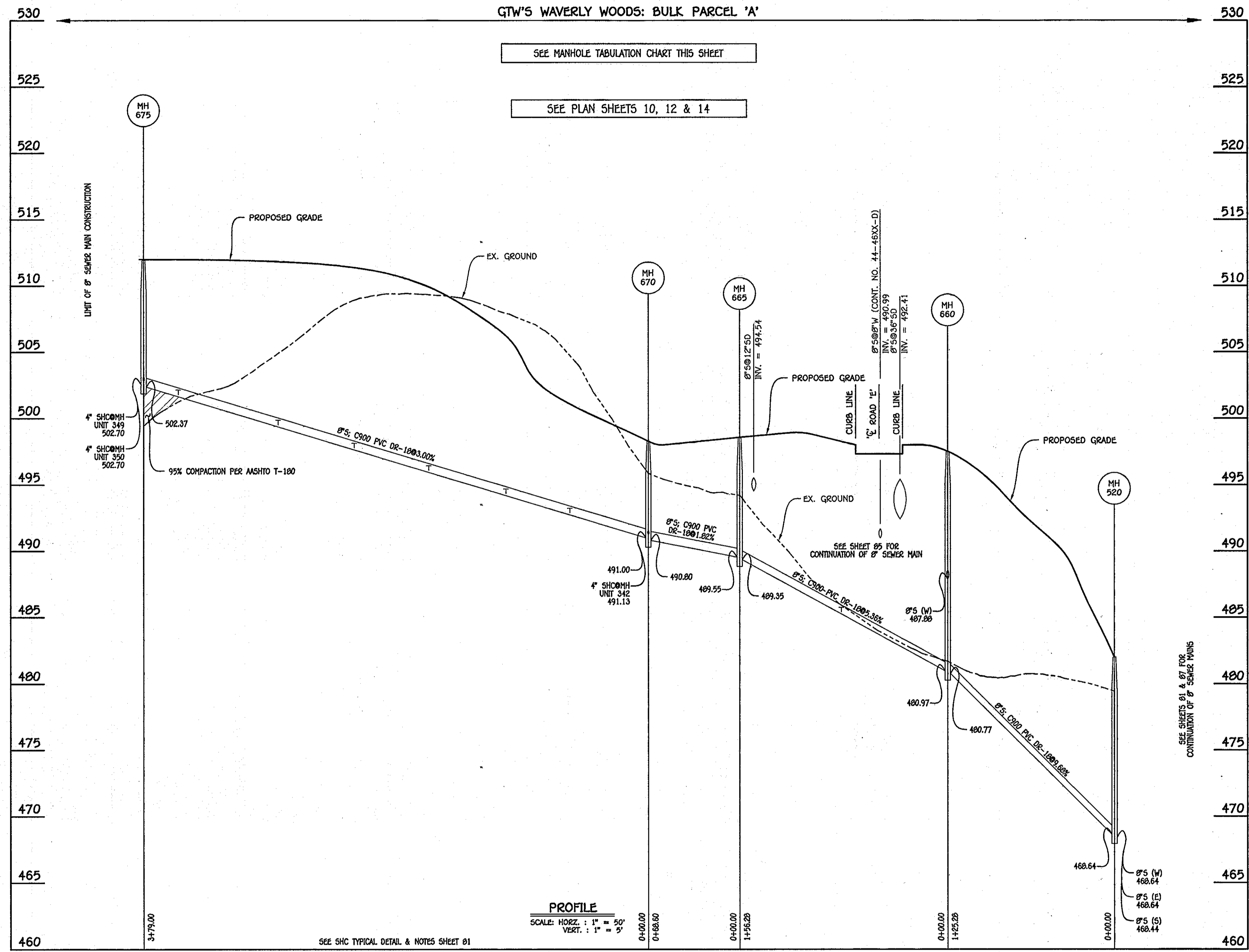
REVISED SEWER MAIN PROFILES

AGE RESTRICTED ADULT HOUSING
 QTW'S WAVERLY WOODS

SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 165 &
 PHASES IV & V - UNITS 80 THRU 119, 153 THRU 161, 196 THRU 200,
 237 THRU 239, 268 THRU 271, 282 THRU 285, & 290 THRU 328
 TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES

ZONING: PSC
 TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
 SHEET 03 OF 100

SDP-09-039



SEE MANHOLE TABULATION CHART THIS SHEET
SEE PLAN SHEETS 10, 12 & 14

MANHOLE TABULATION CHART			
NO.	NORTHING	EASTING	RIM ELEVATION
520	530995.09	027770.07	482.00
660	530690.19	027696.52	497.50
665	530045.69	027600.93	499.00
670	530061.61	027614.20	498.30
675	539230.62	027527.70	512.00

NOTE: SET MH RIMS FLUSH W/PROPOSED GRADE.

SHC INVERT@BUILDING		
STATION	UNIT	ELEVATION
MH 650 TO MH 665		
0+80 LT.	340	495.83
	MH 665 TO MH 670	
⊙MH 670 LT.	342	491.43
MH 670 TO MH 675		
0+59 LT.	343	493.24
1+07 LT.	344	494.50
1+65 LT.	345	496.32
2+21 LT.	346	498.00
2+78 LT.	347	499.71
3+53 LT.	348	501.96
⊙MH 675 LT.	349	503.40
⊙MH 675 CEN.	350	502.90

8" SEWER MAIN: MH 520 TO MH 675

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CONTINENTAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
(410) 461-2999



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 11/14/14.
Terrell A. Fisher
TERRELL A. FISHER, PROFESSIONAL ENGINEER
11/14/12 DATE

BUILDERS
NV HOMES 6085 MARSHALEE DRIVE SUITE 130 ELKRODGE, MD. 21075 410-379-5956
RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELKRODGE, MD. 21075 410-379-5956

DEVELOPER
WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLCOTT CITY, MARYLAND 21042
443-357-0422

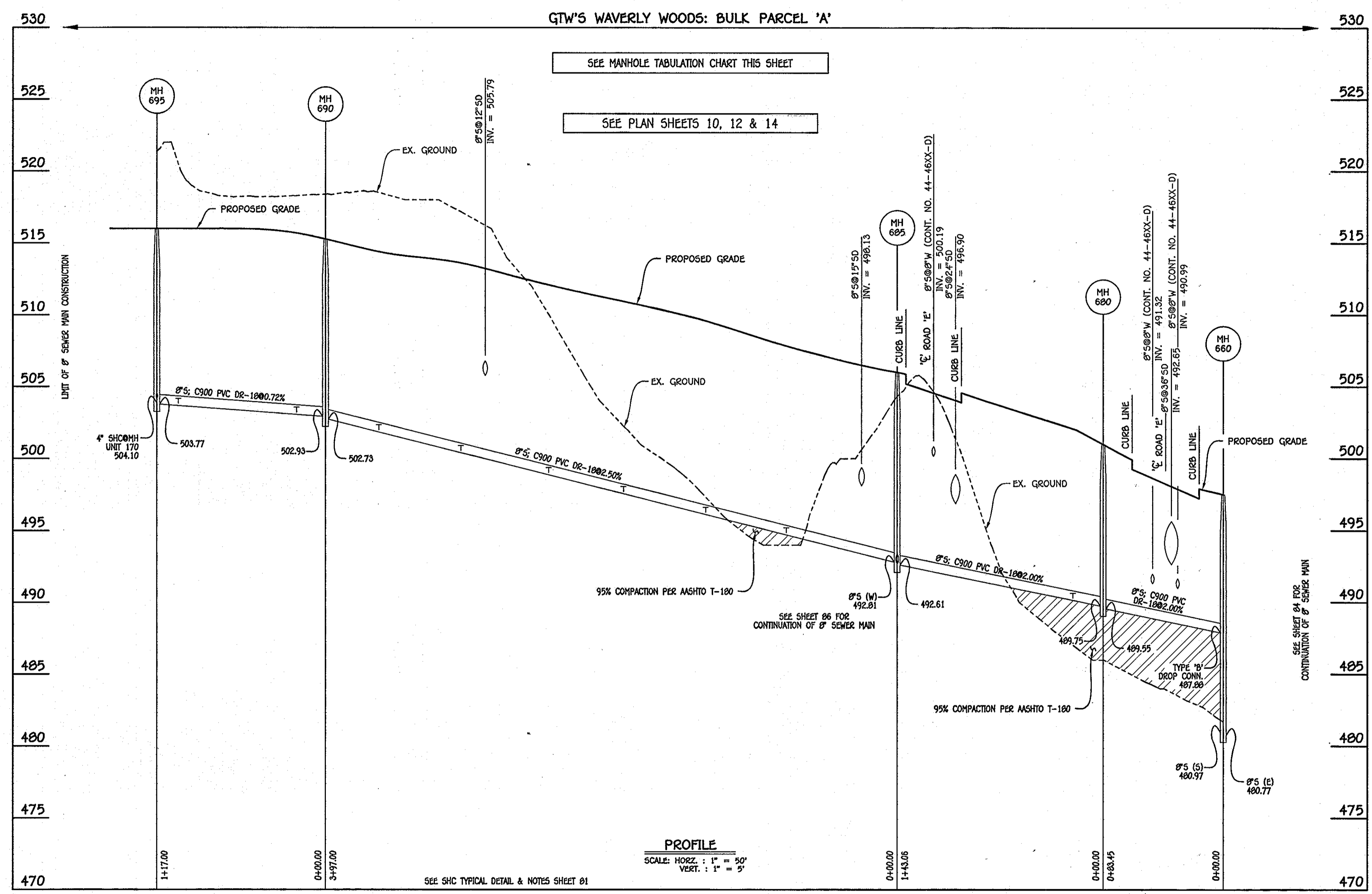
OWNERS
WAVERLY WOODS DEVELOPMENT CORPORATION,
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLCOTT CITY, MARYLAND 21042
443-357-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Keith Selover 12/10/12
Chief, Division of Land Development
David Williams 12/10/12
Chief, Development Engineering Division
Paul M. ... 12/10/12
Director - Department of Planning and Zoning

PROJECT: GTW'S WAVERLY WOODS
SECTION: 14
PARCEL NO.: "E"
PLAT 21427 - BLOCK NO. 3 & 4
AND 22065 - 22069
ZONE: PSC
TAX / ZONE: 16
ELEC. DIST.: THIRD
CENSUS TR.: 60300
WATER CODE: K-02
SEWER CODE: 5992000

REVISED
SEWER MAIN PROFILES
AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 165 &
PHASES IV & V - UNITS 80 THRU 119, 153 THRU 161, 196 THRU 200,
237 THRU 239, 288 THRU 271, 282 THRU 285, & 290 THRU 328
TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES
ZONING: PSC
TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
SHEET 04 OF 100 5DP-09-039

NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12



8" SEWER MAIN: MH 660 TO MH 695

MANHOLE TABULATION CHART			
NO.	NORTHING	EASTING	RIM ELEVATION
660	538690.19	827696.52	497.50
680	538729.79	827623.06	501.00
685	538697.17	827483.76	506.00
690	539083.71	827393.24	515.25
695	539197.63	827366.57	516.00

NOTE: SET MH RIMS FLUSH W/PROPOSED GRADE.

SHC INVERT@BUILDING		
STATION	UNIT	ELEVATION
MH 660 TO MH 685		
0+21 RT.	341	490.44
MH 685 TO MH 690		
0+77 LT.	162	494.95
1+33 LT.	163	496.35
1+90 LT.	164	497.77
2+42 LT.	165	499.07
3+03 LT.	166	500.60
3+60 LT.	167	502.02
MH 690 TO MH 695		
0+20 LT.	168	503.28
1+02 LT.	169	503.87
@MH 695 LT.	170	504.18

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
10772 BALDWIN ROAD, SUITE 102
ELLCOTT CITY, MARYLAND 21042
(410) 461-2899

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 2/2/14.

Terrell A. Fisher 11/14/12 DATE
TERRELL A. FISHER, PROFESSIONAL ENGINEER

NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12

BUILDERS	
RYAN HOMES 6085 MARSHALEE DRIVE SUITE 130 ELKRIDGE, MD. 21075 410-379-5956	RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELKRIDGE, MD. 21075 410-379-5956
OWNERS	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-367-0422	WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Victor J. DeLoe 11/14/12 DATE
Chief, Division of Land Development

John J. Williams 12/12/12 DATE
Chief, Development Engineering Division

Michael J. Uhlir 12/14/12 DATE
Director - Department of Planning and Zoning

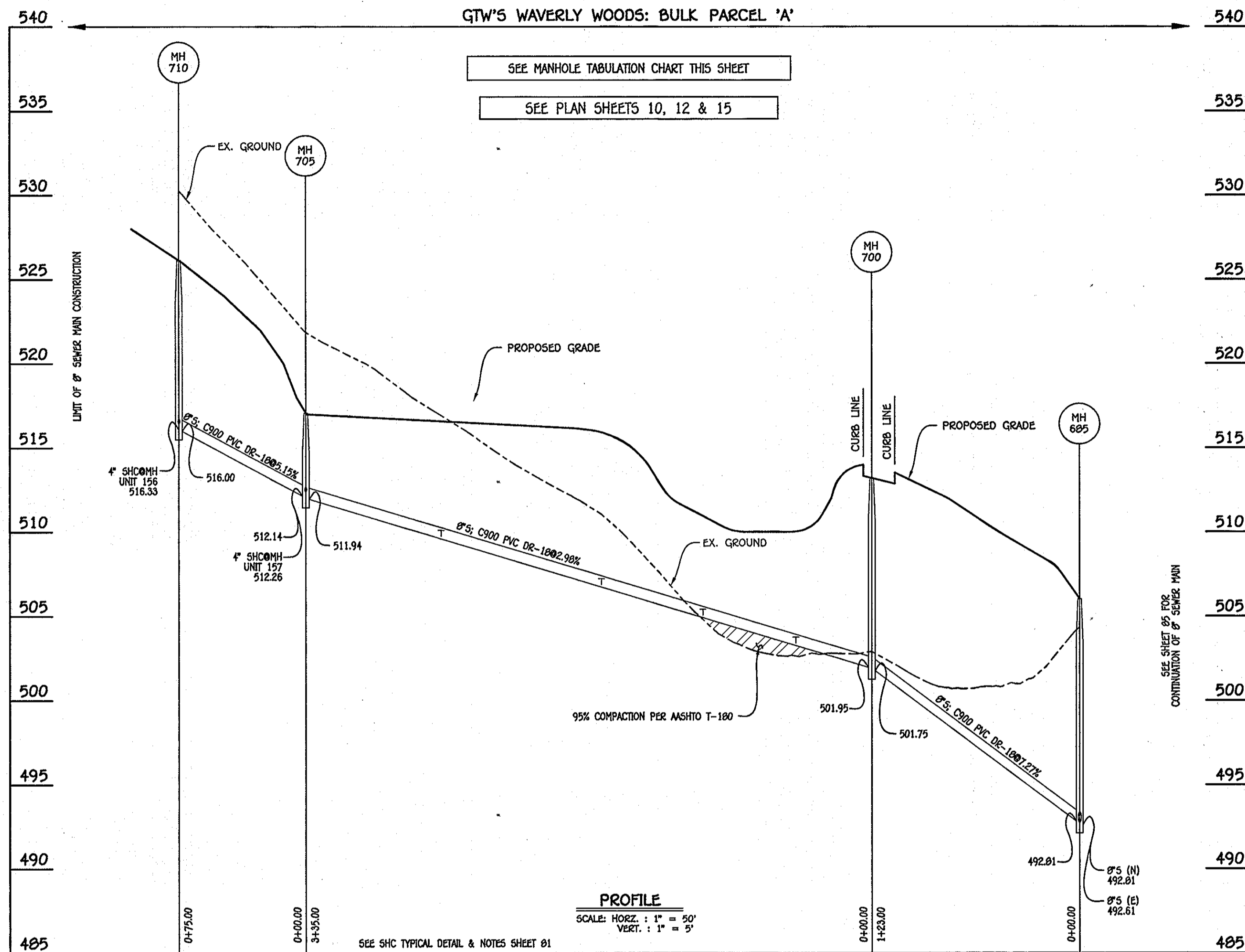
PROJECT	SECTION	PARCEL NO. 'E'
GTW'S WAVERLY WOODS	14	1025 A, 1025 B, 1025 C, 1025 D, 1025 E, 1025 F, 1025 G, 1025 H, 1025 I, 1025 J, 1025 K, 1025 L, 1025 M, 1025 N, 1025 O, 1025 P, 1025 Q, 1025 R, 1025 S, 1025 T, 1025 U, 1025 V, 1025 W, 1025 X, 1025 Y, 1025 Z
PLAT 21427 - 21435 AND 22095 - 22099	BLOCK NO. 3 & 4	ZONE PSC
TAX/ZONE 16	ELEC. DIST. THIRD	CENSUS TR. 60300
WATER CODE K-02	SEWER CODE 5992000	

REVISED SEWER MAIN PROFILES

AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS

SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 165 & PHASES IV & V - UNITS 80 THRU 119, 153 THRU 161, 196 THRU 200, 237 THRU 239, 268 THRU 271, 282 THRU 285, & 290 THRU 328
TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES

TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
SHEET 05 OF 100 **SDP-09-039**



8" SEWER MAIN: MH 685 TO MH 710

MANHOLE TABULATION CHART			
NO.	NORTHING	EASTING	RIM ELEVATION
685	538697.17	827483.76	506.00
700	538669.12	827364.01	513.20
705	538995.30	827287.62	517.00
710	539037.40	827225.55	526.00

NOTE: SET MH RIMS FLUSH W/PROPOSED GRADE.

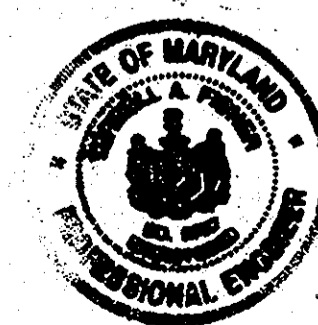
SHC INVERT@BUILDING		
STATION	UNIT	ELEVATION
MH 700 TO MH 705		
0+45 LT.	161	503.86
1+00 LT.	160	505.60
1+60 LT.	159	507.19
2+55 LT.	158	510.12
@MH 705 LT.	157	512.86
MH 705 TO MH 710		
@MH 710 LT.	156	516.73

REVISED

SEWER MAIN PROFILES

AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
 SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 165 &
 PHASES IV & V - UNITS 80 THRU 119, 153 THRU 161, 196 THRU 200,
 237 THRU 239, 288 THRU 271, 282 THRU 285, & 290 THRU 328
 TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES
 ZONING: PSC
 TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
 SHEET 86 OF 100 **SDP-09-039**

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SOURCE OFFICE PARK - 10772 BALDORNE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042
 (410) 461-2895



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/31/14.
Terrell A. Fisher 11/14/12 DATE
 TERRELL A. FISHER, PROFESSIONAL ENGINEER

BUILDERS

NV HOMES 6085 MARSHALEE DRIVE SUITE 130 ELKRODGE, MD. 21075 410-379-5956
 RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELKRODGE, MD. 21075 410-379-5956

DEVELOPER

WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELICOTT CITY, MARYLAND 21042
 443-367-0422

OWNERS

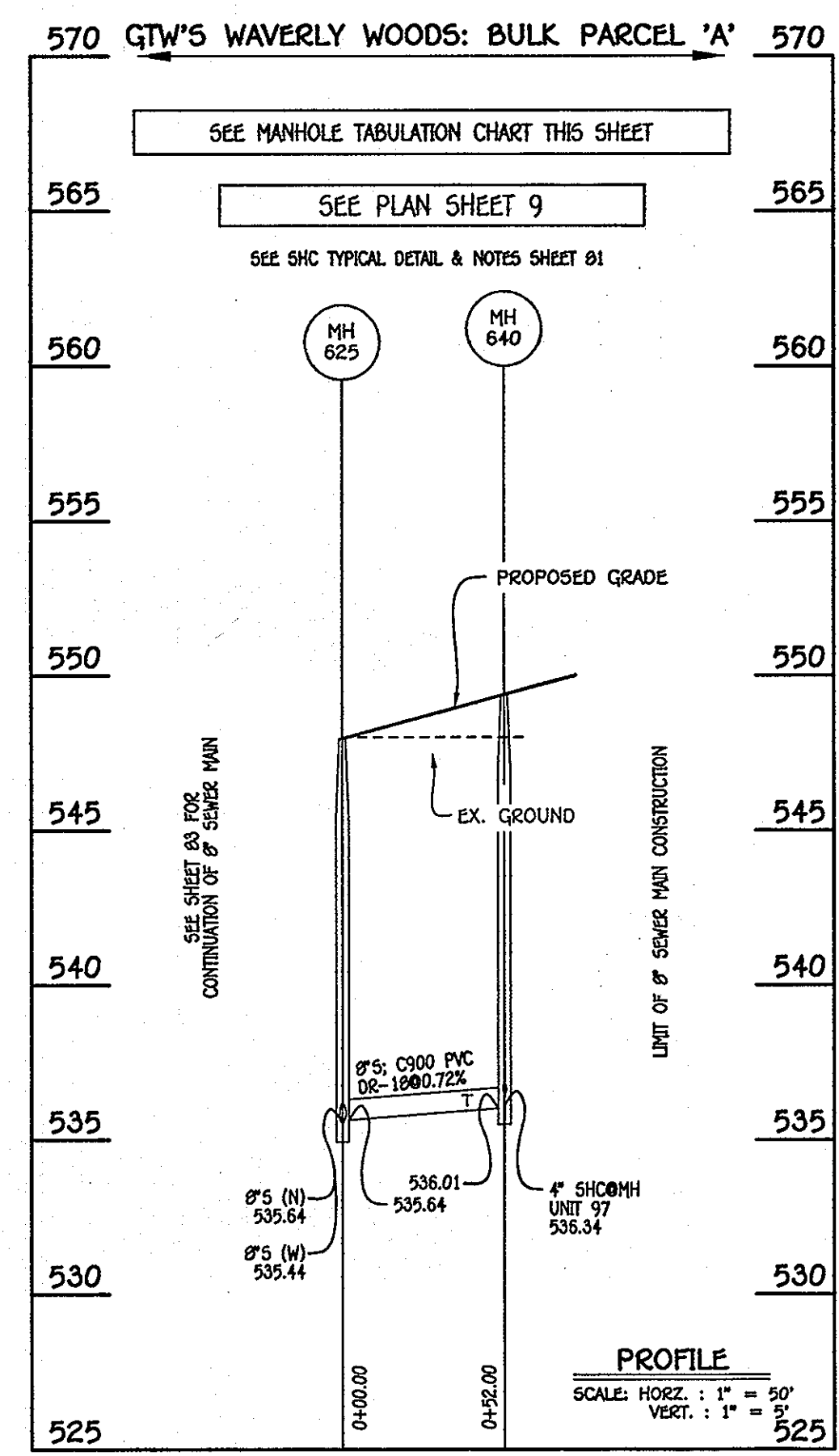
WAVERLY WOODS DEVELOPMENT CORPORATION,
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELICOTT CITY, MARYLAND 21042
 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Karl S. ... 12/14/12 DATE
 Chief, Division of Land Development
... 12/10/12 DATE
 Chief, Development Engineering Division
... 12/14/12 DATE
 Director - Department of Planning and Zoning

PROJECT	GTW'S WAVERLY WOODS	SECTION	14	PARCEL NO. "E"	21427 AND 22068 AND 22069
BLOCK NO.	3 & 4	ZONE	PSC	TAX/ZONE	16
ELEC. DIST.	THIRD	CENSUS TR.	60300	SEWER CODE	5992000

NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12

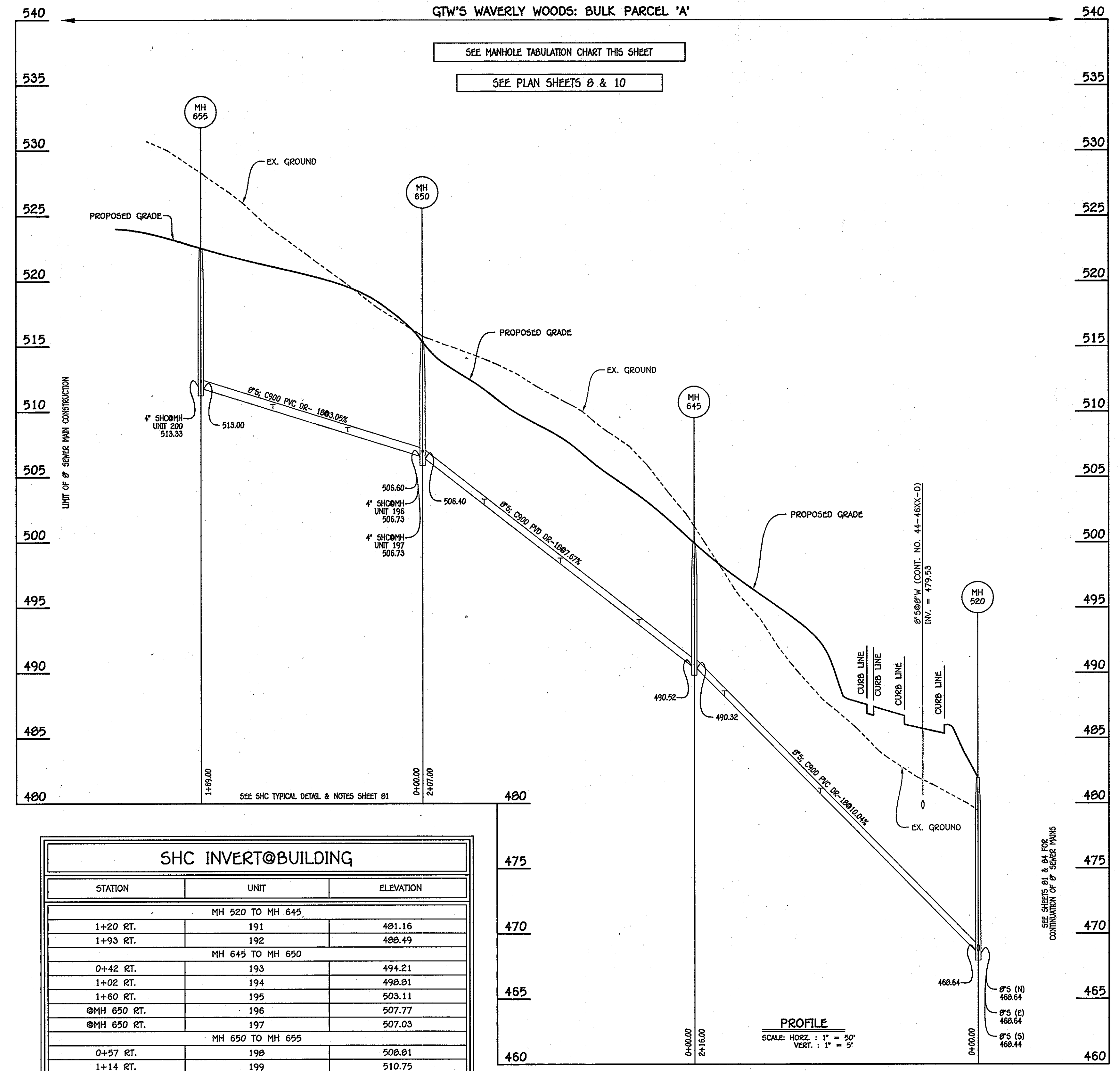


8" SEWER MAIN: MH 625 TO MH 640

SHC INVERT@BUILDING		
STATION	UNIT	ELEVATION
MH 625 TO MH 640		
0+40 RT	96	536.40
@MH 640 CEN.	97	536.74

MANHOLE TABULATION CHART			
NO.	NORTHING	EASTING	RIM ELEVATION
520	538595.09	827778.07	482.00
625	538141.35	826703.76	547.85
640	538141.35	826755.76	548.00
645	538546.32	827567.65	500.00
650	538499.59	827366.00	515.00
655	538331.04	827353.67	522.50

NOTE: SET MH RIMS FLUSH W/PROPOSED GRADE.



8" SEWER MAIN: MH 520 TO MH 655

SHC INVERT@BUILDING		
STATION	UNIT	ELEVATION
MH 520 TO MH 645		
1+20 RT.	191	481.16
1+93 RT.	192	488.49
MH 645 TO MH 650		
0+42 RT.	193	494.21
1+02 RT.	194	498.81
1+60 RT.	195	503.11
@MH 650 RT.	196	507.77
@MH 650 RT.	197	507.03
MH 650 TO MH 655		
0+57 RT.	198	508.81
1+14 RT.	199	510.75
@MH 655 RT.	200	512.48

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CONFIDENTIAL SOURCE OFFICE PHONE - 10722 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042
 (410) 461-2995



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE 12/31/14.
 Terrrell A. Fisher, PROFESSIONAL ENGINEER
 11/14/12 DATE

BUILDERS
 NV HOMES 6085 MARSHALEE DRIVE SUITE 130 ELKROCK, MD. 21075 410-379-5956
 RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELKROCK, MD. 21075 410-379-5956

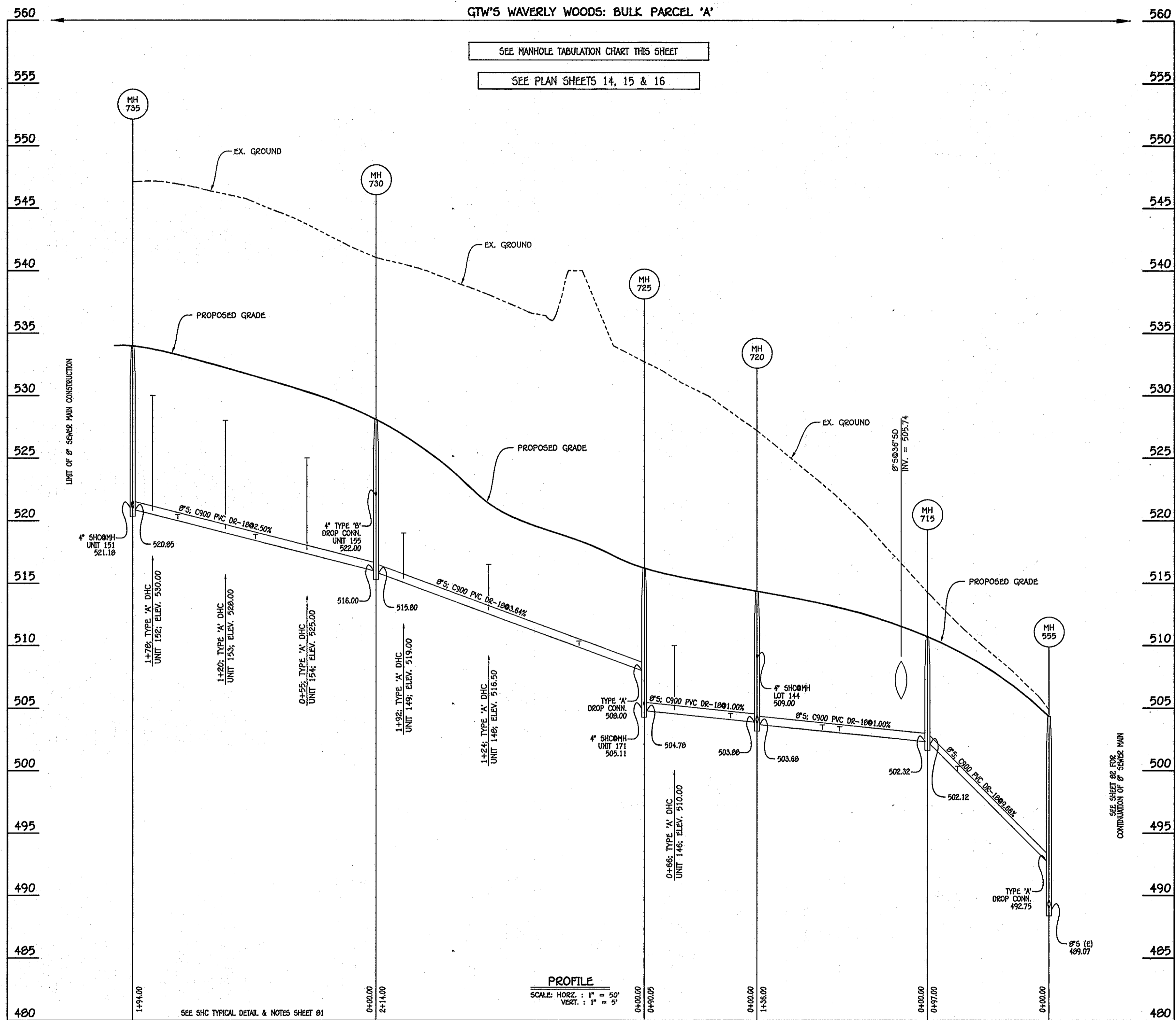
DEVELOPER
 WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELICOTT CITY, MARYLAND 21042
 443-367-0422

OWNERS
 WAVERLY WOODS DEVELOPMENT CORPORATION,
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELICOTT CITY, MARYLAND 21042
 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 [Signature] Date 12/19/12
 Chief, Division of Land Development
 [Signature] Date 12/19/12
 Chief, Development Engineering Division
 [Signature] Date 12/19/12
 Director - Department of Planning and Zoning

PROJECT: GTW'S WAVERLY WOODS SECTION: 14
 PARCEL NO. 12
 PLAT 21427 - BLOCK NO. 3 & 4 ZONE PSC TAX/ZONE 16 ELEC. DIST. THIRD CENSUS TR. 60300
 AND 22082 - WATER CODE K-02 SEWER CODE 5992000

REVISED SEWER MAIN PROFILES
 AGE RESTRICTED ADULT HOUSING
 GTW'S WAVERLY WOODS
 SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 165 &
 PHASES IV & V - UNITS 80 THRU 119, 153 THRU 161, 196 THRU 200,
 237 THRU 239, 268 THRU 271, 292 THRU 295, & 290 THRU 328
 TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES
 ZONING: PSC
 TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
 SHEET 87 OF 100 50P-09-039



SEE MANHOLE TABULATION CHART THIS SHEET
SEE PLAN SHEETS 14, 15 & 16

MANHOLE TABULATION CHART			
NO.	NORTHING	EASTING	RIM ELEVATION
555	539526.84	827455.38	504.35
715	539488.47	827366.29	510.75
720	539388.48	827274.11	514.50
725	539308.02	827233.65	516.00
730	539140.16	827100.93	528.00
735	539128.89	826907.25	534.00

NOTE: SET MH RIMS FLUSH W/PROPOSED GRADE.

SHC INVERT@BUILDING		
STATION	UNIT	ELEVATION
MH 555 TO MH 715		
0+73 LT.	174	500.17
MH 715 TO MH 720		
0+70 LT.	173	503.29
0+84 RT.	143	504.83
@MH 720 LT.	144 (DHC@MH)	509.60
MH 720 TO MH 725		
0+21 LT.	172	504.76
0+66 RT.	145 (DHC)	510.30
@MH 725 LT.	171	505.41
MH 725 TO MH 730		
0+52 RT.	146	510.36
1+24 RT.	147 (DHC)	516.90
1+92 RT.	148 (DHC)	519.80
@MH 730 LT.	155 (DHC@MH)	523.00
MH 730 TO MH 735		
0+55 LT.	154 (DHC)	525.60
0+96 RT.	149	519.17
1+20 LT.	153 (DHC)	528.50
1+58 RT.	150	520.52
1+78 LT.	152 (DHC)	530.40
@MH 735 LT.	151	521.78

8" SEWER MAIN: MH 555 TO MH 735

PROFILE
SCALE: HORIZ. : 1" = 50'
VERT. : 1" = 5'

SEE SHC TYPICAL DETAIL & NOTES SHEET 01

REVISED

SEWER MAIN PROFILES

**AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS**

SECTION 14

"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 165 &
PHASES IV & V - UNITS 80 THRU 119, 153 THRU 161, 196 THRU 200,
237 THRU 239, 268 THRU 271, 282 THRU 285, & 290 THRU 328

TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES
ZONING: PSC
TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
SHEET 08 OF 100

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CORPORAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PARK
ELLCOTT CITY, MARYLAND 21042
(410) 461-2895



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE 3/3/14.
Terrell A. Fisher
TERRELL A. FISHER, PROFESSIONAL ENGINEER
11/14/12 DATE

BUILDERS
NV HOMES 6085 MARSHALEE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-5956
RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956

DEVELOPER
WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLCOTT CITY, MARYLAND 21042
443-387-0422

OWNERS
WAVERLY WOODS DEVELOPMENT CORPORATION,
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLCOTT CITY, MARYLAND 21042
443-387-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Victor L. ...
Chief, Division of Land Development
...
Chief, Development Engineering Division
...
Director - Department of Planning and Zoning

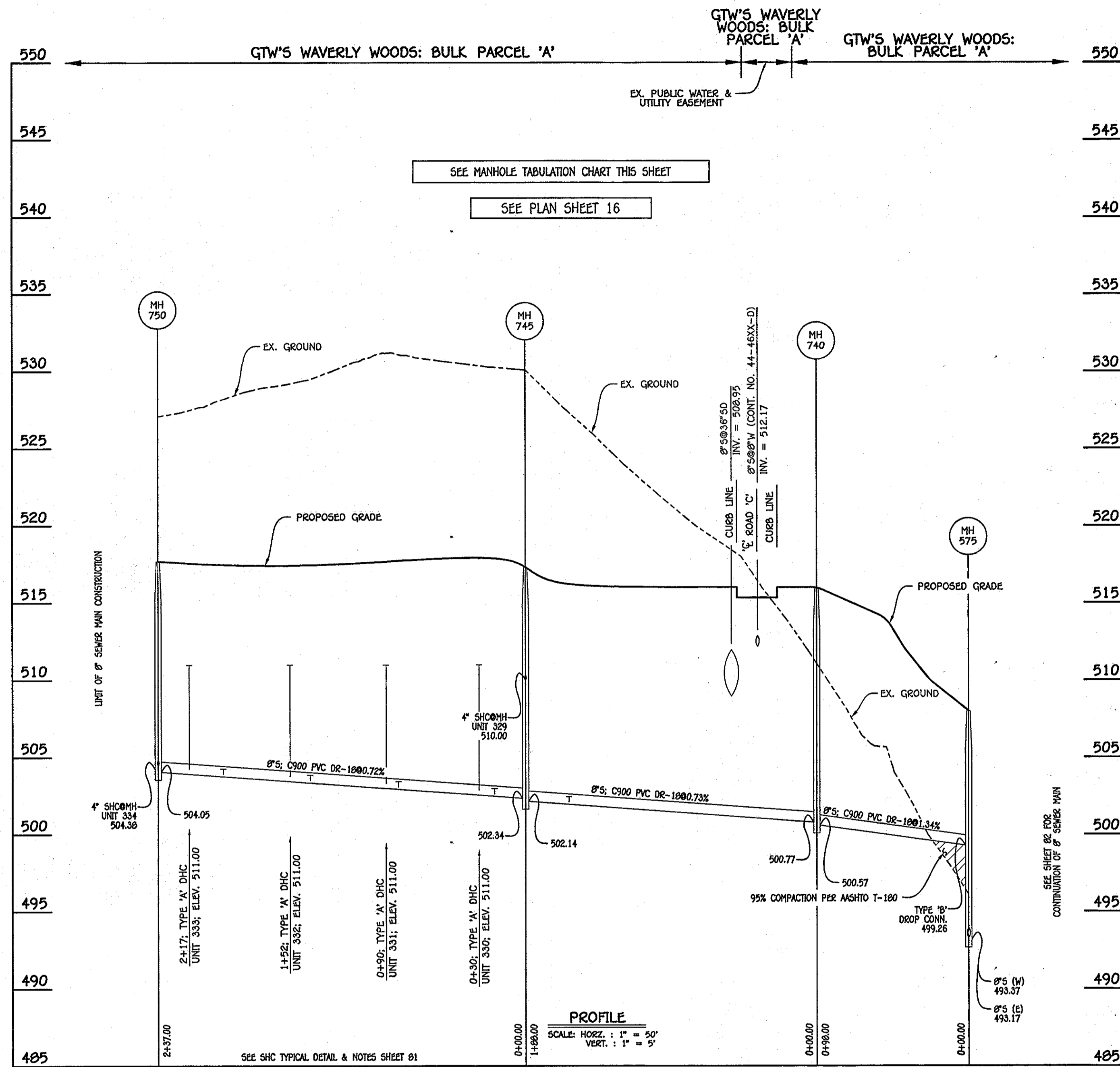
PROJECT: GTW'S WAVERLY WOODS
BLOCK NO.: 3 & 4
ZONE: PSC
TAX/ZONE: 16
ELEC. DIST.: THIRD
CENSUS TR.: 60300

PLAT 21427-21435 AND 22095-22099
WATER CODE: K-02

SECTION: 14
PARCEL NO.: "E"
DATE: 12/18/12

SEWER CODE: 5992000

NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12



8" SEWER MAIN: MH 575 TO MH 750

MANHOLE TABULATION CHART			
NO.	NORTHING	EASTING	RIM ELEVATION
575	539711.07	026968.23	508.00
740	539614.00	026973.26	516.00
745	539426.14	026980.59	517.30
750	539414.15	026743.89	517.70

NOTE: SET MH RIMS FLUSH W/PROPOSED GRADE.

SHC INVERT@BUILDING		
STATION	UNIT	ELEVATION
MH 740 TO MH 745		
1+60 RT.	339	502.51
@MH 745 RT.	329	510.40
MH 745 TO MH 750		
0+20 RT.	338	503.15
0+30 LT.	330 (DHC)	511.30
0+82 RT.	337	503.60
0+90 LT.	331 (DHC)	511.30
1+39 RT.	336	504.01
1+52 LT.	332 (DHC)	511.40
1+95 RT.	335	504.41
2+17 LT.	333 (DHC)	511.50
@MH 750 RT.	334	504.93

REVISED

SEWER MAIN PROFILES

**AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS**

SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 165 &
PHASES IV & V - UNITS 80 THRU 119, 153 THRU 161, 196 THRU 200,
237 THRU 239, 268 THRU 271, 282 THRU 285, & 290 THRU 328
TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES
ZONING: PSC
TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
SHEET 09 OF 100

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CONFIDENTIAL SOURCE OFFICE PHONE - 10775 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
(410) 461-2995



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE 3/3/14.

TERRELL A. FISHER, PROFESSIONAL ENGINEER
11/14/12 DATE

BUILDERS

NV HOMES 6085 MARSHALEE DRIVE SUITE 130 ELKRODGE, MD. 21075 410-379-5956
RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELKRODGE, MD. 21075 410-379-5956

DEVELOPER

WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLCOTT CITY, MARYLAND 21042
443-367-0422

OWNERS

WAVERLY WOODS DEVELOPMENT CORPORATION,
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLCOTT CITY, MARYLAND 21042
443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development
Chief, Development Engineering Division
Director - Department of Planning and Zoning

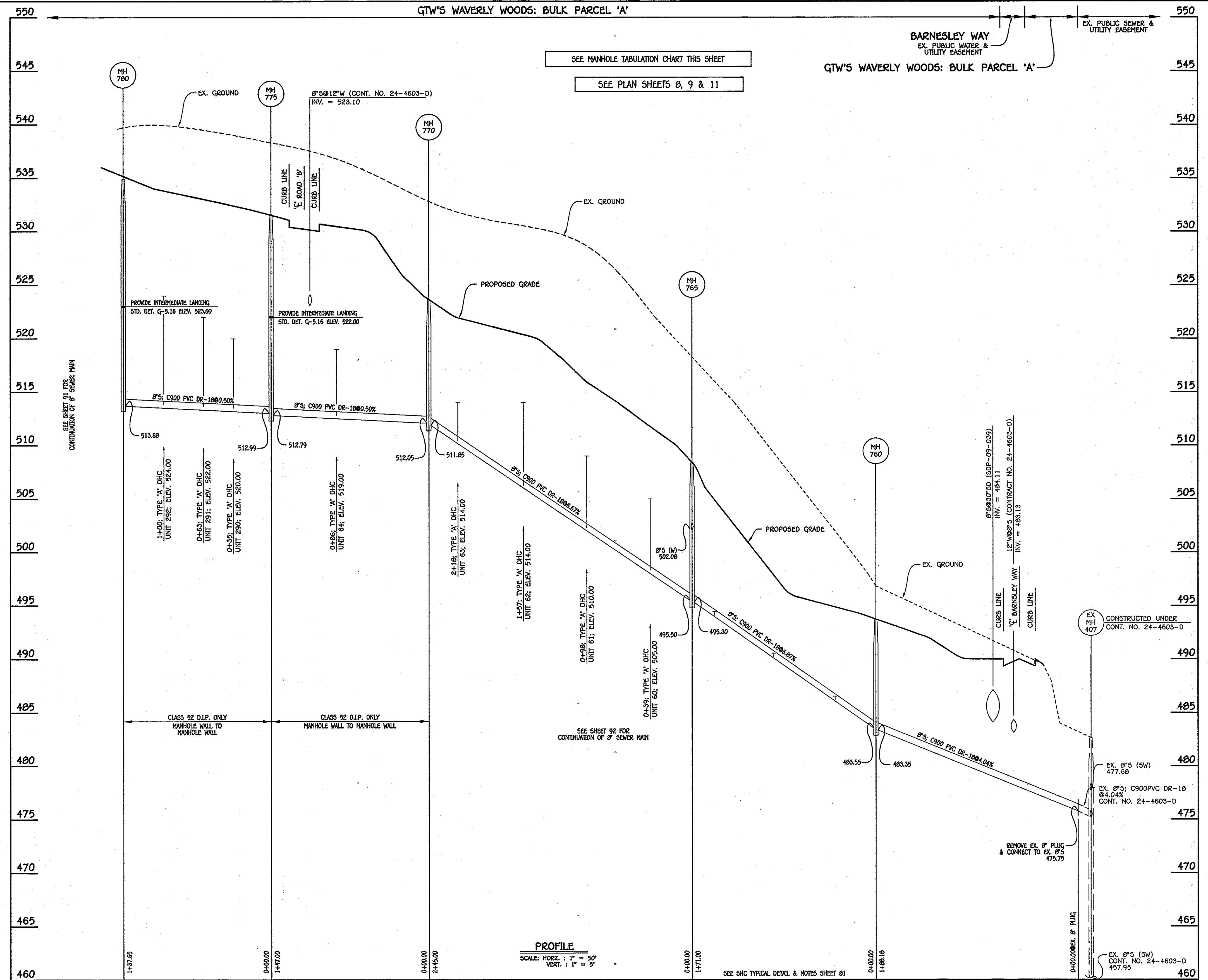
PROJECT	GTW'S WAVERLY WOODS	SECTION	14	PARCEL NO. "12"							
PLAT	21427 - 21455 AND 22082	BLOCK NO.	3 & 4	ZONE	PSC	TAX/ZONE	16	ELEC. DIST.	THIRD	CENSUS TR.	60300
WATER CODE	K-02		SEWER CODE	5992000							

NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12

MANHOLE TABULATION CHART			
NO.	NORTHING	EASTING	RIM ELEVATION
760	538036.95	827669.11	493.70
765	538051.86	827498.76	508.38
770	538242.56	827344.94	523.65
775	538169.86	827217.17	531.50
780	538137.18	827083.46	539.00

NOTE: SET MH RIMS FLUSH W/PROPOSED GRADE.

SHC INVERT@BUILDING		
STATION	UNIT	ELEVATION
MH 760 TO MH 765		
0+38 LT.	57	486.43
0+95 LT.	58	490.55
1+50 LT.	59	494.23
MH 765 TO MH 770		
0+39 LT.	60 (DHC)	505.40
0+98 LT.	61 (DHC)	510.20
1+57 LT.	62 (DHC)	514.20
2+18 LT.	63 (DHC)	514.20
MH 770 TO MH 775		
0+86 RT.	64 (DHC)	519.32
MH 775 TO MH 780		
0+35 LT.	290 (DHC)	520.40
0+63 LT.	291 (DHC)	522.40
1+00 LT.	292 (DHC)	524.40



8" SEWER MAIN: EX. MH 755 TO MH 780

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CONTINENTAL SOURCE OFFICE PARK - 10272 BALDORCK ROAD, FEE
 ELICOTT CITY, MARYLAND 21042
 (410) 461-2999



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE 3/3/14.
 Terrrell A. Fisher, PROFESSIONAL ENGINEER
 DATE: 11/14/12

BUILDERS

NV HOMES 6085 MARSHALEE DRIVE SUITE 130 ELKROCK, MD. 21075 410-379-5956
 RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELKROCK, MD. 21075 410-379-5956

DEVELOPER

WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELICOTT CITY, MARYLAND 21042
 443-367-0422

OWNERS

WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELICOTT CITY, MARYLAND 21042
 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

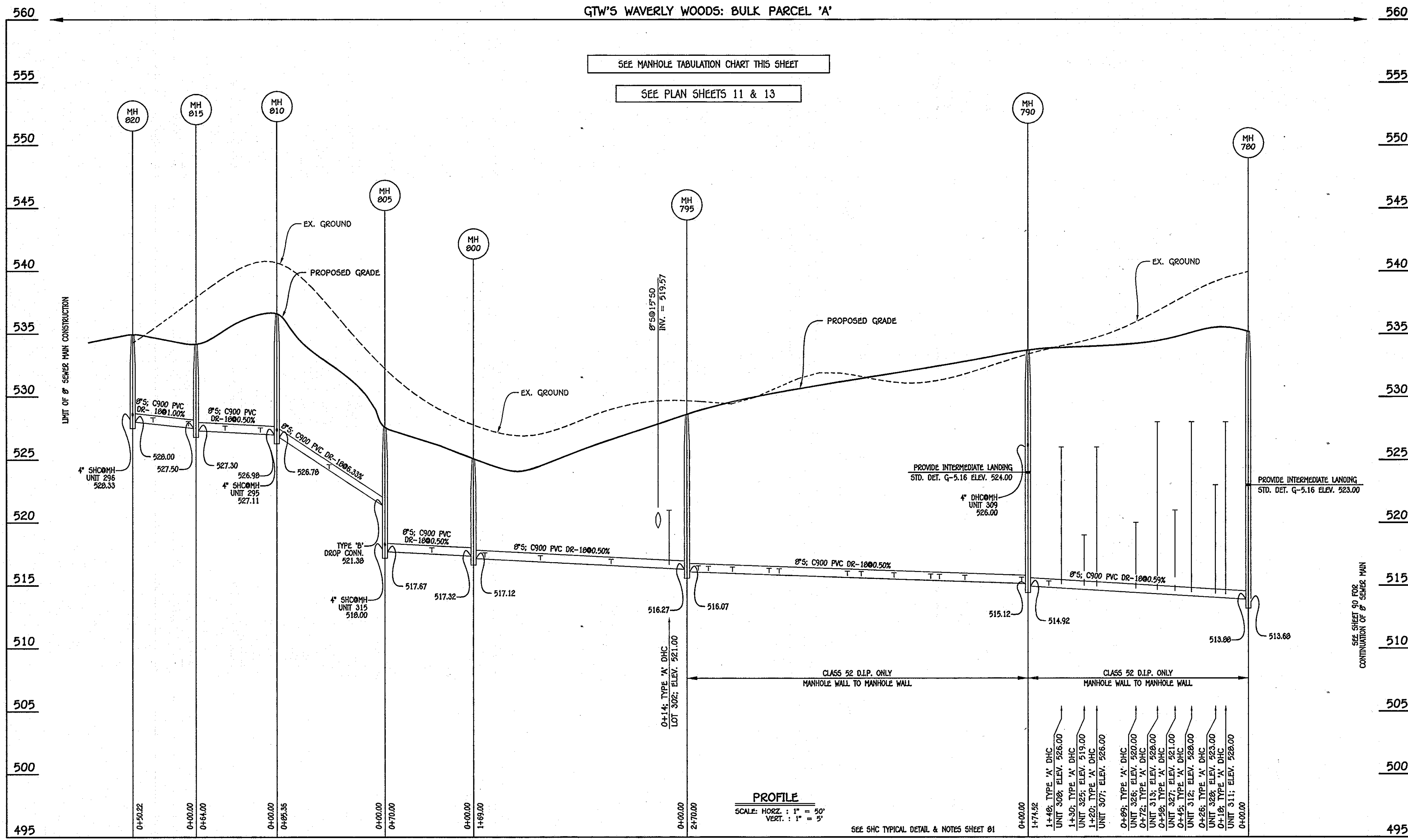
Kate Malone 12/19/12
 Chief, Division of Land Development
Michael Williams 12/19/12
 Chief, Development Engineering Division
Mark R. ... 12/19/12
 Director - Department of Planning and Zoning

PROJECT	SECTION	PARCEL NO. "12"
GTW'S WAVERLY WOODS	14	12
PLAT 21427 AND 22082-22089	BLOCK NO. 3 & 4	ZONE PSC 16
TAX/ZONE	ELEC. DIST.	CENSUS TR.
16	THIRD	60300
WATER CODE K-02	SEWER CODE 5992000	

REVISED SEWER MAIN PROFILES

AGE RESTRICTED ADULT HOUSING
 GTW'S WAVERLY WOODS

SECTION 14
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 PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 66 & 88 THRU 165 &
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 TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES
 ZONING: PSC
 TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
 SHEET 90 OF 100 5DP-09-039



8" SEWER MAIN: MH 780 TO MH 820

MANHOLE TABULATION CHART			
NO.	NORTHING	EASTING	RIM ELEVATION
780	53137.18	827083.46	535.00
790	538299.73	827019.93	533.70
795	538569.19	827037.07	528.50
800	538737.85	827047.80	525.00
805	538807.18	827038.14	527.50
810	538825.42	826954.75	536.50
815	538763.80	826937.46	534.15
820	538716.43	826954.14	535.00

NOTE: SET MH RIMS FLUSH W/PROPOSED GRADE.

SHC INVERT@BUILDING		
STATION	UNIT	ELEVATION
MH 780 TO MH 790		
0+18 LT.	311 (DHC)	528.80
0+26 RT.	328 (DHC)	523.60
0+45 LT.	312 (DHC)	529.10
0+58 RT.	327 (DHC)	521.40
0+72 LT.	313 (DHC)	529.70
0+89 RT.	326 (DHC)	520.70
1+20 LT.	307 (DHC)	527.80
1+30 RT.	325 (DHC)	519.56
1+48 LT.	308 (DHC)	527.70
1+58 RT.	324	515.98
@MH 790 LT.	309 (DHC@MH)	527.50
MH 790 TO MH 795		
0+05 LT.	310	517.12
0+50 LT.	303	517.04
0+70 LT.	304	517.24
0+77 RT.	323	516.48
1+06 LT.	305	517.12
1+32 LT.	306	517.15
1+43 RT.	322 (FF)	516.81
1+97 RT.	321 (FF)	517.18
2+05 LT.	299	517.32
2+34 LT.	300	517.46
2+53 RT.	320 (FF)	517.56
2+61 LT.	301	517.70
MH 795 TO MH 800		
0+14 LT.	302 (DHC)	522.00
0+60 RT.	319 (FF)	517.34
1+16 RT.	318 (FF)	517.42
1+60 RT.	317 (FF)	517.44
MH 800 TO MH 805		
0+43 RT.	316 (FF)	517.81
@MH 805 RT.	315	518.36
MH 805 TO MH 810		
0+44 RT.	314	524.74
@MH 810 RT.	295	527.41
MH 810 TO MH 815		
0+13 RT.	294	527.48
0+41 RT.	293	527.66
MH 815 TO MH 820		
0+06 RT.	298	527.93
0+34 RT.	297	528.11
@MH 820 RT.	296	528.49

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SERVICE OFFICE: P.O. BOX 10277 BALTIMORE NATIONAL FIRE
 ELLICOTT CITY, MARYLAND 21042
 (410) 461-2999



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE 5/3/14.
 Terrell A. Fisher, PROFESSIONAL ENGINEER
 11/14/12 DATE

BUILDERS
 NV HOMES 6085 MARSHALEE DRIVE SUITE 130 ELKROCKE, MD. 21075 410-379-5956
 RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELKROCKE, MD. 21075 410-379-5956

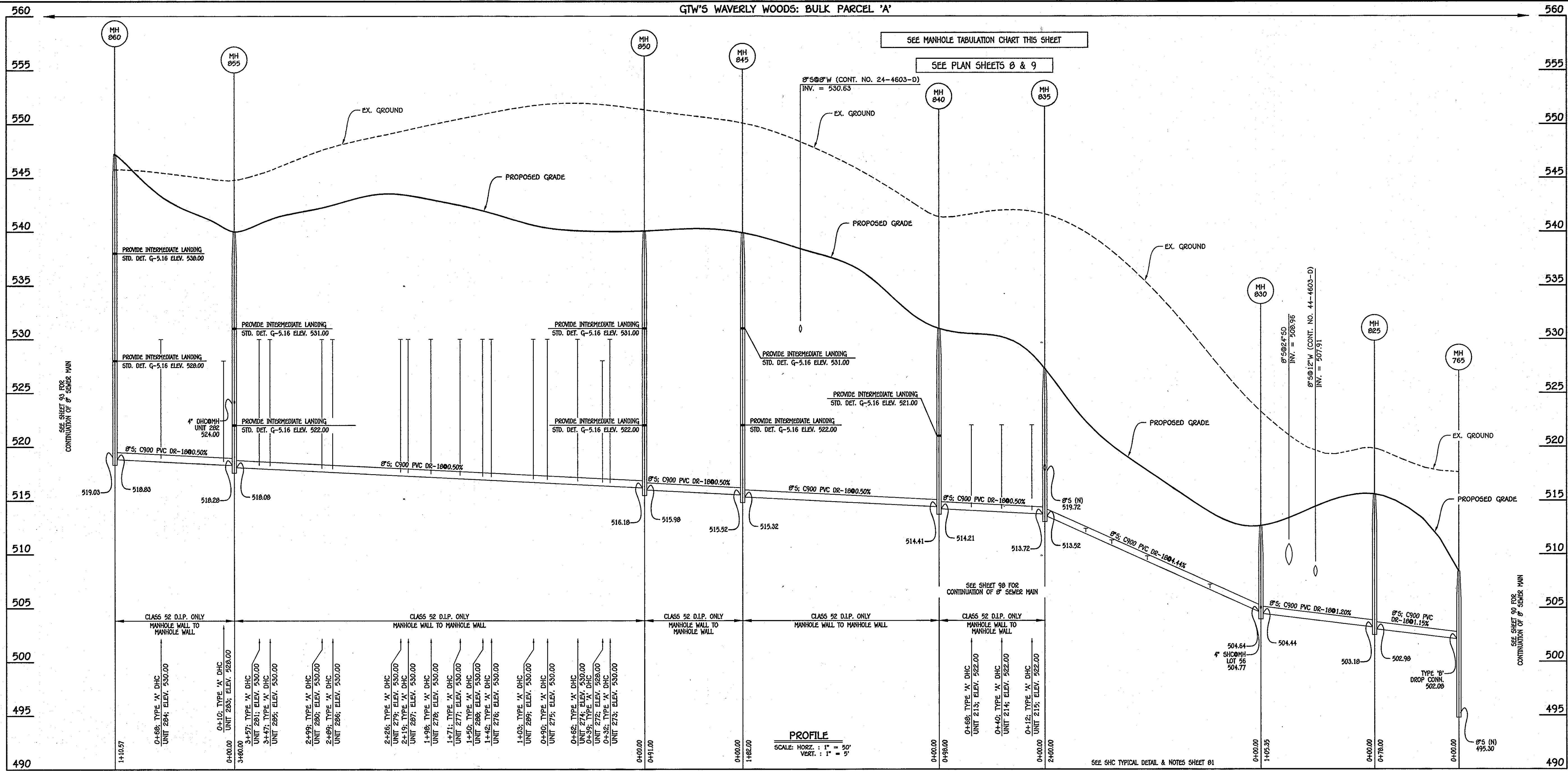
DEVELOPER
 WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 443-367-0422

OWNERS
 WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 [Signatures and Dates]
 PROJECT: GTW'S WAVERLY WOODS
 SECTION: 14
 PLAT: 21427 AND 22082
 BLOCK NO.: 3 & 4
 ZONE: PSC
 TAX/ZONE: 16
 ELEC. DIST.: THIRD
 CENSUS TR.: 60300
 WATER CODE: K-02
 SEWER CODE: 5992000

REVISED SEWER MAIN PROFILES
 AGE RESTRICTED ADULT HOUSING
 GTW'S WAVERLY WOODS
 SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 165 &
 PHASES IV & V - UNITS 80 THRU 119, 153 THRU 181, 196 THRU 200,
 237 THRU 239, 288 THRU 271, 282 THRU 285, & 290 THRU 328
 TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES
 ZONING: PSC
 TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
 SHEET 91 OF 100 **SDP-09-039**

NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12



8" SEWER MAIN: MH 765 TO MH 860

STATION	UNIT	ELEVATION
MH 850 TO MH 855		
2+89 RT.	286 (DHC)	530.50
2+99 LT.	280 (DHC)	530.30
3+47 RT.	285 (DHC)	530.60
3+57 LT.	281 (DHC)	530.30
①MH 855 LT.	282 (DHC)	524.60
MH 855 TO MH 860		
0+10 LT.	283 (DHC)	528.20
0+68 LT.	284 (DHC)	530.20

STATION	UNIT	ELEVATION
MH 850 TO MH 855		
0+32 LT.	273 (DHC)	530.50
0+39 RT.	272 (DHC)	528.50
0+62 LT.	274 (DHC)	530.30
0+90 LT.	275 (DHC)	530.30
1+03 RT.	289 (DHC)	531.40
1+42 LT.	276 (DHC)	530.40
1+50 RT.	288 (DHC)	530.90
1+71 LT.	277 (DHC)	530.30
1+98 LT.	278 (DHC)	530.40
2+19 RT.	287 (DHC)	530.40
2+26 LT.	279 (DHC)	530.30

STATION	UNIT	ELEVATION
MH 825 TO MH 830		
①MH 830 LT.	LOT 56(FT)	505.17
MH 830 TO MH 835		
0+47 LT.	LOT 55(FT)	507.20
1+05 LT.	LOT 54	509.67
1+38 RT.	218	511.54
1+62 LT.	LOT 53	512.30
MH 835 TO MH 840		
0+12 RT.	215 (DHC)	522.20
0+40 RT.	214 (DHC)	522.12
0+68 RT.	213 (DHC)	522.16

NO.	NORTHING	EASTING	RIM ELEVATION
765	538051.86	827498.76	508.38
825	537994.46	827445.94	515.50
830	537809.16	827442.66	512.85
835	537878.08	827242.97	527.25
840	537780.23	827248.40	531.00
845	537770.18	827066.68	540.00
850	537861.04	827061.66	540.00
855	537844.67	826682.01	540.00
860	537954.95	826673.95	547.20

NOTE: SET MH RIMS FLUSH W/PROPOSED GRADE.

REVISED

SEWER MAIN PROFILES

AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS

SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 165 &
PHASES IV & V - UNITS 80 THRU 119, 153 THRU 161, 195 THRU 200,
237 THRU 239, 268 THRU 271, 282 THRU 289, & 290 THRU 328
TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES
ZONING: PSC
TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
SHEET 92 OF 100

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SOURCE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042
(410) 461-2895

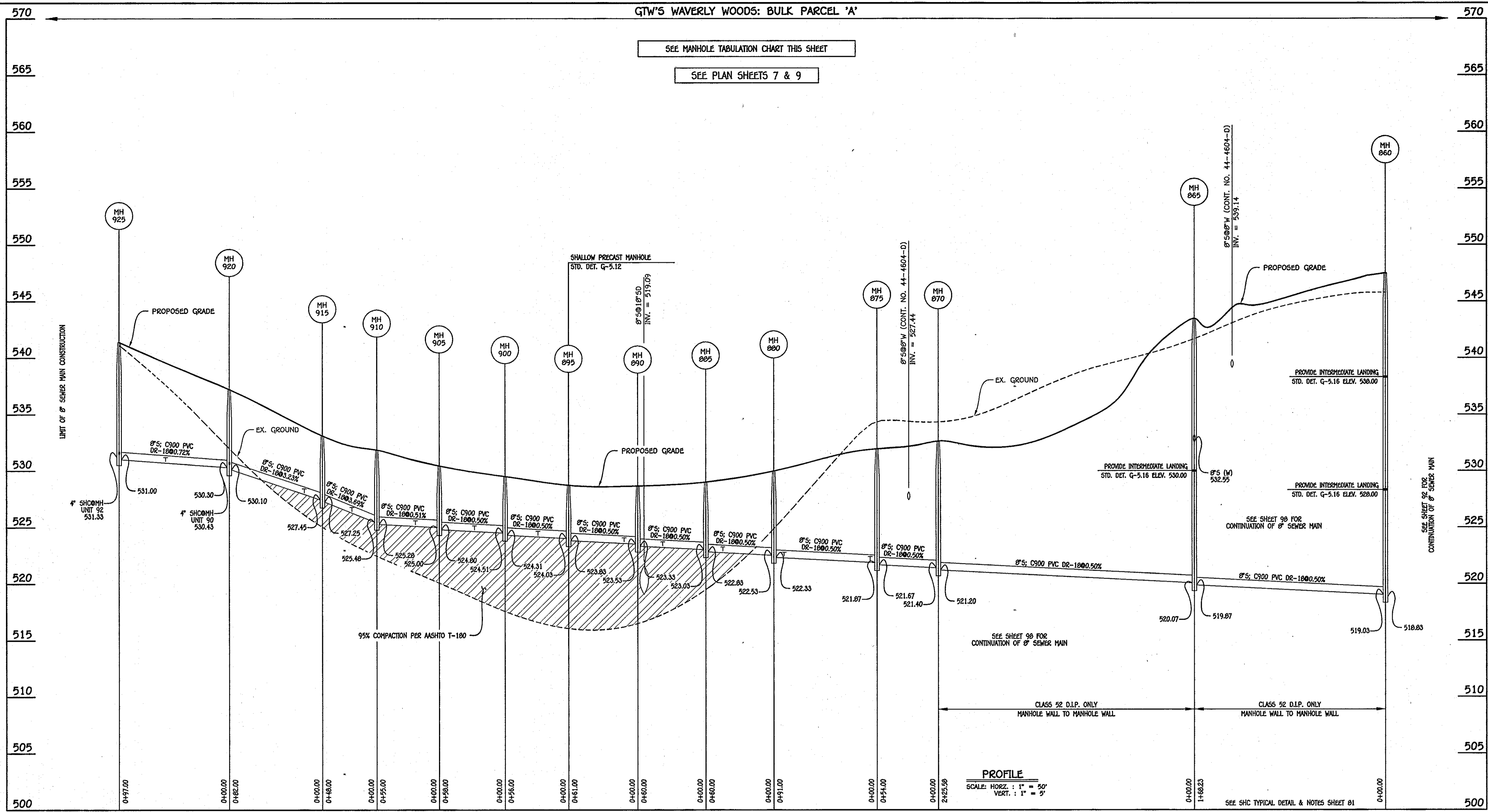


I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 11/14/14.
TERRELL A. FISHER, PROFESSIONAL ENGINEER 11/14/12 DATE

BUILDERS
NY HOMES 6085 MARSHALEE DRIVE SUITE 130 ELKROCK, MD 21075 410-379-5956
RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELKROCK, MD 21075 410-379-5956
DEVELOPER
WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELICOTT CITY, MARYLAND 21042
443-367-0422
OWNERS
WAVERLY WOODS DEVELOPMENT CORPORATION,
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELICOTT CITY, MARYLAND 21042
443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Chief, Division of Land Development
Chief, Development Engineering Division
Director - Department of Planning and Zoning
PROJECT: GTW'S WAVERLY WOODS SECTION: 14 PARCEL NO. "E"
PLAT 21427 - BLOCK NO. 3 & 4 ZONE PSC TAX/ZONE 16 ELLEC. DIST. THIRD CENSUS TR. 60300
WATER CODE K-02 SEWER CODE 5992000

NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GOFFEN HALL	9/28/12



8" SEWER MAIN: MH 860 TO MH 925

SHC INVERT@BUILDING		
STATION	UNIT	ELEVATION
MH 900 TO MH 905		
0+27 LT.	86 (FF)	524.88
MH 905 TO MH 910		
0+21 LT.	87 (FF)	525.34
MH 910 TO MH 915		
0+22 LT.	88 (FF)	526.50
MH 915 TO MH 920		
0+16 LT.	89 (FF)	528.18
@MH 920 LT.	90 (FF)	530.49
MH 920 TO MH 925		
0+56 LT.	91 (FF)	530.91
@MH 925 LT.	92	531.63

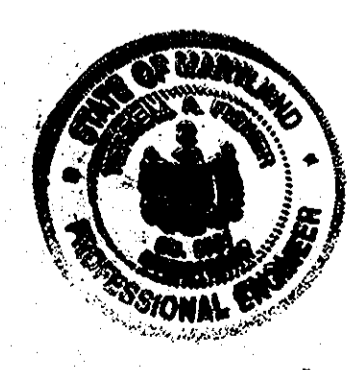
SHC INVERT@BUILDING		
STATION	UNIT	ELEVATION
MH 875 TO MH 880		
0+06 LT.	80 (FF)	522.27
0+82 LT.	81 (FF)	522.51
MH 880 TO MH 885		
0+45 LT.	82 (FF)	522.99
MH 885 TO MH 890		
0+38 LT.	83 (FF)	523.43
MH 890 TO MH 895		
0+12 LT.	84 (FF)	523.86
MH 895 TO MH 900		
0+27 LT.	85 (FF)	524.40

MANHOLE TABULATION CHART			
NO.	NORTHING	EASTING	RIM ELEVATION
860	537954.95	826673.95	547.20
865	537945.76	826505.98	543.50
870	537720.39	826515.67	532.65
875	537666.44	826518.00	532.00
880	537661.41	826427.13	530.00
885	537668.00	826367.50	529.00
890	537692.86	826312.89	528.65
895	537739.16	826273.18	528.75
900	537792.89	826257.37	529.50
905	537850.67	826252.21	530.45
910	537903.67	826267.10	531.85
915	537943.35	826294.12	533.10
920	537991.17	826360.73	537.25
925	537996.53	826457.58	541.40

NOTE: SET MH RIMS FLUSH W/PROPOSED GRADE.

REVISED

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SERVICE OFFICE: 10772 BALDORNE INDUSTRIAL PARK
 ELICOTT CITY, MARYLAND 21042
 (410) 461-2995



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE 3/3/14.

Terrell A. Fisher
 TERRELL A. FISHER, PROFESSIONAL ENGINEER
 11/14/12 DATE

BUILDERS
 NY HOMES: 6085 MARSHALEE DRIVE, SUITE 130, ELKROCK, MD 21075, 410-379-5956
 RYAN HOMES: 6085 MARSHALEE DRIVE, SUITE 140, ELKROCK, MD 21075, 410-379-5956

DEVELOPER
 WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELICOTT CITY, MARYLAND 21042
 443-367-0422

OWNERS
 WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELICOTT CITY, MARYLAND 21042
 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Kevin L. ... 12/19/12
 Chief, Division of Land Development Date

... 12/19/12
 Chief, Development Engineering Division Date

... 12/19/12
 Director - Department of Planning and Zoning Date

PROJECT: GTW'S WAVERLY WOODS SECTION: 14 PARCEL NO. "E"

PLAT 21427 - BLOCK NO. 3 & 4 ZONE PSC TAX/ZONE 16 ELEC. DIST. THIRD CENSUS TR. 60300

WATER CODE K-02 SEWER CODE 5992000

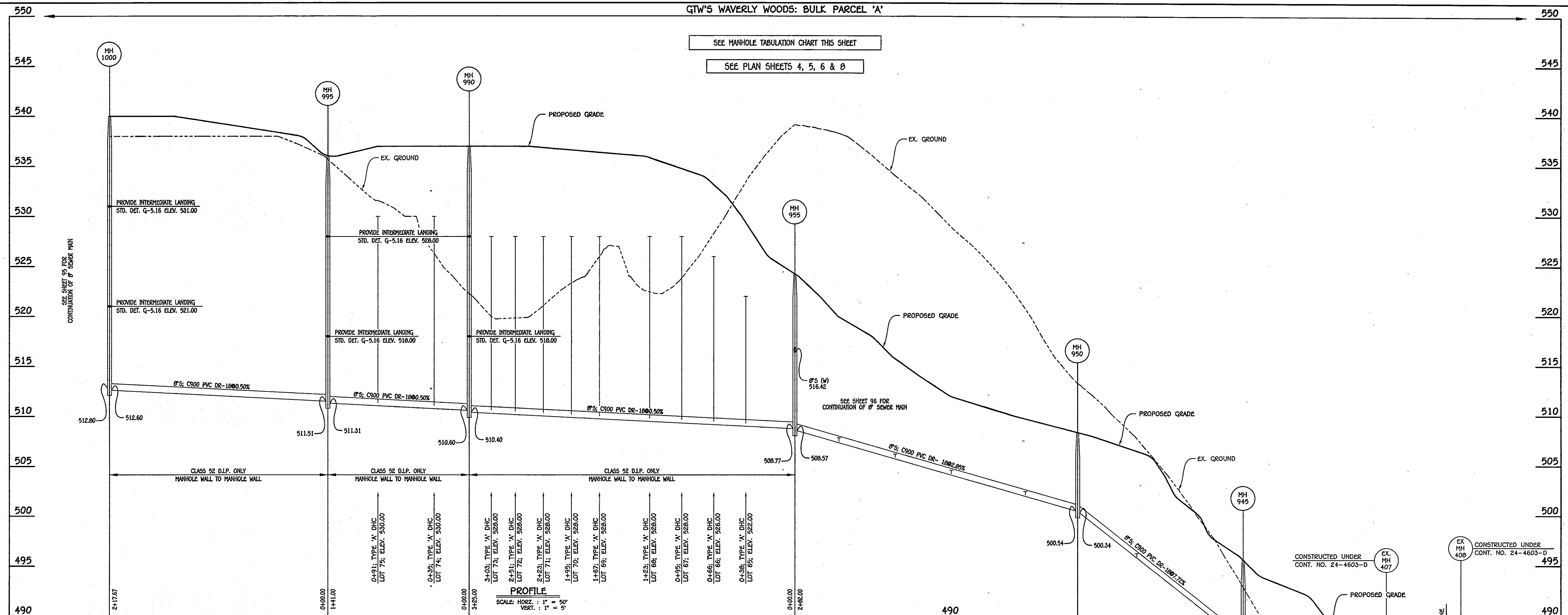
SEWER MAIN PROFILES

AGE RESTRICTED ADULT HOUSING
 GTW'S WAVERLY WOODS
 SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASE II & II LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 165 &
 PHASES IV & V - UNITS 80 THRU 119, 153 THRU 161, 196 THRU 200,
 237 THRU 239, 288 THRU 271, 282 THRU 285, & 290 THRU 328
 TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES
 ZONING: PSC
 TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
 SHEET 93 OF 100

NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12

SEE MANHOLE TABULATION CHART THIS SHEET

SEE PLAN SHEETS 4, 5, 6 & 8



8" SEWER MAIN: EX. MH 408 TO MH 1000

SHC INVERT@BUILDING		
STATION	UNIT / LOT	ELEVATION
407 EX. MH 408 TO MH 945		
0+76 RT.	LOT 44	484.06
MH 945 TO MH 950		
0+28 RT.	LOT 45	490.13
1+06 RT.	LOT 46	496.35
MH 950 TO MH 955		
0+52 RT.	LOT 47 (FF)	502.69
1+26 RT.	LOT 48 (FF)	504.60
1+82 RT.	LOT 49	506.20
2+38 RT.	LOT 50	507.79
MH 955 TO MH 990		
0+38 RT.	LOT 65 (DHC)	522.10
0+66 RT.	LOT 66 (DHC)	526.10
0+95 RT.	LOT 67 (DHC)	528.10
1+23 RT.	LOT 68 (DHC)	528.10
1+87 RT.	LOT 69 (DHC)	528.40
1+95 RT.	LOT 70 (DHC)	528.40
2+23 RT.	LOT 71 (DHC)	528.40
2+51 RT.	LOT 72 (DHC)	528.40
3+03 RT.	LOT 73 (DHC)	528.30
MH 990 TO MH 995		
0+91 RT.	LOT 74 (DHC)	530.20
0+99 RT.	LOT 75 (DHC)	530.20

MANHOLE TABULATION CHART			
NO.	NORTHING	EASTING	RIM ELEVATION
945	537734.00	827663.57	495.60
950	537608.25	827956.74	508.40
955	537592.68	827275.17	524.25
990	537288.18	827293.11	537.00
995	537127.39	827300.90	536.00
1000	536957.58	827164.71	540.00

NOTE: SET MH RIMS FLUSH W/PROPOSED GRADE.

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 10770 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 461-2999

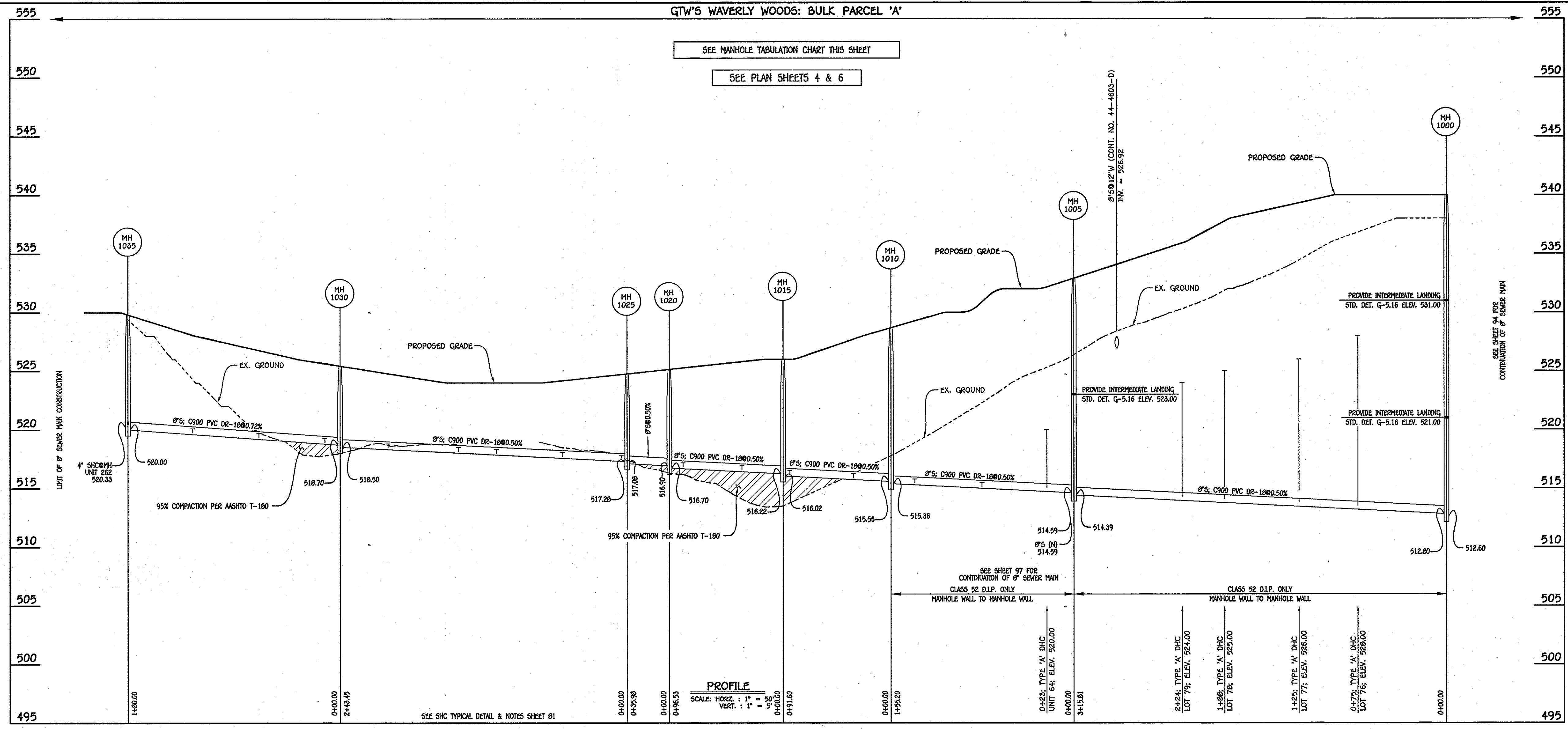


I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/3/14.
 TERRELL A. FISHER, PROFESSIONAL ENGINEER
 DATE: 11/14/12

BUILDERS
 NV HOMES: 6085 MARSHALEE DRIVE, SUITE 130, ELKRODGE, MD. 21075, 410-379-5956
 RYAN HOMES: 6085 MARSHALEE DRIVE, SUITE 140, ELKRODGE, MD. 21075, 410-379-5956
DEVELOPER
 WAVERLY WOODS DEVELOPMENT CORPORATION, C/O LAND DESIGN AND DEVELOPMENT, INC., 5300 DORSEY HALL DRIVE, SUITE 102, ELLICOTT CITY, MARYLAND 21042, 443-367-0422
OWNERS
 WAVERLY WOODS DEVELOPMENT CORPORATION, C/O LAND DESIGN AND DEVELOPMENT, INC., 5300 DORSEY HALL DRIVE, SUITE 102, ELLICOTT CITY, MARYLAND 21042, 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Chief, Division of Land Development: [Signature] DATE: 12/12/12
 Chief, Development Engineering Division: [Signature] DATE: 12/10/12
 Director - Department of Planning and Zoning: [Signature] DATE: 12/10/12
 PROJECT: GTW'S WAVERLY WOODS SECTION: 14
 PLAT 21427-21435 AND 22082-22089 BLOCK NO. 3 & 4 ZONE PSC TAX/ZONE 16 ELEC. DIST. THRD CENSUS TR. 60300
 WATER CODE K-02 SEWER CODE 5992200

REVISED
SEWER MAIN PROFILES
 AGE RESTRICTED ADULT HOUSING
 GTW'S WAVERLY WOODS
 SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASE II & III LOTS 3, 12 THRU 39, 44 THRU 86 & 88 THRU 165 & PHASES IV & V - UNITS 20 THRU 119, 153 THRU 161, 196 THRU 200, 237 THRU 239, 268 THRU 271, 282 THRU 285, & 290 THRU 328
 TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES
 ZONING: PSC
 TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
 SHEET 94 OF 100 SDP-09-039



8" SEWER MAIN: MH 1000 TO MH 1035

STATION	UNIT	ELEVATION
MH 1025 TO MH 1030		
0+05 LT.	71 (FF)	517.20
0+55 LT.	72 (FF)	517.79
1+11 LT.	73 (FF)	518.11
1+43 LT.	74 (FF)	518.27
2+03 LT.	75 (FF)	518.57
MH 1030 TO MH 1035		
0+13 LT.	76 (FF)	519.06
0+69 LT.	77 (FF)	519.47
1+25 LT.	78 (FF)	519.87
1+80 LT.	79 (FF)	520.43

STATION	UNIT	ELEVATION
MH 1000 TO MH 1005		
0+75 LT.	LOT 76 (DHC)	528.10
1+25 LT.	LOT 77 (DHC)	526.10
1+80 LT.	LOT 78 (DHC)	525.10
2+24 LT.	LOT 79 (DHC)	524.10
MH 1005 TO MH 1010		
0+23 LT.	64 (DHC)	520.06
0+70 LT.	65	515.25
0+135 LT.	66	515.54
MH 1010 TO MH 1015		
0+32 LT.	67	515.94
0+86 LT.	68 (FF)	516.56
MH 1015 TO MH 1020		
0+35 LT.	69 (FF)	517.07
0+85 LT.	70 (FF)	516.86

NO.	NORTHING	EASTING	RIM ELEVATION
1000	536957.50	827164.71	540.00
1005	536940.15	826849.39	532.05
1010	536931.50	826694.43	528.65
1015	536965.97	826609.53	526.00
1020	537050.39	826562.71	525.00
1025	537096.26	826559.32	524.75
1030	537329.34	826546.40	525.50
1035	537509.06	826536.55	529.05

NOTE: SET MH RIMS FLUSH W/PROPOSED GRADE.

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CONTINENTAL SOURCE OFFICE PARK - 10272 BALDWIN INDUSTRIAL PARK
 ELLICOTT CITY, MARYLAND 21042
 (410) 461-2895



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 9/30/14.
 Ferrell A. Fisher, PROFESSIONAL ENGINEER
 11/14/12 DATE

BUILDERS
 NV HOMES 6085 MARSHALEE DRIVE SUITE 130 ELKROCK, MD 21075 410-379-5956
 RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELKROCK, MD 21075 410-379-5956

DEVELOPER
 WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 443-367-0422

OWNERS
 WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Chief, Division of Land Development
 Chief, Development Engineering Division
 Director - Department of Planning and Zoning

PROJECT: GTW'S WAVERLY WOODS
 SECTION: 14
 PLAT 21427 - 21435 AND 22082 - 22089
 BLOCK NO. 3 & 4
 ZONE PSC
 TAX/ZONE 16
 ELEC. DIST. THIRD
 CENSUS TR. 60300

DATE: 12/19/12
 DATE: 12/19/12
 DATE: 12/19/12

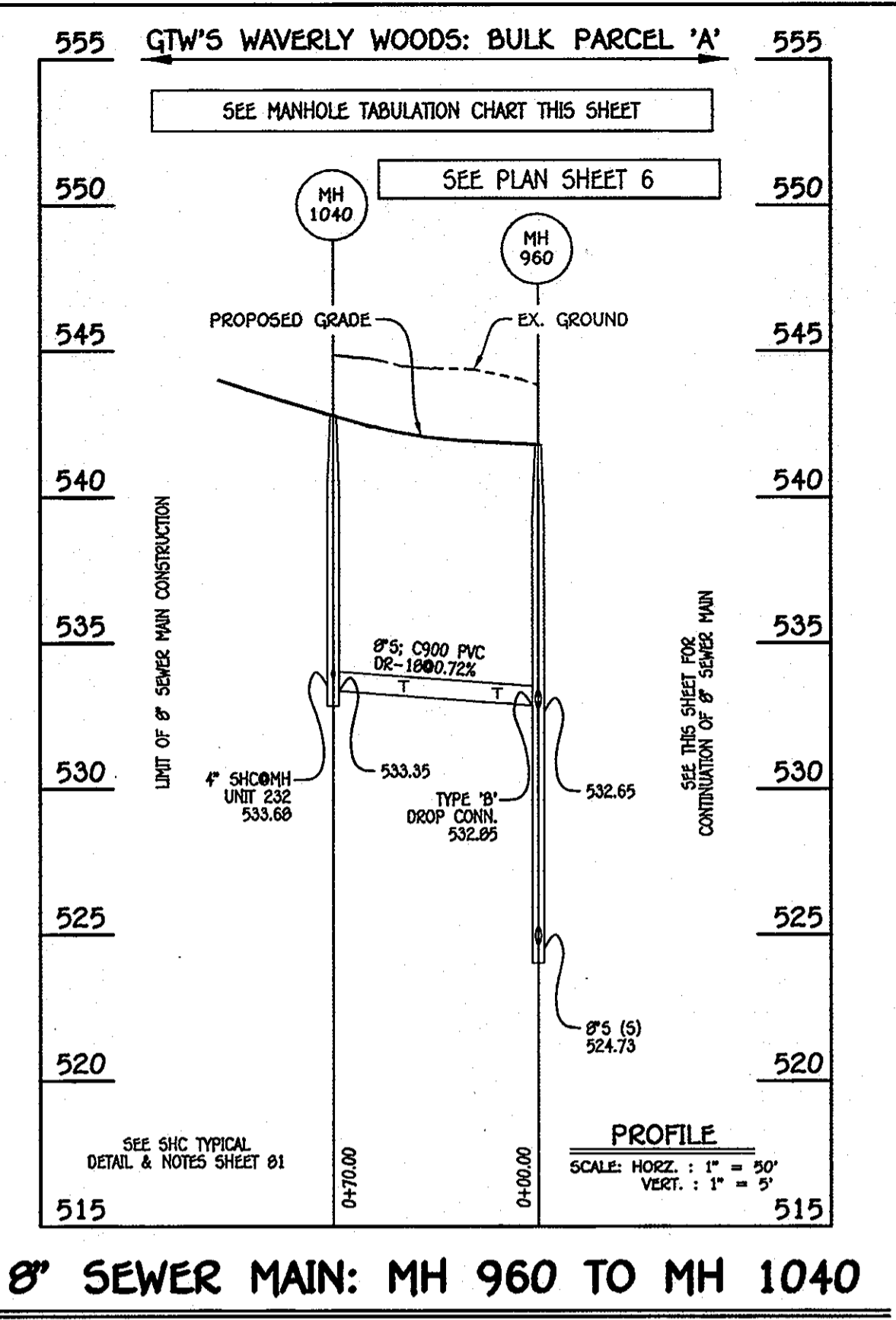
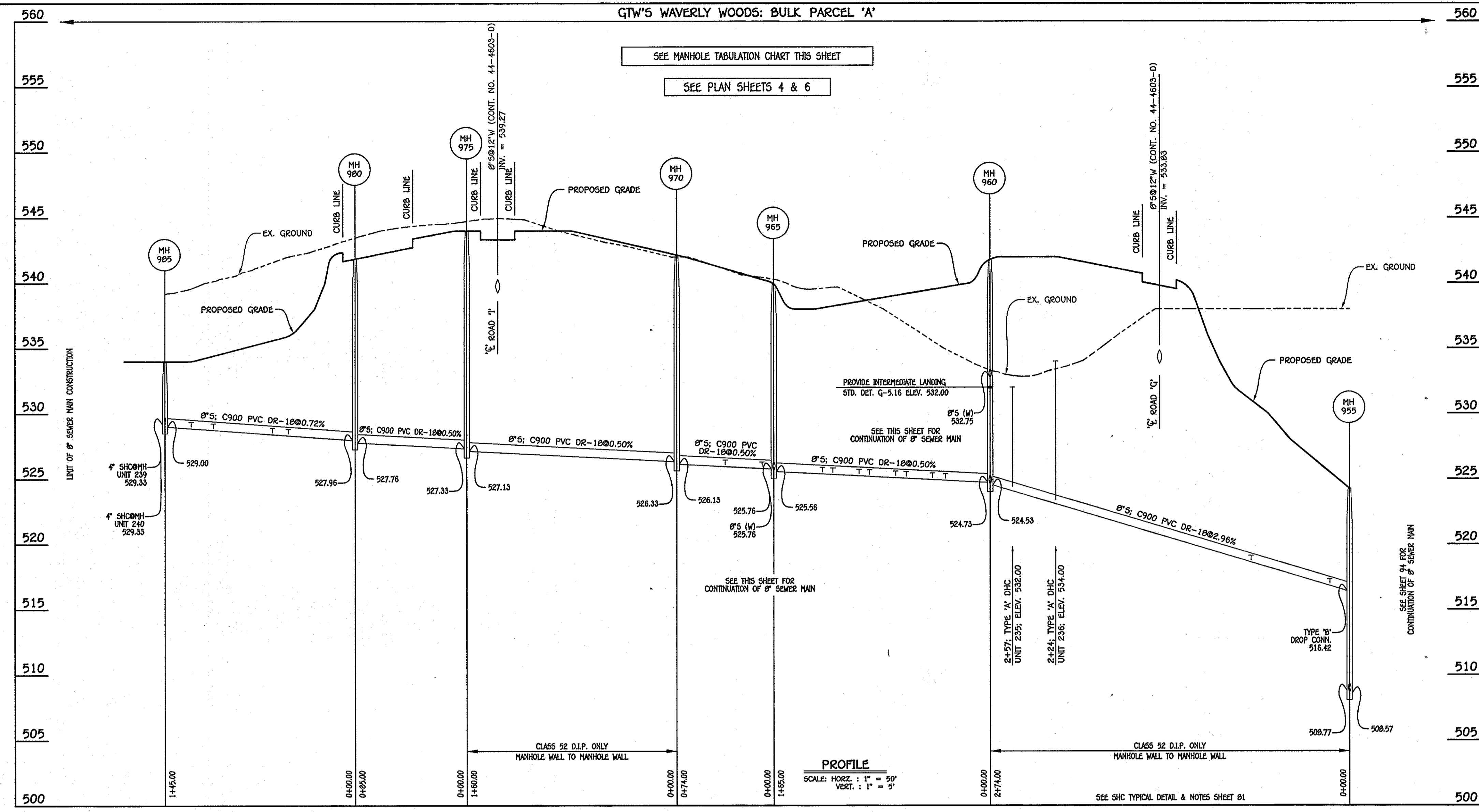
REVISED

SEWER MAIN PROFILES

**AGE RESTRICTED ADULT HOUSING
 GTW'S WAVERLY WOODS**

SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 165 &
 PHASES IV & V - UNITS 80 THRU 119, 153 THRU 161, 196 THRU 200,
 237 THRU 239, 288 THRU 271, 282 THRU 289, & 290 THRU 328
 TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES

TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
 SHEET 95 OF 100 **SDP-09-039**



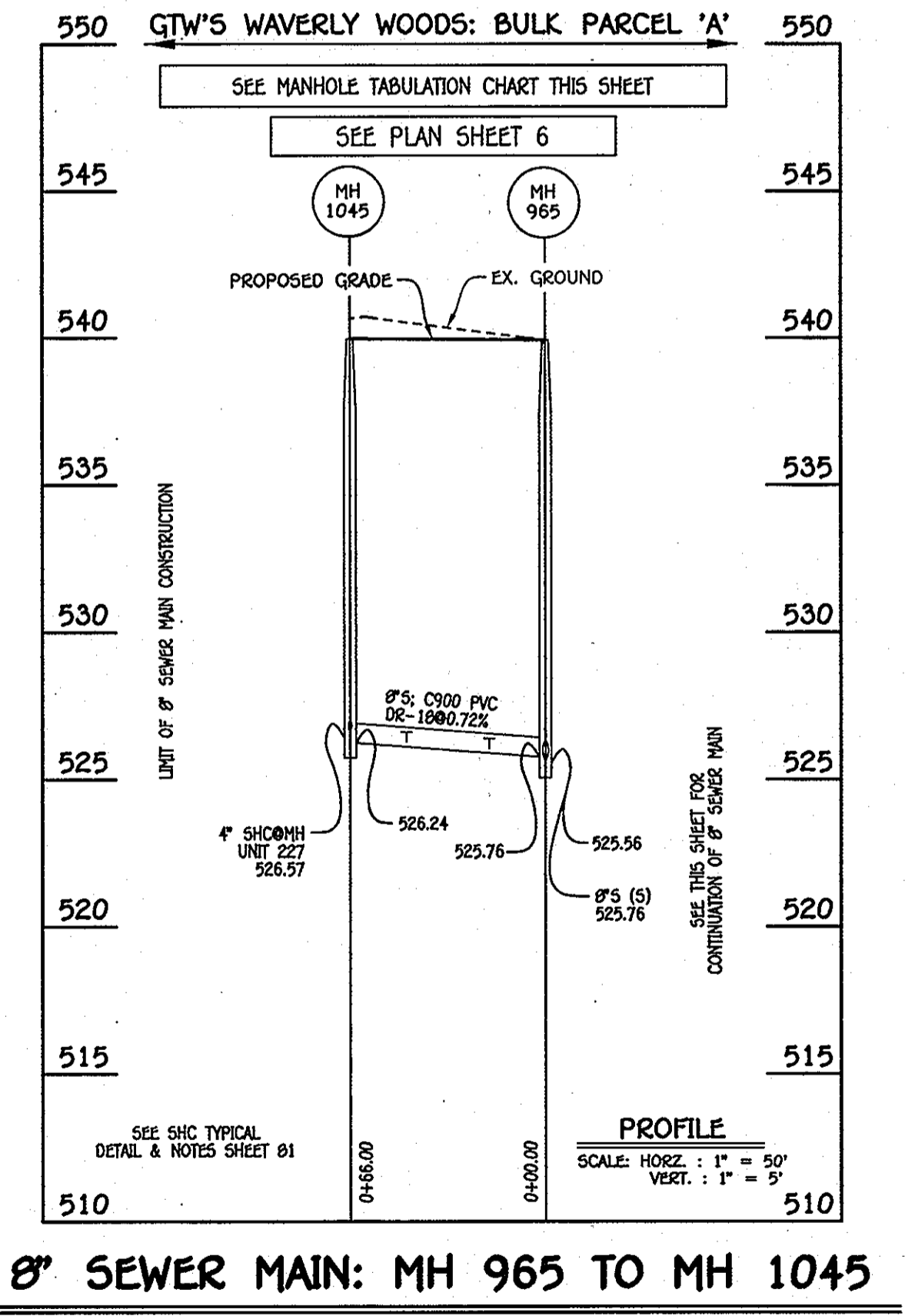
SHC INVERT@BUILDING		
STATION	UNIT	ELEVATION
MH 955 TO MH 960		
0+15 RT.	47	517.18
0+75 RT.	48	519.21
2+24 RT.	236 (DHC)	534.70
2+57 RT.	235 (DHC)	532.50
MH 960 TO MH 985		
0+34 LT.	231	525.57
0+44 LT.	LOT 86	525.32
0+64 RT.	230	525.72
0+72 LT.	LOT 85	525.46
0+92 RT.	229	525.86
1+00 LT.	LOT 84	525.60
1+20 RT.	228	526.00
1+28 LT.	LOT 83	525.74
MH 965 TO MH 970		
0+09 RT.	224	526.08
0+37 RT.	223	526.22
MH 980 TO MH 985		
0+51 RT.	LOT 82	528.80
0+63 RT.	242 (FF)	528.88
1+08 RT.	LOT 81	529.21
1+25 RT.	241 (FF)	529.33
⊙MH 985 RT.	240 (FF)	529.83
⊙MH 985 RT.	LOT 80	529.83

8" SEWER MAIN: MH 955 TO MH 985			
MANHOLE TABULATION CHART			
NO.	NORTHING	EASTING	RIM ELEVATION
955	537592.68	827275.17	524.25
960	537577.56	827001.59	541.80
965	537412.81	827010.70	540.00
970	537416.89	827084.58	542.15
975	537257.14	827093.42	544.00
980	537252.44	827008.55	541.85
985	537107.67	827016.55	534.00
1040	537573.69	826931.70	542.80
1045	537409.16	826944.80	540.00

NOTE: SET MH RIMS FLUSH W/PROPOSED GRADE.

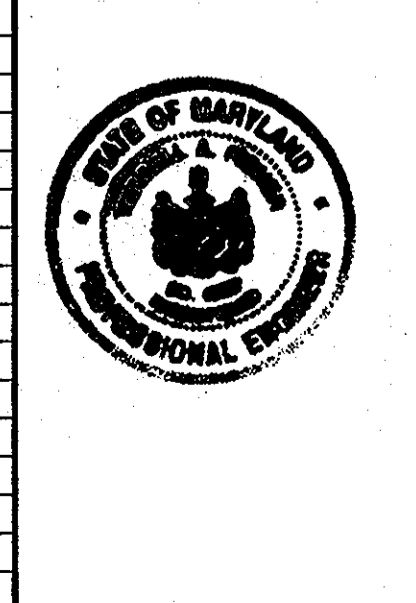
SHC INVERT@BUILDING		
STATION	UNIT	ELEVATION
MH 965 TO MH 1045		
0+19 LT.	225	526.17
0+47 LT.	226	526.37
⊙MH 1085 LT.	227	526.67

SHC INVERT@BUILDING		
STATION	UNIT	ELEVATION
MH 960 TO MH 1040		
0+14 RT.	234	525.50
0+46 RT.	233	525.73
⊙MH 1040 LT.	232	526.06



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL OFFICE: 1072 BALDWIN NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042
 (410) 461-2895

NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GORFEN HALL	9/28/12



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/3/14.

Terrell A. Fisher
 TERRELL A. FISHER, PROFESSIONAL ENGINEER
 DATE: 11/19/12

BUILDERS
 NV HOMES: 6085 MARSHALEE DRIVE, SUITE 130, ELK RIDGE, MD 21075, 410-379-5956
 RYAN HOMES: 6085 MARSHALEE DRIVE, SUITE 140, ELK RIDGE, MD 21075, 410-379-5956

DEVELOPER
 WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELICOTT CITY, MARYLAND 21042
 443-367-0422

OWNERS
 WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELICOTT CITY, MARYLAND 21042
 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

John A. ... 12/19/12
 Chief, Division of Land Development

... 12/19/12
 Chief, Development Engineering Division

... 12/19/12
 Director - Department of Planning and Zoning

PROJECT: GTW'S WAVERLY WOODS SECTION: 14

PLAT 21427 - 21435 AND 22082 - 22089 ZONE: 3 & 4 PSC TAX/ZONE: 16 ELEC. DIST.: THIRD CENSUS TR.: 60300

WATER CODE: K-02 SEWER CODE: 5992000

SEWER MAIN PROFILES

AGE RESTRICTED ADULT HOUSING
 GTW'S WAVERLY WOODS
 SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 165 &
 PHASES IV & V - UNITS 80 THRU 119, 153 THRU 161, 196 THRU 200,
 237 THRU 239, 268 THRU 271, 282 THRU 285, & 290 THRU 328
 TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES
 ZONING: PSC
 TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
 SHEET 96 OF 100 SDP-09-039

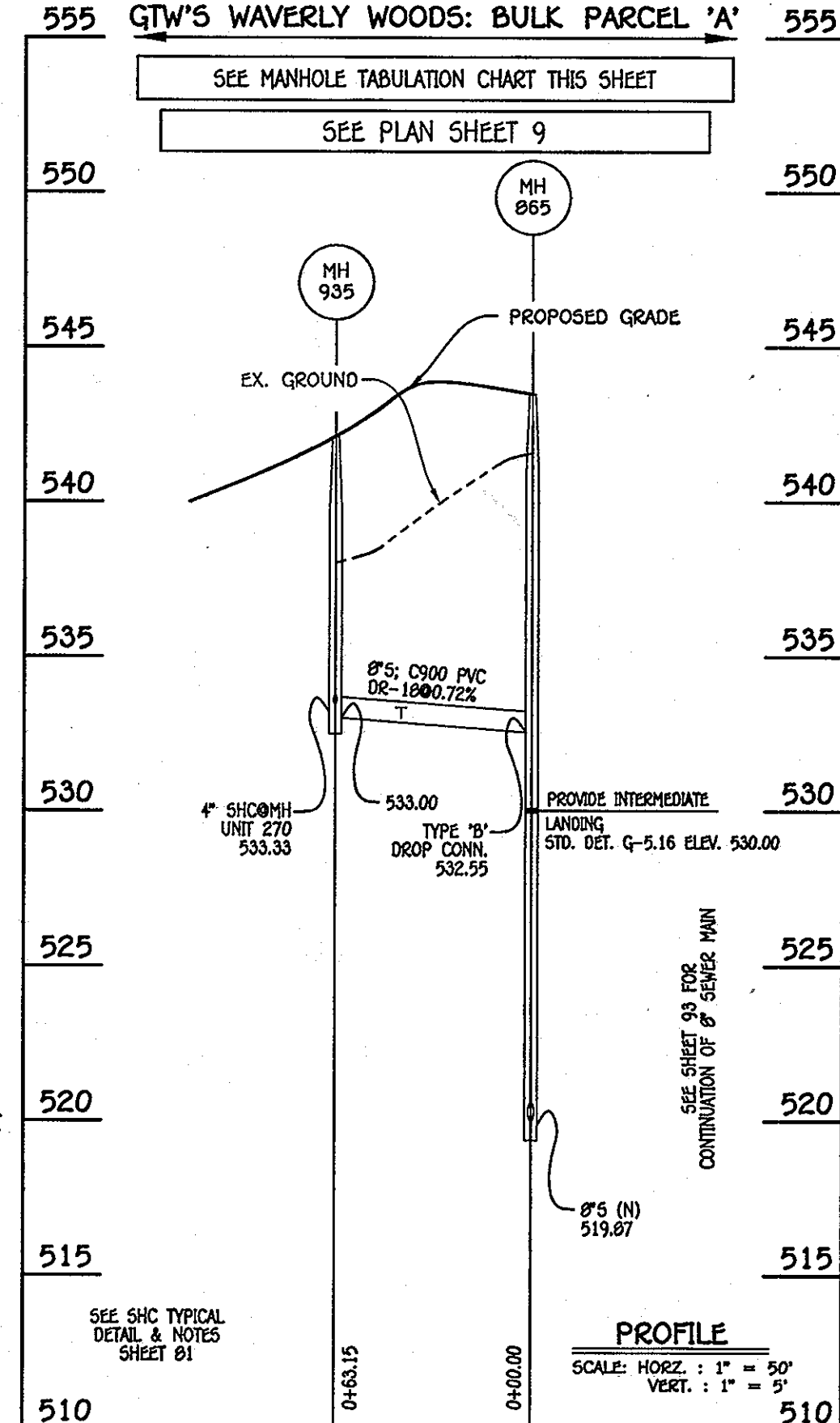
UNIT / LOT	M.C.E.
LOT 44	400.77
LOT 45	494.73
LOT 42	501.05
LOT 47	507.29
LOT 48	509.20
LOT 49	510.80
LOT 50	512.39
LOT 51	520.73
LOT 52	523.61
LOT 65	526.50
LOT 66	530.50
LOT 67	532.50
LOT 68	532.50
LOT 69	532.80
LOT 70	532.80
LOT 71	532.80
LOT 72	532.80
LOT 73	532.90
LOT 74	535.00
LOT 75	535.00
LOT 76	532.80
LOT 77	530.80
LOT 78	529.80
LOT 79	528.80
LOT 130	524.66
LOT 131	519.89
LOT 132	520.14
LOT 133	519.89
LOT 134	520.96
LOT 135	521.37
LOT 136	521.86
LOT 137	522.38
LOT 138	522.69
LOT 139	522.91
LOT 140	522.97
LOT 141	523.27
LOT 142	523.76
LOT 143	524.17
LOT 144	524.57
LOT 145	525.13
80	527.17
81	527.31
82	527.89
83	528.33
84	528.66
85	529.11
86	529.59
87	530.16
88	530.67
89	533.10
90	535.29
91	535.81
92	536.53
93	540.70
94	541.52
95	541.22
96	540.90
97	541.24
98	540.47
99	540.32
100	540.17
101	540.02
102	539.47
103	539.35
104	539.20
105	539.06
106	538.81
107	538.67
108	538.55
109	537.82
110	537.32
111	537.24
112	537.10
113	536.96
114	536.59
115	536.07
116	535.85
117	535.61
118	535.57
119	535.44
120	535.03
121	532.06
122	528.79
123	525.84
124	522.21

UNIT / LOT	M.C.E.
125	520.73
126	519.26
127	517.79
128	516.31
129	514.84
130	511.40
131	503.98
132	500.88
133	500.12
134	499.61
135	499.33
136	504.80
137	504.80
138	504.90
139	504.30
140	504.80
141	504.50
142	505.70
143	509.93
144	514.50
145	514.90
146	514.46
147	521.00
148	524.00
149	524.05
150	525.42
151	528.78
152	535.18
153	533.34
154	530.40
155	528.00
156	521.53
157	517.56
158	514.42
159	511.79
160	510.00
161	508.56
162	499.75
163	501.15
164	502.57
165	503.87
166	505.50
167	506.92
168	507.86
169	508.55
170	509.30
171	508.71
172	509.06
173	507.49
174	504.37
175	499.80
176	500.80
177	498.80
178	493.10
179	492.80
180	492.90
181	491.90
182	491.80
183	490.80
184	488.80
185	487.90
186	485.90
187	484.80
188	482.60
189	483.00
190	481.40
191	485.86
192	493.19
193	498.81
194	503.41
195	506.66
196	512.37
197	511.63
198	513.51
199	515.45
200	517.18
LOT 64	524.42
LOT 63	518.50
LOT 62	518.60
LOT 61	514.80
LOT 60	509.70
LOT 59	498.83
LOT 58	495.15
LOT 57	489.98
LOT 56	509.47

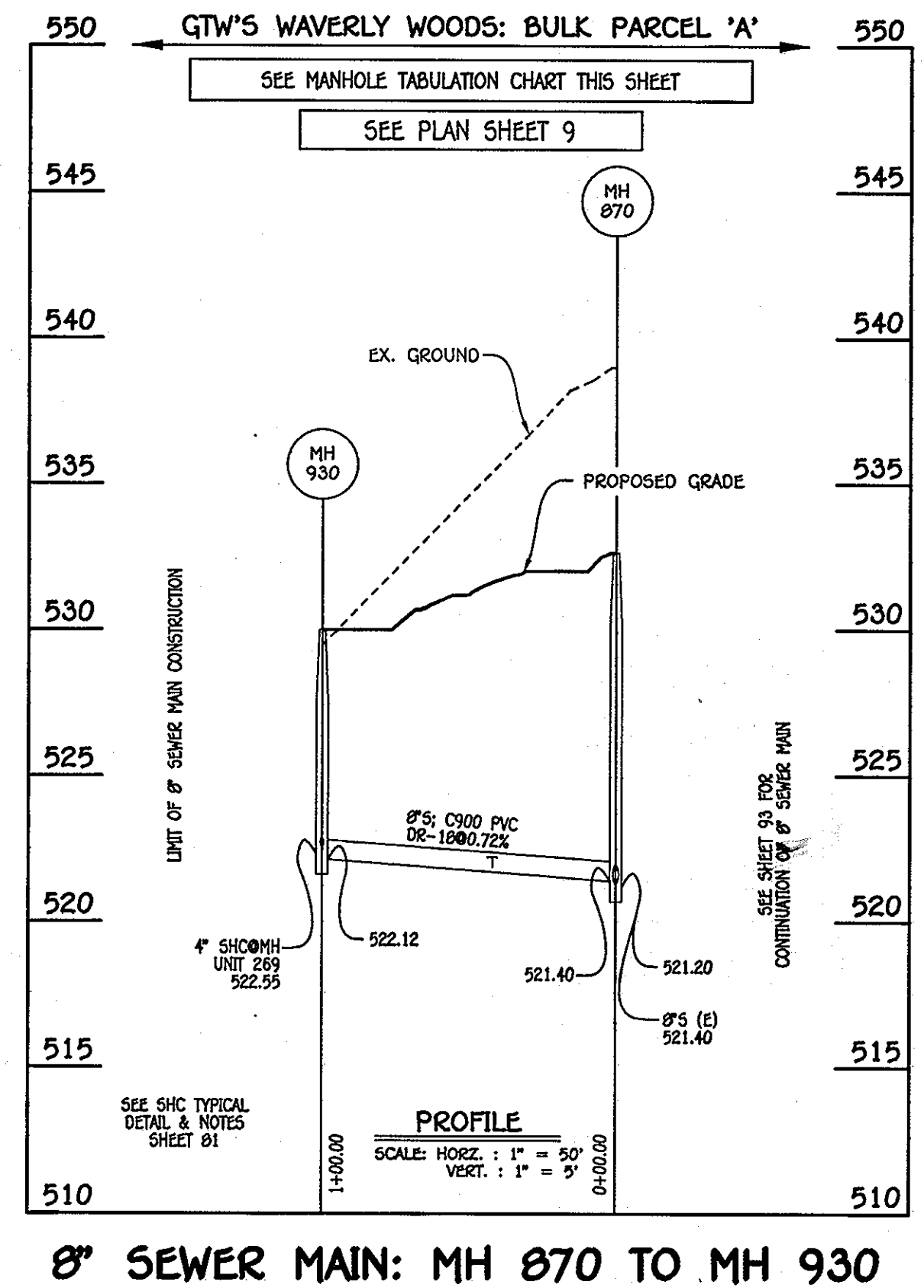
UNIT / LOT	M.C.E.
LOT 55	511.70
LOT 54	514.27
LOT 53	516.90
LOT 160	526.50
LOT 161	526.42
LOT 162	526.46
LOT 163	522.67
LOT 164	523.07
LOT 165	516.34
LOT 86	529.72
LOT 85	529.86
LOT 84	530.00
LOT 83	530.14
LOT 97	530.52
LOT 98	530.38
LOT 99	530.67
LOT 100	530.87
LOT 101	531.27
LOT 96	530.50
LOT 95	530.36
LOT 94	530.22
LOT 93	530.07
LOT 92	530.36
LOT 91	530.03
LOT 90	529.80
LOT 89	536.80
LOT 88	539.00
LOT 82	533.40
LOT 81	533.81
LOT 80	534.43
LOT 104	534.43
LOT 103	533.93
LOT 102	533.48
LOT 113	532.29
LOT 112	523.15
LOT 111	523.01
LOT 110	523.13
LOT 109	523.01
LOT 108	522.44
LOT 107	522.56
LOT 106	521.96
LOT 105	521.39
LOT 129	520.82
LOT 128	521.23
LOT 127	520.58
LOT 126	522.05
LOT 125	522.81
LOT 124	522.76
LOT 123	522.86
LOT 122	523.26
LOT 121	523.54
LOT 120	523.90
LOT 119	524.07
LOT 118	524.41
LOT 117	524.11
LOT 116	523.88
LOT 115	530.60
LOT 114	530.20
268	525.39
269	527.11
270	537.99
271	537.58
LOT 155	533.10
LOT 154	534.70
LOT 153	534.70
LOT 152	534.70
LOT 151	534.70
LOT 150	534.70
LOT 149	534.70
LOT 148	534.70
LOT 147	535.30
LOT 146	535.20
282	529.50
283	532.90
284	534.90
285	534.80
LOT 159	535.00
LOT 158	535.20
LOT 157	535.80
LOT 156	536.50
290	524.40
291	526.40
292	528.40
293	531.96
294	531.78

UNIT / LOT	M.C.E.
295	531.91
296	532.33
297	532.51
298	532.99
299	521.62
300	521.86
301	522.00
302	526.60
303	521.54
304	521.74
305	521.62
306	521.45
307	532.10
308	532.00
309	531.80
310	521.82
311	533.20
312	533.40
313	533.90
314	529.44
315	523.16
316	521.31
317	522.24
318	522.42
319	522.34
320	522.16
321	521.98
322	519.71
323	521.18
324	520.28
325	524.16
326	524.90
327	526.00
328	527.90
329	514.90
330	516.00
331	516.00
332	516.10
333	516.20
334	509.63
335	508.91
336	508.71
337	508.30
338	507.85
339	507.01
340	490.53
341	495.14
342	496.13
343	497.94
344	499.48
345	501.22
346	502.90
347	504.61
348	506.66
349	508.30
350	507.70

* Gravity Sewer Service First Floor Only. Basement Sewer Service To Be Provided By On-Site Pump.



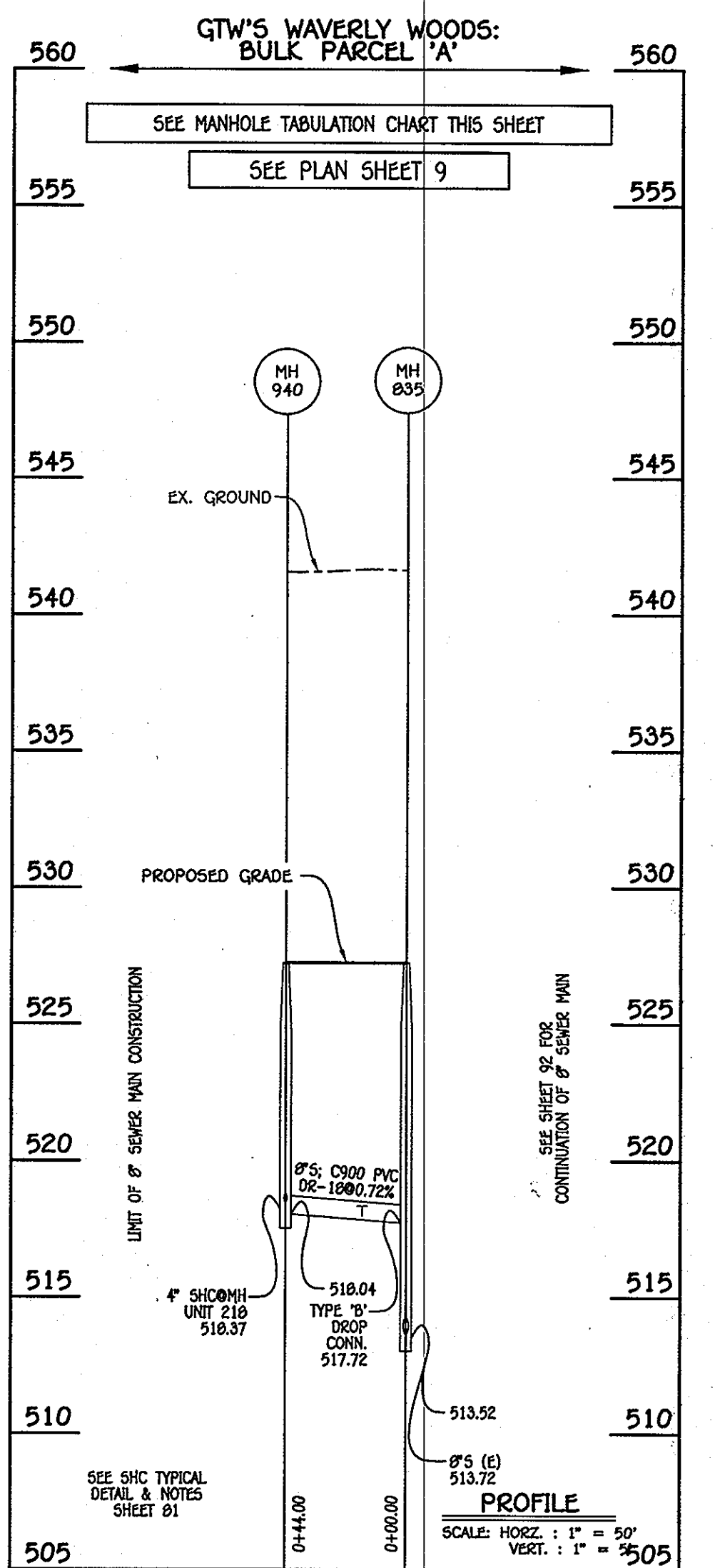
SHC INVERT@BUILDING		
STATION	UNIT	ELEVATION
MH 865 TO MH 935		
0+42 LT.	271 (FF)	533.08
©MH 935 LT.	270 (FF)	533.49



SHC INVERT@BUILDING		
STATION	UNIT	ELEVATION
MH 870 TO MH 930		
0+42 RT.	268	521.89
©MH 930 RT.	269 (FF)	522.51

MANHOLE TABULATION CHART			
NO.	NORTHING	EASTING	RIM ELEVATION
835	537878.08	827242.97	527.25
865	537945.13	826505.98	543.50
870	537720.39	826515.67	532.65
930	537716.09	826415.77	530.00
935	537942.30	826442.92	542.10
940	537922.01	827240.53	527.25

NOTE: SET MH RIMS FLUSH W/PROPOSED GRADE.



SHC INVERT@BUILDING		
STATION	UNIT	ELEVATION
MH 835 TO MH 940		
0+16 LT.	216	518.07
©MH 940 LT.	217	518.47

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SERVICE OFFICE: 10772 BALDWIN NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2899



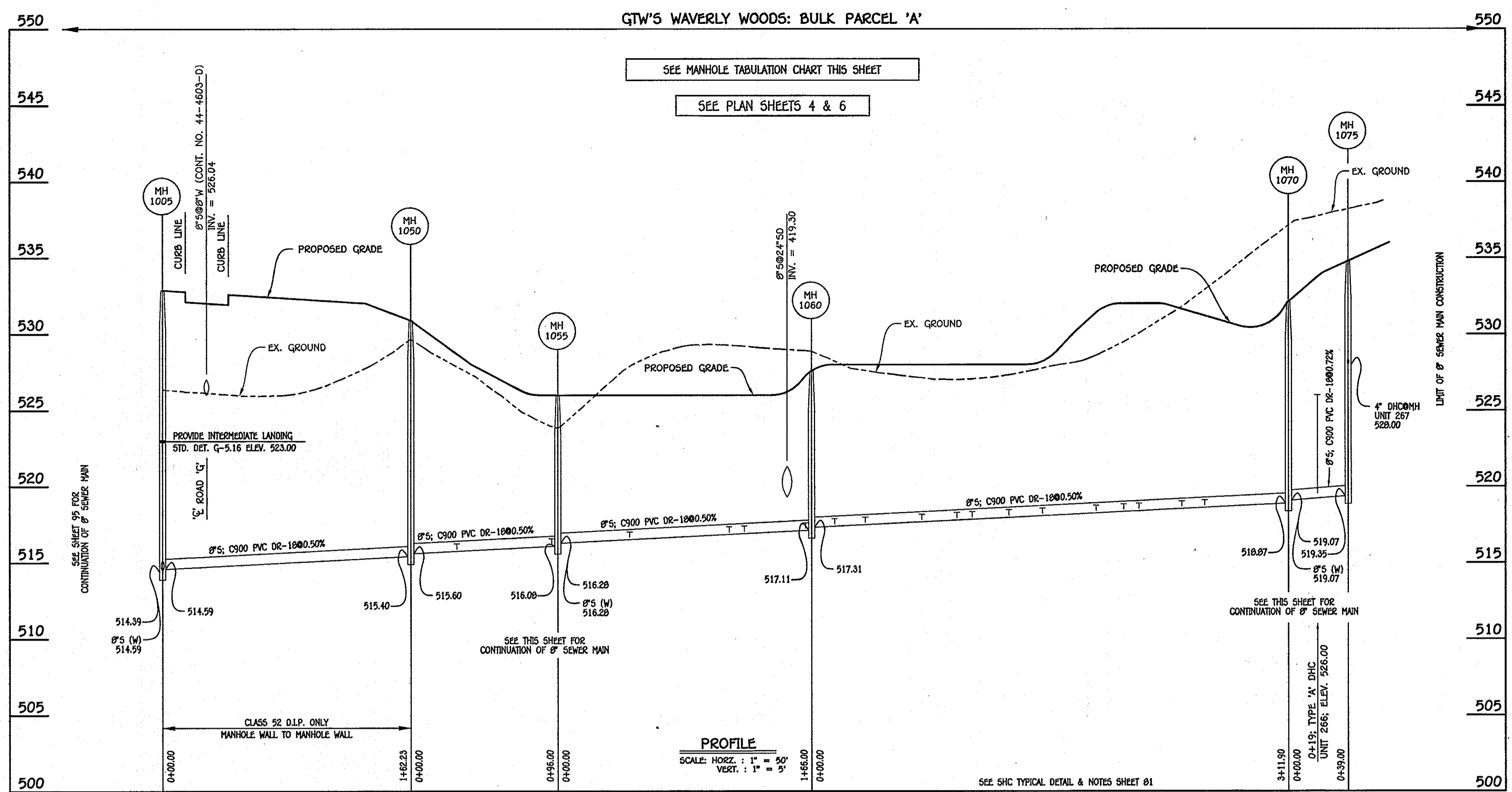
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE 3/31/14.
TERRELL A. FISHER, PROFESSIONAL ENGINEER
DATE: 11/14/12

BUILDERS
 AN HOMES 6095 MARSHALLEE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-5956
 EVAN HOMES 6095 MARSHALLEE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956
DEVELOPER
 WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLSWORTH CITY, MARYLAND 21042
 443-367-0422
OWNERS
 WAVERLY WOODS DEVELOPMENT CORPORATION,
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLSWORTH CITY, MARYLAND 21042
 443-367-0422

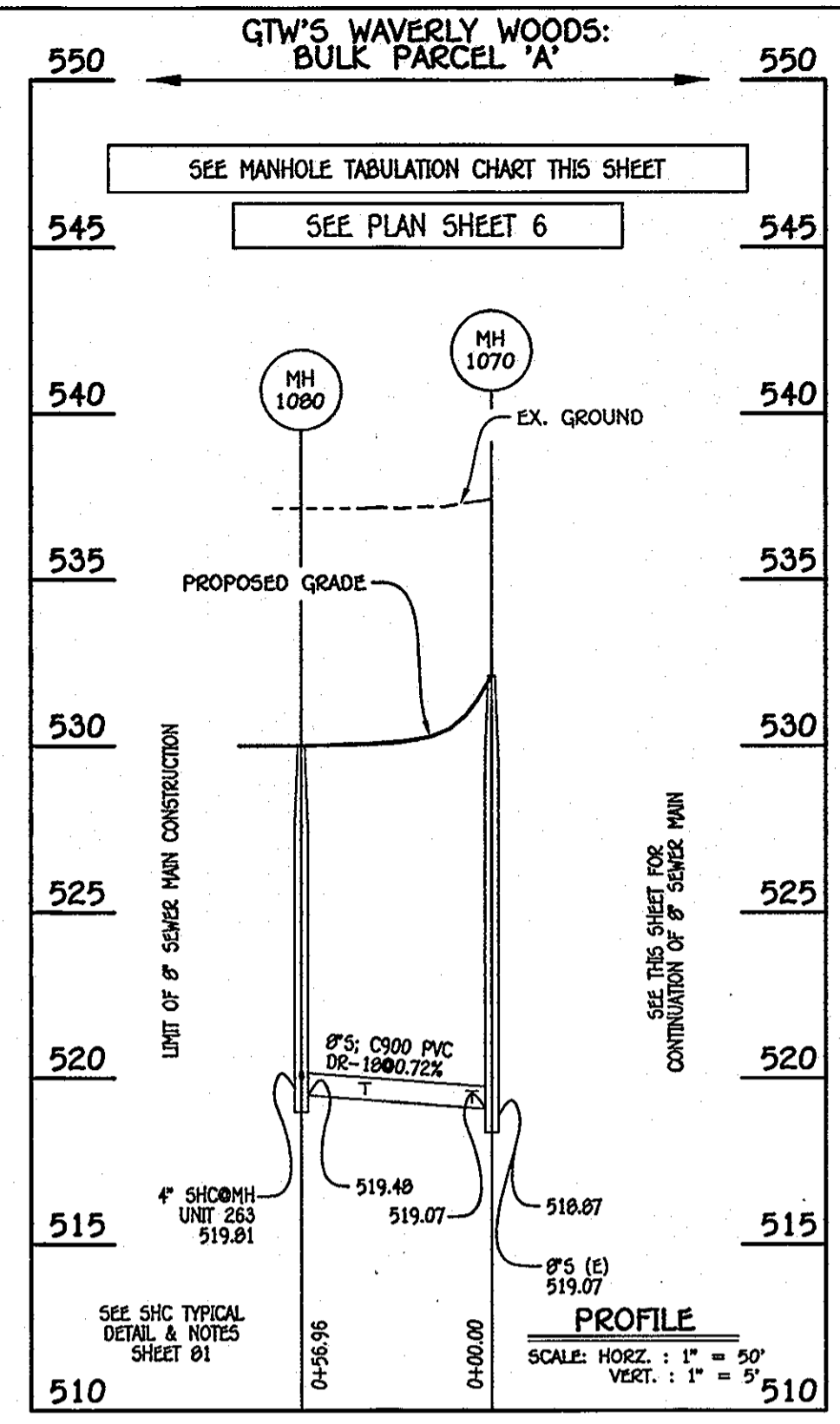
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Chief, Division of Land Development
 Chief, Development Engineering Division
 Director - Department of Planning and Zoning
 PROJECT: GTW'S WAVERLY WOODS
 PLAT 21427 - BLOCK NO. 3 & 4
 AND 22028 - 22029
 WATER CODE K-02
 SECTION 14
 PARCEL NO. 'E'
 ELEC. DIST. THIRD
 CENSUS TR. 60300
 SEWER CODE 5992000

REVISED SEWER MAINS PROFILES
 AGE RESTRICTED ADULT HOUSING
 GTW'S WAVERLY WOODS
 SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 165 &
 PHASES IV & V - UNITS 80 THRU 119, 153 THRU 161, 196 THRU 200,
 237 THRU 239, 268 THRU 271, 282 THRU 285, & 290 THRU 328
 TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES
 ZONING: PSC
 TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
 SHEET 98 OF 100 SDP-09-039

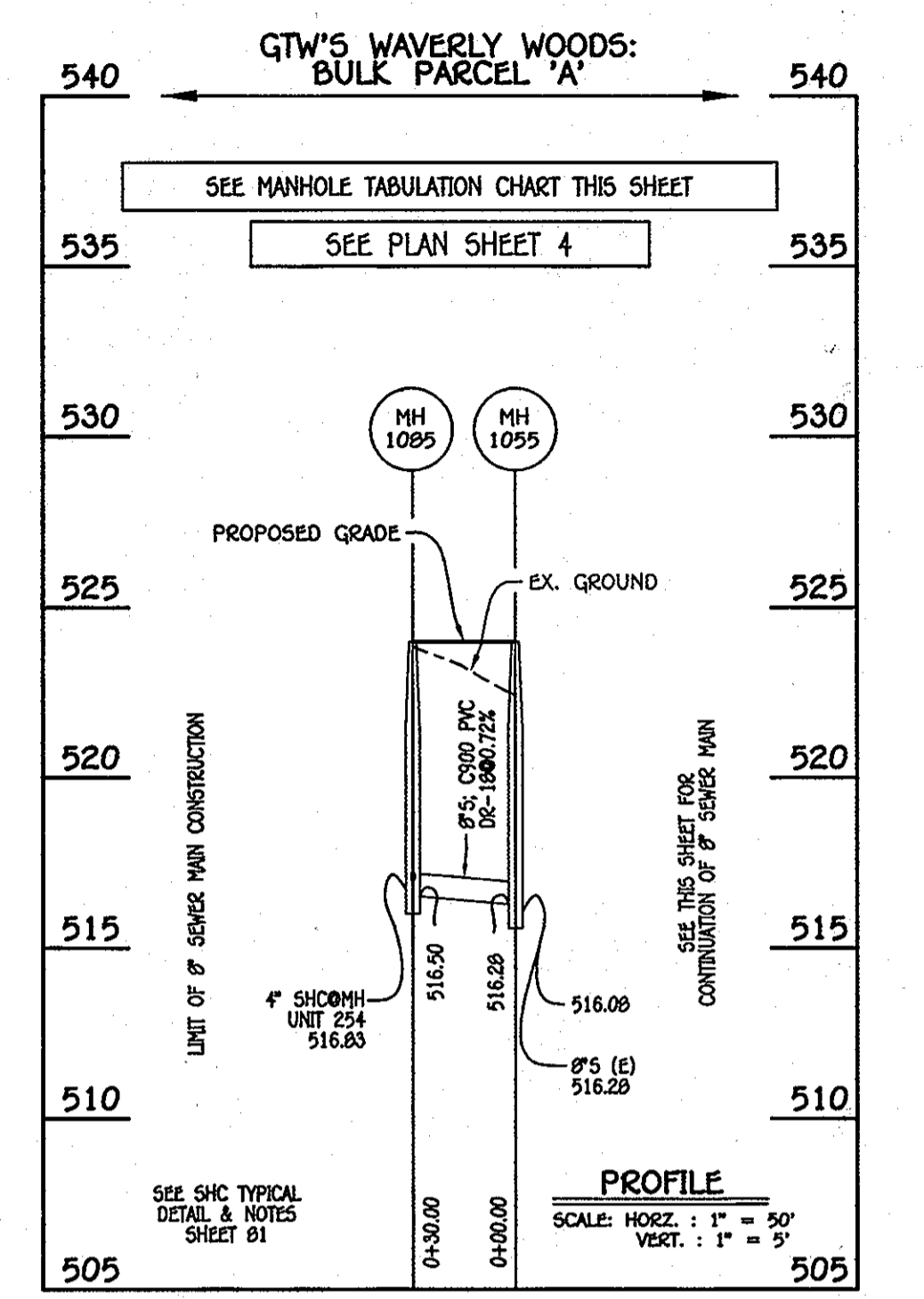
NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
2	Add Basement Sewer Service Info.	7-2-13



8" SEWER MAIN: MH 1005 & MH 1050 TO MH 1075



8" SEWER MAIN: MH 1070 TO MH 1080



8" SEWER MAIN: MH 1055 TO MH 1085

STATION	UNIT	ELEVATION
MH 1050 TO MH 1055		
0+30 LT.	252	516.02
0+92 LT.	253	516.33
MH 1055 TO MH 1060		
0+47 RT.	251	516.89
1+12 LT.	256	517.61
1+22 RT.	250	517.26
1+62 LT.	257 (FF)	517.86
MH 1060 TO MH 1070		
0+15 RT.	249	517.76
0+35 LT.	250 (FF)	518.26
0+72 RT.	248	518.14
0+95 LT.	259 (FF)	518.56
1+05 RT.	247	518.31
1+29 RT.	246	518.43
1+51 LT.	260 (FF)	518.84
1+86 RT.	245	518.71
2+04 LT.	261 (FF)	519.10
2+14 RT.	244	518.85
2+42 RT.	243	518.99
2+57 LT.	262 (FF)	519.37
MH 1070 TO MH 1075		
0+19 LT.	266 (DHC)	526.10
©MH 1075 LT.	267 (DHC@MH)	528.10

NO.	NORTHING	EASTING	RIM ELEVATION
1005	536940.15	826849.39	532.85
1050	537102.14	826840.43	530.90
1055	537096.71	826744.58	526.00
1060	537262.45	826735.34	527.50
1070	537573.87	826717.98	532.00
1075	537576.04	826756.92	534.75
1080	537570.70	826661.11	530.00
1085	537095.02	826714.63	524.00

NOTE: SET MH RIMS FLUSH W/PROPOSED GRADE.

SHC INVERT@BUILDING		
STATION	UNIT	ELEVATION
MH 1070 TO MH 1080		
0+06 RT.	265	519.38
0+38 RT.	264	519.61
©MH 1080 RT.	263	519.91

SHC INVERT@BUILDING		
STATION	UNIT	ELEVATION
MH 1055 TO MH 1085		
©MH 1085 LT.	254	516.88
©MH 1085 RT.	255 (FF)	517.15

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SERVICE OFFICE: 1072 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042
 (410) 461-2885

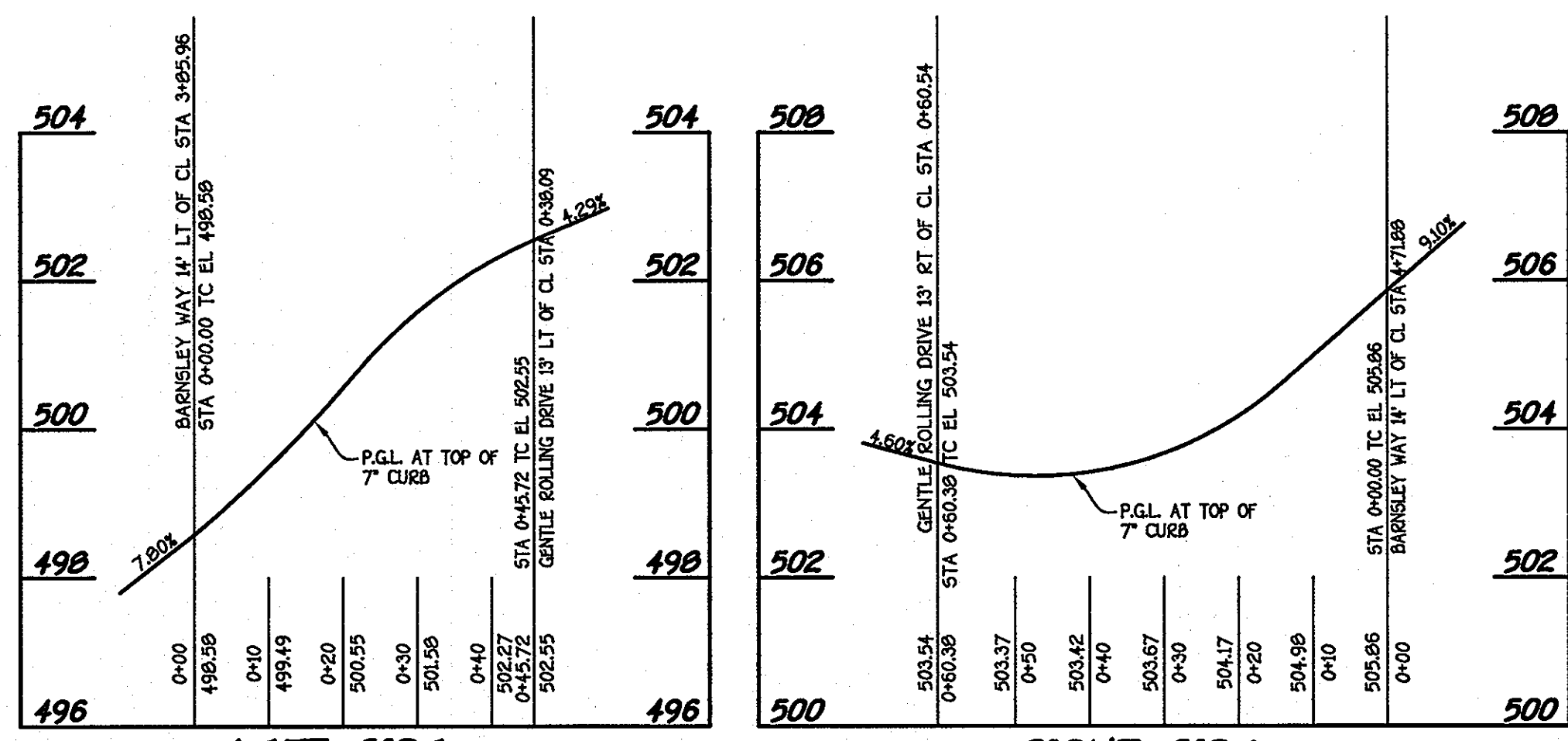


I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 8/31/14.
 TERRANCE A. FISHER, PROFESSIONAL ENGINEER
 DATE: 11/14/12

BUILDERS
 NV HOMES: 6085 MARSHALLEE DRIVE, SUITE 130, ELKROCKE, MD. 21075, 410-379-5956
 RYAN HOMES: 6085 MARSHALLEE DRIVE, SUITE 140, ELKROCKE, MD. 21075, 410-379-5956
DEVELOPER
 WAVERLY WOODS DEVELOPMENT CORPORATION, C/O LAND DESIGN AND DEVELOPMENT, INC., 5300 DORSEY HALL DRIVE, SUITE 102, ELICOTT CITY, MARYLAND 21042, 443-367-0422
OWNERS
 WAVERLY WOODS DEVELOPMENT CORPORATION, C/O LAND DESIGN AND DEVELOPMENT, INC., 5300 DORSEY HALL DRIVE, SUITE 102, ELICOTT CITY, MARYLAND 21042, 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Chief, Division of Land Development: [Signature] 12/15/12
 Chief Development Engineering Division: [Signature] 12/15/12
 Director - Department of Planning and Zoning: [Signature] 12/15/12
 PROJECT: GTW'S WAVERLY WOODS SECTION 14
 PLAT 21427 - BLOCK NO. 3 & 4 ZONE PSC TAX/ZONE 16 ELEC. DIST. THIRD CENSUS TR. 60300
 WATER CODE K-02 SEWER CODE 5992000

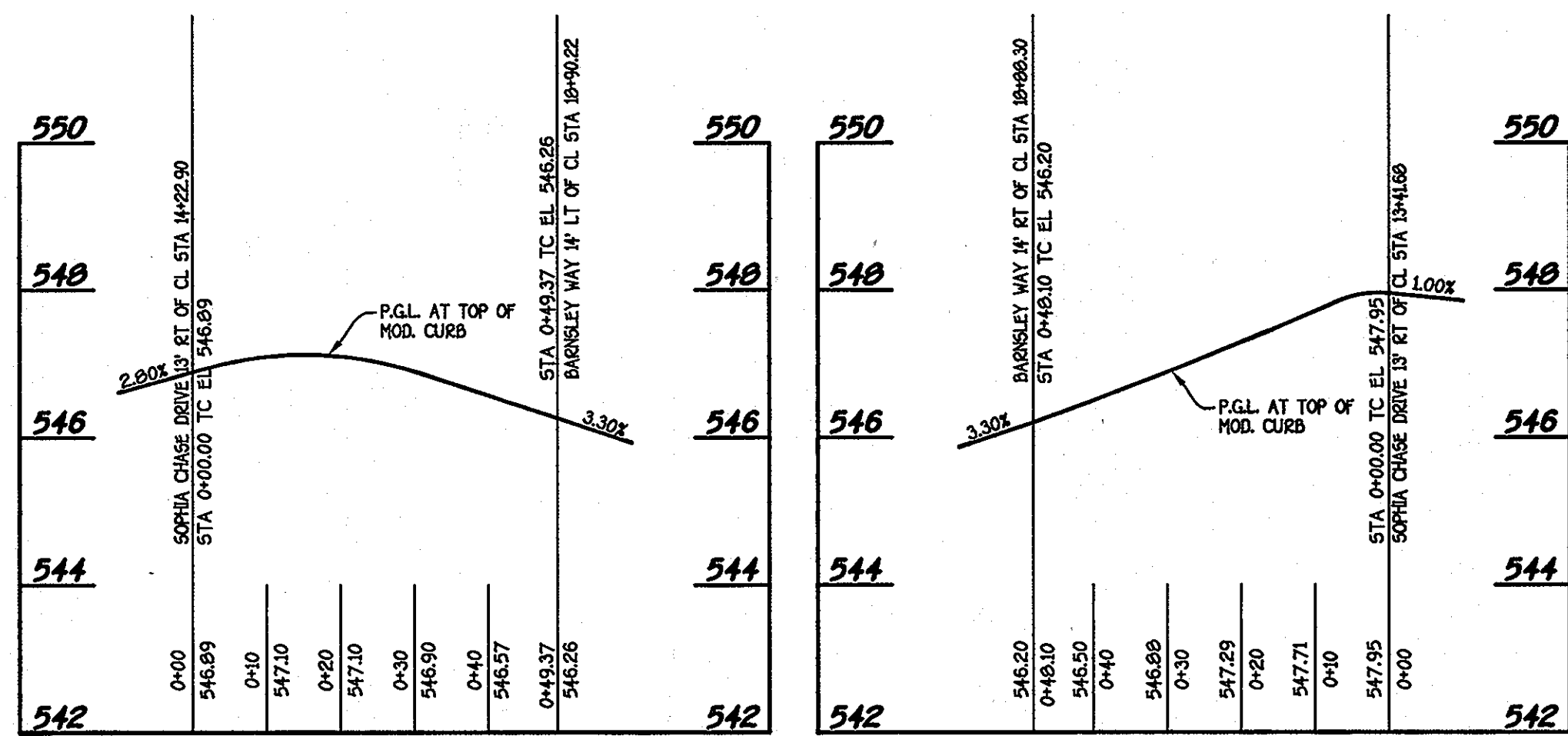
REVISED SEWER MAIN PROFILES
 AGE RESTRICTED ADULT HOUSING
 GTW'S WAVERLY WOODS
 SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 165 & PHASES IV & V - UNITS 80 THRU 119, 153 THRU 161, 195 THRU 200, 237 THRU 239, 268 THRU 271, 292 THRU 295, & 290 THRU 328
 TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES
 ZONING: PSC
 TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
 SHEET 97 OF 100 **5DP-09-039**



LEFT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

RIGHT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

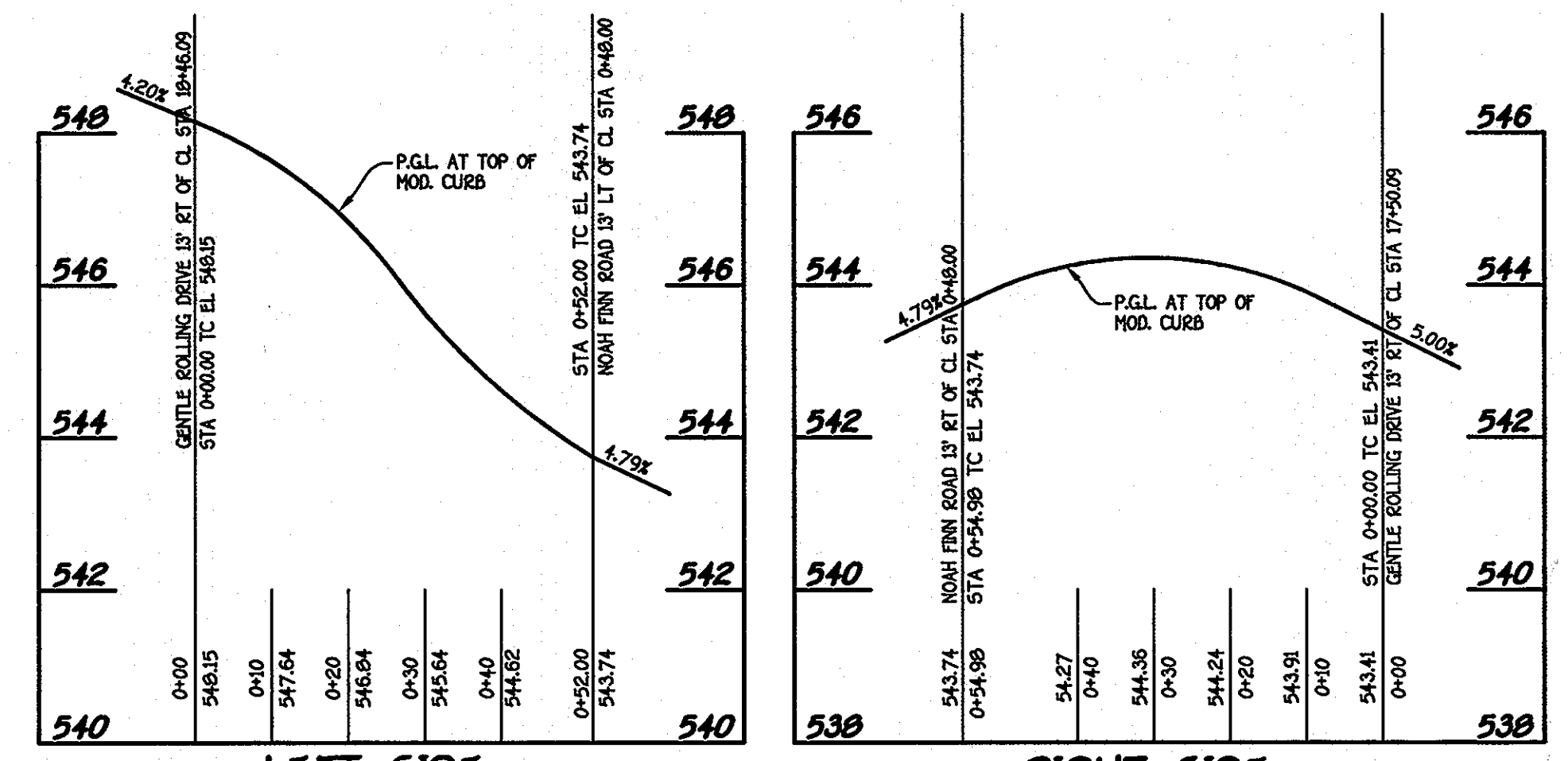
BARNLSLEY WAY - GENTLE ROLLING DRIVE INTERSECTION



LEFT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

RIGHT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

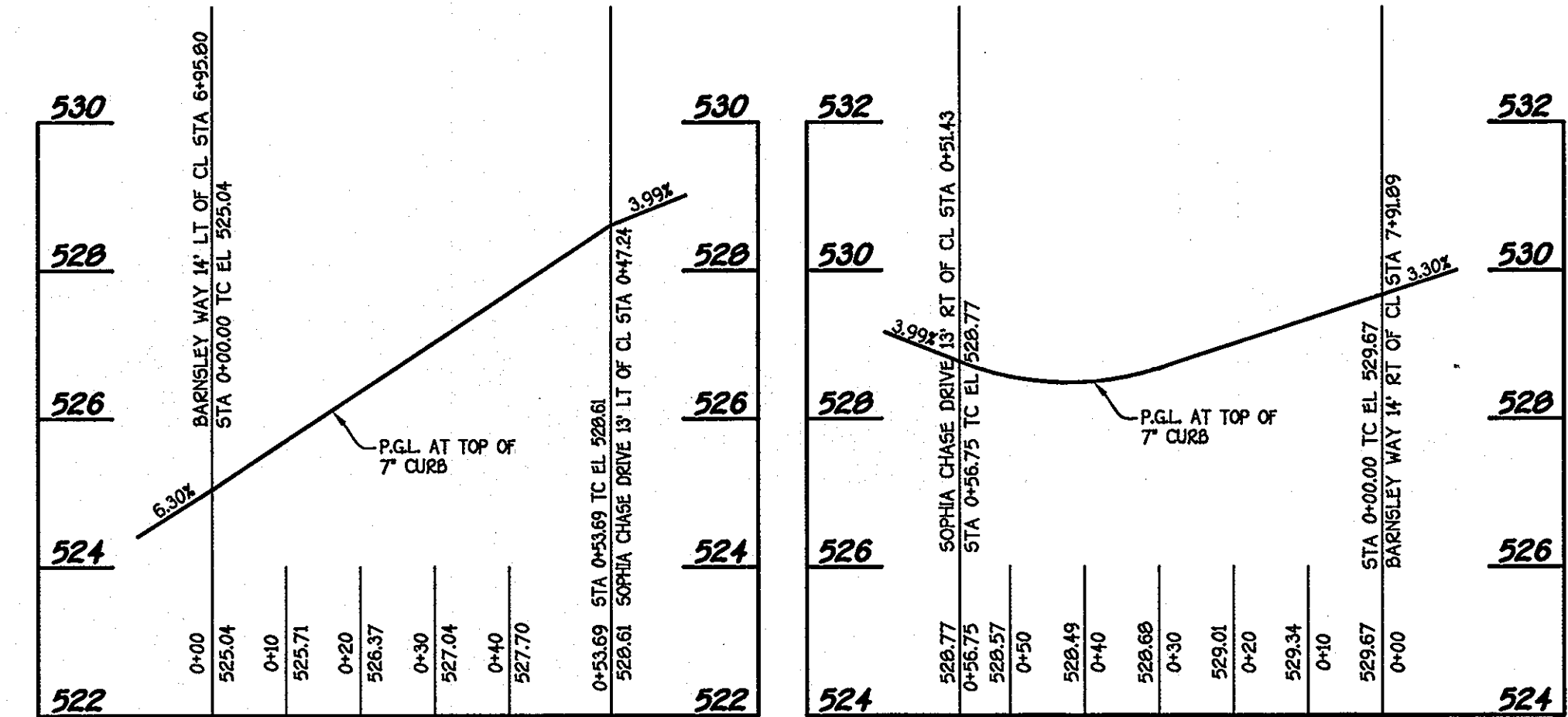
BARNLSLEY WAY - SOPHIA CHASE DRIVE INTERSECTION



LEFT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

RIGHT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

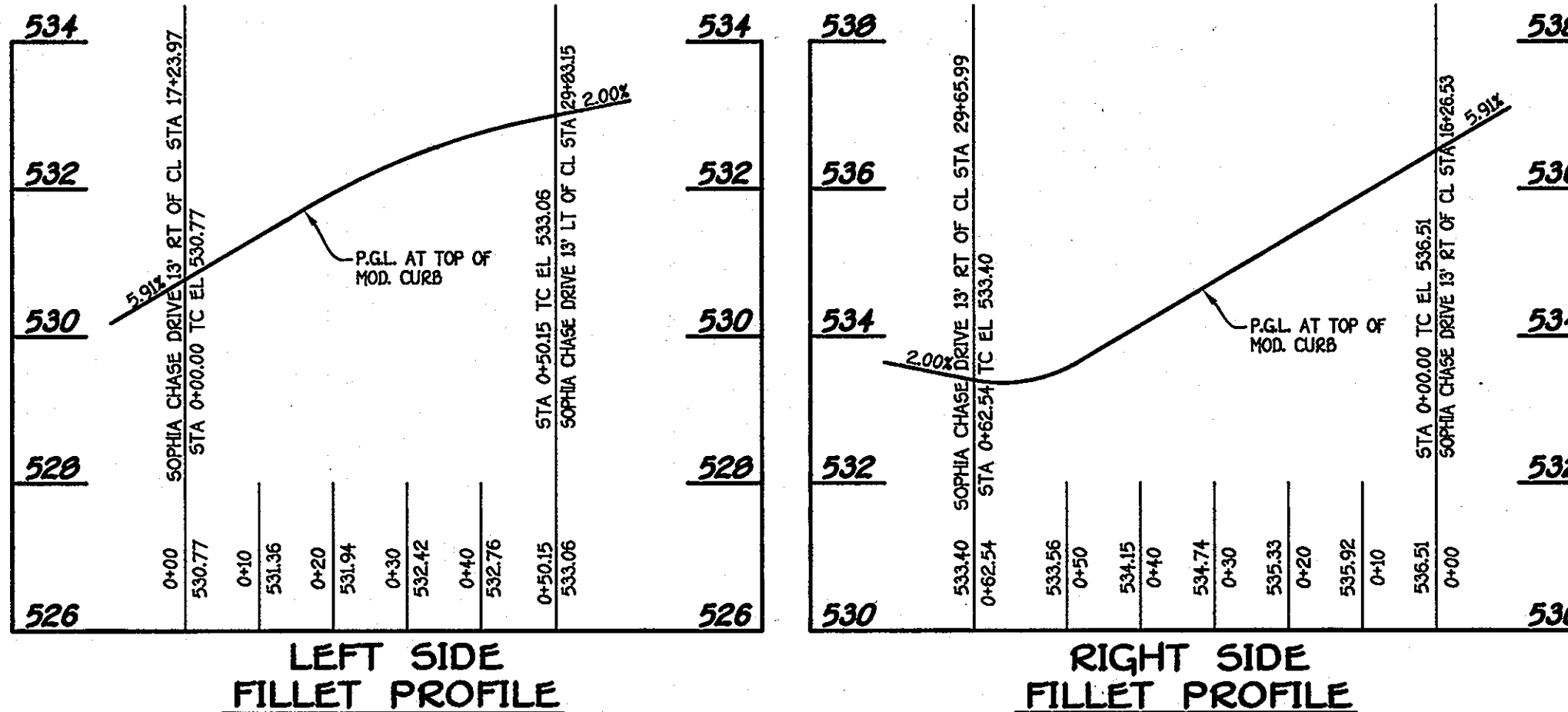
GENTLE ROLLING DRIVE - NOAH FINN ROAD INTERSECTION



LEFT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

RIGHT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

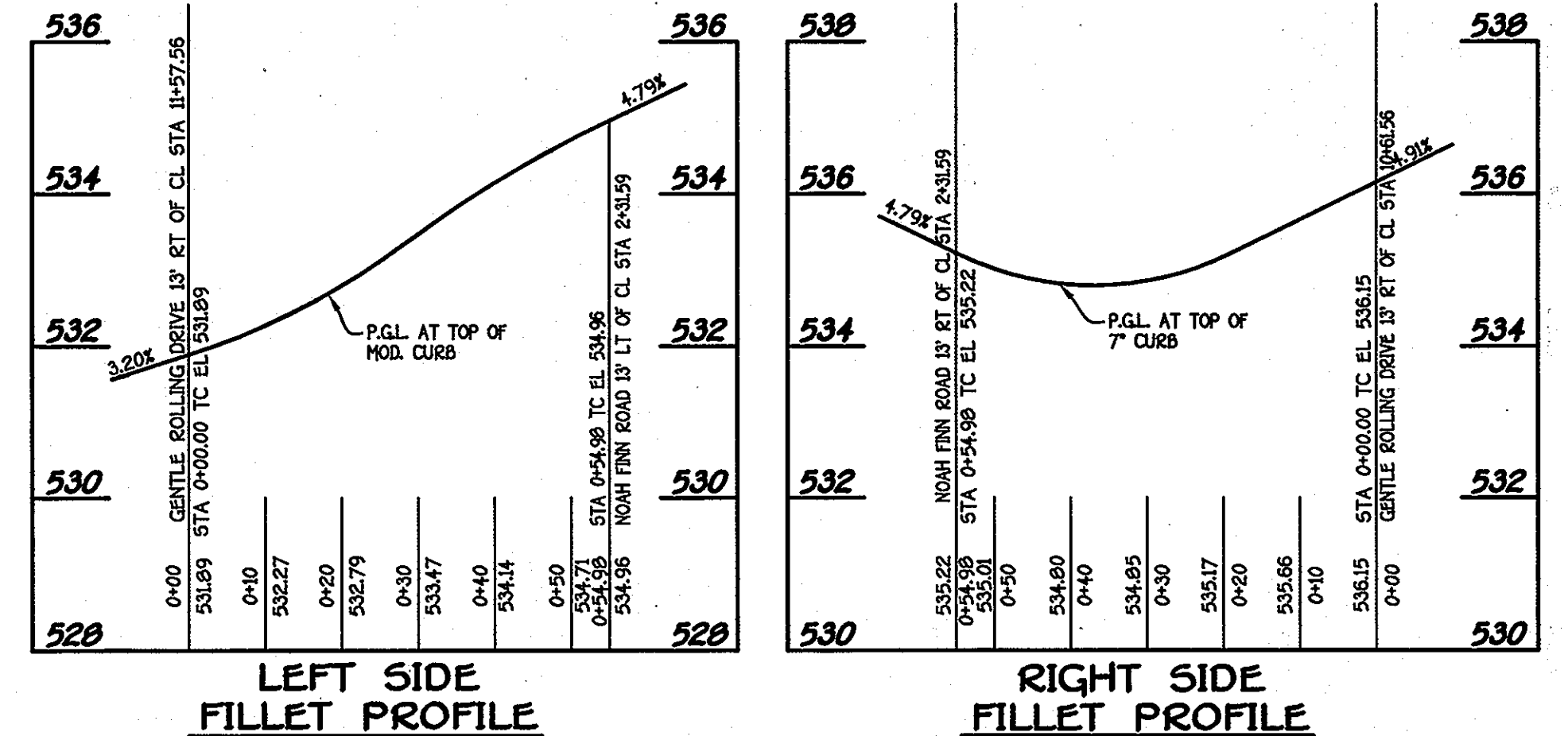
BARNLSLEY WAY - SOPHIA CHASE DRIVE INTERSECTION



LEFT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

RIGHT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

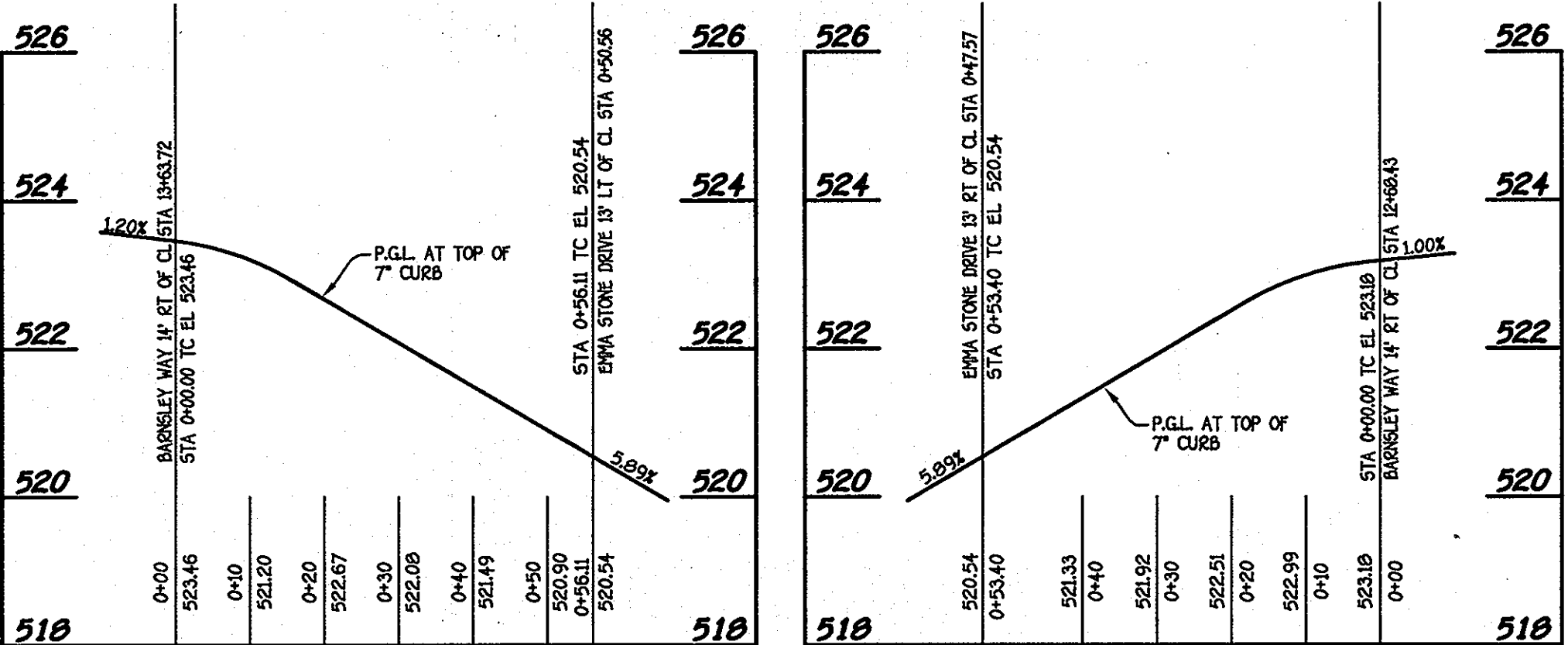
SOPHIA CHASE DRIVE - SOPHIA CHASE DRIVE INTERSECTION



LEFT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

RIGHT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

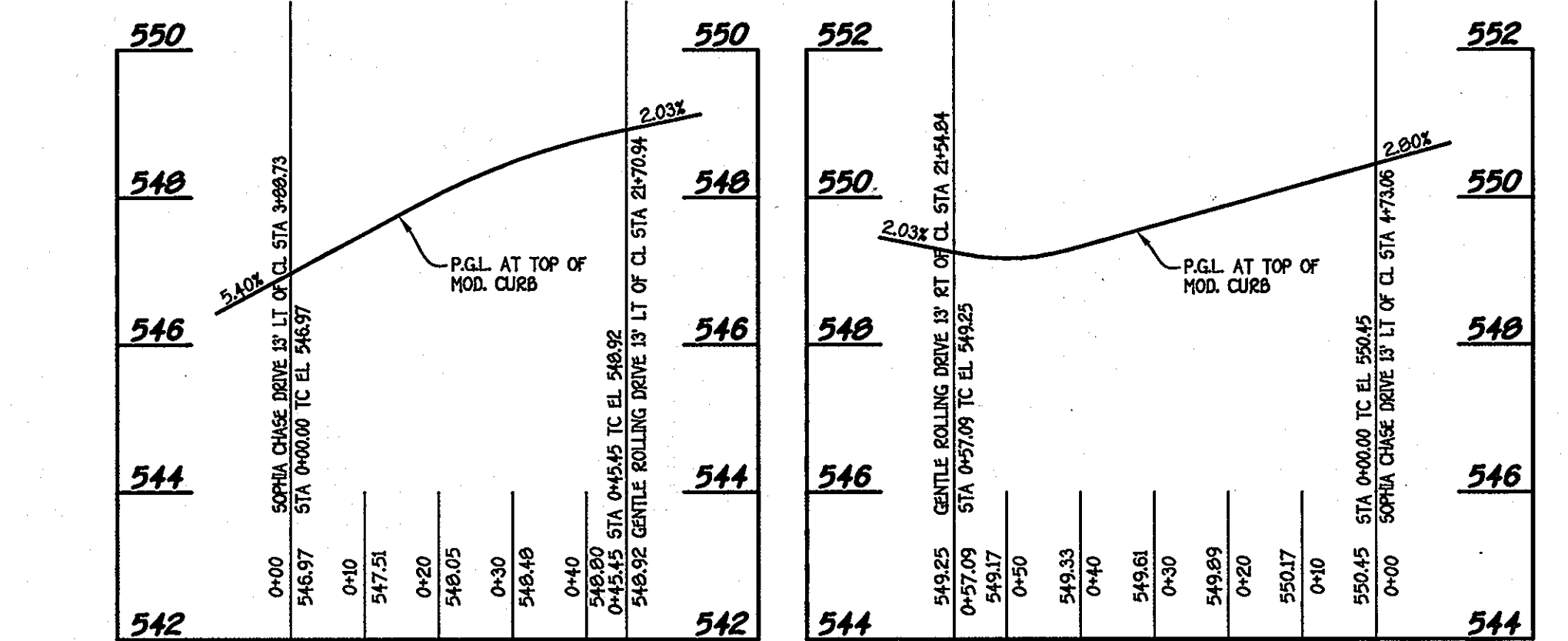
GENTLE ROLLING DRIVE - NOAH FINN ROAD INTERSECTION



LEFT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

RIGHT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

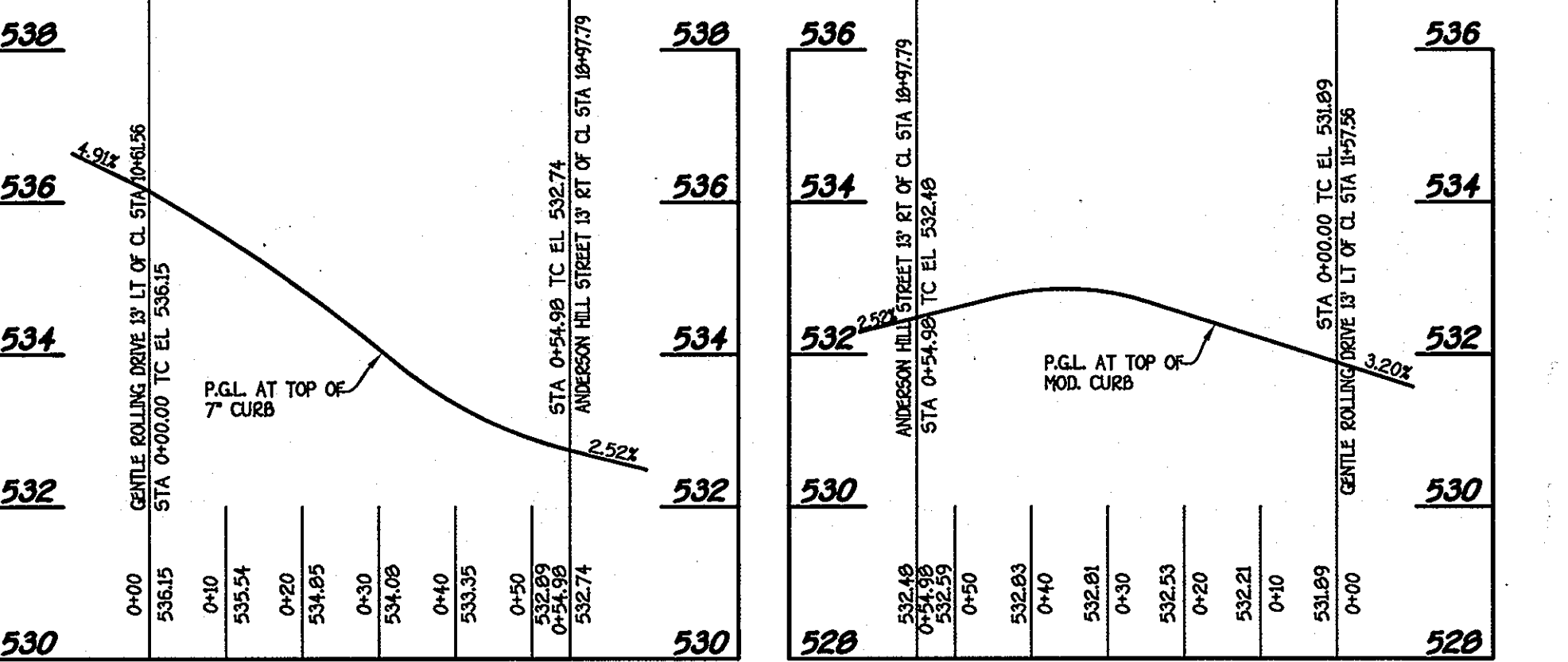
BARNLSLEY WAY - EMMA STONE DRIVE INTERSECTION



LEFT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

RIGHT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

SOPHIA CHASE DRIVE - GENTLE ROLLING DRIVE INTERSECTION



LEFT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

RIGHT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

GENTLE ROLLING DRIVE - ANDERSON HILL STREET INTERSECTION

REVISED

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
NATIONAL SQUARE OFFICE PARK - 10725 BALTIMORE NATIONAL PARK
ELLICOTT CITY, MARYLAND 21042
410-481-2999



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/3/14.
Terrell A. Fisher 11/14/12
TERRELL A. FISHER, PROFESSIONAL ENGINEER

BUILDERS	
NV HOMES 6005 MARSHALEE DRIVE SUITE 130 ELKBRIDGE, MD 21075 410-379-5956	RYAN HOMES 6005 MARSHALEE DRIVE SUITE 140 ELKBRIDGE, MD 21075 410-379-5956
DEVELOPER	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422	
OWNERS	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Keith Johnson 12/18/12
Chief, Division of Land Development

David Williams 12/18/12
Chief, Engineering Division

Paul A. Lyle 12/18/12
Director - Department of Planning & Zoning

PROJECT	SECTION	PARCEL NO. "E"
GTW'S WAVERLY WOODS	14	14-000000-0000
PLAT 21427 - BLOCK NO. 22082 - 3 & 4	ZONE PSC	TAX/ZONE 16
ELEC. DIST. THIR	CENSUS TR. 60300	
WATER CODE K-02	SEWER CODE 5992000	

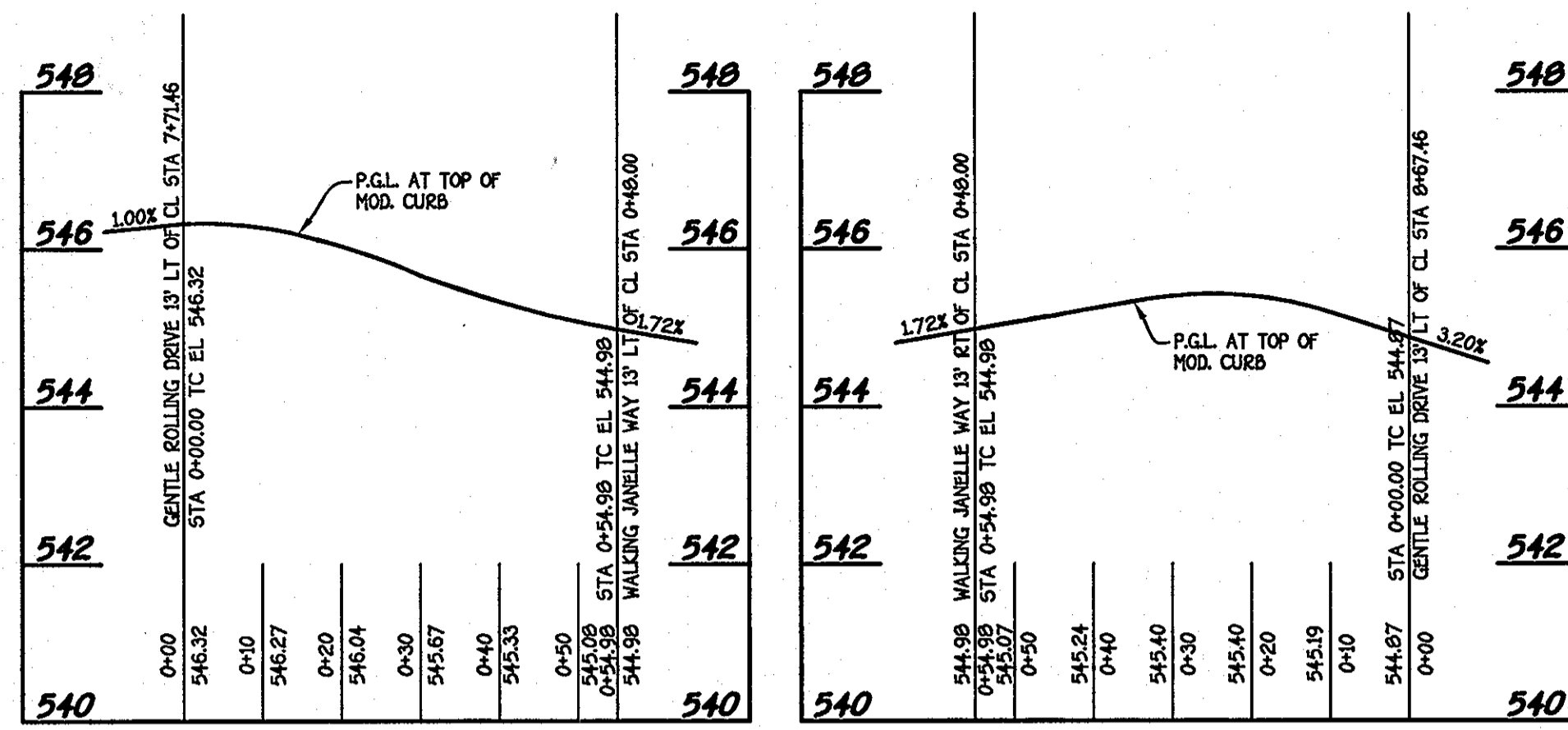
CURB RETURN PROFILES

**AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS**

SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 86 & 88 THRU 165 &
PHASES IV & V - UNITS 80 THRU 119, 150 THRU 161, 196 THRU 200,
237 THRU 239, 286 THRU 271, 282 THRU 285, & 290 THRU 328
TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES

ZONING: PSC
TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
SHEET 99 OF 100

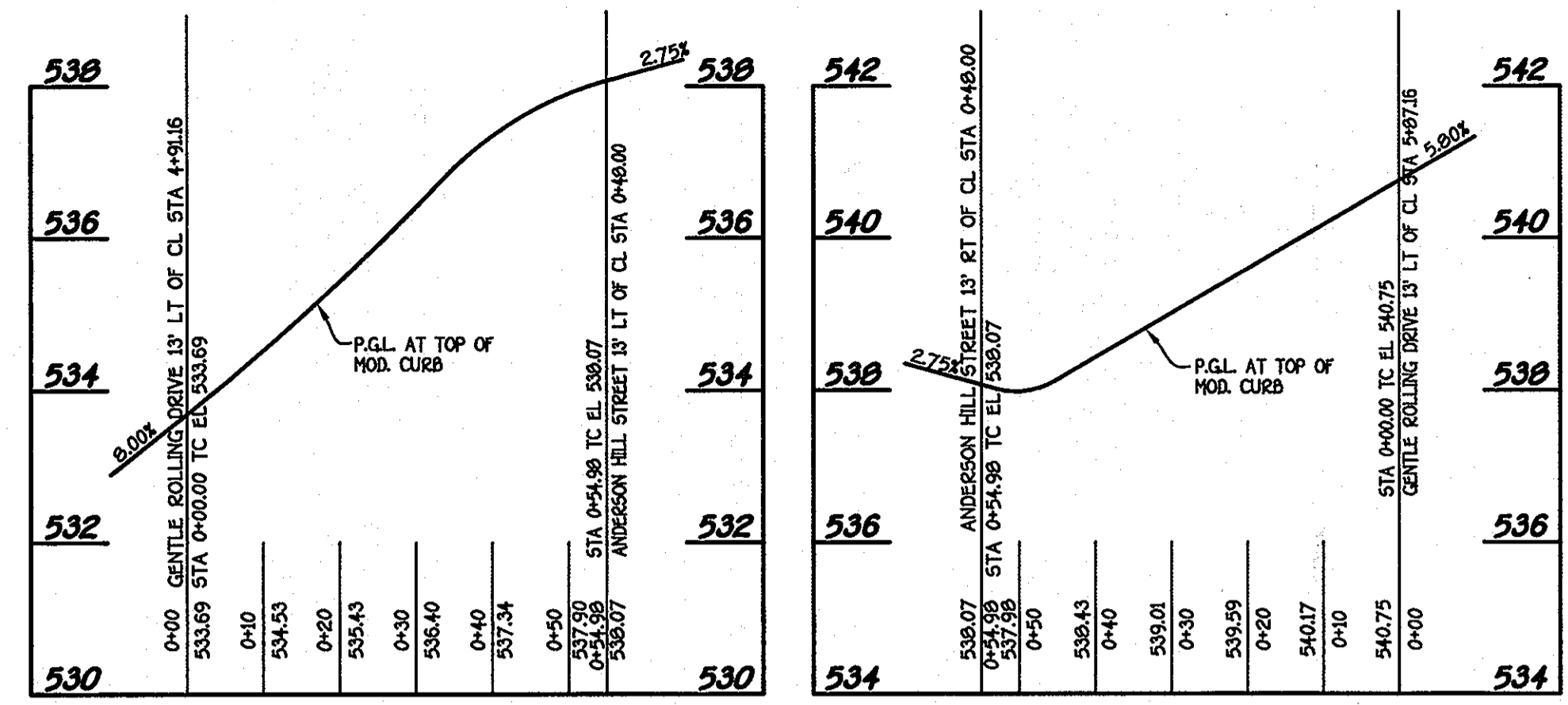
NO.	REVISION	DATE
3	REV. TO ADD FEE SIMPLE LOTS PER F-12-009 AND ADD GRIFFIN HALL	9/28/12
2	REV. PER ADDITION APPO PHASE 3 BLDGS & 5-06-13 PHASING TAB	3/24/10
1	REV. PER ADDITION APPO PHASE 3 BLDGS & 5-06-13 PHASING TAB	3/24/10



LEFT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

RIGHT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

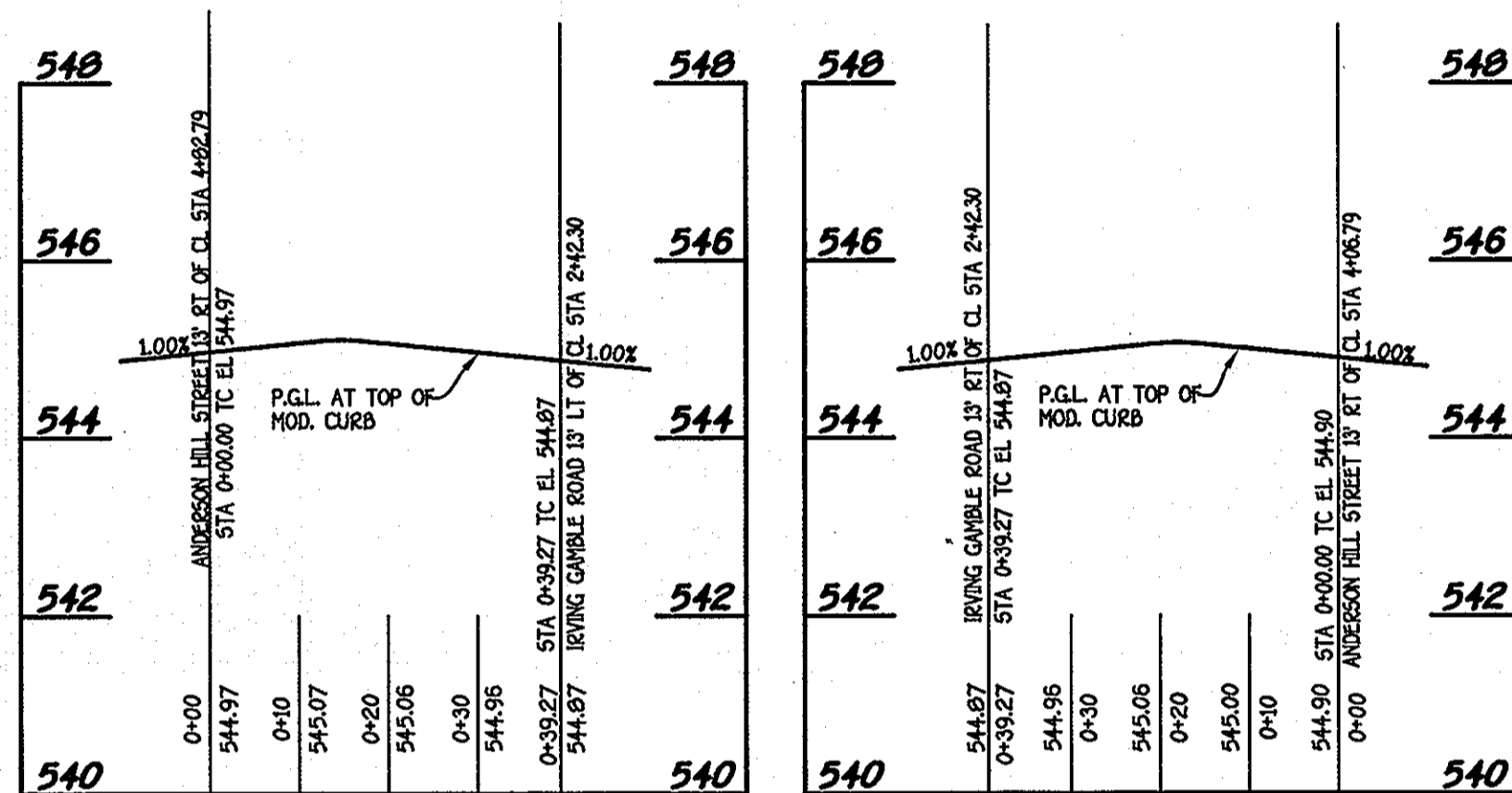
GENTLE ROLLING DRIVE - WALKING JANELLE WAY INTERSECTION



LEFT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

RIGHT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

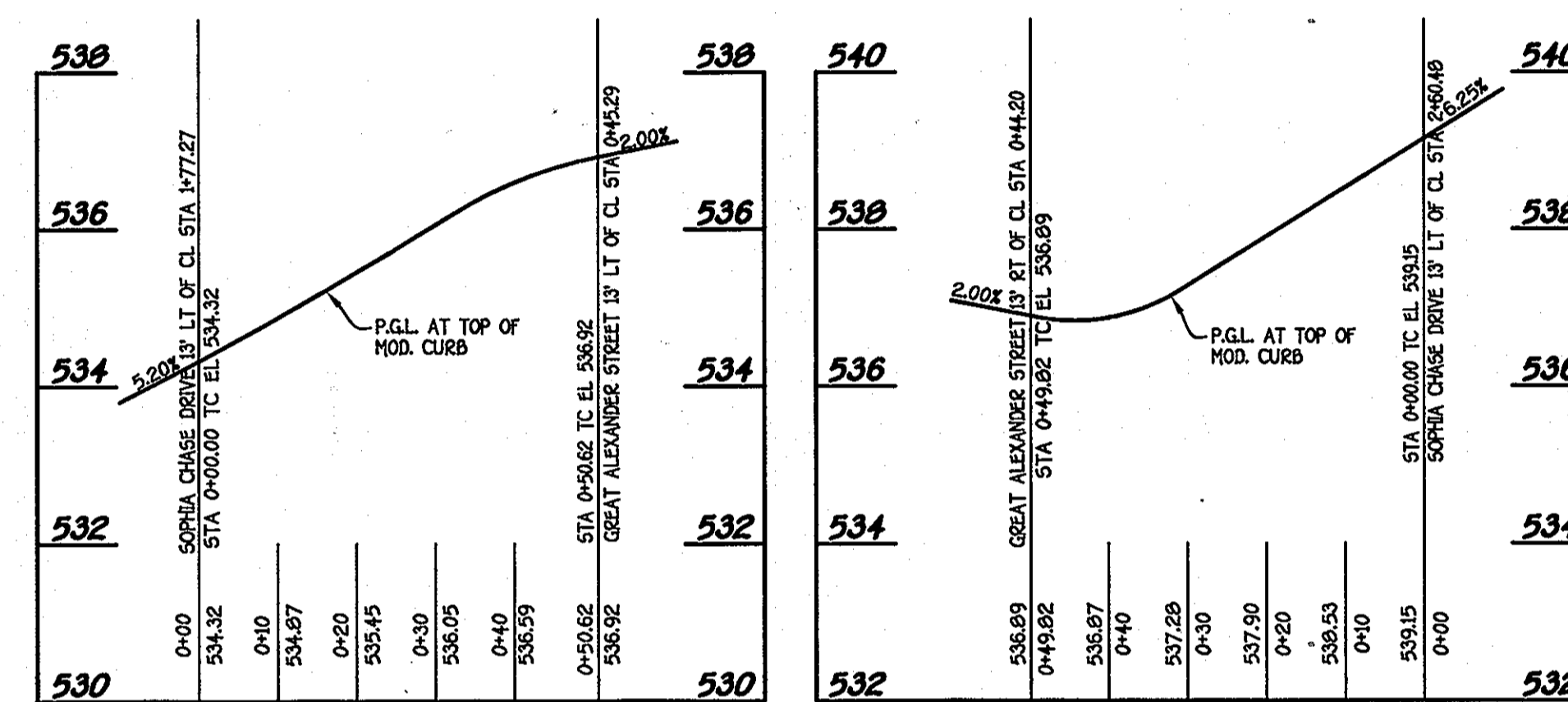
GENTLE ROLLING DRIVE - ANDERSON HILL STREET INTERSECTION



LEFT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

RIGHT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

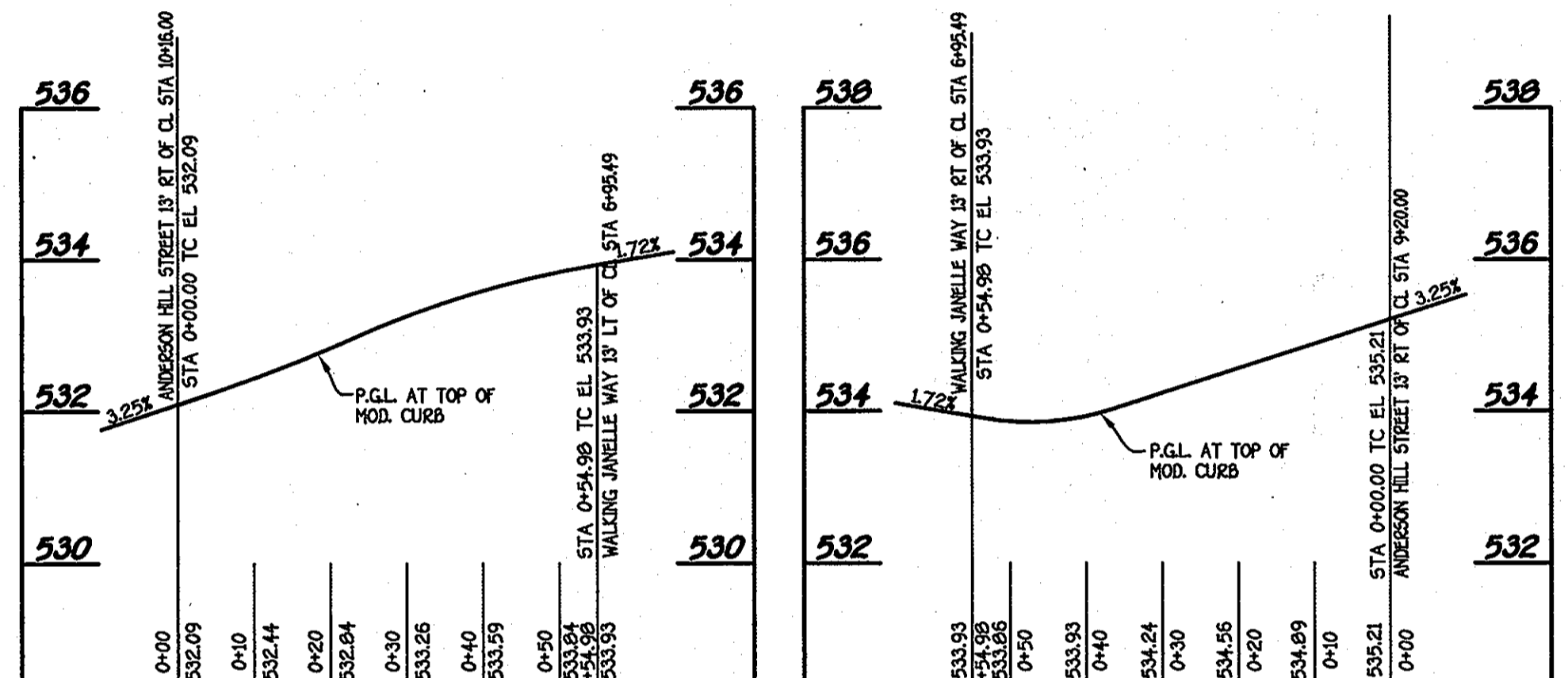
ANDERSON HILL STREET - IRVING GAMBLE ROAD INTERSECTION



LEFT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

RIGHT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

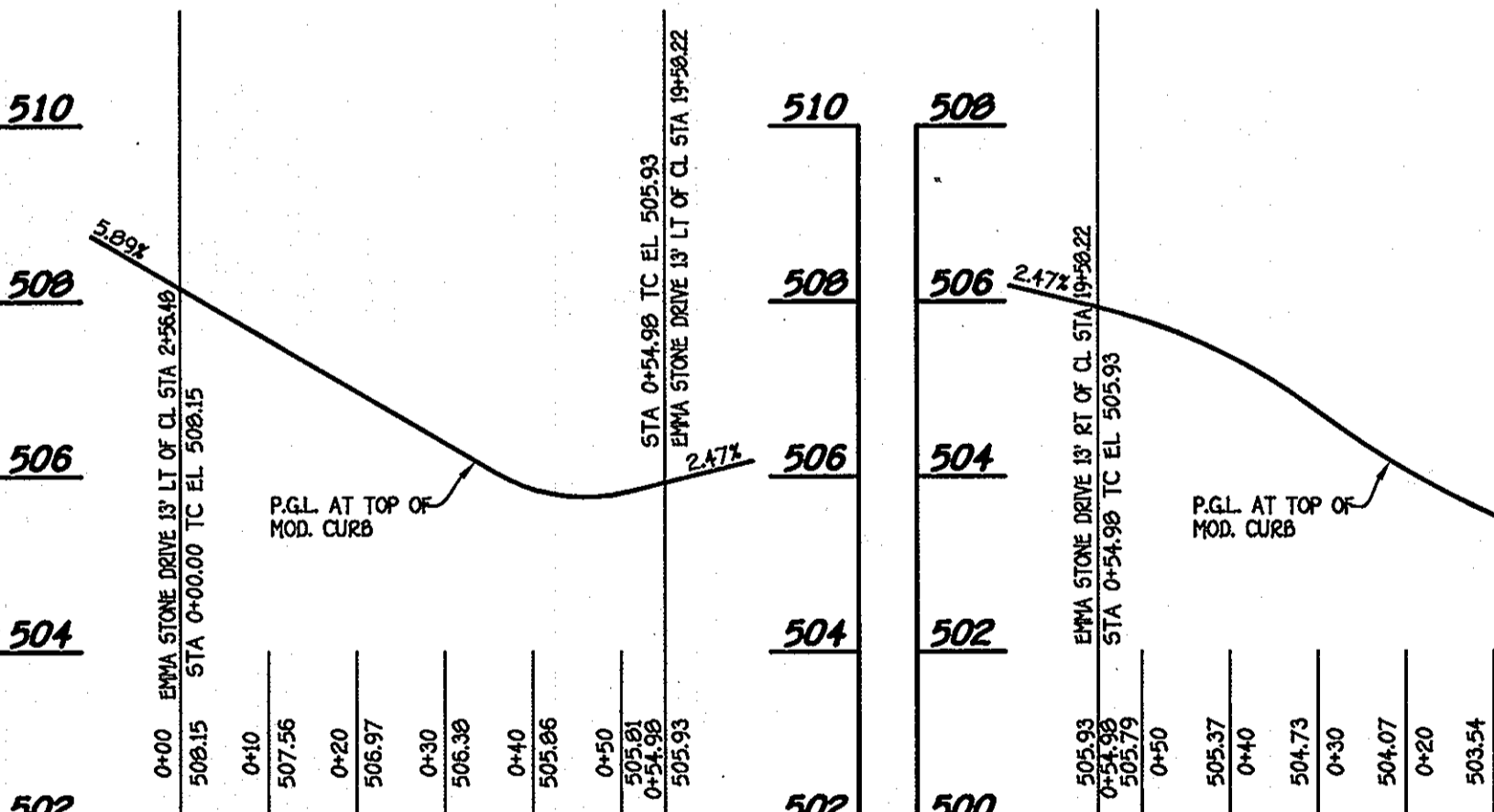
SOPHIA CHASE DRIVE - GREAT ALEXANDER STREET INTERSECTION



LEFT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

RIGHT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

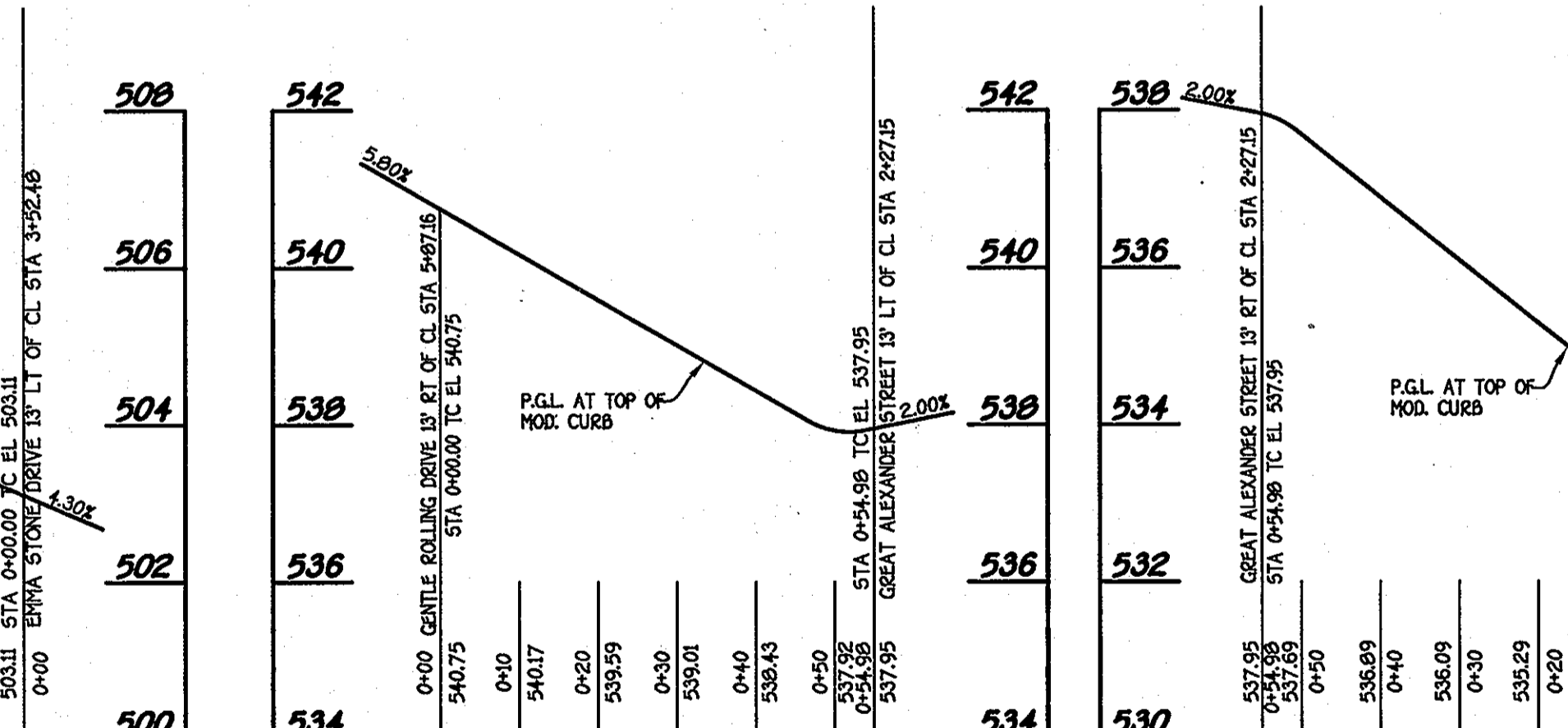
ANDERSON HILL STREET - WALKING JANELLE WAY INTERSECTION



LEFT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

RIGHT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

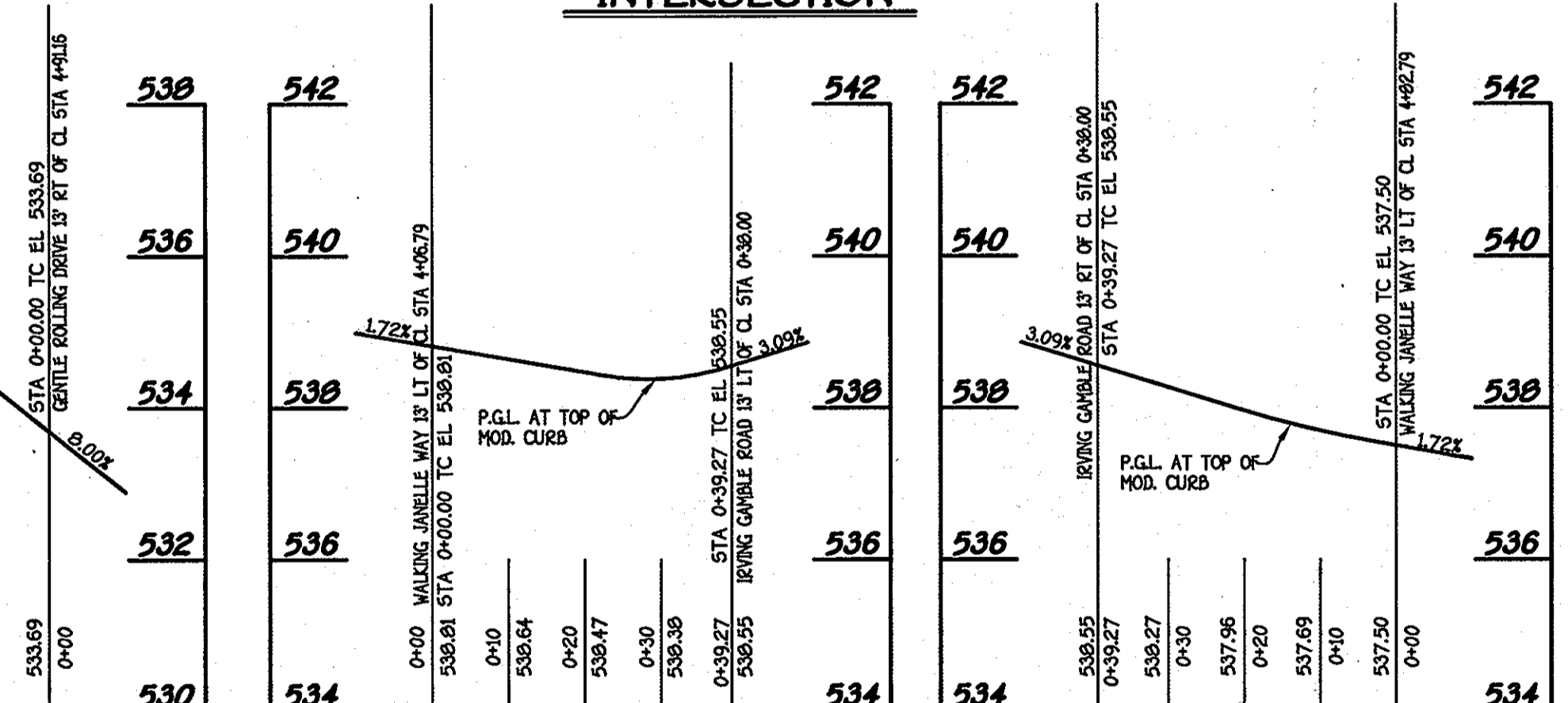
EMMA STONE DRIVE - EMMA STONE DRIVE INTERSECTION



LEFT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

RIGHT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

GENTLE ROLLING DRIVE - GREAT ALEXANDER STREET INTERSECTION



LEFT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

RIGHT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

WALKING JANELLE WAY - IRVING GAMBLE ROAD INTERSECTION

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CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 1072 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042
410 481-2855



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Ferrell A. Fisher 1/14/12 DATE
FERRELL A. FISHER, PROFESSIONAL ENGINEER

BUILDERS	
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APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

David R. ... 12/19/12 DATE
Chief, Division of Land Development

... 12/18/12 DATE
Chief, Development Engineering Division

Director - Department of Planning and Zoning

PROJECT	SECTION	PARCEL NO. 10'
GTW'S WAVERLY WOODS	14	PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 65 & 80 THRU 165 & PHASES IV & V - UNITS 60 THRU 119, 153 THRU 161, 196 THRU 200, 237 THRU 239, 268 THRU 271, 282 THRU 285, & 290 THRU 320
PLAT 21427 - 21435 AND 22082 - 22089	BLOCK NO. 3 & 4	ZONE PSC
TAX/ZONE 16	ELEC. DIST. THIRD	CENSUS TR. 60300
WATER CODE K-02	SEWER CODE 5992000	

WETLAND AND FLOODPLAIN TABLES AND CURB RETURN PROFILES
AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS

SECTION 14

"THE COURTYARDS AT WAVERLY WOODS - WEST" PHASE II & III LOTS 5, 12 THRU 39, 44 THRU 65 & 80 THRU 165 & PHASES IV & V - UNITS 60 THRU 119, 153 THRU 161, 196 THRU 200, 237 THRU 239, 268 THRU 271, 282 THRU 285, & 290 THRU 320

TOWNHOUSE CONDOMINIUMS & SINGLE FAMILY HOMES
ZONING: PSC

TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: SEPTEMBER 28, 2012
SHEET 100 OF 100

NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-069 AND ADD GRIFFIN HALL	9/28/12
1	REV. PER ADDITION APPO PHASE 3 BLDGS & 5-06-13 PHASING TAB	3/24/10