

INDEX OF DRAWINGS	
NO.	DESCRIPTION
1	SITE DEVELOPMENT PLAN
2	SEDIMENT CONTROL NOTES AND DETAILS

ADDRESS CHART	
LOT/PARCEL NO.	STREET ADDRESS
UNIT A	8815 WASHINGTON STREET
UNIT B	8817 WASHINGTON STREET

PERMIT INFORMATION CHART					
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL #			
VILLAGE OF SAVAGE EXTENDED	N/A	PARCEL 282 P/O LOT 43			
PLAT # OR L/F	BLOCK #	ZONE	TAX MAP	ELEC. DIST.	CENSUS TRACT
WWW 28/61	12	R-12	47	SIXTH	6069.02
WATER CODE	SEWER CODE				
3-W	4-S				
PROPOSED IMPROVEMENTS: CONSTRUCT HOUSE, ASSOCIATED GRADING					

SOILS CLASSIFICATION:

BeA BELTSVILLE SILT LOAM, 0 TO 1 PERCENT SLOPES (C)
 BeC2 BELTSVILLE SILT LOAM, 5 TO 10 PERCENT SLOPES, MODERATELY ERODED (C)

LEGEND

- LOD LIMIT OF DISTURBANCE
- EX. TREE
- SUPER SILT FENCE
- STABILIZED CONSTRUCTION
- PROPOSED SHADE TREE

DEVELOPER'S/OWNER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME: Jerry Rushing DATE: 12/8/08

OWNER/DEVELOPER

HELEN RUSHING
 C/O JERRY RUSHING, PATUENT BUILDERS
 2435 DUVALL ROAD
 WOODBINE, MD 21797
 410-489-0833

DEVELOPER'S CERTIFICATE

I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE NATURAL RESOURCE CONSERVATION SERVICE.

SIGNATURE OF DEVELOPER: Jerry Rushing DATE: 12/8/08

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.

SIGNATURE OF ENGINEER: R. JACOB HIKMAT DATE: 11/25/08

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

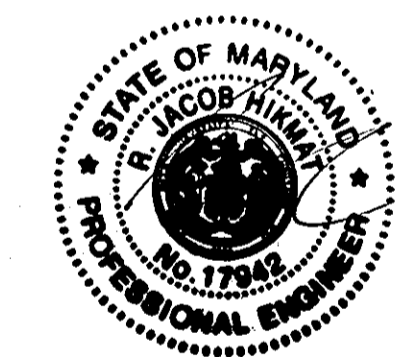
USDA - NATURAL RESOURCE CONSERVATION SERVICE
 THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Heather U.S. Schmitt DATE: 12/10/08

CHIEF, DEVELOPMENT ENGINEERING DIVISION
Christina J. Smith DATE: 12/8/08

CHIEF, DIVISION OF LAND DEVELOPMENT
Thomas E. Smith DATE: 12/8/08

DIRECTOR, DEP



I hereby certify that these documents were prepared or approved by me and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 17942, Exp Date 9/3/10

SCHEDULE A : PERIMETER LANDSCAPED EDGE

CATEGORY	ADJ TO PERIMETER PROPERTIES	ADJ TO PERIMETER PROPERTIES	ADJ TO PERIMETER PROPERTIES	TOTAL
LANDSCAPE TYPE	N/A (PERIMETER 1)	A (PERIMETER 2)	A (PERIMETER 3) *	
LINEAR FEET OF PERIMETER	208' LF	104.31' LF	208' LF	520.31 LF
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET)	N/A	N/A	N/A	N/A
NUMBER OF PLANTS REQUIRED	4 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	2 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	4 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	10 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS
CREDIT FOR EXISTING VEGETATION	0 SHADE TREE 0 EVERGREEN TREES	0 SHADE TREES 0 EVERGREEN TREES	2 SHADE TREES 0 EVERGREEN TREES	2 SHADE TREES 0 EVERGREEN TREES
NUMBER OF PLANTS PROVIDED	4 SHADE TREES 0 EVERGREEN TREES 0 OTHER TREES(2+1 SUBSTITUTION) 0 SHRUBS (10+1 SUBSTITUTION)	2 SHADE TREES 0 EVERGREEN TREES 0 SUBSTITUTION TREES 0 SHRUBS	2 SHADE TREES 0 EVERGREEN TREES 0 SUBSTITUTION TREES 0 SHRUBS	8 SHADE TREES 0 EVERGREEN TREES 0 SUBSTITUTION TREES 0 SHRUBS

* PERIMETER 3 - CREDIT WAS TAKEN FOR EX. 24" AND 30" MAPLES.

LANDSCAPE REQUIREMENT PLANTING SCHEDULE

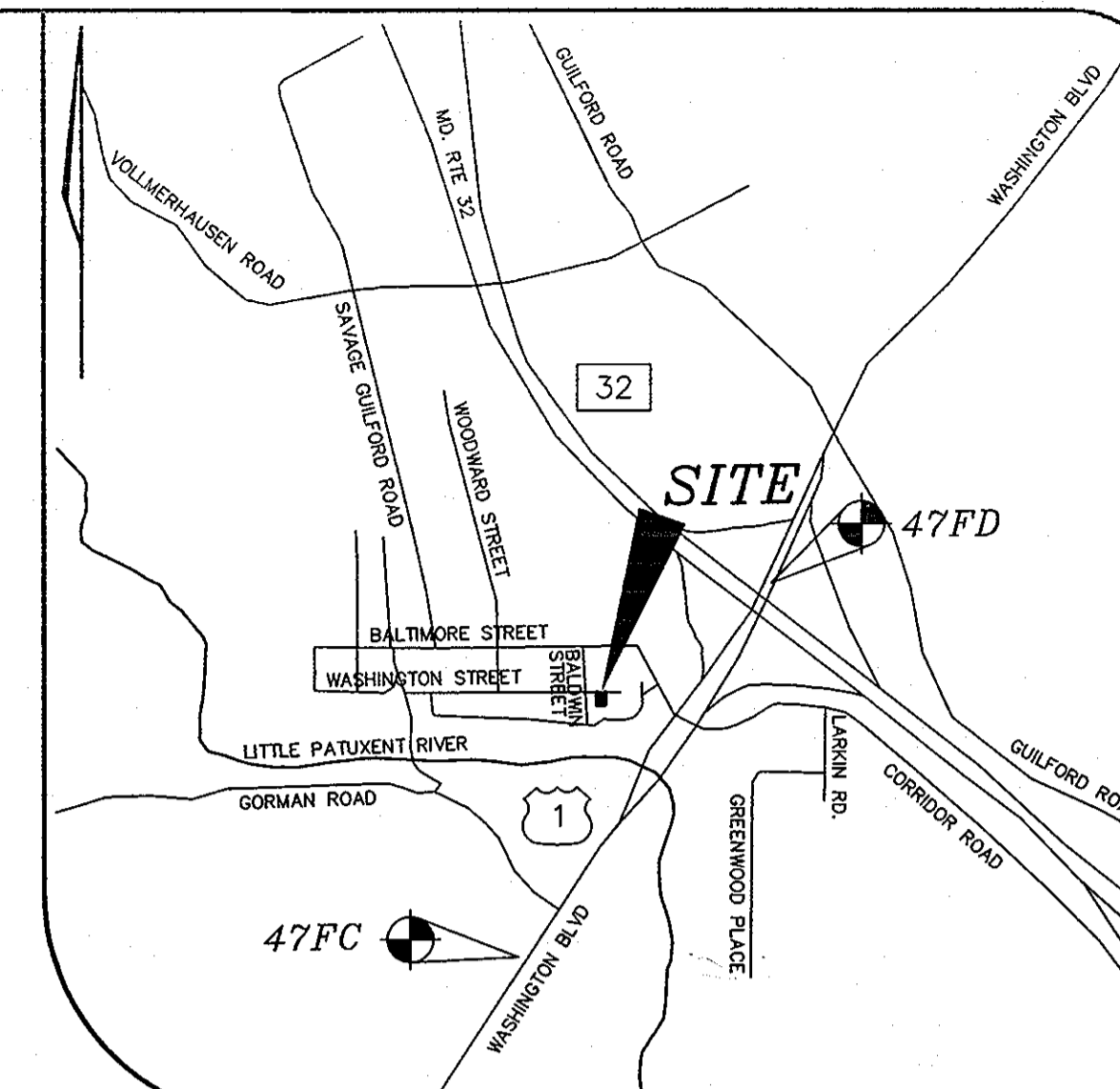
QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
8		ACER SACCHARUM 'GREEN MOUNTAIN'	GREEN MOUNTAIN SUGAR MAPLE	2 1/2" - 3" CAL.
8				

SUMMARY OF B.A. CASE NO. 08-019c

ON JUNE 2, 2008, JERRY RUSHING PETITIONED THE HOWARD COUNTY BOARD OF APPEALS HEARING EXAMINER FOR A TWO-FAMILY DWELLING CONDITIONAL USE IN AN R-12 (RESIDENTIAL: SINGLE) ZONING DISTRICT, FILED PURSUANT TO SECTION 131.N.48 OF THE HOWARD COUNTY ZONING REGULATIONS. THE FOLLOWING SEVEN ITEMS WERE THE "FINDINGS OF FACT" IN THIS CASE:

- THE SUBJECT PROPERTY IS LOCATED IN THE 6TH ELECTION DISTRICT ON THE SOUTH SIDE OF WASHINGTON STREET, ABOUT 100 FEET EAST OF BALDWIN STREET, AND HAS A STREET ADDRESS OF 8815 WASHINGTON STREET. IT IS REFERENCED AS TAX MAP 47, BLOCK 12, PARCEL 282.
- THE 21,659 SQUARE FOOT, PARALLELOGRAM SHAPED PROPERTY IS ABOUT 104 FEET WIDE AND 208 FEET DEEP AND IS IMPROVED WITH A ONE AND A HALF STORY DETACHED DWELLING CENTERED ON THE FRONT SECTION OF THE SITE. THE PROPERTY IS LEVEL AND IS MOSTLY OPEN LAWN, WITH SOME TREES IN THE FRONT YARD.
- VICINAL PROPERTIES. TO THE SOUTHEAST IS THE R-A-15-ZONED STORCH WOODS APARTMENT COMPLEX. ALL OTHER ADJACENT PROPERTIES ARE ZONED R-12 AND ARE IMPROVED WITH TWO-STORY SINGLE-FAMILY DETACHED DWELLINGS.
- WASHINGTON STREET HAS NO DESIGNATED TRAVEL LANES AND ABOUT 27 FEET OF PAVING WITHIN A VARIABLE WIDTH RIGHT-OF-WAY. THE POSTED SPEED LIMIT IS 25 MILES PER HOUR.
- THE PROPERTY IS SERVED BY PUBLIC WATER AND SEWER. POLICIES MAP 2000-2020 OF THE 2000 GENERAL PLAN DESIGNATES THE PROPERTY AS "RESIDENTIAL AREAS AND REDEVELOPMENT CORRIDOR." THE GENERAL PLAN TRANSPORTATION MAP DEPICTS WASHINGTON STREET AS A LOCAL ROAD.
- THE PETITIONER, THE PROPERTY OWNER'S SON, IS PROPOSING TO RAZE THE EXISTING SINGLE-FAMILY DETACHED DWELLING AND REPLACE IT WITH A TWO-STORY, TWO-FAMILY DWELLING. EACH "MIRRORED" DWELLING WOULD HAVE THREE BEDROOMS AND ATTACHED TWO-CAR GARAGES. A COMMON FRONT PORCH WILL PROVIDE COVER FOR TWO ENTRANCES. THE PROPOSED UNITS WOULD BE ABOUT 51 FEET DEEP AND 64 FEET WIDE. THE ELEVATIONS AND PLANS SUBMITTED WITH THE PETITION INDICATE THAT THE DWELLING WOULD BE NO HIGHER THAN AREA HOMES. THE DRIVEWAYS IN FRONT OF THE GARAGES WILL BE SITUATED BETWEEN 15 AND 20 FEET FROM THE SIDE LOT LINES.
- MR. RUSHING TESTIFIED THAT HE WANTED TO RELOCATE TO THE PROPERTY TO HELP HIS AGING MOTHER AGE IN PLACE.

BASED ON THE COMPLIANCE THAT THIS CONDITIONAL USE PETITION HAS WITH THE LAND USES AND POLICIES INDICATED IN THE GENERAL PLAN FOR THE DISTRICT, AND THE ABSENCE OF ANY ADVERSE EFFECTS ON VICINAL PROPERTIES, INCLUDING SETBACKS, SIGHT DISTANCE, HEIGHT OF PROPOSED DWELLING AND SAFE ACCESS, AND BASED ON THE COMPATIBILITY OF THE ELEVATIONS AND FLOOR PLANS SUBMITTED WITH THE SURROUNDING NEIGHBORHOOD, SPECIFICALLY HEIGHT, SCALE AND CHARACTER, THE BOARD, ON JUNE 28, 2008, ORDERED THAT THE PETITION OF JERRY RUSHING BE GRANTED, PROVIDED HOWEVER, THAT THE CONDITIONAL USE SHALL APPLY ONLY TO THE USES AND STRUCTURES AS DESCRIBED IN THE PETITION AND CONDITIONAL USE PLAN SUBMITTED, AND NOT TO ANY OTHER ACTIVITIES, USES, STRUCTURES, OR ADDITIONS ON THE SITE.



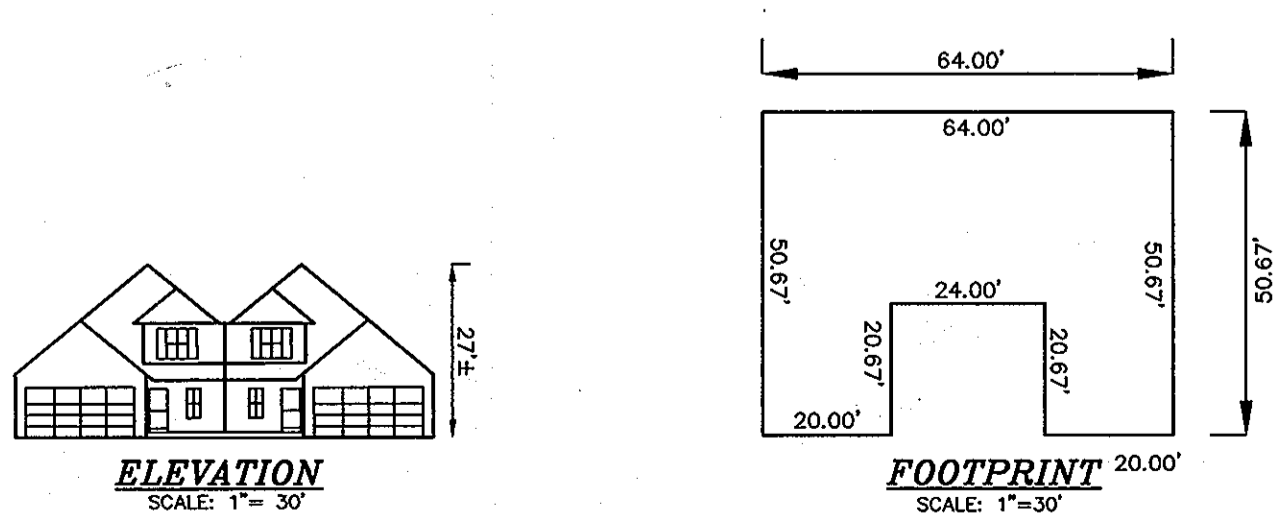
GENERAL NOTES

- THE SUBJECT PROPERTY IS ZONED R-12 PER THE 2/2/04 COMPREHENSIVE ZONING PLAN AND PER THE "COMP LITE" ZONING AMENDMENT EFFECTIVE 7/28/06. THIS PROPERTY IS SUBJECT TO CONDITIONAL USE FOR A TWO-FAMILY DWELLING (SECTION 131.N.48) BOARD OF APPEALS CASE NUMBER BA 08-019C.
- THE ZONING FOR THIS PROPERTY IS R-12.
- PROJECT BACKGROUND:**
 BOARD OF APPEALS CASE NO. 08-019C
 TAX MAP : 47 PARCEL : 282 GRID: 12
 ELECTION DISTRICT : SIXTH
 ZONING: R-12
 DEED REFERENCE : 396/569
 PROPOSED USE: SINGLE FAMILY ATTACHED.
 PREVIOUS FILE NO'S: BA 08-019C
- AREA TABULATION**
 A. TOTAL TRACT AREA: 0.497 AC. ±
 B. NUMBER OF PROPOSED BUILDABLE LOTS : 1
 C. AREA OF BUILDABLE LOTS : 0.497 AC. ±
 D. TOTAL AREA DISTURBED : 0.25 AC. ±
- HORIZONTAL AND VERTICAL DATUMS ARE RELATED TO THE MARYLAND NAD 83 (HORS) AND NAVD 83 (VERT) AS PROJECTED FROM HOWARD COUNTY CONTROL STATIONS NO. 25A1 & 25A2.
 STA. No. 47FD N 535277.4012 ELEV. 201.199
 E 1365059.6907
 STA. No. 47FC N 535205.0312 ELEV. 186.380
 E 1362985.0967
- THIS SUBDIVISION IS IN THE METROPOLITAN DISTRICT.
- NO BURIAL GROUNDS OR CEMETERIES EXIST ON-SITE.
- STEEP SLOPES 25% OR GREATER WITH A CONTIGUOUS AREA OVER 20,000 SQ.FT. DO NOT EXIST ON SITE.
- NO HISTORIC DISTRICTS ARE ADJACENT TO THIS SITE. SITE IS NOT ADJACENT TO A DESIGNATED SCENIC ROAD.
- NO WETLANDS EXIST ON THIS SITE.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 A) WIDTH - 12 FEET (16 FEET SERVING MORE THAN ONE RESIDENT).
 B) SURFACE - 6 INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING.
 C) GEOMETRY - MAXIMUM 14% GRADE, MAXIMUM 10% GRADE CHANGE AND MINIMUM OF 45-FOOT TURNING RADIUS.
 D) STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING).
 E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.
 F) STRUCTURE CLEARANCES - MINIMUM 12 FEET
 G) MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE.
- CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES ON SITE PRIOR TO COMMENCING CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE (5) DAYS PRIOR TO ANY EXCAVATION WORK:
 MISS UTILITY 1-800-257-7777
 VERIZON TELEPHONE COMPANY (410) 725-9978
 HOWARD COUNTY BUREAU OF UTILITIES (410) 313-4900
 AT&T CABLE LOCATION DIVISION (410) 393-3533
 BALTIMORE GAS & ELECTRIC (410) 685-0123
 STATE HIGHWAY ADMINISTRATION (410) 531-5533
 HOWARD COUNTY DEPT. OF PUBLIC WORKS/ CONSTRUCTION INSPECTION DIVISION (410) 313-1880
- IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
- PUBLIC WATER AND SEWER WILL BE PROVIDED VIA THE EXISTING WATER AND SEWER HOUSE CONNECTIONS SEWER CONTRACT NO. 4-S, WATER CONTRACT NO. 3-W.
- THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES, AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- WATER AND SEWER SERVICE TO THIS LOT WAS GRANTED UNDER THE PROVISIONS OF SECTION 18.122.B OF THE HOWARD COUNTY CODE.
- THIS PLAN IS SUBJECT TO THE AMENDED 5TH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS PER COUNCIL BILL 45-2003 AND THE ZONING REGULATION AS AMENDED BY COUNCIL BILL 75-2003. DEVELOPER'S CONSTRUCTION MUST COMPLY WITH THE SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, WAIVER PETITION APPLICATION, OR BUILDING/GRADING PERMIT.
- DRIVEWAY INTERSECTION FOR UNITS A & B SHALL MEET HOWARD COUNTY STANDARD DETAIL R6.06.
- THIS PLAN WAS PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL, REQUIRING 8 SHADE TREES IN THE AMOUNT OF \$2400.00 TO BE PROVIDED WITH THE BUILDER'S GRADING PERMIT.
- SOILS DATA BASED ON HOWARD COUNTY SOIL SURVEY DATED JULY 1968, SHEET 20.
- AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREWITH LISTED AND APPROVED FOR THIS SITE SHALL BE THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SUPPLY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.
- THIS PROJECT IS EXEMPT FROM STORMWATER MANAGEMENT IN ACCORDANCE WITH THE 2000 MARYLAND STORMWATER MANAGEMENT DESIGN MANUAL, VOLUMES 1 & 2, SECTION 1.2. THE NET DISTURBANCE DOES NOT EXCEED 5,000 SQ.FT.
- THIS LOT IS EXEMPT FROM FOREST CONSERVATION REQUIREMENTS, PER SECTION 16.1202.(b)(1)(i) OF THE COUNTY CODE, BECAUSE THIS SITE DEVELOPMENT IS OCCURRING ON LAND THAT IS LESS THAN 40,000 SQUARE FEET.
- NO CLEARING OF EXISTING VEGETATION IS PERMITTED WITHIN THE LANDSCAPE EDGE FOR WHICH CREDIT IS BEING TAKEN; HOWEVER, LANDSCAPE MAINTENANCE IS AUTHORIZED.
- THIS PARCEL WAS CREATED BY DEED, L. 396, F. 568; THERE WAS A PLAT OF SUBDIVISION, WHEREAS THE ORIGINAL 1 ACRE LOT WAS RECORDED AS L. 28, F. 61, ALSO KNOWN AS THE VILLAGE OF SAVAGE EXTENDED.

SWM NET DISTURBANCE

	EXISTING	PROPOSED	NET INCREASE
IMPERVIOUS	2,370 SQ. FT.	4,197 SQ. FT.	1,827 SQ. FT.
GRASS	19,280 SQ. FT.	17,453 SQ. FT.	-1,827 SQ. FT.
WOODS	0 SQ. FT.	0 SQ. FT.	0 SQ. FT.

NET DISTURBANCE = 1,827 SQ.FT.



RUSHING PROPERTY
 TAX MAP 47- PARCEL 282- GRID 12, 8815 & 8817 WASHINGTON STREET
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SITE DEVELOPMENT PLAN AND LANDSCAPE PLAN

MILDENBERG, BOENDER & ASSOC., INC.
 Engineers Planners Surveyors
 5092 Dressy Hill Drive, Suite 202, Ellicott City, Maryland 21042
 (410) 997-0298 Fax (410) 997-0298 E-mail (301) 621-5521

DATE: OCT. 2008
 ILLUSTRATOR: MDS
 SCALE: AS SHOWN
 APPROVAL: RH

1 OF 2

HOWARD SOIL CONSERVATION DISTRICT

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDING PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:

- 1) PREFERRED - APPLY 2 TONS PER ACRES DOLOMITIC LIMESTONE (92 LBS./1000 SQ.FT.) AND 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ.FT.) BEFORE SEEDING.

SEEDING - FOR THE PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU OCTOBER 15, SEED WITH 60 LBS. PER ACRE 1-4 LBS./1000 SQ.FT.) OF KENTUCKY 31 TALL FESCUE.

MULCHING - APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS./1000 SQ.FT.) OF UNROTTED SMALL GRAM STRAW IMMEDIATELY AFTER SEEDING.

MAINTENANCE - INSPECT ALL SEEDING AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

TEMPORARY SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

SEEDING PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS: APPLY 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ.FT.)

SEEDING - FOR PERIODS MARCH 1 THRU APRIL 30 AND FROM AUGUST 15 THRU OCTOBER 15, SEED WITH 2-1/2 BIRCHEL PER ACRE (0.2 LBS./1000 SQ.FT.) FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS. PER ACRE OF WEEDING LOVEGRASS (0.7 LBS./1000 SQ.FT.).

MULCHING - APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS./1000 SQ.FT.) OF UNROTTED WEED FREE SMALL GRAM STRAW IMMEDIATELY AFTER SEEDING.

REFER TO THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR ADDITIONAL RATES AND METHODS NOT COVERED.

STANDARD SEDIMENT CONTROL NOTES

1) A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF MAY CONSTRUCTION.

2) ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.

3) FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, Dikes, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1, B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.

4) ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.

5) ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1991 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, PERMANENT SEEDING (SEC. 51), SOI (SEC. 54), TEMPORARY SEEDING (SEC. 50) AND MULCHING (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATAS DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.

6) ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

7) SITE ANALYSIS:

Table with 2 columns: Description and Value. Includes TOTAL AREA OF SITE, AREA DISTURBED, AREA TO BE ROOFED OR PAVED, AREA TO BE VEGETATIVELY STABILIZED, TOTAL CUT, TOTAL FILL, TOTAL WASTE/BORROW AREA LOCATION.

THESE QUANTITIES ARE FOR PERMIT PURPOSES ONLY. THE CONTRACTOR IS REQUIRED TO PROVIDE HIS OWN QUANTITY MEASUREMENTS.

8) ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.

9) ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

10) ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.

11) TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN BE BACK FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.

OWNER/DEVELOPER

HELEN RUSHING, C/O JERRY RUSHING, PATUXENT BUILDERS, 2435 DUVALL ROAD, WOODROW, MD 21797, 410-488-0833

DEVELOPERS CERTIFICATE

I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.

SIGNATURE OF DEVELOPER: Helen Rushing, DATE: 12/10/08

SIGNATURE OF ENGINEER: R. Jacob Hikmat, DATE: 11/28/08

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.

SIGNATURE OF ENGINEER: R. Jacob Hikmat, DATE: 11/28/08

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

JSDA - NATURAL RESOURCE CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

SIGNATURE OF APPROVED: [Signature], DATE: 12/10/08

SIGNATURE OF APPROVED: [Signature], DATE: 12/19/08

SIGNATURE OF APPROVED: [Signature], DATE: 12/31/08

STANDARD AND SPECIFICATIONS FOR TOPSOIL

DEFINITION: PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

PURPOSE: TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH, SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRAIN DISTRIBUTION.

CONDITIONS WHERE PRACTICE APPLIES: THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:

- a. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.
- b. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.
- c. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
- d. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.

CONSTRUCTION AND MATERIAL SPECIFICATIONS: TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE PROVIDED THROUGH IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS.

1. TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND, OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY.

2. TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACKGRASS, JOHNSONSON GRASS, NUTSEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.

3. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, QUACK LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL.

4. FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES: PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 2.0.0. VEGETATIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS.

5. FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES: ON SOIL MEETING TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS DICTATING FERTILIZER AND LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING:

a. PH FOR TOPSOILS SHALL BE BETWEEN 6.0 AND 7.5. IF THE TESTED SOIL DEMONSTRATES A PH OF LESS THAN 6.0, SUFFICIENT LIME SHALL BE APPLIED TO RAISE THE PH TO 6.5 OR HIGHER.

b. ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 1.5 PERCENT BY WEIGHT.

c. TOPSOIL HAVING SOLUBLE SALT CONTENT GREATER THAN 500 PARTS PER MILLION SHALL NOT BE USED.

d. NO SOD OR SEED SHALL BE PLACED ON TOPSOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL, UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISPERSION OF PHYTO-TOXIC MATERIALS.

6. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 2.0.0. VEGETATIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS.

7. TOPSOIL APPLICATION: WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, EARTH COVER SLOPES, FENCES AND SEDIMENT TRAPS AND BASINS.

8. TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4" TO 8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SOILING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE.

9. TOPSOIL SHALL NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDING PREPARATION.

10. ALTERNATIVE FOR PERMANENT SEEDING - INSTEAD OF APPLYING THE FULL AMOUNTS OF LIME AND COMMERCIAL FERTILIZER, COMPOSTED SLUDGE AND AMENDMENTS MAY BE APPLIED AS SPECIFIED BELOW:

a. COMPOSTED SLUDGE MATERIAL FOR USE AS A SOIL CONDITIONER FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES SHALL BE TESTED TO PRESCRIBE AMENDMENTS AND FOR SITES HAVING AREAS UNDER 5 ACRES SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

b. COMPOSTED SLUDGE SHALL CONTAIN AT LEAST 1 PERCENT NITROGEN, 1.5 PERCENT PHOSPHORUS, AND 0.2 PERCENT POTASSIUM AND HAVE A PH OF 7.0 TO 8.0. IF COMPOST DOES NOT MEET THESE REQUIREMENTS, THE APPROPRIATE CONSTITUENTS MUST BE ADDED TO MEET THE REQUIREMENTS PRIOR TO USE.

c. COMPOSTED SLUDGE SHALL BE APPLIED AT A RATE OF 1 TON/1,000 SQUARE FEET.

d. COMPOSTED SLUDGE SHALL BE AMENDED WITH A POTASSIUM FERTILIZER APPLIED AT THE RATE OF 4 LB/1,000 SQUARE FEET, AND 1/3 THE NORMAL LIME APPLICATION RATE.

11. REFERENCES: GUIDELINE SPECIFICATIONS, SOIL PREPARATION AND SOILING, MD-VA, PUB. #1, COOPERATIVE EXTENSION SERVICE, UNIVERSITY OF MARYLAND AND VIRGINIA POLYTECHNIC INSTITUTES, REVISED 1973.

TEMPORARY DUST CONTROL MEASURES

1. MULCHES - SEE STANDARDS FOR VEGETATIVE STABILIZATION WITH MULCHES ONLY. MULCH SHOULD BE CRIMPED OR TACKED TO PREVENT BLOWING.

2. VEGETATIVE COVER - SEE STANDARDS FOR TEMPORARY VEGETATIVE COVER.

3. TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE, THIS IS AN EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING IN WINDWARD SIDE OF SITE.

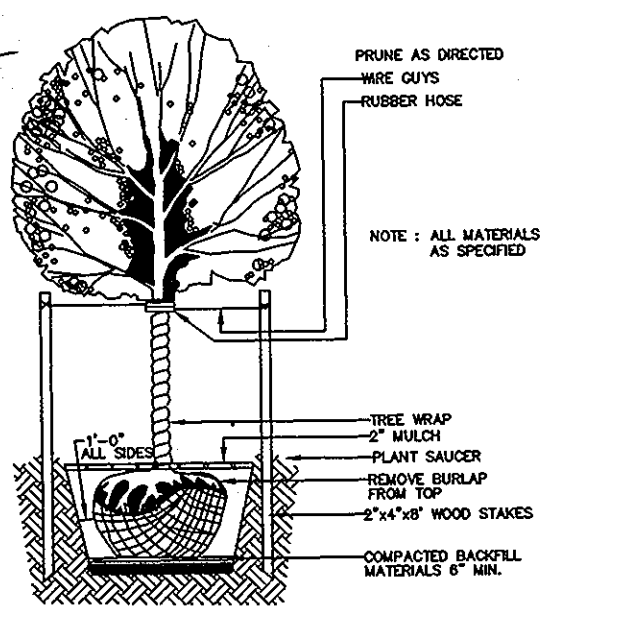
4. IRRIGATION - THIS IS GENERALLY DONE AS AN EMERGENCY TREATMENT. SITE IS SPRINKLED WITH WATER UNTIL THE SURFACE IS MOIST. REPEAT AS NEEDED. AT NO TIME SHOULD THE SITE BE IRRIGATED TO THE POINT THAT RUNOFF BEGINS TO FLOW.

5. BARRIERS - SOLID BOARD FENCES, SILT FENCES, SNOW FENCES, BURLAP FENCES, STRAW BALES, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING. BARRIERS PLACED AT RIGHT ANGLES TO PREVAILING CURRENTS AT INTERVALS OF ABOUT 10 TIMES THEIR HEIGHT ARE EFFECTIVE IN CONTROLLING SOIL BLOWING.

6. CALCIUM CHLORIDE - APPLY AT RATES THAT WILL KEEP SURFACE MOIST. MAY NEED RETREATMENT.

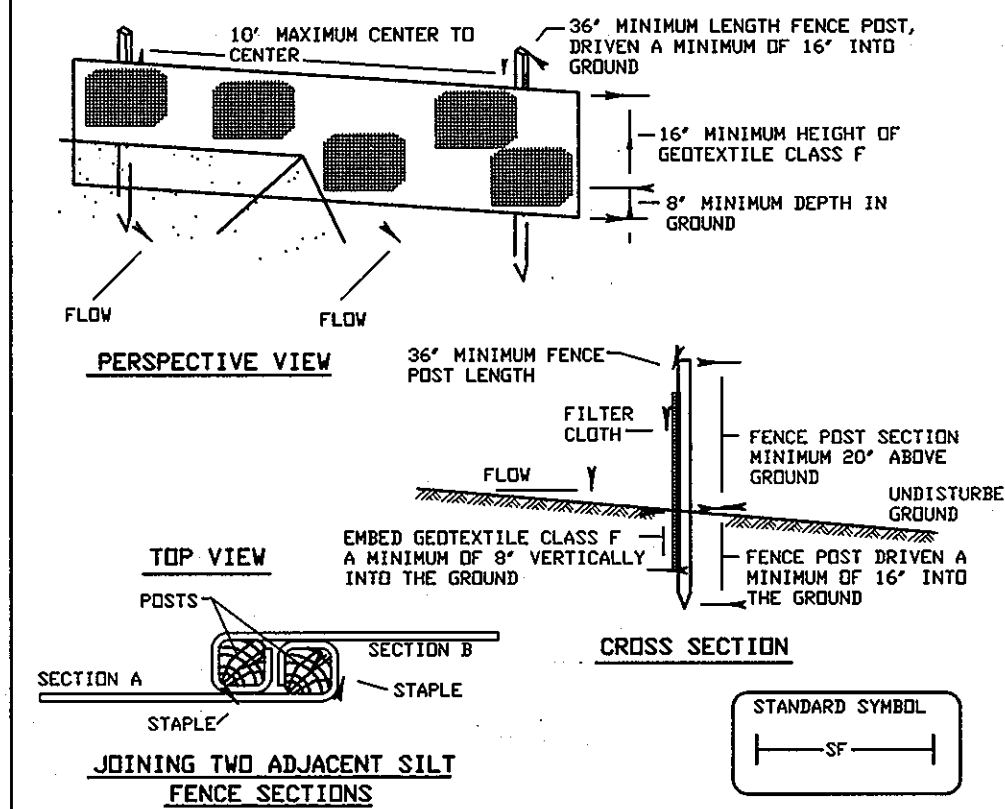
LANDSCAPE NOTES

- 1. THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, PLANT MATERIALS AND BERMS, FENCES, AND WALLS.
- 2. NO CLEARING OF EXISTING VEGETATION IS PERMITTED WITHIN THE LANDSCAPE EDGE FOR WHICH CREDIT IS BEING TAKEN; HOWEVER, LANDSCAPE MAINTENANCE IS AUTHORIZED.
- 3. AT THE TIME OF INSTALLMENT, ALL TREES AND SHRUBS HEREWITH LISTED AND APPROVED FOR THIS SITE, SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING.
- 4. THIS PLAN WAS PREPARED IN ACCORDANCE WITH SECTION 16.12.04 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL, REQUIRING 8 SHADE TREES IN THE AMOUNT OF \$2400.00 TO BE PROVIDED WITH THE BUILDER'S GRADING PERMIT.



TYPICAL DECIDUOUS TREE PLANTING DETAIL NOT TO SCALE

DETAIL 22 - SILT FENCE



Construction Specifications table with columns for Tensile Strength, Tensile Modulus, Flow Rate, Filtering Efficiency, and Test methods (MSHT 509, MSHT 507, MSHT 382).

SILT FENCE

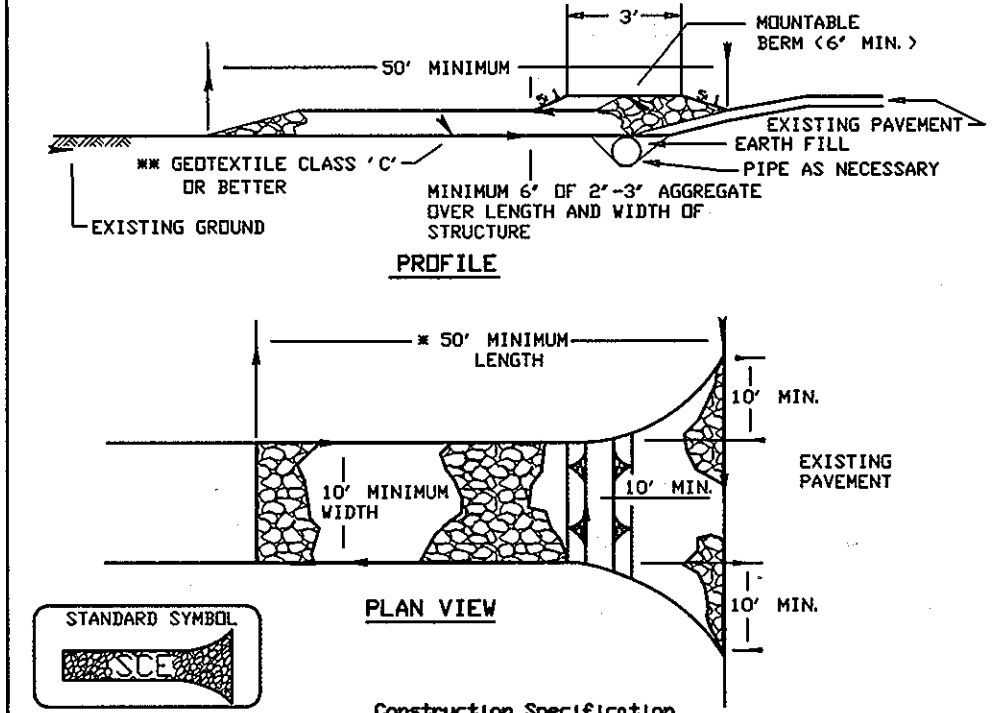
Silt Fence Design Criteria table with columns for Slope Steepness, Slope Length, and Silt Fence Length.

Table with columns for U.S. DEPARTMENT OF AGRICULTURE and MARYLAND DEPARTMENT OF ENVIRONMENT.

SEQUENCE OF CONSTRUCTION

- 1. OBTAIN GRADING PERMIT (ONE DAY)
- 2. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AT LOCATION SHOWN. (ONE DAY)
- 3. CONSTRUCT SILT FENCE. (ONE DAY)
- 4. RAZE EXISTING STRUCTURE.
- 5. COMPLETE CONSTRUCTION AS SHOWN. (90 DAYS)
- 6. COMPLETE FINE GRADING OF SITE TO GRADES INDICATED. (TWO DAYS)
- 7. SEED AND MULCH ALL REMAINING DISTURBED AREAS. (TWO DAYS)
- 8. UPON STABILIZATION OF THE SITE AND WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT CONTROL DEVICES AND STABILIZE REMAINING DISTURBED AREAS. (ONE DAY)

DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE



- 1. Length - minimum of 50' (x30' for single residence lot).
- 2. Width - 10' minimum, should be flared at the existing road to provide a turning radius.
- 3. Geotextile fabric (Filter cloth) shall be placed over the existing ground prior to placing stone.
- 4. Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
- 5. Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage.
- 6. Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site.

Table with columns for U.S. DEPARTMENT OF AGRICULTURE and MARYLAND DEPARTMENT OF ENVIRONMENT.

Project information table including date (OCT. 2008), illustration (MES), scale (N/A), and approval (RH).

Revision table with columns for date, description, and revision number.

RUSHING PROPERTY, TAX MAP 47 - PARCEL 282 - GRID 12, HOWARD COUNTY, MARYLAND, SIXTH ELECTION DISTRICT, SEDIMENT CONTROL NOTES AND DETAILS

MILDENBERG, BOENDER & ASSOC., INC. Surveyors, Engineers, Planners. 5072 Dressel Hill Drive, Suite 202, Ellicott City, Maryland 21042. (410) 987-0286 Fax: (410) 987-0288 Fax.