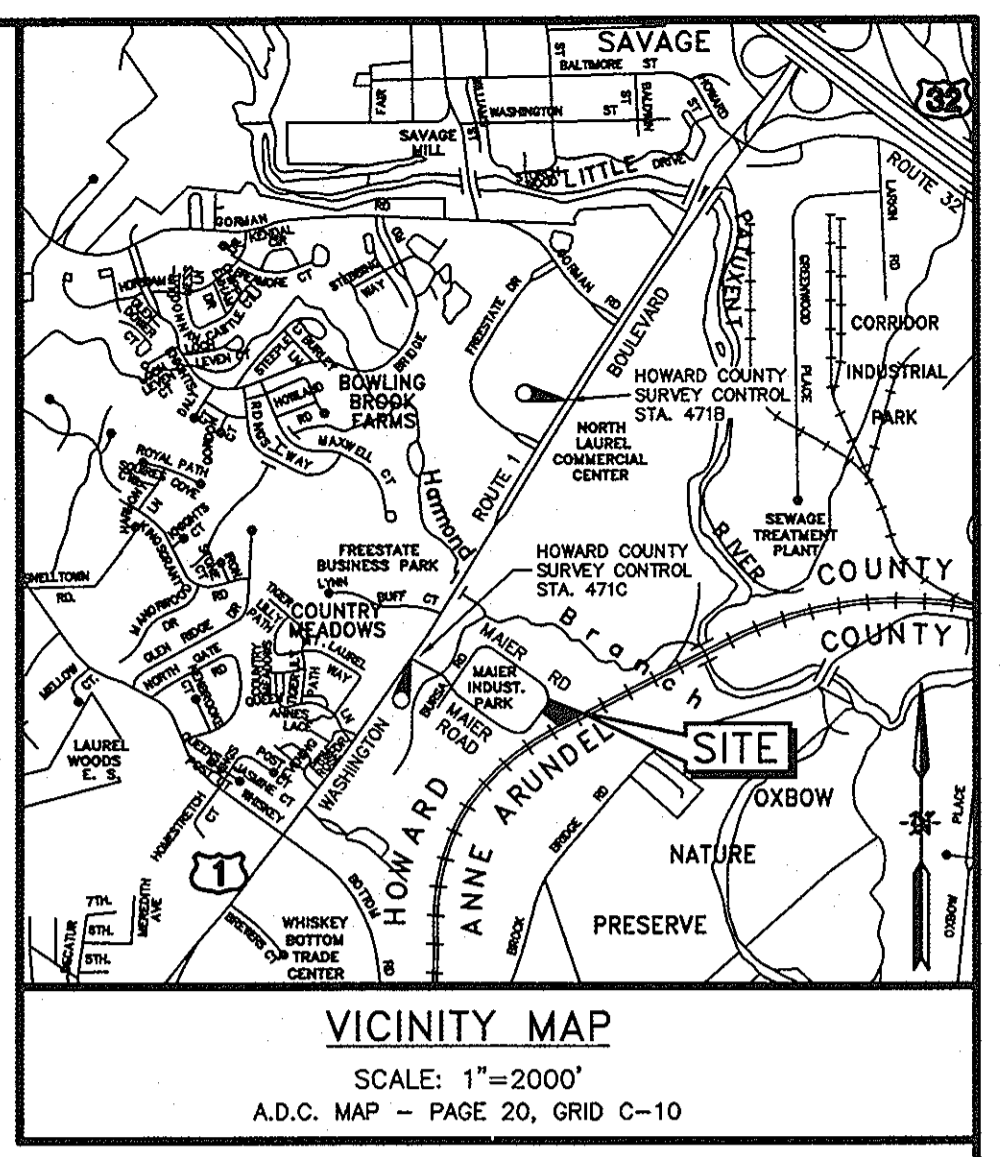


LEGEND

	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	PROPERTY LINE
	RIGHT-OF-WAY
	PROPOSED CURB
	PROPOSED WATER
	EXISTING TREE LINE
	PROPOSED TREE LINE
	LIMIT OF DISTURBANCE
	100-YEAR FLOODPLAIN
	FLOODPLAIN EASEMENT
	WETLAND
	25' WETLAND BUFFER
	50' STREAM BUFFER
	STREAM LINE
	EXISTING GASLINE
	EXISTING WATER
	PROPOSED STORM DRAIN
	PUBLIC UTILITY EASEMENT
	PROPOSED SEWER
	PROPOSED SEWER MANHOLE
	PROPOSED STORM DRAIN INLET
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED BUILDING LIGHT
	LOW POINT, HIGH POINT
	GRAVEL HATCH
	PAVING HATCH
	CONCRETE HATCH
	FENCE
	PROPOSED SODDED SWALE
	PROPOSED RIPRAP
	PROPOSED SOD MAINTENANCE ROAD
	CREDITED FOREST RETENTION AREA
	FOREST CONSERVATION SIGN (100' APART MAX.)
	PRIVATE LIGHT POLE
	PUBLIC LIGHT POLE
	STOP SIGN



SITE ANALYSIS

- TOTAL SITE AREA: 70,861SF (1.627 AC).
- TOTAL NUMBER OF PARCELS: 1
- DEED REFERENCE: 10903 AT F. 351
- THE SUBJECT PROPERTY IS ZONED CE-CLU
- TAX MAP: 47 GRID: 23 PARCEL: E-1 ELECTION DISTRICT: 6
- PARKING TABULATION:
PARKING REQUIRED:
FLEX SPACE=13,758
2.5PS X 13,758SF/1,000 = 35 SPACES

PARKING PROVIDED:
39 STD SPACES
2 ACCESSIBLE SPACES (2 VAN ACCESSABLE)
41 TOTAL PROVIDED
1 LOADING SPACE
- SITE AREA TABULATION:
A. TOTAL PARCEL AREA: 1.627Ac.
B. TOTAL BUILDING AREA: 11,279 SF
C. BUILDING COVERAGE AC.=15.91%
- OWNER: SKB, LLC
- PROPOSED USE: FLEX SPACE. (13,758 S.F.)
OFFICE SPACE: 4,958 S.F. (36%)
- THE PRIVATE UNDERGROUND STORMWATER MANAGEMENT FACILITY IS TO CONSIST OF UNDERGROUND SAND FILTER FOR WATER QUALITY, AND AN UNDERGROUND ATTENUATION PIPE TRENCH FOR CHANNEL PROTECTION VOLUME. STORMWATER MANAGEMENT FOR THE IMPROVEMENTS SHOWN ON THIS PLAN ARE BASED ON MEASURED IMPERVIOUS AREAS. ANY ADDITIONAL CONSTRUCTION ON THIS SITE SHALL REQUIRE FURTHER EVALUATION OF THE STORMWATER MANAGEMENT PROVISIONS.
- TOTAL DISTURBED AREA = 1.38 AC
- PROPOSED BUILDING: 140' X 80' FLEX SPACE
- THERE ARE WETLANDS/WETLANDS BUFFERS WITHIN THE LIMIT OF DISTURBANCE AS SHOWN ON THIS SITE PLAN.
- GROSS FLOOR SPACE:
GROUND FLOOR= 11,279 SF
SECOND FLOOR= 2,479 SF
- NUMBER OF EMPLOYEES: 10

GENERAL NOTES

NON-RESIDENTIAL SITE DEVELOPMENT PLAN

- All construction shall be in accordance with the latest standards and specifications of Howard County plus MSHA standards and specifications if applicable.
- The contractor shall notify the Department of Public Works/Bureau of Engineering/Construction Inspection Division at (410) 313-1880 at least five (5) working days prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work being done.
- Traffic control devices, markings and signing shall be in accordance with the latest edition of the Manual of Uniform Traffic Control Devices (MUTCD).
- All plan dimensions are to face of curb unless otherwise noted.
- The existing topography is taken from field run survey with two foot contour intervals prepared by Greenman-Pedersen, Inc. dated September 24, 2008.
- The coordinates shown hereon are based upon the Howard County Geodetic Control which is based up on the Maryland State Plane Coordinate System. Howard County Monument Nos. 471B&C were used for this project.
- Existing public water contract No. 24-1536-D, Little Patuxent drainage area.
- Existing public sewer contract No. 382-A-S Little Patuxent drainage area.
- Existing utilities are based on field locations and record plans.
- There is no floodplain on this site.
- The wetlands delineation study for this project was prepared by McCarthy and Associates, Inc., dated September 4, 2008, and was approved on 11/14/2008.
- The traffic study for this project was prepared by The Traffic Group, dated September 26, 2008 and was approved on 11/14/2008.
- There are no burial grounds on the property being developed.
- Related plan & plat file numbers: Plat # 8439, Recorded in P.B. 25, P. 63, File # F-88-101, F-89-145, F-73-56, S-85-17, P-86-104, & F-10-021, Plat # 20780
- The Forest Conservation obligation of 0.240 acres of afforestation for this plan has been met by fee-in-lieu payment of \$ 7,840.80 (0.24 ac = 10,454.4 sq. ft X \$ 0.75 per sq. ft.) to the Howard County Forest Conservation Fund.
- All outdoor lighting shall comply with the requirements of zoning Section 134.
- Street light placement and type of fixtures and poles shall be in accordance with the Howard County Design Manual, Volume III (2006), Section 5.5A. A minimum of 20' shall be maintained between any street light and any tree.
- All sign posts used for traffic control signs installed in the County right-of-way shall be mounted on a 2" galvanized steel perforated square tube post (14 gauge) inserted into a 2-1/2" galvanized steel perforated, square tube sleeve (12 gauge)-3' long. A galvanized steel pole cap shall be mounted on top of each post.
- Landscape surety in the amount of \$ 13,140.00 has been posted as a part of the Developer's Agreement.

DPZ GENERAL NOTES

- The subject property is zoned CE-CLU.
- No grading, removal of vegetative cover or trees, paving and new structures shall be permitted within the wetlands and the required 25' wetland buffer.
- Driveways shall be constructed per standard detail R-6.07.

VICINITY PLAN

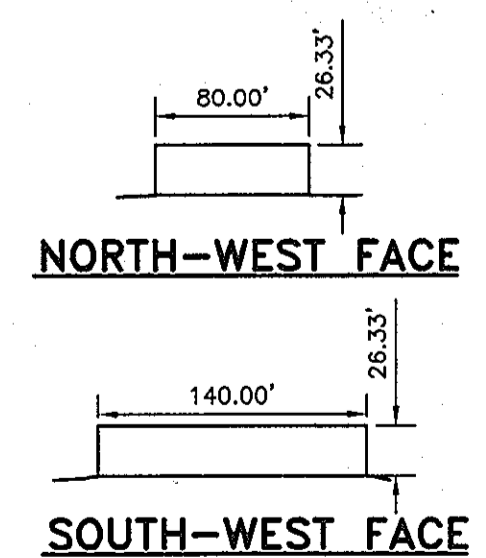
SCALE: 1"=50'

BENCHMARK INFORMATION

Howard County Survey Control #471B:
Elev. 179.88 (NAVD88)
N: 529,702 E: 1,361,470 (NSRS 2007)
Description: Stamped magnetic disc set on top of a 3" deep column of concrete.

Howard County Survey Control #471C:
Elev. 188.27 (NAVD88)
N: 532,037 E: 1,362,819 (NSRS 2007)
Description: Stamped magnetic disc set on top of a 3" deep column of concrete.

SHEET INDEX	
SHEET No.	DRAWING TITLE
1	COVER SHEET
2	SITE PLAN
3-4	SITE DETAILS
5	STORM DRAIN AND STORMWATER MANAGEMENT PLAN
6	STORM DRAIN AND STORMWATER MANAGEMENT PROFILES AND DETAILS
7	STORM WATER MANAGEMENT SAND FILTER DETAILS
8	DRAINAGE AREA MAP
9	EROSION AND SEDIMENT CONTROL PLAN, MAINTENANCE OF TRAFFIC PLAN
10	EROSION AND SEDIMENT CONTROL NOTES & DETAILS
11	FINAL LANDSCAPING PLAN
12	FOREST CONSERVATION PLAN



BUILDING CROSS-SECTIONS
SCALE: 1"=100'

ADDRESS CHART

LOT/PARCEL#	STREET ADDRESS
PARCEL E-1	9030 MAIER ROAD

PERMIT INFORMATION CHART

SUBMISSION NAME: MAIER INDUSTRIAL PARK - SECTION 1	SECT. / AREA: SECTION 1	LOT/PARCEL # E-1
PLAT # OR L.P. PLAT # 20780 L10903 F.351	GRID # 23	ZONING: CE-CLU
TAX MAP: 47	ELECT. DISTRICT: 6TH	CENSUS TRACT 6069.02
WATER CODE: 7000000	SEWER CODE: C04	

MAIER INDUSTRIAL PARK - SECTION 1
9030 MAIER ROAD
TAX MAP 47 GRID 23 PARCEL E-1
ELECTION DISTRICT No. 6
HOWARD COUNTY, MD

APPROVED: DEPARTMENT OF PLANNING AND ZONING

	10-22-09	DATE
CHIEF-DEVELOPMENT ENGINEERING DIVISION		
	10-29-09	DATE
CHIEF-DIVISION OF LAND DEVELOPMENT		
	10/29/09	DATE
DIRECTOR		

ENGINEER/SURVEYOR:
GREENMAN-PEDERSEN, INC.
ENGINEERS, ARCHITECTS, PLANNERS, CONSTRUCTION ENGINEERS & INSPECTORS
10977 GUILFORD ROAD, ANNAPOLIS JUNCTION, MD 20701
WASH. (301) 470-2772 BALT. (410) 880-3055
FAX: (301) 490-2649 www.gpinet.com

Professional Certification:
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland License No. 19916, Expiration Date: 1/14/2011.

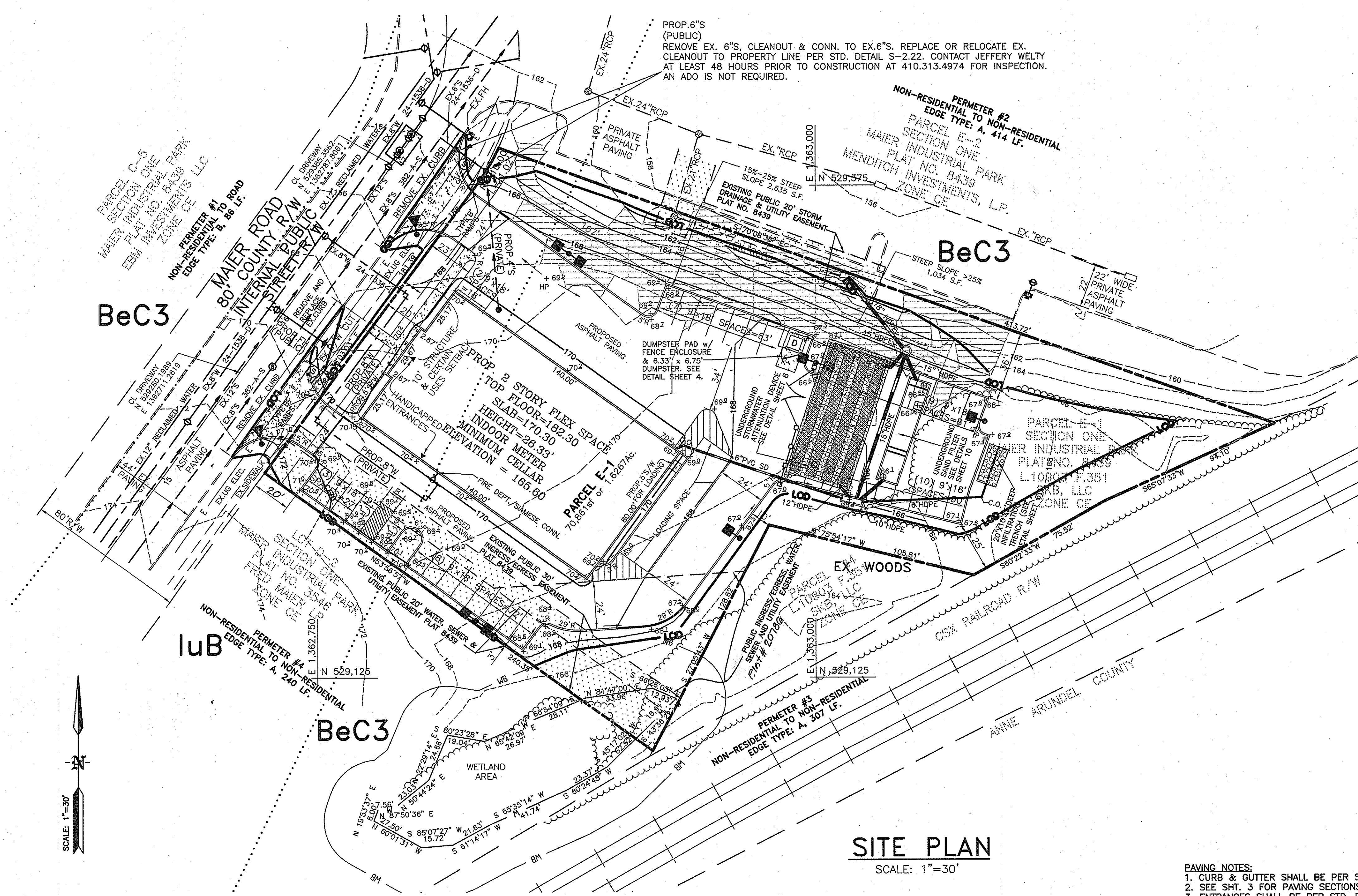
OWNER:
SKB, LLC
12312 CONWAY ROAD
BELTSVILLE, MARYLAND, 20704
ATTN: SCOTT BRYAN, PRESIDENT
PHONE: (301) 419-2260
FAX: (301) 419-3059

COVER SHEET

Des By: GPI	Scale AS SHOWN	Proj No. 2008016
Drn By:	Date 3/23/09	DRAWING NO
Chk By: MAH	Approved	1 OF 12

LEGEND

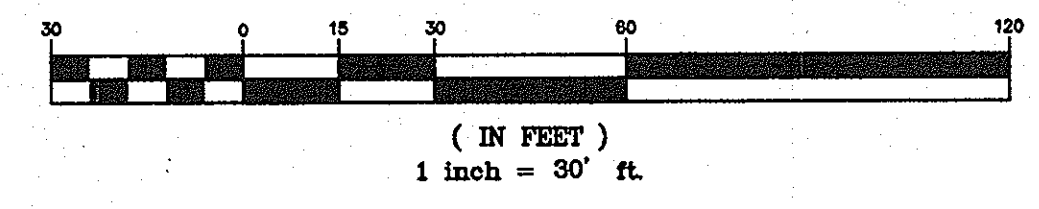
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- PROPERTY LINE
- RIGHT-OF-WAY
- PROPOSED CURB
- PROPOSED WATER
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- PROPOSED RIPRAP
- PROPOSED SOD MAINTENANCE ROAD
- CREDITED FOREST RETENTION AREA
- FOREST CONSERVATION SIGN (100' APART MAX.)
- PRIVATE LIGHT POLE
- PUBLIC LIGHT POLE
- STOP SIGN
- STEEP SLOPE 15-25%
- STEEP SLOPES > 25%
- DUMPSTER



SITE PLAN

SCALE: 1"=30'

GRAPHIC SCALE



- PAVING NOTES:**
1. CURB & GUTTER SHALL BE PER STD. DET. R-9.01.
 2. SEE SHT. 3 FOR PAVING SECTIONS.
 3. ENTRANCES SHALL BE PER STD. DET. R-6.09 CURB TRANSITIONS SHALL OCCUR AT S.W. RAMP.
 4. SIDEWALK RAMPS SHALL BE PER STD. DET. R-4.02.

STREET LIGHT NOTE:
LIGHTS SHALL BE 250W HPS COBRA STYLE FIXTURES USING A "SAG" LENSE MOUNTED @ 30' ON A BRONZE FIBERGLASS POLE USING A 12' ARM.

KNOW BOX NOTE:
A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) SHALL BE PLACED ON THE FRONT OF THE BUILDING. IT SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-5' IN HEIGHT AND NO MORE THAN 6' LATERALLY FROM THE DOOR. THE KNOX BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM). NFPA 118.2.2.1

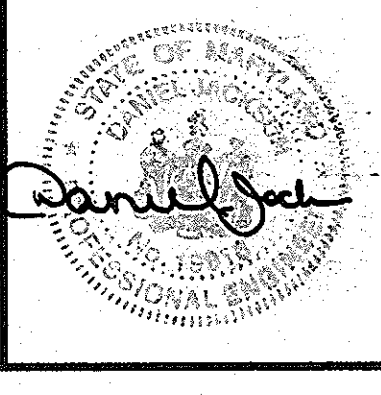
MAIER INDUSTRIAL PARK - SECTION 1
9030 MAIER ROAD
TAX MAP 47 GRID 23 PARCEL E-1
ELECTION DISTRICT No. 6
HOWARD COUNTY, MD

SITE PLAN

APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>Chad Edwards</i> CHIEF-DEVELOPMENT ENGINEERING DIVISION	10-22-09 DATE
<i>Scott Bryan</i> CHIEF-DIVISION OF LAND DEVELOPMENT	10-29-09 DATE
<i>David L. Upton</i> DIRECTOR	10/20/09 DATE
Date	No
Revision	Description

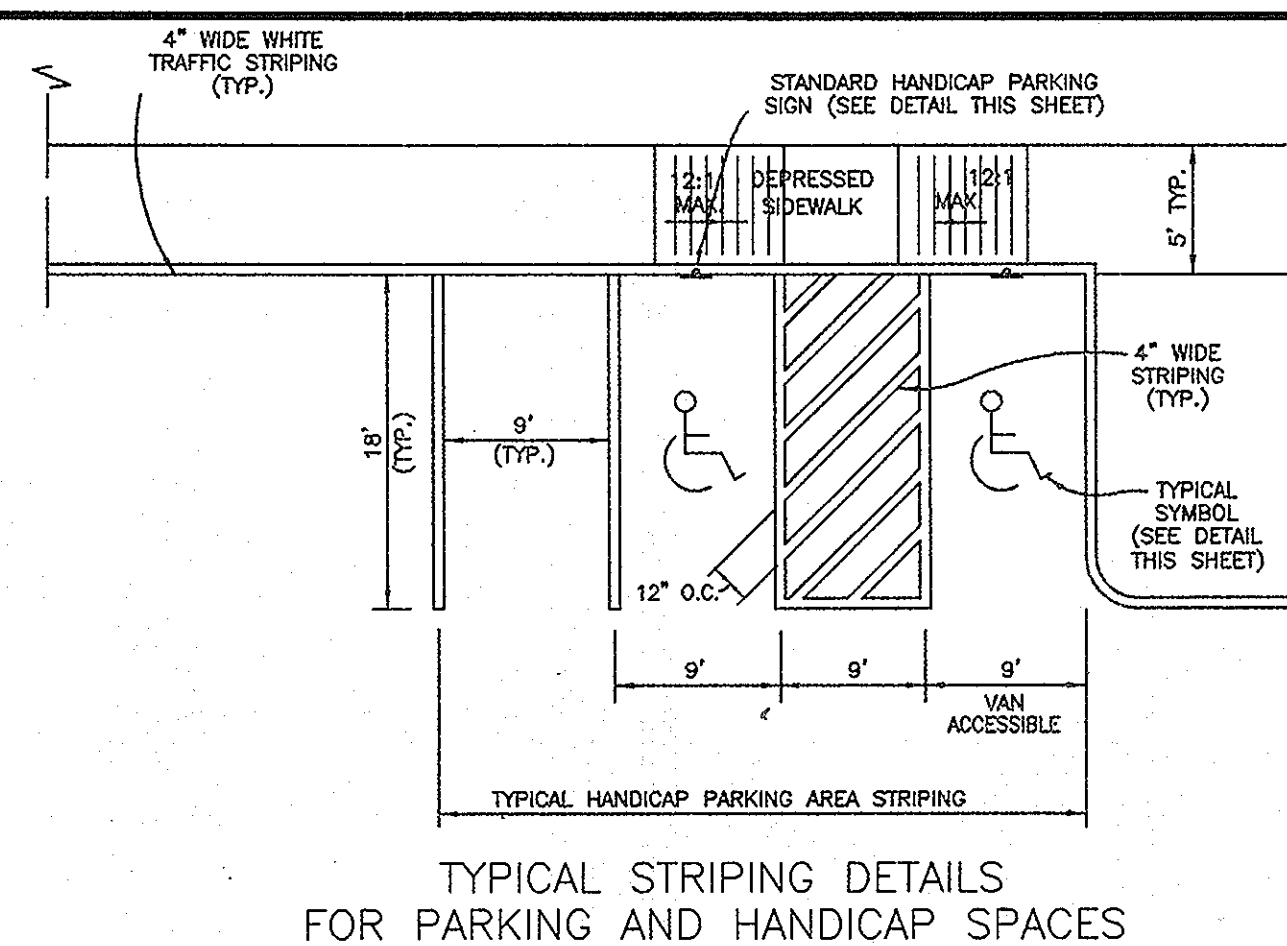
ENGINEER/SURVEYOR:
GREENMAN-PEDERSEN, INC.
ENGINEERS, ARCHITECTS, PLANNERS, CONSTRUCTION ENGINEERS & INSPECTORS
10977 GUILFORD ROAD, ANNAPOLIS JUNCTION, MD 20701
WASH. (301) 470-2772 BALT. (410) 880-3055
FAX: (301) 490-2649 www.gpinet.com

Professional Certification:
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland License No. 19916, Expiration Date: 1/14/2011.

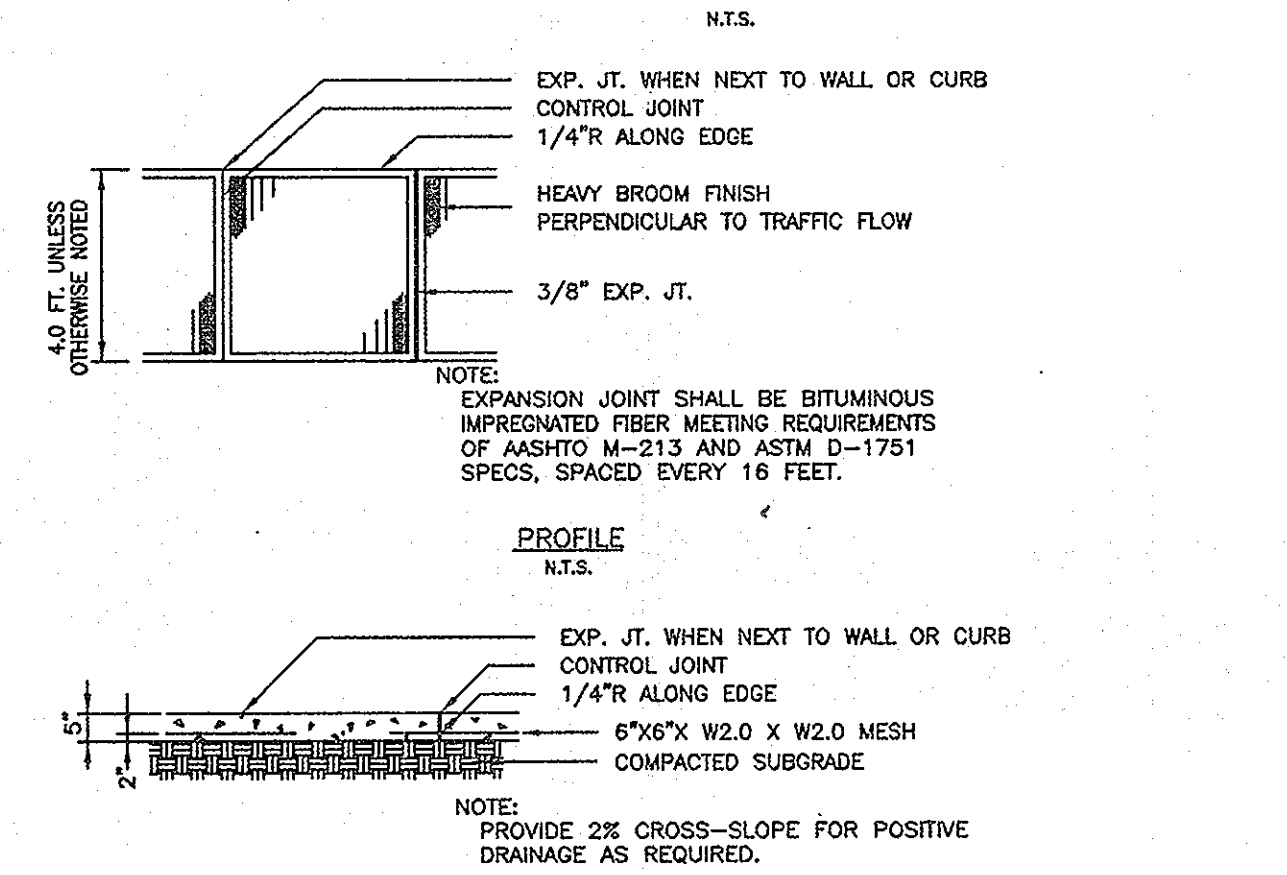


OWNER:
SKB, LLC
12312 CONWAY ROAD
BELTSVILLE, MARYLAND, 20704
ATTN: SCOTT BRYAN, PRESIDENT
PHONE: (301) 419-2260
FAX: (301) 419-3059

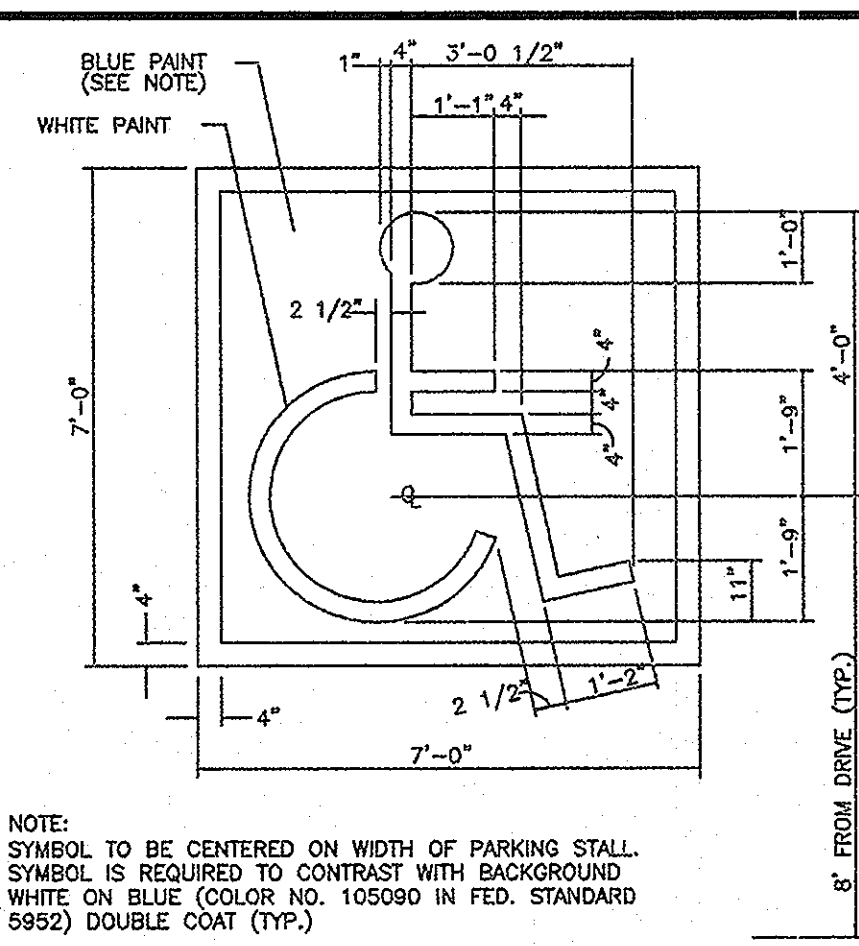
Des By: GPI	Scale AS SHOWN	Proj No. 2008016
Drn By:	Date 3/23/09	DRAWING NO
Chk By: MAH	Approved	2 OF 12



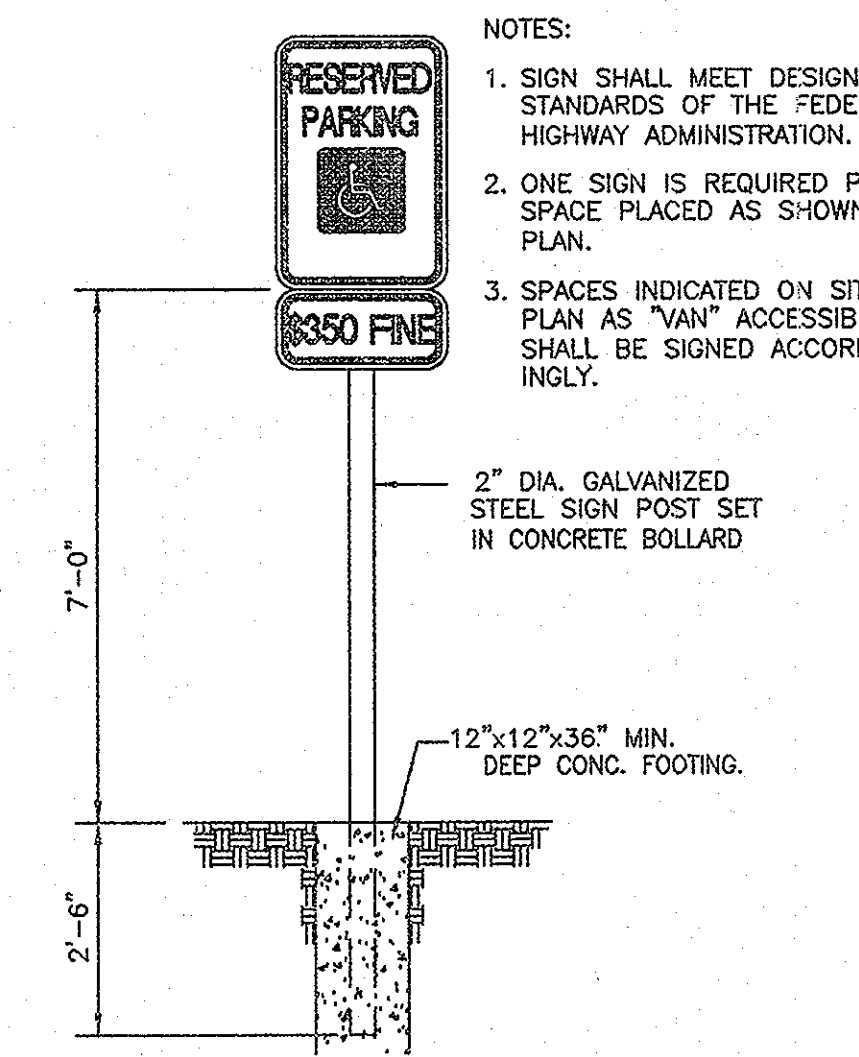
TYPICAL STRIPING DETAILS FOR PARKING AND HANDICAP SPACES



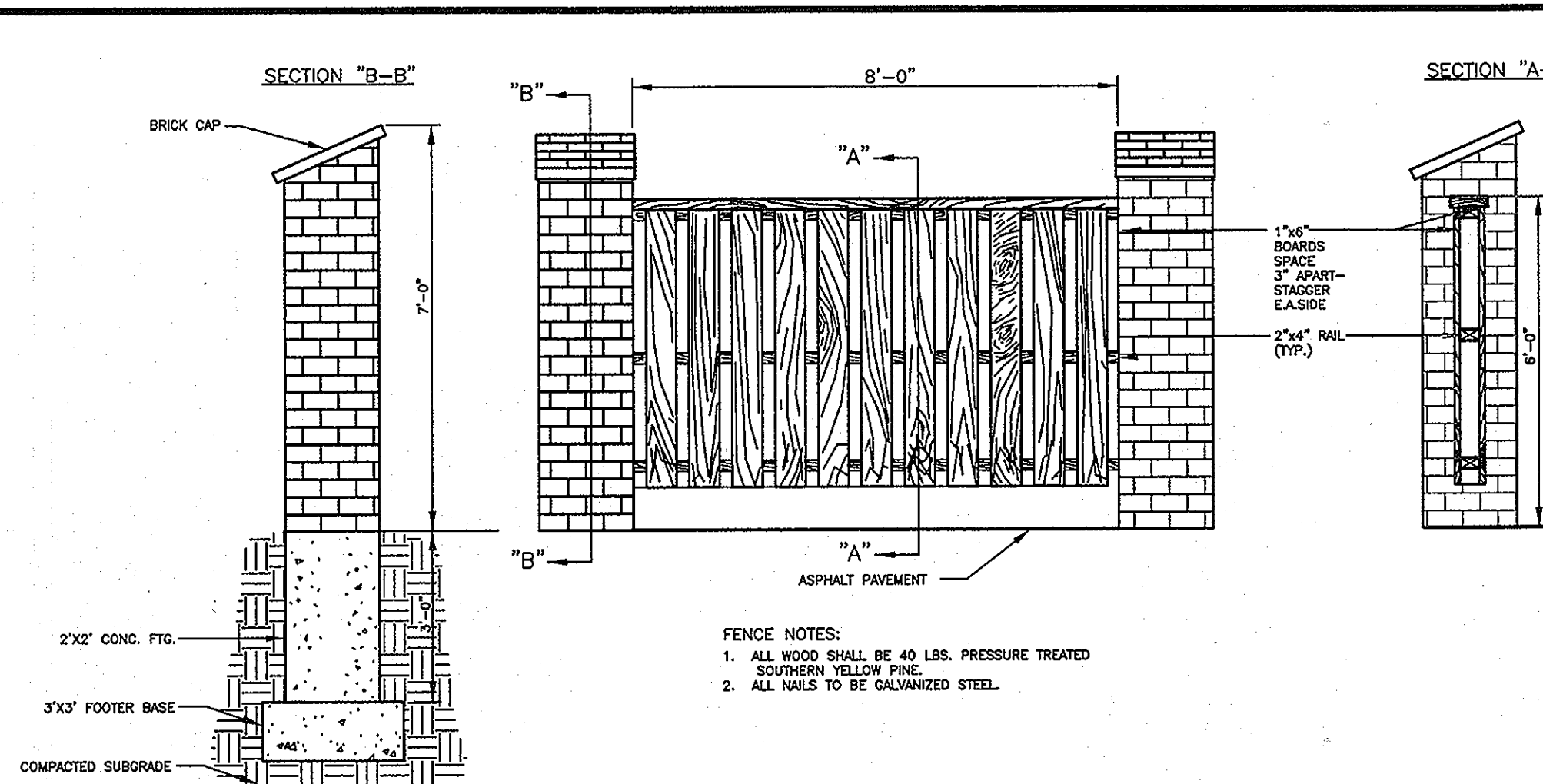
SECTION CONCRETE WALK



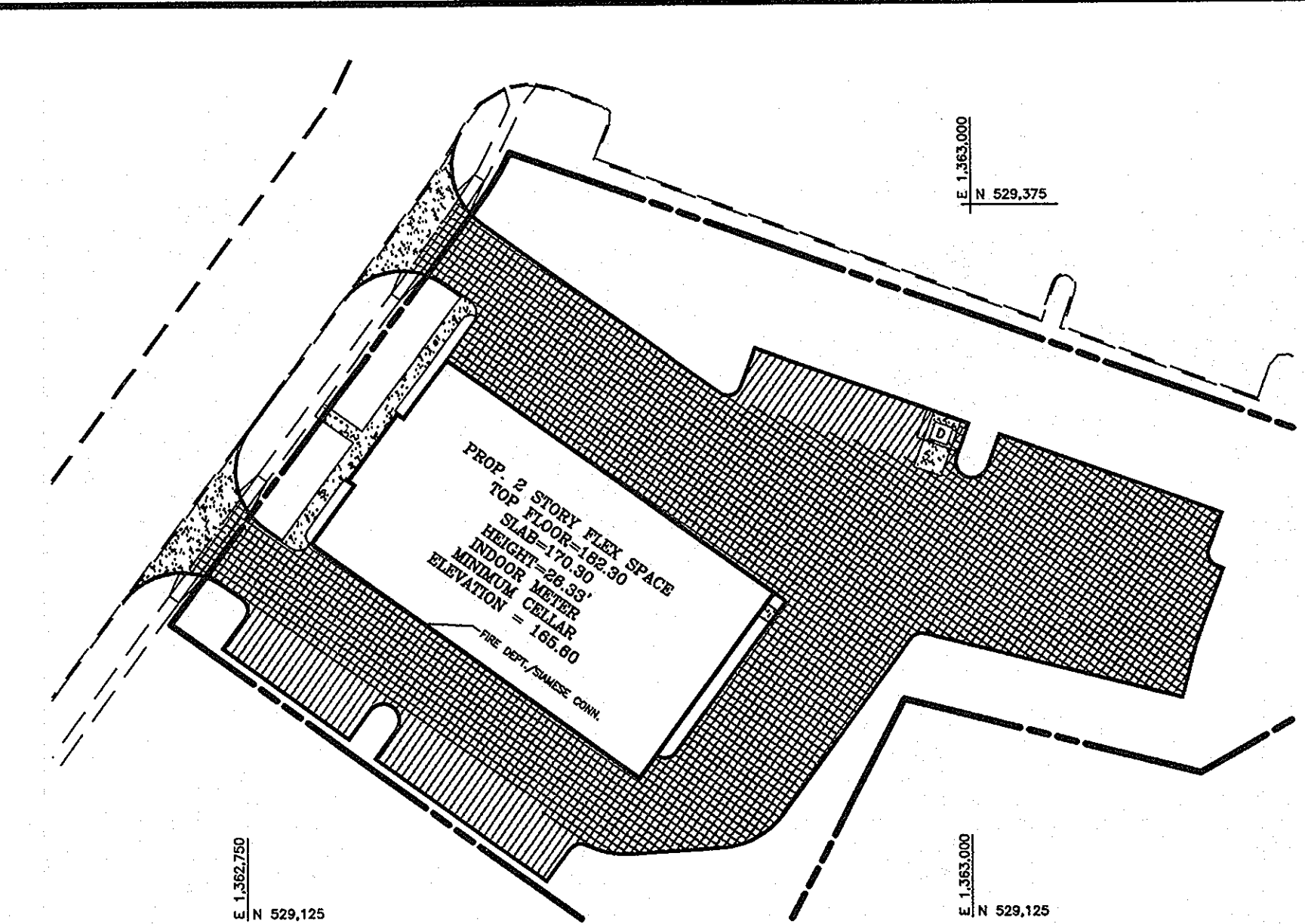
PAINTED HANDICAP PARKING SYMBOL



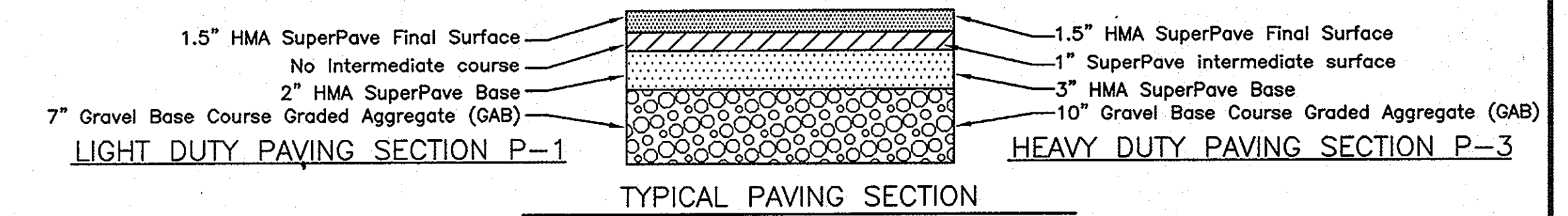
HANDICAP PARKING SIGN DETAIL



BOARD ON BOARD FENCE DETAIL



PAVING LEGEND



TYPICAL PAVING SECTION

COOPER LIGHTING - LUMARK®

PFT TRIBUTE AND POLE COMBO

DESCRIPTION: The Lumark Tribute Pole/Combo features all you need for easy selection and installation for poles and fixtures, including the quality, die-cast tribble pole hardware and 8\"/>

ENERGY DATA

150 - 400 W High Pressure Sodium Pole Star Metal Halide Metal Halide
15' - 30' Square Straight Street Pole
POLE AND FIXTURE COMBO

ENERGY DATA

150W-400W HPS Pole Star Metal Halide Metal Halide
150W-400W HPS Pole Star Metal Halide Metal Halide
150W-400W HPS Pole Star Metal Halide Metal Halide
150W-400W HPS Pole Star Metal Halide Metal Halide
150W-400W HPS Pole Star Metal Halide Metal Halide
150W-400W HPS Pole Star Metal Halide Metal Halide
150W-400W HPS Pole Star Metal Halide Metal Halide
150W-400W HPS Pole Star Metal Halide Metal Halide
150W-400W HPS Pole Star Metal Halide Metal Halide
150W-400W HPS Pole Star Metal Halide Metal Halide

SHIPPING DATA

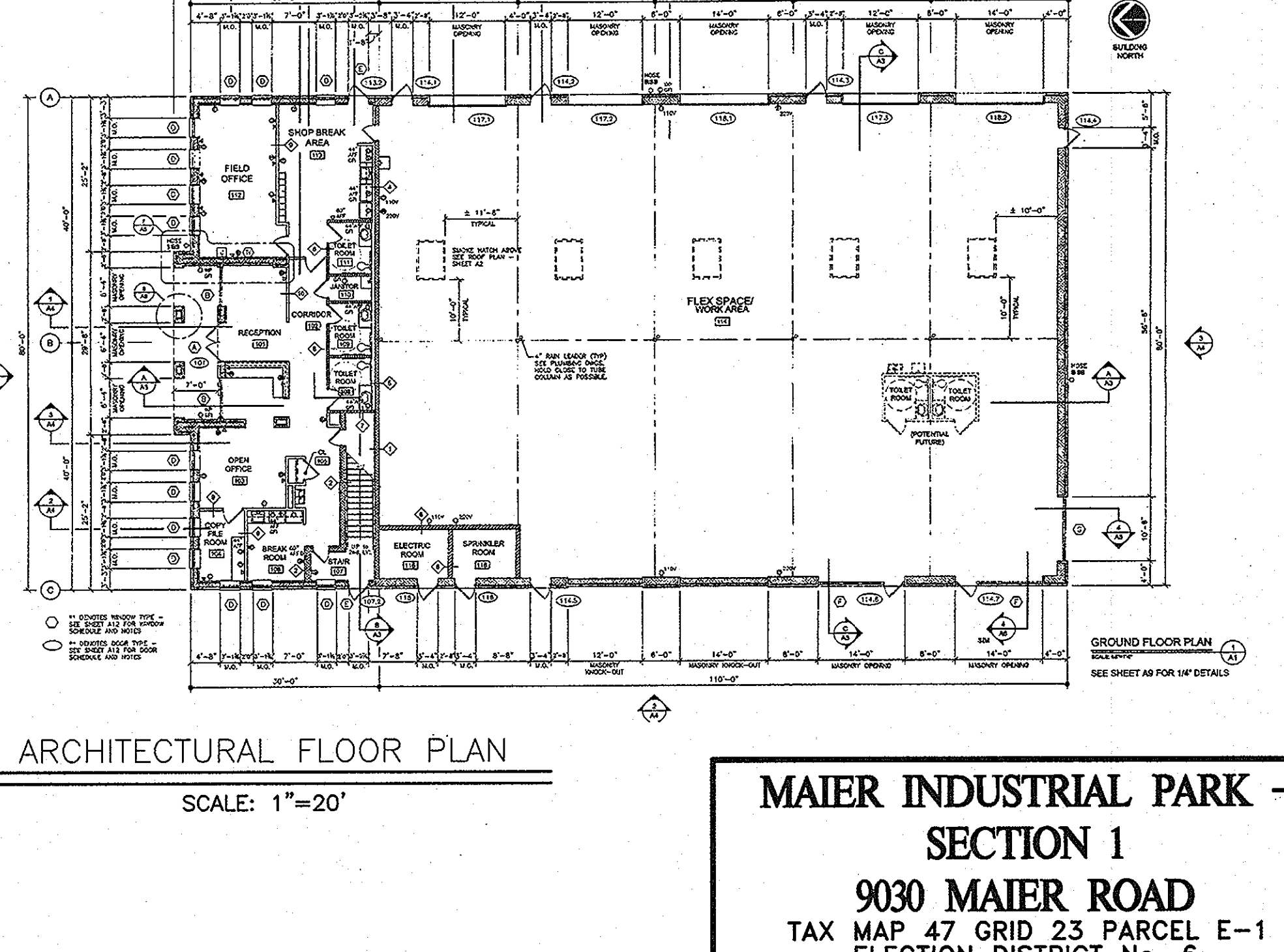
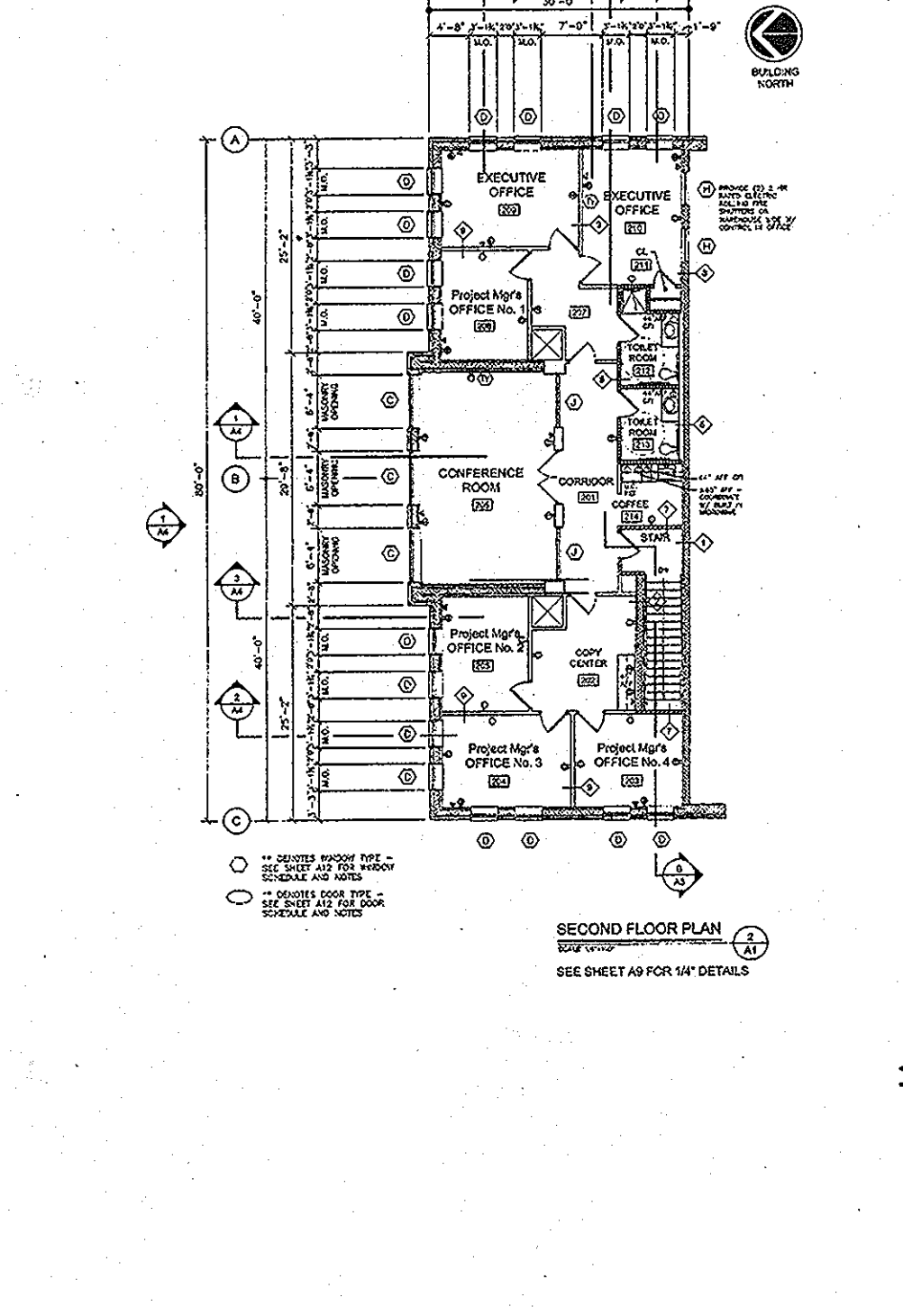
Approximate Net Weight: 28 lbs (12.7 kg)

Sample Number	Fixture	Mounting	Height	Notes
FF110201	150W HPS	Street	15'	
FF110202	250W HPS	Street	25'	
FF110203	400W HPS	Street	35'	
FF110204	400W HPS	Street	45'	
FF110205	400W HPS	Street	55'	
FF110206	400W HPS	Street	65'	
FF110207	400W HPS	Street	75'	
FF110208	400W HPS	Street	85'	
FF110209	400W HPS	Street	95'	
FF110210	400W HPS	Street	105'	

PHOTOMETRIC CURVES

FEATURE TABLE

Model	Power	Beam Spread	Beam Angle
FF110201	150W	15°	30°
FF110202	250W	15°	30°
FF110203	400W	15°	30°
FF110204	400W	15°	30°
FF110205	400W	15°	30°
FF110206	400W	15°	30°
FF110207	400W	15°	30°
FF110208	400W	15°	30°
FF110209	400W	15°	30°
FF110210	400W	15°	30°



ARCHITECTURAL FLOOR PLAN

MAIER INDUSTRIAL PARK - SECTION 1

9030 MAIER ROAD

TAX MAP 47 GRID 23 PARCEL E-1
ELECTION DISTRICT No. 6
HOWARD COUNTY, MD

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief Development Engineering Division
10-22-09 DATE

Chief Division of Land Development
10-29-09 DATE

Director
10/30/09 DATE

Date	No	Revision Description

ENGINEER/SURVEYOR:

GREENMAN-PEDERSEN, INC.
ENGINEERS, ARCHITECTS, PLANNERS, CONSTRUCTION ENGINEERS & INSPECTORS

10977 GUILFORD ROAD, ANNAPOLIS JUNCTION, MD 20701
WASH. (301) 470-2772 BALT. (410) 880-3055
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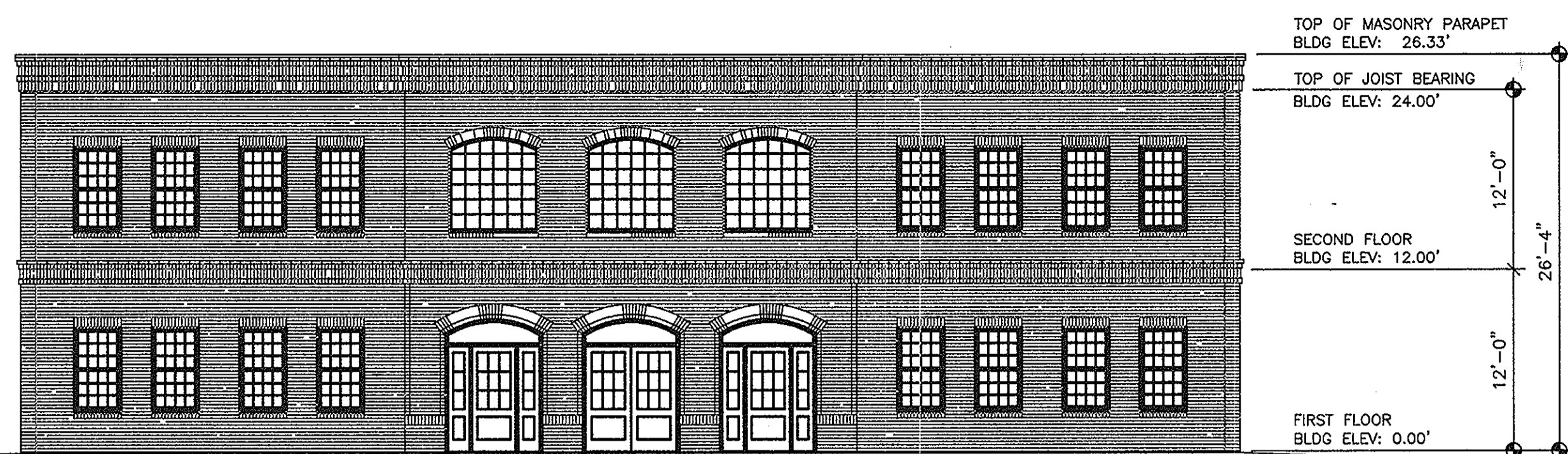
Professional Certification:
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland License No. 19916, Expiration Date: 1/14/2011.

OWNER:

SKB, LLC
12312 CONWAY ROAD
BELTSVILLE, MARYLAND, 20704
ATTN: SCOTT BRYAN, PRESIDENT
PHONE: (301) 419-2260
FAX: (301) 419-3059

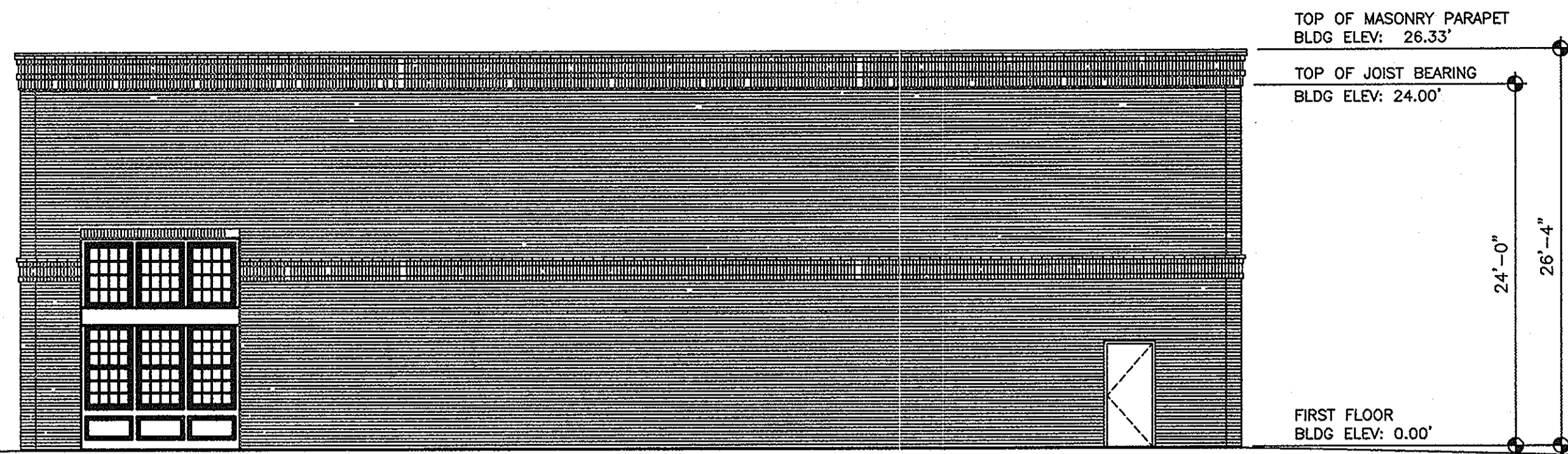
SITE DETAILS

Des By: GPI	Scale AS SHOWN	Proj No. 2008016
Drn By: MAH	Date 3/23/09	DRAWING NO 3 OF 12
Chk By: MAH	Approved	



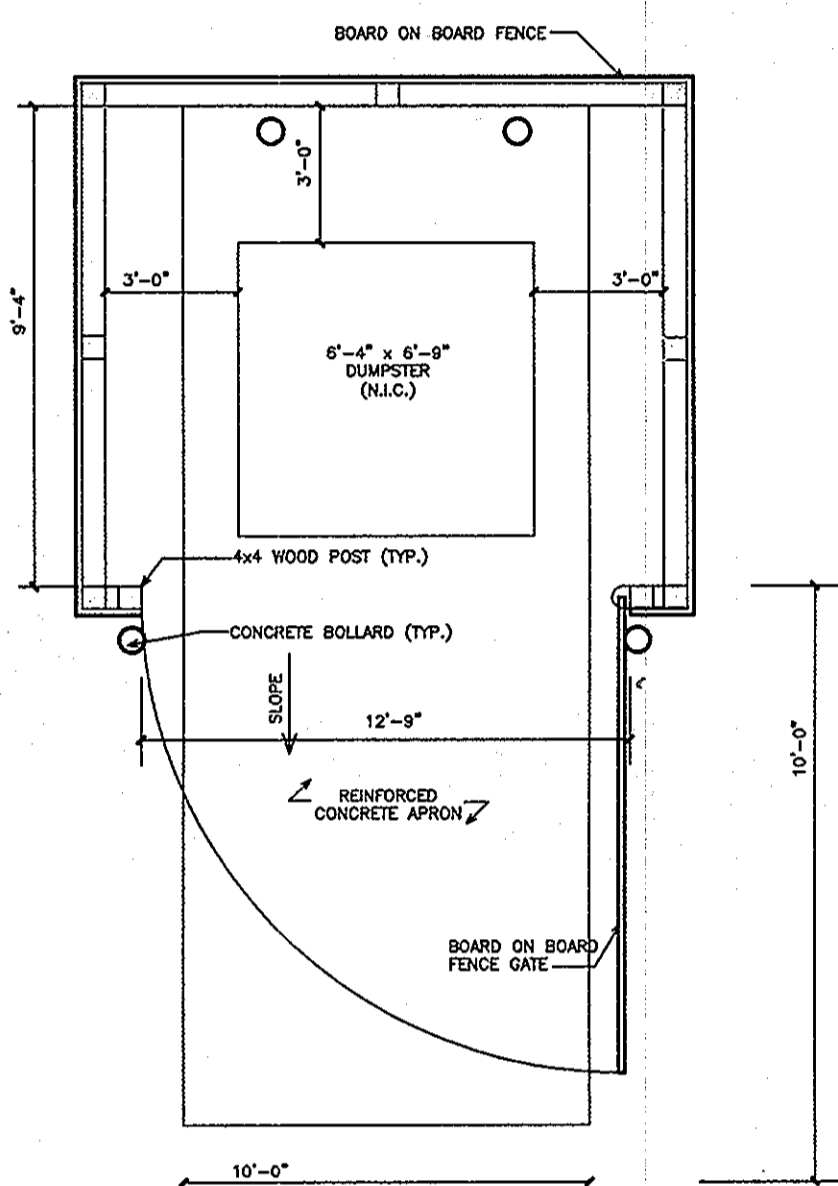
NORTH ELEVATION

SCALE: 1/8"=1'-0"

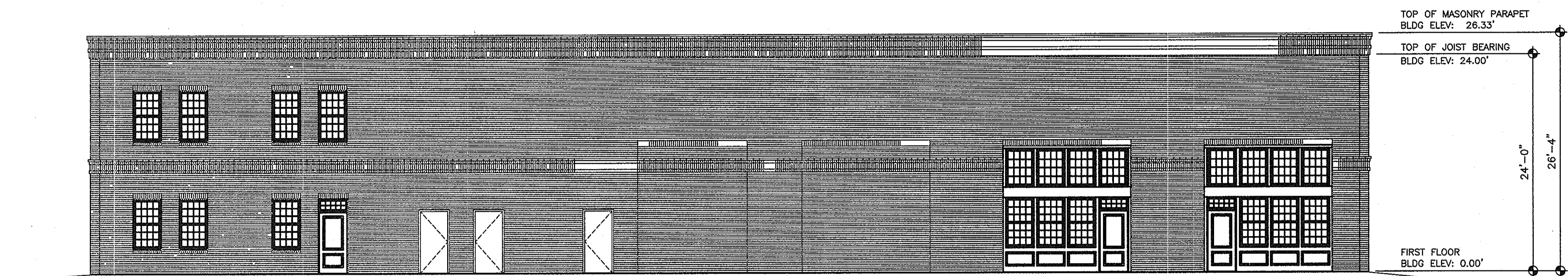


SOUTH ELEVATION

SCALE: 1/8"=1'-0"

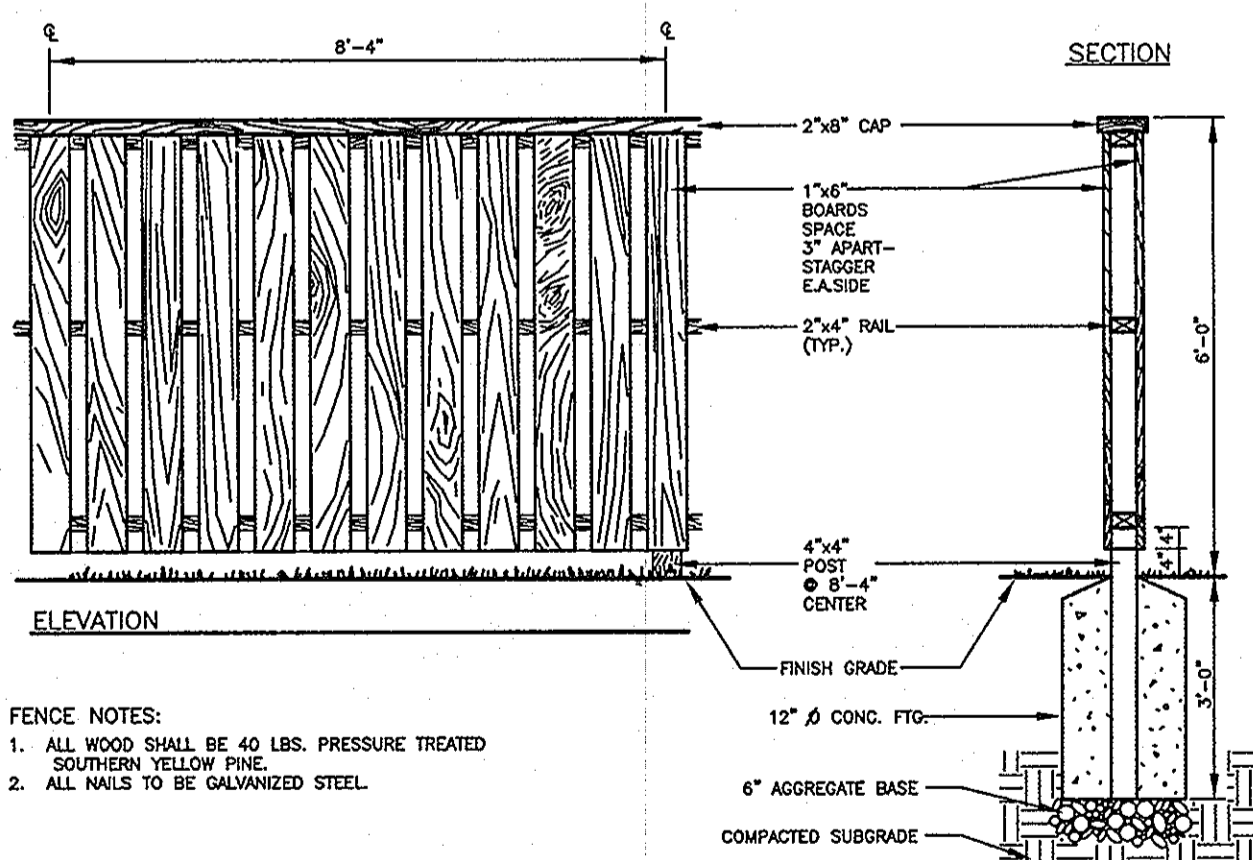


DUMPSTER ENCLOSURE
N.T.S.



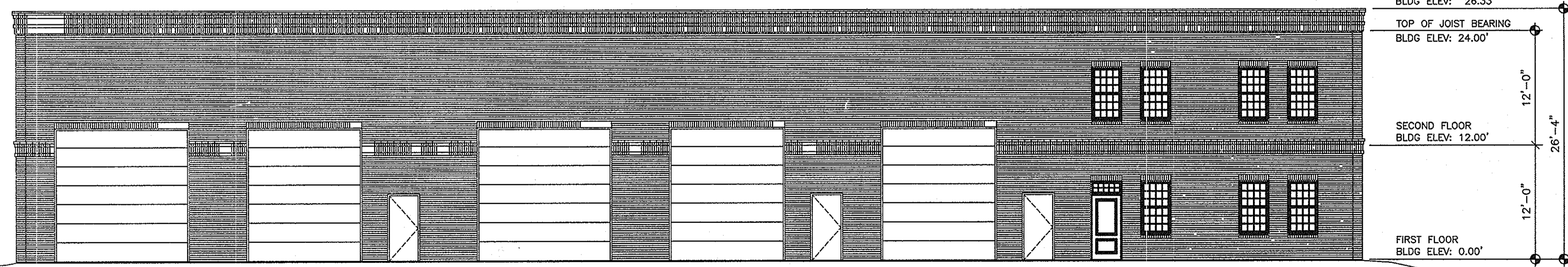
WEST ELEVATION

SCALE: 1/8"=1'-0"



BOARD ON BOARD FENCE AND DUMPSTER ENCLOSURE DETAIL
NTS

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND IS THE PROPERTY OF HOORAMAN NELSON & ASSOCIATES, LLC AND THEIR CONSULTING ENGINEERS AND IS TO BE USED ONLY CONFIDENTIALLY BY AUTHORIZED PERSONS. IT SHALL NOT BE COPIED, ALTERED OR EXHIBITED WITHOUT PERMISSION AND IS TO BE RETURNED UPON REQUEST. THE ARCHITECT IS THE AUTHOR AND OWNER OF THE INSTRUMENT OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS. (AIA-B141 A13.2)



EAST ELEVATION

SCALE: 1/8"=1'-0"

MAIER INDUSTRIAL PARK - SECTION 1
9030 MAIER ROAD
TAX MAP 47 GRID 23 PARCEL E-1
ELECTION DISTRICT No. 6
HOWARD COUNTY, MD

SITE DETAILS
DETAIL SHEET 2

APPROVED: DEPARTMENT OF PLANNING AND ZONING

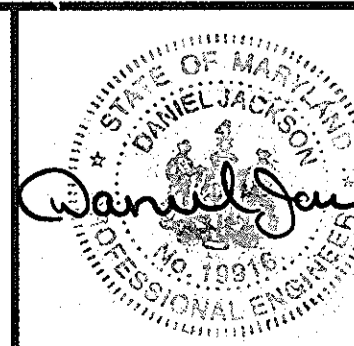
Chad Chandler
CHIEF-DEVELOPMENT ENGINEERING DIVISION
DATE 10-22-09
Kurt Sheehy
CHIEF-DIVISION OF LAND DEVELOPMENT
DATE 10-29-09
Mark R. Wynn
DIRECTOR
DATE 10/30/09

Date	No	Revision Description

GPI

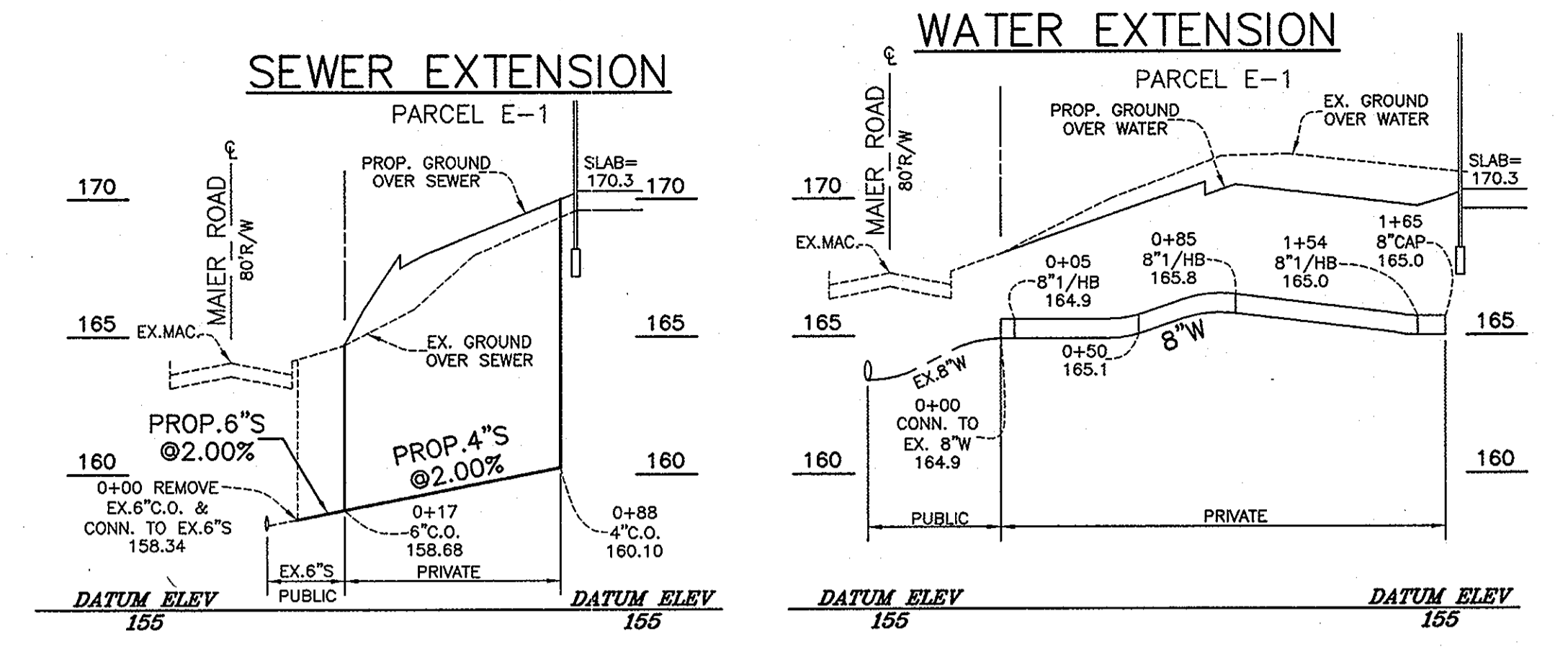
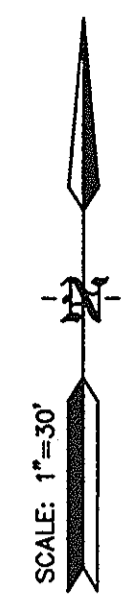
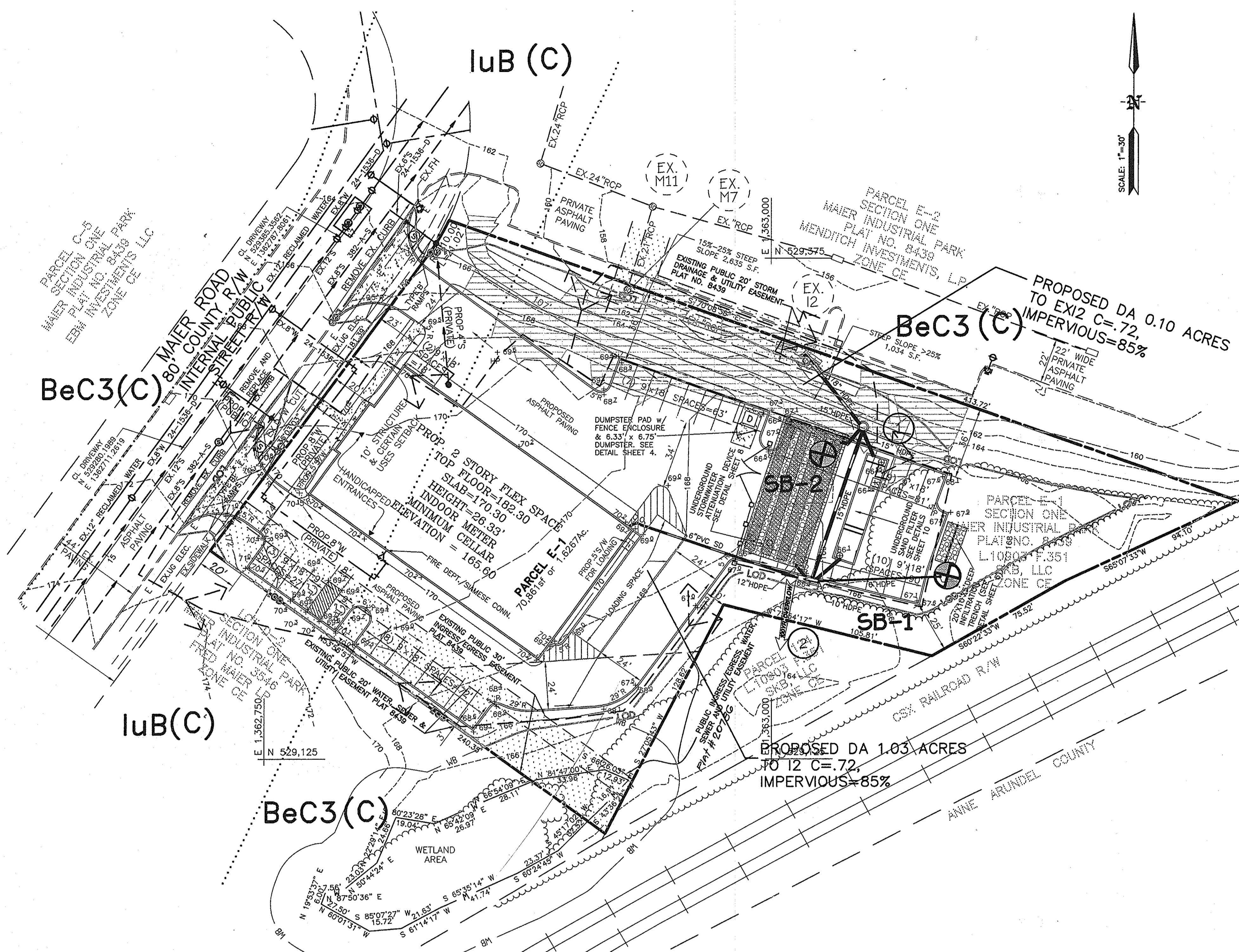
ENGINEER/SURVEYOR:
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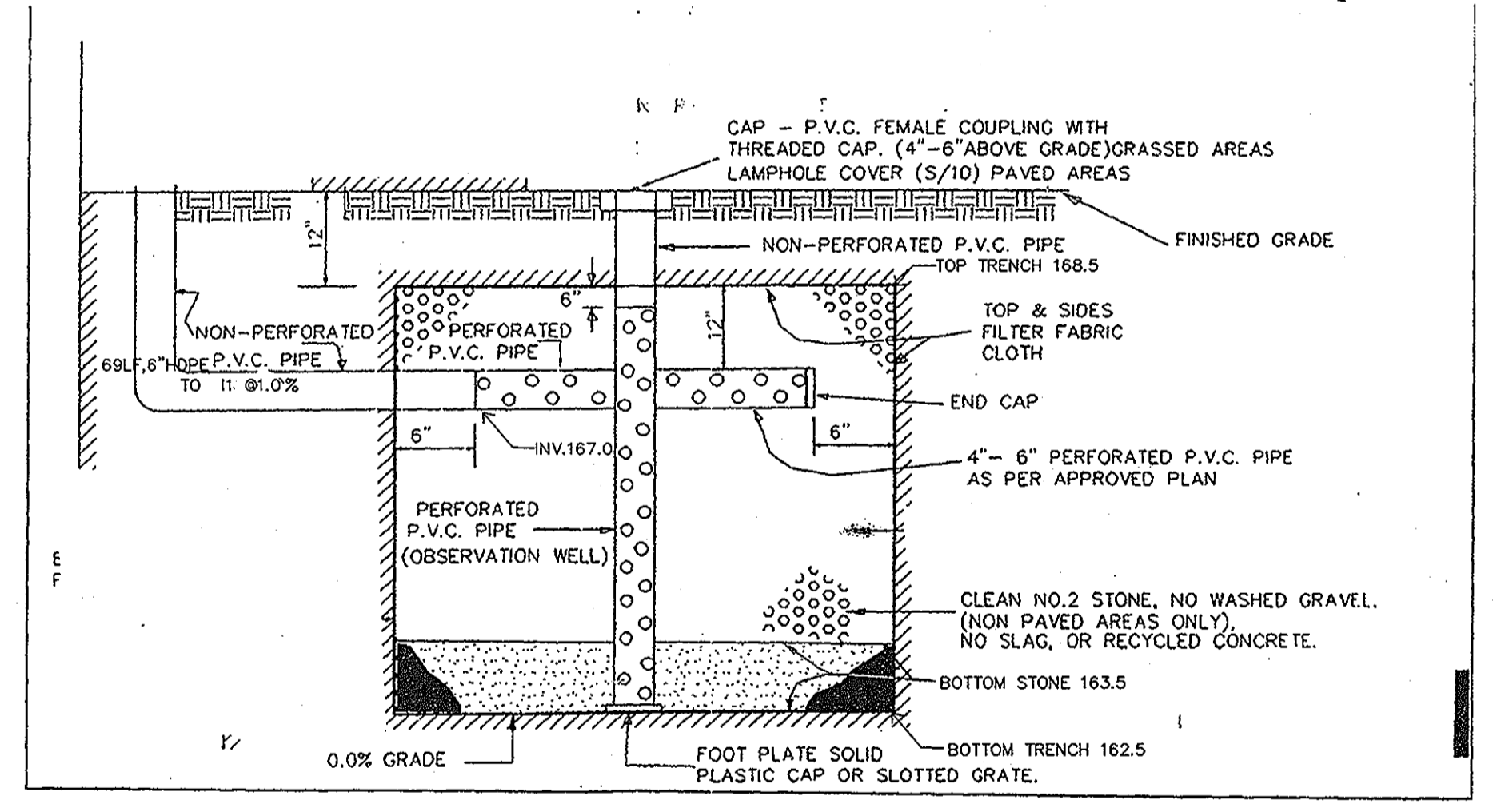


OWNER:
SKB, LLC
12312 CONWAY ROAD
BELTSVILLE, MARYLAND, 20704
ATTN: SCOTT BRYAN, PRESIDENT
PHONE: (301) 419-2260
FAX: (301) 419-3059

Des By:	Scale	AS SHOWN	Proj No.	2008016
Drn By:	Date	3/23/09	DRAWING NO	4 OF 12
Chk By:	MAH	Approved		



PROFILE SCALE:
 HORIZONTAL: 1"=50'
 VERTICAL: 1"=5'



INFILTRATION TRENCH DETAIL

SCALE: NTS

PIPE SCHEDULE

FROM STR. #	TO STR. #	SIZE	TYPE	LENGTH	REMARKS
2	SAND FILTER	10"	HDPE	17'	PRIVATE
SAND FILTER	1	15"	HDPE	15'	PRIVATE
1	ATTENUATION	15"	HDPE	12'	PRIVATE
ATTENUATION	2	12"	HDPE	9'	PRIVATE
1	2	15"	HDPE	78'	PRIVATE
EX12	1	18"	HDPE	44'	PRIVATE
2	INFIL TRENCH	6"	HDPE	68'	PRIVATE
	INFIL TRENCH	6"	HDPE PERF.	18'	PRIVATE
TOTAL					263'

PIPE SUMMARY TABLE

SIZE	TYPE	LENGTH
60"	ADS N-12	260'
18"	HDPE	44'
15"	HDPE	105'
12"	HDPE	9'
10"	HDPE	17'
6"	HDPE	88'
TOTAL		523'

PLAN
SCALE: 1"=30'

STORMWATER MANAGEMENT SUMMARY TABLE

REQUIREMENT	VOLUME (CF)		NOTES
	REQUIRED	PROVIDED	
WATER QUALITY	2964	3000	SAND FILTER
CHANNEL PROTECTION	4795	5466	ATTENUATION
VOLUME (CF)			TRENCH PIPES
RECHARGE VOLUME (REV)	396	400	INFILTRATION TRENCH

SOIL CLASSIFICATIONS

BE C3 BELTSVILLE SILT LOAM HYDROLOGIC CLASS "C"
 luB IUKA SILT LOAM HYDROLOGIC CLASS "C"

STRUCTURE SCHEDULE

STR #	TYPE	TOP ELEV.	INV. OUT	DETAIL NO.
11	"PRECAST MANHOLE"	168.0	153.69	G-5.13 MODIFIED 5'DIA.(SEE DETAIL)
12	"A-10" INLET	166.3	160.67	D-4.03

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chad Edwards 10-22-09 DATE
 CHIEF-DEVELOPMENT ENGINEERING DIVISION

W. J. Sheehan 10-29-09 DATE
 CHIEF-DIVISION OF LAND DEVELOPMENT

Mark A. Cavallaro 10/30/09 DATE
 DIRECTOR

Date	No	Revision Description

GPI ENGINEERS, ARCHITECTS, PLANNERS, CONSTRUCTION ENGINEERS & INSPECTORS

10977 GUILFORD ROAD, ANNAPOLIS JUNCTION, MD 20701
 WASH. (301) 470-2772 BALT. (410) 880-3055
 FAX: (301) 490-2649 www.gpinet.com

ENGINEER/SURVEYOR:
GREENMAN-PEDERSEN, INC.

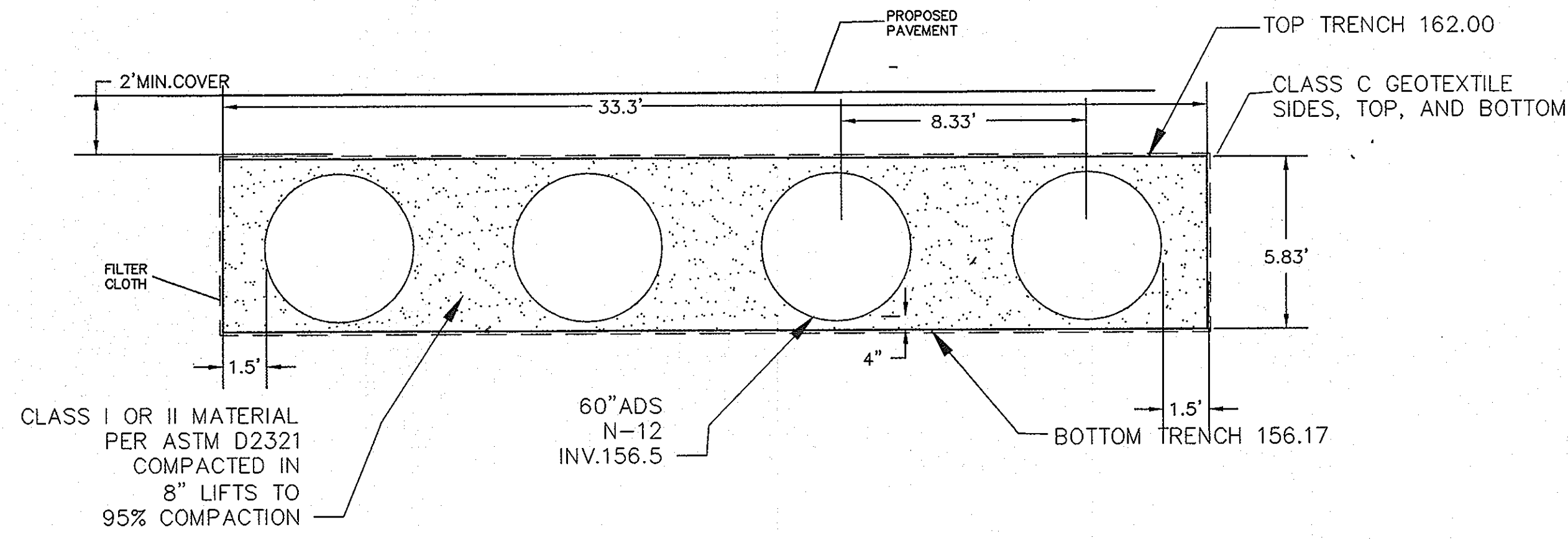
Professional Certification:
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland License No. 19916, Expiration Date: 1/14/2011.

OWNER:
 SKB, LLC
 12312 CONWAY ROAD
 BELTSVILLE, MARYLAND, 20704
 ATTN: SCOTT BRYAN, PRESIDENT
 PHONE: (301) 419-2260
 FAX: (301) 419-3059

MAIER INDUSTRIAL PARK - SECTION 1
 9030 MAIER ROAD
 TAX MAP 47 GRID 23 PARCEL E-1
 ELECTION DISTRICT No. 6
 HOWARD COUNTY, MD

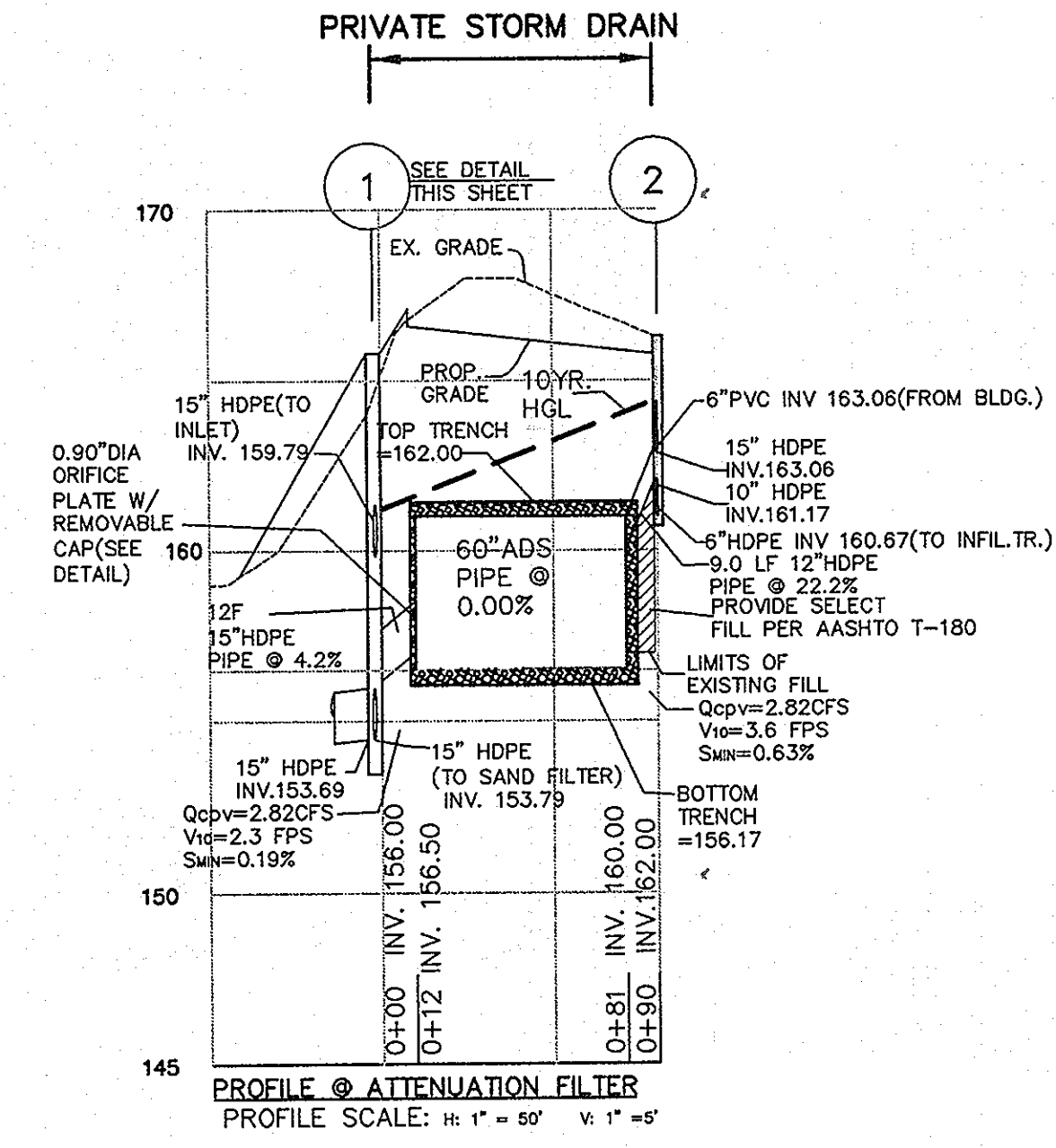
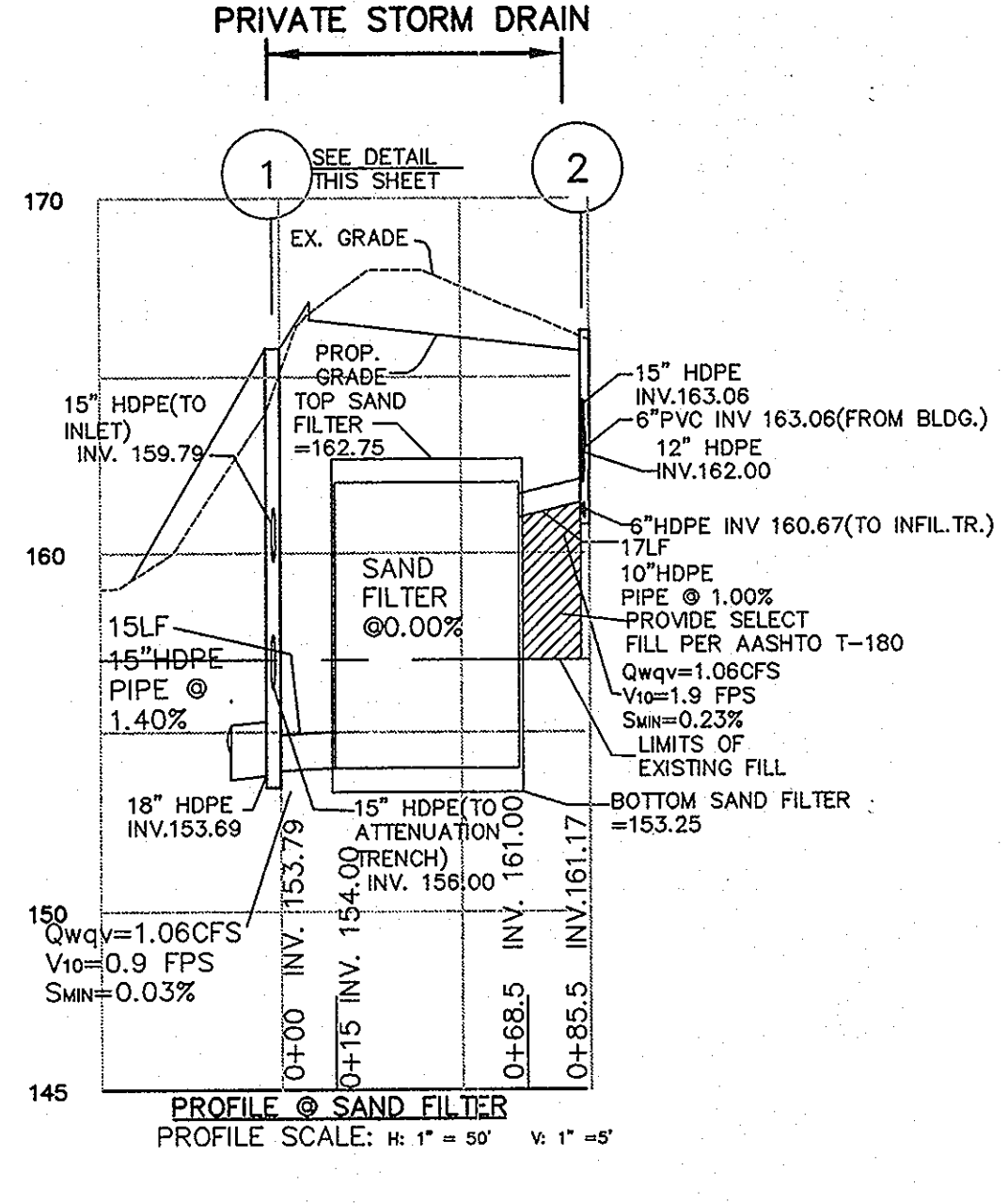
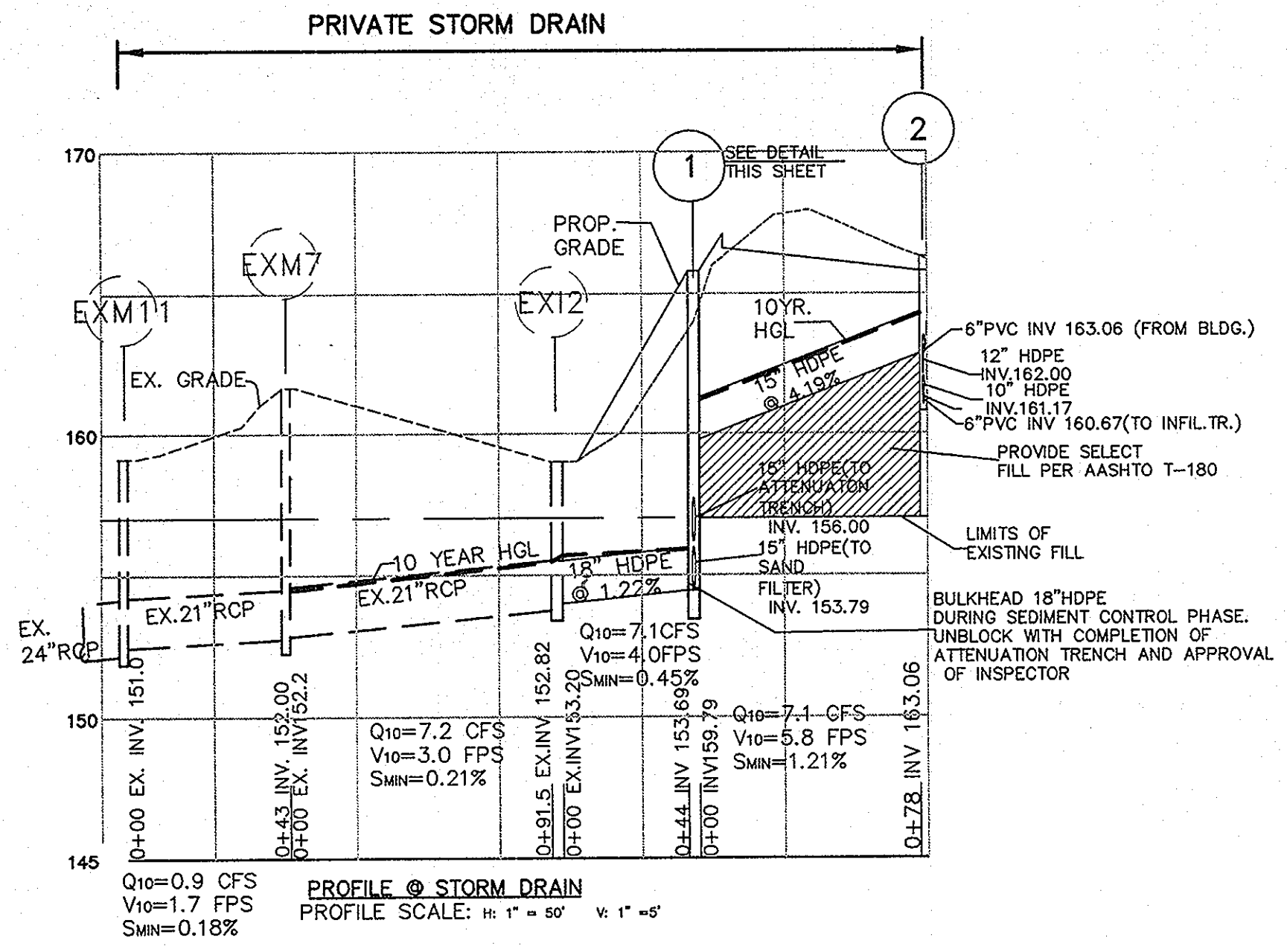
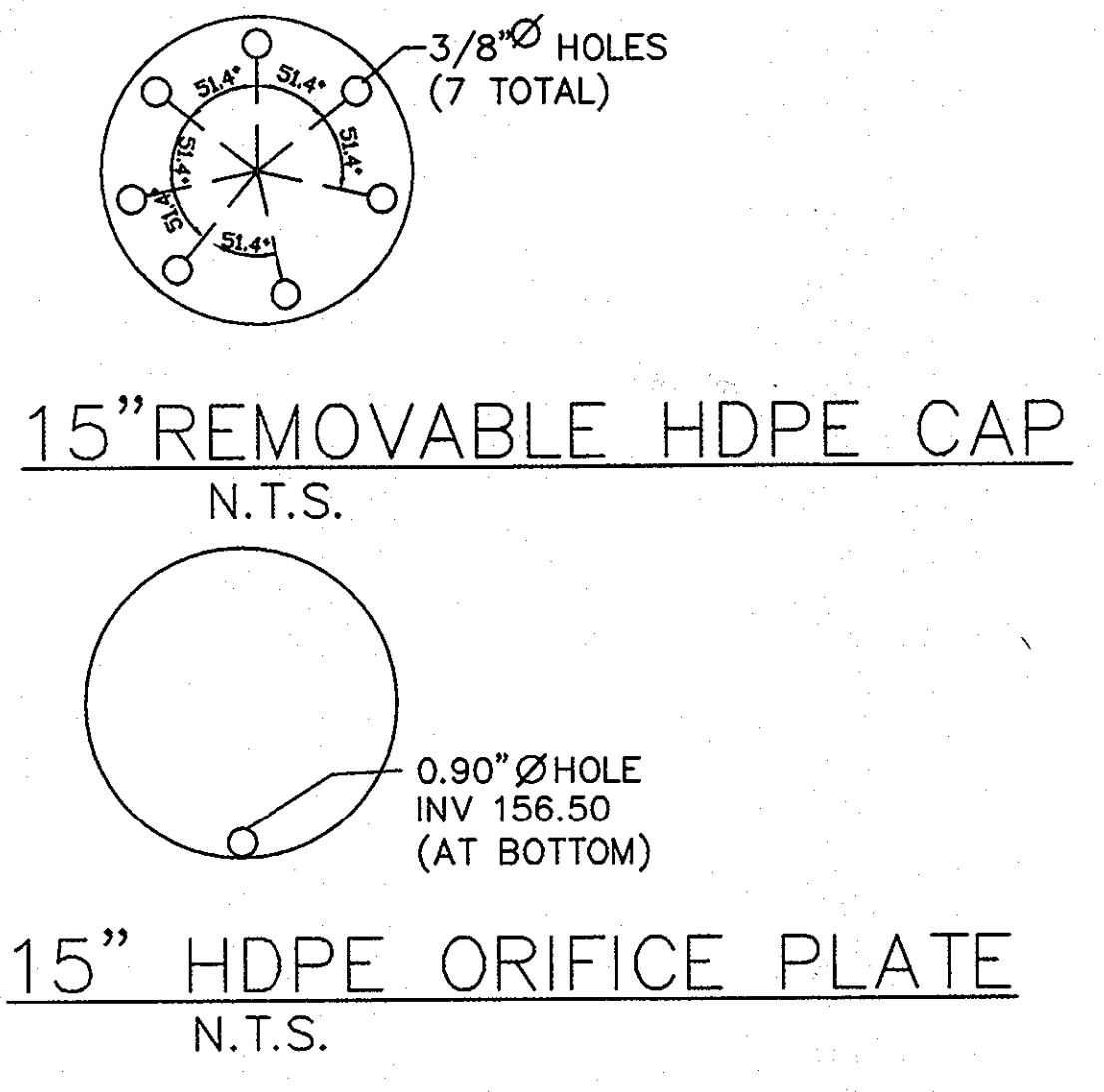
STORM DRAIN & STORMWATER MANAGEMENT PLAN

Des By: GPI	Scale AS SHOWN	Proj No. 2008016
Drn By:	Date 3/23/09	DRAWING NO 5 OF 12
Chk By: MAH	Approved	



SECTION A-A ATTENUATION TRENCH

SCALE: 1" = 4'

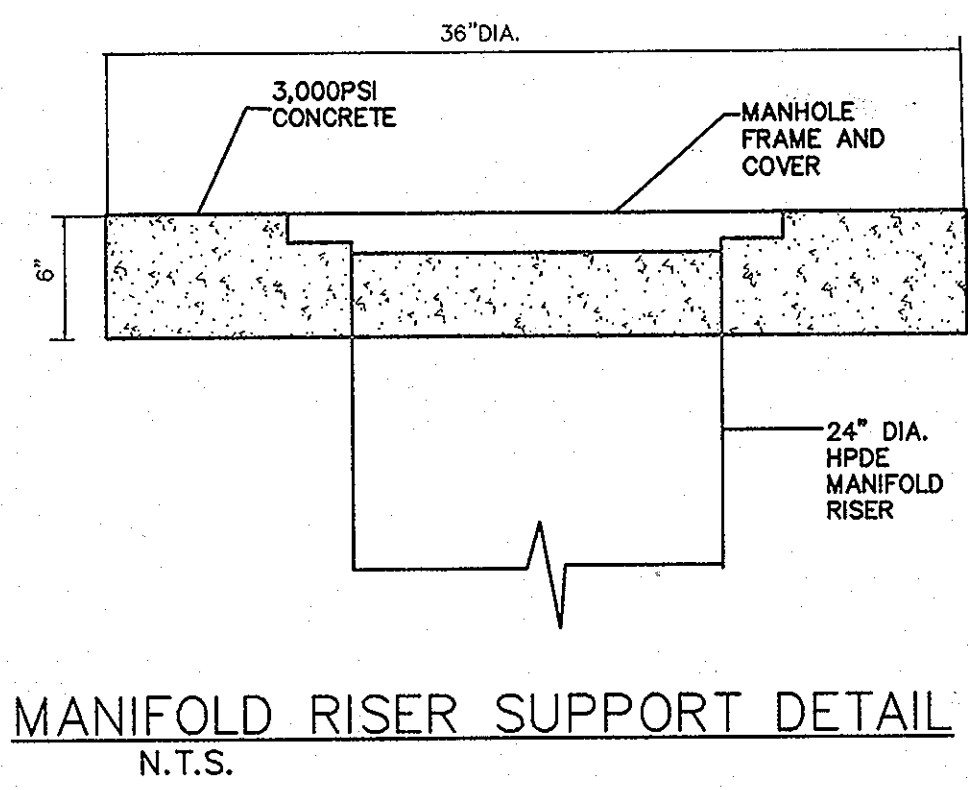


OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED UNDERGROUND STORMWATER FILTRATION SYSTEMS (F-2 AND F-3)

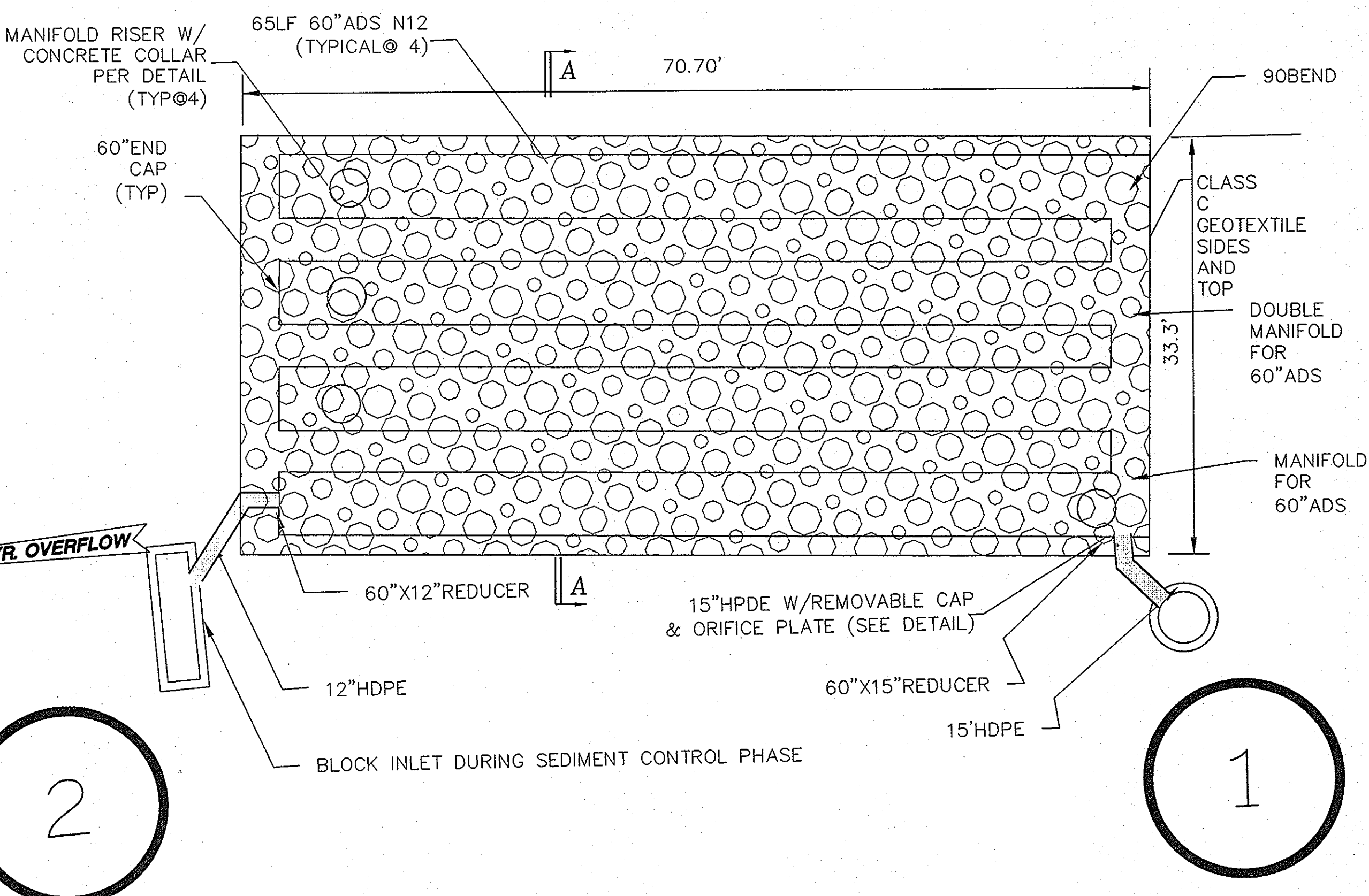
- The sediment chamber outlet devices shall be cleaned and/or repaired when drawdown times within the chamber exceed 36 hours.
- Debris and litter shall be removed as necessary to insure proper operation of the system.
- Sediment shall be cleaned out of the sedimentation chamber when it accumulates to a depth of 6 inches. Vegetation within the sediment chamber shall be limited to a height of 18 inches.
- When water ponds on the surface of the filter bed for more than 72 hours, the top few inches of discolored material shall be replaced with fresh material. Proper cleaning and disposal of the removed materials and liquid must be followed by the owner.
- A logbook shall be maintained to determine the rate at which the facility drains.
- The maintenance logbook shall be available to Howard County for inspection to insure compliance with operation and maintenance criteria.
- Once the performance characteristics of the infiltration system have been verified, the monitoring schedule can be reduced to an annual basis unless the performance data indicates that a more frequent schedule is required.

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED UNDERGROUND FACILITIES

- The underground stormwater management facility is privately owned and it shall be the responsibility of the owner to periodically inspect and clean the facility to maintain its operation and function.
- The underground stormwater management facility shall be inspected yearly at a minimum and after especially severe storm events.
- When sediment accumulation of more than 2" is observed or any debris that might obstruct the outfall is observed, the facility shall be cleaned.
- The facility shall be cleaned immediately after petroleum spills. The owner shall contact the appropriate regulatory agencies notifying them of the spill and cleanup operation.
- The sediment and debris shall be removed from the underground stormwater management facility by vacuum truck or other manual means. The owner shall follow proper cleaning and disposal of the removed material and liquid.
- The inlet and outlet pipes shall be checked for any obstructions at least once every six (6) months. If obstructions are found the owner shall have them removed and properly disposed of.



MANIFOLD RISER SUPPORT DETAIL N.T.S.



ATTENUATION TRENCH DETAIL

SCALE: 1" = 8'

NOTE: ALL DEBRIS ARE TO BE KEPT OUT OF FACILITY DURING AND AFTER CONSTRUCTION

HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION

Project Name: 9030 Maier Road, Laurel, Maryland. Boring No: SB-1, Job #: 08452A.

Elevation/Depth	SOIL SYMBOL/SAMPLER CONDITIONS	Description	Boring and Sampling Notes	Rec. NM	SPT Blows	SPT Blows/Foot Curve
0	D	Brown/Gray, dry to moist, medium dense silty sand, trace gravel (SM)	3" Topsoil	12"	4-6	14
1	D			15"	8-17	20
2	D			8"	16-12-11	23
3	D		No groundwater encountered while drilling	15"	5-8	14
4	D	Light Brown/Gray, moist, stiff sandy clay (CL)	Infiltration pipe set at 15.0'	12"	4-7	13
5	D					
6	D					
7	D					
8	D					
9	D					
10	D					
11	D					
12	D					
13	D					
14	D					
15	D					
16	D					
17	D					
18	D					
19	D					
20	D					
21	D					
22	D					
23	D					
24	D					
25	D					
26	D					
27	D					
28	D					
29	D					
30	D					

HILLIS - CARNES ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION

Project Name: 9030 Maier Road, Laurel, Maryland. Boring No: SB-2, Job #: 08452A.

Elevation/Depth	SOIL SYMBOL/SAMPLER CONDITIONS	Description	Boring and Sampling Notes	Rec. NM	SPT Blows	SPT Blows/Foot Curve
0	D	Brown, dry to moist, medium dense silty clayey sand, trace gravel (SM-SC) Possible Fill	3" Topsoil	8"	3-7	12
1	D			15"	7-9	16
2	D	Orange Brown, moist, medium dense clayey sand, trace gravel (SC)		16"	11-11-13	24
3	D		No groundwater encountered while drilling	10"	6-6-8	15
4	D	Brown/Gray/red, moist, stiff silty clay, trace fine sand (CL)	Infiltration pipe set at 15.0'	16"	6-10-13	23
5	D					
6	D					
7	D					
8	D					
9	D					
10	D					
11	D					
12	D					
13	D					
14	D					
15	D					
16	D					
17	D					
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24	D					
25	D					
26	D					
27	D					
28	D					
29	D					
30	D					

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief Development Engineering Division: 10-22-09 DATE

Chief-Division of Land Development: 10-21-09 DATE

Director: 10/26/09 DATE

ENGINEER/SURVEYOR:

GREENMAN-PEDERSEN, INC.

ENGINEERS, ARCHITECTS, PLANNERS, CONSTRUCTION ENGINEERS & INSPECTORS

10977 GUILFORD ROAD, ANNAPOLIS JUNCTION, MD 20701

WASH. (301) 470-2772 BALT. (410) 880-3055

FAX: (301) 490-2649 www.gpinet.com

Professional Certification:

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland License No. 19916, Expiration Date: 1/14/2011.

OWNER:

SKB, LLC

12312 CONWAY ROAD

BELTSVILLE, MARYLAND, 20704

ATTN: SCOTT BRYAN, PRESIDENT

PHONE: (301) 419-2260

FAX: (301) 419-3059

MAIER INDUSTRIAL PARK - SECTION 1

9030 MAIER ROAD

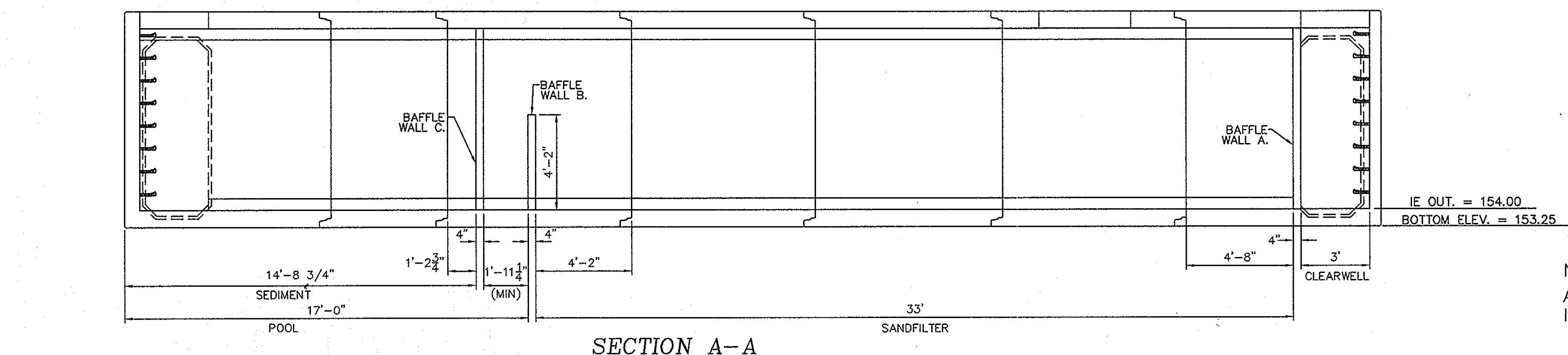
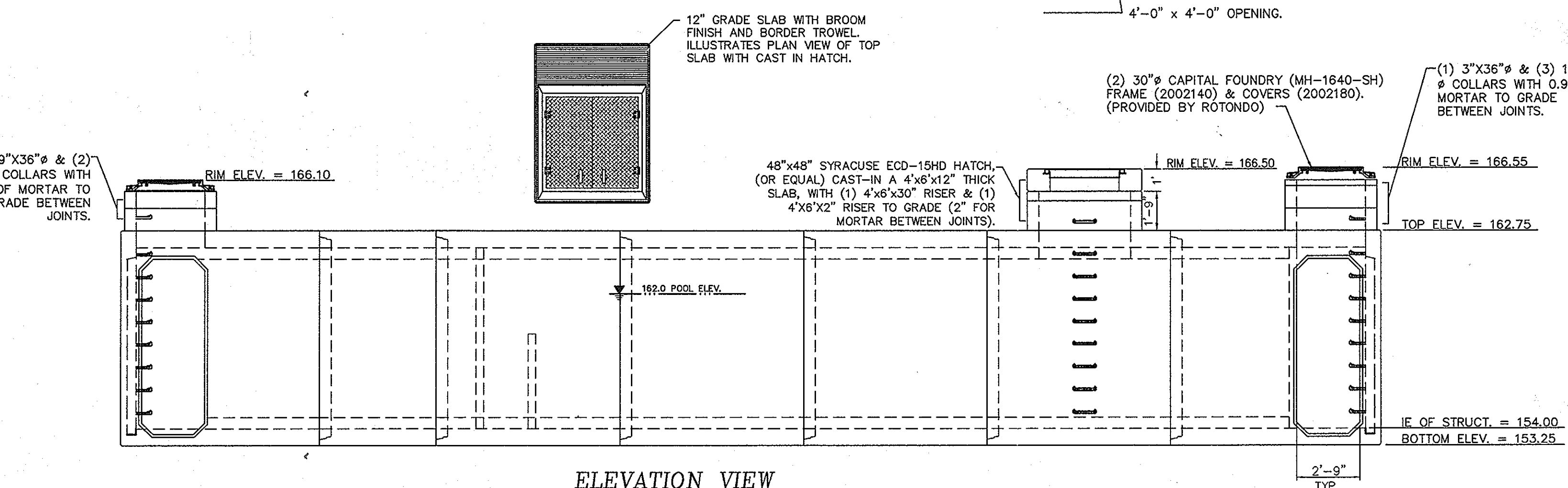
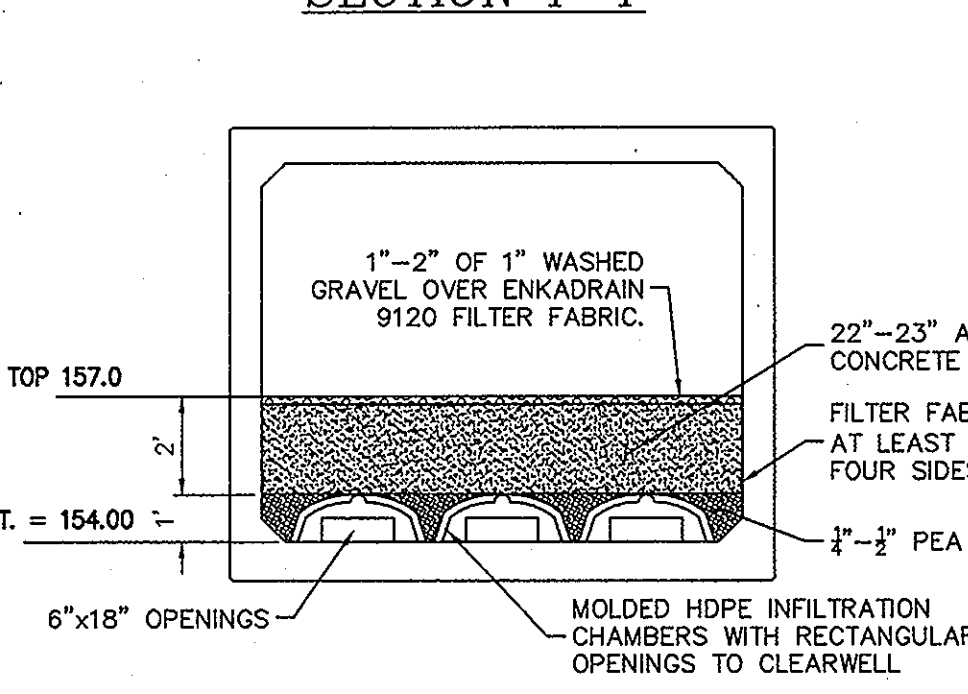
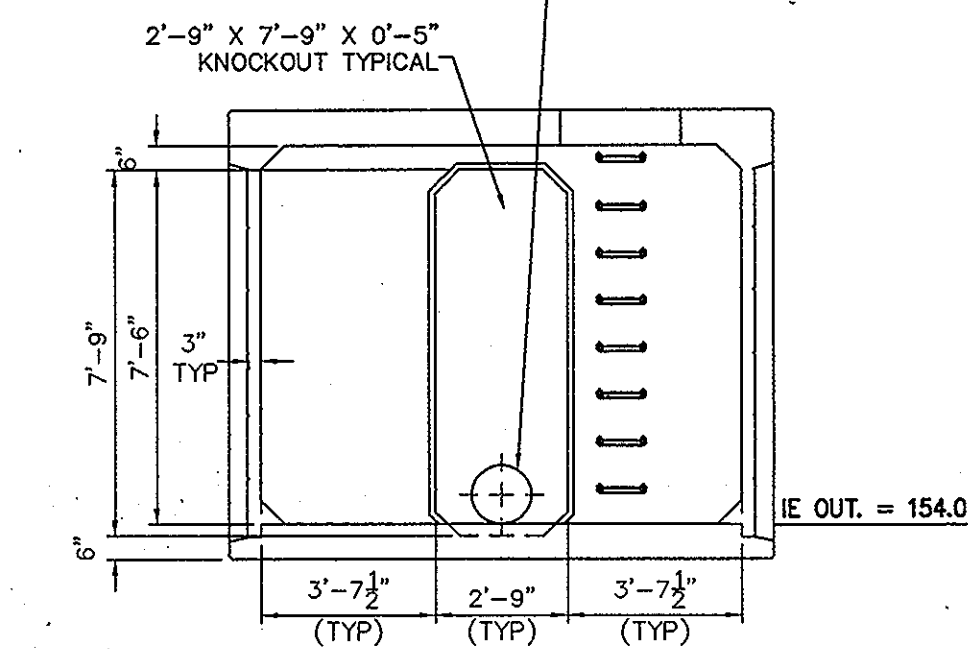
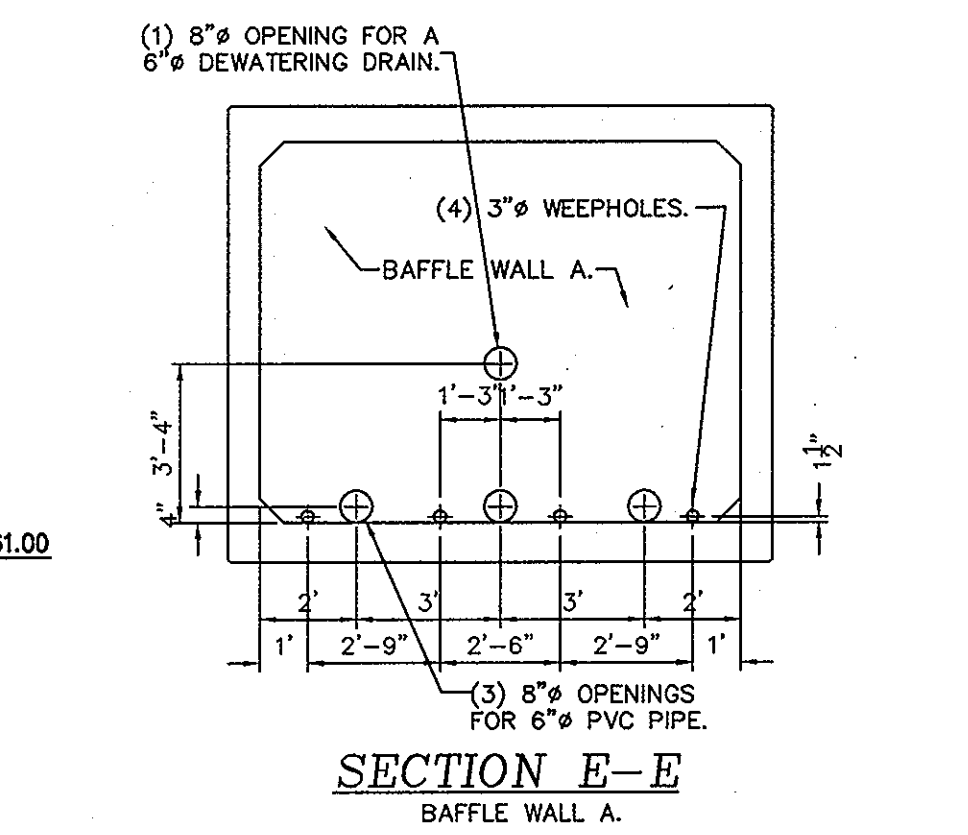
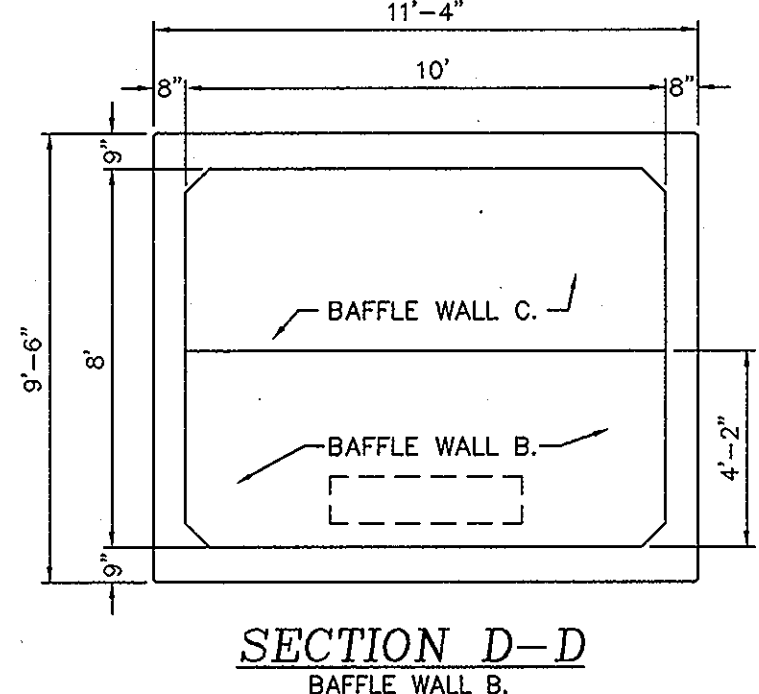
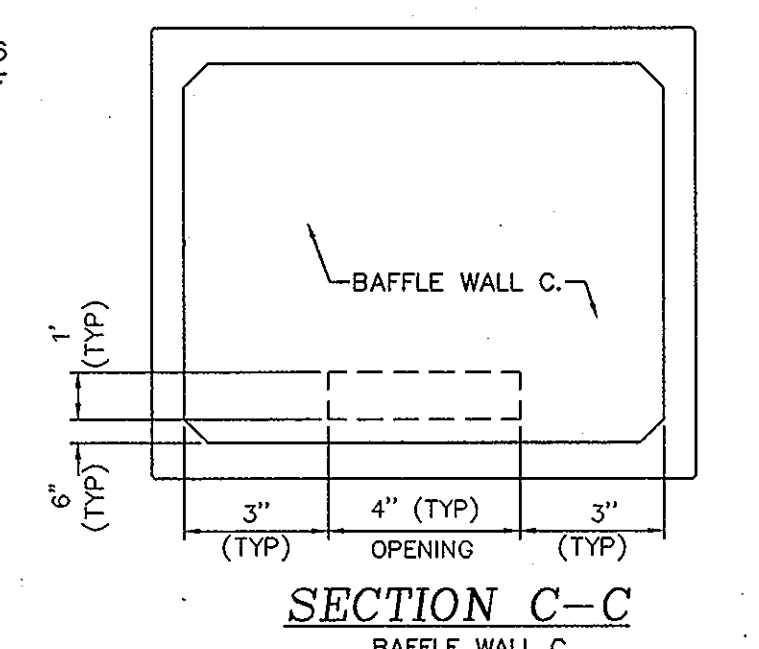
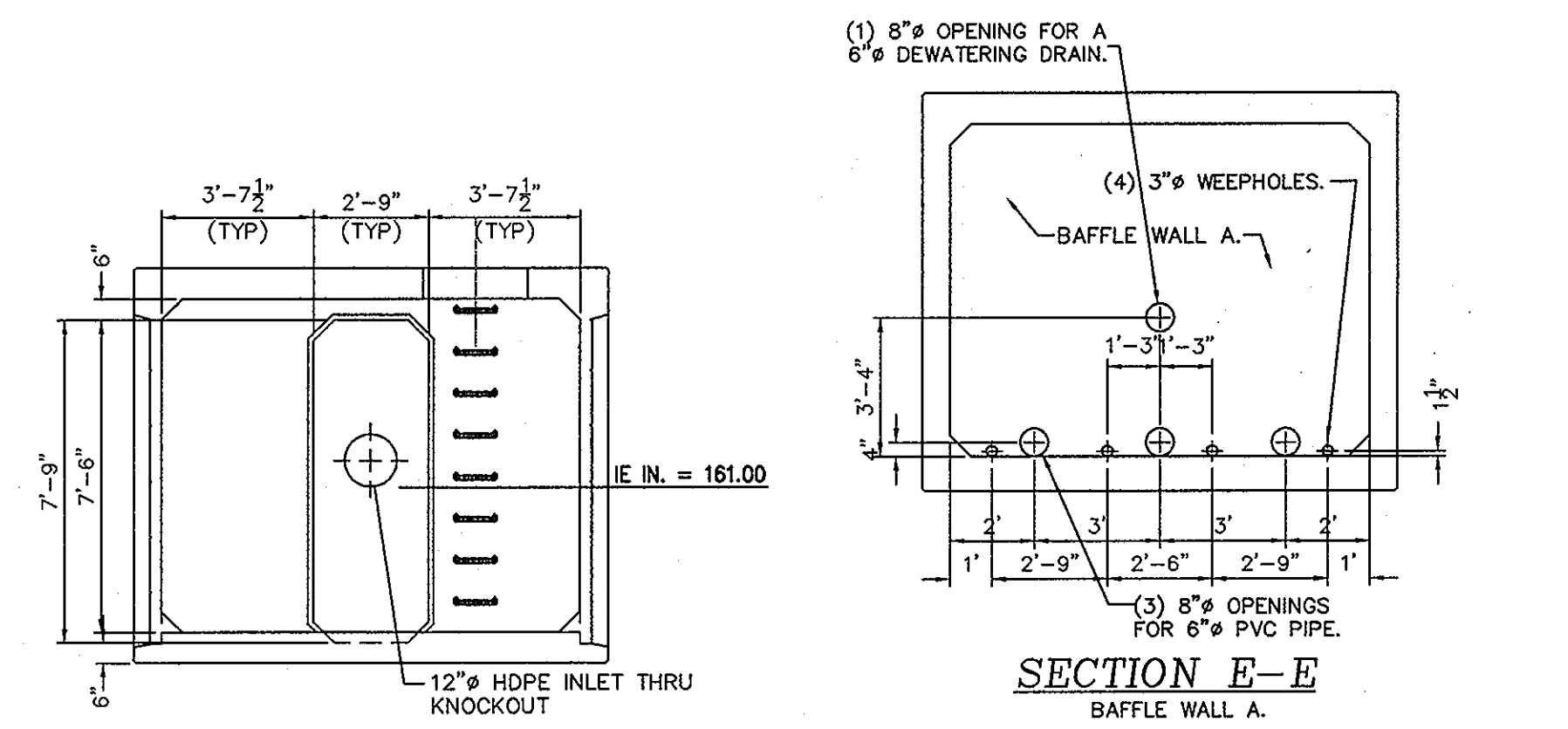
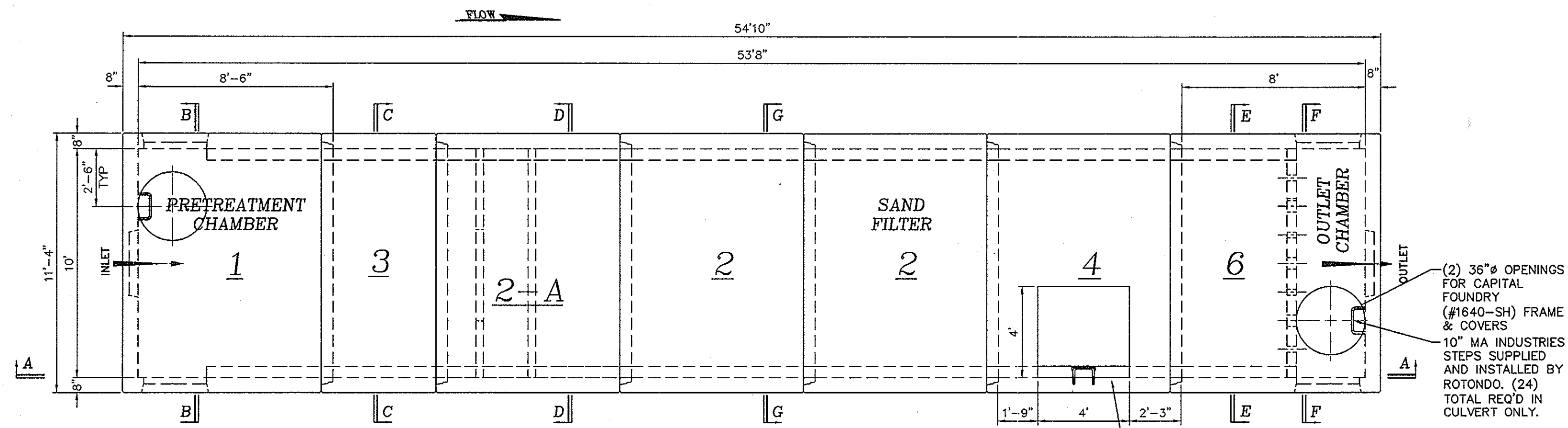
TAX MAP 47 GRID 23 PARCEL E-1

ELECTION DISTRICT No. 6

HOWARD COUNTY, MD

STORM DRAIN & STORMWATER MANAGEMENT PROFILES & DETAILS

Des By: GPI	Scale AS SHOWN	Proj. No. 2008016
Drn By: MAH	Date 3/23/09	DRAWING NO 6 OF 12
Chk By: MAH	Approved	



NOTE:
ALL DEBRIS ARE TO BE KEPT OUT OF FACILITY DURING AND AFTER CONSTRUCTION
INSTALL PER MANUFACTURERS INSTRUCTIONS

INSTALLATION INSTRUCTIONS

- REFER TO "WATERTIGHT BOX CULVERT INSTALLATION PROCEDURES" FOR PROPER INSTALLATION INSTRUCTIONS.
- BACKFILL INSTRUCTIONS**
- THE EXCAVATION MUST BE DEWATERED UNTIL THE CHAMBER HAS BEEN COMPLETELY BACKFILLED TO ELIMINATE ANY POSSIBILITY OF FLOATATION.
- THE TWO SHORT WALLS MUST BE COMPLETELY BACKFILLED AND COMPACTED PRIOR TO THE LONG WALLS TO PROPERLY COMPRESS THE JOINTS AND TO ASSURE A GOOD TIGHT SEAL.
- THE TANK MUST BE COMPLETELY BACKFILLED PRIOR TO FILLING WITH WATER (WATER TEST) TO PREVENT POTENTIAL JOINT SEPERATION.

DESIGN NOTES:

- DESIGNED FOR 0'-0" TO 8'-0" FILL
-HS 20 DESIGN LOADING
-28 DAY CONCRETE STRENGTH = 5000 PSI MIN.
COVER TO STEEL = 1" UNLESS OTHERWISE NOTED

ANCHORS

8 TON BURKE SPREAD ANCHORS TO BE PLACE IN STANDARD LOCATIONS

INSPECTION & MAINTENANCE SCHEDULE

THE WATER LEVEL IN THE FILTER CHAMBER SHALL BE MONITORED BY THE OWNER ON A QUARTERLY BASIS AND AFTER EVERY LARGE STORM FOR THE FIRST YEAR AFTER COMPLETION OF CONSTRUCTION AND A LOG SHALL BE MAINTAINED OF THE RESULTS INDICATING THE RATE OF DEWATERING AFTER EACH STORM AND THE WATER DEPTH FOR EACH OBSERVATION. ONCE THE GOVERNING JURISDICTION STAFF INDICATES THAT SATISFACTORY PERFORMANCE OF THE STRUCTURE HAS BEEN DEMONSTRATED, THE MONITORING SCHEDULE CAN BE REDUCED TO A SEMIANNUAL BASIS. THE BMP SHALL BE INSPECTED ANNUALLY BY REPRESENTATIVES OF THE OWNER AND THE GOVERNING JURISDICTION TO ASSURE CONTINUED PROPER FUNCTIONING.

10'-0" x 8'-0" x 53'-8" WATERTIGHT WET SAND FILTER STRUCTURE
MANUFACTURED BY ROTONDO PRECAST
SCALE: 1/4" = 1'

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL DIMENSIONS SHOWN ON THESE PLANS, AND TO SUPPLY LOCATIONS AND SIZES OF ANY ADD'L OPENINGS REQ'D. STRUCTURE(S) WILL BE MANUFACTURED IN ACCORDANCE WITH RETURNED DRAWING(S), AND ANY OMISSIONS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.

MAIER INDUSTRIAL PARK - SECTION 1
9030 MAIER ROAD
TAX MAP 47 GRID 23 PARCEL E-1
ELECTION DISTRICT No. 6
HOWARD COUNTY, MD

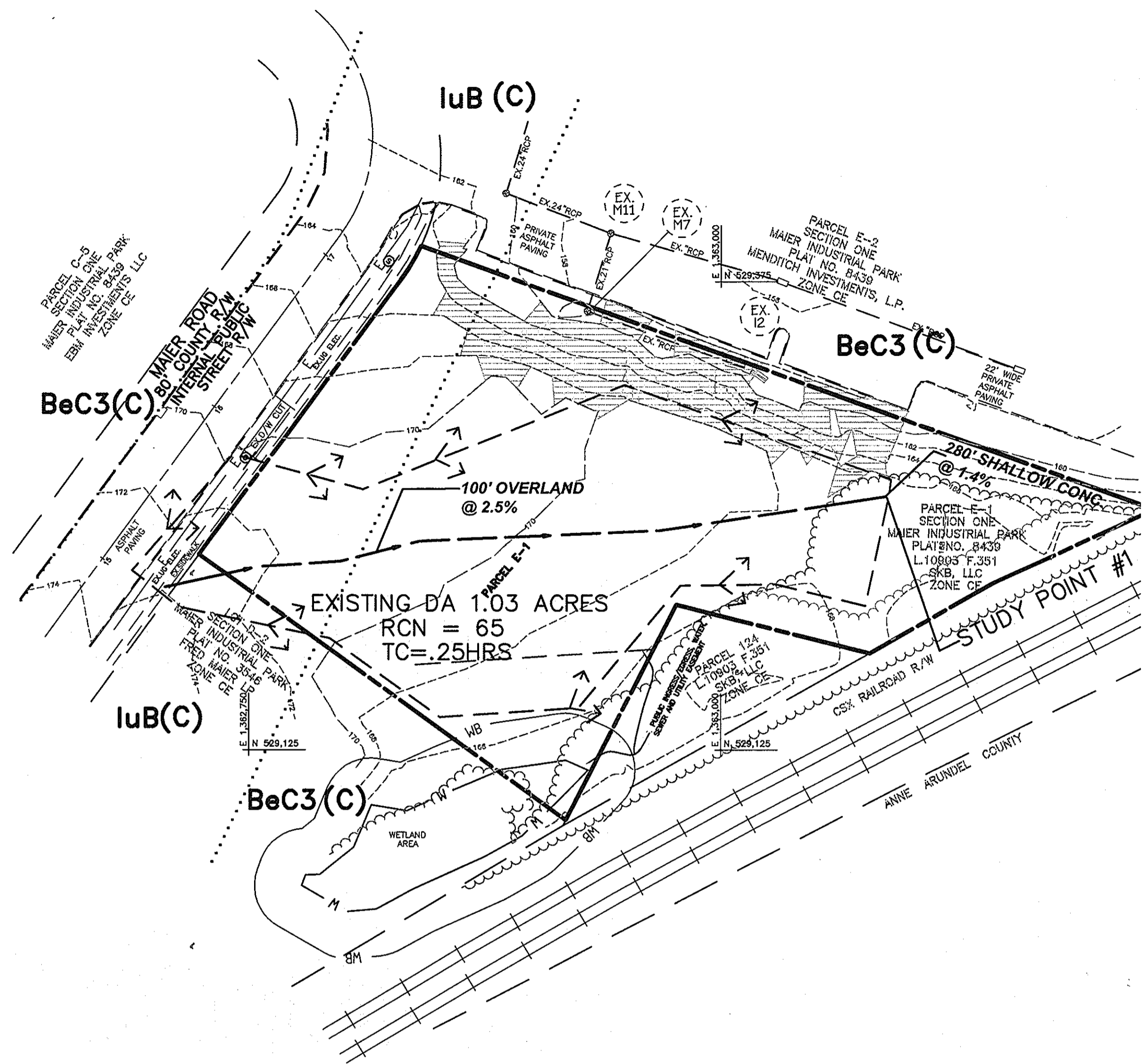
APPROVED: DEPARTMENT OF PLANNING AND ZONING			
<i>Chad Adams</i> CHIEF-DEVELOPMENT ENGINEERING DIVISION	10-22-09 DATE		
<i>Walt Heilich</i> CHIEF-DIVISION OF LAND DEVELOPMENT	10-29-09 DATE		
<i>David M. Wright</i> DIRECTOR	10-26-09 DATE	Date	No
		Revision	Description

ENGINEER/SURVEYOR:
GREENMAN-PEDERSEN, INC.
ENGINEERS, ARCHITECTS, PLANNERS, CONSTRUCTION ENGINEERS & INSPECTORS
10977 GUILFORD ROAD, ANNAPOLIS JUNCTION, MD 20701
WASH. (301) 470-2772 BALT. (410) 880-3055
FAX: (301) 490-2649 www.gpinet.com

Professional Certification:
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland License No. 19916, Expiration Date: 1/14/2011.

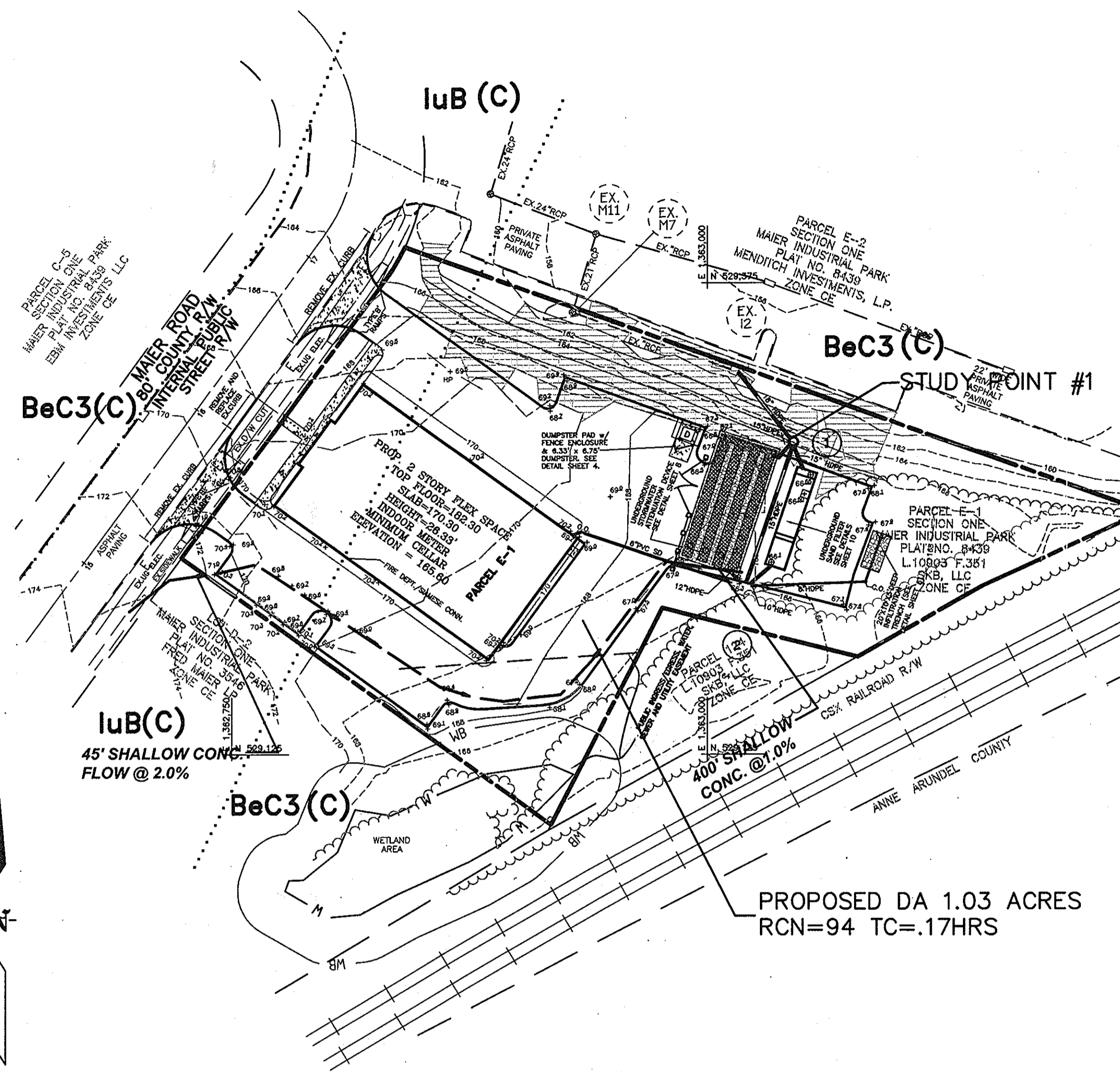
OWNER:
SKB, LLC
12312 CONWAY ROAD
BELTSVILLE, MARYLAND, 20704
ATTN: SCOTT BRYAN, PRESIDENT
PHONE: (301) 419-2260
FAX: (301) 419-3059

STORMWATER MANAGEMENT SAND FILTER DETAILS		
Des By: GPI	Scale AS SHOWN	Proj No. 2008016
Drn By: MAH	Date 3/23/09	DRAWING NO
Chk By: MAH	Approved	7 OF 12



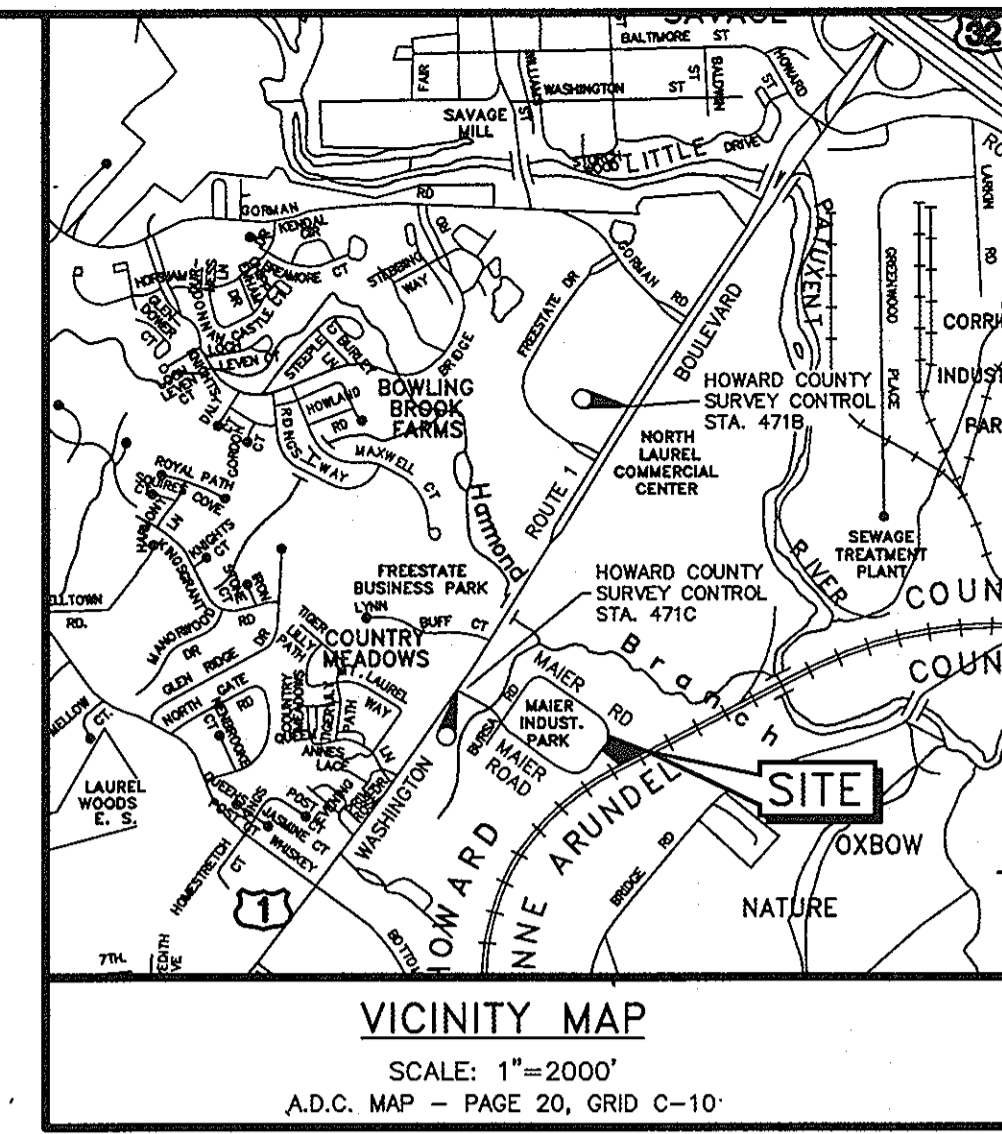
EXISTING DRAINAGE AREA MAP

SCALE: 1"=50'



PROPOSED DRAINAGE AREA MAP

SCALE: 1"=50'



STORM DRAIN DA

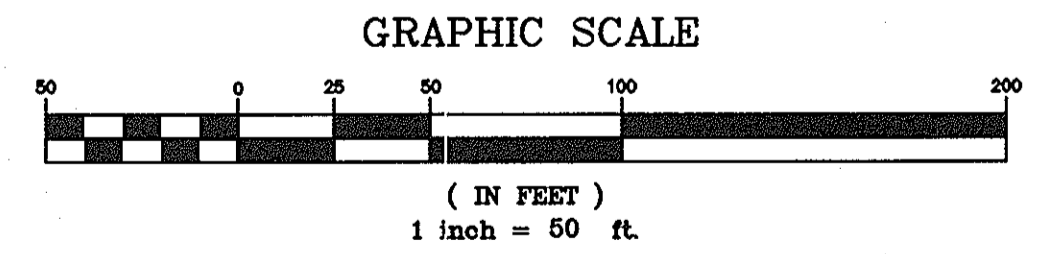
SUB AREA	ZONING	AREA (FT-FT)	AREA (AC)	% IMP	"C"10YR.	"C"100YR.
I2	CE-CJ COMMERCIAL	44,867	1.03	85	.72	.89
EX 12	CE-CJ COMMERCIAL	4,356	0.10	85	.72	.89

SOIL CLASSIFICATIONS

BEC3 BELTSVILLE SILT LOAM HYDROLOGIC CLASS "C"
luB IUKA SILT LOAM HYDROLOGIC CLASS "C"

LEGEND

	EXISTING CONTOUR		STREAM LINE
	PROPOSED CONTOUR		EXISTING GASLINE
	PROPOSED SPOT ELEVATION		EXISTING WATER
	PROPERTY LINE		PROPOSED STORM DRAIN
	RIGHT-OF-WAY		PUBLIC UTILITY EASEMENT
	PROPOSED CURB		PROPOSED SEWER
	PROPOSED WATER		PROPOSED SEWER MANHOLE
	EXISTING TREE LINE		PROPOSED STORM DRAIN INLET
	PROPOSED TREE LINE		PROPOSED STORM DRAIN MANHOLE
	LIMIT OF DISTURBANCE		PROPOSED BUILDING LIGHT
	100-YEAR FLOODPLAIN		LOW POINT, HIGH POINT
	FLOODPLAIN EASEMENT		GRAVEL HATCH
	WETLAND		PAVING HATCH
	25' WETLAND BUFFER		CONCRETE HATCH
	50' STREAM BUFFER		FENCE
	SOILS BOUNDARY		PROPOSED SODDED SWALE
	SOILS CLASSIFICATION		PROPOSED RIPRAP
			PROPOSED SOD MAINTENANCE ROAD
			TC PATH
			STORMWATER MANAGEMENT EXISTING DRAINAGE DIVIDE
			STORMWATER MANAGEMENT PROPOSED DRAINAGE DIVIDE
			PROPOSED STORM DRAIN DRAINAGE DIVIDE



APPROVED: DEPARTMENT OF PLANNING AND ZONING

	10-22-09		
CHIEF-DEVELOPMENT ENGINEERING DIVISION	DATE		
	10-29-09		
CHIEF-DIVISION OF LAND DEVELOPMENT	DATE		
	10/30/09		
DIRECTOR	DATE	No	Revision Description

ENGINEER/SURVEYOR:

GREENMAN-PEDERSEN, INC.
ENGINEERS, ARCHITECTS, PLANNERS, CONSTRUCTION ENGINEERS & INSPECTORS
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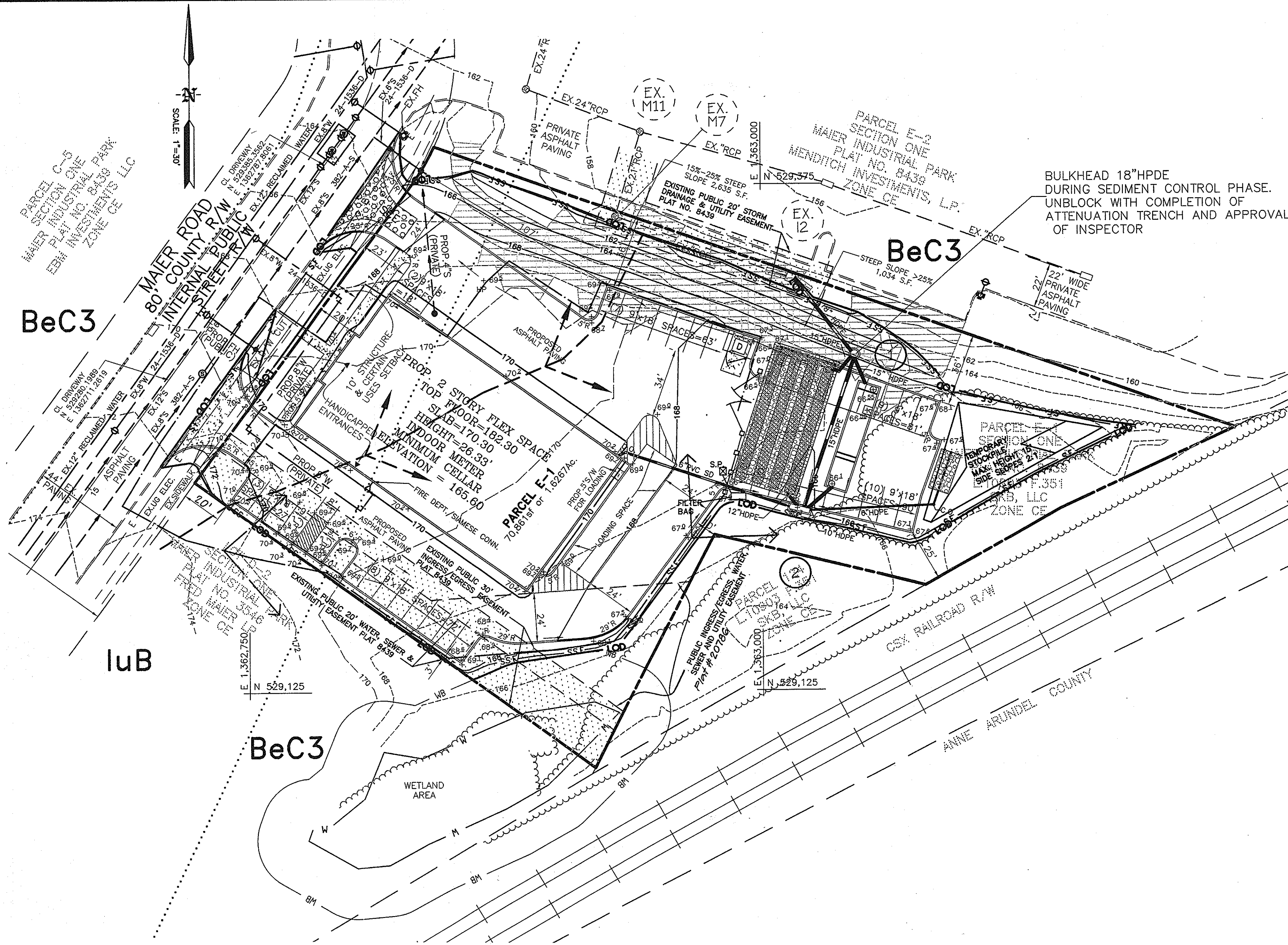
MAIER INDUSTRIAL PARK - SECTION 1
9030 MAIER ROAD
TAX MAP 47 GRID 23 PARCEL E-1
ELECTION DISTRICT No. 6
HOWARD COUNTY, MD

DRAINAGE AREA MAP
STORM DRAIN/
STORMWATER MANAGEMENT

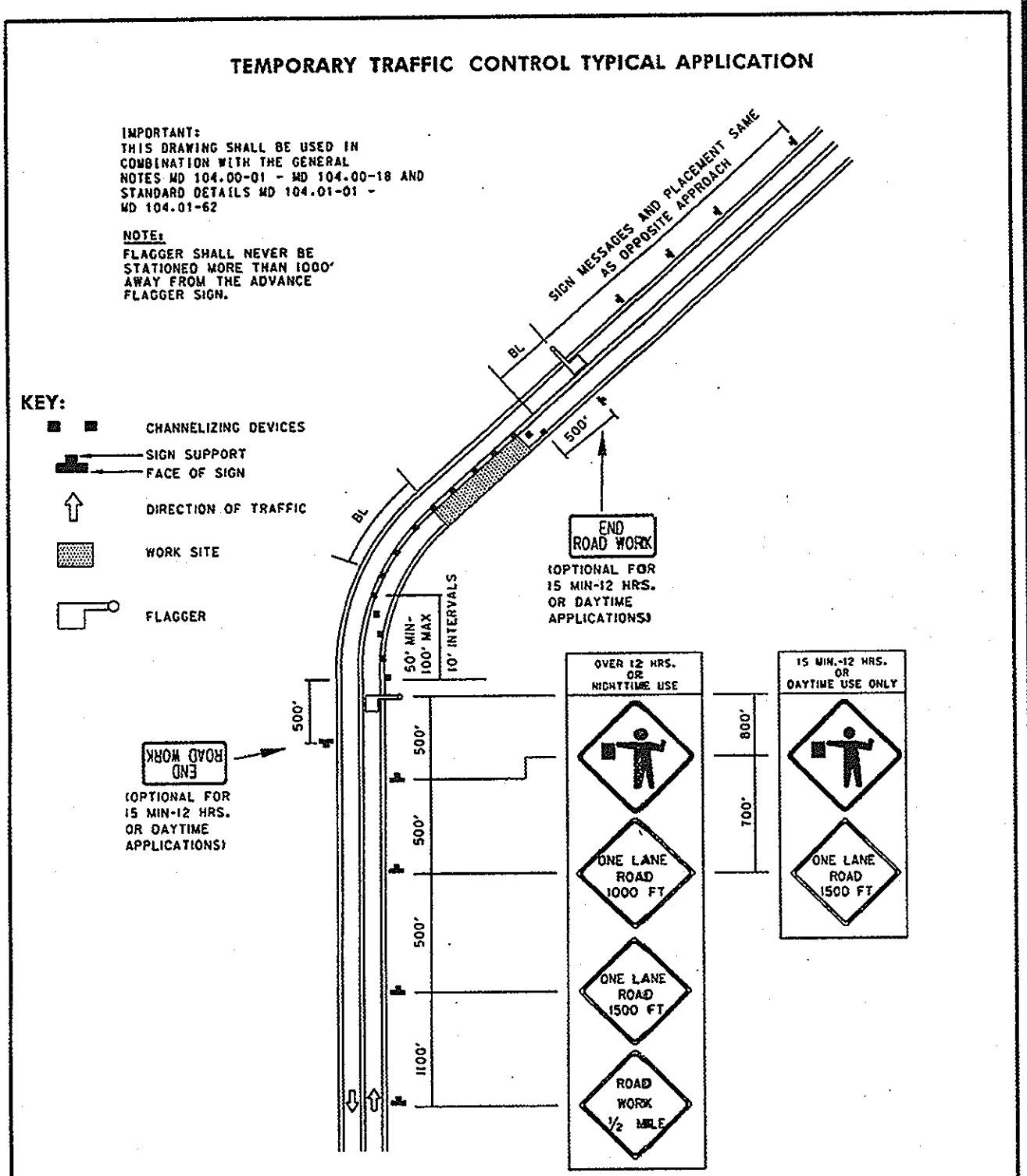
Des By: GPI	Scale AS SHOWN	Proj No. 2008016
Drn By: MAH	Date 3/23/09	DRAWING NO 8 OF 12
Chk By: MAH	Approved	

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- PROPERTY LINE
- RIGHT-OF-WAY
- PROPOSED CURB
- PROPOSED WATER
- EXISTING TREE LINE
- PROPOSED TREE LINE
- LIMIT OF DISTURBANCE
- 100-YEAR FLOODPLAIN
- FLOODPLAIN EASEMENT
- WETLAND
- 25' WETLAND BUFFER
- 50' STREAM BUFFER
- STREAM LINE
- EXISTING GASLINE
- EXISTING WATER
- PROPOSED STORM/DRAIN
- PUBLIC UTILITY EASEMENT
- PROPOSED SEWER
- PROPOSED SEWER MANHOLE
- PROPOSED STORM DRAIN INLET
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED BUILDING LIGHT
- LOW POINT, HIGH POINT
- GRAVEL HATCH
- PAVING HATCH
- CONCRETE HATCH
- FENCE
- PROPOSED SODDED SWALE
- PROPOSED RIPRAP
- PROPOSED SOD MAINTENANCE ROAD
- CREDITED FOREST RETENTION AREA
- FOREST CONSERVATION SIGN (100' APART MAX.)
- PRIVATE LIGHT POLE
- PUBLIC LIGHT POLE
- STOP SIGN
- SILT FENCE
- SUPER SILT FENCE
- SUMP PIT
- EXISTING DRAINAGE DIVIDE
- PROPOSED DRAINAGE DIVIDE
- STONE CONSTRUCTION ENTRANCE



SEDIMENT CONTROL PLAN
SCALE: 1"=30'



SPECIFICATION 104	CATEGORY CODE ITEMS	Maryland Department of Transportation STATE HIGHWAY ADMINISTRATION STANDARDS FOR HIGHWAYS AND INCIDENTAL STRUCTURES FLAGGING OPERATION/2-LANE, 2-WAY EQLSS LESS THAN 40 MPH STANDARD NO. MD 104.02-10
APPROVED	DIRECTOR - OFFICE OF TRAFFIC AND SAFETY APPROVAL - DIVISION OF HIGHWAY ADMINISTRATION REVISION - 8/23/09 REVISION - 3/23/09 REVISION - 10/14/09	

MAINTENANCE OF TRAFFIC PLAN

Sequence of Construction

1. Obtain grading permit for construction.
2. Notify Howard County Departments of Permits & Licenses, Grading and Sediment Control Inspections @ (410)313-1855 at least 48 hours prior to beginning work.
3. Install Stabilized construction entrance.(day one)
4. Install perimeter SSF and SF as shown. (days 2-4)
5. With stabilization of erosion/sediment controls and permission of inspector, rough grade site within limits of disturbance. (days 5-30)
6. Once site has been Rough Graded, Install proposed Water, Sewer, and begin base paving ,and begin building construction. (days 20-60)
7. Install attenuation trench, sand filter, infiltration trench, and storm drain. Bulkhead 18" HPDE from site. Do not allow debris or silt to enter sand filter, infiltration trench, or attenuation chamber. Use sump pit with filter bag for dewatering work area. (days 60-120)
8. With attenuation trench, sand filter, infiltration trench and storm drain completed, complete curb and gutter and paving.(days 110-140)
9. Upon completion of building construction and paving, fine grade and permanently stabilize all remaining disturbed areas. Remove all old junk and new junk, trash, debris, and any other unnatural items. (days 140-150)
10. With stabilization of disturbed areas, and approval of inspector, unblock storm drain to sand filter, infiltration trench, and attenuation trench and remove remaining temporary sediment control measures. (days 150-160)

BY THE ENGINEER:

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

Signature of Engineer: *[Signature]* DATE: 10.14.09

BY THE DEVELOPER:

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

Signature of Developer: *[Signature]* DATE: 10/14/09

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief-Development Engineering Division: *[Signature]* DATE: 10.22.09
 Chief-Division of Land Development: *[Signature]* DATE: 10.29.09
 Director: *[Signature]* DATE: 11/20/09

**HOWARD SOIL CONSERVATION DISTRICT
STANDARD SEDIMENT CONTROL NOTES**

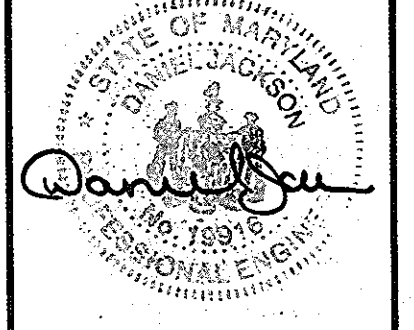
1. A minimum of 48 hours notice must be given to the Howard County Department of Inspections, Licenses and Permits, Sediment Control Division prior to the start of any construction (313-1855).
2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the most current MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL and revisions thereto.
3. Following initial soil disturbance or re-disturbance, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol 1, Chapter 12 of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding (Sec. 51), sod (Sec. 54), temporary seeding (Sec. 50) and mulching (Sec. 52). Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.

6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
7. Site Analysis:
 Total Area of Site 1.52 Acres
 Area Disturbed 1.38 Acres
 Area to be roofed or paved .95 Acres
 Area to be vegetatively stabilized 0.43 Acres
 Total Cut 600 Cu. Yds.
 Total Fill 600 Cu. Yds.
8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
9. Additional sediment control must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
11. Trenches for the construction of utilities is limited to three pipe lengths or that which shall be back-filled and stabilized by the end of each work day, whichever is shorter.



ENGINEER/SURVEYOR:
GREENMAN-PEDERSEN, INC.
 ENGINEERS, ARCHITECTS, PLANNERS, CONSTRUCTION ENGINEERS & INSPECTORS
 10977 GUILFORD ROAD, ANNAPOLIS JUNCTION, MD 20701
 WASH. (301) 470-2772 BALT. (410) 880-3055
 FAX: (301) 490-2649 www.gpinet.com

Professional Certification:
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland License No. 19916, Expiration Date: 1/14/2011.

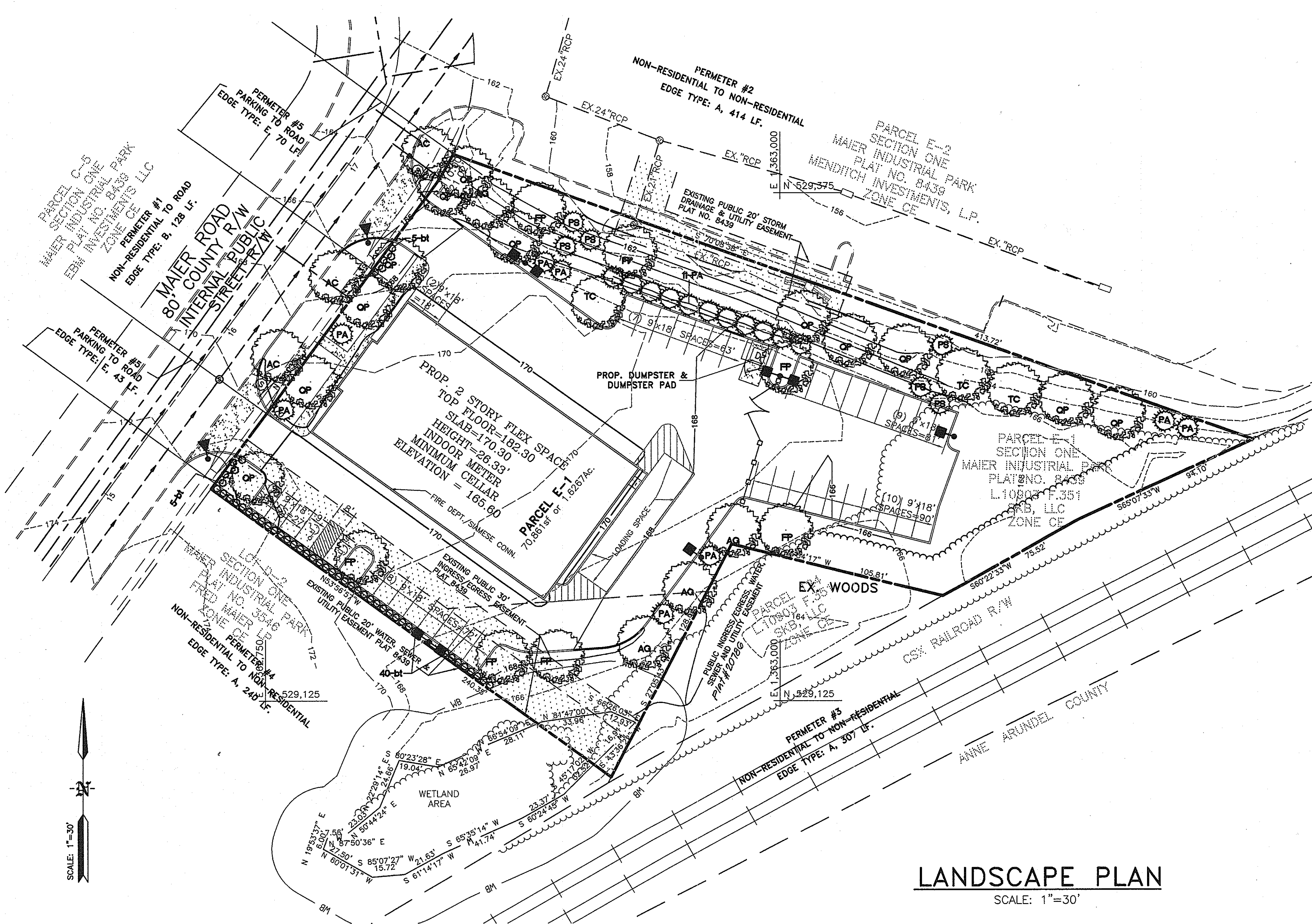


OWNER:
 SKB, LLC
 12312 CONWAY ROAD
 BELTSVILLE, MARYLAND, 20704
 ATTN: SCOTT BRYAN, PRESIDENT
 PHONE: (301) 419-2260
 FAX: (301) 419-3059

MAIER INDUSTRIAL PARK - SECTION 1
9030 MAIER ROAD
 TAX MAP 47 GRID 23 PARCEL E-1
 ELECTION DISTRICT NO. 6
 HOWARD COUNTY, MD

EROSION AND SEDIMENT CONTROL PLAN, MOT PLAN

Des By: GPI	Scale 1"=30'	Proj No. 2008016
Drn By:	Date 3/23/09	DRAWING NO 9 OF 12
Chk By: MAH	Approved	



SPECIFICATIONS FOR PLANTING

Plant Identification: All plants shall be properly marked for identification and checking.

List of Plant Materials: The Contractor will verify plant quantities prior to bidding and any discrepancies shall be brought to the attention of the Landscape Architect. The Contractor shall furnish and plant all plants required to complete the work as shown on the drawings. Substitutions shall not be made without the written approval of the Landscape Architect. This contract will be based on the bidder having verified, prior to bidding, the availability of the required plant materials as specified on the Plant List.

Plant Quantity: All shrubs shall be dense, heavy to the ground, and well grown, showing evidence of having been sheared regularly, and sound, free of plant disease or insect eggs, and shall have a healthy, normal root system. Plants shall be nursery grown. Plants shall not be pruned prior to delivery. The shape of the plant shall in general conform to its natural growth proportions unless otherwise specified. All plants including container grown shall conform to American Standard for Nursery Stock (ANSI Z60.1, latest edition), and shall have a well-shaped, heavy branch structure for the species. Evergreen trees are to have an internode no greater than 24" and shall be uniformly well-shaped. All plant sizes shall average at least the middle of the range given in the plant list.

Plant Spacing: Plant spacing is to scale on the plan or as shown on the plant list.

Soil Mix: Soil mix will be 2/3 existing soil and 1/3 leaf mold or equal organic material, thoroughly mixed and homogenized.

Ball Size: The ball size shall conform to the American Association of Nurserymen's publication entitled American Standard for Nursery Stock, ANSI Z60.1, latest edition.

Excavation: Holes for all plants shall be 18" larger in diameter than size of ball or container and shall have vertical sides. Hedges shall be planted in a trench 12" wider than ball diameter. Beds for mass planting shall be entirely rototilled to a depth of 8" and shall be 18" beyond the average outside edge of plant balls. A 2" layer of organic material (i.e., leaf mold) will be incorporated into plant beds by tilling again.

Planting: Backfilling shall be done with soil mix, reasonably free of stones, subsoil, clay lumps, stumps, roots, weeds, bermuda grass, litter, toxic substances, or any other material which may be harmful to plant growth or hinder grading, planting, or maintenance operations. Should any unforeseen or unsuitable planting conditions arise, such as faulty soil drainage or chemical residues, they should be called to the attention of the Landscape Architect and Owner for adjustments before planting. The plant shall be set plumb and straight and shall be staked at the time of planting. Backfill shall be well worked about the mole and settled by watering. Plants will be planted higher than surrounding grade.

Shrubs will be 1" higher and trees will be 3" higher. Remove rope from around tree trunks and lay back burlap from top of all B&B material. Nylon or vinyl rope and/or burlap will be completely removed from all plant material prior to planting.

Transplanting Trees by Tree Machines: Trees shall be moved by machines that provide a minimum of 90 per 1" of tree caliper. Holes are to be dug by the same size machine as the one transporting the plant. The plant material shall be transplanted in approximately the same growing condition as it is presently growing, in terms of soil type and moisture content. Fertilize and gey as described in these plans and specifications.

Cultivation: All trenches and shrub beds shall be cultivated, edged and mulched to a depth of 3" with shredded bark. The area around isolated plants shall be mulched to at least 6" greater diameter than that of the hole. Plant beds adjacent to buildings shall be mulched to the building wall.

Maintenance: The Contractor shall be responsible during the contract and up to the time of acceptance for keeping the planting and work incidental thereto in good condition, by replanting, plant replacement, watering, weeding, cultivating, pruning and spraying, restaking and cleaning up and by performing all other necessary operations of care for promotion of good plant growth so that all work is in satisfactory condition at time of acceptance, at no additional cost to the Owner.

Fertilizer: Fertilizer shall be a slow release type contained in polyethylene perforated bags with micro-pore holes for controlled feeding, such as Easy Grow as manufactured by Specialty Fertilizer, Inc., Box 355, Suffern, New York 10901, or approved equal. The bags shall contain 1 ounce of soluble fertilizer analysis 16-18-18 per unit to last three (3) years and shall be applied during planting as recommended by the manufacturer. If fertilizer packets are not used, the Contractor shall apply granular fertilizer to the soil mix with 10-8-4 analysis, 50% organic, at the following rates: Trees @ 2-3 lbs. per caliper inch; Shrub Beds @ 3-5 lbs. per 100 sq. ft.; and Groundcover Beds @ 2-3 lbs. per 100 sq. ft.

Groundcover: All areas of groundcover shall be rototilled to a depth of 6". Apply 2" of organic material and rototill until thoroughly mixed. Apply fertilizer as stated above.

Guarantee and Replacement: All material shall be unconditionally guaranteed for one (1) year. The Contractor is responsible for watering but not for losses or damage caused by mechanical injury or vandalism.

LANDSCAPING AND FOREST CONSERVATION NOTES

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- THE FOREST CONSERVATION OBLIGATION OF 0.24 ACRES OF AFFORESTATION FOR THIS PLAN HAS BEEN MET BY FEE-IN-LIEU PAYMENT OF \$7,840.80 (0.24 AC = 10,454.4 SQ. FT. @ \$0.75 PER SQ. FT.) TO THE HOWARD COUNTY FOREST CONSERVATION FUND.
- POSTED AS PART OF THE DEVELOPER'S AGREEMENT, THE LANDSCAPE BOND AMOUNT IS \$13,140.

**SCHEDULE B
PARKING LOT INTERNAL LANDSCAPING**

Number of Parking Spaces	41
Number of Trees Required	3
Number of Trees Provided Shade Trees Other Trees (2:1 substitution)	3 0
Number of Landscaped Islands Required	3
Number of Landscaped Islands Provided	3

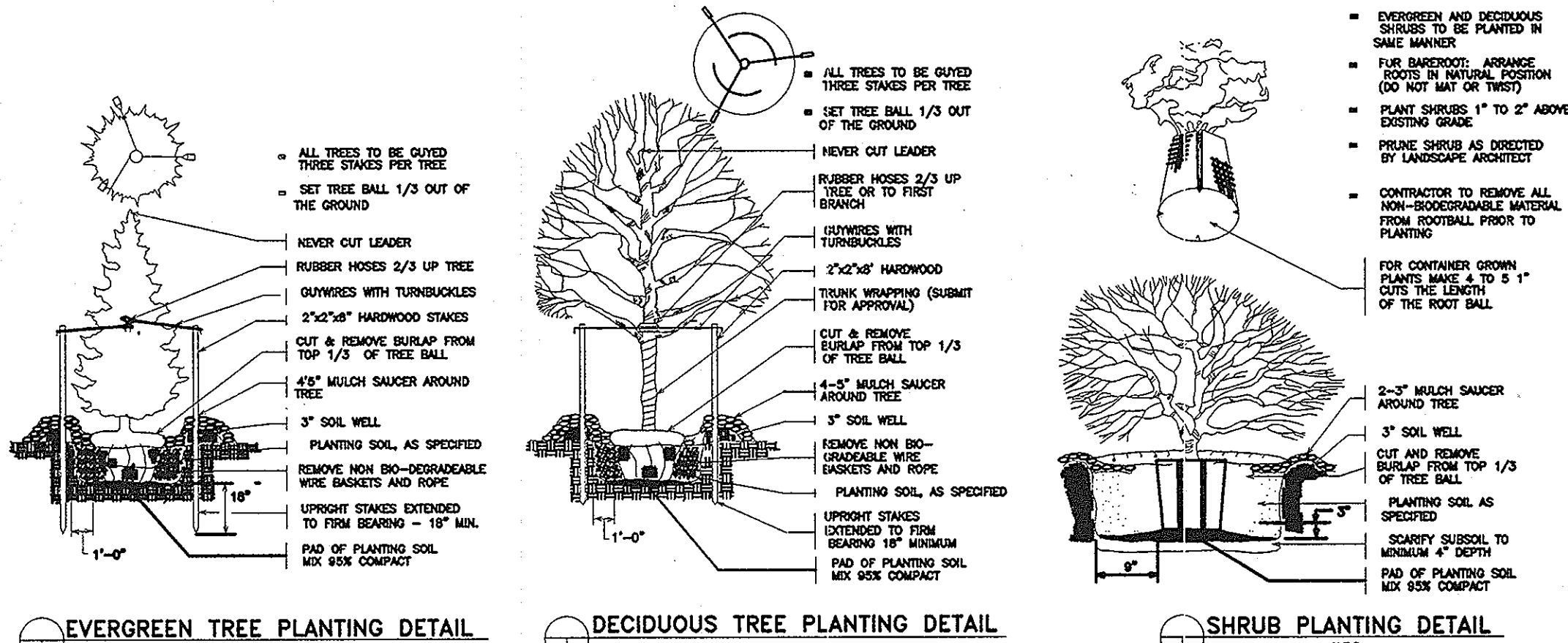
**SCHEDULE A
PERIMETER LANDSCAPE EDGE**

Perimeter	PERIMETER 1	PERIMETER 2	PERIMETER 3	PERIMETER 4	PERIMETER 5
Landscape Edge Type	B	A	A	A	E
Linear Feet of Perimeter	128 lf.	414 lf.	307 lf.	240 lf.	113 lf.
Credit for Existing Vegetation	NO	NO	YES(307')	YES(25')	NO
Credit for Wall, Fence or Berm	NO	NO	NO	NO	NO
Number of Plants Required					
Shade Trees	2	2	2	6	3
Evergreen Trees	0	0	0	0	0
Shrubs	0	0	0	60	10
Number of Plants Provided					
Shade Trees	2	10	0	4	3
Evergreen Trees (2:1 substitution)	2	21	2	0	0
Other Trees (2:1 substitution)	0	0	EX. VEG. (307')	EX. VEG. (25')	0
Shrubs (10:1 substitution)	0	0	0	40	10

PERIMETER NOTE: LANDSCAPING WITHIN PERIMETER 1 IS LIMITED DUE TO SIGHT LINE REQUIREMENTS AND LANDSCAPE MATERIAL SHALL BE PROVIDED & INSTALLED IN COORDINATION WITH CIP-1110-2. TYPE B PLANT SUBSTITUTIONS BASED ON OC SPACING & BGE PREFERENCES FOR SPECIES.

TYPE E landscape planting, requires 24"-30" high Shrubs and 2.5"-3" caliper shade trees.

LANDSCAPE PLAN
SCALE: 1"=30'



PLANT SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	COND.	REMARKS
FP	7	<i>Fraxinus pennsylvanica</i>	Patmore Green Ash	2.5" - 3" cal.	B&B	
AG	4	<i>Acer griseum</i>	Paperbark Maple	2.5" cal.	B&B	
QP	12	<i>Quercus phellos</i>	Willow Oak	2.5" - 3" cal.	B&B	
PS	6	<i>Pinus strobus</i>	Eastern White Pine	6-8 ft. ht.	B&B	
PA	19	<i>Picea abies</i>	Norway Spruce	6-8 ft. ht.	B&B	
TC	3	<i>Tilia cordata</i> "Greenspire"	Greenspire Littleleaf Linden	8-10 ft. ht.	B&B	Min 2.5" cal
bt	50	<i>Berberis thunbergii</i> "Rosy Glow"	Rosy Glow Barberry	24"-30" ht	Cont.	
AC	3	<i>Acer campestre</i> (STREET TREE)	Hedge Maple	2.5" cal.	B&B	LIMB-UP AS NEEDED TO MEET SIGN DISTANCE REQUIREMENTS

STREET TREE NOTE:
STREET TREE PLANTING TO BE PROVIDED & INSTALLED IN COORDINATION WITH LANDSCAPING SHOWN ON CIP-1110-2, AND SURETY FOR THE CAPITAL PROJECTS IS NOT PROVIDED AS PART OF THE LANDSCAPE SURETY FOR THIS PLAN.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Paul Edwards 10-22-09
CHIEF DEVELOPMENT ENGINEERING DIVISION NY DATE

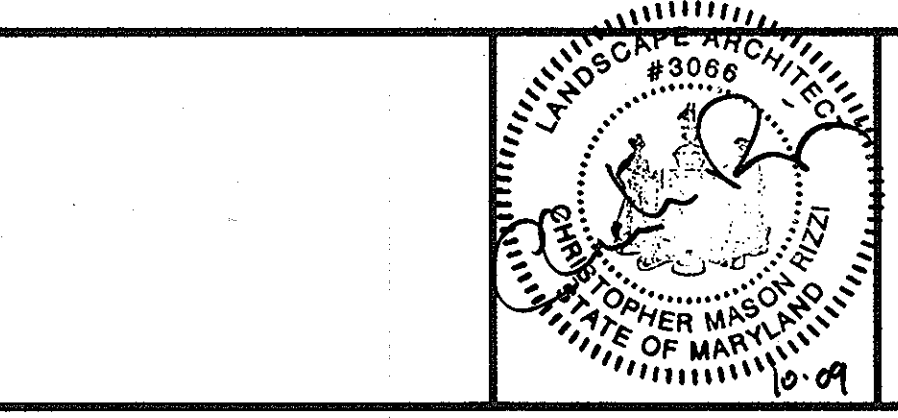
Mark A. Lyle 10/26/09
CHIEF DIVISION OF LAND DEVELOPMENT DATE

Mark A. Lyle 10/26/09
DIRECTOR DATE

Date	No	Revision Description

ENGINEER/SURVEYOR:
GREENMAN-PEDERSEN, INC.
ENGINEERS, ARCHITECTS, PLANNERS, CONSTRUCTION ENGINEERS & INSPECTORS
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WASH. (301) 470-2772 BALT. (410) 880-3055
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GPI



OWNER:
SKB, LLC
12312 CONWAY ROAD
BELTSVILLE, MARYLAND, 20704
ATTN: SCOTT BRYAN, PRESIDENT
PHONE: (301) 419-2260
FAX: (301) 419-3059

MAIER INDUSTRIAL PARK - SECTION 1
9030 MAIER ROAD
TAX MAP 47 GRID 23 PARCEL E-1
ELECTION DISTRICT No. 6
HOWARD COUNTY, MD

FINAL LANDSCAPE PLAN

Des By: GPI	Scale AS SHOWN	Proj No. 2008016
Drn By: MAH	Date 3/23/09	DRAWING NO
Chk By: MAH	Approved	11 OF 12

SCALE: 1"=30'

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- PROPERTY LINE
- RIGHT-OF-WAY
- PROPOSED CURB
- PROPOSED WATER
- EXISTING TREE LINE
- PROPOSED TREE LINE
- LIMIT OF DISTURBANCE
- 100-YEAR FLOODPLAIN
- FLOODPLAIN EASEMENT
- WETLAND
- 25' WETLAND BUFFER
- 50' STREAM BUFFER
- STREAM LINE
- EXISTING GASLINE
- EXISTING WATER
- PROPOSED STORM DRAIN
- PUBLIC UTILITY EASEMENT
- PROPOSED SEWER
- PROPOSED SEWER MANHOLE
- PROPOSED STORM DRAIN INLET
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED BUILDING LIGHT
- LOW POINT, HIGH POINT
- GRAVEL HATCH
- PAVING HATCH
- CONCRETE HATCH
- FENCE
- PROPOSED SODDED SWALE
- PROPOSED RIPRAP
- PROPOSED SOD MAINTENANCE ROAD
- CREDITED FOREST RETENTION AREA
- FOREST CONSERVATION SIGN (100' APART MAX.)

FOREST CONSERVATION WORKSHEET
VERSION 1.0
(Enter in Yellow Cells)

NET TRACT AREA:

A. Total tract area.....	=	1.63
B. Area within 100 year floodplain.....	=	0.00
C. Area to remain in agricultural production.....	=	0.00
D. Net tract area.....	=	1.63

LAND USE CATEGORY: (from table 3.2.1, page 40, Manual)

Input the number "1" under the appropriate land use zoning, and limit to only one entry.

ARA	MDR	IDA	HDR	MPD	CIA
0	0	0	0	0	1

E. Afforestation Threshold..... 15% x D = 0.24
F. Conservation Threshold..... 15% x D = 0.24

EXISTING FOREST COVER:

G. Existing forest cover (excluding floodplain).....	=	0.00
H. Area of forest above afforestation threshold.....	=	0.00
I. Area of forest above conservation threshold.....	=	0.00

BREAK EVEN POINT:

J. Forest retention above threshold with no mitigation.....	=	0.00
K. Clearing permitted without mitigation.....	=	0.00

PROPOSED FOREST CLEARING:

L. Total area of forest to be cleared.....	=	0.00
M. Total area of forest to be retained.....	=	0.00

PLANTING REQUIREMENTS:

N. Reforestation for clearing above conservation threshold.....	=	0.00
P. Reforestation for clearing below conservation threshold.....	=	0.00
Q. Credit for retention above conservation threshold.....	=	0.00
R. Total reforestation required.....	=	0.00
S. Total afforestation required.....	=	0.24
T. Total reforestation and afforestation required.....	=	0.24

NOTE: THE FOREST CONSERVATION OBLIGATION OF 0.24 ACRES OF AFFORESTATION FOR THIS PLAN HAS BEEN MET BY FEE-IN-LIEU PAYMENT OF \$ 7,840.80 (0.24 AC = 10,454.4 sq. ft. X \$ 0.75 PER sq. ft.) TO THE HOWARD COUNTY FOREST CONSERVATION FUND.

NONE OF THE VEGETATED AREA ON THIS PARCEL QUALIFIES AS FOREST SINCE IT IS BELOW 10,000 S.F.

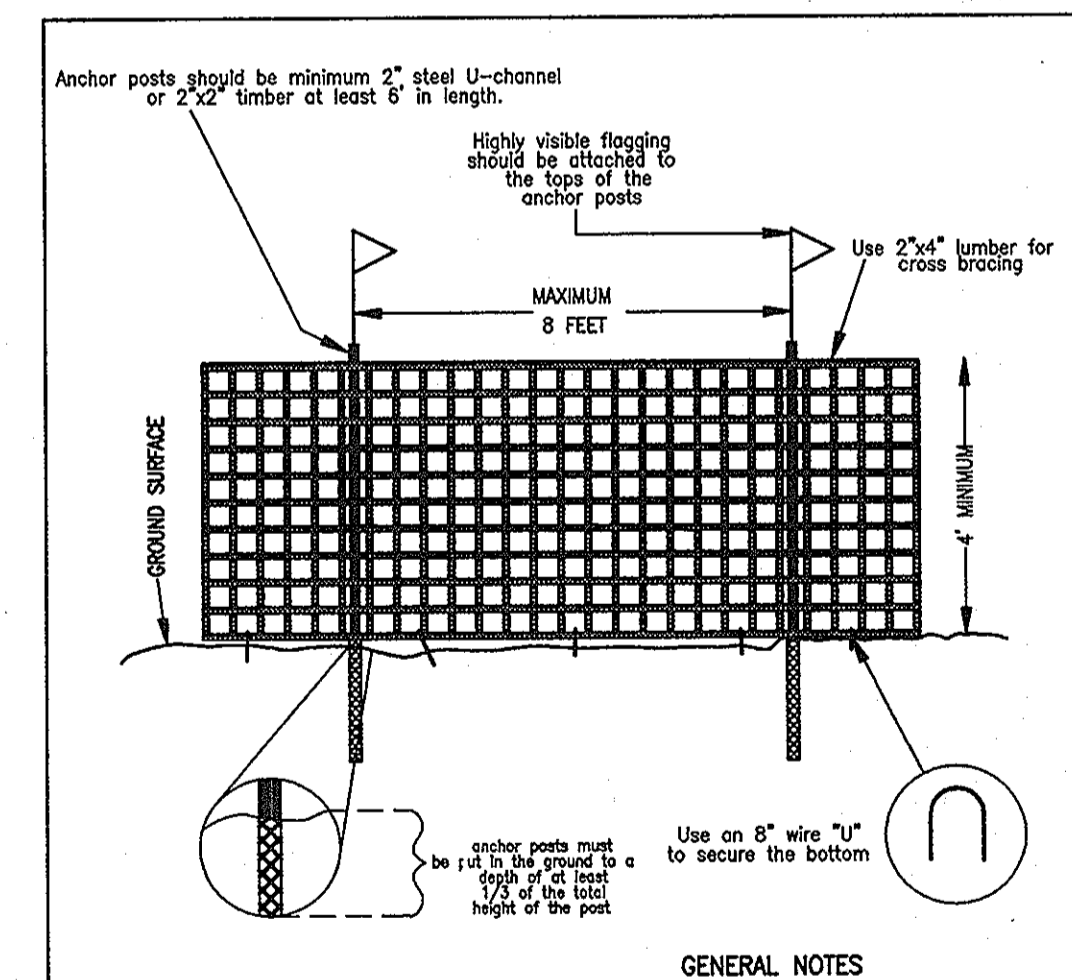
NO ADDITIONAL PLANTING WILL BE REQUIRED.

LANDSCAPING AND FOREST CONSERVATION NOTES

1. This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and the Landscape Manual.

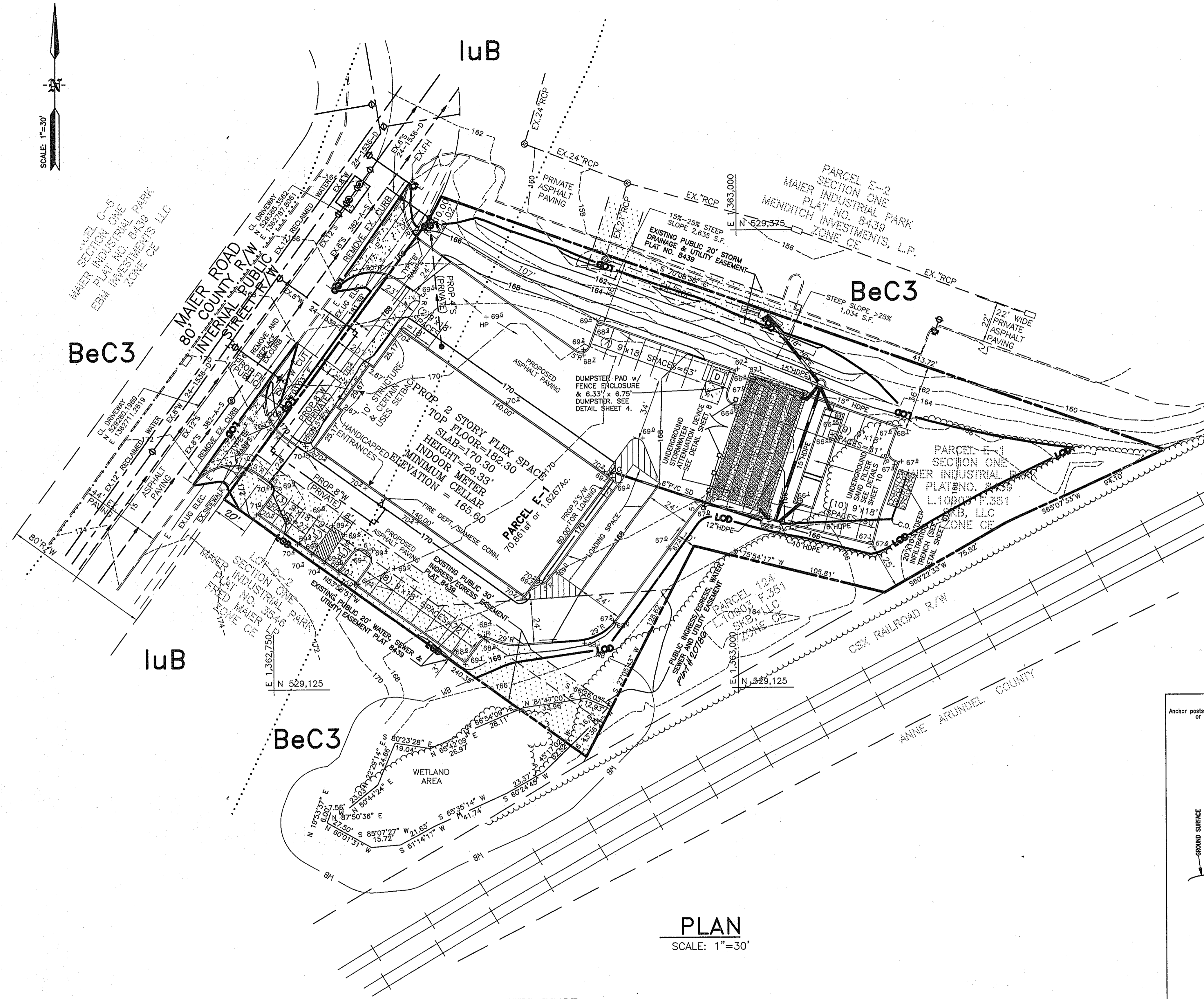
ADDRESS CHART	
LOT/PARCEL#	STREET ADDRESS
PARCEL E1	9030 MAIER ROAD

PERMIT INFORMATION CHART					
SUBDIVISION NAME	SECT. / AREA	LOT/PARCEL #			
MAIER INDUSTRIAL PARK - SECTION 1	SECTION 1	E-1			
PLAT # OR L.P.:	GRID #:	ZONING:	TAX MAP:	ELECT. DISTRICT:	CENSUS TRACT:
L10933 F.351	23	CE-CL1	47	6TH	6069.02
WATER CODE:	SEWER CODE:				
7000000	C04				

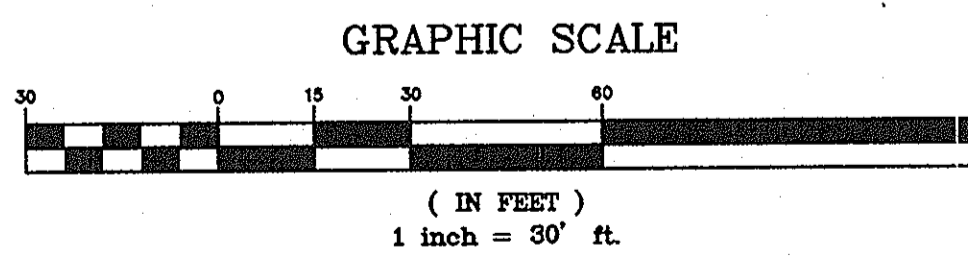


TREE PROTECTIVE DEVICE
BLAZE ORANGE PLASTIC MESH

TPO-G
OPTION 3



PLAN
SCALE: 1"=30'



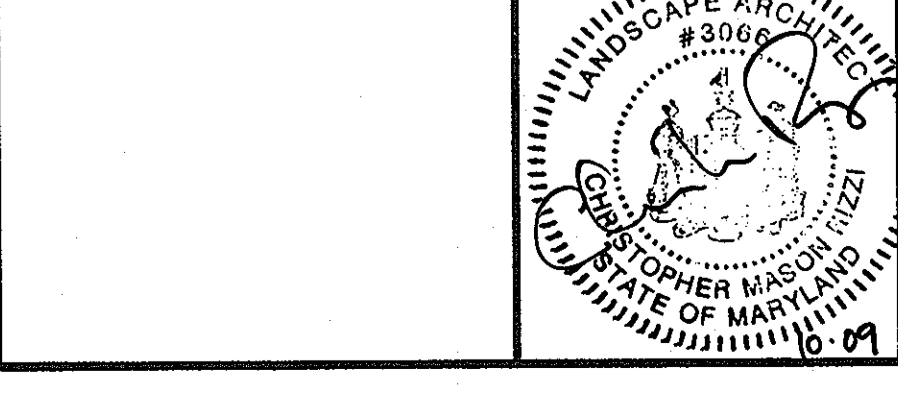
OPTION 1 : FEE-IN-LIEU		FOREST CONSERVATION DATA SUMMARY	
FILE NUMBER:	SDP - 09-028	PROJECT/SUBDIVISION NAME:	MAIER INDUSTRIAL PARK SECTION 1, PARCEL E-1
FEE-IN-LIEU AMOUNT:	\$7,840.80	NET TRACT AREA:	1.627 AC.
COMMENT:	FEE-IN-LIEU FOR 0.24 AC. ACRES OF REFORESTATION OR AFFORESTATION (specify which is applicable)		
ACCOUNT NUMBER:	#019-005-4206		

APPROVED: DEPARTMENT OF PLANNING AND ZONING			
<i>Chad Edmondson</i>	10-22-09		
CHIEF-DEVELOPMENT ENGINEERING DIVISION	DATE		
<i>Mark DeCoyne</i>	10-29-09		
CHIEF-DIVISION OF LAND DEVELOPMENT	DATE		
<i>Mark DeCoyne</i>	11/04/09		
DIRECTOR	DATE	Date	No
			Revision Description

GPI ENGINEERS, ARCHITECTS, PLANNERS, CONSTRUCTION ENGINEERS & INSPECTORS

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ENGINEER/SURVEYOR:



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MAIER INDUSTRIAL PARK - SECTION 1
9030 MAIER ROAD
TAX MAP 47 GRID 23 PARCEL E-1
ELECTION DISTRICT No. 6
HOWARD COUNTY, MD

FOREST CONSERVATION PLAN

Des By: GPI	Scale AS SHOWN	Proj No. 2008016
Drn By:	Date 3/23/09	DRAWING NO
Chk By: GPI	Approved	12 OF 12