

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS, BUREAU OF ENGINEERING, CONSTRUCTION INSPECTION DIVISION AT (410) 313-1800 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7771 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- PROJECT BACKGROUND:
LOCATION: TAX MAP #46, GRIDS 5 & 4
ZONING: MXD-3
ELECTION DISTRICT: 5TH
PARCEL B-6 AREA: 4.2302 AC.
REG. REF.: FLAT # 122022, 122023
- THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, BUREAU OF UTILITIES AT (410) 313-4900 AT LEAST FIVE (5) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION WORK.
- PROPOSED USE: RETAIL GROCERY STORE
- ALL PLAN DIMENSIONS ARE TO FACE OF BUILDING UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIIALLY BETWEEN ITEMS UNLESS OTHERWISE NOTED.
- EXISTING TOPOGRAPHY IS SHOWN PER FIELD RUN SURVEY INFORMATION BY GUTSCHICK, LITTLE & WEBER, P.A. & BY DESIGN GRADES FROM DESIGN PLANS FOR CONSTRUCTION.
- COORDINATES AND BEARINGS ARE BASED UPON THE '83 MD STATE COORDINATE SYSTEM (NAD 83) AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 41EA, 41EB, 41GA AND NO. 46B2.
- SITE IS BEING DEVELOPED UNDER MXD-3 REGULATIONS, PER ZD495M, APPROVED ON 2/10/01 AND ZB-1029M APPROVED 03/20/06 AND THE COMPREHENSIVE ZONING PLAN DATED 02/02/04. UNDERLYING ZONING IS RR-DEO AND THE COMP LITE ZONING REGULATION AMENDMENTS DATED 01/28/06.
- THE PREVIOUS DEPARTMENT OF PLANNING AND ZONING FILE NUMBERS:
S-0111, S-0616, ZB-495M, ZB-1029M, PB-555, PB-510, P-0718, F-08-54, F-08-55, SDF-07-43, NP-05-12, NP-07-112, NP-08-04, SDF-08-29 and F-08-105.
- WATER AND SEWER SERVICE IS PUBLIC (SEE CONTR. #24-4543-D).
- FOR EXISTING PUBLIC WATER AND SEWER SEE CONTRACTS 24-4448-D, 44-3305-D AND 24-4543-D.
- ALL ON-SITE STORM DRAIN PRIVATE.
- STORMWATER MANAGEMENT FOR BOTH QUALITY AND QUANTITY FOR THE DEVELOPMENT PROPOSED BY THESE PLANS WILL BE SATISFIED BY TWO REGIONAL FACILITIES BEING CONSTRUCTED UNDER F-08-55 AND AN EXISTING FACILITY CONSTRUCTED UNDER F-05-07. THE EXISTING FACILITY AND THE FACILITY ON OPEN SPACE LOT 3 WILL BE PUBLICLY OWNED AND MAINTAINED. THE FACILITY ON OPEN SPACE LOT 2 WILL BE PRIVATELY OWNED AND MAINTAINED. THE RECHARGE REQUIREMENTS FOR THIS DEVELOPMENT WILL BE PROVIDED IN A PRIVATELY OWNED AND MAINTAINED FACILITY ON PARCEL B-5. THE RECHARGE FACILITY WILL BE AN INFILTRATION TRENCH LOCATED ON PARCEL B-5 AND CONCEPTUALLY DESIGNED UNDER F-08-054.
- EXISTING UTILITIES ARE BASED ON APPROVED DESIGN PLANS FOR CONSTRUCTION AND FIELD LOCATION BY GUTSCHICK, LITTLE & WEBER, P.A.
- THERE ARE NO KNOWN CEMETERIES, GRAVE SITES OR HISTORIC STRUCTURES LOCATED ON THE SUBJECT PROPERTY.
- THERE ARE NO SCENIC ROADS WITHIN OR ADJACENT TO THE SUBJECT PROPERTY.
- THERE IS NO FLOODPLAIN WITHIN PARCELS B-6 THRU B-11.
- THERE ARE NO WETLANDS WITHIN PARCEL B-6 THRU B-11.
- AS A COMMERCIAL DEVELOPMENT, A NOISE STUDY IS NOT REQUIRED FOR THIS SDP.
- BUILDING SETBACKS AND BUILDING RESTRICTIONS ARE IN ACCORDANCE WITH THE APPROVED DEVELOPMENT CRITERIA PER S-06-16.
- THE RESIDENTIAL LOTS, PARCELS AND EMPLOYMENT USE STRUCTURES DEVELOPED OR PROPOSED ON THE ORIGINAL 507 ACRES TRACT FOR MAPLE LAWN FARMS ARE GRANDFATHERED TO THE FOURTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AS DEVELOPED UNDER S-0111, PB CASE 355 AND ZB CASE NO. 198M. HOWEVER, THE PROPOSED RESIDENTIAL AND EMPLOYMENT USES THAT ARE TO BE DEVELOPED UNDER AMENDED CSP, S-06-16 AND ZB CASE NO. 1029M FOR THE FORMER WESSEL AND OLIVER PROPERTIES ARE SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND REGULATIONS PER COUNCIL BILL NO. 15-2003.
- THE TRAFFIC STUDY (APFO) WAS APPROVED AS PART OF SKETCH PLAN S-06-016.
- FOREST CONSERVATION FOR THIS SITE HAS BEEN PROVIDED UNDER F-08-54. THE GRADING WORK UNDER THIS SDP SHALL BE COORDINATED WITH THE FOREST AND LANDSCAPE PLANTING IN OPEN LOT #1 UNDER F-08-54.
- THE BUILDING WILL HAVE AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM W/ AN INSIDE METER.
- THE SHARED ACCESS AND PARKING AGREEMENT FOR PARCELS B6 THRU B11 IS RECORDED AT L.1784 F.355
- ALL EXTERIOR LIGHT FIXTURES SHALL BE ORIENTED TO DIRECT LIGHT INWARDS AND DOWNWARDS AWAY FROM ALL ADJOINING RESIDENTIAL USE AREAS AND PUBLIC ROADS IN ACCORDANCE WITH SECTION 154 OF THE HOWARD COUNTY ZONING REGULATIONS.
- SEE SHEET #1 FOR LANDSCAPE SAFETY REQUIREMENTS.

SITE DEVELOPMENT PLAN

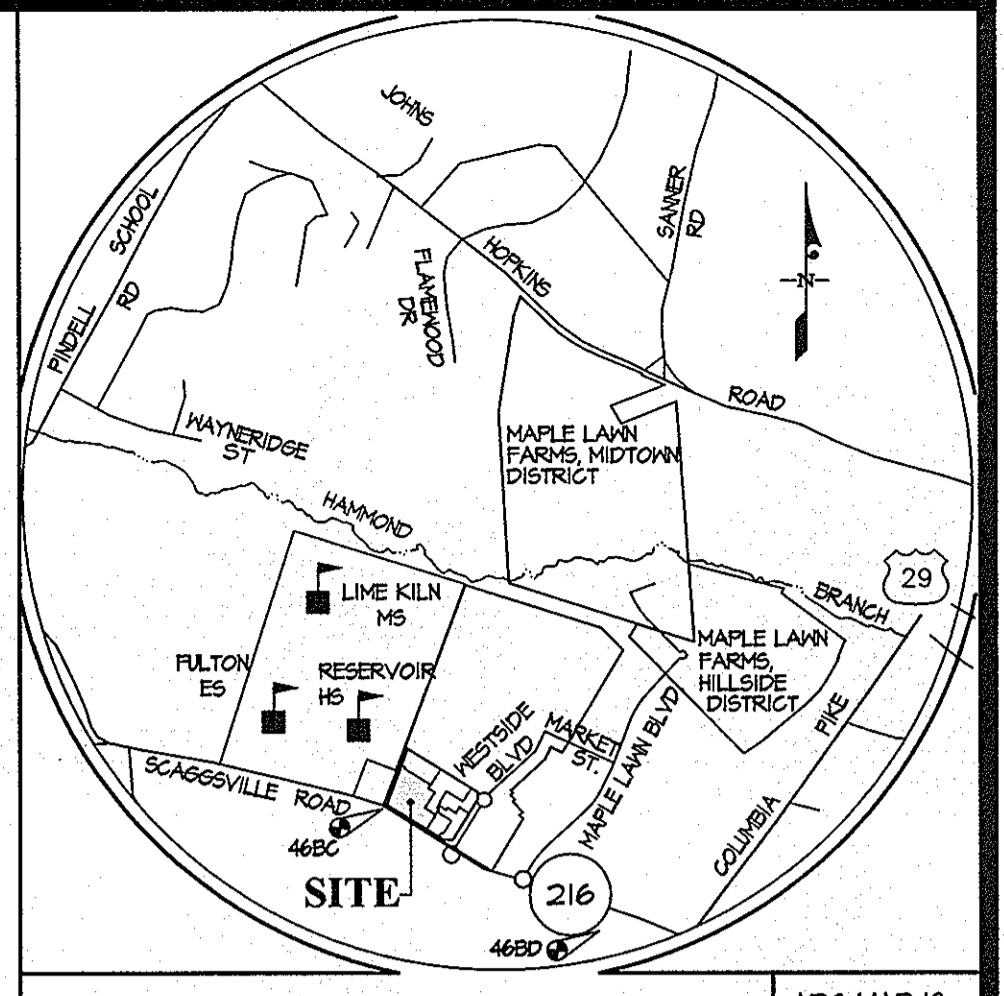
MAPLE LAWN FARMS

Westside District - Area 1

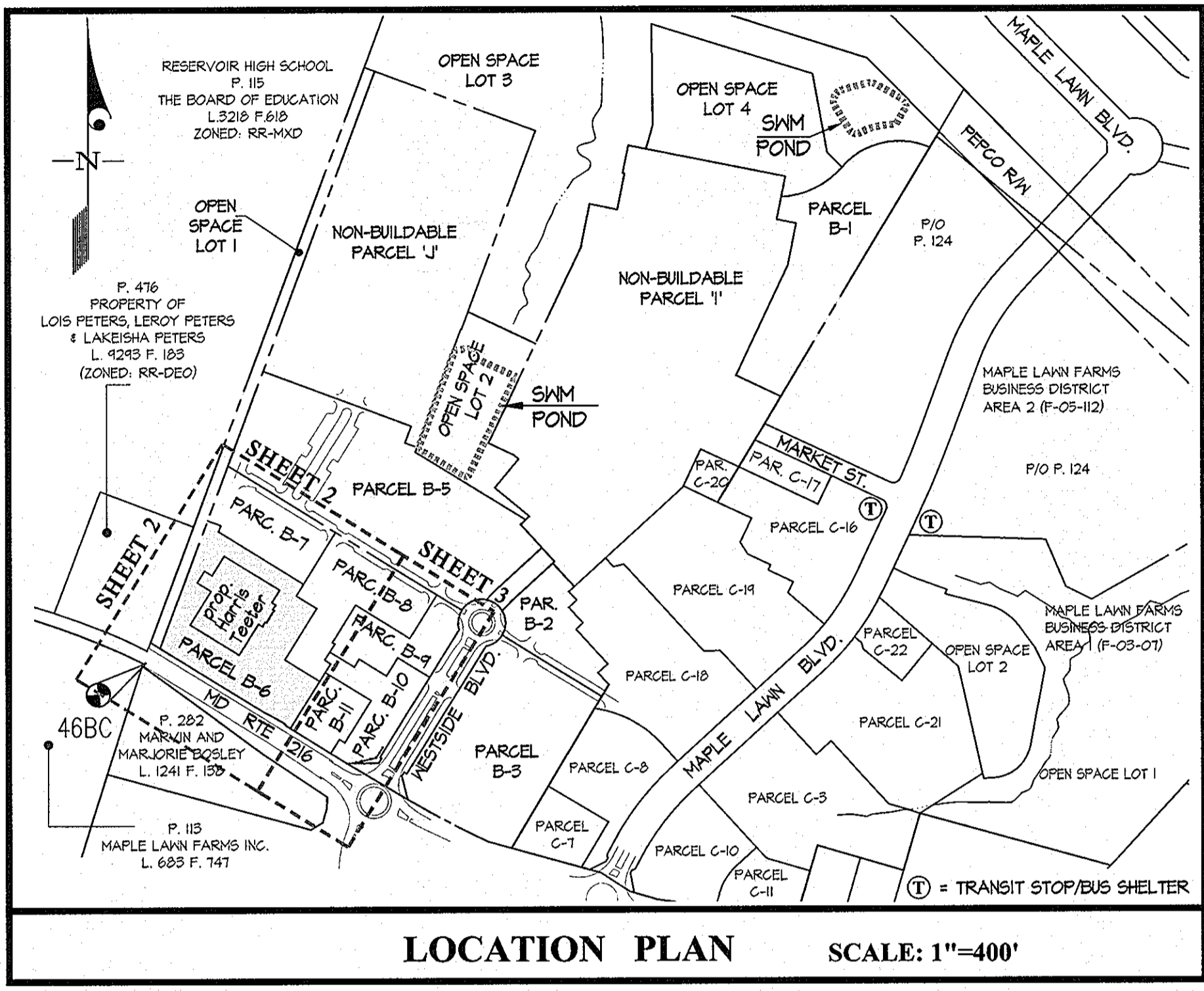
Parcel B-6 (Harris Teeter Store No. 323)

BENCHMARKS

46B2	ELEV. = 472.18	N = 524°25.15	E = 1331°20.71
STANDARD DISC ON CONCRETE MONUMENT			
46B0	ELEV. = 491.17	N = 528°55.76	E = 1334°46.55
STANDARD DISC ON CONCRETE MONUMENT			



VICINITY MAP
SCALE: 1" = 2000'



LOCATION PLAN
SCALE: 1" = 400'

SITE INDEX

- COVER SHEET
- SITE DEVELOPMENT PLAN
- SITE DEVELOPMENT PLAN
- PAVING DELINEATION PLAN and SITE DETAILS
- SEDIMENT CONTROL PLAN
- SEDIMENT CONTROL NOTES and DETAILS
- STORM DRAIN DRAINAGE AREA MAP
- STORM DRAIN AND UTILITY PROFILES
- STORM DRAIN PROFILES
- LANDSCAPE PLAN
- LANDSCAPE NOTES and DETAILS

RETAIL AND SERVICE TRACKING CHART

FILE NUMBER	AREA OF RETAIL
SDP 04-46	10,941 S.F.
SDP 05-08	9,312 S.F.
SDP 05-36	0
SDP 05-41	0
SDP 06-61	0
SDP 06-148	0
SDP 07-02	14,918 S.F.
THIS SDP	47,142 S.F.
TOTAL	84,413 S.F.

A TOTAL OF 152,370 S.F. OF RETAIL IS ALLOWED IN ACCORDANCE WITH S-01-17, OR A TOTAL OF 181,590 S.F. OF RETAIL UNDER S-06-16.

SITE ANALYSIS DATA

- GROSS AREA OF PARCEL B-6 = 4.2302 AC
- LIMIT OF DISTURBED AREA = 8.91 AC.
- ZONING: MXD-3.
- PROPOSED USE: RETAIL GROCERY STORE
- BUILDING COVERAGE (% OF GROSS ACREAGE)
47,142 S.F. BUILDING
1,220 S.F. CANOPY
50,910 S.F. OR 21.5% OF Parcel B-6
- FLOOR AREA RATIO (F.A.R.) CALCULATIONS
1.418 AC (Bldg. Area) / 4.2302 AC (Parcel B-6 Area) = 0.27 F.A.R.

FLOOR AREA RATIO (F.A.R.) TRACKING CHART

DPZ FILE No.	PARCEL AREA	FLOOR AREA	F.A.R.
SDP-04-44 (Office Bldg. 1)	4.40 AC. (19,150 S.F.)	43,945 S.F.	0.49
SDP-04-46 (Retail Bldg. 1 & Bank)	3.17 AC. (13,733 S.F.)	24,088 S.F.	0.17
SDP-05-08 (Retail Bldg. 2 & Gas Station)	3.20 AC. (13,520 S.F.)	22,218 S.F.	0.16
SDP-05-036 (Office Bldg. 2)	4.24 AC. (18,402 S.F.)	43,945 S.F.	0.51
SDP-05-041 (Office Bldg. 3)	5.58 AC. (24,230 S.F.)	123,685 S.F.	0.21
SDP-06-067 (Office Bldg. 4)	4.78 AC. (20,087 S.F.)	100,288 S.F.	0.48
SDP-06-148 (Medical & 3 Office Bldgs.)	8.54 AC. (37,190 S.F.)	121,620 S.F.	0.23
SDP-07-02 (Bank, School, Retail, & Restaurant)	1.36 AC. (5,920 S.F.)	45,225 S.F.	0.14
THIS SDP (Grocery Store)	4.24 AC. (18,415 S.F.)	47,142 S.F.	0.21
SUB-TOTAL	45.51 AC. (19,823,46 S.F.)	674,756 S.F.	0.34
EMPLOYMENT AREA RECORDED AS R/W	13.60 AC.	0	0
TOTAL AREA TO BE RECORDED AS EMPLOYMENT	122.0 AC.	15,44 AC.	0.13
TOTAL REMAINING EMPLOYMENT AREA	62.89 AC.		

① AREAS TO DATE BASED ON F-08-54 OVERALL TRACKING CHART.

PARKING TABULATION

PARKING GENERATION DATA	
HARRIS TEETER (THIS SDP)	
NET FLOOR AREA (in S.F.) ①	45,020 S.F.
REQUIRED PARKING RATIO	5 per 1000
REQUIRED PARKING SPACES	226
PARKING SPACES PROVIDED	221
PARKING RATIO PROVIDED	0.94 per 1000

① AS DEFINED BY BOHA (BUILDING OWNERS AND MANAGERS ASSOCIATION) GUIDELINES (approx. 40% of gross S.F.)

PARKING DISTRIBUTION

PARCEL NUMBER	B-6	B-7	B-8	B-9	B-10	B-11	RUNNING TOTAL
PARALLEL SPACES	5	11	10	0	0	0	26
9'x18' SPACES (10')	214	38	108	85	33	6	484
HANDICAP SPACES	8	14	10	10	10	10	62
RUNNING TOTAL	227	44	118	85	33	6	513

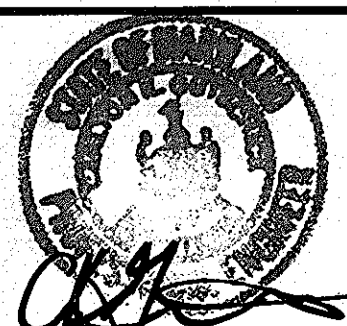
OF THE 8 HANDICAP SPACES REQUIRED FOR THE GROCERY STORE (PARCEL B-6), 4 ARE VAN ACCESSIBLE. THE SHARED ACCESS AND PARKING AGREEMENT IS RECORDED AT L.1784 F.355

ADDRESS and PERMIT INFORMATION CHART

BUILDING ADDRESS: 3184 WESTSIDE BOULEVARD		
SUBDIVISION NAME: MAPLE LAWN FARMS	SECTION/AREA: WESTSIDE DISTRICT AREA 1	PARCEL: PARCEL B-6
FLAT No. 122022, 122023	ZONE: MXD-3	TAX MAP: BLOCK 3 & 4
ELEC. DIST. 5	CENSUS TRACT 602102	
SEWER CODE: 168000		

COVER SHEET

MAPLE LAWN FARMS
WESTSIDE DISTRICT - AREA 1
Parcel B-6 (Harris Teeter Store No. 323)
PLAT No. 122022, 122023 TAX MAP PARCEL No. 116
HOWARD COUNTY, MARYLAND



PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 26, 2008
4-21-08

PREPARED FOR:
MAPLE LAWN FARMS, LLC (Owner)
SUITE 300 WOODHURST CENTER
1829 REISTERSTOWN RD
BALTIMORE, MD 21208
ATtn: CHARLIE O'DONOVAN
410-484-8400

COMMERCIAL DEVELOPMENT DESIGN CRITERIA PER S-06-16

PARCEL SIZE
NO MINIMUM OR MAXIMUM PARCEL SIZES APPLY IN THE EMPLOYMENT LAND USE AREAS.

HEIGHT
MAXIMUM BUILDING HEIGHT SHALL BE LIMITED TO 120' UNLESS APPROVED TO BE GREATER ON A SITE DEVELOPMENT PLAN BY THE HOWARD COUNTY PLANNING BOARD. ADDITIONALLY, THE FOLLOWING SHALL APPLY:
• COMMERCIAL BUILDINGS AT THE CORNER OF JONES HOPKINS ROAD AND MAPLE LAWN BOULEVARD SHALL NOT EXCEED THREE STORIES.
• COMMERCIAL BUILDINGS EAST OF MAPLE LAWN BOULEVARD AT THE FOCAL POINT SHALL NOT EXCEED FOUR STORIES.
• COMMERCIAL BUILDINGS IN THE BUSINESS DISTRICT WITHIN 300 FEET OF MD ROUTE 216 SHALL NOT EXCEED ONE STORY.
• COMMERCIAL BUILDINGS IN THE BUSINESS DISTRICT LOCATED BETWEEN 300 FEET AND 500 FEET FROM MD ROUTE 216 SHALL NOT EXCEED FOUR STORIES.
• COMMERCIAL BUILDINGS IN THE BUSINESS DISTRICT BEYOND 500 FEET FROM MD ROUTE 216 SHALL NOT EXCEED EIGHT STORIES ABOVE THE HIGHEST ADJOINING GRADE.
• COMMERCIAL BUILDINGS IN THE WESTSIDE DISTRICT WITHIN 300 FEET OF MD ROUTE 216 SHALL NOT EXCEED TWO STORIES.
• COMMERCIAL BUILDINGS IN THE WESTSIDE DISTRICT BEYOND 300 FEET FROM MD ROUTE 216 SHALL NOT EXCEED FOUR STORIES ABOVE THE HIGHEST ADJOINING GRADE.

PERMITTED USES
THE FOLLOWING USES ARE PERMITTED IN EMPLOYMENT LAND USE AREAS:
EMPLOYMENT USES PERMITTED ONLY WITHIN M-1 ZONING DISTRICT SHALL NOT BE PERMITTED. ALL USES PERMITTED AS A MATTER OF RIGHT IN THE POR, B-1 AND M-1 DISTRICTS, AS PER PETITIONER'S PDF EXHIBIT 1B, WITHOUT REGARD TO ANY LIMITATIONS OR RESTRICTIONS ON RETAIL OR PERSONAL SERVICE USES OTHERWISE PERMITTED IN SUCH DISTRICTS; FAST FOOD, CONVENIENCE STORES, COUNTRY CLUBS AND GOLF COURSES, MOVIE THEATERS, LEGITIMATE THEATERS AND DINER THEATERS, PUBLIC UTILITY USES (INCLUDING STAND-ALONE COMMUNICATION TOWERS), GROUP CARE FACILITIES, MOVING FOR THE ELDERLY AND/OR HANDICAPPED PERSONS, NURSING HOMES AND SHELTERED HOUSING. PARCEL A-2 MAY CONTAIN LIVE-WORK UNITS AS DEFINED IN THE OTHER RESIDENTIAL (OR) SECTION. ACCESSORY STRUCTURES AND ACCESSORY USES ARE ALSO PERMITTED.

THE FOLLOWING ADDITIONAL USES NOT REFERRED TO OR INCLUDED IN THE ABOVE USES, WHICH ARE ALLOWED BY SPECIAL EXCEPTION IN THE POR, B-1 AND M-1 DISTRICTS, WILL BE PERMITTED AS A MATTER OF RIGHT IN THE EMPLOYMENT LAND USE AREAS, AND ARE SPECIFICALLY APPROVED BY THE PLANNING BOARD ON THIS AMENDED COMPREHENSIVE SKETCH PLAN, PROVIDED, HOWEVER, THAT GUARRIES, TEMPORARY WRECKED VEHICLE STORAGE AND YARD WASTE SHALL NOT BE ALLOWED:
• PUBLIC SCHOOL BUILDINGS-TEMPORARY CONVERSION TO OTHER USES
• THEATERS, LEGITIMATE AND DINER
• THEATERS, MOVIE
• PUBLIC UTILITY USES, LIMITED TO THE FOLLOWING: UTILITY SUBSTATIONS, ABOVE GROUND PIPELINES, PUMPING STATIONS, TELEPHONE STATIONS, AND TELEPHONE EXCHANGES, BUT NO STAND-ALONE COMMERCIAL COMMUNICATIONS TOWERS.

THE FOLLOWING USE RESTRICTIONS ALSO APPLY:
• NO MORE THAN 15% OF THE TOTAL EMPLOYMENT LAND USE AREA MAY BE DEVOTED TO WAREHOUSE AND LIGHT MANUFACTURING USES.
• CEMETERIES, MAUSOLEUMS & CREMATORIUMS ARE NOT PERMITTED.
• A MAXIMUM OF ONE GASOLINE SERVICE STATION IS PERMITTED. THE GASOLINE SERVICE STATION MAY INCLUDE A CAR WASH, CAR REPAIR FACILITIES, AND/OR CONVENIENCE STORE FOOD.
• NO SINGLE RETAIL CENTER SHALL CONTAIN MORE THAN 150,000 SQUARE FEET OF GROSS FLOOR AREA DESIGNATED FOR USE BY RETAIL AND PERSONAL SERVICE BUSINESSES. DESIGNATED RETAIL CENTERS MAY INCLUDE RETAIL STORES, PERSONAL SERVICE ESTABLISHMENTS, AND SIMILAR USES, AS WELL AS FAST FOOD RESTAURANTS AND A GASOLINE SERVICE STATION. HOWEVER, FOR ALL RETAIL CENTERS THE TOTAL SQUARE FOOT AREA WHICH MAY BE USED FOR RETAIL AND PERSONAL SERVICE BUSINESS SHALL NOT EXCEED 181,590 (500 SQUARE FEET PER GROSS ACRE). NO INDIVIDUAL RETAIL ESTABLISHMENT WITHIN THE MXD-3 DISTRICT SHALL HAVE A GROSS FLOOR AREA GREATER THAN 65,000 SQUARE FEET. RETAIL AND PERSONAL SERVICES AND OTHER ALLOWED USES, SUCH AS RESTAURANTS AND A GASOLINE SERVICE STATION MAY ALSO BE LOCATED WITHIN OTHER DESIGNATED EMPLOYMENT AREAS OUTSIDE OF A RETAIL CENTER.

SECTION 128.F SHALL APPLY TO EMPLOYMENT LAND USE AREAS.

COVERAGE
NO COVERAGE REQUIREMENT IS IMPOSED IN EMPLOYMENT LAND USE AREAS.

FLOOR AREA RATIO (F.A.R.)
OVERALL LIMIT IS 0.35 CALCULATED ON THE TOTAL GROSS FOR ALL EMPLOYMENT LAND USE AREAS.

SETBACKS (ALSO SEE "PROJECT BOUNDARY SETBACKS")
THE MINIMUM SETBACK FOR EMPLOYMENT/COMMERCIAL STRUCTURES SHALL BE AS FOLLOWS:
• 50' FROM THE BOUNDARY LINE ALONG JONES HOPKINS ROAD OR ROUTE 216
• 10' FROM THE RIGHT-OF-WAY OF MAPLE LAWN BOULEVARD
• NO SETBACK IS REQUIRED FROM THE RIGHT-OF-WAY OF ANY INTERNAL PUBLIC OR PRIVATE ROADS OTHER THAN FOR MAPLE LAWN BOULEVARD AS NOTED ABOVE.
• 10' FROM ANY OTHER PROPERTY LINE

PARKING SETBACKS
• 15' TO PUBLIC RIGHT-OF-WAY OF MAPLE LAWN BOULEVARD (EXCEPT FOR PARALLEL PARKING ADJACENT TO ROADWAY)
• 10' TO ANY OTHER PROPERTY OR BOUNDARY LINE (EXCEPT FOR PARALLEL PARKING ADJACENT TO ROADWAY, OR WHERE A PARCEL LINE LIES WITHIN A USE-IN-COMMON PARKING AREA SERVING MULTIPLE PARCELS.)
• 20' TO PROJECT BOUNDARY LINE ALONG JONES HOPKINS OR ROUTE 216

EXCEPTIONS TO SETBACK REQUIREMENTS
STRUCTURES MAY BE LOCATED ANYWHERE WITHIN SETBACK AREAS IN ACCORDANCE WITH A SITE DEVELOPMENT PLAN APPROVED BY THE HOWARD COUNTY PLANNING BOARD.

EXCEPT FOR THE FOLLOWING, SECTION 128.A.1 APPLIES:
A. BAY WINDOWS, EAVES, FRENCH BALCONIES, PORTICOS, CORNICES, AWNINGS, SIGNS, AND SIMILAR ARCHITECTURAL ELEMENTS MAY ENCRoACH FULLY INTO ANY SETBACK.
B. ARCADES MAY ENCRoACH INTO ANY SETBACK TO WITHIN 1' OF THE PROPERTY LINE. INSE SUCH ARCADES ARE PROPOSED, THE FRONT FACADE MAY ALIGN VERTICALLY WITH THE FRONT OF THE ARCADE, THEREBY REDUCING THE REQUIRED FRONT SETBACK ACCORDINGLY. AN ARCADE IS AN ARCHED BUILDING OR PORTION OF A BUILDING, OR GALLERY OFTEN COVERED WITH A ROOF STRUCTURE OR BUILDING SUPPORTED BY A SERIES OF ARCHES AND/OR COLUMNS OR PIERS.

PARKING
a. A MINIMUM OF FIVE PARKING SPACES SHALL BE PROVIDED FOR EACH 1,000 SQUARE FEET OF NET LEASABLE AREA DEVOTED TO COMMERCIAL RETAIL SALES USES.
b. A MINIMUM OF 3.5 PARKING SPACES SHALL BE PROVIDED FOR EACH 1,000 SQUARE FEET OF NET LEASABLE AREA THAT IS DEVOTED TO OFFICE OR RESEARCH AND DEVELOPMENT USES.
c. NO PARKING REQUIREMENT IS IMPOSED UPON ANY RESTAURANT, COFFEE SHOP OR SIMILAR FACILITY CONSTRUCTED WITHIN BUILDINGS WHICH PRIMARILY SERVES TENANTS AND EMPLOYEES OF SUCH BUILDINGS, OR NEIGHBORING BUILDINGS ACCESSIBLE BY PEDESTRIANS.
d. ONE PARKING SPACE SHALL BE PROVIDED FOR EACH BEDROOM CONTAINED WITHIN ANY HOTEL, INN OR SIMILAR FACILITY AND ONE PARKING SPACE SHALL BE PROVIDED FOR EACH FIVE EMPLOYEES OF SUCH FACILITY.
e. ONE PARKING SPACE SHALL BE PROVIDED FOR EACH THREE SEATS WITHIN ANY RESTAURANT, COFFEE SHOP OR SIMILAR FACILITY CONSTRUCTED WITHIN A HOTEL, INN OR SIMILAR FACILITY OR AS A FREESTANDING STRUCTURE AND ONE PARKING SPACE SHALL BE PROVIDED FOR EACH FIVE EMPLOYEES OF ANY SUCH FACILITY.
f. ONE PARKING SPACE SHALL BE PROVIDED FOR EACH TWO BEDS IN ANY HOSPITAL OR CLINIC; ONE PARKING SPACE SHALL BE PROVIDED FOR EACH EMPLOYEE ON NIGHT OR SHIFT; AND EIGHT PARKING SPACES SHALL BE PROVIDED FOR EACH DOCTOR TREATING OUTPATIENTS ON A MAJOR SHIFT.
g. INDUSTRIAL USES:
WAREHOUSE: 0.5 SPACES PER 1,000 SQUARE FEET OF NET LEASABLE AREA
FLEX SPACE (INDUSTRIAL/OFFICE) OR OTHER INDUSTRIAL: 2.5 SPACES PER 1,000 SQUARE FEET OF NET LEASABLE AREA
2.0 SPACES PER 1,000 SQUARE FEET OF NET LEASABLE AREA

RECREATIONAL USES:
HEALTH CLUB: 1.0 SPACES PER 1,000 SQUARE FEET OF NET LEASABLE AREA
SHIMMING POOL, COMMUNITY TENNIS COURT: 1.0 SPACE PER SEVEN PERSONS PERMITTED IN THE POOL AT ONE TIME BY THE DEPT. OF HEALTH
2.0 SPACES PER COURT

'NET LEASABLE AREA' IS DEFINED AS 90% OF THE GROSS FLOOR AREA (AFTER DEDUCTING ANY FLOORS DEVOTED TO STORAGE AND COMMON USES), UNLESS A MORE PRECISE VALUE IS DETERMINED BY REDUCING THE GROSS FLOOR AREA BY AREAS DEVOTED TO PARKING, VEHICULAR CIRCULATION, OFFICE BUILDING STORAGE AREAS, EQUIPMENT AND MECHANICAL ROOMS/AREAS, LOCKER AND SHOWER FACILITIES, ENTRANCE FOSTERS/ATRIA, AND SIMILAR AREAS.

REQUIRED MINIMUM PARKING FOR ALL SUCH COMMERCIAL AND EMPLOYMENT USES SHALL BE MET OFF-STREET. ADDITIONAL PARKING MAY BE ACCOMMODATED ON-STREET, IN PARALLEL PARKING WITHIN PUBLIC ROAD RIGHTS-OF-WAY, PARALLEL SPACES LOCATED ON PAVED AREAS ADJACENT TO PUBLICLY MAINTAINED ROADWAYS OR ORIENTED DIAGONALLY OR AT RIGHT ANGLES TO SUCH ROADWAYS, IN AND/OR OUT OF THE PUBLIC R/W.

REDUCTIONS IN PARKING REQUIREMENTS ARE PERMITTED PURSUANT TO THE HOWARD COUNTY ZONING REGULATIONS SECTIONS 133.D.2 (PARKING STUDIES), 133.E.1 (SHARED PARKING) AND 133.E.2 (TRIP REDUCTION PLANS).

NP-05-02
ON AUGUST 20, 2004, NP 05-02 WAS GRANTED, ALLOWING THE FOLLOWING:
1. DEVELOPMENT OR SUBDIVISION IN A CEMETERY (HAWVER FROM SECTION 16.104)
2. REMOVAL OF HUMAN REMAINS FROM A CEMETERY PRIOR TO DEVELOPMENT (HAWVER FROM SECTION 16.106)

NP-07-122
HAWVER REQUEST FROM SECTION 16.146 - REQUIREMENT FOR A PRELIMINARY PLAN PRIOR TO THE PLAT APPROVAL, WAS APPROVED BY THE DEPARTMENT OF PLANNING AND ZONING UNDER THE CONDITIONS OF NP-07-122****, WHICH WAS GRANTED ON JUNE 14, 2007 SUBJECT TO THE FOLLOWING CONDITIONS:
1. COMPLIANCE WITH THE SRC COMMENTS ISSUED FOR THE FINAL PLAN, F-07-185 AND THE RED-LINE REVISION OF SDF-05-36.
2. COMPLIANCE WITH THE COMMENTS DATED JUNE 14, 2007 FROM DEVELOPMENT ENGINEERING DIVISION:
1. ADDED PARCEL C-20 TO PURPOSE NOTE.
2. APPROVED BECAUSE IT DOES NOT HAVE AN EFFECT ON STORMWATER MANAGEMENT, OR APFO.
3. THIS PLAN ONLY ALLOWS FOR THE CONSTRUCTION OF AN ADDITION OF A PARKING LOT.

NP-08-04
ON AUGUST 8, 2007, NP-08-04 WAS GRANTED TO HAVE SECTION 16.121(X) WHICH REQUIRES OPEN SPACE LOTS (OPEN SPACE LOTS 1 THRU 4) TO HAVE A MINIMUM OF 40 FEET OF FRONTAGE ONTO A PUBLIC ROAD FOR ACCESS BY PEDESTRIANS AND MAINTENANCE VEHICLES. THE APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:
1. BOLLARD MARKERS OR SOME FORM OF PERMANENT SIGNAGE SHALL BE INSTALLED AT THE PUBLIC OR PRIVATE ROAD FRONTAGES TO IDENTIFY PEDESTRIAN AND VEHICULAR ACCESS TO OPEN SPACE LOTS 1 THRU 4 AND FOR OPEN SPACE LOTS 2 AND 4 AT THE 5M ACCESS EASEMENT TO IDENTIFY MAINTENANCE VEHICLE ACCESS TO THE 5M FACILITIES.
2. SUBJECT TO THE SRC COMMENTS ISSUED FOR PRELIMINARY PLAN, P-07-110.
3. THE MINIMUM PUBLIC ROAD FRONTAGE FOR HOA OPEN SPACE LOT 2 SHALL BE INCREASED IN WIDTH FROM THE 14 FEET PRESENTLY PROPOSED ON THE HAWVER PLAN EXHIBIT TO A MINIMUM OF 20 FEET IN WIDTH.
4. A 20' WIDE MINIMUM UNRESTRICTED PUBLIC OR PRIVATE ROAD ACCESS MUST BE PROVIDED TO SERVE AS AN ENTRANCE LEADING INTO HOA OPEN SPACE LOT 4 (FUTURE HOA RECREATIONAL BALL FIELDS) TO ACCOMMODATE PEDESTRIAN ACCESS AND PERIODIC ACCESS FOR MAINTENANCE AND EMERGENCY VEHICLES.
5. THE PROCESSING OF THIS HAWVER REQUEST FOR THE MINIMUM OPEN SPACE FRONTAGE REQUIREMENTS FOR OPEN SPACE LOTS 1 THRU 4 AS SHOWN ON P-07-110 SHALL BE CONSIDERED AS A TEMPORARY DEFERRAL OF THE PUBLIC OR PRIVATE FRONTAGE REQUIREMENT UNTIL THE FINAL SUBDIVISION PLANS ARE SUBMITTED FOR THIS PROJECT.

APPROVED PLANNING BOARD OF HOWARD COUNTY
DATE: MARCH 13, 2008

Approved: For Public Water & Sewerage System
Howard County Health Department

Approved: For Public Water & Sewerage System
Howard County Health Department

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE, SUITE 250 - BURTNSVILLE OFFICE PARK
BURTNSVILLE, MARYLAND 20866
TEL: 301-421-4024 FAX: 301-421-4188

LIGHTING FIXTURE SCHEDULE			
SYMBOL	DESCRIPTION	LUMENS	MOUNTING
●	GARDCO LIGHTING, TYPE 3 SINGLE (1) 4003 618-3XL-400MH	36000	25' POLE
■	GARDCO LIGHTING, TYPE 3 180 DEG (2) 4003 618-3XL-400MH	36000	25' POLE
◆	GARDCO LIGHTING, TYPE 4 90 DEG (2) 4004 618-4XL-400MH	36000	25' POLE

EXTERIOR LIGHTING NOTES:

- A PARTIALLY SHIELDED FIXTURE SHALL BE CONSTRUCTED AND INSTALLED IN SUCH A MANNER THAT LESS THAN 25 PERCENT OF THE LIGHT IS PROJECTED ABOVE THE HORIZONTAL PLANE THROUGH THE LOWEST PART OF THE LAMP, AS CERTIFIED BY THE LIGHTING MANUFACTURER OR A PHOTOMETRIC TEST REPORT.
- LIGHT TRESPASS ONTO A PROPERTY IN THE "RR" ZONING DISTRICT, OR ONTO A PROPERTY IN THE MXD DISTRICT DESIGNATED FOR DEVELOPMENT OF EQUIVALENT LAND USES, SHALL BE LIMITED TO 0.10 FOOT CANDLES.

SITE DEVELOPMENT PLAN LEGEND

---	EXISTING CONTOUR
---	PROPOSED 2 FT. CONTOUR LINE (EVEN)
---	PROPOSED INTERMEDIATE (ODD) PAVEMENT CONTOUR
+ 65.4	PROPOSED SPOT ELEVATION
MEX	MATCH EXISTING
○	EXISTING STORM DRAIN
○	PROPOSED STORM DRAIN
M	M - MANHOLE
I	I - INLET
S	S - SUBS
EX 8" S	EXISTING SANITARY SEWER
8" S (PRV)	SANITARY SEWER (PRIVATE)
EX 8" W	WATERLINE (PUBLIC)
HW	HW (PRIVATE)
EX FHD	EXISTING FIRE HYDRANT
NFHD	NEW FIRE HYDRANT
---	EXISTING CURB & GUTTER
---	FUTURE CURB & GUTTER
---	PROPOSED ASPHALT CURB (TEMPORARY, DET. 5/4)
---	CONCRETE CURB & GUTTER (DET. 1/4)
---	GUTTER PAN
---	FACE OF CURB
---	P/T/C
---	BACK OF CURB
---	EDGE OF PAVING
---	CONCRETE/PAVER SIDEWALK (DET. 2/4)
---	EASEMENT AREA (SHADED)
Ⓟ	NUMBER OF PARKING SPACES
○	EXISTING LIGHT FIXTURES & POLE
●	PROPOSED LIGHT FIXTURES & POLE
---	FOREST CONSERVATION AREA
...	LIMIT OF GRADING DISTURBANCE
○	EXISTING B&E POLE

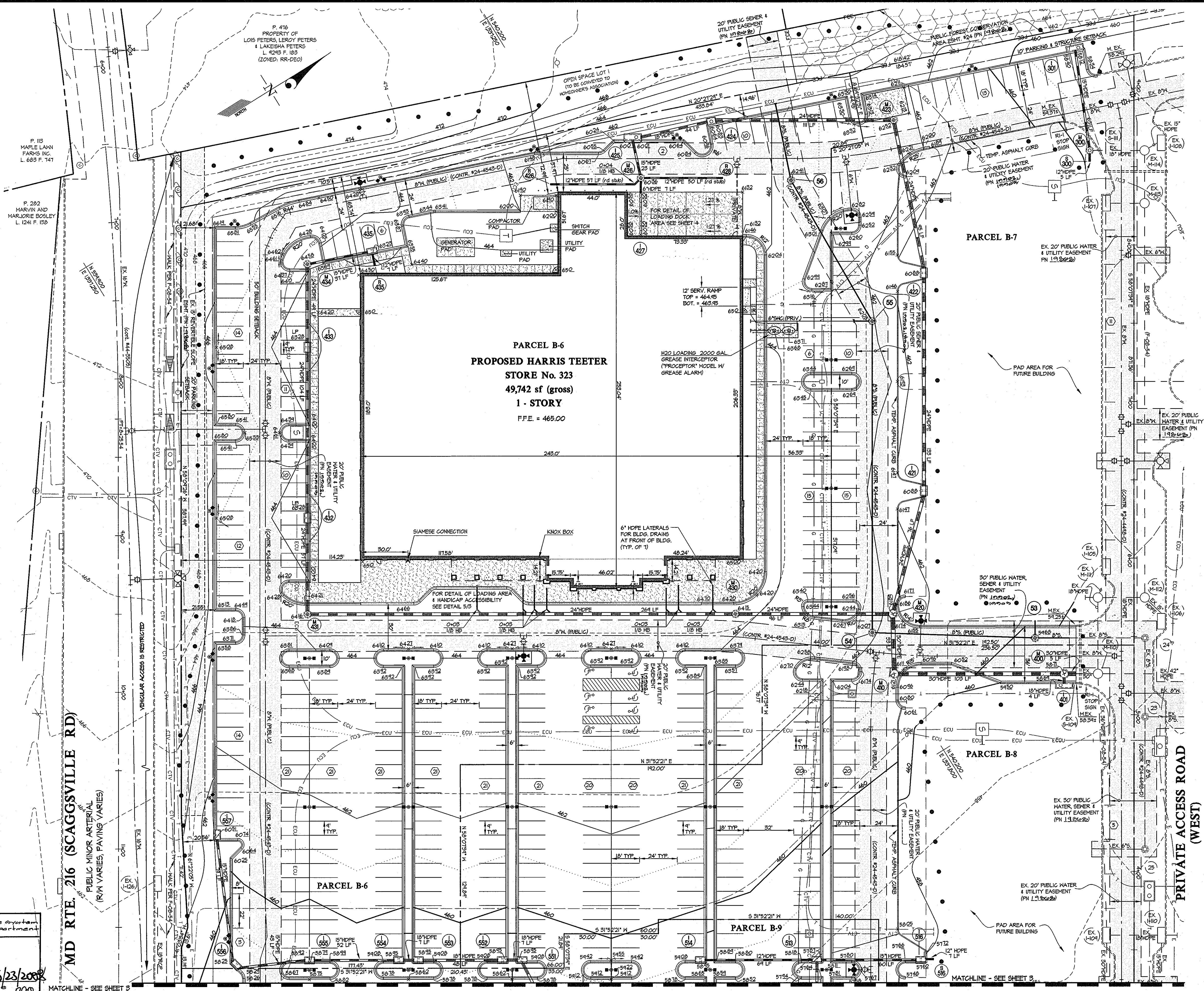
NOTES:

- UNLESS NOTED OTHERWISE, PROPOSED SPOT ELEVATIONS ALONG THE CONCRETE CURB & GUTTER ARE TO THE FLOW LINE (BOTTOM OF CURB) AT THE P/S/P/T'S, CORNERS AND TERMINUSES.
- ALL ON-SITE PAVING AND ROADWAYS ARE PRIVATE.
- ALL ON-SITE STORM DRAIN ARE PRIVATE AND SHALL BE PRIVATELY MAINTAINED. THE ON-SITE WATER IS PRIVATELY MAINTAINED, EXCEPT THE PORTION OF THE 8" W AND FIRE HYDRANTS THAT ARE WITHIN THE PUBLIC WATER & UTILITY EASEMENT. ALL ON-SITE PRIVATE SEWER LINES AND STRUCTURES SHALL BE PRIVATELY MAINTAINED, EXCEPT THE PORTION WITHIN THE PUBLIC SEWER & UTILITY EASEMENT.
- FOR INFORMATION OF THE PUBLIC PORTION OF THE ON-SITE WATER AND SEWER LINE, SEE DPN CONTRACT NO. 24-4543-D.
- UNLESS NOTED OTHERWISE, ALL PLAN DIMENSION ARE TO THE FACE OF STRUCTURE (BLDG, CURB, ETC.). DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIAL BETWEEN ITEMS UNLESS NOTED OTHERWISE.
- ALL CURB RADII ARE 5' (FACE OF CURB @ FLOW LINE) UNLESS NOTED OTHERWISE.
- THE BUILDING IS EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM AND THE WATER TOWER IS LOCATED INSIDE THE BUILDING.

APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE MARCH 13, 2008

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: *Mash M. Wyle* 5/24/08
Chief, Division of Land Development: *Andy Kuntz* 5/27/08
Chief, Development Engineering Division: *Chris Williams* 5/28/08

Approved: For Public Water & Sewerage System
Howard County Health Department
Brian Peter Baileman 5/23/2008
County Health Officer



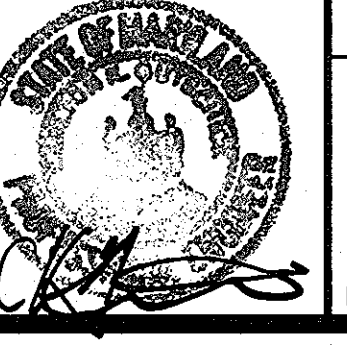
GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3009 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

L:\CADD\DRAWINGS\03067\07064\SDP\07064-SDP.dwg DES. MBT DRN. KLP CHK. CKG

DATE	REVISION	BY	APPR.

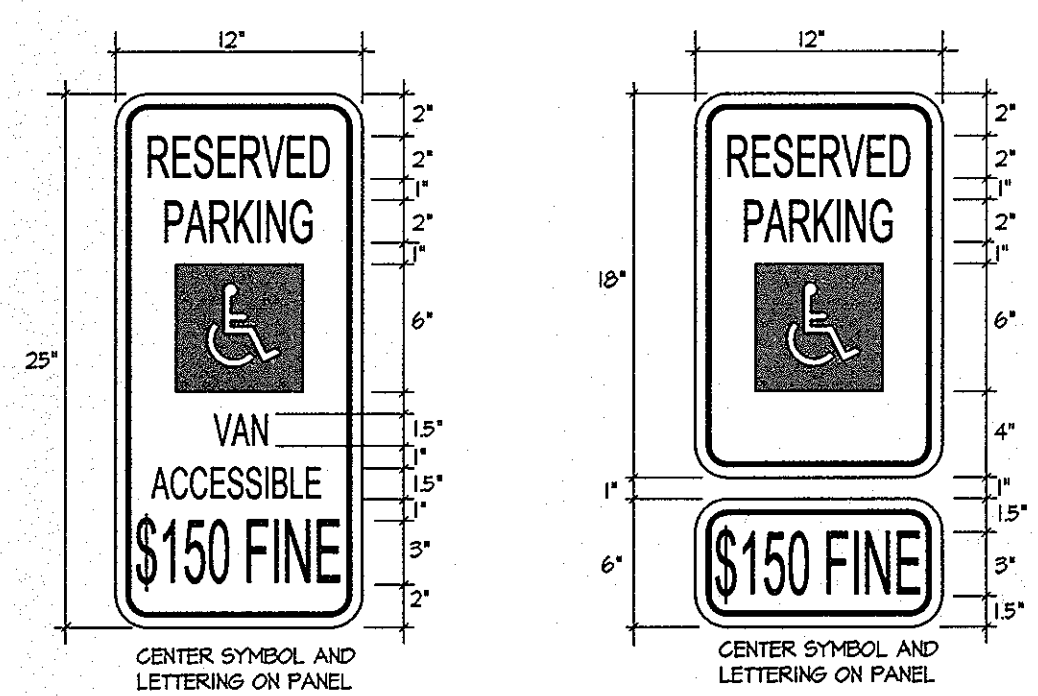
PREPARED FOR:
MARLE LAWN HI, LLC (Owner)
SUITE 300 WOODHOLME CENTER
1029 RESTERSTOWN RD
BALTIMORE, MD 21208
ATtn: CHARLIE ODONOVAN
410-484-9400

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 129215
EXPIRATION DATE: MAY 26, 2008



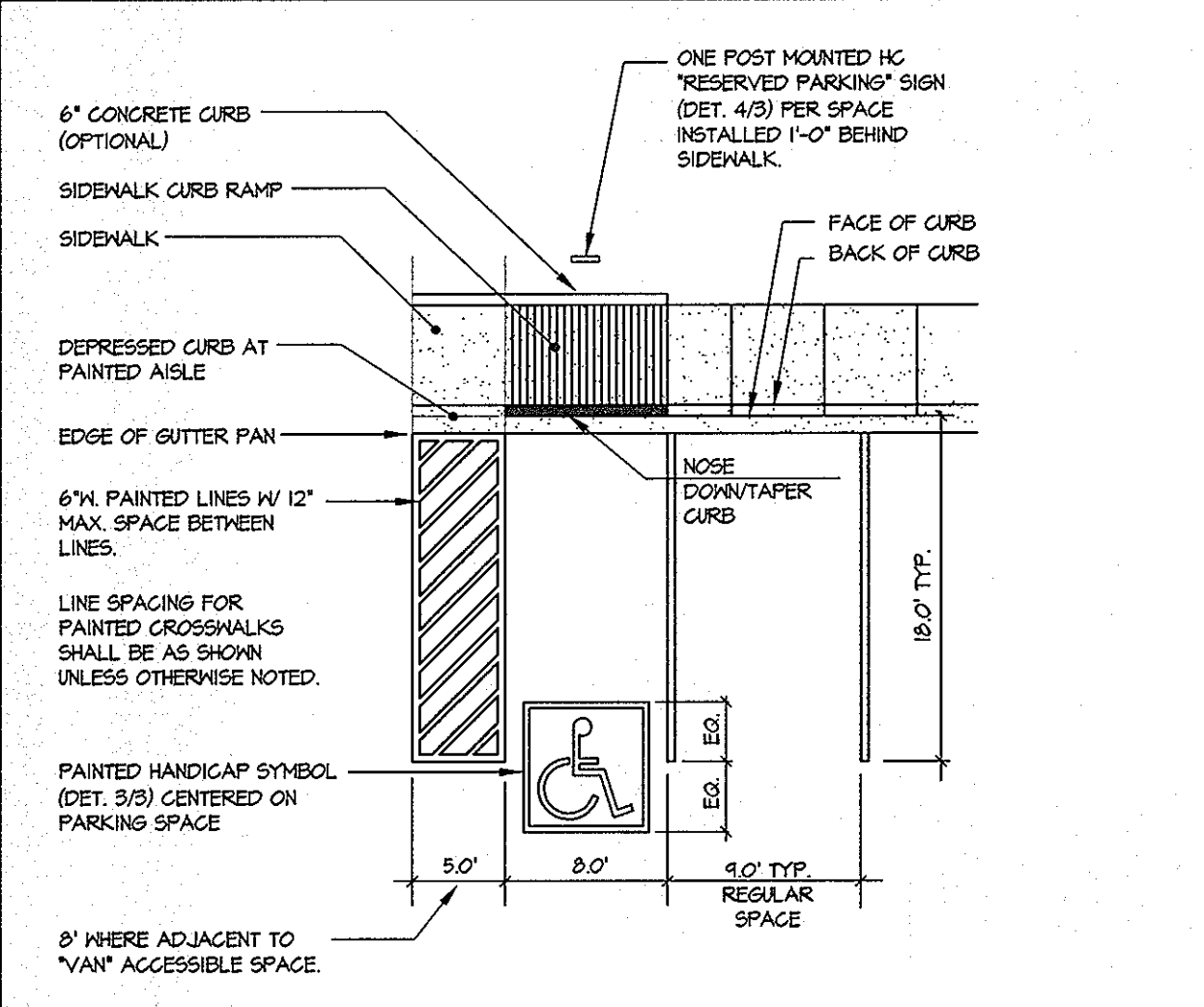
SITE DEVELOPMENT PLAN
MAPLE LAWN FARMS
WESTSIDE DISTRICT - AREA 1
Parcel B-6 (Harris Teeter Store No. 323)
PLAT No. 07064-1, 07064-2, TAX MAP PARCEL No. 116
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1" = 30'	MXD-3	07064
DATE	TAX MAP - GRID	SHEET
April/2008	41-21&22 46-3	2 OF 11

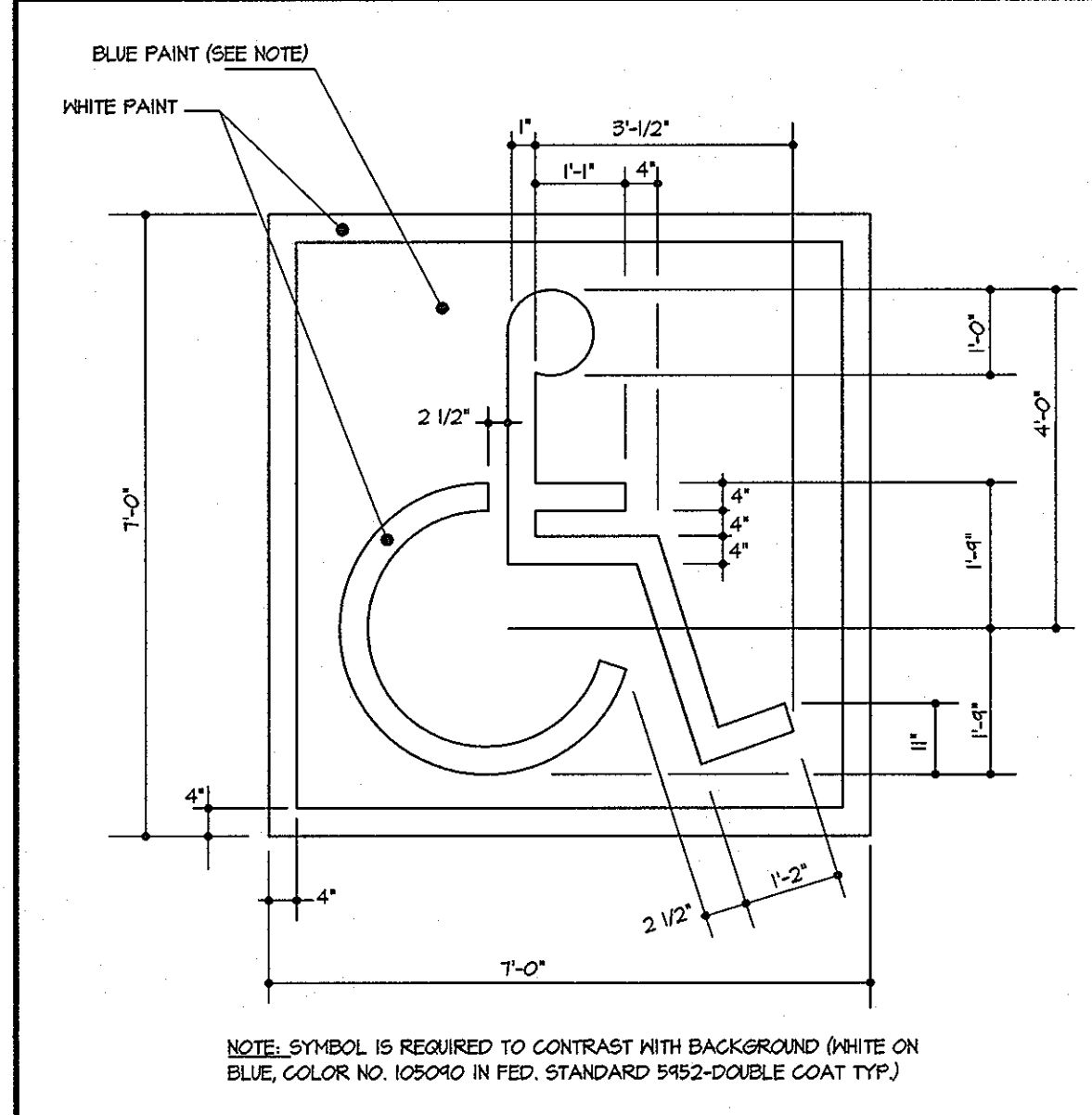
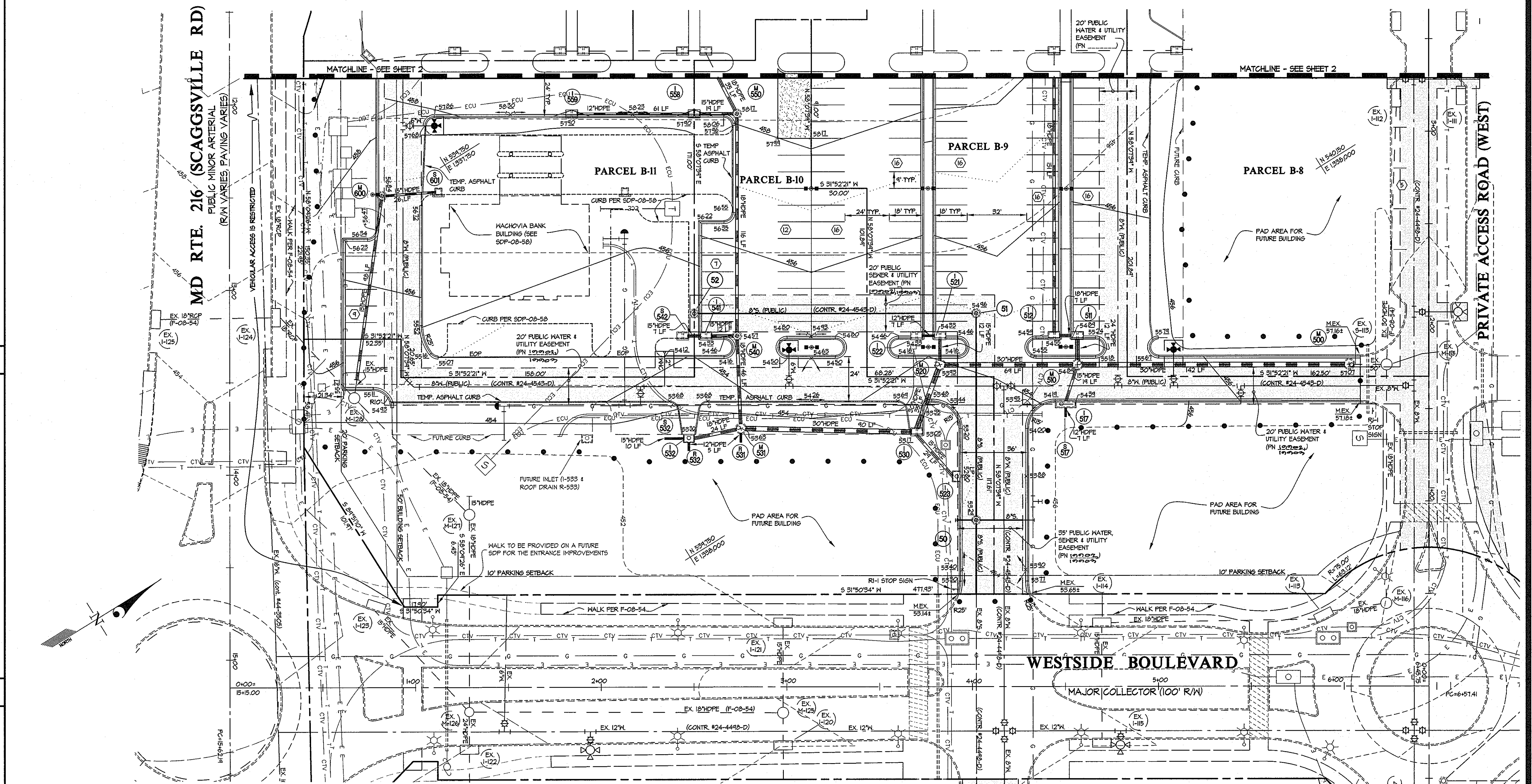


- GENERAL NOTES:**
- SIGNS SHALL MEET DESIGN STANDARDS OF THE FEDERAL HIGHWAY ADMINISTRATION AND CONFORM TO THE STATE OF MARYLAND STANDARD HIGHWAY SIGN BOOKLET DETAIL RT-8.
 - ONE SIGN IS REQUIRED PER SPACE PLACED AS SHOWN ON SITE PLAN.
 - SPACES INDICATED ON SITE PLAN AS "VAN ACCESSIBLE" SHALL BE SIGNED ACCORDINGLY.
 - SIGNS SHALL BE POLE MOUNTED WITH HOT DIPPED GALVANIZED COUNTY APPROVED PERFORATED CHANNEL POSTS 1/4" ABOVE FINISHED GRADE OR AS INDICATED ON SITE DRAWINGS.
 - SIGN SHALL BE ATTACHED TO FLANGED SIDE OF POST. POST SHALL EXTEND INTO GROUND 2'-6" MIN.
 - COLORS: LEGEND AND BORDER - GREEN
SYMBOL - WHITE ON BLUE BACKGROUND
BACKGROUND - WHITE

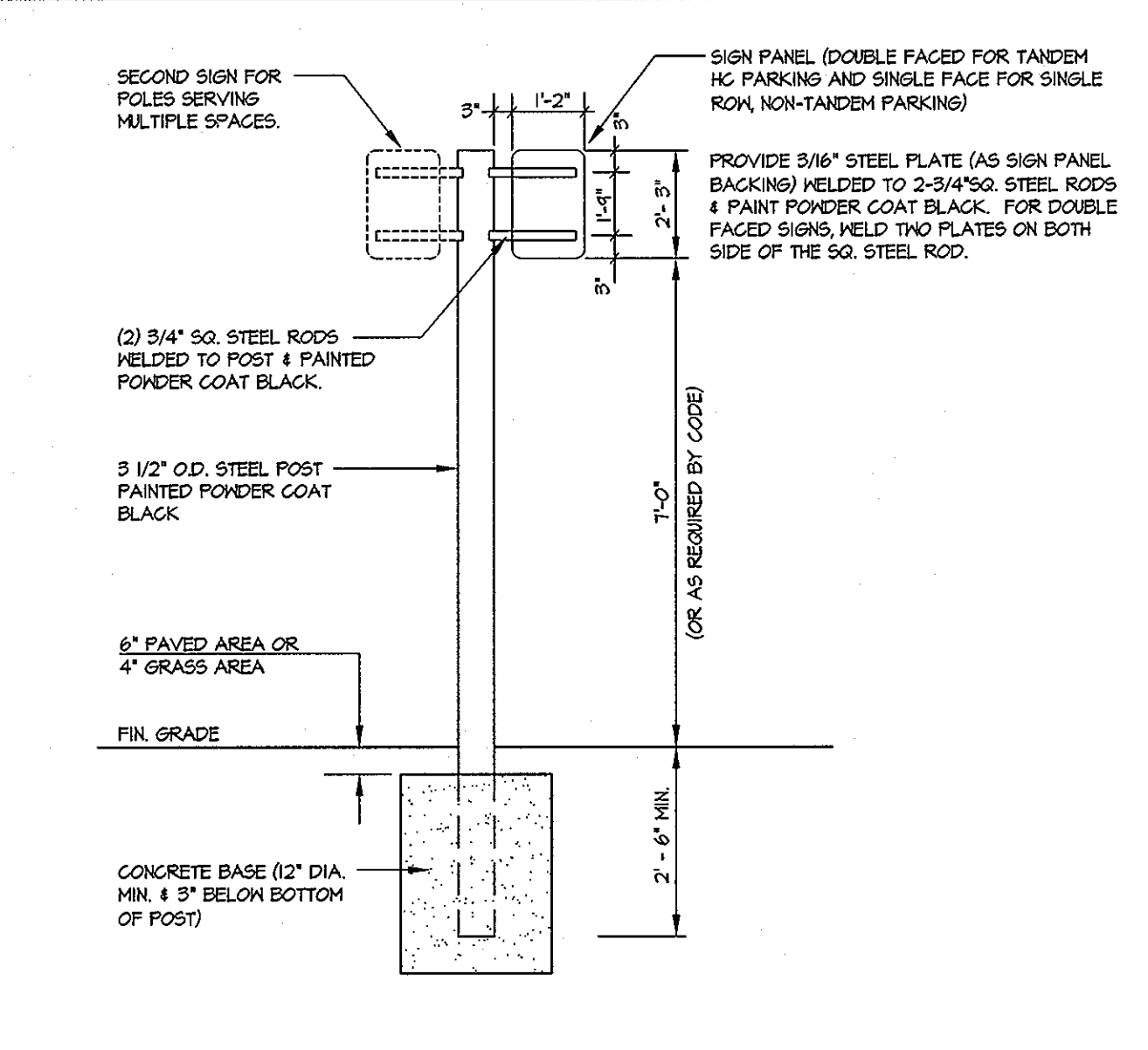
1 HANDICAP PARKING SIGNS DETAIL NO SCALE



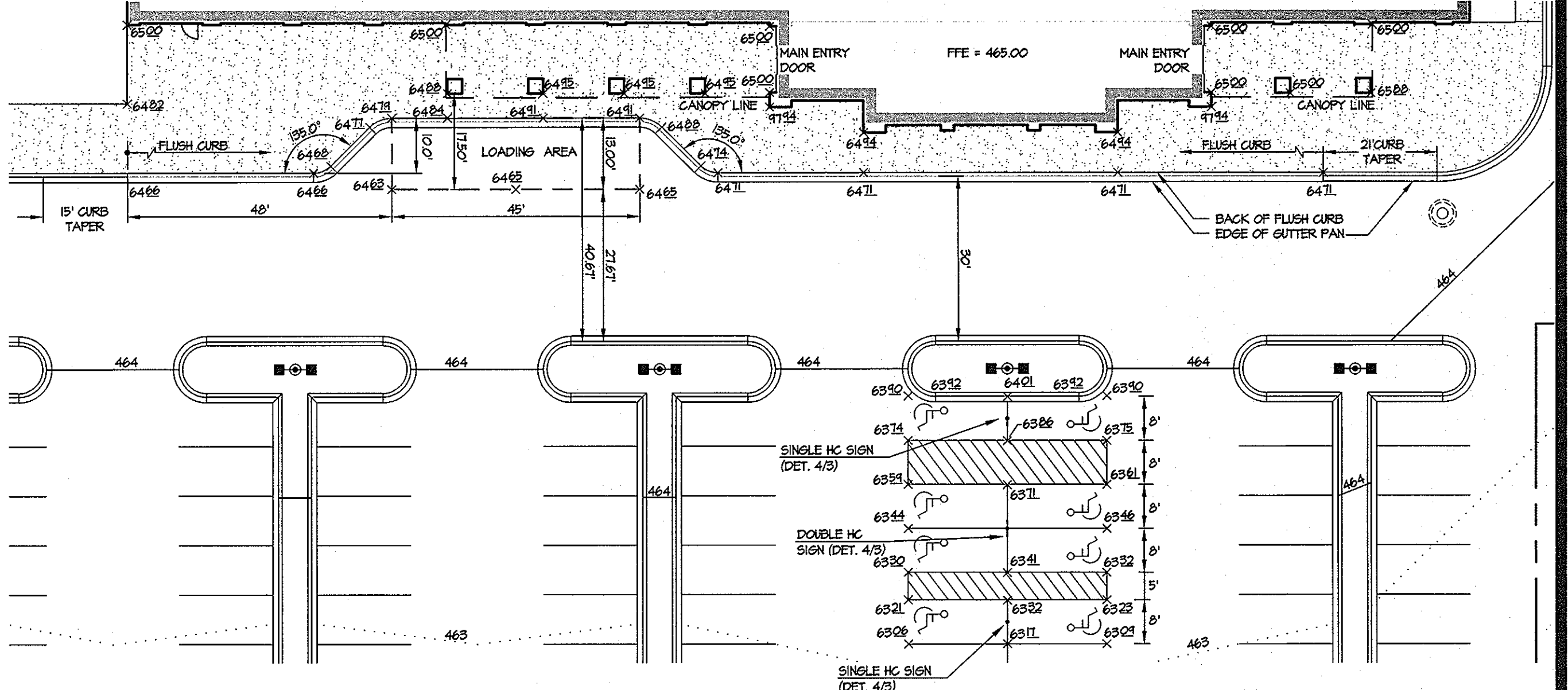
2 PARKING SPACE LAYOUT NO SCALE



3 HANDICAP SPACE STENCIL LAYOUT NO SCALE



4 POST & SIGN DETAIL FOR PARKING RESTRICTION SIGN NO SCALE



5 HANDICAP PARKING & LOADING AREA SCALE: 1" = 20'

Approved: For Public Water & Sewerage System
Howard County Health Department

Brian for Peter Brilenson 5/23/2008
County Health Officer 50 *adw* *rgre*

APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE MARCH 13, 2008

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
David A. Wight 5/24/08
Director Date
Andy Hauer 5/22/08
Chief, Division of Land Development Date
William J. ... 5/16/08
Chief, Development Engineering Division Date

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

PREPARED FOR:
MAPLE LAWN HI, LLC (Owner)
SUITE 300 WOODHURST CENTER
1829 RESTERTOWN RD
BALTIMORE, MD 21208
ATtn: CHARLIE O'DONOVAN
410-484-8400

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS
WERE PREPARED OR APPROVED BY
ME, AND THAT I AM A DULY LICENSED
PROFESSIONAL ENGINEER UNDER THE
LAWS OF THE STATE OF MARYLAND,
LICENSE NO. 19275.
EXPIRATION DATE: MAY 26, 2008



SITE DEVELOPMENT PLAN

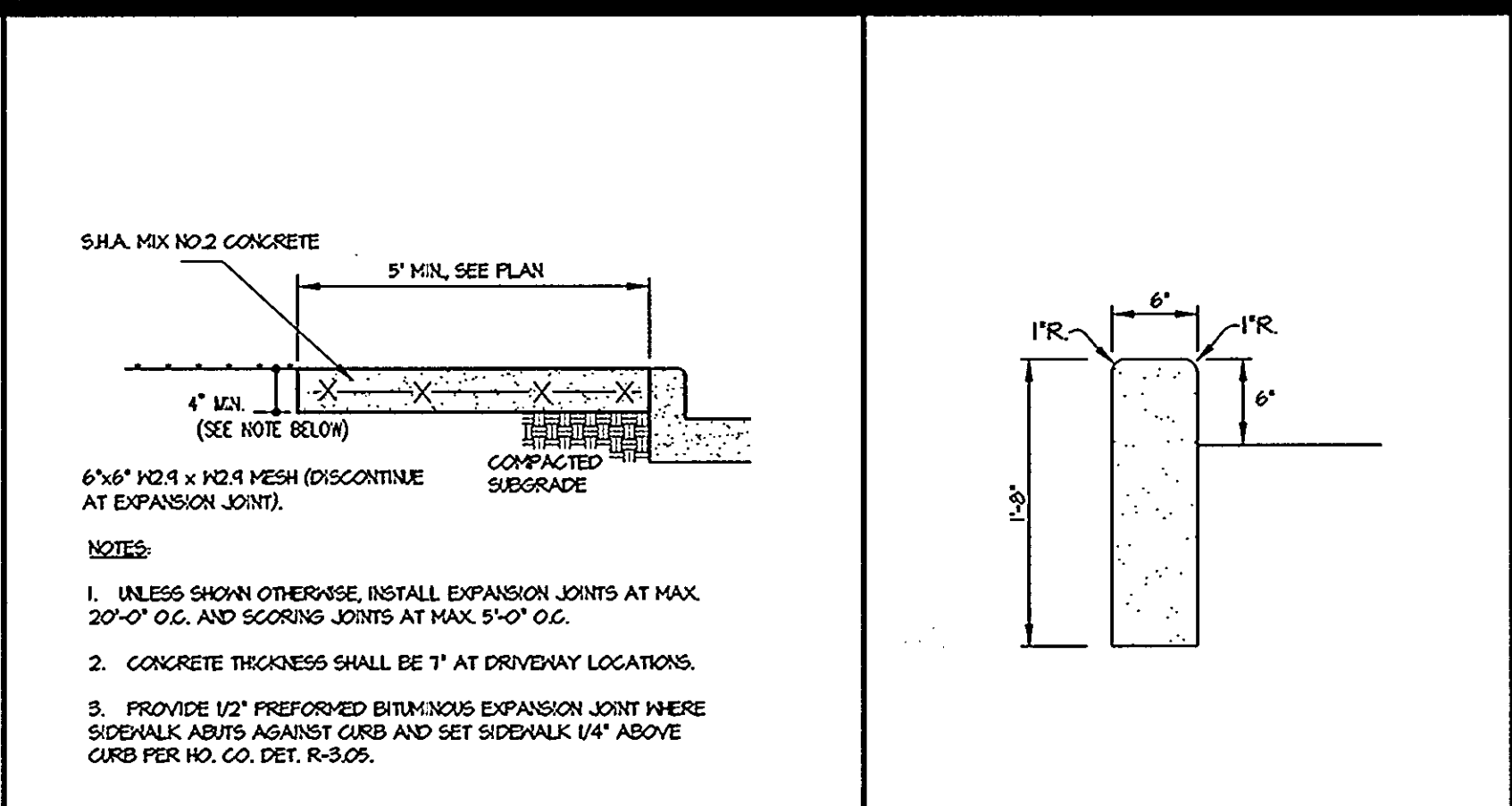
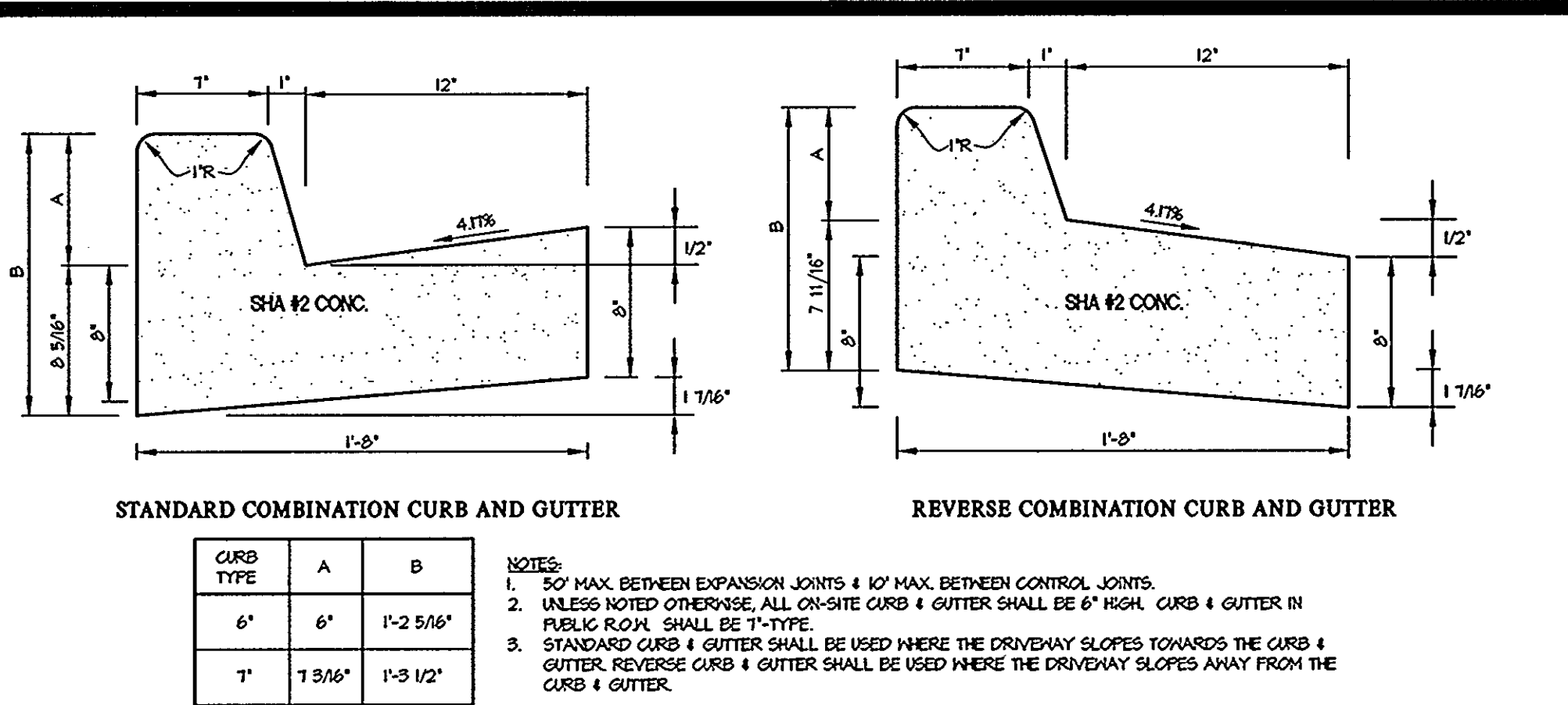
MAPLE LAWN FARMS
WESTSIDE DISTRICT - AREA 1
Parcel B-6 (Harris Teeter Store No. 323)
PLAT No. 0222222222 TAX MAP PARCEL No. 116

SCALE 1" = 30'	ZONING MXD-3	G. L. W. FILE No. 07064
DATE April/2008	TAX MAP - GRID 41-21&22 46-3	SHEET 3 OF 11

DATE	REVISION	BY	APPR.

ELECTION DISTRICT No. 5

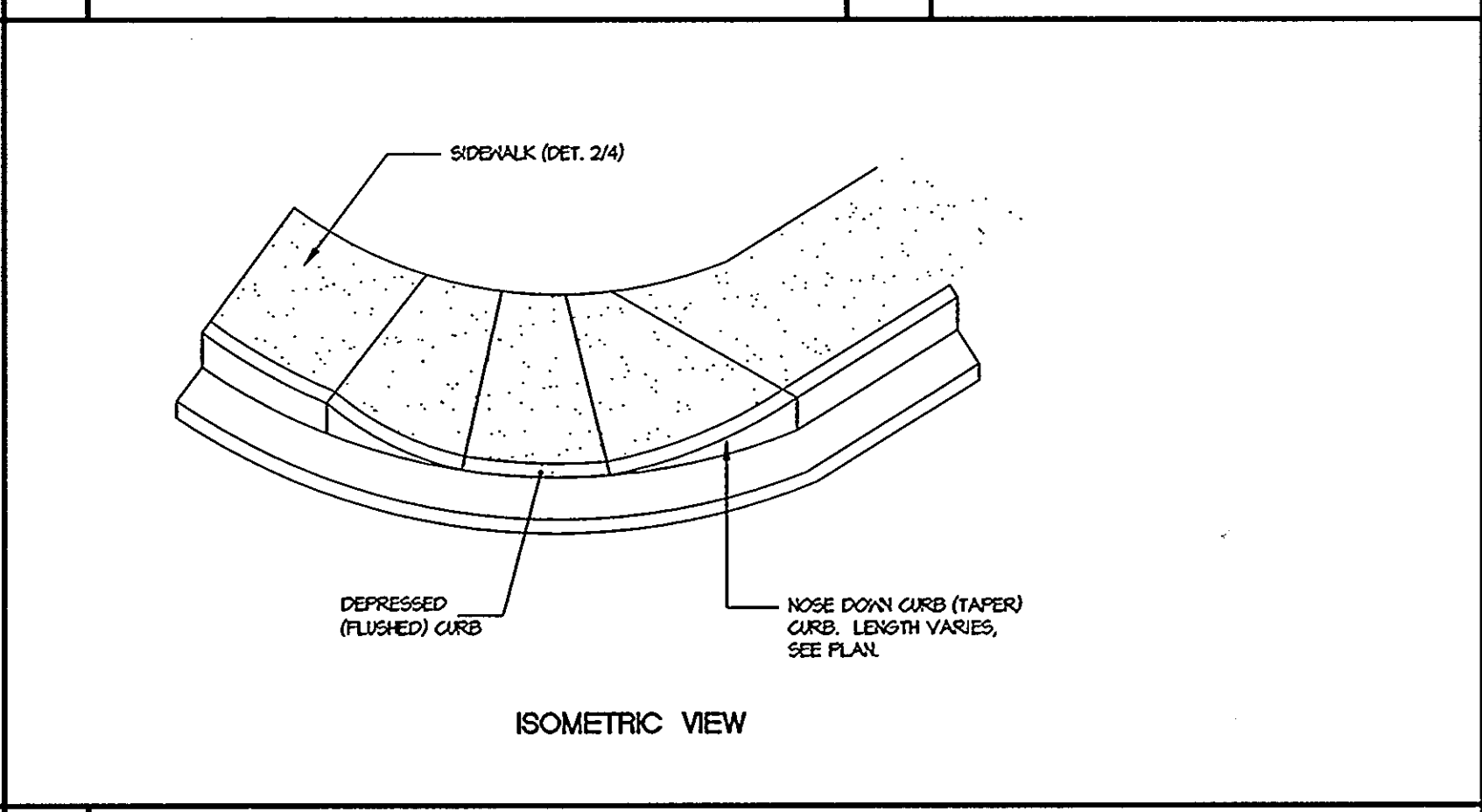
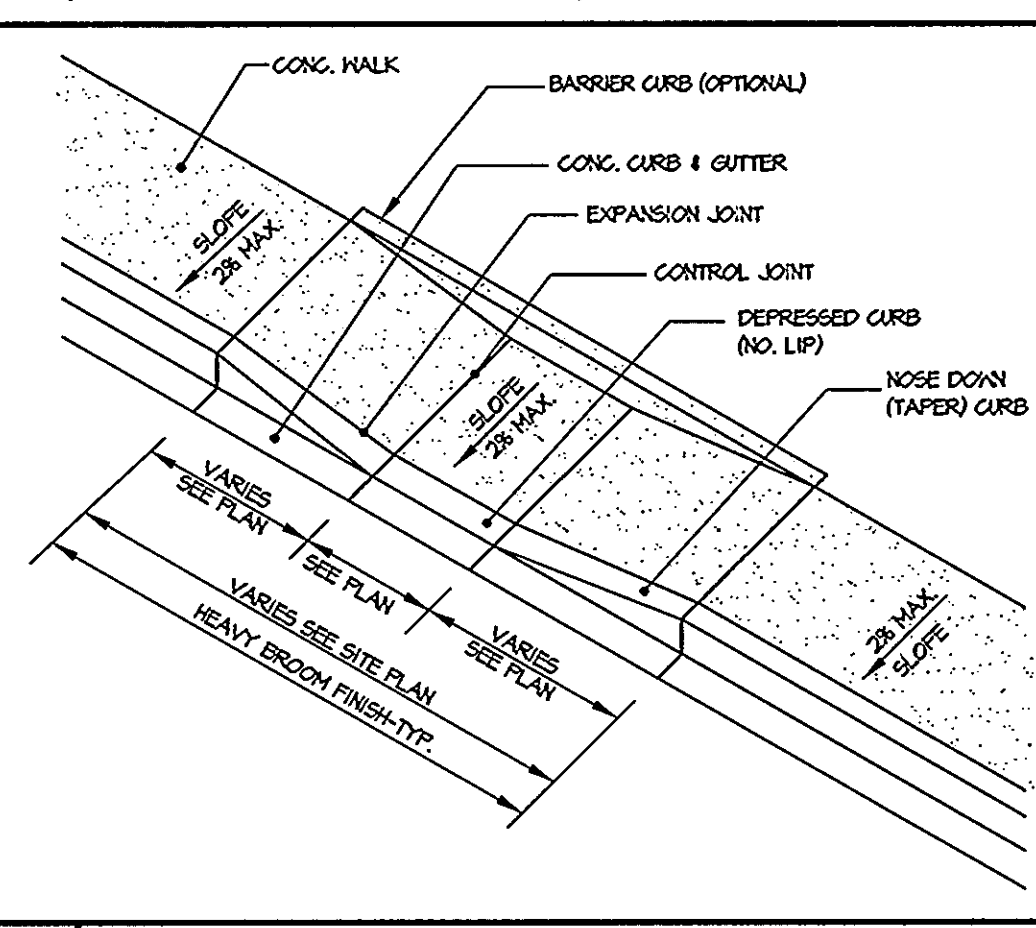
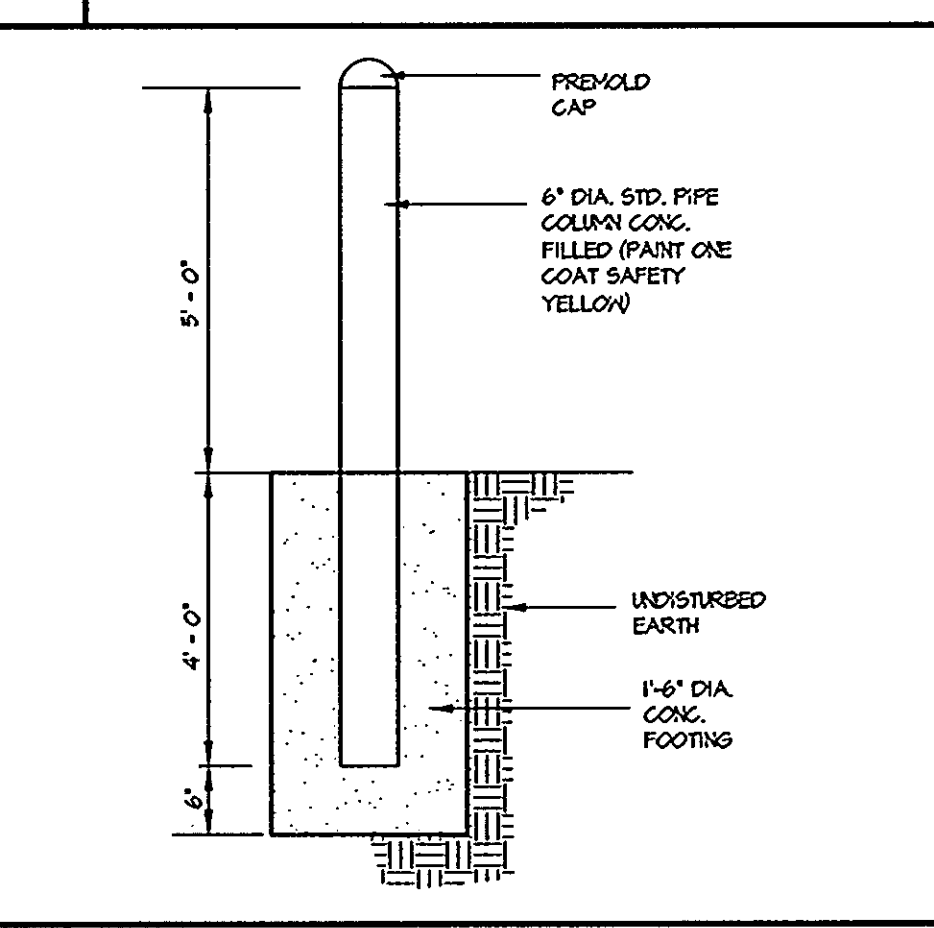
HOWARD COUNTY, MARYLAND



1 TYPE-A CONCRETE CURB AND GUTTER (STANDARD AND REVERSE) NO SCALE

2 TYPICAL SIDEWALK SECTION NO SCALE

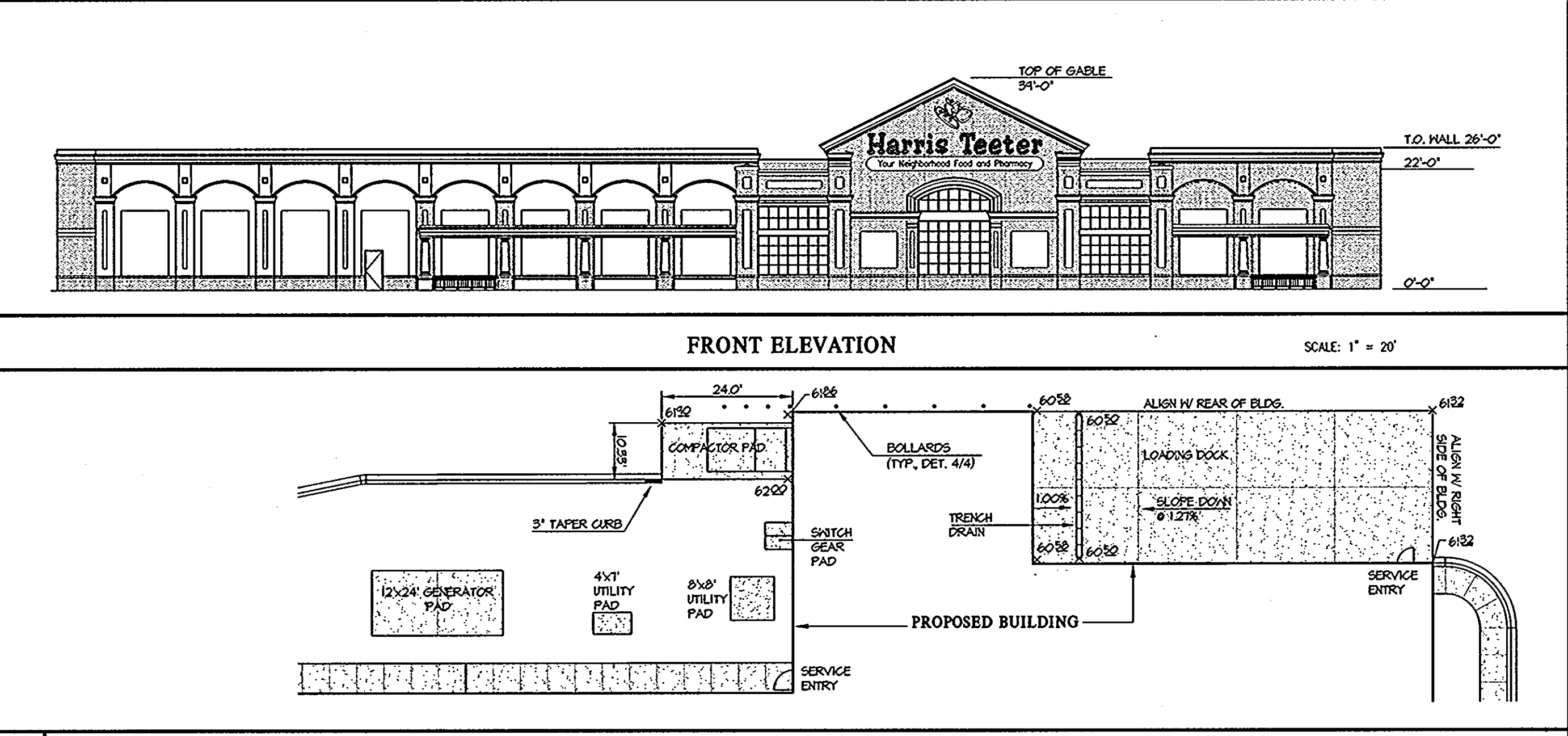
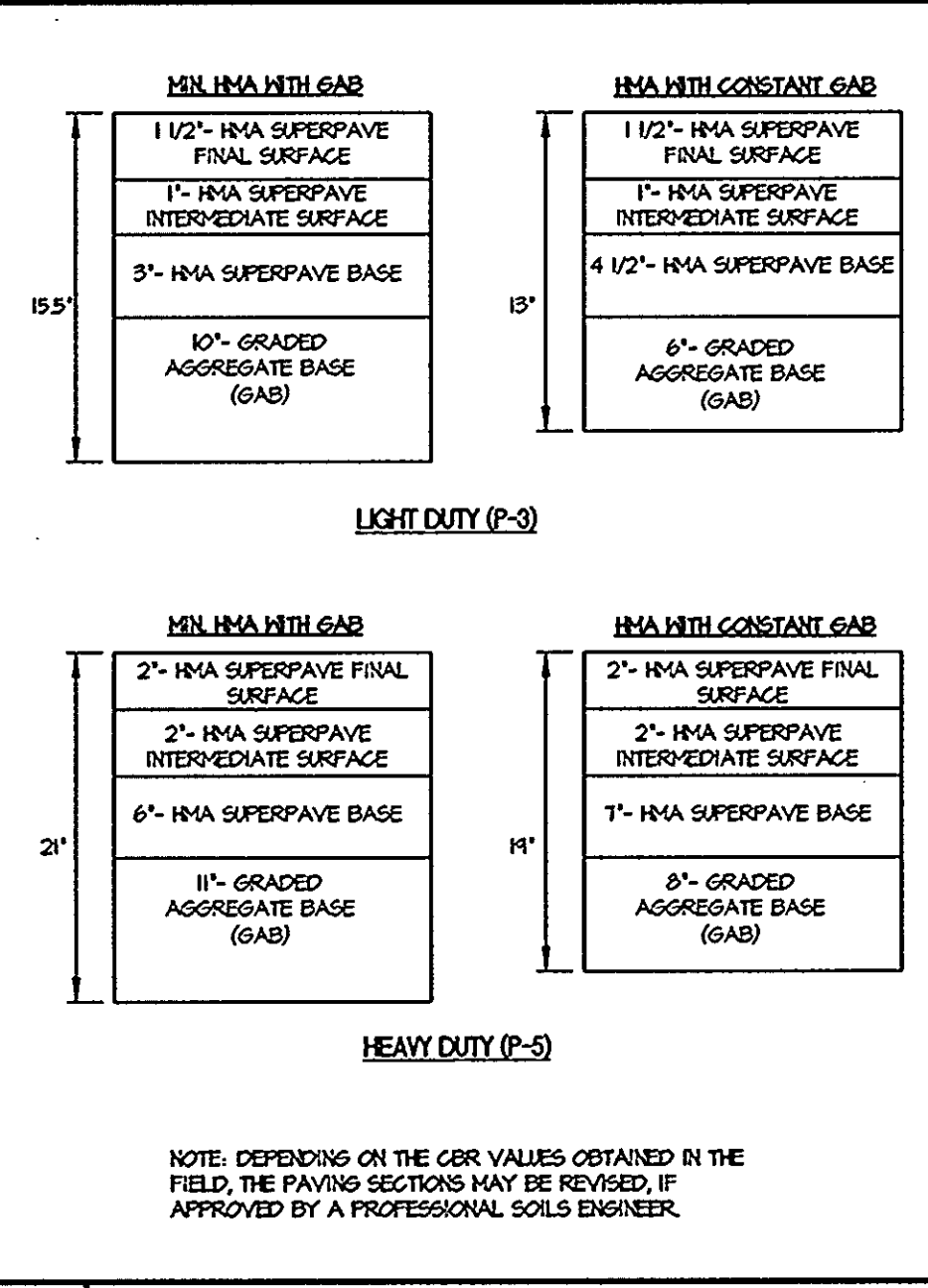
3 ASPHALT CURB NO SCALE



4 BOLLARD DETAIL NO SCALE

5 TYPE-A HANDICAP RAMP DETAIL NO SCALE

6 TYPICAL CURB/NOSE DOWN TAPER AT INTERSECTION NO SCALE



7 BITUMINOUS PAVING SECTIONS NO SCALE

8 DETAIL OF LOADING & SERVICE AREA SCALE: 1" = 20'

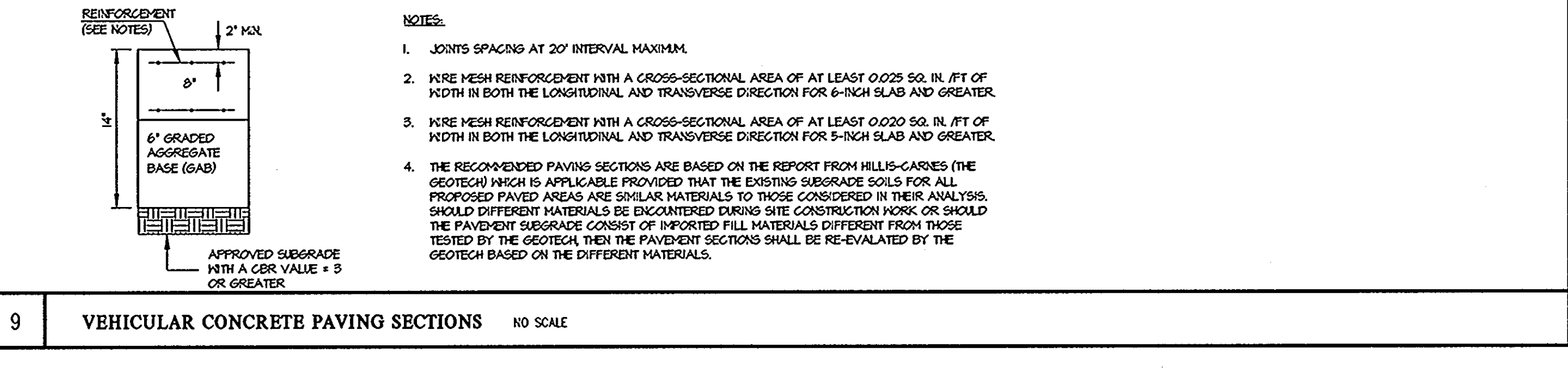
APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE MARCH 13, 2008

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

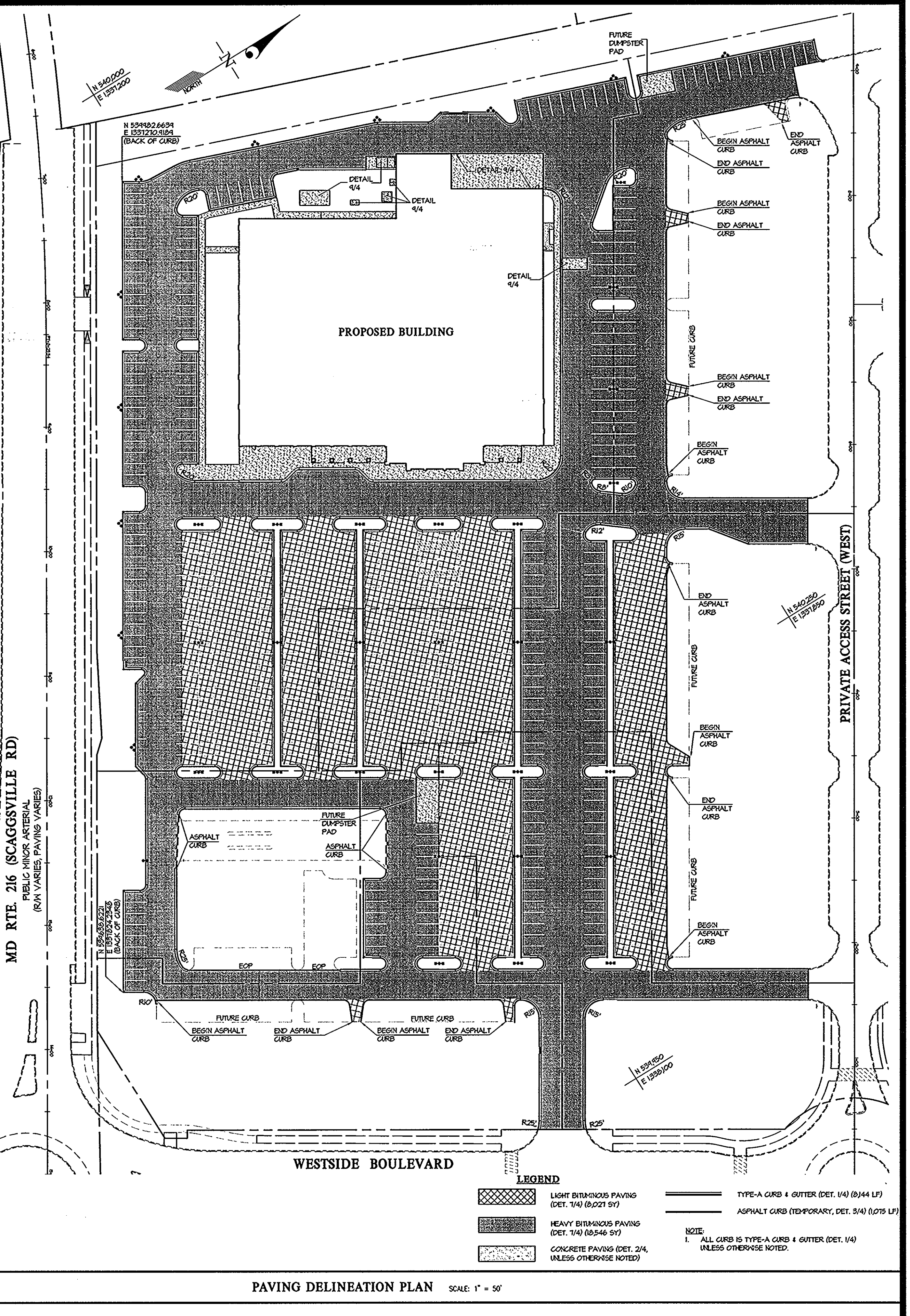
Director: *[Signature]* Date: *[Date]*

Chief, Division of Land Development: *[Signature]* Date: *[Date]*

Chief, Development Engineering Division: *[Signature]* Date: *[Date]*



9 VEHICULAR CONCRETE PAVING SECTIONS NO SCALE



PAVING DELINEATION PLAN and SITE DETAILS SCALE: 1" = 50'

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3509 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4924 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.

PREPARED FOR:
MAPLE LAWN HT, LLC. (Owner)
SITE: 300 WOODBINE CENTER
1825 RESTERSTOWN RD
BALTIMORE, MD 21208
ATTN: CHARLIE O'DONOVAN
410-484-8400

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS
WERE PREPARED OR APPROVED BY
ME, AND THAT I AM A DULY LICENSED
PROFESSIONAL ENGINEER UNDER THE
LAWS OF THE STATE OF MARYLAND,
LICENSE NO. 12275
EXPIRATION DATE: MAY 28, 2008

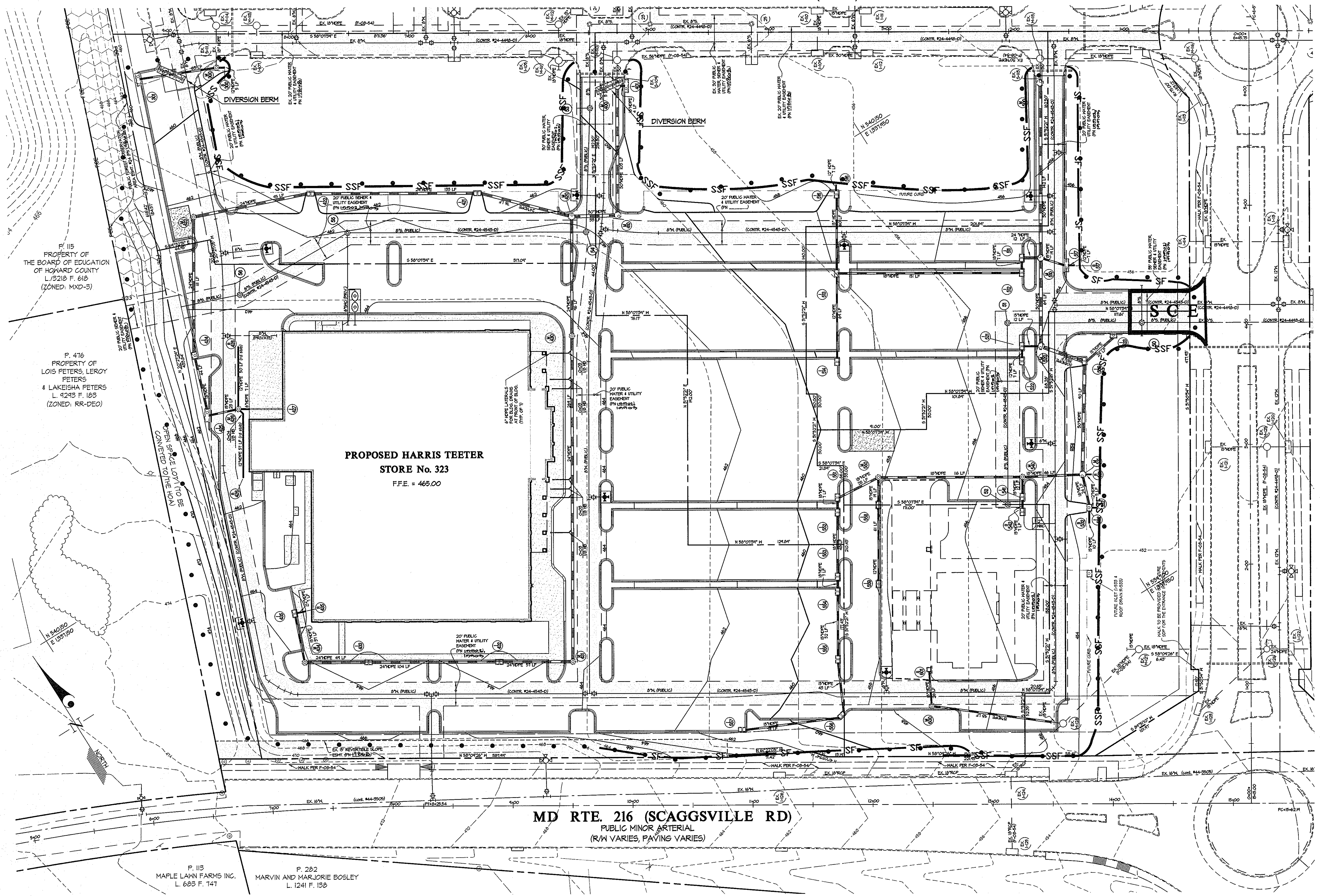


PAVING DELINEATION PLAN and SITE DETAILS

MAPLE LAWN FARMS
WESTSIDE DISTRICT - AREA 1
Parcel B-6 (Harris Teeter Store No. 323)
PLAT No. 122252, 122253, TAX MAP PARCEL No. 116
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	MXD-3	07064
DATE	TAX MAP - GRID	SHEET
April/2008	41-21&22 46-3	4 OF 11

PRIVATE ACCESS ROAD (WEST)



WESTSIDE BOULEVARD

MD RTE. 216 (SCAGGSVILLE RD)
PUBLIC MINOR ARTERIAL
(R/W VARIES, PAVING VARIES)

LEGEND

+	PROPOSED SPOT ELEVATION
---	EXISTING CONTOUR
- - -	PROPOSED CONTOUR THIS PHASE
— SF —	PROPOSED SILT FENCE
— SSF —	PROPOSED SUPER SILT FENCE
• LOD •	LIMIT OF DISTURBANCE
[SCE]	STABILIZED CONSTRUCTION ENTRANCE
[Hatched Box]	DIVERSION BERM

ENGINEER'S CERTIFICATE
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
[Signature] 4-21-08
DATE

DEVELOPER'S/BUILDER'S CERTIFICATE
"I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD."
[Signature] 4-17-08
SIGNATURE OF DEVELOPER/BUILDER DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
[Signature] 4-24-08
HOWARD S.C.D. DATE

APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE MARCH 13, 2008
KS

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
[Signature] 5/24/08
Director Date
[Signature] 5/27/08
Chief, Division of Land Development Date
[Signature] 5/8/08
Chief, Development Engineering Division Date

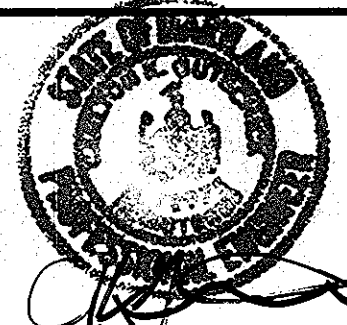
- NOTES:**
- TEMPORARY SWM IS PROVIDED BY THE EXISTING BASINSSWM FACILITY CONSTRUCTED UNDER F-03-54 & 55.
 - COORDINATE THE CONSTRUCTION WORK ON THIS PLAN SET WITH F-03-54 & 55.
 - SOIL STOCKPILING WITHIN THE L.O.D. FOR THIS SOP IS NOT PERMITTED.

THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

PREPARED FOR:
MAPLE LAWN HT, LLC (Owner)
SUITE 300 WOODHOLME CENTER
1829 REISTERSTOWN RD
BALTIMORE, MD 21208
ATTN: CHARLIE O'DONOVAN
410-484-8400

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
EXPIRATION DATE: MAY 26, 2008



SEDIMENT CONTROL PLAN

MAPLE LAWN FARMS
WESTSIDE DISTRICT - AREA 1
Parcel B-6 (Harris Teeter Store No. 323)
PLAT No. 07064, TAX MAP PARCEL No. 116

SCALE	ZONING	G. L. W. FILE No.
1"=40'	MXD-3	07064
DATE	TAX MAP - GRID	SHEET
April/2008	41-21&22 46-3	5 OF 11

DATE	REVISION	BY	APPR.

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREA NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING (UNLESS PREVIOUSLY LOOSENED).

SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:

1. PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (42 LBS/1000 SQUARE FEET) AND 600 LBS PER ACRE 10-10-10 FERTILIZER (4 LBS/1000 SQ FT) BEFORE SEEDING. HARRON OR DISC INTO UPPER THREE INCHES OF SOIL. AT TIME OF SEEDING, APPLY 400 LBS PER ACRE 30-0-0 UREA-FORM FERTILIZER (4 LBS/1000 SQ FT).
2. ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (42 LBS/1000 SQ FT) AND 1000 LBS PER ACRE OF 10-10-10 FERTILIZER (2 LBS/1000 SQ FT) BEFORE SEEDING. HARRON OR DISC INTO UPPER THREE INCHES OF SOIL.

SEEDING: FOR THE PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU OCTOBER 15, SEED WITH 60 LBS PER ACRE (14 LBS/1000 SQ FT) OF KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS PER ACRE (0.5 LBS/1000 SQ FT) OF KEEPINGS LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY: OPTION (1) 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) USE SOD. OPTION (3) SEED WITH 60 LBS/ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELL ANCHORED STRAW.

MULCHING: APPLY 1/2 TO 2 TONS PER ACRE (10 TO 40 LBS/1000 SQ FT) OF UNKNOTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 20 GALLONS PER ACRE (5 GAL/1000 SQ FT) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 3 FEET OR HIGHER, USE 340 GALLONS PER ACRE (5 GAL/1000 SQ FT) FOR ANCHORING.

MAINTENANCE: INSPECT ALL SEEDING AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

TEMPORARY SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING (UNLESS PREVIOUSLY LOOSENED).

SOIL AMENDMENTS: APPLY 600 LBS PER ACRE 10-10-10 FERTILIZER (4 LBS/1000 SQ FT).

SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30 AND FROM AUGUST 15 THRU OCTOBER 15, SEED WITH 2 1/2 BUSHEL PER ACRE OF ANNUAL RYE (3.2 LBS/1000 SQ FT). FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS PER ACRE OF KEEPINGS LOVEGRASS (1 LBS/1000 SQ FT). FOR THE PERIOD NOVEMBER 16 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOD.

MULCHING: APPLY 1/2 TO 2 TONS PER ACRE (10 TO 40 LBS/1000 SQ FT) OF UNKNOTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 20 GAL PER ACRE (5 GAL/1000 SQ FT) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 3 FT OR HIGHER, USE 340 GAL PER ACRE (5 GAL/1000 SQ FT) FOR ANCHORING.

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT.

John R. Robertson 4-24-08
HOWARD S.C.D. DATE

APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE MARCH 13, 2008
✓

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Meredith M. Layton 5/24/08
Director Date
Cindy Hahn 5/27/08
Chief, Division of Land Development Date
Chris Manning 5/16/08
Chief, Development Engineering Division Date

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONVILLE OFFICE PARK
BURTONVILLE, MARYLAND 20866
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

STANDARD AND SPECIFICATIONS FOR TOPSOIL

DEFINITION
PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

PURPOSE
TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

CONDITIONS WHERE PRACTICE APPLIES

1. THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPE WHERE:
 - A. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.
 - B. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND NUTRIENTS.
 - C. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
 - D. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.
2. FOR THE PURPOSE OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION. AREAS HAVING SLOPES STEEPER THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE PLANS.

CONSTRUCTION AND MATERIAL SPECIFICATIONS

1. TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE RESPECTIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SSS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.
2. TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:
 - A. TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY A AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF GROUND, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1/2" IN DIAMETER.
 - B. TOPSOIL MUST BE FREE OF PLANT PARTS SUCH AS BERBERIS GRASS, QUACKGRASS, JOHNSONGRASS, NUTCRACKER, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.
 - C. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GRAND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.
3. TOPSOIL MUST BE FREE OF PLANT PARTS SUCH AS BERBERIS GRASS, QUACKGRASS, JOHNSONGRASS, NUTCRACKER, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.
4. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GRAND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.

III. FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES:

- A. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 2.0 VEGETATIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS (OR SEE SEEDING NOTES).

IV. FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES:

- A. ON SOIL MEETINGS TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS DICTATING FERTILIZER 4 LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING:
 1. PH FOR TOPSOIL SHALL BE BETWEEN 6.0 AND 7.5. IF THE TESTED SOIL DEMONSTRATES A PH OF LESS THAN 6.0, SUFFICIENT LIME SHALL BE PRESCRIBED TO RAISE THE PH TO 6.5 OR HIGHER.
 2. ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 15 PERCENT BY WEIGHT.
 3. TOPSOIL HAVING SOLUBLE SALT GREATER THAN 500 PARTS PER MILL SHALL NOT BE USED.
 4. NO SOD OR SEED SHALL BE PLACED ON SOIL WHICH HAS BEEN WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN) TO PERMIT DISSIPATION OF PHOTO-TOXIC MATERIALS.
- B. TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF TOPSOIL.
- C. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 2.0 VEGETATIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS (OR SEE SEEDING NOTES).

V. TOPSOIL APPLICATION

- A. WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSION, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS.
- B. GRADES ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE MAINTAINED, ALBERT 4"-8" HIGHER IN ELEVATION.
- C. TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4" - 8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SEEDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER.
- D. TOPSOIL SHALL NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS FROZEN OR MUDDY CONDITION WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.

VI. ALTERNATIVE FOR PERMANENT SEEDING - INSTEAD OF APPLYING THE FULL AMOUNTS OF LIME AND COMMERCIAL FERTILIZER, COMPOSTED SLUDGE AND AMENDMENTS MAY BE APPLIED AS SPECIFIED BELOW:

- A. COMPOSTED SLUDGE MATERIAL FOR USE AS A SOIL CONDITIONER FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES SHALL BE TESTED TO PRESCRIBE AMENDMENTS AND FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:
 1. COMPOSTED SLUDGE SHALL BE SUPPLIED BY, OR ORIGINATE FROM, A PERSON OR PERSONS THAT ARE PERMITTED AT THE TIME OF ACQUISITION OF THE COMPOST BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT UNDER COMAR 26.04.06.
 2. COMPOSTED SLUDGE SHALL CONTAIN AT LEAST 1 PERCENT NITROGEN, 15 PERCENT PHOSPHORUS, AND 0.2 PERCENT POTASSIUM AND HAVE A PH OF 1.0 TO 8.0. IF COMPOST DOES NOT MEET THESE REQUIREMENTS, THE APPROPRIATE CONSTITUENTS MUST BE ADDED TO MEET THE REQUIREMENTS PRIOR TO USE.
 3. COMPOSTED SLUDGE SHALL BE APPLIED AT A RATE OF 1 TON/1000 SQUARE FEET.
 - B. COMPOSTED SLUDGE SHALL BE AMENDED WITH A POTASSIUM FERTILIZER APPLIED AT A RATE OF 4LB/1000 SQUARE FEET, AND 1/3 THE NORMAL LIME APPLICATION RATE.

REFERENCES: GUIDELINE SPECIFICATIONS, SOIL PREPARATION AND SEEDING, MD-VA FIB. #1, COOPERATIVE EXTENSION SERVICE, UNIVERSITY OF MARYLAND AND VIRGINIA POLYTECHNIC INSTITUTES, REVISED 1978.

DEFINITION
Dust Control.
Definition: Controlling dust blowing and movement on construction sites and roads.
Purpose: To prevent blowing and movement of dust from exposed soil surfaces, reduce on and off-site damage, health hazards, and improve traffic safety.
Conditions Where Practice Applies: This practice is applicable to areas subject to dust blowing and movement where on and off-site damage is likely without treatment.
Specifications:
Temporary Methods:
1. Mulches - See standards for vegetative stabilization with mulches only; mulch should be compacted or locked to prevent blowing.
2. Vegetative Cover - See standards for temporary vegetative cover.
3. Tillage - To roughen surface and bring clods to the surface. This is an emergency measure which should be used before soil blowing starts. Begin plowing on windward side of site. Chisel-type plows spaced about 12' apart, spring-toothed harrows, and similar plows are examples of equipment which may produce the desired effect.
4. Irrigation - This is generally done as an emergency treatment. Site is sprinkled with water until the surface is moist. Repeat as needed. At no time should the site be irrigated to the point that runoff begins to flow.
Permanent Methods:
1. Permanent Vegetation - See standards for permanent vegetative cover, and permanent stabilization with sod. Existing trees or large shrubs may afford valuable protection if left in place.
2. Topsoiling - Covering with less erosive soil material. See standards for top soil.
3. Stone - Cover surface with crushed stone or gravel.
References:
1. Agriculture Handbook 346. Wind Erosion Forces in the United States and Their Use in Predicting Soil Loss.
2. Agriculture Information Bulletin 354. How to Control Wind Erosion, USDA-ARS.

SEDIMENT CONTROL NOTES

1. A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY OFFICE OF INSPECTION AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION. (410) 313-1855
2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1984 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND REVISIONS THERETO.
3. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES AND PERIMETER SLOPES AND ALL SLOPES GREATER THAN 5:1. B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
4. ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND MARKING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1984 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDINGS, SOD, TEMPORARY SEEDINGS AND MULCHING (SEC. 6). TEMPORARY STABILIZATION WITH MULCH ALONE, CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
6. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

TOTAL AREA OF SITE : 4.918± ACRES (PARCEL B-6)
AREA DISTURBED : 0.91± ACRES
AREA TO BE ROOFED OR PAVED : 1.6± ACRES
AREA TO BE VEGETATIVELY STABILIZED : 1.3± ACRES
TOTAL CUT : 7,000± CU. YDS.
TOTAL FILL : 7,000± CU. YDS.
OFF-SITE WASTE/BORROW AREA LOCATION : NONE

8. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
9. ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY DPM SEDIMENT CONTROL INSPECTOR.
10. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
11. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO 3 PIPE LENGTHS OR THAT WHICH SHALL BE BACKFILLED AND STABILIZED WITHIN 1 WORKING DAY, WHICHEVER IS SHORTER.

DEVELOPER'S/BUILDER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD."

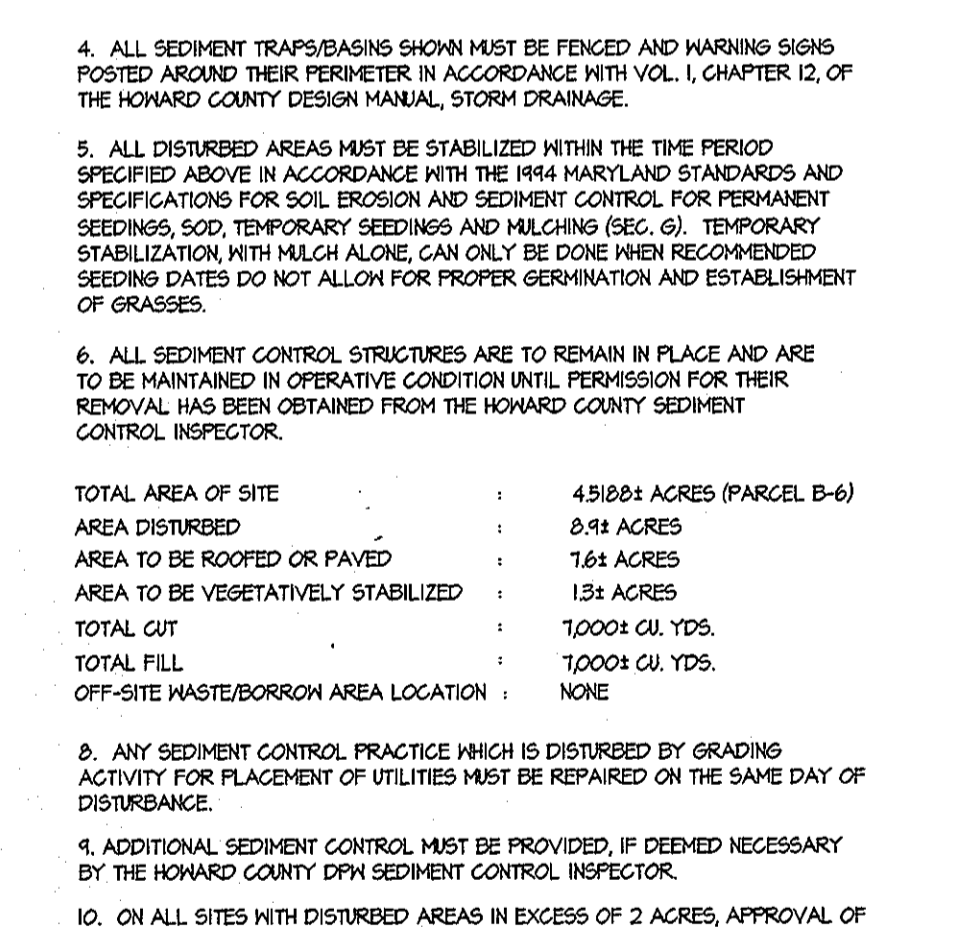
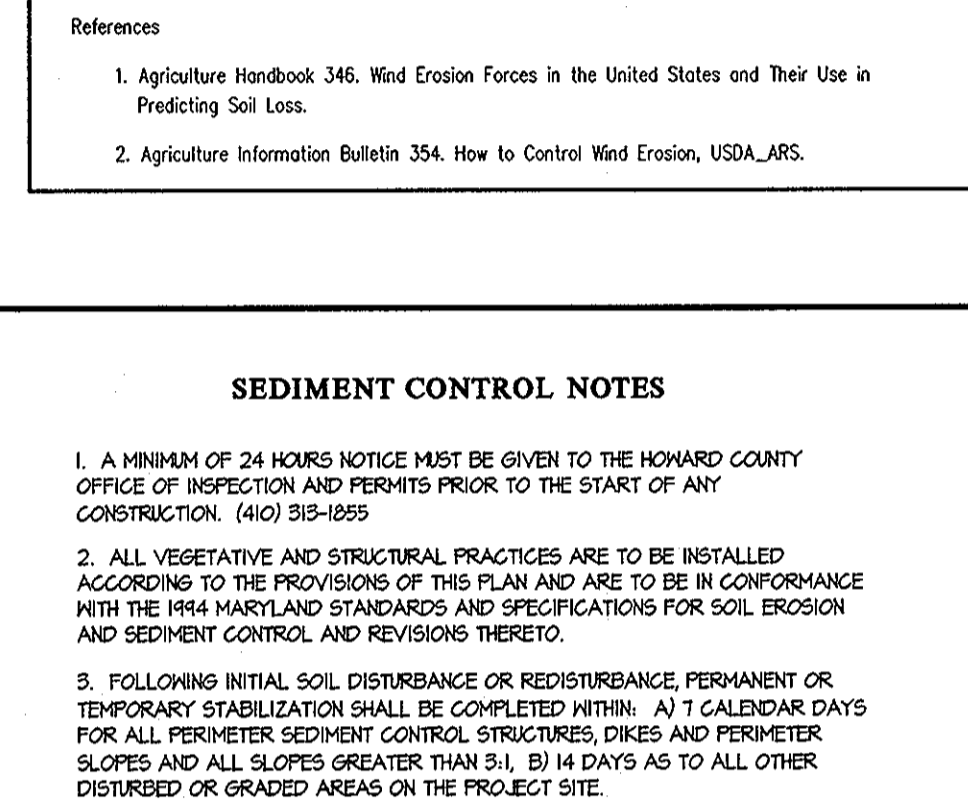
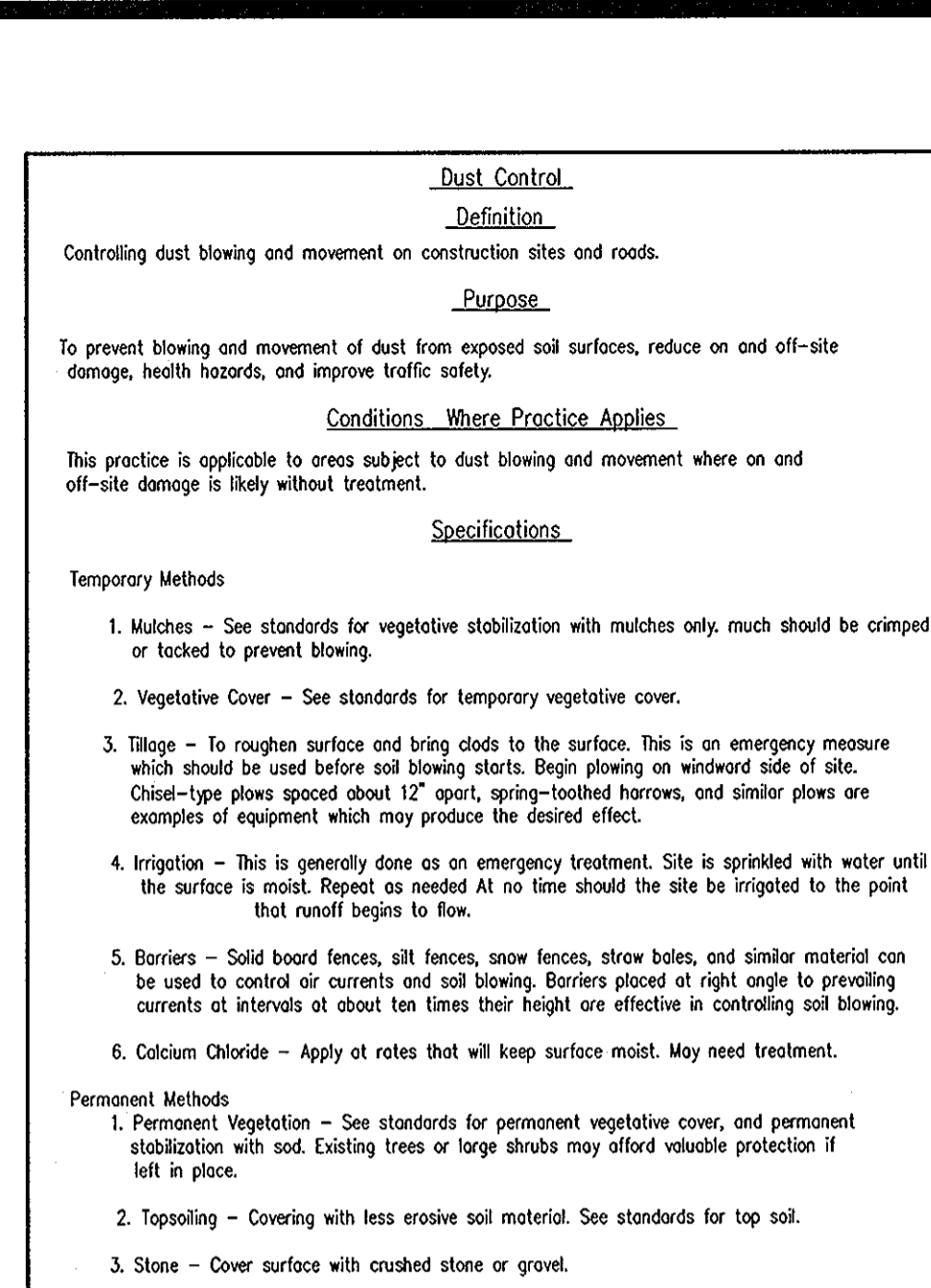
[Signature] 4-17-08
SIGNATURE OF DEVELOPER/BUILDER DATE

ENGINEER'S CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY CONSERVATION DISTRICT."

[Signature] 4-21-08
DATE

PREPARED FOR:
MAPLE LAWN HT, LLC. (Owner)
SUITE 300 HONORWINE CENTER
1823 RESTERSTOWN RD
BALTIMORE, MD 21208
ATtn: CHARLIE O'DONOVAN
410-484-8400



SEQUENCE OF CONSTRUCTION

1. APPLY FOR A GRADING PERMIT AND ARRANGE FOR THE PRE-CONSTRUCTION MEETING WITH THE SEDIMENT CONTROL INSPECTOR. OBTAIN THE GRADING PERMIT AT THE MEETING (1 DAY).
2. THE WORK ON THIS SDP SHALL BE CONCURRENT WITH THE GRADING WORK UNDER F-03-04 AND F-03-05. COORDINATE THIS SDP WORK WITH THOSE OF THE ROAD CONSTRUCTION PLANS F-03-04 & 55.
3. MAKE SURE THE SEDIMENT CONTROL BASINS PER F-03-04 & 55 AND THE STORM RUN FROM THOSE BASIN TO PARCELS B6 - B11 ARE OPERATIONAL.
4. SINCE THE GRADING WORK UNDER THIS SDP IS CONCURRENT WITH F-03-04 & 55, THE INSTALLATION OF THE PERIMETER SEDIMENT CONTROL MEASURES (SCE, SILT FENCE AND SUPER SILT FENCE) ARE AT THE DISCRETION OF THE SEDIMENT CONTROL INSPECTION OFFICER. 1 DAY IF APPLICABLE.
5. INSTALL THE 4 STORM DRAIN SYSTEMS FROM 5-III TO 1-301; FROM 5-101 TO 1-424 & 1-425; FROM 5-115 TO 1-551; 1-552 & 1-525; AND FROM EX. 1-122 TO 5-901. COORDINATE THE STORM DRAIN INSTALLATION WITH THE OTHER UTILITY INSTALLATIONS (WATER, SEWER, GAS, ELECTRIC, PHONE AND CABLE). DURATION: 1 TO 2 WEEKS.
6. OBTAIN PERMISSION FROM THE INSPECTOR TO GRADE THE SITE TO SUBGRADE AND INITIATE BUILDING CONSTRUCTION. DURATION: 1 WEEK. GRADING WORK AND 9 MONTHS BUILDING CONSTRUCTION.
7. INSTALL CURB/GUTTER AND BASE PAVING. DURATION: 3-4 DAYS.
8. INSTALL LANDSCAPING, SURFACE PAVING COURSE AND STRIPE THE PARKING SPACES. DURATION: 3-4 DAYS.
9. FLUSH AND PUMP CLEAN ALL STORM DRAIN SYSTEM ONCE THE LOD AREA FOR THIS SDP IS STABILIZED. DURATION: 1 DAY.
10. COMPLETE BUILDING INTERIOR WORK AND OBTAIN USE & OCCUPANCY PERMIT THEN HAVE A GRAND OPENING.

SEDIMENT CONTROL NOTES and DETAILS

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 28, 2008

[Signature]
ELECTION DISTRICT No. 5

SCALE: NO SCALE
ZONING: MXD-3
G. L. W. FILE NO.: 07064

DATE: April/2008
TAX MAP - GRID: 41-21&22
SHEET: 6 OF 11

APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE MARCH 13, 2008
✓

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Meredith M. Layton 5/24/08
Director Date
Cindy Hahn 5/27/08
Chief, Division of Land Development Date
Chris Manning 5/16/08
Chief, Development Engineering Division Date

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONVILLE OFFICE PARK
BURTONVILLE, MARYLAND 20866
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

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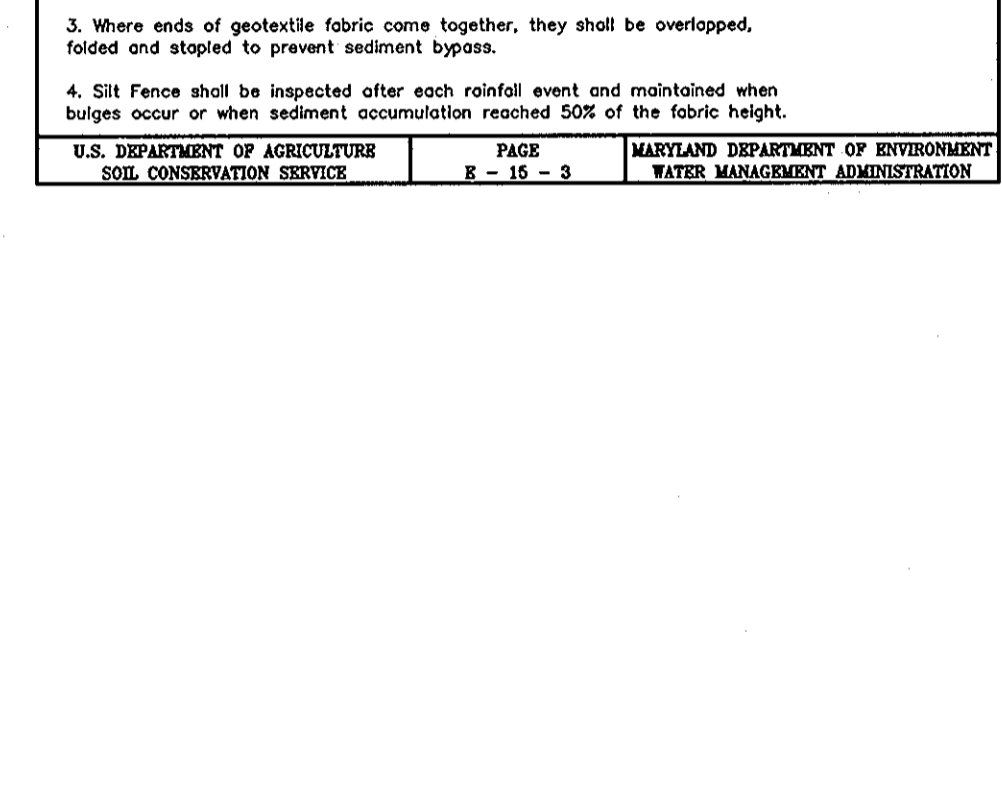
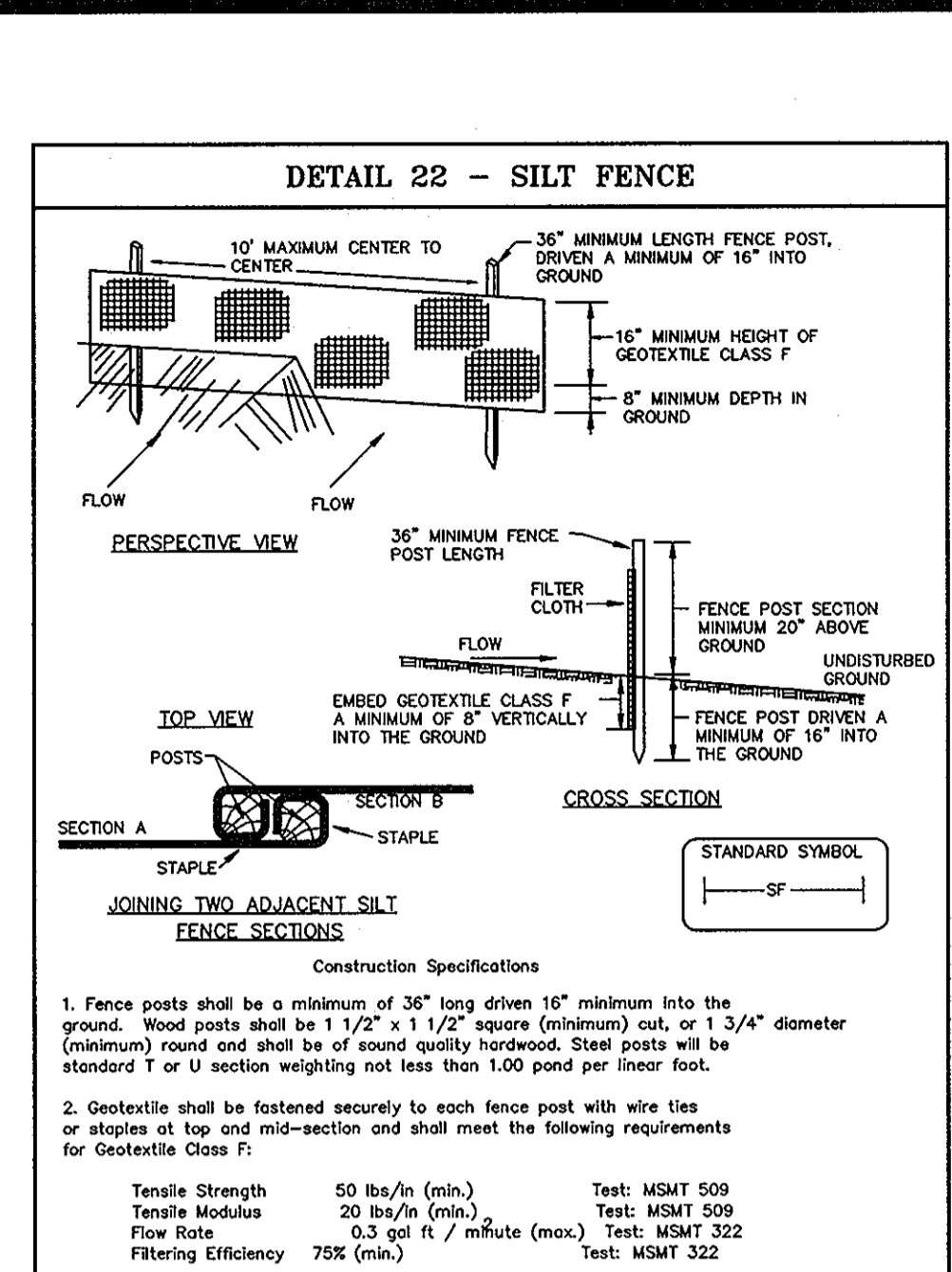
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[Signature] 4-21-08
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SUITE 300 HONORWINE CENTER
1823 RESTERSTOWN RD
BALTIMORE, MD 21208
ATtn: CHARLIE O'DONOVAN
410-484-8400



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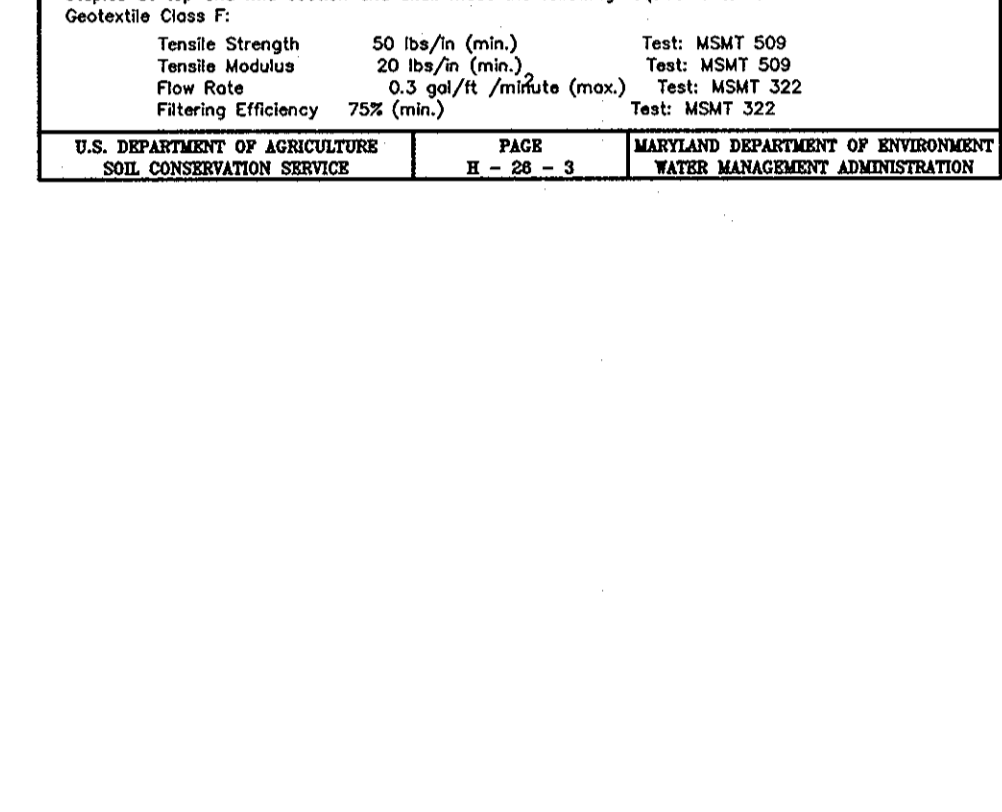
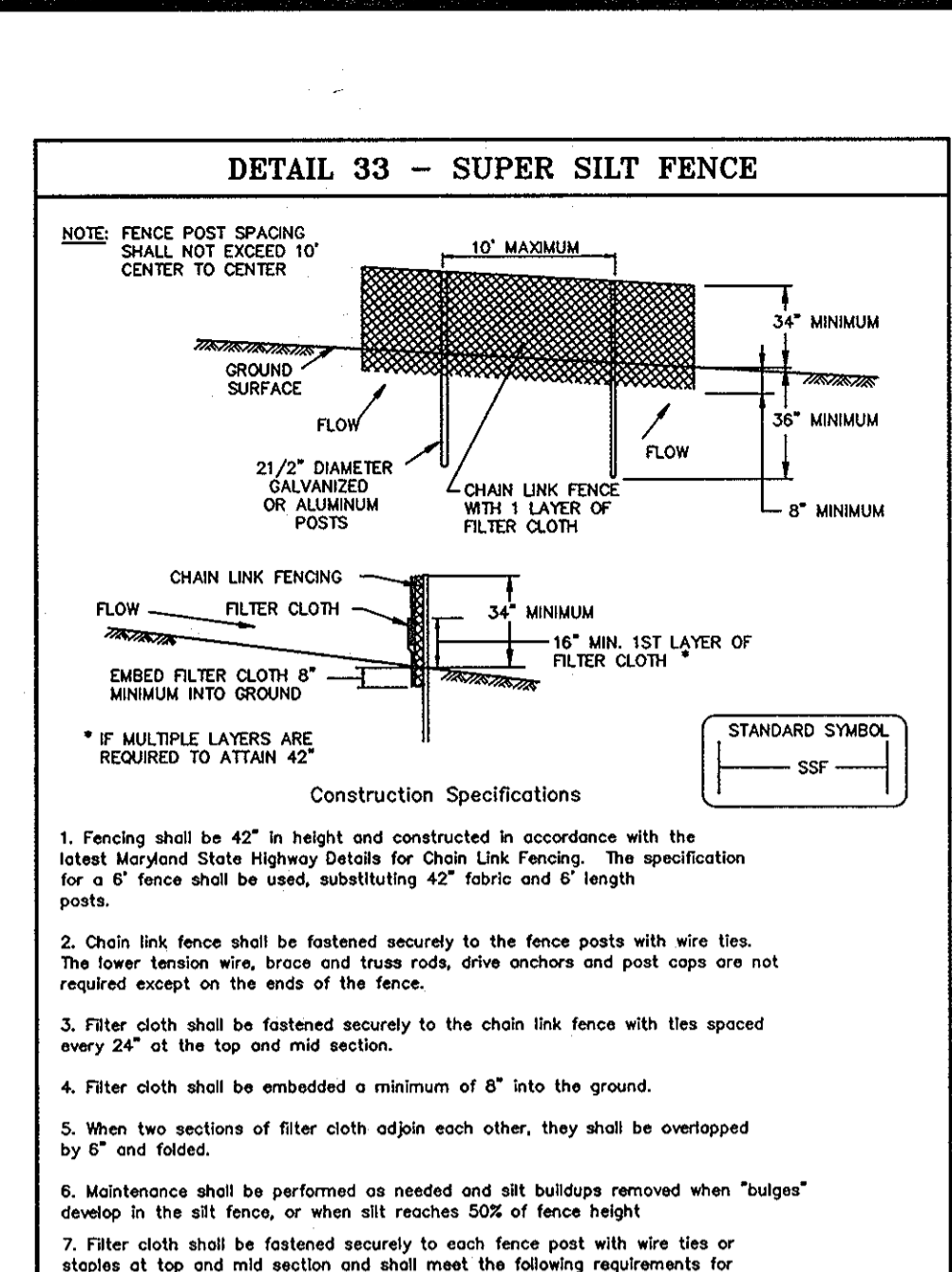
SEDIMENT CONTROL NOTES and DETAILS

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[Signature]
ELECTION DISTRICT No. 5

SCALE: NO SCALE
ZONING: MXD-3
G. L. W. FILE NO.: 07064

DATE: April/2008
TAX MAP - GRID: 41-21&22
SHEET: 6 OF 11



SEDIMENT CONTROL NOTES and DETAILS

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SEDIMENT CONTROL NOTES and DETAILS


MAPLE LAWN FARMS
WESTSIDE DISTRICT - AREA 1
Parcel B-6 (Harris Teeter Store No. 323)
PLAT No. 12-26-12-2009 TAX MAP PARCEL No. 116
HOWARD COUNTY, MARYLAND

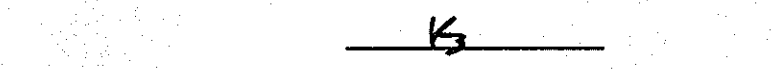
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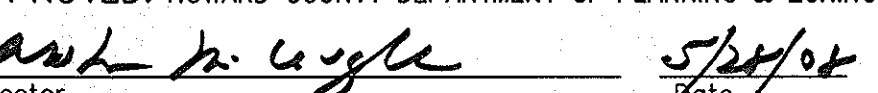


DATE: April/2008
TAX MAP - GRID: 41-21&22
SHEET: 6 OF 11

DRAINAGE AREAS			
AREA (No.)	D.A. (ACRES)	% IMP. (%)	C' (---)
I-301	0.46	85	0.78
I-401	0.17	85	0.78
I-421	0.46	85	0.78
I-422	0.33	85	0.78
I-424	0.21	85	0.78
I-425	0.26	85	0.78
I-427	0.16	85	0.78
I-432	0.26	85	0.78
I-433	0.36	85	0.78
I-435	0.30	85	0.78
I-511	0.36	85	0.78
I-512	0.14	85	0.78
I-513	0.31	85	0.78
I-514	0.22	85	0.78
I-516	0.24	85	0.78
I-521	0.18	85	0.78
I-522	0.25	85	0.78
I-523	0.22	85	0.78
I-550	0.18	85	0.78
I-552	0.31	85	0.78
I-541	0.16	85	0.78
I-551	0.28	85	0.78
I-552	0.18	85	0.78
I-553	0.14	85	0.78
I-554	0.14	85	0.78
I-555	0.20	85	0.78
I-556	0.12	85	0.78
I-557	0.30	85	0.78
I-558	0.08	85	0.78
I-554	0.07	85	0.78
R-426	0.34	100	0.87
R-431	0.51	100	0.87
R-435	0.26	100	0.87
R-532	0.25	100	0.87
S-300	0.21	100	0.87
S-421	0.22	85	0.78
S-424	0.45	85	0.78
S-436	1.10	85	0.78
S-517	0.26	100	0.87
S-516	0.34	100	0.87
S-532	0.44	85	0.78
S-601	0.04	100	0.87
I-601	0.04	85	0.78
I-517	0.23	85	0.78
I-542	0.05	85	0.78
I-543	0.12	85	0.78

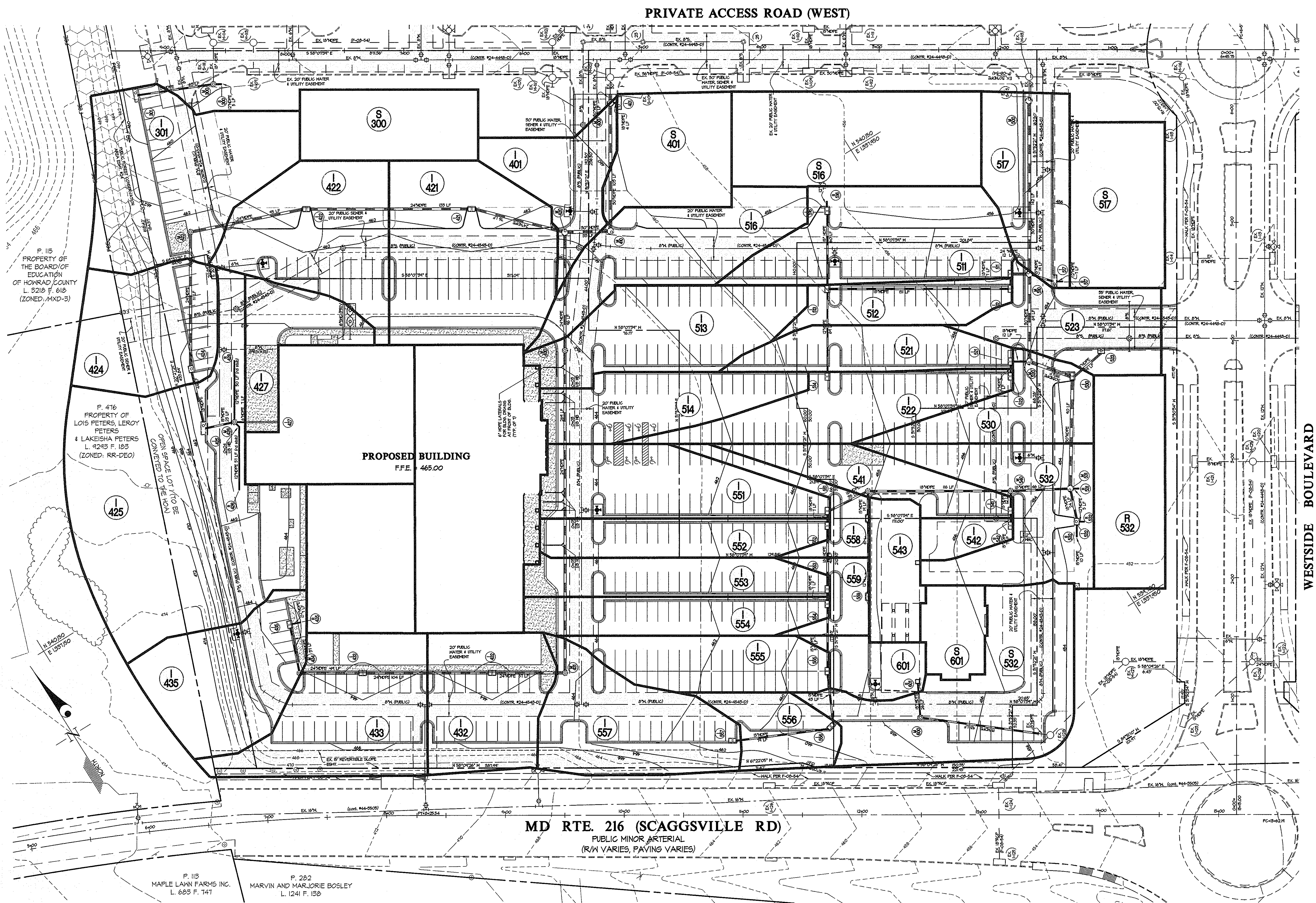
NOTE:
THIS IS A REDEVELOPMENT SITE. IT WAS PREVIOUSLY MASS GRADED UNDER F-08-54 (ALL MAN-MADE SOIL).

LEGEND
 PROPOSED STORM DRAIN DRAINAGE DIVIDE

APPROVED
PLANNING BOARD OF HOWARD COUNTY
 DATE **MARCH 13, 2008**


APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 5/21/08
 Director Date
 5/22/08
 Chief, Division of Land Development Date
 5/18/08
 Chief, Development Engineering Division Date

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
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P. 115
 MAPLE LAWN FARMS INC.
 L. 683 F. 141

P. 282
 MARVIN AND MARJORIE BOSLEY
 L. 1241 F. 138

PREPARED FOR:
 MAPLE LAWN HT. LLC. (Owner)
 SUITE 300 WOODHOLME CENTER
 1829 RESTERSTOWN RD
 BALTIMORE, MD 21208
 ATTN: CHARLIE O'DONOVAN
 410-484-8400

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS
 WERE PREPARED OR APPROVED BY
 ME, AND THAT I AM A DULY LICENSED
 PROFESSIONAL ENGINEER UNDER THE
 LAWS OF THE STATE OF MARYLAND,
 LICENSE NO. 12273
 EXPIRATION DATE: MAY 26, 2008



STORM DRAIN DRAINAGE AREA MAP

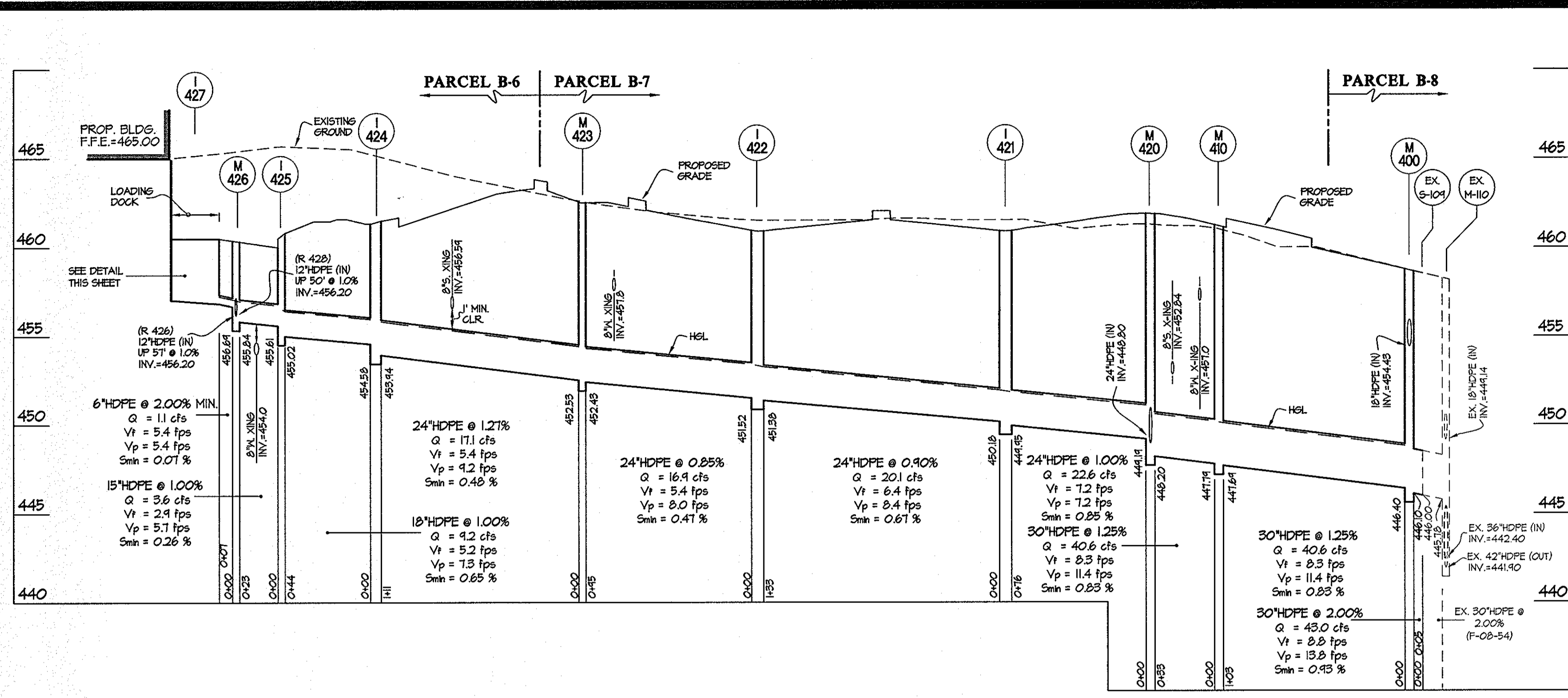
MAPLE LAWN FARMS
 WESTSIDE DISTRICT - AREA 1
 Parcel B-6 (Harris Teeter Store No. 323)
 PLAT No. 0001, 0002 TAX MAP PARCEL No. 116

SCALE	ZONING	G. L. W. FILE No.
1"=40'	MXD-3	07064
DATE	TAX MAP - GRID	SHEET
April/2008	41-21&22 46-3	7 OF 11

DATE	REVISION	BY	APPR.

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND



STORM DRAIN PIPE SUMMARY TABLE

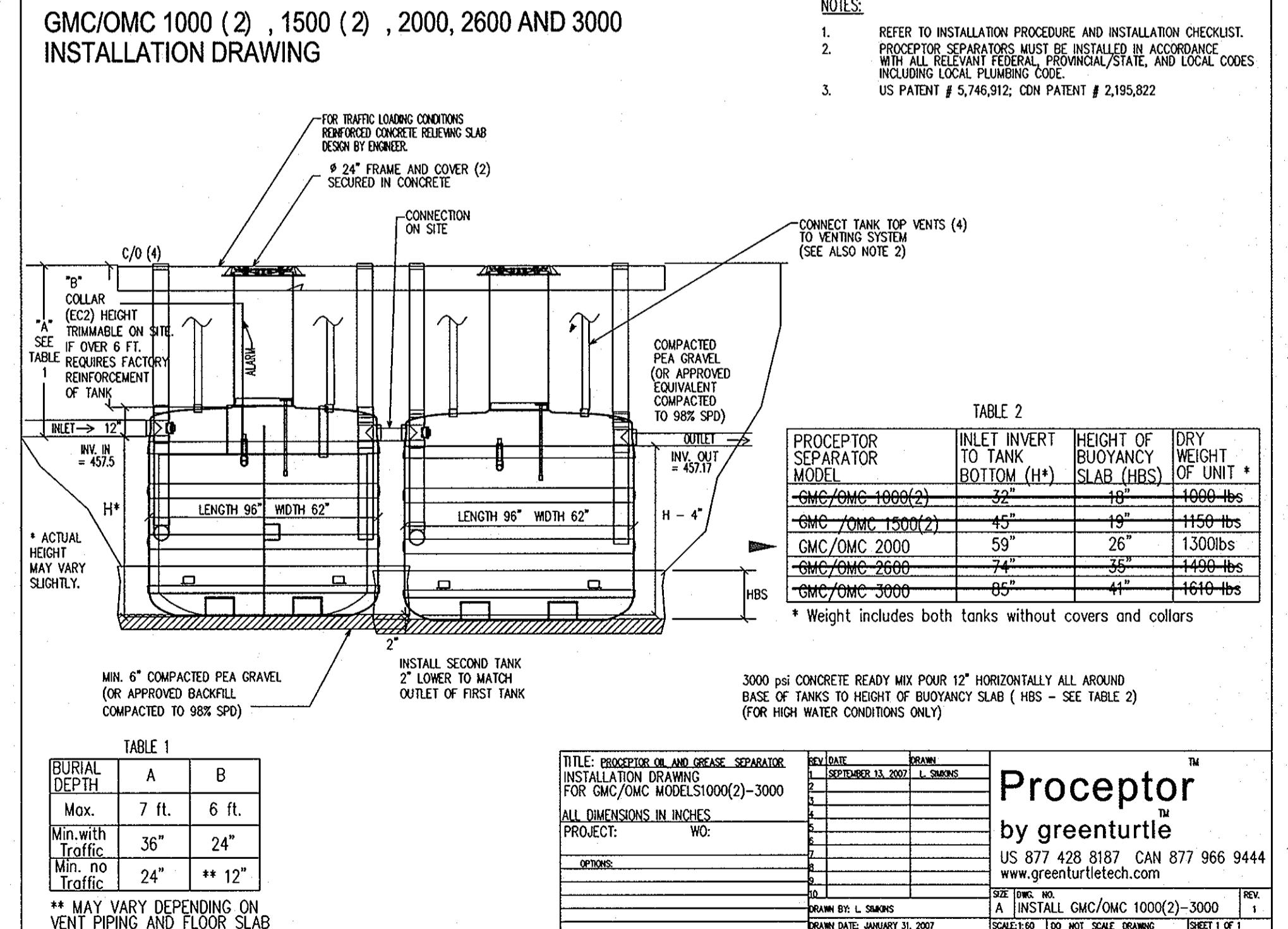
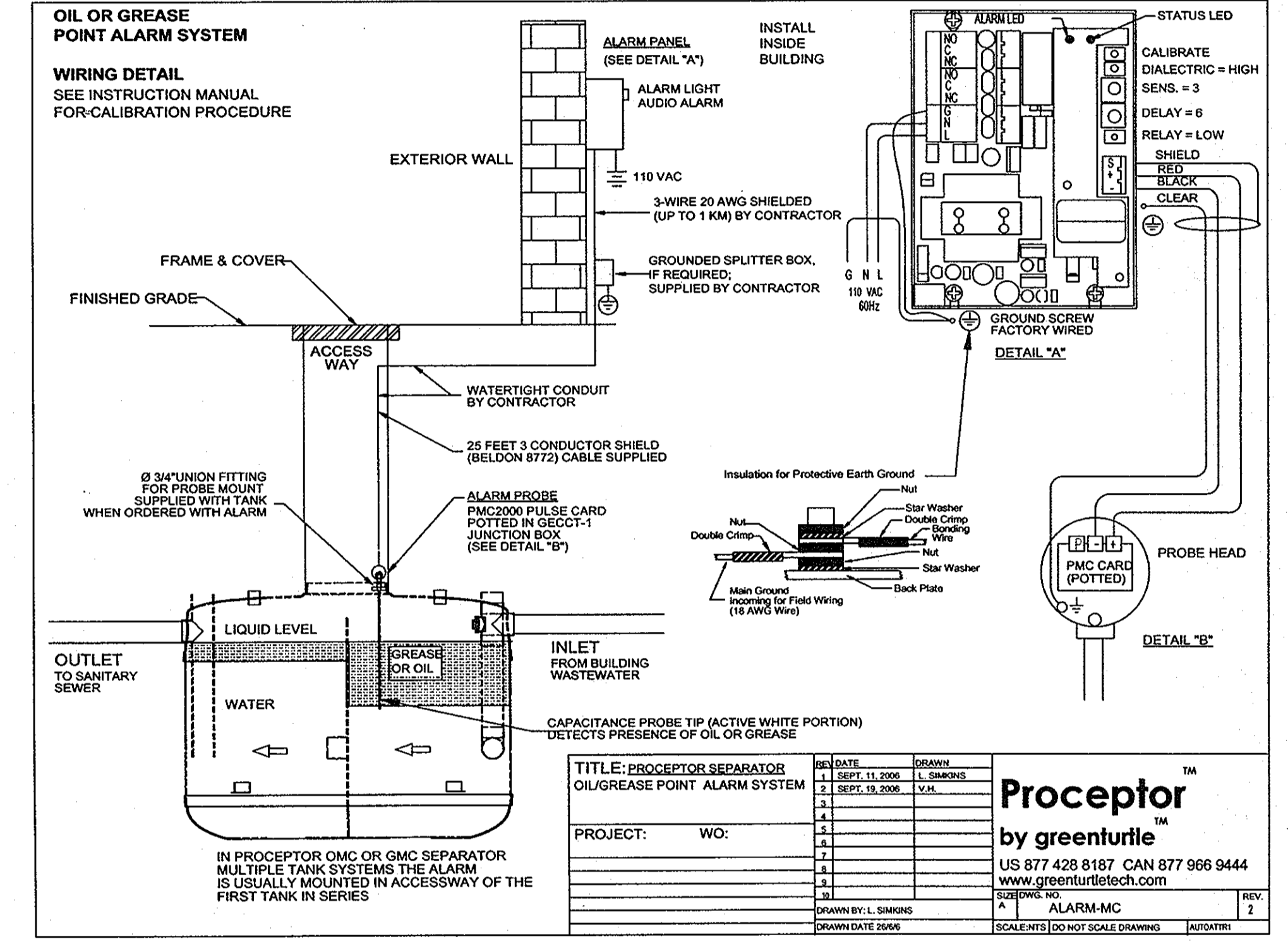
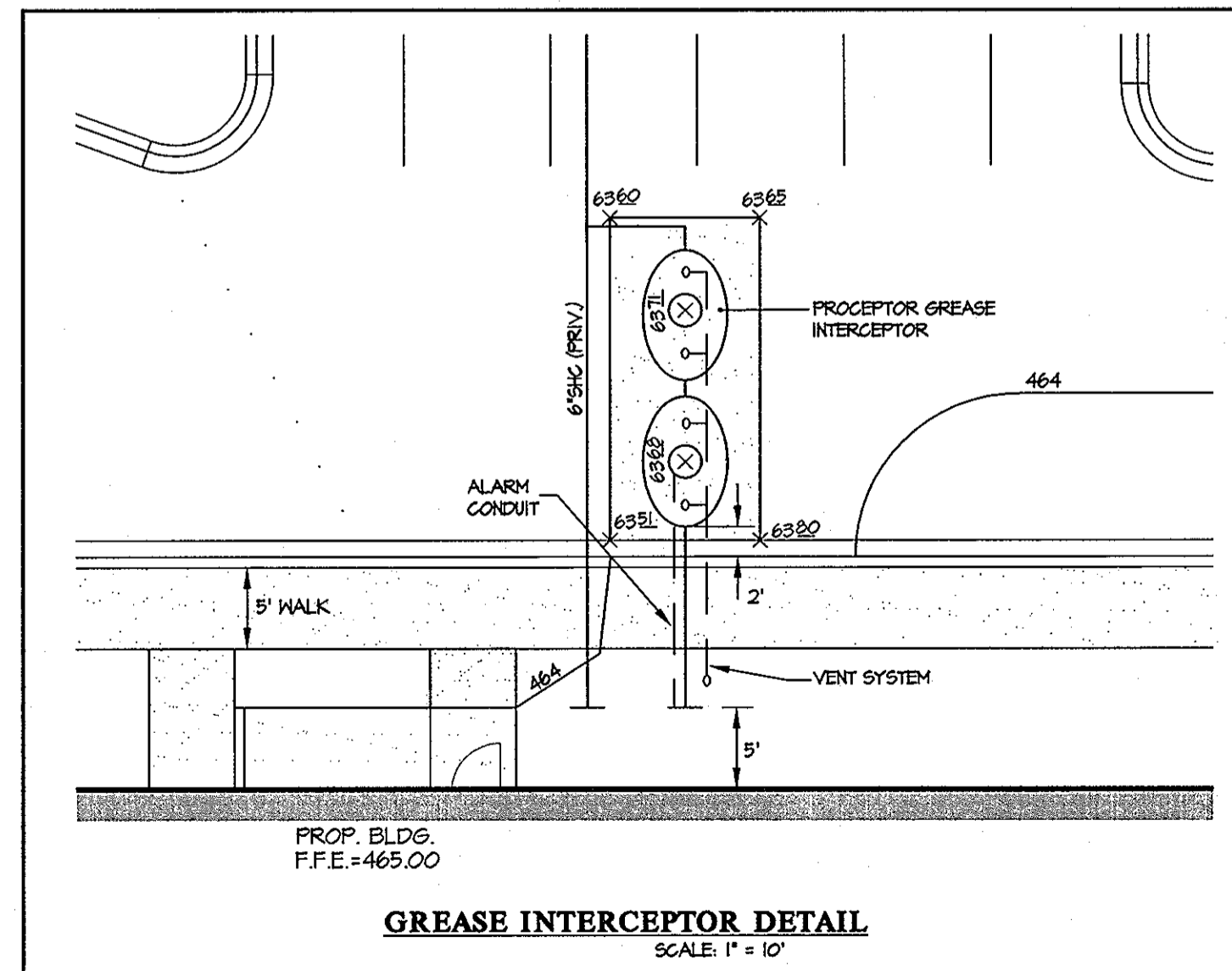
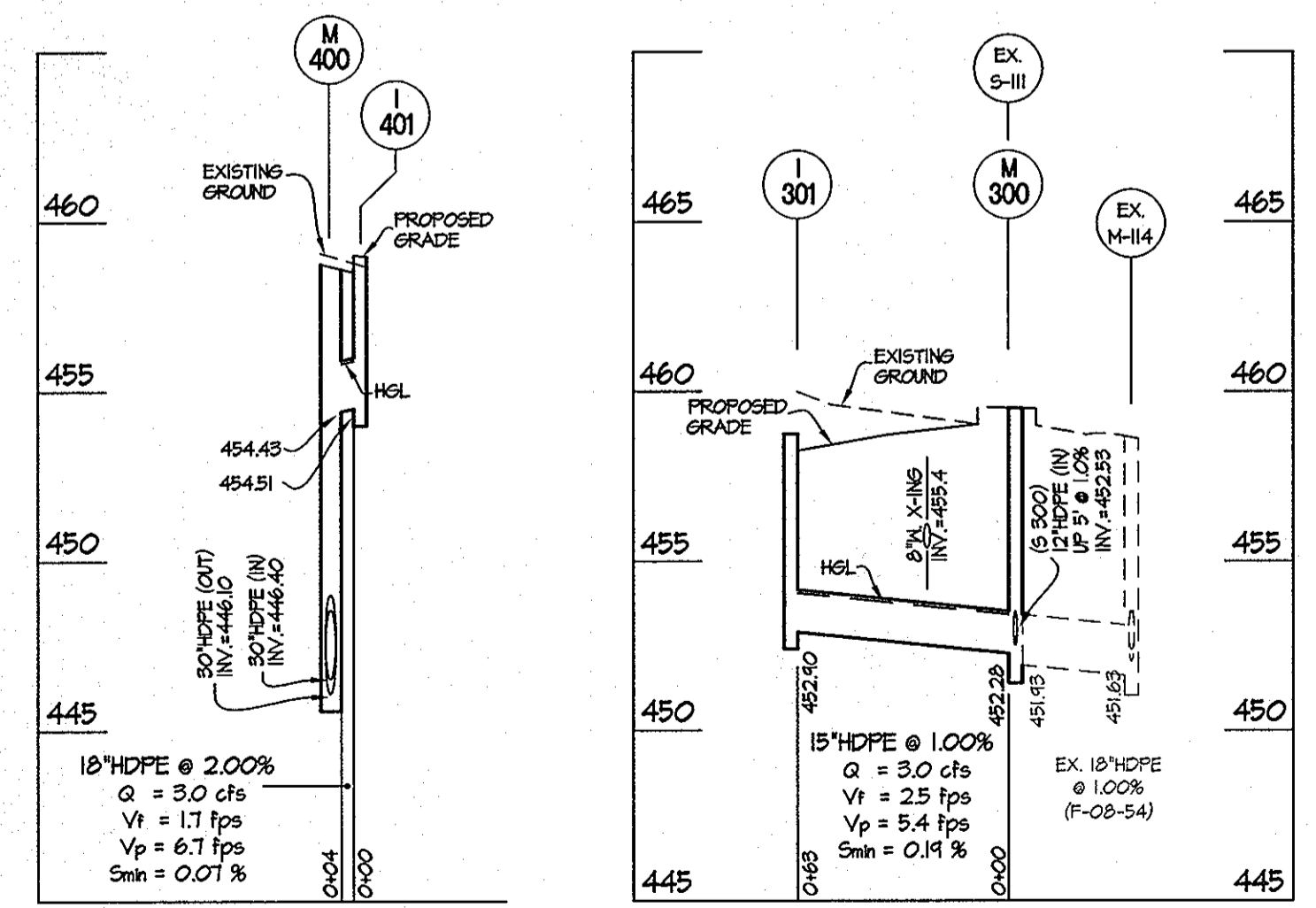
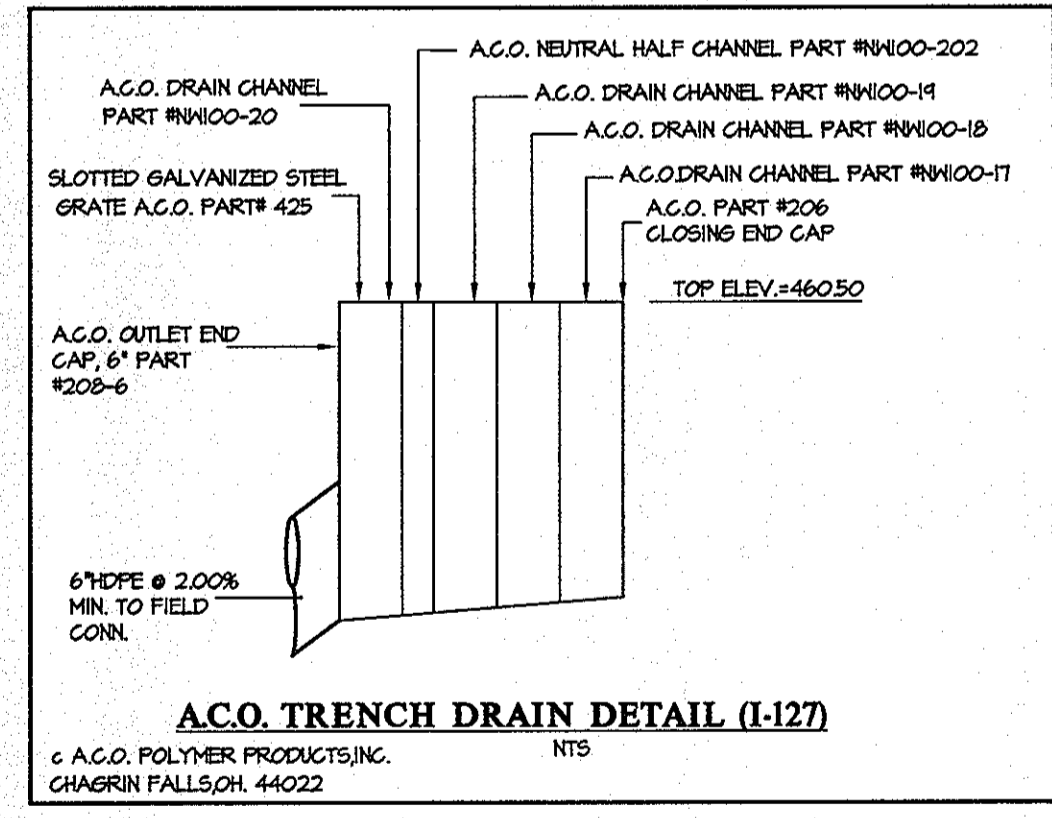
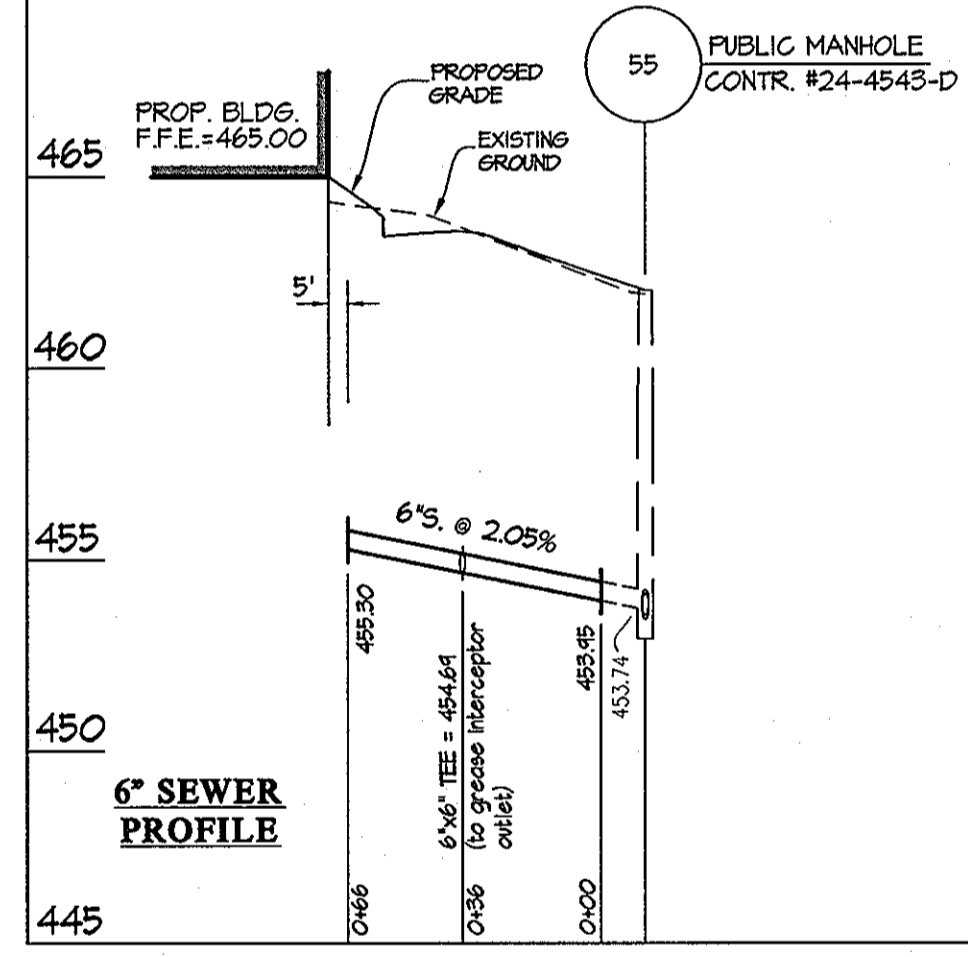
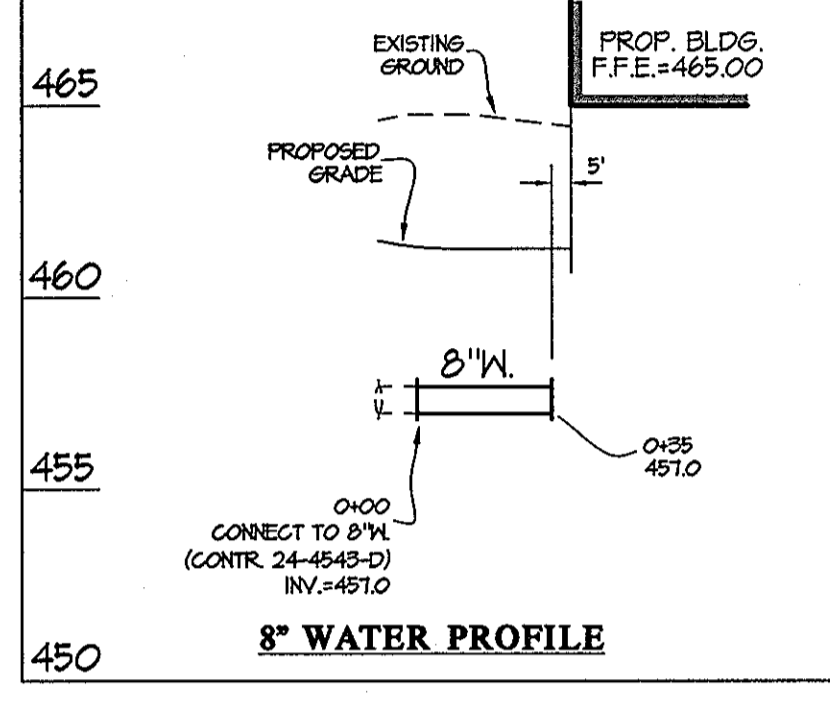
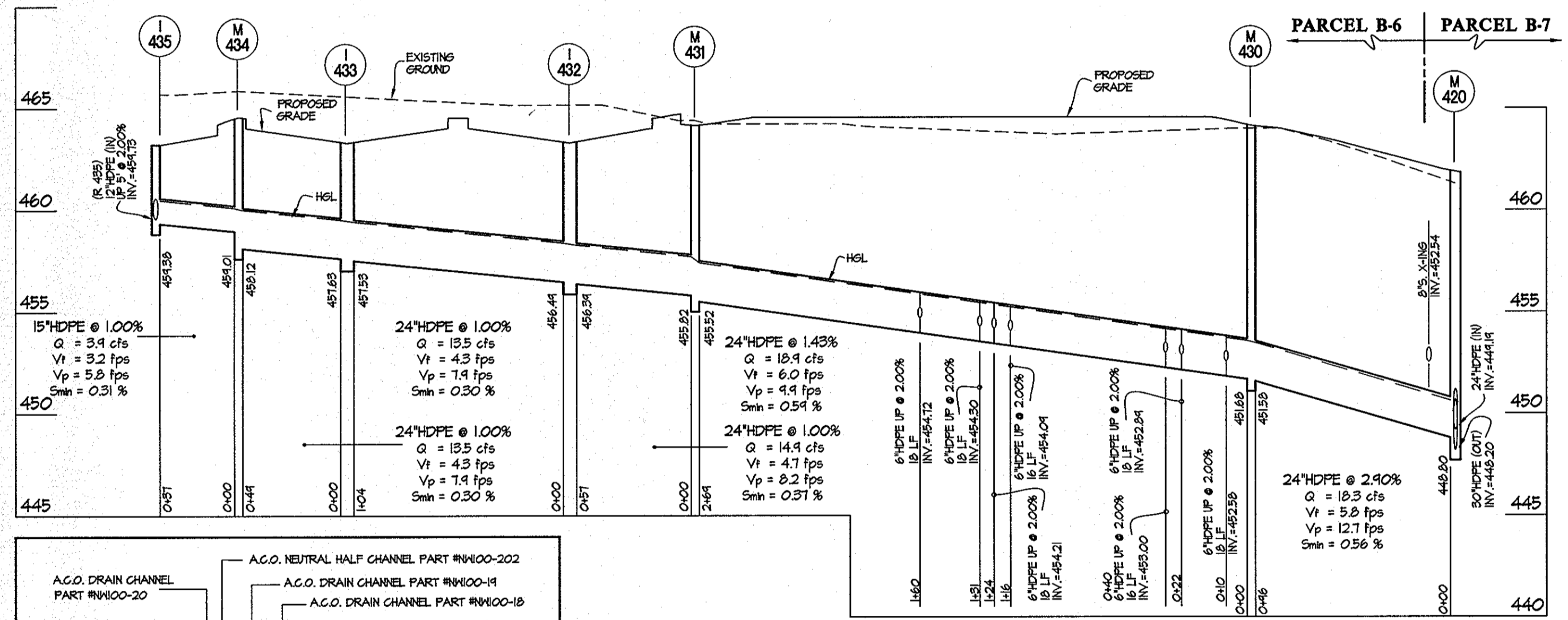
SIZE (IN)	TYPE	QUANTITY (LF)	REMARKS
6"	HDPE	124	ADS N12 or equiv.
12"	HDPE	117	ADS N12 or equiv.
15"	HDPE	123	ADS N12 or equiv.
18"	HDPE	48	ADS N12 or equiv.
24"	HDPE	990	ADS N12 or equiv.
30"	HDPE	141	ADS N12 or equiv.

NOTES:
1. ALL STORM DRAIN STRUCTURES SHALL BE PRECAST.

PROFILES
SCALE: 1" = 50' HORIZ.
1" = 5' VERT.

STORM DRAIN STRUCTURE SCHEDULE

No.	TYPE	WIDTH (inside)	TOP ELEVATION		INVERT ELEVATION		STD. DETAIL	LOCATIONS & REMARKS
			UPPER	LOWER	UPPER	LOWER		
M-300	MANHOLE	4'-0"	465.00	465.00	452.55	451.93	G 5.12	
I-301	A-10 INLET	2'-6"	458.90	458.62	452.90	terminal	D 4.03	
M-400	MANHOLE	5'-0"	458.71	454.43	446.10	terminal	G 5.13	
I-401	A-10 INLET	2'-6"	454.14	454.51	441.61	terminal	D 4.03	
M-410	MANHOLE	5'-0"	441.21	441.74	441.64	terminal	G 5.13	
M-420	MANHOLE	5'-0"	441.84	444.14	448.20	G 5.13		
I-421	WR INLET	3'-5 1/2"	441.50	450.18	444.45	D 4.35		
I-422	WR INLET	3'-5 1/2"	441.50	451.52	451.50	D 4.35		
M-423	MANHOLE	4'-0"	442.52	452.53	452.43	G 5.12		
I-424	A-5 INLET	3'-0"	441.53	441.4	454.58	453.44	D 4.02	
I-425	A-10 INLET	3'-0"	440.00	455.61	455.02	D 4.03		
M-426	MANHOLE	4'-0"	440.36	456.64	455.84	G 5.12		
I-427	A.G.O. TRENCH DRAIN	-----	440.50	-----	terminal	SEE DETAIL THIS SH.		
M-430	MANHOLE	4'-0"	444.15	451.68	451.58	G 5.12		
M-431	MANHOLE	4'-0"	444.16	455.82	455.52	G 5.12		
I-432	WR INLET	3'-5 1/2"	443.78	456.44	456.34	D 4.35		
I-433	WR INLET	3'-5 1/2"	443.78	457.63	457.53	D 4.35		
M-434	MANHOLE	4'-0"	444.58	454.37	454.12	G 5.12		
I-435	WR INLET	3'-5 1/2"	443.78	454.73	454.30	D 4.35		



APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE: MARCH 13, 2008

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: *M. H. Leagle* Date: *5/20/08*
Chief, Division of Land Development: *Andy Stuart* Date: *4/13*
Chief, Development Engineering Division: *W. Williams* Date: *5/16/08*

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BIRTONSVILLE OFFICE PARK
BIRTONSVILLE, MARYLAND 20886
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.

PREPARED FOR:
MAPLE LAWN HT, LLC. (Owner)
SUITE 300 WOODHOLME CENTER
1825 REISTERSTOWN RD
BALTIMORE, MD 21208
ATTN: CHARLIE O'DONOVAN
410-484-8400

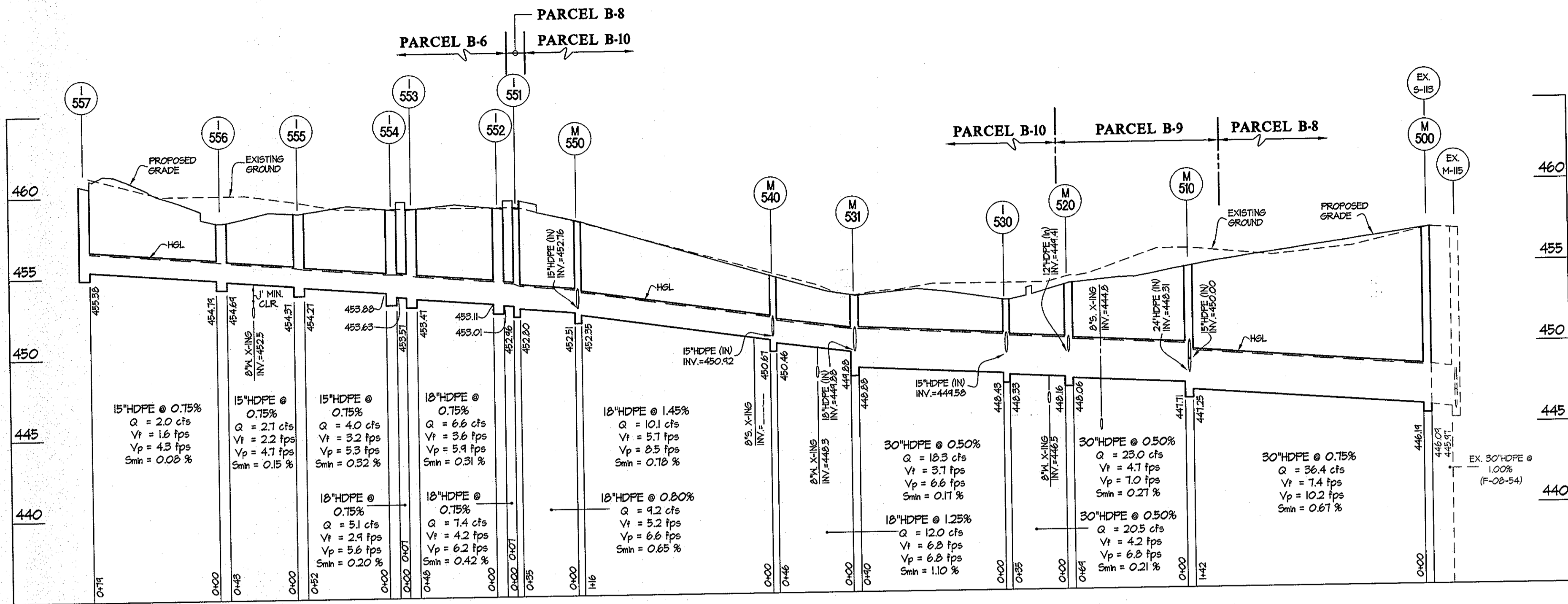
PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12875
EXPIRATION DATE: MAY 28, 2008

STORM DRAIN and UTILITY PROFILES

MAPLE LAWN FARMS
WESTSIDE DISTRICT - AREA 1
Parcel B-6 (Harris Teeter Store No. 323)
PLAT No. 10222, TAX MAP PARCEL No. 116

SCALE: AS SHOWN
ZONING: MXD-3
G. L. W. FILE No.: 07064

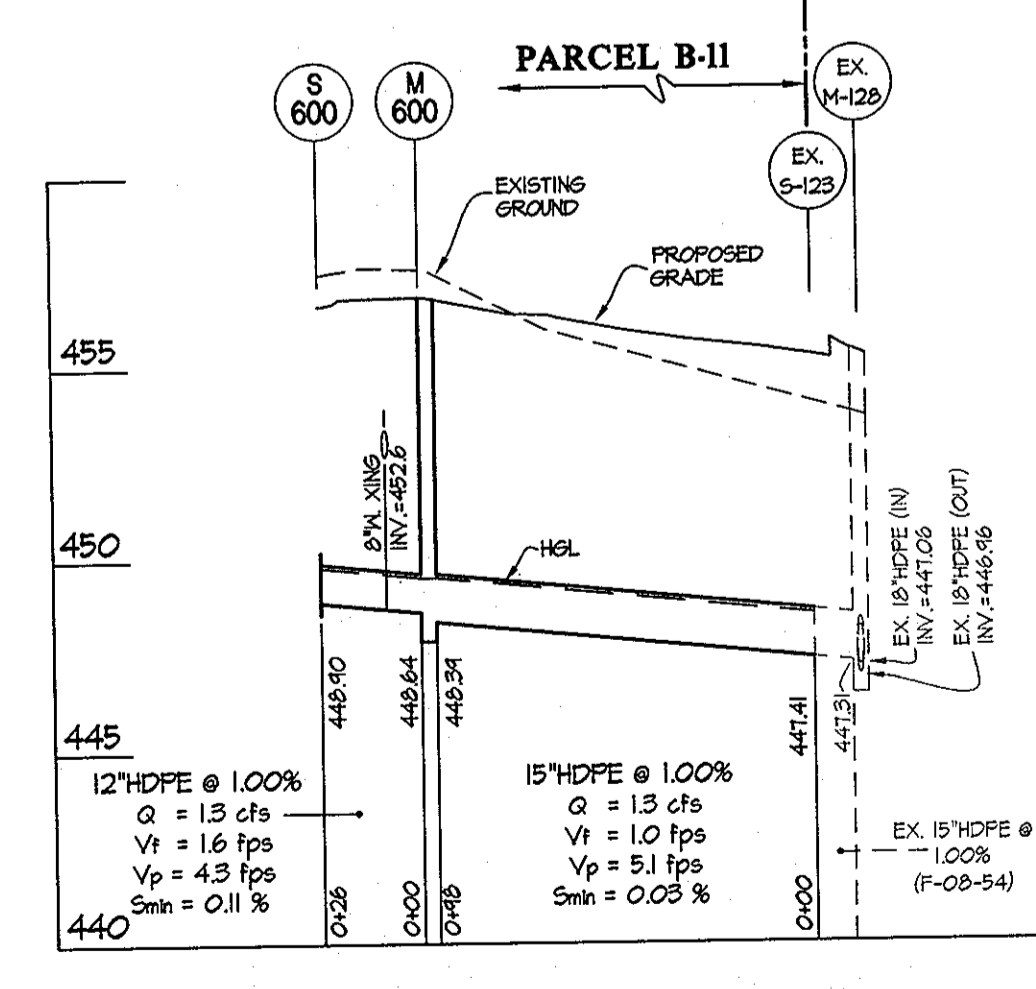
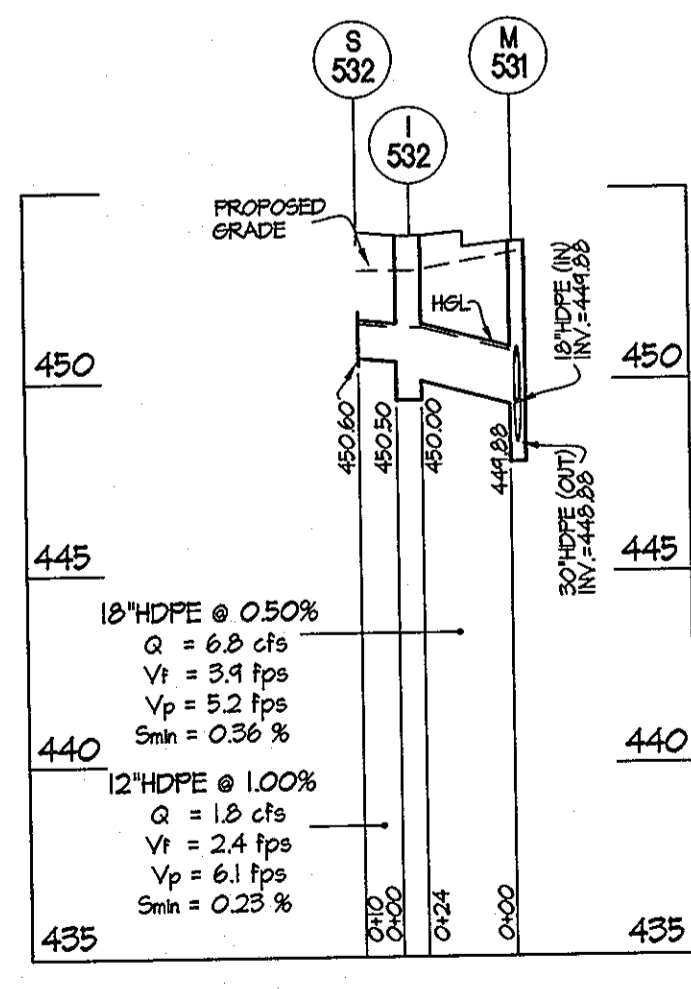
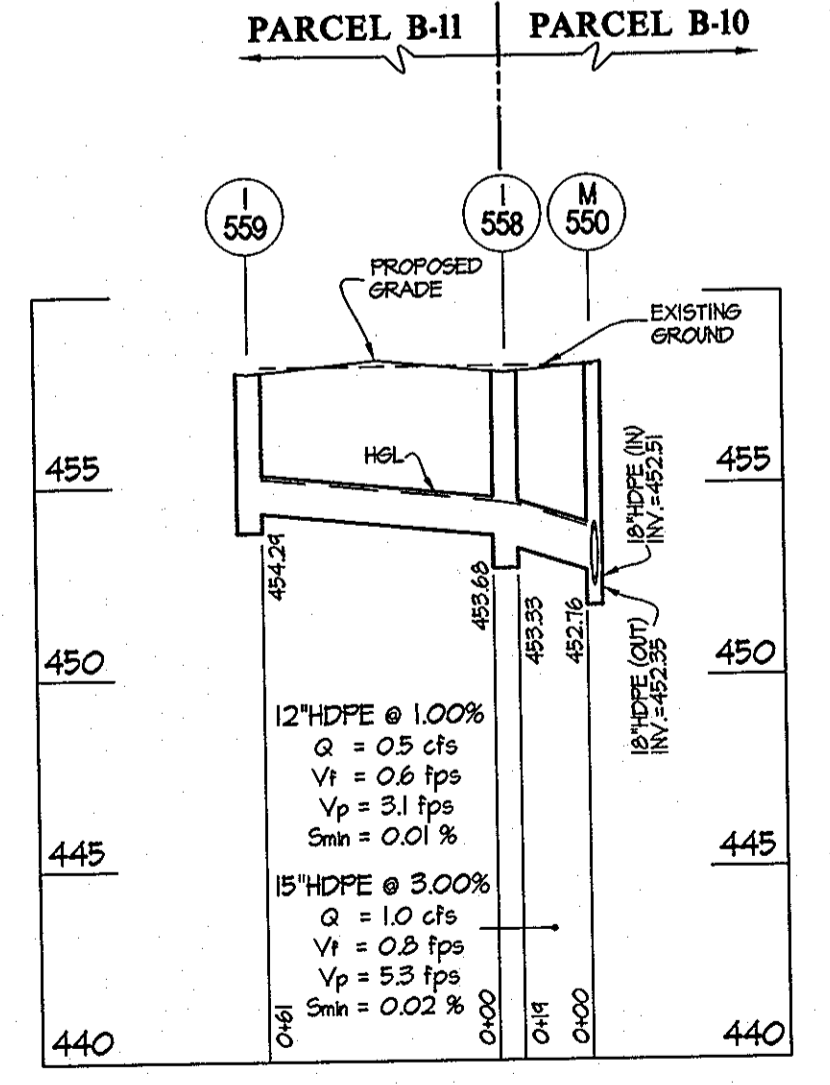
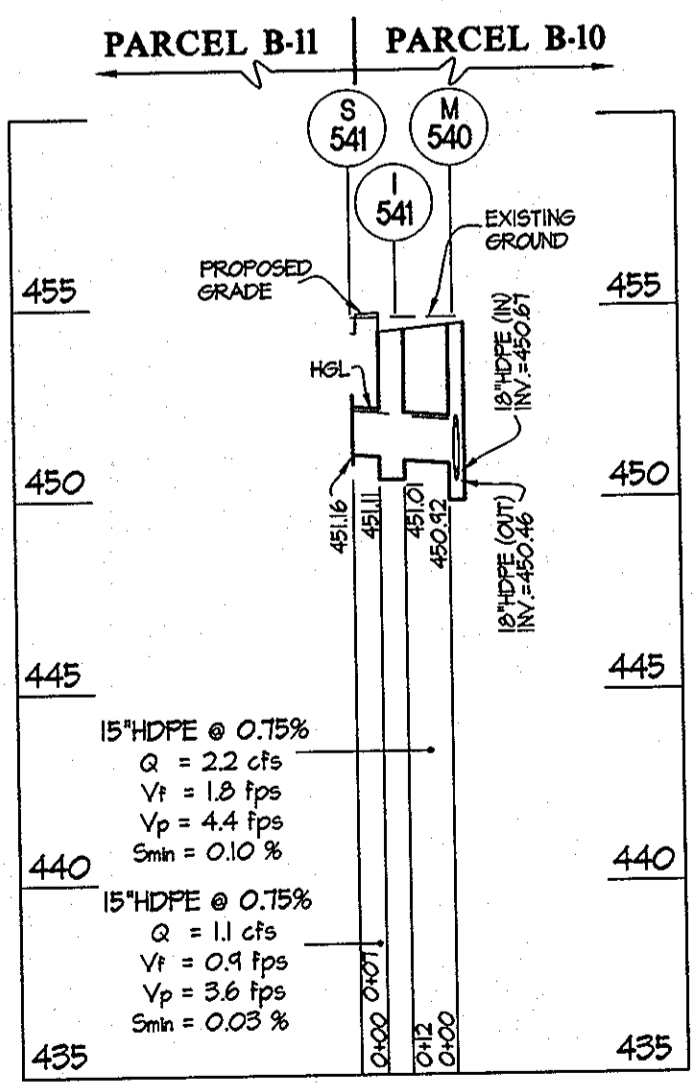
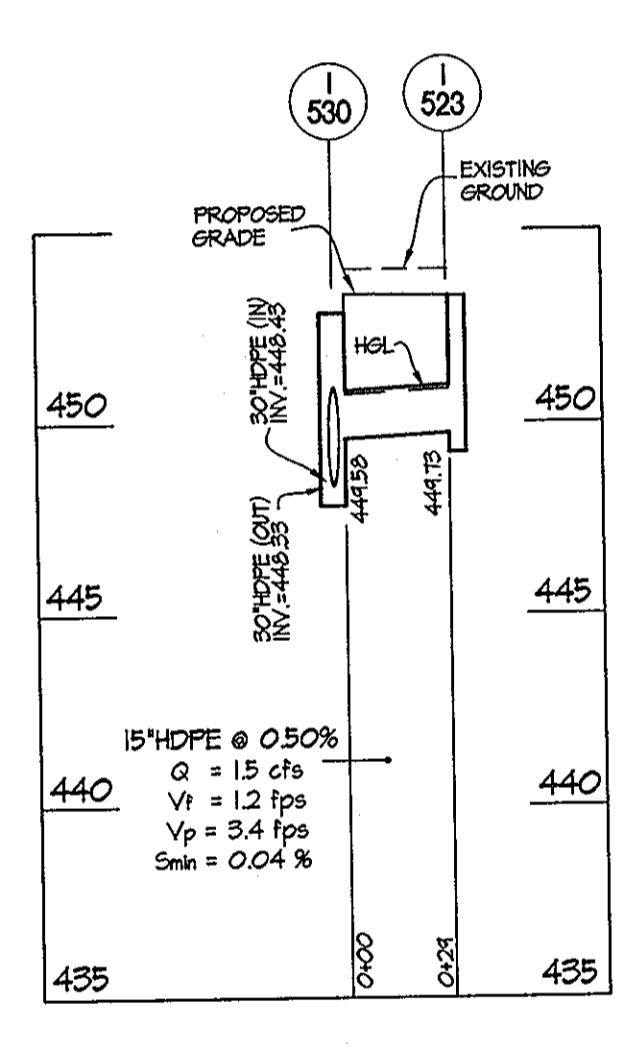
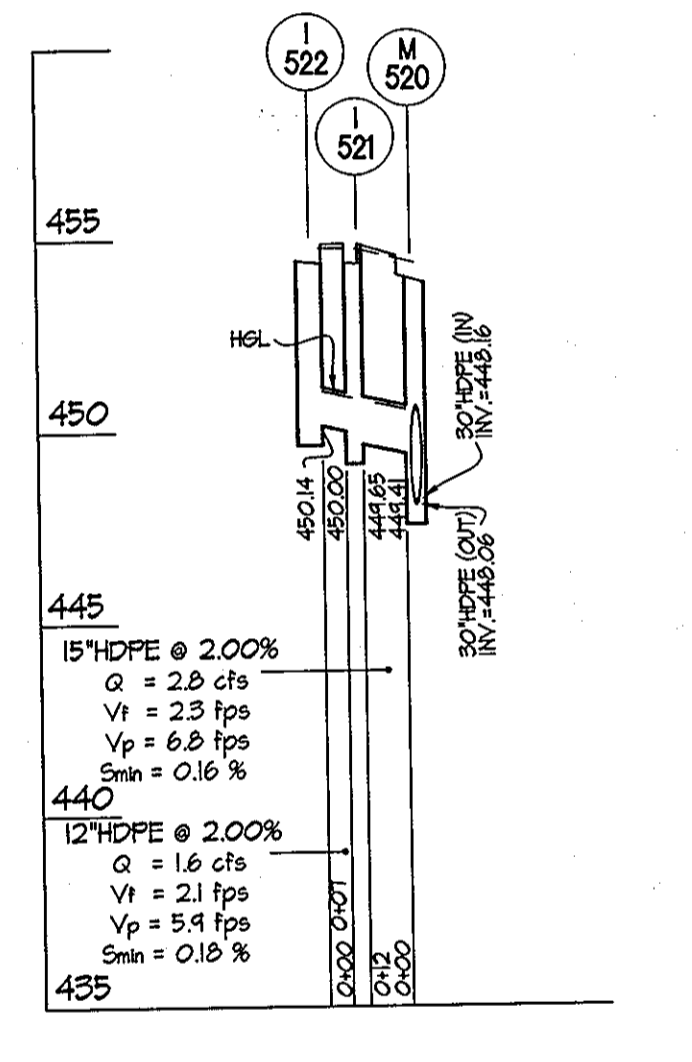
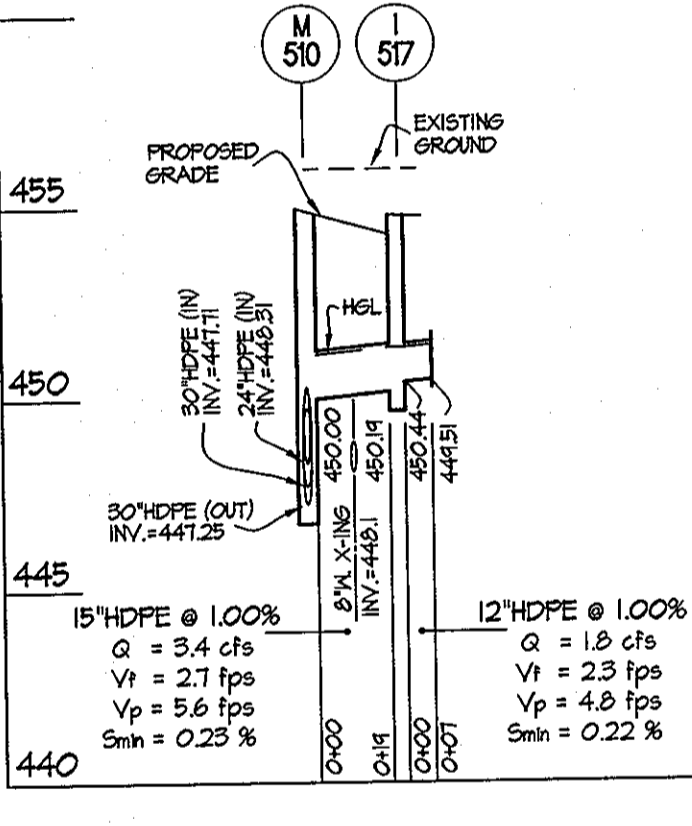
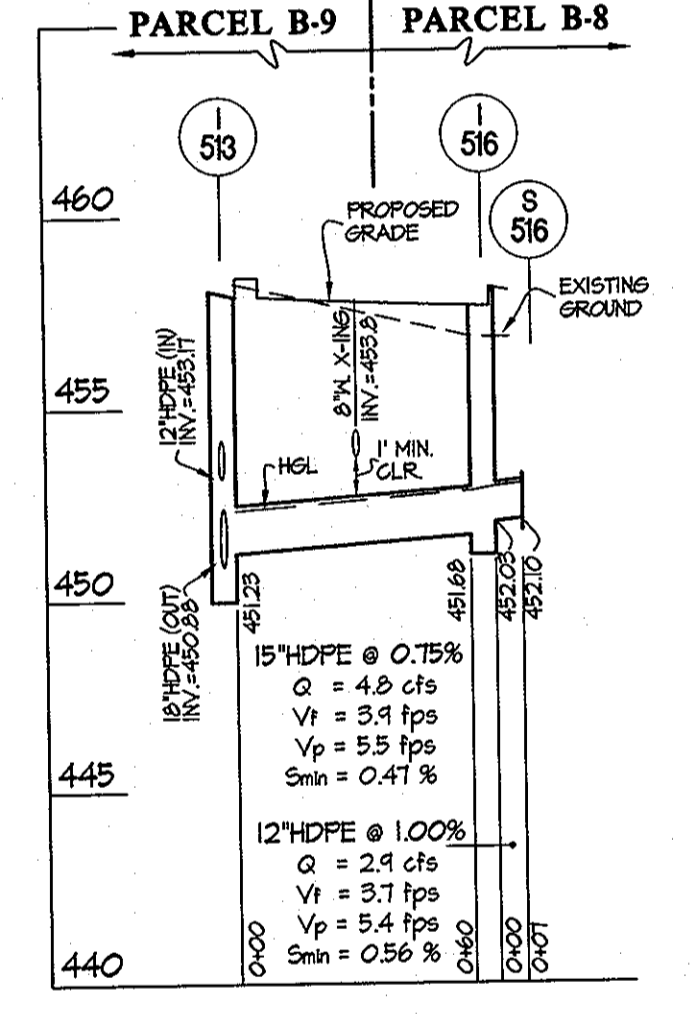
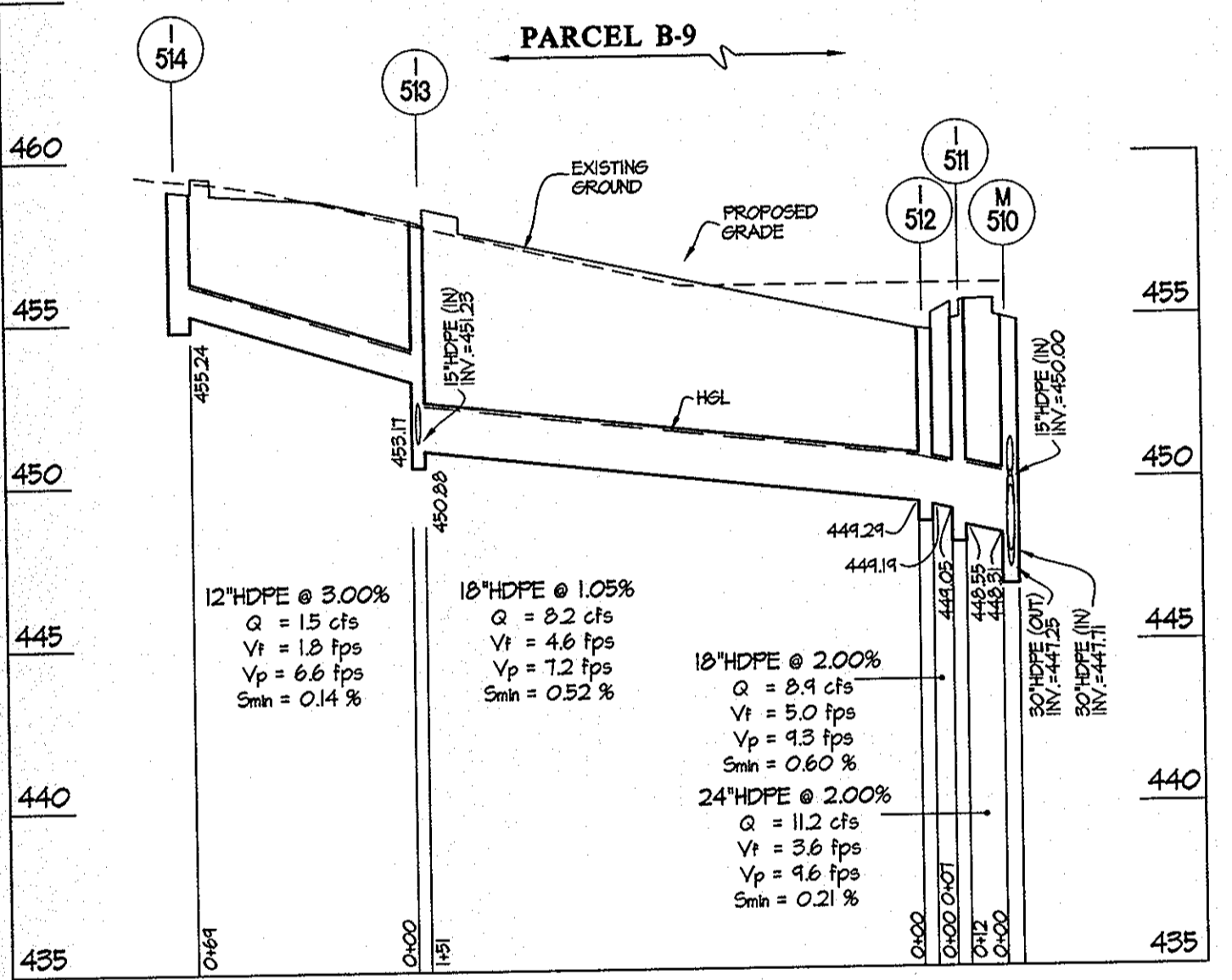
DATE: April/2008
TAX MAP - GRID: 41-21&22
SHEET: 8 OF 11



STORM DRAIN STRUCTURE SCHEDULE								
No.	TYPE	WIDTH (inside)	TOP ELEVATION		INVERT ELEVATION		STD DETAIL	LOCATIONS & REMARKS
			UPPER	LOWER	UPPER	LOWER		
M-500	MANHOLE	5'-0"	457.07	446.14	446.04	446.04	6 5.13	
M-510	MANHOLE	5'-0"	454.24	450.00	441.25	441.25	6 5.13	
I-511	HR INLET	3'-5 1/2"	455.05	441.05	448.55	448.55	D 4.35	
I-512	HR INLET	3'-5 1/2"	455.05	441.24	441.14	441.14	D 4.35	
I-513	HR INLET	3'-5 1/2"	458.31	453.11	450.80	450.80	D 4.35	
I-514	HR INLET	3'-5 1/2"	454.45	455.24	terminal	terminal	D 4.35	
I-516	HR INLET	3'-5 1/2"	451.62	452.03	451.63	451.63	D 4.35	
I-517	A-10 INLET	3'-5 1/2"	454.84	454.84	450.44	450.44	D 4.03	
M-520	MANHOLE	5'-0"	453.43	444.41	448.06	448.06	6 5.13	
I-522	HR INLET	3'-5 1/2"	454.23	450.14	terminal	terminal	D 4.35	
I-523	A-5 INLET	2'-6"	453.30	444.13	terminal	terminal	D 4.02	
I-530	HR INLET	3'-5 1/2"	453.32	444.56	448.33	448.33	D 4.35	
M-531	MANHOLE	5'-0"	453.63	444.28	448.88	448.88	6 5.13	
I-532	A-5 INLET	3'-0"	453.20	450.50	450.00	450.00	D 4.02	
M-540	MANHOLE	4'-0"	454.51	450.42	450.46	450.46	6 5.12	
I-541	HR INLET	3'-5 1/2"	454.83	451.11	451.01	451.01	D 4.35	
M-550	MANHOLE	4'-0"	458.17	452.16	452.35	452.35	6 5.12	
I-551	HR INLET	3'-5 1/2"	454.45	452.96	452.80	452.80	D 4.35	
I-552	HR INLET	3'-5 1/2"	454.45	453.11	453.01	453.01	D 4.35	
I-553	HR INLET	3'-5 1/2"	454.45	453.51	453.41	453.41	D 4.35	
I-554	HR INLET	3'-5 1/2"	454.45	453.28	453.63	453.63	D 4.35	
I-555	HR INLET	3'-5 1/2"	454.24	454.21	454.21	454.21	D 4.35	
I-556	HR INLET	3'-5 1/2"	458.16	458.15	454.11	454.11	D 4.35	
I-557	HR INLET	3'-5 1/2"	461.16	461.0	453.28	453.28	terminal	D 4.35
I-558	HR INLET	3'-5 1/2"	458.40	453.68	453.33	453.33	D 4.35	
I-559	HR INLET	3'-5 1/2"	458.40	454.24	448.34	448.34	D 4.35	
M-600	MANHOLE	4'-0"	456.24	448.64	448.34	448.34	6 5.12	

STORM DRAIN PIPE SUMMARY TABLE			
SIZE (IN)	TYPE	QUANTITY (LF)	REMARKS
12	HDPE	181	ADS N12 or equiv.
15	HDPE	430	ADS N12 or equiv.
18	HDPE	441	ADS N12 or equiv.
24	HDPE	12	ADS N12 or equiv.
30	HDPE	336	ADS N12 or equiv.

NOTES:
1. ALL STORM DRAIN STRUCTURES SHALL BE PRECAST.



APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE MARCH 13, 2008

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: *Mark A. Wolfe* Date: 5/28/08
Chief, Division of Land Development: *John J. Smith* Date: 5/27/08
Chief, Development Engineering Division: *John J. Smith* Date: 5/18/08

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3039 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20886
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-988-2524 FAX: 301-421-4188

PREPARED FOR:
MAPLE LAWN HT, LLC. (Owner)
1829 RESTORATION RD
BALTIMORE, MD 21208
ATtn: CHARLIE ODONOVAN
410-484-9400

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS
WERE PREPARED OR APPROVED BY
ME, AND THAT I AM A DULY LICENSED
PROFESSIONAL ENGINEER UNDER THE
LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 12875
EXPIRATION DATE: MAY 26, 2008



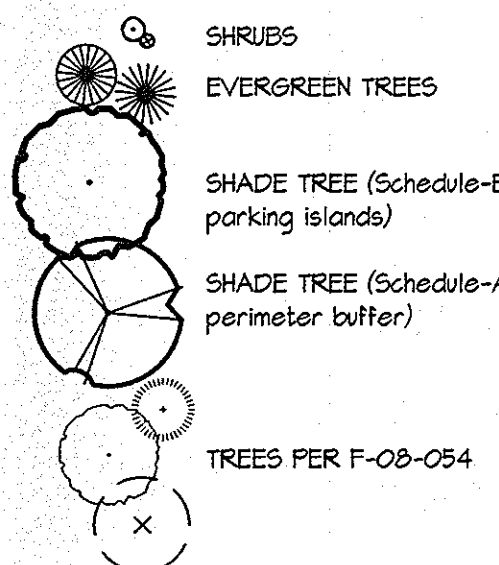
STORM DRAIN PROFILES

MAPLE LAWN FARMS
WESTSIDE DISTRICT - AREA 1
Parcel B-6 (Harris Teeter Store No. 323)
PLAT No. 12-22-2, TAX MAP PARCEL No. 116

SCALE AS SHOWN
ZONING MXD-3
DATE April/2008
TAX MAP - GRID 41-21&22 46-3
SHEET 9 OF 11

G. L. W. FILE No. 07064

PLANTING LEGEND



LANDSCAPE NOTES

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 6.124 OF THE HOWARD COUNTY CODE & CHAPTER VI OF THE HOWARD COUNTY LANDSCAPE MANUAL (ALTERNATIVE COMPLIANCE) PLUS THE LANDSCAPE DESIGN CRITERIA OF 5-06-16 AND PD CASE NO. 518.
- CONTRACTOR SHALL NOTIFY ALL UTILITIES AT LEAST (5) FIVE DAYS BEFORE STARTING WORK. ALL GENERAL NOTES, ESPECIALLY THOSE REGARDING UTILITIES, ON SHEET NO. 1 SHALL APPLY.
- FIELD VERIFY UNDERGROUND UTILITY LOCATIONS AND EXISTING CONDITIONS BEFORE STARTING PLANTING WORK. CONTACT CONSTRUCTION MANAGER OR OWNER IF ANY RELOCATIONS ARE REQUIRED.
- PLANT QUANTITIES SHOWN ON THE PLANT LIST ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON THE PLAN AND THOSE SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE.
- ALL PLANT MATERIAL SHALL BE FULL, HEAVY, WELL FORMED, SYMMETRICAL AND CONFORM TO THE A.A.N. SPECIFICATIONS. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THIS PLAN.
- NO SUBSTITUTION SHALL BE MADE WITHOUT PRIOR APPROVAL FROM HOWARD COUNTY DPZ AND THE OWNER OR HIS REPRESENTATIVE.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES BUT NOT OTHERWISE PLANTED, PAVED, OR MULCHED SHALL BE SOODED OR SEEDED IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATION. A MINIMUM OF 4" OF TOPSOIL SHALL BE PROVIDED TO ALL PLANTING AREAS (FOR TOPSOIL SPEC. SEE SHEET 5).
- THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING IF HE/SHE ENCOUNTERS SOIL DRAINAGE CONDITIONS THAT MAY BE DETRIMENTAL TO THE GROWTH OF THE PLANTS.
- ALL EXPOSED EARTH WITHIN THE LIMITS OF PLANTING BEDS SHALL BE MULCHED WITH SHREDDED HARDWOOD MULCH PER THE PLANTING DETAILS.
- DO NOT PLANT WITHIN THE PUBLIC WATER, SEWER AND UTILITY EASEMENT.
- SCHEDULES "A" AND "B" ARE PROVIDED FOR LANDSCAPE SURETY CALCULATION PURPOSES. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING SHALL BE POSTED WITH THE DEVELOPER AGREEMENT IN THE AMOUNT OF \$20,000.00 FOR FOLLOWING PLANT QUANTITIES:
 242 SHRUBS AT \$30/SHRUB = \$7,260.00
 44 SHADE TREES AT \$300/TREE = \$13,200.00
 2 EVERGREEN TREES AT \$150/TREE = \$300.00
 FOR LANDSCAPE INSPECTION TO OBTAIN THE RELEASE OF THE SURETY, CONTACT HOWARD COUNTY DEPT. OF PLANNING & ZONING AT 410-313-2350. SEE THE CHART BELOW FOR THE BREAK DOWN OF THE SURETY ON A PER LOT BASIS.

STATE OF MARYLAND

Michael B. Tran
 REGISTERED ARCHITECT
 933 LANDSCAPE ARCHITECT
 4-13-08

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN SECTION 6.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL AND THE MFL LANDSCAPE DESIGN CRITERIA. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME: [Signature] DATE: 4-17-08

APPROVED
 PLANNING BOARD OF HOWARD COUNTY

DATE: MARCH 13, 2008

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

[Signatures and dates for Planning & Zoning approval]

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-880-1820 DC/WV: 301-989-2524 FAX: 301-421-4186

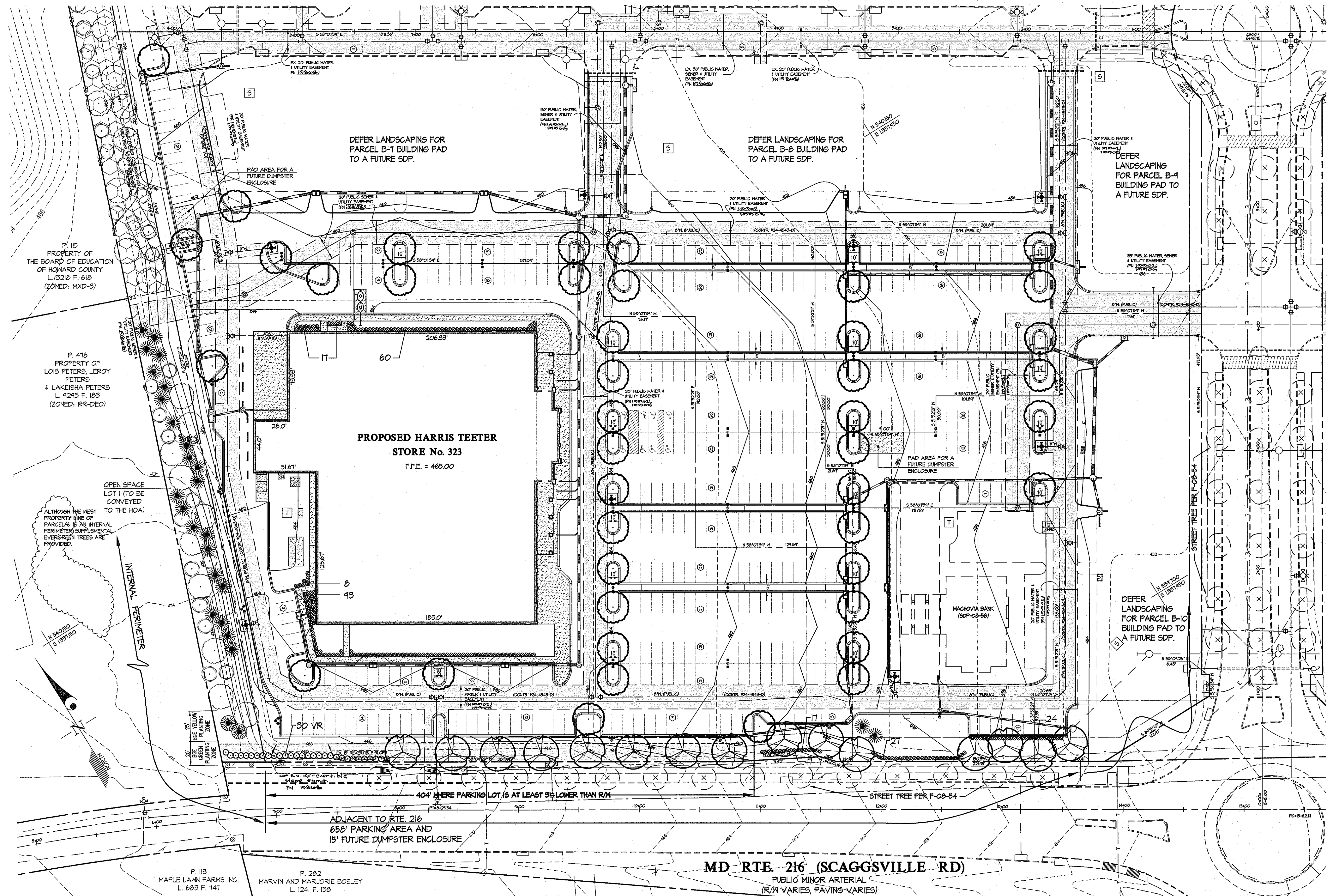
PREPARED FOR:
 MAPLE LAWN HT, LLC. (Owner)
 SUITE 300 WOODBINE CENTER
 1629 REISTERSTOWN RD
 BALTIMORE, MD 21208
 ATTN: CHARLE O'DONOVAN
 410-484-8400

LANDSCAPE PLAN

MAPLE LAWN FARMS
 WESTSIDE DISTRICT - AREA 1
 Parcel B-6 (Harris Teeter Store No. 323)
 PLAT No. 12222 - TAX MAP PARCEL No. 116

SCALE	ZONING	G. L. W. FILE No.
1"=40'	MXD-3	07064
DATE	TAX MAP - GRID	SHEET
April/2008	41-21&22 46-3	10 OF 11

PRIVATE ACCESS ROAD (WEST)



THIS PLAN IS FOR PLANTING PURPOSES ONLY

L:\CADD\DRAWINGS\03067\07064\SDP\07064-LS.dwg DES. MBT DRN. KLP CHK. CKG

DATE	REVISION	BY	APPR.

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

WESTSIDE BOULEVARD

SPECIFICATIONS: PLANT MATERIALS AND PLANTING METHODS

A. PLANT MATERIALS

THE LANDSCAPE CONTRACTOR SHALL FURNISH AND INSTALL AND/OR DIG, BALL, BURLAP AND TRANSPORT ALL OF THE PLANT MATERIALS CALLED FOR ON DRAWINGS AND/OR LISTED IN THE PLANT SCHEDULE.

1. PLANT NAMES

PLANT NAMES USED IN THE PLANT SCHEDULE SHALL CONFORM WITH "STANDARDIZED PLANT NAMES," LATEST EDITION.

2. PLANT STANDARDS

ALL PLANT MATERIAL SHALL BE EQUAL TO OR BETTER THAN THE REQUIREMENTS OF THE "USA STANDARD FOR NURSERY STOCK," LATEST EDITION, AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (HERE- AFTER REFERRED TO AS "AAN STANDARDS"). ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, SHALL HAVE A NORMAL HABIT OF GROWTH AND SHALL BE FIRST QUALITY, SOUND, VIGOROUS, WELL-BRANCHED AND WITH HEALTHY, WELL-FURNISHED ROOT SYSTEMS. THEY SHALL BE FREE OF DISEASE, INSECT PESTS AND MECHANICAL INJURIES.

ALL PLANTS SHALL BE NURSERY GROWN AND SHALL HAVE BEEN GROWN UNDER THE SAME CLIMATE CONDITIONS AS THE LOCATION OF THIS PROJECT FOR AT LEAST TWO YEARS BEFORE PLANTING. NEITHER HELED-IN PLANTS NOR PLANTS FROM COLD STORAGE WILL BE ACCEPTED.

3. PLANT MEASUREMENTS

ALL PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED IN THE PLANT SCHEDULE AS APPROVED BY THE DESIGN REVIEW COMMITTEE (DRC).

A. CALIPER MEASUREMENTS SHALL BE TAKEN SIX INCHES (6") ABOVE GRADE FOR TREES UNDER FOUR-INCH (4") CALIPER AND TWELVE (12") ABOVE GRADE FOR TREES FOUR INCHES (4") IN CALIPER AND OVER.

B. MINIMUM BRANCHING HEIGHT FOR ALL SHADE TREES SHALL BE SIX FEET (6'), MAXIMUM EIGHT FEET (8').

C. CALIPER, HEIGHT, SPREAD AND SIZE OF BALL SHALL BE GENERALLY AS FOLLOWS:

CALIPER	HEIGHT	SPREAD	SIZE OF BALL
3" - 3.5"	14'-16'	6'-8'	32" DIAMETER
3.5" - 4"	14'-16'	8'-10'	36" DIAMETER
4" - 4.5"	16'-18'	8'-10'	40" DIAMETER
4.5" - 5"	16'-18'	10'-12'	44" DIAMETER
5" - 5.5"	16'-20'	10'-12'	48" DIAMETER
5.5" - 6"	18'-20'	12'-14'	52" DIAMETER

ALL PLANT MATERIAL SHALL GENERALLY AVERAGE THE MEDIAN FOR THE SIZE RANGES INDICATED ABOVE AS INDICATED IN THE "AAN STANDARDS".

4. PLANT IDENTIFICATION

LEGIBLE LABELS SHALL BE ATTACHED TO ALL SHADE TREES, MINOR TREES, SPECIMEN SHRUBS AND BUNDLES OR BOXES OF OTHER PLANT MATERIAL GIVING THE BOTANICAL AND COMMON NAMES, SIZE AND QUANTITY OF EACH. EACH SHIPMENT OF PLANTS SHALL BEAR CERTIFICATES OF INSPECTION AS REQUIRED BY FEDERAL, STATE AND COUNTY AUTHORITIES.

5. PLANT INSPECTION

THE DESIGN REVIEW COMMITTEE MAY, UPON REQUEST BY THE BUILDER OR DEVELOPER, AT LEAST TEN (10) DAYS PRIOR TO THE INSTALLATION OF ANY PROPOSED PLANT MATERIAL, INSPECT ALL PROPOSED PLANT MATERIAL AT THE SOURCE OF ORIGIN.

B. PLANTING METHODS

ALL PROPOSED PLANT MATERIALS THAT MEET THE SPECIFICATIONS IN SECTION A ARE TO BE PLANTED IN ACCORDANCE WITH THE FOLLOWING METHODS DURING THE PROPER PLANTING SEASONS AS DESCRIBED IN THE FOLLOWING:

1. PLANTING SEASONS

THE PLANTING OF DECIDUOUS TREES, SHRUBS AND VINES SHALL BE FROM MARCH 1ST TO JUNE 15TH AND FROM SEPTEMBER 15TH TO DECEMBER 15TH. PLANTING OF DECIDUOUS MATERIAL MAY BE CONTINUED DURING THE WINTER MONTHS PROVIDED THERE IS NO FROST IN THE GROUND AND FROST-FREE TOPSOIL. PLANTING MIXTURES ARE USED.

THE PLANTING OF EVERGREEN MATERIAL SHALL BE FROM MARCH 15TH TO JUNE 15TH AND FROM AUGUST 15TH TO DECEMBER 1ST. NO PLANTING SHALL BE DONE WHEN THE GROUND IS FROZEN OR EXCESSIVELY MOIST. NO FROZEN OR WET TOPSOIL SHALL BE USED AT ANY TIME.

2. DIGGING

ALL PLANT MATERIAL SHALL BE DUG, BALLED AND BURLAPPED (B4B) IN ACCORDANCE WITH THE "AAN STANDARDS".

3. EXCAVATION OF PLANT PITS

THE LANDSCAPING CONTRACTOR SHALL EXCAVATE ALL PLANT PITS, VINE PITS, HEDGE TRENCHES AND SHRUB BEDS IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

A. LOCATIONS OF ALL PROPOSED PLANT MATERIAL SHALL BE STAKED AND APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT BEFORE ANY OF THE PROPOSED PLANT MATERIAL IS INSTALLED BY THE LANDSCAPE CONTRACTOR.

B. ALL PITS SHALL BE GENERALLY CIRCULAR IN OUTLINE, VERTICAL SIDES, DEPTH SHALL NOT BE LESS THAN 6" DEEPER THAN THE ROOT BALL, DIAMETER SHALL NOT BE LESS THAN TWO TIMES THE DIAMETER OF THE ROOT BALL AS SET FORTH IN THE FOLLOWING SCHEDULE.

C. IF AREAS ARE DESIGNATED AS SHRUB BEDS OR HEDGE TRENCHES, THEY SHALL BE EXCAVATED TO AT LEAST 18" DEPTH MINIMUM. AREAS DESIGNATED FOR GROUND COVERS AND VINES SHALL BE EXCAVATED TO AT LEAST 12" IN DEPTH MINIMUM.

D. DIAMETER AND DEPTH OF TREE PITS SHALL GENERALLY BE AS FOLLOWS:

PLANT SIZE	ROOT BALL	PIT DIA.	PIT DEPTH
3" - 3.5" CAL.	32"	64"	28"
3.5" - 4" CAL.	36"	72"	32"
4" - 4.5" CAL.	40"	80"	36"
4.5" - 5" CAL.	44"	88"	40"
5" - 5.5" CAL.	48"	96"	44"
5.5" - 6" CAL.	52"	104"	48"

A 20% COMPACTION FIGURE OF THE SOIL TO BE REMOVED IS ASSUMED AND WILL BE ALLOWED IN CALCULATION OF EXTRA TOPSOIL. THE TABULATED PIT SIZES ARE FOR PURPOSES OF UNIFORM CALCULATION AND SHALL NOT OVERRIDE THE SPECIFIED DEPTHS BELOW THE BOTTOMS OF THE ROOT BALLS.

4. STAKING, GUYING AND WRAPPING

ALL PLANT MATERIAL SHALL BE STAKED OR GUYED, AND WRAPPED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

A. STAKES: SHALL BE SOUND WOOD 2" X 2" ROUGH SAWN OAK OR SIMILAR DURABLE WOODS OR LENGTHS, MINIMUM 1'-0" FOR MAJOR TREES AND 5'-0" MINIMUM FOR MINOR TREES.

B. WIRE AND CABLE: WIRE SHALL BE #10 GA. GALVANIZED OR BETHANIZED ANNEALED STEEL WIRE. FOR TREES OVER 3" CALIPER, PROVIDE 5/16" TURN BUCKLES, EYE AND EYE WITH 4" TAKE-UP. FOR TREES OVER 5" CALIPER, PROVIDE 3/8", 7 STRAND CABLE CADMIUM PLATED STEEL, WITH GALVANIZED "EYE" THIMBLES OF WIRE AND HOSE ON TREES UP TO 5" IN CALIPER.

C. HOSE: SHALL BE NEW, 2 PLY REINFORCED RUBBER HOSE, MINIMUM 1/2" I.D. "PLASTIC LOCK TIES" OR "PAUL'S TREES BRACES" MAY BE USED IN PLACE OF WIRE AND HOSE ON TREES UP TO 3" IN CALIPER.

D. ALL TREES UNDER 3" IN CALIPER ARE TO BE PLANTED AND STAKED IN ACCORDANCE WITH THE ATTACHED PLANTING DETAILS.

5. PLANT PRUNING, EDGING AND MULCHING

A. EACH TREE, SHRUB OR VINE SHALL BE PRUNED IN AN APPROPRIATE MANNER TO ITS PARTICULAR REQUIREMENTS, IN ACCORDANCE WITH ACCEPTED STANDARD PRACTICE. BROKEN OR BRUISED BRANCHES SHALL BE REMOVED WITH CLEAN CUTS FLUSH WITH THE ADJACENT TRUNK OR BRANCHES. ALL CUTS OVER 1" IN DIAMETER SHALL BE PAINTED WITH AN APPROVED ANTISEPTIC TREE WOUND DRESSING.

B. ALL TRENCHES AND SHRUB BEDS SHALL BE EDGED AND CULTIVATED TO THE LINES SHOWN ON THE DRAWINGS. THE AREAS AROUND ISOLATED PLANTS SHALL BE EDGED AND CULTIVATED TO THE FULL DIAMETER OF THE PIT. SOD WHICH HAS BEEN REMOVED AND STACKED SHALL BE USED TO TRIM THE EDGES OF ALL EXCAVATED AREAS TO THE NEAT LINES OF THE PLANT PIT SAUCERS, THE EDGES OF SHRUB AREAS, HEDGE TRENCHES AND VINE POCKETS.

C. AFTER CULTIVATION, ALL PLANT MATERIALS SHALL BE MULCHED WITH A 3" LAYER OF FINE, SHREDDED PINE BARK, PEAT MOSS, OR ANOTHER APPROVED MATERIAL OVER THE ENTIRE AREA OF THE BED OR SAUCER.

6. PLANT INSPECTION AND ACCEPTANCE

THE DESIGN REVIEW COMMITTEE SHALL BE RESPONSIBLE FOR INSPECTING ALL PLANTING PROJECTS ON A PERIODIC BASIS TO ASSURE THAT ALL WORK IS PROCEEDING IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.

7. PLANT GUARANTEE

ALL PLANT MATERIAL SHALL BE GUARANTEED FOR THE DURATION OF ONE FULL GROWING SEASON, AFTER FINAL INSPECTION AND ACCEPTANCE OF THE WORK IN THE PLANTING PROJECT. PLANTS SHALL BE ALIVE AND IN SATISFACTORY GROWING CONDITION AT THE END OF THE GUARANTEE PERIOD.

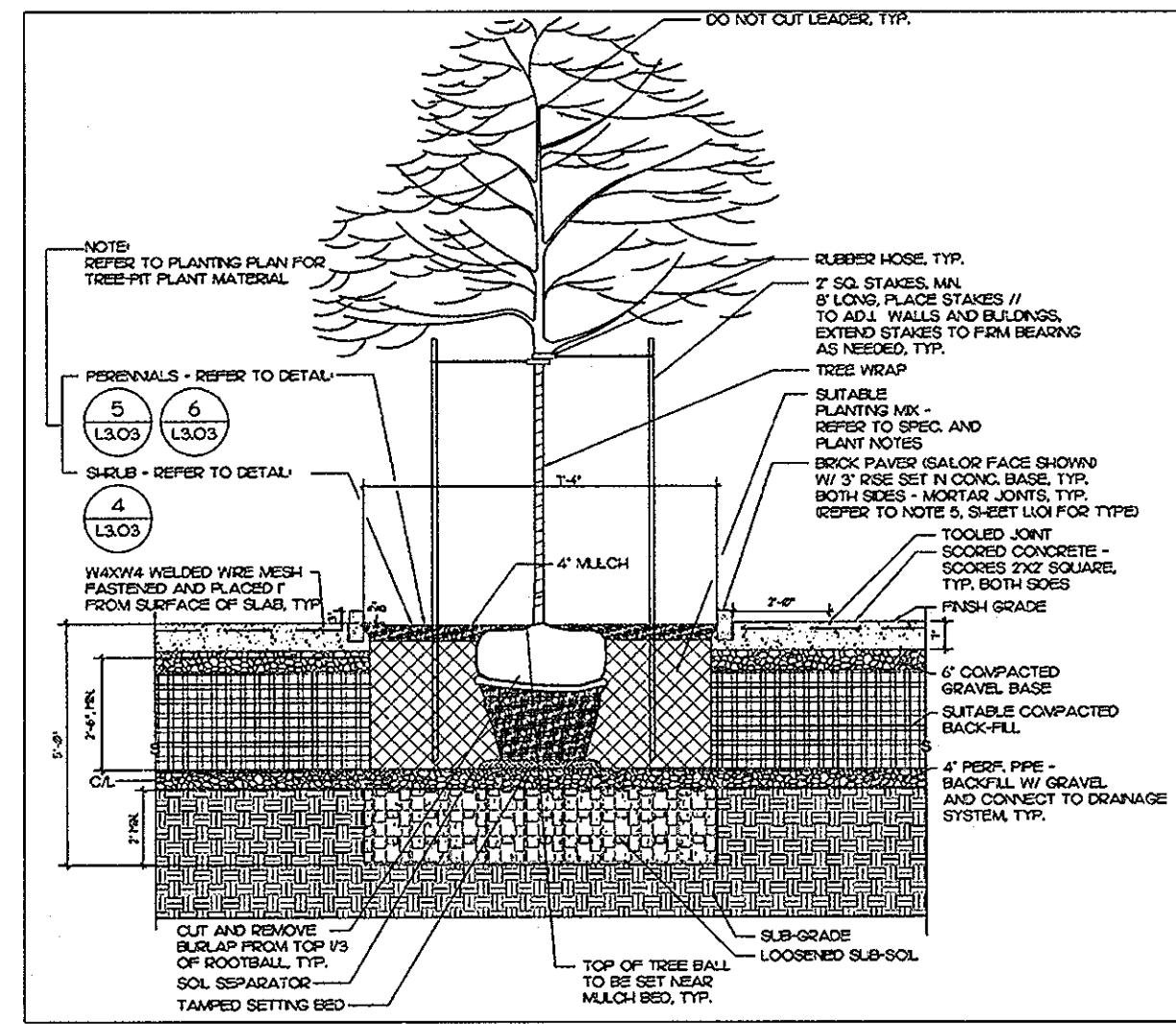
A. FOR THIS PURPOSE, THE "GROWING SEASON" SHALL BE THAT PERIOD BETWEEN THE END OF THE "SPRING" PLANTING SEASON, AND THE COMMENCEMENT OF THE "FALL" PLANTING SEASON.

B. GUARANTEE FOR PLANTING PERFORMED AFTER THE SPECIFIED END OF THE "SPRING" PLANTING SEASON, SHALL BE EXTENDED THROUGH THE END OF THE NEXT FOLLOWING "SPRING" PLANTING SEASON.

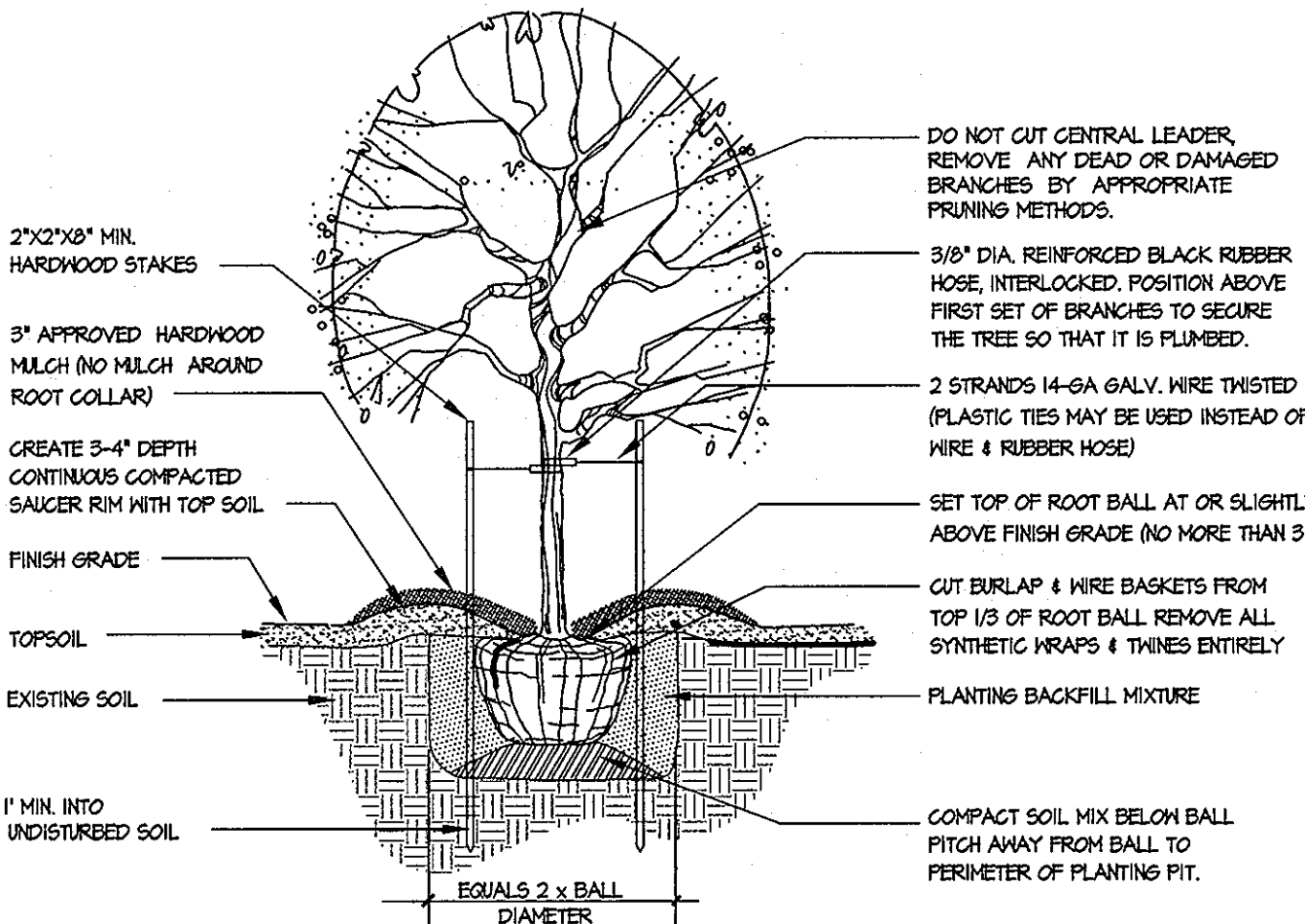
SODDING

ALL SODDING SHALL BE IN ACCORDANCE TO THE "LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS" LATEST EDITION, APPROVED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF METROPOLITAN WASHINGTON AND THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS.

ALL SOD SHALL BE STRONGLY ROOTED SOD, NOT LESS THAN TWO YEARS OLD AND FREE OF WEEDS AND UNDESIRABLE NATIVE GRASSES. PROVIDE ONLY SOD CAPABLE OF GROWTH DEVELOPMENT WHEN PLANTED AND IN STRIPS NOT MORE THAN 18" WIDE X 4" LONG. PROVIDE SOD COMPOSED PRINCIPALLY OF IMPROVED STRAIN KENTUCKY BLUEGRASS, SUCH AS, COLUMBIA, VICTA, OR ESCORT.

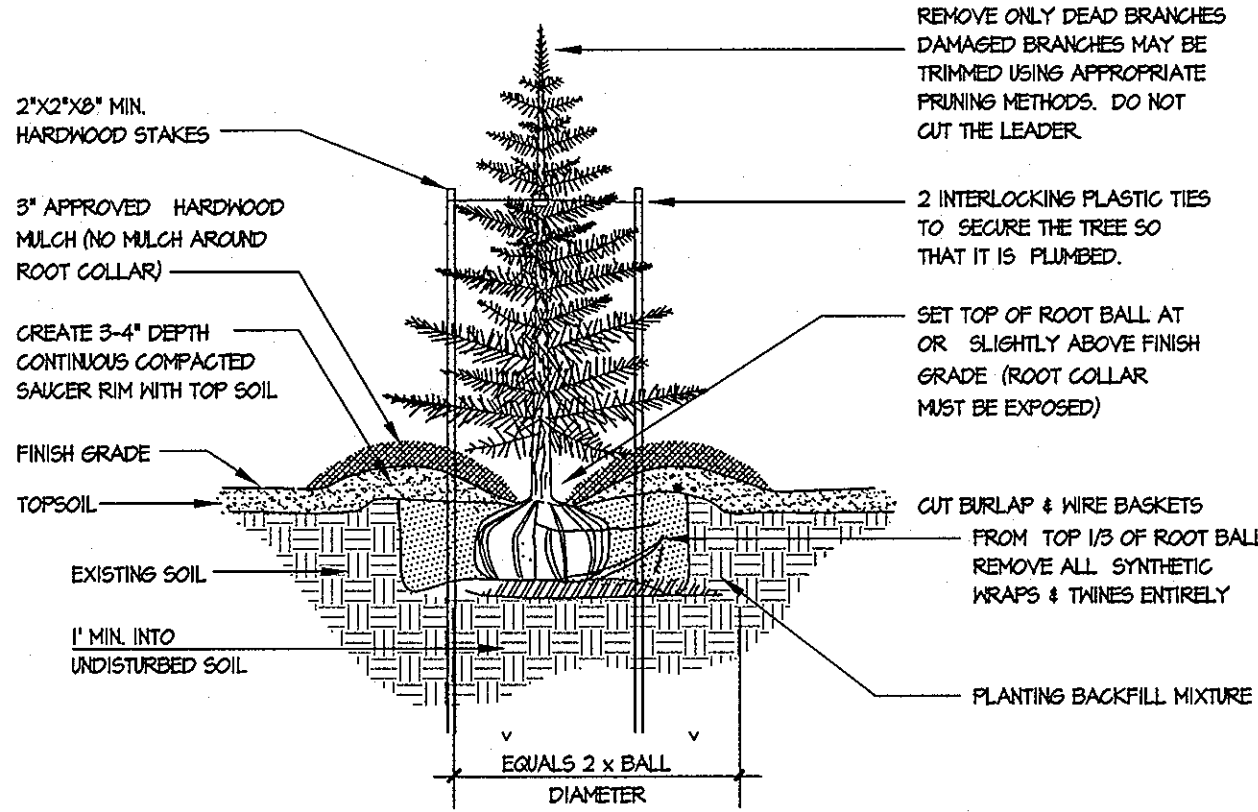


TREE PLANTER DETAIL
SCALE: 1"=4'



NOTE: ALL SUPPORTING DEVICES (STAKES, WIRES, ETC.) SHALL BE REMOVED AFTER 2 GROWING SEASONS.

DECIDUOUS TREE PLANTING DETAIL
FOR PLANTING MATERIAL UP TO 3 1/2" CALIPER NTS



NOTE: ALL SUPPORTING DEVICES (STAKES, TIES, ETC.) SHALL BE REMOVED AFTER 2 GROWING SEASONS.

EVERGREEN TREE PLANTING DETAIL NTS

SCHEDULE-A: PERIMETER LANDSCAPE EDGE			
CATEGORY	PROJECT PERIMETER ADJACENT TO ROADWAY (MD RTE. 216)	BUILDING LENGTH (REAR & SIDES)	
LOCATION / USE SITUATION	PARKING AREA	LOADING (Dumpster)	SIDES & REAR OF STORE BLDG.
LANDSCAPE BUFFER TYPE	TYPE-E	TYPE-D	1 SHRUB PER 4 LF OF BLDG LENGTH
LINEAR FEET OF ROADWAY/ PERIMETER FRONTAGE/BLDG.	658'	15'	712'
CREDIT FOR EX. VEGETATION (YES, NO, LINEAR FEET, DESCRIBE BELOW IF NEEDED)	NONE	NONE	NONE
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET, DESCRIBE BELOW IF NEEDED)	404' where the parking lot is lower than the R/W by at least 3' (leaving 254' of required shrub planting)	NONE	NONE
NUMBER OF PLANTS REQUIRED	17 (for 658' at 1:40)	1	N/A
SHADE TREES	0	2	N/A
EVERGREEN TREES	0	0	N/A
ORNAMENTALS	0	0	N/A
SHRUBS	64 (for 254' at 1:4)	0	17B
NUMBER OF PLANTS PROVIDED			
SHADE TREES	14	1	N/A
EVERGREEN TREES	0	2	N/A
ORNAMENTALS	0	0	N/A
SHRUBS	30 + 68 = 98	0	17B
SUBSTITUTIONS MADE	30 shrubs (Viburnum) for 3 shade trees		

LANDSCAPE SURETY REQUIRED FOR SCHEDULE-A:
 SCHEDULE 'A' NUMBER OF SHADE TREES FOR BONDING: 10 x \$ 300 = 5,400.00
 SCHEDULE 'A' NUMBER OF EVERGREEN TREES FOR BONDING: 2 x \$ 150 = 300.00
 SCHEDULE 'A' NUMBER OF SHRUBS FOR BONDING: 242 x \$ 30 = 7,260.00
 SCHEDULE 'A' NUMBER OF ORNAMENTAL TREES FOR BONDING: 0 x \$ 150 = 0.00
TOTAL LANDSCAPE SURETY FOR SCHEDULE-A \$12,960.00

PLANTING PER THE MLF LANDSCAPE DESIGN CRITERIA (PART-F)

SCHEDULE B -- PARKING LOT INTERNAL LANDSCAPING	
NUMBER OF PARKING SPACES	504 SPACES (new spaces, excluding the parallel spaces in the private access road (west).
NUMBER OF TREES REQUIRED	26 (1 SHADE TREE PER 20 PARKING SPACES)
NUMBER OF TREES PROVIDED	
SHADE TREES	OVER 30
OTHER TREES (2:1 substitution)	N/A

LANDSCAPE SURETY REQUIRED FOR SCHEDULE-B:
 SCHEDULE 'B' NUMBER OF SHADE TREES FOR BONDING: 26 x \$300 = \$ 7,800.00

PLANT LIST				
SYMBOL	QUANT.	SIZE	NAME (BOTANICAL/COMMON) OF PLANTS FOR SELECTION BY OWNER/BUYER	COMMENTS
(Symbol)	15	25" CAL.	CHOOSE FROM THE FOLLOWING: ACER RUBRUM / OCTOBER GLORY / OCTOBER GLORY RED MAPLE	ALL B&B
(Symbol)	43	25" CAL.	QUERCUS PRALISTRIS / PIN OAK ZELKOVA SERRATA VILLAGE GREEN / VILLAGE GREEN ZELKOVA	
(Symbol)	25	8' HT. MIN.	PINUS STROBUS / EASTERN WHITE PINE	B&B. ALL SHALL HAVE AN INTACT CENTRAL LEADER
(Symbol)	2	8' HT. MIN.	PINUS THABERSIANA / JAPANESE BLACK PINE	
(Symbol)	246	ALL 24" - 30" SPREAD	CHOOSE FROM THE FOLLOWING: AZALEA VAR.: DELAWARE VALLEY WHITE; HERSEY RED; WINDY CRIMSON BERBERIS THUNDERBOLT / ATROCARPUS CRIMSON PYGMY / CRIMSON PYGMY BARBERRY DEUTZIA GRACILIS / SLENDER DEUTZIA ILEX CRENATA HELLEY / DWARF JAPANESE HOLLY ILEX GLABRA COMPACTA / DWARF HICKBERRY MAHONIA AQUIFOLIUM / OREGON GRAPE HOLLY SPIREA NIPPONICA 'SNOWMOUND' / SNOWMOUND SPIREA TAXUS MEDIA 'DESIFORMIS' / DENSIFORMIS YEW	ALL CONTAINERIZED. SHRUBS ALONG RTE. 216 SHALL BE ONE WITH AN ASTERISK (*).
(Symbol)	30	30" MIN SPREAD	*VIBURNUM RHYTHIDOPHYLLUM / LEATHERLEAF VIBURNUM	

NOTES:
 1. THE OWNER, TENANTS AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.

2. AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN, SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.

LANDSCAPE NOTES and DETAILS

MAPLE LAWN FARMS
 WESTSIDE DISTRICT - AREA 1
 Parcel B-6 (Harris Teeter Store No. 323)
 PLAT No. 1222, TAX MAP PARCEL No. 116
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
NO SCALE	MXD-3	07064
DATE	TAX MAP - GRID	SHEET
April/2008	41-21&22 45-3	11 OF 11

APPROVED
PLANNING BOARD OF HOWARD COUNTY
 DATE MARCH 13, 2008
15

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: March A. Lough 5/27/08
 Chief, Division of Land Development: Cathy Smith 5/27/08
 Chief, Development Engineering Division: Paul Henderson 5-27-08

STATE OF MARYLAND
 Michael E. Tran
 933 LANDSCAPE ARCHITECT
 4/16/08

SHRUB PLANTING DETAIL NTS

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3509 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-880-1820 DC/WA: 301-989-2524 FAX: 301-421-4186

PREPARED FOR:
 MAPLE LAWN HT, LLC. (Owner)
 SUITE 300 WOODBRIKE CENTER
 1825 RESTERSTOWN RD
 BALTIMORE, MD 21208
 ATTN: CHARLIE O'DONOVAN
 410-684-8400

DATE	REVISION	BY	APPR.

ELECTION DISTRICT No. 5

SPECIFICATIONS: PLANT MATERIALS AND PLANTING METHODS

A. PLANT MATERIALS

THE LANDSCAPE CONTRACTOR SHALL FURNISH AND INSTALL AND/OR DIG, BALL, BURLAP AND TRANSPORT ALL OF THE PLANT MATERIALS CALLED FOR ON DRAWINGS AND/OR LISTED IN THE PLANT SCHEDULE.

1. PLANT NAMES

PLANT NAMES USED IN THE PLANT SCHEDULE SHALL CONFORM WITH "STANDARDIZED PLANT NAMES," LATEST EDITION.

2. PLANT STANDARDS

ALL PLANT MATERIAL SHALL BE EQUAL TO OR BETTER THAN THE REQUIREMENTS OF THE "NSA STANDARD FOR NURSERY STOCK," LATEST EDITION, AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN (HERE, AFTER REFERRED TO AS "AA" STANDARDS). ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, SHALL HAVE A NORMAL HABIT OF GROWTH AND SHALL BE FIRST QUALITY, SOUND, VIGOROUS, WELL-BRANCHED AND WITH HEALTHY, WELL-FURNISHED ROOT SYSTEMS. THEY SHALL BE FREE OF DISEASE, INSECT PESTS AND MECHANICAL INJURIES.

ALL PLANTS SHALL BE NURSERY GROWN AND SHALL HAVE BEEN GROWN UNDER THE SAME CLIMATE CONDITIONS AS THE LOCATION OF THIS PROJECT FOR AT LEAST TWO YEARS BEFORE PLANTING. NEITHER HELED-IN PLANTS NOR PLANTS FROM COLD STORAGE WILL BE ACCEPTED.

3. PLANT MEASUREMENTS

ALL PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED IN THE PLANT SCHEDULE AS APPROVED BY THE DESIGN REVIEW COMMITTEE (DRG).

A. CALIPER MEASUREMENTS SHALL BE TAKEN SIX INCHES (6") ABOVE GRADE FOR TREES UNDER FOUR-INCH (4") CALIPER AND TWELVE (12") ABOVE GRADE FOR TREES FOUR INCHES (4") IN CALIPER AND OVER.

B. MINIMUM BRANCHING HEIGHT FOR ALL SHADE TREES SHALL BE SIX FEET (6'), MAXIMUM EIGHT FEET (8').

C. CALIPER, HEIGHT, SPREAD AND SIZE OF BALL SHALL BE GENERALLY AS FOLLOWS:

CALIPER	HEIGHT	SPREAD	SIZE OF BALL
3" - 3.5"	14'-16'	6'-8'	32" DIAMETER
3.5" - 4"	14'-16'	8'-10'	36" DIAMETER
4" - 4.5"	16'-18'	8'-10'	40" DIAMETER
4.5" - 5"	16'-18'	10'-12'	44" DIAMETER
5" - 5.5"	16'-20'	10'-12'	48" DIAMETER
5.5" - 6"	18'-20'	12'-14'	52" DIAMETER

ALL PLANT MATERIAL SHALL GENERALLY AVERAGE THE MEDIAN FOR THE SIZE RANGES INDICATED ABOVE AS INDICATED IN THE "AA STANDARDS".

4. PLANT IDENTIFICATION

LEGIBLE LABELS SHALL BE ATTACHED TO ALL SHADE TREES, MINOR TREES, SPECIMEN SHRUBS AND BUNDLES OR BOXES OF OTHER PLANT MATERIAL GIVING THE BOTANICAL AND COMMON NAMES, SIZE AND QUANTITY OF EACH. EACH SHIPMENT OF PLANTS SHALL BEAR CERTIFICATES OF INSPECTION AS REQUIRED BY FEDERAL, STATE AND COUNTY AUTHORITIES.

5. PLANT INSPECTION

THE DESIGN REVIEW COMMITTEE MAY, UPON REQUEST BY THE BUILDER OR DEVELOPER, AT LEAST TEN (10) DAYS PRIOR TO THE INSTALLATION OF ANY PROPOSED PLANT MATERIAL, INSPECT ALL PROPOSED PLANT MATERIAL AT THE SOURCE OF ORIGIN.

B. PLANTING METHODS

ALL PROPOSED PLANT MATERIALS THAT MEET THE SPECIFICATIONS IN SECTION A ARE TO BE PLANTED IN ACCORDANCE WITH THE FOLLOWING METHODS DURING THE PROPER PLANTING SEASONS AS DESCRIBED IN THE FOLLOWING:

1. PLANTING SEASONS

THE PLANTING OF DECIDUOUS TREES, SHRUBS AND VINES SHALL BE FROM MARCH 1ST TO JUNE 15TH AND FROM SEPTEMBER 15TH TO DECEMBER 15TH. PLANTING OF DECIDUOUS MATERIAL MAY BE CONTINUED DURING THE WINTER MONTHS PROVIDING THERE IS NO FROST IN THE GROUND AND FROST-FREE TOPSOIL PLANTING MIXTURES ARE USED.

THE PLANTING OF EVERGREEN MATERIAL SHALL BE FROM MARCH 15TH TO JUNE 15TH AND FROM AUGUST 15TH TO DECEMBER 15TH. NO PLANTING SHALL BE DONE WHEN THE GROUND IS FROZEN OR EXCESSIVELY MOIST. NO FROZEN OR WET TOPSOIL SHALL BE USED AT ANY TIME.

2. DIGGING

ALL PLANT MATERIAL SHALL BE DUG, BALLED AND BURLAPPED (B4B) IN ACCORDANCE WITH THE "AA STANDARDS".

3. EXCAVATION OF PLANT PITS

THE LANDSCAPING CONTRACTOR SHALL EXCAVATE ALL PLANT PITS, VINE PITS, HEDGE TRENCHES AND SHRUB BEDS IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

A. LOCATIONS OF ALL PROPOSED PLANT MATERIAL SHALL BE STAKED AND APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT BEFORE ANY OF THE PROPOSED PLANT MATERIAL IS INSTALLED BY THE LANDSCAPE CONTRACTOR.

B. ALL PITS SHALL BE GENERALLY CIRCULAR IN OUTLINE, VERTICAL SIDES; DEPTH SHALL NOT BE LESS THAN 6" DEEPER THAN THE ROOT BALL, DIAMETER SHALL NOT BE LESS THAN TWO TIMES THE DIAMETER OF THE ROOT BALL AS SET FORTH IN THE FOLLOWING SCHEDULE.

C. IF AREAS ARE DESIGNATED AS SHRUB BEDS OR HEDGE TRENCHES, THEY SHALL BE EXCAVATED TO AT LEAST 18" DEPTH MINIMUM. AREAS DESIGNATED FOR GROUND COVERS AND VINES SHALL BE EXCAVATED TO AT LEAST 12" IN DEPTH MINIMUM.

D. DIAMETER AND DEPTH OF TREE PITS SHALL GENERALLY BE AS FOLLOWS:

PLANT SIZE	ROOT BALL	PIT DIA.	PIT DEPTH
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C. HOSE: SHALL BE NEW 2 PLY REINFORCED RUBBER HOSE, MINIMUM 1/2" I.D. "PLASTIC LOCK TIES" OR "PAUL'S" TREES BRACES" MAY BE USED IN PLACE OF WIRE AND HOSE ON TREES UP TO 3" IN CALIPER.

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C. AFTER CULTIVATION, ALL PLANT MATERIALS SHALL BE MULCHED WITH A 3" LAYER OF FINE, SHREDDED PINE BARK, PEAT MOSS, OR ANOTHER APPROVED MATERIAL OVER THE ENTIRE AREA OF THE BED OR SAUCER.

6. PLANT INSPECTION AND ACCEPTANCE

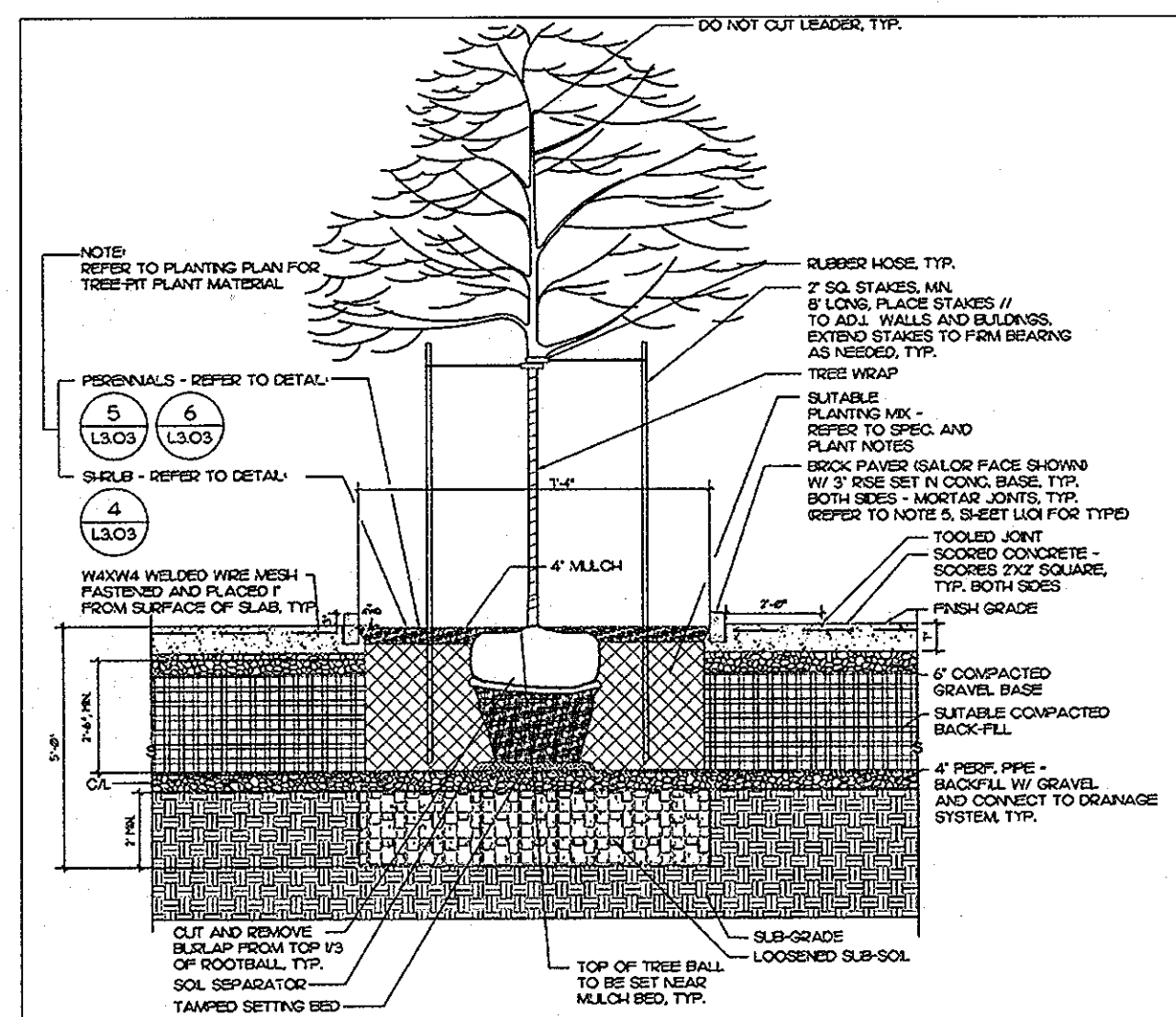
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7. PLANT GUARANTEE

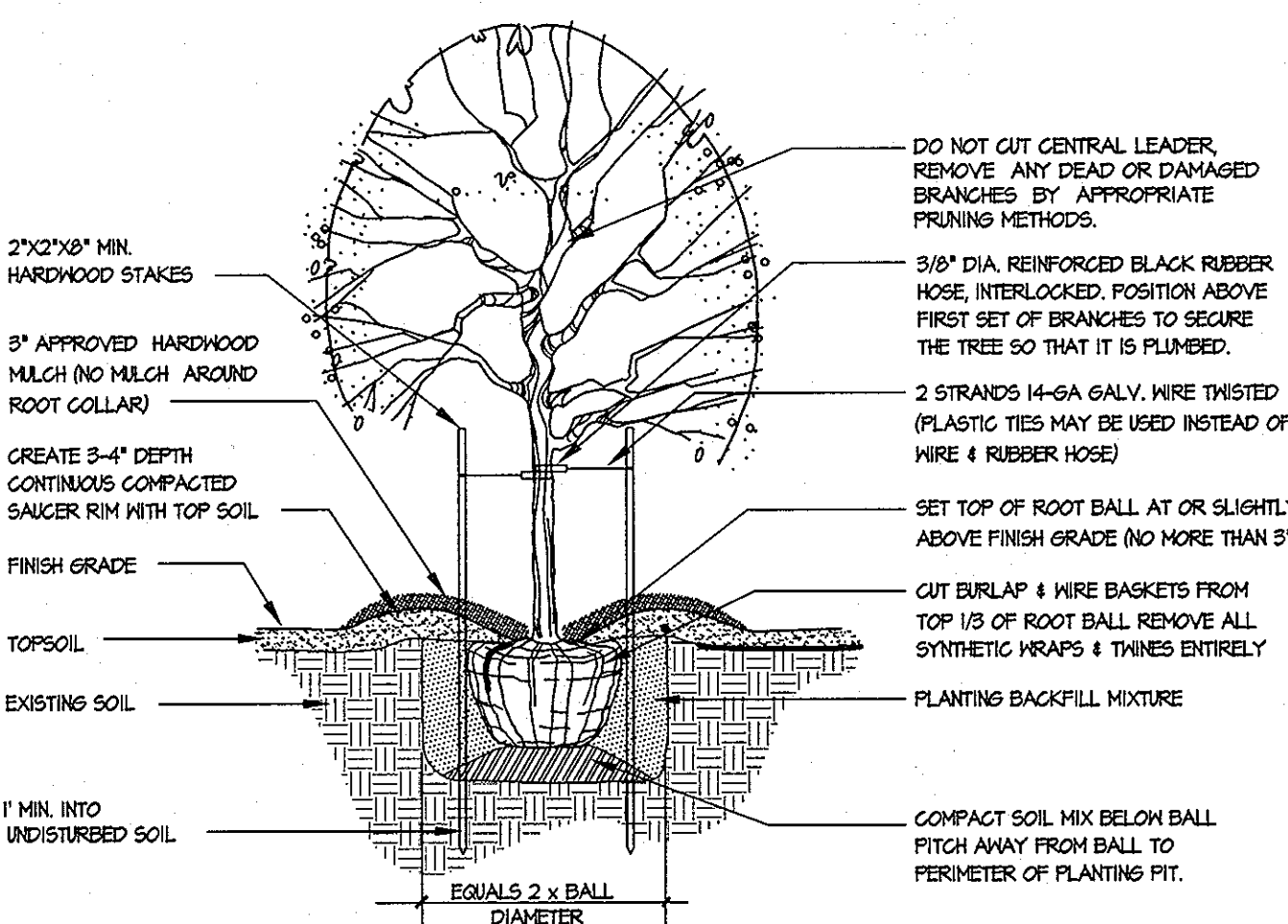
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A. FOR THIS PURPOSE, THE "GROWING SEASON" SHALL BE THAT PERIOD BETWEEN THE END OF THE "SPRING" PLANTING SEASON, AND THE COMMENCEMENT OF THE "FALL" PLANTING SEASON.

B. GUARANTEE FOR PLANTING PERFORMED AFTER THE SPECIFIED END OF THE "SPRING" PLANTING SEASON SHALL BE EXTENDED THROUGH THE END OF THE NEXT FOLLOWING "SPRING" PLANTING SEASON.



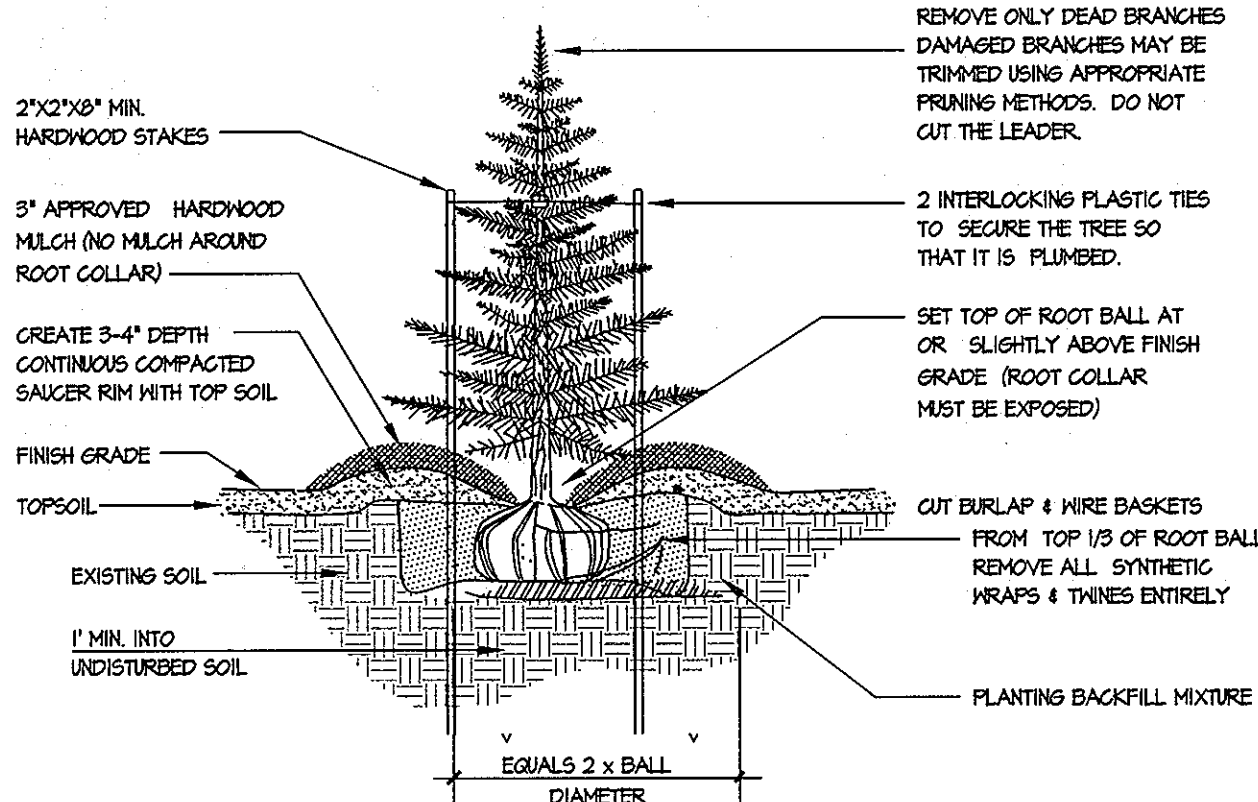
TREE PLANTER DETAIL
SCALE: 1"=4'



NOTE: ALL SUPPORTING DEVICES (STAKES, WIRES, ETC.) SHALL BE REMOVED AFTER 2 GROWING SEASONS.

DECIDUOUS TREE PLANTING DETAIL

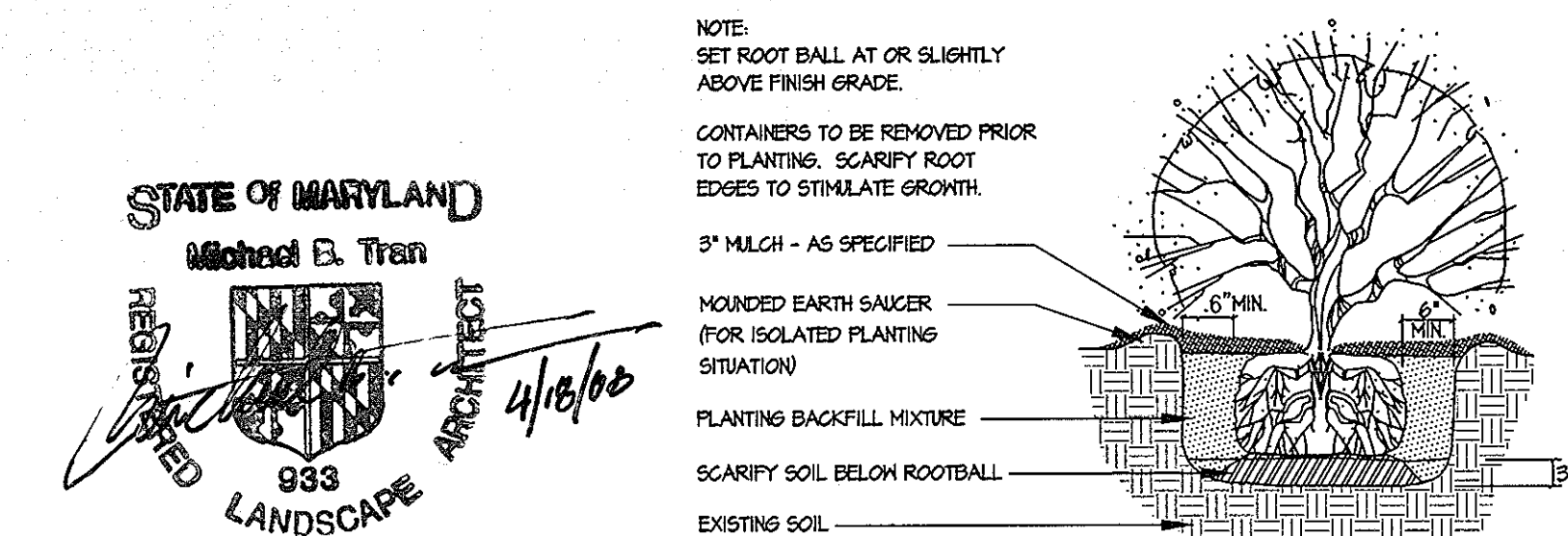
FOR PLANTING MATERIAL UP TO 3 1/2" CALIPER NTS



NOTE: ALL SUPPORTING DEVICES (STAKES, TIES, ETC.) SHALL BE REMOVED AFTER 2 GROWING SEASONS.

EVERGREEN TREE PLANTING DETAIL

NTS



SHRUB PLANTING DETAIL

NTS

SCHEDULE-A: PERIMETER LANDSCAPE EDGE			
CATEGORY	PROJECT PERIMETER ADJACENT TO ROADWAY (MD RTE. 216)	BUILDING LENGTH (REAR & SIDES)	
LOCATION / USE SITUATION	PARKING AREA	LOADING (dumpster)	SIDES & REAR OF STORE BLDG.
LANDSCAPE BUFFER TYPE	TYPE-E	TYPE-D	1 SHRUB PER 4 LF OF BLDG LENGTH
LINEAR FEET OF ROADWAY/ PERIMETER FRONTAGE/BLDG.	658'	15'	712'
CREDIT FOR EX. VEGETATION (YES, NO, LINEAR FEET; DESCRIBE BELOW IF NEEDED)	NONE	NONE	NONE
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET; DESCRIBE BELOW IF NEEDED)	404' where the parking lot is lower than the R/W by at least 3' (leaving 254' of required shrub planting)	NONE	NONE
NUMBER OF PLANTS REQUIRED			
SHADE TREES	11 (for 658' at 1:40)	1	N/A
EVERGREEN TREES	0	2	N/A
ORNAMENTALS	0	0	N/A
SHRUBS	64 (for 254' at 1:4)	0	170
NUMBER OF PLANTS PROVIDED			
SHADE TREES	14	1	N/A
EVERGREEN TREES	0	2	N/A
ORNAMENTALS	0	0	N/A
SHRUBS	30 + 68 = 98	0	170
SUBSTITUTIONS MADE	30 shrubs (Viburnum) for 3 shade trees		

LANDSCAPE SURETY REQUIRED FOR SCHEDULE-A:
 SCHEDULE 'A' NUMBER OF SHADE TREES FOR BONDING: 18 x \$300 = 5,400.00
 SCHEDULE 'A' NUMBER OF EVERGREEN TREES FOR BONDING: 2 x \$150 = 300.00
 SCHEDULE 'A' NUMBER OF SHRUBS FOR BONDING: 242 x \$50 = 12,100.00
 SCHEDULE 'A' NUMBER OF ORNAMENTAL TREES FOR BONDING: 0 x \$150 = 0.00
 TOTAL LANDSCAPE SURETY FOR SCHEDULE-A \$12,800.00

PLANTING PER THE MLF LANDSCAPE DESIGN CRITERIA (PART-F)

SCHEDULE B - PARKING LOT INTERNAL LANDSCAPING	
NUMBER OF PARKING SPACES	654 SPACES (new spaces, excluding the parallel spaces in the private access road (west).
NUMBER OF TREES REQUIRED	1.7 (1 SHADE TREE PER 20 PARKING SPACES)
NUMBER OF TREES PROVIDED	
SHADE TREES	OVER 30
OTHER TREES (2:1 substitution)	N/A

LANDSCAPE SURETY REQUIRED FOR SCHEDULE-B
 SCHEDULE 'B' NUMBER OF SHADE TREES FOR BONDING: 1.6 x \$300 = \$1,800.00

PLANT LIST				
SYMBOL	QUANT.	SIZE	NAME (BOTANICAL/COMMON) OF PLANTS FOR SELECTION BY OWNER/BUYER	COMMENTS
(Symbol)	15	25" CAL.	CHOOSE FROM THE FOLLOWING: AZALEA VAR. DELAWARE VALLEY WHITE; HERSHEY RED; MIMO CRIMSON BERBERIS THUNDERFLY ATROPURPUREA CRIMSON PYRAM / CRIMSON PIGMY BARBERRY	ALL B4B
(Symbol)	45	25" CAL.	AGER BUBBER; OCTOBER GLORY; OCTOBER GLORY RED MAPLE GERARDIA PALMERII; PINK OAK ZELKOVA SERRATA VILLAGE GREEN / VILLAGE GREEN ZELKOVA	
(Symbol)	25	8' HT. MIN.	PINUS STROBUS / EASTERN WHITE PINE	B4B, ALL SHALL HAVE AN INTACT CENTRAL LEADER
(Symbol)	2	8' HT. MIN.	PINUS THUNBERGIANA / JAPANESE BLACK PINE	
(Symbol)	2.47	ALL 24" - 30" SPREAD	CHOOSE FROM THE FOLLOWING: AZALEA VAR. DELAWARE VALLEY WHITE; HERSHEY RED; MIMO CRIMSON BERBERIS THUNDERFLY ATROPURPUREA CRIMSON PYRAM / CRIMSON PIGMY BARBERRY DEUTZIA GRACILIS / SLENDER DEUTZIA ILEX CRISTATA HELLER / DWARF JAPANESE HOLLY ILEX GLABRA 'CONFECTA' / DWARF INK BERRY MAHONIA AQUIFOLIUM / OREGON GRAPE HOLLY SPIREA JAPONICA SNOWMOUND / SNOWMOUND SPIREA TAUNUS MEDIA 'DESIFORMIS' / DENIFORMIS YEW	ALL CONTAINERIZED. SHRUBS ALONG RTE. 216 SHALL BE ONE WITH AN ASTERISK (*).
(Symbol)	30	30" MIN. SPREAD	VIBURNUM RHYTHIDOPHYLLUM / LEATHERLEAF VIBURNUM	

NOTES:
 1. THE OWNER, TENANTS AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
 2. AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN, SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.

APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 DATE MARCH 13, 2008
 [Signature]

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 [Signature] 5/27/08
 Director Date
 [Signature] 5/27/08
 Chief, Division of Land Development Date
 [Signature] 5-27-08
 Chief, Development Engineering Division Date

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
02/10/08	rev. schedules A & B; rev. plant list	klp	

PREPARED FOR:
 MAPLE LAWN HT, LLC (Owner)
 SUITE 300 WOODHURST CENTER
 1829 RIVERSIDE TOWN RD
 BALTIMORE, MD 21208
 ATTN: CHARLIE ODONOVAN
 410-484-8400

LANDSCAPE NOTES and DETAILS

MAPLE LAWN FARMS
 WESTSIDE DISTRICT - AREA 1
 Parcel B-6 (Harris Teeter Store No. 323)
 PLAT No. 12222, TAX MAP PARCEL No. 116
 ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE No.
NO SCALE	MXD-3	07064
DATE	TAX MAP - GRID	SHEET
April/2008	41-21&22 46-3	11 OF 11

- GENERAL NOTES**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
 - THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS, BUREAU OF ENGINEERING, CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
 - THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-1171 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
 - PROJECT BACKGROUND:**
LOCATION: TAX MAP #46, GRIDS 3 & 4
ZONING: MXD-3
ELECTION DISTRICT: 5TH
PARCEL B-6 AREA: 4.2382 AC.
REC. REF.: PLAT # 12202, 197007
 - THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, BUREAU OF UTILITIES AT (410) 313-4900 AT LEAST FIVE (5) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION WORK.
 - PROPOSED USE:** RETAIL GROCERY STORE
 - ALL PLAN DIMENSIONS ARE TO FACE OF BUILDING UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIALLY BETWEEN ITEMS UNLESS OTHERWISE NOTED.
 - EXISTING TOPOGRAPHY IS SHOWN PER FIELD RUN SURVEY INFORMATION BY GUTSCHICK, LITTLE & WEBER, P.A. & BY DESIGN GRADES FROM DESIGN PLANS FOR CONSTRUCTION.
 - COORDINATES AND BEARINGS ARE BASED UPON THE '83 MD STATE COORDINATE SYSTEM (NAD 83) AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 41EA, 41EB, 41GA AND NO. 46B2.
 - SITE IS BEING DEVELOPED UNDER MXD-3 REGULATIONS, PER ZB495M, APPROVED ON 2/8/01 AND ZB-1039M APPROVED 03/20/06 AND THE COMPREHENSIVE ZONING PLAN DATED 02/02/04. UNDERLYING ZONING IS RR-DEO AND THE COMP LITE ZONING REGULATION AMENDMENTS DATED 07/28/06.
 - THE PREVIOUS DEPARTMENT OF PLANNING AND ZONING FILE NUMBERS:
S-01-11, S-06-16, ZB-495M, ZB-1039M, PB-393, PB-310, P-07-18, P-08-34, P-08-55, SDP-07-43, W-05-12, W-07-122, W-08-04, SDP-08-09 and P-08-105.
 - WATER AND SEWER SERVICE IS PUBLIC (SEE CONTR. #24-4543-D).
 - FOR EXISTING PUBLIC WATER AND SEWER SEE CONTRACTS 24-4488-D, 44-3305-D and 24-4543-D.
 - ALL ON-SITE STORM DRAIN PRIVATE.
 - STORMWATER MANAGEMENT FOR BOTH QUALITY AND QUANTITY FOR THE DEVELOPMENT PROPOSED BY THESE PLANS WILL BE SATISFIED BY TWO REGIONAL FACILITIES BEING CONSTRUCTED UNDER F-08-35 AND AN EXISTING FACILITY CONSTRUCTED UNDER F-05-07. THE EXISTING FACILITY AND THE FACILITY ON OPEN SPACE LOT 3 WILL BE PUBLICLY OWNED AND MAINTAINED. THE FACILITY ON OPEN SPACE LOT 2 WILL BE PRIVATELY OWNED AND MAINTAINED. THE RECHARGE REQUIREMENTS FOR THIS DEVELOPMENT WILL BE PROVIDED IN A PRIVATELY OWNED AND MAINTAINED FACILITY ON PARCEL B-5. THE RECHARGE FACILITY WILL BE AN INFILTRATION TRENCH LOCATED ON PARCEL B-5 AND CONCEPTUALLY DESIGNED UNDER F-08-054.
 - EXISTING UTILITIES ARE BASED ON APPROVED DESIGN PLANS FOR CONSTRUCTION AND FIELD LOCATION BY GUTSCHICK, LITTLE & WEBER, P.A.
 - THERE ARE NO KNOWN CEMETERIES, GRAVE SITES OR HISTORIC STRUCTURES LOCATED ON THE SUBJECT PROPERTY.
 - THERE ARE NO SCENIC ROADS WITHIN OR ADJACENT TO THE SUBJECT PROPERTY.
 - THERE IS NO FLOODPLAIN WITHIN PARCELS B-6 THRU B-11.
 - THERE ARE NO WETLANDS WITHIN PARCEL B-6 THRU B-11.
 - AS A COMMERCIAL DEVELOPMENT, A NOISE STUDY IS NOT REQUIRED FOR THIS SDP.
 - BUILDING SETBACKS AND BUILDING RESTRICTIONS ARE IN ACCORDANCE WITH THE APPROVED DEVELOPMENT CRITERIA PER S-06-16.
 - THE RESIDENTIAL LOTS, PARCELS AND EMPLOYMENT USE STRUCTURES DEVELOPED OR PROPOSED ON THE ORIGINAL 501 ACRES TRACT FOR MAPLE LAWN FARMS ARE GRANDFATHERED TO THE FOURTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AS DEVELOPED UNDER S-01-11, PB CASE 393 AND ZB CASE NO. 495M. HOWEVER, THE PROPOSED RESIDENTIAL AND EMPLOYMENT USES THAT ARE TO BE DEVELOPED UNDER AMENDED CSP, S-06-16 AND ZB CASE NO. 1039M FOR THE FORMER MESSER AND OLIVER PROPERTIES ARE SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND REGULATIONS PER COUNCIL BILL NO.45-2003 AND THE ZONING REGULATIONS PER COUNCIL BILL NO. 19-2003.
 - THE TRAFFIC STUDY (APFO) WAS APPROVED AS PART OF SKETCH PLAN S-06-016.
 - FOREST CONSERVATION FOR THIS SITE HAS BEEN PROVIDED UNDER F-08-54. THE GRADING WORK UNDER THIS SDP SHALL BE COORDINATED WITH THE FOREST AND LANDSCAPE PLANTING IN OPEN LOT #1 UNDER F-08-54.
 - THE BUILDING WILL HAVE AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM W/ AN INSIDE METER.
 - THE SHARED ACCESS AND PARKING AGREEMENT FOR PARCELS B6 THRU B11 IS RECORDED AT L784 F.353
 - ALL EXTERIOR LIGHT FIXTURES SHALL BE ORIENTED TO DIRECT LIGHT INWARDS AND DOWNWARDS AWAY FROM ALL ADJOINING RESIDENTIAL USE AREAS AND PUBLIC ROADS IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
 - SEE SHEET II FOR LANDSCAPE SURETY REQUIREMENTS.

SITE DEVELOPMENT PLAN

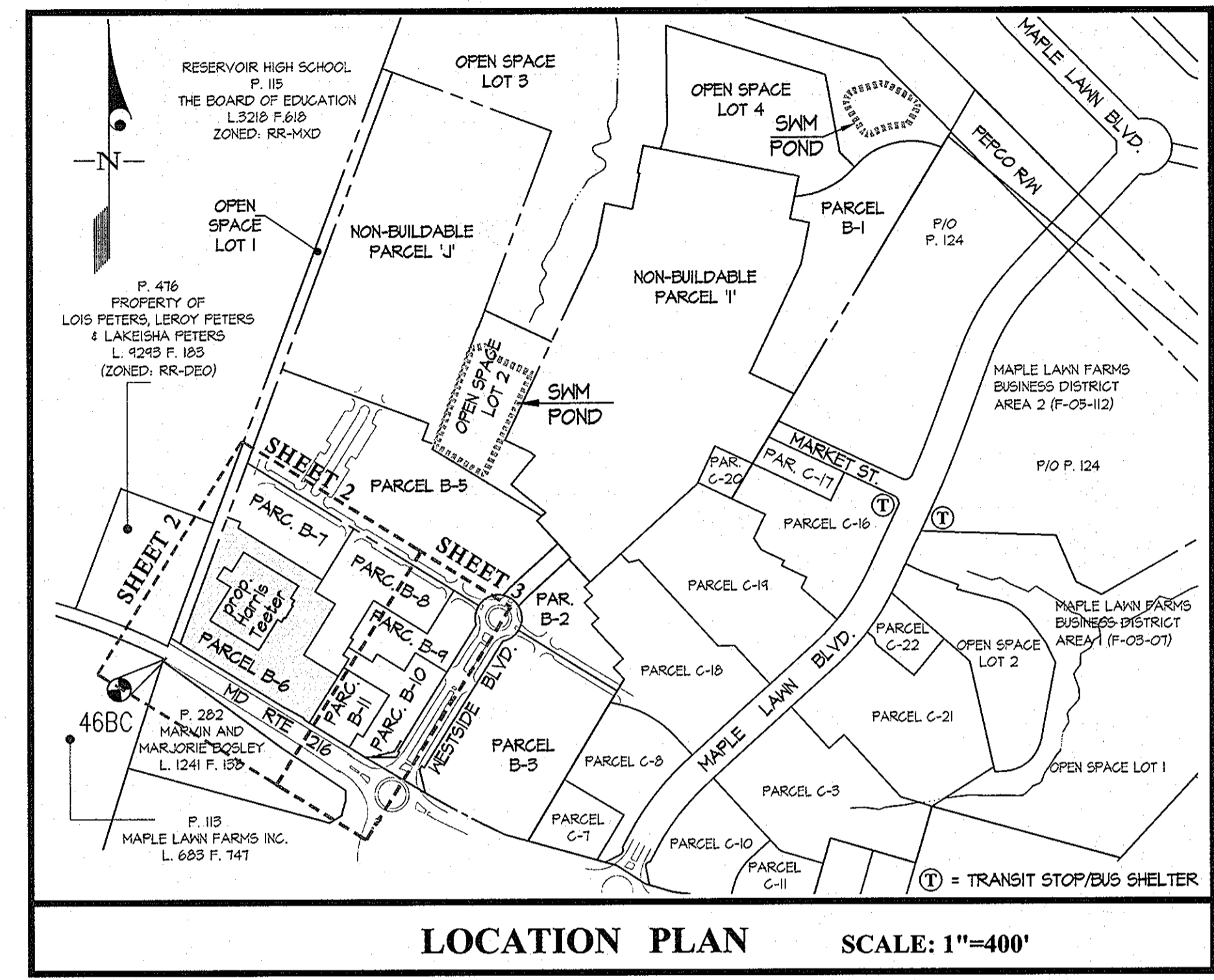
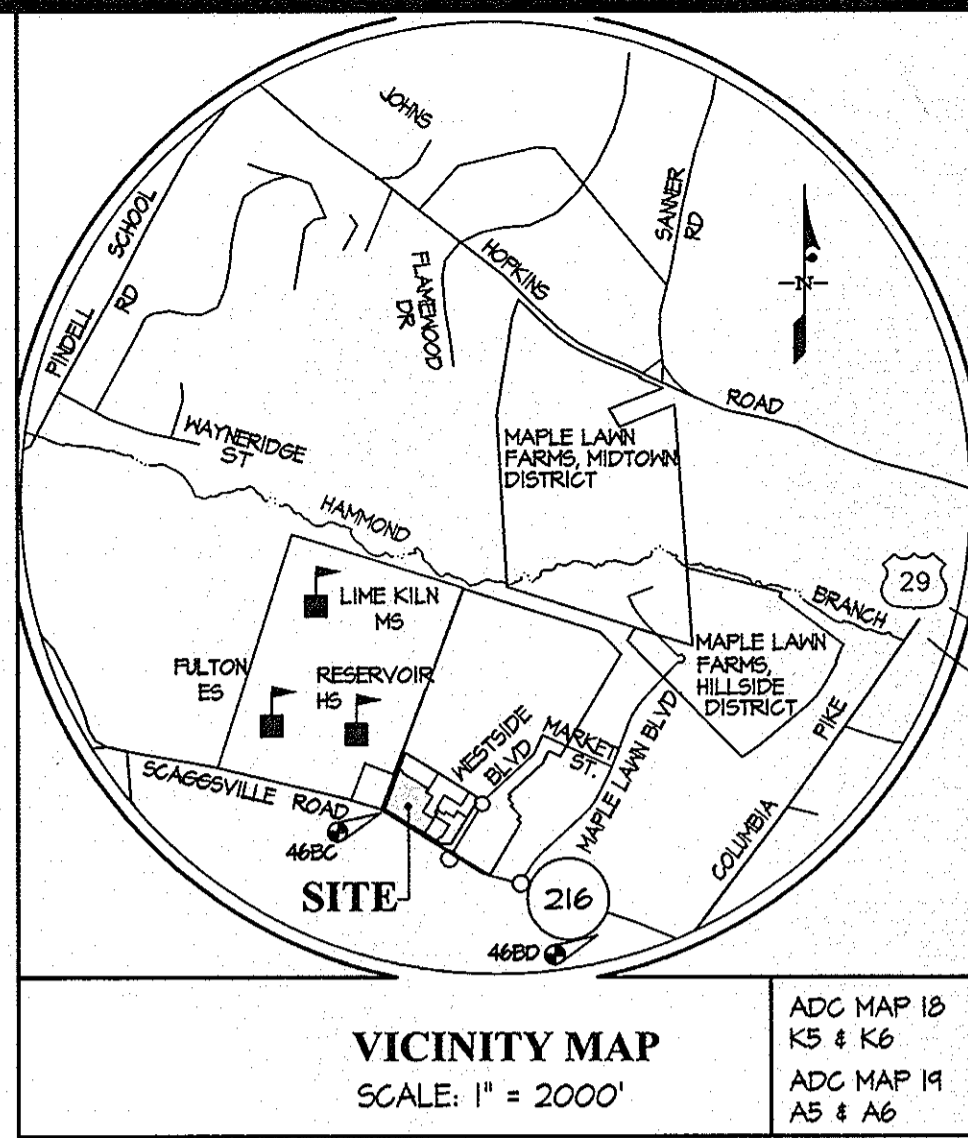
MAPLE LAWN FARMS

Westside District - Area 1

Parcel B-6 (Harris Teeter Store No. 323)

BENCHMARKS

46B2	ELEV. = 471.16	N = 534425.15	E = 1331205.71
STANDARD DISC ON CONCRETE MONUMENT			
46B0	ELEV. = 491.11	N = 533656.76	E = 1334461.55
STANDARD DISC ON CONCRETE MONUMENT			



- SITE INDEX**
- COVER SHEET
 - SITE DEVELOPMENT PLAN
 - SITE DEVELOPMENT PLAN
 - PAVING DELINEATION PLAN AND SITE DETAILS
 - SEDIMENT CONTROL PLAN
 - SEDIMENT CONTROL NOTES AND DETAILS
 - STORM DRAIN DRAINAGE AREA MAP
 - STORM DRAIN AND UTILITY PROFILES
 - STORM DRAIN PROFILES
 - LANDSCAPE PLAN
 - LANDSCAPE NOTES AND DETAILS

RETAIL and SERVICE TRACKING CHART

FILE NUMBER	AREA OF RETAIL
SDP 04-46	10,941 S.F.
SDP 05-08	9,312 S.F.
SDP 05-36	0
SDP 05-41	0
SDP 06-61	0
SDP 06-148	0
SDP 07-02	14,918 S.F.
THIS SDP	40,815 S.F.
TOTAL	24,780 S.F.

A TOTAL OF 152,370 S.F. OF RETAIL IS ALLOWED IN ACCORDANCE WITH S-01-11, OR A TOTAL OF 181,590 S.F. OF RETAIL UNDER S-06-16.

- SITE ANALYSIS DATA**
- GROSS AREA OF PARCEL B-6 = 4.2382 AC
 - LIMIT OF DISTURBED AREA = 8.91 AC
 - ZONING: MXD-3
 - PROPOSED USE: RETAIL GROCERY STORE
 - BUILDING COVERAGE (% OF GROSS ACRESAGE)
44,742 S.F. BUILDING
1,228 S.F. CANOPY
50,970 S.F. or 21.6% of Parcel B-6
 - FLOOR AREA RATIO (F.A.R.) CALCULATIONS
1.418 AC (Bldg. Area) / 4.2382 AC (Parcel B-6 Area) = 0.21 F.A.R.

FLOOR AREA RATIO (F.A.R.) TRACKING CHART

DPZ FILE No.	PARCEL AREA	FLOOR AREA	F.A.R.
SDP-04-44 (Office Bldg. 1)	4.40 AC. (19,150 S.F.)	43,945 S.F.	0.44
SDP-04-46 (Retail Bldg. 1 & Bank)	3.17 AC. (13,783 S.F.)	24,088 S.F.	0.17
SDP-05-08 (Retail Bldg. 2 & Gas Station)	3.20 AC. (13,920 S.F.)	22,218 S.F.	0.16
SDP-05-036 (Office Bldg. 2)	4.24 AC. (18,402 S.F.)	43,945 S.F.	0.51
SDP-05-041 (Office Bldg. 3 & M & T Bank)	5.58 AC. (24,230 S.F.)	113,740 S.F.	0.51
SDP-06-067 (Office Bldg. 4)	4.78 AC. (20,807 S.F.)	100,288 S.F.	0.48
SDP-06-148 (Medical & 3 Office Bldgs.)	8.54 AC. (37,150 S.F.)	121,620 S.F.	0.33
SDP-07-02 (Bank, School, Retail, & Restaurant)	1.36 AC. (5,925 S.F.)	45,225 S.F.	0.14
THIS SDP (Grocery Store)	4.24 AC. (18,415 S.F.)	40,815 S.F.	0.21
SUB-TOTAL	45.51 AC. (1,982,346 S.F.)	6,149,284 S.F.	0.34
EMPLOYMENT AREA RECORDED AS R/W	13.60 AC.		
TOTAL AREA TO BE RECORDED AS EMPLOYMENT	122.0 AC.		0.15
TOTAL REMAINING EMPLOYMENT AREA	62.89 AC.		

① AREAS TO DATE BASED ON F-08-54 OVERALL TRACKING CHART.

COMMERCIAL DEVELOPMENT DESIGN CRITERIA PER S-06-16

- PARCEL SIZE**
NO MINIMUM OR MAXIMUM PARCEL SIZES APPLY IN THE EMPLOYMENT LAND USE AREAS.
- HEIGHT**
MAXIMUM BUILDING HEIGHT SHALL BE LIMITED TO 120' UNLESS APPROVED TO BE GREATER ON A SITE DEVELOPMENT PLAN BY THE HOWARD COUNTY PLANNING BOARD. ADDITIONALLY, THE FOLLOWING SHALL APPLY:
 - COMMERCIAL BUILDINGS AT THE CORNER OF JOHNS HOPKINS ROAD AND MAPLE LAWN BOULEVARD SHALL NOT EXCEED THREE STORIES.
 - COMMERCIAL BUILDINGS EAST OF MAPLE LAWN BOULEVARD AT THE FOCAL POINT SHALL NOT EXCEED FOUR STORIES.
 - COMMERCIAL BUILDINGS IN THE BUSINESS DISTRICT WITHIN 300 FEET OF MD ROUTE 216 SHALL NOT EXCEED ONE STORY.
 - COMMERCIAL BUILDINGS IN THE BUSINESS DISTRICT LOCATED BETWEEN 300 FEET AND 500 FEET FROM MD ROUTE 216 SHALL NOT EXCEED FOUR STORIES.
 - COMMERCIAL BUILDINGS IN THE BUSINESS DISTRICT BEYOND 500 FEET FROM MD ROUTE 216 SHALL NOT EXCEED EIGHT STORIES ABOVE THE HIGHEST ADJOINING GRADE.
 - COMMERCIAL BUILDINGS IN THE WESTSIDE DISTRICT WITHIN 300 FEET OF MD ROUTE 216 SHALL NOT EXCEED TWO STORIES.
 - COMMERCIAL BUILDINGS IN THE WESTSIDE DISTRICT BEYOND 300 FEET FROM MD ROUTE 216 SHALL NOT EXCEED FOUR STORIES ABOVE THE HIGHEST ADJOINING GRADE.
- PERMITTED USES**
THE FOLLOWING USES ARE PERMITTED IN EMPLOYMENT LAND USE AREAS:
 - EMPLOYMENT USES PERMITTED ONLY WITHIN M-1 ZONING DISTRICT SHALL NOT BE PERMITTED. ALL USES PERMITTED AS A MATTER OF RIGHT IN THE FOR, B-1 AND M-1 DISTRICTS, AS PER PETITIONER'S PDF EXHIBIT 18, WITHOUT REGARD TO ANY LIMITATIONS OR RESTRICTIONS ON RETAIL OR PERSONAL SERVICE USES OTHERWISE PERMITTED IN SUCH DISTRICTS; FAST FOOD, CONVENIENCE STORES, COUNTRY CLUBS AND GOLF COURSES, MOVIE THEATERS, LEGITIMATE THEATERS AND DINNER THEATERS, PUBLIC UTILITY USES (EXCLUDING STAND-ALONE COMMUNICATION TOWERS), GROUP CARE FACILITIES, HOUSING FOR THE ELDERLY AND/OR HANDICAPPED PERSONS, NURSING HOMES AND SHELTERED HOUSING. PARCEL #2 MAY CONTAIN LIVE-WORK UNITS AS DEFINED IN THE OTHER RESIDENTIAL (OR) SECTION. ACCESSORY STRUCTURES AND ACCESSORY USES ARE ALSO PERMITTED.
- THE FOLLOWING ADDITIONAL USES NOT REFERRED TO OR INCLUDED IN THE ABOVE USES, WHICH ARE ALLOWED BY SPECIAL EXCEPTION IN THE FOR, B-1 AND M-1 DISTRICTS, WILL BE PERMITTED AS A MATTER OF RIGHT IN THE EMPLOYMENT LAND USE AREAS, AND ARE SPECIALLY APPROVED BY THE PLANNING BOARD ON THIS AMENDED COMPREHENSIVE SKETCH PLAN, PROVIDED, HOWEVER, THAT QUARRIES, TEMPORARY WRECKED VEHICLE STORAGE AND YARD WASTE SHALL NOT BE ALLOWED:
 - PUBLIC SCHOOL BUILDINGS-TEMPORARY CONVERSION TO OTHER USES
 - THEATERS, LEGITIMATE AND DINNER
 - THEATERS, MOVIE
 - PUBLIC UTILITY USES, LIMITED TO THE FOLLOWING: UTILITY SUBSTATIONS, ABOVE GROUND PIPELINES, PUMPING STATIONS, TELEPHONE STATIONS, AND TELEPHONE EXCHANGES, BUT NO STAND-ALONE COMMUNICATION TOWERS.
- THE FOLLOWING USE RESTRICTIONS ALSO APPLY:
 - NO MORE THAN 15% OF THE TOTAL EMPLOYMENT LAND USE AREA MAY BE DEVOTED TO WAREHOUSE AND LIGHT MANUFACTURING USES.
 - CEMETERIES, MAUSOLEUMS & CREMATORIUMS ARE NOT PERMITTED
 - A MAXIMUM OF ONE GASOLINE SERVICE STATION IS PERMITTED. THE GASOLINE SERVICE STATION MAY INCLUDE A CAR WASH, CAR REPAIR FACILITIES, AND/OR CONVENIENCE STORE FOOD.
 - NO SINGLE RETAIL CENTER SHALL CONTAIN MORE THAN 150,000 SQUARE FEET OF GROSS FLOOR AREA DESIGNATED FOR USE BY RETAIL AND PERSONAL SERVICE BUSINESSES. DESIGNATED RETAIL CENTERS MAY INCLUDE RETAIL STORES, PERSONAL SERVICE ESTABLISHMENTS, AND SIMILAR USES, AS WELL AS FAST FOOD RESTAURANTS AND A GASOLINE SERVICE STATION; HOWEVER, THE TOTAL SQUARE FOOT AREA WHICH MAY BE USED FOR RETAIL AND PERSONAL SERVICE BUSINESS SHALL NOT EXCEED 181,590 (300 SQUARE FEET PER GROSS ACRE). NO INDIVIDUAL RETAIL ESTABLISHMENT WITHIN THE MXD-3 DISTRICT SHALL HAVE A GROSS FLOOR AREA GREATER THAN 65,000 SQUARE FEET. RETAIL AND PERSONAL SERVICES AND OTHER ALLOWED USES, SUCH AS RESTAURANTS AND A GASOLINE SERVICE STATION MAY ALSO BE LOCATED WITHIN OTHER DESIGNATED EMPLOYMENT AREAS OUTSIDE OF A RETAIL CENTER.
- SECTION 128.F SHALL APPLY TO EMPLOYMENT LAND USE AREAS.
- COVERAGE**
NO COVERAGE REQUIREMENT IS IMPOSED IN EMPLOYMENT LAND USE AREAS.
- FLOOR AREA RATIO (F.A.R.)**
OVERALL LIMIT IS 0.35 CALCULATED ON THE TOTAL ACREAGE FOR ALL EMPLOYMENT LAND USE AREAS.

- SETBACKS (ALSO SEE "PROJECT BOUNDARY SETBACKS")**
THE MINIMUM SETBACK FOR EMPLOYMENT/COMMERCIAL STRUCTURES SHALL BE AS FOLLOWS:
 - 50' FROM THE BOUNDARY LINE ALONG JOHNS HOPKINS ROAD OR ROUTE 216
 - 10' FROM THE RIGHT-OF-WAY OF MAPLE LAWN BOULEVARD
 - NO SETBACK IS REQUIRED FROM THE RIGHT-OF-WAY OF ANY INTERNAL PUBLIC OR PRIVATE ROADS OTHER THAN FOR MAPLE LAWN BOULEVARD AS NOTED ABOVE.
 - 10' FROM ANY OTHER PROPERTY LINE

- PARKING SETBACKS**
 - 15' TO PUBLIC RIGHT-OF-WAY OF MAPLE LAWN BOULEVARD (EXCEPT FOR PARALLEL PARKING ADJACENT TO ROADWAY)
 - 10' TO ANY OTHER PROPERTY OR BOUNDARY LINE (EXCEPT FOR PARALLEL PARKING ADJACENT TO ROADWAY, OR WHERE A PARCEL LINE LIES WITHIN A USE-IN-COMMON PARKING AREA SERVING MULTIPLE PARCELS)
 - 20' TO PROJECT BOUNDARY LINE ALONG JOHNS HOPKINS ROAD OR ROUTE 216

EXCEPTIONS TO SETBACK REQUIREMENTS
STRUCTURES MAY BE LOCATED ANYWHERE WITHIN SETBACK AREAS IN ACCORDANCE WITH A SITE DEVELOPMENT PLAN APPROVED BY THE HOWARD COUNTY PLANNING BOARD.

- EXCEPT FOR THE FOLLOWING, SECTION 128.A.1 APPLIES:
 - BAY WINDOWS, EAVES, FRENCH BALCONIES, PORTICOS, CORNICES, AWNINGS, SIGNS, AND SIMILAR ARCHITECTURAL ELEMENTS MAY ENCRoACH FULLY INTO ANY SETBACK.
 - ARCADIES MAY ENCRoACH INTO ANY SETBACK TO WITHIN 1' OF THE PROPERTY LINE. WHERE SUCH ARCADIES ARE PROPOSED, THE FRONT FACADE MAY ALIGN VERTICALLY WITH THE FRONT OF THE ARCADE, THEREBY REDUCING THE REQUIRED FRONT SETBACK ACCORDINGLY. AN ARCADE IS AN ARCHED BUILDING, OR PORTION OF A BUILDING, OR GALLERY OFTEN COVERED WITH A ROOF STRUCTURE OR BUILDING SUPPORTED BY A SERIES OF ARCHES AND/OR COLUMNS ON PILLARS.

- PARKING**
 - A MINIMUM OF FIVE PARKING SPACES SHALL BE PROVIDED FOR EACH 1,000 SQUARE FEET OF NET LEASABLE AREA DEVOTED TO COMMERCIAL RETAIL SALES USES.
 - A MINIMUM OF 3.3 PARKING SPACES SHALL BE PROVIDED FOR EACH 1,000 SQUARE FEET OF NET LEASABLE AREA THAT IS DEVOTED TO OFFICE OR RESEARCH AND DEVELOPMENT USES.
 - NO PARKING REQUIREMENT IS IMPOSED UPON ANY RESTAURANT, COFFEE SHOP OR SIMILAR FACILITY CONSTRUCTED WITHIN BUILDINGS WHICH PRIMARILY SERVES TENANTS AND EMPLOYEES OF SUCH BUILDINGS, OR NEIGHBORING BUILDINGS ACCESSIBLE BY PEDESTRIANS.
 - ONE PARKING SPACE SHALL BE PROVIDED FOR EACH BEDROOM CONTAINED WITHIN ANY HOTEL, INN OR SIMILAR FACILITY AND ONE PARKING SPACE SHALL BE PROVIDED FOR EACH FIVE EMPLOYEES OF SUCH FACILITY.
 - ONE PARKING SPACE SHALL BE PROVIDED FOR EACH THREE SEATS WITHIN ANY RESTAURANT, COFFEE SHOP OR SIMILAR FACILITY CONSTRUCTED WITHIN A HOTEL, INN OR SIMILAR FACILITY OR AS A FREESTANDING STRUCTURE AND ONE PARKING SPACE SHALL BE PROVIDED FOR EACH FIVE EMPLOYEES OF ANY SUCH FACILITY.
 - ONE PARKING SPACE SHALL BE PROVIDED FOR EACH TWO BEDS IN ANY HOSPITAL OR CLINIC; ONE PARKING SPACE SHALL BE PROVIDED FOR EACH EMPLOYEE ON A MAJOR SHIFT; AND EIGHT PARKING SPACES SHALL BE PROVIDED FOR EACH DOCTOR TREATING OUTPATIENTS ON A MAJOR SHIFT.
 - INDUSTRIAL USES:
 - WAREHOUSE: 0.5 SPACES PER 1,000 SQUARE FEET OF NET LEASABLE AREA
 - "FLEX" SPACE (INDUSTRIAL/OFFICE): 2.5 SPACES PER 1,000 SQUARE FEET OF NET LEASABLE AREA
 - OTHER INDUSTRIAL: 2.0 SPACES PER 1,000 SQUARE FEET OF NET LEASABLE AREA
 - RECREATIONAL USES:
 - HEALTH CLUB: 1.0 SPACES PER 1,000 SQUARE FEET OF NET LEASABLE AREA
 - SWIMMING POOL, COMMUNITY TENNIS COURT: 1.0 SPACE PER SEVEN PERSONS PERMITTED IN THE POOL, AT ONE TIME BY THE DEPT. OF HEALTH
 - 2.0 SPACES PER COURT

"NET LEASABLE AREA" IS DEFINED AS 90% OF THE GROSS FLOOR AREA (AFTER DEDUCTING ANY FLOORS DEVOTED TO STORAGE AND COMMON USES), UNLESS A MORE PRECISE VALUE IS DETERMINED BY REDUCING THE GROSS FLOOR AREA BY AREAS DEVOTED TO PARKING, VEHICULAR CIRCULATION, OFFICE BUILDING STORAGE AREAS, EQUIPMENT AND MECHANICAL ROOMS/AREAS, LOCKER AND SHOWER FACILITIES, ENTRANCE FOTERS/VATRIA, AND SIMILAR AREAS.

REQUIRED MINIMUM PARKING FOR ALL SUCH COMMERCIAL AND EMPLOYMENT USES SHALL BE MET OFF-STREET. ADDITIONAL PARKING MAY BE ACCOMMODATED ON-STREET, IN PARALLEL PARKING WITHIN PUBLIC ROAD RIGHTS-OF-WAY, PARALLEL SPACES LOCATED ON PAVED AREAS ADJACENT TO PUBLICLY MAINTAINED ROADWAYS OR ORIENTED DIAGONALLY OR AT RIGHT ANGLES TO SUCH ROADWAYS, IN AND/OR OUT OF THE PUBLIC R/W.

REDUCTIONS IN PARKING REQUIREMENTS ARE PERMITTED PURSUANT TO THE HOWARD COUNTY ZONING REGULATIONS SECTIONS 133.D.1 (PARKING STUDIES), 133.E.1 (SHARED PARKING) AND 133.E.2 (TRIP REDUCTION PLANS).

PARKING TABULATION

PARKING GENERATION DATA

	HARRIS TEETER (THIS SDP)			
NET FLOOR AREA (in S.F.)	44,826 S.F.			
REQUIRED PARKING RATIO	5 per 1000			
REQUIRED PARKING SPACES	224			
PARKING SPACES PROVIDED	231			
PARKING RATIO PROVIDED	5.11 per 1000			

① AS DEFINED BY BOMA (BUILDING OWNERS AND MANAGERS ASSOCIATION) GUIDELINES (approx. 90% of gross S.F.)

PARKING DISTRIBUTION

PARCEL NUMBER	B-6	B-7	B-8	B-9	B-10	B-11	RUNNING TOTAL
PARALLEL SPACES	5	11	10	0	0	0	26
4x10' SPACES (90°)	210	38	108	25	24	6	400
HANDICAP SPACES	8	w/ other SDP	w/ other SDP	w/ other SDP	w/ other SDP	w/ other SDP	8
RUNNING TOTAL	224	44	118	25	24	6	411

OF THE 8 HANDICAP SPACES REQUIRED FOR THE GROCERY STORE (PARCEL B-6), 4 ARE VAN ACCESSIBLE. THE SHARED ACCESS AND PARKING AGREEMENT IS RECORDED AT L784 F.353

ADDRESS AND PERMIT INFORMATION CHART

BUILDING ADDRESS: 8184 WESTSIDE BOULEVARD		
SUBDIVISION NAME: MAPLE LAWN FARMS	SECTION/AREA: WESTSIDE DISTRICT/AREA 1	PARCEL: PARCEL B-6
PLAT No. 12202, 197007	ZONE: MXD-3	TAX MAP: 46
	BLOCK: 3 & 4	ELEC. DIST.: 5
		CENSUS TRACT: 6031.02
WATER CODE: E21	SEWER CODE: 1645000	

MP-05-02
ON AUGUST 20, 2004, MP 05-12 WAS GRANTED, ALLOWING THE FOLLOWING:

- DEVELOPMENT OR SUBDIVISION IN A CEMETERY (MAVER FROM SECTION 16.30(4))
- REMOVAL OF HUMAN REMAINS FROM A CEMETERY PRIOR TO DEVELOPMENT (MAVER FROM SECTION 16.30(6))

MP-07-22
MAVER REQUEST FROM SECTION 16.146 - REQUIREMENT FOR A PRELIMINARY PLAN TO THE PLAT APPROVED BY THE DEPARTMENT OF PLANNING AND ZONING UNDER THE CONDITIONS OF MP-07-22(1111), WHICH WAS GRANTED ON JUNE 11, 2007 SUBJECT TO THE FOLLOWING CONDITIONS:

- COMPLIANCE WITH THE SRC COMMENTS ISSUED FOR THE FINAL PLAN, F-07-183 AND THE RED-LINE REVISION OF SDP-05-06.
- COMPLIANCE WITH THE COMMENTS DATED JUNE 14, 2007 FROM DEVELOPMENT ENGINEERING DIVISION.
 - ADDER PARCEL C-20 TO PURPOSE NOTE.
 - APPROVED BECAUSE IT DOES NOT HAVE AN EFFECT ON STORMWATER MANAGEMENT, OR AFFO.
 - THIS PLAN ONLY ALLOWS FOR THE CONSTRUCTION OF AN ADDITION OF A PARKING LOT.

MP-08-04
ON AUGUST 8, 2007, MP-08-04 WAS GRANTED TO HAVE SECTION 16.12(1)(E) WHICH REQUIRES OPEN SPACE LOTS (OPEN SPACE LOTS 1 THRU 4) TO HAVE A MINIMUM OF 40 FEET OF FRONTAL SETBACK FROM A PUBLIC ROAD FOR ACCESS BY PEDESTRIANS AND MAINTENANCE VEHICLES.
THE APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:

- BOLLARD MARKERS OR SOME FORM OF PERMANENT SIGNAGE SHALL BE INSTALLED AT THE PUBLIC OR PRIVATE ROAD FRONTAGES TO IDENTIFY PEDESTRIAN AND VEHICULAR ACCESS TO OPEN SPACE LOTS 1 THRU 4 AND FOR OPEN SPACE LOTS 2 AND 4 AT THE 5M ACCESS EASEMENT TO IDENTIFY MAINTENANCE VEHICLE ACCESS TO THE SHM FACILITIES.
- SUBJECT TO THE SRC COMMENTS ISSUED FOR PRELIMINARY PLAN, P-07-18.
- THE MINIMUM PUBLIC ROAD FRONTAGE FOR HOA OPEN SPACE LOT 2 SHALL BE INCREASED IN WIDTH FROM THE 14 FEET PRESENTLY PROPOSED ON THE MAVER PLAN SUBJECT TO A MINIMUM OF 20 FEET IN WIDTH.
- A 20' MINIMUM UNRESTRICTED PUBLIC OR PRIVATE ROAD ACCESS MUST BE PROVIDED TO SERVE AS AN ENTRANCEWAY LEADING INTO HOA OPEN SPACE LOT 4 (FUTURE HOA RECREATIONAL BALL FIELDS) TO ACCOMMODATE PEDESTRIAN ACCESS AND PERIODIC ACCESS FOR MAINTENANCE AND EMERGENCY VEHICLES.
- THE PROCESSING OF THIS MAVER REQUEST FOR THE MINIMUM OPEN SPACE FRONTAGE REQUIREMENTS FOR OPEN SPACE LOTS 1 THRU 4 AS SHOWN ON P-07-18 SHALL BE CONSIDERED AS A TEMPORARY DEFERRAL OF THE PUBLIC OR PRIVATE FRONTAGE REQUIREMENT UNTIL THE FINAL SUBDIVISION PLANS ARE SUBMITTED FOR THIS PROJECT.

APPROVED
PLANNING BOARD OF HOWARD COUNTY

DATE: MARCH 13, 2008

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Randy Anagnost 5/27/08
 Director Date
Candy Hunter 5/27/08
 Chief, Division of Land Development Date
Bill Williams 5/28/08
 Chief, Development Engineering Division Date

Approved: For Public Water & Sewerage System
 Howard County Health Department
Bridgette Peter-Bilenson 5/23/2008
 County Health Officer Date

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTOWN OFFICE PARK
 BURTOWNVILLE, MARYLAND 20885
 TEL: 301-421-4024 FAX: 301-421-4024
 TEL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DES. MBT DRN. KLP CHK.
 DATE: 08/12/08 Rev. tracking chart, parking tab. & distribution
 REVISION: klp
 BY: APPR.

PREPARED FOR:
 MAPLE LAWN HT, LLC (Owner)
 SUITE 300 WOODHOLM CENTER
 1800 RESTONVIEW RD
 BALTIMORE, MD 21208
 ATTN: CHARLIE O'DONOVAN
 410-484-8400

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
 EXPIRATION DATE: MAY 26, 2008
 4-21-08
 ELECTION DISTRICT No. 5

COVER SHEET

SCALE: AS SHOWN
 ZONING: MXD-3
 G. L. W. FILE No. 07064

DATE: April/2008
 TAX MAP - GRID: 41-21&22
 SHEET: 1 OF 11
 HOWARD COUNTY, MARYLAND