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SITE DEVELOPMENT PLAN

Age-Restricted Adult Housing

CHERRYTREE PARK

CONDOMINIUM BUILDINGS 1 THRU 8
BULK PARCEL 'K', PHASES 1 AND 2
 (A RESUBDIVISION OF BULK PARCELS 'I' & 'J', PLAT No. 22516)

ZONED MXD-6

TAX MAP No. 46 PARCEL No. 156 GRID NO. 4

SIXTH ELECTION DISTRICT

HOWARD COUNTY, MARYLAND

STREET SIGN CHART				
STREET NAME	STATION	OFFSET	POSTED SIGN	SIGN CODE
PARKING LOT C	0+40	14' L	STOP	R1-1
PARKING LOT C	1+50	22' R	STOP	R1-1
PARKING LOT B	0+40	14' L	STOP	R1-1
PARKING LOT B	1+50	22' R	STOP	R1-1
PARKING LOT A	0+50	15' L	STOP	R1-1

GENERAL NOTES

- SUBJECT PROPERTY ZONED MXD-6 PER THE 2/2/04 COMPREHENSIVE ZONING PLAN, ZB CASE No. 973M SIGNED ON 10/28/08, ZB CASE No. 1042M SIGNED ON 1/25/09 AND PLANNING BOARD CASE No. 379 SIGNED ON JULY 19, 2007.
- SITE ANALYSIS INFORMATION
 - SUBMISSION NAME: CHERRYTREE PARK
 - TAX MAP NO.: 46
 - PARCEL NO.: 156
 - ZONING DISTRICT: SIXTH
 - ELECTION DISTRICT: SIXTH
 - TOTAL TRACT AREA: 41.078 AC.
 - TOTAL AREA OF THIS SUBMISSION: 7.99 AC.
 - NO. OF CONDOMINIUM UNITS PROPOSED: 128 UNITS
 - PRELIMINARY ENVIRONMENTAL IMPACT STATEMENT: SP-06-017 APPROVED 7/12/07
 - TOTAL NUMBER OF "MODERATELY INCOME HOUSING UNITS" REQUIRED PER SP-06-08 & PB-347 17 UNITS
 - TOTAL NUMBER OF "MODERATELY INCOME HOUSING UNITS" PROVIDED UNDER PHASE 1 (50P-02-111) = 9 UNITS
 - TOTAL NUMBER OF "MODERATELY INCOME HOUSING UNITS" PROVIDED UNDER PHASE 2 (50P-03-52) = 3 UNITS
 - TOTAL NUMBER OF "MODERATELY INCOME HOUSING UNITS" PROVIDED UNDER PHASE 3 (50P-05-22) = 5 UNITS
 - TOTAL NUMBER OF "MODERATELY INCOME HOUSING UNITS" FOR THIS PROJECT = 30 UNITS (17 EXISTING UNITS + 13 NEW UNITS PER THIS SOP).
 - NUMBER OF STRUCTURES EXISTING:
A">
 - 8 SFD RESIDENTIAL LOTS = 10
 - 5 PA RESIDENTIAL LOTS = 160
 - NUMBER AND AREA OF OFFICE/RETAIL BUILDINGS =
A">
 - RETAIL/OFFICE BLDG. AT 18,602 SQ.FT. RETAIL SPACE AND 1 BANK BLDG. AT 3,000 SQ.FT.
 - NUMBER OF STRUCTURES PROPOSED:
A">
 - AGE RESTRICTED ADULT HOUSING UNIT BUILDINGS = 8 BLDGS. WITH 128 CONDOMINIUM UNITS
 - 10% REQUIRED FROM THE TOTAL NUMBER OF UNITS = 13 NEW MHU UNITS PROVIDED BY THIS SOP
 - IN THE MXD-6 ZONING DISTRICT, A DENSITY BONUS OF UP TO 1.25 UNITS PER ACRE IS ALLOWED FOR AGE RESTRICTED ADULT HOUSING UNITS WHICH COMPLY WITH ALL REQUIREMENTS OF THE FOREST CONSERVATION ACT, IN ACCORDANCE WITH SECTION 16.120 OF THE HOWARD COUNTY CODE (CODE ARTICLE 28, § 28-202), THE TOTAL NUMBER OF UNITS ALLOWED FOR THIS PROJECT IS 41,078 ACRES * 8 UNITS PER ACRE = 328 UNITS + 128 BONUS UNITS (1.25 * 41,078) = 1,742 UNITS. TOTAL OF 2,070 UNITS PER ACRE MAX.
 - EXISTING OPEN SPACE = 1.44 AC. PROVIDED = 5.92 AC. 1.522 GENERAL NOTE 23
 - TOTAL OPEN SPACE REQUIRED AND PROVIDED = 14.38 AC. (SEE GENERAL NOTE 23)
 - TOTAL RECREATIONAL OPEN SPACE REQUIRED = 1.44 AC.; PROVIDED = 5.92 AC. 1.522 GENERAL NOTE 23
 - TOTAL AREA OF COMMUNITY CENTER = 2,870 SQ.FT. PROVIDED = 2,781 SQ. FT.
 - EXTERIOR LIGHT FIXTURES SHALL BE LOCATED TO DIRECT LIGHT FRAMES AND DOWNLIGHTS ON-SITE AWAY FROM ALL ADJOINING RESIDENTIAL PROPERTIES AND PUBLIC ROADS IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
 - ALL PROPOSED BUILDINGS WILL HAVE AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM.
 - THE MODERATE INCOME HOUSING UNIT (MIHU) AGREEMENT AND MIHU COVENANTS AS REQUIRED IN ACCORDANCE WITH SECTION 13.002 OF THE HOWARD COUNTY CODE WERE RECORDED IN THE HOWARD COUNTY LAND RECORDS AS LIBER 11340 FOLD 43 ON 10/24/08 AND LIBER 11350 FOLD 51.
 - THE HOWARD COUNTY ZONING REGULATIONS CONTAINING THE AGE RESTRICTION ENFORCEMENT AND MONITORING INFORMATION FOR THIS PROJECT WERE RECORDED AS LIBER 11356 FOLD 054 ON 9/12/08.
 - THE PROPERTY IS WITHIN THE METROPOLITAN DISTRICT.
 - PREVIOUS HOWARD COUNTY FILES: PRELIMINARY DEVELOPMENT PLAN ZB-1042M, SP-06-08, PB-347, F-03-44, F-02-109, F-01-114, F-03-153, F-04-101, F-04-112, SDP-02-111, SDP-03-52, SDP-04-02, SDP-05-22, WP-05-76, PB-379, SP-06-017, SDP-07-021, F-04-101, F-04-112, F-04-113, F-04-114, F-04-115, F-04-116, F-04-117, F-04-118, F-04-119, F-04-120, F-04-121, F-04-122, F-04-123, F-04-124, F-04-125, F-04-126, F-04-127, F-04-128, F-04-129, F-04-130, F-04-131, F-04-132, F-04-133, F-04-134, F-04-135, F-04-136, F-04-137, F-04-138, F-04-139, F-04-140, F-04-141, F-04-142, F-04-143, F-04-144, F-04-145, F-04-146, F-04-147, F-04-148, F-04-149, F-04-150, F-04-151, F-04-152, F-04-153, F-04-154, F-04-155, F-04-156, F-04-157, F-04-158, F-04-159, F-04-160, F-04-161, F-04-162, F-04-163, F-04-164, F-04-165, F-04-166, F-04-167, F-04-168, F-04-169, F-04-170, F-04-171, F-04-172, F-04-173, F-04-174, F-04-175, F-04-176, F-04-177, F-04-178, F-04-179, F-04-180, F-04-181, F-04-182, F-04-183, F-04-184, F-04-185, F-04-186, F-04-187, F-04-188, F-04-189, F-04-190, F-04-191, F-04-192, F-04-193, F-04-194, F-04-195, F-04-196, F-04-197, F-04-198, F-04-199, F-04-200, F-04-201, F-04-202, F-04-203, F-04-204, F-04-205, F-04-206, F-04-207, F-04-208, F-04-209, F-04-210, F-04-211, F-04-212, F-04-213, F-04-214, F-04-215, F-04-216, F-04-217, F-04-218, F-04-219, F-04-220, F-04-221, F-04-222, F-04-223, F-04-224, F-04-225, F-04-226, F-04-227, F-04-228, F-04-229, F-04-230, F-04-231, F-04-232, F-04-233, F-04-234, F-04-235, F-04-236, F-04-237, F-04-238, F-04-239, F-04-240, F-04-241, F-04-242, F-04-243, F-04-244, F-04-245, F-04-246, F-04-247, F-04-248, F-04-249, F-04-250, F-04-251, F-04-252, F-04-253, F-04-254, F-04-255, F-04-256, F-04-257, F-04-258, F-04-259, F-04-260, F-04-261, F-04-262, F-04-263, F-04-264, F-04-265, F-04-266, F-04-267, F-04-268, F-04-269, F-04-270, F-04-271, F-04-272, F-04-273, F-04-274, F-04-275, F-04-276, F-04-277, F-04-278, F-04-279, F-04-280, F-04-281, F-04-282, F-04-283, F-04-284, F-04-285, F-04-286, 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F-04-987, F-04-988, F-04-989, F-04-990, F-04-991, F-04-992, F-04-993, F-04-994, F-04-995, F-04-996, F-04-997, F-04-998, F-04-999, F-04-1000.

SITE TABULATION (PER ORIGINAL ZB 973M)

LAND USE	PROPOSED DENSITY RANGE	ACREAGE	PERCENT
Residential		12.61 ac.	29.7%
Employment/Retail	201,500 SF Maximum	10.04 ac.	25.6%
Office	10,602 SF Maximum	16.53 ac.	39.0%
Open Space	(2.80 ac.)	2.80 ac.	6.8%
Howard County Recreation and Parks	(0.73 ac.)	0.73 ac.	1.8%
Other Land Use		12.61 ac.	30.7%
Public Road R.O.M.	170 Units Maximum	12.61 ac.	30.7%
TOTALS	212,102 SF Maximum	42.42 ac.	100%

PARKING REQUIREMENT

LAND USE	MINIMUM PARKING REQUIRED	PARKING PROVIDED
Office	665 Spaces	665 Spaces
Residential	64 Spaces	64 Spaces
Age Restricted Housing	340 Spaces	340 Spaces

* Proposed Double Deck Parking
 In Accordance With Howard County Design Manual Volume III Parking Along One Side of a 24' Wide, or Greater Street is Allowed 1/2 Out of the Total of 517 Parking Spaces are Provided Along the Curbside on One Side of the Streets.
 25 Parking Spaces are Provided in Designated Parallel Parking Spaces and 340 Spaces are Provided in the Garage and On the Driveway of Each Unit. This results in an average of three spaces per residential unit, exceeding the 2.3 space per unit required under county parking regulations.

SITE TABULATION (FIRST AMENDED PER ZB 1042M)

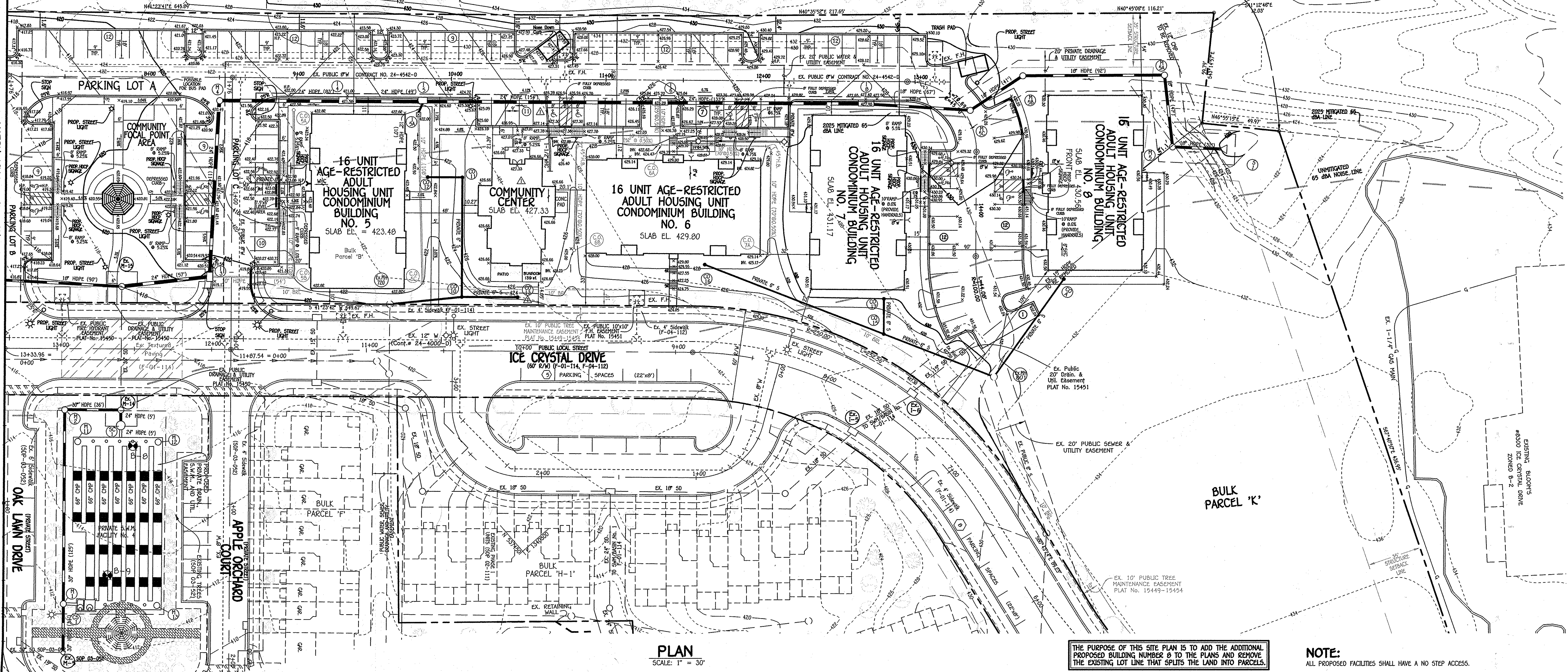
GROSS AREA OF SITE = 41.078 AC. +/-

LAND USE	PROPOSED DENSITY RANGE	ACREAGE	PERCENT
Residential	10 Units (PER F-01-114)	12.413 ac.	30.2%
Single Family Detached	10 Units (PER F-01-114)	12.413 ac.	30.2%
Single Family Attached	160 Units (PER 50P-02-111, 50P-03-52 & 50P-05-22)	11.077 ac.	27.0%

COLUMBIA PIKE
U.S. ROUTE 29
(PRINCIPLE ARTERIAL)
R/W VARIES
(SHA PLAT NO. 39996)

VEHICULAR INGRESS AND EGRESS IS RESTRICTED

MATCH LINE SEE SHEET 3



PLAN
SCALE: 1" = 30'

THE PURPOSE OF THIS SITE PLAN IS TO ADD THE ADDITIONAL PROPOSED BUILDING NUMBER 8 TO THE PLANS AND REMOVE THE EXISTING LOT LINE THAT SPLITS THE LAND INTO PARCELS.

NOTE:
ALL PROPOSED FACILITIES SHALL HAVE A NO STEP ACCESS.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CORPORATE SQUARE OFFICE, FLOOR 1000 BALTIMORE NATIONAL FIRE
BLK/RT 011, WASHINGTON 21046
(410) 461-2895

NO.	REVISION	DATE
6	Add 1 unit to Bldg. 8	2/3/16
6	Add Bathroom to Community Center	2/3/16
5	ADDED BUILDING 8 TO PLANS	1/29/14
4	REVISE BLDG. 7 W/H	9/22/13
3	REVISE BLDG. 6 TO 16 UNITS, CHANGE ORIENTATION OF BLDG. 6 & 7 AND ADJUST PARKING COUNT	10/10/12
2	CHANGES APP. PRIOR TO 5/4/10 USING 2000 SWM REGS.	2/12/10
1	ADDED COMMUNITY CENTER BLDG., ENLARGED BLDG. NO. 6, CHANGED BLDG. NO. 8 TO BLDG. NO. 7 AND ADJUSTED UTILITIES ACCORDINGLY.	2/12/10



APPROVED: DEPARTMENT OF PLANNING AND ZONING

Kathleen Deane 3/04/14
Chief, Division of Land Development

Chris Smith 2/27/14
Chief, Development Engineering Division

Mark A. Lewis 2/19/14
Director - Department of Planning and Zoning

OWNER/DEVELOPER
ICE CRYSTAL, L.L.C.
2835-P COLUMBIA 100 PKWY.
COLUMBIA, MARYLAND 21045
(410) 730-0810
ATTN: MR. JOHN LIPARINI

PROJECT	SECTION/AREA	LOT NO.
CHERRYTREE PARK - BULK PARCEL 'K'	---	BLDG. UNITS 1-8

PLAT NO.	BLOCK NO.	ZONE	TAX	ELEC. DIST.	CENSUS TR.
15449 - 15454	4	MXD-6	46	6TH	6068.02
22515 - 22516					

WATER CODE	SEWER CODE
E18	7602000

REVISED SITE DEVELOPMENT PLAN
AGE RESTRICTED ADULT HOUSING
CHERRYTREE PARK
CONDOMINIUM BUILDINGS 1 THRU 8
BULK PARCEL 'K', PHASES 1 AND 2
(A RESUBDIVISION OF BULK PARCEL 'I' & 'J')

ZONED: MXD-6
TAX MAP No.: 46 PARCEL No.: 156
SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN
DATE: AUGUST 1, 2008
SHEET 2 OF 22

CENTERLINE CURVE DATA						
ROAD NAME	STA. TO STA.	RADIUS	LENGTH	DELTA	TAN	CHORD
PARKING LOT A	0+46.04 TO 1+29.12	75.00'	83.00'	63°20'14"	46.38'	N39°54'51"W, 78.90'
PARKING LOT A	1+03.53 TO 2+22.46	45.00'	38.93'	49°33'46"	20.77'	N16°36'06"E, 37.72'
PARKING LOT A	4+42.11 TO 4+63.90	45.00'	21.00'	27°51'26"	11.16'	N55°18'42"E, 21.65'
PARKING LOT A	4+63.90 TO 4+85.05	45.00'	21.00'	27°50'42"	11.15'	N55°19'03"E, 21.65'
PARKING LOT A	12+94.97 TO 13+06.66	45.00'	70.89'	90°00'00"	45.00'	S88°23'42"W, 68.64'
PARKING LOT A	14+35.35 TO 14+77.41	100.00'	44.08'	25°25'50"	22.40'	S61°15'53"E, 43.72'

UNIVERSAL DESIGN GUIDELINES FOR AGE-RESTRICTED ADULT HOUSING IN HOWARD COUNTY

The Howard County Zoning Regulations allow for "active adult housing" as either a conditional use in residential zoning districts or as a permitted use in the Planned Senior Community, Planned Office Research, Community Center Transition and Residential Institutional zoning districts. Active adult developments must be appropriately designed for adults at least 55 years of age. Site improvements must ensure accessible routes between parking, dwelling units and common areas. Individual dwellings must incorporate universal design features to be adaptable for residents with mobility and functional limitations that often result from aging.

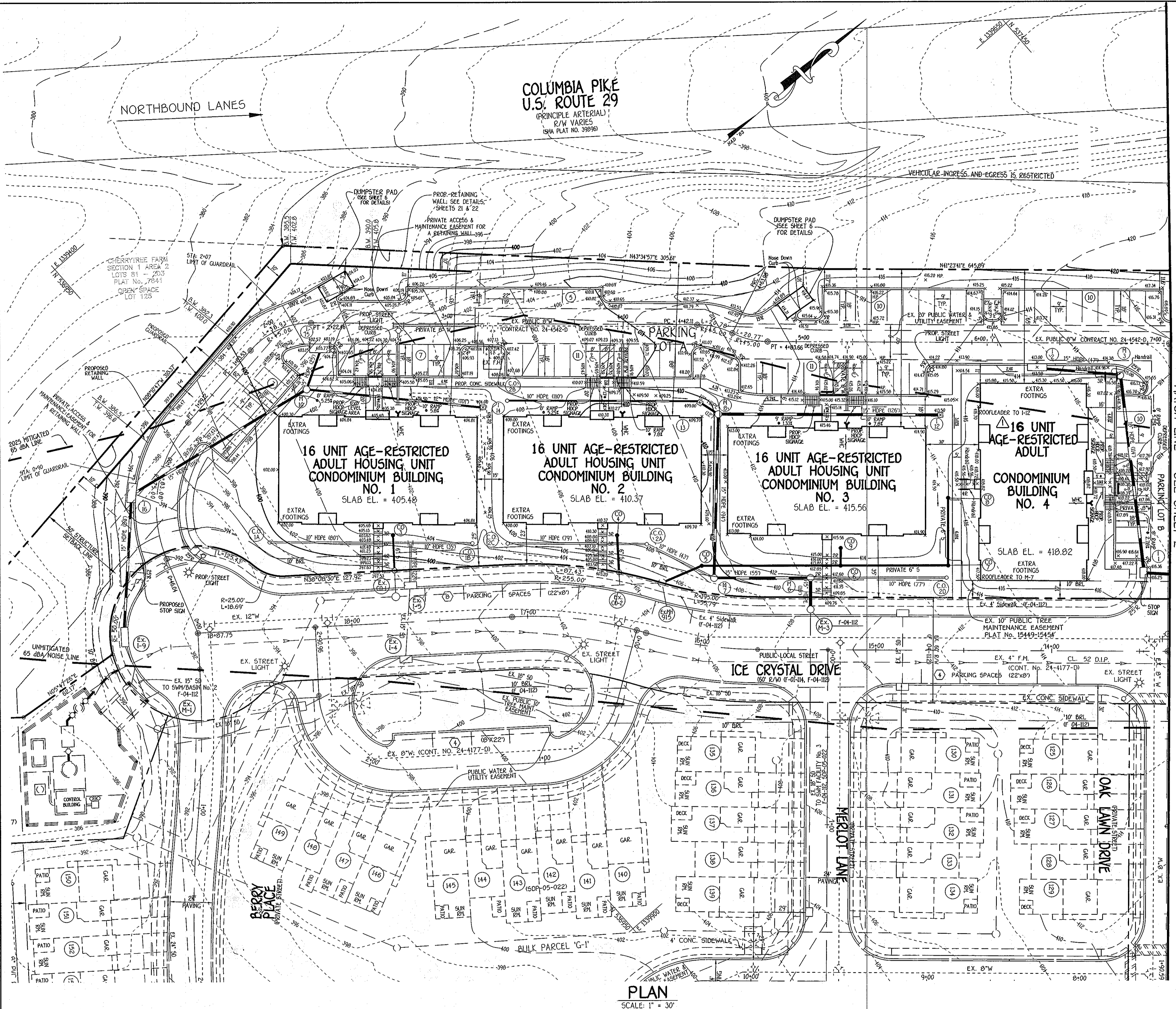
Design standards for site accessibility and usable common areas have been established for multifamily housing by the Americans with Disabilities Act and the Fair Housing Act of 1988. While recognized standards for individual units for older adults have not been established, "Universal Design" is a relatively new, evolving concept that provides some guidance. Accordingly, the Department of Planning and Zoning met with several senior housing developers, representatives of the Homes for Life Coalition of Howard County, and the Department of Inspections, Licenses, and Permits to discuss minimum requirements. Divergent views were expressed regarding what features should be required vs. optional. Features vary considerably in cost, relevance for different users, and adaptability to different sites and project types. Developers' chief concerns were that the current market doesn't perceive a need for most universal design features since the oldest boomers are still relatively young and aren't focused on how their needs may change over time. Concern was also expressed about increasing the cost of senior housing if many universal design features are required rather than optional.

These guidelines reflect a middle position focusing on requiring those features that are relatively inexpensive if part of initial construction, but would require major renovation to retrofit in the future. Items that are relatively less expensive to retrofit in the future are listed as desirable or optional.

- REQUIRED**
- for multi-family apartment or condo developments, an accessible path between parking, dwelling units, and common areas that meets ADA standards
 - for single family detached and attached developments, a "no-step" access to the front entrance to the community building and all dwellings to no-step entrance is desirable, but not required at other entrances
 - 36" wide front door with exterior lighting of the entrance
 - all interior doorways at least 32" wide (36" is preferable)
 - hallways at least 36" wide, (40-42" is preferable)
 - complete living area including master bedroom & bath on first floor for elevator access if multi-story rental/condo apartments
 - lever handles on interior and exterior doors
 - blocking for grab bars in walls in bathroom walls near toilet and shower
- DESIRABLE**
- low maintenance exterior materials
 - covered main entry
 - entry door approach with 18"-24" of clearance at side adjacent to handle
 - smooth transitions between rooms (vertical threshold of 2" or less)
 - slip resistant flooring
 - maximize accessible path between main living rooms (preferably 30-42")
 - lever handles on kitchen and bathroom sinks, plus shower
 - anti scald devices on all plumbing fixtures
 - 5' turning radius or T turn in kitchen and first floor bathroom
 - parallel and forward approach maneuvering space in front of appliances and plumbing fixtures
 - main electrical breaker box located on the first floor
 - switches, doorbells, thermostats, and breaker boxes should be located no more than 48" above the floor
 - electrical receptacles should be at least 15" above the floor
- CUSTOM OPTIONS**
- security system
 - visual ID of visitors
 - visual smoke detectors
 - handrails on both sides of exterior and interior stairs
 - task lighting in kitchen, bath and other work spaces
 - rocker light switches
 - lighting in closets and pantry
 - closet rods adjustable from 3' to 5'-6"
 - slip resistant flooring in kitchen and bath
 - multi-level or adjustable kitchen countertops and work spaces
 - pullout shelves for kitchen base cabinets
 - front mounted controls on stove
 - installation of grab bars in bathroom
 - hand held showerhead in shower
 - curbless shower

NOTE:
ALL PROPOSED FACILITIES SHALL HAVE A NO STEP ACCESS.

LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	EXISTING CONTOUR 10' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 10' INTERVAL
+624.5	SPOT ELEVATION
-SF - SF	SILT FENCE
-SSF - SSF	SUPER SILT FENCE
-TP - TP	TREE PROTECTION
---	EXISTING TREE LINE
---	LIMIT OF DISTURBANCE
---	EROSION CONTROL MATTING
---	PROPOSED GUARDEAIL
---	PROPOSED RETAINING WALL
---	PROPOSED SEWER
---	PROPOSED WATER
---	PROPOSED STORM DRAIN



PLAN
SCALE: 1" = 30'

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21041
(410) 461-2955

NO.	REVISION	DATE
3	APP BUILDING 2 TO PLAN	1/20/14
2	Revised Centerline Curve Data	10/10/12
1	Changed Bldg. No. 4 From A 16 Unit To A 16 Unit Bldg. And Moved Community Center Location.	2/12/10

APPROVAL
PLANNING BOARD
OF HOWARD COUNTY
DATE: JULY 17, 2008
YES

ENGINEER'S CERTIFICATE
I certify that this plan for soil erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
Signature: [Signature] Date: 9/20/08
Professional Engineer (P.E.)
This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
Signature: [Signature] Date: 10/2/08
Howard SCD

DEVELOPER'S CERTIFICATE
I/We certify that all development and construction will be done according to this plan, for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
Signature of Developer (Print name below signature): [Signature] Date: 9/25/08

Reviewed for HOWARD SCD and meets Technical Requirements.
U.S.D.A.-Natural Resources Conservation Service
Date: [Signature] 10/2/08
This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
Signature: [Signature] Date: 10/2/08
Howard SCD

OWNER/DEVELOPER
ICE CRYSTAL L.L.C.
2835-F COLUMBIA 100 PKWY.
COLUMBIA, MARYLAND 21045
(410) 730-0810
ATTN: MR. JOHN LIPARINI

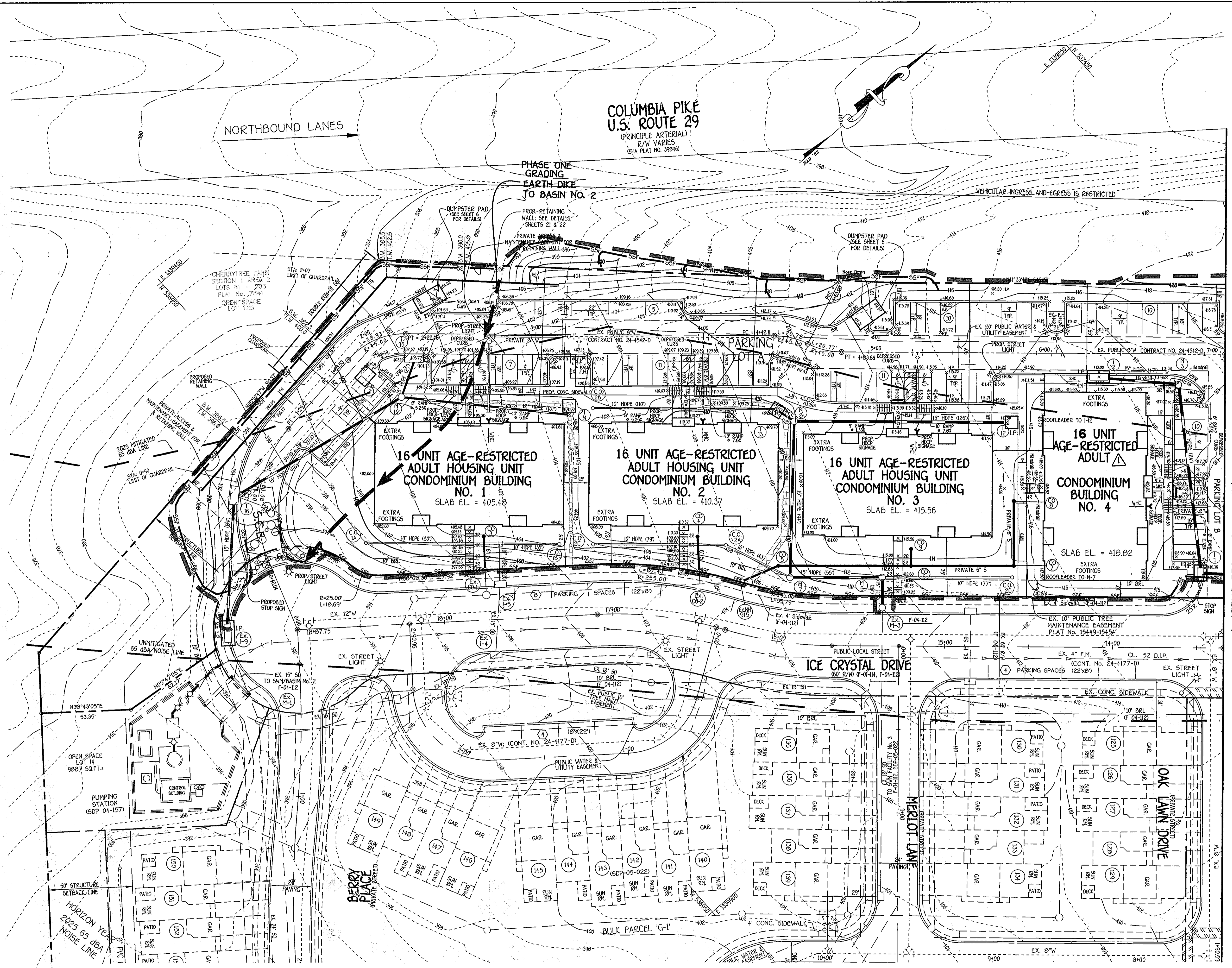
APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] 10/27/08
Chief, Division of Land Development
[Signature] 10/15/08
Chief, Department of Engineering
[Signature] 10/14/08
Director - Department of Planning and Zoning

PROJECT	SECTION/AREA	LOT NO.
CHERRYTREE PARK - BULK PARCEL 'K'	---	BLDG. UNITS 1-8

PLAT NO.	BLOCK NO.	ZONE	TAX	ELEC. DIST.	CENSUS TR.
15449 - 15454	4	MXD-6	46	6TH	6068.02

WATER CODE: E18 SEWER CODE: 7602000

SITE DEVELOPMENT PLAN
AGE RESTRICTED ADULT HOUSING
CHERRYTREE PARK
CONDOMINIUM BUILDINGS 1 THRU 4
BULK PARCEL 'K', PHASES 1 AND 2
(A RESUBDIVISION OF BULK PARCEL 'K' & 'J')
ZONED: MXD-6
TAX MAP No. 45 PARCEL No. 156
SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST 1, 2008
SHEET 3 OF 22



MATCH LINE SEE SHEET 4

PLAN
SCALE: 1" = 30'

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10722 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2895

NO.	REVISION	DATE
2	ADDED BUILDING B TO PLANS	1/29/14
1	CHANGED BLDG. NO. 4 FROM A 16 UNIT TO A 14 UNIT	2/12/10
	BLDG. AND MOVED THE COMMUNITY CENTER LOCATION	

APPROVED
PLANNING BOARD
OF HOWARD COUNTY

DATE: July 17, 2008

ENGINEER'S CERTIFICATE
I certify that the proposed sediment and erosion control represents a practical and workable plan based on my knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature of Engineer: *[Signature]* Date: 7/20/08
Professional Seal: [Seal]
This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

DEVELOPER'S CERTIFICATE
I/We certify that all development and construction will be done according to this plan for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Signature of Developer: *[Signature]* Date: 7/25/08

Reviewed for HOWARD SCD and meets Technical Requirements.

U.S.D.A.-Natural Resources Conservation Service
Date: 10/12/08

OWNER/DEVELOPER
ICE CRYSTAL, LLC
8835-P COLUMBIA 100 PKWY.
COLUMBIA, MARYLAND 21045
(410) 730-0810
ATTN: MR. JOHN LIPARINI

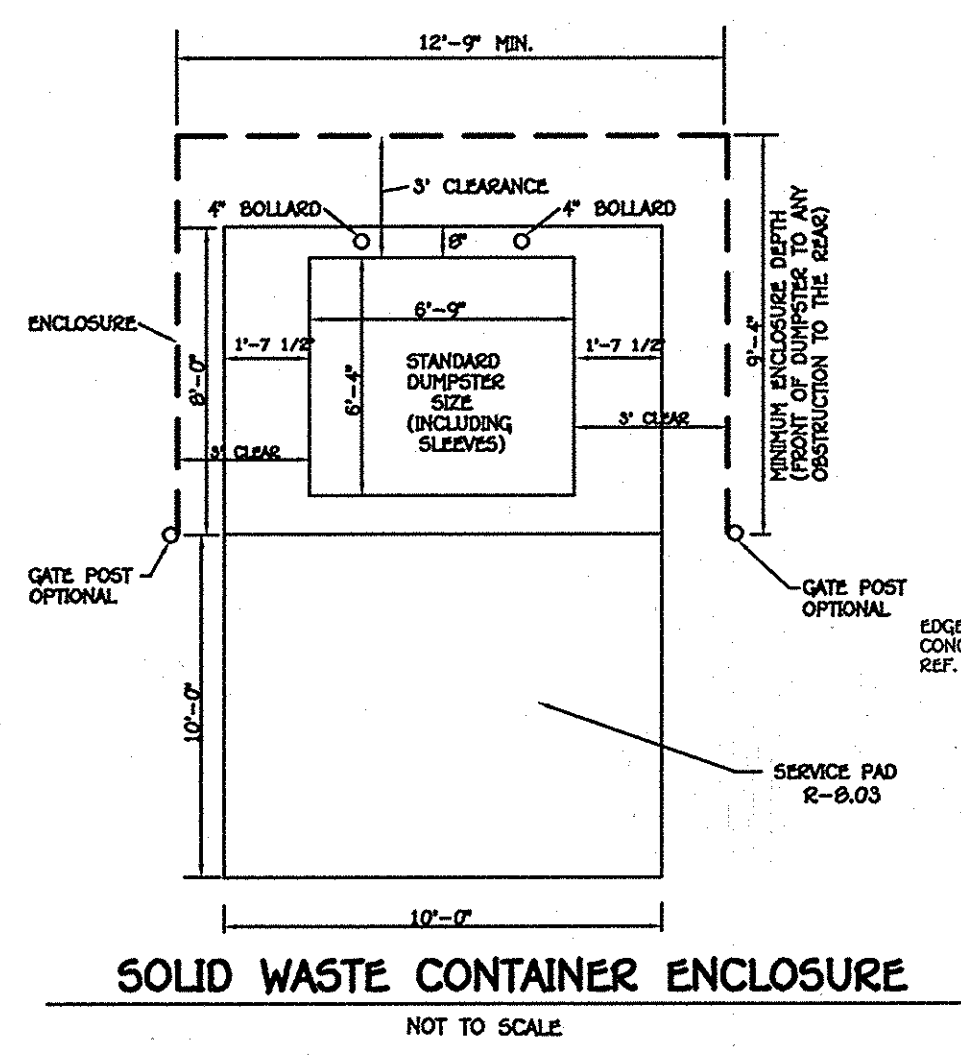
APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Planning and Zoning: *[Signature]* Date: 10/23/08
Chief, Development Engineering Division: *[Signature]* Date: 10/15/08
Director - Department of Planning and Zoning: *[Signature]* Date: 10/24/08

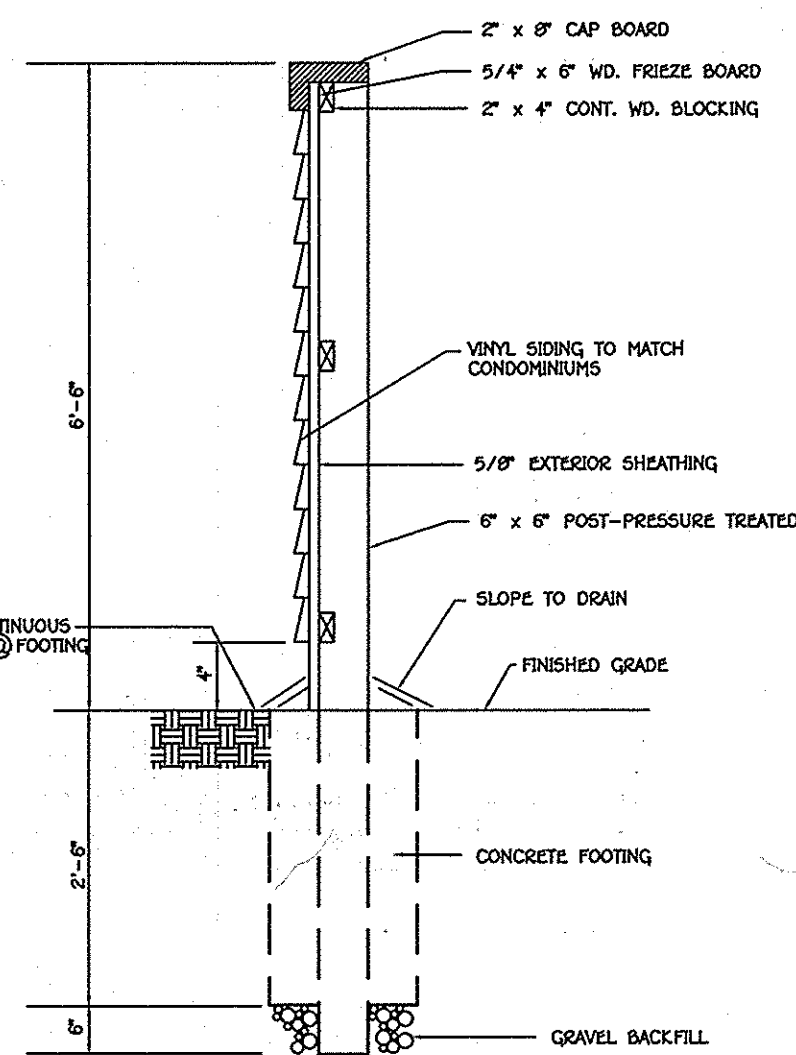
PROJECT	SECTION/AREA	LOT NO.
CHERRYTREE PARK - BULK PARCEL 'W'		BLDG. UNITS 1-6
PLAT NO.	BLOCK NO.	ZONE
15449 - 15454	4	MXD-6
TAX	ELEC. DIST.	CENSUS TR.
46	6TH	6068.02
WATER CODE	SEWER CODE	
E18	7602000	

SEDIMENT, EROSION CONTROL PLAN AND GRADING PLAN

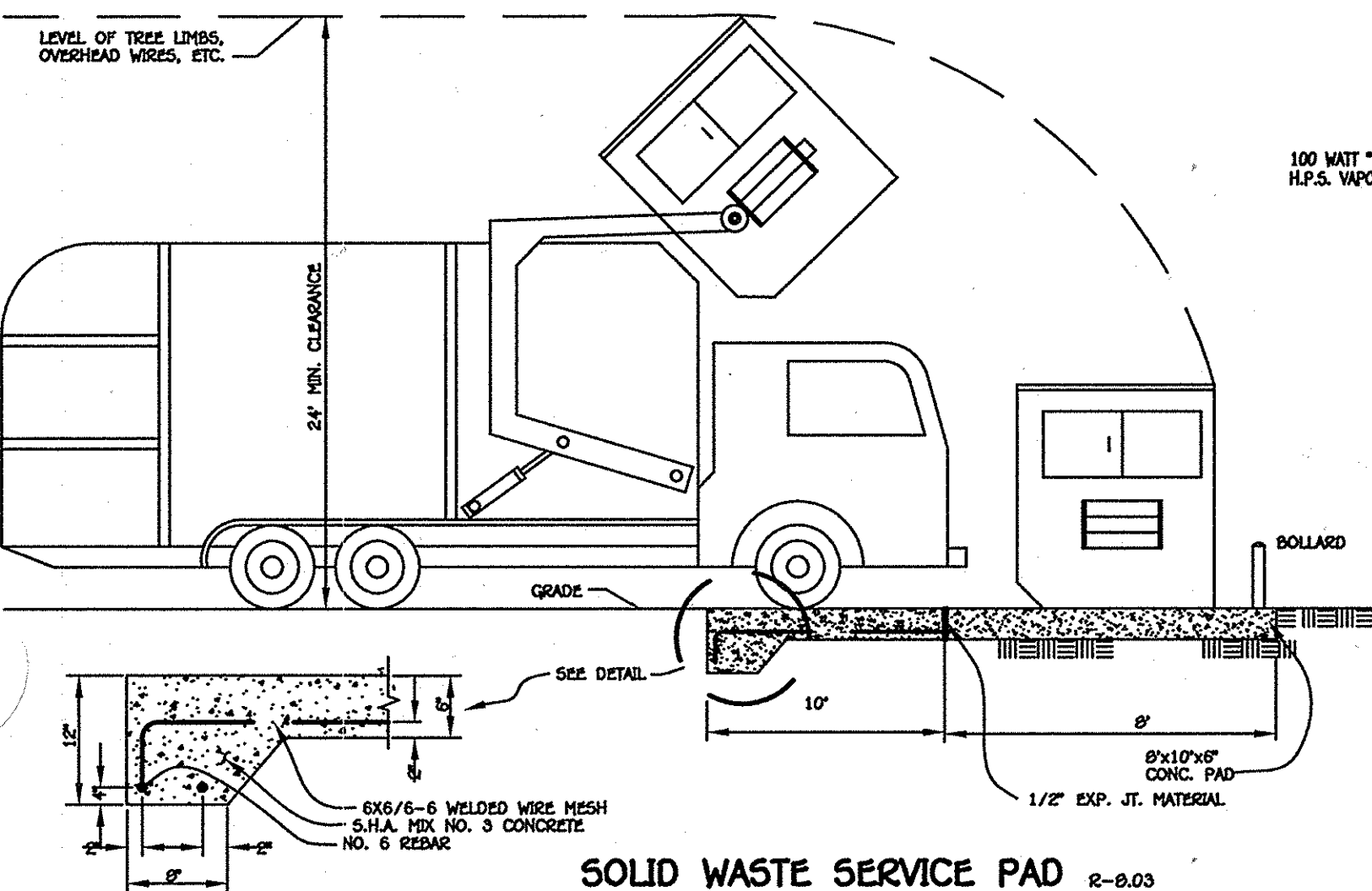
AGE RESTRICTED ADULT HOUSING
CHERRYTREE PARK
CONDOMINIUM BUILDINGS 1 THRU 4
BULK PARCEL 'K', PHASES 1 AND 2
(A RESUBDIVISION OF BULK PARCEL 'I' & 'J')
ZONED: MXD-6
TAX MAP No.: 46 PARCEL No.: 156
SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST 1, 2008
SHEET 5 OF 22



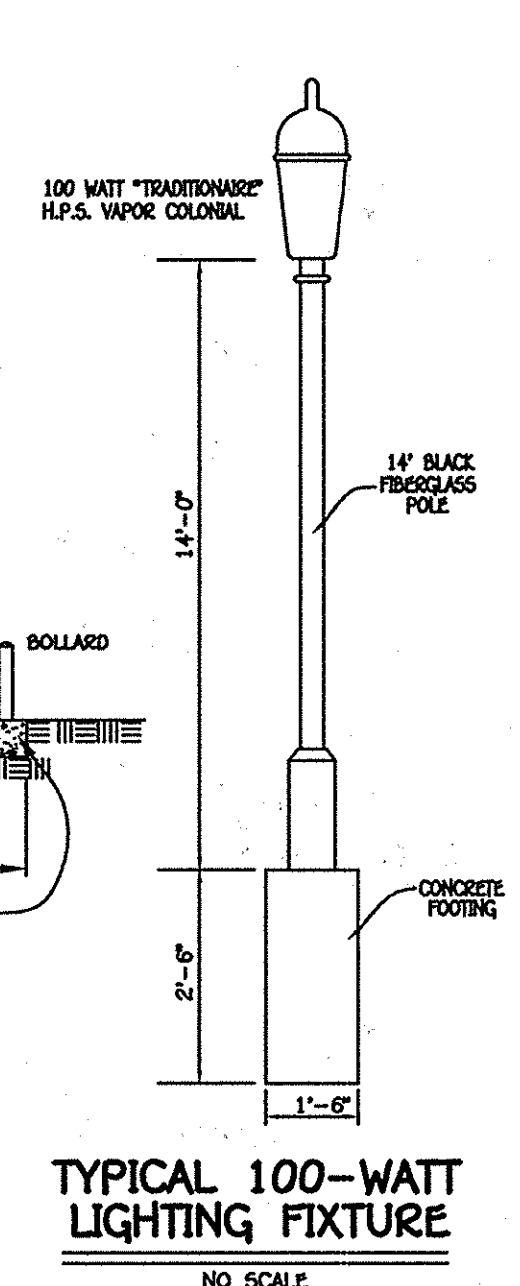
NOTE:
NO ENCLOSURE GATES ARE TO BE USED.



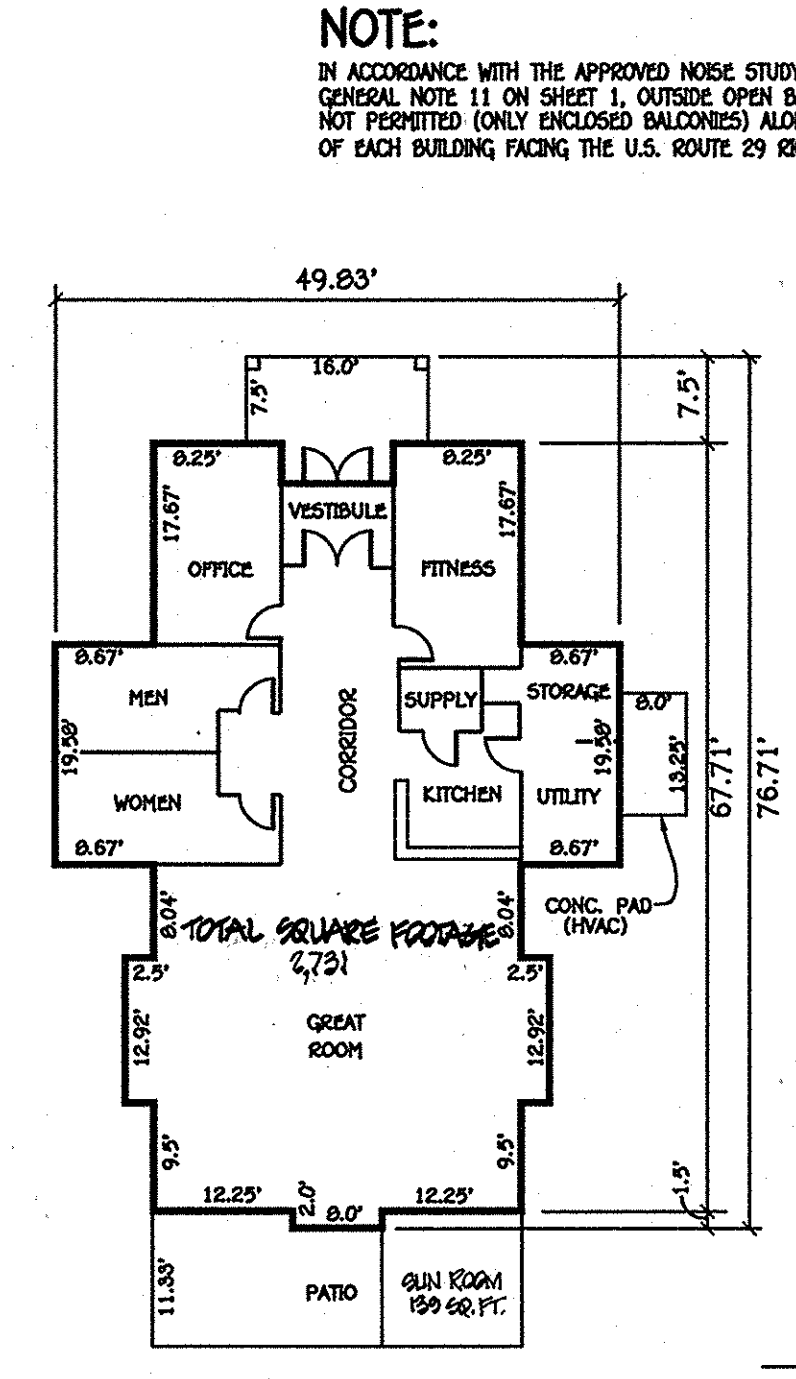
SECTION - TRASH ENCLOSURE
NO SCALE



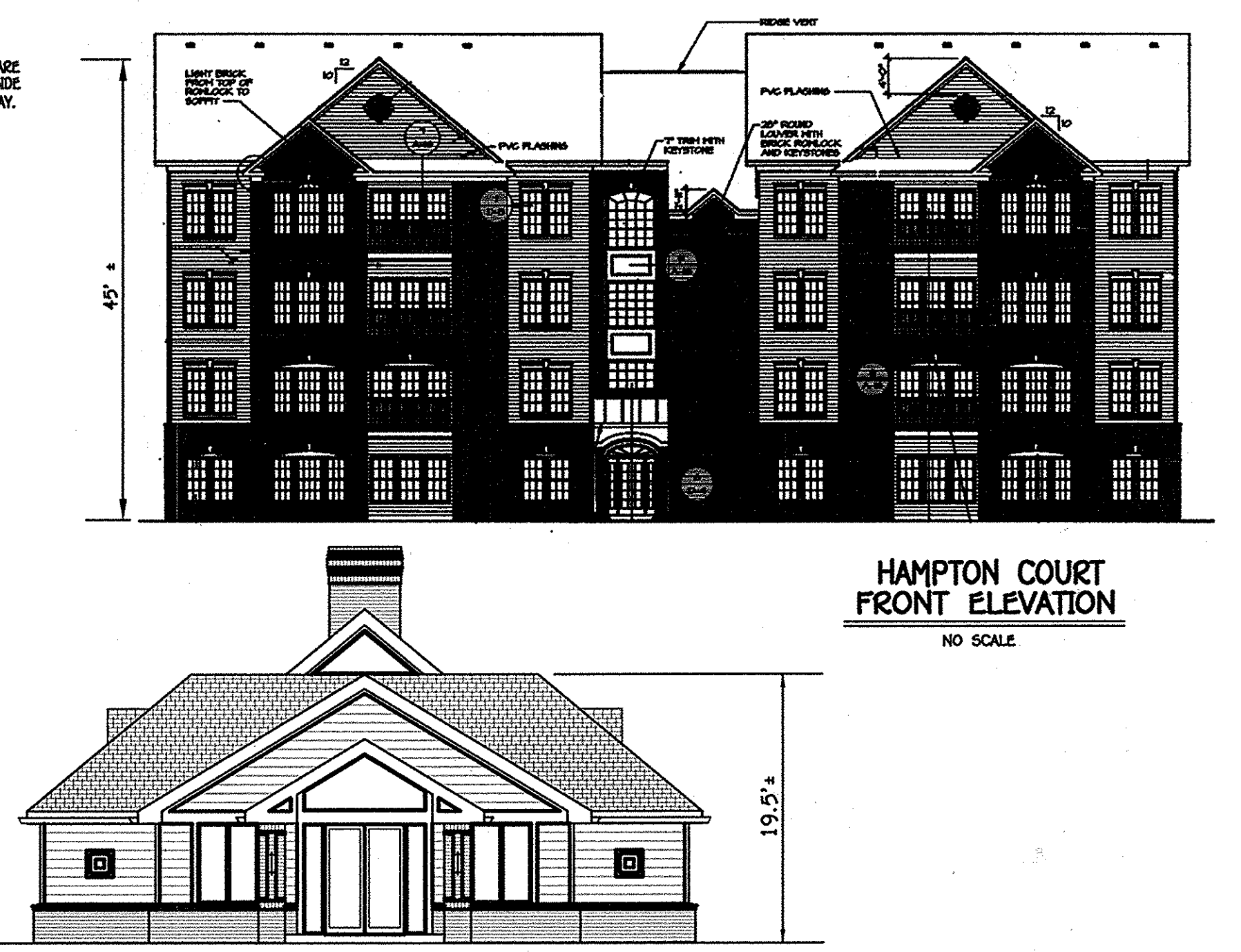
SOLID WASTE SERVICE PAD R-2.03
NOT TO SCALE



TYPICAL 100-WATT LIGHTING FIXTURE
NO SCALE

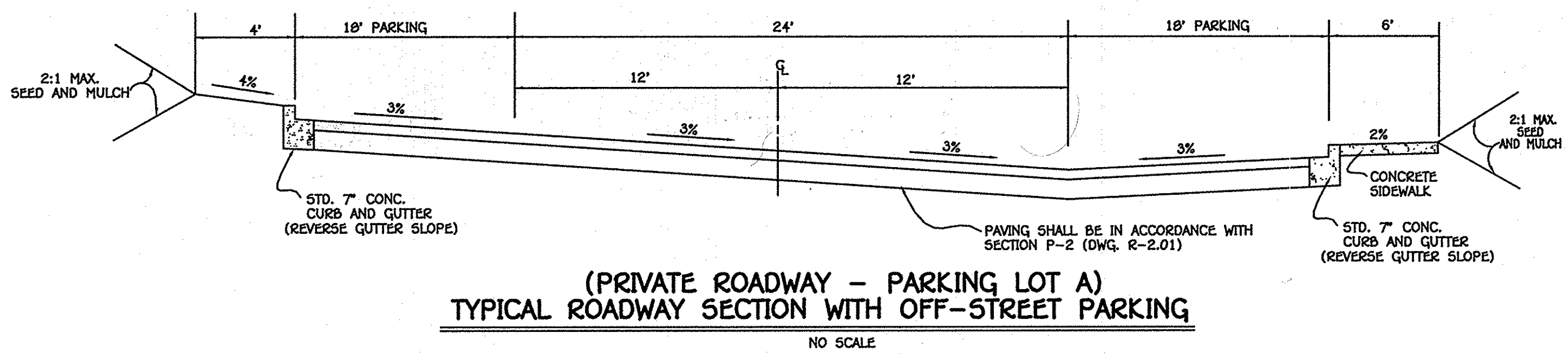


COMMUNITY CENTER FOOTPRINT
NOT TO SCALE

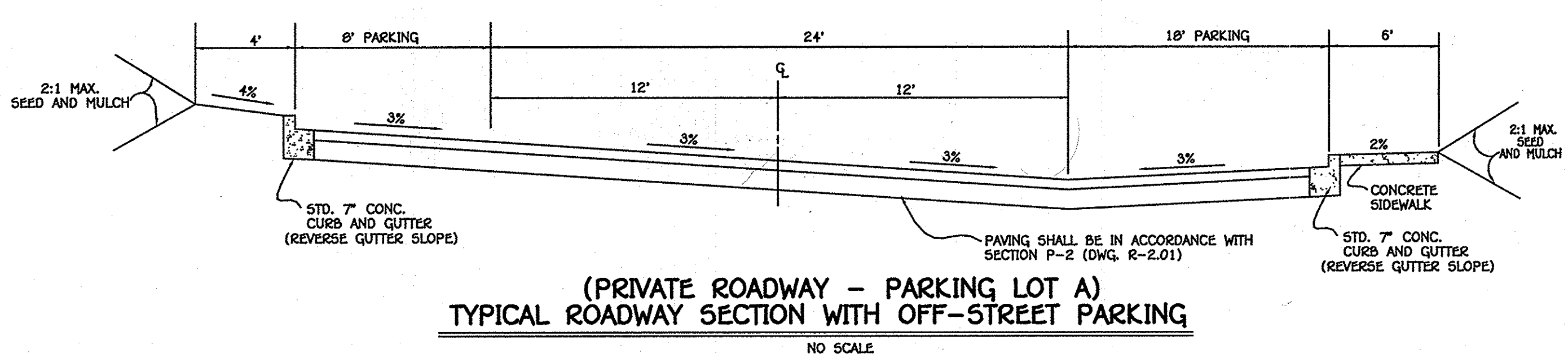


HAMPTON COURT FRONT ELEVATION
NO SCALE

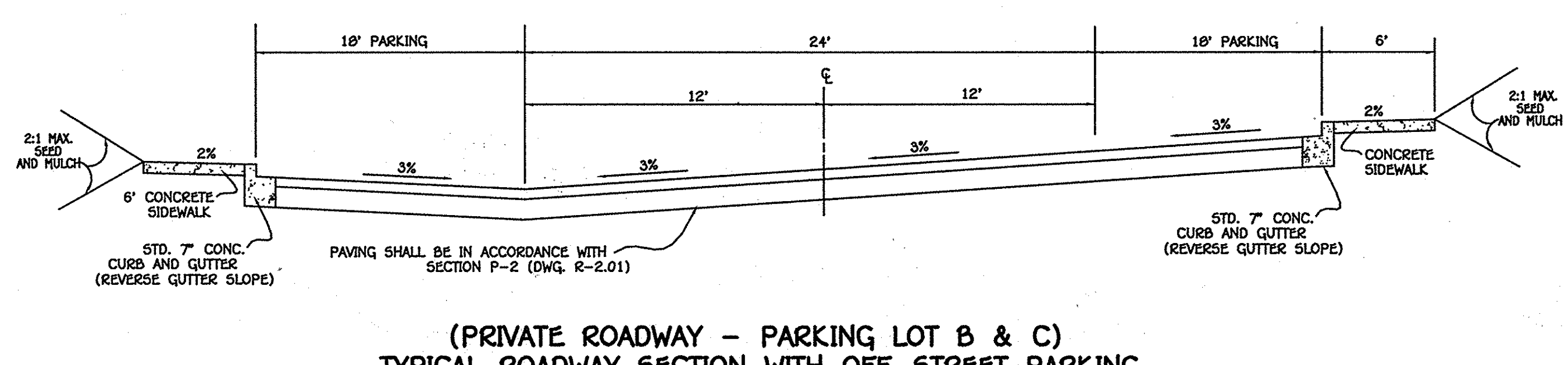
COMMUNITY CENTER BUILDING PROFILE
NOT TO SCALE



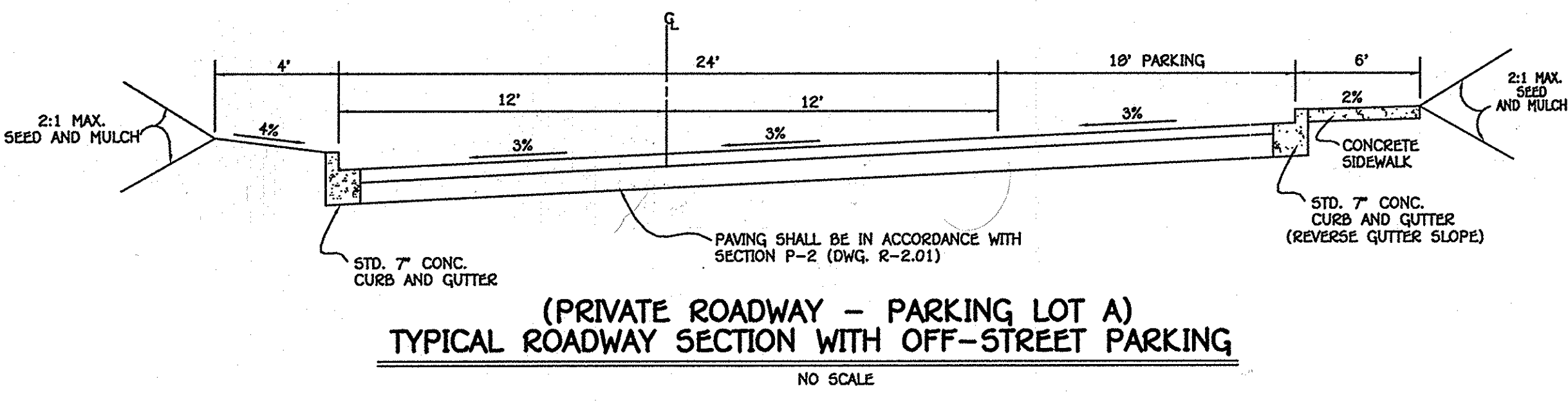
(PRIVATE ROADWAY - PARKING LOT A)
TYPICAL ROADWAY SECTION WITH OFF-STREET PARKING
NO SCALE



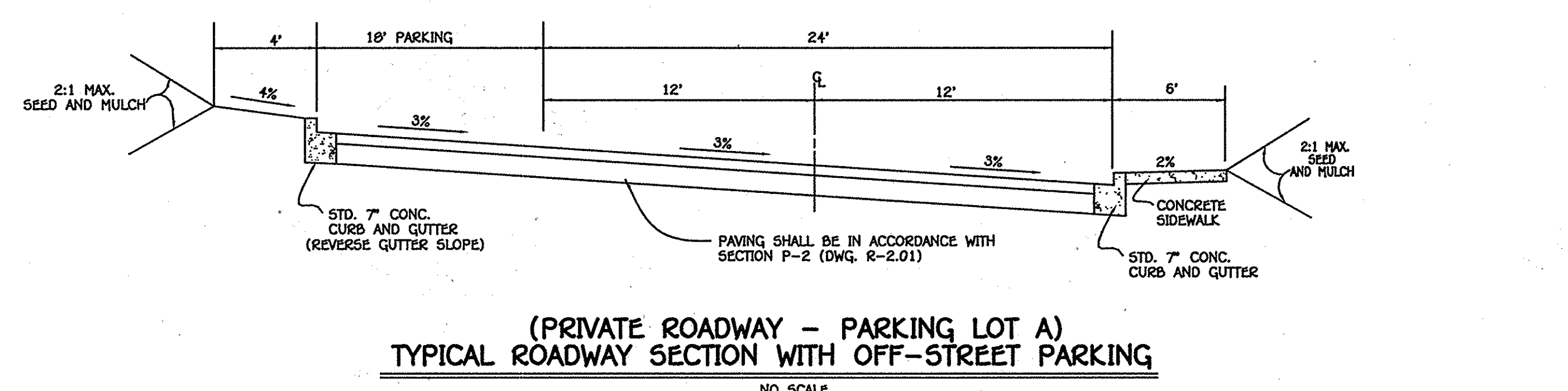
(PRIVATE ROADWAY - PARKING LOT A)
TYPICAL ROADWAY SECTION WITH OFF-STREET PARKING
NO SCALE



(PRIVATE ROADWAY - PARKING LOT B & C)
TYPICAL ROADWAY SECTION WITH OFF-STREET PARKING
NO SCALE

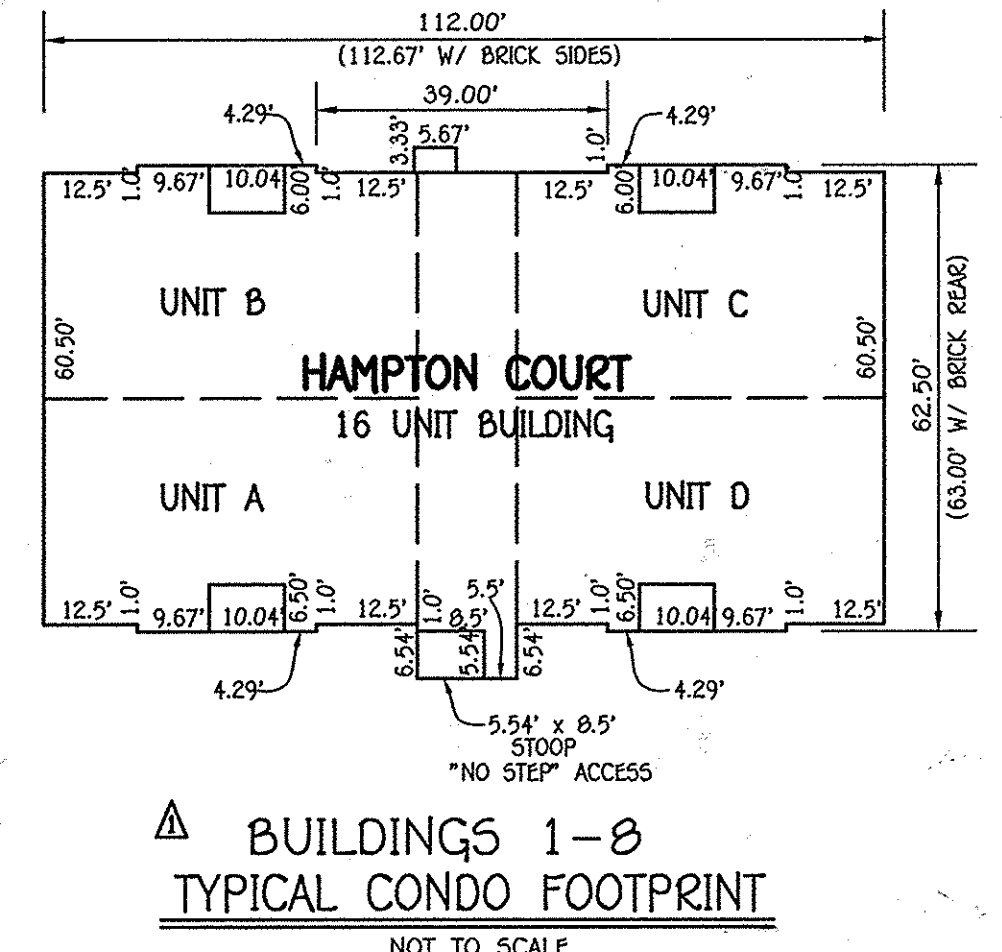


(PRIVATE ROADWAY - PARKING LOT A)
TYPICAL ROADWAY SECTION WITH OFF-STREET PARKING
NO SCALE



(PRIVATE ROADWAY - PARKING LOT A)
TYPICAL ROADWAY SECTION WITH OFF-STREET PARKING
NO SCALE

SECTION NUMBER	ROAD AND STREET CLASSIFICATION	CALIFORNIA BEARING RATIO (CBR)					
		3 TO <5	5 TO <7	>7	3 TO <5	5 TO <7	>7
P-2	PARKING DRIVE AISLES: RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 10 HEAVY TRUCKS PER DAY	PAVEMENT MATERIAL (INCHES)					
		HMA SUPERPAVE FINAL SURFACE 9.5 MM, PG 64-22, LEVEL 1 (ESAL)					
		HMA SUPERPAVE INTERMEDIATE SURFACE 9.5 MM, PG 64-22, LEVEL 1 (ESAL)					
		HMA SUPERPAVE BASE 19.0 MM, PG 64-22, LEVEL 1 (ESAL)					
	LOCAL ROADS: ADDRESS PLACE, ACCESS STREET CUL-DE-SACS: RESIDENTIAL	2.0	2.0	2.0	3.5	2.0	2.0
		8.0	4.0	3.0	4.0	4.0	4.0



BUILDINGS 1-8 TYPICAL CONDO FOOTPRINT
NOT TO SCALE

Note: Bldg. No. 8 Will consist of 15 Units Only. One Unit Will be Utilized For Storage.

THE PURPOSE OF THIS SITE PLAN IS TO ADD THE ADDITIONAL PROPOSED BUILDING NUMBER 8 TO THE PLANS AND REMOVE THE EXISTING LOT LINE THAT SPLITS THE LAND INTO PARCELS.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10772 BALDWIN NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2099

NO.	REVISION	DATE
4	ADDED 1 UNIT TO BUILDING NO. 8	2/9/15
4	ADDED SANITARIUM TO COMMUNITY CENTER	2/9/15
3	ADDED BUILDING 8 TO PLANS	1/29/14
2	REMOVED 24 UNIT BLDG. FOOTPRINT	10/10/13
1	ADDED 24 UNIT CONDO FOOTPRINT FOR BLDG. NO. 6 & BUILDING PROFILE AND FOOTPRINT FOR COMMUNITY CENTER	2/12/10



OWNER/DEVELOPER
ICE CRYSTAL, L.L.C. P.K.W.
8835-P COLUMBIA 100 PKWY.
COLUMBIA, MARYLAND 21045
(410) 730-0810
ATTN: MR. JOHN LIPARINI

APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] 2/24/14
 Chief, Division of Land Development
[Signature] 2-27-14
 Chief, Development Engineering Division
[Signature] 2/24/14
 Director - Department of Planning and Zoning

PROJECT: CHERRYTREE PARK - BULK PARCEL 'K'
 SECTION/AREA: ---
 LOT NO.: BLDG. UNITS 1-8

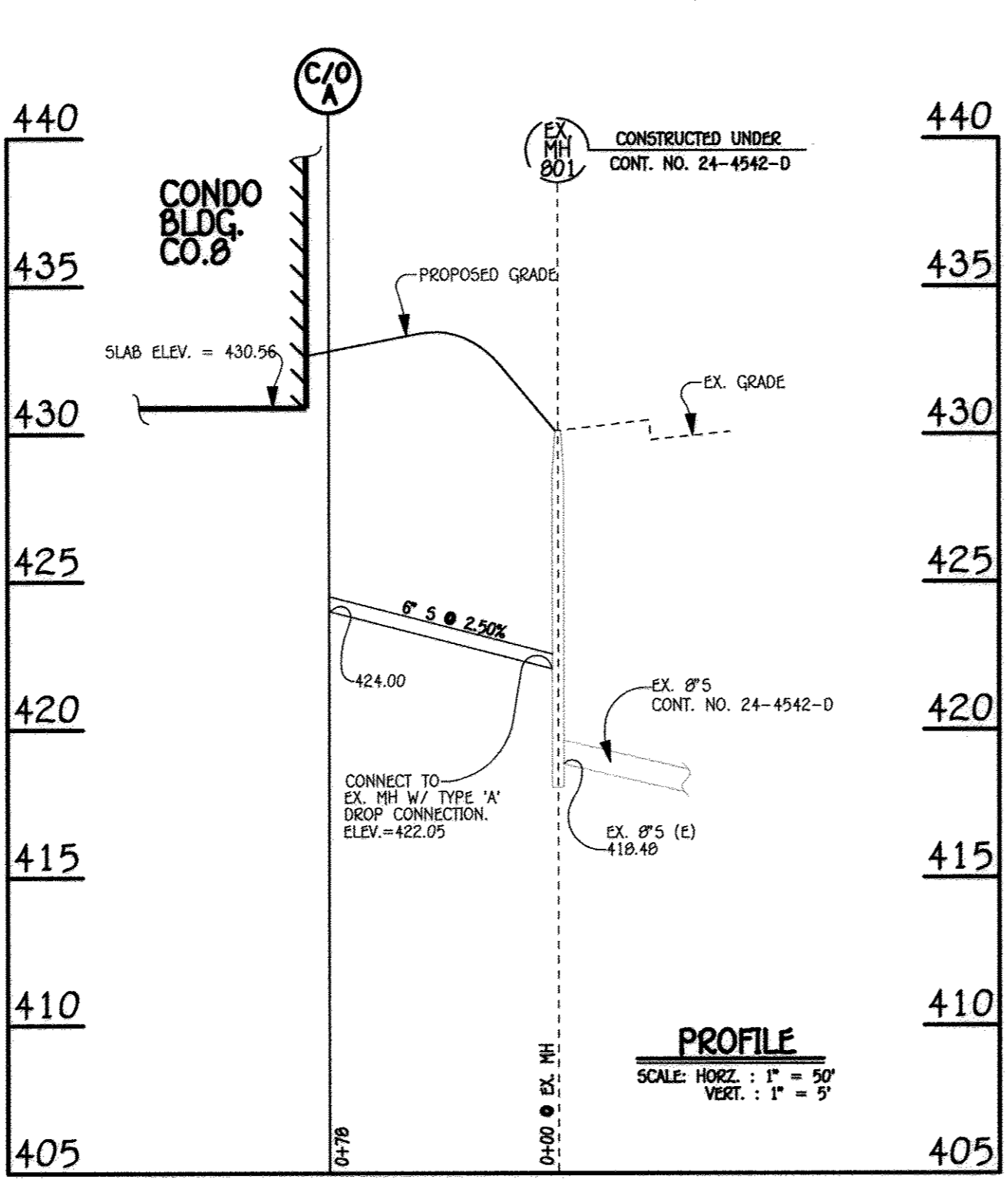
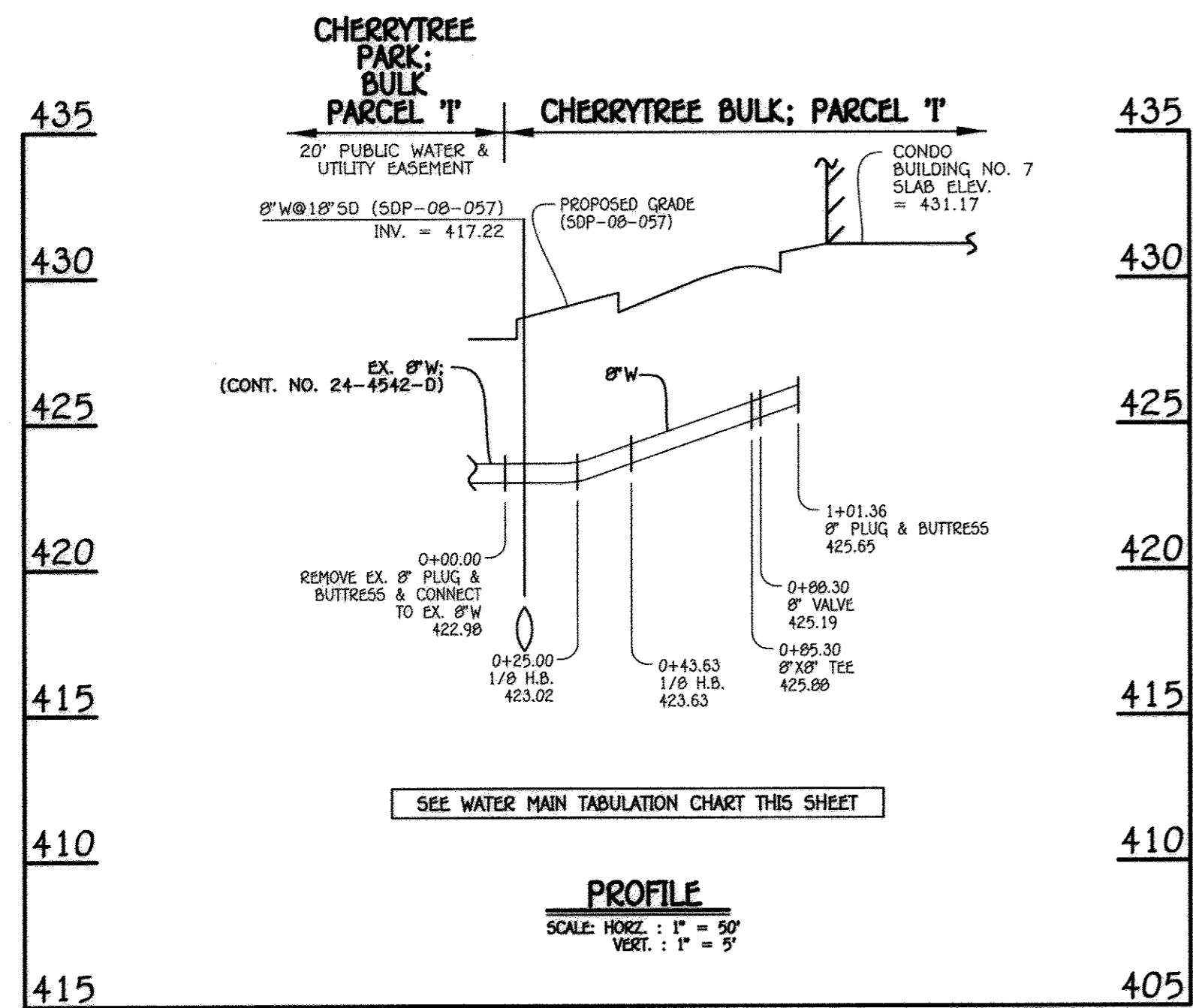
PLAT NO.: 15449 - 15454
 22509 - 20210
 22515 - 22516

BLOCK NO.: 4
 ZONE: MXD-6
 TAX: 46
 ELEC. DIST.: 6TH
 CENSUS TR.: 6068.02

WATER CODE: E18
 SEWER CODE: 7602000

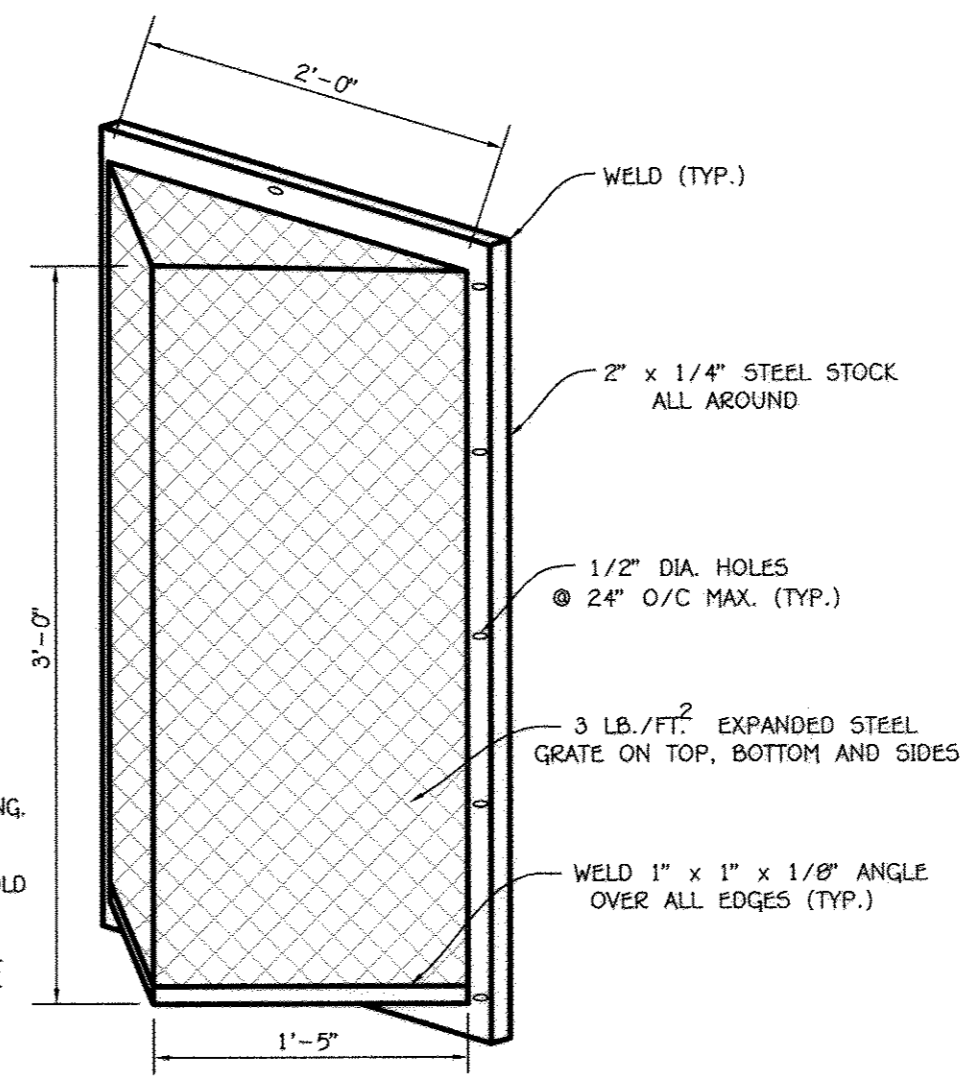
REVISED DETAIL SHEET
 AGE RESTRICTED ADULT HOUSING
CHERRYTREE PARK
 CONDOMINIUM BUILDINGS 1 THRU 8
BULK PARCEL 'K', PHASES 1 AND 2
 (A RESUBDIVISION OF BULK PARCEL 'I' & 'J')

ZONED: MXD-6
 TAX MAP No.: 46 PARCEL No.: 156
 SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST 1, 2008
 SHEET 6 OF 22



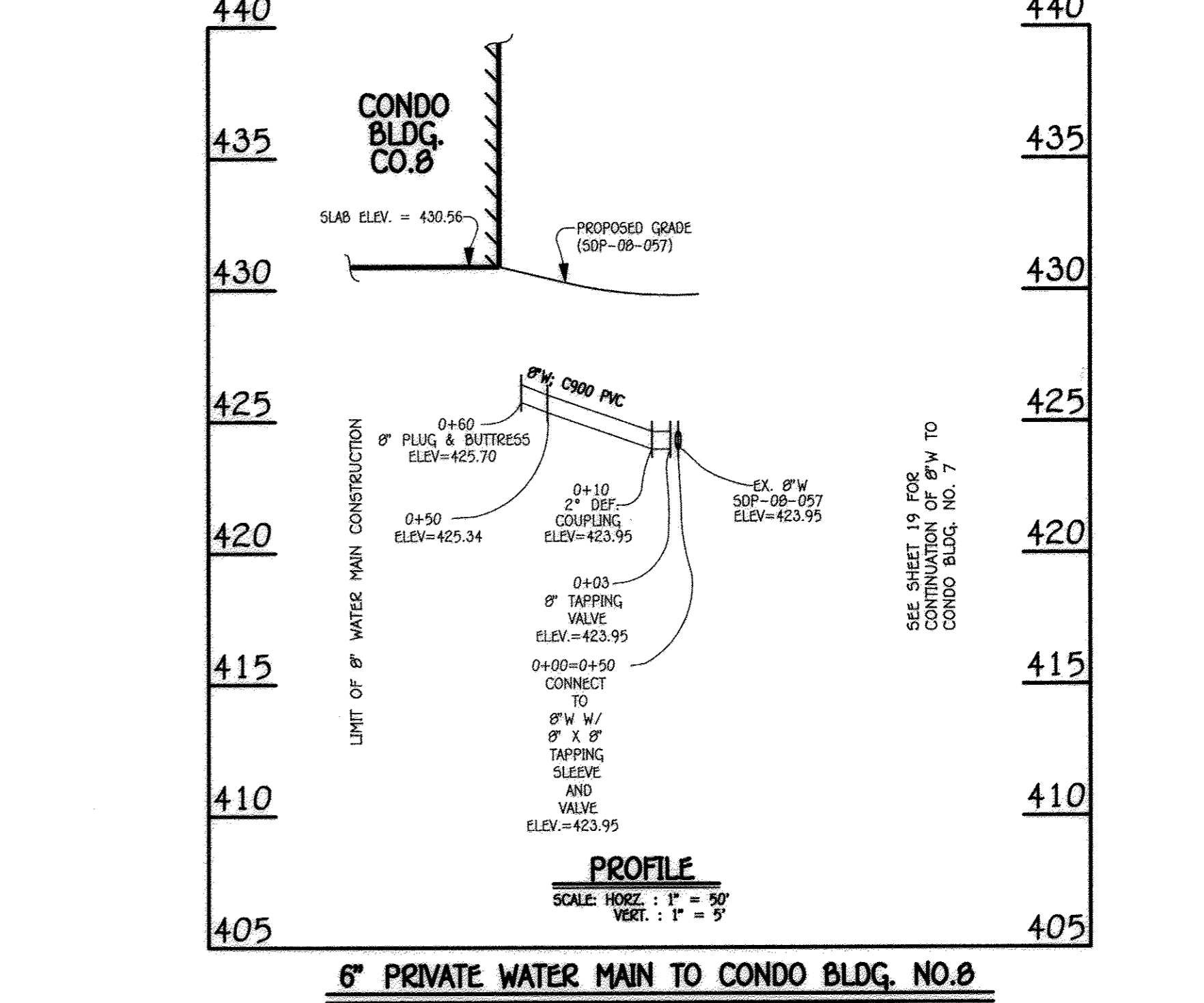
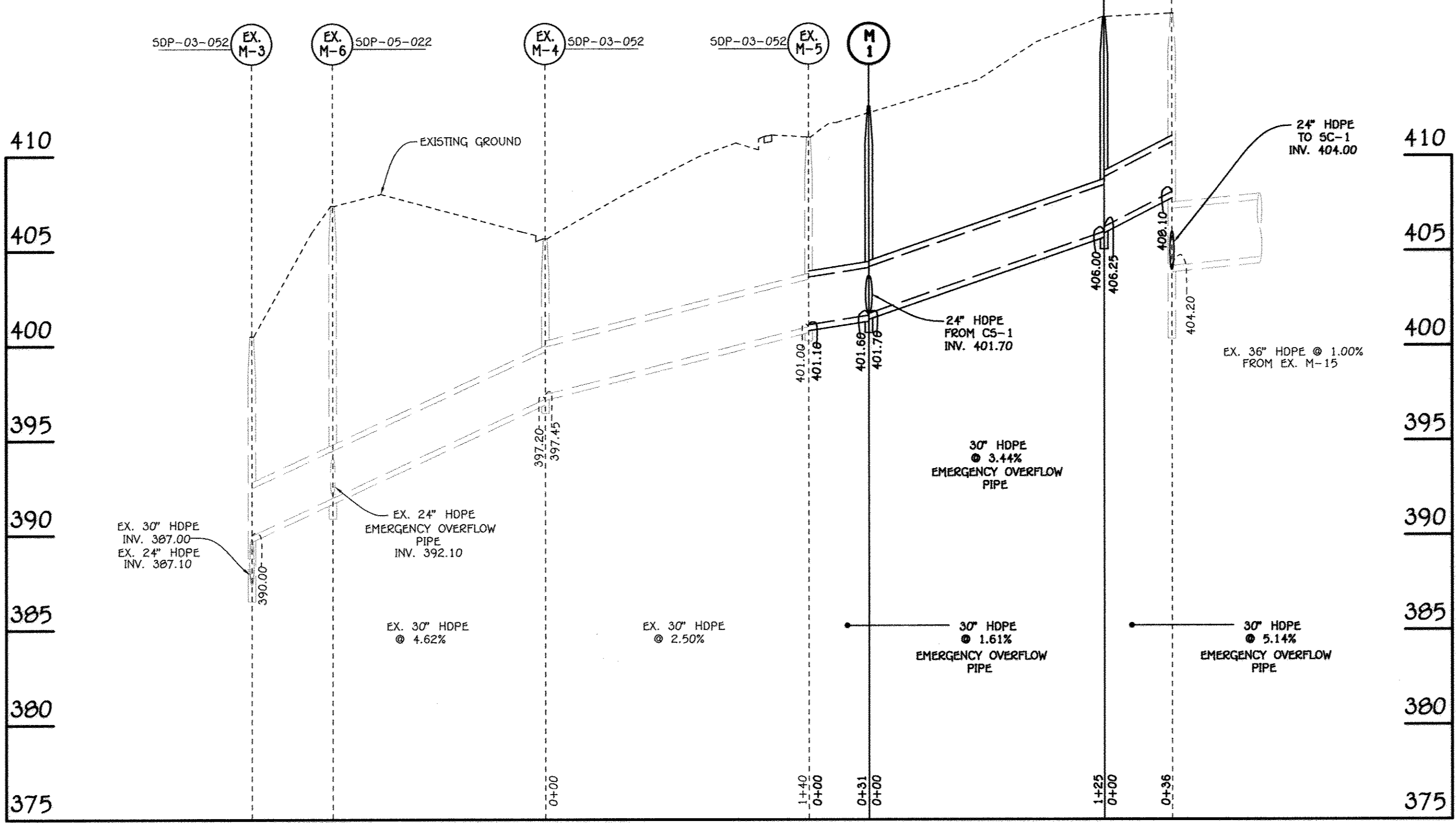
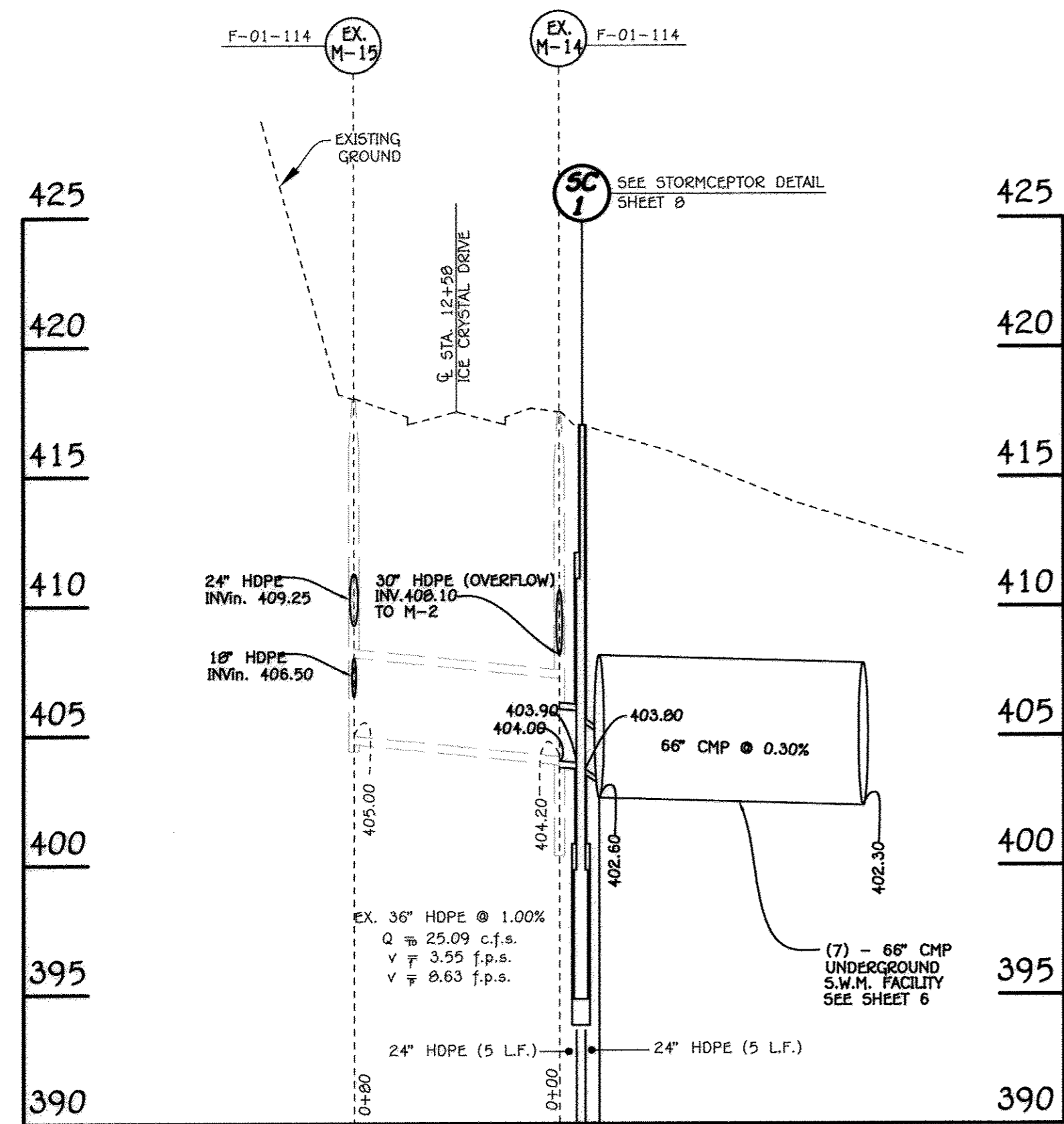
W.M. STA.	APPURTENANCE	NORTHING	EASTING
0+00.00	EX. 8" PLUG & BUTTRESS	537839.16	1340249.29
0+25.00	1/8" H.B.	537822.63	1340268.05
0+43.63	1/8" H.B.	537824.04	1340296.62
0+69.30	8" X 8" TEE	537796.48	1340317.87
0+88.30	8" VALVE	537794.23	134031.89
1+01.36	8" PLUG & BUTTRESS	537784.43	1340307.25

- NOTES:**
- TRASH RACK TO BE CENTERED OVER OPENING.
 - STEEL TO CONFORM TO ASTM A-36.
 - ALL SURFACES TO BE COATED WITH ZRC COLO GALVANIZING COMPOUND AFTER WELDING.
 - TRASH RACK TO BE FASTENED TO THE WALL WITH 1/2" MASONRY ANCHORS. TRASH RACK TO BE REMOVABLE.



CONCRETE STORMCEPTOR ORDER REQUEST FORM

CONTRACTOR INFORMATION			OFFICE USE ONLY	
NAME: GAINES CO.			ORDER #	
ADDRESS: 112 WESTMINSTER RD.			DATE	
CITY: REISTERSTOWN, STATE: MARYLAND, ZIP CODE: 21136, CONTACT: GEORGE GRAMMER, PHONE: 410-833-9823, FAX: 410-833-9823			INTERNAL SCALE	
OWNER INFORMATION		PLEASE DRAW ORIENTATION (ANGLE) OF INLET PIPES (MAX. 24 DEGREE) AND OUTLET PIPE (D) ON DIAGRAM ALONG WITH PIPE INSIDE DIAMETER (CID) AND INVERT ELEVATION (FT). CLEARLY MARK INLET PIPES WITH AN 'I' AND OUTLET PIPES WITH AN 'O' AND PROVIDE THE INLET/OUTLET PIPE ANGLE IN DEGREES.		
NAME: US HOME-CRIS FRIDERICH, PHONE: 301-431-2400, FAX: 301-408-0443				
STORMCEPTOR MODEL		INSERT SIZE		MANHOLE NUMBER
900 <input type="checkbox"/>	3600 <input type="checkbox"/>	DISC <input type="checkbox"/>	22" <input type="checkbox"/>	SC-1
1200 <input type="checkbox"/>	4800 <input type="checkbox"/>	32" <input type="checkbox"/>	36" <input type="checkbox"/>	FINISH TOP ELEVATION (FT): 417.00
1800 <input type="checkbox"/>	6000 <input type="checkbox"/>	44" <input type="checkbox"/>	CUSTOM <input type="checkbox"/>	TOP SLAB ELEVATION (FT): 412.07
2400 <input type="checkbox"/>	7200 <input type="checkbox"/>	PIPE TYPE: H.D.P.E.		
IMPERV. D. AREA = 1.96 AC.		PIPE INSIDE DIAM. (CID): 24		
		PIPE OUTSIDE DIAM. (CDD):		
PROJECT NAME: CHERRYTREE PARK - PHASE 3				
APPROXIMATE TIME FRAME UNTIL REQUIRED DELIVERY (WEEKS):				
DELIVERY ADDRESS: STREET: ICE CRYSTAL DRIVE				
CITY: SCAGGSVILLE STATE: MD ZIP CODE: 20723				
DESIGNER COMPANY: FISHER, COLLINS AND CARTER, INC.				
DESIGNER CONTACT: ALDO M. VITUCCI PHONE: 410-461-2855 FAX: 410-750-3784				
PLEASE FAX THIS ORDER TO HYDRO CONDUIT C/O CANTEK (410) 327-9556 ATTENTION: ANDREW VIROSTEK PHONE: (410) 327-3400 FOR TECHNICAL ASSISTANCE PLEASE CALL STORMCEPTOR CORPORATION AT (301) 762-6361 OR TOLL FREE AT 1 (800) 762-4703				
ALL LIFTING APPARATUS TO BE PROVIDED BY THE INSTALLATION CONTRACTOR				

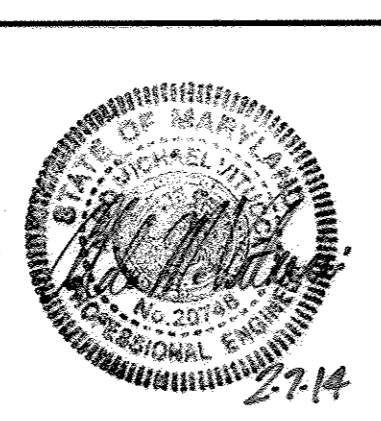


W.M. STA.	APPURTENANCE	NORTHING	EASTING
0+00.00	EX. 8" PLUG & BUTTRESS	537820.76	1340290.39
0+60.00	8" PLUG AND BUTTRESS	537862.06	1340326.77

THE PURPOSE OF THIS SITE PLAN IS TO ADD THE ADDITIONAL PROPOSED BUILDING NUMBER 8 TO THE PLANS AND REMOVE THE EXISTING LOT LINE THAT SPLITS THE LAND INTO PARCELS.

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING, CONSULTANTS & LAND SURVEYORS
 CENTENARY SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLSWORTH CITY, MARYLAND 21106
 (410) 461-2855

NO.	REVISION	DATE
1	ADDED SEWER MAIN PROFILE FOR BLDG. NO. 8	1/29/14



OWNER/DEVELOPER
 ICE CRYSTAL, L.L.C.
 2835-P COLUMBIA 100 PKWY.
 COLUMBIA, MARYLAND 21045
 (410) 730-0810
 ATTN: MR. JOHN LIPARINI

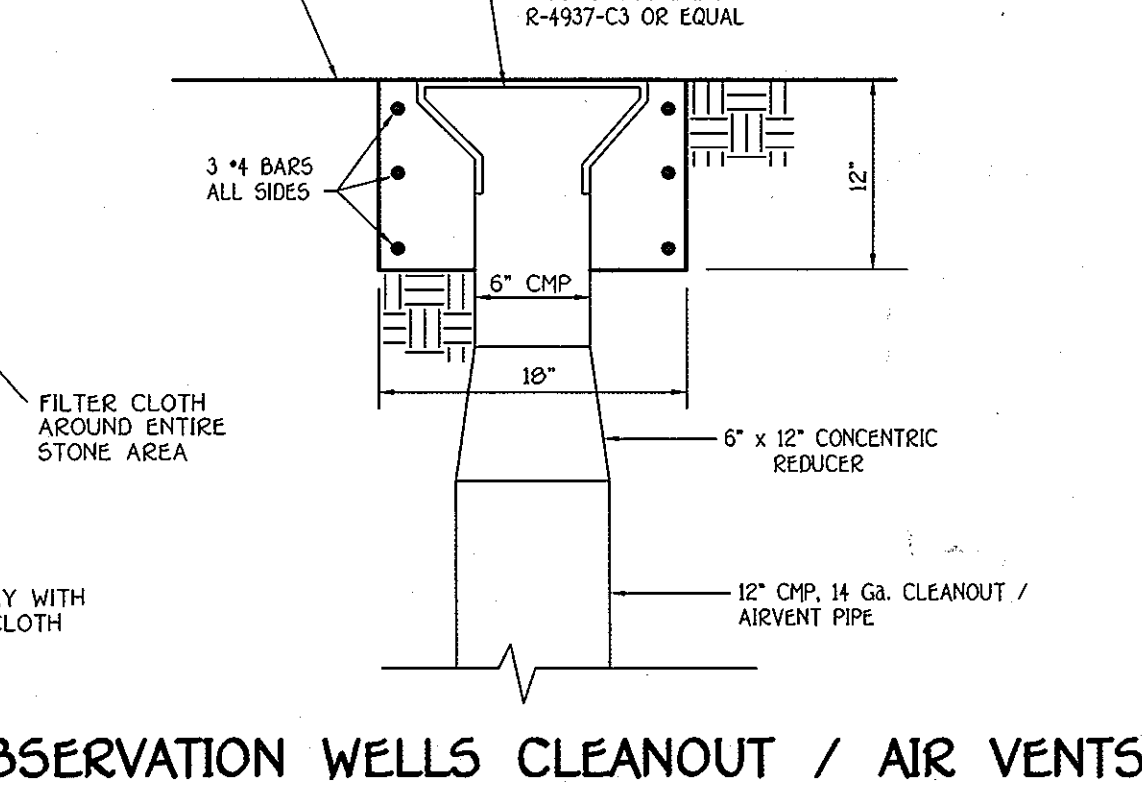
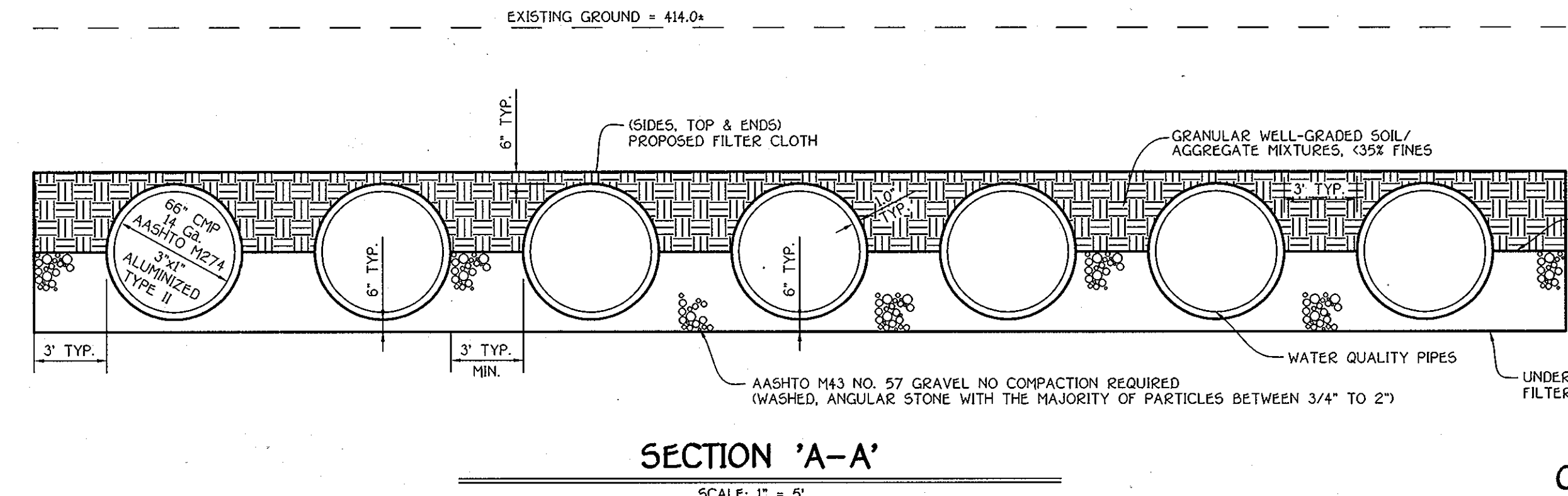
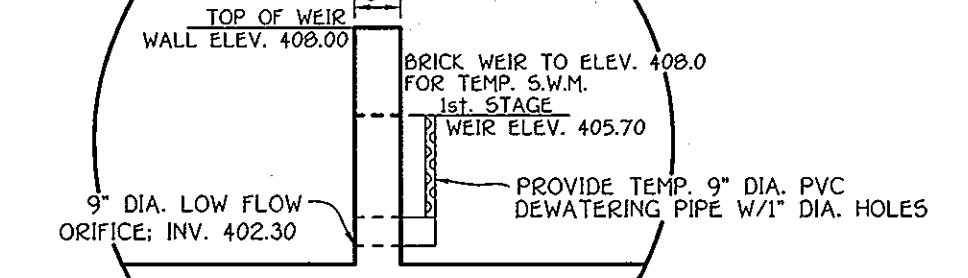
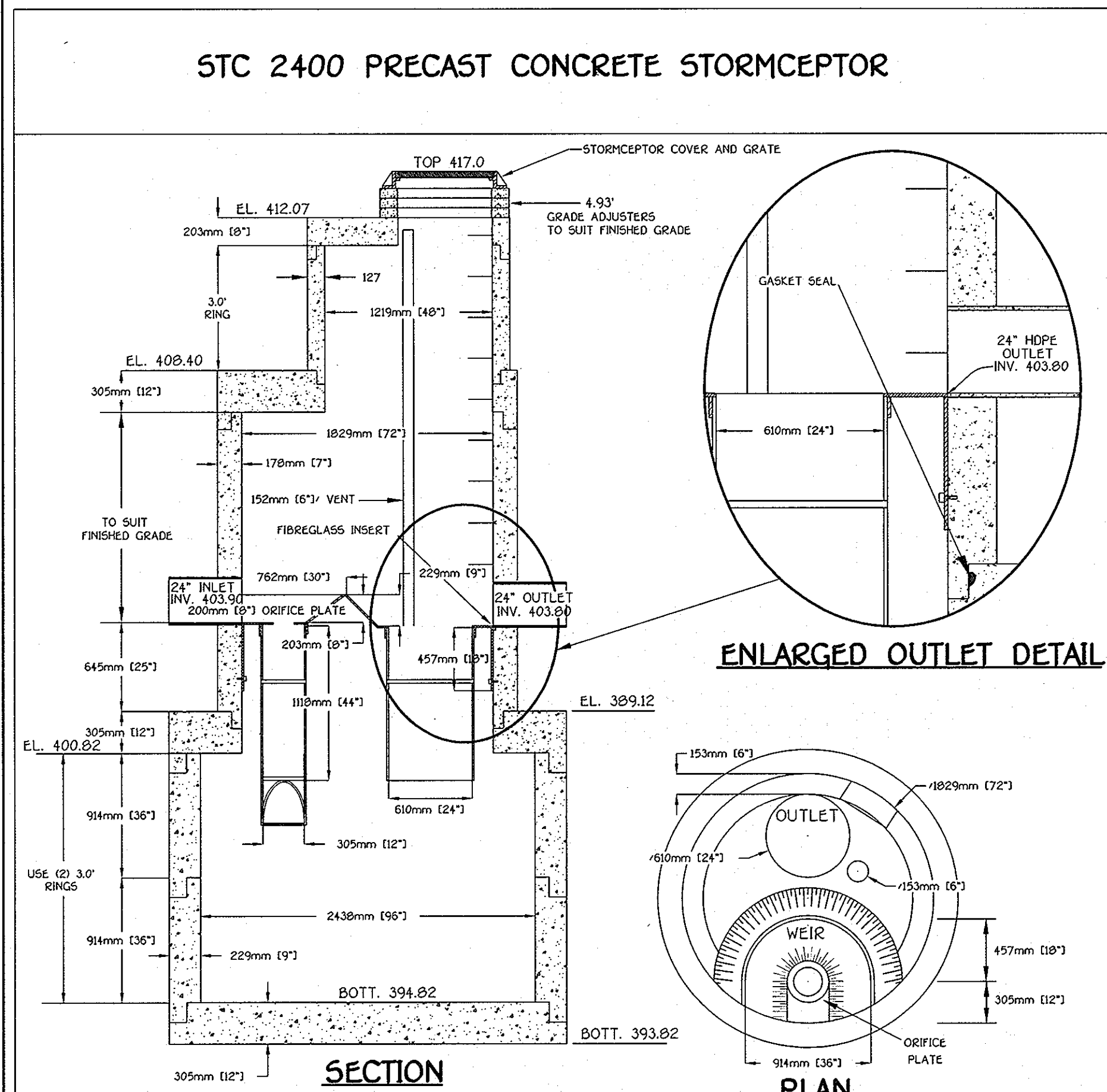
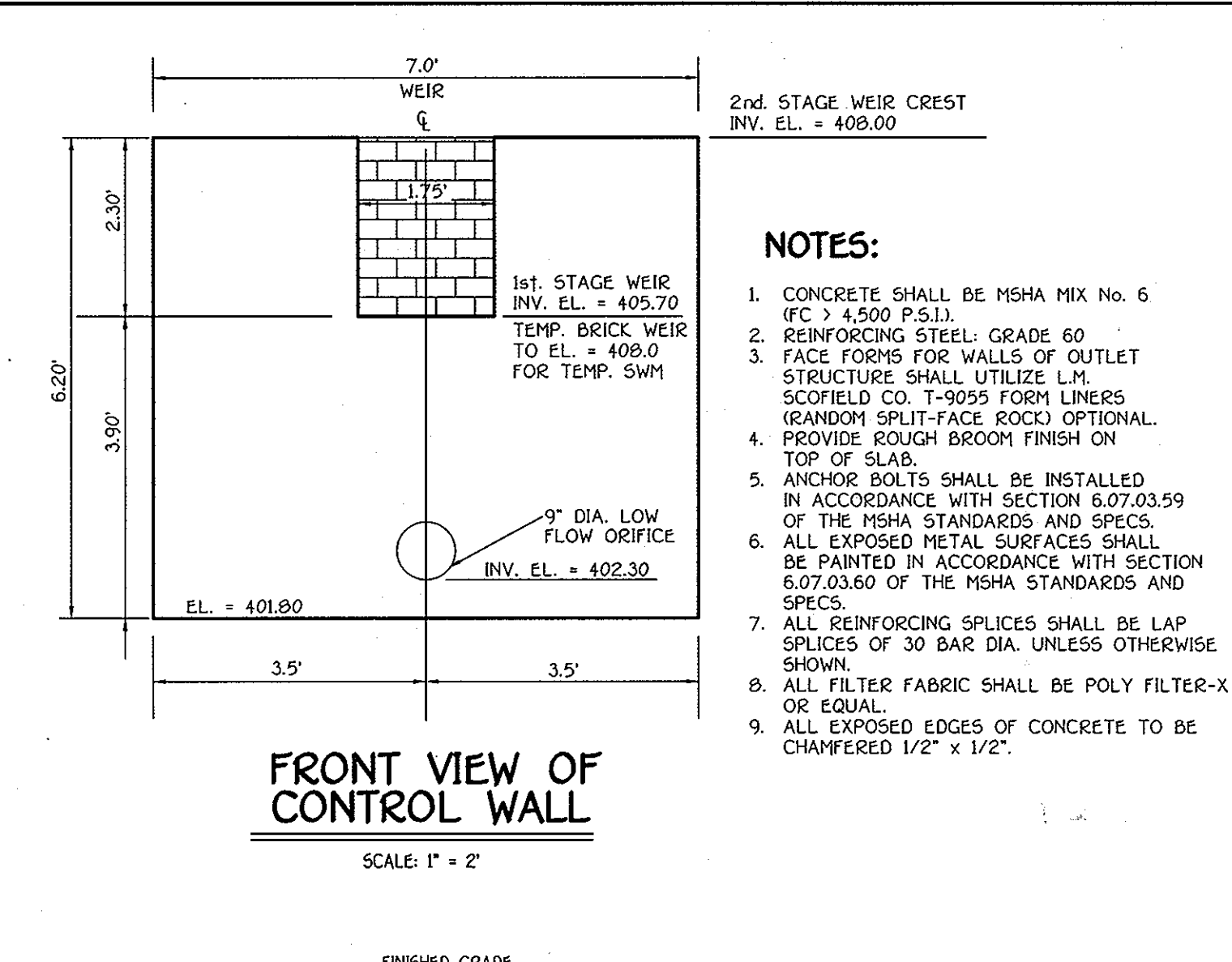
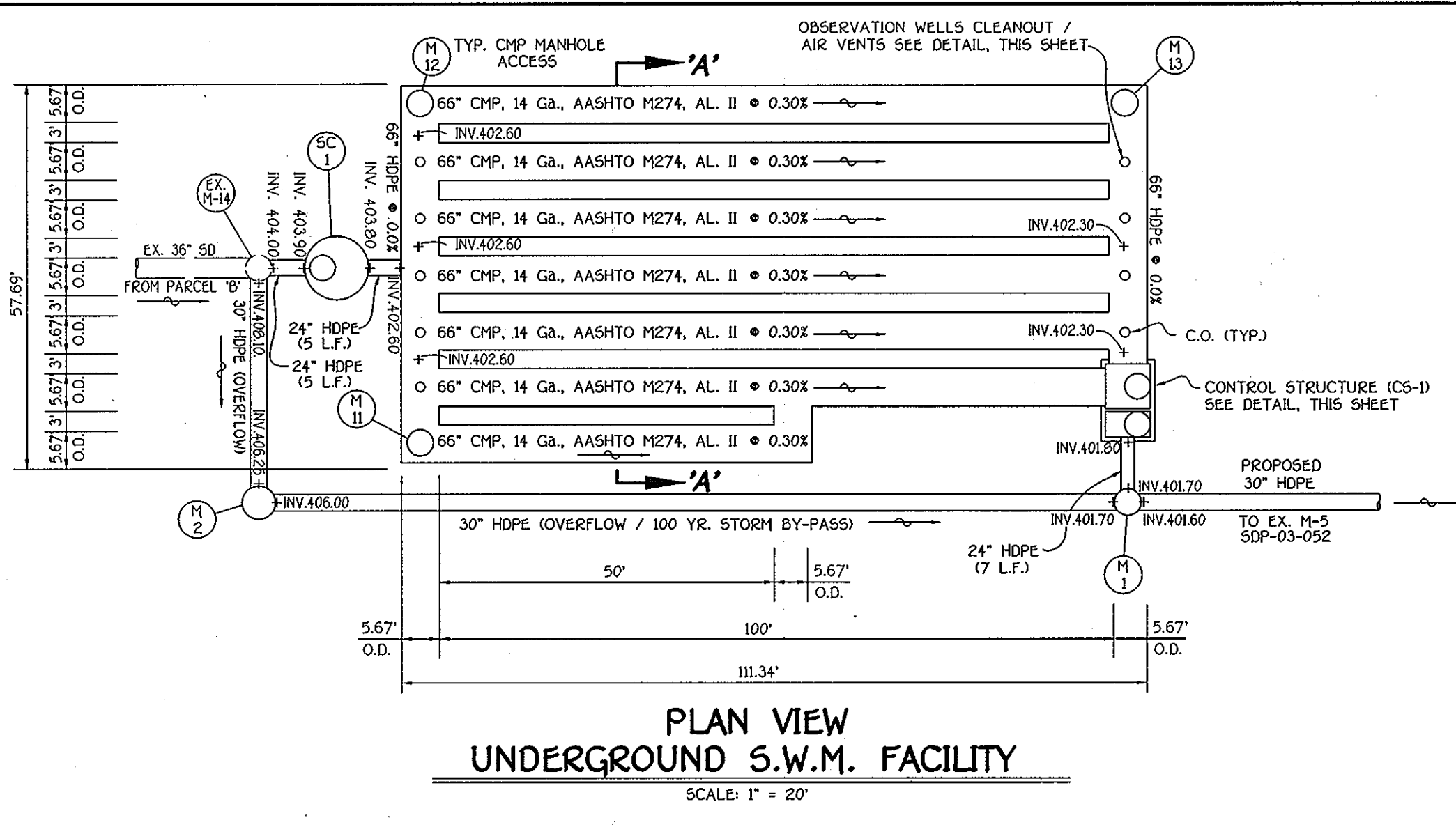
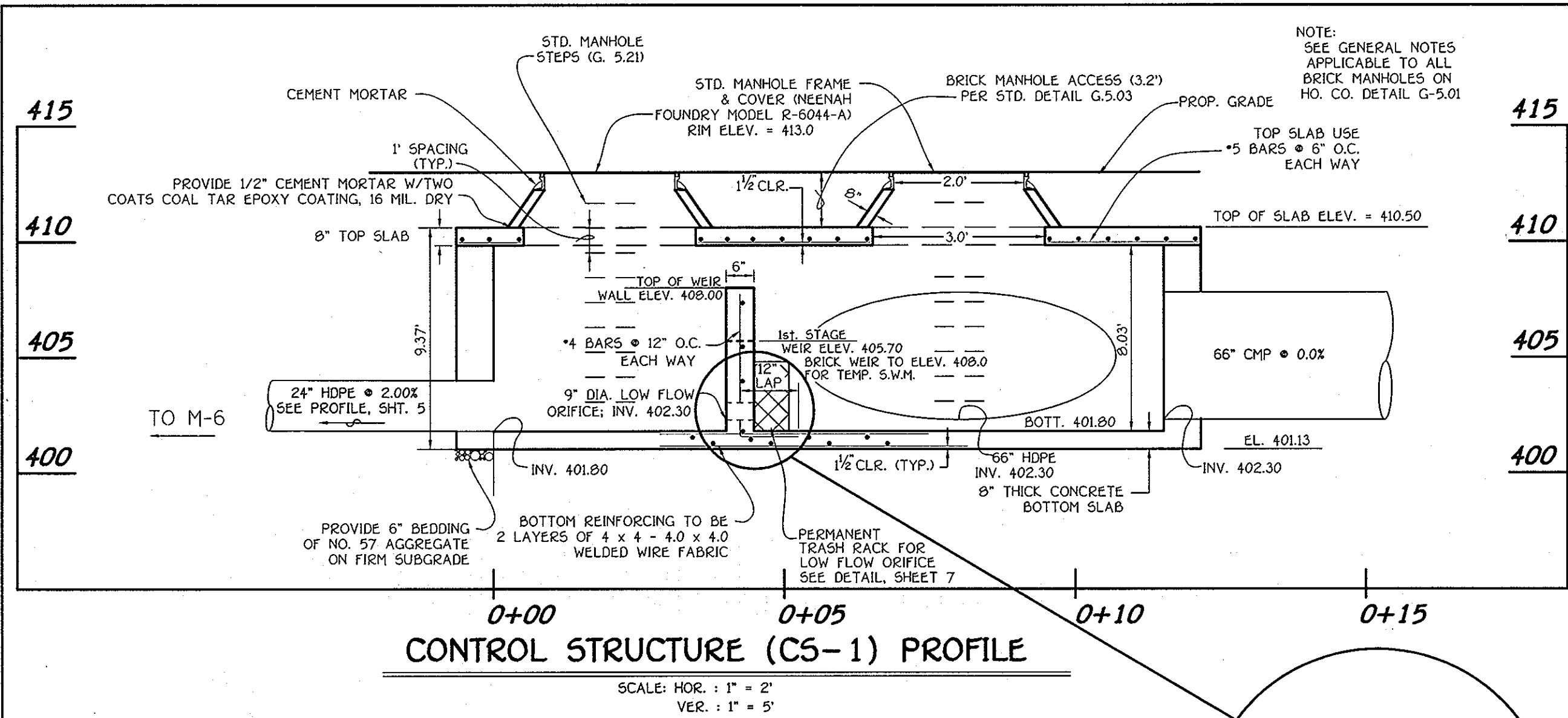
APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Division of Land Development: *[Signature]* Date: 3/10/14
 Chief, Development Engineering Division: *[Signature]* Date: 2/27/14
 Director - Department of Planning and Zoning: *[Signature]* Date: 2/19/14

PROJECT: CHERRYTREE PARK - BULK PARCEL 'K' SECTION/AREA: BLDG. UNITS 1-8 LOT NO.:

PLAT NO. 15449 - 15454	BLOCK NO. 4	ZONE MXD-6	TAX 46	ELEC. DIST. 6TH	CENSUS TR. 6088.02
20209 - 20210					
22515 - 22516					

WATER CODE: E18 SEWER CODE: 7602000

REVISED WATER & SEWER MAIN PROFILES AND STORMWATER MANAGEMENT NOTES AND DETAILS
 AGE RESTRICTED ADULT HOUSING
CHERRYTREE PARK
 CONDOMINIUM BUILDINGS 1 THRU 8
BULK PARCEL 'K', PHASES 1 AND 2
 (A RESUBDIVISION OF BULK PARCEL 'I' & 'J')
 ZONED: MXD-6
 TAX MAP No.: 46 PARCEL No.: 156
 SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST 1, 2008
 SHEET 7 OF 22



SECTION

PLAN

STORMCEPTOR IS PROTECTED BY ONE OR MORE OF THE FOLLOWING PATENTS:

- Canadian Patent No. 2,009,208
- Canadian Patent No. 2,137,942
- U.S. Patent No. 4,985,148
- U.S. Patent No. 5,498,331
- U.S. Patent No. 5,725,760
- U.S. Patent No. 5,753,115

Notes:

- Dimensions may vary regionally due to different manufacturers.
- Access way is offset to allow access to the fiberglass bypass slab and to allow inspection and maintenance from the surface.
- Pipe installation by grouting or flexible boots.
- Flexible boots may not be suitable for all installations. Please contact your sales representative for further information.
- 610 mm [24"] outlet to be used for cleanout access to the treatment chamber.
- Safety grates for the 610 mm [24"] outlet are available.

DATE REQ'D: 10/28/98

SCALE: NO SCALE

STC 2400 PRECAST CONCRETE STORMCEPTOR

FIBREGLASS DISC DESIGN - 2400 U.S. GALLON CAPACITY

MAINTENANCE NOTES WATER QUALITY STRUCTURE WASTE

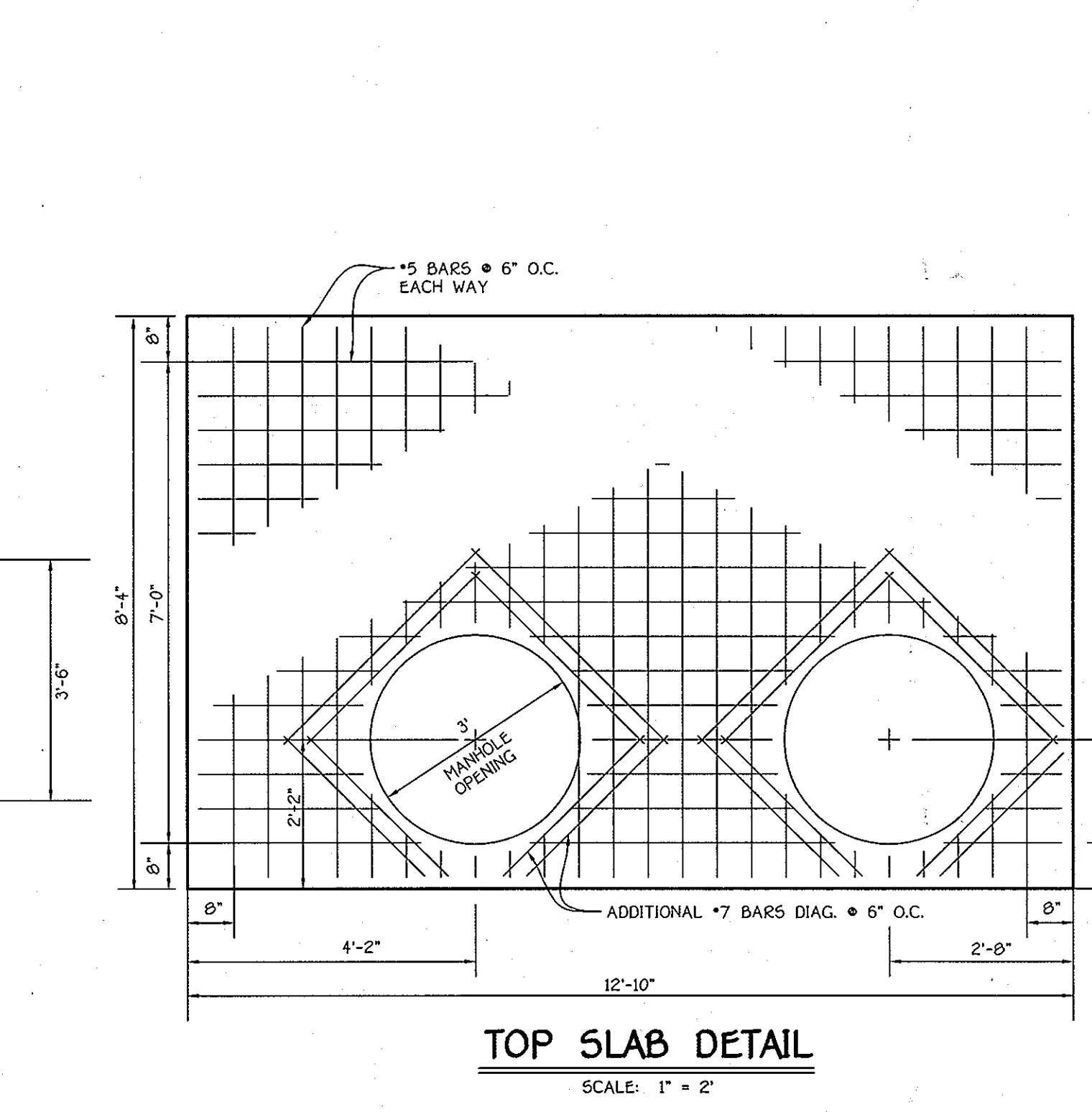
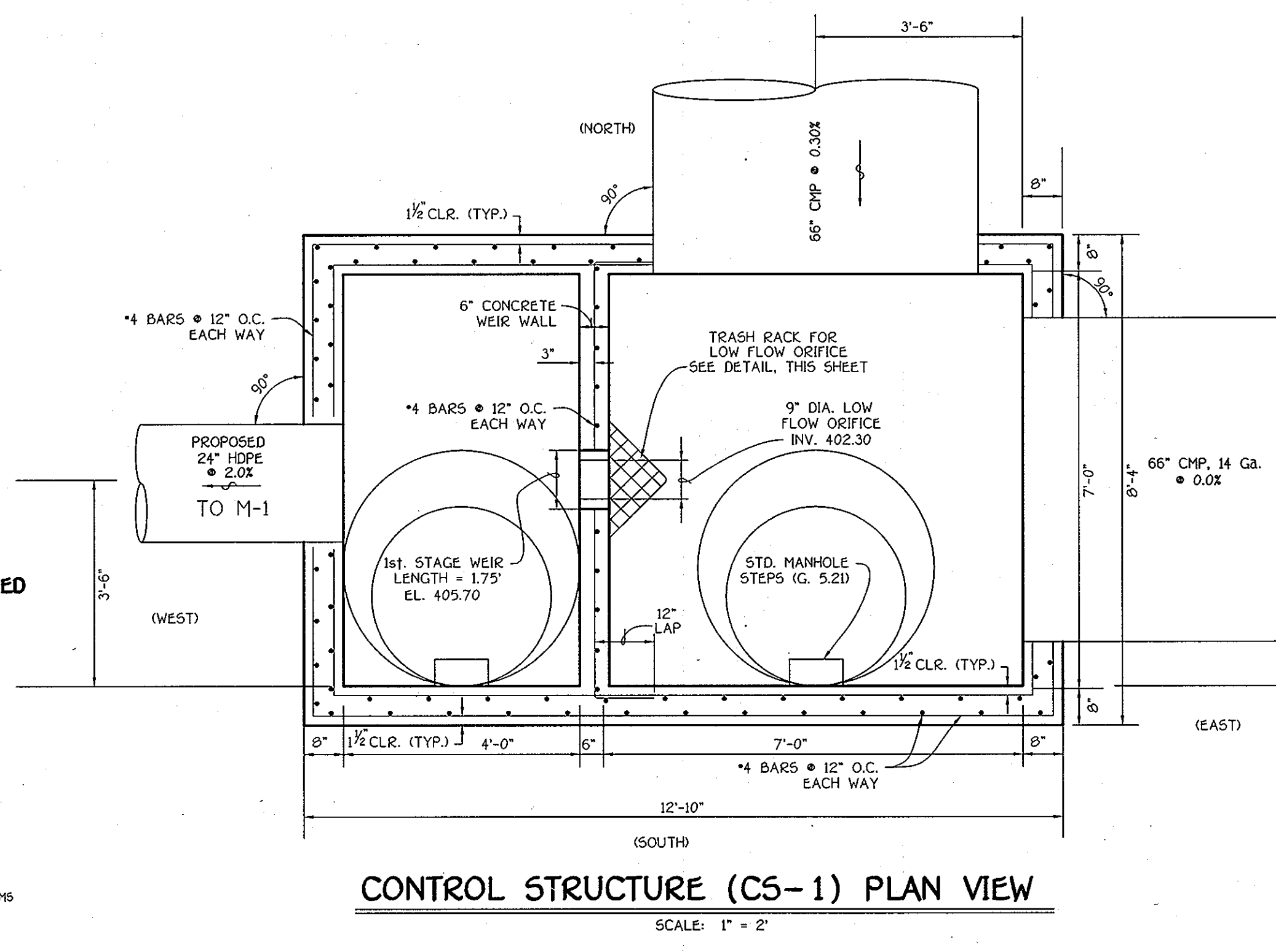
- Water quality structures will require periodic cleaning. Owners of these facilities will have to clean them as needed.
- Maintenance of these facilities will consist of cleaning out the stormceptor and disposal of the waste and repair of the facility as needed. Periodic inspections of these facilities will be made by the owner.
- The disposal of the liquid and solid matter shall be as follows:
 - All liquid material in the stormceptor shall be pumped into a suitable tank truck and disposed of at an approved sanitary district discharge manhole or be taken to an approved sewage treatment plant for discharge.
 - The solid material shall be landfilled in an approved sanitary landfill.
- The inlet pipes and structural parts shall be repaired as needed.
- Stormceptor inlet and outlet assembly shall be periodically inspected. Blockages shall be removed and disposed of as required in 3B above.

OPERATION AND MAINTENANCE SCHEDULE FOR STORMCEPTOR WATER QUALITY DEVICE

- Stormceptor water quality structures will require periodic inspection and cleaning to maintain operation and function. Owners will have the Stormceptor unit inspected yearly or as required by Howard County, utilizing the Stormceptor Inspection/Monitoring Form. Inspections can be done by using a clear Plexiglas tube ("sludge judge") to extract a water column sample. When sediment depths exceed the specified level (Table 9 of Technical Manual) then cleaning of the unit is required.
- Stormceptor water quality structures must be checked and cleaned immediately after petroleum spills, contact appropriate regulatory agencies.
- Maintenance of stormceptor units should be done by a vacuum truck which will remove the water, sediment, debris, floating hydrocarbons and other materials in unit. The proper cleaning and disposal of the removed materials and liquid must be followed.
- Inlet and outlet pipes must be checked for any obstructions and if any obstructions are found they must be removed. Structural parts of the Stormceptor will be repaired as needed.
- Owner shall retain and make Stormceptor Inspection/Monitoring Forms available to Howard County officials upon their request.

OPERATION AND MAINTENANCE SCHEDULE FOR H.O.A. OWNED AND MAINTAINED UNDERGROUND S.W.M. FACILITY

- H.O.A. ROUTINE MAINTENANCE RESPONSIBILITIES:**
 - The UNDERGROUND S.W.M. FACILITY SHALL BE INSPECTED ANNUALLY AND AFTER MAJOR STORMS. INSPECTIONS SHOULD BE PERFORMED DURING WET WEATHER TO DETERMINE IF THE FACILITY IS FUNCTIONING PROPERLY.
 - MAINTENANCE OF THE 66-INCH PIPES SHALL BE PERFORMED BY FLUSHING THE SYSTEM THROUGH THE CLEAN-OUTS PROVIDED AND BY VACUUMING AT MANHOLE M-10. THE DISCHARGE ORIFICE OF THE UNDERGROUND S.W.M. FACILITY SHALL BE TEMPORARILY BLOCKED DURING SAID MAINTENANCE OPERATION.
 - DISPOSAL OF MATERIAL SHALL BE IN ACCORDANCE WITH SIMILAR D.M.P. THAT RANGE FROM DISPOSAL IN A SANITARY LANDFILL TO INCINERATION IN A LICENSED FACILITY. PETROLEUM WASTE PRODUCTS SHALL BE REMOVED BY A LICENSED WASTE MANAGEMENT COMPANY.
- H.O.A. NON-ROUTINE MAINTENANCE:**
 - STRUCTURAL COMPONENTS OF THE UNDERGROUND FACILITY SUCH AS THE STORMCEPTOR, MANHOLES, PIPES AND ORIFICE SHALL BE REPAIRED UPON DETECTION OF ANY DAMAGE. THE COMPONENTS SHOULD BE INSPECTED DURING ROUTINE MAINTENANCE OPERATIONS. INSPECTION REPORTS SHALL BE KEPT UNTIL THE NEXT SUBSEQUENT INSPECTION.
 - PROBLEMS IDENTIFIED DURING INSPECTION WILL BE PROMPTLY CORRECTED. MAJOR PROBLEMS SHALL ALSO BE BROUGHT TO THE ATTENTION OF THE HOWARD COUNTY DEPT. OF PUBLIC WORKS TO INSURE THAT PUBLIC SAFETY IS MAINTAINED. BLOCKED DURING SAID MAINTENANCE OPERATION.



NO.	REVISION	DATE
1	APPROVED BUILDING & TO PLANS	1/27/18

ENGINEER'S CERTIFICATE

I, the undersigned, a duly licensed Professional Engineer in the State of Maryland, certify that the information furnished herein is true and correct and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, License No. 20748, Expiration Date 2-22-09.

DEVELOPER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

OWNER/DEVELOPER

ICE CRYSTAL, L.L.C.
8835-P COLUMBIA 100 PKWY.
COLUMBIA, MARYLAND 21045
(410) 730-0810
ATTN: MR. JOHN LIPARINI

PLAT NO.	BLOCK NO.	ZONE	TAX	ELEC. DIST.	CENSUS TR.
15449 - 15454	4	MXD-6	46	6TH	6068.02

STORMWATER MANAGEMENT NOTES AND DETAILS

AGE RESTRICTED ADULT HOUSING
CHERRYTREE PARK
CONDOMINIUM BUILDINGS 1 THRU 8
BULK PARCEL 'K', PHASES 1 AND 2
(A RESUBDIVISION OF BULK PARCEL 'I' & 'J')

TAX MAP No: 46 PARCEL No: 156
SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST 1, 2008
SHEET 8 OF 22

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 481 - 2995

APPROVED
PLANNING BOARD
OF HOWARD COUNTY

APPROVED
DATE: JULY 17, 2008

Reviewed for HOWARD SCD and meets Technical Requirements.

U.S.D.A.-Natural Resources Conservation Service
This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

OWNER/DEVELOPER
ICE CRYSTAL, L.L.C.
8835-P COLUMBIA 100 PKWY.
COLUMBIA, MARYLAND 21045
(410) 730-0810
ATTN: MR. JOHN LIPARINI

PROJECT	SECTION/AREA	LOT NO.
CHERRYTREE PARK - BULK PARCEL 'K'	---	BLDG. UNITS 1-8

STORMWATER MANAGEMENT NOTES AND DETAILS

AGE RESTRICTED ADULT HOUSING
CHERRYTREE PARK
CONDOMINIUM BUILDINGS 1 THRU 8
BULK PARCEL 'K', PHASES 1 AND 2
(A RESUBDIVISION OF BULK PARCEL 'I' & 'J')

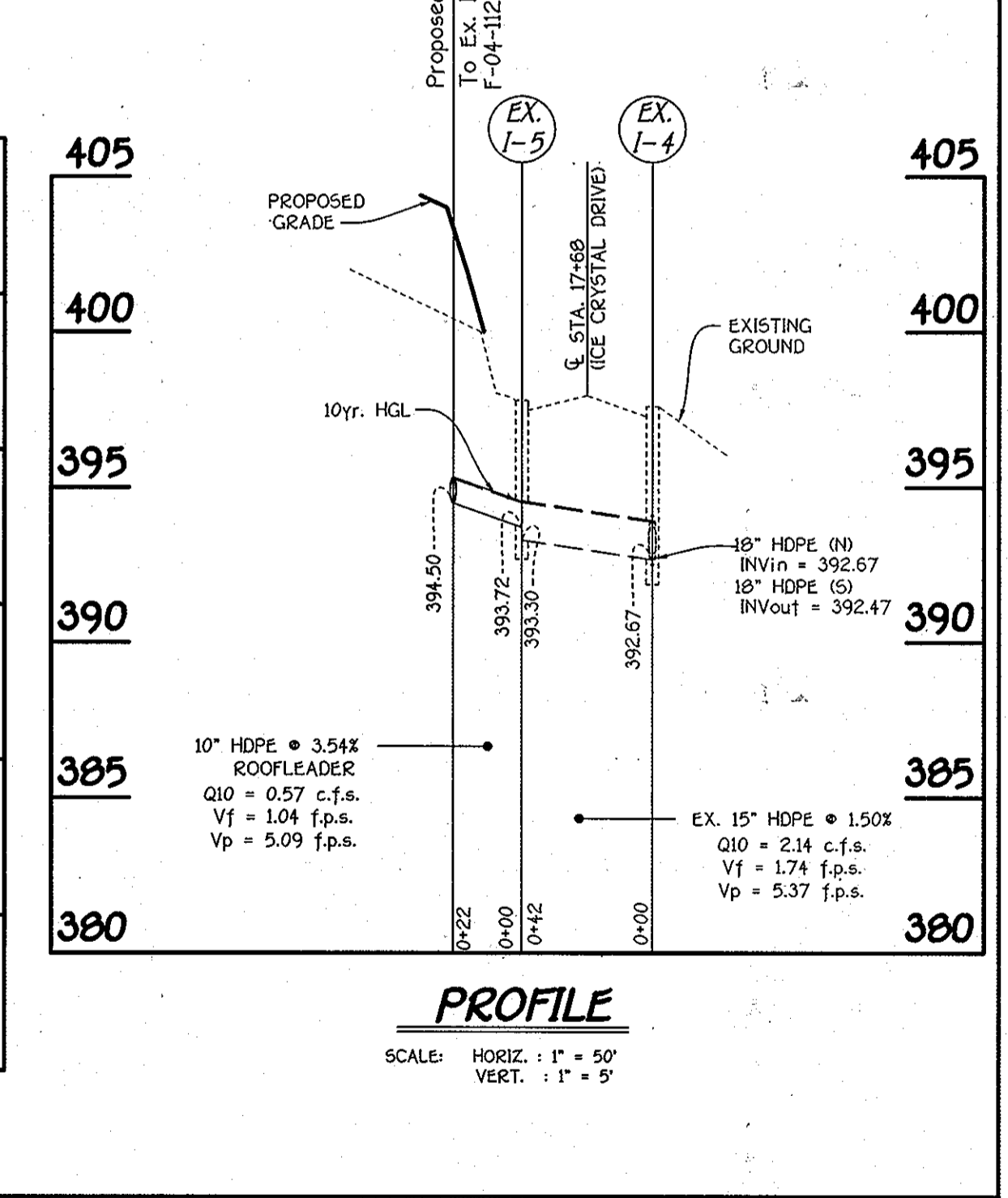
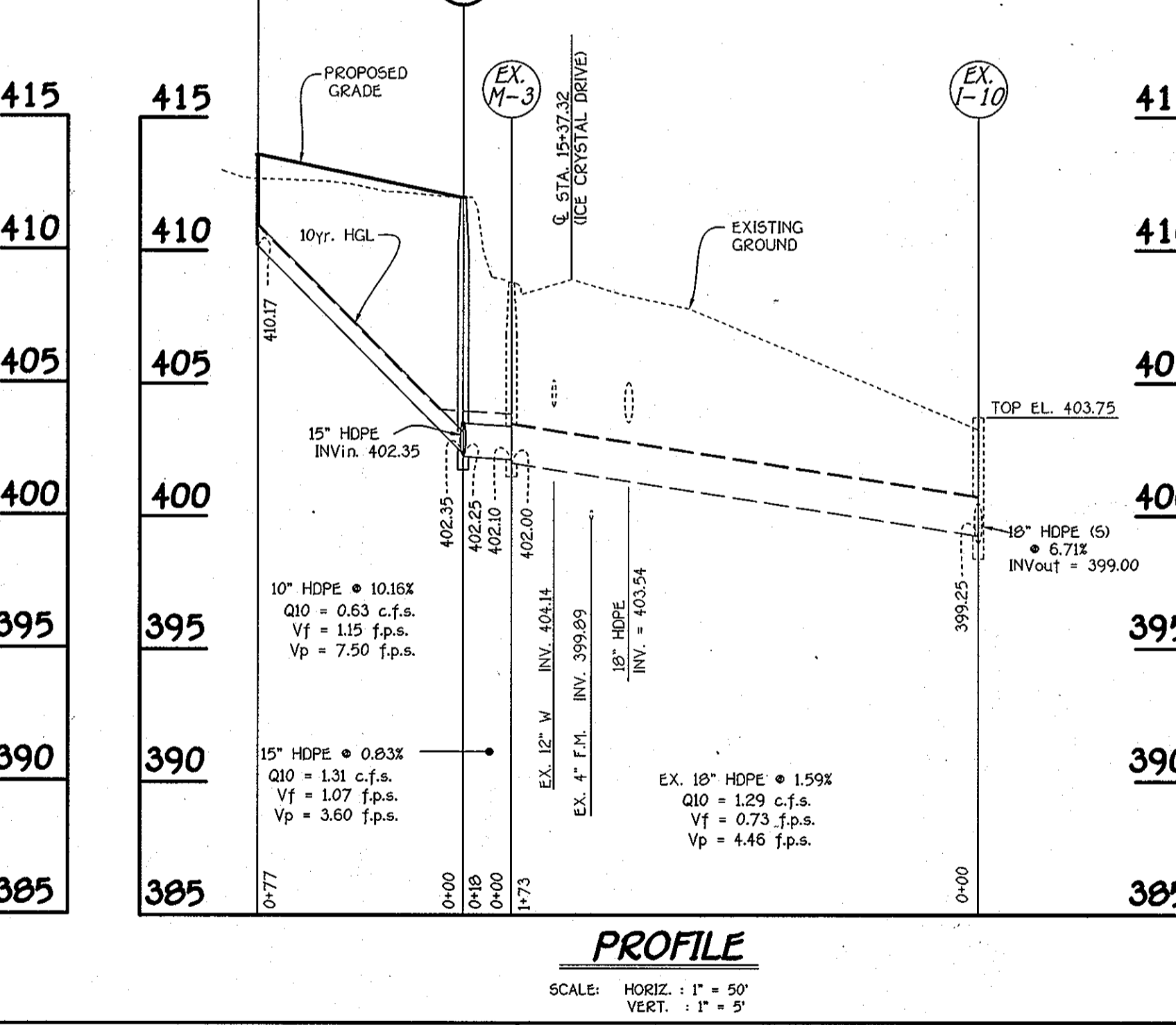
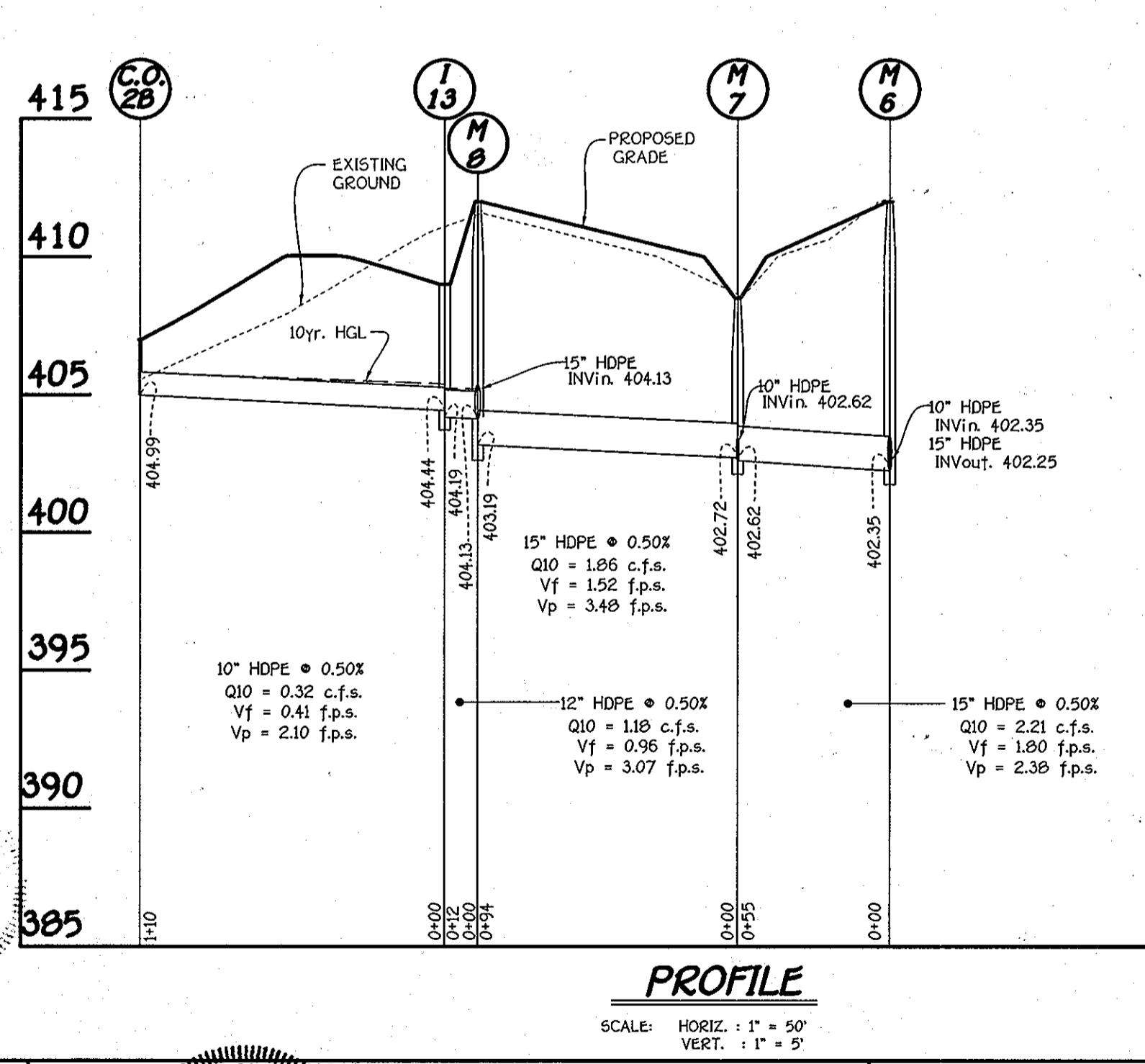
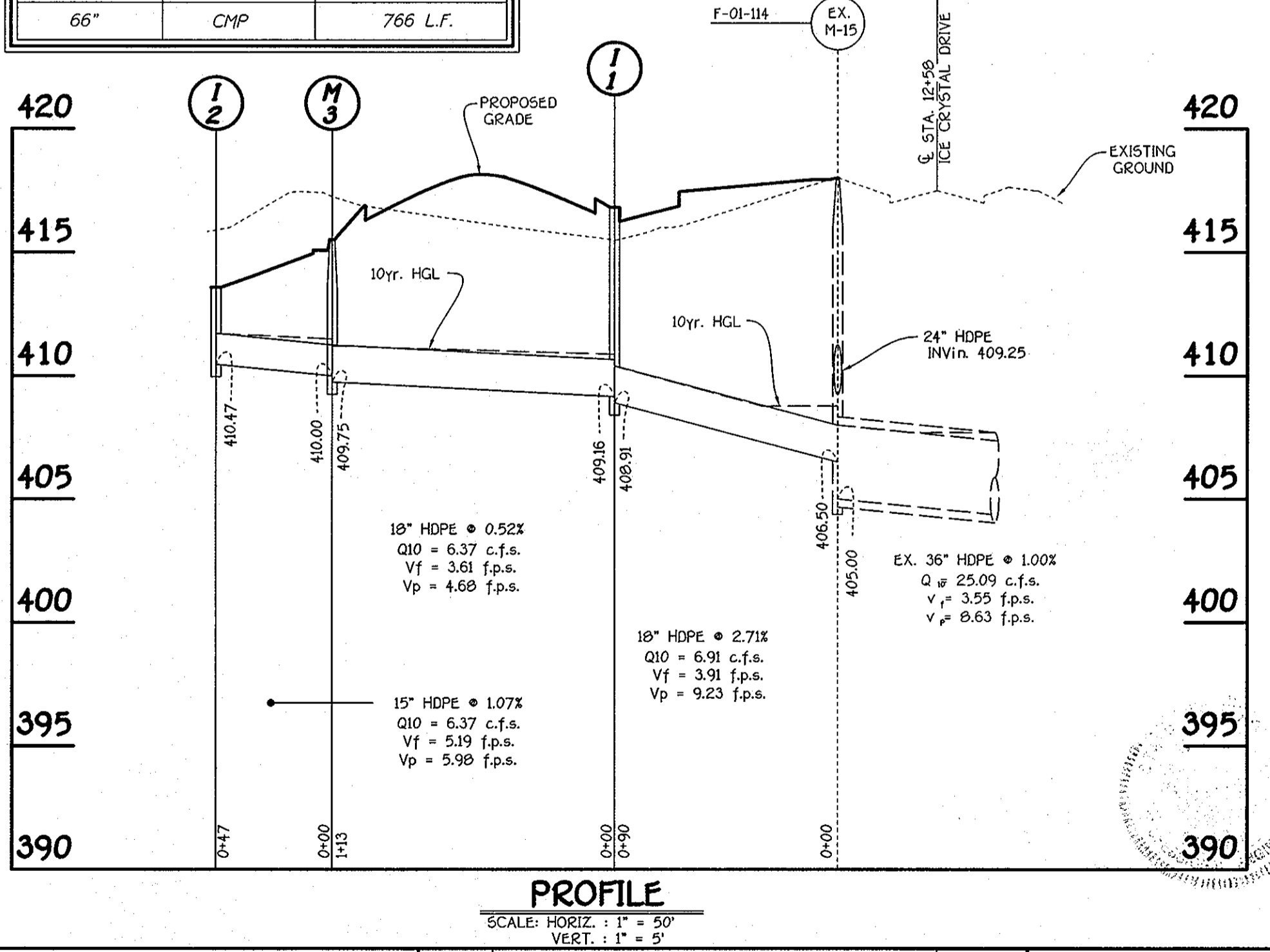
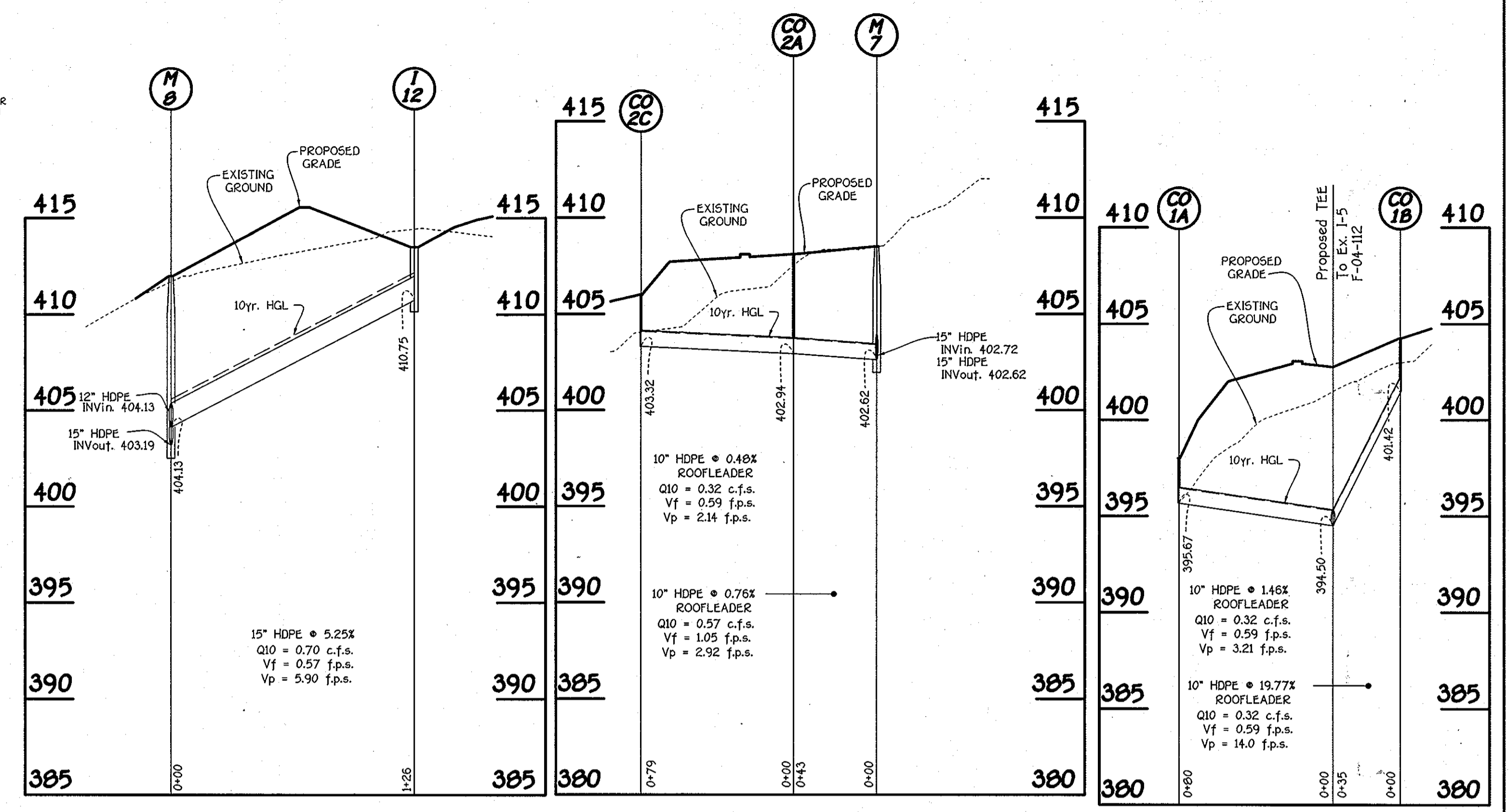
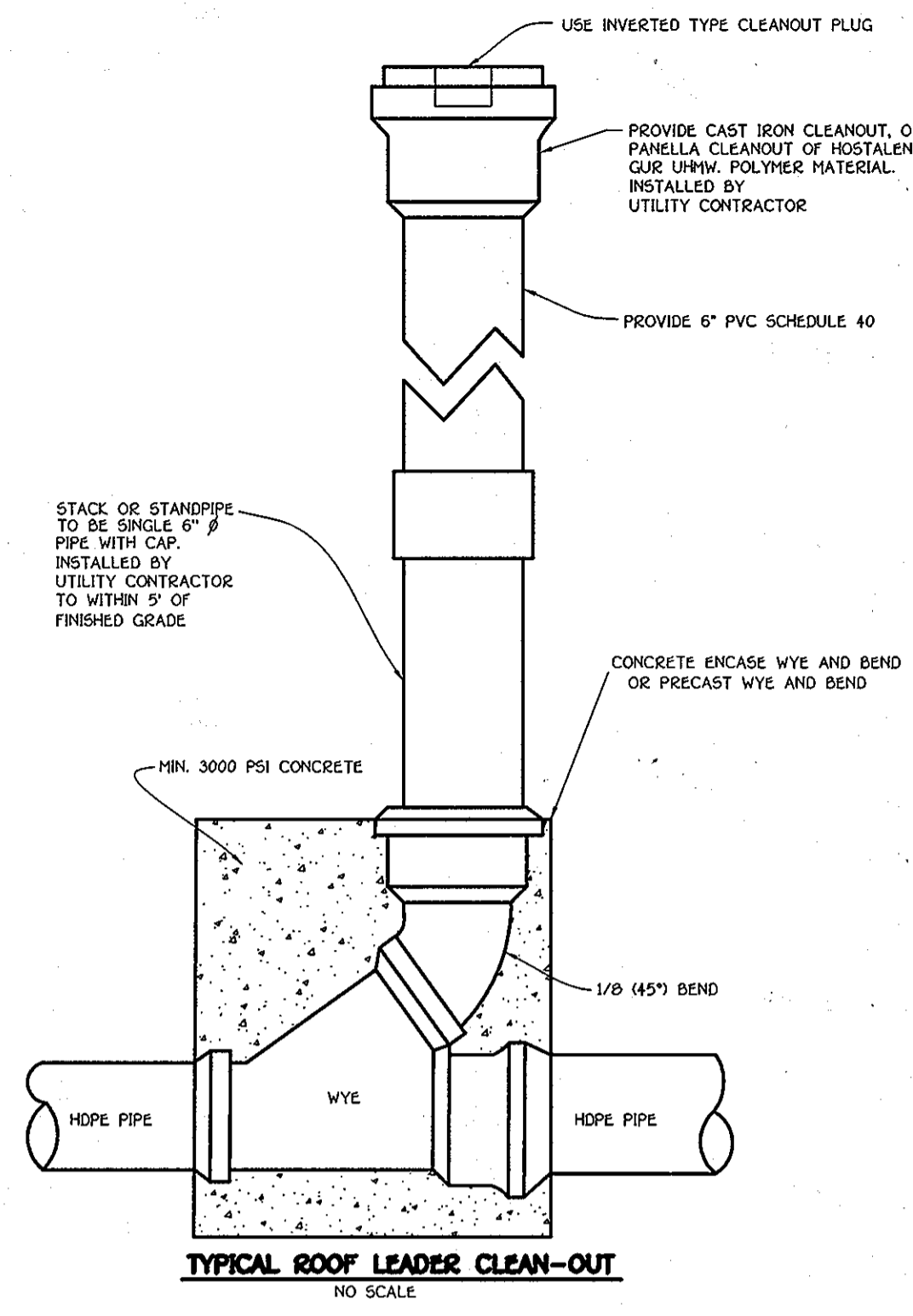
TAX MAP No: 46 PARCEL No: 156
SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST 1, 2008
SHEET 8 OF 22

STRUCTURE SCHEDULE							
STRUCTURE NO.	TOP ELEVATION	INV. IN	INV. OUT	LOCATION		TYPE	REMARKS
				NORTH	EAST		
I-1	416.83	409.16	408.91	N 537302.70	E 1339937.81	A-5	D - 4.01
I-2	413.58	-----	410.47	N 537334.29	E 1339809.60	A-10	D - 4.03
I-3	419.87	416.79, 410.39	410.14	N 537413.87	E 1340033.04	A-5	D - 4.01
I-4	421.58	413.15	412.90	N 537555.89	E 1340005.20	A-10	D - 4.03
I-5	423.86	418.75, 413.89	413.64	N 537592.55	E 1340037.26	A-5	D - 4.01
I-5A	422.00	419.01	418.84	N 537584.47	E 1340042.48	YARD	D - 4.14
I-6	426.28	422.49, 415.67	415.42	N 537707.75	E 1340138.89	A-10	D - 4.03
I-7	426.00	422.83	422.66	N 537688.29	E 1340161.23	YARD	D - 4.14
I-8	427.98	416.92	416.67	N 537807.84	E 1340226.99	A-10	D - 4.03
I-12	413.50	-----	410.75	N 537274.81	E 1339794.01	YARD	D - 4.14
I-13	409.00	404.44	404.19	N 537176.39	E 1339698.59	YARD	D - 4.14
I-14	404.00	-----	401.51	N 537081.67	E 1339619.51	YARD	D - 4.14
I-15	403.46	-----	400.00	N 537033.88	E 1339532.97	A-5	D - 4.01
I-16	394.58	389.25	389.00	N 536899.26	E 1339525.00	A-10	D - 4.03
M-1	412.50	401.70, 401.70	401.60	N 537203.73	E 1340130.38	PRECAST MANHOLE	G - 5.13
M-2	417.30	406.25	406.00	N 537286.70	E 1340036.25	PRECAST MANHOLE	G - 5.13
M-3	415.92	410.00	409.75	N 537366.84	E 1339844.14	PRECAST MANHOLE	G - 5.12
M-4	420.82	412.07	411.82	N 537493.47	E 1339951.26	PRECAST MANHOLE	G - 5.12
M-5	430.00	419.18	419.08	N 537938.77	E 1340378.37	PRECAST MANHOLE	G - 5.12
M-5A	430.00	418.73	418.63	N 537965.22	E 1340339.91	PRECAST MANHOLE	G - 5.12
M-5B	430.50	417.94	417.84	N 537895.88	E 1340280.13	PRECAST MANHOLE	G - 5.12
M-5C	429.50	417.53	417.43	N 537855.60	E 1340274.66	PRECAST MANHOLE	G - 5.12
M-6	412.00	402.35, 402.35	402.25	N 537158.02	E 1339815.40	PRECAST MANHOLE	G - 5.12
M-7	408.50	402.72, 402.62	402.62	N 537116.61	E 1339779.33	PRECAST MANHOLE	G - 5.12
M-8	412.00	404.13, 404.13	403.19	N 537179.94	E 1339710.46	PRECAST MANHOLE	G - 5.12
M-10	403.00	398.00, 398.00	397.75	N 537012.88	E 1339545.78	PRECAST MANHOLE	G - 5.12
SC-1	417.00	403.90	403.80	N 537307.42	E 1340067.72	STORMCEPTOR	MODEL STC 2400
S-1	421.00	-----	419.50	N 537962.31	E 1340400.60	** 18" END SECTION. SEE ADS INFO BELOW.	

* DENOTES THROAT ELEVATION

SIZE	CLASS	LENGTH
10"	HDPE	893 L.F.
12"	HDPE	148 L.F.
15"	HDPE	539 L.F.
18"	HDPE	482 L.F.
24"	HDPE	676 L.F.
30"	HDPE	192 L.F.
66"	CMP	766 L.F.

CLEAN-OUT SCHEDULE						
STRUCTURE NO.	TOP ELEVATION	INVERT	LOCATION		TYPE	REMARKS
			NORTH	EAST		
C.O.-1A	398.00	395.67	N 536939.62	E 1339597.76		SEE DETAIL THIS SHEET
C.O.-1B	404.25	401.42	N 537026.08	E 1339673.98		
C.O.-2A	408.10	402.94	N 537000.50	E 1339739.65		
C.O.-2B	407.00	404.99	N 537094.26	E 1339823.64		
C.O.-2C	406.00	403.32	N 537041.13	E 1339887.28		
C.O.-2D	413.60	410.17	N 537236.41	E 1339866.29		
C.O.-5A	422.71	419.17	N 537525.38	E 1339987.29		
C.O.-5B	422.00	417.95	N 537454.72	E 1340068.85		
C.O.-5C	422.00	419.59	N 537515.64	E 1340126.43		
C.O.-6A	426.00	423.17	N 537647.88	E 1340259.96		
C.O.-7A	428.00	425.17	N 537896.89	E 1340299.84		



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 BELTSVILLE CITY, MARYLAND 21152
 (410) 481-2555

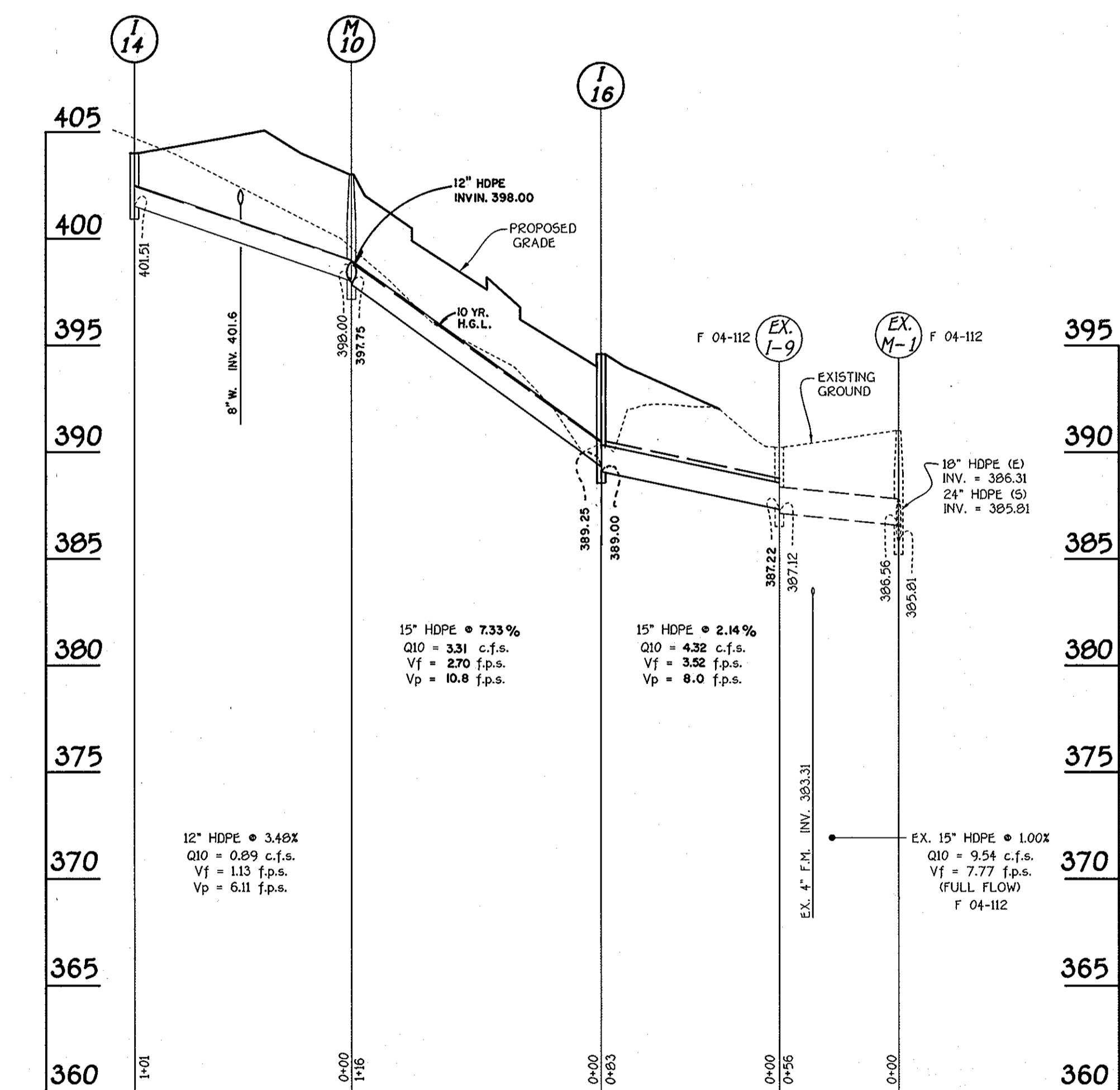
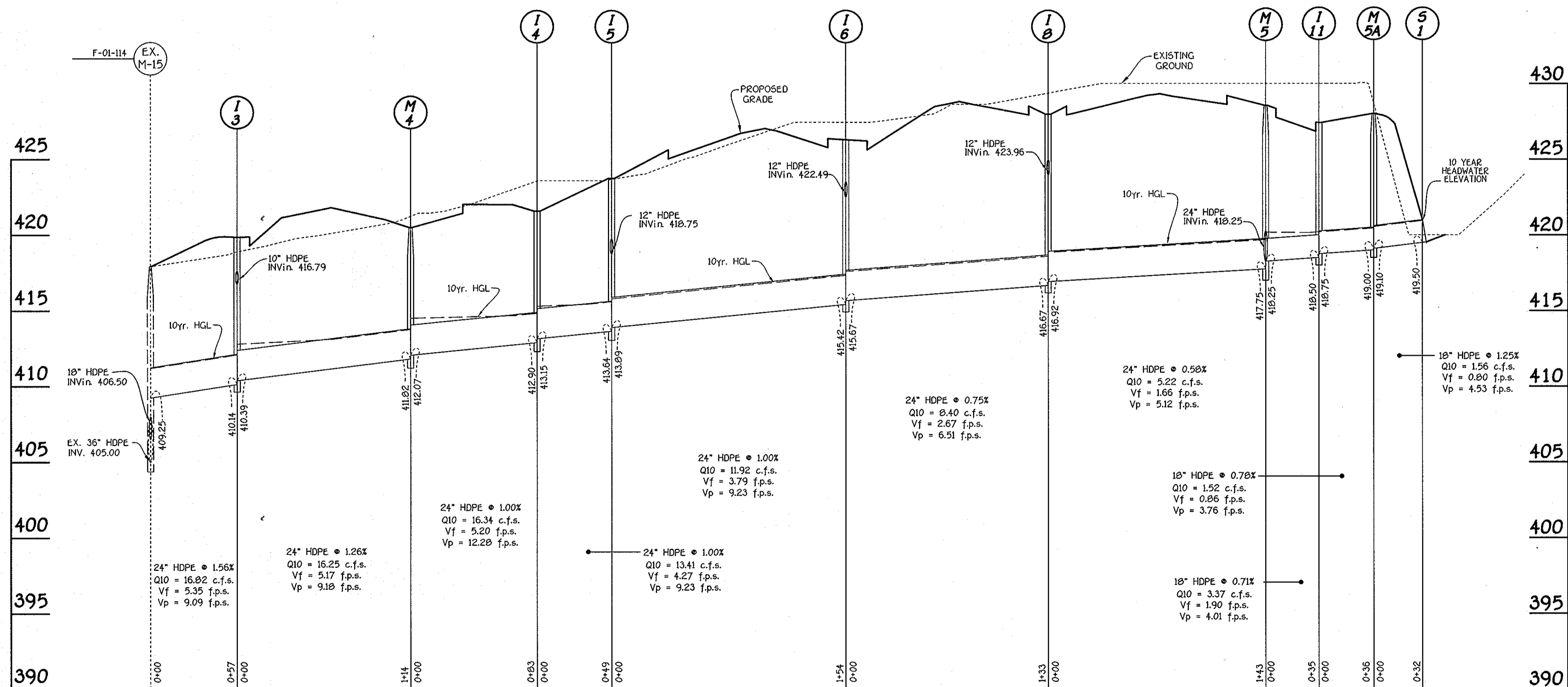
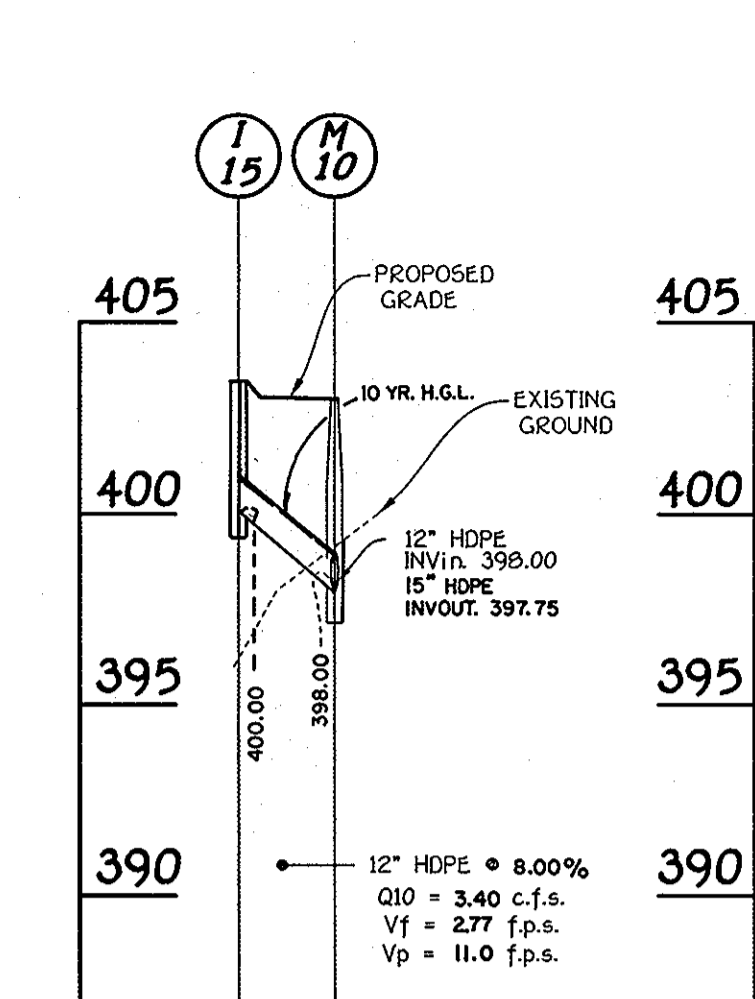
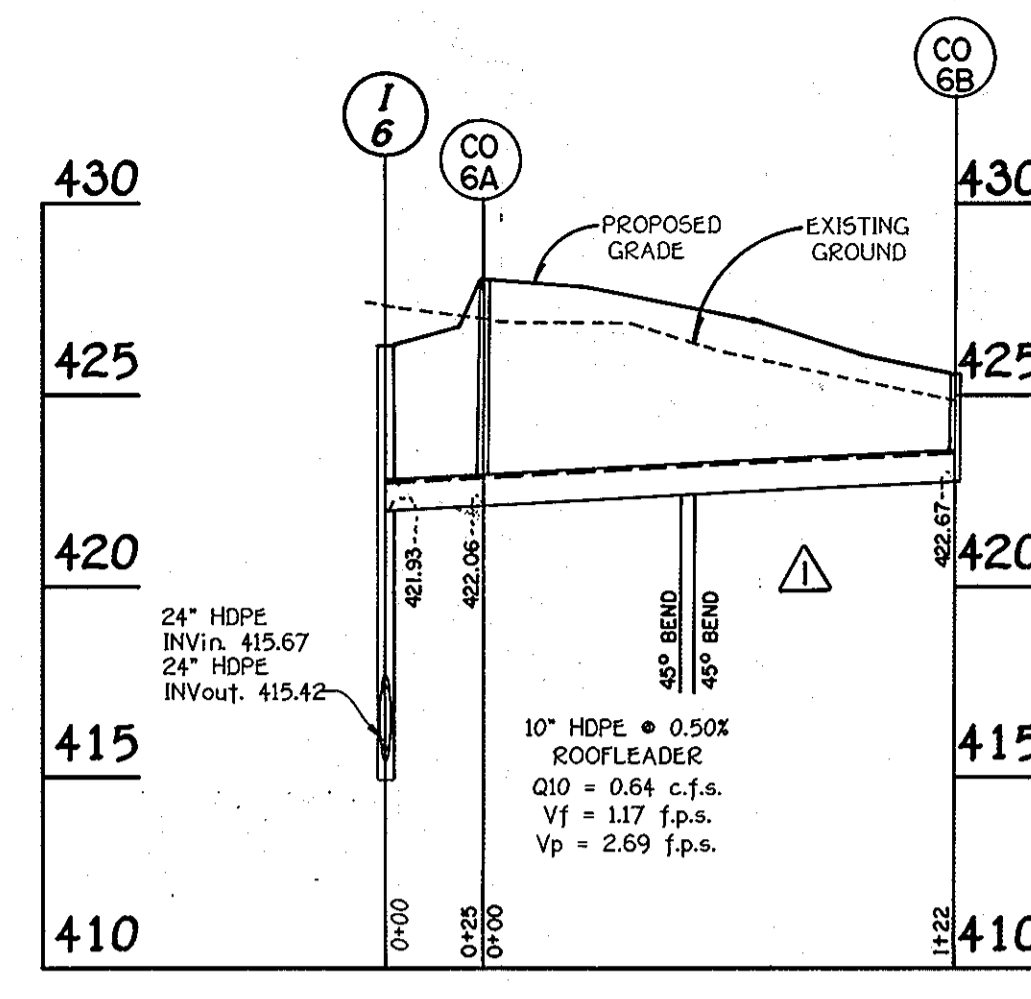
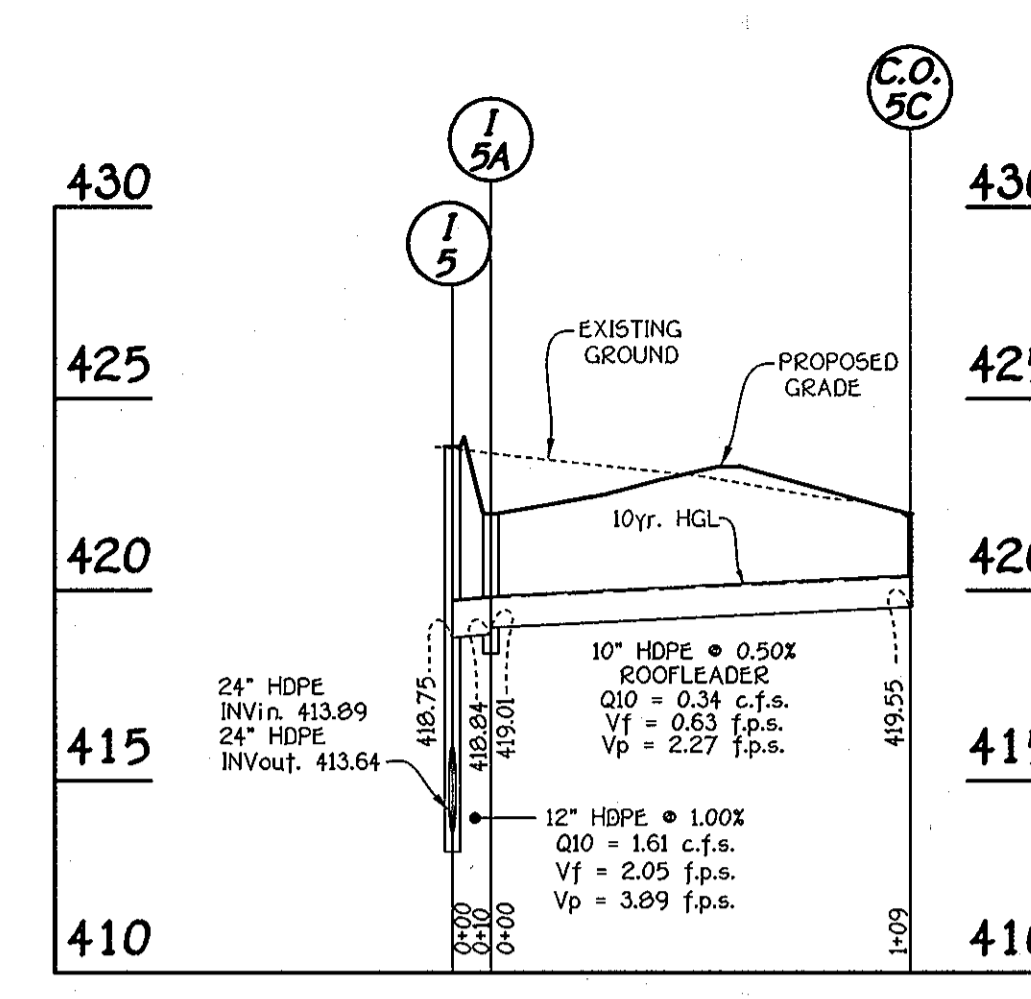
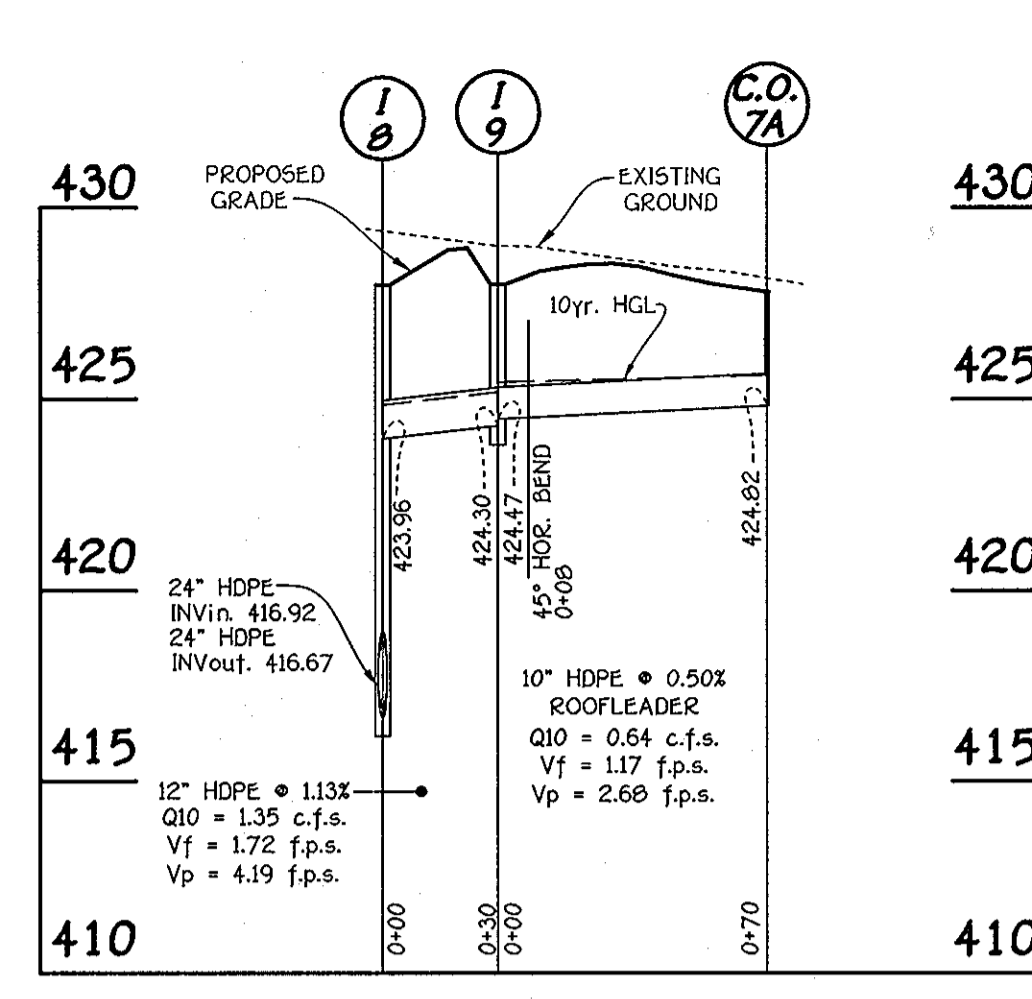
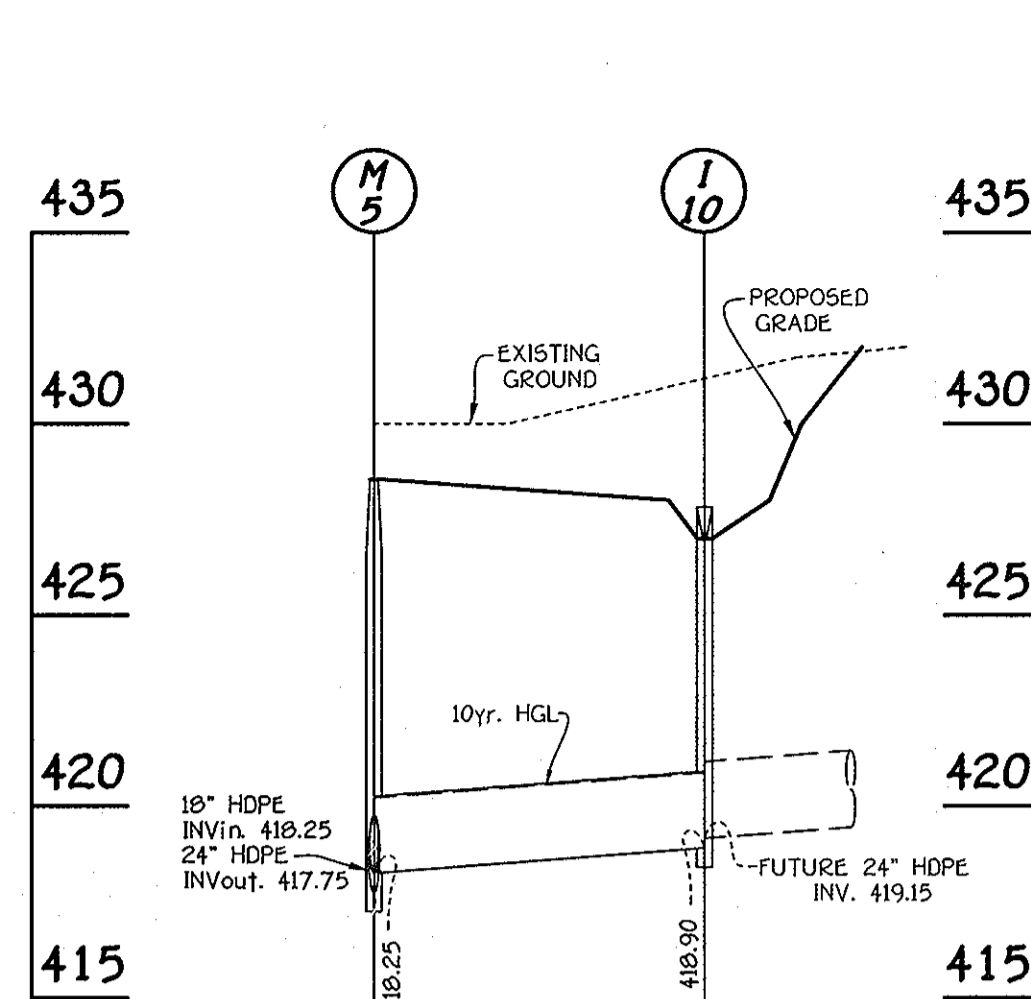
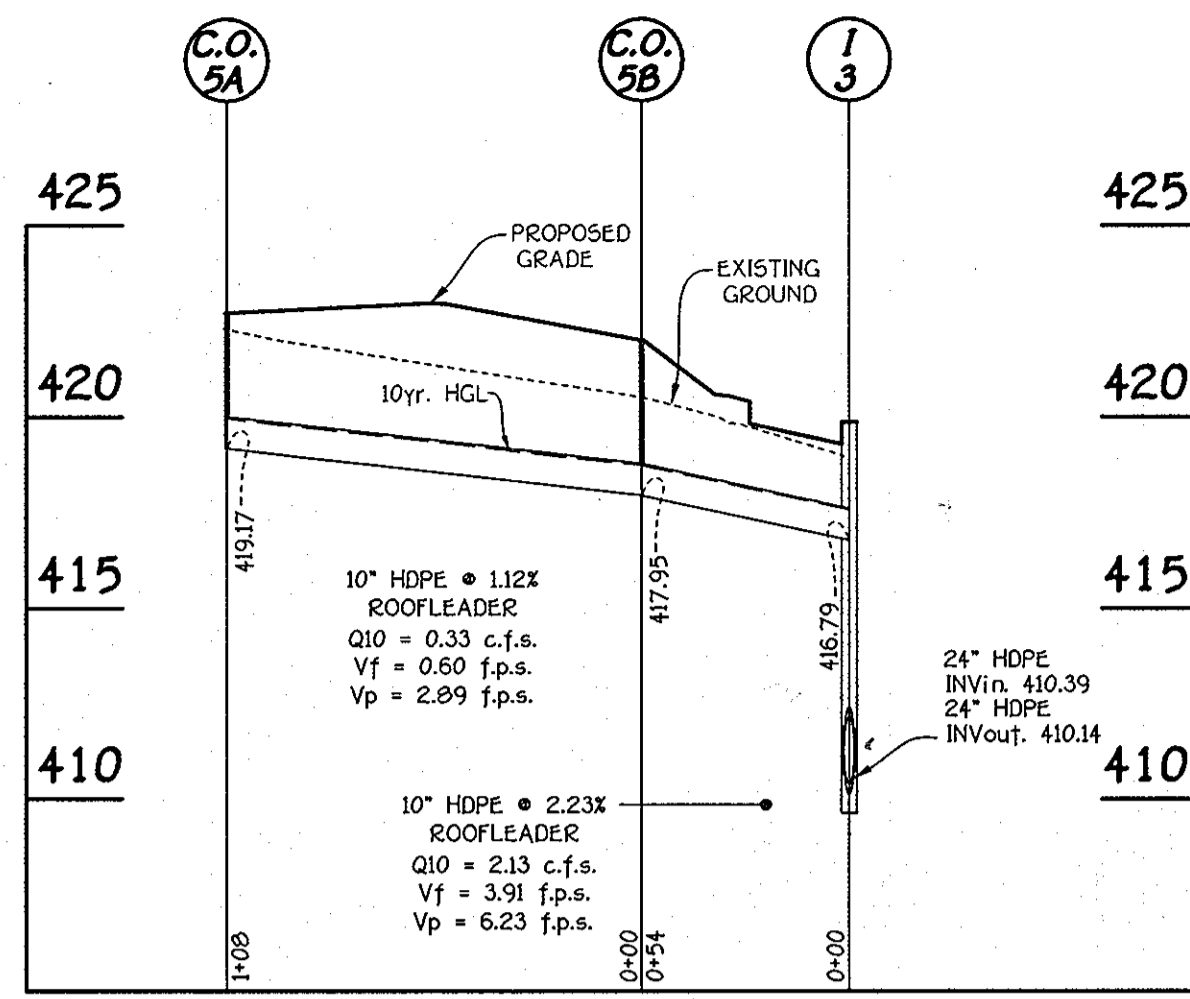
NO.	REVISION	DATE
2	ADDED BUILDING TO PLAN	1/22/14
1	REVISED STORM DRAIN PROFILE, STRUCTURE SCHEDULE AND PIPE CHART	10/10/12

ENGINEER'S CERTIFICATE
 I certify that the design and construction of the site conditions and that it was prepared in accordance with the standards of the Professional Engineers Board of the State of Maryland.
 Signature: *[Signature]* Date: 12/1/12
DEVELOPER'S CERTIFICATE
 I certify that all development and construction will be done according to this plan for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
 Signature: *[Signature]* Date: 1/24/13

OWNER/DEVELOPER
 ICE CRYSTAL, L.L.C.
 8835-P COLUMBIA 100 PKWY.
 COLUMBIA, MARYLAND 21045
 (410) 730-0810
 ATTN: MR. JOHN LIPARINI

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Division of Land Development
 Chief, Development & Planning Division
 Director - Department of Planning and Zoning
 PROJECT: CHERRYTREE PARK - BULK PARCEL 'K'
 SECTION/AREA: ---
 LOT NO.: ---
 BLDG. UNITS: 1-8
 PLAT NO.: 15449 - 15454
 BLOCK NO.: 4
 ZONE: MXD-6
 TAX: 46
 ELEC. DIST.: 6TH
 CENSUS TR.: 6068.02
 WATER CODE: E18
 SEWER CODE: 7602000

REVISED STORM DRAIN PROFILES
 AGE RESTRICTED ADULT HOUSING
CHERRYTREE PARK
 CONDOMINIUM BUILDINGS 1 THRU 8
BULK PARCEL 'K', PHASES 1 AND 2
 (A RESUBDIVISION OF BULK PARCEL 'K')
 ZONED: MXD-6
 TAX MAP No.: 46
 PARCEL No.: 156
 SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN
 DATE: AUGUST 1, 2008
 SHEET 9 OF 22



NO.	REVISION	DATE
1	Remove I-7 & Revise Profile From I-6 to C.O. 6B	2/12/10

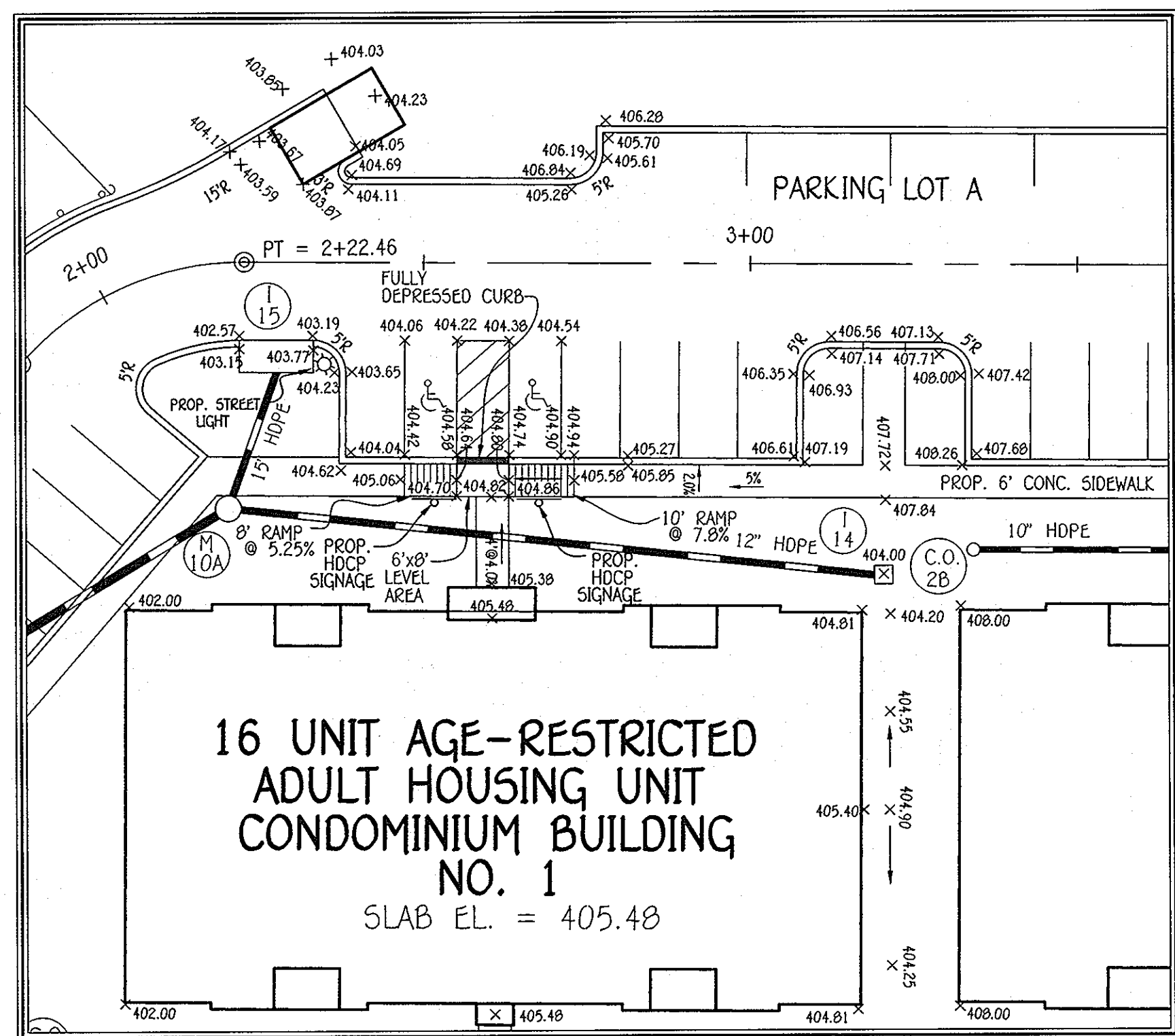
APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE: July 17, 2008
16

ENGINEER'S CERTIFICATE
I certify that the design and construction of this project represents a practical and workable plan in accordance with the site conditions and that it was prepared in accordance with the standards of the Howard Soil Conservation District.
Signature: [Signature]
Date: 7/20/08
VITUCCI, P.E.
I certify that all development and construction will be done according to this plan, for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
Signature of Developer: [Signature]
Date: 7/25/08

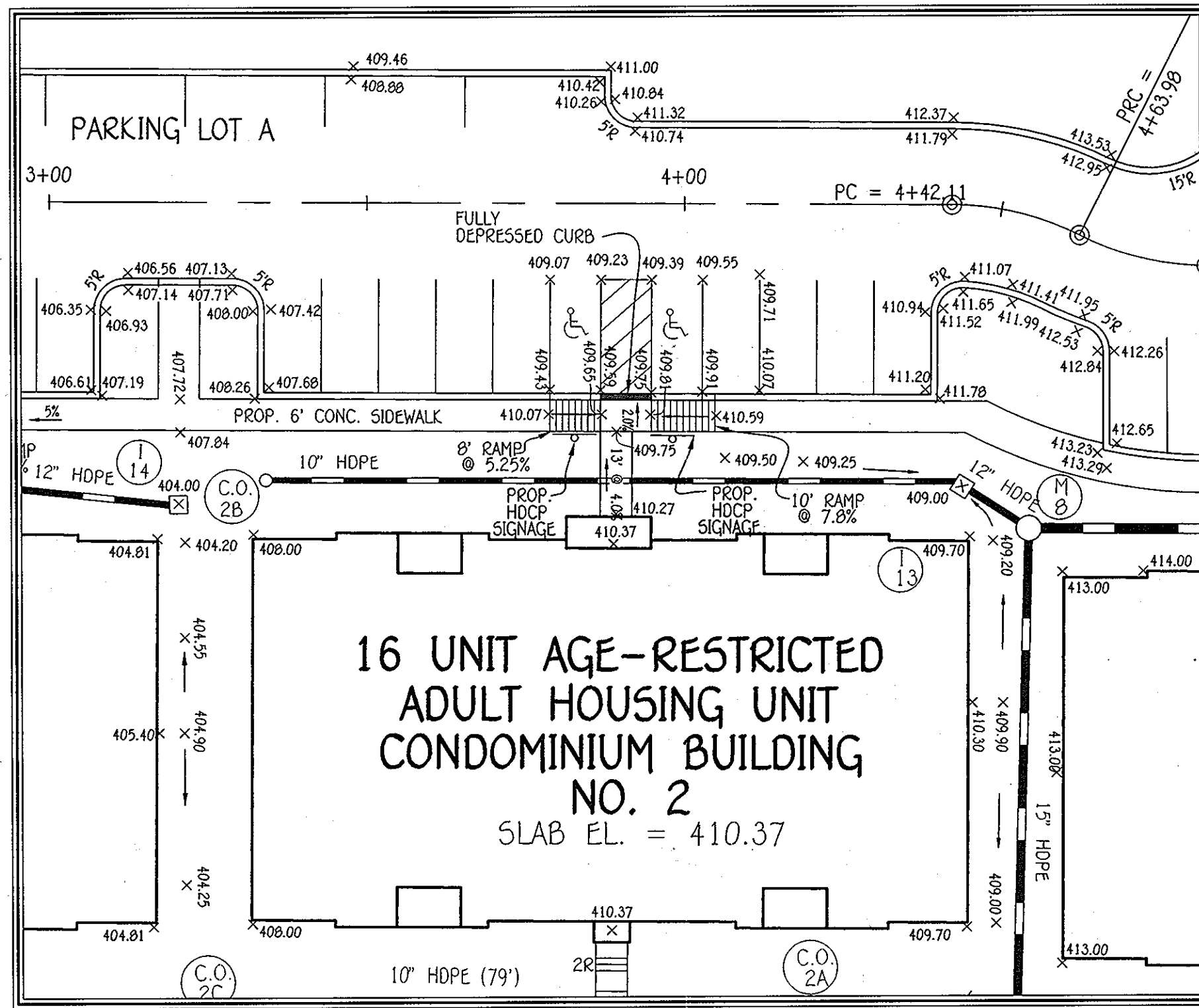
Reviewed for HOWARD SCD and meets Technical Requirements.
U.S.D.A.-Natural Resources Conservation Service
This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
Howard SCD
OWNER/DEVELOPER
ICE CRYSTAL, L.L.C.
8835-P COLUMBIA 100 PKWY.
COLUMBIA, MARYLAND 21045
(410) 730-0810
ATTN: MR. JOHN LIPARINI

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Planning and Zoning Development
Chief, Development Engineering Division
Director - Department of Planning and Zoning
PROJECT: CHERRYTREE PARK - BULK PARCELS 'I' & 'J'
SECTION/AREA: ---
LOT NO.: BLDG. UNITS 1-7
PLAT NO.: 15449 - 15454
BLOCK NO.: 4
ZONE: MXD-6
TAX: 46
ELEC. DIST.: 6TH
CENSUS TR.: 6068.02
WATER CODE: E18
SEWER CODE: 7602000

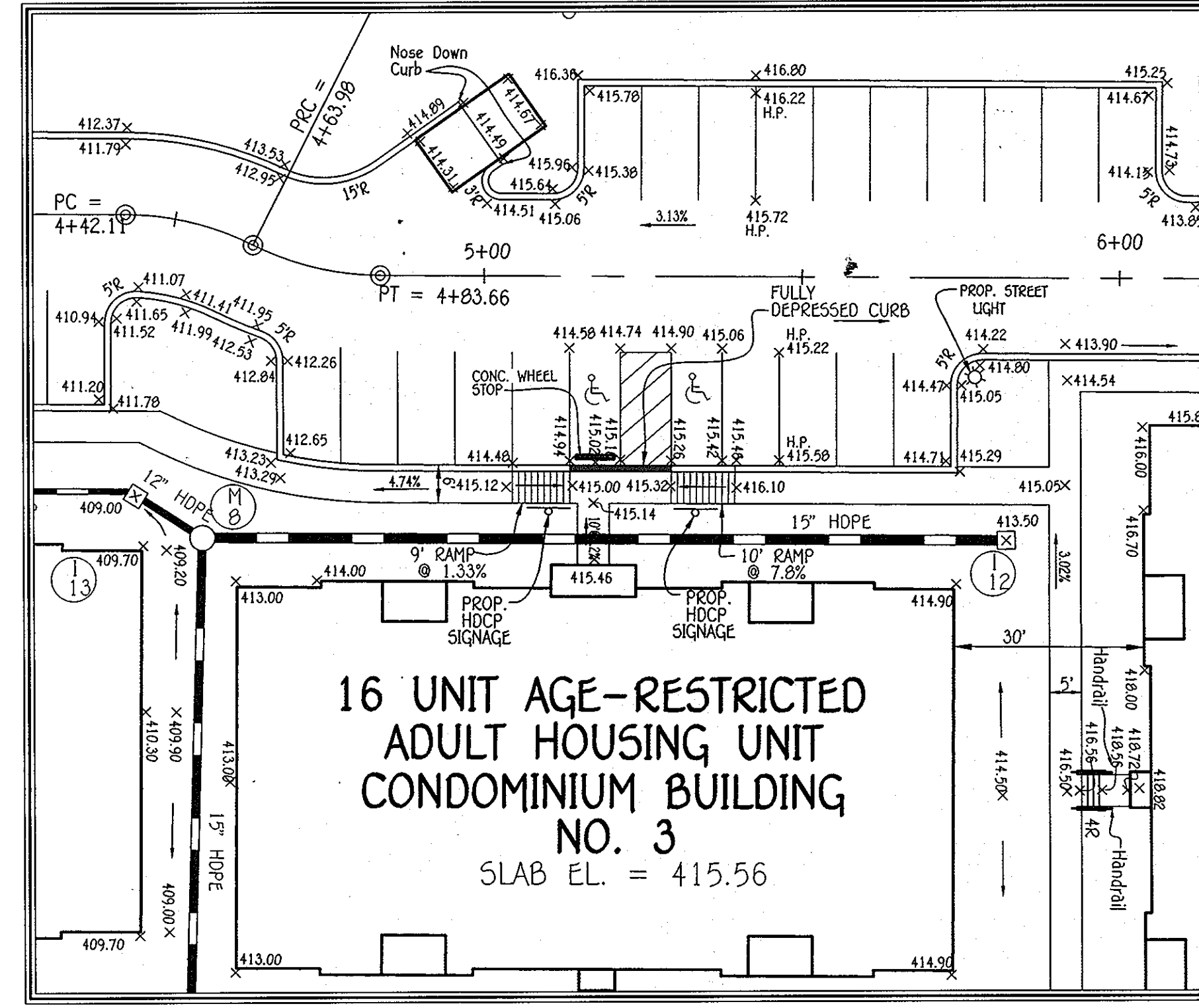
STORM DRAIN PROFILES
AGE RESTRICTED ADULT HOUSING
CHERRYTREE PARK
CONDOMINIUM BUILDINGS 1 THRU 7
BULK PARCEL 'I' & 'J', PHASES 1 AND 2
(A RESUBDIVISION OF BULK PARCEL 'B')
ZONED: MXD-6
TAX MAP No.: 46
PARCEL No.: 156
SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
SCALE: A5 SHOWN
DATE: AUGUST 1, 2008
SHEET 10 OF 22



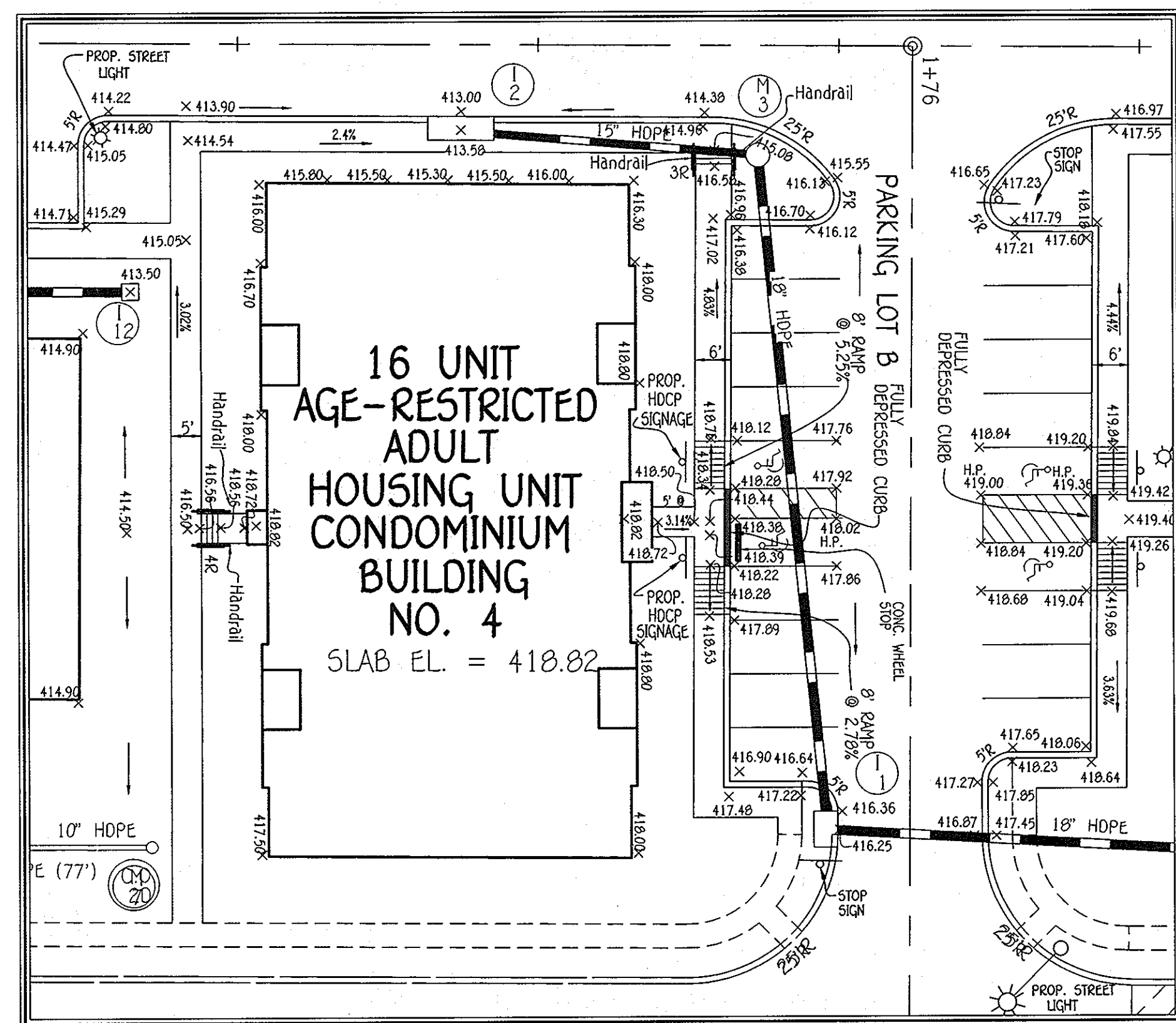
HANDICAP ACCESSIBLE PARKING DETAIL
SCALE = 1" = 20'



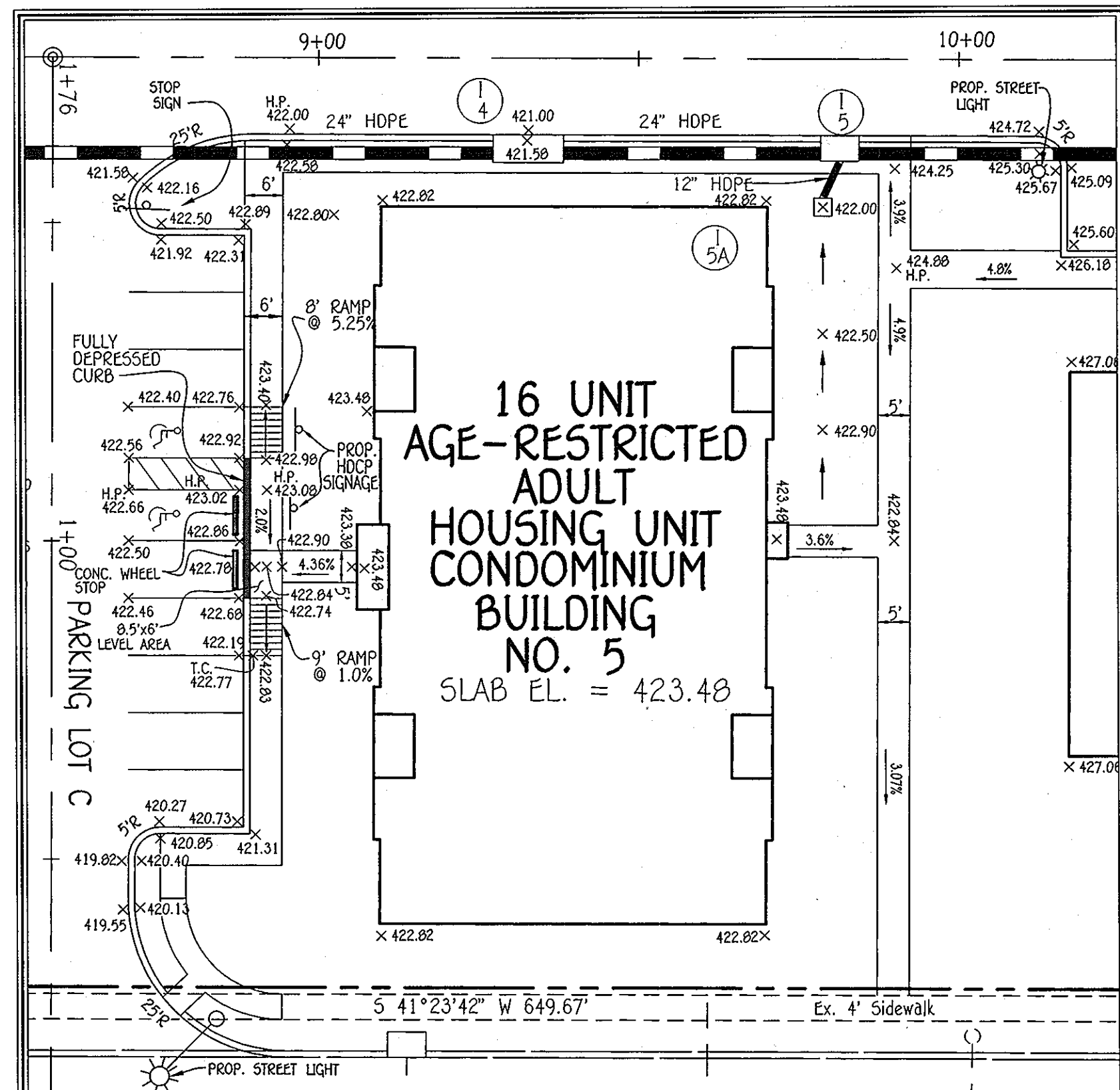
HANDICAP ACCESSIBLE PARKING DETAIL
SCALE = 1" = 20'



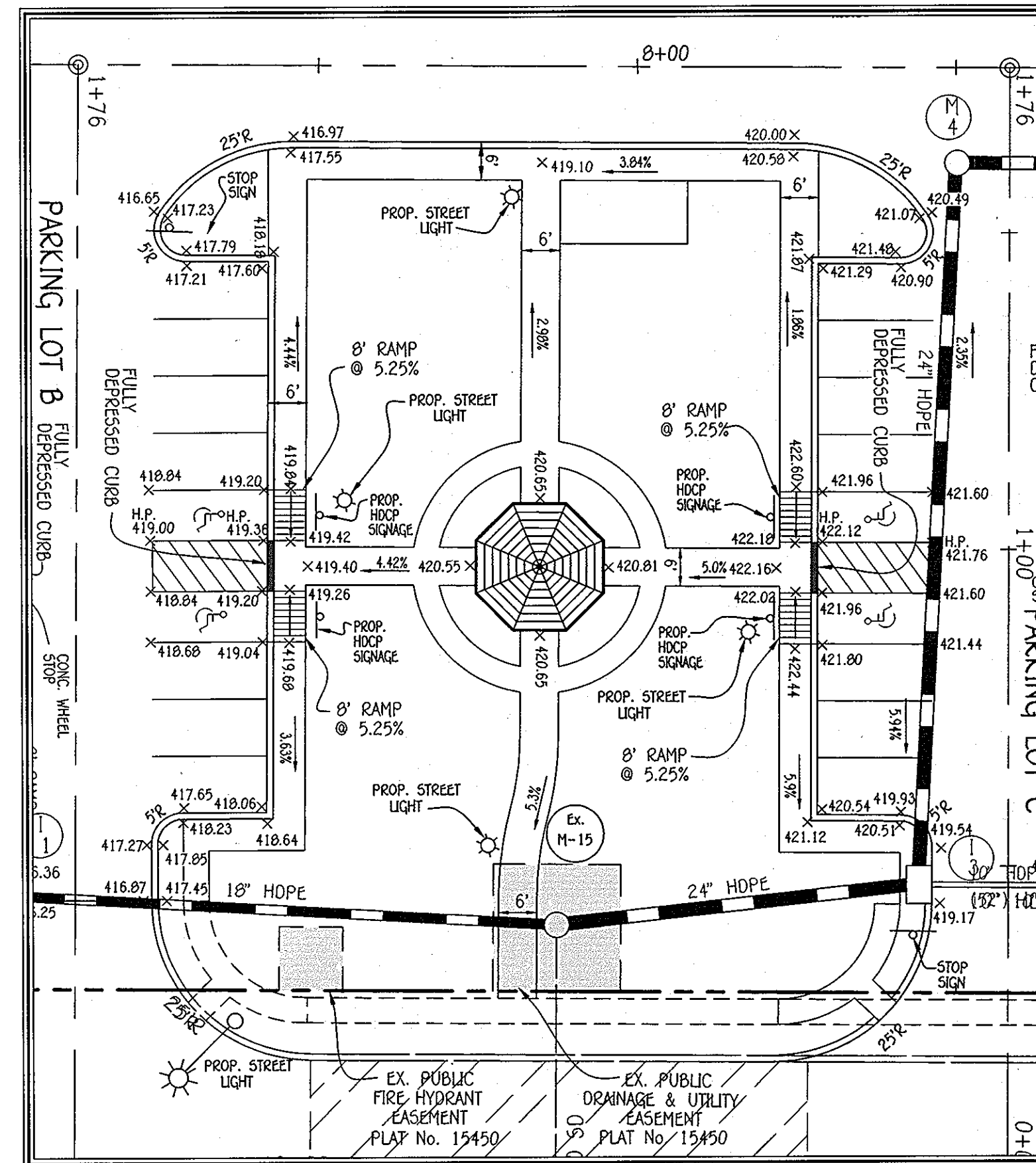
HANDICAP ACCESSIBLE PARKING DETAIL
SCALE = 1" = 20'



HANDICAP ACCESSIBLE PARKING DETAIL
SCALE = 1" = 20'



HANDICAP ACCESSIBLE PARKING DETAIL
SCALE = 1" = 20'



HANDICAP ACCESSIBLE PARKING DETAIL
SCALE = 1" = 20'

NOTE:
ALL PROPOSED FACILITIES SHALL HAVE A NO STEP ACCESS.



ENGINEER'S CERTIFICATE
"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Signature of Engineer (CHARLES J. COOVO SR., P.E.) *[Signature]* 7/21/10 Date
Professional certification, I hereby certify that these documents were prepared by me, and that I am a duly Licensed Professional Engineer under the laws of the State of Maryland, License No. 13204, Expiration Date 11-3-10."

DEVELOPER'S CERTIFICATE
"I/we certify that all development and construction will be done according to this plan, for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

Signature of Developer (Print name below signature) *[Signature]* Date 7/21/10

OWNER/DEVELOPER
ICE CRYSTAL L.L.C.
8035-P COLUMBIA 100 PKWY.
COLUMBIA, MARYLAND 21045
(410) 730-0810
ATTN: MR. JOHN LIPARINI

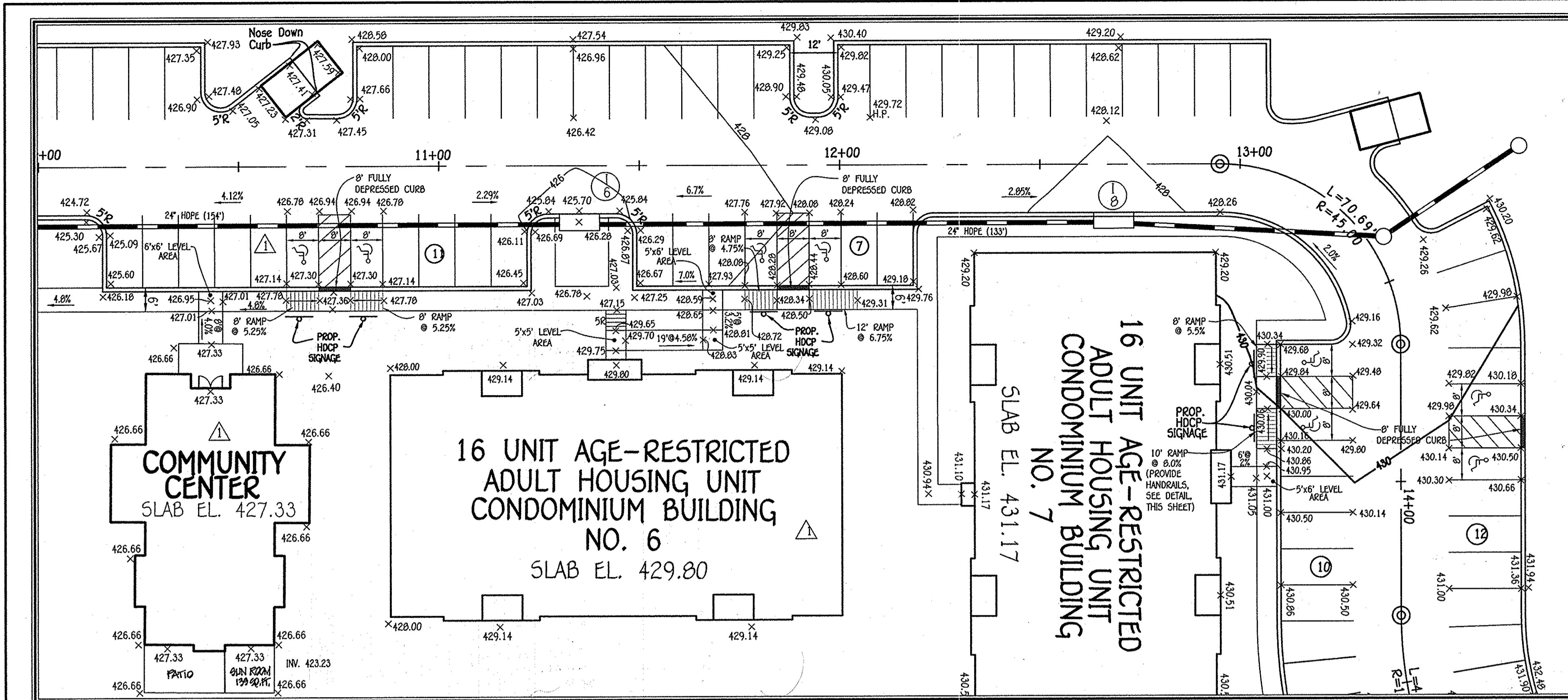
APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature]
Chief, Division of Land Development
[Signature]
Chief, Development Engineering Division
[Signature]
Director, Department of Planning and Zoning

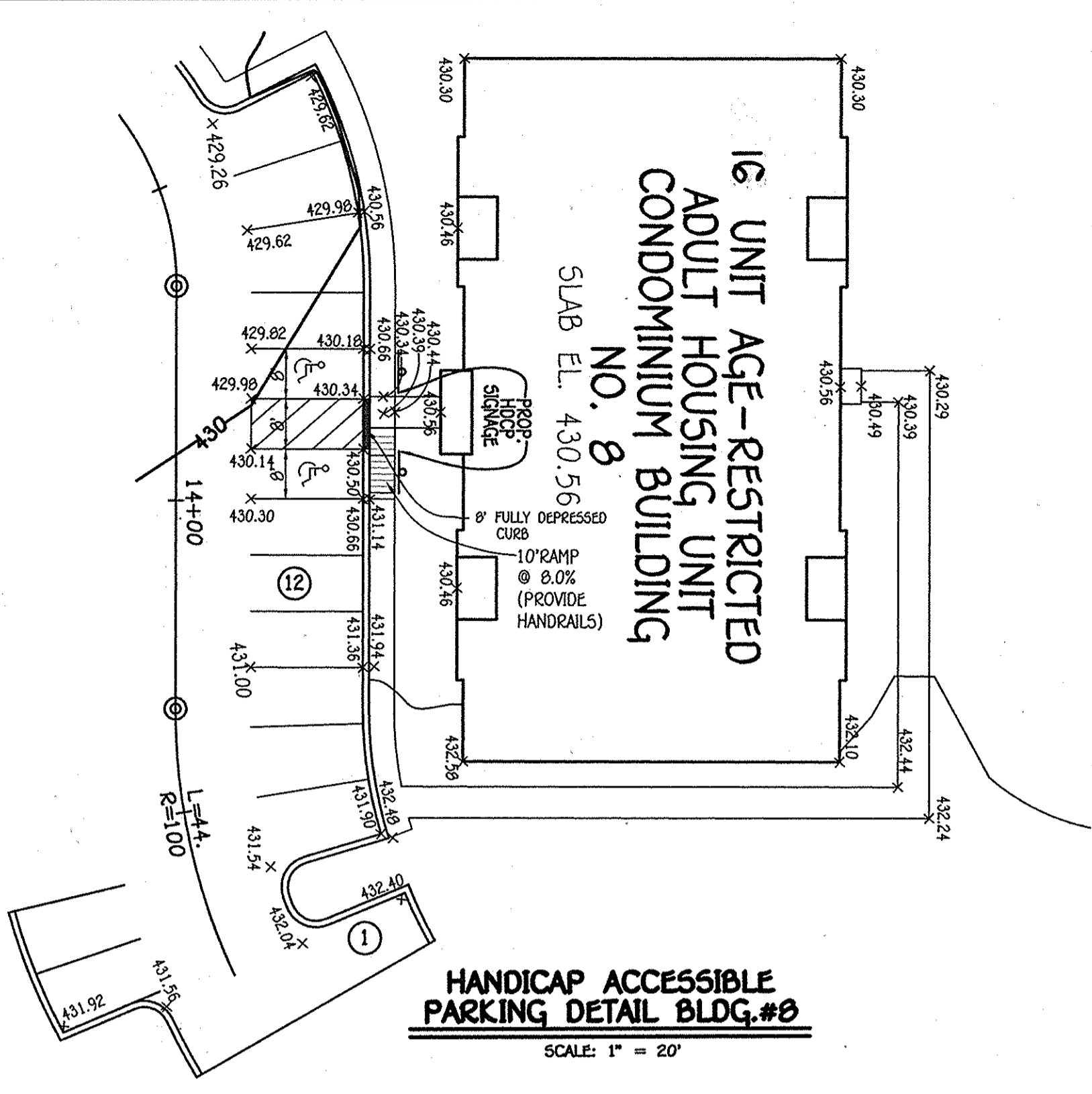
[Signature]
Date 7-28-10
[Signature]
Date 8/6/10

PROJECT	CHERRYTREE PARK - BULK PARCEL 'K'	SECTION/AREA	---	LOT NO.	BLDG. UNITS 1-8
PLAT NO.	15449 - 15454	BLOCK NO.	4	ZONE	MXD-6
TAX	20209 - 20210	TAX	46	ELEC. DIST.	6TH
WATER CODE	E18	SEWER CODE	7602000	CENSUS TR.	6068.02

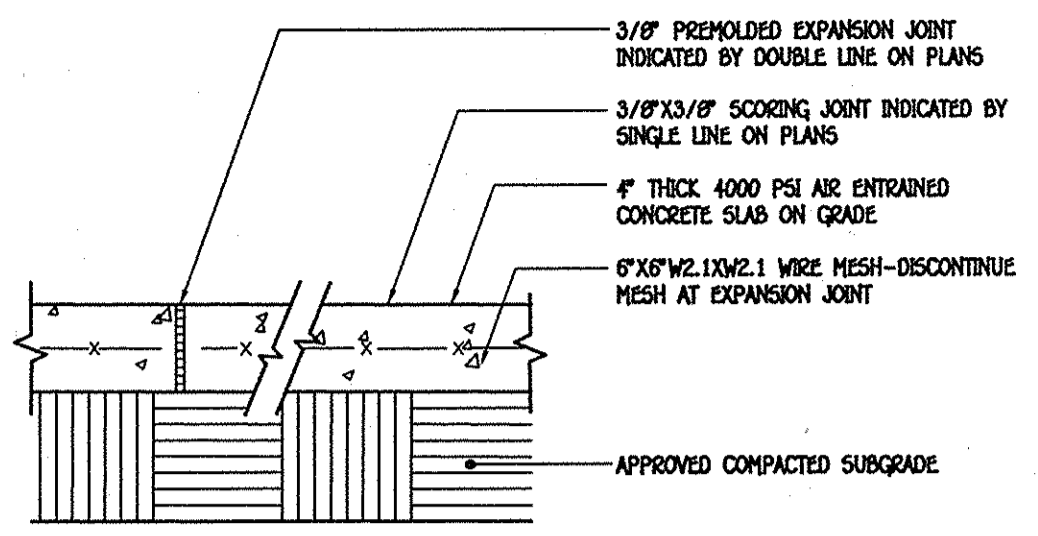
HANDICAP PARKING DETAILS
REVISED
AGE RESTRICTED ADULT HOUSING
CHERRYTREE PARK
CONDOMINIUM BUILDINGS 1 THRU 8
BULK PARCEL 'K', PHASES 1 AND 2
(A RESUBDIVISION OF BULK PARCEL 'I' & 'J')
ZONED: MXD-6
TAX MAP No.: 46 PARCEL No.: 156
SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST 1, 2008
SHEET 11 OF 22



NOTE:
ALL PROPOSED FACILITIES SHALL HAVE A NO STEP ACCESS.

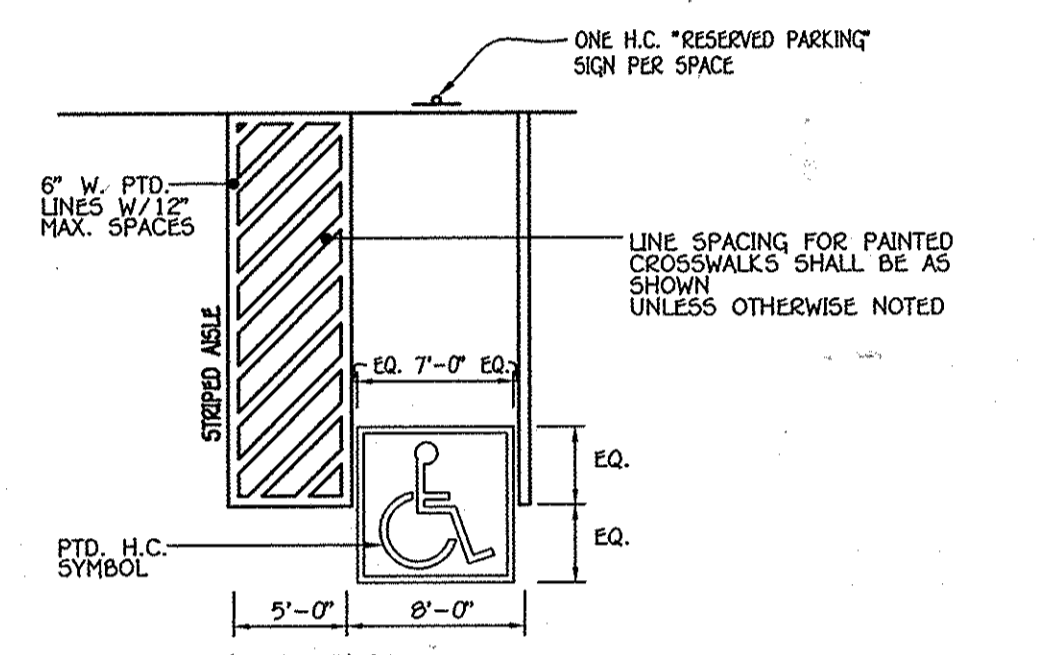


HANDICAP ACCESSIBLE PARKING DETAIL BLDG.#8
SCALE: 1" = 20'

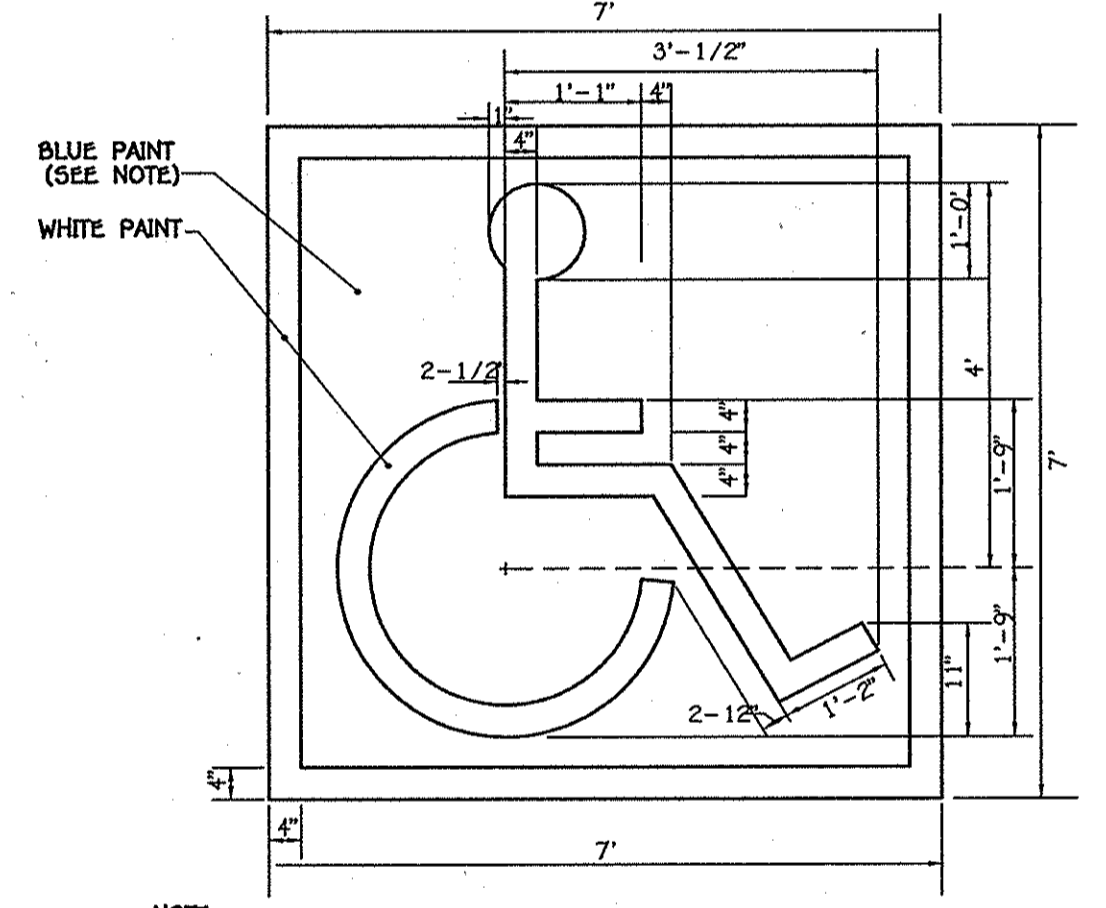


3/8" PREMOULDED EXPANSION JOINT INDICATED BY DOUBLE LINE ON PLANS
3/8"x3/8" SCORING JOINT INDICATED BY SINGLE LINE ON PLANS
#4 THICK 4000 PSI AIR ENTRAINED CONCRETE SLAB ON GRADE
#4"x2"x1/2"x1/2" WIRE MESH-DISCONTINUE MESH AT EXPANSION JOINT
APPROVED COMPACTED SUBGRADE

CONCRETE WALK DETAIL
NO SCALE

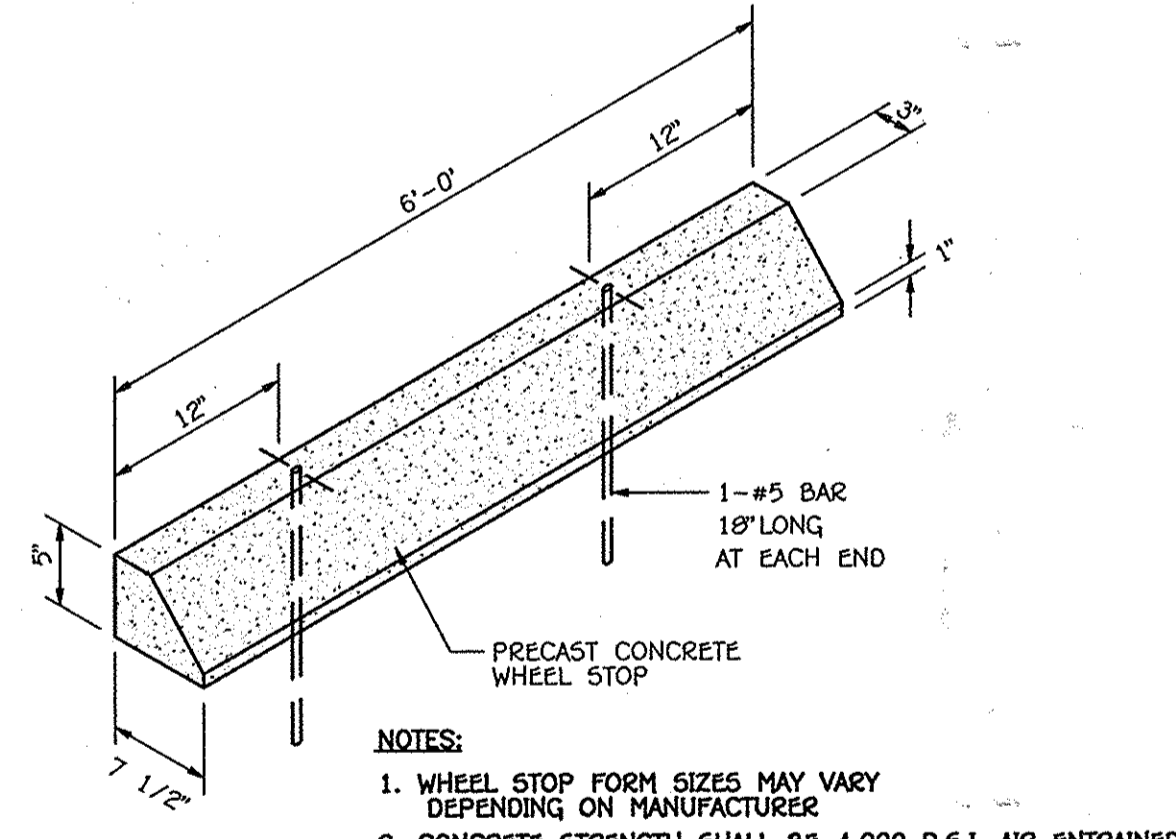


ACCESSIBLE SPACE LAYOUT
NO SCALE



NOTE:
SYMBOL IS REQUIRED TO CONTRAST WITH BACKGROUND (WHITE ON BLUE: COLOR NO. 105090 IN FED. STANDARD 5952-DOUBLE COAT TYP.)

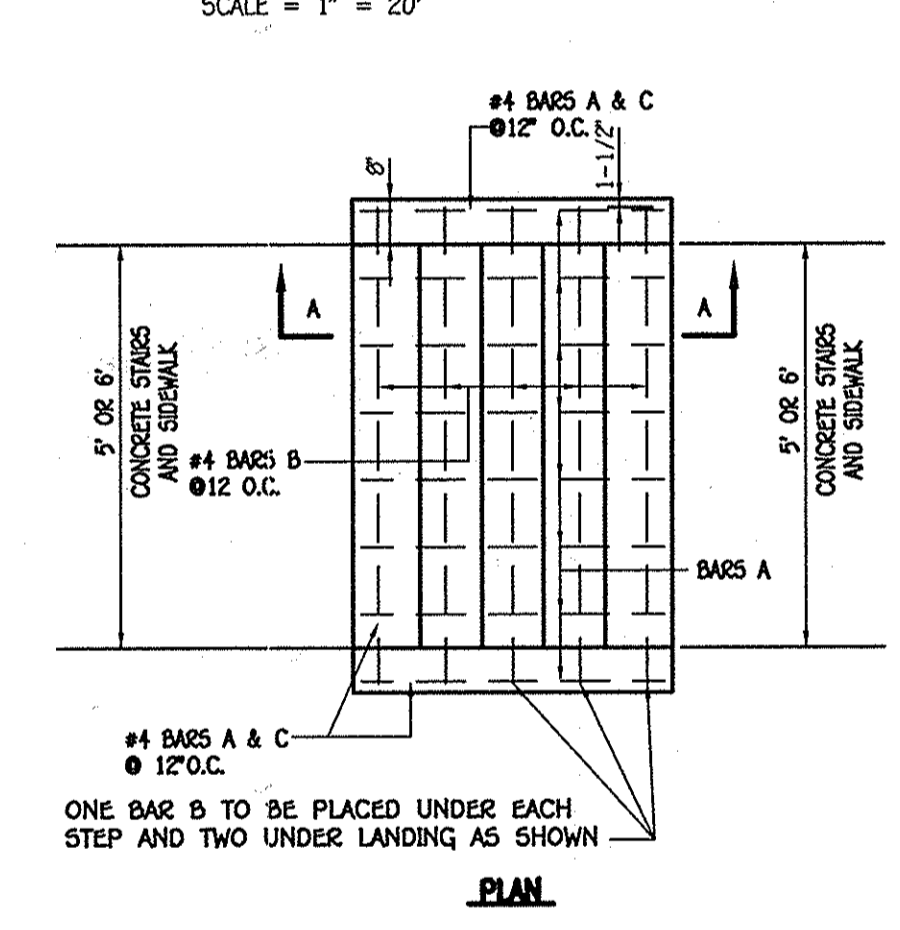
HANDICAP SPACE STENCIL LAYOUT
NO SCALE



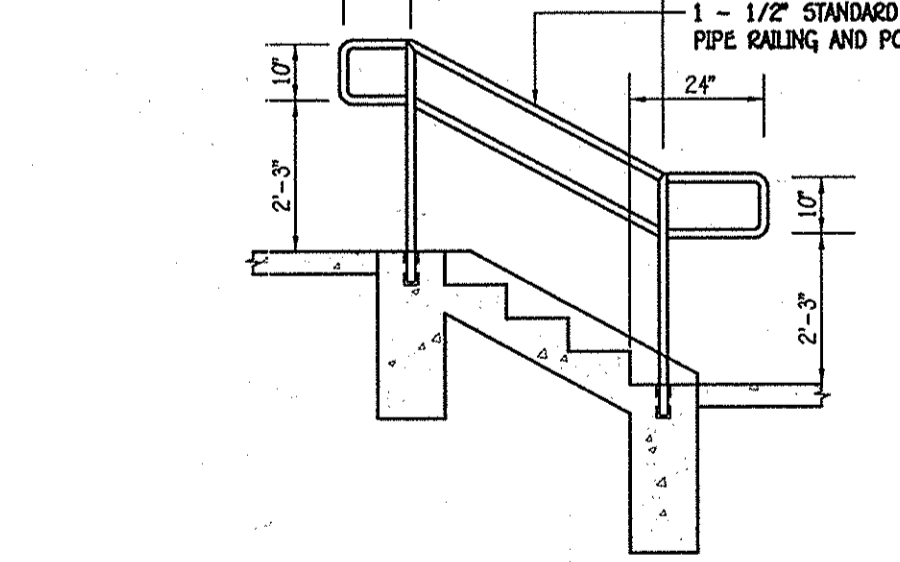
NOTES:
1. WHEEL STOP FORM SIZES MAY VARY DEPENDING ON MANUFACTURER
2. CONCRETE STRENGTH SHALL BE 4,000 P.S.I. AIR ENTRAINED

WHEEL STOP DETAIL
NO SCALE

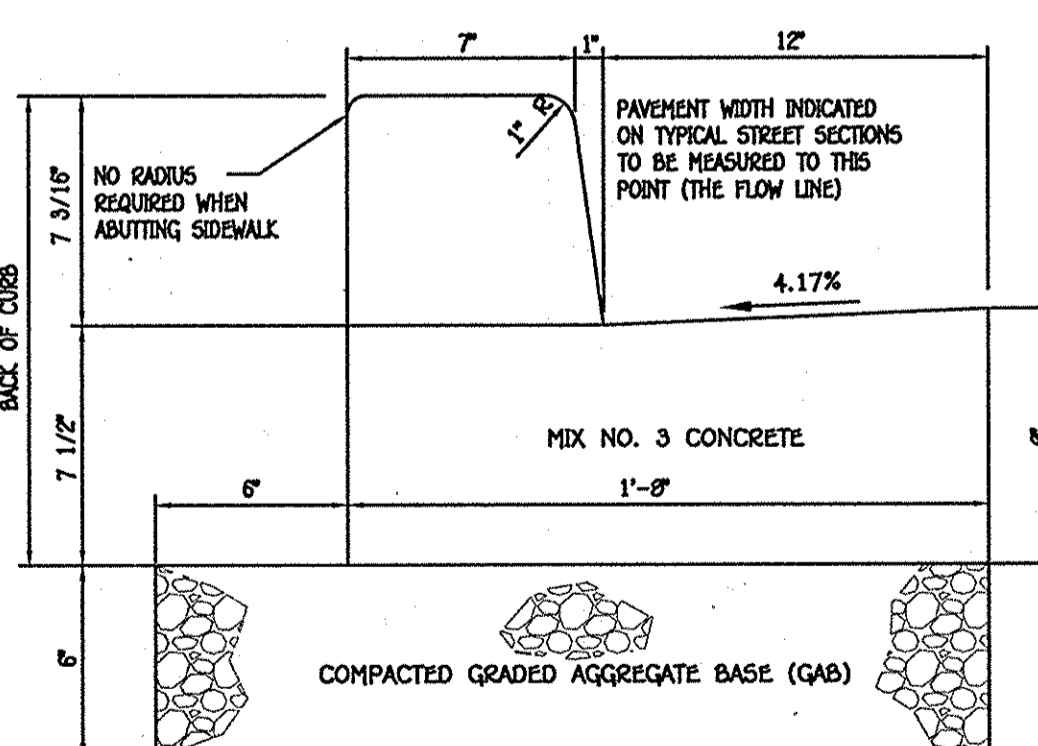
HANDICAP ACCESSIBLE PARKING DETAIL
SCALE: 1" = 20'



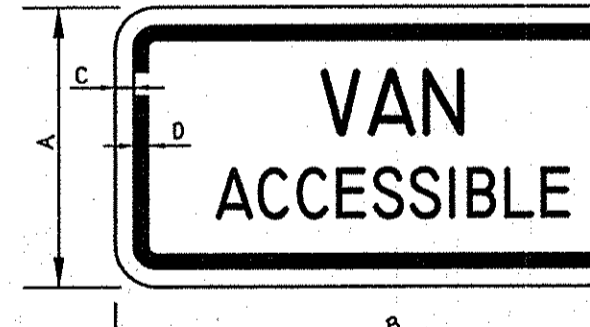
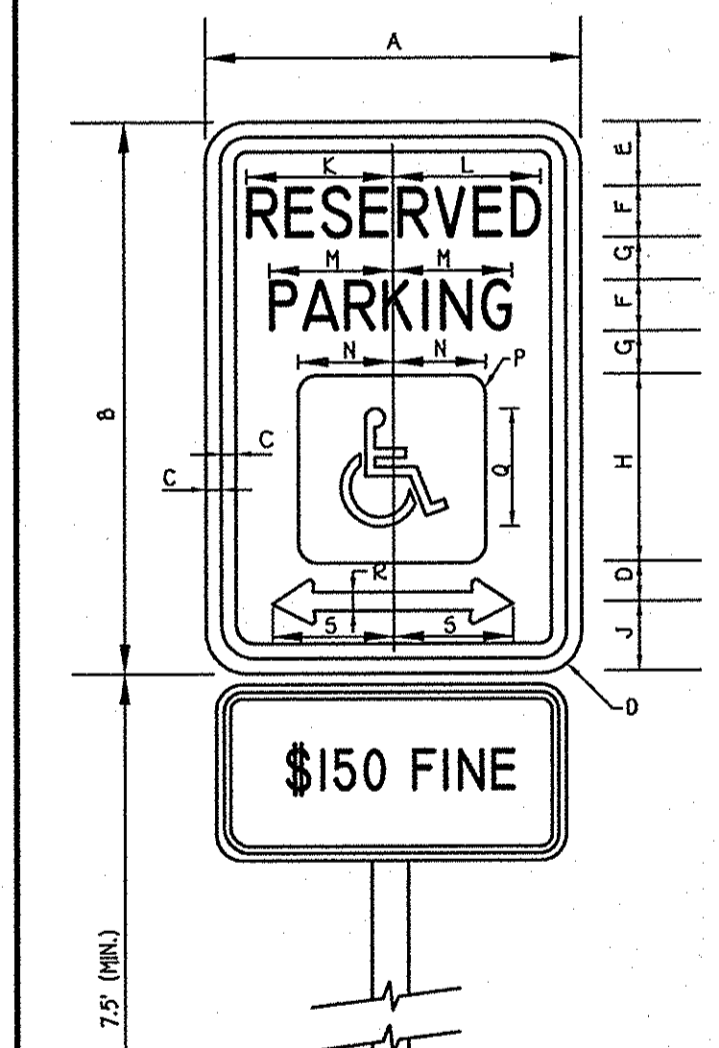
CONCRETE STEPS AND HANDRAIL DETAIL
NO SCALE



CONCRETE STEPS AND HANDRAIL DETAIL
NO SCALE



STD. CONCRETE CURB DETAIL
NO SCALE



COLORS
DIRECTIONAL
LEGEND - WHITE BACKGROUND - BLUE
REGULATORY
LEGEND - GREEN OR BLACK BACKGROUND - WHITE

SIGN SIZE	DIMENSIONS (INCHES)																
	A	B	C	D	E	F	G	H	J	K	L	M	N	P	Q	R	S
MIN.	6	12	3/8	3/8	1-1/2	1-1/2	10	1/2	1-1/20								
STD.	9	18	3/8	3/8	1-1/2	2-1/4	1-1/20	1	20								

SIGN SIZE	DIMENSIONS (INCHES)																	
	A	B	C	D	E	F	G	H	J	K	L	M	N	P	Q	R	S	
STD.	12	18	1/2	1-1/2	2	2	C	1	6	2-1/2	4-7/8	5	4-1/4	3	1/2	4	3/4	3-7/8

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10222 BALDWIN NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 451-2299



NO.	REVISION	DATE
4	APPROVE 1 UNIT TO BUILDING NO. 8	2/9/15
3	APPROVE 241 E2204 TO COMMUNITY CENTER	2/9/15
3	ADDED HANDICAP PLAN FOR BUILDING 8 TO PLANS	1/29/14
2	REVISE BLDG. 6 TO 16 UNITS, CHANGE ORIENTATION OF BLDG. 6 & 7 AND ADJUST PARKING COUNT	10/10/12
1	MOVE COMMUNITY CENTER LOCATION, REVISE HANDICAP RAMP FOR NEW BUILDING 6.	2/12/10

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Robert J. Fisher 2/9/14
Chief, Division of Land Development

David Clark 2/27/14
Chief, Development Engineering Division

Mark A. Gwyll 2/27/14
Director - Department of Planning and Zoning

PROJECT: CHERRYTREE PARK - BULK PARCEL 'K' SECTION/AREA: --- LOT NO.: BLDG. UNITS 1-8

OWNER/DEVELOPER
ICE CRYSTAL, L.L.C.
2035-P COLUMBIA 100 PKWY.
COLUMBIA, MARYLAND 21045
(410) 730-0810
ATTN: MR. JOHN LIPARINI

PLAT NO. 15449 - 15454	BLOCK NO. 4	ZONE. MXD-6	TAX 46	ELEC. DIST. 6TH	CENSUS TR. 6068.02
22029 - 20210					
22515 - 22516					
WATER CODE	SEWER CODE		7602000		

REVISED HANDICAP PARKING DETAILS

AGE RESTRICTED ADULT HOUSING
CHERRYTREE PARK
CONDOMINIUM BUILDINGS 1 THRU 8
BULK PARCEL 'K', PHASES 1 AND 2
(A RESUBDIVISION OF BULK PARCEL 'I' & 'J')

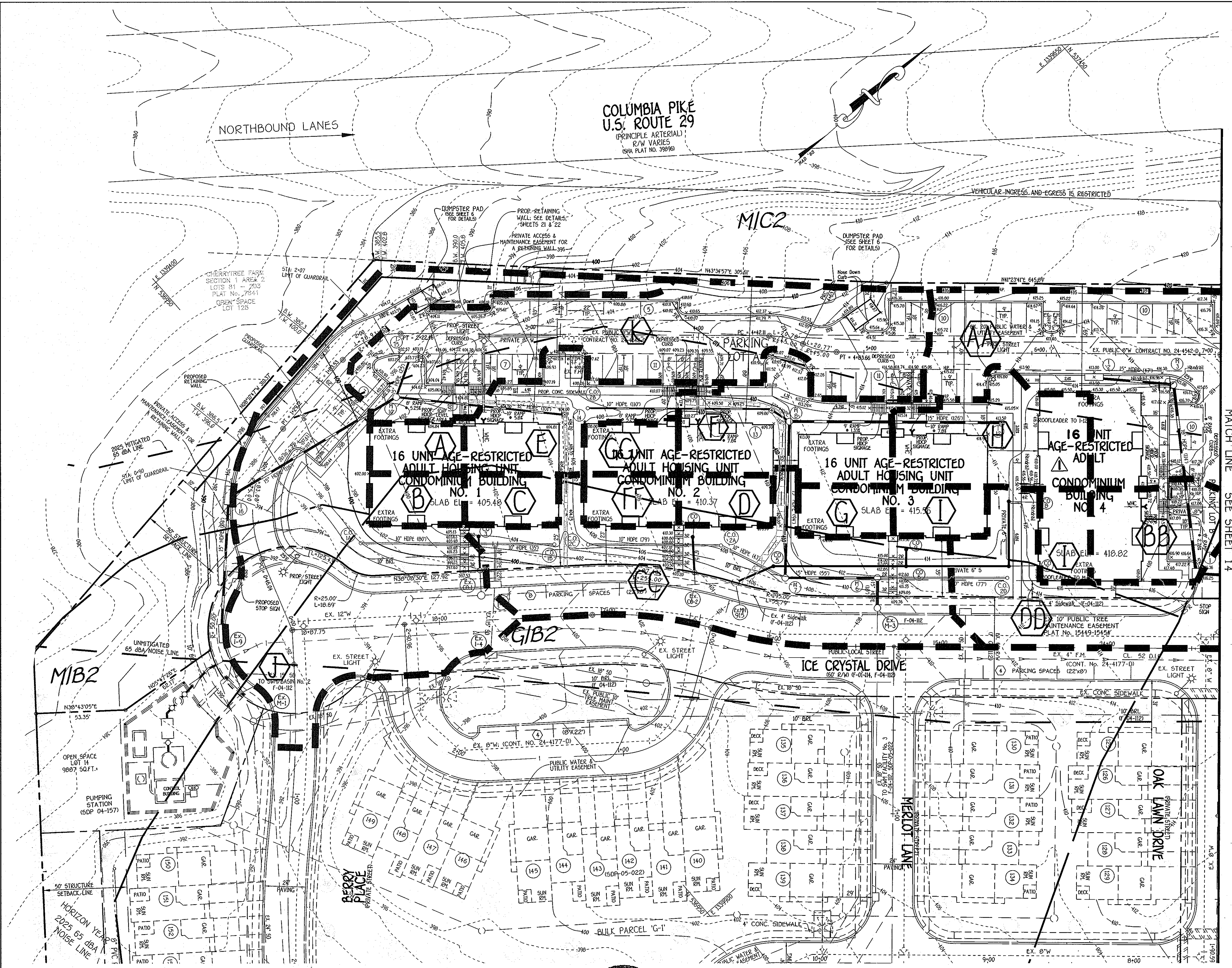
ZONED: MXD-6
TAX MAP No.: 46 PARCEL No.: 156
SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST 1, 2008
SHEET 12 OF 22

1:2004104041.dwg (REDLINE FOR BLDG 8 APRIL 2013) (0404) (0404) SHEET 12 (REPLACEMENT MYLAR) dwg, Sheet 12, 2/7/2014 8:31:02 AM, 1:1

SOILS LEGEND		
SOIL	NAME	CLASS
**Ba	Baile silt loam	D
ChB2	Chester silt loam, 3 to 8 percent slopes, moderately eroded	B
GIB2	Glenelg loam, 3 to 8 percent slopes, moderately eroded	B
GIC2	Glenelg loam, 8 to 15 percent slopes, moderately eroded	B
GID2	Glenelg loam, 15 to 25 percent slopes, moderately eroded	B
GIA	Glenelg loam, 0 to 3 percent slopes	B
MIB2	Manor loam, 3 to 8 percent slopes, moderately eroded	B
MIC2	Manor loam, 8 to 15 percent slopes, moderately eroded	B
MID2	Manor loam, 15 to 25 percent slopes, moderately eroded	B
MID3	Manor loam, 15 to 25 percent slopes, severely eroded	B

NOTES:
 * Hydric soils and/or contains hydric inclusions
 ** May contain hydric inclusions
 † Generally only within 100-year floodplain areas

DRAINAGE AREA DATA						
STRUCTURE NO.	DRAINAGE AREA	AREA	'C'	ZONED	% IMP.	
C.O.-1B	A	0.04 AC.	0.95	MXD-6	100%	
C.O.-1A	B	0.0397 AC.	0.95	MXD-6	100%	
M-10A	C	0.0394 AC.	0.95	MXD-6	100%	
C.O.-2A	D	0.0395 AC.	0.95	MXD-6	100%	
I-14	E	0.1320 AC.	0.79	MXD-6	77%	
I-13	F	0.1695 AC.	0.66	MXD-6	58%	
M-9	G	0.0391 AC.	0.95	MXD-6	100%	
I-12	H	0.1507 AC.	0.69	MXD-6	63%	
C.O.-2C	I	0.0396 AC.	0.95	MXD-6	100%	
EX. I-9	J	0.5830 AC.	0.69	MXD-6	62%	
I-15	K	0.4373 AC.	0.88	MXD-6	90%	
I-11	L	0.6830 AC.	0.79	MXD-6	75%	
I-10	M	0.3504 AC.	0.76	MXD-6	73%	
I-9	N	0.0235 AC.	0.47	MXD-6	32%	
C.O.-7A	O	0.0791 AC.	0.95	MXD-6	100%	
I-8	P	0.85 AC.	0.88	MXD-6	90%	
C.O.-7B	Q	0.15 AC.	0.85	MXD-6	85%	
C.O.-6B	R	0.07 AC.	0.71	MXD-6	66%	
I-6	S	0.2004 AC.	0.91	MXD-6	95%	
C.O.-5C	T	0.0423 AC.	0.95	MXD-6	100%	
I-5A	U	0.2069 AC.	0.72	MXD-6	67%	
C.O.-5A	V	0.0404 AC.	0.95	MXD-6	100%	
C.O.-5B	W	0.0399 AC.	0.95	MXD-6	100%	
I-4	X	0.1499 AC.	0.84	MXD-6	84%	
I-5	Y	0.0966 AC.	0.90	MXD-6	93%	
I-3	Z	0.0650 AC.	0.94	MXD-6	98%	
I-2	AA	0.8216 AC.	0.79	MXD-6	78%	
I-1	BB	0.1094 AC.	0.85	MXD-6	86%	
EX. I-5	CC	0.4123 AC.	0.52	MXD-6	39%	
EX. I-7	DD	0.5855 AC.	0.59	MXD-6	49%	
M-7	EE	0.0780 AC.	0.95	MXD-6	100%	
EX. I-6	FF	0.7399 AC.	0.47	MXD-6	31%	
C.O.-2B	GG	0.0400 AC.	0.95	MXD-6	100%	
S-1	HH	0.8197 AC.	0.25	MXD-6	1%	



PLAN
SCALE: 1" = 30'

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 3072 BALTIMORE NATIONAL PIKE
 ELKLOTT CITY, MARYLAND 21242
 (410) 468 - 2955

NO.	REVISION	DATE
3	ADDED BUILDING 4 TO PLAN	1/27/14
2	Revised Drainage Area Data	10/10/12
1	Moved Community Center Location, Revised Drainage Area Data, Removed 7-7 & Added Co-6B	2/12/10

APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY
 DATE: JULY 17, 2008

ENGINEER'S CERTIFICATE
 I certify that the erosion and sediment control represents a practical and workable plan based on my best knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 Signature: JACOB M. VITUCCI, P.E.
 Date: 9/20/08

DEVELOPER'S CERTIFICATE
 I/We certify that all development and construction will be done according to this plan for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
 Signature: [Signature]
 Date: 7/6/16

Reviewed for HOWARD SCD and meets Technical Requirements.
 U.S.D.A.-Natural Resources Conservation Service
 This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
 Date: [Signature]
 Date: [Signature]

OWNER/DEVELOPER
 ICE CRYSTAL, L.L.C.
 8835-F COLUMBIA 100 PEWY
 COLUMBIA, MARYLAND 21045
 (410) 730-0910
 ATTN: MR. JOHN LIPARINI

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Planning and Development
 Chief, Development Engineering Division
 Director - Department of Planning and Zoning

10/27/08
 10/15/08
 10/24/14

PROJECT: CHERRYTREE PARK - BULK PARCEL 'K'
 SECTION/AREA: ---
 LOT NO.: BLDG. UNITS 1-8

PLAT NO. 15449 - 15454
 BLOCK NO. 4
 ZONE MXD-6
 TAX 46
 ELEC. DIST. 6TH
 CENSUS TR. 6068.02

WATER CODE E18
 SEWER CODE 7602000

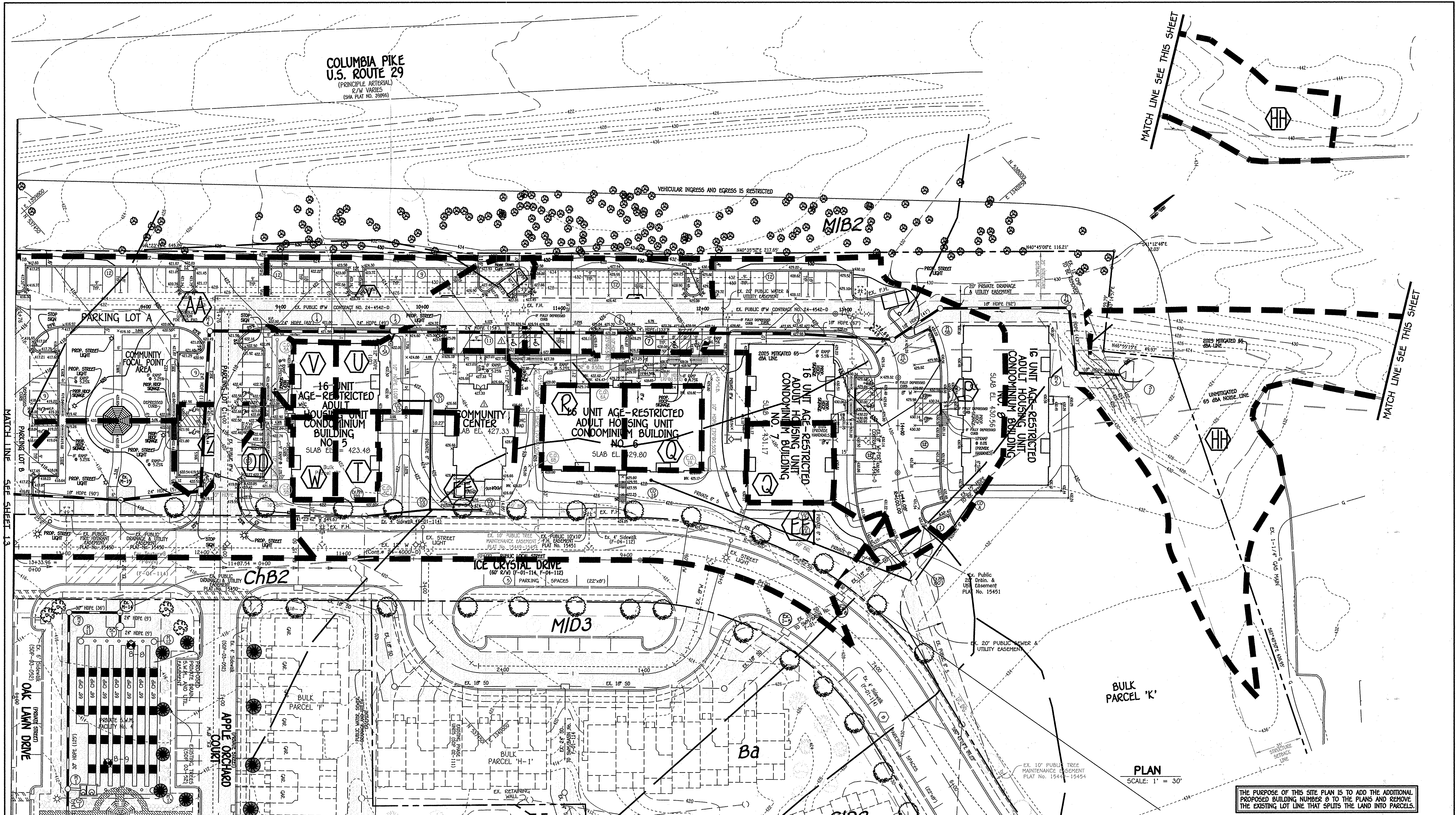
STORM DRAIN DRAINAGE AREA MAP AND SOILS MAP
 AGE RESTRICTED ADULT HOUSING
CHERRYTREE PARK
 CONDOMINIUM BUILDINGS 1 THRU 4
BULK PARCEL 'K', PHASES 1 AND 2
 (A RESUBDIVISION OF BULK PARCEL 'K' & 'J')

ZONED: MXD-6
 TAX MAP No.: 46 PARCEL No.: 156
 SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 SCALE: A5 SHOWN DATE: AUGUST 1, 2008
 SHEET 13 OF 22

1:2008010401 (SOP) Condo's 1-8 (04/04) SHEET 13-14 (S) Drainage Area Map Condos 1-8 (04/04) Sheet 13, 1, 1

COLUMBIA PIKE
U.S. ROUTE 29
(PRINCIPLE ARTERIAL)
R/W VARIES
(SHA PLAT NO. 3996)

MATCH LINE SEE THIS SHEET



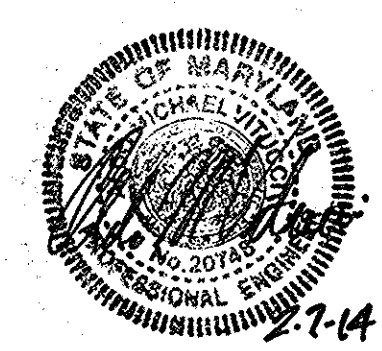
BULK PARCEL 'K'

PLAN
SCALE: 1" = 30'

THE PURPOSE OF THIS SITE PLAN IS TO ADD THE ADDITIONAL PROPOSED BUILDING NUMBER 8 TO THE PLANS AND REMOVE THE EXISTING LOT LINE THAT SPLITS THE LAND INTO PARCELS.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SERVICE OFFICE: 10272 BALTIMORE NATIONAL PIKE
GROTTOLI CITY, MARYLAND 21042
(410) 461-0999

NO.	REVISION	DATE
5	ADDED 1 UNIT TO BUILDING NO. 8	2/9/15
5	ADDED SIGNAGE TO COMMUNITY CENTER	2/9/15
4	ADDED BUILDING 8 TO PLANS	1/23/14
3	REVISED BLDG. 7 MHC	5/22/13
2	REVISED BLDG. 6 & 7, PARKING AND STORM DRAIN	10/10/12
1	MOVED COMMUNITY CENTER, ENLARGED BLDG. NO. 6 AND CHANGED BUILDING NO. 8 TO BUILDING NO. 7.	2/12/10



OWNER/DEVELOPER
ICE CRYSTAL, L.L.C.
8935-P COLUMBIA 100 PKWY.
COLUMBIA, MARYLAND 21045
(410) 730-0810
ATTN: MR. JOHN LIPARINI

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Kat Shanderson 3/24/14
Chief, Division of Land Development Date

Paul Chant 2-27-14
Chief, Development Engineering Division Date

Patrick A. Lyle 2/11/14
Director - Department of Planning and Zoning Date

PROJECT	SECTION/AREA	LOT NO.
CHERRYTREE PARK - BULK PARCEL 'K'	---	BLDG. UNITS 1-8

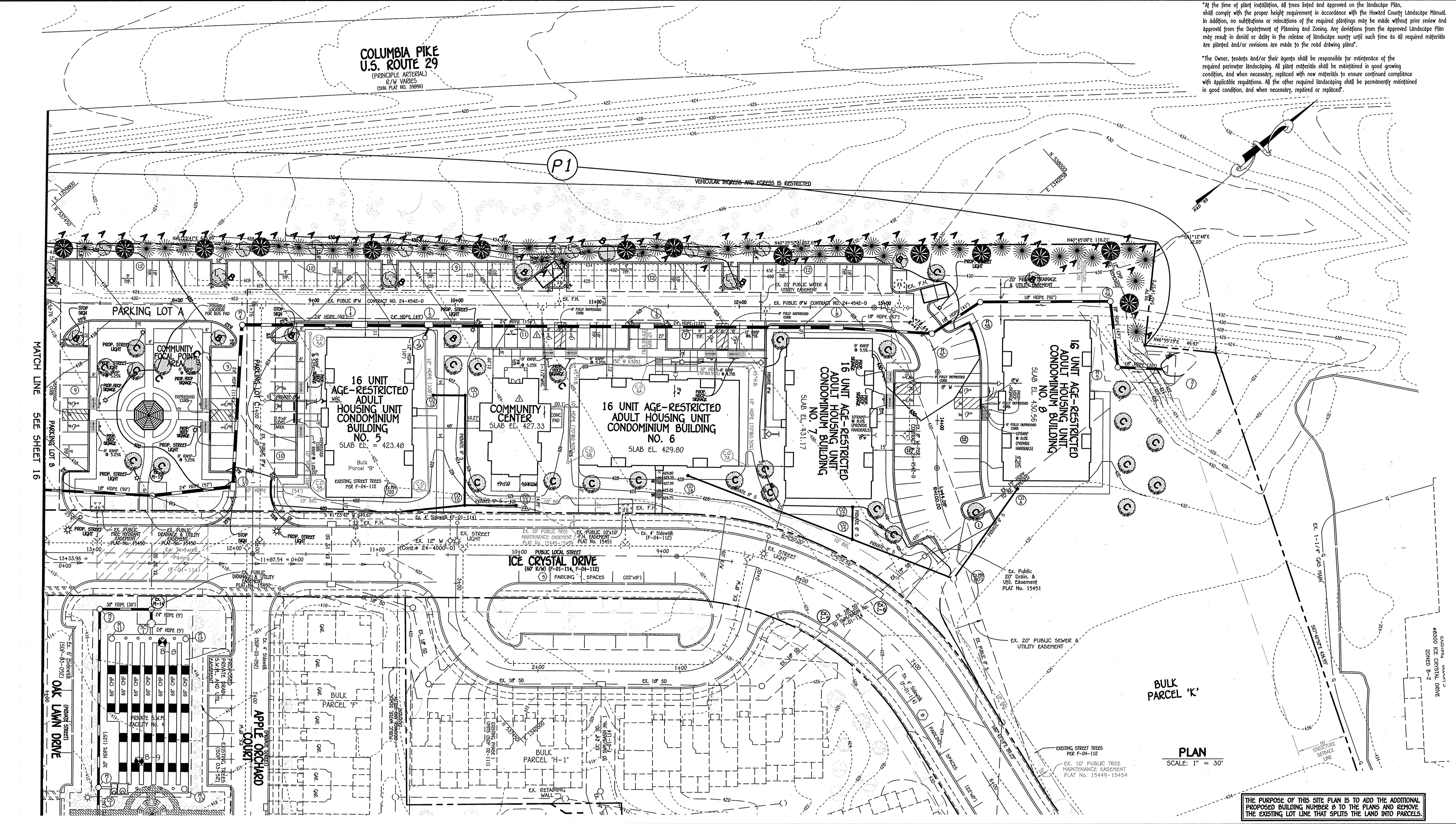
PLAT NO.	BLOCK NO.	ZONE	TAX	ELEC. DIST.	CENSUS TR.
15449 - 15454	4	MXD-6	46	6TH	6068.02
22515 - 22516					

WATER CODE: E18 SEWER CODE: 7602000

REVISED
STORM DRAIN DRAINAGE AREA MAP AND SOILS MAP
AGE RESTRICTED ADULT HOUSING
CHERRYTREE PARK
CONDOMINIUM BUILDINGS 1 THRU 8
BULK PARCEL 'K', PHASES 1 AND 2
(A RESUBDIVISION OF BULK PARCEL 'I' & 'J')
ZONED: MXD-6
TAX MAP No.: 46 PARCEL No.: 156
SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: AUGUST 1, 2008
SHEET 14 OF 22

"At the time of plant installation, all trees listed and approved on the landscape plan, shall comply with the proper height requirement in accordance with the Howard County Landscape Manual. In addition, no substitutions or relocations of the required plantings may be made without prior review and approval from the Department of Planning and Zoning. Any deviations from the approved Landscape Plan may result in denial or delay in the release of landscape surety until such time as all required materials are planted and/or revisions are made to the road drawing plans."

"The Owner, tenants and/or their agents shall be responsible for maintenance of the required perimeter landscaping. All plant materials shall be maintained in good growing condition, and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All the other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced."

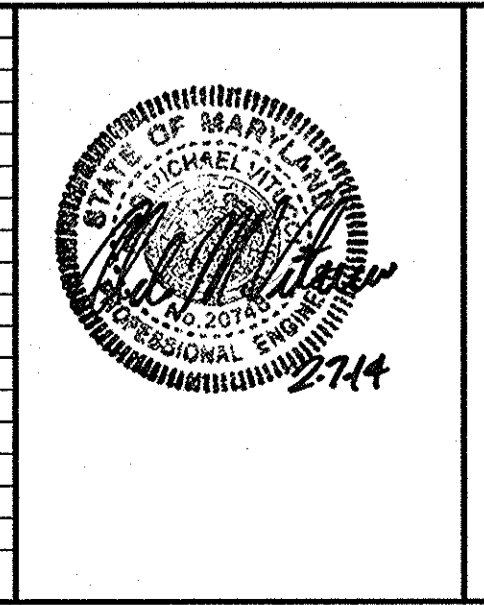


PLAN
SCALE: 1" = 30'

THE PURPOSE OF THIS SITE PLAN IS TO ADD THE ADDITIONAL PROPOSED BUILDING NUMBER 8 TO THE PLANS AND REMOVE THE EXISTING LOT LINE THAT SPLITS THE LAND INTO PARCELS.

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SOURCE OFFICE PARK - 10722 BALDPOKE NATIONAL PIKE
 ELKTON CITY, MARYLAND 21042
 (410) 461-2099

NO.	REVISION	DATE
5	ADDED 1 UNIT TO BUILDING NO. 6	2/9/10
5	REVISED CHANGING TO COMMUNITY CENTER	2/9/10
4	ADDED BUILDING 8 TO PLANS	1/29/14
3	REVISE BLDG. 7 W/H.C.	5/22/13
2	REVISE BLDG. 6 TO 16 UNITS, CHANGE ORIENTATION OF BLDG. 6 & 7 AND ADJUST PARKING COUNT	10/10/12
1	MOVED COMMUNITY CENTER LOCATION, ENLARGED BLDG. NO. 6, CHANGED BLDG. NO. 8 TO BLDG. NO. 7, REVISED UTILITIES AND PROPOSED TREE LOCATIONS AT BLDG. NO. 6	2/12/10



OWNER/DEVELOPER
 ICE CRYSTAL, L.L.C.
 8035-P COLUMBIA 100 PKWY.
 COLUMBIA, MARYLAND 21045
 (410) 730-0810
 ATTN: MR. JOHN LIPARINI

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Kat Shalovich 3/04/14
 Chief, Division of Land Development Date
Bob Schuch 2/27/14
 Chief, Development Engineering Division Date
Mark A. Wagle 2/19/14
 Director - Department of Planning and Zoning Date

PROJECT	SECTION/AREA	LOT NO.
CHERRYTREE PARK - BULK PARCEL 'K'	---	BLDG. UNITS 1-8

PLAT NO.	BLOCK NO.	ZONE	TAX	ELEC. DIST.	CENSUS TR.
15449 - 15454	4	MXD-6	46	6TH	6068.02
22513 - 22516					

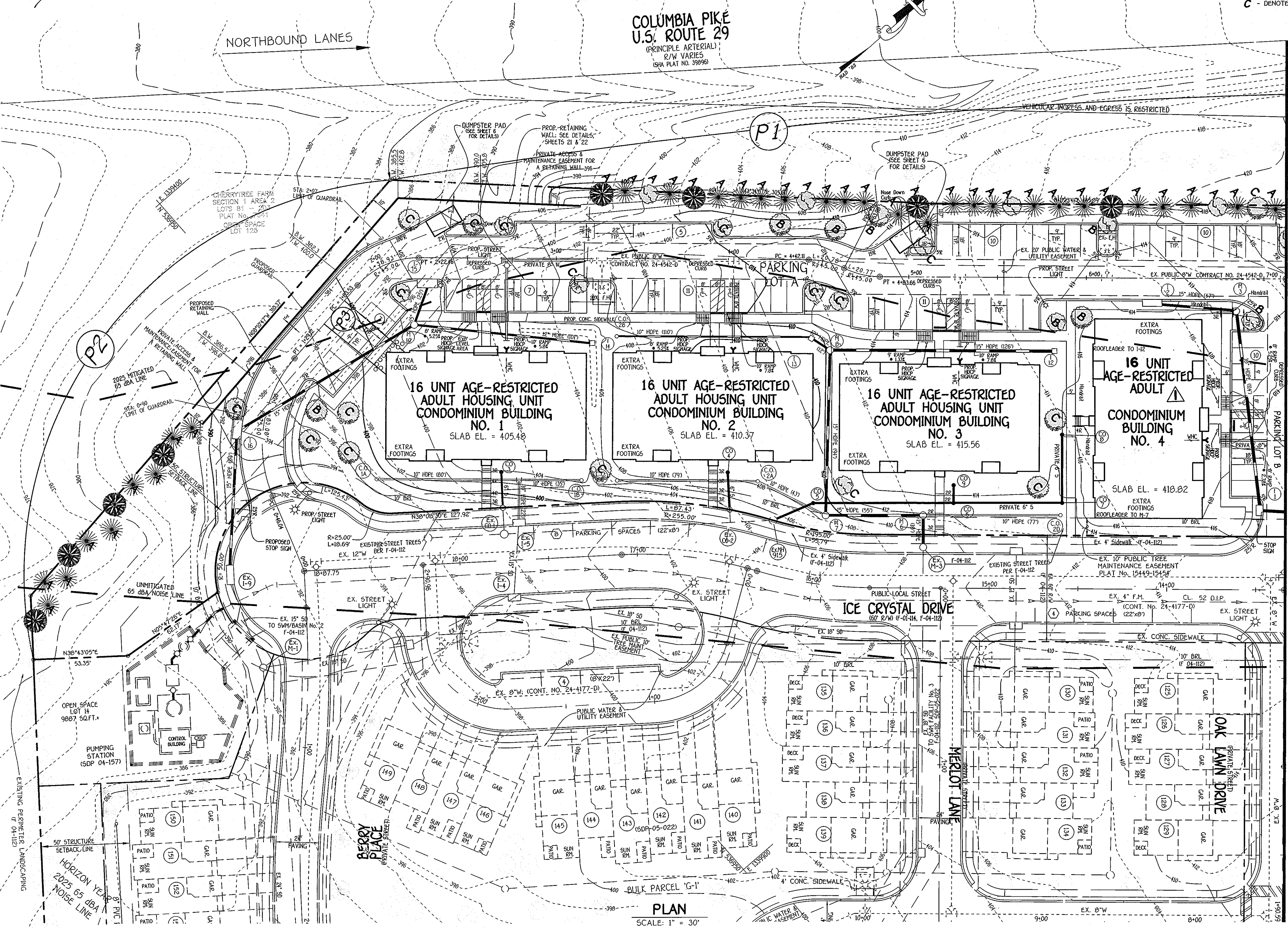
WATER CODE	SEWER CODE
E18	7602000

REVISED LANDSCAPE PLAN
 AGE RESTRICTED ADULT HOUSING
CHERRYTREE PARK
 CONDOMINIUM BUILDINGS 1 THRU 8
BULK PARCEL 'K', PHASES 1 AND 2
 (A RESUBDIVISION OF BULK PARCEL 'I' & 'J')
 ZONED: MXD-6
 TAX MAP No.: 46 PARCEL No.: 156
 SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST 1, 2008
 SHEET 15 OF 22

I:\2004\04041\dwg\REDLINE FOR BLDG 8 APRIL 2013\04041 SHEET 15 (REPLACEMENT MYLAR).dwg, Sheet: 15, 2/7/2014 8:35:29 AM, 1:1

LANDSCAPE DEVELOPER'S CERTIFICATE
 I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a letter of landscape installation accompanied by an executed one year guarantee of plant materials will be submitted to the Department of Planning and Zoning.

Name: *John P. Carter* Date: *7/15/08*



PERIMETER	SCHEDULE A PERIMETER LANDSCAPE EDGE			TOTAL
	P-1	P-2	P-3	
CATEGORY	Adjacent to Roadway	Adjacent to Perimeter Property	BUFFER LESS THAN 15'	
LANDSCAPE TYPE	C	C	N/A	
LINEAR FEET OF PERIMETER	1337' (1234')	347' (178')	16'	
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET)	NO	NO	NO	
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET)	YES (03' WALL)	YES (69' WALL)	NO	
NUMBER OF PLANTS REQUIRED & PROVIDED	31	4	-	35
SHADE TREES	62	9	-	71
EVERGREEN TREES	-	-	10	10
SHRUBS	-	-	-	-

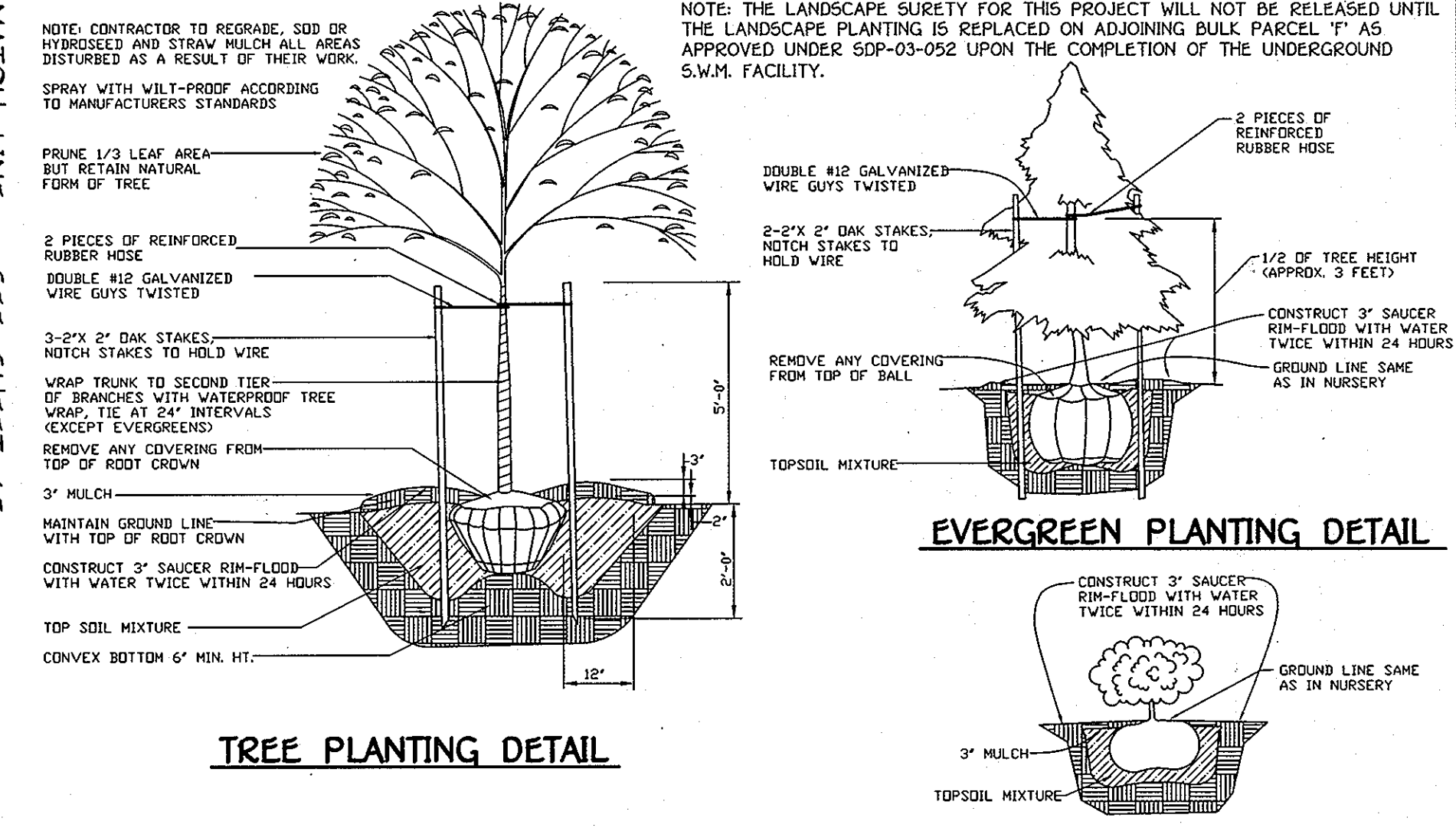
NOTE:
 A - DENOTES SCHEDULE A TREES
 B - DENOTES SCHEDULE B TREES
 C - DENOTES SCHEDULE C TREES

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING	
NUMBER OF PARKING SPACES	200
NUMBER OF TREES REQUIRED (1:10 SPACES)	20
NUMBER OF TREES PROVIDED	20
SHADE TREES	20
OTHER TREES (2:1 SUBSTITUTION)	-

SCHEDULE C RESIDENTIAL DEVELOPMENT INTERNAL LANDSCAPING	
NUMBER OF DWELLING UNITS	136
NUMBER OF TREES REQUIRED (1:3 DU APTS)	45
NUMBER OF TREES PROVIDED	47
SHADE TREES	-
OTHER TREES (2:1 SUBSTITUTION)	-

PLANT LIST				
QTY.	KEY	NAME	SIZE	
32		QUERCUS PHELLOS WILLOW OAK	2-1/2"-3" CALIPER	
17		ACER RUBRUM 'OCTOBER GLORY' (OCTOBER GLORY RED MAJESTY)	2-1/2"-3" CALIPER	
23		QUERCUS PALYSTRIS 'SOVEREIGN' (SOVEREIGN PIN OAK)	2-1/2"-3" CALIPER	
71		CUPRESSOCYPARIS LEYLANDI/ LEYLAND CYPRESS	5'-6" HT.	
10		AZALEA 'GUMPO WHITE' GUMPO WHITE AZALEA	18"-24" SP.	

THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE REQUIRED 102 SHADE & 71 EVERGREEN TREES, 10 SHRUBS AND 272 L.F. OF RETAINING WALL WILL BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$45,490.00. (SEE SHEET 17 FOR FOCAL POINT LANDSCAPE PLANT LIST AND PLAN VIEW). **TOTAL LANDSCAPE SURETY IS \$52,510.00**
 NOTE: THE LANDSCAPE SURETY FOR THIS PROJECT WILL NOT BE RELEASED UNTIL THE LANDSCAPE PLANTING IS REPLACED ON ADJOINING BULK PARCEL 17 AS APPROVED UNDER SDP-03-052 UPON THE COMPLETION OF THE UNDERGROUND S.W.M. FACILITY.



PLANTING SPECIFICATIONS **SHRUB PLANTING DETAIL**

Plants, related material, and operations shall meet the detailed description as given on the plans and as described herein.
 All plant material, unless otherwise specified, shall be nursery grown, uniformly branched, have a vigorous root system, and shall conform to the species, size, root and shape shown on the plant list and the American Association of Nurserymen (AAO) Standards. Plant material shall be healthy, vigorous, free from defects, decay, disfiguring roots, sun scald injuries, abrasions of the bark, plant disease, insect pest eggs, borers and all forms of insect infestations or objectionable disfigurements. Plant material that is weak or which has been cut back from larger grades to meet specified requirements will be rejected. Trees with forked leaders will not be accepted. All plants shall be freshly dug; no heated-in plants from cold storage will be accepted.
 Unless otherwise specified, all general conditions, planting operations, details and planting specifications shall conform to "Landscape Specification Guidelines for Baltimore-Washington Metropolitan Areas" (hereinafter "Landscape Guidelines") approved by the Landscape Contractors' Association of Metropolitan Washington and the Potomac Chapter of the American Society of Landscape Architects, latest edition, including all addenda.
 Contractor shall be required to guarantee all plant material for a period of one year after date of acceptance in accordance with the appropriate section of the Landscape Guidelines. Contractor's attention is directed to the maintenance requirements found within the one year specifications including watering and replacement of specified plant material.
 Contractor shall be responsible for notifying utility companies, utility contractors and "Miss Utility" a minimum of 48 hours prior to beginning any work. Contractor may make minor adjustments in spacing and location of plant material to avoid conflicts with utilities. Damage to existing structure and utilities shall be repaired at the expense of the contractor.
 Protection of existing vegetation to remain shall be accomplished by the temporary installation of 4 foot high snow fence or blaze orange safety fence at the drip line.
 Contractor is responsible for installing all material in the proper planting season for each plant type. All planting is to be completed within the growing season of completion of site construction.
 Bid shall be based on actual site conditions. No extra payment shall be made for work arising from site conditions differing from those indicated on drawings and specifications.
 Plant quantities are provided for the convenience of the contractor only. If discrepancies exist between quantities shown on and those shown on the plant list, the quantities on the plant list take precedence.
 All shrubs shall be planted in continuous trenches or prepared planting beds and mulched with composted hardwood mulch as details and specified except where noted on plans.
 Positive drainage shall be maintained in planting beds (2 percent slope).
 Planting mix shall be as follows: Deciduous Plants - Two parts topsoil, one part well-rotted cow or horse manure. Add 3 lbs. of standard fertilizer per cubic yard of planting mix. Evergreen Plants - two parts topsoil, one part humus or other approved organic material. Add 3 lbs. of evergreen (acidic) fertilizer per cubic yard of planting mix. Topsoil shall conform to the Landscape Guidelines.
 Weed Control: Incorporate a pre-emergent herbicide into the planting bed following recommended rates on the label. Caution: Be sure to carefully check the chemical used to assure its adaptability to the specific ground cover to be treated.
 All areas within contract limits disturbed during or prior to construction not designated to receive plants and mulch shall be fine graded and seeded. This plan is intended for landscape use only. See other plan sheets for more information on grading, sediment control, layout, etc.

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 1872 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042
 (410) 461-2955

NO.	REVISION	DATE
2	ADDED BUILDING 8 TO PLANS	11/27/12
1	MOVED COMMUNITY CENTER LOCATION & CHANGED BLDG. NO. 4 FROM 15 UNITS TO 16 UNITS.	2/12/10

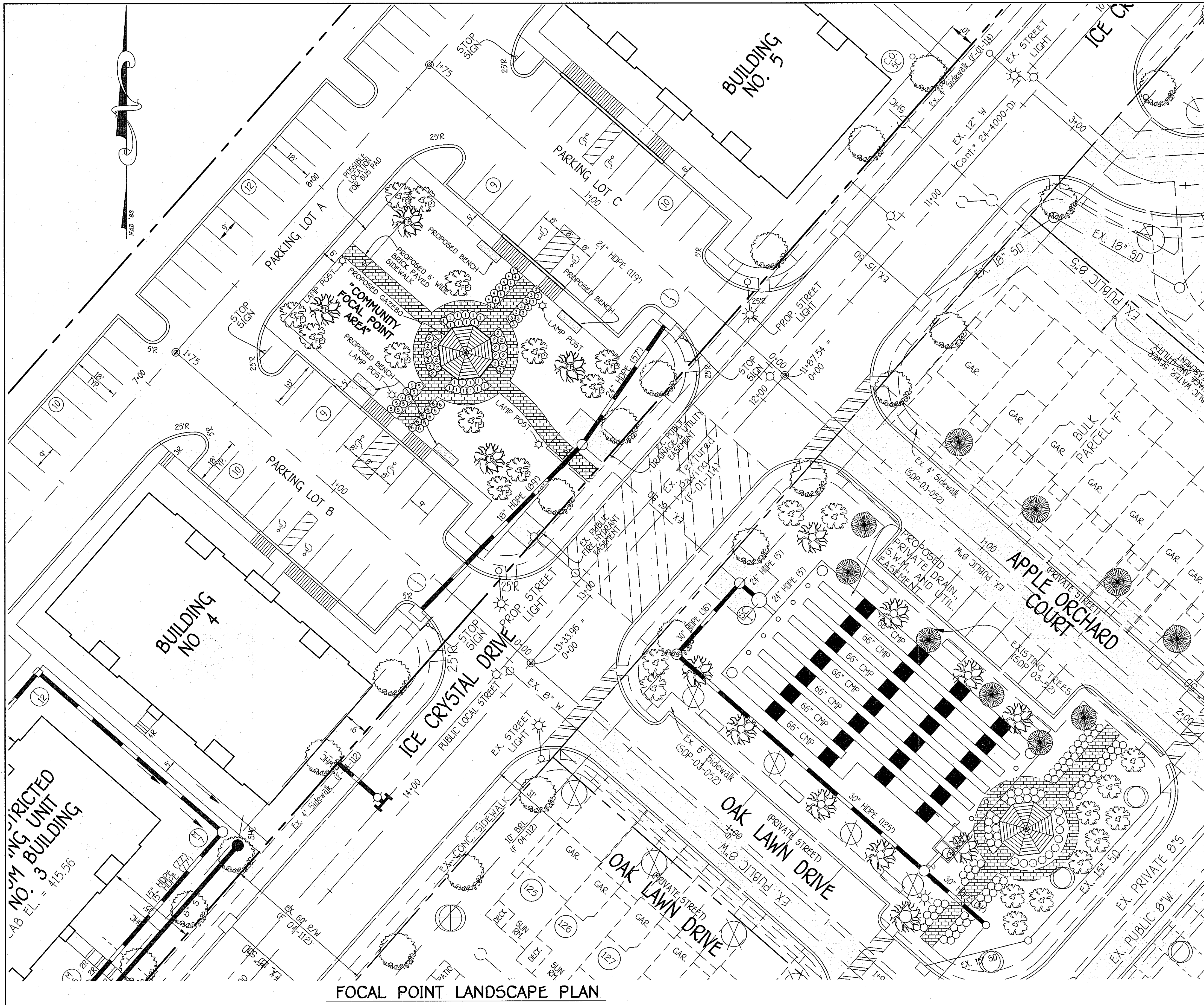
APPROVED
PLANNING BOARD
 OF HOWARD COUNTY
 DATE: **July 17, 2008**
 KS

ENGINEER'S CERTIFICATE
 I certify that the plan and sediment control represents a practical and workable plan based on a study of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 Signature of Engineer: *[Signature]* Date: **7-20-08**
DEVELOPER'S CERTIFICATE
 I/We certify that all development and construction will be done according to this plan, for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
 Signature of Developer: *[Signature]* Date: **7/15/08**

Reviewed for HOWARD SCD and meets Technical Requirements.
 U.S.D.A.-Natural Resources Conservation Service
 This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
 Date: _____
 Signature: _____
 Howard SCD Date: _____
OWNER/DEVELOPER
 ICE CRYSTAL, L.L.C.
 8835-P COLUMBIA 100 PKWY.
 COLUMBIA, MARYLAND 21045
 (410) 730-0810
 ATTN: MR. JOHN LIPARINI

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Division of Planning and Development: *[Signature]* Date: **10/23/08**
 Chief, Development Engineering Division: *[Signature]* Date: **10/15/08**
 Director - Department of Planning and Zoning: *[Signature]* Date: **10/16/08**
 PROJECT: CHERRYTREE PARK - BULK PARCEL 'K'
 SECTION/AREA: ---
 LOT NO.: BLDG. UNITS 1-8

LANDSCAPE PLAN
 AGE RESTRICTED ADULT HOUSING
CHERRYTREE PARK
 CONDOMINIUM BUILDINGS 1 THRU 8
 BULK PARCEL 'K', PHASES 1 AND 2
 (A RESUBDIVISION OF BULK PARCEL 'K' & 'J')
 ZONED: MXD-6
 TAX MAP No.: 46 PARCEL No.: 156
 SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST 1, 2008
 SHEET 16 OF 22



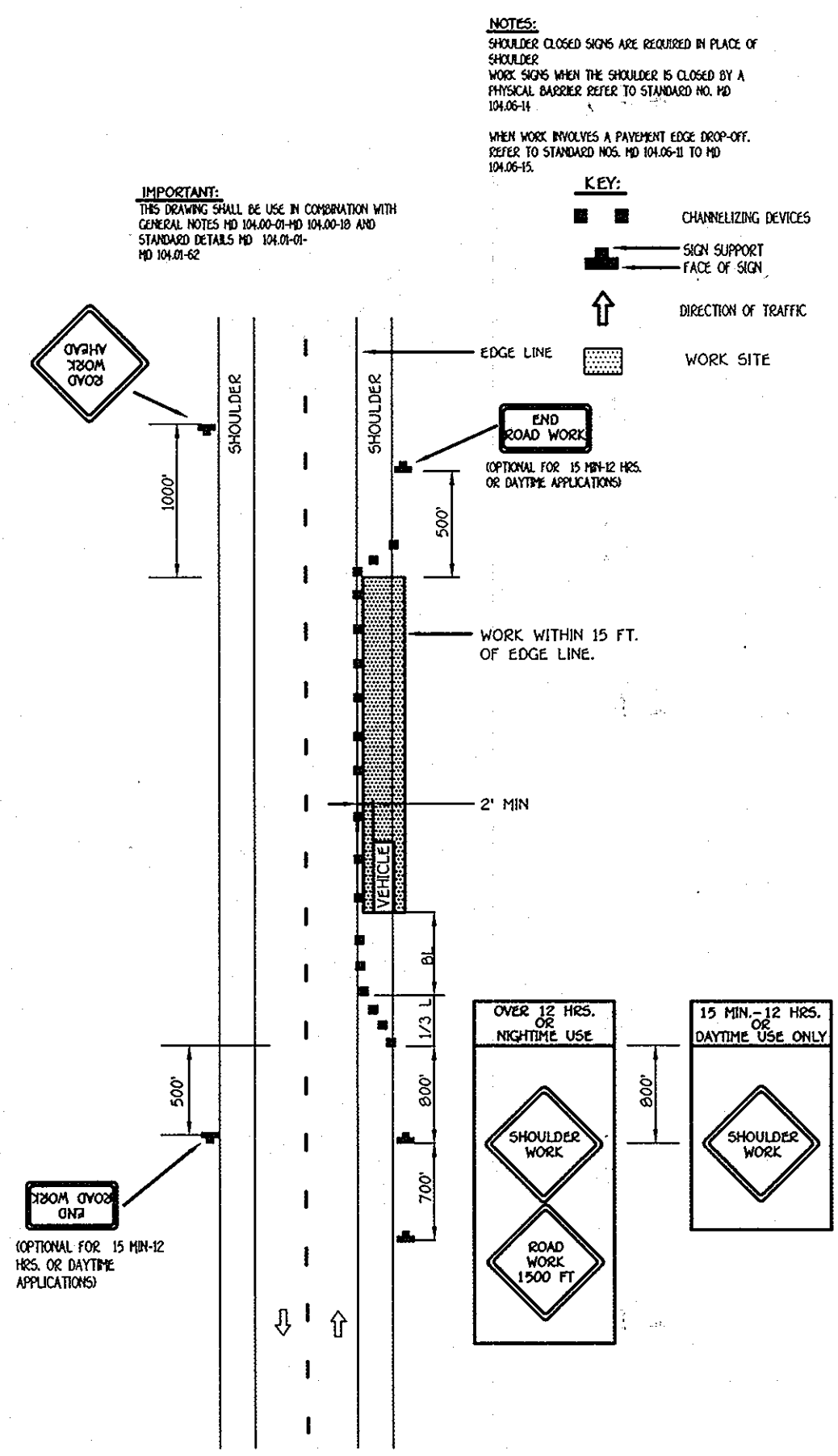
FOCAL POINT PLANTING LIST			
QTY.	KEY	NAME	SIZE
20	①	TAXUS BACCATA 'REPANDENS' / SPREADING ENGLISH YEW	18"-24" sp.
20	②	TAXUS MEDIA 'DENSIFORMIS' / DENSIFORMIS YEW	2-1/2'-3' ht.
12	③	LLEX x CRENATA 'COMPACTA' / COMPACTA JAPANESE HOLLY	2-1/2'-3' ht.
12	④	PYRACANTHA COCCINEA 'LOWBOY' / LOWBOY FIRETHORN	18"-24" sp.
10	⑤	VIBURNUM CARLESII / KOREAN SPICE VIBURNUM	2-1/2'-3' ht.
10	⑥	LLEX VERTICILLATA / WINTERBERRY	3'-4' ht.
12	⑦	CORNUS FLORIDA 'RUBRA' / RED FLOWERING DOGWOOD	8' - 10' HT.
4	⑧	ACER PLATANOIDES 'EMERALD QUEEN' (EMERALD QUEEN NORWAY MAPLE)	2-1/2"-3" CALIPER

THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE FOCAL POINT LANDSCAPING (4 SHADE, 12 ORNAMENTAL & 84 SHRUBS) WILL BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$5,520.00.

NOTE: ANY LANDSCAPING REMOVED BY THE INSTALLATION OF THE UNDERGROUND S.W.M. FACILITY WILL BE REPLACED OR RELOCATED.

MAINTENANCE OF TRAFFIC SPECIAL PROVISIONS

- GENERAL**
- THE PURPOSE OF THIS PORTION OF THE SPECIAL PROVISION IS TO SET FOR THE TRAFFIC CONTROL REQUIREMENTS NECESSARY FOR THE SAFE AND EFFICIENT MAINTENANCE TO TRAFFIC WITHIN WORK AREAS, AND TO MINIMIZE ANY INCONVENIENCES TO THE TRAVELING PUBLIC AND THE CONTRACTOR AND/OR PERMITTEE.
 - PROPERTY TRAFFIC CONTROL THROUGH WORK AREAS IS ESSENTIAL FOR INSURING THE SAFETY AND THAT OF HIGHWAY WORKERS HAS THE HIGHEST PRIORITY OF ALL TASKS UNDER THIS PROJECT. THE PROPER APPLICATION OF THE APPROVED TRAFFIC CONTROL PLAN (TCP) WILL PROVIDE THE DESIRED LEVEL OF SAFETY.
 - THROUGHOUT THESE SPECIAL PROVISIONS, ANY MENTION OF THE TCP SHALL BE IMPLIED TO INCLUDE ANY COMBINATION OF TYPICAL TRAFFIC CONTROL STANDARDS WHICH FORM THE OVERALL TCP FOR THIS PROJECT WHICH HAS BEEN APPROVED BY THE APPROPRIATE SHA TRAFFIC ENGINEER.
 - THE CONTRACTOR AND/OR PERMITTEE SHALL BE REQUIRED TO ADHERE TO THE PROVISIONS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), 1980 EDITION, ESPECIALLY PART VI AND TO SECTION 816 OF THE MUTCD AND DOT STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS (JANUARY, 1982), INCLUDING ALL REVISIONS AND SUPPLEMENTS TO EACH.
 - THE CONTRACTOR AND/OR PERMITTEE SHALL BE REQUIRED TO ADHERE TO THE REQUIREMENTS SET FORTH IN THE TCP AND THESE SPECIAL PROVISIONS, UNLESS OTHERWISE DIRECTED BY THE ENGINEER. ANY REQUESTS TO MAKE CHANGES TO THE TCP OR THE SPECIAL PROVISIONS WITH REGARD TO THE TRAFFIC CONTROL ITEMS SHALL BE MADE IN WRITING TO THE ENGINEER A MINIMUM OF THREE WORKING DAYS PRIOR TO THE PROPOSED SCHEDULING CHANGE. THE CONTRACTOR AND/OR PERMITTEE SHALL HAVE WRITTEN APPROVAL OF THE ENGINEER PRIOR TO THE IMPLEMENTATION OF ANY CHANGE.
 - NO WORK SHALL BEGIN ON ANY WORK ACTIVITY OR WORK PHASE UNTIL ALL REQUIRED TRAFFIC CONTROL PATTERNS AND DEVICES INDICATED ON THE TCP FOR THAT ACTIVITY OR PHASE ARE COMPLETELY AND CORRECTLY IN PLACE TO HAVE BEEN CHECKED FOR APPROVED USAGE.
 - GENERAL AND SPECIFIC WARNING SIGNS SHALL ONLY BE IN PLACE WHEN SPECIFIC WORK TASKS AND ACTIVITIES ARE ACTUALLY UNDERWAY OR CONDITIONS EXIST THAT POSE A POTENTIAL HAZARD TO THE PUBLIC, AND ANY ADDITIONAL SIGNING HAS BEEN APPROVED BY THE APPROPRIATE SHA TRAFFIC ENGINEER. NOTE: THE PRACTICE OF PLACING SIGNING AND OTHER TRAFFIC CONTROL DEVICES IN ADDITION TO THOSE INDICATED ON THE APPROVED TCP IS NOT PERMITTED.
 - THE CONTRACTOR AND/OR PERMITTEE SHALL PROVIDE, MAINTAIN IN NEW CONDITION, AND MOVE WHEN NECESSARY, OR AS DIRECTED BY THE ENGINEER, ALL TRAFFIC CONTROL DEVICES USED FOR THE GUIDANCE AND PROTECTION OF MOTORISTS, PEDESTRIANS, AND WORKERS.
 - ALL TRAFFIC CONTROL DEVICES REQUIRED BY THE TCP SHALL BE LEFT IN GOOD CONDITION, FULLY PERFORMING AS SET FORTH IN THE MUTCD, AND/OR SECTION 814 OF THE SPECIFICATIONS. FOR REFLECTIVE DEVICES, A PARTICULAR DEVICE IS ASSIGNED TO HAVE FAILED TO MEET MINIMUM OPERATIONAL STANDARDS WHEN THE DEVICE NO LONGER HAS RETRO-REFLECTANCE CAPABILITY OF AT LEAST 50% OF THE SPECIFIED MINIMUM VALUE OVER AT LEAST 50% OF THE VISIBLE REFLECTIVE SURFACE.
 - ALL TRAFFIC CONTROL DEVICES NOT REQUIRED FOR THE SAFE CONDUCT OF TRAFFIC SHALL BE PROMPTLY REMOVED, COMPLETELY COVERED, TURNED AWAY FROM TRAFFIC, OR OTHERWISE TAKEN OUT OF SERVICE. IT IS INTENDED THAT NO TRAFFIC CONTROL DEVICE IS TO BE IN SERVICE WHEN THESE IS NOT THE CASE FOR THE DEVICE.
 - THROUGHOUT THE PERIODS OF WORK ACTIVITIES, TRAFFIC SHALL BE MAINTAINED BY IMPLEMENTING THE APPROVED TCP. IN LIEU OF THE TCP PREPARED FOR THIS PROJECT, AND/OR INDIVIDUAL TYPICAL TRAFFIC CONTROL STANDARDS, THE CONTRACTOR AND/OR PERMITTEE HAS THE OPTION OF PREPARING AND SUBMITTING A TCP, WHOLLY OR IN PART, OF HIS OWN DESIGN FOLLOWING GUIDELINES SET FORTH IN THE MUTCD AND PRESCRIBED BY THE ADMINISTRATION. A TCP DEVELOPED BY THE CONTRACTOR AND/OR PERMITTEE SHALL NOT BE IMPLEMENTED UNTIL ADVANCE WRITTEN APPROVAL IS OBTAINED FROM THE ENGINEER. TOPS MAY BE IMPLEMENTED WITHIN A SINGLE PROJECT OR JOINTLY BETWEEN TWO OR MORE PROJECTS. IN SITUATIONS WHERE TOPS JOINTLY IMPLEMENTED, CARE SHALL BE EXERCISED TO PREVENT CONFLICT AND NON-CONFLICTING GUIDANCE TO THE TRAVELING PUBLIC.
 - THROUGHOUT THESE SPECIAL PROVISIONS, WHERE SPEED OF TRAFFIC IS NOTED, THIS MEANS THE POSTED SPEED OR PREVAILING TRAVEL SPEED, WHICHEVER IS LOWER, UNLESS OTHERWISE NOTED.
 - TRAFFIC SHALL BE MAINTAINED AT ALL TIMES THROUGHOUT THE ENTIRE LENGTH OF THE PROJECT, UNLESS OTHERWISE NOTED. NO TRAVEL LANE(S) OTHER THAN THOSE DESIGNATED FOR POSSIBLE CLOSURE IN THE TCP SHALL BE CLOSED WITHOUT OBTAINING PRIOR APPROVAL FROM THE ENGINEER. ALL INGRESS AND EGRESS TO THE WORK AREA BY THE CONTRACTOR AND/OR PERMITTEE SHALL BE PERFORMED WITH THE FLOW OF TRAFFIC.



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELKLOTT CITY, MARYLAND 20424
 (410) 461-2955

NO.	REVISION	DATE
2	ADDED BUILDING B TO PLAN	1/20/14
1	Moved Community Center From Bldg. No. 4	2/12/10

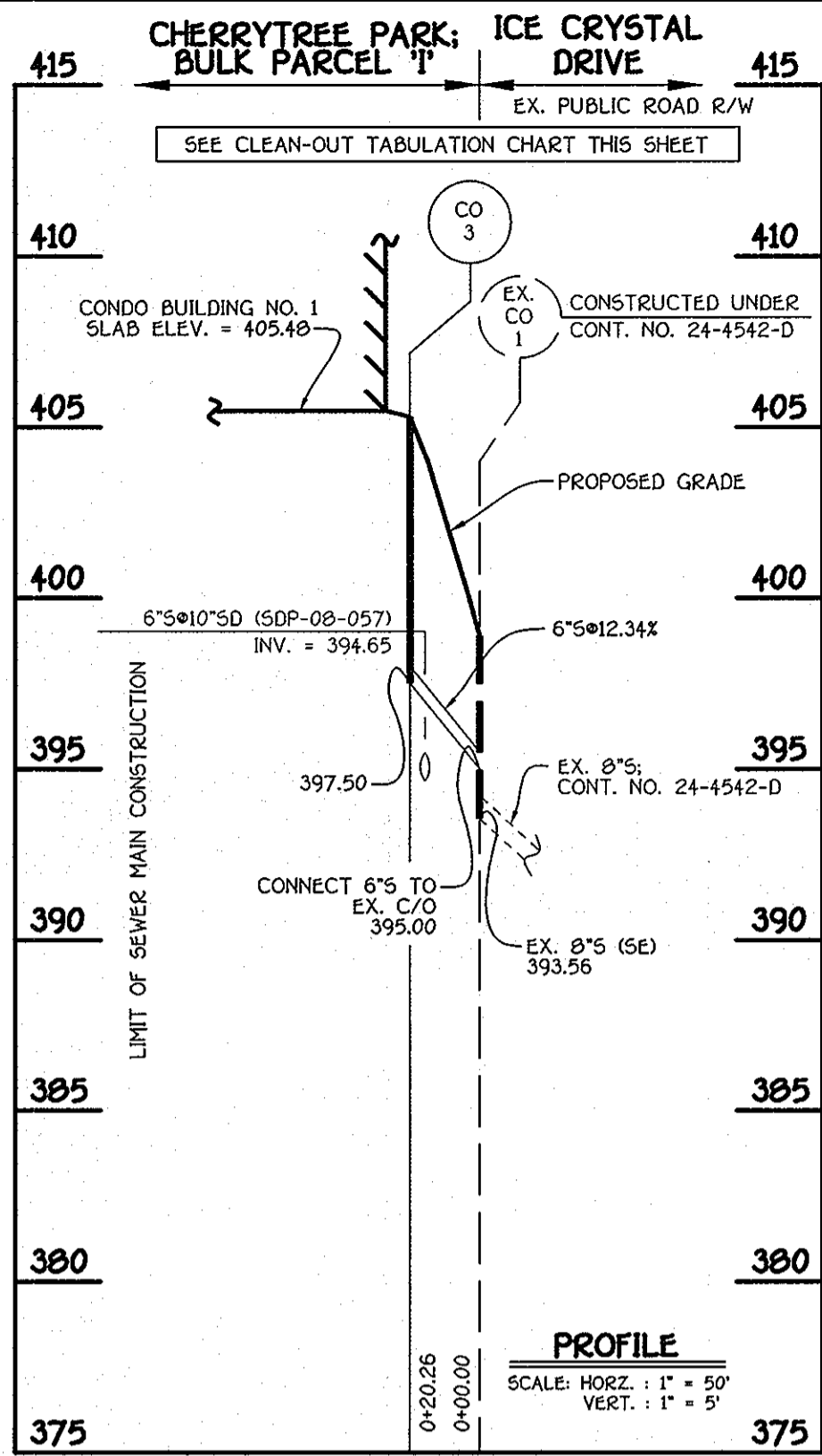
APPROVED PLANNING BOARD OF HOWARD COUNTY
 DATE: **July 17, 2008**

ENGINEER'S CERTIFICATE
 I certify that this erosion and sediment control represents a practical and workable plan based on my knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 Signature: *[Signature]* Date: **9/20/08**
 Licensed Professional Engineer under the laws of the State of Maryland, License No. 20748, Expiration Date 2-22-09.
DEVELOPER'S CERTIFICATE
 I/We certify that all development and construction will be done according to this plan for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
 Signature of Developer (Print name below signature): *[Signature]* Date: **9/20/08**

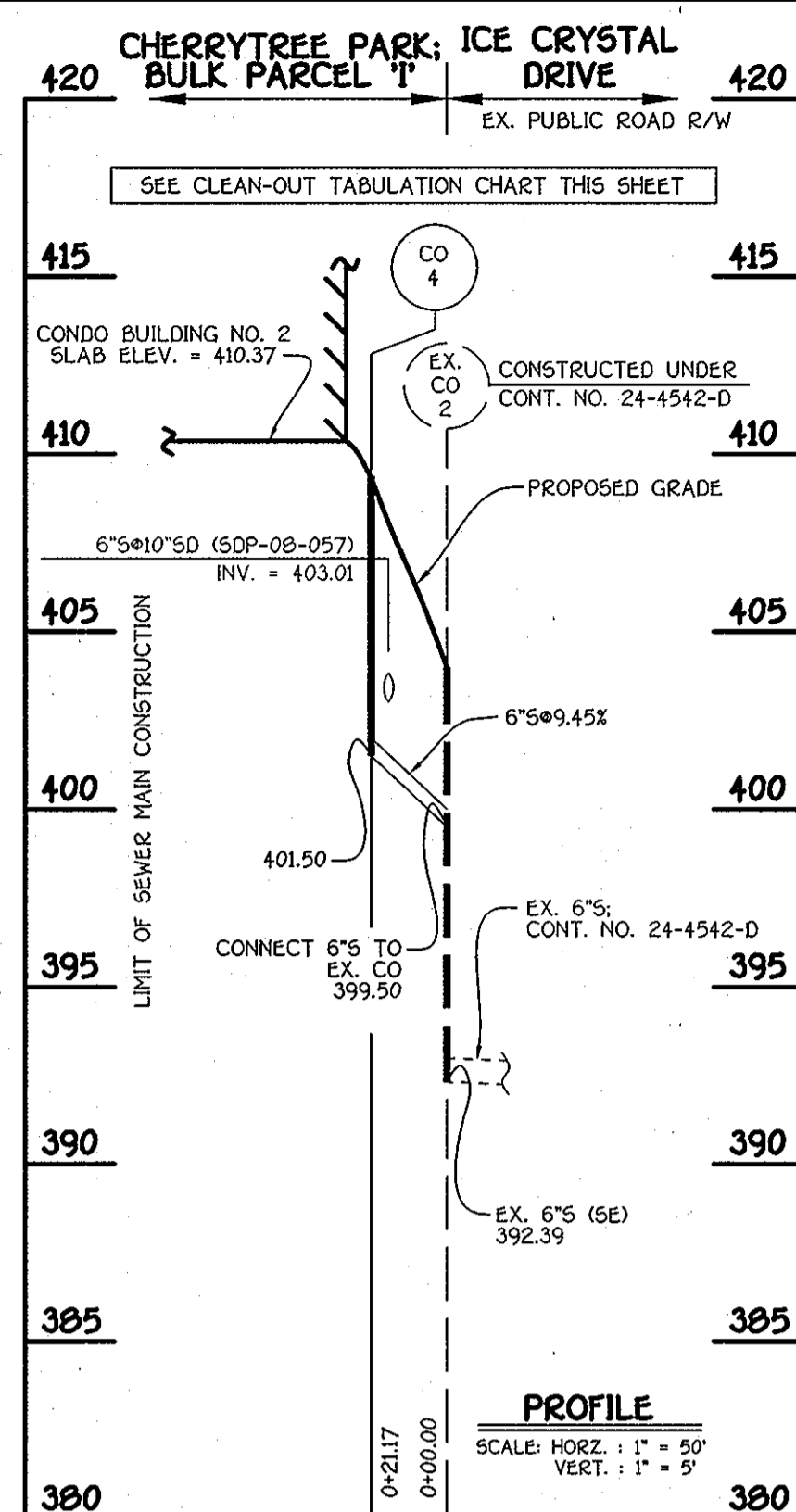
Reviewed for HOWARD SCD and meets Technical Requirements.
 U.S.D.A.-Natural Resources Conservation Service
 This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
 Howard SCD Date: **G.S.**
OWNER/DEVELOPER
 ICE CRYSTAL, L.L.C.
 8235-F COLUMBIA 100 PKWY.
 COLUMBIA, MARYLAND 21045
 (410) 730-0810
 ATTN: MR. JOHN LIPARINI

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, *[Signature]* Date: **10/27/08**
 Chief, *[Signature]* Date: **10/15/08**
 Director, *[Signature]* Date: **10/24/08**
 Director - Department of Planning and Zoning
 PROJECT: CHERRYTREE PARK - BULK PARCEL 'K'
 SECTION/AREA: ---
 LOT NO.: BLDG. UNITS 1-8
 PLAT NO.: 15449 - 15454
 BLOCK NO.: 4
 ZONE: MXD-6
 TAX: 46
 ELEC. DIST.: 6TH
 CENSUS TR.: 6068.02
 WATER CODE: E1B
 SEWER CODE: 7602000

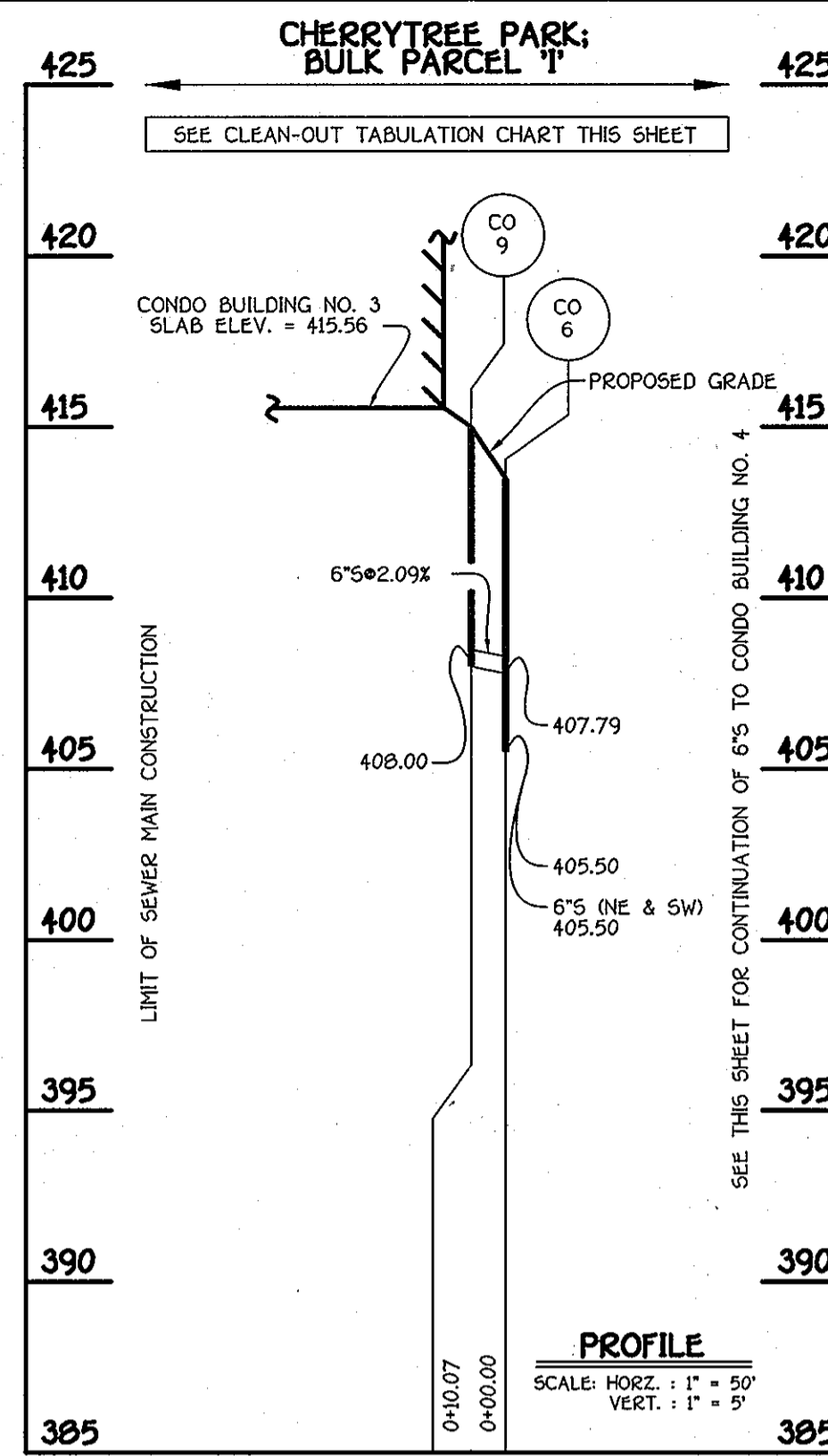
FOCAL POINT LANDSCAPE PLAN & TRAFFIC PLAN
 AGE RESTRICTED ADULT HOUSING
CHERRYTREE PARK
 CONDOMINIUM BUILDINGS 1 THRU 8
BULK PARCEL 'K', PHASES 1 AND 2
 (A RESUBDIVISION OF BULK PARCEL 'I' & 'J')
 ZONED: MXD-6
 TAX MAP NO.: 46
 PARCEL NO.: 156
 SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: AUGUST 1, 2008
 SHEET 17 OF 22
SDP 08-057



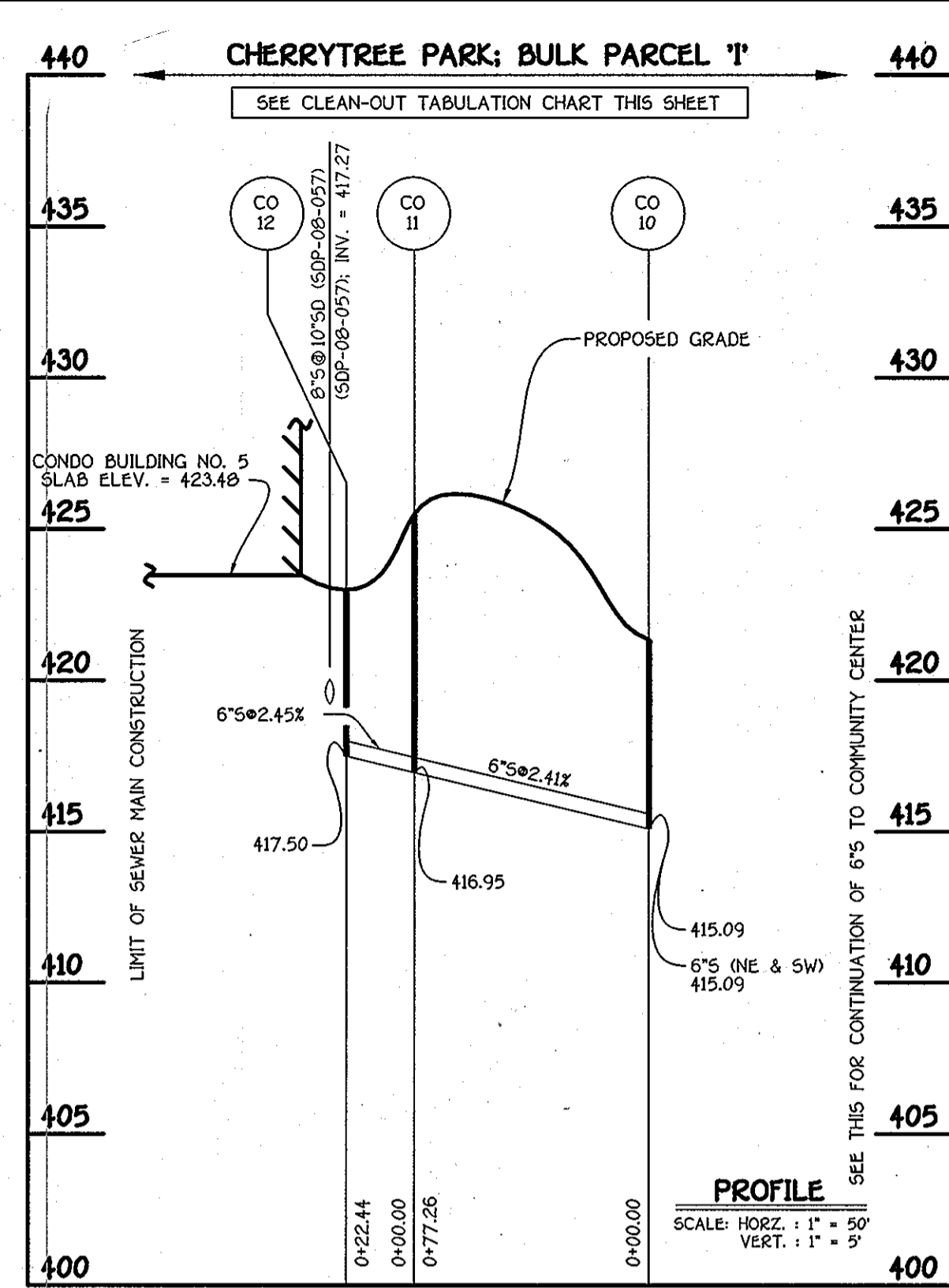
6" SEWER MAIN TO CONDO BUILDING NO. 1



6" SEWER MAIN TO CONDO BUILDING NO. 2



6" SEWER MAIN TO CONDO BUILDING NO. 3

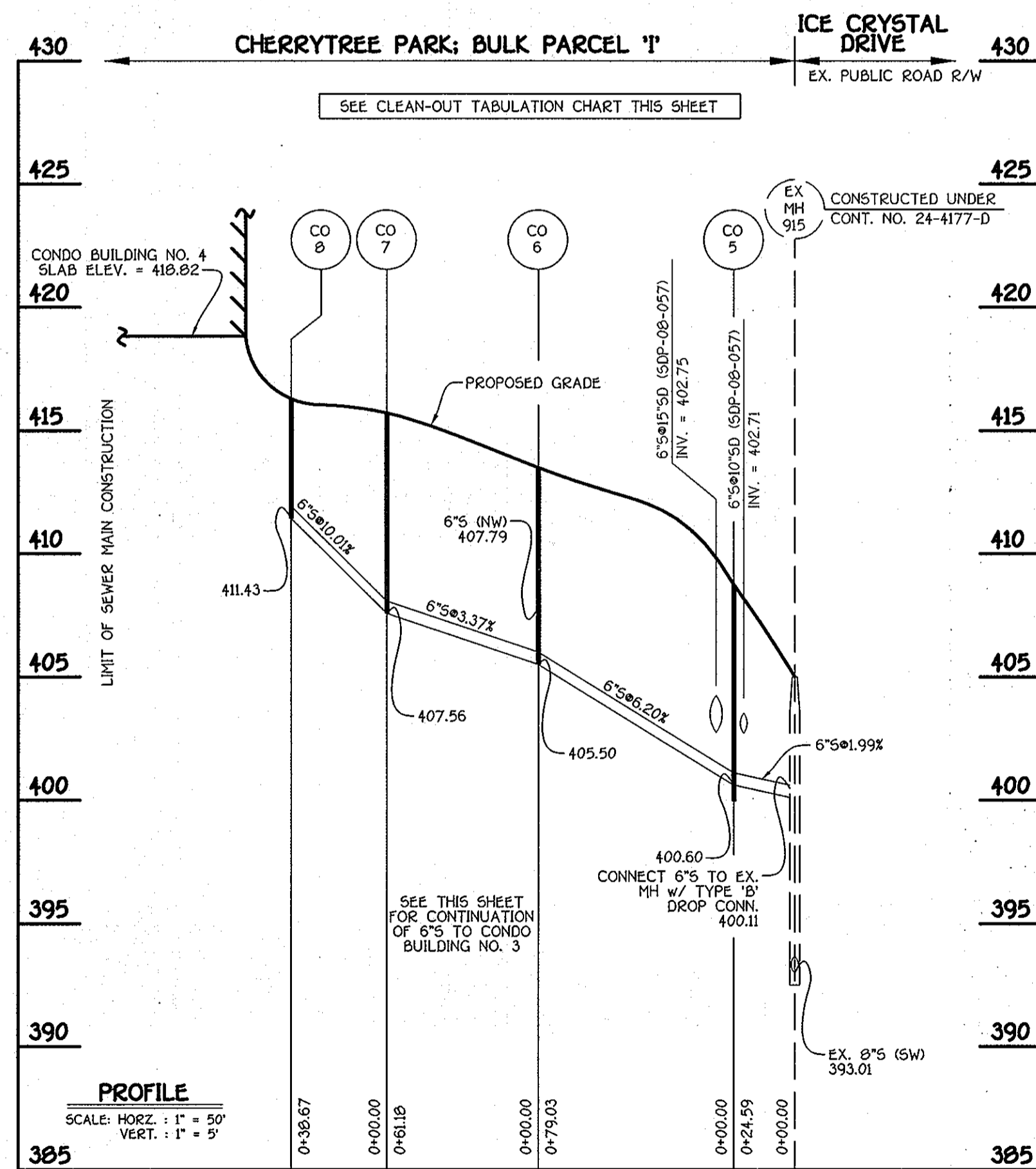


6" SEWER MAIN TO CONDO BUILDING NO. 5

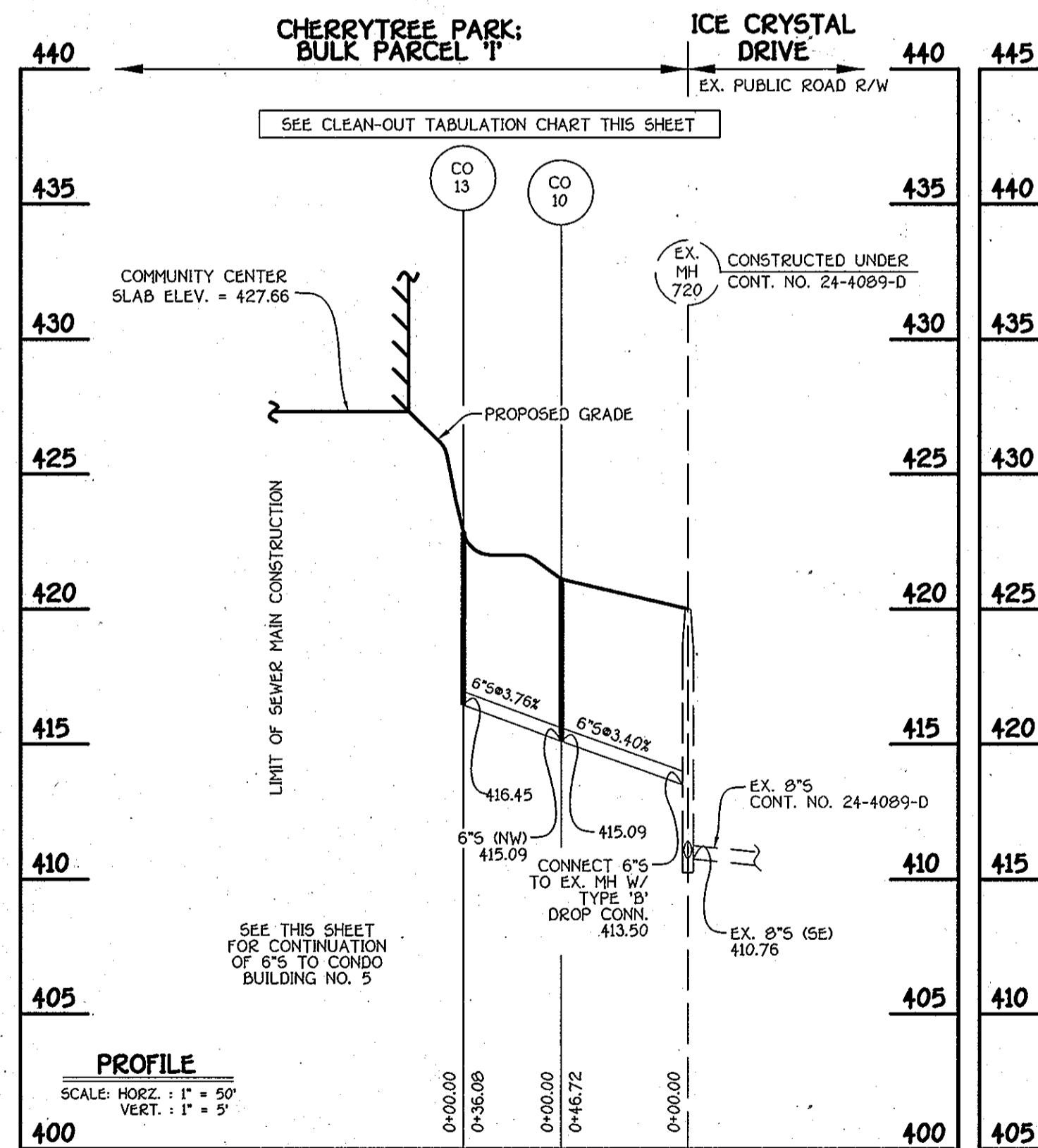
CLEAN-OUT TABULATION CHART			
NO.	NORTHING	EASTING	RIM ELEVATION
3	536995.15	1339640.74	404.00
4	537091.10	1339724.68	409.40
5	537115.92	1339769.47	409.00
6	537175.52	1339821.38	413.50
7	537221.66	1339861.55	413.90
8	537247.06	1339832.39	416.00
9	537182.17	1339813.83	415.00
10	537528.24	1340149.85	421.60
11	537579.25	1340091.82	426.00
12	537562.40	1340077.00	423.00
13	537555.32	1340173.70	422.85
14	537571.56	1340155.38	426.50
15	537718.32	1340347.17	427.00
16	537660.46	1340237.41	428.50
17	537733.49	1340330.18	430.00
A	557824.01	1340396.01	432.65

NOTE: *SET TOP OF CLEAN-OUTS FLUSH W/ PROPOSED GRADE.
 FOR WATER AND SEWER MAIN PROFILE OF BUILDING NO'S. 7 AND 8, SEE SHEET 7.

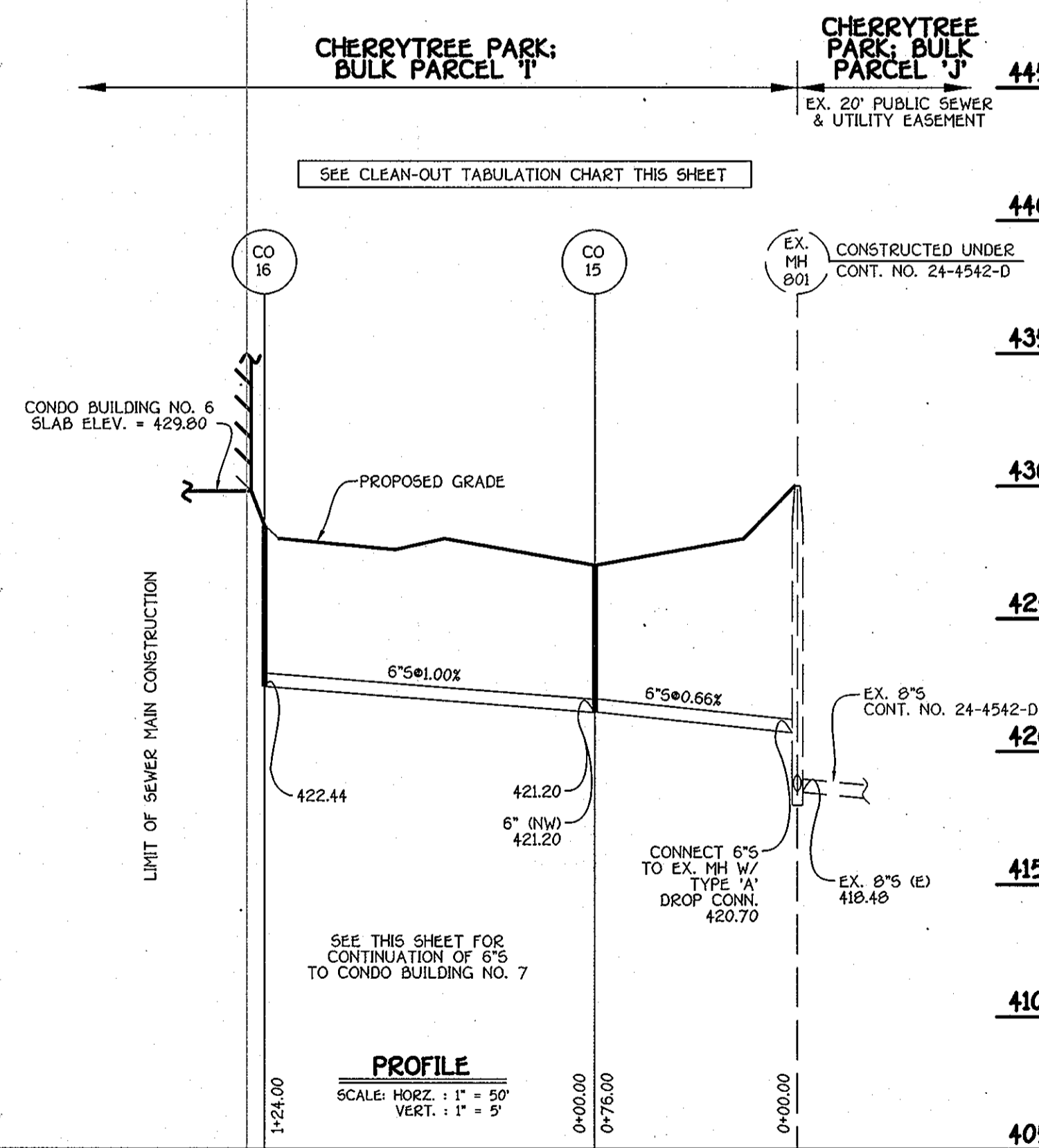
M.C.E. CHART	
UNIT	M.C.E.
1	402.84
2	406.90
3	413.36
4	416.99
5	423.00
6	427.94
7	428.34
FUTURE BLDG.	431.34



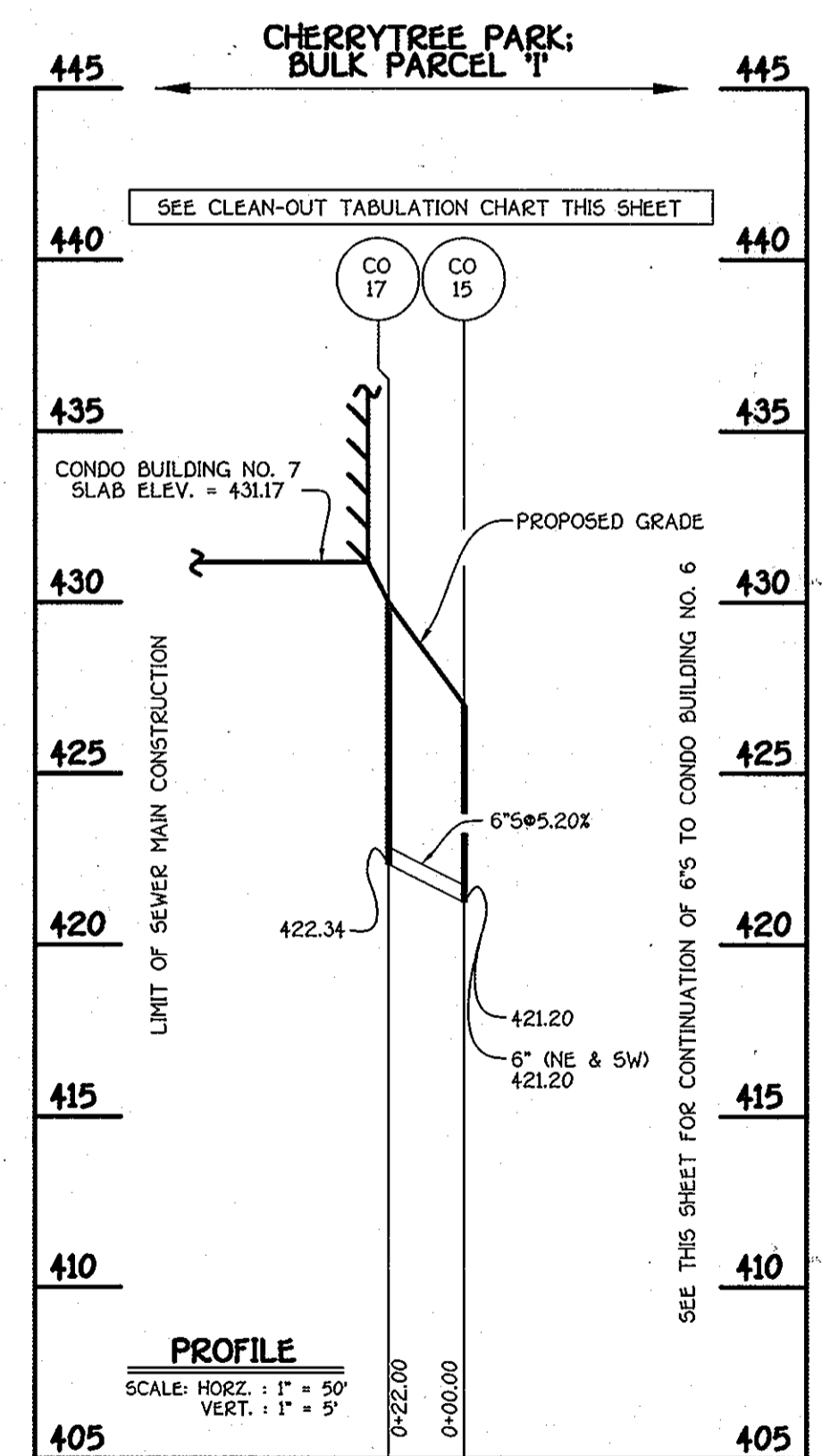
6" SEWER MAIN TO CONDO BUILDING NO. 4



6" SEWER MAIN TO COMMUNITY CENTER



6" SEWER MAIN TO CONDO BUILDING NO. 6



6" SEWER MAIN TO CONDO BUILDING NO. 7

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 2072 BALTIMORE NATIONAL FREE
 ELICOTT CITY, MARYLAND 21042
 (410) 461-2855

NO.	REVISION	DATE
2	ADDED BUILDING 8 TO PLAN	1/22/14
2	REVISED SEWER PROFILES TO BLDG. 6 & 7	10/10/12
1	REVISED SEWER PROFILES FOR COMMUNITY CENTER AND BLDG. NO. 6 & CHANGING BLDG. NO. 8 TO BLDG. NO. 7	2/12/10

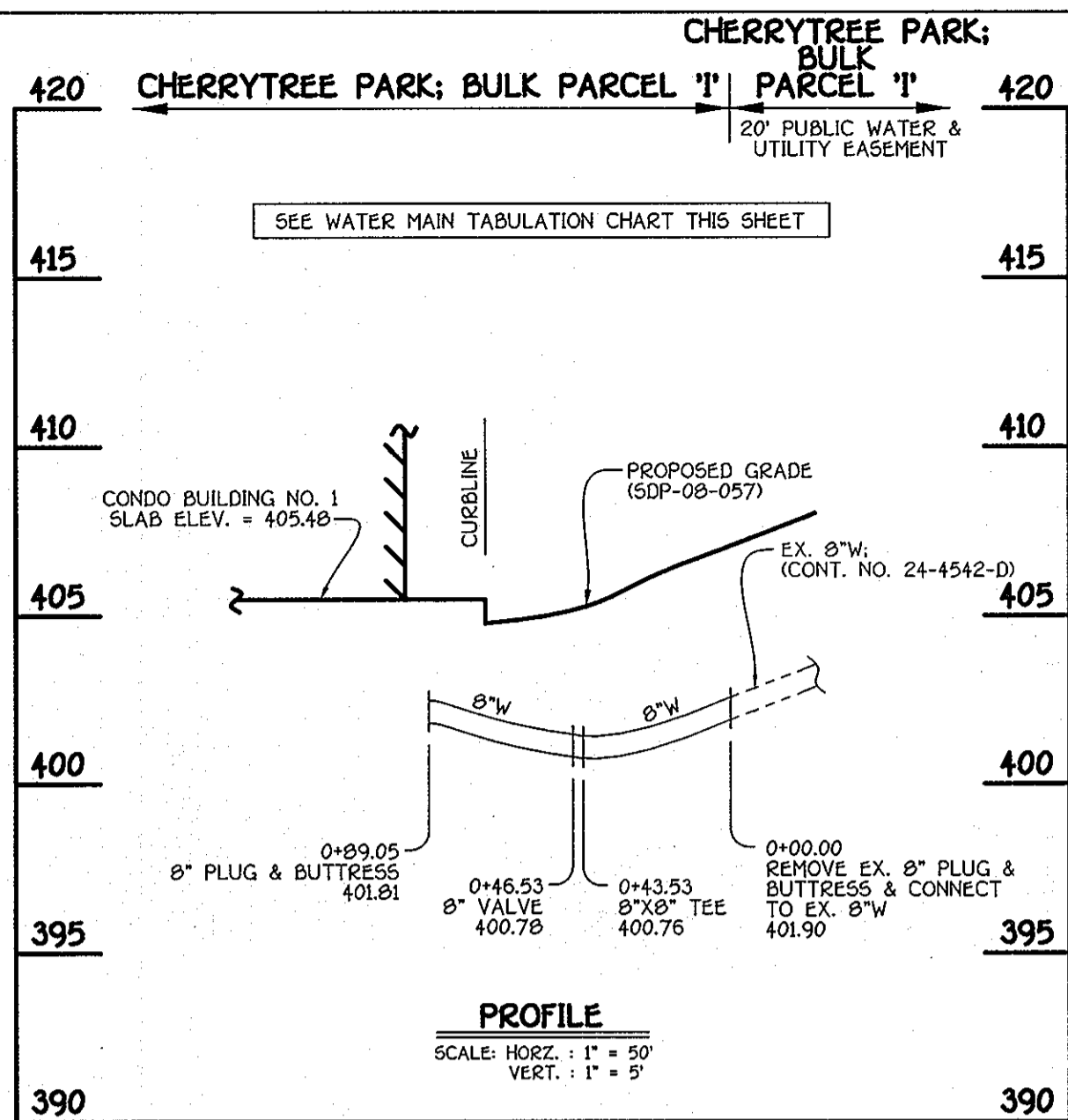
ENGINEER'S CERTIFICATE
 I certify that the erosion and sediment control represents a practical and workable plan based on the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 Signature of [Signature] Date 12/4/12
 Professional Engineer, State of Maryland, License No. 20748, Expiration Date 2-22-13.

DEVELOPER'S CERTIFICATE
 I/we certify that all development and construction will be done according to this plan for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
 Signature of Developer [Signature] Date 1/29/13

OWNER/DEVELOPER
 ICE CRYSTAL, L.L.C.
 8035-P COLUMBIA 100 PARKWAY
 COLUMBIA, MARYLAND 21045
 (410) 730-0810
 ATTN: MR. JOHN LIPARINI

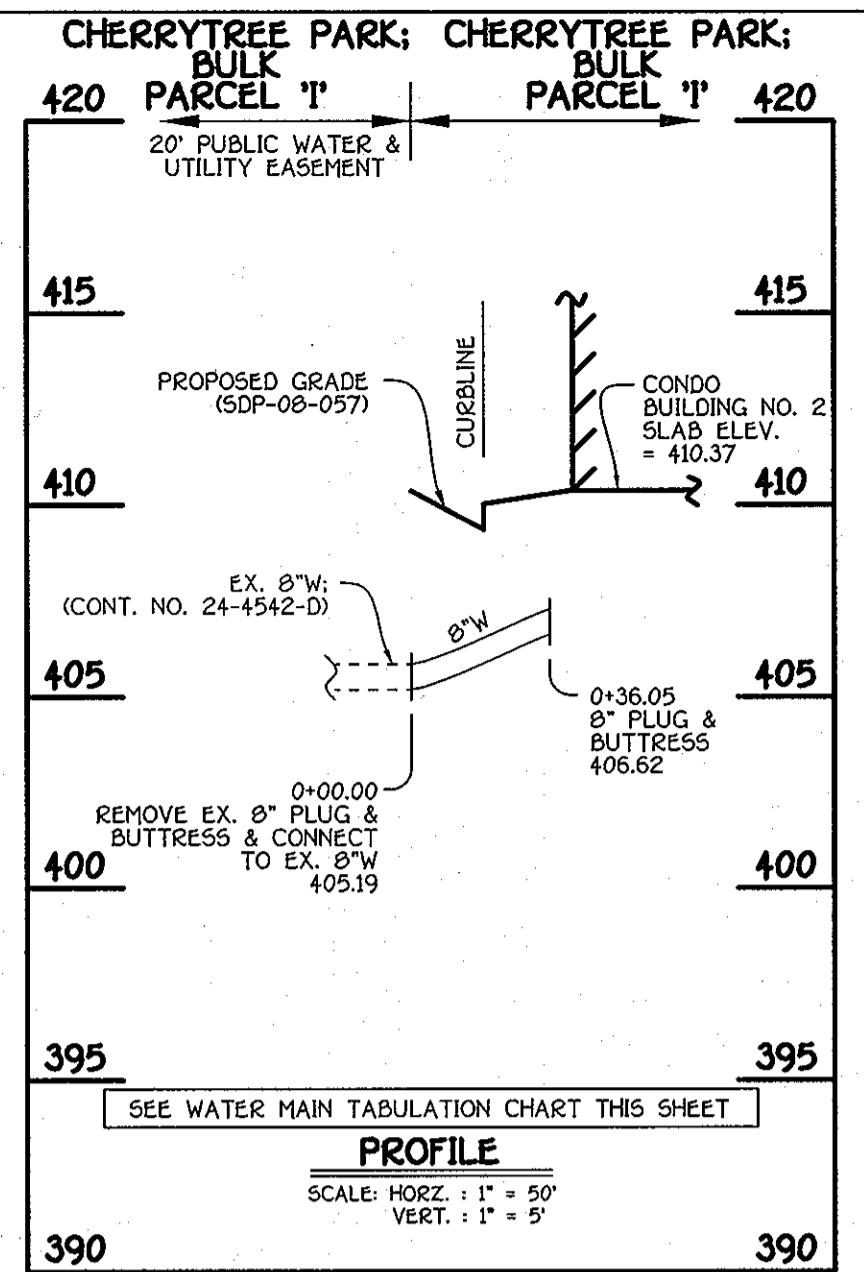
APPROVED: DEPARTMENT OF PLANNING AND ZONING					
[Signature]			3/3/13		
Chief, Division of Land Development			Date		
[Signature]			3/13/13		
Chief, Development Engineering Division			Date		
Director - Department of Planning and Zoning			3-13-13		
PROJECT: CHERRYTREE PARK - BULK PARCEL 'K'			SECTION/AREA: ---		
LOT NO.:			BLDG. UNITS 1-8		
PLAT NO.	BLOCK NO.	ZONE	TAX	ELEC. DIST.	CENSUS TR.
15449 - 15454	4	MXD-6	46	6TH	6058.02
20209 - 20210					
WATER CODE	SEWER CODE				
E18	7602000				

REVISED
 PRIVATE SEWER MAIN PROFILES
 AGE RESTRICTED ADULT HOUSING
CHERRYTREE PARK
 CONDOMINIUM BUILDINGS 1 THRU 8
BULK PARCEL 'K', PHASES 1 AND 2
 (A RESUBDIVISION OF BULK PARCEL 'I' & 'J')
 ZONED: MXD-6
 TAX MAP No.: 46 PARCEL No.: 156
 SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 SCALE: A5 SHOWN DATE: JULY, 2010
 SHEET 18 OF 22



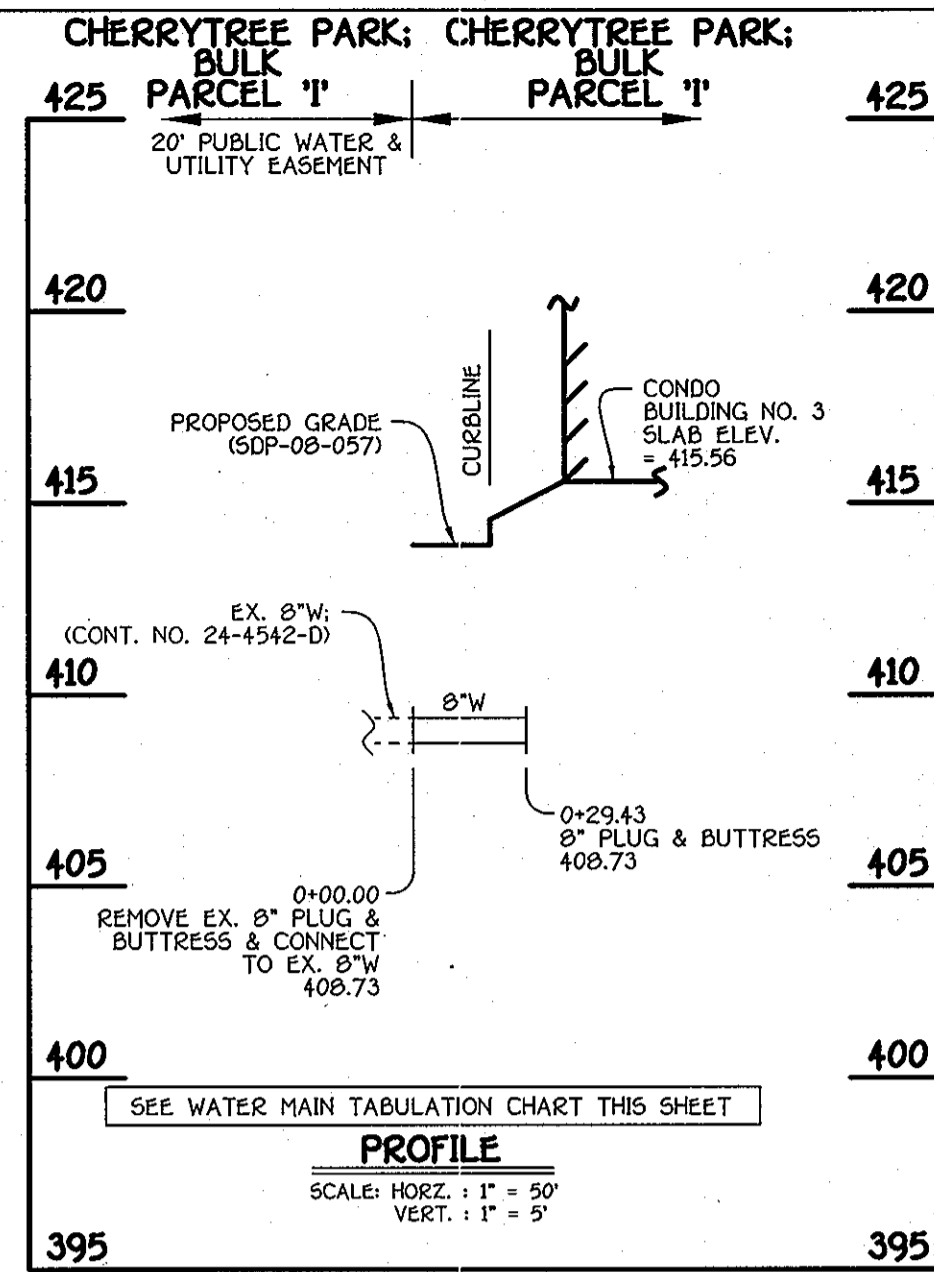
8" WATER MAIN TO CONDO BUILDING NO. 1

WATER MAIN TABULATION CHART			
W.M. STA.	APPURTENANCE	NORTHING	EASTING
8" WATER MAIN TO CONDO BUILDING NO. 1			
0+00.00	EX. 8" PLUG & BUTTRESS	537108.97	1339581.31
0+43.53	8" X 8" TEE	537076.31	1339552.53
0+46.53	8" VALVE	537074.32	1339554.78
0+09.05	8" PLUG & BUTTRESS	537046.21	1339586.68



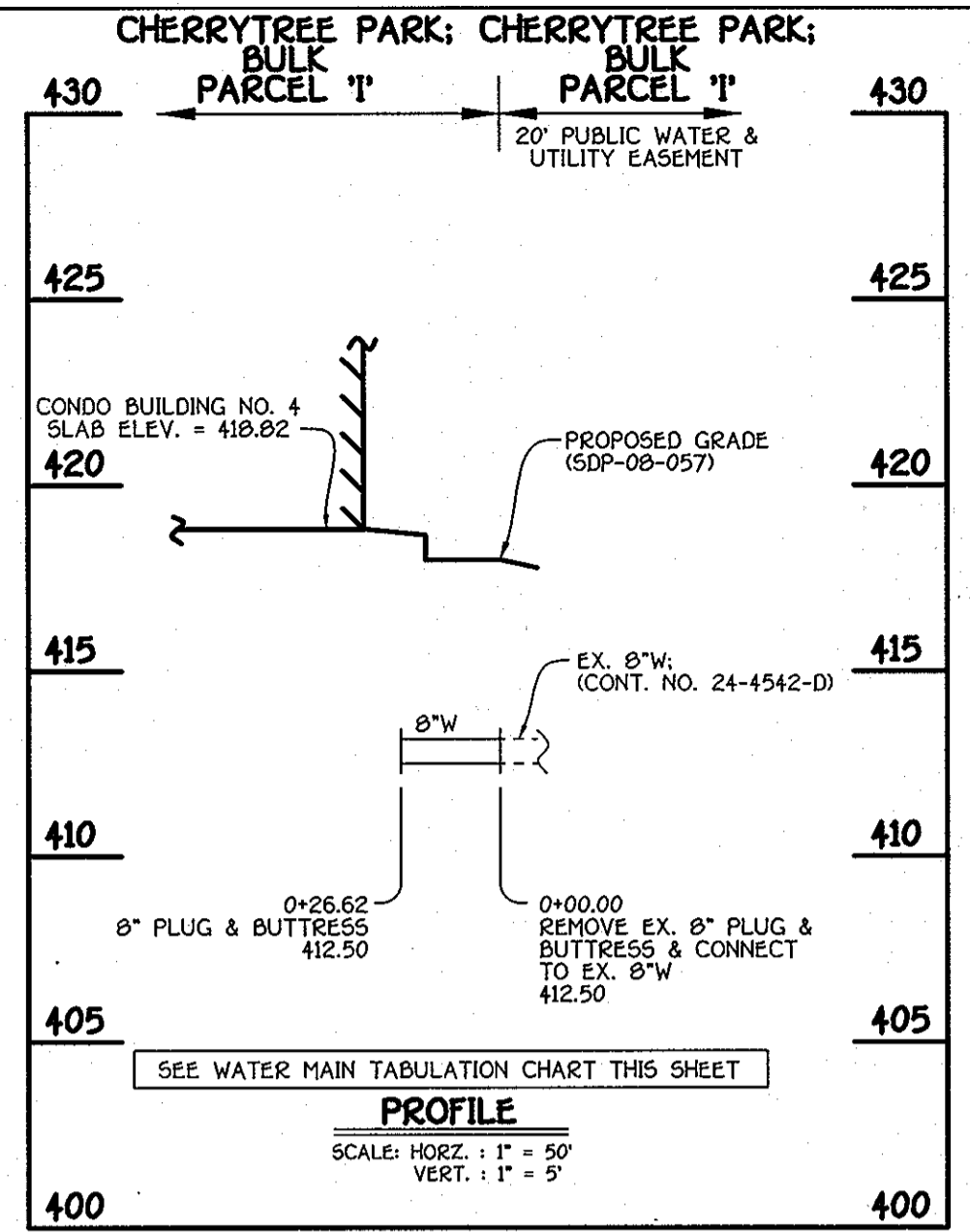
8" WATER MAIN TO CONDO BUILDING NO. 2

WATER MAIN TABULATION CHART			
W.M. STA.	APPURTENANCE	NORTHING	EASTING
8" WATER MAIN TO CONDO BUILDING NO. 2			
0+00.00	EX. 8" PLUG & BUTTRESS	537165.48	1339644.44
0+36.05	8" PLUG & BUTTRESS	537141.64	1339671.50



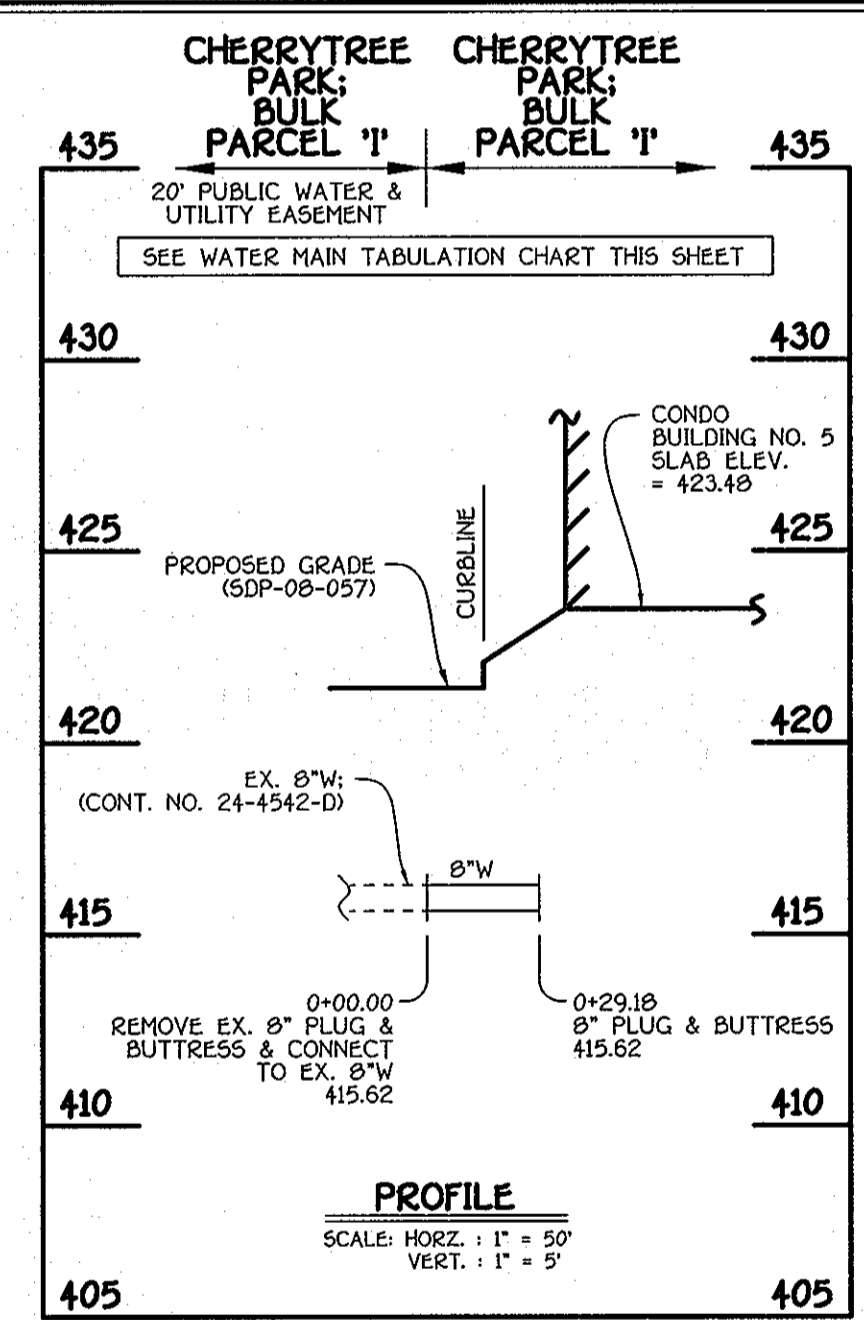
8" WATER MAIN TO CONDO BUILDING NO. 3

WATER MAIN TABULATION CHART			
W.M. STA.	APPURTENANCE	NORTHING	EASTING
8" WATER MAIN TO CONDO BUILDING NO. 3			
0+00.00	EX. 8" PLUG & BUTTRESS	537255.79	1339735.07
0+29.43	8" PLUG & BUTTRESS	537236.33	1339757.15



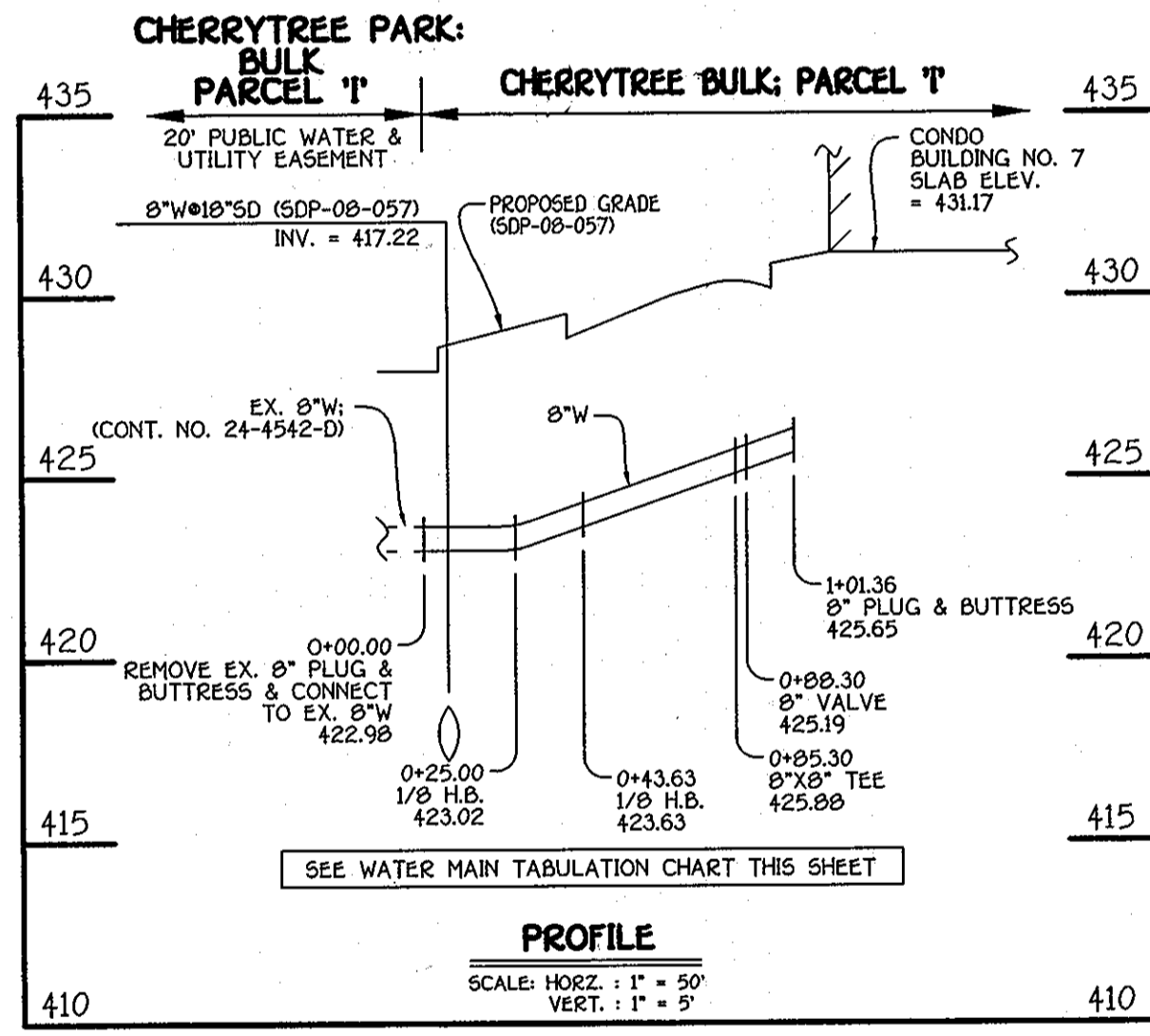
8" WATER MAIN TO CONDO BUILDING NO. 4

WATER MAIN TABULATION CHART			
W.M. STA.	APPURTENANCE	NORTHING	EASTING
8" WATER MAIN TO CONDO BUILDING NO. 4			
0+00.00	EX. 8" PLUG & BUTTRESS	537331.89	1339910.75
0+26.62	8" PLUG & BUTTRESS	537311.93	1339893.15



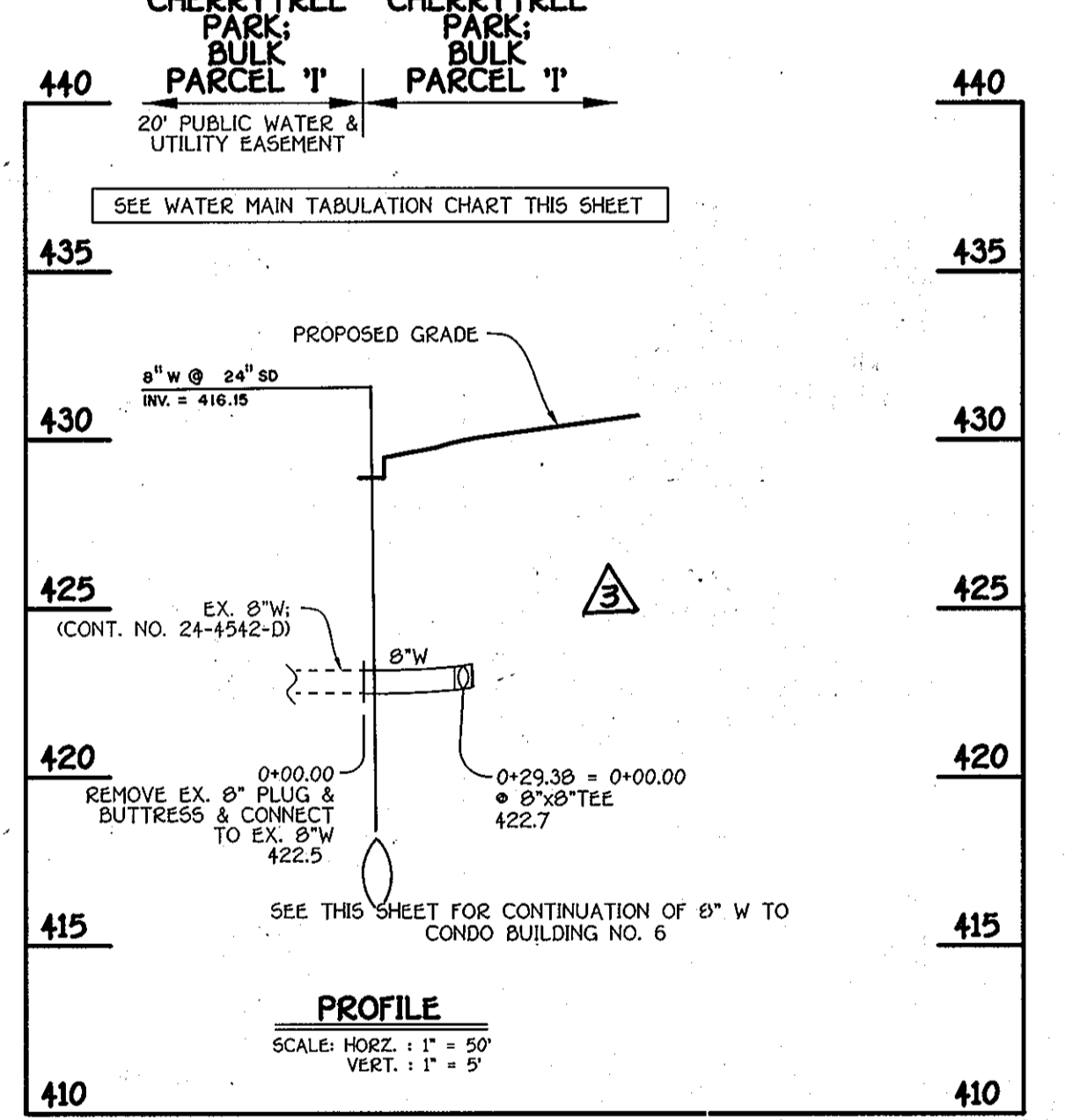
8" WATER MAIN TO CONDO BUILDING NO. 5

WATER MAIN TABULATION CHART			
W.M. STA.	APPURTENANCE	NORTHING	EASTING
8" WATER MAIN TO CONDO BUILDING NO. 5			
0+00.00	EX. 8" PLUG & BUTTRESS	537475.79	1340006.75
0+29.05	8" PLUG & BUTTRESS	537497.69	1340026.05



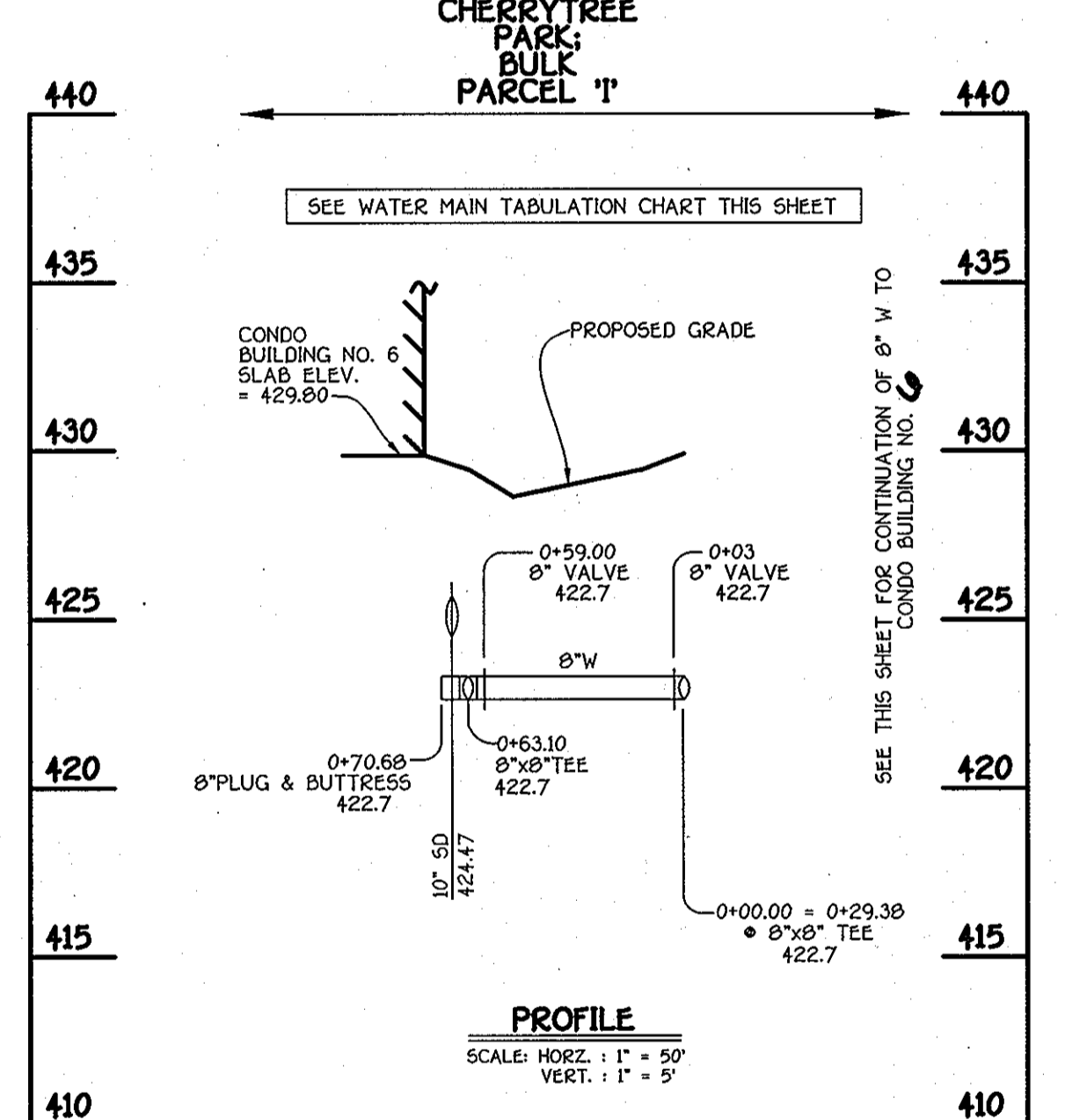
8" WATER MAIN TO CONDO BUILDING NO. 7

WATER MAIN TABULATION CHART			
W.M. STA.	APPURTENANCE	NORTHING	EASTING
8" WATER MAIN TO CONDO BUILDING NO. 7			
0+00.00	EX. 8" PLUG & BUTTRESS	537839.16	1340249.29
0+25.00	1/8" H.B.	537822.63	1340268.05
0+43.63	1/8" H.B.	537824.04	1340266.62
0+85.30	8" X 8" TEE	537795.48	1340317.87
0+88.30	8" VALVE	537794.23	134031.89
1+01.36	8" PLUG & BUTTRESS	537784.43	1340307.25



8" WATER MAIN TO CONDO BUILDING NO. 6

WATER MAIN TABULATION CHART			
W.M. STA.	APPURTENANCE	NORTHING	EASTING
8" WATER MAIN TO CONDO BUILDING NO. 6			
0+00.00	EX. 8" PLUG & BUTTRESS	537773.06	1340191.02
0+29.38	8" X 8" TEE	537753.65	1340213.08
0+03.00	8" VALVE	537751.38	1340210.98
0+59.00	8" VALVE	537709.18	1340173.89
0+63.10	8" X 8" TEE	537706.32	1340171.36
0+70.68	8" PLUG & BUTTRESS	537701.31	1340177.04



8" WATER MAIN TO CONDO BUILDING NO. 6

WATER MAIN TABULATION CHART			
W.M. STA.	APPURTENANCE	NORTHING	EASTING
8" WATER MAIN TO CONDO BUILDING NO. 6			
0+00.00	8" X 8" TEE	537753.65	1340213.08
0+03.00	8" VALVE	537751.38	1340210.98
0+59.00	8" VALVE	537709.18	1340173.89
0+63.10	8" X 8" TEE	537706.32	1340171.36
0+70.68	8" PLUG & BUTTRESS	537701.31	1340177.04



NO.	REVISION	DATE
4	ADDED BUILDING 8 TO PLAN	1/20/13
3	Revised Profile to Bldg. 6 & Added Bldg. 7	5/22/13
2	REVISED WATER PROFILES TO BLDG. 6 & 7	10/10/12
1	REVISED WATER PROFILE FOR COMMUNITY CENTER AND BLDG. NO. 6 & CHANGING BLDG. NO. 8 TO BLDG. NO. 7	2/12/10

ENGINEER'S CERTIFICATE
 "I certify that this plan for erosion and sediment control represents a practical and workable plan in accordance with the provisions of the site conditions and that it was prepared in accordance with the provisions of the site conditions and that it was prepared in accordance with the provisions of the site conditions."
 Signature: [Signature] Date: 12/4/12
 Title: Professional Engineer (P.E.)
 License No. 20748, Expiration Date 2-22-13.
DEVELOPER'S CERTIFICATE
 "I certify that all development and construction will be done according to this plan for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."
 Signature: [Signature] Date: 1/20/13
 Title: Developer
 Signature of Developer (Print name below signature)

OWNER/DEVELOPER
 ICE CRYSTAL, L.L.C.
 8835-P COLUMBIA 100 PARKWAY
 COLUMBIA, MARYLAND 21045
 (410) 730-0810
 ATTN: MR. JOHN LIPARINI

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Division of Land Development: [Signature] Date: 3/13/13
 Chief, Development Engineering Division: [Signature] Date: 3/13/13
 Director - Department of Planning and Zoning: [Signature] Date: 8-13-13
 PROJECT: CHERRYTREE PARK - BULK PARCEL 'K'
 SECTION/AREA: ---
 LOT NO.: BLDG. UNITS 1-8
 PLAT NO.: 15449 - 15454
 BLOCK NO.: 4
 ZONE: MXD-6
 TAX: 46
 ELEC. DIST.: 6TH
 CENSUS TR.: 6068.02
 WATER CODE: E18
 SEWER CODE: 7602000

REVISED
 PRIVATE WATER MAIN PROFILES
 AGE RESTRICTED ADULT HOUSING
CHERRYTREE PARK
 CONDOMINIUM BUILDINGS 1 THRU 8
BULK PARCEL 'K', PHASES 1 AND 2
 (A RESUBDIVISION OF BULK PARCEL 'I' & 'J')
 ZONED: MXD-6
 TAX MAP No.: 46 PARCEL No.: 156
 SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: JULY, 2010
 SHEET 19 OF 22

20.0 STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION

Using vegetation as cover for barren soil to protect it from forces that cause erosion.

Vegetative stabilization specifications are used to promote the establishment of vegetation on exposed soil. When soil is stabilized with vegetation, the soil has the ability to absorb precipitation of rainfall, thereby reducing sediment loads and runoff to downstream areas, and improving wildlife habitat and visual resources.

CONDITIONS WHERE PRACTICE APPLIES
This practice shall be used on denuded areas as specified on the plans and may be used on highly erodible or critically eroding areas. This specification is intended to provide a minimum standard for temporary stabilization for short duration (up to one year) and Permanent Seeding for long term vegetative cover. Examples of applicable areas for Temporary Seeding are temporary soil stockpiles, cleared areas being left idle between construction phases, earth dikes, etc. and for Permanent Seeding are lawns, dms, cut and fill slopes and other areas at final grade, former stockpiles and slating areas, etc.

Planting vegetation in disturbed areas will have an effect on the water budget, especially on volumes and rates of runoff, infiltration, evaporation, transpiration, percolation and groundwater recharge. Vegetation, over time, will increase organic matter content and improve the water holding capacity of the soil and subsequent plant growth. Vegetation will help reduce the movement of sediment, nutrients, and other chemicals carried by runoff to receiving areas. Plants will also help protect groundwater supplies by assimilating those substances present within the root zone. Sediment control devices must remain in place during grading, seeded preparation, seeding, mulching and vegetative establishment to prevent large quantities of sediment and associated chemicals and nutrients from washing into surface waters.

A. Site Preparation

1. Install erosion and sediment control structures (either temporary or permanent) such as diversions, grade stabilization structures, berms, waterways, or sediment control basins.
2. Perform all grading operations at right angles to the slope. Final grading and shaping is not usually necessary for temporary seeding.
3. Seeding required soil tests to determine soil amendment composition and application rates for sites having disturbed areas.
4. Soil Amendments (Fertilizer and Lime Specifications)
i. Soil tests must be performed to determine the exact ratios and application rates for both lime and fertilizer on sites having disturbed areas over 5 acres. Soil analysis may be performed by the University of Maryland or a recognized commercial laboratory. Soil samples taken for engineering purposes may also be used for chemical analysis.
ii. Fertilizers shall be uniform in composition, free flowing and suitable for accurate application by approved equipment. Fertilizer must be suitable for application by approved equipment. Fertilizer shall also be delivered to the site fully labeled according to appropriate authority. Fertilizer labels shall bear the name, trade name or trademark and a warning of the producer.
iii. Lime materials shall be ground limestone hydrated or burnt lime may be substituted which contains at least 85% total oxides calcium oxide plus magnesium oxide plus magnesium oxide shall be ground to such fineness that at least 50% will pass through a #100 mesh sieve and 90-100% will pass through a #20 mesh sieve.
iv. Incorporate lime and fertilizer into the top 3-5" of soil by disking or other suitable means.

B. Temporary Seeding

1. Seeding shall consist of sowing soil to a depth of 3" to 5" by means of suitable agricultural or construction equipment, such as disc harrow or chain plow or ripper mounted on construction equipment. After the soil is loosened it should not be rolled or dragged smooth, but left in the roughened condition. Sowed areas greater than 300 sq ft shall be seeded in an irregular condition with ridges running parallel to the contour of the slope.
2. Apply fertilizer and lime as prescribed on the plans.
3. Mix the fertilizer and lime into the top 3-5" of soil by disking or other suitable means.

C. Permanent Seeding

1. Minimum conditions required for permanent vegetative establishment:
a. Minimum seed rate between 60 and 75 lbs/acre.
b. Soluble salts shall be less than 500 parts per million (ppm).
c. The soil shall contain less than 40% clay, but enough fine grained material (silt plus clay) to provide the capacity to hold a moderate amount of moisture. An exception is if loess or siltstone is present, then a sandy soil (not silt plus clay) would be acceptable.
d. Soil shall contain 1% minimum organic matter by weight.
e. Soil shall contain sufficient pore space to permit adequate root penetration.
f. If these conditions cannot be met by soils on site, the contractor shall be required to amend the soil in accordance with Section 21.0 Standards and Specifications for Topsoil.
2. Areas previously graded in conformance with the drawings shall be maintained in a true and even grade, then scarified or otherwise loosened to a depth of 3-5" to prevent the topsoil from the surface area and to create horizontal erosion check slots to prevent topsoil from sliding down a slope.
3. Soil amendments as per soil test or as included on the plans.
4. Mix soil amendments into the top 3-5" of topsoil by disking or other suitable means. Lawn areas should be seeded to smooth and small areas should be seeded to rough and uneven, and ready the area for seed and application. Where site conditions will not permit normal seeded preparation, loosen surface soil by dragging with a heavy chain or other equipment to roughen the surface. Steep slopes (steeper than 1:1) should be treated by a deep layering the soil in an irregular condition with ridges running parallel to the contour of the slope. The top 3-5" of soil should be loose and friable. Seeded loosening may not be necessary on newly disturbed areas.

D. Seed Specifications

1. All seed must meet the requirements of the Maryland State Seed Law. All seed shall be subject to a germination test. All seed shall be tested within 6 months of the date of sowing such material on this job.
2. Note: Seed lots shall be made available to the inspector to verify type and rate of seed used.
3. Inoculant - The inoculant for planting legumes in the seed mixtures shall be a pure culture of nitrogen-fixing bacteria prepared specifically for the species. Inoculants shall not be used unless the date indicated on the container, and from inoculant as directed on packaging. Use four times the recommended rate on hydrocyanic acid seed. Temperatures above 70°F will can weaken bacteria and make the inoculant less effective and less uniform.
4. Hydrocyanic acid seed - Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer), broadcast or drop spreader, or a cultipacker.
5. If fertilizer is being applied at the time of seeding, the application rates must not exceed the following: nitrogen maximum of 100 lbs per acre total of soluble nitrogen; 200 lbs phosphorus; 200 lbs potash; 200 lbs potash.
6. Lime - Use only ground agricultural limestone, 80 to 3 tons per acre may be applied by hydroseeder. However, not more than 2 tons applied by hydroseeder at any one time. Do not use burnt or hydrated lime when hydroseeding.
7. Seed and fertilizer shall be mixed on site and seeding shall be done immediately and without interruption.
8. Dry Seeding - This includes use of conventional drop or broadcast spreaders.
a. Seed spreader shall be incorporated into the subsoil at the rates prescribed on the Temporary or Permanent Seeding Summary or Tables 25 or 26. The seeded area shall then be rolled with a weighted roller to provide good seed to soil contact.
b. Where practical, seed shall be applied in two directions perpendicular to each other. Apply half the seeding rate in each direction.
9. Cultipacker Seeding - Mechanized seeders that apply and cover seed with soil.
10. Cultipacker seeders are required to bury the seed in such a fashion as to provide at least 1/4 inch of soil covering. Seeded areas must be firm and smooth.
11. Where practical, seed should be applied in two directions perpendicular to each other. Apply half the seeding rate in each direction.
12. Mutch Specifications (in order of preference)
a. Straw shall consist of thoroughly washed wheat, rye or oat straw, reasonable bright in color, and shall not be moldy, rotted, chaffed, or excessively dust and shall be free of noxious weed seeds.
b. Wood Cellulose Fiber Mutch (WCMF) shall consist of specially prepared wood cellulose processed into a uniform fibrous physical state.
c. WCMF shall be dry green or contain a green dye in the package that will provide an appropriate color to facilitate visual inspection of the uniform spread slurry.
d. WCMF material shall be manufactured and processed in such a manner that the wood cellulose fiber mulch will remain in uniform suspension in water under agitation and will blend with seed, fertilizer and other additives to form a homogeneous slurry.
e. The wood mulch shall form a blotter-like growth cover, on application, having moisture absorption and desiccation properties and cover and hold grasses in contact with the soil without inhibiting the growth of the grass species that will be planted.
f. WCMF must conform to the following physical requirements: fiber length to be 1/2 inch; fiber diameter to be 1/16 inch; fiber weight to be 1/16 lb; ash content of 1% maximum and water holding capacity of 50% minimum.
g. WCMF shall be applied at a rate of 2.5 tons per acre. The application rate is desired.
13. Mulching Seeded Areas - Mutch shall be applied to all seeded areas immediately after seeding.
i. If grading is completed outside of the seeding season, mulch shall be applied as prescribed in accordance with these specifications.
ii. When straw mulch is used, it shall be spread over all seeded areas at the rate of 2 tons/acre. Mutch shall be applied in a uniform layer of between 1" and 2". Mutch applied shall achieve a uniform thickness of 1" to 2" and shall be applied at a rate of 2.5 tons per acre. If a mulch anchoring tool is to be used, the application rate shall be increased to 2.5 tons per acre. If a mulch anchoring tool is to be used, the application rate shall be increased to 2.5 tons per acre. If a mulch anchoring tool is to be used, the application rate shall be increased to 2.5 tons per acre.
14. Wood Cellulose Fiber Mutch shall be applied at a rate of 2.5 tons per acre. The application rate is desired.
15. Securing Straw Mutch Mulch Anchoring - Mutch anchoring shall be performed immediately following mulch application to minimize loss by wind or water. This may be done by one of the following methods (used by preference), depending upon size of area and erosion hazard:

1. A mulch anchoring tool is a tractor drawn implement designed to punch and anchor mulch into the soil surface a minimum of two (2) inches. This practice is most effective on large areas, but is limited to flatter slopes where equipment can operate safely. If used on sloping areas, this practice should be used on the contour if possible.
2. Wood cellulose fiber may be used for anchoring straw. The fiber binder shall be applied at a rate of 2.5 tons per acre. The binder and straw shall be mixed with water and the mixture shall contain a maximum of 50 pounds of wood cellulose fiber per 100 gallons of water.
3. Application of liquid binders should be heavier at the edges where wind catches much, such as on ridges and crest of dikes. The remainder should be applied uniformly after binder application. Synthetic binders - such as Acrylic DLR (Ago-Tack), DCA-70 Petro-Terra Tex, etc. or other approved equal may be used at rates recommended by the manufacturer to anchor mulch.
4. Lightweight mulch netting may be stapled over the mulch according to manufacturer's recommendations. Netting is usually available in rolls 4' to 12' wide and 300 to 3,000 feet long of 1/2" mesh.
5. All cuts on slopes shall be dressed, prepared, seeded and mulched as the work progresses. Slopes shall be established immediately when the vertical slope of the multiple lifts reaches 15% or when the grading operation ceases as prescribed on the plans.
6. Construction sequence (refer to Figure 3 below):
a. Excavate and stabilize all temporary swales, side ditches, or berms that will be used to convey runoff from the plans address this area.
b. Perform Phase 2 excavation, dress and stabilize.
c. Perform Phase 3 excavation, dress and stabilize. Overseed previously seeded areas as necessary.
d. Perform final phase excavation, dress and stabilize. Overseed previously seeded areas as necessary.

1. Once excavation has begun the operation should be continuous from grubbing through the completion of grading and placement of topsoil (if required) and permanent seed mulch. Any interruptions in the operation of the operation of the seeding season will necessitate the application of temporary stabilization.
2. Incremental Stabilization of Embankments - Fill Slopes
a. Embankments shall be constructed in lifts as prescribed on the plans.
b. Slopes shall be stabilized immediately when the vertical slope of the multiple lifts reaches 15% or when the grading operation ceases as prescribed on the plans.
c. Embankment stabilization shall be completed by the time the embankment is constructed along the top edge of the embankment to intercept surface runoff and convey it down the slope in a non-erosive manner to a sediment trapping device.
3. Construction sequence (refer to Figure 4 below):
a. Excavate and stabilize all temporary swales, side ditches, or berms that will be used to convey runoff from the plans address this area.
b. Place Phase 2 embankment, dress and stabilize.
c. Place final phase embankment, dress and stabilize. Overseed previously seeded areas as necessary.

Note: Once excavation has begun the operation should be continuous from grubbing through the completion of grading and placement of topsoil (if required) and permanent seed mulch. Any interruptions in the operation of the operation of the seeding season will necessitate the application of temporary stabilization.

Vegetation - Annual grass or grain used to provide cover on disturbed areas for up to 12 months. For longer duration of vegetative cover, Permanent Seeding is required.

A. Seed mixtures - Temporary Seeding

Select one or more of the species or mixtures listed in Table 25 for the appropriate Plant Hardiness Zone (from Figure 5) and enter them in the Temporary Seeding Summary below, along with application rates and seeding dates. Seeding depths can be estimated using Table 26. If this summary is not put on the construction plans and completed, then Table 25 must be put on the plans. Additional planting specifications for existing sites such as stream, streambeds, or ditches or for special purposes such as wildlife or aesthetic treatment may be found in USDA-SCS Technical Field Office Guide, Section 342 - Critical Area Planting. For special circumstances, refer to Sections 50 and 51 of the regulations.

For sites having disturbed areas under 5 acres, the rates shown on this table shall be deleted and the rates recommended by the testing agency shall be written in. Soil tests are not required for Temporary Seeding.

For areas receiving low maintenance, apply uniform fertilizer 46-0-0@ 3 1/2 lbs/1000 sq. ft. (50 lbs/acre) in addition to the above soil amendments shown in the table below, to be performed at the time of seeding.

Seed Mixture (Hardness Zone - 5B...)	Application Rate (lb/acre)	Seeding Dates	Seeding Depth	N	P205	K2O	Lime Rate
1 RYE	140	3/15 - 5/31	1" - 2"	90 lb/acre (2.0 lb/1000sq ft)	175 lb/acre (4.4 lb/1000sq ft)	175 lb/acre (4.4 lb/1000sq ft)	2 tons/acre (100 lb/1000sq ft)
2 BARLEY OR RYE PLUS FOXTAIL MILLET	150	6/1 - 7/31	1"	90 lb/acre (2.0 lb/1000sq ft)	175 lb/acre (4.4 lb/1000sq ft)	175 lb/acre (4.4 lb/1000sq ft)	2 tons/acre (100 lb/1000sq ft)

SECTION 3 - PERMANENT SEEDING

Seeding grass and legumes to establish ground cover for a minimum of one year on disturbed areas generally receiving low maintenance.

Select one or more of the species or mixtures listed in Table 25 for the appropriate Plant Hardiness Zone (from Figure 5) and enter them in the Permanent Seeding Summary below, along with application rates and seeding dates. Seeding depths can be estimated using Table 26. If this summary is not put on the construction plans and completed, then Table 25 must be put on the plans. Additional planting specifications for existing sites such as stream, streambeds, or ditches or for special purposes such as wildlife or aesthetic treatment may be found in USDA-SCS Technical Field Office Guide, Section 342 - Critical Area Planting. For special circumstances, refer to Sections 50 and 51 of the regulations.

For sites having disturbed areas under 5 acres, the rates shown on this table shall be deleted and the rates recommended by the testing agency shall be written in.

For areas receiving low maintenance, apply uniform fertilizer 46-0-0@ 3 1/2 lbs/1000 sq. ft. (50 lbs/acre) in addition to the above soil amendments shown in the table below, to be performed at the time of seeding.

Seed Mixture (Hardness Zone - 5B...)	Application Rate (lb/acre)	Seeding Dates	Seeding Depth	N	P205	K2O	Lime Rate
1 TALL FESCUE (HARDY)	125	3/15 - 5/31	1" - 2"	90 lb/acre (2.0 lb/1000sq ft)	175 lb/acre (4.4 lb/1000sq ft)	175 lb/acre (4.4 lb/1000sq ft)	2 tons/acre (100 lb/1000sq ft)
2 KENTUCKY BLUEGRASS (SOFT PERENNIAL RYEGRASS (HARDY))	10	3/15 - 5/31	1" - 2"	90 lb/acre (2.0 lb/1000sq ft)	175 lb/acre (4.4 lb/1000sq ft)	175 lb/acre (4.4 lb/1000sq ft)	2 tons/acre (100 lb/1000sq ft)
3 TALL FESCUE (HARDY) HARDY FESCUE (HARDY)	120	3/15 - 5/31	1" - 2"	90 lb/acre (2.0 lb/1000sq ft)	175 lb/acre (4.4 lb/1000sq ft)	175 lb/acre (4.4 lb/1000sq ft)	2 tons/acre (100 lb/1000sq ft)

SEEDING CONTROL NOTES

1. A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (02-1899).

2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THEREOF.

3. FOLLOWING INITIAL SOIL DISTURBANCE BY EXCAVATION, GRADING, DITCHES, TEMPORARY SLOPES AND ALL SLOPES STEEPER THAN 3:1, BY 3 DAYS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.

4. ALL SEDIMENT TRANSDRILLS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 26 OF THE HOWARD COUNTY SUBSOIL DRAINAGE REGULATIONS.

5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.

6. PERMANENT SEEDING (SCS 50, SCS 500, SCS 54), TEMPORARY SEEDING (SCS 50, SCS 500, SCS 54), TEMPORARY STABILIZATION WITH MESH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER SEEDING AND ESTABLISHMENT OF GRASSES.

7. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMITS FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

8. SITE ANALYSIS
TOTAL AREA OF SITE: 597 ACRES
AREA TO BE ROOFED OR PAVED: 400 ACRES
AREA TO BE VEGETATIVELY STABILIZED: 155 ACRES
TOTAL CUT: 18500 CUBIC YARDS

9. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.

10. ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEPEE NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

11. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROL, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS RECEIVED.

12. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.

* SITE WITH APPROVED PLAN AND ACTIVE PERMIT APPROVED BY COUNTY INSPECTORS

APPROVED PLANNING BOARD OF HOWARD COUNTY

DATE: JULY 17, 2008

NO. 1 ADD'D BUILDING @ TO PLAN

REVISION 10/21/14

DATE

NO.

REVISION

DATE

NO.

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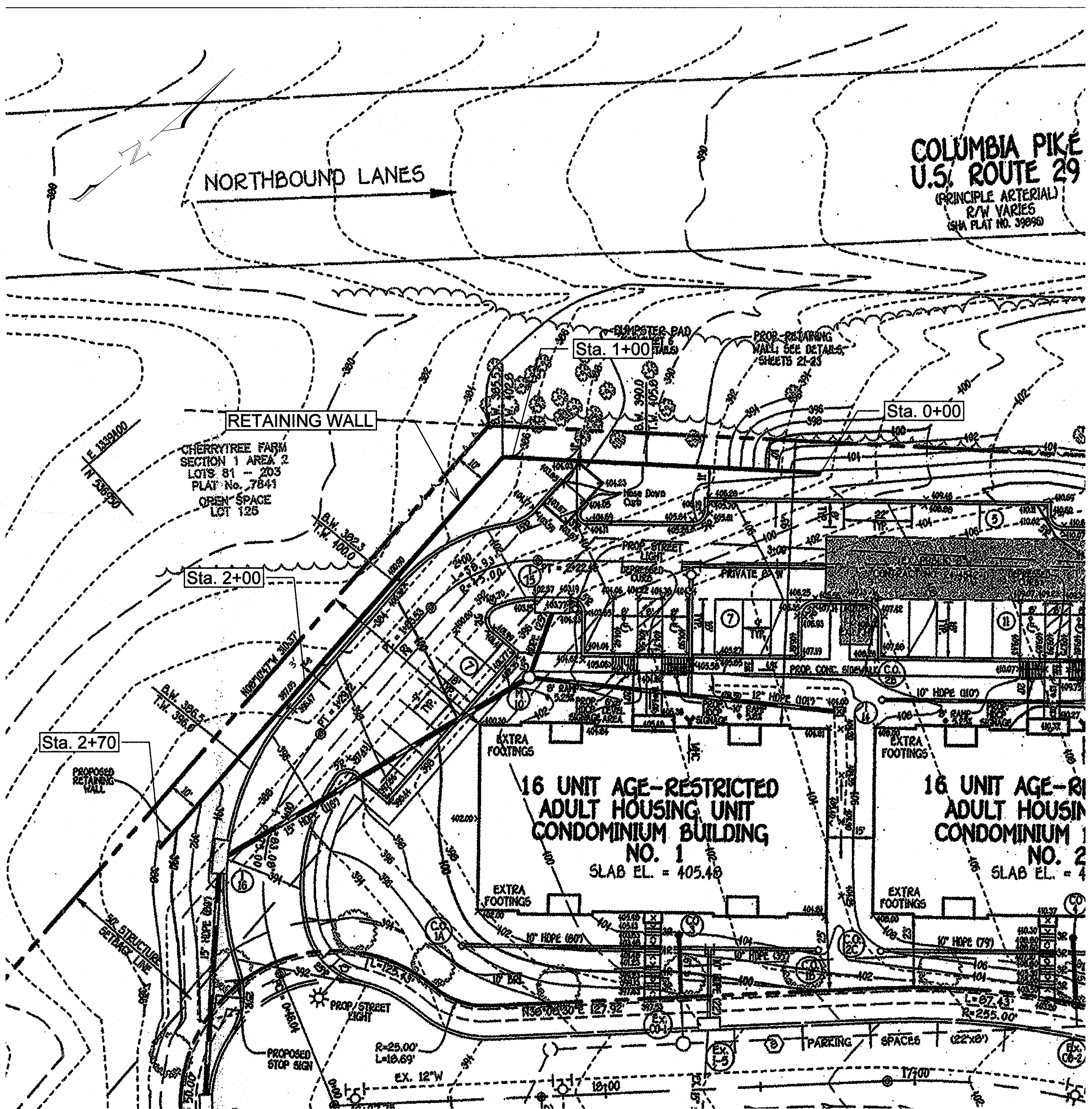
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WALL LOCATION PLAN
1" = 20'

SPECIFICATIONS
MODULAR CONCRETE BLOCK RETAINING WALL

PART 1: GENERAL

1.01 Description

- A. Work shall consist of furnishing and construction of a Modular Retaining Wall System, in accordance with these specifications and in reasonably close conformity with the lines, grades, design, and dimensions shown on the plans.
- B. Work includes preparing foundation soil, furnishing and installing leveling pad, unit drainage fill and backfill to the lines and grades shown on the construction drawings.
- C. Work includes furnishing and installing geogrid soil reinforcement of the type, size, location, and lengths designated on the construction drawings.

1.02 Delivery, Storage and Handling

- A. Contractor shall check all materials upon delivery to assure that the proper type, grade, color, and certification has been received.
- B. Contractor shall protect all materials from damage due to job site conditions and in accordance with manufacturer's recommendations. Damaged materials shall not be incorporated into the work.

PART 2: PRODUCTS

2.01 Modular Concrete Retaining Wall Units

- A. Modular concrete units shall conform to the following architectural requirements:
 - 1. face color - concrete gray - standard manufacturer's color may be specified by the Owner.
 - 2. face finish - sculptured rock face in angular tri-planer or flat configuration. Other face finishes will not be allowed without written approval of Owner.
 - 3. bond configuration - running with bonds nominally located at midpoint vertically adjacent units, in both straight and curved alignments.
 - 4. exposed surfaces of units shall be free of chips, cracks or other imperfections when viewed from a distance of 10 feet under diffused lighting.
- B. Modular concrete materials shall conform to the requirements of ASTM C1372 - Standard Specifications for Segmental Retaining Wall Units.
- C. Modular concrete units shall conform to the following structural and geometric requirements measured in accordance with appropriate references:
 - 1. compressive strength = 3000 psi minimum;
 - 2. absorption = 8% maximum (6% in northern states) for standard weight aggregates;
 - 3. dimensional tolerances = ± 1/8" from nominal unit dimensions - not including rough split face, ± 1/16" unit height - top and bottom flange;
 - 4. unit size - 8" (H) x 18" (W) x 12" (D) minimum;
 - 5. unit weight - 75 lbs/unit minimum for standard weight

- aggregates; inter-unit shear strength - 1000 pif minimum at 2 psi normal force; geogrid/unit peak connection strength - 1000 pif minimum at 2 psi normal force.
- D. Modular concrete units shall conform to the following constructability requirements: (If Applicable)
 - 1. vertical setback = 1/8" per course (near vertical) or 1" per course per the design;
 - 2. alignment and grid positioning mechanism - fiberglass pins, two per unit minimum;
 - 3. maximum horizontal gap between erected units shall be 1/2 inch.

2.02 Shear Connectors (If Applicable)

- A. Shear connectors shall be 1/2 inch diameter thermoset isophthalic polyester resin-protuded fiberglass reinforcement rods or equivalent to provide connection between vertically and horizontally adjacent units. Strength of shear connectors between vertical adjacent units shall be applicable over a design temperature of 10 degrees F to + 100 degrees F.
- B. Shear connectors shall be capable of holding the geogrid in the proper design position during grid pre-tensioning and backfilling.

2.03 Base Leveling Pad Material

- A. Material shall consist of a compacted #57 crushed stone base as shown on the construction drawings.

2.04 Unit Drainage Fill

- A. Unit drainage fill shall consist of #57 crushed stone

2.05 Reinforced Backfill

- A. Reinforced backfill shall type SM, be free of debris and meet the following gradation tested in accordance with ASTM D-422 and meet other properties shown on the plan:

Sieve Size	Percent Passing
2 inch	100-75
3/4 inch	100-75
No. 40	0-50
No. 200	0-40

Plasticity Index (PI) <10 and Liquid Limit <40 per ASTM D-4318;

- B. Material can be site excavated soils where the above requirements can be met. Unsuitable soils for backfill (high plastic clays or organic soils) shall not be used in the reinforced soil mass.

2.06 Geogrid Soil Reinforcement

- A. Geosynthetic reinforcement shall consist of geogrids manufactured specifically for soil reinforcement applications and shall be manufactured from high tenacity polyester yarn.

2.07 Drainage Pipe

- A. The drainage pipe shall be perforated corrugated HDPE pipe manufactured in accordance with ASTM D-1248.

PART 3 EXECUTION

3.01 Excavation

- A. Contractor shall excavate to the lines and grades shown on the construction drawings. Owner's representative shall be responsible for inspecting and approving the excavation prior to placement of leveling material or fill soils.

3.02 Base Leveling Pad

- A. Leveling pad material shall be placed to the lines and grades shown on the construction drawings, to a minimum thickness of 6 inches and extend laterally a minimum of 6" in front and behind the modular wall unit.
- B. Leveling pad shall be prepared to insure full contact to the base surface of the concrete units.

3.03 Modular Unit Installation

- A. First course of units shall be placed on the leveling pad at the appropriate line and grade. Alignment and level shall be checked in all directions and insure that all units are in full contact with the base and properly seated.
- B. Place the front of units side-by-side. Do not leave gaps between adjacent units. Layout of corners and curves shall be in accordance with manufacturer's recommendations.
- C. Install shear/connecting devices per manufacturer's recommendations.
- D. Place and compact drainage fill within and behind wall units. Place and compact backfill soil behind drainage fill. Follow wall erection and drainage fill closely with structure recommendations.
- E. Maximum stacked vertical height of wall units, prior to unit drainage fill and backfill placement and compaction, shall not exceed three courses.

3.04 Structural Geogrid Installation

- A. Geogrid shall be oriented with the highest strength axis perpendicular to the wall alignment.
- B. Geogrid reinforcement shall be placed at the strengths, lengths, and elevations shown on the construction design drawings or as directed by the Engineer.
- C. The geogrid shall be laid horizontally on compacted backfill and attached to the modular wall units. Place the next course of modular concrete units over the geogrid. The geogrid shall be pulled taut, and anchored prior to

- backfill placement on the geogrid.
- D. Geogrid reinforcements shall be continuous throughout their embedment lengths and placed side-by-side to provide 100% coverage at each level. Spliced connections between shorter pieces of geogrid or gaps between adjacent pieces of geogrid are not permitted.

3.05 Reinforced Backfill Placement

- A. Reinforced backfill shall be placed, spread, and compacted in such a manner that minimizes the development of slack in the geogrid and installation damage.
- B. Reinforced backfill shall be placed and compacted in lifts not to exceed 6 inches where hand compaction is used, or 8-10 inches where heavy compaction equipment is used. Lift thickness shall be decreased to achieve the required density as required.
- C. Reinforced backfill shall be compacted to 95% of the maximum density as determined by ASTM D698. The moisture content of the backfill material prior to and during compaction shall be uniformly distributed throughout each layer and shall be + 3% to - 3% of optimum.
- D. Only lightweight hand-operated equipment shall be allowed within 3 feet from the tail of the modular concrete unit.
- E. Tracked construction equipment shall not be operated directly upon the geogrid reinforcement. A minimum fill thickness of 6 inches is required prior to operation of tracked vehicles over the geogrid. Tracked vehicle turning should be kept to a minimum to prevent tracks from displacing the fill and damaging the geogrid.
- F. Rubber tired equipment may pass over geogrid reinforcement at slow speeds, less than 10 MPH. Sudden braking and sharp turning shall be avoided.
- G. At the end of each day's operation, the Contractor shall slope the last lift of reinforced backfill away from the wall units to direct runoff away from wall face. The Contractor shall not allow surface runoff from adjacent areas to enter the wall construction site.

3.06 Cap Installation

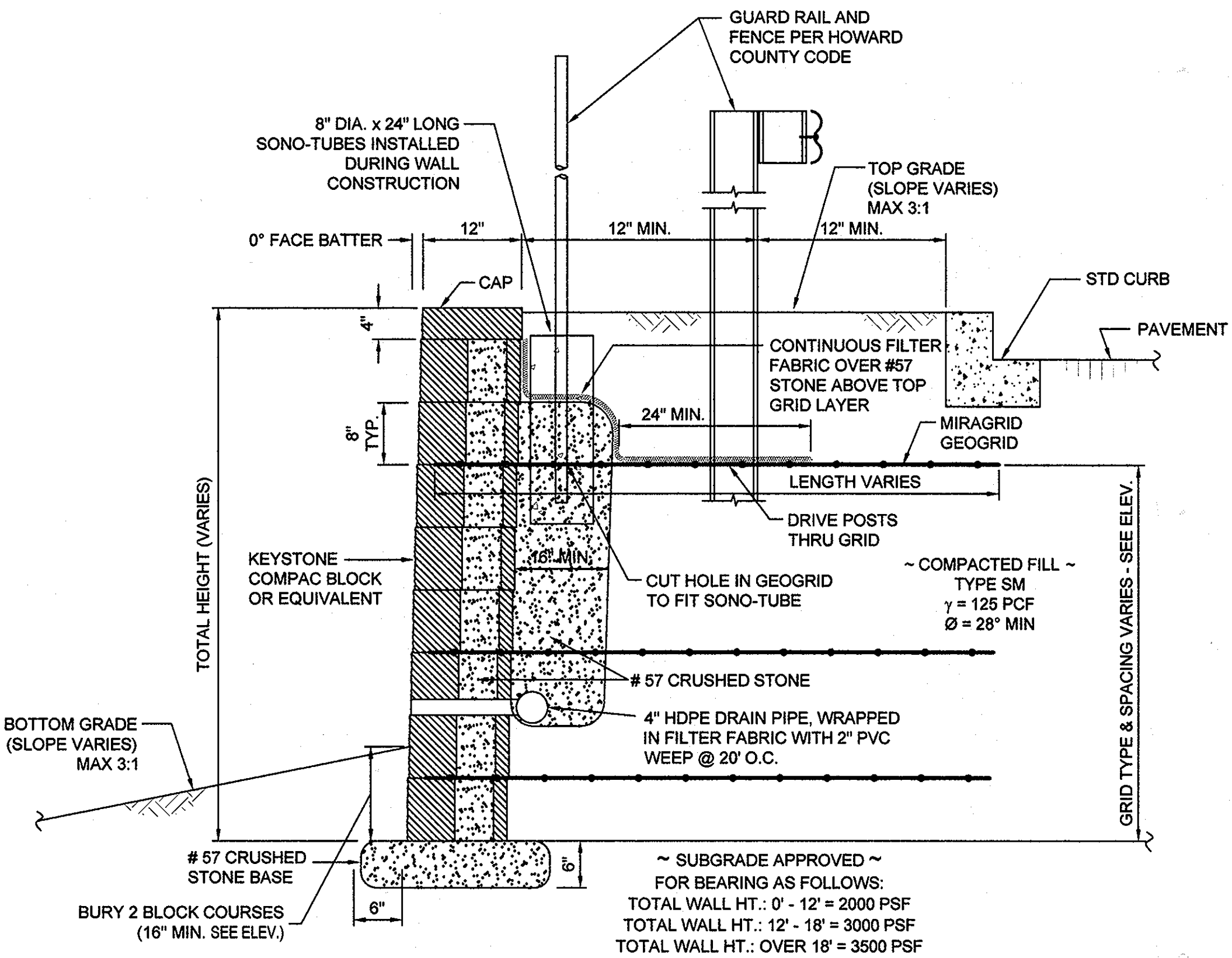
- A. Cap units shall be glued to underlying units with an all-weather adhesive recommended by the manufacturer.

3.07 Field Quality Control

- A. The Owner shall engage inspection and testing services, including independent laboratories, to provide quality assurance and testing services during construction.
- B. As a minimum, quality assurance testing should include foundation soil inspection, soil and backfill testing, verification of design parameters, and observation of construction for general compliance with design drawings and specifications.

NOTES:

1. No trees shall be planted within 10 feet of the top of the retaining wall.
2. Retaining walls shall only be constructed under the observation of a registered professional engineer and a (NICET, WACEL, or equiv.) certified soils technician.
3. One soil boring shall be required every one hundred feet along the entire length of the wall. Copies of all boring reports shall be provided to the Howard County Inspector Prior to the start of construction.
4. The required bearing pressure beneath the wall system shall be verified in the field by a certified soils technician. Testing documentation must be provided to the Howard County Inspector prior to start of construction. The required bearing test shall be the Dynamic Cone Penetrometer test ASTM STP-399.
5. The suitability of fill material shall be confirmed by the on-site soils technician. Each 8" lift must be compacted to a minimum 95% standard proctor density and the testing report shall be made available to the Howard County Inspector upon completion of construction.
6. Walls shall not be constructed on uncertified fill materials.
7. Walls shall not be constructed within a Howard Co. right-of-way or easement.



WALL TYPICAL SECTION
N.T.S.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PARK
ELLICOTT CITY, MARYLAND 21042
(410) 461-2555

HILLIS-CARNES
ENGINEERING ASSOCIATES
10975 Guilford Road, Suite A Annapolis Junction, Maryland
(410) 880-4788 Fax: (410) 880-4098

NO.	REVISION	DATE
1	ADDED BUILDING B TO PLAN	1/27/04

PROFESSIONAL CERTIFICATION
HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14434.
EXPIRATION DATE: 05/13/08

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE JULY 17, 2008
vs

OWNER / DEVELOPER
ICE CRYSTAL, L.L.C.
8835-P COLUMBIA 100 PARKWAY
COLUMBIA, MARYLAND 21045
(410) 730-0810
ATTL: MR. JOHN LIPARINI

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Candy Harris 10/27/08
Chief, Division of Land Development Date

Mark A. Uyle 10/15/08
Chief, Development Engineering Division Date

Director - Department of Planning and Zoning Date

PROJECT	SECTION/AREA	LOT NO.
CHERRYTREE PARK - BULK PARCEL 'K'		BLDG. UNITS 1-8

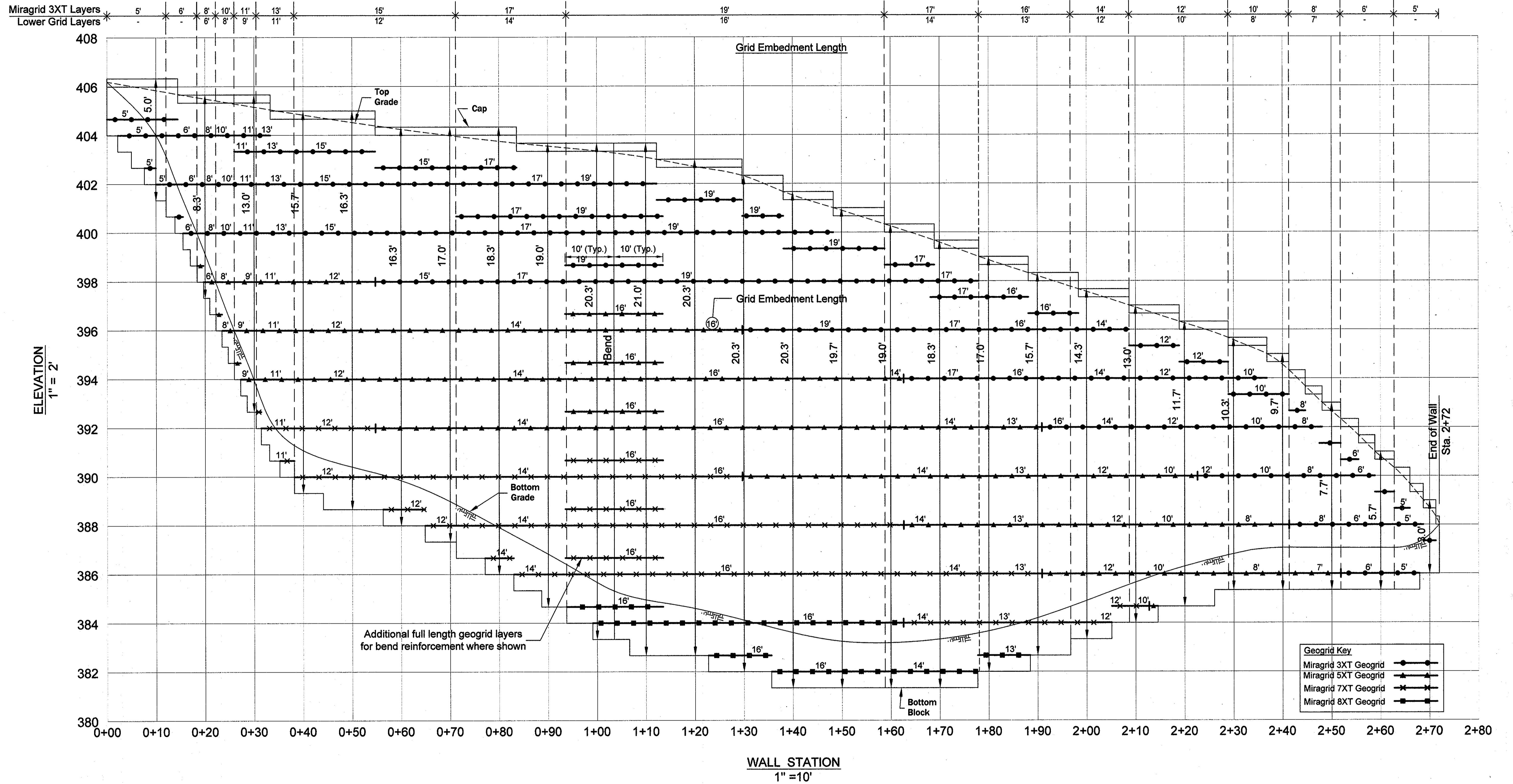
PLAT NO.	BLOCK NO.	ZONE	TAX	ELEC. DIST.	CENSUS TR.
15448 - 15454	4	MXD-6	46	6TH	6068.02

WATER CODE E18 SEWER CODE 7602000

RETAINING WALL PLAN & DETAILS

AGE RESTRICTED ADULT HOUSING
CHERRYTREE PARK
CONDOMINIUM BUILDINGS 1 THRU 8
BULK PARCEL 'K', PHASES 1 AND 2
(A RESUBDIVISION OF BULK PARCEL 'I' & 'J')
ZONED: MXD-6

TAX MAP No.: 46 PARCEL No.: 156
SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: SEPTEMBER 19, 2008
SHEET 21 OF 22 HCEA PROJECT NO.: 00188-E



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PARK
 ELLICOTT CITY, MARYLAND 21042
 (410) 461-2333

HILLIS-CARNES
 ENGINEERING ASSOCIATES
 10975 Guilford Road, Suite A Annapolis Junction, Maryland
 (410) 880-4788 Fax: (410) 880-4098



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE
 PREPARED OR APPROVED BY ME, AND THAT
 I AM A DULY LICENSED PROFESSIONAL
 ENGINEER UNDER THE LAWS OF THE STATE
 OF MARYLAND, LICENSE NO. 14436.
 EXPIRATION DATE: 06/13/08

APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY
 DATE: JULY 17, 2008

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development
 Chief, Division of Land Development
Director, Department of Planning and Zoning
 Director - Department of Planning and Zoning

PROJECT	SECTION/AREA	LOT NO.
CHERRYTREE PARK - BULK PARCEL 'K'	---	BLDG. UNITS 1-8
PLAT NO.	BLOCK NO.	ZONE
15449 - 15454	4	MXD-6
TAX	ELEC. DIST.	CENSUS TR.
46	6TH	6068.02
WATER CODE	SEWER CODE	
E18	7602000	

RETAINING WALL ELEVATION

AGE RESTRICTED ADULT HOUSING
 CHERRYTREE PARK
 CONDOMINIUM BUILDINGS 1 THRU 8
 BULK PARCEL 'K', PHASES 1 AND 2
 (A RESUBDIVISION OF BULK PARCEL 'I' & 'J')
 ZONED: MXD-6
 TAX MAP No.: 46 PARCEL No.: 156
 SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: SEPTEMBER 19, 2008
 SHEET 22 OF 22 HCEA PROJECT NO.: 00188-E