

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2-16	SITE DEVELOPMENT PLAN
17-30	SEMENT/FOREIGN CONTROL PLAN FINAL GRADING FOR BASIN NO. 4 THRU 7
31	SEMENT/FOREIGN CONTROL PLAN NOTES AND DETAILS
32-33	SEMENT/FOREIGN CONTROL PLAN NOTES AND DETAILS
34-41	DRAINAGE AREA MAP/SOILS MAP
42-47	STORM DRAIN PROFILES
48-57	ROAD PROFILE
58-60	B.M.P. No. 2 - STORMWATER MANAGEMENT NOTES AND DETAILS
61-63	B.M.P. No. 3 - STORMWATER MANAGEMENT NOTES AND DETAILS
64-65	STONE RESERVOIR PROFILES
66	STREET TREE AND LANDSCAPE NOTES AND DETAILS
67-74	STREET TREE AND LANDSCAPE PLAN
75	RETAINING WALL PLAN AND CONSTRUCTION DETAILS
76	DEVELOPMENT CRITERIA
77-80	SOIL BORING SHEET
81-98	SEWER PROFILES
99	CURB RETURN PROFILES
100	WETLAND AND FLOODPLAIN TABLES AND CURB RETURN PROFILES

ROAD NAME	CLASSIFICATION	R/W WIDTH
BARNESLEY WAY	PRIVATE ACCESS STREET	N/A
SOPHIA CHASE DRIVE	PRIVATE ACCESS STREET	N/A
GENTLE ROLLING DRIVE	PRIVATE ACCESS STREET	N/A
EMMA STONE DRIVE	PRIVATE ACCESS STREET	N/A
GREAT ALEXANDER STREET	PRIVATE ACCESS STREET	N/A
ANDERSON HILL STREET	PRIVATE ACCESS STREET	N/A
WALKING JANELLE WAY	PRIVATE ACCESS STREET	N/A
IRVING GAMBLE ROAD	PRIVATE ACCESS STREET	N/A
NOAH FINN ROAD	PRIVATE ACCESS STREET	N/A

SITE DEVELOPMENT PLAN

GTW'S WAVERLY WOODS

SECTION 14

PHASES II, THRU V LOTS 5, 12 THRU 39, 44 THRU 86, 88 THRU 165, 172 THRU 231 & 240 THRU 369

"THE COURTYARDS AT WAVERLY WOODS - WEST" TOWNHOUSE & SINGLE FAMILY HOME

AGE RESTRICTED ADULT HOUSING

ZONED: P5C (PLANNED SENIOR COMMUNITY DISTRICT)

TAX MAP No. 16 GRID No. 3 & 4

PARCEL No. P/O 249

DEVELOPMENT CRITERIA

"THE COURTYARDS AT WAVERLY WOODS - WEST"

PLANNED SENIOR COMMUNITY

- MAXIMUM OF 350 HOUSING UNITS WILL BE SPECIALLY DESIGNED FOR RESIDENTS OVER THE AGE OF 55 WITH WALKING PATHS, SEATING AREAS AND RECREATIONAL AMENITIES ON A 151.30 ACRE BUILDING SITE.
- 35 MODERATE INCOME DWELLINGS ARE PLANNED.
- THE PROPOSED DENSITY OF THE HOUSING IS 8 UNITS PER ACRE.
- MAXIMUM OF 139 SINGLE FAMILY ATTACHED GARAGE VILLAS WILL BE CONSTRUCTED, WITH FIRST FLOOR MASTER BEDROOMS AND SECOND AND THIRD BEDROOMS UPSTAIRS.
- THE END UNITS OF THE VILAS WILL HAVE 2-CAR GARAGES.
- THE EXTERIOR WALLS OF BOTH THE SINGLE FAMILY ATTACHED GARAGE VILAS TOWNHOUSES AND TOWNHOUSES WILL BE ROCK AND/OR STONE AND HARDPLANK.
- ACCESS TO AND CIRCULATION WITHIN ALL OF THE BUILDINGS WILL BE WITHIN THE DESIGN CRITERIA OF THE AMERICANS WITH DISABILITIES ACT (ADA).
- THERE WILL BE A MEANDERING PATH THROUGH THE COMMUNITY.
- WAVERLY WOODS GOLF COURSE IS AVAILABLE TO THE RESIDENTS.
- A SHUTTLE SERVICE WILL TRANSPORT RESIDENTS TO MEDICAL AND OTHER SERVICES, AS NEEDED.
- VEHICULAR ACCESS INTO AND OFF OF THE SITE WILL BE THROUGH BARNESLEY WAY TO BE BUILT LEADING TO MARGOTVILLE ROAD.
- A 4400 SQUARE FOOT COMMUNITY BUILDING, CONTAINING A LIBRARY, EXERCISE ROOM, MEETINGS ROOMS AND OTHER ACTIVITY AREAS WILL BE BUILT IN PHASE III.
- THE EXTERIOR OF THE COMMUNITY BUILDING WILL BE THE SAME STONE AS THE TOWNHOUSES AND TOWNHOUSES WILL BE 55 YEARS OF AGE OR OLDER.
- PERSONS ELIGIBLE TO PURCHASE ANY OF THE DWELLINGS MUST BE 55 YEARS OF AGE OR OLDER.
- CHILDREN UNDER THE AGE OF 18 MAY NOT RESIDE IN A DWELLING FOR MORE THAN 90 DAYS IN A CALENDAR YEAR.

"THE COURTYARDS AT WAVERLY WOODS - WEST"

TOWNHOUSE & SINGLE FAMILY HOME

AGE RESTRICTED ADULT HOUSING

ZONED: P5C (PLANNED SENIOR COMMUNITY DISTRICT)

TAX MAP No. 16 GRID No. 3 & 4

PARCEL No. P/O 249

GENERAL NOTES CONTINUED

50. PLAT SUBJECT TO LETTER DATED JANUARY 31, 2011 EXTENDING THE MILESTONE DEADLINE DATE BETWEEN 07/01/10 AND 01/01/11 UNTIL BETWEEN 07/01/11 AND 01/01/12 TO SUBMIT THE REDLINE REVISION SITE DEVELOPMENT PLAN (SDP-09-09) FOR APPROVING.

PHASE	# UNITS	MIHUS REQUIRED	MIHUS PROVIDED
PHASE I 10 UNITS	1	1	1
PHASE II 50 UNITS	5	5	5
PHASE III 100 UNITS	10	10	10
PHASE IV 100 UNITS	10	10	10
PHASE V 90 UNITS	9	9	9
TOTAL MIHUS	35	35	35

A. TOTAL NO. OF MIHUS REQUIRED = 350 UNITS X 1 MIHUS/10 UNITS = 35
 B. TOTAL NO. OF MIHUS PROVIDED = 35 UNITS PER 28 CASE NO. 1027M AND 28 CASE NO. 381. THE REQUIRED MIHUS ARE PROVIDED UNDER SDP-04-60 "WAVERLY GARDENS" IN THE 102 UNIT BUILDING.
 1. PHASE I SDP 09-09-037 1 MIHUS TRANSFERRED TO SDP 04-60 "WAVERLY GARDENS"
 2. PHASES 2-5 SDP 09-09-039 34 MIHUS TRANSFERRED TO SDP 04-60 "WAVERLY GARDENS"

NOTE: WAVERLY GARDENS AGREEMENT RECORDED IN LAND RECORDS LIBER 9988 FOLIO 001
 51. LOTS 3 THRU 64 (F-10-1133) PLAT NOS. 21427 - 21435
 LOTS 65 THRU 67 (F-10-0793) PLAT NOS. 21943 - 21950
 LOTS 88 THRU 171 (F-10-089) PLAT NOS. 22026 - 22089
 LOTS 172 THRU 237 (F-10-1011) PLAT NOS. 22268 - 22333
 LOTS 240 THRU 376 (F-14-1111) PLAT NOS. 22921 - 22928

GENERAL NOTES

- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF HIGHWAYS/CONSTRUCTION INSPECTION DIVISION AT 410-313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE ON.
- ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
- SUBJECT PROPERTY IS ZONED P5C PER ZONING COMPREHENSIVE ZONING PLAN AMENDMENTS DATED 07/20/06.
- THIS PLAN IS IN COMPLIANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS PER COUNCIL BILL 45-2003 AND THE ZONING REGULATIONS AS AMENDED BY COUNCIL BILL 75-2003. DEVELOPMENT OR CONSTRUCTION ON THESE LOTS MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, WHICH MAY BE DIFFERENT FROM THE ZONING REGULATIONS DATED JULY 28, 2006.
- IN ACCORDANCE WITH SECTION 129 OF THE HOWARD COUNTY ZONING REGULATIONS, ANY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY PUBLIC OR PRIVATE RIGHT-OF-WAY PROVIDED THAT NO MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK (APPLIES TO RESIDENTIAL USE).
- NO GRADING, REMOVAL OF VEGETATION OR TREES, PRUNING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAMS, BUFFERS, FOREST CONSERVATION DESIGNATED AREAS AND 100 YEAR FLOODPLAINS.
- DRIVEWAYS SHALL BE PROVIDED TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ALL NEW DWELLINGS TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING REQUIREMENTS:
 WIDTH - 12'6" SERVING MORE THAN ONE RESIDENCE;
 SURFACE - 1" COMPACTED CROUCHER RUN BASE W/1/4" AND CHIP COATING (11-172)H.M.I.;
 GEOMETRY - MAX. 15% GRADE, MAX. 10% GRADE CHANGE AND MIN. 45' TURNING RADIUS;
 STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (NET LOADING);
 DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.

- THE PREVIOUS WETLANDS REPORT PREPARED BY ENVIRONMENTAL SYSTEMS ANALYSIS, INC. AND APPROVED WITH 5-94-07 ON NOVEMBER 30, 1993 HAS BEEN RE-CERTIFIED UNDER THIS PLAN BY ECO-SCIENCE PROFESSIONALS, INC. DATED APRIL 2006 AND APPROVED WITH 5-06-013 ON JANUARY 17, 2008.
- THE NOISE STUDY FOR THIS PROJECT WAS PREPARED BY MAGES GROUP LATED MAY, 2008 AND APPROVED UNDER THE 5-06-013 PLAN DATED JANUARY 17, 2008. A REVISED NOISE STUDY WAS PREPARED BY MAGES GROUP LATED MAY, 2008 AND APPROVED UNDER F-08-010 ON DECEMBER 1, 2008. THE 65 DBA NOISE CONTOUR LINE DRAWN ON THIS PLAN IS ADVISED AS REQUIRED BY THE HOWARD COUNTY DESIGN MANUAL, CHAPTER 5, REVISED FEBRUARY, 1998 AND CANNOT BE CONSIDERED TO EXACTLY PREDICT THE DBA NOISE EXPOSURE. THE 65 DBA NOISE LINE WAS ESTABLISHED BY HOWARD COUNTY TO ALLOW FOR UNUSUAL SITUATIONS AND FUTURE RESIDENTS THAT ARE BEYOND THIS THRESHOLD MAY EXCEED GENERALLY ACCEPTED NOISE LEVELS ESTABLISHED BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT.
- A PUBLIC 100 YEAR FLOOD PLAN STUDY WAS PREPARED BY HILDENBERG-BOEDER ASSOCIATES AND APPROVED UNDER 5-94-07. A REVISION TO THAT FLOODPLAIN STUDY WAS PREPARED BY FISHER, COLLINS & CARTER, INC. AND APPROVED UNDER 5-06-15 ON JANUARY 17, 2008 AND UNDER F-08-010 ON DECEMBER 1, 2008.
- A TRAFFIC STUDY WAS PREPARED BY FISHER, COLLINS & CARTER, INC. AND APPROVED ON JULY 14, 1994 AS PART OF 5-41-07 AND APPROVED UNDER 5-13-07 ON JANUARY 17, 2008.
- FOREST STAND DELINEATION PLAN WAS PREPARED BY ENVIRONMENTAL SYSTEMS ANALYSIS, INC. AND APPROVED UNDER 5-94-07 ON NOVEMBER 30, 1993.
- SOLS INFORMATION TAKEN FROM SOLS MAP NO. 17, SOL SURVEY, HOWARD COUNTY, MARYLAND, JULY, 1968 ISSUE. THE SOLS INVESTIGATION REPORT WAS PREPARED BY I.T.E., INC. ON JUNE 28, 1994.
- TORONADO HAZARD INFORMATION SHOWN HEREON IS BASED ON AERIAL PHOTOGRAPHIC CONTROL MAPPING PROVIDED BY HARTFORD AERIALS ON OR ABOUT NOVEMBER 2000 AND SUPPLEMENTED BY FISHER, COLLINS & CARTER, INC.
- GROUNDWATER UTILITY INFORMATION SHOWN HEREON WAS PERFORMED BY FISHER, COLLINS & CARTER, INC. ON OR ABOUT AUGUST, 1990.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL, WHICH IS BASED UPON MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY CONTROL STATIONS 1012 AND 1661 WERE USED FOR THIS PROJECT:
 HOWARD COUNTY MONUMENT 1012 E 1345336.7500
 N 601662.177
 HOWARD COUNTY MONUMENT 1661 E 1340192.1110
 N 625282.822

- THESE ARE NO LOCATIONS COLOCATED ON THIS SITE.
- THE PROPERTY SHOWN IS BASED ON THE METROLOGICAL DISTRICT.
- THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.2000 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT. HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE FOREST CONSERVATION EASEMENT ARE ALLOWED. THE TOTAL FOREST CONSERVATION OBLIGATION FOR THE COURTYARDS AT WAVERLY WOODS - WEST HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SUBJECT RELATED TO APPO PHASE II FOR THE 49 REQUIRED INTERNAL LANDSCAPE TREES, 8 REQUIRED PARKING LANDSCAPE TREES, 32 REQUIRED PERIMETER LANDSCAPE TREES, 49 REQUIRED SHM LANDSCAPE TREES AND THE REQUIRED 73 PRIVATE ROAD STREET TREES HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$48,000.00.
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- A PUBLIC 100 YEAR FLOOD PLAN STUDY WAS PREPARED BY HILDENBERG-BOEDER ASSOCIATES AND APPROVED UNDER 5-94-07. A REVISION TO THAT FLOODPLAIN STUDY WAS PREPARED BY FISHER, COLLINS & CARTER, INC. AND APPROVED UNDER 5-06-15 ON JANUARY 17, 2008 AND UNDER F-08-010 ON DECEMBER 1, 2008.
- A TRAFFIC STUDY WAS PREPARED BY FISHER, COLLINS & CARTER, INC. AND APPROVED ON JULY 14, 1994 AS PART OF 5-41-07 AND APPROVED UNDER 5-13-07 ON JANUARY 17, 2008.
- FOREST STAND DELINEATION PLAN WAS PREPARED BY ENVIRONMENTAL SYSTEMS ANALYSIS, INC. AND APPROVED UNDER 5-94-07 ON NOVEMBER 30, 1993.
- SOLS INFORMATION TAKEN FROM SOLS MAP NO. 17, SOL SURVEY, HOWARD COUNTY, MARYLAND, JULY, 1968 ISSUE. THE SOLS INVESTIGATION REPORT WAS PREPARED BY I.T.E., INC. ON JUNE 28, 1994.
- TORONADO HAZARD INFORMATION SHOWN HEREON IS BASED ON AERIAL PHOTOGRAPHIC CONTROL MAPPING PROVIDED BY HARTFORD AERIALS ON OR ABOUT NOVEMBER 2000 AND SUPPLEMENTED BY FISHER, COLLINS & CARTER, INC.
- GROUNDWATER UTILITY INFORMATION SHOWN HEREON WAS PERFORMED BY FISHER, COLLINS & CARTER, INC. ON OR ABOUT AUGUST, 1990.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL, WHICH IS BASED UPON MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY CONTROL STATIONS 1012 AND 1661 WERE USED FOR THIS PROJECT:
 HOWARD COUNTY MONUMENT 1012 E 1345336.7500
 N 601662.177
 HOWARD COUNTY MONUMENT 1661 E 1340192.1110
 N 625282.822

- THESE ARE NO LOCATIONS COLOCATED ON THIS SITE.
- THE PROPERTY SHOWN IS BASED ON THE METROLOGICAL DISTRICT.
- THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.2000 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT. HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE FOREST CONSERVATION EASEMENT ARE ALLOWED. THE TOTAL FOREST CONSERVATION OBLIGATION FOR THE COURTYARDS AT WAVERLY WOODS - WEST HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SUBJECT RELATED TO APPO PHASE II FOR THE 49 REQUIRED INTERNAL LANDSCAPE TREES, 8 REQUIRED PARKING LANDSCAPE TREES, 32 REQUIRED PERIMETER LANDSCAPE TREES, 49 REQUIRED SHM LANDSCAPE TREES AND THE REQUIRED 73 PRIVATE ROAD STREET TREES HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$48,000.00.
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 HOWARD COUNTY MONUMENT 1012 E 1345336.7500
 N 601662.177
 HOWARD COUNTY MONUMENT 1661 E 1340192.11



SEE L.O.D. ON SEDIMENT EROSION CONTROL PLAN ON SHEET 17

SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
•	SPOT ELEVATION
---	WALKOUT BASEMENT
---	SILT FENCE
---	SUPER SILT FENCE
---	EROSION CONTROL MATTING
---	LIMIT OF DISTURBANCE
---	UNMITIGATED 65DBA NOISE LINE
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED SEWER
---	15% TO 24.9% Slope
---	EXISTING LANDSCAPING PER F-09-057
---	EXISTING STREET TREES PER F-09-057
---	REVERSE GRITTED PAV. SLOPE
---	EXISTING STORMDRAIN
---	EXISTING SEWER
---	EXISTING WATER
---	EXISTING WATER & SEWER UTILITY EASEMENT
---	EXISTING STREET TREES PER SDP-09-037
---	EXISTING LANDSCAPING PER SDP-09-037
---	FOREST CONSERVATION
---	FOREST CONSERVATION PLANTING
---	COMBINATION SUPER SILT FENCE AND TREE PROTECTION
---	55F
---	SUPER SILT FENCE

Q CURVE DATA

ROAD NAME	STATION TO STATION	RADIUS	LENGTH	DELTA	TANGENT	NORTHING & EASTING
EX. ADAM DAVID WAY	STA. 0+00.00 TO STA. 2+28.67	R=500.00'	L=282.2'	Δ=18°39'07"	TAN=81.81	CHORD=514'11"W 161.48'
EX. ADAM DAVID WAY	STA. 2+28.67 TO STA. 4+50.02	R=500.00'	L=221.4'	Δ=25°21'55"	TAN=112.52	CHORD=390'05"W 239.55'
EX. ADAM DAVID WAY	STA. 4+50.02 TO STA. 7+30.87	R=500.00'	L=287.0'	Δ=17°27'33"	TAN=50.17	CHORD=526'02"W 194.83'
EX. ADAM DAVID WAY	STA. 7+30.87 TO STA. 9+45.75	R=450.00'	L=219.3'	Δ=41°52'22"	TAN=100.09	CHORD=384'13"W 225.07'
EX. ADAM DAVID WAY	STA. 9+45.75 TO STA. 11-30.05	R=450.00'	L=180.0'	Δ=41°52'22"	TAN=56.66	CHORD=365'94"W 105.69'
BARNSLEY WAY	STA. 1+57.09 TO STA. 2+60.45	R=550.00'	L=111.4'	Δ=11°30'03"	TAN=55.87	CHORD=380'17"W 111.7'
BARNSLEY WAY	STA. 2+60.45 TO STA. 4+09.32	R=270.00'	L=287.7'	Δ=61°02'37"	TAN=159.18	CHORD=463'34"W 274.25'
BARNSLEY WAY	STA. 4+09.32 TO STA. 11+49.06	R=350.00'	L=497.9'	Δ=48°46'21"	TAN=386.67	CHORD=689'53"W 299.02'
BARNSLEY WAY	STA. 11+49.06 TO STA. 12+72.91	R=300.00'	L=182.8'	Δ=23°39'11"	TAN=82.82	CHORD=363'18"W 225.07'
BARNSLEY WAY	STA. 12+72.91 TO STA. 17+92.77	R=170.00'	L=263.0'	Δ=68°39'05"	TAN=166.04	CHORD=462'10"W 237.57'
BARNSLEY WAY	STA. 17+92.77 TO STA. 18+98.47	R=400.00'	L=105.7'	Δ=05°08'28"	TAN=53.16	CHORD=389'02"W 105.39'
SOPHIA CHASE DRIVE	STA. 0+00.00 TO STA. 7+67.17	R=305.00'	L=731.2'	Δ=137°21'04"	TAN=781.30	CHORD=1054'22"W 568.24'
SOPHIA CHASE DRIVE	STA. 7+67.17 TO STA. 10+10.02	R=275.00'	L=290.6'	Δ=39°42'54"	TAN=99.32	CHORD=465'30"W 186.83'
SOPHIA CHASE DRIVE	STA. 10+10.02 TO STA. 13+08.57	R=275.00'	L=295.5'	Δ=37°14'37"	TAN=137.83	CHORD=482'47"W 245.47'
SOPHIA CHASE DRIVE	STA. 13+08.57 TO STA. 15+34.56	R=225.00'	L=228.4'	Δ=58°09'34"	TAN=125.13	CHORD=401'14"W 208.71'
SOPHIA CHASE DRIVE	STA. 15+34.56 TO STA. 20+60.30	R=65.00'	L=133.1'	Δ=17°23'11"	TAN=106.88	CHORD=282'21"W 110.07'
SOPHIA CHASE DRIVE	STA. 20+60.30 TO STA. 27+42.82	R=142.27'	L=449.1'	Δ=80°00'00"	TAN=INFINITE	CHORD=502'56"W 285.93'
SOPHIA CHASE DRIVE	STA. 27+42.82 TO STA. 30+13.91	R=105.2'	L=272.31'	Δ=27°23'11"	TAN=53.60	CHORD=375'29"W 104.85'
GENTLE ROLLING DRIVE	STA. 0+00.00 TO STA. 2+84.41	R=450.00'	L=294.2'	Δ=41°52'22"	TAN=100.09	CHORD=384'13"W 225.07'
GENTLE ROLLING DRIVE	STA. 2+84.41 TO STA. 16+73.41	R=439.79'	L=439.2'	Δ=80°00'00"	TAN=INFINITE	CHORD=603'09"W 279.59'
GENTLE ROLLING DRIVE	STA. 16+73.41 TO STA. 22+07.15	R=250.00'	L=202.1'	Δ=46°19'03"	TAN=106.94	CHORD=363'40"W 196.64'
EMMA STONE DRIVE	STA. 0+00.00 TO STA. 1+55.88	R=100.00'	L=100.9'	Δ=05°15'15"	TAN=50.47	CHORD=179'29"W 100.84'
EMMA STONE DRIVE	STA. 1+55.88 TO STA. 6+21.88	R=130.00'	L=204.2'	Δ=49°00'00"	TAN=130.00	CHORD=324'47"W 183.89'
EMMA STONE DRIVE	STA. 6+21.88 TO STA. 14+39.91	R=400.00'	L=381.7'	Δ=80°00'00"	TAN=INFINITE	CHORD=574'47"W 243.00'
GREAT ALEXANDER ST.	STA. 0+31.15 TO STA. 1+11.36	R=100.00'	L=78.2'	Δ=04°28'28"	TAN=39.13	CHORD=100'52"W 78.15'
ANDERSON HILL STREET	STA. 0+13.49 TO STA. 0+17.70	R=130.00'	L=204.2'	Δ=49°00'00"	TAN=130.00	CHORD=324'47"W 183.89'
ANDERSON HILL STREET	STA. 11+28.10 TO STA. 13+32.30	R=130.00'	L=204.2'	Δ=49°00'00"	TAN=130.00	CHORD=324'47"W 183.89'

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10722 BALTIMORE NATIONAL FRIE
 ELLICOTT CITY, MARYLAND 21042
 410-461-2905

NO.	REVISION	DATE
10	REV. TO ADD FEE SIMPLE LOTS PER F-14-111 & ADD PHASE V TO ROR 09-039	10/24/14
9	REV. TO ADD FEE SIMPLE LOTS PER F-19-101	12/17/13
8	Rev. grad. Lots 20-24 to show As-Built Cond.	7-15-13
7	Rev. grad. Rear of Lots 12-17 to show Ex. Conditions	9-11-12
6	Flip Units 20-33 to show Ex. Conditions	8-7-12
5	Rev. Title Block, Add lot 65-66 to s.s. Lot 67	6-20-12
4	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFON HALL	9/29/11
3	REV. PER ADDITION OF APPO PHASE 4 BLDGS & 5-06-13 PHASING TAB AND ADJUSTMENTS ASSOCIATED WITH INTERIOR TOWNHOUSE UNIT.	12/19/11
2	REV. TO ADD FEE SIMPLE LOTS PER F-10-113	1/12/11
1	REV. PER ADDITION OF APPO PHASE 3 BLDGS & 5-06-13 PHASING TAB	3/24/10

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/31/14.

Michael A. Fisher 12/14/12
 MICHAEL A. FISHER, PROFESSIONAL ENGINEER DATE

AS-BUILT CERTIFICATION
 Note: There is no "AS BUILT" information provided on this sheet.
Charles J. Sorenson 11/6/18
 CHARLES J. SORENSON, PE, NO. 17104 DATE

BUILDERS
 NV HOMES 6095 MARSHALLEE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-5956
 RYAN HOMES 6085 MARSHALLEE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956

DEVELOPER
 WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 443-367-0422

OWNERS
 WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Victor S. Deane 12/19/12
 Chief, Division of Land Development DATE

Michael A. Fisher 12/19/12
 Chief, Development Engineering Division DATE

David M. Taylor 12/19/12
 Director - Department of Planning and Zoning DATE

PROJECT: GTW'S WAVERLY WOODS SECTION: 14 PARCEL NO. "E" PHASE II, 400' x 1,000' (M-D-50-00-105, 112-00-1 & 112-00-2)

PLAT: SEE BENEATH NOTE #811 BLOCK NO. 3 & 4 ZONE: PSC TAX/ZONE: 16 ELEC. DIST.: THIRD CENSUS TR.: 60300

WATER CODE: K-02 SEWER CODE: 99900000

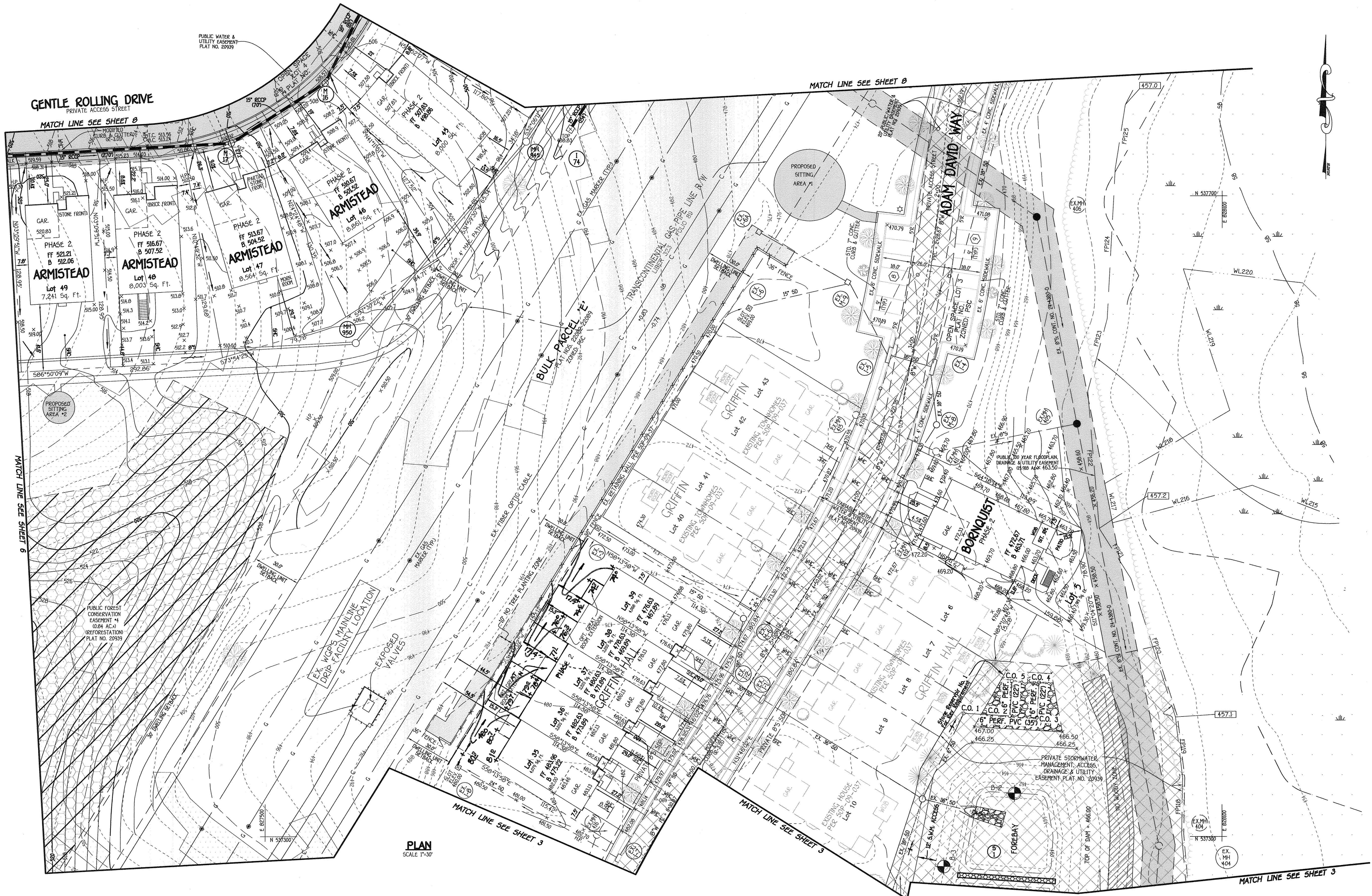
REVISED SITE DEVELOPMENT PLAN

AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
 SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASE II, TRU V LOTS 3, 12 THRU 33, 44 THRU 66, 88 THRU 109, 112 THRU 131 & 240 THRU 300 TOWNHOUSES & SINGLE FAMILY HOMES

ZONING: PSC
 TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: DECEMBER, 2013 SHEET 3 OF 100

SDP-09-039

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET



LEGEND	
(Symbol)	DESCRIPTION
(Symbol)	EXISTING CONTOUR 2' INTERVAL
(Symbol)	PROPOSED CONTOUR 2' INTERVAL
(Symbol)	SPOT ELEVATION
(Symbol)	WALKOUT BASEMENT
(Symbol)	SILT FENCE
(Symbol)	SUPER SILT FENCE
(Symbol)	EROSION CONTROL MATTING
(Symbol)	LIMIT OF DISTURBANCE
(Symbol)	STREET LIGHT PER F-09-057
(Symbol)	UNLIMITED 508A NOISE LINE
(Symbol)	PROPOSED STORM DRAIN PIPE
(Symbol)	PROPOSED SEWER
(Symbol)	1% TO 24.9% Slope
(Symbol)	EXISTING LANDSCAPING PER F-09-057
(Symbol)	EXISTING STREET TREES PER F-09-057
(Symbol)	REVERSE GUTTER PAN SLOPE
(Symbol)	EXISTING STORMDRAIN
(Symbol)	EXISTING SEWER
(Symbol)	EXISTING WATER
(Symbol)	EXISTING WATER & SEWER UTILITY EASEMENT
(Symbol)	EXISTING STREET TREES PER SOP-09-037
(Symbol)	EXISTING LANDSCAPING PER SOP-09-037
(Symbol)	FOREST CONSERVATION
(Symbol)	FOREST CONSERVATION PLANTING
(Symbol)	COMBINATION SUPER SILT FENCE AND TREE PROTECTION
(Symbol)	SUPER SILT FENCE

SEE L.O.D. ON SEDIMENT EROSION CONTROL PLAN ON SHEET 19

PLAN SCALE 1"=30'

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL FREE
 ELICOTT CITY, MARYLAND 21042
 410.461.2995



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/31/14.
 Terrell A. Fisher, PROFESSIONAL ENGINEER
 11/17/12 DATE

AS-BUILT CERTIFICATION
 Note: There is no "AS BUILT" information provided on this sheet.
 Charles J. Griffin, Jr. 11/16/12 DATE

BUILDERS	
NV HOMES 6085 MARSHALLEE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-5956	RYAN HOMES 6085 MARSHALLEE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956
DEVELOPER	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5222 DORSEY HALL DRIVE, SUITE 102 ELICOTT CITY, MARYLAND 21042 443-367-0422	
OWNERS	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELICOTT CITY, MARYLAND 21042 443-367-0422	

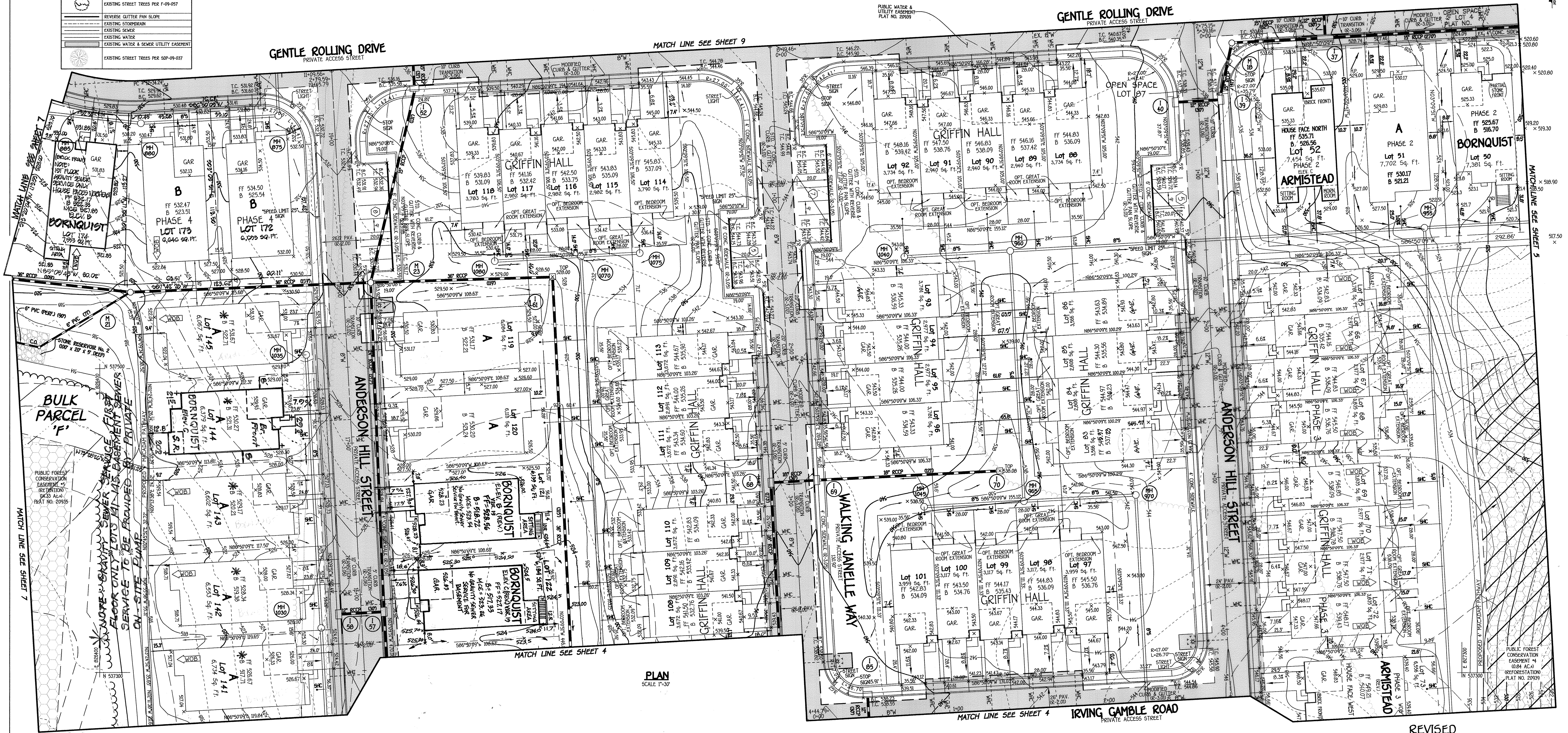
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING					
K. J. [Signature]		12/19/12		Date	
Chief, Division of Land Development					
[Signature]		12/19/12		Date	
Chief, Development Engineering Division					
[Signature]		12/19/12		Date	
Director - Department of Planning and Zoning					
PROJECT GTW'S WAVERLY WOODS			SECTION 14		
PLAT PER GENERAL NOTE #91			PARCEL NO. 'E' PHASE 2, LOTS 35-44		
BLOCK NO. 3 & 4		ZONE PSC		ELEC. DIST. THIRD	
WATER CODE K-02		SEWER CODE 5992000		CENSUS TR. 60300	

REVISED SITE DEVELOPMENT PLAN
AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
 SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 TOWNHOUSE & SINGLE FAMILY HOMES
 PHASE 2, LOTS 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 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645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000, 1001, 1002, 1003, 1004, 1005, 1006, 1007, 1008, 1009, 1010, 1011, 1012, 1013, 1014, 1015, 1016, 1017, 1018, 1019, 1020, 1021, 1022, 1023, 1024, 1025, 1026, 1027, 1028, 1029, 1030, 1031, 1032, 1033, 1034, 1035, 1036, 1037, 1038, 1039, 1040, 1041, 1042, 1043, 1044, 1045, 1046, 1047, 1048, 1049, 1050, 1051, 1052, 1053, 1054, 1055, 1056, 1057, 1058, 1059, 1060, 1061, 1062, 1063, 1064, 1065, 1066, 1067, 1068, 1069, 1070, 1071, 1072, 1073, 1074, 1075, 1076, 1077, 1078, 1079, 1080, 1081, 1082, 1083, 1084, 1085, 1086, 1087, 1088, 1089, 1090, 1091, 1092, 1093, 1094, 1095, 1096, 1097, 1098, 1099, 1100, 1101, 1102, 1103, 1104, 1105, 1106, 1107, 1108, 1109, 1110, 1111, 1112, 1113, 1114, 1115, 1116, 1117, 1118, 1119, 1120, 1121, 1122, 1123, 1124, 1125, 1126, 1127, 1128, 1129, 1130, 1131, 1132, 1133, 1134, 1135, 1136, 1137, 1138, 1139, 1140, 1141, 1142, 1143, 1144, 1145, 1146, 1147, 1148, 1149, 1150, 1151, 1152, 1153, 1154, 1155, 1156, 1157, 1158, 1159, 1160, 1161, 1162, 1163, 1164, 1165, 1166, 1167, 1168, 1169, 1170, 1171, 1172, 1173, 1174, 1175, 1176, 1177, 1178, 1179, 1180, 1181, 1182, 1183, 1184, 1185, 1186, 1187, 1188, 1189, 1190, 1191, 1192, 1193, 1194, 1195, 1196, 1197, 1198, 1199, 1200, 1201, 1202, 1203, 1204, 1205, 1206, 1207, 1208, 1209, 1210, 1211, 1212, 1213, 1214, 1215, 1216, 1217, 1218, 1219, 1220, 1221, 1222, 1223, 1224, 1225, 1226, 1227, 1228, 1229, 1230, 1231, 1232, 1233, 1234, 1235, 1236, 1237, 1238, 1239, 1240, 1241, 1242, 1243, 1244, 1245, 1246, 1247, 1248, 1249, 1250, 1251, 1252, 1253, 1254, 1255, 1256, 1257, 1258, 1259, 1260, 1261, 1262, 1263, 1264, 1265, 1266, 1267, 1268, 1269, 1270, 1271, 1272, 1273, 1274, 1275, 1276, 1277, 1278, 1279, 1280, 1281, 1282, 1283, 1284, 1285, 1286, 1287, 1288, 1289, 1290, 1291, 1292, 1293, 1294, 1295, 1296, 1297, 1298, 1299, 1300, 1301, 1302, 1303, 1304, 1305, 1306, 1307, 1308, 1309, 1310, 1311, 1312, 1313, 1314, 1315, 1316, 1317, 1318, 1319, 1320, 1321, 1322, 1323, 1324, 1325, 1326, 1327, 1328, 1329, 1330, 1331, 1332, 1333, 1334, 1335, 1336, 1337, 1338, 1339, 1340, 1341, 1342, 1343, 1344, 1345, 1346, 1347, 1348, 1349, 1350, 1351, 1352, 1353, 1354, 1355, 1356, 1357, 1358, 1359, 1360, 1361, 1362, 1363, 1364, 1365, 1366, 1367, 1368, 1369, 1370, 1371, 1372, 1373, 1374, 1375, 1376, 1377, 1378, 1379, 1380, 1381, 1382, 1383, 1384, 1385, 1386, 1387, 1388, 1389, 1390, 1391, 1392, 1393, 1394, 1395, 1396, 1397, 1398, 1399, 1400, 1401, 1402, 1403, 1404, 1405, 1406, 1407, 1408, 1409, 1410, 1411, 1412, 1413, 1414, 1415, 1416, 1417, 1418, 1419, 1420, 1421, 1422, 1423, 1424, 1425, 1426, 1427, 1428, 1429, 1430, 1431, 1432, 1433, 1434, 1435, 1436, 1437, 1438, 1439, 1440, 1441, 1442, 1443, 1444, 1445, 1446, 1447, 1448, 1449, 1450, 1451, 1452, 1453, 1454, 1455, 1456, 1457, 1458, 1459, 1460, 1461, 1462, 1463, 1464, 1465, 1466, 1467, 1468, 1469, 1470, 1471, 1472, 1473, 1474, 1475, 1476, 1477, 1478, 1479, 1480, 1481, 1482, 1483, 1484, 1485, 1486, 1487, 1488, 1489, 1490, 1491, 1492, 1493, 1494, 1495, 1496, 1497, 1498, 1499, 1500, 1501, 1502, 1503, 1504, 1505, 1506, 1507, 1508, 1509, 1510, 1511, 1512, 1513, 1514, 1515, 1516, 1517, 1518, 1519, 1520, 1521, 1522, 1523, 1524, 1525, 1526, 1527, 1528, 1529, 1530, 1531, 1532, 1533, 1534, 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1701, 1702, 1703, 1704, 1705, 1706, 1707, 1708, 1709, 1710, 1711, 1712, 1713, 1714, 1715, 1716, 1717, 1718, 1719, 1720, 1721, 1722, 1723, 1724, 1725, 1726, 1727, 1728, 1729, 1730, 1731, 1732, 1733, 1734, 1735, 1736, 1737, 1738, 1739, 1740, 1741, 1742, 1743, 1744, 1745, 1746, 1747, 1748, 1749, 1750, 1751, 1752, 1753, 1754, 1755, 1756, 1757, 1758, 1759, 1760, 1761, 1762, 1763, 1764, 1765, 1766, 1767, 1768, 1769, 1770, 1771, 1772, 1773, 1774, 1775, 1776, 1777, 1778, 1779, 1780, 1781, 1782, 1783, 1784, 1785, 1786, 1787, 1788, 1789, 1790, 1791, 1792, 1793, 1794, 1795, 1796, 1797, 1798, 1799, 1800, 1801, 1802, 1803, 1804, 1805, 1806, 1807, 1808, 1809, 1810, 1811, 1812, 1813, 1814, 1815, 1816, 1817, 1818, 1819, 1820, 1821, 1822, 1823, 1824, 1825, 1826, 1827, 1828, 1829, 1830, 1831, 1832, 1833, 1834, 1835, 1836, 1837, 1838, 1839, 1840, 1841, 1842, 1843, 1844, 1845, 1846, 1847, 1848, 1849, 1850, 1851, 1852, 1853,

LEGEND	
SYMBOL	DESCRIPTION
(Symbol)	EXISTING CONTOUR 2' INTERVAL
(Symbol)	PROPOSED CONTOUR 2' INTERVAL
(Symbol)	SPOT ELEVATION
(Symbol)	WALKOUT EASEMENT
(Symbol)	SILT FENCE
(Symbol)	SUPER SILT FENCE
(Symbol)	EROSION CONTROL MATTING
(Symbol)	LIMIT OF DISTURBANCE
(Symbol)	STREET LIGHT PER F-09-097
(Symbol)	UNMITIGATED 65DBA NOISE LINE
(Symbol)	PROPOSED STORM DRAIN PIPE
(Symbol)	PROPOSED SEWER
(Symbol)	1% TO 24.9% Slope
(Symbol)	EXISTING LANDSCAPING PER F-09-097
(Symbol)	EXISTING STREET TREES PER F-09-097
(Symbol)	REVERSE GUTTER PAN SLOPE
(Symbol)	EXISTING STORMDRAIN
(Symbol)	EXISTING SEWER
(Symbol)	EXISTING WATER
(Symbol)	EXISTING WATER & SEWER UTILITY EASEMENT
(Symbol)	EXISTING STREET TREES PER 50P-09-037

LEGEND	
SYMBOL	DESCRIPTION
(Symbol)	EXISTING LANDSCAPING PER 50P-09-037
(Symbol)	FOREST CONSERVATION
(Symbol)	FOREST CONSERVATION PLANTING
(Symbol)	56F/TP COMBINATION SUPER SILT FENCE AND TREE PROTECTION
(Symbol)	55F SUPER SILT FENCE

SEE L.O.D. ON SEDIMENT EROSION CONTROL PLAN ON SHEET 20



PLAN SCALE 1"=30'

NO.	REVISION	DATE
10	REV. TO ADD SEE SIMPLE LOTS PER F-14-111 & ADD PHASE V TO 99P-09-039	10/31/14
11	REV. LOT 122 TO BORNQUIST, E.L.C	6/17/14
10	REV. LOT 121 TO BORNQUIST E.L.C, VER 19 & ASSOC. GRADING	4/17/14
9	REV. TO ADD SEE SIMPLE LOTS PER F-19-101	12/17/13
8	REV. hse. of 144	7-2-13
7	REV. TO ADD SEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	3/28/12
6	REV. HSE. & GRD. LOT 52, FROM ARMISTEAD TO BORNQUIST	5/23/12
5	REV. TITLE BLOCK ADDED LOTS 65-86 & O.S. LOT 87	6/20/12
4	REV. PER ADDITION AFO PHASE 4 BLDGS & 5-06-13 PHASING TAB AND ADJUSTMENTS ASSOCIATED WITH INTERIOR TOWNHOUSE UNIT.	12/19/11
3	REV. GRDS. LOT 50, TO SHOW ASBUILT CONDITIONS	3/27/12
2	REV. TO ADD SEE SIMPLE LOTS PER F-10-113	1/27/11
1	REV. PER ADDITION AFO PHASE 3 BLDGS & 5-06-13 PHASING TAB	3/24/10

NO.	REVISION	DATE
1	REV. PER ADDITION AFO PHASE 3 BLDGS & 5-06-13 PHASING TAB	3/24/10

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/3/14.

Terrell A. Fisher 12/11/12
 TERRELL A. FISHER, PROFESSIONAL ENGINEER
 DATE

BUILT CERTIFICATION
 Note: There is no "AS BUILT" information provided on this sheet.
Charles J. DeWitt 11/6/12
 CHARLES J. DEWITT, PE NO. 19204 Date

BUILDERS	
NV HOMES 6085 MARSHALLEE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-5956	RYAN HOMES 6085 MARSHALLEE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956
DEVELOPER	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-367-0422	
OWNERS	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-367-0422	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING					
<i>Kate Schindler</i> Chief, Division of Land Development	<i>12/19/12</i> Date				
<i>David A. Wampler</i> Chief, Development Engineering Division	<i>12/19/12</i> Date				
Director - Department of Planning and Zoning					
PROJECT GTW'S WAVERLY WOODS	SECTION 14	PARCEL NO. 'E' 109 & 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000			
PLAT SEE GENERAL NOTE #91	BLOCK NO. 3 & 4	ZONE PSC	TAX/ZONE 16	ELEC. DIST. THIRD	CENSUS TR. 60300
WATER CODE K-02	SEWER CODE 5992000				

REVISED

SITE DEVELOPMENT PLAN
AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
 SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASES 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 9

S:\SDSK\PROJ\30770 GTW WEST\dwg\Construction Documents\Redline Phase 4 Fee Simple\REVISED Construction Document - 30770 Sdp Phase Two Thru 4 with 60 Fee Simple lots.dwg, Sheet 7, 1/8/2014 4:30:01 PM, 1:1



LEGEND	
SYMBOL	DESCRIPTION
(---)	EXISTING CONTOUR 2' INTERVAL
(---)	PROPOSED CONTOUR 2' INTERVAL
(•)	SPOT ELEVATION
(---)	WALKOUT BASEMENT
(---)	SILT FENCE
(---)	SUPER SILT FENCE
(---)	EROSION CONTROL MATTING
(---)	LIMIT OF DISTURBANCE
(•)	STREET LIGHT PER F-09-057
(---)	UNTREATED 600A NOISE LINE
(---)	PROPOSED STORM SEWER PIPE
(---)	PROPOSED SEWER
(---)	1% to 24.9% Slope
(•)	EXISTING LANDSCAPING PER F-09-057
(•)	EXISTING STREET TREES PER F-09-057
(---)	REVERSE CUTTER PAN SLOPE
(---)	EXISTING STORMDRAIN
(---)	EXISTING SEWER
(---)	EXISTING WATER
(---)	EXISTING WATER & SEWER UTILITY EASEMENT
(•)	EXISTING STREET TREES PER SDP-09-037
(•)	EXISTING LANDSCAPING PER SDP-09-037
(---)	FOREST CONSERVATION
(---)	FOREST CONSERVATION PLANTING
(---)	COMBINATION SUPER SILT FENCE AND TREE PROTECTION
(---)	SUPER SILT FENCE

SEE L.O.D. ON SEDIMENT EROSION CONTROL PLAN ON SHEET 21

PLAN SCALE 1"=30'



AS-BUILT CERTIFICATION
 I hereby certify, by my seal, that the facilities shown on this plan were constructed as shown on this "AS BUILT" plan meet the approved plans and specifications.
 Charles J. Gravois, No. 19204, Date 11/6/13

REVISED

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL FREE
 ELLICOTT CITY, MARYLAND 21042
 410.461.2000

NO.	REVISION	DATE
6	REV. TO ADD FEE SIMPLE LOTS PER F-14-III & ADD PHASE V TO GEN. DR. 099	10/29/14
5	REV. TO ADD FEE SIMPLE LOTS PER F-13-101	12/17/13
4	REV. HSE. & GRD. LOT 177, FROM GEN. BOX 'A' TO BORNIQUIST	10/30/13
3	REV. HSE. & GRD. LOT 176, FROM GEN. BOX 'A' TO BORNIQUIST	10/30/13
2	REV. TO ADD FEE SIMPLE LOTS PER F-12-009 AND ADD GRIFFIN HALL	9/28/12
1	REV. PER ADDITION APFO PHASE 3 BLDGS & 5-06-13 PHASING TAB	3/24/10

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MARYLAND LICENSE NO. 9757
 EXPIRATION DATE IS 3/3/12.
 TERRELL A. FISHER, PROFESSIONAL ENGINEER, DATE 11/6/14

BUILDERS
 NV HOMES 6085 MARSHALEE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-5956
 RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956

DEVELOPER
 WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042 443-367-0422

OWNERS
 WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Chief, Division of Land Development
 Chief Development Engineering Division
 Director - Department of Planning and Zoning

PROJECT: GTW'S WAVERLY WOODS
 SECTION: 14
 PARCEL NO. 'E'
 PLAT: FEE SIMPLE NOTE #91
 BLOCK NO.: 3 & 4
 ZONE: P5C
 TAX/ZONE: 16
 ELEC. DIST.: THIRD
 CENSUS TR.: 60300
 WATER CODE: K-02
 SEWER CODE: 5992000

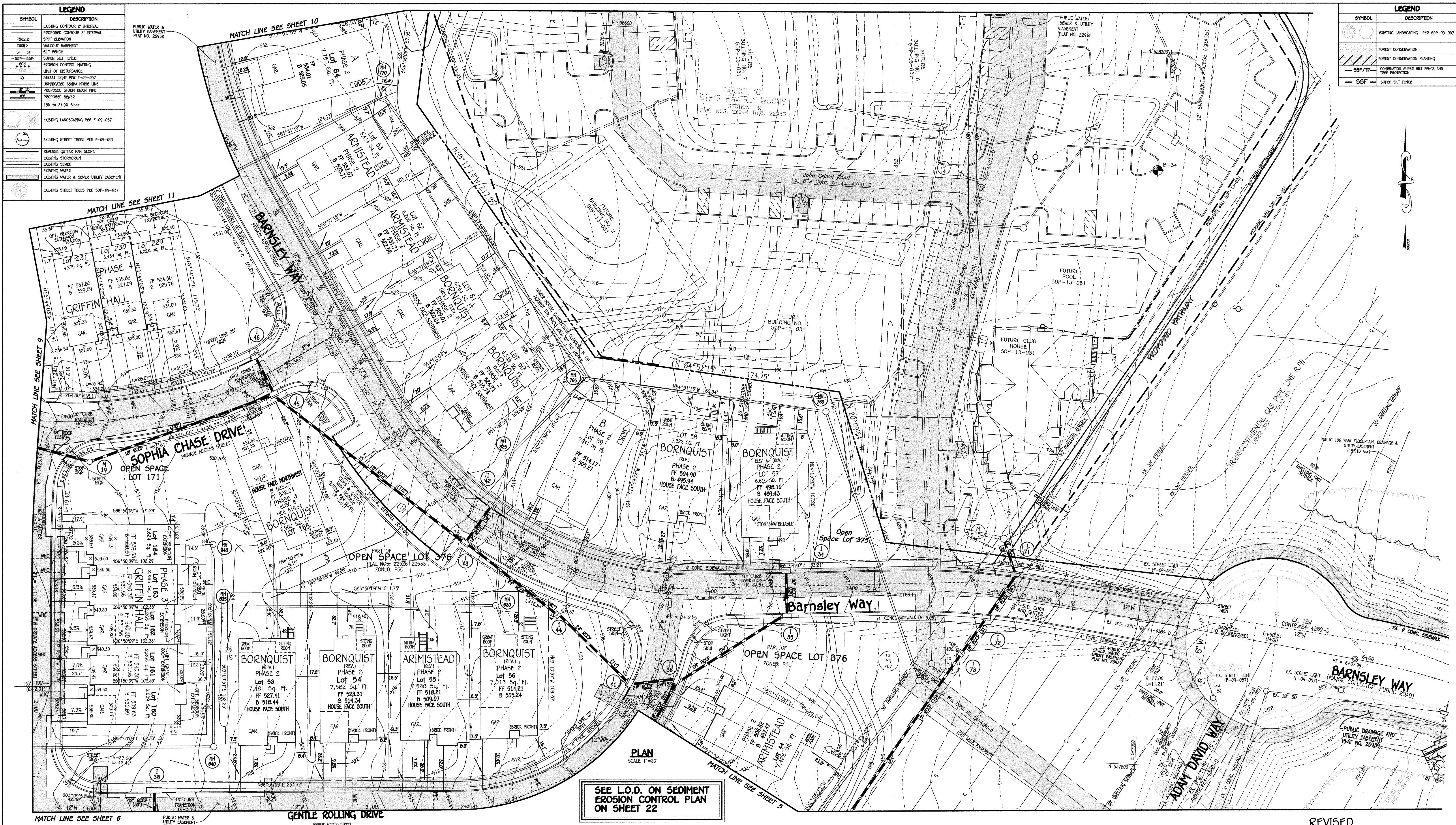
SITE DEVELOPMENT PLAN
 AGE RESTRICTED ADULT HOUSING
 GTW'S WAVERLY WOODS
 SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 TOWNHOUSE & SINGLE FAMILY HOMES

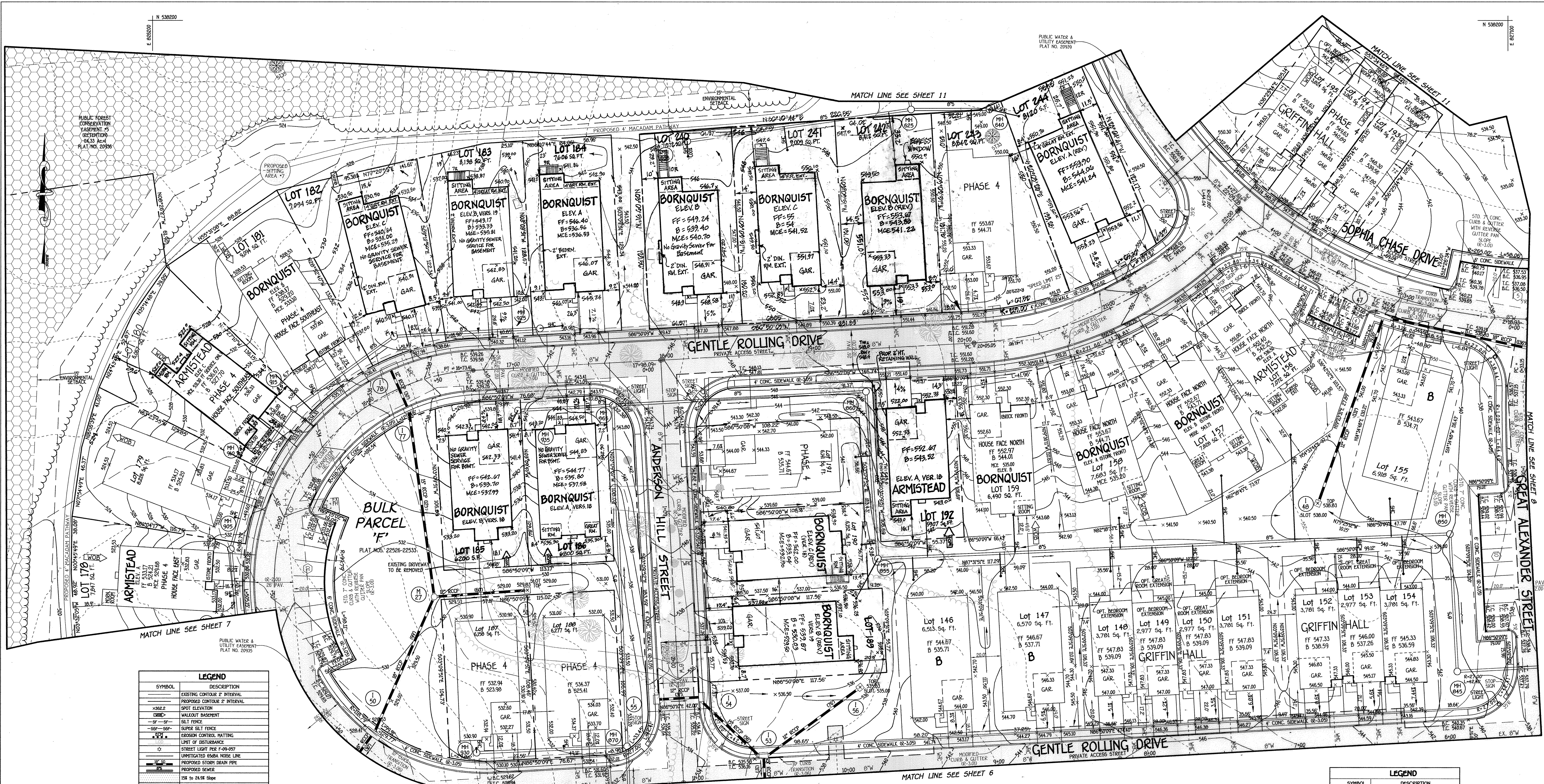
ZONING: P5C
 GRID NO.: 3 & 4
 PARCEL NO.: PART OF 249
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: DECEMBER, 2013
 SHEET 7 OF 100

"AS-BUILT"

LEGEND	
SYMBOL	DESCRIPTION
(Symbol)	EXISTING CONTOUR 2' INTERVAL
(Symbol)	PROPOSED CONTOUR 2' INTERVAL
(Symbol)	SPOT ELEVATION
(Symbol)	WALKWAY
(Symbol)	SILT FENCE
(Symbol)	SUPER SILT FENCE
(Symbol)	EROSION CONTROL MATING
(Symbol)	LIMIT OF DISTURBANCE
(Symbol)	STREET LIGHT PER F-09-097
(Symbol)	UNIMPROVED 668A NOISE LINE
(Symbol)	PROPOSED STORM DRAIN PIPE
(Symbol)	PROPOSED SEWER
(Symbol)	15% TO 24.9% Slope
(Symbol)	EXISTING LANDSCAPING PER F-09-097
(Symbol)	EXISTING STREET TREES PER F-09-097
(Symbol)	REVERSE GUTTER PAN SLOPE
(Symbol)	EXISTING STORMSEAN
(Symbol)	EXISTING SEWER
(Symbol)	EXISTING WATER
(Symbol)	EXISTING WATER & SEWER UTILITY EASEMENT
(Symbol)	EXISTING STREET TREES PER S09-09-037

LEGEND	
SYMBOL	DESCRIPTION
(Symbol)	EXISTING LANDSCAPING PER S09-09-037
(Symbol)	FOREST CONSERVATION
(Symbol)	FOREST CONSERVATION PLANTING
(Symbol)	COMBINATION SUPER SILT FENCE AND TREE PROTECTION
(Symbol)	SUPER SILT FENCE





LEGEND	
SYMBOL	DESCRIPTION
(Symbol)	EXISTING CONTOUR 2' INTERVAL
(Symbol)	PROPOSED CONTOUR 2' INTERVAL
(Symbol)	SPOT ELEVATION
(Symbol)	CRIB
(Symbol)	WALKOUT BISHOPMENT
(Symbol)	SILT FENCE
(Symbol)	SUPER SILT FENCE
(Symbol)	EROSION CONTROL MATTING
(Symbol)	LINE OF DISTURBANCE
(Symbol)	STREET LIGHT PER F-09-057
(Symbol)	UNIMPAVED 658A NOISE LINE
(Symbol)	PROPOSED STORM DRAIN PIPE
(Symbol)	PROPOSED SEWER
(Symbol)	1% to 24.9% slope
(Symbol)	EXISTING LANDSCAPING PER F-09-057
(Symbol)	EXISTING STREET TREES PER F-09-057
(Symbol)	REVERSE CUTTER PAN SLOPE
(Symbol)	EXISTING STORMDRAIN
(Symbol)	EXISTING SEWER
(Symbol)	EXISTING WATER
(Symbol)	EXISTING WATER & SEWER UTILITY EASEMENT
(Symbol)	EXISTING STREET TREES PER 50P-09-037

LEGEND	
SYMBOL	DESCRIPTION
(Symbol)	EXISTING LANDSCAPING PER 50P-09-037
(Symbol)	FOREST CONSERVATION
(Symbol)	FOREST CONSERVATION PLANTING
(Symbol)	COMBINATION SUPER SILT FENCE AND TREE PROTECTION
(Symbol)	SSF
(Symbol)	SUPER SILT FENCE

SEE L.O.D. ON SEDIMENT EROSION CONTROL PLAN ON SHEET 23

REVISIONS	CONT.	DATE
22	REV. GRADING FOR LOT 241 TO AS-BUILT CONDITIONS	4/10/15
21	REV. LOT 242 TO BORNQUIST ELEV. B GAR. LEFT	2/20/15
20	REV. LOT 244 TO A BORNQUIST ELEV. B GAR. LEFT	01/14/15
19	REV. LOTS 240-241 TO BORNQUIST ELEV. B & ELEV. C 1/2 ASSOC. GRADINGS	11/13/14
18	REV. TO ADD TREE SHADE LOTS PER F-11-111 & PHASE V TO 4P-09-039	10/31/14
17	REV. LOT 180 PER AS-BUILT (ADDED MEMB. RM.)	6/23/14
16	REV. LOT 192 TO ARMISTEAD ELEV. A & ASSOC. GRADINGS	4/02/14

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALDORNE NATIONAL PARK
 ELLICOTT CITY, MARYLAND 21042
 410-461-2005

NO.	REVISION	DATE
15	REV. LOT 184 TO BORNQUIST ELEV. A, LOT 182 TO BORNQUIST ELEV. C & GRADINGS	3/28/14
14	REV. LOT 190 TO BORNQUIST ELEV. C & ASSOC. GRADINGS	3/13/14
13	REV. LOT 183 TO BORNQUIST ELEV. B, LOT 189 TO BORNQUIST ELEV. B & ASSOC. GRADINGS	3/7/14
12	REV. LOT 185 TO BORNQUIST ELEV. B, LOT 186 TO BORNQUIST ELEV. A & ASSOC. GRADINGS	3/7/14
11	REV. TO ADD GREAT ROOM EXTENSION ON LOT 152	1/15/14
10	REV. TO ADD FEE SIMPLE LOTS PER F-13-101	12/17/13
9	REV. HSE. & GRD., LOT 181 FROM GEN. BOX 'A' TO BORNQUIST	10/30/13
8	REV. HSE. & GRD., LOT 180 FROM GEN. BOX 'A' TO ARMISTEAD	10/30/13
7	REV. HSE. & GRD., LOT 178 FROM GEN. BOX 'A' TO ARMISTEAD	10/30/13
6	REV. HSE. & GRD., LOT 156 FROM GEN. BOX 'A' TO ARMISTEAD	6/25/13
5	REV. HSE. & GRD., LOT 157 FROM GEN. BOX 'A' TO BORNQUIST	5/7/13
4	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
3	REV. PER ADDITION AFFO PHASE 4 BLDGS & 5-06-13 PHASING TAB	12/19/11
2	REV. TO ADD THE SHIELD LOTS REV EASEMENT PER F-10-133	12/6/10
1	REV. PER ADDITION AFFO PHASE 3 BLDGS & 5-06-13 PHASING TAB	3/24/10



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/31/14.

Herrell A. Fisher 1/9/14
 HERRELL A. FISHER, PROFESSIONAL ENGINEER

AS-BUILT CERTIFICATION
 Note: There is no "AS-BUILT" information provided on this sheet.
Charles J. Ordoz No. 0204 Date 1/16/15
Michael

BUILDERS	
NV HOMES 6085 MARSHALLEE DRIVE SUITE 130 ELK RIDGE, MD 21075 410-379-9956	RYAN HOMES 6085 MARSHALLEE DRIVE SUITE 140 ELK RIDGE, MD 21075 410-379-9956
DEVELOPER	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422	
OWNERS	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Howard County 2/10/14
 Chief, Division of Land Development DATE

Howard County 2-10-14
 Chief, Development Engineering Division DATE

Howard County 2/10/14
 Director - Department of Planning and Zoning DATE

PROJECT	SECTION	PARCEL NO. 'E'
GTW'S WAVERLY WOODS	14	PARCEL NO. 14

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
SEE GENERAL NOTE #91	3 & 4	PSC	16	THIRD	60300

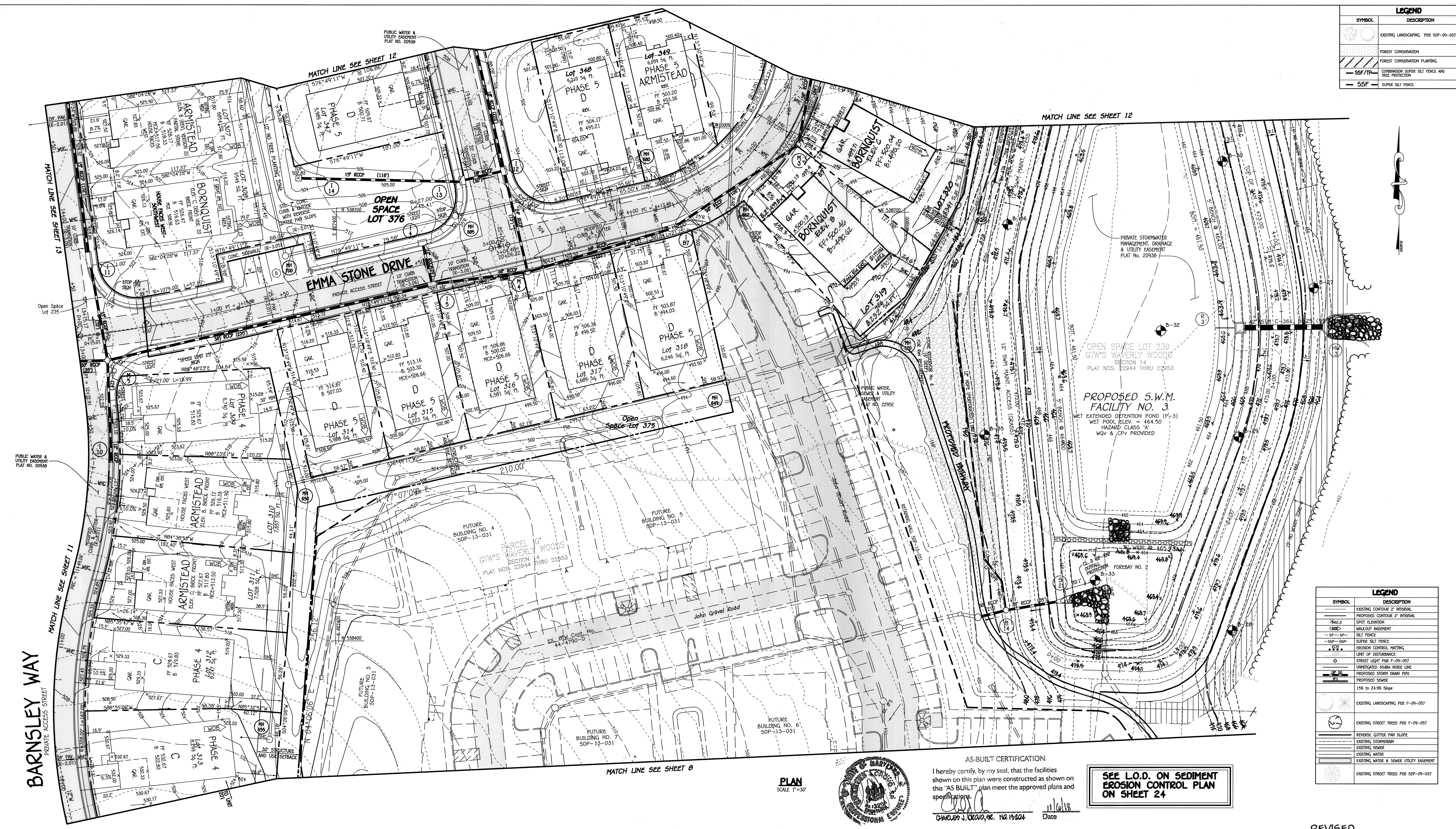
WATER CODE	SEWER CODE
K-02	5992000

REVISED

SITE DEVELOPMENT PLAN
 AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
 SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASES II, III, V, LOTS 5, 12 THRU 39, 44 THRU 66, 68 THRU 108, 172 THRU 231 & 240 THRU 309
 TOWNHOUSE & SINGLE FAMILY HOMES

ZONING: PSC
 TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: DECEMBER, 2013
 SHEET 9 OF 100 50P-09-039

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET



LEGEND	
SYMBOL	DESCRIPTION
	EXISTING LANDSCAPING PER SOP-09-037
	FOREST CONSERVATION
	FOREST CONSERVATION PLANTING
	COMBINATION SUPER SILT FENCE AND TREE PROTECTION
	SUPER SILT FENCE

LEGEND	
SYMBOL	DESCRIPTION
	EXISTING CONTOUR 2' INTERNAL
	PROPOSED CONTOUR 2' INTERNAL
	SPOT ELEVATION
	WALKOUT BASEMENT
	SILT FENCE
	SUPER SILT FENCE
	EROSION CONTROL MATTING
	LIMIT OF DISTURBANCE
	STREET LIGHT PER F-09-057
	UNUTILIZED UTILITY EASEMENT
	PROPOSED STORM DRAIN PIPE
	PROPOSED SEWER
	15% to 24.9% Slope
	EXISTING LANDSCAPING PER F-09-057
	EXISTING STREET TREES PER F-09-057
	REVERSE GUTTER PAN SLOPE
	EXISTING STORM DRAIN
	EXISTING WATER
	EXISTING WATER & SEWER UTILITY EASEMENT
	EXISTING STREET TREES PER SOP-09-037

PLAN
SCALE 1"=30'



AS-BUILT CERTIFICATION
I hereby certify, by my seal, that the facilities shown on this plan were constructed as shown on this "AS BUILT" plan meet the approved plans and specifications.
CHARLES J. CREW, P.E. No. 19204 Date 11/6/18

SEE L.O.D. ON SEDIMENT EROSION CONTROL PLAN ON SHEET 24

REVISED

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SERVICE OFFICE: 12712 BALDOR NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042
(410) 461-2895

NO.	REVISION	DATE
10	REV. PATHWAY	10/6/18
9	REV. LOT 319 TO SHOW AS-BUILT CONDITIONS/BORNQUIST HSE	4/18/17
8	REV. LOT 320 TO SHOW AS-BUILT CONDITIONS W/BORNQUIST HSE TYPE	3/21/17
7	REV. NEW UTILITIES AND REV. SOP 09-039 WITH HSE BOX C, D, E.	5/1/15
6	REV. TO ADD FEE SIMPLE LOTS PER F-14-111 AND PHASE Y TO SOP-09-039	8/28/14
5	REV. TO ADD FEE SIMPLE LOTS PER F-13-101	12/17/13
4	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
3	REV. PER ADDITION APPO PHASE 4 BLDGS & 5-06-13 PHASING TAB	12/19/11
2	REV. PER ADDITION APPO PHASE 3 BLDGS REV EASEMENT PER F-10-113 AND RELOCATE PUBLIC SERVICE	12/6/10
1	REV. PER ADDITION APPO PHASE 3 BLDGS & 5-06-13 PHASING TAB	3/24/10



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9751 EXPIRATION DATE IS 3/3/16.
TERRELL A. FISHER, PROFESSIONAL ENGINEER 7/14/15 DATE

BUILDERS	
NV HOMES 6095 MARSHALEE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-5956	RYAN HOMES 6095 MARSHALEE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956
OWNERS	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELICOTT CITY, MARYLAND 21042 443-367-0422	WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELICOTT CITY, MARYLAND 21042 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING				
Chief, Division of Land Development	<i>[Signature]</i>	7-31-15	Date	
Chief, Development Engineering Division	<i>[Signature]</i>	7-24-15	Date	
Director - Department of Planning and Zoning	<i>[Signature]</i>	8-4-15	Date	
PROJECT	GTW'S WAVERLY WOODS	SECTION	14	PARCEL NO. 2
PLAT	SEE GENERAL NOTE # 51	BLOCK NO.	3 & 4	ZONE
TAX/ZONE	PSC	16	ELEC. DIST.	THIRD
CENSUS TR.	60300	SEWER CODE	5992000	

SITE DEVELOPMENT PLAN
AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASES I, THRU V LOTS 5, 12 THRU 39, 44 THRU 66, 88 THRU 105, 172 THRU 231 & 240 THRU 309
TOWNHOUSE & SINGLE FAMILY HOMES
TAX MAP NO.: 16 CGID NO.: 3 & 4 PARCEL NO.: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: MAY, 2015
SHEET 10 OF 10

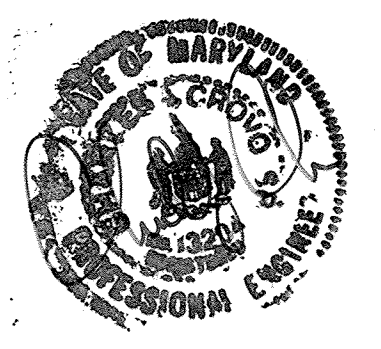
SDP-09-039
"AS-BUILT"

SEE L.O.D. ON SEDIMENT
EROSION CONTROL PLAN
ON SHEET 26

LEGEND	
SYMBOL	DESCRIPTION
(Symbol)	EXISTING CONTOUR 2' INTERVAL
(Symbol)	PROPOSED CONTOUR 2' INTERVAL
(Symbol)	SPOT ELEVATION
(Symbol)	WALKWAY EASEMENT
(Symbol)	SILT FENCE
(Symbol)	SUPER SILT FENCE
(Symbol)	EROSION CONTROL MATING
(Symbol)	LIMIT OF DISTURBANCE
(Symbol)	STREET LIGHT POLE F-09-097
(Symbol)	UNMITIGATED 60/80 NOISE LINE
(Symbol)	PROPOSED STORM DRAIN PIPE
(Symbol)	PROPOSED SEWER
(Symbol)	10% to 24.9% Slope
(Symbol)	EXISTING LANDSCAPING PER F-09-057
(Symbol)	EXISTING STREET TREES PER F-09-057
(Symbol)	REVERSE CUTTING PLAN SLOPE
(Symbol)	EXISTING STORMWATER
(Symbol)	EXISTING WATER
(Symbol)	EXISTING WATER & SEWER UTILITY EASEMENT
(Symbol)	EXISTING STREET TREES PER S0P-09-037
(Symbol)	EXISTING LANDSCAPING PER S0P-09-037
(Symbol)	FOREST CONSERVATION
(Symbol)	FOREST CONSERVATION PLANTING
(Symbol)	COMBINATION SUPER SILT FENCE AND TREE PROTECTION
(Symbol)	SUPER SILT FENCE



PLAN
SCALE: T=30'



AS-BUILT CERTIFICATION
I hereby certify, by my seal, that the facilities shown on this plan were constructed as shown on this "AS BUILT" plan meet the approved plans and specifications.
Charles J. Ordo, Jr. No. 19204

REVISED

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10772 BALDORNE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042
(410) 461-2895

NO.	REVISION	DATE
9	REV. PTHWAY	10/18/10
8	REV. LOT 327 PER ASBUILT HOUSE & GRADING	12/08/10
7	REV. NEW UTILITIES, AND HOUSE BOXES	9/17/15
6	REV. TO ADD FEE SIMPLE LOTS PER F-14-111 AND PHASE V TO S0P-09-039	8/28/14
5	REV. TO ADD FEE SIMPLE LOTS PER F-13-101	12/17/13
4	REV. TITLE BLOCK ADDED LOTS 65-86 & O.S. LOT 87	6/20/12
3	REV. PER ADDITION APPD PHASE 4 BLDG'S & 5-06-13 PHASING TAB	12/19/11
2	REV. TO ADD FEE SIMPLE LOTS REV EASEMENT PER F-10-113 AND RELOCATE PUBLIC SEWERS	12/6/10
1	REV. PER ADDITION APPD PHASE 3 BLDG'S & 5-06-13 PHASING TAB	3/24/10



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/3/16.
Terrell A. Fisher, Professional Engineer, 7/19/15

BUILDERS	
RYAN HOMES 6085 MARSHALEE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-5956	RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956
DEVELOPER	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELICOTT CITY, MARYLAND 21042 443-367-0422	
OWNERS	
WAVERLY WOODS DEVELOPMENT CORPORATION, C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELICOTT CITY, MARYLAND 21042 443-367-0422	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING				
[Signature]		7-21-15	Date	
Chief, Division of Land Development		7-24-15	Date	
[Signature]		8-4-15	Date	
Director - Department of Planning and Zoning				
PROJECT	SECTION	PARCEL NO.	DATE	
GTW'S WAVERLY WOODS	14	PHASE 5 LOT 327	12/17/13	
PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.
SEE GENERAL NOTE # 51	3 & 4	PSC	16	THIRD
WATER CODE	SEWER CODE	CENSUS TR.		
K-02	5992000	60300		

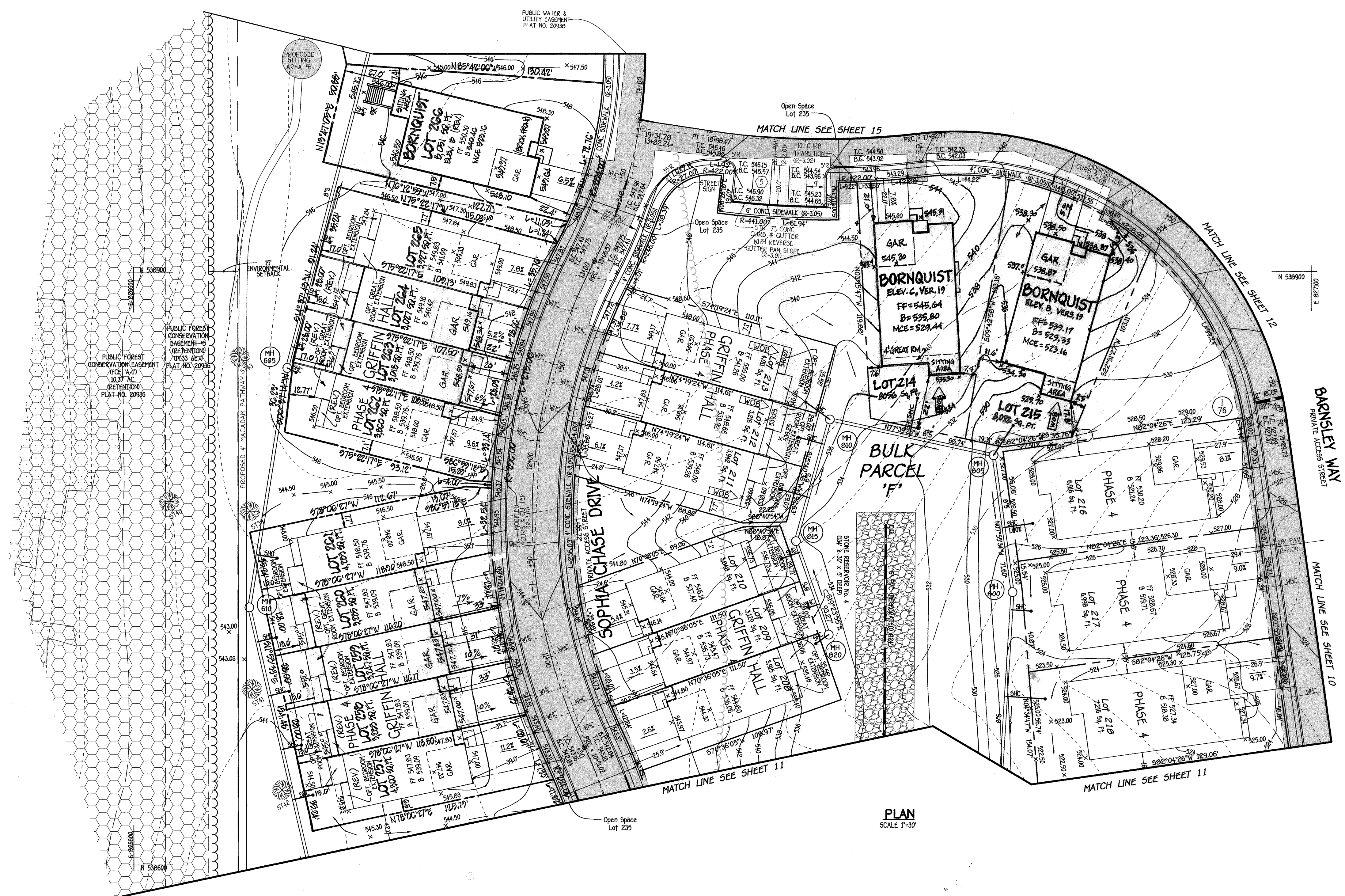
SITE DEVELOPMENT PLAN
AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASES I, THRU V LOTS 3, 12 THRU 39, 44 THRU 66, 80 THRU 105, 172 THRU 231 & 240 THRU 309
TOWNHOUSE & SINGLE FAMILY HOMES
TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: MAY, 2015
SHEET 12 OF 100

SDP-09-039
"AS-BUILT"

:S:\DWGPROJ\30770 GTW WEST\dwg\Construction Documents\Baseline\Phase 4 Fee Simple 60 Lots\REVISED Construction Document - 30770 Sdp Phase Two Thru 4 with 60 Fee Simple lots.dwg, Sheet 13, 1/10/2014 8:11:53 AM, 1:1

SEE L.O.D. ON SEDIMENT EROSION CONTROL PLAN ON SHEET 27

SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
•	SPOT ELEVATION
---	WALKOUT BASEMENT
---	SILT FENCE
---	SUPER SILT FENCE
---	EROSION CONTROL MATTING
---	LIMIT OF OBSTRUCTION
---	STREET LIGHT PER F-09-057
---	UNMITIGATED 65DBA NOISE LINE
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED SEWER
---	2% TO 24.9% Slope
---	EXISTING LANDSCAPING PER F-09-057
---	EXISTING STREET TREES PER F-09-057
---	REVERSE GUTTER PAN SLOPE
---	EXISTING STORMDRAIN
---	EXISTING SEWER
---	EXISTING WATER
---	EXISTING WATER & SEWER UTILITY EASEMENT
---	EXISTING STREET TREES PER 50P-09-037
---	EXISTING LANDSCAPING PER 50P-09-037
---	FOREST CONSERVATION
---	FOREST CONSERVATION PLANTING
---	COMBINATION SUPER SILT FENCE AND TREE PROTECTION
---	SUPER SILT FENCE



PLAN SCALE T-30

NO.	REVISION	DATE
9	REV. LOTS 258-260 & 263-264 TO REVERSE UNITS (GAR LEFT)	9/16/15
8	REV. HERE & CADD LOT 206, REAR MAIL BOX TO BORKQUIST, ELEV. 10	10/9/14
7	REV. TO ADD PER SIMPLE LOTS 18-14-111 & ADD PHASE V TO 90P-09-039	10/31/14
6	REV. LOTS 214 & 215 TO BORKQUIST ELEV. C & B RESPECTIVELY	7/21/14
5	REV. TO ADD FEE SIMPLE LOTS PER F-13-101	12/17/13
4	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
2	REV. PER ADDITION APFO PHASE 4 BLDGS & 5-06-13 PHASING TAB	12/19/11
1	REV. PER ADDITION APFO PHASE 3 BLDGS & 5-06-13 PHASING TAB	3/24/10

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE JURISDICTION OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/31/16.

TERRELL A. FISHER, PROFESSIONAL ENGINEER DATE: 1/10/14

AS-BUILT CERTIFICATION
 Note: There is no "AS BUILT" information provided on this sheet.
 Charles J. O'Leary, Jr. No. 19204 Date: 1/10/14

BUILDERS	
NV HOMES 6085 MARSHALLEE DRIVE SUITE 130 ELKCRIDGE, MD. 21075 410-379-5956	RYAN HOMES 6085 MARSHALLEE DRIVE SUITE 140 ELKCRIDGE, MD. 21075 410-379-5956
DEVELOPER	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422	
OWNERS	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

John DeLorenzo 2/18/14
 Chief, Division of Land Development Date

Chris Clarke 2.10.14
 Chief, Development Engineering Division Date

Marcelle J. G. G. G. 4/10/14
 Director - Department of Planning and Zoning Date

PROJECT	SECTION	PARCEL NO. 'E'			
GTW'S WAVERLY WOODS	14	PHASE II, LOTS 18-14-111-113 & 18-14-112-113			
PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
PER GENERAL NOTE #91	3 & 4	PSC	16	THIRD	60300
WATER CODE	SEWER CODE				
K-02	5992000				

REVISED

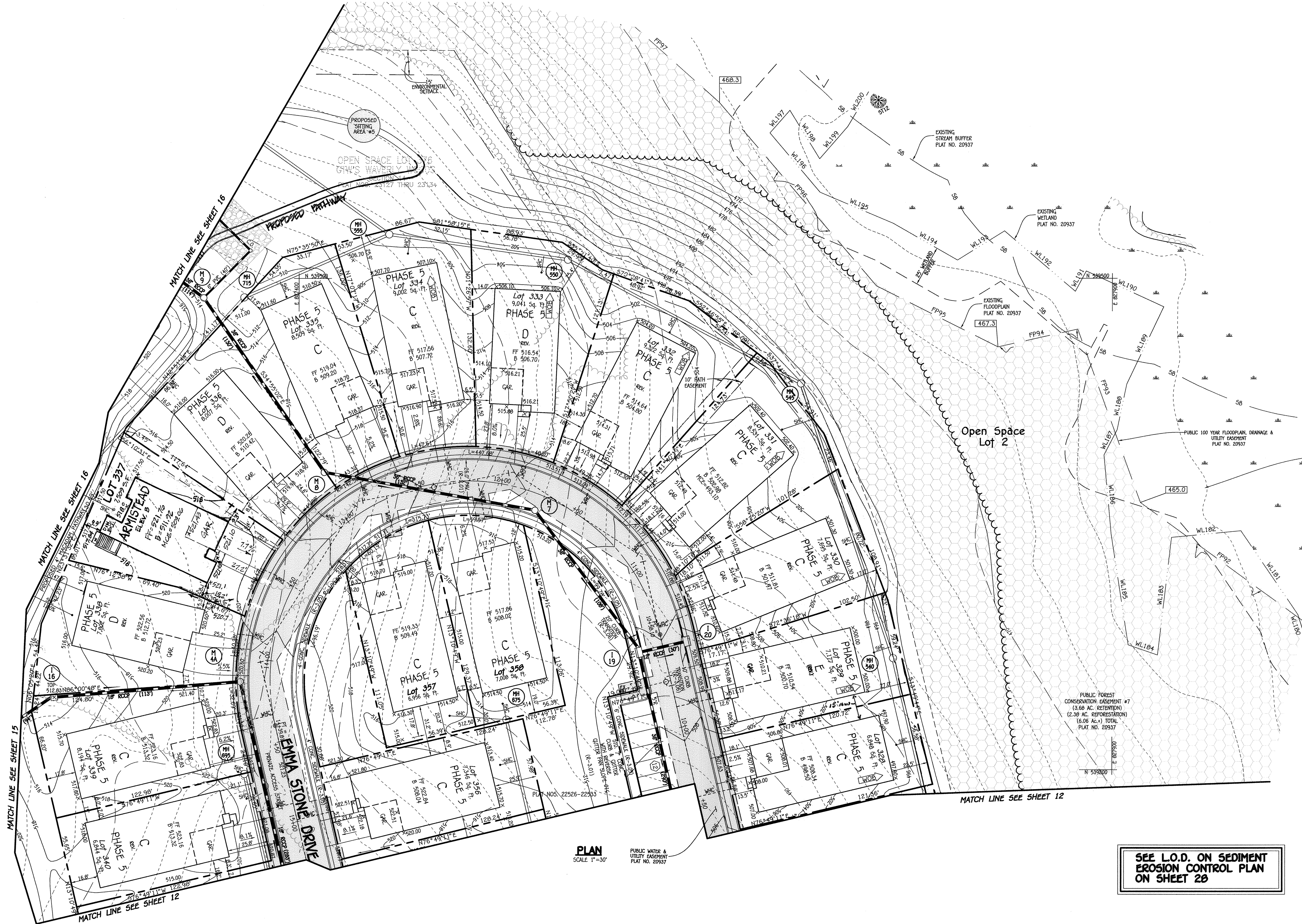
SITE DEVELOPMENT PLAN
 AGE RESTRICTED ADULT HOUSING
 GTW'S WAVERLY WOODS
 SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASES II, LOTS 18-14-111-113 & 18-14-112-113 THROUGH LOTS 172 THROUGH 240 THROUGH 500 TOWNHOUSE & SINGLE FAMILY HOMES

ZONING: PSC
 TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: DECEMBER, 2013
 SHEET 13 OF 100

SDP-09-039

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
▲	SPOT ELEVATION
---	WALKOUT BASEMENT
---	SILT FENCE
---	SUPER SILT FENCE
---	EROSION CONTROL MATTING
---	LIMIT OF DISTURBANCE
---	STREET LIGHT PER F-09-057
---	UNIMPAVED PAVED NOISE LINE
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED SEWER
---	15% TO 24.9% Slope
---	EXISTING LANDSCAPING PER F-09-057
---	EXISTING STREET TREES PER F-09-057
---	REVERSE GUTTER PAN SLOPE
---	EXISTING STORMSEWER
---	EXISTING SCHERZ
---	EXISTING WATER
---	EXISTING WATER & SEWER UTILITY EASEMENT
---	EXISTING STREET TREES PER 50P-09-037
---	EXISTING LANDSCAPING PER 50P-09-037
---	FOREST CONSERVATION
---	FOREST CONSERVATION PLANTING
---	COMBINATION SUPER SILT FENCE AND TREE PROTECTION
---	SUPER SILT FENCE



PLAN
SCALE 1"=30'

SEE L.O.D. ON SEDIMENT
EROSION CONTROL PLAN
ON SHEET 20

NO.	REVISION	DATE
7	REV. PATHWAY	10/9/16
6	REV. LOT 337 TO ARMISTEAD	5/22/17
5	REV. NEW UTILITIES, AND HOUSE BOXES	5/11/15
4	REV. TO ADD FEE SIMPLE LOTS PER F-14-111 AND PHASE V TO 50P-09-039	8/28/14
3	REV. TO ADD FEE SIMPLE LOTS PER F-13-101	12/17/13
2	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
1	REV. PER ADDITION APPD PHASE 3 BLDGS & 5-06-13 PHASING TAB	3/24/10



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/3/16.

TERRELL A. FISHER, PROFESSIONAL ENGINEER
DATE: 7/1/15

AS-BUILT CERTIFICATION FOR PSMW
Note: There is no "AS BUILT" information provided on this sheet.

CHARLES J. KROGER, JR. No. 19204
DATE: 11/6/18

BUILDERS

NV HOMES 6085 MARSHALLEE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-5956

RYAN HOMES 6085 MARSHALLEE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956

DEVELOPER
WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLCOTT CITY, MARYLAND 21042
443-367-0422

OWNERS
WAVERLY WOODS DEVELOPMENT CORPORATION,
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLCOTT CITY, MARYLAND 21042
443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development
Chief, Development Engineering Division
Director - Department of Planning and Zoning

7-31-15
7-24-15
8-4-15

PROJECT: GTW'S WAVERLY WOODS
SECTION: 14
PARCEL NO.: 16
ZONING: PSC
TAX/ZONE: 16
ELEC. DIST.: THIRD
CENSUS TR.: 60300

WATER CODE: K-02
SEWER CODE: 5992000

REVISED

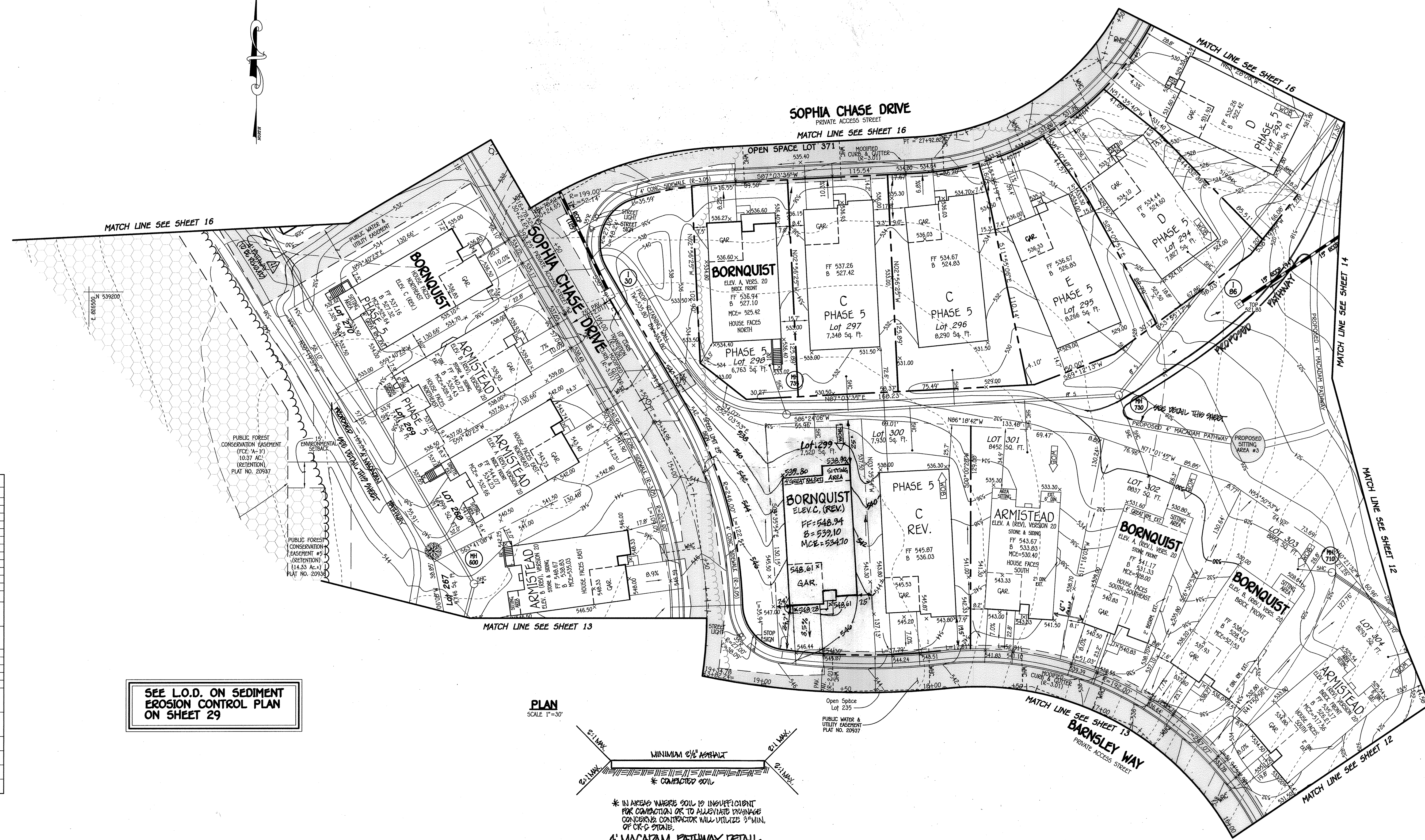
SITE DEVELOPMENT PLAN
AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASES I, THRU V LOTS 5, 12 THRU 39, 44 THRU 66, 69 THRU 105, 172 THRU 231 & 240 THRU 309
TOWNHOUSE & SINGLE FAMILY HOMES

TAX MAP NO.: 16
GRID NO.: 3 & 4
THIRD ELECTION DISTRICT - HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN
DATE: MAY, 2015
SHEET 14 OF 100

ZONING: PSC
PARCEL NO.: PART OF 249
DATE: MAY, 2015

50P-09-039

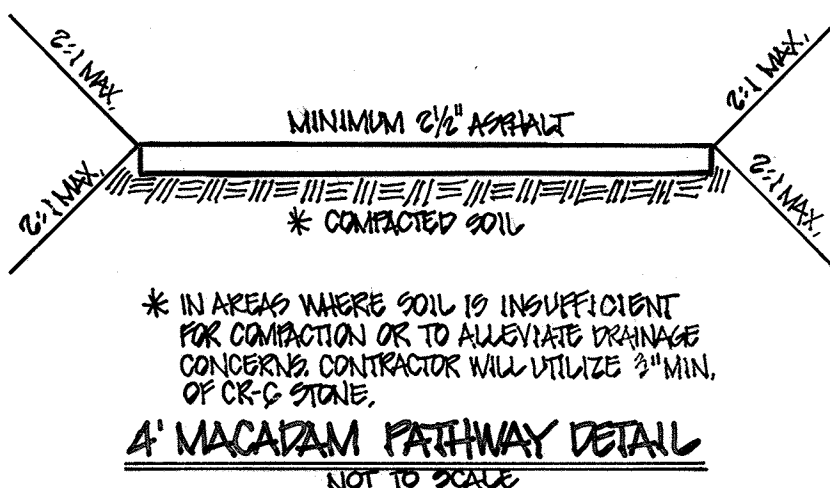
THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET



SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
•	SPOT ELEVATION
---	WALK-OUT BASEMENT
---	SILT FENCE
---	SUPER SILT FENCE
---	EROSION CONTROL MATTING
---	LIMIT OF DISTURBANCE
---	STREET LIGHT PER F-09-057
---	UNGRAVELLED ROAD HOUSE LINE
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED SEWER
---	15% TO 24.9% Slope
---	EXISTING LANDSCAPING PER F-09-057
---	EXISTING STREET TREES PER F-09-057
---	REVERSE GUTTER PAN SLOPE
---	EXISTING STORMSEWER
---	EXISTING SEWER
---	EXISTING WATER
---	EXISTING WATER & SEWER UTILITY EASEMENT
---	EXISTING STREET TREES PER 50P-09-037
---	EXISTING LANDSCAPING PER 50P-09-037
---	FOREST CONSERVATION
---	FOREST CONSERVATION PLANTING
---	COMBINATION SUPER SILT FENCE AND TREE PROTECTION
---	SUPER SILT FENCE

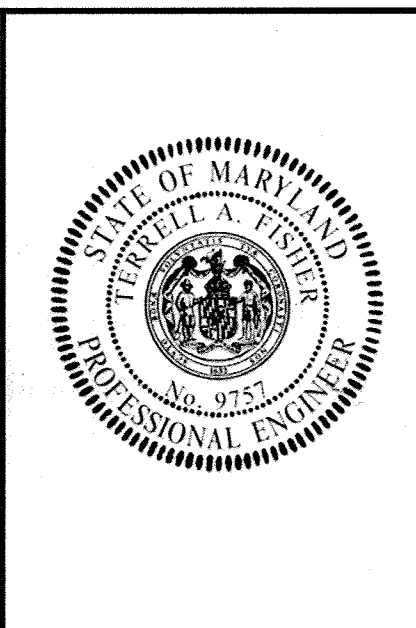
SEE L.O.D. ON SEDIMENT EROSION CONTROL PLAN ON SHEET 29

PLAN SCALE 1"=30'



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 BALDORF NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21142
(410) 461-2995

NO.	REVISION	DATE
10	REV. PATHWAY	10/9/10
11	REV. PORTION OF PATHWAY TO BE REMOVED, APPROX. 10' FROM 10/9/10	12/15/10
10	REV. LOT 299 TO AS-BUILT BORNQUIST ELEV. C. ASSOC. GRADING	9/01/15
9	REV. NEW UTILITIES, GRADING, AND HOUSE BOXES	5/01/15
8	REV. LOT 270 TO BORNQUIST ELEV. C & REV. ASSOC. GRADING	3/20/15
7	REV. LOT 299 TO BORNQUIST ELEV. C & REV. ASSOC. GRADING	3/19/15
6	REV. LOT 302 TO BORNQUIST ELEV. A & ASSOC. GRADING	12/16/14
5	REV. LOT 302 TO BORNQUIST ELEV. A & ASSOC. GRADING	11/12/14
4	REV. TO ADD FEE SIMPLE LOTS PER F-14-111 AND PHASE V TO S0P-09-039	8/28/14
3	REV. TO ADD FEE SIMPLE LOTS PER F-13-101	12/17/13
2	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
1	REV. PER ADDITION APPD PHASE 3 BLDGS & 5-06-13 PHASING TAB	3/24/12



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/31/16.

Robert A. Fisher 7/14/15
ROBERT A. FISHER, PROFESSIONAL ENGINEER DATE

AS-BUILT CERTIFICATION
Note: There is no "AS BUILT" information provided on this sheet.
Charles J. Cronk, Jr. 11/6/18
CHARLES J. CRONK, JR. No. 19224 Date

BUILDERS	
NV HOMES 6085 MARSHALLE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-5956	RYAN HOMES 6085 MARSHALLE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956
DEVELOPER	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-367-0422	
OWNERS	
WAVERLY WOODS DEVELOPMENT CORPORATION, 5300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-367-0422	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Victoria L. ... 7-31-15
Chief, Division of Land Development Date

... 7-24-15
Chief, Development Engineering Division Date

... 8-4-15
Director - Department of Planning and Zoning Date

PROJECT	SECTION	PARCEL NO. 'E
GTW'S WAVERLY WOODS	14	PHASE 5 THRU V LOTS 5, 12 THRU 35, 44 THRU 66, 88 THRU 105, 172 THRU 231 & 240 THRU 309

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
SEE GENERAL NOTE # 51	3 & 4	PSC	16	THIRD	60300

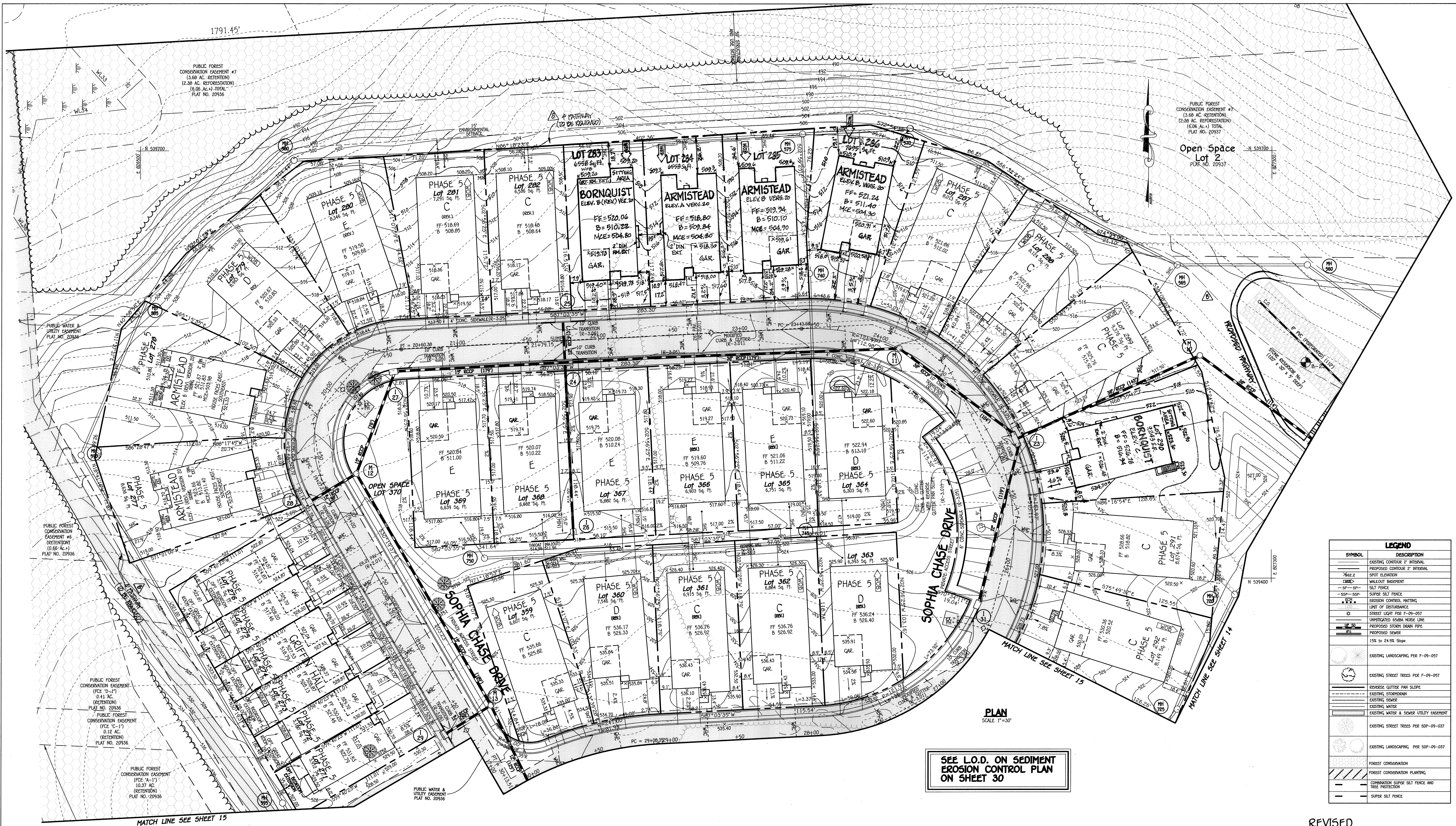
WATER CODE: K-02
SEWER CODE: 5992000

REVISED

SITE DEVELOPMENT PLAN
AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASES I, THRU V LOTS 5, 12 THRU 35, 44 THRU 66, 88 THRU 105, 172 THRU 231 & 240 THRU 309
TOWNHOUSE & SINGLE FAMILY HOMES

ZONING: PSC
TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: MAY, 2015
SHEET 15 OF 100 SDP-09-039

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET



LEGEND	
SYMBOL	DESCRIPTION
(Dashed line)	EXISTING CONTOUR 2' INTERVAL
(Dotted line)	PROPOSED CONTOUR 2' INTERVAL
(Small circle)	SPOT ELEVATION
(Line with cross-ticks)	WALKOUT EASEMENT
(Line with dots)	SILT FENCE
(Line with triangles)	SUPER SALT FENCE
(Line with squares)	EROSION CONTROL MATING
(Line with circles)	LIMIT OF DISTURBANCE
(Circle with cross)	STREET LIGHT PER F-09-057
(Line with 'X' marks)	UNIMPAVED 658A NOISE LINE
(Line with 'X' marks)	PROPOSED STORM DRAIN PIPE
(Line with 'X' marks)	PROPOSED SEWER
(Line with 'X' marks)	15% TO 24.9% Slope
(Starburst symbol)	EXISTING LANDSCAPING PER F-09-057
(Starburst symbol)	EXISTING STREET TREES PER F-09-057
(Line with 'X' marks)	REVERSE GUTTER PAN SLOPE
(Line with 'X' marks)	EXISTING STORMDRAIN
(Line with 'X' marks)	EXISTING SEWER
(Line with 'X' marks)	EXISTING WATER
(Line with 'X' marks)	EXISTING WATER & SEWER UTILITY EASEMENT
(Starburst symbol)	EXISTING STREET TREES PER SDP-09-037
(Starburst symbol)	EXISTING LANDSCAPING PER SDP-09-037
(Dotted line)	FOREST CONSERVATION
(Dotted line)	FOREST CONSERVATION PLANTING
(Line with 'X' marks)	COMBINATION SUPER SALT FENCE AND TREE PROTECTION
(Line with 'X' marks)	SUPER SALT FENCE

SEE L.O.D. ON SEDIMENT EROSION CONTROL PLAN ON SHEET 30

PLAN SCALE 1"=30'

REVISED

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042
 (410) 461-2855

NO.	REVISION	DATE
9	REV. PATHWAY	10/9/10
8	REV. PORTION OF PATHWAY TO BE REMOVED & PATHWAY TO BE ADDED	12/6/10
7	REV. LOTS 283-286, ADJUSTED ORIENTATION	2/19/10
6	REV. LOT 290 PER ASSUMPT	1/8/10
5	REV. NEW UTILITIES, STORM DRAIN, GRADING AND HOUSE BOXES	5/1/10
4	REV. TO ADD FEE SIMPLE LOTS PER F-14-111 AND PHASE V TO SDP-09-039	8/29/11
3	REV. TO ADD FEE SIMPLE LOTS PER F-13-101	12/17/13
2	REV. TO ADD FEE SIMPLE LOTS PER F-12-099 AND ADD GREEN HALL	9/28/12
1	REV. PER ADDITION APFO PHASE 5 BLDGS & 5-06-13 PHASING TAB	3/24/10



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/3/16.

Terrell A. Fisher 7/14/15
 TERRELL A. FISHER, PROFESSIONAL ENGINEER

BUILT CERTIFICATION
 Note: There is no "AS BUILT" information provided on this sheet.
Charles J. Orsola 11/6/18
 CHARLES J. ORSOLA, NC 13204 Date

BUILDERS	
NV HOMES 6085 MARSHALEE DRIVE SUITE 130 ELKRODGE, MD 21075 410-379-5956	RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELKRODGE, MD 21075 410-379-5956
DEVELOPER	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELICOTT CITY, MARYLAND 21042 443-367-0422	
OWNERS	
WAVERLY WOODS DEVELOPMENT CORPORATION, C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELICOTT CITY, MARYLAND 21042 443-367-0422	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Kevin DeLorenzo 7-31-15
 Chief, Division of Land Development Date

William J. Allen 7-24-15
 Chief, Development Engineering Division Date

Director - Department of Planning and Zoning Date: 8-4-15

PROJECT	SECTION	PARCEL NO.
GTW'S WAVERLY WOODS	14	PHASE 5 THRU V LOTS 3, 12 THRU 39, 44 THRU 66, 88 THRU 105, 172 THRU 231 & 240 THRU 369

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
SEE GENERAL NOTE # 51	3 & 4	PSC	16	THIRD	60300

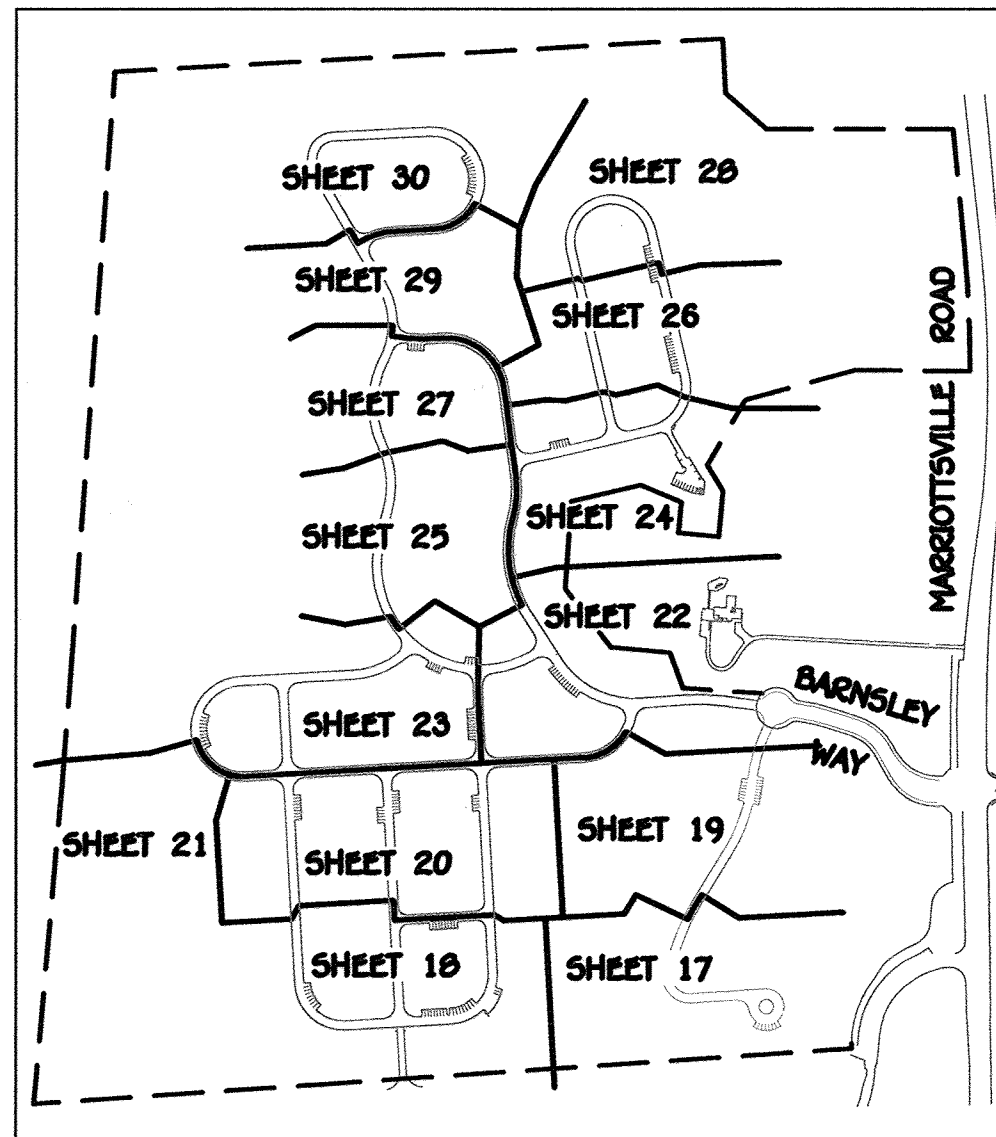
WATER CODE	SEWER CODE
K-02	5992000

SITE DEVELOPMENT PLAN
 AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
 SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASES II, THRU V LOTS 3, 12 THRU 39, 44 THRU 66, 88 THRU 105, 172 THRU 231 & 240 THRU 369
 TOWNHOUSE & SINGLE FAMILY HOMES

ZONING: PSC
 TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: MAY, 2015
 SHEET 16 OF 100

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

SDP-09-039



SHEET INDEX
NO SCALE

SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
•	SPOT ELEVATION
---	WALKOUT BASEMENT
---	SILT FENCE
---	SUPER SILT FENCE
---	EROSION CONTROL MATTING
---	LIMIT OF DISTURBANCE
○	STREET LIGHT PER F-09-057
---	UNMITIGATED ROAD NOISE LINE
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED SEWER
---	1% TO 24.9% SLOPE
---	EXISTING LANDSCAPING PER F-09-057
---	EXISTING STREET TREES PER F-09-057
---	REVERSE GUTTER PAN SLOPE
---	EXISTING STORMDRAIN
---	EXISTING SEWER
---	EXISTING WATER
---	EXISTING WATER & SEWER UTILITY EASEMENT
---	EXISTING STREET TREES PER S0P-09-037
---	EXISTING LANDSCAPING PER S0P-09-037
---	FOREST CONSERVATION
---	FOREST CONSERVATION PLANTING
---	COMBINATION SUPER SILT FENCE AND TREE PROTECTION
---	SUPER SILT FENCE
---	EROSION CONTROL MATTING
---	HVF
---	HIGH VISIBILITY FENCING
---	EARTH DIKE w/ELEVATION

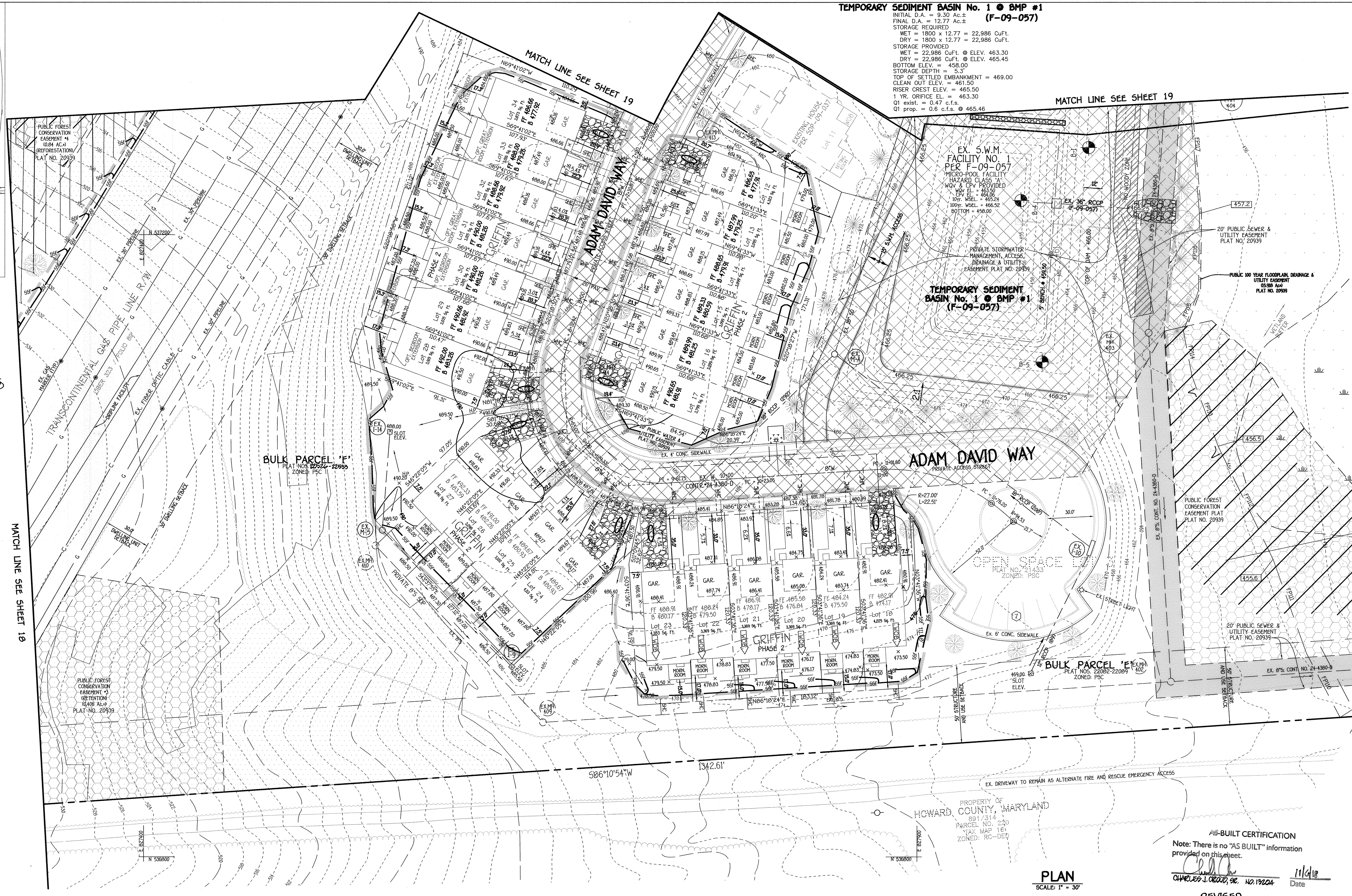
LIMIT OF DISTURBANCE NOTE:
NO MORE THAN 20 ACRES MAY BE UNSTABILIZED AT ANY TIME.

HIGH VISIBILITY FENCING "HVF" NOTE:
PROVIDE WITH ALL INTERNAL EARTH DIKES.

SILT FENCE NOTE:
CONTRACTOR TO IMBRICATE ALL SF/SSF RUNNING DOWNHILL INTO J-SHAPED SEGMENTS AT 25' AND CURL ENDS UPHILL 2' IN ELEVATION.

CONTRACTOR NOTE:
CONTRACTOR SHALL REMOVE ALL OLD AND NEW JUNK, TRASH AND DEBRIS FROM FORESTS, FLOODPLAIN, STREAMS, WETLANDS AND THEIR BUFFERS.

TEMPORARY SEDIMENT BASIN No. 1 ● BMP #1 (F-09-057)
INITIAL D.A. = 9.30 Ac.±
FINAL D.A. = 12.77 Ac.±
STORAGE REQUIRED
WET = 1800 x 12.77 = 22,986 CuFt.
DRY = 1800 x 12.77 = 22,986 CuFt.
STORAGE PROVIDED
WET = 22,986 CuFt. @ ELEV. 463.30
DRY = 22,986 CuFt. @ ELEV. 465.45
BOTTOM ELEV. = 458.00
STORAGE DEPTH = 5.3'
TOP OF SETTLED EMBANKMENT = 469.00
CLEAN OUT ELEV. = 461.50
RISER CREST ELEV. = 465.50
1 YR. ORIFICE EL. = 463.30
01 exist. = 0.47 c.f.s.
01 prop. = 0.6 c.f.s. @ 465.46



PLAN
SCALE: 1" = 30'

AS-BUILT CERTIFICATION
Note: There is no "AS BUILT" information provided on this sheet.
Charles J. O'Connell
CHARLES J. O'CONNOR, SE, NO. 13204
11/14/12
Date

NO.	REVISION	DATE
6	REV. TO ADD FEE SIMPLE LOTS PER F-14-111 AND ADD PHASE 2 TO S0P-09-037	10/31/12
5	REV. TO ADD FEE SIMPLE LOTS PER F-13-101	10/17/12
4	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
3	REV. PER ADDITION APPO PHASE 4 BLDGS & 5-06-13 PHASING TAB AND ADJUSTMENTS ASSOCIATED WITH INTERIOR TOWNHOUSE UNIT	12/19/11
2	REV. TO ADD FEE SIMPLE LOTS PER F-10-113	1/12/11
1	REV. PER ADDITION OF APPO PHASE 3 BLDGS & 5-06-13 PHASING TAB	3/24/10

DEVELOPER'S CERTIFICATE
I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion. I Also Authorize Periodic On-Site Inspections By The Howard Soil Conservation District.

John R. Robertson
Signature Of Developer
11/15/12
Date

ENGINEER'S CERTIFICATE
I Certify That This Plan For Pond Construction, Erosion And Sediment Control Represents A Practical And Viable Plan Based On My Personal Knowledge Of The Site Conditions. This Plan Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District. I Have Notified The Developer That He/She Must Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion.

Charles J. O'Connell
Signature Of Engineer
11/14/12
Date

These Plans For Small Pond Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.

John R. Robertson
Signature
11/15/12
Date

BUILDERS
NV HOMES 6085 MARSHALLE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-5956
RYAN HOMES 6085 MARSHALLE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956

DEVELOPER
WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLCOTT CITY, MARYLAND 21042 443-367-0422

OWNERS
WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLCOTT CITY, MARYLAND 21042 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Keith DeLoach
Chief, Division of Land Development
12/19/12
Date

Charles J. O'Connell
Chief, Development Engineering Division
12/19/12
Date

Director - Department of Planning and Zoning

PROJECT: GTW'S WAVERLY WOODS SECTION: 14 PARCEL NO. 'E' PHASES 1, 2, 3 & 4 100% OF 100-14-000-00-100, 17E-231 & 240-2000

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
FEE GENERAL NOTE #951	3 & 4	PSC	16	THIRD	60300

WATER CODE: K-02 SEWER CODE: 5992000

SEDIMENT/EROSION CONTROL PLAN (PHASE ONE)

AGE RESTRICTED ADULT HOUSING GTW'S WAVERLY WOODS SECTION 14

"THE COURTYARDS AT WAVERLY WOODS - WEST" PHASES II, III, V, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

TOWNHOUSES & SINGLE FAMILY HOMES

ZONING: PSC
TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
THIRD ELECTION DISTRICT: HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: 10/20/12 SHEET 17 OF 100

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

LIMIT OF DISTURBANCE NOTE:
NO MORE THAN 20 ACRES MAY BE UNSTABILIZED AT ANY TIME.

IRVING GAMBLE ROAD
PRIVATE ACCESS STREET
MATCH LINE SEE SHEET 20

MATCH LINE SEE SHEET 20

MATCH LINE SEE SHEET 17

TEMPORARY S.O.S.T. (ST. II) No. 5
INITIAL D.A. = 5.0 Ac.±
FINAL D.A. = 1.9 Ac.±
STORAGE REQUIRED
WET = 1800 x 5.0 = 9,000 CuFt.
DRY = 1800 x 5.0 = 9,000 CuFt.
STORAGE PROVIDED
WET = 11,016 CuFt. @ ELEV. 498.00
DRY = 17,400 CuFt. @ ELEV. 501.00
STORAGE DEPTH
TOP OF EMBANKMENT = 502.00
CLEAN OUT ELEV. = 499.50
WEIR CREST ELEV. = 501.00
WEIR LENGTH = 20'
TEMP. SWM FOR 1yr. STORM PROVIDED WITHIN DRY STORAGE VOLUME.

T.S.W.M. TRAP NOTE:
GEOTEXTILE SHALL BE PLACED OVER THE UPSTREAM FACE OF TSSM TRAPS

SYMBOL	DESCRIPTION
(Symbol)	EXISTING CONTOUR 2' INTERVAL
(Symbol)	PROPOSED CONTOUR 2' INTERVAL
(Symbol)	SPOT ELEVATION
(Symbol)	WALKOUT BASEMENT
(Symbol)	SILT FENCE
(Symbol)	SUPER SILT FENCE
(Symbol)	EROSION CONTROL MATTING
(Symbol)	LIMIT OF DISTURBANCE
(Symbol)	STREET LIGHT PER F-09-057
(Symbol)	LIMITED 550A NOISE LINE
(Symbol)	PROPOSED STORM DRAIN PIPE
(Symbol)	PROPOSED SEWER
(Symbol)	1% to 24.9% Slope
(Symbol)	EXISTING LANDSCAPING PER F-09-057
(Symbol)	EXISTING STREET TREES PER F-09-057
(Symbol)	REVERSE GUTTER PAN SLOPE
(Symbol)	EXISTING STORMDRAIN
(Symbol)	EXISTING SEWER
(Symbol)	EXISTING WATER
(Symbol)	EXISTING WATER & SEWER UTILITY EASEMENT
(Symbol)	EXISTING STREET TREES PER 50P-09-057
(Symbol)	EXISTING LANDSCAPING PER 50P-09-057
(Symbol)	FOREST CONSERVATION
(Symbol)	FOREST CONSERVATION PLANTING
(Symbol)	COMBINATION SUPER SILT FENCE AND TREE PROTECTION
(Symbol)	SUPER SILT FENCE
(Symbol)	EROSION CONTROL MATTING

PLAN
SCALE: 1" = 30'

PUBLIC FOREST CONSERVATION EASEMENT #5
(RETENTION) (14.33 AC.)
(RETENTION) (14.33 AC.)
PLAT NO. 20939

TEMPORARY STOCKPILE AREA BORNQUIST LOT 133
ELEV. B 522.21
6,420 SQ. FT.

ARMISTEAD LOT 127
5,899 SQ. FT.

ARMISTEAD LOT 129
6,143 SQ. FT.

ARMISTEAD LOT 131
6,420 SQ. FT.

ARMISTEAD LOT 132
7,035 SQ. FT.

ARMISTEAD LOT 134
6,194 SQ. FT.

ARMISTEAD LOT 135
6,194 SQ. FT.

ARMISTEAD LOT 136
6,194 SQ. FT.

ARMISTEAD LOT 137
6,194 SQ. FT.

ARMISTEAD LOT 138
6,194 SQ. FT.

ARMISTEAD LOT 139
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ARMISTEAD LOT 140
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ARMISTEAD LOT 141
6,194 SQ. FT.

ARMISTEAD LOT 142
6,194 SQ. FT.

ARMISTEAD LOT 143
6,194 SQ. FT.

ARMISTEAD LOT 144
6,194 SQ. FT.

ARMISTEAD LOT 145
6,194 SQ. FT.

ARMISTEAD LOT 146
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ARMISTEAD LOT 147
6,194 SQ. FT.

ARMISTEAD LOT 148
6,194 SQ. FT.

ARMISTEAD LOT 149
6,194 SQ. FT.

ARMISTEAD LOT 150
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ARMISTEAD LOT 151
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ARMISTEAD LOT 152
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ARMISTEAD LOT 268
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ARMISTEAD LOT 269
6,194 SQ. FT.

ARMISTEAD LOT 270
6,194 SQ. FT.

ARMISTEAD LOT 271
6,194 SQ. FT.

ARMISTEAD LOT 272
6,194 SQ. FT.

ARMISTEAD LOT 273
6,194 SQ. FT.

ARMISTEAD LOT 274
6,194 SQ. FT.

ARMISTEAD LOT 275
6,194 SQ. FT.

ARMISTEAD LOT 276
6,194 SQ. FT.

ARMISTEAD LOT 277
6,194 SQ. FT.

ARMISTEAD LOT 278
6,194 SQ. FT.

ARMISTEAD LOT 279
6,194 SQ. FT.

ARMISTEAD LOT 280
6,194 SQ. FT.

ARMISTEAD LOT 281
6,194 SQ. FT.

ARMISTEAD LOT 282
6,194 SQ. FT.

ARMISTEAD LOT 283
6,194 SQ. FT.

ARMISTEAD LOT 284
6,194 SQ. FT.

ARMISTEAD LOT 285
6,194 SQ. FT.

ARMISTEAD LOT 286
6,194 SQ. FT.

ARMISTEAD LOT 287
6,194 SQ. FT.

ARMISTEAD LOT 288
6,194 SQ. FT.

ARMISTEAD LOT 289
6,194 SQ. FT.

ARMISTEAD LOT 290
6,194 SQ. FT.

ARMISTEAD LOT 291
6,194 SQ. FT.

ARMISTEAD LOT 292
6,194 SQ. FT.

ARMISTEAD LOT 293
6,194 SQ. FT.

ARMISTEAD LOT 294
6,194 SQ. FT.

ARMISTEAD LOT 295
6,194 SQ. FT.

ARMISTEAD LOT 296
6,194 SQ. FT.

ARMISTEAD LOT 297
6,194 SQ. FT.

ARMISTEAD LOT 298
6,194 SQ. FT.

ARMISTEAD LOT 299
6,194 SQ. FT.

**(F-09-057)
TEMPORARY SEDIMENT BASIN No. 1 @ BMP #1**

INITIAL D.A. = 9.30 Ac.±
FINAL D.A. = 12.77 Ac.±
STORAGE REQUIRED
WET = 1800 x 12.77 = 22,986 CuFt.
DRY = 1800 x 12.77 = 22,986 CuFt.
STORAGE PROVIDED
WET = 22,986 CuFt. @ ELEV. 463.30
DRY = 22,986 CuFt. @ ELEV. 465.45
BOTTOM ELEV. = 458.00
STORAGE DEPTH = 5.3'
TOP OF SETTLED EMBANKMENT = 469.00
CLEAN OUT ELEV. = 461.50
RISER CREST ELEV. = 465.30
1 YR. ORIFICE EL. = 463.30
Q1 exist. = 0.47 c.f.s.
Q1 prop. = 0.6 c.f.s. @ 465.46



PLAN
SCALE: 1" = 30'

SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
○	SPOT ELEVATION
○	WALKOUT BENCHMARK
---	SILT FENCE
---	SUPER SILT FENCE
---	EROSION CONTROL MATTING
---	LIMIT OF DISTURBANCE
---	STREET LIGHT PER F-09-057
---	UNMITIGATED EGBA NOISE LINE
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED SEWER
---	1% to 24.9% Slope
○	EXISTING LANDSCAPING PER F-09-057
○	EXISTING STREET TREES PER F-09-057
---	REVERSE GUTTER PAN SLOPE
---	EXISTING STORMDRAIN
---	EXISTING SEWER
---	EXISTING WATER
---	EXISTING WATER & SEWER UTILITY EASEMENT
○	EXISTING STREET TREES PER S0P-09-037
○	EXISTING LANDSCAPING PER S0P-09-037
---	FOREST CONSERVATION
---	FOREST CONSERVATION PLANTING
---	COMBINATION SUPER SILT FENCE AND TREE PROTECTION
---	SUPER SILT FENCE
---	EROSION CONTROL MATTING

Note: There is no "AS-BUILT" information provided on this sheet.
CHARLES J. ORLAND, P.E. NO. 19204
11/6/12 Date

LIMIT OF DISTURBANCE NOTE:
NO MORE THAN 20 ACRES MAY BE UNSTABILIZED AT ANY TIME.

REVISED

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PARK
ELLICOTT CITY, MARYLAND 21114
410.461.2255



DEVELOPER'S CERTIFICATE
I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion. I Also Authorize Periodic On-Site Inspections By The Howard Soil Conservation District.
Signature of Developer: *John K. Phelan* Date: 11/14/12

ENGINEER'S CERTIFICATE
I Certify That This Plan For Pond Construction, Erosion And Sediment Control Represents A Practical And Workable Plan Based On My Personal Knowledge Of The Site Conditions. This Plan Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District. I Have Notified The Developer That He/She Must Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion.
Signature of Engineer: *Charles J. Orland* Date: 11/14/12

These Plans For Small Pond Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.

BUILDERS
NV HOMES 6085 MARSHALLEE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-5956
RYAN HOMES 6085 MARSHALLEE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956

DEVELOPER
WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLICOTT CITY, MARYLAND 21042
443-367-0422

OWNERS
WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLICOTT CITY, MARYLAND 21042
443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Kate Schuchman 11/15/12 Date
Chief, Division of Land Development

Charles J. Orland 11/15/12 Date
Chief, Development Engineering Division

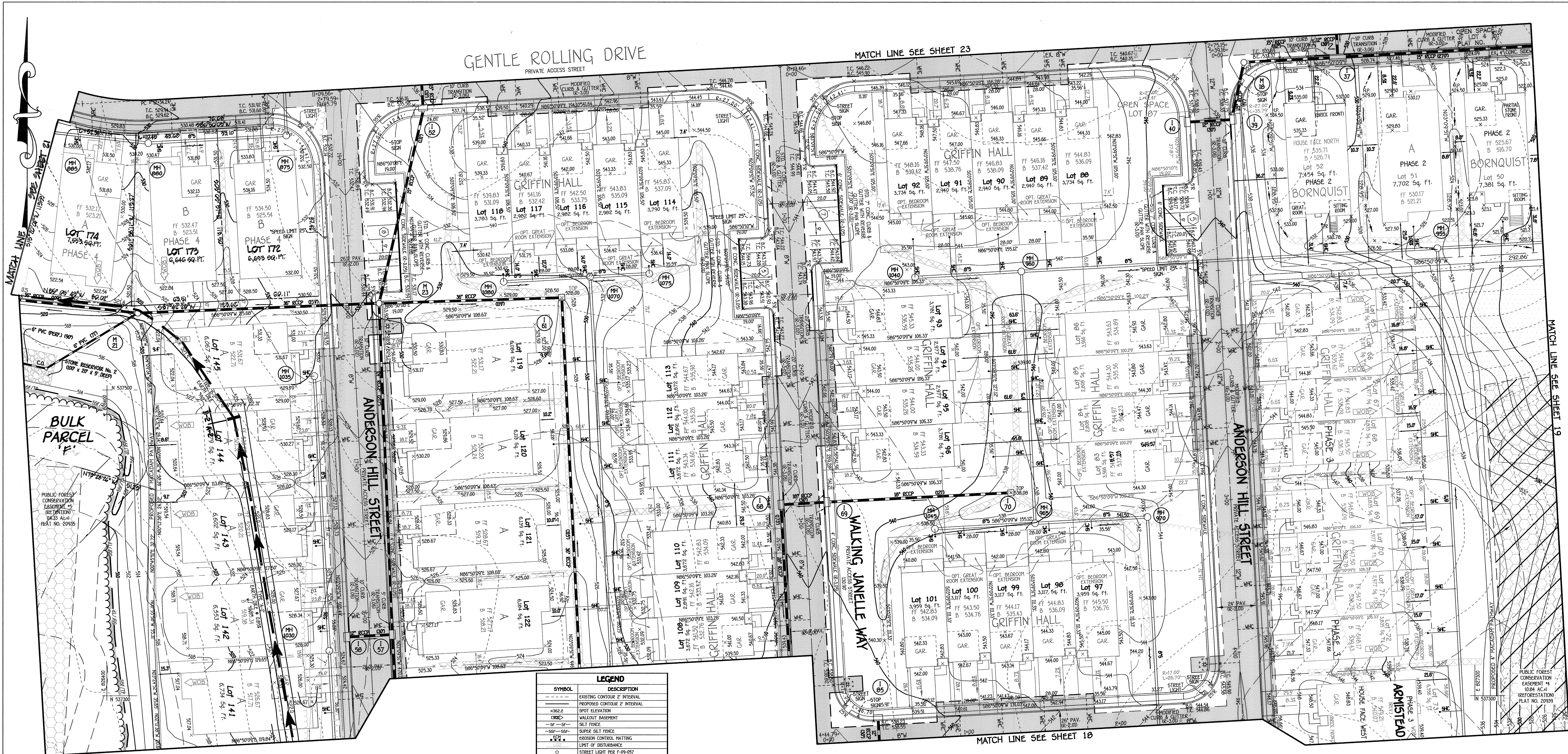
Director - Department of Planning and Zoning

PROJECT	GTW'S WAVERLY WOODS	SECTION	14	PARCEL NO. 'E'	PHASE II PARCEL 140-105-176-231 & 240-300
PLAT	SEE WAVEDRY NOTE #23	BLOCK NO.	3 & 4	ZONE	PSC
WATER CODE	K-02	TAX/ZONE	16	ELEC. DIST.	THIRD
		SEWER CODE	5992000	CENSUS TR.	60300

SEDIMENT/EROSION CONTROL PLAN (PHASE ONE)
AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASE II, TRV U LOTS 3, 12 THRU 33, 44 THRU 66, 80 THRU 108, 172 THRU 231 & 240 THRU 300
TOWNHOUSE & SINGLE FAMILY HOMES

ZONING: PSC
GRID NO.: 3 & 4
PARCEL NO.: PART OF 249
THIRD ELECTION DISTRICT - HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: 08/26/08, 07/19
SHEET 19 OF 100

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET



T.S.W.M. TRAP NOTE:
GEOTEXTILE SHALL BE PLACED OVER THE UPSTREAM FACE OF TSWM TRAPS

LEGEND	
[Symbol]	EXISTING CONTOUR 2' INTERVAL
[Symbol]	PROPOSED CONTOUR 2' INTERVAL
[Symbol]	SPOT ELEVATION
[Symbol]	WALKOUT BASEMENT
[Symbol]	SET FENCE
[Symbol]	SUPER SILT FENCE
[Symbol]	EROSION CONTROL MATTING
[Symbol]	LIMIT OF DISTURBANCE
[Symbol]	STREET LIGHT PER F-09-057
[Symbol]	UNLIMITED 658N WALK LINE
[Symbol]	PROPOSED STORM PIPE
[Symbol]	PROPOSED SEWER
[Symbol]	1% to 24.9% Slope
[Symbol]	EXISTING LANDSCAPING PER F-09-057
[Symbol]	EXISTING STREET TREES PER F-09-057
[Symbol]	REVERSE GUTTER PAN SLOPE
[Symbol]	EXISTING STORMDRAIN
[Symbol]	EXISTING GRADE
[Symbol]	EXISTING WATER
[Symbol]	EXISTING WATER & SEWER UTILITY EASEMENT
[Symbol]	EXISTING STREET TREES PER SOP-09-037

PLAN
SCALE: 1" = 30'

LEGEND	
[Symbol]	EXISTING LANDSCAPING PER SOP-09-037
[Symbol]	FOREST CONSERVATION
[Symbol]	FOREST CONSERVATION PLANTING
[Symbol]	COMBINATION SUPER SILT FENCE AND TREE PROTECTION
[Symbol]	SUPER SILT FENCE
[Symbol]	EROSION CONTROL MATTING
[Symbol]	HIGH VISIBILITY FENCING

AS-BUILT CERTIFICATION
Note: There is no "AS BUILT" information provided on this sheet.
Charles J. Orlandi, Sr. 11/6/12
CHAS. J. ORLANDI, SR. NO. 19204

LIMIT OF DISTURBANCE NOTE:
NO MORE THAN 20 ACRES MAY BE UNSTABILIZED AT ANY TIME.

HIGH VISIBILITY FENCING "HVP" NOTE:
PROVIDE WITH ALL INTERNAL EARTH DIKES.

SILT FENCE NOTE:
CONTRACTOR TO IMPREGATE ALL SF/SSF RUNNING DOWNHILL INTO U-SHAPED SEQUENTS AT 2' AND CURL ENDS UPHILL 2' IN ELEVATION.

REVISED

FISHER, COLLINS & CARTER, INC. CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS CENTRAL SQUARE OFFICE PARK - 1072 BALDOROCK NATIONAL FREE ELLIOTT CITY, MARYLAND 21042 410-461-2995		
7	REV. TO ADD PER SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	10/17/12
6	REV. TO ADD PER SIMPLE LOTS PER F-13-1071	10/17/12
5	REV. TO ADD PER SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
4	REV. PER ADDITION APPO PHASE 4 BLDGS & 5-06-13 PHASING TAB AND ADJUSTMENTS ASSOCIATED WITH INTERIOR TOWNHOUSE UNIT.	12/19/11
3	REV. GROSS LOT 50, TO SHOW AS-BUILT CONDITIONS	3/2/12
2	REV. TO ADD PER SIMPLE LOTS PER F-10-113	1/12/11
1	REV. PER ADDITION APPO PHASE 3 BLDGS & 5-06-13 PHASING TAB	3/24/10
NO.	REVISION	DATE



DEVELOPER'S CERTIFICATE
"I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion. I Also Authorize Periodic On-Site Inspections By The Howard Soil Conservation District."
John K. Klotz 11/14/12
Signature Of Developer Date

ENGINEER'S CERTIFICATE
"I Certify That This Plan For Pond Construction, Erosion And Sediment Control Represents A Practical And Workable Plan Based On My Personal Knowledge Of The Site Conditions. The Plan Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District. I Have Notified The Developer That He/She Must Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion."
Charles J. Orlandi, Sr. 11/14/12
Signature Of Engineer Date

These Plans For Small Pond Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.
John K. Klotz 11/15/12
Howard SCD Date

BUILDERS
NV HOMES 6085 MARSHALLEE DRIVE ELK RIDGE, MD. 21075 410-379-5956
RYAN HOMES 6085 MARSHALLEE DRIVE ELK RIDGE, MD. 21075 410-379-5956

DEVELOPER
WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLIOTT CITY, MARYLAND 21042
443-367-0422

OWNERS
WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLIOTT CITY, MARYLAND 21042
443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Kathleen Doherty 12/19/12
Chief, Division of Land Development Date

Charles J. Orlandi, Sr. 12/19/12
Chief, Development Engineering Division Date

David B. Wright 12/19/12
Director - Department of Planning and Zoning Date

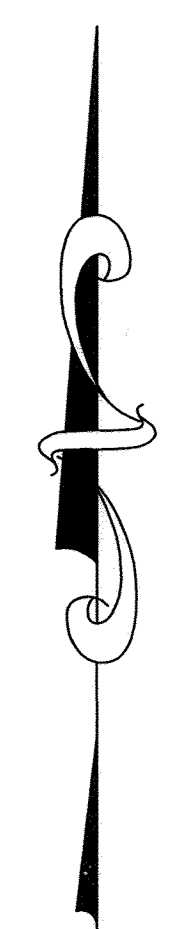
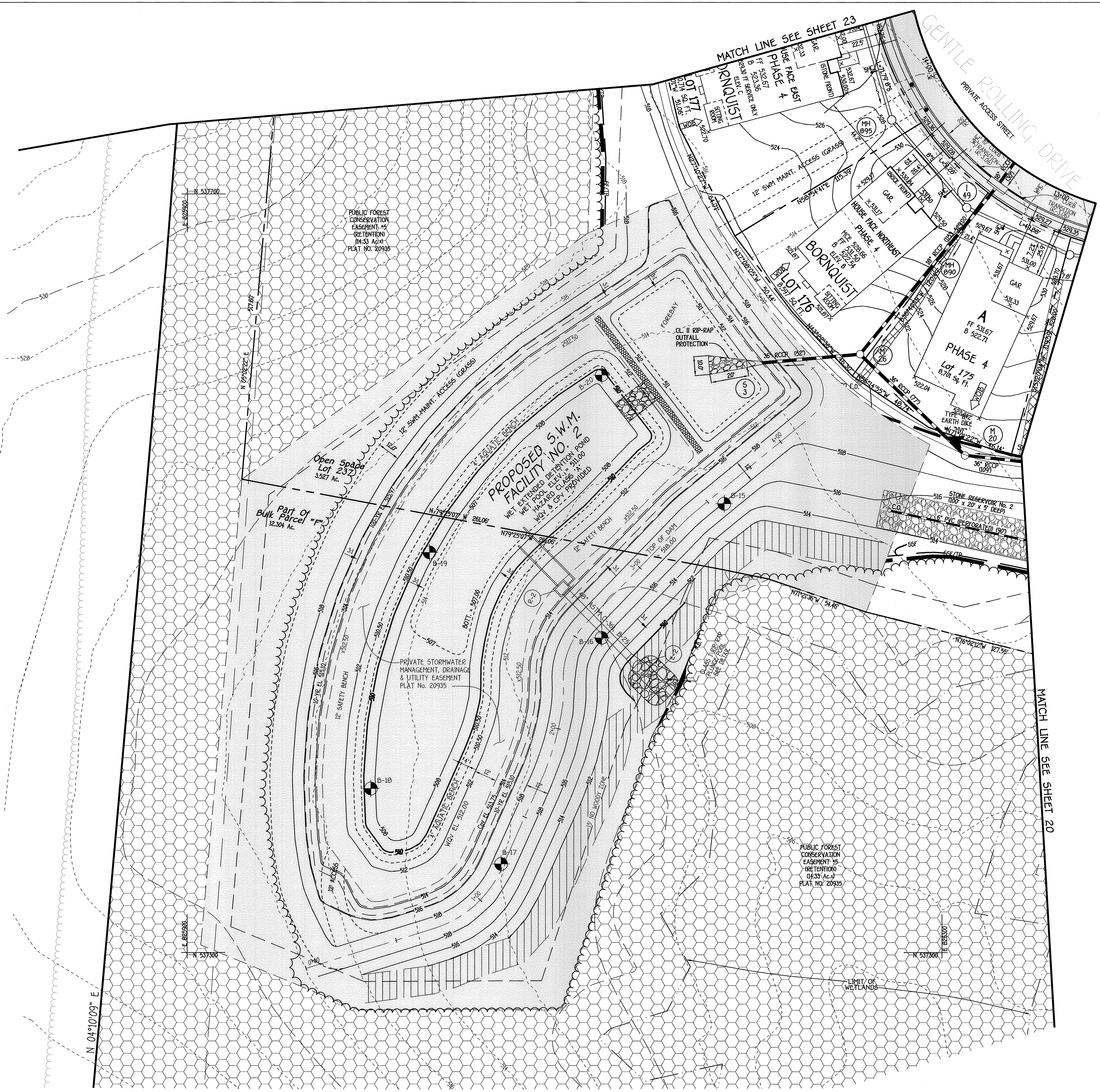
PROJECT	GTW'S WAVERLY WOODS	SECTION	14	PARCEL NO. 'E'	100-15-35-40-06-202-10A-70-001 & 240-307
PLAT	SEE GENERAL NOTE #91	BLOCK NO.	3 & 4	ZONE	PSC
WATER CODE	K-02	TAX/ZONE	16	ELEC. DIST.	THIRD
		SEWER CODE	9592000	CENSUS TR.	60300

SEDIMENT/EROSION CONTROL PLAN (PHASE ONE)
AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASE II, TRAIL V LOTS 9, 10, TRAIL 99, TRAIL 80, TRAIL 109, TRAIL 231 & C/O PERI 309 TOWNHOUSE & SINGLE FAMILY HOMES

ZONING: PSC
TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
THIRD ELECTION DISTRICT: HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: DECEMBER, 2012 SHEET 20 OF 100 SDP-09-039

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

TEMPORARY SEDIMENT BASIN No. 2 @ BMP #2
 INITIAL D.A. = 13.36 Ac.±
 FINAL D.A. = 26.81 Ac.±
 STORAGE REQUIRED
 WET = 1800 x 26.81 = 48,258 CuFt.
 DRY = 1800 x 26.81 = 48,258 CuFt.
 STORAGE PROVIDED
 WET = 48,118 CuFt. @ ELEV. 511.00
 DRY = 48,258 CuFt. @ ELEV. 512.90
 BOTTOM ELEV. = 507.00
 STORAGE DEPTH = 4.0'
 TOP OF SETTLED EMBANKMENT = 518.00
 CLEAN OUT ELEV. = 509.70
 RISER CREST ELEV. = 513.75
 1 YR. ORIFICE EL. = 511.00
 Q1 exist. = 1.0 c.f.s.
 Q1 prop. = 1.8 c.f.s. @ 513.89 (NON-EROSIVE)



LEGEND	
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
•	SPOT ELEVATION
---	WALKOUT BASEMENT
---	SILT FENCE
---	SUPER SILT FENCE
---	EROSION CONTROL MATTING
---	LIMIT OF DISTURBANCE
---	STREET LIGHT PER F-09-07
---	UNNOTICATED 650A NOISE LINE
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED SEWER
---	1% to 24.9% Slope
---	EXISTING LANDSCAPING PER F-09-07
---	EXISTING STREET TREES PER F-09-07
---	REVERSE GUTTER PAN SLOPE
---	EXISTING STORMDRAIN
---	EXISTING SEWER
---	EXISTING WATER & SEWER UTILITY EASEMENT
---	EXISTING STREET TREES PER SDP-09-07
---	EXISTING LANDSCAPING PER SDP-09-07
---	FOREST CONSERVATION
---	FOREST CONSERVATION PLANTING
---	COMBINATION SUPER SILT FENCE AND TREE PROTECTION
---	SUPER SILT FENCE
---	EROSION CONTROL MATTING

PLAN
 SCALE: 1" = 30'

AS-BUILT CERTIFICATION
 Note: There is no "AS BUILT" information provided on this sheet.
 Charles J. O'Connell, No. 13104
 Date: 11/16/14

LIMIT OF DISTURBANCE NOTE:
 NO MORE THAN 20 ACRES MAY BE UNSTABILIZED AT ANY TIME.

REVISED

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 1872 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 461-2000

NO.	REVISION	DATE
5	REV. TO ADD FEE SIMPLE LOTS PER F-13-101	12/17/13
4	REV. HSE. & GRD. LOT 177, FROM GEN. BOX 'A' TO BORNQUIST	10/30/13
3	REV. HSE. & GRD. LOT 176, FROM GEN. BOX 'A' TO BORNQUIST	10/30/13
2	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12

DEVELOPER'S CERTIFICATE
 "We Certify That All Development And/or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion. I Also Authorize Periodic On-Site Inspections By The Howard Soil Conservation District."
 Signature of Developer: [Signature]
 Date: 11/19/14

ENGINEER'S CERTIFICATE
 "I Certify That This Plan For Pond Construction And Sediment Control Represents A Practical And Workable Plan Based On A Study Of The Site Conditions. This Plan Was Prepared In Accordance With The Standards Of The Howard Soil Conservation District. I Have Notified The Developer That The Plans Are Subject To The Supervision Of A Registered Professional Engineer To Supervise Pond Construction And Provide An "As-Built" Plan Of The Pond Within 30 Days Of Completion."
 Signature of Engineer: [Signature]
 Date: 11/19/14

These Plans For Small Pond Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.
 Signature of Developer: John R. Robertson
 Date: 11/28/14
BUILDERS
 NV HOMES CONSERVATION SUITE 130 ELKRIDGE, MD. 21075 410-379-5956
 RYAN HOMES SUITE 140 ELKRIDGE, MD. 21075 410-379-5956
DEVELOPER
 WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422
OWNERS
 WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Chief, Division of Land Development: [Signature] Date: 2/10/14
 Chief, Development Engineering Division: [Signature] Date: 2/10/14
 Director - Department of Planning and Zoning: [Signature] Date: 2/10/14
PROJECT
 GTW'S WAVERLY WOODS SECTION 14 PARCEL NO. 'E'
PLAT
 BLOCK NO. 3 & 4 ZONE PSC TAX/ZONE 16 ELEC. DIST. THIRD CENSUS TR. 60300
WATER CODE K-02 **SEWER CODE** 9592000

SEDIMENT/EROSION CONTROL PLAN (PHASE ONE)
AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASE II, THRU V LOTS 5, 12 THRU 29, 44 THRU 66, 88 THRU 109, 172 THRU 231 & 240 THRU 263 TOWNHOUSE & SINGLE FAMILY HOMES
 ZONING: PSC
 TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: DECEMBER, 2013
 SHEET 21 OF 100 SDP-09-039

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET



LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
○	SPOT ELEVATION
---	WALKOUT BASEMENT
---	SILT FENCE
---	SUPER SILT FENCE
---	EROSION CONTROL MATTING
---	LIMIT OF DISTURBANCE
---	STREET LIGHT PER F-09-097
---	UNMITIGATED 65DBA NOISE LINE
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED SEWER
---	VSE TO 24.9% Slope
---	EXISTING LANDSCAPING PER F-09-097
---	EXISTING STREET TREES PER F-09-097
---	REVERSE CUTTER PAN SLOPE
---	EXISTING STORDBRAN
---	EXISTING SEWER
---	EXISTING WATER
---	EXISTING WATER & SEWER UTILITY EASEMENT
---	EXISTING STREET TREES PER S09-09-037

LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING LANDSCAPING PER S09-09-037
---	FOREST CONSERVATION
---	FOREST CONSERVATION PLANTING
---	SSF/TP COMBINATION SUPER SILT FENCE AND TREE PROTECTION
---	SSF SUPER SILT FENCE
---	EROSION CONTROL MATTING

PLAN
SCALE: 1" = 30'

AS-BUILT CERTIFICATION
Note: There is no "AS BUILT" information provided on this sheet.

LIMIT OF DISTURBANCE NOTE:
NO MORE THAN 20 ACRES MAY BE UNSTABILIZED AT ANY TIME.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 1072 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042
410 461-3995

NO.	REVISION	DATE
11	REV. TO ADD FEE SIMPLE LOTS PER F-11-111 & ADD PHASE 4 TO S09-09-037	10/9/14
10	REV. TO ADD FEE SIMPLE LOTS PER F-13-101	12/17/13
9	REV. HSE. & GRD., LOT 181 FROM GEN. BOX 'A' TO BORNQUIST	10/30/13
8	REV. HSE. & GRD., LOT 180 FROM GEN. BOX 'A' TO ARMISTEAD	10/30/13
7	REV. HSE. & GRD., LOT 179 FROM GEN. BOX 'A' TO ARMISTEAD	10/30/13
6	REV. HSE. & GRD., LOT 156 FROM GEN. BOX 'A' TO BORNQUIST	6/25/13
5	REV. HSE. & GRD., LOT 157 FROM GEN. BOX 'A' TO BORNQUIST	5/7/13
4	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
3	REV. PER. ADDITION APFO PHASE 4 BLDGS & 05-06-13 PHASING TAB	12/19/11
2	REV. TO ADD FEE SIMPLE LOTS REV EASEMENT PER F-10-113	12/6/10
1	REV. PER. ADDITION APFO PHASE 3 BLDGS & 05-06-13 PHASING TAB	3/24/10

DEVELOPER'S CERTIFICATE
I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion. I Also Authorize Periodic On-Site Inspections By The Howard Soil Conservation District.

Signature of Developer: *John R. Roberts* Date: 1/9/14

ENGINEER'S CERTIFICATE
I Certify That This Plan For Small Pond Construction, Soil Erosion And Sediment Control Represents A Practical And Workable Plan Based On My Professional Knowledge Of The Site Conditions. This Plan Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District. I Have Notified The Developer That This Plan Represents A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion.

Signature of Engineer: *John R. Roberts* Date: 1/9/14

These Plans For Small Pond Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.

Signature: *John R. Roberts* Date: 1/28/14

BUILDERS
NV HOMES: 6085 MARSHALEE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-5956
RYAN HOMES: 6085 MARSHALEE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956

DEVELOPER
WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLICOTT CITY, MARYLAND 21042
443-367-0422

OWNERS
WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLICOTT CITY, MARYLAND 21042
443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development: *John R. Roberts* Date: 2/10/14
Chief, Development Engineering Division: *John R. Roberts* Date: 2/10/14
Director - Department of Planning and Zoning: *John R. Roberts* Date: 2/10/14

PROJECT: GTW'S WAVERLY WOODS SECTION: 14 PARCEL NO. 'E' PHASE II, 300 V LOTS 5, 12 THRU 30, 44 THRU 66, 68 THRU 108, 178 THRU 231 & 240 THRU 269 TOWNHOUSE & SINGLE FAMILY HOMES

PLAT:	BLOCK NO.:	ZONE:	TAX/ZONE:	ELEC. DIST.:	CENSUS TR.:
SEE ABOVE NOTE #91	3 & 4	PSC	16	THIRD	60300

WATER CODE: K-02 SEWER CODE: 5992000

SEDIMENT/EROSION CONTROL PLAN (PHASE ONE)
AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASE II, THRU V LOTS 5, 12 THRU 30, 44 THRU 66, 68 THRU 108, 178 THRU 231 & 240 THRU 269 TOWNHOUSE & SINGLE FAMILY HOMES

ZONING: PSC
TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
DATE: SHOWN DATE: DECEMBER, 2013
SHEET 23 OF 100 S09-09-039

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET



PLAN
SCALE: 1" = 30'

AS-BUILT CERTIFICATION
Note: There is no "AS BUILT" information provided on this sheet.

Charles J. Ordo, Jr. 11/6/18
Date

LIMIT OF DISTURBANCE NOTE:
NO MORE THAN 20 ACRES MAY BE UNSTABILIZED AT ANY TIME.

HIGH VISIBILITY FENCING "HVF" NOTE:
PROVIDE WITH ALL INTERNAL EARTH DIKES.

SILT FENCE NOTE:
CONTRACTOR TO IMBERICATE ALL 5F/55F RUNNING DOWNHILL INTO J-SHAPED SEGMENTS AT 25' AND CURB ENDS UPHILL 2' IN ELEVATION.

LEGEND	
SYMBOL	DESCRIPTION
	EXISTING LANDSCAPING PER SDP-09-037
	FOREST CONSERVATION
	FOREST CONSERVATION PLANTING
	COMBINATION SUPER SILT FENCE AND TREE PROTECTION
	SUPER SILT FENCE
	EROSION CONTROL MATTING

TEMPORARY SEDIMENT BASIN No. 3 @ BMP #3
INITIAL D.A. = 25.44 AC.±
FINAL D.A. = 46.75 AC.±
STORAGE REQUIRED
WET = 1800 x 46.75 = 84,150 CuFt.
DRY = 1800 x 46.75 = 84,150 CuFt.
STORAGE PROVIDED
WET = 87,253 CuFt. @ ELEV. 464.50
DRY = 84,150 CuFt. @ ELEV. 466.44
BOTTOM ELEV. = 461.50
STORAGE DEPTH = 3.0'
TOP OF SETTLED EMBANKMENT = 473.00
CLEAN OUT ELEV. = 463.10
RISER CREST ELEV. = 468.40
1 YR. ORIFICE EL. = 464.50
Q1 exist. = 1.4 c.f.s. @ 468.37 (NON-EROSIVE)
Q1 prop. = 3.2 c.f.s. @ 468.37 (NON-EROSIVE)

LEGEND	
SYMBOL	DESCRIPTION
	EXISTING CONTOUR 2' INTERVAL
	PROPOSED CONTOUR 2' INTERVAL
	SPOT ELEVATION
	WALKOUT BASEMENT
	SILT FENCE
	SUPER SILT FENCE
	EROSION CONTROL MATTING
	LIMIT OF DISTURBANCE
	STREET LIGHT POLE F-09-097
	UNIMPROVED 600A NOISE LINE
	PROPOSED STORM DRAIN PIPE
	PROPOSED SEWER
	15% TO 24.9% Slope
	EXISTING LANDSCAPING PER F-09-097
	EXISTING STREET TREES PER F-09-097
	REVERSE GUTTER PAN SLOPE
	EXISTING STORM DRAIN
	EXISTING SEWER
	EXISTING WATER & SEWER UTILITY EASEMENT
	EXISTING STREET TREES PER SDP-09-037

CONTRACTOR NOTE:
CONTRACTOR SHALL REMOVE ALL OLD AND NEW JUNK, TRASH AND DEBRIS FROM FORESTS, FLOODPLAIN, STREAMS, WETLANDS AND THEIR BUFFERS.

NO.	REVISION	DATE
1	REV. PER ADDITION APPD PHASE 3 BLDGS & 5-06-13 PHASING TAB	3/24/10
2	REV. TO ADD FEE SIMPLE LOTS REV EASEMENT PER F-10-113 AND RELATED PUBLIC SPACE	12/16/10
3	REV. PER ADDITION APPD PHASE 4 BLDGS & 5-06-13 PHASING TAB	12/19/11
4	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GREEN HALL	9/28/12
5	REV. TO ADD FEE SIMPLE LOTS PER F-13-101	12/17/13
6	REV. TO ADD FEE SIMPLE LOTS PER F-14-111 AND PHASE V TO SDP-09-039	10/31/14
7	REV. NEW UTILITIES AND REV. SDP-09-039 WITH HSE BOX C, D, E	5/1/15
8	REV. PATHWAY	10/6/18



DEVELOPER'S CERTIFICATE
"I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion. I Also Authorize Periodic On-Site Inspections By The Howard Soil Conservation District."

Charles J. Ordo, Jr. 2-14-15
Date

ENGINEER'S CERTIFICATE
"I Certify That This Plan For Pond Construction, Erosion And Sediment Control Represents A Practical And Workable Plan Based On My Personal Knowledge Of The Site Conditions. This Plan Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District. I Have Notified The Developer That He/She Must Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion."

John R. Robinson 7/14/15
Date

These Plans For Small Pond Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.

John R. Robinson 7/14/15
Date

BUILDERS
NV HOMES 6005 MARSHALLEE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-5956
RYAN HOMES 6005 MARSHALLEE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956

DEVELOPER
WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLCOTT CITY, MARYLAND 21042 443-367-0422

OWNERS
WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLCOTT CITY, MARYLAND 21042 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Kate Anderson 7-23-15
Date
Chief, Division of Land Development

John Robinson 7-24-15
Date
Chief, Development Engineering Division

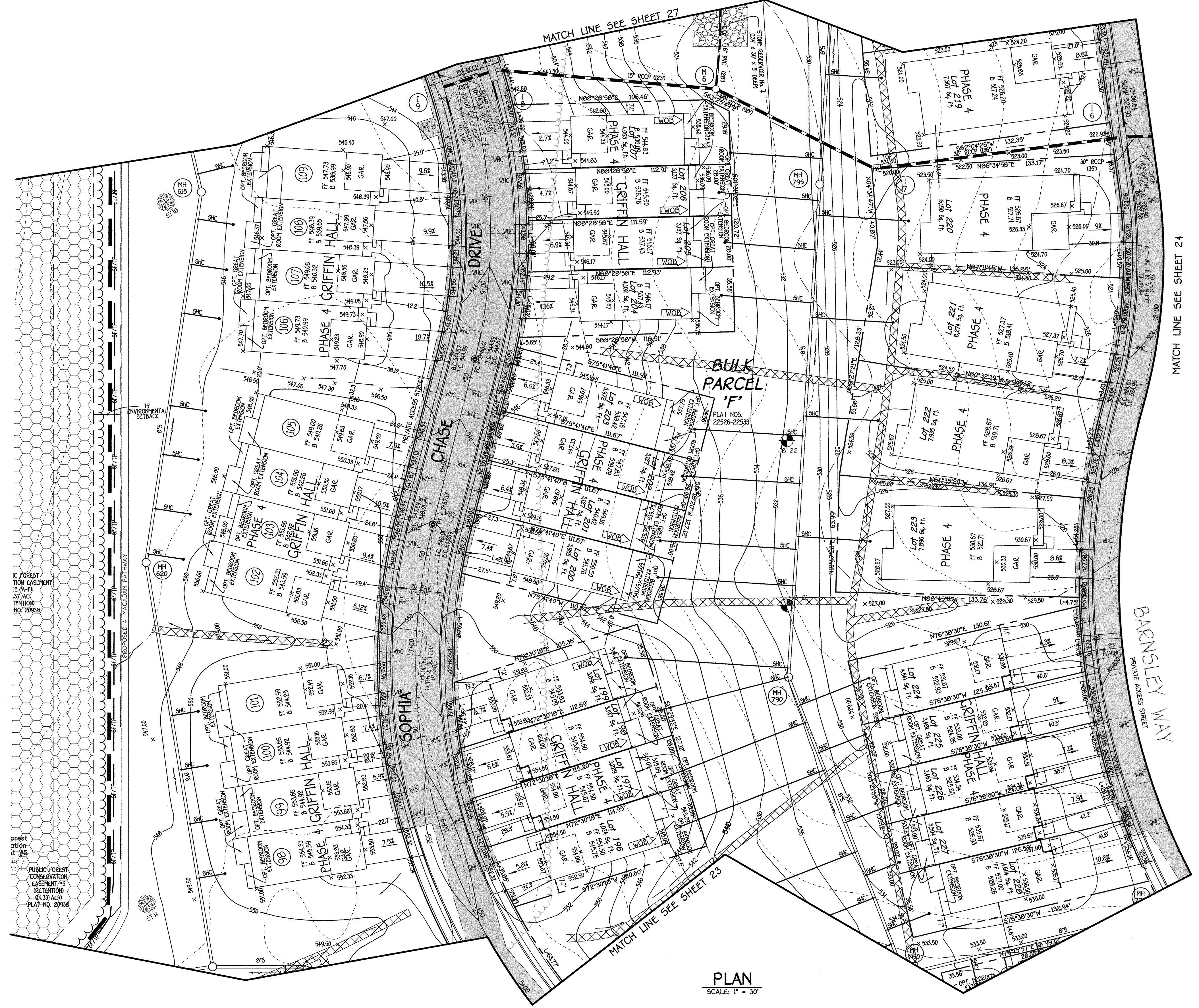
William Miller 8-9-15
Date
Director - Department of Planning and Zoning

PROJECT	SECTION	PARCEL NO.
GTW'S WAVERLY WOODS	14	PHASE II THRU V (12 THRU 30, 44 THRU 86, 88 THRU 105, 172 THRU 231 & 240 THRU 309)
PLAT	BLOCK NO.	ZONE
SEE GENERAL NOTE # 51	3 & 4	PSC
WATER CODE	TAX/ZONE	ELEC. DIST.
K-02	16	THIRD
	SEWER CODE	CENSUS TR.
	5992000	60300

SEDIMENT/EROSION CONTROL PLAN (PHASE ONE)
AGE RESTRICTED ADULT HOUSING GTW'S WAVERLY WOODS SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASES I, THRU V LOTS 5, 12 THRU 30, 44 THRU 86, 88 THRU 105, 172 THRU 231 & 240 THRU 309 TOWNHOUSE & SINGLE FAMILY HOMES

TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: MAY, 2015
SHEET 24 OF 100 SDP-09-039

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET



MATCH LINE SEE SHEET 24

MATCH LINE SEE SHEET 23

PLAN
SCALE: 1" = 30'

LIMIT OF DISTURBANCE NOTE:
NO MORE THAN 20 ACRES MAY BE
UNSTABILIZED AT ANY TIME.

LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
+	SPOT ELEVATION
---	WALKOUT BASEMENT
---	SILT FENCE
---	SUPER SILT FENCE
---	EROSION CONTROL MATTING
---	LIMIT OF DISTURBANCE
---	STREET LIGHT PER F-09-07
---	UNMITIGATED 65dB NOISE LINE
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED SEWER
---	5% TO 24.9% Slope
---	EXISTING LANDSCAPING PER F-09-07
---	EXISTING STREET TREES PER F-09-07
---	REVERSE SLOPE
---	EXISTING STORMDRAIN
---	EXISTING SEWER
---	EXISTING WATER
---	EXISTING WATER & SEWER UTILITY EASEMENT
---	EXISTING STREET TREES PER 50P-09-07
---	EXISTING LANDSCAPING PER 50P-09-07
---	FOREST CONSERVATION
---	FOREST CONSERVATION PLANTING
---	COMBINATION SUPER SILT FENCE AND TREE PROTECTION
---	SUPER SILT FENCE
---	EROSION CONTROL MATTING

AS-BUILT CERTIFICATION
Note: There is no "AS BUILT" information provided on this sheet.
Charles J. O'Connell, P.E. 11/16/14
NO 19204 Date

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042
410P 461-2255

NO.	REVISION	DATE
5	REV. TO ADD PER SIMPLE LOTS PER F-13-101	10/31/14
4	REV. TO ADD PER SIMPLE LOTS PER F-12-009 AND ADD GRIFFIN HALL	9/28/12
3	REV. PER ADDITION APPO PHASE 4 BLDGS & 5-06-13 PHASING TAB AND ADJUSTMENTS ASSOCIATED WITH INTERIOR TOUBHOUSE UNIT.	12/19/11
2	REV. TO ADD PER SIMPLE LOTS REV EASEMENT PER F-10-133	12/16/10
1	REV. PER ADDITION APPO PHASE 3 BLDGS & 5-06-13 PHASING TAB	3/24/10

DEVELOPER'S CERTIFICATE
"I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion. I Also Authorize Periodic On-Site Inspections By The Howard Soil Conservation District."
John R. Roberto 11/14
Signature Of Developer Date

ENGINEER'S CERTIFICATE
"I Certify That This Plan For Pond Construction, Soil Erosion And Sediment Control Represents A Practical And Workable Plan For The Control Of Sediment And Erosion Before Beginning The Project. I Have Notified The Developer That This Plan Represents A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion."
John R. Roberto 11/14
Signature Of Engineer Date

These Plans For Small Pond Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.

John R. Roberto 11/28/14
Howard SCD Date

BUILDERS	
NV HOMES 6085 MARSHALLEE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-9956	RYAN HOMES 6085 MARSHALLEE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-9956

DEVELOPER		OWNERS	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELICOTT CITY, MARYLAND 21042 443-367-0422	WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELICOTT CITY, MARYLAND 21042 443-367-0422		

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Ketle... 2/19/14
Chief, Division of Land Development Date

... 2/10/14
Chief, Development Engineering Division Date

... 2/16/14
Director - Department of Planning and Zoning Date

PROJECT	SECTION	PARCEL NO. "E"
GTW'S WAVERLY WOODS	14	PHASE 4, LOTS 196-230

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
SEE GRIFFIN HALL NOTE #91	3 & 4	PSC	16	THIRD	60300

WATER CODE	SEWER CODE
K-02	5992000

SEDIMENT/EROSION CONTROL PLAN (PHASE ONE)

**AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
SECTION 14**

"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASE II, THRU V LOTS 9, 10 THRU 99, 101 THRU 200 THRU 105, 172 THRU 231 & 240 THRU 309
TOWNHOUSE & SINGLE FAMILY HOUSE

ZONING: PSC
TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: DECEMBER, 2013
SHEET 25 OF 100 SDP-09-039

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
662.2	SPOT ELEVATION
ORBE	WALKOUT BASEMENT
SP-10	SILT FENCE
SSP-10	SUPER SILT FENCE
ESD	EROSION CONTROL MATTING
---	LIMIT OF DISTURBANCE
---	STREET LIGHT PER F-09-097
---	UNIDENTIFIED ASBA NOISE LINE
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED SEWER
---	15% to 24.9% slope
---	EXISTING LANDSCAPING PER F-09-057
---	EXISTING STREET TREES PER F-09-057
---	REVERSE GUTTER PAN SLOPE
---	EXISTING STORMDRAIN
---	EXISTING SEWER
---	EXISTING WATER
---	EXISTING WATER & SEWER UTILITY EASEMENT
---	EXISTING STREET TREES PER S0P-09-037
---	EXISTING LANDSCAPING PER S0P-09-037
---	FOREST CONSERVATION
---	FOREST CONSERVATION PLANTING
---	COMBINATION SUPER SILT FENCE AND TREE PROTECTION
---	SUPER SILT FENCE
---	EROSION CONTROL MATTING



PUBLIC FOREST CONSERVATION EASEMENT #7 (3.66 AC. RETENTION) (2.38 AC. REFORESTATION) (6.06 AC. TOTAL) PLAT NO. 20937

PRIVATE STORMWATER MANAGEMENT, DRAINAGE & UTILITY EASEMENT PLAT NO. 20937

PROPOSED S.W.M. FACILITY NO. 3 WET EXTENDED DETENTION POND WET FOOT ELEV. = 464.50 HAZARD CLASS 'A' WQV & CPV PROVIDED

PLAN
SCALE: 1" = 30'

LIMIT OF DISTURBANCE NOTE:
NO MORE THAN 20 ACRES MAY BE UNSTABILIZED AT ANY TIME.

AS-BUILT CERTIFICATION
Note: There is no "AS BUILT" information provided on this sheet.

Signature: Charles J. O'Connell, P.E.
Date: 11/6/18

REVISED

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042
(410) 461-1999

NO.	REVISION	DATE
7	REV. NEW UTILITIES, AND HOUSE BOXES	5/17/15
6	REV. TO ADD FEE SIMPLE LOTS PER F-14-111 AND PHASE V TO S0P-09-039	10/31/14
5	REV. TO ADD FEE SIMPLE LOTS PER F-13-101	12/17/13
4	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
3	REV. PER ADDITION APPD PHASE 4 BLDGS & S-06-13 PHASING TAB	12/19/11
2	REV. TO ADD FEE SIMPLE LOTS REV EASEMENT PER F-10-113 AND RELOCATE PUBLIC SEWER	12/6/10
1	REV. PER ADDITION APPD PHASE 3 BLDGS & S-06-13 PHASING TAB	3/24/10
NO.	REVISION	DATE



DEVELOPER'S CERTIFICATE
I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion. I Also Authorize Periodic On-Site Inspections By The Howard Soil Conservation District.

Signature of Developer: *John R. Platten* Date: 7-14-15

ENGINEER'S CERTIFICATE
I Certify That This Plan For Pond Construction, Erosion And Sediment Control Represents A Practical And Workable Plan Based On My Personal Knowledge Of The Site Conditions. This Plan Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District. I Have Notified The Developer That He/She/It/Them Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion.

Signature of Engineer: *Charles J. O'Connell* Date: 7/14/15

These Plans For Small Pond Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.

Signature: *John R. Platten* Date: 7/14/15

BUILDERS
RY HOMES
6085 MARSHALLE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-5956
RYAN HOMES
6085 MARSHALLE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956

DEVELOPER
WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELICOTT CITY, MARYLAND 21042 443-367-0422

OWNERS
WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELICOTT CITY, MARYLAND 21042 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Signature: *Kate C. ...* Date: 7-21-15
Chief, Division of Land Development

Signature: *...* Date: 7-21-15
Chief, Development Engineering Division

Signature: *...* Date: 8-4-15
Director - Department of Planning and Zoning

PROJECT	SECTION	PARCEL NO.
GTW'S WAVERLY WOODS	14	PHASE 5 THRU V LOTS 5, 12 THRU 39, 44 THRU 66, 88 THRU 105, 172 THRU 231 & 240 THRU 309

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
SEE GENERAL NOTE # 51	3 & 4	P5C	16	THIRD	60300

WATER CODE	SEWER CODE
K-02	5992000

SEDIMENT/EROSION CONTROL PLAN (PHASE ONE)
AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASES I, THRU V LOTS 5, 12 THRU 39, 44 THRU 66, 88 THRU 105, 172 THRU 231 & 240 THRU 309 TOWNHOUSE & SINGLE FAMILY HOMES

TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: MAY, 2015
SHEET 26 OF 100

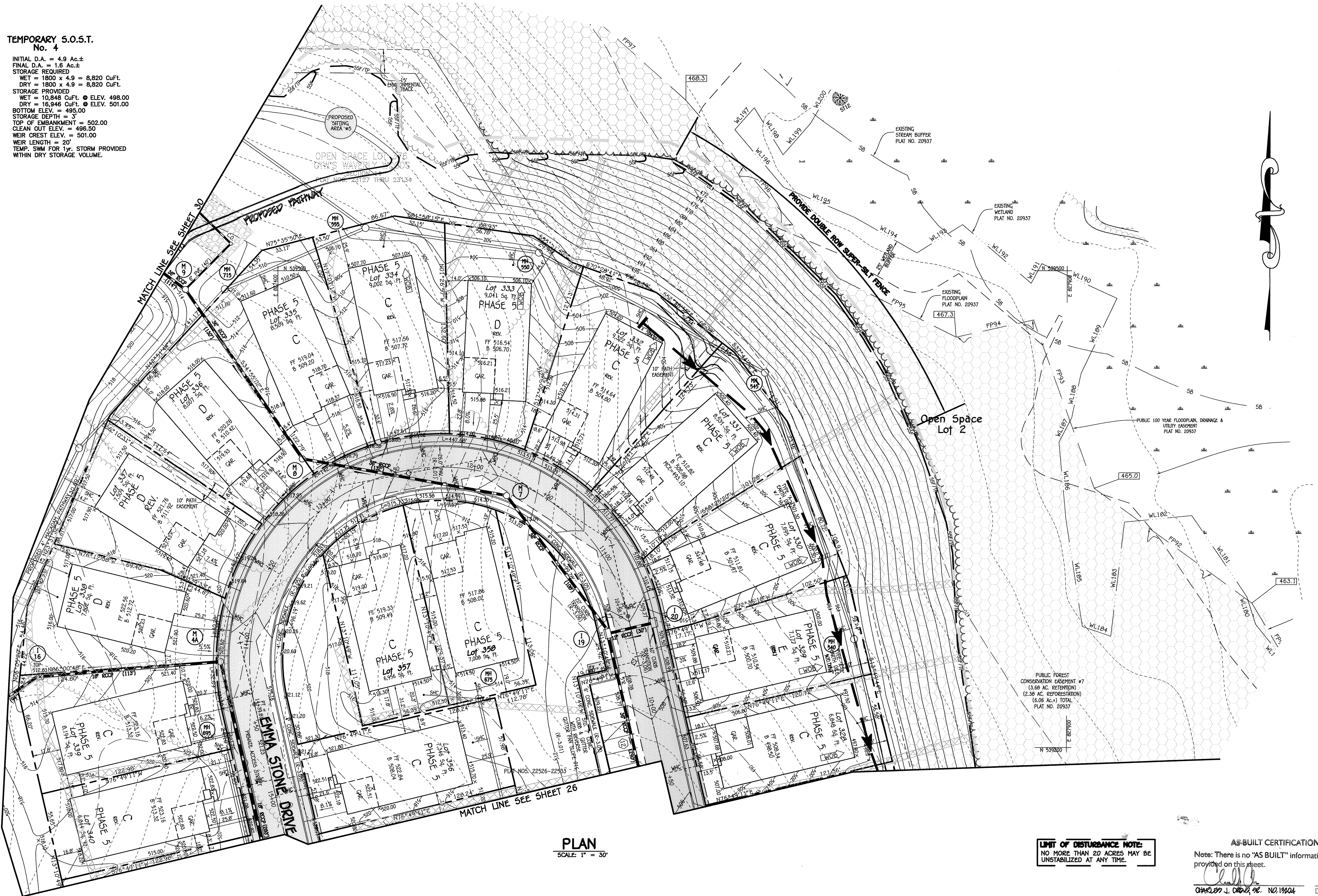
ZONING: P5C
DATE: MAY, 2015
SHEET 26 OF 100

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

K:\S\K\K\30770 GTW WEST\Jug\Construction Documents\Redline Phase 5 Revised 5.dwg, 7/13/2015 10:54:48 AM, 11

TEMPORARY S.O.S.T.
No. 4
 INITIAL D.A. = 4.9 Ac.±
 FINAL D.A. = 1.6 Ac.±
STORAGE REQUIRED
 WET = 1800 x 4.9 = 8,820 CuFt.
 DRY = 1800 x 4.9 = 8,820 CuFt.
STORAGE PROVIDED
 WET = 10,848 CuFt. @ ELEV. 498.00
 DRY = 16,948 CuFt. @ ELEV. 501.00
 BOTTOM ELEV. = 495.00
 STORAGE DEPTH = 3'
 TOP OF EMBANKMENT = 502.00
 CLEAN OUT ELEV. = 496.50
 WEIR CREST ELEV. = 501.00
 WEIR LENGTH = 20'
 TEMP. SWM FOR 1yr. STORM PROVIDED WITHIN DRY STORAGE VOLUME.

LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
462.2	SPOT ELEVATION
----	WALKOUT BASEMENT
---	SILT FENCE
---	SUPER SILT FENCE
---	EROSION CONTROL MATTING
---	LIMIT OF DISTURBANCE
---	STREET LIGHT PER F-09-057
---	UNMITIGATED ES&B NOISE LINE
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED SEWER
---	15% to 24.9% Slope
---	EXISTING LANDSCAPING PER F-09-057
---	EXISTING STREET TREES PER F-09-057
---	REVERSE CUTTER FAN SLOPE
---	EXISTING STORMDRAIN
---	EXISTING SEWER
---	EXISTING WATER
---	EXISTING WATER & SEWER UTILITY EASEMENT
---	EXISTING STREET TREES PER S0P-09-037
---	EXISTING LANDSCAPING PER S0P-09-037
---	FOREST CONSERVATION
---	FOREST CONSERVATION PLANTING
---	COMBINATION SUPER SILT FENCE AND TREE PROTECTION
---	SUPER SILT FENCE
---	EROSION CONTROL MATTING
---	EARTH DIKE w/ ELEVATION



PLAN
 SCALE: 1" = 30'

LIMIT OF DISTURBANCE NOTE:
 NO MORE THAN 20 ACRES MAY BE UNSTABILIZED AT ANY TIME.

AS-BUILT CERTIFICATION
 Note: There is no "AS BUILT" information provided on this sheet.

Charles J. Carter, P.E. 11/6/13
 GW's Waverly Woods, Inc. No. 19104 Date

REVISED

SEDIMENT/EROSION CONTROL PLAN (PHASE ONE)

**AGE RESTRICTED ADULT HOUSING
 GTW'S WAVERLY WOODS
 SECTION 14**

**"THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASES I, THRU V LOTS 5, 12 THRU 06, 08 THRU 105, 172 THRU 231 & 240 THRU 309
 TOWNHOUSE & SINGLE FAMILY HOMES**

ZONING: PSC
 TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: MAY, 2015
 SHEET 28 OF 100

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PkE
 ELICOTT CITY, MARYLAND 21042
 (410) 461-7995



DEVELOPER'S CERTIFICATE
 "I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion. I Also Authorize Periodic On-Site Inspections By The Howard Soil Conservation District."
Edward J. Carter 7/14/15
 Signature Of Developer Date

ENGINEER'S CERTIFICATE
 "I Certify That This Plan For Pond Construction, Erosion And Sediment Control Represents A Practical And Workable Plan Based On My Personal Knowledge Of The Site Conditions. This Plan Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District. I Have Notified The Developer That He/She Must Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion."
Edward J. Carter 7/14/15
 Signature Of Engineer Date

These Plans For Small Pond Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.

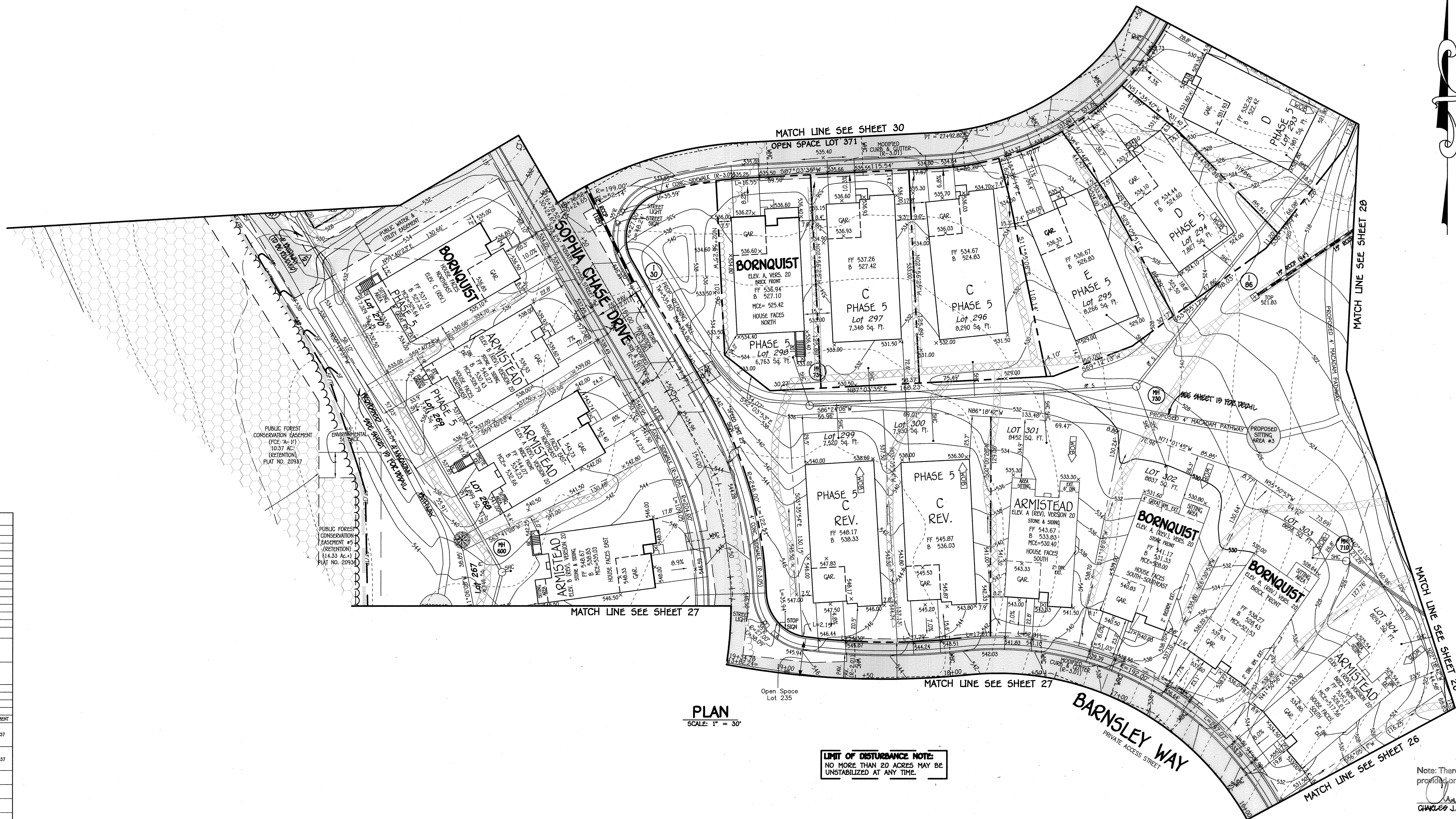
BUILDERS
 NV HOMES 6085 MARSHALLE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-5996
 RYAN HOMES 6085 MARSHALLE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5996
DEVELOPER
 WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELICOTT CITY, MARYLAND 21042
 443-367-0422
OWNERS
 WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELICOTT CITY, MARYLAND 21042
 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

K. J. Carter 7-21-15
 Chief, Division of Land Development Date
John R. Platten 7-24-15
 Chief, Development Engineering Division Date
 Director - Department of Planning and Zoning Date
 PROJECT: GTW'S WAVERLY WOODS SECTION 14 PARCEL NO. 12
 PHASES I THRU V LOTS 5, 12 THRU 06, 08 THRU 105, 172 THRU 231 & 240 THRU 309
 PLAT: SEE GENERAL NOTE # 51 BLOCK NO. 3 & 4 ZONE P5C TAX/ZONE 16 ELEC. DIST. THIRD CENSUS TR. 60300
 WATER CODE K-02 SEWER CODE 5992000

K:\S\5\96\03\07\070 GTW WESS\Jung\Construction Documents\Redline Phase 5 Revised 5.dwg 7/12/2015 10:59:37 AM, 11

K:\SOS\PROJ\30770\GTV WEST\GTM\Construction Documents\Revised Phase 5 Final\DWG\Construction Document - 30770-5-Phase 5.dwg, 7/13/2015 11:45:46 AM, 11



PLAN
SCALE: 1" = 30'

LIMIT OF DISTURBANCE NOTE:
NO MORE THAN 20 ACRES MAY BE UNSTABILIZED AT ANY TIME.

AS-BUILT CERTIFICATION
Note: There is no "AS BUILT" information provided on this sheet.
Charles J. Davis, P.E. 11/6/18
NO. 19924 Date

LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
•	SPOT ELEVATION
---	WALKOUT BASEMENT
---	SILT FENCE
---	SUPER SILT FENCE
---	EROSION CONTROL MATTING
---	LIMIT OF DISTURBANCE
---	STREET LIGHT PER F-09-097
---	UNSTABILIZED 558A NOISE LINE
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED SEWER
---	15% TO 24.9% Slope
---	EXISTING LANDSCAPING PER F-09-097
---	EXISTING STREET TREES PER F-09-097
---	REVERSE GUTTER PAN SLOPE
---	EXISTING STORMDRAIN
---	EXISTING SEWER
---	EXISTING WATER
---	EXISTING WATER & SEWER UTILITY EASEMENT
---	EXISTING STREET TREES PER S09-09-037
---	EXISTING LANDSCAPING PER S09-09-037
---	FOREST CONSERVATION
---	FOREST CONSERVATION PLANTING
---	COMBINATION SUPER SILT FENCE AND TREE PROTECTION
---	SUPER SILT FENCE
---	EROSION CONTROL MATTING

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10672 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
(410) 461-2995

NO.	REVISION	DATE
5	REV. PORTION OF PATHWAY TO BE REMOVED & PATHWAY TO BE ADDED	7/13/15
4	REV NEW UTILITIES, AND HOUSE BOXES	5/11/15
3	REV. TO ADD FEE SIMPLE LOTS PER F-14-111 AND PHASE V TO S09-09-039	10/31/14
2	REV TO ADD FEE SIMPLE LOTS PER F-13-101	12/17/13
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
NO.	REVISION	DATE

STATE OF MARYLAND
REGISTERED PROFESSIONAL ENGINEER

DEVELOPER'S CERTIFICATE
"I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion. I Also Authorize Periodic On-Site Inspections By The Howard Soil Conservation District."

James R. Blunt 7-14-15
Signature of Developer Date

ENGINEER'S CERTIFICATE
"I Certify That This Plan For Pond Construction, Erosion And Sediment Control Represents A Practical And Workable Plan Based On My Personal Knowledge Of The Site Conditions. This Plan Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District. I Have Notified The Developer That He/She Must Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion."

James R. Blunt 7/14/15
Signature of Engineer Date

These Plans For Small Pond Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.

James R. Blunt 7/14/15
Signature of Developer Date

BUILDERS
NV HOMES 6095 MARSHALLEE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-5956
RYAN HOMES 6095 MARSHALLEE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956

DEVELOPER
WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLCOTT CITY, MARYLAND 21042
443-367-0422

OWNERS
WAVERLY WOODS DEVELOPMENT CORPORATION,
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLCOTT CITY, MARYLAND 21042
443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Walter J. Jalen 7-24-15
Chief, Division of Land Development Date

Walter J. Jalen 7-24-15
Chief, Development Engineering Division Date

Director - Department of Planning and Zoning

PROJECT	SECTION	PARCEL NO.
GTW'S WAVERLY WOODS	14	PHASE II THRU V LOTS 1, 12 THRU 39, 44 THRU 66, 88 THRU 105, 172 THRU 231 & 240 THRU 309

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
SEE GENERAL NOTE # 51	3 & 4	PSC	16	THIRD	60300

WATER CODE: K-02
SEWER CODE: 5992000

REVISED

SEDIMENT/EROSION CONTROL PLAN (PHASE ONE)

AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
SECTION 14

"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASES II, THRU V LOTS 1, 12 THRU 39, 44 THRU 66, 88 THRU 105, 172 THRU 231 & 240 THRU 309
TOWNHOUSE & SINGLE FAMILY HOMES

TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: MAY, 2015
SHEET 29 OF 100

S09-09-039

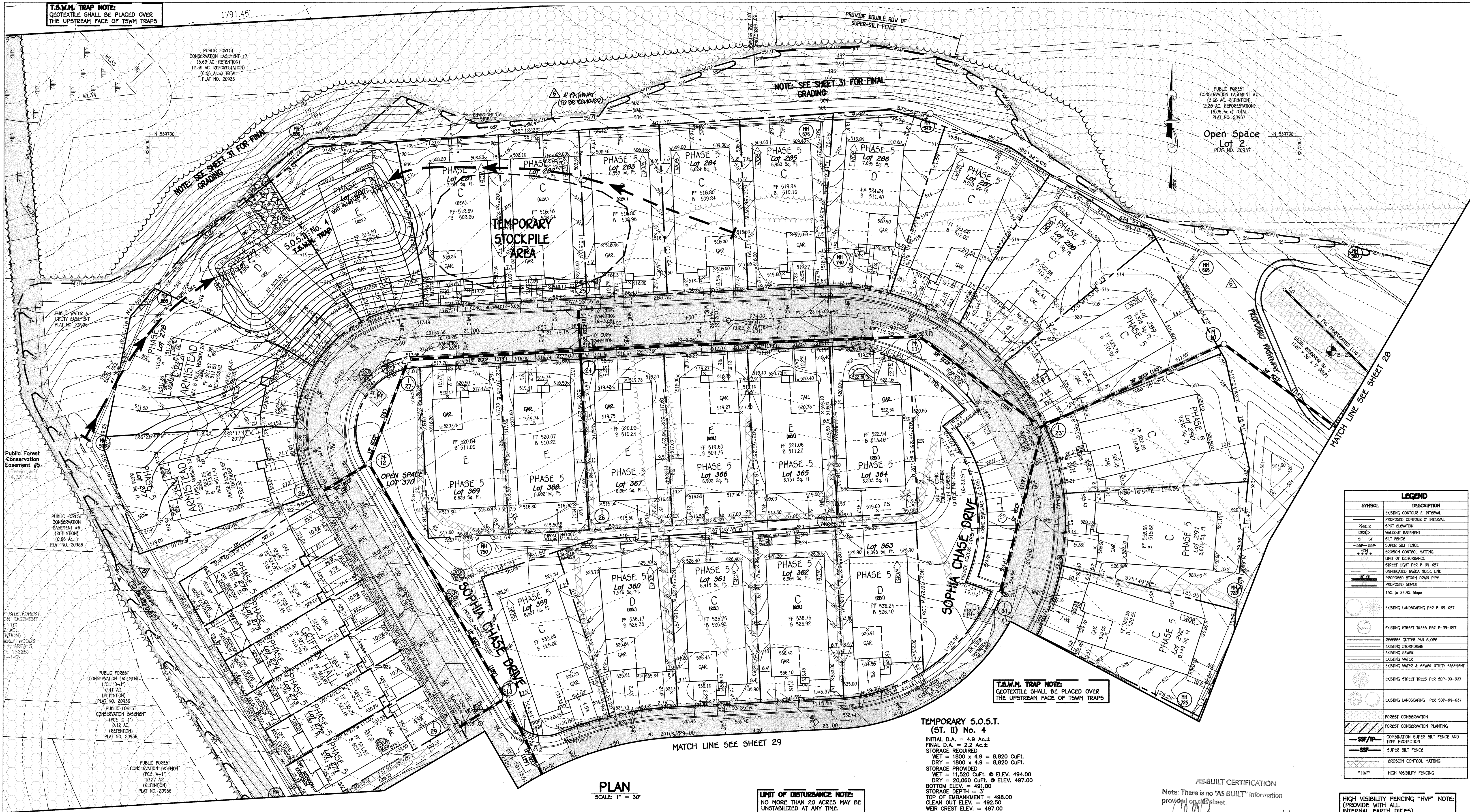
THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

T.S.W.M. TRAP NOTE:
GEOTEXTILE SHALL BE PLACED OVER THE UPSTREAM FACE OF TSWM TRAPS

1791.45'

PUBLIC FOREST CONSERVATION EASEMENT #7
(3.68 AC. RETENTION)
(2.38 AC. REFORESTATION)
16.06 AC. TOTAL
PLAT NO. 20936

PUBLIC FOREST CONSERVATION EASEMENT #7
(3.68 AC. RETENTION)
(2.38 AC. REFORESTATION)
(5.06 AC.) TOTAL
PLAT NO. 20937



NOTE: SEE SHEET 31 FOR FINAL GRADING

NOTE: SEE SHEET 31 FOR FINAL GRADING

MATCH LINE SEE SHEET 28

MATCH LINE SEE SHEET 29

T.S.W.M. TRAP NOTE:
GEOTEXTILE SHALL BE PLACED OVER THE UPSTREAM FACE OF TSWM TRAPS

SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
SPOT	SPOT ELEVATION
WALKOUT	WALKOUT BASIN
---	SILT FENCE
---	SUPER SILT FENCE
---	EROSION CONTROL MATING
---	LIMIT OF DISTURBANCE
---	STREET LIGHT PER F-09-057
---	UNIMPROVED GRASS PESS LINE
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED SEWER
---	1% TO 24.9% SLOPE
---	EXISTING LANDSCAPING PER F-09-057
---	EXISTING STREET TREES PER F-09-057
---	REVERSE GUTTER PAN SLOPE
---	EXISTING STORMDRAIN
---	EXISTING SEWER
---	EXISTING WATER
---	EXISTING WATER & SEWER UTILITY EASEMENT
---	EXISTING STREET TREES PER SOP-09-037
---	EXISTING LANDSCAPING PER SOP-09-037
---	FOREST CONSERVATION
---	FOREST CONSERVATION PLANTING
---	COMBINATION SUPER SILT FENCE AND TREE PROTECTION
---	SUPER SILT FENCE
---	EROSION CONTROL MATING
---	HIGH VISIBILITY FENCING

PLAN
SCALE: 1" = 30'

LIMIT OF DISTURBANCE NOTE:
NO MORE THAN 20 ACRES MAY BE UNSTABILIZED AT ANY TIME.

TEMPORARY S.O.S.T. (ST. II) No. 4
INITIAL D.A. = 4.9 Ac.±
FINAL D.A. = 2.2 Ac.±
STORAGE REQUIRED
WET = 1800 x 4.9 = 8,820 CuFt.
DRY = 1800 x 4.9 = 8,820 CuFt.
STORAGE PROVIDED
WET = 11,520 CuFt. @ ELEV. 494.00
DRY = 20,080 CuFt. @ ELEV. 497.00
BOTTOM ELEV. = 491.00
STORAGE DEPTH = 3'
TOP OF EMBANKMENT = 498.00
CLEAN OUT ELEV. = 492.50
WEIR LENGTH = 20'
TEMP. SYM FOR 1yr. STORM PROVIDED WITHIN DRY VOLUME.

AS-BUILT CERTIFICATION
Note: There is no "AS BUILT" information provided on this sheet.
CHARLES J. GARD, JR. NO. 19304 Date 11/6/18

HIGH VISIBILITY FENCING "HVF" NOTE:
(PROVIDE WITH ALL INTERNAL EARTH DIKES)

REVISED

FISHER, COLLINS & CARTER, INC.
CIVIL, ENGINEERING, CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21142
(410) 461-7299

NO.	REVISION	DATE
1	REV. PATHWAY	10/9/18
2	REV. POSITION OF PATHWAY TO BE REMOVED & PATHWAY TO BE ADDED	12/3/18
3	REV. NEW UTILITIES AND HOUSE BOXES	5/1/19
4	REV. TO ADD FEE SIMPLE LOTS PER F-14-111 AND PHASE V TO SOP-09-039	10/31/14
2	REV. TO ADD FEE SIMPLE LOTS PER F-13-101	12/17/13
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12

DEVELOPER'S CERTIFICATE
"I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion. I Also Authorize Periodic On-Site Inspections By The Howard Soil Conservation District."

Signature of Developer: *John A. White* Date: 7-14-15

ENGINEER'S CERTIFICATE
"I Certify That This Plan For Pond Construction, Erosion And Sediment Control Represents A Practical And Workable Plan Based On My Personal Knowledge Of The Site Conditions. This Plan Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District. I Have Notified The Developer That He/She Must Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion."

Signature of Engineer: *John A. White* Date: 7/14/15

These Plans For Small Pond Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.

John A. White 7/14/15
Howard SCD BUILDERS

DEVELOPER	OWNERS
WAVELY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELICOTT CITY, MARYLAND 21042 443-367-0422	RYAN HOMES 6085 MARSHALLEE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development: *Kathleen...* Date: 7-24-15
Chief, Development Engineering Division: *...* Date: 7-24-15
Director - Department of Planning and Zoning: *...* Date: 8-9-18

PROJECT	SECTION	PARCEL NO.
GTW'S WAVELY WOODS	14	PHASE B THRU V LOTS 4, 12 THRU 39, 44 THRU 66, 80 THRU 103, 172 THRU 231 & 240 THRU 309

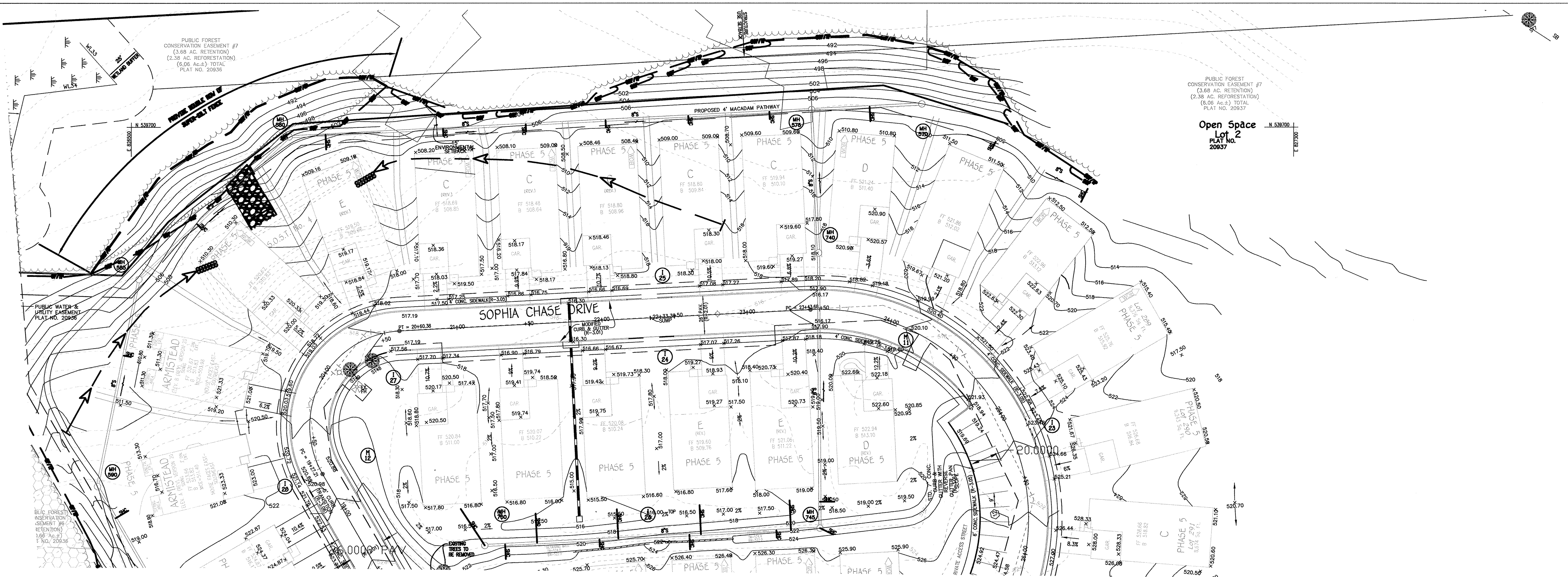
PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
SEE GENERAL NOTE # 51	3 & 4	PSC	16	THIRD	60300

WATER CODE: K-02
SEWER CODE: 5992000

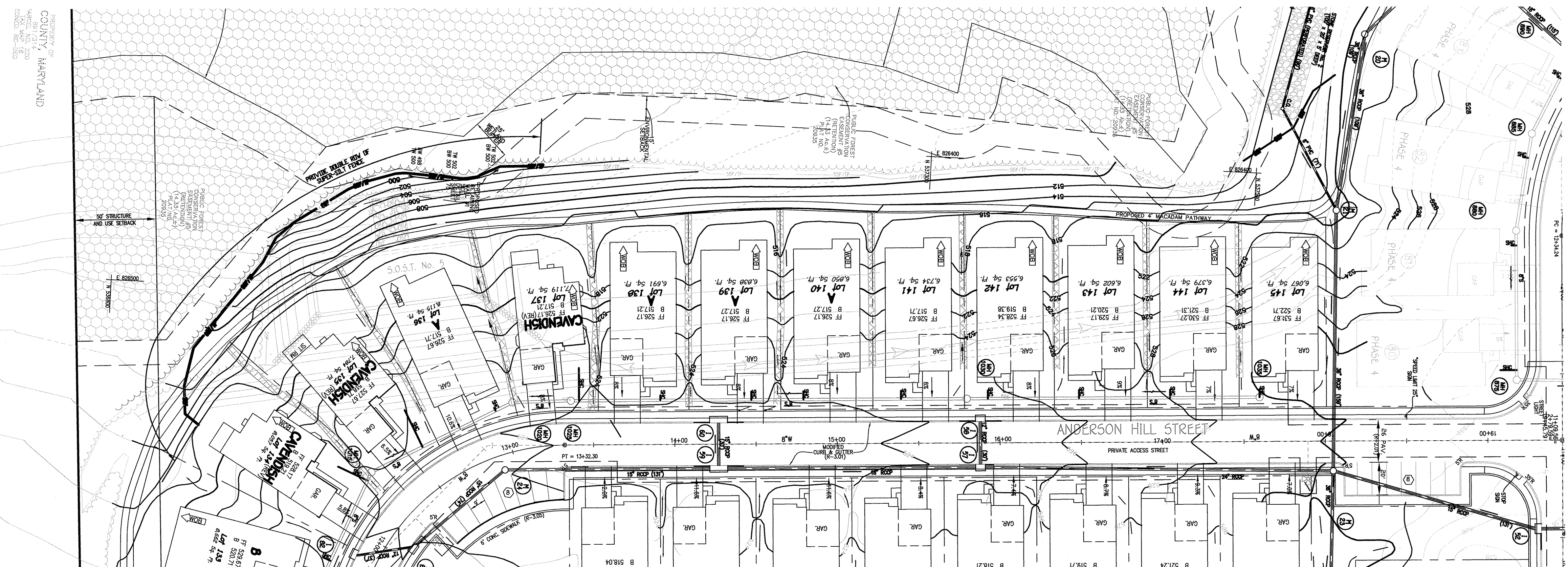
SEDIMENT/EROSION CONTROL PLAN (PHASE ONE)
AGE RESTRICTED ADULT HOUSING
GTW'S WAVELY WOODS
SECTION 14
"THE COURTYARDS AT WAVELY WOODS - WEST"
PHASES I, THRU V LOTS 4, 12 THRU 39, 44 THRU 66, 80 THRU 103, 172 THRU 231 & 240 THRU 309 TOWNHOUSE & SINGLE FAMILY HOMES

ZONING: PSC
TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY MARYLAND
SCALE: AS SHOWN DATE: MAY, 2015
SHEET 30 OF 100 SDP-09-039

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET



PLAN
SCALE 1" = 40'



LIMIT OF DISTURBANCE NOTE:
NO MORE THAN 20 ACRES MAY BE UNSTABILIZED AT ANY TIME.

HIGH VISIBILITY FENCING "HVF" NOTE:
PROVIDE WITH ALL INTERNAL EARTH DIKES.

SILT FENCE NOTE:
CONTRACTOR TO IMBERGATE ALL SF/SSF RUNNING DOWNHILL INTO J-SHAPED SEGMENTS AT 25' AND CURL ENDS UPHILL 2' IN ELEVATION.

CONTRACTOR NOTE:
CONTRACTOR SHALL REMOVE ALL OLD AND NEW JUNK, TRASH AND DEBRIS FROM FORESTS, FLOODPLAIN, STREAMS, WETLANDS AND THEIR BUFFERS.

AS-BUILT CERTIFICATION
Note: There is no "AS BUILT" information provided on this sheet.

Charles J. Orlov, Jr. 11/6/18
Date

REVISED

SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
▲	SPOT ELEVATION
---	WALKOUT BASEMENT
---	SILT FENCE
---	SUPER SILT FENCE
---	EROSION CONTROL MATTING
---	LIMIT OF DISTURBANCE
---	STREET LIGHT PER F-09-057
---	UNTREATED 658A WISE LINE
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED SEWER
---	15% TO 24.9% Slope
---	EXISTING LANDSCAPING PER F-09-057
---	EXISTING STREET TREES PER F-09-057
---	REVERSE GUTTER PAN SLOPE
---	EXISTING STORMDRAIN
---	EXISTING SCOUR
---	EXISTING WATER
---	EXISTING WATER & SEWER UTILITY EASEMENT
---	EXISTING STREET TREES PER S09-09-037
---	EXISTING LANDSCAPING PER S09-09-037
---	FOREST CONSERVATION
---	FOREST CONSERVATION PLANTING
---	COMBINATION SUPER SILT FENCE AND TREE PROTECTION
---	SUPER SILT FENCE
---	EROSION CONTROL MATTING

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042
(410) 461-8922



DEVELOPER'S CERTIFICATE
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John R. Blanton 7-14-15
Signature Of Developer Date

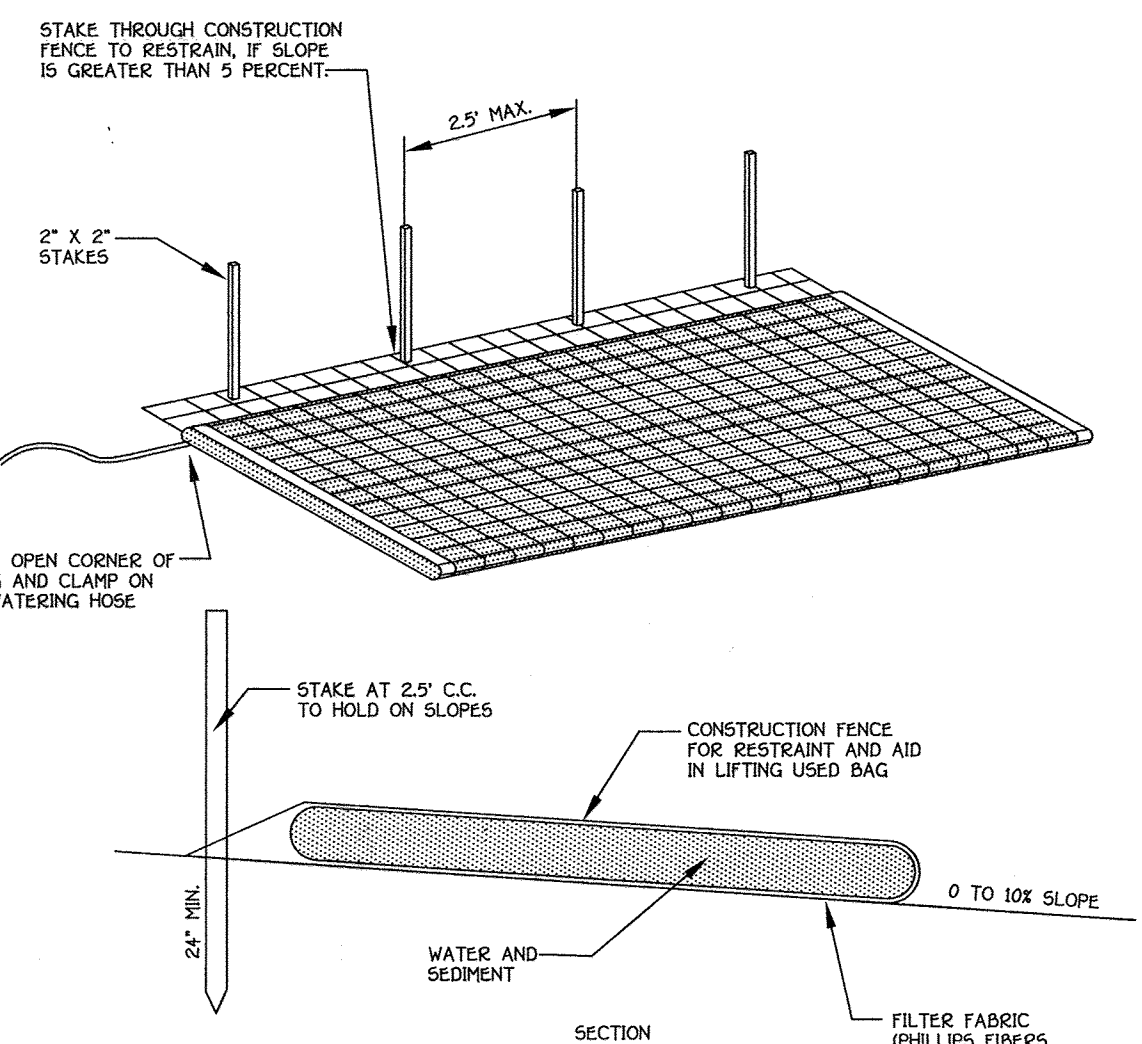
ENGINEER'S CERTIFICATE
"I Certify That This Plan For Pond Construction, Erosion And Sediment Control Represents A Practical And Workable Plan Based On My Personal Knowledge Of The Site Conditions. This Plan Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District. I Have Notified The Developer That He/She Must Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion."
John R. Blanton 7/14/15
Signature Of Engineer Date

These Plans For Small Pond Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.
John R. Blanton 7/14/15
Signature Of Developer Date
BUILDERS
NV HOMES 6095 MARSHALLEE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-5956
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DEVELOPER
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELICOTT CITY, MARYLAND 21042 443-357-0422
OWNERS
WAVERLY WOODS DEVELOPMENT CORPORATION, C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELICOTT CITY, MARYLAND 21042 443-357-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
John R. Blanton 7-24-15
Chief, Division of Land Development Date
John R. Blanton 7-24-15
Chief, Development Engineering Division Date
John R. Blanton 7-24-15
Director - Department of Planning and Zoning Date
PROJECT: QTW'S WAVERLY WOODS SECTION: 14 PARCEL NO.: 14
PLAT: SEE GENERAL NOTE # 51 BLOCK NO.: 3 & 4 ZONE: PSC TAX/ZONE: 16 ELEC. DIST.: THIRD CENSUS TR.: 60300
WATER CODE: K-02 SEWER CODE: 5992000

SEDIMENT/EROSION CONTROL PLAN (PHASE TWO)
FINAL GRADING FOR BASIN NO. 4 THRU 7
AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASE II, THRU V LOTS 5, 12 THRU 39, 44 THRU 66, 80 THRU 105, 172 THRU 231 & 240 THRU 309 TOWNHOUSE & SINGLE FAMILY HOMES
TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
THIRD ELECTION DISTRICT: HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: MAY, 2015
SHEET 31 OF 100 5DP-09-039

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET



- NOTES
1. FILTER BAG SHALL BE PLACED ON A SLOPING OR LEVEL, WELL GRADED VEGETATED SITE SUCH THAT WATER WILL FLOW AWAY FROM DEVICE AND ANY WORK AREAS.
 2. WIDTH AND LENGTH SHALL BE AS SHOWN IN THE TABLE.
 3. THE FILTER BAG MUST BE STAKED IN PLACE AND SECURED TO THE PUMP DISCHARGE LINE.
 4. FILTER BAG SHALL NOT BE USED FOR DISCHARGE FLOWS GREATER THAN 300 CPM.
 5. DEVICE SHALL BE REMOVED AND DISPOSED OF AFTER BAG IS FILLED WITH SEDIMENT.
 6. SEDIMENT FROM BAG SHOULD BE SPREAD IN AN UPLAND AREA.

AVAILABLE FROM:
 INDIAN VALLEY INDUSTRIES, INC.
 P.O. BOX 800
 JOHNSON CITY, NEW YORK 13790
 800-699-5181

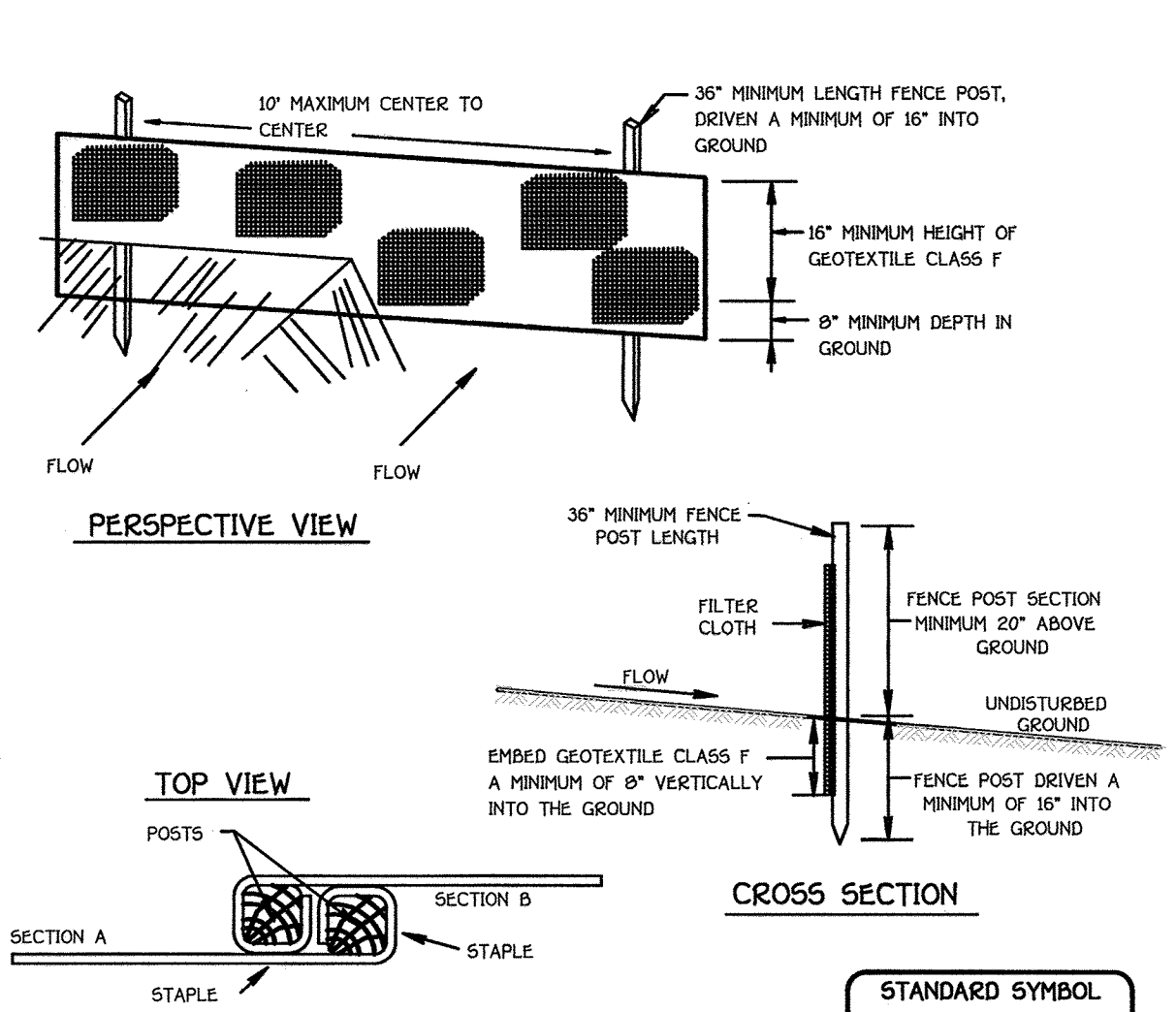
OR

A.C.T. ENVIRONMENTAL
 1801-A WILLO ROAD
 RICHMOND, VIRGINIA 23237
 TOLL FREE 1-800-440-3636

OR

ROCK AND COMPANY, INC.
 425 36TH STREET
 WYOMING, WY. 83946
 800-530-6200

FILTER BAG DETAIL
 NOT TO SCALE



JOINING TWO ADJACENT SILT FENCE SECTIONS

- Construction Specifications
1. Fence posts shall be a minimum of 36" long driven 16" minimum into the ground. Wood posts shall be 1 1/2" x 1 1/2" square (minimum) or, 1 3/4" diameter (minimum) round and shall be of sound quality hardwood. Steel posts will be standard T or U section weighting not less than 100 pound per linear foot.
 2. Geotextile shall be fastened securely to each fence post with wire ties or staples at top and mid-section and shall meet the following requirements for Geotextile Class F:

Tensile Strength	50 lbs/in (min)	Test: MSMT 509
Tensile Modulus	20 lbs/in (min)	Test: MSMT 509
Flow Rate	0.3 gal/ft / minute (max)*	Test: MSMT 322
Filtering Efficiency	75% (min)	Test: MSMT 322

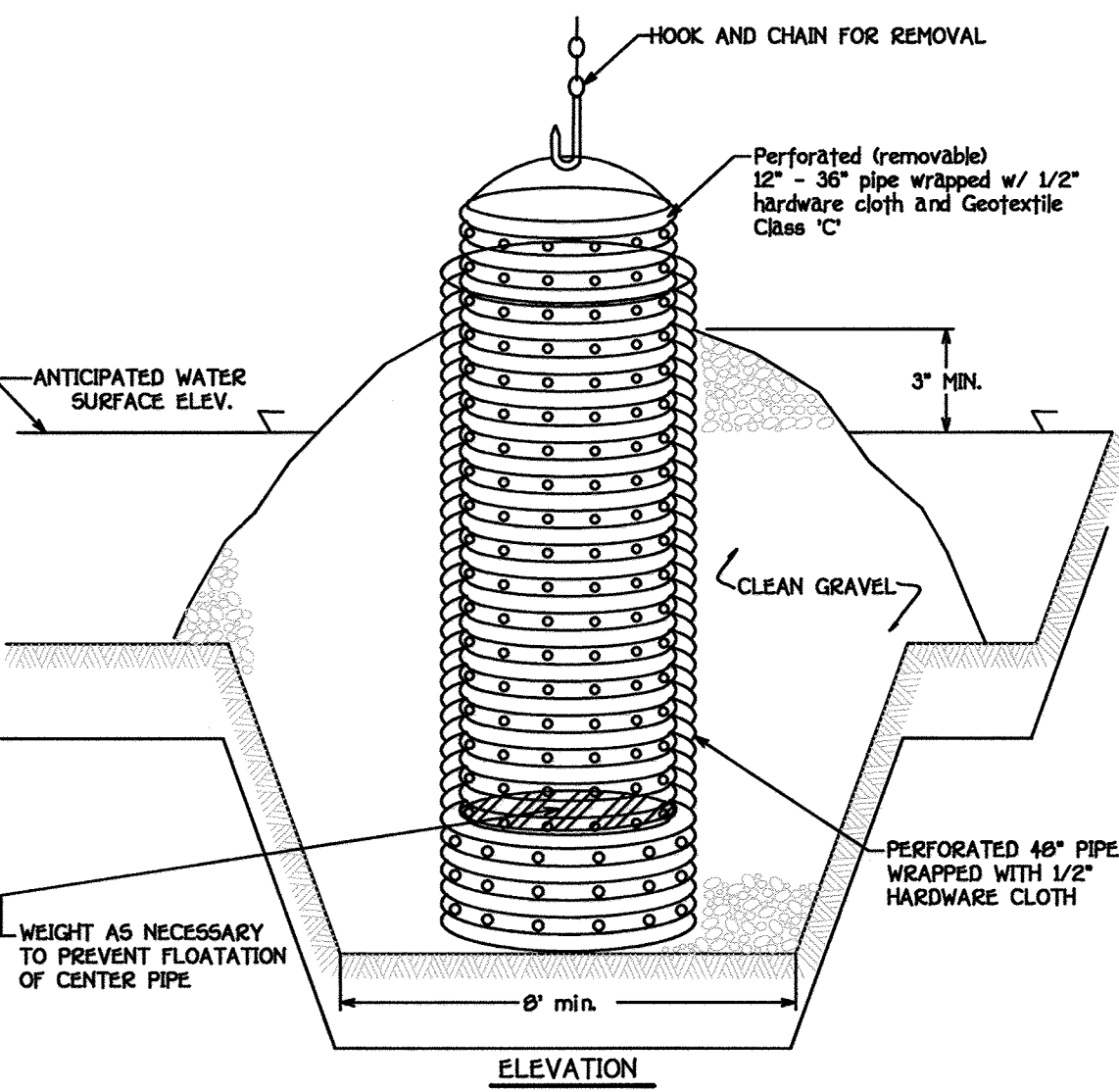
Design Criteria

Slope Steepness	(Maximum) Slope Length	(Maximum) Silt Fence Length
Flatter than 50:1	unlimited	unlimited
50:1 to 10:1	125 feet	1,000 feet
10:1 to 5:1	100 feet	750 feet
5:1 to 3:1	60 feet	500 feet
3:1 to 2:1	40 feet	250 feet
2:1 and steeper	20 feet	125 feet

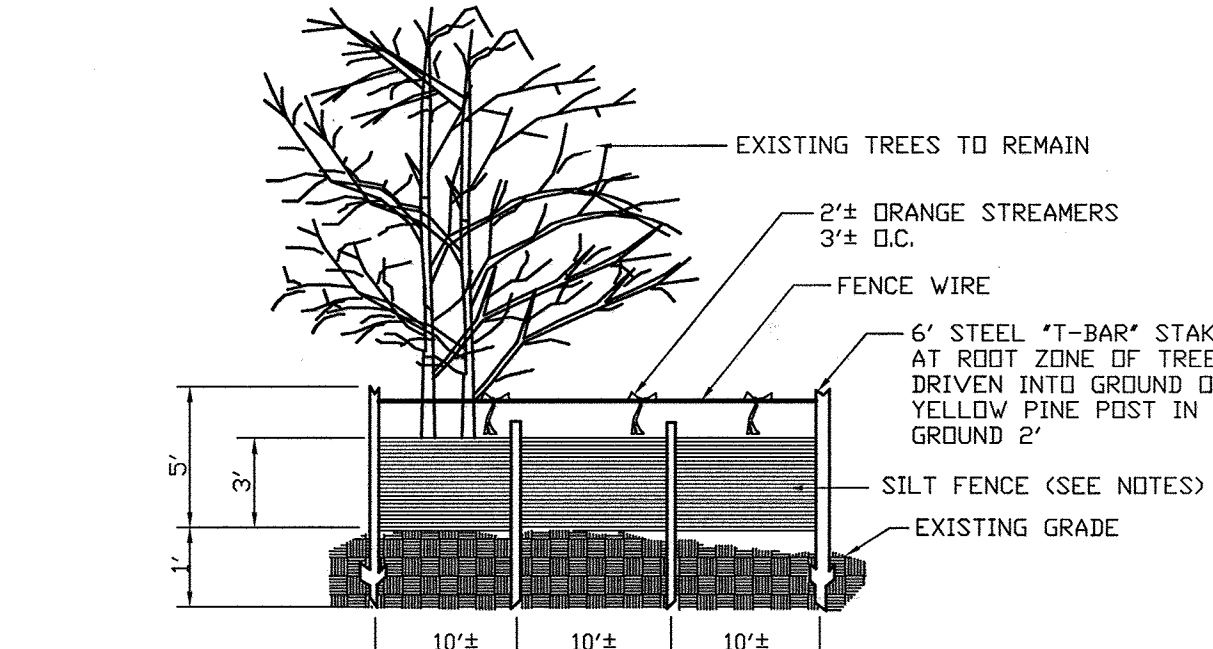
Note: In areas of less than 2% slope and sandy soils (USDA general classification system, soil Class A) maximum slope length and silt fence length will be unlimited. In these areas a silt fence may be the only perimeter control required.

SILT FENCE
 NOT TO SCALE

REMOVABLE PUMPING STATION

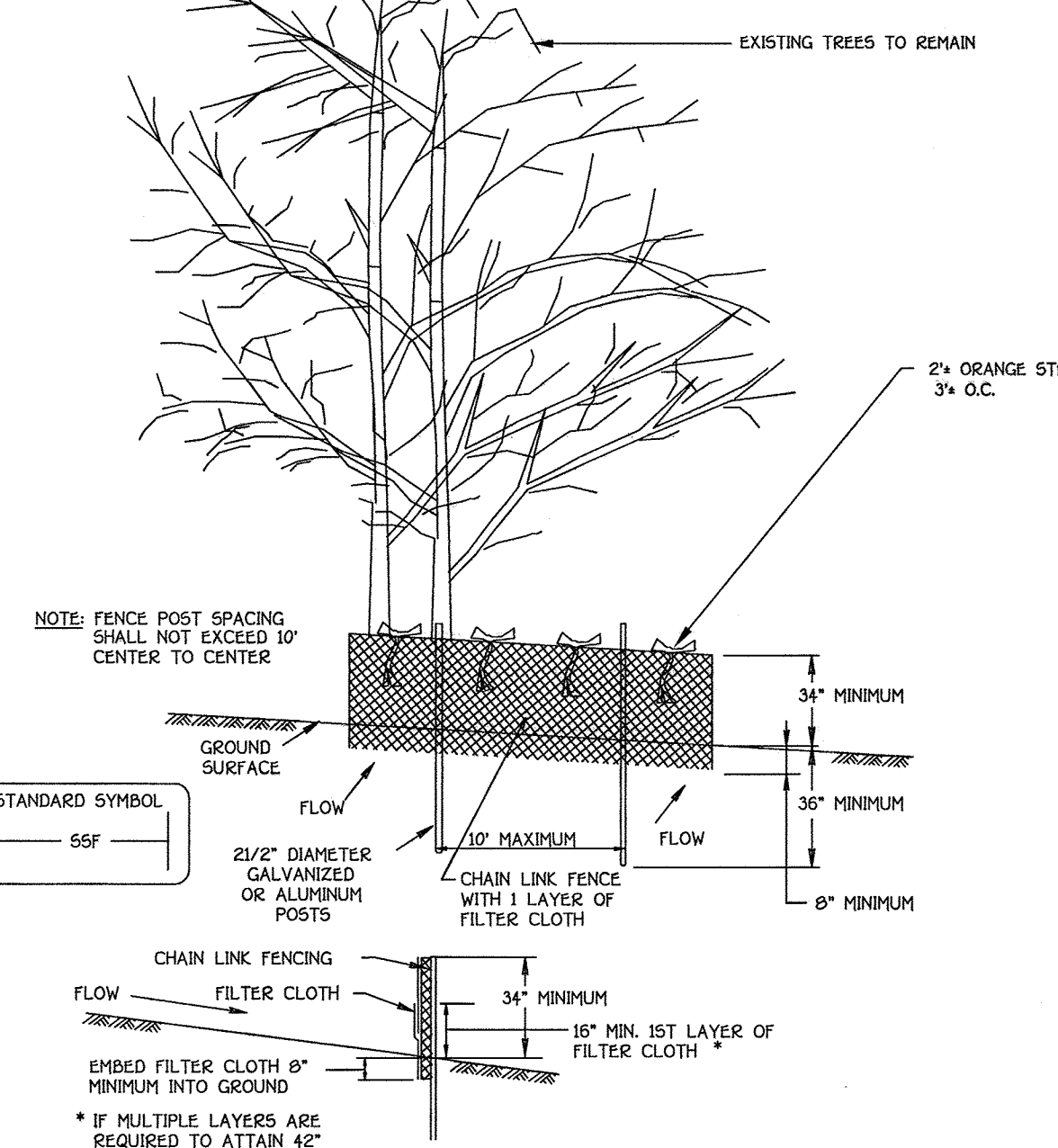


- Construction Specifications
1. The outer pipe should be 40" dia. or shall, in any case, be at least 4" greater in diameter than the center pipe. The outer pipe shall be wrapped with 1/2" hardware cloth to prevent backfill material from entering the perforations.
 2. After installing the outer pipe, backfill around outer pipe with 2" aggregate or clean gravel.
 3. The inside stand pipe (center pipe) should be constructed by perforating a corrugated or PVC pipe between 12" and 36" in diameter. The perforations shall be 1/2" x 6" slits or 1" diameter holes 6" on center. The center pipe shall be wrapped with 1/2" hardware cloth first, then wrapped again with Geotextile Class C.
 4. The center pipe should extend 12" to 18" above the anticipated water surface elevation or riser crest elevation when dewatering a basin.



1. Silt Fence to be heeled into the soil.
 2. Wire, snow fence, etc. for tree protection only.
 3. Boundaries of Retention Area will be established as part of the Forest conservation plan review process.
 4. Boundaries of Retention Area should be staked and flagged prior to installing device.
 5. Avoid root damage when placing anchor posts.
 6. Device should be properly maintained throughout construction.
 7. Protection signs are also required, see Figure C-4. 8. Locate fence outside the Critical Root Zone.

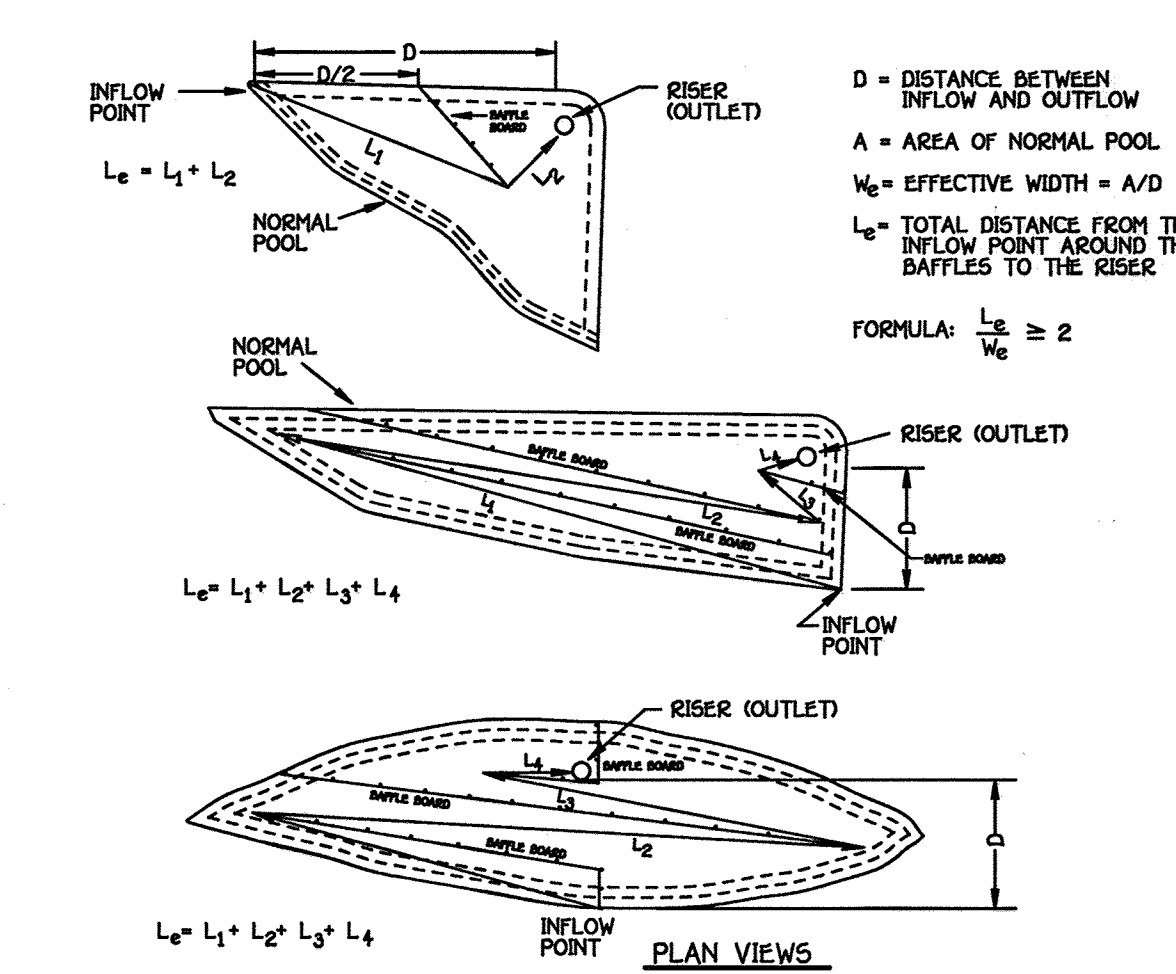
SILT FENCE AND TREE PROTECTION
 NOT TO SCALE



- Construction Specifications
1. Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway Details for Chain Link Fencing. The specification for a 6" fence shall be used, substituting 42" fabric and 6" length posts.
 2. Chain link fence shall be fastened securely to the fence posts with wire ties. The lower tension wire, brace and truss rods, drive anchors and post caps are not required except on the ends of the fence.
 3. Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.
 4. Filter cloth shall be embedded a minimum of 8" into the ground.
 5. When two sections of filter cloth adjoin each other, they shall be overlapped by 6" and folded.
 6. Maintenance shall be performed as needed and silt buildups removed when "bulges" develop in the silt fence, or when silt reaches 50% of fence height.
 7. Filter cloth shall be fastened securely to each fence post with wire ties or staples at top and mid section and shall meet the following requirements for Geotextile Class F:

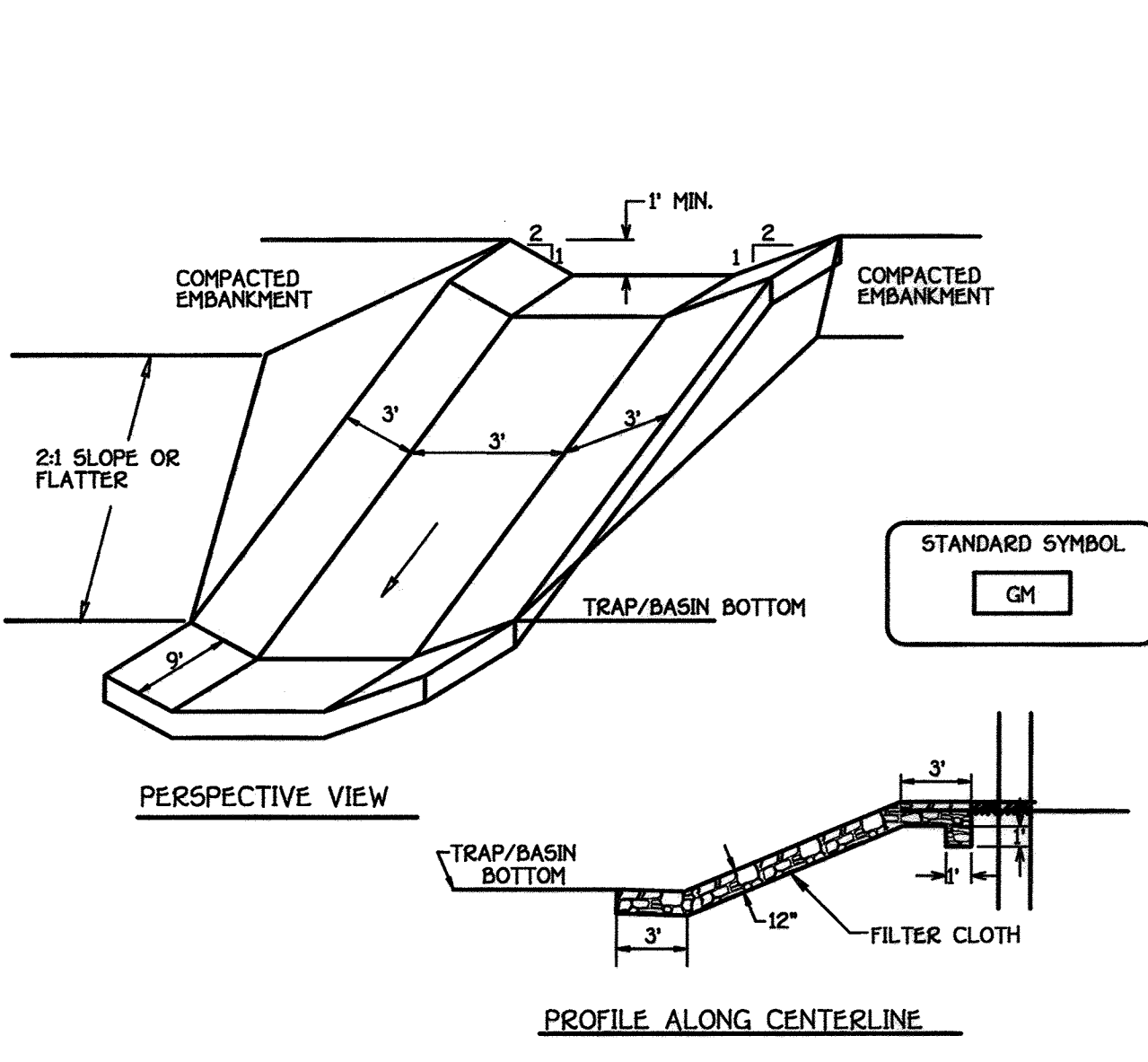
Tensile Strength	50 lbs/in (min)	Test: MSMT 509
Tensile Modulus	20 lbs/in (min)	Test: MSMT 509
Flow Rate	0.3 gal/ft / minute (max)*	Test: MSMT 322
Filtering Efficiency	75% (min)	Test: MSMT 322

SUPER SILT FENCE, TREE PROTECTION FENCE
 NOT TO SCALE



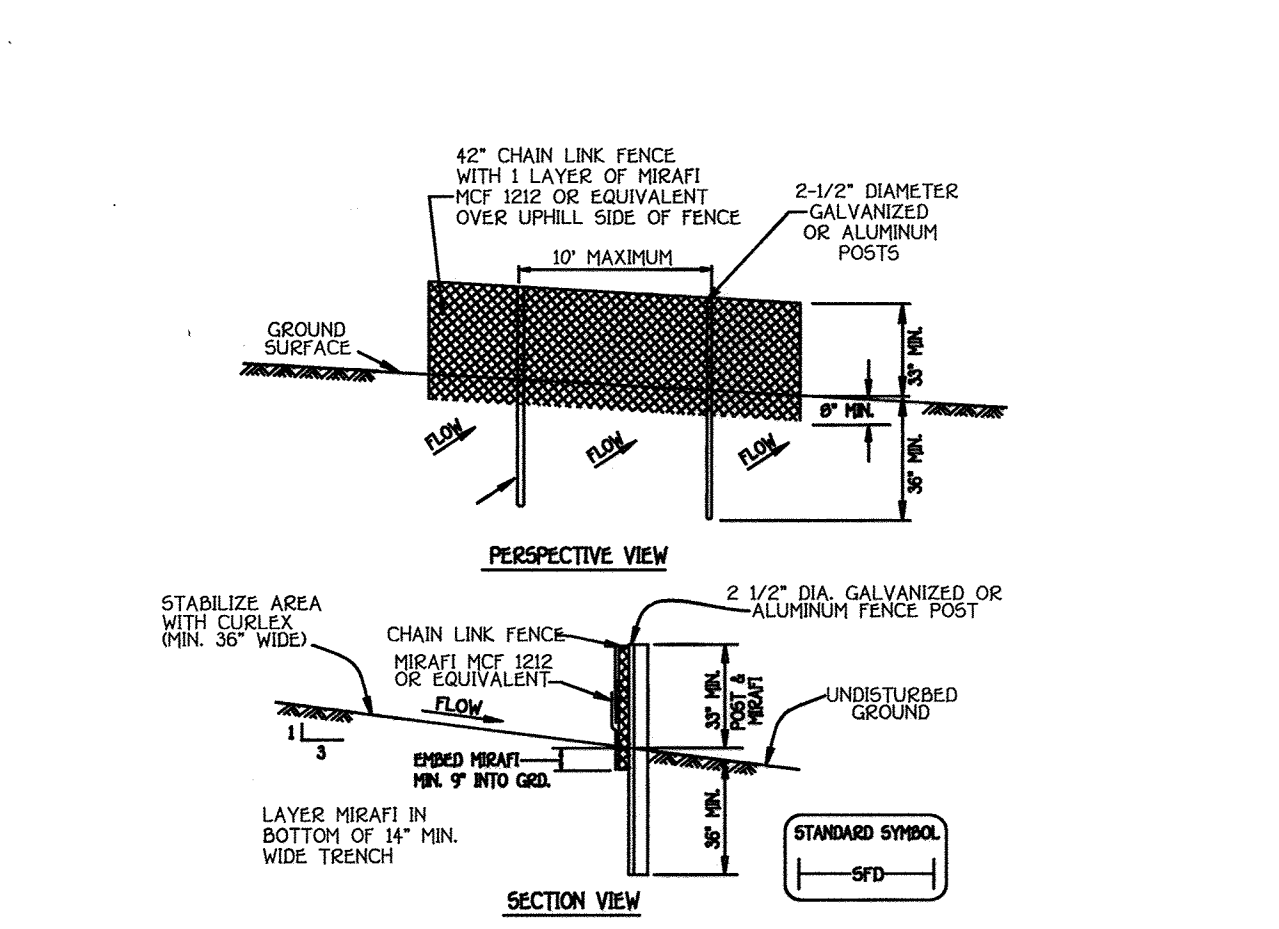
1. Silt Fence to be heeled into the soil.
 2. Wire, snow fence, etc. for tree protection only.
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 4. Boundaries of Retention Area should be staked and flagged prior to installing device.
 5. Avoid root damage when placing anchor posts.
 6. Device should be properly maintained throughout construction.
 7. Protection signs are also required, see Figure C-4. 8. Locate fence outside the Critical Root Zone.

SEDIMENT BASIN BAFFLES
 NOT TO SCALE



- Construction Specifications
1. Gabion inflow protection shall be constructed of 9' x 3' x 9" gabion baskets forming a trapezoidal cross section 1' deep, with 2:1 side slopes, and a 3" bottom width.
 2. Geotextile Class C shall be installed under all gabion baskets.
 3. The stone used to fill the gabion baskets shall be 4" - 7".
 4. Gabions shall be installed in accordance with manufacturers recommendations.
 5. Gabion Inflow Protection shall be used where concentrated flow is present on slopes steeper than 4:1.

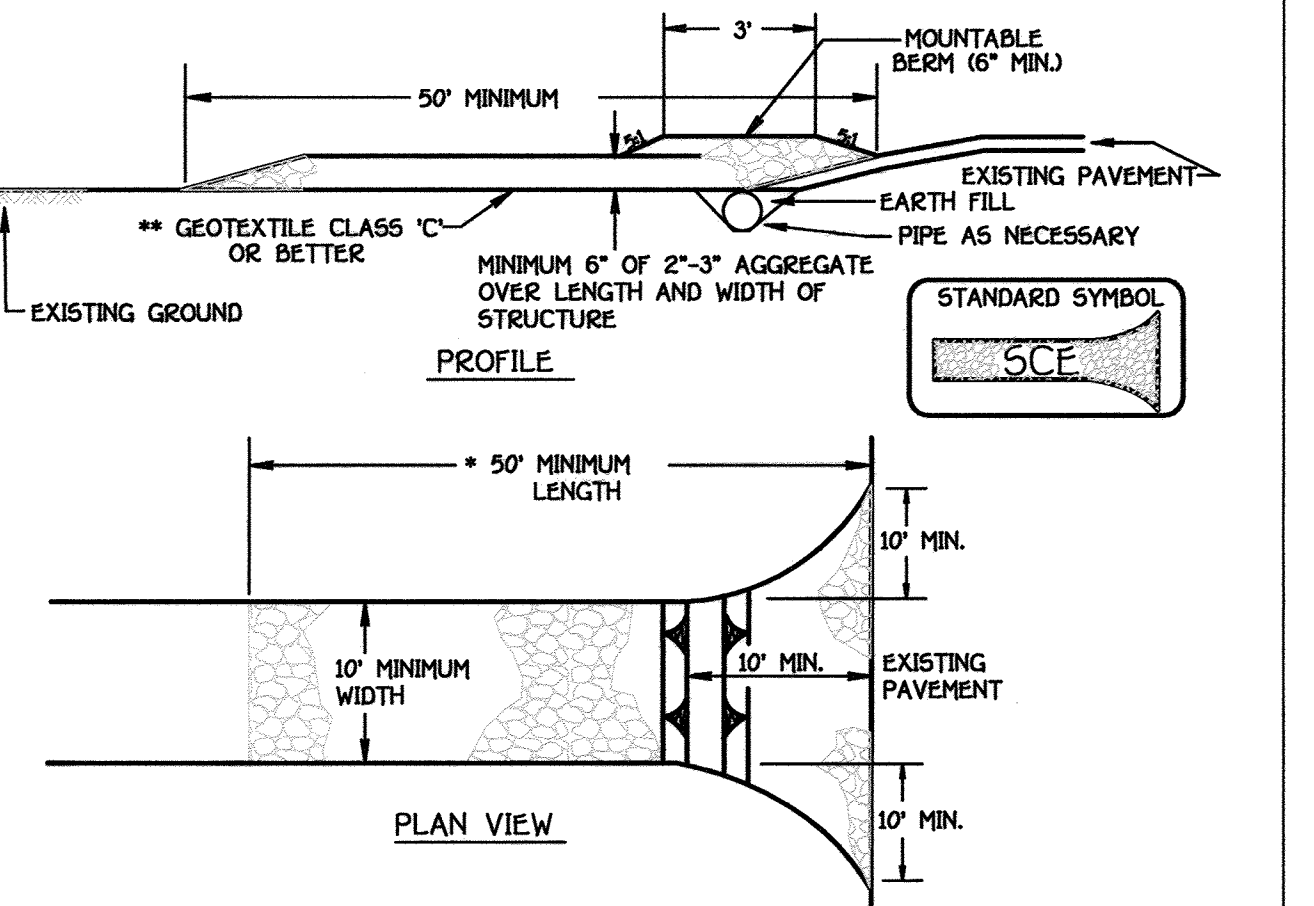
GABION INFLOW PROTECTION
 NOT TO SCALE



- Construction Specifications
1. FENCING SHALL BE 42" HIGH CHAIN LINK CONSTRUCTED IN ACCORDANCE WITH THE LATEST MARYLAND STATE HIGHWAY ADMINISTRATION STANDARD DETAILS 6900L AND 6900R, FOR CHAIN LINK FENCING. THE SPECIFICATIONS FOR A 6" FENCE SHALL BE USED, SUBSTITUTING 42" FABRIC AND 6" POSTS. POSTS SHALL BE PLACED WITHOUT CONCRETE EMBEDMENT.
 2. CHAIN LINK FENCE SHALL BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. THE LOWER TENSION WIRE, BRACE AND TRUSS RODS, ANCHORS AND POST CAPS ARE NOT REQUIRED EXCEPT ON THE ENDS OF THE FENCE.
 3. FILTER CLOTH TO BE FASTENED SECURELY TO CHAIN LINK FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
 4. FILTER CLOTH SHALL BE EMBEDDED A MINIMUM OF 8" INTO THE GROUND.
 5. WHEN TWO SECTIONS OF DIVERSION CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
 6. MAINTENANCE SHALL BE PERFORMED AS NEEDED.

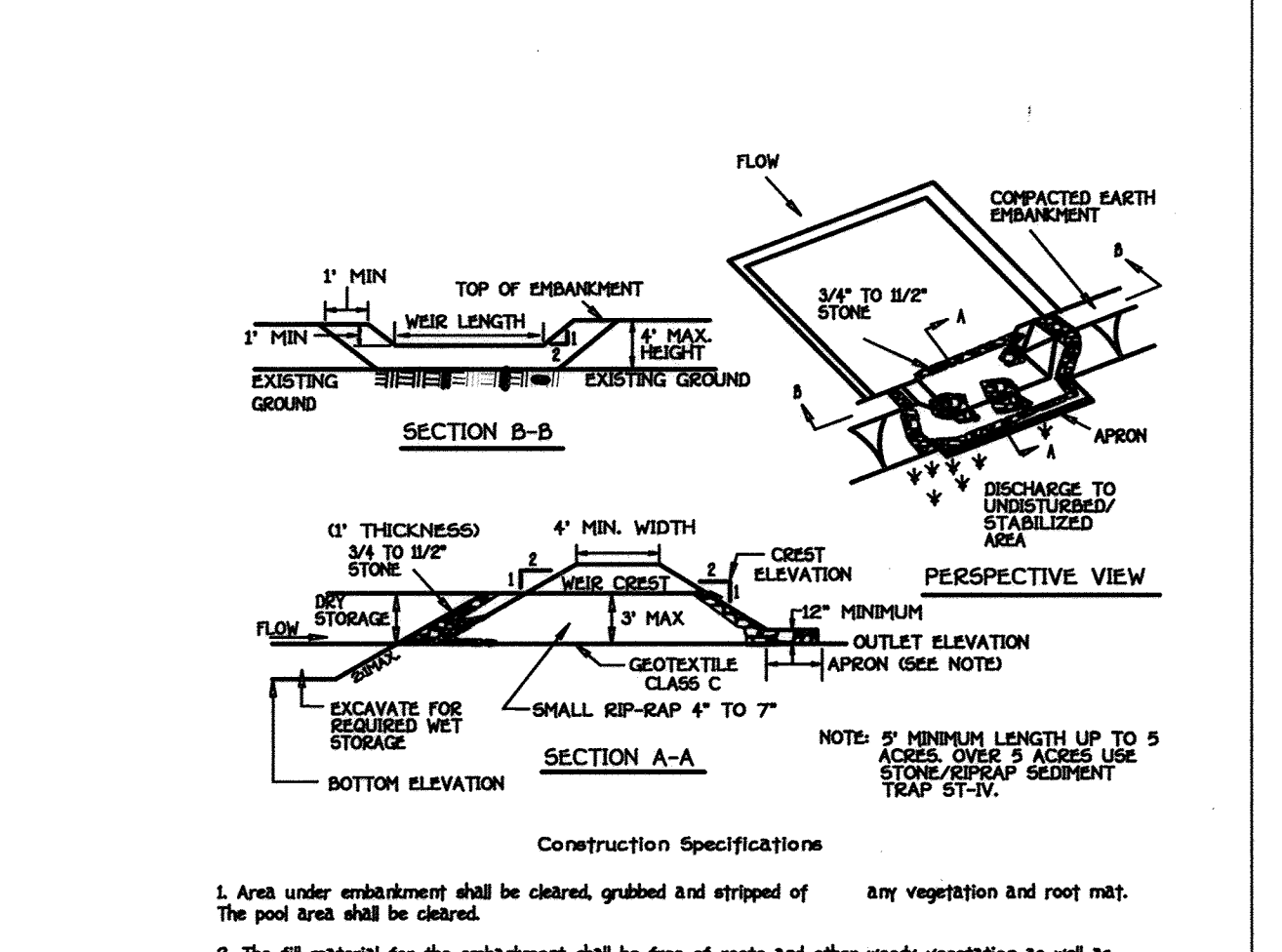
Fabric Properties	Value	Test Method
Grd. Tensile Strength (lbs)	50	ASTM D2866
elongation at Break (%)	50	ASTM D2866
Max. Burst Strength (PSI)	100	ASTM D3786
Punches Strength (lbs)	40	ASTM D751
Sherr Flow Rate (gpm/ft)	0.3	ASTM D751
Weight	807 YDS/25	
Equivalent Opening Size	60-80	US 500 Sieve
UV Radiation Stability (hr)	50	ASTM G-25

SUPER FENCE DIVERSION
 NOT TO SCALE



- Construction Specification
1. Length - minimum of 50' (*30' for single residence lot).
 2. Width - 10' minimum, should be flared at the existing road to provide a turning radius.
 3. Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. **The plan approval authority may not require single family residences to use geotextile.
 4. Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
 5. Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe shall be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
 6. Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

STABILIZED CONSTRUCTION ENTRANCE
 NOT TO SCALE



- Construction Specifications
1. Area under embankment shall be cleared, grubbed and stripped of any vegetation and roof mat. The pool area shall be cleared.
 2. The fill material for the embankment shall be free of roots and other woody vegetation as well as over-sized stones, rocks, organic material or other obnoxious material. The embankment shall be compacted by tamping with equipment while it is being constructed.
 3. All cut and fill slopes shall be 2:1 or flatter.
 4. The stone used in the outlet shall be small rip-rap 4" to 7" in size with a 1" thick layer of 3/4" to 1/2" washed aggregate placed on the upstream face of the outlet. Stone facing shall be necessary to prevent clogging. Geotextile Class C may be substituted for the stone facing by placing it on the inside face of the stone outlet.
 5. Sediment shall be removed and trap returned to its original dimensions when the sediment has accumulated to one half of the wet storage depth of the trap. Removed sediment shall be deposited in a suitable area and in such a manner that it will not erode.
 6. The structure shall be inspected periodically after each rain and repairs made as needed.
 7. Construction of traps shall be carried out in such a manner that sediment pollution is abated. Once constructed, the top and outside face of the embankment shall be stabilized with seed and mulch. Points of concentration inflow shall be protected in accordance with Grade Stabilization Structure criteria. The remainder of the interior slope should be established, seeded and mulched upon trap completion and monitored and maintained erosion free during the life of the trap.
 8. The structure shall be dewatered by approved methods, removed and the area stabilized when the drainage area has been properly established.
 9. Refer to Section D for specifications concerning trap dewatering.
 10. Minimum trap depth shall be measured from the weir elevation.
 11. The elevation of the top of any dike directing water into the trap must equal or exceed the elevation of the trap embankment.
 12. Geotextile Class C shall be placed over the bottom and sides of the outlet channel prior to the placement of stone. Sections of filter cloth must overlap at least 1' with the section nearest the entrance placed on top. The filter cloth shall be embedded at least 6" into existing ground at the entrance of the outlet channel.
 13. Outlet - An outlet shall be provided, including a means of conveying the discharge in an erosion free manner to an existing stable channel.

AS-BUILT CERTIFICATION

Note: There is no "AS BUILT" information provided on this sheet.

Signature: Charles J. Quinn, Jr. No. 13204 Date: 11/6/12

STONE OUTLET SEDIMENT TRAP - ST II
 NOT TO SCALE

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 1872 BALDOR NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 410-481-2055

NO.	REVISION	DATE
3	REV. TO ADD THE SIMPLE LOTS PER P. 14-111 & ADD PARCELS TO SHEET 09-039	10/24/12
2	REV. TO ADD THE SIMPLE LOTS PER P. 12-109	10/17/12
1	REV. TO ADD THE SIMPLE LOTS PER P. 12-109 AND ADD GRIFFIN HALL	9/28/12

DEVELOPER'S CERTIFICATE

"I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion. I Also Authorize Periodic On-Site Inspections By The Howard Soil Conservation District."

Signature of Developer: [Signature] Date: 11/14/12

ENGINEER'S CERTIFICATE

"I Certify That This Plan For Pond Construction, Erosion And Sediment Control Represents A Practical And Workable Plan Based On My Personal Knowledge Of The Site. This Plan Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District. I Have Notified The Developer That He/She Must Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion."

Signature of Engineer: [Signature] Date: 11/14/12

These Plans For Small Pond Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.

Signature of Howard SCD: [Signature] Date: 11/5/12

BUILDERS

NV HOMES 6085 MARSHALLEE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-5956

RYAN HOMES 6085 MARSHALLEE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956

DEVELOPER

WAVELY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 443-367-0422

OWNERS

WAVELY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Signature: [Signature] Date: 12/19/12

Signature: [Signature] Date: 12/19/12

Signature: [Signature] Date: 12/19/12

PROJECT: GTW'S WAVELY WOODS SECTION: 14 PARCEL NO. 14 PHASE II 400 YD. 100' BY 30' 44-36-00-109, 178-231 & 240-329

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
SEE REVISION NOTE #91	3 & 4	PSC	16	THIRD	60300

WATER CODE: K-02 SEWER CODE: 5992000

REVISED

SEDIMENT CONTROL NOTES AND DETAILS

AGE RESTRICTED ADULT HOUSING

GTW'S WAVELY WOODS

SECTION 14

"THE COURTYARDS AT WAVELY WOODS - WEST"

PHASE II, TRIV LOTS 5, 12 TRIV 39, 44 TRIV 80, 86 TRIV 103, 172 TRIV 131 & 240 TRIV 300

TOWNHOUSE & SINGLE FAMILY HOMES

ZONING: PSC PARCEL NO.: PART OF 249 THIRD ELECTION DISTRICT - HOWARD COUNTY, MARYLAND SCALE: AS SHOWN DATE: 12/19/12, 039 SHEET 32 OF 100 SDP-09-039

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

20.0 STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION

Using vegetation as cover for barren soil to protect it from forces that cause erosion.

Vegetative stabilization specifications are used to promote the establishment of vegetation on exposed soil. When soil is stabilized with vegetation, the soil is less likely to erode and more likely to allow infiltration of rainfall, thereby reducing sediment loads and runoff to downstream areas, and improving wildlife habitat and visual resources.

CONDITIONS WHERE PRACTICE APPLIES

This practice shall be used on denuded areas as specified on the plans and may be used on highly erodible or critically eroding areas. This specification is intended to quickly establish vegetative cover for short duration (up to one year), and Permanent Seeding, for long term vegetative cover. Examples of applicable areas for Temporary Seeding are Temporary Soil Stockpiles, cleared areas being left during construction phases, earth dikes, etc. and for Permanent Seeding are dunes, dunes, dunes, and fill slopes and other areas where erosion control is required.

EFFECTS ON WATER QUALITY AND QUANTITY

Planting vegetation in disturbed areas will have an effect on the water budget, especially on volumes and rates of runoff, infiltration evaporation, transpiration, evaporation, and groundwater recharge. Vegetation, over time, will increase organic matter content and improve the water holding capacity of the soil and subsequent plant growth. Vegetation will help reduce the movement of sediment, nutrients, and other chemicals carried by runoff to receiving waters. Plants will also help protect groundwater supplies by assimilating the substances present within the root zones.

SECTION 1 - VEGETATIVE STABILIZATION METHODS AND MATERIALS

A. Site Preparation
1. Install erosion and sediment control structures (either temporary or permanent) such as diversions, grade stabilization structures, berms, waterways, or sediment control basins.
2. Perform all grading operations at right angles to the slope. Final grading and shaping is not usually necessary for temporary seeding.

B. Soil Amendments (Fertilizer and Lime Specifications)
1. Soil tests must be performed to determine the exact ratios and application rates for both lime and fertilizer on sites having disturbed areas over 2 acres. Soil analysis may be performed by the University of Maryland laboratory. Soil samples taken for engineering purposes may also be used for chemical analysis.

2. Fertilizers shall be uniform in composition, free flowing and suitable for accurate application by approved equipment. Mixtures may be substituted for fertilizer with prior approval from the appropriate approval authority. Fertilizers shall all be delivered to the site fully labeled according to the applicable state fertilizer laws and shall bear the name, trade name or trademark and warranty of the producer.

3. Lime materials shall be ground limestone (hydrated or burnt lime may be substituted which contains at least 50% total alkaline earth oxides). Limestone shall be ground to such fineness that at least 50% will pass through a #100 mesh sieve and 90-100% will pass through a #20 mesh sieve.

IV. Incorporate lime and fertilizer into the top 3-5" of soil by diking or other suitable means.
1. Temporary Seeding
a. Seeding operation shall consist of loosening soil to a depth of 3" to 5" by means of suitable agricultural or construction equipment, such as disc harrows or chisel plows or ripper tines, or other suitable equipment. The soil is loosened if it should not be rolled or dragged smooth, but left in the roughened condition. Sloped areas greater than 3D should be tracked leaving the surface in an irregular condition with ridges running parallel to the contour of the slope.

b. Apply fertilizer and lime as prescribed on the plans.
c. In incorporate lime and fertilizer into the top 3-5" of soil by diking or other suitable means.

ii. Permanent Seeding
a. Minimum soil conditions required for permanent vegetative establishment:
1. Soluble salts shall be less than 500 parts per million (ppm).
2. The soil shall contain less than 400 cation, but enough fine grained material (60% silt plus clay) to provide the capacity to hold a moderate amount of moisture. An exception is if low organic or organic impedes it to be planted, then a sandy soil (50% silt plus clay) would be acceptable.

3. Soil must contain sufficient pore space to permit adequate root penetration.
4. If these conditions cannot be met by soil on site, adding topsoil is required in accordance with Section 21 Standard and Specification for Topsoil.

b. Areas receiving maintenance shall be maintained in a true and even grade, then scarified or otherwise loosened to a depth of 3-5" to permit bonding of the topsoil to the surface area and to create horizontal erosion check slots to prevent topsoil at the surface area and to create horizontal erosion check slots to prevent topsoil from sliding down a slope.

c. Apply soil amendments as per soil test or as included on the plans.
Mix soil amendments into the top 3-5" of topsoil by diking or other suitable means. Lawn areas shall be raked to smooth the surface, remove large objects like stones and branches, and ready the area for seed and application. Where site conditions will not permit normal seeded preparation, lower surface soil by dragging a heavy chain or other equipment to roughen the surface. Steep slopes (steeper than 3D) should be tracked by a dozer leaving the soil in an irregular condition with ridges running parallel to the contour of the slope. The top 3-5" of soil should be loose and friable. Seeded loosening may not be necessary on newly disturbed areas.

D. Seed Specifications
1. All seed must meet the requirements of the Maryland State Seed Law. All seed shall be subject to a germination test by a recognized laboratory. All seed used shall have been tested within the 6 months immediately preceding the date of sowing such material on the job.

Note: Seed tags shall be made available to the inspector to verify type and rate of seed used.
ii. Incident - The incident for treating legume seed in the seed mixtures shall be a pure culture of the species for the species and shall be tested by a recognized laboratory. The date indicated on the container. Add fresh inoculant as directed on package. Use four times the recommended rate when hydroseeding. It is very important to keep inoculant as cool as possible until used. Temperatures above 70-80°F will reduce effectiveness.

E. Methods of Seeding
1. Hydroseeding - Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer, broadcast or drop spreader, or a cutspreader seeder.
a. If fertilizer is being applied at the time of seeding, the application rates amounts will not exceed the following: minimum of 100 lbs/acre of nitrogen, 200 lbs/acre of phosphorus, 200 lbs/acre of potassium, 200 lbs/acre of sulfur.

b. Lime - use only ground agricultural limestone (up to 3 tons per acre may be applied by hydroseeding). Normally, not more than 2 tons are applied by hydroseeding at any one time. Do not use burnt or hydrated lime when hydroseeding.
c. Seed and fertilizer shall be mixed on site and seeding shall be done immediately and without interruption.

ii. Dry Seeding - Includes use of conventional drop or broadcast spreaders.
a. Seed spread dry shall be incorporated into the subsoil at the rates prescribed on the Temporary or Permanent Seeding Summaries or Tables 25 or 26. The seeded area shall then be rolled with a weighted roller to provide good seed to soil contact.
b. Where practical, seed should be applied in two directions perpendicular to each other. Apply half the seeding rate in each direction.

iii. Drill or Cutspreader Seeding - Mechanized seeders that apply and cover seed with soil.
a. Cutspreader seeders are required to bury the seed in such a fashion as to provide at least 1/4 inch of soil covering. Seeded must be firm after planting.
b. Where practical, seed should be applied in two directions perpendicular to each other. Apply half the seeding rate in each direction.

F. Mutch Specifications (In order of preference)
1. Straw shall consist of thoroughly threshed wheat, rye or oat straw, reasonable bright in color, and shall not be more than 1/2 inch diameter, or excessively dirty and be free of noxious weed seeds as specified in the Maryland Seed Law.

ii. Wood Cellulose Fiber Mutch (WCF)
a. WCF shall consist of specially prepared wood cellulose processed into a uniform fibrous physical state.
b. WCF shall be dried green or contain a green dye in the package that will provide an appropriate color to facilitate visual inspection of the uniform spread slurry.
c. WCF, including dye, shall contain no germination or growth inhibiting factors.
d. WCF materials shall be manufactured and processed in such a manner that the wood cellulose fiber mulch will remain in uniform suspension in water under agitation and will blend with seed, fertilizer and other additives to form a homogeneous slurry. The mulch material shall form a blotter-like ground cover, on application, having moisture absorption and retention properties and shall cover and hold grass seed in contact with the soil without inhibiting the growth of the grass seedlings.

e. WCF material shall contain no elements or compounds at concentrations levels that will be injurious to the seed.
f. WCF must conform to the following physical requirements: fiber length to approximately 10 mm., diameter approximately 10 microns, and a ratio of 4 to 0.5, ash content of 1.5% maximum and water holding capacity of 90% minimum.

Note: One sterile straw mulch should be used in areas where one species of grass is desired.
G. Mulching Seeded Areas - Mulch shall be applied to all seeded areas immediately after seeding. In this section and maintained until the seeding season returns and seeding can be performed in accordance with these specifications.

ii. When straw mulch is used, it shall be spread over all seeded areas at the rate of 2 tons/acre. Mulch shall be applied to a uniform loose depth of 1" and 2". Mulch applied shall achieve a uniform distribution and depth so that the soil surface is not exposed. If a mulch anchoring tool is to be used, the rate should be increased to 3 tons/acre.

iii. Wood cellulose fiber used as a mulch shall be applied at a net dry weight of 1,500 lbs. per acre. The wood cellulose fiber shall be mixed with seed and the mixture shall contain a maximum of 50 lbs. of wood cellulose fiber per 100 gallons of water.

H. Securing Straw Mutch (Mutch Anchoring) - Mutch anchoring shall be performed immediately following mulch application to minimize loss by wind or water. This may be done by one of the following methods listed by preference, depending upon size of area and erosion hazard:
1. A mulch anchoring tool is a tractor drawn implement designed to punch and anchor mulch into the soil surface a minimum of two (2) inches. This method is most effective on large areas, but is limited to flatter slopes where equipment can operate safely. If used on sloping land, the rate should be increased to 3 tons/acre.

ii. Wood cellulose fiber may be used for anchoring straw. The fiber binder shall be applied at a rate of 100 lbs. per 100 gallons of water. The fiber binder shall be mixed with water and the mixture shall contain a maximum of 50 pounds of wood cellulose fiber per 100 gallons of water.

STANDARDS AND SPECIFICATIONS FOR TOPSOIL

Definition: Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Purpose: To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials that are toxic or unacceptable soil gradation.

Conditions Where Practice Applies: This practice is limited to areas having 2:1 or flatter slopes where:

- a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
b. The soil is so acidic that treatment with limestone is not feasible.
c. The original soil to be vegetated contains material toxic to plant growth.
d. The soil is so acidic that treatment with limestone is not feasible.

ii. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications

I. Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Department of Experimental Station.

II. Topsoil Specifications - Soil to be used as topsoil must be the following:
I. Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 1/2" in diameter.

ii. Topsoil must be free of plants or plant parts such as bermuda grass, quackgrass, Johnson grass, nutgrass, poison ivy, thistle, or others as specified.
iii. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil and shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

IV. For sites having disturbed areas under 5 acres:
1. Place topsoil of required depth and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.

ii. For sites having disturbed areas under 5 acres:
1. Place topsoil of required depth and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.

III. For sites having disturbed areas over 5 acres:
1. In soil meeting topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:
a. pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.

b. Organic content of topsoil shall be not less than 1.5 percent by weight.
c. Topsoil having soluble salt content greater than 500 parts per million shall not be used.
d. No soil or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (4 days min) to permit dissipation of phytotoxic materials.

ii. Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.

ii. Place topsoil of required depth and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.

V. Topsoil Application
1. When topsoiling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.

ii. Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4" - 8" higher in elevation.

iii. Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.

iv. Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seeded preparation.

VI. Alternative For Permanent Seeding - Instead of applying the full amounts of lime and commercial fertilizer, composted sludge and amendments may be applied as specified below:
1. Composted Sludge Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall conform to the following requirements:

a. Composted sludge shall be supplied by, or originate from, a person or persons that are permitted (at the time of acquisition of the compost) by the Maryland Department of the Environment under CDMAR 26.04.06.

b. Composted sludge shall contain at least 1 percent nitrogen, 15 percent phosphorus, and 0.2 percent potassium and have a pH of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.

c. Composted sludge shall be applied at a rate of 1 ton/1,000 square feet.
iv. Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 lb/1,000 square feet, and 1/3 the normal lime application rate.

References: Guideline Specifications, Soil Preparation and Sodding, MD-VA, Pub. 81, Cooperative Extension Service, University of Maryland and Virginia Polytechnic Institute, Revised 1973.

iii. Application of liquid binders should be heavier at the edges where wind catches much, such as in valleys and crest of banks. The remainder of area should be applied uniform after binder application. Synthetic binders - such as Acrylic (LR (Ago-Tac), DCA-70 Petroflex, Terra Tex, Terra Tex AS or other approved equal may be used at rates recommended by the manufacturer to anchor mulch.

iv. Synthetic plastic netting may be applied over the mulch according to manufacturer's recommendations. Netting is usually available in rolls 4' to 15' feet wide and 300 to 3,000 feet long.

I. Incremental Stabilization - Cut Slopes
1. All cuts slopes shall be dressed, prepared, seeded and mulched as the work progresses. Slopes shall be excavated and stabilized in equal increments not to exceed 12'.

ii. Construction sequence (Refer to Figure 3 below):
a. Excavate and stabilize all temporary swales, side ditches, or berms that will be used to convey runoff from the excavation.
b. Perform Phase 1 excavation, dress, and stabilize.
c. Perform Phase 2 excavation, dress and stabilize. Overseed Phase 1 areas as necessary.
d. Perform final phase excavation, dress and stabilize. Overseed previously seeded areas as necessary.

Note: Once excavation has begun the operation should be continuous from grubbing through the completion of grading and placement of topsoil of required depth and permanent seed and mulch. Any interruptions in the operation or completion of the seeding season will necessitate the application of temporary stabilization.

iii. At the edge of each day, temporary berms and side slope drains should be constructed along the top edge of the embankment to intercept surface runoff and convey it down the slope in a non-erodible manner to a sediment trapping device. (Refer to Figure 4 below).

iv. Construction sequence (Refer to Figure 4 below):
a. Excavate and stabilize all temporary swales, side ditches, or berms that will be used to convey runoff from the excavation.
b. Construct slope silt fence on the side of fill as shown in Figure 5, unless other methods shown on the plans address this area.
c. Place Phase 1 embankment, dress and stabilize.
d. Place Phase 2 embankment, dress and stabilize.
e. Place final phase embankment, dress and stabilize. Overseed previously seeded areas as necessary.

Note: Once the placement of fill has begun the operation should be continuous from grubbing through the completion of placement of topsoil of required depth and permanent seed and mulch. Any interruptions in the operation or completion of the seeding season will necessitate the application of temporary stabilization.

SECTION 2 - TEMPORARY SEEDING
Vegetation - annual grass or grain used to provide cover on disturbed areas for up to 12 months. For longer duration of vegetative cover, Permanent Seeding is required.

A. Seed mixtures - Temporary Seeding
1. Select one or more of the species or mixtures listed in Table 25 for the appropriate Plant Hardness Zone (from Figure 5) and enter them in the Temporary seeding summary below, along with application rates, seeding dates and seeding depths. If this summary is not put on the plans and completed, then Table 25 must be put on the plans.

ii. For sites having soil tests performed, the rates shown on this table shall be deleted and the rates recommended by the testing agency shall be written in Soil tests are not required for Temporary Seeding.

Table with 5 columns: No., Species, Application Rate (lb/acre), Seeding Dates, Seeding Depth. Includes rows for BARLEY, OATS, RYE.

SECTION 3 - PERMANENT SEEDING
Seeding grass and legumes to establish growing cover for a minimum of one year on disturbed areas generally receiving low maintenance.

A. Seed mixtures - Permanent Seeding
1. Select one or more of the species or mixtures listed in Table 25 for the appropriate Plant Hardness Zone (from Figure 5) and enter them in the Permanent Seeding Summary below, along with application rates and seeding dates. Seeding depths can be determined using Table 25. If this summary is not put on the construction plans and completed, then Table 25 must be put on the plans. Additional planting specifications for exceptional sites such as shorelines, streambanks, or dunes or for special purposes such as wildlife or aesthetic treatment may be found in USDA-SCS Technical Guide, Section 342 - Critical Area Planning for special land maintenance areas, see Sections IV Soil and V Turfgrass.

ii. For sites having disturbed area over 5 acres, the rates shown on this table shall be deleted and the rates recommended by the soil testing agency shall be written in.

iii. For areas receiving low maintenance, apply ureaform fertilizer (45-0-0) at 3 1/2 lbs/1000 sq. ft. (50 lbs/acre). In addition to the above soil amendments shown in the table below, to be performed at the time of seeding.

Table with 5 columns: No., Species, Application Rate (lb/acre), Seeding Dates, Seeding Depth. Includes rows for TALL FESCUE (95%), PERENNIAL RYE GRASS (100%), KENTUCKY BLUEGRASS (95%), TALL FESCUE (100%), HARD FESCUE (100%).

Fertilizer Rate (0-20-20) and Lime Rate columns.

SEDIMENT CONTROL NOTES

1. A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION WORK.

2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND REVISIONS THEREOF.

3. FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN 7 CALENDAR DAYS FOR ALL PERMANENT SEDIMENT CONTROL STRUCTURES, DRAIN PROTECTORS, SLOPES AND ALL SLOPES STEEPER THAN 3:1. IF 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.

4. ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12 OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.

5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND REVISIONS THEREOF.

6. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED AND ESTABLISHED PERMANENTLY FOR THEIR DESIGN LIFE. PERMANENT STABILIZATION WITH PERMANENT ALGAE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER OPERATIONAL AND ESTABLISHMENT OF PERMANENT VEGETATION.

7. SITE ANALYSIS: TOTAL AREA OF SITE: 150,329 ACRES. AREA TO BE ROOFED OR PAVED: 86,99 ACRES. AREA TO BE VEGETATIVELY STABILIZED: 12,04 ACRES. OFFSITE WASTE/ROOFING AREA LOCATION ON-SITE #4540 CLYDDE.

8. ANY SEDIMENT CONTROL PRACTICES WHICH IS DISTURBED BY GRADING UTILITIES FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.

9. ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED IF DEEMED NECESSARY BY THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS.

10. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INITIAL CONTROL OF EROSION AND SEDIMENTATION. REVISIONS TO BE BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING OTHER THAN THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.

APPROVAL BY THE INSPECTION AGENCY IS MADE.
11. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE FEET LENGTHS THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.

DEVELOPER'S CERTIFICATE: I/We Certify That All Development And/OR Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project.

ENGINEER'S CERTIFICATE: I Certify That This Plan For Pond Construction, Erosion And Sediment Control Represents A Professional And Marketable Plan Based On My Personal Knowledge Of The Site. This Plan Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District. I Have Notified The Developer That He/She Must Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion.

These Plans For Small Pond Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.

BUILDERS: NV HOMES 6085 MARSHALEE DRIVE SUITE 140 ELKRDGE, MD 21075 410-379-9596. RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELKRDGE, MD 21075 410-379-9596.

DEVELOPER: WAWELY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422.

OWNERS: WAWELY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422.

SEQUENCE OF CONSTRUCTION

- 1. OBTAIN A GRADING PERMIT. (2 WEEKS)
2. NOTIFY "MISS UTILITY" AT LEAST 48 HOURS BEFORE BEGINNING ANY WORK AT 1-800-257-7777. NOTIFY THE HOWARD COUNTY OFFICE OF CONSTRUCTION/INSPECTION AT 410-313-1330 AT LEAST 24 HOURS BEFORE STARTING WORK.
3. INSTALL THE STABILIZED CONSTRUCTION ENTRANCE. INSTALL ALL TREE PROTECTION FENCE FOR TREES TO BE UNDISTURBED AS INDICATED ON THE PLANS. (1 WEEK)
4. THE CONTRACTOR SHALL VERIFY THAT BASIN NO. 1 AND CONTROLS PER F-09-057 HAVE BEEN COMPLETELY INSTALLED BEFORE PROCEEDING.

5. INSTALL SILT FENCE & SUPER-SILT FENCE. THEN INSTALL STONE OUTLET SEDIMENT TRAPS AND BASINS WITH ASSOCIATED DEWATERING DEVICES IN CONJUNCTION WITH CONSTRUCTION OF THE PROPOSED SEDIMENT BASIN/SWM PONDS AND DAM EMBANKMENT. UPON COMPLETION OF TRAPS AND BASINS, INSTALL EARTH DIKES AS REQUIRED. NOTE THAT NO DISTURBANCE IS ALLOWED UNTIL ALL SWM/BASIN MATERIALS FOR THE PRINCIPAL SPILLWAYS ARE ON SITE AND PERMISSION FROM THE INSPECTOR IS GRANTED IN WRITING TO PROCEED. (8 WEEKS)

6. DURING THE INSTALLATION OF EARTH DIKES, GRADING SHALL BE LIMITED TO OCCUR ONLY BETWEEN THE L.O.D. AND EARTH DIKE UNTIL ALL FINAL EARTH DIKE GRADES ARE REACHED, AT WHICH TIME, MASS GRADING MAY OCCUR UPON PERMISSION FROM INSPECTOR.

7. UPON COMPLETION OF THE SWM POND/SEDIMENT BASINS CONSTRUCTION RECEIVE PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR PRIOR TO PROCEEDING WITH THE INSTALLATION OF ASSOCIATED EARTH DIKES. (1 WEEK)

8. CLEAR AND GRUB FOR THE INSTALLATION OF THE REMAINING PERIMETER SEDIMENT CONTROL MEASURES. INSTALL TREE PROTECTION FENCE, SILT FENCE, EARTH DIKES AS SHOWN ON THESE PLANS. (3 WEEKS)

9. THE ORDER OF INSTALLATION SHALL BE SILT FENCE, TRAPS/BASINS THEN EARTH DIKES.

10. CLEAR AND GRUB FOR THE REMAINDER OF THE SITE. (3 WEEKS)

11. GRADE SITE TO PROPOSED SUBGRADE AND INSTALL THE STORM DRAIN SYSTEMS, WATER AND SEWER LINES. STABILIZE ALL SLOPES IMMEDIATELY UPON COMPLETION OF GRADING. DO NOT BLOCK INLETS AS STORM DRAIN SYSTEM WILL BE USED TO CONVEY SEDIMENT RUNOFF INTO THE BASIN. (9 WEEKS)

12. CONSTRUCT CURB & GUTTER AND INSTALL ROAD BASE COURSE FOR SUBDIVISION ROADS. (3 WEEKS)

13. INSTALL FINISHED SURFACE COURSE, SIDEWALKS AND STREET TREES. (3 WEEKS)

14. CONTRACTOR SHALL REMOVE ALL OLD AND NEW JUNK, TRASH AND DEBRIS FROM FORESTS, FLOODPLAIN, STREAMS, WETLANDS AND THEIR BUFFERS.

15. ALL FINAL GRADES AND STABILIZATION SHOULD BE COMPLETED BEFORE ANY REMOVAL OF CONTROLS.

16. WHEN ALL CONTRIBUTING AREAS TO THE SEDIMENT CONTROL DEVICES AND PONDS HAVE BEEN STABILIZED AND WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, THE SEDIMENT CONTROL DEVICES MAY BE REMOVED AND/OR BACKFILLED AND THE REMAINING AREAS BROUGHT TO FINAL GRADE. STABILIZE ALL AREAS IN ACCORDANCE WITH PERMANENT SEEDING NOTES. SEDIMENT BASIN NO. 1 SHALL BE CONVERTED AND STABILIZED TO THE PERMANENT DESIGN OF THE F-09-057 PLAN. (3 WEEKS)

17. NOTIFY HOWARD COUNTY OFFICE OF INSPECTIONS AND PERMITS FOR FINAL INSPECTION OF THE COMPLETED PROJECT. AN "AS-BUILT" APPROVAL LETTER FOR EACH POND IS TO BE SUBMITTED TO THE COUNTY INSPECTOR BEFORE THE CLOSE OF THE PROJECT. (1 WEEK)

18. WHEN THE CLEANOUT ELEVATION HAS BEEN REACHED, ALL SEDIMENT MUST BE PLACED UPSTREAM OF THE APPROVED TRAPPING DEVICE.

NOTE: #2 ALL DAM EMBANKMENT AND CORE TRENCH CONSTRUCTION SHALL BE COORDINATED WITH A PROFESSIONAL GEOTECHNICAL ENGINEER IN ACCORDANCE WITH THE RECOMMENDATIONS SHOWN ON THESE PLANS. NO BLASTING WILL BE PERMITTED FOR THE EXCAVATION OF SEDIMENT BASIN/SWM POND EMBANKMENT WHERE NECESSARY, RIPPING AND JACK HAMMERING SHOULD BE UTILIZED IN THE EXCAVATION OF THE FACILITY.

NOTE: #3 WHEN THE MAJORITY OF CONTRIBUTING AREA TO ANY TRAP OR BASIN HAS BEEN REDUCED DUE TO ROAD AND STORM DRAIN CONSTRUCTION, THE FACILITY MAY BE REMOVED AND BACKFILLED TO PAD GRADE ELEVATIONS. THIS WILL ENABLE CONSTRUCTION OF HOMES AND DRIVEWAYS IN THESE LOCATIONS. PROVIDED INDIVIDUAL LOT SEDIMENT CONTROL MEASURES ARE PROVIDED.

NOTE: #4 LIMIT OF DISTURBANCE NOTE: NO MORE THAN 20 ACRES MAY BE UNSTABILIZED AT ANY TIME.

References: Guideline Specifications, Soil Preparation and Sodding, MD-VA, Pub. 81, Cooperative Extension Service, University of Maryland and Virginia Polytechnic Institute, Revised 1973.

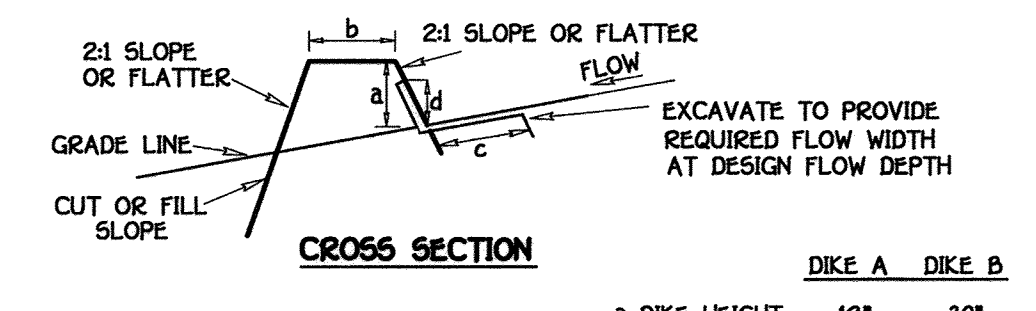


Table with 2 columns: DIKE A, DIKE B. Rows for DIKE HEIGHT, DIKE WIDTH, DIKE DEPTH.

Construction Specifications: 1. Seed and cover with straw mulch. 2. Seed and cover with Erosion Control Matting or line with sod. 3. 4" - 7" stone or recycled concrete equivalent pressed into the soil 7" minimum.

1. All temporary earth dikes shall have uninterrupted positive grade to an outlet. 2. Runoff diverted from a disturbed area shall be conveyed 15' a sediment trapping device. 3. Runoff diverted from an undisturbed area shall outlet directly into an undisturbed, stabilized area at a non-erodible velocity.

4. All trees, brush, stumps, obstructions, and other objectionable material shall be removed and disposed of so as not to interfere with the proper functioning of the dike. 5. The dike shall be excavated or shaped to line, grade and cross section as required to meet the criteria specified herein and be free of bank projections or other irregularities which will impede normal flow.

6. Fill shall be compacted by earth moving equipment. 7. All earth removed and not needed for construction shall be placed so that it will not interfere with the functioning of the dike. 8. Inspection and maintenance must be provided periodically and after each rain event.

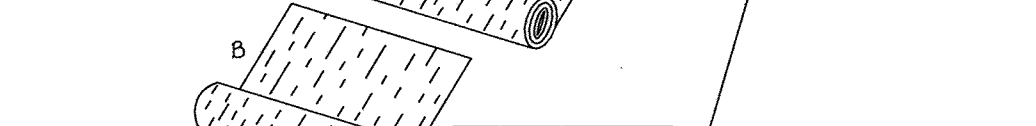
EARTH DIKE NOT TO SCALE

NOTE: #1 THE CONTRACTOR SHALL INSPECT AND PROVIDE NECESSARY MAINTENANCE EACH RAINFALL AND ON A DAILY BASIS. REMOVE SEDIMENT FROM THE POND/BASIN ON ALL SEDIMENT AND EROSION CONTROL STRUCTURES SHOWN HEREON. AFTER THE CLOSE OF THE PROJECT. (1 WEEK)

NOTE: #2 ALL DAM EMBANKMENT AND CORE TRENCH CONSTRUCTION SHALL BE COORDINATED WITH A PROFESSIONAL GEOTECHNICAL ENGINEER IN ACCORDANCE WITH THE RECOMMENDATIONS SHOWN ON THESE PLANS. NO BLASTING WILL BE PERMITTED FOR THE EXCAVATION OF SEDIMENT BASIN/SWM POND EMBANKMENT WHERE NECESSARY, RIPPING AND JACK HAMMERING SHOULD BE UTILIZED IN THE EXCAVATION OF THE FACILITY.

NOTE: #3 WHEN THE MAJORITY OF CONTRIBUTING AREA TO ANY TRAP OR BASIN HAS BEEN REDUCED DUE TO ROAD AND STORM DRAIN CONSTRUCTION, THE FACILITY MAY BE REMOVED AND BACKFILLED TO PAD GRADE ELEVATIONS. THIS WILL ENABLE CONSTRUCTION OF HOMES AND DRIVEWAYS IN THESE LOCATIONS. PROVIDED INDIVIDUAL LOT SEDIMENT CONTROL MEASURES ARE PROVIDED.

NOTE: #4 LIMIT OF DISTURBANCE NOTE: NO MORE THAN 20 ACRES MAY BE UNSTABILIZED AT ANY TIME.



Construction Specifications: 1. Key-in the matting by placing the top ends of the matting in a narrow trench, 6" in depth. Backfill the trench and tamp firmly to conform to the channel cross-section. Secure with a row of staples about 4" down



LEGEND	
---	EXISTING CONTOUR 2' INTERVAL
- - -	PROPOSED CONTOUR 2' INTERVAL
3062.2	SPOT ELEVATION
CB	WALKOUT BASEMENT
-SF-SF	SILT FENCE
-SSF-SSF	SUPER SILT FENCE
ECM	EROSION CONTROL MATTING
---	LIMIT OF DISTURBANCE
SL	STREET LIGHT PER F-09-057
---	UNMITIGATED 65dB NOISE LINE
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED SEWER
---	15X TO 24.9X Slope
---	EXISTING LANDSCAPING PER 50P-09-037
---	EXISTING STREET TREES PER F-09-057
---	REVERSE GUTTER PAN SLOPE
---	EXISTING STORM DRAIN
---	EXISTING SEWER
---	EXISTING WATER
---	EXISTING WATER/SEWER & UTILITY EASEMENT
---	EXISTING STREET TREES

SCALE
1"=50'

REVISED

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
410 461 2900



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/3/24.
Terrell A. Fisher 11/6/18
TERRELL A. FISHER, PROFESSIONAL ENGINEER DATE

AS BUILT CERTIFICATION

Note: There is no "AS BUILT" information provided on this sheet.

Charles J. Orndorff 11/6/18
CHARLES J. ORNDORFF, INC. NO. 11024 Date

BUILDERS

NV HOMES 6085 MARSHALEE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-5956
RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956

DEVELOPER

WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLCOTT CITY, MARYLAND 21042
443-367-0422

OWNERS

WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLCOTT CITY, MARYLAND 21042
443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Neil Shelton 12/12/12
Neil Shelton, Chief, Division of Land Development
Michael J. ... 11/12/12
Michael J. ..., Chief, Development Engineering Division
... 12/12/12
Director - Department of Planning and Zoning

PROJECT	GTW'S WAVERLY WOODS	SECTION	14	PARCEL NO. 'E'	PHASE 2, 2009-10-29, 44-THRU 50, 60-THRU 102, 172-THRU 231 & 240-THRU 309
PLAT	SEE GENERAL NOTE #91	BLOCK NO.	3 & 4	ZONE	PSC
WATER CODE	K-02	TAX/ZONE	16	ELEC. DIST.	THIRD
		CENSUS TR.	60300	SEWER CODE	5992000

DRAINAGE AREA MAP/SOILS MAP

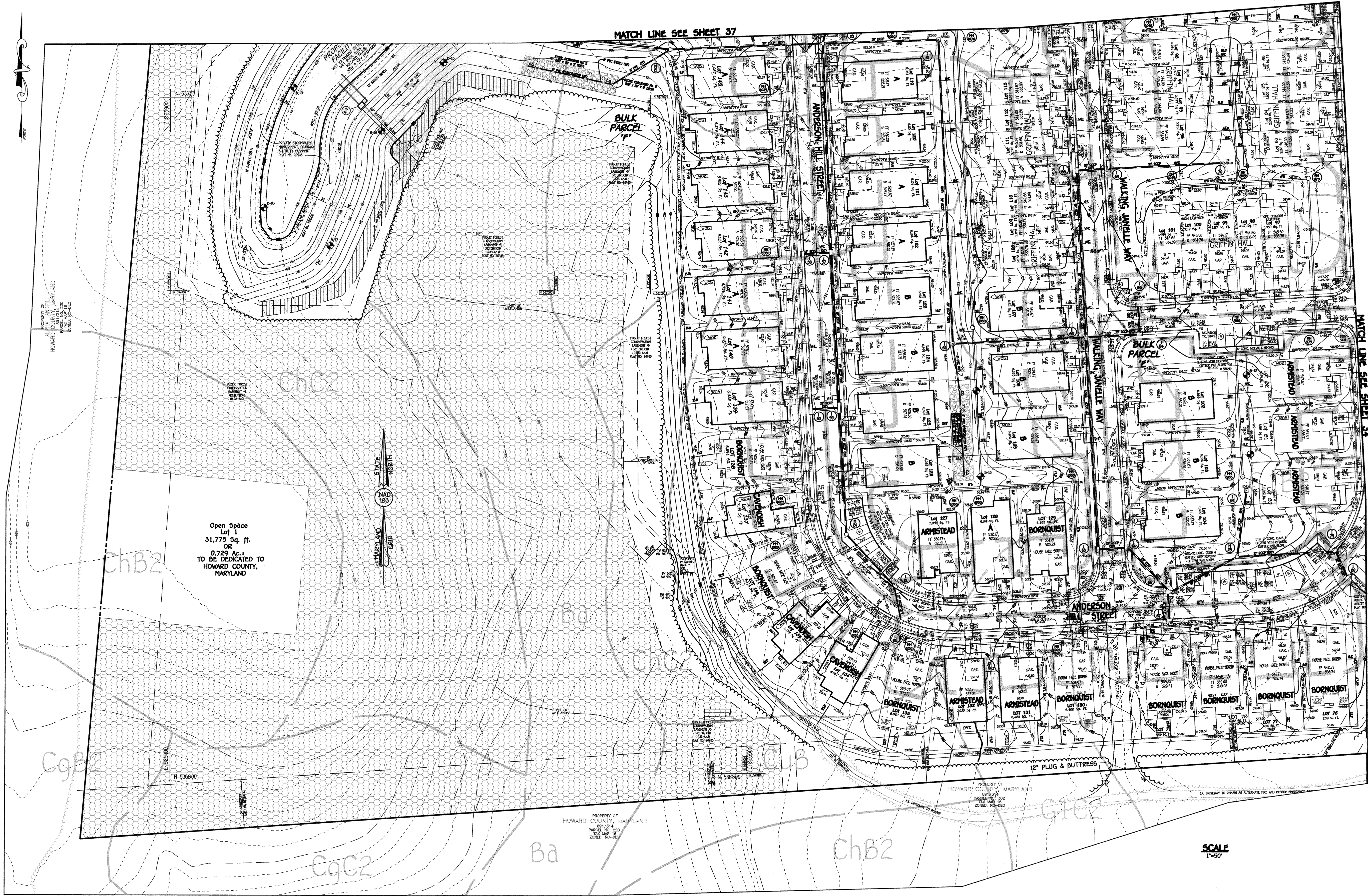
AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASES II, THRU V LOTS 5, 12 THRU 22, 44 THRU 50, 60 THRU 102, 172 THRU 231 & 240 THRU 309
TOWNHOUSE & SINGLE FAMILY HOMES

ZONING: PSC
TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: 11/6/18 SHEET 34 OF 100
SHEET 34 OF 100 SDP-09-039

THESE ARE GENERAL NOTES #91

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

K:\ISSUES\RD130770 GTW WEST\Wvg\Construction Documents\Phase 4 Fee Simple 78 Lots\Construction Documents - 30770 Sheet 34-41 50 In Map.dwg, Sheet 34, 11/13/2012 2:36:49 PM, 1:1



LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
•	SPOT ELEVATION
○	WALKOUT BASEMENT
-SF-	SILT FENCE
-SSF-	SUPER SILT FENCE
ECM	EROSION CONTROL MATTING
---	LIMIT OF DISTURBANCE
SL	STREET LIGHT PER F-09-057
UNMIT	UNMITIGATED 65DBA NOISE LINE
18" SD	PROPOSED STORM DRAIN PIPE
PS	PROPOSED SEWER
15% to 24.9% Slope	
	EXISTING LANDSCAPING PER S0P-09-037
	EXISTING STREET TREES PER F-09-057
	REVERSE GUTTER PAN SLOPE
	EXISTING STORMDRAIN
	EXISTING SEWER
	EXISTING WATER
	EXISTING WATER/SEWER & UTILITY EASEMENT
	EXISTING STREET TREES

NO.	REVISION	DATE
6	REV. TO ADD PER SIMPLE LOTS PER F-11-111 & ADD PHASE V TO 2007-09-04	10/21/14
5	REV. TO ADD PER SIMPLE LOTS PER F-12-101	10/17/13
4	REV. TO ADD PER SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
3	REV. PER ADDITION APPO PHASE 4 BLDGS & S-06-13 PHASING TAB AND ADJUSTMENTS ASSOCIATED WITH OUTSIDE TOWNHOUSE UNIT.	12/19/11
2	REV. TO ADD PER SIMPLE LOTS PER EXHIBIT PER F-09-11	12/6/10
1	REV. PER ADDITION APPO PHASE 3 BLDGS & S-06-13 PHASING TAB	3/24/10



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/3/14.

T. Fisher 11/24/12 DATE
TERRILL A. FISHER, PROFESSIONAL ENGINEER

AS-BUILT CERTIFICATION

Note: There is no "AS BUILT" information provided on this sheet.

Charles J. O'Leary, Jr. 11/6/18 DATE
CHARLES J. O'LEARY, JR. No. 19304

BUILDERS	
NV HOMES 6085 MARSHALLEE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-5956	RYAN HOMES 6085 MARSHALLEE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956
OWNERS	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-367-0422	WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING				
<i>Kat Blalock</i>	12/19/12			
Chief, Division of Land Development	Date			
<i>Michael S. ...</i>	12/10/12			
Chief, Development Engineering Division	Date			
<i>Paul ...</i>	12/10/12			
Director - Department of Planning and Zoning	Date			
PROJECT	SECTION	PARCEL NO.		
GTW'S WAVERLY WOODS	14	12		
PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.
SEE GENERAL NOTE #31	3 & 4	P5C	16	THRD
WATER CODE	SEWER CODE			
K-02	5992000			

REVISED
DRAINAGE AREA MAP/SOILS MAP
AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASE II, TRU V LOTS 5, 12 THRU 39, 44 THRU 60, 65 THRU 103, 172 THRU 231 & 240 THRU 309 TOWNHOUSE & SINGLE FAMILY HOMES

ZONING: P5C
C/O LAND DESIGN AND DEVELOPMENT, INC.
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: DECEMBER, 2013
SHEET 35 OF 100

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

:SDSK(RC)130770 GTW WEST/eng/Construction Documents/Redline Phase 4 Fee Simple 60 Lots/Construction Document - 30770 Sheet 34-41 SD Da Map.dwg, Sheet 36, 1/9/2014 4:18:27 PM, 1:1



LEGEND	
SYMBOL	DESCRIPTION
	EXISTING CONTOUR 2' INTERVAL
	PROPOSED CONTOUR 2' INTERVAL
	SPOT ELEVATION
	WALKOUT BASEMENT
	SILT FENCE
	SUPER SILT FENCE
	EROSION CONTROL MATTING
	LIMIT OF DISTURBANCE
	STREET LIGHT PER F-09-057
	UNLIMITED GRADE NOISE LINE
	PROPOSED STORM DRAIN PIPE
	PROPOSED SEWER
	15% to 24.9% Slope
	EXISTING LANDSCAPING PER SDP-09-037
	EXISTING STREET TREES PER F-09-057
	REVERSE GUTTER PAN SLOPE
	EXISTING STORMDRAIN
	EXISTING WATER
	EXISTING WATER/SEWER & UTILITY EASEMENT
	EXISTING STREET TREES

SCALE
1"=50'

REVISED

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK • 10272 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
410.461.2999

NO.	REVISION	DATE
4	REV. TO ADD FEE SIMPLE LOTS PER F-14-111 & ADD PHASE V TO SDP-09-039	10/20/14
3	REV. TO ADD FEE SIMPLE LOTS PER F-13-101	12/17/13
2	REV. TO ADD FEE SIMPLE LOTS PER F-12-009 AND ADD GRIFFIN HALL	9/28/12
1	REV. TO ADD FEE SIMPLE LOTS PER F-10-113	1/12/11
NO.	REVISION	DATE

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE: 10/3/14.

TERRELL A. FISHER, PROFESSIONAL ENGINEER
DATE: 1/9/14

AS-BUILT CERTIFICATION
Note: There is no "AS BUILT" information provided on this sheet.

CHARLES J. CLARK, PE, NO. 13204
DATE: 11/6/13

BUILDERS

NV HOMES 6085 MARSHALLEE DRIVE SUITE 130 ELKRIDGE, MD. 21075 410-379-5956	RYAN HOMES 6085 MARSHALLEE DRIVE SUITE 140 ELKRIDGE, MD. 21075 410-379-5956
---	---

DEVELOPER
WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLCOTT CITY, MARYLAND 21042
443-367-0422

OWNERS
WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLCOTT CITY, MARYLAND 21042
443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Date: 2/10/14

Chief, Division of Land Development

Date: 2/10/14

Director - Department of Planning and Zoning

Date: 2/10/14

PROJECT	SECTION	PARCEL NO. "E"
GTW'S WAVERLY WOODS	14	PHASE III - THRU V LOTS 12 - 14, 16 - 18, 20 - 22, 24, 26-29
PLAT	BLOCK NO.	ZONE
SEE GENERAL NOTE #81	3 & 4	PSC
TAX/ZONE	ELEC. DIST.	CENSUS TR.
16	THIRD	60300
WATER CODE	SEWER CODE	
K-02	5992000	

DRAINAGE AREA MAP/SOILS MAP

AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
SECTION 14

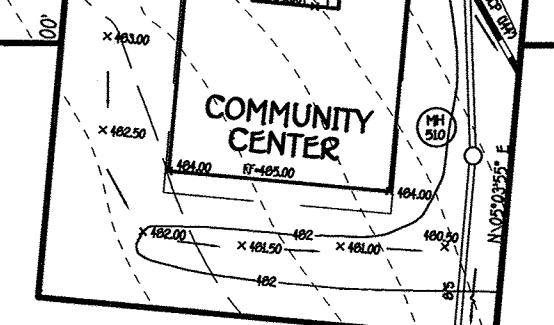
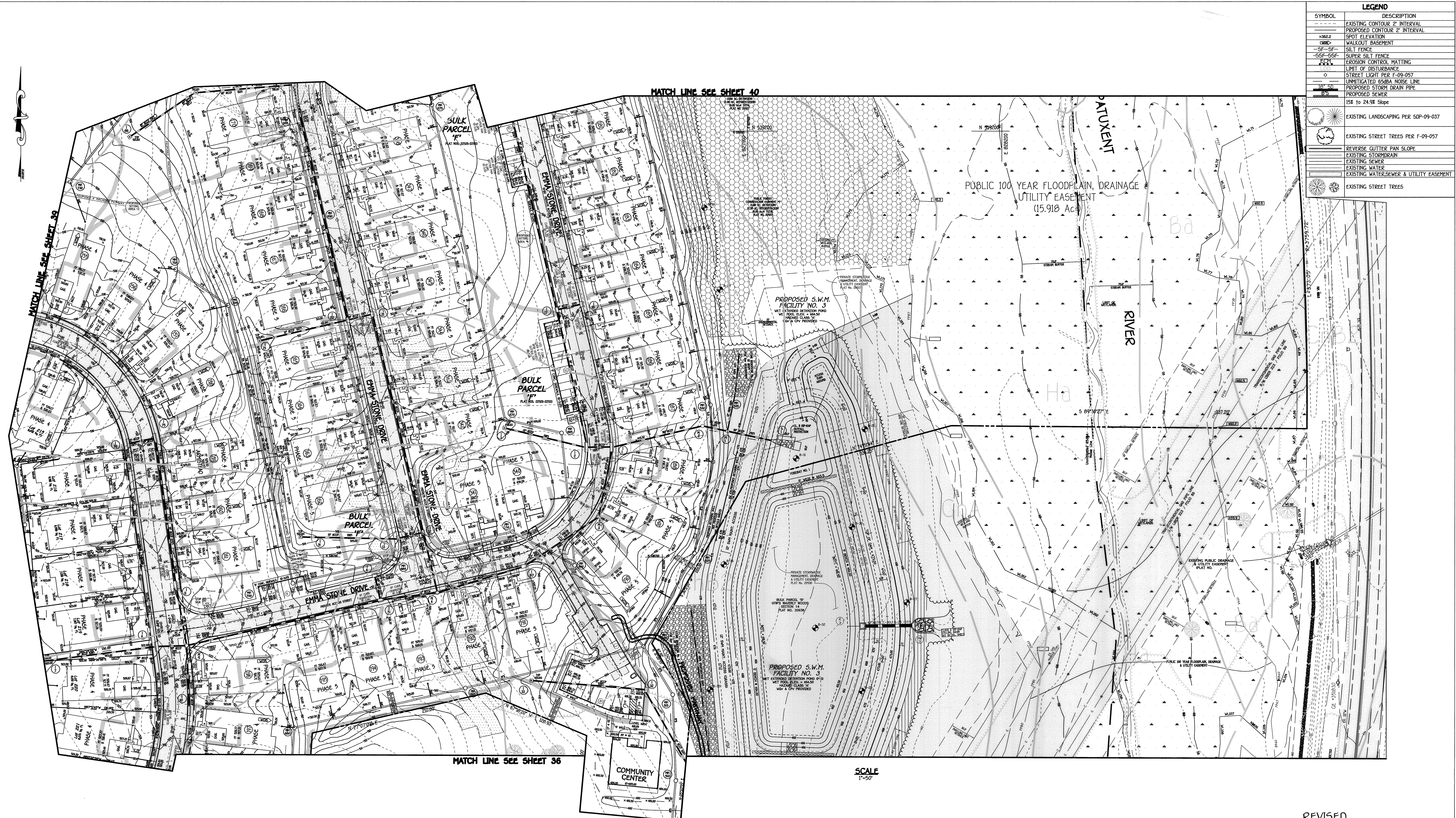
"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASE II, THRU V LOTS 5, 12 THRU 22, 44 THRU 50, 60 THRU 105, 172 THRU 231 & 240 THRU 307
TOWNHOUSES & SINGLE FAMILY HOMES

ZONING: PSC
TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: DECEMBER, 2013
SHEET 36 OF 100

SDP-09-039

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
362.2	SPOT ELEVATION
---	WALKOUT BASEMENT
---	SELT FENCE
---	SUPER SILT FENCE
---	EROSION CONTROL MATTING
---	LIMIT OF DISTURBANCE
---	STREET LIGHT PER F-09-057
---	UNIDENTIFIED ESBM NOISE LINE
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED SEWER
---	15% TO 24.9% Slope
---	EXISTING LANDSCAPING PER SOP-09-037
---	EXISTING STREET TREES PER F-09-057
---	REVERSE GUTTER PAN SLOPE
---	EXISTING STORMDRAIN
---	EXISTING SEWER
---	EXISTING WATER
---	EXISTING WATER,SEWER & UTILITY EASEMENT
---	EXISTING STREET TREES



SCALE
1"=50'

NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER F-14-101 & ADD PHASE V TO SOP-09-037	10/10/12
2	REV. TO ADD FEE SIMPLE LOTS PER F-13-101	12/17/13
3	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE 12/31/14

TERRILL A. FISHER 1/10/14 DATE
TERRILL A. FISHER, PROFESSIONAL ENGINEER

AS-BUILT CERTIFICATION
Note: There is no "AS BUILT" information provided on this sheet.

Charles J. Ozono, P.E. 1/14/14 Date
CHARLES J. OZONO, P.E. NO. 18204

BUILDERS	
NV HOMES 6085 MARSHALLEE DRIVE SUITE 130 ELKRIDGE, MD. 21075 410-379-5956	RYAN HOMES 6085 MARSHALLEE DRIVE SUITE 140 ELKRIDGE, MD. 21075 410-379-5956
DEVELOPER	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-367-0422	
OWNERS	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-367-0422	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Krista J. Smith 2/18/14 Date
Chief, Division of Land Development

Chad Edwards 2-10-14 Date
Chief, Development Engineering Division

Patrick M. G. Galt 2/10/14 Date
Director - Department of Planning and Zoning

PROJECT	SECTION	PARCEL NO. 'E'			
GTW'S WAVERLY WOODS	14	PHASES 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100			
PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
SEE GENERAL NOTE #81	3 & 4	PSC	16	THIRD	60300
WATER CODE	SEWER CODE				
K-02	5992000				

REVISED

DRAINAGE AREA MAP/SOILS MAP

AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
SECTION 14

"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASES 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

TOWNHOUSE & SINGLE FAMILY HOMES

ZONING PSC
TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE AS SHOWN DATE: DECEMBER, 2013
SHEET 38 OF 100

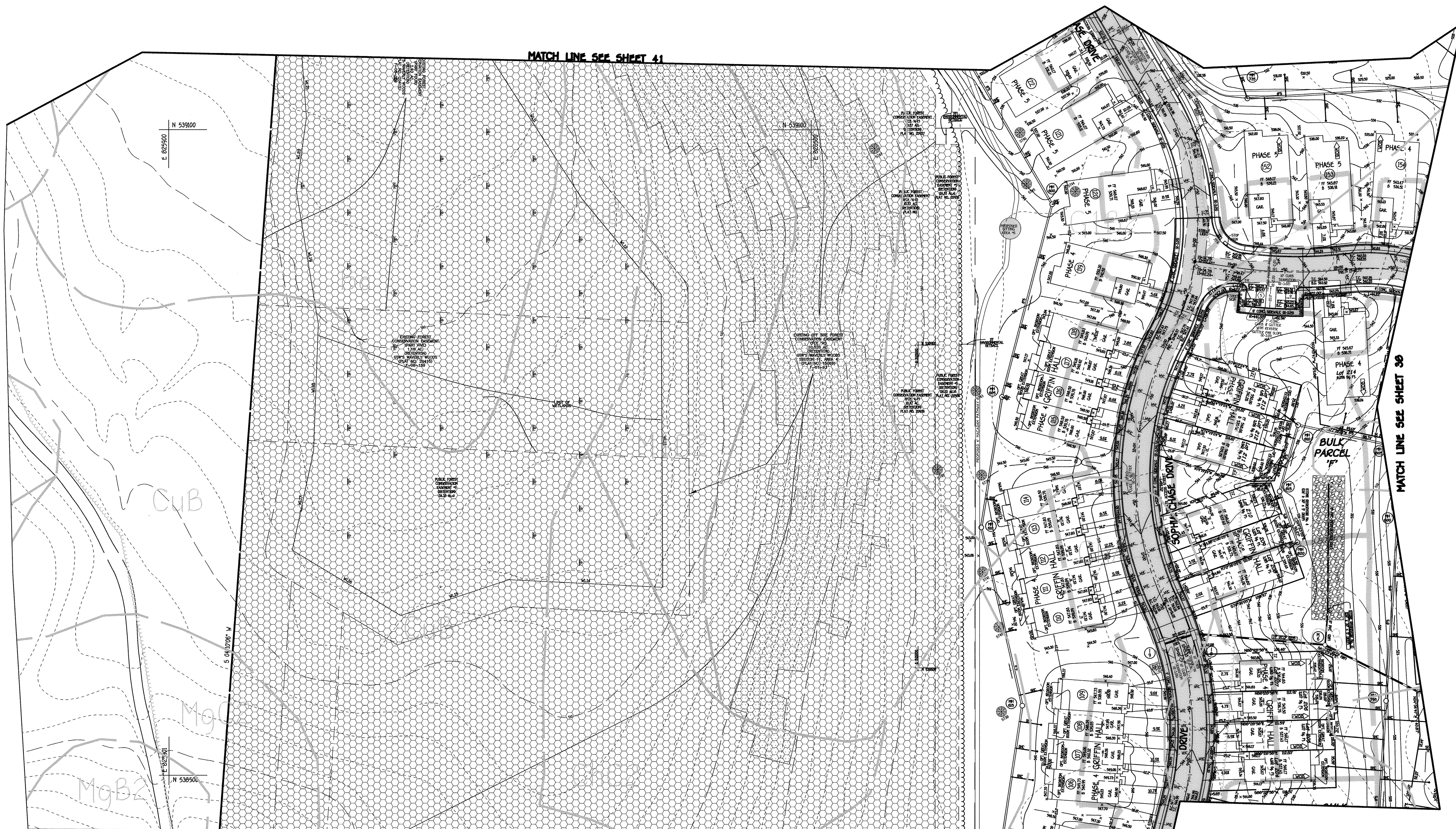
5DP-09-039

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET





MATCH LINE SEE SHEET 41



MATCH LINE SEE SHEET 37

SCALE
1"=50'

MATCH LINE SEE SHEET 39

LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
•	SPOT ELEVATION
---	WALKOUT BASEMENT
-SF-SF-	GILT FENCE
-SSF-SSF-	SUPER SILT FENCE
---	EROSION CONTROL MATTING
---	LIMIT OF DISTURBANCE
○	STREET LIGHT PER F-09-057
---	UNMITIGATED SOUND NOISE LINE
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED SEWER
---	15% to 24.9% Slope
---	EXISTING LANDSCAPING PER S0P-09-037
○	EXISTING STREET TREES PER F-09-057
---	REVERSE GUTTER PAN SLOPE
---	EXISTING STORMDRAIN
---	EXISTING SEWER
---	EXISTING WATER
---	EXISTING WATER,SEWER & UTILITY EASEMENT
○	EXISTING STREET TREES

REVISED

DRAINAGE AREA MAP/SOILS MAP

AGE RESTRICTED ADULT HOUSING GTW'S WAVERLY WOODS SECTION 14

"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASE II, THRU V LOTS 12 THRU 30, 44 THRU 66, 88 THRU 106, 172 THRU 231 & 240 THRU 300
TOWNHOUSE & SINGLE FAMILY HOMES

ZONING: PSC
GRID NO: 3 & 4
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: DECEMBER, 2013
SHEET 39 OF 100

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING					
<i>[Signature]</i> Chief, Division of Land Development		2/10/14 Date			
<i>[Signature]</i> Chief, Development Engineering Division		2/10/14 Date			
Director - Department of Planning and Zoning					
PROJECT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
GTW'S WAVERLY WOODS	3 & 4	PSC	16	THIRD	60300
PLAT	SEE GENERAL NOTE #31				
WATER CODE	SEWER CODE				
K-02	5992000				

BUILDERS	
NV HOMES 6085 MARSHALLEE DRIVE SUITE 130 ELKRIDGE, MD. 21075 410-379-5956	RYAN HOMES 6085 MARSHALLEE DRIVE SUITE 140 ELKRIDGE, MD. 21075 410-379-5956
DEVELOPER	OWNERS
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-367-0422	WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-367-0422

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/31/14.

[Signature]
TERRILL A. FISHER, PROFESSIONAL ENGINEER
DATE: 2/10/14

AS-BUILT CERTIFICATION
Note: There is no "AS BUILT" information provided on this sheet.

[Signature]
CHRISTOPHER J. ORNO, PE
NO. 19204
Date: 11/6/13

 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS CENTENNIAL SQUARE OFFICE PARK - 10275 BALTIMORE NATIONAL PARK ELLICOTT CITY, MARYLAND 21042 410P.461.2095		
NO.	REVISION	DATE
3	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	1/29/14
2	REV. TO ADD FEE SIMPLE LOTS PER F-13-101	12/17/13
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

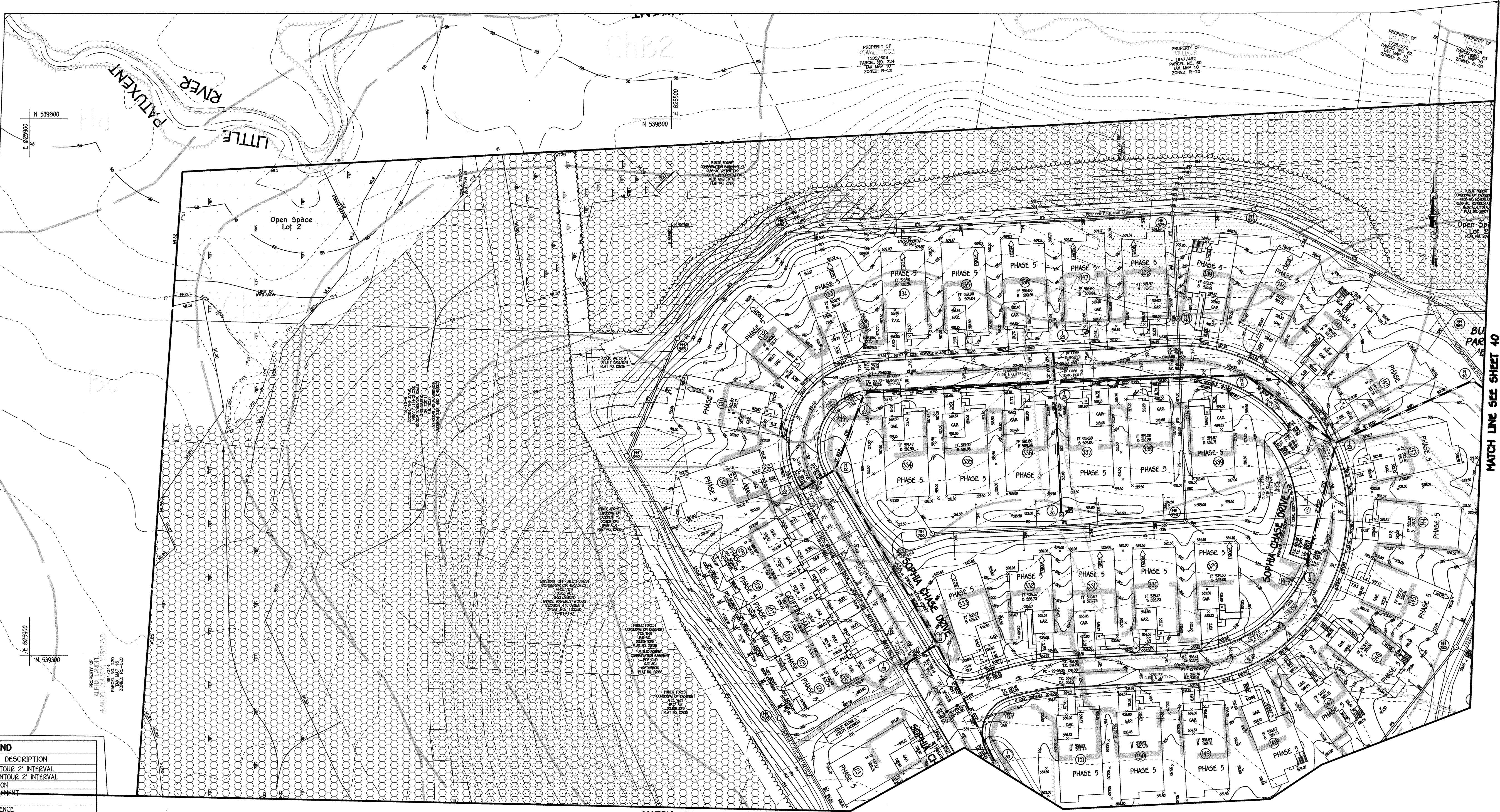
:\SDSKR01\30770 GTW WEST\dwg\Construction Documents\Redline Phase 4 Fee Simple 60 Lots\Construction Documents\Redline Sheet 39_1\10\2014 8:53:13 AM, 1:1

**STORM DRAIN
STRUCTURE SCHEDULE**

STRUCTURE NUMBER	AREA	'C'	ZONED	IMP.
I-1	0.75 AC.	0.71	PSC	65X
I-2	0.72 AC.	0.57	PSC	45X
I-3	0.78 AC.	0.57	PSC	45X
I-4	0.29 AC.	0.71	PSC	65X
I-5	0.31 AC.	0.71	PSC	65X
I-6	1.43 AC.	0.71	PSC	65X
I-7	4.60 AC.	0.46	PSC	30X
I-8	1.09 AC.	0.71	PSC	65X
I-9	1.38 AC.	0.71	PSC	65X
I-10	0.55 AC.	0.71	PSC	65X
I-11	0.89 AC.	0.71	PSC	65X
I-12	0.29 AC.	0.71	PSC	65X
I-13	0.29 AC.	0.71	PSC	65X
I-14	1.22 AC.	0.45	PSC	28X
I-15	0.78 AC.	0.40	PSC	22X
I-16	2.25 AC.	0.40	PSC	21X
I-17	1.19 AC.	0.44	PSC	27X
I-18	0.41 AC.	0.71	PSC	65X
I-19	0.38 AC.	0.71	PSC	65X
I-20	0.67 AC.	0.71	PSC	65X
I-21	0.36 AC.	0.71	PSC	65X
I-22	0.48 AC.	0.71	PSC	65X
I-23	0.71 AC.	0.71	PSC	65X
I-24	0.70 AC.	0.71	PSC	65X
I-25	1.10 AC.	0.71	PSC	65X
I-26	1.39 AC.	0.71	PSC	65X
I-27	0.54 AC.	0.44	PSC	27X
I-28	0.33 AC.	0.71	PSC	65X
I-29	0.51 AC.	0.71	PSC	65X
I-30	0.15 AC.	0.94	PSC	98X
I-31	0.29 AC.	0.71	PSC	65X
I-32	0.44 AC.	0.71	PSC	65X
I-33	0.73 AC.	0.71	PSC	65X
I-34	0.22 AC.	0.71	PSC	65X
I-35	0.20 AC.	0.71	PSC	65X
I-36	0.69 AC.	0.71	PSC	65X
I-37	0.55 AC.	0.71	PSC	65X
I-38	0.69 AC.	0.71	PSC	65X
I-39	0.53 AC.	0.71	PSC	65X
I-40	0.38 AC.	0.81	PSC	80X
I-41	0.49 AC.	0.71	PSC	65X
I-42	0.51 AC.	0.71	PSC	65X
I-43	0.56 AC.	0.71	PSC	65X
I-44	0.92 AC.	0.51	PSC	37X
I-45	0.71 AC.	0.71	PSC	65X
I-46	0.69 AC.	0.71	PSC	65X
I-47	0.86 AC.	0.71	PSC	65X
I-48	1.01 AC.	0.52	PSC	38X
I-49	1.47 AC.	0.71	PSC	65X
I-50	1.04 AC.	0.60	PSC	50X
I-51	0.47 AC.	0.46	PSC	30X
I-52	0.33 AC.	0.71	PSC	65X
I-53	0.34 AC.	0.71	PSC	65X
I-54	0.42 AC.	0.71	PSC	65X
I-55	0.10 AC.	0.94	PSC	98X
I-56	0.82 AC.	0.46	PSC	30X
I-57	0.43 AC.	0.71	PSC	65X
I-58	0.42 AC.	0.71	PSC	65X
I-59	0.86 AC.	0.71	PSC	65X
I-60	1.17 AC.	0.71	PSC	65X
I-61	0.53 AC.	0.46	PSC	30X
I-62	1.96 AC.	0.50	PSC	35X
I-63	0.39 AC.	0.71	PSC	65X
I-64	0.88 AC.	0.71	PSC	65X
I-65	0.83 AC.	0.43	PSC	25X
I-66	0.48 AC.	0.71	PSC	65X
I-67	0.83 AC.	0.71	PSC	65X
I-68	0.43 AC.	0.71	PSC	65X
I-69	0.38 AC.	0.71	PSC	65X
I-70	1.27 AC.	0.59	PSC	49X
I-71	0.08 AC.	0.87	PSC	88X
I-72	0.08 AC.	0.87	PSC	88X
I-73	0.10 AC.	0.29	PSC	0X
I-74	2.27 AC.	0.38	PSC	19X
I-75	0.65 AC.	0.80	PSC	78X
I-76	0.39 AC.	0.80	PSC	79X
I-77	0.19 AC.	0.73	PSC	68X
I-78	0.57 AC.	0.75	PSC	72X
I-79	0.30 AC.	0.79	PSC	77X
I-80	0.34 AC.	0.87	PSC	88X
I-81	0.34 AC.	0.86	PSC	87X
I-82	0.45 AC.	0.82	PSC	82X
I-83	0.27 AC.	0.80	PSC	78X
I-84	0.18 AC.	0.87	PSC	89X
I-85	0.33 AC.	0.85	PSC	85X
I-86	1.28 AC.	0.80	PSC	21X
S-4	3.77 AC.	0.85	PSC	85X

LEGEND

SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
✕88.2	SPOT ELEVATION
WALKOUT	WALKOUT BASEMENT
SF	SILT FENCE
SSF	SUPER SILT FENCE
ECC	EROSION CONTROL MATTING
---	LIMIT OF DISTURBANCE
SL	STREET LIGHT PER F-09-057
N	UNMITIGATED 65DBA NOISE LINE
18" 50'	PROPOSED STORM DRAIN PIPE
8"	PROPOSED SEWER
15% to 24.9%	Slope
(Sun symbol)	EXISTING LANDSCAPING PER SDP-09-037
(Tree symbol)	EXISTING STREET TREES PER F-09-057
---	REVERSE GUTTER PAN SLOPE
---	EXISTING STORMDRAIN
---	EXISTING SEWER
---	EXISTING WATER
---	EXISTING WATER,SEWER & UTILITY EASEMENT
(Tree symbol)	EXISTING STREET TREES



MATCH LINE SEE SHEET 39

SCALE
1"=50'

REVISED

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 410-441-2900

NO.	REVISION	DATE
3	REV. TO ADD THE SWIRLE LOTS PER P.L.A.-III & ADD PHASE V TO PER-07-039	12/9/12
2	REV. TO ADD THE SWIRLE LOTS PER P.L.A.-III	12/17/12
1	REV. TO ADD THE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12

STATE OF MARYLAND
 PROFESSIONAL ENGINEER

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/3/14.

Terrille A. Fisher
 TERRILLE A. FISHER, PROFESSIONAL ENGINEER DATE

AS-BUILT CERTIFICATION
 Note: There is no "AS BUILT" information provided on this sheet.

Charles J. O'Neil, Jr.
 CHARLES J. O'NEIL, JR. NO. 13724 DATE

BUILDERS

NV HOMES 6085 MARSHALLEE DRIVE SUITE 140 ELKRIDGE, MD. 21075 410-379-5956	RYAN HOMES 6085 MARSHALLEE DRIVE SUITE 140 ELKRIDGE, MD. 21075 410-379-5956
---	---

DEVELOPER
 WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 443-367-0422

OWNERS
 WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 443-367-0422

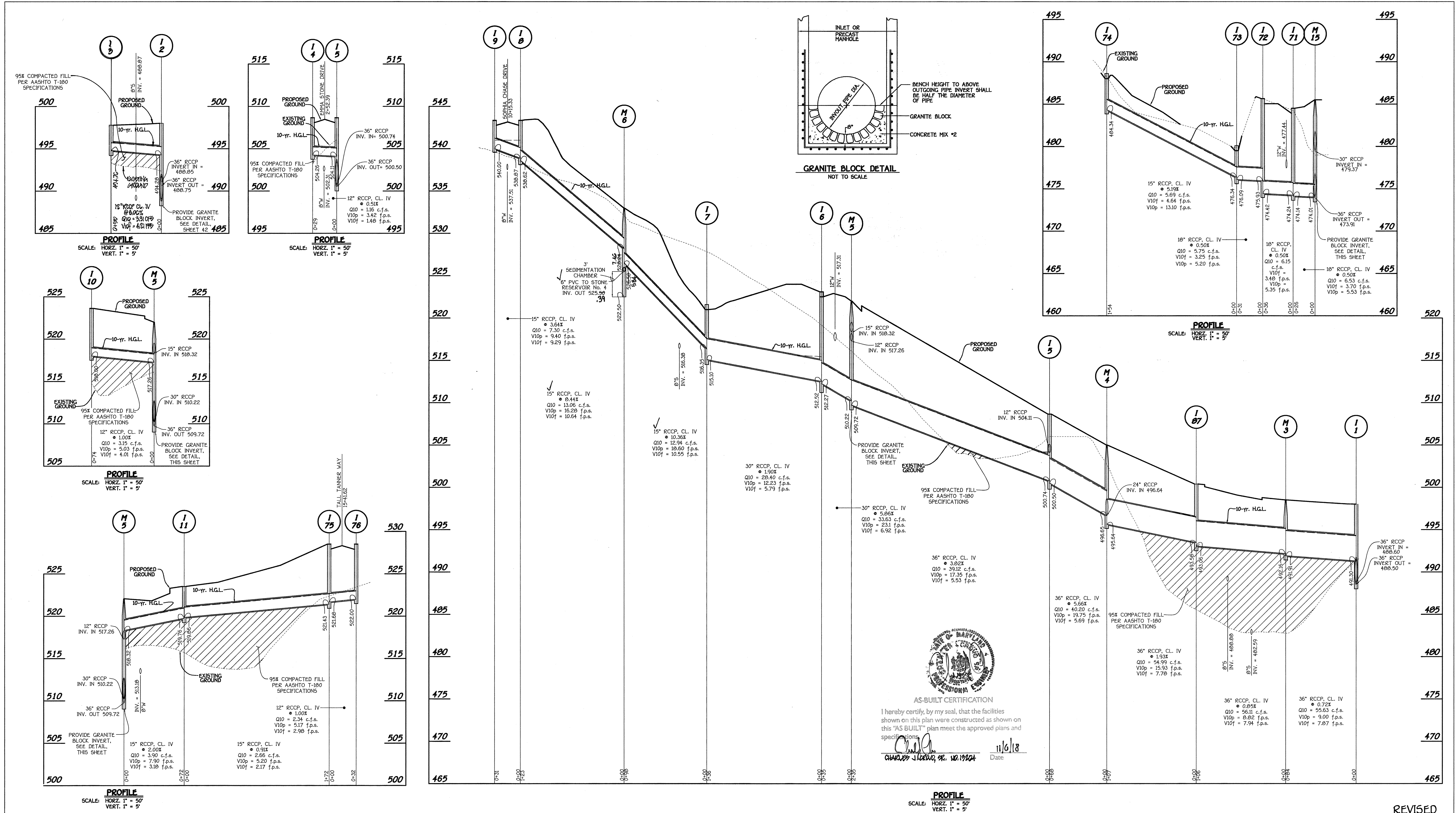
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Vest Shelnick
 Chief, Division of Land Development
 DATE 12/19/12

Charles J. O'Neil, Jr.
 Chief, Development Engineering Division
 DATE 12/19/12

Director - Department of Planning and Zoning

PROJECT: GTW'S WAVERLY WOODS SECTION 14 PARCEL NO. 14
 14019, 14020, 14021, 14022, 14023, 14024, 14025, 14026, 14027, 14028, 14029, 14030, 14031, 14032, 14033, 14034, 14035, 14036, 14037, 14038, 14039, 14040, 14041, 14042, 14043, 14044, 14045, 14046, 14047, 14048, 14049, 14050, 14051, 14052, 14053, 14054, 14055, 14056, 14057, 14058, 14059, 14060, 14061, 14062, 14063, 14064, 14065, 14066, 14067, 14068, 14069, 14070, 14071, 14072, 14073, 14074, 14075, 14076, 14077, 14078, 14079, 14080, 14081, 14082, 14083, 14084, 14085, 14086, 14087, 14088, 14089, 14090, 14091, 14092, 14093, 14094, 14095, 14096, 14097, 14098, 14099, 14100, 14101, 14102, 14103, 14104, 14105, 14106, 14107, 14108, 14109, 14110, 14111, 14112, 14113, 14114, 14115, 14116, 14117, 14118, 14119, 14120, 14121, 14122, 14123, 14124, 14125, 14126, 14127, 14128, 14129, 14130, 14131, 14132, 14133, 14134, 14135, 14136, 14137, 14138, 14139, 14140, 14141, 14142, 14143, 14144, 14145, 14146, 14147, 14148, 14149, 14150, 14151, 14152, 14153, 14154, 14155, 14156, 14157, 14158, 14159, 14160, 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14447, 14448, 14449, 14450, 14451, 14452, 14453, 14454, 14455, 14456, 14457, 14458, 14459, 14460, 14461, 14462, 14463, 14464, 14465, 14466, 14467, 14468, 14469, 14470, 14471, 14472, 14473, 14474, 14475, 14476, 14477, 14478, 14479, 14480, 14481, 14482, 14483, 14484, 14485, 14486, 14487, 14488, 14489, 14490, 14491, 14492, 14493, 14494, 14495, 14496, 14497, 14498, 14499, 14500, 14501, 14502, 14503, 14504, 14505, 14506, 14507, 14508, 14509, 14510, 14511, 14512, 14513, 14514, 14515, 14516, 14517, 14518, 14519, 14520, 14521, 14522, 14523, 14524, 14525, 14526, 14527, 14528, 14529, 14530, 14531, 14532, 14533, 14534, 14535, 14536, 14537, 14538, 14539, 14540, 14541, 14542, 14543, 14544, 14545, 14546, 14547, 14548, 14549, 14550, 14551, 14552, 14553, 14554, 14555, 14556, 14557, 14558, 14559, 14560, 14561, 14562, 14563, 14564, 14565, 14566, 14567, 14568, 14569, 14570, 14571, 14572, 14573, 14574, 14575, 14576, 14577, 14578, 14579, 14580, 14581, 14582, 14583, 14584, 14585, 14586, 14587, 14588, 14589, 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14733, 14734, 14735, 14736, 14737, 14738, 14739, 14740, 14741, 14742, 14743, 14744, 14745, 14746, 14747, 14748, 14749, 14750, 14751, 14752, 14753, 14754, 14755, 14756, 14757, 14758, 14759, 14760, 14761, 14762, 14763, 14764, 14765, 14766, 14767, 14768, 14769, 14770, 14771, 14772, 14773, 14774, 14775, 14776, 14777, 14778, 14779, 14780, 14781, 14782, 14783, 14784, 14785, 14786, 14787, 14788, 14789, 14790, 14791, 14792, 14793, 14794, 14795, 14796, 14797, 14798, 14799, 14800, 14801, 14802, 14803, 14804, 14805, 14806, 14807, 14808, 14809, 14810, 14811, 14812, 14813, 14814, 14815, 14816, 14817, 14818, 14819, 14820, 14821, 14822, 14823, 14824, 14825, 14826, 14827, 14828, 14829, 14830, 14831, 14832, 14833, 14834, 14835, 14836, 14837, 14838, 14839, 14840, 14841, 14842, 14843, 14844, 14845, 14846, 14847, 14848, 14849, 14850, 14851, 14852, 14853, 14854, 14855, 14856, 14857, 14858, 14859, 14860, 14861, 14862, 14863, 14864, 14865, 14866, 14867, 14868, 14869, 14870, 14871, 14872, 14873, 14874, 14875, 14876, 14877, 14878, 14879, 14880, 14881, 14882, 14883, 14884, 14885, 14886, 14887, 14888, 14889, 14890, 14891, 14892, 14893, 14894, 14895, 14896, 14897, 14898, 14899, 14900, 14901, 14902, 14903, 14904, 14905, 14906, 14907,



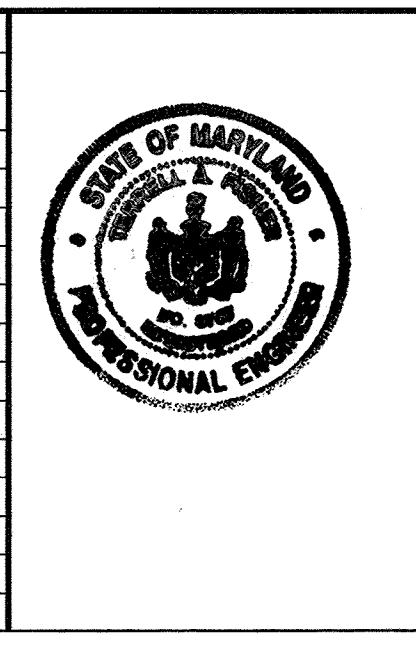
GRANITE BLOCK DETAIL
NOT TO SCALE



AS-BUILT CERTIFICATION
I hereby certify, by my seal, that the facilities shown on this plan were constructed as shown on this "AS BUILT" plan meet the approved plans and specifications.
Terrell A. Fisher
11/6/18
Date

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PARK
ELLCOTT CITY, MARYLAND 21042
410.461.2925

NO.	REVISION	DATE
1	UPDATE STORM DRAIN	9/1/18
2	REV. TO ADD FEE SIMPLE LOTS PER PAR. 11.4 AND PAR. 10 TO PRECD. ORD.	10/31/18
3	REV. TO ADD FEE SIMPLE LOTS PER E-19-101	12/17/18
4	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9737 EXPIRATION DATE IS 3/31/14.
Terrell A. Fisher
TERRELL A. FISHER, PROFESSIONAL ENGINEER
11/6/18
DATE

BUILDERS	
INV HOMES 6085 MARSHALLE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-5956	RYAN HOMES 6085 MARSHALLE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956
DEVELOPER	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-367-0422	
OWNERS	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-367-0422	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

<i>Kurt Steinhilber</i> Chief, Division of Land Development 12/19/18 Date	<i>Michael J. ...</i> Chief, Development Engineering Division 12/19/18 Date
Director - Department of Planning and Zoning	
PROJECT GTW'S WAVERLY WOODS	SECTION 14
PLAT SEE GENERAL NOTE #91	BLOCK NO. 3 & 4
WATER CODE K-02	SEWER CODE 5992000
PARCEL NO. "E" PHASE II, TRACT V 1000 & 1020 44-28-88-109, 116-28 & 140-360	PARCEL NO. "E" PHASE II, TRACT V 1000 & 1020 44-28-88-109, 116-28 & 140-360
ELEC. DIST. THIRD	CENSUS TR. 60300

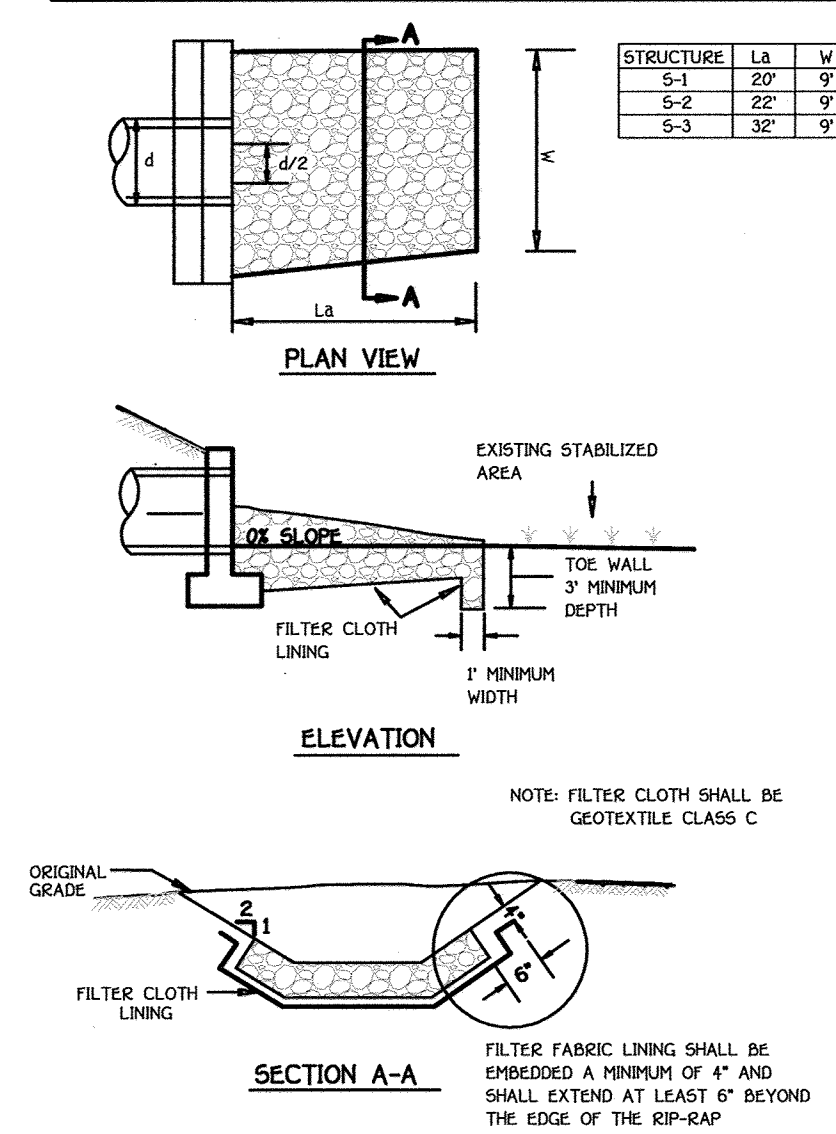
STORM DRAIN PROFILES
AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASE II, TRACT V LOTS 9, 12 TRACT 29, 44 TRACT 80, 88 TRACT 102, 172 TRACT 81 & 240 TRACT 309
TOWNHOUSE & SINGLE FAMILY HOMES

ZONING: PSC
TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: 11/6/18
SHEET 42 OF 100

REVISED

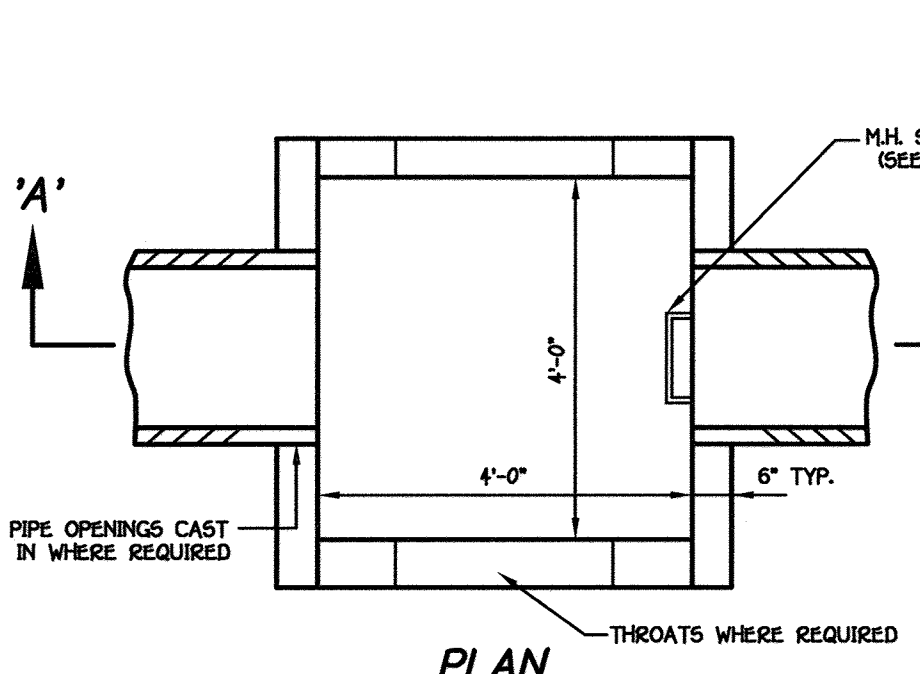
"AS-BUILT"

ROCK OUTLET PROTECTION III



Construction Specifications

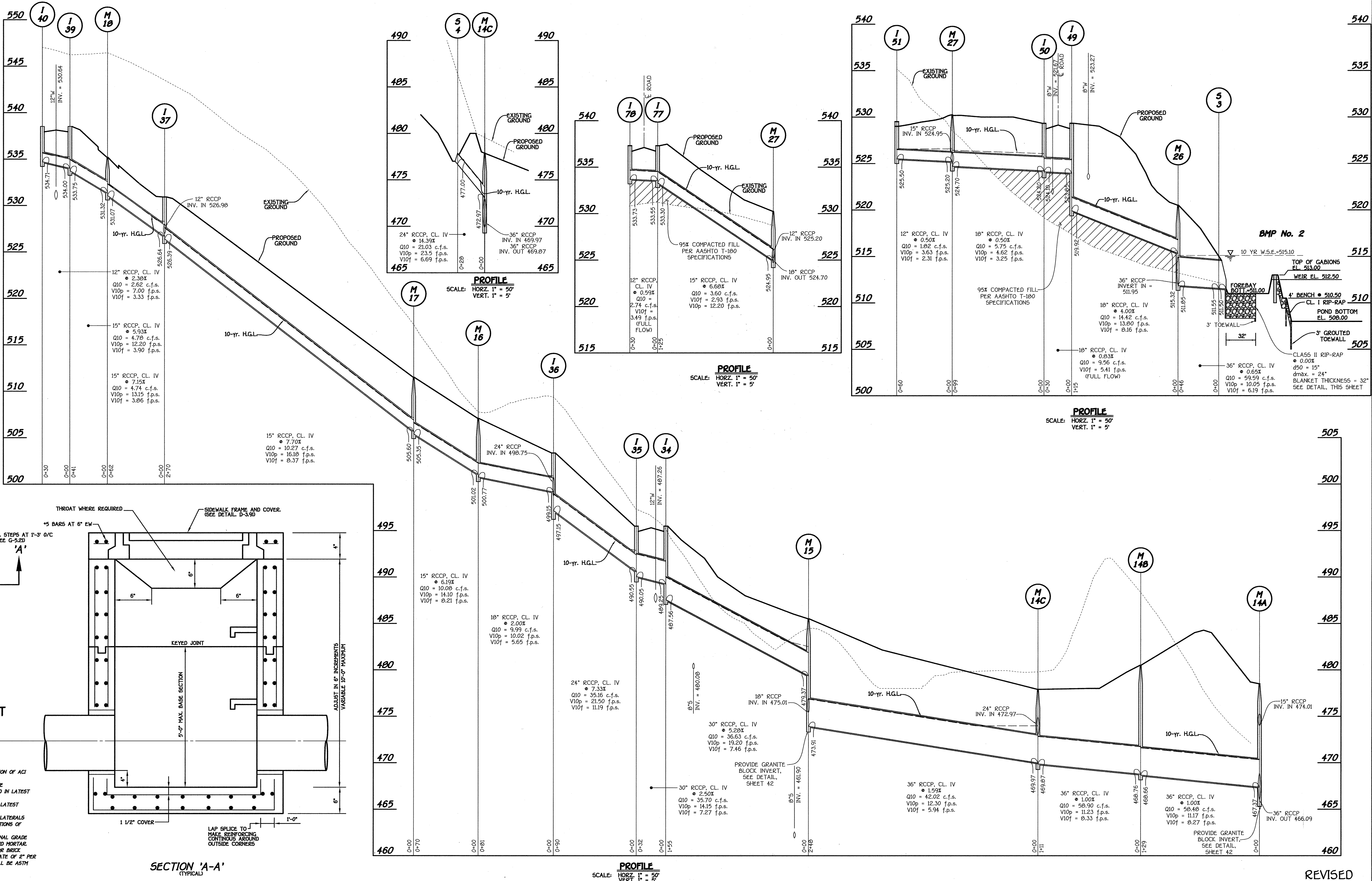
- The subgrade for the filter, rip-rap, or gabion shall be prepared to the required lines and grades. Any fill required in the subgrade shall be compacted to a density of approximately that of the surrounding undisturbed material.
- The rock or gravel shall conform to the specified grading limits when installed respectively in the rip-rap or filter.
- Geotextile shall be protected from punching, cutting, or tearing. Any damage other than an occasional small hole shall be repaired by placing another piece of geotextile over the damaged part or by completely replacing the geotextile. All overlaps whether for repairs or for joining two pieces of geotextile shall be a minimum of one foot.
- Stone for the rip-rap or gabion outlets may be placed by equipment. They shall be constructed to the full cover thickness in one operation and in such a manner as to avoid displacement of underlying materials. The stone for rip-rap or gabion outlets shall be delivered and placed in a manner that will ensure that it is reasonably homogeneous with the smaller stones and spalls filling the voids between the larger stones. Rip-rap shall be placed in a manner to prevent damage to the filter blanket or geotextile. Hand placement will be required to the extent necessary to prevent damage to the permanent works.
- The stone shall be placed so that it blends with the existing ground. If the stone is placed too high then the flow will be forced out of the channel and scour adjacent to the stone will occur.



MODIFIED TYPE 'D' PRECAST INLET

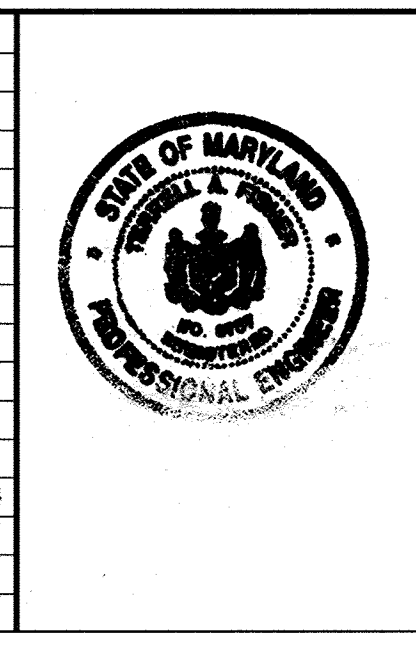
NOT TO SCALE

- NOTES**
- CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF LATEST EDITION OF ACI 308 AND ACI 308R.
 - PRECAST STRUCTURES SHALL BE DESIGNED BY A PRECAST CONCRETE STRUCTURES MANUFACTURER IN ACCORDANCE TO LOADING SPECIFIED IN LATEST EDITIONS OF ASTM C897 AND ASTM C890.
 - PRECAST STRUCTURES SHALL CONFORM TO THE REQUIREMENTS OF LATEST EDITIONS OF ASTM C890.
 - RESILIENT CONNECTORS BETWEEN MANHOLE STRUCTURES, PIPES AND LATERALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF LATEST EDITIONS OF ASTM C890.
 - OVERALL HEIGHT OF PRECAST IS ADJUSTABLE IN 6" INCREMENTS. FINAL GRADE ADJUSTMENTS SHALL BE MADE BY THE CONTRACTOR WITH BRICK AND MORTAR.
 - INVERT SHALL BE APPROVED PRECAST. PLAIN MIX NO.3 CONCRETE OR BRICK LAD ON EDGE. INVERT TO SLOPE DOWN TOWARD OUTLET AT THE RATE OF 2" PER FOOT, OR AS SHOWN ON PLAN OR AS DIRECTED. INVERT BRICK SHALL BE ASTM C32-91 GRADE 55.



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 410.461.2955

NO.	REVISION	DATE
3	REV. TO ADD FEE SIMPLE LOTS PER F-14-111 & ADD PHASE V TO 2009-039	10/31/14
2	REV. TO ADD FEE SIMPLE LOTS PER F-13-101	12/17/13
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757-EXPIRATION DATE IS 3/31/14.

TERRELL A. FISHER, PROFESSIONAL ENGINEER
 DATE: 11/14/12

AS-BUILT CERTIFICATION
 Note: There is no "AS BUILT" information provided on this sheet.
 Date: 11/14/12

BUILDERS	
NV HOMES 6085 MARSHALLEE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-5956	RYAN HOMES 6085 MARSHALLEE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956
DEVELOPER	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422	
OWNERS	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING					
[Signature]		[Signature]		[Signature]	
Chief, Division of Land Development		Chief, Development Engineering Division		Director - Department of Planning and Zoning	
DATE: 12/19/12		DATE: 12/19/12		DATE: 12/19/12	
PROJECT	SECTION	PARCEL NO. "E"	DATE: 12/19/12		
GTW'S WAVERLY WOODS	14	172-221 & 240-307	DATE: 12/19/12		
PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
SEE GENERAL NOTE #91	3 & 4	PSC	16	THIRD	60300
WATER CODE	SEWER CODE		DATE: 12/19/12		
K-02	5992000		DATE: 12/19/12		

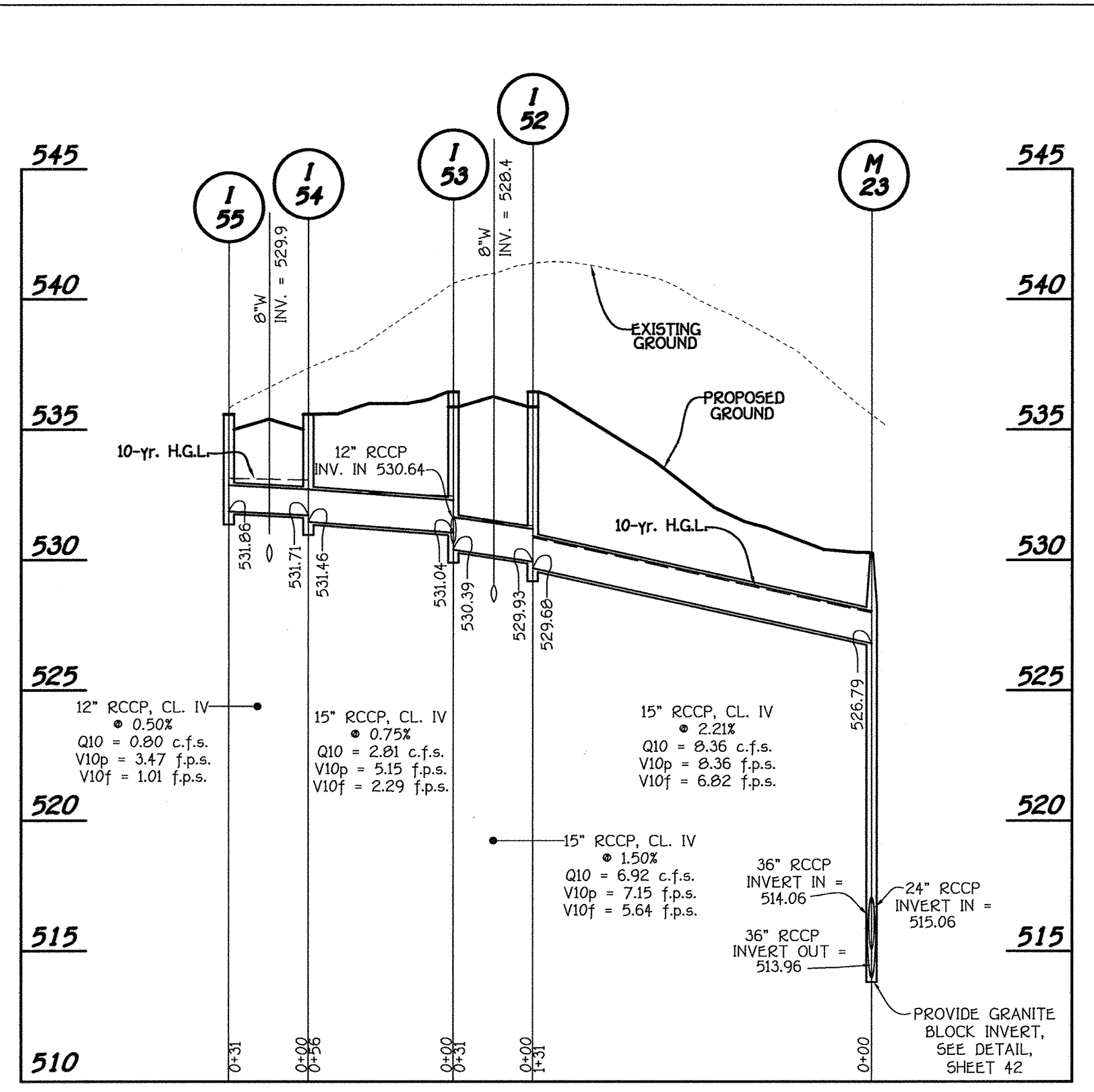
STORM DRAIN PROFILES

AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
 SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASE II, TRAY V LOTS 5, 12 TRAY 99, 44 TRAY 82, 88 TRAY 103, 172 TRAY 231 & 240 TRAY 309
 TOWNHOUSES & SINGLE FAMILY HOMES

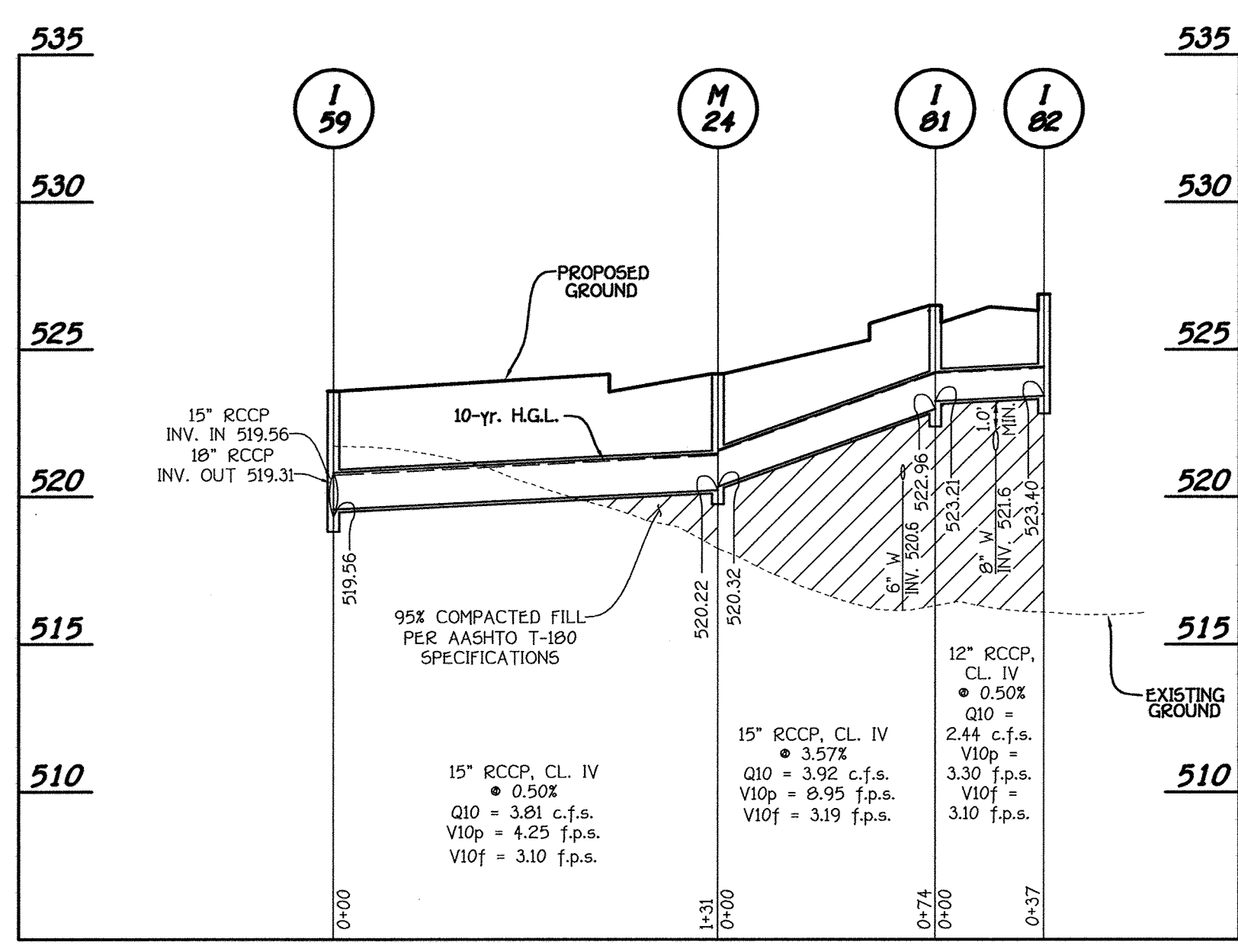
ZONING: PSC
 TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: 12/19/12 SHEET 45 OF 100

DATE: 12/19/12

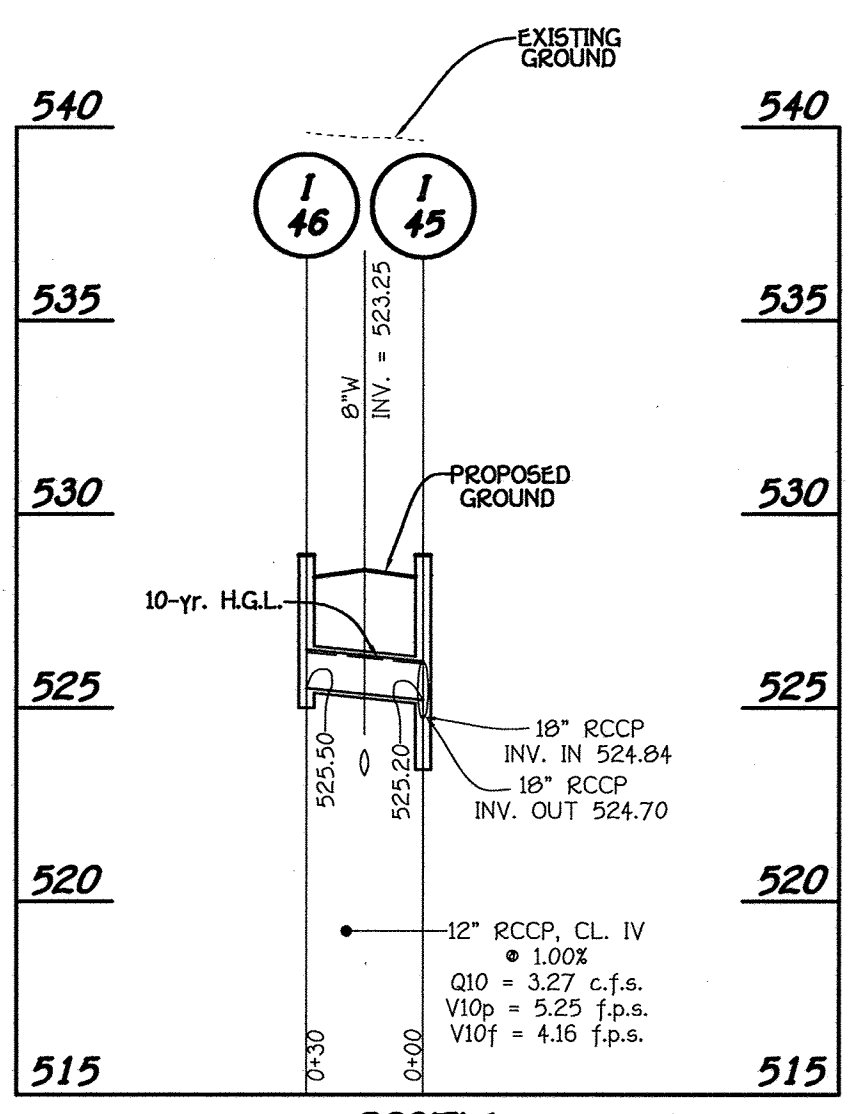
THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET



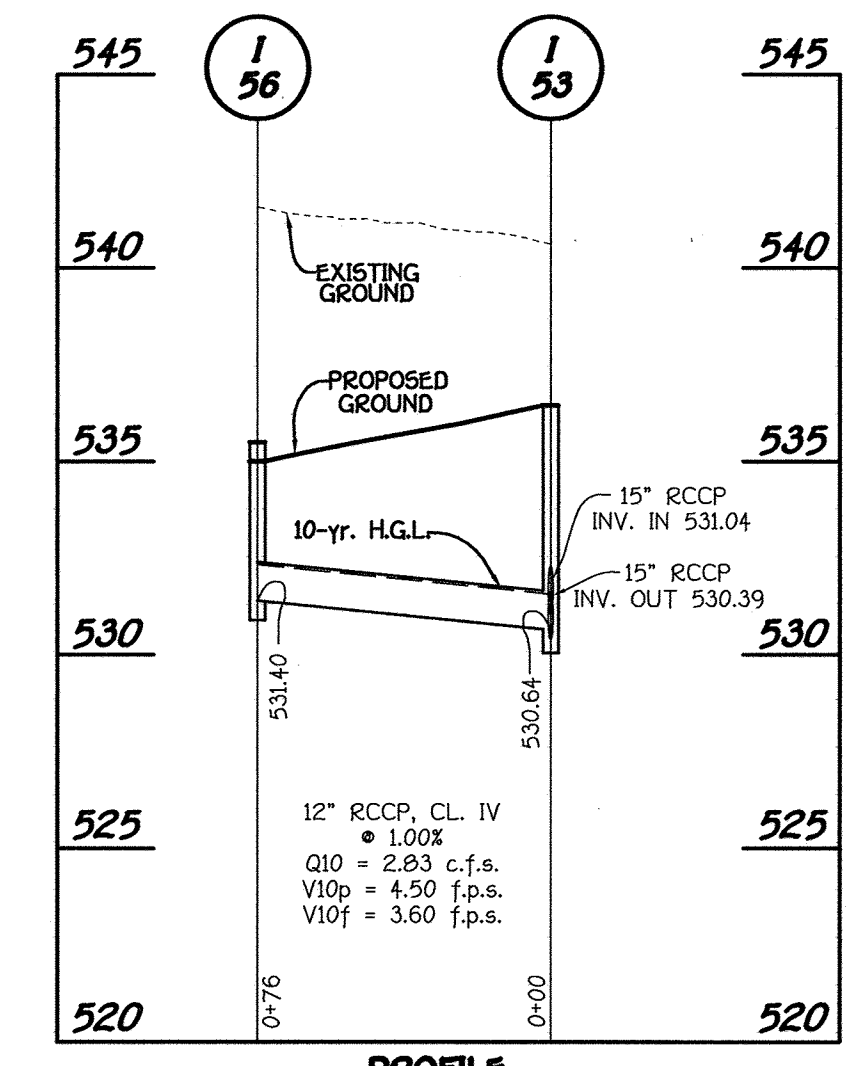
PROFILE
SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'



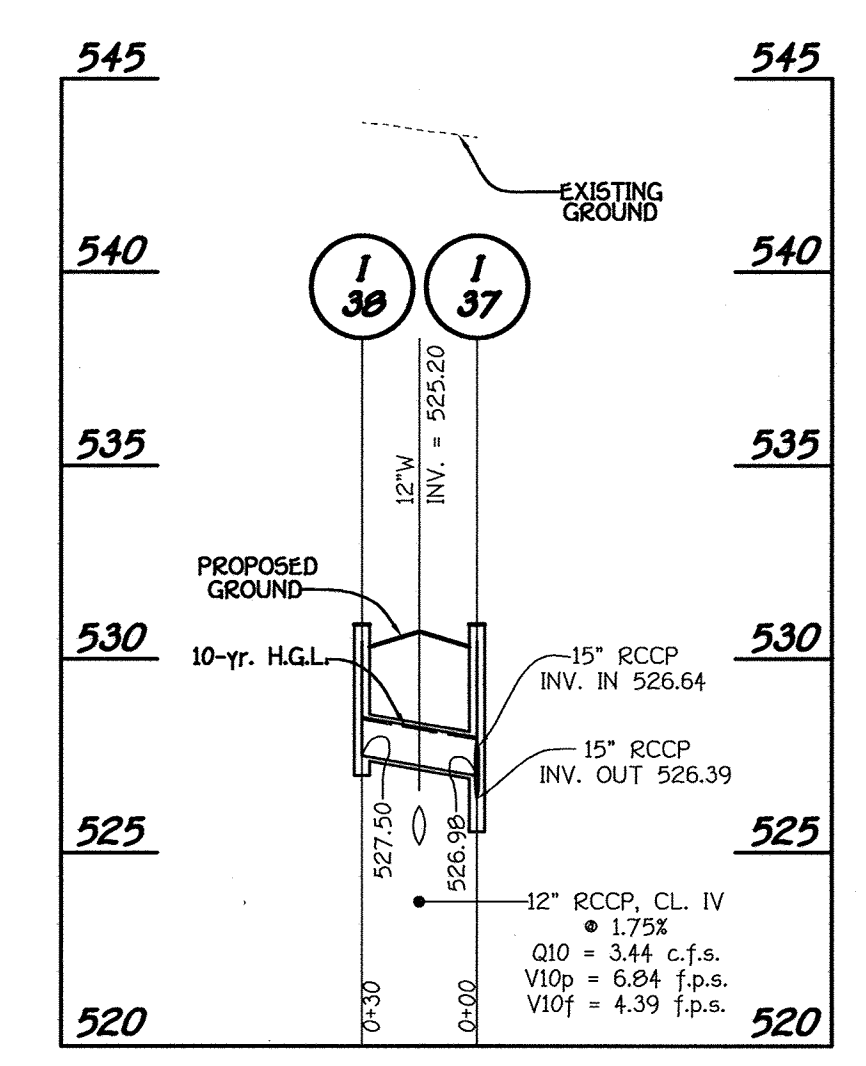
PROFILE
SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'



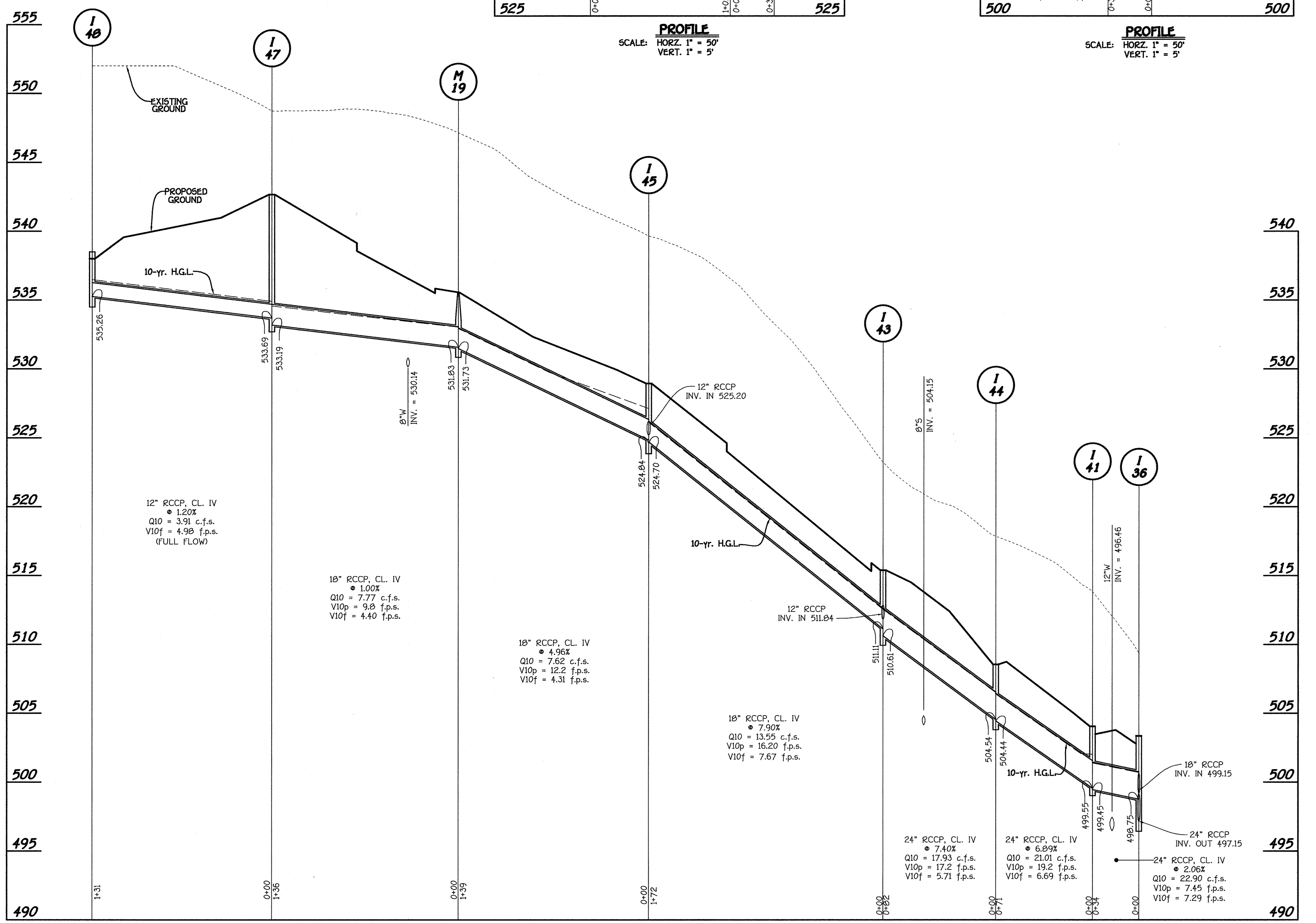
PROFILE
SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'



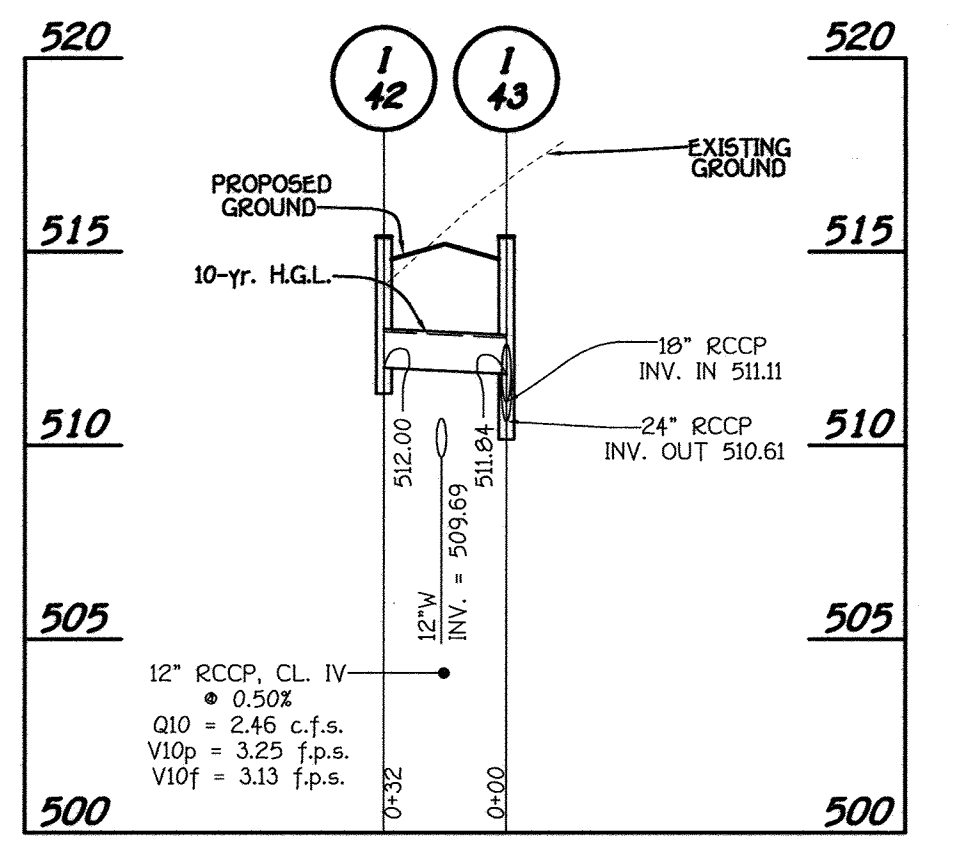
PROFILE
SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'



PROFILE
SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'



PROFILE
SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'



PROFILE
SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'

FISHER, COLLINS & CARTER, INC. CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS CENTRAL SQUARE OFFICE PARK - 18272 BALTIMORE NATIONAL PIKE ELLICOTT CITY, MARYLAND 21114 (410) 461-2955		
NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
2	REV. TO ADD FEE SIMPLE LOTS PER F-13-101	10/17/13
3	REV. TO ADD FEE SIMPLE LOTS PER F-14-111 & ADD PHASE V TO P-09-099	10/31/14

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/31/14.

Terrrell A. Fisher
 TERRRELL A. FISHER, PROFESSIONAL ENGINEER
 DATE: 11/16/13

AS-BUILT CERTIFICATION
 Note: There is no "AS-BUILT" information provided on this sheet.
Charles J. ...
 DATE: 11/6/13

BUILDERS
 NV HOMES: 6085 MARSHALLEE DRIVE, SUITE 130, ELK RIDGE, MD. 21075, 410-379-5956
 RYAN HOMES: 6085 MARSHALLEE DRIVE, SUITE 140, ELK RIDGE, MD. 21075, 410-379-5956

DEVELOPER
 WAVERLY WOODS DEVELOPMENT CORPORATION, C/O LAND DESIGN AND DEVELOPMENT, INC., 5300 DORSEY HALL DRIVE, SUITE 102, ELLICOTT CITY, MARYLAND 21042, 443-367-0422

OWNERS
 WAVERLY WOODS DEVELOPMENT CORPORATION, C/O LAND DESIGN AND DEVELOPMENT, INC., 5300 DORSEY HALL DRIVE, SUITE 102, ELLICOTT CITY, MARYLAND 21042, 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 12/19/12
 Chief, Division of Land Development

[Signature] 12/19/12
 Chief, Development Engineering Division

[Signature] 12/19/12
 Director - Department of Planning and Zoning

PROJECT	SECTION	PARCEL NO. "E"
GTW'S WAVERLY WOODS	14	PHASE II, TRU V LOTS 3, 12 THRU 39, 44 THRU 60, 66 THRU 102, 172 THRU 231 & 240 THRU 300
PLAT	BLOCK NO.	ZONE
SEE GENERAL NOTE #91	3 & 4	PSC
TAX/ZONE	ELEC. DIST.	CENSUS TR.
16	THIRD	60300
WATER CODE	SEWER CODE	
K-02	5992000	

STORM DRAIN PROFILES

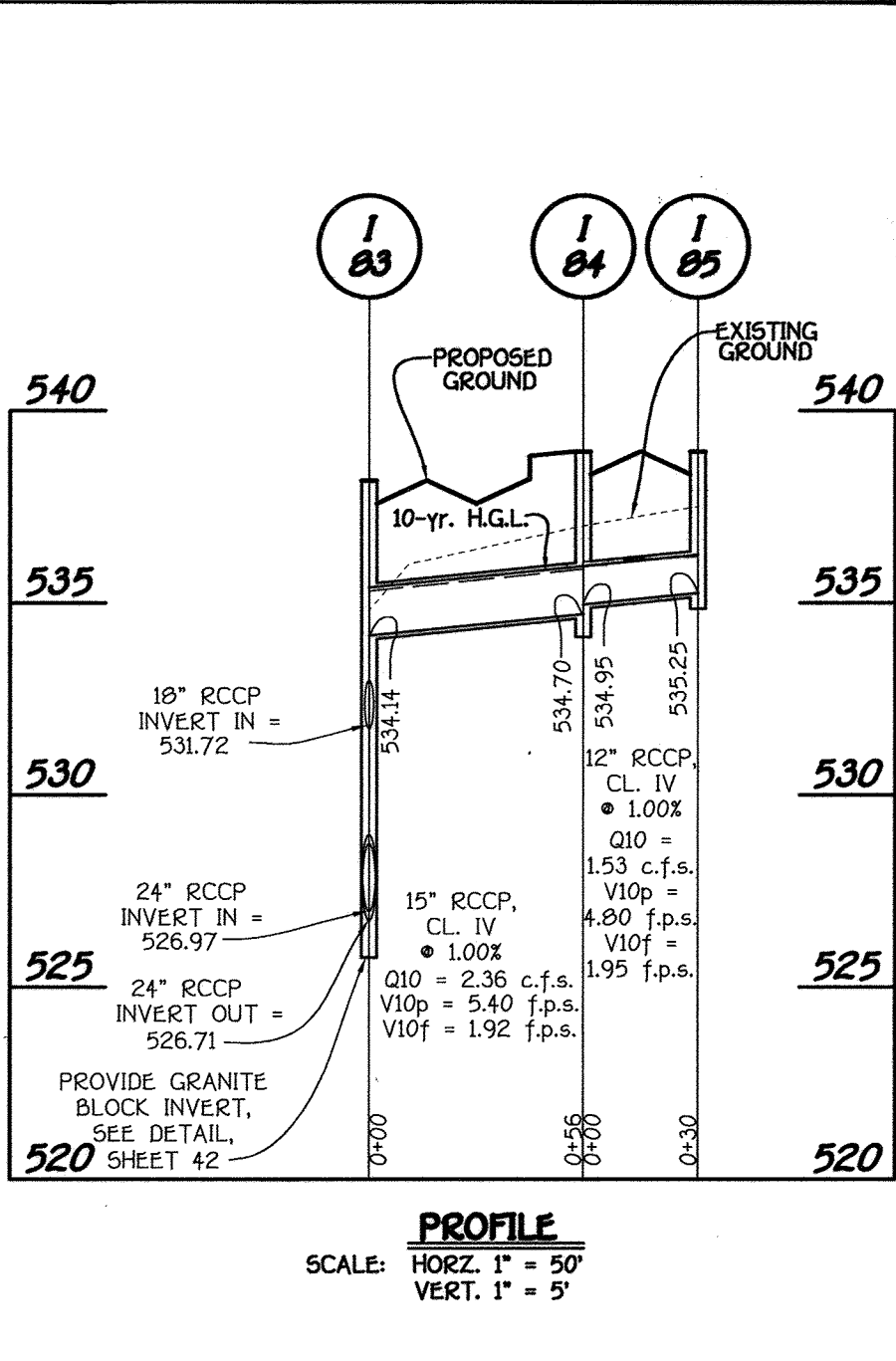
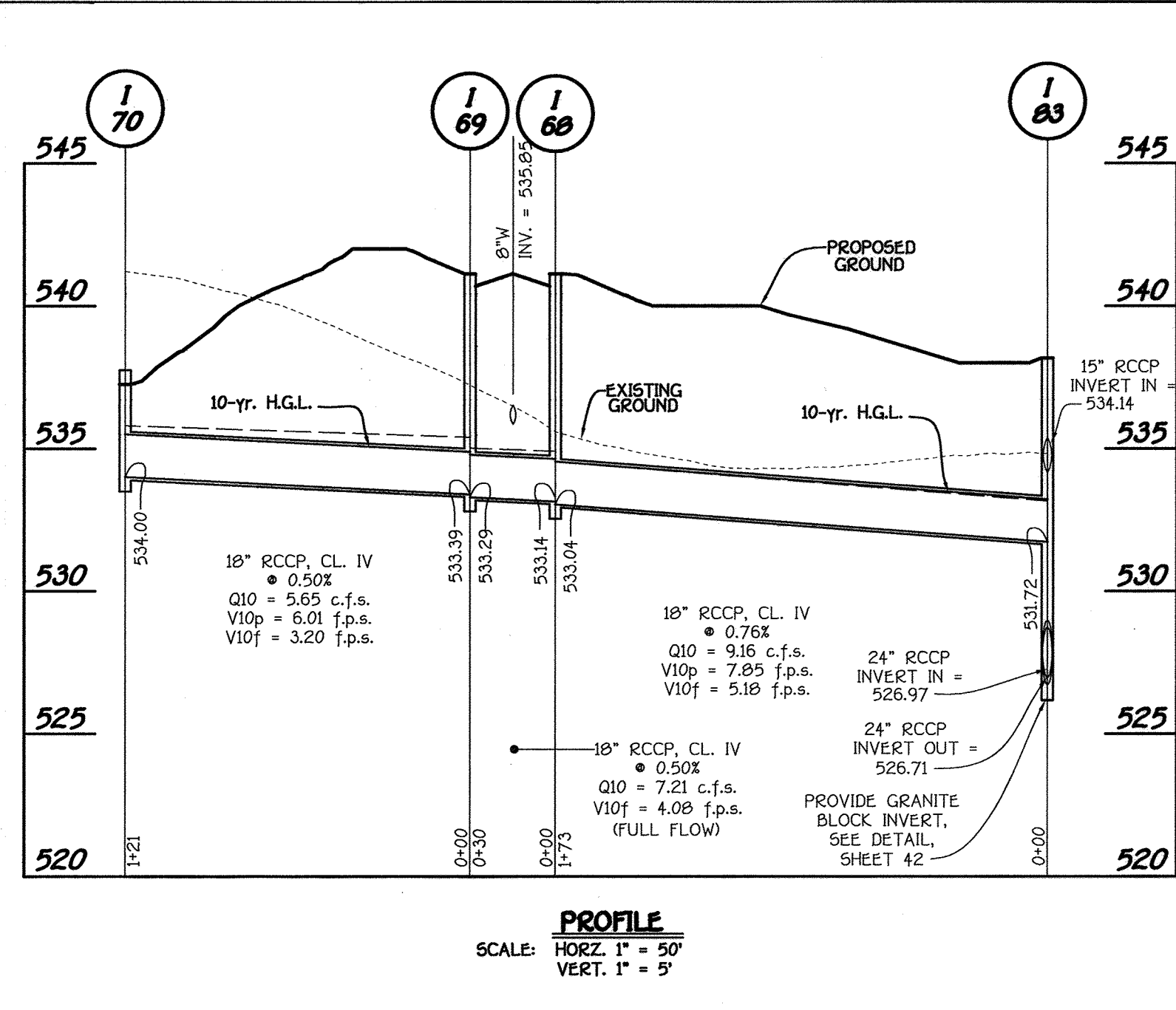
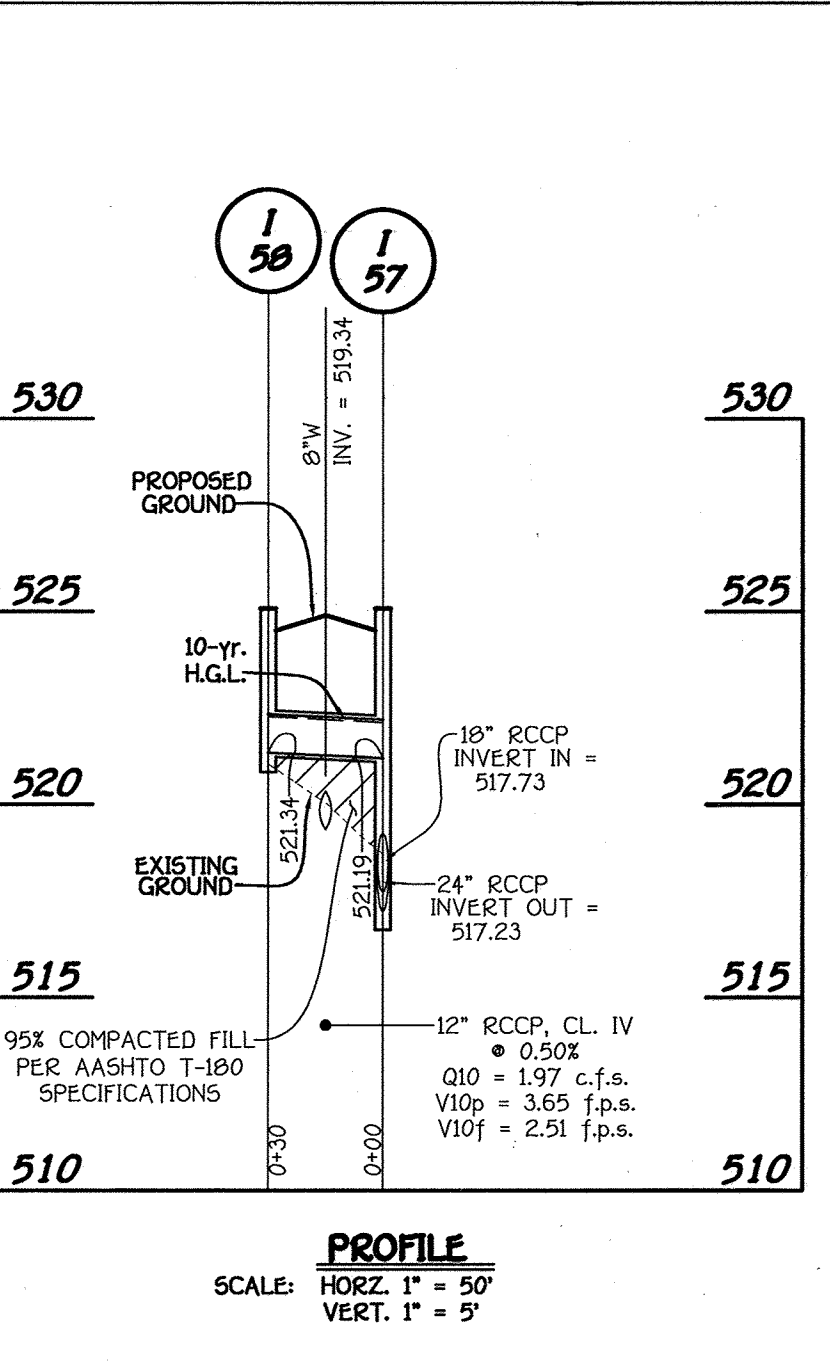
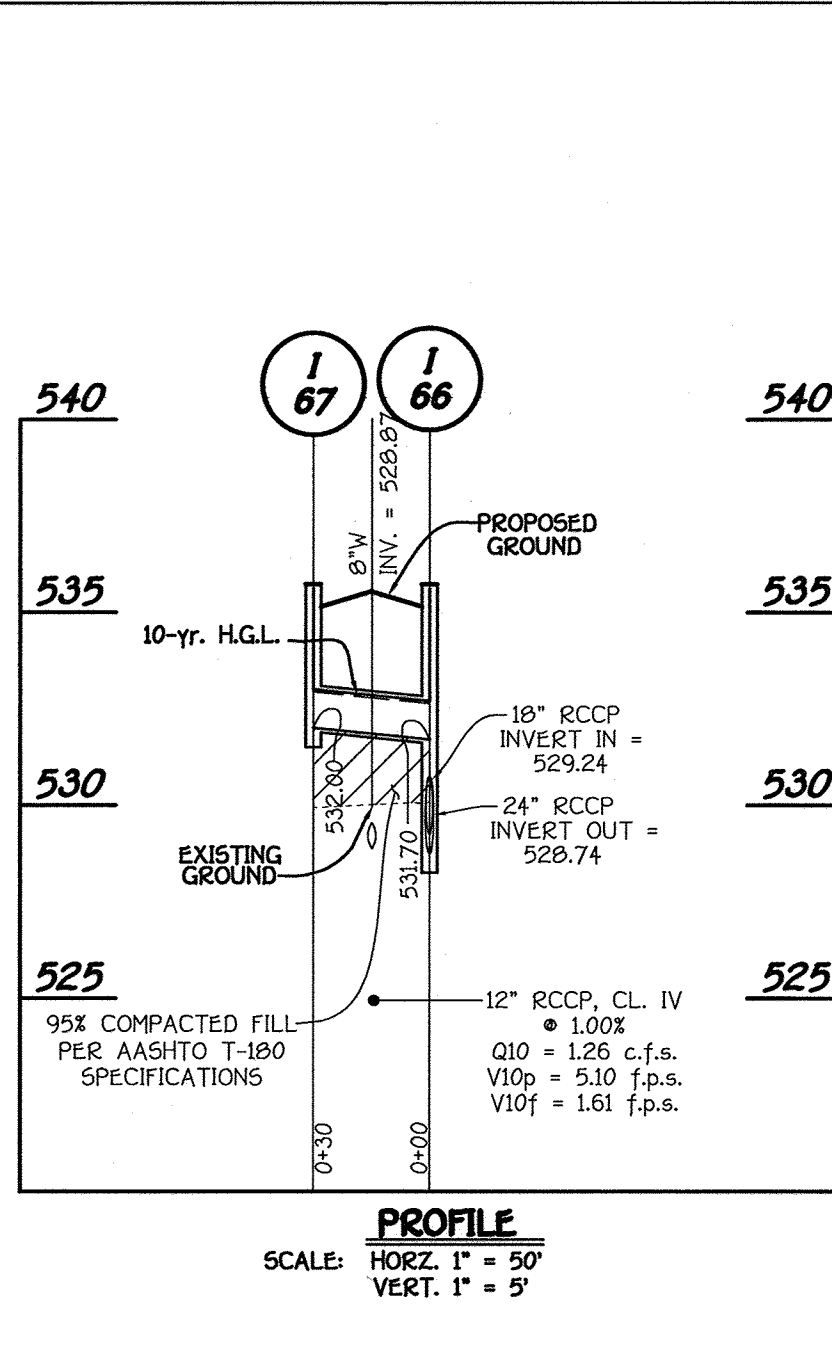
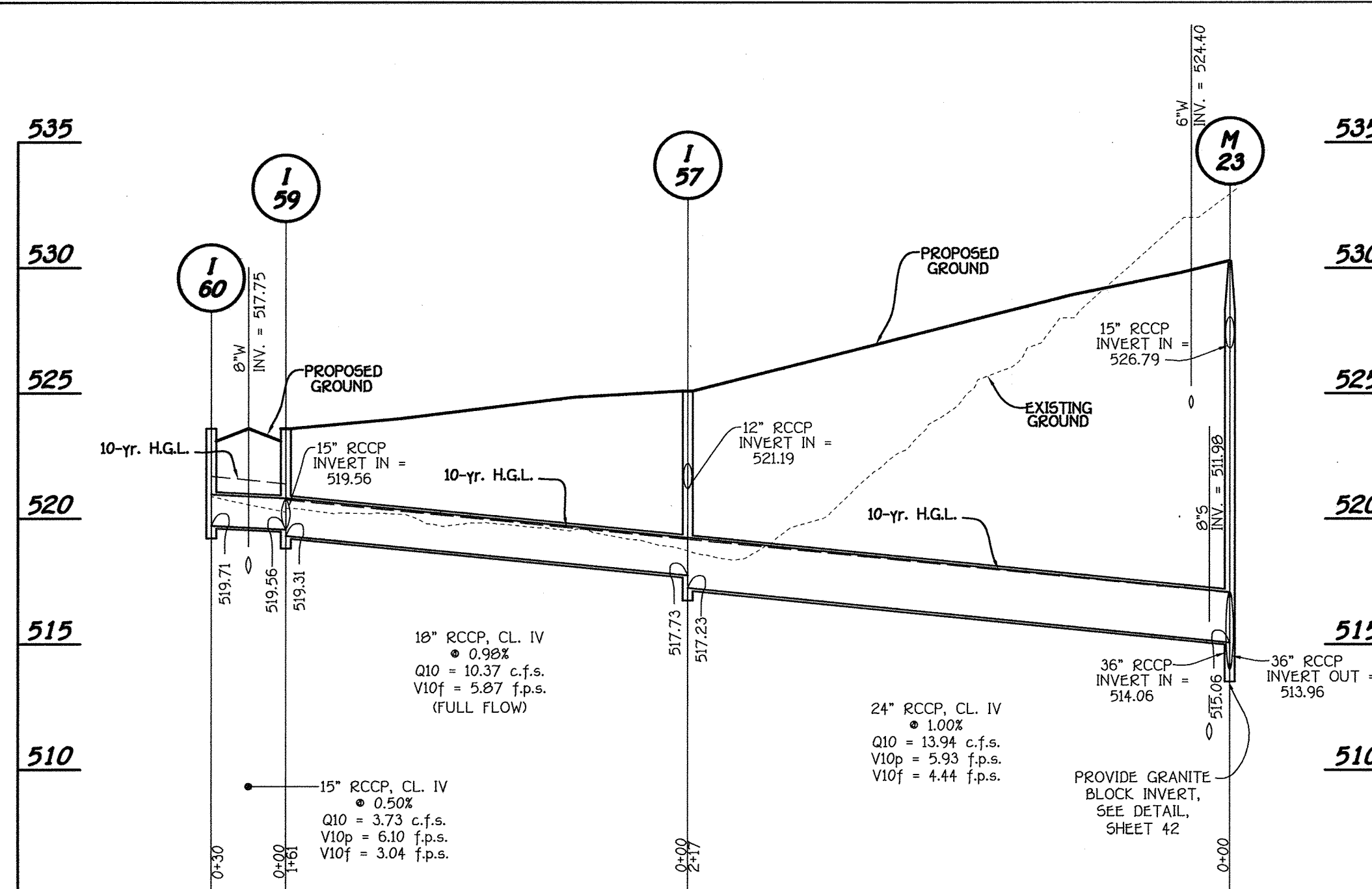
AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
 SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASE II, TRU V LOTS 3, 12 THRU 39, 44 THRU 60, 66 THRU 102, 172 THRU 231 & 240 THRU 300
 TOWNHOUSE & SINGLE FAMILY HOMES

ZONING: PSC
 TAX MAP NO. 16 GRID NO. 3 & 4 PARCEL NO. PART OF 249
 THIRD ELECTION DISTRICT - HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: DECEMBER, 2013 SHEET 46 OF 100

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

REVISED

K:\GIS\PROJECTS\30770\30770.dwg Construction Documents\Phase 4 Fee Simple 78 Lots\Construction Documents - 30770 Sheet 42-47 Storm Drain Profiles.dwg, Sheet 46, 11/14/2012 10:12:17 AM, 1:1



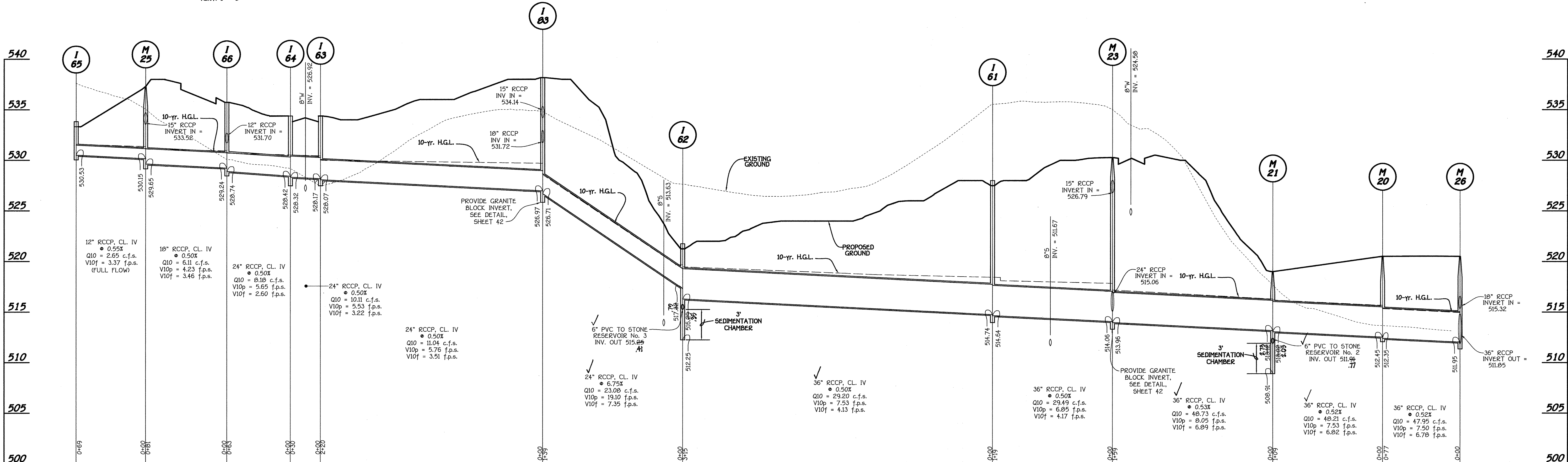
PROFILE
SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'

PROFILE
SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'

PROFILE
SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'

PROFILE
SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'

PROFILE
SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'



PROFILE
SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'

AS-BUILT CERTIFICATION

I hereby certify, by my seal, that the facilities shown on this plan were constructed as shown on this "AS BUILT" plan meet the approved plans and specifications.

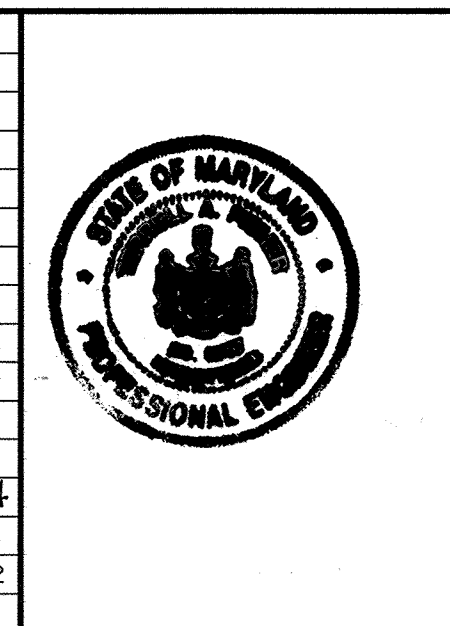
Charles J. Ordo, P.E. 11/6/18
Date



REVISED

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042
410-461-2995

NO.	REVISION	DATE
3	REV. TO ADD FEE SIMPLE LOTS PER F-12-1111 AND GRIFIN HALL	10/2/14
2	REV. TO ADD FEE SIMPLE LOTS PER F-12-101	10/17/13
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFIN HALL	9/28/12



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/31/14.

Terrell A. Fisher 11/16/12 DATE
TERRELL A. FISHER, PROFESSIONAL ENGINEER

BUILDERS	
NV HOMES 6085 MARSHALEE DRIVE SUITE 130 ELKRIDGE, MD. 21075 410-379-5956	RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELKRIDGE, MD. 21075 410-379-5956
DEVELOPER	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422	
OWNERS	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Charles J. Ordo 12/19/12 Date
Chief, Division of Land Development

Charles J. Ordo 12/19/12 Date
Chief, Development Engineering Division

Charles J. Ordo 12/19/12 Date
Director - Department of Planning and Zoning

PROJECT	SECTION	PARCEL NO. 'E'
GTW'S WAVERLY WOODS	14	178-224 & 240-307
PLAT	BLOCK NO.	ZONE
SEE GENERAL NOTE #91	3 & 4	PSC
TAX/ZONE	ELEC. DIST.	CENSUS TR.
16	THIRD	60300
WATER CODE	SEWER CODE	
K-02	5992000	

**AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"**

PHASE I, TRV U LOTS 9, 12 THRU 39, 44 THRU 60, 60 THRU 102, 172 THRU 231 & 240 THRU 309
TOWNHOUSE & SINGLE FAMILY HOMES

ZONING: PSC
TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
THIRD ELECTION DISTRICT - HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: 12/19/12 SHEET 47 OF 100

SDP-09-039

"AS-BUILT"

SOPHIA CHASE DRIVE

DESIGN SPEED = 30 MPH

VERTICAL CURVE DATA

PVI STA = 5+50
PVI ELEV = 557.31
CORR. = -5.26'

VERTICAL CURVE DATA

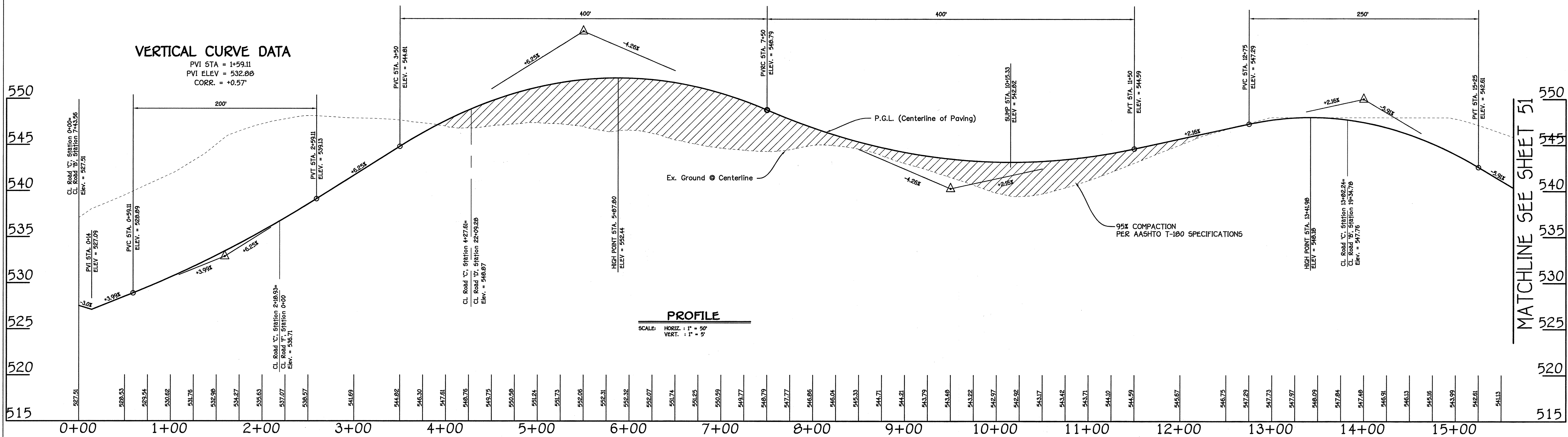
PVI STA = 9+50
PVI ELEV = 540.27
CORR. = +3.21'

VERTICAL CURVE DATA

PVI STA = 14+00
PVI ELEV = 550.00
CORR. = -2.52'

VERTICAL CURVE DATA

PVI STA = 1+59.11
PVI ELEV = 532.08
CORR. = +0.57'



PROFILE

SCALE: HORIZ. : 1" = 50'
VERT. : 1" = 5'

MATCHLINE SEE SHEET 51

REVISED

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
410-661-2955

NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
2	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	10/21/12
3	REV. TO ADD FEE SIMPLE LOTS PER F-14-111 AND ADD REVISION TO 99C-09-0397	10/17/12

AS-BUILT CERTIFICATION
Note: There is no "AS BUILT" information provided on this sheet.

Charles J. Greco, P.E. NO. 102204 DATE 11/6/12

BUILDERS

NV HOMES 6085 MARSHALEE DRIVE SUITE 130 ELKRIDGE, MD. 21075 410-379-5956	RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELKRIDGE, MD. 21075 410-379-5956
--	--

DEVELOPER
WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLCOTT CITY, MARYLAND 21042
443-367-0422

OWNERS
WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLCOTT CITY, MARYLAND 21042
443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Kevin P. ... 12/10/12
Chief, Division of Land Development
Mark ... 12/10/12
Chief, Development Engineering Division
Mark ... 12/10/12
Director - Department of Planning and Zoning

PROJECT GTW'S WAVERLY WOODS	SECTION 14	PARCEL NO. "E" PHASE 25 THRU 172-031-100-001-100-100
PLAT SEE GENERAL NOTE #21	BLOCK NO. 3 & 4	ZONE PSC
TAX/ZONE 15	ELEC. DIST. THIRD	CENSUS TR. 60300
WATER CODE K-02	SEWER CODE 5992000	

ROAD PROFILE

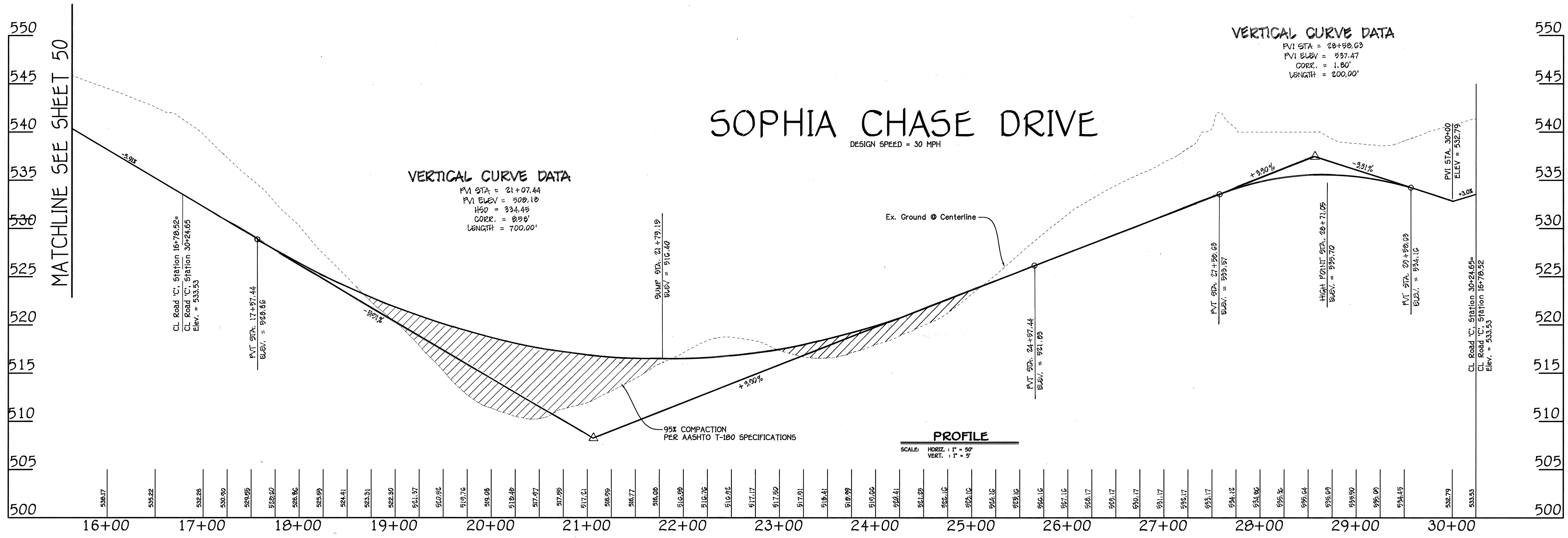
AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASE 25 THRU 172-031-100-001-100-100
TOWNHOUSE & SINGLE FAMILY HOMES

ZONING: PSC
TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE 10/22/12
SHEET 50 OF 100

SDP-09-039

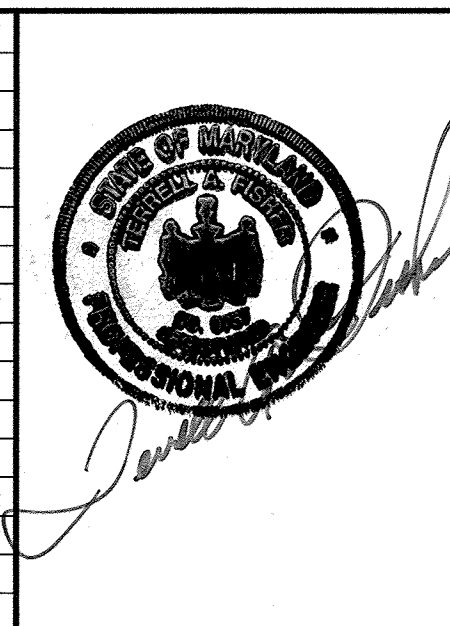
THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

K:\ISSUES\103770 CTV WEST\103770.ctb WEST\103770.ctb Road Profile Documents\Road Profile Phase 4 File Simple 78 Lots\Construction Documents\Road Profile Phase 4 File Simple 78 Lots\Construction Documents - 30770 Sheet 48-57 Road Profile Roads B thru J.dwg, Sheet 51, 11/14/2012 10:33:30 AM, 1:1



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL FREE
ELLCOTT CITY, MARYLAND 21042
410.461.2255

NO.	REVISION	DATE
4	REV. ROAD CREDS	5/1/12
3	REV. TO ADD THE SHIMBLE LOTS PER P-14-11 & ADD PHASE V TO PHASE 009	10/8/11
2	REV. TO ADD THE SHIMBLE LOTS PER P-12-101	10/17/11
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-009 AND ADD GRIFFIN HALL	9/28/12



AS-BUILT CERTIFICATION
Note: There is no "AS BUILT" information provided on this sheet.
Charles J. O'Neil
CHARLES J. O'NEIL, PE, NO. 19204 Date 11/6/12

BUILDERS	
DEVELOPER WAVELY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-367-0422	OWNERS WAVELY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Kevin Stalwood 12/1/12
Chief, Division of Land Development Date

Michael J. Williams 12/1/12
Chief, Development Engineering Division Date

Michael J. Williams 12/1/12
Director - Department of Planning and Zoning Date

PROJECT	SECTION	PARCEL NO. "E"
GTW'S WAVELY WOODS	14	PHASE 009 V 100-5-10-00-04-04-00-100 170-021 & 240-300
PLAT	BLOCK NO.	ZONE
SEE GENERAL NOTE #91	3 & 4	PSC
TAX/ZONE	ELEC. DIST.	CENSUS TR.
16	THIRD	60300
WATER CODE	SEWER CODE	
K-02	5992000	

REVISED

ROAD PROFILE

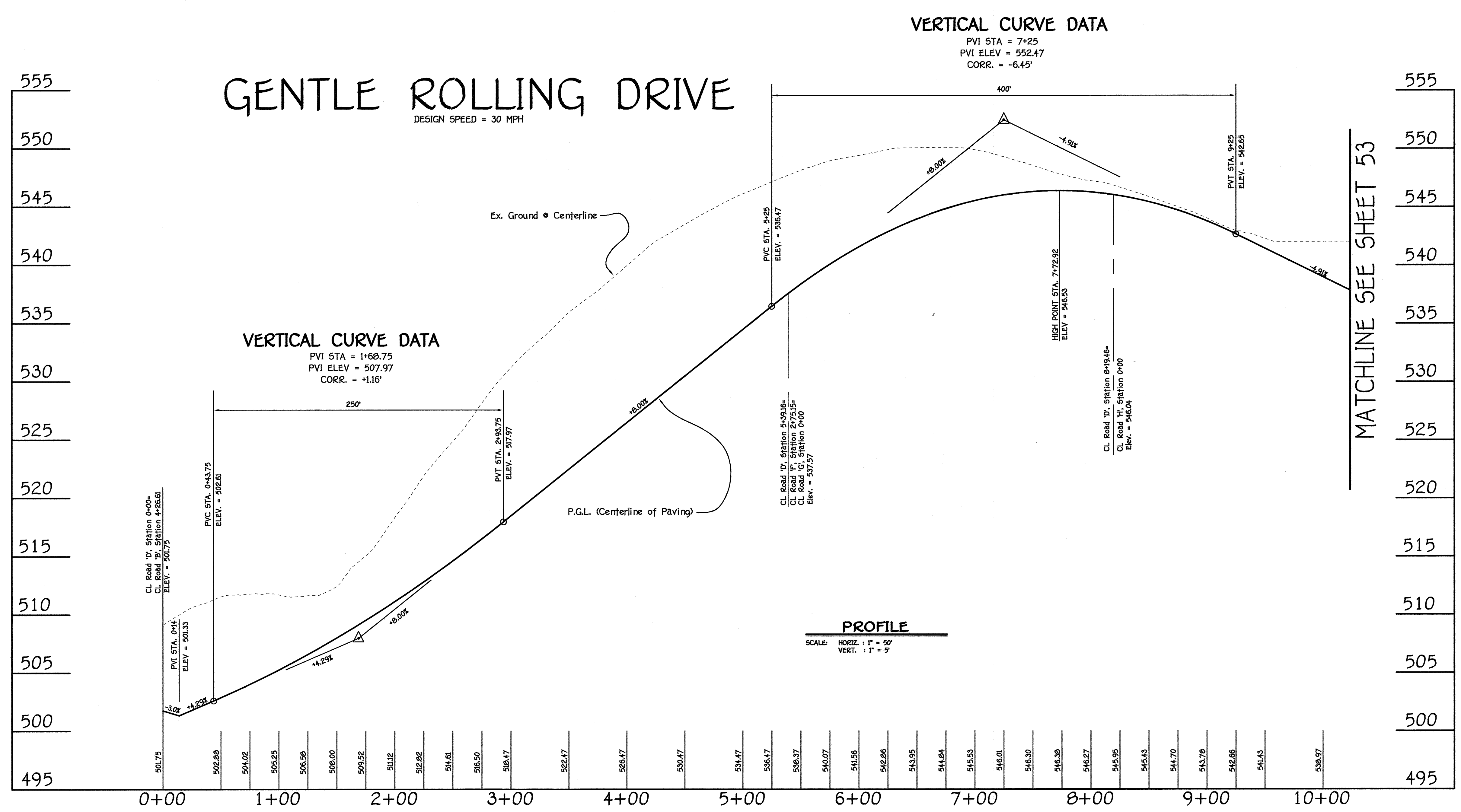
AGE RESTRICTED ADULT HOUSING
GTW'S WAVELY WOODS
SECTION 14
"THE COURTYARDS AT WAVELY WOODS - WEST"
TOWNHOUSE & SINGLE FAMILY HOMES

PHASES II, III, V LOTS 5, 12 THRU 30, 44 THRU 60, 80 THRU 100, 172 THRU 231 & 240 THRU 300

ZONING: PSC
TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: NOV 1, 2009
SHEET 51 OF 100

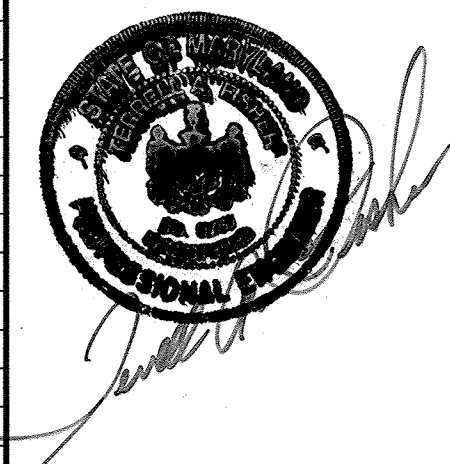
THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

K:\30509001\30776 CTV WEST\30776\30776.dwg Construction Documents\Roadline Phase 4 Fee Single 78 Leds\Construction Documents - 30776 Sheet 48-57 Road Profile Roads B thru J.dwg, Sheet 52, 11/14/2012 10:34:41 AM, 1:1



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 410-481-2852

NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
2	REV. TO ADD FEE SIMPLE LOTS PER F-19-101	12/17/13
3	REV. TO ADD FEE SIMPLE LOTS PER F-14-111 & ADD PHASE V TO MAP 09-099	10/31/14



AS-BUILT CERTIFICATION
 Note: There is no "AS BUILT" information provided on this sheet.
 Charles J. Griffin, No. 121204, Date 11/6/18

BUILDERS
 NV HOMES: 6085 MARSHALLEE DRIVE, SUITE 130, ELKBRIDGE, MD. 21075, 410-379-5956
 RYAN HOMES: 6085 MARSHALLEE DRIVE, SUITE 140, ELKBRIDGE, MD. 21075, 410-379-5956
DEVELOPER
 WAVERLY WOODS DEVELOPMENT CORPORATION, C/O LAND DESIGN AND DEVELOPMENT, INC., 5300 DORSEY HALL DRIVE, SUITE 102, ELLICOTT CITY, MARYLAND 21042, 443-367-0422
OWNERS
 WAVERLY WOODS DEVELOPMENT CORPORATION, C/O LAND DESIGN AND DEVELOPMENT, INC., 5300 DORSEY HALL DRIVE, SUITE 102, ELLICOTT CITY, MARYLAND 21042, 443-367-0422

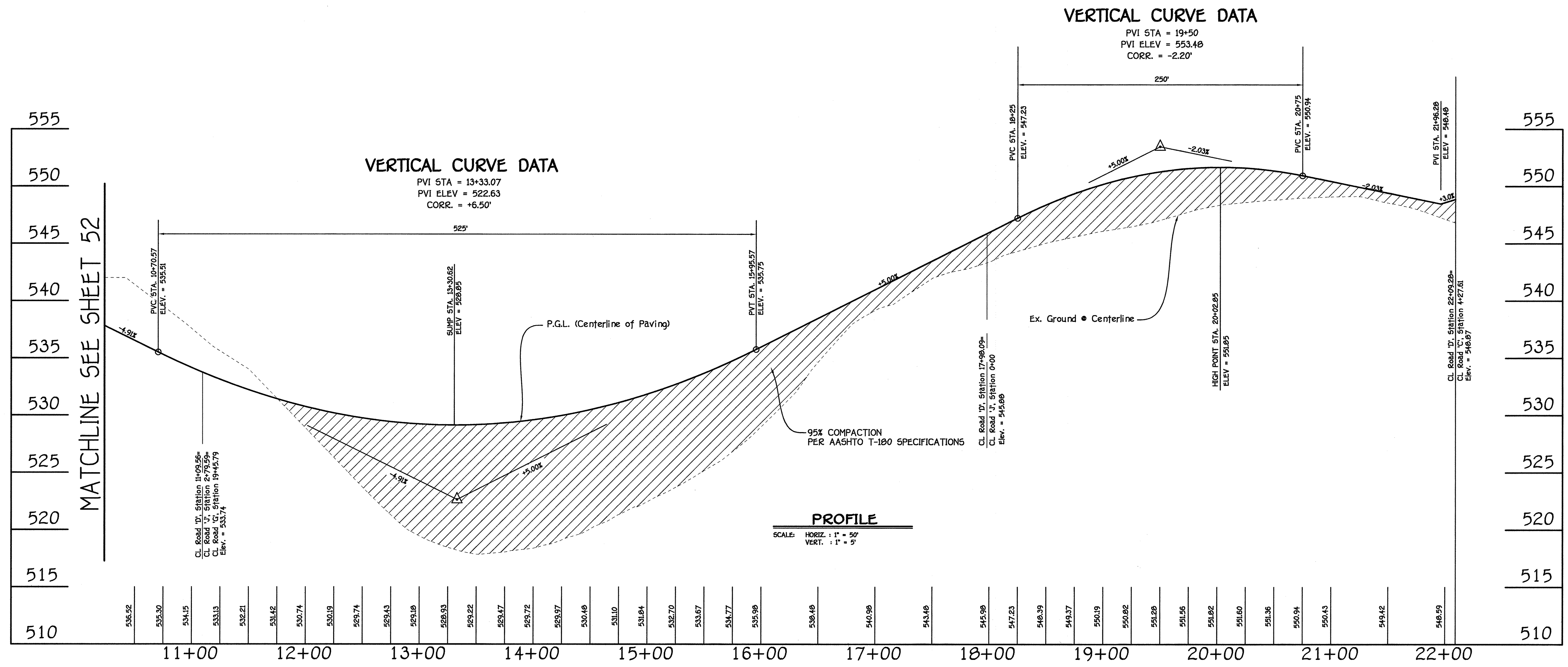
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

West Spaulding 12/16/12
 Chief, Division of Land Development
John D. Williams 12/16/12
 Chief, Development Engineering Division
Mark D. Long 12/16/12
 Director - Department of Planning and Zoning

PROJECT	GTW'S WAVERLY WOODS	SECTION	14	PARCEL NO. 'E'	1078, 1079, 1080, 1081, 1082, 1083, 1084, 1085, 1086, 1087, 1088, 1089, 1090, 1091, 1092, 1093, 1094, 1095, 1096, 1097, 1098, 1099, 1100, 1101, 1102, 1103, 1104, 1105, 1106, 1107, 1108, 1109, 1110, 1111, 1112, 1113, 1114, 1115, 1116, 1117, 1118, 1119, 1120, 1121, 1122, 1123, 1124, 1125, 1126, 1127, 1128, 1129, 1130, 1131, 1132, 1133, 1134, 1135, 1136, 1137, 1138, 1139, 1140, 1141, 1142, 1143, 1144, 1145, 1146, 1147, 1148, 1149, 1150, 1151, 1152, 1153, 1154, 1155, 1156, 1157, 1158, 1159, 1160, 1161, 1162, 1163, 1164, 1165, 1166, 1167, 1168, 1169, 1170, 1171, 1172, 1173, 1174, 1175, 1176, 1177, 1178, 1179, 1180, 1181, 1182, 1183, 1184, 1185, 1186, 1187, 1188, 1189, 1190, 1191, 1192, 1193, 1194, 1195, 1196, 1197, 1198, 1199, 1200, 1201, 1202, 1203, 1204, 1205, 1206, 1207, 1208, 1209, 1210, 1211, 1212, 1213, 1214, 1215, 1216, 1217, 1218, 1219, 1220, 1221, 1222, 1223, 1224, 1225, 1226, 1227, 1228, 1229, 1230, 1231, 1232, 1233, 1234, 1235, 1236, 1237, 1238, 1239, 1240, 1241, 1242, 1243, 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2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 2679, 2680, 2681, 2682, 2683, 2684, 2685, 2686, 2687, 2688, 2689, 2690, 2691, 2692, 2693, 2694, 2695, 2696, 2697, 2698, 2699, 2700, 2701, 2702, 2703, 2704, 2705, 2706, 2707, 2708, 2709, 2710, 2711, 2712, 2713, 2714, 2715, 2716, 2717, 2718, 2719, 2720, 2721, 2722, 2723, 2724, 2725, 2726, 2727, 2728, 2729, 2730, 2731, 2732, 2733, 2734, 2735, 2736, 2737, 2738, 2739, 2740, 2741, 2742, 2743, 2744, 2745, 2746, 2747, 2748, 2749, 2750, 2751, 2752, 2753, 2754, 2755, 2756, 2757, 2758, 2759, 2760, 2761, 2762, 2763, 2764, 2765, 2766, 2767, 2768, 2769, 2770, 2771, 2772, 2773, 2774, 2775, 2776, 2777, 2778, 2779, 2780, 2781, 2782, 2783, 2784, 2785, 2786, 2787, 2788, 2789, 2790, 2791, 2792, 2793, 2794, 2795, 2796, 2797, 2798, 2799, 2800, 2801, 2802, 2803, 2804, 2805, 2806, 2807, 2808, 2809, 2810, 2811, 2812, 2813, 2814, 2815, 2816, 2817, 2818, 2819, 2820, 2821, 2822, 2823, 2824, 2825, 2826, 2827, 2828, 2829, 2830, 2831, 2832, 2833, 2834, 2835, 2836, 2837, 2838, 2839, 2840, 2841, 2842, 2843, 2844, 2845, 2846, 2847, 2848, 2849, 285
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GENTLE ROLLING DRIVE

DESIGN SPEED = 30 MPH



MATCHLINE SEE SHEET 52

REVISED

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 410-481-2895



AS-BUILT CERTIFICATION
 Note: There is no "AS BUILT" information provided on this sheet.
 Charles J. Brown, No. 19204, Date 11/6/18

BUILDERS
 NV HOMES 6085 MARSHALEE DRIVE SUITE 130 ELKRIDGE, MD. 21075 410-379-5956
 RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELKRIDGE, MD. 21075 410-379-5956

DEVELOPER
 WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 443-367-0422

OWNERS
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 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Chief, Division of Land Development
 Chief, Development Engineering Division
 Director - Department of Planning and Zoning

PROJECT: GTW'S WAVERLY WOODS
 SECTION: 14
 PARCEL NO. 14
 PHASE II, LOTS 9, 12 THRU 39, 44 THRU 86, 88 THRU 105, 172 THRU 231 & 240 THRU 309 TOWNHOUSE & SINGLE FAMILY HOMES

PLAT: 988 HAZEN NOTE #91
 BLOCK NO.: 3 & 4
 ZONE: P5C
 TAX/ZONE: 16
 ELEC. DIST.: THIRD
 CENSUS TR.: 60300

WATER CODE: K-02
 SEWER CODE: 5992000

ROAD PROFILE
 AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
 SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASE II, THRU V LOTS 9, 12 THRU 39, 44 THRU 86, 88 THRU 105, 172 THRU 231 & 240 THRU 309 TOWNHOUSE & SINGLE FAMILY HOMES

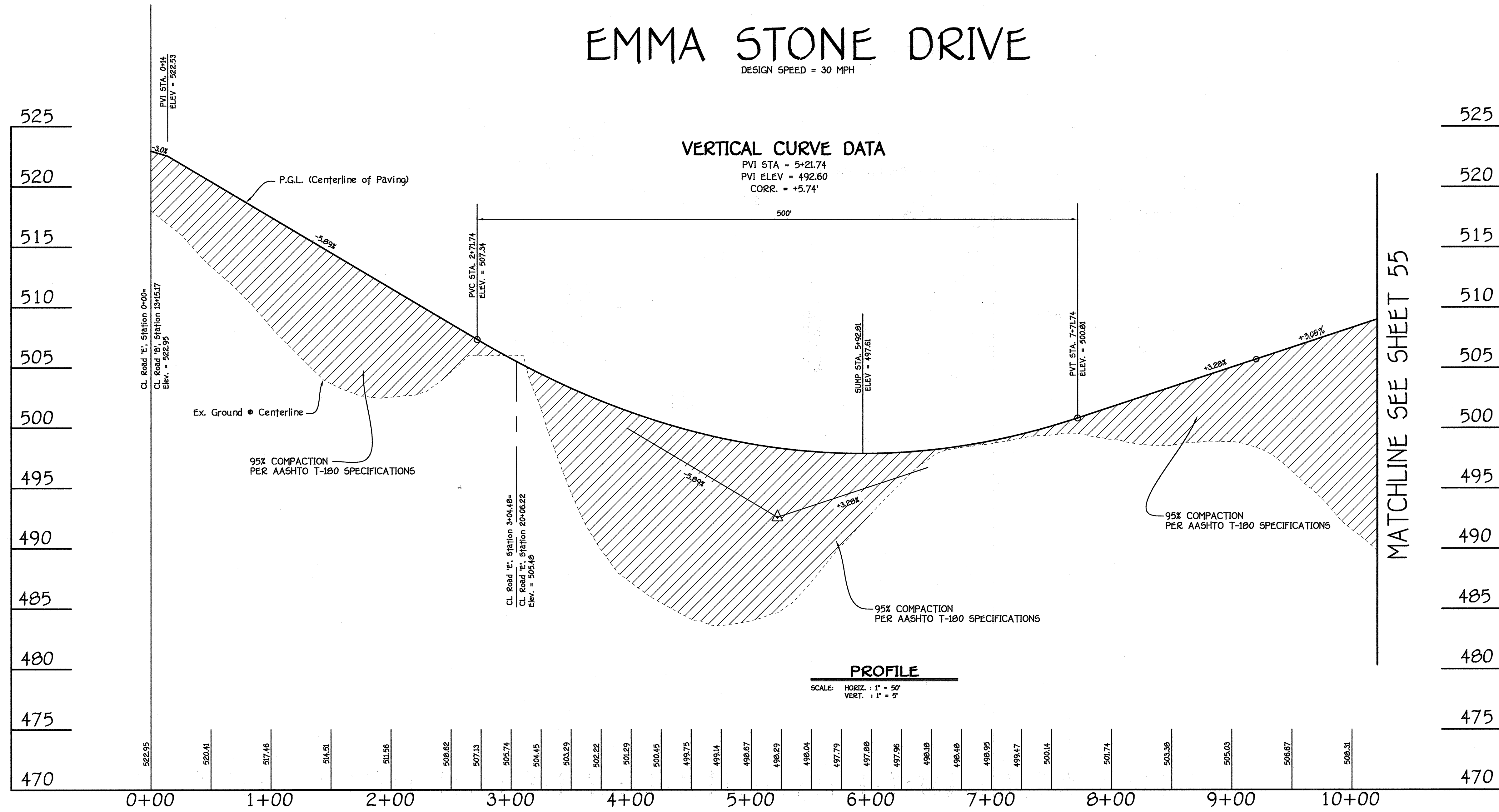
ZONING: P5C
 TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: 12/19/12
 SHEET 53 OF 100

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

K:\SDP\09\01\30770 CTW WEST\09\01\30770\09\01\30770\Road Profile\Roads B thru J.dwg, Sheet 53, 11/14/2012 10:36:17 AM, 1:1

EMMA STONE DRIVE

DESIGN SPEED = 30 MPH



VERTICAL CURVE DATA

PVI STA = 5+21.74
 PVI ELEV = 492.60
 CORR. = +5.74'

PROFILE

SCALE: HORIZ. : 1" = 50'
 VERT. : 1" = 5'

REVISED

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 410.461.2999



AS-BUILT CERTIFICATION

Notice: There is no "AS BUILT" information provided on this sheet.

CHARLES J. ORLANDO, PE, NO. 13204 Date 11/4/12

BUILDERS

NV HOMES 6085 MARSHALEE DRIVE SUITE 130 ELKCRIDGE, MD. 21075 410-379-5956
 RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELKCRIDGE, MD. 21075 410-379-5956

DEVELOPER

WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 443-367-0422

OWNERS

WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

K. J. [Signature] 12/19/12
 Chief, Division of Land Development Date

[Signature] 12/19/12
 Chief, Development Engineering Division Date

[Signature] 12/19/12
 Director - Department of Planning and Zoning Date

PROJECT: GTW'S WAVERLY WOODS SECTION: 14

PLAT: SEE GENERAL NOTE #51 BLOCK NO.: 3 & 4 ZONE: PSC TAX/ZONE: 16 ELEC. DIST.: THIRD CENSUS TR.: 60300

WATER CODE: K-02 SEWER CODE: 5992000

ROAD PROFILE

AGE RESTRICTED ADULT HOUSING GTW'S WAVERLY WOODS

SECTION 14 "THE COURTYARDS AT WAVERLY WOODS - WEST"

PARCELS 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

ZONING: PSC TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249

THIRD ELECTION DISTRICT - HOWARD COUNTY, MARYLAND

SCALE: AS SHOWN DATE: MAY 1, 2019 SHEET 54 OF 100

SDP-09-039

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

EMMA STONE DRIVE

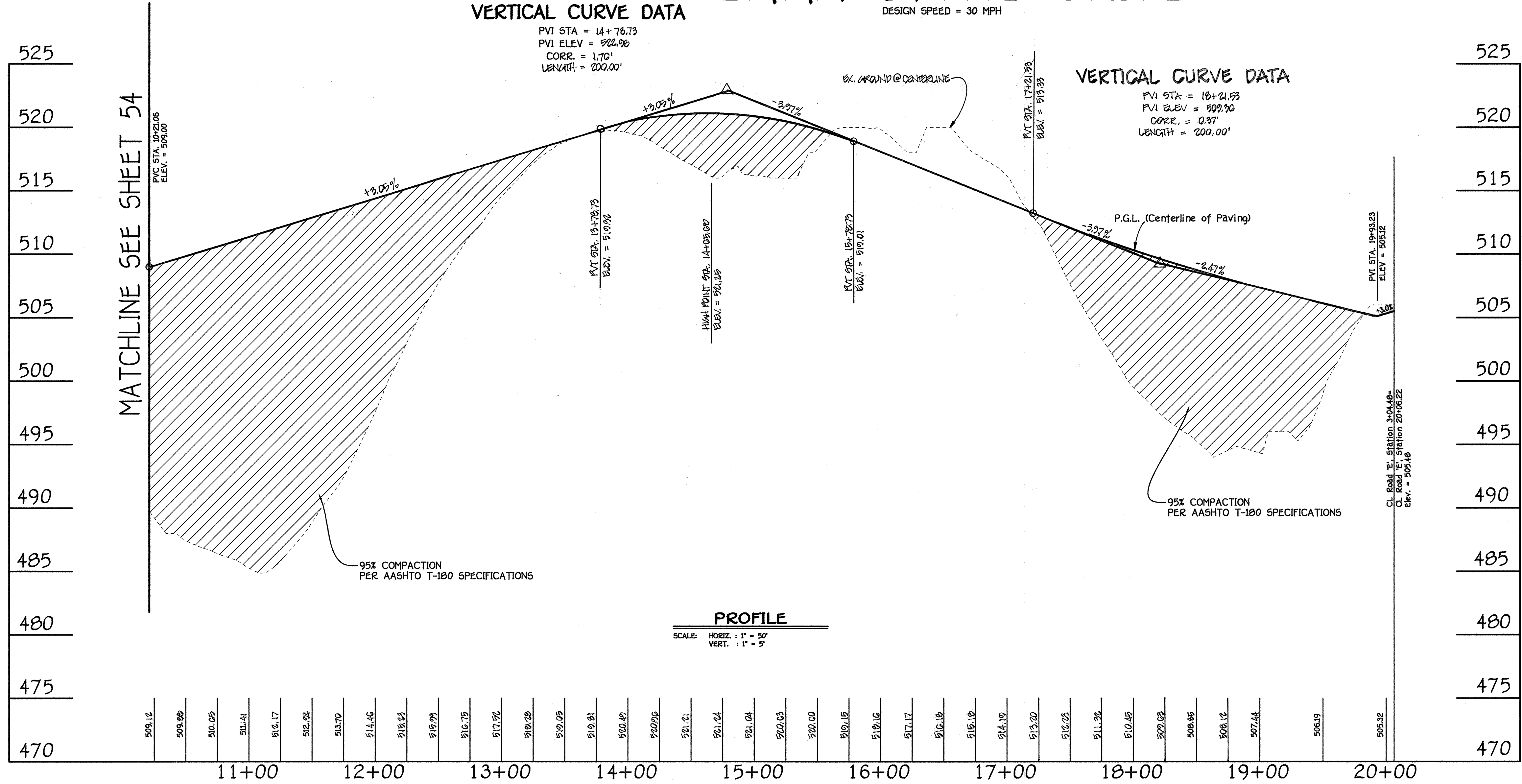
DESIGN SPEED = 30 MPH

VERTICAL CURVE DATA

PVI STA = 14+78.73
 PVI ELEV = 522.96
 CORR. = 1.76'
 LENGTH = 200.00'

VERTICAL CURVE DATA

PVI STA = 16+21.53
 PVI ELEV = 509.96
 CORR. = 0.97'
 LENGTH = 200.00'



PROFILE

SCALE: HORIZ. : 1" = 50'
 VERT. : 1" = 5'

MATCHLINE SEE SHEET 54

REVISED

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21114
 410.461.2222



NO.	REVISION	DATE
4	REV. ROAD CRENS	9/1/15
3	REV. TO ADD PER SIMPLE LOTS PER F-14-111 & ADD TRAFFIC TO PER-CR-209	10/31/14
2	REV. TO ADD PER SIMPLE LOTS PER F-12-101	10/17/13
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12

AS-BUILT CERTIFICATION

Note: There is no "AS BUILT" information provided on this sheet.

[Signature]
 Date: 11/6/15

BUILDERS

RYAN HOMES
 6085 MARSHALLEE DRIVE
 SUITE 130
 ELK RIDGE, MD. 21075
 410-379-5956

DEVELOPER

WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 443-367-0422

OWNERS

WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 443-367-0422

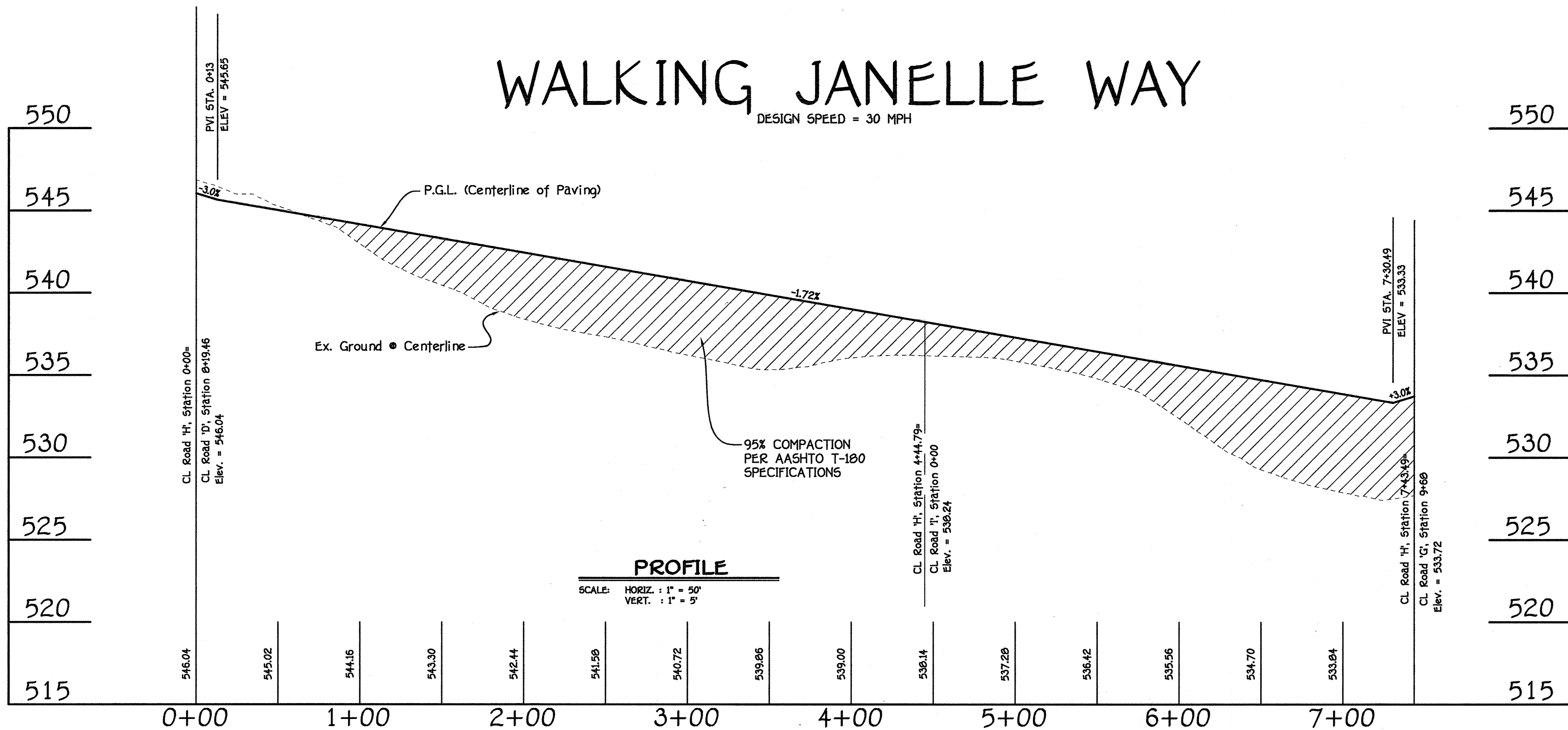
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 12/19/12
 Chief, Division of Land Development
[Signature] 12/10/12
 Chief, Development Engineering Division
 Director - Department of Planning and Zoning

PROJECT	SECTION	PARCEL NO. "E"
GTW'S WAVERLY WOODS	14	12005, 12006, 12007, 12008, 12009, 12010, 12011, 12012, 12013, 12014, 12015, 12016, 12017, 12018, 12019, 12020, 12021, 12022, 12023, 12024, 12025, 12026, 12027, 12028, 12029, 12030, 12031, 12032, 12033, 12034, 12035, 12036, 12037, 12038, 12039, 12040, 12041, 12042, 12043, 12044, 12045, 12046, 12047, 12048, 12049, 12050, 12051, 12052, 12053, 12054, 12055, 12056, 12057, 12058, 12059, 12060, 12061, 12062, 12063, 12064, 12065, 12066, 12067, 12068, 12069, 12070, 12071, 12072, 12073, 12074, 12075, 12076, 12077, 12078, 12079, 12080, 12081, 12082, 12083, 12084, 12085, 12086, 12087, 12088, 12089, 12090, 12091, 12092, 12093, 12094, 12095, 12096, 12097, 12098, 12099, 12100, 12101, 12102, 12103, 12104, 12105, 12106, 12107, 12108, 12109, 12110, 12111, 12112, 12113, 12114, 12115, 12116, 12117, 12118, 12119, 12120, 12121, 12122, 12123, 12124, 12125, 12126, 12127, 12128, 12129, 12130, 12131, 12132, 12133, 12134, 12135, 12136, 12137, 12138, 12139, 12140, 12141, 12142, 12143, 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WALKING JANELLE WAY

DESIGN SPEED = 30 MPH



GREAT ALEXANDER STREET

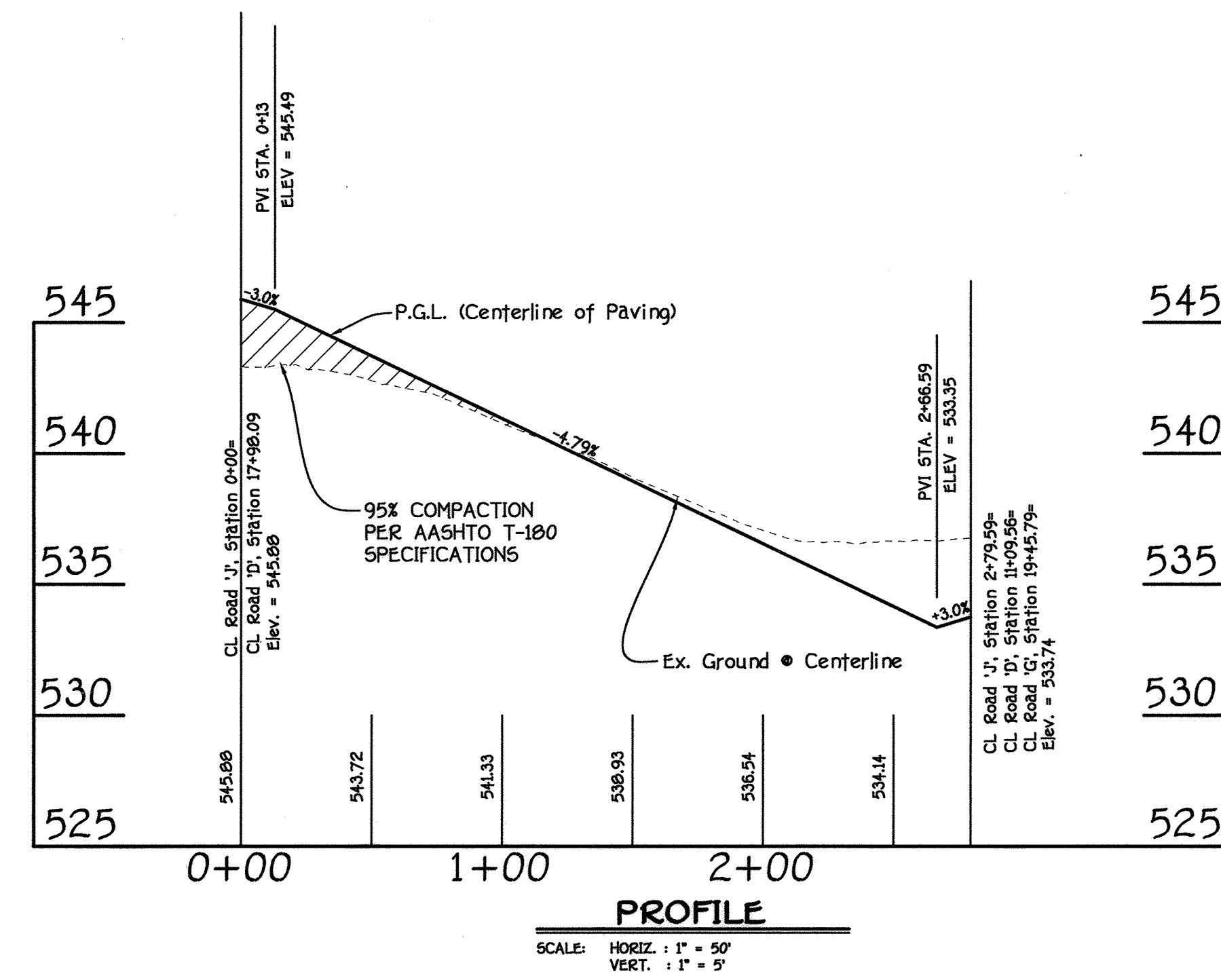
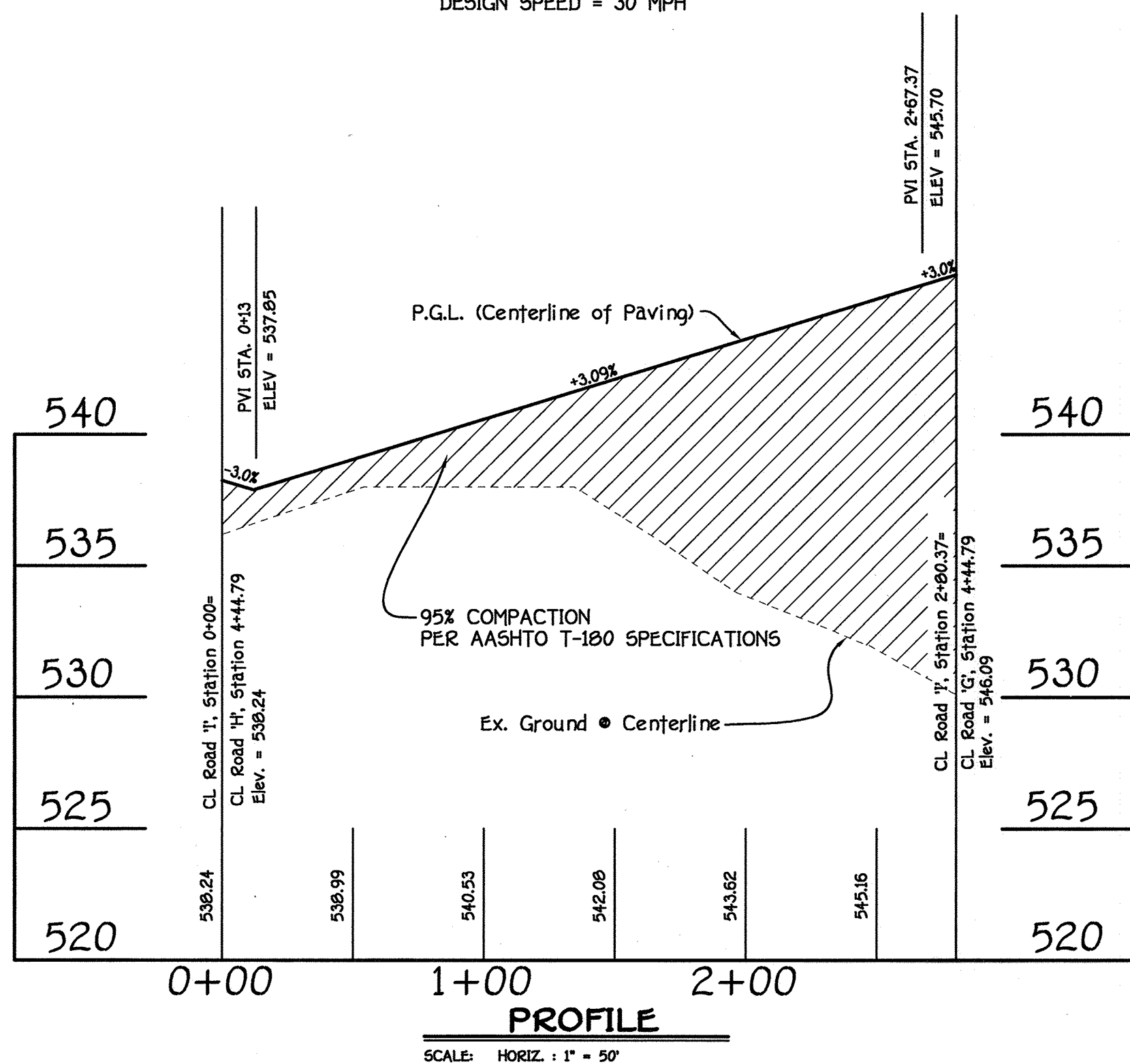
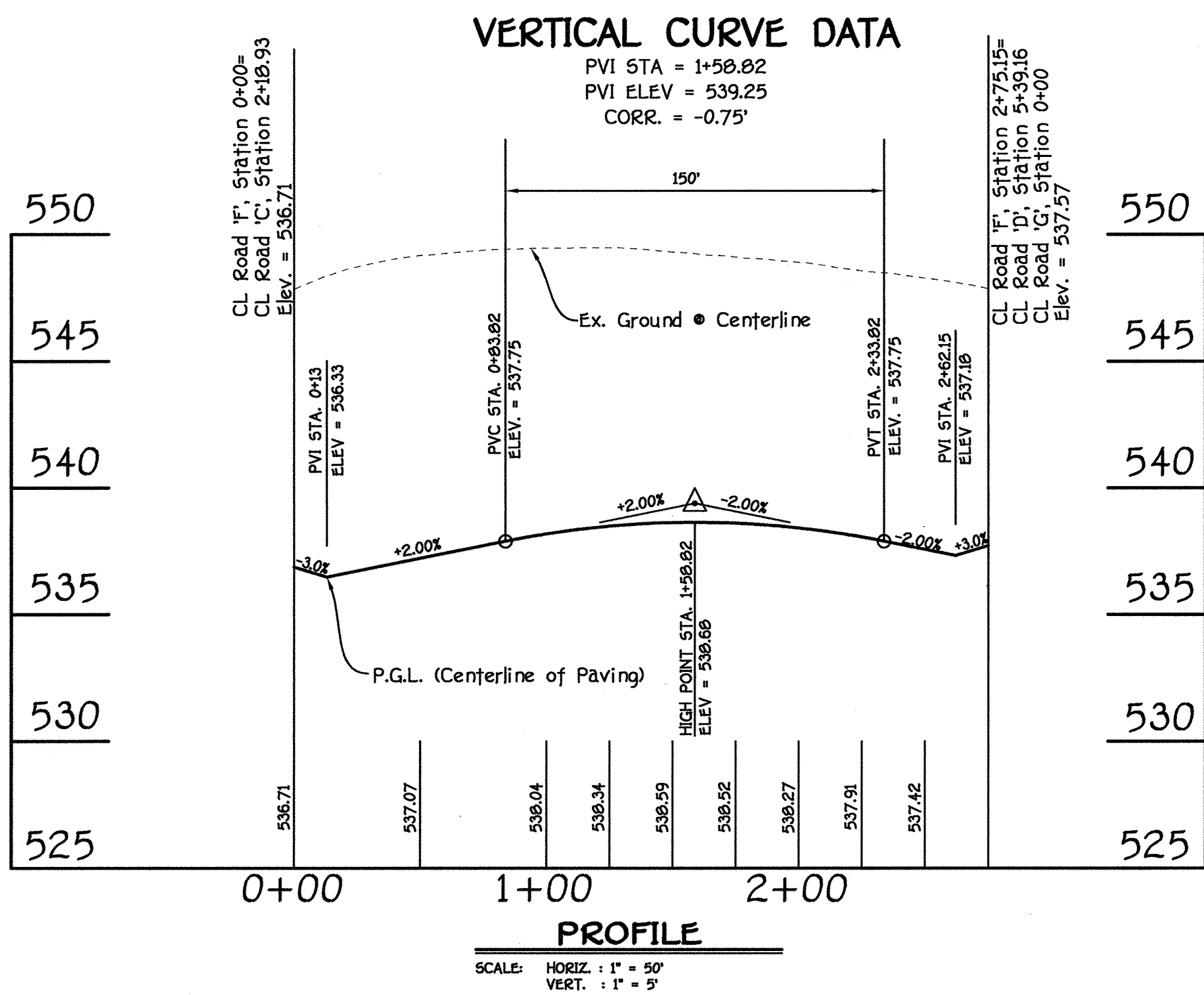
DESIGN SPEED = 30 MPH

IRVING GAMBLE ROAD

DESIGN SPEED = 30 MPH

NOAH FINN ROAD

DESIGN SPEED = 30 MPH



REVISED

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042
 410-461-2225

NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/26/12
2	REV. TO ADD FEE SIMPLE LOTS PER F-14-111 & ADD PHASE V TO P-09-029	10/21/14
3	REV. TO ADD FEE SIMPLE LOTS PER F-13-101	12/17/15



AS-BUILT CERTIFICATION
 Note: There is no "AS BUILT" information provided on this sheet.
 Charles J. Carter, P.E. NO. 12024 Date 11/16/15

BUILDERS
 NV HOMES 6085 MARSHALLE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-5956
 RYAN HOMES 6085 MARSHALLE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956

DEVELOPER
 WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELICOTT CITY, MARYLAND 21042
 443-367-0422

OWNERS
 WAVERLY WOODS DEVELOPMENT CORPORATION,
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELICOTT CITY, MARYLAND 21042
 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Ketchum 12/19/12
 Chief, Division of Land Development Date

Wheeler 12/19/12
 Chief, Development Engineering Division Date

Mark D. Wyle 12/19/12
 Director - Department of Planning and Zoning Date

PROJECT	GTW'S WAVERLY WOODS	SECTION	14
PLAT	FEE GENERAL NOTE #91	BLOCK NO.	3 & 4
WATER CODE	K-02	SEWER CODE	5992200

ROAD PROFILE

**AGE RESTRICTED ADULT HOUSING
 GTW'S WAVERLY WOODS**

SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASE II, THRU V LOTS 5, 12 THRU 39, 44 THRU 86, 88 THRU 103, 172 THRU 231 & 240 THRU 307
 TOWNHOUSE & SINGLE FAMILY HOMES

ZONING: PSC
 TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: 12/08/2012 SHEET 56 OF 100

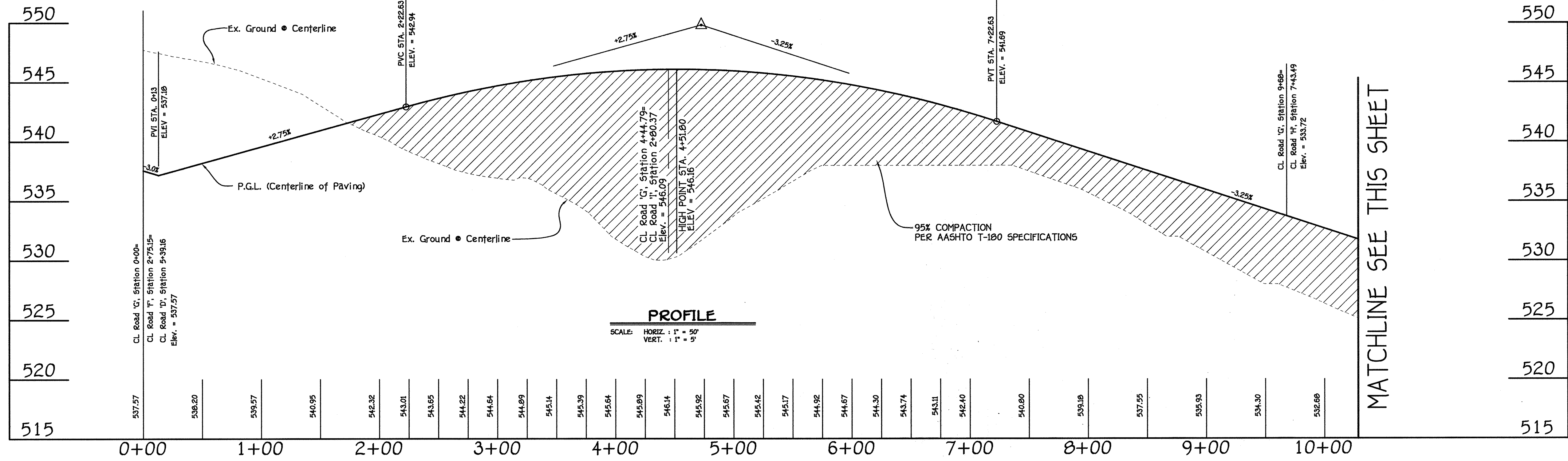
THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

ANDERSON HILL STREET

DESIGN SPEED = 30 MPH

VERTICAL CURVE DATA

PVI STA = 4+72.63
PVI ELEV = 549.82
CORR. = -3.75'
500'



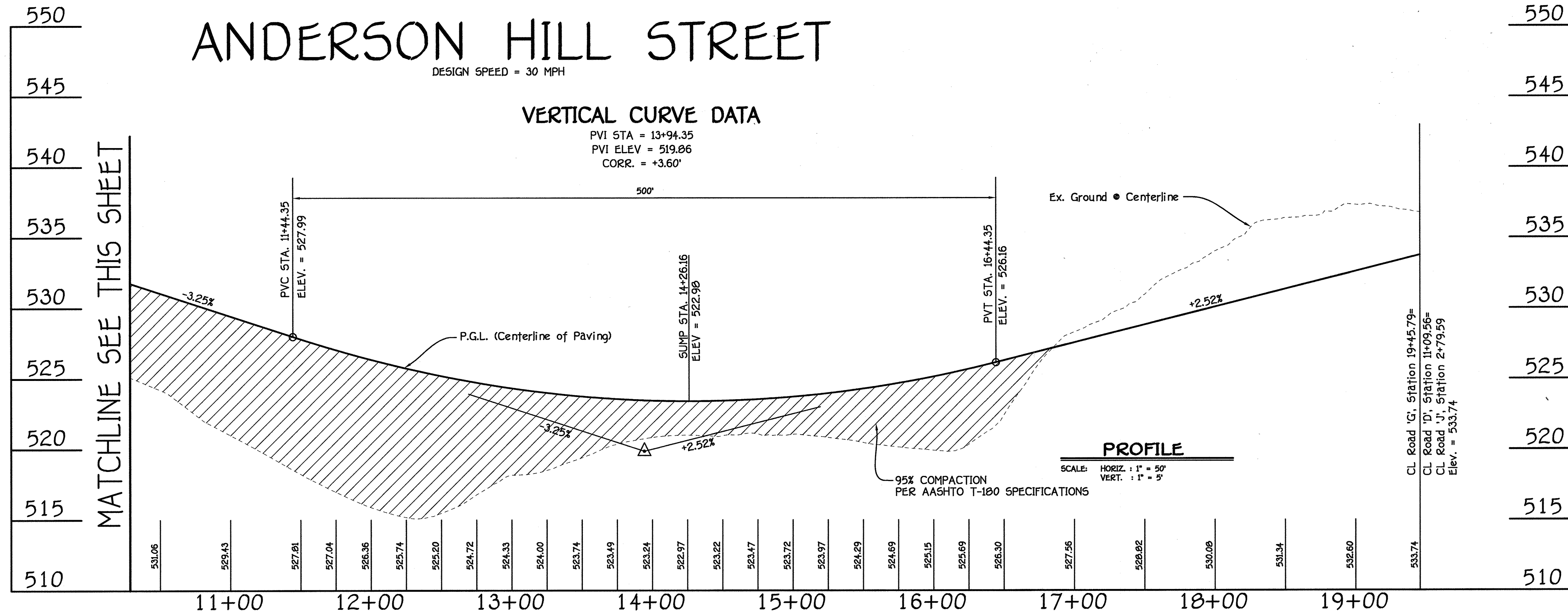
MATCHLINE SEE THIS SHEET

ANDERSON HILL STREET

DESIGN SPEED = 30 MPH

VERTICAL CURVE DATA

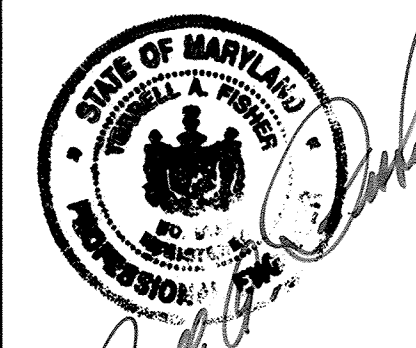
PVI STA = 13+94.35
PVI ELEV = 519.86
CORR. = +3.60'
500'



MATCHLINE SEE THIS SHEET

REVISED

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042
410-661-2955



AS-BUILT CERTIFICATION

Note: There is no "AS BUILT" information provided on this sheet.

Charles J. McCord, Jr. Date: 11/6/19
CHARLES J. MCCORD, JR. No. 11619

BUILDERS

RYAN HOMES
6085 MARSHALLEE DRIVE
SUITE 130
ELK RIDGE, MD. 21075
410-379-5956

DEVELOPER

WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLICOTT CITY, MARYLAND 21042
443-367-0422

OWNERS

WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLICOTT CITY, MARYLAND 21042
443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Kevin D. ... Date: 12/10/19
Chief, Division of Land Development
... Date: 12/10/19
Chief, Development Engineering Division
... Date: 12/10/19
Director - Department of Planning and Zoning

PROJECT	GTW'S WAVERLY WOODS		SECTION	14	PARCEL NO. 'E'	170-231 & 240-307
PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.	
SEE GENERAL NOTE #21	3 & 4	PSC	16	THIRD	60300	
WATER CODE	SEWER CODE					
K-02	5992000					

ROAD PROFILE

AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"

PHASE II, THRU V LOTS 8, 12 THRU 39, 44 THRU 88, 88 THRU 109, 172 THRU 231 & 240 THRU 309
TOWNHOUSE & SINGLE FAMILY HOMES

ZONING: PSC
TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
THIRD ELECTION DISTRICT - HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: DECEMBER, 2019
SHEET 57 OF 100

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

SDP-09-039

STORMWATER MANAGEMENT POND CONSTRUCTION SPECIFICATIONS

These specifications are appropriate to all ponds within the scope of the Standard for practice MD-378. All references to ASTM and AASHTO specifications apply to the most recent version.

Site Preparation

Areas designated for borrow areas, embankment, and structural works shall be cleared, grubbed and stripped of topsoil. All trees, vegetation, roots and other objectionable material shall be removed. Channel banks and sharp breaks shall be sloped to no steeper than 1:1. All trees shall be cleared and grubbed within 15 feet of the toe of the embankment. Areas to be covered by the reservoir will be cleared of all trees, brush, logs, fences, rubbish and other objectionable material unless otherwise designated on the plans. Trees, brush, and stumps shall be cut approximately level with the ground surface.

For dry stormwater management ponds, a minimum of a 25-foot radius around the inlet structure shall be cleared. All cleared and grubbed material shall be disposed of outside and below the limits of the dam and reservoir as directed by the owner or his representative. When specified, a sufficient quantity of topsoil will be stockpiled in a suitable location for use on the embankment and other designated areas.

EARTH FILL

Material - The fill material shall be taken from approved designated borrow areas. It shall be free of roots, stumps, wood, rubbish, stones greater than 6", frozen or other objectionable materials. Fill material for the center of the embankment, and cut off trench shall conform to Unified Soil Classification GC, SC, CL or CL and must have at least 30% passing the #200 sieve. Consideration may be given to the use of other materials in the embankment if designed by a geotechnical engineer. Such special designs must have construction supervised by a geotechnical engineer. Materials used in the outer shell of the embankment must have the capability to support vegetation of the quality required to prevent erosion of the embankment.

Placement - Areas on which fill is to be placed shall be scarified prior to placement of fill. Fill materials shall be placed in maximum 6-inch thick before compaction layers which will be to continuous over the entire length of the fill. The most permeable borrow material shall be placed in the downstream portion of the embankment. The principal spillway must be installed concurrently with fill placement and not excavated into the embankment.

Compaction - The movement of the hauling and spreading equipment over the fill shall be controlled so that the entire surface of each lift shall be traversed by not less than one tread track of heavy equipment or compaction shall be achieved by a minimum of four complete passes of a sheepsfoot, rubber tired or vibratory roller. Fill material shall contain sufficient moisture such that the required degree of compaction will be obtained with the equipment used. The fill material shall contain sufficient moisture so that if formed into a ball it will not crumble, yet not so wet that water can be squeezed out. When required by the reviewing agency the minimum required density shall not be less than 95% of the maximum dry density with a moisture content within +2 optimum. Each layer of fill shall be compacted as necessary to obtain that density, and to be certified by the engineer at the time of construction. All compaction is to be determined by AASHTO Method T-99 (Standard Proctor).

Cut Off Trench - The cutoff trench shall be excavated into impervious material along or parallel to the centerline of the embankment as shown on the plans. The bottom width of the trench shall be governed by the equipment used for excavation with the minimum width being four feet. The depth shall be at least four feet below existing grade or as shown on the plans. The side slopes of the trench shall be 1 to 1 or flatter. The backfill shall be compacted with construction equipment, rollers, or hand tampers to assure maximum density and minimum permeability.

Embankment Core - The core shall be parallel to the centerline of the embankment as shown on the plans. The top width of the core shall be a minimum of four feet. The height shall extend up to at least the 10 year water elevation or as shown on the plans. The side slopes shall be 1 to 1 or flatter. The core shall be compacted with construction equipment, rollers, or hand tampers to assure maximum density and minimum permeability. In addition, the core shall be placed concurrently with the outer shell of the embankment.

Structure Backfill

Backfill adjacent to pipes or structures shall be of the type and quality conforming to that specified for the adjoining fill material. The fill shall be placed in horizontal layers not to exceed four inches in thickness and compacted by hand tampers or other manually directed compaction equipment. The material needs to fill completely all spaces under and adjacent to the pipe. At no time during the backfilling operation shall driven equipment be allowed to operate closer than four feet, measured horizontally, to any part of a structure. Under no circumstances shall equipment be driven over any part of a concrete structure or pipe, unless there is a compacted fill of 24" or greater over the structure or pipe.

Structure backfill may be flowable fill meeting the requirements of Maryland Department of Transportation State Highway Administration Standard Specifications for Construction and Materials, Section 313 as modified. The mixture shall have a 100-200 psi, 28 day unconfined compressive strength. The flowable fill shall have a minimum pH of 4.0 and a minimum resistivity of 2,000 ohm-cm. Material shall be placed such that a minimum of 6" measured perpendicular to the outside of the pipe, flowable fill shall be under bedding, over and on the sides of the pipe. It may extend up to the spring line for rigid conduits. Average slump of the fill shall be 7" to assure flowability of the material. Adequate measures shall be taken (sand bags, etc.) to prevent floating the pipe when using flowable fill. All metal pipe shall be bituminous coated. Any adjoining soil fill shall be placed in horizontal layers not to exceed four inches in thickness and compacted by hand tampers or other manually directed compaction equipment. The material shall completely fill all voids adjacent to the flowable fill zone. At no time during the backfilling operation shall driven equipment be allowed to operate closer than four feet, measured horizontally, to any part of a structure. Under no circumstances shall equipment be driven over any part of a structure or pipe unless there is a compacted fill of 24" or greater over the structure or pipe. Backfill material outside the structural backfill (flowable fill) zone shall be of the type and quality conforming to the specified for the core of the embankment or other embankment materials.

Pipe Conduits

All pipes shall be circular in cross section.

Corrugated Metal Pipe - All of the following criteria shall apply for corrugated metal pipe:

1. Materials - Polymer Coated steel pipe - Steel pipes with polymeric coatings shall have a minimum coating thickness of 0.01 inch (0.001 mil) on both sides of the pipe. This pipe and its appurtenances shall conform to the requirements of AASHTO Specifications M-245 & M-246 with watertight coupling bands or flanges.

Materials - Aluminum Coated Steel Pipe - This pipe and its appurtenances shall conform to the requirements of AASHTO Specification M-274 with watertight coupling bands or flanges. Aluminum Coated steel pipe, when used with flowable fill or when soil and/or water conditions warrant the need for increased durability, shall be fully bituminous coated per requirements of AASHTO Specification M-190 Type A. Any aluminum coating damaged or otherwise removed shall be repaired with cold applied bituminous coating compound. Aluminum surfaces that are to be in contact with concrete shall be painted with one coat of zinc chromate primer or two coats of asphalt.

Materials - Aluminum Pipe - This pipe and its appurtenances shall conform to the requirements of AASHTO Specification M-196 or M-211 with watertight coupling bands or flanges. Aluminum pipe, when used with flowable fill or when soil and/or water conditions warrant for increased durability, shall be fully bituminous coated per requirements of AASHTO Specification M-190 Type A. Aluminum surfaces that are to be in contact with concrete shall be painted with one coat of zinc chromate primer or two coats of asphalt. Hot dip galvanized bolts may be used for connections. The pH of the surrounding soils shall be between 4 and 9.

2. Coupling bands, anti-seep collars, end sections, etc., must be composed of the same material and coatings as the pipe. Metals must be insulated from dissimilar materials with use of rubber or plastic insulating materials at least 24 min. in thickness.

3. Connections - All connections with pipes must be completely watertight. The drain pipe or lateral connection to the riser shall be welded all around when the pipe and riser are metal. Anti-seep collars shall be connected to the pipe in such a manner as to be completely watertight. Simple bands are not considered to be watertight.

All connections shall use a rubber or neoprene gasket when joining pipe sections. The end of each pipe shall be re-rolled an adequate number of corrugations to accommodate the bandwidth. The following pipe connections are acceptable for pipes less than 24-inches in diameter: flanges on both ends of the pipe with a circular 3/8 inch closed end neoprene gasket, prepared to the flange bolt circle, sandwiched between adjacent flanges; a 12-inch wide standard lip type band with 12-inch wide by 3/8-inch thick closed cell circular neoprene gasket; and a 12-inch wide hanger type band with o-ring gaskets having a minimum diameter of 1/2-inch greater than the corrugation depth. Pipes 24-inches in diameter and larger shall be connected by a 24-inch long annular corrugated band using a minimum of 4 (four) rods and nuts, 2 on each connecting pipe end. A 24-inch wide by 3/8-inch thick closed cell circular neoprene gasket will be installed with 12-inches on the end of each pipe. Flanged joints with 3/8-inch closed cell gaskets the full width of the flange is also acceptable. Helicly corrugated pipe shall have either continuously welded seams or have lock seams with internal caulking or a neoprene bead.

4. Bedding - The pipe shall be firmly and uniformly bedded throughout its entire length. Where rock or soft, spongy or other unstable soil is encountered, all such material shall be removed and replaced with suitable earth compacted to provide adequate support.

5. Backfilling shall conform to "Structure Backfill".

Reinforced Concrete Pipe - All of the following criteria shall apply for reinforced concrete pipe:

1. Materials - Reinforced concrete pipe shall have bell and spigot joints with rubber gaskets and shall equal or exceed ASTM C-301.

2. Bedding - Reinforced concrete pipe conduits shall be laid in a concrete bedding/cradle for their entire length. This bedding/cradle shall consist of high 1" of slump concrete placed under the pipe and up the sides of the pipe at least 50% its outside diameter with a minimum thickness of 6 inches. Where a concrete cradle is not needed for structural reasons, flowable fill may be used as described in the "Structure Backfill" section of this standard. Gravel bedding is not permitted.

3. Laying pipe - Bell and spigot pipe shall be placed with the bell end upstream. Joints shall be made in accordance with recommendations of the manufacturer of the material. After the joints are sealed for the entire line, the bedding shall be placed so that all spaces under the pipe are filled. Care shall be exercised to prevent any deviation from the original line and grade of the pipe. The first joint must be located within 4 feet from the riser.

4. Backfilling shall conform to "Structure Backfill".

5. Other details (anti-seep collars, valves, etc) shall be as shown on the drawings.

Plastic Pipe

The following criteria shall apply for plastic pipe:

1. Materials - PVC pipe shall be PVC-1120 or PVC-1220 conforming to ASTM D-1785 or ASTM D-2241. Corrugated High Density Polyethylene (HDPE) pipe, couplings and fittings shall conform to the following 4" - 10" inch pipe shall meet the requirement of AASHTO M252 Type 5, and 12" through 24" inch shall meet the requirement of AASHTO M294 Type 5.

2. Joints and connections to anti-seep collars shall be completely watertight.

3. Bedding - The pipe shall be firmly and uniformly bedded throughout its entire length. Where rock or soft, spongy or other unstable soil is encountered, all such material shall be removed and replaced with suitable earth compacted to provide adequate support.

4. Backfilling shall conform to "Structure Backfill".

5. Other details (anti-seep collars, valves, etc.) shall be as shown on the drawings. Drainage Diaphragms - When a drainage diaphragm is used, a registered professional engineer will supervise the design and construction inspection.

Concrete

Concrete shall meet the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 4M, Mix No. 3.

Rock Riprap

Rock riprap shall meet the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 31.

Geotextile shall be placed under all riprap and shall meet the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 921.09, Class C.

Care of Water during Construction

All work on permanent structures shall be carried out in areas free from water. The Contractor shall construct and maintain all temporary dikes, levees, cofferdams, drainage channels, and stream diversions necessary to protect the areas to be occupied by the permanent works. The contractor shall also furnish, install, operate, and maintain all necessary pumping and other equipment required for removal of water from various parts of the work and for maintaining the excavations, foundation, and other parts of the work free from water as required or directed by the engineer for constructing each part of the work. After having served their purpose, all temporary protective works shall be removed or lifted and graded to the extent required to prevent obstruction in any degree whatsoever of the flow of water to the spillway or outlet works and so as not to interfere in any way with the operation or maintenance of the structure. Stream diversions shall be maintained until the full flow can be passed through the permanent works. The removal of water from the required excavation and the foundation shall be accomplished in a manner and to the extent that will maintain stability of the excavated slopes and bottom required excavations and will allow satisfactory performance of all construction operations. During the piling and compacting of material in required excavations, the water level at the locations being refilled shall be maintained below the bottom of the excavation at such locations which may require draining the water sumps from which the water shall be pumped.

Stabilization

All borrow areas shall be graded to provide proper drainage and left in a slightly condition. All exposed surfaces of the embankment, spillway, soil and borrow areas, and berms shall be stabilized by seeding, liming, fertilizing and mulching in accordance with the Natural Resources Conservation Service Standards and Specifications for Critical Area Planting (MD-342) or as shown on the accompanying drawings.

Erosion and Sediment Control

Construction operations will be carried out in such a manner that erosion will be controlled and water and air pollution minimized. State and local laws concerning pollution abatement shall be followed. Construction plans shall detail erosion and sediment control measures.

OPERATION AND MAINTENANCE

An operation and maintenance plan in accordance with Local or State Regulations will be prepared for all ponds. As a minimum, the dam inspection checklist located in Appendix A shall be included as part of the operation and maintenance plan and performed at least annually. Written records of maintenance and major repairs needs to be retained in a file. The issuance of a Maintenance and Repair Permit for any repairs or maintenance that involves the modification of the dam or spillway from its original design and specifications is required. A permit is also required for any repairs or maintenance that involve the modification of the structure. All indicated repairs are to be made as soon as practical.

FACILITY SUMMARY

	WQV	CPV	1 YEAR	10 YEAR	100 YEAR
Developed Outflow (cfs)	N/A	0.8	0.6	50.4	112.5
Water Surface Elevation	512.00	514.25	514.19	515.18	515.87
Storage Required (ac. ft.)	0.9655	1.3748	1.3748	NA	NA
Storage Provided (ac. ft.)	1.6599	1.7799	1.7248	0.9157	1.9539
Water Surface Elevation at Full Reservoir					
Structure Type	"MICRO-POOL" EXTENDED DETENTION POND (P-1)				

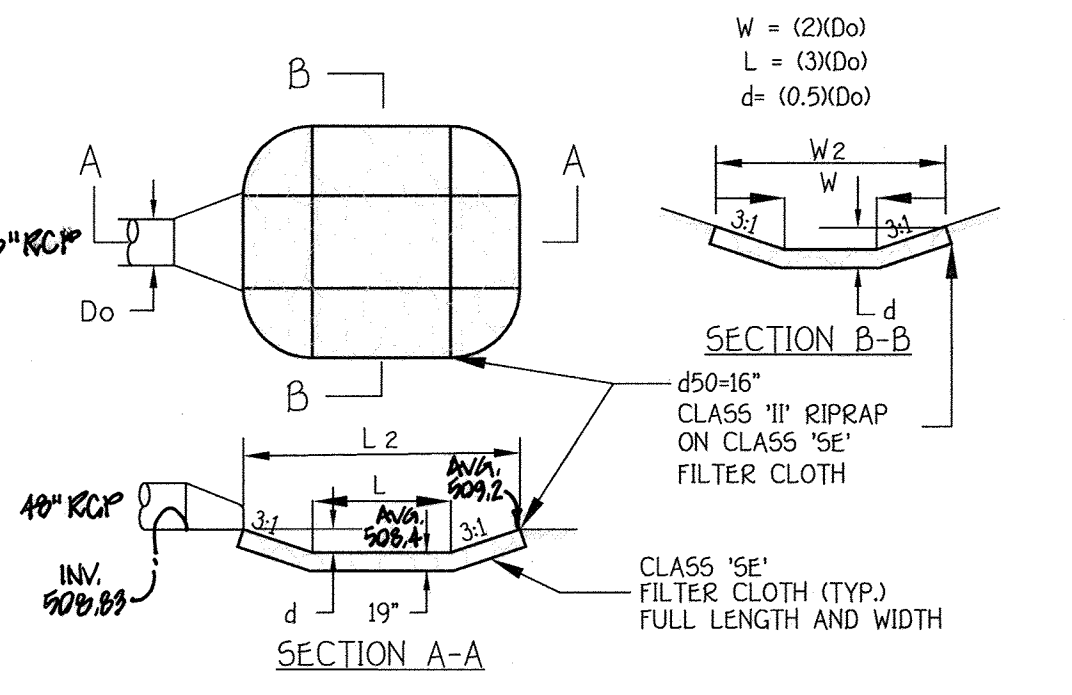
Structure Classification	LOW HAZARD A - 378
Structure Location	Urban
Storage Height Product	55.848c/112
Watershed Area to Facility	26.81 Acres
Minimum Top Width Provided	12 feet
Maximum Height of Fill	0.0 feet
Maximum 10-Year Impoundment Depth	9.87 feet
Freshwater Provided Above 100 Year	2.15 feet

FACILITY WILL BE PRIVATELY OWNED AND MAINTAINED. MANAGEMENT PROVIDED: Rev WQV Cpv 1-Year

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED S.W.M. PONDS No. 1, 2 & 3

- THE FACILITY SHALL BE INSPECTED TWICE ANNUALLY - SPRING AND FALL. INSPECTION TO BE PERFORMED BY THE OWNER'S VISUAL INSPECTION OF ALL COMPONENTS, PHYSICAL INSPECTION OF ANY MOVABLE PARTS, DRAIN, VALVES, ETC.
- VEGETATED COVER SHALL BE MAINTAINED BY MOWING, LIMING AND FERTILIZING AS A MINIMUM REQUIREMENT THE LIME AND FERTILIZER SHALL BE APPLIED ONCE EVERY TWO(2) YEARS. NOTE: SPECIAL CARE SHALL BE TAKEN IN THE VICINITY OF STRUCTURES SO AS TO NOT DAMAGE THESE COMPONENTS WITH HEAVY EQUIPMENT.
- RILLS ON THE SLOPES OF THE BASIN AND WASHES IN THE EARTH SPILLWAY SHALL BE FILLED WITH SUITABLE MATERIAL AND THOROUGHLY COMPACTED. THESE AREAS SHALL BE RESEDED OR RESEEDDED, LIMED AND FERTILIZED AS NEEDED.
- ALL APPURTENANCES SHALL BE KEPT FREE OF TRASH.
- SEDIMENT REMOVAL IN THE FOREBAY SHALL OCCUR WHEN 50% OF THE TOTAL CAPACITY HAS BEEN LOST.
- SEDIMENT REMOVED FROM THE FACILITY SHALL BE DISPOSED OF BASED ON CURRENT EROSION AND SEDIMENT CONTROL REGULATIONS.
- CONTACT HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS PRIOR TO ANY REPAIR OF THE STRUCTURE, PIPE, OR DAM.
- ALL REQUIRED MAINTENANCE SHALL BE PERFORMED BY THE OWNER OR OWNER'S REPRESENTATIVE AT THE OWNER'S USERS EXPENSE.

LOC	Do	d	W	L	W2	L2
E-2	4.00'	2.00'	8.0'	12.0'	10.0'	12.0'



RIP RAP PLUNGE POOL POND #2 NOT TO SCALE

CONSTRUCTION SPECIFICATIONS

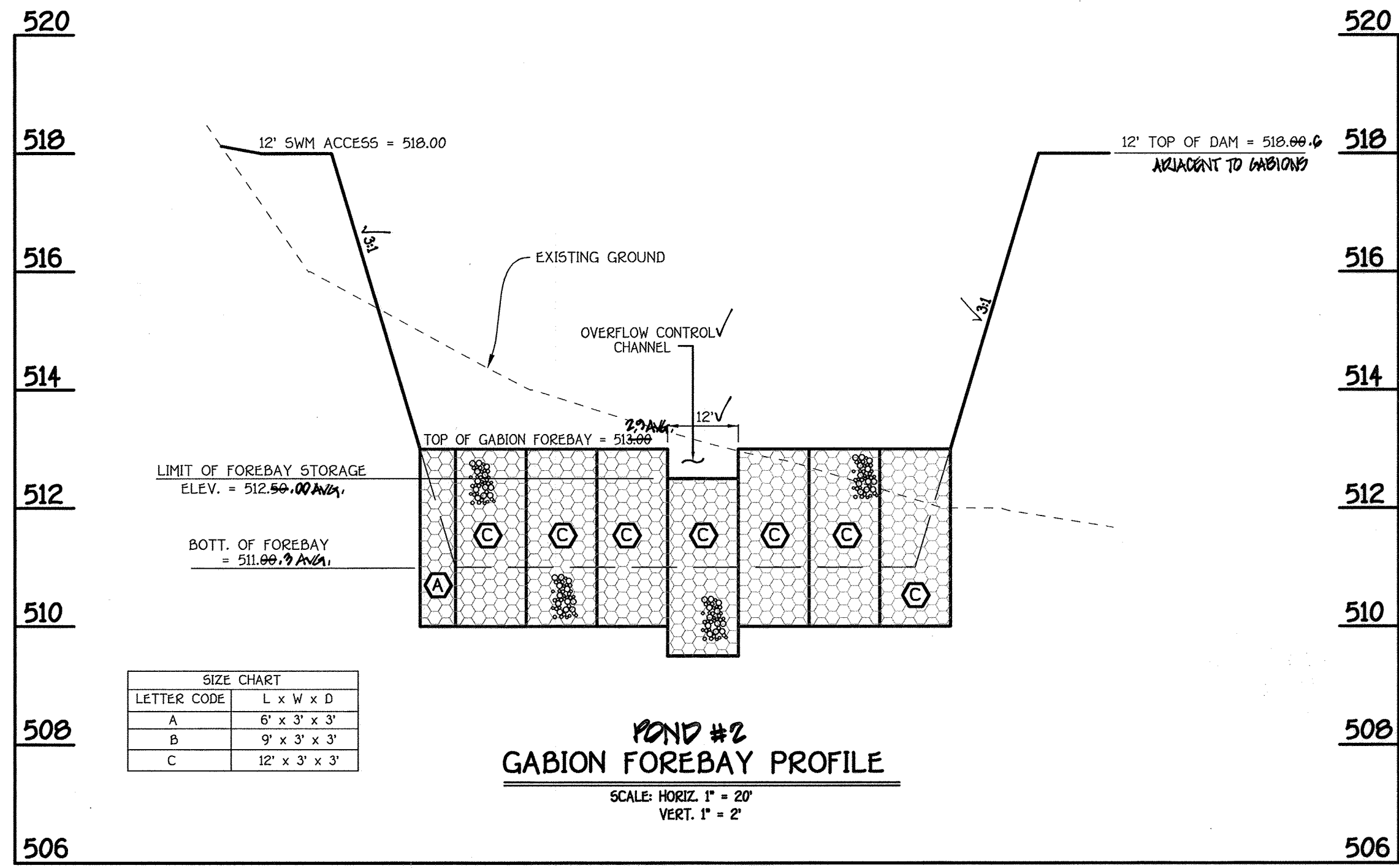
- THE SUBGRADE FOR THE FILTER, RIP-RAP, OR GABION SHALL BE PREPARED TO THE REQUIRED LINES AND GRADES. ANY FILL REQUIRED FOR THE SUBGRADE SHALL BE COMPACTED TO A DENSITY OF APPROXIMATELY THAT OF THE SURROUNDING UNDISTURBED MATERIAL.
- THE ROCK OR GRAVEL SHALL CONFORM TO THE SPECIFIED GRADING LIMITS WHEN INSTALLED RESPECTIVELY IN THE RIP-RAP OR FILTER.
- GEOTEXTILE SHALL BE PROTECTED FROM PUNCHING, CUTTING, OR TEARING. ANY DAMAGE OTHER THAN AN OCCASIONAL SMALL HOLE SHALL BE REPAIRED BY PLACING ANOTHER PIECE OF GEOTEXTILE OVER THE DAMAGED PART OR BY COMPLETELY REPLACING THE GEOTEXTILE. ALL OVERLAPS WHETHER FOR REPAIRS OR FOR JOINING TWO PIECES OF GEOTEXTILE SHALL BE A MINIMUM OF ONE FOOT.
- STONE FOR THE RIP-RAP OR GABION OUTLETS MAY BE PLACED BY EQUIPMENT. THEY SHALL BE CONSTRUCTED TO THE FULL COURSE THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO AVOID DISPLACEMENT OF UNDERLAINING MATERIALS. THE STONE FOR RIP-RAP OR GABION OUTLETS SHALL BE DELIVERED AND PLACED IN A MANNER THAT WILL ENSURE THAT IT IS REASONABLY HOMOGENEOUS WITH THE SMALLER STONES. RIP-RAP SHALL BE PLACED IN A MANNER TO PREVENT DAMAGE TO THE FILTER BLANKET. GEOTEXTILE HAND PLACEMENT WILL BE REQUIRED TO THE EXTENT NECESSARY TO PREVENT DAMAGE TO THE PERMANENT WORKS.
- THE STONE SHALL BE PLACED SO THAT IT BLENDS IN WITH THE EXISTING GROUND. IF THE STONE IS PLACED TOO HIGH THEN THE FLOW WILL BE FORCED OUT OF THE CHANNEL AND SCOUR ADJACENT TO THE STONE WILL OCCUR.

AS-BUILT CERTIFICATION

I hereby certify, by my seal, that the facilities shown on this plan were constructed as shown on this "AS BUILT" plan meet the approved plans and specifications.

CHARLES J. COOPER, P.E. NO. 19404 Date 11/6/12

REVISED



T.E. SCOTT+ASSOCIATES

128 Cockeysville Road phone: 410.458.2651
Hunt Valley, MD 21103 fax: 443.269.0216
tes@mdswm.com www.mdswm.com

NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
2	REV. TO ADD FEE SIMPLE LOTS PER F-14-111 & ADD PHASE V TO SITE-09-030	10/31/12
3	REV. TO ADD FEE SIMPLE LOTS PER F-13-101	10/17/13

DEVELOPER'S CERTIFICATE

"I/We Certify that All Development And/Or Construction Will be Done According to These Plans, And That Any Responsible Personnel Involved in the Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion before Beginning The Project. I shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With A Plan Of The Pond Within 30 Days Of Completion. I Also Authorize Periodic On-Site Inspections By The Howard Soil Conservation District."

Signature Of Developer: [Signature] Date: 11/14/12

ENGINEER'S CERTIFICATE

"I Certify that This Plan For Pond Construction, Erosion And Sediment Control Represents A Practical And Viable Plan Based On My Personal Knowledge Of The Site Conditions. This Plan Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District. I Have Notified The Developer That He/She Must Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion."

Signature Of Engineer: [Signature] Date: 11/14/12

These Plans For Small Pond Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.

Howards ECD

BUILDERS

NV HOMES 6085 MARSHALLEE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-5956	RYAN HOMES 6085 MARSHALLEE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956
--	--

DEVELOPER
WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
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ELLCOTT CITY, MARYLAND 21042
443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development: [Signature] Date: 12/13/12

Chief, Development Engineering Division: [Signature] Date: 12/16/12

Director - Department of Planning and Zoning: [Signature] Date: 12/16/12

PROJECT	SECTION	PARCEL NO. 'E'
GTW'S WAVERLY WOODS	14	PHASE II, TRV U LOT 5, 12 THRU 30, 44 THRU 60, 80 THRU 105, 172 THRU 231 & 240 THRU 379
PLAT	BLOCK NO.	ZONE
FEE REVENUE NOTE #51	3 & 4	PSC
WATER CODE	SEWER CODE	ELEC. DIST.
K-02	5992000	THIRD
		CENSUS TR.
		60300

B.M.P. No. 2 - STORMWATER MANAGEMENT NOTES AND DETAILS

AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS

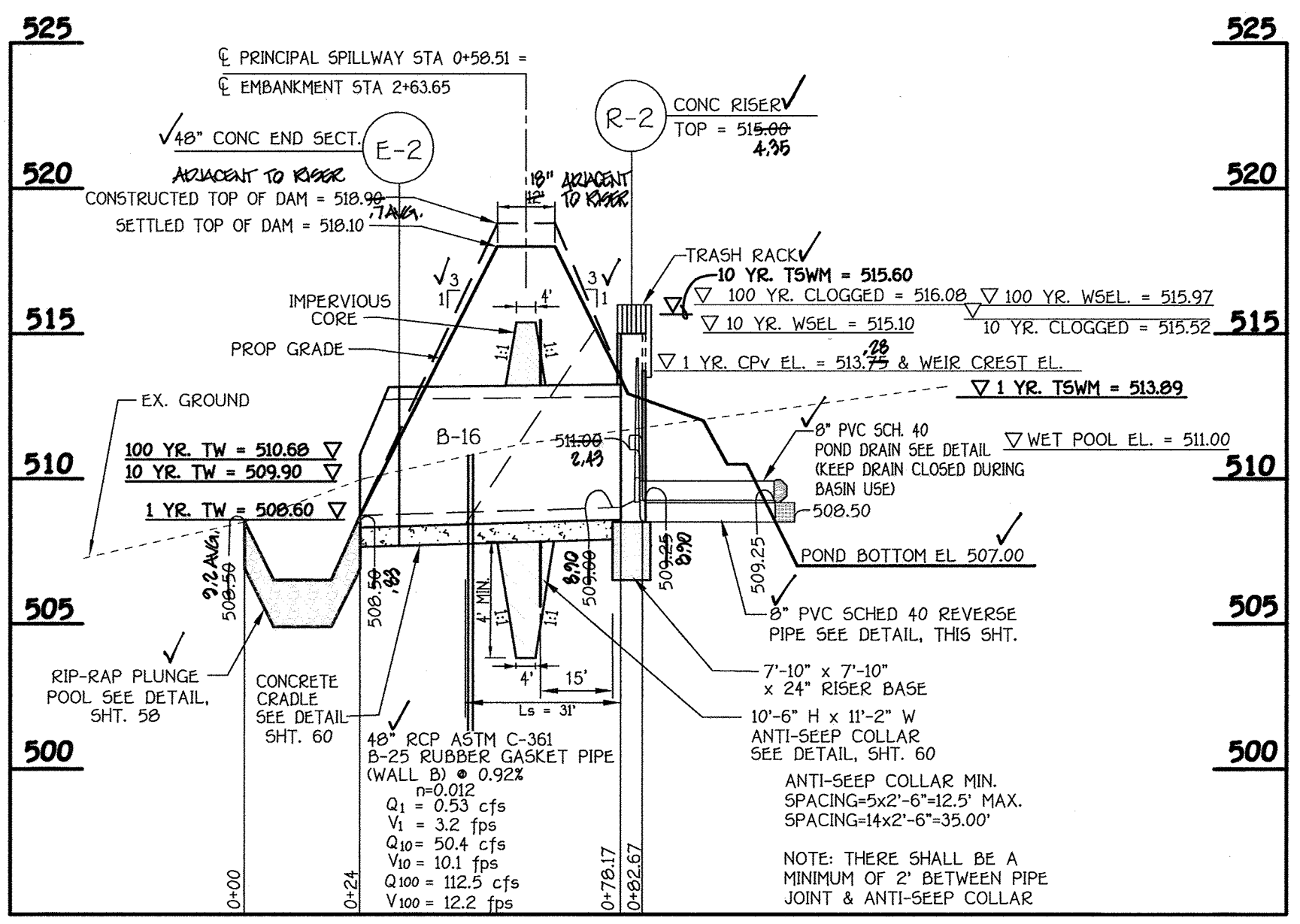
SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"

PHASE II, TRV U LOT 5, 12 THRU 30, 44 THRU 60, 80 THRU 105, 172 THRU 231 & 240 THRU 379

TOWNHOUSE & SINGLE FAMILY HOMES

ZONING: PSC
TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY MARYLAND
SCALE: AS SHOWN DATE: DECEMBER 2012
SHEET 58 OF 100 SDP-09-039

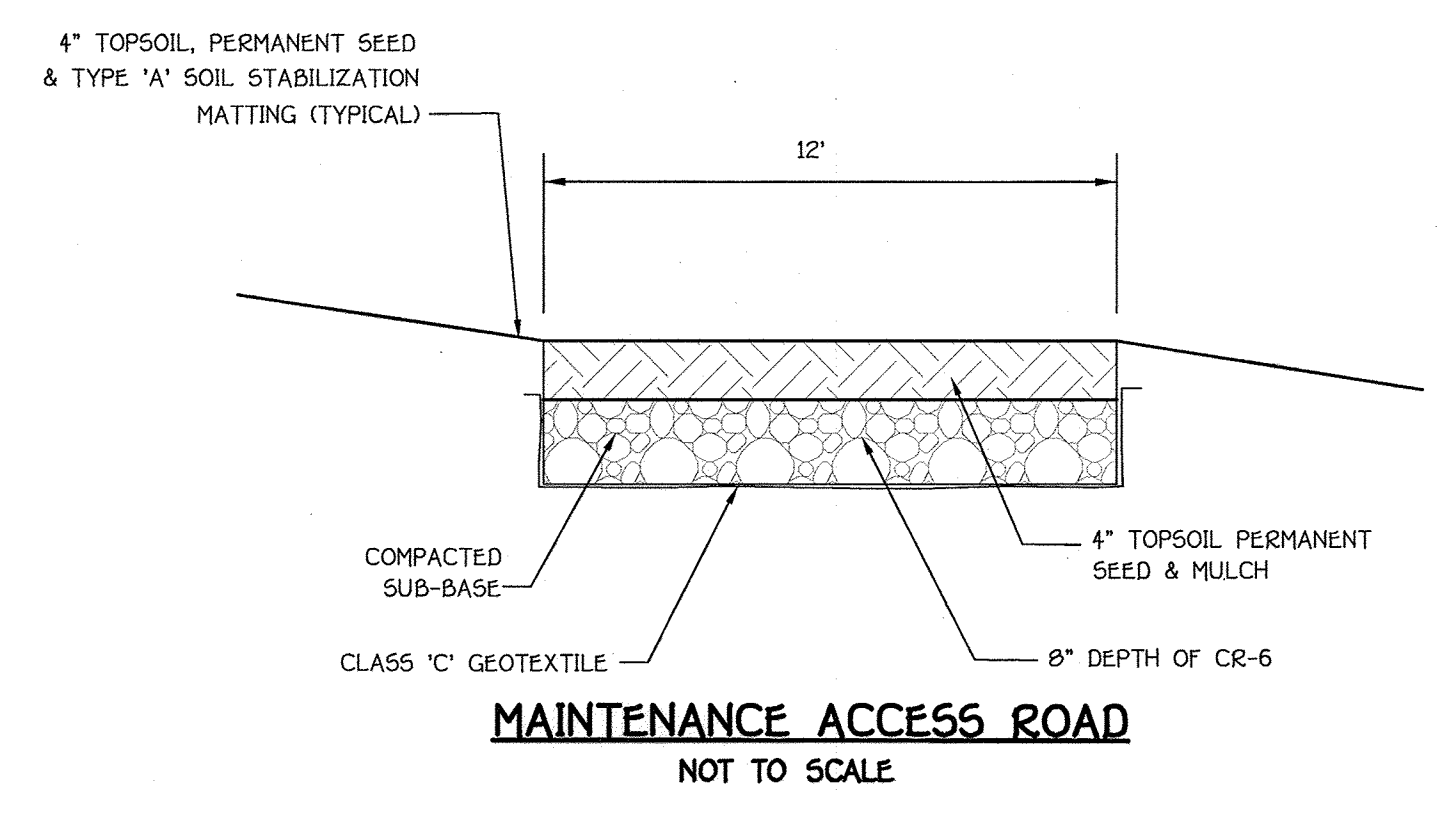
"AS-BUILT"



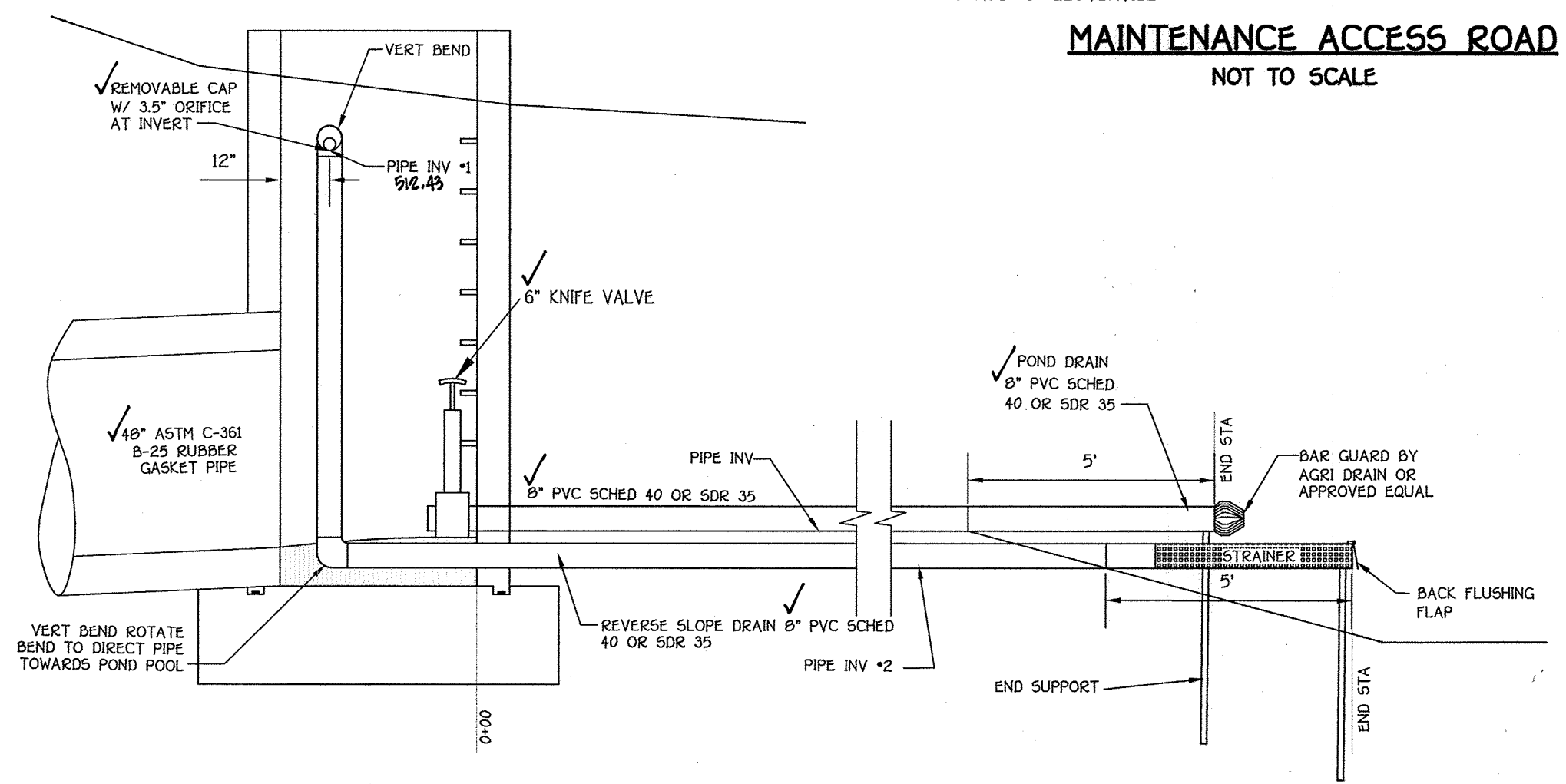
SWM FACILITY #2 - PROFILE ALONG & PRINCIPAL SPILLWAY
SCALE: HORIZ. 1"=30'
VERT. 1"=5'

PIPE FAC	VERT BEND STA	PIPE INV	VERT BEND STA	PIPE INV	END STA
1	511.83	0+05	508.50	0+05	0+43

FAC	POND BOT	PIPE INV	END STA
1	507.00	509.25	0+30



MAINTENANCE ACCESS ROAD
NOT TO SCALE



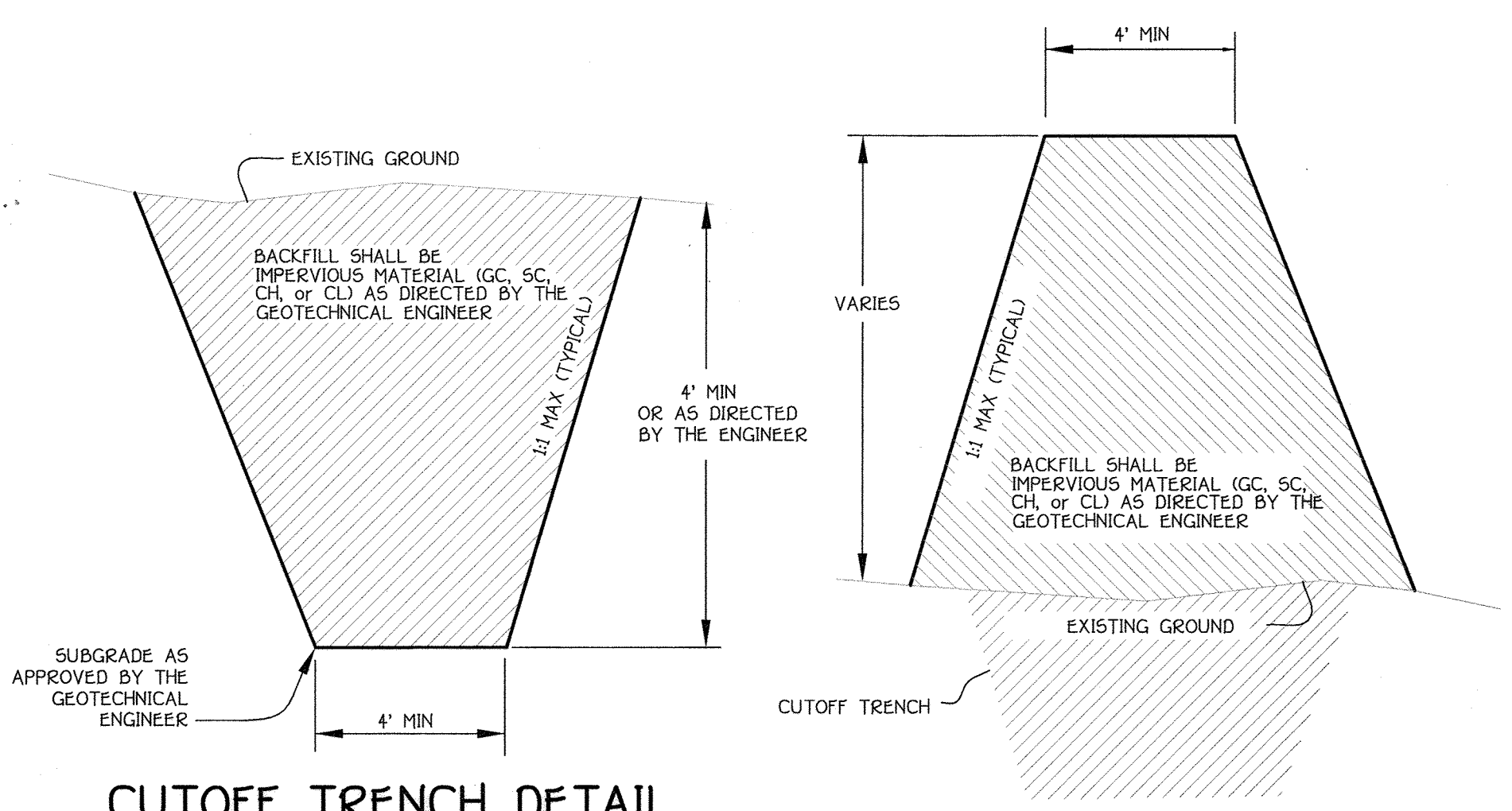
REVERSE SLOPE AND POND DRAIN DETAIL
NOT TO SCALE

Embankment and Cut-off Trench Construction

THE AREA OF THE PROPOSED SWM POND SHOULD BE STRIPPED OF TOPSOIL AND ANY OTHER UNSUITABLE MATERIALS FROM THE EMBANKMENT OR STRUCTURE AREA IN ACCORDANCE WITH SOIL CONSERVATION GUIDELINES. AFTER STRIPPING OPERATIONS HAVE BEEN COMPLETED, THE EXPOSED SUBGRADE MATERIALS SHOULD BE PROFFOLLED WITH A LOADED DUMP TRUCK OR SIMILAR EQUIPMENT IN THE PRESENCE OF A GEOTECHNICAL ENGINEER OR HIS REPRESENTATIVE UTILIZING A DYNAMIC CONE PENETROMETER. ANY EXCESSIVELY SOFT OR LOOSE MATERIALS IDENTIFIED BY PROFFOLLING OR PENETROMETER TESTING SHOULD BE EXCAVATED TO SUITABLE FIRM SOIL, AND THEN GRADES RE-ESTABLISHED BY BACKFILLING WITH SUITABLE SOIL.

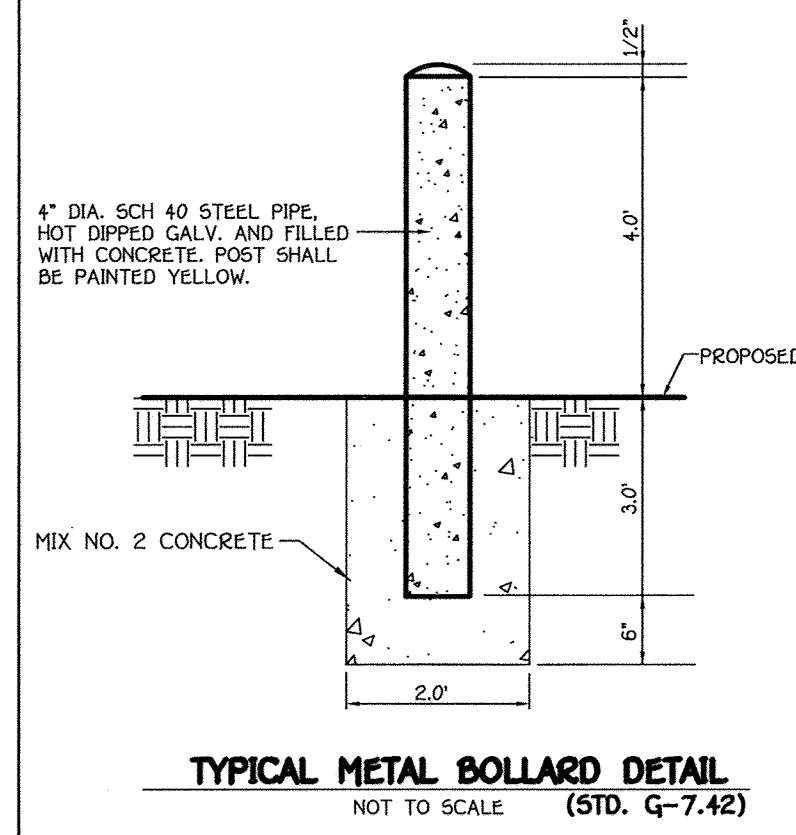
A REPRESENTATIVE OF THE GEOTECHNICAL ENGINEER SHOULD BE PRESENT TO MONITOR PLACEMENT AND COMPACTION OF FILL FOR THE EMBANKMENT AND CUT-OFF TRENCH. IN ACCORDANCE WITH MARYLAND SOIL CONSERVATION SPECIFICATION 37B SOILS CONSIDERED SUITABLE FOR THE CENTER OF EMBANKMENT AND CUT-OFF TRENCH SHALL CONFORM TO UNIFIED SOIL CLASSIFICATION GC, SC, CH, OR CL.

IT IS OUR PROFESSIONAL OPINION THAT IN ADDITION TO THE SOIL MATERIALS DESCRIBED ABOVE A FINE GRAINED SOIL, INCLUDING SILT (ML) WITH A PLASTICITY INDEX OF 10 OR MORE FOR THE CENTER OF THE EMBANKMENT AND CORE TRENCH. BASED ON OUR VISUAL CLASSIFICATIONS IT APPEARS THAT SOME OF THE ON-SITE SOILS, ESPECIALLY THE NEAR SURFACE SOILS, WILL BE SUITABLE FOR USE AS CORE TRENCH MATERIAL. IT IS RECOMMENDED THAT ADDITIONAL EXPLORATION AND LABORATORY TESTING BE PERFORMED PRIOR TO POND CONSTRUCTION TO IDENTIFY AND QUANTIFY POTENTIAL BORROW AREAS FOR CORE TRENCH MATERIAL. ALL FILL MATERIALS MUST BE PLACED AND COMPACTED WITH MD SCS 37B SPECIFICATIONS.

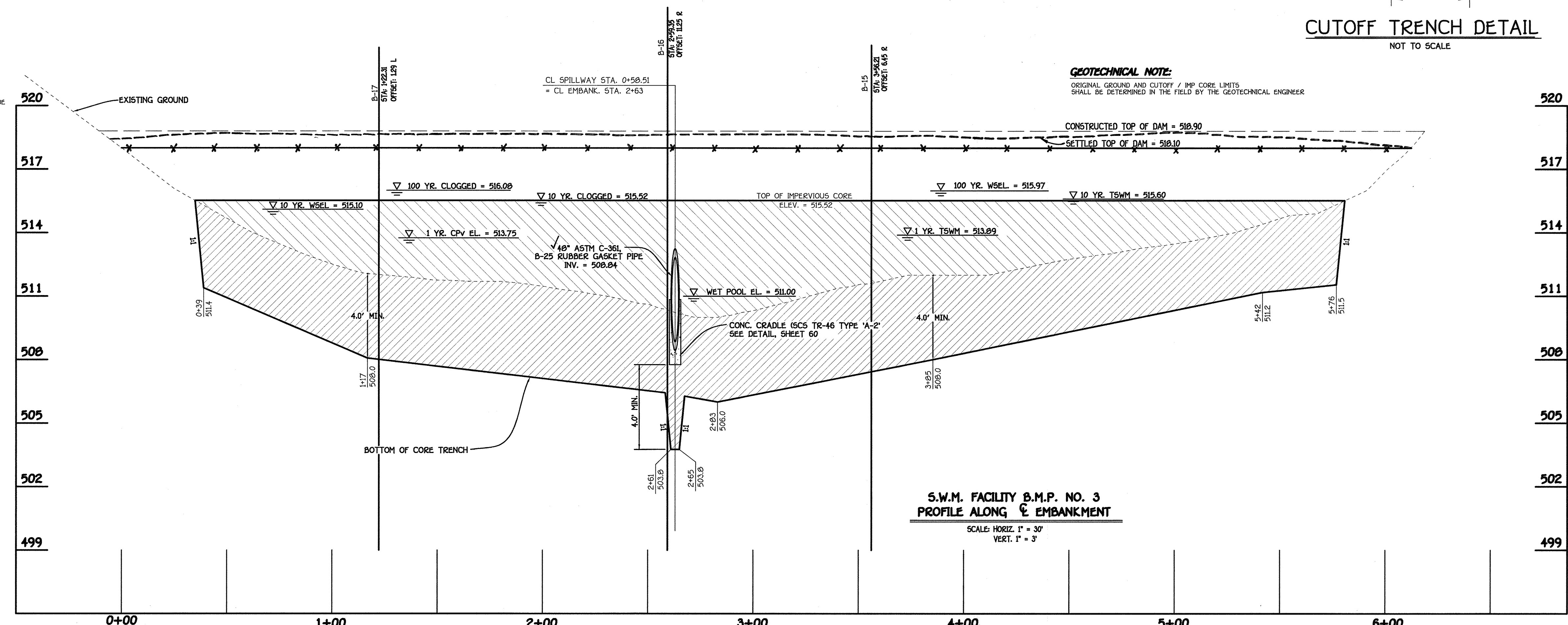


CUTOFF TRENCH DETAIL
NOT TO SCALE

IMPERVIOUS CORE DETAIL
NOT TO SCALE

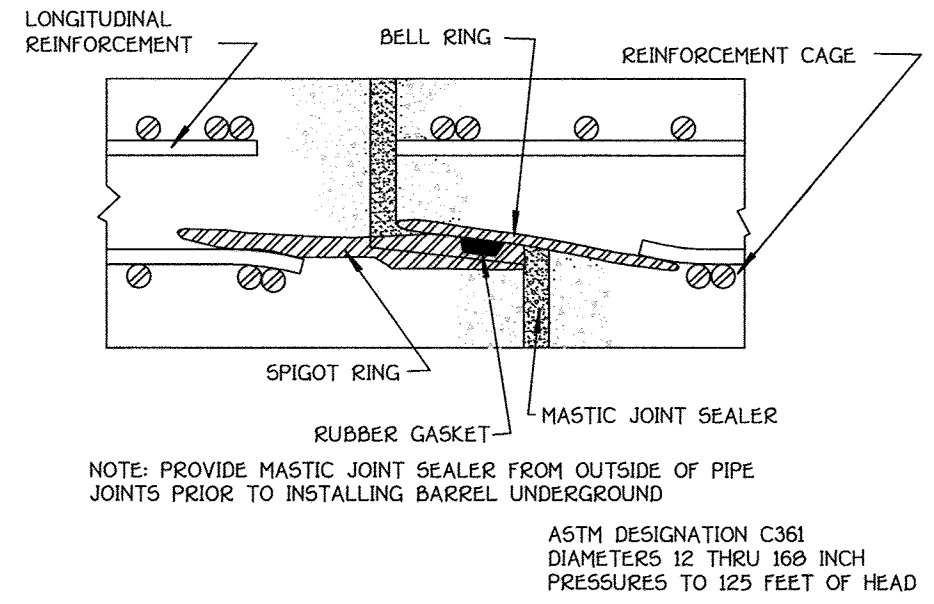


TYPICAL METAL BOLLARD DETAIL
NOT TO SCALE (STD. G-7.42)



S.W.M. FACILITY B.M.P. NO. 3
PROFILE ALONG & EMBANKMENT
SCALE: HORIZ. 1"=30'
VERT. 1"=3'

GEOTECHNICAL NOTE:
ORIGINAL GROUND AND CUTOFF / IMP CORE LIMITS SHALL BE DETERMINED IN THE FIELD BY THE GEOTECHNICAL ENGINEER



CONCRETE PIPE JOINT DETAIL
NOT TO SCALE

AS-BUILT CERTIFICATION

I hereby certify, by my seal, that the facilities shown on this plan were constructed as shown on this "AS BUILT" plan meet the approved plans and specifications.

Charles J. Cronig, Jr. Date: 11/15/12
CHARLES J. CRONIG, JR. NO. 19304

T.E. SCOTT & ASSOCIATES
LANDSCAPE, STORMWATER ENVIRONMENTAL
128 Cockeysville Road phone: 410.458.2651
Hunt Valley, MD 21030 fax: 443.269.0216
tes@mdswm.com www.mdswm.com

FISHER, COLLINS & CARTER, INC.
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CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
410.481.2955



DEVELOPER'S CERTIFICATE

I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion. I Also Authorize Periodic On-Site Inspections By The Howard Soil Conservation District.

John R. Robertson Date: 11/14/12
Signature Of Developer

ENGINEER'S CERTIFICATE

I Certify That This Plan For Pond Construction, Erosion And Sediment Control Represents A Practical And Viable Plan Based On My Personal Knowledge Of The Site Conditions. The Plan Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District. I Have Notified The Developer That He/She Must Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion.

John R. Robertson Date: 11/14/12
Signature Of Engineer

These Plans For Small Pond Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

John R. Robertson Date: 11/15/12
Howard SCD

BUILDERS

NV HOMES 6085 MARSHALLEE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956
RYAN HOMES 6085 MARSHALLEE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956

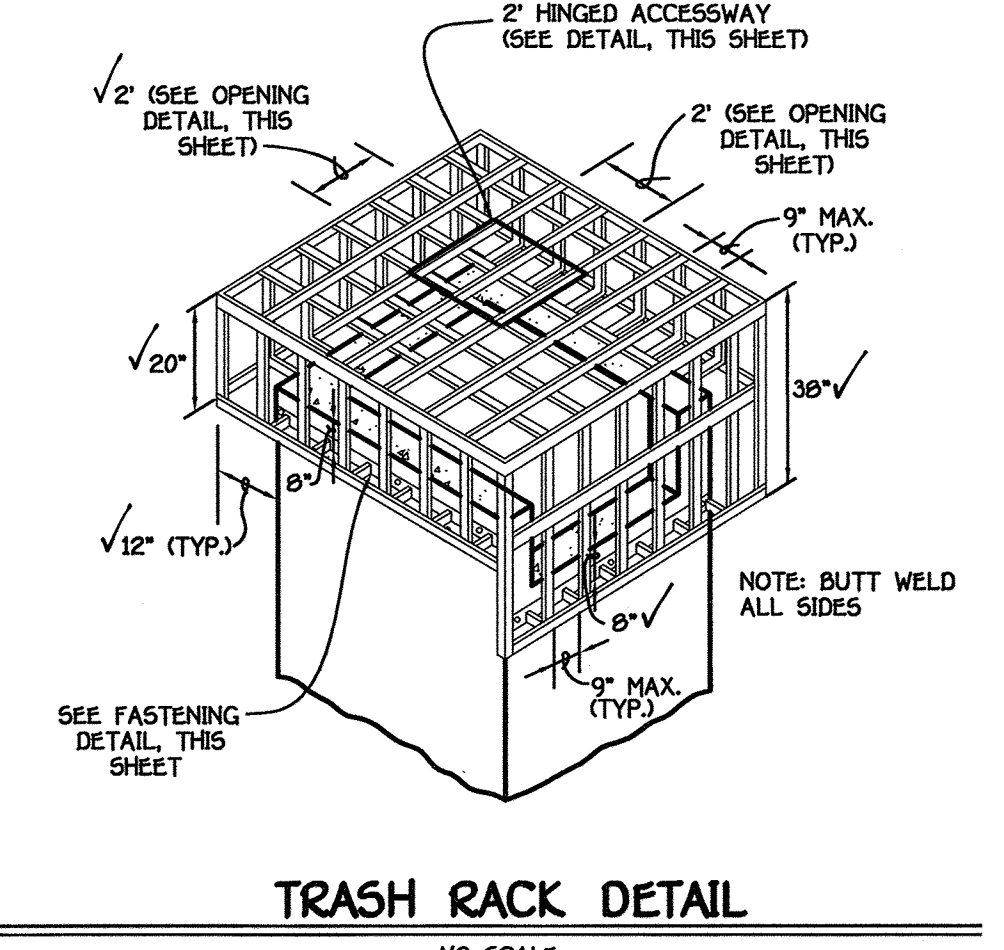
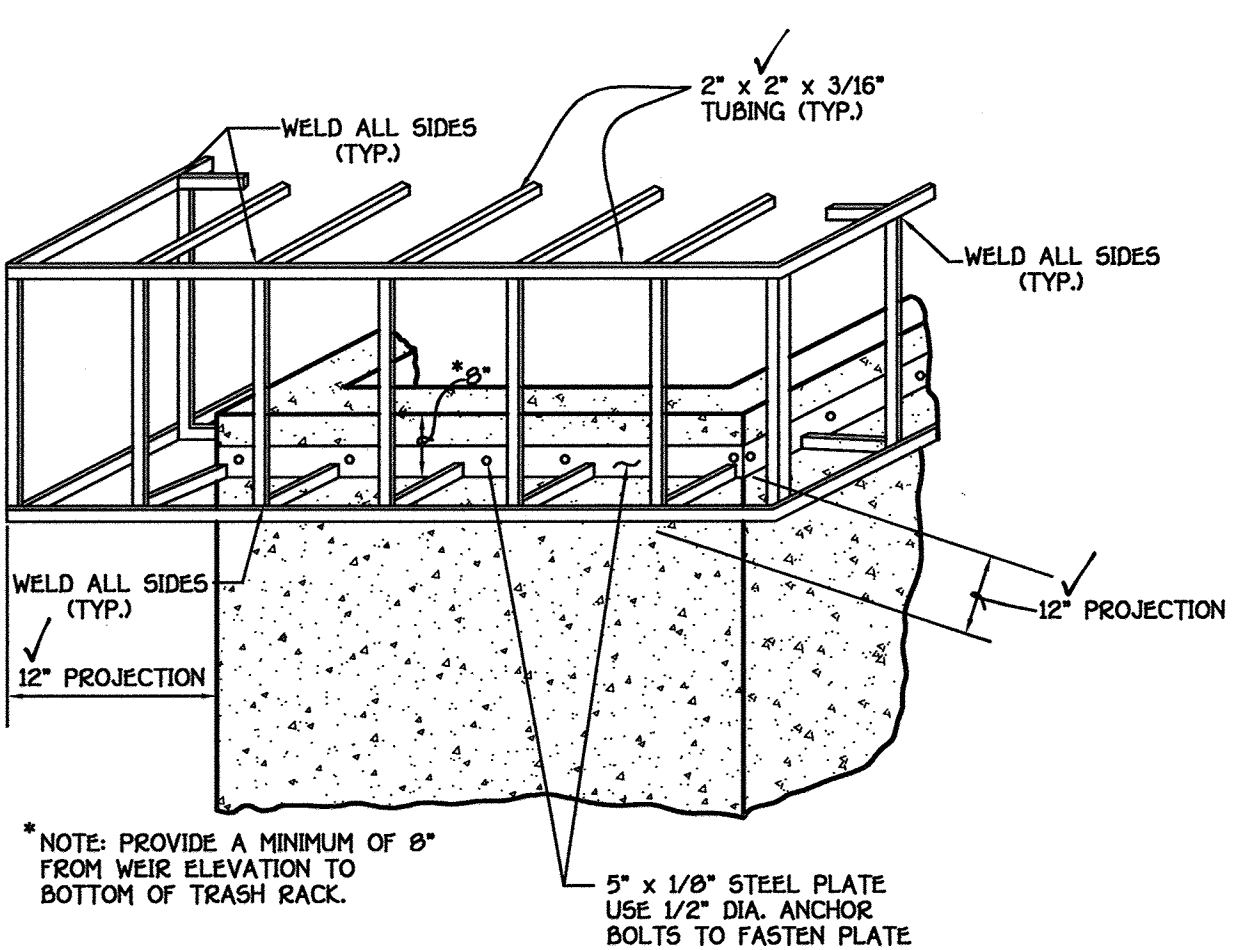
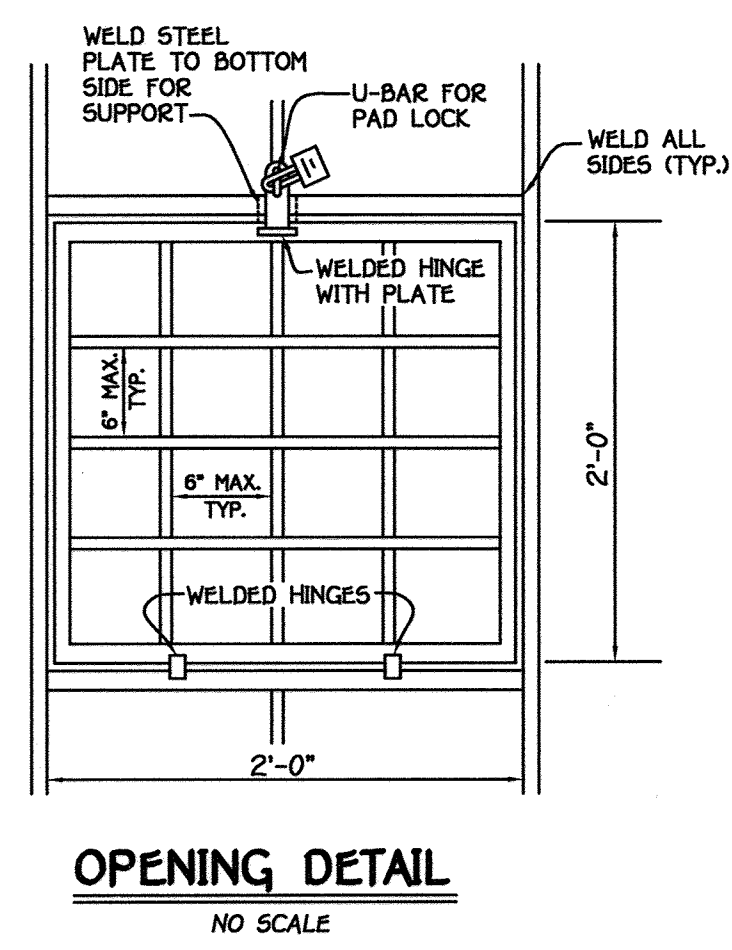
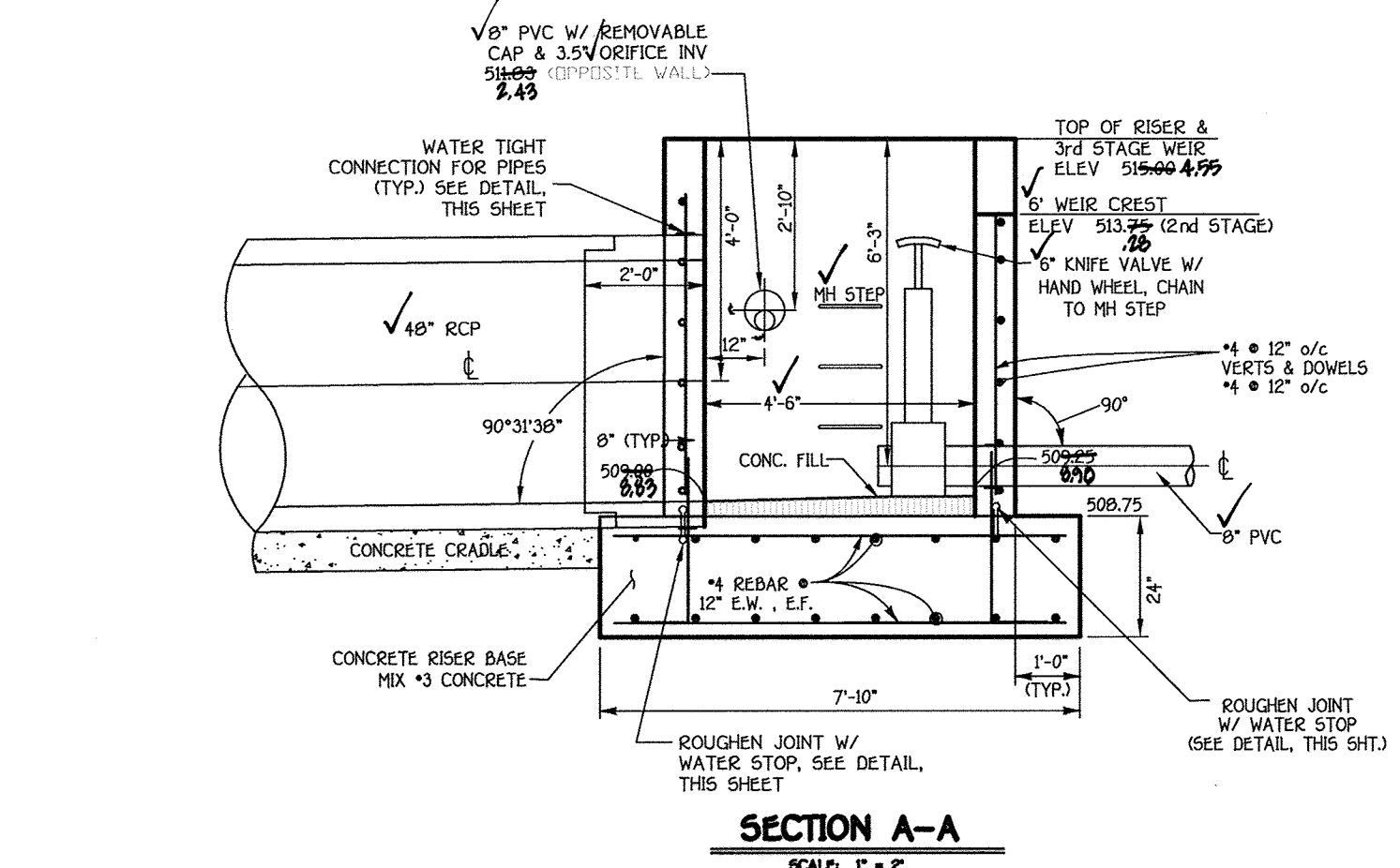
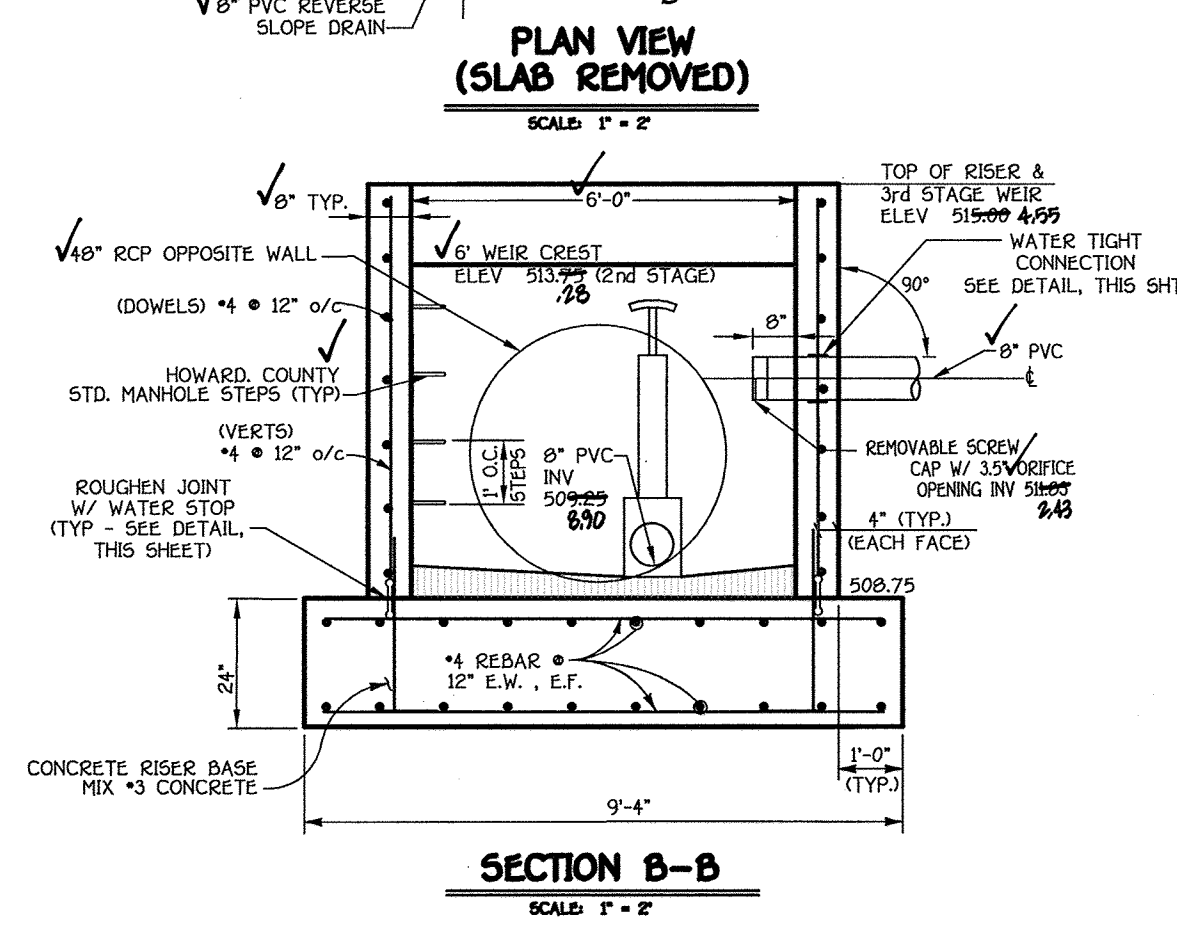
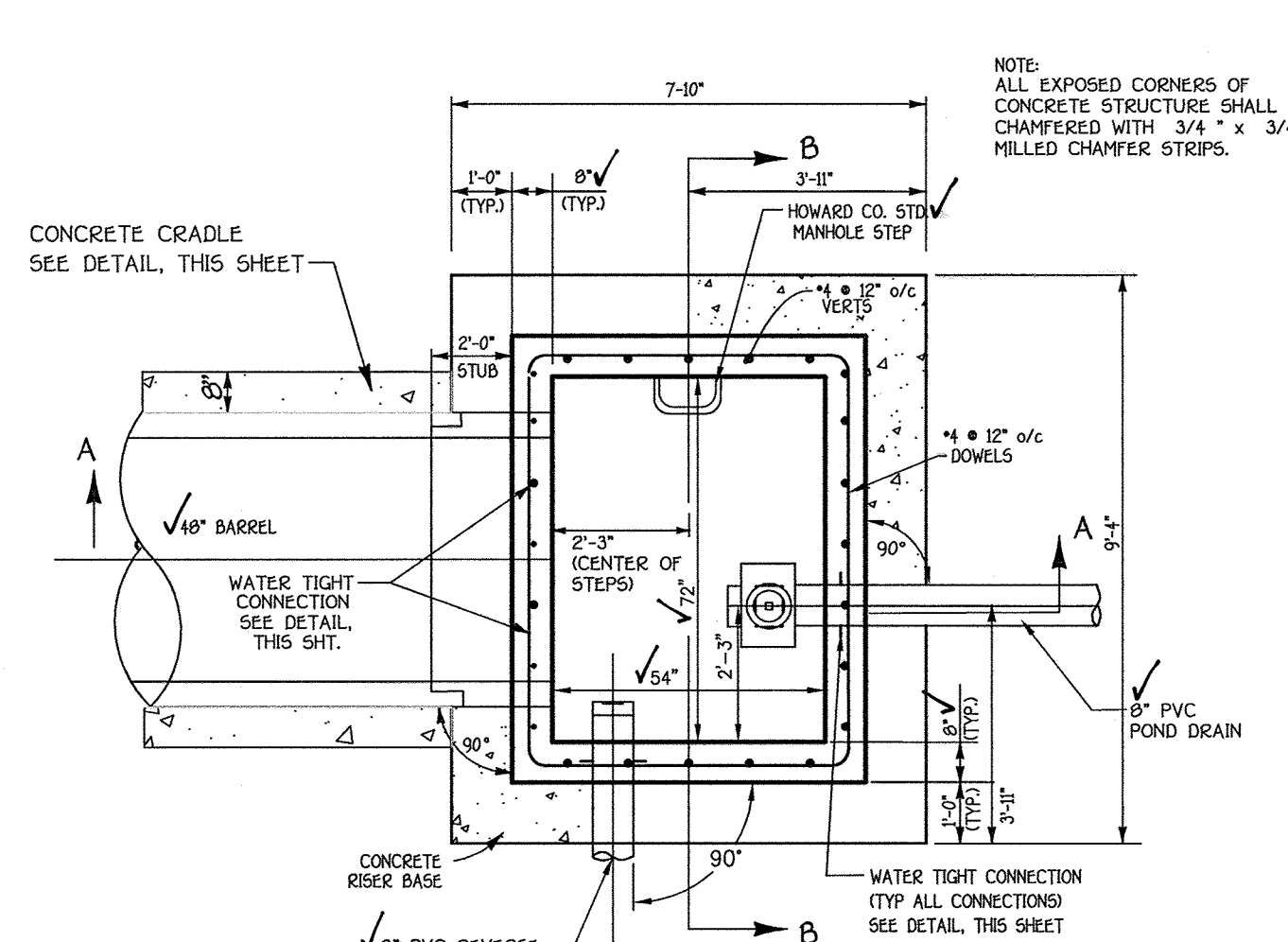
DEVELOPER
WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLCOTT CITY, MARYLAND 21042 443-367-0422

OWNERS
WAVERLY WOODS DEVELOPMENT CORPORATION
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5300 DORSEY HALL DRIVE, SUITE 102
ELLCOTT CITY, MARYLAND 21042 443-367-0422

PROJECT	GTW'S WAVERLY WOODS	SECTION	14	PARCEL NO. 'E'	1078 9, 1079 9, 1080 9, 1081 9, 1082 9, 1083 9, 1084 9, 1085 9, 1086 9, 1087 9, 1088 9, 1089 9, 1090 9, 1091 9, 1092 9, 1093 9, 1094 9, 1095 9, 1096 9, 1097 9, 1098 9, 1099 9, 1100 9, 1101 9, 1102 9, 1103 9, 1104 9, 1105 9, 1106 9, 1107 9, 1108 9, 1109 9, 1110 9, 1111 9, 1112 9, 1113 9, 1114 9, 1115 9, 1116 9, 1117 9, 1118 9, 1119 9, 1120 9, 1121 9, 1122 9, 1123 9, 1124 9, 1125 9, 1126 9, 1127 9, 1128 9, 1129 9, 1130 9, 1131 9, 1132 9, 1133 9, 1134 9, 1135 9, 1136 9, 1137 9, 1138 9, 1139 9, 1140 9, 1141 9, 1142 9, 1143 9, 1144 9, 1145 9, 1146 9, 1147 9, 1148 9, 1149 9, 1150 9, 1151 9, 1152 9, 1153 9, 1154 9, 1155 9, 1156 9, 1157 9, 1158 9, 1159 9, 1160 9, 1161 9, 1162 9, 1163 9, 1164 9, 1165 9, 1166 9, 1167 9, 1168 9, 1169 9, 1170 9, 1171 9, 1172 9, 1173 9, 1174 9, 1175 9, 1176 9, 1177 9, 1178 9, 1179 9, 1180 9, 1181 9, 1182 9, 1183 9, 1184 9, 1185 9, 1186 9, 1187 9, 1188 9, 1189 9, 1190 9, 1191 9, 1192 9, 1193 9, 1194 9, 1195 9, 1196 9, 1197 9, 1198 9, 1199 9, 1200 9, 1201 9, 1202 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CAST-IN-PLACE CONCRETE SPECIFICATIONS

- Specifications: Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, latest edition.
 - Concrete: shall meet the requirements of the Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 414 and 902, Mix No. 3.
 - Contractor may add color mix at plant in accordance with manufacturer's recommendation "C-12 mesa beige" as manufactured by L. H. Scofield Company, (213) 723-5292.
- Contractor shall supply mix design for approval prior to application. Load and mix tickets shall be supplied for each truck delivery. No partial field mixes shall be allowed.
- All concrete shall attain a minimum compressive strength of 3,500 psi at 28 days. Design $f_c = 1,200$ psi.
- All exposed edges shall be chamfered $3/4" \times 3/4"$. All construction keys are shown nominal size.
- Reinforcing Steel: Reinforcing steel shall conform to ASTM A-615, Grade 60. Where not indicated, bar lap splices shall be in accordance with AASHTO specifications. The minimum concrete cover shall be 2 inches unless otherwise noted. Design $f_s = 24,000$ psi.
 - Foundations: Presumed soil bearing capacity = 2,500 psf. The engineer must approve all foundations prior to concrete placement. If unsuitable material is encountered, the material shall be undercut and backfilled with structural backfill.
 - Structural Backfill: Cast-in-place concrete structures and pipe shall be backfilled with select granular backfill meeting the requirements of SHA graded aggregate-subbase. Structural fill shall be placed in loose lifts of approximately 6 inches, and compacted to 95% of the standard proctor maximum dry density in accordance with AASHTO T-100. The static weight of equipment used adjacent to walls shall not exceed 3,000 pounds. No backfill shall be placed against the cast-in-place walls until the concrete has attained the specified 28 day strength.



- NOTE: CONTRACTOR SHALL
- FIELD MEASURE THE STRUCTURE DIMENSIONS FOR EXACT FITTING OF TRASH RACK.
 - GALVANIZE ENTIRE TRASH RACK.
 - ALL NUTS AND BOLTS SHALL BE GALVANIZED.

T.E. SCOTT+ASSOCIATES
128 Cockeysville Road phone: 410.458.2651
Hunt Valley, MD 21030 fax: 443.269.0216
tes@mdswm.com www.mdswm.com

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
410.462.2955



DEVELOPER'S CERTIFICATE

I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion. I Also Authorize Periodic On-Site Inspections By The Howard Soil Conservation District.

Signature of Developer: *[Signature]* Date: 11/24/12

ENGINEER'S CERTIFICATE

I Certify That This Plan For Pond Construction, Erosion And Sediment Control Represents A Practical And Workable Plan Based On My Personal Knowledge Of The Site Conditions. This Plan Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District. I Have Notified The Developer That He/She Must Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion.

Signature of Engineer: *[Signature]* Date: 11/24/12

These Plans For Small Pond Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.

Signature of Developer: *[Signature]* Date: 11/24/12

BUILDERS

NV HOMES 6085 MARSHALLEE DRIVE SUITE 130 ELKRIDGE, MD 21075 410-379-5956	RYAN HOMES 6085 MARSHALLEE DRIVE SUITE 140 ELKRIDGE, MD 21075 410-379-5956
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DEVELOPER
WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLCOTT CITY, MARYLAND 21042
413-367-0422

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C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLCOTT CITY, MARYLAND 21042
413-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Signature: *[Signature]* Date: 12/10/12
Chief, Division of Land Development

Signature: *[Signature]* Date: 12/10/12
Chief, Development Engineering Division

Director - Department of Planning and Zoning

PROJECT GTW'S WAVERLY WOODS	SECTION 14	PARCEL NO. 'E' PARCELS 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100			
PLAT SEE GENERAL NOTES #21	BLOCK NO. 3 & 4	ZONE PSC	TAX/ZONE 16	ELEC. DIST. THIRD	CENSUS TR. 60300
WATER CODE K-02	SEWER CODE 5992000				

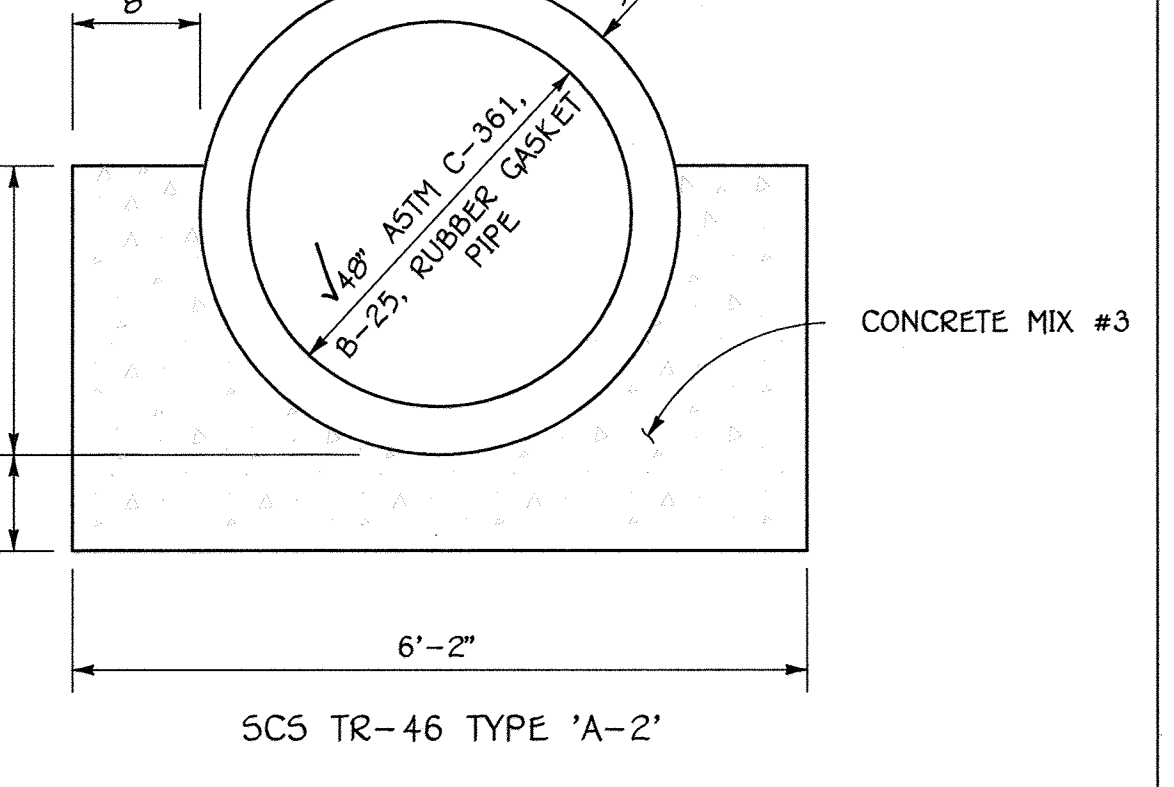
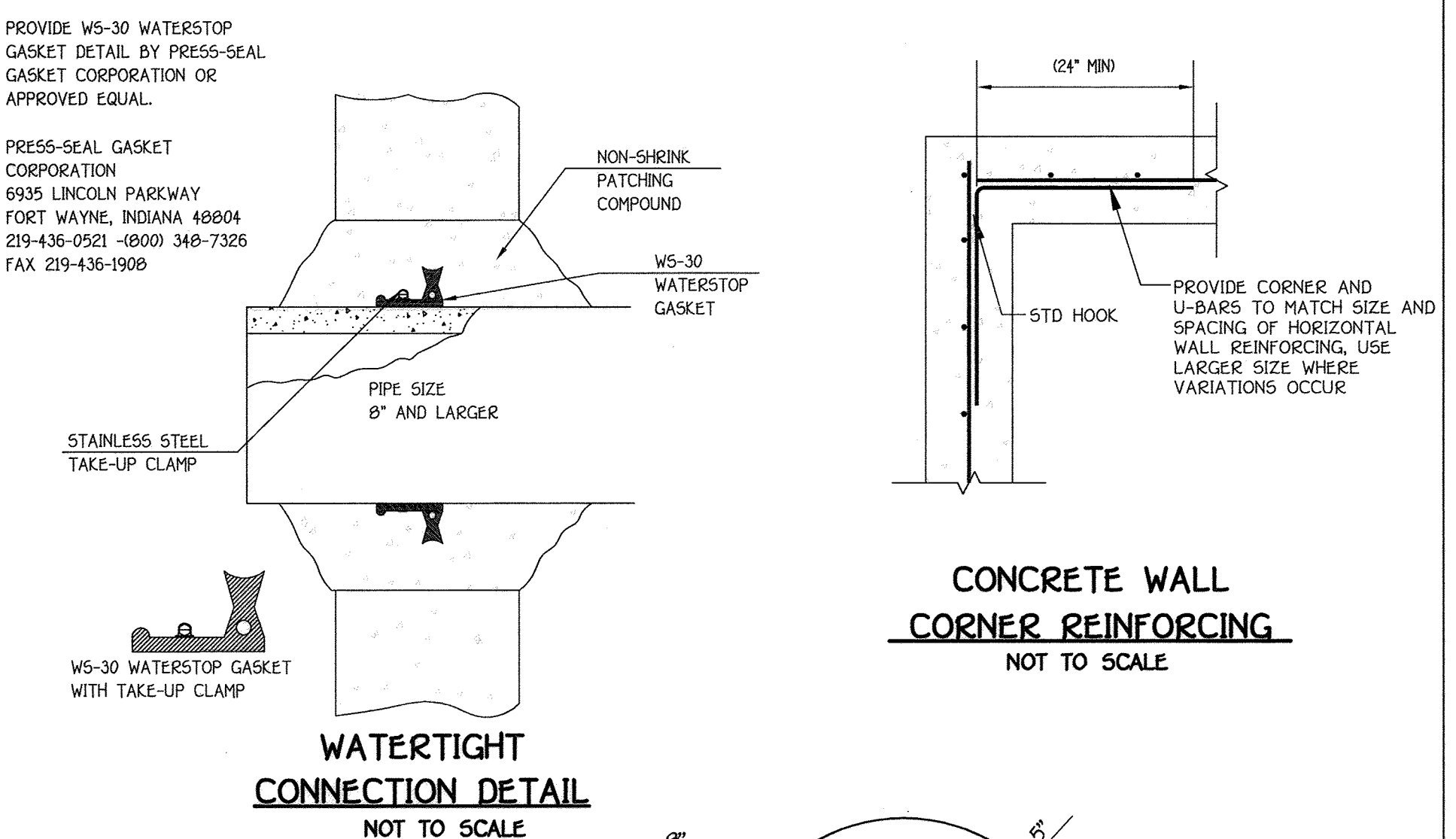
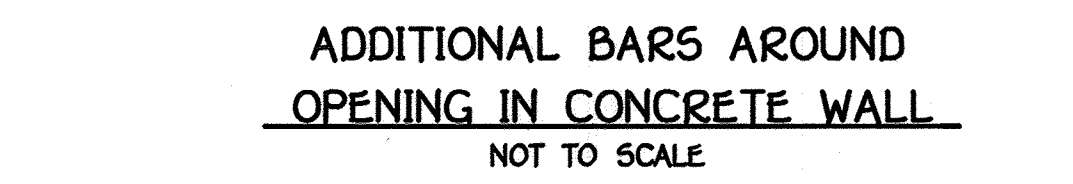
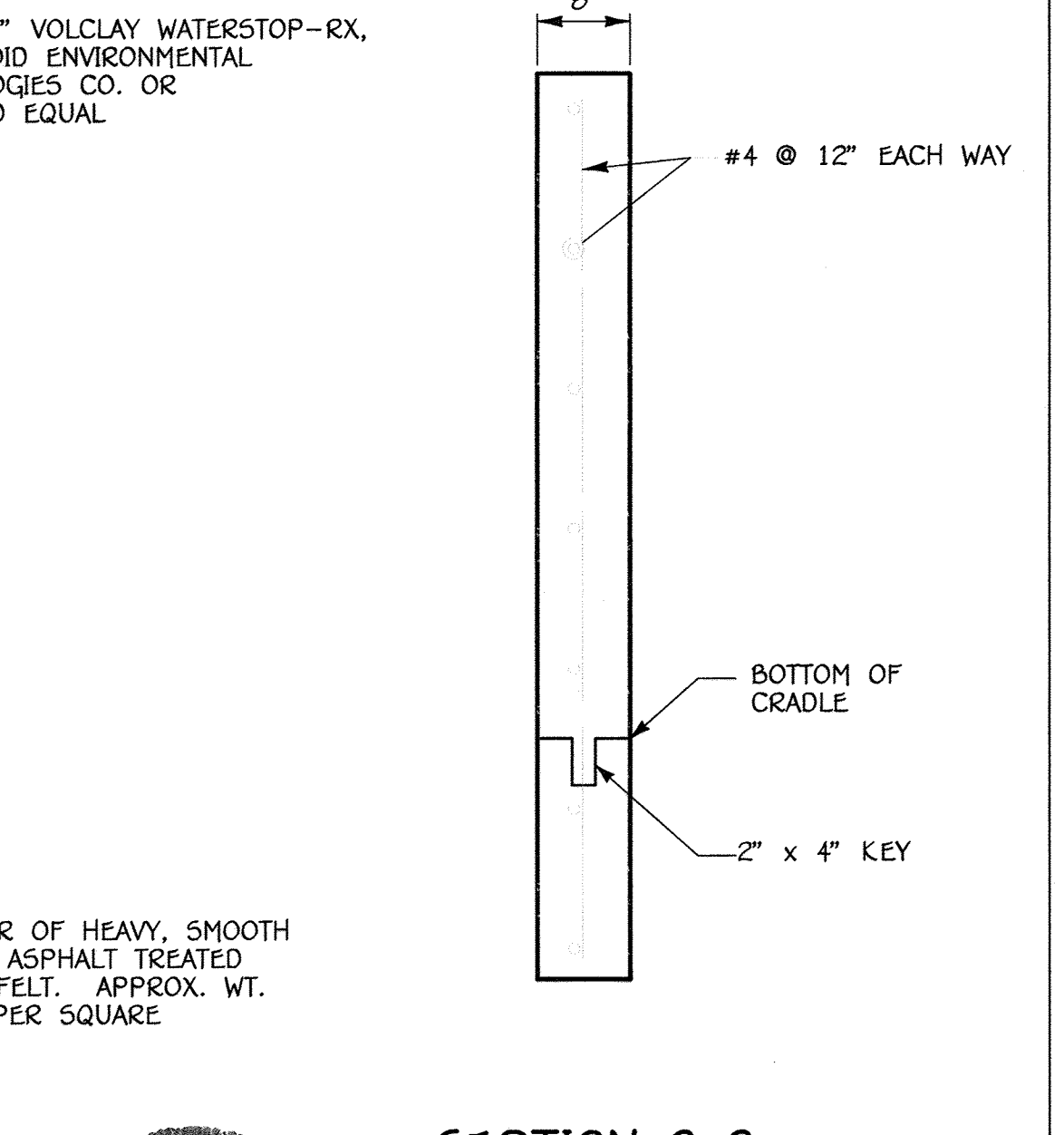
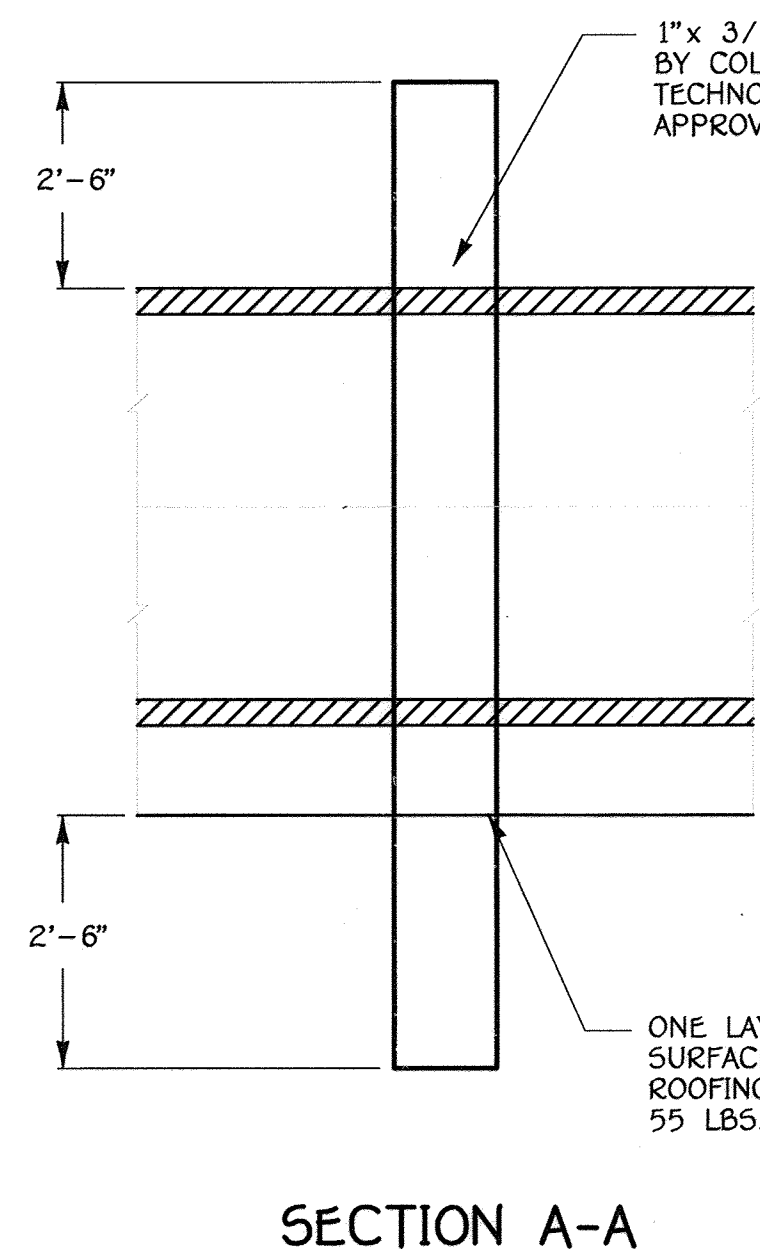
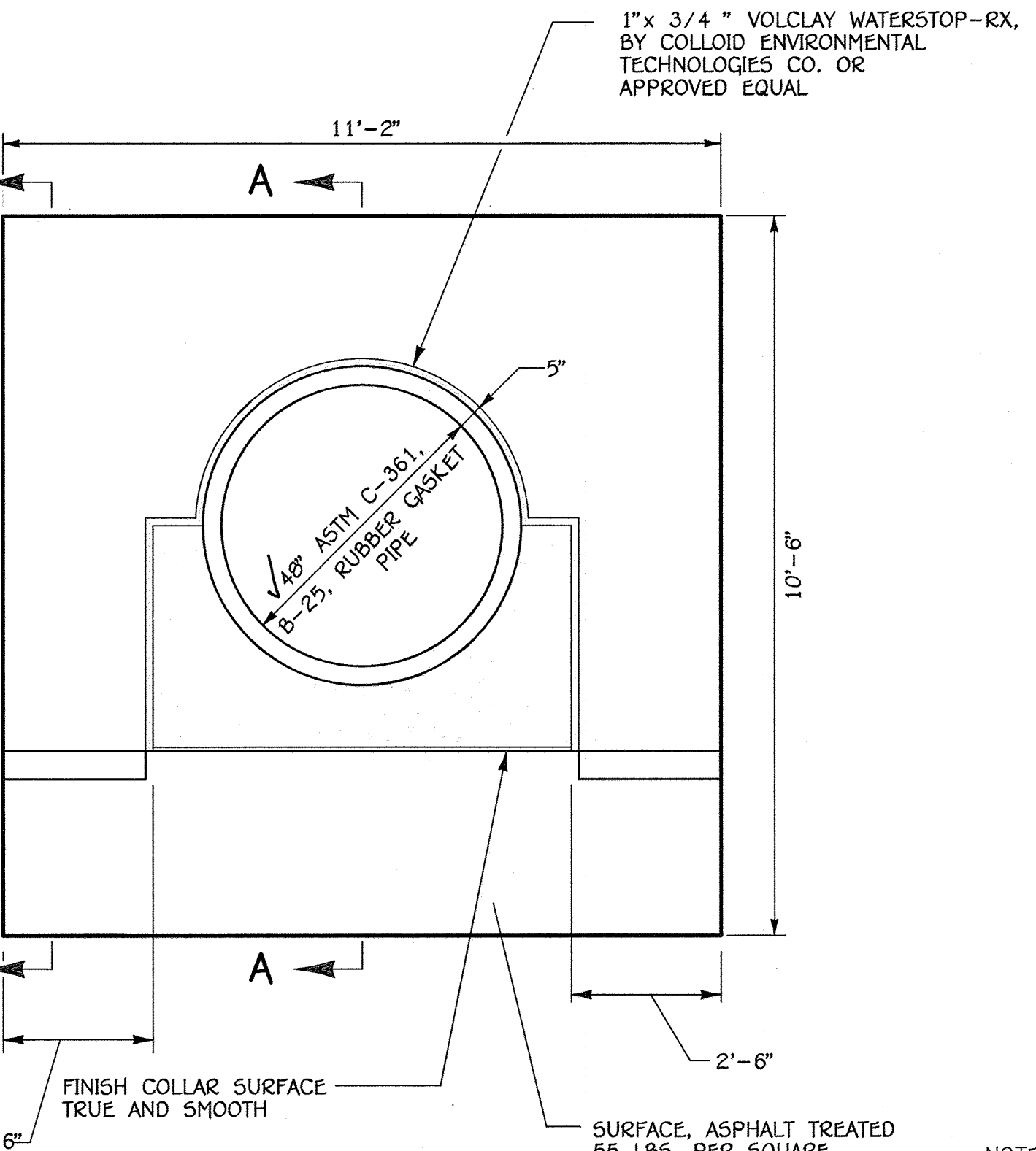
B.M.P. No. 2 - STORMWATER MANAGEMENT NOTES AND DETAILS

AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASE II, TRV U LOT 9, 12 THRU 39, 44 THRU 66, 88 THRU 108, 172 THRU 231 & 240 THRU 307
TOWNHOUSE & SINGLE FAMILY HOMES

ZONING: PSC
TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: DECEMBER, 2012
SHEET 60 OF 100

Signature: *[Signature]* Date: 11/16/12
Charles S. Cravo, Jr., 10, 19, 2004 Date: 11/16/12
REVISED

SDP-09-039



"AS-BUILT"

STORMWATER MANAGEMENT POND CONSTRUCTION SPECIFICATIONS

These specifications are applicable to all ponds within the scope of the Standard for practice MD-376. All references to ASTM and AASHTO specifications apply to the most recent version.

Site Preparation

Areas designated for borrow areas, embankment, and structural works shall be cleared, grubbed and stripped of topsoil. All trees, vegetation, roots and other objectionable material shall be removed. Channel banks and sharp breaks shall be cleared to a maximum of 12 inches. All trees shall be cleared and grubbed within 15 feet of the toe of the embankment.

Areas to be covered by the reservoir will be cleared of all trees, brush, logs, fences, rubbish and other objectionable material unless otherwise designated on the plans. Trees, brush and stumps shall be cut approximately level with the ground surface. For dry stormwater management ponds, a minimum of a 25-foot radius around the inlet structure shall be cleared.

All cleared and grubbed material shall be disposed of outside and below the limits of the dam and reservoir as directed by the owner or his representative. When specified, a sufficient quantity of topsoil will be stockpiled in a suitable location for use on the embankment and other designated areas.

EARTH FILL

Material - The fill material shall be taken from approved designated borrow areas. It shall be free of roots, stumps, wood, rubbish, stones greater than 6" across or other objectionable material. Fill material for the center of the embankment, and cut off trench shall conform to Unified Soil Classification CC, SC, CL or CL and must have at least 30% passing the #200 sieve. Consideration may be given to the use of other materials in the embankment if designed by a geotechnical engineer. Such special design must have construction supervised by a geotechnical engineer. Materials used in the outer shell of the embankment must have the capability to support vegetation of the quality required to prevent erosion of the embankment.

Placement - Areas on which fill is to be placed shall be scarified prior to placement of fill. Fill material shall be placed in maximum 6-inch thick (before compaction) layers which shall be the entire length of the fill. The most permeable borrow material shall be placed in the downstream portions of the embankment. The principal spigot shall be installed concurrently with fill placement and not excavated into the embankment.

Compaction - The movement of the hauling and spreading equipment over the fill shall be controlled so that the entire surface of each lift shall be traversed by not less than one track of heavy equipment or compaction shall be addressed by a minimum of four complete passes of a sheepsfoot, rubber tired or vibratory roller. Fill material shall contain sufficient moisture such that the required degree of compaction will be obtained with the equipment used. The fill material shall contain sufficient moisture so that if formed into a ball it will not crumble, yet not so wet that water can be squeezed out.

When required by the reviewing agency the minimum required density shall not be less than 95% of maximum dry density with a moisture content within +/-2% of the optimum. Each layer of fill shall be compacted as necessary to obtain that density, and is to be certified by the engineer at the time of construction. All compaction is to be determined by AASHTO Method T-99 (Standard Proctor).

Cut Off Trench - The cut-off trench shall be excavated into impervious material along or parallel to the centerline of the embankment as shown on the plans. The bottom width of the trench shall be governed by the equipment used for excavation with the minimum width being four feet. The depth shall be at least four feet below existing grade or as shown on the plans. The side slopes of the trench shall be 1 to 1 or flatter. The backfill shall be compacted with construction equipment, rollers, or hand tampers to assure maximum density and minimum permeability.

Embankment Core - The core shall be parallel to the centerline of the embankment as shown on the plans. The top width of the core shall be a minimum of four feet. The height shall extend to at least the 10 year water elevation or as shown on the plans. The side slopes shall be 1 to 1 or flatter. The core shall be compacted with construction equipment, rollers, or hand tampers to assure maximum density and minimum permeability. In addition to the core shall be placed concurrently with the outer shell of the embankment.

Structure Backfill

Backfill adjacent to pipes or structures shall be of the type and quality conforming to that specified for the adjoining fill material. The fill shall be placed in horizontal layers not to exceed four inches in thickness and completed by hand tampers or other manually directed compaction equipment. The material needs to fill completely all spaces under and adjacent to the pipe. At no time during the backfilling operation shall driven equipment be allowed to operate closer than four feet, measured horizontally, to any part of a structure. Under no circumstances shall equipment be driven over any part of a concrete structure or pipe, unless there is a completed fill of 24" or greater over the structure or pipe.

Structure backfill may be flowable fill meeting the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 33 as modified. The mixture shall have a 100-200 psi, 28 day unconfined compressive strength. The flowable fill shall have a minimum of 40 and a maximum of 100 mesh, 2000 0/30mm. Material shall be placed such that a minimum of 6" measured perpendicular to the outside of the pipe of flowable fill shall be under bedding, over and on the sides of the pipe. Care needs to be taken to ensure proper flow for rigid conduits. Average slump of the fill shall be 7" to assure flowability of the material. Adequate measures shall be taken (e.g. burlap, etc.) to prevent flattening the pipe. When using flowable fill, all metal pipe shall be bituminous coated. Any adjoining soil fill shall be placed in horizontal layers not to exceed four inches in thickness and completed by hand tampers or other manually directed compaction equipment. The material shall completely fill all voids adjacent to the flowable fill zone. At no time during the backfilling operation shall driven equipment be allowed to operate closer than four feet, measured horizontally, to any part of a structure or pipe unless there is a completed fill of 24" or greater over the structure or pipe. Backfill material outside the structural backfill (flowable fill) zone shall be of the type and quality conforming to the specified for the core of the embankment or other embankment materials.

Pipe Conduits

All pipes shall be circular in cross section.

Corrugated Metal Pipe - All of the following criteria shall apply for corrugated metal pipe:

- Materials - Polymer coated steel pipe - Steel pipes with polymeric coatings shall have a minimum coating thickness of 0.08 inch dry mil on both sides of the pipe. The pipe and its appurtenances shall conform to the requirements of AASHTO Specifications M-245 & M-246 with water tight coupling bands or flanges.
- Materials - Aluminum Coated Steel Pipe - This pipe and its appurtenances shall conform to the requirements of AASHTO Specification M-274 with water tight coupling bands or flanges. Aluminum Coated Steel Pipe, when used with flowable fill or when soil and/or water conditions warrant the need for increased durability, shall be fully bituminous coated per requirements of AASHTO Specification M-190 Type A. Any aluminum coating damaged or otherwise removed shall be replaced with cold applied bituminous coating compound. Aluminum surfaces that are to be in contact with concrete shall be painted with one coat of zinc chromate primer or two coats of asphalt.
- Connections - All connections with pipes must be completely watertight. The drain pipe or barrel connection to the riser shall be welded all around when the pipe and riser are metal. Anti-seep collars shall be connected to the pipe in such a manner as to be completely watertight. Dimple bands are not considered to be watertight.

All connections shall use a rubber or neoprene gasket when joining pipe sections. The end of each pipe shall be provided an adequate number of corrugations to accommodate the bandwidth. The following pipe connections are acceptable for pipes less than 24-inches in diameter: flanges on both ends of the pipe with a circular 3/8 inch closed cell neoprene gasket, prepared to the flange bolt circle, sandwiched between adjacent flanges; a 12-inch wide standard lip type band with 12-inch wide by 3/8-inch thick closed cell circular neoprene gasket and a 12-inch wide hanger type band with o-ring gaskets having a minimum diameter of 1/2-inch greater than the corrugation depth. Pipes 24-inches in diameter and larger shall be connected by a 24-inch long annular corrugated band using a minimum of 4 four rods and nuts, 2 on each connecting pipe end. A 24-inch wide by 3/8-inch thick closed cell circular neoprene gasket will be installed with 12-inches on the end of each pipe. Flanged joints with 3/8-inch closed cell gaskets the full width of the flange is also acceptable. Helically corrugated pipe shall have either continuous welded seams or have lock seams with internal caulking or a neoprene bed.

4. Bedding - The pipe shall be firmly and uniformly bedded throughout its entire length. Where rock or soft, spongy or other unstable soil is encountered, all such material shall be removed and replaced with suitable earth compacted to provide for adequate support.

5. Backfilling shall conform to "Structure Backfill".

6. Other details (anti-seep collars, valves, etc.) shall be as shown on the drawings.

Reinforced Concrete Pipe - All of the following criteria shall apply for reinforced concrete pipe:

- Materials - Reinforced concrete pipe shall have bell and spigot joints with rubber gaskets and shall equal or exceed ASTM C-361.
- Bedding - Reinforced concrete pipe conduits shall be laid in a concrete bedding/grade for their entire length. The bedding/grade shall consist of high strength concrete placed under the pipe and on the sides of the pipe at least 4" of its outside diameter with a minimum thickness of 6 inches. Where a concrete grade is not needed for structural reasons, flowable fill may be used as specified in the "Structure Backfill" section of this standard. Gravel bedding is not permitted.
- Laying pipe - Bell and spigot pipe shall be placed with the bell end upstream. Joints shall be made in accordance with recommendations of the manufacturer of the material. After the joints are sealed for the entire length the bedding shall be placed so that all spaces under the pipe are filled. Care shall be exercised to prevent any deviation from the original line and grade of the pipe. The first joint must be located within 4 feet from the riser.
- Backfilling shall conform to "Structure Backfill".
- Other details (anti-seep collars, valves, etc.) shall be as shown on the drawings.

Plastic Pipe

The following criteria shall apply for plastic pipe:

- Materials - PVC pipe shall be PVC-1220 or PVC-1220 conforming to ASTM D-1785 or ASTM D-2224. Corrugated high density polyethylene (HDPE) pipe, coating and fittings shall conform to the following 4" - 10" inch pipe shall meet the requirements of AASHTO M224 Type 5 and 12" through 24" inch shall meet the requirements of AASHTO M224 Type 5.
- Joints and connections to anti-seep collars shall be completely watertight.
- Bedding - The pipe shall be firmly and uniformly bedded throughout its entire length. Where rock or soft, spongy or other unstable soil is encountered, all such material shall be removed and replaced with suitable earth compacted to provide adequate support.
- Backfilling shall conform to "Structure Backfill".
- Other details (anti-seep collars, valves, etc.) shall be as shown on the drawings.

Concrete

Concrete shall meet the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 414, Mix No. 3.

Rock Riprap

Rock riprap shall meet the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 311.

Care of Water during Construction

All work on permanent structures shall be carried out in areas free from water. The contractor shall construct and maintain all temporary dikes, levees, cofferdams, drainage channels, and stream diversions necessary to protect the areas to be occupied by the permanent works. The contractor shall also furnish, install, operate, and maintain all necessary pumping and other equipment required for removal of water from various parts of the work and for maintaining the excavations, foundation and other parts of the work free from water as required or directed by the engineer for constructing each part of the work. After having served their purpose, all temporary protective works shall be removed or broken and graded to the extent required to prevent obstruction in any degree whatsoever of the flow of water to the outlet or to the extent that it does not interfere in any way with the operation or maintenance of the structure. Stream diversions shall be maintained until the full flow can be passed through the permanent works. The removal of water from the excavation and the foundation shall be accomplished in a manner and to the extent that will maintain stability of the excavated slopes and bottom required excavations and will allow satisfactory performance of all construction operations. During the piling and compacting of material in required excavations, the water level at the locations being relied shall be maintained below the bottom of the excavation at such locations which may require draining the water sumps from which the water shall be pumped.

Stabilization

All borrow areas shall be graded to provide proper drainage and left in a slightly condition. All exposed surfaces of embankment, roadway, and borrow areas, and berms shall be stabilized by seeding, liming, fertilizing and mulching in accordance with the National Resource Conservation Service standards and Specifications for Critical Area Planting 90D-342 or as shown on the accompanying drawings.

Erosion and Sediment Control

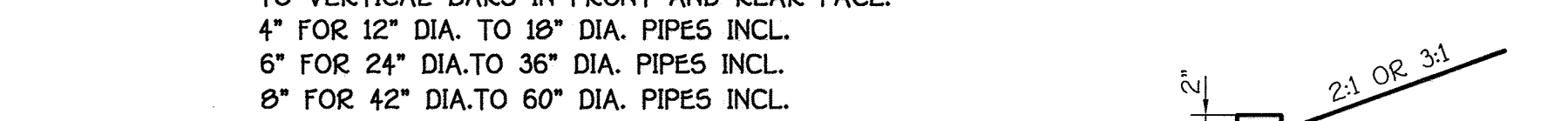
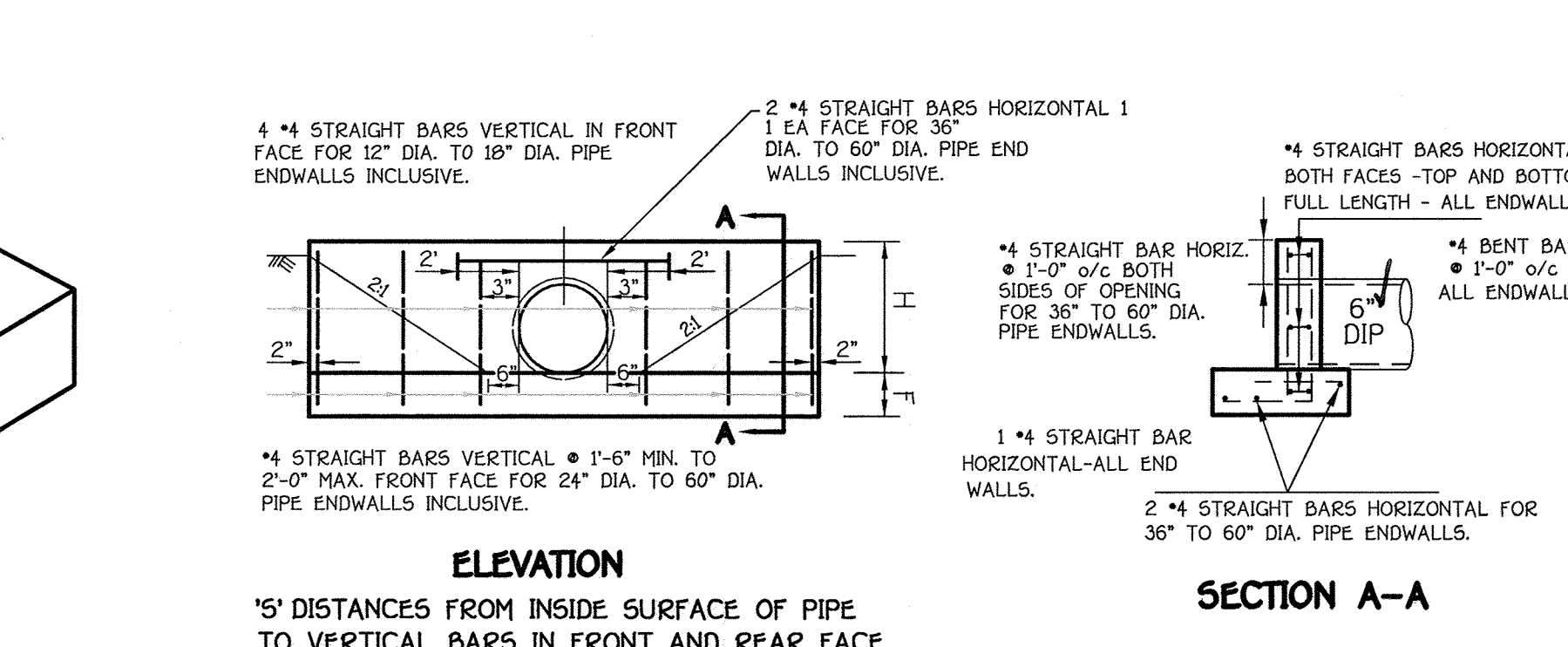
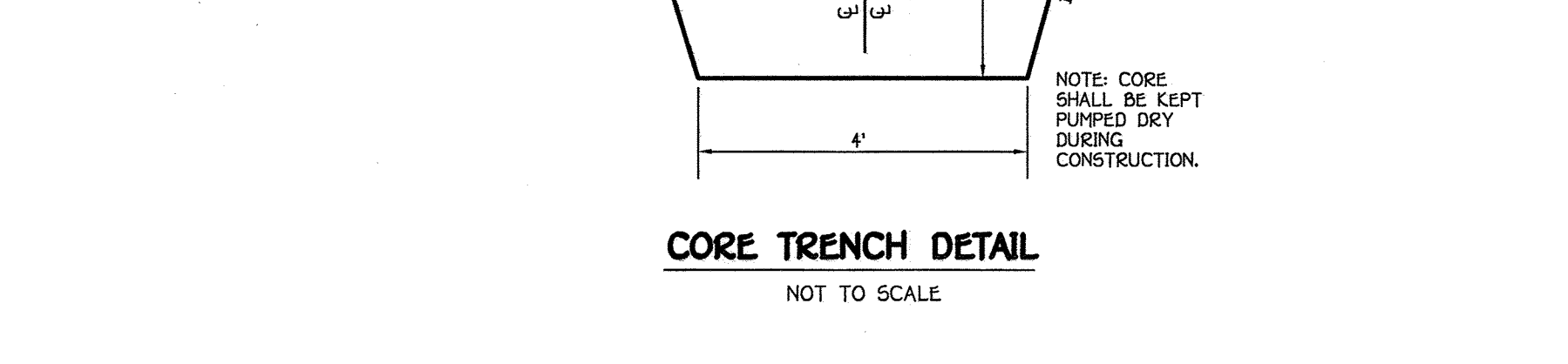
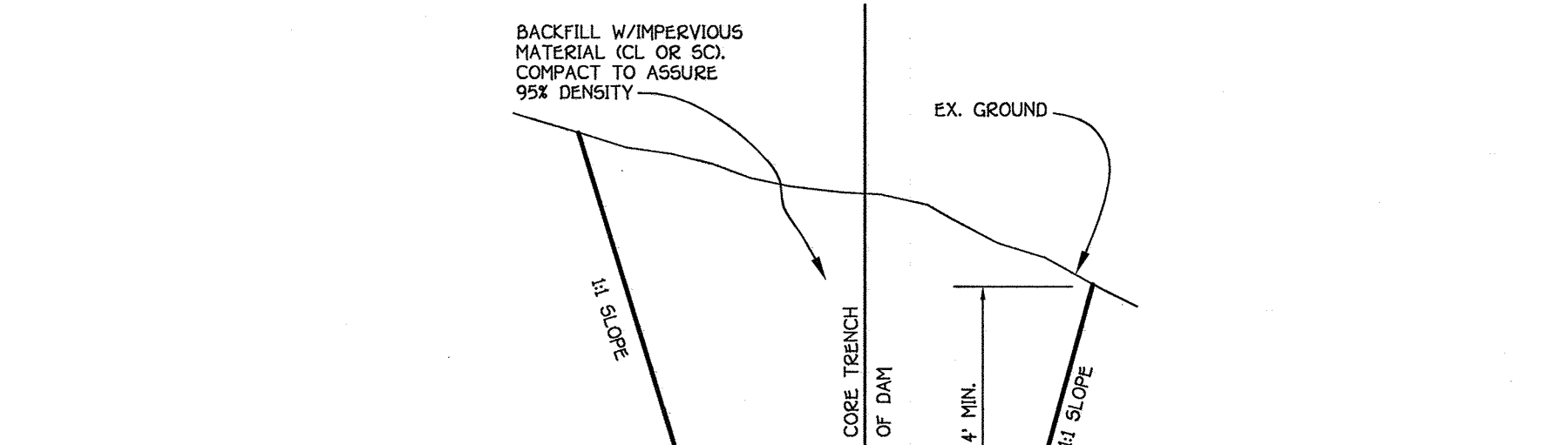
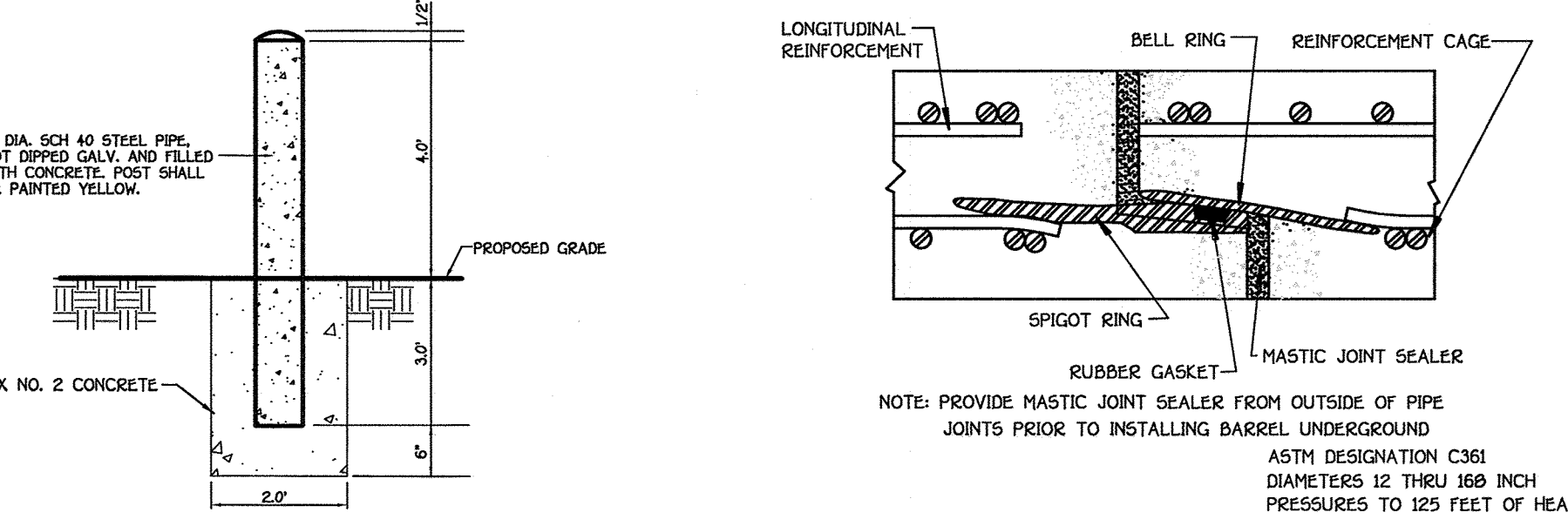
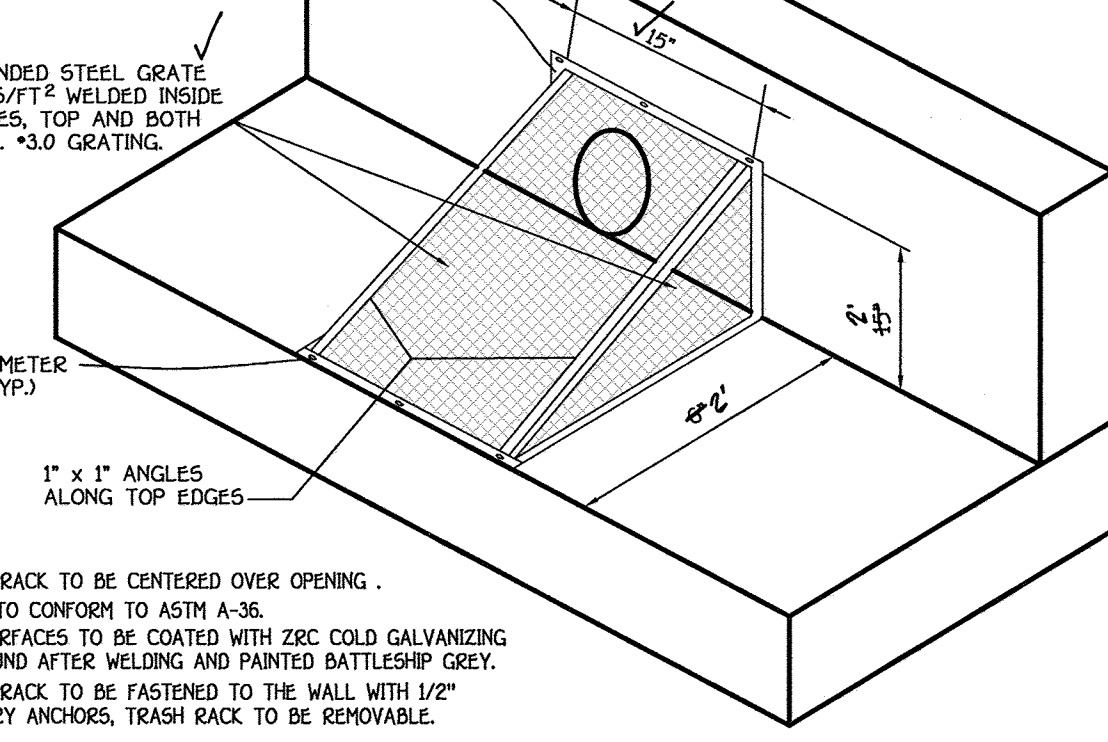
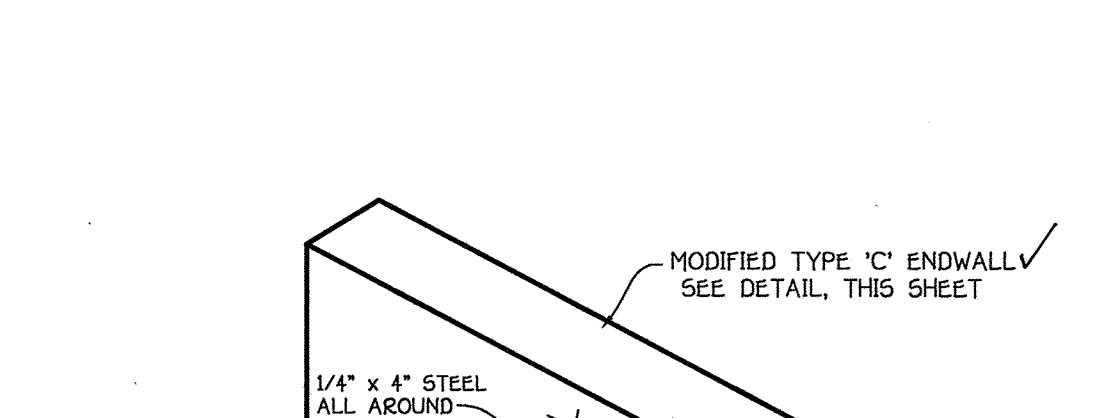
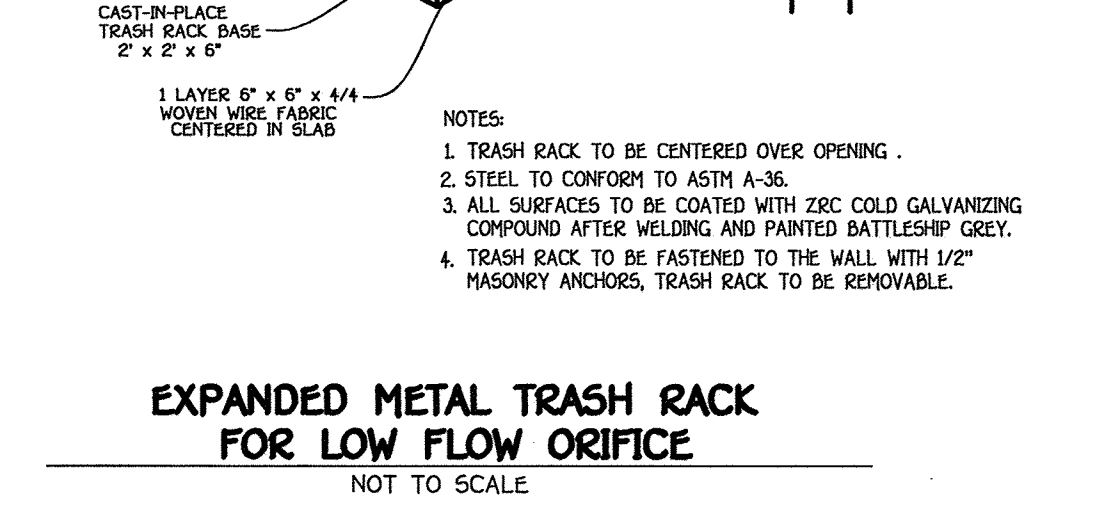
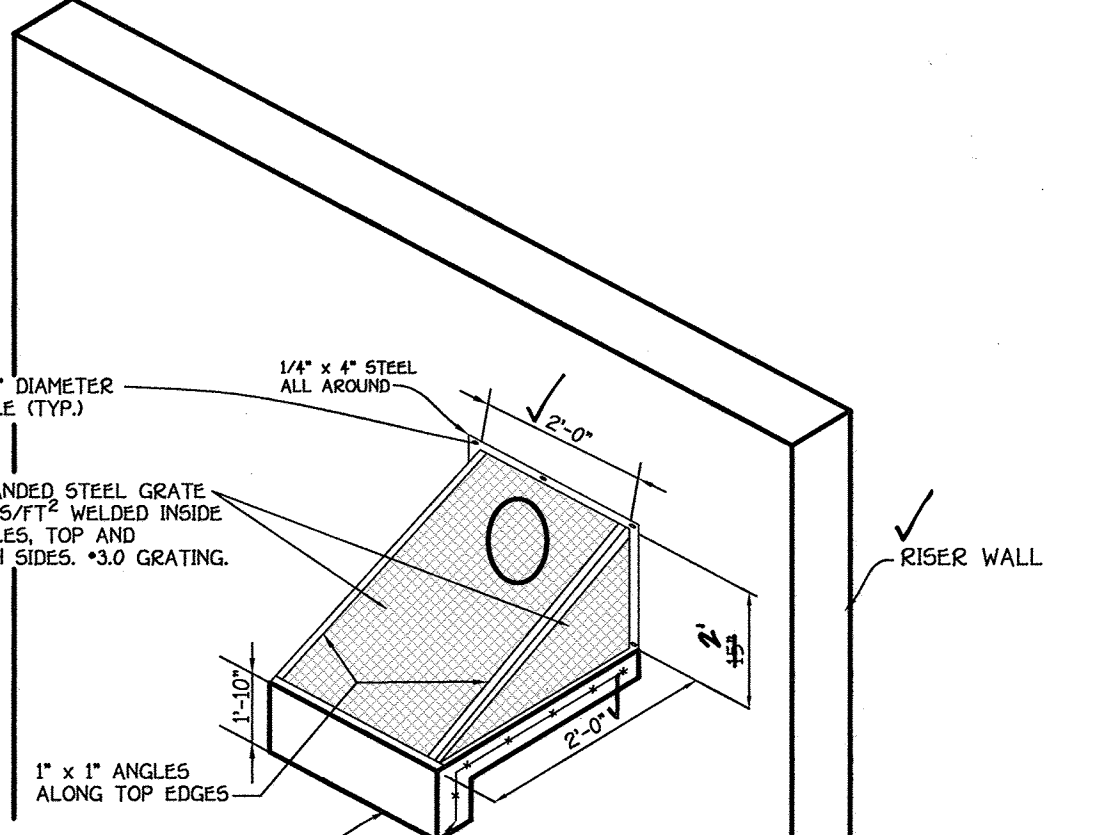
Construction operations will be carried out in such a manner that erosion will be controlled and water and air pollution minimized. State and local laws concerning pollution abatement will be followed. Construction shall detail erosion and sediment control measures.

OPERATION AND MAINTENANCE

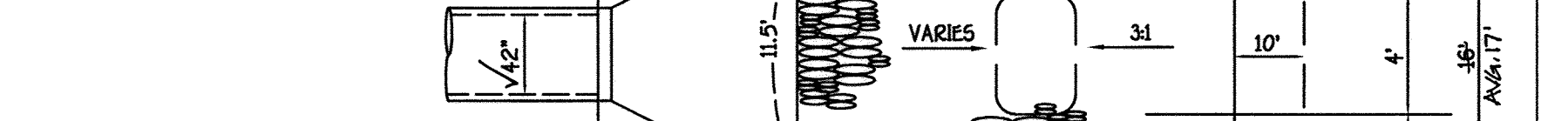
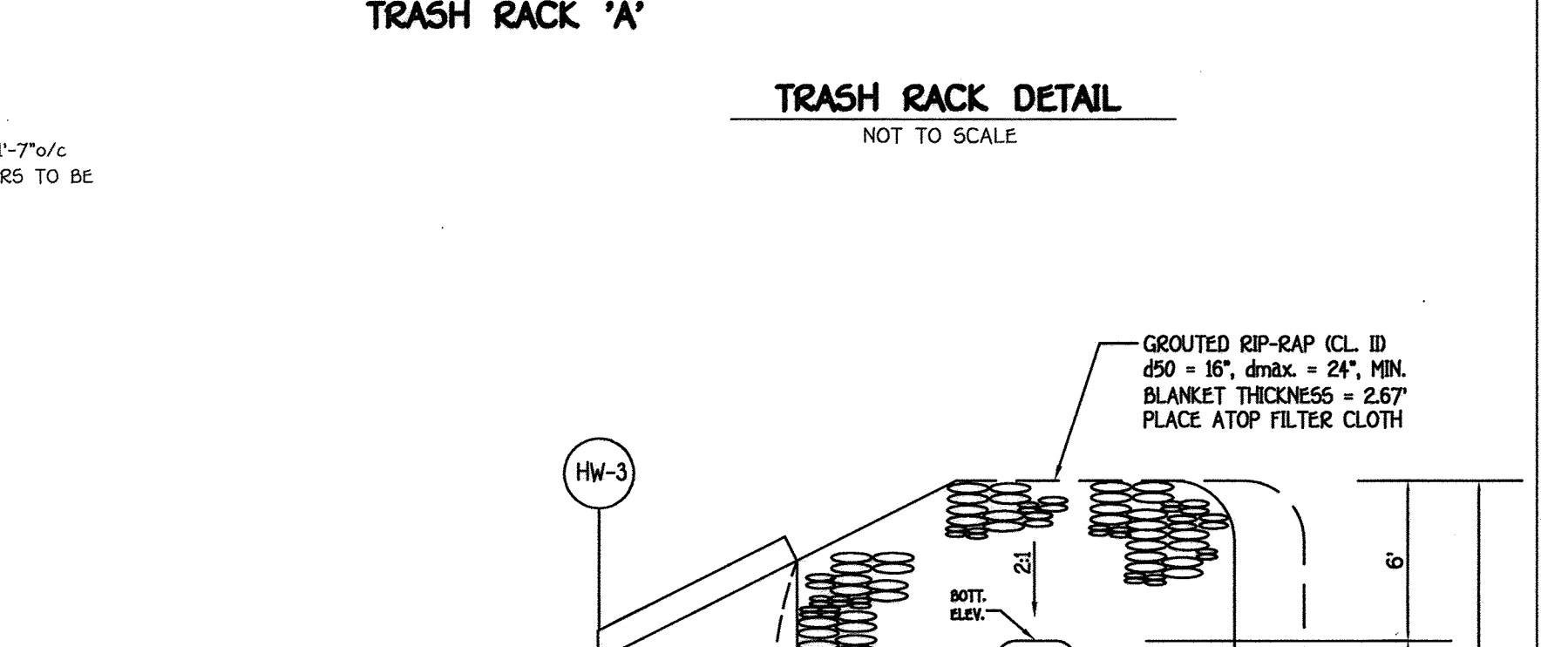
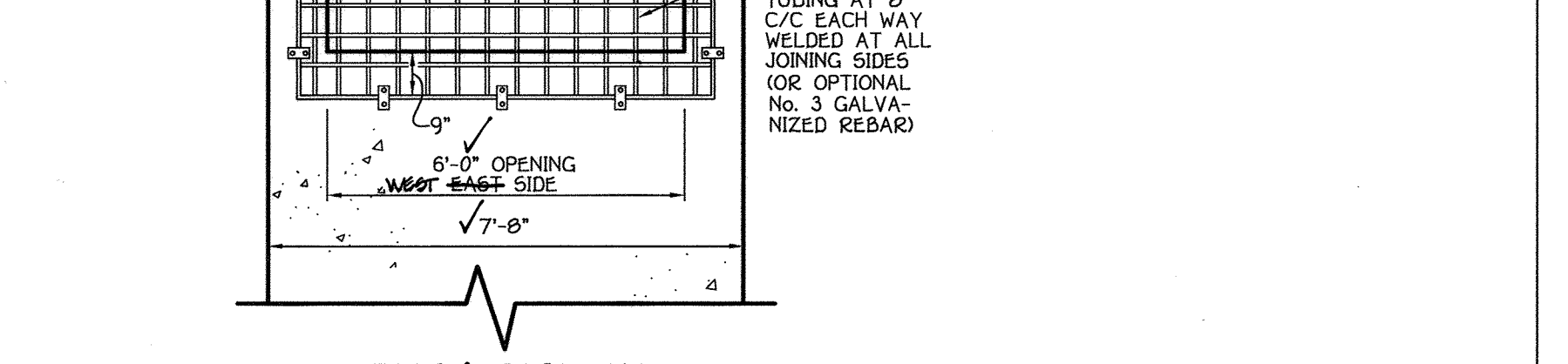
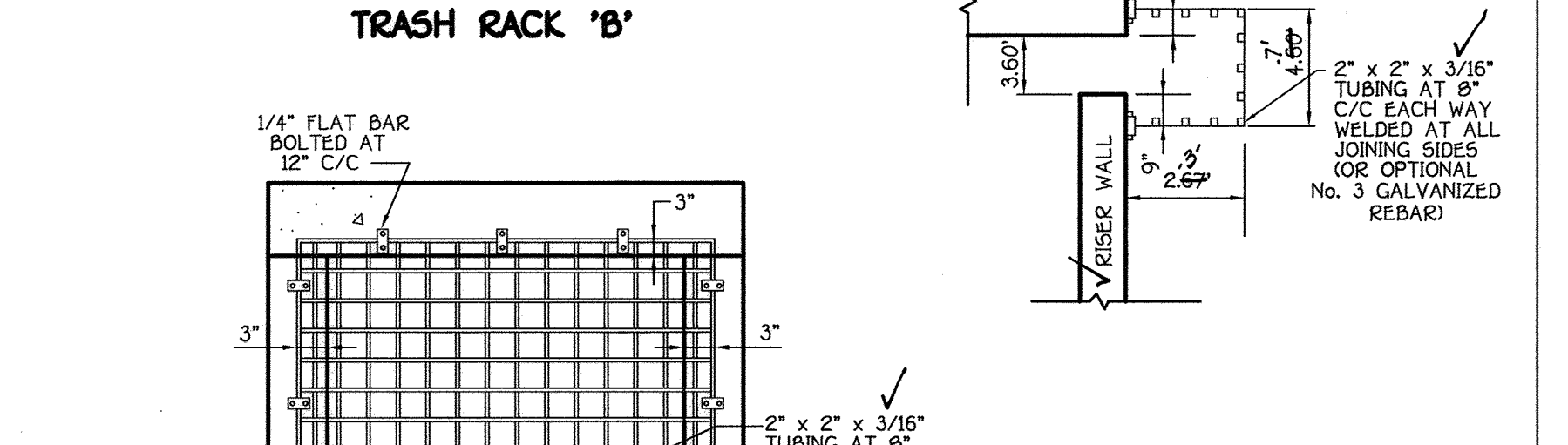
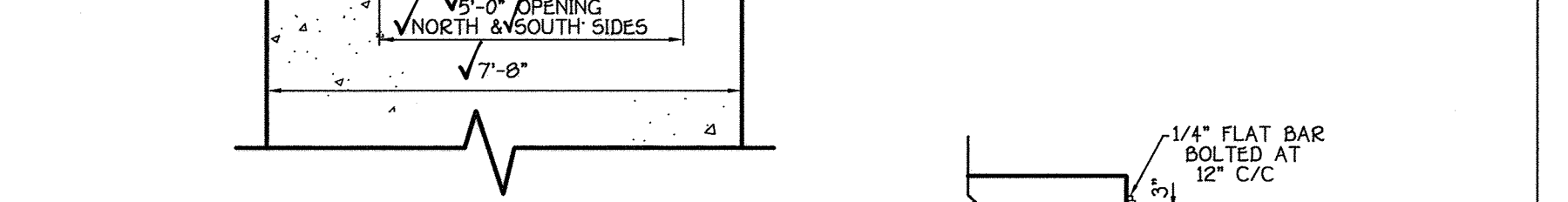
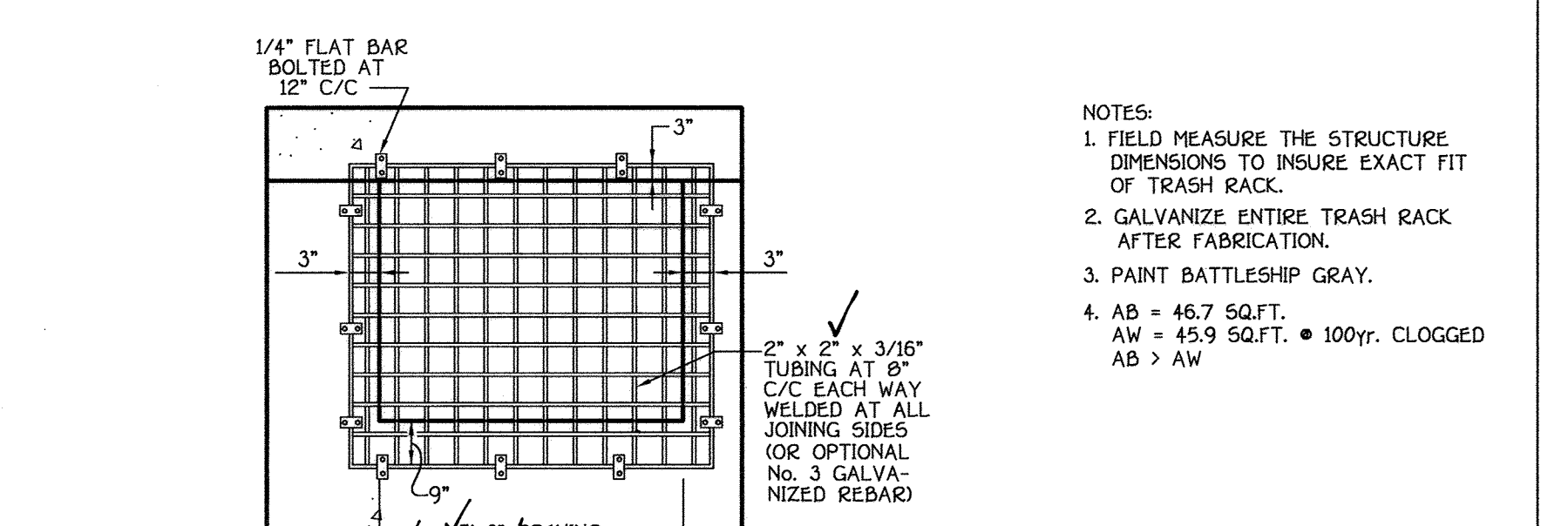
An operation and maintenance plan in accordance with Local or State Regulations will be prepared for all ponds. As a minimum, the dam inspection checklist located in Appendix A shall be included as part of the operation and maintenance plan and performed at least annually. Written records of maintenance and major repairs needs to be retained in a file. The issuance of a Maintenance and Repair Permit for any repairs or maintenance that involves the modification of the dam or safety from its original design and specifications is required. A permit is also required for any repairs or reconstruction that involve a substantial portion of the structure. All indicated repairs are to be made as soon as practical.

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND JOINTLY MAINTAINED STORMWATER MANAGEMENT FACILITIES

- ROUTINE MAINTENANCE**
- Facility shall be inspected annually and after major storms. Inspections shall be performed during wet weather to determine if the pond is functioning properly.
 - Top and side slopes of the embankment shall be mowed a minimum of two (2) times a year, once in June and once in September. Other side slopes and maintenance access should be mowed as needed.
 - Debris and litter shall be removed during regular mowing operations and as it is noticed.
- NON-ROUTINE MAINTENANCE**
- Structural components of the pond such as the dam, the riser, and the pipes shall be repaired upon the detection of any damage. The components shall be inspected during routine maintenance operations.
 - Sediment shall be removed from the pond, and forebay, no later than when the capacity of the pond or forebay, is half full of sediment, or, when deemed necessary for aesthetic reasons, upon approval from the Department of Public Works.



OPENINGS	DIMENSIONS	VOLUME	STEEL
D	A	CONC.	LBS.
IN.	SQ.FT.	C.Y.	
6"	0.79	9'	6"
6"	6"	6"	1'-9"
9"	1'-9"	9"	1'-6"
6"	5'-5"	0.61	30



REINFORCING: DEFORMED STEEL BARS (1/2" DIA.)
CHAMFER: ALL EXPOSED EDGES 1" x 1" OR AS DIRECTED.
CONC. SHALL BE S.H.A. A. MIX NO. 2.

AS-BUILT CERTIFICATION
I hereby certify, by my seal, that the facilities shown on this plan were constructed as shown on this "AS BUILT" plan meet the approved plans and specifications.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Chief, Division of Land Development
Chief, Development Engineering Division
Director - Department of Planning and Zoning

PROJECT	GTW'S WAVERLY WOODS	SECTION	14	PARCEL NO. 'E' PHASE 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100							
PLAT	SEE GENERAL NOTE #91	BLOCK NO.	3 & 4	ZONE	PSC	TAX/ZONE	16	ELEC. DIST.	THIRD	CENSUS TR.	60300
WATER CODE	K-02	SEWER CODE	5992000	ZONING	PSC	TAX MAP NO.	16	GRID NO.	3 & 4	PARCEL NO.	PART OF 249
											THIRD ELECTION DISTRICT - HOWARD COUNTY, MARYLAND
											DATE: 11/15/10
											SHEET 61 OF 100

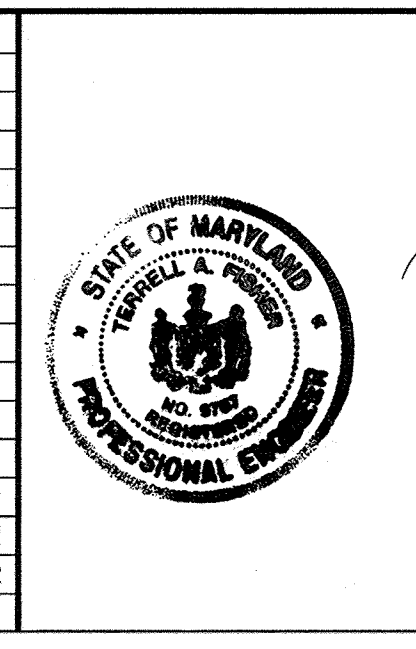
B.M.P. No. 3 - STORMWATER MANAGEMENT NOTES AND DETAILS

AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASE II, THRU V LOT 39, 44 THRU 48, 50 THRU 103, 172 THRU 231 & 240 THRU 309 TOWNHOUSES & SINGLE FAMILY HOMES

TAX MAP NO. 16 GRID NO. 3 & 4 PARCEL NO. PART OF 249
THIRD ELECTION DISTRICT - HOWARD COUNTY, MARYLAND
DATE: 11/15/10
SHEET 61 OF 100

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 BALDORNE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042
410.461.3905

3	REV. TO ADD FEE SIMPLE LOTS PER F-14-111 & ADD PHASE V TO 090-09-039	10/30/14
2	REV. TO ADD FEE SIMPLE LOTS PER F-10-101	12/17/13
1	NO. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
NO.	REVISION	DATE



DEVELOPER'S CERTIFICATE
"I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion. I Also Authorize Periodic On-Site Inspections By The Howard Soil Conservation District."

Signature of Developer: [Signature]
Date: 11/14/10

ENGINEER'S CERTIFICATE
"I Certify That This Plan For Pond Construction, Erosion And Sediment Control Represents A Practical And Workable Plan Based On My Personal Knowledge Of The Site Conditions. This Plan Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District. I Have Notified The Developer That He/She Must Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion."

Signature of Engineer: [Signature]
Date: 11/17/12

These Plans For Small Pond Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.

Signature of Howard SCD: [Signature]
Date: 11/15/10

BUILDERS

NV HOMES 6085 MARSHLEE DRIVE SUITE 130 ELK RIDGE, MD 21075 410-379-5956	RYAN HOMES 6085 MARSHLEE DRIVE SUITE 140 ELK RIDGE, MD 21075 410-379-5956
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DEVELOPER
WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLICOTT CITY, MARYLAND 21042
443-367-0422

OWNERS
WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLICOTT CITY, MARYLAND 21042
443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Signature of Howard SCD: [Signature]
Date: 11/15/10

Signature of Howard SCD: [Signature]
Date: 11/15/10

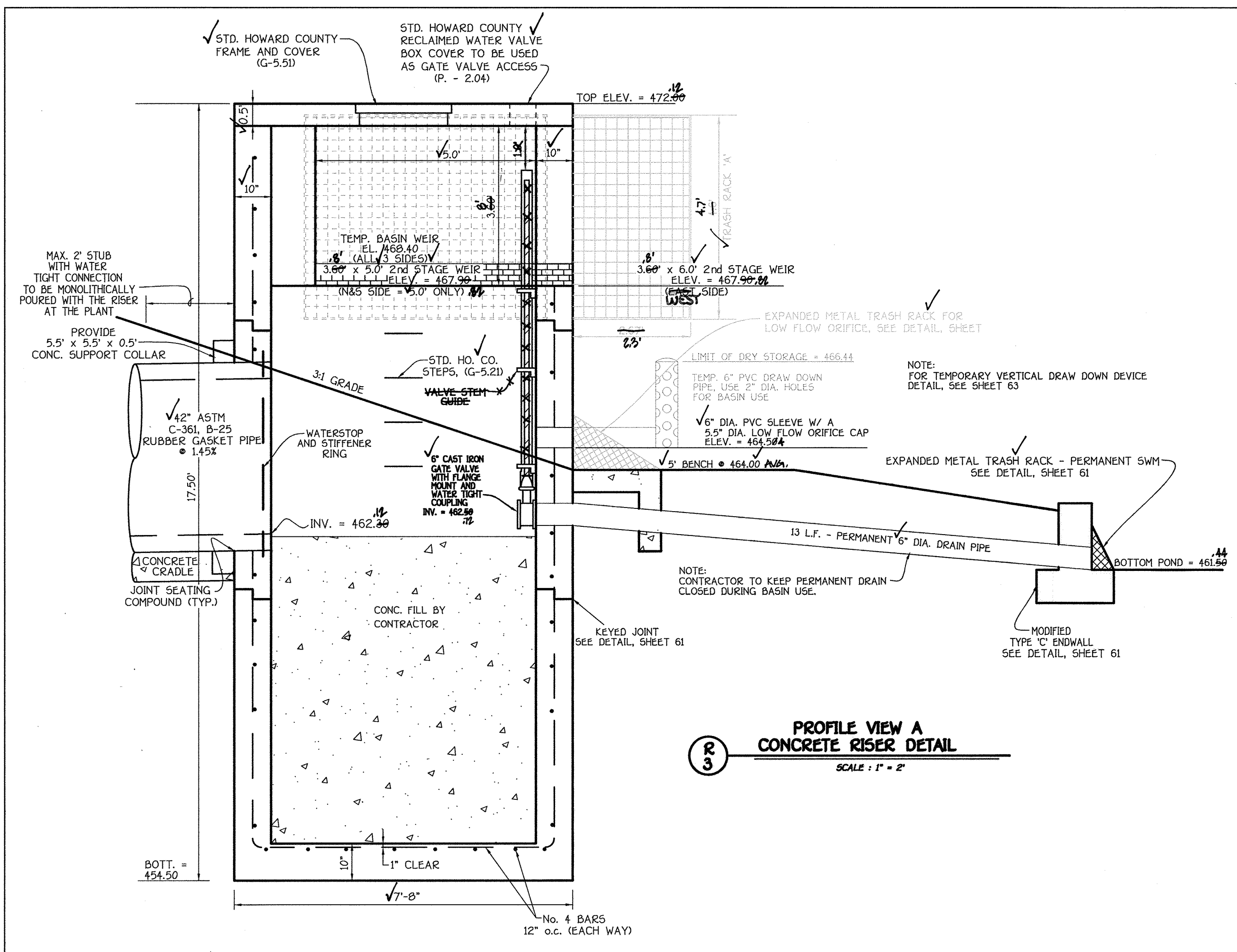
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B.M.P. No. 3 - STORMWATER MANAGEMENT NOTES AND DETAILS

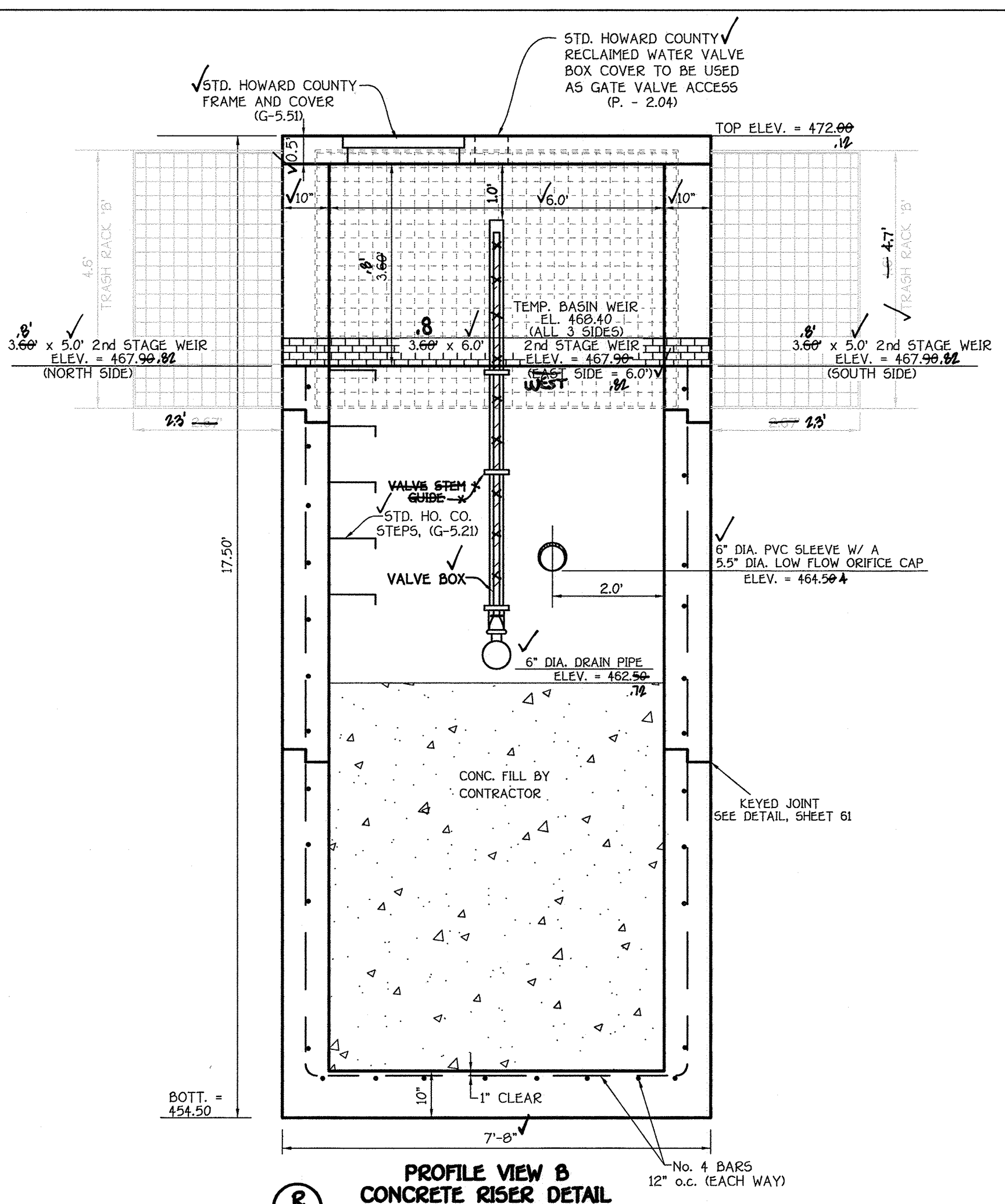
AGE RESTRICTED ADULT HOUSING
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TAX MAP NO. 16 GRID NO. 3 & 4 PARCEL NO. PART OF 249
THIRD ELECTION DISTRICT - HOWARD COUNTY, MARYLAND
DATE: 11/15/10
SHEET 61 OF 100

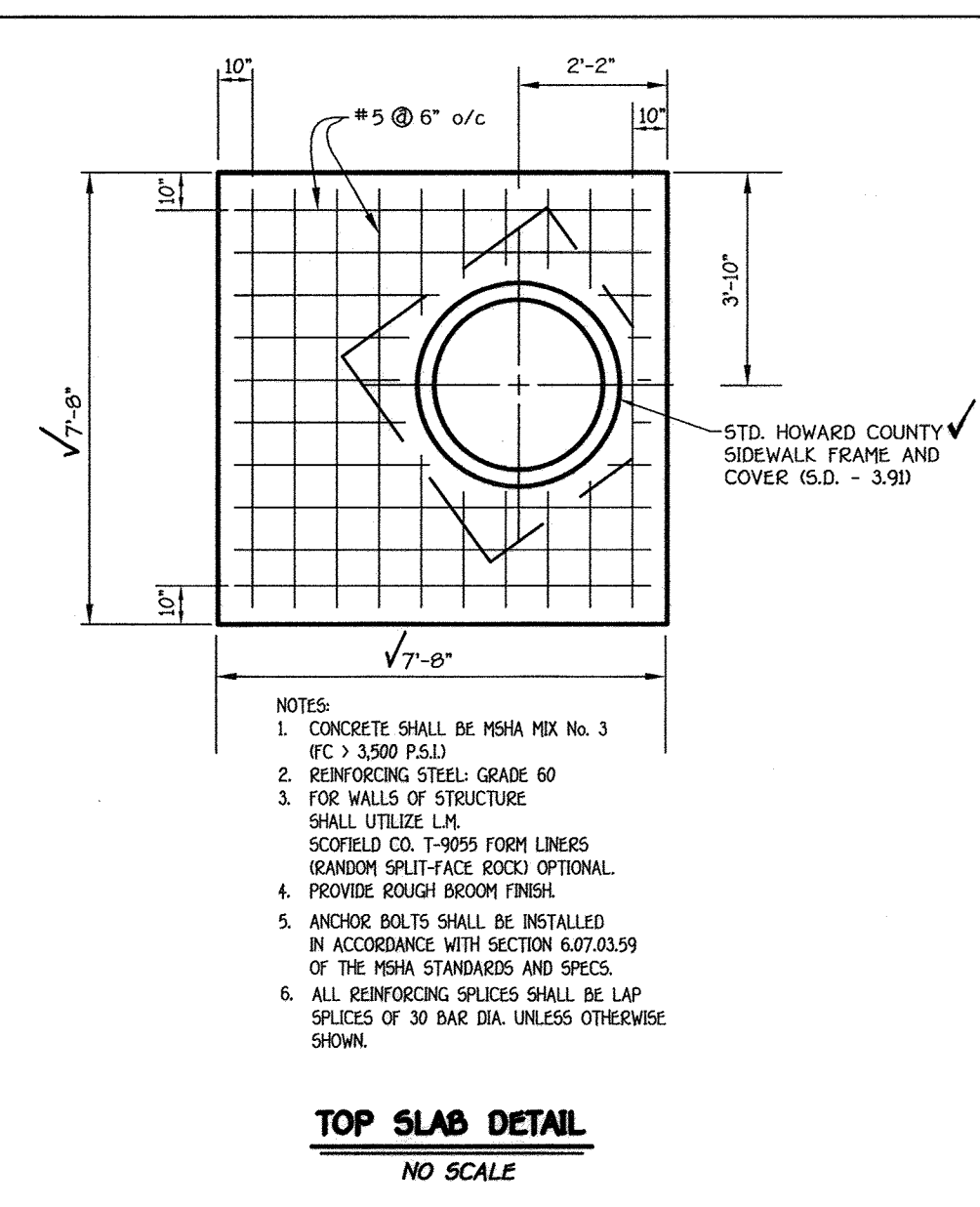
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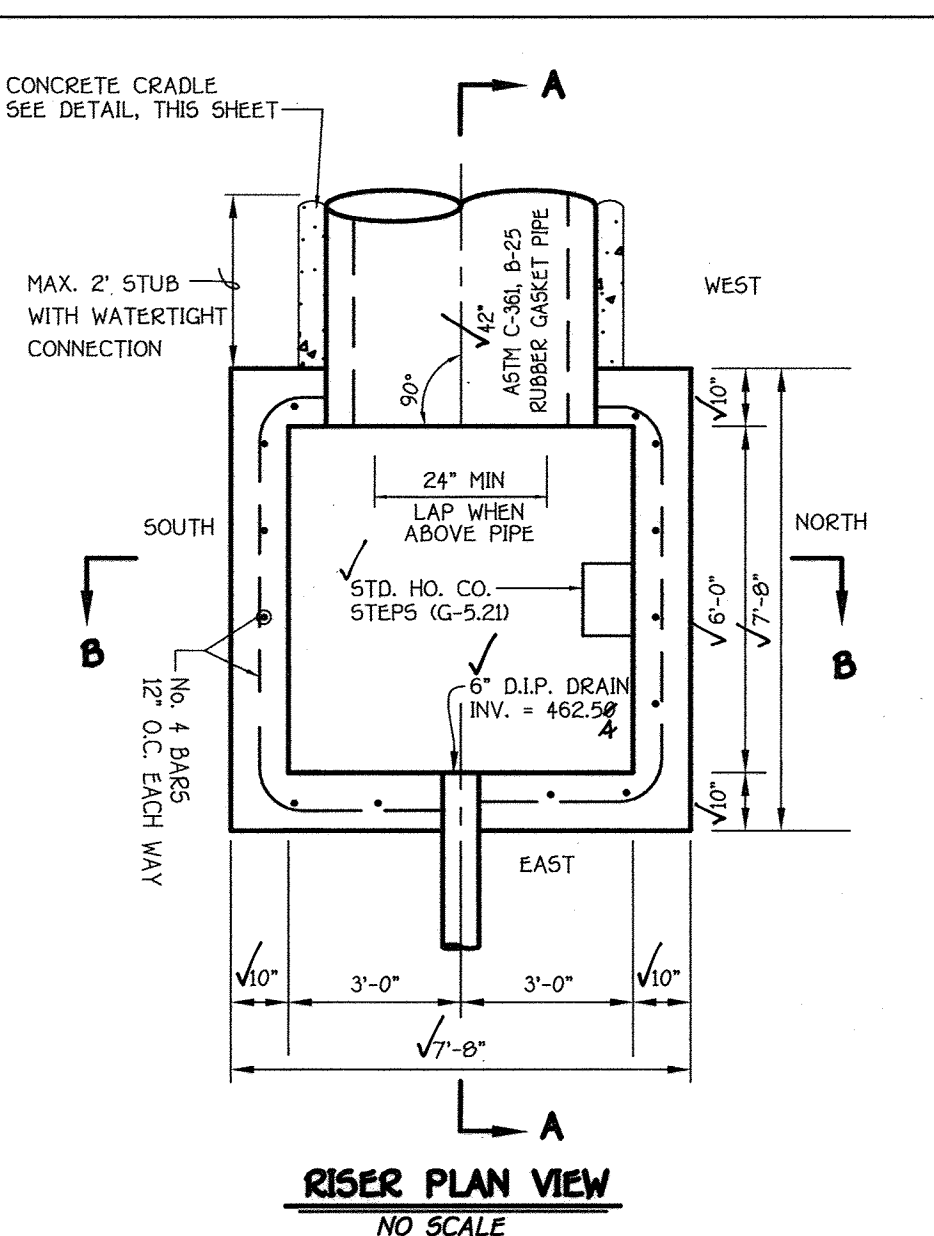
**PROFILE VIEW A
CONCRETE RISER DETAIL**
SCALE: 1" = 2'



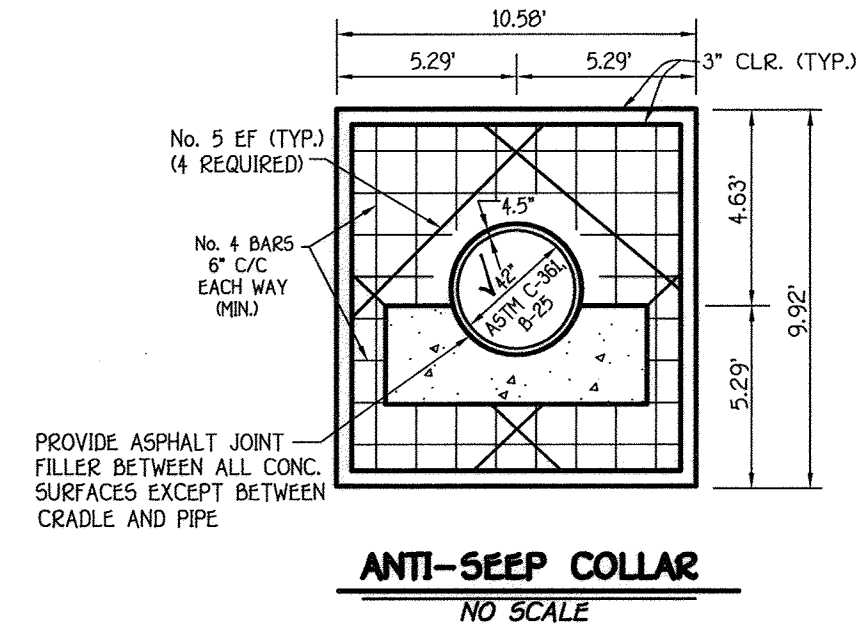
**PROFILE VIEW B
CONCRETE RISER DETAIL**
SCALE: 1" = 2'



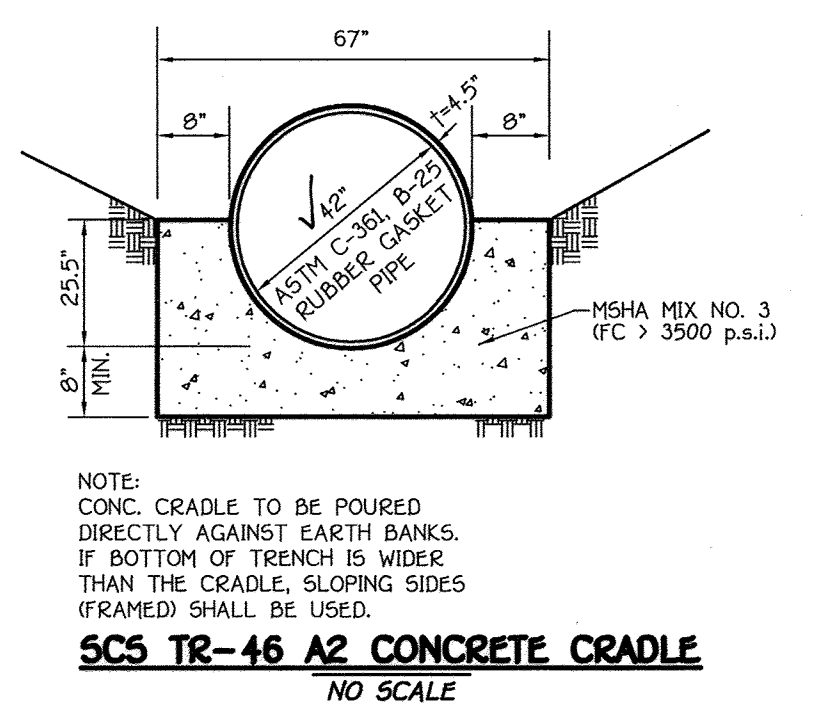
TOP SLAB DETAIL
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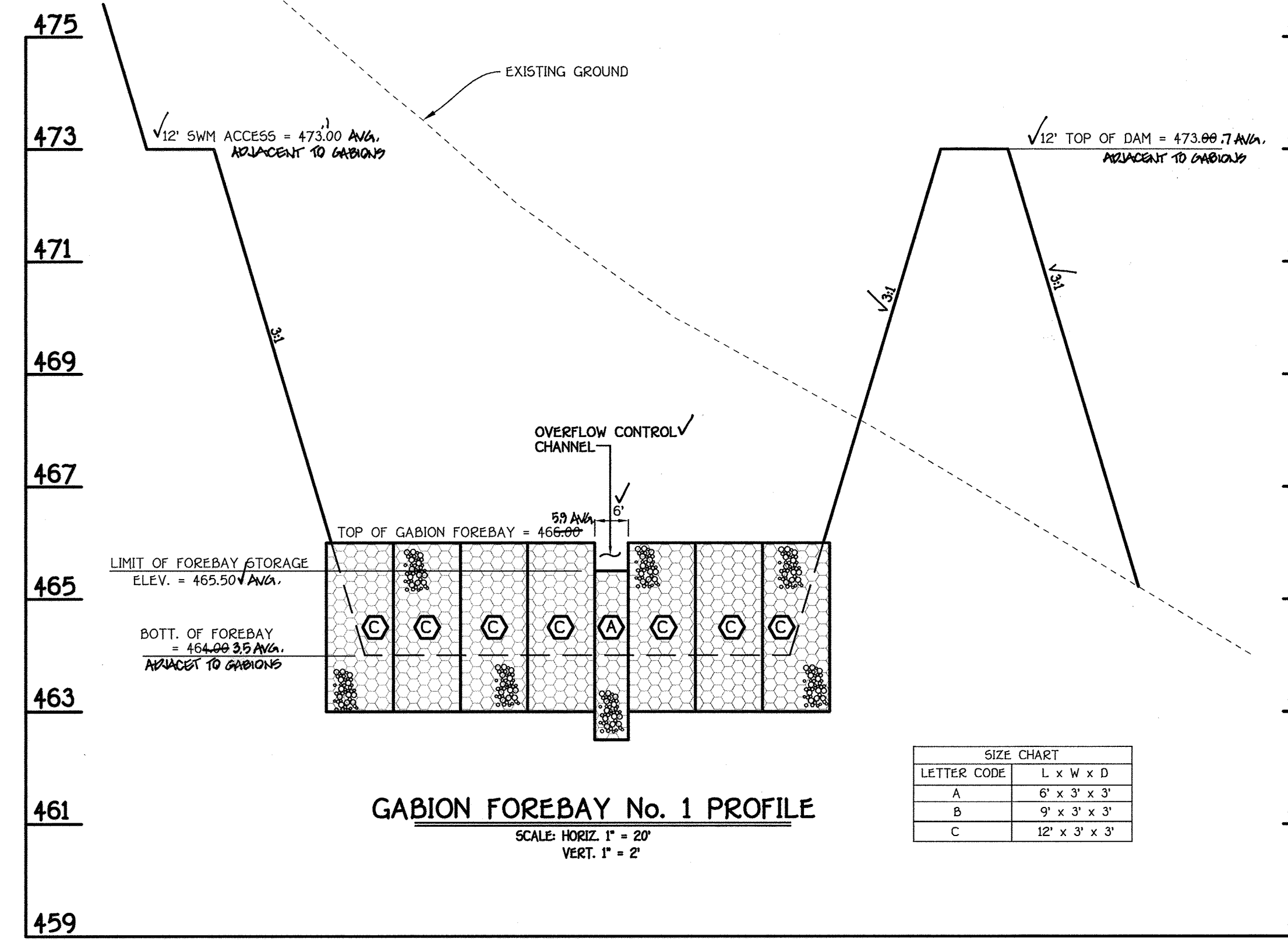
RISER PLAN VIEW
NO SCALE



ANTI-SEEP COLLAR
NO SCALE

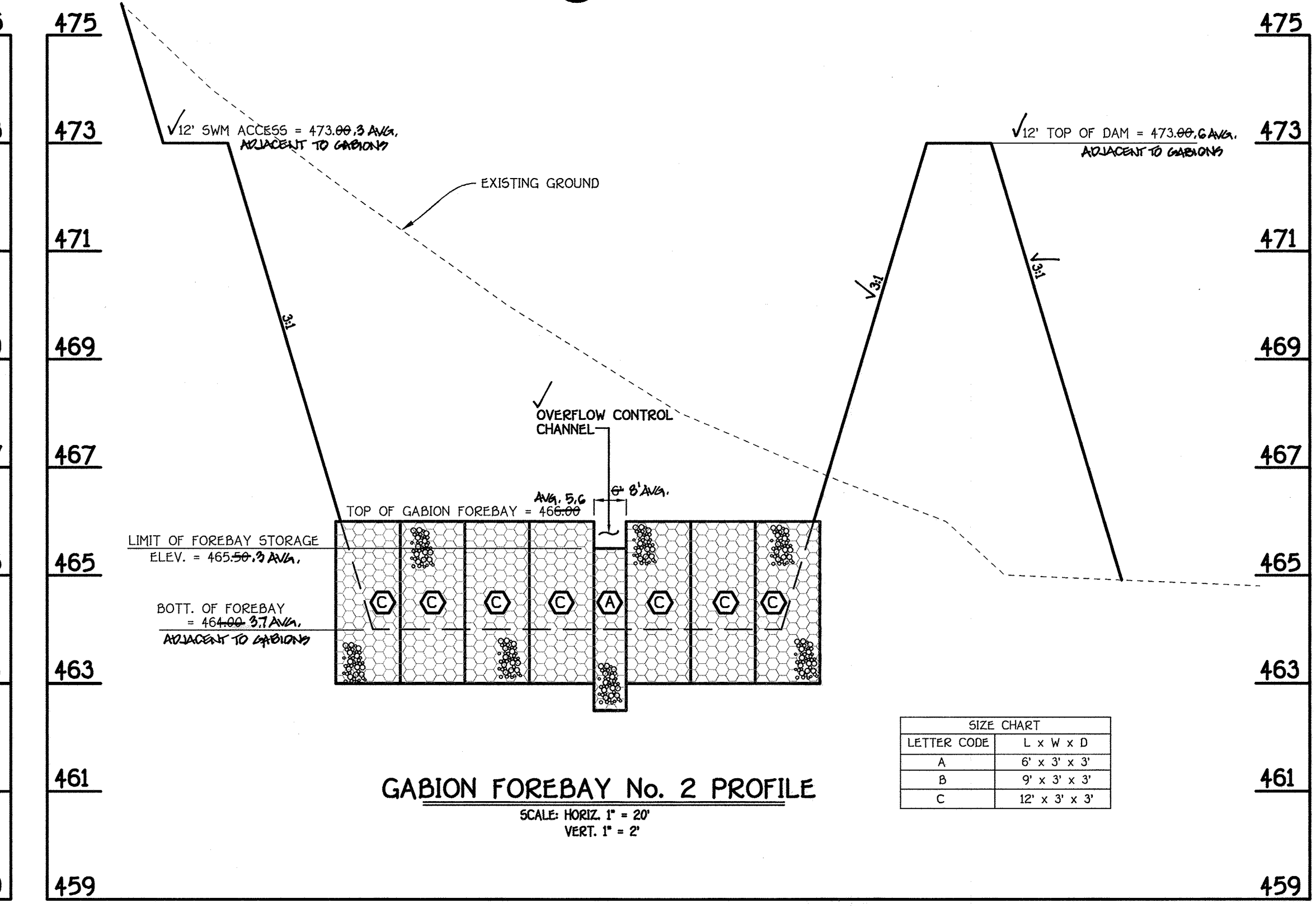


SCS TR-46 A2 CONCRETE CRADLE
NO SCALE



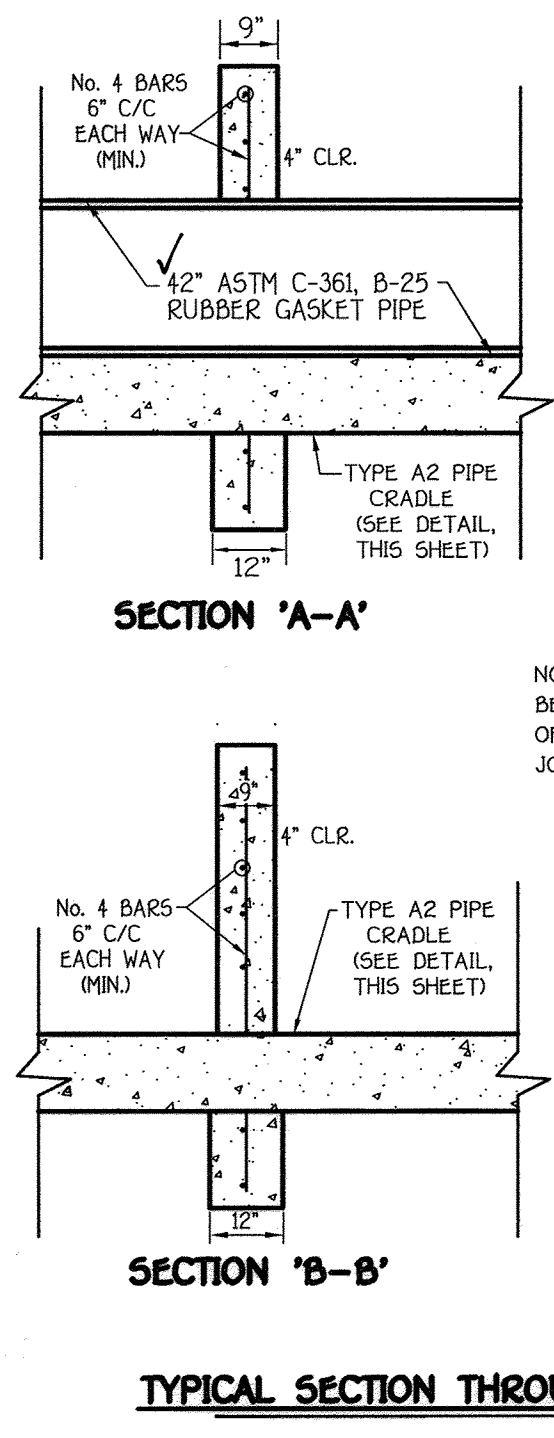
GABION FOREBAY No. 1 PROFILE
SCALE: HORIZ. 1" = 20'
VERT. 1" = 2'

LETTER CODE	L x W x D
A	6' x 3' x 3'
B	9' x 3' x 3'
C	12' x 3' x 3'

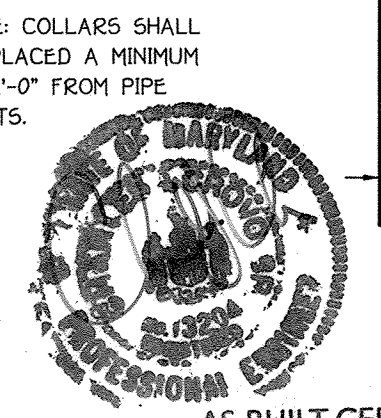


GABION FOREBAY No. 2 PROFILE
SCALE: HORIZ. 1" = 20'
VERT. 1" = 2'

LETTER CODE	L x W x D
A	6' x 3' x 3'
B	9' x 3' x 3'
C	12' x 3' x 3'



TYPICAL SECTION THROUGH BARREL CRADLE AND ANTI-SEEP COLLAR
NO SCALE



AS-BUILT CERTIFICATION
I hereby certify, by my seal, that the facilities shown on this plan were constructed as shown on this "AS BUILT" plan meet the approved plans and specifications.
Charles J. Crato, P.E., No. 19204 Date: 11/6/12

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042
410-462-2955

NO.	REVISION	DATE
3	REV. TO ADD SEE SAMPLE LOTS PER P-14-111 & ADD PHASE V TO APPROX. 0.5%	10/31/11
2	REV. TO ADD SEE SAMPLE LOTS PER P-12-101	12/17/10
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12

DEVELOPER'S CERTIFICATE
I/We Certify That All Development And/OR Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion. I Also Authorize Periodic On-Site Inspections By The Howard Soil Conservation District.
Signature Of Developer: [Signature] Date: 11/14/12

ENGINEER'S CERTIFICATE
I Certify That This Plan For Pond Construction, Erosion And Sediment Control Represents A Practical And Workable Plan Based On My Personal Knowledge Of The Site Conditions. This Plan Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District. I Have Notified The Developer That He/She Must Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion.
Signature Of Engineer: [Signature] Date: 11/14/12

These Plans For Small Pond Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.

BUILDERS
NV HOMES 6085 MARSHALLEE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-5956
RYAN HOMES 6085 MARSHALLEE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956

DEVELOPER
WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLICOTT CITY, MARYLAND 21042
410-367-0122

OWNERS
WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLICOTT CITY, MARYLAND 21042
410-367-0122

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development: [Signature] Date: 12/16/12
Chief, Development Engineering Division: [Signature] Date: 12/16/12
Director - Department of Planning and Zoning: [Signature] Date: 12/16/12

PROJECT
GTW'S WAVERLY WOODS SECTION 14

PARCEL NO. 'E'
PHASE II, THRU V LOTS 5, 12 THRU 30, 44 THRU 65, 80 THRU 105, 172 THRU 231 & 240 THRU 303 TOWNHOUSES & SINGLE FAMILY HOMES

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
SEE GENERAL NOTE #21	3 & 4	PSC	16	THIRD	60300

WATER CODE K-02
SEWER CODE 5992000

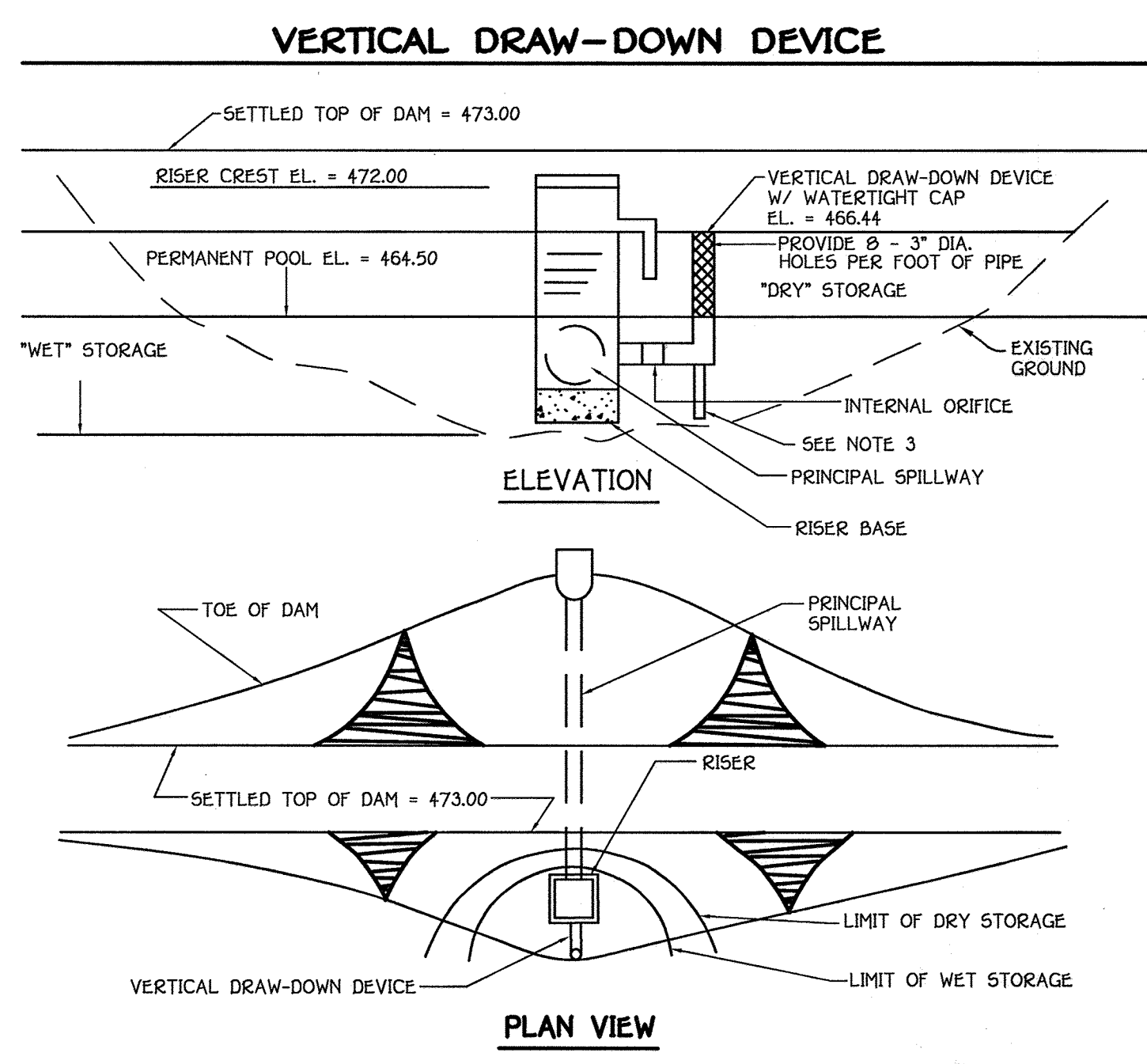
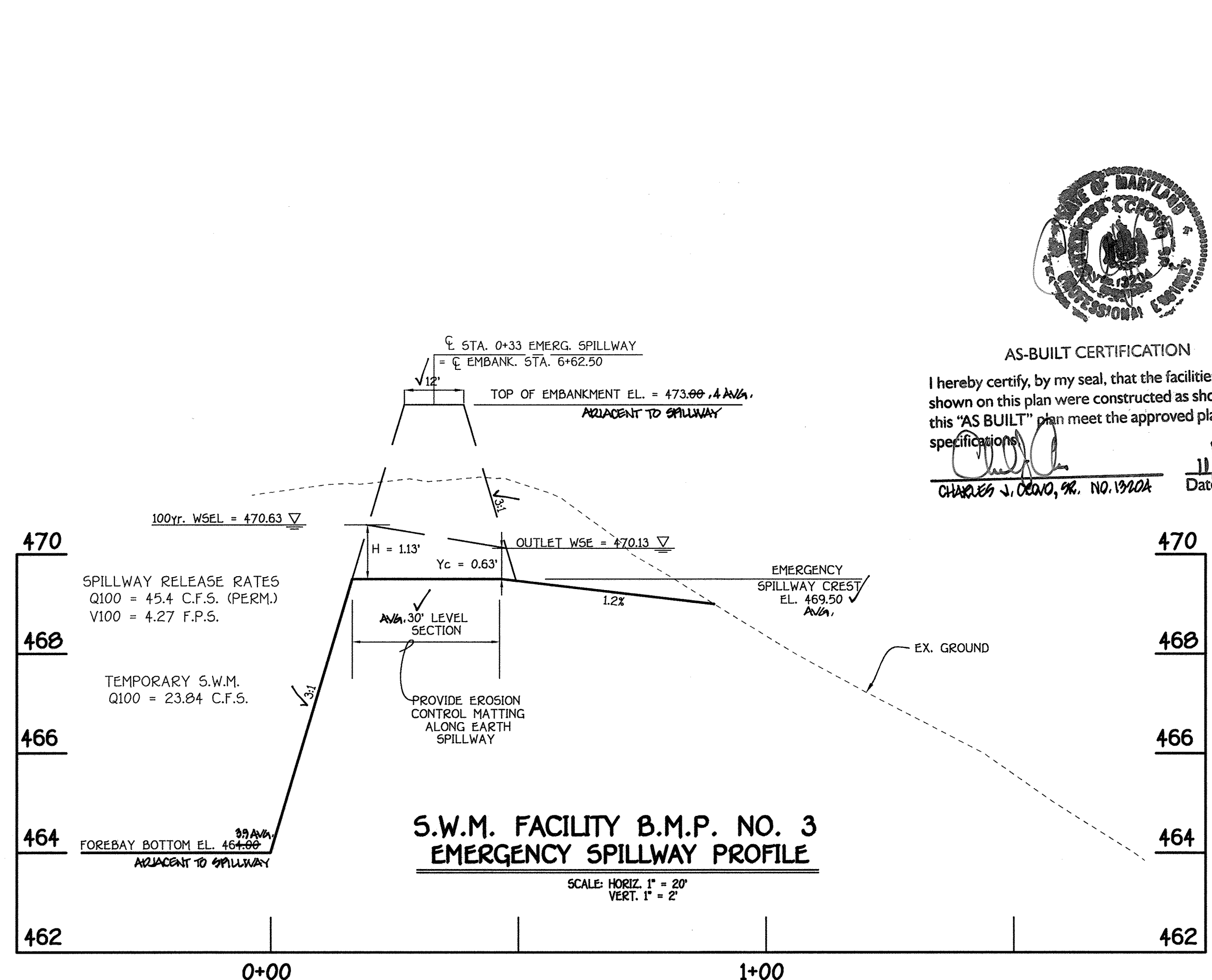
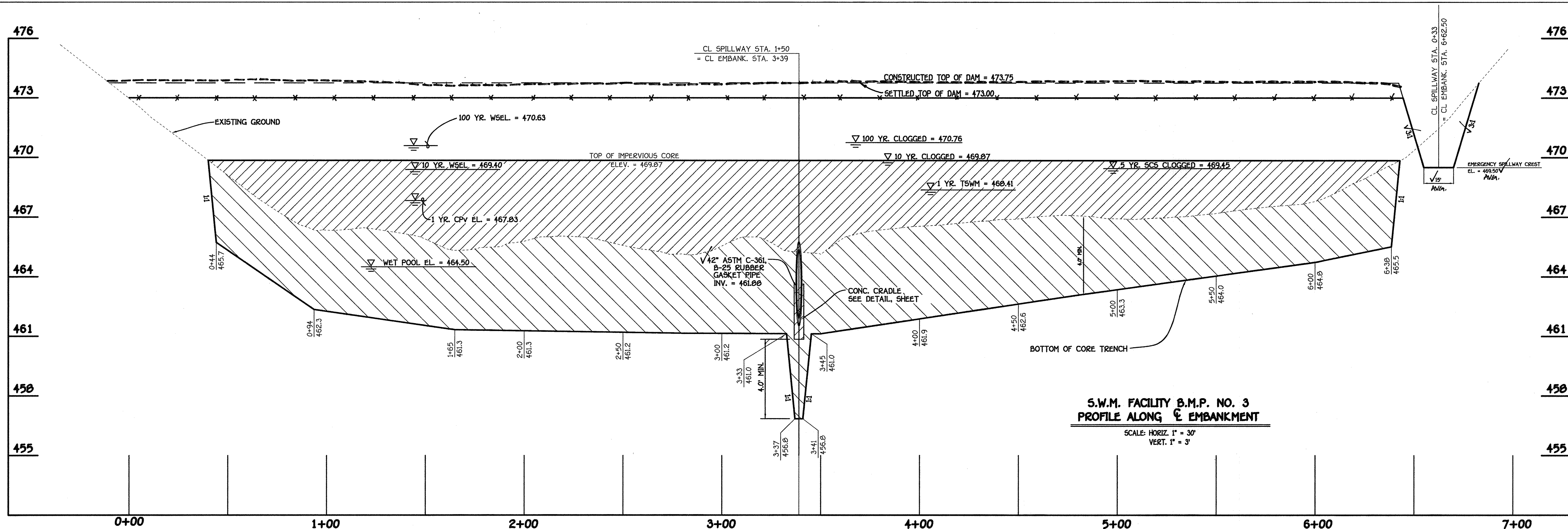
B.M.P. No. 3 - STORMWATER MANAGEMENT NOTES AND DETAILS

**AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"**
PHASE II, THRU V LOTS 5, 12 THRU 30, 44 THRU 65, 80 THRU 105, 172 THRU 231 & 240 THRU 303 TOWNHOUSES & SINGLE FAMILY HOMES

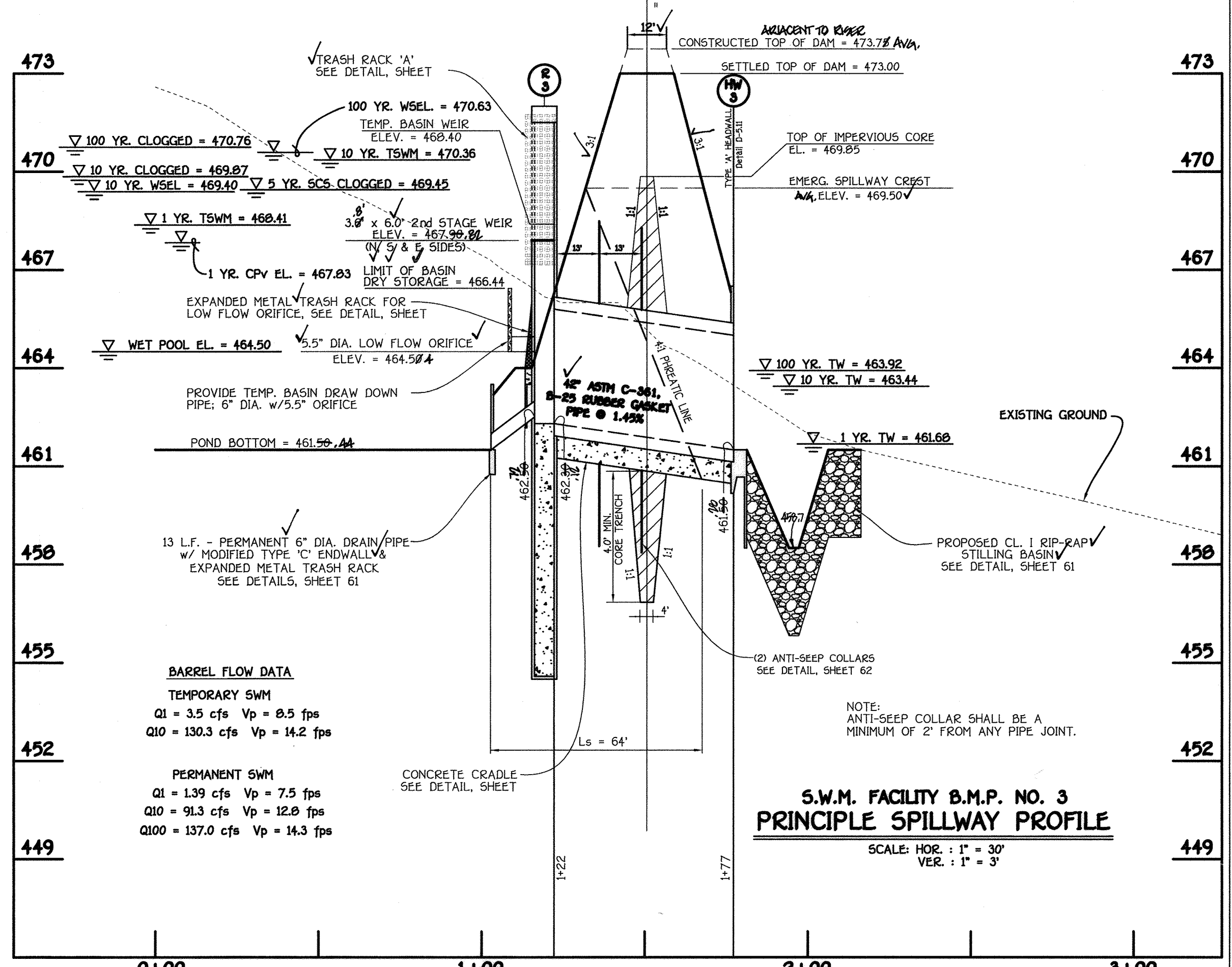
ZONING: PSC
TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: DECEMBER, 2012
SHEET 62 OF 100

SDP-09-039

"AS-BUILT"



- CONSTRUCTION SPECIFICATIONS
- PERFORATIONS IN THE DRAW-DOWN DEVICE MAY NOT EXTEND INTO THE WET STORAGE.
 - THE TOTAL AREA OF THE PERFORATIONS MUST BE GREATER THAN 2 TIMES THE AREA OF THE INTERNAL ORIFICE.
 - THE PERFORATED PORTION OF THE DRAW-DOWN DEVICE SHALL BE WRAPPED WITH 1/2" HARDWARE CLOTH AND GEOTEXTILE FABRIC. THE GEOTEXTILE FABRIC SHALL MEET THE SPECIFICATIONS FOR GEOTEXTILE CLASS E.
 - PROVIDE SUPPORT OF DRAW-DOWN DEVICE TO PREVENT SAGGING AND FLOATATION. AN ACCEPTABLE PREVENTATIVE MEASURE IS TO STAKE BOTH SIDES OF DRAW-DOWN DEVICE WITH 1" STEEL ANGLE, OR 1" BY 4" SQUARE OR 2" ROUND WOODEN POSTS SET 3' MINIMUM INTO THE GROUND THEN JOINING THEM TO THE DEVICE BY WRAPPING WITH 12 GAUGE MINIMUM WIRE.



AS-BUILT CERTIFICATION

I hereby certify, by my seal, that the facilities shown on this plan were constructed as shown on this "AS BUILT" plan meet the approved plans and specifications.

CHARLES J. COVINO, P.E. NO. 1920A Date 11/15/12

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21114
 410.461.2855

NO.	REVISION	DATE
3	REV. TO ADD FEE SIMPLE LOTS PER P-14-111 & ADD TRACT V TO P-10-09-039	10/28/14
2	REV. TO ADD FEE SIMPLE LOTS PER P-13-121	10/17/13
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12

DEVELOPER'S CERTIFICATE

"I/We Certify That All Development And/Or Construction Will Be Done According To These Plans, And That Any Responsible Personnel Involved In The Construction Project Will Have A Certificate Of Attendance At A Department Of The Environment Approved Training Program For The Control Of Sediment And Erosion Before Beginning The Project. I Shall Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion. I Also Authorize Periodic On-Site Inspections By The Howard Soil Conservation District."

Signature Of Developer: [Signature] Date: 11/14/12

ENGINEER'S CERTIFICATE

"I Certify That This Plan For Pond Construction, Erosion And Sediment Control Represents A Practical And Workable Plan Based On My Personal Knowledge Of The Site Conditions. This Plan Was Prepared In Accordance With The Requirements Of The Howard Soil Conservation District. I Have Notified The Developer That He/She Must Engage A Registered Professional Engineer To Supervise Pond Construction And Provide The Howard Soil Conservation District With An "As-Built" Plan Of The Pond Within 30 Days Of Completion."

Signature Of Engineer: [Signature] Date: 11/14/12

These Plans For Small Pond Construction, Soil Erosion And Sediment Control Meet The Requirements Of The Howard Soil Conservation District.

Howard SCD

BUILDERS

NV HOMES 6085 MARSHALLEE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-5956

RYAN HOMES 6085 MARSHALLEE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956

DEVELOPER

WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 443-367-0422

OWNERS

WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development: [Signature] Date: 12/19/12

Chief, Development Engineering Division: [Signature] Date: 12/19/12

Director - Department of Planning and Zoning: [Signature] Date: 12/19/12

PROJECT: GTW'S WAVERLY WOODS SECTION: 14

PLAT: SEE GENERAL NOTE #91 BLOCK NO.: 3 & 4 ZONE: PSC TAX/ZONE: 16 ELEC. DIST.: THIRD CENSUS TR.: 60300

WATER CODE: K-02 SEWER CODE: 5992000

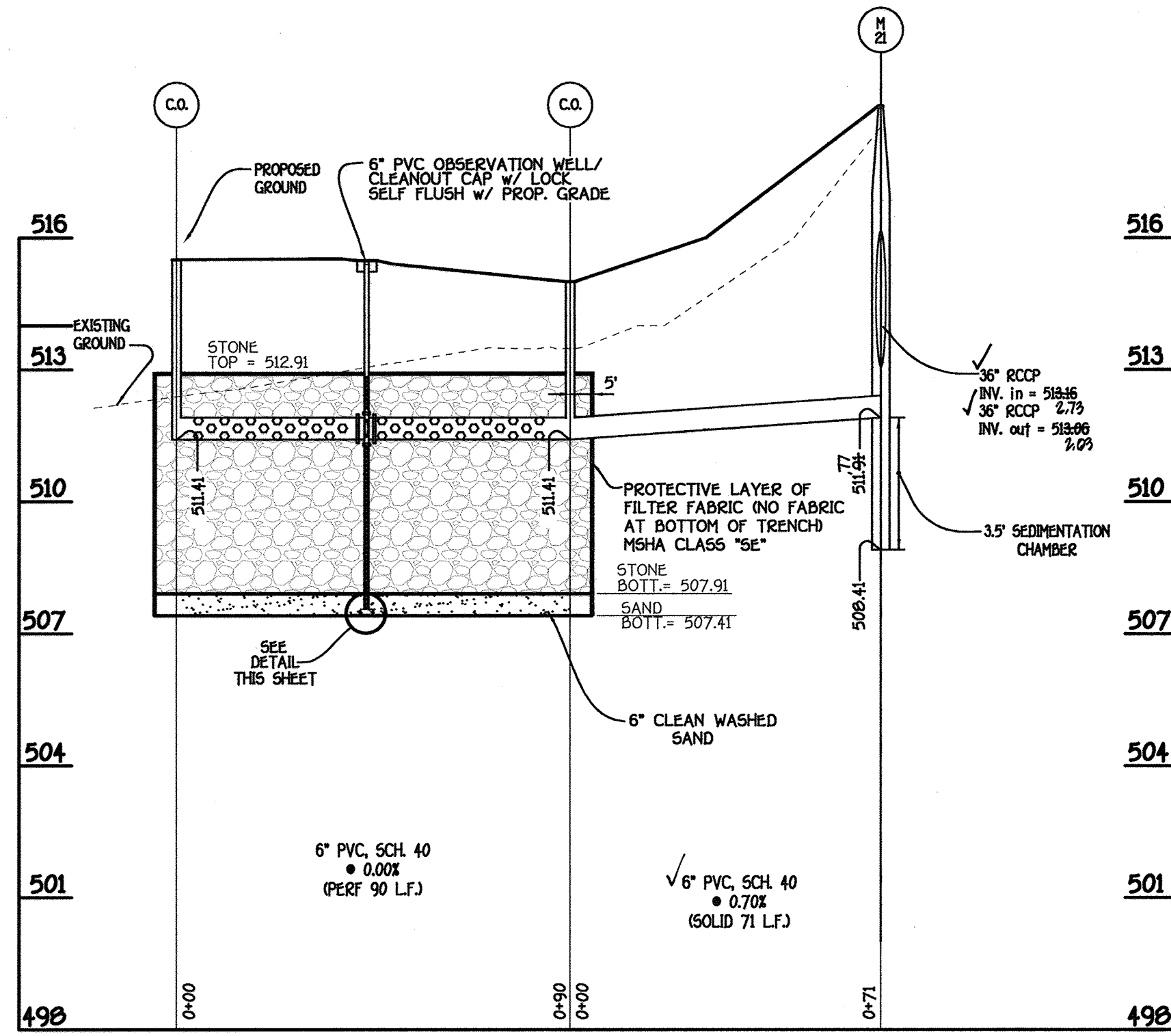
B.M.P. No. 3 - STORMWATER MANAGEMENT NOTES AND DETAILS

AGE RESTRICTED ADULT HOUSING
 GTW'S WAVERLY WOODS
 SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASES II, THRU V LOTS 8, 12 THRU 39, 41 THRU 60, 68 THRU 108, 172 THRU 231 & 240 THRU 309
 TOWNHOUSE & SINGLE FAMILY HOMES

ZONING: PSC
 TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
 THIRD ELECTION DISTRICT: HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: 08/28/2013 SHEET 63 OF 100

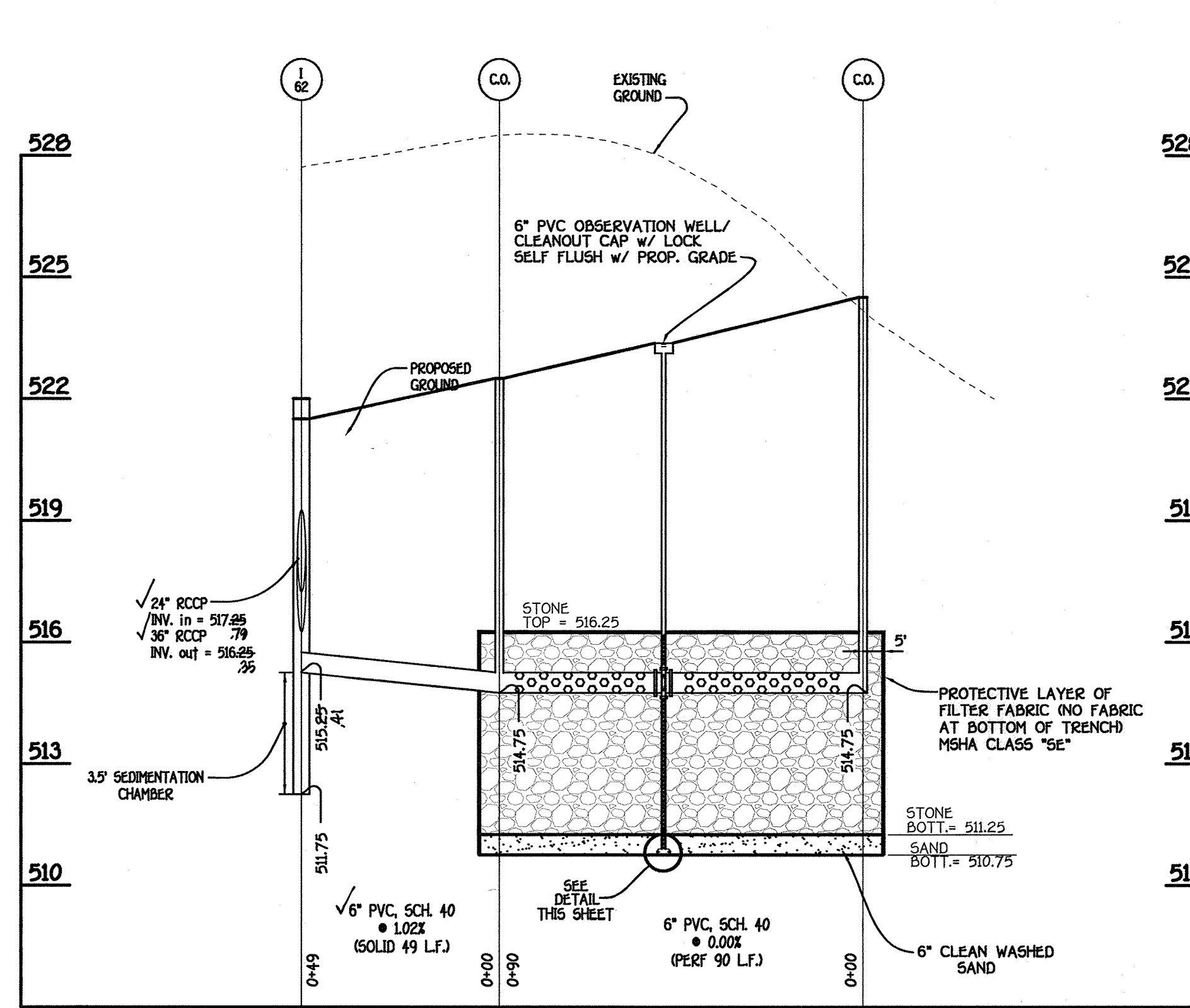
SCALE: HORIZ. 1" = 30'
 VERT. 1" = 3'

"AS-BUILT"



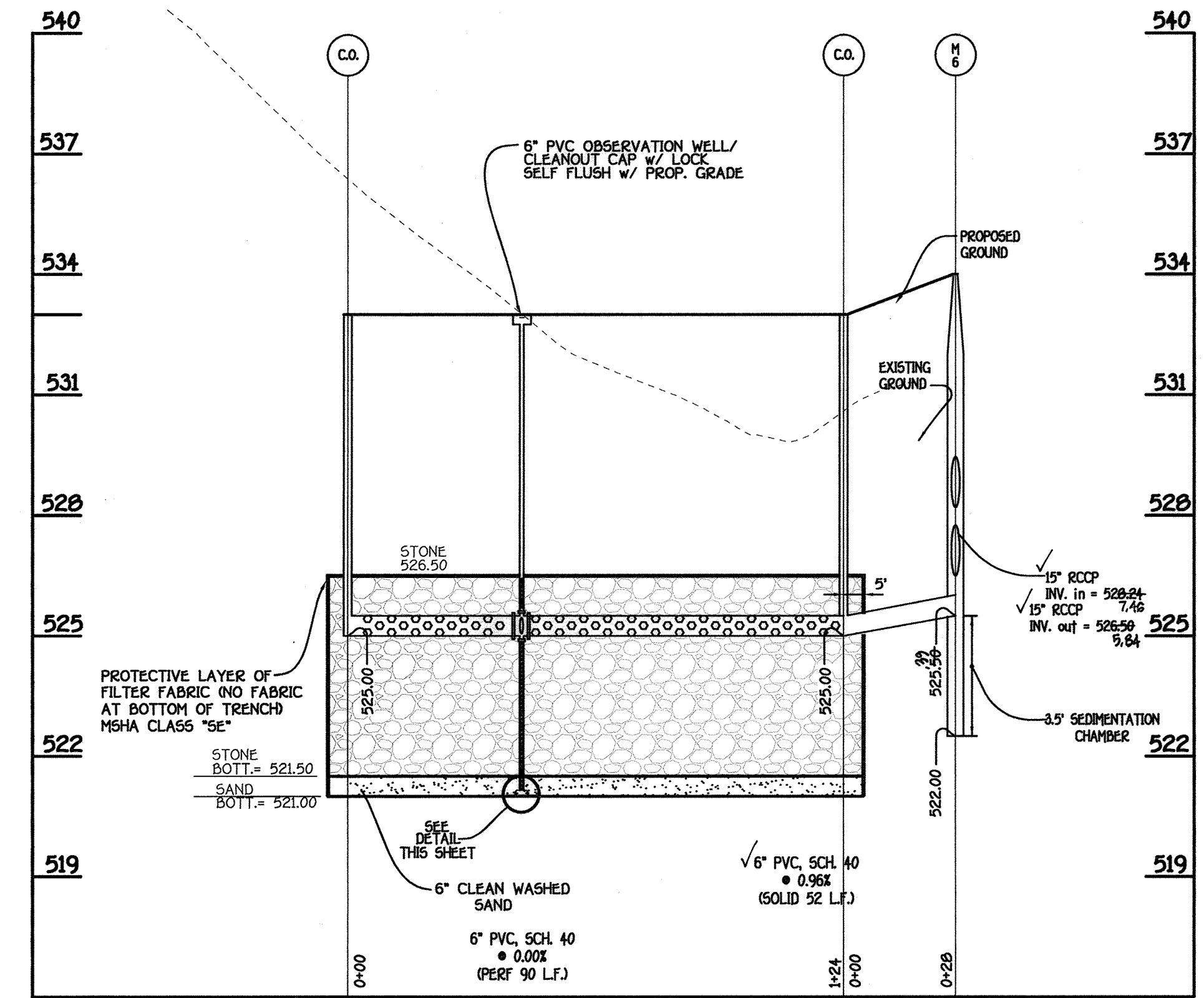
STONE RESERVOIR No. 2

SCALE: HORIZ. : 1" = 30'
VERT. : 1" = 3'



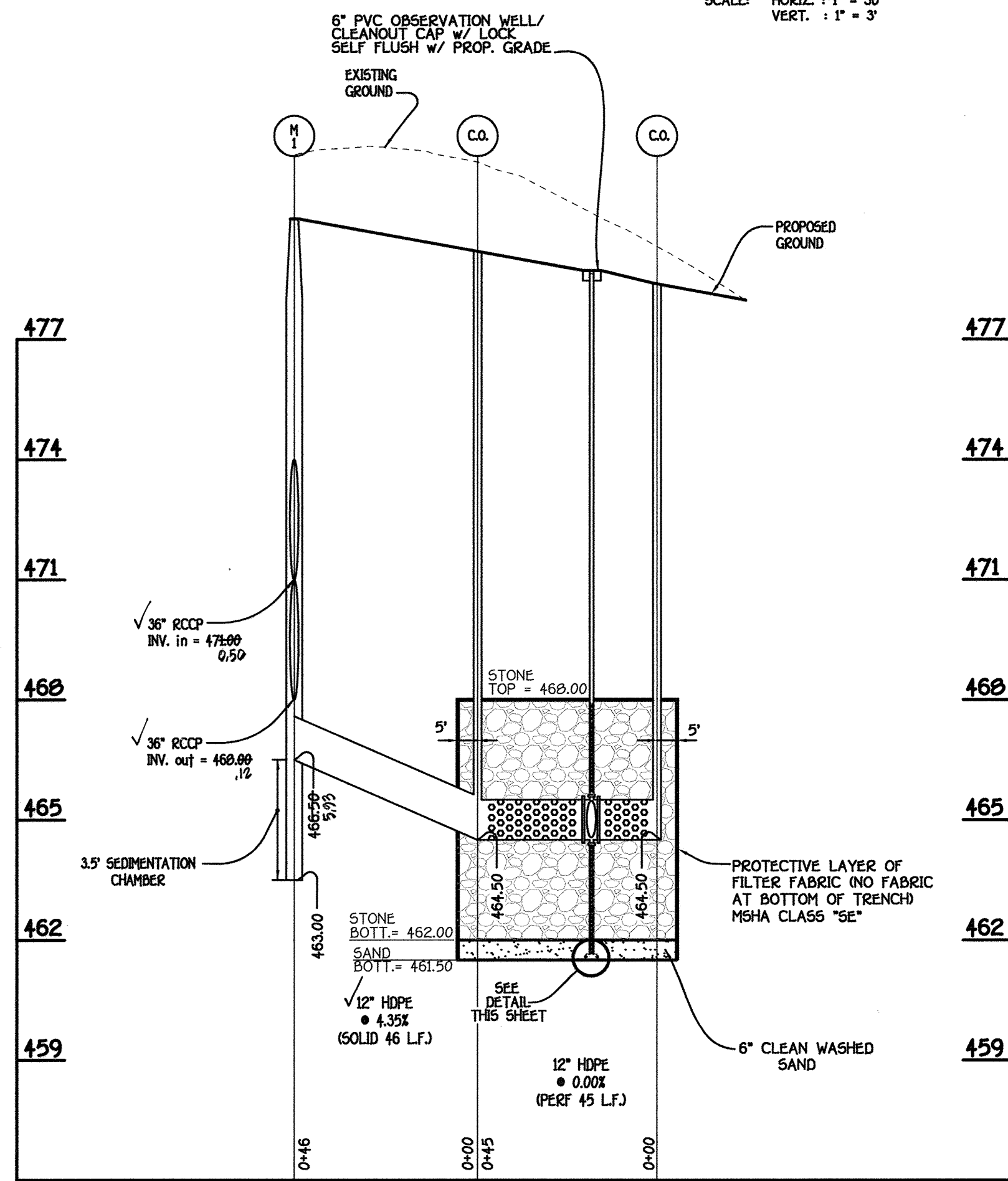
STONE RESERVOIR No. 3

SCALE: HORIZ. : 1" = 30'
VERT. : 1" = 3'



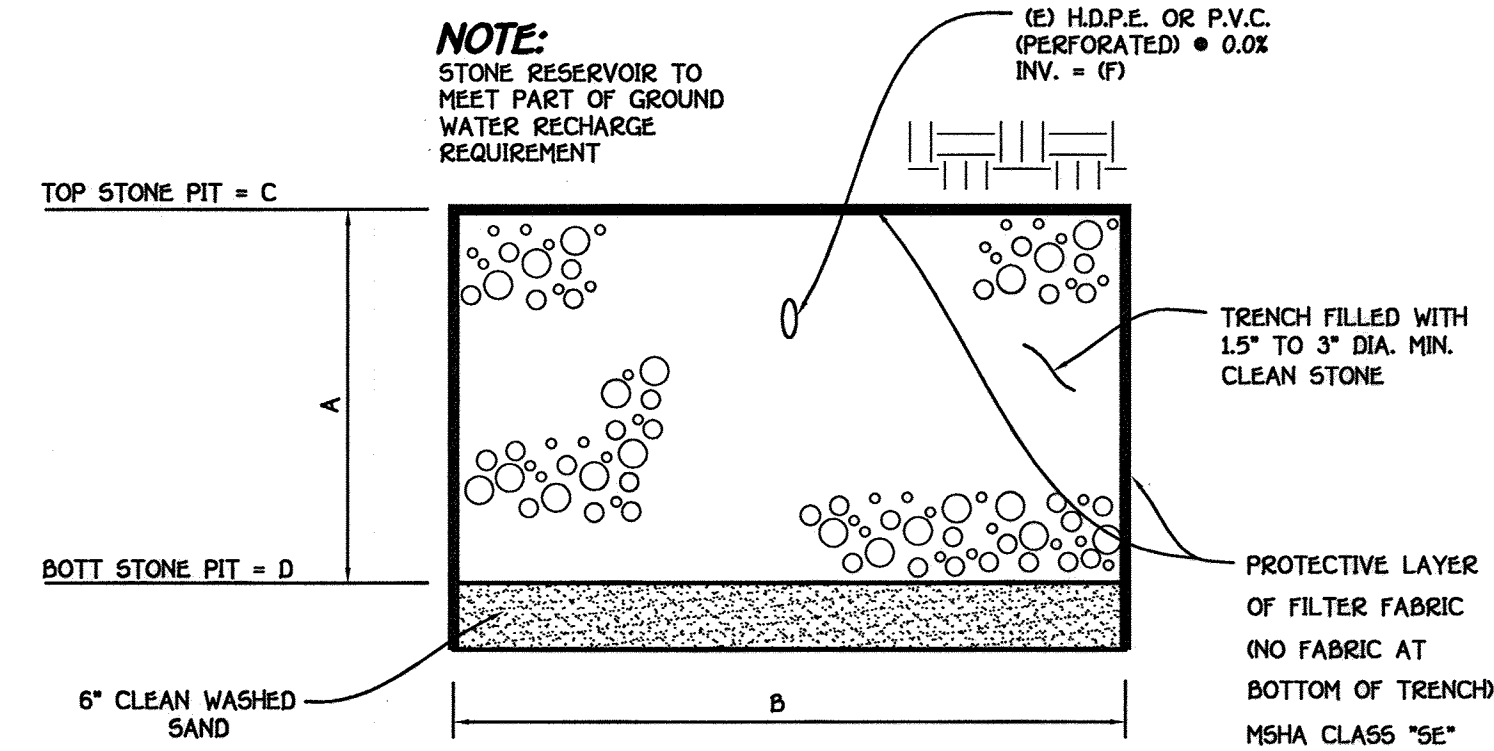
STONE RESERVOIR No. 4

SCALE: HORIZ. : 1" = 30'
VERT. : 1" = 3'



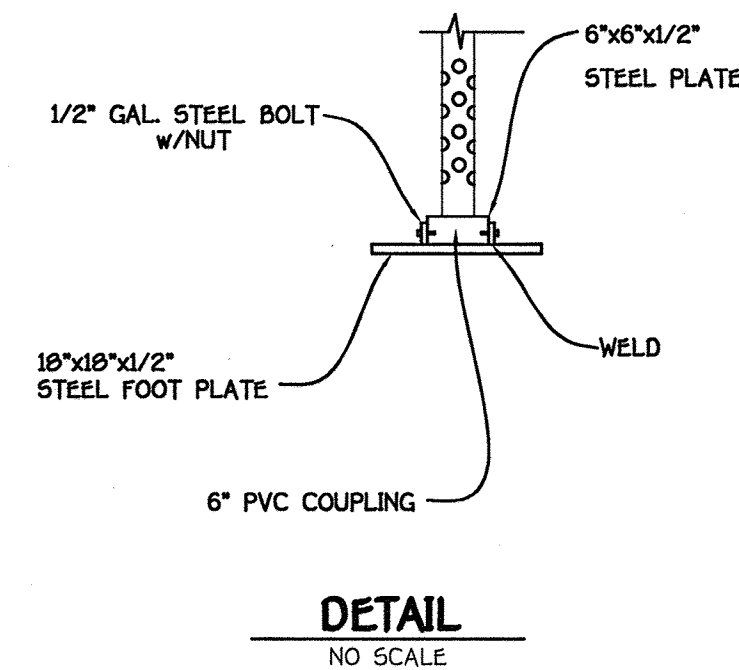
STONE RESERVOIR No. 5

SCALE: HORIZ. : 1" = 30'
VERT. : 1" = 3'



STONE RESERVOIR No.	A	B	C	D	E	F
2	5.0'	20.0'	512.91	507.91	6" PVC, SCH. 40	511.41
3	5.0'	20.0'	517.00	512.00	6" PVC, SCH. 40	515.50
4	5.0'	40.0'	526.50	521.50	6" PVC, SCH. 40	525.00
5	6.0'	VARIES	468.00	462.00	12" HDPE	464.50
6	6.0'	VARIES	468.00	462.00	12" HDPE	464.50
7	5.0'	30.0'	505.83	500.83	6" PVC, SCH. 40	504.33

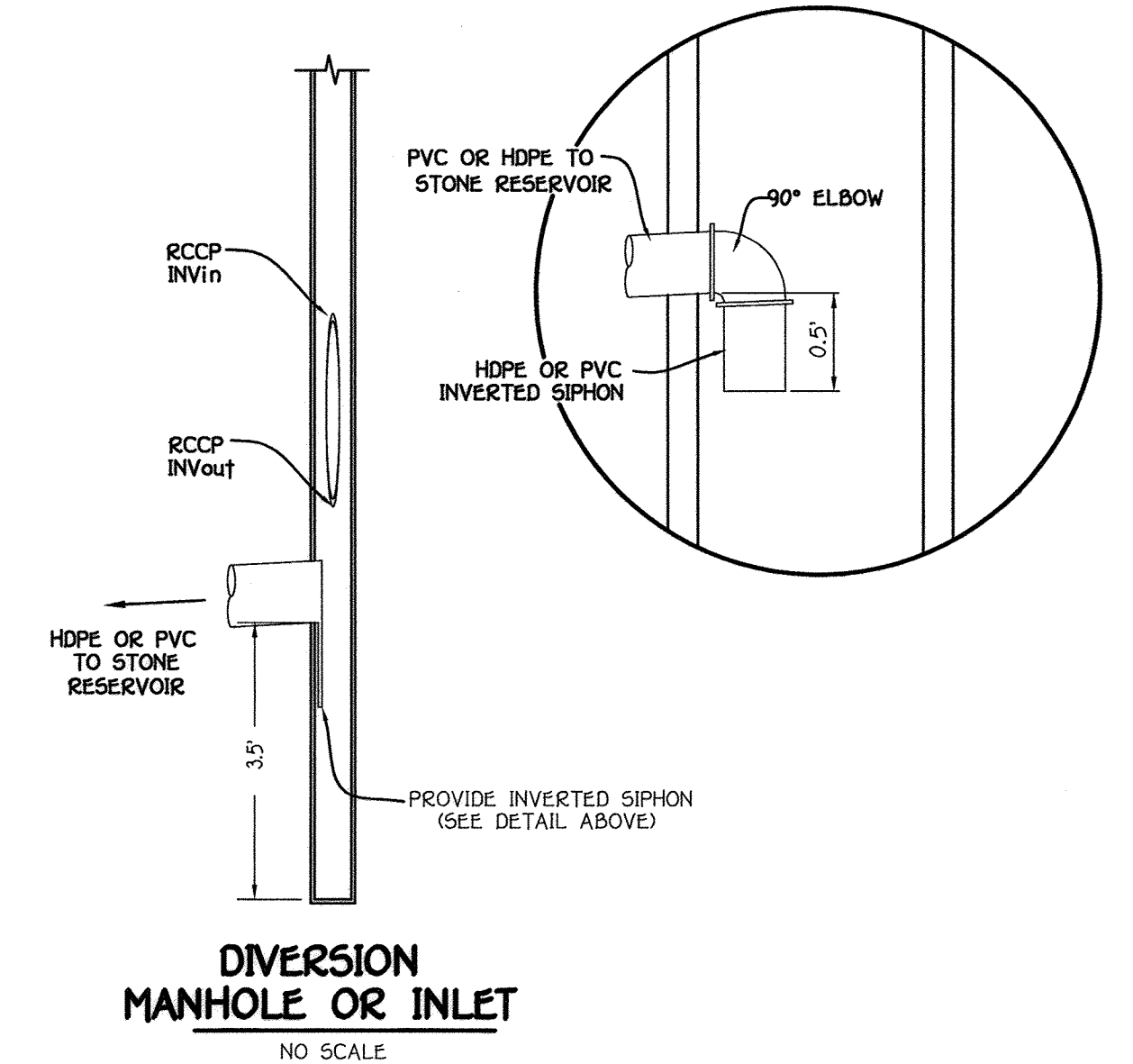
OFF-LINE STONE RESERVOIR SECTION FOR Rev
NO SCALE



DETAIL
NO SCALE



AS-BUILT CERTIFICATION
I hereby certify, by my seal, that the facilities shown on this plan were constructed as shown on this "AS BUILT" plan meet the approved plans and specifications.
CHARLES S. CRAND, No. 18024 Date 11/14/18



DIVERSION MANHOLE OR INLET
NO SCALE

NO.	REVISION	DATE
3	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFEN HALL	10/21/14
2	REV. TO ADD FEE SIMPLE LOTS PER F-12-089	12/17/13
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFEN HALL	9/28/12



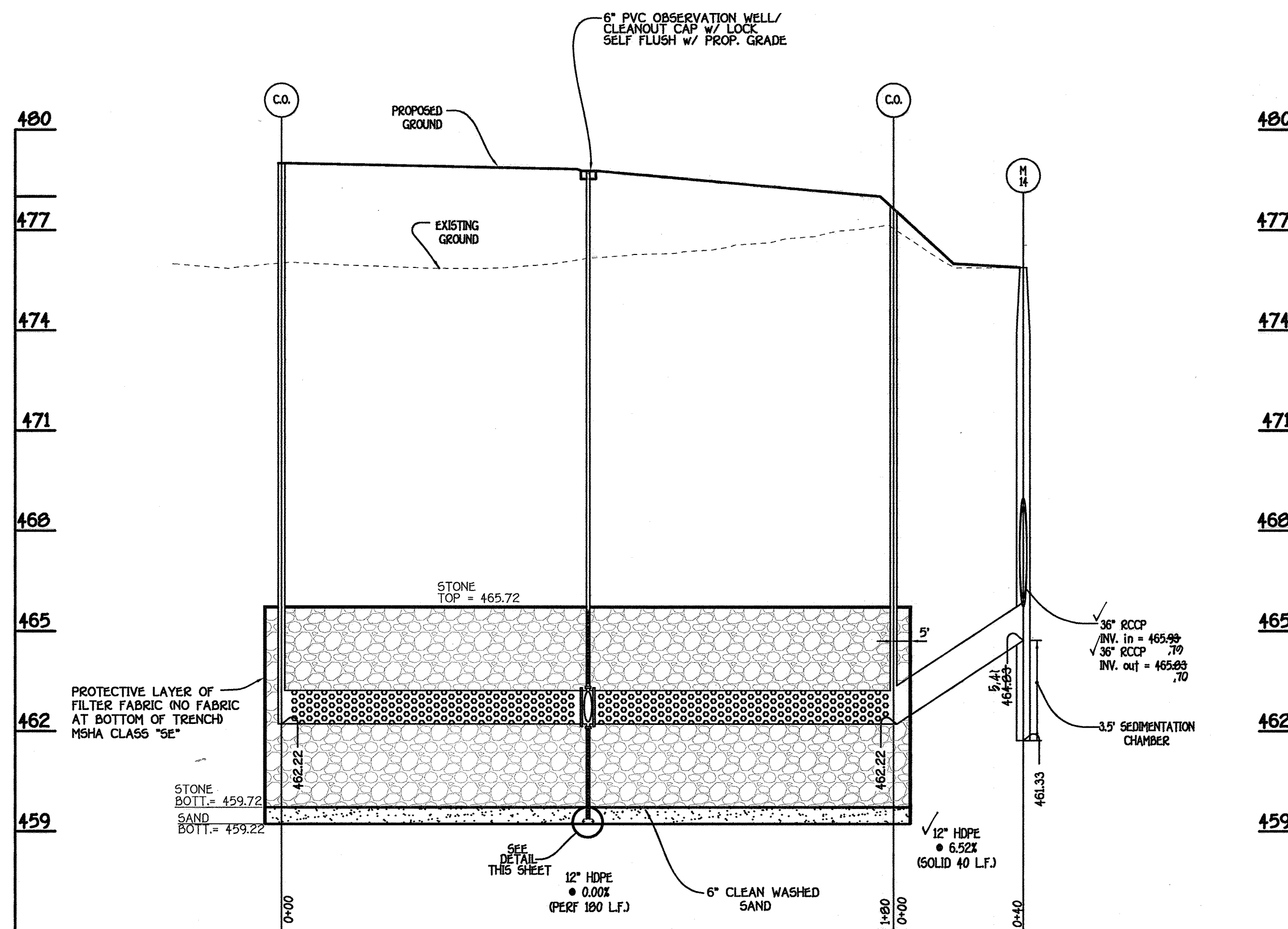
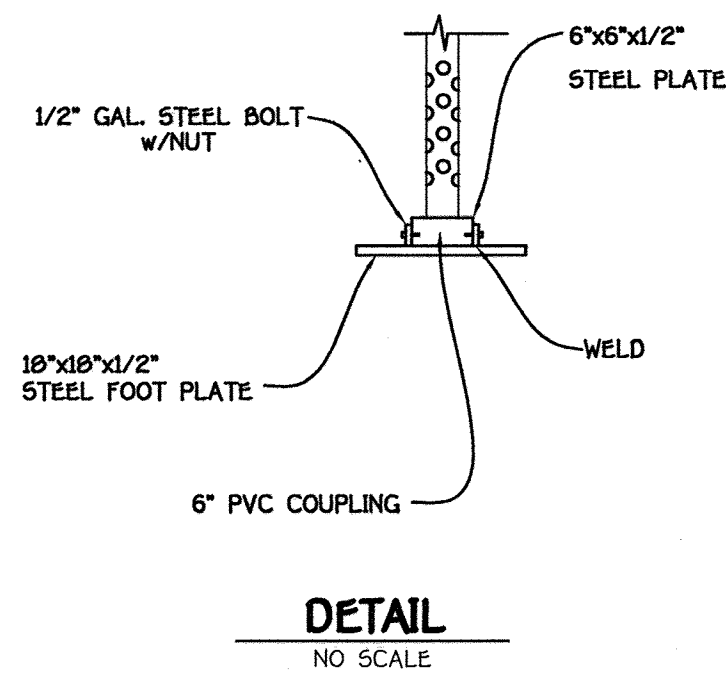
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/31/14.
TERRRELL A. FISHER, PROFESSIONAL ENGINEER DATE 11/14/18

DEVELOPER		OWNERS	
WAVELY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422	RYAN HOMES 6085 MARSHALLEE DRIVE SUITE 140 ELKRIDGE, MD. 21075 410-379-5956	WAVELY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422	RYAN HOMES 6085 MARSHALLEE DRIVE SUITE 140 ELKRIDGE, MD. 21075 410-379-5956

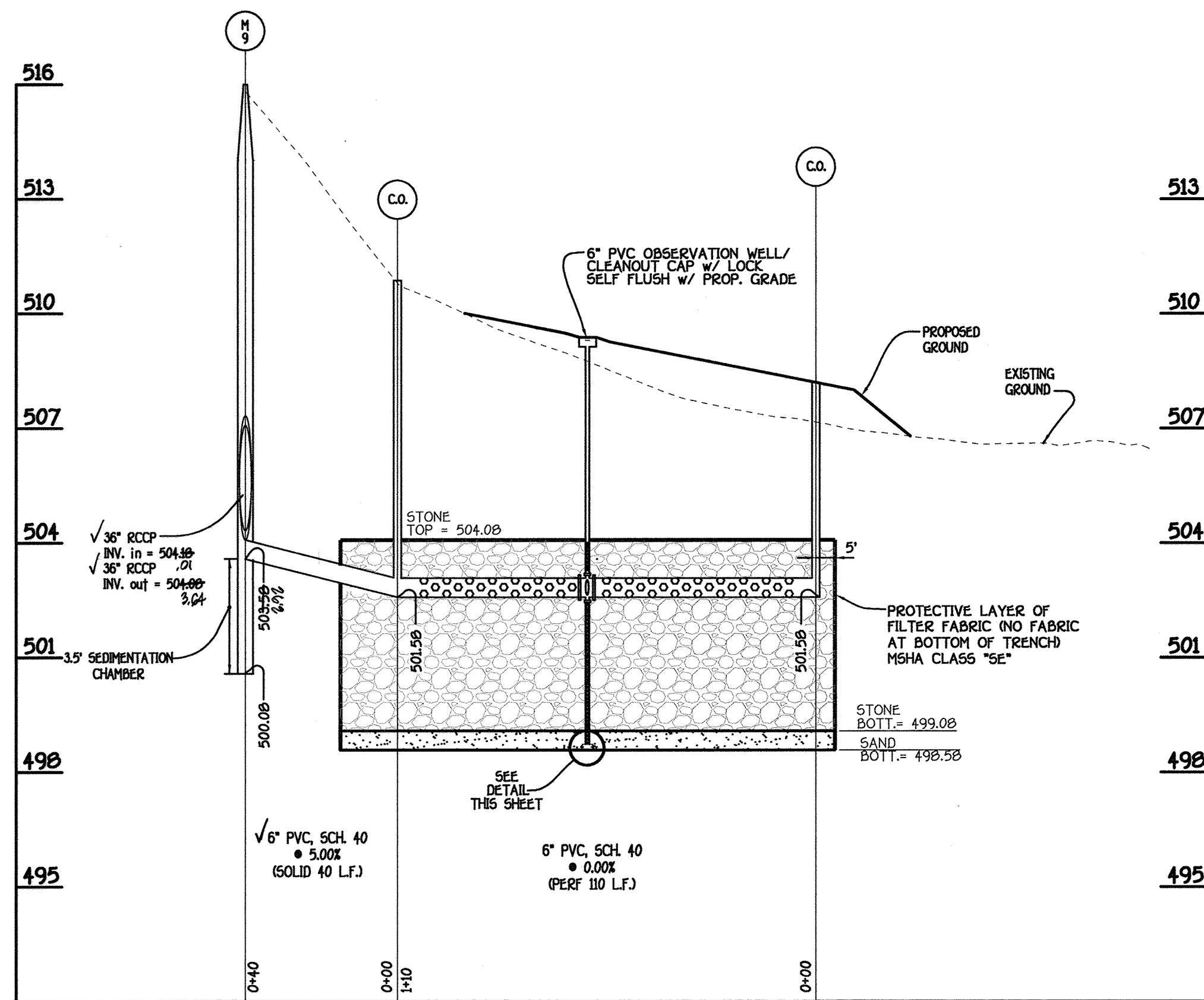
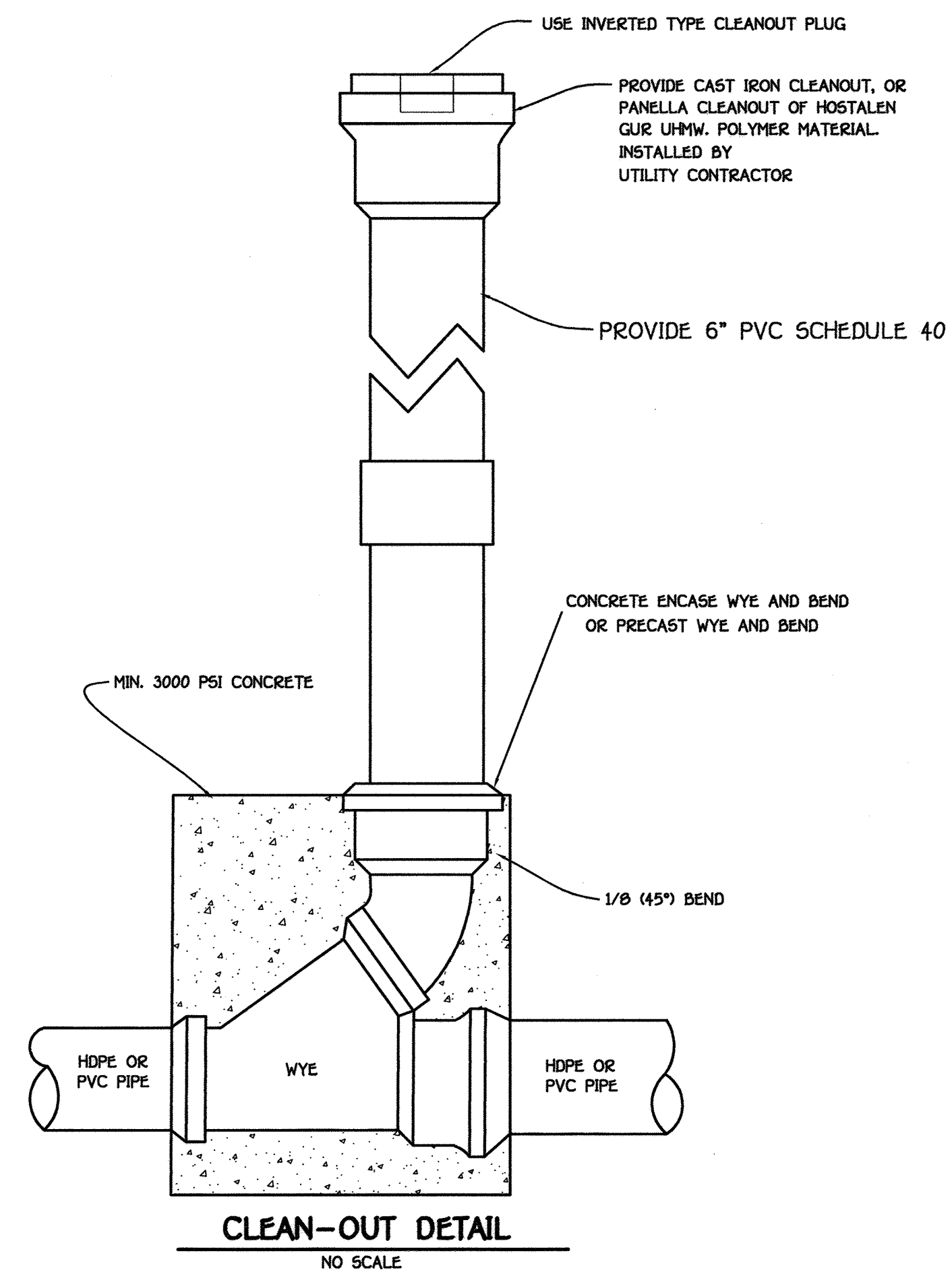
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING					
K. J. ... Chief, Division of Land Development		12/19/12 Date		12/19/12 Date	
D. ... Chief, Development Engineering Division		12/19/12 Date		12/19/12 Date	
PROJECT: GTW'S WAVELY WOODS SECTION: 14					
PLAT: ...	BLOCK NO.: 3 & 4	ZONE: PSC	TAX/ZONE: 16	ELEC. DIST.: THIRD	CENSUS TR.: 60300
WATER CODE: K-02			SEWER CODE: 5992000		

REVISED
STONE RESERVOIR PROFILES
AGE RESTRICTED ADULT HOUSING
GTW'S WAVELY WOODS
SECTION 14
"THE COURTYARDS AT WAVELY WOODS - WEST"
TOWNHOUSE & SINGLE FAMILY HOMES
PHASE II, LOTS 5, 12 THRU 33, 44 THRU 66, 88 THRU 103, 172 THRU 231 & 240 THRU 300
ZONING: PSC
TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
THIRD ELECTION DISTRICT: HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: 12/28/12 SHEET 64 OF 100
SDP-09-039

"AS-BUILT"



STONE RESERVOIR No. 6
SCALE: HORIZ. 1" = 30'
VERT. 1" = 3'



STONE RESERVOIR No. 7
SCALE: HORIZ. 1" = 30'
VERT. 1" = 3'

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED STORMWATER INFILTRATION TRENCHES FOR Rev (1-1)

- The monitoring wells and structures shall be inspected on a quarterly basis and after every large stone event.
- Water levels and sediment build up in the monitoring wells shall be recorded over a period of several days to insure trench drainage.
- A logbook shall be maintained to determine the rate at which the facility drains.
- When the facility becomes clogged so that it does not drain down within the 72 hour time period, corrective action shall be taken.
- The maintenance logbook shall be available to Howard County for inspection to insure compliance with operation and maintenance criteria.
- Once the performance characteristics of the infiltration facility have been verified, the monitoring schedule can be reduced to an annual basis unless the performance data indicates that a more frequent schedule is required.

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED STORMWATER MANAGEMENT FACILITIES No. 2 & 3

- ROUTINE MAINTENANCE**
- Facility shall be inspected annually and after major storms. Inspections shall be performed during wet weather to determine if the pond is functioning properly.
 - Top and side slopes of the embankment shall be mowed a minimum of two (2) times a year, once in June and once in September. Other side slopes and maintenance access should be mowed as needed.
 - Debris and litter shall be removed during regular mowing operations and as needed.
 - Visible signs of erosion in the pond as well as the rip-rap or gabion outlet area shall be repaired as soon as it is noticed.
 - The off-line storm drains and underground reservoirs shall be inspected annually and after major storms.
- NON-ROUTINE MAINTENANCE**
- Structural components of the pond such as the dam, the riser, and the pipes shall be repaired upon the detection of any damage. The components shall be inspected during routine maintenance operations.
 - Sediment shall be removed from the pond, and forebay, no later than when the capacity of the pond or forebay, is half full of sediment, or, when deemed necessary for aesthetic reasons, upon approval from the Department of Public Works.



AS-BUILT CERTIFICATION

I hereby certify, by my seal, that the facilities shown on this plan were constructed as shown on this "AS BUILT" plan meet the approved plans and specifications.

CHARLES J. CRANDALL, No. 19204 Date: 11/6/13

NO.	REVISION	DATE
3	REV. TO ADD PER SIMPLE LOTS PER F-12-089 AND ADD GRIFIN HALL	10/29/14
2	REV. TO ADD PER SIMPLE LOTS PER F-12-161	12/17/13
1	REV. TO ADD PER SIMPLE LOTS PER F-12-089 AND ADD GRIFIN HALL	9/28/12



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/31/14.

TERRELL A. FISHER, PROFESSIONAL ENGINEER DATE: 11/6/13

BUILDERS	
NV HOMES 6085 MARSHALLEE DRIVE SUITE 130 ELKRIDGE, MD. 21075 410-379-5956	RYAN HOMES 6085 MARSHALLEE DRIVE SUITE 140 ELKRIDGE, MD. 21075 410-379-5956
DEVELOPER	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-367-0122	
OWNERS	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-367-0122	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING					
[Signature]		12/19/12 Date			
Chief, Division of Land Development		[Signature]			
[Signature]		12/10/12 Date			
Chief, Development Engineering Division		[Signature]			
Director - Department of Planning and Zoning		12/10/12 Date			
PROJECT	GTW'S WAVERLY WOODS	SECTION	14	PARCEL NO. 'E'	1409-12-17-04-05-08-10A-17B-12A & 240-30A
PLAT	SEE GENERAL NOTE #81	BLOCK NO.	3 & 4	ZONE	P5C
TAX/ZONE	16	ELEC. DIST.	THIRD	CENSUS TR.	60300
WATER CODE	K-02	SEWER CODE	5992000		

REVISED STONE RESERVOIR PROFILES

AGE RESTRICTED ADULT HOUSING GTW'S WAVERLY WOODS SECTION 14

"THE COURTYARDS AT WAVERLY WOODS - WEST"

PHASES II, III, V LOTS 9, 12 THRU 22, 44 THRU 60, 85 THRU 102, 172 THRU 221 & 240 THRU 260 TOWNHOUSE & SINGLE FAMILY HOMES

ZONING: P5C
TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: DECEMBER, 2013 SHEET 65 OF 100

"AS-BUILT"

SCHEDULE A PERIMETER LANDSCAPE EDGE												
PHASE	PHASE ONE P-1	PHASE ONE P-2	PHASE TWO P-1	PHASE TWO P-2	PHASE TWO P-3	PHASE TWO P-4	PHASE TWO P-5	PHASE TWO P-6	PHASE TWO P-7	PHASE TWO P-8	PHASE TWO P-9	PHASE TWO P-10
PERIMETER												
CATEGORY	NON-RES. TO ROAD	SFA TO NON-RES.	SFD REAR TO NON-RES.	NON-RES. TO RES.	SFD REAR TO RES.	NON-RES. TO ROAD	NON-RES. TO NON-RES.	SFD REAR TO NON-RES.	NON-RES. TO ROAD	SFA TO ROAD	SFD TO ROAD	SFD TO ROAD
LANDSCAPE TYPE	B	A	A	A	A	A	B	A	A	B	B	B
LINEAR FEET OR ROADWAY FRONTAGE/PERIMETER	811'	952'	1459'	3596'	1222'	869'	734'	440'	1300'	1002'	60'	79'
CREDIT FOR EXISTING VEGETATION (YES, NO LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	100%	100%	100%	100%	100%	100%	100%	0	100%	0	0	0
CREDIT FOR WALL, FENCE OR BERM (YES, NO LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO
NUMBER OF PLANTS REQUIRED SHADE TREES EVERGREEN TREES SHRUBS	0	0	0	0	0	0	0	0	22	0	1	2

SCHEDULE B RESIDENTIAL PARKING LOT INTERNAL LANDSCAPING					
NUMBER OF PARKING SPACES	EXISTING PHASE ONE	EXISTING PHASE TWO	EXISTING PHASE THREE	EXISTING PHASE FOUR	EXISTING PHASE FIVE
24	24	12	01	19	97
NUMBER OF TREES REQUIRED (GUD)	2	1	0	2	0
NUMBER OF TREES PROVIDED	50P-09-037	2	0	2	---

SCHEDULE C RESIDENTIAL DEVELOPMENT INTERNAL LANDSCAPING					
NUMBER OF DWELLING UNITS	EXISTING PHASE ONE	EXISTING PHASE TWO	EXISTING PHASE THREE	EXISTING PHASE FOUR	EXISTING PHASE FIVE
SINGLE FAMILY ATTACHED SINGLE FAMILY DETACHED TOTAL	0 10	28 50	49 100	50 100	0 100
NUMBER OF TREES REQUIRED (GUD DU APTS)	0	28	49	50	0
NUMBER OF TREES PROVIDED (GUD DU APTS)	---	---	---	---	---

SCHEDULE D STORMWATER MANAGEMENT AREA LANDSCAPING		
LINEAR FEET OF TYPE 'B' PERIMETER	D-1: 1737'	D-2: 1331'
NUMBER OF TREES REQUIRED & PROVIDED	1737' - 949' = 789'	1331' - 1067' = 264'
SHADE TREES	16	5
EVERGREEN TREES	20	7
CREDIT FOR EXISTING VEGETATION (NO, YES AND %)	949'	1067'
CREDIT FOR OTHER LANDSCAPING (NO, YES AND %)	NO	NO

LEGEND	
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
x362.2	SPOT ELEVATION
---	WALKOUT BASEMENT
---	SILT FENCE
---	SUPER SILT FENCE
---	EROSION CONTROL MATTING
---	LIMIT OF DISTURBANCE
---	STREET LIGHT PER F-09-057
---	UNMITIGATED 65DBA NOISE LINE
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED SEWER
---	15% TO 24.9% Slope
---	EXISTING LANDSCAPING PER 50P-09-037
---	EXISTING STREET TREES PER F-09-057
---	REVERSE GUTTER PAN SLOPE
---	EXISTING STORMDRAIN
---	EXISTING SEWER
---	EXISTING WATER
---	EXISTING WATER, SEWER & UTILITY EASEMENT
---	EXISTING STREET TREES

STREET TREE SCHEDULE					
PHASE	QUANTITY	BOTANICAL AND COMMON NAME	SIZE	COMMENTS	
EXISTING PHASE I 50P-09-037	1131.06 x 2 = 2262.12 2262.12 / 40 = 56.55 57 TREES	ACER RUBRUM 'ARMSTRONG' ARMSTRONG COLUMNAR RED MAPLE	2 1/2"-3" CAL.	40' APART ALONG ADAM DAVID WAY	
PHASE II	950 x 2 = 1900.00 1900.00 / 40 = 47.50 48 TREES	ACER RUBRUM 'ARMSTRONG' ARMSTRONG COLUMNAR RED MAPLE	2 1/2"-3" CAL.	30' APART ALONG BARNESLEY WAY	
PHASE IV	984.78 x 2 = 1969.56 1969.56 / 40 = 49.23 49 TREES	ACER RUBRUM 'ARMSTRONG' ARMSTRONG COLUMNAR RED MAPLE	2 1/2"-3" CAL.	30' APART ALONG BARNESLEY WAY	
PHASE III	408 x 2 = 800 800 / 40 = 20 20 TREES	ACER RUBRUM 'ARMSTRONG' ARMSTRONG COLUMNAR RED MAPLE	2 1/2"-3" CAL.	30' APART ALONG SOPHIA CHASE DRIVE	
PHASE IV	982 x 2 = 1964 1964 / 40 = 49 49 TREES	ACER RUBRUM 'ARMSTRONG' ARMSTRONG COLUMNAR RED MAPLE	2 1/2"-3" CAL.	30' APART ALONG SOPHIA CHASE DRIVE	
PHASE II	500 x 2 = 1000.00 1000.00 / 40 = 25 25 TREES	ACER RUBRUM 'ARMSTRONG' ARMSTRONG COLUMNAR RED MAPLE	2 1/2"-3" CAL.	30' APART ALONG GENTLE ROLLING DRIVE	
PHASE III	600 x 2 = 1200 1200 / 40 = 30 30 TREES	ACER RUBRUM 'ARMSTRONG' ARMSTRONG COLUMNAR RED MAPLE	2 1/2"-3" CAL.	30' APART ALONG GENTLE ROLLING DRIVE	
PHASE IV	907.15 x 2 = 1814.30 1814.30 / 40 = 45.35 45 TREES	ACER RUBRUM 'ARMSTRONG' ARMSTRONG COLUMNAR RED MAPLE	2 1/2"-3" CAL.	30' APART ALONG GENTLE ROLLING DRIVE	
PHASE III	200 x 2 = 400 400 / 40 = 10 10 TREES	ACER RUBRUM 'ARMSTRONG' ARMSTRONG COLUMNAR RED MAPLE	2 1/2"-3" CAL.	30' APART ALONG GENTLE ROLLING DRIVE	
PHASE V ALONG FUTURE UNITS	2000.22 x 2 = 4000.44 4000.44 / 40 = 100.01 101 TREES	ACER RUBRUM 'ARMSTRONG' ARMSTRONG COLUMNAR RED MAPLE	2 1/2"-3" CAL.	30' APART ALONG GENTLE ROLLING DRIVE	
PHASE III	2715 x 2 = 5430 5430 / 40 = 135.75 14 TREES	ACER RUBRUM 'ARMSTRONG' ARMSTRONG COLUMNAR RED MAPLE	2 1/2"-3" CAL.	30' APART ALONG GREAT ALEXANDER STREET	
PHASE III	1945.79 x 2 = 3891.58 3891.58 / 40 = 97.29 98 TREES	ACER RUBRUM 'ARMSTRONG' ARMSTRONG COLUMNAR RED MAPLE	2 1/2"-3" CAL.	30' APART ALONG ANDERSON HILL STREET	
PHASE III	713.15 x 2 = 1426.30 1426.30 / 40 = 35.65 37 TREES	ACER RUBRUM 'ARMSTRONG' ARMSTRONG COLUMNAR RED MAPLE	2 1/2"-3" CAL.	30' APART ALONG WALKING JANELLE WAY	
PHASE III	280.37 x 2 = 560.74 560.74 / 40 = 14.02 14 TREES	ACER RUBRUM 'ARMSTRONG' ARMSTRONG COLUMNAR RED MAPLE	2 1/2"-3" CAL.	30' APART ALONG IRVING GAMBLE ROAD	
PHASE IV	279.59 x 2 = 559.18 559.18 / 40 = 13.97 14 TREES	ACER RUBRUM 'ARMSTRONG' ARMSTRONG COLUMNAR RED MAPLE	2 1/2"-3" CAL.	30' APART ALONG NASH FINN ROAD	
PHASE V ALONG FUTURE UNITS	1031.91 x 2 = 2063.82 2063.82 / 40 = 51.57 52 TREES	ACER RUBRUM 'ARMSTRONG' ARMSTRONG COLUMNAR RED MAPLE	2 1/2"-3" CAL.	30' APART ALONG SOPHIA CHASE DRIVE	

REVISED SUBMITTAL LANDSCAPING PLANT LIST (SCHEDULE A, B & C)				
SYMBOL	QUANTITY	BOTANICAL AND COMMON NAME	SIZE	COMMENTS
●	232	ACER RUBRUM 'OCTOBER GLORY' RED MAPLE	2 1/2"-3" CAL.	40' APART ALONG ROADS
○	314	ACER RUBRUM 'ARMSTRONG' ARMSTRONG COLUMNAR RED MAPLE	2 1/2"-3" CAL.	40' APART ALONG ROADS
●	51	ACER RUBRUM 'RED SUNSET' RED MAPLE	2 1/2"-3" CAL.	40' APART ALONG PERIMETER 5
☀	33	PICEA ABIES (NORWAY SPRUCE)	6'-8' HGT.	20' APART ALONG PERIMETER 5
☀	42	ACER RUBRUM 'ARMSTRONG' ARMSTRONG COLUMNAR RED MAPLE	2 1/2"-3" CAL.	NEAR PROPOSED UNITS AND PARKING AREAS

NOTE: APFO PHASE II

THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY RELATED TO APFO PHASE II FOR THE 28 REQUIRED INTERNAL LANDSCAPE TREES, 32 REQUIRED PARKING LANDSCAPE TREES, 32 REQUIRED PERIMETER LANDSCAPE TREES, 40 REQUIRED S/W LANDSCAPE TREES AND THE REQUIRED 73 PRIVATE ROAD STREET TREES HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$49,900.00.

NOTE: APFO PHASE III

THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY RELATED TO APFO PHASE III FOR THE 49 REQUIRED INTERNAL LANDSCAPE TREES, 8 REQUIRED PARKING LANDSCAPE TREES, AND THE REQUIRED 223 PRIVATE ROAD STREET TREES HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$64,000.00.

NOTE: APFO PHASE IV

THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY RELATED TO APFO PHASE IV FOR THE 50 REQUIRED INTERNAL LANDSCAPE TREES, 2 REQUIRED PARKING LANDSCAPE TREES, AND THE REQUIRED 157 PRIVATE ROAD STREET TREES HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$62,700.00.

DEVELOPER'S / BUILDER'S CERTIFICATE

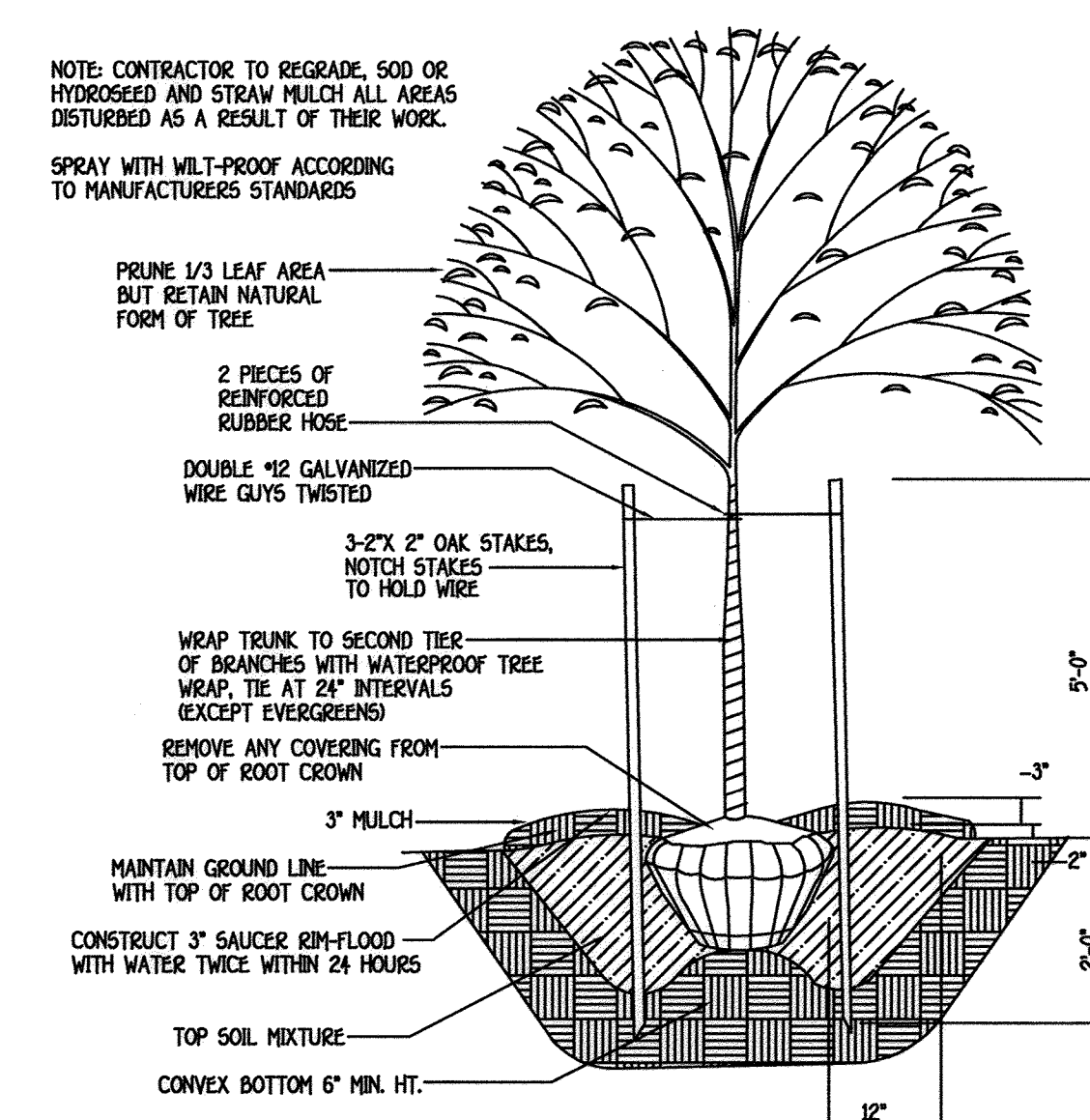
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A LETTER OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME: *Charles J. Fisher* DATE: *11/14/12*

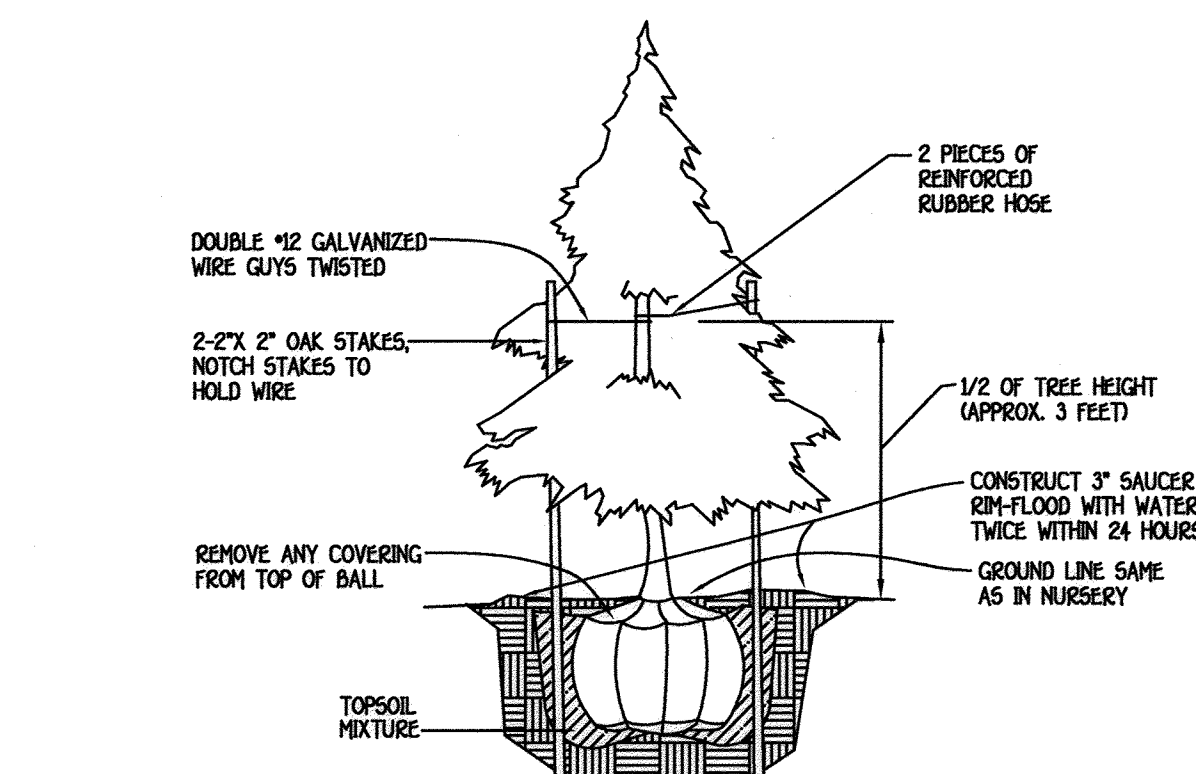
NOTE: APFO PHASE V

THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY RELATED TO APFO PHASE V FOR THE 6 REQUIRED INTERNAL LANDSCAPE TREES, 6 REQUIRED PARKING LANDSCAPE TREES, AND THE REQUIRED 183 PRIVATE ROAD STREET TREES HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$79,900.00.

NOTE: CONTRACTOR TO REGRADE, SOO OR HYDROSEED AND STRAW MULCH ALL AREAS DISTURBED AS A RESULT OF THEIR WORK.
SPRAY WITH MILT-PROOF ACCORDING TO MANUFACTURERS STANDARDS



TREE PLANTING DETAIL
NOT TO SCALE



EVERGREEN PLANTING DETAIL
NOT TO SCALE

PLANTING SPECIFICATIONS

PLANTS, RELATED MATERIALS, AND OPERATIONS SHALL MEET THE DETAILED DESCRIPTION AS GIVEN ON THE PLANS AND AS DESCRIBED HEREIN.
ALL PLANT MATERIALS, UNLESS OTHERWISE SPECIFIED, SHALL BE NURSERY GROWN, UNROOTED, BUCKLE FREE, WITH A WOODS ROOT SYSTEM, AND SHALL CONFORM TO THE SPECIES, SIZE, ROOT AND SHADE ORIGIN ON THE PLANT LIST AND THE AMERICAN ASSOCIATION OF NURSERYMEN GUARD SPECIFICATIONS. PLANT MATERIALS SHALL BE HEALTHY, VIGOROUS, FREE FROM DISEASE, INJURY, DEFOLIATION, AND OTHER DEFECTS. PLANT MATERIALS SHALL BE PLANTED IN THE PLANTING HOLE WITH THE ROOTS AND ALL TOPS OF BRANCHES, TWIGS, OR OTHER PARTS OF THE PLANT MATERIALS PROTECTED BY A PROTECTIVE COVERING. PLANT MATERIALS THAT ARE DAMAGED OR WHICH HAVE BEEN CUT BACK FROM LARGER CROUNDS TO MEET SPECIFIED REQUIREMENTS SHALL BE REJECTED. TREES WITH FROST DAMAGE SHALL NOT BE ACCEPTED. ALL PLANTS SHALL BE HEALTHY AND FREE FROM DEFOLIATION AND OTHER DEFECTS.
UNLESS OTHERWISE SPECIFIED, ALL GENERAL CONDITIONS, PLANTING OPERATIONS, DETAILS AND PLANTING SPECIFICATIONS SHALL CONFORM TO LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-METROPOLITAN AREA, RECOMMENDED LANDSCAPE GUIDELINES APPROVED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF METROPOLITAN BALTIMORE AND THE PROTECTIVE COMMITTEE OF THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS LATEST EDITION, INCLUDING ALL ADDENDUMS.
CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PLANT MATERIALS A MINIMUM OF 90 DAYS PRIOR TO BEGINNING ANY WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PLANT MATERIALS IN QUANTITY AND LOCATION OF PLANT MATERIALS. DAMAGE TO EXISTING STRUCTURES AND UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
PROTECTION OF EXISTING VEGETATION TO REMAIN SHALL BE ACCOMPLISHED BY THE TEMPORARY INSTALLATION OF 4 FOOT HIGH SNOW FENCE OR BLAZE ORANGE SAFETY FENCE AT THE JOB LINE.
CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL MATERIAL IN THE PROPER PLANTING SEASON FOR EACH PLANT TYPE. ALL PLANTING IS TO BE COMPLETED WITHIN THE GROWING SEASON OF COMPLETION OF SITE CONSTRUCTION.
SOIL SHALL BE BASE ON ACTUAL SITE CONDITIONS. NO EXTRA PAYMENT SHALL BE MADE FOR WORK ARISING FROM SITE CONDITIONS DIFFERING FROM THOSE INDICATED ON DRAWINGS AND SPECIFICATIONS.
PLANT QUANTITIES ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF RECOGNIZABLE GAPS BETWEEN QUANTITIES SHOWN ON PLAN AND THOSE SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLANT LIST PRECEDE.
ALL ORDERS SHALL BE PLANTED IN CONTINUOUS TRENCHES OR PREPARED PLANTING BEDS AND MULCHED WITH COMPOSTED HARDWOOD MULCH AS DETAILS AND SPECIFIED EXCEPT WHERE NOTED ON PLANS.
POSITIVE DRAINAGE SHALL BE MAINTAINED IN PLANTING BEDS & PERCENT SLOPES.
PLANTING BEDS SHALL BE AS FOLLOWS: DECIDUOUS PLANTS - TWO PARTS TOPSOIL, ONE PART WELL-AERATED COM OR OTHER PREFERRED ORGANIC MATERIAL, AND 3 LBS. OF GRANULATED FERTILIZER PER CUBIC YARD OF PLANTING MIX. EVERGREEN PLANTS - TWO PARTS TOPSOIL, ONE PART WOOD CHIPS OR OTHER PREFERRED ORGANIC MATERIAL, AND 3 LBS. OF EVERGREEN SIZED FERTILIZER PER CUBIC YARD OF PLANTING MIX. TOPSOIL SHALL CONFORM TO THE LANDSCAPE GUIDELINES.
WOOD CHIPS: INCORPORATE A RED-ANTHRAQUINONE INTO THE PLANTING MIX FOLLOWING RECOMMENDED RATES ON THE LABEL. CAUTION: BE SURE TO CAREFULLY CHECK THE CHEMICAL LABEL TO ASSURE ITS ADAPTABILITY TO THE SPECIFIC GRASS TO BE TREATED.
ALL AREAS WITHIN CONTRACT LIMITS DISTURBED DURING OR PRIOR TO CONSTRUCTION NOT DESIGNATED TO RECEIVE PLANTS AND MULCH SHALL BE FINE GRADED AND SEEDED. THIS PLAN IS INTENDED FOR LANDSCAPE USE ONLY. SEE OTHER PLAN SHEETS FOR MORE INFORMATION ON GRADING, SOILBENT CONTROL, LAYOUT, ETC.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10275 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21114
410.481.2955



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE 12/31/14.

TERRELL A. FISHER, PROFESSIONAL ENGINEER DATE: *11/14/12*

AS-BUILT CERTIFICATION
Note: There is no "AS BUILT" information provided on this sheet.

CHARLES J. FISHER, SE. NO. 13224 DATE: *11/14/12*

BUILDERS
NV HOMES 6085 MARSHALLE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-5956
RYAN HOMES 6085 MARSHALLE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956

DEVELOPER
WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLICOTT CITY, MARYLAND 21042
443-367-0422

OWNERS
WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLICOTT CITY, MARYLAND 21042
443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Victor Shandor Chief, Division of Land Development DATE: *12/19/12*

Deborah M. Long Chief, Development Engineering Division DATE: *12/19/12*

Director - Department of Planning and Zoning DATE: *12/19/12*

PROJECT: GTW'S WAVERLY WOODS SECTION: 14 PARCEL NO.: "E" PHASE 5, 14B, 14C, 14D, 14E, 14F, 14G, 14H, 14I, 14J, 14K, 14L, 14M, 14N, 14O, 14P, 14Q, 14R, 14S, 14T, 14U, 14V, 14W, 14X, 14Y, 14Z, 14AA, 14AB, 14AC, 14AD, 14AE, 14AF, 14AG, 14AH, 14AI, 14AJ, 14AK, 14AL, 14AM, 14AN, 14AO, 14AP, 14AQ, 14AR, 14AS, 14AT, 14AU, 14AV, 14AW, 14AX, 14AY, 14AZ, 14BA, 14BB, 14BC, 14BD, 14BE, 14BF, 14BG, 14BH, 14BI, 14BJ, 14BK, 14BL, 14BM, 14BN, 14BO, 14BP, 14BQ, 14BR, 14BS, 14BT, 14BU, 14BV, 14BW, 14BX, 14BY, 14BZ, 14CA, 14CB, 14CC, 14CD, 14CE, 14CF, 14CG, 14CH, 14CI, 14CJ, 14CK, 14CL, 14CM, 14CN, 14CO, 14CP, 14CQ, 14CR, 14CS, 14CT, 14CU, 14CV, 14CW, 14CX, 14CY, 14CZ, 14DA, 14DB, 14DC, 14DD, 14DE, 14DF, 14DG, 14DH, 14DI, 14DJ, 14DK, 14DL, 14DM, 14DN, 14DO, 14DP, 14DQ, 14DR, 14DS, 14DT, 14DU, 14DV, 14DW, 14DX, 14DY, 14DZ, 14EA, 14EB, 14EC, 14ED, 14EE, 14EF, 14EG, 14EH, 14EI, 14EJ, 14EK, 14EL, 14EM, 14EN, 14EO, 14EP, 14EQ, 14ER, 14ES, 14ET, 14EU, 14EV, 14EW, 14EX, 14EY, 14EZ, 14FA, 14FB, 14FC, 14FD, 14FE, 14FF, 14FG, 14FH, 14FI, 14FJ, 14FK, 14FL, 14FM, 14FN, 14FO, 14FP, 14FQ, 14FR, 14FS, 14FT, 14FU, 14FV, 14FW, 14FX, 14FY, 14FZ, 14GA, 14GB, 14GC, 14GD, 14GE, 14GF, 14GG, 14GH, 14GI, 14GJ, 14GK, 14GL, 14GM, 14GN, 14GO, 14GP, 14GQ, 14GR, 14GS, 14GT, 14GU, 14GV, 14GW, 14GX, 14GY, 14GZ, 14HA, 14HB, 14HC, 14HD, 14HE, 14HF, 14HG, 14HH, 14HI, 14HJ, 14HK, 14HL, 14HM, 14HN, 14HO, 14HP, 14HQ, 14HR, 14HS, 14HT, 14HU, 14HV, 14HW, 14HX, 14HY, 14HZ, 14IA, 14IB, 14IC, 14ID, 14IE, 14IF, 14IG, 14IH, 14II, 14IJ, 14IK, 14IL, 14IM, 14IN, 14IO, 14IP, 14IQ, 14IR, 14IS, 14IT, 14IU, 14IV, 14IW, 14IX, 14IY, 14IZ, 14JA, 14JB, 14JC, 14JD, 14JE, 14JF, 14JG, 14JH, 14JI, 14JJ, 14JK, 14JL, 14JM, 14JN, 14JO, 14JP, 14JQ, 14JR, 14JS, 14JT, 14JU, 14JV, 14JW, 14JX, 14JY, 14JZ, 14KA, 14KB, 14KC, 14KD, 14KE, 14KF, 14KG, 14KH, 14KI, 14KJ, 14KK, 14KL, 14KM, 14KN, 14KO, 14KP, 14KQ, 14KR, 14KS, 14KT, 14KU, 14KV, 14KW, 14KX, 14KY, 14KZ, 14LA, 14LB, 14LC, 14LD, 14LE, 14LF, 14LG, 14LH, 14LI, 14LJ, 14LK, 14LL, 14LM, 14LN, 14LO, 14LP, 14LQ, 14LR, 14LS, 14LT, 14LU, 14LV, 14LW, 14LX, 14LY, 14LZ, 14MA, 14MB, 14MC, 14MD, 14ME, 14MF, 14MG, 14MH, 14MI, 14MJ, 14MK, 14ML, 14MN, 14MO, 14MP, 14MQ, 14MR, 14MS, 14MT, 14MU, 14MV, 14MW, 14MX, 14MY, 14MZ, 14NA, 14NB, 14NC, 14ND, 14NE, 14NF, 14NG, 14NH, 14NI, 14NJ, 14NK, 14NL, 14NM, 14NO, 14NP, 14NQ, 14NR, 14NS, 14NT, 14NU, 14NV, 14NW, 14NX, 14NY, 14NZ, 14OA, 14OB, 14OC, 14OD, 14OE, 14OF, 14OG, 14OH, 14OI, 14OJ, 14OK, 14OL, 14OM, 14ON, 14OO, 14OP, 14OQ, 14OR, 14OS, 14OT, 14OU, 14OV, 14OW, 14OX, 14OY, 14OZ, 14PA, 14PB, 14PC, 14PD, 14PE, 14PF, 14PG, 14PH, 14PI, 14PJ, 14PK, 14PL, 14PM, 14PN, 14PO, 14PP, 14PQ, 14PR, 14PS, 14PT, 14PU, 14PV, 14PW, 14PX, 14PY, 14PZ, 14QA, 14QB, 14QC, 14QD, 14QE, 14QF, 14QG, 14QH, 14QI, 14QJ, 14QK, 14QL, 14QM, 14QN, 14QO, 14QP, 14QQ, 14QR, 14QS, 14QT, 14QU, 14QV, 14QW, 14QX, 14QY, 14QZ, 14RA, 14RB, 14RC, 14RD, 14RE, 14RF, 14RG, 14RH, 14RI, 14RJ, 14RK, 14RL, 14RM, 14RN, 14RO, 14RP, 14RQ, 14RR, 14RS, 14RT, 14RU, 14RV, 14RW, 14RX, 14RY, 14RZ, 14SA, 14SB, 14SC, 14SD, 14SE, 14SF, 14SG, 14SH, 14SI, 14SJ, 14SK, 14SL, 14SM, 14SN, 14SO, 14SP, 14SQ, 14SR, 14SS, 14ST, 14SU, 14SV, 14SW, 14SX, 14SY, 14SZ, 14TA, 14TB, 14TC, 14TD, 14TE, 14TF, 14TG, 14TH, 14TI, 14TJ, 14TK, 14TL, 14TM, 14TN, 14TO, 14TP, 14TQ, 14TR, 14TS, 14TT, 14TU, 14TV, 14TV, 14TW, 14TX, 14TY, 14TZ, 14UA, 14UB, 14UC, 14UD, 14UE, 14UF, 14UG, 14UH, 14UI, 14UJ, 14UK, 14UL, 14UM, 14UN, 14UO, 14UP, 14UQ, 14UR, 14US, 14UT, 14UU, 14UV, 14UV, 14UW, 14UX, 14UY, 14UZ, 14VA, 14VB, 14VC, 14VD, 14VE, 14VF, 14VG, 14VH, 14VI, 14VJ, 14VK, 14VL, 14VM, 14VN, 14VO, 14VP, 14VQ, 14VR, 14VS, 14VT, 14VU, 14VV, 14VW, 14VX, 14VY, 14VZ, 14WA, 14WB, 14WC, 14WD, 14WE, 14WF, 14WG, 14WH, 14WI, 14WJ, 14WK, 14WL, 14WM, 14WN, 14WO, 14WP, 14WQ, 14WR, 14WS, 14WT, 14WU, 14WV, 14WW, 14WX, 14WY, 14WZ, 14XA, 14XB, 14XC, 14XD, 14XE, 14XF,



SYMBOL	DESCRIPTION
(Dashed line)	EXISTING CONTOUR 2' INTERVAL
(Dotted line)	PROPOSED CONTOUR 2' INTERVAL
(Circle with dot)	SPOT ELEVATION
(Square with dot)	WALKOUT BASEMENT
(Line with cross-ticks)	SILT FENCE
(Line with triangles)	SUPER SILT FENCE
(Line with circles)	EROSION CONTROL MATING
(Line with dots)	LIMIT OF DISTURBANCE
(Circle with cross)	STREET LIGHT PER F-09-057
(Line with 'X' marks)	UNMITIGATED 654BA NOISE LINE
(Line with 'S' marks)	PROPOSED STORM DRAIN PIPE
(Line with 'S' marks)	PROPOSED SEWER
(Line with 'S' marks)	15% to 24.9% Slope
(Sun symbol)	EXISTING LANDSCAPING PER SDP-09-037
(Tree symbol)	EXISTING STREET TREES PER F-09-057
(Triangle symbol)	REVERSE GLITTER PAN SLOPE
(Line with 'S' marks)	EXISTING STORMDRAIN
(Line with 'S' marks)	EXISTING SEWER
(Line with 'S' marks)	EXISTING WATER
(Line with 'S' marks)	EXISTING WATER/SEWER & UTILITY EASEMENT
(Tree symbol)	EXISTING STREET TREES

SCALE 1"=50'

NO.	REVISION	DATE
7	REV. TREE LOCATIONS PER IMPECCOR & HOMEOWNERS ASSOCIATION	9/3/10
6	REV. TO ADD PER QUOTE FOR P&I-III & ADD PHASE V TO 907-09-199	10/31/10
5	REV. TO ADD PER QUOTE FOR F-10-101	12/17/10
4	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
3	REV. PER ADDITION APPH PHASE 4 BLDGS & 5-06-13 PHASING TAB AND ADJUSTMENTS ASSOCIATED WITH INTERIOR TOWNHOUSE UNIT.	12/19/11
2	REV. TO ADD FEE SIMPLE LOTS REV EASEMENT PER F-10-101 AND PRODUCE PUBLIC SCHEM	12/6/10
1	REV. PER ADDITION APPH PHASE 3 BLDGS & 5-06-13 PHASING TAB	3/24/10



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 117412 EXPIRATION DATE IS 3/31/14.

TERRELL A. FISHER, PROFESSIONAL ENGINEER 11/14/12 DATE

AS-BUILT CERTIFICATION
 Note: There is no "AS BUILT" information provided on this sheet.

Charles J. Ochoa, Jr. 11/6/13 DATE
 CHARLES J. OCHOA, JR. No 12224

BUILDERS	
NV HOMES 6085 MARSHALLEE DRIVE SUITE 130 ELKRIDGE, MD. 21075 410-379-5956	RYAN HOMES 6085 MARSHALLEE DRIVE SUITE 140 ELKRIDGE, MD. 21075 410-379-5956
DEVELOPER	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-367-0422	
OWNERS	
WAVERLY WOODS DEVELOPMENT CORPORATION, C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-367-0422	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Kate... 12/19/12 Date
 Chief, Division of Land Development

... 12/18/12 Date
 Chief, Development Engineering Division

Director - Department of Planning and Zoning

PROJECT	SECTION	PARCEL NO. 'E'
GTW'S WAVERLY WOODS	14	PHASES 3, 4 & 5 1409 5TH ST. THRU 15TH ST. 100-105, 178-231 & 240-250
PLA:	BLOCK NO.	ZONE
SEE GENERAL NOTE # 91	3 & 4	PSC
TAX/ZONE	ELEC. DIST.	CENSUS TR.
16	THIRD	60300
WATER CODE	SEWER CODE	
K-02	5992000	

REVISED STREET TREE AND LANDSCAPE PLAN

**AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"**

PHASES 3, 4 & 5
1409 5TH ST. THRU 15TH ST. 100-105,
178-231 & 240-250
TOWNHOUSE & SINGLE FAMILY HOMES

ZONING: PSC
 TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: DECEMBER, 2012
 SHEET 67 OF 100 SDP-09-039

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

MATCH LINE SEE SHEET 70

MATCH LINE SEE SHEET 67

LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
•	SPOT ELEVATION
---	WALKOUT BASEMENT
---	SILT FENCE
---	SUPER SILT FENCE
---	EROSION CONTROL MATTING
---	LIMIT OF DISTURBANCE
○	STREET LIGHT PER F-09-057
---	UNMITIGATED 65DBA NOISE LINE
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED SEWER
---	15% to 24.9% Slope
☀	EXISTING LANDSCAPING PER SDP-09-037
🌳	EXISTING STREET TREES PER F-09-057
---	REVERSE GLITTER PAN SLOPE
---	EXISTING STORMDRAIN
---	EXISTING SEWER
---	EXISTING WATER
---	EXISTING WATER, SEWER & UTILITY EASEMENT
---	EXISTING STREET TREES



PART OF P2

PART OF P1

SCALE 1"=50'

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 3072 BALTIMORE NATIONAL FREE
 ELLICOTT CITY, MARYLAND 21114
 410-461-2000



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/31/14.
 Terrell A. Fisher, PROFESSIONAL ENGINEER, DATE 11/14/12

AS-BUILT CERTIFICATION
 Note: There is no "AS BUILT" information provided on this sheet.
 Date 11/14/12

BUILDERS
 NY HOMES 6085 MARSHALEE DRIVE SUITE 130 ELKRIDGE, MD. 21075 410-379-5956
 RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELKRIDGE, MD. 21075 410-379-5956

DEVELOPER
 WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042 443-367-0422

OWNERS
 WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Chief, Division of Land Development
 Chief, Development Engineering Division
 Director - Department of Planning and Zoning

PROJECT: GTW'S WAVERLY WOODS
 PLAT: 3 & 4
 BLOCK NO.: 3 & 4
 ZONE: PSC
 TAX/ZONE: 16
 ELEC. DIST.: THRD
 CENSUS TR.: 60300
 WATER CODE: K-02
 SEWER CODE: 5992000

REVISED
STREET TREE AND LANDSCAPE PLAN
 AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
 SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASE II, THRU V LOTS 5, 12 THRU 39, 44 THRU 86, 89 THRU 105, 172 THRU 231 & 240 THRU 309
 TOWNHOUSE & SINGLE FAMILY HOMES

ZONING: PSC
 GRID NO.: 3 & 4
 PARCEL NO.: PART OF 249
 THIRD ELECTION DISTRICT: HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN
 DATE: DECEMBER, 2012
 SHEET 68 OF 100
 SDP-09-039

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

K:\ISSUES\PROJ\03770 GTW WEST\Construction Documents\Timeline Phase 4 Fee Simple 78 Lots\Construction Document - 30770 Sheet 66-74 Landscape Plans.dwg, Sheet 68, 11/14/2012 11:13:37 AM, 11



LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
306.2	SPOT ELEVATION
OBSC	WALKOUT BASEMENT
-SF-SF	SILT FENCE
-50F-55F	SUPER SILT FENCE
ECM	EROSION CONTROL MATTING
---	LIMIT OF DISTURBANCE
---	STREET LIGHT PER F-09-057
---	UNMITIGATED 65DBA NOISE LINE
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED SEWER
---	15% to 24.9% Slope
	EXISTING LANDSCAPING PER 50P-09-037
	EXISTING STREET TREES PER F-09-057
	REVERSE GUTTER PAN SLOPE
	EXISTING STORMDRAIN
	EXISTING SEWER
	EXISTING WATER
	EXISTING WATER, SEWER & UTILITY EASEMENT
	EXISTING STREET TREES

SCALE
1"=50'

REVISED

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PKWY
 ELLICOTT CITY, MARYLAND 21042
 410 461-2955

NO.	REVISION	DATE
C	REV. TO ADD PER SIMPLE LOTS PER P14-111 & ADD PHASE V TO 09-09-099	10/31/14
5	REV. TO ADD PER SIMPLE LOTS PER F-13-101	12/17/13
4	REV. TO ADD PER SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
3	REV. PER ADDITION APPO PHASE 4 BLDGS & 5-06-13 PHASING TAB	12/19/11
2	REV. TO ADD PER SIMPLE LOTS REV EASEMENT PER F-10-113 AND DELICATE PUBLIC SQUARE	12/6/10
1	REV. PER ADDITION APPO PHASE 3 BLDGS & 5-06-13 PHASING TAB	3/24/10

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 119204 EXPIRES 12/31/14

Terrell A. Fisher
 TERRELL A. FISHER, PROFESSIONAL ENGINEER 11/9/14 DATE

AS-BUILT CERTIFICATION
 Note: There is no "AS BUILT" information provided on this sheet.

Charles J. Brown, Jr.
 CHARLES J. BROWN, JR. No. 19204 Date 11/6/14

BUILDERS

NV HOMES 6085 MARSHALEE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-5956

RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956

DEVELOPER
 WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 443-367-0422

OWNERS
 WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

John T. Schuch 2/10/14
 Chief, Division of Land Development Date

John T. Schuch 2-10-14
 Chief, Development Engineering Division Date

Manisha K. Verma 2/10/14
 Director - Department of Planning and Zoning Date

PROJECT: GTW'S WAVERLY WOODS SECTION: 14 PARCEL NO. 'E' PHASE II, 12 THRU 20, 44 THRU 66, 80 THRU 105, 172 THRU 231 & 240 THRU 309

PLAT PER GENERAL NOTE #B1	BLOCK NO. 3 & 4	ZONE PSC	TAX/ZONE 16	ELEC. DIST. THIRD	CENSUS TR. 60300
WATER CODE K-02	SEWER CODE 5992000				

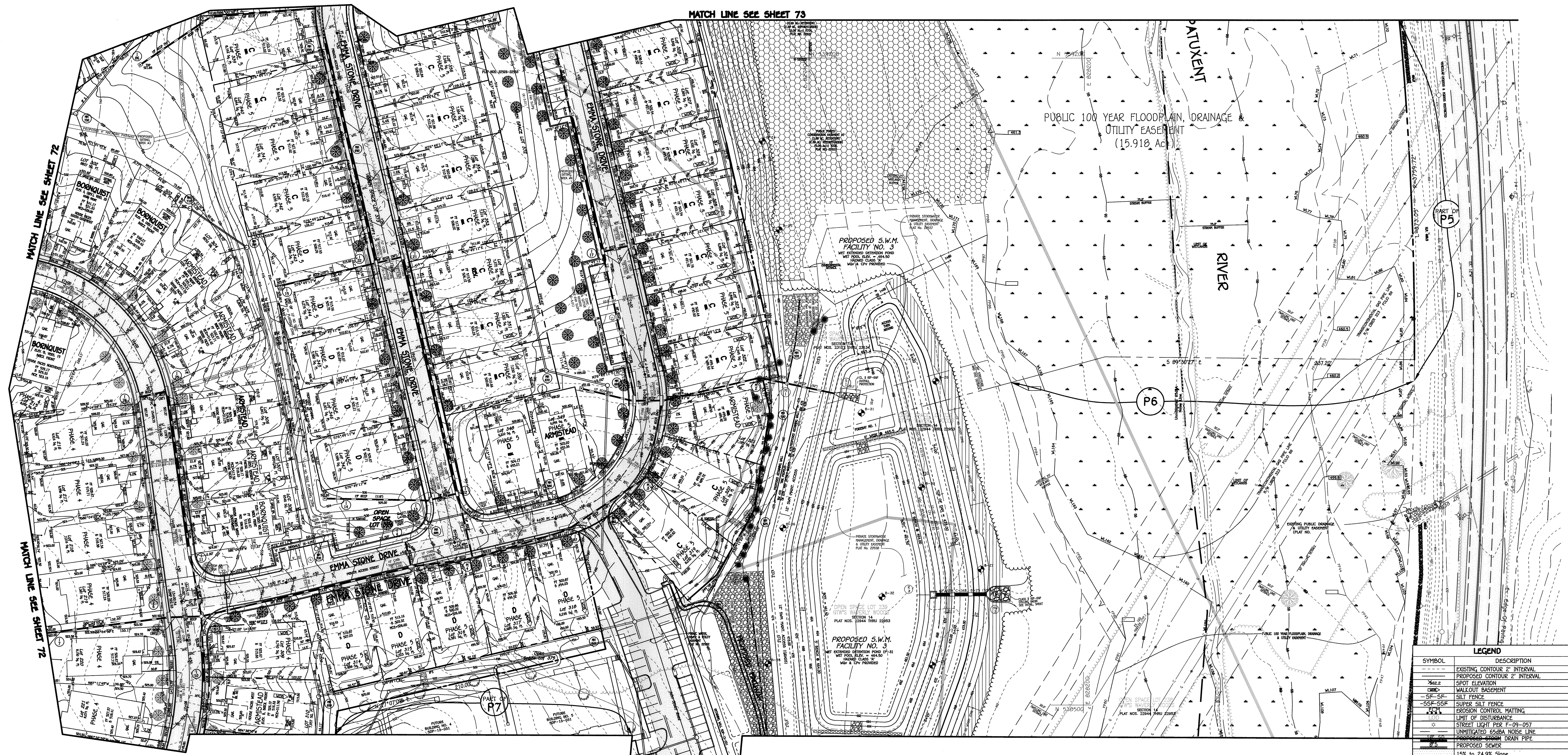
STREET TREE AND LANDSCAPE PLAN

AGE RESTRICTED ADULT HOUSING
 GTW'S WAVERLY WOODS
 SECTION 14

"THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASES II, THRU V LOTS 3, 12 THRU 20, 44 THRU 66, 80 THRU 105, 172 THRU 231 & 240 THRU 309
 TOWNHOUSE & SINGLE FAMILY HOMES

ZONING: PSC
 TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: DECEMBER, 2013
 SHEET 69 OF 100 SDP-09-039

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET



MATCH LINE SEE SHEET 73

MATCH LINE SEE SHEET 72

MATCH LINE SEE SHEET 72

MATCH LINE SEE SHEET 69

PUBLIC 100 YEAR FLOODPLAIN, DRAINAGE & UTILITY EASEMENT (15.918 AC)

PROPOSED S.W.M. FACILITY NO. 3
NET EXTENDED DETENTION POND
NET FLOOD STORAGE = 694.50
WARD CLASS OF
WORK IS CITY PROVIDED

PROPOSED S.W.M. FACILITY NO. 3
NET EXTENDED DETENTION POND (P-3)
NET FLOOD STORAGE = 694.50
WARD CLASS OF
WORK IS CITY PROVIDED

SCALE
1"=50'

LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
SPOT ELEVATION	SPOT ELEVATION
---	WALKOUT BASEMENT
---	SILT FENCE
---	SUPER SILT FENCE
---	EROSION CONTROL MATTING
---	LIMIT OF DISTURBANCE
---	STREET LIGHT PER F-09-057
---	UNMITIGATED 65DBA NOISE LINE
---	PROPOSED 60MM DRAIN PIPE
---	PROPOSED SEWER
---	15% to 24.9% Slope
---	EXISTING LANDSCAPING PER S0P-09-037
---	EXISTING STREET TREES PER F-09-057
---	REVERSE CUTTER PAN SLOPE
---	EXISTING STORMDRAIN
---	EXISTING SEWER
---	EXISTING WATER
---	EXISTING WATER, SEWER & UTILITY EASEMENT
---	EXISTING STREET TREES

NO.	REVISION	DATE
7	REV. PATHWAY	10/9/10
6	REV. STREET TREES FOR PHASE 5 TO S0P-09-039	5/01/15
5	REV. TO ADD FEE SIMPLE LOTS PER F-13-101	12/17/13
4	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
3	REV. PER ADDITION OF APFO PHASE 4 BLDGS & S-06-13 PHASING TAB	12/19/11
2	REV. TO ADD FEE SIMPLE LOTS PER F-10-113	1/12/11
1	REV. PER ADDITION OF APFO PHASE 3 BLDGS & S-06-13 PHASING TAB	3/24/10



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 97577 EXPIRATION DATE 3/31/16.

TERRELL A. FISHER, PROFESSIONAL ENGINEER
DATE: 7/14/15

AS-BUILT CERTIFICATION
Note: There is no "AS BUILT" information provided on this sheet.

DATE: 11/6/18

BUILDERS	
NV HOMES 6085 MARSHALLEE DRIVE SUITE 130 ELKRIDGE, MD. 21075 410-379-5956	RYAN HOMES 6085 MARSHALLEE DRIVE SUITE 140 ELKRIDGE, MD. 21075 410-379-5956
DEVELOPER	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-367-0422	
OWNERS	
WAVERLY WOODS DEVELOPMENT CORPORATION, C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-367-0422	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development
Date: 7-21-15

Chief, Development Engineering Division
Date: 7-24-15

Director - Department of Planning and Zoning
Date: 8-4-15

PROJECT	SECTION	PARCEL NO. 'E'
GTW'S WAVERLY WOODS	14	PHASE 5 THRU 10 LOTS 5, 12 THRU 39, 44 THRU 86, 89 THRU 165, 172 THRU 231 & 240 THRU 369

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
SEE GENERAL NOTE # 51	3 & 4	PSC	16	THIRD	60300

WATER CODE: K-02
SEWER CODE: 5992000

REVISED

STREET TREE AND LANDSCAPE PLAN

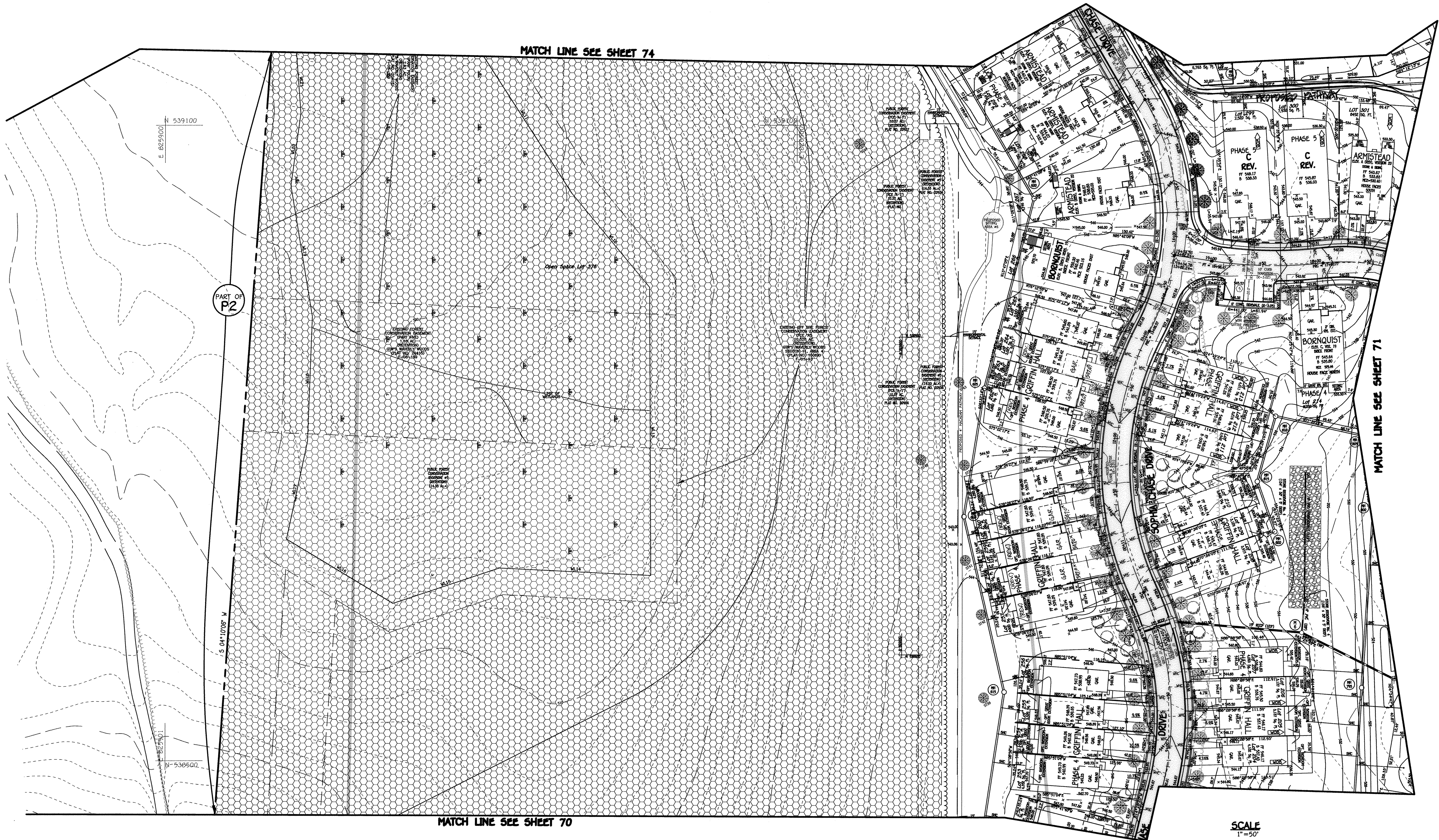
AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
SECTION 14

"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASES II, THRU V LOTS 5, 12 THRU 39, 44 THRU 86, 89 THRU 165, 172 THRU 231 & 240 THRU 369
TOWNHOUSE & SINGLE FAMILY HOMES

TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: MAY, 2015
SHEET 71 OF 100 S0P-09-039

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

K:\SSDK\PC\30770 GTW WEST\Jung\Construction Documents\Baseline Phase 3 Revised Road 12-22-14\Construction Documents\Baseline Phase 3 Revised Road 12-22-14\Construction Documents - 30770 Sheet 66-74 Landscape Plan.dwg, 7/13/2015 11:47:35 AM, 11



LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
•	SPOT ELEVATION
---	WALKOUT BASEMENT
---	SILT FENCE
---	SUPER SILT FENCE
---	EROSION CONTROL MATTING
---	LIMIT OF DISTURBANCE
○	STREET LIGHT PER F-09-057
---	UNMITIGATED 65dBA NOISE LINE
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED SEWER
---	15% to 24.9% Slope
☀	EXISTING LANDSCAPING PER S0P-09-037
🌳	EXISTING STREET TREES PER F-09-057
---	REVERSE GUTTER PAN SLOPE
---	EXISTING STORMDRAIN
---	EXISTING SEWER
---	EXISTING WATER
---	EXISTING WATER, SEWER & UTILITY EASEMENT
🌳	EXISTING STREET TREES

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042
 (410) 461-1395



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9157 EXPIRATION DATE IS 12/31/15.

Terrell A. Fisher 7/14/15
 TERRELL A. FISHER, PROFESSIONAL ENGINEER DATE

AS-BUILT CERTIFICATION

Note: There is no "AS BUILT" information provided on this sheet.

Charles J. Orzo 11/6/14
 CHARLES J. ORZO, PE NO. 13042 Date

BUILDERS

NV HOMES 6085 MARSHALEE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-5956	RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956
---	---

DEVELOPER
 WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELICOTT CITY, MARYLAND 21042
 443-367-0422

OWNERS
 WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELICOTT CITY, MARYLAND 21042
 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Karl Schulz 7-31-15
 Chief, Division of Land Development Date

John P. ... 7-24-15
 Chief, Development Engineering Division, Date

Walter ... 8-4-15
 Director - Department of Planning and Zoning Date

PROJECT	SECTION	PARCEL NO.
GTW'S WAVERLY WOODS	14	PHASE 3 THRU V LOTS 5, 12 THRU 39, 44 THRU 86, 88 THRU 165, 172 THRU 231 & 240 THRU 369
PLAT SEE GENERAL NOTE # 51	BLOCK NO. 3 & 4	ZONE PSC
WATER CODE K-02	TAX/ZONE 16	ELEC. DIST. THIRD
	SEWER CODE 5992000	CENSUS TR. 60300

REVISED

STREET TREE AND LANDSCAPE PLAN

AGE RESTRICTED ADULT HOUSING
 GTW'S WAVERLY WOODS
 SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASES II, THRU V LOTS 5, 12 THRU 39, 44 THRU 86, 88 THRU 165, 172 THRU 231 & 240 THRU 369
 TOWNHOUSE & SINGLE FAMILY HOMES

TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: MAY, 2015
 SHEET 72 OF 100 S0P-09-039

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

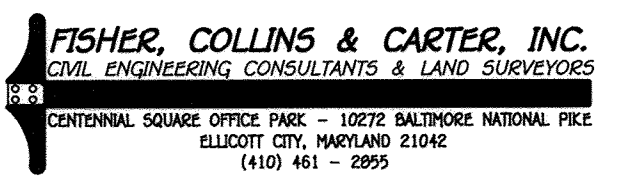


SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
•	SPOT ELEVATION
---	WALKOUT BASEMENT
---	SILT FENCE
---	SUPER SILT FENCE
---	EROSION CONTROL MATING
---	LIMIT OF DISTURBANCE
---	STREET LIGHT PER F-09-057
---	UNMITIGATED 65dBA NOISE LINE
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED SEWER
---	15% to 24.9% slope
---	EXISTING LANDSCAPING PER SOP-09-037
---	EXISTING STREET TREES PER F-09-057
---	REVERSE CLITTER PAN SLOPE
---	EXISTING STORMDRAIN
---	EXISTING SEWER
---	EXISTING WATER
---	EXISTING WATER,SEWER & UTILITY EASEMENT
---	EXISTING STREET TREES

MATCH LINE SEE SHEET 71

SCALE
1"=50'

REVISED



NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER F-13-101	12/17/13
2	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
3	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
4	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
5	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
6	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
7	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
8	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
9	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
10	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
11	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
12	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
13	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
14	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
15	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
16	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
17	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
18	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
19	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
20	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/3/16.

Terrell A. Fisher 7/1/15
TERRELL A. FISHER, PROFESSIONAL ENGINEER DATE

AS-BUILT CERTIFICATION
Note: There is no "AS BUILT" information provided on this sheet.

Charles J. O'Connell 11/6/15
CHARLES J. O'CONNOR, PE, NO. 13204 Date

BUILDERS

NV HOMES 6085 MARSHALEE DRIVE SUITE 130 ELKRIDGE, MD. 21075 410-379-5956

RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELKRIDGE, MD. 21075 410-379-5956

DEVELOPER
WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLICOTT CITY, MARYLAND 21042
443-367-0422

OWNERS
WAVERLY WOODS DEVELOPMENT CORPORATION,
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLICOTT CITY, MARYLAND 21042
443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Ket Shal... 7-24-15
Chief, Division of Land Development Date

William J. ... 8-4-15
Chief, Development Engineering Division Date

Director - Department of Planning and Zoning

PROJECT	SECTION	PARCEL NO. "E"
GTW'S WAVERLY WOODS	14	PHASE II THRU 'V' LOTS 5, 12 THRU 39, 44 THRU 66, 68 THRU 105, 172 THRU 231 & 240 THRU 309
PLAT	BLOCK NO.	ZONE
SEE GENERAL NOTE # 51	3 & 4	PSC
TAX/ZONE	ELEC. DIST.	CENSUS TR.
16	THIRD	60300
WATER CODE	SEWER CODE	
K-02	5992000	

STREET TREE AND LANDSCAPE PLAN

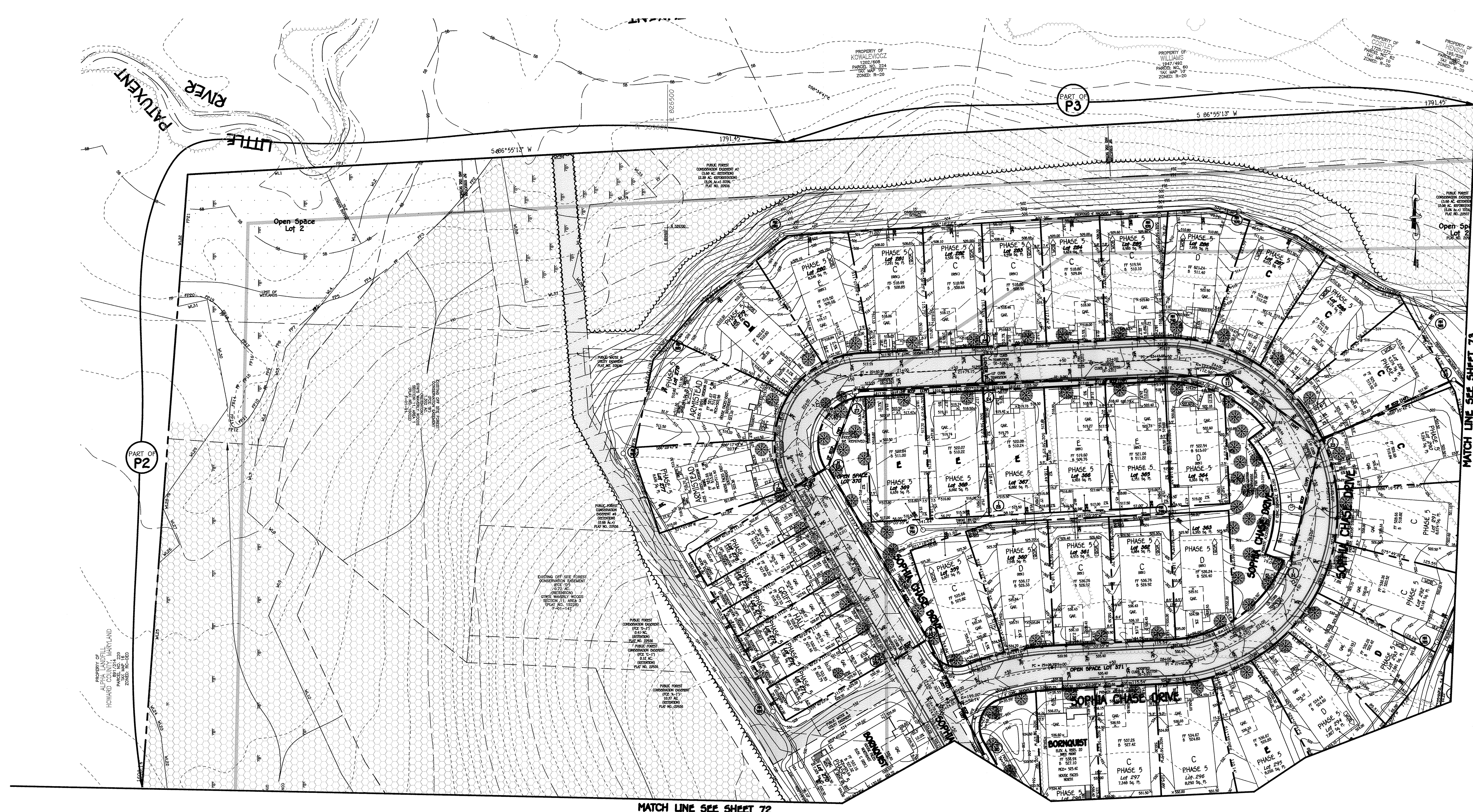
AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
SECTION 14

"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASES I, THRU V LOTS 5, 12 THRU 39, 44 THRU 66, 68 THRU 105, 172 THRU 231 & 240 THRU 309
TOWNHOUSE & SINGLE FAMILY HOMES

TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: MAY, 2015
SHEET 73 OF 100

ZONING: PSC
DATE: MAY, 2015
SHEET 73 OF 100

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET



LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
▲	SPOT ELEVATION
---	WALKOUT BASEMENT
---	SILT FENCE
---	SUPER SILT FENCE
---	EROSION CONTROL MATTING
---	LIMIT OF DISTURBANCE
---	STREET LIGHT PER F-09-057
---	UNMITIGATED 65dBA NOISE LINE
---	PROPOSED STORM DRAIN PIPE
---	15% to 24.9% Slope
☀	EXISTING LANDSCAPING PER 50P-09-037
🌳	EXISTING STREET TREES PER F-09-057
---	REVERSE GUTTER PAN SLOPE
---	EXISTING STORMDRAIN
---	EXISTING SEWER
---	EXISTING WATER
---	EXISTING WATER,SEWER & UTILITY EASEMENT
---	EXISTING STREET TREES

MATCH LINE SEE SHEET 72

SCALE
1"=50'

REVISED



NO.	REVISION	DATE
4	REV. STREET TREES FOR PHASE 5 TO 50P-09-039	5/01/15
3	REV. TO ADD FEE SIMPLE LOTS PER F-11-111 AND PHASE V TO 50P-09-039	10/31/14
2	REV. TO ADD FEE SIMPLE LOTS PER F-13-101	12/17/13
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/31/16.

Terrell A. Fisher 7/16/15
TERRELL A. FISHER, PROFESSIONAL ENGINEER DATE

AS-BUILT CERTIFICATION
Note: There is no "AS BUILT" information provided on this sheet.
Charles J. Okoro 11/6/15
CHARLES J. OKORO, P.E. NO. 19104 Date

DEVELOPER		BUILDERS		OWNERS	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELICOTT CITY, MARYLAND 21042 443-367-0422		RYAN HOMES 6085 MARSHALLE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-5956	RYAN HOMES 6085 MARSHALLE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956		

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Kate Delaney 7-21-15
Chief, Division of Land Development Date

John G. ... 7-24-15
Chief, Development Engineering Division Date

William ... 8-4-15
Director - Department of Planning and Zoning Date

PROJECT	SECTION	PARCEL NO.
GTW'S WAVERLY WOODS	14	PHASE 5 THRU V LOTS 5, 12 THRU 35, 44 THRU 60, 69 THRU 105, 172 THRU 231 & 240 THRU 309

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
SEE GENERAL NOTE # 51	3 & 4	PSC	16	THIRD	60300

WATER CODE: K-02
SEWER CODE: 5992000

STREET TREE AND LANDSCAPE PLAN

AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASES I, THRU V LOTS 5, 12 THRU 35, 44 THRU 60, 69 THRU 105, 172 THRU 231 & 240 THRU 309
TOWNHOUSE & SINGLE FAMILY HOMES

TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: MAY, 2015
SHEET 74 OF 100

50P-09-039

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

THE COURTYARDS @ WAVERLY WOODS - WEST
 AMENDED DEVELOPMENT CRITERIA CHART

THE COURTYARDS @ WAVERLY WOODS - WEST
 S-06-013
 AMENDED DEVELOPMENT CRITERIA
 LANDSCAPING/SCREENING COMPARISON CHART
 PERIMETER LANDSCAPE TYPES - BASED ON ADJACENT LAND USE

SINGLE FAMILY DETACHED AND ATTACHED UNITS	
Bulk Regulations	Proposed 'PDP' on S-06-013
1. Maximum Density	8 D.U. per Net Acre
2. Minimum Structure & Use Setbacks	
a). From Arterial or Collector Public Street R/W	
(1) Structures	
(a) Front or Side	400'
(b) Rear	400'
(2) Uses	200'
b). From Other Public Street R/W	
(1) Structures	
(a) Front or Side	40'
(b) Rear	40'
(2) Uses	20'
3. Maximum Units per Structure	
a. SFA Villas	8-units
b. Building Length	210' (with max. of 250')
4. Maximum Height Shall Not Exceed	
a. SFA Villas, Detached Dwellings	40'
b. Pool House and Community Bldg.	34' (per PSC Zoning Regs.)
c. Accessory Structure	15'*
5. Minimum Distance between attached dwelling Villas or between Single Family Attached and Detached Dwelling Villas	
a. Face to Face	50'
b. Face to Side or Rear to Side	30'
c. Side to Side	15'
d. Rear to Rear	60'
e. Rear to face	100'*
6. Minimum Distance between both SFA Villas and Single Family Detached and edge of Private Roadway & Parking	
a. Front	20'
b. Side	15'
c. Rear	40'
d. Accessory Structure	30'***
7. Minimum Distance between Single Family Detached Dwellings	
a. Face to Face	50'
b. Face to Side or Rear to Side	30'
c. Side to Side	15'
d. Rear to Rear	40'
e. Rear to Face	75'*

* Excluding any Pool House and Community Building
 ** Including recreational amenities (gazebos, pool, pool house, community building)

THE COURTYARDS @ WAVERLY WOODS - WEST
 (S-06-013)
 AMENDED DEVELOPMENT CRITERIA
 LANDSCAPING/SCREENING COMPARISON CHART
 LANDSCAPE EDGE TYPES

SCHEDULE 'B'		
Type	Proposed on S-06-013	Ho. Co. Landscape Manual
Parking Lot Internal Landscaping	1 Tree per 10 spaces	1 Tree per 10 spaces

SCHEDULE 'C'		
Residential Development Internal Landscaping	Proposed on S-06-013	Ho. Co. Landscape Manual
For SFA Villas Units	1 Tree per 1 dwelling unit	1 Tree per 1 dwelling unit

TABLE NO. 1			
Landscape Edge Type "A" (Light Buffer)	As Proposed	Ho. Co. Landscape Manual	Comments
Shade Trees per L.F.	1:60	1:60	
Evergreen Trees per L.F.	0	0	
Shrubs per L.F.	0	0	
Landscape Edge Type "B" (Moderate Buffer)	As Proposed on S-06-013	Ho. Co. Landscape Manual	Comments
Shade Trees per L.F.	1:50	1:50	
Evergreen Trees per L.F.	1:40	1:40	
Shrubs per L.F.	0	0	
Landscape Edge Type "C" (Heavy Buffer)	As Proposed on S-06-013	Ho. Co. Landscape Manual	Comments
Shade Trees per L.F.	1:40	1:40	
Evergreen Trees per L.F.	1:20	1:20	
Shrubs per L.F.	0	0	
Landscape Edge Type "D" (Screen)	As Proposed on S-06-013	Ho. Co. Landscape Manual	Comments
Shade Trees per L.F.	1:60	1:60	
Evergreen Trees per L.F.	1:10	1:10	
Shrubs per L.F.	0	0	
Landscape Edge Type "E" (Parking Adj. to Road)	As Proposed on S-06-013	Ho. Co. Landscape Manual	Comments
Shade Trees per L.F.	1:40	1:40	
Evergreen Trees per L.F.	0	0	
Shrubs per L.F.	1:4	1:4	

THE COURTYARDS @ WAVERLY WOODS - WEST
 (S-06-013)
 AMENDED DEVELOPMENT CRITERIA
 LANDSCAPING/SCREENING COMPARISON CHART
 LANDSCAPING EDGES ADJACENT TO ROADWAYS

TABLE NO. 2				
Land Use	Orientation of Structure to Roadway	Landscape Edge Type (Proposed on S-06-013)	Landscape Edge Type (Per Ho. Co. Manual)	Comments
Single Family Attached Villas	Front	None	None	
Single Family Attached Villas	Side/Rear	C	C	
Single Family Detached	Front	None	None	
Single Family Detached	Side/Rear	B	B	
Non-Residential	Front/Side	B	B	
Non-Residential	Rear-if loading	D	D	
Non-Residential	Rear	C	C	
Parking	N/A	E	E	

THE COURTYARDS @ WAVERLY WOODS - WEST
 (S-06-013)
 AMENDED DEVELOPMENT CRITERIA
 LANDSCAPING/SCREENING COMPARISON CHART
 LANDSCAPE EDGES ADJACENT TO PERIMETER PROPERTIES

TABLE NO. 3				
Land Use	Orientation of Structure to Structure	Landscape Edge Type (Proposed on S-06-013)	Landscape Edge Type (Per Ho. Co. Manual)	Comments
Single Family Detached	All Uses	A	A	
Single Family Attached Villas	SFA	B	B	
Single Family Attached Villas	All Other Uses	A	A	
Non-Residential	Residential	C	C	
Non-Residential	All Other Uses	A	A	

Maximum Limitations	SFD	SFA
Units per structure	N/A	8
Building length	N/A	210 FEET

However, The Director of the Department of Planning and Zoning may approve a greater length, up to a maximum of 250 feet based on a determination that the design of the building will mitigate the visual impact of the increased length.

Parking Requirements	SFD	SFA
Parking Spaces Per Unit	2 Spaces	2 Spaces
Community Building (3.3 Spaces/1,000 sq. ft.)	N/A	N/A

Additional, overflow/guest parking is required in accordance with Table 2.11 of the Design Manual, Volume III, page 2-42.

SEE SHEET 1 FOR THE BEGINNING OF THE DEVELOPMENT CRITERIA.

THE COURTYARDS @ WAVERLY WOODS - WEST
 (S-06-013)
 AMENDED DEVELOPMENT CRITERIA
 PARKING COMPARISON CHART

SINGLE FAMILY ATTACHED AND DETACHED UNITS		
Parking Spaces	Proposed on S-06-013	Ho. Co. Zoning Regulations
	2 Spaces/D.U.	2 Spaces/D.U.

COMMUNITY BUILDING		
Parking Spaces	Proposed on S-06-013	Ho. Co. Zoning Regulations
	* 3.3 Spaces/1,000 Sq. Ft.	10 Spaces/1,000 Sq. Ft.

* PROVIDED 3.3 SPACES/1000 SQ.FT. FLOOR AREA FOR THE 4,490 SQ.FT. COMMUNITY BUILDING OR 15 PARKING SPACES IMMEDIATELY ADJACENT TO THE FACILITY WITH 35 OFF-STREET PARKING SPACES ALONG PROPOSED ROAD 'E' TO COMPLIMENT AN ULTIMATE AVAILABILITY OF 50 PARKING SPACES. IF NEEDED, 10 PARKING SPACES/1000 SQ.FT. FLOOR AREA FOR THE 4,490 SQ.FT. COMMUNITY BUILDING.



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9797 EXPIRATION DATE IS 3/31/14
 TERRILL A. FISHER, PROFESSIONAL ENGINEER 11/14/12 DATE

AS-BUILT CERTIFICATION

Note: There is no "AS BUILT" information provided on this sheet.
 CHARLES J. CRAIG, P.E. NO. 12304 Date 11/16/12

BUILDERS

RYAN HOMES 6095 MARSHALLEE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956
 WAYERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0122

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development 12/16/12 Date
 Chief, Engineering Division 12/18/12 Date
 Director - Department of Planning and Zoning 12/18/12 Date

PROJECT	SECTION	PARCEL NO. 'E'
GTW'S WAVERLY WOODS	14	PHASES II, III & IV LOTS 9, 12 THRU 30, 44 THRU 60, 68 THRU 108, 172 THRU 231 & 240 THRU 260 TOWNHOUSE & SINGLE FAMILY HOMES
PLAT	BLOCK NO.	ZONE
SEE GENERAL NOTE #01	3 & 4	PSC
TAX/ZONE	ELEC. DIST.	CENSUS TR.
16	THIRD	60300
WATER CODE	SEWER CODE	
K-02	5992000	

DEVELOPMENT CRITERIA

AGE RESTRICTED ADULT HOUSING
 GTW'S WAVERLY WOODS
 SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASES II, III & IV LOTS 9, 12 THRU 30, 44 THRU 60, 68 THRU 108, 172 THRU 231 & 240 THRU 260 TOWNHOUSE & SINGLE FAMILY HOMES

ZONING: PSC
 TAX MAP NO: 16 GRID NO: 3 & 4 PARCEL NO: PART OF 249
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: 12/18/12, 2013 SHEET 76 OF 100 SDP-09-039

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET



HILLIS - CARNES ENGINEERING ASSOCIATES, INC.
RECORD OF SOIL EXPLORATION

Project Name: Waverly Woods West Crossing
Location: Howard County, Maryland
Boring No.: B-1
Job #: 07380A

Date: 11/23/07
Surf. Elev.: 450.88
Hammer Wt.: 140 lbs.
Hole Diameter: 6"
Foreman: L. Smith
Inspector: [blank]
Rock Core Diameter: [blank]
Pipe Size: 2"
Boring Method: HSA
Date Completed: 11/23/07

Elevation/Depth	SOIL SAMPLES/ SAMPLE CONDITIONS	Description	Boring and Sampling Notes	Rec.	NM	SPT Blows		SPT Blows/Feet	
						N	N	N	Curves
448.0		Topsoil-6"				1-2-2	4	10	30
447.0		15"	No groundwater encountered while drilling.			3-4-5	10		
446.0		17"				4-5-5	10		
445.0		10"				12-9-7	10		
444.0		18"				2-2-3	4		

Bottom of Boring at 12.0'

SAMPLER TYPE: OPEN END SPT SPOON UNLESS OTHERWISE NOTED
SAMPLE CONDITIONS: D - DISTURBED
AT COMPLETION: Dry
GROUND WATER DEPTH: 5.0'
CAUSE IN DEPTH: 5.0'
BORING METHOD: HSA - HOLLOW STEM AUGERS
PI-PRESSED SHELVEY TUBE: I - INTACT
AFTER 24 HRS.: Dry
CA - CONTINUOUS FLIGHT AUGERS: CFA - CONTINUOUS FLIGHT AUGERS
U - UNSTURBED: U - UNSTURBED
DC - DRIVING CASING: DC - DRIVING CASING
NO - NOISE DRILLING: NO - NOISE DRILLING
HC - ROCK CORE: HC - ROCK CORE



HILLIS - CARNES ENGINEERING ASSOCIATES, INC.
RECORD OF SOIL EXPLORATION

Project Name: Waverly Woods West Crossing
Location: Howard County, Maryland
Boring No.: B-2
Job #: 07380A

Date: 11/23/07
Surf. Elev.: 451.80
Hammer Wt.: 140 lbs.
Hole Diameter: 6"
Foreman: L. Smith
Inspector: [blank]
Rock Core Diameter: [blank]
Pipe Size: 2"
Boring Method: HSA
Date Completed: 11/23/07

Elevation/Depth	SOIL SAMPLES/ SAMPLE CONDITIONS	Description	Boring and Sampling Notes	Rec.	NM	SPT Blows		SPT Blows/Feet	
						N	N	N	Curves
448.0		Topsoil-6"				1-2-3	5	10	30
447.0		10"	No groundwater encountered while drilling.			2-3-3	6		
446.0		12"				4-4-6	12		
445.0		9"				3-2-2	4		
444.0		18"				1-2-2-3	4		

Bottom of Boring at 12.0'

SAMPLER TYPE: OPEN END SPT SPOON UNLESS OTHERWISE NOTED
SAMPLE CONDITIONS: D - DISTURBED
AT COMPLETION: Dry
GROUND WATER DEPTH: 5.0'
CAUSE IN DEPTH: 5.0'
BORING METHOD: HSA - HOLLOW STEM AUGERS
PI-PRESSED SHELVEY TUBE: I - INTACT
AFTER 24 HRS.: Dry
CA - CONTINUOUS FLIGHT AUGERS: CFA - CONTINUOUS FLIGHT AUGERS
U - UNSTURBED: U - UNSTURBED
DC - DRIVING CASING: DC - DRIVING CASING
NO - NOISE DRILLING: NO - NOISE DRILLING
HC - ROCK CORE: HC - ROCK CORE



HILLIS - CARNES ENGINEERING ASSOCIATES, INC.
RECORD OF SOIL EXPLORATION

Project Name: Waverly Woods West Crossing
Location: Howard County, Maryland
Boring No.: B-3
Job #: 07380A

Date: 11/24/07
Surf. Elev.: 452.40
Hammer Wt.: 140 lbs.
Hole Diameter: 6"
Foreman: L. Smith
Inspector: [blank]
Rock Core Diameter: [blank]
Pipe Size: 2"
Boring Method: HSA
Date Completed: 11/24/07

Elevation/Depth	SOIL SAMPLES/ SAMPLE CONDITIONS	Description	Boring and Sampling Notes	Rec.	NM	SPT Blows		SPT Blows/Feet	
						N	N	N	Curves
448.0		Topsoil-6"				1-1-2	3	10	30
447.0		15"	No groundwater encountered while drilling.			1-3-3	6		
446.0		18"				3-2-3	5		
445.0		15"				2-3-4	7		
444.0		18"	Groundwater encountered at 8.0' while drilling.			2-3-3-4	6		

Bottom of Boring at 12.0'

SAMPLER TYPE: OPEN END SPT SPOON UNLESS OTHERWISE NOTED
SAMPLE CONDITIONS: D - DISTURBED
AT COMPLETION: Dry
GROUND WATER DEPTH: 8.0'
CAUSE IN DEPTH: 8.0'
BORING METHOD: HSA - HOLLOW STEM AUGERS
PI-PRESSED SHELVEY TUBE: I - INTACT
AFTER 24 HRS.: Dry
CA - CONTINUOUS FLIGHT AUGERS: CFA - CONTINUOUS FLIGHT AUGERS
U - UNSTURBED: U - UNSTURBED
DC - DRIVING CASING: DC - DRIVING CASING
NO - NOISE DRILLING: NO - NOISE DRILLING
HC - ROCK CORE: HC - ROCK CORE



HILLIS - CARNES ENGINEERING ASSOCIATES, INC.
RECORD OF SOIL EXPLORATION

Project Name: Waverly Woods West Crossing
Location: Howard County, Maryland
Boring No.: B-4
Job #: 07380A

Date: 11/24/07
Surf. Elev.: 452.74
Hammer Wt.: 140 lbs.
Hole Diameter: 6"
Foreman: L. Smith
Inspector: [blank]
Rock Core Diameter: [blank]
Pipe Size: 2"
Boring Method: HSA
Date Completed: 11/24/07

Elevation/Depth	SOIL SAMPLES/ SAMPLE CONDITIONS	Description	Boring and Sampling Notes	Rec.	NM	SPT Blows		SPT Blows/Feet	
						N	N	N	Curves
448.0		Topsoil-7"				1-1-3	4	10	30
447.0		15"	No groundwater encountered while drilling.			3-4-6	10		
446.0		18"				5-5-3	8		
445.0		8"				1-2-2	4		
444.0		18"				1-2-2-2	4		

Bottom of Boring at 12.0'

SAMPLER TYPE: OPEN END SPT SPOON UNLESS OTHERWISE NOTED
SAMPLE CONDITIONS: D - DISTURBED
AT COMPLETION: Dry
GROUND WATER DEPTH: 5.0'
CAUSE IN DEPTH: 5.0'
BORING METHOD: HSA - HOLLOW STEM AUGERS
PI-PRESSED SHELVEY TUBE: I - INTACT
AFTER 24 HRS.: Dry
CA - CONTINUOUS FLIGHT AUGERS: CFA - CONTINUOUS FLIGHT AUGERS
U - UNSTURBED: U - UNSTURBED
DC - DRIVING CASING: DC - DRIVING CASING
NO - NOISE DRILLING: NO - NOISE DRILLING
HC - ROCK CORE: HC - ROCK CORE



HILLIS - CARNES ENGINEERING ASSOCIATES, INC.
RECORD OF SOIL EXPLORATION

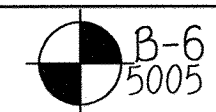
Project Name: Waverly Woods West Crossing
Location: Howard County, Maryland
Boring No.: B-5
Job #: 07380A

Date: 11/24/07
Surf. Elev.: 450.88
Hammer Wt.: 140 lbs.
Hole Diameter: 6"
Foreman: L. Smith
Inspector: [blank]
Rock Core Diameter: [blank]
Pipe Size: 2"
Boring Method: HSA
Date Completed: 11/24/07

Elevation/Depth	SOIL SAMPLES/ SAMPLE CONDITIONS	Description	Boring and Sampling Notes	Rec.	NM	SPT Blows		SPT Blows/Feet	
						N	N	N	Curves
448.0		Topsoil-6"				2-3-2	5	10	30
447.0		13"	No groundwater encountered while drilling.			1-3-4	7		
446.0		18"				10-8-5	13		
445.0		12"				3-3-3	6		
444.0		18"				2-2-3-4	5		

Bottom of Boring at 12.0'

SAMPLER TYPE: OPEN END SPT SPOON UNLESS OTHERWISE NOTED
SAMPLE CONDITIONS: D - DISTURBED
AT COMPLETION: Dry
GROUND WATER DEPTH: 6.0'
CAUSE IN DEPTH: 6.0'
BORING METHOD: HSA - HOLLOW STEM AUGERS
PI-PRESSED SHELVEY TUBE: I - INTACT
AFTER 24 HRS.: Dry
CA - CONTINUOUS FLIGHT AUGERS: CFA - CONTINUOUS FLIGHT AUGERS
U - UNSTURBED: U - UNSTURBED
DC - DRIVING CASING: DC - DRIVING CASING
NO - NOISE DRILLING: NO - NOISE DRILLING
HC - ROCK CORE: HC - ROCK CORE



HILLIS - CARNES ENGINEERING ASSOCIATES, INC.
RECORD OF SOIL EXPLORATION

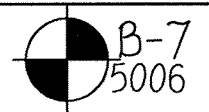
Project Name: Waverly Woods West Crossing
Location: Howard County, Maryland
Boring No.: B-6
Job #: 07380A

Date: 11/23/07
Surf. Elev.: 513.88
Hammer Wt.: 140 lbs.
Hole Diameter: 6"
Foreman: L. Smith
Inspector: [blank]
Rock Core Diameter: [blank]
Pipe Size: 2"
Boring Method: HSA
Date Completed: 11/23/07

Elevation/Depth	SOIL SAMPLES/ SAMPLE CONDITIONS	Description	Boring and Sampling Notes	Rec.	NM	SPT Blows		SPT Blows/Feet	
						N	N	N	Curves
448.0		Topsoil-6"				2-1-2	3	10	30
447.0		15"	No groundwater encountered while drilling.			5-6-4	10		
446.0		14"				3-4-3	7		
445.0		18"				6-7-7	13		
444.0		18"				10-11-15	20		
443.0		15"				12-25-36	61		

Bottom of Boring at 15.0'

SAMPLER TYPE: OPEN END SPT SPOON UNLESS OTHERWISE NOTED
SAMPLE CONDITIONS: D - DISTURBED
AT COMPLETION: Dry
GROUND WATER DEPTH: 6.0'
CAUSE IN DEPTH: 6.0'
BORING METHOD: HSA - HOLLOW STEM AUGERS
PI-PRESSED SHELVEY TUBE: I - INTACT
AFTER 24 HRS.: Dry
CA - CONTINUOUS FLIGHT AUGERS: CFA - CONTINUOUS FLIGHT AUGERS
U - UNSTURBED: U - UNSTURBED
DC - DRIVING CASING: DC - DRIVING CASING
NO - NOISE DRILLING: NO - NOISE DRILLING
HC - ROCK CORE: HC - ROCK CORE



HILLIS - CARNES ENGINEERING ASSOCIATES, INC.
RECORD OF SOIL EXPLORATION

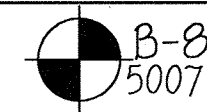
Project Name: Waverly Woods West Crossing
Location: Howard County, Maryland
Boring No.: B-7
Job #: 07380A

Date: 11/23/07
Surf. Elev.: 513.24
Hammer Wt.: 140 lbs.
Hole Diameter: 6"
Foreman: L. Smith
Inspector: [blank]
Rock Core Diameter: [blank]
Pipe Size: 2"
Boring Method: HSA
Date Completed: 11/23/07

Elevation/Depth	SOIL SAMPLES/ SAMPLE CONDITIONS	Description	Boring and Sampling Notes	Rec.	NM	SPT Blows		SPT Blows/Feet	
						N	N	N	Curves
448.0		Topsoil-6"				3-2-3	5	10	30
447.0		15"	No groundwater encountered while drilling.			2-3-3	5		
446.0		15"				3-2-3	5		
445.0		18"				3-2-3	5		
444.0		14"				3-2-3	5		
443.0		11"				11-10-11	21		
442.0		17"				12-16-12	26		

Bottom of Boring at 15.0'

SAMPLER TYPE: OPEN END SPT SPOON UNLESS OTHERWISE NOTED
SAMPLE CONDITIONS: D - DISTURBED
AT COMPLETION: Dry
GROUND WATER DEPTH: 6.0'
CAUSE IN DEPTH: 6.0'
BORING METHOD: HSA - HOLLOW STEM AUGERS
PI-PRESSED SHELVEY TUBE: I - INTACT
AFTER 24 HRS.: Dry
CA - CONTINUOUS FLIGHT AUGERS: CFA - CONTINUOUS FLIGHT AUGERS
U - UNSTURBED: U - UNSTURBED
DC - DRIVING CASING: DC - DRIVING CASING
NO - NOISE DRILLING: NO - NOISE DRILLING
HC - ROCK CORE: HC - ROCK CORE



HILLIS - CARNES ENGINEERING ASSOCIATES, INC.
RECORD OF SOIL EXPLORATION

Project Name: Waverly Woods West Crossing
Location: Howard County, Maryland
Boring No.: B-8
Job #: 07380A

Date: 11/23/07
Surf. Elev.: 450.28
Hammer Wt.: 140 lbs.
Hole Diameter: 6"
Foreman: L. Smith
Inspector: [blank]
Rock Core Diameter: [blank]
Pipe Size: 2"
Boring Method: HSA
Date Completed: 11/23/07

Elevation/Depth	SOIL SAMPLES/ SAMPLE CONDITIONS	Description	Boring and Sampling Notes	Rec.	NM	SPT Blows		SPT Blows/Feet	
						N	N	N	Curves
448.0		Topsoil-6"				1-0-2	4	10	30
447.0		15"	No groundwater encountered while drilling.			3-4-6	9		
446.0		18"				3-4-4	8		
445.0		18"				3-4-4	8		
444.0		14"				3-4-4	7		
443.0		12"				8-17-13	30		
442.0		12"				5-7-8	15		

Bottom of Boring at 15.0'

SAMPLER TYPE: OPEN END SPT SPOON UNLESS OTHERWISE NOTED
SAMPLE CONDITIONS: D - DISTURBED
AT COMPLETION: Dry
GROUND WATER DEPTH: 6.0'
CAUSE IN DEPTH: 6.0'
BORING METHOD: HSA - HOLLOW STEM AUGERS
PI-PRESSED SHELVEY TUBE: I - INTACT
AFTER 24 HRS.: Dry
CA - CONTINUOUS FLIGHT AUGERS: CFA - CONTINUOUS FLIGHT AUGERS
U - UNSTURBED: U - UNSTURBED
DC - DRIVING CASING: DC - DRIVING CASING
NO - NOISE DRILLING: NO - NOISE DRILLING
HC - ROCK CORE: HC - ROCK CORE



HILLIS - CARNES ENGINEERING ASSOCIATES, INC.
RECORD OF SOIL EXPLORATION

Project Name: Waverly Woods West Crossing
Location: Howard County, Maryland
Boring No.: B-9
Job #: 07380A

Date: 11/23/07
Surf. Elev.: 450.27
Hammer Wt.: 140 lbs.
Hole Diameter: 6"
Foreman: L. Smith
Inspector: [blank]
Rock Core Diameter: [blank]
Pipe Size: 2"
Boring Method: HSA
Date Completed: 11/23/07

Elevation/Depth	SOIL SAMPLES/ SAMPLE CONDITIONS	Description	Boring and Sampling Notes	Rec.	NM	SPT Blows		SPT Blows/Feet	
						N	N	N	Curves
448.0		Topsoil-6"				2-3-5	8	10	30
447.0		15"	No groundwater encountered while drilling.			4-5-7	12		
446.0		18"				6-8-12	20		
445.0		18"				8-10-12	22		
444.0		18"				8-10-12	22		
443.0		14"				12-12-14	28		
442.0		14"				6-8-10	25		

Bottom of Boring at 15.0'

SAMPLER TYPE: OPEN END SPT SPOON UNLESS OTHERWISE NOTED
SAMPLE CONDITIONS: D - DISTURBED
AT COMPLETION: Dry
GROUND WATER DEPTH: 6.0'
CAUSE IN DEPTH: 6.0'
BORING METHOD: HSA - HOLLOW STEM AUGERS
PI-PRESSED SHELVEY TUBE: I - INTACT
AFTER 24 HRS.: Dry
CA - CONTINUOUS FLIGHT AUGERS: CFA - CONTINUOUS FLIGHT AUGERS
U - UNSTURBED: U - UNSTURBED
DC - DRIVING CASING: DC - DRIVING CASING
NO - NOISE DRILLING: NO - NOISE DRILLING
HC - ROCK CORE: HC - ROCK CORE



HILLIS - CARNES ENGINEERING ASSOCIATES, INC.
RECORD OF SOIL EXPLORATION

Project Name: Waverly Woods West Crossing
Location: Howard County, Maryland
Boring No.: B-10
Job #: 07380A

Date: 11/23/07
Surf. Elev.: 454.28
Hammer Wt.: 140 lbs.
Hole Diameter: 6"
Foreman: L. Smith
Inspector: [blank]
Rock Core Diameter: [blank]
Pipe Size: 2"
Boring Method: HSA
Date Completed: 11/23/07

Elevation/Depth	SOIL SAMPLES/ SAMPLE CONDITIONS	Description	Boring and Sampling Notes	Rec.	NM	SPT Blows		SPT Blows/Feet	
						N	N	N	Curves
448.0		Topsoil-7"				2-3-3	6	10	30
447.0		15"	No groundwater encountered while drilling.			3-4-4	7		
446.0		18"				4-6-6	10		
445.0		18"				4-6-6	10		
444.0		14"				6-7-4	11		
443.0		18"				6-7-4	15		
442.0		18"				7-8-12	20		

Bottom of Boring at 15.0'

SAMPLER TYPE: OPEN END SPT SPOON UNLESS OTHERWISE NOTED
SAMPLE CONDITIONS: D - DISTURBED
AT COMPLETION: Dry
GROUND WATER DEPTH: 6.0'
CAUSE IN DEPTH: 6.0'
BORING METHOD: HSA - HOLLOW STEM AUGERS
PI-PRESSED SHELVEY TUBE: I - INTACT
AFTER 24 HRS.: Dry
CA - CONTINUOUS FLIGHT AUGERS: CFA - CONTINUOUS FLIGHT AUGERS
U - UNSTURBED: U - UNSTURBED
DC - DRIVING CASING: DC - DRIVING CASING
NO - NOISE DRILLING: NO - NOISE DRILLING
HC - ROCK CORE: HC - ROCK CORE

REVISED



NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
2	REV. TO ADD FEE SIMPLE LOTS PER F-12-101	12/17/13
3	REV. TO ADD FEE SIMPLE LOTS PER F-14-111 AND ADD TRACT V TO OFF-09-039	10/31/14



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/31/16

TERRELL A. PEFFER, PROFESSIONAL ENGINEER
DATE: 11/14/12

AS-BUILT CERTIFICATION
Note: There is no "AS BUILT" information provided on this sheet.
DATE: 11/6/18

BUILDERS

RYAN HOMES
6085 MARSHALLEE DRIVE
SUITE 130
ELK RIDGE, MD. 21075
410-379-9956

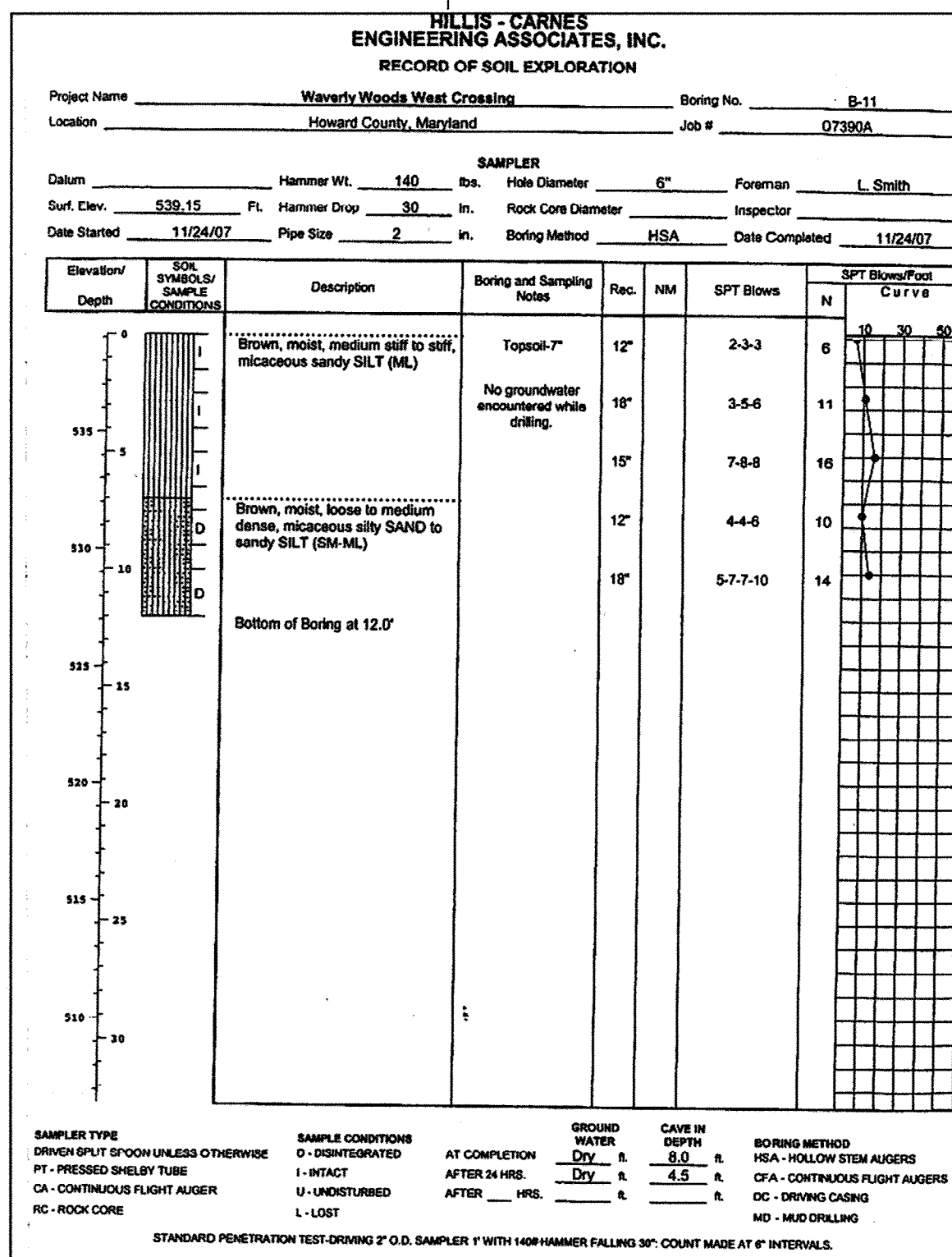
RYAN HOMES
6085 MARSHALLEE DRIVE
SUITE 140
ELK RIDGE, MD. 21075
410-379-9956

DEVELOPER
WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLICOTT CITY, MARYLAND 21042
443-367-0422

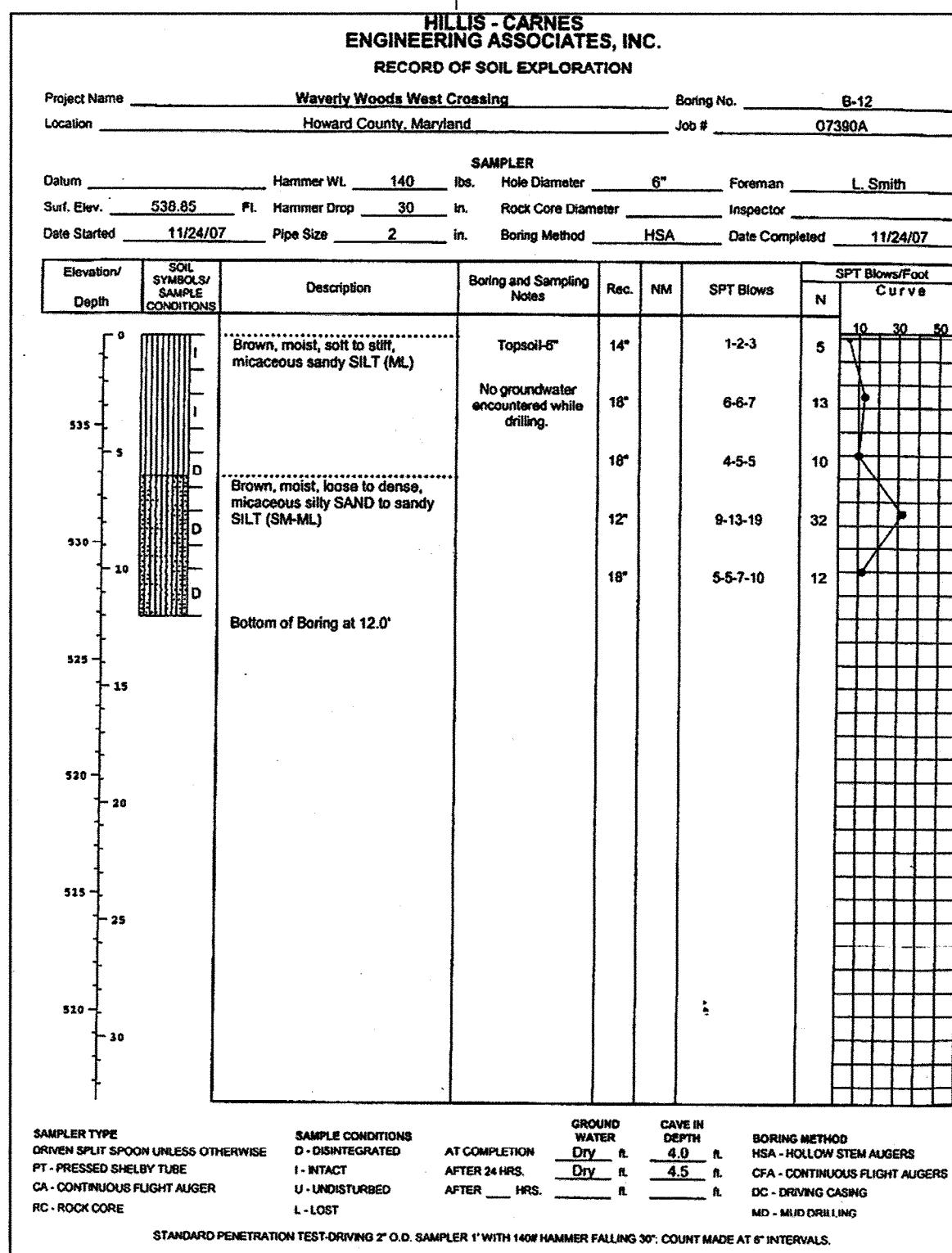
OWNERS
WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLICOTT CITY, MARYLAND 21042
443-367-0422

APPROVED: HOW

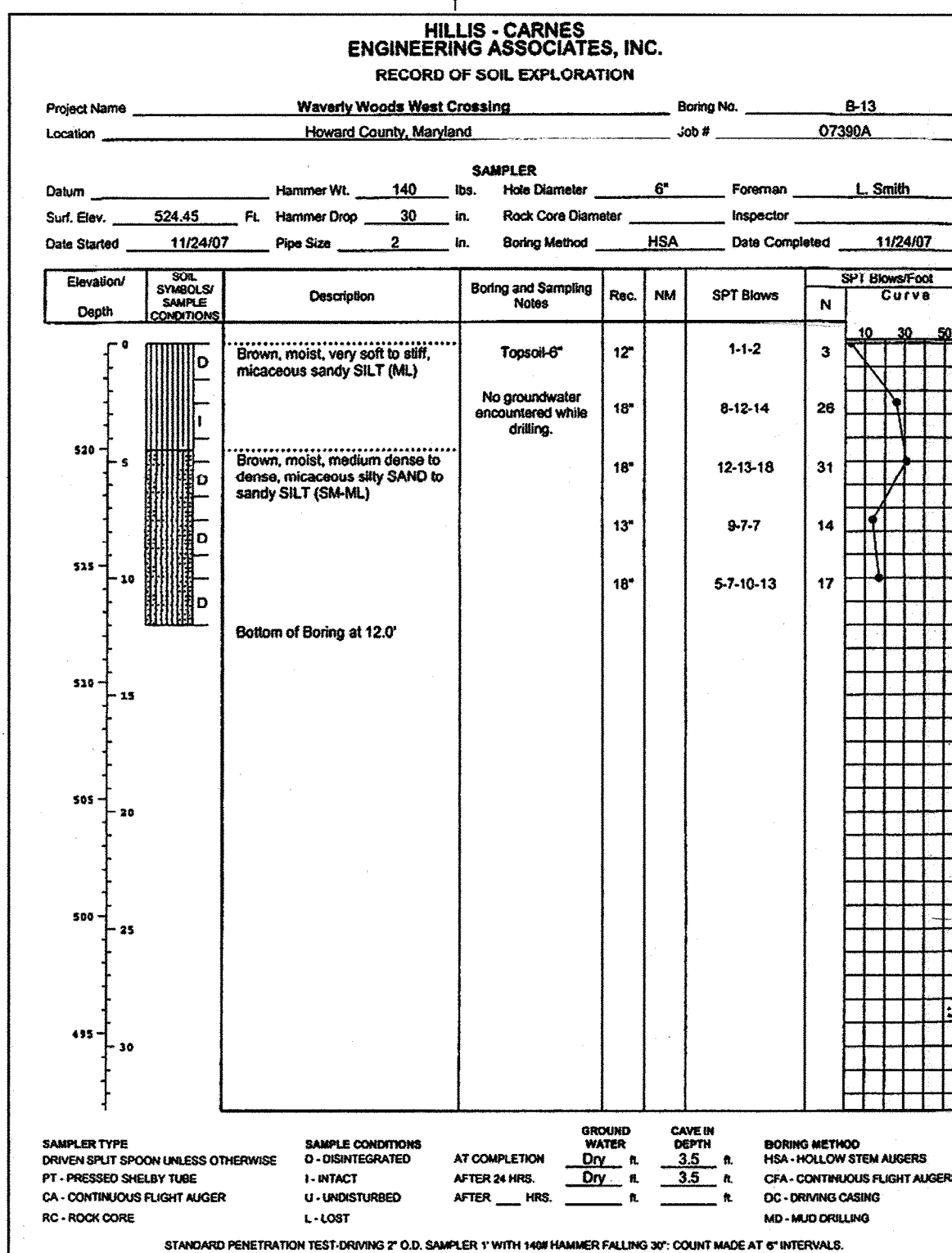
B-11
5010



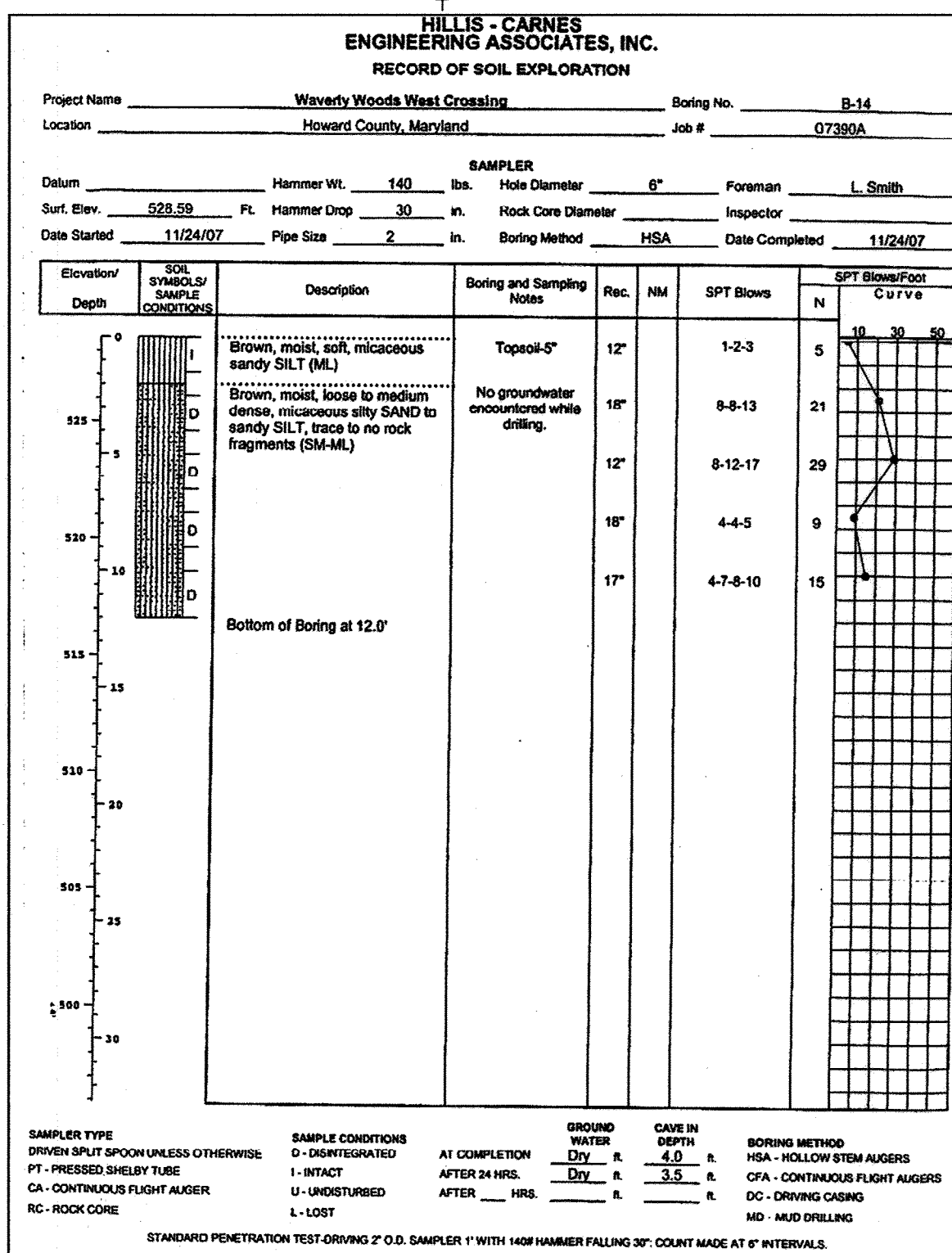
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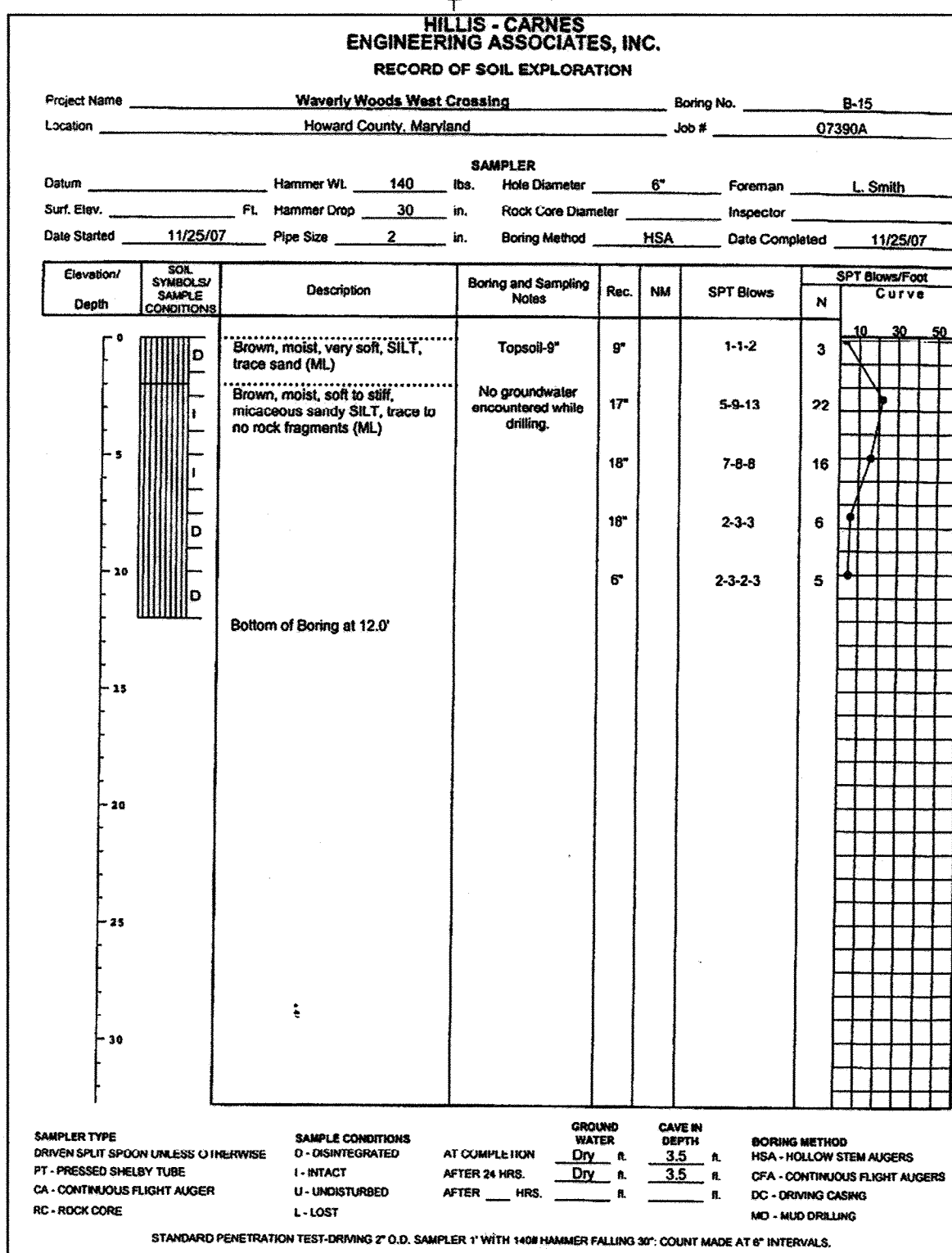
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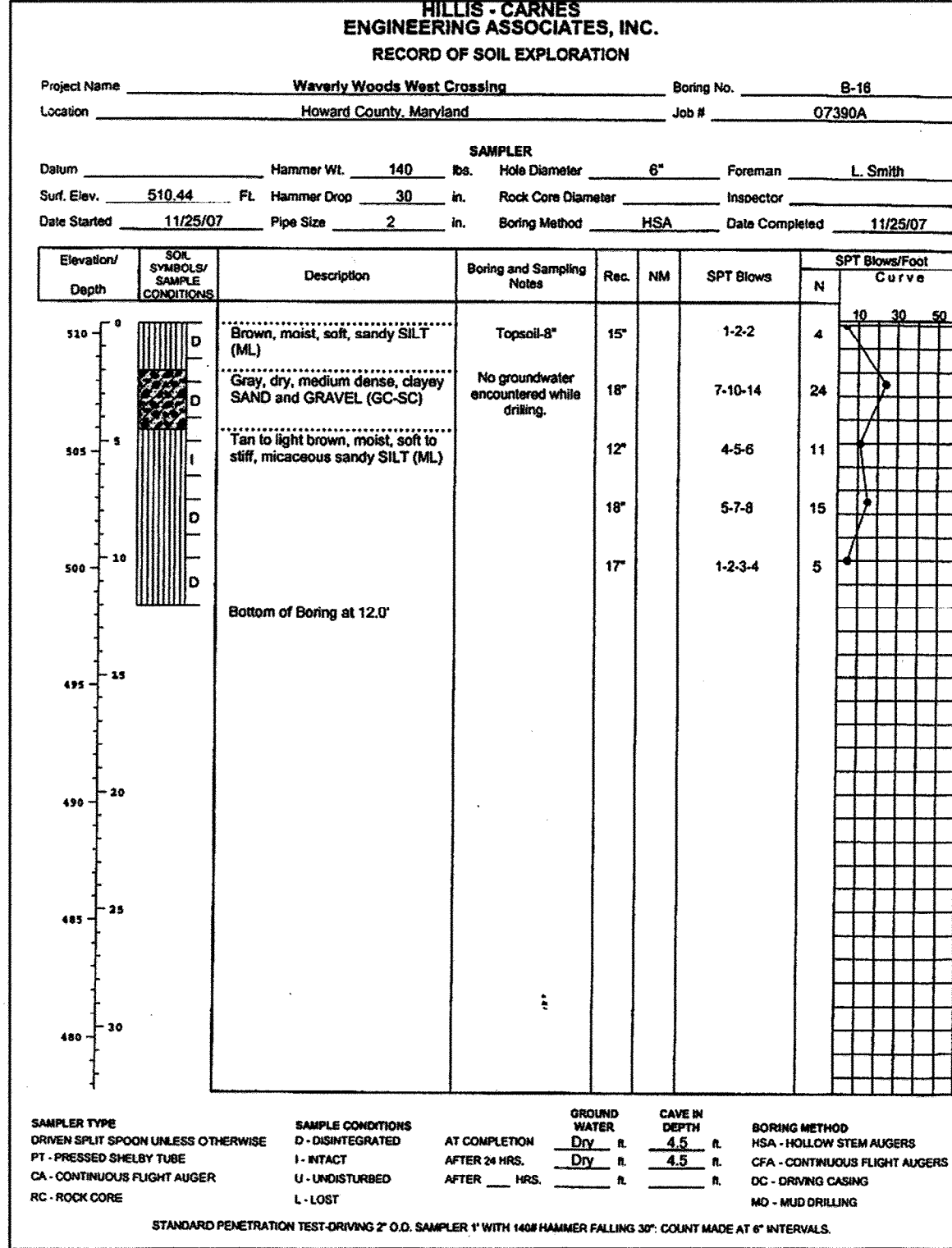
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5013



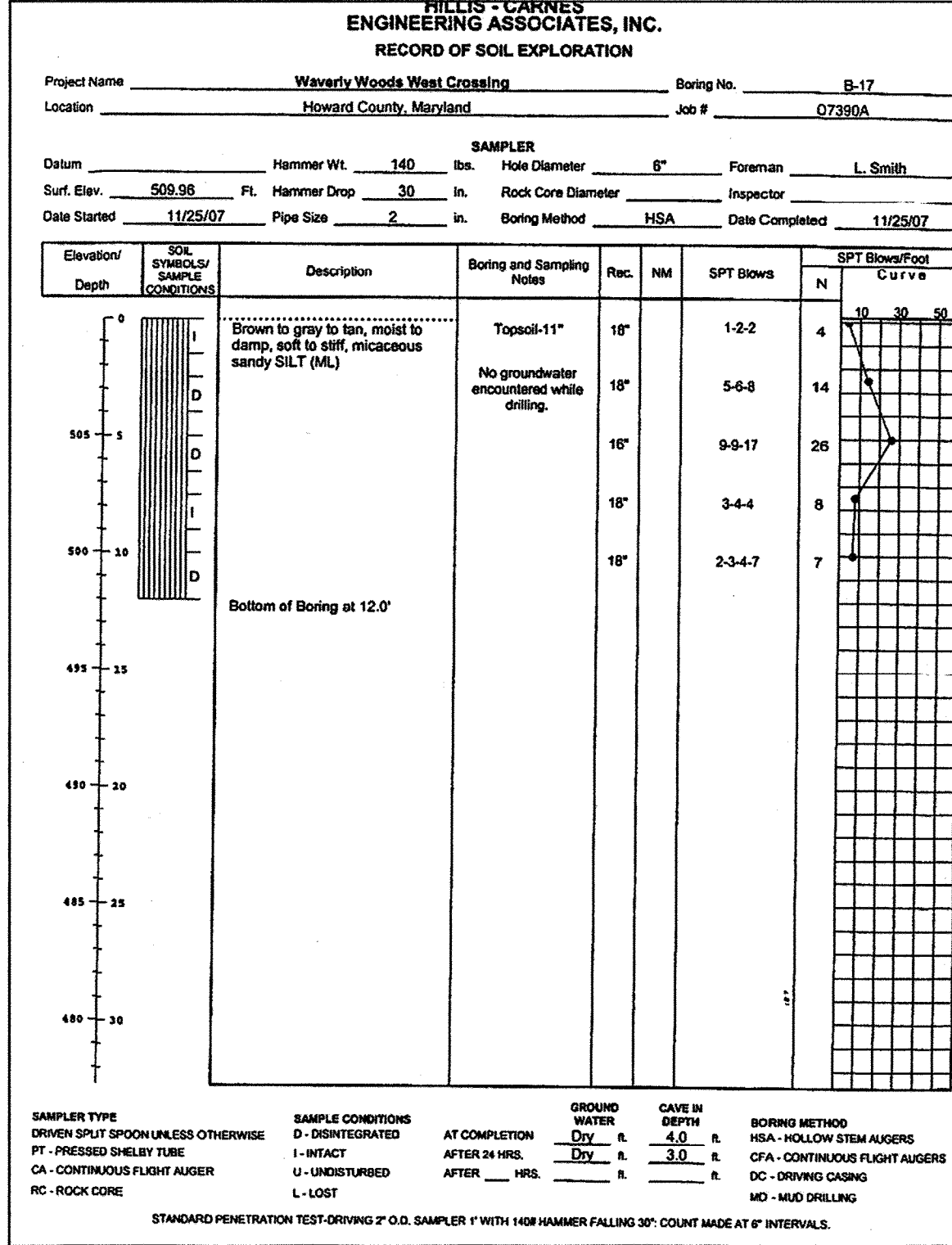
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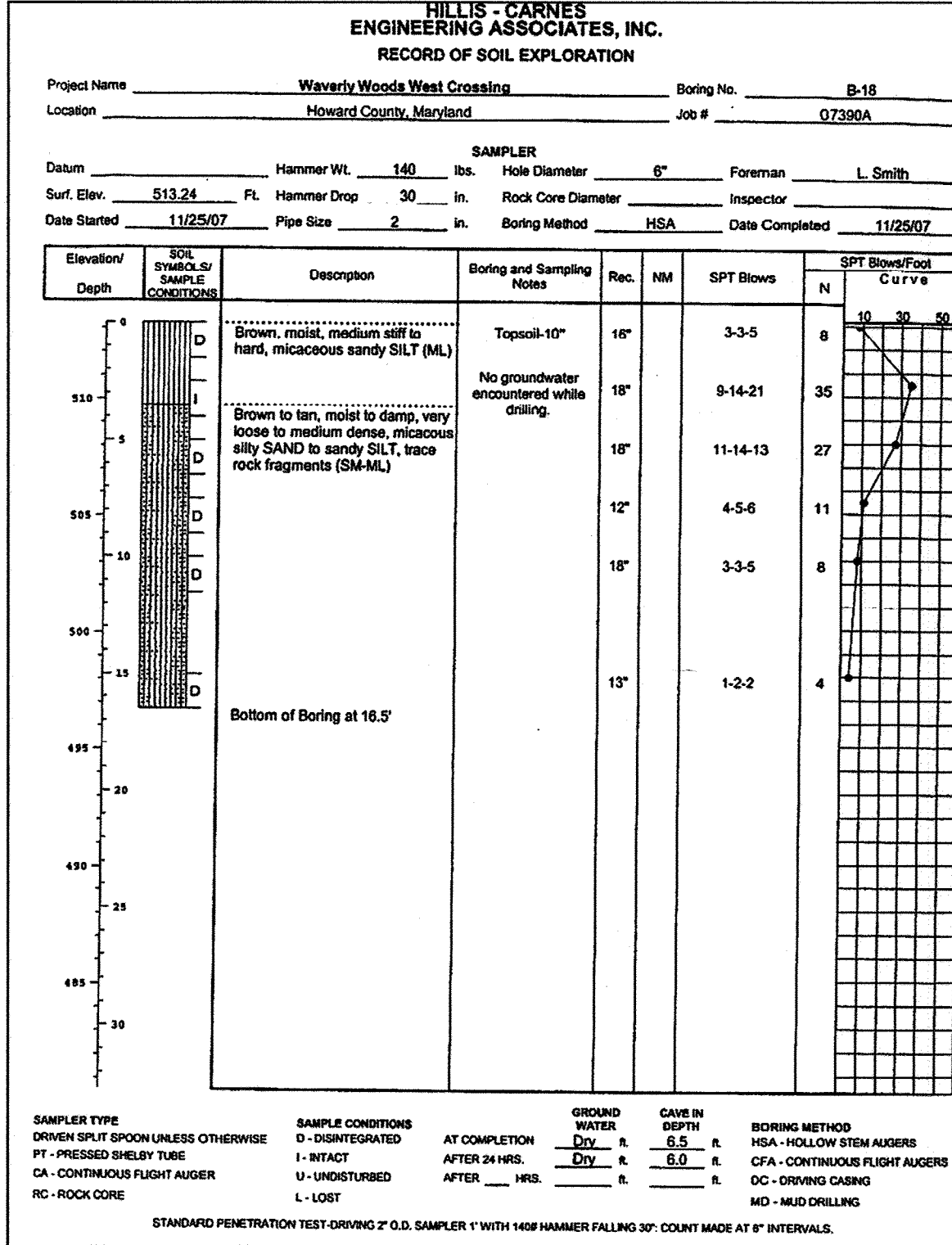
B-16
5015



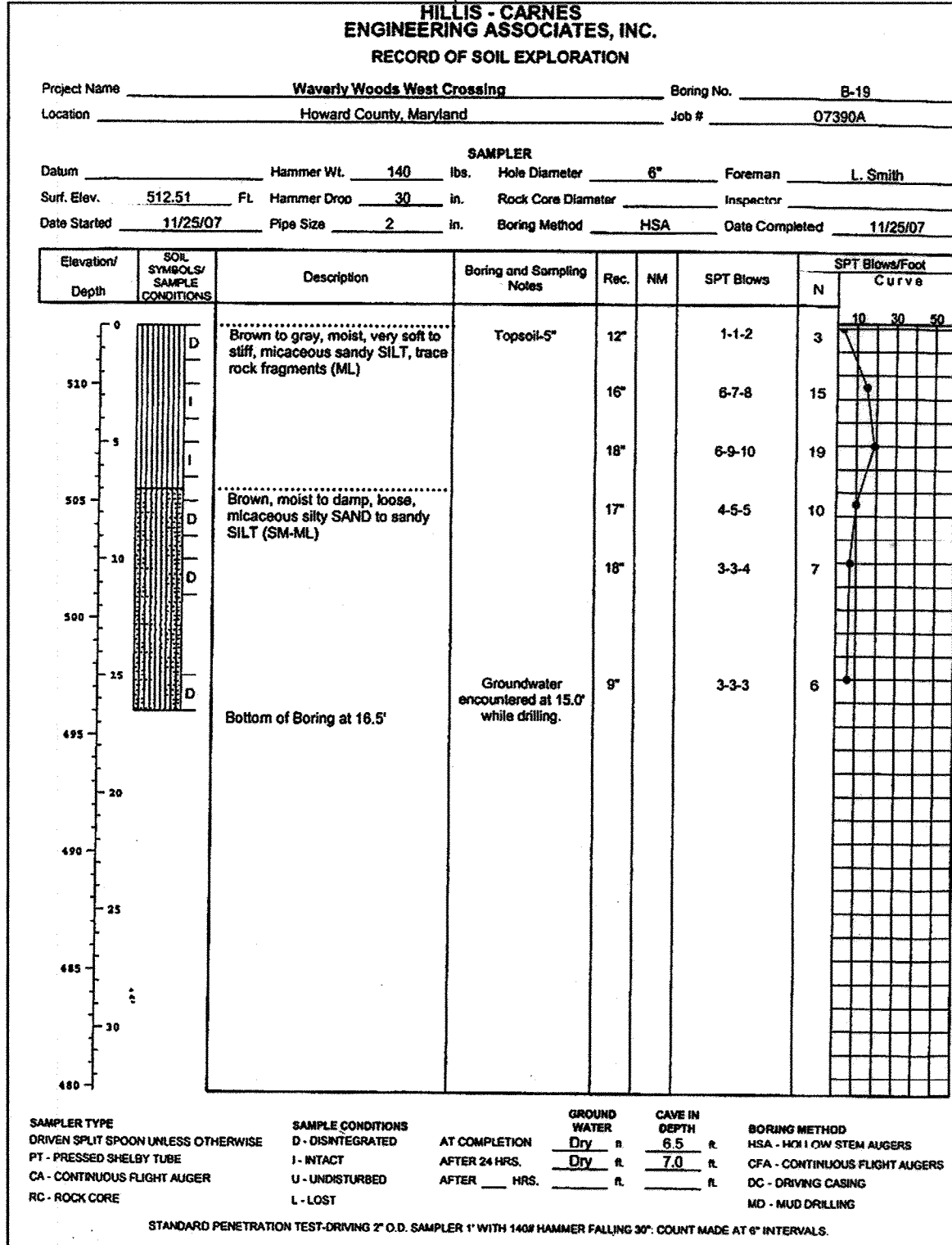
B-17
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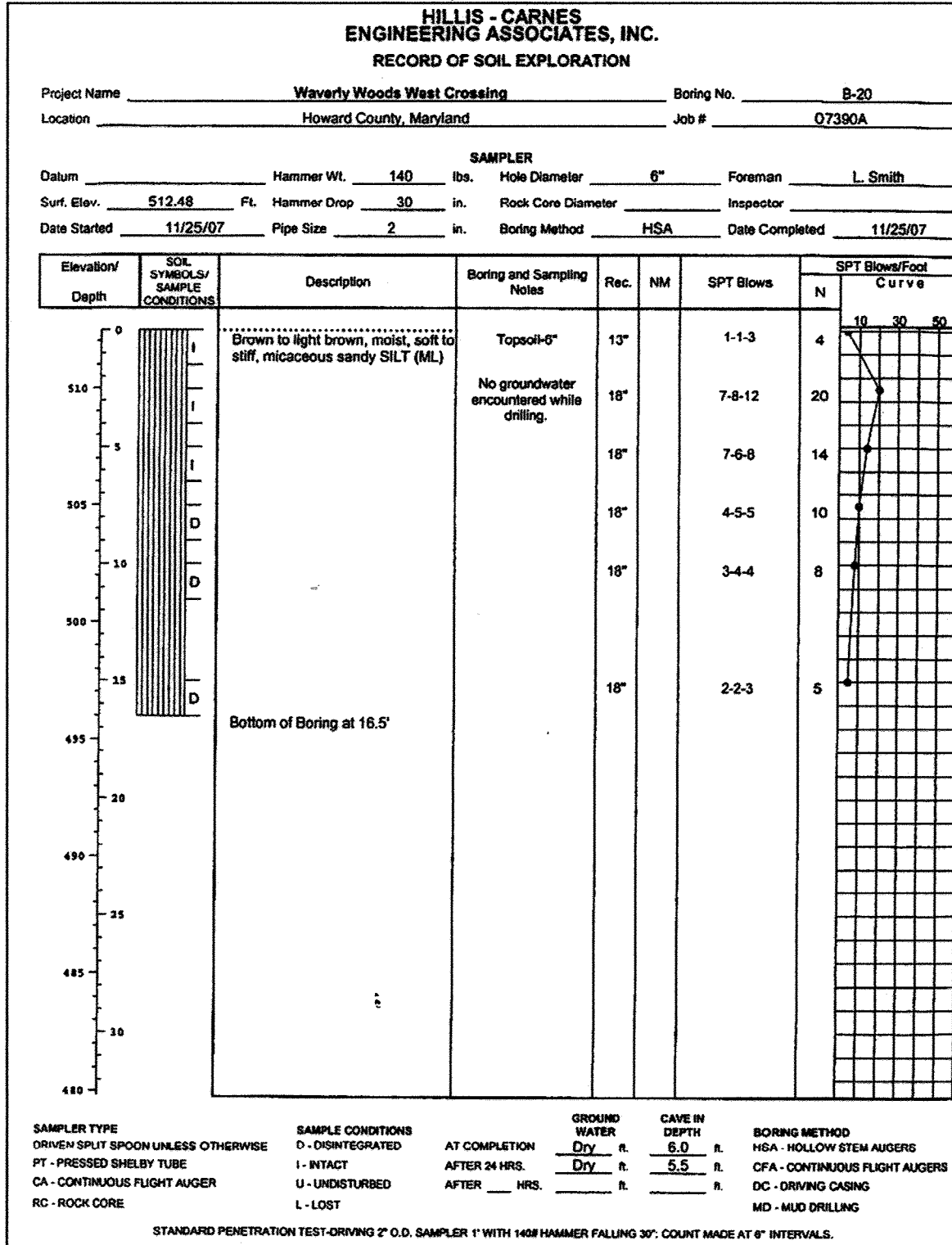
B-18
5017



B-19
5018



B-20
5019



K:\GIS\BOD\30770 C/W WEST\Boring\Construction Documents\Baseline Phase 4 Fee Sample 78 L&S\Construction Documents\Baseline Phase 4 Fee Sample 78 L&S\Boring\Spec\Sheet 78-11142012 11:45:46 AM 1:1

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL FEE
 ELLICOTT CITY, MARYLAND 21042
 410-461-2855

NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	10/28/12
2	REV. TO ADD FEE SIMPLE LOTS PER F-12-101	12/17/12
3	REV. TO ADD FEE SIMPLE LOTS PER F-12-111 & ADD PHASE V TO 9/20/09	10/28/14



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757
 EXPIRATION DATE IS 3/31/14

Terrell A. Fisher 11/16/12
 TERRELL A. FISHER, PROFESSIONAL ENGINEER DATE

AS-BUILT CERTIFICATION
 Note: There is no "AS BUILT" information provided on this sheet.

Charles J. DeLoe, Jr. 11/16/12
 CHARLES J. DELOE, JR. NO. 13204 DATE

BUILDERS	
NV HOMES 6085 MARSHALLEE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-5956	RYAN HOMES 6085 MARSHALLEE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956
DEVELOPER	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422	
OWNERS	
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLICOTT CITY, MARYLAND 21042 443-367-0422	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Victor DeLoe 11/16/12
 Chief, Division of Land Development DATE

Paul M. Caper 12/10/12
 Chief, Development Engineering Division DATE

Director - Department of Planning and Zoning

PROJECT	SECTION	PARCEL NO. 'E'			
GTW'S WAVERLY WOODS	14	PHASE 5, LOT 1, LOTS 5, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100			
PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
SEE GENERAL NOTE #91	3 & 4	P5C	16	THIRD	60300
WATER CODE	SEWER CODE				
K-02	5992000				

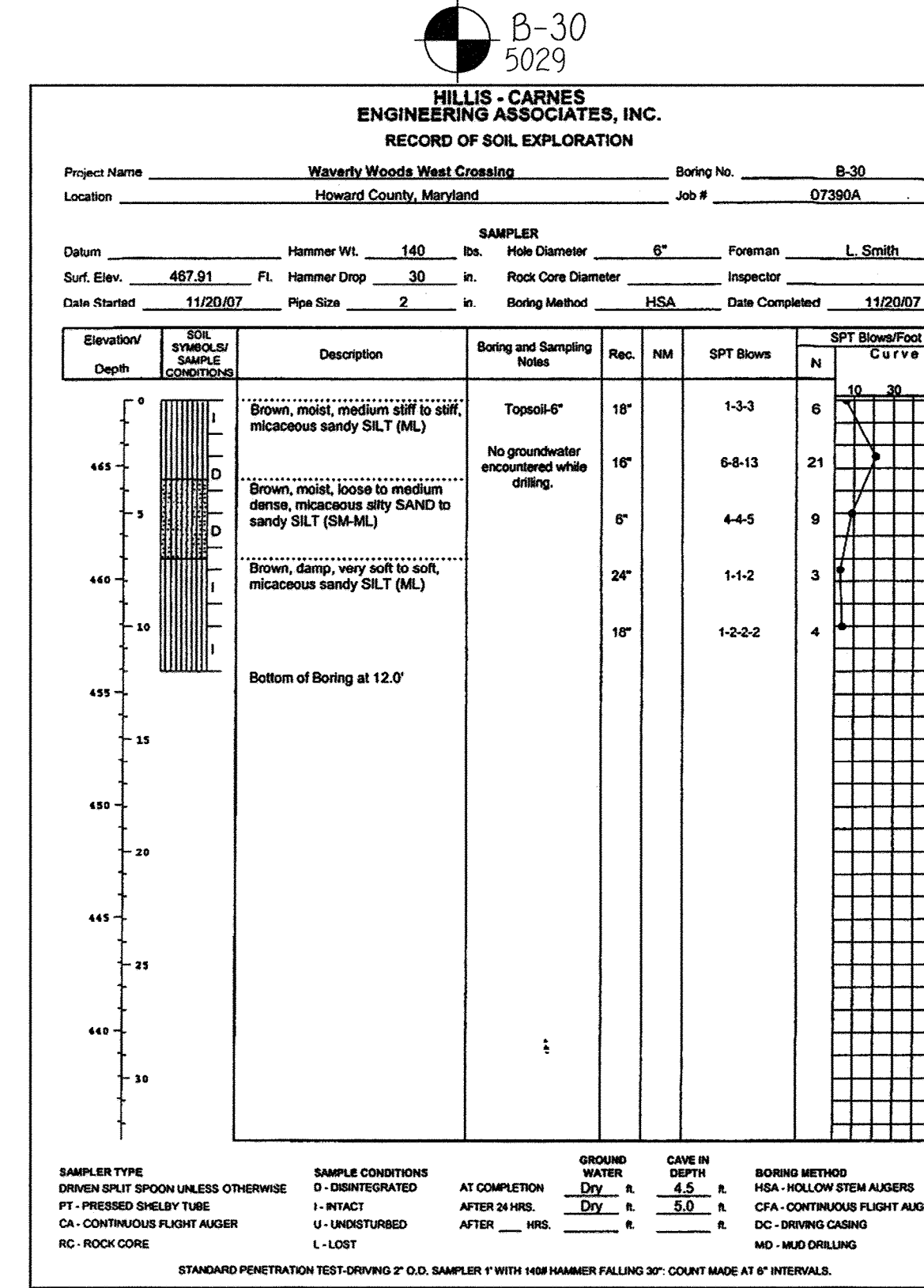
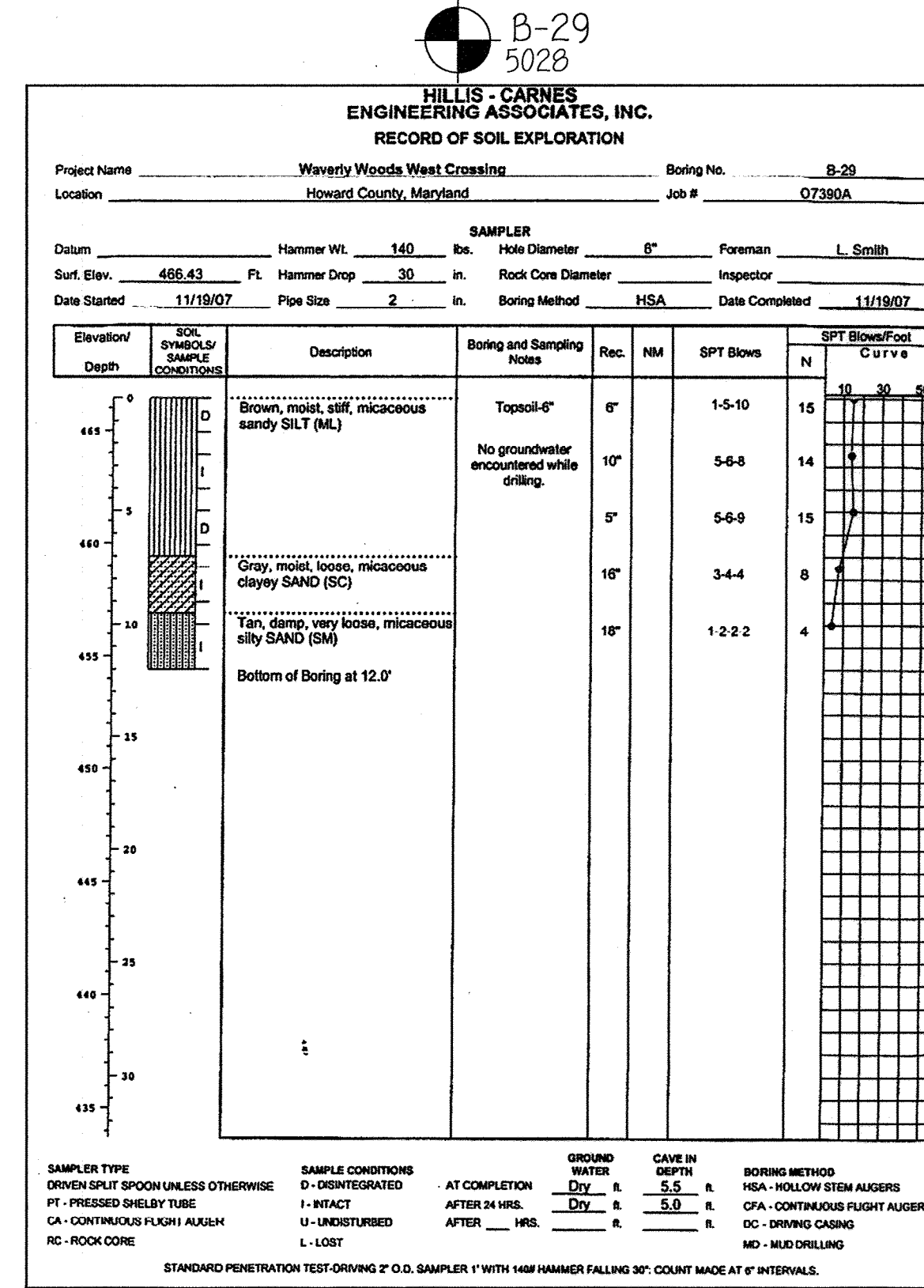
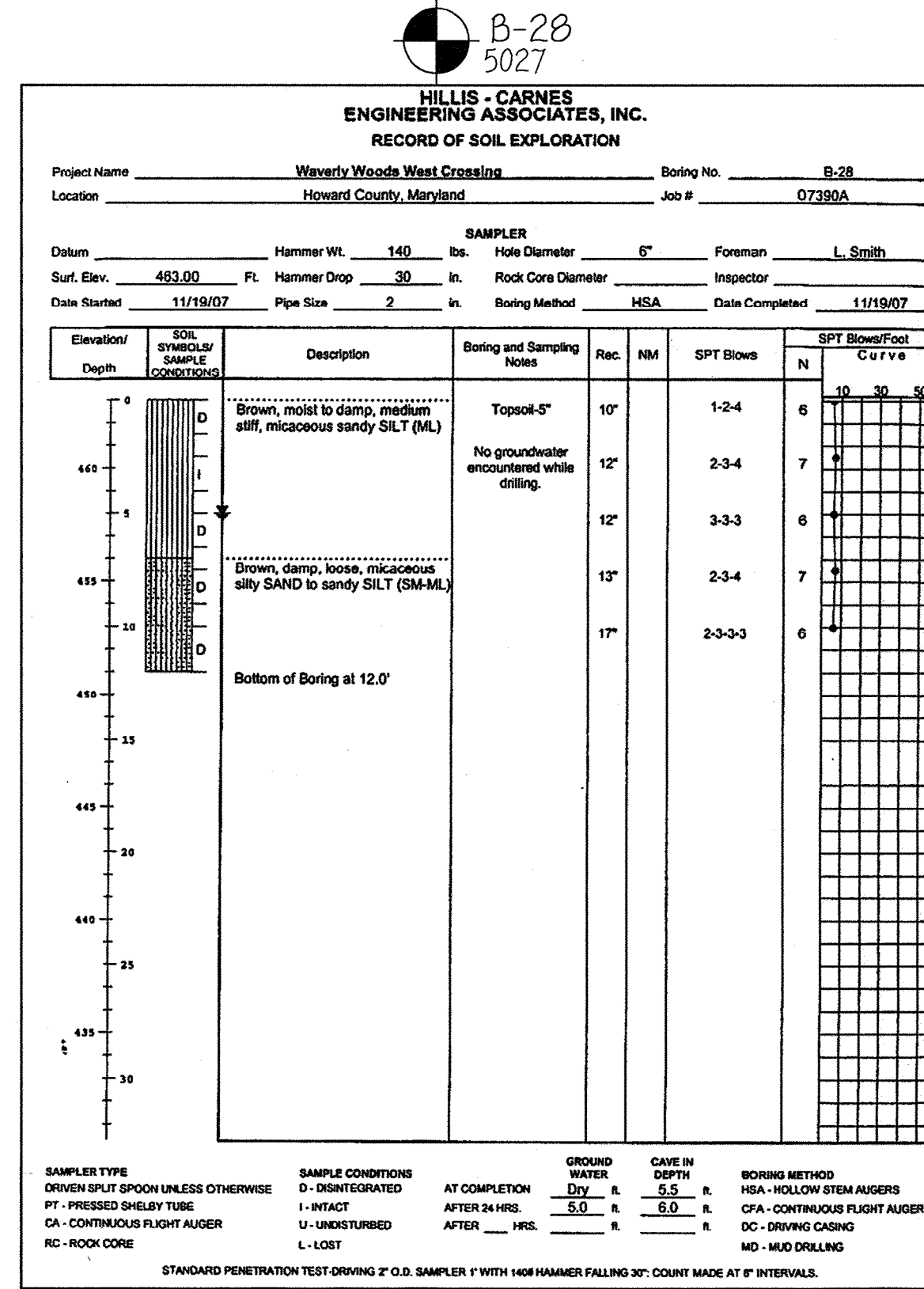
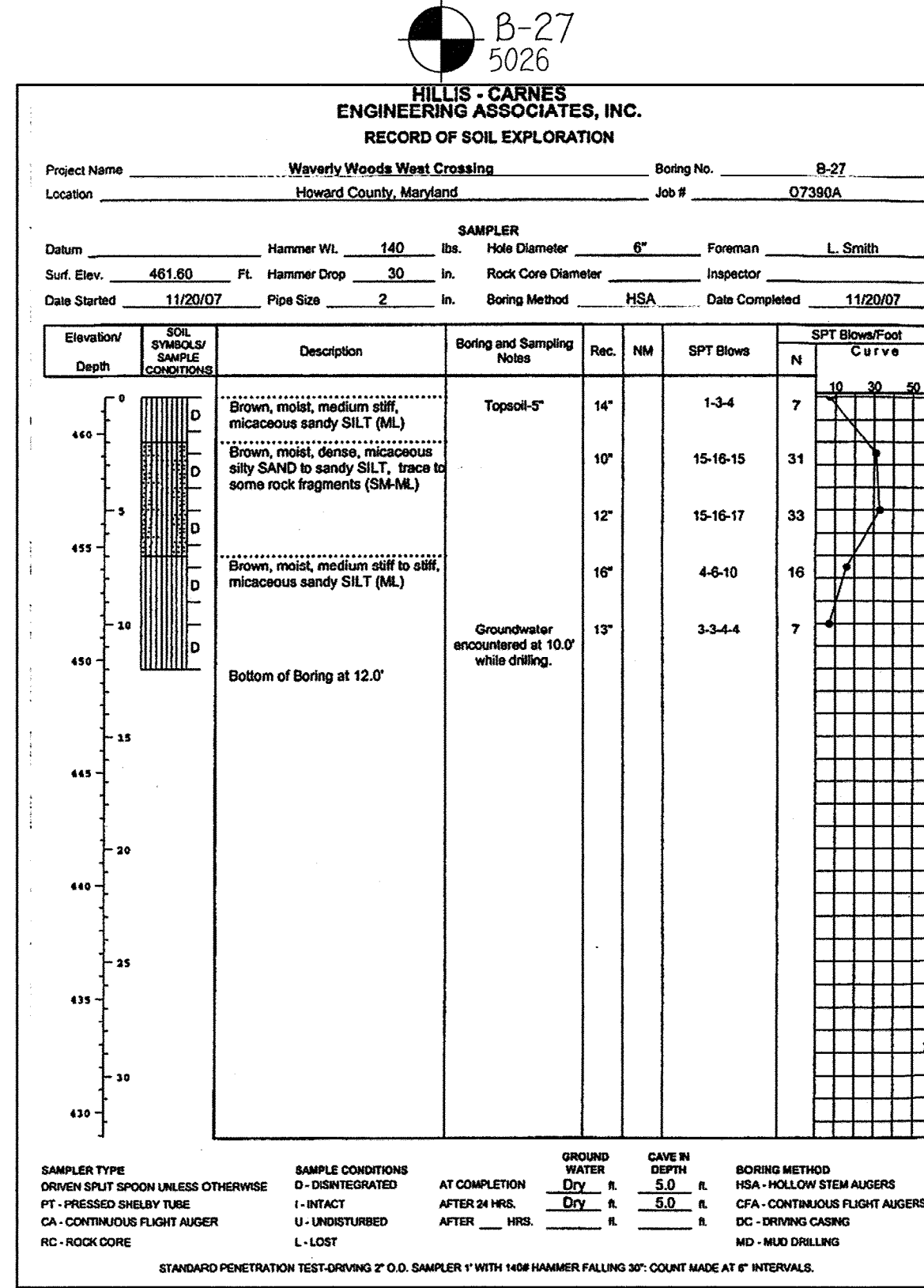
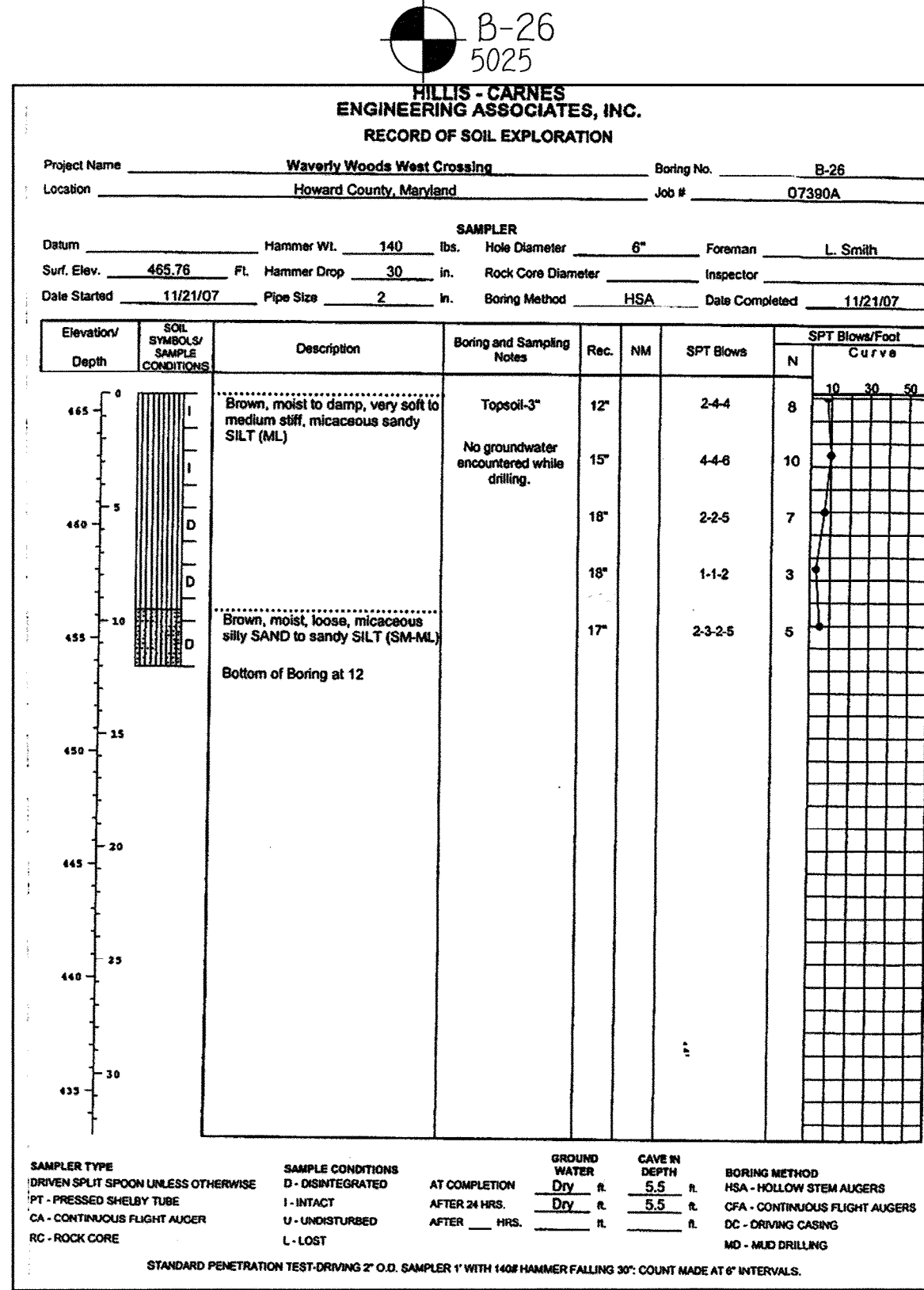
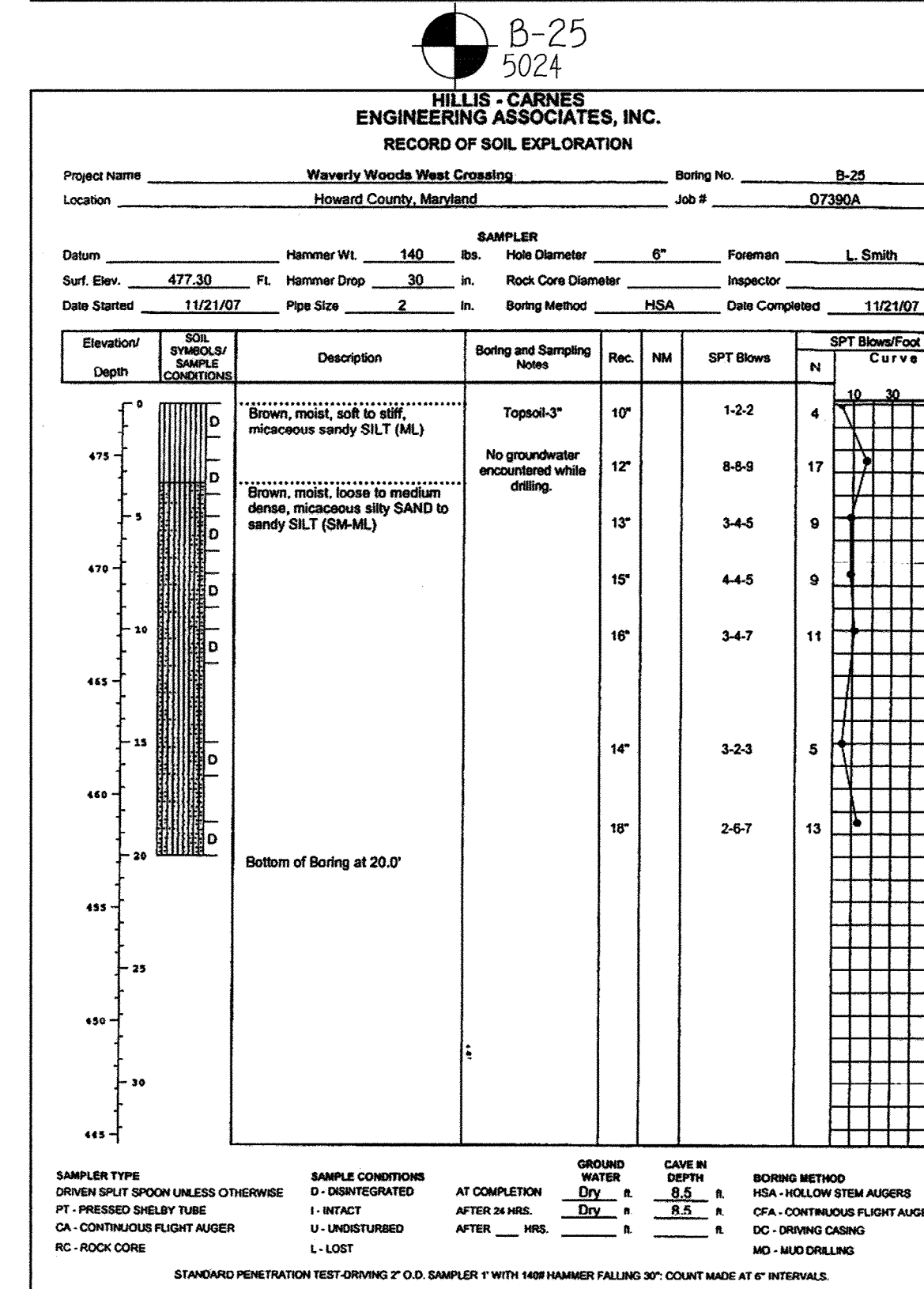
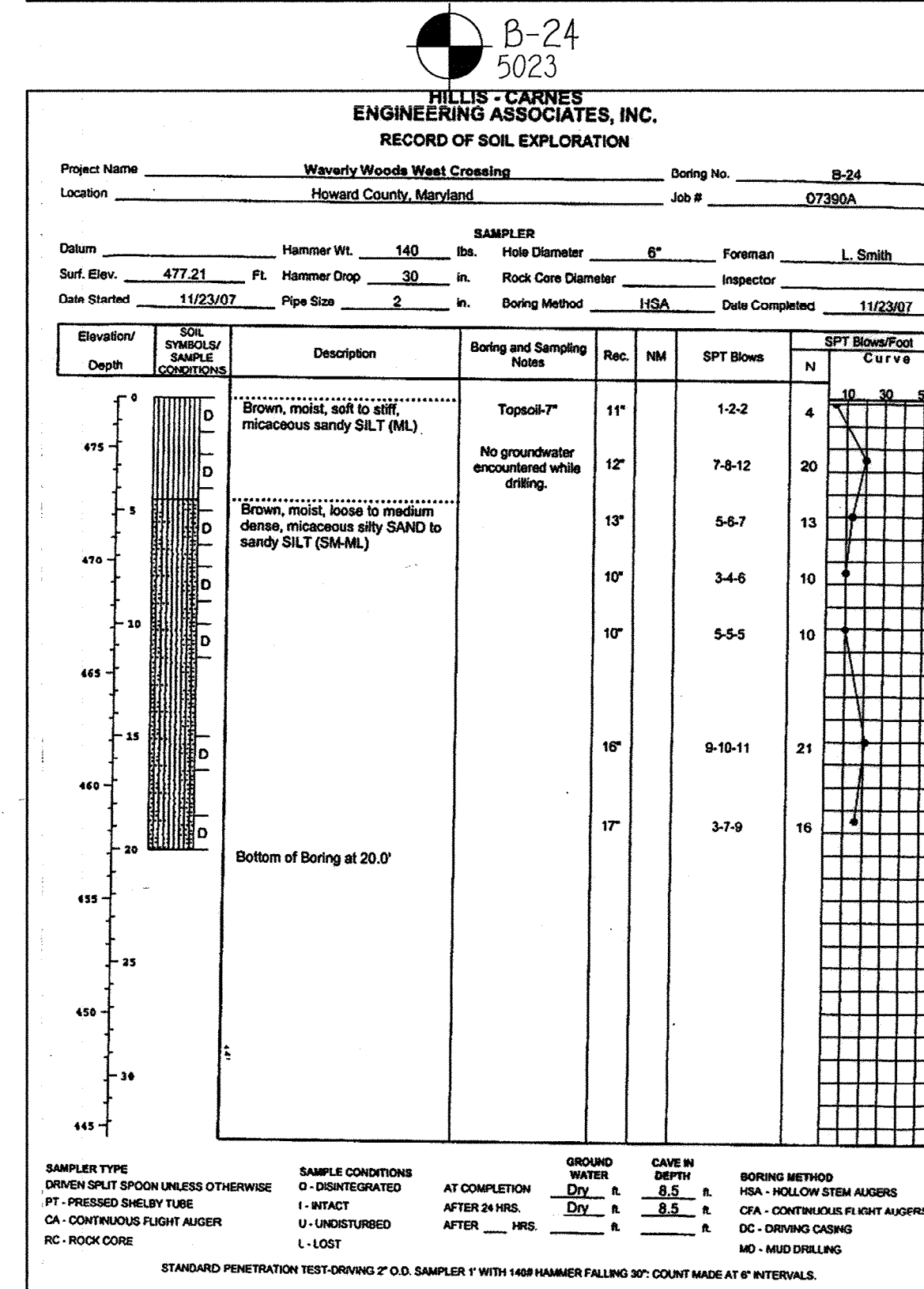
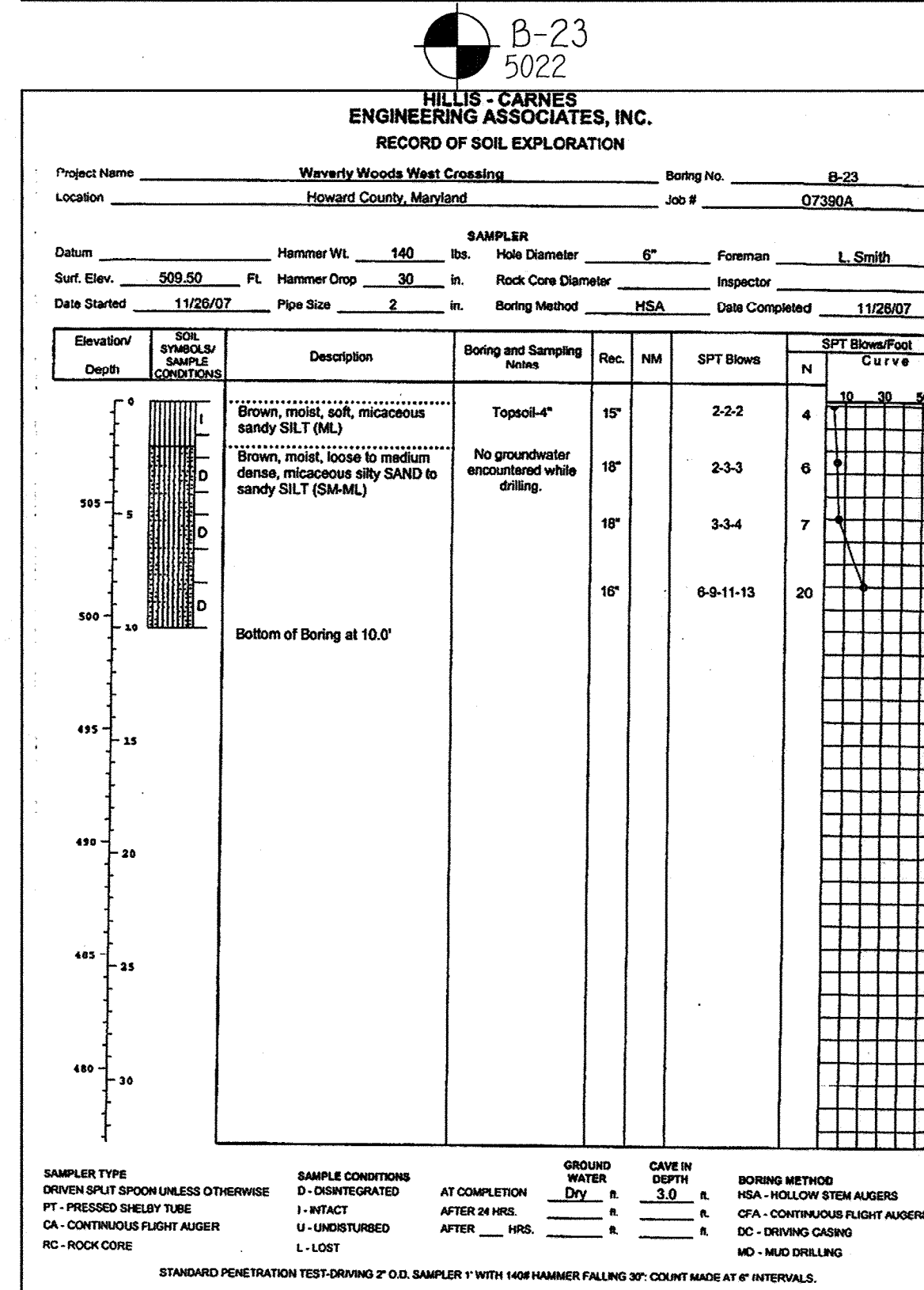
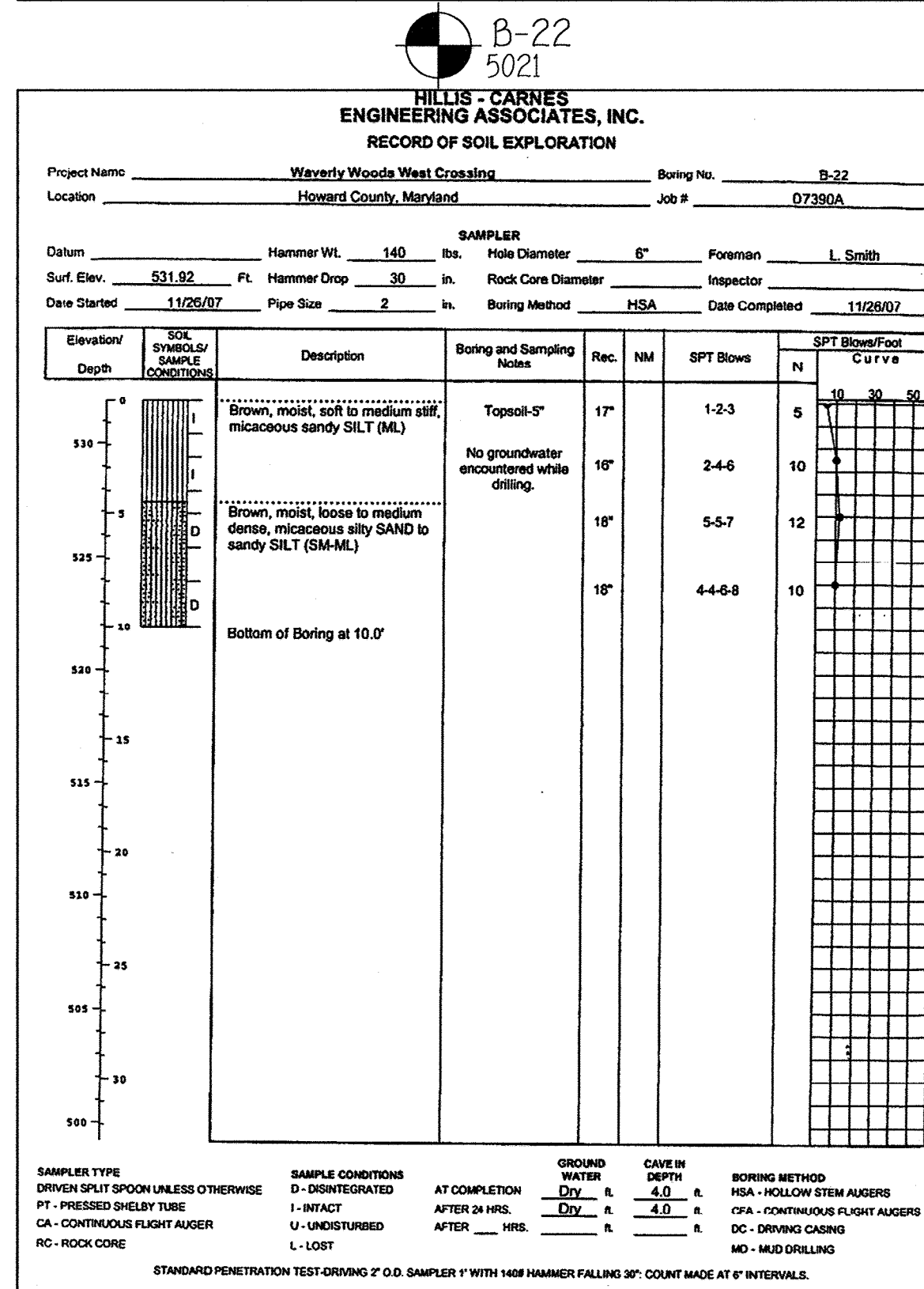
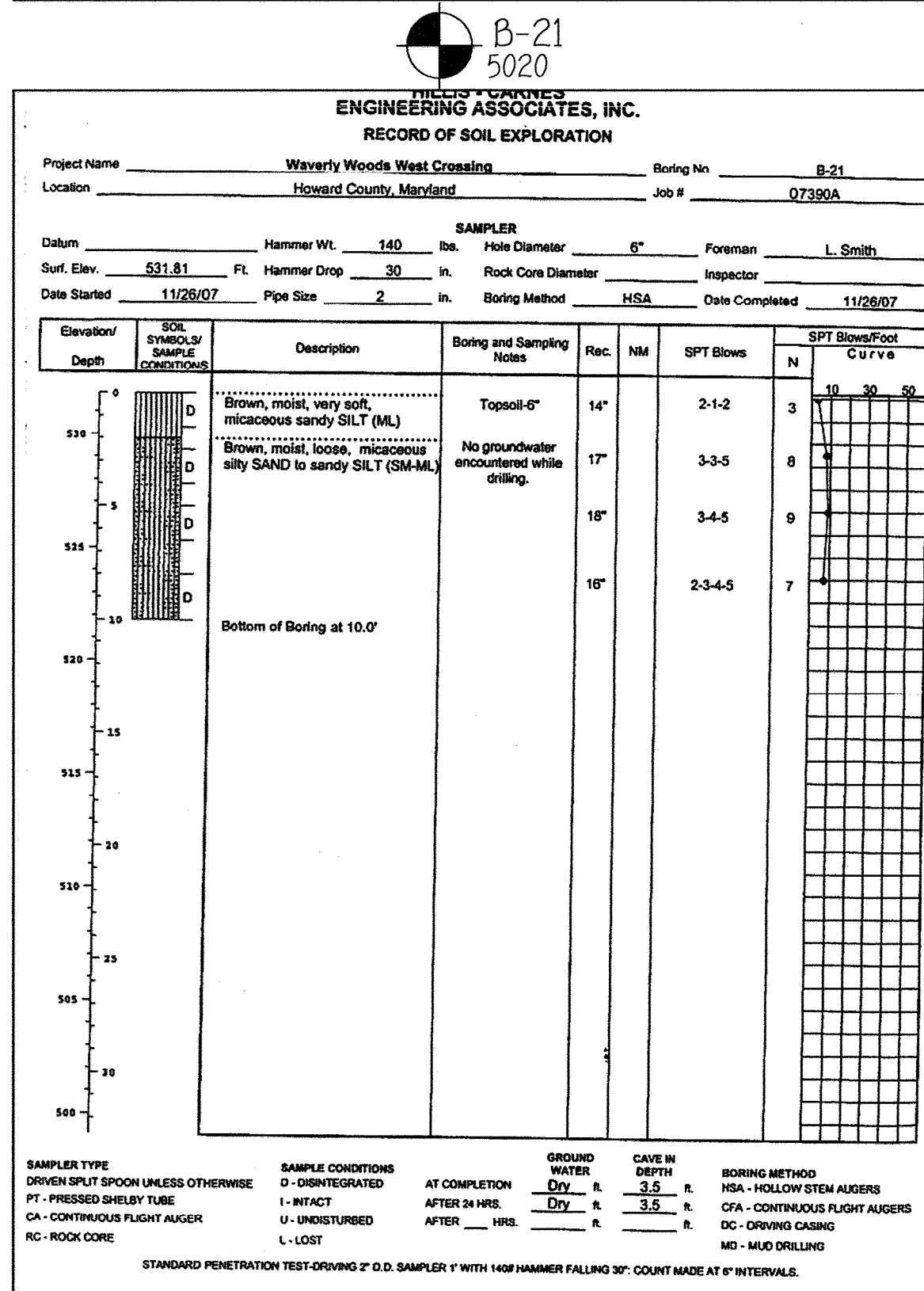
REVISED

SOIL BORING SHEET
 AGE RESTRICTED ADULT HOUSING
 GTW'S WAVERLY WOODS
 SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASES II, III & IV LOTS 9, 12 THRU 39, 41 THRU 60; 62 THRU 103, 172 THRU 231 & 240 THRU 309
 TOWNHOUSE & SINGLE FAMILY HOMES

ZONING F5C
 GRID NO.: 3 & 4
 PARCEL NO.: PART OF 249
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: 10/28/12 SHEET 78 OF 309

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

SDP-09-039



K:\ISSUES\0310776 GW WEST\Boring\Boring_Spec\Sheet 79_11142012 11:44:33 AM, 1:1

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE, P.O. BOX 1072 BALTIMORE NATIONAL FIRE
ELICOTT CITY, MARYLAND 21042
410-416-2252

TERRELL A. FISHER, PROFESSIONAL ENGINEER
DATE: 11/17/12

NO.	REV.	DATE
3	REV. TO ADD PEE SINGLE LOGS PER K-14-111 & ADD MAKE V TO 097-09-099	10/3/14
2	REV. TO ADD PEE SINGLE LOGS PER P-19-101	10/17/13
1	REV. TO ADD PEE SINGLE LOGS PER P-12-089 AND ADD GRIFFIN HALL	9/28/12

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/3/14.

AS-BUILT CERTIFICATION

Note: There is no "AS BUILT" information provided on this sheet.

DATE: 11/6/18

BUILDERS

NV HOMES 6085 MARSHALLEE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-5956	RYAN HOMES 6085 MARSHALLEE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956
--	--

DEVELOPER

WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELICOTT CITY, MARYLAND 21042
443-367-0422

OWNERS

WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELICOTT CITY, MARYLAND 21042
443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development: *[Signature]* 12/16/12
 Chief, Development Engineering Division: *[Signature]* 12/16/12
 Director - Department of Planning and Zoning: *[Signature]* 12/16/12

PROJECT	GTW'S WAVERLY WOODS	SECTION	14
PLAT	SEE GENERAL NOTE #91	BLOCK NO.	3 & 4
WATER CODE	K-02	SEWER CODE	5992000

REVISED

SOIL BORING SHEET

AGE RESTRICTED ADULT HOUSING GTW'S WAVERLY WOODS

SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASE II, THRU V LOTS 9, 12 THRU 30, 44 THRU 66, 88 THRU 109, 172 THRU 231 & 240 THRU 309
TOWNHOUSE & SINGLE FAMILY HOMES

ZONING: PSC
GRID NO.: 3 & 4
PARCEL NO.: PART OF 249
THIRD ELECTION DISTRICT: HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: DECEMBER, 2013
SHEET 79 OF 100

SDP-09-039

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

B-31
5030

HILLIS - CARNES
ENGINEERING ASSOCIATES, INC.

Project Name: Waverly Woods West Crossing
Location: Howard County, Maryland
Boring No.: B-31
Job #: 07390A
Datum: Hammer Wt. 140 lbs. Hole Diameter 6" Foreman L. Smith
Surf. Elev. 479.05 Ft. Hammer Drop 30 in. Rock Core Diameter Inspector
Date Started 11/21/07 Pipe Size 2 in. Boring Method HSA Date Completed 11/21/07

Table with columns: Elevation/Depth, Description, Boring and Sampling Notes, Rec., NM, SPT Blows, SPT Blow/Feet. Includes soil descriptions like 'Brown, moist, soft to stiff, micaceous sandy SILT, trace rock fragments (ML)' and 'Brown, moist to wet, loose to medium dense, micaceous silty SAND to sandy SILT (SM-ML)'. Bottom of Boring at 16.5'.

SAMPLER TYPE: DRIVEN SPLIT SPOON UNLESS OTHERWISE...
SAMPLE CONDITIONS: D - DISTURBED...
GROUND WATER: AT COMPLETION...
CASE IN DEPTH: 7.0 R...
BORING METHOD: HSA - HOLLOW STEM AUGERS

B-32
5031

HILLIS - CARNES
ENGINEERING ASSOCIATES, INC.

Project Name: Waverly Woods West Crossing
Location: Howard County, Maryland
Boring No.: B-32
Job #: 07390A
Datum: Hammer Wt. 140 lbs. Hole Diameter 6" Foreman L. Smith
Surf. Elev. 465.05 Ft. Hammer Drop 30 in. Rock Core Diameter Inspector
Date Started 11/19/07 Pipe Size 2 in. Boring Method HSA Date Completed 11/19/07

Table with columns: Elevation/Depth, Description, Boring and Sampling Notes, Rec., NM, SPT Blows, SPT Blow/Feet. Includes soil descriptions like 'Brown, moist, soft to stiff, micaceous sandy SILT (ML)' and 'Brown, moist to damp, loose to medium dense, micaceous silty SAND to sandy SILT (SM-ML)'. Bottom of Boring at 15.0'.

SAMPLER TYPE: DRIVEN SPLIT SPOON UNLESS OTHERWISE...
SAMPLE CONDITIONS: D - DISTURBED...
GROUND WATER: AT COMPLETION...
CASE IN DEPTH: 8.0 R...
BORING METHOD: HSA - HOLLOW STEM AUGERS

B-33
5032

HILLIS - CARNES
ENGINEERING ASSOCIATES, INC.

Project Name: Waverly Woods West Crossing
Location: Howard County, Maryland
Boring No.: B-33
Job #: 07390A
Datum: Hammer Wt. 140 lbs. Hole Diameter 6" Foreman L. Smith
Surf. Elev. 470.30 Ft. Hammer Drop 30 in. Rock Core Diameter Inspector
Date Started 11/19/07 Pipe Size 2 in. Boring Method HSA Date Completed 11/19/07

Table with columns: Elevation/Depth, Description, Boring and Sampling Notes, Rec., NM, SPT Blows, SPT Blow/Feet. Includes soil descriptions like 'Brown, moist to damp, soft to stiff, micaceous sandy SILT (ML)' and 'Brown, moist, medium dense, micaceous silty SAND to sandy SILT (SM-ML)'. Bottom of Boring at 15.0'.

SAMPLER TYPE: DRIVEN SPLIT SPOON UNLESS OTHERWISE...
SAMPLE CONDITIONS: D - DISTURBED...
GROUND WATER: AT COMPLETION...
CASE IN DEPTH: 5.0 R...
BORING METHOD: HSA - HOLLOW STEM AUGERS

B-34
5033

HILLIS - CARNES
ENGINEERING ASSOCIATES, INC.

Project Name: Waverly Woods West Crossing
Location: Howard County, Maryland
Boring No.: B-34
Job #: 07390A
Datum: Hammer Wt. 140 lbs. Hole Diameter 6" Foreman L. Smith
Surf. Elev. 471.50 Ft. Hammer Drop 30 in. Rock Core Diameter Inspector
Date Started 11/19/07 Pipe Size 2 in. Boring Method HSA Date Completed 11/19/07

Table with columns: Elevation/Depth, Description, Boring and Sampling Notes, Rec., NM, SPT Blows, SPT Blow/Feet. Includes soil descriptions like 'Brown, moist, soft to medium stiff, micaceous sandy SILT (ML)' and 'Brown, moist, medium dense, micaceous silty SAND to sandy SILT (SM-ML)'. Bottom of Boring at 12.0'.

SAMPLER TYPE: DRIVEN SPLIT SPOON UNLESS OTHERWISE...
SAMPLE CONDITIONS: D - DISTURBED...
GROUND WATER: AT COMPLETION...
CASE IN DEPTH: 4.0 R...
BORING METHOD: HSA - HOLLOW STEM AUGERS

B-35
5034

HILLIS - CARNES
ENGINEERING ASSOCIATES, INC.

Project Name: Waverly Woods West Crossing
Location: Howard County, Maryland
Boring No.: B-35
Job #: 07390A
Datum: Hammer Wt. 140 lbs. Hole Diameter 6" Foreman L. Smith
Surf. Elev. 475.11 Ft. Hammer Drop 30 in. Rock Core Diameter Inspector
Date Started 11/21/07 Pipe Size 2 in. Boring Method HSA Date Completed 11/21/07

Table with columns: Elevation/Depth, Description, Boring and Sampling Notes, Rec., NM, SPT Blows, SPT Blow/Feet. Includes soil descriptions like 'Brown, moist, soft, micaceous sandy SILT (ML)' and 'Brown, moist, medium dense, micaceous silty SAND to sandy SILT (SM-ML)'. Bottom of Boring at 12.0'.

SAMPLER TYPE: DRIVEN SPLIT SPOON UNLESS OTHERWISE...
SAMPLE CONDITIONS: D - DISTURBED...
GROUND WATER: AT COMPLETION...
CASE IN DEPTH: 4.5 R...
BORING METHOD: HSA - HOLLOW STEM AUGERS

B-36
5035

HILLIS - CARNES
ENGINEERING ASSOCIATES, INC.

Project Name: Waverly Woods West Crossing
Location: Howard County, Maryland
Boring No.: B-36
Job #: 07390A
Datum: Hammer Wt. 140 lbs. Hole Diameter 6" Foreman L. Smith
Surf. Elev. 474.55 Ft. Hammer Drop 30 in. Rock Core Diameter Inspector
Date Started 11/20/07 Pipe Size 2 in. Boring Method HSA Date Completed 11/20/07

Table with columns: Elevation/Depth, Description, Boring and Sampling Notes, Rec., NM, SPT Blows, SPT Blow/Feet. Includes soil descriptions like 'Brown, moist, soft to stiff, micaceous sandy SILT (ML)' and 'Brown, moist, medium dense, micaceous silty SAND to sandy SILT, trace to no rock fragments (SM-ML)'. Bottom of Boring at 12.0'.

SAMPLER TYPE: DRIVEN SPLIT SPOON UNLESS OTHERWISE...
SAMPLE CONDITIONS: D - DISTURBED...
GROUND WATER: AT COMPLETION...
CASE IN DEPTH: 4.5 R...
BORING METHOD: HSA - HOLLOW STEM AUGERS

FISHER, COLLINS & CARTER, INC. CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
11/14/12
REVISIONS: 1. REV. TO ADD FEE SIMPLE LOTS PER F-12-099 AND ADD GRIFFIN HALL...
2. REV. TO ADD FEE SIMPLE LOTS PER F-12-099 AND ADD GRIFFIN HALL...
3. REV. TO ADD FEE SIMPLE LOTS PER F-12-099 AND ADD GRIFFIN HALL...

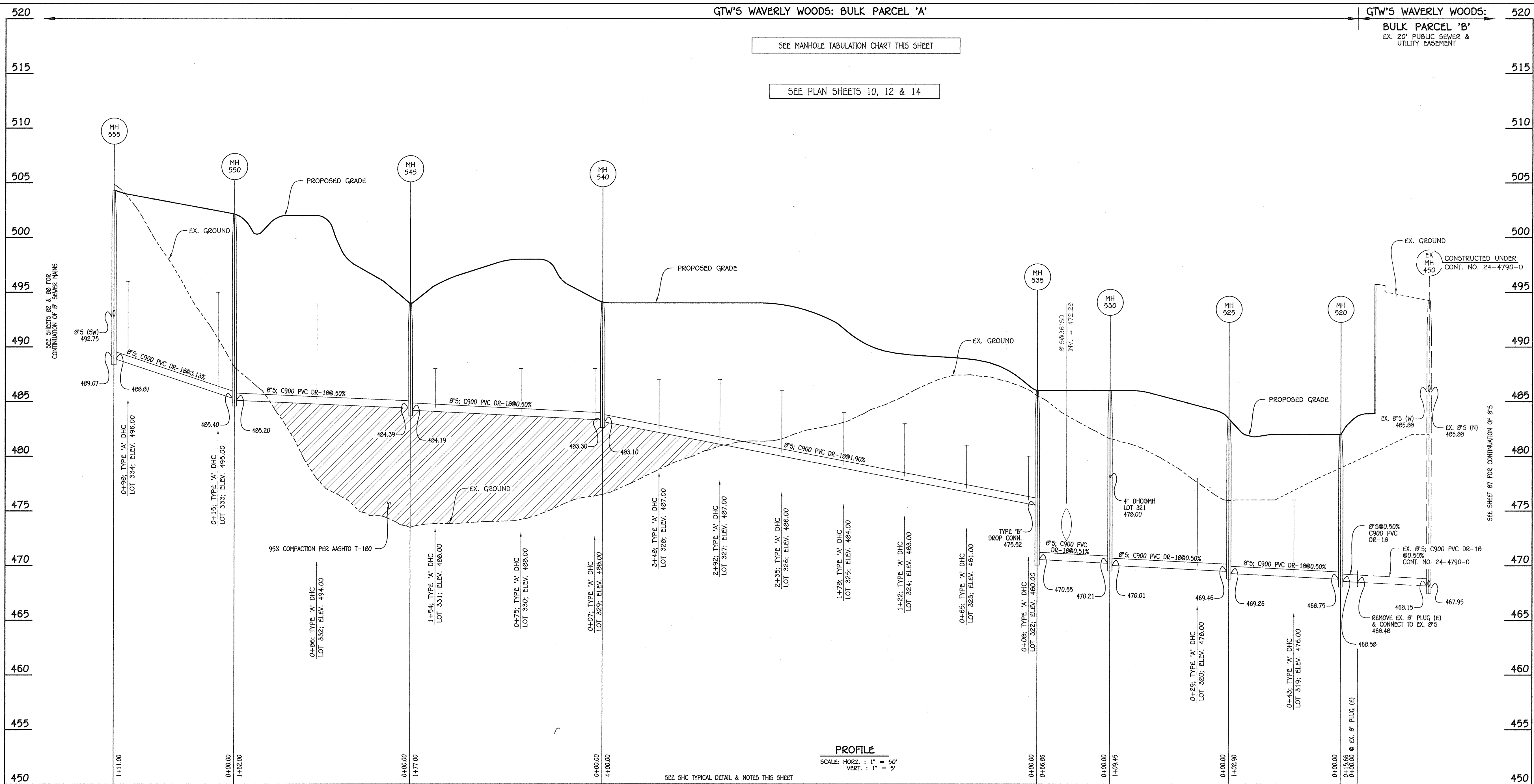
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757
TERRELL A. FISHER, PROFESSIONAL ENGINEER
AS-BUILT CERTIFICATION
Note: There is no "AS BUILT" information provided on this sheet.

BUILDERS: RYAN HOMES, 6085 MARSHALLEE DRIVE, SUITE 130, ELK RIDGE, MD. 21075
OWNERS: WAVERLY WOODS DEVELOPMENT CORPORATION, C/O LAND DESIGN AND DEVELOPMENT, INC., 5300 DORSEY HALL DRIVE, SUITE 102, ELLICOTT CITY, MARYLAND 21042

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
KIT SHALOHAN, Chief, Division of Land Development
Director - Department of Planning and Zoning

REVISED SOIL BORING SHEET
AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"
TOWNHOUSE & SINGLE FAMILY HOMES
ZONING: PSC
PARCEL NO.: PART OF 249
SCALE: AS SHOWN
DATE: 11/14/12

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET



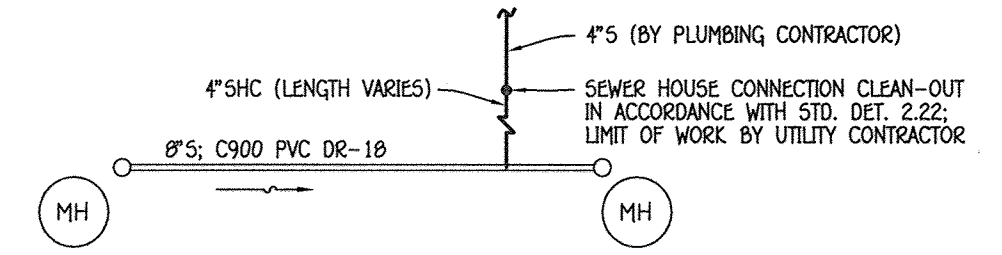
8" SEWER MAIN: EX. 8" PLUG TO MH 555

SHC INVERT@BUILDING		
STATION	LOT	ELEVATION
MH 540 TO MH 545		
0+07 LT.	329 (DHC)	488.20
0+75 LT.	330 (DHC)	488.10
1+54 LT.	331 (DHC)	488.40
MH 545 TO MH 550		
0+86 LT.	332 (DHC)	494.20
MH 550 TO MH 555		
0+15 LT.	333 (DHC)	496.20
0+98 LT.	334 (DHC)	495.20

SHC INVERT@BUILDING		
STATION	LOT	ELEVATION
MH 520 TO MH 525		
0+43 LT.	319 (DHC)	476.40
MH 525 TO MH 530		
0+29 LT.	320 (DHC)	478.20
@MH 530 LT.	321 (DHC@MH)	478.20
MH 535 TO MH 540		
0+08 LT.	322 (DHC)	480.10
0+65 LT.	323 (DHC)	481.20
1+22 LT.	324 (DHC)	483.20
1+78 LT.	325 (DHC)	484.10
2+35 LT.	326 (DHC)	486.10
2+92 LT.	327 (DHC)	487.10
3+48 LT.	328 (DHC)	487.20

MANHOLE TABULATION CHART			
NO.	NORTHING	EASTING	RIM ELEVATION
520	538614.28	827788.51	482.00
525	538704.67	827837.69	483.40
530	538811.93	827859.46	486.00
535	538878.73	827856.59	486.00
540	539268.19	827765.38	494.00
545	539435.84	827708.63	499.50
550	539511.33	827565.30	502.15
555	539526.84	827455.38	504.35

SEWER MAIN NOTES:
 1. ALL SEWER MAINS SHALL BE ANMA C900 PVC DR-18 PIPE.
 2. ALL PIPE BEDDING SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME II - WATER AND SEWER STANDARDS FOR ANMA C900 PVC SEWER PIPE INSTALLATION.



TYPICAL SHC DETAIL
NO SCALE

REVISED

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042
 (410) 461 - 2892



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/31/16.

TERRELL A. FISHER, PROFESSIONAL ENGINEER
 DATE: 7/14/15

AS-BUILT CERTIFICATION
 Note: There is no "AS BUILT" information provided on this sheet.
 Date: 7/14/15

BUILDERS

RYN HOMES
 6085 MARSHALLE DRIVE
 SUITE 130
 ELK RIDGE, MD. 21075
 410-379-5956

RYAN HOMES
 6085 MARSHALLE DRIVE
 SUITE 140
 ELK RIDGE, MD. 21075
 410-379-5956

DEVELOPER
 WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELICOTT CITY, MARYLAND 21042
 443-367-0422

OWNERS
 WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELICOTT CITY, MARYLAND 21042
 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Kate Calhoun 7-21-15
 Chief, Division of Land Development
 Date

Paul Elmer 7-24-15
 Chief, Development Engineering Division
 Date

William Saxe 8-4-15
 Director - Department of Planning and Zoning
 Date

PROJECT: GTW'S WAVERLY WOODS SECTION: 14 PARCEL NO.: 14
 PHASE II THRU V
 172 THRU 231 & 240 THRU 369

PLAT: SEE GENERAL NOTE # 51 BLOCK NO.: 3 & 4 ZONE: PSC TAX/ZONE: 16 ELEC. DIST.: THIRD CENSUS TR.: 60300

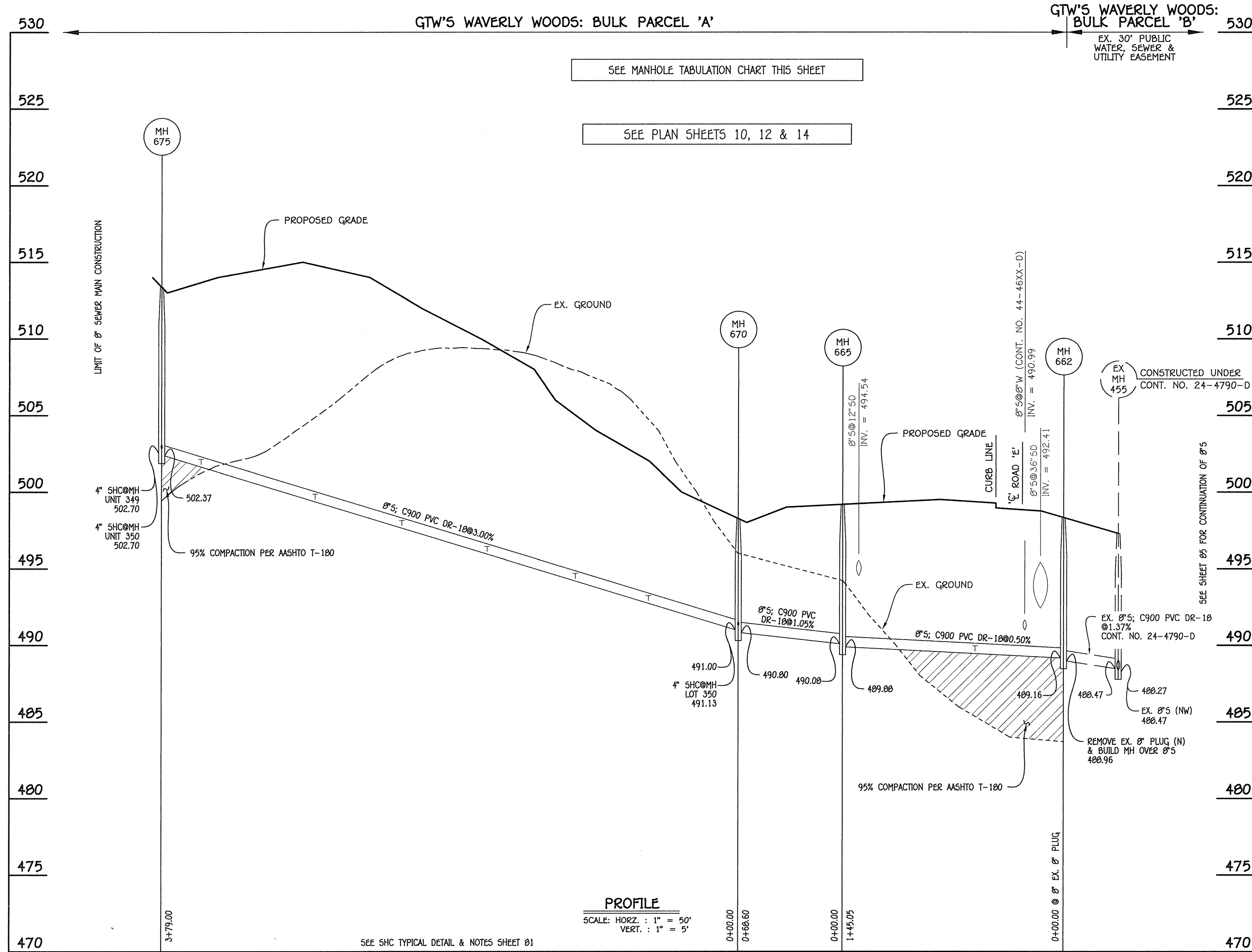
WATER CODE: K-02 SEWER CODE: 5992000

SEWER MAIN PROFILES

AGE RESTRICTED ADULT HOUSING
 GTW'S WAVERLY WOODS
 SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASES II, THRU V LOTS 5, 12 THRU 39, 44 THRU 86, 88 THRU 165, 172 THRU 231 & 240 THRU 369
 TOWNHOUSE & SINGLE FAMILY HOMES

ZONING: PSC
 TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: MAY 1, 2015
 SHEET 81 OF 100 SDP-09-039

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET



8" SEWER MAIN: EX. 8" PLUG (N) TO MH 675

MANHOLE TABULATION CHART			
NO.	NORTHING	EASTING	RIM ELEVATION
662	530700.71	027676.34	490.33
665	530045.69	027600.93	499.10
670	530061.61	027614.20	490.25
675	539230.62	027527.70	513.36

NOTE: SET MH RIMS FLUSH W/PROPOSED GRADE.

SHC INVERT@BUILDING		
STATION	LOT	ELEVATION
MH 662 TO MH 665		
0+50 LT.	349	409.70
MH 665 TO MH 670		
@MH 670 LT.	350	491.43
MH 670 TO MH 675		
0+59 LT.	351	493.24
1+07 LT.	352	494.50
1+65 LT.	353	496.32
2+21 LT.	354	498.00
2+70 LT.	355	499.71
3+53 LT.	356	501.96
@MH 675 LT.	357	503.40
@MH 675 CEN.	350	502.90

K:\50454PROJ\30770 GTW WEST.dwg Construction Documents\Construction Documents\30770 Sewer Base Plan For 5th Redline 5 - July - 2014.dwg, 7/14/2015 9:53:20 AM

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10572 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
(410) 461-2095

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 97977 EXPIRATION DATE IS 07/16.

Terrell A. Fisher 7/14/15
TERRELL A. FISHER, PROFESSIONAL ENGINEER DATE

AS-BUILT CERTIFICATION

Note: There is no "AS BUILT" information provided on this sheet.

Chad J. ... 7/14/15
Date

BUILDERS	
NV HOMES 6085 MARSHALEE DRIVE SUITE 130 ELKRIDGE, MD. 21075 410-379-5956	RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELKRIDGE, MD. 21075 410-379-5956
DEVELOPER	OWNERS
WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-367-0422	WAVERLY WOODS DEVELOPMENT CORPORATION, C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-367-0422

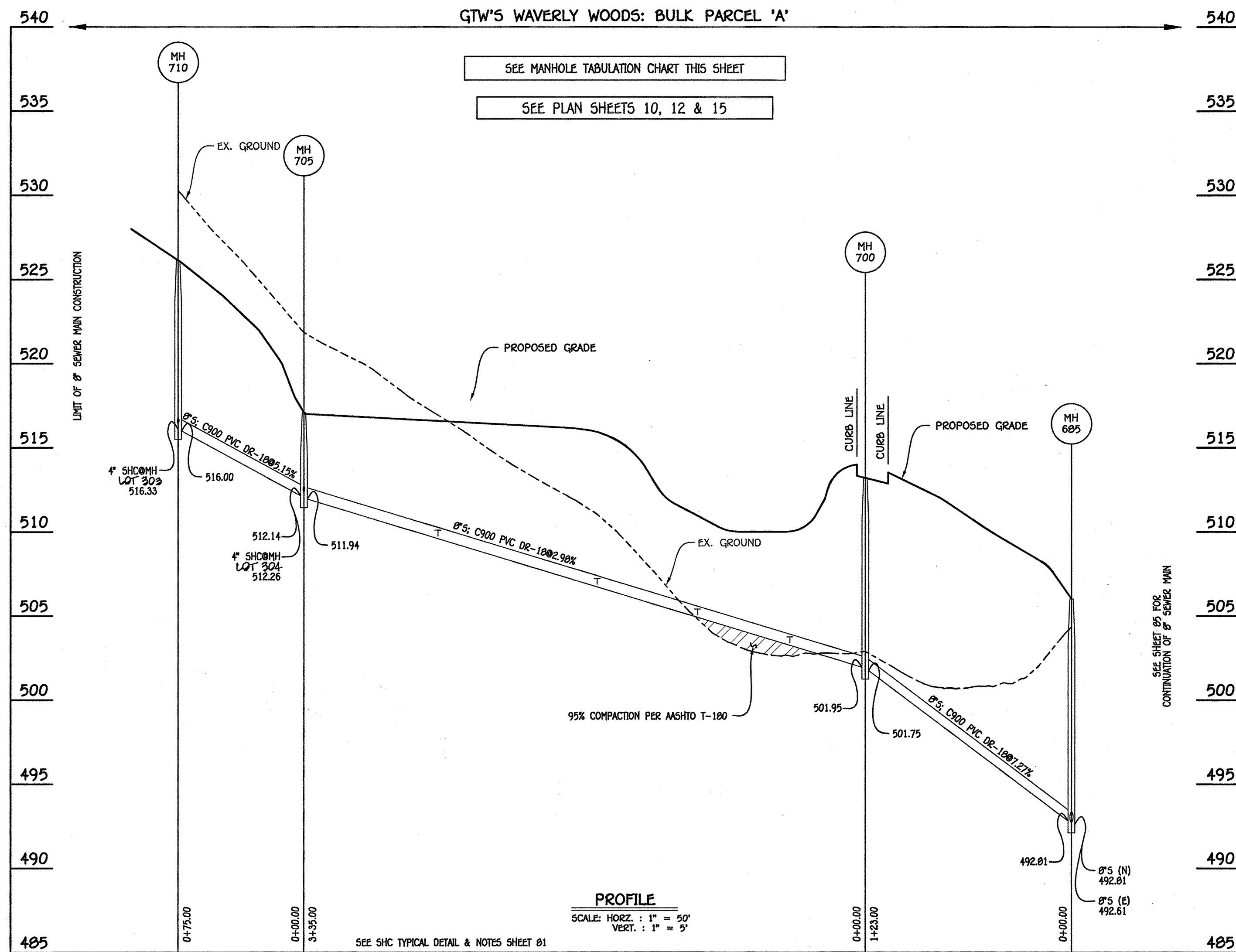
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Kedra ... 7-31-15
Chief, Division of Land Development Date

... 7-24-15
Chief, Development Engineering Division Date

... 8-4-15
Director - Department of Planning and Zoning Date

PROJECT	SECTION	PARCEL NO. 'E'
GTW'S WAVERLY WOODS	14	PHASE II THRU V 105.5, 117.0, 128.5, 140.0, 151.5, 163.0, 174.5, 186.0, 197.5, 209.0, 220.5, 232.0, 243.5, 255.0, 266.5, 278.0, 289.5, 301.0, 312.5, 324.0, 335.5, 347.0, 358.5, 370.0, 381.5, 393.0, 404.5, 416.0, 427.5, 439.0, 450.5, 462.0, 473.5, 485.0, 496.5, 508.0, 519.5, 531.0, 542.5, 554.0, 565.5, 577.0, 588.5, 600.0, 611.5, 623.0, 634.5, 646.0, 657.5, 669.0, 680.5, 692.0, 703.5, 715.0, 726.5, 738.0, 749.5, 761.0, 772.5, 784.0, 795.5, 807.0, 818.5, 830.0, 841.5, 853.0, 864.5, 876.0, 887.5, 899.0, 910.5, 922.0, 933.5, 945.0, 956.5, 968.0, 979.5, 991.0, 1002.5, 1014.0, 1025.5, 1037.0, 1048.5, 1060.0, 1071.5, 1083.0, 1094.5, 1106.0, 1117.5, 1129.0, 1140.5, 1152.0, 1163.5, 1175.0, 1186.5, 1198.0, 1209.5, 1221.0, 1232.5, 1244.0, 1255.5, 1267.0, 1278.5, 1290.0, 1301.5, 1313.0, 1324.5, 1336.0, 1347.5, 1359.0, 1370.5, 1382.0, 1393.5, 1405.0, 1416.5, 1428.0, 1439.5, 1451.0, 1462.5, 1474.0, 1485.5, 1497.0, 1508.5, 1520.0, 1531.5, 1543.0, 1554.5, 1566.0, 1577.5, 1589.0, 1600.5, 1612.0, 1623.5, 1635.0, 1646.5, 1658.0, 1669.5, 1681.0, 1692.5, 1704.0, 1715.5, 1727.0, 1738.5, 1750.0, 1761.5, 1773.0, 1784.5, 1796.0, 1807.5, 1819.0, 1830.5, 1842.0, 1853.5, 1865.0, 1876.5, 1888.0, 1899.5, 1911.0, 1922.5, 1934.0, 1945.5, 1957.0, 1968.5, 1980.0, 1991.5, 2003.0, 2014.5, 2026.0, 2037.5, 2049.0, 2060.5, 2072.0, 2083.5, 2095.0, 2106.5, 2118.0, 2129.5, 2141.0, 2152.5, 2164.0, 2175.5, 2187.0, 2198.5, 2210.0, 2221.5, 2233.0, 2244.5, 2256.0, 2267.5, 2279.0, 2290.5, 2302.0, 2313.5, 2325.0, 2336.5, 2348.0, 2359.5, 2371.0, 2382.5, 2394.0, 2405.5, 2417.0, 2428.5, 2440.0, 2451.5, 2463.0, 2474.5, 2486.0, 2497.5, 2509.0, 2520.5, 2532.0, 2543.5, 2555.0, 2566.5, 2578.0, 2589.5, 2601.0, 2612.5, 2624.0, 2635.5, 2647.0, 2658.5, 2670.0, 2681.5, 2693.0, 2704.5, 2716.0, 2727.5, 2739.0, 2750.5, 2762.0, 2773.5, 2785.0, 2796.5, 2808.0, 2819.5, 2831.0, 2842.5, 2854.0, 2865.5, 2877.0, 2888.5, 2900.0, 2911.5, 2923.0, 2934.5, 2946.0, 2957.5, 2969.0, 2980.5, 2992.0, 3003.5, 3015.0, 3026.5, 3038.0, 3049.5, 3061.0, 3072.5, 3084.0, 3095.5, 3107.0, 3118.5, 3130.0, 3141.5, 3153.0, 3164.5, 3176.0, 3187.5, 3199.0, 3210.5, 3222.0, 3233.5, 3245.0, 3256.5, 3268.0, 3279.5, 3291.0, 3302.5, 3314.0, 3325.5, 3337.0, 3348.5, 3360.0, 3371.5, 3383.0, 3394.5, 3406.0, 3417.5, 3429.0, 3440.5, 3452.0, 3463.5, 3475.0, 3486.5, 3498.0, 3509.5, 3521.0, 3532.5, 3544.0, 3555.5, 3567.0, 3578.5, 3590.0, 3601.5, 3613.0, 3624.5, 3636.0, 3647.5, 3659.0, 3670.5, 3682.0, 3693.5, 3705.0, 3716.5, 3728.0, 3739.5, 3751.0, 3762.5, 3774.0, 3785.5, 3797.0, 3808.5, 3820.0, 3831.5, 3843.0, 3854.5, 3866.0, 3877.5, 3889.0, 3900.5, 3912.0, 3923.5, 3935.0, 3946.5, 3958.0, 3969.5, 3981.0, 3992.5, 4004.0, 4015.5, 4027.0, 4038.5, 4050.0, 4061.5, 4073.0, 4084.5, 4096.0, 4107.5, 4119.0, 4130.5, 4142.0, 4153.5, 4165.0, 4176.5, 4188.0, 4199.5, 4211.0, 4222.5, 4234.0, 4245.5, 4257.0, 4268.5, 4280.0, 4291.5, 4303.0, 4314.5, 4326.0, 4337.5, 4349.0, 4360.5, 4372.0, 4383.5, 4395.0, 4406.5, 4418.0, 4429.5, 4441.0, 4452.5, 4464.0, 4475.5, 4487.0, 4498.5, 4510.0, 4521.5, 4533.0, 4544.5, 4556.0, 4567.5, 4579.0, 4590.5, 4602.0, 4613.5, 4625.0, 4636.5, 4648.0, 4659.5, 4671.0, 4682.5, 4694.0, 4705.5, 4717.0, 4728.5, 4740.0, 4751.5, 4763.0, 4774.5, 4786.0, 4797.5, 4809.0, 4820.5, 4832.0, 4843.5, 4855.0, 4866.5, 4878.0, 4889.5, 4901.0, 4912.5, 4924.0, 4935.5, 4947.0, 4958.5, 4970.0, 4981.5, 4993.0, 5004.5, 5016.0, 5027.5, 5039.0, 5050.5, 5062.0, 5073.5, 5085.0, 5096.5, 5108.0, 5119.5, 5131.0, 5142.5, 5154.0, 5165.5, 5177.0, 5188.5, 5200.0, 5211.5, 5223.0, 5234.5, 5246.0, 5257.5, 5269.0, 5280.5, 5292.0, 5303.5, 5315.0, 5326.5, 5338.0, 5349.5, 5361.0, 5372.5, 5384.0, 5395.5, 5407.0, 5418.5, 5430.0, 5441.5, 5453.0, 5464.5, 5476.0, 5487.5, 5499.0, 5510.5, 5522.0, 5533.5, 5545.0, 5556.5, 5568.0, 5579.5, 5591.0, 5602.5, 5614.0, 5625.5, 5637.0, 5648.5, 5660.0, 5671.5, 5683.0, 5694.5, 5706.0, 5717.5, 5729.0, 5740.5, 5752.0, 5763.5, 5775.0, 5786.5, 5798.0, 5809.5, 5821.0, 5832.5, 5844.0, 5855.5, 5867.0, 5878.5, 5890.0, 5901.5, 5913.0, 5924.5, 5936.0, 5947.5, 5959.0, 5970.5, 5982.0, 5993.5, 6005.0, 6016.5, 6028.0, 6039.5, 6051.0, 6062.5, 6074.0, 6085.5, 6097.0, 6108.5, 6120.0, 6131.5, 6143.0, 6154.5, 6166.0, 6177.5, 6189.0, 6200.5, 6212.0, 6223.5, 6235.0, 6246.5, 6258.0, 6269.5, 6281.0, 6292.5, 6304.0, 6315.5, 6327.0, 6338.5, 6350.0, 6361.5, 6373.0, 6384.5, 6396.0, 6407.5, 6419.0, 6430.5, 6442.0, 6453.5, 6465.0, 6476.5, 6488.0, 6499.5, 6511.0, 6522.5, 6534.0, 6545.5, 6557.0, 6568.5, 6580.0, 6591.5, 6603.0, 6614.5, 6626.0, 6637.5, 6649.0, 6660.5, 6672.0, 6683.5, 6695.0, 6706.5, 6718.0, 6729.5, 6741.0, 6752.5, 6764.0, 6775.5, 6787.0, 6798.5, 6810.0, 6821.5, 6833.0, 6844.5, 6856.0, 6867.5, 6879.0, 6890.5, 6902.0, 6913.5, 6925.0, 6936.5, 6948.0, 6959.5, 6971.0, 6982.5, 6994.0, 7005.5, 7017.0, 7028.5, 7040.0, 7051.5, 7063.0, 7074.5, 7086.0, 7097.5, 7109.0, 7120.5, 7132.0, 7143.5, 7155.0, 7166.5, 7178.0, 7189.5, 7201.0, 7212.5, 7224.0, 7235.5, 7247.0, 7258.5, 7270.0, 7281.5, 7293.0, 7304.5, 7316.0, 7327.5, 7339.0, 7350.5, 7362.0, 7373.5, 7385.0, 7396.5, 7408.0, 7419.5, 7431.0, 7442.5, 7454.0, 7465.5, 7477.0, 7488.5, 7500.0, 7511.5, 7523.0, 7534.5, 7546.0, 7557.5, 7569.0, 7580.5, 7592.0, 7603.5, 7615.0, 7626.5, 7638.0, 7649.5, 7661.0, 7672.5, 7684.0, 7695.5, 7707.0, 7718.5, 7730.0, 7741.5, 7753.0, 7764.5, 7776.0, 7787.5, 7799.0, 7810.5, 7822.0, 7833.5, 7845.0, 7856.5, 7868.0, 7879.5, 7891.0, 7902.5, 7914.0, 7925.5, 7937.0, 7948.5, 7960.0, 7971.5, 7983.0, 7994.5, 8006.0, 8017.5, 8029.0, 8040.5, 8052.0, 8063.5, 8075.0, 8086.5, 8098.0, 8109.5, 8121.0, 8132.5, 8144.0, 8155.5, 8167.0, 8178.5, 8190.0, 8201.5, 8213.0, 8224.5, 8236.0, 8247.5, 8259.0, 8270.5, 8282.0, 8293.5, 8305.0, 8316.5, 8328.0, 8339.5, 8351.0, 8362.5, 8374.0, 8385.5, 8397.0, 8408.5, 8420.0, 8431.5, 8443.0, 8454.5, 8466.0, 8477.5, 8489.0, 8500.5, 8512.0, 8523.5, 8535.0, 8546.5, 8558.0, 8569.5, 8581.0, 8592.5, 8604.0, 8615.5, 8627.0, 8638.5, 8650.0, 8661.5, 8673.0, 8684.5, 8696.0, 8707.5, 8719.0, 8730.5, 8742.0, 8753.5, 8765.0, 8776.5, 8788.0, 8799.5, 8811.0, 8822.5, 8834.0, 8845.5, 8857.0, 8868.5, 8880.0, 8891.5, 8903.0, 8914.5, 8926.0, 8937.5, 8949.0, 8960.5, 8972.0, 8983.5, 8995.0, 9006.5, 9018.0, 9029.5, 9041.0, 9052.5, 9064.0, 9075.5, 9087.0, 9098.5, 9110.0, 9121.5, 9133.0, 9144.5, 9156.0, 9167.5, 9179.0, 9190.5, 9202.0, 9213.5, 9225.0, 9236.5, 9248.0, 9259.5, 9271.0, 9282.5, 9294.0, 9305.5, 9317.0, 9328.5, 9340.0, 9351.5, 9363.0, 9374.5, 9386.0, 9397.5, 9409.0, 9420.5, 9432.0, 9443.5, 9455.0, 9466.5, 9478.0, 9489.5, 9501.0, 9512.5, 9524.0, 9535.5, 9547.0, 9558.5, 9570.0, 9581.5, 9593.0, 9604.5, 9616.0, 9627.5, 9639.0, 9650.5, 9662.0, 9673.5, 9685.0, 9696.5, 9708.0, 9719.5, 9731.0, 9742.5, 9754.0, 9765.5, 9777.0, 9788.5, 9800.0, 9811.5, 9823.0, 9834.5, 9846.0, 9857.5, 9869.0, 9880.5, 9892.0, 9903.5, 9915.0, 9926.5, 9938.0, 9949.5, 9961.0, 9972.5, 9984.0, 9995.5, 10007.0, 10018.5, 10030.0, 10041.5, 10053.0, 10064.5, 10076.0, 10087.5, 10099.0, 10110.5, 10122.0, 10133.5, 10145.0, 10156.5, 10168.0, 10179.5, 10191.0, 10202.5, 10214.0, 10225.5, 10237.0, 10248.5, 10260.0, 10271.5, 10283.0, 10294.5, 10306.0, 10317.5, 10329.0, 10340.5, 10352.0, 10363.5, 10375.0, 10386.5, 10398.0, 10409.5, 10421.0, 10432.5, 10444.0, 10455.5, 10467.0, 10478.5, 10490.0, 10501.5, 10513.0, 10524.5, 10536.0, 10547.5, 10559.0, 10570.5, 10582.0, 10593.5, 10605.0, 10616.5, 10628.0, 10639.5, 10651.0, 10662.5, 10674.0, 10685.5, 10697.0, 10708.5, 10720.0, 10731.5, 10743.0, 10754.5, 10766.0, 10777.5, 10789.0, 10800.5, 10812.0, 10823.5, 10835.0, 10846.5, 10858.0, 10869.5, 10881.0, 10892.5, 10904.0, 10915.5, 10927.0, 10938.5, 10950.0, 10961.5, 10973.0, 10984.5, 10996.0, 11007.5, 11019.0, 11030.5, 11042.0, 11053.5, 11065.0, 11076.5, 11088.0, 11099.5, 11111.0, 11122.5, 11134.0, 11145.5, 11157.0, 11168.5, 11180.0, 11191.5, 11203.0, 11214.5, 11226.0, 11237.5, 11249.0, 11260.5, 11272.0, 11283.5, 11295.0, 11306.5, 11318.0, 11329.5, 11341.0, 11352.5, 11364.0, 11375.5, 11387.0, 11398.5, 11410.0, 11421.5, 11433.0, 11444.5, 11456.0, 11467.5, 11479.0, 11490.5, 11502.0, 11513.5, 11525.0, 11536.5, 11548.0, 11559.5, 11571.0, 11582.5, 11594.0, 11605.5, 11617.0, 11628.5, 11640.0, 11651.5, 11663.0, 11674.5, 11686.0, 11697.5, 11709.0, 11720.5, 11732.0, 11743.5, 11755.0, 11766.5, 11778.0, 11789.5, 11801.0, 11812.5, 11824.0, 11835.5, 11847.0, 11858.5, 11870.0, 11881.5, 11893.0, 11904.5, 11916.0, 11927.5, 11939.0, 11950.5, 11962.0, 11973.5, 11985.0, 11996.5, 12008.0, 12019.5, 12031.0, 12042.5, 12054.0, 12065.5, 12077.0, 12088.5, 12100.0, 12111.5, 12123.0, 12134.5, 12146.0, 12157.5, 12169.0, 12180.5, 12192.0, 12203.5, 12215.0, 12226.5, 12238.0, 12249.5, 12261.0, 12272.5, 12284.0, 12295.5, 12307.0, 12318.5, 12330.0, 12341.5, 12353.0, 12364.5, 12376.0, 12387.5, 12399.0, 12410.5, 12422.0, 12433.5, 12445.0, 12456.5, 12468.0, 12479.5, 12491.0, 12502.5, 12514.0, 12525.5, 12537.0, 12548.5, 12560.0, 12571.5, 12583.0, 12594.5, 12606.0, 12617.5, 12629.0, 12640.5, 12652.0, 12663.5, 12675.0, 12686.5, 12698.0, 12709.5, 12721.0, 12732.5, 12744.0, 12755.5, 12767.0, 12778.5, 12790.0, 12801.5, 12813.0, 12824.5, 12836.0, 12847.5, 12859.0, 12870.5, 12882.0, 12893.5, 12905.0, 12916.5, 12928.0, 12939.5, 12951.0, 12962.5, 12974.0, 12985.5, 12997.0, 13008.5, 13020.0, 13031.5, 13043.0, 13054.5, 13066.0, 13077.5, 13089.0, 13100.5, 13112.0, 13123.5, 13135.0, 13146.5, 13158.0, 13169.5, 13181.0, 13192.5, 13204.0, 13215.5, 13227.0, 13238.5, 13250.0, 13261.5, 13273.0, 13284.5, 13296.0, 13307.5, 13319.0, 13330.5, 13342.0, 13353.5, 13365.0, 13376.5, 13388.0, 13399.5, 13411.0, 13422.5, 13434.0, 13445.5, 13457.0, 13468.5, 13480.0, 13491.5, 13503.0, 13514.5, 13526.0, 13537.5, 13549.0, 13560.5, 13572.0, 13583.5, 13595.0, 13606.5, 13618.0, 13629.5, 13641.0, 13652.5, 13664.0, 13675.5, 13687.0, 13698.5, 13710.0, 13721.5, 13733.0, 13744.5, 13756.0, 13767.5, 13779.0, 13790.5, 13802.0, 13813.5, 13825.0, 13836.5, 13848.0, 13859.5, 13871.0, 13882.5, 13894.0, 13905.5, 13917.0, 13928.5, 13940.0, 13951.5, 13963.0, 13974.5, 13986.0, 13997.5, 14009.0, 14020.5, 14032.0, 14043.5, 14055.0, 14066.5, 14078.0, 14089.5, 14101.0, 14112.5, 14124.0, 141



8" SEWER MAIN: MH 685 TO MH 710

MANHOLE TABULATION CHART			
NO.	NORTHING	EASTING	RIM ELEVATION
685	538697.17	827483.76	506.00
700	538669.12	827364.01	513.20
705	538995.30	827287.62	517.00
710	539037.40	827225.55	526.00

NOTE: SET MH RIMS FLUSH W/PROPOSED GRADE.

SHC INVERT@BUILDING		
STATION	LOT	ELEVATION
MH 700 TO MH 705		
0+45 LT.	306	503.86
1+00 LT.	307	505.60
1+60 LT.	308	507.19
2+55 LT.	309	510.12
@MH 705 LT.	304	512.86
MH 705 TO MH 710		
@MH 710 LT.	303	516.73

REVISED

SEWER MAIN PROFILES

AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
 SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASE II, TRU V LOTS 15, 12 THRU 33, 44 THRU 82, 88 THRU 105, 172 THRU 231 & 240 THRU 309
 TOWNHOUSE & SINGLE FAMILY HOMES

TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: MAY 1, 2018
 SHEET 86 OF 100



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/31/18.
 Terrell A. Fisher, PROFESSIONAL ENGINEER 11/14/12 DATE

AS-BUILT CERTIFICATION

Note: There is no "AS BUILT" information provided on this sheet.

Charles J. Drano, Jr. No. 13204 Date 11/14/12

BUILDERS

NV HOMES 6085 MARSHALLEE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-9956
 RYAN HOMES 6085 MARSHALLEE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956

DEVELOPER

WAVERLY WOODS DEVELOPMENT CORPORATION, C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELICOTT CITY, MARYLAND 21042 443-367-2422

OWNERS

WAVERLY WOODS DEVELOPMENT CORPORATION, C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELICOTT CITY, MARYLAND 21042 443-367-2422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Howard County Department of Planning and Zoning
 Chief, Division of Land Development
 Chief, Development Engineering Division
 Director - Department of Planning and Zoning

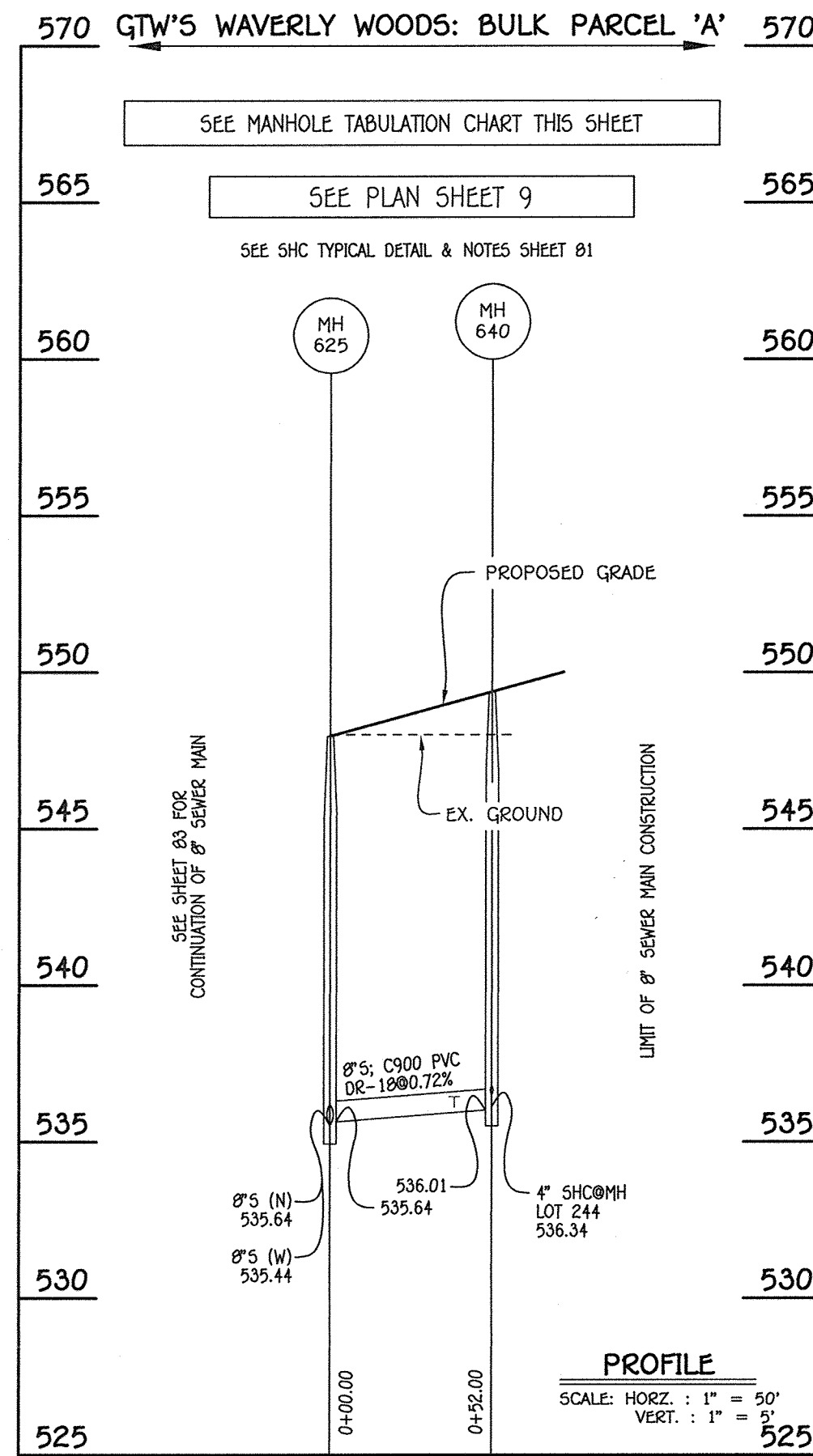
PROJECT: GTW'S WAVERLY WOODS SECTION: 14 PARCEL NO. 'E'

PLAT: SEE GENERAL NOTE #21 BLOCK NO.: 3 & 4 ZONE: PSC TAX/ZONE: 16 ELEC. DIST.: THIRD CENSUS TR.: 60300

WATER CODE: K-02 SEWER CODE: 5992000

NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
2	REV. TO ADD FEE SIMPLE LOTS PER F-13-101	10/17/13
3	REV. TO ADD FEE SIMPLE LOTS PER F-14-111 & ADD PHASE V TO 000-09-039	10/21/14
4	REV. SEWER PROFILE & SHC CHANG. TO REFLECT NEW LOT NUMBERS	5/1/19

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

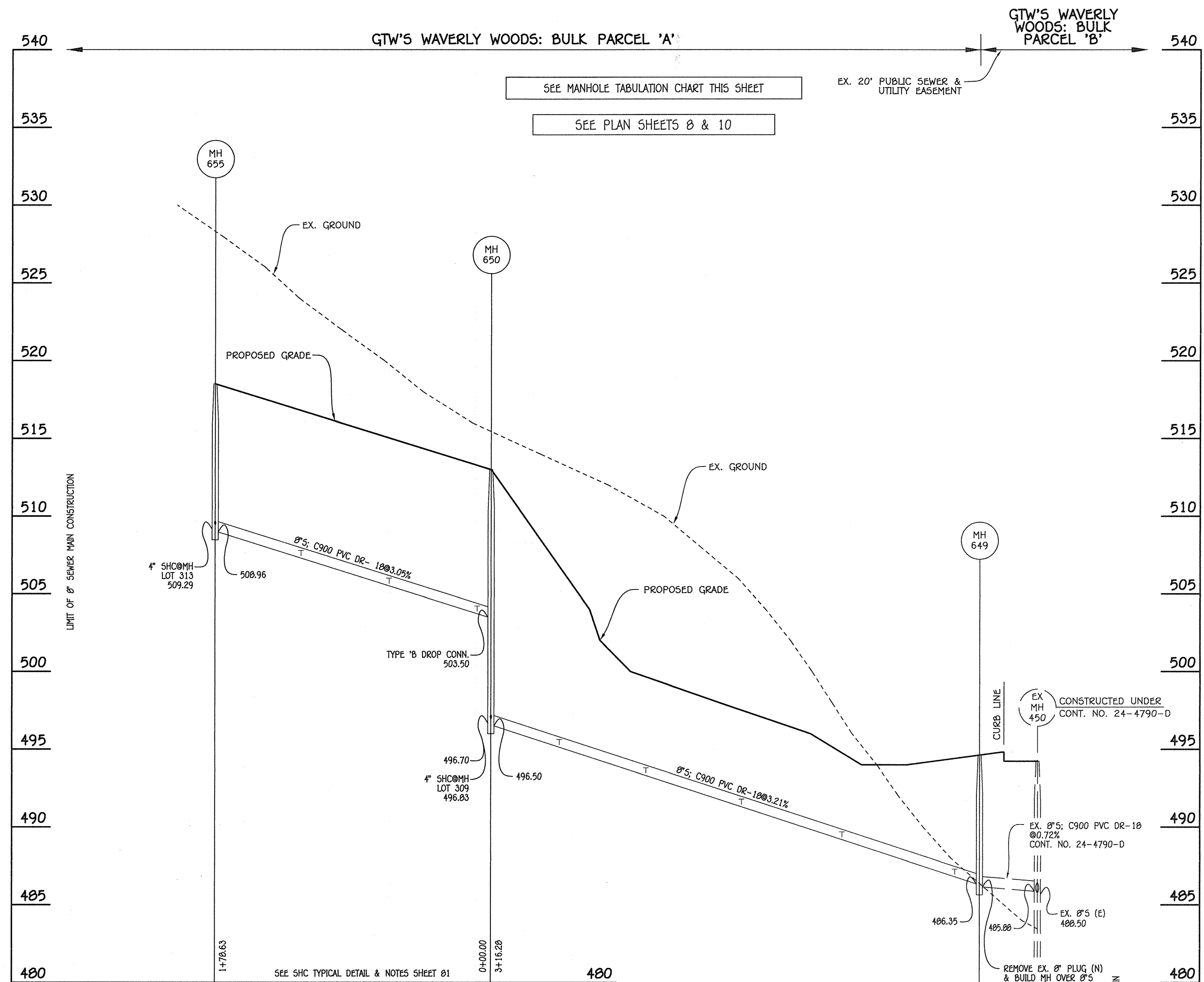


8" SEWER MAIN: MH 625 TO MH 640

SHC INVERT@BUILDING		
STATION	LOT	ELEVATION
MH 625 TO MH 640		
0+40 RT	243	536.40
@MH 640 CEN.	244	536.74

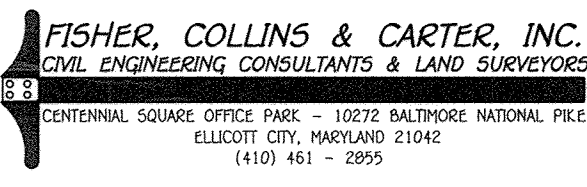
MANHOLE TABULATION CHART			
NO.	NORTHING	EASTING	RIM ELEVATION
625	538141.35	826703.76	547.85
640	538141.35	826755.76	499.50
649	538981.31	827674.64	494.62
650	538909.19	827366.69	513.00
655	538331.04	827353.67	518.50

NOTE: SET MH RIMS FLUSH W/PROPOSED GRADE.



8" SEWER MAIN: EX. 8" PLUG (W) TO MH 655

SHC INVERT@BUILDING		
STATION	LOT	ELEVATION
MH 649 TO MH 650		
0+16 RT.	318	487.17
0+89 RT.	317	489.52
1+54 RT.	316	491.60
2+16 RT.	315	493.59
2+72 RT.	314	493.39
@MH 650 RT.	313	497.69
MH 650 TO MH 655		
0+09 RT.	310	504.24
0+66 RT.	311	505.98
1+23 RT.	312	507.92
@MH 655 RT.	313	509.68



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE 10/31/16.

Terrell A. Fisher 7/14/15
 TERRELL A. FISHER, PROFESSIONAL ENGINEER DATE

AS-BUILT CERTIFICATION
 Note: There is no "AS BUILT" information provided on this sheet.

Charles J. Grant, Jr. 11/6/18
 CHARLES J. GRANT, JR. NO. 11004 Date

BUILDERS

RYAN HOMES 6095 MARSHALLE DRIVE SUITE 130 ELKRIDGE, MD. 21075 410-379-5956

RYAN HOMES 6095 MARSHALLE DRIVE SUITE 140 ELKRIDGE, MD. 21075 410-379-5956

DEVELOPER
 WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042 443-367-0422

OWNERS
 WAVERLY WOODS DEVELOPMENT CORPORATION,
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Karl S. Loh 7-31-15
 Chief, Division of Land Development Date

John J. ... 7-24-15
 Chief, Development Engineering Division Date

Thomas J. ... 8-4-16
 Director - Department of Planning and Zoning Date

PROJECT: GTW'S WAVERLY WOODS SECTION: 14 PARCEL NO.: 'E' PHASE II THRU V LOTS 5, 12 THRU 39, 44 THRU 86, 88 THRU 165, 172 THRU 231 & 240 THRU 269

PLAT: SEE GENERAL NOTE # 51 BLOCK NO.: 3 & 4 ZONE: PSC TAX/ZONE: 16 ELEC. DIST.: THIRD CENSUS TR.: 60300

WATER CODE: K-02 SEWER CODE: 5992000

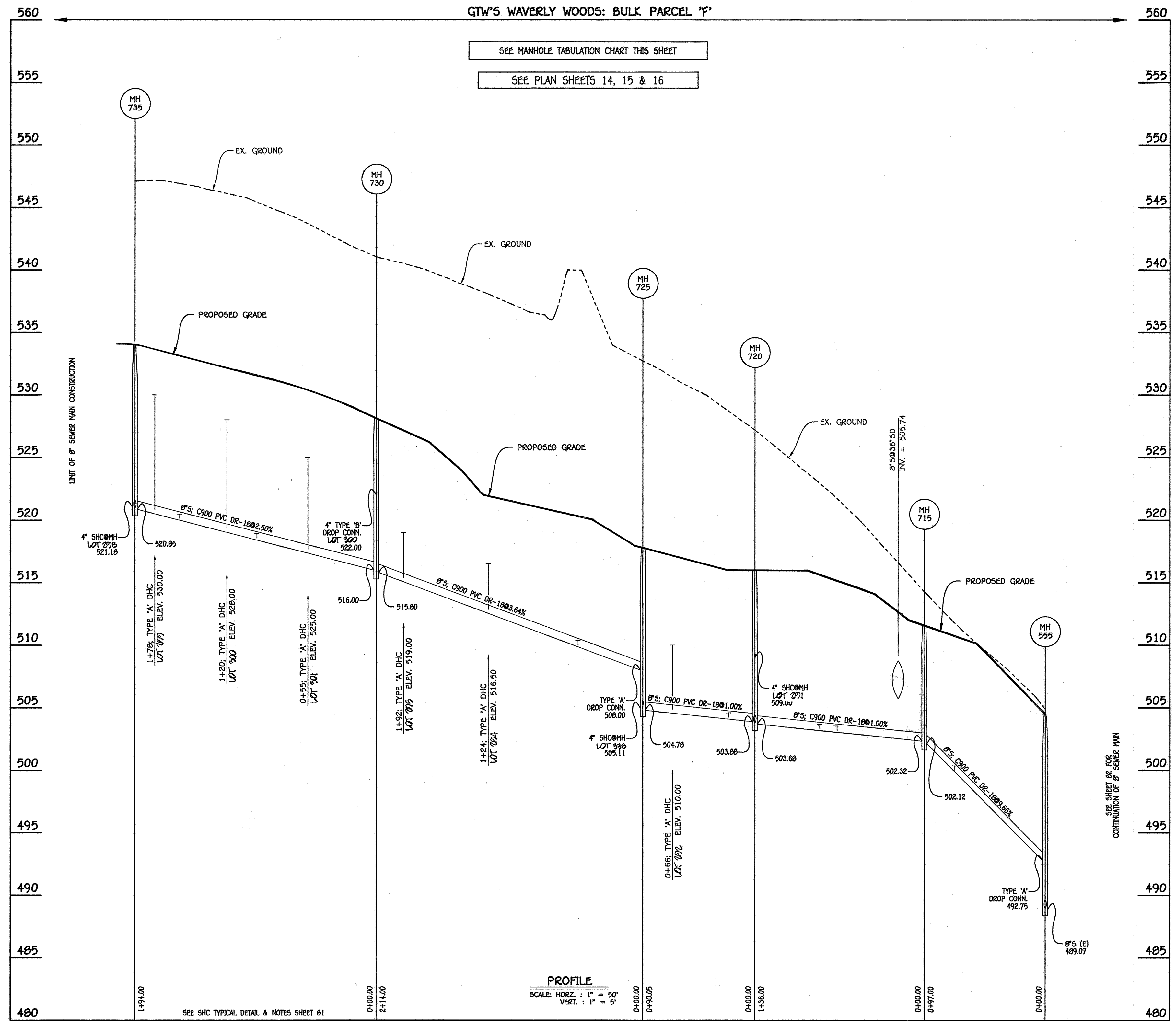
REVISED

REVISED SEWER MAIN PROFILES

AGE RESTRICTED ADULT HOUSING
 GTW'S WAVERLY WOODS
 SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASES II, THRU V LOTS 5, 12 THRU 39, 44 THRU 86, 88 THRU 165, 172 THRU 231 & 240 THRU 269
 TOWNHOUSE & SINGLE FAMILY HOMES

ZONING: PSC
 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: MAY 1, 2015
 SHEET 87 OF 100 5DP-09-039

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET



SEE MANHOLE TABULATION CHART THIS SHEET
SEE PLAN SHEETS 14, 15 & 16

MANHOLE TABULATION CHART			
NO.	NORTHING	EASTING	RIM ELEVATION
555	539526.84	827495.38	504.35
715	539488.47	827366.29	511.54
720	539388.48	827274.11	516.00
725	539308.02	827233.65	517.77
730	539140.16	827100.93	528.18
735	539128.89	826907.25	534.00

NOTE: SET MH RIMS FLUSH W/PROPOSED GRADE.

SHC INVERT@BUILDING		
STATION	LOT	ELEVATION
MH 555 TO MH 715		
0+73 LT.	235	500.17
	MH 715 TO MH 720	
0+70 LT.	230	503.29
0+84 RT.	230	504.83
●MH 720 LT.	231 (DHC@MH)	509.60
MH 720 TO MH 725		
0+21 LT.	237	504.76
0+66 RT.	230 (DHC)	510.30
●MH 725 LT.	238	505.41
MH 725 TO MH 730		
0+52 RT.	235	510.36
1+24 RT.	234 (DHC)	516.90
1+92 RT.	239 (DHC)	519.80
●MH 730 LT.	240 (DHC@MH)	523.00
MH 730 TO MH 735		
0+55 LT.	231 (DHC)	525.60
0+96 RT.	230	519.17
1+20 LT.	230 (DHC)	528.50
1+58 RT.	237	520.52
1+78 LT.	239 (DHC)	530.40
●MH 735 LT.	238	521.78

8" SEWER MAIN: MH 555 TO MH 735

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
(410) 461-2225

NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER P-12-089 AND ADD GRIFFIN HALL	9/28/12
2	REV. TO ADD FEE SIMPLE LOTS PER P-13-101	10/17/12
3	REV. TO ADD FEE SIMPLE LOTS PER P-14-111 & ADD HOUSES TO 200-09-039	10/31/14
4	REV. SEWER PROFILES & SHC CHARTS TO REFLECT NEW HOUSE NUMBERS	5/1/15



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE 3/31/14.

TERRELL A. FISHER, PROFESSIONAL ENGINEER
11/14/12 DATE

AS-BUILT CERTIFICATION
Note: There is no "AS BUILT" information provided on this sheet.
CHARLES J. CARROLL, No. 13204 Date

BUILDERS
NV HOMES 6085 MARSHALLE DRIVE SUITE 130 ELKRIDGE, MD. 21075 410-379-9956
RYAN HOMES 6085 MARSHALLE DRIVE SUITE 140 ELKRIDGE, MD. 21075 410-379-9956

DEVELOPER
WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLCOTT CITY, MARYLAND 21042
443-367-0422

OWNERS
WAVERLY WOODS DEVELOPMENT CORPORATION,
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLCOTT CITY, MARYLAND 21042
443-367-0422

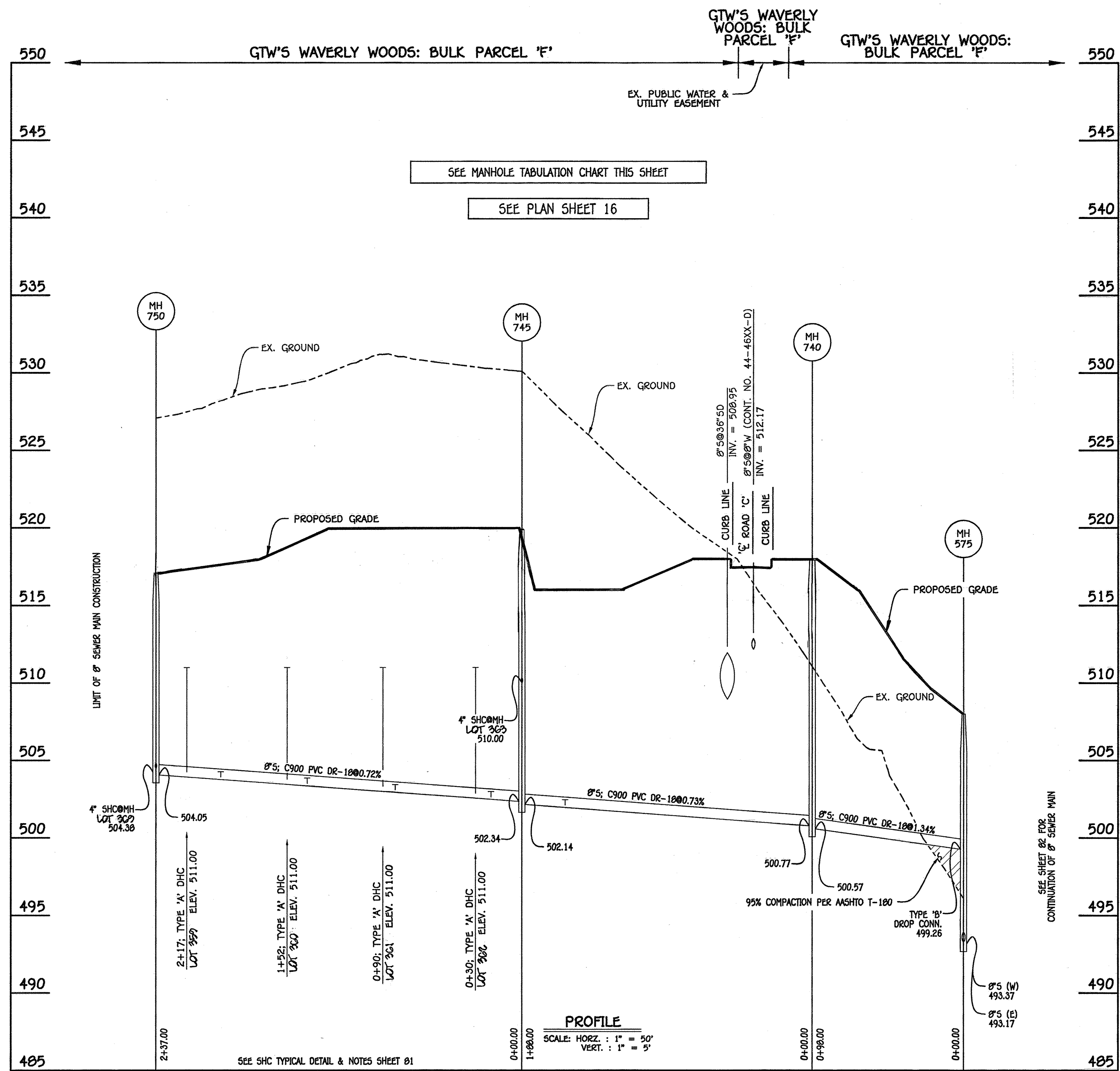
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Veronica... 12/19/12 Date
Chief, Division of Land Development

... 12/19/12 Date
Chief, Development Engineering Division

... 12/19/12 Date
Director - Department of Planning and Zoning

PROJECT: GTW'S WAVERLY WOODS SECTION: 14 PARCEL NO. 'E': 1429-231-010-005-105-106-107-108-109-110-111-112-113-114-115-116-117-118-119-120-121-122-123-124-125-126-127-128-129-130-131-132-133-134-135-136-137-138-139-140-141-142-143-144-145-146-147-148-149-150-151-152-153-154-155-156-157-158-159-160-161-162-163-164-165-166-167-168-169-170-171-172-173-174-175-176-177-178-179-180-181-182-183-184-185-186-187-188-189-190-191-192-193-194-195-196-197-198-199-200-201-202-203-204-205-206-207-208-209-210-211-212-213-214-215-216-217-218-219-220-221-222-223-224-225-226-227-228-229-230-231-232-233-234-235-236-237-238-239-240-241-242-243-244-245-246-247-248-249-250-251-252-253-254-255-256-257-258-259-260-261-262-263-264-265-266-267-268-269-270-271-272-273-274-275-276-277-278-279-280-281-282-283-284-285-286-287-288-289-290-291-292-293-294-295-296-297-298-299-300-301-302-303-304-305-306-307-308-309-310-311-312-313-314-315-316-317-318-319-320-321-322-323-324-325-326-327-328-329-330-331-332-333-334-335-336-337-338-339-340-341-342-343-344-345-346-347-348-349-350-351-352-353-354-355-356-357-358-359-360-361-362-363-364-365-366-367-368-369-370-371-372-373-374-375-376-377-378-379-380-381-382-383-384-385-386-387-388-389-390-391-392-393-394-395-396-397-398-399-400-401-402-403-404-405-406-407-408-409-410-411-412-413-414-415-416-417-418-419-420-421-422-423-424-425-426-427-428-429-430-431-432-433-434-435-436-437-438-439-440-441-442-443-444-445-446-447-448-449-450-451-452-453-454-455-456-457-458-459-460-461-462-463-464-465-466-467-468-469-470-471-472-473-474-475-476-477-478-479-480-481-482-483-484-485-486-487-488-489-490-491-492-493-494-495-496-497-498-499-500-501-502-503-504-505-506-507-508-509-510-511-512-513-514-515-516-517-518-519-520-521-522-523-524-525-526-527-528-529-530-531-532-533-534-535-536-537-538-539-540-541-542-543-544-545-546-547-548-549-550-551-552-553-554-555-556-557-558-559-560-561-562-563-564-565-566-567-568-569-570-571-572-573-574-575-576-577-578-579-580-581-582-583-584-585-586-587-588-589-590-591-592-593-594-595-596-597-598-599-600-601-602-603-604-605-606-607-608-609-610-611-612-613-614-615-616-617-618-619-620-621-622-623-624-625-626-627-628-629-630-631-632-633-634-635-636-637-638-639-640-641-642-643-644-645-646-647-648-649-650-651-652-653-654-655-656-657-658-659-660-661-662-663-664-665-666-667-668-669-670-671-672-673-674-675-676-677-678-679-680-681-682-683-684-685-686-687-688-689-690-691-692-693-694-695-696-697-698-699-700-701-702-703-704-705-706-707-708-709-710-711-712-713-714-715-716-717-718-719-720-721-722-723-724-725-726-727-728-729-730-731-732-733-734-735-736-737-738-739-740-741-742-743-744-745-746-747-748-749-750-751-752-753-754-755-756-757-758-759-760-761-762-763-764-765-766-767-768-769-770-771-772-773-774-775-776-777-778-779-780-781-782-783-784-785-786-787-788-789-790-791-792-793-794-795-796-797-798-799-800-801-802-803-804-805-806-807-808-809-810-811-812-813-814-815-816-817-818-819-820-821-822-823-824-825-826-827-828-829-830-831-832-833-834-835-836-837-838-839-840-841-842-843-844-845-846-847-848-849-850-851-852-853-854-855-856-857-858-859-860-861-862-863-864-865-866-867-868-869-870-871-872-873-874-875-876-877-878-879-880-881-882-883-884-885-886-887-888-889-890-891-892-893-894-895-896-897-898-899-900-901-902-903-904-905-906-907-908-909-910-911-912-913-914-915-916-917-918-919-920-921-922-923-924-925-926-927-928-929-930-931-932-933-934-935-936-937-938-939-940-941-942-943-944-945-946-947-948-949-950-951-952-953-954-955-956-957-958-959-960-961-962-963-964-965-966-967-968-969-970-971-972-973-974-975-976-977-978-979-980-981-982-983-984-985-986-987-988-989-990-991-992-993-994-995-996-997-998-999-1000-1001-1002-1003-1004-1005-1006-1007-1008-1009-1010-1011-1012-1013-1014-1015-1016-1017-1018-1019-1020-1021-1022-1023-1024-1025-1026-1027-1028-1029-1030-1031-1032-1033-1034-1035-1036-1037-1038-1039-1040-1041-1042-1043-1044-1045-1046-1047-1048-1049-1050-1051-1052-1053-1054-1055-1056-1057-1058-1059-1060-1061-1062-1063-1064-1065-1066-1067-1068-1069-1070-1071-1072-1073-1074-1075-1076-1077-1078-1079-1080-1081-1082-1083-1084-1085-1086-1087-1088-1089-1090-1091-1092-1093-1094-1095-1096-1097-1098-1099-1100-1101-1102-1103-1104-1105-1106-1107-1108-1109-1110-1111-1112-1113-1114-1115-1116-1117-1118-1119-1120-1121-1122-1123-1124-1125-1126-1127-1128-1129-1130-1131-1132-1133-1134-1135-1136-1137-1138-1139-1140-1141-1142-1143-1144-1145-1146-1147-1148-1149-1150-1151-1152-1153-1154-1155-1156-1157-1158-1159-1160-1161-1162-1163-1164-1165-1166-1167-1168-1169-1170-1171-1172-1173-1174-1175-1176-1177-1178-1179-1180-1181-1182-1183-1184-1185-1186-1187-1188-1189-1190-1191-1192-1193-1194-1195-1196-1197-1198-1199-1200-1201-1202-1203-1204-1205-1206-1207-1208-1209-1210-1211-1212-1213-1214-1215-1216-1217-1218-1219-1220-1221-1222-1223-1224-1225-1226-1227-1228-1229-1230-1231-1232-1233-1234-1235-1236-1237-1238-1239-1240-1241-1242-1243-1244-1245-1246-1247-1248-1249-1250-1251-1252-1253-1254-1255-1256-1257-1258-1259-1260-1261-1262-1263-1264-1265-1266-1267-1268-1269-1270-1271-1272-1273-1274-1275-1276-1277-1278-1279-128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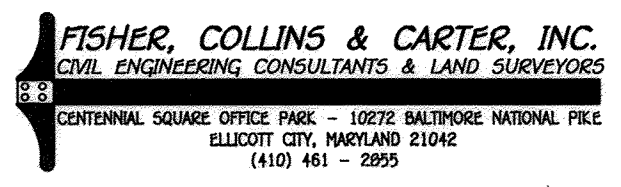
8" SEWER MAIN: MH 575 TO MH 750

MANHOLE TABULATION CHART			
NO.	NORTHING	EASTING	RIM ELEVATION
575	539711.07	026960.23	508.00
740	539614.00	026973.26	510.00
745	539426.14	026900.59	510.00
750	539414.15	026743.09	517.04

NOTE: SET MH RIMS FLUSH W/PROPOSED GRADE.

SHC INVERT@BUILDING		
STATION	LOT	ELEVATION
MH 740 TO MH 745		
1+60 RT.	304	502.51
@MH 745 RT.	303	510.40
MH 745 TO MH 750		
0+20 RT.	305	503.15
0+30 LT.	306 (DHC)	511.30
0+02 RT.	306	503.60
0+90 LT.	301 (DHC)	511.30
1+39 RT.	307	504.01
1+52 LT.	300 (DHC)	511.40
1+95 RT.	308	504.41
2+17 LT.	309 (DHC)	511.50
@MH 750 RT.	300	504.93

K:\ISSUES\PROJ\30770 GTW WEST\Wg\Construction Documents\Construction Document - 30770 Sewer Base Plan For Sdp Redline 4 - June 2012.dwg, SHEET 09, 11/15/2012 8:23:32 AM, 11



NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
2	REV. TO ADD FEE SIMPLE LOTS PER F-12-101	12/7/12
3	REV. TO ADD FEE SIMPLE LOTS PER F-14-111 AND ADD PARCELS TO PARCELS 09-099	10/21/14
4	REV. SEWER PROFILE & SHC CHANGES TO REFLECT NEW LOT NUMBERS	9/1/15



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 111112 EXPIRATION DATE 3/3/14.

TERRELL A. FISHER, PROFESSIONAL ENGINEER 11/14/12 DATE

AS-BUILT CERTIFICATION
 Note: There is no "AS-BUILT" information provided on this sheet.
 CHARLES J. ORR, JR. NO. 13204 Date 11/6/18

BUILDERS
 RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956
 RYAN HOMES 6085 MARSHALEE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956

DEVELOPER
 WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELICOTT CITY, MARYLAND 21042
 443-387-0422

OWNERS
 WAVERLY WOODS DEVELOPMENT CORPORATION,
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELICOTT CITY, MARYLAND 21042
 443-387-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Howard County Department of Planning and Zoning
 Chief, Division of Land Development
 Chief, Development Engineering Division
 Director - Department of Planning and Zoning

PROJECT: GTW'S WAVERLY WOODS SECTION 14 PARCEL NO. 'E'

PLAT: FEE SIMPLE NOTE #5! BLOCK NO. 3 & 4 ZONE P5C TAX/ZONE 16 ELEC. DIST. THIRD CENSUS TR. 60300

WATER CODE K-02 SEWER CODE 5992000

REVISED

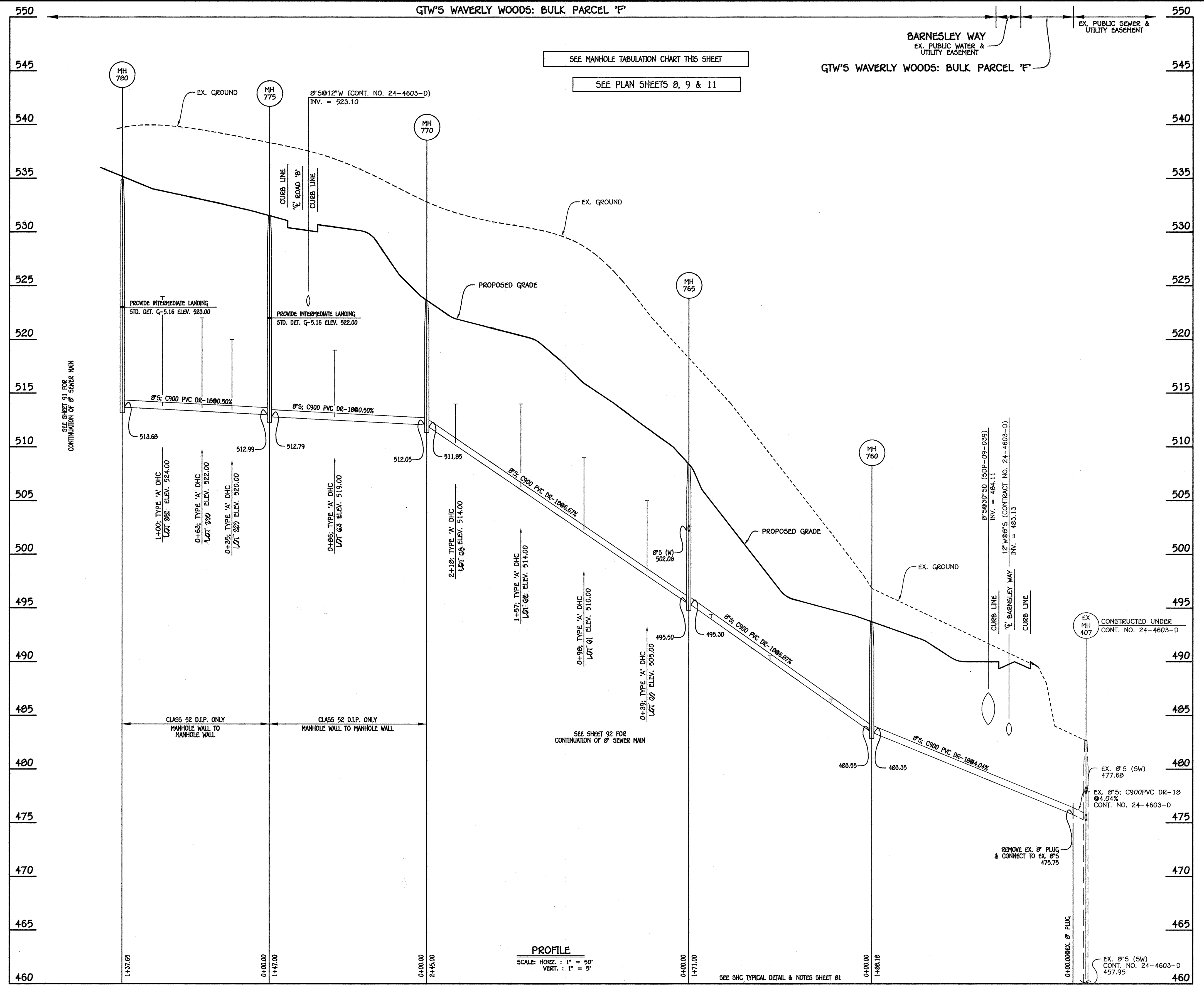
SEWER MAIN PROFILES

AGE RESTRICTED ADULT HOUSING
 GTW'S WAVERLY WOODS
 SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PARCELS II, THRU V LOTS 5, 12 THRU 30, 44 THRU 80, 88 THRU 105, 172 THRU 221 & 240 THRU 300
 TOWNHOUSE & SINGLE FAMILY HOMES

TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: MAY 1, 2015 SHEET 09 OF 100

SDP-09-039

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET



MANHOLE TABULATION CHART			
NO.	NORTHING	EASTING	RIM ELEVATION
760	538036.95	827669.11	493.70
765	538051.86	827498.76	506.38
770	538242.56	827344.94	523.65
775	538169.86	827217.17	531.50
780	538137.18	827083.46	535.00

NOTE: SET MH RIMS FLUSH W/PROPOSED GRADE.

SHC INVERT@BUILDING		
STATION	LOT	ELEVATION
MH 760 TO MH 765		
0+38 LT.	57	486.43
0+95 LT.	58	490.55
1+50 LT.	59	494.23
MH 765 TO MH 770		
0+39 LT.	60 (DHC)	505.40
0+98 LT.	61 (DHC)	510.20
1+57 LT.	62 (DHC)	514.20
2+18 LT.	63 (DHC)	514.20
MH 770 TO MH 775		
0+86 RT.	64 (DHC)	519.32
LOT		
MH 775 TO MH 780		
0+35 LT.	229 (DHC)	520.40
0+63 LT.	230 (DHC)	522.40
1+00 LT.	231 (DHC)	524.40

8" SEWER MAIN: EX. MH 755 TO MH 780

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21142
 (410) 461-2225



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE 5/31/14.

TERRELL A. FISHER, PROFESSIONAL ENGINEER
 DATE: 11/11/12

AS-BUILT CERTIFICATION

Note: There is no "AS BUILT" information provided on this sheet.

CHARLES J. ORLANDO, JR. NO. 19104
 DATE: 12/17/13

BUILDERS

NV HOMES 6085 MARSHALLE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-9956
 RYAN HOMES 6085 MARSHALLE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956

DEVELOPER

WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 443-567-0422

OWNERS

WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 443-567-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

V. J. [Signature] 12/13/12
 Chief, Division of Land Development
 [Signature] 12/13/12
 Chief, Development Engineering Division
 Director - Department of Planning and Zoning

PROJECT	SECTION	PARCEL NO. 'E'
GTW'S WAVERLY WOODS	14	14865 23 THRU 14865 24 THRU 14865 25 THRU 14865 26 THRU 14865 27 THRU 14865 28 THRU 14865 29
PLAT	BLOCK NO.	ZONE
SEE GENERAL NOTE #21	3 & 4	PSC
TAX/ZONE	ELEC. DIST.	CENSUS TR.
16	THIRD	60300
WATER CODE	SEWER CODE	
K-02	5992000	

REVISED SEWER MAIN PROFILES

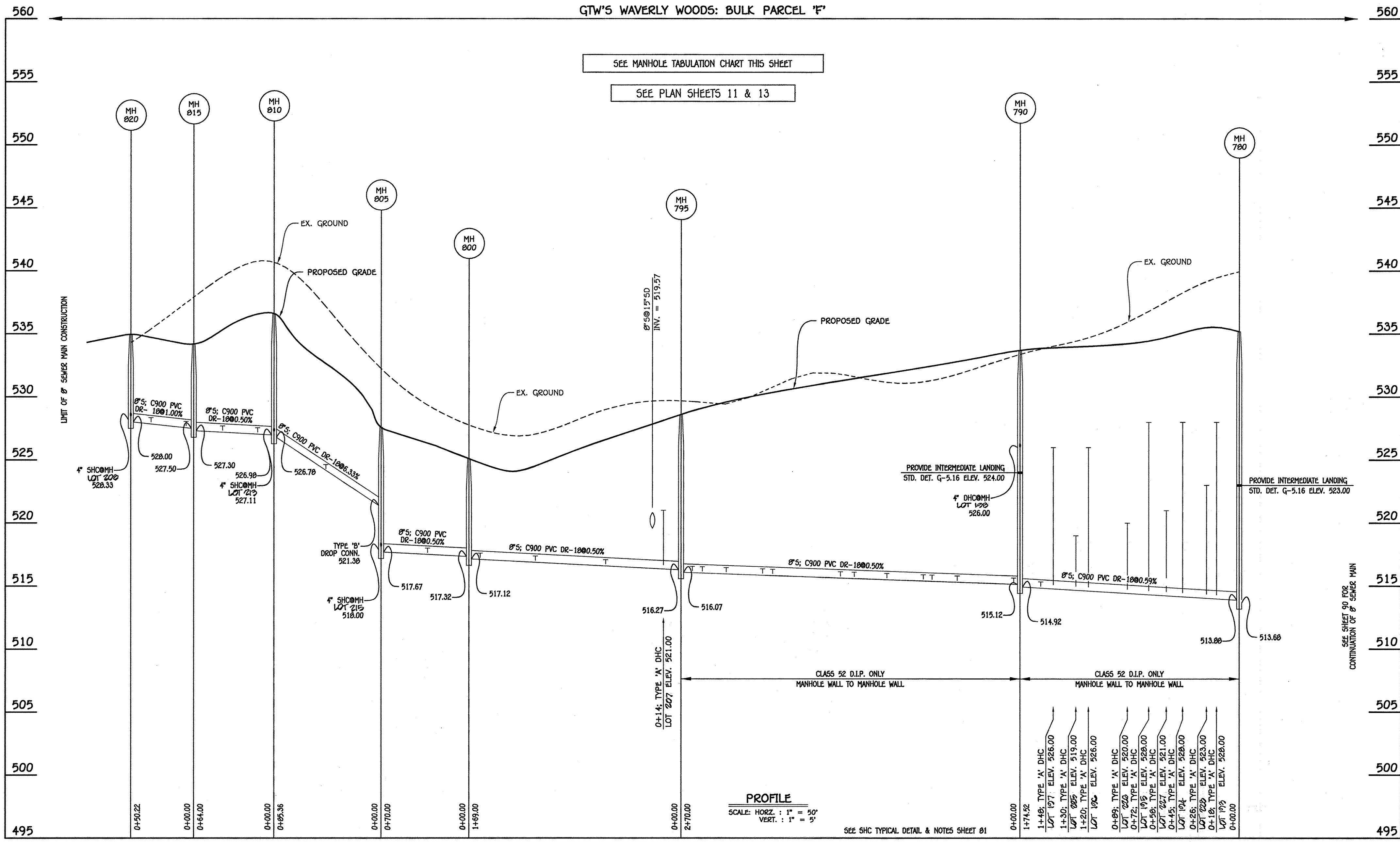
AGE RESTRICTED ADULT HOUSING
 GTW'S WAVERLY WOODS

SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASE II, THRU V LOTS 5, 12 THRU 33, 44 THRU 62, 88 THRU 105, 172 THRU 231 & 240 THRU 309
 TOWNHOUSES & SINGLE FAMILY HOMES

ZONING: PSC
 TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
 THIRD ELECTION DISTRICT: HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATES: 12/08/12, 02/13/13
 SHEET 90 OF 100

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

SDP-09-039



8" SEWER MAIN: MH 780 TO MH 820

NO.	NORTHING	EASTING	RIM ELEVATION
780	53137.18	827083.46	535.00
790	538299.73	827019.93	533.70
795	538269.19	827037.07	528.50
800	538737.85	827047.80	525.00
805	538807.18	827038.14	527.50
810	538825.42	826954.75	536.50
815	538763.80	826937.46	534.15
820	538716.43	826954.14	535.00

NOTE: SET MH RIMS FLUSH W/PROPOSED GRADE.

STATION	LOT	ELEVATION
MH 780 TO MH 790		
0+18 LT.	193 (DHC)	528.80
0+26 RT.	228 (DHC)	523.60
0+45 LT.	194 (DHC)	529.10
0+58 RT.	227 (DHC)	521.40
0+72 LT.	195 (DHC)	529.70
0+89 RT.	226 (DHC)	520.70
1+20 LT.	196 (DHC)	527.80
1+30 RT.	225 (DHC)	519.56
1+48 LT.	197 (DHC)	527.70
1+58 RT.	224	515.98
●MH 790 LT.	198 (DHC@MH)	527.50
MH 790 TO MH 795		
0+05 LT.	199	517.12
0+50 LT.	200	517.04
0+70 LT.	201	517.24
0+77 RT.	223	516.48
1+06 LT.	202	517.12
1+32 LT.	203	517.15
1+43 RT.	222 (FF)	516.81
1+97 RT.	221 (FF)	517.18
2+05 LT.	204	517.32
2+34 LT.	205	517.46
2+53 RT.	220 (FF)	517.56
2+61 LT.	206	517.70
MH 795 TO MH 800		
0+14 LT.	207 (DHC)	522.00
0+60 RT.	218 (FF)	517.34
1+16 RT.	218 (FF)	517.42
1+60 RT.	217 (FF)	517.44
MH 800 TO MH 805		
0+43 RT.	218 (FF)	517.81
●MH 805 RT.	219	518.36
MH 805 TO MH 810		
0+44 RT.	214	524.74
●MH 810 RT.	219	527.41
MH 810 TO MH 815		
0+13 RT.	222	527.48
0+41 RT.	221	527.66
MH 815 TO MH 820		
0+06 RT.	210	527.93
0+34 RT.	209	528.11
●MH 820 RT.	208	528.49

NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
2	REV. TO ADD FEE SIMPLE LOTS PER F-14-111 & ADD HUBBY TO #809-029	10/31/14
3	REV. TO ADD FEE SIMPLE LOTS PER F-14-111 & ADD HUBBY TO #809-029	10/31/14
4	REV. TO ADD FEE SIMPLE LOTS PER F-13-101	12/17/13
5	REV. SEWER PROFILE TO REFLECT NEW LOT NUMBERS	8/1/15



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE 3/3/14.

TERRELL A. FISHER, PROFESSIONAL ENGINEER 11/14/12 DATE

AS-BUILT CERTIFICATION

Note: There is no "AS-BUILT" information provided on this sheet.

CHARLES J. ORNO, JR. NO. 19404 Date

BUILDERS	
RYAN HOMES 6085 MARSHALLE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-5956	RYAN HOMES 6085 MARSHALLE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956
OWNERS	
WAVELY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-387-0422	WAVELY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELLCOTT CITY, MARYLAND 21042 443-387-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Kathleen 12/9/12
Chief, Division of Land Development Date

Paul M. ... 12/10/12
Chief, Development Engineering Division Date

Director - Department of Planning and Zoning

PROJECT: GTW'S WAVELY WOODS SECTION: 14 PARCEL NO. 'E'

PLAT: SEE GENERAL NOTE #891 BLOCK NO. 3 & 4 ZONE P5C TAX/ZONE 16 ELEC. DIST. THIRD CENSUS TR. 60300

WATER CODE K-02 SEWER CODE 5992000

REVISED SEWER MAIN PROFILES

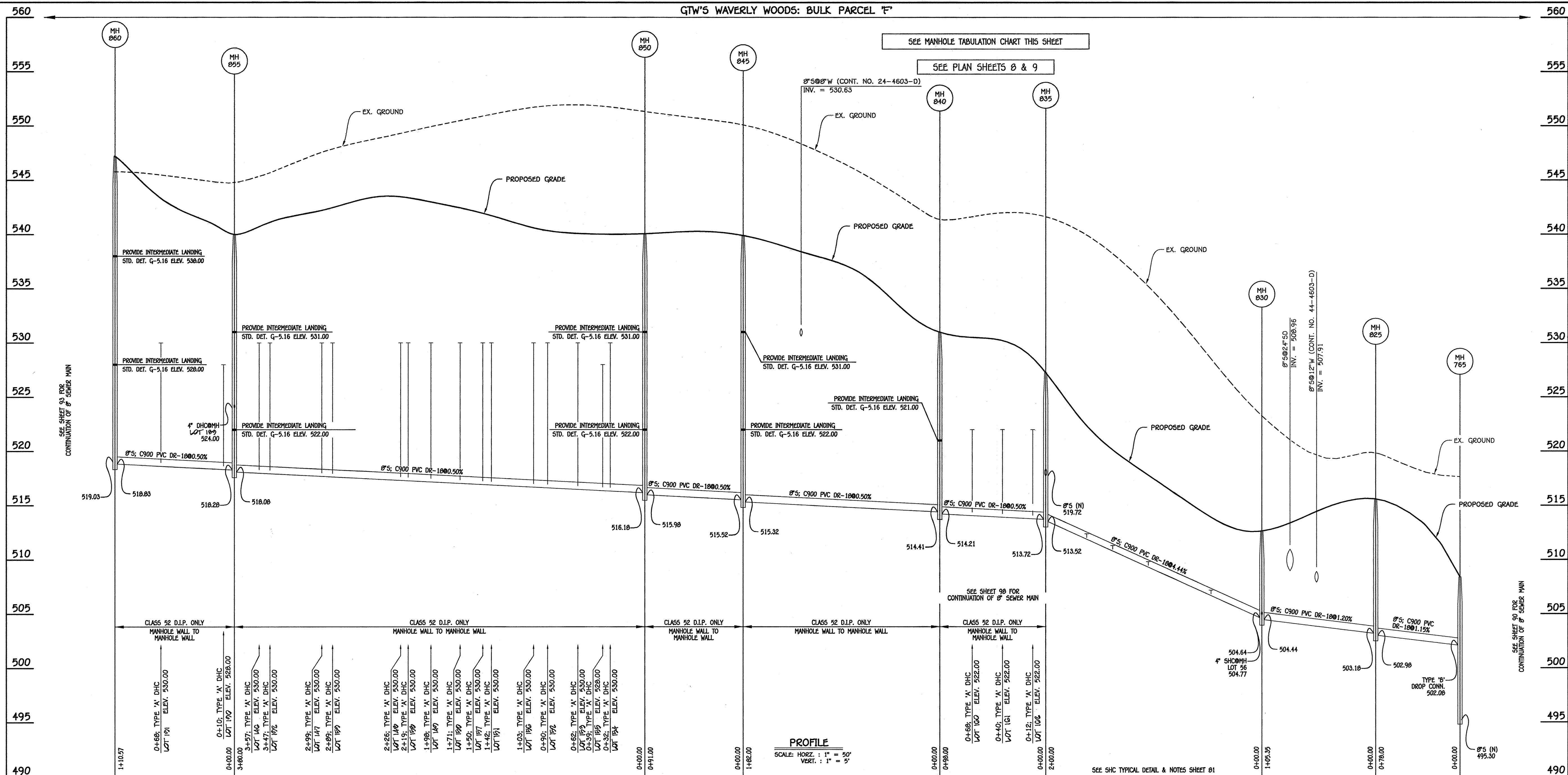
AGE RESTRICTED ADULT HOUSING
GTW'S WAVELY WOODS
SECTION 14
"THE COURTYARDS AT WAVELY WOODS - WEST"
PHASE II, TRU V LOTS 8, 12 THRU 30, 44 THRU 86, 88 THRU 105, 172 THRU 231 & 240 THRU 309
TOWNHOUSE & SINGLE FAMILY HOMES

TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: 12/15/15
SHEET 91 OF 100

SDP-09-039

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

K:\ISSUES\PROJ\30770 GTW WEST\Wing\Construction Documents\30770 Sewer Base Plan For Sdp Redline 4 - June 2012.dwg, SHEET 91, 11/15/2012 8:24:00 AM, 1:1



8" SEWER MAIN: MH 765 TO MH 860

STATION	LOT	ELEVATION
MH 850 TO MH 855		
2+09 RT.	159 (DHC)	530.50
2+99 LT.	147 (DHC)	530.30
3+47 RT.	192 (DHC)	530.60
3+57 LT.	146 (DHC)	530.30
④MH 855 LT.	189 (DHC)	524.60
MH 855 TO MH 860		
0+10 LT.	190 (DHC)	528.20
0+68 LT.	191 (DHC)	530.20

STATION	LOT	ELEVATION
MH 850 TO MH 855		
0+32 LT.	154 (DHC)	530.50
0+39 RT.	159 (DHC)	528.50
0+62 LT.	153 (DHC)	530.30
0+90 LT.	192 (DHC)	530.30
1+03 RT.	192 (DHC)	531.40
1+42 LT.	191 (DHC)	530.40
1+50 RT.	157 (DHC)	530.90
1+71 LT.	150 (DHC)	530.30
1+98 LT.	149 (DHC)	530.40
2+19 RT.	158 (DHC)	530.40
2+26 LT.	148 (DHC)	530.30

STATION	LOT	ELEVATION
MH 825 TO MH 830		
④MH 830 LT.	56(FF)	505.17
MH 830 TO MH 835		
0+47 LT.	55(FF)	507.20
1+05 LT.	54	509.67
1+38 RT.	109	511.54
1+62 LT.	53	512.30
MH 835 TO MH 840		
0+12 RT.	102 (DHC)	522.20
0+40 RT.	101 (DHC)	522.12
0+68 RT.	100 (DHC)	522.16

NO.	NORTHING	EASTING	RIM ELEVATION
765	538051.86	027498.76	508.38
825	537994.46	027445.94	515.50
830	537889.16	027442.66	512.65
835	537878.08	027442.97	527.25
840	537780.23	027248.40	531.00
845	537770.18	027066.68	540.00
850	537861.04	027061.66	540.00
855	537844.67	026682.01	540.00
860	537954.95	026673.95	547.20

NOTE: SET MH RIMS FLUSH W/PROPOSED GRADE.

REVISED

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 461-3995



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/31/14.

TERRELL A. FISHER, PROFESSIONAL ENGINEER 11/19/12 DATE

AS-BUILT CERTIFICATION
 Note: There is no "AS-BUILT" information provided on this sheet.
 Date 11/16/12

BUILDERS
 NV HOMES 6085 MARSHALLE DRIVE SUITE 130 ELKRIDGE, MD. 21075 410-379-5956
 RYAN HOMES 6085 MARSHALLE DRIVE SUITE 140 ELKRIDGE, MD. 21075 410-379-5956

DEVELOPER
 WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 443-367-0422

OWNERS
 WAVERLY WOODS DEVELOPMENT CORPORATION,
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Chief, Division of Land Development
 Chief, Development Engineering Division
 Director - Department of Planning and Zoning

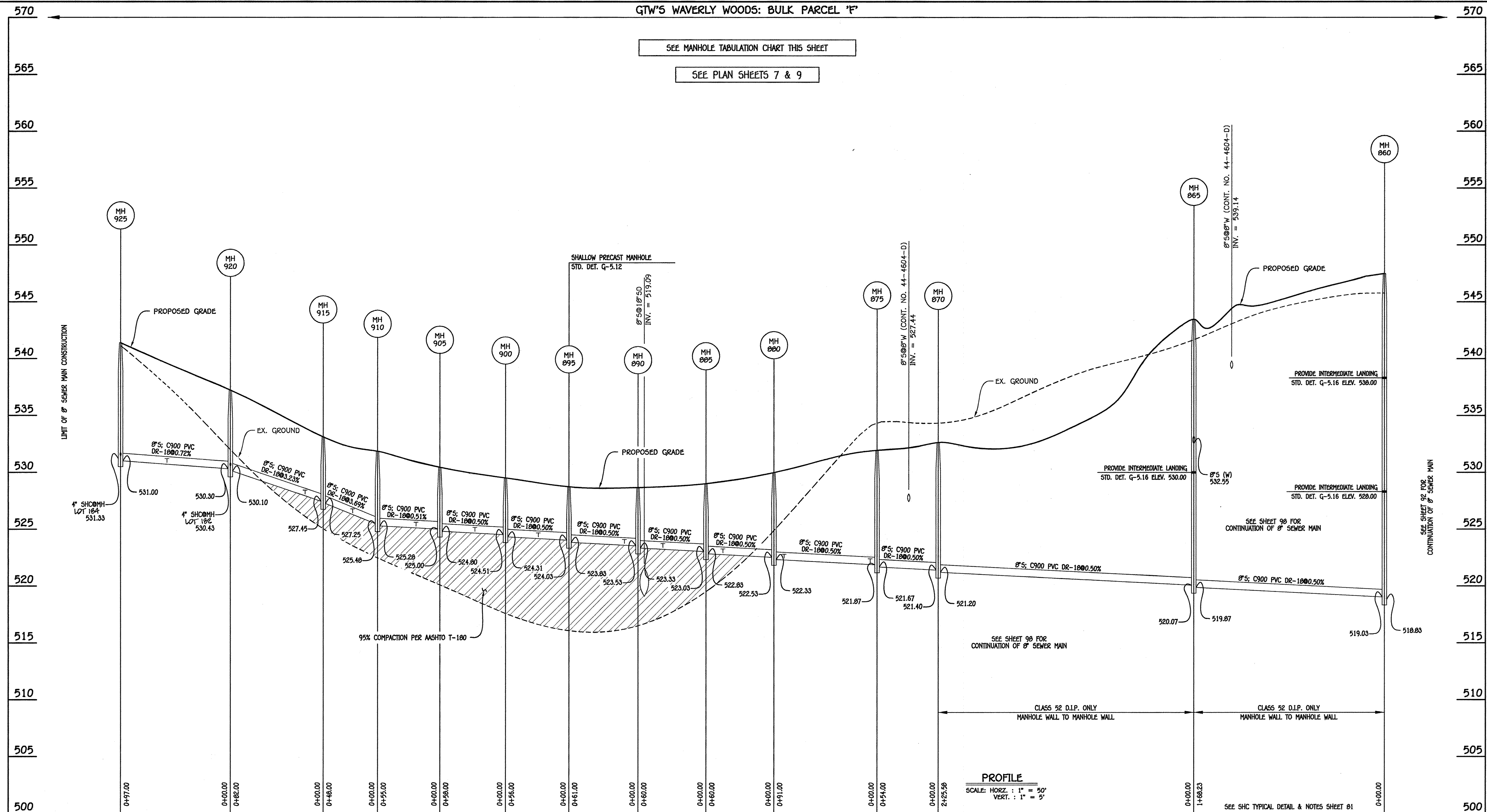
PROJECT: GTW'S WAVERLY WOODS SECTION: 14 PARCEL NO. "E"
 PLAT: SEE GENERAL NOTE #91 BLOCK NO.: 3 & 4 ZONE: PSC TAX/ZONE: 16 ELEC. DIST.: THIRD CENSUS TR.: 60300
 WATER CODE: K-02 SEWER CODE: 5992000

SEWER MAIN PROFILES
 AGE RESTRICTED ADULT HOUSING
 GTW'S WAVERLY WOODS
 SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASE II, THRU V LOTS B, 12 THRU 30, 44 THRU 80, 88 THRU 105, 172 THRU 231 & 240 THRU 300
 TOWNHOUSE & SINGLE FAMILY HOMES

ZONING: PSC
 TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: FEBRUARY, 2012
 SHEET 92 OF 100 SDP-09-039

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

K:\ISSUES\0310770 GTW WEBST\Eng\Construction Documents\Construction Document - 30770 Sewer Main Plan For Submittal - June 2012.dwg, SHEET 92, 11/15/2012 8:24:16 AM, 1:1



8" SEWER MAIN: MH 860 TO MH 925

SHC INVERT@BUILDING		
STATION	LOT	ELEVATION
MH 900 TO MH 905		
0+27 LT.	170 (FF)	524.00
MH 905 TO MH 910		
0+21 LT.	170 (FF)	525.34
MH 910 TO MH 915		
0+22 LT.	180 (FF)	526.50
MH 915 TO MH 920		
0+16 LT.	181 (FF)	528.18
@MH 920 LT.	182 (FF)	530.49
MH 920 TO MH 925		
0+56 LT.	183 (FF)	530.91
@MH 925 LT.	184	531.63

SHC INVERT@BUILDING		
STATION	LOT	ELEVATION
MH 875 TO MH 880		
0+06 LT.	172 (FF)	522.27
0+02 LT.	173 (FF)	522.51
MH 880 TO MH 885		
0+45 LT.	174 (FF)	522.99
MH 885 TO MH 890		
0+38 LT.	175 (FF)	523.43
MH 890 TO MH 895		
0+12 LT.	176 (FF)	523.86
MH 895 TO MH 900		
0+27 LT.	177 (FF)	524.40

MANHOLE TABULATION CHART			
NO.	NORTHING	EASTING	RIM ELEVATION
860	537954.95	826673.95	547.20
865	537945.76	826905.98	543.50
870	537720.39	826515.67	532.65
875	537666.44	826518.00	532.00
880	537661.41	826427.13	530.00
885	537668.00	826367.50	529.00
890	537692.86	826312.89	528.65
895	537739.16	826273.18	528.75
900	537792.89	826257.37	529.50
905	537850.67	826252.21	530.45
910	537903.67	826267.10	531.85
915	537943.35	826294.12	533.10
920	537991.17	826360.73	537.25
925	537996.53	826457.58	541.40

NOTE: SET MH RIMS FLUSH W/PROPOSED GRADE.

REVISED



NO.	REVISION	DATE
1	REV. TO ADD THE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
2	REV. TO ADD THE SIMPLE LOTS PER F-12-101	10/17/12
3	REV. TO ADD THE SIMPLE LOTS PER F-14-111 & ADD TRAILS V TO 222-09-099	10/21/14



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE 3/3/14.

Terrell A. Fisher
TERRELL A. FISHER, PROFESSIONAL ENGINEER 11/14/12 DATE

AS-BUILT CERTIFICATION
Note: There is no "AS BUILT" information provided on this sheet.

Charles J. Carter
CHARLES J. CARTER, NC 19004 Date 11/16/12

BUILDERS
 NV HOMES 6085 MARSHALLEE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-9956
 RYAN HOMES 6085 MARSHALLEE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-9956

DEVELOPER
 WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELICOTT CITY, MARYLAND 21042
 410-387-0422

OWNERS
 WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELICOTT CITY, MARYLAND 21042
 410-387-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Kathleen
Chief, Division of Land Development 12/19/12 Date

Michael
Chief, Development Engineering Division 12/10/12 Date

David
Director - Department of Planning and Zoning Date

PROJECT: GTW'S WAVERLY WOODS SECTION: 14 PARCEL NO. 'E'

PLAT: SEE GENERAL NOTE #21 BLOCK NO. 3 & 4 ZONE PSC TAX/ZONE 16 ELEC. DIST. THIRD CENSUS TR. 60300

WATER CODE: K-02 SEWER CODE: 5992000

SEWER MAIN PROFILES

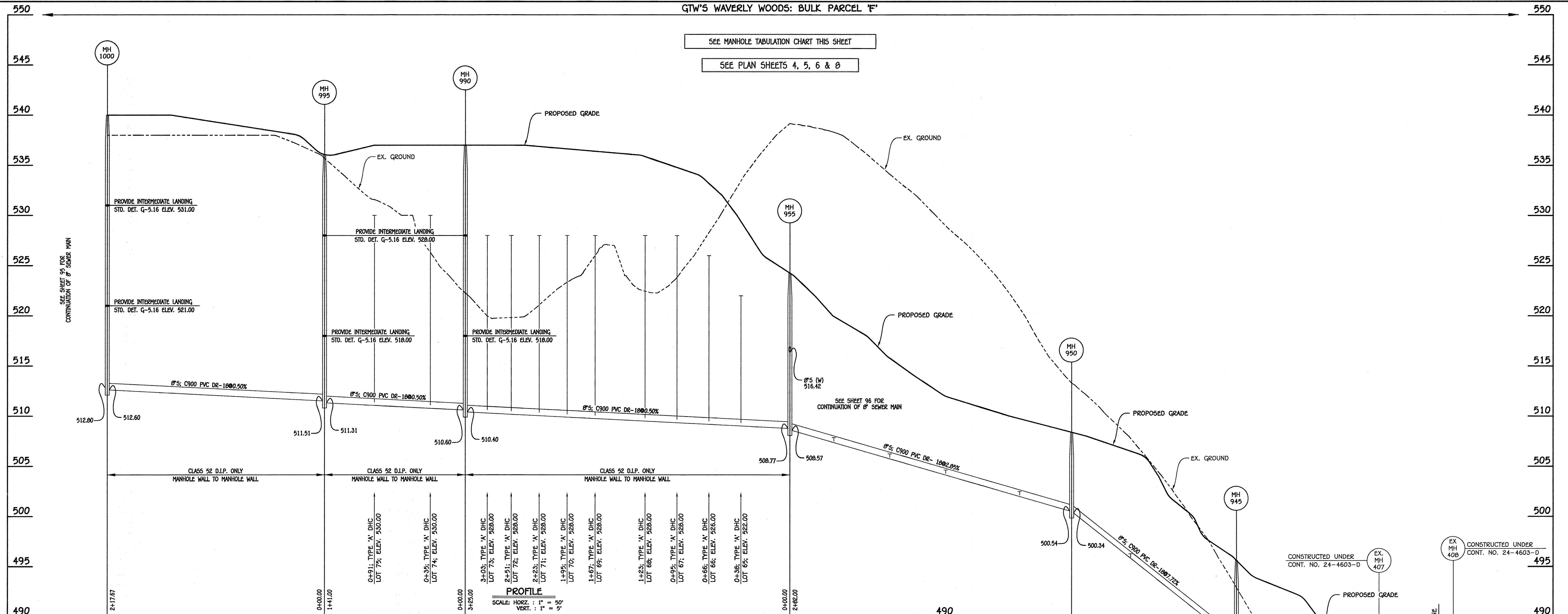
AGE RESTRICTED ADULT HOUSING
 GTW'S WAVERLY WOODS
 SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASE II, TRIL V LOTS 3, 12 THRU 39, 44 THRU 80, 88 THRU 108, 172 THRU 231 & 240 THRU 269
 TOWNHOUSE & SINGLE FAMILY HOMES

ZONING: PSC
 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
 THIRD ELECTION DISTRICT: HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: 12/28/12
 SHEET 93 OF 100 SDP-09-039

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

K:\ISSUES\010370 GTW WEST\ing\Construction Documents\30770 Sewer Base Plan For Stp Inlet - June 2012.dwg, SHEET 93, 11/15/2012, 8:24:41 AM, 1:1

SEE MANHOLE TABULATION CHART THIS SHEET
SEE PLAN SHEETS 4, 5, 6 & 8



8" SEWER MAIN: EX. MH 408 TO MH 1000

SHC INVERT@BUILDING		
STATION	LOT	ELEVATION
EX. MH 407 TO MH 945		
0+76 RT.	LOT 44	484.06
0+28 RT.	MH 945 TO MH 950	
	LOT 45	490.13
1+06 RT.	LOT 46	496.35
MH 950 TO MH 955		
0+52 RT.	LOT 47 (FF)	502.69
1+26 RT.	LOT 48 (FF)	504.60
1+82 RT.	LOT 49	506.20
2+38 RT.	LOT 50	507.79
MH 955 TO MH 990		
0+30 RT.	LOT 65 (DHC)	522.10
0+66 RT.	LOT 66 (DHC)	526.10
0+95 RT.	LOT 67 (DHC)	528.10
1+23 RT.	LOT 68 (DHC)	528.10
1+67 RT.	LOT 69 (DHC)	528.40
1+95 RT.	LOT 70 (DHC)	528.40
2+23 RT.	LOT 71 (DHC)	528.40
2+51 RT.	LOT 72 (DHC)	528.40
3+03 RT.	LOT 73 (DHC)	528.30
MH 990 TO MH 995		
0+91 RT.	LOT 74 (DHC)	530.20
0+99 RT.	LOT 75 (DHC)	530.20

MANHOLE TABULATION CHART			
NO.	NORTHING	EASTING	RIM ELEVATION
945	537734.00	827663.57	495.60
950	537608.25	827556.74	508.40
955	537592.68	827275.17	524.25
990	537268.18	827293.11	537.00
995	537127.39	827300.90	536.00
1000	536957.58	827164.71	540.00

NOTE: SET MH RIMS FLUSH W/PROPOSED GRADE.

NO.	REVISION	DATE
1	REV. TO ADD FEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12
2	REV. TO ADD FEE SIMPLE LOTS PER F-18-101	10/17/12
3	REV. TO ADD FEE SIMPLE LOTS PER F-14-111 & ADD HALL V TO 000-029	10/31/14
4	REV. REWER PEOPLE & SHC CHART TO REFLECT NEW LOT NUMBERS	8/1/15



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/31/14.

TERRELL A. FISHER, PROFESSIONAL ENGINEER 11/14/12 DATE

AS-BUILT CERTIFICATION
Note: There is no "AS-BUILT" information provided on this sheet.

CHARLES J. ORLOFF, JR. NO 19104 Date

BUILDERS
RYAN HOMES 6085 MARSHALEE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-9956
C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELKRICOTT CITY, MARYLAND 21042 443-387-0422

OWNERS
WAVERY WOODS DEVELOPMENT CORPORATION, C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELKRICOTT CITY, MARYLAND 21042 443-387-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Katherine... Chief, Division of Land Development 12/12/12 Date
Paul... Chief, Development Engineering Division 12/12/12 Date
Director - Department of Planning and Zoning 12/12/12 Date

PROJECT: GTW'S WAVERLY WOODS SECTION: 14 PARCEL NO. 'F'

PLAT: SEE GENERAL NOTE #51. BLOCK NO. 3 & 4 ZONE PSC TAX/ZONE 16 ELEC. DIST. THIRD CENSUS TR. 60300

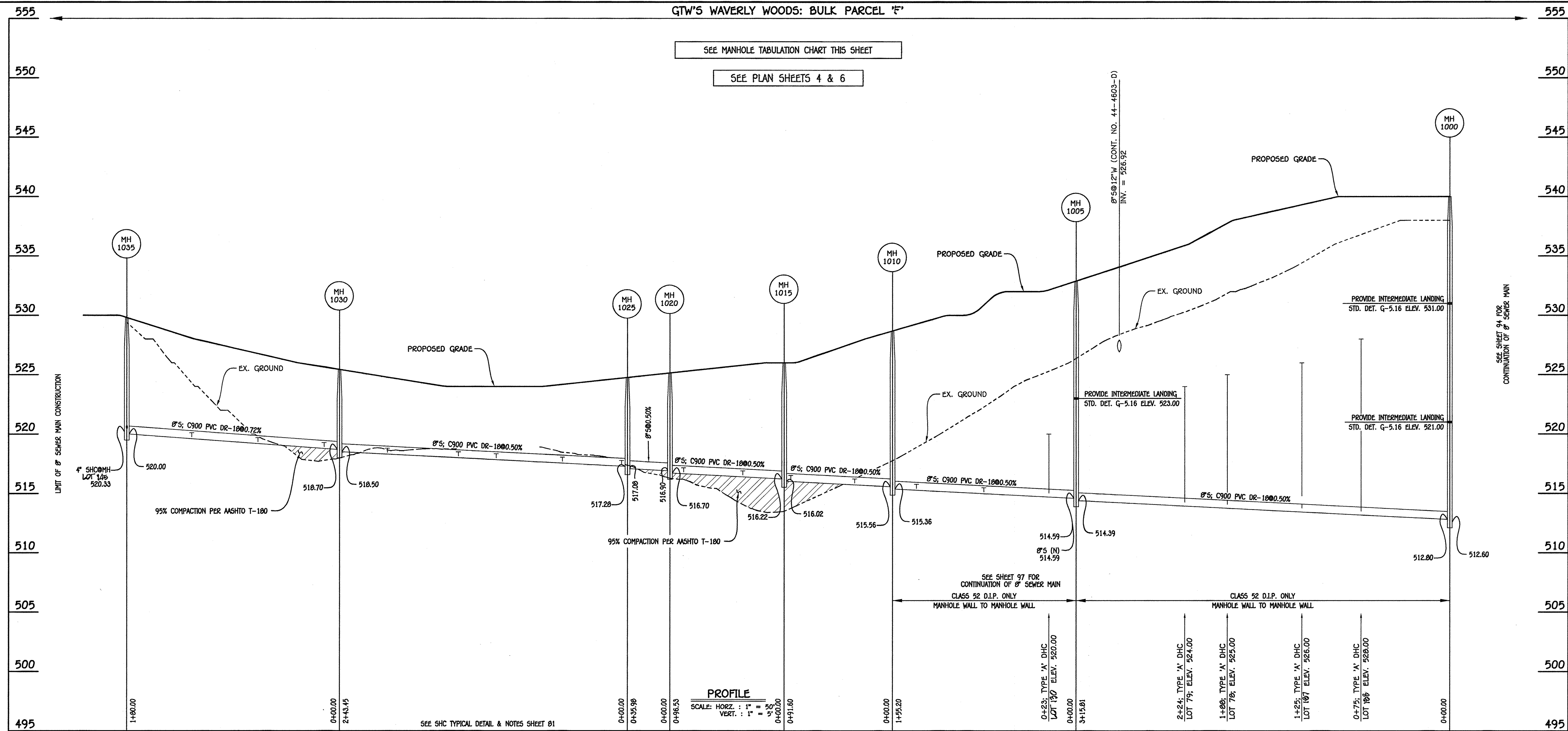
WATER CODE: K-02 SEWER CODE: 5992000

REVISED
SEWER MAIN PROFILES

AGE RESTRICTED ADULT HOUSING
GTW'S WAVERLY WOODS
SECTION 14
"THE COURTYARDS AT WAVERLY WOODS - WEST"
PHASE II, THRU V LOTS 5, 12 THRU 30, 44 THRU 86, 88 THRU 103, 172 THRU 231 & 240 THRU 307 TOWNHOUSE & SINGLE FAMILY HOMES

TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: MAY 1, 2012
SHEET 94 OF 100 SDP-09-039

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET



8" SEWER MAIN: MH 1000 TO MH 1035

SHC INVERT@BUILDING		
STATION	LOT	ELEVATION
MH 1025 TO MH 1030		
0+05 LT.	197 (FF)	517.80
0+55 LT.	198 (FF)	517.79
1+11 LT.	199 (FF)	518.11
1+43 LT.	140 (FF)	518.27
2+03 LT.	1A1 (FF)	518.57
MH 1030 TO MH 1035		
0+13 LT.	142 (FF)	519.06
0+69 LT.	143 (FF)	519.47
1+25 LT.	144 (FF)	519.87
1+80 LT.	149 (FF)	520.43

SHC INVERT@BUILDING		
STATION	LOT	ELEVATION
MH 1000 TO MH 1005		
0+75 LT.	189 (DHC)	528.10
1+25 LT.	187 (DHC)	526.10
1+80 LT.	78 (DHC)	525.10
2+24 LT.	79 (DHC)	524.10
MH 1005 TO MH 1010		
0+23 LT.	190 (DHC)	520.06
0+78 LT.	191	515.25
0+135 LT.	192	515.54
MH 1010 TO MH 1015		
0+32 LT.	199	515.94
0+86 LT.	194 (FF)	516.56
MH 1015 TO MH 1020		
0+35 LT.	195 (FF)	517.07
0+85 LT.	196 (FF)	516.86

MANHOLE TABULATION CHART			
NO.	NORTHING	EASTING	RIM ELEVATION
1000	536957.50	827164.71	540.00
1005	536940.15	826849.39	532.85
1010	536931.50	826694.43	528.65
1015	536965.97	826609.53	526.00
1020	537090.39	826562.71	525.00
1025	537086.26	826559.92	524.75
1030	537329.34	826546.48	525.50
1035	537509.06	826536.55	529.85

NOTE: SET MH RIMS FLUSH W/PROPOSED GRADE.

NO.	REVISION	DATE
3	REV. TO ADD PER SIMPLE LOTS PER F-14-111 & ADD PHASE V TO 90% 09-09-12	10/31/12
2	REV. TO ADD PER SIMPLE LOTS PER F-12-101	10/17/12
1	REV. TO ADD PER SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE 10/31/14.

Ferrell A. Fisher
 FERRELL A. FISHER, PROFESSIONAL ENGINEER
 11/14/12 DATE

AS-BUILT CERTIFICATION

Note: There is no "AS BUILT" information provided on this sheet.

Charles J. Greer, Jr.
 CHARLES J. GREER, JR., NO. 18104
 11/6/12 DATE

BUILDERS

BUILDERS
 NV HOMES 6085 MARSHALLEE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-5956
 RYAN HOMES 6085 MARSHALLEE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956

DEVELOPER

WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 443-387-0422

OWNERS

WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042
 443-387-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

K. St. John
 Chief, Division of Land Development
 12/13/12 DATE

Charles J. Greer, Jr.
 Chief, Development Engineering Division
 12/13/12 DATE

Michael R. Long
 Director - Department of Planning and Zoning
 12/13/12 DATE

PROJECT	SECTION	PARCEL NO. 'E'
GTW'S WAVERLY WOODS	14	1000 TO 1035
PLAT	BLOCK NO.	ZONE
SEE GENERAL NOTE #91	3 & 4	PSC
TAX/ZONE	ELEC. DIST.	CENSUS TR.
16	THIRD	60300
WATER CODE	SEWER CODE	
K-02	5992000	

REVISED

SEWER MAIN PROFILES

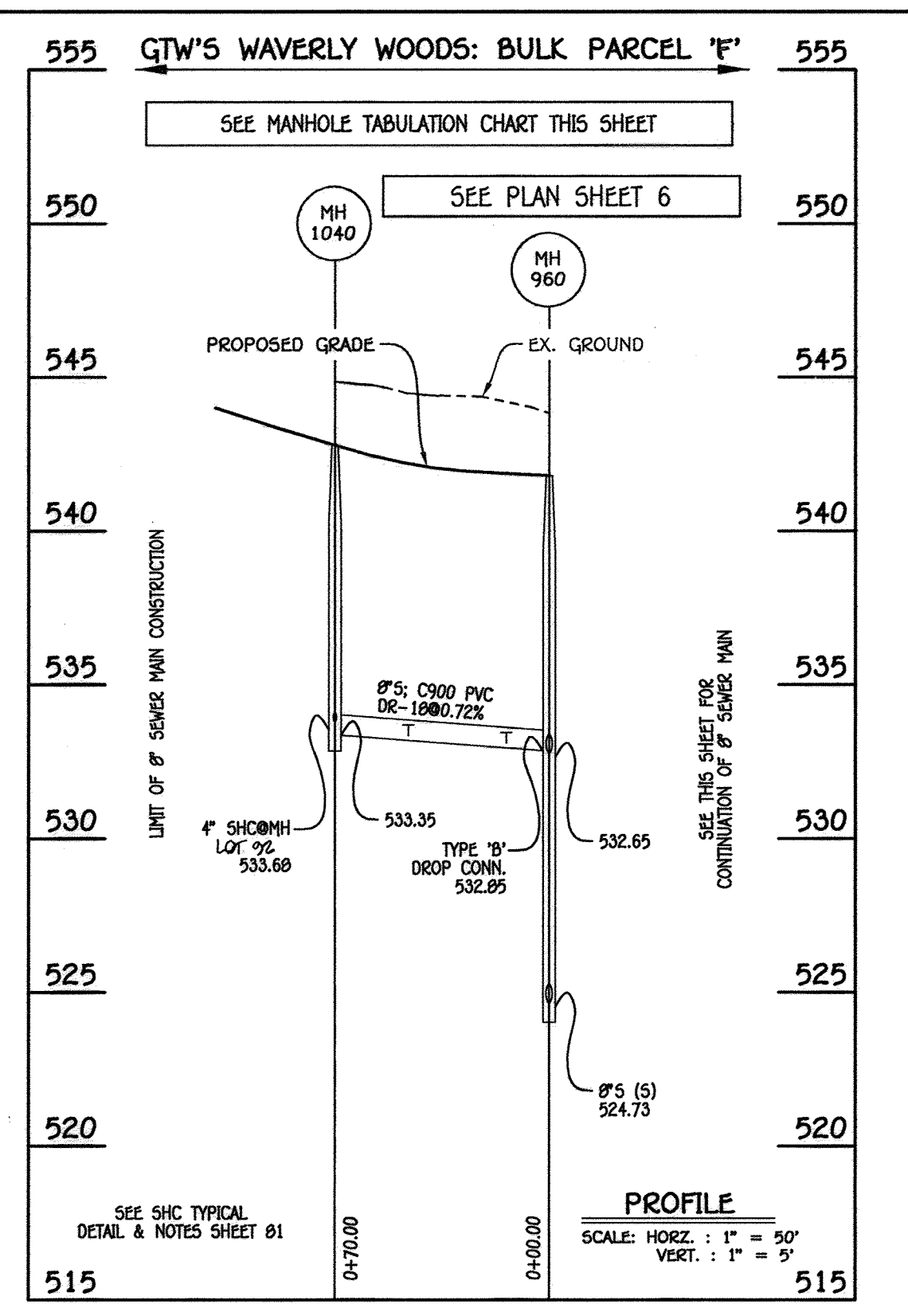
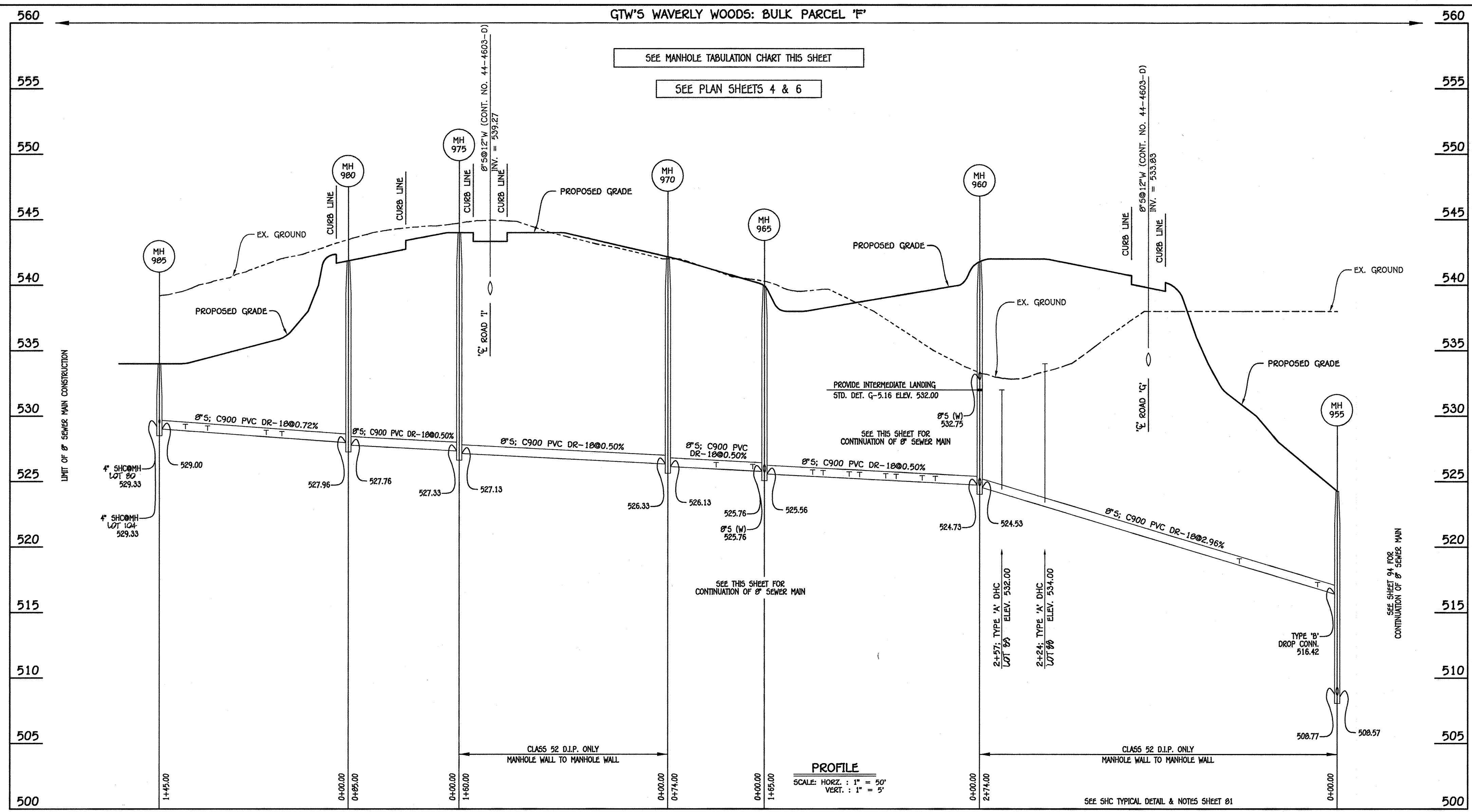
AGE RESTRICTED ADULT HOUSING
 GTW'S WAVERLY WOODS
 SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASE II, THRU V LOTS 5, 12 THRU 20, 44 THRU 60, 88 THRU 103, 172 THRU 231 & 240 THRU 300 TOWNHOUSE & SINGLE FAMILY HOMES

ZONING: PSC
 TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: DECEMBER, 2012
 SHEET 95 OF 100

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

SDP-09-039

K:\05589001\03770 GTW WEST\Drawings\Construction Documents - 30770 Sewer Base Plan For Stp Bedline 4 - June 2012.dwg, SHEET 95, 11/15/2012 8:25:12 AM, 11



SHC INVERT@BUILDING

STATION	LOT	ELEVATION
MH 955 TO MH 960		
0+15 RT.	91	517.10
0+75 RT.	92	519.21
2+24 RT.	90 (DHC)	534.70
2+57 RT.	89 (DHC)	532.50
MH 960 TO MH 965		
0+34 RT.	93	525.57
0+44 LT.	86	525.32
0+64 RT.	94	525.72
0+72 LT.	85	525.46
0+92 RT.	95	525.06
1+00 LT.	84	522.60
1+20 RT.	90	526.00
1+20 LT.	83	525.74
MH 965 TO MH 970		
0+09 RT.	96	526.08
0+37 RT.	97	526.22
MH 980 TO MH 985		
0+51 RT.	82	528.80
0+63 RT.	102 (FF)	528.80
1+08 RT.	81	529.21
1+25 RT.	109 (FF)	529.33
⊙MH 985 RT.	104 (FF)	529.83
⊙MH 985 RT.	80	529.83

8" SEWER MAIN: MH 955 TO MH 985

MANHOLE TABULATION CHART

NO.	NORTHING	EASTING	RIM ELEVATION
955	537592.60	827275.17	524.25
960	537577.56	827001.59	541.80
965	537412.81	827010.70	540.00
970	537416.89	827084.58	542.15
975	537257.14	827093.42	544.00
980	537252.44	827008.55	541.85
985	537107.67	827016.55	534.00
1040	537573.69	826931.70	542.80
1045	537409.16	826944.80	540.00

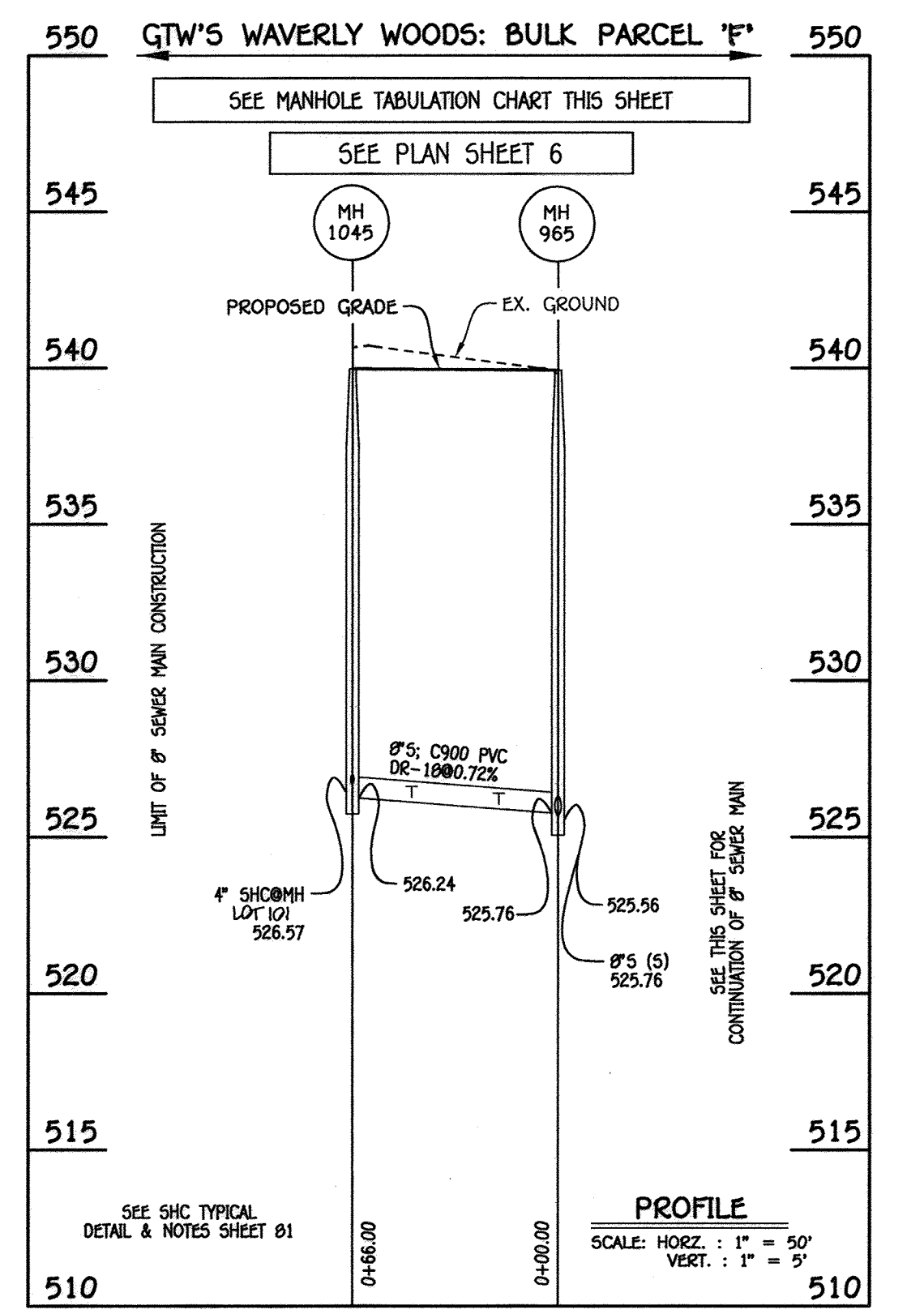
NOTE: SET MH RIMS FLUSH W/PROPOSED GRADE.

SHC INVERT@BUILDING

STATION	LOT	ELEVATION
MH 965 TO MH 1045		
0+19 LT.	99	526.17
0+47 LT.	100	526.37
⊙MH 1085 LT.	101	526.67

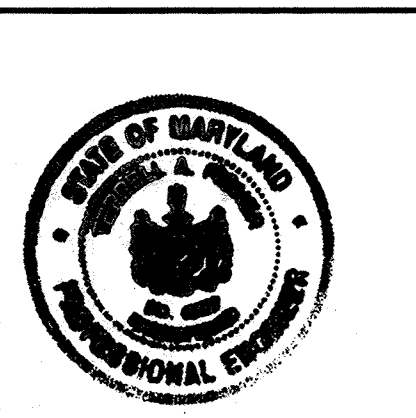
SHC INVERT@BUILDING

STATION	LOT	ELEVATION
MH 960 TO MH 1040		
0+14 RT.	90	525.50
0+46 RT.	91	525.73
⊙MH 1040 LT.	92	526.06



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042
 (410) 451-2929

NO.	REVISION	DATE
3	REV. TO ADD PEE SIMPLE LOTS PER P-12-089 AND ADD GRIFFIN HALL	10/31/14
2	REV. TO ADD PEE SIMPLE LOTS PER P-12-101	12/17/13
1	REV. TO ADD PEE SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	9/28/12



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 9/3/14.

TERRELL A. FISHER, PROFESSIONAL ENGINEER

AS-BUILT CERTIFICATION
 Note: There is no "AS BUILT" information provided on this sheet.

BUILDERS

NV HOMES: 6085 MARSHALLE DRIVE, SUITE 130, ELK RIDGE, MD. 21075, 410-379-9956

RYAN HOMES: 6085 MARSHALLE DRIVE, SUITE 140, ELK RIDGE, MD. 21075, 410-379-9956

DEVELOPER
 WAVERLY WOODS DEVELOPMENT CORPORATION, C/O LAND DESIGN AND DEVELOPMENT, INC., 5300 DORSEY HALL DRIVE, SUITE 102, ELICOTT CITY, MARYLAND 21042, 443-387-0422

OWNERS
 WAVERLY WOODS DEVELOPMENT CORPORATION, C/O LAND DESIGN AND DEVELOPMENT, INC., 5300 DORSEY HALL DRIVE, SUITE 102, ELICOTT CITY, MARYLAND 21042, 443-387-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development: [Signature] Date: 12/19/12

Chief, Development Engineering Division: [Signature] Date: 12/19/12

Director - Department of Planning and Zoning: [Signature] Date: 12/19/12

PROJECT: GTW'S WAVERLY WOODS SECTION: 14 PARCEL NO. 'E'

PLAT: SEE GENERAL NOTE #21 BLOCK NO. 3 & 4 ZONE PSC TAX/ZONE 16 ELEC. DIST. THIRD CENSUS TR. 60300

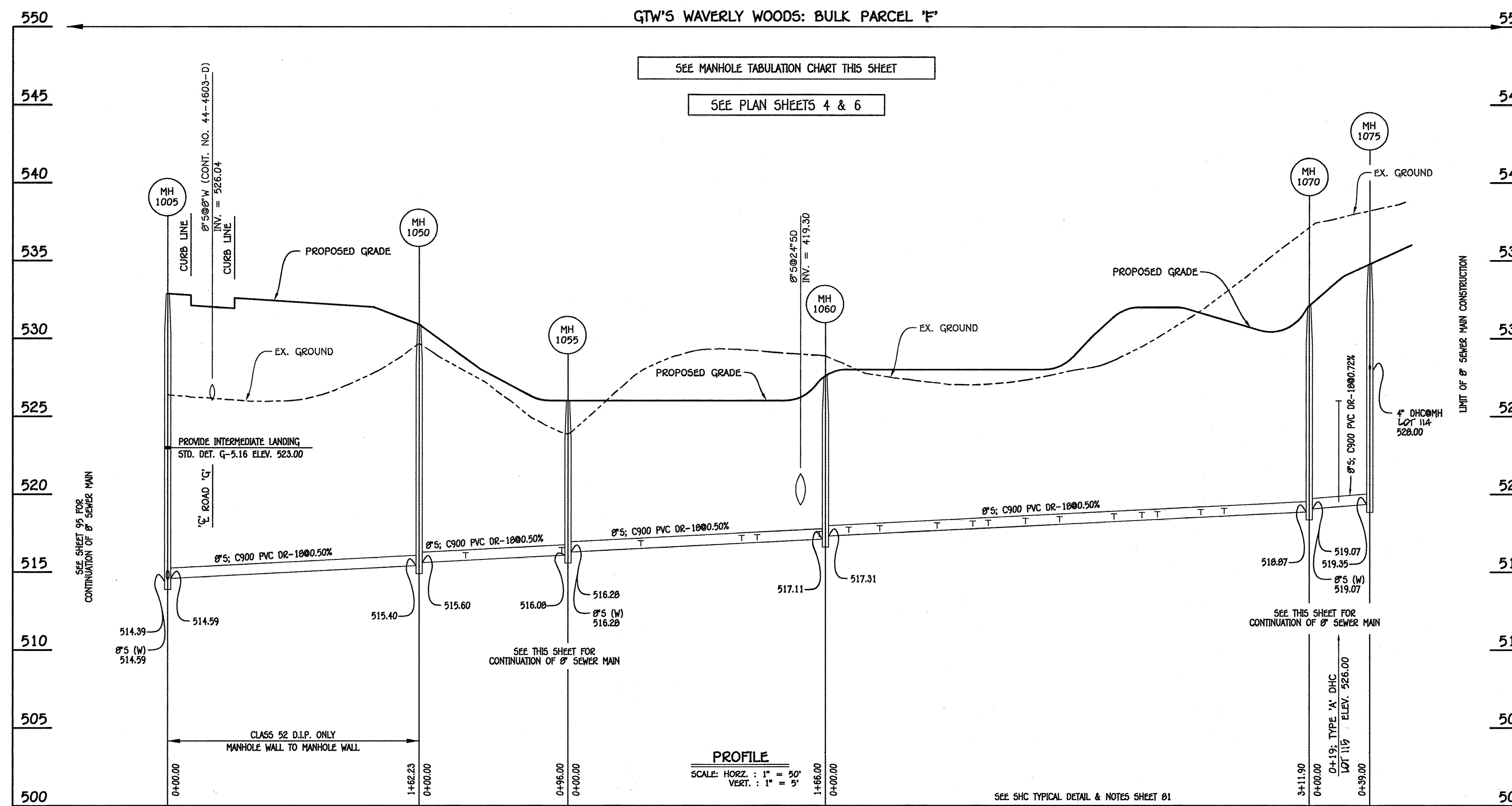
WATER CODE K-02 SEWER CODE 5992000

SEWER MAIN PROFILES

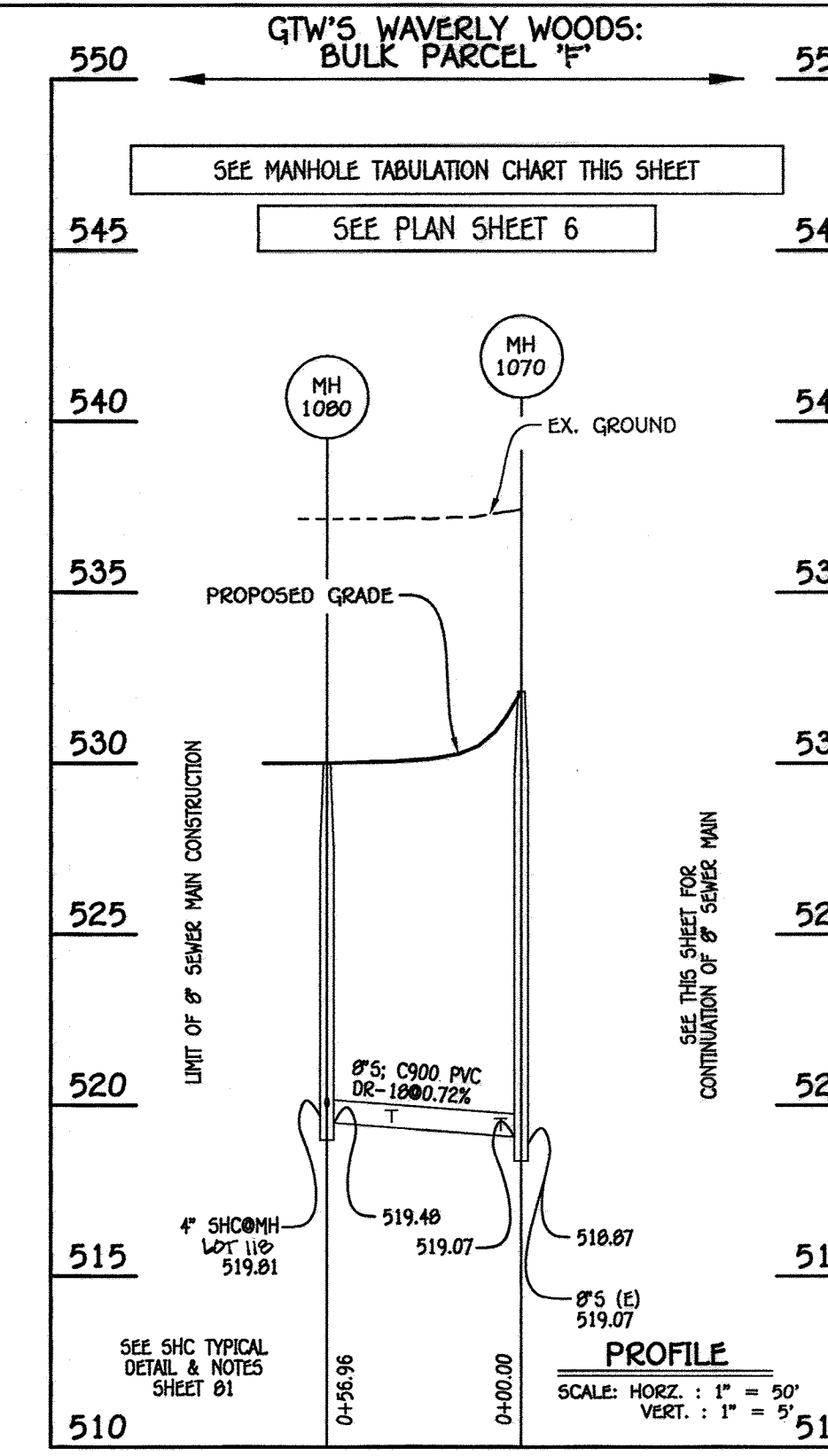
AGE RESTRICTED ADULT HOUSING
 GTW'S WAVERLY WOODS
 SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PARCELS 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

ZONING: PSC
 TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
 THIRD ELECTION DISTRICT: HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: DECEMBER, 2013 SHEET 96 OF 100 SDP-09-039

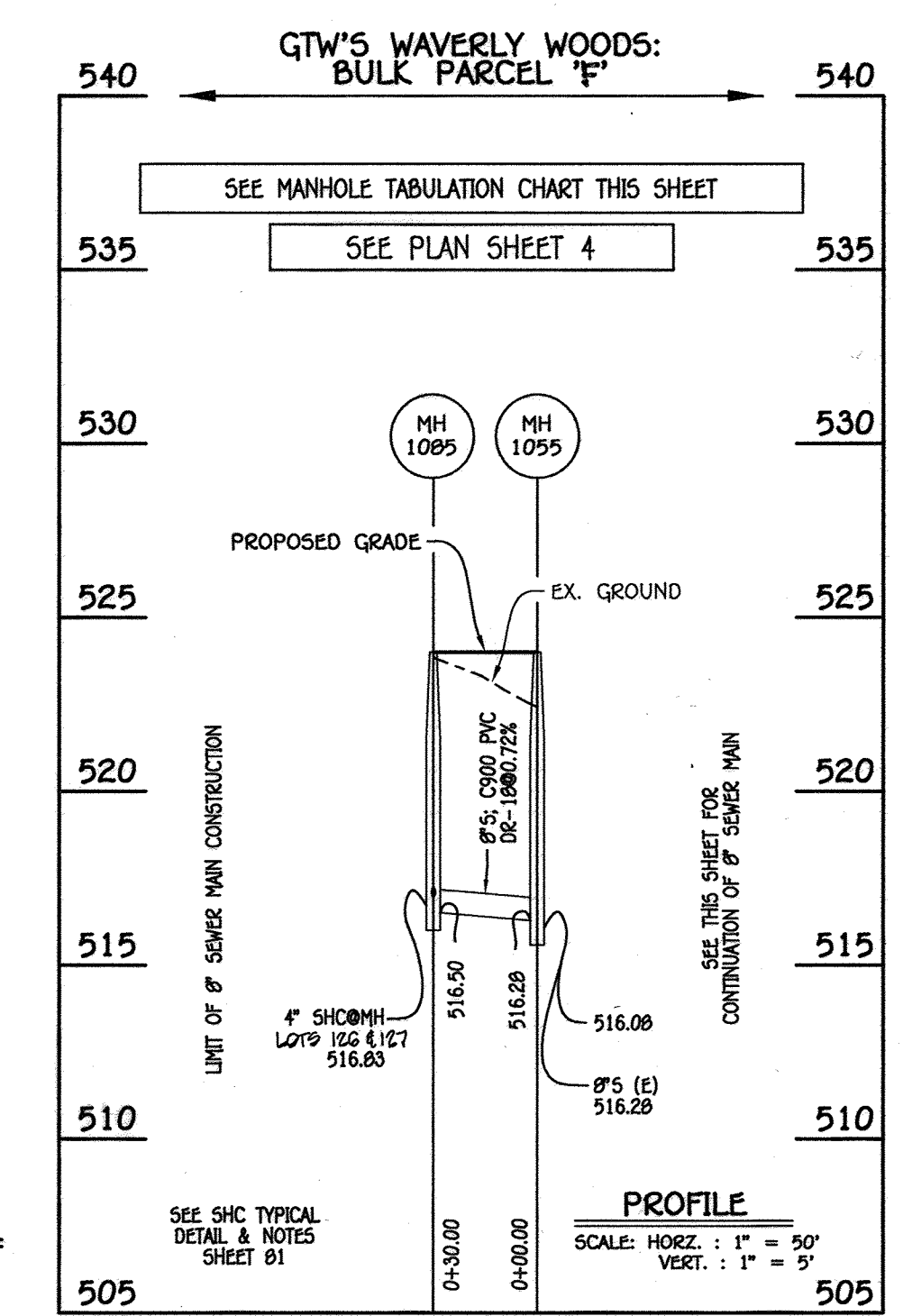
THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET



8" SEWER MAIN: MH 1005 & MH 1050 TO MH 1075



8" SEWER MAIN: MH 1070 TO MH 1080



8" SEWER MAIN: MH 1055 TO MH 1085

SHC INVERT@BUILDING		
STATION	LOT	ELEVATION
MH 1050 TO MH 1055		
0+30 LT.	105	516.02
0+92 LT.	105	516.33
MH 1055 TO MH 1060		
0+47 RT.	109	516.09
1+12 LT.	109	517.61
1+22 RT.	106	517.26
1+62 LT.	104 (FF)	517.06
MH 1060 TO MH 1070		
0+15 RT.	107	517.76
0+35 LT.	105 (FF)	518.26
0+72 RT.	108	518.14
0+95 LT.	102 (FF)	518.56
1+05 RT.	109	518.31
1+29 RT.	110	518.43
1+51 LT.	101 (FF)	518.84
1+86 RT.	111	518.71
2+04 LT.	100 (FF)	519.10
2+14 RT.	112	518.89
2+42 RT.	113	518.99
2+57 LT.	119 (FF)	519.37
MH 1070 TO MH 1075		
0+19 LT.	118 (DHC)	526.10
@MH 1075 LT.	114 (DHC@MH)	528.10

MANHOLE TABULATION CHART			
NO.	NORTHING	EASTING	RIM ELEVATION
1005	536940.15	826849.39	532.05
1050	537102.14	826840.43	530.90
1055	537096.71	826744.58	526.00
1060	537262.45	826735.34	527.50
1070	537573.87	826717.98	532.00
1075	537576.04	826756.92	534.75
1080	537570.70	826661.11	530.00
1085	537095.02	826714.63	524.00

NOTE: SET MH RIMS FLUSH W/PROPOSED GRADE.

SHC INVERT@BUILDING		
STATION	LOT	ELEVATION
MH 1070 TO MH 1080		
0+06 RT.	116	519.38
0+38 RT.	117	519.61
@MH 1080 RT.	118	519.91

SHC INVERT@BUILDING		
STATION	LOT	ELEVATION
MH 1055 TO MH 1085		
@MH 1085 LT.	106	516.88
@MH 1085 RT.	107 (FF)	517.15



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL-ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE 12/31/14.

TERRELL A. FISHER, PROFESSIONAL ENGINEER
11/16/12 DATE

AS-BUILT CERTIFICATION
Note: There is no "AS BUILT" information provided on this sheet.

Charles J. Orsola, Jr. NO. 19104 Date 11/16/12

BUILDERS
 NV HOMES 6085 MARSHALLEE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-9956
 RYAN HOMES 6085 MARSHALLEE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-9956

DEVELOPER
 WAVERLY WOODS DEVELOPMENT CORPORATION C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELICOTT CITY, MARYLAND 21042 443-367-0422

OWNERS
 WAVERLY WOODS DEVELOPMENT CORPORATION, C/O LAND DESIGN AND DEVELOPMENT, INC. 5300 DORSEY HALL DRIVE, SUITE 102 ELICOTT CITY, MARYLAND 21042 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Chief, Division of Land Development
 Chief Development Engineering Division
 Director - Department of Planning and Zoning

PROJECT: GTW'S WAVERLY WOODS SECTION: 14 PARCEL NO. 'E'
 PLAT: SEE GENERAL NOTE #91 BLOCK NO. 3 & 4 ZONE PSC TAX/ZONE 16 ELEC. DIST. THIRD CENSUS TR. 60300
 WATER CODE K-02 SEWER CODE 5992000

REVISED SEWER MAIN PROFILES
 AGE RESTRICTED ADULT HOUSING
 GTW'S WAVERLY WOODS
 SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PHASE II, TRAIL V LOTS 5, 12 THRU 23, 44 THRU 68 THRU 103, 172 THRU 231 & 240 THRU 293 TOWNHOUSE & SINGLE FAMILY HOMES

ZONING: PSC
 TAX MAP NO.: 16 GRID NO.: 3 & 4 PARCEL NO.: PART OF 249
 THIRD ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: DECEMBER, 2012
 SHEET 97 OF 100 SDP-09-039

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

K:\2012\01\01770 GTW Sewer Base Plan For Stp\baseline 4 - June 2012.dwg, SHEET 97, 11/15/2012 8:25:34 AM, 1:1

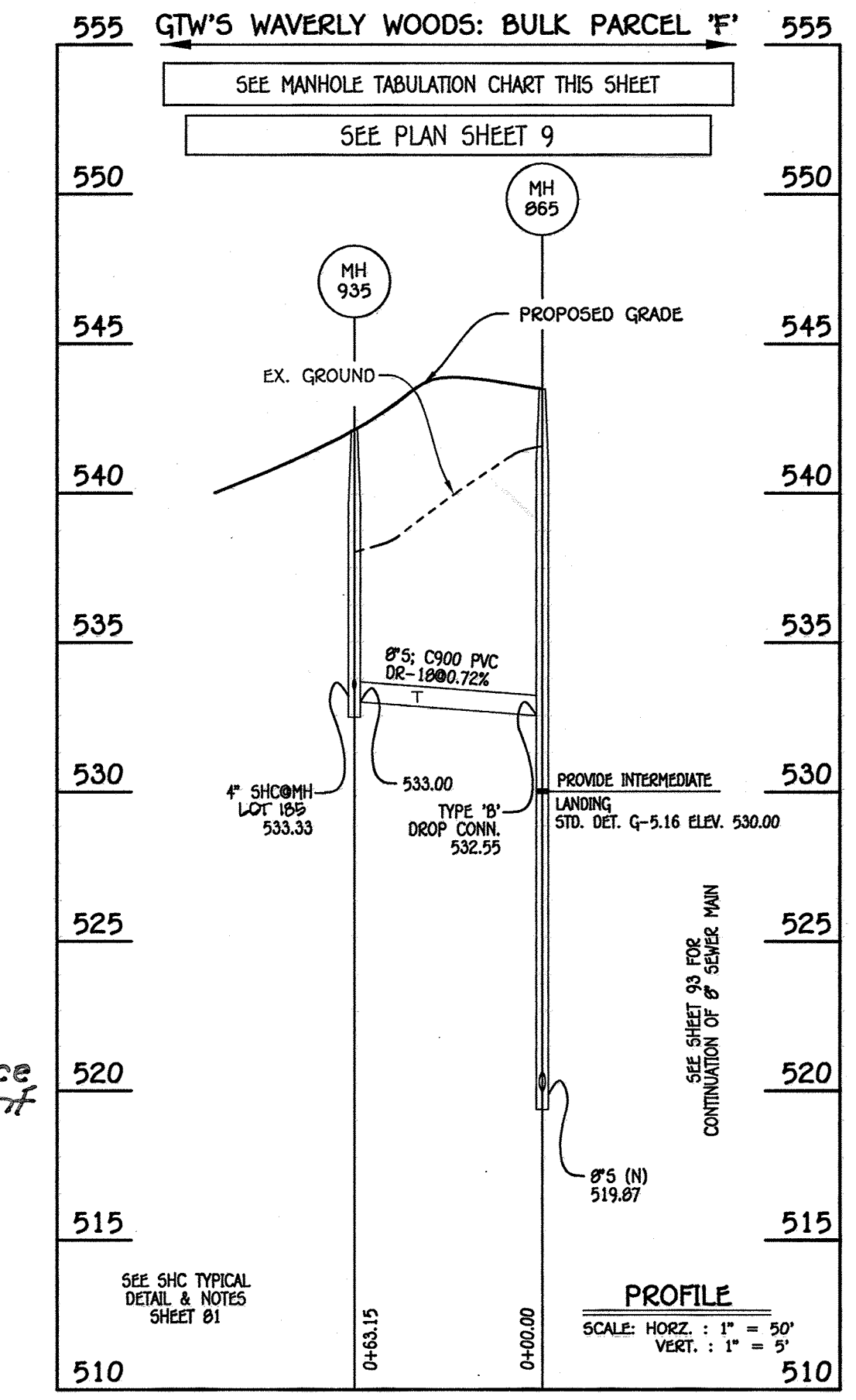
M.C.E. CHART	
LOT	M.C.E.
LOT 44	486.77
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LOT 46	501.05
LOT 47	507.29
LOT 48	509.20
LOT 49	510.80
LOT 50	512.39
LOT 51	520.73
LOT 52	523.61
LOT 53	526.50
LOT 54	530.50
LOT 55	532.50
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M.C.E. CHART	
LOT	M.C.E.
LOT 201	520.73
LOT 202	519.26
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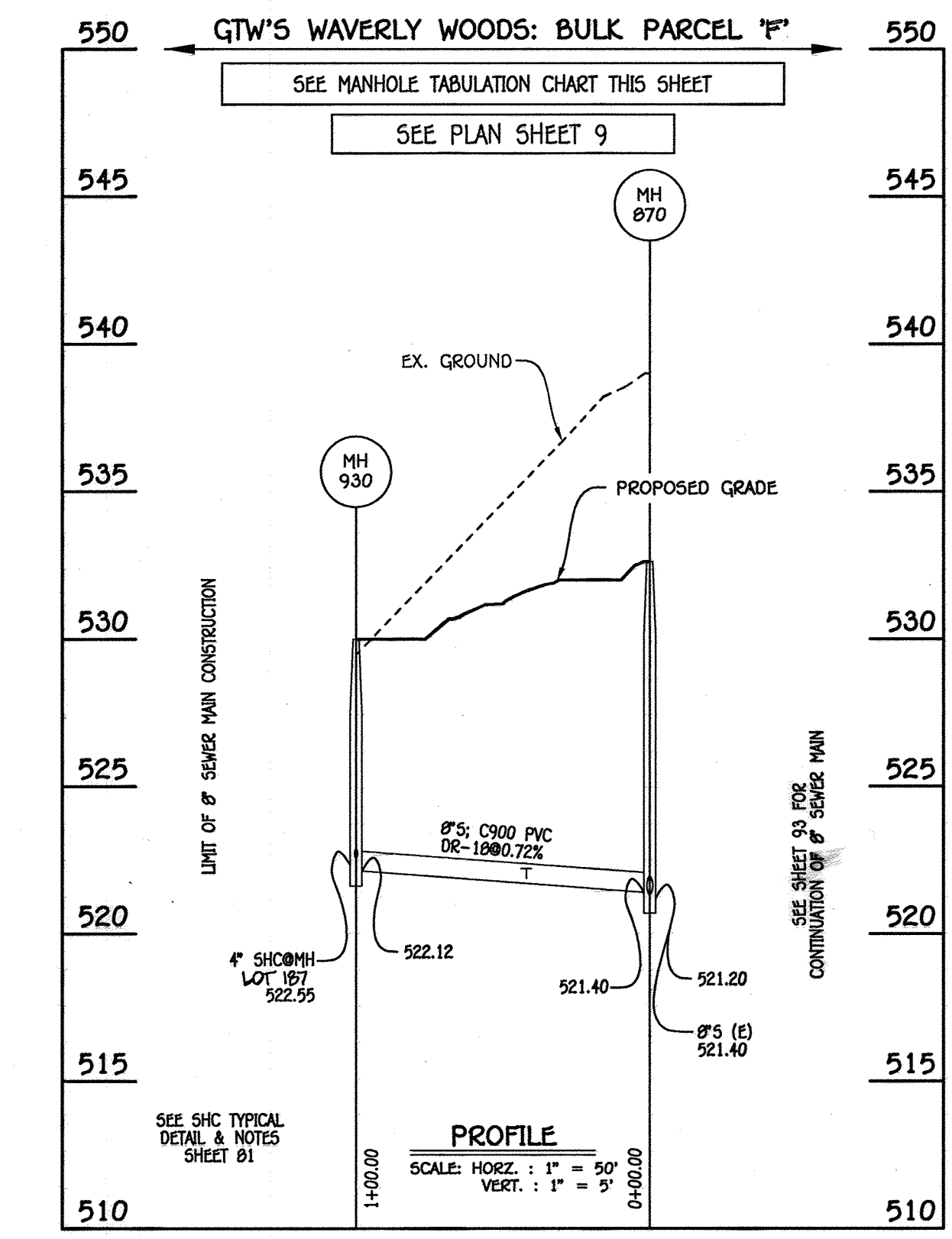
M.C.E. CHART	
LOT	M.C.E.
LOT 401	531.91
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LOT 403	532.51
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LOT 411	521.62
LOT 412	521.45
LOT 413	532.10
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LOT 415	531.80
LOT 416	521.82
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LOT 420	529.44
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LOT 423	522.24
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LOT 425	522.34
LOT 426	522.16
LOT 427	521.98
LOT 428	519.71
LOT 429	521.18
LOT 430	520.28
LOT 431	524.16
LOT 432	524.90
LOT 433	526.00
LOT 434	527.90
LOT 435	514.90
LOT 436	516.00
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LOT 439	509.63
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LOT 441	508.71
LOT 442	508.30
LOT 443	507.85
LOT 444	507.01
LOT 445	490.53
LOT 446	494.88
LOT 447	496.13
LOT 448	497.94
LOT 449	499.48
LOT 450	501.22
LOT 451	502.90
LOT 452	504.61
LOT 453	506.66
LOT 454	508.30
LOT 455	507.70

* Gravity Sewer Service First Floor Only, Basement Sewer Service To Be Provided By On-Site Pump.



8" SEWER MAIN: MH 865 TO MH 935

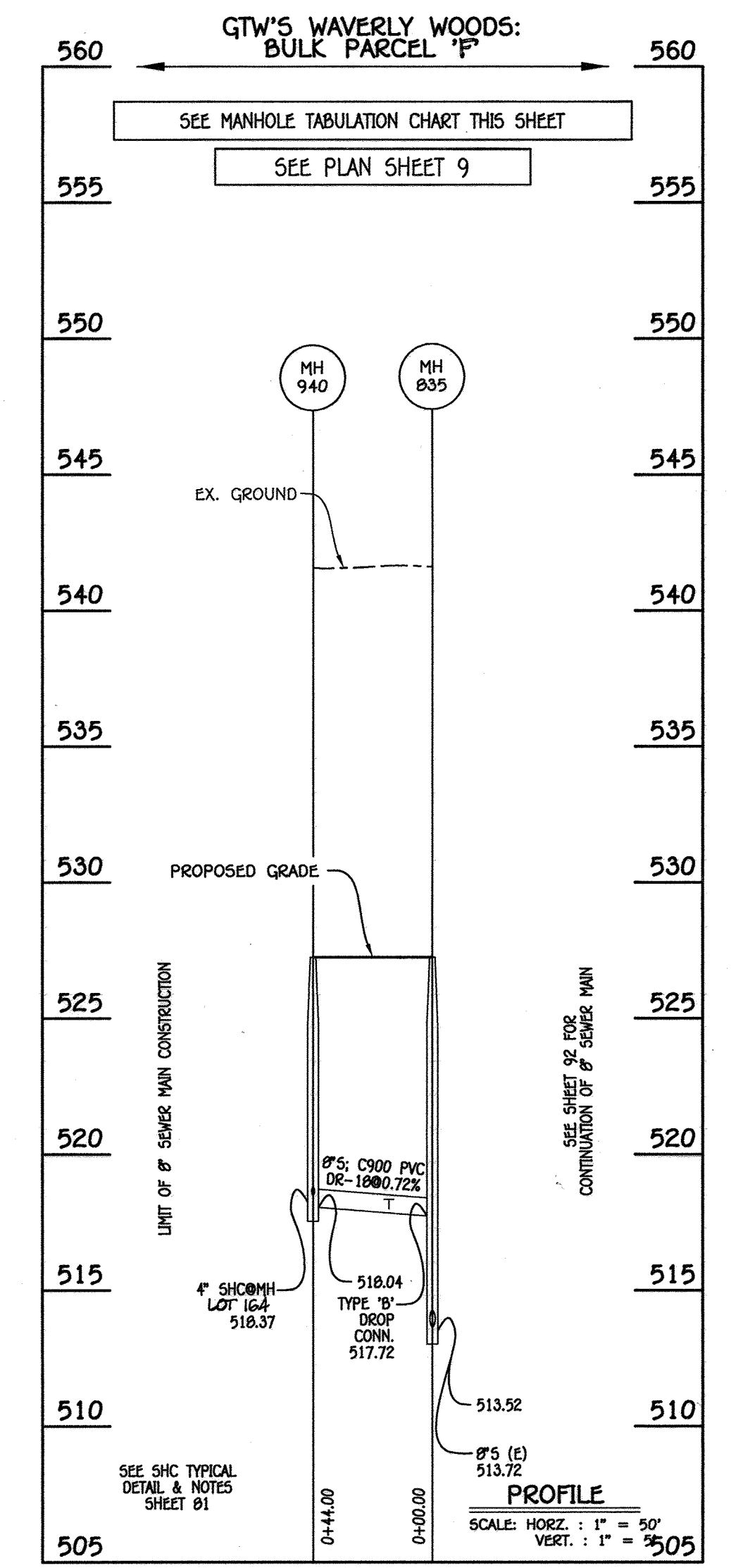
SHC INVERT@BUILDING		
STATION	LOT	ELEVATION
MH 865 TO MH 935		
0+42 LT.	18C (FF)	533.08
@MH 935 LT.	18E (FF)	533.49

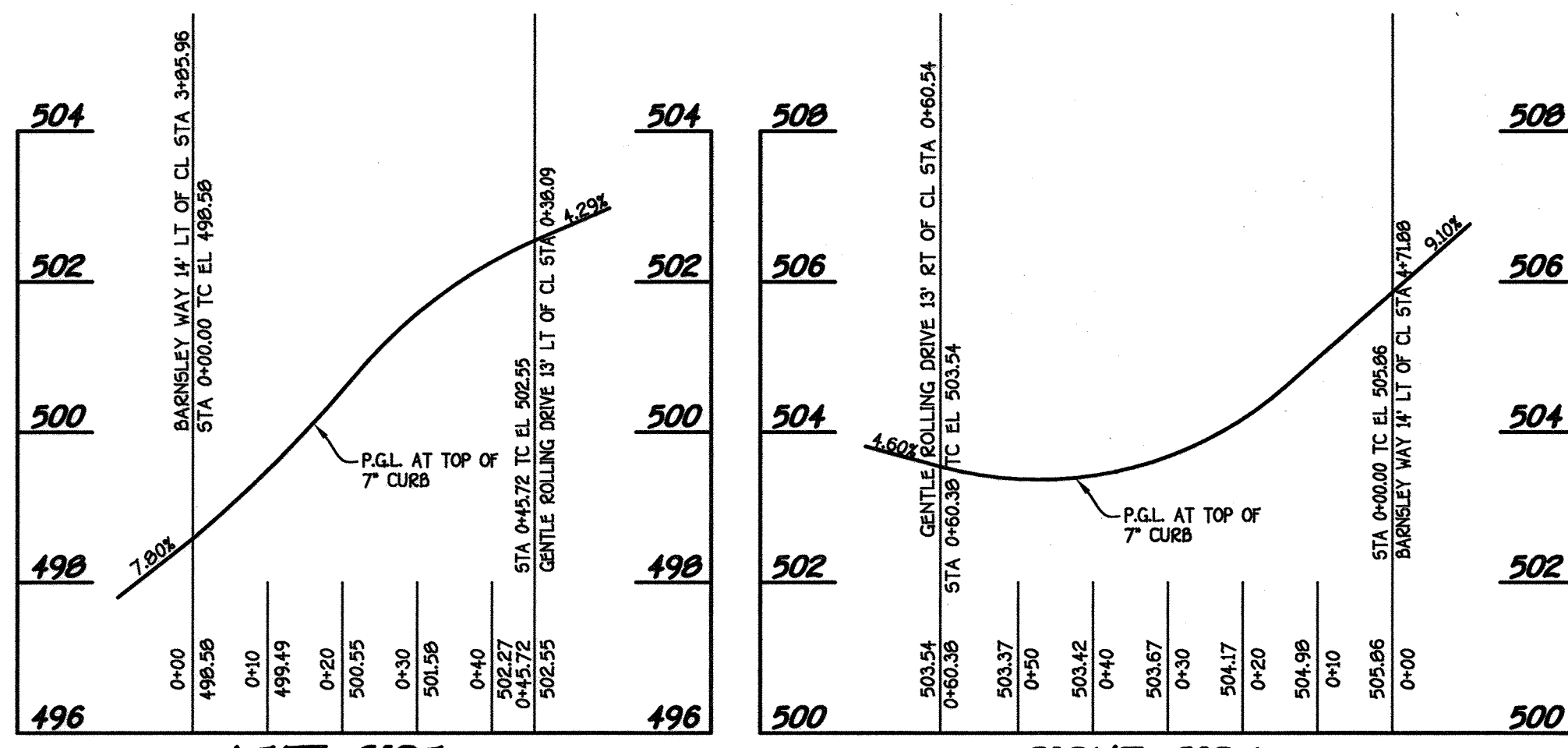


8" SEWER MAIN: MH 870 TO MH 930

SHC INVERT@BUILDING		
STATION	LOT	ELEVATION
MH 870 TO MH 930		
0+42 RT.	18B	521.89
@MH 930 RT.	187 (FF)	522.51

MANHOLE TABULATION CHART			
NO.	NORTHING	EASTING	RIM ELEVATION
835	537878.08	827242.97	527.25
865	537945.13	826505.98	543.50
870	537720.39	826515.67	532.85
930	537716.09	826415.77	530.00
935	537942.30	826442.92	542.10
940	537922.01	827240.53	527.25

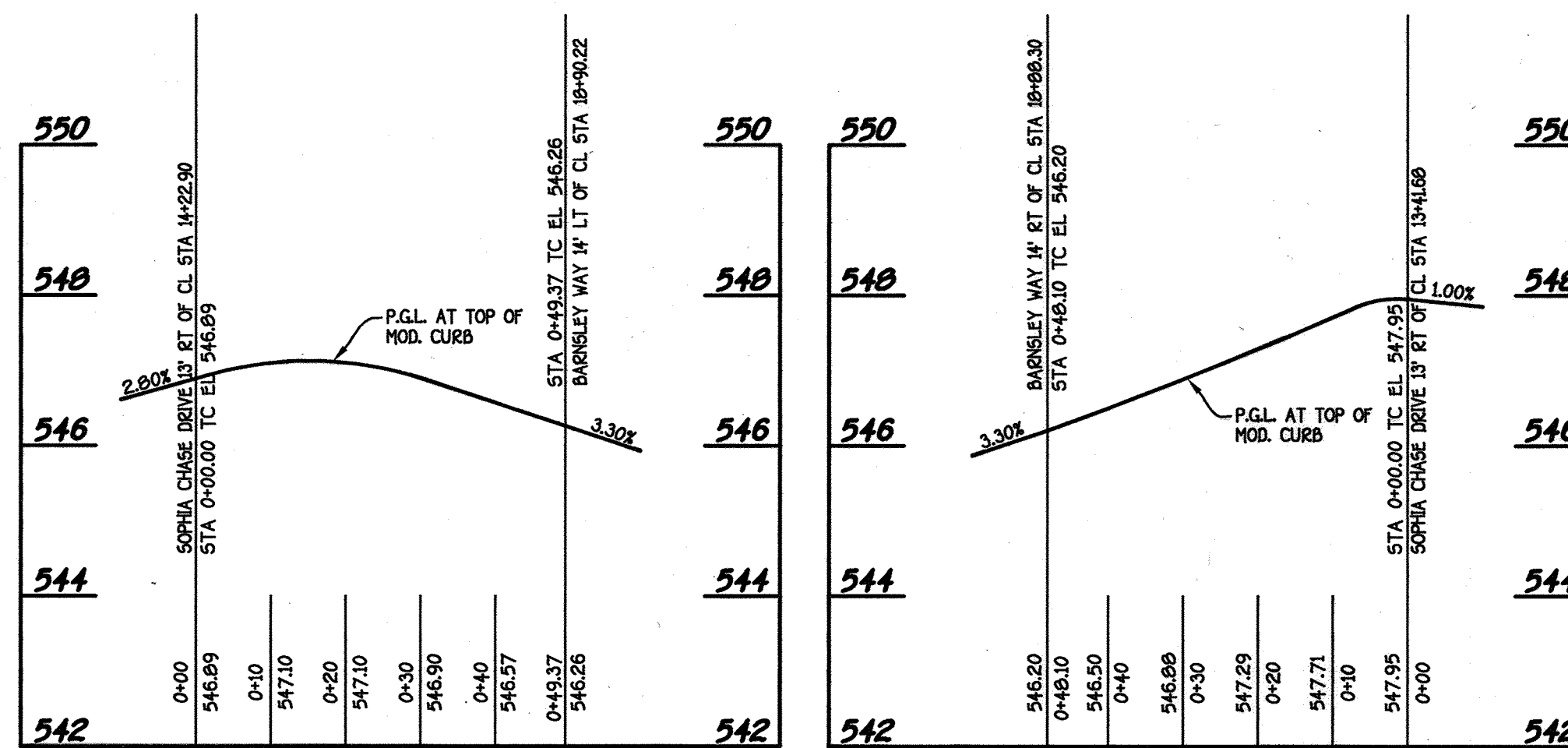




LEFT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

RIGHT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

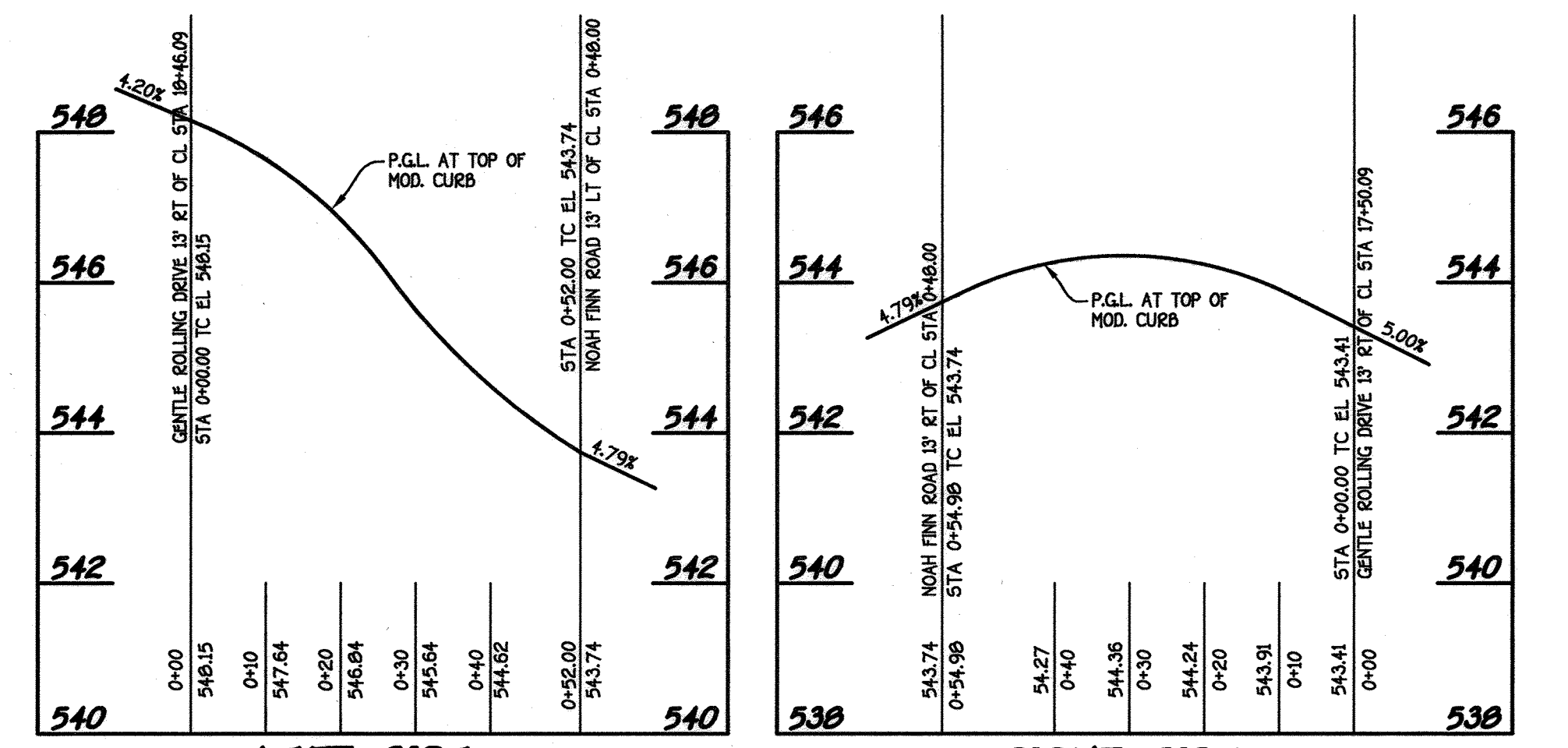
BARNSELEY WAY - GENTLE ROLLING DRIVE INTERSECTION



LEFT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

RIGHT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

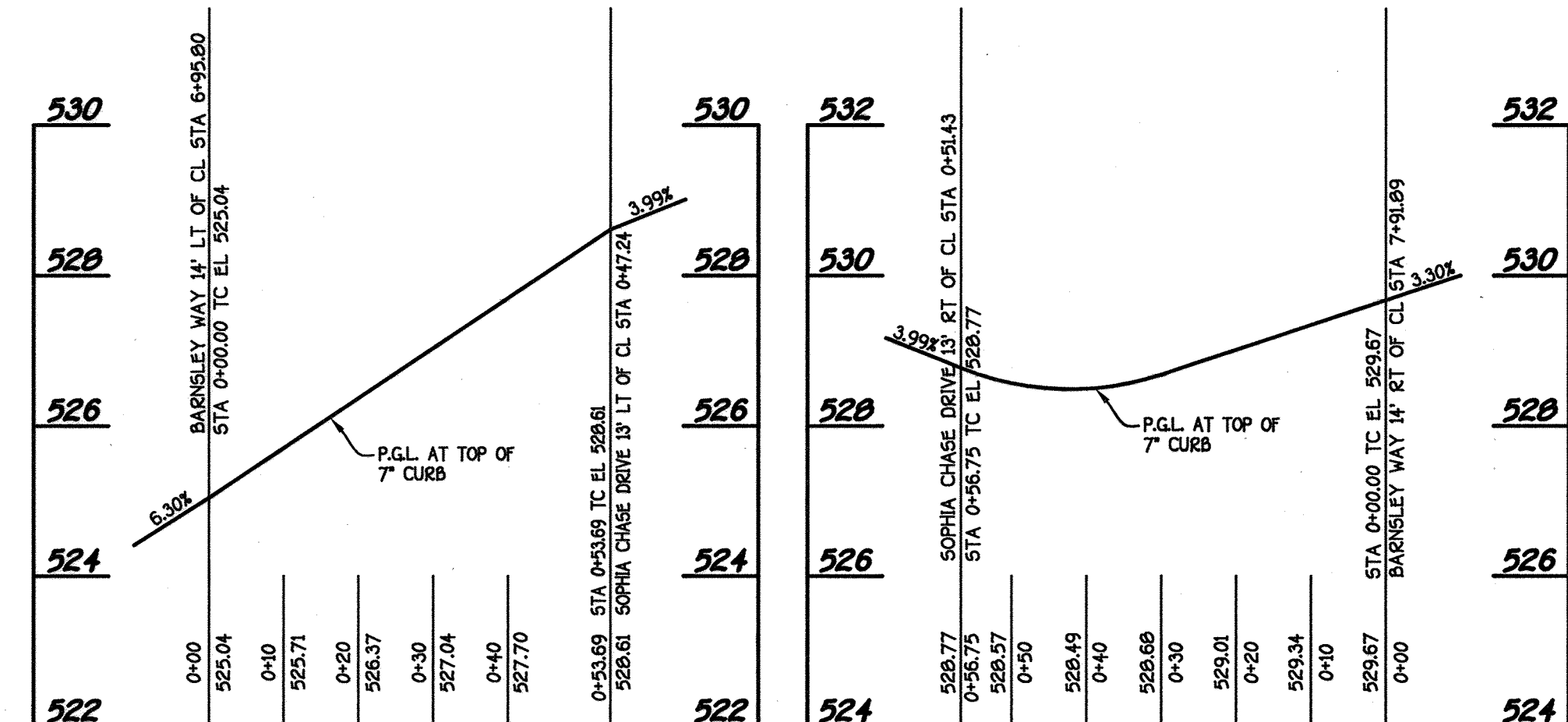
BARNSELEY WAY - SOPHIA CHASE DRIVE INTERSECTION



LEFT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

RIGHT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

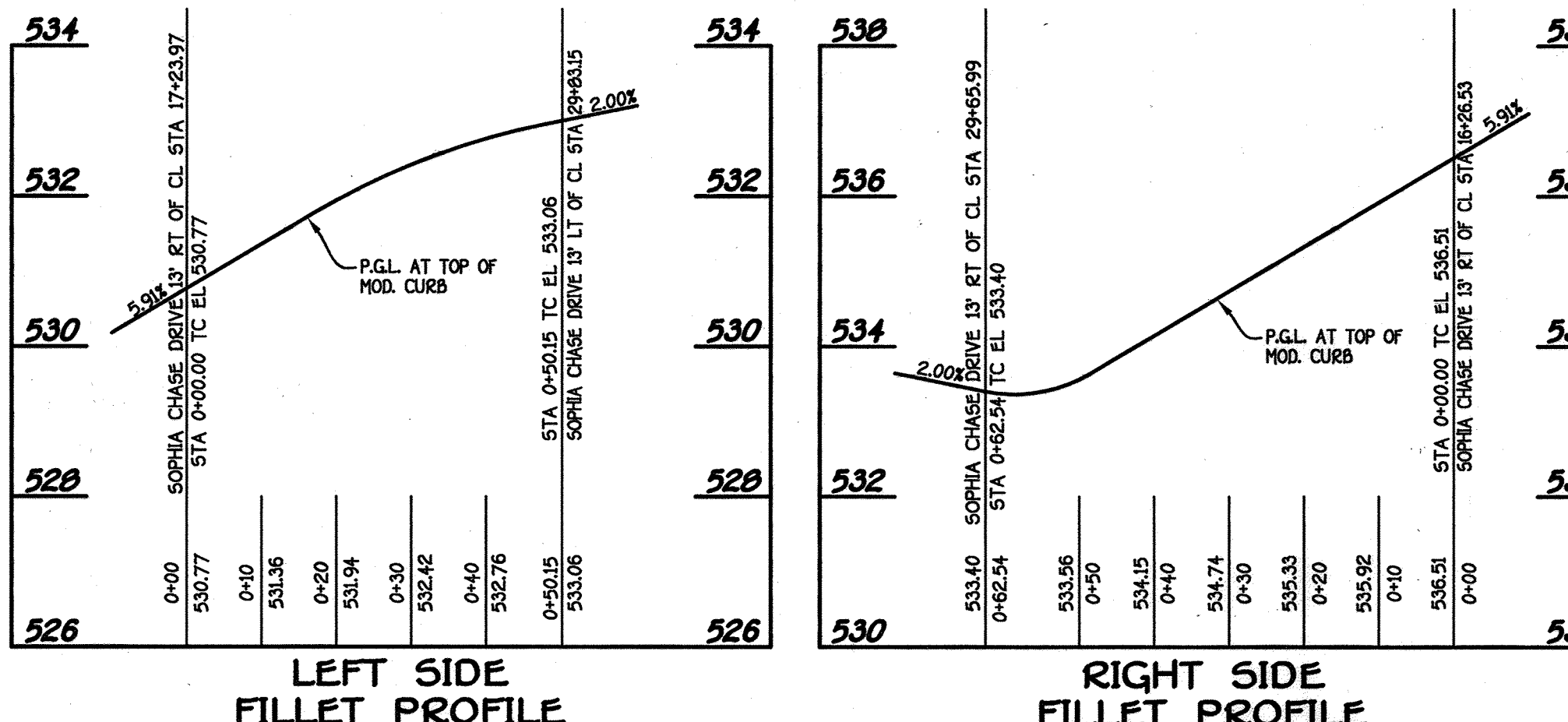
GENTLE ROLLING DRIVE - NOAH FINN ROAD INTERSECTION



LEFT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

RIGHT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

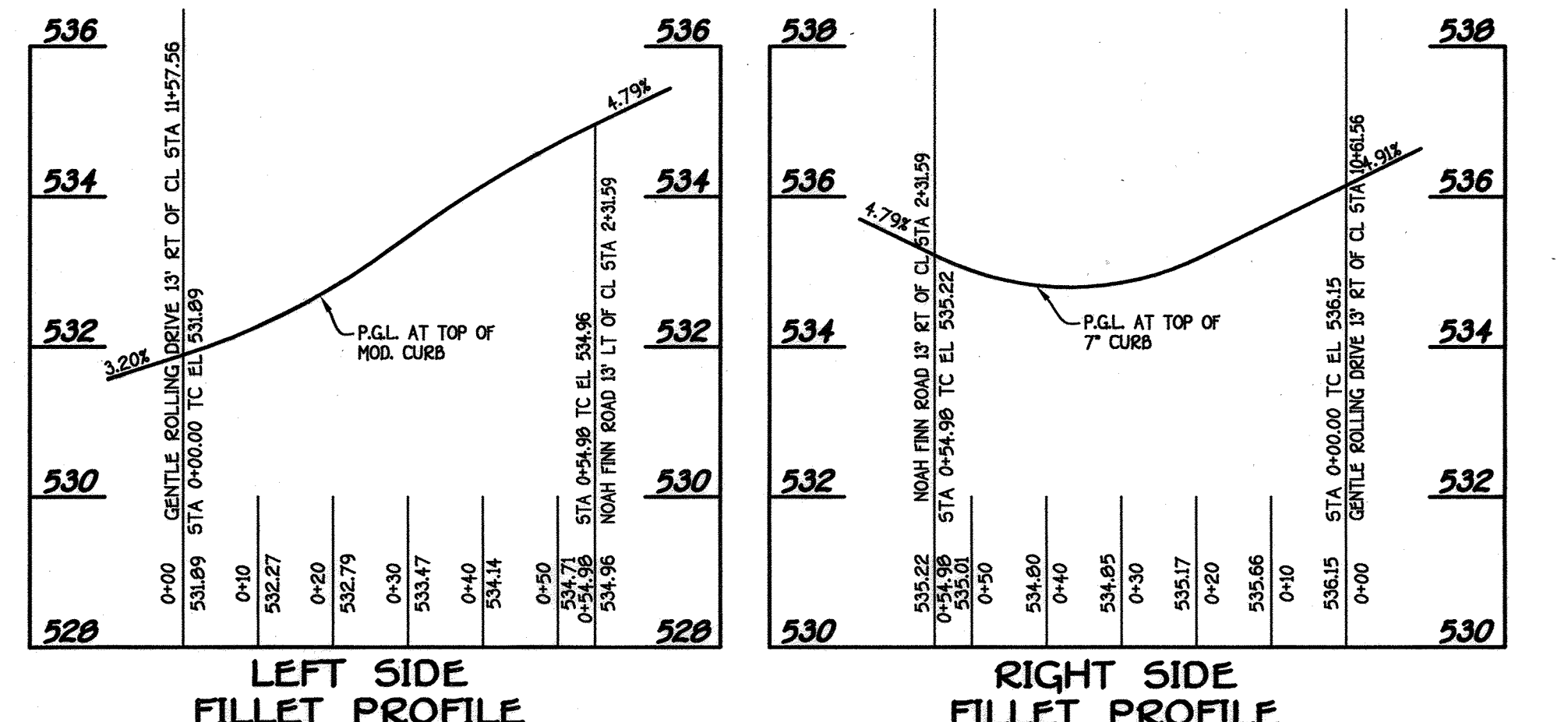
BARNSELEY WAY - SOPHIA CHASE DRIVE INTERSECTION



LEFT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

RIGHT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

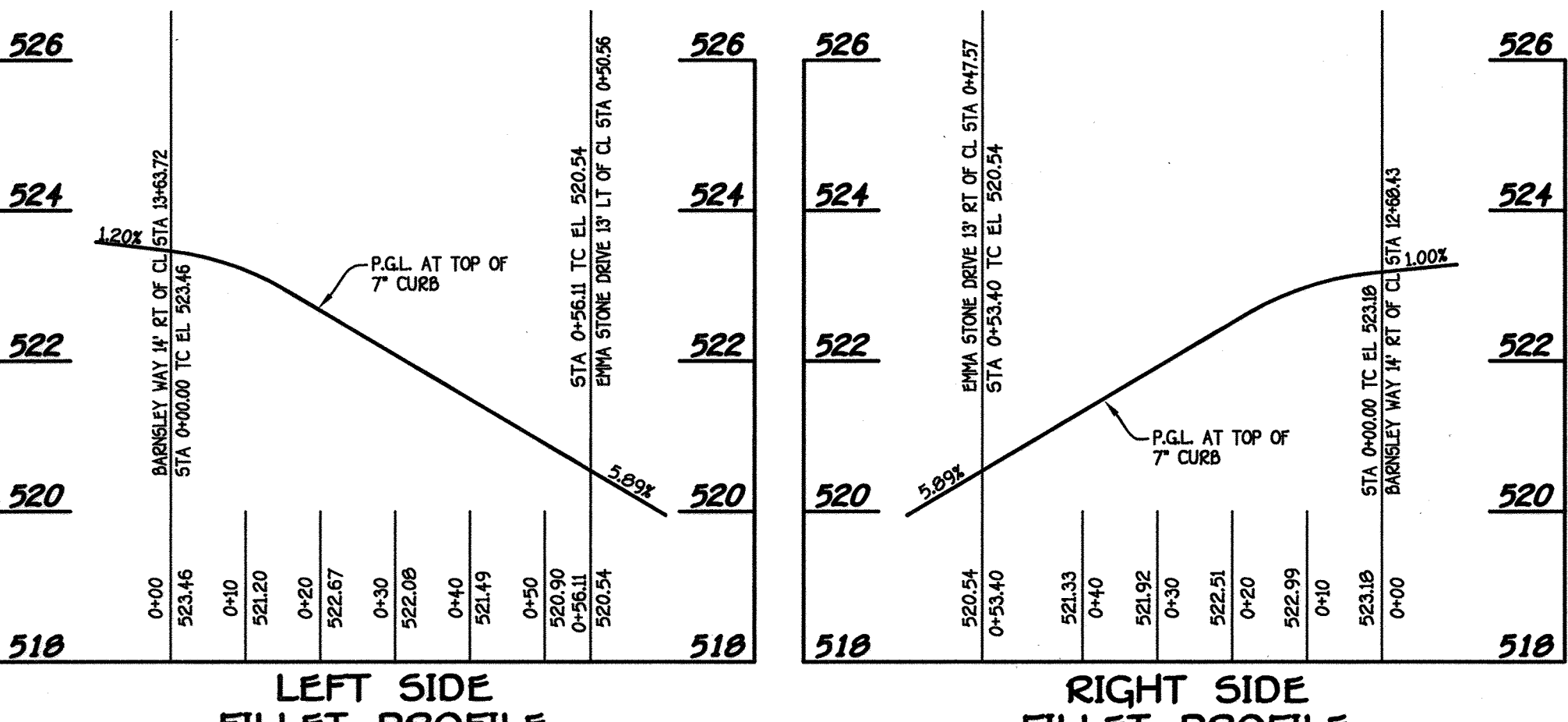
SOPHIA CHASE DRIVE - SOPHIA CHASE DRIVE INTERSECTION



LEFT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

RIGHT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

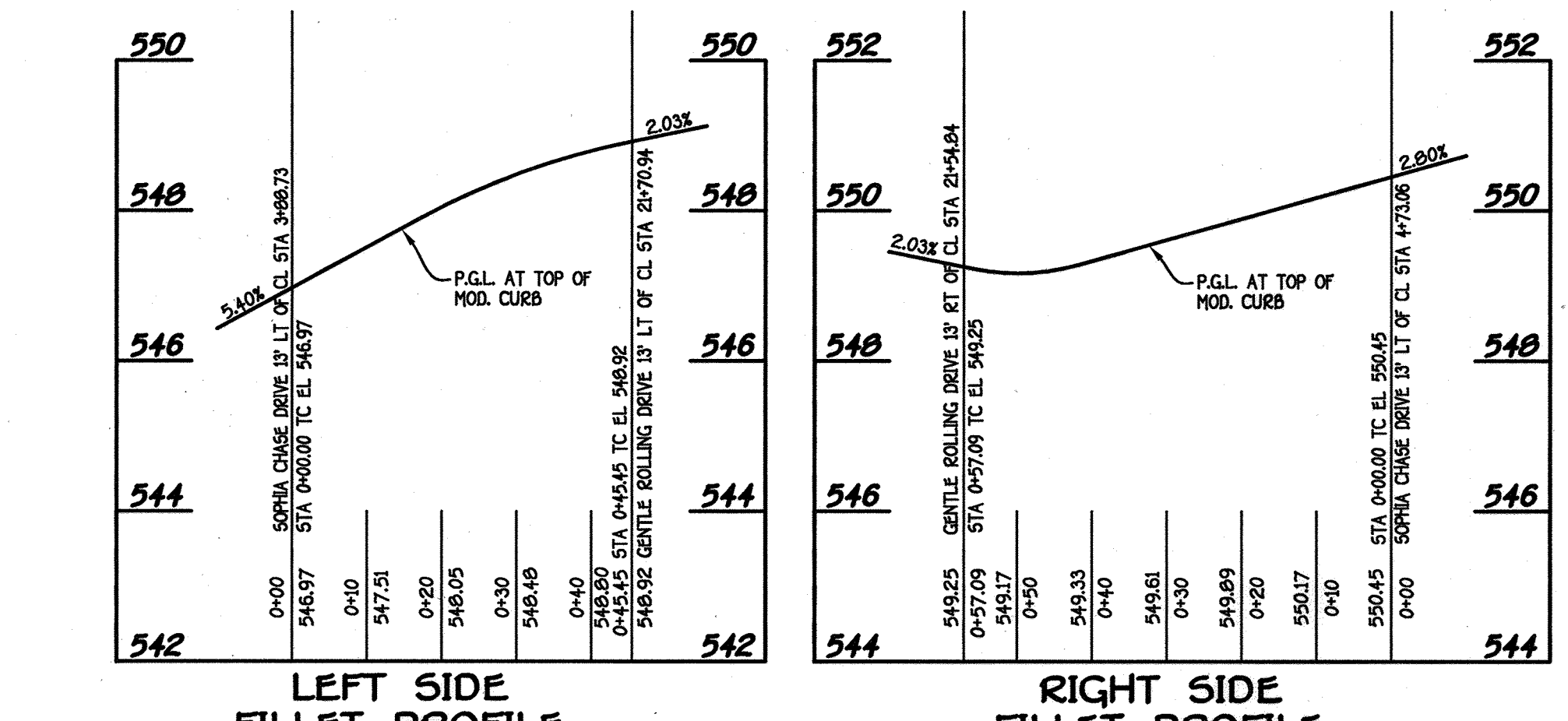
GENTLE ROLLING DRIVE - NOAH FINN ROAD INTERSECTION



LEFT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

RIGHT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

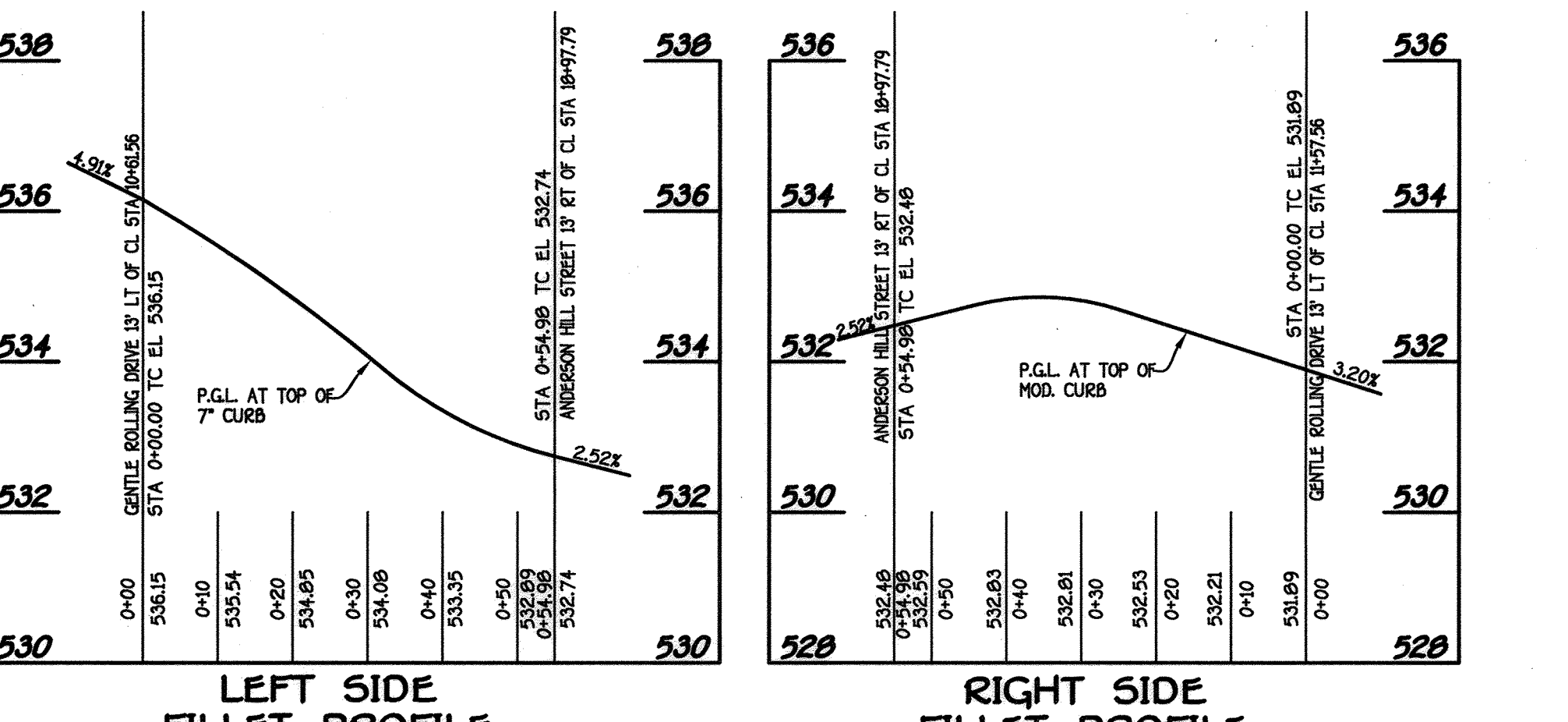
BARNSELEY WAY - EMMA STONE DRIVE INTERSECTION



LEFT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

RIGHT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

SOPHIA CHASE DRIVE - GENTLE ROLLING DRIVE INTERSECTION



LEFT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

RIGHT SIDE FILLET PROFILE
SCALE: HORIZ. : 1" = 20'
VERT. : 1" = 2'

GENTLE ROLLING DRIVE - ANDERSON HILL STREET INTERSECTION

REVISED

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
410-461-2252



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 9757 EXPIRATION DATE IS 3/31/14.
Terrell A. Fisher 11/14/12
TERRELL A. FISHER, PROFESSIONAL ENGINEER DATE

AS-BUILT CERTIFICATION

Note: There is no "AS BUILT" information provided on this sheet.

Charles J. Devoe, Jr. 11/14/12
CHARLES J. DEVOE, JR., NO. 10204 DATE

BUILDERS

NV HOMES 6085 MARSHALLEE DRIVE SUITE 130 ELK RIDGE, MD. 21075 410-379-5956
RYAN HOMES 6085 MARSHALLEE DRIVE SUITE 140 ELK RIDGE, MD. 21075 410-379-5956

DEVELOPER

WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE, SUITE 102
ELLCOTT CITY, MARYLAND 21042
443-367-0422

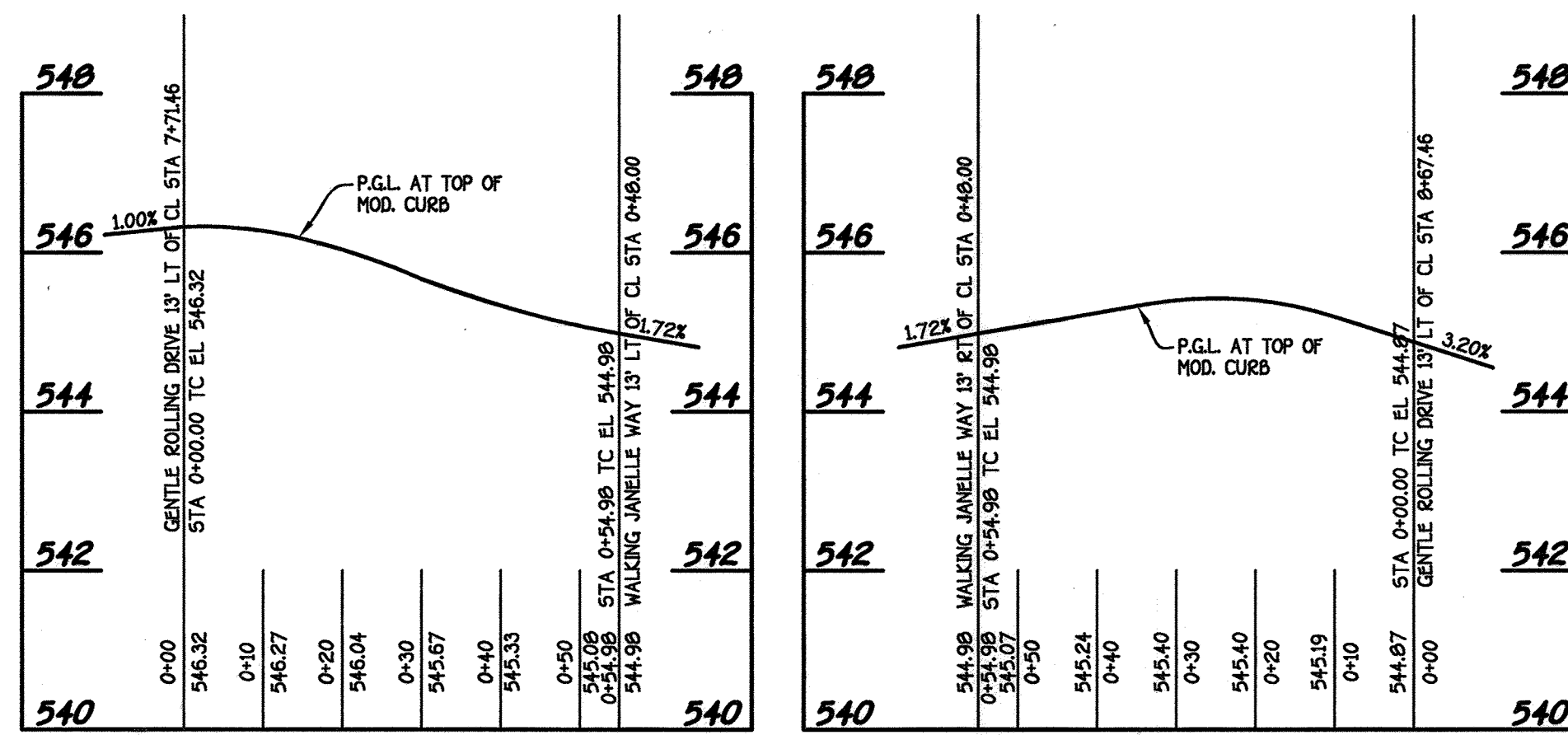
OWNERS

WAVERLY WOODS DEVELOPMENT CORPORATION
C/O LAND DESIGN AND DEVELOPMENT, INC.
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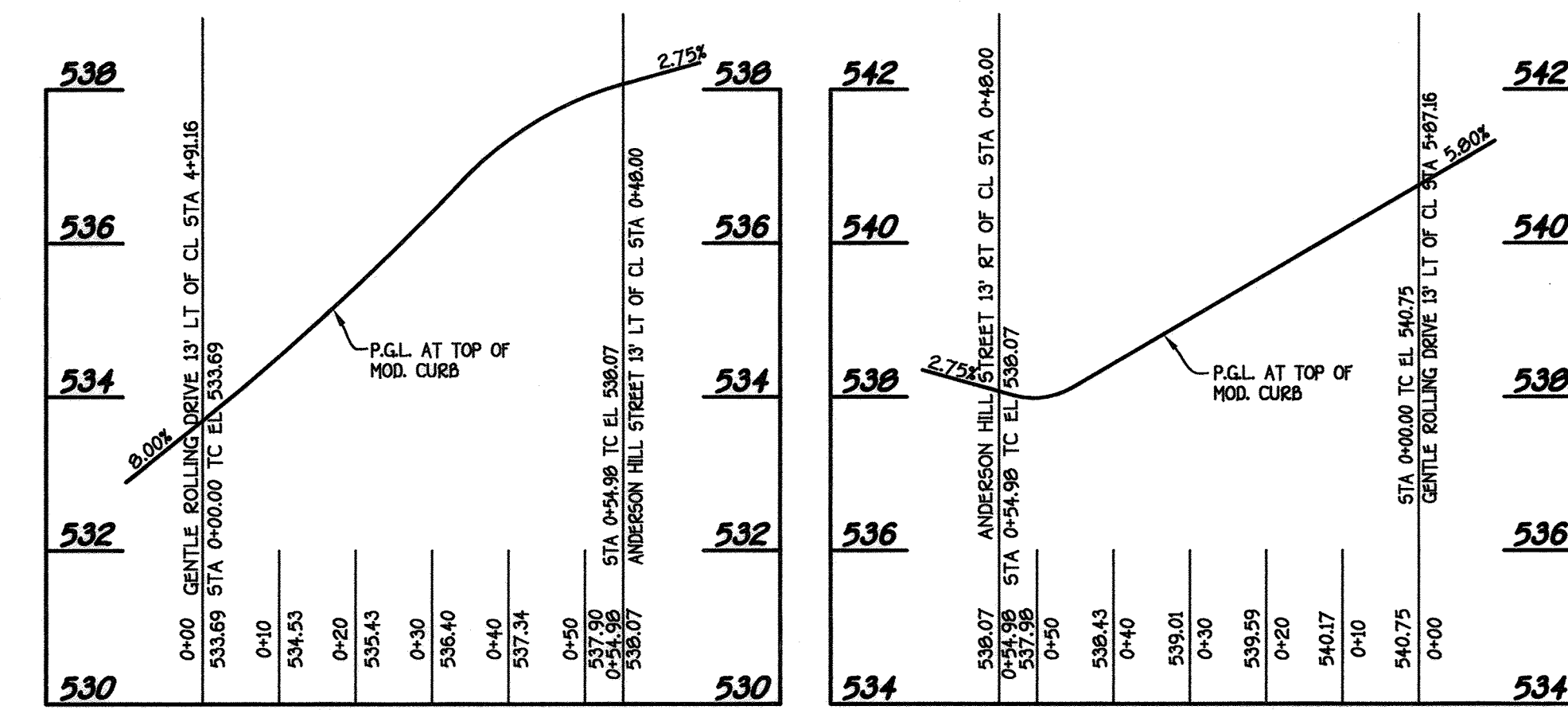
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Kate Schuchman 12/10/12
Chief, Division of Land Development
David D. Williams 12/10/12
Chief, Development Engineering Division
David P. Wright 12/10/12
Director - Department of Planning and Zoning

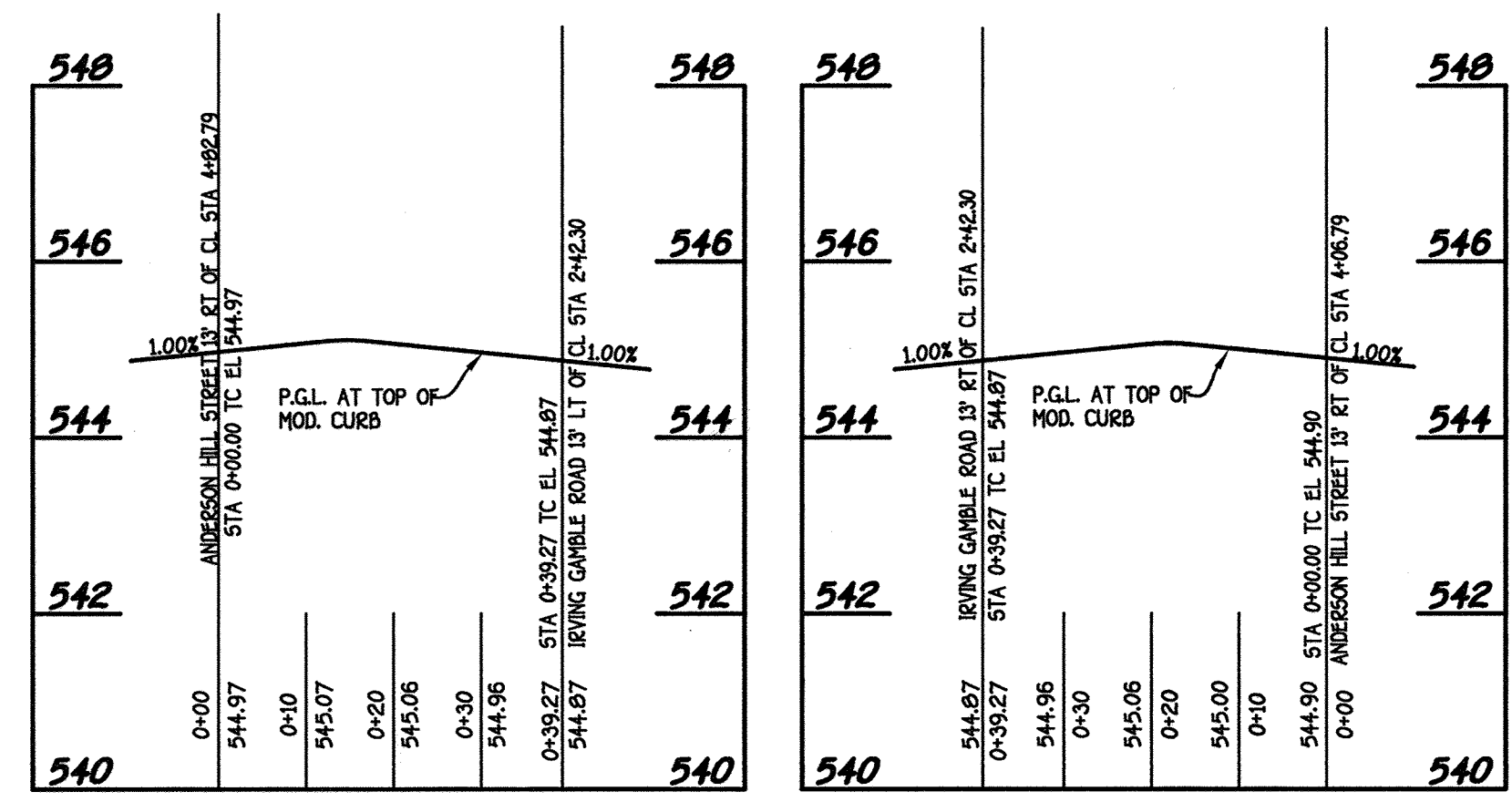
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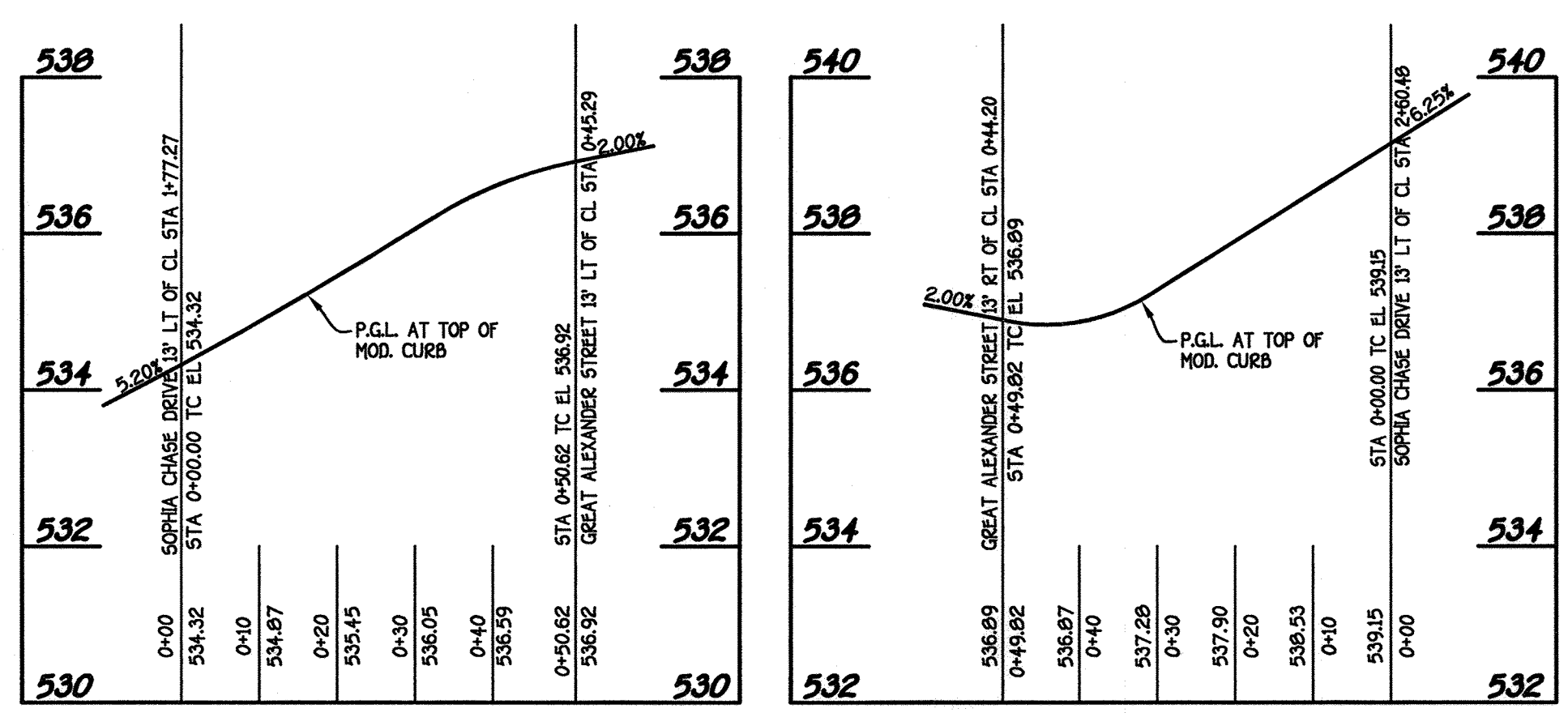
LEFT SIDE FILLET PROFILE
RIGHT SIDE FILLET PROFILE
 GENTLE ROLLING DRIVE - WALKING JANELLE WAY INTERSECTION
 SCALE: HORIZ. : 1" = 20'
 VERT. : 1" = 2'



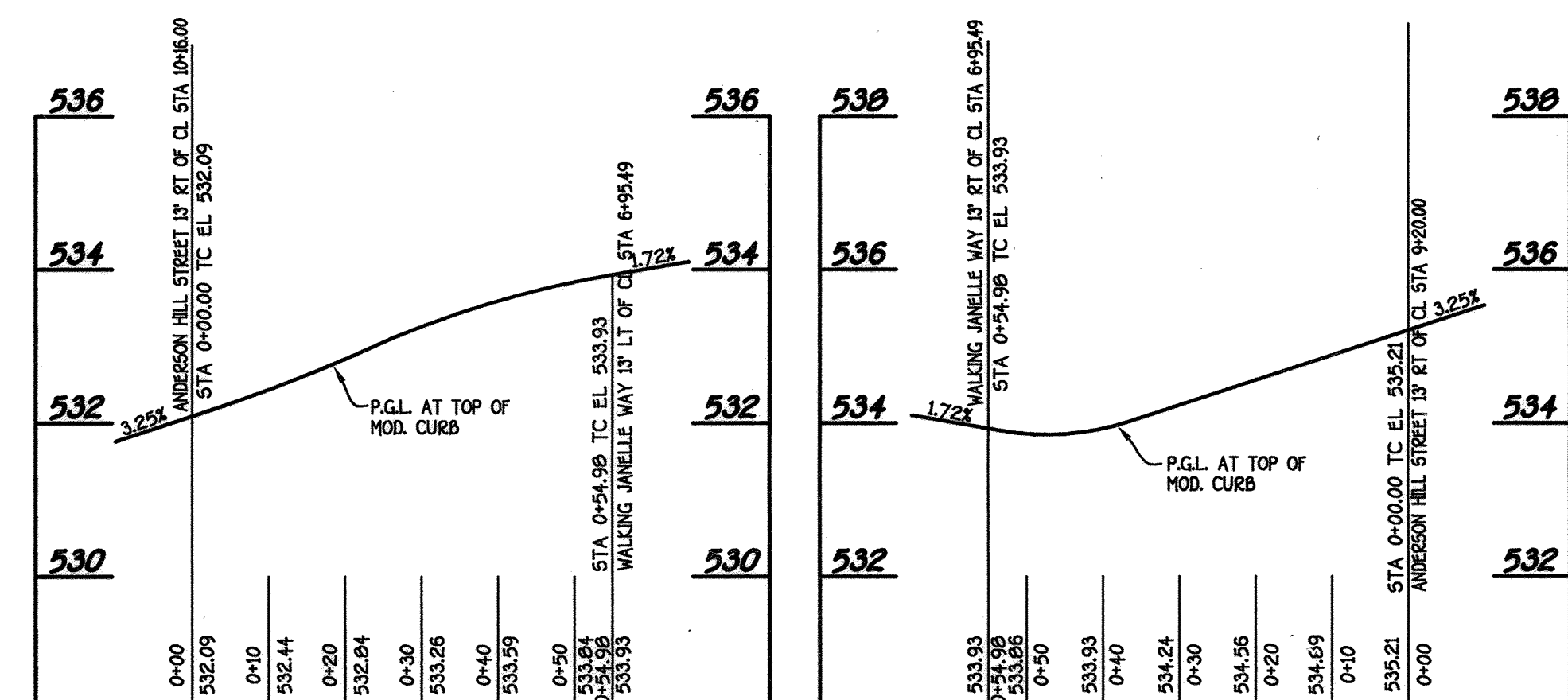
LEFT SIDE FILLET PROFILE
RIGHT SIDE FILLET PROFILE
 GENTLE ROLLING DRIVE - ANDERSON HILL STREET INTERSECTION
 SCALE: HORIZ. : 1" = 20'
 VERT. : 1" = 2'



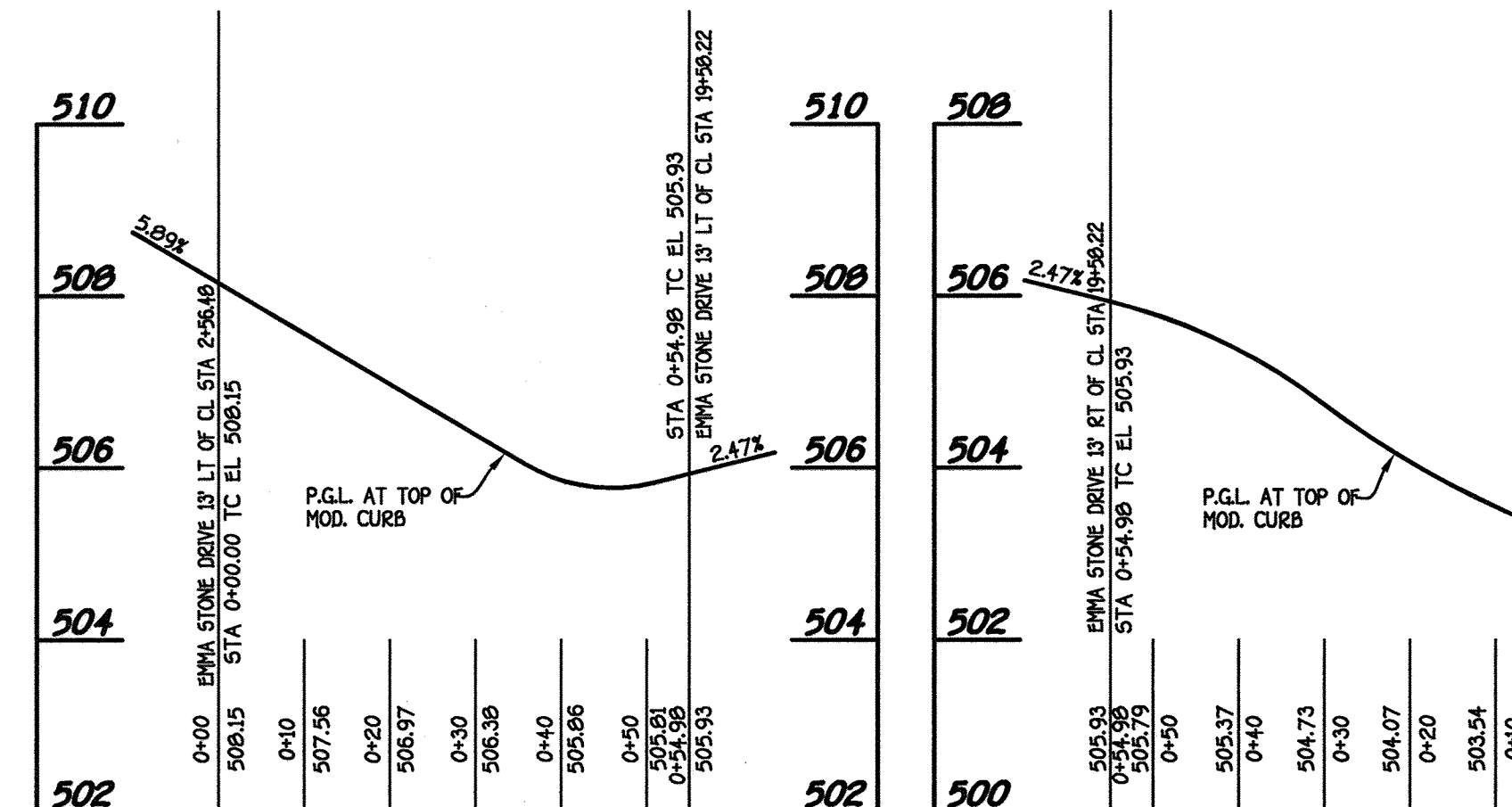
LEFT SIDE FILLET PROFILE
RIGHT SIDE FILLET PROFILE
 ANDERSON HILL STREET - IRVING GAMBLE ROAD INTERSECTION
 SCALE: HORIZ. : 1" = 20'
 VERT. : 1" = 2'



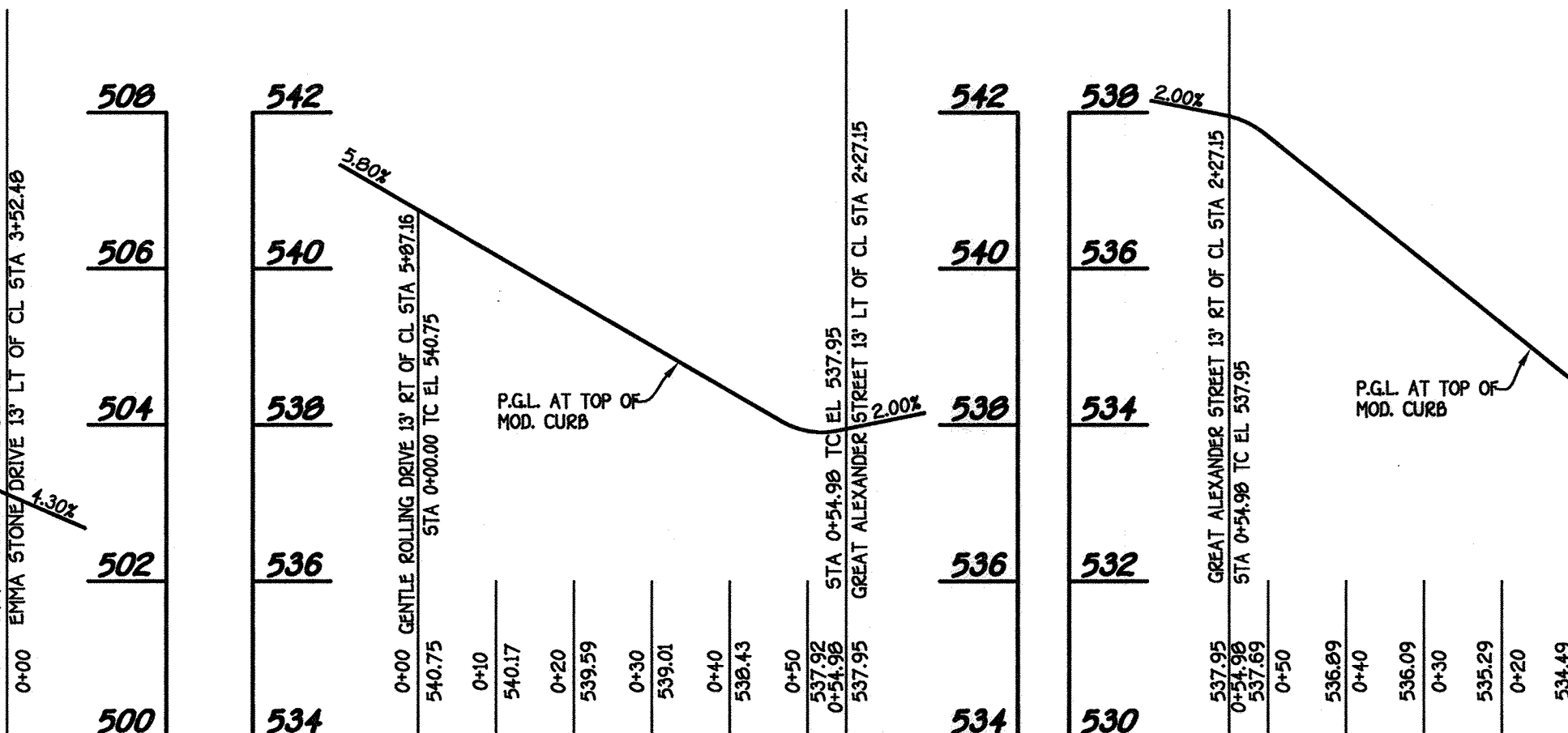
LEFT SIDE FILLET PROFILE
RIGHT SIDE FILLET PROFILE
 SOPHIA CHASE DRIVE - GREAT ALEXANDER STREET INTERSECTION
 SCALE: HORIZ. : 1" = 20'
 VERT. : 1" = 2'



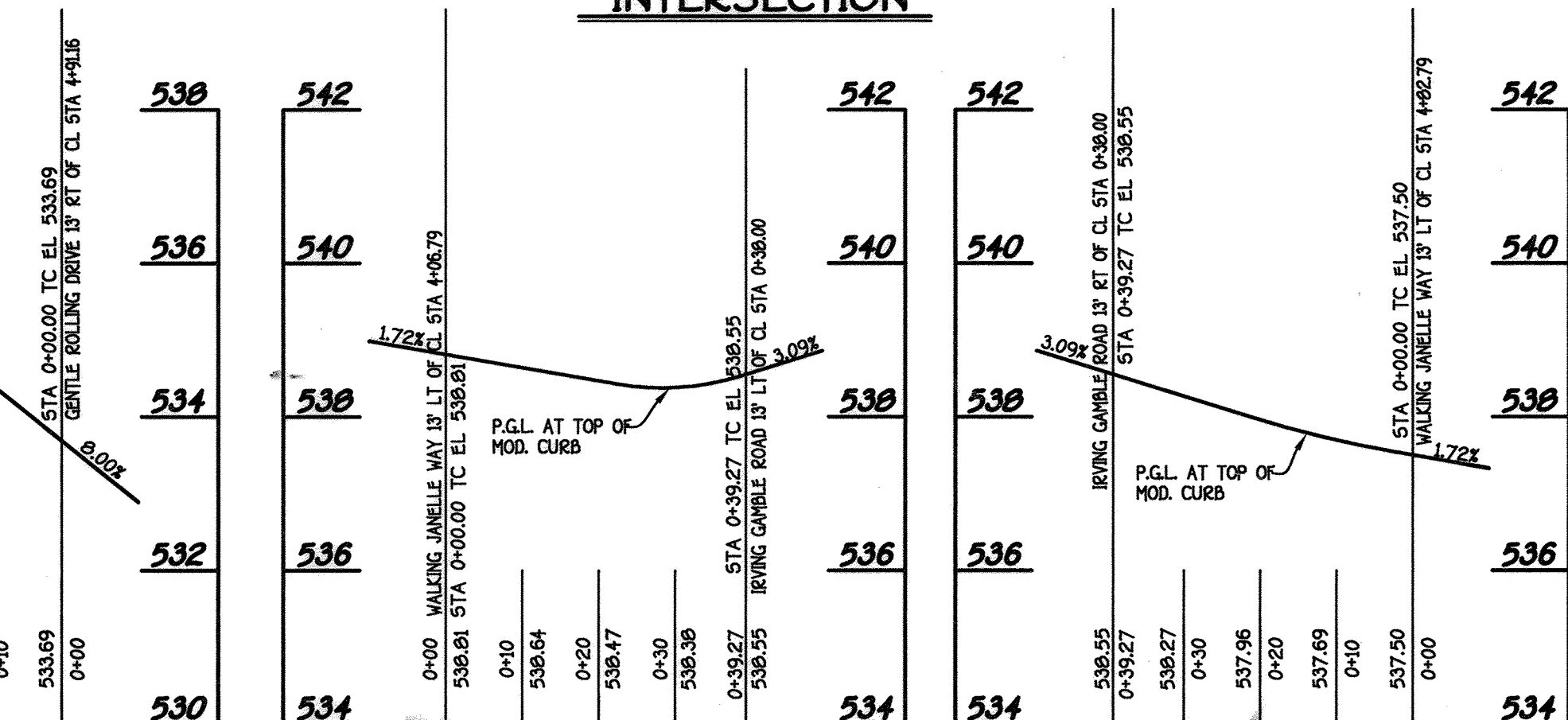
LEFT SIDE FILLET PROFILE
RIGHT SIDE FILLET PROFILE
 ANDERSON HILL STREET - WALKING JANELLE WAY INTERSECTION
 SCALE: HORIZ. : 1" = 20'
 VERT. : 1" = 2'



LEFT SIDE FILLET PROFILE
RIGHT SIDE FILLET PROFILE
 EMMA STONE DRIVE - EMMA STONE DRIVE INTERSECTION
 SCALE: HORIZ. : 1" = 20'
 VERT. : 1" = 2'



LEFT SIDE FILLET PROFILE
RIGHT SIDE FILLET PROFILE
 GENTLE ROLLING DRIVE - GREAT ALEXANDER STREET INTERSECTION
 SCALE: HORIZ. : 1" = 20'
 VERT. : 1" = 2'



LEFT SIDE FILLET PROFILE
RIGHT SIDE FILLET PROFILE
 WALKING JANELLE WAY - IRVING GAMBLE ROAD INTERSECTION
 SCALE: HORIZ. : 1" = 20'
 VERT. : 1" = 2'

NO.	REVISION	DATE
1	REV. TO ADD PER APPO PHASE 3 BLDGS & 9-06-13 PHASING TAB	3/24/10
2	REV. TO ADD PER APPO PHASE 3 BLDGS & 9-06-13 PHASING TAB	9/28/12
3	REV. TO ADD PER SIMPLE LOTS PER F-12-089 AND ADD GRIFFIN HALL	10/17/13
4	REV. TO ADD PER SIMPLE LOTS PER F-12-089 AND ADD GRIFIN HALL	10/31/14



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 14492 EXPIRATION DATE IS 3/31/14

TERRELL A. FISHER, PROFESSIONAL ENGINEER DATE 4/14/14

AS-BUILT CERTIFICATION
 Note: There is no "AS-BUILT" information provided on this sheet.
 CHARLES J. ORAVO, JR. NO. 1804 DATE

BUILDERS
 NV HOMES 6085 MARSHALLEE DRIVE SUITE 130 ELKRIDGE, MD. 21075 410-379-5996
 RYAN HOMES 6085 MARSHALLEE DRIVE SUITE 140 ELKRIDGE, MD. 21075 410-379-5996

DEVELOPER
 WAVERLY WOODS DEVELOPMENT CORPORATION
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042 443-367-0422

OWNERS
 WAVERLY WOODS DEVELOPMENT CORPORATION,
 C/O LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042 443-367-0422

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development 12/19/12
 Chief, Development Engineering Division 12/18/12
 Director - Department of Planning and Zoning 12/18/12

PROJECT	SECTION	PARCEL NO. 'E'
GTW'S WAVERLY WOODS	14	1209-5-1-20-14-00-00-100-100-021 & 240-000
PLAT	BLOCK NO.	ZONE
SEE GENERAL NOTE #21	3 & 4	PSC
TAX/ZONE	ELEC. DIST.	CENSUS TR.
16	THIRD	60300
WATER CODE	SEWER CODE	
K-02	5992000	

WETLAND AND FLOODPLAIN TABLES AND CURB RETURN PROFILES
 AGE RESTRICTED ADULT HOUSING
 GTW'S WAVERLY WOODS
 SECTION 14
 "THE COURTYARDS AT WAVERLY WOODS - WEST"
 PARCELS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

ZONING: PSC
 PARCEL NO.: PART OF 249
 THIRDS ELECTION DISTRICT - HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: 12/18/12
 SHEET 100 OF 100

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

K:\ISSUES\PROJ\30770 GTW WEST\DWG\Construction Documents\Timeline Phase 4 Fee Simple 78 Lds\Construction Document - 30770 Sheet 100 Tables.dwg, SHEET 100, 11/17/2012 11:48:30 AM, 1:1