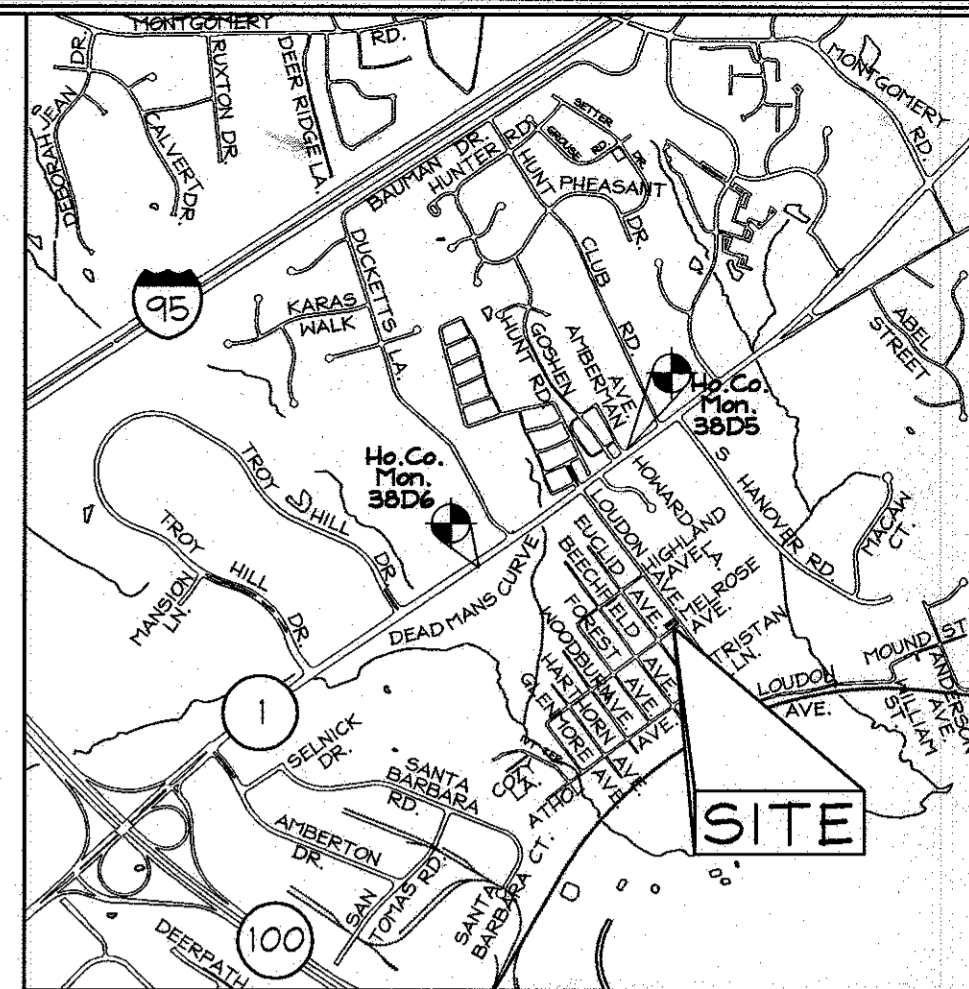


**GENERAL NOTES [continued]**  
 26. Approved for SDP-08-093 Extension Request of WP-17-031, Harwood Park. Lots 1 and 2 from February 7, 2017 until March 4, 2017. No Conditions Requested for Approval.

**LEGEND**

- Existing Contour
- Existing Spot Elevation
- Existing Trees to Remain
- Proposed Contour
- Proposed Spot Elevation
- Direction of Flow
- Utility Pole
- Proposed Shade Trees
- Proposed Evergreen Trees
- Landscape Perimeter
- Proposed Paving
- Existing High Wood Fence
- Existing Concrete Curb



**SHEET INDEX**

DESCRIPTION	SHEET No.
Site Development and Landscape Plan	1 of 3
Sediment and Erosion Control Plan	2 of 3
Landscape and Sediment and Erosion Control Notes and Details	3 of 3

**VICINITY MAP**  
 SCALE: 1"=2000'  
 ADC 17 Grid F10

**GEODETIC SURVEY CONTROLS**  
 Howard County Monument 382C  
 N 557,155.429 E 1,384,942.260 El.: 174.525  
 Howard County Monument 38DS  
 N 558,378.540 E 1,386,524.200 El.: 192.990

**GENERAL NOTES [continued]**

- AA NOTE ONLY LOT #1**  
 Administrative Adjustment AA-16-105 of Section 109.D.4.b.(1)(a) as authorized under the Administrative Adjustment Procedure, Section 109.D.4 of the Howard County Zoning Regulations were both approved January 5, 2017.
- Let 1 - To reduce the setback from the right-of-way of Melrose Avenue from 20 feet to 17.0 feet was approved.
  - The conditions of the approval are as follows:
    - The Petitioner shall comply with all applicable Federal State and County Laws and Regulation.
    - The granted Administrative Adjustment shall apply solely to the Proposed dwellings as depicted on the Administrative Adjustment Plan submitted by the Petitioner and not to any other structure addition building or use.

**GENERAL NOTES**

- The subject property is zoned R-12 per the 02/02/04 Comprehensive Zoning Plan and per the "Comp Lite" Zoning Amendments effective on 07/28/06.
- Total area of property is 9,028 sq. ft. as of 02/07/07.
- Public water and sewer will be used within this site.
- On-site topography based on a Field Run Topographic Survey prepared by FSH Associates in May, 2007 with two foot contours. Off-site topography based on Howard County 1998 Aerial Topographic Surveys with five foot contours.
- Number of proposed buildable lots is 2.
- Area of proposed buildable lots is 0.207 acres.
- In accordance with Section 12B of the Howard County Zoning Regulations, bay windows, chimneys or exterior stairways not more than 16 feet in width may project not more than 4 feet into any setbacks, porches or decks, open or enclosed may project not more than 10 feet into the front or rear yard setback.
- Driveway(s) shall be provided prior to issuance of a use and occupancy permit to ensure safe access for fire and emergency vehicles per the following requirements:
  - Width - 12 feet (16 feet serving more than one residence);
  - Surface - six (6") inches of compacted crusher run base with tar and chip coating (1-1/2" Minimum);
  - Geometry - Maximum 15% grade, Maximum 10% grade change and 45-foot turning radius;
  - Structures (culverts/bridges) - capable of supporting 25 gross tons (425-loading);
  - Drainage elements - capable of safely passing 100 year flood with no more than 1 foot depth over surface of the following requirements:
    - Maintainance - sufficient to ensure all weather use.
- There are no floodplains, historic structures or cemeteries on-site.
- Previous Howard County file numbers: WP-07-119; AA-07-28; 1-W; 23-5
- This property is subject to the 5th edition of the Howard County Subdivision and Land Development Regulations.
- The lots shown herein comply with the minimum ownership width and lot area as required by the Maryland State Department of the Environment.
- This Site Development Plan has been prepared in accordance with Section 16.124 of the Howard County Code and the Landscape Manual. Financial surety is based on the required landscaping of 8 shade trees @ \$300.00 and 2 evergreen trees @ \$150.00 each, in the amount of \$2,700.00, provided with the following utility companies or agencies at least five (5) working days before starting work on these plans:
 

State Highway Administration	410.531.5533
BGE (contractor services)	410.850.4620
BGE (underground damage control)	410.787.9666
Miss Utility	1.800.257.7777
Colonial Pipeline Company	410.795.1390
Howard County, Dept. of Public Works, Bureau of Utilities	410.313.4900
Howard County Health Department	410.313.2640
- The contractor shall notify Miss Utility at 1-800-257-7777 at least 48 hours prior to any excavation work being done.
- The contractor shall notify the Department of Public Works/Bureau of Engineering Construction Inspection Division at (410) 313-1880 at least five (5) working days prior the start of work. All fills for public road surfaces require 95% compaction (AASHTO-T-160).
- All construction shall be in accordance with the latest standards and specifications of Howard County plus MSHA standards and specifications if applicable.
- This project is exempt per Section 16.1202(b)(1)(1) for a Forest Conservation Plan for development on land which is less than 40,000 square feet.
- Contractor to verify all dimensions in the field and if discrepancy is found, contact the engineer.
- All water house connections shall be for inside metering settings.
- For flag or pipestem lots, refuse collection, snow removal and road maintenance are provided to the junction of the flag or pipestem and road right-of-way line and not into the pipestem lot driveway.
- As of August 27, 2007, the Planning Director approved WP-07-119, a request to waive Section 16.147 requiring the submission of a final plat so as to convey land between Lots 175, 176, 177 of Harwood Park Subdivision to create two building lots, subject to the following conditions:
  - The applicant must record the new deeds of conveyance in the Land Records Office of Howard County, MD. A copy of the consolidation deeds shall be submitted to this Department for file retention within 45 days from the date of the approval letter and prior to approval of the site development plan. The new lots shall be assigned the next consecutive lot numbers within the particular section or block of the Harwood Park Subdivision as applicable.
  - Approval of a site development plan will be required for construction of new dwellings on each lot (Lots 1 & 2 as shown on the waiver petition exhibit).
- This project is exempt from Stormwater Management because the total impervious area is under 5,000 square feet.
- This project shall comply with the Maryland Aviation Administration's Vegetative Establishment and Specifications for Projects within 4 Miles of the Baltimore Washington International Airport, dated July 1, 2004.
- On August 28, 2008, the Maryland Aviation Administration has approved this project under Airport Zoning Permit No.06-262.

**REVISION ONLY LOT #1**

NO.	REVISION	DATE
1	Added New MLDP from F.S.H. Associates. Revised front setback from 20' to 17.0'. Revised permit into chart for Lot 1. Added approval for A.A. Hearing Approval for Front Setback for Lot 1. Added New Ownership for Lot 2. Revised Prop. 1" M.H.C. to 1-1/2". Added 5th Howard County Driveway from Note 1. Added note for Existing Concrete Curb along Melrose Avenue. Added note for Existing Fence along side and Rear Lot 1 (Approximate Location). Added New Owner of Lot 1. Added Item to Site Analysis Data Chart. Revised Lot 1 House type from Columbia to 1.5 ft. Development, LLC. Added Basement Area away @ Rear of Hse. Added New Site Front Porch with Retaining Walls and 3' concrete Wall. Reduced width of Driveway from 17' to 9' for (1) car garage. Reduced Street Setback from 12.6' to 11.4' from front Porch. Removed optional Deck/Patio from rear of house. Increased depth of house from 27.33' to 28.0'. Added Prepared by New MLDP. Added Legend for Existing Fence and Curb Symbol. Added New Professional Certification. Connected Driveway Slope from 7.7% to 2.8%. Revised rear Setback from 30.1' to 30.0'. Added setback to 2nd Area way to rear Property Line.	2/16/17
2	Revised Lot 2 to Add Driveway. RE-GRANDED YARD. OVERSEEN REAR SIDE WALK. LIGHT CHANGES TO DRIVEWAY AND AREA WAY, ETC.	3-27-09
3	Revised Lot 1. RE-GRANDED YARD. ADDED AREA WAY. RELOCATED THE M.H.C. AND S.H.C.	12-22-08
4	Revised Lot 2 to REPLACE LYCOMING HOUSE TYPE TO DECK HOUSE TYPE.	10/05/08

**ADDRESS CHART**

LOTS	STREET
1	6614 Melrose Avenue
2	6604 Melrose Avenue

**SITE ANALYSIS DATA CHART**

- Total project area: 0.207 Acres
- Limit of disturbed area: 0.212 Acres
- Subject property Zoned "R-12" per 02/02/04 Comprehensive Zoning Plan and per the "Comp Lite" Zoning Regulation Amendments effective 7/28/06.
- Proposed uses for site # structures: Single Family Detached Dwellings
- Floor space on each level of building(s) per use: See house templates.
- Building coverage of site: 0.060 Acres or 28.9% of Gross Area.
- DPZ file references: WP-07-119; AA-07-28; 1-W; 23-5
- Total number of units proposed for this submission: 2
- DPZ file references: WP-17-031; AA-16-015

**PREPARED BY**

site rite SURVEYING, INC.  
 200 E. JOPPA ROAD RM. 101  
 TOWSON, MARYLAND 21286  
 PHONE 410-828-2060  
 FAX 410-828-2066



**PROFESSIONAL CERTIFICATION**  
 I hereby certify that these documents were prepared or approved by me and that I am a duly licensed professional surveyor under the laws of the State of Maryland License No. 21175, Expiration Date 06/25/17.

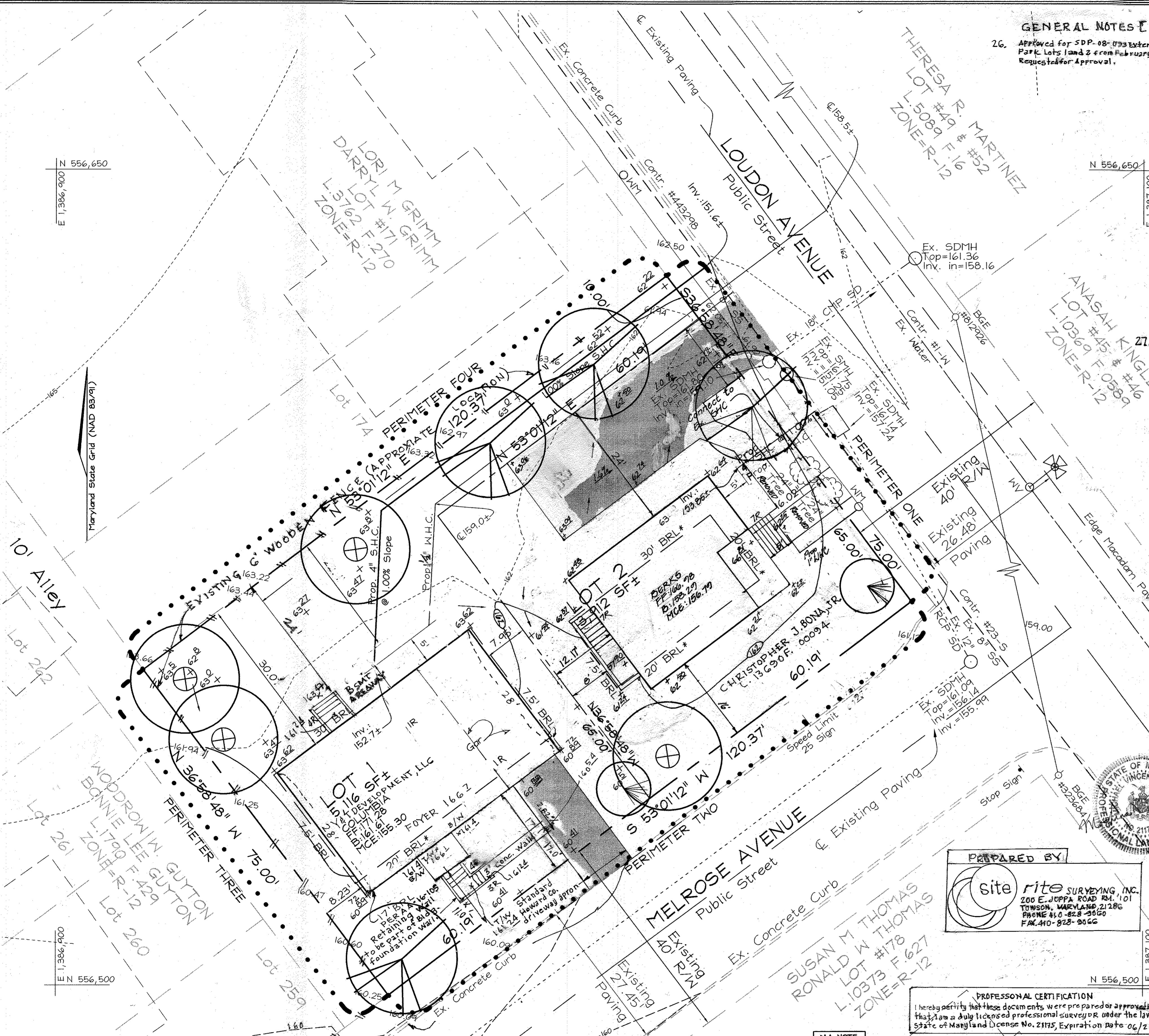
- AA NOTE:**
- Administrative Adjustment; AA-07-028 of sections 109.D.4.b.(1)(a) and 109.D.4.c.(1) of the Howard County Zoning Regulations was both approved and denied on May 22, 2008 as follows:
- Lot 1 - To reduce the setback from the right-of-way of Melrose Avenue from 20 feet to 17.0 feet was approved; whereas to reduce the setback from the rear property line from 30 feet to 24 feet was denied.
  - Lot 2 - To reduce the setback from the right-of-way of Loudon Avenue from 20 feet to 16 feet; from the right-of-way of Melrose Avenue from 20 feet to 16 feet; and from the rear lot line from 30 feet to 24 feet was approved.
  - The conditions of the approval are as follows:
    - The Petitioner shall comply with all applicable Federal, State and County laws and regulations.
    - The granted Administrative Adjustment shall apply solely to the single-family detached dwellings as depicted on the Administrative Adjustment plan submitted by the Petitioner except as stipulated above and not to any other structure, addition, building or use.
    - A building permit for the dwellings shall be obtained within two years from the date of this order and substantial construction shall be completed within three years.

**OWNER LOT 1 OWNER/DEVELOPER**

COMFORT EAGLE LLC  
 c/o Charles Young  
 2270 Bella Avenue  
 Catonsville, Md. 21228  
 (410) 203-0252

**PERMIT INFORMATION CHART**

Subdivision Name: Harwood Park	Section/Area: N/A	Lot/Parcel No.: 1 & 2
Deed: L17145 F. 434	Grid: 14 13	Zoning: R-12
Water Code: 1-W	Sewer Code: 23-5	Tax Map No.: 38
		Elect. District: 1st
		Census Tract: 601202



**DEVELOPER'S/BUILDER'S CERTIFICATE**  
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A LETTER OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTED ONE(1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Signature: [Signature] DATE: Sept. 2, 2008

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Signature: [Signature] DATE: 9/1/08

Signature: [Signature] DATE: 9/22/08

Signature: [Signature] DATE: 9/24/08

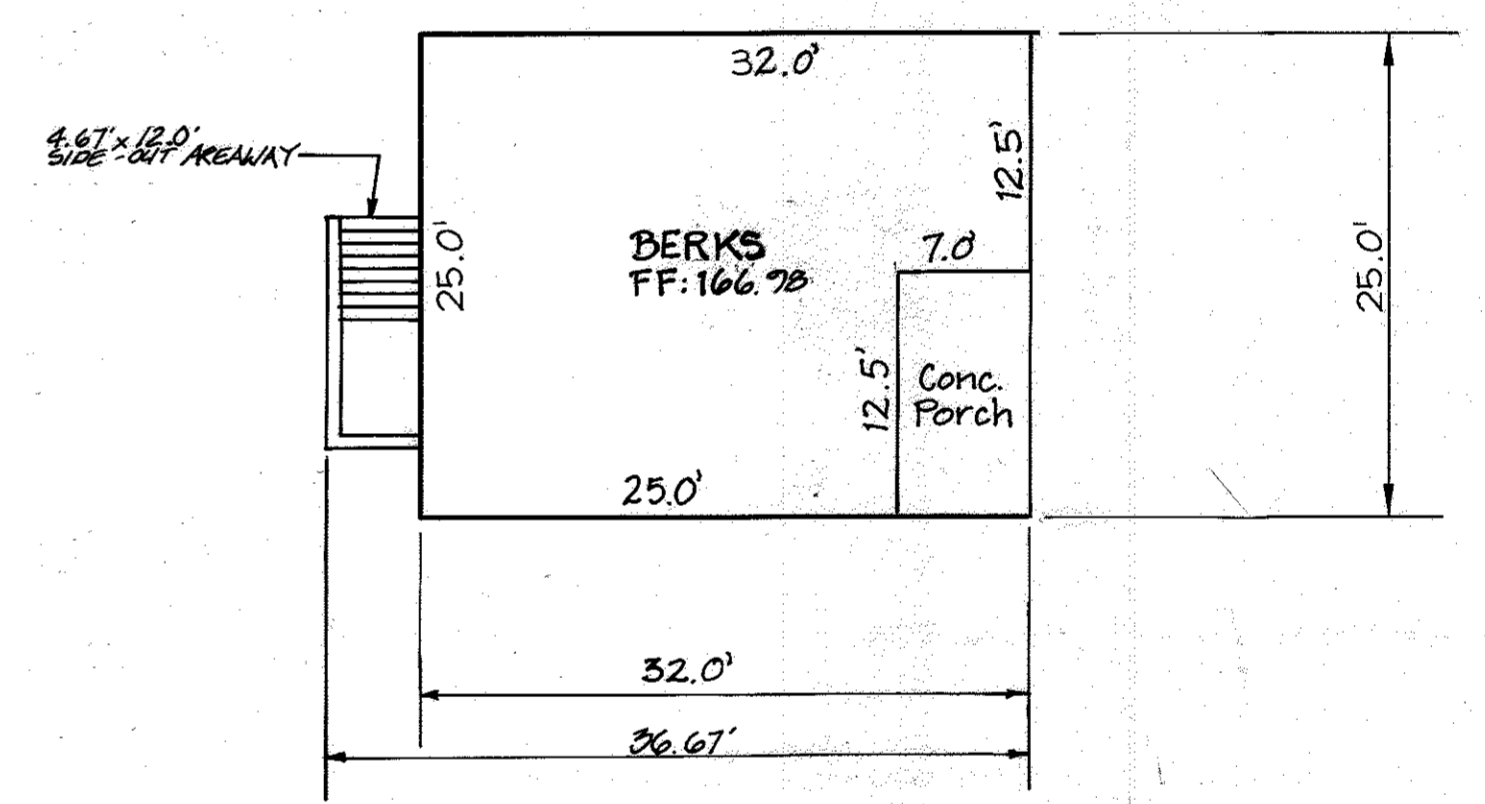
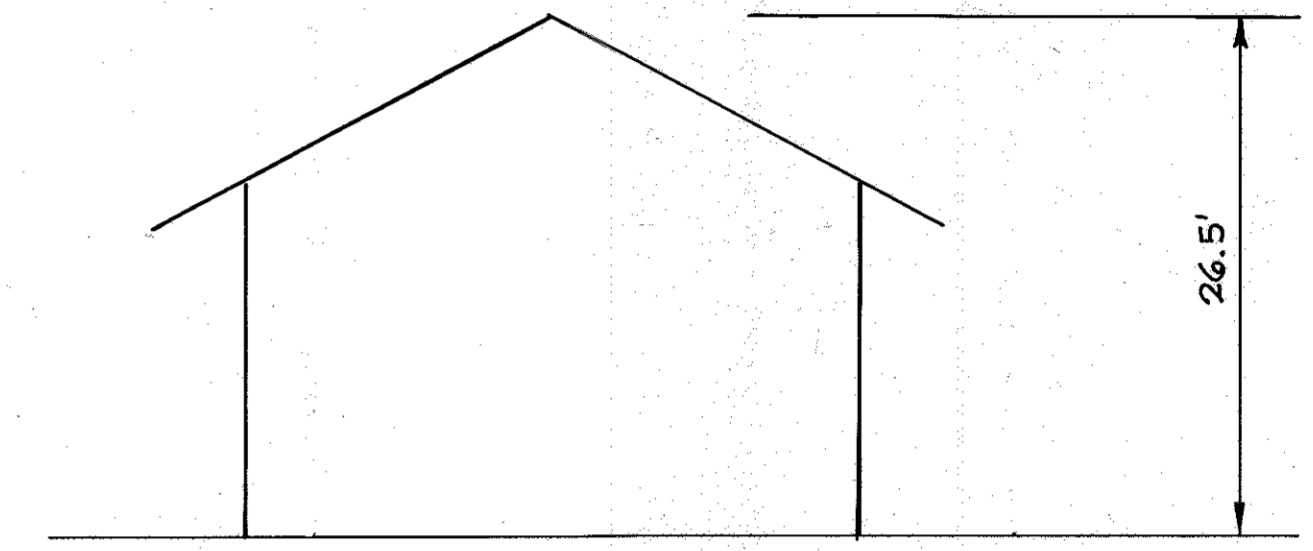
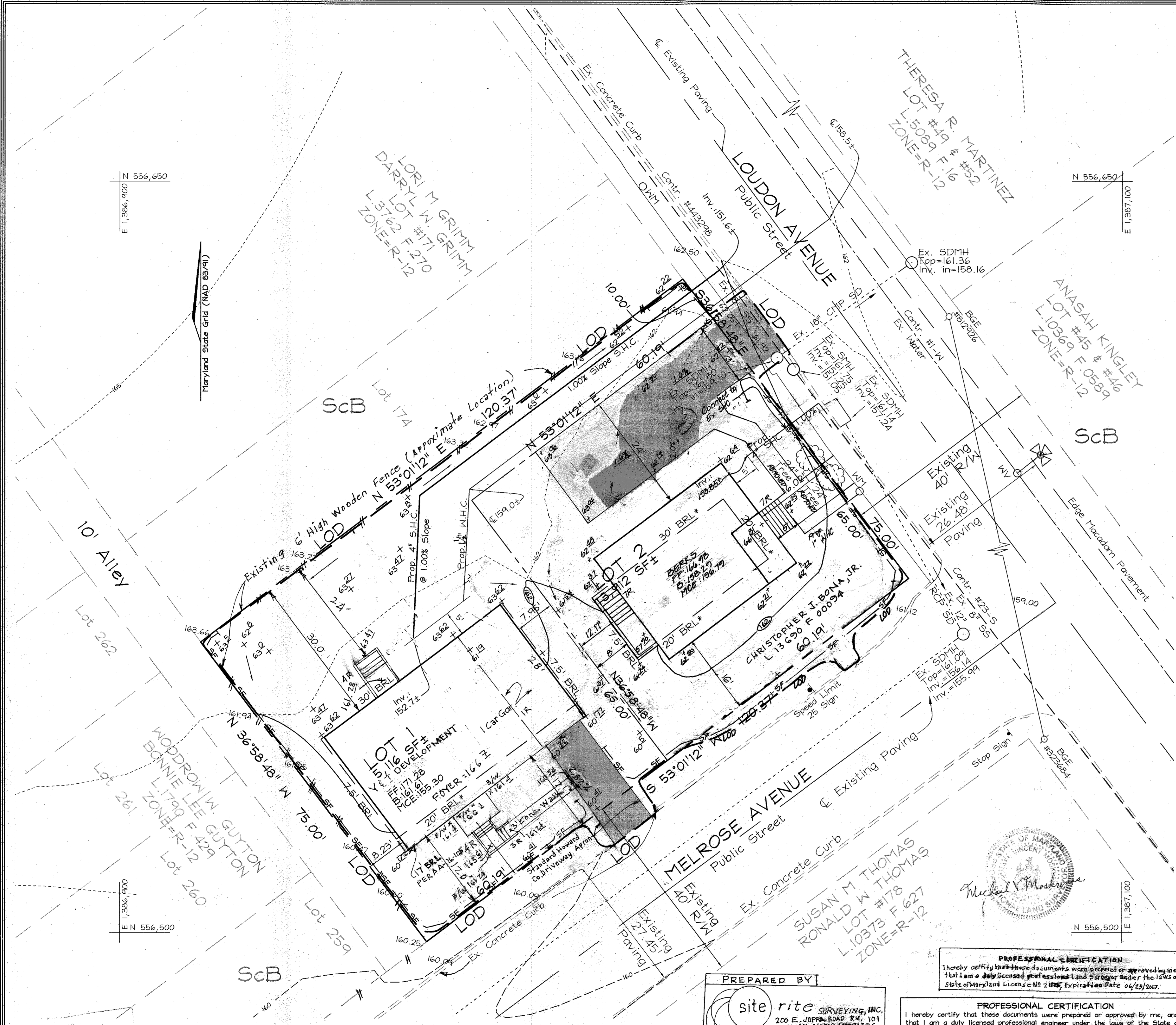
**LANDSCAPE SCHEDULE**

KEY	QUAN.	BOTANICAL NAME	SIZE	NOTE
⊙	4	Gleditsia triacanthos inermis 'Imperial' Imperial thornless Honey Locust	2 1/2"-3" Cal.	B # B
⊗	4	Tilia americana 'Redmond' Redmond American Linden	2 1/2"-3" Cal.	B # B
⊕	2	Ilex opaca 'Jersey Knight' Jersey Knight American Holly	5'-6'	B # B

**PROFESSIONAL CERTIFICATION**  
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. #22418, Expiration Date: 07/24/2009.

SOILS LEGEND		
SYMBOL	NAME / DESCRIPTION	SOIL GROUP
ScB	Sandy and clayey land, gently sloping	C

LEGEND	
Existing Contour	--- 382.5 ---
Existing Spot Elevation	382.5
Existing Trees to Remain	
Proposed Contour	--- 382.5 ---
Proposed Spot Elevation	+82.53
Direction of Flow	
Utility Pole	
Stabilized Construction Entrance with Mountable Berm	
Limit of Disturbance	LOD LOD
Proposed Paving	



BERKS  
SCALE: 1"=10'

No.	REVISION	DATE
1	REVISED LOT 2 TO AS-BUILT RE-GRADED YARD, RECONSTRUCTED PORCH STEPS AND LEAD WALK, SLIGHT CHANGES TO DRIVEWAY AND AREAWAY, ETC.	3-27-09
2	REVISED LOT 2: RE-GRADED YARD, ADDED AREAWAY, RELOCATED THE SIGN AND SIGN ADJUSTED 3E AND 10D ON MELROSE AVE. SIDE	12-22-08
3	REVISED LOT2 TO REPLACE LYCOMING HOUSE TYPE TO BERK HOUSE TYPE.	10/05/08

**PROFESSIONAL CERTIFICATION**  
I hereby certify that these documents were prepared or approved by me and that I am a duly licensed professional Land Surveyor under the laws of the State of Maryland, License No. 22418, Expiration Date: 07/29/2009.

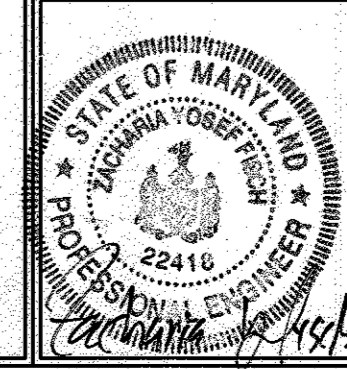
**PROFESSIONAL CERTIFICATION**  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. #22418, Expiration Date: 07/29/2009.

**ENGINEER'S CERTIFICATE**  
I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

**OWNER LOT 1**  
Y&T DEVELOPMENT, LLC.  
c/o Charles Young  
2270 Oella Avenue  
Catonsville, Md. 21228  
(410)-203-0529

**OWNER/DEVELOPER**  
Comfort Eagle LLC  
c/o Nick Liparini  
8835-P Columbia 100 Parkway  
Columbia, MD 21045  
(410) 730-0810

**SEDIMENT AND EROSION CONTROL PLAN**  
**HARWOOD PARK**  
LOTS 1 & 2  
LIBER 9849 FOLIO 272  
TAX MAP 38 GRID 14  
1ST ELECTION DISTRICT  
PARCEL 873  
HOWARD COUNTY, MARYLAND



**FSH Associates**  
Engineers Planners Surveyors  
6338 Howard Lane, Elkridge, MD 21075  
Tel: 410-567-5200 Fax: 410-796-1562  
E-mail: info@fsh.com

DESIGN BY: CRH2/RL  
DRAWN BY: CRH2/RL  
CHECKED BY: ZYF  
SCALE: As Shown  
DATE: Sep. 2, 2008  
I.O. No.: 3469  
SHEET No.: 2 OF 3

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
9/9/08 DATE  
9/22/08 DATE  
9/24/08 DATE

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT  
9/16/08 DATE

**DEVELOPER'S CERTIFICATE**  
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.  
9/22/08 DATE

**PERMANENT SEEDING NOTES**

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

**SEEDBED PREPARATION:** Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

**SOIL AMENDMENTS:** In lieu of soil test recommendations, use one of the following schedules:

- 1) Preferred - Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq.ft.) and 600 lbs per acre 10-10-10 fertilizer (14 lbs./1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil. At the time of seeding, apply 400 lbs. per acre 30-0-0 ureaform fertilizer (9 lbs./1000 sq.ft.).
- 2) Acceptable - Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq.ft.) and apply 1000 lbs. per acre 10-10-10 fertilizer (23 lbs./1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil.

**SEEDING:** For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs. per acre (14 lbs./1000 sq.ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs. per acre (.05 lbs./1000 sq.ft.) of weeping lovegrass. During the period of October 16 thru February 28, protect site by Option (1) 2 tons per acre well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use seed. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

**MULCHING:** Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq.ft.) of unwrapped small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 2lb gallons per acre (5 gal/1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq.ft.) for anchoring.

**MAINTENANCE:** Inspect all seeded areas and make needed repairs, replacements and reseedings.

**TEMPORARY SEEDING NOTES**

**SEEDBED PREPARATION:** Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously loosened.

**SOIL AMENDMENTS:** Apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs./1000 sq.ft.).

**SEEDING:** For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2 1/2 bushel per acre of annual ryegrass (3.2 lbs./1000 sq.ft.). For the period May 1 thru August 14, seed with 3 lbs. per acre of weeping lovegrass (.07 lbs./1000 sq.ft.). For the period November 1 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use seed.

**MULCHING:** Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq.ft.) of unwrapped small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 3 gal/acre (5 gal/1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq.ft.) for anchoring.

REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

**DUST CONTROL**

**DEFINITION:** Controlling dust blowing and movement on construction sites and roads.

**PURPOSE:** To prevent blowing and movement of dust from exposed soil surfaces, reduce on- and off-site damage, health hazards, and improve traffic safety.

**Conditions Where Practice Applies:** This practice is applicable to areas subject to dust blowing and movement where on- and off-site damage is likely without treatment.

**Specifications:** Temporary Methods

1. Mulches - See standards for vegetative stabilization with mulches only. Mulch should be crimped or tacked to prevent blowing.
2. Vegetative Cover - See standards for temporary vegetative cover.
3. Tillage - To roughen surface and bring clods to the surface. This is an emergency measure which should be used before soil blowing starts. Begin plowing on windward side of site. Chisel-type plows spaced about 12' apart, spring-toothed harrows, and similar plows are examples of equipment which may produce the desired effect.
4. Irrigation - This is generally done as an emergency treatment. Site is sprinkled with water until the surface is moist. Repeat as needed. At no time should the site be irrigated to the point that runoff begins to flow.
5. Barriers - Solid board fence, silt fence, snow fence, burlap fences, straw bales, and similar material can be used to control air currents and soil blowing. Barriers placed at right angles to prevailing currents at intervals of about 10 times their height are effective in controlling soil blowing.
6. Calcium Chloride - Apply at rates that will keep surface moist. May need retreatment.

**Permanent Methods:**

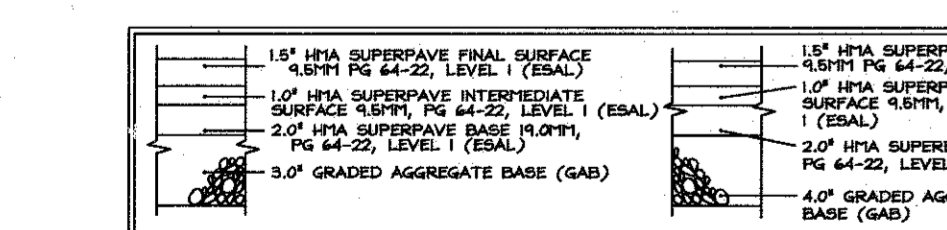
1. Permanent Vegetation - See standards for permanent vegetative cover, and permanent stabilization with sod. Existing trees or large shrubs may afford valuable protection if left in place.
2. Topsoiling - Covering with less erosive soil materials. See standards for topsoiling.
3. Stone - Cover surface with crushed stone or coarse gravel.

**References:**

1. Agriculture Handbook 346, Wind Erosion Forces in the United States and Their Use in Predicting Soil Loss.
2. Agriculture Information Bulletin 354, How to Control Wind Erosion, USDA-ARS, H-30-1.

**SEWER HOUSE CONNECTION CHART**

Lot #	Inv. @ Main	Inv. @ R/W	Basement	MCE
1	151.60±	151.66±	159.45	155.30
2	150.97±	151.03±	159.45	153.62



**P-2 PAVING SECTION**

NOT TO SCALE

**Notes:** Paving sections shown are based on a California Bearing Ratio (CBR) of greater than or equal to 7. Actual CBR tests may result in modifications to the paving sections. For other CBR values go to the Howard County Volume IV Design Manual, standard detail R-2.01, for associated P-1 Paving Sections.

**SEDIMENT CONTROL NOTES**

1. A minimum of 48 hours notice must be given to the Howard County Department of Inspection, License and Permits Sediment Control Division prior to the start of any construction (410-313-1855).

2. All vegetation and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, and revisions thereto.

3. Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: (a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes, and all slopes greater than 3:1, (b) 14 days as to all other disturbed or graded areas on the project site.

4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 7, HOWARD COUNTY DESIGN MANUAL, Storm Drainage.

5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, and Specifications for Soil Erosion and Sediment Control, and Temporary Seeding, sod, temporary seeding, and mulching (Sec. G). Temporary stabilization with mulch alone shall be done when recommended seeding dates do not allow for proper germination and establishment of grasses.

6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.

7. Site Analysis:

Total Area	0.207 Acres
Area Disturbed	0.026 Acres
Area to be seeded or paved	0.074 Acres
Area to be vegetatively stabilized	0.106 Acres
Total Fill	700 CY ##
Total	700 CY ##
Offsite waste/borrow area location	

8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.

9. Additional sediment controls must be provided, if deemed necessary by the Howard County Sediment Control Inspector.

10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.

11. Trenches for the construction of utilities are limited to three pipe lengths or that which shall be back-filled and stabilized within one working day, whichever is shorter.

12. Earthwork quantities are solely for the purpose of calculating fees. Contractor to verify all quantities prior to the start of construction.

13. To be determined by contractor, with pre-approval of the Sediment Control Inspector with an approved and active grading permit.

**SEQUENCE OF CONSTRUCTION**

1. Obtain grading permit.
2. Notify Howard County Department of Inspections, License and Permits at (410) 313-1880 at least 24 hours before starting any work.
3. Install Stabilized Construction Entrance and Silt Fence and repair any damaged existing controls to remain.
4. Rough grade site and begin house construction. (1 week)
5. Fine grade site. (1 week)
6. Upon stabilization of all disturbed areas and with the permission of the Sediment Control Inspector, remove all sediment control measures and stabilize any remaining disturbed area. (1 week)

**Notes:**  
 -Following initial soil disturbance or any redistribution, permanent or temporary stabilization shall be completed within:  
 a. 7 calendar days for all perimeter sediment control structures, dikes, swales and all slopes greater than 3:1.  
 b. 14 calendar days for all other disturbed areas.  
 -During grading and after each rainfall, contractor will inspect and provide necessary maintenance to the sediment control measures on this plan.

**PREPARED BY**

site rite SURVEYING, INC.  
 200 E. COPPA ROAD RM 101  
 FOWSON, MD 21058  
 PHONE: 410-828-9006  
 FAX: 410-828-9066

**2.0 STANDARDS AND SPECIFICATIONS FOR TOPSOIL**

**Definition**

Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

**Purpose**

To provide a suitable soil medium for vegetable growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

**Conditions Where Practice Applies**

- I. This practice is limited to areas having 2:1 or flatter slopes where:
  - a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
  - b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
  - c. Topsoil having soluble salt content greater than 500 parts per million shall not be used.
  - d. No sod or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phytotoxic materials.
- II. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

**Construction and Material Specifications**

I. Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experimental Station.

II. Topsoil Specifications - Soil to be used as topsoil must meet the following:

- i. Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or a soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 and 1/2" in diameter.
- ii. Topsoil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnsongrass, nutgrass, poison ivy, thistle, or others as specified.
- iii. Where the subsoil is either highly acidic or composed of heavy clay, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

IV. Topsoil Application  
 I. When topsoiling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.

II. Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4"-6" higher in elevation.

III. Topsoil shall be uniformly distributed in a 4"-6" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.

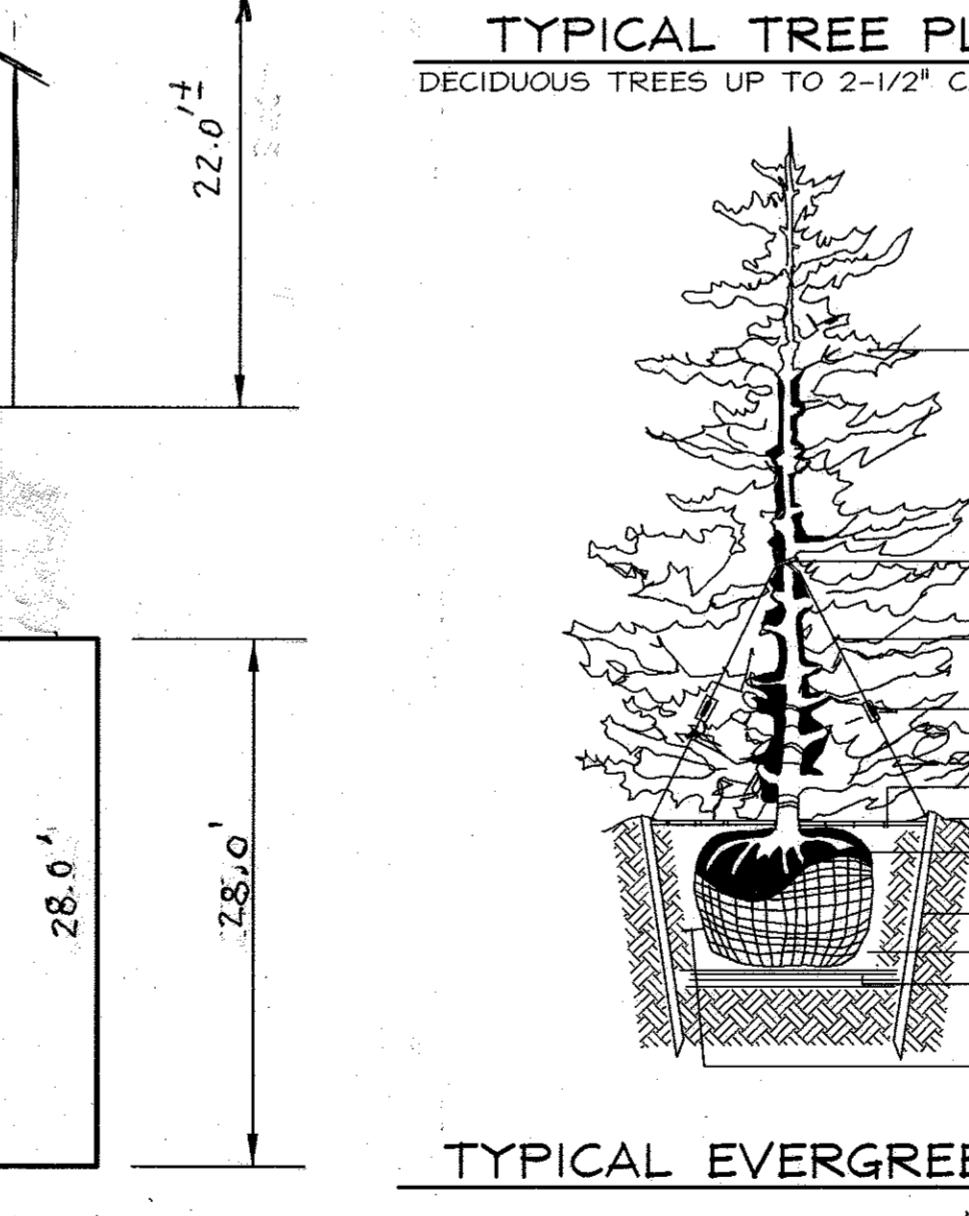
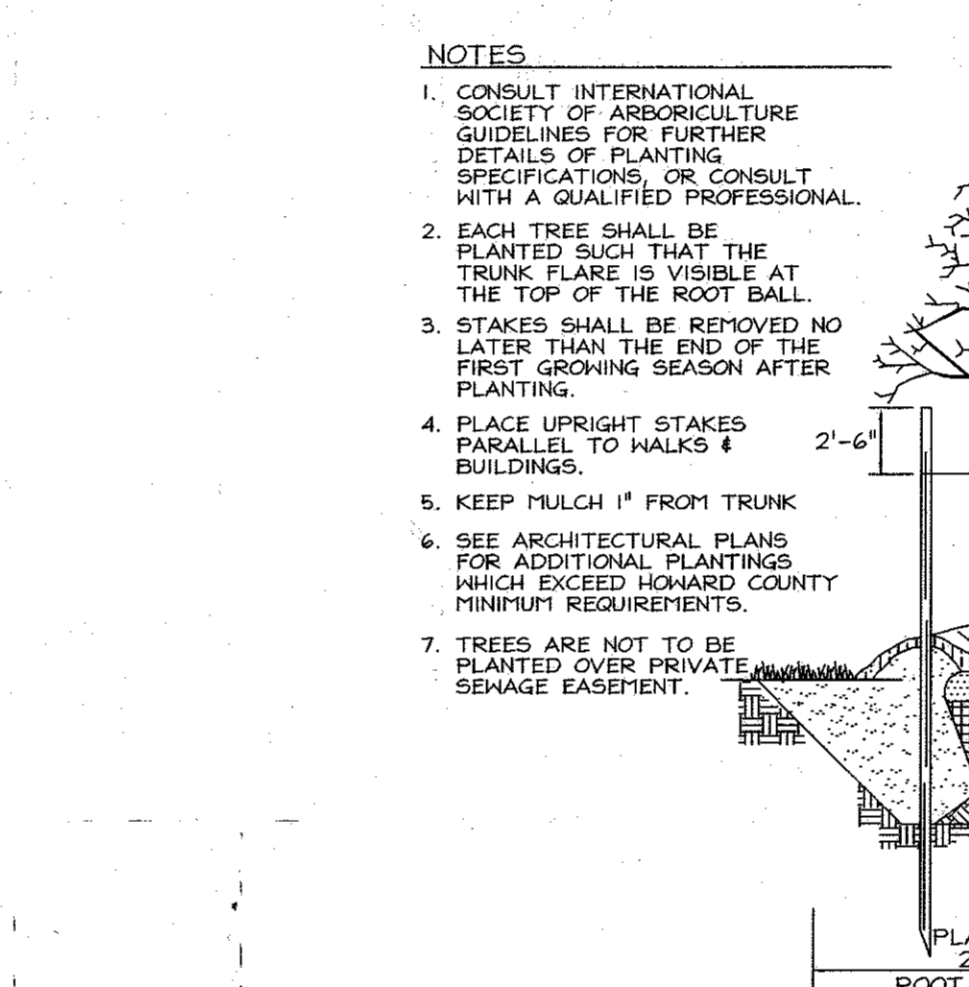
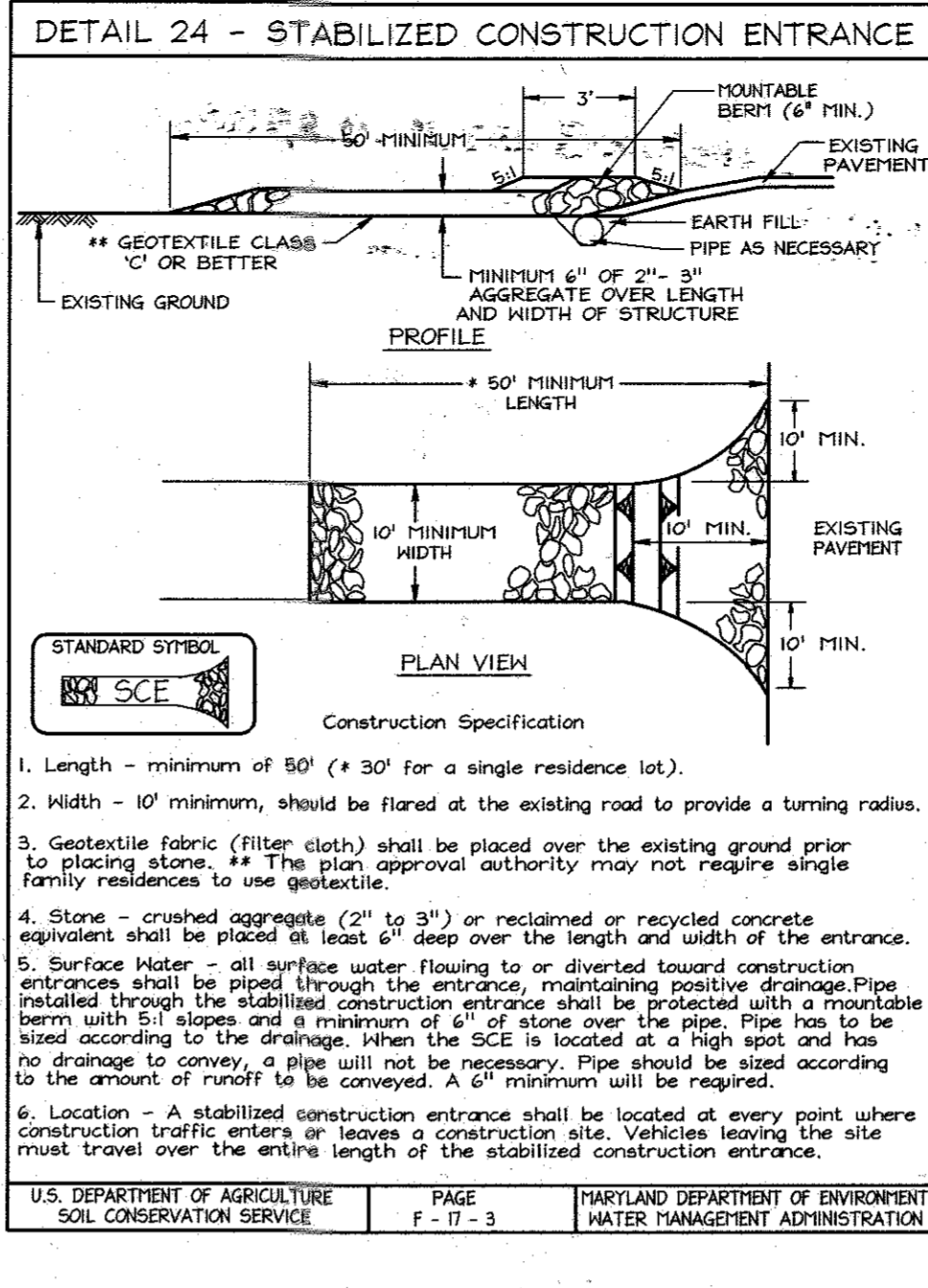
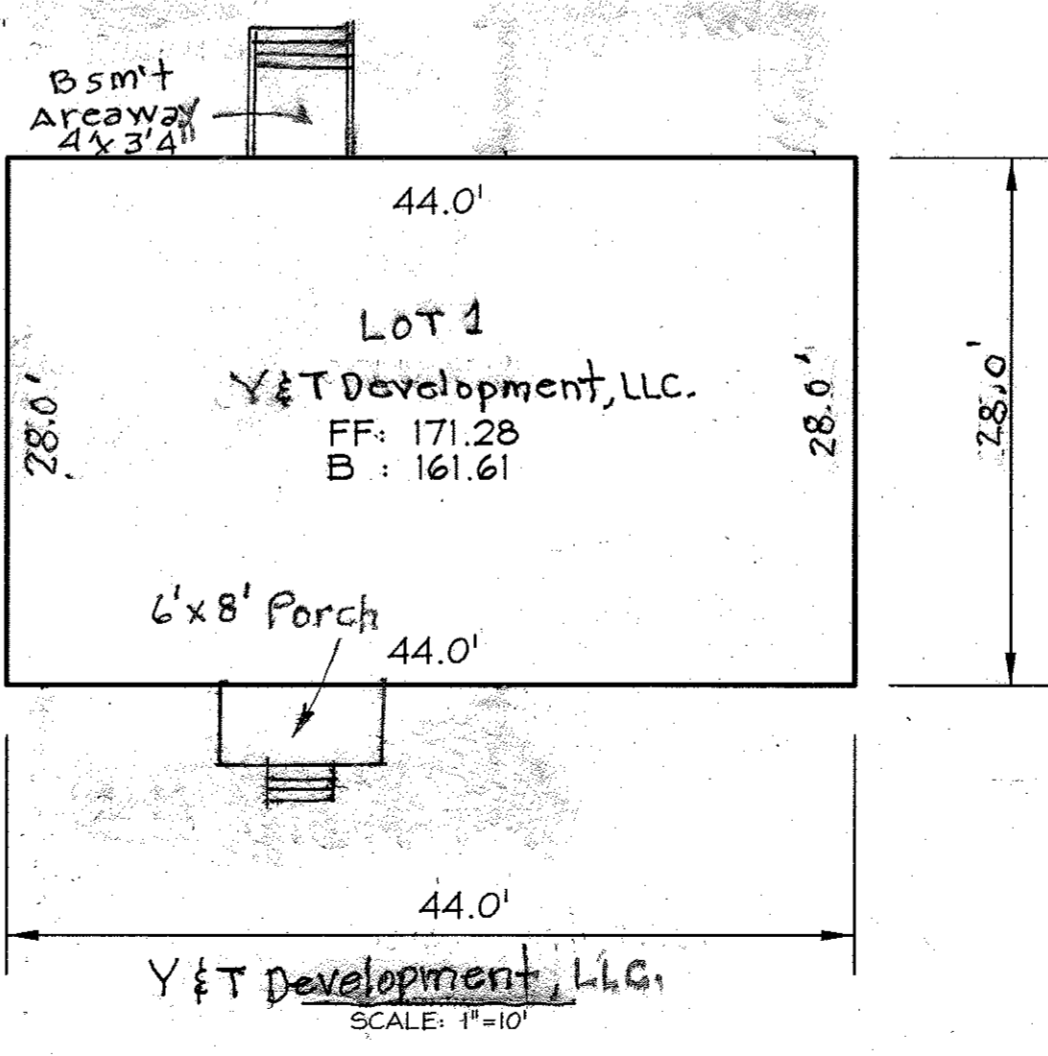
IV. Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.



**PROFESSIONAL CERTIFICATION**  
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional land surveyor under the laws of the State of Maryland, License No. 21175, Expiration Date 06/25/2017.

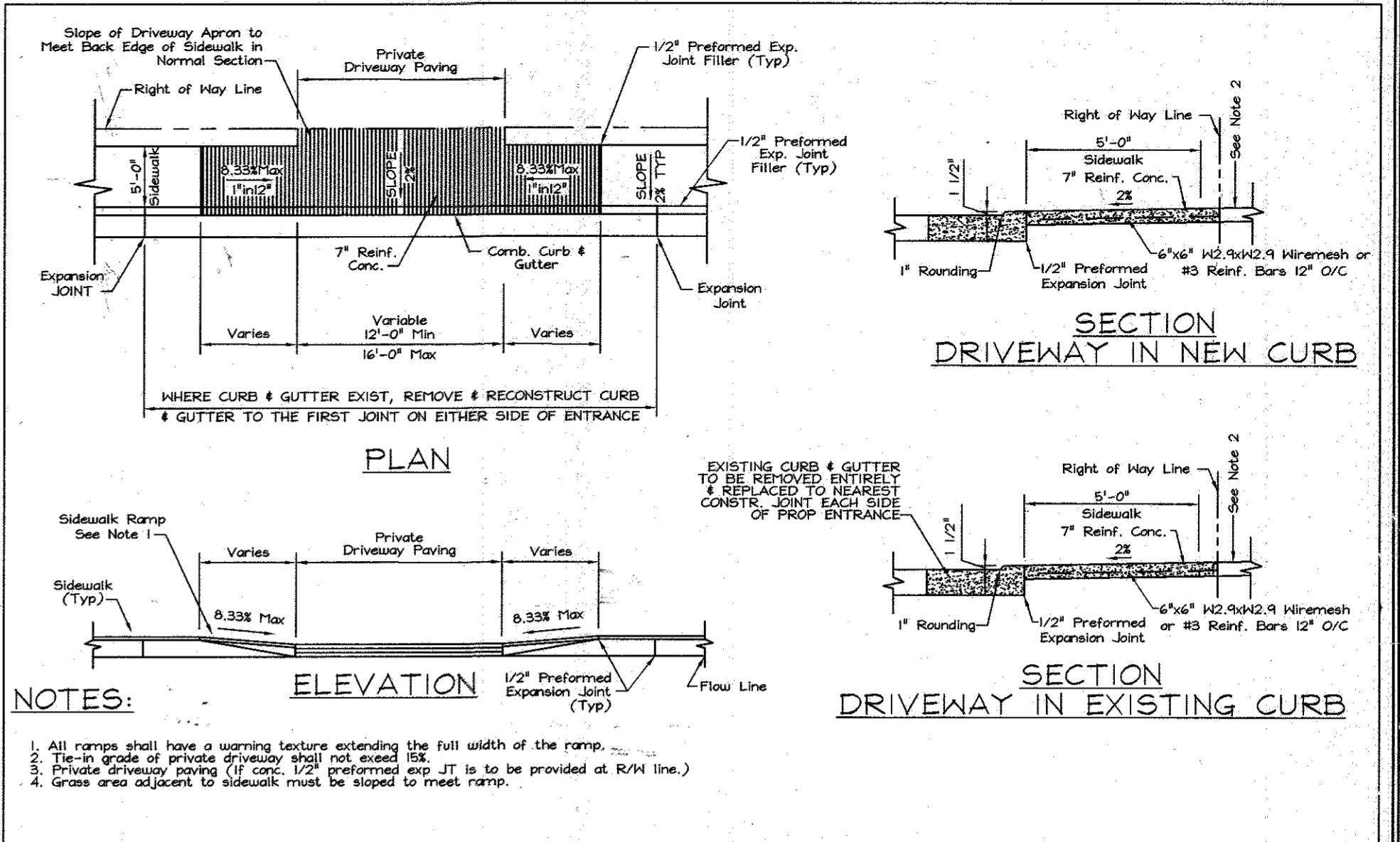
**SCHEDULE A PERIMETER LANDSCAPE EDGE**

CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES
Perimeter/Frontage Designation	1	2
Linear Feet of Roadway	75.00'	120.37'
Credit for Existing Vegetation (Yes, No, Linear Feet)	0'	0'
Remaining Perimeter Length	(75.00')	(120.37')
Credit for Wall, Fence or Berm (Yes, No, Linear Feet)	No	No
Remaining Perimeter Length		
Number of Plants Required		
Shade Trees	1:50 1	1:50 2
Evergreen Trees	1:40 1	1:40 1
Number of Plants Provided		
Shade Trees	1	2
Evergreen Trees	1	3
Other Trees (2:1 Substitution)	-	-
Shrubs (10:1 Substitution)	-	-
(Describe Plant Substitution Credits Below if needed)		

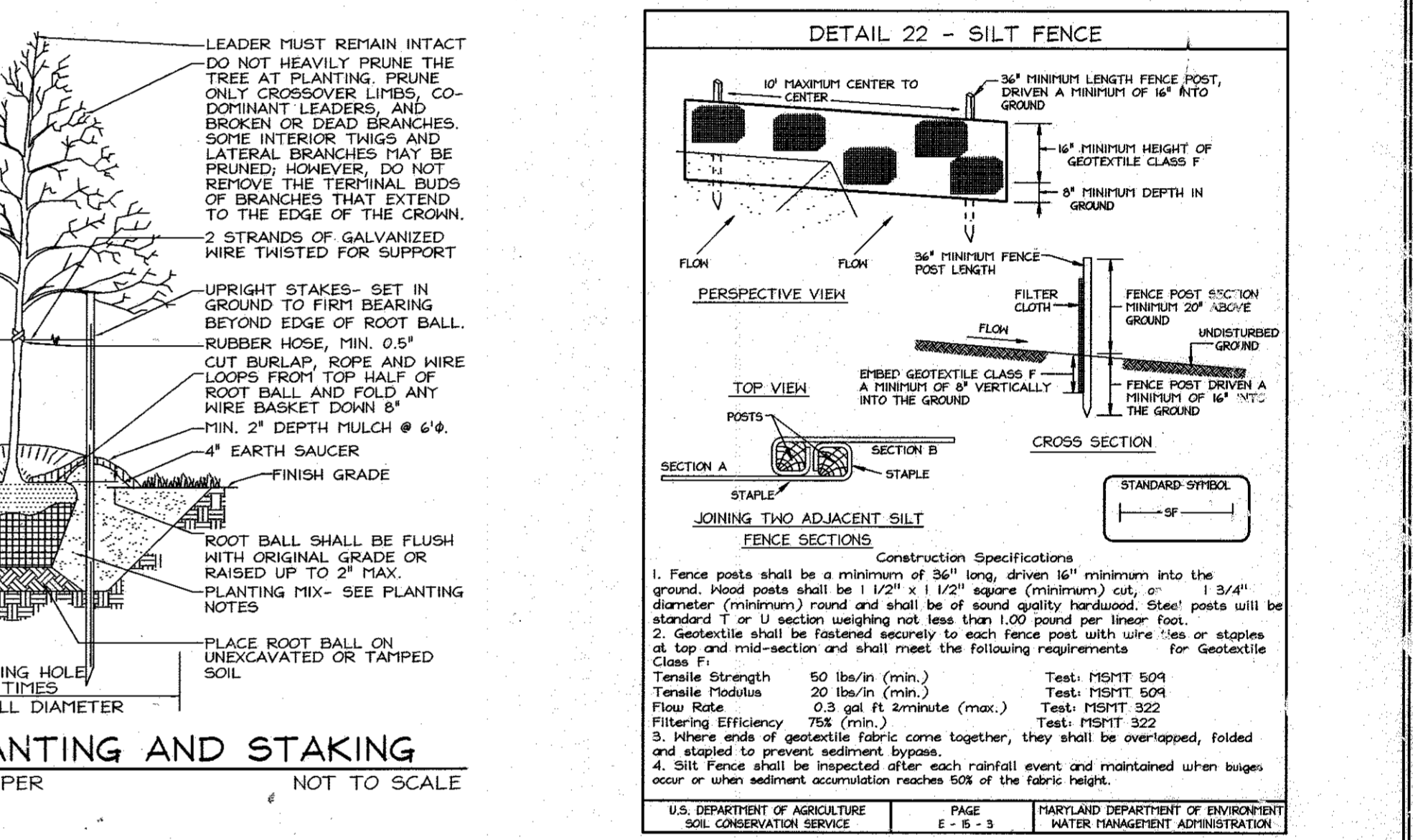


**PROFESSIONAL CERTIFICATION**  
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. #22418, Expiration Date: 07/29/2009.

**OWNER LOT 1**  
 Y&T DEVELOPMENT, LLC.  
 c/o Charles Young  
 227 Oella Avenue, Catonsville, MD 21228  
**OWNER/DEVELOPER**  
 Comfort Eagle LLC  
 c/o Nick Lipinski  
 6835-P Columbia 100 Parkway  
 Columbia, MD 21045  
 (410) 730-0810



Howard County, Maryland Department of Public Works  
 Chief, Bureau of Engineering  
**RESIDENTIAL DRIVEWAY ENTRANCE 7" Combination Curb and Gutter Sidewalk Abutting Curb**  
 Detail: R-6.02



**LANDSCAPE NOTES**

1. At the time of installation, all shrubs and other plantings hereunto listed and approved for this site, shall be of the proper height requirements in accordance with the Howard County Landscaping Manual. In addition, no substitution or relocation of required plantings may be made without prior review and approval from the Department of Planning and Zoning. Any deviation from this approved Landscaping Plan may result in denial or delay in the release of landscape surety until such time as all required materials are planted and/or revisions are made to applicable plans and certificates.
2. The owner, tenant, and/or their agents shall be responsible for maintenance of the required landscaping, including both plant materials and berms, fences and walls. All plant materials shall be maintained in good growing condition, and when necessary replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.
3. Financial surety for the required landscaping will be posted as part of the Developer's Grading Permit in the amount of \$2,700.00 (8 shade trees @ \$300.00 and 2 evergreen trees @ \$150.00 each).

No.	REVISION	DATE
1	Revised Use type from Columbia to Y&T Development, LLC.	2-17-17
2	Revised Elev. Dim. from 31.07 to 31.08.	12-22-06
3	REVISOR AREA DISTURBED AND AREA TO BE VEGETATIVELY STABILIZED MEASUREMENTS.	
4	REVISED SITE ANALYSIS DATA	10/03/06

**LANDSCAPE AND SEDIMENT AND EROSION CONTROL NOTES AND DETAILS HARWOOD PARK**  
 LOTS 1 & 2  
 LIBER 9849 FOLIO 272  
 TAX MAP 38 GRID 14 1ST ELECTION DISTRICT  
 PARCEL 873 HOWARD COUNTY, MARYLAND

**FSH Associates**  
 Engineers Planners Surveyors  
 6338 Howard Lane, Elkridge, MD 21075  
 Tel: 410-567-5200 Fax: 410-796-1562  
 E-mail: info@fsh.com

DESIGN BY: CRH2/RL  
 DRAWN BY: CRH2/RL  
 CHECKED BY: ZTF  
 SCALE: As Shown  
 DATE: Sep. 2, 2008  
 I.C.O. No.: 3469  
 SHEET No.: 3 OF 3

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
 Chief, Development Engineering Division  
 Chief, Division of Land Development  
 Director

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

**DEVELOPER'S CERTIFICATE**  
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

**ENGINEERS CERTIFICATE**  
 I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.