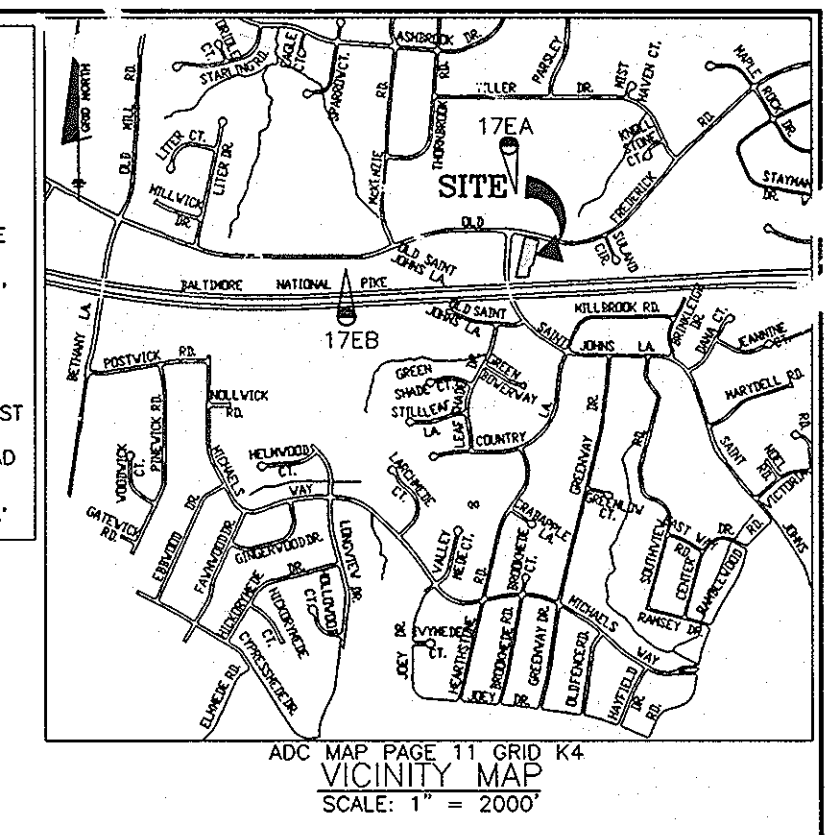


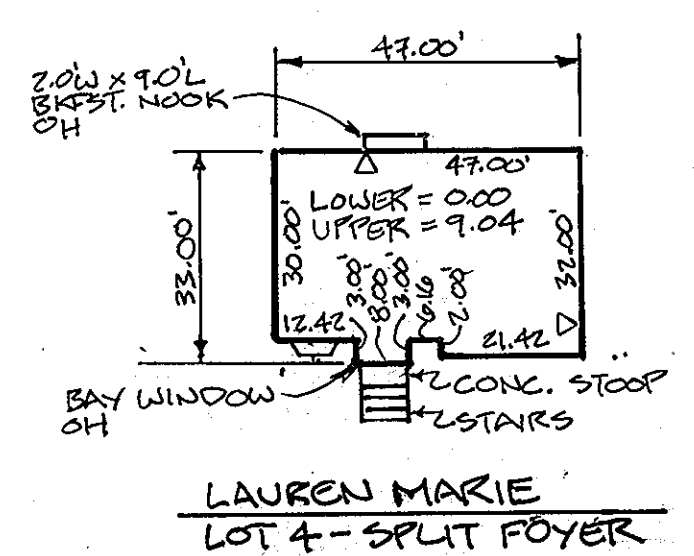
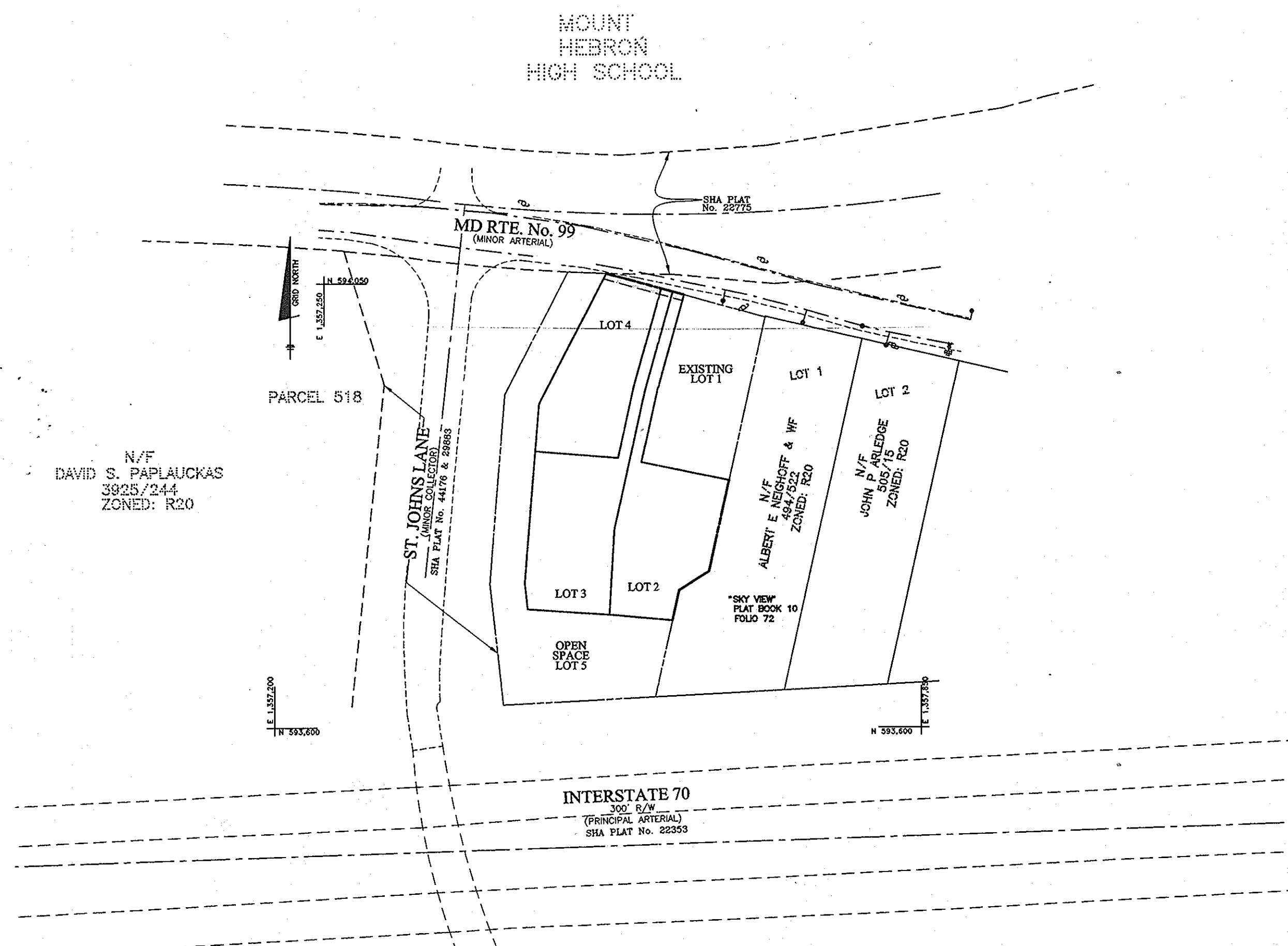
SITE DEVELOPMENT PLAN FULTON PROPERTY LOTS 2 THRU 4

BENCH MARKS NAD'83
 HO. CO. #17EA ELEV. 373.36
 STAMPED BRASS DISK SET ON TOP OF CONC. (3' DEEP) COLUMN LOCATED IN THE ISLAND IN FRONT OF MOUNT HEBRON HIGH SCHOOL, 33.7' SOUTH OF THE FLAG POLE AND 21.3' NORTH OF THE CURB AND 49.7' WEST OF 1/2" WHITE PINE.
 N 594,357.7264' E 1,357,519.3741'
 HO. CO. #17EB ELEV. 348.10
 STAMPED BRASS DISK SET ON TOP OF CONC. (3' DEEP) CIRCULAR BASE LOCATED 224' WEST OF THE ENTRANCE TO BETHANY FIRE STATION, 19' SOUTH OF THE CL OF OLD FREDERICK ROAD AND 38.6' EAST OF C&E POLE #474631
 N 593,814.0053' E 1,355,731.8846'



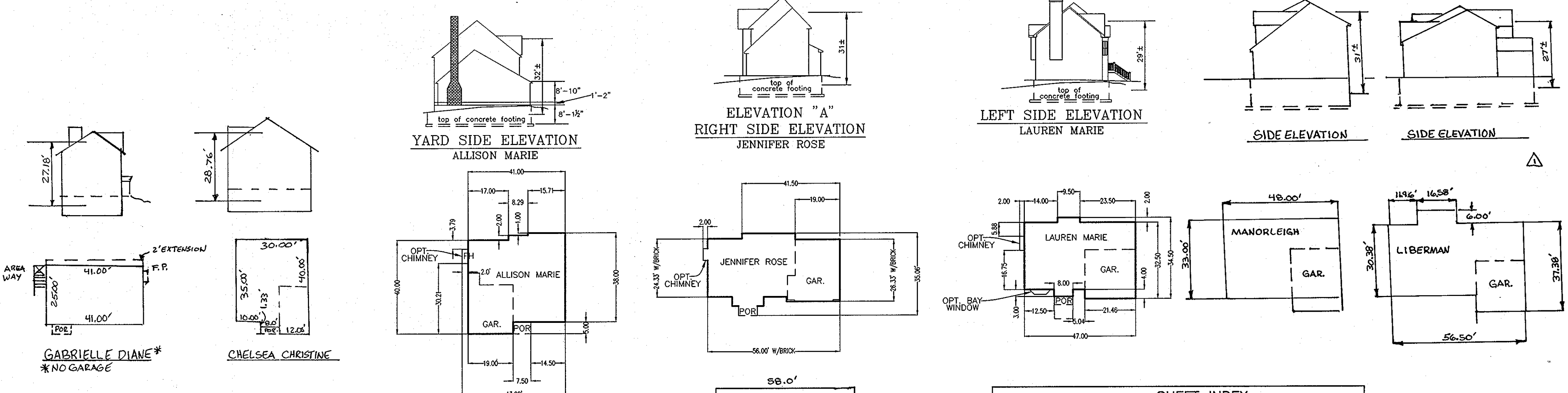
SITE ANALYSIS DATA CHART

- A.) TOTAL PROJECT AREA _____ 2.04 AC.
- B.) AREA OF THIS PLAN SUBMISSION _____ 1.06 AC.
- C.) APPROXIMATE LIMIT OF DISTURBANCE _____ 1.02 AC.
- D.) PRESENT ZONING: _____ R-20 RESIDENTIAL SINGLE FAMILY DETACHED UNITS
- E.) PROPOSED USE OF SITE: _____
- F.) FLOOR SPACE PER LOT _____ N/A
- G.) TOTAL NUMBER OF UNITS ALLOWED AS SHOWN ON FINAL PLAT(S): _____ 4
- H.) TOTAL NUMBER OF UNITS PROPOSED _____ 3
- I.) MAXIMUM NUMBER OF EMPLOYEES PER USE _____ N/A
- J.) NUMBER OF PARKING SPACES REQUIRED BY HO. CO. ZONING REGULATIONS _____ N/A
- K.) NUMBER OF PARKING SPACES PROVIDED _____ N/A
- L.) OPEN SPACE ON-SITE PERCENTAGE OF GROSS AREA _____ 0.53 AC. 30%
- M.) AREA OF RECREATIONAL OPEN SPACE REQUIRED _____ 0.00 AC. AREA OF RECREATIONAL OPEN SPACE PROVIDED _____ 0.00 AC.
- N.) BUILDING COVERAGE OF SITE _____ N/A PERCENTAGE OF GROSS AREA _____ 0%
- O.) APPLICABLE DP2 FILE REFERENCES: _____ F-03-91 CONTRACT # 14-4114-D
- P.) PROPOSED WATER AND SEWER SYSTEMS: PUBLIC PRIVATE



- ### GENERAL NOTES
1. THE SUBJECT PROPERTY IS ZONED R-20 PER THE 2-02-04 COMPREHENSIVE ZONING PLAN AND THE COMP LITE ZONING AMENDMENTS EFFECTIVE 7-28-06.
 2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS BUREAU OF ENGINEERING CONSTRUCTION INSPECTION DIVISION AT (410)313-1880 AT LEAST FIVE(5) WORKING DAYS PRIOR TO THE START OF WORK.
 3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
 4. EXISTING TOPOGRAPHY SHOWN HEREON WAS TAKEN FROM THE GRADING PLAN UNDER F-03-91. CONTOUR INTERVAL IS 2 FEET.
 5. HORIZONTAL AND VERTICAL DATUM ARE NAD '83 - MONUMENTS 17EA AND 17EB.
 6. EXISTING UTILITIES SHOWN HAVE BEEN TAKEN FROM CONTRACT DRAWINGS #14-4114-D AND ROAD CONSTRUCTION PLANS F-03-91. IF NECESSARY, CONTRACTOR SHALL ADJUST ANY OR ALL STRUCTURE TOP ELEVATIONS TO MATCH SDP GRADES.
 7. THERE ARE NO WETLANDS, WETLANDS BUFFERS, STREAMS, STREAM BUFFERS OR 100-YEAR FLOODPLAIN LOCATED ON THESE LOTS.
 8. IN ACCORDANCE WITH SECTION 12B OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS; PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
 9. **WOB** INDICATES WALKOUT BASEMENT.
 10. PREVIOUS HOWARD COUNTY FILE NUMBERS: F-03-91, WP-03-115 & CONTRACT #14-4114-D
 11. THE STAKING OF FOUNDATIONS PRIOR TO CONSTRUCTION TO ENSURE COMPLIANCE WITH REGULATORY BUILDING RESTRICTION LINES IS RECOMMENDED.
 12. ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE BUILDERS EXPENSE.
 13. "BRL" INDICATES BUILDING RESTRICTION LINE.
 14. FOR DRIVEWAY ENTRANCE DETAIL SEE HOWARD COUNTY STANDARD DETAILS R-6.06.
 15. HOUSES/GARAGES WILL BE SITED ON LOTS SO THAT A SECOND CAR, IF PARKED IN THE DRIVEWAY, WILL NOT OVERHANG INTO THE PRIVATE ACCESS PLACE DRIVEWAY (16" MINIMUM CLEARANCE).
 16. DRIVEWAY SLOPES SHOWN ARE AVERAGE. THE SLOPE AT THE OUTSIDE EDGES COULD BE FLATTER OR STEEPER DEPENDING ON GRADE OF ROADWAY.
 17. DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES FOR THE FOLLOWING MINIMUM REQUIREMENTS:
 1. WIDTH - 12' (14' SERVING MORE THAN ONE RESIDENCE);
 2. SURFACE - 6" OF COMPACTED CRUSHER RUN BASE W/ TAR AND CHIP COATING (1-3/4" MIN.);
 3. GEOMETRY - MAX. 1% GRADE, MAX. 10% GRADE CHANGE AND MIN. 45' TURNING RADIUS.
 4. STRUCTURES (CONCRETE/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING);
 5. DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE;
 6. MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE.
 18. THIS PLAN CONFORMS WITH THE AMENDED 5th EDITION OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. THE DEVELOPER SHALL APPLY FOR BUILDING PERMITS FOR ALL LOTS AS SHOWN ON THIS SITE DEVELOPMENT PLAN WITHIN FIVE YEARS OF SIGNATURE APPROVAL OF THIS PLAN.
 19. STREET TREES SHALL BE PROVIDED IN ACCORDANCE WITH THE APPROVED ROAD CONSTRUCTION DRAWINGS (F-03-91). PERIMETER AND STORM WATER MANAGEMENT LANDSCAPING SHALL BE PROVIDED IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN ON FILE WITH THE FINAL PLAN. SURETY HAS BEEN POSTED WITH THE DEVELOPER'S AGREEMENT UNDER F-03-91.
 20. THE PRIVATE USE-IN-COMMON MAINTENANCE AGREEMENT FOR LOTS 2 THRU 4 HAS BEEN RECORDED IN THE LAND RECORDS OF HOWARD COUNTY, MARYLAND IN LIBER 10514 AT FOLD 0541.
 21. FOR FLAG OR PIPE STEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPE STEM AND ROAD RIGHT-OF-WAY LINE AND NOT ONTO THE FLAG OR PIPE STEM LOTS DRIVEWAY.
 22. THE STORMWATER MANAGEMENT IS BEING PROVIDED PER F-03-91, BY A BIO-RETENTION FACILITY APPROVED UNDER F-03-91.
 23. SHC ELEVATIONS SHOWN ARE LOCATED AT THE EASEMENT LINE.
 24. THE FOREST CONSERVATION OBLIGATION WAS ADDRESSED UNDER F-03-91 THROUGH PAYMENT OF A FEE-IN-LIEU FOR 0.30 ACRE OF AFFORESTATION.
 25. THE ARTICLES OF INCORPORATION FOR THE HOMEOWNERS ASSOCIATION WAS ACCEPTED BY THE STATE DEPARTMENT OF ASSESSMENT AND TAXATION IN LIBER 896 FOLD 8 ON 9/20/2006.
 26. THE PROPOSED NOISE WALL LOCATED ALONG ST. JOHNS LANE IS PRIVATELY OWNED AND SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION FOR THIS SUBDIVISION. THE NOISE WALL SHALL BE INSPECTED AND REPAIRED AS NECESSARY AT A MINIMUM OF ONCE A YEAR IN ACCORDANCE WITH F-03-91.

3	5-1-13	ADD LAUREN MARIE HOUSE TYPE FOR LOT 4
2	7-2-12	ADD GABRIELLE AND CHELSEA CHRISTINE MODEL TYPES
1	5-18-10	ADD MANORLEIGH & LIBERMAN MODELS TO BOX MATRIX & REVISE GENERIC BOX 'A'
NO.	DATE	REVISION



ADDRESS CHART			
LOT	STREET ADDRESS		
1	ELLICOTT CITY, MARYLAND 21043		
2	9431 OLD FREDERICK ROAD		
3	9433 OLD FREDERICK ROAD		
4	9435 OLD FREDERICK ROAD		

SHEET INDEX	
NO.	DESCRIPTION
1	TITLE SHEET
2	SITE DEVELOPMENT, GRADING AND LANDSCAPE PLAN
3	SEDIMENT & EROSION CONTROL PLAN
4	SEDIMENT & EROSION CONTROL NOTES AND DETAILS

PERMIT INFORMATION CHART					
SUBDIVISION NAME:		SECTION/AREA:	LOT/PARCEL #		
FULTON PROPERTY		N/A	PARCEL: 63		
PLAT No.	GRID No.	ZONE	TAX MAP	ELECTION DISTRICT	CENSUS TRACT
18821	16	R-20	17	2nd	6022.00
WATER CODE		SEWER CODE			
H-03		1406900			

BENCHMARK ENGINEERING, INC.
 ENGINEERS & LAND SURVEYORS & PLANNERS
 8480 BALTIMORE NATIONAL PIKE & SUITE 418
 ELLICOTT CITY, MARYLAND 21043
 PHONE: 410-465-6105 FAX: 410-465-6644
 www.benchmark-engineering.com

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 12/21/08
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

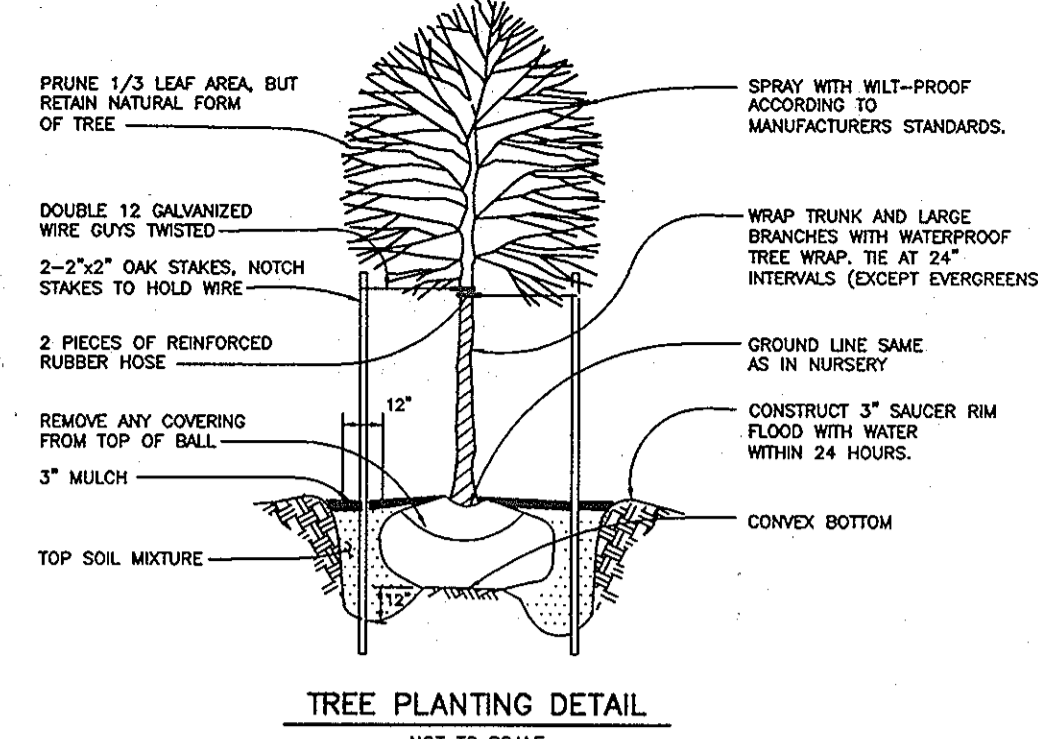
[Signature] 1/15/09
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 1/16/09
 DIRECTOR, DEP. DATE

OWNER/DEVELOPER: MICHAEL G. FULTON 9429 OLD FREDERICK ROAD ELLICOTT CITY, MARYLAND 21043 410-984-7163	PROJECT: FULTON PROPERTY LOTS 2 THRU 4 (SINGLE FAMILY DETACHED)
BUILDER: RACCHUBA HOME BUILDERS 946 A MARIMICH COURT ELDERSBURG, MARYLAND 21784 410-781-3400	LOCATION: TAX MAP: 17 PARCEL: 63 GRID: 16 ZONED: R-20 2nd ELECTION DISTRICT HOWARD COUNTY, MARYLAND
TITLE: SITE DEVELOPMENT PLAN TITLE SHEET	DATE: APRIL, 2008 PROJECT NO. 2109 SCALE: AS SHOWN SHEET 1 OF 4
DESIGN: WEO DRAFT: WEO CHECK: DAM	



MINIMUM LOT SIZE CHART		
LOT	GROSS AREA	PIPESTEM AREA
2	16,118 S.F.	2,106 S.F.
3	16,131 S.F.	2,128 S.F.



LEGEND

EXISTING CONTOURS: 595, 600

LIMIT OF DISTURBANCE: 500, 505, 510, 515, 520

SILT FENCE: SF, SF

SUPER SILT FENCE: SSF, SSF

PROPOSED GRADING: 600

STAFF CONSTRUCTION ENTRANCE: [Symbol]

WALK OUT BASEMENT: [Symbol]

SOIL BOUNDARY: [Symbol]

SOIL CLASSIFICATION: MIC2

EXISTING TREELINE: [Symbol]

BUILDING RESTRICTION LINE: [Symbol]

EXISTING DRIVEWAY: [Symbol]

EXISTING USE-IN-COMMON: [Symbol]

PROPOSED DRIVEWAY: [Symbol]

EXISTING NOISE WALL EASEMENT: [Symbol]

EXISTING SEWER AND UTILITY EASEMENT: [Symbol]

NOTES

1.) TREES MUST BE A MINIMUM OF FOUR(4) FEET FROM THE CURB OR SIDEWALK AND MUST BE AT A MINIMUM OF FIVE(5) FEET FROM ANY STORM DRAINAGE AS SHOWN ON THESE PLANS AND FOR THE PERMETER PLANTING ON PERMETERS, BONDING FOR PERMETER PLANTING IS THE OBLIGATION OF THE DEVELOPER AS PART OF THE DEVELOPER'S AGREEMENT.

2.) TREES MUST BE PLANTED A MINIMUM OF FIVE(5) FEET FROM AN OPEN SPACE ACCESS STRIP AND TEN(10) FEET FROM A DRIVEWAY.

3.) SEE PLANTING LIST, THIS SHEET.

LANDSCAPING NOTES PER F-03-091

1.) PERMETER LANDSCAPING HAS BEEN PROVIDED PER F-03-091.

2.) THE DEVELOPER HAS BEEN RESPONSIBLE FOR THE STREET TREES, STORMWATER MANAGEMENT POND PLANTING, THE PRESERVATION OF THE PERMETER VEGETATION AS SHOWN ON THESE PLANS AND FOR THE PERMETER PLANTING ON PERMETERS, BONDING FOR PERMETER PLANTING IS THE OBLIGATION OF THE DEVELOPER AS PART OF THE DEVELOPER'S AGREEMENT.

3.) A MINIMUM OF TWENTY(20) FEET SHALL BE MAINTAINED BETWEEN TREES AND STREET LIGHTS.

SCHEDULE A PERIMETER LANDSCAPE EDGE PER F-03-091

CATEGORY	ADJ. TO PROPERTY	ADJ. TO PERMETER
PERMETER NO. / LANDSCAPE TYPE	①	②
LINEAR FEET OF ROADWAY FRONTAGE/PERMETER	608.26'	409.99'
CREDIT FOR EXISTING VEGETATION (NO, YES AND LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	YES, 223'	YES, 35'
CREDIT FOR WALL, FENCE OR BERM (NO, YES AND LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO
NUMBER OF PLANTS REQUIRED:		
SHADE TREES	8	7
EVERGREEN TREES	10	0
NUMBER OF TREES PROVIDED:		
SHADE TREES	8	7
EVERGREEN TREES	10	0

SCHEDULE D STORMWATER MANAGEMENT AREA LANDSCAPING PER F-03-091

LINEAR FEET OF PERMETER BUFFER TYPE	① 470.8' TYPE 'B'
NUMBER OF TREES REQUIRED:	
SHADE TREES (1:50)	10
EVERGREEN TREES (1:40)	12
CREDIT FOR EXISTING VEGETATION (NO, YES AND LINEAR FEET)	YES, 35'
CREDIT FOR OTHER LANDSCAPING (NO, YES AND %) (DESCRIBE BELOW IF NEEDED)	NO
NUMBER OF TREES PROVIDED:	
SHADE TREES	9
EVERGREEN TREES	11

SHC TABLE

LOT NO.	INVERT AT MAIN	INVERT AT EASEMENT	MCE	REMARKS
2	467.76	467.96	472.66	-
3	466.95	467.15	471.25	-
4	467.51	467.71	472.21	-

NOTE: CONTRACTOR TO CHECK SEWER HOUSE CONNECTION ELEVATION AT PROPERTY/EASEMENT LINE PRIOR TO CONSTRUCTION OF HOUSE TO ENSURE PROPER SHC SLOPES CAN BE MAINTAINED.

NO.	DATE	REVISION
4	8-1-13	ADD LAUREN MARIE TO LOT 4 AND REVISE PLAN ACCORDINGLY
3	7-2-12	SHOW CHELSEA CHRISTINE ON LOT 3 & GABRIELLE DIANE ON LOT 4 & REVISE GRADES
2	8-14-09	REVISE GRADES ON LOT 2 PER AS-BUILT CONDITIONS
1	5-13-09	REVISE LOT 2 TO SHOW A LAUREN MARIE & REVISE GRADES

BENCHMARK ENGINEERING, INC.

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8480 BALTIMORE NATIONAL PIKE • SUITE 418
ELLCOTT CITY, MARYLAND 21043
PHONE: 410-465-6105 FAX: 410-465-6644
www.bel-civilengineering.com

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 28559, Expiration Date: 7-22-2009.

OWNER/DEVELOPER: MICHAEL G. FULTON, 9429 OLD FREDERICK ROAD, ELLICOTT CITY, MARYLAND 21042, 410-984-7163

BUILDER: RACHUBA HOME BUILDERS, 946 A MARIACH COURT, ELDERSBURG, MARYLAND 21784, 410-781-3400

PROJECT: FULTON PROPERTY, LOTS 2 THRU 4 (SINGLE FAMILY DETACHED)

LOCATION: TAX MAP: 17, GRID: 16, PARCEL: 63, ZONED: R-20, 2nd ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE: SITE DEVELOPMENT, GRADING AND LANDSCAPE PLAN

DATE: APRIL, 2008, **PROJECT NO.:** 2109

DESIGN: WEO, **DRAFT:** WEO, **CHECK:** DAM, **SCALE:** AS SHOWN, **SHEET:** 2 OF 4

LANDSCAPE LEGEND PER F-03-091

SYMBOL	DESCRIPTION
[Symbol]	EVERGREEN TREES ALONG PERMETER AND STORMWATER MANAGEMENT AREA TO BE PROVIDED BY THE DEVELOPER.
[Symbol]	SHADE TREES ALONG PERMETER AND STORMWATER MANAGEMENT AREA TO BE PROVIDED BY THE DEVELOPER.

PERIMETER LIST PER F-03-091

SYMBOL	QUANTITY	NAME	REMARKS
[Symbol]	21	PINUS STROBUS (Eastern White Pine)	6"-8" HL UNSHARED
[Symbol]	24	ACER RUBRUM (Red Spruce / Red Maple)	2 1/2" - 3 CAL. B&B FULL HEAD

PLAN VIEW SCALE: 1"=30'

LANDSCAPE NOTES:

1. AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREWITH LISTED AND APPROVED FOR THIS SITE, SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPING MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.

2. THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANTS MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.

3. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING, BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT UNDER PLAT F-03-91 IN THE AMOUNT OF \$10,350.00.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature]
CHIEF, DEVELOPMENT ENGINEERING DIVISION

[Signature]
CHIEF, DIVISION OF LAND DEVELOPMENT

[Signature]
DIRECTOR, DEP.

12/31/08 DATE

1/15/09 DATE

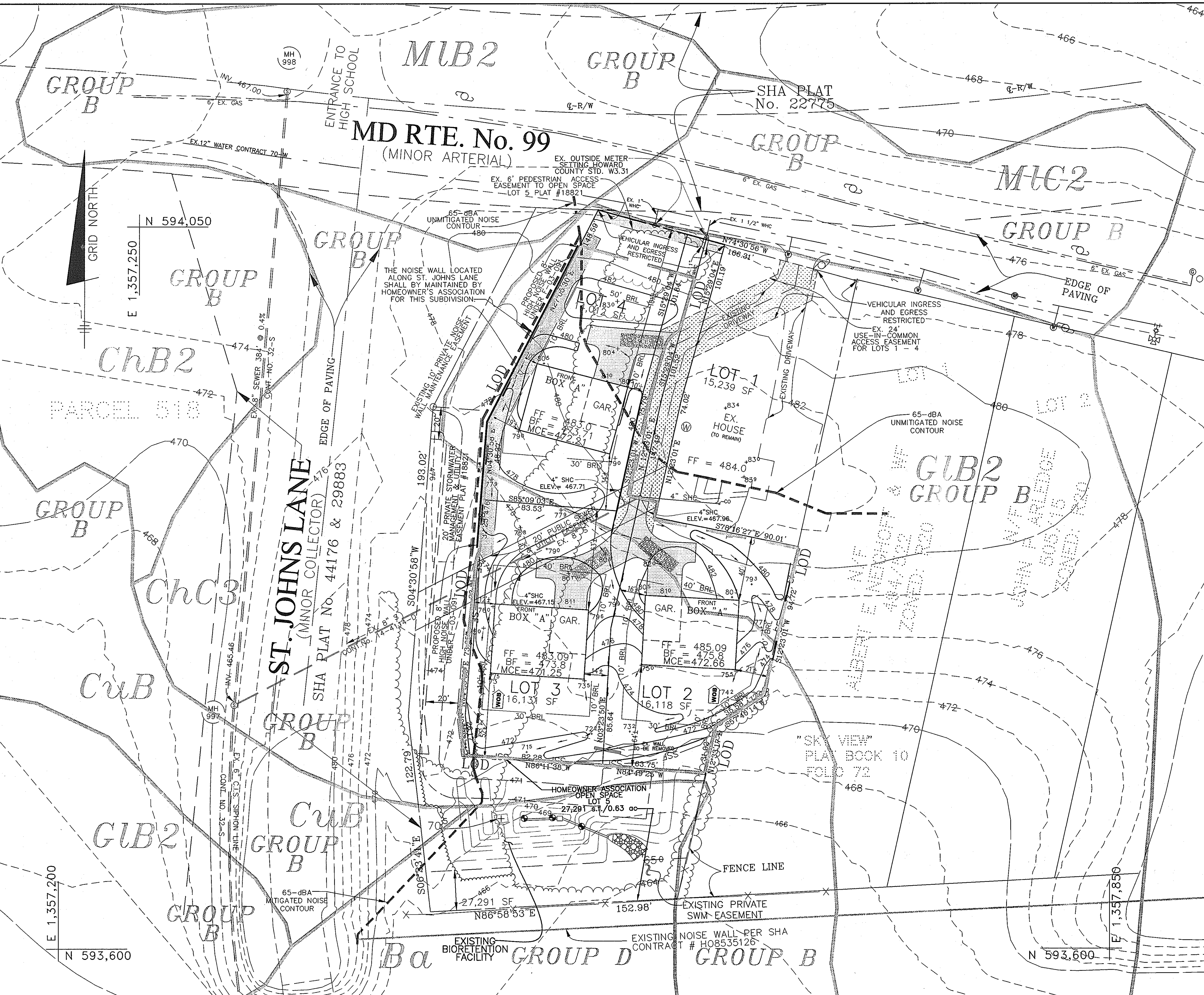
1/16/09 DATE

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION OF A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE-YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

[Signature]
CHRIS RACHUBA
RACHUBA HOMES BUILDERS

11-17-08 DATE

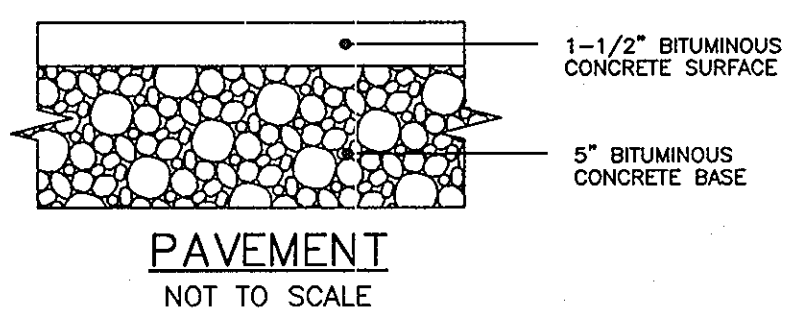


ALL SEDIMENT & EROSION CONTROL FEATURES ARE TO BE REPAIRED IMMEDIATELY IF DISRUPTED BY UTILITY INSTALLATION

SUPER SILT FENCE IS TO BE INSPECTED FREQUENTLY & CLEANED, REPAIRED AND/OR RE-INSTALLED IMMEDIATELY AS NECESSARY

SEDIMENT CONTROL LOCATIONS AND IMPLEMENTATION SCHEDULE ON THIS PLAN ARE SUBJECT TO REVISIONS IN THE FIELD AT THE DISCRETION OF THE SEDIMENT CONTROL INSPECTOR

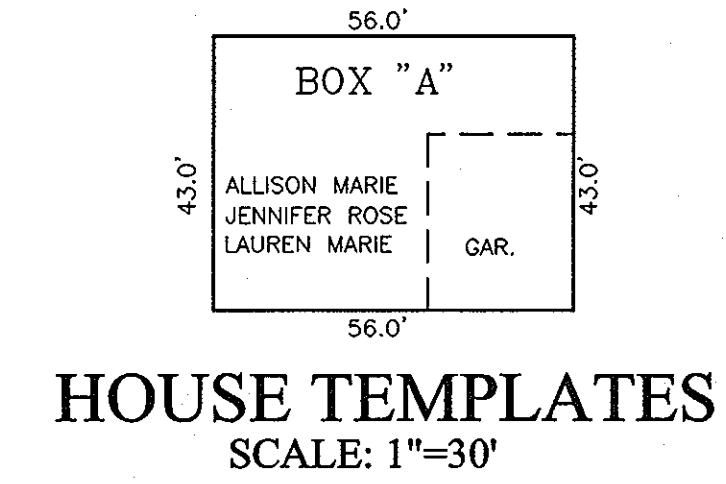
ALL SEDIMENT CONTROL FEATURES SHALL BE INSTALLED IN ACCORDANCE WITH STANDARD DETAILS SHOWN IN THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.



PLAN VIEW
SCALE: 1"=30'

MAP SYMBOL	SOIL GROUP	SOIL TYPE
Ba	D	BAILE SILT LOAM
ChC3	B	CHESTER SILT LOAM, 8 TO 15 PERCENT SLOPES, SEVERELY ERODED
CuB	B	COMUS SILT LOAM, LOCAL ALLUVIUM, 3 TO 8 PERCENT SLOPES
GIB2	B	GLENELG LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED
MIB2	B	MANOR LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED
MIC2	B	MANOR LOAM, 8 TO 15 PERCENT SLOPES, MODERATELY ERODED

* INDICATES HYDRIC SOILS
TAKEN FROM SOILS SURVEY, ISSUED JULY 1968, MAP NO. 7



ENGINEER'S CERTIFICATE
I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

ENGINEER: *John R. Cleary, P.E. 03559* DATE: 11/18/2008

DEVELOPER'S CERTIFICATE
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

DEVELOPER: *Ch. R. R. Home Builders* DATE: 11/19/08

APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT:
John R. Cleary, P.E. 03559 DATE: 2/2/09

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
John R. Cleary, P.E. 03559 DATE: 12/21/08
John R. Cleary, P.E. 03559 DATE: 1/15/09
John R. Cleary, P.E. 03559 DATE: 1/16/09

NO.	DATE	REVISION

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PHONE: 410-465-6105 FAX: 410-465-6644
www.bei-civilengineering.com

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 28559, Expiration Date: 7-22-2009

OWNER/DEVELOPER: MICHAEL G. FULTON
9429 OLD FREDERICK ROAD
ELLICOTT CITY, MARYLAND 21042
410-984-7163

BUILDER: RACCHUBA HOME BUILDERS
946 A MARMICH COURT
ELDERSBURG, MARYLAND 21784
410-781-3400

DESIGN: WEO DRAFT: WEO CHECK: DAM

PROJECT: FULTON PROPERTY
LOTS 2 THRU 4
(SINGLE FAMILY DETACHED)

LOCATION: TAX MAP: 17 PARCEL: 63
GRID: 16 ZONED: R-20
2nd ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

TITLE: SEDIMENT AND EROSION CONTROL PLAN

DATE: APRIL, 2008 PROJECT NO. 2109
SCALE: AS SHOWN SHEET 3 OF 4

SEDIMENT CONTROL NOTES

- A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTION, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION. (313-1850).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATION FOR SOIL EROSION AND SEDIMENT CONTROL, REVISIONS THEREOF.
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, Dikes, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1, B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDINGS (SEC. 51) SOD (SEC. 54), TEMPORARY SEEDING (SEC. 50) AND MULCHING (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:

TOTAL AREA OF SITE (THIS SUBMISSION)	1.06	ACRES
AREA DISTURBED	1.02	ACRES
AREA TO BE ROOFED OR PAVED	0.31	ACRES
AREA TO BE VEGETATIVELY STABILIZED	0.71	ACRES
TOTAL CUT	1476	CY
TOTAL FILL	1118	CY
OFFSITE WASTE/BORROW AREA LOCATION	*	

TOPSOIL SPECIFICATIONS

- Topsoil salvaged from the existing site may be used provided that it meets the standards set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experimental Station.
- Topsoil Specifications - Soil to be used as topsoil must meet the following:
 - Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand, or silty loam. Topsoils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting texture subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1-1/2" in diameter.
 - Topsoil must be free of plants or plant parts such as Bermuda grass, quack grass, Johnson grass, nutsedge, poison ivy, thistle, or others as specified.
 - Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.
- For sites having disturbed areas under 5 acres:
 - Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.
- For sites having disturbed areas over 5 acres:
 - On soil meeting Topsoil Specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:
 - pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.
 - Organic content or topsoil shall be not less than 1.5 percent by weight.
 - Topsoil having soluble salt content greater than 500 parts per million shall not be used.
 - No sod or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phytotoxic materials.
 - Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.
 - Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.
- Topsoil Application
 - When topsoiling, maintain needed erosion and sediment control practices such as diversions, grade stabilization structures, earth dikes, slope silt fence and sediment traps and basins.
 - Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4" - 8" higher in elevation.
 - Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.
 - Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seeded preparation.
- Alternative for Permanent Seeding - Instead of applying the full amounts of lime and commercial fertilizer, composted sludge and amendments may be applied as specified below:
 - Composted Sludge Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall be tested to prescribe amendments and for sites having disturbed areas under 5 acres shall conform to the following requirements:
 - Composted sludge shall be supplied by, or originate from, a person or persons that are permitted (at the time of acquisition of the compost) by the Maryland Department of the Environment under COMAR 26.04.06.
 - Composted sludge shall contain at least 1 percent nitrogen, 1.5 percent phosphorus, and 0.2 percent potassium and have a pH of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.
 - Composted sludge shall be applied at a rate of 1 ton/1,000 square feet.
 - Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 lb/1,000 square feet, and 1/2 the normal lime application rate.

PERMANENT SEEDBED PREPARATIONS

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:

- PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ FT) AND 800 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ FT) BEFORE SEEDING. NARROW OR DISC INTO UPPER THREE INCHES OF SOIL AT TIME OF SEEDING. APPLY 400 LBS PER ACRE 30-0-0 UREAFORM FERTILIZER (9 LBS/1000 SQ FT).
 - ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ FT) AND 1000 LBS PER ACRE 10-10-10 FERTILIZER (23 LBS/1000 SQ FT) BEFORE SEEDING. NARROW OR DISC INTO UPPER THREE INCHES OF SOIL.
- SEEDING: FOR PERIODS MARCH 1 THROUGH APRIL 30 AND AUGUST 1 THROUGH OCTOBER 15, SEED WITH 60 LBS PER ACRE (1.4 LBS/1000 SQ FT) OF KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS PER ACRE (.05 LBS/1000 SQ FT) OF WEeping LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THROUGH FEBRUARY 28, PROTECT WITH 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) USE SOD. OPTION (3) SEED WITH 60 LBS PER ACRE OF KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS PER ACRE OF WELL ANCHORED STRAW.
- MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ FT) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL/1000 SQ FT) OF EMULSIFIED ASPHALT ON FLAT AREAS, ON SLOPES, 8 FT. OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL/1000 SQ FT) FOR ANCHORING.
- MAINTENANCE: INSPECT ALL SEEDED AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

TEMPORARY SEEDBED PREPARATIONS

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS: APPLY 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ FT).

SEEDING: FOR PERIOD MARCH 1 THROUGH APRIL 30 AND FROM AUGUST 15 THROUGH NOVEMBER 15, SEED WITH 2-1/2 BUSHELS PER ACRE OF ANNUAL RYE (3.2 LBS/1000 SQ FT). FOR THE PERIOD MAY 1 THROUGH AUGUST 14, SEED WITH 3 LBS PER ACRE OF WEeping LOVEGRASS (.07 LBS/1000 SQ FT). FOR THE PERIOD NOVEMBER 16 THROUGH FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOD.

MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ FT) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL/1000 SQ FT) OF EMULSIFIED ASPHALT ON FLAT AREAS, ON SLOPES, 8 FT. OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL/1000 SQ FT) FOR ANCHORING.

REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

SEQUENCE OF CONSTRUCTION

NOTIFY SEDIMENT CONTROL DIVISION 48 HOURS PRIOR TO START OF CONSTRUCTION

DAY 1	OBTAIN GRADING PERMIT.
DAY 2-6	INSTALL SEDIMENT CONTROLS THAT ARE NOTED TO BE INSTALLED UNDER THIS SDP.
DAY 7-10*	EXCAVATE FOR FOUNDATIONS, ROUGH GRADE AND STABILIZE IN ACCORDANCE WITH TEMPORARY SEEDBED NOTES.
DAY 11-80	CONSTRUCT HOUSES, BACKFILL AND CONSTRUCT DRIVEWAYS.
DAY 81-85	FINAL GRADE AND STABILIZE IN ACCORDANCE WITH PERMANENT SEEDBED NOTES AND F.U.S.R. STORM DRAIN SYSTEM.
DAY 86-89	WITH THE APPROVAL OF THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT CONTROL DEVICES AND STABILIZE ANY REMAINING DISTURBED AREAS.

* - INDICATES SINGLE HOUSE CONSTRUCTION.

NOTE: EROSION CONTROL MATTING SHALL BE PLACED IN SWALES WHERE DEEMED NECESSARY UNTIL VEGETATION IS ESTABLISHED OR SOLID SOD SHOULD BE USED.

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY DEPARTMENT OF INSPECTION, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION.

ENGINEER - BRIAN F. CLEARY, P.E. # 28559 DATE 11/18/2008

DEVELOPER'S CERTIFICATE

I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBILITY INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD COUNTY DEPARTMENT OF INSPECTION, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION.

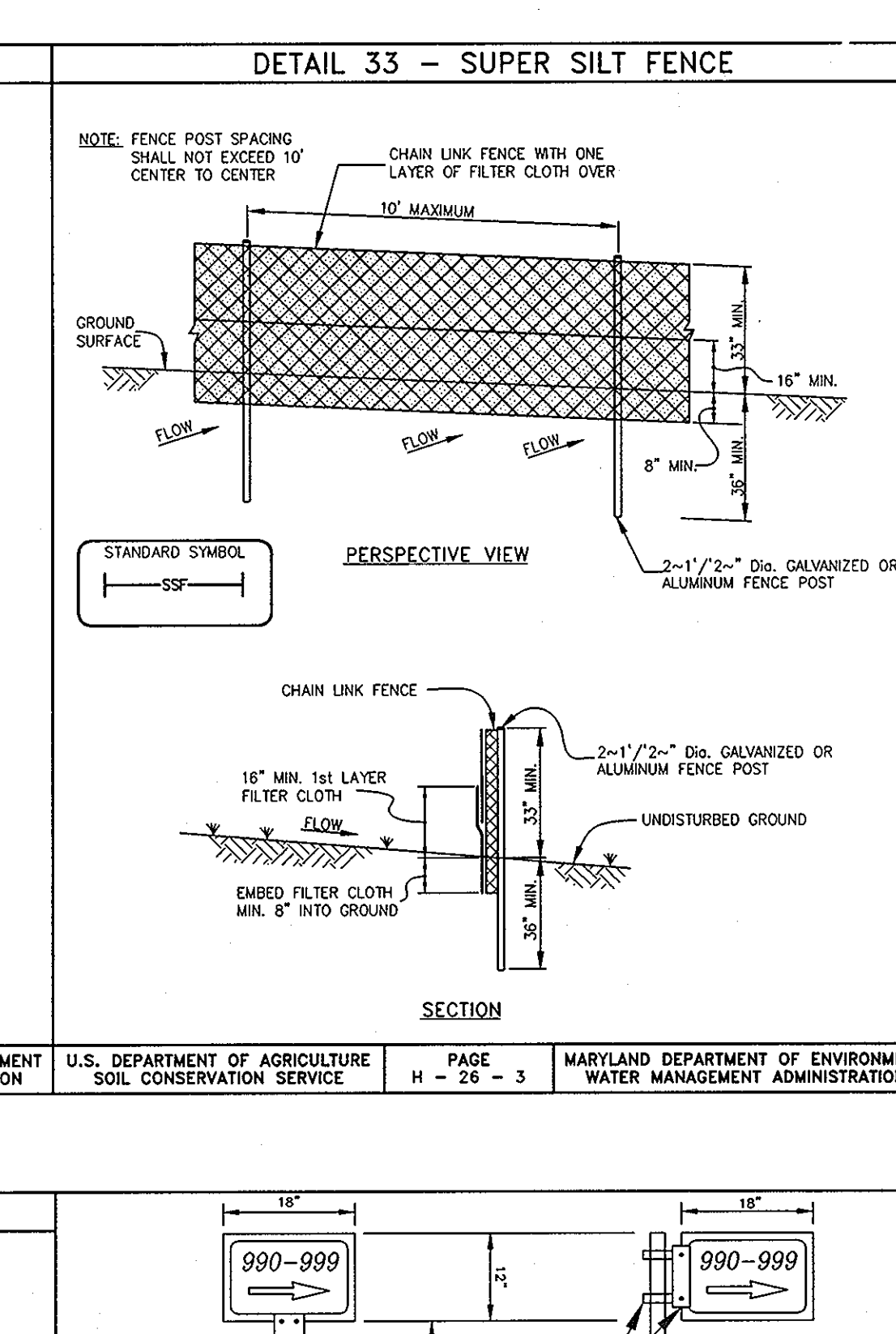
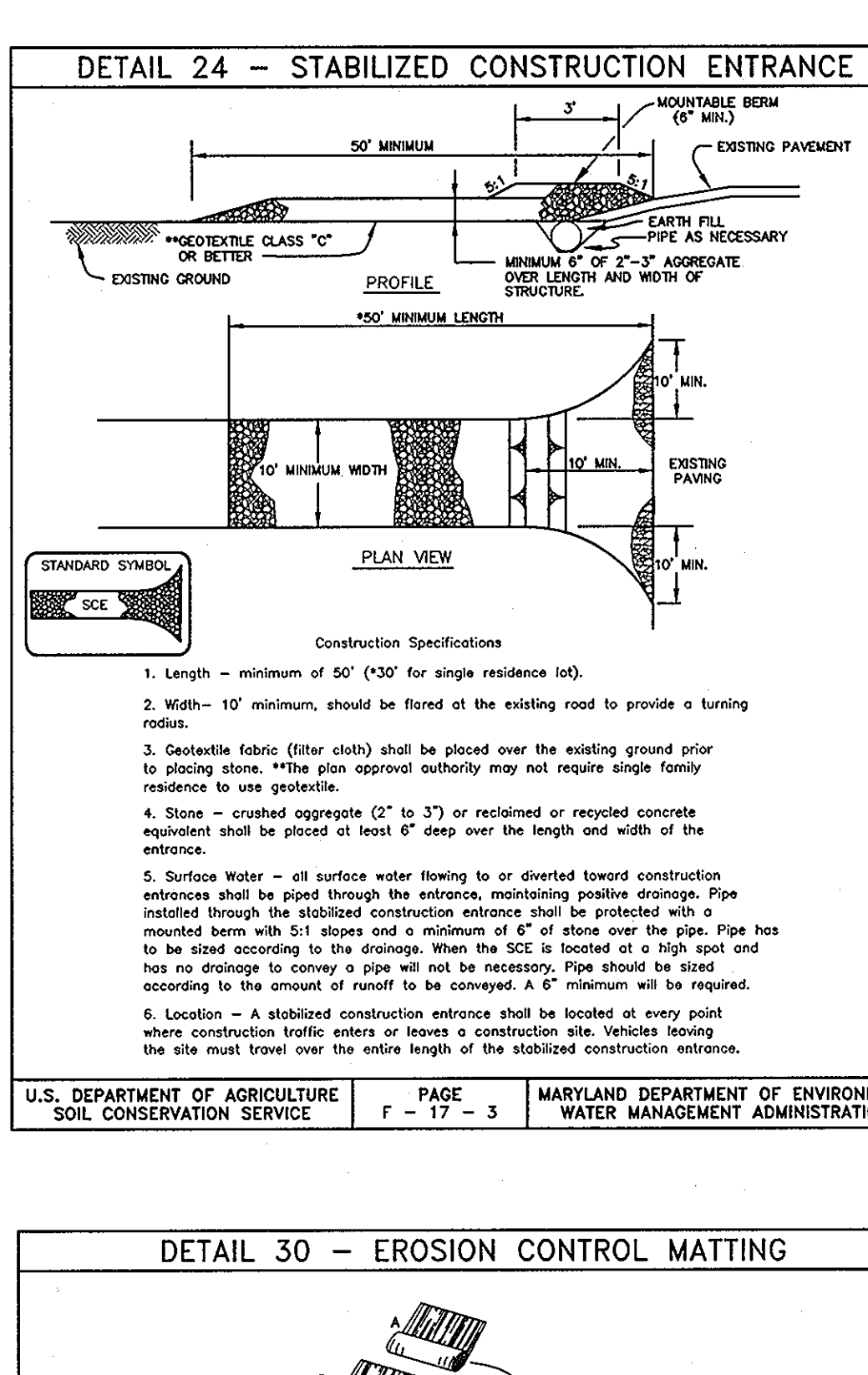
RACCHUBA HOME BUILDERS DATE 11/17-08

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING DATE 12/21/08

CHEF, DEVELOPMENT ENGINEERING DIVISION DATE 1/23/09

CHIEF, DIVISION OF LAND DEVELOPMENT DATE 1/15/09

DIRECTOR, DEP. DATE 1/16/09



CONSTRUCTION SPECIFICATIONS

- Length - minimum of 50' (30' for single residence lot).
- Width - 10' minimum, should be flared at the existing road to provide a turning radius.
- Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. *This plan approval authority may not require single family residence to use geotextile.
- Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
- Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mounted beam with 5/8" slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
- Location - A stabilized construction entrance shall be located at every spot where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

CONSTRUCTION SPECIFICATIONS

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE F - 17 - 3	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION	U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE H - 26 - 3	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION	U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE E - 26 - 3A	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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CONSTRUCTION SPECIFICATIONS

- KEY-IN THE MATTING BY PLACING THE TOP ENDS OF THE MATTING IN A NARROW TRENCH 6" IN DEPTH. BACKFILL THE TRENCH AND TAMP FIRMLY TO CONFORM TO THE CHANNEL CROSS-SECTION. SECURE WITH A ROW OF STAPLES ABOUT 4" DOWN SLOPE FROM THE TRENCH. SPACING BETWEEN STAPLES IS 6".
- STAPLE THE 4" OVERLAP IN THE CHANNEL CENTER USING AN 18" SPACING BETWEEN STAPLES.
- BEFORE STAPLING THE OUTER EDGES OF THE MATTING, MAKE SURE THE MATTING IS SMOOTH AND IN FIRM CONTACT WITH THE SOIL.
- STAPLES SHALL BE PLACED 2' APART WITH 4 ROWS FOR EACH STRIP, 2 OUTER ROWS AND 2 ALTERNATING ROWS DOWN THE CENTER.
- WHERE ONE ROLL OF MATTING ENDS AND ANOTHER BEGINS, THE END OF THE TOP STRIP SHALL OVERLAP THE UPPER END OF THE LOWER STRIP BY 4". SHIPPLA FASHION. REINFORCE THE OVERLAP WITH A DOUBLE ROW OF STAPLES SPACED 6" APART IN A STAGGERED PATTERN ON EITHER SIDE.
- THE DISCHARGE END OF THE MATTING LINER SHOULD BE SIMILARLY SECURED WITH TWO DOUBLE ROWS OF STAPLES.

NOTE: IF FLOW WILL ENTER FROM THE EDGE OF THE MATTING THEN THE AREA EFFECTED BY THE FLOW MUST BE KEYED-IN.

HO. CO. APPROVED SIGN DESIGN AND INSTALLATION DETAIL

NOT TO SCALE

DETAIL 22 - SILT FENCE

CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

- Fence posts shall be a minimum of 36" long driven 18" minimum into the ground. Wood posts shall be 1 1/2" x 1 1/2" square (minimum) cut, or 1 3/4" diameter (minimum) round and shall be of sound quality hardwood. Steel posts will be Standard I or U section weighing not less than 1.00 pond per linear foot.
- Geotextile shall be fastened securely to each fence post with wire ties or staples at top and mid-section and shall meet the following requirements for Geotextile Class F:

Tensile Strength	50 lbs/in (min.)	Test: MSMT 509
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- Silt Fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reached 50% of the fabric height.

CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

Tensile Strength	50 lbs/in (min.)	Test: MSMT 509
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ENGINEER - BRIAN F. CLEARY, P.E. # 28559 DATE 11/18/2008

DEVELOPER'S CERTIFICATE

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RACCHUBA HOME BUILDERS DATE 11/17-08

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING DATE 12/21/08

CHEF, DEVELOPMENT ENGINEERING DIVISION DATE 1/23/09

CHIEF, DIVISION OF LAND DEVELOPMENT DATE 1/15/09

DIRECTOR, DEP. DATE 1/16/09

NO.	DATE	REVISION

BENCHMARK ENGINEERING, INC.

8480 BALTIMORE NATIONAL PIKE & SUITE 418
ELLICOTT CITY, MARYLAND 21043
PHONE: 410-465-6105 FAX: 410-465-6644
www.bei-civilengineering.com

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 28559, Expiration Date: 7-22-2009.

OWNER/DEVELOPER: MICHAEL G. FULTON
9429 OLD FREDERICK ROAD
ELLICOTT CITY, MARYLAND 21042
410-984-7163

PROJECT: FULTON PROPERTY
LOTS 2 THRU 4
(SINGLE FAMILY DETACHED)

LOCATION: TAX MAP: 17 PARCEL: 63
GRID: 16 ZONED: R-20
2nd ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

BUILDER: RACCHUBA HOME BUILDERS
946 A MARIMICH COURT
ELDERSBURG, MARYLAND 21784
410-781-3400

TITLE: SEDIMENT AND EROSION CONTROL NOTES AND DETAILS

DATE: APRIL, 2008 PROJECT NO. 2109

DESIGN: WEO DRAFT: WEO CHECK: DAM SCALE: AS SHOWN SHEET 4 OF 4