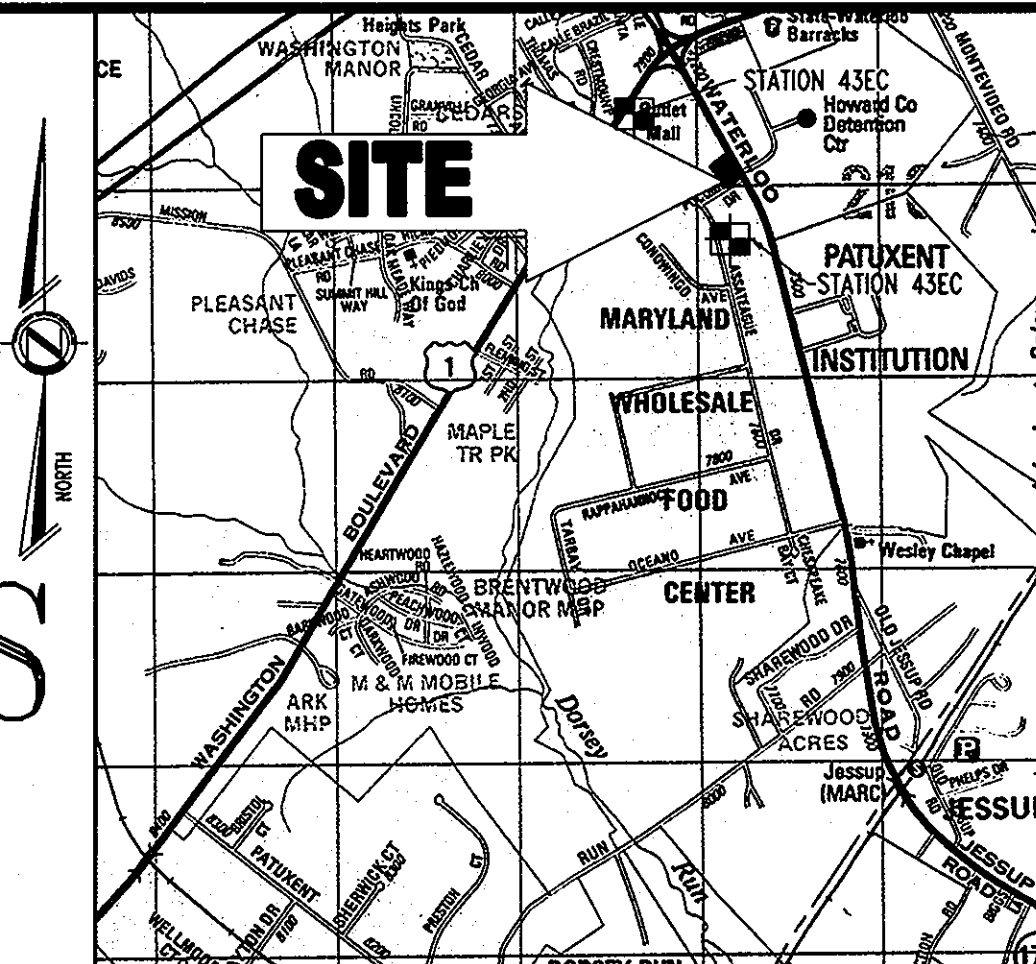


7878 POCOMOKE AVENUE SITE DEVELOPMENT PLANS

McDONALD'S RESTAURANT, STORE #585, PARKING AND ENTRANCEWAYS GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET

PARCEL A-4, BLOCK B, TAX MAP 43, GRID 15 HOWARD COUNTY, MARYLAND 20794



LOCATION MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=1000'
ADC MAP COORDINATES: 20-J-1

COUNTY CONTROL INFORMATION

STATION 43EC
HOWARD COUNTY ALUMINUM DISK SET ON A CONCRETE MONUMENT ON MARYLAND ROUTE 1 SOUTH OF MARYLAND ROUTE 175.

STATION 43EA
HOWARD COUNTY ALUMINUM DISK SET ON A CONCRETE MONUMENT ON THE CORNER OF ASSATEAGUE ROAD AND POCOMOKE AVENUE.



LEGEND

EXISTING	FOR ENTIRE PLAN SET (NOT TO SCALE)	PROPOSED
EXISTING NOTE	TYPICAL NOTE TEXT ONSITE PROPERTY LINE / R.O.W. LINE NEIGHBORING PROPERTY LINE / INTERIOR PARCEL LINE EASEMENT LINE SETBACK LINE	PROPOSED NOTE
CONCRETE CURB & GUTTER	CURB AND GUTTER SPILL CURB TRANSITION CURB DEPRESSED CURB AND GUTTER	
TYPICAL LIGHT ACORN LIGHT TYPICAL SIGN		
PARKING COUNTS		
CONTOUR LINE		
SPOT ELEVATIONS		
SANITARY LABEL STORM LABEL		
SANITARY SEWER LATERAL		
UNDERGROUND WATER LINE		
UNDERGROUND ELECTRIC LINE		
UNDERGROUND GAS LINE		
OVERHEAD WIRE		
UNDERGROUND TELEPHONE LINE		
UNDERGROUND CABLE LINE		
STORM SEWER		
SANITARY SEWER MAIN		
HYDRANT		
SANITARY MANHOLE		
STORM MANHOLE		
WATER METER		
WATER VALVE		
GAS VALVE		
GAS METER		
TYPICAL END SECTION		
HEADWALL OR ENDWALL		
YARD INLET		
CURB INLET		
CLEAN OUT		
ELECTRIC MANHOLE		
TELEPHONE MANHOLE		
ELECTRIC BOX		
ELECTRIC PEDESTAL		
MONITORING WELL		
TEST PIT		
BENCHMARK		
BORING		
UTILITY POLE W/LIGHT		
POLE LIGHT		
TRAFFIC LIGHT		
UTILITY POLE		

GENERAL NOTES:

- THIS PLAN IS BASED ON A SURVEY BY: CONTROL POINT ASSOCIATES, INC. ENTITLED: "BOUNDARY & TOPOGRAPHIC SURVEY MCDONALD'S CORPORATION, 7878 POCOMOKE AVENUE, PARCEL A-4, SECTION 1, THE GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET, PLAT NO. 5125, 6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND" DATED: 06/08/07 PROJECT NO.: S075005.SR
- THE EXISTING TOPOGRAPHY IS TAKEN FROM A FIELD RUN SURVEY WITH ONE FOOT CONTOUR INTERVALS PREPARED BY CONTROL POINT ASSOCIATES, INC. DATED 06/08/07.
- EXISTING UTILITIES ARE BASED ON A SURVEY BY CONTROL POINT ASSOCIATES, INC. DATED 06/08/07.
- THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY: THE TRAFFIC GROUP, INC. ENTITLED: "ADEQUATE ROAD FACILITIES TEST EVALUATION & TRAFFIC IMPACT STUDY, MCDONALD'S, POCOMOKE AVENUE, HOWARD COUNTY, MARYLAND." DATED: 08/28/2008
- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- EXISTING USE: FAST FOOD RESTAURANT PROPOSED USE: REPLACE EXISTING MCDONALD'S RESTAURANT WITH A NEW BUILDING, DRIVE-THRU ISLE, AND LANDSCAPING.
- MAXIMUM BUILDING HEIGHT ALLOWED: 50'-0" PROPOSED BUILDING HEIGHT: 18'-3"
- PARKING: REQUIRED - FAST FOOD RESTAURANT: 14 SPACES/1,000 SF OF FLOOR AREA 14 x (4,252/1,000) = 60 SPACES TOTAL PARKING REQUIRED = 60 SPACES PROPOSED: 60 SPACES (INCLUDING 3 HANDICAP SPACES)
- REFUSE SHALL BE DISPOSED OF DAILY IN ENCLOSED TRASH RECEPTACLES. TRASH REMOVAL WILL BE PRIVATELY CONTRACTED.
- SETBACKS: REQUIRED PROPOSED
WATERLOO ROAD:
USE & STRUCTURE SETBACK 50' 82.44'
PARKING SETBACK 30' 12.70*
POCOMOKE AVE.:
USE & STRUCTURE SETBACK 50' 77.98'
PARKING SETBACK 10' 11.50'
- *PER BOARD OF APPEALS CASE NO. 08-0808CV A PARKING SETBACK OF 12.55' FROM AN EXTERNAL PUBLIC STREET RIGHT-OF-WAY WAS APPROVED ON JUNE 19, 2008
- LIGHTING SHALL BE SHIELDED AND DIRECTED SO THAT IT DOES NOT SHINE DIRECTLY ONTO ANY ADJACENT PROPERTIES, IT SHALL NOT ILLUMINATE RESIDENTIAL PROPERTIES AND SHALL NOT PRODUCE GLARE WHICH WOULD CAUSE A HAZARD FOR MOTOR VEHICLE OPERATIONS IN THE VICINITY OF THE SITE. LIGHTING SHALL COMPLY WITH SECTION 134 OF THE ZONING REGULATIONS.
- UTILITIES:
WATER, PUBLIC - AN 8" WATER MAIN EXISTS ALONG POCOMOKE AVENUE - CONTRACT # 692-0-W. A NEW CONNECTION AND A NEW METER WILL BE INSTALLED.
SEWER, PUBLIC - AN 8" SEWER MAIN EXISTS ALONG ASSATEAGUE DRIVE - CONTRACT # B694-B, DWG # 6900-12. A NEW CONNECTION WILL BE INSTALLED.
STORM DRAIN - AN 18" RCP IS LOCATED ON THE NORTHWESTERN SIDE OF THE SITE. A 27" RCP IS LOCATED OFFSITE ALONG ASSATEAGUE DRIVE.
- ELECTION DISTRICT: 06
- DEED REFERENCE: LIBER 920, FOLIO 478 AND LIBER 1091, FOLIO 1
- TAX MAP: 43, GRID: 15, PARCEL: A-4
- PROPERTY IS LOCATED IN JESSUP.
- THERE IS NO 100-YEAR FLOOD PLAIN LOCATED ON SITE PER FEMA FLOOD PLAIN MAP 240044040 B. SITE IS LOCATED IN ZONE C - AREAS OF MINIMAL FLOODING.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY AND MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- ALL HOWARD COUNTY STORMWATER QUALITY MANAGEMENT REQUIREMENTS WILL BE MET UTILIZING AN UNDERGROUND VOLUME BASED STORMFILTER. HOWARD COUNTY STORMWATER QUANTITY REQUIREMENTS WERE PREVIOUSLY MET UNDER SDP 87-163.
- ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2 1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
- WAIVER PETITION WP 09-38 WAS APPROVED ON NOVEMBER 6, 2008 TO WAIVE SECTION 16.120 (a)(2) RESTRICTING NON-RESIDENTIAL LOTS FROM DIRECT ACCESS ON TO AN ARTERIAL HIGHWAY PROVIDED THAT A FINAL PLAN FOR THIS PARCEL (PLAT #5125) BE RECORDED TO REMOVE THE VEHICULAR INGRESS/EGRESS RESTRICTED NOTATION ALONG MD RTE 175 EXCEPT FOR THE ONE-WAY ENTRANCE WAY. A SIDEWALK IS INSTALLED ALONG THE ENTIRE POCOMOKE FRONTAGE AND TIED INTO EXISTING SIDEWALK ALONG MD RTE 175, AND ALL STATE HIGHWAY COMMENTS ARE ADDRESSED IN THESE PLANS.
- BOARD OF APPEALS CASE NO. 08-0808CV WAS APPROVED ON JUNE 19TH, 2008 FOR A FAST FOOD RESTAURANT CONDITIONAL USE AND A VARIANCE TO REDUCE THE 30-FOOT PARKING SETBACK FROM AN EXTERNAL PUBLIC STREET RIGHT-OF-WAY TO 12.75 FEET IN A M-2 ZONING DISTRICT. WITHIN TWO YEARS FROM THE DECISION DATE OF BA CASE NO. 08-0808CV, BUILDING PERMITS SHALL BE OBTAINED (ON OR BEFORE JUNE 19, 2010) AND SUBSTANTIAL CONSTRUCTION COMPLETED WITHIN THREE YEARS FROM THE DECISION DATE (ON OR BEFORE JUNE 19, 2011).
- IN ACCORDANCE WITH SECTION 151.N.21.A OF THE ZONING REGULATIONS, A MINIMUM OF 20% OF THIS SITE SHALL BE LANDSCAPED.

SITE ANALYSIS DATA CHART

PROJECT AREA:	PARCEL A-4 = 1.22 ACRES = 53,162 S.F.
LIMIT OF DISTURBED AREA:	61,856 S.F. (1.42 AC)
PRESENT ZONING:	M-2 (MANUFACTURING: HEAVY)
PROPOSED USE:	REPLACE EXISTING MCDONALD'S RESTAURANT WITH A NEW BUILDING, DRIVE-THRU ISLE, AND LANDSCAPING.
FLOOR AREA:	TOTAL FLOOR AREA: 4,252 S.F.
MAXIMUM NUMBER OF EMPLOYEES:	10
PARKING SPACES REQUIRED:	60 (SEE GENERAL NOTE 8 OF THIS SHEET)
PARKING SPACES PROVIDED:	60 (INCLUDING 3 HANDICAP SPACES)
BUILDING COVERAGE OF SITE:	0.097 ACRES (8.00% OF GROSS AREA)

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17	POST-DEVELOPMENT SWM DRAINAGE AREA MAPS
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UTILITY CONTACT INFORMATION:

NATURAL GAS AND ELECTRIC BALTIMORE GAS AND ELECTRIC 7317 PARKWAY DRIVE SOUTH HANOVER, MD 21076 PHONE: (410) 659-9383	WATER AND SANITARY SEWER HOWARD COUNTY PUBLIC WORKS BUREAU OF UTILITIES 6250 OLD MONTGOMERY ROAD COLUMBIA, MD 21045 PHONE: (410) 313-4910
TELEPHONE VERIZON 7133 RUTHERFORD ROAD BALTIMORE, MD 21244 PHONE: (410) 224-5286	EROSION AND SEDIMENT CONTROL DEPARTMENT OF INSPECTIONS, LICENSES & PERMITS 3430 COURTHOUSE DRIVE ELLCOTT CITY, MD 21043 PHONE: (410) 313-2455
STORMWATER MANAGEMENT HOWARD COUNTY PLANNING AND ZONING DEPARTMENT 3430 COURTHOUSE DRIVE ELLCOTT CITY, MD 21043 PHONE: (410) 313-2550	PLANNING AND ZONING HOWARD COUNTY PLANNING AND ZONING DEPARTMENT 3430 COURTHOUSE DRIVE ELLCOTT CITY, MD 21043 PHONE: (410) 313-2550

PROFESSIONAL CERTIFICATION

I, MATTHEW T. ALLEN, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 28567, EXPIRATION DATE: 4/16/11

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS	DATE: 5/20/2009
<i>Matthew T. Allen</i>	DATE: 7/10/09
CHEF-DEVELOPMENT ENGINEERING DIVISION	DATE: 5/4/09
CHEF-DIVISION OF LAND DEVELOPMENT	DATE: 6/23/09
DIRECTOR, DEP	DATE: 6/26/09

APPROVED: DEPARTMENT OF PLANNING AND ZONING

NO.:	DATE:	REVISION DESCRIPTION:
7123/09	Rev Per SHP & ADO Comments	

OWNERS:

MCDONALD'S CORPORATION PO BOX 66207 AME O'HARE AIRPORT CHICAGO, IL 60666-0207 CONTACT: JOHN EIBERGER PHONE: (240) 497-3650	DEVELOPER: MCDONALD'S USA, LLC BALTIMORE/WASHINGTON REGION 6905 ROCKLEDGE DRIVE, SUITE 100 BETHESDA, MD 20817 CONTACT: JOHN EIBERGER PHONE: (240) 497-3650
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McDONALD'S W/ NEW PARKING AND ENTRANCEWAYS
GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET
PARCEL A-4, BLOCK B
7878 POCOMOKE AVENUE, JESSUP, HOWARD COUNTY, MARYLAND 20794
AREA 1.22 AC. TAX MAP 43 GRID 15 ZONED M-2
PARCEL A-4 L 920, F. 478 AND L 1091, F. 1
6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

BOHLER ENGINEERING

810 GLENEAGLES COURT
SUITE 300
TOWSON, MARYLAND 21286
PH: (410) 821-7900
FX: (410) 821-7987
www.bohlerengineering.com

DESIGNED BY: J.A.P.
DRAWN BY: R.F.G.
PROJECT NO.: MD075002
DATE: 08/29/08
SCALE: AS NOTED
DRAWING NO. 1 OF 30

PROFESSIONAL ENGINEER NO. 28567

PREPARED BY:



810 GLENEAGLES COURT
SUITE 300
TOWSON, MARYLAND 21286
PH: (410) 821-7900
FX: (410) 821-7987
www.bohlerengineering.com

CONTACT: MATTHEW T. ALLEN, P.E.

ISSUED FOR CONSTRUCTION

SIGNATURE	DATE	SIGNATURE	DATE
THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING FOR CONSTRUCTION WITHOUT (4) SIGNATURES			
BEPC PROJECT #		REVISION DATE:	

ADDRESS CHART

LOT/PARCEL #	STREET ADDRESS
LOTS A-4 / PARCEL 652	7878 POCOMOKE AVENUE

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL NO. A-4
GCOW FOOD MARKET	SECTION 1	PARCEL 652
PLAT RECORDATION GRID#	TAX MAP NO.	ELECT. DISTR.
20591	43	6TH
WATER CODE	SEWER CODE	CENSUS TRACT
692-D-W	B694-B	608901

GENERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DETICED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

SITE PLAN GENERAL NOTES

- THIS PLAN IS BASED ON A SURVEY PREPARED BY: CONTROL POINT ASSOCIATES, INC.; ENTITLED: "BOUNDARY & TOPOGRAPHIC SURVEY MCDONALD'S CORPORATION, 7878 POCOMOKE AVENUE, PARCEL A-4, SECTION 1, THE GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET, PLAT NO. 5125, 6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND" DATE: 06/08/07 PROJECT NO.: S075005.SR
- APPLICANT: MCDONALD'S USA, LLC, BALTIMORE/WASHINGTON REGION 8903 ROCKLEDGE DRIVE, SUITE 100 BETHESDA, MD 20817 ATTN: JOHN EIDBERGER PHONE: (240) 497-3650
OWNER: MCDONALD'S CORPORATION P.O. BOX 66207 AMF O'HARE AIRPORT CHICAGO, IL 60666-0207
- SPECIFIC RESOURCES, TECHNICAL REPORTS, DESIGN DOCUMENTS, ETC. RELATED TO THIS PROJECT INCLUDE, BUT MAY NOT BE LIMITED TO, THE FOLLOWING:
GEOTECHNICAL REPORT: PREPARED BY: GILES ENGINEERING ASSOCIATES, INC. ENTITLED: "GEOTECHNICAL ENGINEERING EXPLORATION AND ANALYSIS, PROPOSED MCDONALD'S RESTAURANT-REBUILD, 7878 POCOMOKE AVENUE, JESSUP, MARYLAND, PREPARED FOR: MCDONALD'S USA, LLC, BETHESDA, MARYLAND." PROJECT NO: 3G-07110055 DATE: MAY 19, 2008
TRAFFIC REPORT: PREPARED BY: TRAFFIC GROUP INC. ENTITLED: "ADEQUATE ROAD FACILITIES TEST EVALUATION AND TRAFFIC IMPACT STUDY, MCDONALD'S, POCOMOKE HOWARD COUNTY, MARYLAND." DATE: AUGUST 28, 2008
- PARKING REQUIREMENTS: REQUIRED: 14 SPACES PER 1,000 S.F. OF FLOOR AREA 4,252 S.F./1,000 S.F. x 14 SPACES = 60 SPACES PROVIDED: 60 SPACES (INCLUDING 3 HANDICAP SPACES)
- ALL HANDICAP PARKING SPACES SHALL BE CONSTRUCTED TO MEET ADA REQUIREMENTS.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.
- THE OWNER/CONTRACTOR SHALL BE FAMILIAR WITH AND RESPONSIBLE FOR ANY/ALL CERTIFICATIONS, INSPECTIONS, ETC. REQUIRED BY ALL GOVERNING JURISDICTIONAL AGENCIES DURING AND AFTER CONSTRUCTION FOR SIGN-OFF AND CERTIFICATE OF OCCUPANCY ISSUANCE, INCLUDING BUT NOT LIMITED TO PROCUREMENT OF SERVICES, SCHEDULING OF FIELD OBSERVATIONS AND COORDINATION WITH REPRESENTATIVES OF THE APPROPRIATE PARTIES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF HOWARD COUNTY.
- THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY BOHLER ENGINEERING IN WRITING OF ANY SUCH DISCREPANCY BETWEEN GEOTECHNICAL REPORT AND PLANS, ETC.
- THE PROPERTY SURVEY SHALL BE CONSIDERED A PART OF THESE PLANS.
- THESE PLANS ARE BASED ON INFORMATION PROVIDED TO BOHLER ENGINEERING AT THE TIME OF PLAN PREPARATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY BOHLER ENGINEERING IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK WOULD BE INHIBITED BY ANY OTHER SITE FEATURES.
- ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY BOHLER ENGINEERING IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL/BUILDING PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY LOCATIONS.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL TOWN, COUNTY, STATE AND FEDERAL LAWS AND APPLICABLE CODES.
- CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.
- CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. THAT ARE TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES AS NECESSARY TO ENSURE THE STRUCTURAL STABILITY OF PAVEMENT, STRUCTURES, ETC. TO REMAIN, AND TO PROVIDE A SAFE WORK AREA.
- CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING ALL EXISTING DAMAGE AND FOR NOTIFYING CONSTRUCTION MANAGER PRIOR TO START OF CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM DURING CONSTRUCTION SUCH AS BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPS, CURB, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE ALL SIGNAL INTERCONNECT CABLE, CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION. REPAIR SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
- ALL CONCRETE SHALL HAVE THE MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS AS INDICATED IN SPECIFICATIONS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.
- BOHLER ENGINEERING IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS/MEANS FOR COMPLETION OF THE WORK DEPICTED ON THESE PLANS NOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND NOTIFICATION OF OWNER AND BOHLER ENGINEERING WHEN A CONFLICT IS IDENTIFIED.
- BOHLER ENGINEERING IS NOT RESPONSIBLE FOR JOB SITE SAFETY NOR HAVE THEY BEEN RETAINED FOR SUCH PURPOSES.

SITE PLAN GENERAL NOTES (CONTINUED)

- ALL CONTRACTORS MUST CARRY STATUTORY WORKER'S COMPENSATION INSURANCE, EMPLOYER'S LIABILITY INSURANCE AND APPROPRIATE LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME BOHLER ENGINEERING AND ITS SUBCONSULTANTS AS ADDITIONAL INSURED AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THE HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH BOHLER ENGINEERING WITH CERTIFICATIONS OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS BOHLER ENGINEERING AND ITS SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS.
- NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER ENGINEERING NOR THE PRESENCE OF BOHLER ENGINEERING OR ITS EMPLOYEES AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. BOHLER ENGINEERING AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOBSITE SAFETY. BOHLER ENGINEERING SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE MADE ADDITIONALLY INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
- BOHLER ENGINEERING SHALL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN CONCEPT AND THE INFORMATION SHOWN IN THE CONSTRUCTION MEANS OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES, OR CONSTRUCTION SAFETY PRECAUTIONS, ALL OF WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. BOHLER ENGINEERING'S REVIEW SHALL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT BOHLER ENGINEERING HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER ENGINEERING SHALL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO THE ATTENTION OF BOHLER ENGINEERING IN WRITING BY THE CONTRACTOR. BOHLER ENGINEERING SHALL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.
- IN AN EFFORT TO RESOLVE ANY CONFLICTS THAT ARISE DURING THE DESIGN AND CONSTRUCTION OF THE PROJECT OR FOLLOWING THE COMPLETION OF THE PROJECT, BOHLER ENGINEERING AND THE CONTRACTOR MUST AGREE THAT ALL DISPUTES BETWEEN THEM ARISING OUT OF OR RELATING TO THIS AGREEMENT OR THE PROJECT SHALL BE SUBMITTED TO NONBINDING MEDIATION UNLESS THE PARTIES MUTUALLY AGREE OTHERWISE.
- THE CONTRACTOR MUST INCLUDE A MEDIATION PROVISION IN ALL AGREEMENTS WITH INDEPENDENT SUBCONTRACTORS AND CONSULTANTS RETAINED FOR THE PROJECT AND TO REQUIRE ALL INDEPENDENT CONTRACTORS AND CONSULTANTS ALSO TO INCLUDE A SIMILAR MEDIATION PROVISION IN ALL AGREEMENTS WITH THEIR SUBCONTRACTORS, SUBCONSULTANTS, SUPPLIERS AND FABRICATORS, THEREBY PROVIDING FOR MEDIATION AS THE PRIMARY METHOD FOR DISPUTE RESOLUTION BETWEEN THE PARTIES TO ALL THESE AGREEMENTS.
- IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED THEREON, WITHOUT FIRST OBTAINING PRIOR WRITTEN AUTHORIZATION FOR SUCH DEVIATIONS FROM THE OWNER AND BOHLER ENGINEERING IT SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL COSTS TO CORRECT ANY WORK DONE. ALL FINES OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM, THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER AND BOHLER ENGINEERING HARMLESS FROM ALL SUCH COSTS TO CORRECT ANY SUCH WORK AND FROM ALL SUCH FINES AND PENALTIES, COMPENSATION AND PUNITIVE DAMAGES AND COSTS OF ANY NATURE RESULTING THEREFROM.

GRADING NOTES

- GEOTECHNICAL REPORT PREPARED BY: GILES ENGINEERING ASSOCIATES, INC. ENTITLED: "GEOTECHNICAL ENGINEERING EXPLORATION AND ANALYSIS, PROPOSED MCDONALD'S RESTAURANT-REBUILD, 7878 POCOMOKE AVENUE, JESSUP, MARYLAND, PREPARED FOR: MCDONALD'S USA, LLC, BETHESDA, MARYLAND." PROJECT NO: 3G-07110055 DATE: MAY 19, 2008
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY BOHLER ENGINEERING OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY BOHLER ENGINEERING SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED AS OUTLINED IN THE GEOTECHNICAL REPORT. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL BE SUBMITTED IN COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER OR OWNER'S REPRESENTATIVE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS DIRECTED BY THE GEOTECHNICAL REPORT.

GRADING NOTES

- ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION SHALL BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND SHALL BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS.
- THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS AND REGULATIONS, OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES.
- PAVEMENT SHALL BE SAW CUT IN STRAIGHT LINES TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS SHALL BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.
- THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS SHALL BE ADJUSTED, IF REQUIRED, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MINIMUM SLOPE AGAINST ALL ISLANDS, GUTTERS, AND CURBS; 1.0% ON ALL CONCRETE SURFACES; AND 1.5% MINIMUM ON ASPHALT, TO PREVENT PONDING. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST MUST BE IDENTIFIED TO BOHLER ENGINEERING IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITHOUT NOTIFICATION IS DONE SO AT THE CONTRACTOR'S OWN RISK.
- PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF 0.75% GUTTER GRADE ALONG CURB FACE. ENGINEER TO APPROVE FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION.
- REFER TO SITE PLAN FOR ADDITIONAL NOTES.
- IN CASE OF DISCREPANCIES BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE. IMMEDIATELY NOTIFY BOHLER ENGINEERING IN WRITING OF ANY CONFLICTS.
- CONTRACTOR SHALL BE REQUIRED TO SECURE ALL NECESSARY PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR SHALL SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING WORK.

UTILITY NOTES

- LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO BOHLER ENGINEERING. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. ALL PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL UTILITIES AND SERVICES INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE SHALL BE VERTICALLY AND HORIZONTALLY LOCATED. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY BOHLER ENGINEERING OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY BOHLER ENGINEERING SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
- DEFINE AND LOCATE VERTICALLY AND HORIZONTALLY ALL ACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.
- THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP REQUIREMENTS/DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE UTILITY SERVICE SIZES ARE TO BE DETERMINED BY THE ARCHITECT. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES/SERVICES WITH THE INDIVIDUAL COMPANIES, TO AVOID CONFLICTS AND ENSURE PROPER DEPTHS ARE ACHIEVED. THE JURISDICTION UTILITY REQUIREMENTS SHALL ALSO BE MET, AS WELL AS COORDINATING THE UTILITY TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE. WHERE CONFLICTS EXIST WITH THESE SITE PLANS, BOHLER ENGINEERING IS TO BE NOTIFIED PRIOR TO CONSTRUCTION TO RESOLVE SAME.
- WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS SHALL BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTOR'S PRICE FOR WATER SERVICE SHALL INCLUDE ALL FEES AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE A COMPLETE WORKING SERVICE.
- ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE UTILITY/SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.
- THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS AND REGULATIONS, OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES.
- REFER TO SITE PLAN FOR ADDITIONAL NOTES.
- IN CASE OF DISCREPANCIES BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE. IMMEDIATELY NOTIFY BOHLER ENGINEERING IN WRITING OF ANY CONFLICTS.
- CONTRACTOR SHALL BE REQUIRED TO SECURE ALL NECESSARY PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR SHALL SUPPLY A COPY OF APPROVALS TO BOHLER ENGINEERING AND OWNER PRIOR TO INITIATING WORK.

DEMOLITION NOTES:

- THIS PLAN IS BASED ON DOCUMENTS AND INFORMATION BY: CONTROL POINT ASSOCIATES, INC.; ENTITLED: "BOUNDARY & TOPOGRAPHIC SURVEY MCDONALD'S CORPORATION, 7878 POCOMOKE AVENUE, PARCEL A-4, SECTION 1, THE GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET, PLAT NO. 5125, 6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND" DATE: 06/08/07 PROJECT NO.: S075005.SR
- BOHLER ENGINEERING, IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION.
- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AS WELL AS ALL FEDERAL, STATE AND LOCAL REGULATIONS. ANY DISCREPANCIES OR DEVIATIONS SHALL BE IDENTIFIED BY THE CONTRACTOR TO BOHLER ENGINEERING, IN WRITING FOR RESOLUTION PRIOR TO INITIATION OF SITE ACTIVITY.
- PRIOR TO STARTING ANY DEMOLITION CONTRACTOR IS RESPONSIBLE FOR/TO:
 - ENSURING THAT COPIES OF ALL APPLICABLE PERMITS AND APPROVALS ARE MAINTAINED ON SITE AND AVAILABLE FOR REVIEW.
 - INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL AND/OR TREE PROTECTION MEASURES PRIOR TO SITE DISTURBANCE.
 - LOCATING (VERTICALLY AND HORIZONTALLY) ALL UTILITIES AND SERVICES, INCLUDING, BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.
 - PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE SYSTEM THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
 - FAMILIARIZING THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
 - COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES.
 - A COMPLETE INSPECTION FOR CONTAMINANTS BY A LICENSED ENVIRONMENTAL TESTING AGENCY, OF ALL BUILDINGS AND/OR STRUCTURES TO BE REMOVED. SAME SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL ENVIRONMENTAL REGULATIONS. ANY/ALL CONTAMINANTS SHALL BE REMOVED AND DISPOSED OF BY A FEDERALLY LICENSED CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS. ALL ENVIRONMENTAL WORK INCLUDING HAZARDOUS MATERIAL, SOILS, ASBESTOS, OR OTHER REFERENCED OR IMPLIED HEREIN IS THE SOLE RESPONSIBILITY OF THE OWNER'S ENVIRONMENTAL CONSULTANT.
- THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
- THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN AS A RESULT OF HIS ACTIVITIES. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION CONDITION.
- IN THE ABSENCE OF SPECIFICATIONS, THE CONTRACTOR SHALL PERFORM EARTH MOVEMENT ACTIVITIES, DEMOLITION AND REMOVAL OF ALL FOUNDATION WALLS, FOOTINGS, AND OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE IN ACCORDANCE WITH DIRECTION BY OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
- EXPLOSIVES SHALL NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS SHALL BE IN PLACE PRIOR TO STARTING AN EXPLOSIVE PROGRAM. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL," AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHTS - OF - WAY.
- CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY.
- DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROPERTY LINE UNLESS WRITTEN PERMISSION OF THE APPLICABLE PROPERTY OWNER, AND/OR APPROPRIATE GOVERNMENT AGENCY.
- USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
- CONTRACTOR IS RESPONSIBLE TO SAFEGUARD SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
- THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL METHODS AND MEANS ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL TOWN, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES.

MISS UTILITY



BEFORE YOU DIG CALL 811 IN MD
or 1-800-257-7777
PROTECT YOURSELF, GIVE TWO WORKING DAYS NOTICE
THE CONTRACTOR IS NOT RESPONSIBLE TO HAVE ALL EXISTING UTILITIES MAILED 48 HOURS PRIOR TO ANY CONSTRUCTION

PROFESSIONAL CERTIFICATION

I, MATTHEW T. ALLEN, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 28567, EXPIRATION DATE: 4/16/11

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS
R. W. [Signature] DATE: 5/20/2009
COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] DATE: 5/19
CHIEF-DEVELOPMENT ENGINEERING DIVISION
[Signature] DATE: 6/23/09
CHIEF-DIVISION OF LAND DEVELOPMENT
[Signature] DATE: 6/23/09
DIRECTOR, DEP

NO.	DATE	REVISION DESCRIPTION

OWNERS: MCDONALD'S CORPORATION PO BOX 66207 AMF O'HARE AIRPORT CHICAGO, IL 60666-0207 CONTACT: JOHN EIDBERGER PHONE: (240) 497-3650	DEVELOPER: MCDONALD'S USA, LLC BALTIMORE/WASHINGTON REGION 8903 ROCKLEDGE DRIVE, SUITE 100 BETHESDA, MD 20817 CONTACT: JOHN EIDBERGER PHONE: (240) 497-3650
MCDONALD'S W/ NEW PARKING AND ENTRANCEWAYS GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET PARCEL A-4, BLOCK B 7878 POCOMOKE AVENUE, JESSUP, HOWARD COUNTY, MARYLAND 20794	
AREA 1.22 AC. TAX MAP 43 GRID 15 ZONED M-2 PARCEL A-4 L 920, F. 478 AND L 1091, F. 1 6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND	

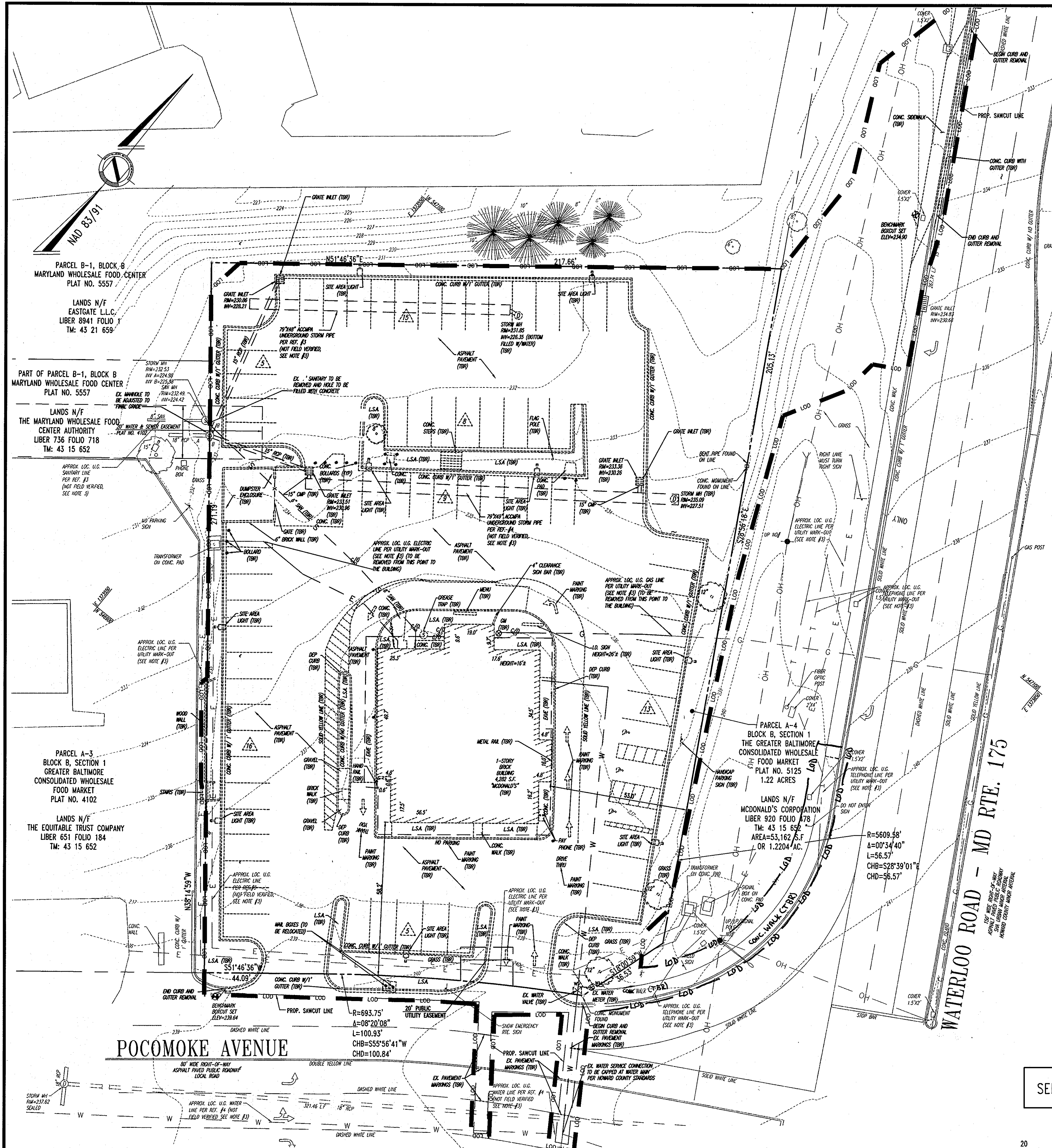
GENERAL NOTES



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TOWSON, MARYLAND 21286
Ph: (410) 821-7900
Fx: (410) 821-7987
www.bohlerengineering.com

DESIGNED BY: J.A.P.
DRAWN BY: R.F.G.
PROJECT NO.: M0075002
DATE: 08/29/08
SCALE: AS NOTED
DRAWING NO. 2 OF 30
PROFESSIONAL ENGINEER NO. 28567

GENERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.

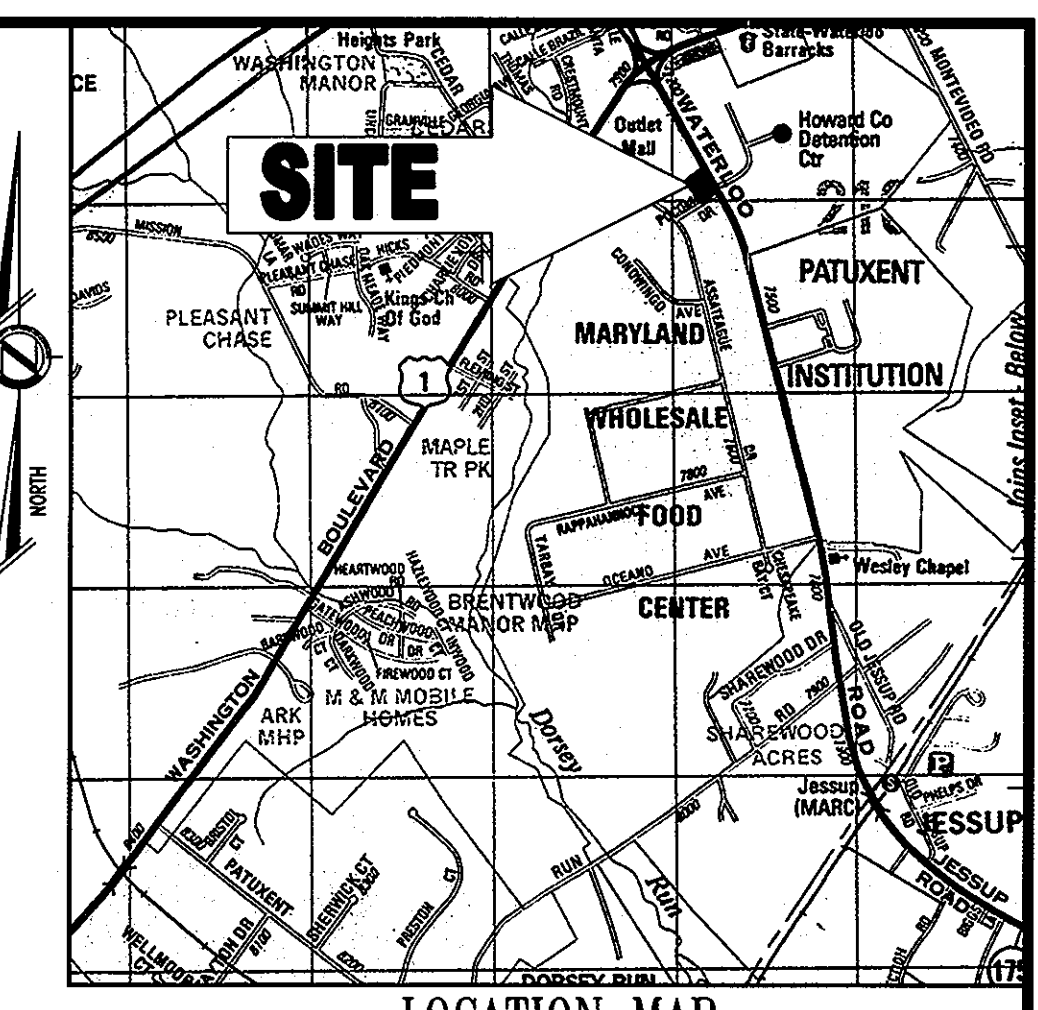


SURVEY NOTES:

- PROPERTY IS KNOWN AS PARCEL A-4, BLOCK B, SECTION 1, THE GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET AS RECORDED AT PLAT NO. 5125 AND BEING THE LANDS OF MCDONALD'S CORPORATION AS RECORDED IN LIBER 920 AT FOLIO 478, ALL RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND, AND HAVING A TAX MAP NUMBER OF 43 15 652.
- SITE AREA = 53,162 SQUARE FEET OR 1.2204 ACRES.
- LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBUILT PLANS AND UTILITY MARK-OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.
- THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
- THIS PROPERTY MAY BE SUBJECT TO RESTRICTIONS, COVENANTS AND/OR EASEMENTS, WRITTEN OR IMPLIED.
- THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
- ELEVATIONS ARE BASED ON NAVD 88 DATUM PER HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, SURVEY DIVISION, GEODETIC SURVEY CONTROL NO. 43EC WITH A PUBLISHED ELEVATION OF 219.706.
- THE PROPERTY IS LOCATED IN ZONE C (AREAS OF MINIMAL FLOODING) PER PLAN REFERENCE #2.
- WATER, TELEPHONE, GAS & ELECTRIC UTILITIES ARE SHOWN PER MARK-OUT AND FIELD LOCATION. WATER UTILITIES ARE SHOWN PER FIELD LOCATION OF ABOVE GROUND STRUCTURE AND PLANS RECEIVED FROM UTILITY COMPANIES AND LOCAL GOVERNMENT OFFICES.

SURVEY REFERENCES:

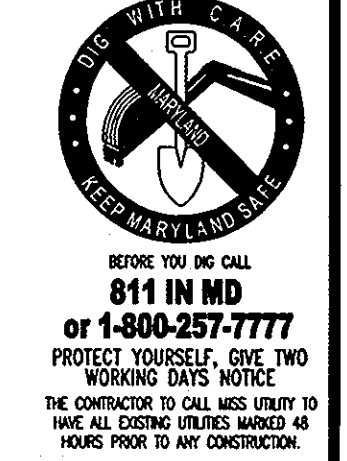
- THE MARYLAND DEPARTMENT OF ASSESSMENTS AND TAXATION FOR HOWARD COUNTY, MARYLAND MAP NO. 43
- MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND, PANEL 40 OF 45", COMMUNITY-PANEL NUMBER 240044 0040 B, MAP REVISED DECEMBER 4, 1986.
- MAP ENTITLED "PLAN OF WATER MAIN EXTENSIONS" PREPARED BY THE RIEMER GROUP, INC. DATED JULY 2, 1984.
- MAP ENTITLED "SITE PLAN" PREPARED BY BAZIS, CARLIN & ASSOCIATES INC. DATED DECEMBER 5, 1978.
- MAP ENTITLED "SC-3-47" AND "3 09 09 33" PREPARED BY BGE, DATED APRIL 24, 2007.



LOCATION MAP

COPYRIGHT 2003
DELOMEE STREET ATLAS 2004 PLUS USA
SCALE: 1"=200'

MISS UTILITY



PROFESSIONAL CERTIFICATION

I, MATTHEW T. ALLEN, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 28567, EXPIRATION DATE: 4/16/11

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS
Bryan R. Peter Bilenson 5/20/2009
COUNTY HEALTH OFFICER DATE
HOWARD COUNTY HEALTH DEPARTMENT 50 1790

APPROVED: DEPARTMENT OF PLANNING AND ZONING
David Wood 5-4-9
CHIEF-DEVELOPMENT ENGINEERING DIVISION DATE
Cottam 1750 6/23/09
CHIEF-DIVISION OF LAND DEVELOPMENT DATE
Thomas J. Butler 6/23/09
DIRECTOR, DEP. DATE

NO.	DATE	REVISION DESCRIPTION
1	7/23/09	1st Rev. SHW - Add Comments

OWNERS:
MCDONALD'S CORPORATION
PO BOX 66207
AMP O'HARE AIRPORT
CHICAGO, IL 60665-0207
CONTACT: JOHN EDSBERGER
PHONE: (240) 497-3650

DEVELOPER:
MCDONALD'S USA, LLC
BALTIMORE/WASHINGTON REGION
6903 ROCKLEDGE DRIVE, SUITE 100
BETHESDA, MD 20817
CONTACT: JOHN EDSBERGER
PHONE: (240) 497-3650

MCDONALD'S W/ NEW PARKING AND ENTRANCEWAYS
GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET
PARCEL A-4, BLOCK B
7878 POCOMOKE AVENUE, JESSUP, HOWARD COUNTY, MARYLAND 20794
AREA 1.22 AC. TAX MAP 43 GRD 15 ZONED W-2
PARCEL A-4 L. 920, F. 478 AND L. 1091, F. 1
6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

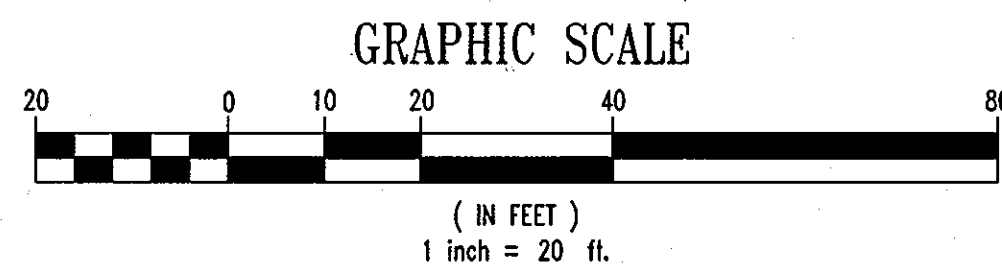
EXISTING CONDITIONS AND DEMOLITION PLAN



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FX: (410) 821-7987
www.bohlerengineering.com

DESIGNED BY: J.A.P.
DRAWN BY: R.F.G.
PROJECT NO.: M0075002
DATE: 08/29/08
SCALE: 1"=20'
DRAWING NO.: 3 OF 30

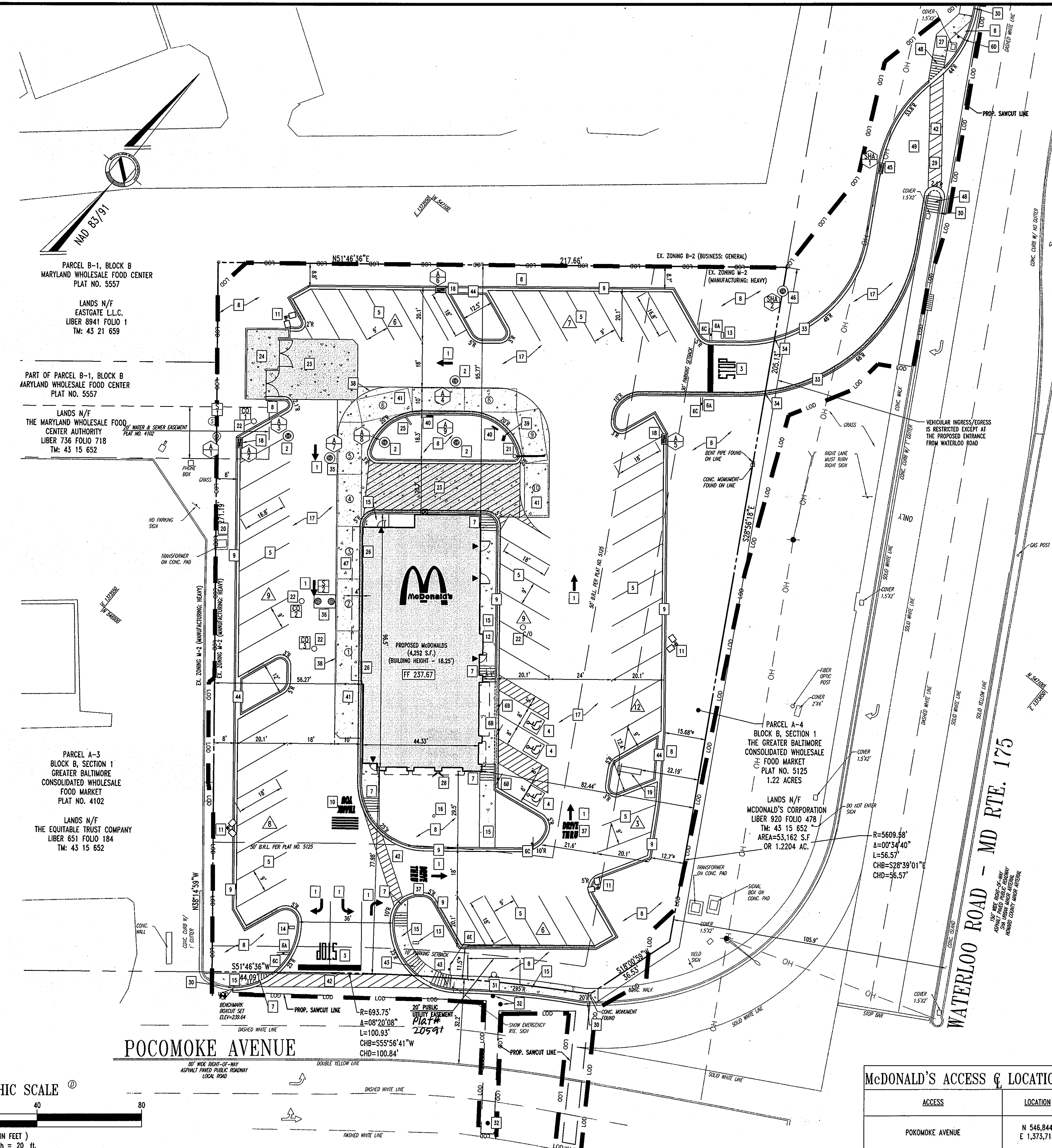
SEE SHEET 2 FOR DEMOLITION NOTES.



ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
LOTS A-4 / PARCEL 652	7878 POCOMOKE AVENUE

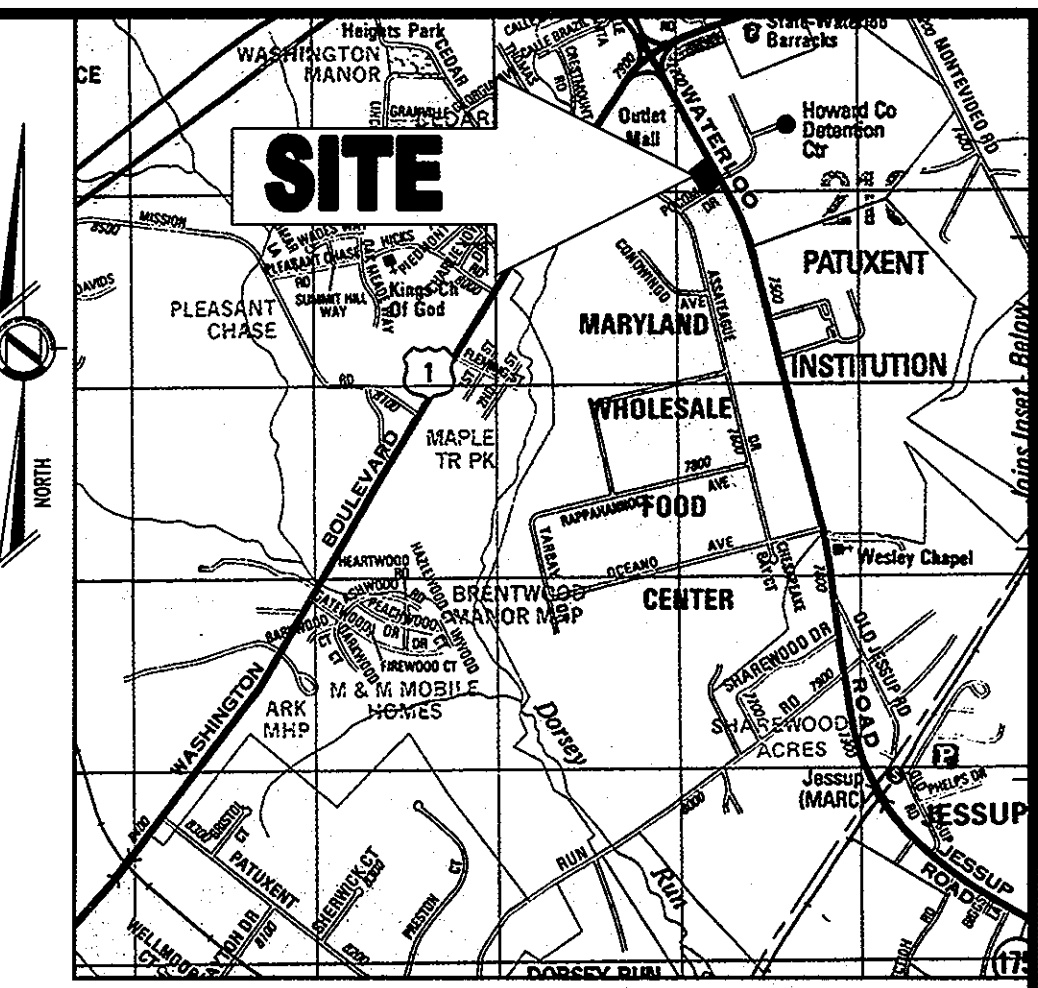
PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL NO. A-4	PARCEL 652
GBCW FOOD MARKET	SECTION 1		
PLAT RECORDATION 20591	GRID# 9	ZONING M-2	TAX MAP NO. 43
WATER CODE 692-D-W	ELECT. DIST. 6TH	CENSUS TRACT 606901	SEWER CODE 694-B

GENERAL NOTE:
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SITE KEYNOTES

- 1 DIRECTIONAL ARROW
- 2 MANHOLE
- 3 STOP BAR AND GRAPHIC
- 4 PAINTED HANDICAP PARKING SYMBOL
- 5 STANDARD PARKING STALL & STRIPING DETAIL
- 6 DIRECTIONAL SIGNAGE
- 6A "STOP" SIGN
- 6B BOLLARD MOUNTED HANDICAP SIGN
- 6C "DO NOT ENTER" SIGN
- 6D "NO TRUCK TURNING" SIGN
- 6E "DO NOT BLOCK ENTRANCE" SIGN
- 7 HANDICAP RAMP
- 8 LANDSCAPE AREA
- 9 COMBINATION CURB AND GUTTER (HOWARD COUNTY STANDARD DETAIL R-3.01)
- 10 "THANK YOU" GRAPHIC
- 11 SITE AREA LIGHT AND LIGHT POLE
- 12 KNOX BOX (REFER TO ARCHITECTURALS)
- 13 "WELCOME" SIGN (REFER TO ARCHITECTURALS)
- 14 "THANK YOU" SIGN (REFER TO ARCHITECTURALS)
- 15 TYPICAL SIDEWALK (HOWARD COUNTY STANDARD DETAIL R-3.05)
- 16 FLAGPOLE (REFER TO ARCHITECTURALS)
- 17 ASPHALT PAVEMENT SECTION (SEE DETAIL ON SHEET 21)
- 18 INLET
- 19 FREESTANDING SIGN (REFER TO ARCHITECTURALS, SHALL BE APPROVED BY HOWARD COUNTY SIGN CODE ADMINISTRATOR, SEPARATE PERMIT REQUIRED)
- 20 EXISTING TRANSFORMER PAD (PER BGE REQUIREMENTS)
- 21 DRIVE-THRU GATEWAY VEHICLE HEIGHT DETECTOR (REFER TO ARCHITECTURALS)
- 22 CLEANOUT (HOWARD COUNTY STANDARD DETAIL S-3.21)
- 23 CONCRETE PAVING
- 24 DUMPSTER ENCLOSURE (SEE SHEET 21 FOR ENCLOSURE DETAIL)
- 25 MENU BOARD AND SPEAKER POST (REFER TO ARCHITECTURALS)
- 26 DRIVE-THRU WINDOWS
- 27 SHA STANDARD 5' WIDE SIDEWALK
- 28 SIAMENGE CONNECTION
- 29 A MINIMUM 5' PEDESTRIAN PATHWAY WITH A MAXIMUM 2% CROSS SLOPE MUST BE MAINTAINED ACROSS THE ENTIRE ENTRANCE
- 30 PROPOSED CURB TO EXISTING CURB TRANSITION
- 31 FIRE HYDRANT
- 32 6" WATER VALVE
- 33 MDSHA STANDARD CURB AND GUTTER (MD 620.02, TYPE "A")
- 34 MDSHA CURB AND GUTTER TO HOWARD COUNTY CURB AND GUTTER TRANSITION
- 35 UNDERGROUND STORMFILTER
- 36 GREASE TRAP
- 37 "DRIVE THRU" GRAPHIC
- 38 6" YELLOW PAVEMENT MARKINGS
- 39 PRE-SELL BOARD (REFER TO ARCHITECTURALS)
- 40 C.O.D. (REFER TO ARCHITECTURALS)
- 41 DRIVE-THRU ISLE TO BE CONCRETE
- 42 WHITE THERMOPLASTIC CROSSWALK STRIPING
- 43 HOWARD COUNTY SIDEWALK RAMP TYPE "C", DETAIL R-4.04
- 44 2' CONCRETE FLUME
- 45 SHA TYPE "S" INLET
- 46 SHA MANHOLE
- 47 DRIVE-THRU CANOPY (SEE ARCHITECTURAL DRAWINGS FOR MORE INFORMATION)
- 48 HANDICAP RAMP (MD 655.11)
- 49 PROPOSED ONE-WAY ENTRANCE FROM MD RTE. 175



NOTE:
 IN ACCORDANCE WITH THE DECISION OF BOARD OF APPEALS CASE NO. 08-008C&V WAS APPROVED ON JUNE 19TH, 2008 FOR A FAST FOOD RESTAURANT CONDITIONAL USE AND A VARIANCE TO REDUCE THE 30-FOOT PARKING SETBACK FROM AN EXTERNAL PUBLIC STREET RIGHT-OF-WAY TO 12.75 FEET IN A M-2 ZONING DISTRICT.

NOTE:
 SITE PLAN HAS BEEN COORDINATED WITH THE ARCHITECTURAL PLANS PREPARED BY MICHAEL EBANKS, REGISTERED ARCHITECT, ENTITLED: "20084587 + 5'-0" REAR + 5'-0" FRONT ADDITION BALTIMORE - WASHINGTON REGION," DATED JUNE 26, 2008 AND LAST REVISED FEBRUARY 3, 2009

MISS UTILITY

BEFORE YOU DIG CALL 811 IN MD or 1-800-257-7777 PROTECT YOURSELF. GIVE TWO WORKING DAYS NOTICE TO THE OPERATOR TO CALL AND VERIFY TO BE SURE ALL EXISTING UTILITIES ARE MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

PROFESSIONAL CERTIFICATION

I, MATTHEW T. ALLEN, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 28567, EXPIRATION DATE: 4/16/11

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS
B. Wilson for Peter Beilman 5/29/2009
 COUNTY HEALTH OFFICER DATE
 HOWARD COUNTY HEALTH DEPARTMENT 20 190

APPROVED: DEPARTMENT OF PLANNING AND ZONING

<i>Shel Edwards</i>	5-4-9
CHIEF-DEVELOPMENT ENGINEERING DIVISION	DATE
<i>William J. Smith</i>	6/23/09
CHIEF-DIVISION OF LAND DEVELOPMENT	DATE
<i>Thomas E. Smith</i>	6/23/09
DIRECTOR, DEP.	DATE

NO. 1 3/17/09 REVISED PER INTERNAL REVIEW

OWNERS:	DEVELOPER:
MCDONALD'S CORPORATION PO BOX 66207 AMT O'HARE AIRPORT CHICAGO, IL 60666-0207 CONTACT: JOHN EIDBERGER PHONE: (240) 497-3650	MCDONALD'S USA, LLC BALTIMORE/WASHINGTON REGION 6903 ROCKLEDGE DRIVE, SUITE 100 BETHESDA, MD 20817 CONTACT: JOHN EIDBERGER PHONE: (240) 497-3650

MCDONALD'S W/ NEW PARKING AND ENTRANCEWAYS
 GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET
 PARCEL A-4, BLOCK B
 7878 POCOMOKE AVENUE, JESSUP, HOWARD COUNTY, MARYLAND 20794
 AREA 1.22 AC. TAX MAP 43 GRID 15 ZONED M-2
 PARCEL A-4 L. 920, F. 478 AND L. 1091, F. 1
 6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE

SITE PLAN

SEE SHEET 2 FOR SITE PLAN NOTES.

MCDONALD'S ACCESS & LOCATIONS

ACCESS	LOCATION
POCOMOKE AVENUE	N 546,844 E 1,373,713
WATERLOO ROAD	N 547,251 E 1,373,680

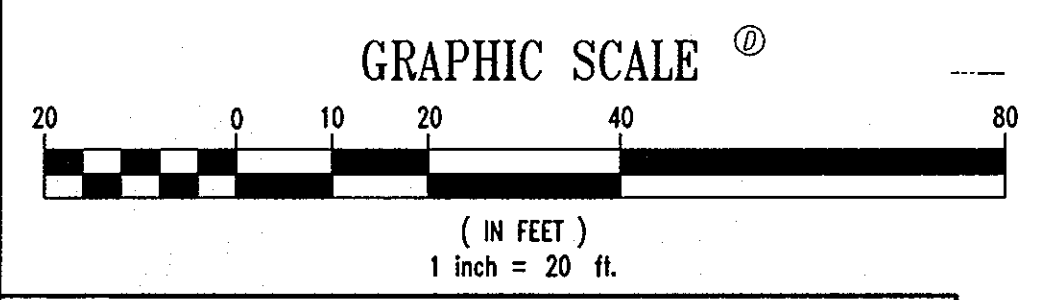
ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
LOTS A-4 / PARCEL 652	7878 POCOMOKE AVENUE

PERMIT INFORMATION CHART			
SUBDIVISION NAME GCW FOOD MARKET	SECTION/AREA SECTION 1	LOT/PARCEL NO. A-4 PARCEL 652	
PLAT RECORDATION # 20591	ZONING M-2	ELECT. DIST. 61H	CENSUS TRACT 608901
WATER CODE 692-D-W	SEWER CODE 9694-B		

BOHLER ENGINEERING

810 GLENEAGLES COURT
 TOWSON, MARYLAND 21286
 PH: (410) 821-7900
 FX: (410) 821-7987
 www.bohlerengineering.com

DESIGNED BY: J.A.P.
 DRAWN BY: R.F.G.
 PROJECT NO.: MD075002
 DATE: 08/29/08
 SCALE: 1" = 20'
 DRAWING NO.: 4 OF 30



GENERAL NOTE:
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE ORDINANCES AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

S.H.A. STORM DRAIN STRUCTURE SCHEDULE

STRUCTURE NUMBER	DESCRIPTION	INVERT OUT	INVERT IN	TOP	LOCATION
SHA	PROPOSED S.H.A. TYPE "S" COMBINATION INLET	230.29	--	233.50	N 547,217 E 1,373,677
SHA	PROPOSED S.H.A. MANHOLE	229.89	229.99	233.50	N 547,157 E 1,373,677

SUMMARY TABLE

SITE AREA	1.22 AC.
WQV	0.40 AC. REQUIRED, 0.43 PROVIDED
Rev	56.63 CF
CPV	NOT REQUIRED
OP10	NOT REQUIRED
OP100	NOT REQUIRED

NOTE: THE UNDERGROUND BMP, WITH A CLASS "A" HAZARD CLASSIFICATION HAS BEEN DESIGNED IN ACCORDANCE WITH THE MARYLAND DEPARTMENT OF THE ENVIRONMENT STORMWATER MANAGEMENT REGULATIONS.

STORM FILTER LOCATION

STRUCTURE	LOCATION
STORMFILTER	N 546,998 E 1,373,581

STORMDRAIN STRUCTURE SCHEDULE

STRUCTURE NUMBER	DESCRIPTION	INVERT OUT	INVERT IN	INVERT IN	TOP
1	EXISTING MANHOLE	224.88 (EX. 18")	225.12 (PROP. 18")	--	232.53
2	PROPOSED TYPE "S" INLET	225.17 (18")	225.17 (18")	--	235.11
3	PROPOSED MANHOLE	225.26 (18")	225.29 (12")	230.90 (12") 228.45 (18")	235.77
4	PROPOSED MANHOLE	231.40 (12") 230.40 (12")	231.55 (12")	--	236.01
5	PROPOSED TYPE "S" INLET	232.17 (12")	--	--	234.67
6	PROPOSED TYPE "S" INLET	228.85 (18")	228.95 (18")	--	234.45
7	PROPOSED STORMFILTER	225.42 (12")	227.72 (12")	--	236.26
8	PROPOSED ACCESS MANHOLE	227.83 (12")	227.83 (48")	--	237.34
9	PROPOSED ACCESS MANHOLE	227.85 (48")	230.33 (12")	--	237.34

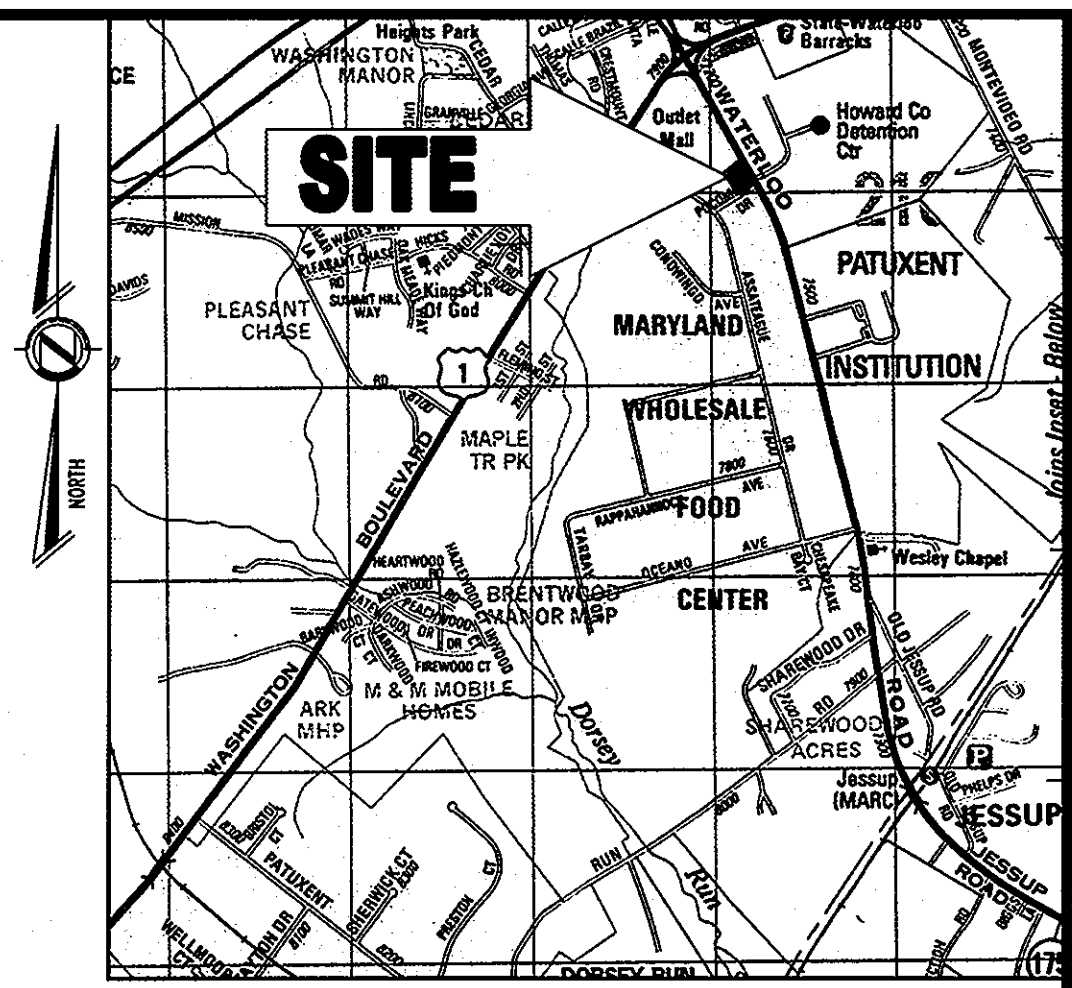
NOTE:
GRADING PLAN HAS BEEN COORDINATED WITH THE ARCHITECTURAL PLANS PREPARED BY MICHAEL EBANKS, REGISTERED ARCHITECT, ENTITLED: "20084587 + 5'-0" REAR + 5'-0" FRONT ADDITION BALTIMORE - WASHINGTON REGION," DATED JUNE 26, 2008 AND LAST REVISED FEBRUARY 3, 2009

STORMDRAIN PIPE SCHEDULE

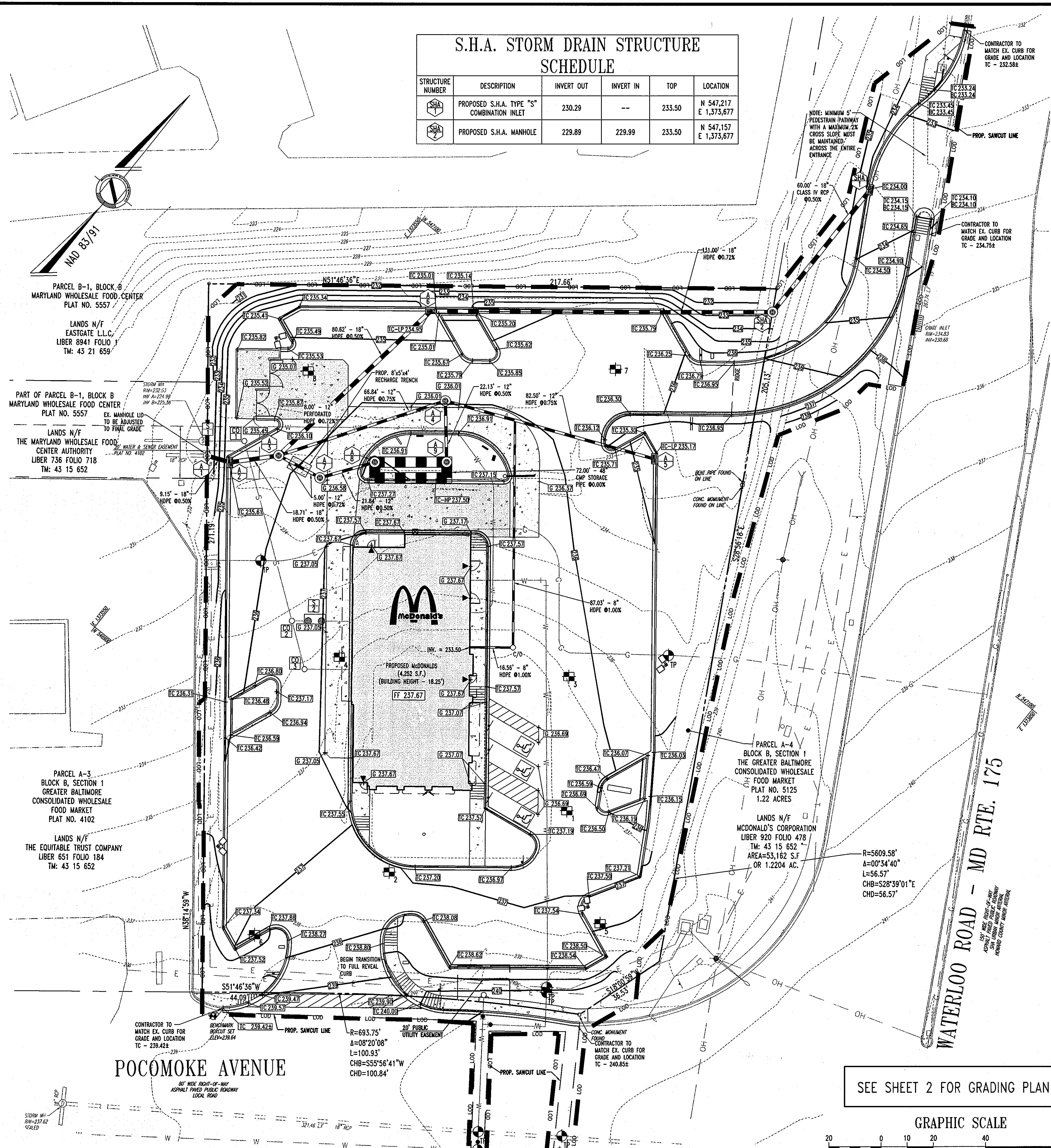
SIZE	DESCRIPTION	LENGTH
8"	HDPE	103.59'
12"	HDPE	53.97'
15"	HDPE	82.50'
18"	HDPE	306.32'
12"	PERFORATED HDPE	8'
18"	CLASS IV RCP	60'
48"	CMP	72'

LEGEND:

- PROPOSED CONTOUR
- - - EXISTING CONTOUR
- - - PROPOSED ELEVATION SPOT
- - - PROPOSED STORM SEWER
- - - EXISTING STORM SEWER
- - - PROPOSED SANITARY SEWER
- - - EXISTING SANITARY SEWER
- - - PROPOSED UNDERGROUND GAS
- - - EXISTING UNDERGROUND GAS
- - - PROPOSED UNDERGROUND WATER
- - - EXISTING UNDERGROUND WATER
- - - PROPOSED UNDERGROUND ELECTRIC
- - - EXISTING UNDERGROUND ELECTRIC
- - - PROPOSED UNDERGROUND TELEPHONE
- - - EXISTING UNDERGROUND TELEPHONE
- - - PROPOSED OVERHEAD LINES
- - - EXISTING OVERHEAD LINES
- BORING LOCATIONS
- TEST PITS TO BE HAND DUG



LOCATION MAP
COPYRIGHT 2003
DELOMEE STREET MAPS 2004 PLUS USA
SCALE: 1"=2000'



PROFESSIONAL CERTIFICATION

I, MATTHEW T. ALLEN, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 28567, EXPIRATION DATE: 4/16/11

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS
B. Wilson for Peter Beilenson 5/20/2009
COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Neil Edwards 5-4-9
CHIEF-DEVELOPMENT ENGINEERING DIVISION DATE
Colin... 6/23/09
CHIEF-DIVISION OF LAND DEVELOPMENT DATE
... 6/23/09
DIRECTOR, DEP. DATE

NO.	DATE	REVISION DESCRIPTION
1	3/17/09	REVISED PER INTERNAL REVIEW

OWNERS: MCDONALD'S CORPORATION
PO BOX 68207
AMF O'HARE AIRPORT
CHICAGO, IL 60666-0207
CONTACT: JOHN EIDBERGER
PHONE: (240) 497-3650

DEVELOPER: MCDONALD'S USA, LLC
BALTIMORE/WASHINGTON REGION
6903 ROCKLEDGE DRIVE, SUITE 100
BETHESDA, MD 20817
CONTACT: JOHN EIDBERGER
PHONE: (240) 497-3650

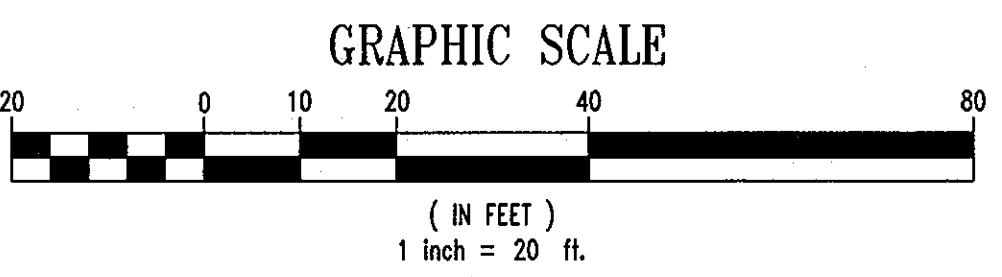
MCDONALD'S W/ NEW PARKING AND ENTRANCEWAYS
GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET
PARCEL A-4, BLOCK B
7878 POCOKE AVENUE, JESSUP, HOWARD COUNTY, MARYLAND 20794
AREA 1.22 AC. TAX MAP 43 GRID 15 ZONED M-2
PARCEL A-4 L 920, F. 478 AND L 1091, F. 1
6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

GRADING PLAN

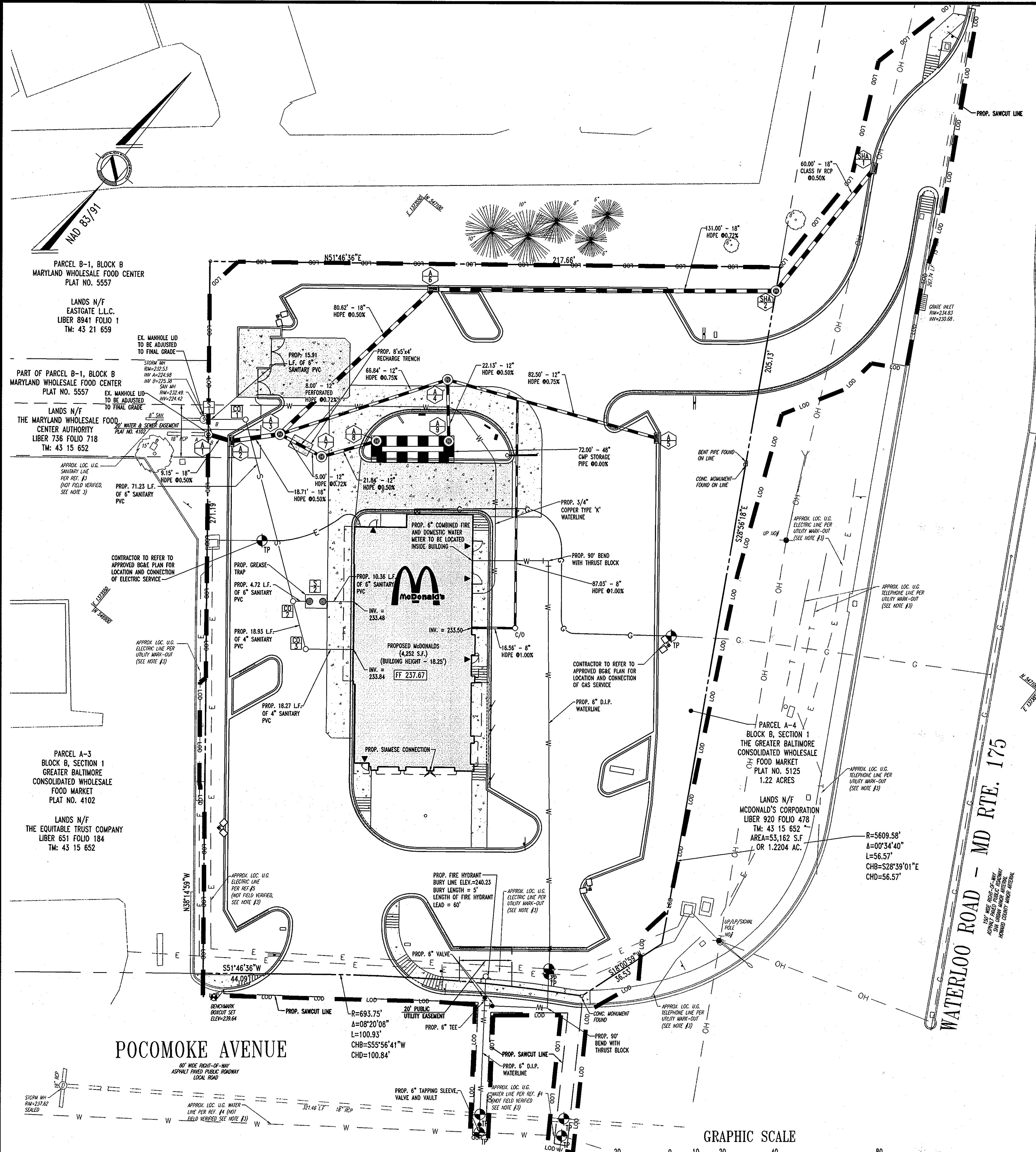
BOHLER ENGINEERING
810 GLENELAKE COURT
SUITE 300
TOWSON, MARYLAND 21286
PH: (410) 821-7900
FX: (410) 821-7987
www.bohlerengineering.com

DESIGNED BY: J.A.P.
DRAWN BY: R.F.G.
PROJECT NO.: MD075002
DATE: 08/29/08
SCALE: 1"=20'
DRAWING NO. 5 OF 30

SEE SHEET 2 FOR GRADING PLAN NOTES.

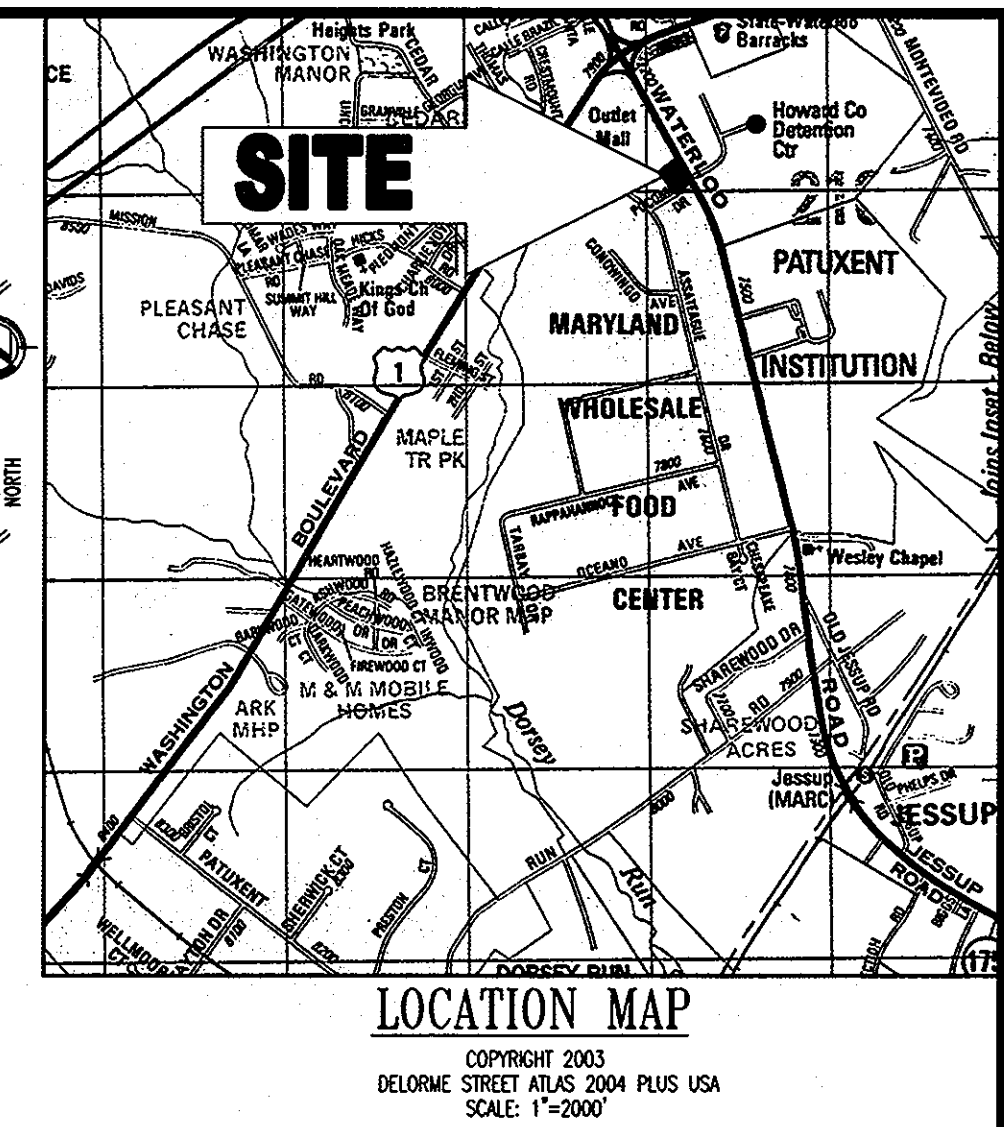


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SANITARY SEWER STRUCTURE SCHEDULE

STRUCTURE NUMBER	DESCRIPTION	INVERT OUT	INVERT IN	TOP
1	EXISTING MANHOLE	224.42 (EX. 8')	229.40 (6')	232.49
2	PROPOSED CLEANOUT	230.04 (6')	230.04 (6')	235.80
3	PROPOSED CLEANOUT	232.89 (6')	233.05 (4')	236.61
4	PROPOSED CLEANOUT	233.45 (4')	233.45 (4')	236.84
5	PROPOSED GREASE INTERCEPTOR	233.08 (6')	233.08 (6')	VARIES



- #### LEGEND:
- PROPOSED STORM SEWER
 - EXISTING STORM SEWER
 - PROPOSED SANITARY SEWER
 - EXISTING SANITARY SEWER
 - PROPOSED UNDERGROUND GAS
 - EXISTING UNDERGROUND GAS
 - PROPOSED UNDERGROUND WATER
 - EXISTING UNDERGROUND WATER
 - PROPOSED UNDERGROUND ELECTRIC
 - EXISTING UNDERGROUND ELECTRIC
 - PROPOSED UNDERGROUND TELEPHONE
 - EXISTING UNDERGROUND TELEPHONE
 - PROPOSED OVERHEAD LINES
 - EXISTING OVERHEAD LINES

MISS UTILITY

FOR MORE INFO CALL
811 IN MD
PROTECT YOURSELF. GIVE TWO WORKING DAYS NOTICE
THE CONTRIBUTION TO CALL MISS STREET TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

WATER AND SEWER PIPE SCHEDULE

SIZE	DESCRIPTION	LENGTH
6"	PVC	102.22'
4"	PVC	37.20'
6"	D.I.P.	283.04'
3/4"	COPPER TYPE 'K'	159.80'

PROFESSIONAL CERTIFICATION

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APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS
William Peter Bilsenon 5/20/2009
COUNTY HEALTH OFFICER DATE
HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: DEPARTMENT OF PLANNING AND ZONING
John Edwards 5/4/09
CHIEF-DEVELOPMENT ENGINEERING DIVISION DATE
John Edwards 6/22/09
CHIEF-DIVISION OF LAND DEVELOPMENT DATE
Thomas S. Suttle 6/22/09
DIRECTOR DATE

NO. 1 3/17/09 REVISED PER INTERNAL REVIEW
DATE REVISION DESCRIPTION
OWNERS: MCDONALD'S CORPORATION DEVELOPER: MCDONALD'S USA, LLC
PO BOX 56207 BALTIMORE/WASHINGTON REGION
AMF O'HARE AIRPORT 6903 ROCKLEDGE DRIVE, SUITE 100
CHICAGO, IL 60666-0207 BETHESDA, MD 20817
CONTACT: JOHN EIDBERGER CONTACT: JOHN EIDBERGER
PHONE: (240) 497-3650 PHONE: (240) 497-3650
MCDONALD'S W/ NEW PARKING AND ENTRANCEWAYS
GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET
7878 POCOMOKE AVENUE, JESSUP, HOWARD COUNTY, MARYLAND 20794
AREA 1.22 AC. TAX MAP 43 GRID 15 ZONED M-2
PARCEL A-4 L. 920, F. 478 AND L. 1091, F. 1
6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

SEE SHEET 2 FOR UTILITY PLAN NOTES.

BOHLER ENGINEERING

810 GLENEAGLES COURT
SUITE 300
TOWSON, MARYLAND 21286
PH: (410) 821-7900
FX: (410) 821-7987
www.bohlerengineering.com

ADDRESS CHART

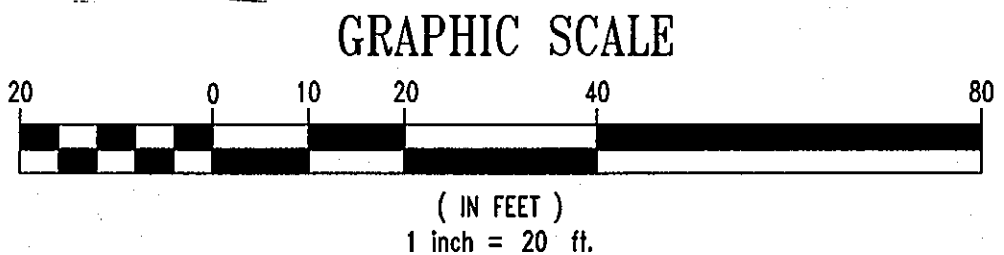
LOT/PARCEL #	STREET ADDRESS
LOTS A-4 / PARCEL 652	7878 POCOMOKE AVENUE

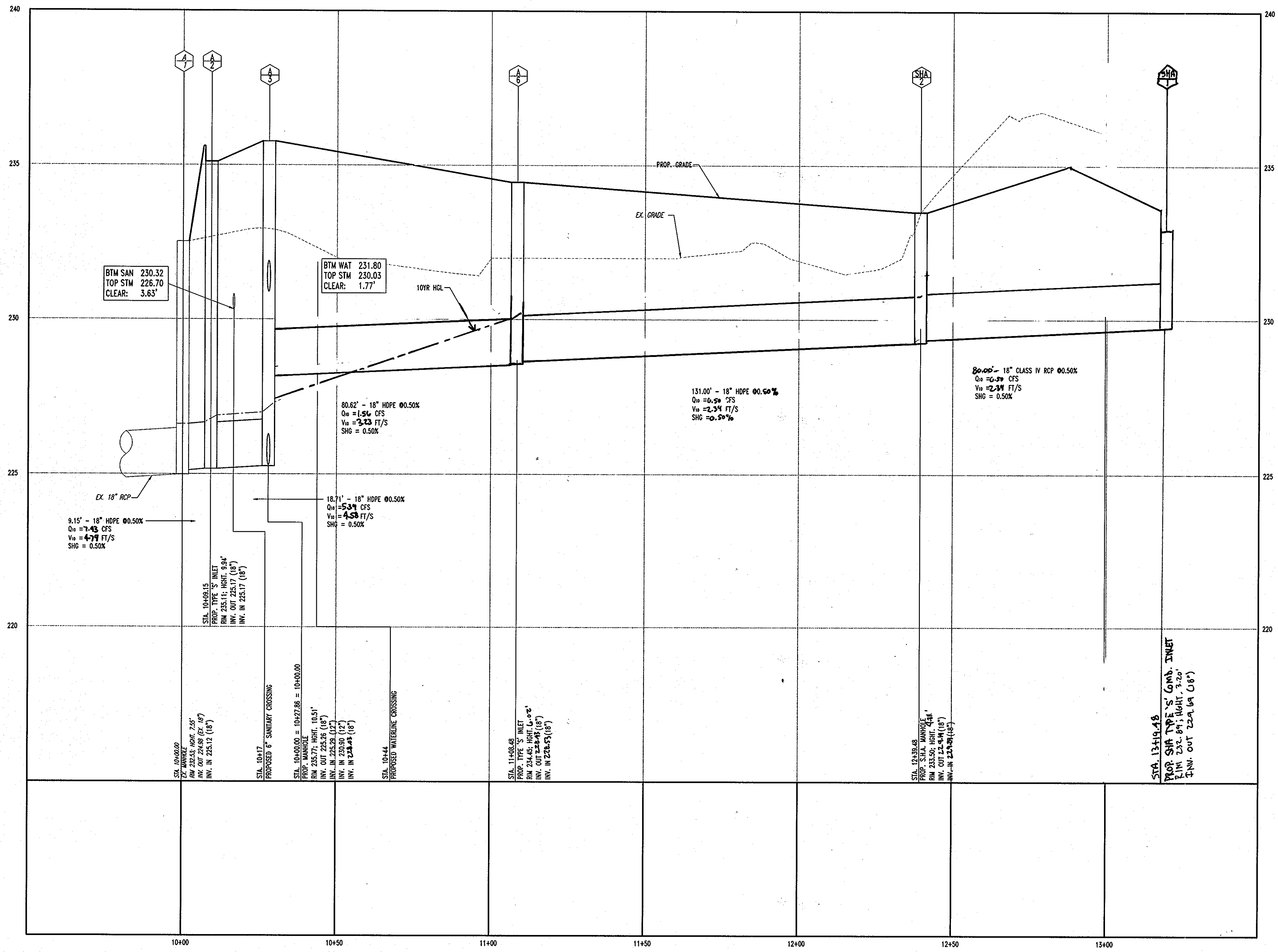
PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL NO.
GCOW FOOD MARKET	SECTION 1	A-4
PLAT RECORDATION	GRID	ZONING
20591	9	M-2
TAX MAP NO.	ELECT. DIST.	CENSUS TRACT
43	6TH	606901
SEWER CODE	SEWER CODE	
692-D-W	8694-B	

DESIGNED BY: J.A.P.
DRAWN BY: R.F.G.
PROJECT NO.: MD075002
DATE: 08/29/08
SCALE: 1"=20'
DRAWING NO. 6 OF 30
PROFESSIONAL ENGINEER NO. 28567

GENERAL NOTE:
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PROPOSED STORM PROFILE
 STR: A-3 TO SHA-1
 SCALE: 1" = 20' HORIZONTAL
 1" = 2' VERTICAL

GENERAL NOTE:
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PROFESSIONAL CERTIFICATION
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APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS
Barbara Peter Beilman 5/21/2009
 COUNTY HEALTH OFFICER 20 DATE 1908
 HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Phil Edwards 5-4-9
 CHIEF-DEVELOPMENT ENGINEERING DIVISION DATE
Colleen 6/22/09
 CHIEF-DIVISION OF LAND DEVELOPMENT 08 DATE
Monica E. Budde 6/23/09
 DIRECTOR, DEP. DATE

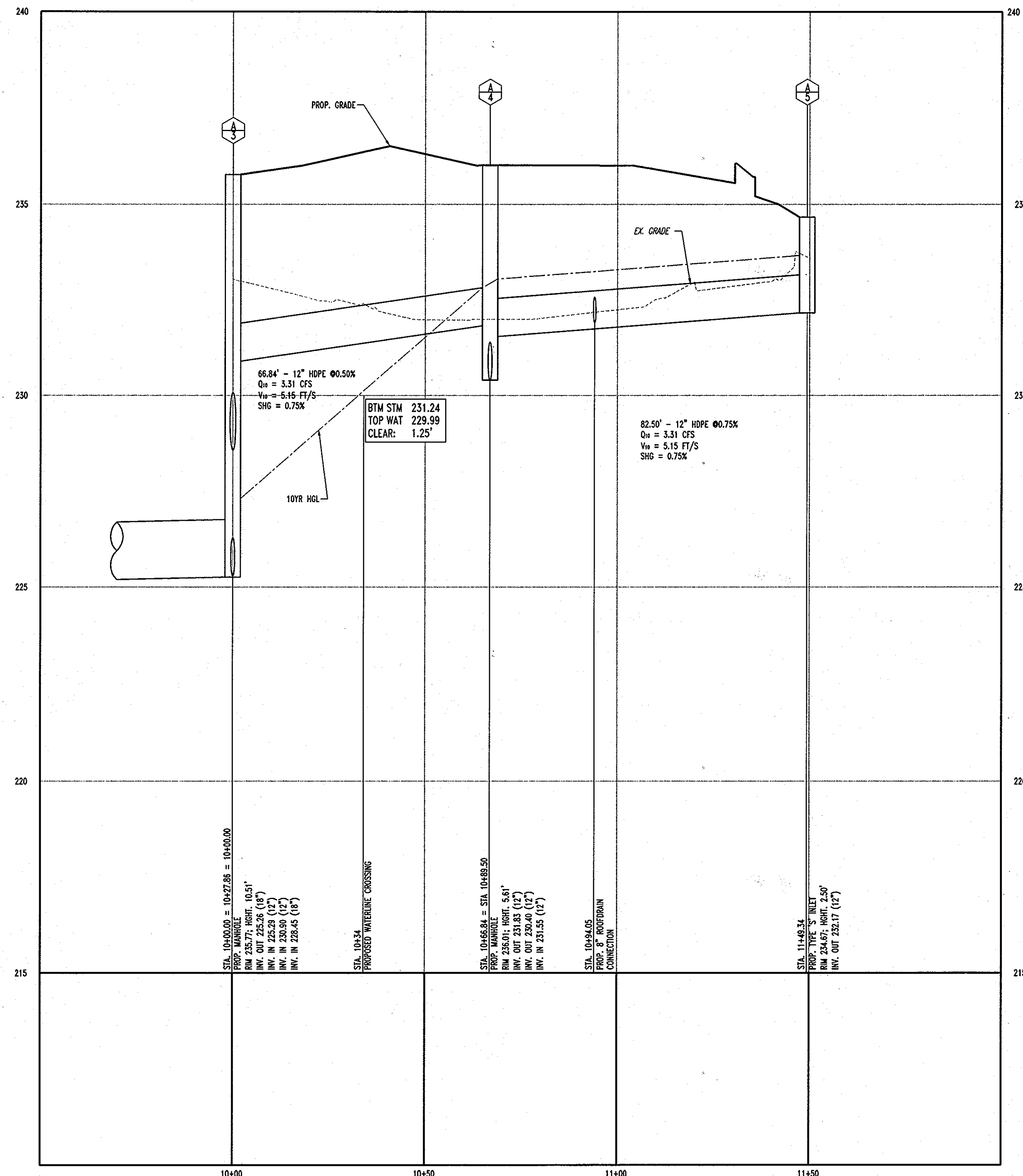
NO. 7123709 DATE REV. PER. SHEET NO. COMMENTS
 OWNERS: McDONALD'S CORPORATION PO BOX 66207 AMF O'HARE AIRPORT CHICAGO, IL 60686-0207 CONTACT: JOHN EIDENBERGER PHONE: (240) 497-3650
 DEVELOPER: McDONALD'S USA, LLC BALTIMORE/WASHINGTON REGION 6803 ROCKLEDGE DRIVE, SUITE 100 BETHESDA, MD 20817 CONTACT: JOHN EIDENBERGER PHONE: (240) 497-3650
 McDONALD'S W/ NEW PARKING AND ENTRANCEWAYS GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET PARCEL A-4, BLOCK B 7878 POCOMOKO AVENUE, JESSUP, HOWARD COUNTY, MARYLAND 20794
 AREA 1.22 AC. TAX MAP 43 GRID 15 ZONED M-2 PARCEL A-4 L 920, F. 478 AND L 1091, F. 1 6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE
 UTILITY PROFILES
BOHLER ENGINEERING
 810 GLENEAGLES COURT SUITE 300 TOWSON, MARYLAND 21286 PH: (410) 821-7900 FX: (410) 821-7987 www.bohlerengineering.com

ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
LOTS A-4 / PARCEL 652	7878 POCOMOKO AVENUE

PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL NO. A-4	
GCOW FOOD MARKET	SECTION 1	PARCEL 652	
FLAT RECORDATION	GRID#	ZONING	TAX MAP NO.
20591	9	M-2	43
WATER CODE	ELECT. DISTR.	CENSUS TRACT	SEWER CODE
692-D-W	6TH	606901	B694-B

DESIGNED BY: J.J.P.
 DRAWN BY: R.F.G.
 PROJECT NO.: MD075002
 DATE: 08/29/08
 SCALE: 1" = 20'
 PROFESSIONAL ENGINEER NO. 28567
 DRAWING NO. 7 OF 30



PROPOSED STORM PROFILE
 STR: A-3 TO A-5
 SCALE: 1" = 20' HORIZONTAL
 1" = 2' VERTICAL

GENERAL NOTE:
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS SHOWN BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.



PROFESSIONAL CERTIFICATION
 I, MATTHEW T. ALLEN, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 28567, EXPIRATION DATE: 4/16/11

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS
B. Wilton
 COUNTY HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT

DATE: 5/20/2009
 1708

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chad Edmister
 CHIEF-DEVELOPMENT ENGINEERING DIVISION
 DATE: 5-4-09

C. Edwards
 CHIEF-DIVISION OF LAND DEVELOPMENT
 DATE: 6/23/09

M. S. Shultz
 DIRECTOR
 DATE: 6/23/09

NO.	DATE	REVISION DESCRIPTION
1	3/17/09	REVISED PER INTERNAL REVIEW

OWNERS: MCDONALD'S CORPORATION
 PO BOX 66207
 AMF O'HARE AIRPORT
 CHICAGO, IL 60666-0207
 CONTACT: JOHN EIDBERGER
 PHONE: (240) 497-3650

DEVELOPER: MCDONALD'S USA, LLC
 BALTIMORE/WASHINGTON REGION
 6903 ROCKLEDGE DRIVE, SUITE 100
 BETHESDA, MD 20817
 CONTACT: JOHN EIDBERGER
 PHONE: (240) 497-3650

MCDONALD'S W/ NEW PARKING AND ENTRANCEWAYS
 GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET
 PARCEL A-4, BLOCK B
 7878 POCOMOKE AVENUE, JESSUP, HOWARD COUNTY, MARYLAND 20794

AREA 1.22 AC. TAX MAP 43 GRID 15 ZONED M-2
 PARCEL A-4 L. 920, F. 478 AND L. 1091, F. 1
 6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

UTILITY PROFILES

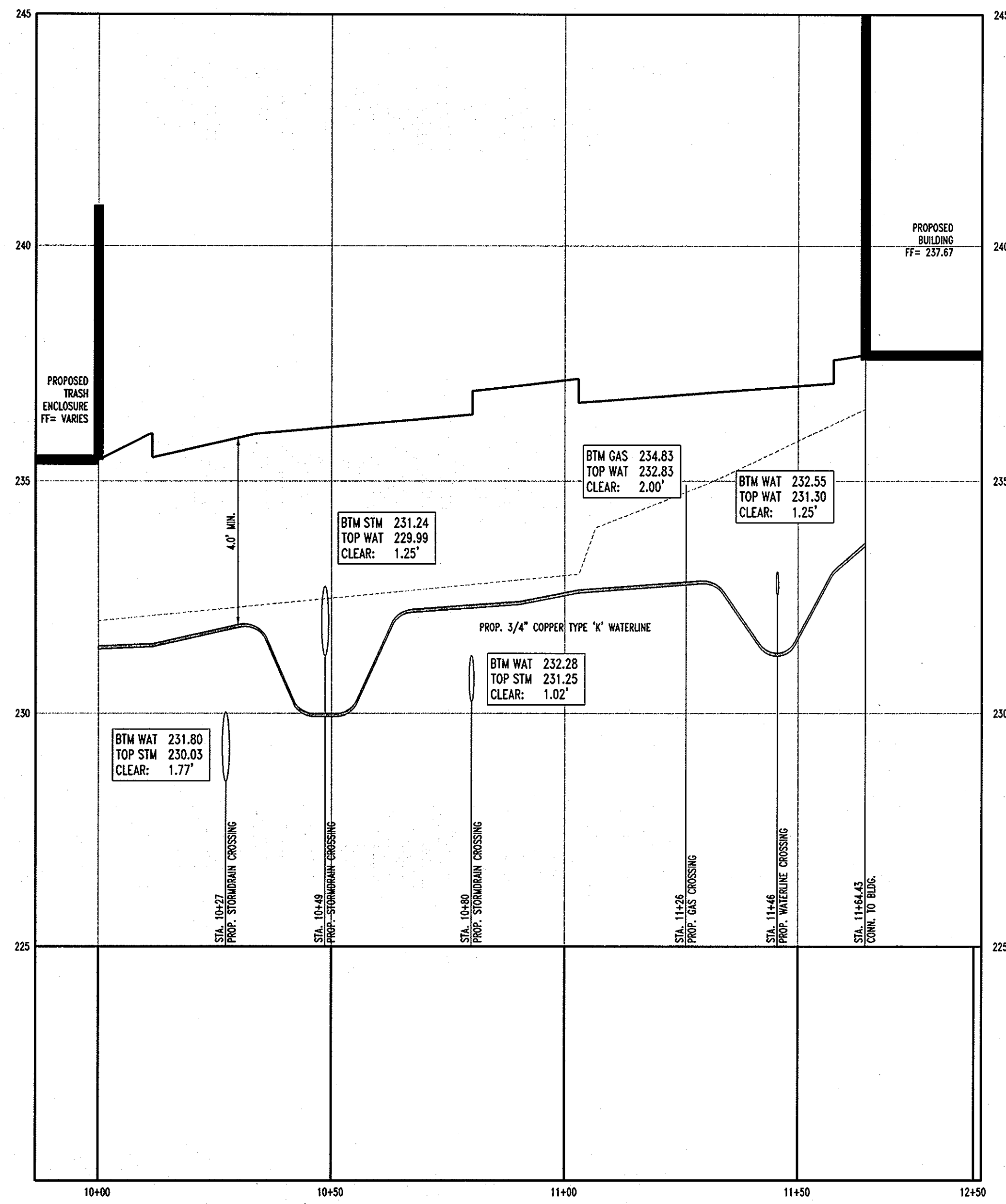
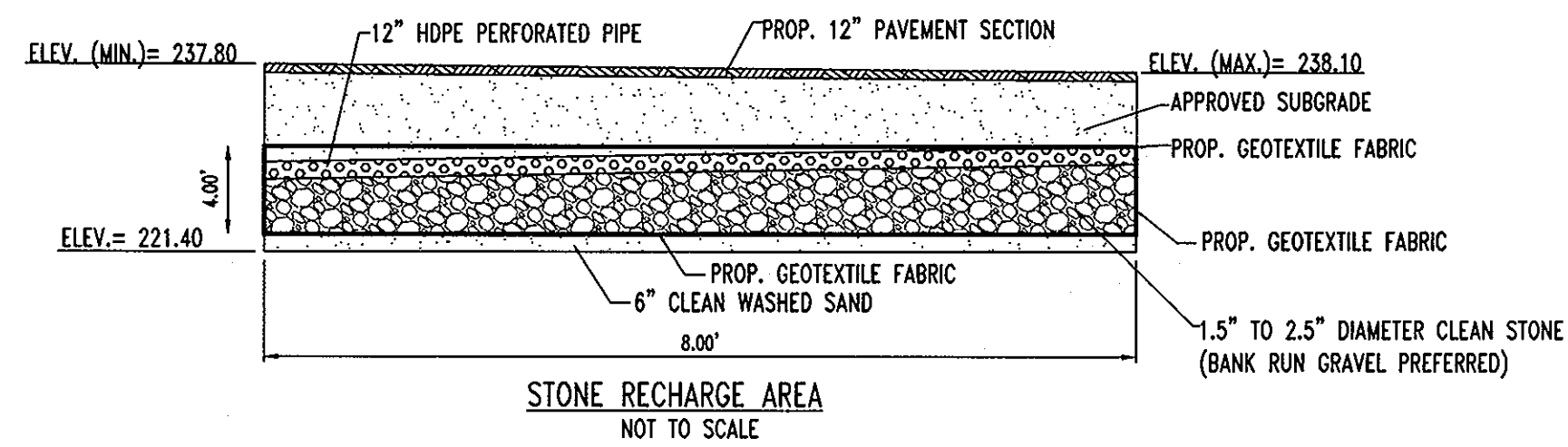


810 GLENEAGLES COURT
 SUITE 300
 TOWSON, MARYLAND 21286
 PH: (410) 821-7900
 FX: (410) 821-7887
 www.bohlerengineering.com

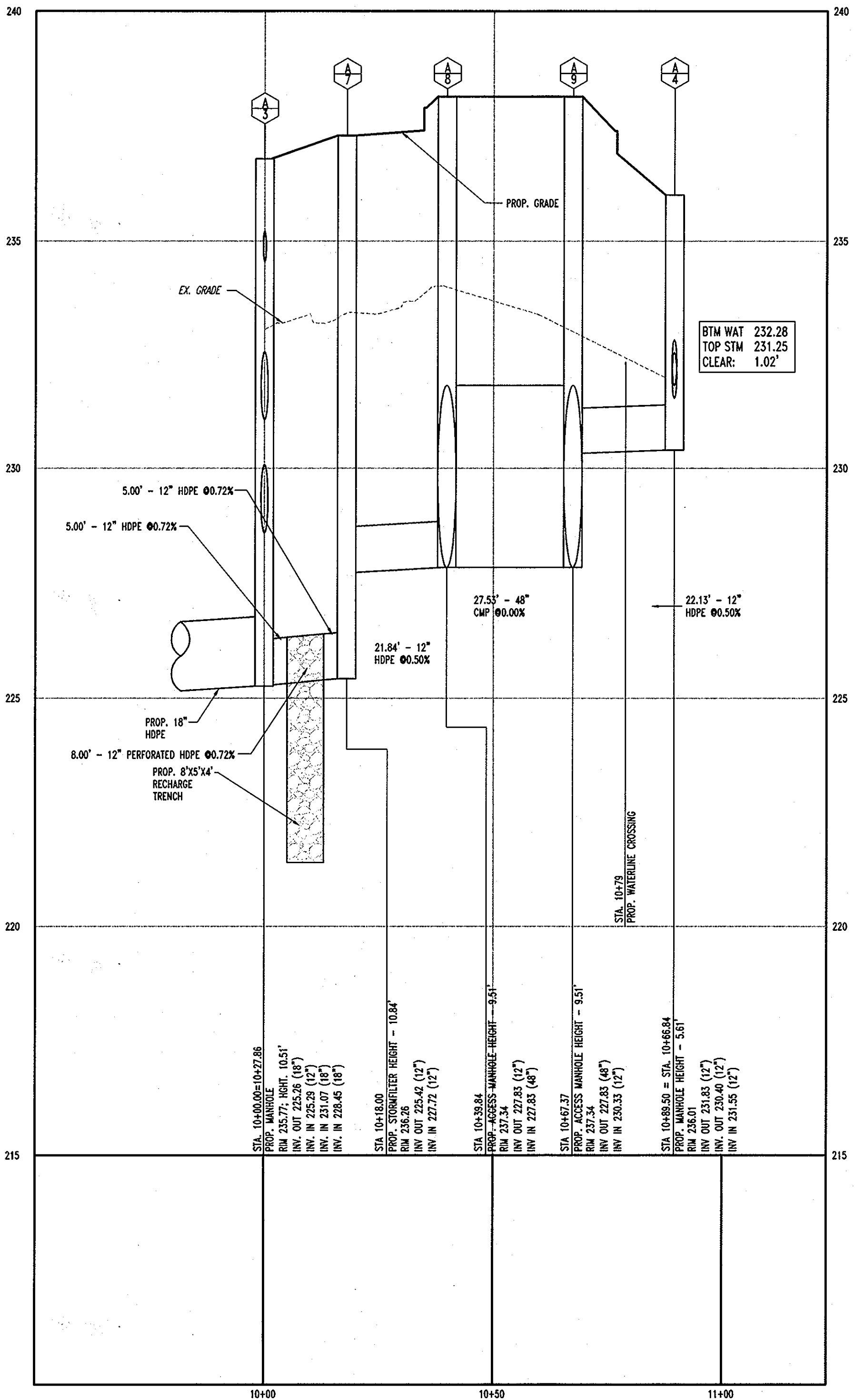
ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
LOTS A-4 / PARCEL 652	7878 POCOMOKE AVENUE

PERMIT INFORMATION CHART					
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL NO. A-4			
GCW FOOD MARKET	SECTION 1	PARCEL 652			
PLAT RECORDATION	GRID#	ZONING	TAX MAP NO.	ELECT. DISTR.	CENSUS TRACT
20591	9	M-2	43	6TH	606901
WATER CODE	SEWER CODE				
692-D-W	B694-B				

DESIGNED BY: J.A.P.
 DRAWN BY: R.F.G.
 PROJECT NO.: MD075002
 DATE: 08/29/08
 SCALE: 1"=20'
 DRAWING NO. 8 OF 30
 PROFESSIONAL ENGINEER NO. 28567



PROPOSED WATERLINE PROFILE
 SCALE: 1" = 20' HORIZONTAL
 1" = 2' VERTICAL



PROPOSED STORM PROFILE
 STR: A-2 TO A-4
 SCALE: 1" = 20' HORIZONTAL
 1" = 2' VERTICAL



PROFESSIONAL CERTIFICATION
 I, MATTHEW T. ALLEN, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 28567, EXPIRATION DATE: 4/16/11

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS
B. Debra P. Bolen 5/20/2009
 COUNTY HEALTH OFFICER DATE
 HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Clayton Edwards 5-4-09
 CHIEF-DEVELOPMENT ENGINEERING DIVISION DATE
Colleen 6/23/09
 CHIEF-DIVISION OF LAND DEVELOPMENT DATE
Thomas G. Suttler 6/23/09
 DIRECTOR, DEP. DATE

NO. 1 DATE 3/17/09 REVISION PER INTERNAL REVIEW REVISION DESCRIPTION
 OWNERS: MCDONALD'S CORPORATION, PO BOX 68207, CHICAGO, IL 60666-0207, CONTACT: JOHN EIDBERGER, PHONE: (240) 497-3650
 DEVELOPER: MCDONALD'S USA, LLC, BALTIMORE/WASHINGTON REGION, 6903 ROCKLEDGE DRIVE, SUITE 100, BETHESDA, MD 20817, CONTACT: JOHN EIDBERGER, PHONE: (240) 497-3650
 MCDONALD'S W/ NEW PARKING AND ENTRANCEWAYS
 GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET
 PARCEL A-4, BLOCK B
 7878 POCOMOKE AVENUE, JESSUP, HOWARD COUNTY, MARYLAND 20794
 AREA 1.22 AC. TAX MAP 43 GRID 15 ZONED M-2
 PARCEL A-4 L. 920, F. 478 AND L. 1091, F. 1
 6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

BOHLER ENGINEERING
 810 GLENEACLES COURT, SUITE 300, TOWSON, MARYLAND 21286
 PH: (410) 821-7900, FX: (410) 821-7987
 www.bohlerengineering.com

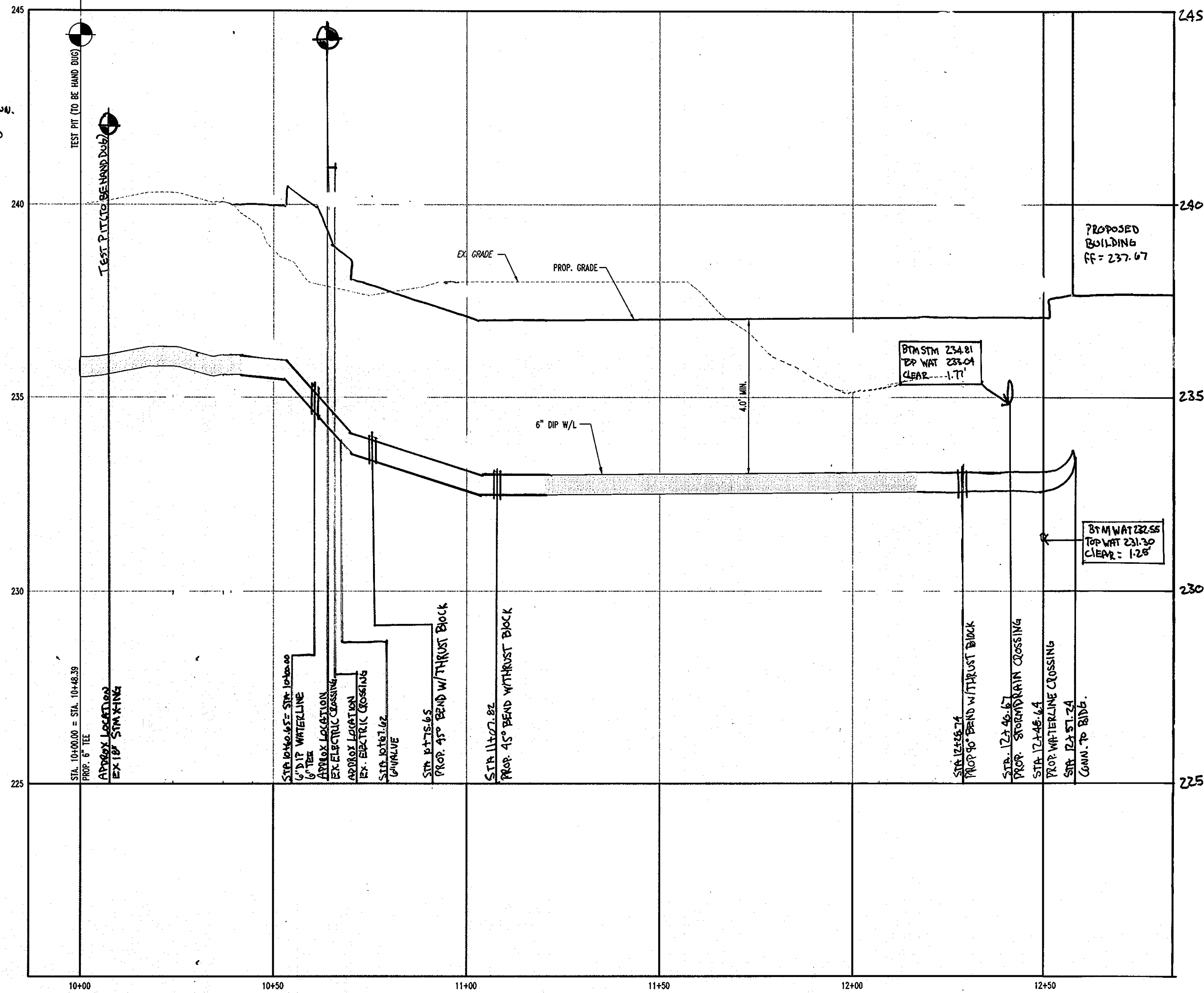
ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
LOTS A-4 / PARCEL 652	7878 POCOMOKE AVENUE

PERMIT INFORMATION CHART					
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL NO.	A-4		
GCW FOOD MARKET	SECTION 1	PARCEL 652			
PLAT RECORDATION	GRID#	ZONING	TAX MAP NO.	ELECT. DISTR.	CENSUS TRACT
20591	9	M-2	43	6TH	606901
WATER CODE	SEWER CODE				
692-D-W	B694-B				

DESIGNED BY: J.A.P.
 DRAWN BY: R.F.G.
 PROJECT NO.: MD075002
 DATE: 08/29/08
 SCALE: 1"=20'
 DRAWING NO. 9 OF 30
 PROFESSIONAL ENGINEER NO. 28567

GENERAL NOTE:
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DRAWINGS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS SET FORTH BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

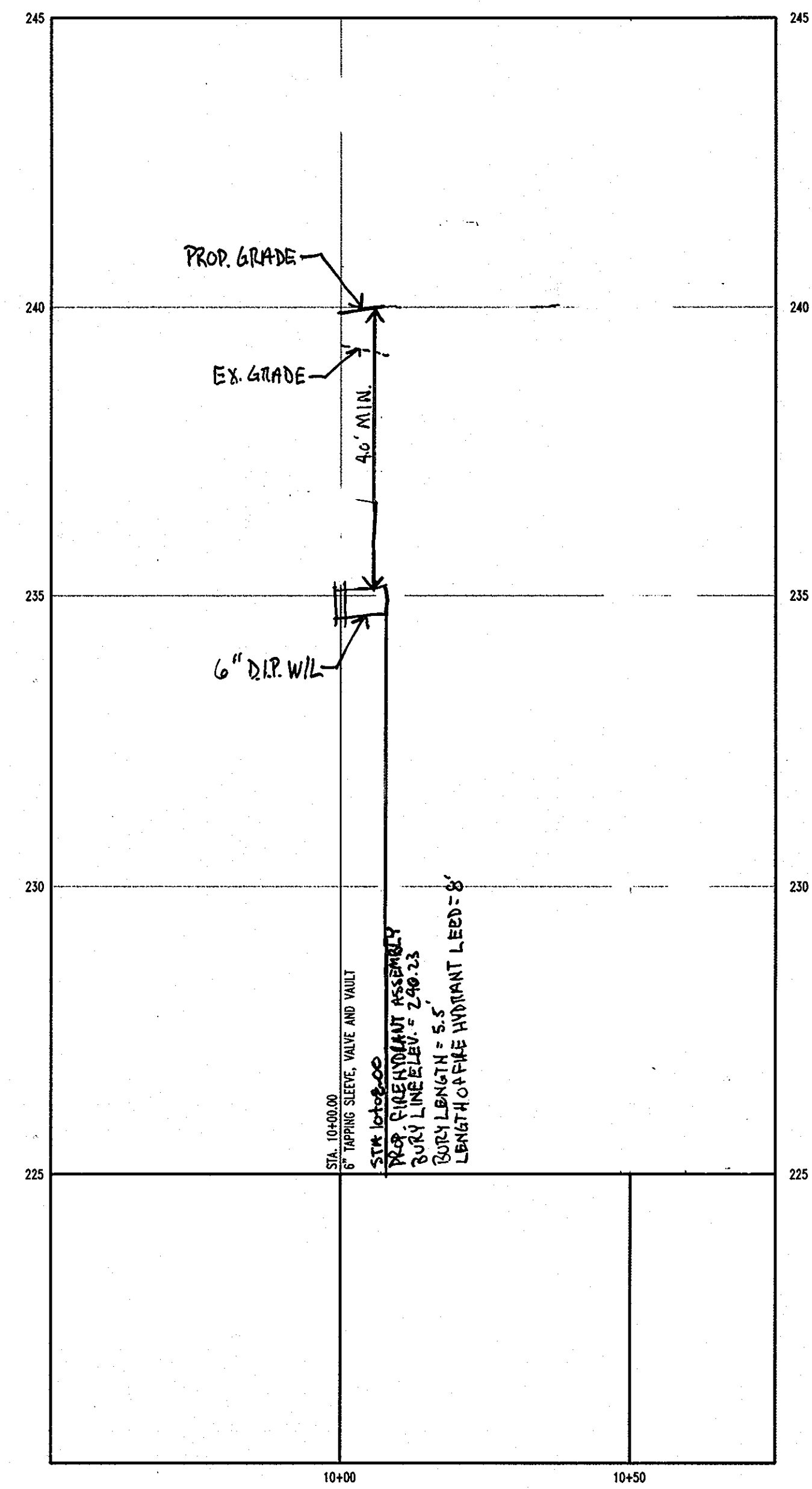
ELEVATION OF EXISTING STORM SEWER IS UNKNOWN. CONTRACTOR TO TEST PIT FOR LOCATION AND ELEVATION OF STORM SEWER AND REPORT FINDINGS TO BOHLER ENGINEERING.



PROPOSED WATERLINE PROFILE

SCALE: 1" = 20' HORIZONTAL
1" = 2' VERTICAL

GENERAL NOTE:
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PROPOSED WATERLINE PROFILE

SCALE: 1" = 20' HORIZONTAL
1" = 2' VERTICAL

MISS UTILITY



BEFORE YOU DIG CALL 811 IN MD or 1-800-257-7777 PROTECT YOURSELF. GIVE TWO WORKING DAYS NOTICE. THE CONTRACTOR TO CALL HAS OBLIGED TO MARK ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

PROFESSIONAL CERTIFICATION

I, MATTHEW T. ALLEN, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 28567, EXPIRATION DATE: 4/16/11

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS
Matthew T. Allen DATE 5/20/2009
COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT 50

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Paul Edwards DATE 5.4.09
CHIEF-DEVELOPMENT ENGINEERING DIVISION
Johnathan DATE 6/27/09
CHIEF-DIVISION OF LAND DEVELOPMENT
Thomas E. Buttle DATE 6/2/09
DIRECTOR, DEP.

NO. 1125/09 DATE REV Per SHA + AD Comments REVISION DESCRIPTION

OWNERS: McDONALD'S CORPORATION
FO BOX 66207
AUF O'HARE AIRPORT
CHICAGO, IL 60666-0207
CONTACT: JOHN EIDBERGER
PHONE: (240) 497-3650

DEVELOPER: McDONALD'S USA, LLC
BALTIMORE/WASHINGTON REGION
6903 ROCKLEDGE DRIVE, SUITE 100
BETHESDA, MD 20817
CONTACT: JOHN EIDBERGER
PHONE: (240) 497-3650

McDONALD'S W/ NEW PARKING AND ENTRANCEWAYS
GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET
PARCEL A-4, BLOCK B
7878 POCOONKE AVENUE, JESSUP, HOWARD COUNTY, MARYLAND 20794

AREA 1.22 AC. TAX MAP 43 GRID 15 ZONED M-2
PARCEL A-4 L. 920, F. 478 AND L. 1091, F. 1
6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

UTILITY PROFILES



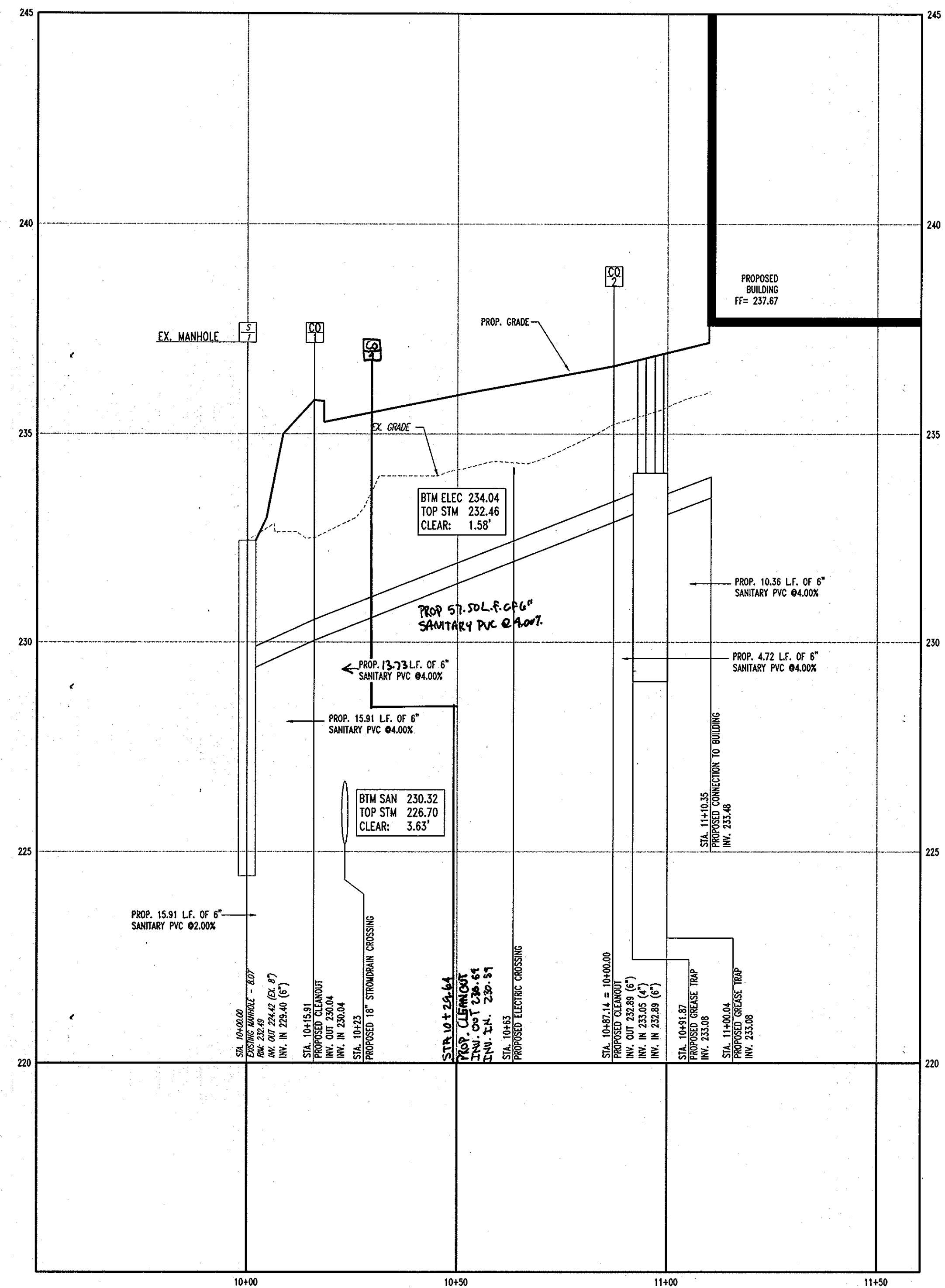
810 GLENEAGLES COURT
SUITE 300
TOWSON, MARYLAND 21286
PH: (410) 821-7900
FX: (410) 821-7987
www.bohlereengineering.com

SDP-08-120

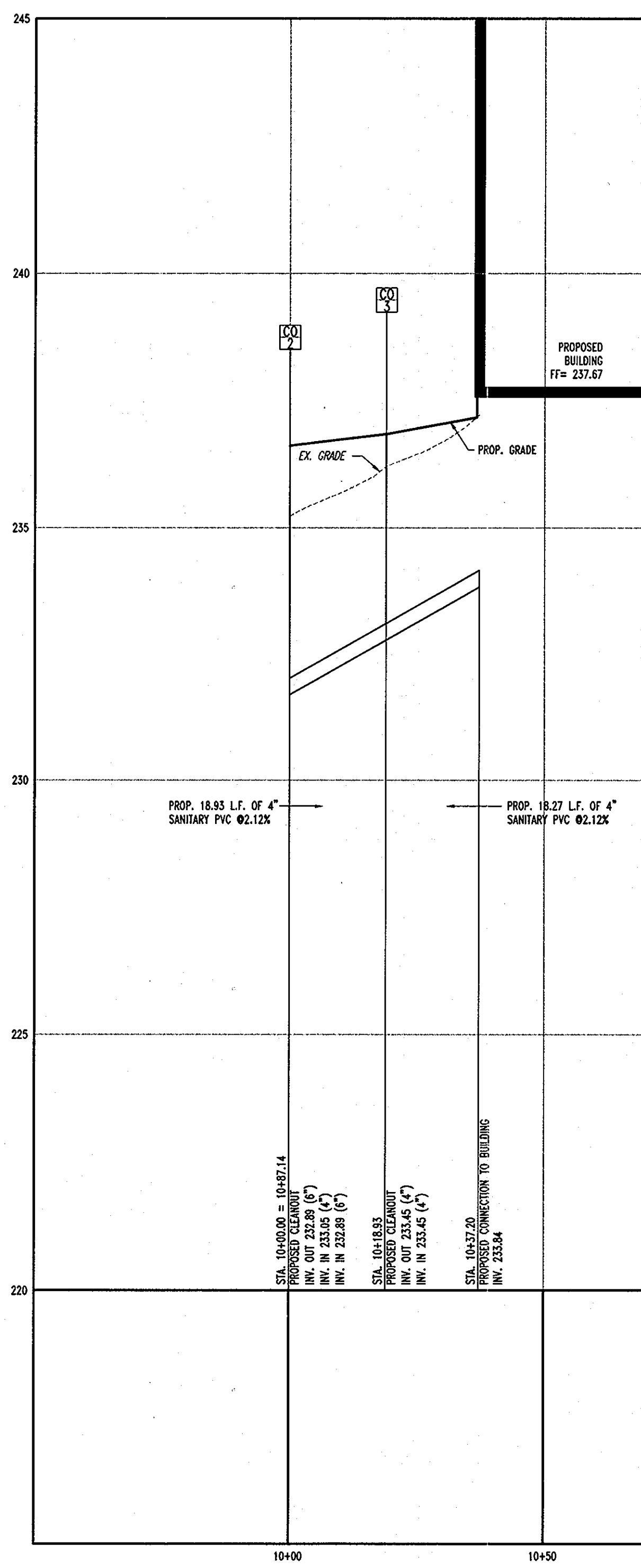
ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
LOTS A-4 / PARCEL 652	7878 POCOONKE AVENUE

PERMIT INFORMATION CHART					
SUBDIVISION NAME	SECTION/AREA	SECTION 1	LOT/PARCEL NO. A-4	PARCEL 652	CENSUS TRACT
690W FOOD MARKET					606901
PLAT RECORDATION GRID#	ZONING	TAX MAP NO.	ELECT. DISTR.	CENSUS TRACT	
20791	M-2	43	6TH	606901	
WATER CODE	SEWER CODE				
692-D-W	6694-B				

DESIGNED BY: J.A.P.
DRAWN BY: R.F.G.
PROJECT NO.: M0075002
DATE: 08/29/08
SCALE: 1"=20'
PROFESSIONAL ENGINEER NO. 28567
SDP-08-120



PROPOSED SANITARY PROFILE
 SCALE: 1" = 20' HORIZONTAL
 1" = 2' VERTICAL



PROPOSED SANITARY PROFILE
 SCALE: 1" = 20' HORIZONTAL
 1" = 2' VERTICAL

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APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS
B. Wilson for Peter Besilenson 5/20/2009
 COUNTY HEALTH OFFICER DATE
 HOWARD COUNTY HEALTH DEPARTMENT 17/09

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chad Leonard 5-4-9
 CHIEF-DEVELOPMENT ENGINEERING DIVISION DATE
Calvin... 6/23/09
 CHIEF-DIVISION OF LAND DEVELOPMENT DATE
Thomas E. Butler 6/23/09
 DIRECTOR, DEP. DATE

NO.: 7123/09
 DATE: 7/23/09
 REVISION DESCRIPTION: Rev Per SH & ASD Comments
 OWNERS: McDONALD'S CORPORATION
 PO BOX 65207
 AMF O'HARE AIRPORT
 CHICAGO, IL 60666-0207
 PHONE: (240) 497-3650
 DEVELOPER: McDONALD'S USA, LLC
 BALTIMORE/WASHINGTON REGION
 6903 ROCKLEDGE DRIVE, SUITE 100
 BETHESDA, MD 20817
 CONTACT: JOHN EIDBERGER
 PHONE: (240) 497-3650
 McDONALD'S W/ NEW PARKING AND ENTRANCEWAYS
 GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET
 PARCEL A-4, BLOCK B
 7878 POCOMOKE AVENUE, JESSUP, HOWARD COUNTY, MARYLAND 20794
 AREA 1.22 AC. TAX MAP 43 GRID 15 ZONED M-2
 PARCEL A-4 L. 920, F. 478 AND L. 1091, F. 1
 6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

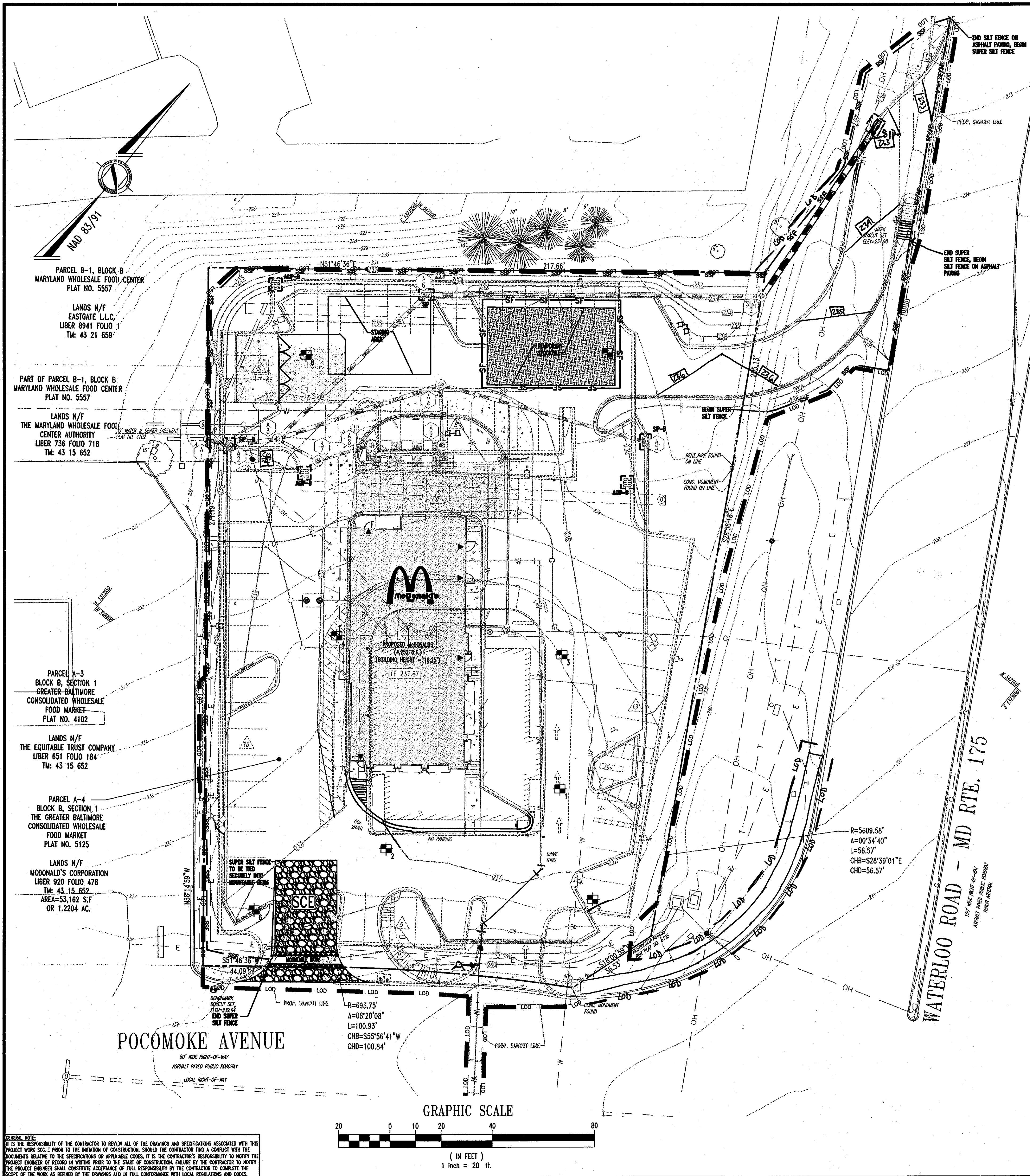
UTILITY PROFILES



810 CLENEACLES COURT
 SUITE 300
 TOWSON, MARYLAND 21286
 PH: (410) 821-7900
 FX: (410) 821-7987
 www.bohlerengineering.com

ADDRESS CHART		
LOT/PARCEL #	STREET ADDRESS	
LOTS A-4 / PARCEL 652	7878 POCOMOKE AVENUE	
PERMIT INFORMATION CHART		
SUBDIVISION NAME GBCW FOOD MARKET	SECTION / AREA SECTION 1	LOT/PARCEL NO. A-4 PARCEL 652
PLAT RECORDED IN 20591	GRID 9	ZONING M-2
WATER CODE 692-D-W	SEWER CODE B694-B	TAX MAP NO. 43
		ELECT. DIST. 6TH
		CENSUS TRACT 606901

DESIGNED BY: J.A.P.
 DRAWN BY: R.F.G.
 PROJECT NO.: MD075002
 DATE: 08/29/08
 SCALE: 1" = 20'
 DRAWING NO. 11 OF 30
 PROFESSIONAL ENGINEER NO. 28567



EROSION AND SEDIMENT CONTROL UTILITY INSTALLATION NOTES

CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE SHALL BE PLACED BELOW (DOWNSLOPE OF) TRENCH.

PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.

ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.

THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AT ALL TIMES DURING UNDERGROUND UTILITY CONSTRUCTION.

QUANTITY TAKEOFF OF SEDIMENT CONTROL MEASURES

LIMIT OF DISTURBANCE	61,687 S.F. OR 1.42 AC.
TOTAL NET SITE AREA	53,162 S.F. OR 1.22 AC.
TOTAL IMPERVIOUS AREA	46,609.2 S.F. OR 1.07 AC.
AREA TO BE VEGETATIVELY STABILIZED	18,590 S.F. OR 0.43 AC.
SILT FENCE	176 L.F.
SUPER SILT FENCE	738 L.F.
SILT FENCE ON ASPHALT PAVING	74 L.F.
STANDARD INLET PROTECTION	1 EA.
AT GRADE INLET PROTECTION W/SSF	3 EA.
STANDARD INLET PROTECTION W/SSF	2 EA.
STABILIZED CONSTRUCTION ENTRANCE	1 EA.
EARTH WORK	
CUT:	1,174 C.Y.
FILL:	1,605 C.Y.

SPOIL MATERIAL SHALL BE DISCARDED AT A SITE WITH AN ACTIVE GRADING PERMIT AND APPROVED SEDIMENT CONTROL PLAN. BORROW MATERIAL SHALL BE OBTAINED FROM AN APPROVED SITE WITH AN ACTIVE GRADING PERMIT AND AN APPROVED SEDIMENT CONTROL PLAN.

EARTH QUANTITIES LISTED ABOVE ARE FOR SEDIMENT CONTROL USE ONLY. CONTRACTOR SHALL NOT RELY ON THESE FIGURES FOR ESTIMATING AND BONDING PURPOSES.

EROSION AND SEDIMENT CONTROL LEGEND

---	PROPERTY LINE
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	LIMIT OF DISTURBANCE
---	SUPER SILT FENCE
---	SILT FENCE
---	SAFETY FENCE
---	SILT FENCE ON ASPHALT PAVEMENT
---	STABILIZED CONSTRUCTION ENTRANCE
---	MOUNTABLE BERM
---	STANDARD INLET PROTECTION
---	AT GRADE INLET PROTECTION WITH SUPER SILT FENCE WRAPPING THE INLET
---	STANDARD INLET PROTECTION WITH SUPER SILT FENCE WRAPPING THE INLET

LEGEND:

---	PROPOSED CONTOUR
---	EXISTING CONTOUR
---	PROPOSED ELEVATION SPOT
---	PROPOSED STORM SEWER
---	EXISTING STORM SEWER
---	PROPOSED SANITARY SEWER
---	EXISTING SANITARY SEWER
---	PROPOSED UNDERGROUND GAS
---	EXISTING UNDERGROUND GAS
---	PROPOSED UNDERGROUND WATER
---	EXISTING UNDERGROUND WATER
---	PROPOSED UNDERGROUND ELECTRIC
---	EXISTING UNDERGROUND ELECTRIC
---	PROPOSED UNDERGROUND TELEPHONE
---	EXISTING UNDERGROUND TELEPHONE
---	PROPOSED OVERHEAD LINES
---	EXISTING OVERHEAD LINES

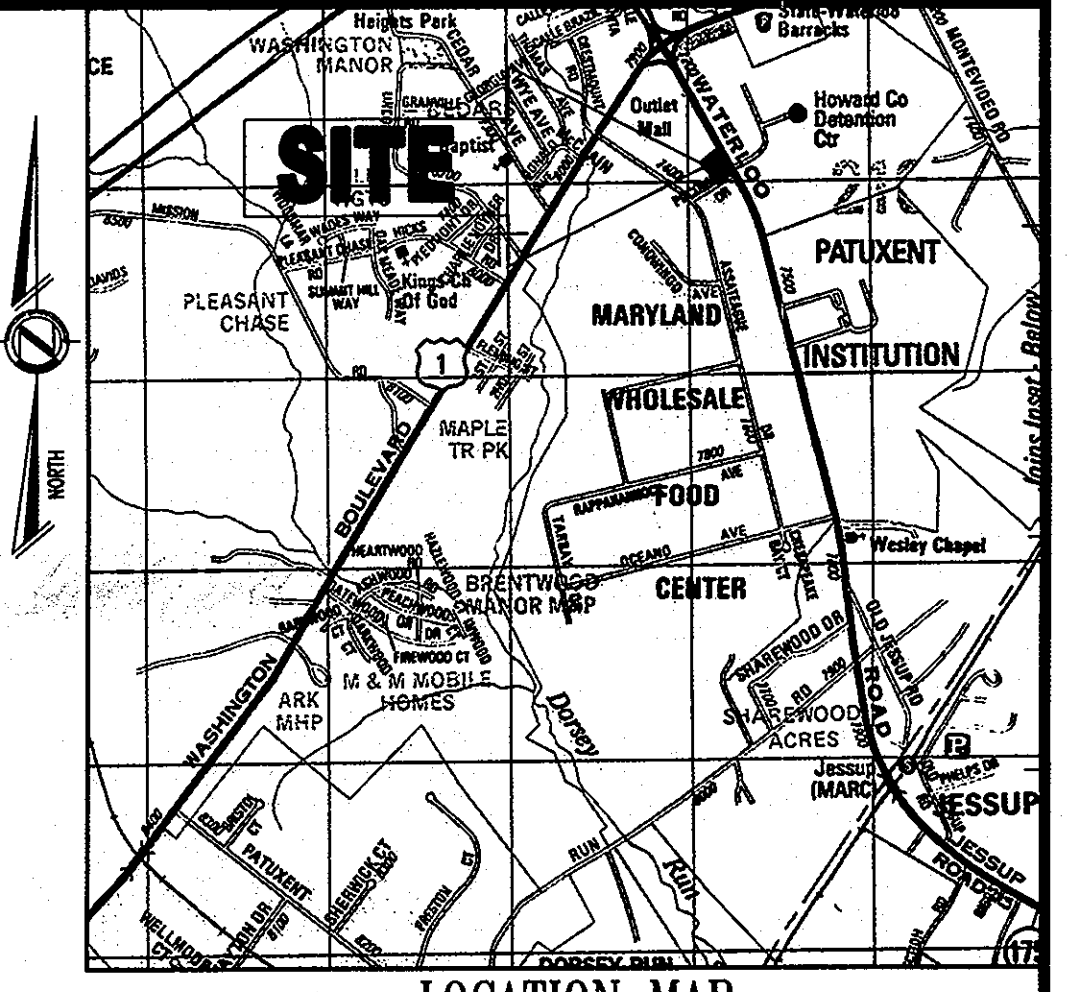
INLET PROTECTION NOTE

THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH THE EXCEPTION OF THE FOLLOWING:

- *1) ANY INLET OUTFALLING DIRECTLY INTO A SEDIMENT TRAPPING DEVICE.
- *2) INLETS ON PRIVATE OR PUBLIC PAVED ROAD OPEN TO THE PUBLIC.

ALL INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, PAGE E-16-1. THE REMOVAL OF ANY INLET PROTECTION DEVICES WILL REQUIRE APPROVAL FROM THE INSPECTOR.

*STORM DRAIN TO BE FLUSHED PRIOR TO TRAPPING DEVICE REMOVAL.



LOCATION MAP

COPYRIGHT 2003
 DELORME STREET ATLAS 5004 PLUS USA
 SCALE: 1"=200'

SOIL DESCRIPTION

UD - UDOURTHENS - URBAN LAND COMPLEX (ENTIRE SITE)

MISS UTILITY



PROFESSIONAL CERTIFICATION

I, MATTHEW T. ALLEN, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 28567, EXPIRATION DATE: 4/16/09

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS
Barbara P. Piten
 COUNTY HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT
 DATE: 5/20/2009

APPROVED: DEPARTMENT OF PLANNING AND ZONING

John Edwards 5-4-9
 CHIEF-DEVELOPMENT ENGINEERING DIVISION
Colin... 6/23/09
 CHIEF-DIVISION OF LAND DEVELOPMENT
Thomas... 6/23/09
 DIRECTOR, DEP.

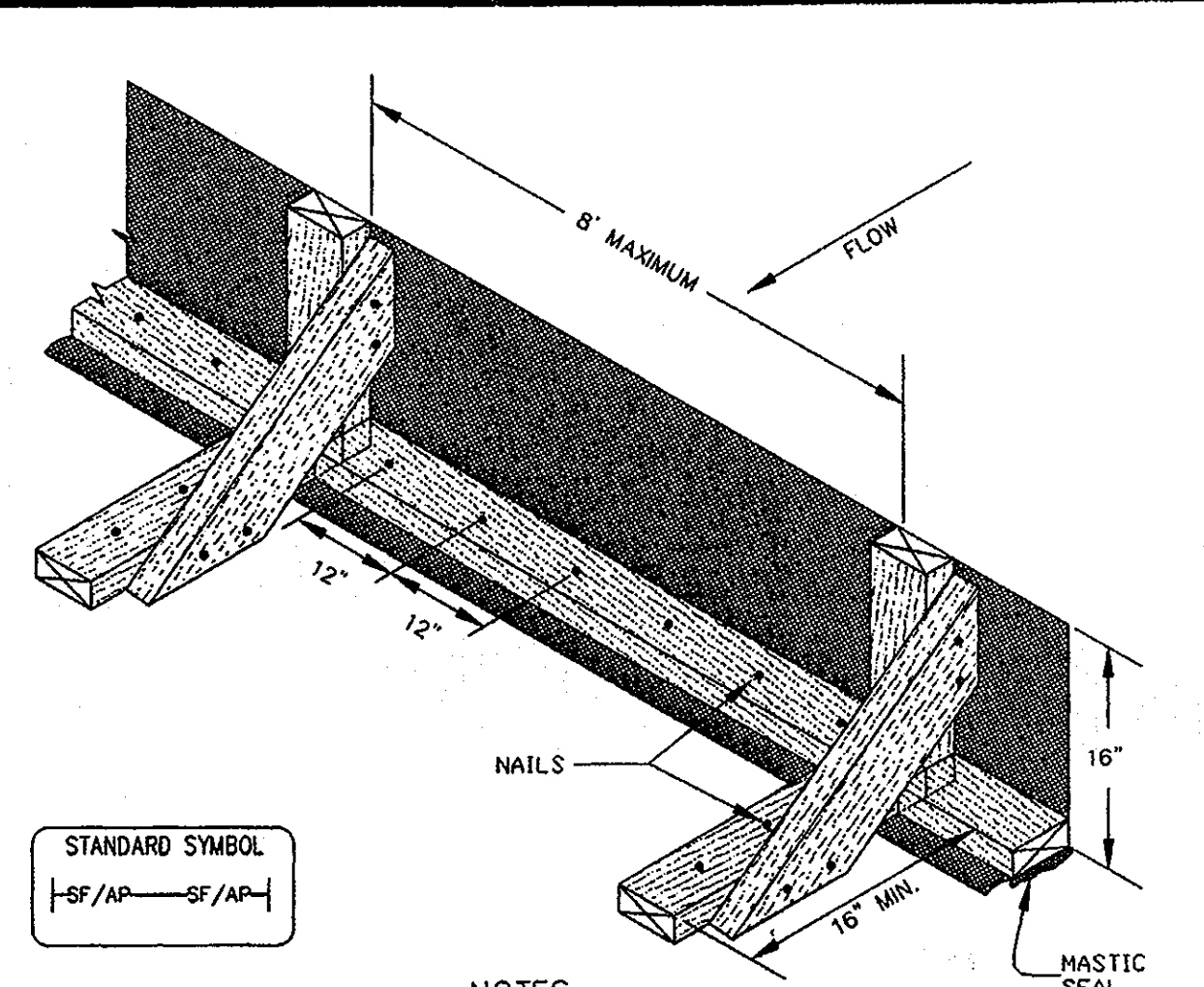
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
John Edwards 4/16/09
 ENGINEER'S CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL IS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE REQUIREMENTS OF THE MARYLAND SOIL CONSERVATION SERVICE.
Matthew T. Allen 4/16/09
 MATTHEW T. ALLEN P.E.
 DATE

DEVELOPER'S CERTIFICATE
 I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.
John Edwards 3/12/09
 JOHN EDENBERGER
 TITLE: CONSTRUCTION MANAGER

ADDRESS CHART		
LOT/PARCEL #	STREET ADDRESS	
LOTS A-4 / PARCEL 652	7878 POCOMOKE AVENUE	
PERMIT INFORMATION CHART		
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL NO. A-4
GCW FOOD MARKET	SECTION 1	PARCEL 652
PLAT RECORDATION GRID#	ZONING	TAX MAP NO.
2257-1	M-2	43
WATER CODE	SEWER CODE	ELECT. DIST.
692-D-W	B694-B	6TH
CENSUS TRACT	CENSUS BLOCK	
806901	806901	

BOHLER ENGINEERING
 810 GLENEAGLES COURT
 SUITE 300
 TOWSON, MARYLAND 21286
 PH: (410) 821-7900
 FX: (410) 821-7987
 www.bohlerengineering.com

DESIGNED BY: J.A.P.
 DRAWN BY: R.F.G.
 PROJECT NO.: MD075002
 DATE: 08/29/08
 SCALE: 1"=20'
 DRAWING NO. 12 OF 30

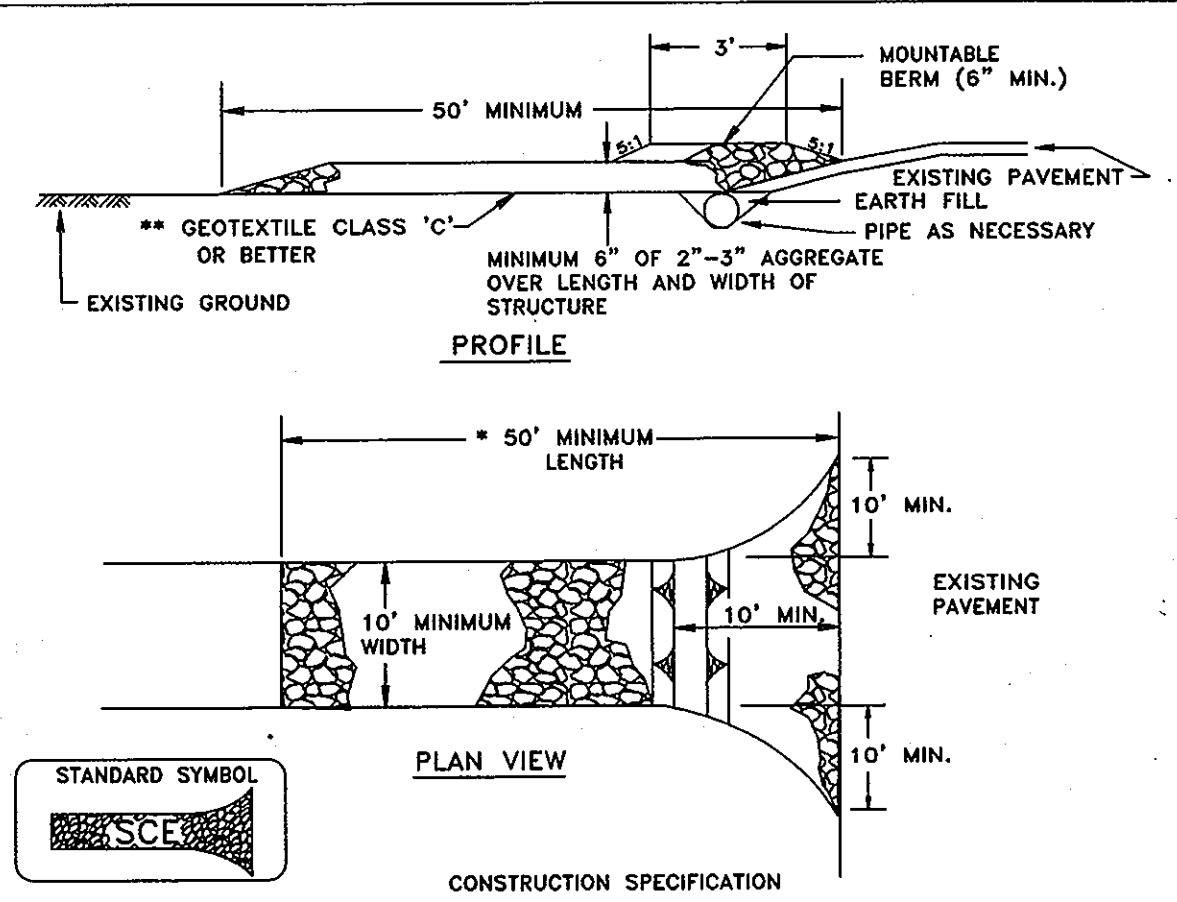


- NOTES**
- All finished lumber shall be 2" x 4" minimum.
 - A mastic seal shall be provided, as shown, to prevent sediment laden water escaping untreated beneath silt fence installation.
 - Silt fence shall be taut and securely stapled to face of upright supports.
 - Nails used to secure boards to pavement shall be 20d x 4" minimum length.
 - Application design and materials criteria shall be as stated in the Maryland Standards and Specifications for Soil and Sediment Control.

SILT FENCE
INSTALLATION ON
ASPHALT PAVEMENT

DATE: 10/03
SCALE: NONE

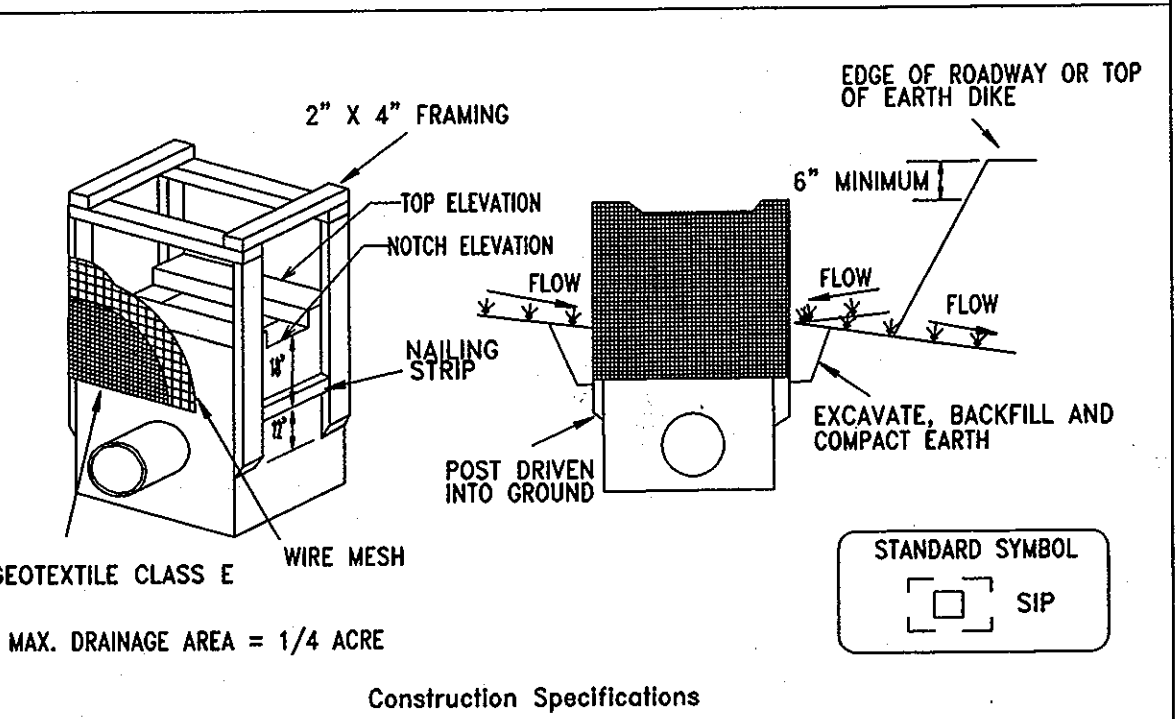
DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE



- CONSTRUCTION SPECIFICATION**
- LENGTH - MINIMUM OF 50' (*30' FOR SINGLE RESIDENCE LOT).
 - WIDTH - 10" MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
 - GEOTEXTILE FABRIC (FILTER CLOTH) SHALL BE PLACED OVER THE EXISTING GROUND PRIOR TO PLACING STONE. *THE PLAN APPROVAL AUTHORITY MAY NOT REQUIRE SINGLE FAMILY RESIDENCES TO USE GEOTEXTILE.
 - STONE - CRUSHED AGGREGATE (2" TO 3") OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT SHALL BE PLACED AT LEAST 6" DEEP OVER THE LENGTH AND WIDTH OF THE ENTRANCE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND A MINIMUM OF 6" OF STONE OVER THE PIPE. PIPE HAS TO BE SIZED ACCORDING TO THE DRAINAGE. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE WILL NOT BE NECESSARY. PIPE SHOULD BE SIZED ACCORDING TO THE AMOUNT OF RUNOFF TO BE CONVEYED. A 6" MINIMUM WILL BE REQUIRED.
 - LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED AT EVERY POINT WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES A CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE STABILIZED CONSTRUCTION ENTRANCE.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE F-17-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 23A - STANDARD INLET PROTECTION



- MAX. DRAINAGE AREA = 1/4 ACRE
- Construction Specifications**
- Excavate completely around the inlet to a depth of 18" below the notch elevation.
 - Drive the 2" x 4" construction grade lumber posts 1' into the ground at each corner of the inlet. Place nail strips between the posts on the ends of the inlet. Assemble the top portion of the 2" x 4" frame using the overlap joint shown on Detail 23a. The top of the frame (weir) must be 6" below adjacent roadways where flooding and safety issues may arise.
 - Stretch the 1/2" x 1/2" wire mesh tightly around the frame and fasten securely. The ends must meet and overlap at a post.
 - Stretch the Geotextile Class E tightly over the wire mesh with the geotextile extending from the top of the frame to 18" below the inlet notch elevation. Fasten the geotextile firmly to the frame. The ends of the geotextile must meet at a post, be overlapped and folded, then fastened down.
 - Backfill around the inlet in compacted 6" layers until the layer of earth is level with the notch elevation on the ends and top elevation on the sides.
 - If the inlet is not in a sump, construct a compacted earth dike across the ditch line directly below it. The top of the earth dike should be at least 6" higher than the top of the frame.
 - The structure must be inspected periodically and after each rain and the geotextile replaced when it becomes clogged.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE E-16-5 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

SEQUENCE OF CONSTRUCTION

- NOTIFY HOWARD COUNTY'S SEDIMENT CONTROL INSPECTOR AT 410-313-1855 AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION. (2 DAYS)
- DO NOT COMMENCE ANY LAND DISTURBING ACTIVITIES PRIOR TO OBTAINING A GRADING PERMIT. (1 DAY)
- THE CONTRACTOR SHALL HOLD A PRE-CONSTRUCTION MEETING WITH THE CONSTRUCTION MANAGER AND THE HOWARD COUNTY EROSION AND SEDIMENT CONTROL INSPECTOR PRIOR TO COMMENCING ANY LAND DISTURBANCE ACTIVITIES. (1 DAY)
- CLEARLY MARK LIMITS OF DISTURBANCE IN THE FIELD PRIOR TO CONSTRUCTION. PERMANENTLY OR TEMPORARILY STABILIZE DISTURBED AREAS ON SITE WHERE CONSTRUCTION ACTIVITY HAS CEASED WITHIN: (2 DAYS)
 - SEVEN CALENDAR DAYS ON SLOPES GREATER THAN 3:1, ALL WATERWAYS AND TO THE SURFACE OF ALL PERIMETER CONTROLS.
 - FOURTEEN CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS OF THE PROJECT.
- INSTALL SUPER SILT FENCE, SILT FENCE ON ASPHALT PAVEMENT, STABILIZED CONSTRUCTION ENTRANCE, AND INLET PROTECTION. (2 DAYS)
- ONCE THE SEDIMENT CONTROL DEVICES ARE INSTALLED, THE PERMITEE MUST OBTAIN WRITTEN APPROVAL FROM THE INSPECTOR BEFORE PROCEEDING WITH ANY ADDITIONAL CLEARING, GRUBBING, OR GRADING. (3 DAYS)
- WITH APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, BEGIN SITE DEMOLITION AND BEGIN ROUGH GRADING SITE. (14 DAYS)
- CONSTRUCT PROPOSED BUILDING, STORMFILTER WITHOUT FILTER CARTRIDGES AND UTILITIES. (90 DAYS)
- FINE GRADE ALL DISTURBED AREAS AND STABILIZE SITE. (14 DAYS)
- INSTALL AGGREGATE BASE AND PAVEMENT BASE COURSE AND STABILIZE ALL DISTURBED AREAS AS NECESSARY. (3 DAYS)
- FINE GRADE ALL REMAINING AREAS. (5 DAYS)
- INSTALL SURFACE PAVING. (5 DAYS)
- INSTALL ALL LANDSCAPING. (5 DAYS)
- FLUSH STORMDRAIN SYSTEM AND INSTALL FILTER CARTRIDGES. (5 DAYS)
- STABILIZE ALL ADDITIONAL DISTURBED AREAS AS REQUIRED AND WITH PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, REMOVE ALL REMAINING SEDIMENT CONTROL DEVICES. (2 DAYS)

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY DEPARTMENT OF HEALTH OFFICER

John Edberger 4/20/09
HOWARD SCD DATE

ENGINEER'S CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL IS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT."

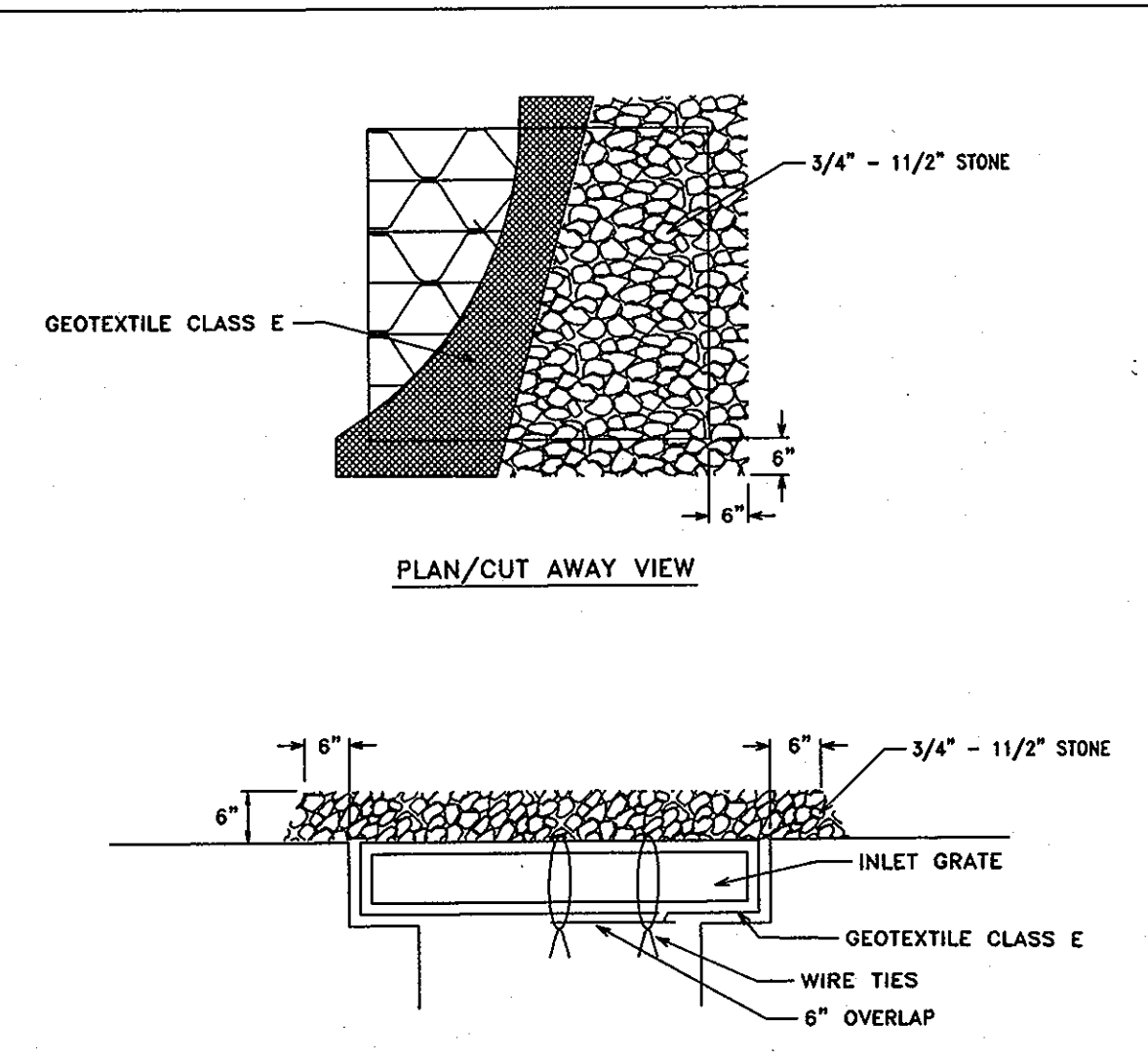
Matthew T. Allen 4/2/09
SIGNATURE OF ENGINEER DATE
MATTHEW T. ALLEN P.E.

DEVELOPER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT."

John Edberger 3/12/09
NAME: JOHN EDBERGER DATE
TITLE: CONSTRUCTION MANAGER

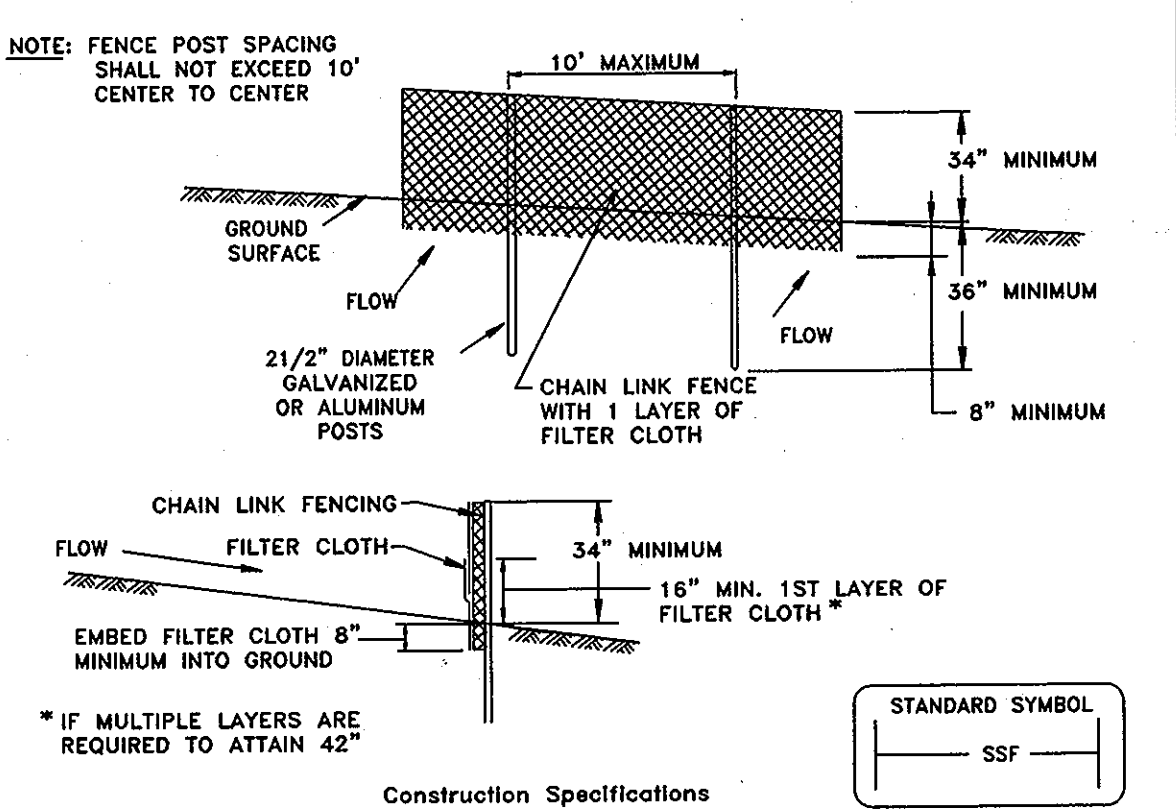
DETAIL 23B - AT GRADE INLET PROTECTION



- CONSTRUCTION SPECIFICATIONS**
- Lift grate and wrap with Geotextile Class E to completely cover all openings, then set grate back in place.
 - Place 3/4" to 1 1/2" stone, 4"-6" thick on the grate to secure the fabric and provide additional filtration.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE E-16-5A MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 33 - SUPER SILT FENCE

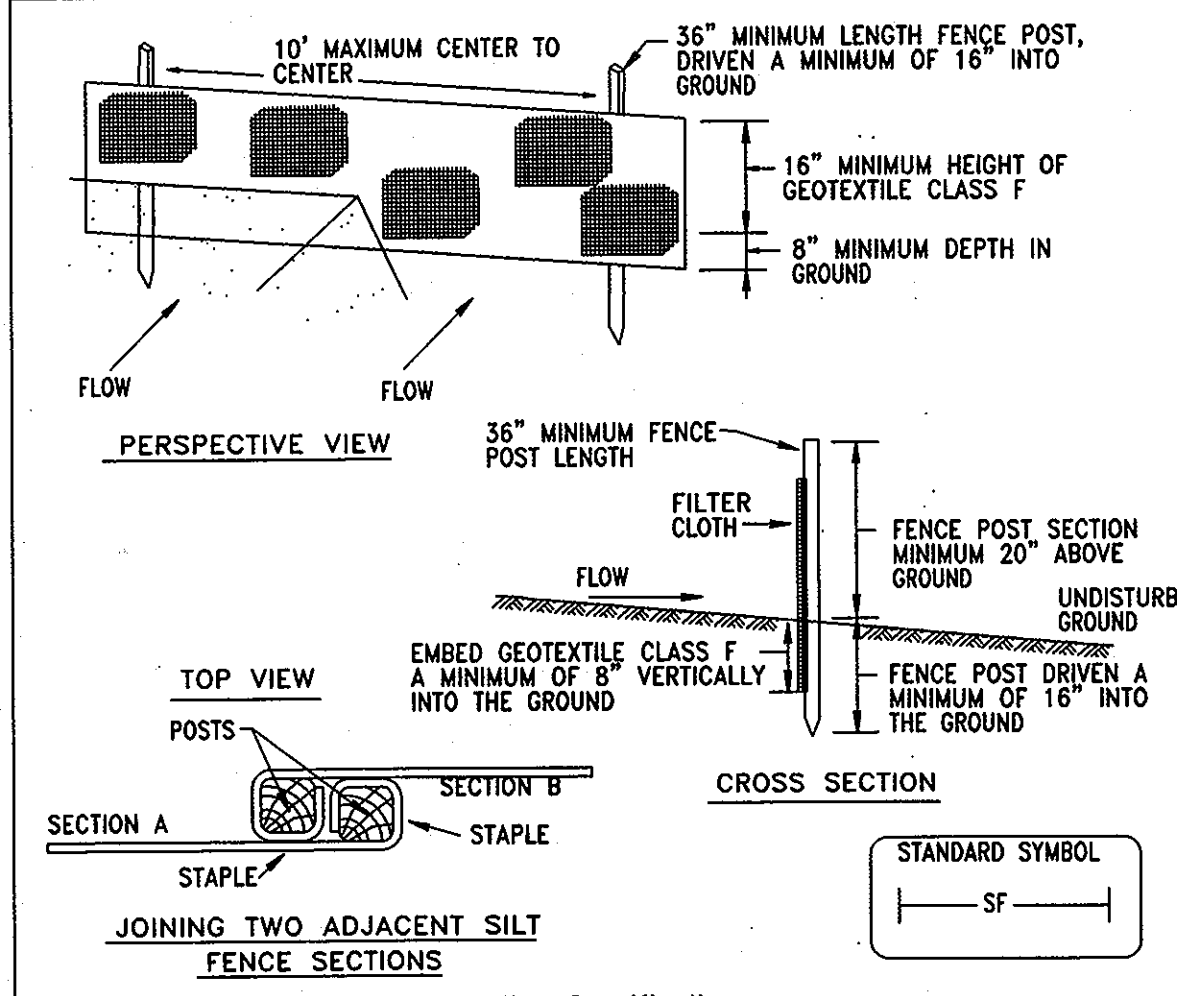


- Construction Specifications**
- Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway Details for Chain Link Fencing. The specification for a 6" fence shall be used, substituting 42" fabric and 6" length posts.
 - Chain link fence shall be fastened securely to the fence posts with wire ties. The lower tension wire, brace and truss rods, drive anchors and post caps are not required except on the ends of the fence.
 - Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.
 - Filter cloth shall be embedded a minimum of 8" into the ground.
 - When two sections of filter cloth adjoin each other, they shall be overlapped by 6" and folded.
 - Maintenance shall be performed as needed and silt buildups removed when "bulges" develop in the silt fence, or when silt reaches 50% of fence height
 - Filter cloth shall be fastened securely to each fence post with wire ties or staples at top and mid section and shall meet the following requirements for Geotextile Class F:

Tensile Strength	50 lbs/in (min.)	Test: MSMT 509
Tensile Modulus	20 lbs/in (min.)	Test: MSMT 509
Flow Rate	0.3 gal/ft ² /minute (max.)	Test: MSMT 322
Filtering Efficiency	75% (min.)	Test: MSMT 322

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE H-26-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

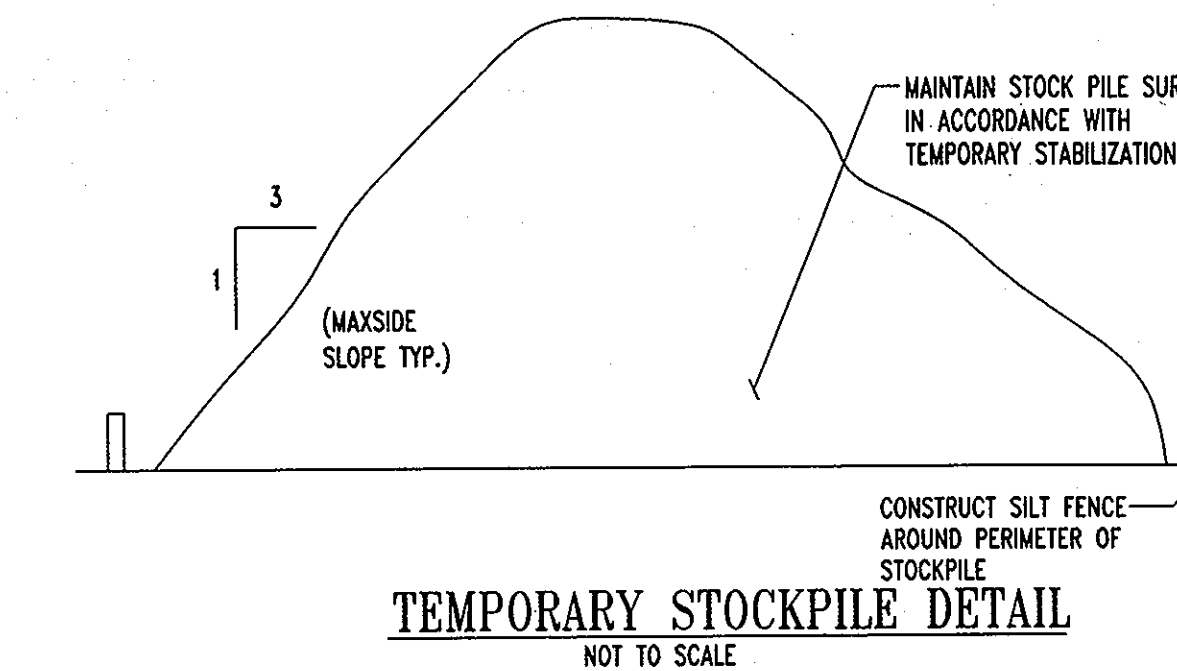
DETAIL 22 - SILT FENCE



- Construction Specifications**
- Fence posts shall be a minimum of 36" long driven 16" minimum into the ground. Wood posts shall be 1 1/2" x 1 1/2" square (minimum) cut, or 1 3/4" diameter (minimum) round and shall be of sound quality hardwood. Steel posts will be standard T or U section weighting not less than 1.00 pond per linear foot.
 - Geotextile shall be fastened securely to each fence post with wire ties or staples at top and mid-section and shall meet the following requirements for Geotextile Class F:

Tensile Strength	50 lbs/in (min.)	Test: MSMT 509
Tensile Modulus	20 lbs/in (min.)	Test: MSMT 509
Flow Rate	0.3 gal/ft ² /minute (max.)	Test: MSMT 322
Filtering Efficiency	75% (min.)	Test: MSMT 322
 - Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.
 - Silt Fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reached 50% of the fabric height.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE E-15-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



TEMPORARY STOCKPILE DETAIL
NOT TO SCALE

MISS UTILITY

NOTE YOU MAY CALL 811 IN MD or 1-800-257-7777 TO PROTECT YOURSELF. GIVE TWO WORKING DAYS NOTICE. THE CONTRACTOR IS CALLED 48 HOURS PRIOR TO ANY CONSTRUCTION.

PROFESSIONAL CERTIFICATION

I, MATTHEW T. ALLEN, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 28567, EXPIRATION DATE: 4/16/09

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS

Richard P. Steiner 5/20/2009
COUNTY HEALTH OFFICER DATE
HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chad Edwards 5-4-09
CHIEF-DEVELOPMENT ENGINEERING DIVISION DATE

John Edberger 6/2/09
CHIEF-DIVISION OF LAND DEVELOPMENT DATE

Monica Butler 6/23/09
DIRECTOR, DEPT. DATE

NO.: DATE REVISION DESCRIPTION

OWNERS: McDONALD'S CORPORATION PO BOX 65207 AMF O'HARE AIRPORT CHICAGO, IL 60666-0207 CONTACT: JOHN EDBERGER PHONE: (240) 497-3650

DEVELOPER: McDONALD'S USA, LLC BALTIMORE/WASHINGTON REGION 6903 ROCKLEDGE DRIVE, SUITE 100 BETHESDA, MD 20817 CONTACT: JOHN EDBERGER PHONE: (240) 497-3650

McDONALD'S W/ NEW PARKING AND ENTRANCEWAYS GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET PARCEL A-4, BLOCK B 7878 POCOMOKE AVENUE, JESSUP, HOWARD COUNTY, MARYLAND 20794

AREA 1.22 AC. TAX MAP 43 GRID 15 ZONED M-2 PARCEL A-4 L 920, F. 478 AND L 1091, F. 1 6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE
EROSION AND SEDIMENT CONTROL NOTES AND DETAILS

BOHLER ENGINEERING

810 GLENEAGLES COURT SUITE 300 TOWSON, MARYLAND 21286 PH: (410) 821-7900 FX: (410) 821-7987 www.bohlerengineering.com

DESIGNED BY: J.A.P.
DRAWN BY: R.F.G.
PROJECT NO.: MD075002
DATE: 06/23/08
SCALE: AS NOTED
DRAWING NO. 13 OF 30

ADDRESS CHART

LOT/PARCEL #	STREET ADDRESS
LOTS A-4 / PARCEL 652	7878 POCOMOKE AVENUE

PERMIT INFORMATION CHART

SUBDIVISION NAME	GSOW FOOD MARKET	SECTION/AREA	SECTION 1	LOT/PARCEL NO. A-4	PARCEL 652
PLAT RECORDATION	20541	GRID#	9	ZONING	M-2
TAX MAP NO.	43	ELECT. DISTR.	6TH	CENSUS TRACT	606901
SEWER CODE	B694-B	WATER CODE	692-D-W		

K:\07\McDonalds USA, LLC\MD07 5002 - 7878 Pocomoke Avenue, Jessup, Maryland\CAD Site Plan Documents\Rev. 2\MD075002S02.dwg, 3/10/2009 2:20:52 PM, gscatney

GENERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE OPERATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS SHOWN BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

STANDARD AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION WITH SOD SPECIFICATIONS:

- CLASS OF TURFGRASS SOD SHALL BE MARYLAND OR VIRGINIA STATE CERTIFIED, OR MARYLAND OR VIRGINIA STATE APPROVED SOD.
- SOD SHALL BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 3/4 INCH PLUS OR MINUS 1/4 INCH, AT THE TIME OF CUTTING. MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH.
- STANDARD SIZE SECTIONS OF SOD SHALL BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER 10 PERCENT OF THE SECTION.
- INDIVIDUAL PIECES OF SOD SHALL BE CUT TO THE SUPPLIERS WIDTH AND LENGTH. MAXIMUM ALLOWABLE DEVIATION FROM STANDARD WIDTHS AND LENGTHS SHALL BE 5 PERCENT. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE.
- SOD SHALL NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL.
- SOD SHALL BE HARVESTED, DELIVERED AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOD NOT TRANSPORTED WITHIN THIS PERIOD SHALL BE INSPECTED AND APPROVED PRIOR TO INSTALLATION.

SITE PREPARATION:
FERTILIZER AND LIME APPLICATION RATES SHALL BE DETERMINED BY SOIL TEST. UNDER UNUSUAL CIRCUMSTANCES WHERE THERE IS INSUFFICIENT TIME FOR A COMPLETE SOIL TEST, FERTILIZER AND LIME MATERIALS MAY BE APPLIED IN AMOUNTS SHOWN UNDER B, BELOW.

A. PRIOR TO SODDING, THE SURFACE SHALL BE CLEARED OF ALL TRASH, DEBRIS AND OF ALL ROOTS, BRUSH, WIRE, GRADE STAKES AND OTHER OBJECTS THAT WOULD INTERFERE WITH PLANTING, FERTILIZING OR MAINTENANCE OPERATIONS.

B. WHERE THE SOIL IS ACID OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 2 TONS PER ACRE (100 LBS./1000 SQ. FT.) IN ALL SOILS 1,000 POUNDS PER ACRE OR 25 POUNDS PER 1,000 SQUARE FEET OF 10-10-10 FERTILIZER OR EQUIVALENT SHALL BE UNIFORMLY APPLIED AND MIXED INTO THE TOP 3 INCHES OF SOIL WITH THE REQUIRED LIME.

C. ALL AREAS RECEIVING SOD SHALL BE UNIFORMLY FINE GRADED. HARD PACKED EARTH SHALL BE SCARIFIED PRIOR TO INSTALLATION OF SOD.

SOD INSTALLATION:
A. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE THE SOIL SHALL BE LIGHTLY IRRIGATED IMMEDIATELY PRIOR TO LAYING SOD.

B. THE FIRST ROW OF SOD SHALL BE LAID IN A STRAIGHT LINE WITH EACH OTHER. LATERAL JOINTS SHALL BE STAGGERED TO PROMOTE MORE UNIFORM GROWTH AND STRENGTH. INSURE THAT SOD IS NOT ORDER TO PREVENT VOIDS WHICH COULD CAUSE AIR DRYING OF THE ROOTS.

LAID WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH STAGGERED JOINTS. SECURE THE SOD BY TAMPING AND PEGGING OR OTHER APPROVED METHODS.

D. AS SODDING IS COMPLETED IN ANY ONE SECTION, THE ENTIRE AREA SHALL BE ROLLED OR TAMPED TO INSURE SOLID CONTACT OF ROOTS WITH THE SOIL SURFACE. SOD SHALL BE WATERED IMMEDIATELY AFTER LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOD SHALL BE COMPLETED WITHIN EIGHT HOURS.

SOD MAINTENANCE:
A. IN THE ABSENCE OF ADEQUATE RAINFALL, WATERING SHALL BE PERFORMED DAILY OR AS OFTEN AS NECESSARY DURING THE FIRST WEEK AND IN SUFFICIENT QUANTITIES TO MAINTAIN MOIST SOIL TO A THE DAY TO PREVENT WILTING.

B. AFTER THE FIRST WEEK, SOD SHALL BE WATERED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE AND INSURE ESTABLISHMENT.

C. FIRST MOWING SHOULD NOT BE ATTEMPTED UNTIL SOD IS FIRMLY ROOTED. NO MORE THAN 1/3 OF THE GRASS LEAF SHALL BE REMOVED BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. GRASS HEIGHT SHALL BE MAINTAINED BETWEEN 2 AND 3 INCHES UNLESS OTHERWISE SPECIFIED.

D. MAINTENANCE OF ESTABLISHED SOD SHOULD FOLLOW SPECIFICATIONS OUTLINED IN TABLE 54-1.

TOPSOIL CONSTRUCTION AND MATERIAL SPECIFICATIONS

I. TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.

II. TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:

i. TOPSOIL SHALL BE LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 1/2" IN DIAMETER.

ii. TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACKGRASS, JOHNSON GRASS, NUTSEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.

iii. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS PER ACRE (200-400 LBS./1000 SQ. FT.) PRIOR TO PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.

iii. FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES:

i. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION 1 - VEGETATIVE STABILIZATION METHODS AND MATERIALS.

IV. TOPSOIL APPLICATION

i. WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS.

ii. GRADES ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE MAINTAINED, ALBEIT 4" - 8" HIGHER IN ELEVATION.

iii. TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4" - 8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.

V. THESE TOPSOIL SPECIFICATIONS HAVE BEEN EDITED FROM THE 1994 EROSION AND SEDIMENT CONTROL STANDARDS TO FIT THIS PROJECT. IT IS STILL THE INTENTION TO FOLLOW THE REFERENCED 1994 EROSION AND SEDIMENT CONTROLS STANDARDS IN THEIR ENTIRETY.

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREA NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER 3 INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING (UNLESS PREVIOUSLY LOOSENEED).

SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:

1. PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS./1000 SQ. FT.) AND 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ. FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL. AT TIME OF SEEDING, APPLY 400 LBS. PER ACRE 30-0-0 AREAFORM FERTILIZER (9 LBS./1000 SQ. FT.)

2. ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS./1000 SQ. FT.) AND 1000 LBS. PER ACRE 10-10-10 FERTILIZER (23 LBS./1000 SQ. FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOILS.

SEEDING: FOR THE PERIODS MARCH 1 THROUGH APRIL 30, AND AUGUST 1 THROUGH OCTOBER 15, SEED WITH 60 LBS. PER ACRE (1.4 LBS./1000 SQ. FT.) OF KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS. PER ACRE (.05 LBS./1000 SQ. FT.) OF WEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THROUGH FEBRUARY 28, PROTECT SITE BY: OPTION (1) 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) USE SOD. OPTION (3) SEED WITH 60 LBS./ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELL ANCHORED STRAW.

MULCHING: APPLY 1 1/2 TO 2 TONS PER ACRE (70 TO 90 LBS./1000 SQ. FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GALS./1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FALT AREA. ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GALS./1000 SQ. FT.) FOR ANCHORING.

MULCHING: APPLY 1 1/2 TO 2 TONS PER ACRE (70 TO 90 LBS./1000 SQ. FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GALS./1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FALT AREA. ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GALS./1000 SQ. FT.) FOR ANCHORING.

MAINTENANCE: INSPECT ALL SEEDED AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

TEMPORARY SEEDING NOTES

APPLY TO GRADED OR CLEARED AREA LIKELY TO REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER 3 INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING (UNLESS PREVIOUSLY LOOSENEED).

SOILS AMENDMENTS: APPLY 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ. FT.)

SEEDING: FOR PERIODS MARCH 1 THROUGH APRIL 30 AND FROM AUGUST 15 THROUGH NOVEMBER 15, SEED WITH 2 1/3 BU. PER ACRE OF ANNUAL RYE (3.2 LBS./1000 SQ. FT.). FOR THE PERIOD MAY 1 THROUGH AUGUST 14, SEED WITH 3 LBS. PER ACRE OF WEEPING LOVEGRASS (.07 LBS./1000 SQ. FT.). FOR THE PERIOD NOVEMBER 16 THROUGH FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOD.

MULCHING: APPLY 1 1/2 TO 2 TONS PER ACRE (70-90 LBS./1000 SQ. FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GALS./1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES, 8 FT. OR HIGHER, USE 348 GALLONS PER ACRE (8 GALS./1000 SQ. FT.) FOR ANCHORING.

STANDARD AND SPECIFICATIONS FOR TOPSOIL

DEFINITION

PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION. PURPOSE TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATION GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

CONDITIONS WHERE PRACTICE APPLIES

1. THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:
A. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.
B. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.
C. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
D. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.

2. FOR THE PURPOSE OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE PLANS.

CONSTRUCTION AND MATERIAL SPECIFICATIONS

1. TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SPECIFIED. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SET FORTH IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.

2. TOPSOIL SPECIFICATIONS- SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:

A. TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 1/2" IN DIAMETER.

B. TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, JOHNSON GRASS, NUT SEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.

C. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.

3. FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES:

A. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION SECTION I-VEGETATIVE STABILIZATION METHODS AND MATERIALS.

4. FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES:

A. ON SOIL MEETING TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS DICTATING FERTILIZER AND LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING:

A.1. PH FOR TOPSOIL SHALL BE BETWEEN 6.0 THAN 7.5. IF THE TESTED SOIL DEMONSTRATES A PH OF LESS THAN 6.0, SUFFICIENT LIME SHALL BE PRESCRIBED TO RAISE THE PH TO 6.5 OR HIGHER.

A.2. ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 1.5 PERCENT BY WEIGHT.

A.3. TOPSOIL HAVING SOLUBLE SALT CONTENT GREATER THAN 500 PARTS PER MILLION SHALL NOT BE USED.

A.4. NO SOD OR SEED SHALL BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.

NOTE: TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL.

B. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS.

5. TOPSOIL APPLICATION

A. WHEN TOP SOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS.

B. GRADES ON THE AREAS TO BE TOP SOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE MAINTAINED, ALBEIT 4" - 8" HIGHER IN ELEVATION.

C. TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4"-8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE RESULTING FROM SURFACE TOP SOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.

D. TOPSOIL SHALL NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.

6. ALTERNATIVE FOR PERMANENT SEEDING - INSTEAD OF APPLYING THE FULL AMOUNTS OF LIME AND COMMERCIAL FERTILIZER, COMPOSTED SLUDGE AND AMENDMENTS COMMERCIAL BELOW:

A. COMPOSTED SLUDGE MATERIAL FOR USE AS A SOIL CONDITIONER FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES SHALL BE TESTED TO PRESCRIBE AMENDMENTS AND FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

A.1. COMPOSTED SLUDGE SHALL BE SUPPLIED BY, OR ORIGINATE FROM, A PERSON OR PERSONS THAT ARE PERMITTED (AT THE TIME OF ACQUISITION OF THE COMPOST) BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT UNDER COMAR 26.04.06.

A.2. COMPOSTED SLUDGE SHALL CONTAIN AT LEAST 1 PERCENT NITROGEN, 1.5 PERCENT PHOSPHORUS, AND 0.2 PERCENT POTASSIUM AND HAVE A PH OF 7.0 TO 8.0. IF COMPOST DOES NOT MEET THESE REQUIREMENTS, THE APPROPRIATE CONSTITUENTS MUST BE ADDED TO MEET THE REQUIREMENTS PRIOR TO USE.

A.3. COMPOSTED SLUDGE SHALL BE APPLIED AT A RATE OF 1 TON/1,000 SQUARE FEET.

B. COMPOSTED SLUDGE SHALL BE AMENDED WITH A POTASSIUM FERTILIZER APPLIED AT THE RATE OF 4LB/1,000 SQUARE FEET, AND 1/3 THE NORMAL LIME APPLICATION RATE.

REFERENCES: GUIDELINE SPECIFICATIONS, SOIL PREPARATION AND SODDING. MD-VI, PUB. #1, COOPERATIVE EXTENSION SERVICE, UNIVERSITY OF MARYLAND AND VIRGINIA POLYTECHNIC INSTITUTE. REVISED 1973.

PERMANENT SEEDING SUMMARY

NO.	SPECIES	SEED MIXTURE (HARDNESS ZONE 6b) (FROM TABLE 25)			FERTILIZER RATE (10-10-10)			LIME RATE
		APPLICATION RATE (LBS./AC.)	SEEDING DATES	SEEDING DEPTHS	N	P205	K20	
1	85% TALL FESCUE 10% PER. RYEGRASS 5% KENT. BLUEGRASS	125	3/1-5/15 5/16-8/14 8/15-11/15	---	90 LBS./AC. (2.0 LBS./ 1,000 S.F.)	175 LBS./AC. (4.0 LBS./ 1,000 S.F.)	175 LBS./AC. (4.0 LBS./ 1,000 S.F.)	2 TONS/AC. (100 LBS./ 1,000 S.F.)
2	83% TALL FESCUE 2% WEEPING LOVEGRASS 15% SERECIA LESPEDEZA	110	3/1-5/15 5/16-8/14 8/15-11/15	---				
3	17% WEEPING LOVEGRASS 83% SERECIA LESPEDEZA	4	3/1-5/15 5/16-8/14	---				

HOWARD SOIL CONSERVATION DISTRICT STANDARD SEDIMENT CONTROL NOTES

1. A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION, PRIOR TO THE START OF ANY CONSTRUCTION. (313-1855)

2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", AND REVISIONS THERETO.

3. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERMETER SLOPES AND ALL SLOPES STEEPER THAN 3:1, B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.

4. ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THE PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 7 OF "HOWARD COUNTY DESIGN MANUAL", STORM DRAINAGE.

5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" FOR PERMANENT SEEDING, SOD, TEMPORARY SEEDING, AND MULCHING (SEC. C) TEMPORARY STABILIZATION WITH MULCH ALONE SHALL ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.

6. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMITSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

7. SITE ANALYSIS:

PARCEL AREA - 61,687 S.F. OR 1.42 AC.
AREA DISTURBED - 53,164 S.F. OR 1.22 AC.
TOTAL CUT - 1,174 YDS.
TOTAL FILL - 1,605 YDS.

OFFSITE WASTE/BORROW LOCATION - ALL OFFSITE BORROW SHALL COME FROM A SITE WITH AN APPROVED GRADING PERMIT.

8. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.

9. ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

10. ON ALL SITES WITH DISTURBED AREAS EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL INITIAL APPROVAL BY THE IA.

THIN ONE WORKING DAY, WHICHEVER IS SHORTER.

STANDARDS SEDIMENT CONTROL PLAN NOTES FOR UTILITIES

1. ONLY ENOUGH TRENCH WILL BE EXCAVATED THAT CAN BE BACKFILLED DAILY.

2. EXCAVATED TRENCH MATERIALS SHALL BE PLACED ON THE HIGH SIDE OF THE TRENCH.

3. IMMEDIATELY FOLLOWING PIPE INSTALLATION, THE TRENCH SHALL BE BACKFILLED, COMPACTED AND STABILIZED AT THE END OF EACH WORKING DAY.

4. FULL TRENCH COMPACTION IS REQUIRED.

5. MULCHING TO HOWARD SCD SPECIFICATIONS OF ALL DISTURBED AREAS AND DAILY ON BACKFILL WILL BE REQUIRED.

6. SUPER SILT FENCE OR STRAW BALE DIKES SHALL BE INSTALLED TEMPORARILY IMMEDIATELY DOWNSTREAM OF ANY DISTURBED AREA INTENDED TO REMAIN DISTURBED LONGER THAN ONE (1) WORKING DAY.

7. STAGING AREAS FOR EQUIPMENT AND SUPPLIES SHALL BE PROTECTED WITH SILT FENCE.

8. ANY SEDIMENT CONTROL PRACTICES WHICH ARE DISTURBED DURING UTILITY CONSTRUCTION SHALL BE REPAIRED OR REPLACED AT THE END OF EACH WORKING DAY.

9. ANY DITCHES OR DRAINAGE WAYS DISTURBED DURING CONSTRUCTION WILL BE RESTORED TO ORIGINAL CONDITION.

TEMPORARY SEEDING SUMMARY

NO.	SPECIES	SEED MIXTURE (HARDNESS ZONE 6b) (FROM TABLE 26)		SEEDING DATES	SEEDING DEPTHS	FERTILIZER RATE (10-10-10)	LIME RATE
		APPLICATION RATE (LBS./AC.)	SEEDING DATES				
1	RYE PLUS BARLEY	150	YEAR ROUND	1"		600 LBS./AC. (15 LB./ 1,000 S.F.)	2 TONS/AC. (100 LB./ 1,000 S.F.)
2	WEEPING LOVEGRASS	4	5/1-8/14	1/4"=1/2"			
3	ANNUAL RYGRASS	50	8/15-11/15	1/4"=1/2"			

ADDRESS CHART

LOT/PARCEL #	STREET ADDRESS
LOTS A-4 / PARCEL 652	7878 POCOMOKE AVENUE

PERMIT INFORMATION CHART

SUBDIVISION NAME GBOW FOOD MARKET	SECTION/AREA SECTION 1	LOT/PARCEL NO. A-4 PARCEL 652
PLAT RECORDED 20541	GRID 9	ZONING M-2
TAX MAP NO. 692-D-W	ELECT. DISTR 6TH	CENSUS TRACT 608901
SEWER CODE 692-D-W	SEWER CODE 692-D-W	

GENERAL NOTES

A. THE DEVELOPER IS RESPONSIBLE FOR THE ACQUISITION OF ALL REQUIRED EASEMENTS, RIGHT AND/OR RIGHTS-OF-WAY PURSUANT TO THE DISCHARGE FROM THE SEDIMENT AND EROSION CONTROL PRACTICES, STORMWATER MANAGEMENT PRACTICES AND THE DISCHARGE OF STORMWATER ONTO OR ACROSS AND GRADING OR OTHER WORK TO BE PERFORMED ON ADJACENT OR DOWNSTREAM PROPERTIES AFFECTED BY THIS PLAN.

B. FOLLOWING INITIAL SOIL DISTURBANCES OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
A) SEVEN (7) CALENDAR DAYS AS TO THE SURFACE OF ALL PERMETER CONTROLS, DIKES, SWALES, DITCHES, PERMETER SLOPES, AND ALL SLOPES GREATER THAN THREE HORIZONTAL TO ONE VERTICAL (3:1) AND B) 14 DAYS FOR ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE. THE IN-PLACE SEDIMENT CONTROL MEASURES WILL BE MAINTAINED ON A CONTINUING BASIS UNTIL THE SITE IS PERMANENTLY STABILIZED AND ALL PERMIT REQUIREMENTS ARE MET.

C. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF TWO (2) ACRES, APPROVAL OF THE INSPECTION AGENCY IS REQUESTED UPON COMPLETION OF INSTALLATION OF PERMETER EROSION AND SEDIMENT CONTROLS BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCES OR GRADING. OTHER GRADING OR GRADING INSPECTION APPROVALS WILL NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.

D. APPROVAL SHALL BE REQUESTED UPON FINAL STABILIZATION OF ALL SITES WITH DISTURBED AREAS IN EXCESS OF TWO (2) ACRES BEFORE REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES.

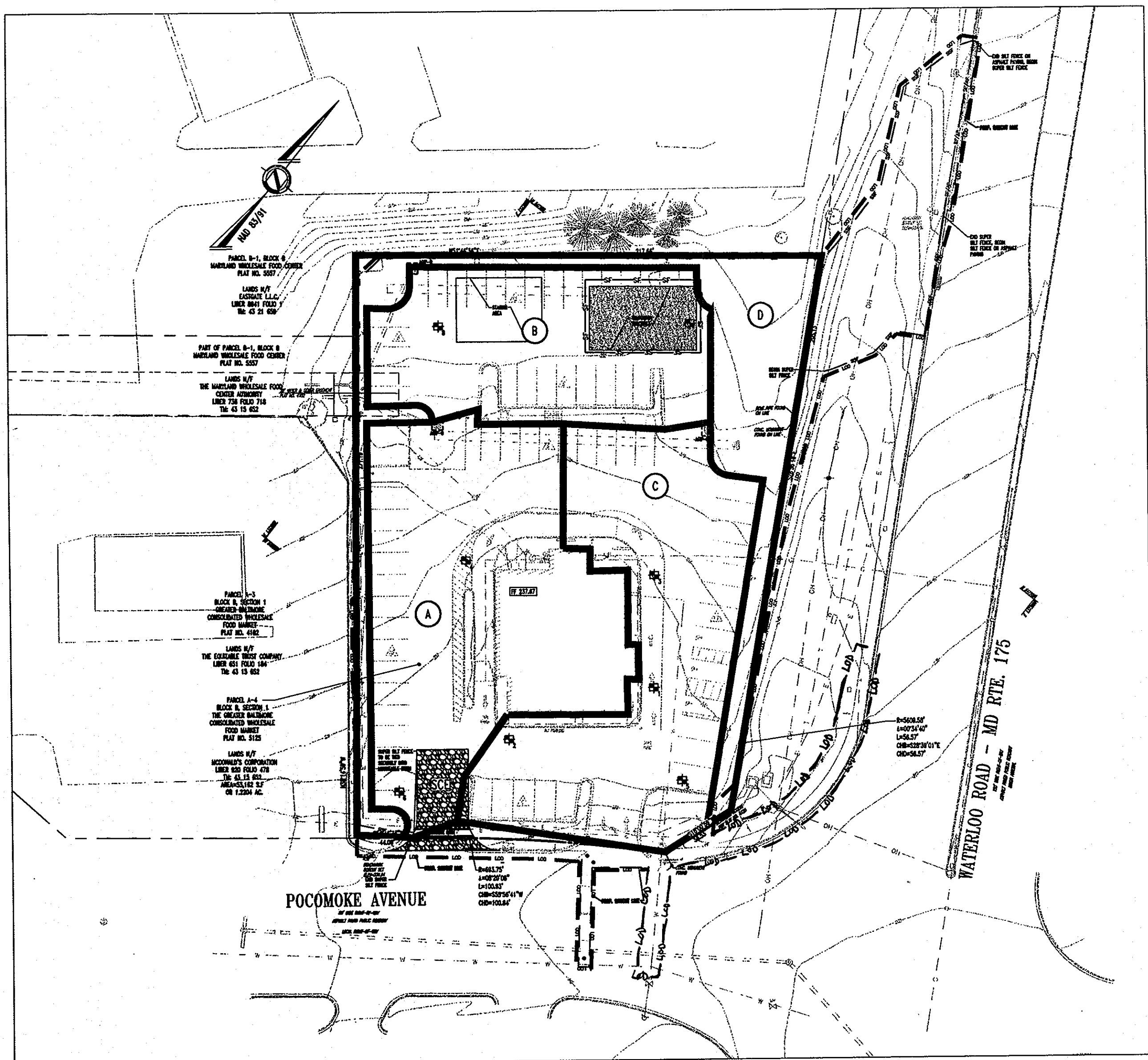
ENGINEER'S CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

DATE: 4/2/09
SIGNATURE: Matthew T. Allen P.E.

DEVELOPER'S CERTIFICATE

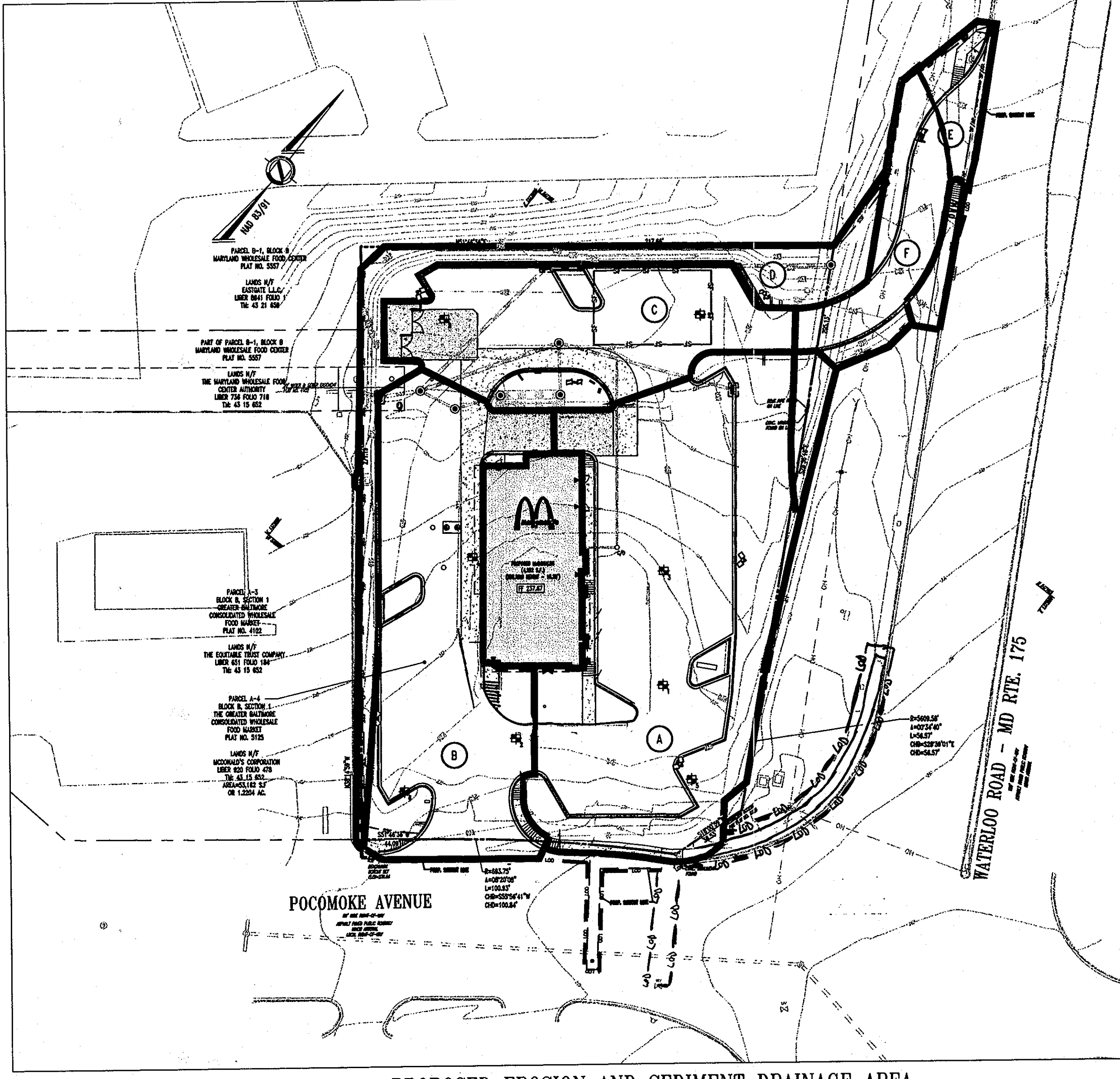
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT



EXISTING EROSION AND SEDIMENT DRAINAGE AREA

SCALE: 1"=40'

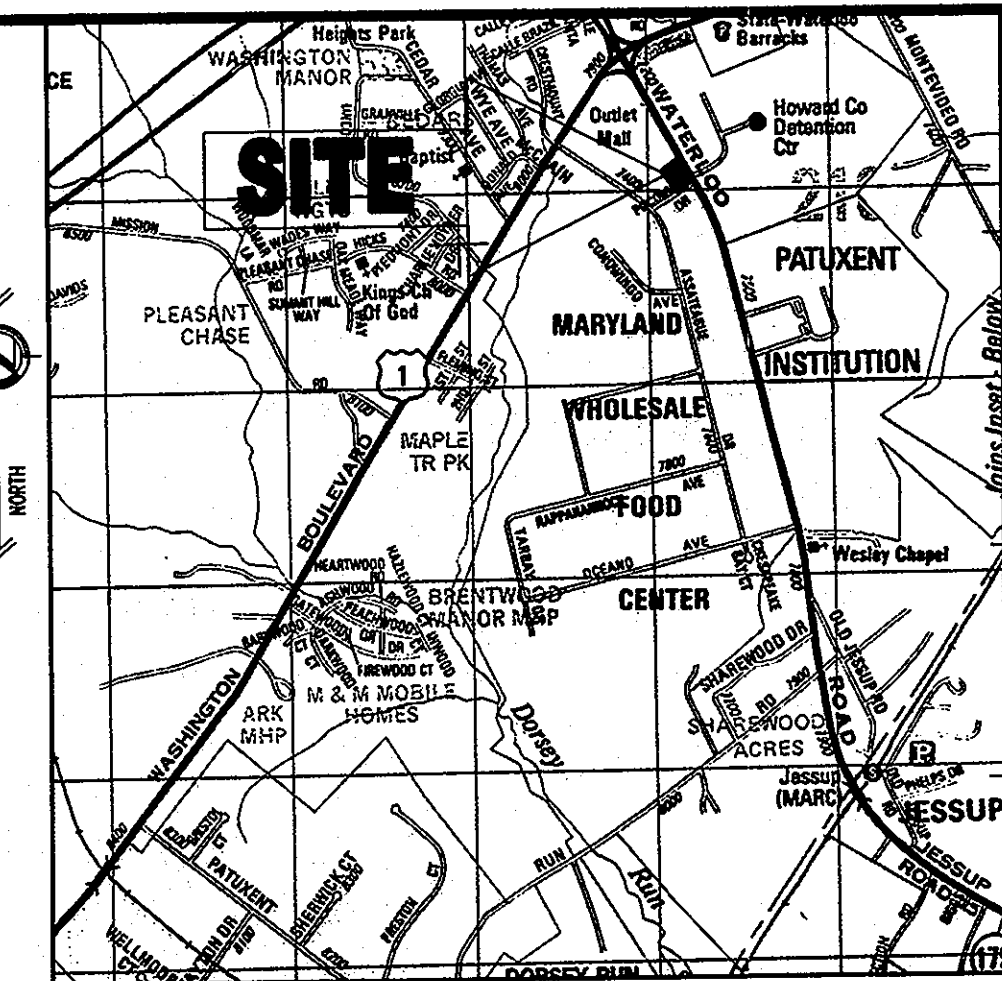
- A** IMPERVIOUS AREA = 12,450 S.F. OR 0.29 AC.
PERVIOUS AREA = 824 S.F. OR 0.02 AC.
TOTAL AREA TO AGIP-B = 13,274 S.F. OR 0.31 AC.
- B** IMPERVIOUS AREA = 10,600 S.F. OR 0.24 AC.
PERVIOUS AREA = 1,250 S.F. OR 0.03 AC.
TOTAL AREA TO AGIP-B = 11,850 S.F. OR 0.27 AC.
- C** IMPERVIOUS AREA = 14,774 S.F. OR 0.34 AC.
PERVIOUS AREA = 3,000 S.F. OR 0.07 AC.
TOTAL AREA TO AGIP-B = 17,774 S.F. OR 0.41 AC.
- D** IMPERVIOUS AREA = 0 S.F. OR 0 AC.
PERVIOUS AREA = 9,756 S.F. OR 0.23 AC.
TOTAL AREA TO SSF = 9,756 S.F. OR 0.23 AC.



PROPOSED EROSION AND SEDIMENT DRAINAGE AREA

SCALE: 1"=40'

- A** IMPERVIOUS AREA = 16,416 S.F. OR 0.38 AC.
PERVIOUS AREA = 12,158 S.F. OR 0.28 AC.
TOTAL AREA TO SIP-B = 28,574 S.F. OR 0.66 AC.
- B** IMPERVIOUS AREA = 11,456 S.F. OR 0.26 AC.
PERVIOUS AREA = 2,304 S.F. OR 0.06 AC.
TOTAL AREA TO SIP-B = 13,760 S.F. OR 0.32 AC.
- C** IMPERVIOUS AREA = 8,640 S.F. OR 0.20 AC.
PERVIOUS AREA = 234 S.F. OR 0.01 AC.
TOTAL AREA TO SIP = 8,874 S.F. OR 0.21 AC.
- D** IMPERVIOUS AREA = 0 S.F. OR 0 AC.
PERVIOUS AREA = 6,644 S.F. OR 0.15 AC.
TOTAL AREA TO SSF = 6,644 S.F. OR 0.15 AC.
- E** IMPERVIOUS AREA = 849 S.F. OR 0.02 AC.
PERVIOUS AREA = 276 S.F. OR 0.01 AC.
TOTAL AREA TO SF/AP = 1,125 S.F. OR 0.03 AC.
- F** IMPERVIOUS AREA = 4920 S.F. OR 0.11 AC.
PERVIOUS AREA = 660 S.F. OR 0.02 AC.
TOTAL AREA TO SIP = 5580 S.F. OR 0.13 AC.



LOCATION MAP

COPYRIGHT 2003
DELOMEE STREET ATLAS 2004 PLUS USA
SCALE: 1"=200'



PROFESSIONAL CERTIFICATION

I, MATTHEW T. ALLEN, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 28567, EXPIRATION DATE: 4/16/09

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS
B. Wilson for Peter Bailewson 5/20/2009
COUNTY HEALTH OFFICER DATE
HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: DEPARTMENT OF PLANNING AND ZONING
John R. Robertson 5-4-9
CHIEF-DEVELOPMENT ENGINEERING DIVISION DATE
John E. Bailewson 6/23/09
CHIEF-DIVISION OF LAND DEVELOPMENT DATE
Thomas J. Swindle 6/23/09
DIRECTOR, DEP. DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
John R. Robertson 06/23/09
HOWARD SCD DATE

ENGINEER'S CERTIFICATE
"I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL IS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
Matthew T. Allen 5/16/09
ENGINEER DATE
MATTHEW T. ALLEN P.E.

DEVELOPER'S CERTIFICATE
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."
John E. Bailewson 5/16/09
BY: DATE
NAME: JOHN E. BAILEWSON
TITLE: CONSTRUCTION MANAGER

ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
LOTS A-4 / PARCEL 652	7878 POCOMOKE AVENUE

PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL NO. A-4	PARCEL 652
GCW FOOD MARKET	SECTION 1		
PLAT RECORDATION GRID#	ZONING	TAX MAP NO.	ELECT. DISTR.
20591	9	N-2	43
WATER CODE	SEWER CODE		
692-D-W	8694-B		

OWNERS: McDONALD'S CORPORATION
PO BOX 66207
AMF O'HARE AIRPORT
CHICAGO, IL 60688-0207
CONTACT: JOHN EDBERGER
PHONE: (240) 497-3850

DEVELOPER: McDONALD'S USA, LLC
BALTIMORE/WASHINGTON REGION
8903 ROCKLEDGE DRIVE, SUITE 100
BETHESDA, MD 20817
CONTACT: JOHN EDBERGER
PHONE: (240) 497-3850

McDONALD'S W/ NEW PARKING AND ENTRANCEWAYS
GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET
PARCEL A-4, BLOCK B
7878 POCOMOKE AVENUE, JESSUP, HOWARD COUNTY, MARYLAND 20794

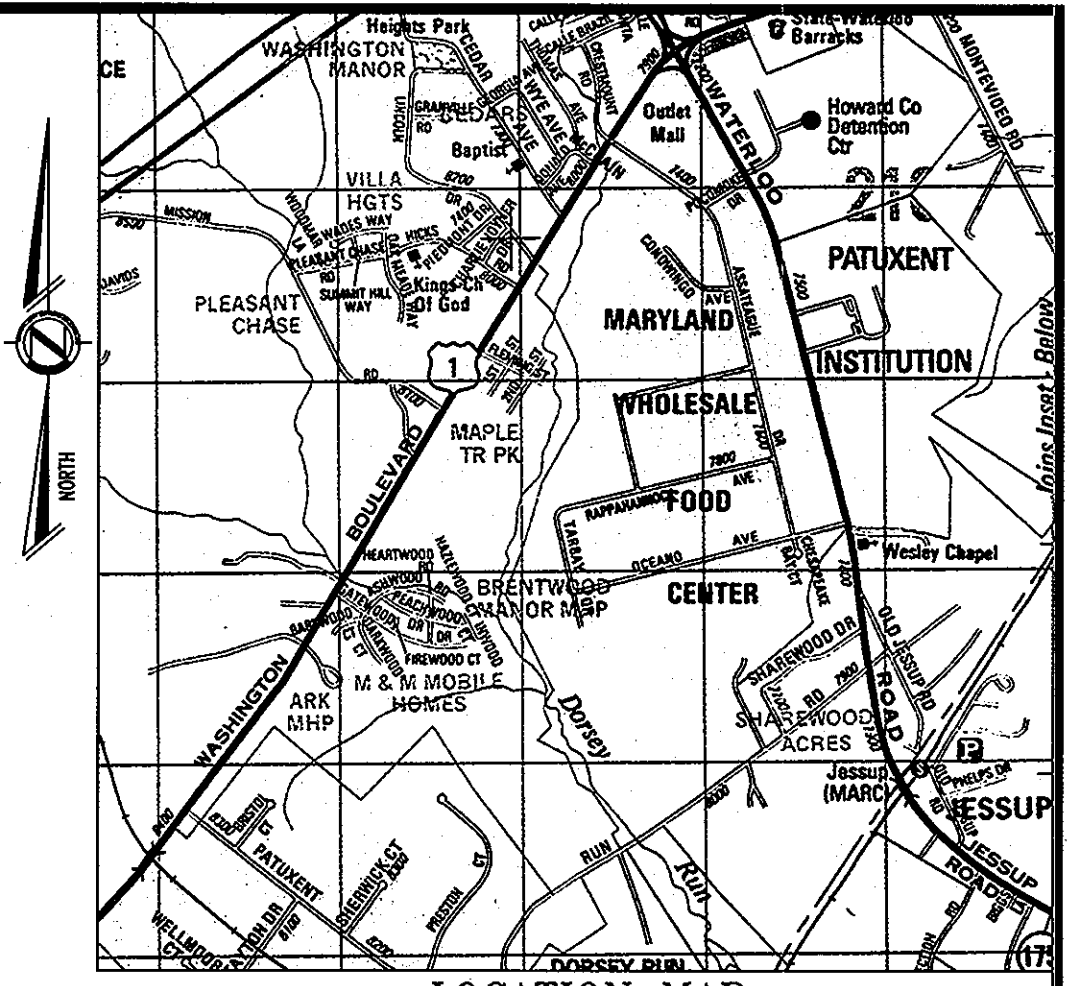
AREA 1.22 AC. TAX MAP 43 GRID 15 ZONED M-2
PARCEL A-4 L. 920, F. 478 AND L. 1091, F. 1
6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

EROSION AND SEDIMENT CONTROL DRAINAGE AREAS

BOHLER ENGINEERING
810 GLENEAGLES COURT
SUITE 300
TOWSON, MARYLAND 21286
PH: (410) 821-7900
FX: (410) 821-7987
www.bohlerengineering.com

DESIGNED BY: J.A.P.
DRAWN BY: R.F.G.
PROJECT NO.: MD075002
DATE: 08/29/08
SCALE: 1"=40'
DRAWING NO. 15 OF 30

GENERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR A PLEASIBLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.



LOCATION MAP
 COPYRIGHT 2003
 DELORME STREET PLUS 2004 PLUS USA
 SCALE: 1"=2000'

MISS UTILITY

BEFORE YOU CALL
811 IN MD
 or 1-800-257-7777
 PROTECT YOURSELF. GIVE TWO WORKING DAYS NOTICE.
 THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

PROFESSIONAL CERTIFICATION

I, MATTHEW T. ALLEN, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 28567, EXPIRATION DATE: 4/16/11

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS
Brian Peter Bsilawson 5/28/2009
 COUNTY HEALTH OFFICER 50 DATE 7/10
 HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chad Edwards 5-4-9
 CHIEF-DEVELOPMENT ENGINEERING DIVISION DATE
Collins 458 6/23/09
 CHIEF-DIVISION OF LAND DEVELOPMENT DATE
Thomas E. Rutler 6/23/09
 DIRECTOR, DEP. DATE

NO.	DATE	REVISION DESCRIPTION
1	7/12/09	Rev per SH&A&SO Comments

OWNERS: MCDONALD'S CORPORATION
 PO BOX 66207
 BALTIMORE WASHINGTON REGION
 AMF O'HARE AIRPORT
 CHICAGO, IL 60666-0207
 CONTACT: JOHN EIDBERGER
 PHONE: (240) 497-3650

DEVELOPER: MCDONALD'S USA, LLC
 BALTIMORE WASHINGTON REGION
 6903 ROCKLEDGE DRIVE, SUITE 100
 BETHESDA, MD 20817
 CONTACT: JOHN EIDBERGER
 PHONE: (240) 497-3650

MCDONALD'S W/ NEW PARKING AND ENTRANCEWAYS
 GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET
 PARCEL A-4, BLOCK B
 7878 POCOMOKE AVENUE, JESSUP, HOWARD COUNTY, MARYLAND 20794
 AREA 1.22 AC. TAX MAP 43 GRID 15 ZONED M-2
 PARCEL A-4 L 920, F. 478 AND L. 1091, F. 1
 6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

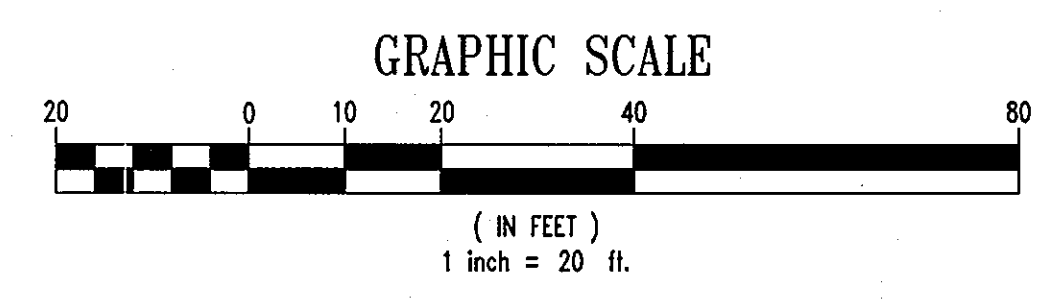
TITLE: PRE-DEVELOPMENT STORMWATER MANAGEMENT DRAINAGE AREAS

BOHLER ENGINEERING
 810 GLENLEAGUES COURT
 SUITE 300
 TOWSON, MARYLAND 21286
 PH: (410) 821-7900
 FX: (410) 821-7987
 www.bohlerengineering.com

DESIGNED BY: J.A.P.
 DRAWN BY: R.F.G.
 PROJECT NO.: MD075002
 DATE: 08/29/08
 SCALE: 1"=20'
 DRAWING NO. 16 OF 30

TOTAL DRAINAGE AREA = 61,855 S.F. OR 1.42 AC.
 IMPERVIOUS AREA = 36,590 S.F. OR 0.84 AC.
 PERVIOUS AREA = 25,265 S.F. OR 0.58 AC.

NOTE: ALL Tc PATHS HAVE BEEN CALCULATED TO BE LESS THEN 0.10 HOURS; THEREFORE A Tc TIME OF 0.10 HOURS HAS BEEN USED FOR ALL DRAINAGE CALCULATIONS.

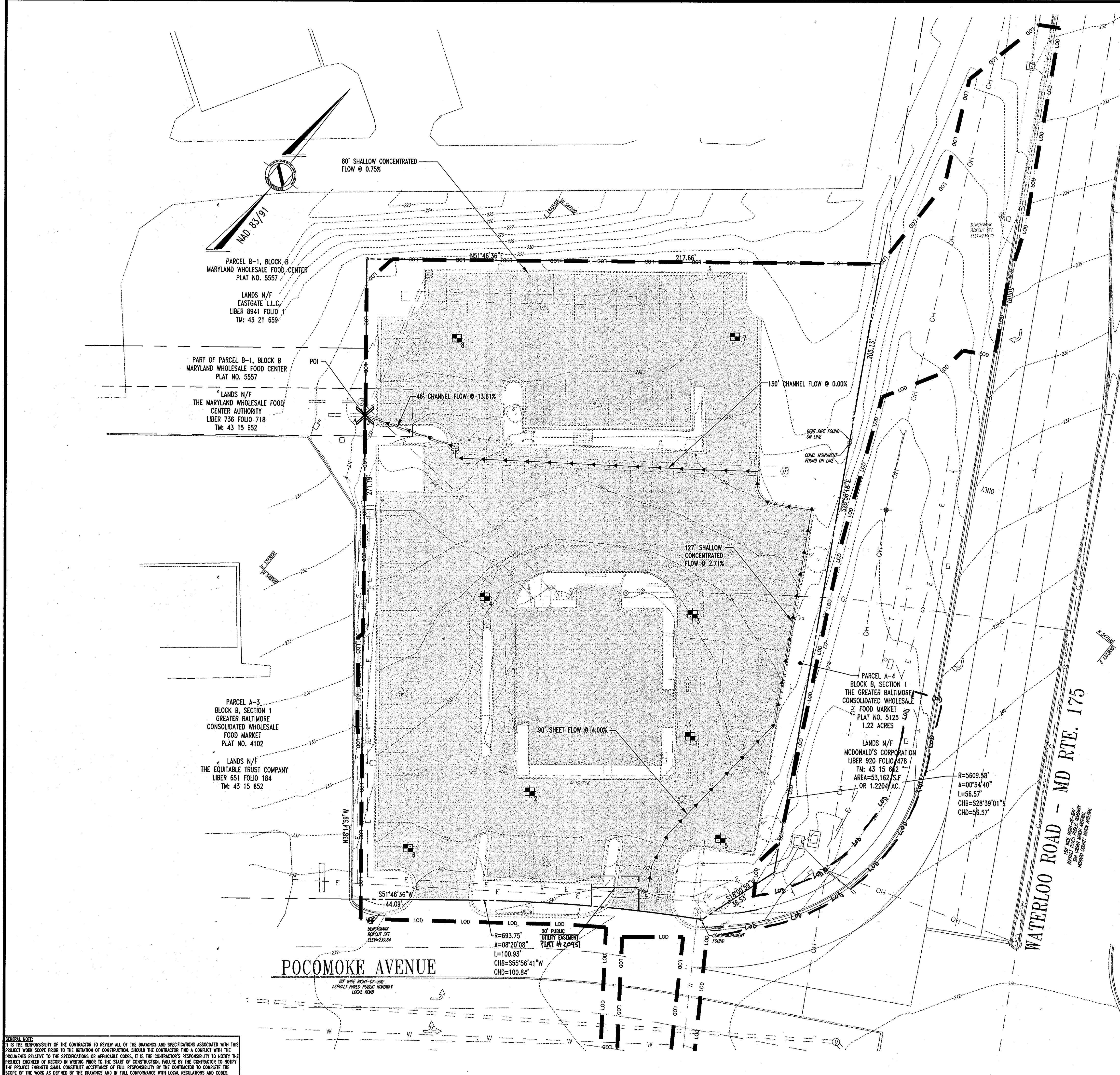


DRAINAGE AREA MAP LEGEND:

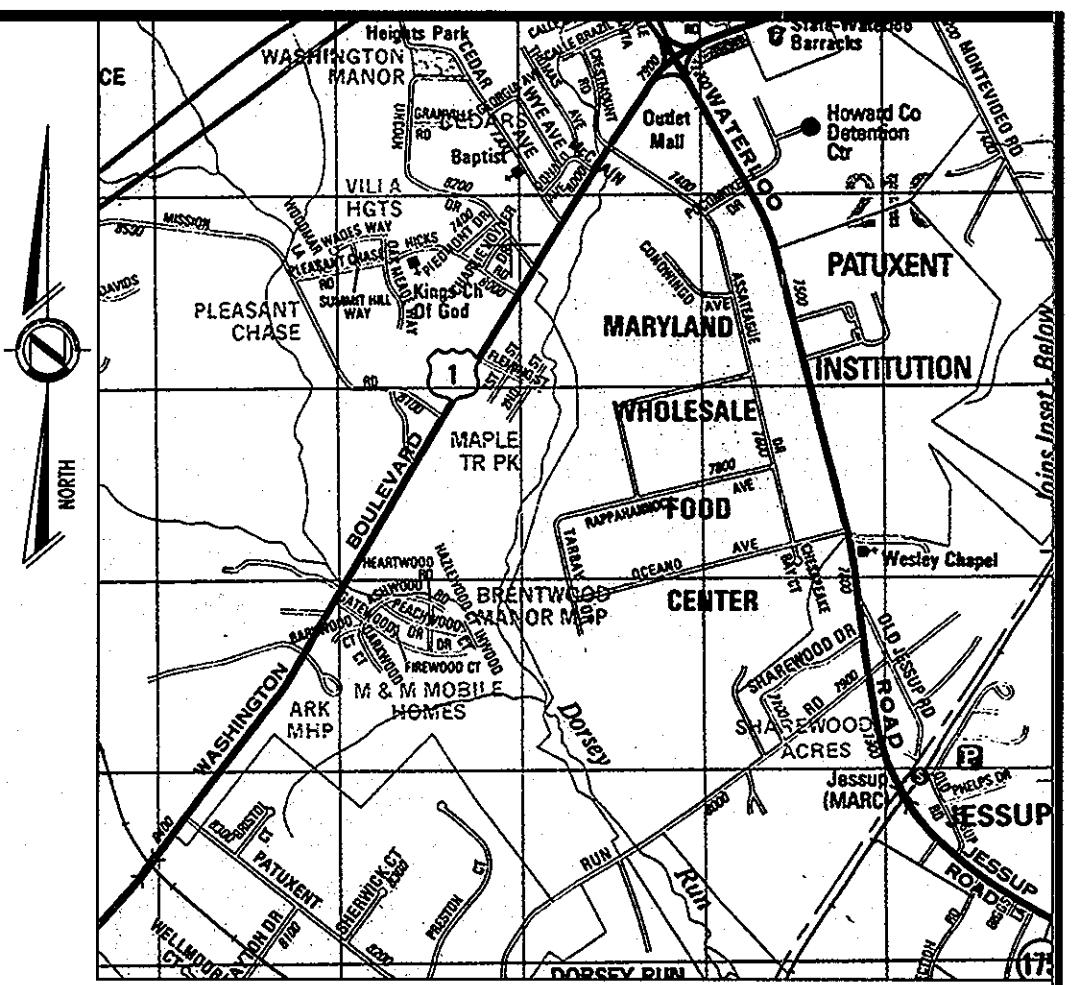
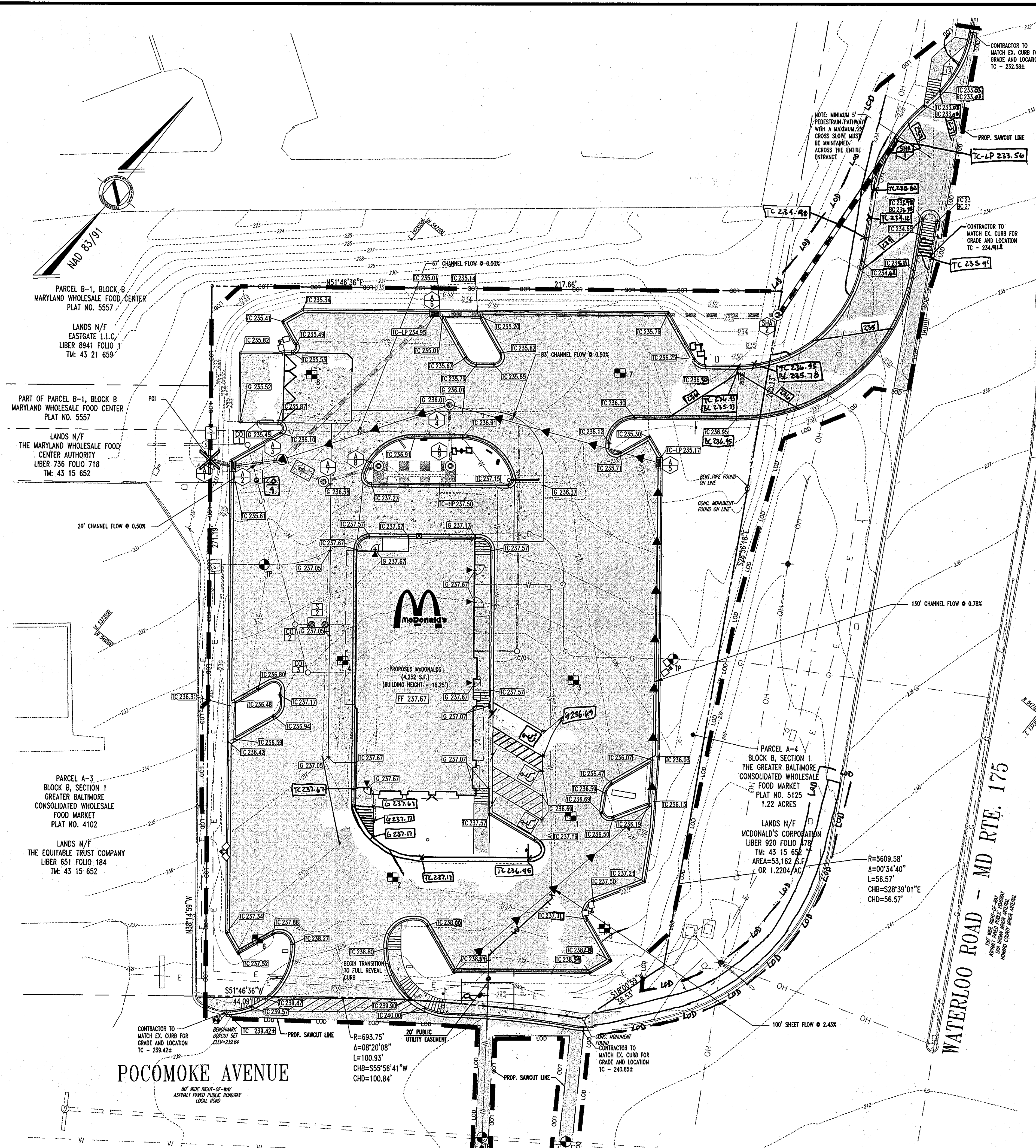
- TC PATH
- POI * POINT OF INTEREST
- IMPERVIOUS AREA

ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
LOTS A-4 / PARCEL 652	7878 POCOMOKE AVENUE

PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL NO. A-4	
GCW FOOD MARKET	SECTION 1	PARCEL 652	
PLAT RECORDATION GRID#	ZONING	TAX MAP NO.	ELECT. DISTR.
20591	M-2	43	6TH
WATER CODE	SEWER CODE	CENSUS TRACT	
692-D-W	B694-B	606901	



GENERAL NOTE:
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEPICTED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.



LOCATION MAP
 COPYRIGHT 2003
 DELORME STREET ATLAS 2004 PLUS USA
 SCALE: 1"=2000'

PARCEL B-1, BLOCK B
 MARYLAND WHOLESALE FOOD CENTER
 PLAT NO. 5557

LANDS N/F
 EASTGATE L.L.C.
 LIBER 8941 FOLIO 1
 TM: 43 21 659'

PART OF PARCEL B-1, BLOCK B
 MARYLAND WHOLESALE FOOD CENTER
 PLAT NO. 5557

LANDS N/F
 THE MARYLAND WHOLESALE FOOD
 CENTER AUTHORITY
 LIBER 736 FOLIO 718
 TM: 43 15 652

PARCEL A-3
 BLOCK B, SECTION 1
 GREATER BALTIMORE
 CONSOLIDATED WHOLESALE
 FOOD MARKET
 PLAT NO. 4102

LANDS N/F
 THE EQUITABLE TRUST COMPANY
 LIBER 651 FOLIO 184
 TM: 43 15 652

PARCEL A-4
 BLOCK B, SECTION 1
 THE GREATER BALTIMORE
 CONSOLIDATED WHOLESALE
 FOOD MARKET
 PLAT NO. 5125
 1.22 ACRES

LANDS N/F
 MCDONALD'S CORPORATION
 LIBER 920 FOLIO 478
 TM: 43 15 652
 AREA=53,162 S.F.
 OR 1.2204 AC

MISS UTILITY

BEFORE YOU DIG CALL
811 IN MD
 or 1-800-257-7777
 PROTECT YOURSELF. GIVE TWO
 WORKING DAYS NOTICE.
 THE CONTRACTOR TO CALL HAS OBLIGATION TO
 HAVE ALL EXISTING UTILITIES MARKED 48
 HOURS PRIOR TO ANY CONSTRUCTION.

PROFESSIONAL CERTIFICATION

I, MATTHEW T. ALLEN, HEREBY CERTIFY THAT THESE DOCUMENTS WERE
 PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED
 PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND,
 LICENSE NO. 28567, EXPIRATION DATE: 4/16/11

APPROVED: FOR PUBLIC WATER
 AND PUBLIC SEWAGE SYSTEMS

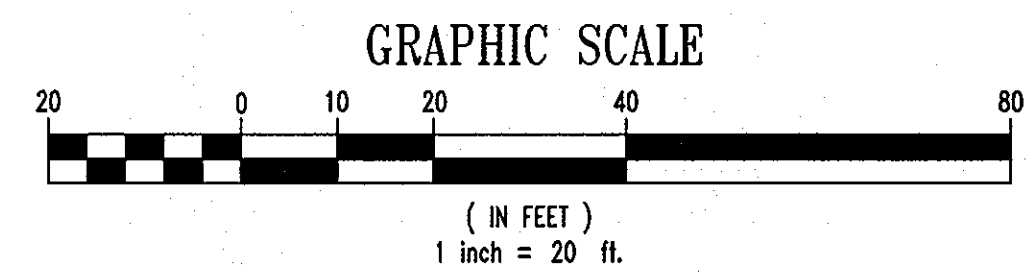
B. N. Wilson for Peter Bilalwan 5/20/2008
 COUNTY HEALTH OFFICER 50 DATE 7/9/08
 HOWARD COUNTY HEALTH DEPARTMENT

NOTE: ALL Tc PATHS HAVE BEEN CALCULATED TO BE LESS
 THEN 0.10 HOURS; THEREFORE A Tc TIME OF 0.10 HOURS
 HAS BEEN USED FOR ALL DRAINAGE CALCULATIONS.

TOTAL DRAINAGE AREA = 61,855 S.F. OR 1.42 AC.
 IMPERVIOUS AREA = 46,609 S.F. OR 1.07 AC.
 PERVIOUS AREA = 15,246 S.F. OR 0.35 AC.

DRAINAGE AREA MAP LEGEND:

- TC PATH
- POI * POINT OF INTEREST
- IMPERVIOUS AREA



ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
LOTS A-4 / PARCEL 652	7878 POCOMOKE AVENUE

PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL NO. A-4	
GBOW FOOD MARKET	SECTION 1	PARCEL 652	
PLAT RECORDATION GRID#	ZONING	TAX MAP NO.	ELECT. DISTR
20571	9 M-2	43	61H
WATER CODE	SEWER CODE	CENSUS TRACT	
692-D-W	B694-B	606901	

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chad Edwards 5/4/08
 CHIEF-DEVELOPMENT ENGINEERING DIVISION DATE

Chad Edwards 6/23/08
 CHIEF-DIVISION OF LAND DEVELOPMENT DATE

Thomas J. Swick 6/23/08
 DIRECTOR, DEP. DATE

NO.	DATE	REVISION DESCRIPTION
1	7/23/09	Rev Per SHA AND COM-313

OWNERS:
 MCDONALD'S CORPORATION
 PO BOX 66207
 ANF O'HARE AIRPORT
 CHICAGO, IL 60666-0207
 CONTACT: JOHN EDBERGER
 PHONE: (240) 497-3850

DEVELOPER:
 MCDONALD'S USA, LLC
 BALTIMORE/WASHINGTON REGION
 6903 ROCKLEDGE DRIVE, SUITE 100
 BETHESDA, MD 20817
 CONTACT: JOHN EDBERGER
 PHONE: (240) 497-3850

MCDONALD'S W/ NEW PARKING AND ENTRANCEWAYS
 GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET
 PARCEL A-4, BLOCK B
 7878 POCOMOKE AVENUE, JESSUP, HOWARD COUNTY, MARYLAND 20794

AREA 1.22 AC. TAX MAP 43 GRID 15 ZONED M-2
 PARCEL A-4 L 920, F. 478 AND L 1091, F. 1
 6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

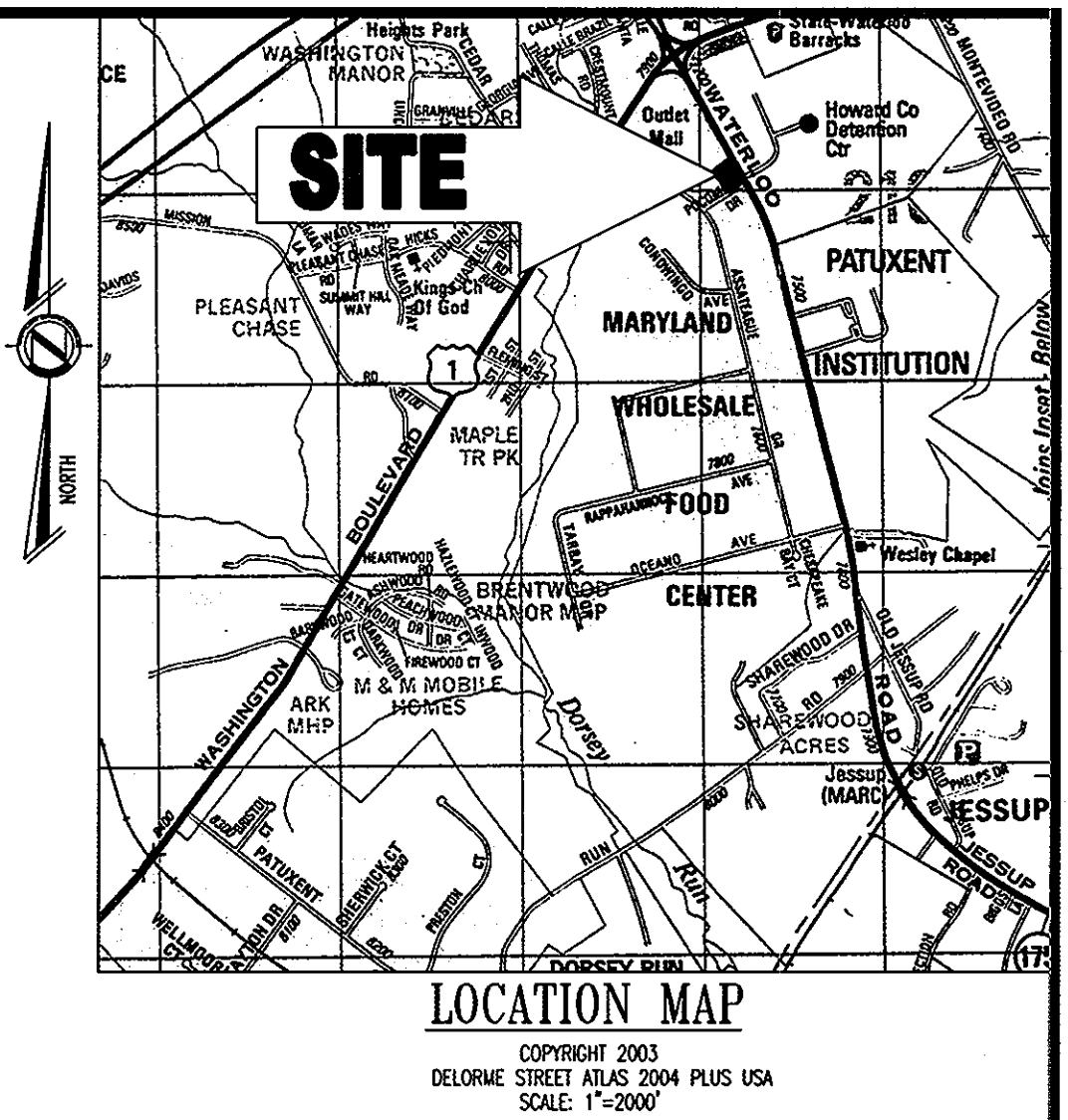
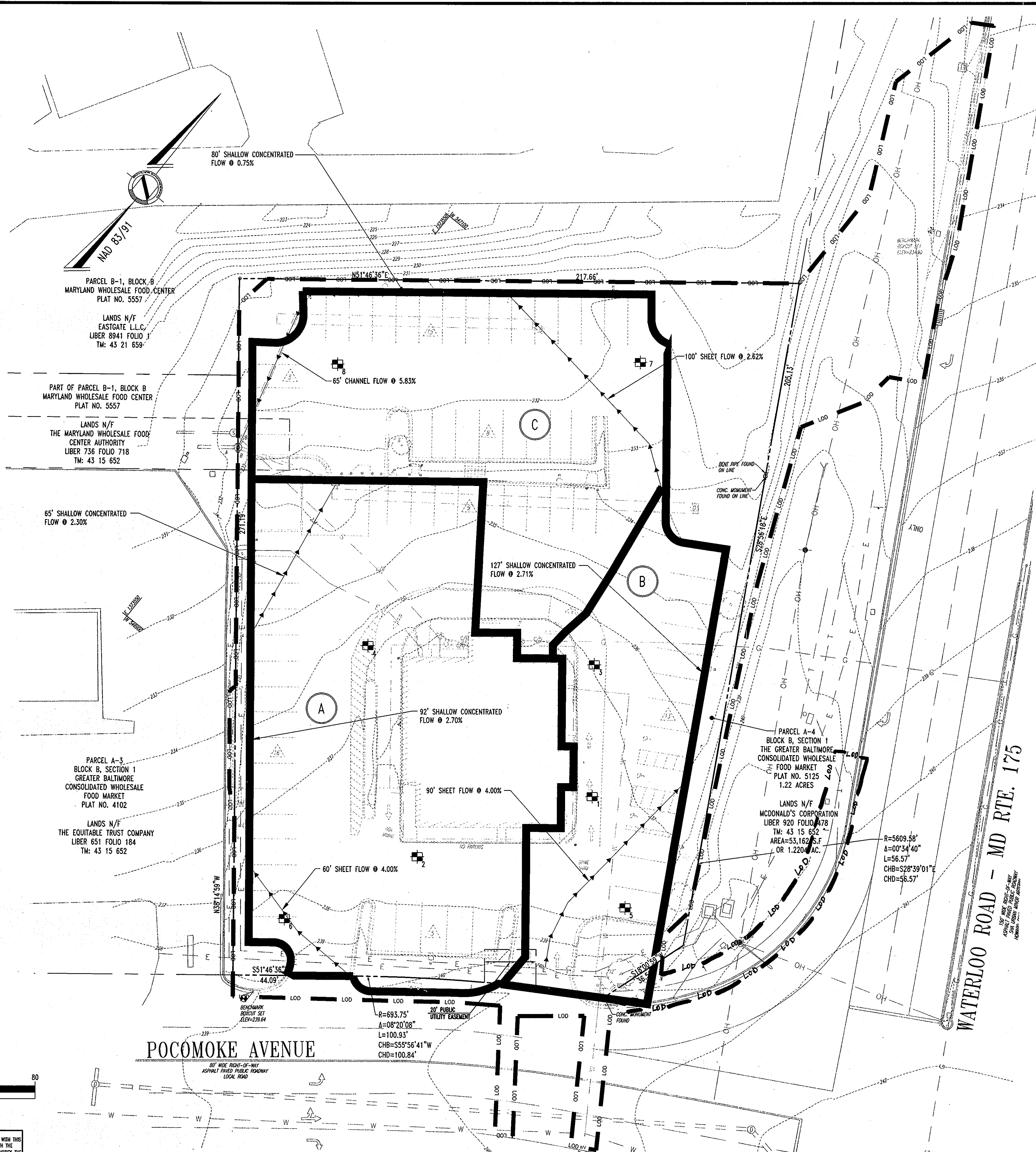
TITLE
 POST-DEVELOPMENT STORMWATER
 MANAGEMENT DRAINAGE AREAS



810 GLENEAGLES COURT
 SUITE 300
 TOWSON, MARYLAND 21286
 PH: (410) 821-7900
 FX: (410) 821-7987
 www.bohlerengineering.com

DESIGNED BY: J.A.P.
 DRAWN BY: R.F.G.
 PROJECT NO.: MD075002
 DATE: 08/29/08
 SCALE: 1"=20'
 DRAWING NO. 17 OF 30

GENERAL NOTE:
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 THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE
 SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.



SOIL CLASSIFICATION
UD - UDORTHENTS - URBAN LAND COMPLEX

A IMPERVIOUS AREA = 19,549 S.F. OR 0.45 AC.
PERVIOUS AREA = 1,051 S.F. OR 0.02 AC.
TOTAL AREA = 20,600 S.F. OR 0.47 AC.
'C' FACTOR = 0.83

B IMPERVIOUS AREA = 8,680 S.F. OR 0.20 AC.
PERVIOUS AREA = 500 S.F. OR 0.01 AC.
TOTAL AREA = 9,180 S.F. OR 0.21 AC.
'C' FACTOR = 0.82

C IMPERVIOUS AREA = 15,987 S.F. OR 0.32 AC.
PERVIOUS AREA = 831 S.F. OR 0.02 AC.
TOTAL AREA = 14,818 S.F. OR 0.35 AC.
'C' FACTOR = 0.82

MISS UTILITY

BEFORE YOU OR CALL
811 IN MD
OR **1-800-257-7777**
PROTECT YOURSELF. GIVE TWO WORKING DAYS NOTICE.
THE CONTRACTOR OR CALL MISS UTILITY TO PRE-ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

PROFESSIONAL CERTIFICATION

I, MATTHEW T. ALLEN, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 28567, EXPIRATION DATE: 4/16/11

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS

Matthew T. Allen 5/25/2009
COUNTY HEALTH OFFICER DATE
HOWARD COUNTY HEALTH DEPARTMENT 50 1798

DRAINAGE AREA MAP LEGEND:

— DRAINAGE DIVIDE

→ TC PATH

(A) DRAINAGE AREA

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Charles Edmond 5-4-09
CHIEF-DEVELOPMENT ENGINEERING DIVISION DATE

Colleen 48 6/23/09
CHIEF-DIVISION OF LAND DEVELOPMENT DATE

Thomas J. Patten 6/23/09
DIRECTOR, DEP. DATE

NO.	DATE	REVISION DESCRIPTION
1	7/23/09	REV PER SHA & ADD COMMENTS

OWNERS: MCDONALD'S CORPORATION
PO BOX 65207
CHICAGO, IL 60686-0207
CONTACT: JOHN EIDBERGER
PHONE: (240) 497-3650

DEVELOPER: MCDONALD'S USA, LLC
BALTIMORE/WASHINGTON REGION
6803 ROCKLEDGE DRIVE, SUITE 100
BETHESDA, MD 20817
CONTACT: JOHN EIDBERGER
PHONE: (240) 497-3650

MCDONALD'S W/ NEW PARKING AND ENTRANCEWAYS
GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET
PARCEL A-4, BLOCK B
7878 POCOMOQUE AVENUE, JESSUP, HOWARD COUNTY, MARYLAND 20794

AREA 1.22 AC. TAX MAP 43 GRID 15 ZONED M-2
PARCEL A-4 L. 920, F. 478 AND L. 1091, F. 1
6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE: PRE-DEVELOPMENT STORMDRAIN DRAINAGE AREAS



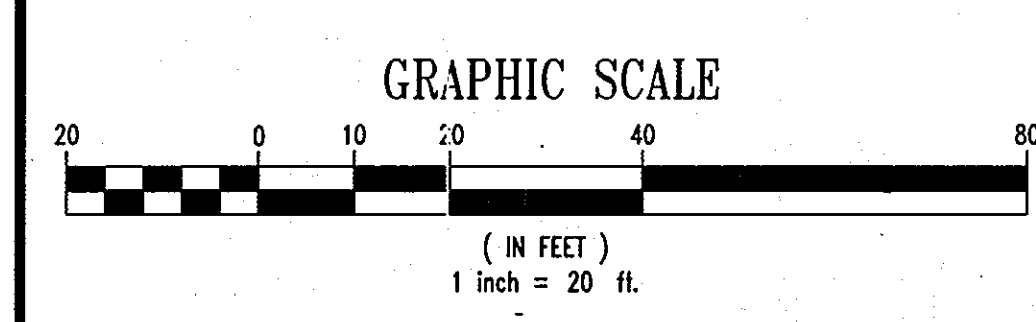
810 GLENEAGLES COURT
SUITE 300
TOWSON, MARYLAND 21286
PH: (410) 821-7900
FX: (410) 821-7987
www.bohlerengineering.com

ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
LOTS A-4 / PARCEL 652	7878 POCOMOQUE AVENUE

PERMIT INFORMATION CHART				
SUBDIVISION NAME	GRID	ZONING	TAX MAP NO.	SECTION 1
OSOW FOOD MARKET	9	M-2	43	6TH
LOT/PARCEL NO. A-4	PARCEL 652	ELECT. DIST.	CENSUS TRACT	
20541		6TH	608901	
WATER CODE	692-D-W	SEWER CODE	B694-B	

DESIGNED BY: J.A.P.
DRAWN BY: R.F.G.
PROJECT NO.: MD075002
DATE: 08/29/08
SCALE: 1"=20'
DRAWING NO. 18 OF 30

PROFESSIONAL ENGINEER NO. 28567



GENERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

Operation and Maintenance

The Stormwater Management StormFilter®

Vault, Cast-In-Place, and Linear Units

Important: These guidelines should be used as a part of your site stormwater management plan.

Description

The Stormwater Management StormFilter® (StormFilter) is a passive, flow-through, stormwater filtration system. The system is comprised of one or more vaults that house rechargeable, media-filled, filter cartridges. The StormFilter works by passing stormwater through the media-filled cartridges, which trap particulates and adsorb materials such as dissolved metals and hydrocarbons. Once filtered through the media, the treated stormwater is directed to a collection pipe or discharged into an open channel drainage way.

The StormFilter is offered in multiple configurations, including vault, catch basin, manhole, and cast-in-place. The vault, linear, manhole, and catch basin models utilize pre-manufactured units to ease the design and installation processes. The cast-in-place units are customized for larger flows and may be either covered or uncovered underground units.

Purpose

The StormFilter is a passive, flow-through, stormwater filtration system designed to improve the quality of stormwater runoff from the urban environment before it enters receiving waterways. It is intended to function as a Best Management Practice (BMP) to meet federal, state, and local requirements for treating runoff in compliance with the Clean Water Act.

Through independent third party studies, it has been demonstrated that the StormFilter is highly effective for treatment of first flush flows and for treatment of flow-spaced flows during the latter part of a storm. In general, the StormFilter's efficiency is highest when pollutant concentrations are highest. The primary non-point source pollutants targeted for removal by the StormFilter are: suspended solids (TSS), oil and grease, soluble metals, nutrients, organics, and trash and debris.

Sizing

The StormFilter is sized to treat the peak flow of a water quality design storm. The peak flow is determined from calculations based on the contributing watershed hydrology and from a design storm magnitude set by the local stormwater management agency. The particular size of a StormFilter unit is determined by the number of filter cartridges (see Figure 1) required to treat this peak flow.

The flow rate through each filter cartridge is adjustable, allowing control over the amount of contact time between the influent and the filter media. The maximum flow rate through each cartridge can be adjusted to between 5 and 15 gpm using a calibrated restrictor disc at the base of each filter cartridge. Adjustments to the cartridge flow rate will affect the number of cartridges required to treat the peak flow.

Basic Function

The StormFilter is designed to siphon stormwater runoff through a filter cartridge containing media. A variety of filter media is available and can be customized for each site to target and remove the desired levels of sediments, dissolved phosphorus, dissolved metals, organics, and oil and grease. In many cases, a combination of media is recommended to maximize the

effectiveness of the stormwater pollutant removal.

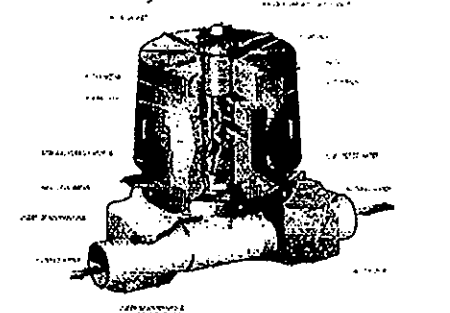


Figure 1. The StormFilter Cartridge

Priming System Function

When stormwater in the StormFilter unit enters a StormFilter cartridge, it percolates horizontally through the cartridge's filter media and collects in the center tube of the cartridge, where the float in the cartridge is in a closed (downward) position.

Water continues to pass through the filter media and into the cartridge's center tube. The air in the cartridge is displaced by the water and pumped from beneath the filter hood through the one-way check valve located in the cap. Once the center tube is filled with water (approximately 18 inches deep), there is enough buoyant force on the float to open the float valve and allow the treated water in the center tube to flow into the under-drain manifold. This causes the

check valve to close, initiating a siphon that draws polluted water throughout the full surface area and volume of the filter. Thus, the entire filter cartridge is used to filter water throughout the duration of the storm, regardless of the water surface elevation in the unit. This siphon continues until the water surface elevation drops to the elevation of the hood's scrubbing regulators.

The cartridges are connected to the under-drain manifold with a plastic connector. Since some media used is potentially buoyant, a threaded connector attached to the under-drain manifold (with glue or other adhesive) is necessary to ensure that the cartridge isn't lifted out of place. For the heavier compost media, a slip connector is used.

The StormFilter is also equipped with flow spreaders that trap floating debris and surface films, even during overbank conditions. Depending on individual site characteristics, some systems are equipped with high and/or base flow bypasses. High flow bypasses are installed when the calculated peak storm event generates a flow that overcomes the overflow capacity of the system. This is especially important for precast systems. Base flow bypasses are sometimes installed to bypass continuous inflows caused by ground water seepage, which usually do not require treatment. All StormFilter units are designed with an overflow. The overflow operates when the inflow rate is greater than the treatment capacity of the filter cartridges.

Maintenance activities may be required in the event of a chemical spill or due to excessive sediment loading from site erosion or extreme storms. It is also good practice to inspect the system after severe storm events.

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Maintenance Guidelines

The primary purpose of the StormFilter is to filter out and prevent pollutants from entering our waterways. Like any effective filtration system, periodically these pollutants must be removed to restore the StormFilter to its full efficiency and effectiveness.

Maintenance requirements and frequency are dependent on the pollutant load characteristics of each site.

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Two scheduled inspections/maintenance activities should take place during the year. First, an inspection/minor maintenance activity should be done. During the minor maintenance activity (routine inspection, debris removal), the need for major maintenance should be determined and, if required, samples of the sediments and media should be obtained.

Second, if required, a major maintenance activity (replacement of the filter cartridges and associated sediment removal) should be performed.

Site conditions greatly influence maintenance requirements. StormFilter units located in areas with erosion or active construction should be inspected and maintained more often than those in fully stabilized areas.

The maintenance frequency may be adjusted as additional monitoring information becomes available during the inspection program. Areas that develop known problems should be inspected more frequently than areas that demonstrate no problems, particularly after large storms.

Ultimately, inspection and maintenance activities should be scheduled based on the historic records and characteristics of an individual StormFilter system. It is recommended that the maintenance agency develop a database to properly manage StormFilter maintenance programs.

Prior to the development of the maintenance database, the following maintenance frequencies should be followed:

Inspection/minor maintenance

- One time per year
- After Major Storms

Major maintenance

- One time per year
- In the event of a chemical spill

Frequencies should be updated as required.

A properly functioning system will remove solids from water by trapping particulates in the porous structure of the filter media. The flow through the system will naturally decrease as more and more solids are trapped. Eventually the flow through the system will be low or non-existent. The need for major maintenance should be determined and, if required, samples of the sediments and media should be obtained.

Second, if required, a major maintenance activity (replacement of the filter cartridges and associated sediment removal) should be performed.

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Prior to the development of the maintenance database, the following maintenance frequencies should be followed:

Inspection/minor maintenance

- One time per year
- After Major Storms

Major maintenance

- One time per year
- In the event of a chemical spill

Frequencies should be updated as required.

The recommended initial frequency for inspection/minor maintenance is two times per year for precast units. StormFilter units should be inspected after all major storms. Sediment removal and cartridge replacement on an annual basis is recommended until further knowledge is gained about a particular system.

Once an understanding of site characteristics has been established, maintenance may not be needed for one to two years, but inspection is warranted.

Site conditions greatly influence maintenance requirements. StormFilter units located in areas with erosion or active construction should be inspected and maintained more often than those in fully stabilized areas.

The maintenance frequency may be adjusted as additional monitoring information becomes available during the inspection program. Areas that develop known problems should be inspected more frequently than areas that demonstrate no problems, particularly after large storms.

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Inspection/minor maintenance

- One time per year
- After Major Storms

Major maintenance

- One time per year
- In the event of a chemical spill

Frequencies should be updated as required.

3. Open the doors to the vault and allow the system to air out for 5-10 minutes.

4. Without entering the vault, inspect the inside of the unit, including components.

5. Take notes about the external and internal condition of the vault.

6. Be sure to record the level of sediment build-up on the floor of the vault, in the forebay, and on top of the cartridges. If flow is occurring, note the level of water and estimate the flow rate per drainage pipe. Record all observations.

7. Close and fasten the door.

8. Remove loose debris and trash using a pole with a grapple or net on the end.

9. Close and fasten the door.

10. Finally, review the condition reports from the previous minor and major maintenance visits, and schedule cartridge replacement if needed.

6. Remove large loose debris and trash using a pole with a grapple or net on the end.

7. Close and fasten the door.

8. Remove loose debris and trash using a pole with a grapple or net on the end.

9. Using a boom, crane, or tripod, lower and install the new cartridges. Once again, take care not to damage connections.

10. Close and fasten the door.

11. Remove safety equipment.

12. Make notes about the local drainage area relative to ongoing construction, erosion problems, or high loading of other materials to the system.

13. Make notes about the external and internal condition of the vault.

14. Once the sediments are removed, assess the condition of the vault and the condition of the manifold and connectors. The connectors are short sections of 2-inch schedule 40 PVC or threaded schedule 80 PVC that should protrude above the floor of the vault.

15. Continue steps a through c until all cartridges have been removed.

16. Remove deposited sediment from the floor of the vault and, if large amounts are present from the forebay, this can usually be accomplished by shoveling the sediment into containers, which, once full, are lifted mechanically from the vault and placed onto the hauling truck. If Method 2 in Step 6 is used to empty the cartridges, or in cases of extreme sediment loading, a vector truck may be required.

17. Using a boom, crane, or other device (dolly and ramp), offload the replacement cartridges (up to 150 lbs. each) and set aside.

18. Remove used cartridges from the vault using one of the following methods:

1. If applicable, set up safety equipment to protect pedestrians from fall hazards due to open vault doors or when work is being done near walkways or roadways.

2. Visually inspect the external condition of the unit and take notes concerning defects/problems.

3. Open the doors to the vault and allow the system to air out for 5-10 minutes.

4. Without entering the vault, give the inside of the unit, including components, a general condition inspection.

5. Make notes about the external and internal condition of the vault.

6. Remove large loose debris and trash using a pole with a grapple or net on the end.

7. Using a boom, crane, or other device (dolly and ramp), offload the replacement cartridges (up to 150 lbs. each) and set aside.

8. Remove used cartridges from the vault using one of the following methods:

1. If applicable, set up safety equipment to protect pedestrians from fall hazards due to open vault doors or when work is being done near walkways or roadways.

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3. Open the doors to the vault and allow the system to air out for 5-10 minutes.

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5. Make notes about the external and internal condition of the vault.

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5. Make notes about the external and internal condition of the vault.

6. Remove large loose debris and trash using a pole with a grapple or net on the end.

7. Using a boom, crane, or other device (dolly and ramp), offload the replacement cartridges (up to 150 lbs. each) and set aside.

8. Remove used cartridges from the vault using one of the following methods:

1. If applicable, set up safety equipment to protect pedestrians from fall hazards due to open vault doors or when work is being done near walkways or roadways.

2. Visually inspect the external condition of the unit and take notes concerning defects/problems.

3. Open the doors to the vault and allow the system to air out for 5-10 minutes.

4. Without entering the vault, give the inside of the unit, including components, a general condition inspection.

5. Make notes about the external and internal condition of the vault.

6. Remove large loose debris and trash using a pole with a grapple or net on the end.

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6. Remove large loose debris and trash using a pole with a grapple or net on the end.

7. Using a boom, crane, or other device (dolly and ramp), offload the replacement cartridges (up to 150 lbs. each) and set aside.

8. Remove used cartridges from the vault using one of the following methods:

Replacement cartridges will be delivered to the site. Information concerning how to obtain the replacement cartridges is available from Stormwater360.

Warning: In the case of a spill, the worker should report maintenance activities until the proper guidance is obtained. Notify the local hazard control agency and Stormwater360 immediately.

To conduct cartridge replacement and sediment removal activities:

1. If applicable, set up safety equipment to protect pedestrians from fall hazards due to open vault doors or when work is being done near walkways or roadways.

2. Visually inspect the external condition of the unit and take notes concerning defects/problems.

3. Open the doors to the vault and allow the system to air out for 5-10 minutes.

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7. Using a boom, crane, or other device (dolly and ramp), offload the replacement cartridges (up to 150 lbs. each) and set aside.

8. Remove used cartridges from the vault using one of the following methods:

Method 1:

- Using an appropriate sling, attach the cable from the boom, crane, or tripod to the cartridge being removed. Contact SMI for specifications on appropriate attachment devices.
- This activity will require that workers enter the vault to remove the cartridges from the drainage system and place them into the vault opening for lifting.
- Important: Note that cartridges containing media other than the leaf media require unscrewing from their threaded connectors. Take care not to damage the manifold connectors. This connector should remain installed in the manifold and capped if necessary.
- Remove the used cartridge as follows:
 - Remove the used cartridge (250 lbs. each) from the vault.
 - Important: Care must be used to avoid damaging the cartridges during removal and installation. The cost of repairing components damaged during maintenance will be the responsibility of the owner unless Stormwater360 performs the maintenance activities and damage is not related to discharges to the system.

Method 2:

- Unscrew the cartridge cap.
- Remove the cartridge hood.
- Tip the cartridge on its side.
- Important: Note that cartridges containing media other than the leaf media require unscrewing from their threaded connectors. Take care not to damage the manifold connectors. This connector should remain installed in the manifold and capped if necessary.
- Remove the used cartridge as follows:
 - Remove the used cartridge (250 lbs. each) from the vault.
 - Important: Care must be used to avoid damaging the cartridges during removal and installation. The cost of repairing components damaged during maintenance will be the responsibility of the owner unless Stormwater360 performs the maintenance activities and damage is not related to discharges to the system.

Method 3:

- Unscrew the cartridge cap.
- Remove the cartridge hood.
- Tip the cartridge on its side.
- Important: Note that cartridges containing media other than the leaf media require unscrewing from their threaded connectors. Take care not to damage the manifold connectors. This connector should remain installed in the manifold and capped if necessary.
- Remove the used cartridge as follows:
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 - Important: Care must be used to avoid damaging the cartridges during removal and installation. The cost of repairing components damaged during maintenance will be the responsibility of the owner unless Stormwater360 performs the maintenance activities and damage is not related to discharges to the system.

Method 4:

- Unscrew the cartridge cap.
- Remove the cartridge hood.
- Tip the cartridge on its side.
- Important: Note that cartridges containing media other than the leaf media require unscrewing from their threaded connectors. Take care not to damage the manifold connectors. This connector should remain installed in the manifold and capped if necessary.
- Remove the used cartridge as follows:
 - Remove the used cartridge (250 lbs. each) from the vault.
 - Important: Care must be used to avoid damaging the cartridges during removal and installation. The cost of repairing components damaged during maintenance will be the responsibility of the owner unless Stormwater360 performs the maintenance activities and damage is not related to discharges to the system.

Method 5:

- Unscrew the cartridge cap.
- Remove the cartridge hood.
- Tip the cartridge on its side.
- Important: Note that cartridges containing media other than the leaf media require unscrewing from their threaded connectors. Take care not to damage the manifold connectors. This connector should remain installed in the manifold and capped if necessary.
- Remove the used cartridge as follows:
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Method 6:

- Unscrew the cartridge cap.
- Remove the cartridge hood.
- Tip the cartridge on its side.
- Important: Note that cartridges containing media other than the leaf media require unscrewing from their threaded connectors. Take care not to damage the manifold connectors. This connector should remain installed in the manifold and capped if necessary.
- Remove the used cartridge as follows:
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Method 7:

- Unscrew the cartridge cap.
- Remove the cartridge hood.
- Tip the cartridge on its side.
- Important: Note that cartridges containing media other than the leaf media require unscrewing from their threaded connectors. Take care not to damage the manifold connectors. This connector should remain installed in the manifold and capped if necessary.
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Method 8:

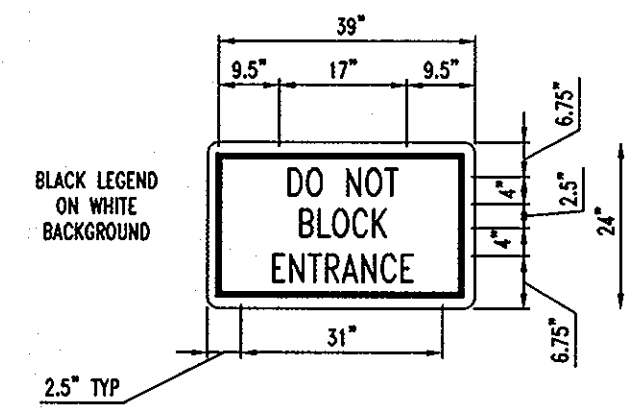
- Unscrew the cartridge cap.
- Remove the cartridge hood.
- Tip the cartridge on its side.
- Important: Note that cartridges containing media other than the leaf media require unscrewing from their threaded connectors. Take care not to damage the manifold connectors. This connector should remain installed in the manifold and capped if necessary.
- Remove the used cartridge as follows:
 - Remove the used cartridge (250 lbs. each) from the vault.
 - Important: Care must be used to avoid damaging the cartridges during removal and installation. The cost of repairing components damaged during maintenance will be the responsibility of the owner unless Stormwater360 performs the maintenance activities and damage is not related to discharges to the system.

Method 9:

- Unscrew the cartridge cap.
- Remove the cartridge hood.
- Tip the cartridge on its side.
- Important: Note that cartridges containing media other than the leaf media require unscrewing from their threaded connectors. Take care not to damage the manifold connectors. This connector should remain installed in the manifold and capped if necessary.
- Remove the used cartridge as follows:
 - Remove the used cartridge (250 lbs. each) from the vault.
 - Important: Care must be used to avoid damaging the cartridges during removal and installation. The cost of repairing components damaged during maintenance will be the responsibility of the owner unless Stormwater360 performs the maintenance activities and damage is not related to discharges to the system.

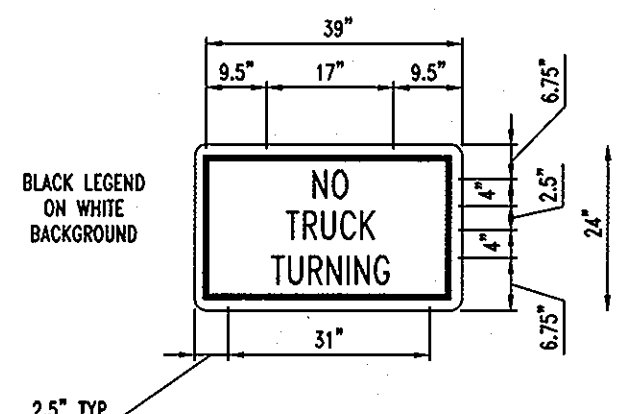
Method 10:

- Unscrew the cartridge cap.
- Remove the cartridge hood.
- Tip the cartridge on its side.
- Important: Note that cartridges containing media other than the leaf media require unscrewing from



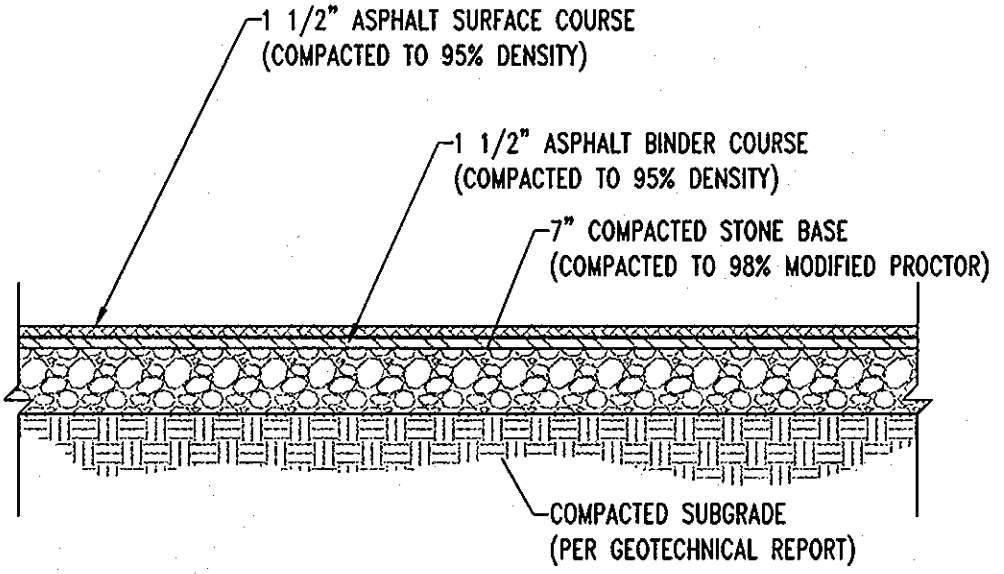
ALL SIGN LETTERS TO COMPLY WITH STANDARD ALPHABETS FOR HIGHWAY SIGNS (SERIES E 2000)

DO NOT BLOCK ENTRANCE SIGN
NOT TO SCALE



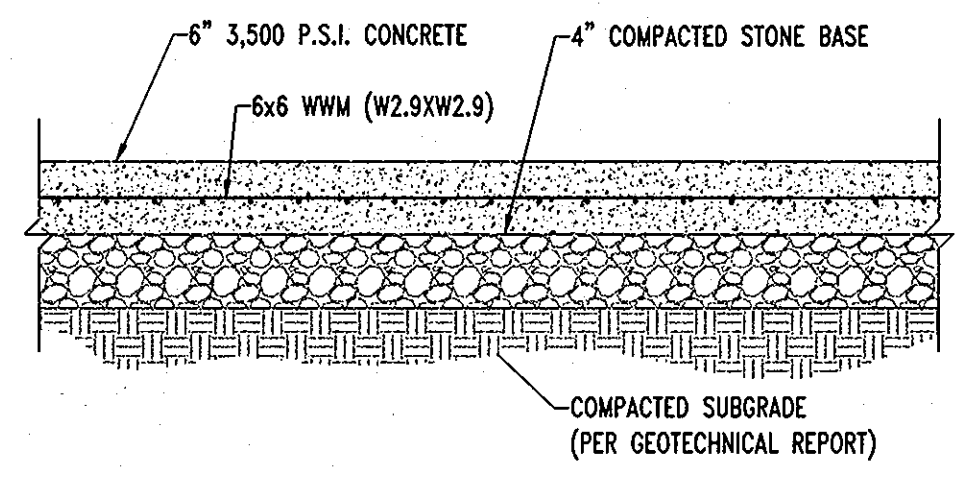
ALL SIGN LETTERS TO COMPLY WITH STANDARD ALPHABETS FOR HIGHWAY SIGNS (SERIES E 2000)

NO TRUCK TURNING SIGN
NOT TO SCALE



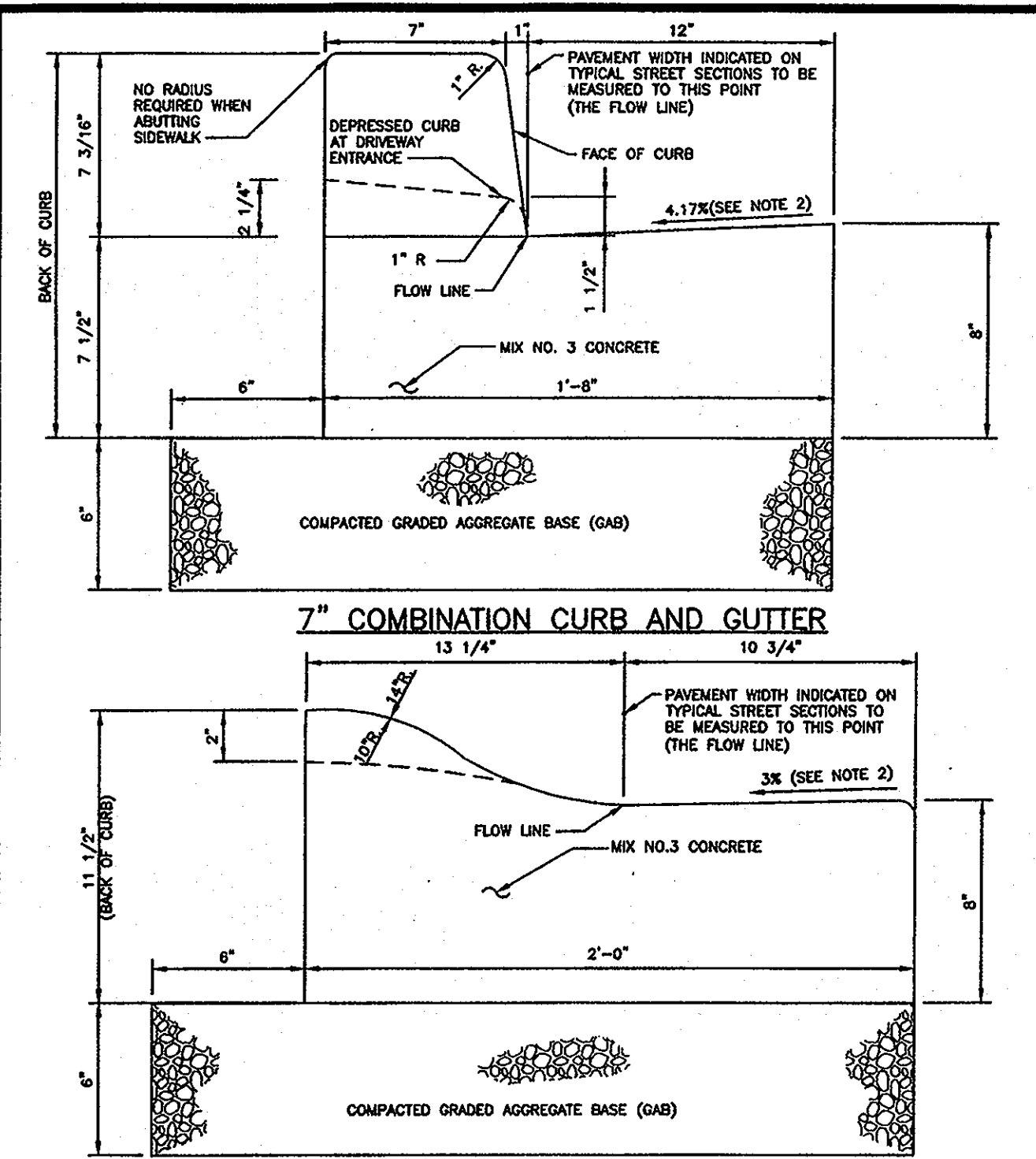
NOTE:
1. SECTION SHOWN IS BASED ON AN ANTICIPATED CBR OF 4 PER GEOTECHNICAL REPORT PREPARED BY GILES ENGINEERING ASSOCIATES, INC., ENTITLED GEOTECHNICAL ENGINEERING EXPLORATION AND ANALYSIS PROPOSED McDONALD'S RESTAURANT-REBUILD #19-147 7878 POCOKE AVENUE JESSUP, MARYLAND, DATED MAY 19, 2008 (PROJECT #3G-0711005). FINAL DESIGN TO BE PROVIDED ONCE FINAL CBR'S ARE AVAILABLE ON COMPACTED SUB-BASE.

ASPHALT PAVEMENT SECTION
NOT TO SCALE

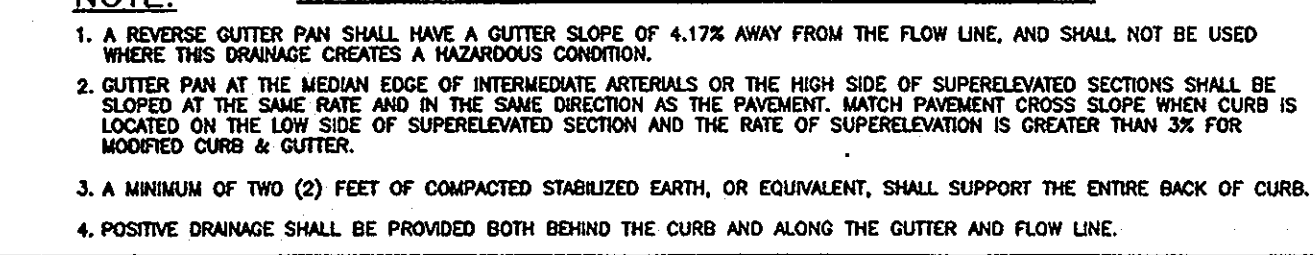


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1. SECTION SHOWN IS BASED ON AN ANTICIPATED CBR OF 4 PER GEOTECHNICAL REPORT PREPARED BY GILES ENGINEERING ASSOCIATES, INC., ENTITLED GEOTECHNICAL ENGINEERING EXPLORATION AND ANALYSIS PROPOSED McDONALD'S RESTAURANT-REBUILD #19-147 7878 POCOKE AVENUE JESSUP, MARYLAND, DATED MAY 19, 2008 (PROJECT #3G-0711005). FINAL DESIGN TO BE PROVIDED ONCE FINAL CBR'S ARE AVAILABLE ON COMPACTED SUB-BASE.

CONCRETE PAVEMENT SECTION
NOT TO SCALE



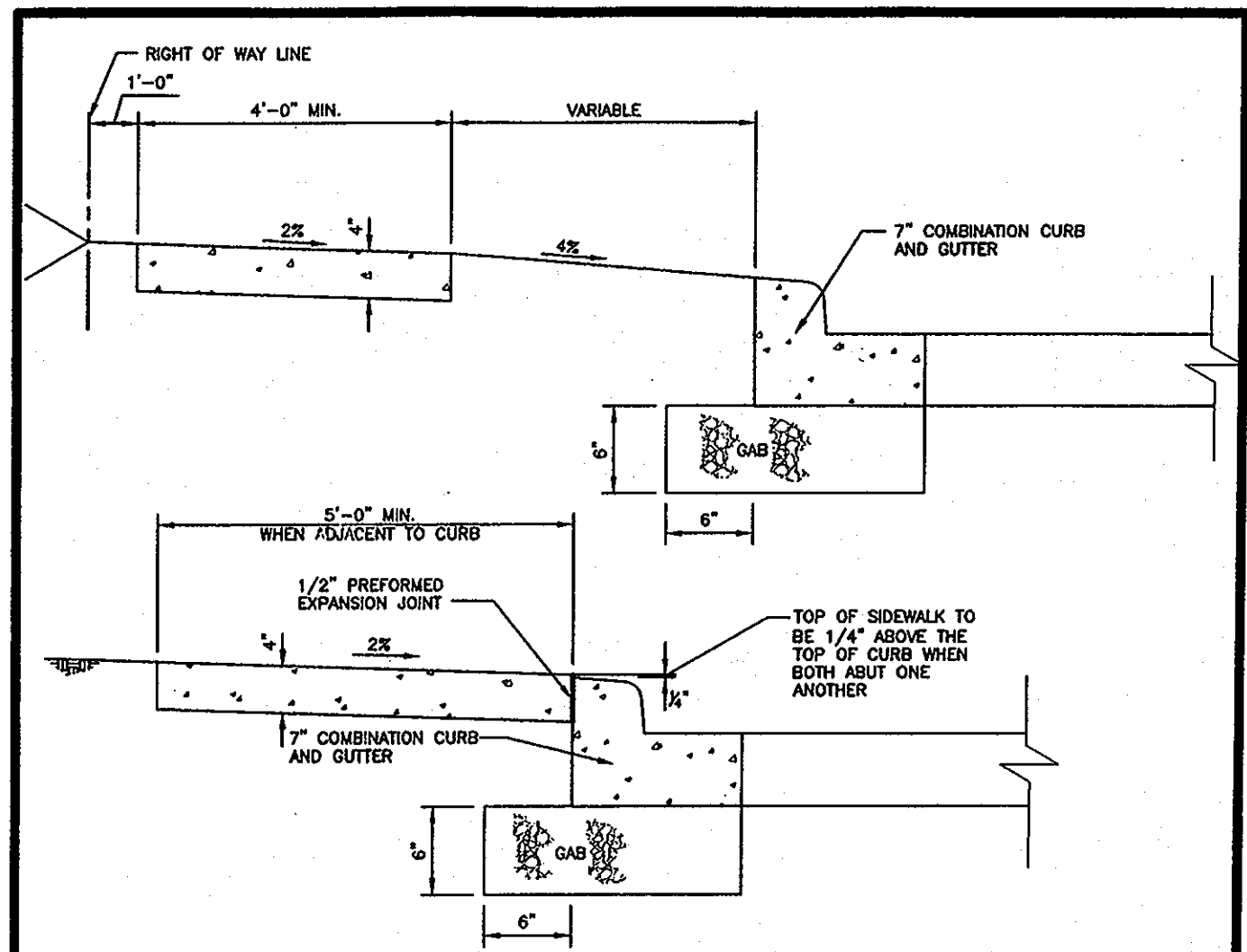
7\"/>



NOTE: MODIFIED COMBINATION CURB AND GUTTER

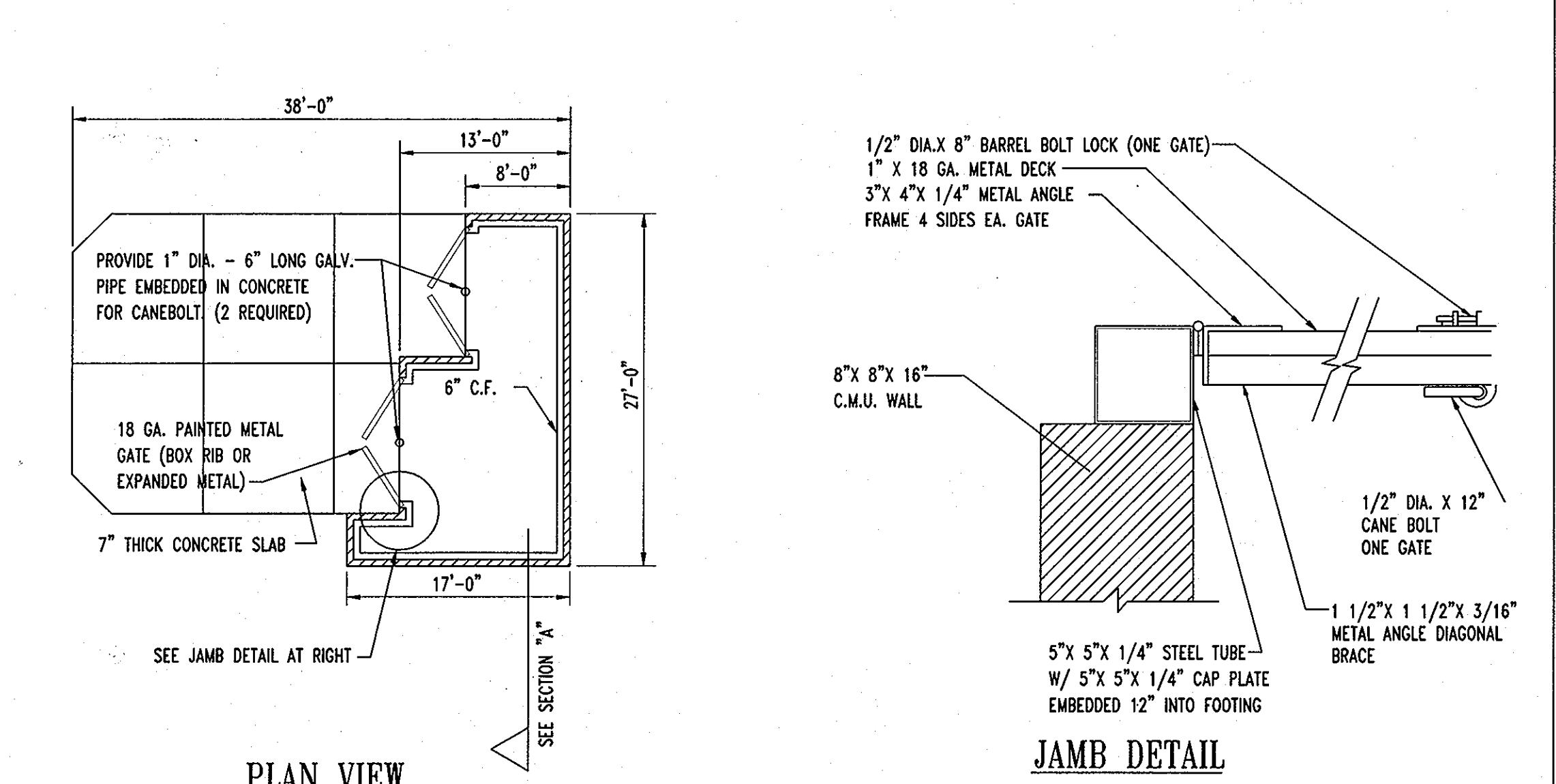
1. A REVERSE GUTTER PAN SHALL HAVE A GUTTER SLOPE OF 4.17% AWAY FROM THE FLOW LINE, AND SHALL NOT BE USED WHERE THIS DRAINAGE CREATES A HAZARDOUS CONDITION.
2. GUTTER PAN AT THE MEDIAN EDGE OF INTERMEDIATE ARTERIALS OR THE HIGH SIDE OF SUPERELEVATED SECTIONS SHALL BE SLOPED AT THE SAME RATE AND IN THE SAME DIRECTION AS THE PAVEMENT. MATCH PAVEMENT CROSS SLOPE WHEN CURB IS LOCATED ON THE LOW SIDE OF SUPERELEVATED SECTION AND THE RATE OF SUPERELEVATION IS GREATER THAN 3% FOR MODIFIED CURB & GUTTER.
3. A MINIMUM OF TWO (2) FEET OF COMPACTED STABILIZED EARTH, OR EQUIVALENT, SHALL SUPPORT THE ENTIRE BACK OF CURB.
4. POSITIVE DRAINAGE SHALL BE PROVIDED BOTH BEHIND THE CURB AND ALONG THE GUTTER AND FLOW LINE.

Howard County, Maryland Department of Public Works	Detail CURB AND GUTTER 7\"/>
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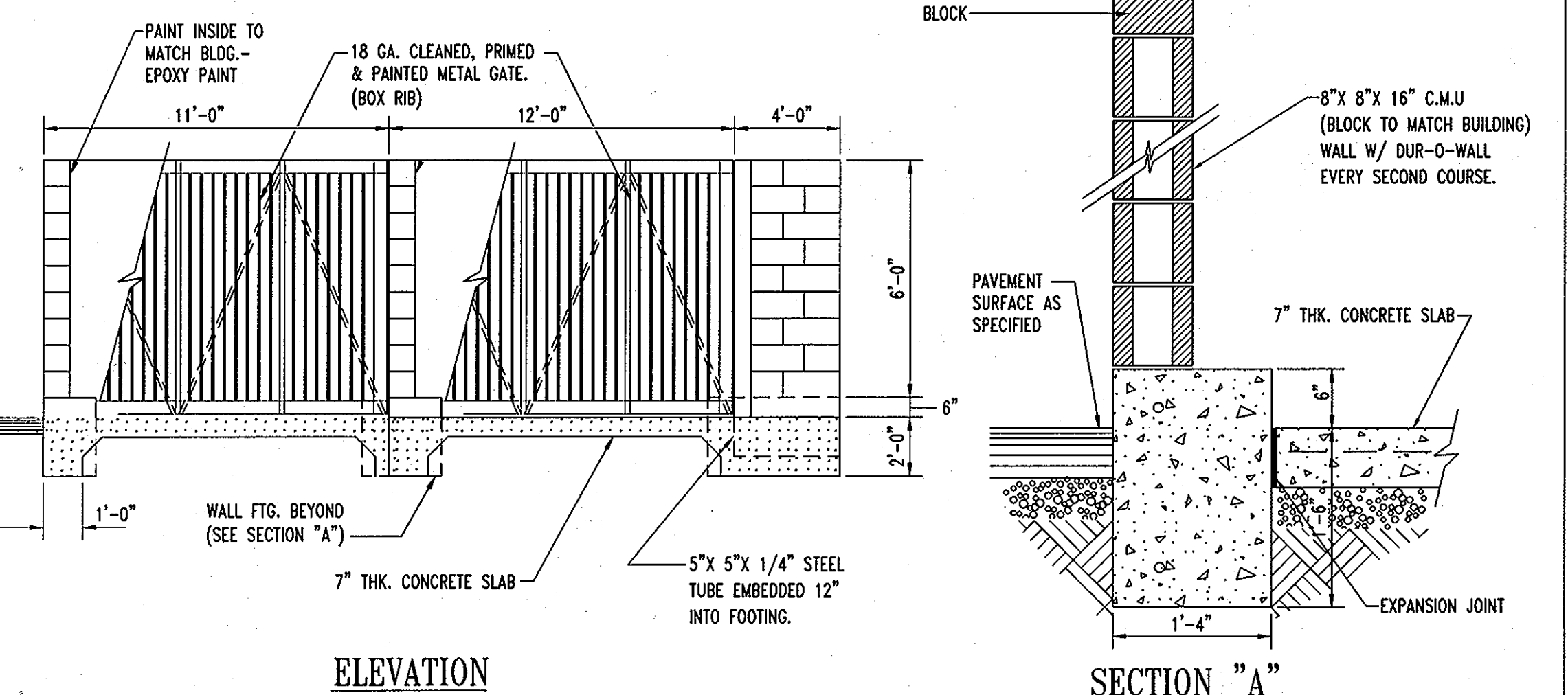


- NOTES:**
1. SIDEWALK TO BE SCRIBED IN 5'-0" MAXIMUM SQUARES.
 2. EXPANSION JOINTS ACROSS THE SIDEWALK NOT TO BE MORE THAN 15' APART.
 3. 1/2" PREFORMED EXPANSION MATERIAL IN EXPANSION JOINTS TO BE KEPT 1/4" BELOW SURFACE OF SIDEWALK.
 4. CONCRETE TO BE MIX NO.3.
 5. WHEN SIDEWALK ABUTS CURB, SIDEWALK SHALL BE 1/4" ABOVE CURB WITH 1/2" PREFORMED EXPANSION JOINT BETWEEN SIDEWALK AND CURB.
 6. ON LONGITUDINAL SIDEWALK GRADES OF 5% OR GREATER, A CONCRETE HEADER, 6" THICK AND 8" DEEP BELOW THE NORMAL 4" SIDEWALK THICKNESS SHALL BE CONSTRUCTED FOR THE FULL WIDTH OF THE SIDEWALK AT INTERVALS OF 48 FEET. THE HEADERS SHALL BE PLACED AT THE EXPANSION JOINT LOCATIONS AND SHALL BE MONOLITHIC WITH THE SIDEWALK.
 7. SIDEWALK ADJACENT TO CURB SHALL BE 5'-0" MINIMUM EXCEPT SIDEWALK ADJACENT TO CURB IN CUL-DE-SAC BULLS MAY BE 4'-0" WIDE.
 8. SIDEWALK LOCATED 2' OR MORE FROM CURB MAY BE 4'-0" IN WIDTH WITH A 5'x5' PAVED SECTION PLACED 200' APART.
 9. 4'-0" SIDEWALK REQUIRES A PASSING AREA (SEE DETAIL R-4.01).

Howard County, Maryland Department of Public Works	Detail Concrete Sidewalk R-3.05
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PLAN VIEW



ELEVATION

SECTION "A"

- NOTES:**
1. TRASH ENCLOSURE FINISH TO MATCH BUILDING FINISH.
 2. SCHEMATIC ONLY; STRUCTURAL DESIGN REQUIRED BY STRUCTURAL ENGINEER. BOHLER ENGINEERING SHALL BE HELD HARMLESS IN THE EVENT OF STRUCTURAL FAILURE.

27'x17' TRASH ENCLOSURE DETAIL
NOT TO SCALE

MISS UTILITY

NOTE: YOU MUST CALL 811 IN MD OR 1-800-257-7777 TO LOCATE UTILITIES BEFORE YOU DIG. THE CONTRACTOR IS RESPONSIBLE FOR CALLING MISS UTILITY TO LOCATE UTILITIES BEFORE ANY CONSTRUCTION.

PROFESSIONAL CERTIFICATION

I, MATTHEW T. ALLEN, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 28567, EXPIRATION DATE: 4/16/11

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS
Brian for Peter Beilenson 5/20/2009
 COUNTY HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: DEPARTMENT OF PLANNING AND ZONING <i>Chris Edwards</i> 5.4.9 CHIEF-DEVELOPMENT ENGINEERING DIVISION DATE	
<i>John Edberger</i> 6/23/09 CHIEF-DIVISION OF LAND DEVELOPMENT DATE	
<i>Thomas J. Sullivan</i> 6/23/09 DIRECTOR, DEP. DATE	

NO.	DATE	REVISION DESCRIPTION
OWNERS:		
McDONALD'S CORPORATION		McDONALD'S USA, LLC
PO BOX 85207		BALTIMORE/WASHINGTON REGION
AME O'HARE AIRPORT		6903 ROCKLEDGE DRIVE, SUITE 100
CHICAGO, IL 60668-0207		BETHESDA, MD 20817
CONTACT: JOHN EDBERGER		PHONE: (240) 497-3650
PHONE: (240) 497-3650		PHONE: (240) 497-3650
McDONALD'S W/ NEW PARKING AND ENTRANCEWAYS		
GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET		
PARCEL A-4, BLOCK B		
7878 POCOKE AVENUE, JESSUP, HOWARD COUNTY, MARYLAND 20794		
AREA 1.22 AC. TAX MAP 43 GRID 15 ZONED M-2		
PARCEL A-4 L 920, F. 478 AND L 1091, F. 1		
6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND		
TITLE		
		SITE DETAILS

BOHLER ENGINEERING

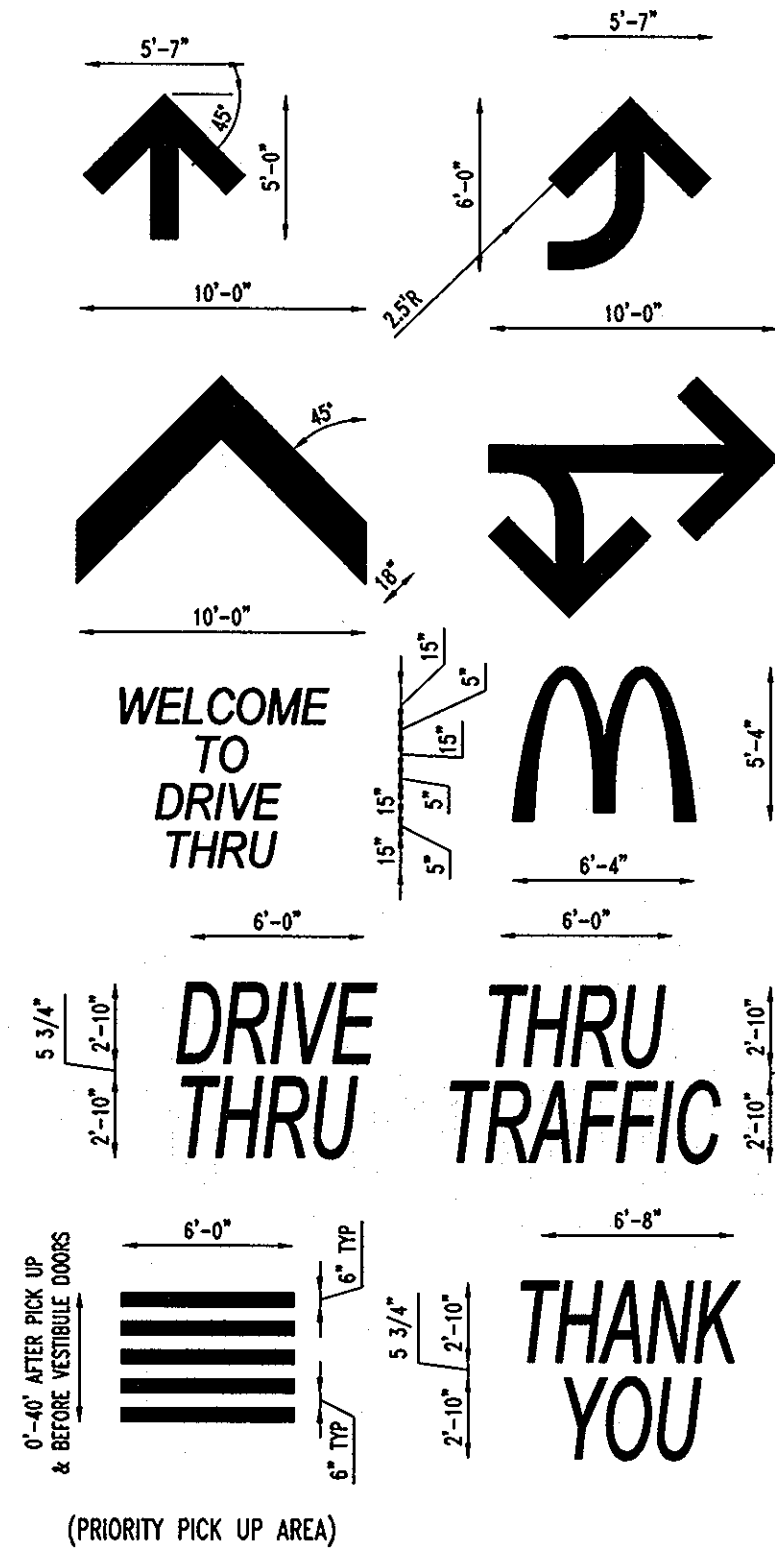
810 GLENEAGLES COURT
 SUITE 300
 TOWSON, MARYLAND 21286
 PH: (410) 821-7900
 FX: (410) 821-7987
 www.bohlerengineering.com

DESIGNED BY: J.A.P.	
DRAWN BY: R.F.G.	
PROJECT NO.: MD075002	
DATE: 08/29/08	
SCALE: AS NOTED	
DRAWING NO. 21 OF 30	

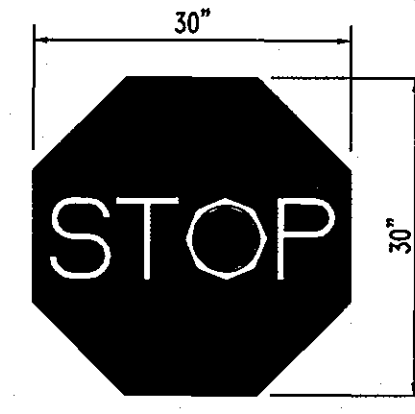
ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
LOTS A-4 / PARCEL 652	7878 POCOKE AVENUE

PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL NO. A-4	PARCEL 652
GCW FOOD MARKET	SECTION 1		
PLAT RECORDATION #	ZONING	TAX MAP NO.	ELECT. DIST.
20041	M-2	43	6TH
WATER CODE	SEWER CODE	CENSUS TRACT	
692-D-W	B694-B	606901	

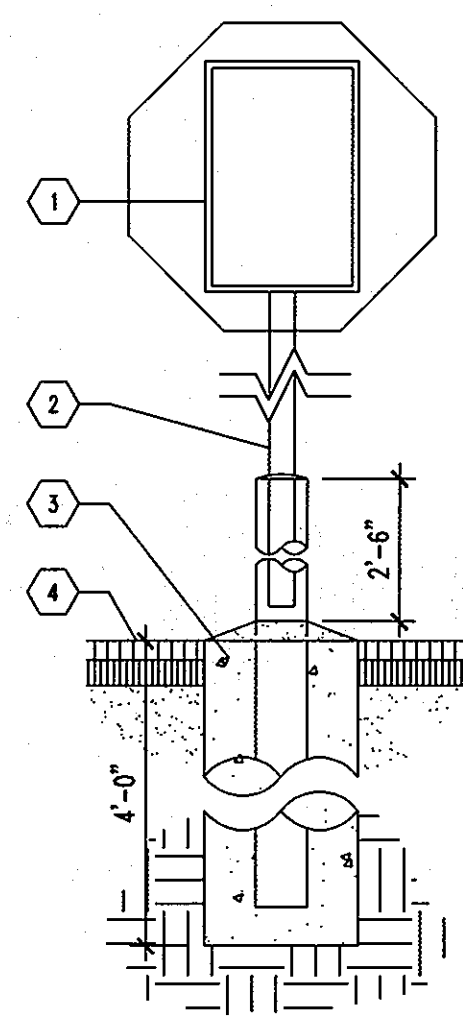
GENERAL NOTE:
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.



NOTE: ALL FONTS LETTERS TO BE "FUTURA CONDENSED EXTRA BOLD OBLIQUE"
TYPICAL PAVEMENT MARKINGS
NOT TO SCALE

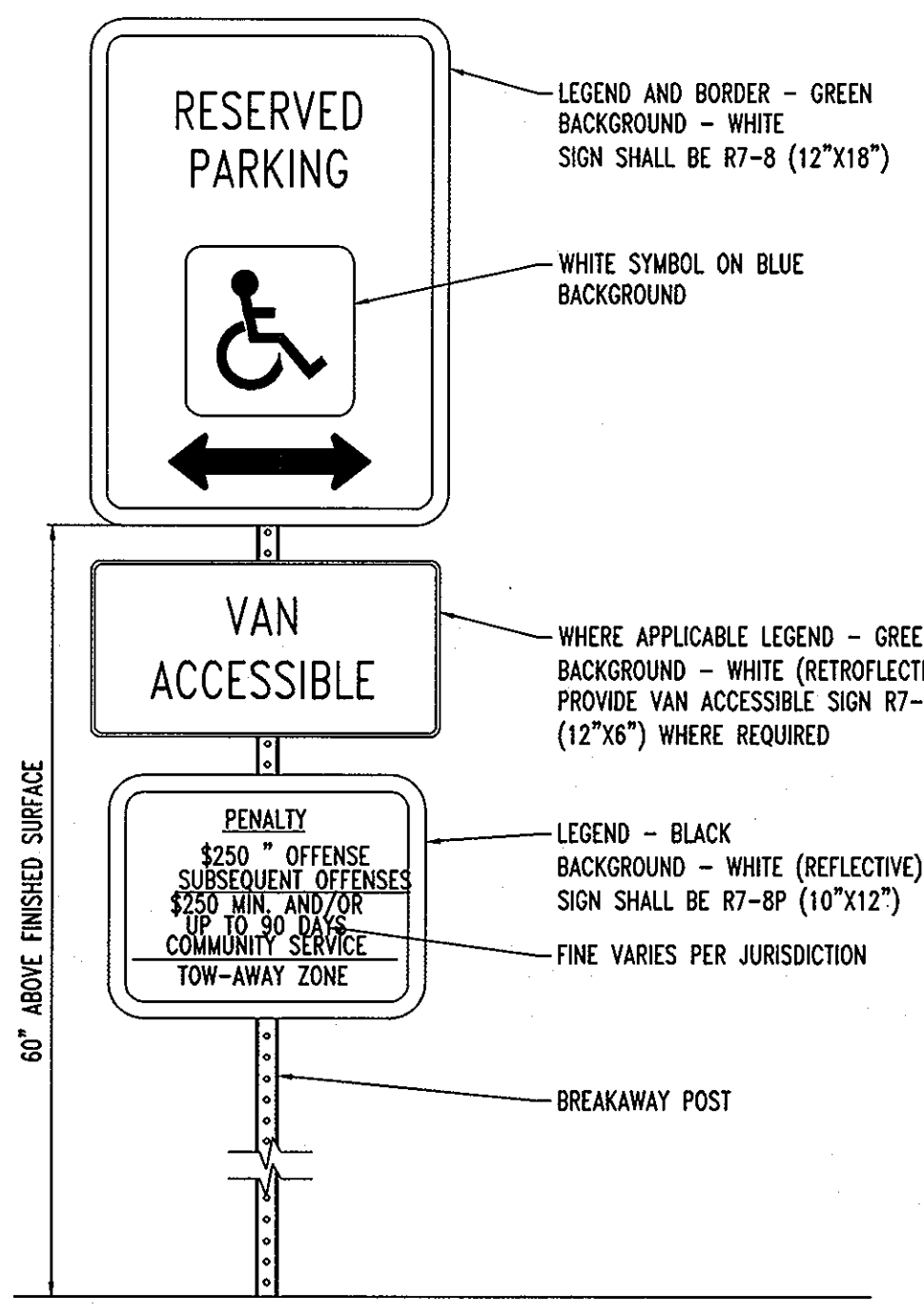


WHITE LEGEND RED BACKGROUND
R1-1
"STOP" SIGN
NOT TO SCALE



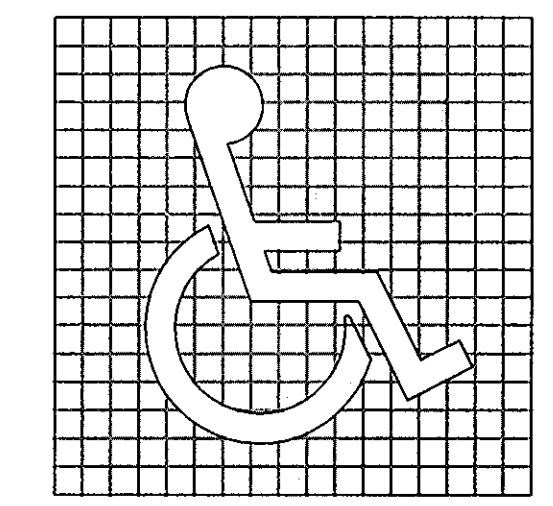
- KEYED NOTES
- 1 TRAFFIC DIRECTIONAL SIGN.
 - 2 2" X 2" STEEL TUBE EXTENDED INTO CONCRETE FILLED 4" PIPE.
 - 3 12" CONCRETE FOUNDATION 6" BELOW FROST LINE (4 FT. MINIMUM BELOW FIN. GRADE).
 - 4 FINISHED GRADE.

TRAFFIC DIRECTION SIGN (FREESTANDING)
NOT TO SCALE



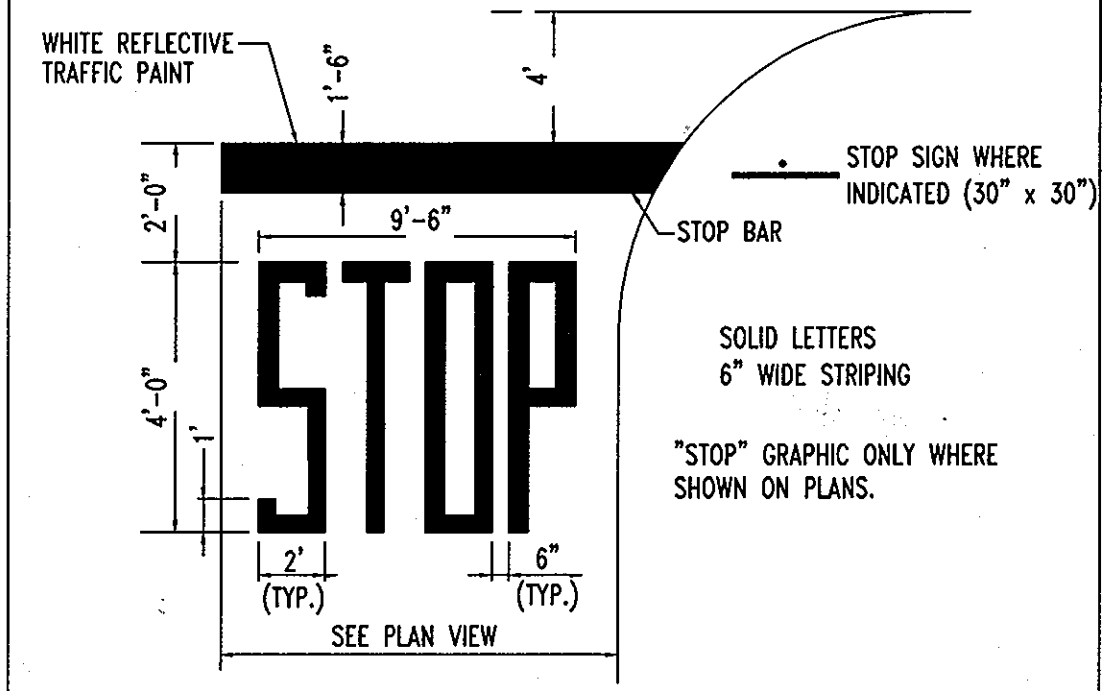
NOTE:
1. SIGNS SHALL MEET THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
2. SIGNS ATTACHED WITH ACORN NUT TYPE FASTENERS.

HANDICAP PARKING SIGN DETAIL
NOT TO SCALE

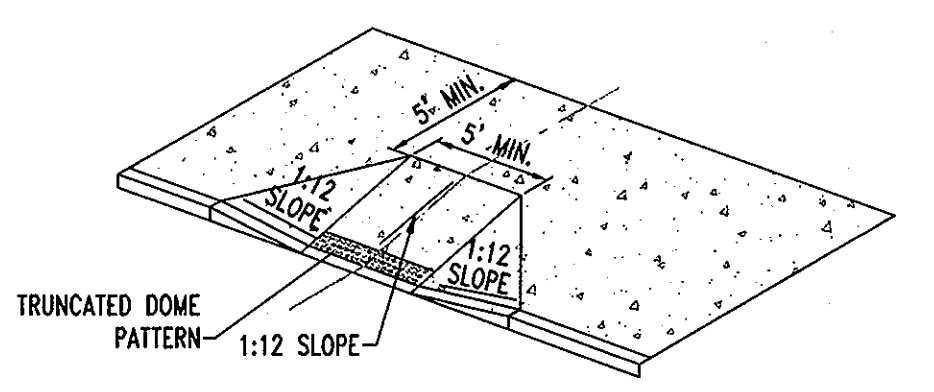


DISPLAY CONDITIONS OF INTERNATIONAL SYMBOL OF ACCESSIBILITY

HANDICAP SYMBOL DETAIL
NOT TO SCALE

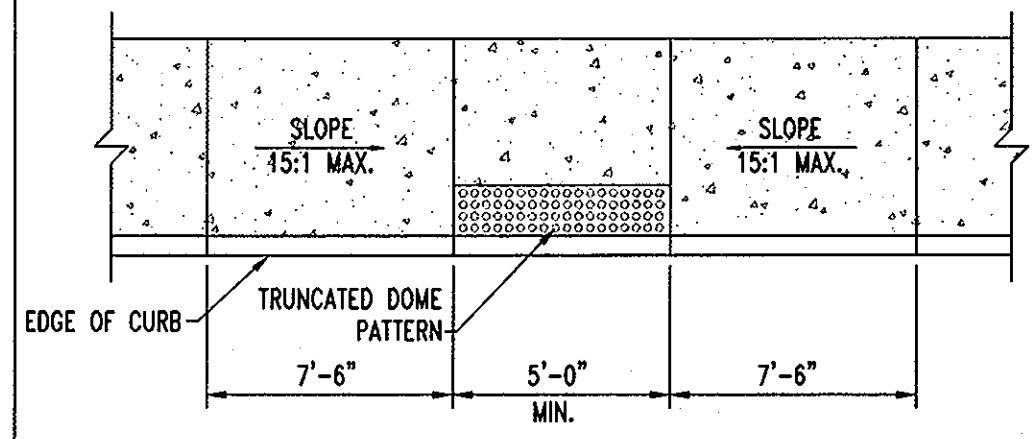


STANDARD STOP LINE GRAPHIC DETAIL
NOT TO SCALE



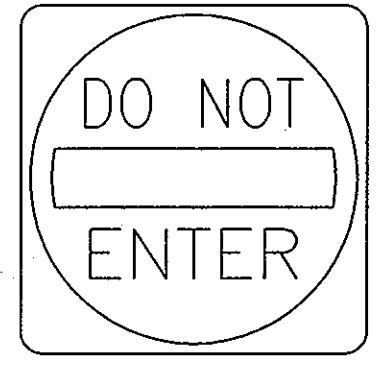
NOTE:
1. HANDICAP RAMP CONSTRUCTION SHALL CONFORM TO CURRENT ADA GUIDELINES.

HANDICAP RAMP DETAIL
NOT TO SCALE

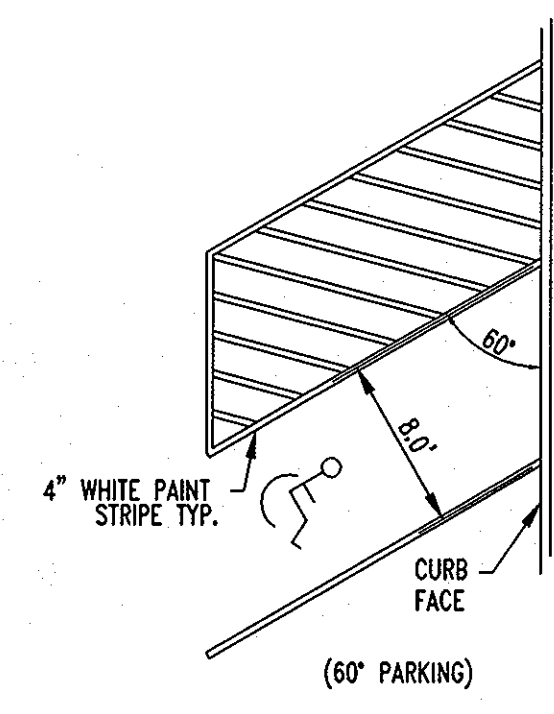


NOTE:
1. HANDICAP RAMP CONSTRUCTION SHALL CONFORM TO CURRENT ADA GUIDELINES.

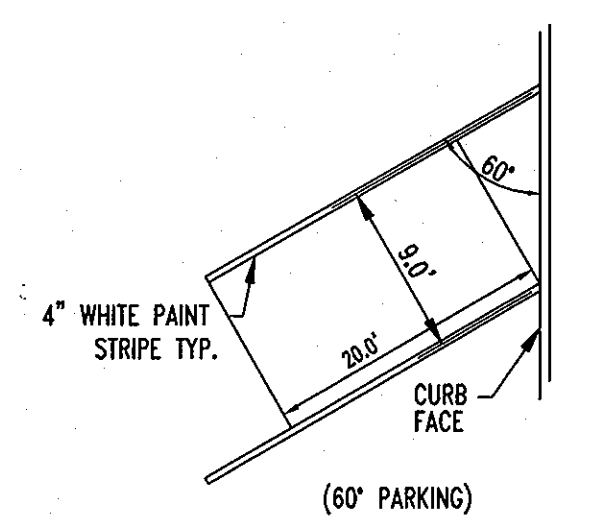
HANDICAP RAMP DETAIL
NOT TO SCALE



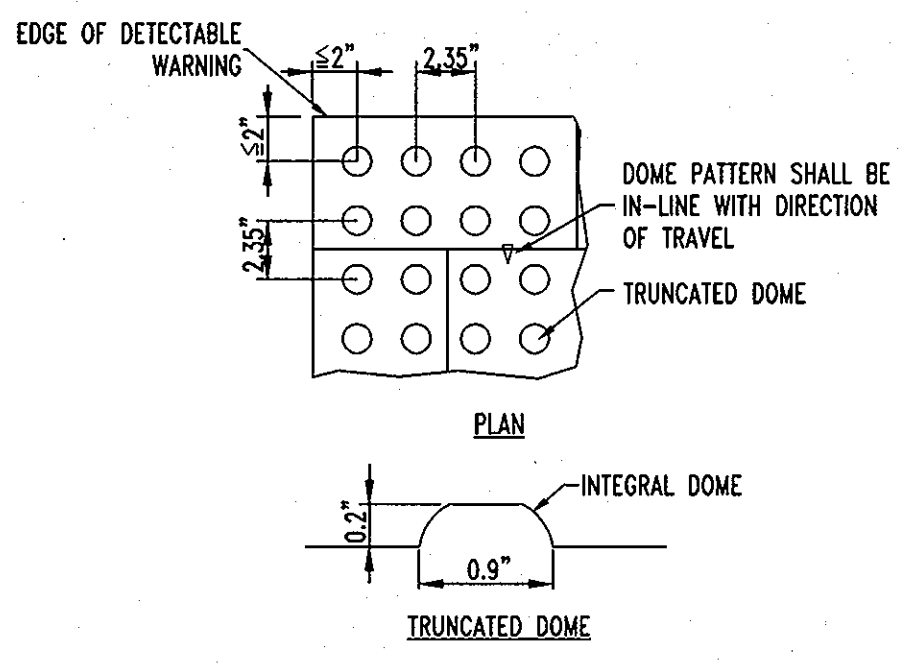
"DO NOT ENTER" SIGN (R5-1)
NOT TO SCALE



HANDICAP PARKING STALL STRIPING
NOT TO SCALE



PARKING STALL STRIPING
NOT TO SCALE



- NOTES
1. CURB RAMP RUNNING SLOPES SHALL NOT BE STEEPER THAN 1:13 AND CROSS SLOPE SHALL BE 2% OR FLATTER.
 2. DETECTABLE WARNING SURFACES SHALL BE CONSTRUCTED BY TEXTURING PRODUCTS CONFORMING TO FROWAG R304. TRANSITION SLOPES ARE NOT TO HAVE DETECTABLE WARNINGS. CONTRACTOR SHALL CONFIRM LOCAL CODES ARE MET.
 3. WHERE A CURB RAMP IS CONSTRUCTED WITHIN AN EXISTING CURB, CURB & GUTTER AND/OR SIDEWALK, THE EXISTING CURB & GUTTER SHALL BE REMOVED TO THE NEAREST JOINT BEYOND THE CURB TRANSITIONS OR TO THE EXTENT THAT NO REMAINING SECTION OF CURB OR CURB & GUTTER IS LESS THAN 5' LONG. THE EXISTING SIDEWALK SHALL BE REMOVED TO THE NEAREST JOINT BEYOND THE TRANSITION SLOPE WALK AROUND OR TO THE EXTENT THAT NO REMAINING SECTION OF SIDEWALK IS LESS THAN 5'.
 4. THE PLAN MUST PROVIDE FOR DETECTABLE WARNING SURFACE COLORS OR MATERIALS THAT PROVIDE THE NECESSARY CONTRAST, EITHER DARK-ON-LIGHT, OR LIGHT-ON-DARK.
 5. TRUNCATED DOMES TO BE INSTALLED USING PREFORMED PAVERS (RUNNING BOND PATTERN) OR TOPMARK PREFORMED THERMOPLASTIC WARNING MATERIAL. PREFERRED MANUFACTURER: PAVESTONE COMPANY DETECTABLE WARNING PAVES, RAY CLARK (678)471-1019; ALTERNATIVE MANUFACTURER: ENGINEERED PLASTICS, INC. (ARMOR TILE) OLYMPIC TOWERS, 300 PEARL STREET, SUITE 200, BUFFALO, NY 14202. PHONE (800)882-2525. CONTRACTOR TO VERIFY HANDICAP RAMP MEET LOCAL CODES.

TRUNCATED DOME PATTERN FOR A.D.A. CONCRETE DETECTABLE WARNING SURFACES
NOT TO SCALE

MISS UTILITY
NOTE: YOU MAY CALL 811 IN MD or 1-800-257-7777 PROTECT YOURSELF. GIVE TWO WORKING DAYS NOTICE. THE CONTRACTOR IS OBLIGATED TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

PROFESSIONAL CERTIFICATION
I, MATTHEW T. ALLEN, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 28567, EXPIRATION DATE: 4/16/11

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS
B. Williams for Peter Bildeason 5/29/2009
COUNTY HEALTH OFFICER HOWARD COUNTY HEALTH DEPARTMENT DATE 17/0

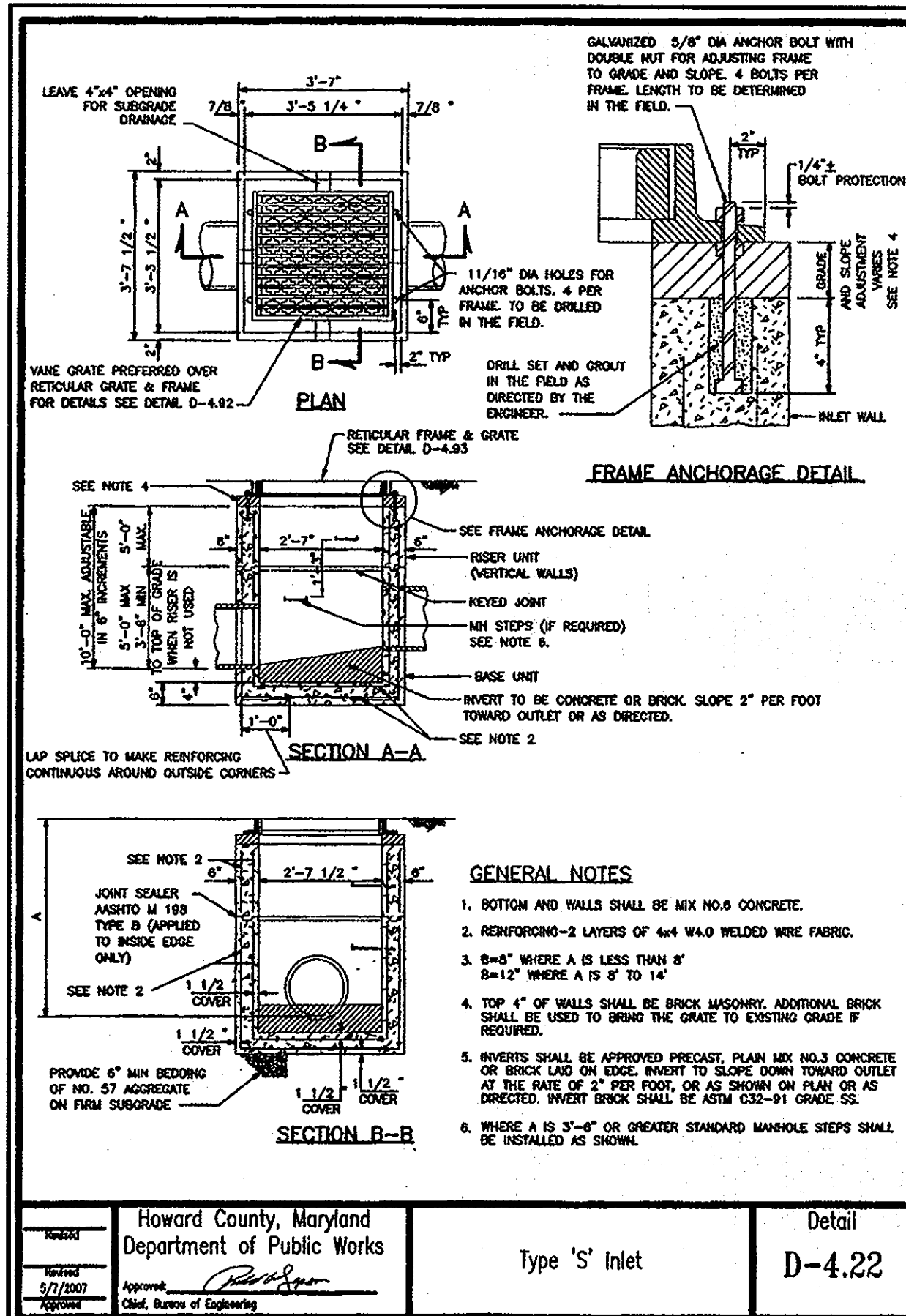
APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief-Development Engineering Division DATE 5-4-9
Chief-Division of Land Development DATE 6/23/09
DIRECTOR, DEP. DATE 6/23/09

NO.	DATE	REVISION DESCRIPTION
OWNERS:	McDONALD'S CORPORATION PO BOX 86207 AMF O'HARE AIRPORT CHICAGO, IL 60686-0207 CONTACT: JOHN EIDBERGER PHONE: (240) 497-3650	DEVELOPER: McDONALD'S USA, LLC BALTIMORE/WASHINGTON REGION 8003 ROCKLEDGE DRIVE, SUITE 100 BETHESDA, MD 20817 CONTACT: JOHN EIDBERGER PHONE: (240) 497-3650
McDONALD'S W/ NEW PARKING AND ENTRANCEWAYS GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET PARCEL A-4, BLOCK B 7878 POCOMOKE AVENUE, JESSUP, HOWARD COUNTY, MARYLAND 20794		
AREA 1.22 AC. TAX MAP 43 GRID 15 ZONED M-2 PARCEL A-4 L. 920, F. 478 AND L. 1091, F. 1 6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND		
TITLE		

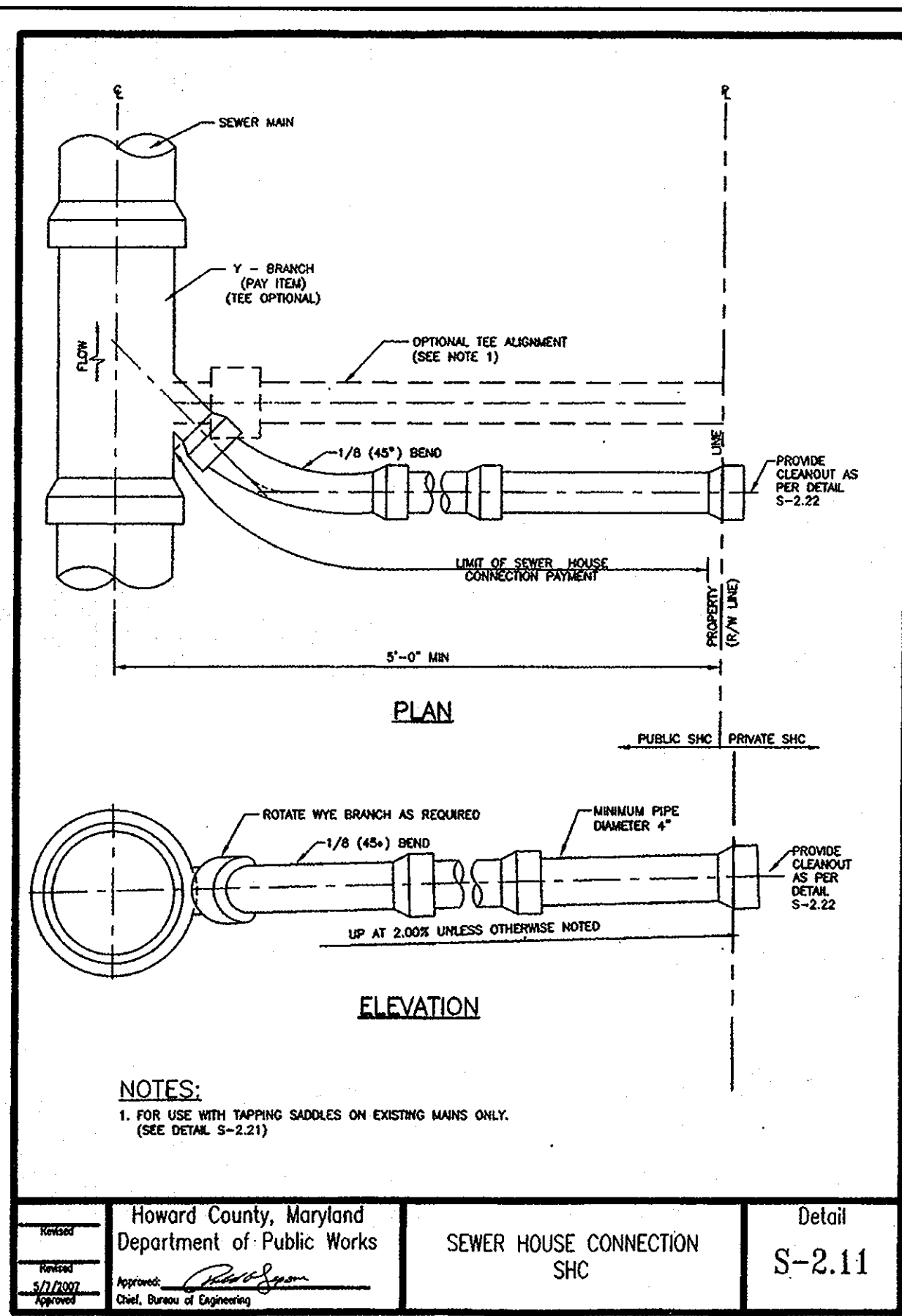
SITE DETAILS
BOHLER ENGINEERING
810 GLENEAGLES COURT SUITE 300 TOWSON, MARYLAND 21286
PH: (410) 821-7900
FX: (410) 821-7987
www.bohlereengineering.com

ADDRESS CHART		
LOT/PARCEL #	STREET ADDRESS	
LOTS A-4 / PARCEL 652	7878 POCOMOKE AVENUE	
PERMIT INFORMATION CHART		
SUBDIVISION NAME GROW FOOD MARKET	SECTION/AREA SECTION 1	LOT/PARCEL NO. A-4 PARCEL 652
PLAT RECORDATION GRID# 2591	ZONING M-2	TAX MAP NO. 43
WATER CODE 692-D-W	SEWER CODE B694-B	ELECT. DISTR 6TH
CENSUS TRACT 606901		DATE: 08/29/08
DESIGNED BY: J.A.P.		SCALE: AS NOTED
DRAWN BY: R.F.G.		DRAWING NO. 22 OF 30
PROJECT NO.: M0075002		DATE: 08/29/08
DATE: 08/29/08		SCALE: AS NOTED
DRAWING NO. 22 OF 30		

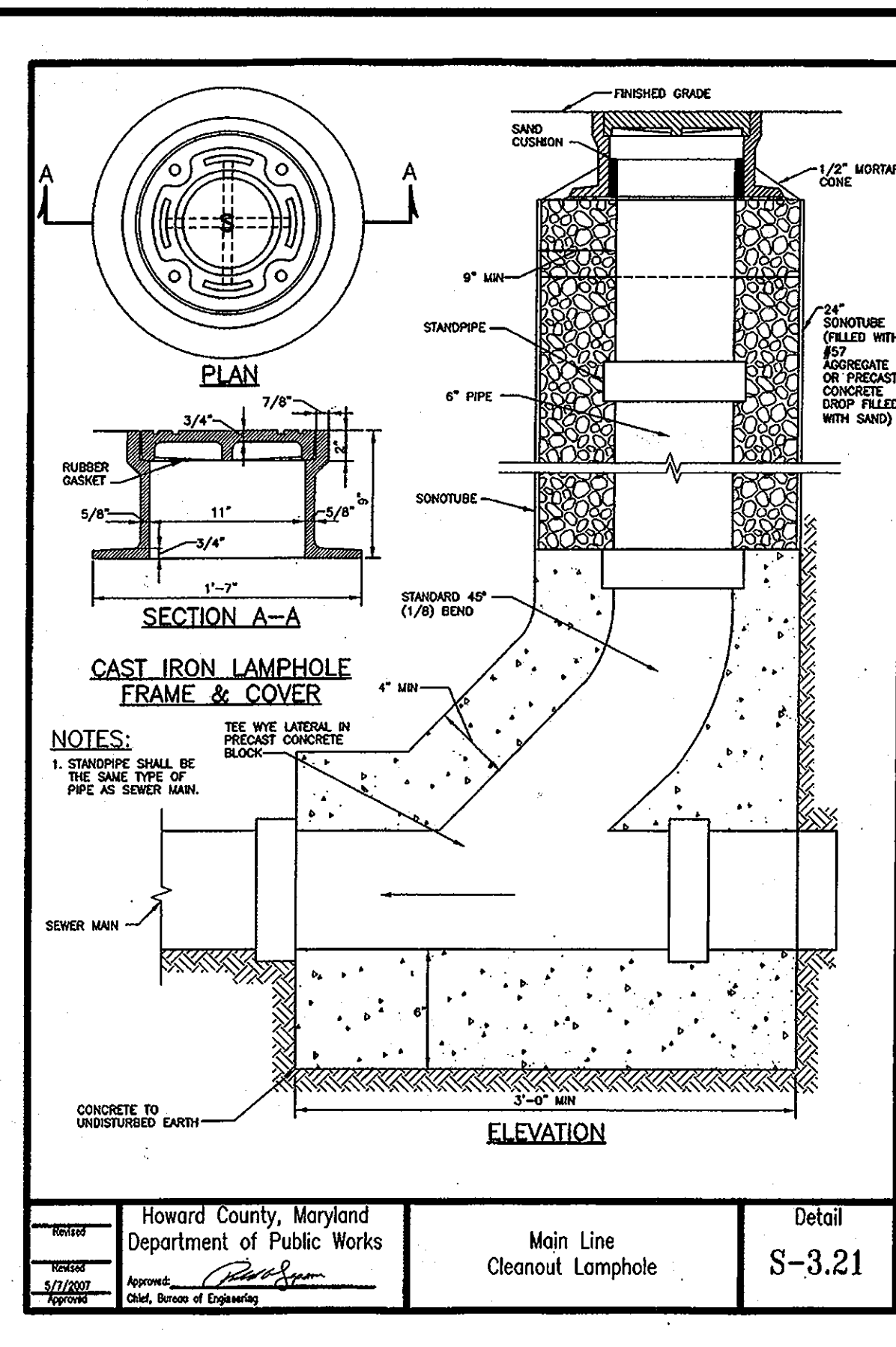
GENERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS OBTAINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.



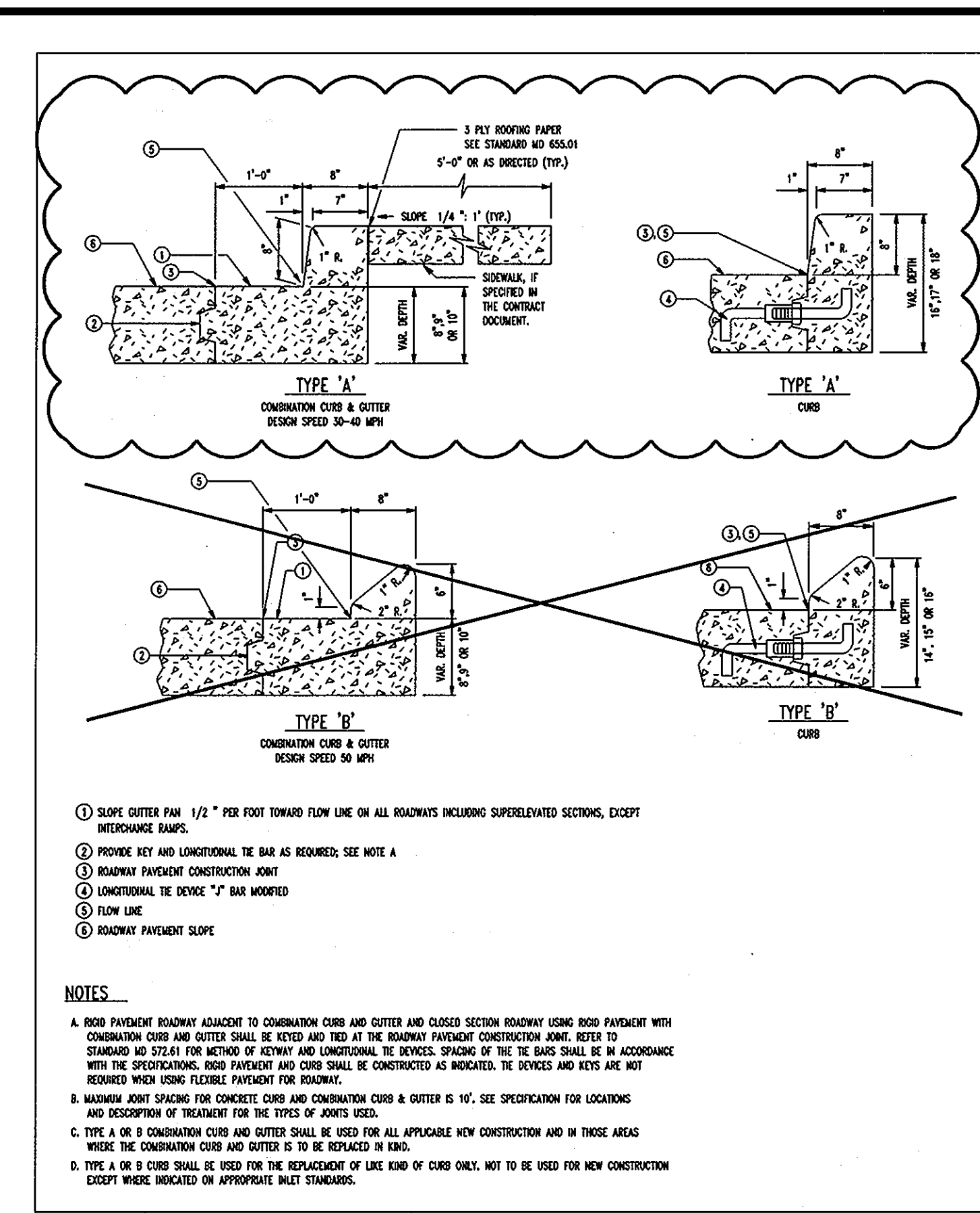
NO. 602	Howard County, Maryland Department of Public Works	Detail
DATE	5/7/2009	D-4.22
APPROVED	<i>[Signature]</i> Chief, Bureau of Engineering	Type 'S' Inlet



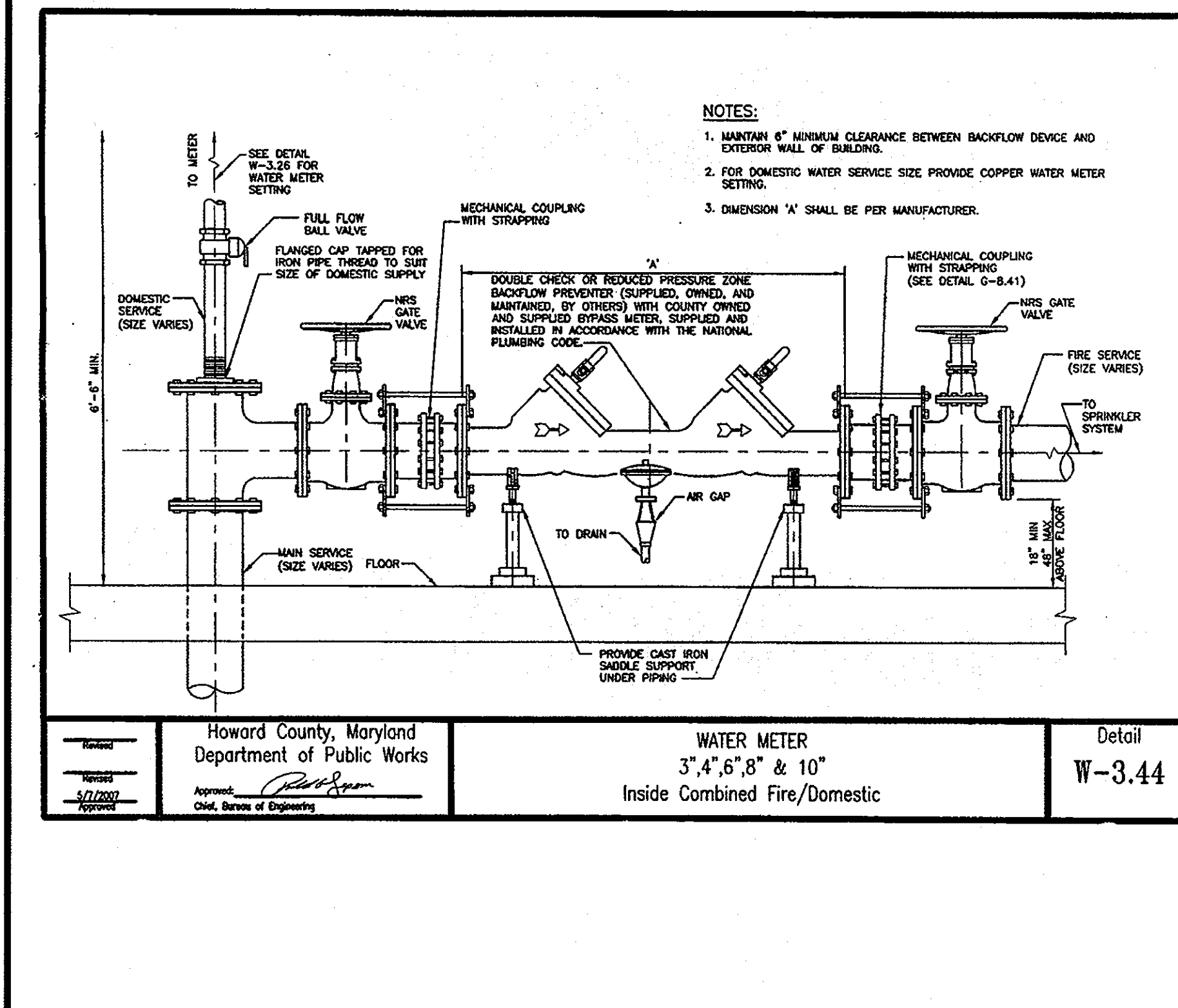
NO. 603	Howard County, Maryland Department of Public Works	Detail
DATE	5/7/2009	S-2.11
APPROVED	<i>[Signature]</i> Chief, Bureau of Engineering	SEWER HOUSE CONNECTION SHC



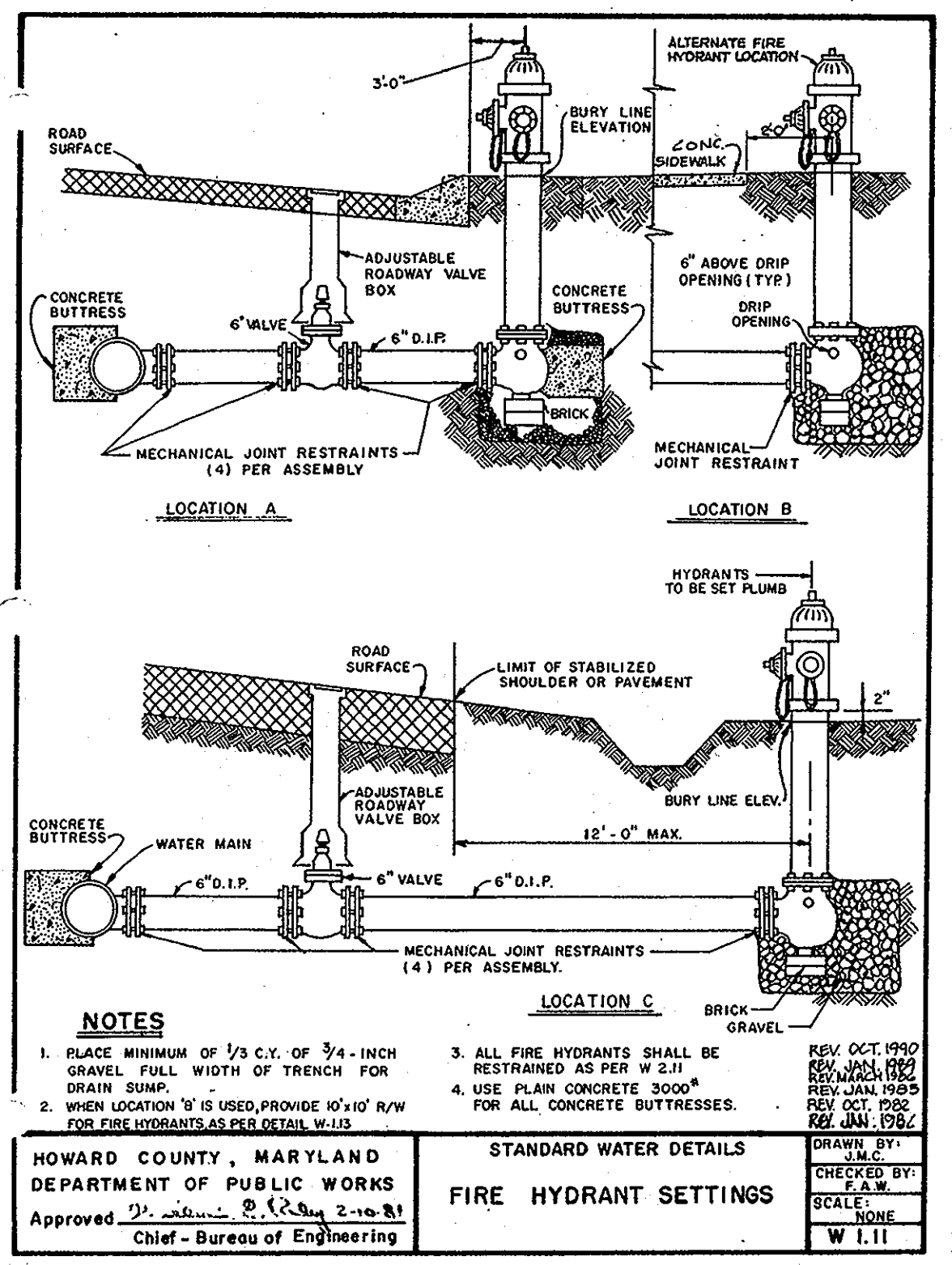
NO. 604	Howard County, Maryland Department of Public Works	Detail
DATE	5/7/2009	S-3.21
APPROVED	<i>[Signature]</i> Chief, Bureau of Engineering	Main Line Cleanout Lamphole



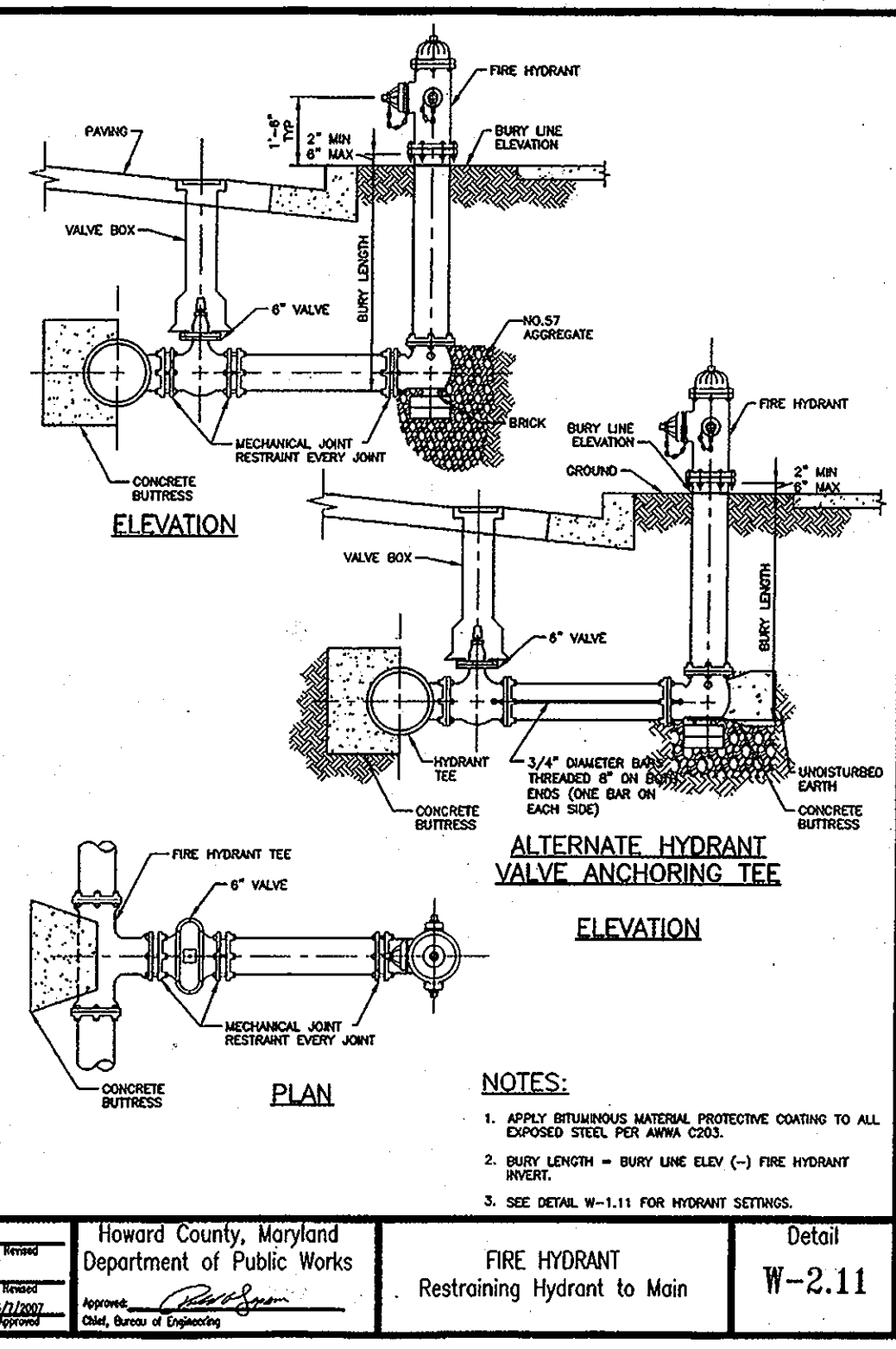
NO. 605	Howard County, Maryland Department of Public Works	Detail
DATE	5/7/2009	S-2.12
APPROVED	<i>[Signature]</i> Chief, Bureau of Engineering	SEWER HOUSE CONNECTION Drop Types 'A' and 'B'



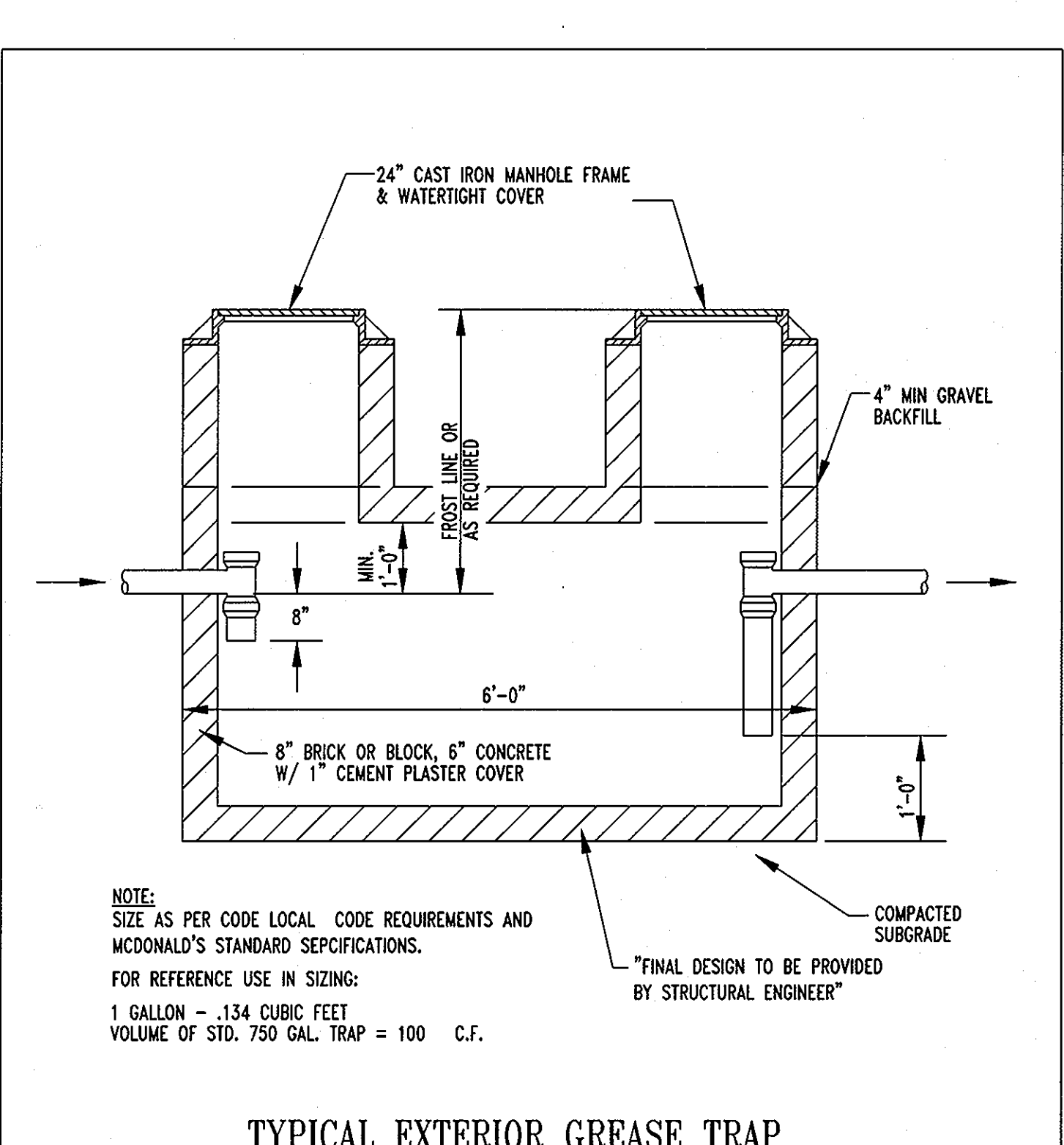
NO. 606	Howard County, Maryland Department of Public Works	Detail
DATE	5/7/2009	W-3.44
APPROVED	<i>[Signature]</i> Chief, Bureau of Engineering	WATER METER 3", 4", 6", 8" & 10" Inside Combined Fire/Domestic



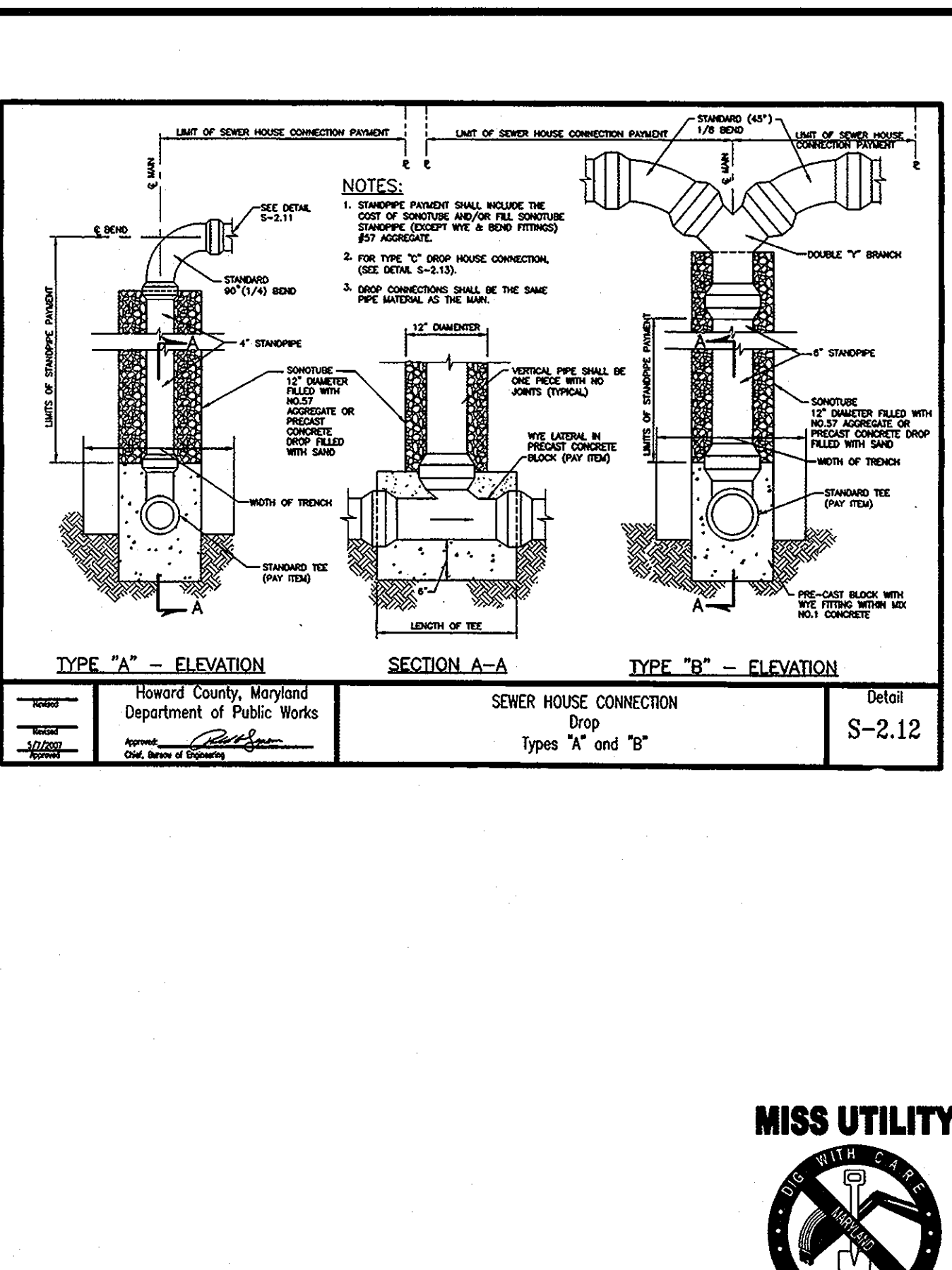
NO. 607	Howard County, Maryland Department of Public Works	Detail
DATE	5/7/2009	W-2.11
APPROVED	<i>[Signature]</i> Chief, Bureau of Engineering	FIRE HYDRANT Restraining Hydrant to Main



NO. 608	Howard County, Maryland Department of Public Works	Detail
DATE	5/7/2009	W-2.11
APPROVED	<i>[Signature]</i> Chief, Bureau of Engineering	TYPICAL EXTERIOR GREASE TRAP NOT TO SCALE



NO. 609	Howard County, Maryland Department of Public Works	Detail
DATE	5/7/2009	W-2.11
APPROVED	<i>[Signature]</i> Chief, Bureau of Engineering	TYPICAL EXTERIOR GREASE TRAP NOT TO SCALE



NO. 610	Howard County, Maryland Department of Public Works	Detail
DATE	5/7/2009	S-2.12
APPROVED	<i>[Signature]</i> Chief, Bureau of Engineering	SEWER HOUSE CONNECTION Drop Types 'A' and 'B'



BEFORE YOU CALL
811 1111
OR 1-800-257-7777
PROTECT YOURSELF, GO TO
WORKING DAYS NOTICE
THE CONTRACTOR TO CALL MISS UTILITY TO
HAVE ALL EXISTING UTILITIES MARKED 48
HOURS PRIOR TO ANY CONSTRUCTION.

PROFESSIONAL CERTIFICATION

I, MATTHEW T. ALLEN, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 28567, EXPIRATION DATE: 4/16/11

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS
B. Wilson for Peter Billeman
COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT 50
DATE: 5/25/2009

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chad Edmond
CHIEF-DEVELOPMENT ENGINEERING DIVISION
DATE: 5-V-9
C. Edmond
CHIEF-DIVISION OF LAND DEVELOPMENT
DATE: 6/23/09
Thomas P. Suttler
DIRECTOR, DEP.
DATE: 6/23/09

NO. DATE REVISION DESCRIPTION
OWNERS: McDonald's Corporation
FO BOX 86207
AMF O'HARE AIRPORT
CHICAGO, IL 60666-0207
PHONE: (240) 497-3650
DEVELOPER: McDonald's USA, LLC
BALTIMORE/WASHINGTON REGION
8503 ROCKLEDGE DRIVE, SUITE 100
BETHESDA, MD 20817
CONTACT: JOHN EIDBERGER
PHONE: (240) 497-3650
McDonald's W/ NEW PARKING AND ENTRANCEWAYS
GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET
PARCEL A-4, BLOCK B
7878 POCOMOKE AVENUE, JESSUP, HOWARD COUNTY, MARYLAND 20794
AREA 1.22 AC. TAX MAP 43 GRID 15 ZONED M-2
PARCEL A-4 L 920, F. 478 AND L 1091, F. 1
6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE SITE DETAILS

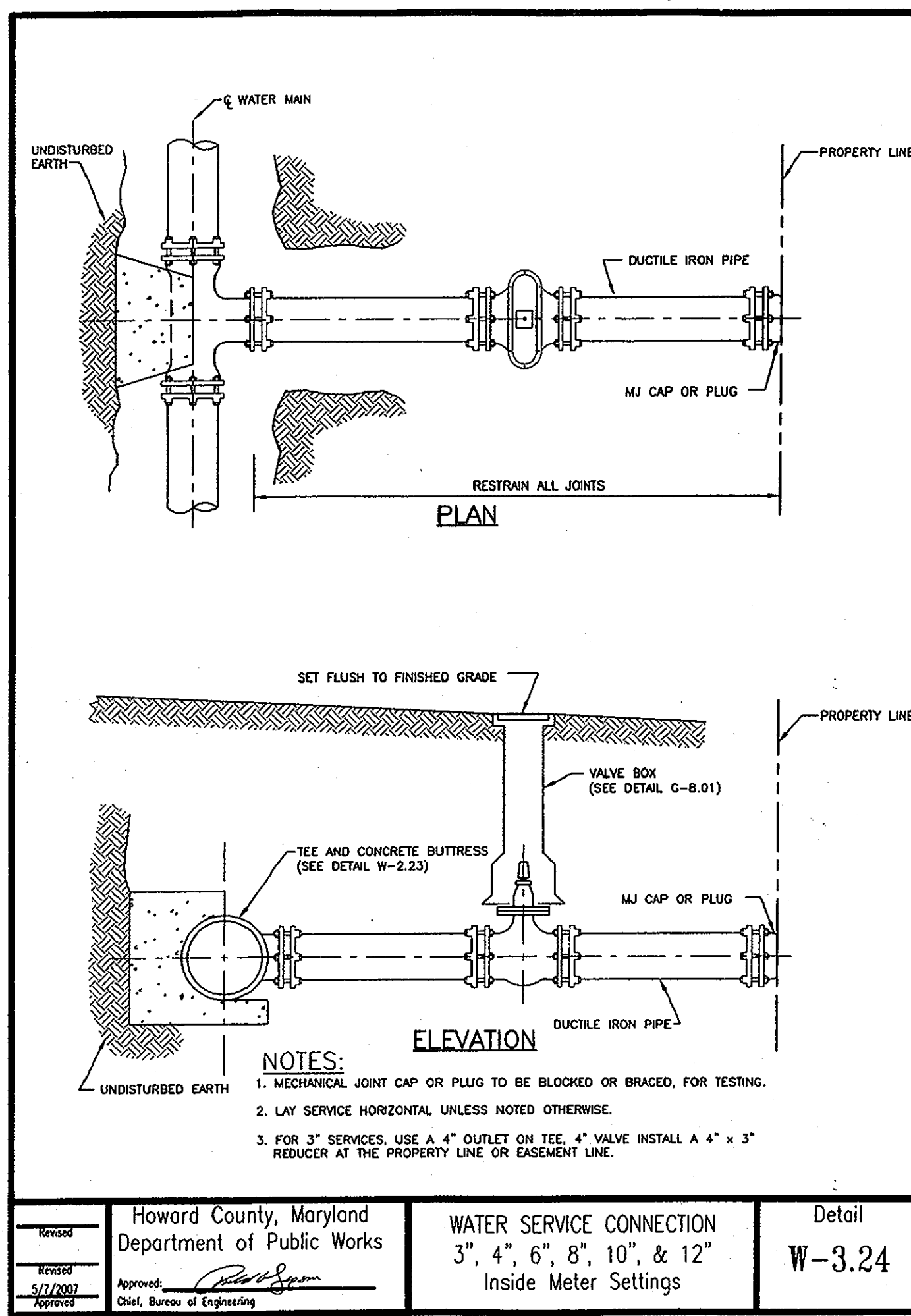


810 GLENLEAGLES COURT
SUITE 300
TOWSON, MARYLAND 21286
PH: (410) 821-7900
FX: (410) 821-7987
www.bohlerengineering.com

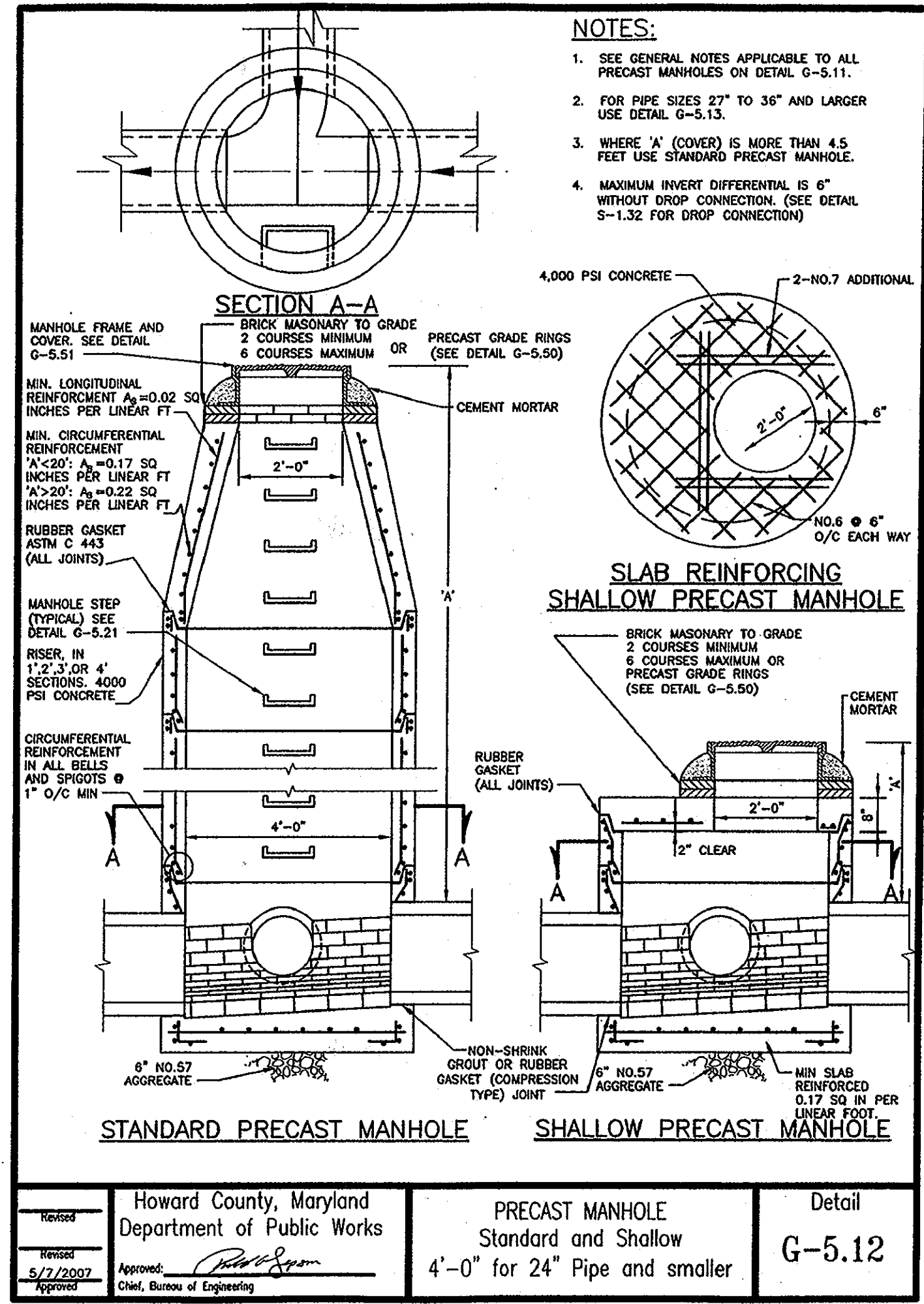
DESIGNED BY: J.A.P.
DRAWN BY: R.F.G.
PROJECT NO.: MD075002
DATE: 08/29/08
SCALE: AS NOTED
DRAWING NO. 23 OF 30

GENERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

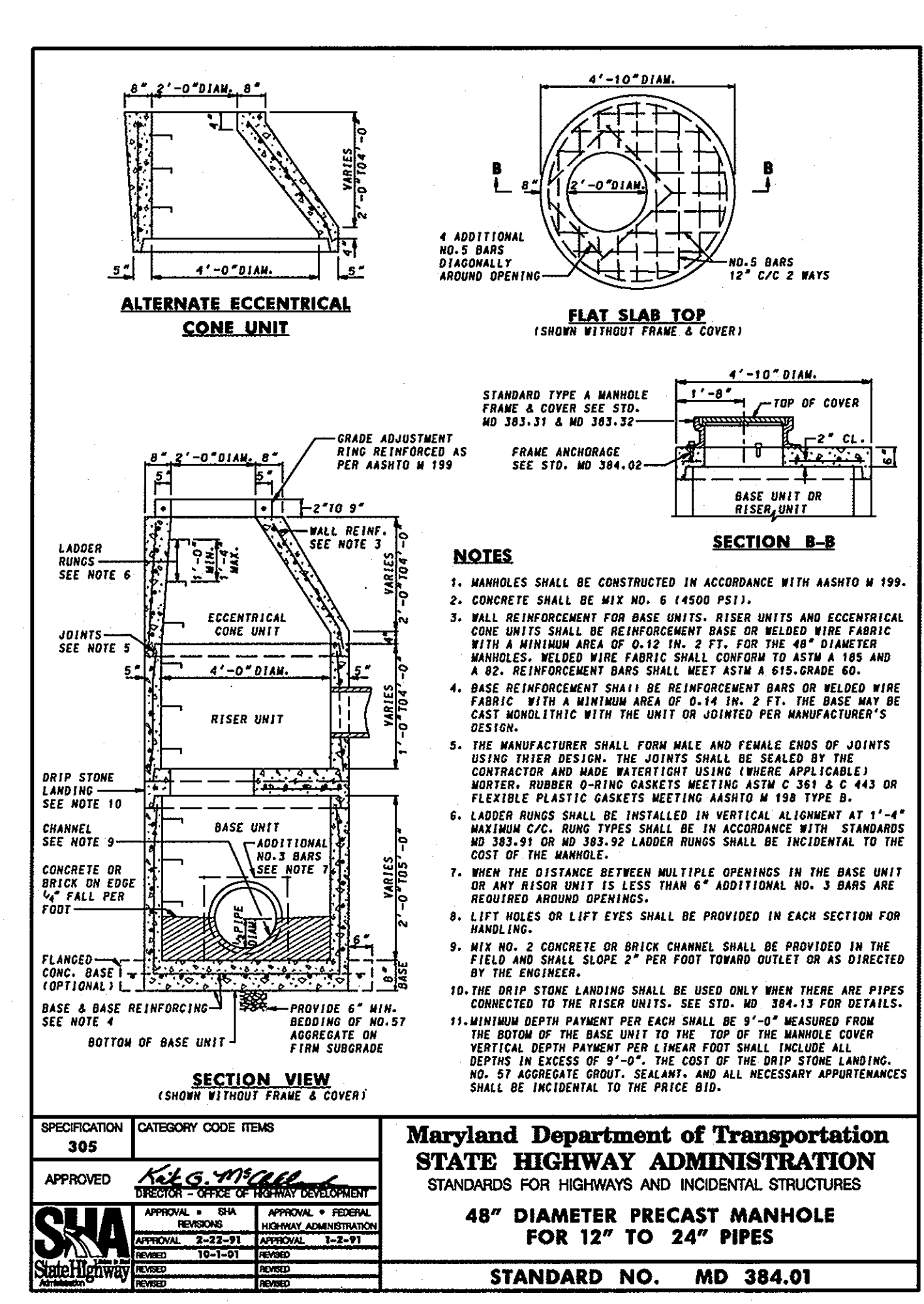
ADDRESS CHART		
LOT/PARCEL #	CHART ADDRESS	
LOTS A-4 / PARCEL 652	7878 POCOMOKE AVENUE	
PERMIT INFORMATION CHART		
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL NO. A-4
GRCH FOOD MARKET	SECTION 1	PARCEL 652
PLAT RECORDATION GRID#	ZONING	TAX MAP NO.
20791	M-2	43
WATER CODE	SEWER CODE	ELECT. DIST.
692-D-W	B694-B	6TH
CENSUS TRACT	CENSUS BLOCK	
	80901	



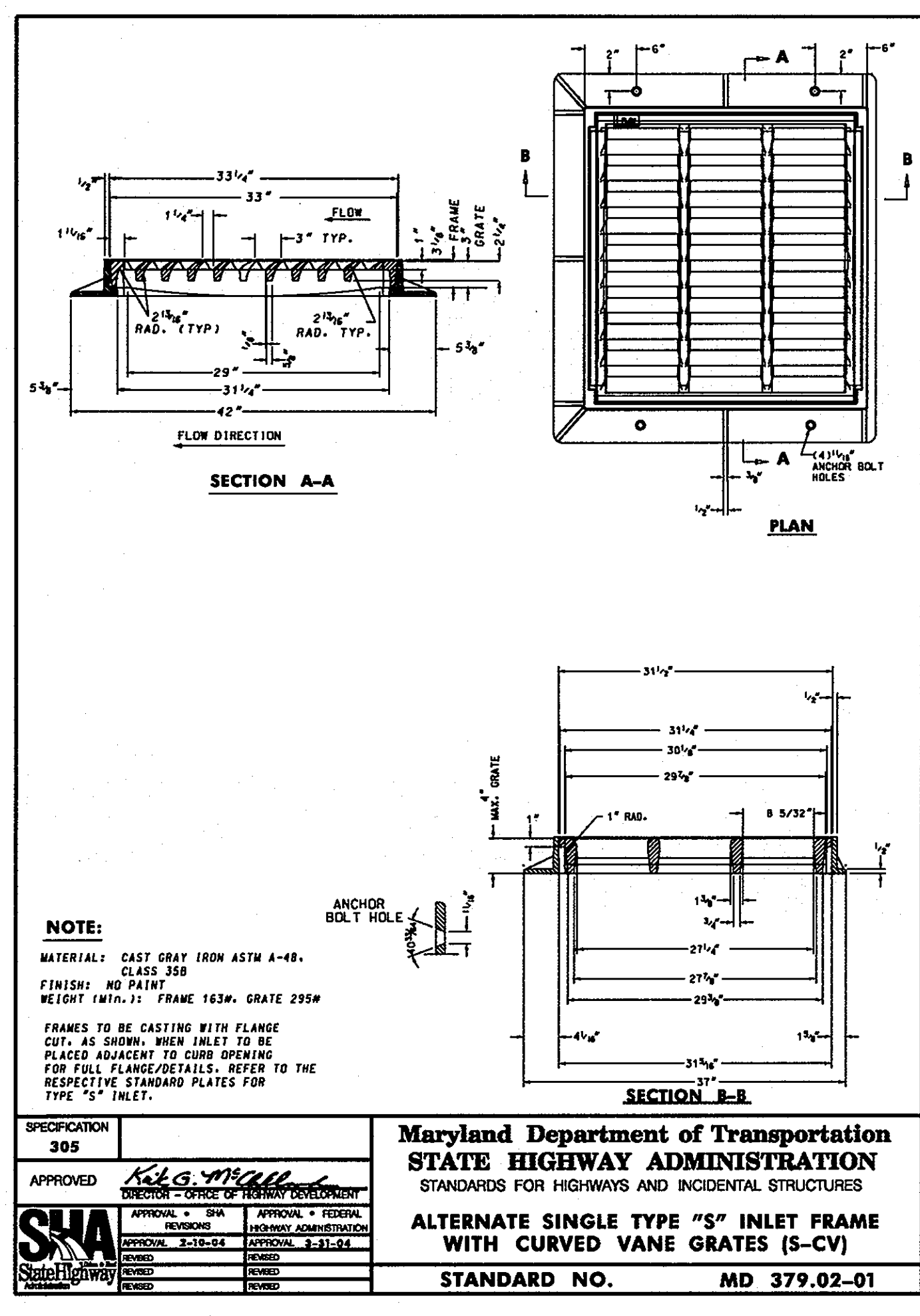
Revised	Howard County, Maryland Department of Public Works	WATER SERVICE CONNECTION 3", 4", 6", 8", 10", & 12" Inside Meter Settings	Detail W-3.24
Approved	5/17/2007 Chief, Bureau of Engineering		



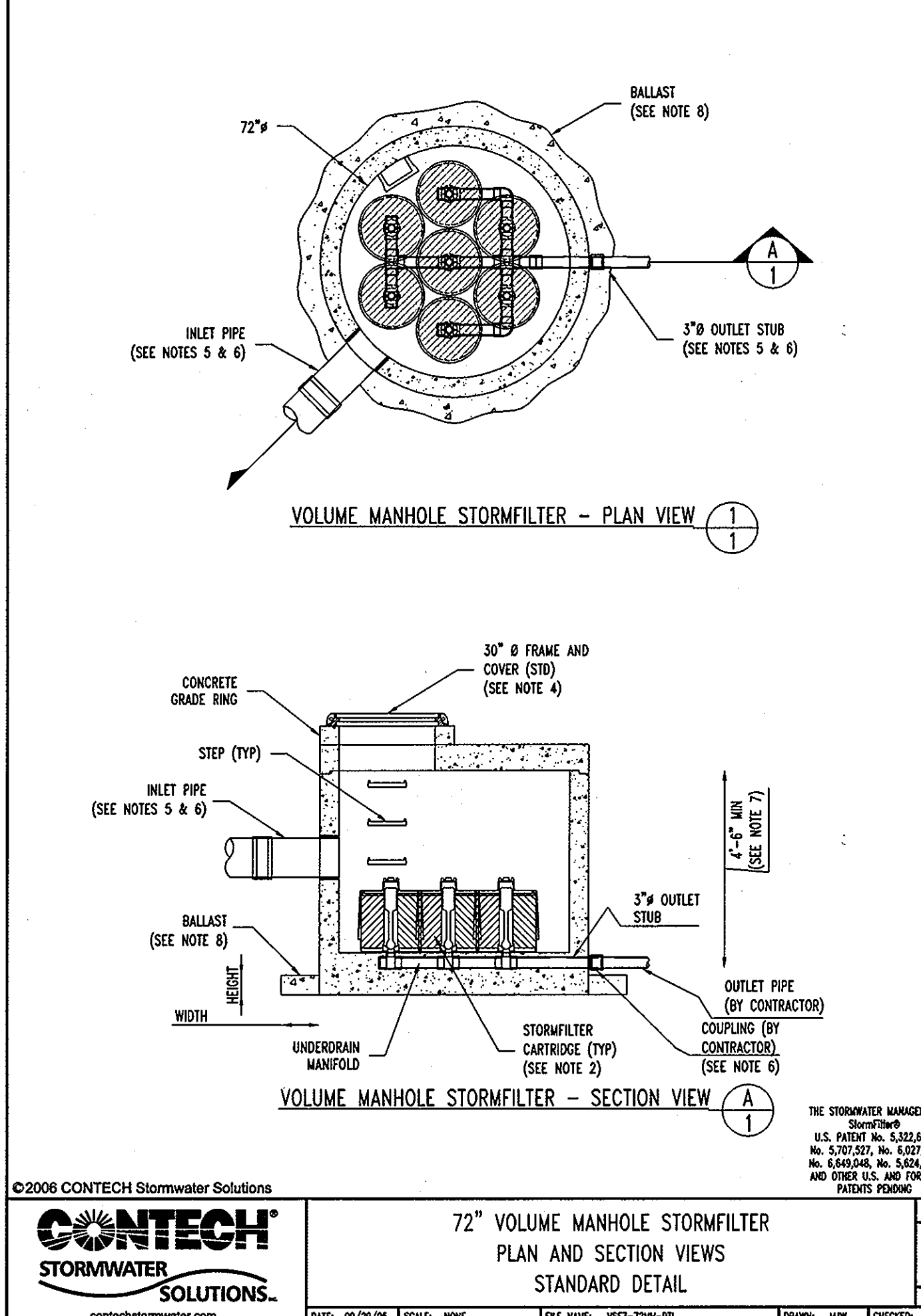
Revised	Howard County, Maryland Department of Public Works	PRECAST MANHOLE Standard and Shallow 4'-0" for 24" Pipe and smaller	Detail G-5.12
Approved	5/17/2007 Chief, Bureau of Engineering		



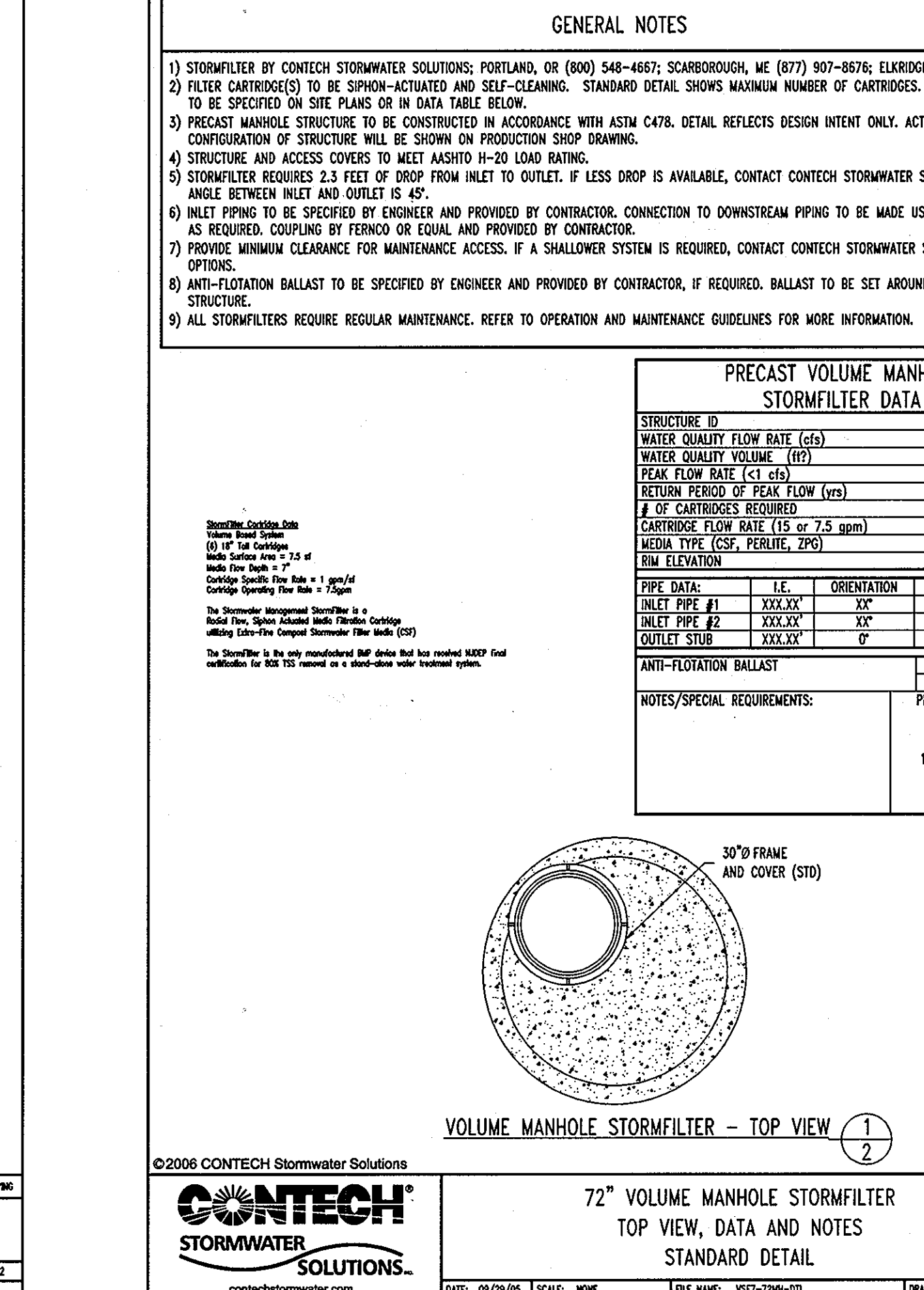
Revised	Category Code Items	Maryland Department of Transportation STATE HIGHWAY ADMINISTRATION STANDARDS FOR HIGHWAYS AND INCIDENTAL STRUCTURES 48" DIAMETER PRECAST MANHOLE FOR 12" TO 24" PIPES STANDARD NO. MD 384.01
Approved	305	
Approved	5/17/2007	



Revised	Howard County, Maryland Department of Public Works	ALTERNATE SINGLE TYPE "S" INLET FRAME WITH CURVED VANE GRATES (S-CV)	Standard No. MD 379.02-01
Approved	5/17/2007 Chief, Bureau of Engineering		



Revised	CONTECH STORMWATER SOLUTIONS	72" VOLUME MANHOLE STORMFILTER PLAN AND SECTION VIEWS STANDARD DETAIL	1
Approved	09/29/05		1/2



Revised	CONTECH STORMWATER SOLUTIONS	72" VOLUME MANHOLE STORMFILTER TOP VIEW, DATA AND NOTES STANDARD DETAIL	2
Approved	09/29/05		2/2

PROFESSIONAL CERTIFICATION

I, MATTHEW T. ALLEN, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 28567, EXPIRATION DATE: 4/16/11

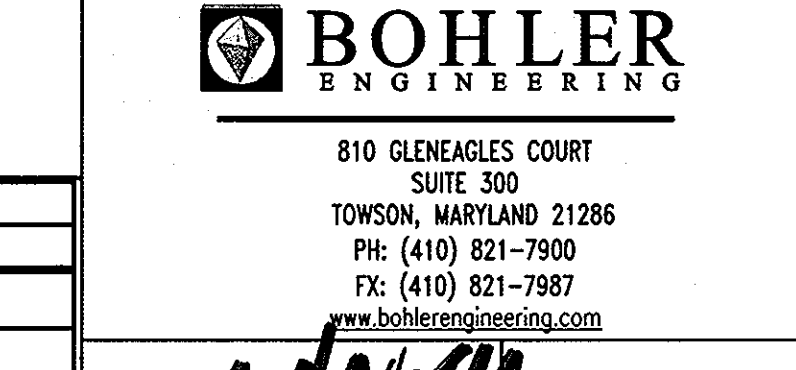
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS
B. Peterson for Peter Bilalson
COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT

NO.	DATE	REVISION DESCRIPTION
1	5/4/09	CHIEF-DEVELOPMENT ENGINEERING DIVISION
2	6/23/09	CHIEF-DIVISION OF LAND DEVELOPMENT
3	6/23/09	DIRECTOR, DEP.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chad Edmont
DATE: 5/4/09

McDONALD'S CORPORATION
7878 POCOMOC AVENUE, JESSUP, HOWARD COUNTY, MARYLAND 20794

SITE DETAILS



DESIGNED BY: J.A.P.
DRAWN BY: R.F.G.
PROJECT NO.: MD075002
DATE: 08/29/08
SCALE: AS NOTED
DRAWING NO. 24 OF 30

ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
LOTS A-4 / PARCEL 652	7878 POCOMOC AVENUE

PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL NO. A-4	PARCEL 652
FLAT RECORDED/GRID	ZONING	TAX MAP NO.	ELECT. DISTR.
20591	M-2	43	6TH
WATER CODE	SEWER CODE	CENSUS TRACT	
692-D-W	B694-B	606901	

GENERAL NOTE:
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RECORD OF SUBSURFACE EXPLORATION									
BORING NO. & LOCATION: 1 - East Corner of Building		PROJECT: Proposed McDonald's Restaurant - Rebuild		 GILES ENGINEERING ASSOCIATES, INC. Milwaukee Los Angeles Madison Dallas Atlanta Washington, D.C.					
SURFACE ELEVATION: 239.6		PROJECT LOCATION: 7878 Pocomoke Avenue							
COMPLETION DATE: 4/29/08		FIELD REPRESENTATIVE: James Evans							
GILES PROJECT NUMBER: 3G-0711005									
MATERIAL DESCRIPTION	Feet Below Surface	Sample No. & Type	N	Q _u (tsf)	Q _p (tsf)	Q _t (tsf)	W (%)	PID	NOTES
4.5" Asphalt	1-SS	14						BDL	
18" Gray and Orange-Brown Silty fine to medium sand, little gravel (Base Course) - Damp	2-SS	13						BDL	
White Silty fine Sand (Fill) - Damp	3-SS	7						BDL	
Orange-Brown Silty fine Sand (Fill) - Damp	4-SS	7						BDL	
Orange-Brown Silty fine Sand, trace mica, Clay and Gravel (Fill) - Moist	5-SS	7						BDL	
Gray Clayey Silt (contains Highly Weathered Black Shale) (Fill) - Moist	6-SS	12		2.0				BDL	
	6-SS	28						BDL	
Gray Clayey Silt to Silty Clay - Moist	7-SS	20		4.0				BDL	
Boring terminated at 16 feet									
WATER OBSERVATION DATA		REMARKS							
<input checked="" type="checkbox"/> WATER ENCOUNTERED DURING DRILLING: None <input checked="" type="checkbox"/> WATER LEVEL AFTER REMOVAL: None <input checked="" type="checkbox"/> CAVE DEPTH AFTER REMOVAL: 8.1 ft. <input checked="" type="checkbox"/> WATER LEVEL AFTER HOURS: <input checked="" type="checkbox"/> CAVE DEPTH AFTER HOURS:									

RECORD OF SUBSURFACE EXPLORATION									
BORING NO. & LOCATION: 2 - South Corner of Building		PROJECT: Proposed McDonald's Restaurant - Rebuild		 GILES ENGINEERING ASSOCIATES, INC. Milwaukee Los Angeles Madison Dallas Atlanta Washington, D.C.					
SURFACE ELEVATION: 238.7		PROJECT LOCATION: 7878 Pocomoke Avenue							
COMPLETION DATE: 4/29/08		FIELD REPRESENTATIVE: James Evans							
GILES PROJECT NUMBER: 3G-0711005									
MATERIAL DESCRIPTION	Feet Below Surface	Sample No. & Type	N	Q _u (tsf)	Q _p (tsf)	Q _t (tsf)	W (%)	PID	NOTES
4.5" Asphalt	1-SS	11						BDL	
18" Gray and Orange-Brown Silty fine to medium sand, little gravel (Base Course) - Damp	2-SS	9		3.0				BDL	
Gray Clayey Silt (Fill) - Damp	3-SS	9						BDL	
Orange-Brown Silty fine Sand, trace mica, Clay and Gravel (Fill) - Moist	4-SS	17		3.0				BDL	
Gray Silt, little Clay - Damp	4-SS	17		3.0				BDL	
Gray Clayey Silt - Damp	5-SS	16		3.0				BDL	
	6-SS	20		3.0				BDL	
Boring terminated at 16 feet									
WATER OBSERVATION DATA		REMARKS							
<input checked="" type="checkbox"/> WATER ENCOUNTERED DURING DRILLING: None <input checked="" type="checkbox"/> WATER LEVEL AFTER REMOVAL: None <input checked="" type="checkbox"/> CAVE DEPTH AFTER REMOVAL: 8.7 ft. <input checked="" type="checkbox"/> WATER LEVEL AFTER HOURS: <input checked="" type="checkbox"/> CAVE DEPTH AFTER HOURS:									

RECORD OF SUBSURFACE EXPLORATION									
BORING NO. & LOCATION: 3 - North Corner of Building		PROJECT: Proposed McDonald's Restaurant - Rebuild		 GILES ENGINEERING ASSOCIATES, INC. Milwaukee Los Angeles Madison Dallas Atlanta Washington, D.C.					
SURFACE ELEVATION: 237.9		PROJECT LOCATION: 7878 Pocomoke Avenue							
COMPLETION DATE: 4/29/08		FIELD REPRESENTATIVE: James Evans							
GILES PROJECT NUMBER: 3G-0711005									
MATERIAL DESCRIPTION	Feet Below Surface	Sample No. & Type	N	Q _u (tsf)	Q _p (tsf)	Q _t (tsf)	W (%)	PID	NOTES
4.5" Asphalt	1-SS	18						BDL	
18" Gray and Orange-Brown Silty fine to medium sand, little gravel (Base Course) - Damp	2-SS	9						BDL	
Orange-Brown Silty fine to medium sand, trace Gravel (Fill) - Damp	3-SS	11						BDL	
White Silty fine Sand - Damp	4-SS	10		4.0				BDL	
White Clayey Silt, little Sand - Damp	5-SS	11						BDL	
	6-SS	9						BDL	
Boring terminated at 16 feet									
WATER OBSERVATION DATA		REMARKS							
<input checked="" type="checkbox"/> WATER ENCOUNTERED DURING DRILLING: None <input checked="" type="checkbox"/> WATER LEVEL AFTER REMOVAL: None <input checked="" type="checkbox"/> CAVE DEPTH AFTER REMOVAL: 7.0 ft. <input checked="" type="checkbox"/> WATER LEVEL AFTER HOURS: <input checked="" type="checkbox"/> CAVE DEPTH AFTER HOURS:									

RECORD OF SUBSURFACE EXPLORATION									
BORING NO. & LOCATION: 4 - West Corner of Building		PROJECT: Proposed McDonald's Restaurant - Rebuild		 GILES ENGINEERING ASSOCIATES, INC. Milwaukee Los Angeles Madison Dallas Atlanta Washington, D.C.					
SURFACE ELEVATION: 237.4		PROJECT LOCATION: 7878 Pocomoke Avenue							
COMPLETION DATE: 4/29/08		FIELD REPRESENTATIVE: James Evans							
GILES PROJECT NUMBER: 3G-0711005									
MATERIAL DESCRIPTION	Feet Below Surface	Sample No. & Type	N	Q _u (tsf)	Q _p (tsf)	Q _t (tsf)	W (%)	PID	NOTES
4.5" Asphalt	1-SS	24						BDL	
18" Gray and Orange-Brown Silty fine to medium sand, little gravel (Base Course) - Damp	2-SS	38		2.5				BDL	
Gray Silty Clay, trace Gravel (Fill) - Damp	3-SS	11						BDL	(a)
Dark Gray Clayey Silt, trace mica (contains Highly Weathered Black Shale) (Fill) - Moist	4-SS	10						BDL	
	5-SS	21						BDL	
	6-SS	18						BDL	
	7-SS	20						BDL	
	8-SS	11						BDL	
Gray Silty fine Sand - Wet	9-SS	12						BDL	
Boring terminated at 21 feet									
WATER OBSERVATION DATA		REMARKS							
<input checked="" type="checkbox"/> WATER ENCOUNTERED DURING DRILLING: 17.5 ft. <input checked="" type="checkbox"/> WATER LEVEL AFTER REMOVAL: None <input checked="" type="checkbox"/> CAVE DEPTH AFTER REMOVAL: 10.3 ft. <input checked="" type="checkbox"/> WATER LEVEL AFTER HOURS: <input checked="" type="checkbox"/> CAVE DEPTH AFTER HOURS:		(a) Poor recovery							

RECORD OF SUBSURFACE EXPLORATION									
BORING NO. & LOCATION: 5 - East Parking Area		PROJECT: Proposed McDonald's Restaurant - Rebuild		 GILES ENGINEERING ASSOCIATES, INC. Milwaukee Los Angeles Madison Dallas Atlanta Washington, D.C.					
SURFACE ELEVATION: 238.8		PROJECT LOCATION: 7878 Pocomoke Avenue							
COMPLETION DATE: 4/29/08		FIELD REPRESENTATIVE: James Evans							
GILES PROJECT NUMBER: 3G-0711005									
MATERIAL DESCRIPTION	Feet Below Surface	Sample No. & Type	N	Q _u (tsf)	Q _p (tsf)	Q _t (tsf)	W (%)	PID	NOTES
4.5" Asphalt	1-SS	12						BDL	
18" Gray and Orange-Brown Silty fine to medium sand, little gravel (Base Course) - Damp	2-SS	11						BDL	
Gray fine Silty Silt, little Clay (Fill) - Damp	3-SS	9						BDL	
Gray Silty fine Sand, little Clay - Damp	4-SS	9						BDL	
Boring terminated at 6 feet									
WATER OBSERVATION DATA		REMARKS							
<input checked="" type="checkbox"/> WATER ENCOUNTERED DURING DRILLING: None <input checked="" type="checkbox"/> WATER LEVEL AFTER REMOVAL: None <input checked="" type="checkbox"/> CAVE DEPTH AFTER REMOVAL: 3.6 ft. <input checked="" type="checkbox"/> WATER LEVEL AFTER HOURS: <input checked="" type="checkbox"/> CAVE DEPTH AFTER HOURS:									

RECORD OF SUBSURFACE EXPLORATION									
BORING NO. & LOCATION: 6 - South Parking Area		PROJECT: Proposed McDonald's Restaurant - Rebuild		 GILES ENGINEERING ASSOCIATES, INC. Milwaukee Los Angeles Madison Dallas Atlanta Washington, D.C.					
SURFACE ELEVATION: 238.7		PROJECT LOCATION: 7878 Pocomoke Avenue							
COMPLETION DATE: 4/29/08		FIELD REPRESENTATIVE: James Evans							
GILES PROJECT NUMBER: 3G-0711005									
MATERIAL DESCRIPTION	Feet Below Surface	Sample No. & Type	N	Q _u (tsf)	Q _p (tsf)	Q _t (tsf)	W (%)	PID	NOTES
4.5" Asphalt	1-SS	10						BDL	
18" Gray Silty fine to medium sand, little Gravel (Base Course) - Damp	2-SS	11						BDL	
Red-Brown Clayey Silt (Fill) - Damp	3-SS	12						BDL	
Red-Brown Silty Clay - Damp	4-SS	12						BDL	
Boring terminated at 6 feet									
WATER OBSERVATION DATA		REMARKS							
<input checked="" type="checkbox"/> WATER ENCOUNTERED DURING DRILLING: None <input checked="" type="checkbox"/> WATER LEVEL AFTER REMOVAL: None <input checked="" type="checkbox"/> CAVE DEPTH AFTER REMOVAL: 3.4 ft. <input checked="" type="checkbox"/> WATER LEVEL AFTER HOURS: <input checked="" type="checkbox"/> CAVE DEPTH AFTER HOURS:									

RECORD OF SUBSURFACE EXPLORATION									
BORING NO. & LOCATION: 7 - North Parking Area		PROJECT: Proposed McDonald's Restaurant - Rebuild		 GILES ENGINEERING ASSOCIATES, INC. Milwaukee Los Angeles Madison Dallas Atlanta Washington, D.C.					
SURFACE ELEVATION: 232.9		PROJECT LOCATION: 7878 Pocomoke Avenue							
COMPLETION DATE: 4/29/08		FIELD REPRESENTATIVE: James Evans							
GILES PROJECT NUMBER: 3G-0711005									
MATERIAL DESCRIPTION	Feet Below Surface	Sample No. & Type	N	Q _u (tsf)	Q _p (tsf)	Q _t (tsf)	W (%)	PID	NOTES
4.5" Asphalt	1-SS	14						BDL	
18" Gray-Brown Silty fine to medium sand, little Gravel (Base Course) - Damp	2-SS	14						BDL	
Light Brown Silty fine to medium Sand - Damp	3-SS	9		2.5				BDL	
White Silty Clay, trace Gravel - Damp	4-SS	9		2.5				BDL	
Boring terminated at 6 feet									
WATER OBSERVATION DATA		REMARKS							
<input checked="" type="checkbox"/> WATER ENCOUNTERED DURING DRILLING: None <input checked="" type="checkbox"/> WATER LEVEL AFTER REMOVAL: None <input checked="" type="checkbox"/> CAVE DEPTH AFTER REMOVAL: 3.4 ft. <input checked="" type="checkbox"/> WATER LEVEL AFTER HOURS: <input checked="" type="checkbox"/> CAVE DEPTH AFTER HOURS:									

RECORD OF SUBSURFACE EXPLORATION									
BORING NO. & LOCATION: 8 - West Parking Area		PROJECT: Proposed McDonald's Restaurant - Rebuild		 GILES ENGINEERING ASSOCIATES, INC. Milwaukee Los Angeles Madison Dallas Atlanta Washington, D.C.					
SURFACE ELEVATION: 232.2		PROJECT LOCATION: 7878 Pocomoke Avenue							
COMPLETION DATE: 4/29/08		FIELD REPRESENTATIVE: James Evans							
GILES PROJECT NUMBER: 3G-0711005									
MATERIAL DESCRIPTION	Feet Below Surface	Sample No. & Type	N	Q _u (tsf)	Q _p (tsf)	Q _t (tsf)	W (%)	PID	NOTES
4.5" Asphalt	1-SS	12						BDL	
18" Gray Silty fine to medium sand, trace Gravel - Damp	2-SS	14						BDL	
White Silty fine Sand - Damp	3-SS	12						BDL	(a)
White Clayey Silt, little Sand - Damp	4-SS	12						BDL	
Boring terminated at 6 feet									
WATER OBSERVATION DATA		REMARKS							
<input checked="" type="checkbox"/> WATER ENCOUNTERED DURING DRILLING: None <input checked="" type="checkbox"/> WATER LEVEL AFTER REMOVAL: None <input checked="" type="checkbox"/> CAVE DEPTH AFTER REMOVAL: 3.2 ft. <input checked="" type="checkbox"/> WATER LEVEL AFTER HOURS: <input checked="" type="checkbox"/> CAVE DEPTH AFTER HOURS:		(a) Poor recovery							



MISS UTILITY
 BEFORE YOU CALL
 811 IN MD
 or 1-800-257-7777
 PROTECT YOURSELF, GO TWO WORKING DAYS NOTICE
 THE CONTRACTOR IS OBLIGATED TO ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

PROFESSIONAL CERTIFICATION
 I, MATTHEW T. ALLEN, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 28567, EXPIRATION DATE: 4/16/11

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS
Brian for Peter B. Silveanu 5/25/2009
 COUNTY HEALTH OFFICER DATE
 HOWARD COUNTY HEALTH DEPARTMENT 50 190

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chad Edwards 5-4-09
 CHIEF-DEVELOPMENT ENGINEERING DIVISION DATE
Colburn HSP 6/23/09
 CHIEF-DIVISION OF LAND DEVELOPMENT 68 DATE
Thomas E. Butler 6/23/09
 DIRECTOR, DEP. DATE

NO.	DATE	REVISION DESCRIPTION
OWNERS:	McDONALD'S CORPORATION PO BOX 55207 AMF O'HARE AIRPORT CHICAGO, IL 60666-0207 CONTACT: JOHN EDBERGER PHONE: (240) 497-3650	DEVELOPER: McDONALD'S USA, LLC BALTIMORE/WASHINGTON REGION 6903 ROCKLEDGE DRIVE, SUITE 100 BETHESDA, MD 20817 CONTACT: JOHN EDBERGER PHONE: (240) 497-3650

McDONALD'S W/ NEW PARKING AND ENTRANCEWAYS
 GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET
 PARCEL A-4, BLOCK B
 7878 POCOMOKE AVENUE, JESSUP, HOWARD COUNTY, MARYLAND 20794
 AREA 1.22 AC. TAX MAP 43 GRID 15 ZONED M-2
 PARCEL A-4 L 920, F. 478 AND L 1091, F. 1
 6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

BOHLER ENGINEERING
 810 GLENEAGLES COURT
 SUITE 300
 TOWSON, MARYLAND 21286
 PH: (410) 821-7900
 FX: (410) 821-7987
 www.bohlerengineering.com

DESIGNED BY: J.A.P.
 DRAWN BY: R.F.G.
 PROJECT NO.: MD075002
 DATE: 08/29/08
 SCALE: AS NOTED
 DRAWING NO. 25 OF 30

ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
LOTS A-4 / PARCEL 652	7878 POCOMOKE AVENUE

PERMIT INFORMATION CHART				
SUBDIVISION NAME GROW FOOD MARKET	SECTION/AREA SECTION 1	LOT/PARCEL NO. A-4	TAX MAP NO. 43	ELECT. DIST. 6TH
FLAT RECORDATION GRID# 20541	ZONING M-2	CENSUS TRACT 60801	SEWER CODE B694-B	
WATER CODE 692-D-W				

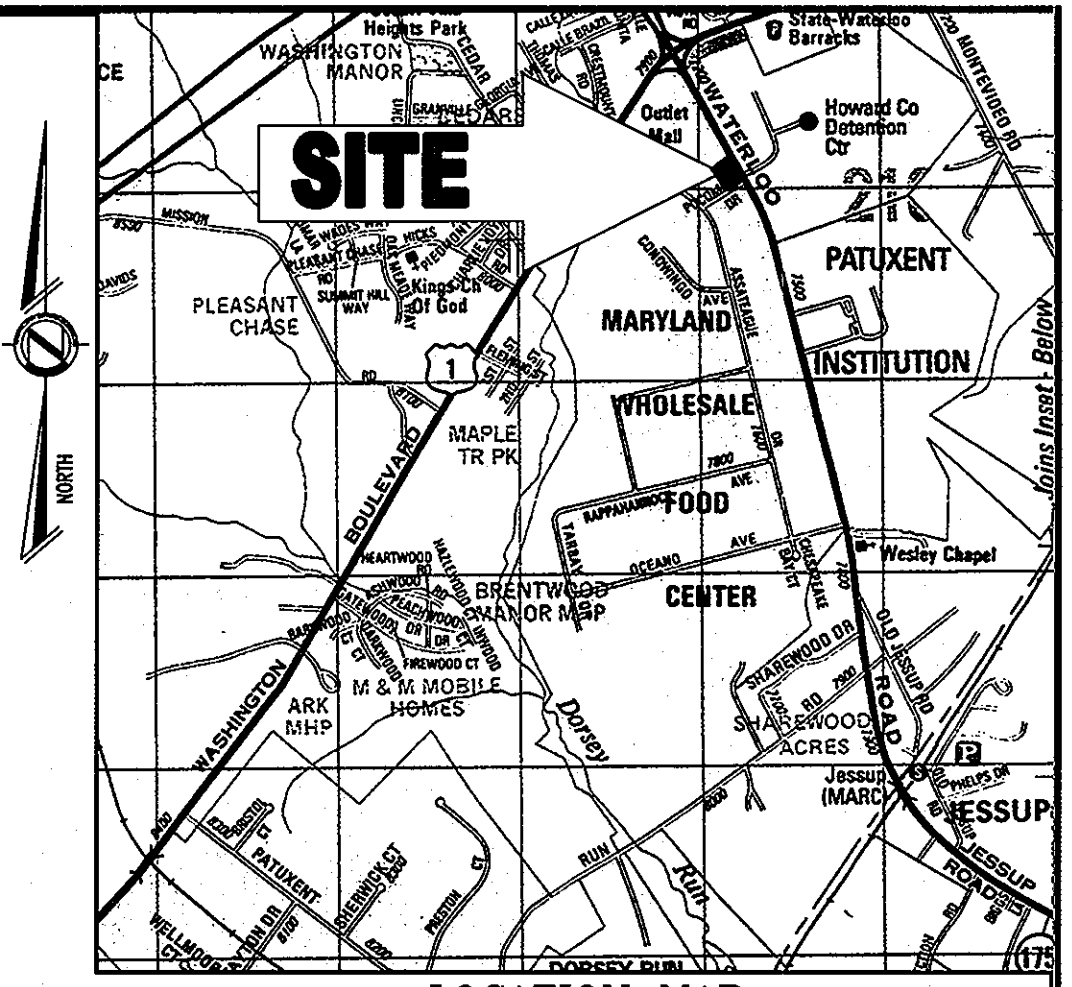
GENERAL NOTE:
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**STREET TREE REQUIREMENTS
PER ROUTE 1 MANUAL**

POCOMOKE AVENUE	
LINEAR FEET OF PERIMETER ADJACENT TO STREET:	119 L.F.
NUMBER OF TREES REQUIRED: SHADE TREE(S)	1 SHADE TREE(S)
NUMBER OF TREES PROVIDED: SHADE TREE(S)	DUE TO OVERHEAD LINES, ORNAMENTAL TREES ARE USED 0 SHAPED 3 ORNAMENTAL TREES
"I" INDICATES PLANT MATERIAL UTILIZED TO FULFILL REQUIREMENT	

**HOWARD COUNTY, MD
COMPLIANCE CHART:**

LANDSCAPE EDGE TYPE	LANDSCAPE CHARACTER	PERIMETER LANDSCAPE TYPES - BASED ON ADJACENT LAND USE		
		SHADE TREE(S) PER LINEAR FEET	EVERGREEN TREE(S) PER LINEAR FEET	SHRUB(S) PER LINEAR FEET
A	LIGHT BUFFER	1:60	0	0
B	MODERATE BUFFER	1:50	1:40	0
C	HEAVY BUFFER	1:40	1:20	0
D	SCREEN	1:60	1:10	0
E	BUFFER - PARKING ADJ. TO ROADWAY	1:40	0	1:4



LOCATION MAP

DELORME STREET ATLAS 2004 PLUS USA
SCALE: 1"=200'

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING	
NUMBER OF PARKING SPACES:	60 SPACES
NUMBER OF TREES REQUIRED: 1/20 SPACES	3 SHADE TREES
NUMBER OF TREES PROVIDED:	3 SHADE TREES
SHADE TREE(S):	
OTHER TREE(S): (2:1 SUBSTITUTION)	
"I" INDICATES PLANT MATERIAL UTILIZED TO FULFILL REQUIREMENT	

SCHEDULE A: PERIMETER LANDSCAPE EDGE

LOCATION	SOUTH PROPERTY LINE (P-1)	NORTH PROPERTY LINE (P-2)	WEST PROPERTY LINE (P-3)	EAST PROPERTY LINE (P-4)
ADJACENT TO	PARKING ADJACENT TO POKOMOKE AVE. RIGHT-OF-WAY	PERIMETER PROPERTIES NON-RESIDENTIAL TO NON-RESIDENTIAL	PERIMETER PROPERTIES NON-RESIDENTIAL TO NON-RESIDENTIAL	PARKING ADJACENT TO WATERLOO ROAD RIGHT-OF-WAY
LANDSCAPE TYPE	TYPE E	TYPE A	TYPE A	TYPE E
LINEAR FEET OF PROPERTY LINE	119 L.F.	217.66 L.F.	271.21 L.F.	280 L.F.
CREDIT FOR EXISTING VEGETATION	NO	NO	NO	NO
CREDIT FOR WALL, FENCE OR BERM	NO	NO	NO	NO
NUMBER OF PLANTS REQUIRED:				
SHADE TREE(S):	3 SHADE TREE(S)	4 SHADE TREE(S)	5 SHADE TREE(S)	7 SHADE TREE(S)
EVERGREEN TREE(S):	0 EVERGREEN TREE(S)	0 EVERGREEN TREE(S)	0 EVERGREEN TREE(S)	0 EVERGREEN TREE(S)
SHRUB(S):	30 SHRUB(S)	0 SHRUB(S)	0 SHRUB(S)	70 SHRUB(S)
NUMBER OF PLANTS PROVIDED:				
SHADE TREE(S):	2 SHADE TREE(S)*	4 SHADE TREE(S)	3 SHADE TREE(S)**	7 SHADE TREE(S)
EVERGREEN TREE(S):	0 EVERGREEN TREE(S)	0 EVERGREEN TREE(S)	0 EVERGREEN TREE(S)	0 EVERGREEN TREE(S)
SHRUB(S): (10:1 SUBSTITUTION)	40 SHRUB(S)	0 SHRUB(S)	20 SHRUB(S)	70 SHRUB(S)
INDICATES PLANT MATERIAL UTILIZED TO FULFILL REQUIREMENT	"I"	"I"	"I"	"I"

* 10 SHRUBS SUBSTITUTED FOR 1 SHADE TREE
** 20 SHRUBS SUBSTITUTED FOR 2 SHADE TREES

MISS UTILITY

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811 IN MD
or 1-800-257-7777
PROTECT YOURSELF. GIVE TWO WORKING DAYS NOTICE.
THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

PROFESSIONAL CERTIFICATION

I, MATTHEW T. ALLEN, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 28567, EXPIRATION DATE: 4/16/11

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS
Peter Besheva 5/20/09
COUNTY HEALTH OFFICER DATE
HOWARD COUNTY HEALTH DEPARTMENT SD

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chad Edwards 5/4/09
CHIEF-DEVELOPMENT ENGINEERING DIVISION DATE
Chad Edwards 6/23/09
CHIEF-DIVISION OF LAND DEVELOPMENT DATE
Thomas J. Butler 6/23/09
DIRECTOR DATE

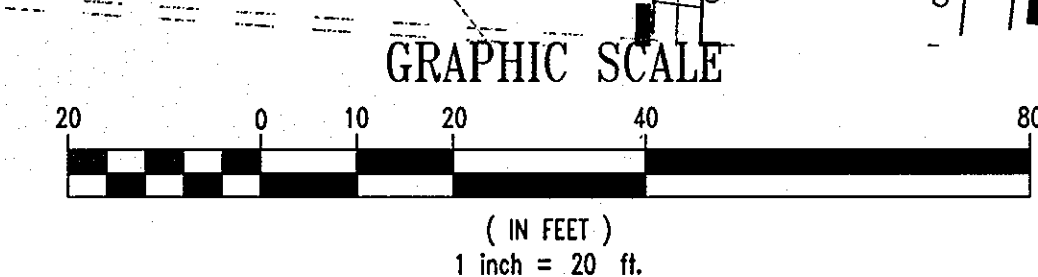
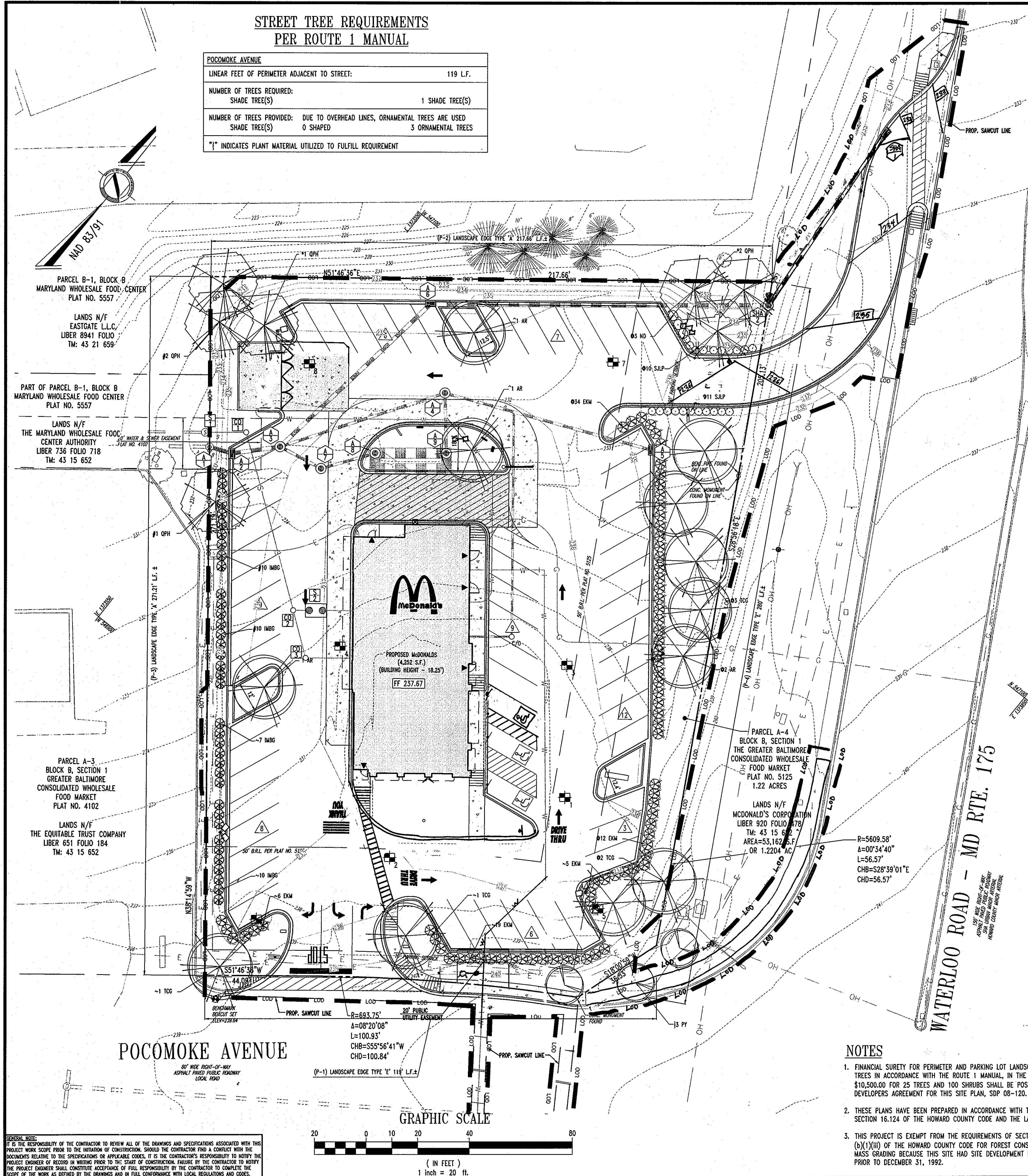
LANDSCAPE SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
SHADE TREE(S)	5	ACER RUBRUM	RED MAPLE	2 1/2"-3" CAL.	B+B
AR	7	QUERCUS PHELLOS	WILLOW OAK	2 1/2"-3" CAL.	B+B
QPH	7	QUERCUS PHELLOS	WILLOW OAK	2 1/2"-3" CAL.	B+B
TCG	7	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LINDEN	2 1/2"-3" CAL.	B+B
ORNAMENTAL TREE(S)	3	PRUNUS X YEDOENSIS	YOSHINO CHERRY	2-2 1/2" CAL.	B+B
PY	3	PRUNUS X YEDOENSIS	YOSHINO CHERRY	2-2 1/2" CAL.	B+B
EVERGREEN SHRUB(S)	76	EUONYMUS KIAUTSCHOVICUS 'MANHATTAN'	MANHATTAN SPREADING EUONYMUS	24-30" HEIGHT	#5 CAN
EKM	37	ILEX X MESSIAE 'BLUE GIRL'	BLUE GIRL HOLLY	24-30" HEIGHT	#5 CAN
IMBG	113	ILEX X MESSIAE 'BLUE GIRL'	BLUE GIRL HOLLY	24-30" HEIGHT	#5 CAN
DECIDUOUS SHRUB(S)	3	NANDINA DOMESTICA	NANDINA	30-36" HEIGHT	B+B
ND	21	SPIRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIREA	15-18" HEIGHT	#3 CAN
SLP	24	SPIRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIREA	15-18" HEIGHT	#3 CAN

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.

NOTES

- FINANCIAL SURETY FOR PERIMETER AND PARKING LOT LANDSCAPING AND STREET TREES IN ACCORDANCE WITH THE ROUTE 1 MANUAL, IN THE AMOUNT OF \$10,500.00 FOR 25 TREES AND 100 SHRUBS SHALL BE POSTED WITH THE DEVELOPERS AGREEMENT FOR THIS SITE PLAN, SDP 08-120.
- THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- THIS PROJECT IS EXEMPT FROM THE REQUIREMENTS OF SECTION 16.1202 (b)(1)(ii) OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION AND MASS GRADING BECAUSE THIS SITE HAD SITE DEVELOPMENT PLAN APPROVAL PRIOR TO DECEMBER 31, 1992.



GENERAL NOTES
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE REQUIREMENTS OF THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER OF RECORD SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS SHOWN BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
LOTS A-4 / PARCEL 652	7878 POCOMOKE AVENUE

PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL NO.	A-4
GW FOOD MARKET	SECTION 1	PARCEL 652	
PLAT RECORDATION #	ZONING	TAX MAP NO.	ELECT. DISTR.
20541	9	43	6TH
WATER CODE	SEWER CODE	CENSUS TRACT	
892-D-W	B694-B	606901	

BOHLER ENGINEERING

810 GLENLEAGLES COURT
SUITE 300
TOWSON, MARYLAND 21286
PH: (410) 821-7900
FX: (410) 821-7987
www.bohlerengineering.com

DESIGNED BY: J.A.P.
DRAWN BY: R.F.G.
PROJECT NO.: MD075002
DATE: 08/29/08
SCALE: 1"=20'
DRAWING NO. 26 OF 30

PROFESSIONAL ENGINEER NO. 28567

PLANTING NOTES:

- PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED, INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INCIDENTALS, AND CLEAN-UP.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT. LAYOUT TO BE APPROVED BY OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.
- PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS; WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE FROM DEFECTS AND INJURIES.
- CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISION SHALL BE MADE FOR A GROWTH GUARANTEE OF AT LEAST ONE YEAR FROM THE DATE OF ACCEPTANCE FOR TREES AND SHRUBS. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE.
- INsofar as it is PRACTICABLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. ANY PLANTS NOT INSTALLED DURING THIS PERIOD WILL BE REJECTED.
- QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z60.1 (REV. 2001) "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- ALL PLANTS SHALL BE PLANTED IN AMENDED TOPSOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK FILLING PROCESSES. PLANTING MIX TO BE AS SHOWN ON PLANTING DETAILS. LARGE PLANTING AREAS TO INCORPORATE FERTILIZER AND SOIL CONDITIONERS AS STATED IN PLANTING SPECIFICATIONS.
- PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE BALL ONLY.
- PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION. ALL PLANT MATERIAL SHALL BE SPRAYED WITH "WILT-PRUF" OR EQUAL AS PER MANUFACTURER'S INSTRUCTIONS.
- NO PLANT, EXCEPT GROUND COVERS, SHALL BE PLANTED LESS THAN TWO FEET FROM EXISTING STRUCTURES AND SIDEWALKS.
- SET ALL PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT, A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANT IN THE CENTER OF THE PIT.
- ALL INJURED ROOTS SHALL BE PRUNED TO MAKE CLEAN ENDS BEFORE PLANTING UTILIZING CLEAN, SHARP TOOLS. IT IS ADVISABLE TO PRUNE APPROXIMATELY 1/3 OF THE GROWTH OF LARGE TREES (2" CALIPER AND OVER) BY THE REMOVAL OF SUPERFLUOUS BRANCHES, THOSE WHICH CROSS, THOSE WHICH RUN PARALLEL, ETC. MAIN LEADER OF TREES WILL NOT BE CUT BACK. LONG SIDE BRANCHES, HOWEVER, MUST BE SHORTENED.
- EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE NATURAL CHARACTER OF PLANT. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES AS A RESULT OF CONSTRUCTION OPERATIONS.
- ALL EXISTING TREES SHALL BE FERTILIZED WITH A REGULAR GARDEN FERTILIZER (5-10-5) UPON COMPLETION OF WORK. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE TRUNK. CONTRACTOR TO ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH SHARP TOOLS AND FILLED AROUND WITH TOPSOIL. COMPLETELY SATURATE THESE AREAS WITH WATER. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR IS TO PROTECT ALL EXISTING TREES TO REMAIN BY ERECTING TREE PROTECTION FENCE AT THE DRIP LINE. THIS WILL ENSURE NO COMPACTION OF THE ROOT MASS.
- ALL PLANTING BEDS SHALL BE MULCHED WITH 3" LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH.
- NEW PLANTING AREAS AND SOD SHALL BE ADEQUATELY IRRIGATED OR WATERED TO ESTABLISH THE PROPOSED PLANTS AND LAWN.
- PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE AS SHOWN ON THE APPROVED LANDSCAPE PLAN MUST BE INSTALLED, INSPECTED AND APPROVED BY THE HOWARD COUNTY LANDSCAPE ARCHITECT. THE HOWARD COUNTY ENGINEER AND LANDSCAPE ARCHITECT SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS: THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER AS REQUIRED BY OR ASSOCIATED WITH A SUBDIVISION OR SITE PLAN APPROVAL BY THE PLANNING BOARD OR ZONING BOARD OF ADJUSTMENT SHALL BE INSTALLED DURING THE FOLLOWING PLANTING SEASONS:

TYPE	DATES
PLANTS	3/15 to 12/15
LAWN	3/15 to 6/15 9/15 to 12/1

FURTHERMORE, THE FOLLOWING TREE VARIETIES SHALL NOT BE PLANTED DURING THE FALL PLANTING SEASON DUE TO THE HAZARDS ASSOCIATED WITH PLANTING THESE TREES IN THIS SEASON.

ACER RUBRUM	POPULUS VARIETIES
BETULA VARIETIES	PRINUS VARIETIES
CARPINUS VARIETIES	PYRUS VARIETIES
CRATEGUS VARIETIES	QUERCUS VARIETIES
KOELREUTERIA	SALIX WEEPING VARIETIES
LIQUID AMBER STYRACIFLUA	TILIA TOMENTOSA
LIRODENDRON TULIPIFERA	ZELKOVA VARIETIES
PLATANUS ACERIFOLIA	

ANY PLANTINGS INSTALLED IN CONFLICT WITH THIS REQUIREMENT MUST RECEIVE THE WRITTEN APPROVAL OF THE HOWARD COUNTY ENGINEER OR LANDSCAPE ARCHITECT, PRIOR TO PLANTING. FAILURE TO COMPLY WITH THESE REQUIREMENTS WILL REQUIRE THE REMOVAL OF THE PLANTING IN QUESTION. THIS REQUIREMENT DOES NOT APPLY TO SEEDING OR SOODING OR PLANTINGS SPECIFICALLY FOR SOIL STABILIZATION PURPOSES. THE PLANTING ASSOCIATED WITH ANY LOT GIVEN A CERTIFICATE OF OCCUPANCY OUTSIDE THESE PERIODS SHALL BE PROVIDED DURING THE PREVIOUS OR NEXT APPROPRIATE SEASON.

- ALL DISTURBED AREAS TO BE TREATED WITH 4" TOPSOIL & SEEDED IN ACCORDANCE WITH PERMANENT STABILIZATION METHODS INDICATED WITHIN THE SOIL EROSION AND SEDIMENT CONTROL NOTES.
- THE CONTRACTOR IS TO PROVIDE AN IRRIGATION DESIGN FOR BOTH LAWN AND BED AREAS. DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. THE CONTRACTOR IS TO VERIFY STATIC PRESSURE PRIOR TO DESIGN. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRESSURE REDUCING DEVICES REQUIRED TO MEET MAXIMUM PRESSURE REQUIREMENT. SYSTEM DESIGN TO SHOW ALL VALVES, PIPING, HEADS, BACK FLOW PREVENTION, METERS AND CONTROLLERS. ALL SLEEVES IN PAVEMENT AREAS MUST BE SHOWN.

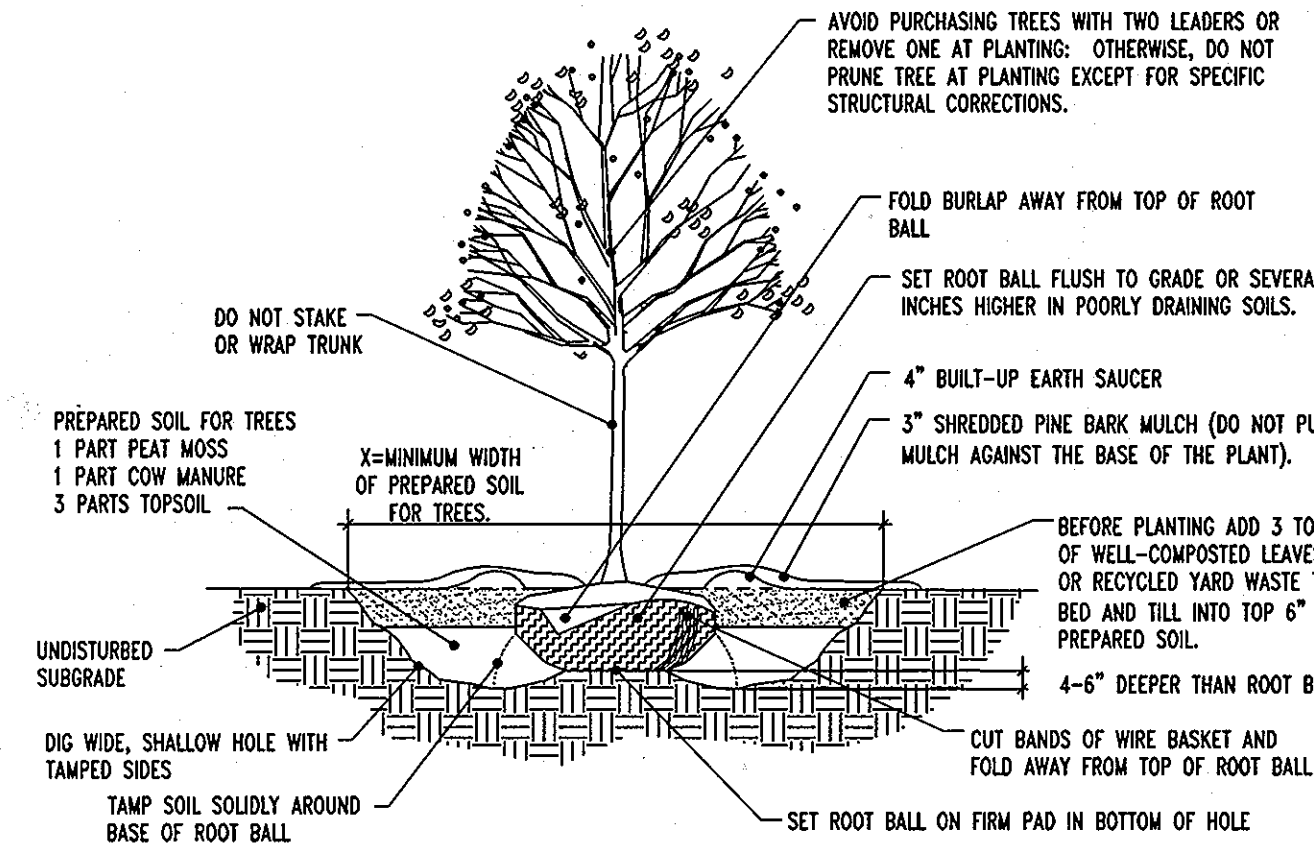
GENERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE REQUIREMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS SHOWN BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

PLANTING SPECIFICATIONS:

- SCOPE OF WORK
 - THIS WORK SHALL CONSIST OF PERFORMING, CLEARING AND SOIL PREPARATION, FINISH GRADING, PLANTING AND DRAINAGE, INCLUDING ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT.
- MATERIALS
 - GENERAL - ALL MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION (D.O.T.) MANUAL OF ROADWAY AND BRIDGE CONSTRUCTION (LATEST EDITION) OR APPROVED EQUAL.
 - PLANTS - ALL PLANTS SHALL BE HEALTHY OR NORMAL GROWTH, WELL ROOTED, FREE FROM DISEASE AND INSECTS.
 - TOPSOIL - LOAMY SILT, HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, pH RANGE BETWEEN 4.5 - 7, BE FREE OF DEBRIS, ROCKS LARGER THAN TWO INCHES (2"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLOUDS. MULCH - DOUBLE SHREDDED HARDWOOD BARK MULCH.
- FERTILIZER AND SOIL CONDITIONER - PLANTED AREAS
 - ORGANIC FERTILIZER - SHALL BE PROCESSED SEWER SLUDGE WITH MINIMAL CONTENT OF 1% NITROGEN AND 2% PHOSPHORIC ACID, EQUAL TO 'NITROHUMUS'.
 - ORGANIC FERTILIZER AND SOIL CONDITIONER - SHALL BE 'GRO-POWER' AND ORGANIC BASE MATERIALS COMPRISED OF DECOMPOSED ANIMAL AND VEGETABLE MATTER AND COMPOSTED TO SUPPORT BACTERIAL CULTURES, CONTAINING NO POULTRY OR HUMAN WASTE. GUARANTEED ANALYSIS (5-3-1): NITROGEN 5%. PHOSPHATE 3%, POTASH 1%. 50% HUMUS AND 15% HUMIC ACIDS.
- GENERAL WORK PROCEDURES
 - LANDSCAPE WORK SHALL COMMENCE AS SOON AS THOSE PORTIONS OF THE SITE ARE AVAILABLE. CONTRACTOR TO UTILIZE WORKMANLIKE STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH DAYS WORK. ALL DEBRIS, MATERIALS, AND TOOLS SHALL BE PROPERLY STOCKPILED OR DISPOSED OF. ALL PAVED SURFACES SHALL BE SWEEPED CLEAN AT THE END OF EACH DAYS WORK.
- WEEDING
 - BEFORE AND DURING PRELIMINARY GRADING AND FINISH GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF AT THE CONTRACTOR'S EXPENSE.
- TOPSOILING
 - CONTRACTOR TO PROVIDE FOUR INCHES (4") MINIMUM THICK TOPSOIL LAYER IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO PRODUCE A FOUR INCH (4") COMPACTED THICKNESS. TOPSOIL PRESENT AT THE SITE, IF ANY, MAY BE USED TO SUPPLEMENT TOTAL AMOUNT REQUIRED. CONTRACTOR TO FURNISH AN ANALYSIS OF ON-SITE TOPSOIL UTILIZED IN ALL PLANTING AREAS. ADJUST pH AND NUTRIENT LEVELS AS REQUIRED TO ENSURE AN ACCEPTABLE GROWING MEDIUM.
- SOIL CONDITIONING
 - CULTIVATE ALL AREAS TO BE PLANTED TO A DEPTH OF 6". ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF AT THE CONTRACTOR'S EXPENSE. SPREAD EVENLY IN ALL PLANTING AREAS AND TILL (2 DIRECTIONS) INTO TOP 4" WITH THE FOLLOWING PER 1,000 SQ. FT.:
20 POUNDS 'GRO-POWER'
100 POUNDS AGRICULTURAL GYPSUM
20 POUNDS NITROFORM (COURSE) 38-0-0 BLUE CHIP
- SOIL MODIFICATIONS:
 - THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6 TO 12 IN. OF MOST PLANTING SOILS TO IMPROVE THE SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS. USE COMPOSTED BARK, RECYCLED YARD WASTE OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A pH HIGHER THAN 7.5.
 - MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. IMPROVE DRAINAGE IN HEAVY SOILS BY PLANTING ON RAISED MOUNDS OR BEDS AND INCLUDING SUBSURFACE DRAINAGE LINES.
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
- PLANTING POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
- PREPARED SOIL SHALL BE TAMPED FIRMLY AT BOTTOM OF PIT. FILL PREPARED SOIL AROUND BALL OF PLANT 1/2 WAY, AND INSERT PLANT TABLETS. COMPLETE BACK FILL AND WATER THOROUGHLY.
- ALL PLANTS SHALL BE SET SO THAT, THEY BEAR THE SAME RELATION TO THE REQUIRED GRADE AS THEY BORE TO THE NATURAL GRADE BEFORE BEING TRANSPLANTED.
- PREPARE RAISED EARTH BASIN AS WIDE AS PLANTING HOLE OF EACH TREE.
- WATER IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACK FILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED.
- PRUNE ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS TO A MIN. OF 7' BRANCHING HEIGHT.
- GROUND COVER
 - ALL GROUND COVER AREAS SHALL RECEIVE A 1/4" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING GROUND COVER.
 - SPACING AND VARIETY OF GROUND COVER SHALL BE AS SHOWN ON DRAWINGS.
 - IMMEDIATELY AFTER PLANTING GROUND COVER, CONTRACTOR SHALL THOROUGHLY WATER GROUND COVER.
 - ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT BEFORE FINAL LANDSCAPE INSPECTION. GROUND COVER AREAS SHALL BE WEEDED PRIOR TO APPLYING PRE-EMERGENT. PRE-EMERGENT TO BE APPLIED AS PER MANUFACTURER'S RECOMMENDATION.
- FINISH GRADING
 - ALL AREAS WILL BE RECEIVED BY THE CONTRACTOR AT SUBSTANTIALLY PLUS/MINUS .1 FOOT OF FINISH GRADE.
 - ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE, UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT. SOIL AREAS ADJACENT TO THE BUILDINGS SHALL SLOPE AWAY.
 - ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER.
- GUARANTEE
 - CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM ACCEPTANCE OF JOB. OWNER TO SECURE A MAINTENANCE BOND FROM THE CONTRACTOR FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE COMMENCEMENT OF THE GUARANTEE PERIOD AND PASSES A FINAL INSPECTION BY THE OWNER OR OWNERS REPRESENTATIVE.
- CLEANUP
 - UPON THE COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
 - MAINTAIN TREES, SHRUBS AND OTHER PLANTS BY PRUNING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS. TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED. RESTORE OR REPLACE DAMAGED WRAPPINGS. SPRAY WITH HERBICIDE AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.
 - MAINTAIN LAWNS BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, AND OTHER OPERATIONS SUCH AS ROLLING, REGRADING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.
- MAINTENANCE (ALTERNATE BID)
 - COST PER MONTH AFTER INITIAL 90-DAY MAINTENANCE PERIOD.

NOTE:

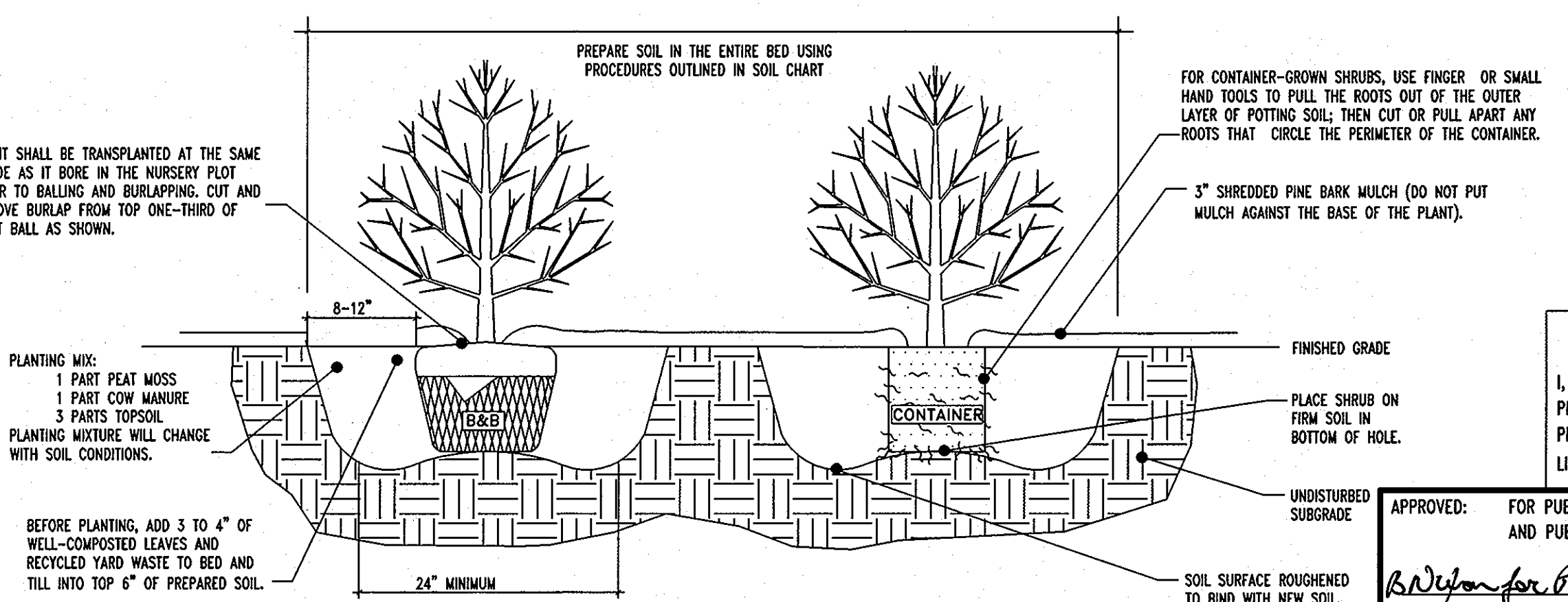
- LIGHTING SHALL CONFORM TO SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.



REFERENCE: ARCHITECTURAL GRAPHIC STANDARDS 1998 CUMULATIVE SUPPLEMENT.
DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

NOTES FOR DECIDUOUS AND EVERGREEN TREE PLANTINGS:

- NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
- REMOVE ALL ROPE FROM TRUNK & TOP OF ROOT BALL. FOLD BURLAP BACK 1/3 FROM TOP OF ROOT BALL.
- PLANTING DEPTH SHALL BE THE SAME AS GROWN IN NURSERY.
- THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
- THE BOTTOM OF PLANTING PIT EXCAVATIONS SHOULD BE ROUGH TO AVOID MATING OF SOIL LAYERS AS NEW SOIL IS ADDED. IT IS PREFERABLE TO TILL THE FIRST LIFT (2 TO 3 IN.) OF PLANTING SOIL INTO THE SUBSOIL.



REFERENCE: ARCHITECTURAL GRAPHIC STANDARDS 1998 CUMULATIVE SUPPLEMENT.
DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL
NOT TO SCALE

GENERAL RANGE OF SOIL MODIFICATIONS & VOLUMES FOR VARIOUS SOIL CONDITIONS

POST-CONSTRUCTION SOIL CONDITION	MIN./ WIDTH PREPARED SOIL FOR TREES (X)	TYPE OF PREPARATION
GOOD SOIL (NOT PREVIOUSLY GRADED OR COMPACTED, TOPSOIL LAYER INTACT)	6 FT. OR TWICE THE WIDTH OF THE ROOT BALL, WHICHEVER IS GREATER	LOOSEN THE EXISTING SOILS TO THE WIDTHS AND DEPTHS SHOWN IN DETAILS ABOVE.
COMPACTED SOIL (NOT PREVIOUSLY GRADED, TOPSOIL LAYER DISTURBED BUT NOT ELIMINATED)	15 FT.	LOOSEN THE EXISTING SOILS TO THE WIDTHS AND DEPTHS SHOWN IN DETAILS ABOVE; ADD COMPOSTED ORGANIC CONTENT UP TO 5% DRY WEIGHT.
GRADED SUBSOILS AND CLEAN FILLS WITH CLAY CONTENT BETWEEN 5 & 35%	20 FT.	MINIMUM TREATMENT: LOOSEN EXISTING SOIL TO WIDTHS AND DEPTHS SHOWN, ADD COMPOSTED ORGANIC MATTER TO BRING ORGANIC CONTENT UP TO 5% DRY WEIGHT. OPTIMUM TREATMENT: REMOVE TOP 8-10 IN. OR THE EXISTING SOILS TO THE WIDTHS AND DEPTHS SHOWN, ADD 8-10 IN. OF LOAM TOPSOIL.
POOR QUALITY FILLS, HEAVY CLAY SOILS, SOILS CONTAMINATED WITH RUBBLE OR TOXIC MATERIAL	20 FT.	REMOVE EXISTING SOILS TO THE WIDTHS AND DEPTHS CONTAMINATED WITH RUBBLE OR TOXIC MATERIAL.

REFERENCE: ARCHITECTURAL GRAPHIC STANDARDS 1998 CUMULATIVE SUPPLEMENT.

SEEDING SPECIFICATIONS

- PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 2" DIAMETER.
- PRIOR TO SEEDING, CONSULT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
- SEEDING RATES:

PERENNIAL RYEGRASS	1/2 LB/1,000 SQ FT
KENTUCKY BLUEGRASS	1 LB/1,000 SQ FT
RED FESCUE	1 1/2 LBS/1,000 SQ FT
SPREADING FESCUE	1 1/2 LBS/1,000 SQ FT
FERTILIZER (20:10:10)	14 LBS/1,000 SQ FT
MULCH	90 LBS/1,000 SQ FT
- GERMINATION RATES WILL VARY AS TO TIME OF YEAR FOR SOWING. CONTRACTOR TO IRRIGATE SEED AREA UNTIL AN ACCEPTABLE STAND OF COVER IS ESTABLISHED BY OWNER.

MISS UTILITY



PROFESSIONAL CERTIFICATION

I, MATTHEW T. ALLEN, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 28567, EXPIRATION DATE: 4/16/11

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS
John E. Edberger 5/20/2009
COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chad Edwards 5-4-9
CHIEF-DEVELOPMENT ENGINEERING DIVISION DATE
Collette HSO 6/23/09
CHIEF-DIVISION OF LAND DEVELOPMENT DATE
Thomas J. Butler 6/23/09
DIRECTOR, DEP. DATE

NO. DATE REVISION DESCRIPTION

OWNERS: McDONALD'S CORPORATION
PO BOX 86207
AMF O'HARE AIRPORT
CHICAGO, IL 60686-0207
CONTACT: JOHN EIDBERGER
PHONE: (240) 497-3650

DEVELOPER: McDONALD'S USA, LLC
BALTIMORE/WASHINGTON REGION
6903 ROCKLEDGE DRIVE, SUITE 100
BETHESDA, MD 20817
CONTACT: JOHN EIDBERGER
PHONE: (240) 497-3650

McDONALD'S W/ NEW PARKING AND ENTRANCEWAYS

GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET
PARCEL A-4, BLOCK B
7878 POCONOXE AVENUE, JESSUP, HOWARD COUNTY, MARYLAND 20794

AREA 1.22 AC. TAX MAP 43 GRID 15 ZONED M-2
PARCEL A-4 L 920, F. 478 AND L 1091, F. 1
6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE

LANDSCAPE NOTES AND DETAILS



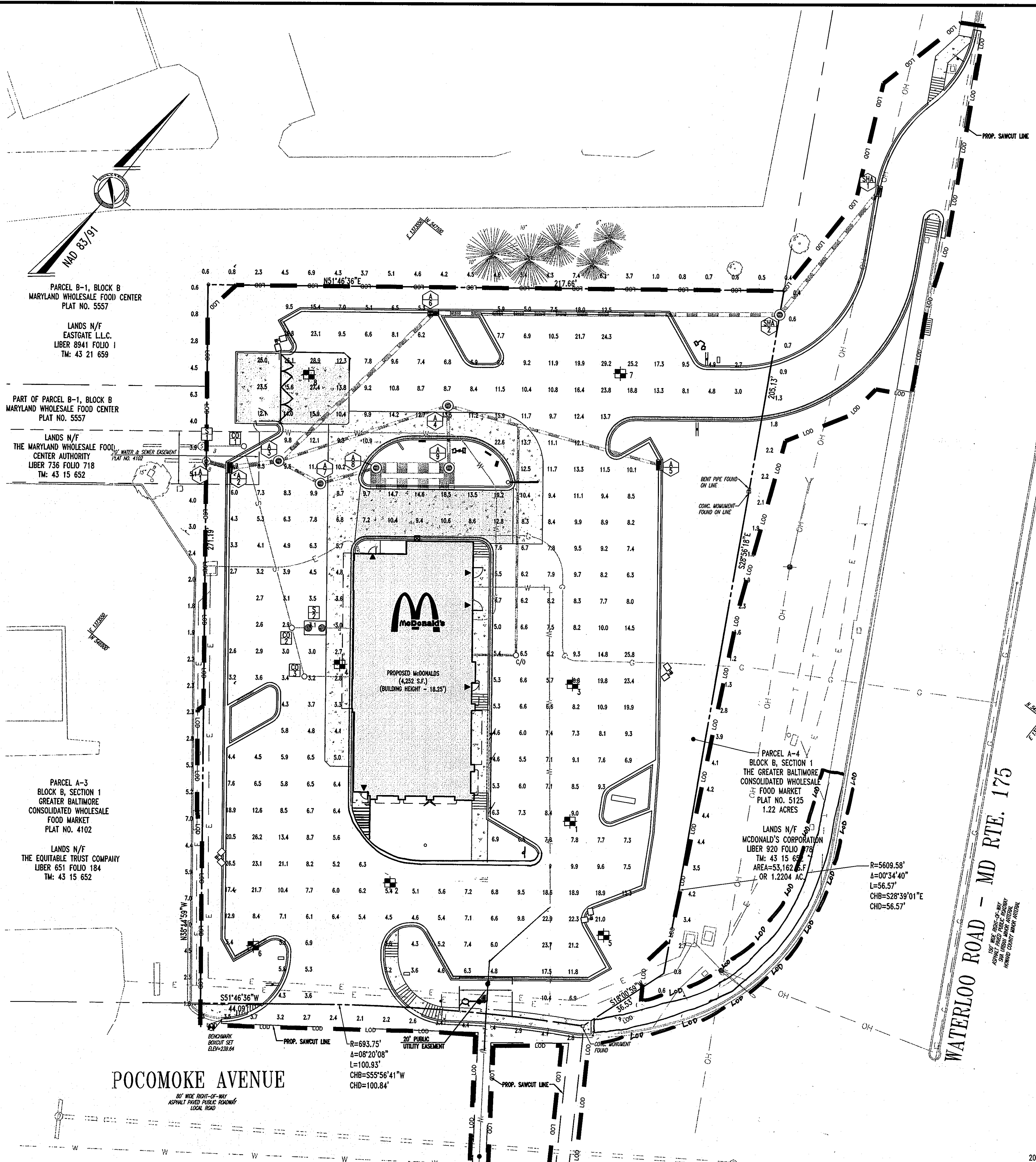
810 GLENEAGLES COURT
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TOWSON, MARYLAND 21286
PH: (410) 821-7900
FX: (410) 821-7987
www.bohlereengineering.com

DESIGNED BY: J.A.P.
DRAWN BY: R.F.G.
PROJECT NO.: M0075002
DATE: 08/29/08
SCALE: AS NOTED
DRAWING NO. 17 OF 30

PROFESSIONAL ENGINEER NO. 28567

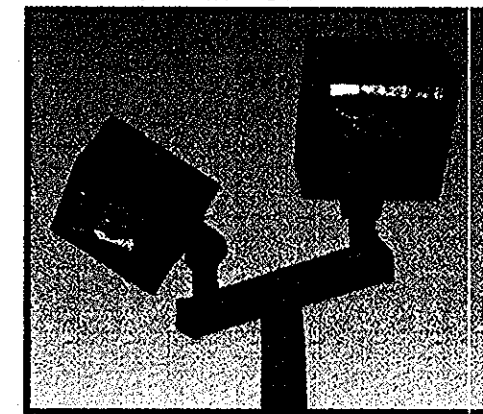
ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
LOTS A-4 / PARCEL 652	7878 POCONOXE AVENUE

PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL NO.	AREA
GBCW FOOD MARKET	SECTION 1	LOT/PARCEL NO. A-4	PARCEL 652
PLAT RECORDATION	GRID	ZONING	TAX MAP NO.
20091	9	M-2	43
WATER CODE	SEWER CODE	ELECT. DISTR.	CENSUS TRACT
692-D-W	B694-B	6TH	606901



- NOTES:**
1. THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE FOLLOWING CRITERIA. ANY SUBSTITUTIONS IN SPECIFIED FIXTURES OR GRANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF SECURITY LIGHTING.
 2. THE CONTRIBUTION OF THE METAL HALIDE SOFFIT / BUILDING LIGHTING IS NOT REFLECTED ON THIS DRAWING.
 3. DISTANCE BETWEEN READINGS: 10'
 4. FINAL ADJUSTMENTS TO AIMING ANGLE/DIRECTION OF FIXTURES MAY BE REQUIRED TO ELIMINATE LIGHT TRESPASS OR GLARE ONTO ADJOINING PROPERTIES OR ROADWAYS.
 5. FOOTCANDLE LEVELS SHOWN ARE MAINTAINED. MAINTENANCE FACTOR USED ON THIS DRAWING IS .75

ASB SERIES



A fully adjustable and directional lighting system designed for maximum flexibility and the changes of today's lighting needs. Adjustable mounting allows for up to 45° tilt above horizontal to optimize performance. Fixed arm mounting provides true cutoff in the same value-priced luminaire.

Fixture Specifications

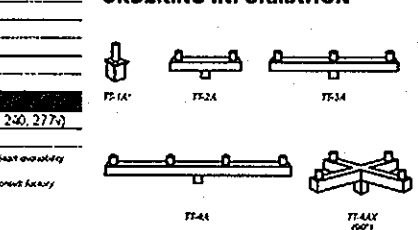
- Formed aluminum housing
- Access to lamp and ballast compartments through hinged door assembly
- One-piece tempered glass lens
- Optical system fabricated of polished aluminum; provides optimum efficiency for long and wide light distributions
- Luminaires finished in weatherproof powder-coat finish
- Type C includes adjustable tension adjuster
- Includes magnetic/adjustable light cut-off shield
- Control factory for external glare shield options
- Includes lamp and arm (Type F)
- Available with photocell
- Available with polycarbonate shield
- Suitable for wall mounting

ORDERING INFORMATION

SAMPLE CATALOG NUMBER
ASB X XXXXXXX XX XX

ITEM	DESCRIPTION	QUANTITY	UNIT
ASB	Adjustable Spot Light	8	EA
MT	Mounting Bracket	4	EA
SSP	SSP-22-11-TT (5")	4	EA

MOUNTING BRACKET ORDERING INFORMATION



1035 Johnson Drive • Buffalo Grove, IL 60089 • Toll-free: 800-544-4848 • Phone: 847-279-0627 • Fax: 847-279-0542

PAVED SURFACE READINGS

AVERAGE	9.5
MAXIMUM	29.2
MINIMUM	2.3
AVG-SHIN	4.15
MAX-SHIN	12.70

PROPERTY LINE READINGS

AVERAGE	3.0
MAXIMUM	7.4
MINIMUM	0.4
AVG-SHIN	7.44
MAX-SHIN	18.50

FIXTURE TYPE:	SYMBOL	QUANTITY	FEET TO TOP BRACKETS	QUANTITY	MOUNTING HEIGHT	LUMENS	POLE TYPE: *	QUANTITY
ASB-1000MH-11-MT	[Symbol]	8	TT-2A	4	24'	110,000	SSP-22-11-TT (5")	4

* POLES SPECIFIED ON THIS DRAWING ARE RATED FOR AN 80 MPH WIND LOAD. FOR AREAS WHERE THE WIND LOAD CRITERIA EXCEEDS 80 MPH, PLEASE CONSULT FACTORY FOR PROPER POLE SPECIFICATION AND MODEL NUMBER.

NOTE: ALL ASB FIXTURES TO BE INSTALLED TILTED AT A 30 DEGREE ANGLE, UNLESS OTHERWISE SPECIFIED.

THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA, TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRES MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.

** - SPECIFY COLOR

NOTES:

1. THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA, TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRES MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.
2. LIGHTING PLAN WAS PREPARED BY: SECURITY LIGHTING SYSTEMS, 1085 JOHNSON DR., BUFFALO GROVE, ILLINOIS 60089. ENTITLED: "POINT-BY-POINT FOOTCANDLE PLOT FOR MCDONALD'S COLUMBIA, MD". JOB NUMBER: 1PC20454. DATED: 6/9/08. PHONE: 1-800-544-4848.
3. LIGHTING SHALL CONFORM TO SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.



BEFORE YOU DIG CALL
811 IN MD
or 1-800-257-7777
PROTECT YOURSELF, GIVE TWO WORKING DAYS NOTICE
THE CONTRACTOR TO CALL MISS UTILITY 48 HOURS PRIOR TO ANY CONSTRUCTION.

PROFESSIONAL CERTIFICATION

I, MATTHEW T. ALLEN, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 28567, EXPIRATION DATE: 4/16/11

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS
Byron A. Peter Zsilowson 5/20/2009
COUNTY HEALTH OFFICER DATE
HOWARD COUNTY HEALTH DEPARTMENT SO 790

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chad Edwards 5-4-09
CHIEF-DEVELOPMENT ENGINEERING DIVISION DATE
Colman 6/23/09
CHIEF-DIVISION OF LAND DEVELOPMENT DATE
Thomas J. Padden 6/23/09
DIRECTOR, DEP. DATE

NO.	DATE	REVISION DESCRIPTION
OWNERS:		
McDONALD'S CORPORATION		McDONALD'S USA, LLC
PO BOX 66207		BALTIMORE/WASHINGTON REGION
AMP O'HARE AIRPORT		6903 ROCKLEDGE DRIVE, SUITE 100
CHICAGO, IL 60656-0007		BETHESDA, MD 20817
CONTACT: JOHN EIDENBERGER		CONTACT: JOHN EIDENBERGER
PHONE: (240) 497-3650		PHONE: (240) 497-3650
McDONALD'S W/ NEW PARKING AND ENTRANCEWAYS		
GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET		
PARCEL A-4, BLOCK B		
7878 POCOMOKE AVENUE, JESSUP, HOWARD COUNTY, MARYLAND 20794		
AREA 1.22 AC. TAX MAP 43 GRID 15 ZONED M-2		
PARCEL A-4 L 920, F. 478 AND L 1091, F. 1		
6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND		

LIGHTING PLAN

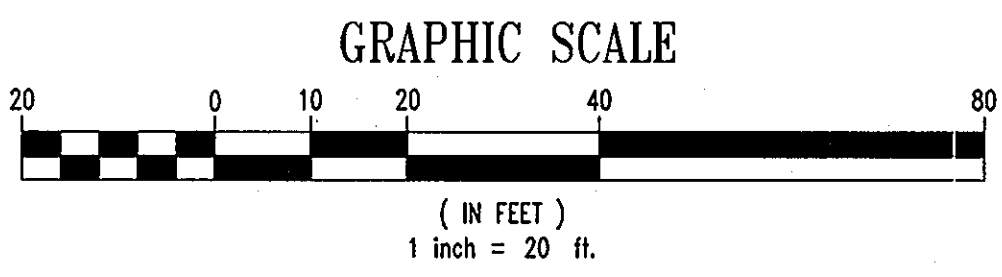


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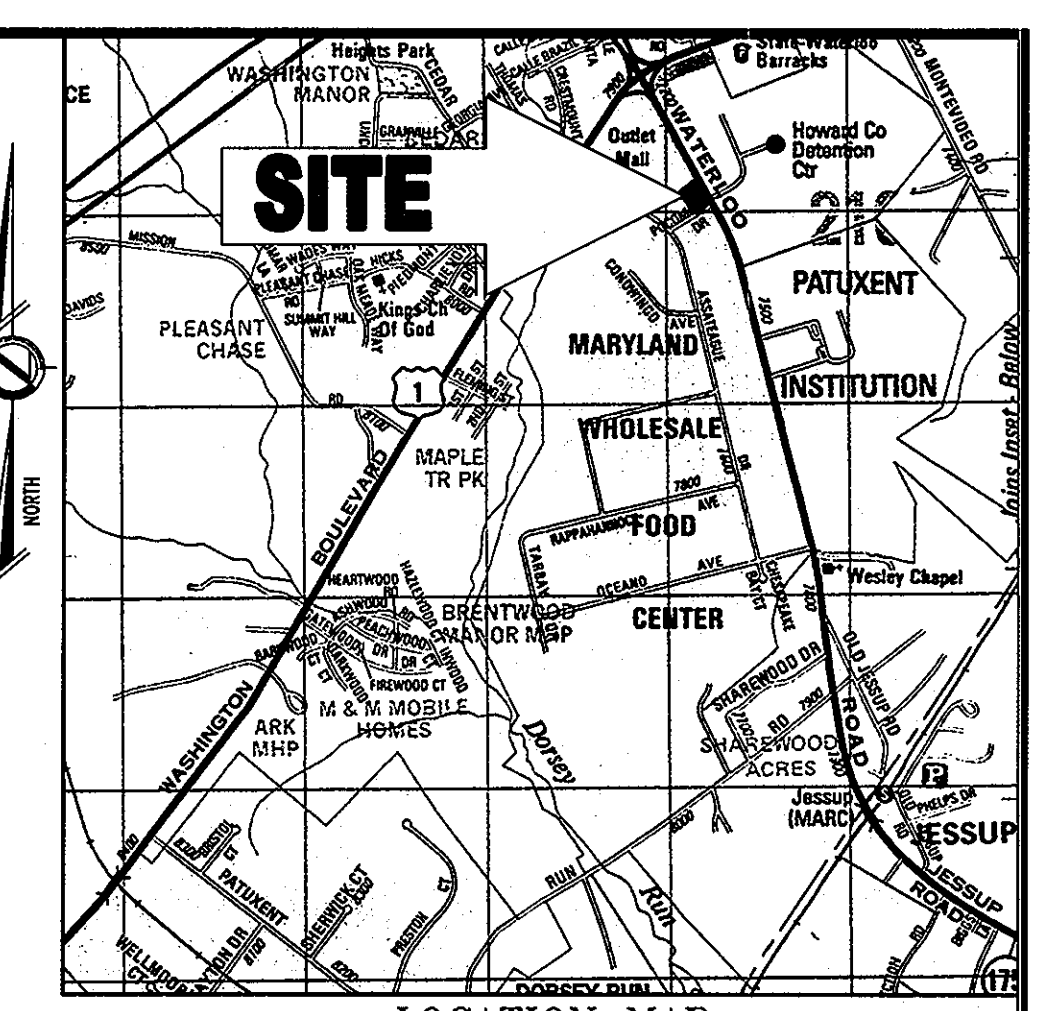
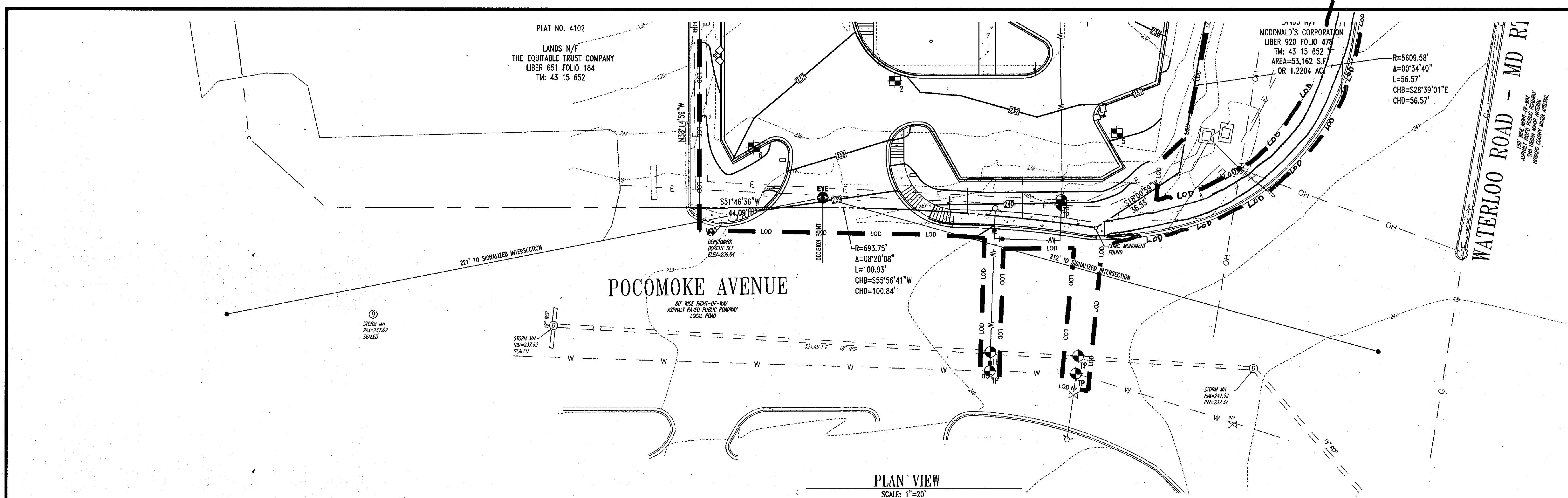
DESIGNED BY: J.A.P.
DRAWN BY: R.F.G.
PROJECT NO.: MD075002
DATE: 08/29/08
SCALE: 1"=20'
PROFESSIONAL ENGINEER NO. 28567 DRAWING NO. 28-DR-170

ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
LOTS A-4 / PARCEL 652	7878 POCOMOKE AVENUE

PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL NO. A-4	PARCEL 652
GBCV FOOD MARKET	SECTION 1		
PLAT RECORDATION GRID#	ZONING	TAX MAP NO.	ELECT. DISTR.
20891	9	43	6TH
WATER CODE	SEWER CODE		
692-D-W	B694-B		

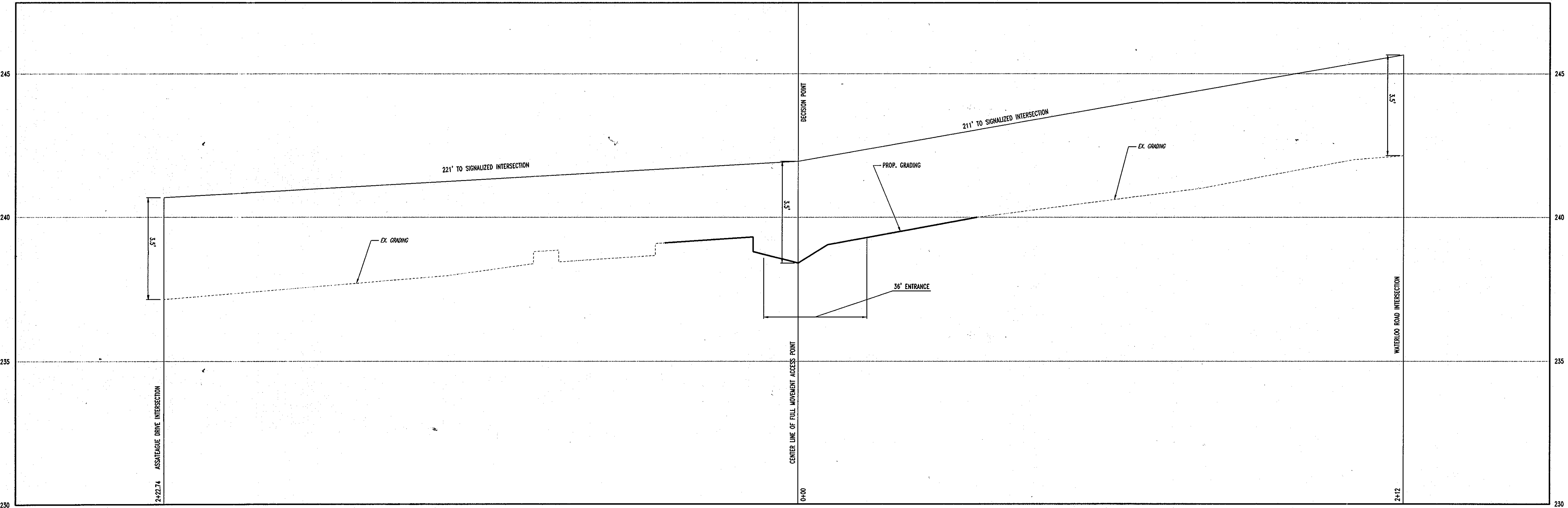


GENERAL NOTE: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.



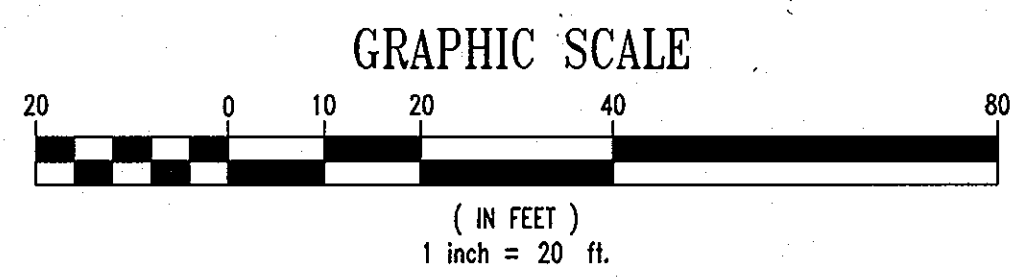
LOCATION MAP
 COPYRIGHT 2003
 DELORME STREET ATLAS 2004 PLUS USA
 SCALE: 1"=2000'

PLAN VIEW
 SCALE: 1"=20'



SITE DISTANCE PROFILE

SCALE: 1" = 20' HORIZONTAL
 1" = 2' VERTICAL



McDONALD'S ACCESS LOCATIONS	
ACCESS	LOCATION
POCOMOKE AVENUE	N 546,844 E 1,373,713

ADDRESS CHART			
LOT/PARCEL #	STREET ADDRESS		
LOTS A-4 / PARCEL 652	7878 POCOMOKE AVENUE		

PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL NO.	SECTION
GBOW FOOD MARKET	SECTION 1	A-4	PARCEL 652
PLAT RECORDATION GRID#	ZONING	TAX MAP NO.	ELECT. DISTR.
205A1	M-2	43	6TH
WATER CODE	SEWER CODE	CENSUS TRACT	
692-D-W	B694-B	606901	

MISS UTILITY

BEFORE YOU DIG CALL
811 IN MD
 or 1-800-257-7777
 PROTECT YOURSELF. GIVE TWO WORKING DAYS NOTICE. THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

PROFESSIONAL CERTIFICATION

I, MATTHEW T. ALLEN, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 28567, EXPIRATION DATE: 4/16/11

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWAGE SYSTEMS
B. Nelson for Peter B. Silvers DATE 5/20/2009
 COUNTY HEALTH OFFICER HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Clayton Edwards DATE 5-4-9
 CHIEF-DEVELOPMENT ENGINEERING DIVISION
W. H. H. H. DATE 6/22/09
 CHIEF-DIVISION OF LAND DEVELOPMENT
W. H. H. H. DATE 6/23/09
 DIRECTOR, DEP.

NO.	DATE	REV. DET. SHE. & ADD. COMMENTS	REVISION DESCRIPTION
1	7/23/09	Rev Det SHA & Add	

OWNERS	DEVELOPER
McDONALD'S CORPORATION PO BOX 66207 AMF O'HARE AIRPORT CHICAGO, IL 60666-0207 CONTACT: JOHN EIDBERGER PHONE: (240) 497-3850	McDONALD'S USA, LLC BALTIMORE/WASHINGTON REGION 6903 ROCKLEDGE DRIVE, SUITE 100 BETHESDA, MD 20817 CONTACT: JOHN EIDBERGER PHONE: (240) 497-3850

McDONALD'S W/ NEW PARKING AND ENTRANCEWAYS
 GREATER BALTIMORE CONSOLIDATED WHOLESALE FOOD MARKET
 PARCEL A-4, BLOCK B
 7878 POCOMOKE AVENUE, JESSUP, HOWARD COUNTY, MARYLAND 20794

AREA 1.22 AC. TAX MAP 43 GRID 15 ZONED M-2
 PARCEL A-4 L. 920, F. 478 AND L. 1091, F. 1
 6TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

SITE DISTANCE ANALYSIS PLAN



810 GLENEAGLES COURT
 SUITE 300
 TOWSON, MARYLAND 21286
 PH: (410) 821-7900
 FX: (410) 821-7987
 www.bohlerengineering.com

DESIGNED BY: J.A.P.
 DRAWN BY: R.F.G.
 PROJECT NO.: MD075002
 DATE: 08/29/08
 SCALE: 1"=20'
 DRAWING NO. 30 OF 30
 PROFESSIONAL ENGINEER NO. 28567

GENERAL NOTE:
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS SET FORTH BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.