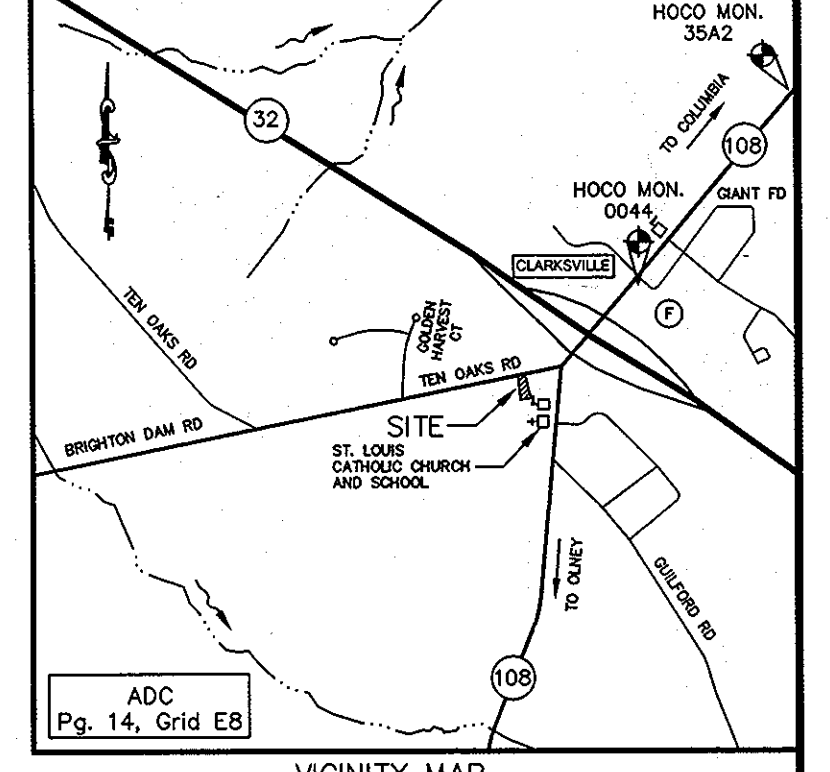
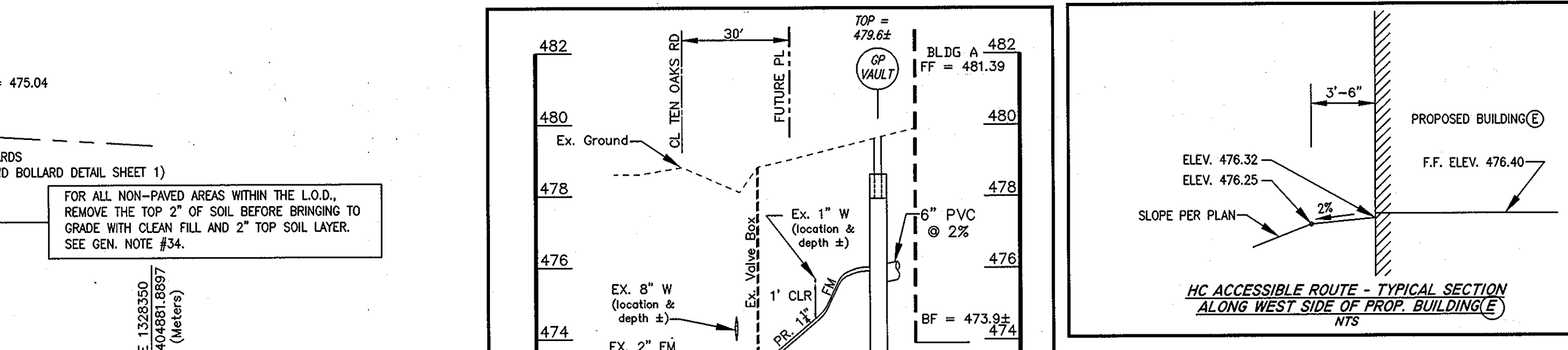
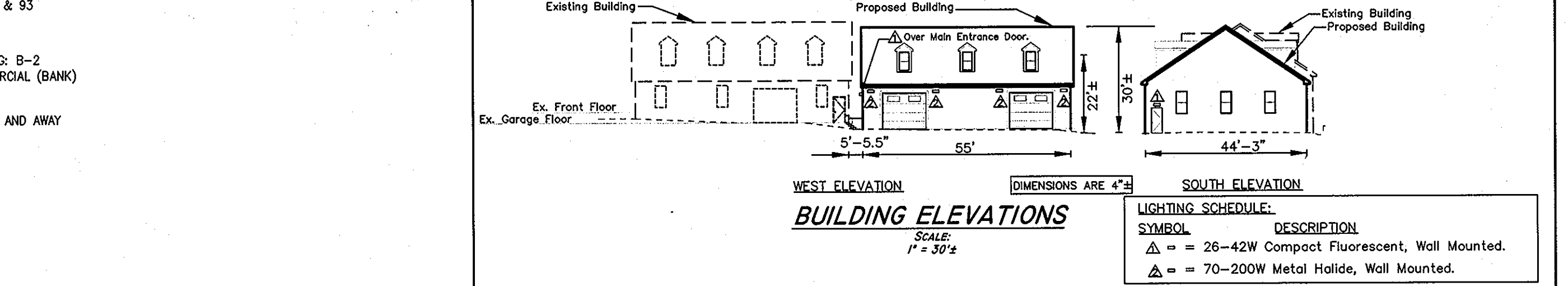
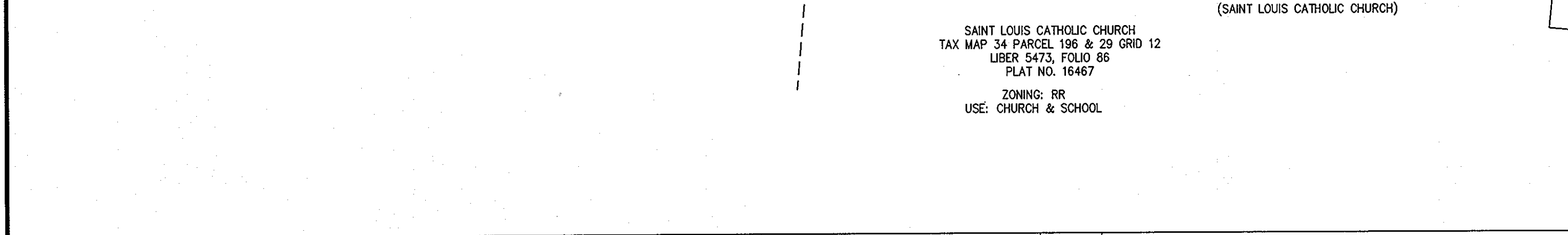
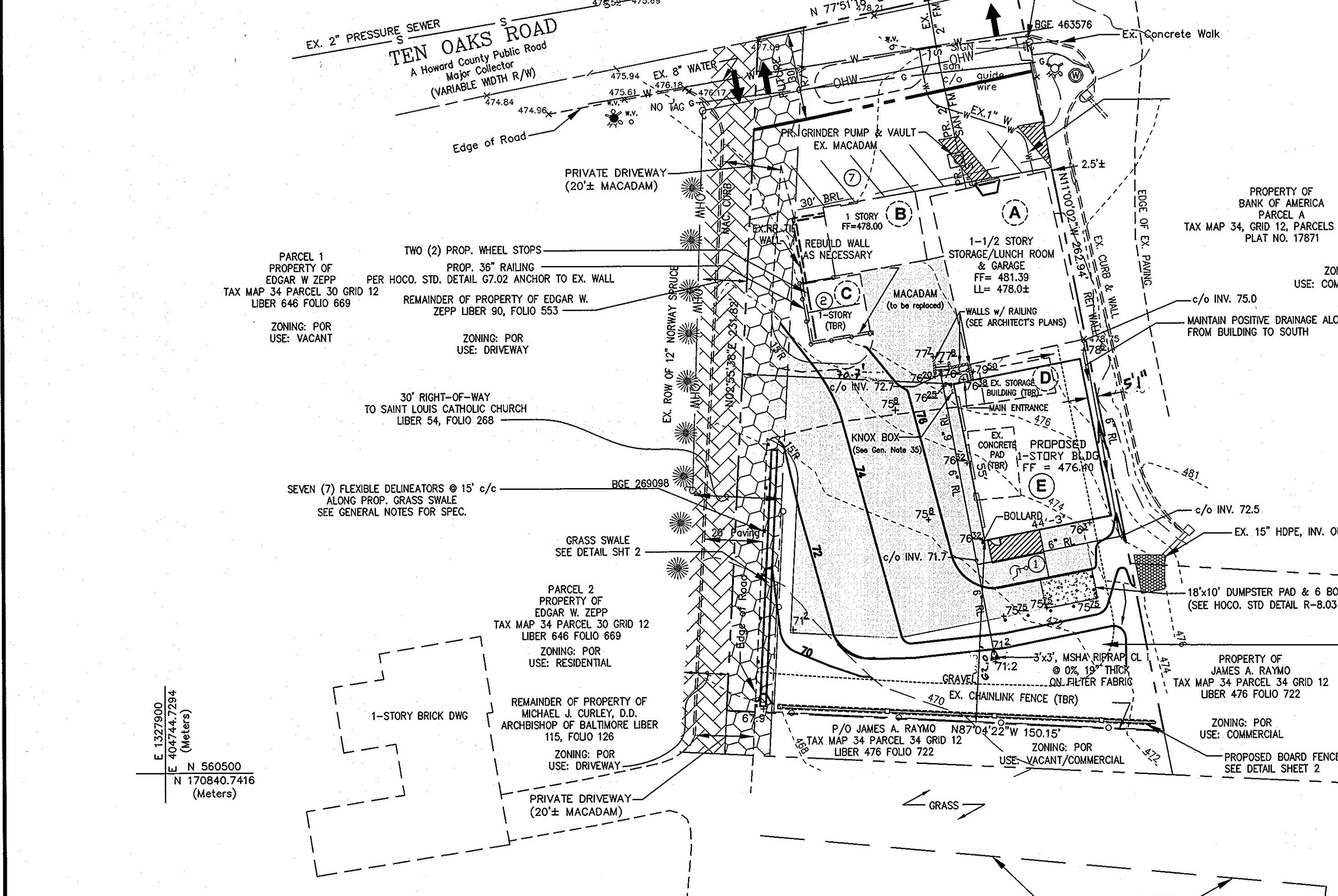
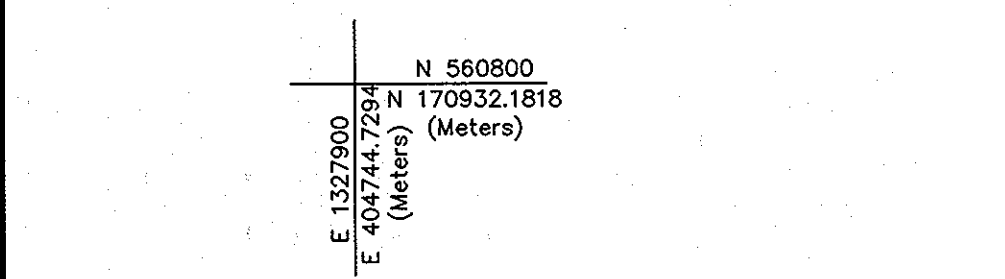


GENERAL NOTES

- All construction shall be in accordance with the latest Howard County Standards and Specifications plus MSHA Standards and Specifications, if applicable.
- The contractor shall notify the Department of Public Works/Bureau of Engineering/Construction Inspection Division at (410) 313-1880 at least five (5) working days prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation.
- Traffic control devices, markings, and signing shall be in accordance with the latest edition of the Manual of Uniform Traffic Control Devices (MUTCD). All street and regulatory signs shall be in place prior to placement of paving.
- All plan dimensions are to face of curb unless otherwise noted.
- The existing topography is based on a field run survey (6/2006) with 2' contour intervals prepared by Fisher Collins & Carter, (Ellicott City, MD).
- Coordinates based on Howard County Geodetic Control which is based on Maryland State Plane Coordinate System. Howard County Monuments for this project are as follows:
 Control stations listed as follows:
 Sta. 0044 N 562,176.4741 ft. E 1,329,641.8681 ft. Elev. = 484.537 ft. (from FC&C)
 Sta. 35A2 N 564,154.7874 ft. E 1,331,201.1091 ft. Elev. = 487.950 ft. (from FC&C)
- This property is based on a field run boundary survey (6/2006) by Fisher Collins Carter, (Ellicott City, MD).
- Existing water contract no. 44-3483.
- Existing sewer contract no. 30-3770 (pressure sewer).
- Stormwater Management is addressed by removing 20% minimum of the existing impervious area as per "re-development" criteria.
- Approximate utility locations are shown from available records. The contractor shall test pit all known existing utilities to verify size location shape type to his/her satisfaction prior to construction. Utility relocations are the responsibility of the owner, whether shown or not. Any utility damaged due to construction must be repaired immediately.
- There is no Howard County recognized 100-year floodplain on this property (drainage area < 30 acres).
- This property does not contain wetlands, streams, steep slopes and buffers based on an April 3, 2006 site visit by CIVIL DESIGN SERVICES, LC.
- A traffic study is not required as outlined in the Howard County Subdivision and Land Development Regulations and Design Manual (Vol. III).
- Project background: Tax Map 34, Parcel 32. Zoning is POR, 5th Election District, Site Area 0.7 acres, DPZ previous files 50A 07-021N.
- There are no cemeteries on this site per a April 3, 2006 site visit by CIVIL DESIGN SERVICES, LC. Subject property is not on the Cemetery Inventory List.
- CIVIL DESIGN SERVICES, LC has not performed a subsurface investigation to determine locations of rock, soil conditions, water table, utility conduits, etc.
- Should the contractor discover discrepancies between the plan and field conditions, or other discrepancies, the engineer shall be notified immediately to resolve the situation. The contractor assumes responsibility for all field corrections if the engineer is not immediately notified.
- Any damage to the County right-of-way shall be the developer's responsibility and shall be repaired by the developer at his/her expense.
- Parking Tabulation:
 Existing Required:
 3 new vehicle bays and 1 existing vehicle bay = 4 service bays total
 4 service bays x 3 p.s./service bay + 3 p.s. = 15 required parking spaces (incl. 1 HC)
 Parking Provided:
 15 spaces + 1 handicap space = 16 parking spaces (10 outside p.s. & 6 inside p.s. - 3 in each building A & E)
 22. Parking space dimensions are 9'x18' with the one (1) HC space at 17' width x 18' length (9' width for parking + 8' width for aisle) x 18' length.
 23. Total Existing Building Area = 3,814 sf
 Area of Proposed Building = 2,434 sf
 Building Area to be removed = 680 sf
 Net Building Area Enlargement = 2,434 - 680 = 1,754 sf (46.0% of existing building area)
 24. Forest Conservation is not required for this project per the Subdivision and Land Development Regulations Section 16.1202(b)(1)(i): Site area is less than 40,000 sf.
 25. The septic tank (if existing) shall be abandoned per Howard County Health Department Criteria.
 26. No Sewer service is provided to the existing basement (Building A) and the proposed addition (Building D).
 27. Install 48" Flexible Delineators (Safe Hits) south of private driveway entrance @ 15' c/c. Available from National Capital Industries (301.864.4150) Model# SH248GP3--WS09 w/ 2 reflective strips w/soil anchor.
 28. Roof Leaders (RL) to be 6" PVC SCH 40 or DIP with 2'-6" min. cover @ 1% minimum grade.
 29. The subject property is zoned POR per the 2/2/04 Comprehensive Zoning Plan and per the "Comp Lite" Zoning Regulation Amendments effective 7/28/06.
 30. Board of Appeals case #BA 07-21N granted confirmation of a non-conforming use and authorized expansion through the construction of a new building. The existing parking exists within the now-required 30' structure and use setback along Ten Oaks Rd but will be permitted to remain.
 31. Prior to construction, the Contractor shall locate and abandon the existing drywell, septic tank, or cesspool (whatever is discovered).
 32. The property owner shall pay the public sewer connection fees prior to the Building Permit Application. Once paid, documentation shall be submitted to the HoCo. Health Department, Attn: Mr. Stuart Oster.
 33. A "Knox Box" (fire dept. access box) shall be placed on the front of the building in a visible location at a 4' to 5' height and a 6' maximum distance from the front door. The box shall be electronically supervised to notify the property owner that the box is being accessed and integrated with the fire alarm system per NFPA-118.2.2.1.
 34. The existing gravel at the south end of the site shall be removed and properly disposed. All non-paved areas (including the grass island and grass swale behind (east of) the proposed building) shall have a 2" minimum layer of topsoil at the finished grade.
 35. Grade just outside the main entrance with 5'x5' minimum level area (level is defined as 1% min. to 2% max. slope. Provide positive drainage away from building door).
 36. This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and the Landscape Manual. Financial surety for the required 5 shade trees, 4 evergreen trees, and 130 LF of fence in the amount of \$4,700.00 is part of the builder's grading permit application.
 37. Howard County DPZ has requested and encouraged a maintenance agreement to be executed by the users of the common-use driveway shown on this SDP. The property owner of this parcel opted to not pursue obtaining this recommended agreement and is not required by Howard County regulation to acquire the same. The driveway ROW is currently maintained by St. Louis Catholic Church and School.



ADDRESS CHART

PARCEL NO.	STREET ADDRESS
32	6374 TEN OAKS ROAD

SHEET INDEX

SHEET	DESCRIPTION
1	SITE DEVELOPMENT PLAN
2	SEDIMENT/EROSION CONTROL & LANDSCAPE PLAN & DETAILS
3	NOTES & DETAILS

SOILS TABLE

SYMBOL	SOIL DESCRIPTION	HSG
EBR2	ELOAK SILT LOAM, 3 to 8%, MODERATELY ERODED	C

LEGEND

SYMBOL	DESCRIPTION
(Right of Way)	RIGHT OF WAY: OFFSITE/ONSITE
(Dashed line)	EXISTING CONTOUR 2' INTERVAL
(Dashed line)	EXISTING CONTOUR 10' INTERVAL
(+7.2)	PROPOSED SPOT ELEVATION
(+7.2)	EXISTING SPOT ELEVATION
(SS)	SUPER SILT FENCE
(LOD)	LIMIT OF DISTURBANCE
(G)	EXISTING GAS MAIN
(S)	SANITARY SEWER MANHOLE
(Dashed line)	DRAINAGE SWALE/PATH
(BRL)	BUILDING RESTRICTION LINE (SET BACK)
(Dashed line)	PROPERTY LINE
(Arrow)	TRAFFIC INGRESS/EGRESS
(Dashed line)	PRIVATE EASEMENT
(TBR)	TO BE REMOVED
(Hatched)	ASPHALT PAVING
(A)	BUILDING ALPHA-LABEL
(Dashed line)	EDGE OF ROAD/DRIVEWAY
(Dotted line)	BOLLARD, FLEXIBLE DELINEATOR (SAFE HIT EDGE OF PAVEMENT MARKER)

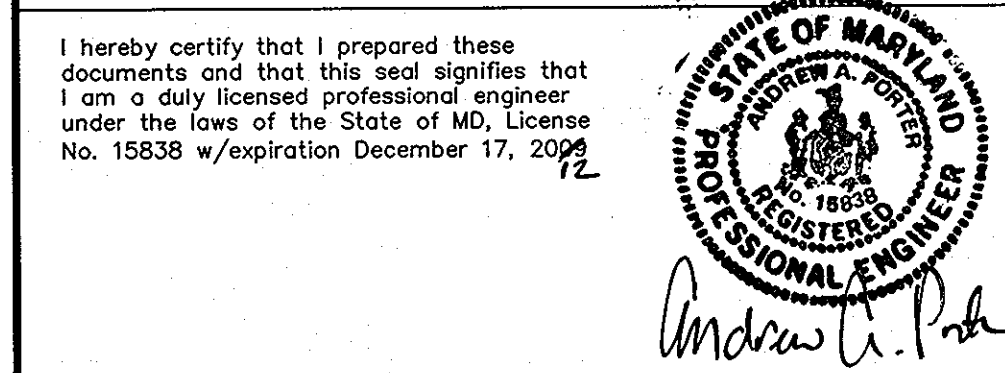
SITE ANALYSIS DATA

- Total project area: 0.67 Acre (29,228 sf)
- Area of plan submission: 0.67 Acre (29,228 sf)
- Limit of disturbed area: 0.35 Acre (15,460 sf)
- The subject property is zoned POR.
- Proposed use for site: Autobody Repair Shop
- Floor space on each level: 2,434 sf (Bldg E)
- Total number of units allowed: n/a
- Total number of units with this submission: 1
- Maximum number of employees: 4
- Parking requirements: 15
- Parking spaces provided: 16 (10 outside/6 inside)
- Open Space On-Site: 0.0 Acre
- Recreation open space required: n/a
- Building coverage: 0.135 Acre (20.1% of site)
- DPZ File references: B.O.A Case #07-021N

CLARKSVILLE AUTO CENTER BUILDING STRUCTURE SUMMARY TABLE

Building	Exterior Material	# of Stories	Average Height	Floor Area	Use
A	Vinyl Siding w/ Steel Roof	1 1/2	20'	2,384 sf	Existing: Autobody Repair Facility Proposed: No change; Bldg to remain
B	Stucco w/ Asphalt Shingle Roof	1	15'	768 sf	Existing: Autobody Paint Shop Proposed: No change; Bldg to remain
C	Metal Siding w/ CM Roof	1	11'	400 sf	Existing: Paint Preparation Shop Proposed: To Be Removed
D	Wooden Frame Building	1	10'	280 sf	Existing: Storage/Paint Preparation Proposed: To Be Removed
E	Vinyl Siding	1	22'	2,434 sf	Existing: n/a Proposed: Autobody Repair Facility

CIVIL DESIGN SERVICES, LC
 6123 Holly Ridge Court, Columbia, Maryland 21044
 410.531.0572 phone/fax
 civildesign@comcast.net



NO.	REVISION	DATE
2	MOVED PROP. BLDG "E" 1' 10" TO WEST	1/28/11
1	Moved S. wall door; Deleted bldg connection; Revised light fixtures & Bldg location	9/8/10

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Victor Shadrach
 Chief, Division of Land Development
 Date: 9/24/10

Michael D. ...
 Chief, Development Engineering Division
 Date: 9/22/10

Monroe S. ...
 Director - Department of Planning and Zoning
 Date: 9/27/10

OWNER/DEVELOPER/BUILDER
 Clarksville Auto Properties, LLC
 Attn: Mr. Stephan C. Kaffl
 12188 Clarksville Pike
 Clarksville, Maryland 21029
 410.531.5656
 301.854.3873 (fax)

PROJECT

PROJECT	SECTION	PARCEL
CLARKSVILLE AUTO CENTER	N/A	32

L/F

GRID NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
6563/363	12	POR	34	5 th

REVISED SITE DEVELOPMENT PLAN

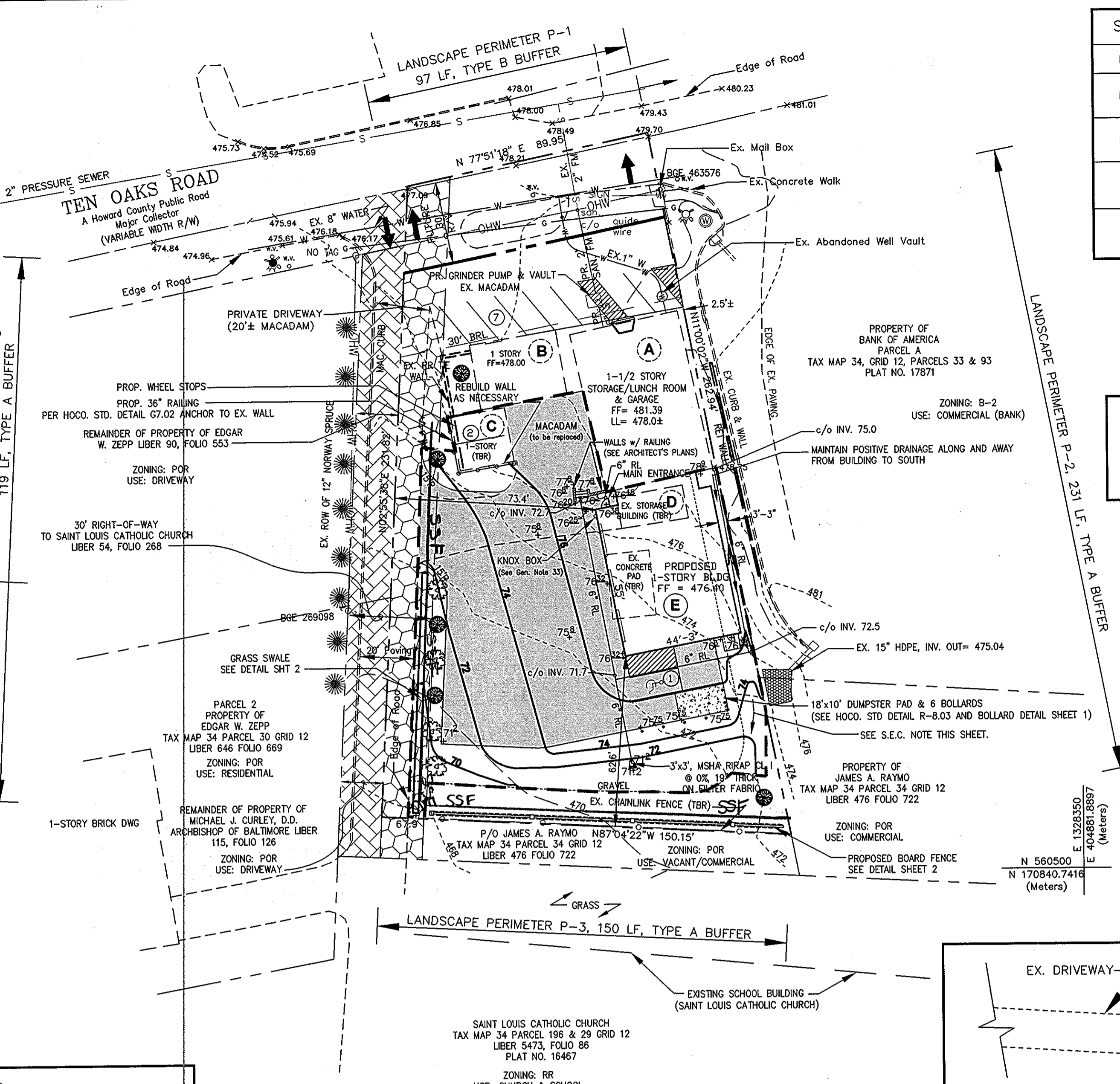
CLARKSVILLE AUTO CENTER
 (AUTOBODY REPAIR SHOP)
 6374 TEN OAKS ROAD, CLARKSVILLE, MD 21029
 LIBER 6563 FOLIO 363

TAX MAP NO: 34 PARCEL NO.: 32 GRID NO.: 12
 FIFTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1" = 30' DATE: SEPTEMBER 16, 2010

SHEET 1 OF 3
 SDP-08-123

N 560800
N 170932.1818
(Meters)
E 404747.7294
(Meters)

N 560500
N 170840.7416
(Meters)
E 404747.7294
(Meters)



SCHEDULE B - PARKING LOT INTERNAL LANDSCAPING

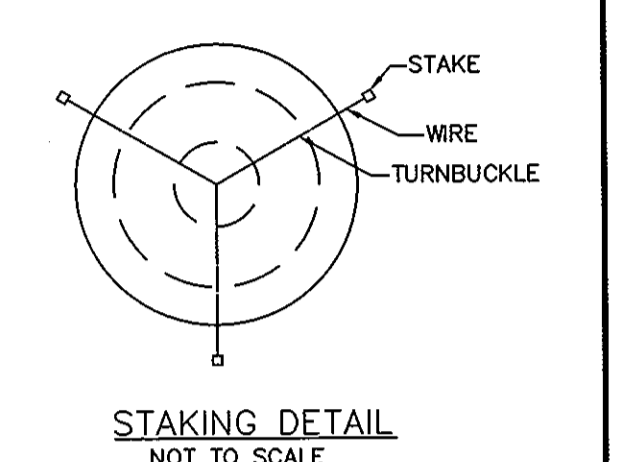
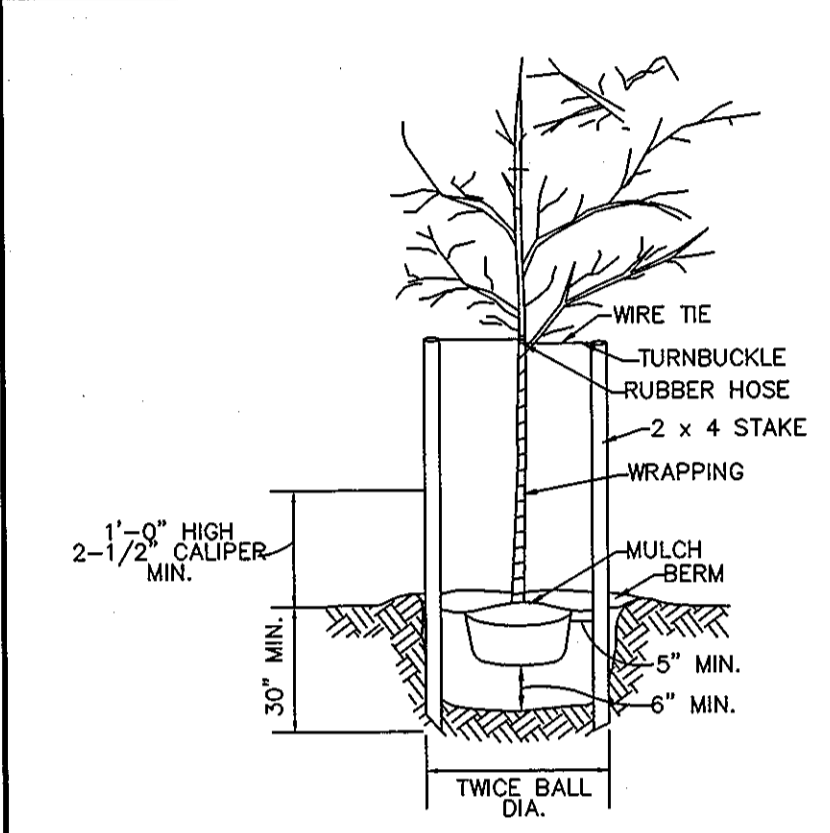
NUMBER OF OUTSIDE PARKING SPACES	9
NUMBER OF PLANTING ISLANDS REQUIRED	9/20 = 0.45 USE 0
NUMBER OF PLANTING ISLANDS PROVIDED	0
NUMBER OF SHADE TREES REQUIRED	9/20 = 0.45 USE 0
NUMBER OF SHADE TREES PROVIDED	0

SCHEDULE A - LANDSCAPE PERIMETER

PERIMETER	P-1	P-2	P-3	P-4	P-5	TOTAL
ADJACENT TO ROADWAY						
ADJACENT TO BUSINESS USE						
ADJACENT TO BUSINESS USE						
ADJACENT TO RESIDENTIAL USE						
ADJACENT TO VACANT/DRIVEWAY						
LINEAR FEET OF PERIMETER ^a	97 LF ^a	231 LF ^a	150 LF ^a	81 LF ^a	119 LF ^a	
CREDIT FOR EXISTING VEGETATION	NO	NO	NO	NO	NO	
NUMBER OF PLANTS REQUIRED:						
SHADE TREES	(97'/50) = 2	(232'/60) = 4	(150'/60) = 3	(81'/40) = 2	(119'/60) = 2	12
EVERGREEN TREES	(97'/40) = 2	0	0	(81'/20) = 4	0	2
NUMBER OF PLANTS PROVIDED:						
SHADE TREES	0	1	0	2	2	5
EVERGREEN TREES	0	0	0	4	0	4

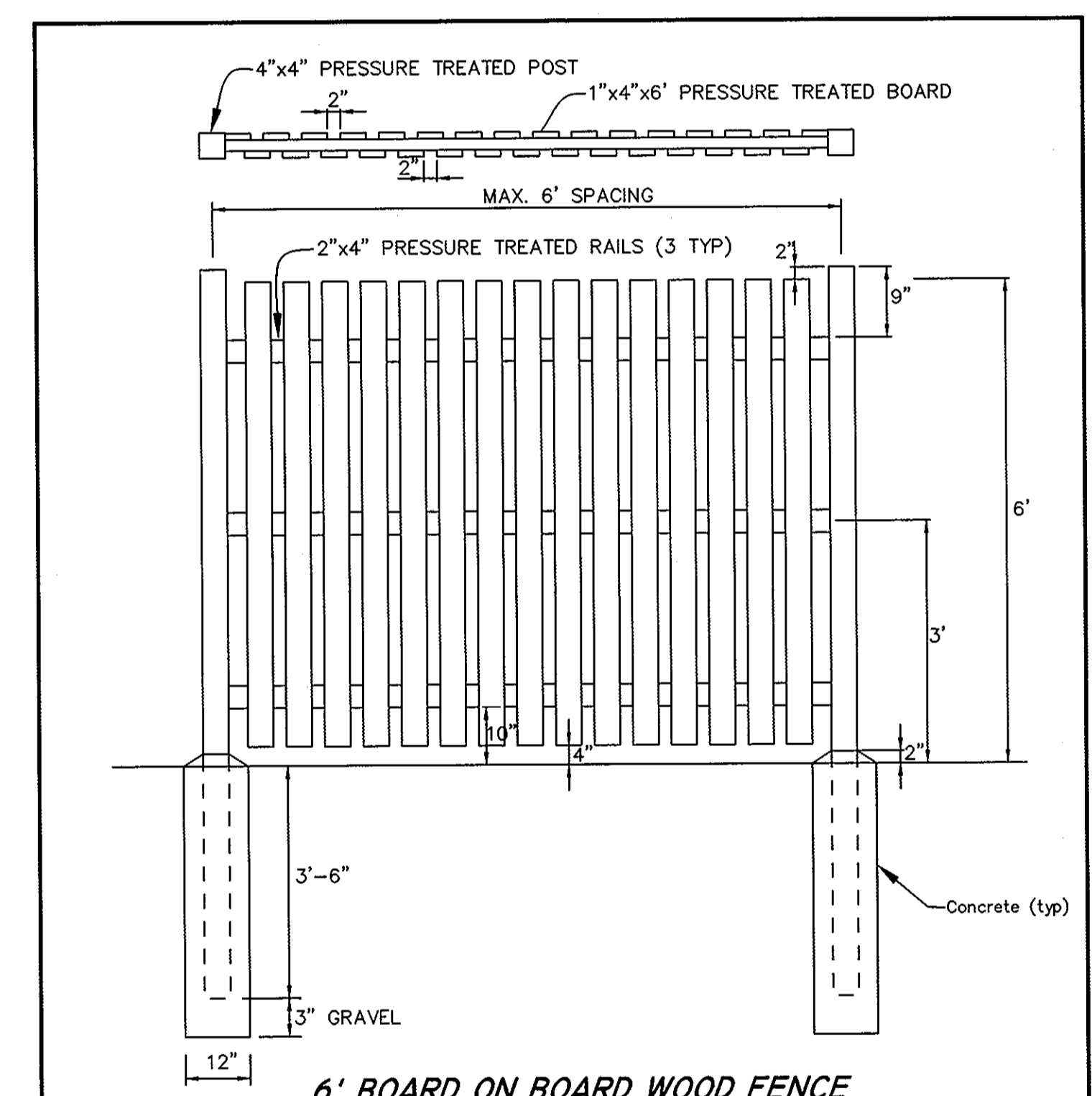
^a Perimeter length is based on the future Ten Oaks Road R/W.
^b Landscape trees are not proposed due to the presence of the existing driveways/entrances and pending Howard County Ten Oaks Road widening project.
^c Partial required landscape trees are proposed due to the too-narrow landscape edge, and the existing storm drain outfall.
^d A board-on-board fence is proposed to replace the existing chainlink fence and screen the St. Louis School (not adjacent property but located beyond the adjacent strip of land). Goal is to meet the "intent" of the landscape regulations.

SEDIMENT CONTROL NOTE
 After final grading, install 30 LF of erosion control matting with 6" min. depth in the swale just below the off-site (bank property) storm drain. Stabilize immediately with topsoil & seed, and keep watered until well vegetated.

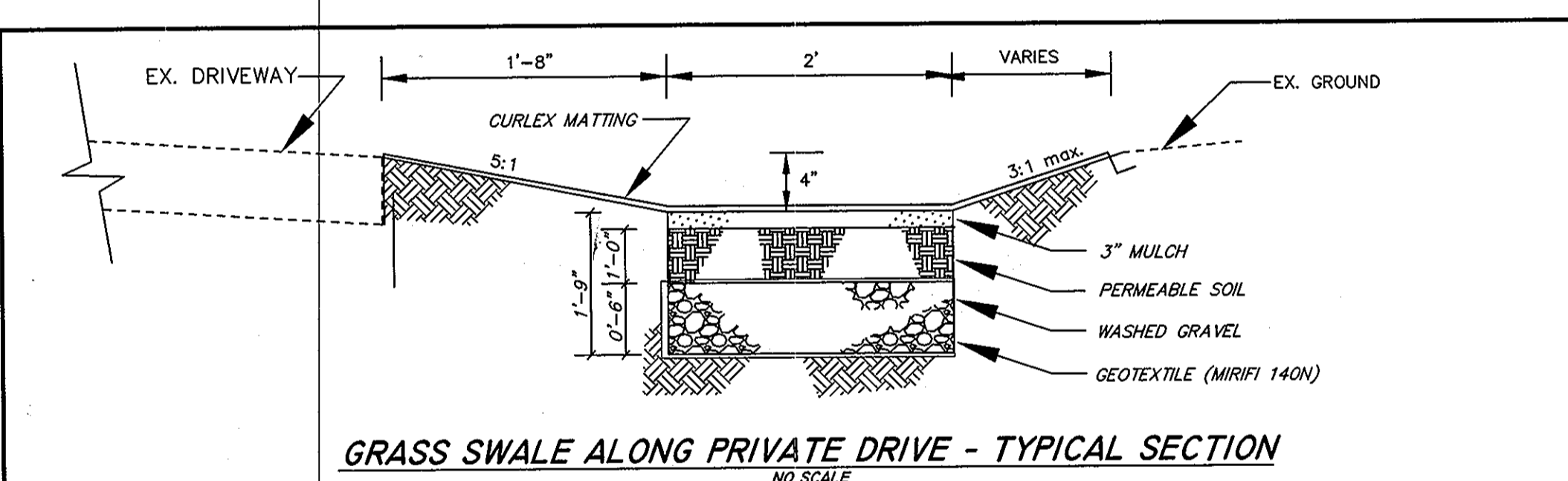


LANDSCAPE PLANT LIST

QTY.	KEY	NAME	SIZE
5	(Symbol)	ACER RUBRUM 'OCTOBER GLORY' (OCTOBER RED MAPLE)	2 1/2" - 3" CALIPER FULL CROWN, B&B
4	(Symbol)	Pinus Strobus (EASTERN WHITE PINE)	6'-8" HT.



- ALL WOOD TO BE PRESSURE TREATED.
- CONCRETE TO BE MIX NO. 2
- NAILS/SCREWS TO BE DOUBLE GALVANIZED.



GRASS SWALE ALONG PRIVATE DRIVE - TYPICAL SECTION
NO SCALE

- GRASS SWALE SPECIFICATIONS**
- All construction shall meet dryswale and bioretention soil standards as set for in the Maryland Department of the Environment's 2000 SWM Design Manual and as outlined below.
 - The permeable soil and stone trench below the grassed swale invert shall be installed after ALL upstream areas have been stabilized (i.e., paved or have established vegetation).
 - Mulch shall be double-shredded hardwood aged 6 to 12 months. No woods chips or pine mulch.
 - The "washed gravel" shall be washed pea gravel (ASTM D448) or uniformly sized stone meeting AASHTO M-43 (0.375" to 0.75") surrounded by geotextile Mirafi 180N or approved equal (alternative geotextiles are outlined in MDE's 2000 SWM Manual in Appendix B, Class "C" criteria). Stone shall be carefully placed to prevent damage to geotextile. The geotextile shall be installed per the manufacturer's specifications with a 6" overlap. Stone aggregate must be free of fines and clean.
 - The permeable soil shall consist of well-mixed 35% sand, and 65% topsoil. The soil shall be free of stones, stumps, roots, or other similar material greater than 2". No other material shall be mixed or dumped within the permeable soil that may hinder plant growth. The planting soil shall be free of Bermuda grass, Quackgrass, Johnson grass, or other noxious weeds as specified under COMAR 15.08.01.05. The permeable soil shall loosely compacted in 8" lifts and be flooded after placement. Any settlement shall be refilled to the design elevation.
 - Sand shall meet AASHTO M-6 or ASTM C-33, Size: 0.02" to 0.04". Sand must be clean; free of fines, roots, etc.
 - The curlex matting shall be stapled and installed per the manufacturer's specifications.
 - Install 88 LF of the grass swale as shown on plan. The swale shall gradually tie into the existing downslope elevation at the property line with a gradually-decreasing swale depth. The grass swale limits are shown on the plan view south side of the private drive entrance.

THE PLAN ABOVE ON THIS SHEET IS FOR SEDIMENT/EROSION CONTROL/LANDSCAPING PURPOSES ONLY

LANDSCAPE NOTES

- Financial surety for the required 5 shade trees (@\$300/Shade tree), 4 evergreen trees (@\$150/evergreen tree), and 130 LF of fence (@ \$20/LF fence) in the amount of \$4,700.00, is part of the builder's grading permit application for this parcel.
- This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and the Landscape Manual.
- At the time of plant installation all shrubs and trees listed and approved on the landscape plan, shall comply with the proper height requirement in accordance with the Howard county landscape manual. In addition, no substitutions or relocations of the required plantings may be made without prior review and approval from the department of planning and zoning. Any deviation from the approved landscape plan may result in denial or delay in the release of landscape surety until such time as all required materials are planted and/or revision are made to the applicable plans.
- The owner, tenants and/or their agents shall be responsible for maintenance of the required landscaping including both plant materials and berms, fences and walls. All plant materials shall be maintained in good growing conditions, and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.
- No trees or plant material shall be placed (or encroach) in public road right-of-ways such that sight distance is impeded.

STABILIZED CONSTRUCTION ENTRANCE NOTE

NOTE:
 1. Due to the existing paved/graveled surfaces, the stabilized construction entrance (S.C.E.) shall be installed at the direction of the sediment control inspector.
 2. The contractor shall minimize mud/dirt in the private drive and shall immediately cleanup any tracked mud on the driveway should it become necessary (i.e., no tracking mud onto school driveway).

SEDIMENT/EROSION CONTROL OUTSIDE OF PERIMETER CONTROLS:
 (This applies to the proposed sewer service and vault, BD-on BD Fence, and the Grass Swale along the driveway).

- All excavated soil shall be placed on the high side of trench if not placed in the temporary stockpile.
- All existing sediment control devices if disturbed in the utility construction must be repaired the same day.
- Only construct that portion of utility that can be backfilled, seeded and mulched in that same day.
- Sediment and erosion control devices shall be inspected daily and maintained in working conditions as per the standard details and specifications and to the satisfaction of the inspector.

BUILDER/DEVELOPER'S CERTIFICATE (LANDSCAPING)

I, Stephen G. Koffl, certify that the required landscaping shown on this plan will be according to the PLAN, SECTION 16.124 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE LANDSCAPE MANUAL. I/FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Date: 3/16/09

Signature of Owner/Developer: Stephen G. Koffl

CIVIL DESIGN SERVICES, LC
 8123 Holly Ridge Court, Columbia, Maryland 21044
 410.531.0572 phone/fax
 civildesign@comcast.net

I hereby certify that I prepared these documents and that this seal signifies that I am a duly licensed professional engineer under the laws of the State of MD, License No. 15838 w/expiration December 17, 2009

Andrew A. Porter 3/10/09
 REGISTERED PROFESSIONAL ENGINEER

NO.	REVISION	DATE

ENGINEER'S CERTIFICATE

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

Andrew A. Porter 3/10/09
 Signature of Engineer ANDREW A. PORTER, P.E. Date

BUILDER/DEVELOPER'S CERTIFICATE (S.C.E.)

"I/We certify that all development and construction will be done according to this plan, for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

Stephen G. Koffl 3/16/09
 Signature of Developer Stephen G. Koffl Date

OWNER/DEVELOPER/BUILDER
 Clarksville Auto Properties, LLC
 Attn: Mr. Stephen G. Koffl
 12188 Clarksville Pike
 Clarksville, Maryland 21029
 410.531.5656
 301.854.3873 (fax)

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chris Hanna 4/1/09
 Chief, Division of Land Development Date

John Roberts 3/26/09
 Chief, Development Engineering Division Date

Mark D'Arcy 7/2/05
 Director - Department of Planning and Zoning Date

PROJECT: CLARKSVILLE AUTO CENTER SECTION: N/A PARCEL: 32

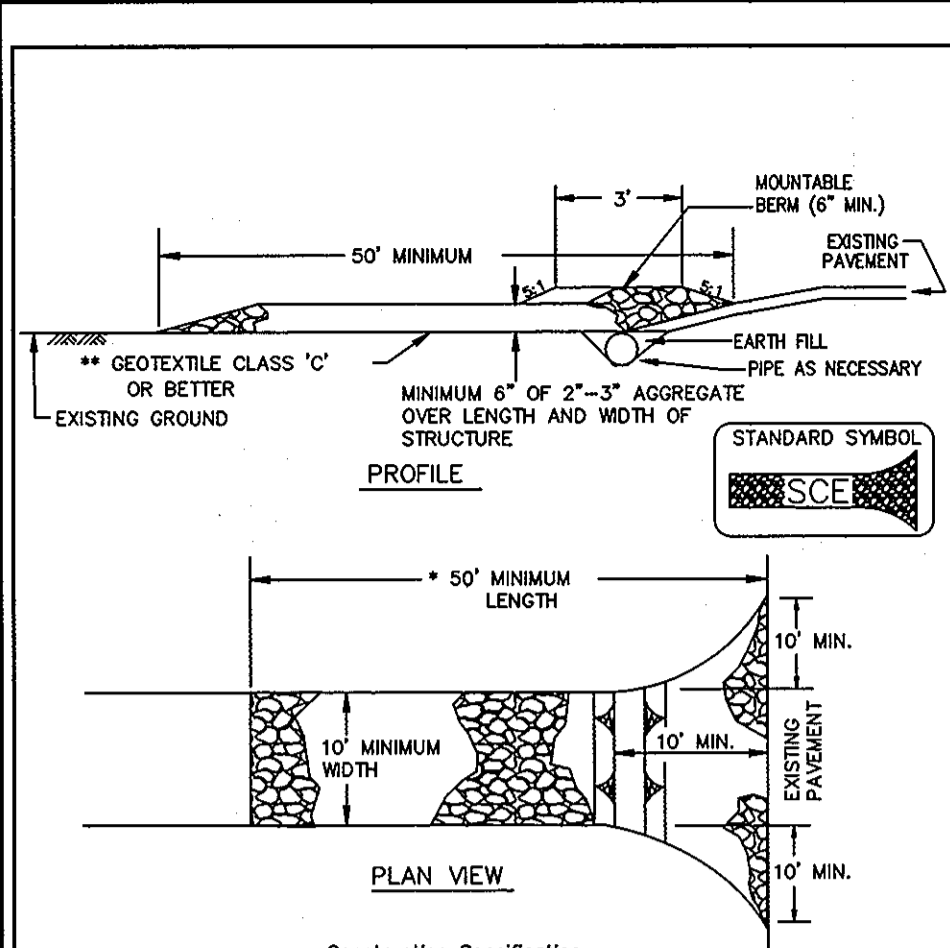
L/F	GRID NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
6563/363	12	POR	34	5 th	6051.01

SEDIMENT/EROSION CONTROL & LANDSCAPE PLAN & DETAILS

CLARKSVILLE AUTO CENTER
 (AUTOBODY REPAIR SHOP)
 6374 TEN OAKS ROAD, CLARKSVILLE, MD 21029
 LIBER 6563 FOLIO 363

TAX MAP NO: 34 PARCEL NO: 32 GRID NO: 12
 FIFTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1" = 30' DATE: FEBRUARY 13, 2009

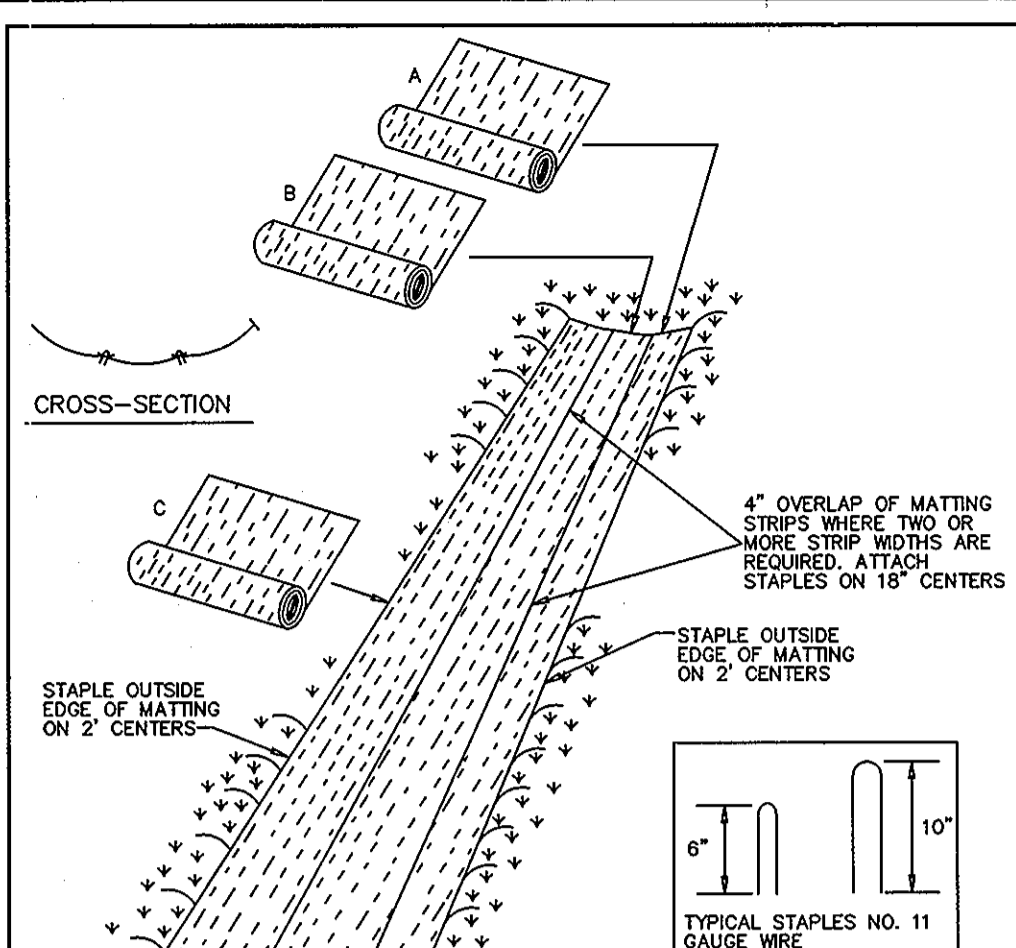
SHEET 2 OF 3
 SDP-08-123



Construction Specifications

- Length - minimum of 50' (for single residence lot).
- Width - 10' minimum, should be flared at the existing road to provide a turning radius.
- Geotextile fabric (E1GP) shall be placed over the existing ground prior to placing stone. *The site approval authority may not require single family residences to use geotextile.
- Stone - crushed aggregate (2" to 3") or recycled or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
- Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
- Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



Construction Specifications

- Key-in the matting by placing the top ends of the matting in a narrow trench, 6" in depth. Backfill the trench and tamp firmly to conform to the channel cross-section. Secure with a row of staples about 4" down slope from the trench. Spacing between staples is 6".
- Staple the 4" overlap in the channel center using an 18" spacing between staples.
- Before stapling the outer edges of the matting, make sure the matting is smooth and in firm contact with the soil.
- Staples shall be placed 2' apart with 4 rows for each strip, 2 outer rows, and 2 alternating rows down the center.
- Where one roll of matting ends and another begins, the end of the top strip shall overlap the upper end of the lower strip by 4" in shingle fashion. Reinforce the overlap with a double row of staples spaced 6" apart in a staggered pattern on either side.
- The discharge end of the matting liner should be similarly secured with 2 double rows of staples. Note: If flow will enter from the edge of the matting then the area affected by the flow must be keyed-in.

EROSION CONTROL MATTING
NOT TO SCALE

STANDARDS AND SPECIFICATIONS FOR TOPSOIL FOR SITES UNDER 5 ACRES

Definition
Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

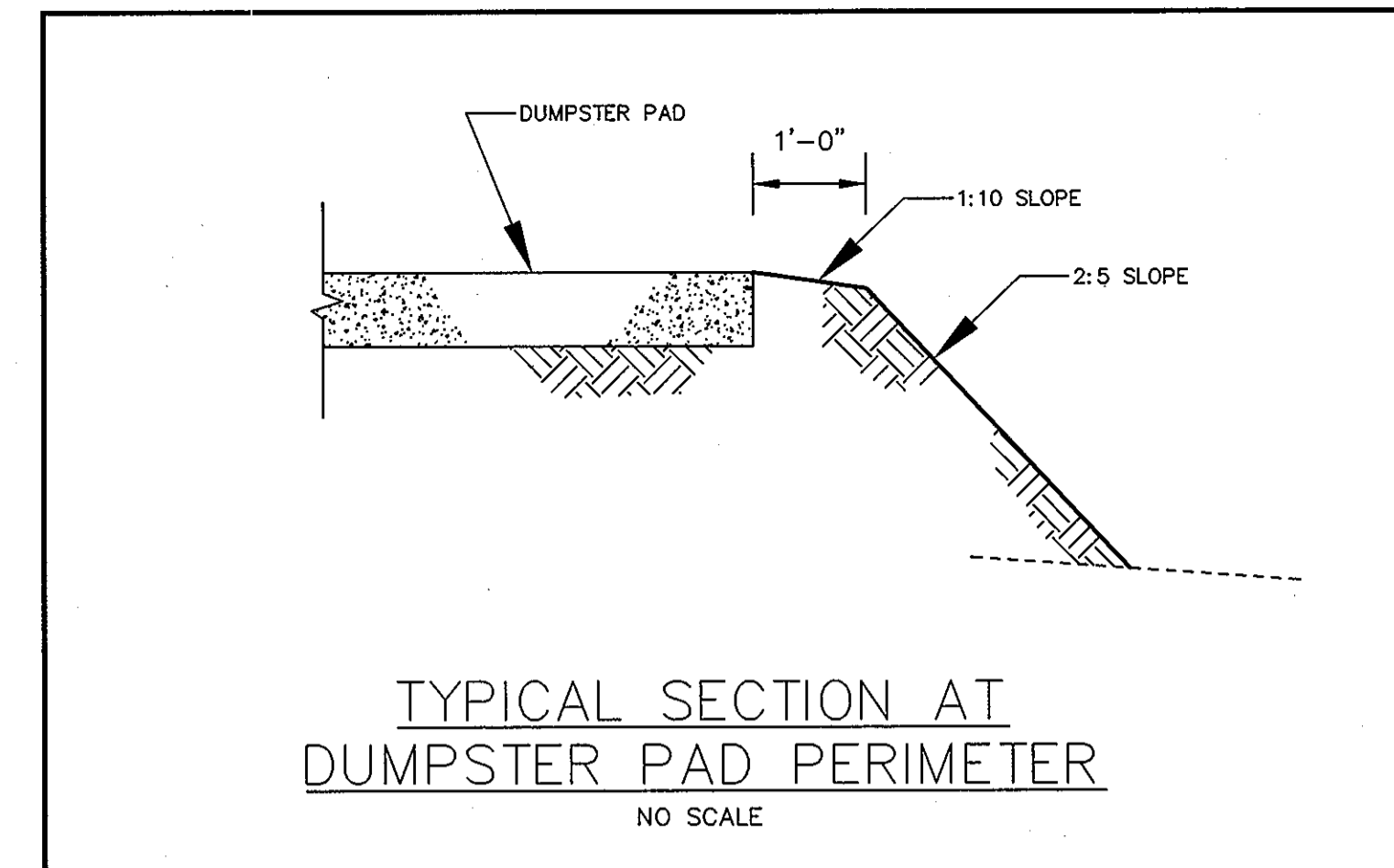
Purpose
To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

Conditions Where Practice Applies

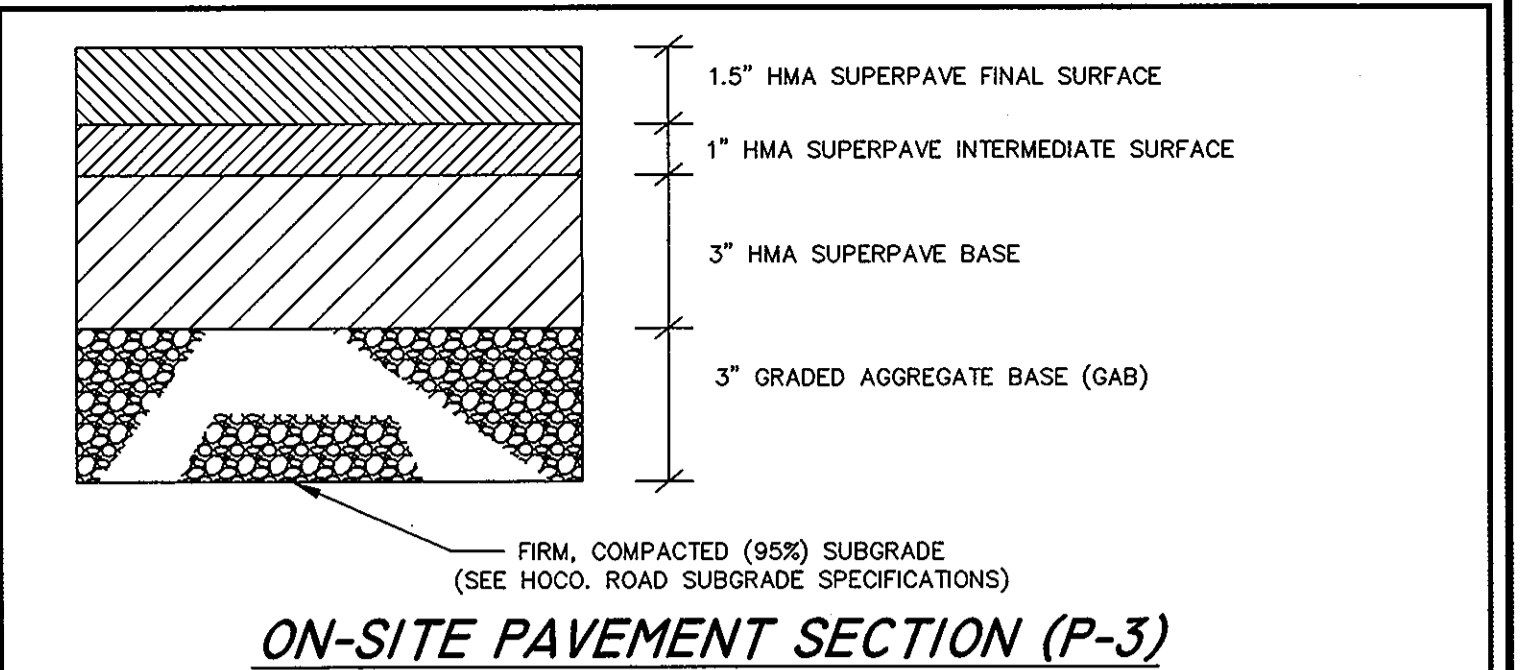
- This practice is limited to areas having 2:1 or flatter slopes where:
 - The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
 - The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
 - The original soil to be vegetated contains material toxic to plant growth.
 - The soil is so acidic that treatment with limestone is not feasible.
- For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications

- Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experiment Station.
- Topsoil Specifications - Soil to be used as topsoil must meet the following:
 - Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1.5" in diameter.
 - Topsoil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnson grass, nutsedge, poison ivy, thistle, or others as specified.
 - Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following paragraphs.
- For sites having disturbed areas under 5 acres:
 - Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.



TYPICAL SECTION AT DUMPSTER PAD PERIMETER
NO SCALE



ON-SITE PAVEMENT SECTION (P-3)
NOT TO SCALE

NOTES:

- Construction and materials shall meet HoCo. Standard Specifications (Vol. IV).
- This section assumes a good paving surface of CBR = 7. Contractor shall field verify and adjust paving section as needed.
- See Howard County Standard Detail R-2.01 (Section P-3) for additional specifications and for course thicknesses if CBR's are less than the assumed value of 7 or greater.
- Pavement in Public R/W shall meet shall meet the HoCo. P-4 paving section.

TEMPORARY SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION:
LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS:
APPLY 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1,000 SQ.FT.)

SEEDING:
FOR THE PERIODS MARCH 1 THROUGH APRIL 30, AND AUGUST 15 THROUGH NOVEMBER 15, SEED WITH 1¢ BUSHEL PER ACRE OF ANNUAL RYE (3.2 LBS./ACRE OF WEEDING LOVEGRASS (.07 LBS./1,000 SQ.FT. FOR THE PERIOD NOVEMBER 16 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOD.

MULCHING:
APPLY 1 TO 2 TONS PER ACRE (70 TO 90 LBS./1,000 SQ.FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING 200 GALLONS PER ACRE (5 GAL./1,000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL./1,000 SQ.FT.) FOR ANCHORING.

REFER TO THE 1988 MARYLAND STANDARDS AND SPECIFICATION FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED ABOVE.

PERMANENT SEEDING NOTES

ALL DISTURBED AREAS SHALL BE STABILIZED AS FOLLOWS,

SEEDBED PREPARATION:
LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING.

SOIL AMENDMENTS:
APPLY TWO TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS./1,000 SQ.FT.) AND 600 LBS. PER ACRE 0-20-20 FERTILIZER (14 LBS./1,000 SQ.FT.) BEFORE SEEDING HARROW OR DISC INTO UPPER THREE INCHES OF SOIL. AT TIME OF SEEDING, APPLY 400 LBS. PER ACRE 38-0-0 UREAFORM FERTILIZER (9 LBS./1,000 SQ.FT.) AND 500 LBS. PER ACRE (11.5 LBS./1,000 SQ.FT.) OF 10-20-20 FERTILIZER.

SEEDING:
FOR THE PERIODS MARCH 1 THROUGH APRIL 30, AND AUGUST 1 THROUGH OCTOBER 15, SEED WITH 100 LBS. PER ACRE (2.3 LBS./1,000 SQ.FT.) OF KENTUCKY 31 TALL FESCUE, FOR MAY 1 THROUGH JULY 31, SEED WITH 60 LBS./ACRE (1.4 LBS./1,000 SQ.FT.) KENTUCKY 31 TALL FESCUE AND 2 LBS. PER ACRE (0.05 LBS./1,000 SQ.FT.) OF WEEDING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THROUGH FEBRUARY 28, PROJECT SITE BY OPTION (1) - TWO TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING; OPTION (2) - USE SOD; OPTION (3) - SEED WITH 100 LBS./ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH TWO TONS/ACRE WELL ANCHORED STRAW. ALL SLOPES SHOULD BE HYDROSEEDED.

MULCHING:
APPLY 1 TO 2 TONS PER ACRE (10 TO 90 LBS./1,000 SQ.FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING 200 GALLONS PER ACRE (5 GAL./1,000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS, ON SLOPES 8 FEET OR HIGHER USE 348 GALLONS PER ACRE (8 GAL./1,000 SQ.FT.) FOR ANCHORING.

MAINTENANCE:
INSPECT ALL SEEDING AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

NOTE: FOR PUBLIC PONDS SUBSTITUTE CHEMUNG CROWNVECH AT 15 LBS./ACRE AND KENTUCKY 31 TALL FESCUE AT 40 LBS./ACRE AS THE SEEDING REQUIREMENT. OPTIMUM SEEDING DATE FOR THIS MIXTURE IS MARCH 1 TO APRIL 30.

7. SITE ANALYSIS:
TOTAL AREA OF SITE = 0.67 ACRES AREA DISTURBED AREA = 0.35 ACRES (15,460 sf) AREA TO BE ROOFED OR PAVED = 0.25 ACRES (10,780 sf) AREA TO BE VEGETATIVELY STABILIZED = 0.10 ACRES (4,260 sf) TOTAL CUT = 50 CY± TOTAL FILL = 250 CY± (C/F VOLUMES ARE NOT FOR BIDDING USE)

8. OFFSITE WASTE/BORROW AREA WILL BE FROM AN H.S.C.D.-APPROVED SITE. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.

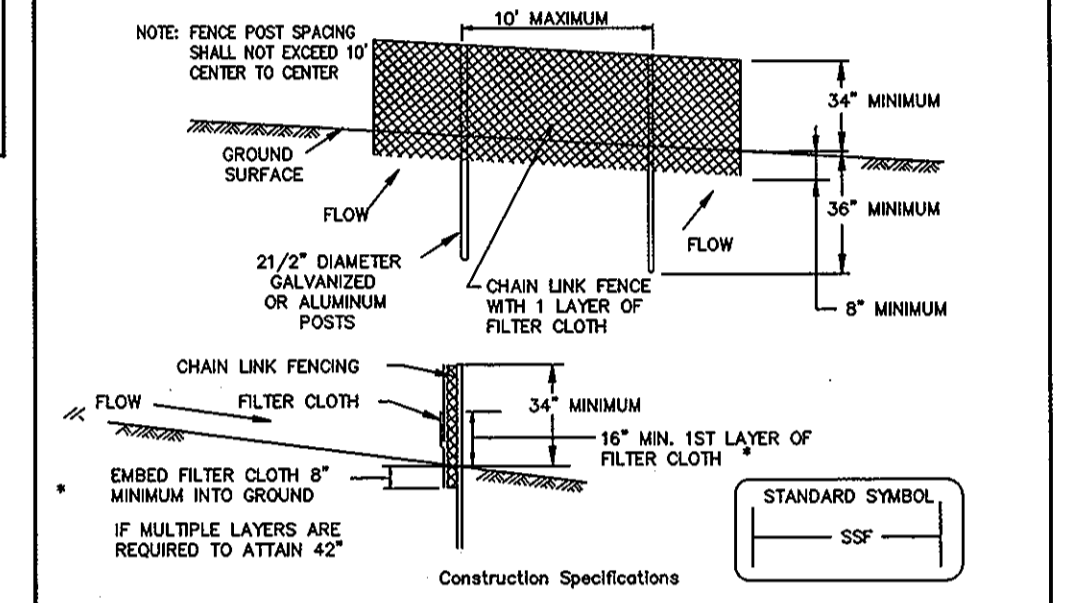
9. ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

10. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.

11. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN BE BACKFILLED AND STABILIZED WITHIN ONE (1) WORKING DAY, WHICHEVER IS SHORTER.

SEDIMENT CONTROL NOTES

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION (410.313.1855) PRIOR TO STARTING CONSTRUCTION/DISTURBANCE.
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERETO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: a) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3:1, b) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING (SEC. 51), SOD (SEC. 54), TEMPORARY SEEDING (SEC. 50), AND MULCHING (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.



Construction Specifications

- Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway Details for Chain Link Fencing. The specification for a 6" fence shall be used, substituting 42" fabric and 8" length posts.
- Chain link fence shall be fastened securely to the fence posts with wire ties. The lower tension wire, braces and truss rods, drive anchors and post caps are not required except on the ends of the fence.
- Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.
- Filter cloth shall be embedded a minimum of 8" into the ground.
- When two sections of filter cloth adjoin each other, they shall be overlapped by 6" and folded.
- Maintenance shall be performed as needed and silt buildups removed when "bulges" develop in the silt fence, or when silt reaches 50% of fence height.
- Filter cloth shall be fastened securely to each fence post with wire ties or staples at top and mid section and shall meet the following requirements for Geotextile Class F:

Tensile Strength	50 lb/in (min.)	Test: MSMT 509
Tensile Modulus	20 lb/in (min.)	Test: MSMT 509
Flow Rate	0.3 gal/ft ² /min (max.)	Test: MSMT 322
Filtering Efficiency	75% (min.)	Test: MSMT 322

Design Criteria

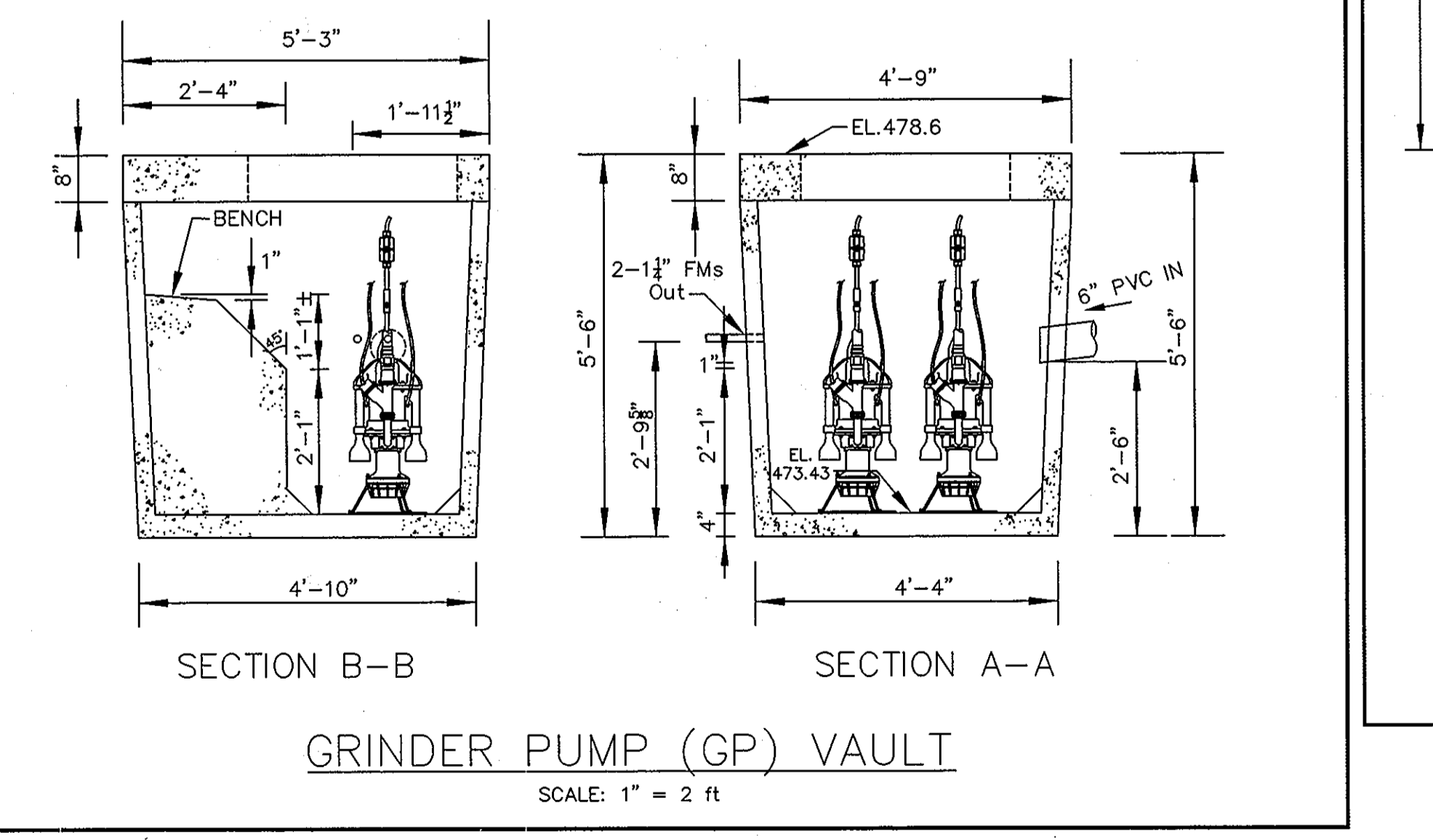
Slope	Slope Steepness	Slope Length (maximum)	Silt Fence Length (maximum)
0 - 10%	0 - 10:1	Unlimited	Unlimited
10 - 20%	10:1 - 5:1	200 feet	1,500 feet
20 - 33%	5:1 - 3:1	100 feet	1,000 feet
33 - 50%	3:1 - 2:1	100 feet	500 feet
50% +	2:1 +	50 feet	250 feet

SEQUENCE OF CONSTRUCTION

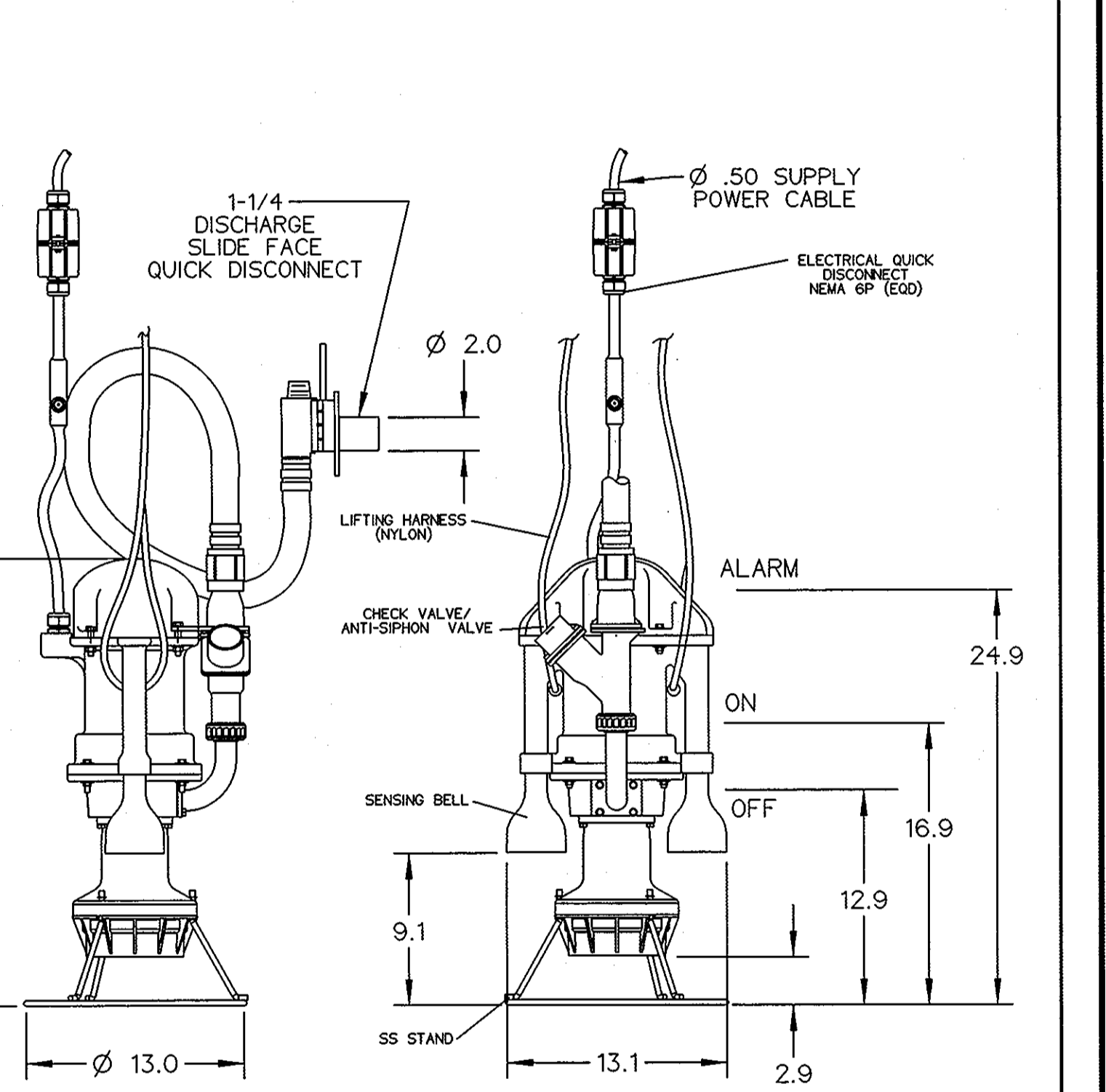
- OBTAIN GRADING PERMIT.
- NOTIFY HOWARD COUNTY D.I.L.P. (410-313-1330) AND MISS UTILITY (800-257-7777) AT LEAST TWO (2) DAYS PRIOR TO BEGINNING WORK. (7 DAYS)
- INSTALL PERIMETER SEDIMENT AND EROSION CONTROL DEVICES (SILT FENCE, S.C.E.). (3 DAYS)
- WITH PERMISSION OF THE INSPECTOR, CLEAR & GRUB AND GRADE SITE AND REMOVE GRAVEL SURFACES PER PLAN WITHIN LIMIT OF DISTURBANCE. (15 DAYS)
- BEGIN BUILDING CONSTRUCTION (9 MONTHS)
- PAVE DRIVEWAY. (7 DAYS)
- INSTALL GRASS CHANNEL ALONG PRIVATE DRIVE. (3 DAYS)
- INSTALL BD-ON-BD FENCE. (3 DAYS)
- FINE GRADE AND PLACE PERMANENT SEEDING. (3 DAYS)
- WITH PERMISSION OF THE S.E.C. INSPECTOR, REMOVE SEDIMENT CONTROL DEVICES AND STABILIZE AREAS DISTURBED BY THIS PROCESS. (5 DAYS)

PRIVATE GRINDER PUMP STATION NOTES

- OBTAIN A PLUMBING PERMIT.
- PUMP STATION TO BE AN ENVIRONMENT ONE DUPLEX MODEL AMGP (AFTER MARKET GRINDER PUMP). INSTALL PER MANUFACTURER'S SPECIFICATIONS AND HOWARD COUNTY PLUMBING CODE. VERIFY PROPER POWER SUPPLY IS AVAILABLE. SEE TYPICAL INSTALLATION INSTRUCTIONS.
- PUMP TO BE INSTALLED INSIDE EXISTING BUILDING (BUILDING A) WHERE OWNER CHOOSES ON WALL VISIBLE TO EMPLOYEES.
- A MODIFIED CONCRETE VAULT CAN BE ORDERED FROM MAYER BROTHERS INC. (410.796.1434) IN ELKDRIDGE. REFER TO DETAIL DWG. No. 500704 FOR DESIGN DATA AND GENERAL NOTES. SPECIAL ORDER VAULT SO MANHOLE AND PIPE OPENINGS ARE LOCATED PER VAULT DETAIL.
- USE TRAFFIC BEARING 36" F&C; AVAILABLE FROM NEENAH FOUNDRY PRODUCT #R-1739-A.
- THE FOREMAN (FM) AND GRAVITY CONNECTIONS TO THE GRINDER PUMP (GP) VAULT SHALL BE WATER TIGHT. RUBBER BOOTS SHOULD BE USED AT PIPE OPENINGS.
- PROVIDE A 2" PIPE VENT WITH 1% SLOPE TOWARD VAULT; EXTEND ALONG AND FASTEN TO WALL OF BUILDING A. TERMINATE IN AN INVERTED U (i.e., POINTED DOWNWARD) 2' ABOVE HIGHEST WINDOW/DOORWAY.
- CONNECT/JOIN THE 1-1/4" FORCE MAINS TO ONE (1) LINE JUST OUTSIDE THE VAULT.
- PROVIDE 6" ± FILLETED CORNERS ALONG PERIMETER OF WETWELL INVERT. FILLETS TO BE APPROXIMATELY 45°.



GRINDER PUMP (GP) VAULT
SCALE: 1" = 2 ft



AFTER MARKET GRINDER PUMP

UL NSF SP

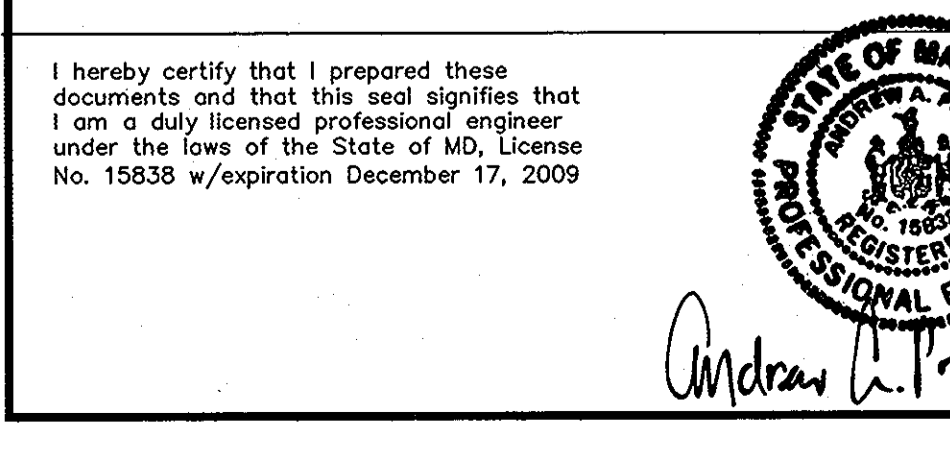
SGS	CAH	12/21/05	C	1/10
DR BY	CHK'D	DATE	ISSUE	SCALE

eone
SEWER SYSTEMS

DIMENSION SHEET, AMGP

LM000102

CIVIL DESIGN SERVICES, LC
8123 Holly Ridge Court, Columbia, Maryland 21044
410.531.0572 phone/fax
civildesign@comcast.net



NO.	REVISION	DATE

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

John R. Robertson 3/26/09
Date

OWNER/DEVELOPER/BUILDER
Clarksville Auto Properties, LLC
Attn: Mr. Stephen G. Kaffi
12188 Clarksville Pike
Clarksville, Maryland 21029
410.531.5656
301.854.3873 (fax)

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Cynthia Hamble 4/1/09
Chief, Division of Land Development Date

Robert D. ... 3/26/09
Chief, Development Engineering Division Date

Mark P. ... 3/4/09
Director - Department of Planning and Zoning Date

PROJECT	SECTION	PARCEL
CLARKSVILLE AUTO CENTER	N/A	32

L/F	GRID NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
6563/363	12	POR	34	5 th	6051.01

NOTES & DETAILS

CLARKSVILLE AUTO CENTER
(AUTOBODY REPAIR SHOP)
6374 TEN OAKS ROAD, CLARKSVILLE, MD 21029
LIBER 6563 FOLIO 363

TAX MAP NO: 34 PARCEL NO: 32 GRID NO: 12
FIFTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 30' DATE: FEBRUARY 13, 2009

SHEET 3 OF 3
SDP-08-123