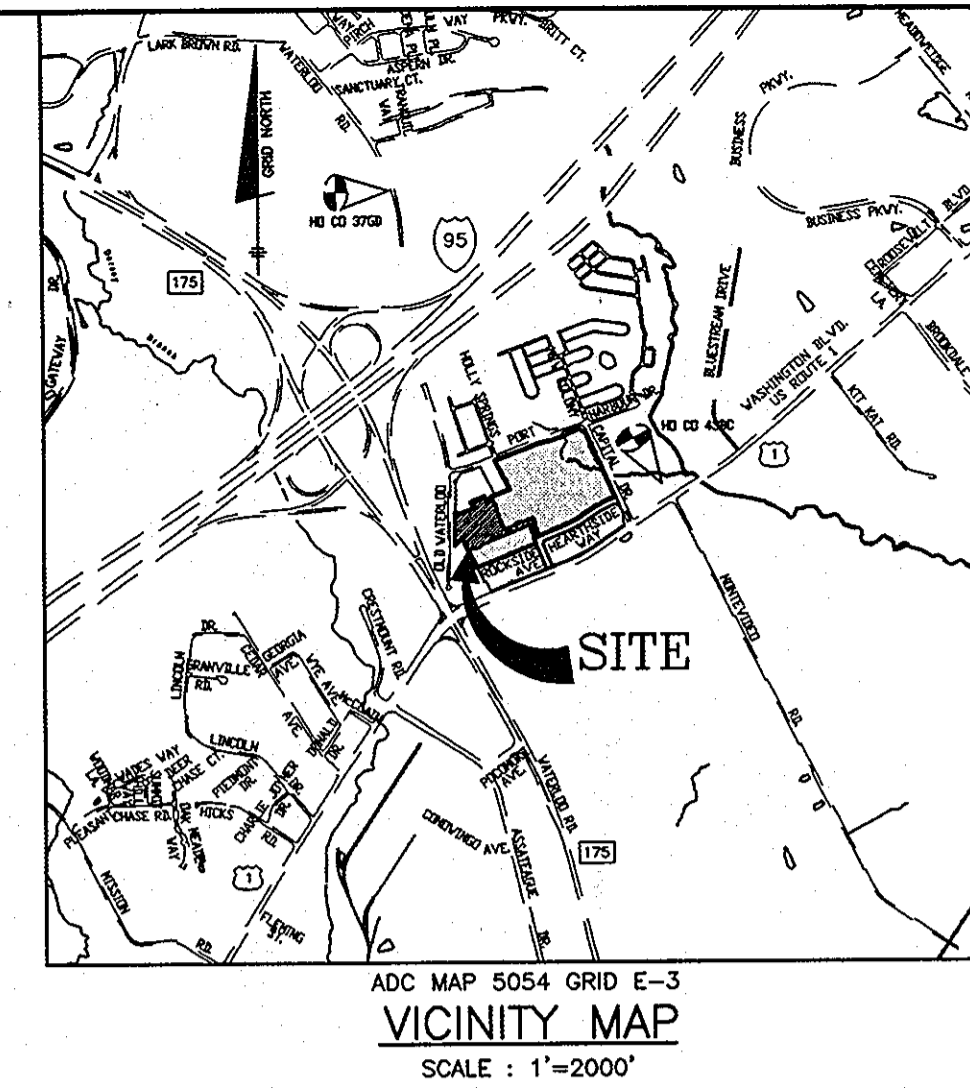


# SITE DEVELOPMENT PLAN

# HOWARD SQUARE

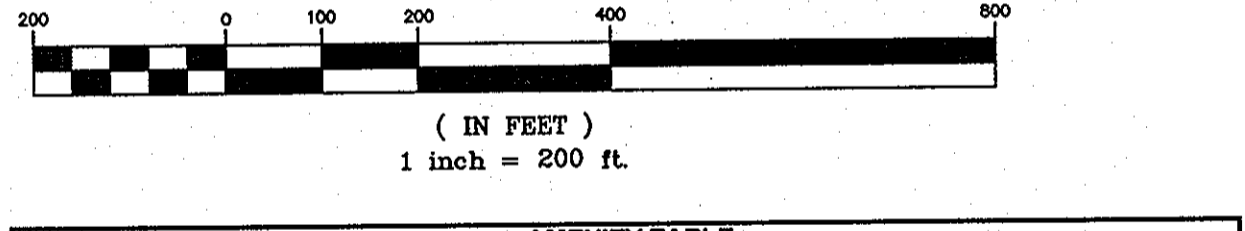
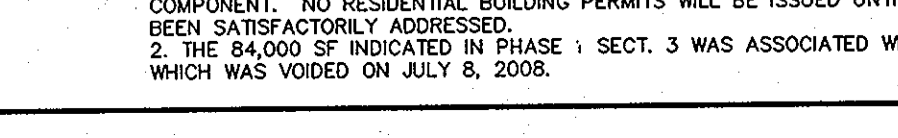
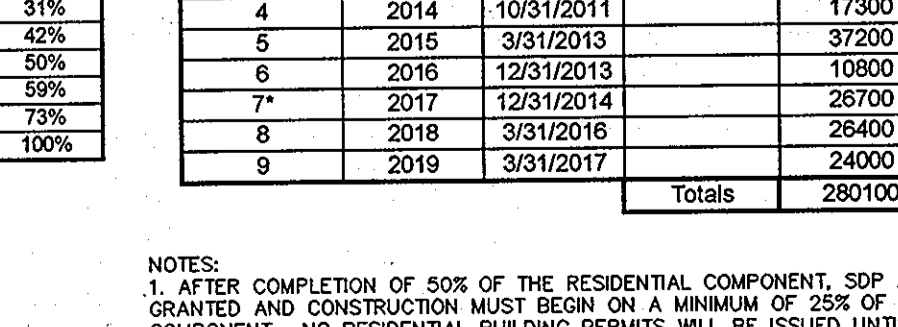
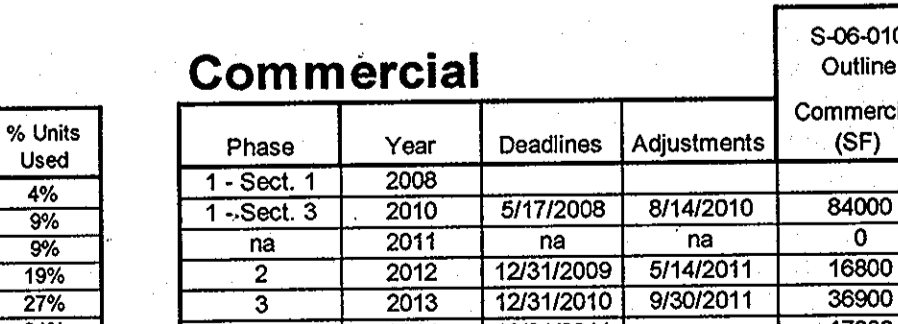
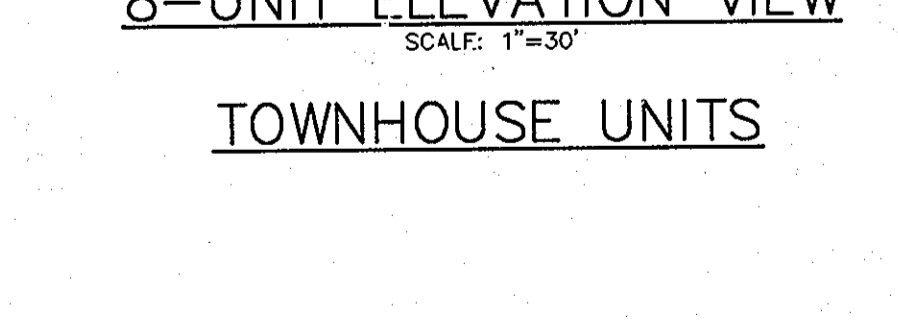
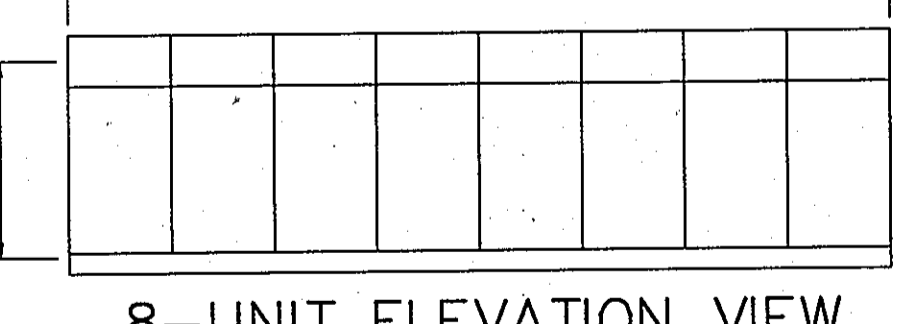
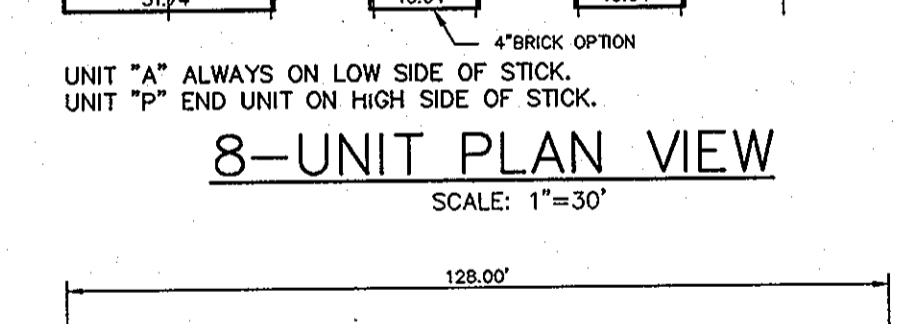
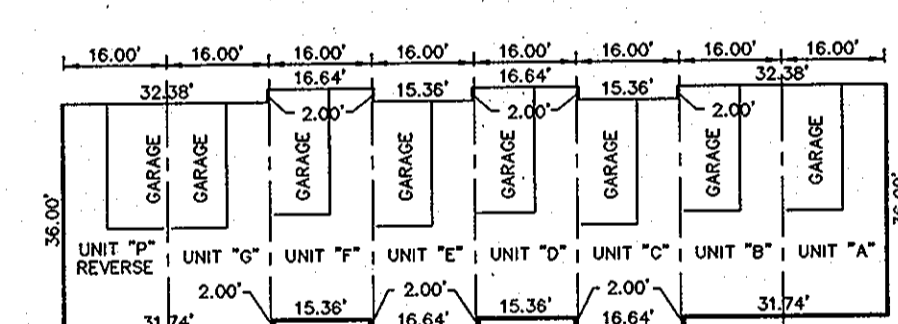
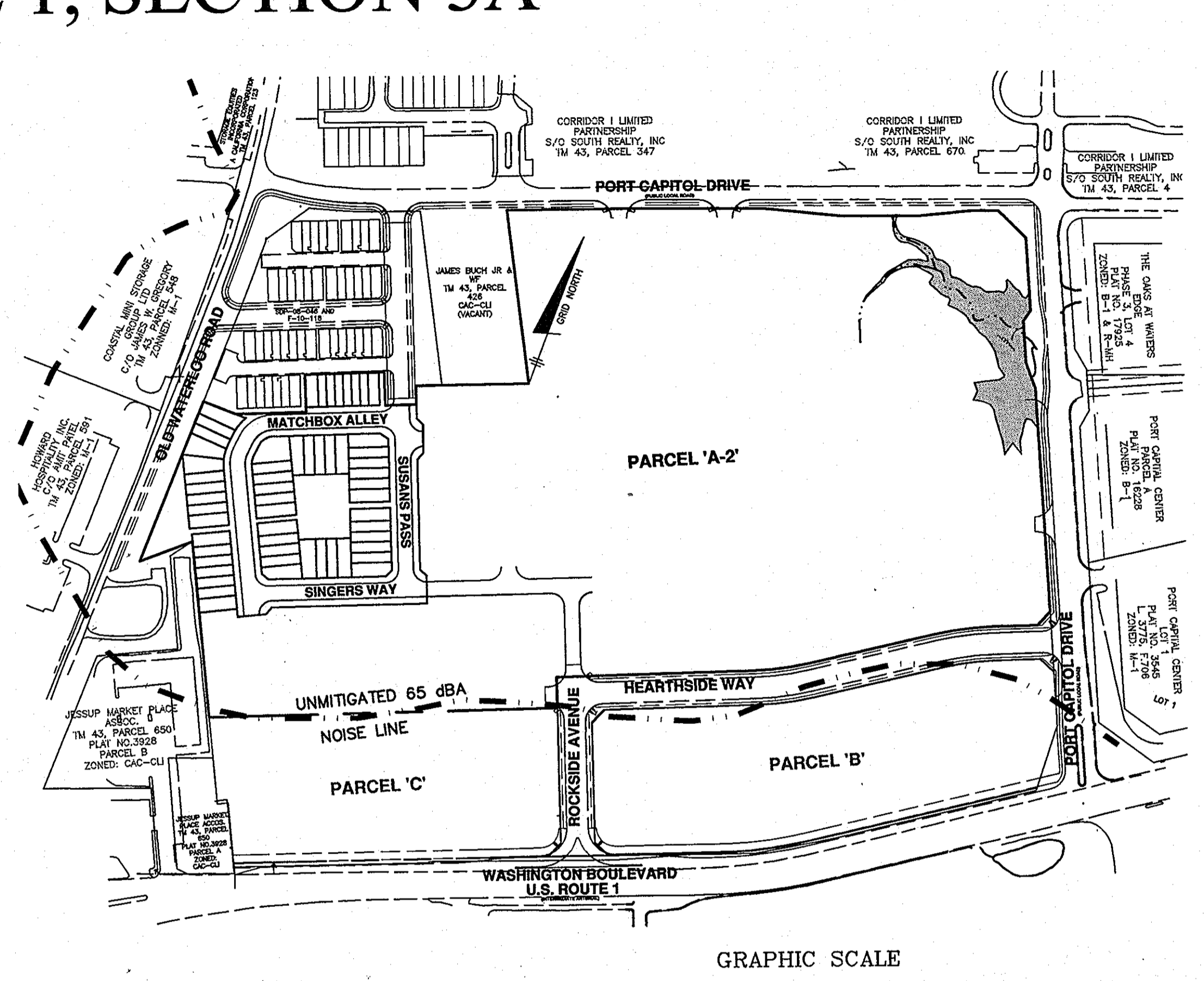
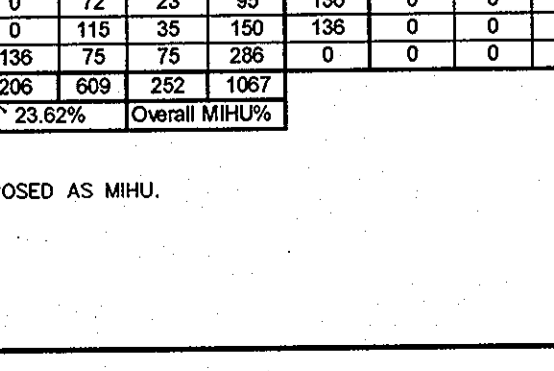
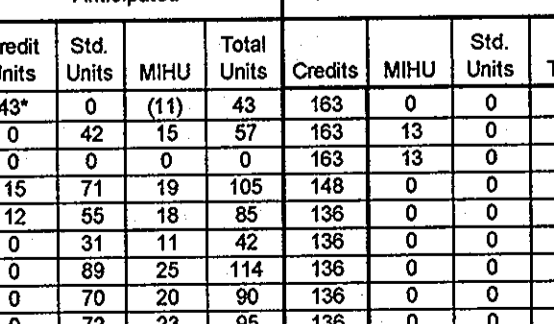
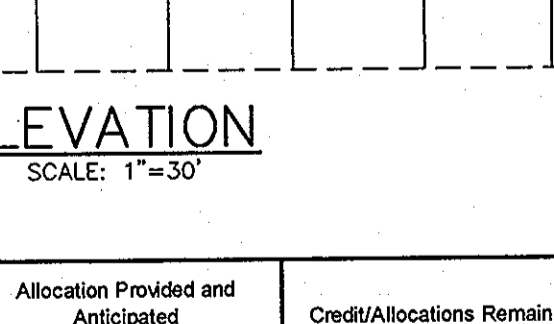
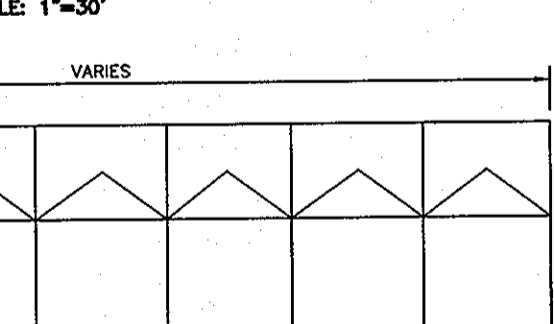
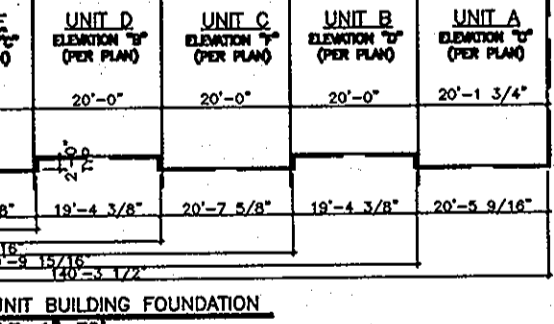
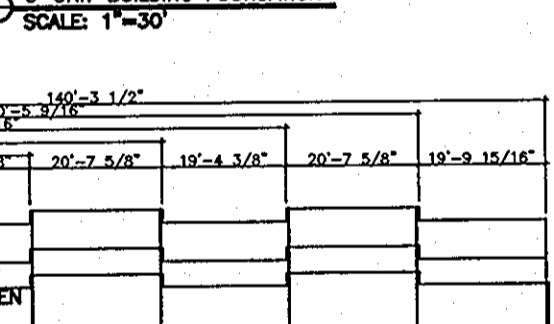
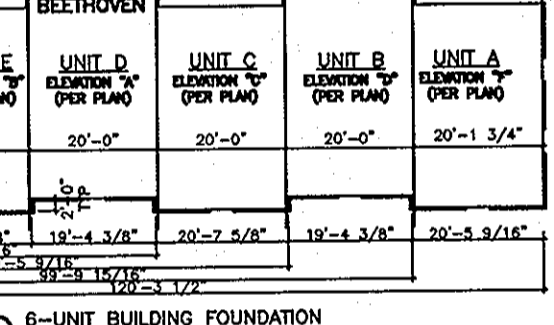
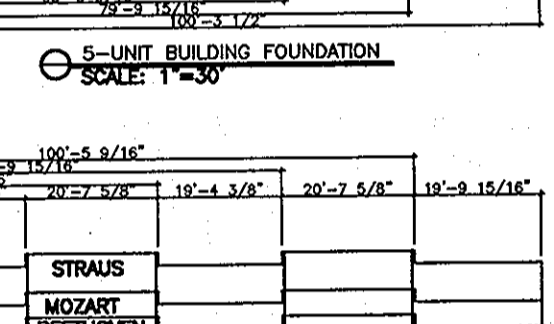
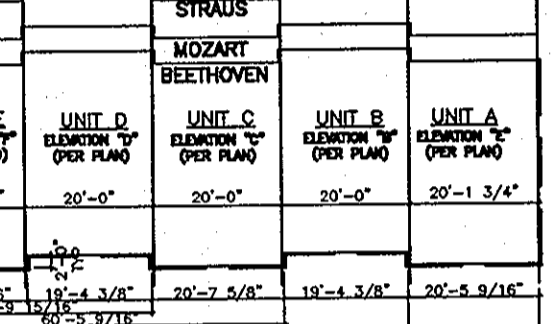
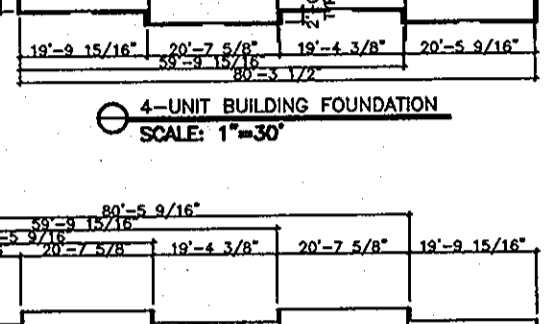
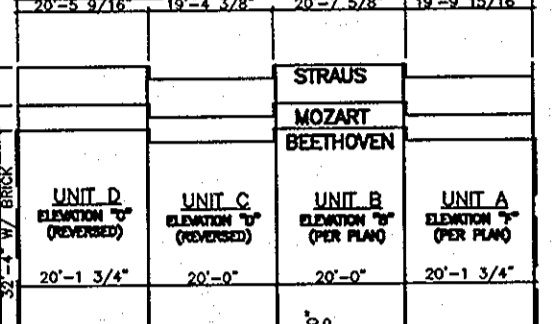
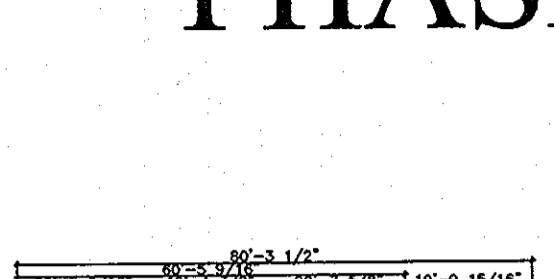
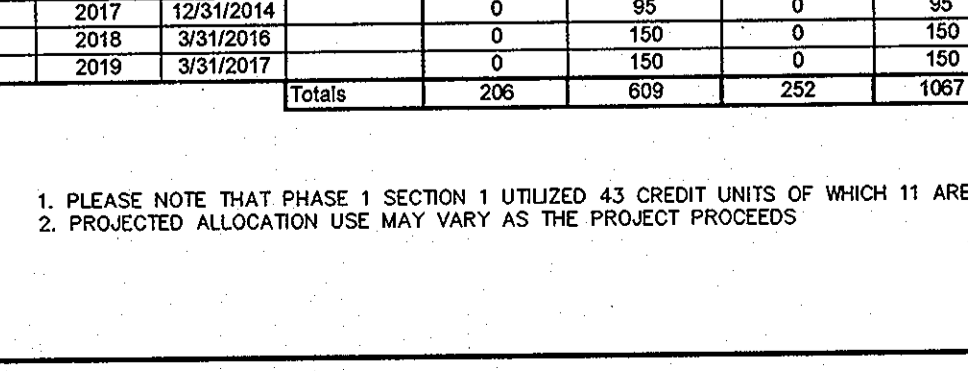
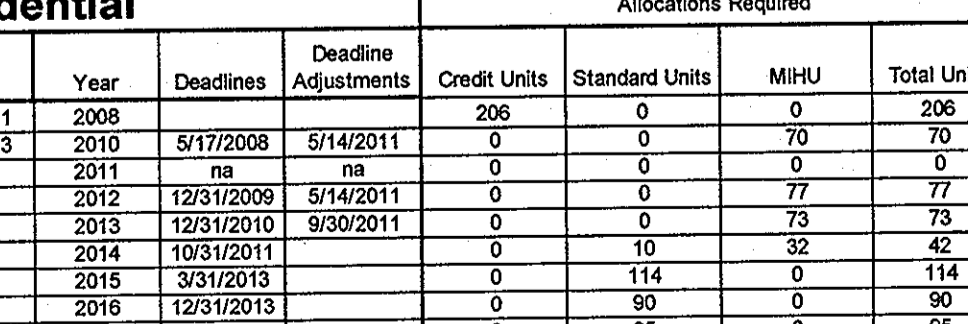
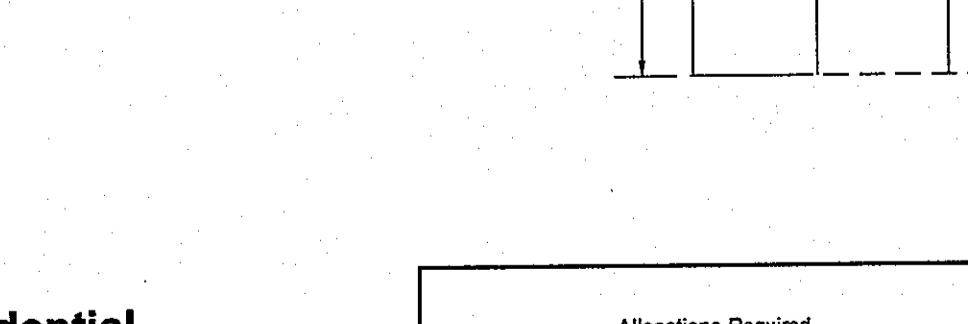
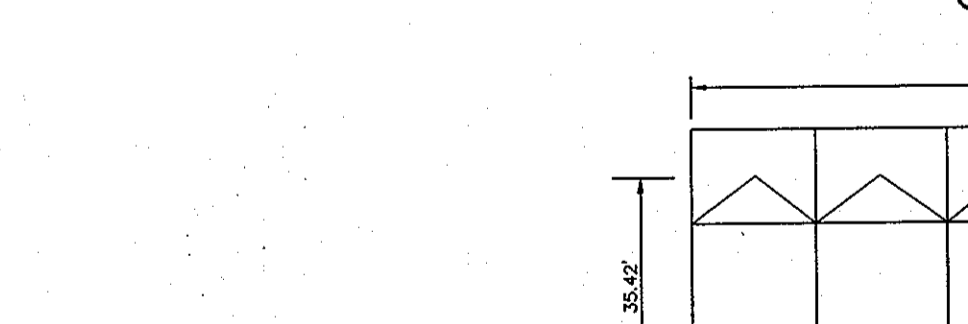
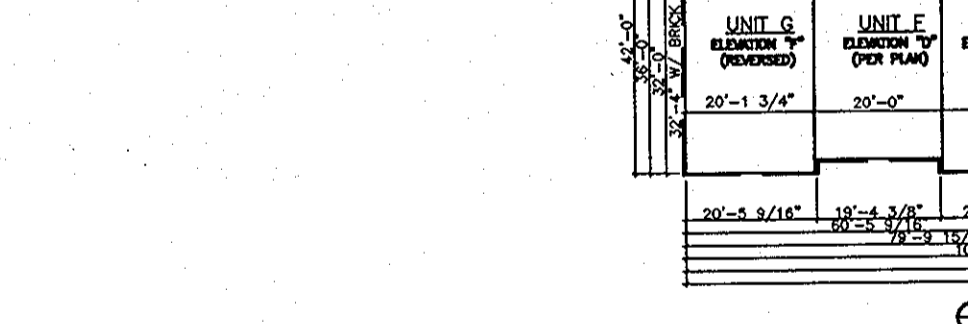
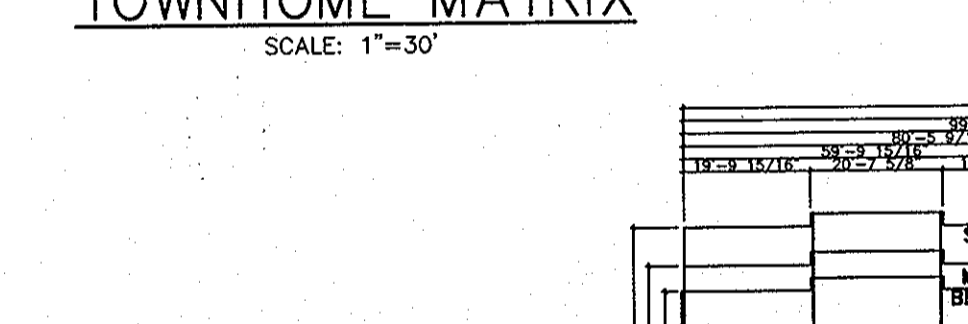
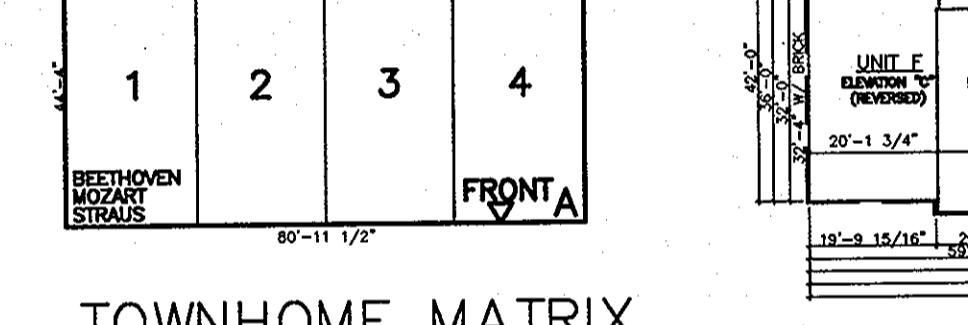
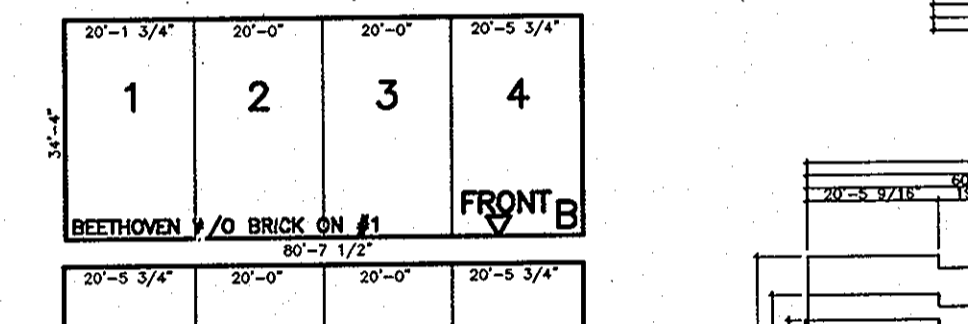
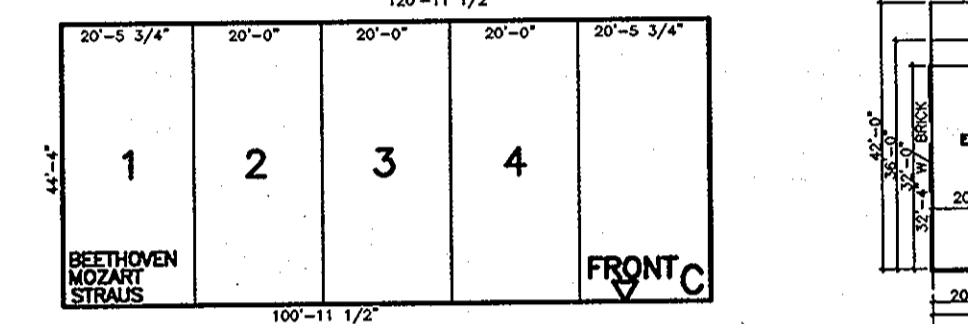
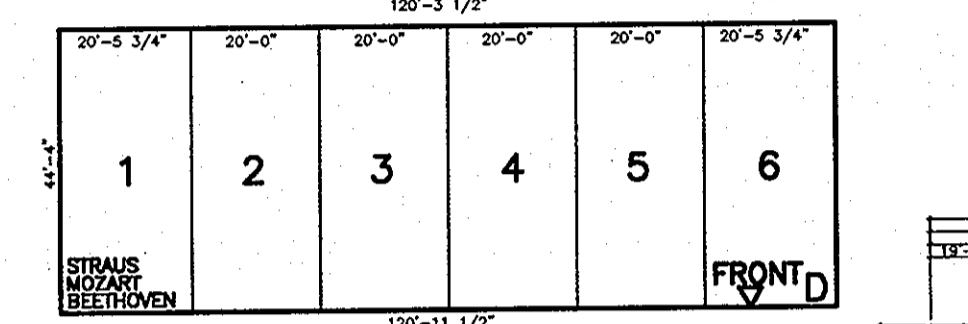
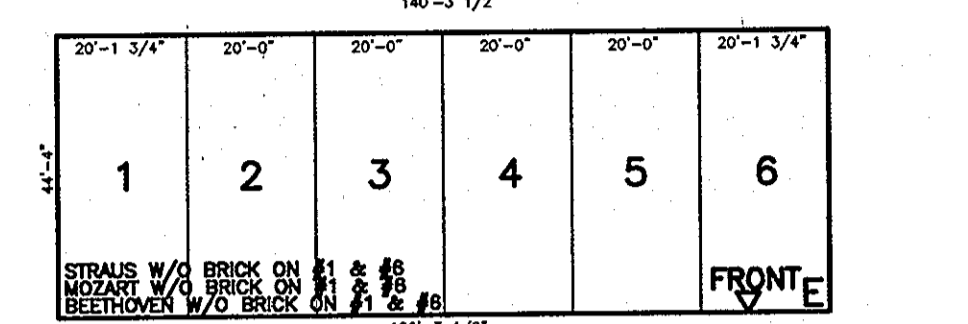
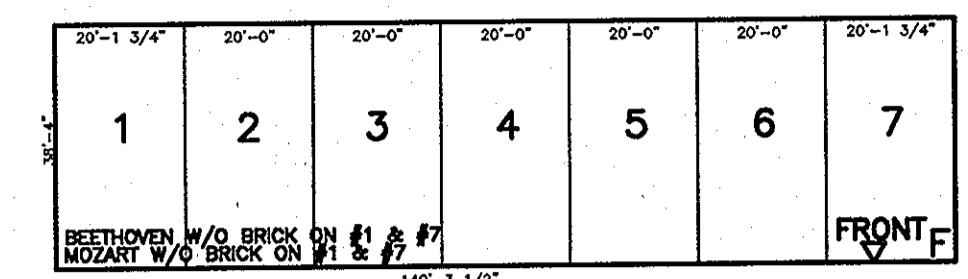
## PHASE 1, SECTION 3A



SHEET INDEX	
NO.	DESCRIPTION
1	TITLE SHEET
2	DIMENSION PLAN
3	SITE DEVELOPMENT PLAN (GRADING AND SEDIMENT CONTROL)
4	SEDIMENT CONTROL NOTES AND DETAILS
5	ROAD PROFILES
6	ROAD PROFILES
7	SOILS AND STORMDRAIN DRAINAGE AREA MAP
8	STORMDRAIN PROFILES
9	STORMDRAIN PROFILES AND EQUIPMENT DETAILS
10	TEMPORARY GRADING PLAN
11	LANDSCAPE PLAN

### GENERAL NOTES:

- THIS PLAN IS SUBJECT TO COUNTY COUNCIL BILL 45-2003, THE AMENDED 5th EDITION SUBDIVISION REGULATIONS, EFFECTIVE OCTOBER 2, 2003.
- THE SUBJECT PROPERTY IS ZONED CAC-CLJ PER THE 2/2/04 COMPREHENSIVE ZONING PLAN AND THE "COMP LITE" ZONING AMENDMENTS EFFECTIVE 7/28/06.
- STORM DRAIN REPORT AND STORMWATER MANAGEMENT PROVIDED BY MILDBERG, BOENDER & ASSOC., INC. APPROVED AS PART OF THIS PLAN SUBMISSION AND F-08-013 (12/22/2008) RESPECTIVELY.
- NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAM(S) OR THEIR REQUIRED BUFFERS, FLOOD PLAN AND FOREST CONSERVATION EASEMENT AREAS UNLESS A WAIVER HAS BEEN GRANTED.
- TOPOGRAPHIC INFORMATION IS BASED ON AERIAL RUN TOPOGRAPHY PERFORMED BY WINGS TOPOGRAPHY INC. ON OR ABOUT APRIL 2007, COMPLEMENTED WITH FIELD RUN TOPOGRAPHY PERFORMED BY MILDBERG, BOENDER AND ASSOC. ON OR ABOUT JUNE 2007. EXISTING CONTOURS SHOWN PER APPROVED OF-08-24, SDP-08-046, F-08-013.
- COORDINATES BASED ON NAD'83 MARYLAND COORDINATES SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 3700, 4341, AND 4302. STA. 3700 N 553,237.2140 E 1,372,353.6000 EL.290.95 STA. 4302 N 549,592.0910 E 1,375,466.8200 EL.214.87
- BOUNDARY INFORMATION IS BASED ON A FIELD RUN MONUMENTED BOUNDARY SURVEY PERFORMED ON OR ABOUT FEBRUARY, 2002 BY MILDBERG, BOENDER AND ASSOCIATES, INC.
- THE NOISE STUDY WAS PREPARED BY MILDBERG, BOENDER AND ASSOCIATES ON OR ABOUT FEBRUARY 2008.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.
- THE FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING SHALL BE POSTED AS PART OF THE GRADING PERMIT IN THE AMOUNT OF \$28,350 FOR 75 SHADE TREES AND 39 EVERGREEN TREES. THE FINANCIAL SURETY FOR 78 STREET TREES IN THE AMOUNT OF \$23,400.00 WILL BE INCLUDED AS PART OF THE COST ESTIMATE GENERATED BY THE HOWARD COUNTY DEVELOPMENT ENGINEERING DIVISION.
- BASED ON AVAILABLE COUNTY DATA, NO HISTORIC STRUCTURES OR BURIAL GROUNDS EXIST ON SITE.
- SOILS DATA BASED ON HOWARD COUNTY SOIL SURVEY DATED 1968, SHEET 20.
- PROPERTY IS LOCATED WITHIN THE METROPOLITAN DISTRICT. PUBLIC WATER AND SEWER WILL BE UTILIZED. PUBLIC WATER AND SEWER CONTRACT NO.14-4664-0.
- ALL STRUCTURES WITHIN THE LOD OF PHASE 1 SECTION 3A ARE TO BE REMOVED.
- NO STEEP SLOPES EXIST ON SITE.
- THE FOREST CONSERVATION REQUIREMENTS WERE SATISFIED UNDER SDP-08-046 AND F-09-007.
- TRAFFIC DEVICES, MARKING AND SIGNING SHALL BE IN ACCORDANCE WITH LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ASPHALT.
- ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED SQUARE TUBE POST (14 GAUGE)-3" LONG. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
- STORMWATER MANAGEMENT REQUIREMENTS WERE SATISFIED UNDER F-08-013, IN ACCORDANCE WITH THE 2000 MARYLAND SWM DESIGN MANUAL. SWM IS BEING PROVIDED VIA PRIVATELY OWNED & MAINTAINED UNDERGROUND STORMWATER MANAGEMENT FACILITY.
- WP-06-114 WAS APPROVED ON AUGUST 28, 2006 WAIVING SECTION 16.119(C)(1) OF THE SUBDIVISION REGULATIONS. THE APPROVAL WAS SUBJECT TO THE FOLLOWING CONDITIONS:
  - THE PROPOSED ROAD AND ACCESS IMPROVEMENTS WILL REQUIRE AN ACCESS PERMIT ISSUED BY THE STATE ENGINEERING ACCESS PERMITS DIVISION. THE DEVELOPER MUST MEET ALL TERMS AND CONDITIONS OF THE ACCESS PERMIT.
  - WP-07-052 WAS APPROVED ON MAY 8, 2007 WAIVING SECTION 16.119(C)(1) AND 16.116(C)(2)(b) OF THE SUBDIVISION REGULATIONS. THE APPROVAL IS SUBJECT TO THE FOLLOWING:
    - UNDERGROUND SWM IN THE CURRENT LOCATION OF THE EXISTING SWM POND WILL BE INSTALLED AS NECESSARY. THE UNDERGROUND FACILITY WILL BE DESIGNED AND SUBMITTED FOR REVIEW AT THE PRELIMINARY, FINAL, AND SITE DEVELOPMENT PLAN STAGES.
    - LIMITS OF DISTURBANCE WILL BE THE MINIMUM NECESSARY TO INSTALL THE IMPROVEMENTS AND SHALL NOT EXCEED THE DISTURBANCE SHOWN ON THE WAIVER PETITION EXHIBIT SUBMITTED ON 4/4/07. DISTURBANCE IS LIMITED AS FOLLOWS:
      - AREA 1 - 1600 SQ.FT. OF WETLAND DISTURBANCE AND 7500 SQ.FT. OF WETLAND BUFFER DISTURBANCE
      - AREA 2 - 19750 SQ.FT. OF WETLAND DISTURBANCE AND 19500 SQ.FT. OF WETLAND BUFFER DISTURBANCE
      - AREA 3 - 30000 SQ.FT. OF WETLAND DISTURBANCE, 35250 SQ.FT. OF WETLAND BUFFER DISTURBANCE AND 62250 SQ.FT. OF STREAM BUFFER DISTURBANCE
    - ALL NECESSARY STATE AND LOCAL PERMITS WILL BE OBTAINED PRIOR TO ANY GRADING AND/OR CONSTRUCTION ACTIVITY.
    - SUPER SILT FENCING SHALL BE INSTALLED ALONG THE ENTIRE LOD FOR THE SIDEWALK IMPROVEMENTS FOR AREA 1 PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR GRADING ACTIVITY AND SHALL REMAIN IN PLACE FOR THE DURATION OF CONSTRUCTION.
    - THE GREENSPACE/OPEN AREA IN THE NORTHEASTERN PORTION OF THE SITE SHALL BE INCREASED BY A MINIMUM OF 20,150 SQUARE FEET (THE AREA OF WETLAND AND WETLAND BUFFER DISTURBANCE ALONG U.S. ROUTE 1 THAT IS ABOVE AND BEYOND THE NECESSARY DISTURBANCE FOR ROUTE 1 ROAD IMPROVEMENTS), BUILDING #43, ITS ACCESS AND OTHER IMPROVEMENTS ARE INCLUDING SIDEWALKS SHALL BE RELOCATED AND/OR REDESIGNED TO ALLOW FOR THIS ADDITIONAL GREENSPACE. THIS AREA SHALL BE USED TO ADDRESS A PORTION OF THE SITES FOREST CONSERVATION OBLIGATION.
- WP-07-123 WAS APPROVED ON JULY 24, 2007, WAIVING SECTION 16.144(I) REQUIRING PRELIMINARY PLAN SUBMISSION. THE APPROVAL IS SUBJECT TO THE FOLLOWING:
  - THE ENTIRE PUBLIC ROAD SYSTEM MUST BE DESIGNED WITH THE NEXT SUBMITTED FINAL PLAT AND PLAN FOR THE PROPERTY.
  - STORMWATER MANAGEMENT MUST BE DESIGNED FOR ALL PUBLIC IMPROVEMENTS WITH THE NEXT SUBMITTED FINAL PLAT AND PLAN FOR THE PROPERTY.
  - PRELIMINARY WATER AND SEWER PLANS MUST BE SUBMITTED PRIOR TO OR CONCURRENTLY WITH THE NEXT SUBMITTED FINAL PLAT AND PLAN FOR THE PROPERTY.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS AS APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- MIRs WILL BE PROVIDED IN ACCORDANCE WITH THE ZONING REGULATIONS. MIRs REQUIRED = 25% OF 57 UNITS = 15.
- TRASH REMOVAL WILL BE PUBLIC PICK UP.
- OVERFLOW PARKING WILL BE ON-STREET PARKING IN ACCORDANCE WITH DESIGN MANUAL VOLUME 3, SECTION 2.9.B, TABLE 2.11.
- THE 65DBA NOISE CONTOUR LINE DRAWN ON THIS DEVELOPMENT PLAN IS ADVISORY AS REQUIRED BY THE HOWARD COUNTY DESIGN MANUAL, CHAPTER 5, REVISED FEBRUARY 1992, AND CANNOT BE EXACTLY LOCATE THE 65DBA NOISE EXPOSURE. BEYOND THIS THRESHOLD MAY EXCEED GENERALLY ACCEPTED NOISE LEVELS ESTABLISHED BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT.
- LIGHT TRESPASS ONTO ANY PROPERTY ZONED OR USED FOR RESIDENTIAL PURPOSES SHALL NOT EXCEED 0.5 FOOT CANDLES.
- STREET LIGHT PLACEMENT AND THE TYPE OF FIXTURE AND POLE SHALL BE IN ACCORDANCE WITH HOWARD COUNTY DESIGN MANUAL VOLUME II (1995) AND AS MODIFIED BY "GUIDELINES FOR STREET LIGHTS IN RESIDENTIAL DEVELOPMENTS (JUNE 1993)", A MINIMUM SPACING OF 20' SHALL BE MAINTAINED BETWEEN ANY STREET LIGHT AND ANY TREE.
- WP-08-020 WAS APPROVED ON OCTOBER 3, 2007, WAIVING SECTION 16.155 (APPLICABILITY) WHICH REQUIRED THE SUBMISSION OF SITE DEVELOPMENT PLAN FOR NEW OR EXPANDED NONRESIDENTIAL DEVELOPMENT AND NEW RESIDENTIAL DEVELOPMENT INCLUDING SINGLE-FAMILY ATTACHED, APARTMENT AND MOBILE HOME RESIDENTIAL DEVELOPMENT. APPROVAL IS SUBJECT TO THE FOLLOWING:
  - HSCD MUST APPROVE THE ASSOCIATED GRADING PERMIT.
  - THE APPLICANT AND HIS CONSULTANT MUST SCHEDULE MEETINGS WITH ALL APPLICABLE COUNTY AND STATE AGENCIES TO ADDRESS THE COMMENTS FOR F-08-013 ISSUED BY THE DEPARTMENT OF PLANNING AND ZONING'S LETTER DATED SEPTEMBER 27, 2007.
- EXISTING UTILITIES BASED ON FIELD RUN SURVEY PERFORMED BY MILDBERG, BOENDER AND ASSOC. ON OR ABOUT JUNE 2007.
- THERE IS NO FLOOD PLAN WITHIN THE LOD OF THIS PLAN.
- THE WETLAND DELINEATION STUDY FOR THIS PROJECT WAS PREPARED BY ECO-SCIENCE PROFESSIONAL, INC. DATED MAY 15, 2007. THERE ARE NO WETLANDS WITHIN THE LOD OF THIS PLAN.
- THE AFPO STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP DATED NOVEMBER 2006, APPROVED UNDER S-06-010 ON JUNE 2007. NO AFPO STUDY IS REQUIRED FOR THIS PROJECT.
- PER SECTION 127.5.0.4 OF THE 2006 ZONING REGULATIONS THE FOLLOWING SETBACKS ARE REQUIRED AND ADDED BY:
  - MINIMUM SETBACKS FROM THE PUBLIC STREET RIGHT-OF-WAY
    - 1. PRINCIPAL STRUCTURES AND UTILITY AREAS 0 FEET
    - 2. ALL OTHER STRUCTURES AND USES 10 FEET
  - MINIMUM SETBACKS FROM VCNAL PROPERTIES
    - A. NON RESIDENTIAL STRUCTURES AND ASSOCIATED USES 30 FEET
    - B. STRUCTURES CONTAINING RESIDENCES AND ASSOCIATED USES 20 FEET
- FROM ALL OTHER ZONING DISTRICT:
  - ALL RESIDENTIAL AND USES 0 FEET
  - IF A RESIDENTIAL DISTRICT IS SEPARATED FROM THE CAC DISTRICT BY A PUBLIC STREET RIGHT OF WAY, ONLY THE SETBACKS FROM A PUBLIC STREET RIGHT OF WAY SHALL APPLY.
- MAXIMUM STRUCTURE SETBACK FROM PUBLIC STREET RIGHT OF WAY
  - AS PROVIDED IN THE ROUTE 1 MANUAL, THE BUILDING FOOTING NEAREST TO A PUBLIC STREET RIGHT OF WAY UNLESS TOPOGRAPHY, UTILITIES OR OTHER PHYSICAL CONSTRAINTS MAKE A GREATER SETBACK NECESSARY. THIS 10-FOOT SETBACK MAY BE INCREASED WITHOUT A VARIANCE IN ACCORDANCE WITH THE ROUTE 1 MANUAL.



Sections	Total Area (AC)	Amenity Area Required (AC)	Amenity Area Provided (AC)	Proposed Amenity
Phase 1 Section 1 (SDP-08-046)	2.91	0.29	0.33	Tot Lots and Benches
Phase 1 Section 3A (SDP-08-078)	4.28	0.43	0.55	Tot Lots, Benches and Picnic Area
Remaining Sections	24.27	2.43	2.27	TBD

NOTES: REMAINING SECTIONS TOTALS ARE BASED ON THE REQUIRED 10%.

AMENITY TABLE			
Sections	Total Area (AC)	Amenity Area Required (AC)	Proposed Amenity
Phase 1 Section 1 (SDP-08-046)	2.91	0.29	0.33
Phase 1 Section 3A (SDP-08-078)	4.28	0.43	0.55
Remaining Sections	24.27	2.43	2.27

ADDRESS CHART			
LOT NO.	STREET ADDRESS	LOT NO.	STREET ADDRESS
45	7217 ABBEY ROAD	74	7349 MATCHBOX ALLEY
46	7215 ABBEY ROAD	75	7347 MATCHBOX ALLEY
47	7213 ABBEY ROAD	76	7345 MATCHBOX ALLEY
48	7211 ABBEY ROAD	77	7343 MATCHBOX ALLEY
49	7209 ABBEY ROAD	78	7341 MATCHBOX ALLEY
50	7207 ABBEY ROAD	79	7339 MATCHBOX ALLEY
51	7205 ABBEY ROAD	80	7337 MATCHBOX ALLEY
52	7203 ABBEY ROAD	81	7335 MATCHBOX ALLEY
53	7120 SUSANS PASS	82	7319 MATCHBOX ALLEY
54	7122 SUSANS PASS	83	7317 MATCHBOX ALLEY
55	7124 SUSANS PASS	84	7315 MATCHBOX ALLEY
56	7126 SUSANS PASS	85	7330 MATCHBOX ALLEY
57	7128 SUSANS PASS	86	7332 MATCHBOX ALLEY
58	7130 SUSANS PASS	87	7334 MATCHBOX ALLEY
59	7132 SUSANS PASS	88	7336 MATCHBOX ALLEY
60	7134 SUSANS PASS	89	7338 MATCHBOX ALLEY
61	7136 SUSANS PASS	90	7340 MATCHBOX ALLEY
62	7140 SUSANS PASS	91	7344 MATCHBOX ALLEY
63	7142 SUSANS PASS	92	7346 MATCHBOX ALLEY
64	7144 SUSANS PASS	93	7348 MATCHBOX ALLEY
65	7411 SINGERS WAY	94	7350 MATCHBOX ALLEY
66	7409 SINGERS WAY	95	7354 MATCHBOX ALLEY
67	7407 SINGERS WAY	96	7358 MATCHBOX ALLEY
68	7405 SINGERS WAY	97	7356 MATCHBOX ALLEY
69	7381 MATCHBOX ALLEY	98	7360 MATCHBOX ALLEY
70	7359 MATCHBOX ALLEY	99	7362 MATCHBOX ALLEY
71	7357 MATCHBOX ALLEY	100	7364 MATCHBOX ALLEY
72	7355 MATCHBOX ALLEY	101	7368 MATCHBOX ALLEY
73	7353 MATCHBOX ALLEY	102	OPEN SPACE

PERMIT INFORMATION CHART			
SUBDIVISION NAME:	SECTION/AREA:	PARCEL:	
HOWARD SQUARE	PHASE 1, SECT 3A	PARCEL 'A-Z'	
PLAT: # 21645-21648	BLOCK No 369	ZONE: CAC-CLJ	TAX MAP: 43
		ELECTION DISTRICT: 1	CENSUS TRACT: 6069.01

RESIDENTIAL			
Phase	Year	Deadlines	Adjustments
1 - Sect. 1	2008	5/17/2008	8/14/2010
1 - Sect. 3	2010	n/a	n/a
2	2012	12/31/2009	5/14/2011
3	2013	12/31/2010	9/30/2011
4	2014	10/31/2011	17300
5	2015	3/31/2013	37200
6	2016	12/31/2013	10000
7	2017	12/31/2014	26700
8	2018	3/31/2016	28400
9	2019	3/31/2017	24000
Totals			280100

COMMERCIAL			
Phase	Year	Deadlines	Adjustments
1 - Sect. 1	2008	5/17/2008	8/14/2010
1 - Sect. 3	2010	n/a	n/a
2	2012	12/31/2009	5/14/2011
3	2013	12/31/2010	9/30/2011
4	2014	10/31/2011	17300
5	2015	3/31/2013	37200
6	2016	12/31/2013	10000
7	2017	12/31/2014	26700
8	2018	3/31/2016	28400
9	2019	3/31/2017	24000
Totals			280100

### SITE ANALYSIS DATA CHART

A) TOTAL PROJECT AREA	28.55± AC. (24.27 AC. WITHIN PARCEL A-2)
B) AREA OF THIS PLAN SUBMISSION	5.80± AC.
C) APPROXIMATE LIMIT OF DISTURBANCE	5.80± AC.
D) PRESENT ZONING:	CAC-CLJ
E) PROPOSED USE OF SITE:	RESIDENTIAL SINGLE FAMILY ATTACHED UNITS
F) TOTAL NUMBER OF UNITS ALLOWED AS SHOWN ON FINAL PLAT(S)	57
G) TOTAL NUMBER OF UNITS PROPOSED	57
H) MAXIMUM NUMBER OF EMPLOYEES PER USE	N/A
I) NUMBER OF PARKING SPACES REQUIRED BY NO. CO. ZONING REGULATIONS (2/UNIT + 30%)	132
J) NUMBER OF PARKING SPACES PROVIDED WIDENING PRIVATE ROADS TO 28' PAVED WIDTH CREATED TOWARD S/H SPACES	162
K) AREA OF RECREATIONAL OPEN SPACE REQUIRED FOR ENTIRE PROJECT BASED ON S-06-010	4.32 AC
L) APPLICABLE DPZ FILE REFERENCES:	SDP-02-079, WP-02-165, WP-03-044, WP-03-094, WP-04-007, WP-06-114, WP-07-052, S-06-010, WP-07-129, F-09-007, F-08-013 SDP-08-046, SDP-08-078, F-09-053, WP-10-140, F-10-118, WP-11-017, WP-11-067, F-11-009
M) PROPOSED WATER AND SEWER SYSTEMS:	X PUBLIC PRIVATE

### GENERAL NOTES CONT'D:

- PROPOSED BUILDINGS WILL HAVE AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM.
- THE PROPOSED LIGHTING LOCATIONS AND TYPES OF LIGHTS SHOWN ON SHEET 2 ARE AS FOLLOWS:
  - 150' WATT HPS VAPOR PREMIER POST TOP - (SEE SHEET 6 OF 11 FOR MORE DETAIL)
  - MATCHBOX ALLEY, STA.1+04.5, 18' RT. STA.2+24.5, 18' LT. STA.3+64+08.87, STA.4+77.5, 18' LT. SUSANS PASS: STA.4+50.0, 18' LT. STA.5+99.0, 18' LT. STA.7+24.18, 18' LT. SINGERS WAY: STA.1+84.18, 6' LA. 0+51.25, 15' LT.
- WP-11-017 WAS APPROVED IN AUGUST 27, 2010, WAIVING SECTION 16.156 (1)(2) WHICH ESTABLISHES TIMELINES FOR SUBMISSION OF REVISED PLANS AND SECTION 16.110(A) WHICH OUTLINES THE PHASING PROCESS AND THE ESTABLISHMENT OF THE PHASING SCHEDULE AND ASSOCIATED MILESTONES. APPROVAL IS SUBJECT TO THE FOLLOWING:
  - THE DEVELOPER MUST SUBMIT REVISED PLANS IN ASSOCIATION WITH SDP-08-078 FOR THE REFINING 105 UNITS ON OR BEFORE MAY 14, 2011.
  - THE DEVELOPER MUST SUBMIT THE NEXT PHASE FOR 73 UNITS (DESIGNATED PHASE 3 IN DEPARTMENT OF PLANNING AND ZONING'S LETTER OF MAY 27, 2008) ON OR BEFORE SEPTEMBER 30, 2011.
  - REVISED PLANS WILL BE SUBMITTED TO ALL SRC AGENCIES FOR REVIEW.
- WP-11-067 WAS APPROVED ON NOVEMBER 23, 2010, WAIVING SECTION 16.120(C)(4) WHICH REQUIRES THAT SINGLE-FAMILY-ATTACHED LOTS HAVE A MINIMUM 15 FOOT FRONTAGE ON A PUBLIC ROAD WHICH MAY BE APPROVED PROVIDED THEY FRONT ON A COMMONLY OWNED AREA CONTAINING A PARKING AREA OR PRIVATE ROAD NOT EXCEEDING 200 FOOT LENGTH. APPROVAL IS SUBJECT TO THE FOLLOWING:
  - F-11-009 MUST BE RECORDED PRIOR TO FINAL SIGNATURE APPROVAL.
  - A HOMEOWNERS ASSOCIATION WILL BE CREATED THAT WILL BE THE REPRESENTATIVE PARTY FOR THE MAINTENANCE OF THE PRIVATE ROADS AND STORMWATER CONVEYANCE & MANAGEMENT FACILITIES. WATER & SEWER SHALL BE PUBLIC AND MAINTAINED FOR EACH UNIT WITHIN THE RECORDED PUBLIC EASEMENT.
- THE MHU AGREEMENT WAS RECORDED IN LIBER 2326A, FOLIO 412. FIFTEEN (15) UNITS ARE REQUIRED FOR THIS SECTION. FIFTEEN (15) UNITS ARE PROVIDED AND WILL BE LOCATED IN THE TOWNHOUSES AS SHOWN ON THE PLAN.
- DUE TO THE PARKING REQUIREMENTS, GARAGES MUST NOT BE CONVERTED TO STORAGE OR LIVABLE SPACE. GARAGES AND DRIVEWAYS MUST BE KEPT SUFFICIENTLY CLEAR TO ALLOW FOR REQUIRED PARKING.

REVISIONS		
NO.	DATE	REVISION
1	8-25-2011	REVISE PARKING COMPS PER DRIVEWAY REVISIONS

**BENCHMARK**  
ENGINEERS & LAND SURVEYORS & PLANNERS

6400 BALTIMORE NATIONAL PIKE & SUITE 418 & BELLICOTT CITY, MARYLAND 21043  
(P) 410-485-8105 (F) 410-485-8444  
60 THOMAS JOHNSON DRIVE FREDERICK, MARYLAND 21702  
(P) 301-371-3505 (F) 301-371-3509  
WWW.BE-CMLENGINEERING.COM

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 28649-Expire Date: 7/23/2011

**HOWARD SQUARE**  
PHASE 1, SECTION 3A  
LOTS 45-101 AND OPEN SPACE LOT 102  
57 TOWNHOUSE UNITS ON FEE-SIMPLE LOTS

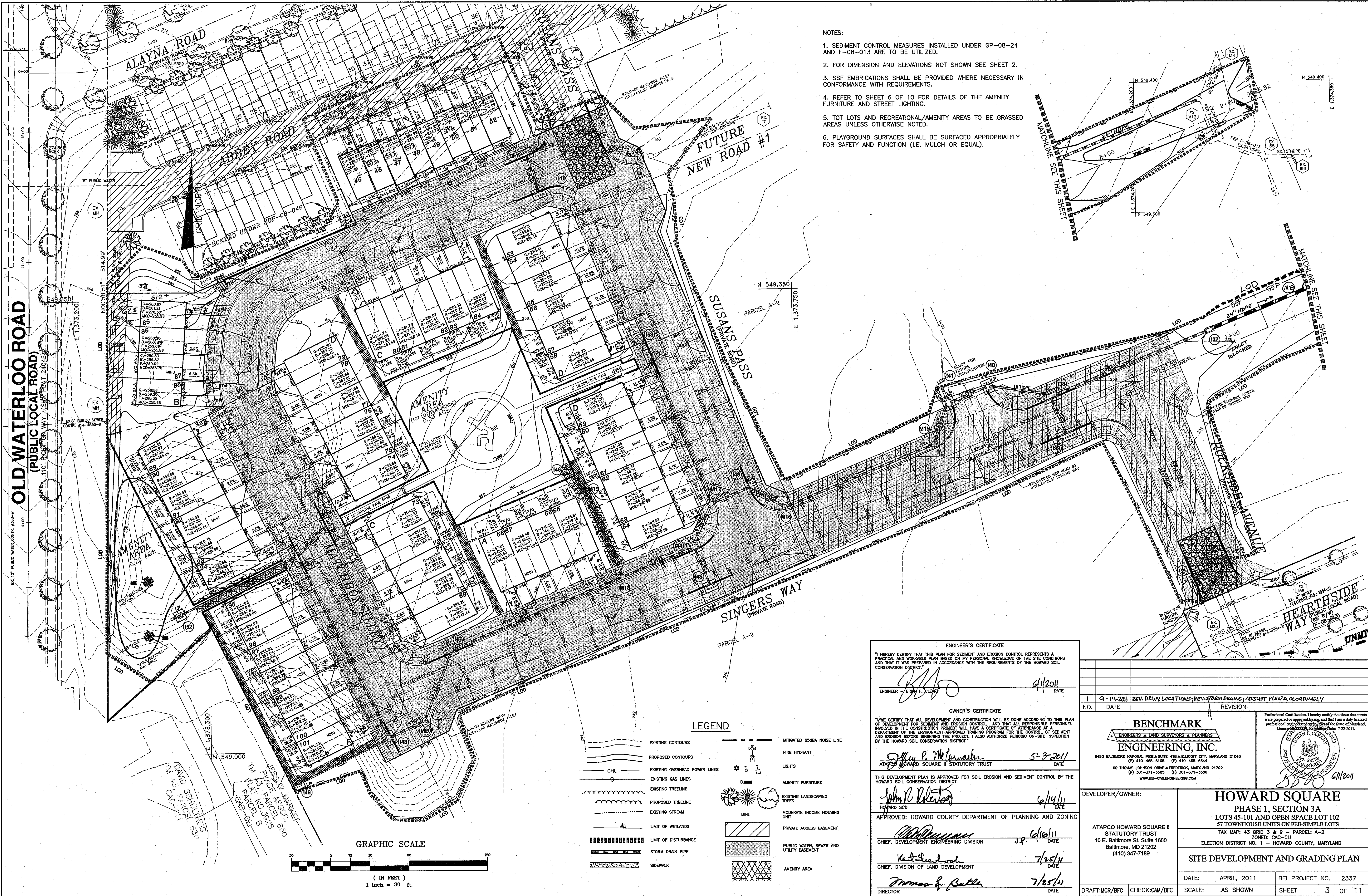
TAX MAP: 43 GRID 3 & 9 - PARCEL A-2  
ZONED: CAC-CLJ  
ELECTION DISTRICT NO. 1 - HOWARD COUNTY, MARYLAND

**TITLE SHEET**

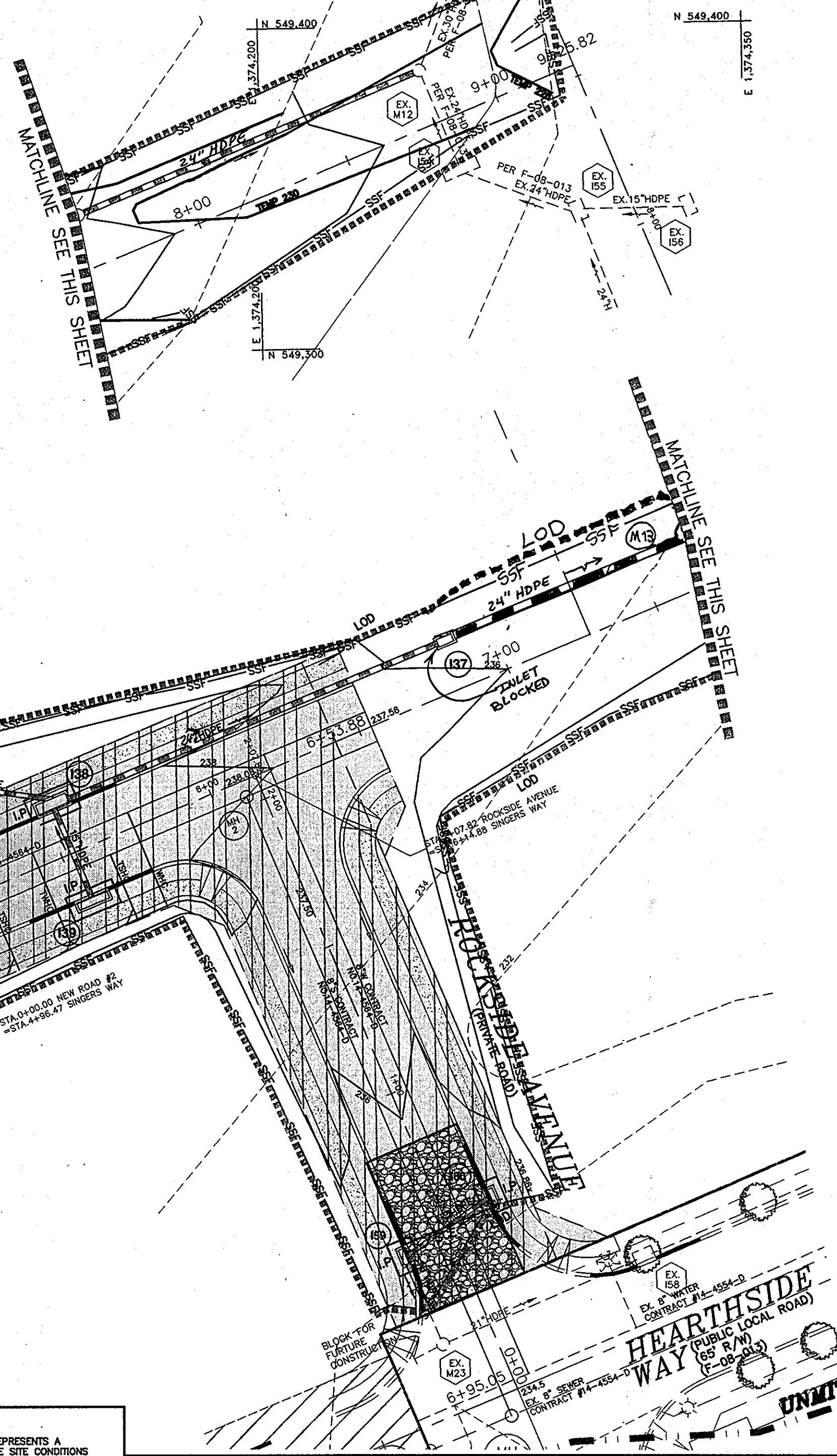
DEVELOPER/OWNER:	ATAPCO HOWARD SQUARE II STATUTORY TRUST 10 E. Baltimore St. Suite 1600 Baltimore, MD 21202 (410) 347-7189
DATE:	APRIL, 2011
SCALE:	AS SHOWN
DRAFT:MCR/BFC	CHECK:CAM/BFC
BET PROJECT NO.:	2337
SHEET:	1 OF 11

SDP-08-078

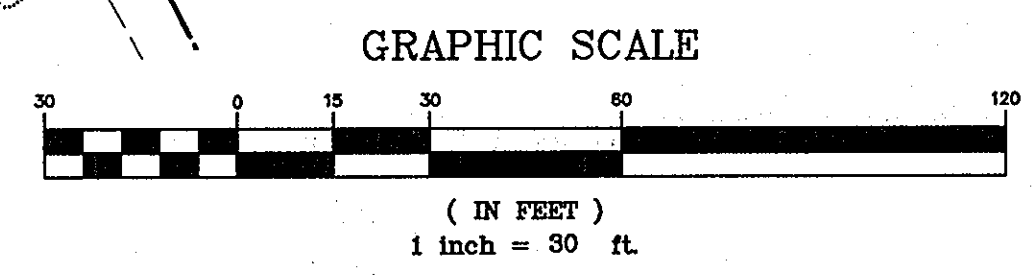




- NOTES:
1. SEDIMENT CONTROL MEASURES INSTALLED UNDER GP-08-24 AND F-08-013 ARE TO BE UTILIZED.
  2. FOR DIMENSION AND ELEVATIONS NOT SHOWN SEE SHEET 2.
  3. SSF EMBRICATIONS SHALL BE PROVIDED WHERE NECESSARY IN CONFORMANCE WITH REQUIREMENTS.
  4. REFER TO SHEET 6 OF 10 FOR DETAILS OF THE AMENITY FURNITURE AND STREET LIGHTING.
  5. TOT LOTS AND RECREATIONAL/AMENITY AREAS TO BE GRASSED AREAS UNLESS OTHERWISE NOTED.
  6. PLAYGROUND SURFACES SHALL BE SURFACED APPROPRIATELY FOR SAFETY AND FUNCTION (I.E. MULCH OR EQUAL).



OLD WATERLOO ROAD  
(PUBLIC LOCAL ROAD)



- LEGEND
- EXISTING CONTOURS
  - PROPOSED CONTOURS
  - OHL - EXISTING OVERHEAD POWER LINES
  - EXISTING GAS LINES
  - EXISTING TREELINE
  - PROPOSED TREELINE
  - EXISTING STREAM
  - LIMIT OF WETLANDS
  - LIMIT OF DISTURBANCE
  - STORM DRAIN PIPE
  - SIDEWALK
  - MITIGATED 65DBA NOISE LINE
  - FIRE HYDRANT
  - LIGHTS
  - AMENITY FURNITURE
  - EXISTING LANDSCAPING TREES
  - MHU - MODERATE INCOME HOUSING UNIT
  - PRIVATE ACCESS EASEMENT
  - PUBLIC WATER, SEWER AND UTILITY EASEMENT
  - AMENITY AREA

ENGINEER'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

ENGINEER - BRAD F. CLEARY DATE 6/1/2011

OWNER'S CERTIFICATE

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

John P. McLaughlin DATE 5-3-2011  
ATAPCO HOWARD SQUARE II STATUTORY TRUST

John R. Blanton DATE 6/14/11  
HOWARD SCD

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

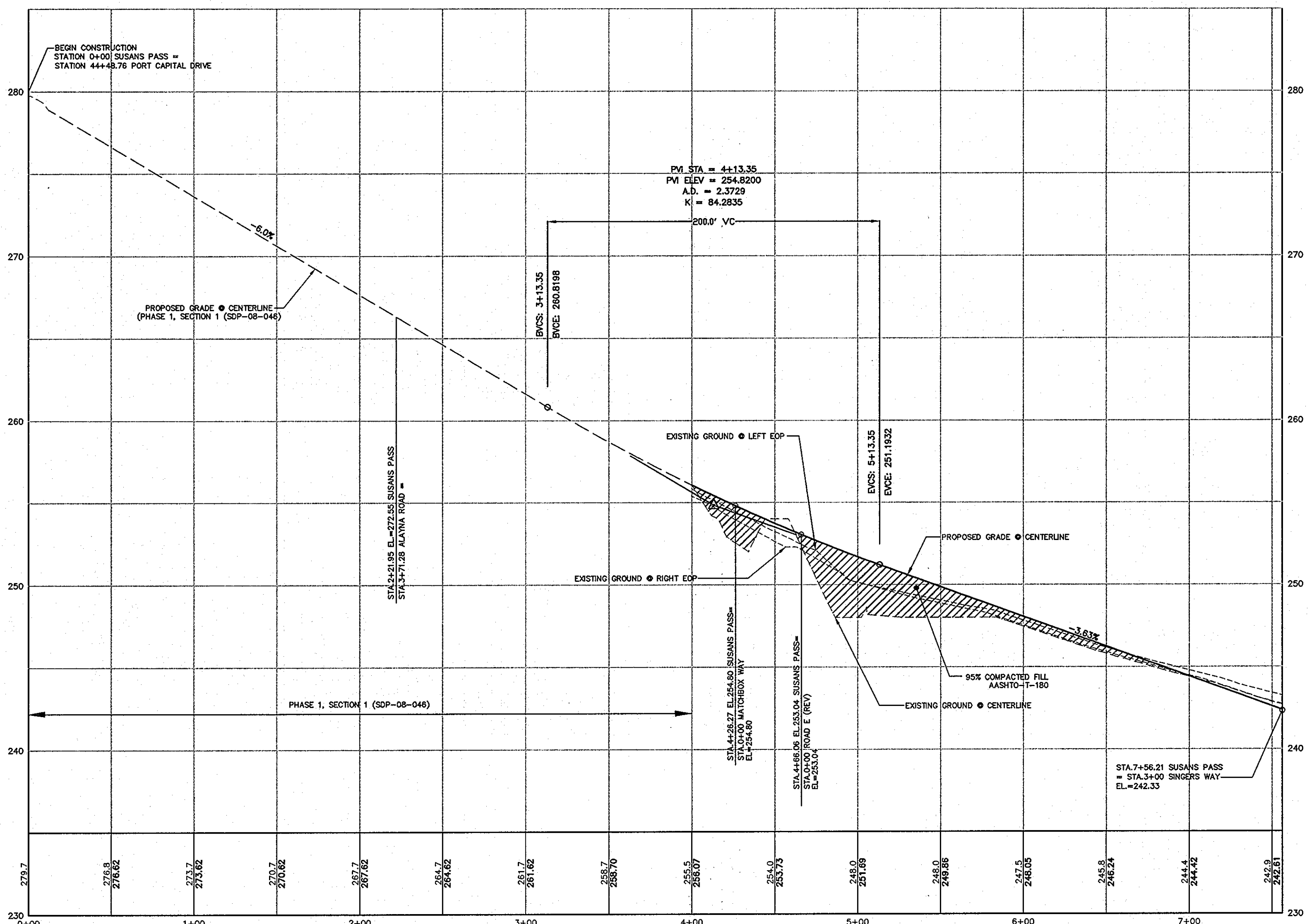
Chief, Development Engineering Division DATE 6/16/11  
J.P.

Keith S. Leland DATE 7/25/11  
Chief, Division of Land Development

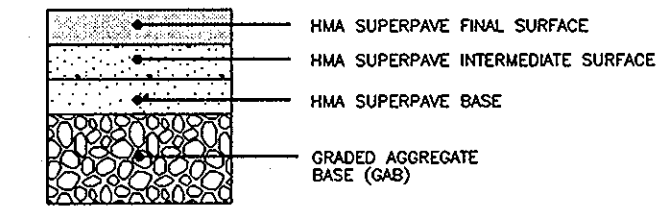
Thomas G. Butler DATE 7/25/11  
DIRECTOR

<p>NO. DATE REVISION</p> <p>1 9-14-2011 REV. DRWN LOCATIONS; REV. STORM DRAINS; ADJUST PLANA ACCORDINGLY</p>	
<p><b>BENCHMARK ENGINEERING, INC.</b> ENGINEERS &amp; LAND SURVEYORS &amp; PLANNERS 8480 BALTIMORE NATIONAL PIKE SUITE 418 &amp; ELLICOTT CITY, MARYLAND 21043 (P) 410-465-6105 (F) 410-465-6844 60 THOMAS JOHNSON DRIVE A FREDERICK, MARYLAND 21702 (P) 301-371-3505 (F) 301-371-3506 WWW.BEI-CIVILENGINEERING.COM</p>	
<p>Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 10033, Expiration Date: 7-23-2011.</p> <p>BRAD F. CLEARY REGISTERED PROFESSIONAL ENGINEER 6/1/2011</p>	
<p>DEVELOPER/OWNER: ATAPCO HOWARD SQUARE II STATUTORY TRUST 10 E. Baltimore St. Suite 1600 Baltimore, MD 21202 (410) 347-7189</p>	
<p><b>HOWARD SQUARE</b> PHASE 1, SECTION 3A LOTS 45-101 AND OPEN SPACE LOT 102 57 TOWNHOUSE UNITS ON FEE-SIMPLE LOTS TAX MAP: 43 GRID 3 &amp; 9 - PARCEL: A-2 ELECTION DISTRICT NO. 1 - HOWARD COUNTY, MARYLAND</p>	
<p><b>SITE DEVELOPMENT AND GRADING PLAN</b></p>	
DATE: APRIL, 2011	BEI PROJECT NO. 2337
DRAFT: MCR/BFC	CHECK: CAM/BFC
SCALE: AS SHOWN	SHEET 3 OF 11



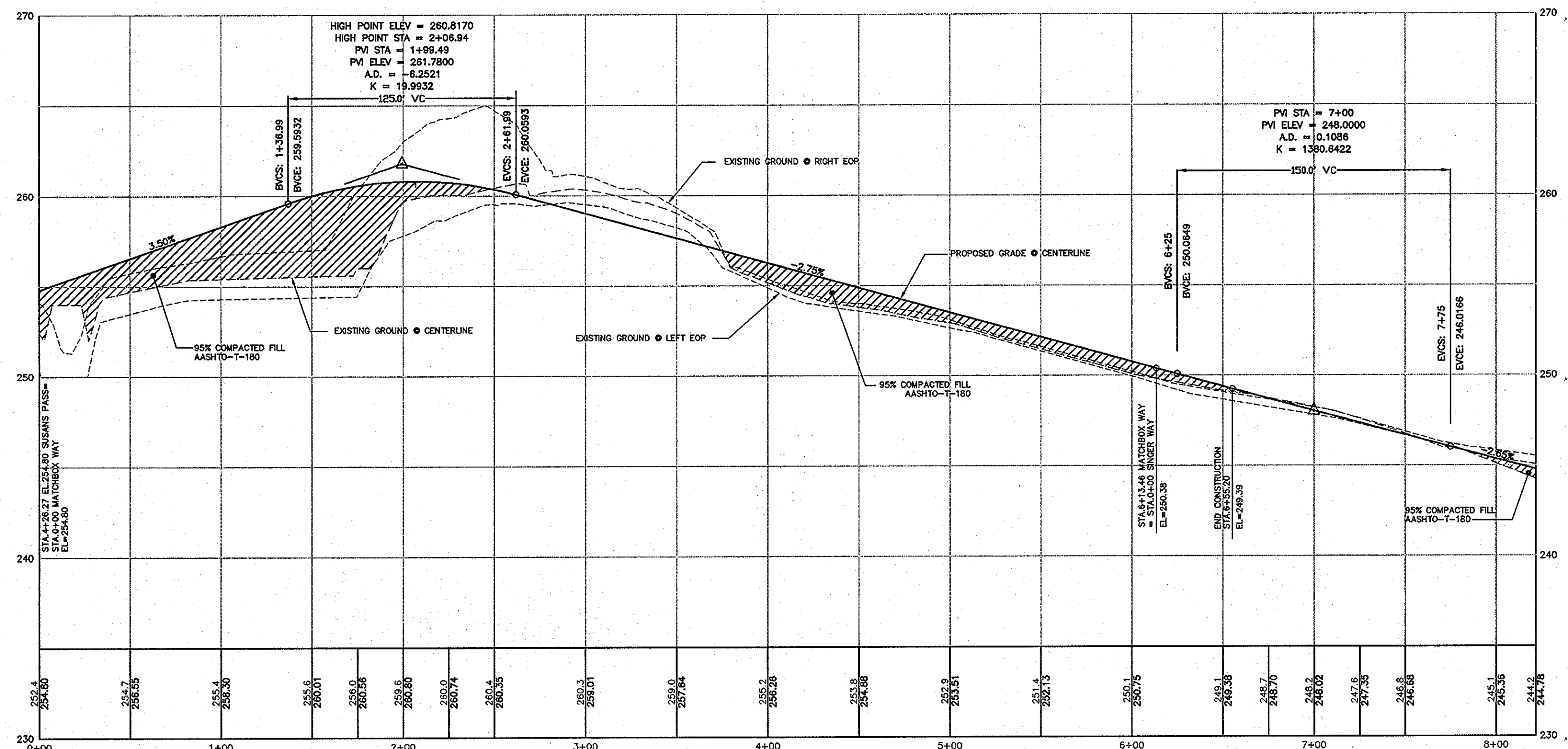


**SUSANS PASS PROFILE (PRIVATE)**  
 HORIZONTAL SCALE: 1"=50'  
 VERTICAL SCALE: 1"=5'

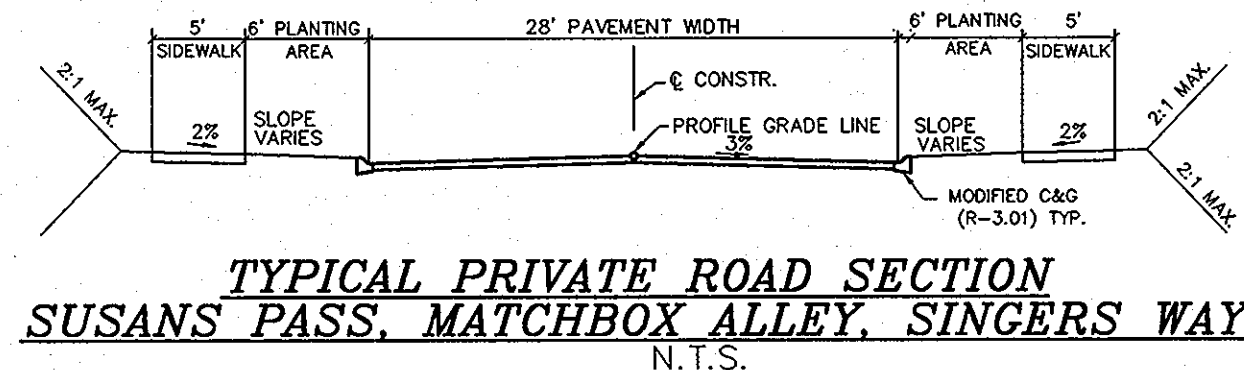


SECTION NUMBER	ROAD AND STREET CLASSIFICATION	CALIFORNIA BEARING RATIO (CBR)					
		PAVEMENT MATERIAL (INCHES)		3 TO <5	5 TO <7	7 TO <9	9 TO <12
P-2	PARKING DRIVE AISLES; RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 10 HEAVY TRUCKS PER DAY LOCAL ROADS: ACCESS PLACE, ACCESS STREET CUL-DE-SAC; RESIDENTIAL	HMA SUPERPAVE FINAL SURFACE	1.5	1.5	1.5	1.5	1.5
		9.5 MM PG 64-22, LEVEL 1 (LOW ESAL)	1.0	1.0	1.0	1.0	1.0
		HMA SUPERPAVE INTERMEDIATE SURFACE	2.0	2.0	2.0	2.0	2.0
		9.5 MM PG 64-22, LEVEL 1 (LOW ESAL)	2.0	2.0	2.0	2.0	2.0
		HMA SUPERPAVE BASE	2.0	2.0	2.0	2.0	2.0
		19.0 MM PG 64-22, LEVEL 1 (LOW ESAL)	2.0	2.0	2.0	2.0	2.0
		GRADED AGGREGATE BASE (GAB)	8.0	4.0	3.0	4.0	4.0

**HOWARD COUNTY PAVING SECTION DETAIL**



**MATCHBOX ALLEY PROFILE (PRIVATE)**  
 HORIZONTAL SCALE: 1"=50'  
 VERTICAL SCALE: 1"=5'



**TYPICAL PRIVATE ROAD SECTION**  
 SUSANS PASS, MATCHBOX ALLEY, SINGERS WAY  
 N.T.S.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

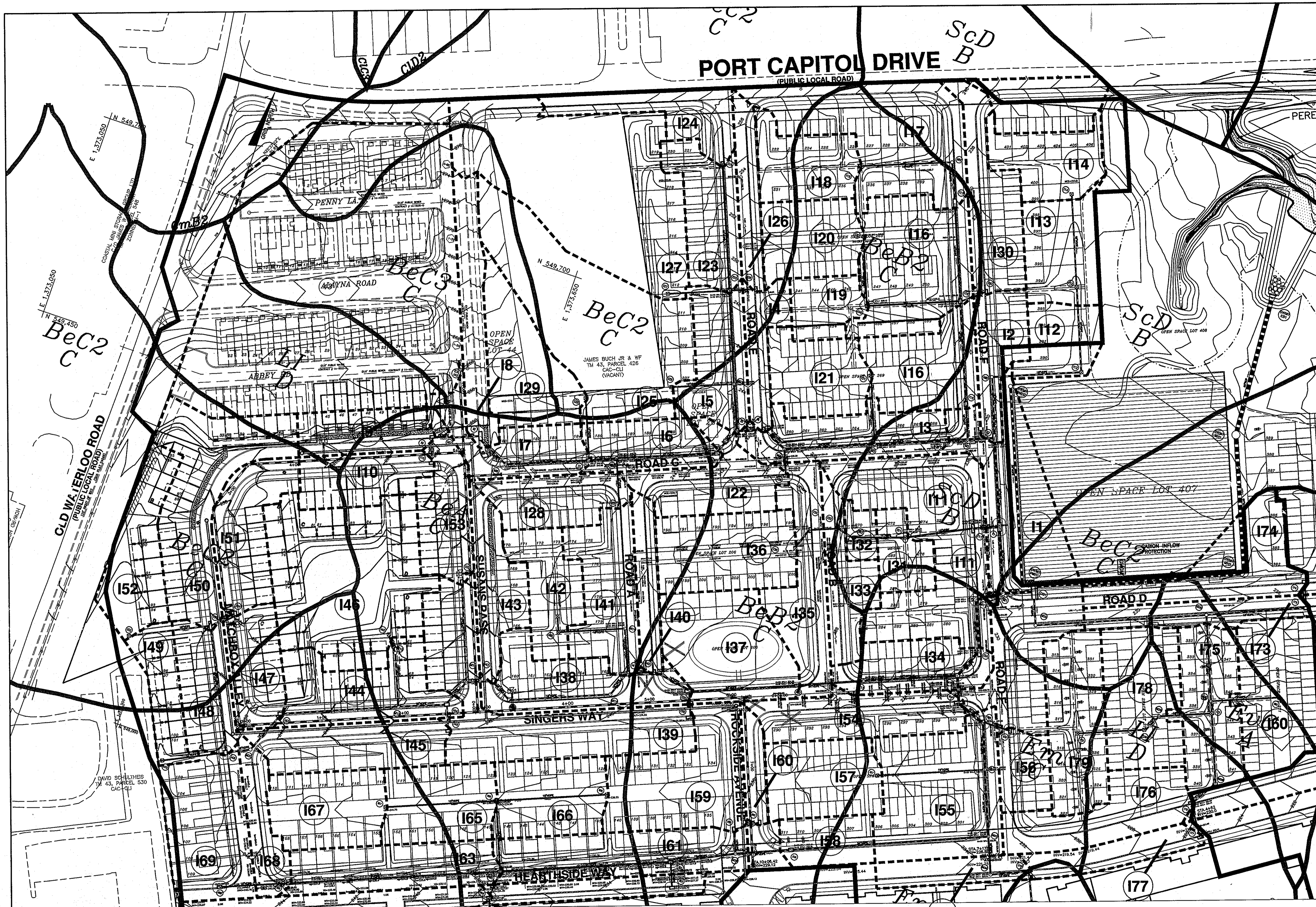
*[Signature]* J.P. 6/16/11  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*[Signature]* 7/28/11  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 7/28/11  
 DIRECTOR DATE

NO. DATE REVISION	
<b>BENCHMARK</b> ENGINEERS & LAND SURVEYORS & PLANNERS <b>ENGINEERING, INC.</b> 8480 BALTIMORE NATIONAL PIKE & SUITE 418 & ELICOTT CITY, MARYLAND 21043 (P) 410-465-6105 (F) 410-465-6844 80 THOMAS JOHNSON DRIVE & FREDERICK, MARYLAND 21702 (P) 301-371-3505 (F) 301-371-3506 WWW.BE-CVLENGINEERING.COM	
<b>HOWARD SQUARE</b> PHASE 1, SECTION 3A LOTS 45-101 AND OPEN SPACE LOT 102 57 TOWNHOUSE UNITS ON FEE-SIMPLE LOTS TAX MAP: 43 GRID 3 & 9 - PARCEL A-2 ELECTION DISTRICT NO. 1 - HOWARD COUNTY, MARYLAND	
<b>PRIVATE ROAD PROFILES AND DETAILS</b>	
DEVELOPER/OWNER:	ATAPCO HOWARD SQUARE II STATUTORY TRUST 10 E. Baltimore St. Suite 1600 Baltimore, MD 21202 (410) 347-7189
DATE: APRIL, 2011	BEI PROJECT NO. 2337
SCALE: AS SHOWN	SHEET 5 OF 11





**AREA AND "C" FACTOR TABULATION**

INLET #	ZONING (Z)	AREA (A)	"C" FACTOR (C)<25	% IMPERVIOUS (P)<25
I-1	CAC-CL1	0.85	0.82	56.6
I-2	CAC-CL1	0.20	0.84	86.0
I-3	CAC-CL1	0.31	0.82	84.2
I-4	CAC-CL1	0.15	0.72	90.7
I-5	CAC-CL1	0.27	0.55	79.3
I-6	CAC-CL1	0.21	0.58	81.7
I-7	CAC-CL1	0.24	0.68	88.3
I-8	CAC-CL1	0.24	0.82	97.1
I-9	CAC-CL1	0.20	0.61	82.5
I-10	CAC-CL1	0.22	0.57	80.9
I-11	CAC-CL1	0.66	0.51	77.7
I-12	CAC-CL1	0.18	0.30	65.0
I-13	CAC-CL1	0.27	0.30	65.0
I-14	CAC-CL1	0.24	0.34	65.0
I-15	CAC-CL1	0.32	0.46	73.8
I-16	CAC-CL1	0.48	0.42	70.7
I-17	CAC-CL1	0.60	0.55	79.6
I-18	CAC-CL1	0.24	0.33	65.0
I-19	CAC-CL1	0.15	0.33	65.0
I-20	CAC-CL1	0.26	0.33	65.0
I-21	CAC-CL1	0.26	0.33	65.0
I-22	CAC-CL1	0.28	0.61	83.8
I-23	CAC-CL1	0.27	0.53	78.0
I-24	CAC-CL1	0.23	0.74	92.4
I-25	CAC-CL1	0.86	0.33	65.0
I-26	CAC-CL1	0.14	0.86	100.0
I-27	CAC-CL1	1.03	0.33	65.0
I-28	CAC-CL1	0.23	0.61	83.3
I-29	CAC-CL1	0.34	0.33	65.0
I-30	CAC-CL1	0.30	0.62	84.8
I-31	CAC-CL1	0.13	0.31	65.0
I-32	CAC-CL1	0.06	0.30	65.0
I-33	CAC-CL1	0.20	0.67	87.8
I-34	CAC-CL1	0.25	0.61	83.2
I-35	CAC-CL1	0.33	0.64	85.2
I-36	CAC-CL1	0.36	0.33	65.0
I-37	CAC-CL1	0.44	0.43	71.4
I-38	CAC-CL1	0.35	0.62	84
I-39	CAC-CL1	0.62	0.59	81.9
I-40	CAC-CL1	0.13	0.86	100
I-41	CAC-CL1	0.32	0.55	79.2
I-42	CAC-CL1	0.23	0.33	65
I-43	CAC-CL1	0.23	0.65	86.3
I-44	CAC-CL1	0.36	0.54	78.6
I-45	CAC-CL1	0.30	0.60	82.5
I-46	CAC-CL1	0.60	0.33	65
I-47	CAC-CL1	0.21	0.61	83.3
I-48	CAC-CL1	0.23	0.55	77.4
I-49	CAC-CL1	0.17	0.33	65
I-50	CAC-CL1	0.52	0.51	76.4
I-51	CAC-CL1	0.29	0.60	83.1
I-52	CAC-CL1	0.29	0.33	65
I-53	CAC-CL1	0.24	0.62	84.0
I-54	CAC-CL1	0.31	0.59	81.9
I-55	CAC-CL1	0.55	0.53	78.4
I-56	CAC-CL1	0.14	0.56	80.0
I-57	CAC-CL1	0.30	0.33	65.0
I-58	CAC-CL1	0.15	0.61	83.7
I-59	CAC-CL1	0.45	0.47	74.3
I-60	CAC-CL1	0.98	0.86	100.0
I-61	CAC-CL1	0.39	0.60	82.9
I-62	CAC-CL1	0.15	0.86	100.0
I-63	CAC-CL1	0.33	0.59	82.0
I-64	CAC-CL1	0.23	0.66	100.0
I-65	CAC-CL1	0.28	0.33	65.0
I-66	CAC-CL1	0.29	0.33	65.0
I-67	CAC-CL1	0.29	0.33	65.0
I-68	CAC-CL1	0.15	0.75	93.0
I-69	CAC-CL1	0.40	0.54	79.0
I-70	CAC-CL1	0.14	0.86	100.0
I-71	CAC-CL1	1.36	0.72	85.0
I-72	CAC-CL1	2.19	0.72	85.0
I-73	CAC-CL1	0.18	0.86	100.0
I-74	CAC-CL1	0.36	0.58	81.5
I-75	CAC-CL1	0.33	0.30	65.0
I-76	CAC-CL1	0.32	0.65	85.0
I-77	CAC-CL1	0.15	0.86	100.0
I-78	CAC-CL1	0.37	0.34	65.0
I-79	CAC-CL1	0.35	0.33	65.0
I-80	CAC-CL1	0.40	0.31	65.0

**SOILS CHART**

SYMBOL	HYDRIC	HYDROLOGIC GROUP	NAME
BeA	YES	C	BELTSVILLE SILT LOAM, 0 TO 1 PERCENT SLOPES
BeB2	YES	C	BELTSVILLE SILT LOAM, 1 TO 5 PERCENT SLOPES, MODERATELY ERODED
BeC2	YES	C	BELTSVILLE SILT LOAM, 5 TO 10 PERCENT SLOPES, MODERATELY ERODED
BeC3	YES	C	BELTSVILLE SILT LOAM, SEVERELY ERODED
CmB2	B	B	CHILLUM SILT LOAM, 1 TO 5 PERCENT SLOPES, MODERATELY ERODED
Em	YES	D	ELKTON SILT LOAM
EvC	YES	A	EVESBORO LOAMY SAND, 5 TO 15 PERCENT SLOPES
IU	YES	D	LEONARDTOWN SILT LOAM
ScD	YES	C	SANDY AND CLAYEY LAND, MODERATELY ERODED

PLEASE NOTE THAT THIS REVISION SUPERCEDES THE PREVIOUS SHEET DATED APRIL, 2011

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*[Signature]* 9/14/11  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

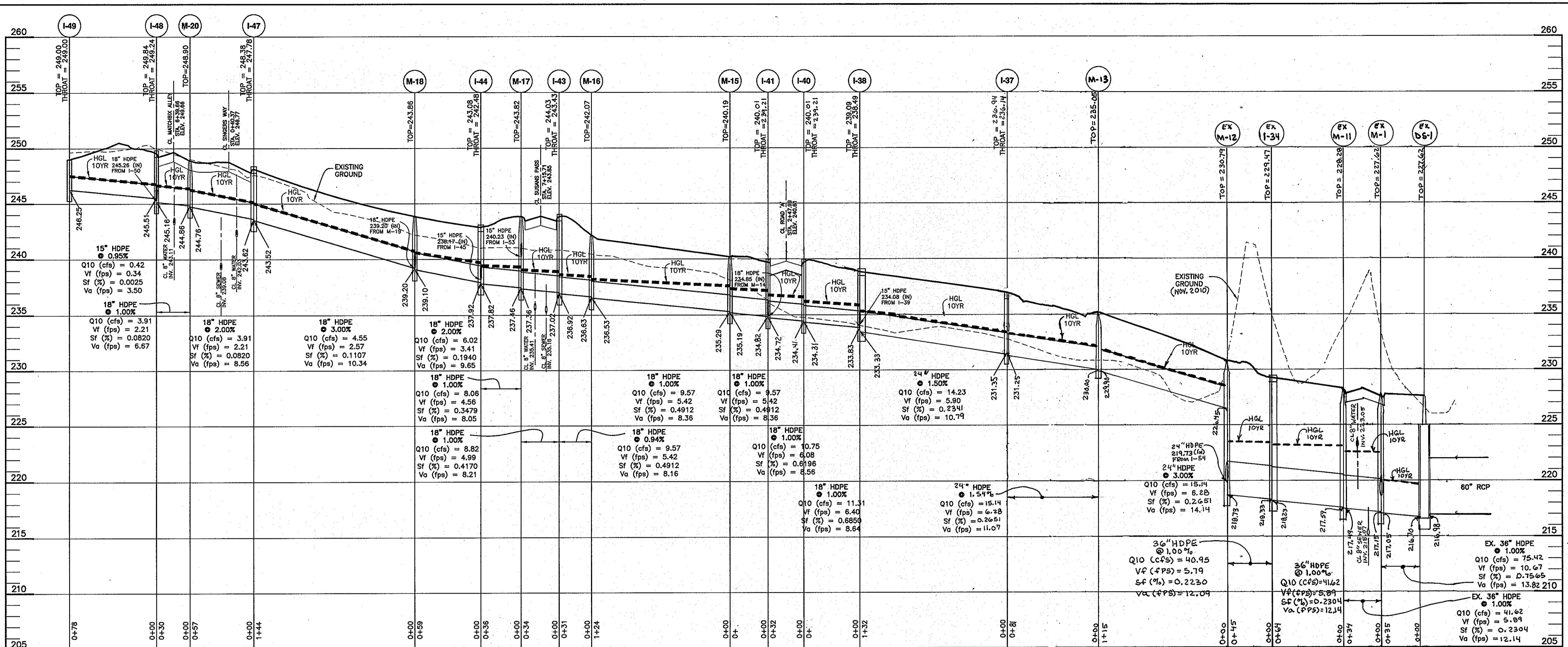
*[Signature]* 9/16/11  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 9/16/11  
 DIRECTOR DATE

NO.	DATE	REVISION

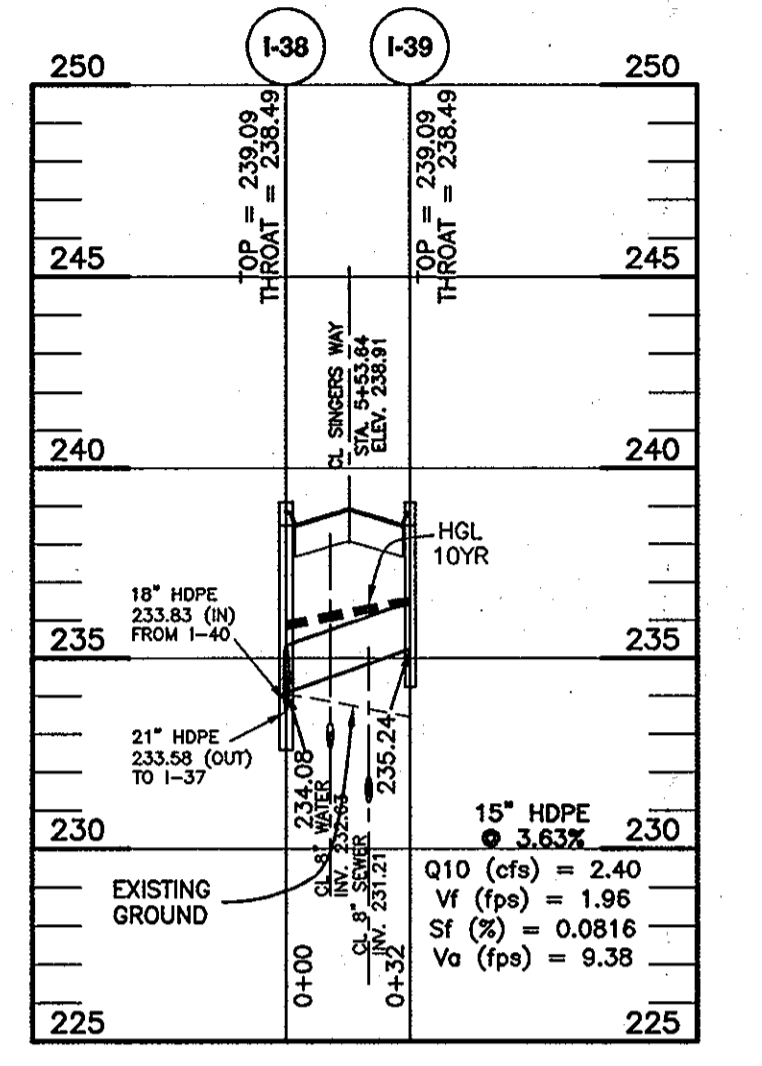
**BENCHMARK**  
 ENGINEERS & LAND SURVEYORS & PLANNERS  
**ENGINEERING, INC.**  
 8450 BALTIMORE NATIONAL PIKE & SUITE 418 A ELKLOTT CITY, MARYLAND 21104  
 (P) 410-465-8105 (F) 410-465-8944  
 60 THOMAS JOHNSON DRIVE & FREDERICK, MARYLAND 21702  
 (P) 301-371-3505 (F) 301-371-3506  
 WWW.BE-CIVILENGINEERING.COM

DEVELOPER/OWNER: ATAPCO HOWARD SQUARE II STATUTORY TRUST 10 E. BALTIMORE ST. SUITE 1600 BALTIMORE, MD 21202 (410) 347-7189	<p style="text-align: center;"><b>HOWARD SQUARE</b>          PHASE 1, SECTION 3A          LOTS 45-101 AND OPEN SPACE LOT 102          57 TOWNHOUSE UNITS ON FEE-SIMPLE LOTS</p> <p style="text-align: center;">TAX MAP: 43 GRID 3 &amp; 8 - PARCELS A-2          ZONED: CAC-CL1          ELECTION DISTRICT NO. 1 - HOWARD COUNTY, MARYLAND</p> <p style="text-align: center;"><b>REVISED SITE DEVELOPMENT PLAN          SOIL AND STORM DRAINAGE AREA MAP          AND STORM DRAIN STRUCTURE SCHEDULE</b></p>
DATE: AUGUST, 2011	BEI PROJECT NO. 2337
DRAFT: MCR/BFC	CHECK: CAM/BFC
SCALE: AS SHOWN	SHEET 7 OF 11



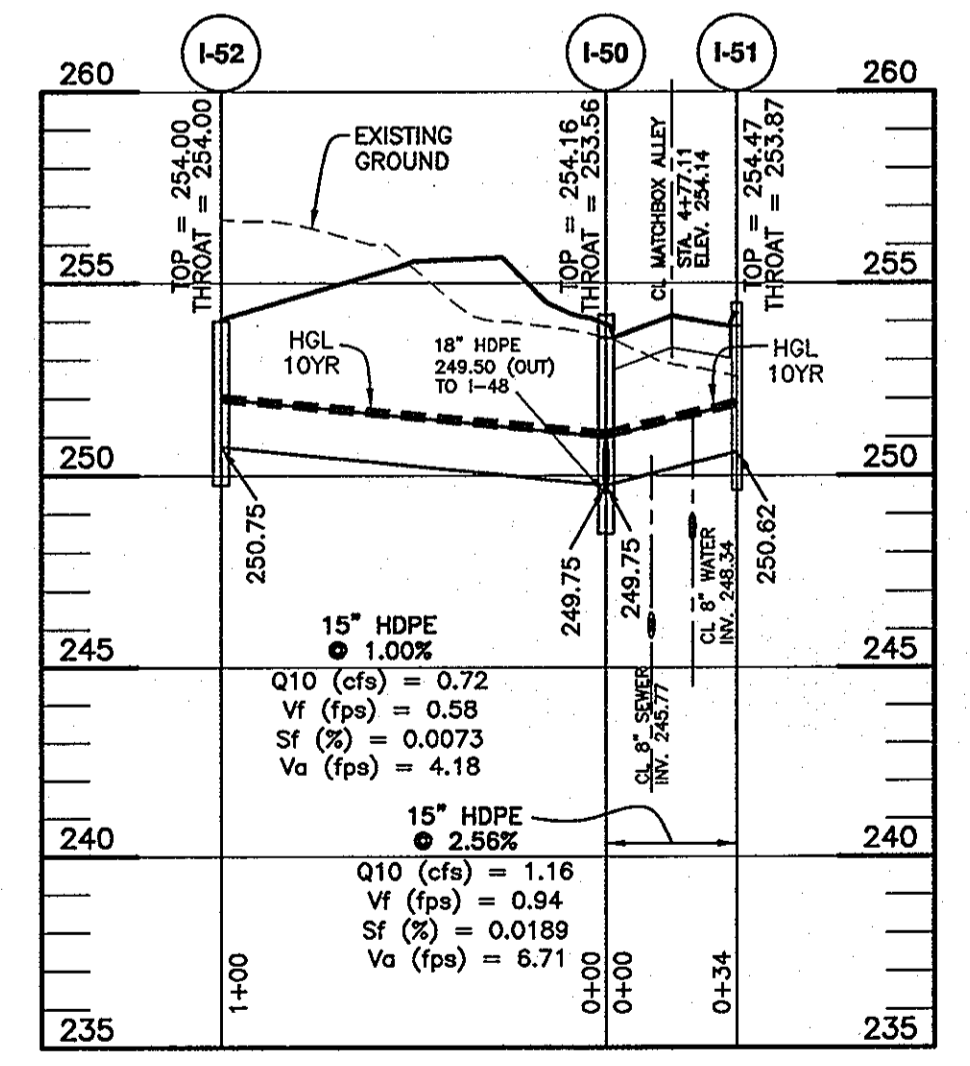
STORM DRAIN PROFILE I-49 TO DS-1 (SINGERS WAY)

SCALE: HOR. 1"=50'  
VER. 1"=5'



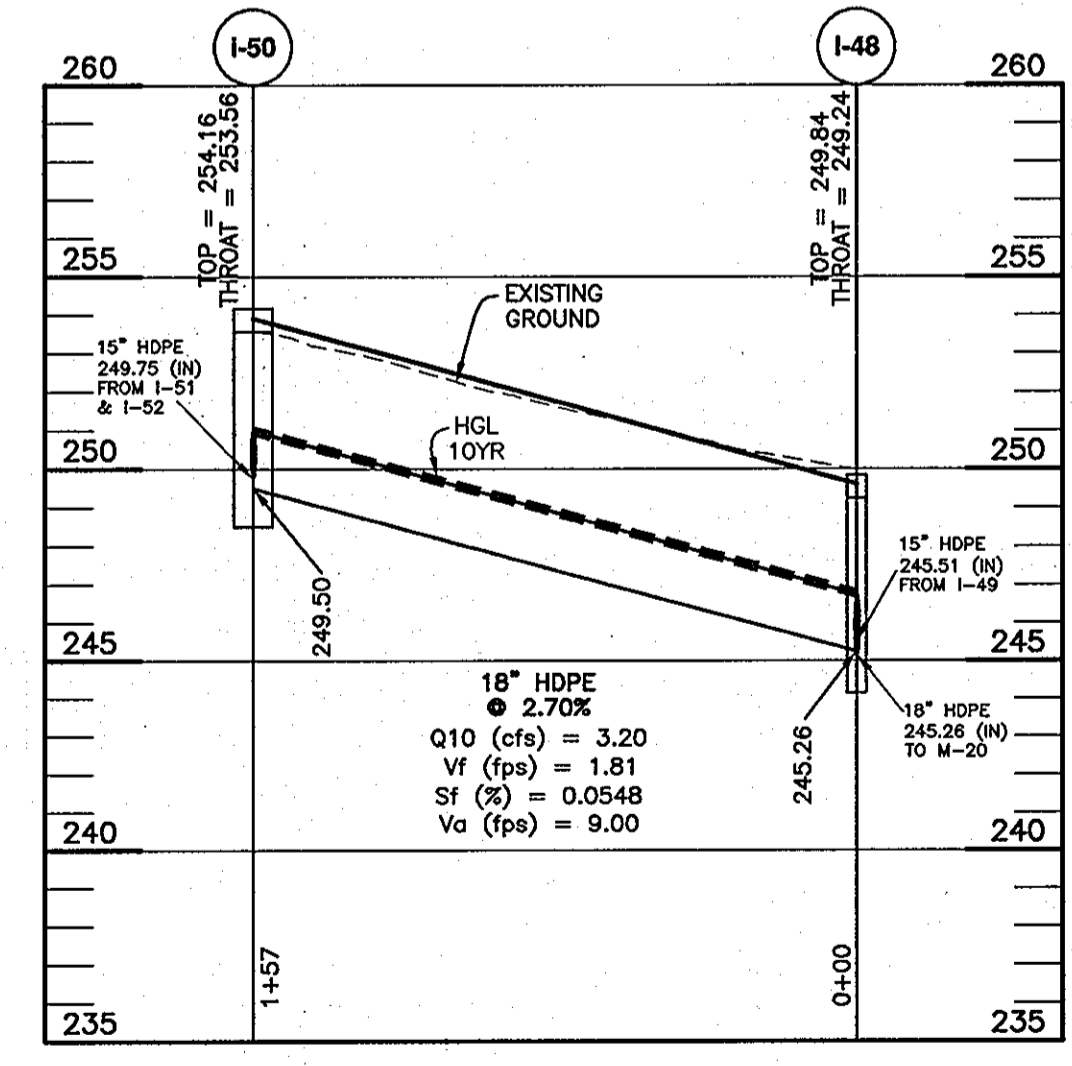
STORM DRAIN PROFILE I-38 TO I-39 (SINGERS WAY)

SCALE: HOR. 1"=50'  
VER. 1"=5'



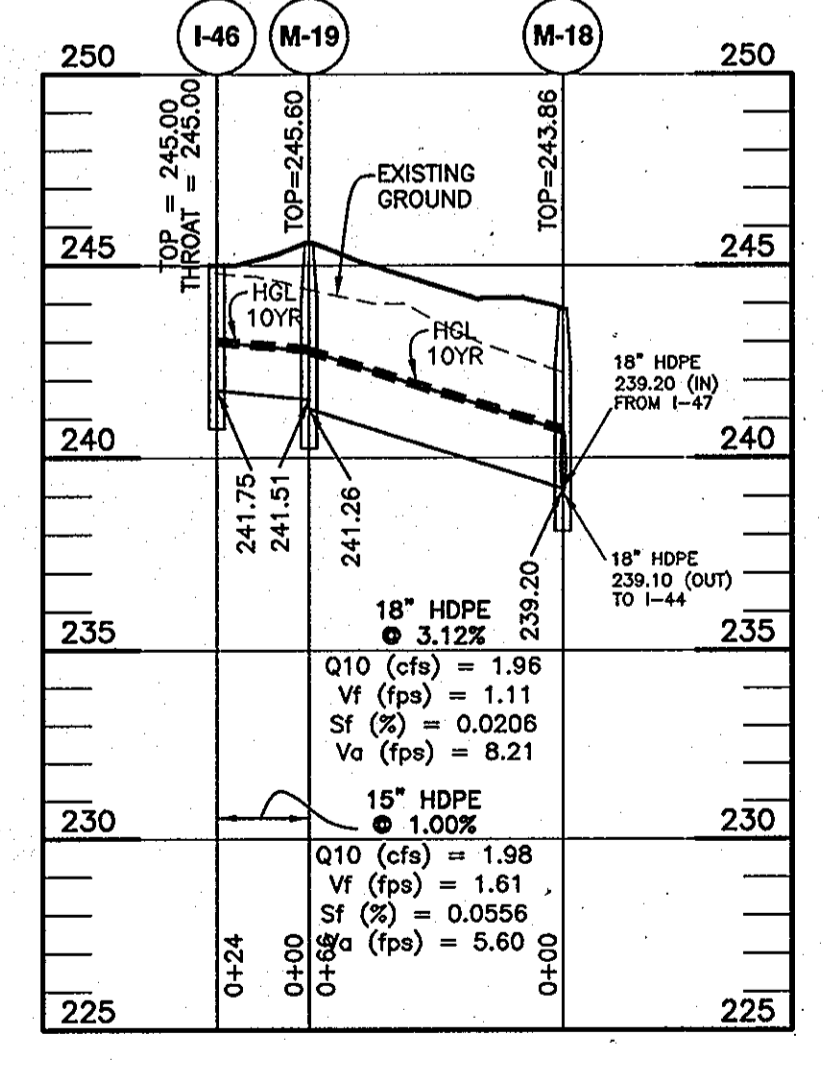
STORM DRAIN PROFILE I-50 TO I-52

SCALE: HOR. 1"=50'  
VER. 1"=5'



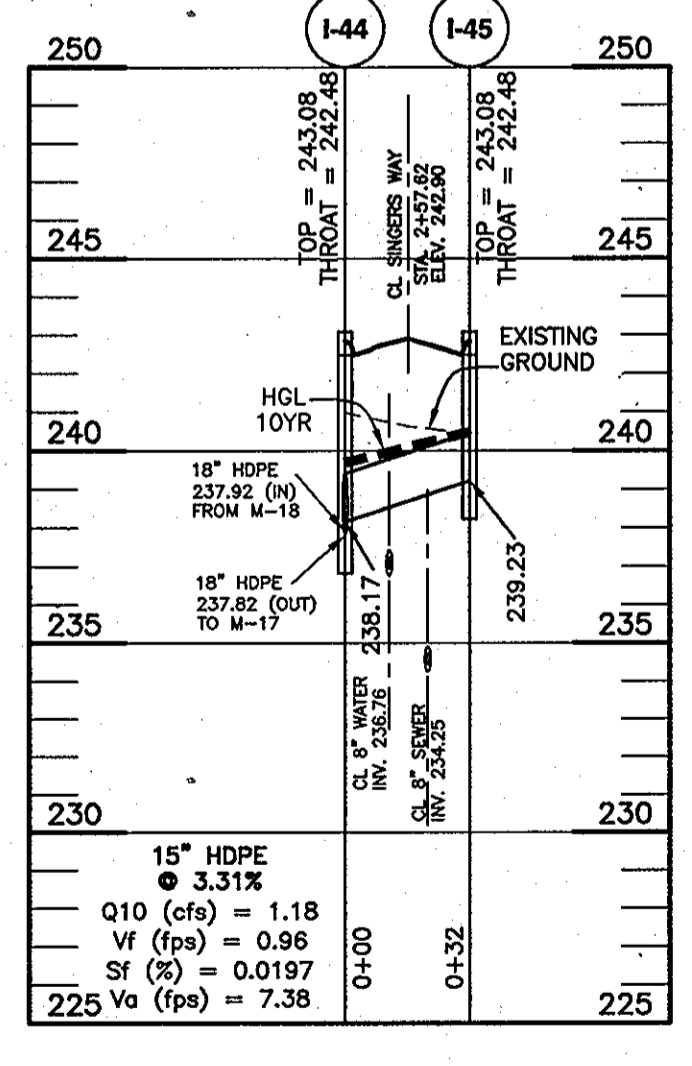
STORM DRAIN PROFILE I-50 TO I-48

SCALE: HOR. 1"=50'  
VER. 1"=5'



STORM DRAIN PROFILE I-46 TO M-19

SCALE: HOR. 1"=50'  
VER. 1"=5'



STORM DRAIN PROFILE I-44 TO I-45 (SINGERS WAY)

SCALE: HOR. 1"=50'  
VER. 1"=5'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*[Signature]* 6/16/11 DATE  
CHIEF, DEVELOPMENT ENGINEERING DIVISION J.P.

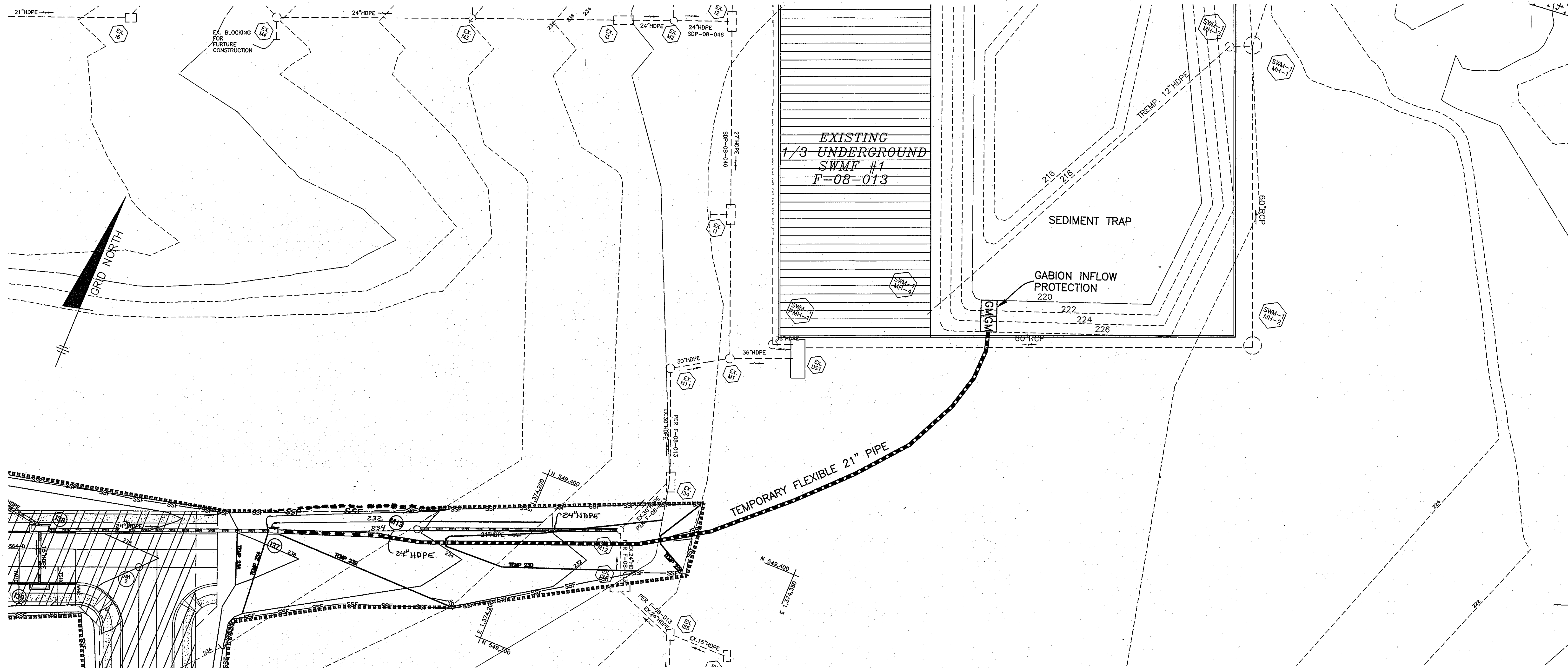
*[Signature]* 7/25/11 DATE  
CHIEF, DIVISION OF LAND DEVELOPMENT

*[Signature]* 7/25/11 DATE  
DIRECTOR

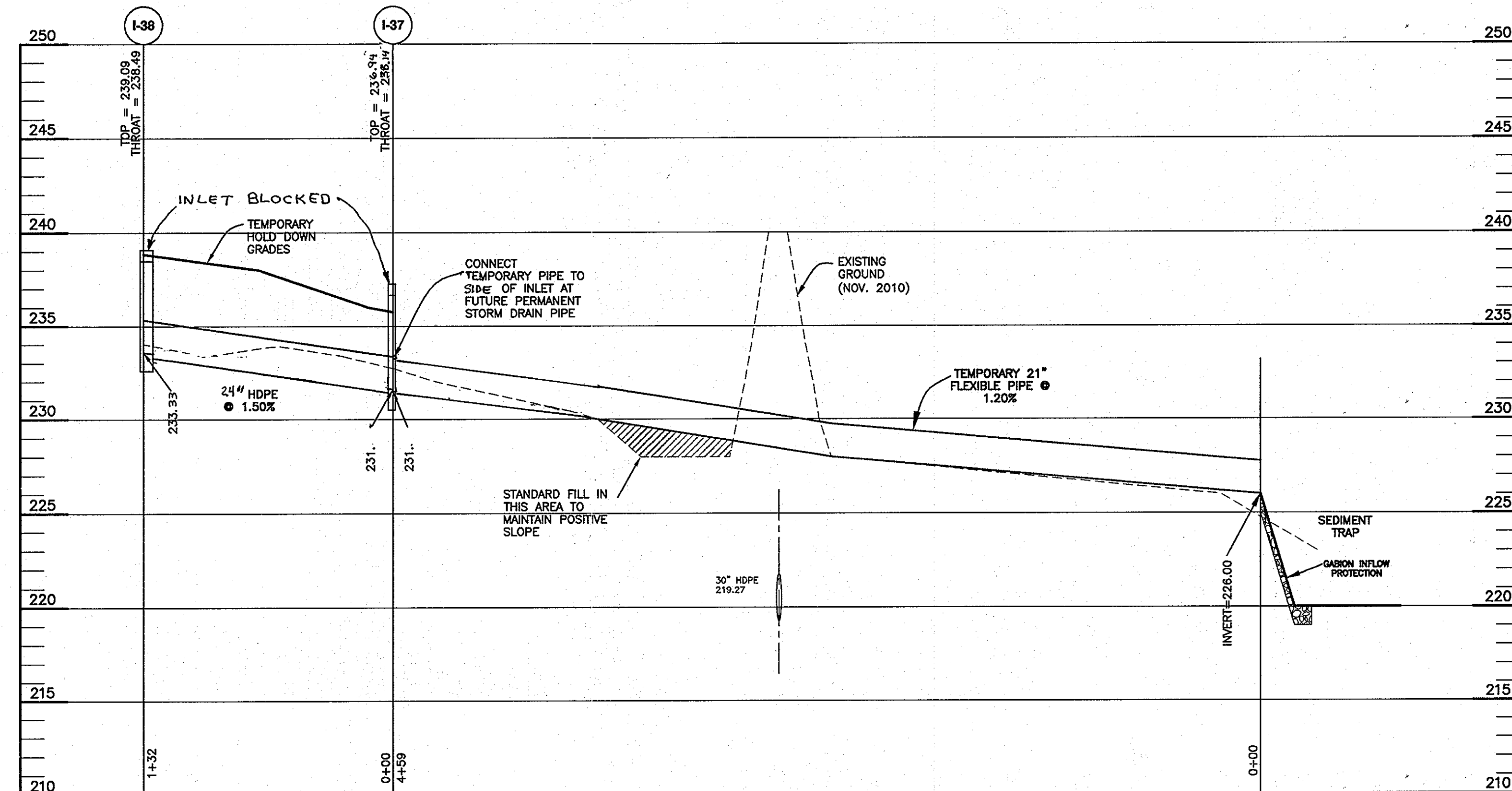
1 8-30-2011 REVISE STORM DRAINS AND ADJUST PLANS ACCORDINGLY NO. DATE REVISION	
<b>BENCHMARK</b> <b>ENGINEERING, INC.</b> 8480 BALTIMORE NATIONAL PIKE A SUITE 418 & ELKJUD CITY, MARYLAND 21043 (P) 410-465-8105 (F) 410-465-8944 60 THOMAS JOHNSON DRIVE & FREDERICK, MARYLAND 21702 (P) 301-371-3505 (F) 301-371-3506 WWW.BE-CHALLENGINGENGINEERING.COM	
DEVELOPER/OWNER: <b>ATAPCO HOWARD SQUARE II</b> STATUTORY TRUST 10 E. Baltimore St. Suite 1600 Baltimore, MD 21202 (410) 347-7189	
<b>HOWARD SQUARE</b> PHASE 1, SECTION 3A LOTS 45-101 AND OPEN SPACE LOT 102 57 TOWNHOUSE UNITS ON FEE-SIMPLE LOTS TAX MAP: 43 GRID 3 & 9 - PARCEL: A-2 ZONED: CAC-CU ELECTION DISTRICT NO. 1 - HOWARD COUNTY, MARYLAND <b>PRIVATE STORM DRAIN PROFILES</b>	
DATE: APRIL, 2011 DRAFT: MCR/BFC	BEI PROJECT NO. 2337 SCALE: AS SHOWN CHECK: CAM/BFC
SHEET 8 OF 11 SDP-08-078	







**TEMPORARY GRADING PLAN**  
SCALE: 1"=30'



**TEMPORARY PIPING PROFILE**  
SCALE: HORIZONTAL 1"=50' VERTICAL 1"=5'

- NOTES:
1. SEDIMENT CONTROL MEASURES INSTALLED UNDER GP-08-24 AND F-08-013 ARE TO BE UTILIZED
  2. FOR DIMENSION AND ELEVATIONS NOT SHOWN SEE SHEET 2.

**ENGINEER'S CERTIFICATE**

I HEREBY CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

ENGINEER - *Bryan F. Cleary* DATE *4/1/2011*

**OWNER'S CERTIFICATE**

I HAVE CERTIFIED THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

*Jeffrey P. McCormack* DATE *5-3-2011*  
ATAPCO HOWARD SQUARE II STATUTORY TRUST

APPROVED: *John K. Robertson* DATE *6/14/11*  
HOWARD SCD

APPROVED: *William J. P.* DATE *4/26/11*  
CHIEF, DEVELOPMENT ENGINEERING DIVISION

*Kate S. ...* DATE *7/25/11*  
CHIEF, DIVISION OF LAND DEVELOPMENT

*Thomas J. ...* DATE *7/25/11*  
DIRECTOR

NO.	DATE	REVISION
1	8-25-2011	REVISE STORM DRAINS AND ADJUST PLAN ACCORDINGLY

**BENCHMARK ENGINEERING, INC.**  
9480 BALTIMORE NATIONAL PIKE SUITE 418 A ELKLOTT CITY, MARYLAND 21043  
(P) 410-685-8105 (F) 410-465-8844  
60 THOMAS JOHNSON DRIVE A FREDERICK, MARYLAND 21702  
(P) 301-371-3505 (F) 301-371-3506  
WWW.BEI-ENGINEERING.COM

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. *1000047* Expiration Date: 7-22-2011.

**HOWARD SQUARE**  
PHASE 1, SECTION 3A  
LOTS 45-101 AND OPEN SPACE LOT 102  
57 TOWNHOUSE UNITS ON FEE-SIMPLE LOTS  
TAX MAP: 43 GRID 3 & 9 - PARCEL: A-2  
ZONED: CAC-CU  
ELECTION DISTRICT NO. 1 - HOWARD COUNTY, MARYLAND

**TEMPORARY GRADING PLAN**

DEVELOPER/OWNER: ATAPCO HOWARD SQUARE II STATUTORY TRUST  
10 E. Baltimore St. Suite 1600  
Baltimore, MD 21202  
(410) 347-7189

DATE: APRIL, 2011 BEI PROJECT NO. 2337  
SCALE: AS SHOWN SHEET 10 OF 11

DRAFT: MCR/BFC CHECK: CAM/BFC

