

LINE	LENGTH	BEARING
WL1	63.38	N64°13'24"W
WL2	32.75	N45°41'44"W
WL3	42.05	N24°48'18"W
WL4	24.95	N33°50'00"W
WL5	8.02	N04°42'43"E
WL6	7.82	N21°42'42"W
WL7	20.15	N49°53'06"W
WL8	17.25	N04°42'30"W
WL9	17.75	N50°22'44"W
WL10	6.21	N00°37'04"E
WL11	20.94	N57°09'02"W
WL12	4.62	S67°45'58"W
WL13	12.88	S26°53'36"E
WL14	15.86	S50°27'29"E
WL15	14.92	S55°22'19"E
WL16	16.95	S03°48'49"E
WL17	26.98	S32°56'51"E
WL18	29.44	S26°25'59"E
WL19	39.15	S88°49'13"W
WL20	7.69	N64°01'40"W
WL21	11.40	N23°31'41"W
WL22	13.14	N70°24'08"W
WL23	18.59	N65°56'24"W
WL24	5.19	S08°40'14"E
WL25	9.68	S48°36'15"E
WL26	11.14	S75°01'50"E
WL27	12.23	S37°04'13"E
WL28	24.46	S58°28'59"E
WL29	28.15	S30°28'58"E
WL30	12.51	S68°22'35"E
WL31	13.55	N81°42'22"E
WL32	20.07	S68°47'41"E
WL33	27.26	S47°19'17"E
WL34	59.93	S64°07'35"E
WL35	9.59	N59°45'17"E

SITE DEVELOPMENT PLAN ASHTON PROPERTY PARCEL 743 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

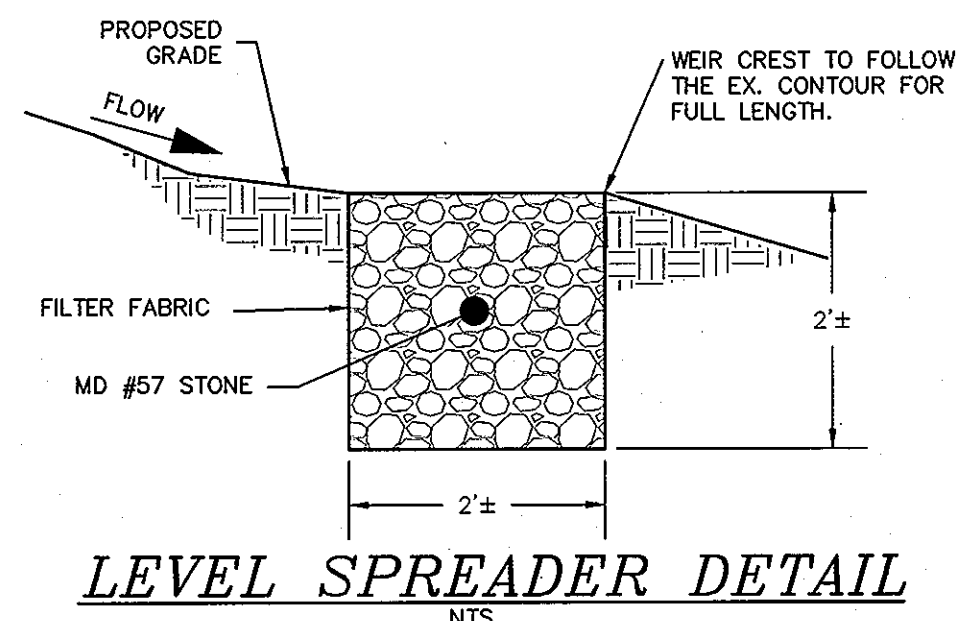
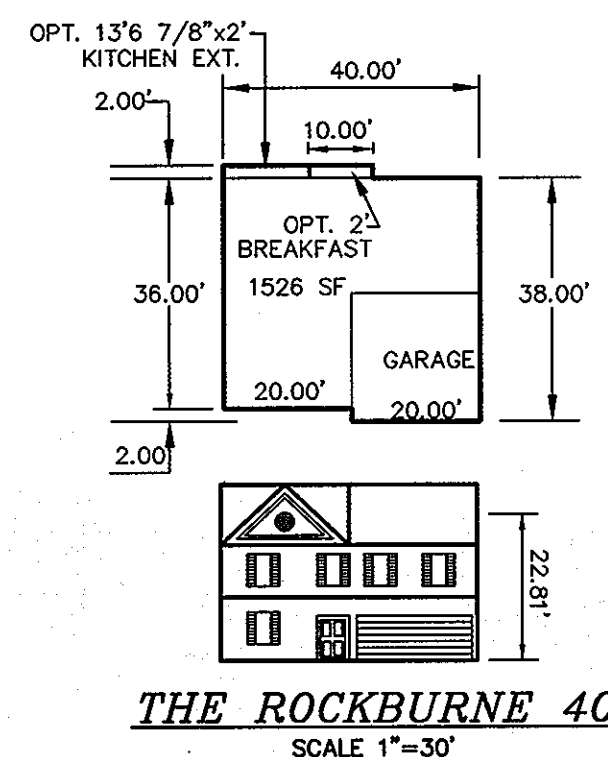
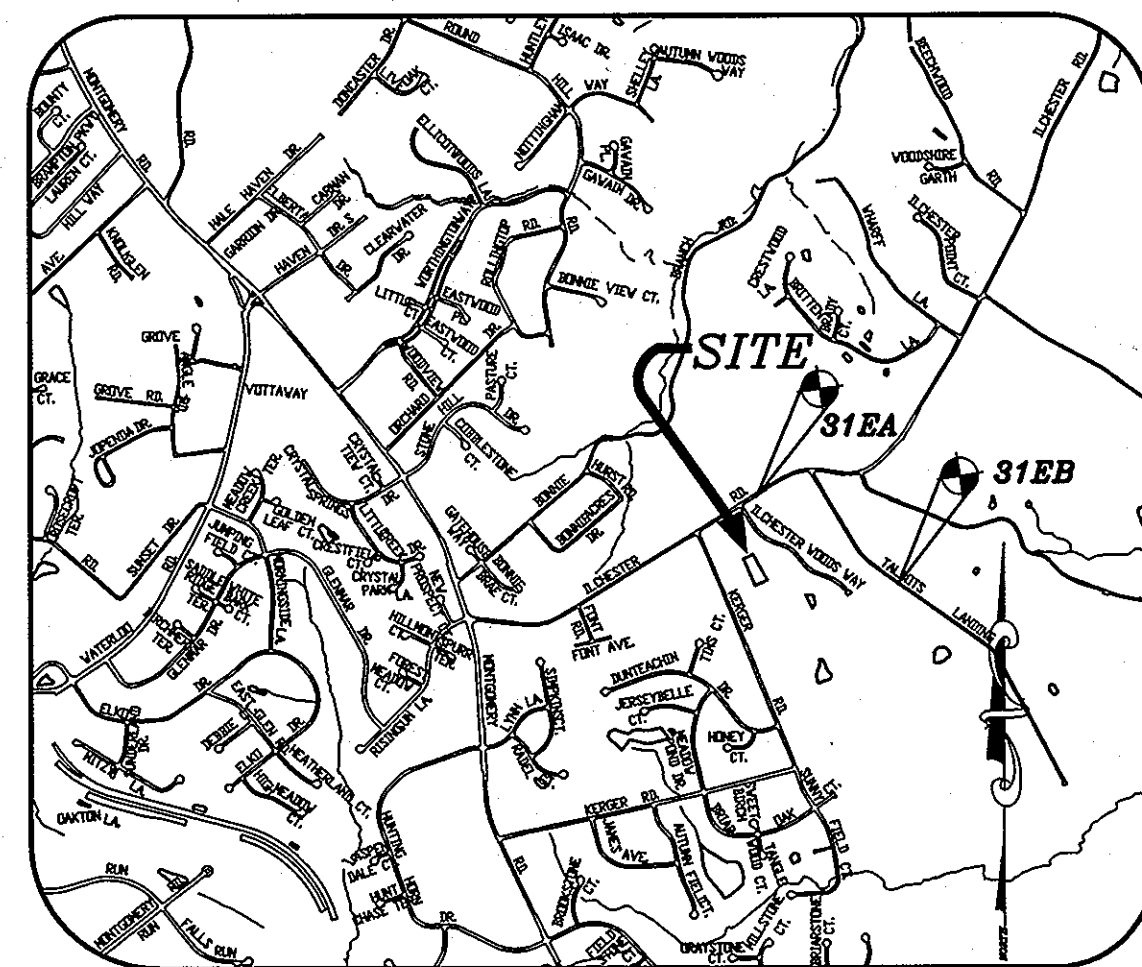
GENERAL NOTES

- SUBJECT PROPERTY IS ZONED R-20 PER THE 02/02/04 COMPREHENSIVE ZONING PLAN AND PER THE "COMP LITE" ZONING REGULATION AMENDMENTS EFFECTIVE 7/28/06.
- SITE ANALYSIS DATA:
TOTAL AREA: 0.83 AC.± ZONING: R-20
LIMIT OF DISTURBED AREA: 0.31 AC.±
PROPOSED USE: SINGLE FAMILY DETACHED.
UNITS PROPOSED: 1 ELECTION DISTRICT: FIRST
TAX MAP: 31 GRID: 15 PARCEL: 743
DPZ FILES: F-07-163
- BOUNDARY AND TOPOGRAPHIC SURVEY SHOWN HEREON IS BASED ON FIELD RUN SURVEY PERFORMED BY MILDENBERG, BOENDER AND ASSOCIATES, INC. ON AUGUST 2006.
- COORDINATES BASED ON NAD '83 (HORIZONTAL) AND NGVD '29 (VERTICAL) MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS
NO. 31EA & 31EB.
STA. No. 31EA N 569,641.1294 E 1,374,816.0275 ELEV. 468.900
STA. No. 30EB N 568,730.9925 E 1,376,273.5708 ELEV. 452.700
- CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES ON SITE PRIOR TO COMMENCING CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/CONSTRUCTION INSPECTIONS DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE (5) DAYS PRIOR TO ANY EXCAVATION WORK:
MISS UTILITY 1-800-257-7777
VERIZON TELEPHONE COMPANY (410) 725-9978
HOWARD COUNTY BUREAU OF UTILITIES (410) 313-4900
AT&T CABLE LOCATION DIVISION (410) 393-3533
BALTIMORE GAS & ELECTRIC (410) 685-0123
STATE HIGHWAY ADMINISTRATION (410) 531-5533
HOWARD COUNTY DEPT. OF PUBLIC WORKS/ CONSTRUCTION INSPECTION DIVISION (410) 313-1880
- IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
- THIS SUBDIVISION IS IN THE METROPOLITAN DISTRICT.
- NO BURIAL GROUNDS OR CEMETERIES EXIST ON-SITE.
- THERE ARE NO STEEP SLOPES (25% OR GREATER) ON PARCEL 743.
- NO HISTORIC DISTRICTS ARE ADJACENT TO THIS SITE. SITE IS NOT ADJACENT TO A DESIGNATED SCENIC ROAD.
- NO FLOODPLAINS EXIST ON-SITE.
- WETLANDS EXISTING ONSITE AND LOCATED PER A FIELD INSPECTION AND CERTIFICATION PROVIDED BY HILLIS-CARNES DATED JUNE 10, 2008.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLING TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
A) WIDTH - 12 FEET (16 FEET SERVING MORE THAN ONE RESIDENCE).
B) SURFACE - 6 INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1.5" MIN.).
C) GEOMETRY - MAXIMUM 14% GRADE, MAXIMUM 10% GRADE CHANGE AND MINIMUM OF 45-FOOT TURNING RADIUS.
D) STRUCTURES (CULVERT/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING).
E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.
F) STRUCTURE CLEARANCES - MINIMUM 12 FEET
G) MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE.
- THIS SITE DEVELOPMENT PLAN IS SUBJECT TO THE AMENDED 5TH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE ZONING REGULATIONS AS AMENDED UNDER COUNCIL BILL # 75-2003. DEVELOPMENT OR CONSTRUCTION ON THESE LOTS MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, WAIVER PETITION APPLICATION OR BUILDING/GRADING PERMIT.
- PERIMETER LANDSCAPING FOR PARCEL 743 IS PROVIDED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING (7 SHADE, 30 EVERGREEN TREES) IN THE AMOUNT OF \$6,600.00 WILL BE POSTED WITH THE DEVELOPER'S AGREEMENT.
- THIS SITE IS EXEMPT FROM FOREST CONSERVATION PER HOWARD COUNTY SUBDIVISION REGULATIONS PER SECTION 16.1202.(b),(i). THE SITE IS LESS THAN 40,000 SQ.FT.
- AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREWITH LISTED AND APPROVED FOR THIS SITE, SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.
- NO CLEARING OF EXISTING VEGETATION IS PERMITTED WITHIN THE LANDSCAPED EDGE; HOWEVER, LANDSCAPE MAINTENANCE IS AUTHORIZED.
- NO GRADING OR REMOVAL OF VEGETATIVE COVER OR TREES OR PLACEMENT OF NEW STRUCTURES IS PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS OR THEIR BUFFERS, UNLESS DISTURBANCE IS DETERMINED TO BE ESSENTIAL BY DEVELOPMENT ENGINEERING DIVISION. WP-08-068 WAS WITHDRAWN, REQUESTING A WAIVER FROM THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION 16.116.(c)(1) - WHICH DOES NOT PERMIT ANY GRADING, REMOVAL OF VEGETATIVE COVER AND TREES, PAVING, AND NEW STRUCTURES WITHIN 25' OF A WETLAND IN ANY ZONING DISTRICT.
- SHOULD ANY TREE DESIGNATED FOR PRESERVATION, FOR WHICH LANDSCAPING CREDIT IS GIVEN, DIE PRIOR TO RELEASE OF BONDS, THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT SPECIES OR WITH A TREE WHICH WILL OBTAIN THE SAME HEIGHT, SPREAD, AND GROWTH CHARACTERISTICS. THE REPLACEMENT TREE MUST BE A MINIMUM OF 2 1/2 TO 3 INCHES IN CALIPER AND INSTALLED AS REQUIRED IN THE LANDSCAPE MANUAL.
- DRIVEWAY APRON SHALL MEET HOWARD COUNTY STANDARD DETAIL R-6.05.
- STORMWATER MANAGEMENT IS PROVIDED WITH THE USE OF ROOFTOP DISCONNECTION CREDITS, NON-ROOFTOP DISCONNECTION CREDITS AND GRASS CHANNEL CREDITS.
- AREAS SHOWN HEREON ARE MORE OR LESS.
- WATER AND SEWER SERVICE WILL BE GRANTED UNDER THE PROVISIONS OF SECTION 18.122B OF THE HOWARD COUNTY CODE. PUBLIC WATER AND SEWER ALLOCATION WILL BE GRANTED AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT IF CAPACITY IS AVAILABLE AT THAT TIME. ACCESS TO WATER BEEN PROVIDED UNDER CONTRACT 266-W ACCESS TO SEWER HAS BEEN PROVIDED UNDER CONTRACT 14-1900-D.
- INGRESS/EGRESS ACCESS EASEMENT APPROVED UNDER F-07-163, PLAT #19085.
- MOE TRACKING PERMIT NUMBER: 200808048/08-NT-3067.
- ANY DAMAGE TO HOWARD COUNTY RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
- THE SUBJECT PLAN IS FOR DEVELOPMENT OF A DEEDED PROPERTY WHICH DOESN'T PROHIBIT DEVELOPMENT WITHIN THE ENVIRONMENTAL BUFFERS PROVIDED THE DESIGN MINIMIZES DISTURBANCES WITHIN WETLANDS AND STREAM BUFFERS PER SECTION 16.116(c) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- THIS DEVELOPMENT IS DESIGNED TO BE IN ACCORDANCE WITH SECTION 16.127-RESIDENTIAL INFILL DEVELOPMENT OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. THE DEVELOPER OF THIS PROJECT SHALL CREATE COMPATIBILITY WITH THE EXISTING NEIGHBORHOOD THROUGH THE USE OF ENHANCED PERIMETER LANDSCAPING, BERMS, FENCES, SIMILAR HOUSING UNIT TYPES AND THE DIRECTIONAL ORIENTATION OF THE PROPOSED HOUSES.

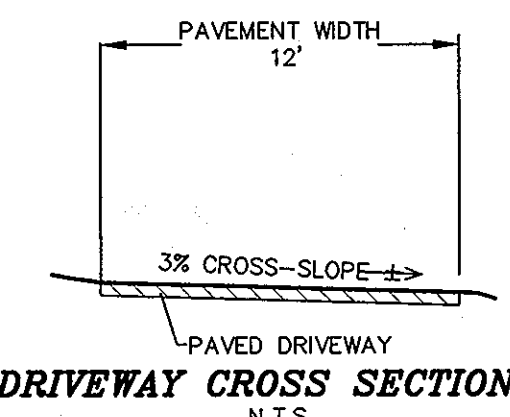
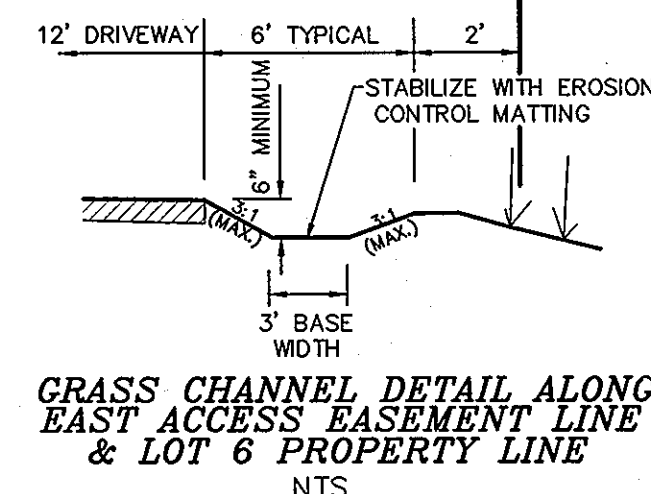
THE CONTRACTOR WILL INSTALL AN UNDERDRAIN OR FRENCH DRAIN BELOW THE BASEMENT ELEVATION.

LEGEND

	STABILIZED CONSTRUCTION ENTRANCE
	PERIMETER LANDSCAPE EDGE
	SILT FENCE
	EROSION CONTROL MATTING
	LIMIT OF DISTURBANCE
	DENOTES PUBLIC SEWER & UTILITY EASEMENT
	DENOTES WETLANDS
	DENOTES PUBLIC DRAINAGE & UTILITY EASEMENT
	EXISTING TREE
	SCREENING LANDSCAPING 1-EVERGREEN, 2-SHRUBS
	SHADE TREE



SPECIFICATIONS:
THE TOP OF THE STONE ELEVATION FOR EACH DEVICE SHALL BE LEVEL FOR ITS ENTIRE LENGTH.
THE LOW SIDE OF THE DEVICE SHALL TYPICALLY BE INSTALLED AT THE LIMITS OF THE LOD.
IF THE DRAINAGE AREA ABOVE THE SPREADER IS NOT STABILIZED AND WITH THE PERMISSION OF THE INSPECTOR, FILTER FABRIC MAY BE EXTENDED FROM THE IN FLOW SIDE AND LAID OVER THE TOP OF THE DEVICE UNTIL THE DRAINAGE AREA IS STABILIZED.



ADDRESS CHART	
LOT/PARCEL NO.	STREET ADDRESS
PARCEL 743	5223 KERGER ROAD

PERMIT INFORMATION CHART				
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL #		
ASHTON PROPERTY	N/A	PARCEL 743		
PLAT # OR L/F	BLOCK #	ZONE	TAX MAP	ELEC. DIST.
PB.8 P.82	15	R-20	31	FIRST
WATER CODE		SEWER CODE		
G09		215500		
PROPOSED IMPROVEMENTS: CONSTRUCT ROAD, ASSOCIATED GRADING & SEDIMENT CONTROL.				

INDEX OF DRAWINGS	
NO.	DESCRIPTION
1	COVER SHEET
2	SITE DEVELOPMENT PLAN
3	SEDIMENT CONTROL NOTES AND DETAILS

DEVELOPER'S CERTIFICATE
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE (A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT) AND ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE NATURAL RESOURCE CONSERVATION SERVICE.

12/2/08
SIGNATURE OF DEVELOPER
R. JACOB HIKMAT, AUTHORIZED MEMBER, ASHTON COMMUNITY, LLC.
PRINTED NAME OF DEVELOPER

ENGINEER'S CERTIFICATE
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND FEASIBLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.

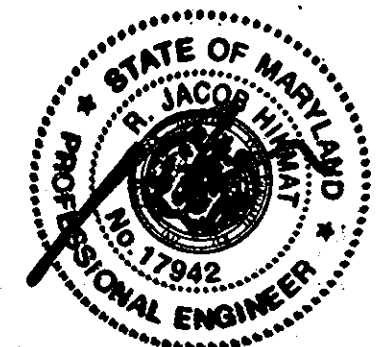
12/6/08
SIGNATURE OF ENGINEER
R. JACOB HIKMAT
PRINTED NAME OF ENGINEER

12/18/08
HOWARD SOIL CONSERVATION DISTRICT
APPROVED: DEPARTMENT OF PLANNING AND ZONING

1/6/9
DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION NY
1/9/09
DATE
CHIEF, DIVISION OF LAND DEVELOPMENT
1/9/09
DATE
DIRECTOR, DEP.

I hereby certify that these documents were prepared or approved by me and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 17942, Exp Date 9/31/10

OWNER/DEVELOPER
ASHTON COMMUNITY LLC
C/O R. JACOB HIKMAT
5072 DORSEY HALL DRIVE #202
ELLICOTT CITY, MD 21042
(410) 997-0296



date	DEC 2008	engineering	JJO/MMM	approval	RJH
project	08-012	illustration	JJO/MMM	scale	1" = 30'

no.	description	date

ASHTON PROPERTY
PARCEL 743 - SINGLE FAMILY DETACHED DWELLING
TAX MAP 31 - PARCEL 743
FIRST ELECTION DISTRICT - HOWARD COUNTY, MARYLAND
COVER SHEET

MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland, 21042
(410) 997-0296 Fax

SCHEDULE A : PERIMETER LANDSCAPED EDGE

CATEGORY	ADJACENT TO PERIMETER PROPERTIES					DRIVEWAY	TOTAL
LANDSCAPE TYPE	A (PERIMETER 1)	A (PERIMETER 2)	A (PERIMETER 3)	A (PERIMETER 4)	D (PERIMETER 5)		
LINEAR FEET OF PERIMETER	300 LF	98 LF	297 LF	145 LF	297 LF		
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET)	YES * 3 SHADE TREES	YES ** 2 SHADE TREES	YES *** 5 SHADE TREE	YES **** 2 SHADE TREE	NO		12 SHADE TREE
NUMBER OF PLANTS REQUIRED							
SHADE TREES	5 SHADE TREES	2 SHADE TREES	5 SHADE TREES	2 SHADE TREES	5 SHADE TREES		19 SHADE TREE
EVERGREEN TREES	0 EVERGREEN TREES	0 EVERGREEN TREES	0 EVERGREEN TREES	0 EVERGREEN TREES	30 EVERGREEN TREES		30 EVERGREEN TREES
SHRUBS	0 SHRUBS	0 SHRUBS	0 SHRUBS	0 SHRUBS	0 SHRUBS		0 SHRUBS
NUMBER OF PLANTS PROVIDED							
SHADE TREES	2 SHADE TREES	0 SHADE TREES	0 SHADE TREES	0 SHADE TREES	5 SHADE TREES		7 SHADE TREE
EVERGREEN TREES	0 EVERGREEN TREES	0 EVERGREEN TREES	0 EVERGREEN TREES	0 EVERGREEN TREES	30 EVERGREEN TREES		30 EVERGREEN TREES
SHRUBS	0 SHRUBS	0 SHRUBS	0 SHRUBS	0 SHRUBS	0 SHRUBS		0 SHRUBS

- * - 15" MAPLE & 14", 38" POPLAR
- ** - 14" MAPLE & 34" POPLAR
- *** - 12", 14", 14", 18" & 27" MAPLE
- **** - 14" & 20" OAK

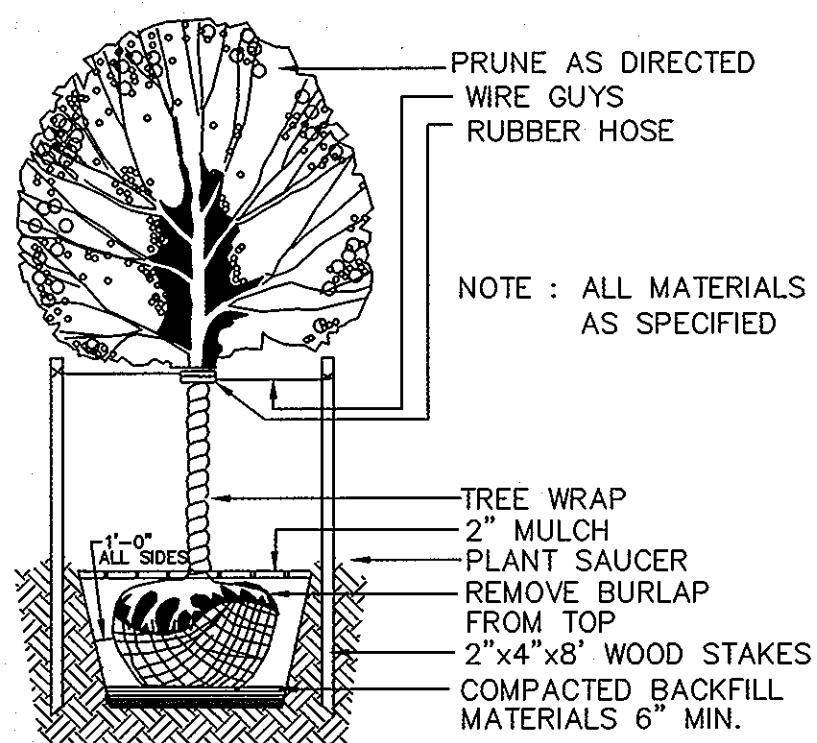
LANDSCAPE REQUIREMENT PLANTING SCHEDULE

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
7		ACER SACCHARUM	GREEN MOUNTAIN SUGAR MAPLE	2 1/2" - 3" CAL.
30		PICEA ABIES	NORWAY SPRUCE	6' - 8' HT.

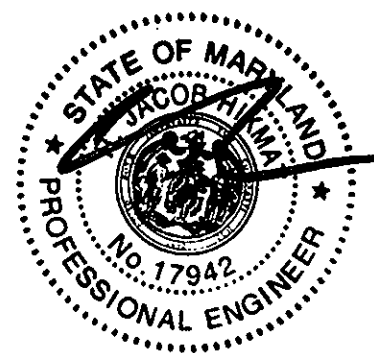
TOTAL
37 - 7 SHADE TREES, 30 EVERGREEN

LEGEND

- STABILIZED CONSTRUCTION ENTRANCE
- PERIMETER LANDSCAPE EDGE
- SILT FENCE
- EROSION CONTROL MATTING
- LIMIT OF DISTURBANCE
- DENOTES PUBLIC SEWER & UTILITY EASEMENT
- DENOTES WETLANDS
- DENOTES PUBLIC DRAINAGE & UTILITY EASEMENT
- EXISTING TREE
- SHADE TREE



TYPICAL DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE



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ASHTON COMMUNITY LLC
C/O R. JACOB HIKMAT
5072 DORSEY HALL DRIVE #202
ELICOTT CITY, MD 21042
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DEVELOPER'S CERTIFICATE
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO PREFER PERIODIC ON-SITE INSPECTION BY THE NATURAL RESOURCE CONSERVATION SERVICE.

12/8/08
SIGNATURE OF DEVELOPER _____ DATE
R. JACOB HIKMAT, AUTHORIZED MEMBER, ASHTON COMMUNITY, LLC.
PRINTED NAME OF DEVELOPER

ENGINEER'S CERTIFICATE
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.

12/8/08
SIGNATURE OF ENGINEER _____ DATE
R. JACOB HIKMAT
PRINTED NAME OF ENGINEER

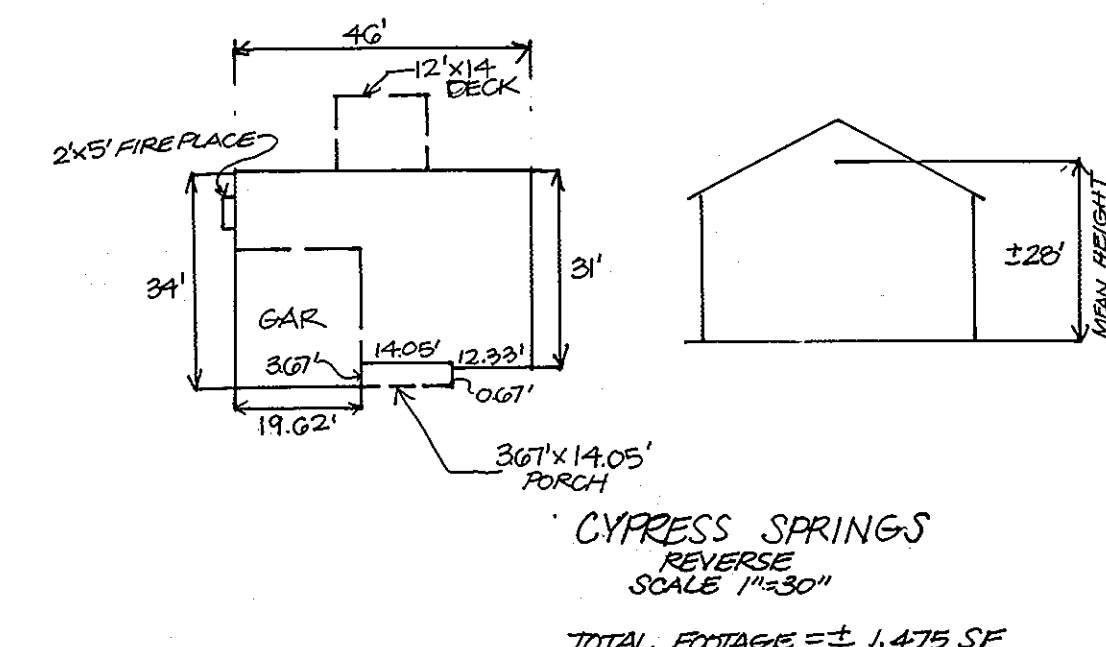
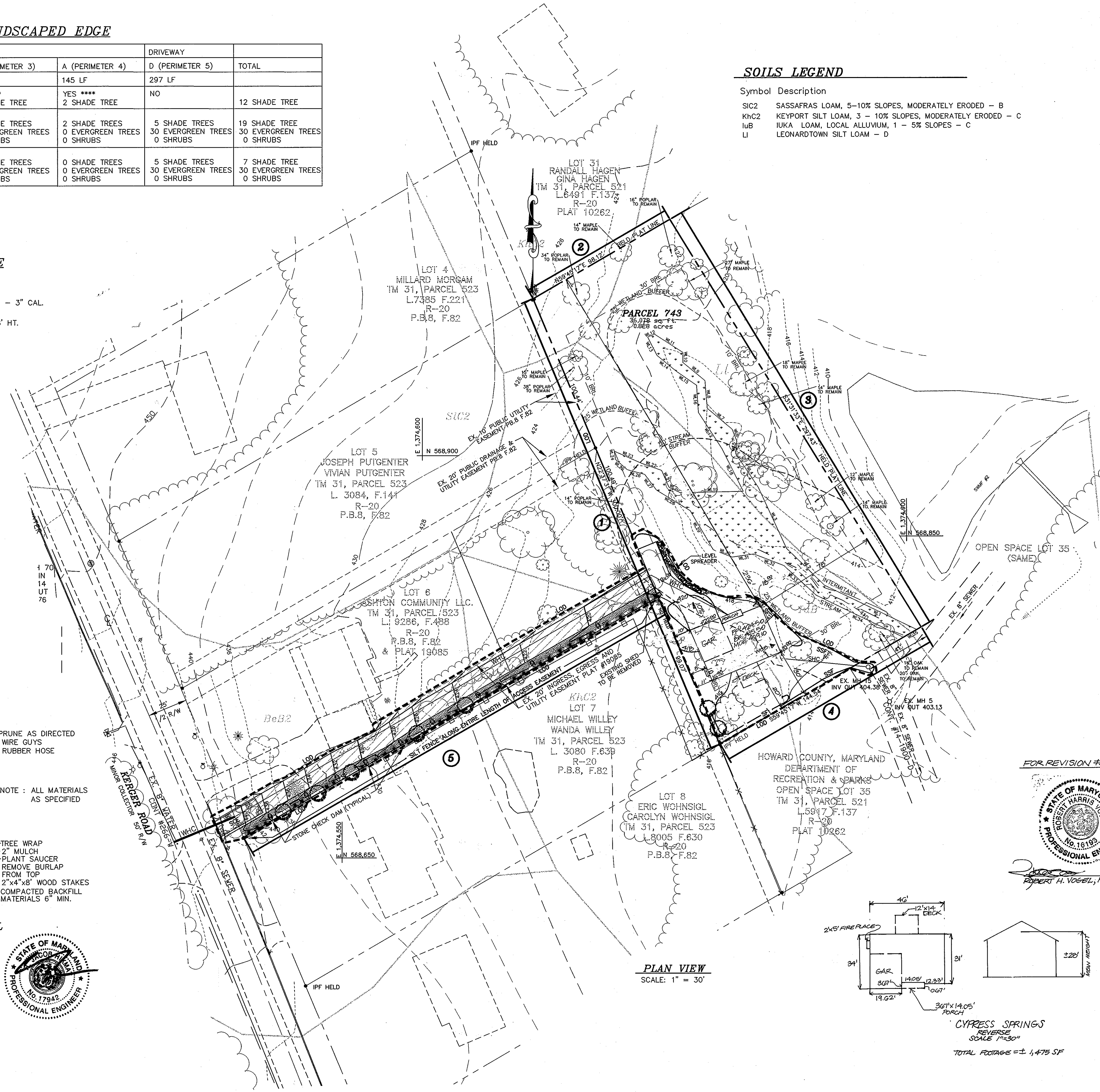
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

12/10/08
HOWARD COUNTY SOIL CONSERVATION DISTRICT DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
1-6-9
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
1/9/09
CHIEF, DIVISION OF LAND DEVELOPMENT DATE
1/9/09
DIRECTOR, DEP. DATE

SOILS LEGEND

- Symbol Description
- SIC2 SASSAFRAS LOAM, 5-10% SLOPES, MODERATELY ERODED - B
 - KHC2 KEYPORT SILT LOAM, 3 - 10% SLOPES, MODERATELY ERODED - C
 - luB IUKA LOAM, LOCAL ALLUVIUM, 1 - 5% SLOPES - C
 - LI LEONARDTOWN SILT LOAM - D



Project	05012	date	SBP-2008
Illustration	JJO/MMM	engineering	engineering
scale	1"=90'	JJO/MMM	JJO/MMM
description		approval	approval
revisions			

no.	6/8/09	date	
description			
revisions			

ASHTON PROPERTY SINGLE FAMILY DETACHED DWELLING
PARCEL 743 - TAX MAP 31 PARCEL 743
HOWARD COUNTY
FIRST ELECTION DISTRICT
SITE DEVELOPMENT PLAN

MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland 21042
(410) 997-0296 Fax

HOWARD SOIL CONSERVATION DISTRICT

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-TERMED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:

- PREFERRED - APPLY 2 TONS PER ACRES DOLOMITIC LIMESTONE (92 LBS./1000 SQ.FT.) AND 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISK INTO UPPER THREE INCHES OF SOIL. AT TIME OF SEEDING, APPLY 400 LBS. PER ACRE 30-0-0 UREAFORM FERTILIZER (9 LBS./1000 SQ.FT.).
- ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS./1000 SQ.FT.) AND 1000 LBS. PER ACRE 10-10-10 FERTILIZER (23 LBS./1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISK INTO UPPER THREE INCHES OF SOIL.

SEEDING - FOR THE PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU OCTOBER 15, SEED WITH 60 LBS. PER ACRE 1.4 LBS./1000 SQ.FT.) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31, SEED WITH 60 LBS. KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS. PER ACRE (.05 LBS./1000 SQ.FT.) OF WEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY: OPTION (1) - 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) - USE SOD. OPTION (3) - SEED WITH 60 LBS./ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELL ANCHORED STRAW.

MULCHING - APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS./1000 SQ.FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL/1000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL/1000 SQ.FT.) FOR ANCHORING.

MAINTENANCE - INSPECT ALL SEEDING AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

TEMPORARY SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHEN A SHORT-TERM VEGETATIVE COVER IS NEEDED. SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, FOR NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS: APPLY 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ.FT.)

SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30 AND FROM AUGUST 15 THRU OCTOBER 15, SEED WITH 2-1/2 BUSHEL PER ACRE OF ANNUAL RYE (3.2 LBS./1000 SQ.FT.) FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS. PER ACRE OF WEEPING LOVEGRASS (.07 LBS./1000 SQ.FT.). FOR THE PERIOD NOVEMBER 16 THRU NOVEMBER 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOD.

MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS./1000 SQ.FT.) OF UNROTTED WEED FREE SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GAL PER ACRE (5 GAL/1000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FEET OR HIGHER, USE 348 GAL PER ACRE (8 GAL/1000 SQ.FT.) FOR ANCHORING.

REFER TO THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR ADDITIONAL RATES AND METHODS NOT COVERED.

STANDARD SEDIMENT CONTROL NOTES

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF MAY CONSTRUCTION, (313-1855).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT "MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", AND REVISIONS THERETO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1, B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 7, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1991 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING (SEC.51), SOD (SEC. 54), TEMPORARY SEEDING (SEC. 50) AND MULCHING (SEC.52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

SITE ANALYSIS:	
TOTAL AREA OF SITE:	0.828 ACRES
AREA DISTURBED:	0.288 ACRES
AREA TO BE ROOFED OR PAVED:	0.146 ACRES
AREA TO BE VEGETATIVELY STABILIZED:	0.142 ACRES
TOTAL CUT:	350 CU. YDS.
TOTAL FILL:	350 CU. YDS.
TOTAL WASTE/BORROW AREA LOCATION:	N/A

THESE QUANTITIES ARE FOR PERMIT PURPOSES ONLY.
CONTRACTOR IS REQUIRED TO PROVIDE HIS OWN QUANTITY MEASUREMENTS.

- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN BE BACK FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.

STANDARD AND SPECIFICATIONS FOR TOPSOIL

DEFINITION

PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

PURPOSE

TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

CONDITIONS WHERE PRACTICE APPLIES

- THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:
 - THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.
 - THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.
 - THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
 - THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.
- FOR THE PURPOSE OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION. AREAS HAVING SLOPES STEEPER THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE PLANS.

CONSTRUCTION AND MATERIAL SPECIFICATIONS

- TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATION. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.
- TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:
 - TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 1/2" IN DIAMETER.
 - TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACKGRASS, JOHNSON-GRASS, NUTSEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.
 - WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.
- FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES:
 - PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS.
 - FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES:
 - ON SOIL MEETING TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS DICTATING FERTILIZER AND LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING:
 - pH FOR TOPSOILS SHALL BE BETWEEN 6.0 AND 7.5. IF THE TESTED SOIL DEMONSTRATES A pH OF LESS THAN 6.0, SUFFICIENT LIME SHALL BE PRESCRIBED TO RAISE THE pH TO 6.5 OR HIGHER.
 - ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 1.5 PERCENT BY WEIGHT.
 - TOPSOIL HAVING SOLUBLE SALT CONTENT GREATER THAN 500 PARTS PER MILLION SHALL NOT BE USED.
 - NO SOD OR SEED SHALL BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.
 - NOTE: TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL.
 - PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS.

- TOPSOIL APPLICATION
 - WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS.
 - GRADES ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE MAINTAINED, ALBERT 4" - 8" HIGHER IN ELEVATION.
 - TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4" TO 8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
 - TOPSOIL SHALL NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDING PREPARATION.

- ALTERNATIVE FOR PERMANENT SEEDING - INSTEAD OF APPLYING THE FULL AMOUNTS OF LIME AND COMMERCIAL FERTILIZER, COMPOSTED SLUDGE AND AMENDMENTS MAY BE APPLIED AS SPECIFIED BELOW.
 - COMPOSTED SLUDGE MATERIAL FOR USE AS A SOIL CONDITIONER FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES SHALL BE TESTED TO PRESCRIBE AMENDMENTS AND FOR SITES HAVING AREAS UNDER 5 ACRES SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:
 - COMPOSTED SLUDGE SHALL BE SUPPLIED BY, OR ORIGINATE FROM, A PERSON OR PERSONS WHO ARE PERMITTED (AT THE TIME OF ACQUISITION OF THE COMPOST) BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT UNDER COMAR 26.04.06.
 - COMPOSTED SLUDGE SHALL CONTAIN AT LEAST 1 PERCENT NITROGEN, 1.5 PERCENT PHOSPHOROUS, AND 0.2 PERCENT POTASSIUM AND HAVE A PH OF 7.0 TO 8.0. IF COMPOST DOES NOT MEET THESE REQUIREMENTS, THE APPROPRIATE CONSTITUENTS MUST BE ADDED TO MEET THE REQUIREMENTS PRIOR TO USE.
 - COMPOSTED SLUDGE SHALL BE APPLIED AT A RATE OF 1 TON/1,000 SQUARE FEET.
 - COMPOSTED SLUDGE SHALL BE AMENDED WITH A POTASSIUM FERTILIZER APPLIED AT THE RATE OF 4 LB/1,000 SQUARE FEET, AND 1/3 THE NORMAL LIME APPLICATION RATE.

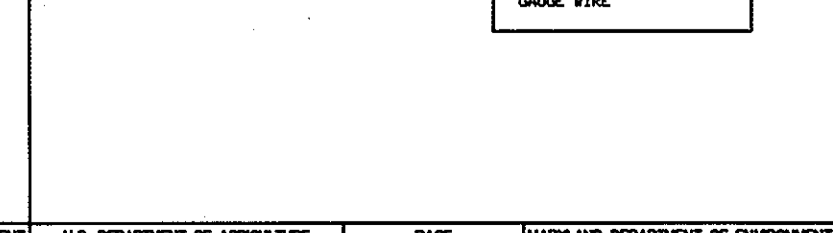
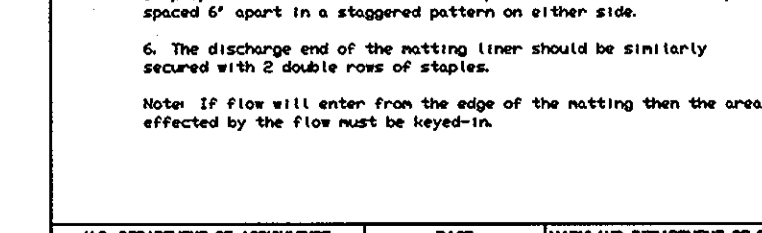
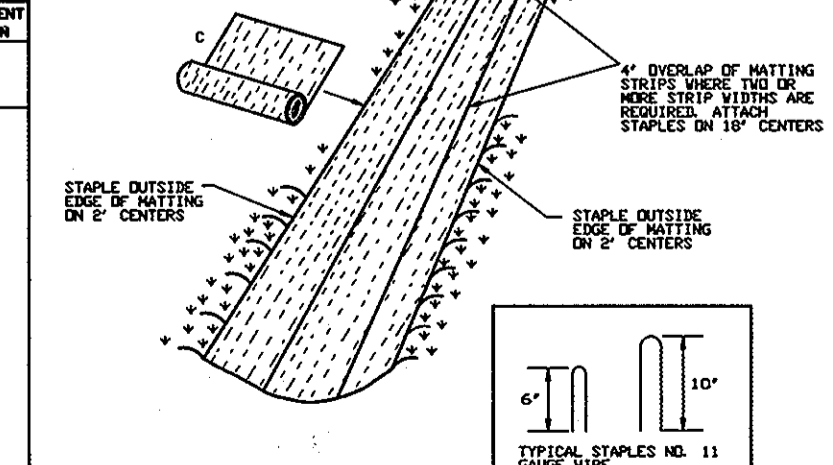
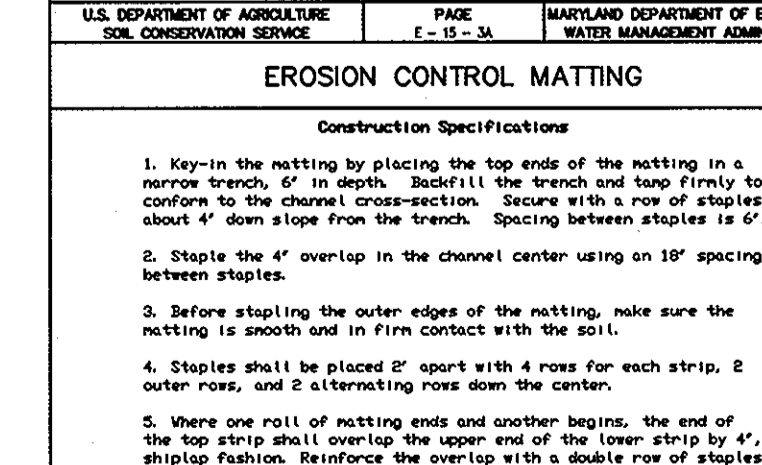
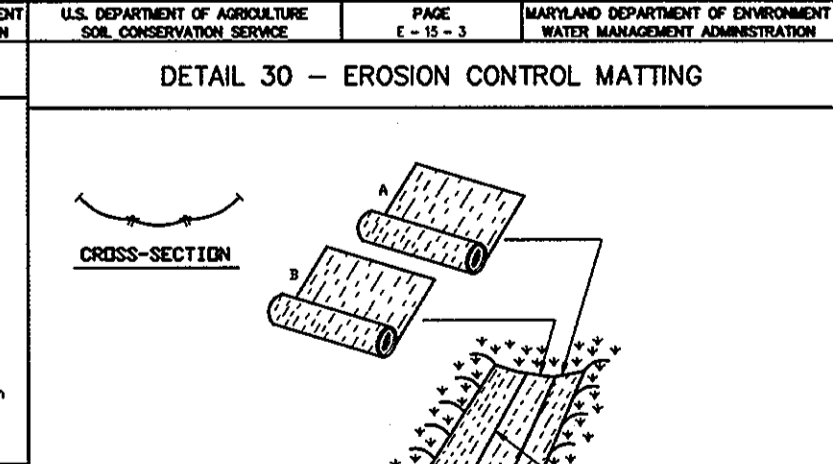
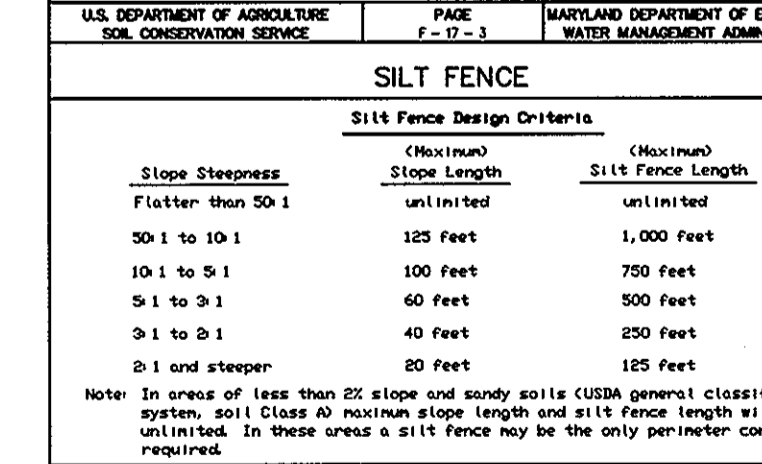
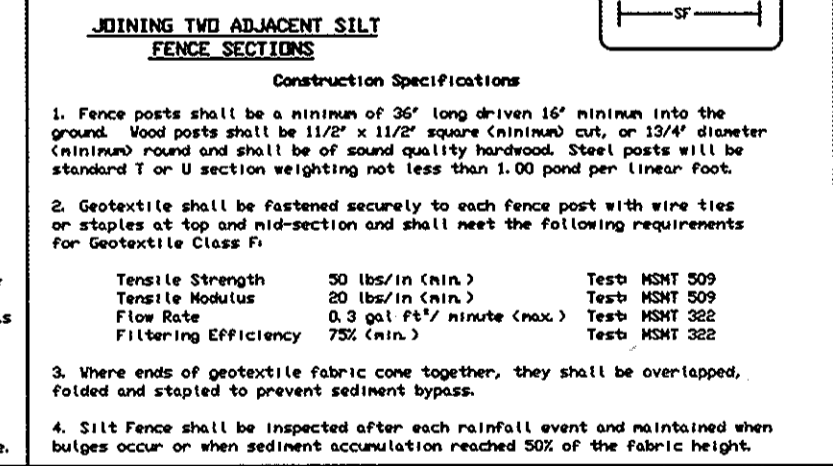
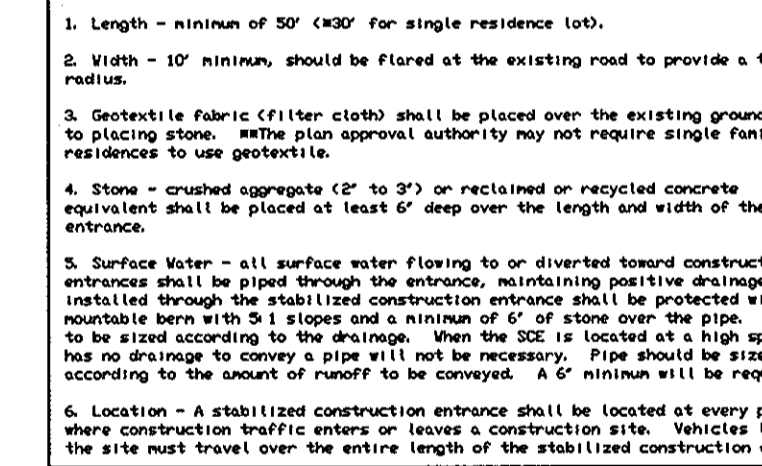
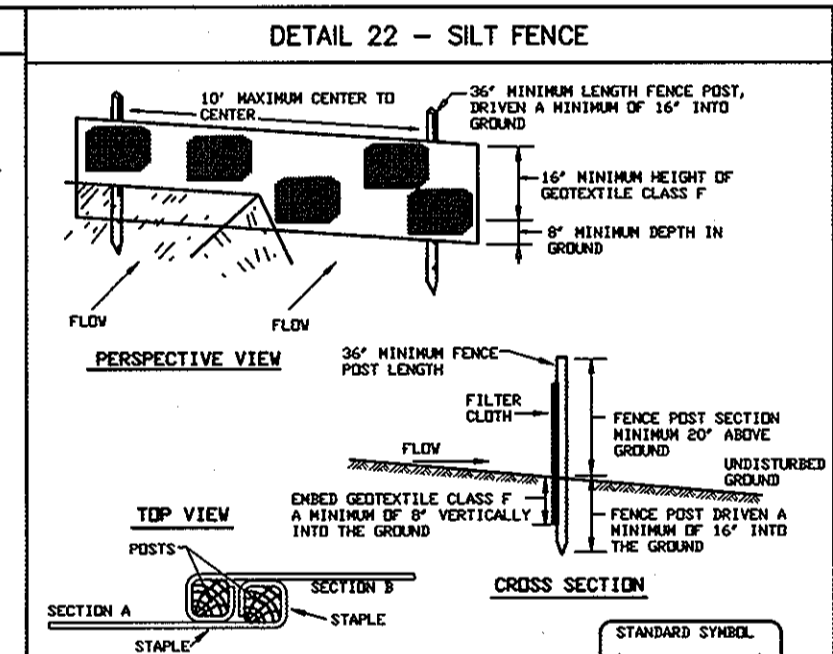
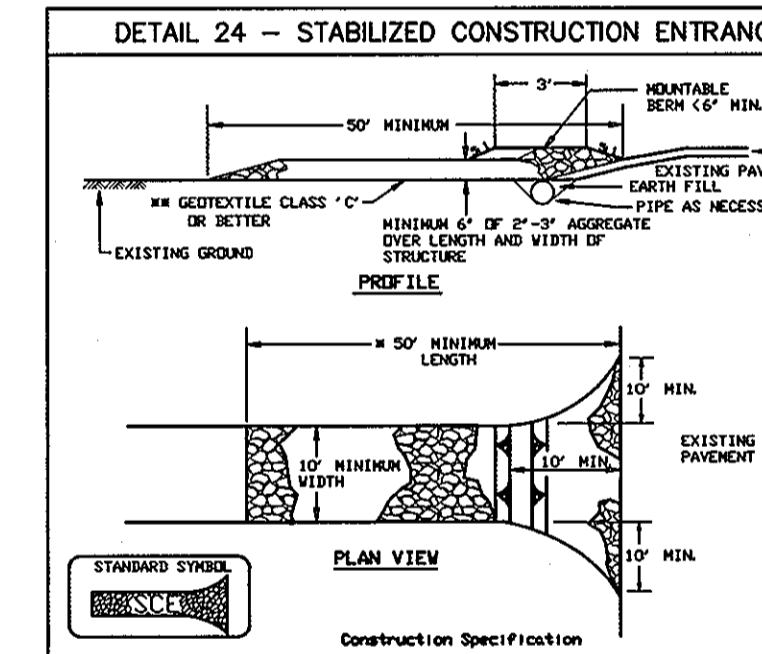
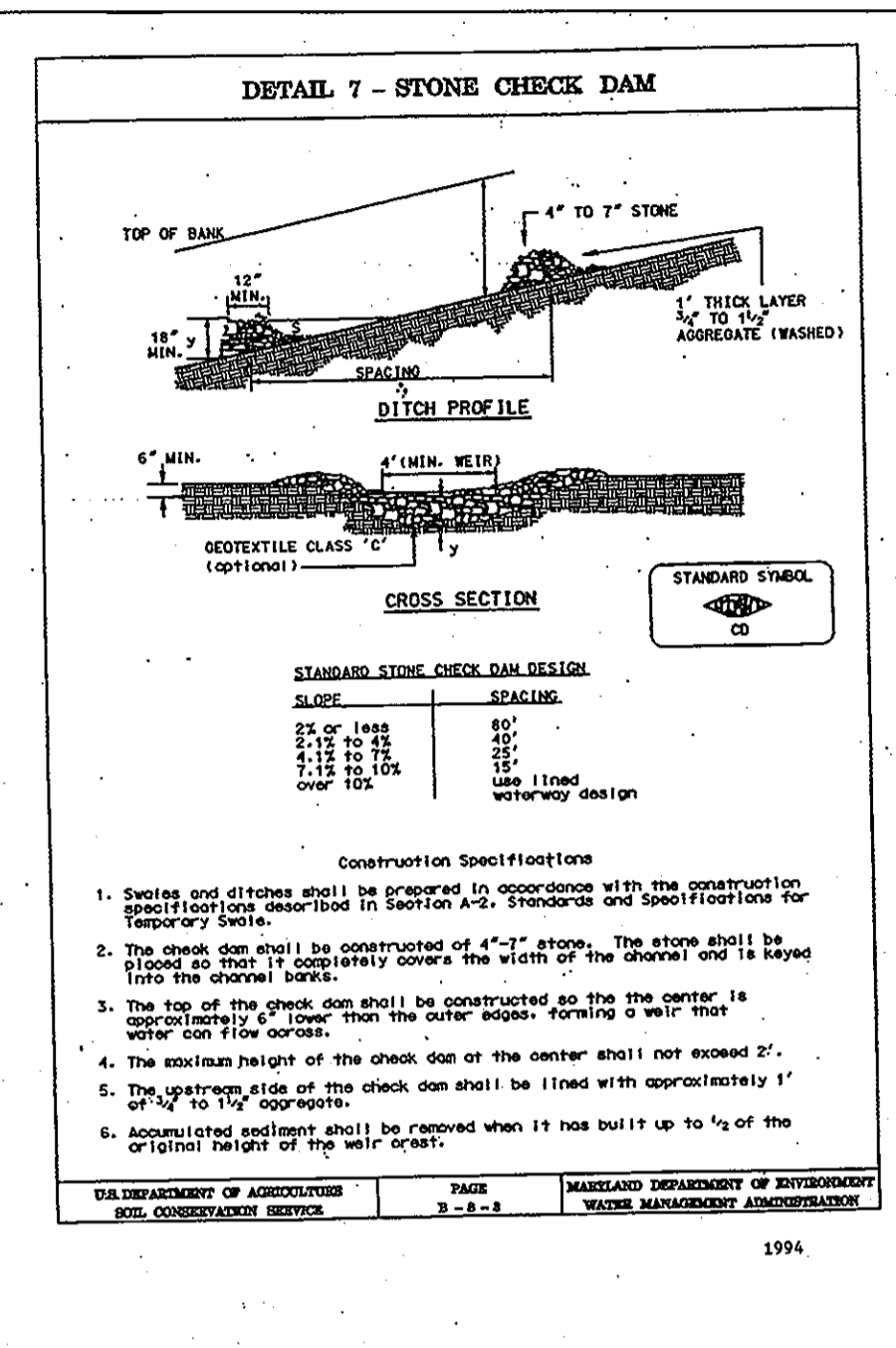
REFERENCES: GUIDELINE SPECIFICATIONS, SOIL PREPARATION AND SODDING. MD-VA, PUB. #1, COOPERATIVE EXTENSION SERVICE, UNIVERSITY OF MARYLAND AND VIRGINIA POLYTECHNIC INSTITUTES. REVISED 1973.

TEMPORARY DUST CONTROL MEASURES

- MULCHES - SEE STANDARDS FOR VEGETATIVE STABILIZATION WITH MULCHES ONLY. MULCH SHOULD BE CRIMPED OR TACKED TO PREVENT BLOWING.
- VEGETATIVE COVER - SEE STANDARDS FOR TEMPORARY VEGETATIVE COVER.
- TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS AN EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12" APART, SPRING-TOOTHED HARROWS, AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
- IRRIGATION - THIS IS GENERALLY DONE AS AN EMERGENCY TREATMENT. SITE IS SPRINKLED WITH WATER UNTIL THE SURFACE IS MOIST. REPEAT AS NEEDED. AT NO TIME SHOULD THE SITE BE IRRIGATED TO THE POINT THAT RUNOFF BEGINS TO FLOW.
- BARRIERS - SOLID BOARD FENCES, SILT FENCES, SNOW FENCES, BURLAP FENCES, STRAW BALES, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING. BARRIERS PLACED AT RIGHT ANGLES TO PREVAILING CURRENTS AT INTERVALS OF ABOUT 10 TIMES THEIR HEIGHT ARE EFFECTIVE IN CONTROLLING SOIL BLOWING.
- CALCIUM CHLORIDE - APPLY AT RATES THAT WILL KEEP SURFACE MOIST. MAY NEED RETREATMENT.

SEQUENCE OF CONSTRUCTION

- OBTAIN THE REQUIRED GRADING PERMIT.
- INSTALL STABILIZE CONSTRUCTION ENTRANCE SEE DETAIL 24 THIS SHEET. (1 DAY)
- INSTALL SILT FENCES AS INDICATED SEE DETAIL 33. (2 DAYS)
(INSPECT, REPAIR, AND/OR REPLACE SILT FENCE AT THE END OF EACH WORKING DAY)
- WITH PERMISSION OF SEDIMENT CONTROL INSPECTOR BRING SITE TO GRADE INDICATED.
- CONSTRUCT PROPOSED STRUCTURES PER SITE DEVELOPMENT PLAN. (90 DAYS)
- CONSTRUCT PROPOSED DRIVEWAY, SEE DETAIL THIS SHEET. (3 DAYS)
- STABILIZE, SEED & MULCH ALL DISTURBED AREAS IN ACCORDANCE WITH THE PERMANENT SEEDING NOTES SHOWN ON THIS SHEET (2 DAYS).
- WHEN ALL CONTRIBUTING AREAS TO SEDIMENT CONTROL DEVICES HAVE BEEN PERMANENTLY STABILIZED AND AFTER PERMISSION HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR, REMOVE ALL EROSION AND SEDIMENT CONTROL DEVICES (1 DAY).



Project	date	approval
05012	DEC. 2008	RJH
illustration	JJO	NTS
JJO	score	

description	date
revisions	
no.	

ASHTON PROPERTY SINGLE FAMILY DETACHED DWELLING
PARCEL 743 - TAX MAP 31 PARCEL 743
HOWARD COUNTY
FIRST ELECTION DISTRICT
SEDIMENT CONTROL NOTES AND DETAILS

MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland 21042
(410) 997-0296 Fax