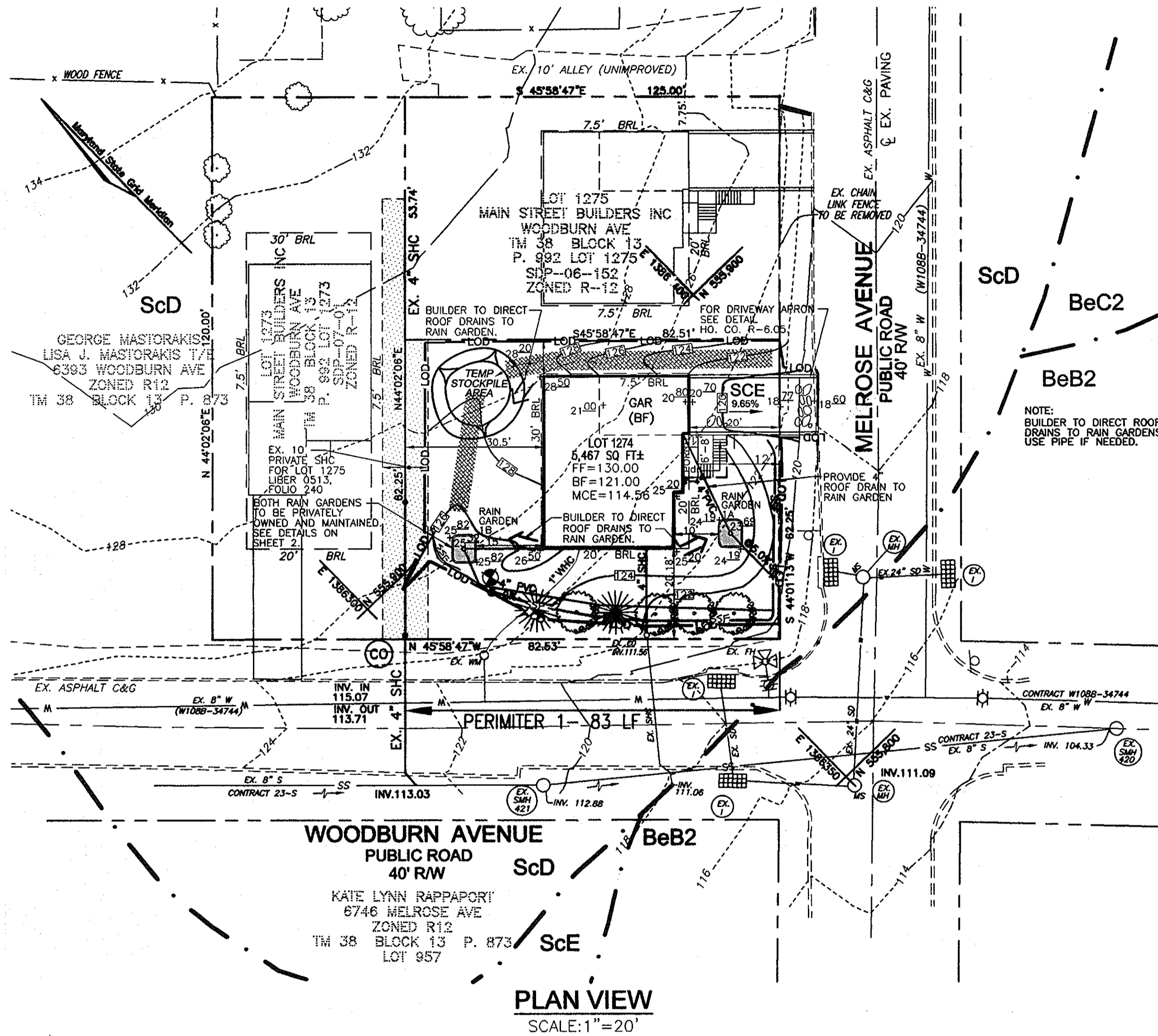


**GENERAL NOTES**

- ALL ASPECTS OF THE PROJECT ARE IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN APPROVED.
- DEED REFERENCE: 7848/233 THE SUBJECT PROPERTY IS ZONED R-12 PER THE 2/02/04 COMPREHENSIVE ZONING PLAN AND PER THE "COMP LITE" ZONING REGULATION AMENDMENTS EFFECTIVE 7/28/06.
- GROSS AREA OF LOT 1274: 0.125 AC  
AREA OF 100-YEAR FLOODPLAIN DRAINAGE & UTILITY EASEMENT: 0.00 AC  
AREA OF STEEP SLOPES: 0.00 AC  
NET AREA OF PROJECT: 0.125 AC  
AREA OF OPEN SPACE REQUIRED: N/A  
AREA OF OPEN SPACE PROVIDED: N/A  
AREA OF PROPOSED RIGHT-OF-WAY: N/A
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- THE EXISTING WITHDRAWN SURVEY FROM FIELD RUN SURVEY WITH TWO FOOT CONTOUR INTERVALS PREPARED BY FREDERICK WARD & ASSOCIATES DATED DECEMBER 2001. THE PROJECT BOUNDARIES IS BASED ON A BOUNDARY SURVEY PREPARED BY FREDERICK WARD & ASSOCIATES DATED DECEMBER 2001.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 3805 AND 3806 AND WERE USED FOR THIS PROJECT.
- STORMWATER MANAGEMENT FOR THIS LOT IS PROVIDED BY RAIN GARDENS TO PROVIDE THE REQUIRED RWV AND RW. CIP IS NOT REQUIRED SINCE THE 1-HR RUNOFF IS LESS THAN 2 CFS. RAIN GARDENS ON LOT 1274 WILL BE PRIVATELY OWNED AND MAINTAINED BY OWNER OF LOT 1274.
- EXISTING UTILITIES ARE BASED ON HOWARD COUNTY AS-BUILT DRAWINGS UNDER CONTRACT 23-S & W1088-34744.
- ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
- SHO ELEVATIONS SHOWN ARE LOCATED AT THE PROPERTY LINE.
- FOR DRIVEWAY ENTRANCE DETAILS REFER TO THE HOWARD COUNTY DESIGN MANUAL, VOL. I STANDARD DETAIL R-6.05.
- WATER AND SEWER FOR THIS PROJECT WILL BE PUBLIC.
- THIS SITE IS NOT LOCATED IN A HISTORIC DISTRICT.
- NO HISTORIC STRUCTURES EXIST ON THIS SITE.
- A TRAFFIC STUDY IS NOT REQUIRED FOR THIS SITE.
- STREET LIGHTING IS NOT REQUIRED FOR THIS SITE.
- THIS PROPERTY IS WITHIN THE METROPOLITAN DISTRICT.
- PERIMETER LANDSCAPING IS REQUIRED BECAUSE THE SIDE YARD IS ADJACENT TO A PUBLIC ROAD.  
A. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.  
B. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$900.00 FOR 0 SHADE TREES, 2 EVERGREEN TREES AND 0 SHRUBS AND ORNAMENTAL TREES.  
C. THE OWNER, TENANTS AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.  
D. AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON LANDSCAPE PLAN, SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.
- THIS PROJECT IS SUBJECT TO THE AMENDED 5TH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. THE DEVELOPER SHALL APPLY FOR BUILDING PERMITS FOR ALL LOTS AS SHOWN ON THIS SITE DEVELOPMENT PLAN WITHIN ONE YEAR OF SIGNATURE APPROVAL OF THIS PLAN.
- A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
- TO THE BEST OF THE OWNER'S KNOWLEDGE, THERE ARE NO BURIAL/CEMETERY LOCATIONS ON SITE.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO ENSURE SAFE ACCESS FOR FIRE EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:  
A. WIDTH - 12 (16' FOR SERVING MORE THAN ONE RESIDENCE)  
B. SURFACE - 6" OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1-1/2" MIN)  
C. GEOMETRY - MAX 14% GRADE, MAX 10% GRADE CHANGE, AND MIN 45' TURNING RADIUS  
D. STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING)  
E. DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT OF DEPTH OVER DRIVEWAY SURFACE  
F. MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE
- THIS PROJECT IS EXEMPT FROM THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BECAUSE IT IS A SITE DEVELOPMENT PLAN FOR DEVELOPMENT ON LAND WHICH IS LESS THAN 40,000 SQUARE FEET.
- IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
- REQUEST TO WAIVE SECTIONS 16.102, APPLICABILITY AND 16.144, REQUIRING THE SUBMISSION OF A FINAL PLAN WAS APPROVED BY WP-04-12 ON AUGUST 29, 2003 SUBJECT TO THE FOLLOWING CONDITIONS:  
I: THE APPLICANT MUST RECORD THE NEW DEEDS OF CONVEYANCE IN THE LAND RECORDS OFFICE OF HOWARD COUNTY, MD. A COPY OF THE CONSOLIDATION DEEDS SHALL BE SUBMITTED TO THIS DEPARTMENT FOR OUR RECORDS. THE APPLICANT IS ADVISED THAT THE ADJOINER DEEDS MUST BE RECORDED PRIOR TO THE SUBMISSION OF ANY SITE DEVELOPMENT PLANS FOR THE SUBJECT LOTS. IN ADDITION, THE EXISTING HOA ON LOT B MUST BE RAZED PRIOR TO THE RECORDATION OF THE CONSOLIDATION DEEDS.  
II: THE APPLICANT SHALL IDENTIFY THE NEWLY RECONFIGURED LOTS BY NUMERICAL ORDER UTILIZING THE NEXT CONSECUTIVE NUMBERS WHICH ARE AVAILABLE IN THE PARTICULAR SECTION AND AREA OR BLOCK NUMBER OF THE HARWOOD PARK SUBDIVISION OF WHICH THEY ARE LOCATED, AS APPLICABLE.  
III: A SITE DEVELOPMENT PLAN SHALL BE REQUIRED FOR ALL NEW BUILDING LOTS.  
IV: WRITTEN VERIFICATION FROM THE HEALTH DEPARTMENT MUST ACCOMPANY THE SITE DEVELOPMENT PLAN SUBMISSION WHICH INDICATES PROPER ABANDONMENT OF THE EXISTING WELL LOCATED ON THE SUBJECT PROPERTY.  
V: THE WAIVER PETITION (WP-04-012) CONDITIONS WERE SATISFIED UNDER SDP-06-152.
- MARYLAND AVIATION ADMINISTRATION APPROVAL IS REQUIRED PRIOR TO SUBMISSION OF SDP ORIGINALS FOR SIGNATURE. THE APPROVAL DATE FOR THIS PROJECT IS 2/17/09.

# SITE DEVELOPMENT PLAN HARWOOD PARK LOT 1274



ADDRESS CHART	
LOT #	STREET ADDRESS
1274	6720 MELROSE AVENUE

PERMIT INFORMATION CHART				
PROJECT NAME	SECTION/AREA	LOT NUMBER		
HARWOOD PARK/LOT 1274	N/A	1274		
DEED REF. 7848/233	GRID NO. 13	ZONE R-12	TAX MAP 38	ELECT. DIST. 1st
WATER CODE: A-02		SEWER CODE: 2152200		

SHEET INDEX	
DESCRIPTION	SHEET NO.
SITE DEVELOPMENT	1 OF 3
SEDIMENT AND EROSION CONTROL NOTES AND DETAILS	2 OF 3
#ASCD/MAA NOTES & DETAILS	3 OF 3

## 21.0 STANDARDS AND SPECIFICATIONS FOR TOPSOIL

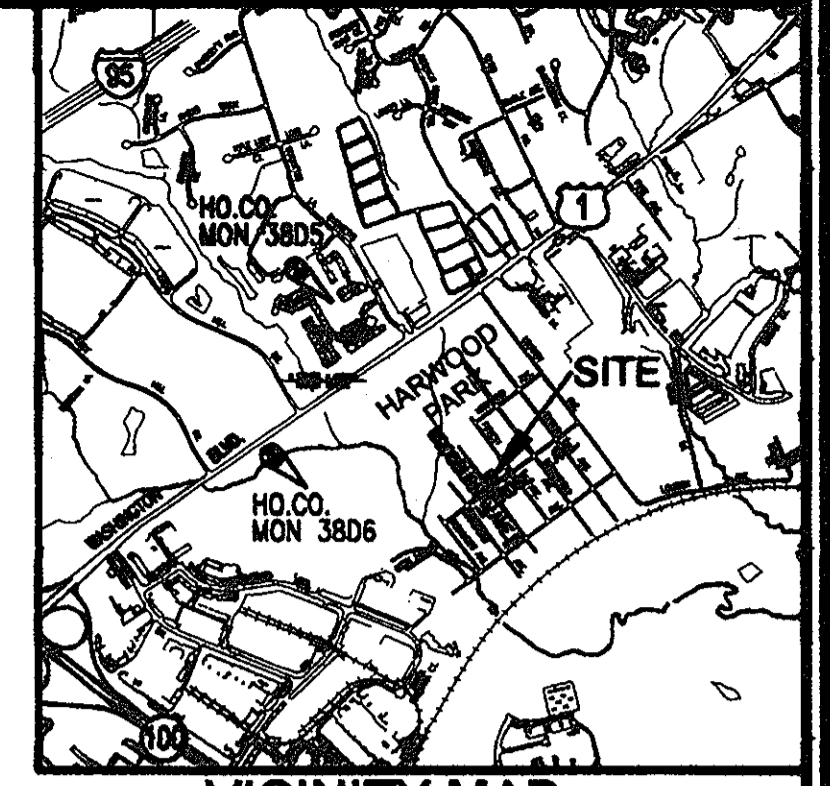
- DEFINITION**  
Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.
- PURPOSE**  
To provide a suitable soil medium for vegetable growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.
- CONDITIONS WHERE PRACTICE APPLIES**
- This practice is limited to areas having 2:1 or flatter slopes where:
    - The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
    - The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
    - The original soil to be vegetated contains material toxic to plant growth.
    - The soil is so acidic that treatment with limestone is not feasible.
  - For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.
- CONSTRUCTION AND MATERIAL SPECIFICATIONS**
- Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. The depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experimental Station.
    - Topsoil Specifications - Soil to be used as topsoil must meet the following:
      - Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or a soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textures and shall contain less than 3% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 and 1/2" in diameter.
      - Topsoil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnsongrass, nuttallseed, poison ivy, thistle, or others as specified.
      - Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.
    - Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.
  - For sites having disturbed areas under 5 acres:
    - On soil meeting topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:
      - pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.
      - Organic content of topsoil shall be not less than 1.5 percent by weight.
      - Topsoil having suitable salt content greater than 500 parts per million shall not be used.
      - No soil or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phyto-toxic materials.
    - NOTE: Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.
    - Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization-Section I-Vegetative Stabilization Methods and Materials.
  - Topsoil Application
    - When topsoiling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fences and Sediment Traps and Basins.
    - Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4" - 8" higher in elevation.
    - Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.
    - Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

LANDSCAPE SCHEDULE				
KEY	QUAN.	BOTANICAL NAME	SIZE	REM.
PS	2	PINUS STROBUS EASTERN WHITE PINE	7-9' HT.	B & B
CS	4	CORNUS FLORIDA/WHITE FLOWERING DOGWOOD	7-9' HT.	B & B

- ALL PLANT MATERIALS SHALL BE FULL AND HEAVY, BE WELL FORMED AND SYMMETRICAL, CONFORM TO THE MOST CURRENT ANN SPECIFICATIONS AND BE INSTALLED IN ACCORDANCE WITH LANDSCAPE PLANNING SPECIFICATIONS.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
- FINAL LOCATION OF PLANT MATERIAL MAY NEED TO VARY TO MEET FINAL FIELD CONDITIONS. TREES SHALL NOT BE PLANTED IN THE BOTTOM DRAINAGE SWALES.
- CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO BIDDING. IF PLAN DIFFERS FROM LANDSCAPE SCHEDULE, THE PLAN SHALL GOVERN.

SCHEDULE 'A' PERIMETER LANDSCAPE EDGE						
CATEGORY	ADJACENT TO ROADWAYS		ADJACENT TO PERIMETER PROPERTIES			
	NONE REQUIRED	TYPE 'B'	TYPE 'B'	TYPE 'B'	TYPE 'B'	TYPE 'B'
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER (SIDE)	0	83' (1)	NA	NA	NA	NA
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NA	NO	NA	NA	NA	NA
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NA	NO	NA	NA	NA	NA
NUMBER OF PLANTS REQUIRED						
SHADE TREES	NA	1:50 2	0	0	0	0
EVERGREEN TREES	NA	1:40 2	0	0	0	0
SHRUBS	NA	0	0	0	0	0
NUMBER OF PLANTS PROVIDED						
SHADE TREES	NA	0	0	0	0	0
ORNAMENTAL TREES	NA	2	0	0	0	0
EVERGREEN TREES	NA	0	0	0	0	0
OTHER TREES (2:1 SUBSTITUTION)	NA	0	0	0	0	0
SHRUBS (10:1 SUBSTITUTION)	NA	0	0	0	0	0
(DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)						

\*CREDIT FOR EXISTING WOODS



**VICINITY MAP**  
SCALE: 1"=2000'  
ADC MAP COORDINATE: 17 E10

BENCHMARKS			
NO.	NORTHING	EASTING	ELEVATION
3805	558,378.575	1,386,524.158	193.726'
3806	557,155.459	1,384,992.262	175.228'

- LEGEND**
- EXISTING CONTOUR: ---440---
  - PROPOSED CONTOUR: [412]
  - SPOT ELEVATION: +82.53
  - DIRECTION OF FLOW: [arrow]
  - SUPER SILT FENCE: ---SSF---
  - LIMIT OF DISTURBANCE: ---LOC---
  - EROSION CONTROL MATTING: [cross-hatch]
  - UTILITY EASEMENT: [dashed line]

### SITE ANALYSIS DATA CHART

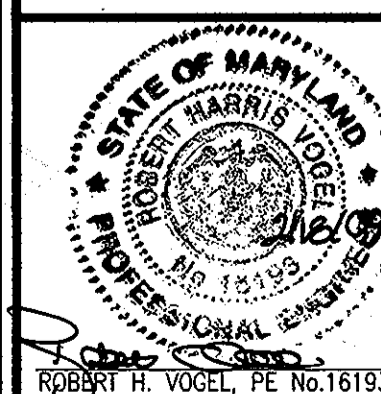
LOCATION: TAX MAP 38, GRID 13, P/O TM PARCEL 992  
1ST ELECTION DISTRICT  
EXISTING ZONING: R-12  
GROSS AREA OF LOT 1274: 0.125 AC  
AREA OF 100-YEAR FLOODPLAIN DRAINAGE & UTILITY EASEMENT: N/A  
AREA OF STEEP SLOPES OUTSIDE THE FLOODPLAIN: N/A  
NET AREA OF PROJECT: 0.125 AC  
AREA OF PROPOSED BUILDABLE LOTS: 0.125 AC  
AREA OF OPEN SPACE REQUIRED: N/A  
AREA OF OPEN SPACE PROVIDED: N/A  
AREA OF RECREATIONAL OPEN SPACE REQUIRED: N/A  
AREA OF RECREATIONAL OPEN SPACE PROVIDED: N/A  
AREA OF PROPOSED RIGHT-OF-WAY: N/A  
TOTAL APPROXIMATE LIMIT OF DISTURBANCE: 4,862 SF OR 0.11 AC  
DPZ FILE NUMBERS: WP-04-012, SDP-06-152, SDP-07-01.

**OWNER/DEVELOPER**  
MAIN STREET BUILDERS, INC.  
5705 LANDING ROAD  
ELKRDGE, MARYLAND 21075  
(410) 744-6738

NO.	REVISION	DATE

**SITE DEVELOPMENT PLAN  
LOT 1274  
HARWOOD PARK  
SINGLE FAMILY DWELLING**  
DEED REFERENCE: 7848/233  
TAX MAP 38 GRID 13 P/O TM PARCEL 992  
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

**ROBERT H. VOGEL  
ENGINEERS • SURVEYORS • PLANNERS**  
8407 MAIN STREET  
ELDDOTT CITY, MD 21043  
Tel: 410.461.7666  
Fax: 410.461.8961



**PROFESSIONAL CERTIFICATE**  
DESIGN BY: RHV  
DRAWN BY: HD  
CHECKED BY: RHV  
DATE: FEBRUARY 2009  
SCALE: AS SHOWN  
W.O. NO.: 04-33

**APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING**  
CHIEF, DEVELOPMENT ENGINEERING DIVISION: [Signature] 3/10/09  
CHIEF, DIVISION OF LAND DEVELOPMENT: [Signature] 3/12/09  
DIRECTOR, DEP.: [Signature] 3/12/09

**BY THE ENGINEER**  
"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."  
[Signature] 2/18/09  
SIGNATURE OF ENGINEER: ROBERT H. VOGEL, PE

**BY THE DEVELOPER**  
"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT."  
[Signature] [Signature]  
MAIN STREET BUILDERS, INC. JOSEPH SNOODGRASS

THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.  
[Signature] 2/24/09  
HOWARD SCD

"I CERTIFY THAT THE LANDSCAPE SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN AND SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL. I FURTHER CERTIFY THAT UPON COMPLETION A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING."  
[Signature] [Signature]  
SIGNATURE OF DEVELOPER DATE

**PERMANENT SEEDING NOTES**

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: In lieu of soil test recommendations, use one of the following schedules:

1. Preferred—Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq.ft.) and 600 lbs. per acre 10-10-10 fertilizer (14 lbs./1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil. At the time of seeding, apply 400 lbs. per acre 30-0-0 ureaform fertilizer (9 lbs./1000 sq.ft.)
2. Acceptable—Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq.ft.) and apply 1000 lbs. per acre 10-10-10 fertilizer (23 lbs./1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil.

SEEDING: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs. per acre (1.4 lbs./1000 sq.ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs. per acre (.05 lbs./1000 sq.ft.) of weeping lovegrass. During the period of October 16 thru February 28, protect site by Option (1) 2 tons per acre well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq. ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq.ft.) for anchoring.

MAINTENANCE: Inspect all seeded areas and make needed repairs, replacements and reseeding.

**TEMPORARY SEEDING NOTES**

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: Apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs./1000 sq.ft.)

SEEDING: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2 1/2 bushel per acre of annual rye (3.2 lbs./1000 sq.ft.) For the period May 1 thru August 14, seed with 3 lbs. per acre of weeping lovegrass (.07 lbs./1000 sq.ft.). For the period November 1 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq.ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq.ft.) for anchoring.

REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

**SEDIMENT CONTROL NOTES**

1. A minimum of 48 hours notice must be given to the Howard County Department of Inspection, License and Permits Sediment Control Division prior to the start of any construction (313-1855).
2. All vegetation and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, and revisions thereto.
3. Following initial soil disturbance or redisturbance, permanent or temporary stabilization shall be completed within: (a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes, and all slopes greater than 3:1, (b) 14 days as to all other disturbed or graded areas on the project site.
4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 7, HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding, sod, temporary seeding, and mulching (Sec. C). Temporary stabilization with mulch alone shall be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
7. Site Analysis :
 

Total Area	0.125 AC
Area Disturbed	4,869 SF
Area to be roofed or paved	1,519 SF
Area to be vegetatively stabilized	3,624 SF
Total Cut	190 CY
Total Fill	190 CY
Offsite waste/borrow area location	*
8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
9. Additional sediment controls must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
11. Trenches for the construction of utilities is limited to three pipe lengths or that which shall be back-filled and stabilized within one working day, whichever is shorter.
12. Estimates of earthwork quantities are provided solely for the purpose of calculating fees.

\* To be determined by contractor, with pre-approval of the Sediment Control Inspector with an approved and active grading permit.

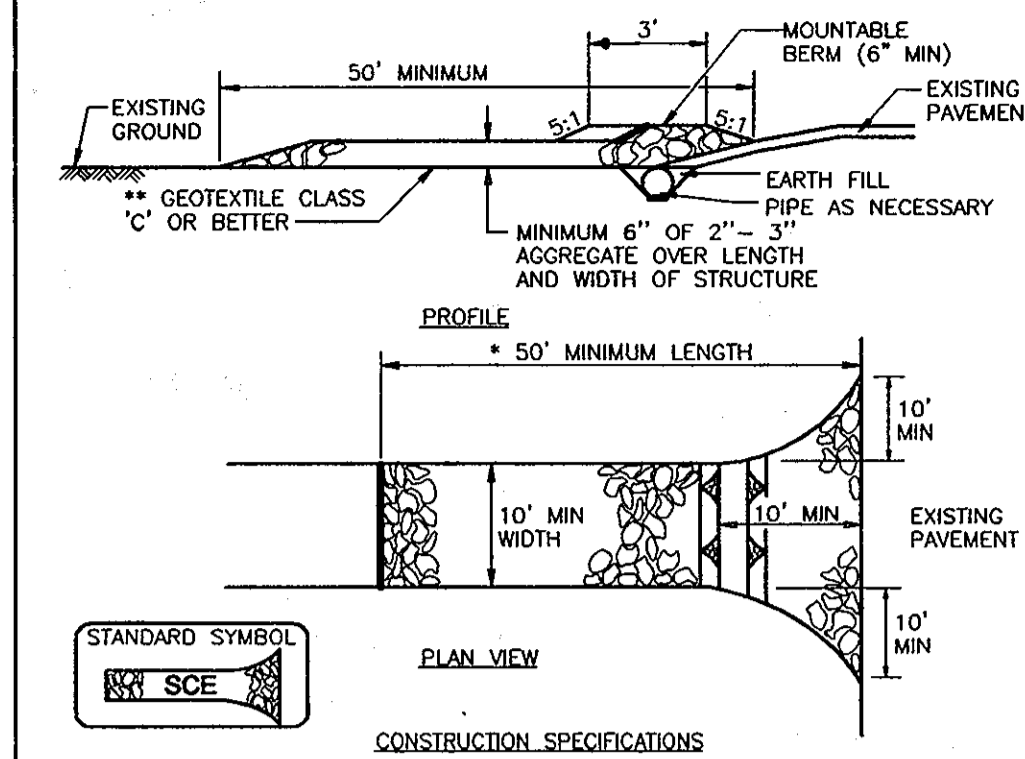
**SEQUENCE OF CONSTRUCTION**

1. Obtain grading permit.
2. Notify Howard County Bureau Of Inspections and Permits (410.313.1880) at least 24 hours before starting any work.
3. Construct Stabilized Construction Entrances. (1 day)
4. Install silt fence and erosion control matting. (2 days)
5. After obtaining permission from the sediment control inspector to proceed, rough grade site. (4 days)
6. Construct house. The first floor elevation cannot be more than 1' higher or 0.2' lower than the elevations shown on this plan. The foundation footprint must be within the generic block. (3 months)
7. Upon stabilization of all disturbed areas and with the approval of the sediment control inspector, remove all sediment control devices.

**NOTES**

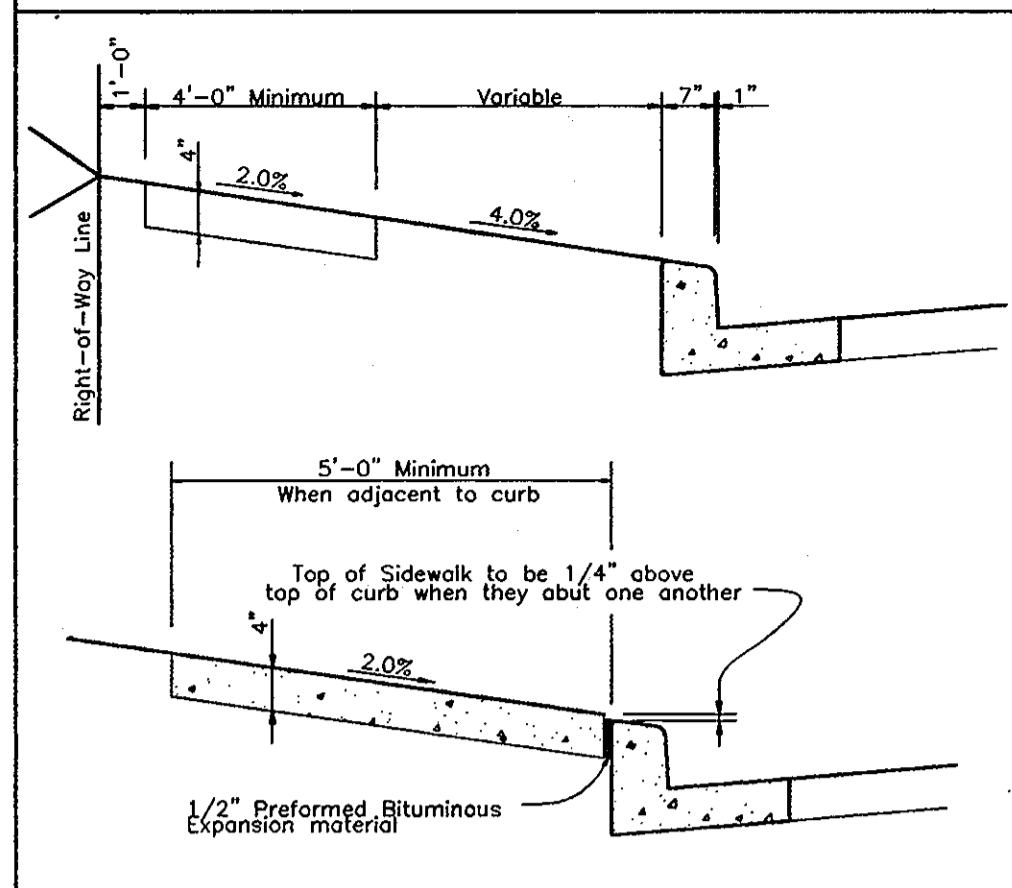
1. DURING GRADING AND AFTER EACH RAINFALL, THE CONTRACTOR SHALL INSPECT AND PROVIDE THE NECESSARY MAINTENANCE ON THE SEDIMENT AND EROSION CONTROL MEASURES SHOWN HEREON.
2. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLIED WITH.

**DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE**



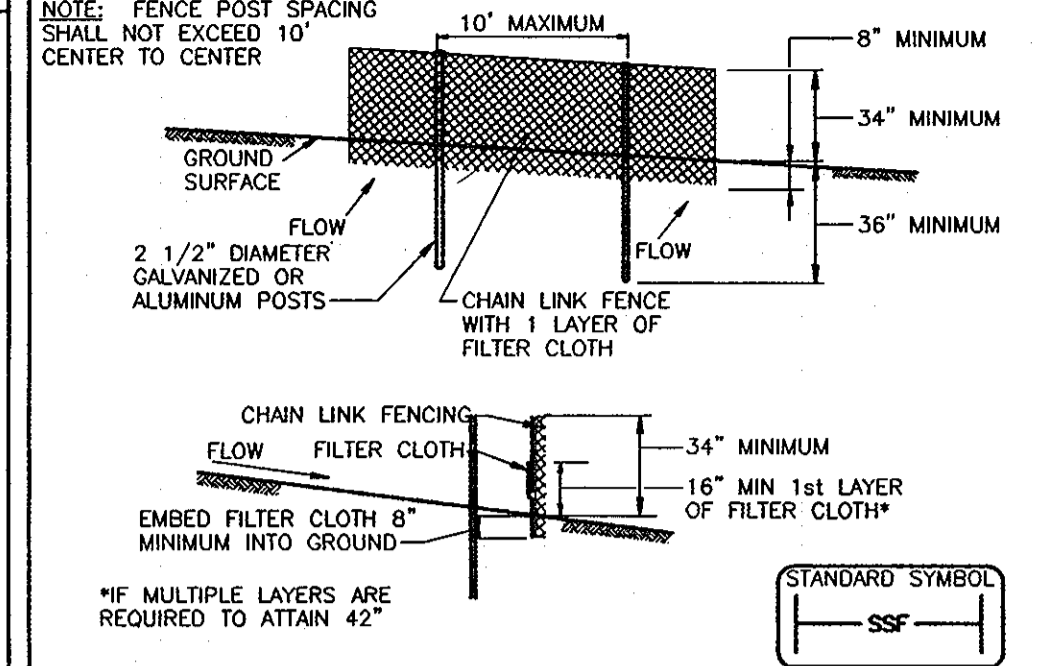
1. Length - Minimum of 50' (\* 30' for a single residence lot).
2. Width - 10' minimum. Should be flared at the existing road to provide a turning radius.
3. Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. \*\* The plan approval authority may not require single family residences to use geotextile.
4. Stone - Crushed aggregate (2' to 3') or reclaimed or recycled concrete equivalent shall be placed at least 6" over the length and width of the entrance.
5. Surface Water - All surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the Stabilized Construction Entrance shall be protected with a mountable berm with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey, a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
6. Location - A Stabilized Construction Entrance shall be located at every point where construction traffic enters or leaves a construction site.

**DETAIL R3.06 CONCRETE SIDEWALK**



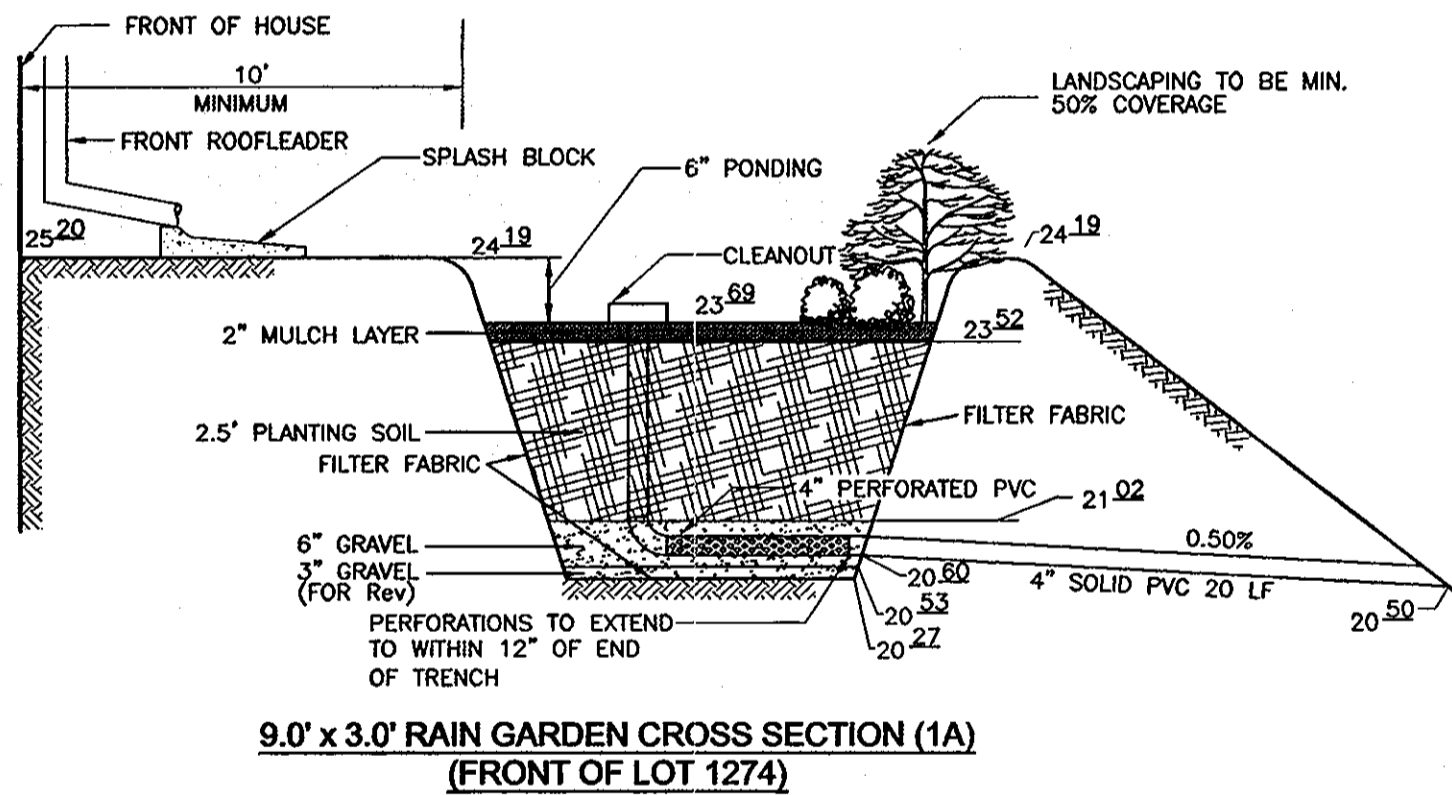
1. Sidewalk to be scribed in 5'-0" maximum squares.
2. Expansion joints across the sidewalk not to be more than 15' apart.
3. 1/2" Preformed Bituminous Expansion material in expansion joints to be kept 1/4" below surface of sidewalk.
4. Concrete to be mix number 2.
5. Where sidewalk abuts curb, sidewalk shall be 1/4" above curb with 1/2" Preformed Bituminous Expansion material between sidewalk and curb.
6. On longitudinal sidewalk grades of 5% or greater, a concrete header, 6" thick and 6" deep below the normal 4" sidewalk thickness shall be constructed for the full width of the sidewalk at intervals of 48 feet. The headers shall be placed at expansion joint locations and shall be monolithic with the curb.
7. Sidewalk width adjacent to curb shall be 5'-0" minimum except sidewalk adjacent to curb in cut-de-sidewalk bays may be 4'-0" wide.
8. Sidewalk located 2' or more from curb may be 4'-0" in width with a 5'x5' paved section placed 300' apart.

**DETAIL 33 - SUPER SILT FENCE**

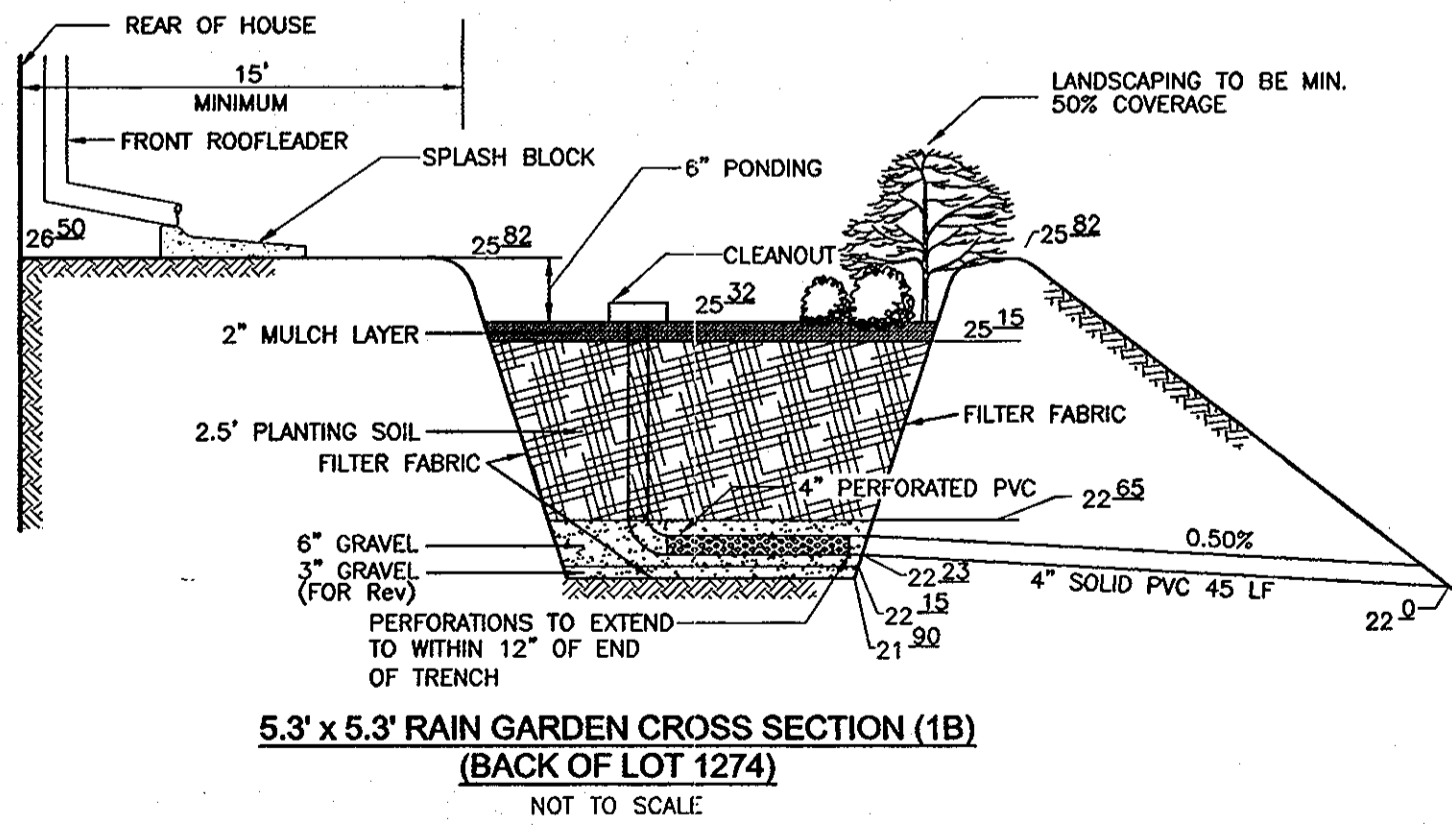


1. Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway Details for Chain Link Fencing. The specification for a 6' fence shall be used, substituting 42" fabric and 6' length posts.
2. Chain link fence shall be fastened securely to the fence posts with wire ties. The lower tension wire, brace and truss rods, drive anchors and post caps are not required except on the ends of the fence.
3. Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and midsection.
4. Filter cloth shall be embedded a minimum of 8" into the ground.
5. When two sections of filter cloth adjoin each other, they shall be overlapped by 8" and folded.
6. Maintenance shall be performed as needed and silt buildups removed when 'bulges' develop in the silt fence, or when silt reaches 50% of fence height.
7. Filter cloth shall be fastened securely to each fence post with wire ties or staples at top and midsection and shall meet the following requirements for Geotextile Class F
 

Tensile Strength	50 lbs/in (min)	Test: MSMT 509
Tensile Modulus	20 lbs/in (min)	Test: MSMT 509
Flow Rate	0.3 gal/ft <sup>2</sup> /minute (max)	Test: MSMT 322
Filtering Efficiency	75% (min)	Test: MSMT 322

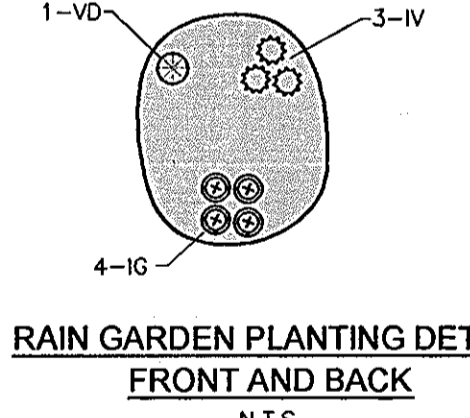


9.0' x 3.0' RAIN GARDEN CROSS SECTION (1A)  
(FRONT OF LOT 1274)  
NOT TO SCALE



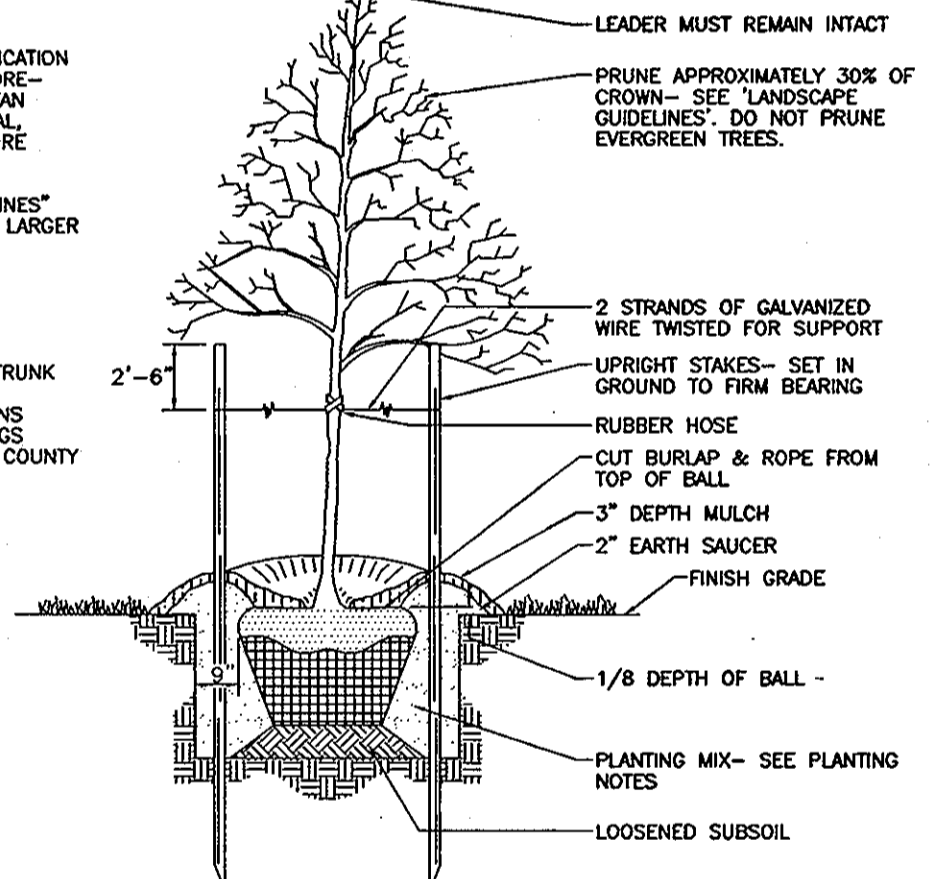
5.3' x 5.3' RAIN GARDEN CROSS SECTION (1B)  
(BACK OF LOT 1274)  
NOT TO SCALE

- OPERATION AND MAINTENANCE SCHEDULE FOR BIO-RETENTION AREAS**
1. ANNUAL MAINTENANCE OF PLANT MATERIAL, MULCH LAYER AND SOIL LAYER IS REQUIRED. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING.
  2. SCHEDULE OF PLANT INSPECTION WILL BE TWICE A YEAR IN SPRING AND FALL. THIS INSPECTION WILL INCLUDE REMOVAL OF DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT, TREATMENT OF ALL DEFICIENT STAKES AND WIRES.
  3. MULCH SHALL BE INSPECTED EACH SPRING. REMOVE PREVIOUS MULCH LAYER BEFORE APPLYING NEW LAYER ONCE EVERY 2 TO 3 YEARS.
  4. SOIL EROSION TO BE ADDRESSED ON AN AS NEEDED WITH A MINIMUM OF ONCE PER MONTH AND AFTER HEAVY STORM EVENTS.

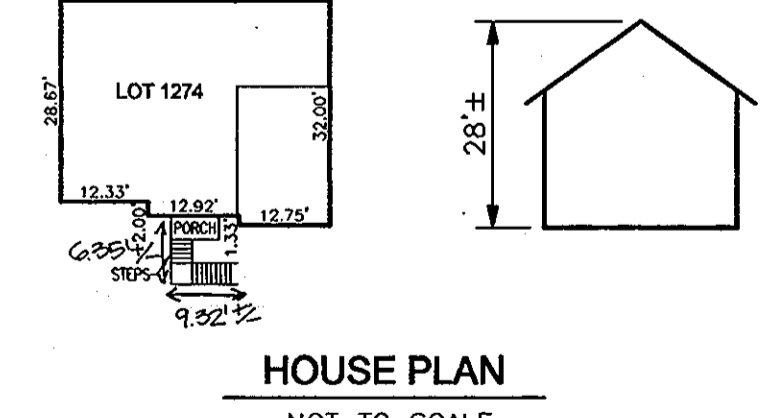


**RAIN GARDEN PLANT LIST (28 SF SURFACE AREA)**

KEY	QTY	BOTANICAL NAME/COMMON NAME	SIZE	ROOT
IV	3	ILEX VERTICILLATA WINTERBERRY	2'-3' HEIGHT	B & B CONT
VD	1	VIBURNUM DENTATUM ARROW WOOD	3'-4' HEIGHT	B & B CONT
IG	4	ILEX GLABRA INKBERRY	18"-24" HEIGHT	B & B CONT



**TREE PLANTING AND STAKING**  
DECIDUOUS TREES UP TO 2-1/2" CALIPER



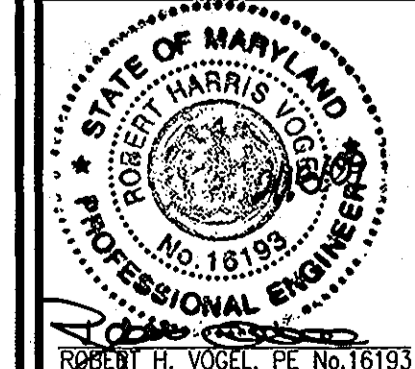
**HOUSE PLAN**  
NOT TO SCALE

**OWNER/DEVELOPER**  
MAIN STREET BUILDERS, INC.  
5705 LANDING ROAD  
ELK RIDGE, MARYLAND 21075  
(410) 744-6738

NO.	REVISION	DATE

**SITE DEVELOPMENT PLAN**  
**LOT 1274**  
**HARWOOD PARK**  
SINGLE FAMILY DWELLING  
DEED REFERENCE: 7848/233  
TAX MAP 38 GRID 13 P/O TM PARCEL 992  
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

**ROBERT H. VOGEL ENGINEERING, INC.**  
ENGINEERS • SURVEYORS • PLANNERS  
8407 MAIN STREET ELLIOTT CITY, MD 21043 TEL: 410.461.7666 FAX: 410.461.8961



**PROFESSIONAL CERTIFICATE**  
DESIGN BY: RHV  
DRAWN BY: RHV  
CHECKED BY: RHV  
DATE: FEBRUARY 2009  
SCALE: AS SHOWN  
W.O. NO.: 04-33  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 16193 EXPIRES DATE 06-27-2010

**APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING**  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
CHIEF, DIVISION OF LAND DEVELOPMENT  
DIRECTOR, DEP.

**BY THE ENGINEER**  
"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."  
SIGNATURE OF ENGINEER  
ROBERT H. VOGEL, PE

**BY THE DEVELOPER**  
"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT."  
SIGNATURE OF DEVELOPER  
JOSEPH SNOGRASS

THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.  
DATE: 2/24/09

