

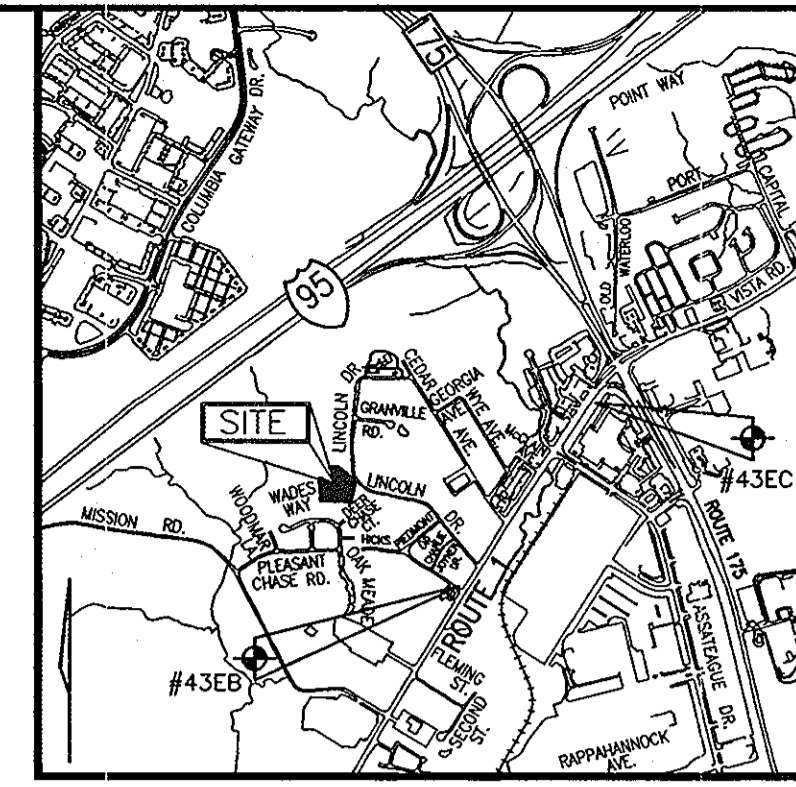
**GENERAL NOTES**

- THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS:  
 MISS UTILITY: 1-800-257-7777  
 VERIZON TELEPHONE COMPANY: 1-410-954-6281  
 HOWARD COUNTY BUREAU OF UTILITIES: 313-2366  
 AT&T CABLE LOCATION DIVISION: 393-3553  
 B.G.&E. CO. CONTRACTOR SERVICES: 650-4620  
 B.G.&E. CO. UNDERGROUND DAMAGE CONTROL: 787-4620  
 STATE HIGHWAY ADMINISTRATION: 531-5533
- SITE ANALYSIS:  
 TOTAL AREA OF SUBDIVISION (LOTS 1-11) . . . . . 113,865 SF (2.614 AC.)  
 AREA IF RIGHT OF WAY DEDICATED TO HOWARD COUNTY . . . . . 608.53 SF (0.01397 AC.)  
 AREA OF SUBMISSION (LOTS 1-11) . . . . . 113,909 SF (2.614 AC.)  
 LIMIT OF DISTURBANCE: . . . . . 84,161.43 SF (1.93 AC.)  
 PRESENT ZONING: . . . . . R-SC  
 PROPOSED USE OF SITE: . . . . . SINGLE FAMILY DETACHED DWELLINGS  
 TOTAL NUMBER OF UNITS PROPOSED . . . . . 10 BUILDABLE LOTS  
 TOTAL OPEN SPACE REQUIRED ON SITE 20% OF GROSS AREA: . . . . . 0.53 AC. 22,898.00 S.F. (20% x 114,477.9 SF)  
 TOTAL CREDITED OPEN SPACE . . . . . 27,941.00 S.F. (0.64 AC.)  
 TOTAL NON-CREDITED OPEN SPACE . . . . . 2,089 S.F. (0.04795 AC.)  
 TOTAL AREA OF OPEN SPACE PROPOSED: . . . . . 30,044 S.F. (0.6897 AC.)  
 NUMBER OF PROPOSED OPEN SPACE LOTS: . . . . . 1 (LOT 11)  
 APPLICABLE DPZ FILE REFERENCES: . . . . . F-08-041, S-02-04, P-07-006  
 PROJECT BACKGROUND: . . . . . TAX MAP 43, GRID B, PARCEL 407
- ALL ASPECTS OF THE PROJECT ARE IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN APPROVED.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE
- THIS SUBDIVISION COMPLIES WITH THE 4TH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AS AMENDED BY COUNCIL BILL 45-2003 AND THIS SUBJECT PROPERTY IS ZONED R-SC PER THE 02-02-04 COMPREHENSIVE ZONING PLAN AND "COMP LITE" ZONING AMENDMENTS EFFECTIVE 07/28/06.
- THE PROJECT BOUNDARY IS BASED ON A FIELD RUN BOUNDARY SURVEY BY FREDERICK WARD ASSOCIATES, DATED MAY 09, 2001.
- THE TOPOGRAPHY SHOWN HEREON IS BASED ON A FIELD RUN TOPOGRAPHIC SURVEY WITH TWO FEET CONTOUR INTERVALS PERFORMED BY FREDERICK WARD ASSOCIATES, DATED APRIL, 2001.
- WATER AND SEWER FOR THIS PROJECT WILL BE PUBLIC, CONTRACT # 24-4437-D, PROJECT IS LOCATED IN THE LITTLE PATENT RIVER DRAINAGE AREA.
- STORMWATER MANAGEMENT HAS BEEN PROVIDED FOR THE DEVELOPMENT BY ONE POCKET POND LOCATED ON OPEN SPACE LOT 11 AND RAIN GARDEN FOR PART OF LOT 1 PER F-08-041. FINANCIAL SURETY FOR THE REQUIRED RAIN GARDEN IN THE AMOUNT OF \$6,500 BE PAID AS A PART OF THE DEVELOPERS AGREEMENT UNDER THIS PLAN.
- THERE ARE NO WETLANDS, WETLAND BUFFERS, STREAM AND STREAM BUFFERS LOCATED ON-SITE.
- THERE ARE NO FLOOD PLAINS ON SITE (SLOPES GREATER THAN 25%).
- FOREST STAND DELINEATION PLAN PREPARED BY EXPLORATION RESEARCH INC. DATED JANUARY, 2007 PPER F-08-041.
- APFO TRAFFIC STUDY PREPARED BY THE TRAFFIC GROUP DATED JUNE, 2001 AND REVISED ON DECEMBER 14, 2001 WAS APPROVED JANUARY 2002.
- THERE ARE NO STEEP SLOPES GREATER THAN 25% LOCATED WITHIN SUBJECT PROPERTY.
- STREET TREES ARE PROVIDED FOR THIS PROJECT IN ACCORDANCE WITH SECTION 16-12.04(1) OF THE SUBDIVISION AND THE LANDSCAPE MANUAL AND ARE PROVIDED FOR THIS PROJECT AS SHOWN ON THE APPROVED ROAD CONSTRUCTION DRAWINGS FOR F-08-041. A FINANCIAL SURETY IN THE AMOUNT OF \$20,190.00 TO BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT FOR THE REQUIRED 29 STREET TREES (PRIVATE), 37 SHADE TREES, 20 EVERGREEN TREES AND 8 SHRUBS AROUND TRASH PAD.
- STREET LIGHTING WILL BE PROVIDED IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REQUIREMENTS. THE LIGHT INTENSITY AT THE PROPERTY LINE SHALL NOT EXCEED 0.1 FOOT CANDLES.
- THIS PROPERTY IS WITHIN THE METROPOLITAN DISTRICT.
- TO THE BEST OF THE OWNERS KNOWLEDGE, THERE ARE NO BURIAL/CEMETERY LOCATIONS ON SITE.
- TO THE BEST OF THE OWNERS KNOWLEDGE, THERE ARE NO EXISTING HISTORIC SITES AND STRUCTURES ON SITE.
- OPEN SPACE LOT 11 WILL BE OWNED BY THE HOMEOWNERS ASSOCIATION.
- TRASH COLLECTION RECYCLING AND SNOW REMOVAL WILL BE PROVIDED TO THE JUNCTION OF THE FLAG, PIPESTEM OR PRIVATE ACCESS PLACE EASEMENT AND THE ROAD RIGHT-OF-WAY LINE ONLY.
- GEOTECHNICAL STUDY PREPARED MARCH 2002 BY HERBST BENSON ASSOCIATES, PER F-08-041.
- RECHARGE VOLUME IS PROVIDED BY GRASS CHANNEL CREDIT.
- FOREST CONSERVATION OBLIGATION HAS BEEN FULFILLED BY PAYMENT OF A FEE-IN-LIEU OF \$12,741.30 (16988.40SQ.F.T.X 0.75=12,471.30) FOR 0.39AC OF REQUIRED REFORESTATION, PER F-08-041.
- THE COORDINATES SHOWN HERE ON ARE BASED UPON THE HOWARD COUNTY GEOMETRIC CONTROL, WHICH IS BASED UPON THE MARYLAND STATE PLACE COORDINATE SYSTEM, HOWARD COUNTY MONUMENTS NOS 43EC AND 43 EB.
- EXISTING UTILITIES ARE BASED ON AVAILABLE RECORD DRAWINGS AND FIELD LOCATED EVIDENCE.
- A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
- ALL EXISTING HOUSES, SHEDS, DRIVEWAYS, FENCES, AND MISC. STRUCTURES LOCATED ON SITE ARE TO BE REMOVED.
- STREET LIGHT PLACEMENT AND THE TYPE OF FIXTURE AND POLE SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME III (1993) AND AS MODIFIED BY "GUIDELINES FOR STREET LIGHTS IN RESIDENTIAL DEVELOPMENTS (JUNE 1993)." A MINIMUM SPACING OF 20' SHALL BE MAINTAINED BETWEEN ANY STREETLIGHT AND ANY TREE.
- ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL PERFORATED SQUARE TUBE SLEEVE (1 1/2 GAUGE) - 3' LONG. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
- FOR DRIVEWAY ENTRANCE DETAILS REFER TO THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, STANDARD DETAIL R-6.06 (OPEN SECTION).
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO ENSURE SAFE ACCESS FOR FIRE EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:  
 A. WIDTH - 12' (16' FOR SERVING MORE THAN ONE RESIDENCE)  
 B. SURFACE - 6" OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1-1/2" MIN)  
 C. GEOMETRY - MAX 15% GRADE, MAX 10% GRADE CHANGE, AND MIN 45' TURNING RADIUS  
 D. STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING)  
 E. DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT OF DEPTH OVER DRIVEWAY SURFACE  
 F. MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE
- IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT REAR YARD SETBACK.
- PROTECTIVE COVENANTS INCLUDING COVENANTS GOVERNING THE MAINTENANCE OF COMMUNITY OWNED OPEN SPACE AND THE MAINTENANCE OF THE PRIVATE ACCESS PLACE, THE MAINTENANCE OF THE STREET TREES AND ANY RESERVATIONS OF HOME OWNER'S ASSOCIATION TO BE RECORDED.
- THE ARTICLES OF INCORPORATION OF LINCOLN GLEN HOMEOWNERS' ASSOCIATION, INC. WERE ACCEPTED AND APPROVED BY THE STATE DEPARTMENT OF ASSESSMENTS AND TAXATION ON JANUARY 31, 2008.
- THE MAINTENANCE AGREEMENT FOR THE PRIVATE ACCESS PLACE TO BE RECORDED SIMULTANEOUSLY WITH THE PLAT IN THE LAND RECORDS OF HOWARD COUNTY.
- A WAIVER PETITION HAS BEEN SUBMITTED AND APPROVED, DATED DECEMBER 21, 2007 TO WAIVE SECTION 5.2.6.1.a. OF DESIGN MANUAL VOLUME I, WHICH REQUIRES THAT A 12' LEVEL AREA BE PROVIDED AROUND THE ENTIRE FACILITY, (INCLUDING THE TOP OF DAM) FOR MAINTENANCE ACCESS TO ALLOW A 10' TOP OF DAM AND SECTION 5.2.7.A.4, WHICH REQUIRES THAT ALL WET PONDS HAVE A POND DRAIN CAPABLE OF DRAINING THE PERMANENT POOL WITHIN 24 HOURS TO ALL NO POND DRAIN.  
 APPROVAL WAS BASED PRINCIPALLY ON THE FACT THAT THE STORM WATER MANAGEMENT FACILITY SHOULD BE PRIVATELY OWNED AND MAINTAINED, IF THE PERMANENT POOL NEEDS TO BE DRAINED FOR MAINTENANCE A SMALL PRIVATE PUMP CAN BE UTILIZE AND THERE IS NO ADVERSE IMPACT TO COUNTY INFRASTRUCTURE
- A WAIVER PETITION WAS SUBMITTED AND APPROVED DATED JANUARY 16, 2007 TO WAIVE DESIGN MANUAL, VOLUME SECTION 5.2.6.D.1, WHICH REQUIRES THE TOP OF DAM TO BE 12' IN WIDTH, TO REDUCE THE TOP OF DAM TO BE 10' WIDE.  
 THE APPROVAL WAS BASED ON PRINCIPALLY ON THE FACT THAT THE POND SHOULD BE PRIVATELY OWNED AND MAINTAINED AND THAT THERE IS NO ADVERSE IMPACT TO COUNTY INFRASTRUCTURE.
- NO SPECIMEN TREES TO BE RETAINED PER F-08-041. THE LOD ENCOMPASSES THE ENTIRE SITE, RESULTING IN TOTAL CLEARING. ALL PROPOSED GRADING WITHIN UNITS OF GRADING APPROVED UNDER F-08-041.

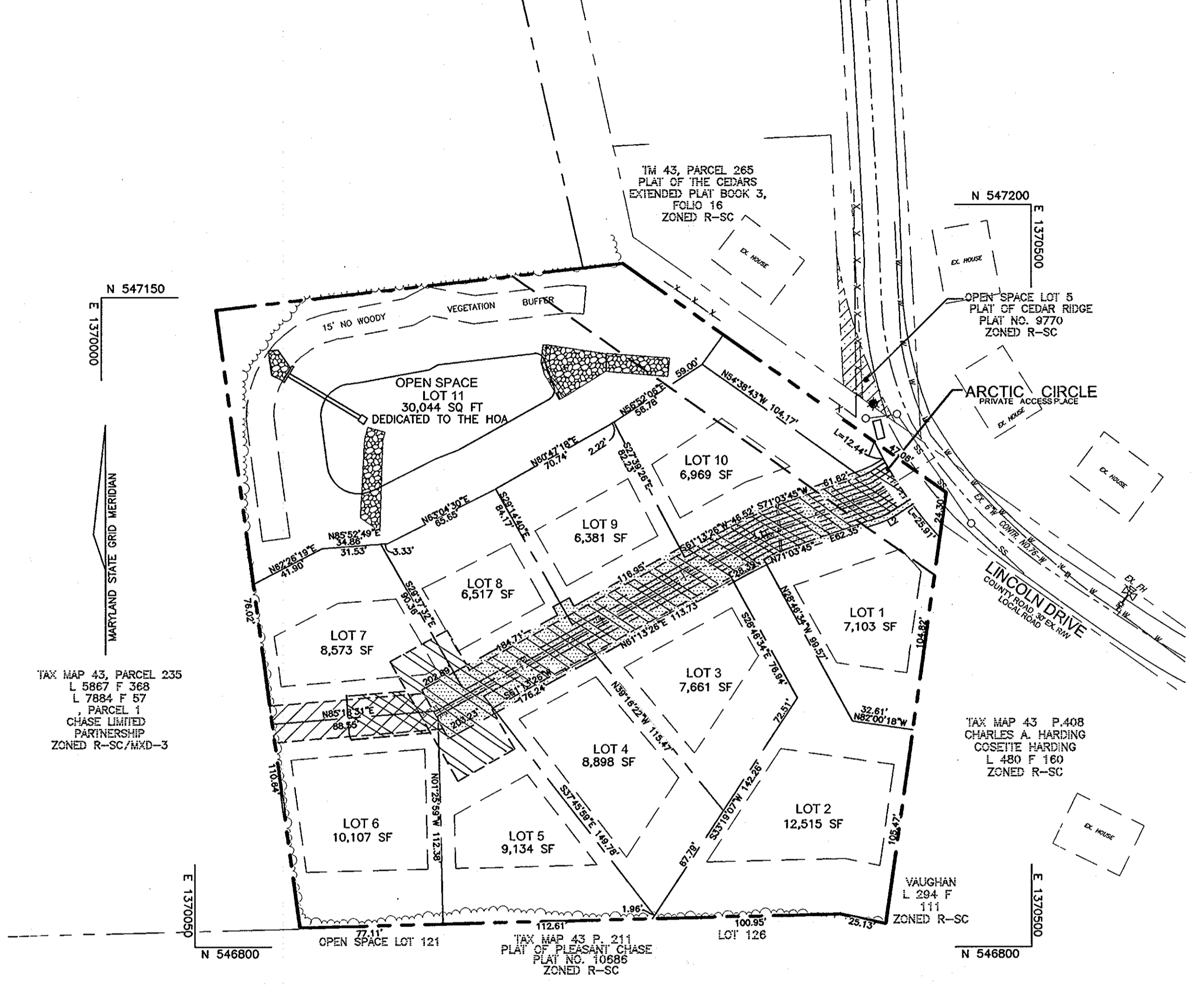
# SITE DEVELOPMENT PLAN LINCOLN GLEN LOTS 1-10 HOWARD COUNTY, MARYLAND

BENCHMARK INFORMATION			
NUMBER	NORTHING	EASTING	ELEVATION
43EC	547821.28	1372882.45	220.37
43EB	545963.66	1371573.83	217.00

CURVE DATA				
CURVE	ARC	RADIUS	TANGENT DELTA	CHORD
C1	62.36'	200.00'	31.43° 17'51"59"	S34°17'43"E 62.11'



**VICINITY MAP**  
SCALE: 1"=2,000'  
**ADC COORDINATES:**  
N 486,300  
E 856,000  
MAP:20, GRID:G-1



COORDINATE LIST		
POINT	NORTH	EAST
18	547072.2149	1370415.75973
396	547020.89726	1370450.75758
3108	546810.50494	1370106.39579
3110	547143.26281	1370061.56374
3200	546817.84090	1370398.96970
3203	546812.64628	1370421.55694
3314	547168.33334	1370280.38111
3315	547044.96600	1370454.13246

SHEET INDEX		
DESCRIPTION	SHEET NO.	
COVER SHEET	1 OF 4	
SITE LAYOUT	2 OF 4	
GRADING, SEDIMENT & EROSION CONTROL PLAN AND SOILS MAP	3 OF 4	
HOUSE TYPES, SEDIMENT & EROSION CONTROL DETAILS AND LANDSCAPE DETAILS	4 OF 4	

ADDRESS CHART		
LOT #	STREET ADDRESS	
1	8403 ARCTIC CIRCLE	
2	8407 ARCTIC CIRCLE	
3	8411 ARCTIC CIRCLE	
4	8415 ARCTIC CIRCLE	
5	8419 ARCTIC CIRCLE	
6	8423 ARCTIC CIRCLE	
7	8418 ARCTIC CIRCLE	
8	8414 ARCTIC CIRCLE	
9	8410 ARCTIC CIRCLE	
10	8406 ARCTIC CIRCLE	
11	OPEN SPACE	ARCTIC CIRCLE

PERMIT INFORMATION CHART					
PROJECT NAME	SECTION/AREA	LOT NUMBER	LOT NUMBER		
LINCOLN GLEN	N/A	LOTS 1-10, OPEN SPACE LOT 11			
PLAT REF.	BLOCK NO.	ZONE	TAX MAP	PARCEL	ELECT. DIST.
2012-1	8	R-SC	43	407	6TH
2012-3					606901
WATER CODE:	E06	SEWER CODE:	3290000		

STORMWATER MANAGEMENT REQUIREMENTS - AREA 'B' PER F-08-041					
AREA 0.40 AC.	REQUIREMENT	VOLUME REQUIREMENT WITHOUT CREDITS	CREDITS	VOLUME REQUIREMENT WITH CREDITS	NOTES
1	WATER QUALITY VOLUME (WQV)	0.0059 AC. FT.	0	0.0059 AC. FT.	RAIN GARDEN FOR LOT 1, 1/2 ROOF
2	RECHARGE VOLUME (REV)	0.0008 AC. FT.	0.171 AC.	0.0008 AC.-FT.	RAIN GARDEN FOR LOT 1, 1/2 ROOF
3	CHANNEL PROTECTION VOLUME (CPV)	N/A, >1<2.0 CFS	N/A	0.0073 AC. N/A	Q1=0.47 CFS
4	OVERHEAD FLOOD PROTECTION (OFP)	N/A	N/A	N/A	N/A
5	EXTREME FLOOD VOLUME (EFV)	N/A	N/A	N/A	N/A

TOTAL AREA TABULATION	
TOTAL NUMBER OF LOTS RECORDED	
BUILDABLE	10
NON-BUILDABLE	0
OPEN SPACE	1
PRESERVATION PARCELS	0
TOTAL AREA OF LOTS AND/OR PARCELS	
BUILDABLE	1.93 ACRES
NON-BUILDABLE	0

**OWNER/DEVELOPER**  
MICHAEL PFAU  
TRINITY QUALITY HOMES, INC.  
3875 PARK AVE., STE. 301  
ELLCOTT CITY, MARYLAND 21043  
(410) 480-0023

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: 09-27-2008.

NO.	REVISION	DATE
1	REVISION	11/19/08

**SITE DEVELOPMENT PLAN  
COVER SHEET  
LINCOLN GLEN  
LOTS 1-10 AND OPENSACE LOT 11**  
DPZ FILE REFERENCES S-02-04, P-07-006, F-08-041,  
PLAT # 2012-1 - 2012-3  
TAX MAP 43 GRID 8 PARCELS 407  
6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

**ROBERT H. VOGEL ENGINEERING, INC.**  
ENGINEERS • SURVEYORS • PLANNERS  
8407 MAIN STREET ELLICOTT CITY, MD 21043 TEL: 410.461.7666 FAX: 410.461.8961

	DESIGN BY: RJ	1 SHEET OF 4
	DRAWN BY: KG	
	CHECKED BY: RIV	
	DATE: SEPTEMBER 2008	
	SCALE: AS SHOWN W.O. NO.: 06-35-00	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING 	THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. 
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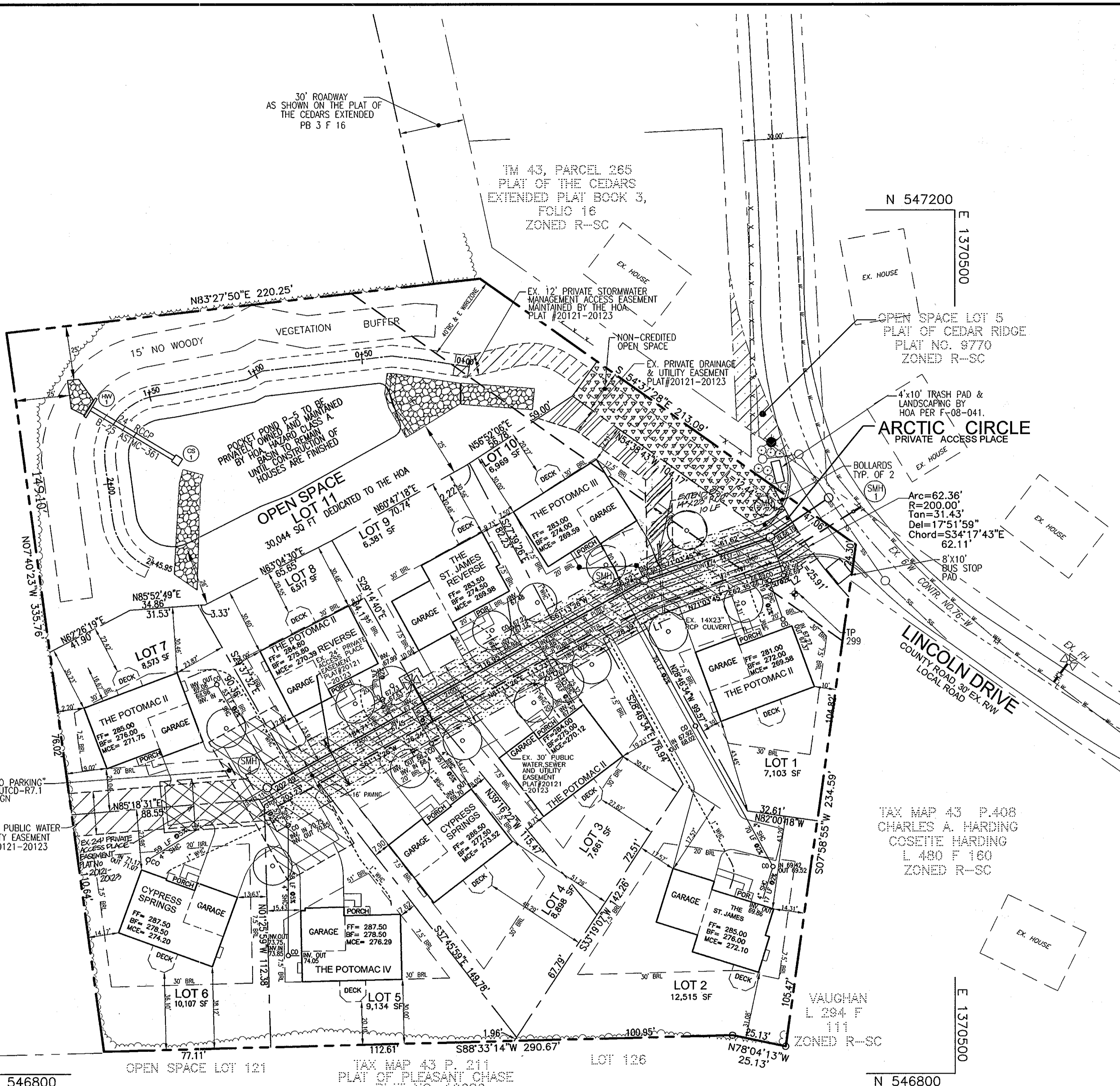
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MARYLAND STATE GRID MERIDIAN

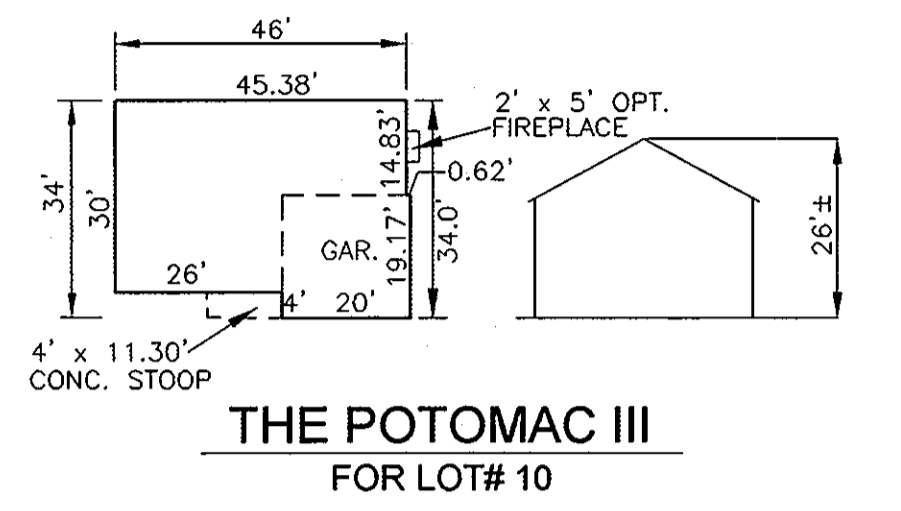
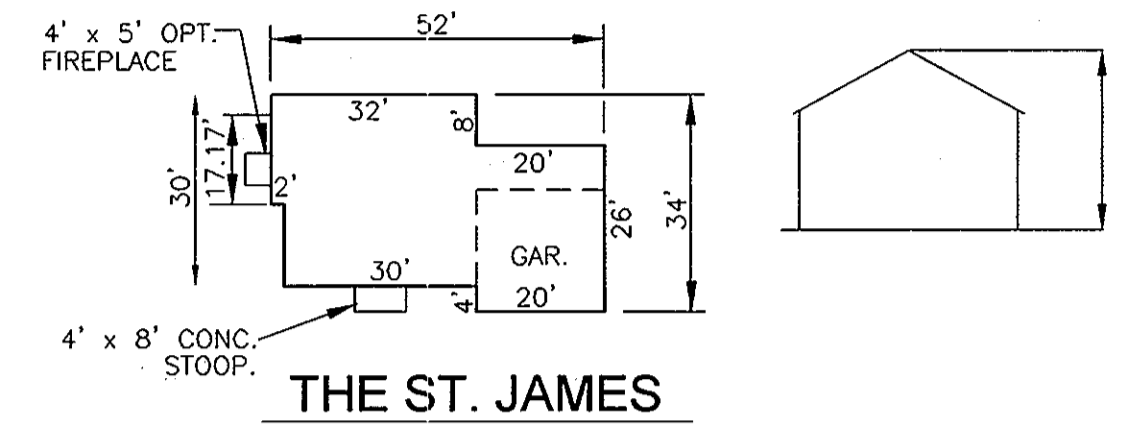
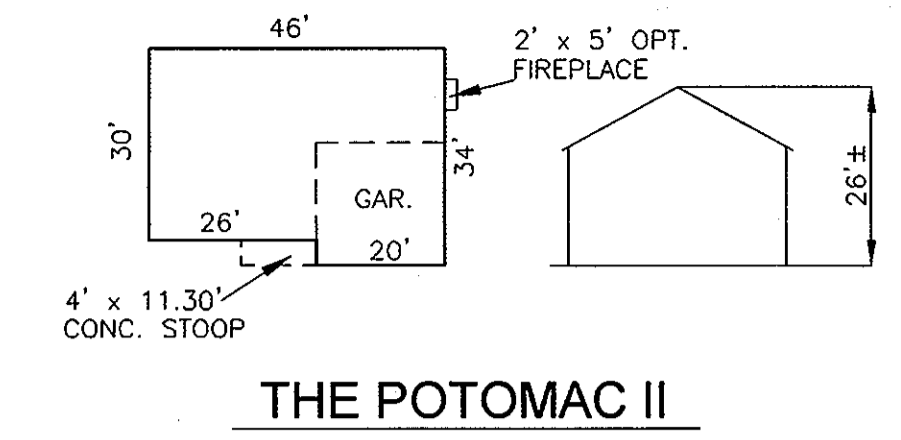
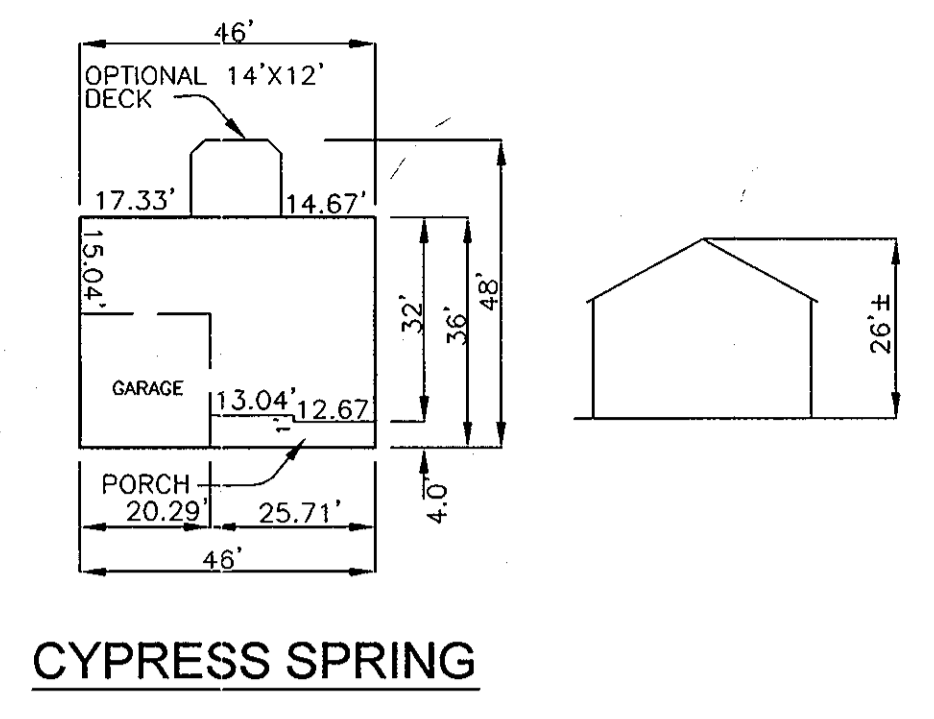
TAX MAP 43, PARCEL 235  
L 5867 F 368  
L 7884 F 57  
PARCEL 1  
CHASE LIMITED PARTNERSHIP  
ZONED R-SC/MXD-3

EX. 20' PUBLIC WATER & UTILITY EASEMENT PLAT#20121-20123

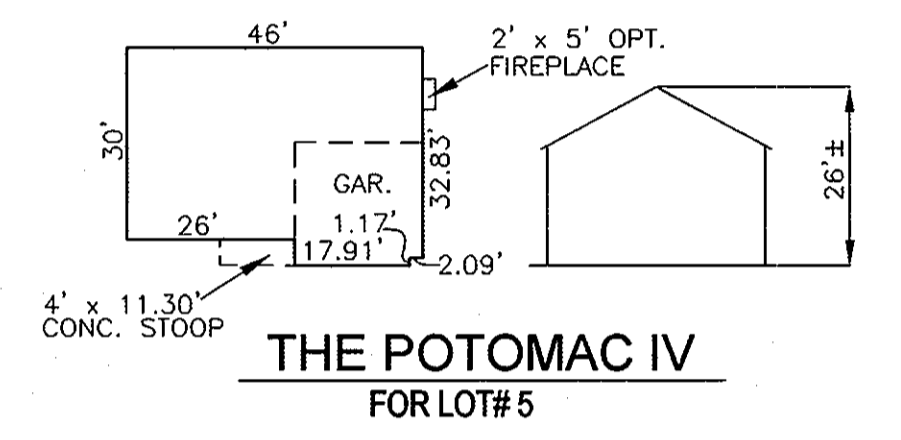
TAX MAP 43 P.408  
CHARLES A. HARDING  
COSETTE HARDING  
L 480 F 160  
ZONED R-SC



LAYOUT PLAN  
SCALE 1"=30'



BUILDING FOOTPRINTS  
SCALE: 1"=30'



- LEGEND:
- STREET TREES
  - DIRECTION OF FLOW
  - EXISTING TREES TO REMAIN
  - 30' PUBLIC WATER, SEWER & UTILITY EASEMENT, PLAT#20121-20123
  - 20' PUBLIC WATER, UTILITY EASEMENT PLAT#20121-20123
  - 24' PRIVATE ACCESS, PLACE EASEMENT PLAT#20121-20123
  - 12' PRIVATE SWM ACCESS, EASEMENT PLAT#20121-20123
  - PRIVATE UTILITY & DRAINAGE EASEMENT MAINTAINED BY THE HOA PLAT#20121-20123
  - NON-CREDITED OPEN SPACE
  - BORING
  - STREET LIGHT

NO.	REVISION	DATE
1	REVISE PLAN TO RELOCATE DRIVEWAY ON LOT 10	10/27/08

SITE DEVELOPMENT PLAN  
SITE LAYOUT  
**LINCOLN GLEN**  
LOTS 1-10 AND OPENSACE LOT 11  
DPZ FILE REFERENCES S-02-04, P-07-006, F-08-041  
TAX MAP 43 GRID 8 PARCELS 407  
6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

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ELICOTT CITY, MD 21043 FAX: 410.461.8961

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*Michael Pfauf* 9/26/08  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Cindy Hanna* 10/1/08  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*Paul J. Long* 10/1/08  
DIRECTOR DATE

THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

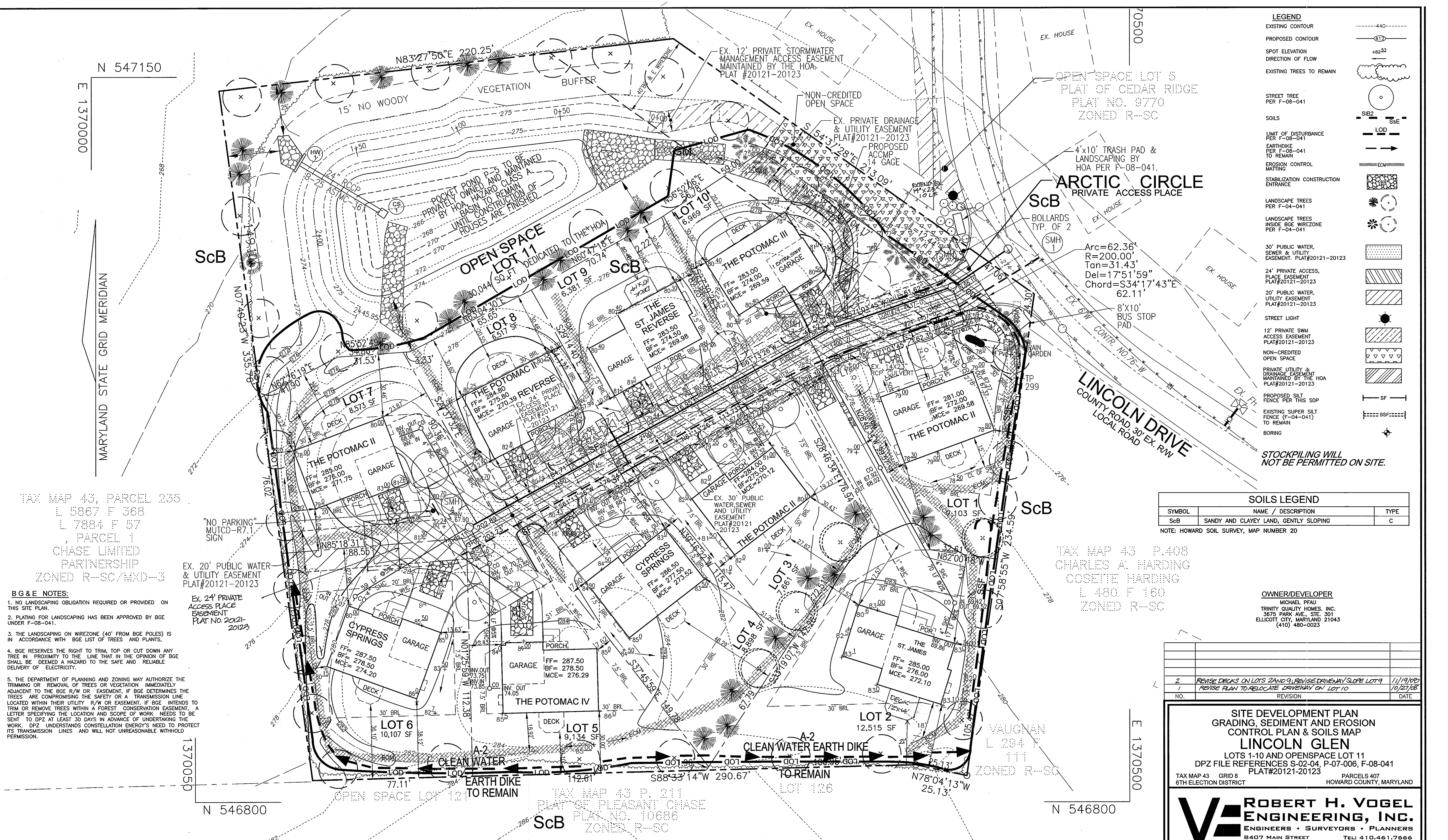
*John R. Robertson* 9/18/08  
HOWARD SCD DATE

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DESIGN BY: RJ  
DRAWN BY: KG  
CHECKED BY: RHW  
DATE: SEPTEMBER 2008  
SCALE: AS SHOWN  
W.O. NO.: 08-35.00

2 SHEET OF 4



- LEGEND**
- EXISTING CONTOUR
  - PROPOSED CONTOUR
  - SPOT ELEVATION
  - DIRECTION OF FLOW
  - EXISTING TREES TO REMAIN
  - STREET TREE PER F-08-041
  - SOILS
  - LIMIT OF DISTURBANCE PER F-08-041
  - EARTHDIKE PER F-08-041 TO REMAIN
  - EROSION CONTROL MATTING
  - STABILIZATION CONSTRUCTION ENTRANCE
  - LANDSCAPE TREES PER F-04-041
  - LANDSCAPE TREES INSIDE BGE WIREZONE PER F-04-041
  - 30' PUBLIC WATER, SEWER & UTILITY EASEMENT, PLAT#20121-20123
  - 24' PRIVATE ACCESS, PLACE EASEMENT PLAT#20121-20123
  - 20' PUBLIC WATER, UTILITY EASEMENT PLAT#20121-20123
  - STREET LIGHT
  - 12' PRIVATE SWM ACCESS EASEMENT PLAT#20121-20123
  - NON-CREDITED OPEN SPACE
  - PRIVATE UTILITY & DRAINAGE EASEMENT MAINTAINED BY THE HOA PLAT#20121-20123
  - PROPOSED SILT FENCE PER THIS SDP
  - EXISTING SUPER SILT FENCE (F-04-041) TO REMAIN
  - BORING
- STOCKPILING WILL NOT BE PERMITTED ON SITE.**

**SOILS LEGEND**

SYMBOL	NAME / DESCRIPTION	TYPE
ScB	SANDY AND CLAYEY LAND, GENTLY SLOPING	C

NOTE: HOWARD SOIL SURVEY, MAP NUMBER 20

**OWNER/DEVELOPER**  
 MICHAEL PFAU  
 TRINITY QUALITY HOMES, INC.  
 3675 PARK AVE., STE. 301  
 ELLICOTT CITY, MARYLAND 21043  
 (410) 480-0023

NO.	REVISION	DATE
2	REVISE DECKS ON LOTS 2 AND 9; REVISE DRIVEWAY SLOPE LOT 9	11/19/08
1	REVISE PLAN TO RELOCATE DRIVEWAY ON LOT 10	10/27/08

**SITE DEVELOPMENT PLAN  
 GRADING, SEDIMENT AND EROSION  
 CONTROL PLAN & SOILS MAP  
 LINCOLN GLEN**  
 LOTS 1-10 AND OPENSACE LOT 11  
 DPZ FILE REFERENCES S-02-04, P-07-006, F-08-041  
 PLAT#20121-20123 PARCELS 407  
 TAX MAP 43 GRID 8 HOWARD COUNTY, MARYLAND  
 6TH ELECTION DISTRICT

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TAX MAP 43, PARCEL 235  
 L 5867 F 368  
 L 7884 F 57  
 CHASE LIMITED  
 PARTNERSHIP  
 ZONED R-SC/MXD-3

- B&E NOTES:**
- NO LANDSCAPING OBLIGATION REQUIRED OR PROVIDED ON THIS SITE PLAN.
  - PLANTING FOR LANDSCAPING HAS BEEN APPROVED BY BGE UNDER F-08-041.
  - THE LANDSCAPING ON WIREZONE (40' FROM BGE POLES) IS IN ACCORDANCE WITH BGE LIST OF TREES AND PLANTS.
  - BGE RESERVES THE RIGHT TO TRIM, TOP OR CUT DOWN ANY TREE IN PROXIMITY TO THE LINE THAT IN THE OPINION OF BGE SHALL BE DEEMED A HAZARD TO THE SAFE AND RELIABLE DELIVERY OF ELECTRICITY.
  - THE DEPARTMENT OF PLANNING AND ZONING MAY AUTHORIZE THE TRIMMING OR REMOVAL OF TREES OR VEGETATION IMMEDIATELY ADJACENT TO THE BGE R/W OR EASEMENT, IF BGE DETERMINES THE TREES ARE COMPROMISING THE SAFETY OR A TRANSMISSION LINE LOCATED WITHIN THEIR UTILITY R/W OR EASEMENT. IF BGE INTENDS TO TRIM OR REMOVE TREES WITHIN A FOREST CONSERVATION EASEMENT, A LETTER SPECIFYING THE LOCATION AND SCOPE OF WORK NEEDS TO BE SENT TO DPZ AT LEAST 30 DAYS IN ADVANCE OF UNDERTAKING THE WORK. DPZ UNDERSTANDS CONSTELLATION ENERGY'S NEED TO PROTECT ITS TRANSMISSION LINES AND WILL NOT UNREASONABLE WITHHOLD PERMISSION.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
 [Signature] 9/2/08  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 [Signature] 10/1/08  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 [Signature] 10/1/08  
 DIRECTOR

THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.  
 [Signature] 9/18/08  
 HOWARD SCD

**ENGINEERS CERTIFICATE**  
 "I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."  
 [Signature] 9/15/08  
 SIGNATURE OF ENGINEER  
 ROBERT H. VOGEL

**DEVELOPER'S CERTIFICATE**  
 "I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT."  
 [Signature] 7-10-08  
 SIGNATURE OF DEVELOPER

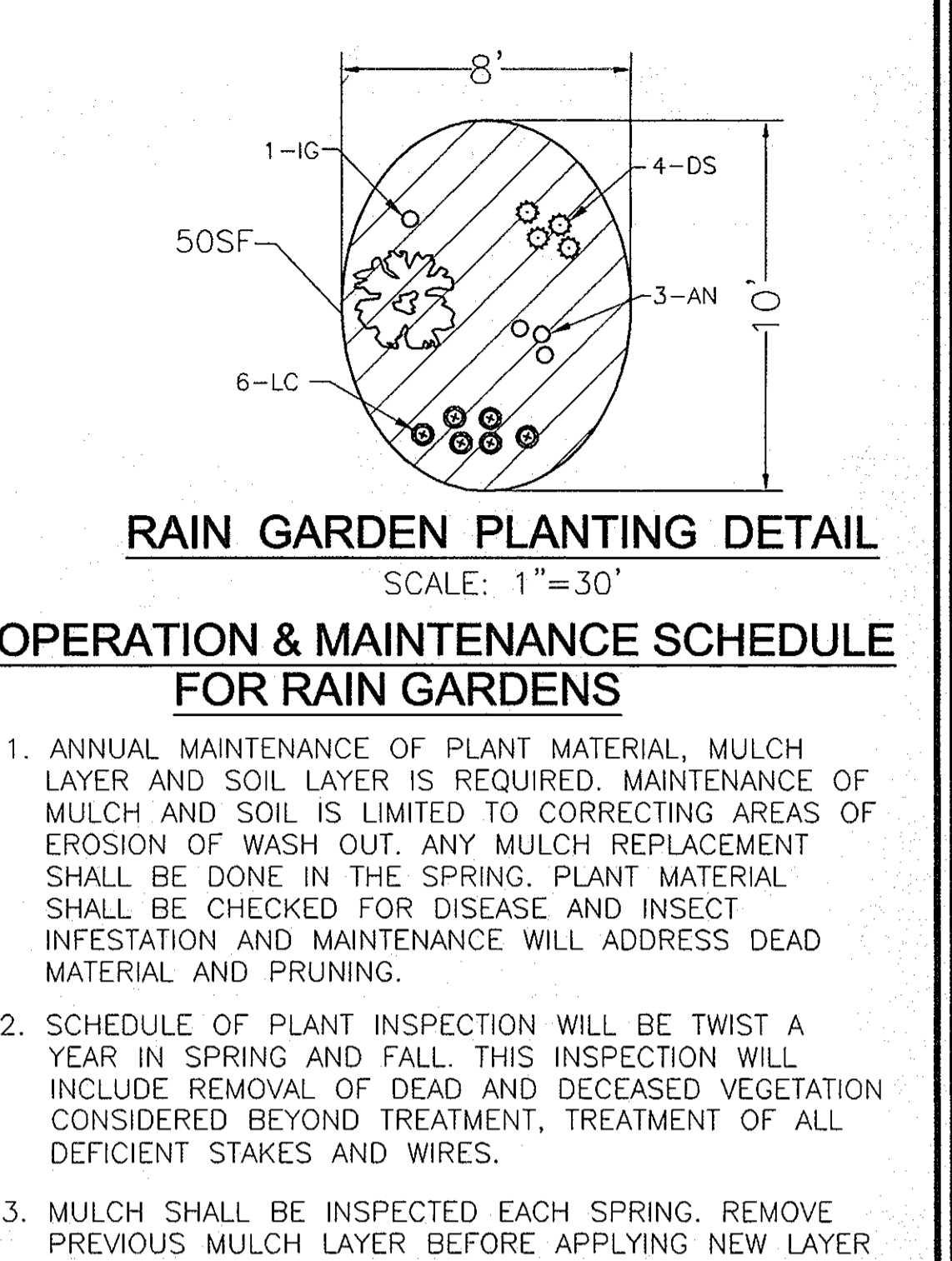
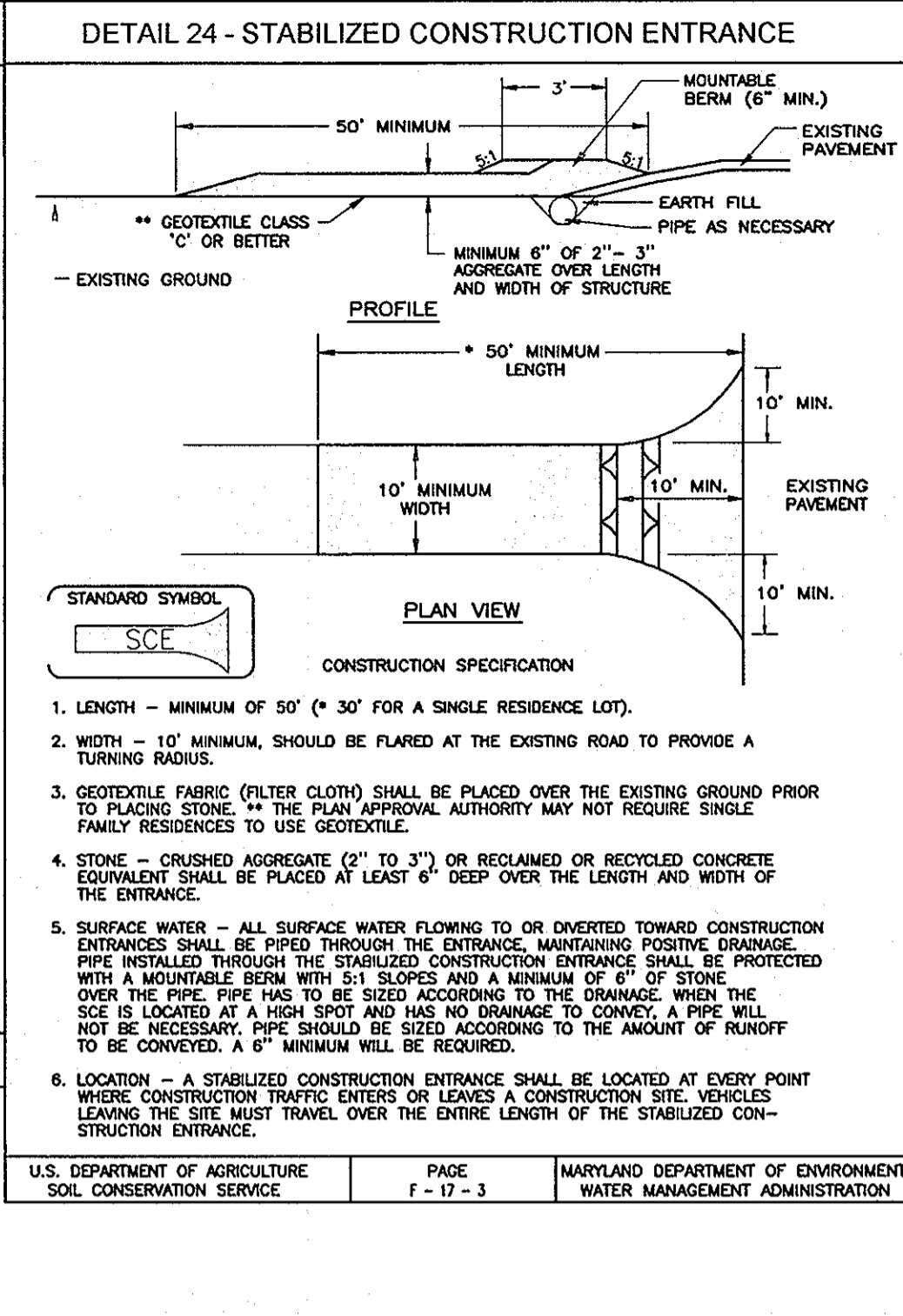
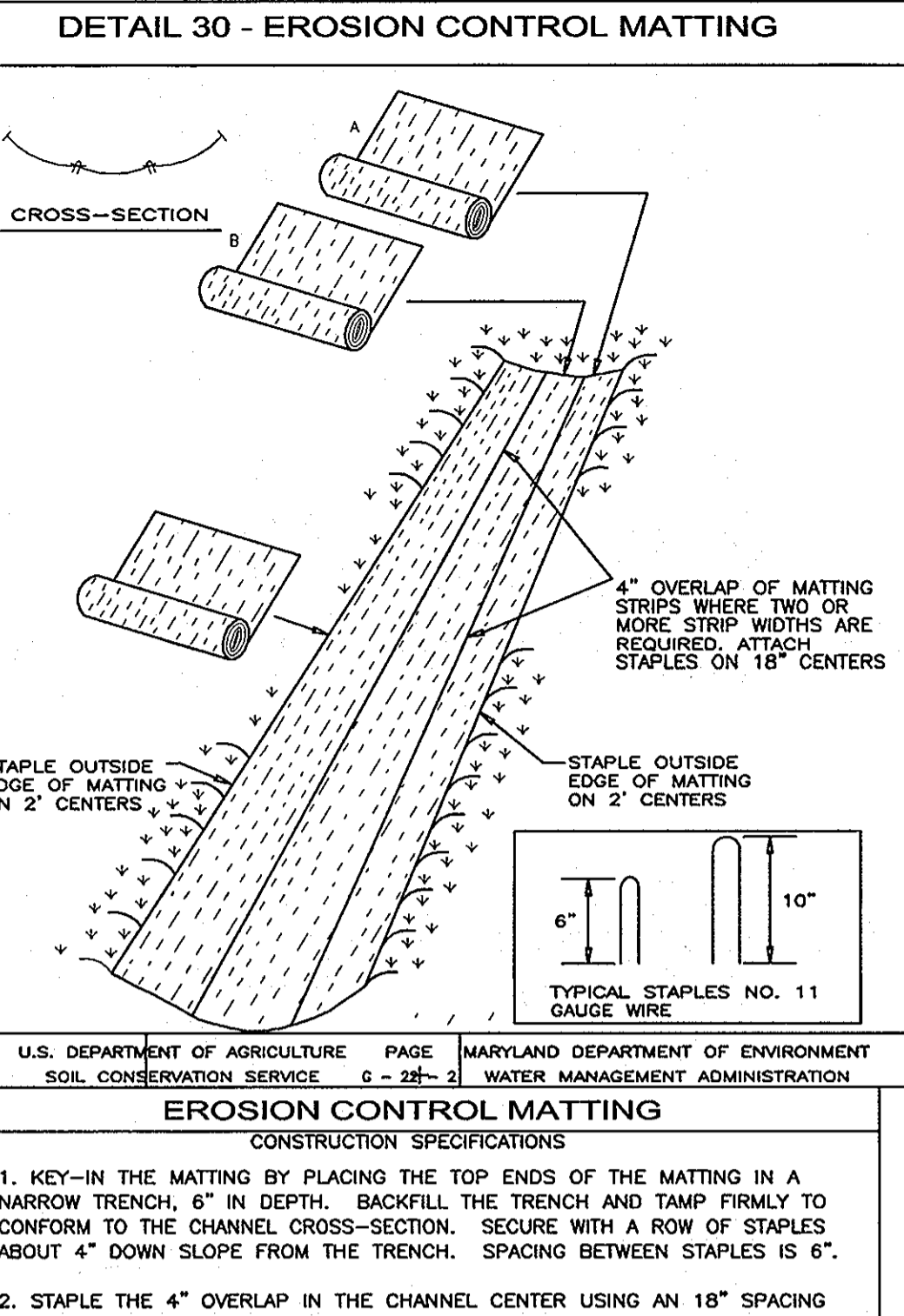
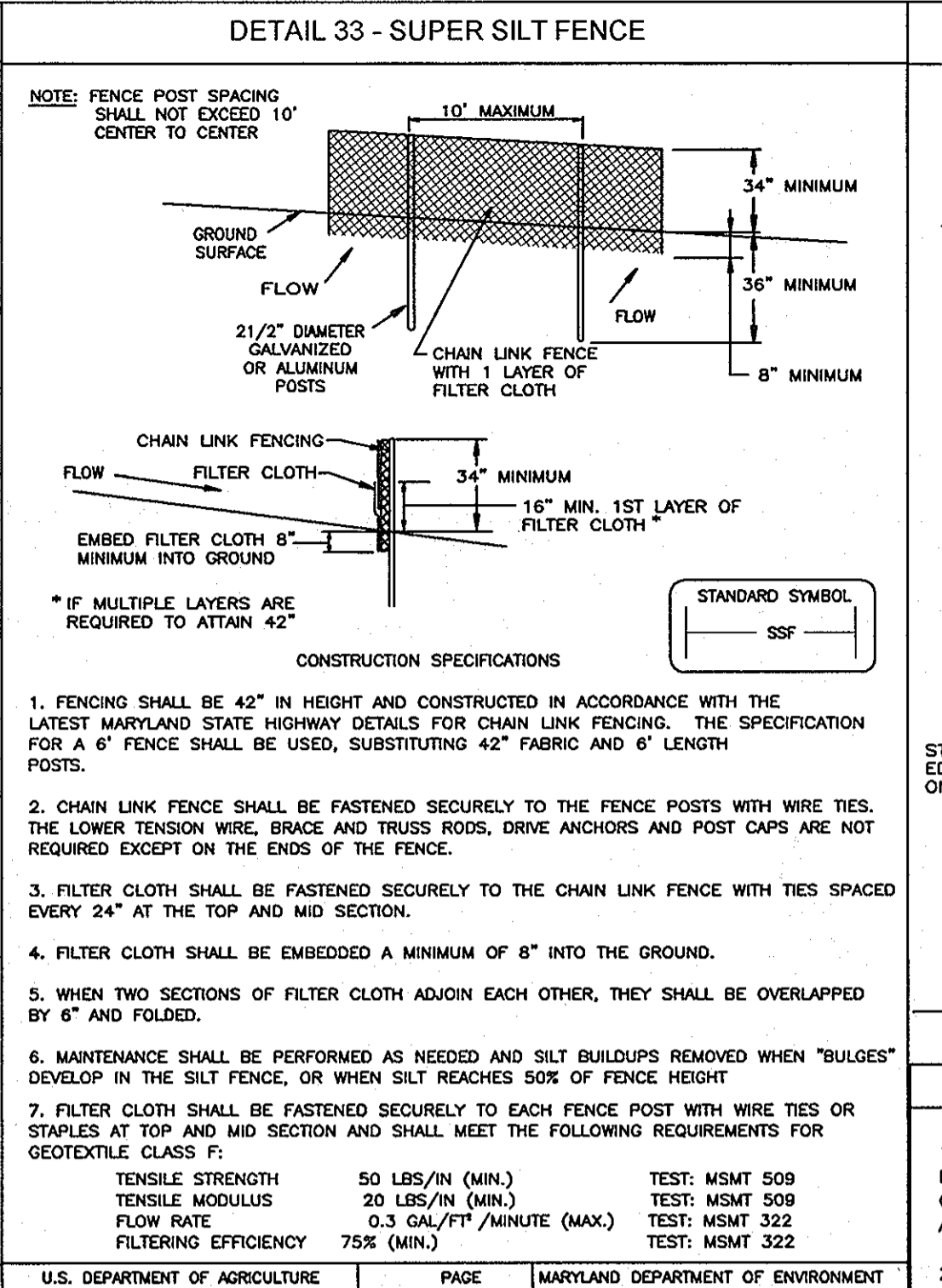
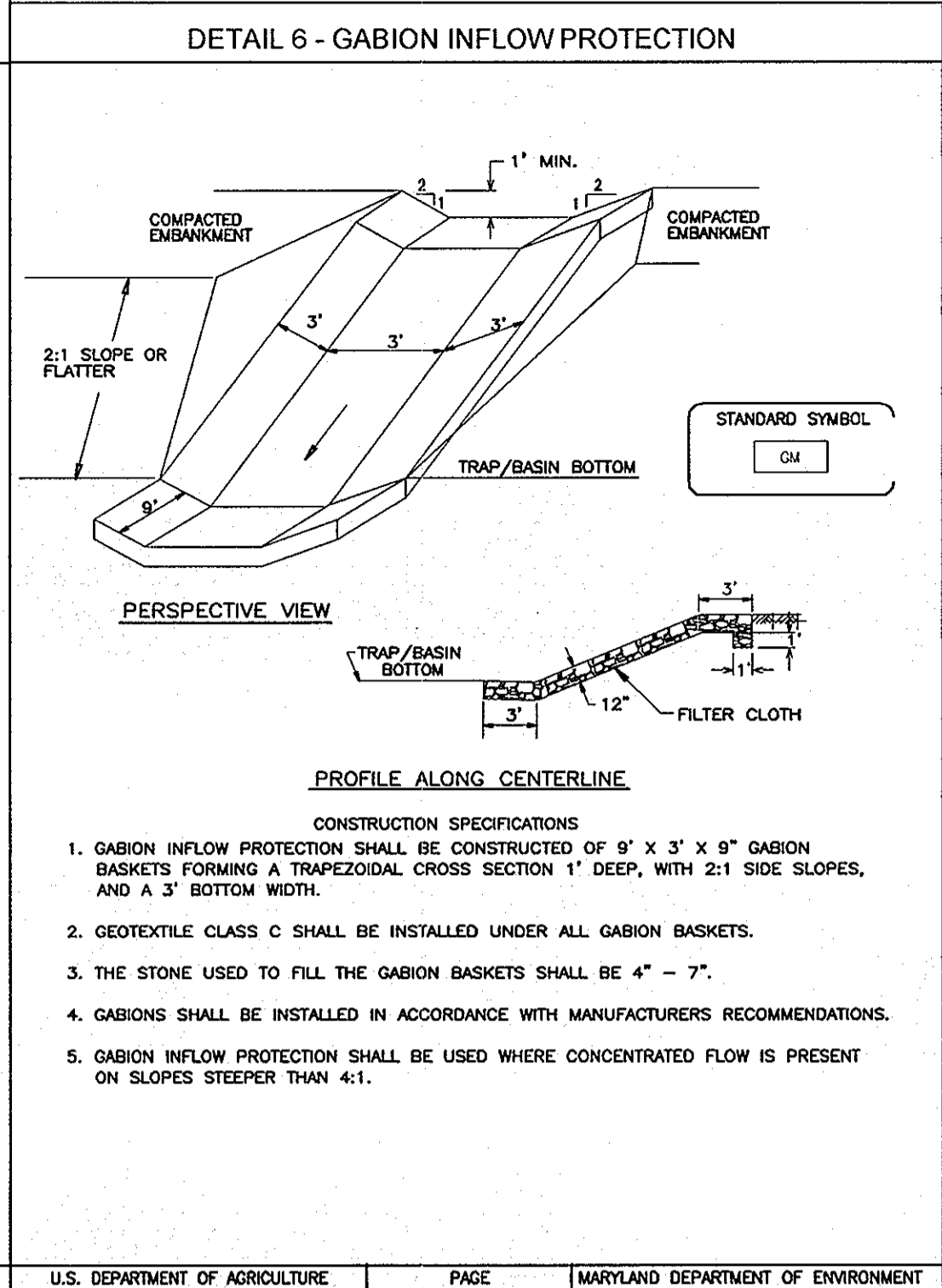
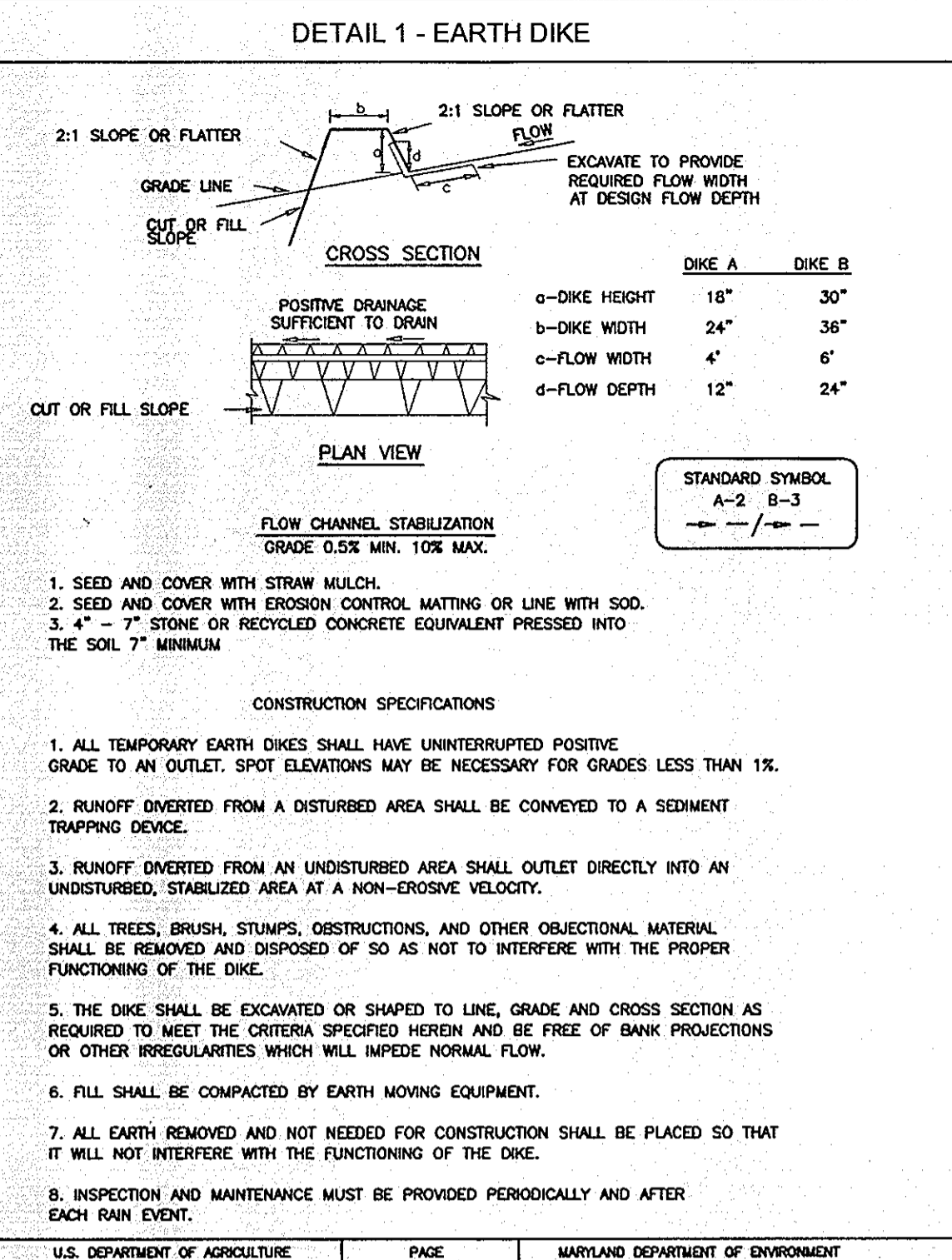
**GRADING, SEDIMENT AND EROSION CONTROL PLAN**  
 SCALE 1"=20'

**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: 09-27-2008."

DESIGN BY: RJ  
 DRAWN BY: KG  
 CHECKED BY: RHY  
 DATE: SEPTEMBER 2008  
 SCALE: AS SHOWN  
 W.O. NO.: 06-35.00

3 SHEET OF 4

STATE OF MARYLAND  
 REGISTERED PROFESSIONAL ENGINEER  
 ROBERT H. VOGEL, PE No. 16193

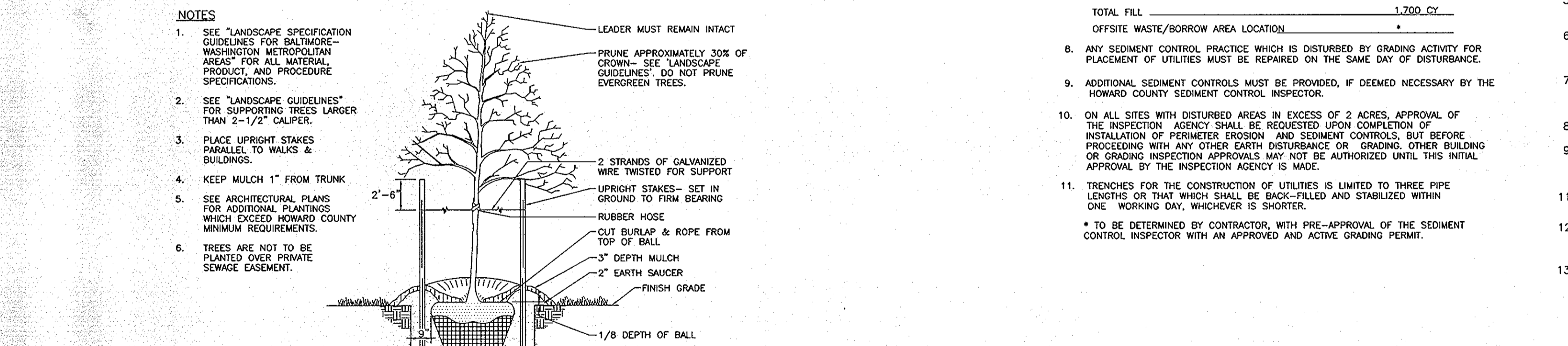
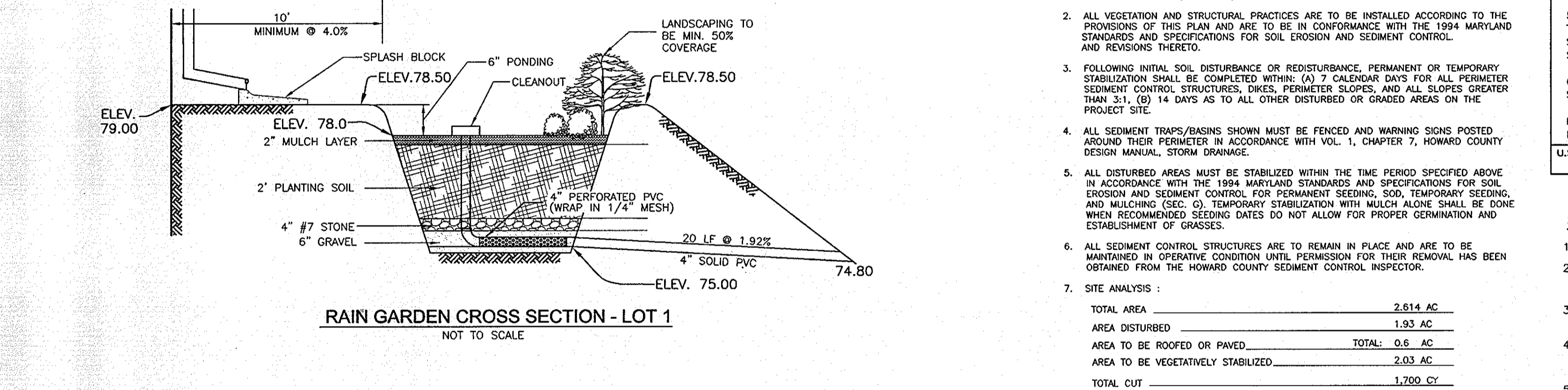


U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 8-1-8 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 8-2-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE H-26-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE G-22-2A MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



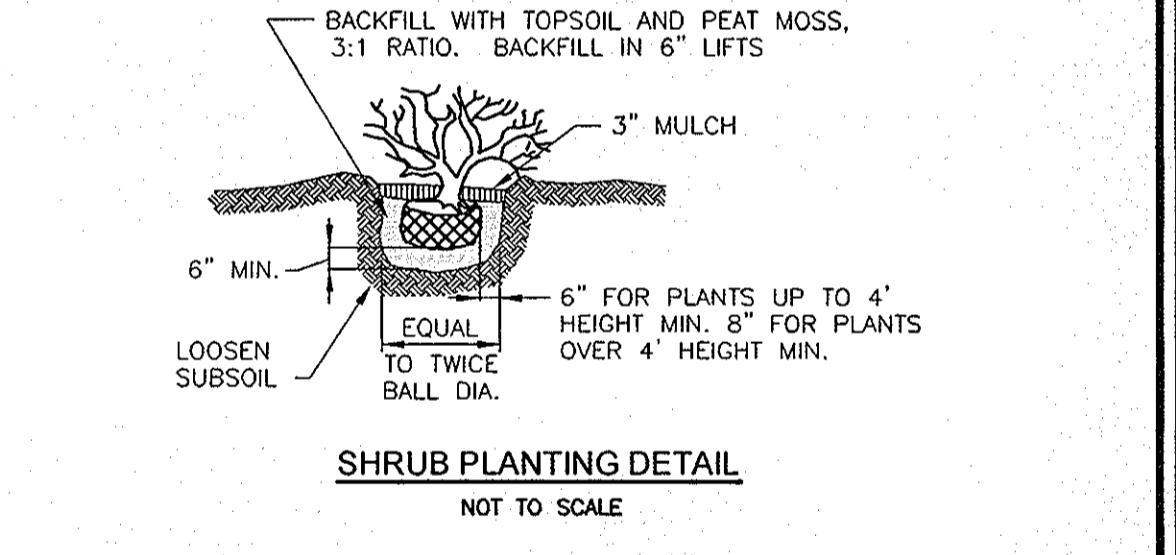
U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE H-26-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

(6)RAINGARDEN PLANT LIST (8'0" x 10' EACH)

QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
1	PLATANUS X ACERIFOLIA	LONDON PLANE TREE	2 1/2"-3" Cal.
1	ILEX GLABRA	INK BERRY	2'-3" HT.
6	LOBELEA CARDINALIS	CARDINAL FLOWER LOBELIA	1 GAL. CONTAINER
4	DRYOPTERIS SP.	WOOD FERN	1 GAL. CONTAINER
3	ASTER NOVAE-ANGLIAE	NEW ENGLAND ASTER	1 GAL. CONTAINER

**SEQUENCE OF CONSTRUCTION**

SEQUENCE OF CONSTRUCTION	DURATION
1. OBTAIN GRADING PERMIT.	
2. NOTIFY HOWARD COUNTY BUREAU OF INSPECTIONS AND PERMITS (410-313-1880) AT LEAST 24 HOURS BEFORE STARTING ANY WORK.	1 DAY
3. INSTALL SEDIMENT CONTROL MEASURE AS SHOWN ON PLAN AND IN ACCORDANCE WITH DETAIL.	2 DAY
4. SEDIMENT BASIN PER F-08-041 TO REMAIN UNTIL CONSTRUCTION OF SITE DEVELOPMENT PLAN IS FINISH.	1 WEEK
5. INSPECT SEDIMENT CONTROL MEASURES FROM F-08-041 TO REMAIN PER SDP REPAIR AS NEEDED.	1 DAY
6. AFTER OBTAINING PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR TO PROCEED, ROUGH GRADE SITE DEVELOPMENT PLAN.	1 WEEK
7. CONSTRUCT HOUSES, THE FIRST FLOOR ELEVATIONS CANNOT BE MORE THAN 1' HIGHER OR 0.2' LOWER THAN THE ELEVATIONS SHOWN ON THIS PLAN.	1 MONTH
8. INSTALL PERIMETER LANDSCAPING.	3 DAYS
9. UPON STABILIZATION OF ALL DISTURBED AREAS AND WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR REMOVE ALL SEDIMENT CONTROL DEVICES.	3 DAYS
11. WITH INSPECTOR APPROVAL AND FINAL ROAD PAVING COMPLETE STABILIZE ANY REMAINING DISTURBED AREAS.	1 WEEK
12. WITH SEDIMENT CONTROL INSPECTORS APPROVAL CONVERT SEDIMENT BASIN TO FINAL STORMWATER MANAGEMENT FACILITY AFTER SITE STABILIZED.	1 WEEK
13. INSTALL STREET TREES AND ALL LANDSCAPING.	



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

9/2/08

9/4/08

9/14/08

THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

9/14/08

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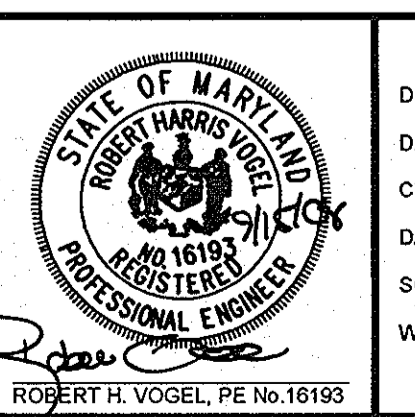
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CHECKED BY: RHV

DATE: SEPTEMBER 2008

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4 SHEET OF 4