

SITE ANALYSIS DATA CHART

- A) TOTAL PROJECT AREA: 22,827 SQ. FT. (0.52 AC.±)
- B) AREA OF PLAN SUBMISSION: 22,827 SQ. FT. (0.52 AC.±)
- C) LIMIT OF DISTURBED AREA: 22,862 SQ. FT. (0.52 AC.±)
- D) ZONING DESIGNATION: R-20
- E) PROPOSED USE FOR SITE AND STRUCTURES: RESIDENTIAL SINGLE FAMILY DETACHED
- F) TOTAL # OF UNITS ALLOWED PER FINAL PLAN: 1
- G) TOTAL NUMBER OF UNITS PROPOSED ON SUBMISSION: 1
- H) BUILDING COVERAGE OF SITE: 2052 SQ. FT. (0.047 AC.±)=8.9%
- I) IMPERVIOUS COVERAGE OF SITE: 4,574 SQ. FT. (0.11 AC.±)=20%
- J) OFF STREET PARKING SPACES PROPOSED/REQUIRED = 2
- K) PREVIOUS DPZ FILE REF F-03-124 AND WP-03-95.

GENERAL NOTES

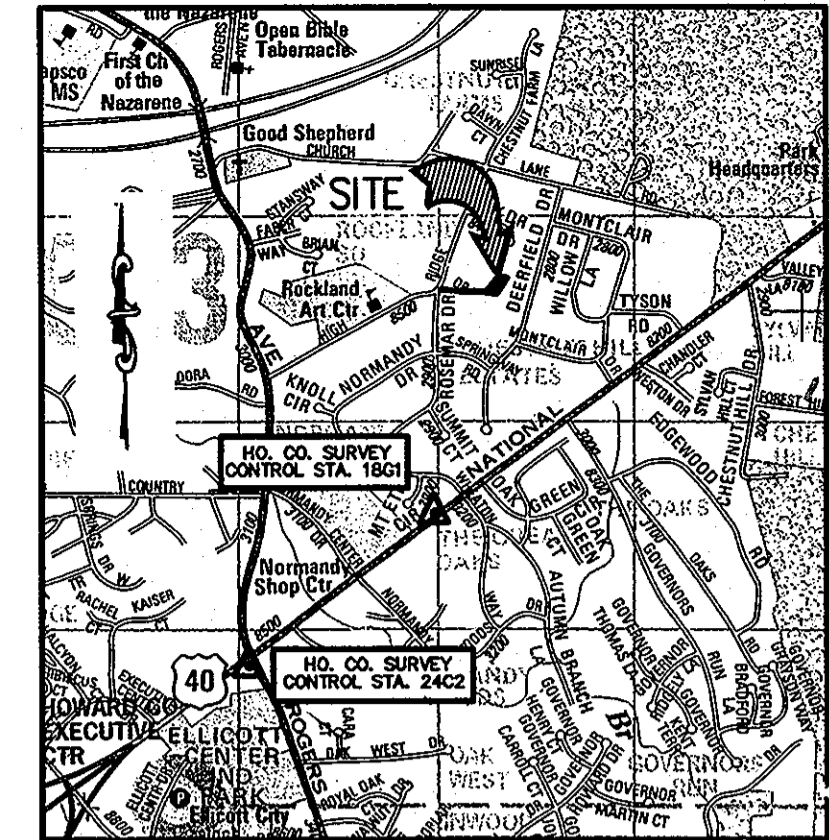
1. THE SUBJECT PROPERTY IS ZONED AS R-20 PER THE 2/2/04 COMPREHENSIVE ZONING PLAN AND THE "COMP LITE" ZONING REGULATION AMENDMENTS EFFECTIVE 7/28/06.
2. IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS. PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
3. NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAM(S) OR THEIR BUFFERS, FOREST CONSERVATION EASEMENT AREA #1 LOCATED ON ADJACENT OPEN SPACE LOT 5.
4. DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLING TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 - A) WIDTH - 12 FEET (16 FEET IF SERVING MORE THAN ONE RESIDENCE).
 - B) SURFACE - 6 INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR & CHIP COATING (1-1/2" MINIMUM).
 - C) GEOMETRY - MAX. 15% GRADE, MAX. 10% GRADE CHANGE AND MIN. 45 FOOT TURNING RADIUS.
 - D) STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING)
 - E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.
 - F) MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE.
5. THIS SUBDIVISION IS SUBJECT TO SECTION 18.122B OF THE HOWARD COUNTY CODE, PUBLIC WATER AND PUBLIC SEWER SERVICE HAS BEEN PROVIDED UNDER CONTRACTS 9-W AND 21-S, RESPECTIVELY.
6. THE LOW PRESSURE SEWER LINE FROM THE GRINDER PUMP SHALL BE PLACED WITH A MIN. 4' COVER.
7. THERE IS NO 100 YEAR FLOODPLAIN EXISTING ON SITE. THERE ARE NO WETLANDS AS VERIFIED BY EXPLORATION RESEARCH, INC ON 4-23-2002.
8. THE EXISTING TOPOGRAPHY AND PROPERTY LINES IS TAKEN FROM FINAL PLAN SURVEY WITH 2' CONTOUR INTERVALS PROVIDED BY CARRIGAN HOMES.

48 Hours Before You Dig Call

"MISS UTILITY" Service Protection Center

MEMBER ONE CALL SYSTEMS INTERNATIONAL

CALL TOLL FREE 1-800-257-7777

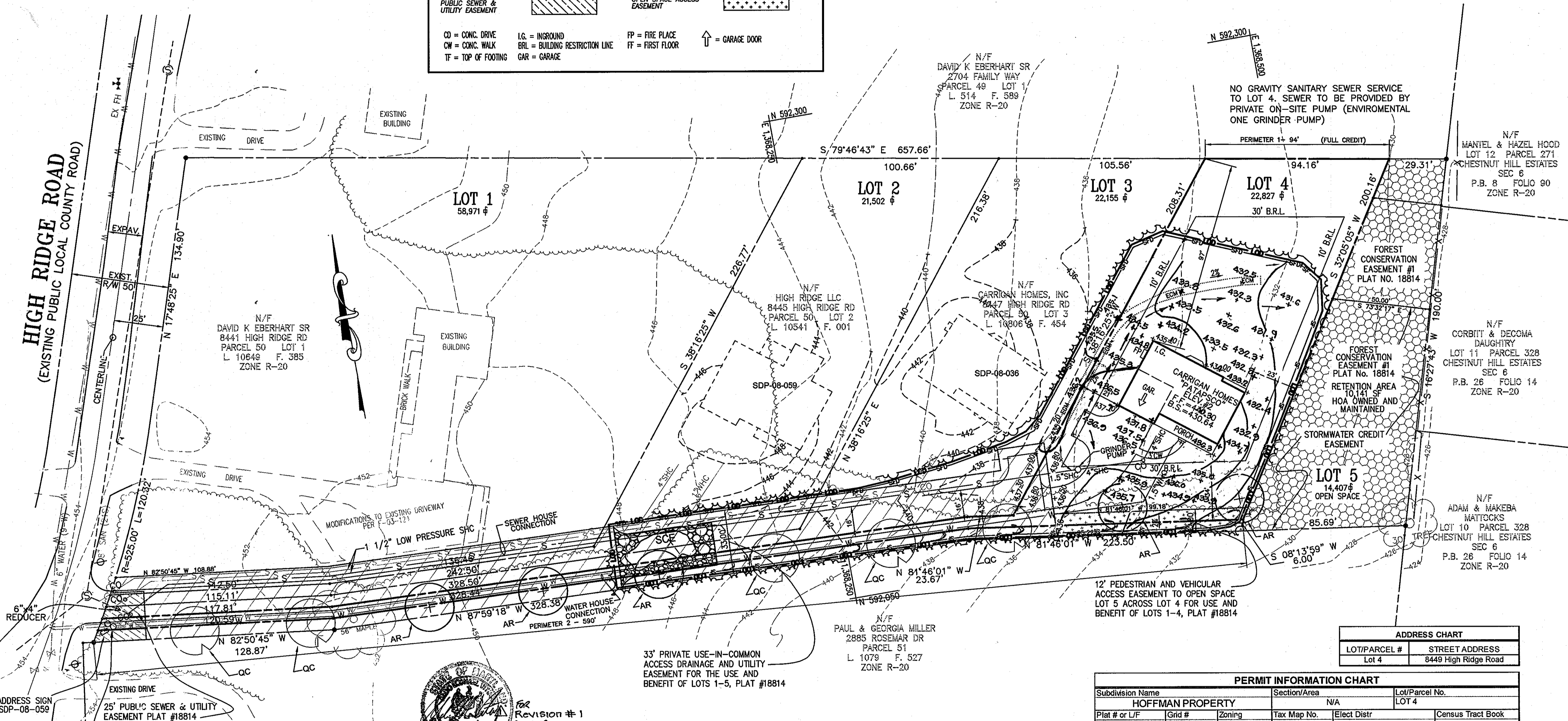


1" = 2000'
 COPYRIGHT ADC THE MAP PEOPLE PERMIT USE NUMBER 2061192
 ADC MAP COORD. MAP 12 GRID F5

GENERAL NOTES CONT.

9. THE COORDINATES SHOWN HEREON ARE BASED ON NAD 83, MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC MONUMENTS NO. 1861 AND NO. 24C2.

STA.	1861	N 179,827.7730 (M)	E 416,891.1116 (M)	ELEV. 124.5084 (M)
		N 589,984.951 (FT)	E 1,367,750.255 (FT)	ELEV. 408.491 (FT)
STA.	24C2	N 179,420.3646 (M)	E 416,369.2748 (M)	ELEV. 108.1311 (M)
		N 588,648.312 (FT)	E 1,366,038.195 (FT)	ELEV. 354.760 (FT)
10. THIS PLAN HAS BEEN PREPARED TO BE IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. SURETY FOR THE REQUIRED 10 SHADE TREES IN THE AMOUNT OF \$3,000.00 SHALL BE POSTED WITH THE BUILDERS GRADING PERMIT FOR LOT 4 AS SHOWN ON THIS SITE DEVELOPMENT PLAN.
11. A DRIVEWAY MAINTENANCE AGREEMENT FOR THE USE-IN-COMMON DRIVEWAY WAS RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND IN LIBER 10508/FOLIO 030.
12. FOR FLAG OR PIPESTEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPESTEM AND THE ROAD RIGHT-OF-WAY LINE AND NOT TO THE PIPESTEM LOT DRIVEWAY.
13. EXISTING UTILITIES ARE BASED ON FIELD SURVEY AND AS-BUILT DRAWINGS FOR WATER AND SEWER CONTRACTS # 9-W-D & 21-S.
14. THE CONTRACTOR WILL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 BUSINESS-WORKING HOURS IN ADVANCED PRIOR TO ANY CONSTRUCTION AND EXCAVATION.
15. THE CONTRACTOR WILL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE WORKING DAYS PRIOR TO PROCEEDING WITH ANY EXCAVATION WORK.
16. THIS PROJECT COMPLIES WITH THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION. THE TOTAL REQUIRED OBLIGATION IS 0.830 ACRES WITH 0.230 ACRES OF RETENTION WITHIN FOREST CONSERVATION EASEMENT #1 AND THE REMAINING 0.600 ACRES BEING PAID FOR BY A FEE-IN-LIEU PAYMENT OF \$13,068.00 TO THE HOWARD COUNTY FOREST SERVICE F-03-124.
17. NO BURIAL GROUNDS OR CEMETERIES EXIST ON THIS SITE.
18. DRIVEWAY IS ASSUMED EXISTING (PER DEVELOPER) TO THE END OF THE PANHANDLE OF LOT 2.
19. SHC ELEVATION SHOWN IS LOCATED AT THE PROPERTY LINE.
20. WATER AND SEWER SERVICE TO THIS LOT WILL BE GRANTED UNDER THE PROVISIONS OF SECTION 18.122.B OF HOWARD COUNTY CODE.
21. THIS SUBDIVISION IS SUBJECT TO THE CONDITIONS OF APPROVED WAIVER PETITION WP-03-125. ON 6/13/03 THE PLANNING DIRECTOR APPROVED FROM SECTION 16.121.(a),(i) WHICH REQUIRES OPEN SPACE LOTS TO HAVE A MINIMUM 40' FRONTAGE ON A PUBLIC ROAD AND 16.120.(b),(4) WHICH REQUIRES THAT RESIDENTIAL LOTS NOT BE ENCUMBERED BY ACCESS EASEMENTS TO OPEN SPACE. THE WAIVER IS SUBJECT TO THE FOLLOWING CONDITIONS:
 1. APPROVAL OF THE FINAL PLAN UNDER F-03-124
 2. PROVIDE 12-FEET OF PEDESTRIAN AND VEHICULAR ACCESS TO OPEN SPACE LOT 5
 3. THE 12-FOOT ACCESS WILL REMAIN OPEN, VISIBLE FOR PEDESTRIAN AND VEHICULAR ACCESS.
 4. COMPLIANCE WITH SECTION 16.120.(b),(6),(v) OF THE SUBDIVISION REGULATIONS, THE SHARED DRIVEWAY SHALL BE LOCATED AT LEAST 10' FROM THE PROJECT BOUNDARY TO PROVIDE SPACE FOR THE REQUIRED PERIMETER LANDSCAPING.
22. THIS PLAN IS SUBJECT TO A WAIVER OF SECTION 1.8.7 OF VOLUME II OF THE HOWARD COUNTY DESIGN MANUAL REQUIRING GRAVITY SEWER SERVICE TO THE CELLAR OF LOWEST FLOOR OF LOTS CREATED THROUGH THE SUBDIVISION PROCESS. THE REQUEST FOR A WAIVER OF GRAVITY SEWER SERVICE TO LOTS 3 AND 4 WAS APPROVED ON 6-19-03.
23. PER F-03-124, CcV IS NOT REQUIRED AND: WATER QUALITY (Wq) AND RECHARGE (Rev) FOR LOT 4 IS PROVIDED WITHIN. THE STORMWATER CREDIT EASEMENT LOCATED ON LOT 5. THE EASEMENT IS FOR THE PURPOSES OF PROVIDING SHEET FLOW TO BUFFER CREDIT.
24. ARTICLES OF INCORPORATION FOR THE HOMEOWNERS ASSOCIATION WERE ACCEPTED BY THE STATE DEPARTMENT OF ASSESSMENT AND TAXATION ON 9-21-2006, INCORPORATION NUMBER D1519949.
25. THE USE IN COMMON DRIVEWAY IS TO BE INSTALLED BY OTHERS UNDER SDP-08-059. THE DRIVEWAY WILL BE BUILT TO THE MID POINT OF LOT 2 AS SHOWN ON SDP-08-059. CONSTRUCTION WILL BE PERMITTED UP AT THAT POINT BY CARRIGAN HOMES AS SHOWN ON SDP-08-036 OR SDP-08-047.



THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY HOWARD SOIL CONSERVATION DISTRICT

John R. Platon 5/14/08 DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Michael J. ... 5/19/08 DATE

T. Krista ... 6/19/08 DATE

... 4/28/08 DATE

ENGINEER'S CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

Robert W. Nelson 5/8/08 DATE

DEVELOPER'S CERTIFICATE

"I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT CONTROL AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE SERVING ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

Chris Kelly 5-8-08 DATE

PROFESSIONAL CERTIFICATION

"I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. P.E.#29477. EXPIRATION DATE: 09-15-09."

Robert W. Nelson 5/8/08 DATE

NO.	DESCRIPTION	BY	DATE
1	Rev. grading on Lot 4 to show As-Built conditions	FCC, Inc	8-25-09

Sheet Index

Sheet Title	Sheet No.
Site Development, Landscape, Sediment and Erosion Control Plan	1 of 3
Sediment and Erosion C. ntral Notes	2 of 3
Drainage Area Map, Sediment and Erosion Control Details	3 of 3

The **RBA-** Group, Inc.
 ENGINEERS • ARCHITECTS • PLANNERS
 7164 Columbia Gateway Drive, Suite 205
 Columbia, Maryland 21048
 Phone (410) 312-0988, Fax. (410) 312-0987

OWNER/DEVELOPER:
 HIGH RIDGE, LLC,
 10176 BALTIMORE NATIONAL PK.
 SUITE 217
 ELLICOTT CITY, MD 21042
 (410) 465-7755

BUILDER:
 CARRIGAN HOMES, INC.
 9812 CATLINS COURT
 ELLICOTT CITY, MD 21042
 (410) 465-7755

SCALE: GRAPHIC SCALE 1"=30'

DATE: 5/8/08

APPROVED: FOR PUBLIC WATER FOR PUBLIC SEWERAGE SYSTEMS

B. Wilson for Peter Beilenson, MD 6/17/2008 DATE

COUNTY HEALTH OFFICER SO
 HOWARD COUNTY HEALTH DEPARTMENT

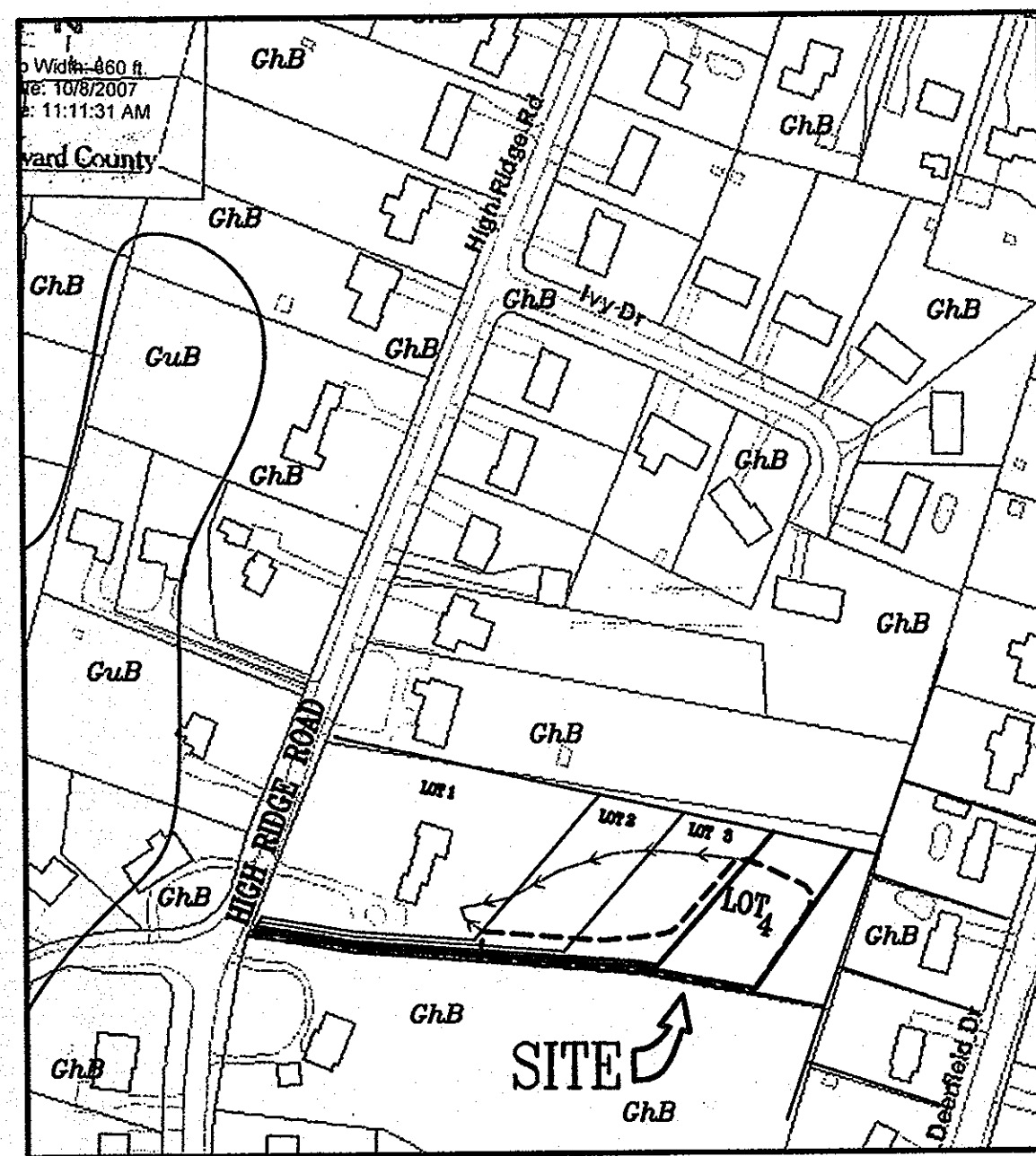
SITE PLAN

LOT 4, HOFFMAN PROPERTY
 LOT 4-DEED #10541/001, PLAT #18814
 SINGLE FAMILY DETACHED HOME
 PLANS PREPARED FOR
Carrigan Homes
 FINAL PLAN APPROVAL DATE: 2/5/07
 TAX MAP 18 GRID 13 ELECT'DN
 DISTRICT NO. 2
 HOWARD COUNTY, MARYLAND

DATE: 5/8/08

JOB NO. M3997.00

SHEET NO. 1 OF 3



DRAINAGE AREA MAP
1" = 200'

PLANT SCHEDULE

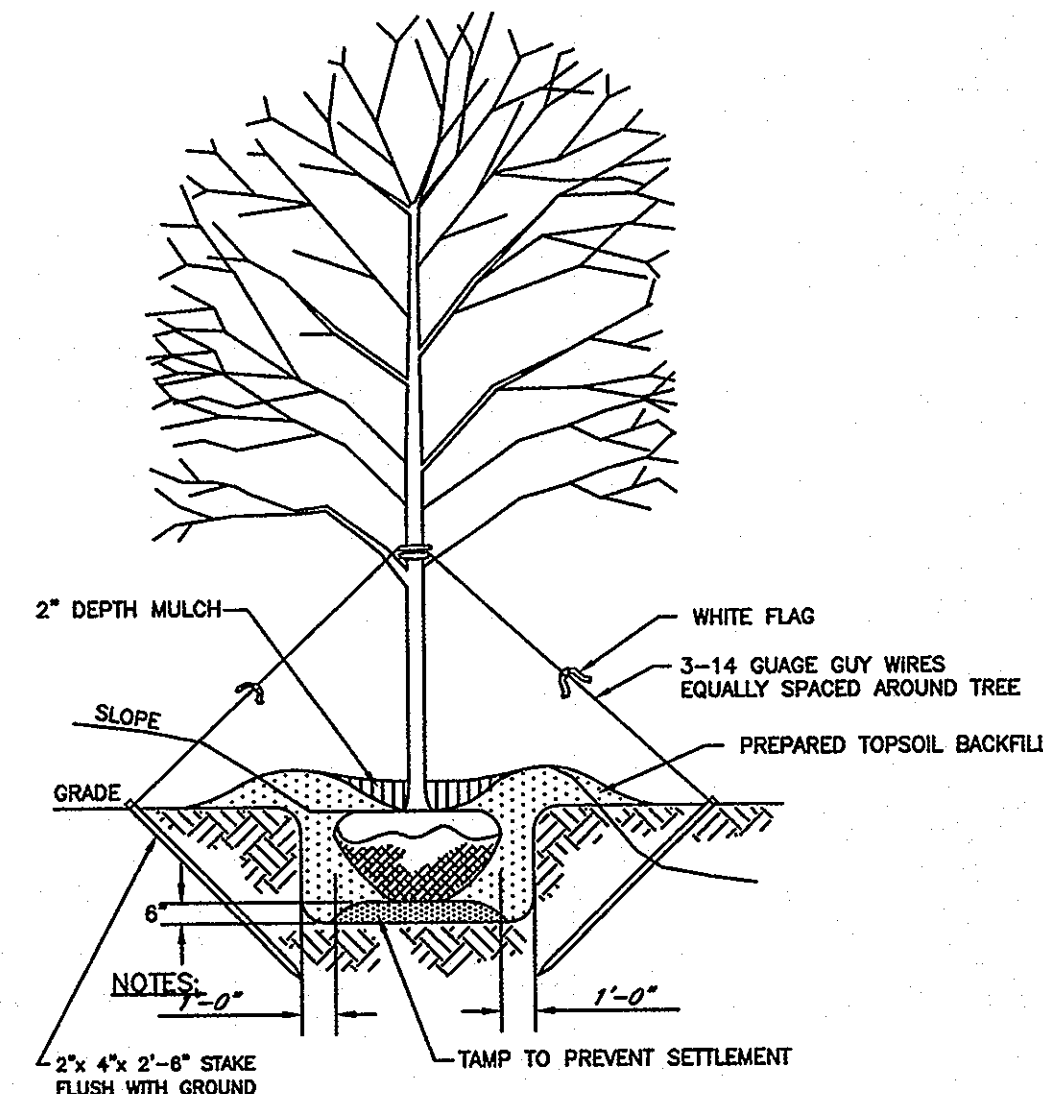
Key	Qty	Botanical Name	Common Name	Size / Root
AR	5	ACER RUBRUM OCTOBER GLORY	OCTOBER GLORY RED MAPLE	2.5" - 3" CALIPER /B&B
QC	5	QUERCUS COCCINEA	SCARLET OAK	2.5" - 3" CALIPER /B&B

SCHEDULE A - PERIMETER LANDSCAPE EDGE

Category	Adjacent to Roadways	Adjacent to Perimeter Properties	Adjacent to Perimeter Properties
Landscape Edge Type/ Perimeter	N/A	Type A / 1	Type A / 2
Linear Feet of Roadway Frontage / Perimeter	-	94'	590'
Credit for Existing Vegetation/L.F.	-	*Yes / 94'	*No / 590'
Credit for Wall, Fence or Berm	-	-	-
Number of Plants Required	-	-	-
Shade Trees (1/60 LF)	-	0	10
Evergreen Trees	-	0	0
Shrubs	-	0	0
Number of Plants Provided	-	-	-
Shade Trees	-	0	10
Evergreen Trees	-	0	0
Other Trees (2:1 substitution)	-	0	0
Shrubs (10:1 substitution)	-	0	0
*Existing Trees to remain (Describe plant substitutions credits below if needed.)	-	0	0

PLANTING NOTES:

- ALL PLANT MATERIALS SHALL BE FULL AND HEAVY, BE WELL FORMED AND SYMMETRICAL AND CONFORM TO THE MOST CURRENT A&M SPECIFICATIONS.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
- FINAL LOCATION OF PLANT MATERIAL MAY NEED TO VARY TO MEET FINAL FIELD CONDITIONS. TREES SHALL NOT BE PLANTED IN THE BOTTOM OF DRAINAGE SWALES.
- THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, PLANTING MATERIALS, BERMS, FENCES, AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- NO CLEARING OF EXISTING VEGETATION IS PERMITTED WITHIN THE LANDSCAPE EDGE FOR WHICH CREDIT IS BEING TAKEN; HOWEVER, LANDSCAPE MAINTENANCE IS AUTHORIZED.
- AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREWITH LISTED AND APPROVED FOR THIS SITE SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND /OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.



TREE PLANTING DETAIL
NOT TO SCALE

GUY TREES 12\"/>

21.0 STANDARD AND SPECIFICATIONS FOR TOPSOIL

DEFINITION:
PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.
PURPOSE: TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH.
SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.
CONDITIONS WHERE PRACTICE APPLIES:
I. THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:
A. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.
B. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.
C. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
D. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.
II. FOR THE PURPOSE OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION. AREAS HAVING SLOPES STEEPER THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE PLANS.

CONSTRUCTION AND MATERIAL SPECIFICATIONS:
I. TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.
II. TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:
I. TOPSOIL SHALL BE A LOAM, SANDY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 1/2\"/>

I. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS.

IV. FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES:
I. ON SOIL MEETING TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS DICTATING FERTILIZER AND LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING:

- PH FOR TOPSOIL SHALL BE BETWEEN 6.0 AND 7.5. IF THE TESTED SOIL DEMONSTRATE A PH OF LESS THAN 6.0, SUFFICIENT LIME SHALL BE PRESCRIBED TO RAISE THE PH TO 6.5 OR HIGHER.
- ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 1.5 PERCENT BY WEIGHT.
- C. TOPSOIL HAVING SOLUBLE SALT CONTENT GREATER THAN 500 PARTS PER MILLION SHALL NOT BE USED.
- D. NO SOD OR SEED SHALL BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.

NOTE: TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL.

II. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS.

V. TOPSOIL APPLICATION.

- WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS.
- GRADES ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE MAINTAINED, ALBEIT 4\"/>

- TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4\"/>
- TOPSOIL SHALL NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.
- ALTERNATIVE FOR PERMANENT SEEDING - INSTEAD OF APPLYING THE FULL AMOUNTS OF LIME AND COMMERCIAL FERTILIZER, COMPOSTED SLUDGE AND AMENDMENTS MAY BE APPLIED AS SPECIFIED BELOW:

- COMPOSTED SLUDGE MATERIAL FOR USE AS A SOIL CONDITIONER FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES SHALL BE TESTED TO PRESCRIBE AMENDMENTS AND FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:
A. COMPOSTED SLUDGE SHALL BE SUPPLIED BY, OR ORIGINATE FROM, A PERSON OR PERSONS THAT ARE PERMITTED (AT THE TIME OF ACQUISITION OF THE COMPOST) BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT UNDER COMAR 26.04.06.
B. COMPOSTED SLUDGE SHALL CONTAIN AT LEAST 1 PERCENT NITROGEN, 1.5 PERCENT PHOSPHORUS, AND 0.2 PERCENT POTASSIUM AND HAVE A PH OF 7.0 TO 8.0. IF COMPOST DOES NOT MEET THESE REQUIREMENTS, THE APPROPRIATE CONSTITUENTS MUST BE ADDED TO MEET THE REQUIREMENTS PRIOR TO USE.
C. COMPOSTED SLUDGE SHALL BE APPLIED AT A RATE OF 1 TON/1,000 SQUARE FEET.

II. COMPOSTED SLUDGE SHALL BE AMENDED WITH A POTASSIUM FERTILIZER APPLIED AT THE RATE OF 4 LB/1,000 SQUARE FEET, AND 1/3 THE NORMAL LIME APPLICATION RATE.
REFERENCES: GUIDELINE SPECIFICATIONS, SOIL PREPARATION AND SODDING. MD-VA, PUB.#1, COOPERATIVE EXTENSION SERVICE, UNIVERSITY OF MARYLAND AND VIRGINIA POLYTECHNIC INSTITUTES. REVISED 1973.

SEQUENCE OF CONSTRUCTION

- OBTAIN ALL NECESSARY PERMITS AND HAVE ALL EXISTING UTILITIES MARKED IN THE FIELD. --- 4 WEEKS
- SCHEDULE AND ATTEND A PRE-CONSTRUCTION MEETING WITH THE ASSIGNED COUNTY INSPECTOR AND RESOLVE ALL SITE RELATED ISSUES. --- 1 DAY
- INSTALL STABILIZED CONSTRUCTION ENTRANCE AS SHOWN AND SUPER SILT FENCE AND OBTAIN INSPECTOR APPROVAL OF INSTALLATION BEFORE PROCEEDING. --- 3 DAYS
- CLEAR AND GRUB AREAS TO BE GRADED AND BEGIN GRADING OPERATIONS. MAINTAIN ALL SEDIMENT CONTROL DEVICES AS NECESSARY. --- 2 WEEKS
- AS ROUGH GRADING IS ACHIEVED, BEGIN UTILITY AND BUILDING CONSTRUCTION. INSTALL GRINDER PUMP AND LOW PRESSURE SEWER LINE AND CONNECT TO EXISTING. --- 16 WEEKS
- UPON COMPLETION OF WORK IN A GIVEN AREA, STABILIZE AREA IMMEDIATELY. --- 1 DAY
- UPON COMPLETION OF BUILDING CONSTRUCTION AND REMOVAL OF ALL HEAVY EQUIPMENT FROM SITE, INSTALL SURFACE COURSE PAVING. --- 1 DAY
- UPON COMPLETION OF ALL WORK, STABILIZE ALL REMAINING AREAS. UPON COMPLETE STABILIZATION OF ALL AREAS, INSTALL INFILTRATION TRENCH AND REMOVE SEDIMENT CONTROL DEVICES ONLY UPON APPROVAL OF THE COUNTY INSPECTOR. --- 1 WEEK

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS: IN LIEU OF SOIL TESTS RECOMMENDATIONS. USE ONE OF THE FOLLOWING SCHEDULES:

- PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ. FT.) AND 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ. FT.) BEFORE SEEDING. HARROW OR DISK INTO UPPER THREE INCHES OF SOIL AT THE TIME OF SEEDING APPLY 400 LB. PER ACRE 30-0-0 UREAFORM FERTILIZER (9 LBS/1000 SQ. FT.)
- ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (2 LBS/1000 SQ. FT.) BEFORE SEEDING. HARROW OR DISK INTO UPPER THREE INCHES OF SOIL.

SEEDING- FOR THE PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU OCTOBER 15, SEED WITH 60 LBS PER ACRE (1.4 LBS/1000 SQ. FT.) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31, SEED WITH 60 LBS KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS PER ACRE (.05 LBS/100 SQ. FT.) OF WEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY: OPTION (1) 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) USE SOD. OPTION (3) SEED WITH 60 LBS/ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELL ANCHORED STRAW.

MULCHING - APPLY 1 1/2 TO 2 TONS PER ACRE (70 TO 90 LBS /1000 SQ. FT.) OF UNROTTED SMALL GRAN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL / 1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL/1000 SQ. FT.) FOR ANCHORING.

MAINTENANCE - INSPECT ALL SEEDED AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

TEMPORARY SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

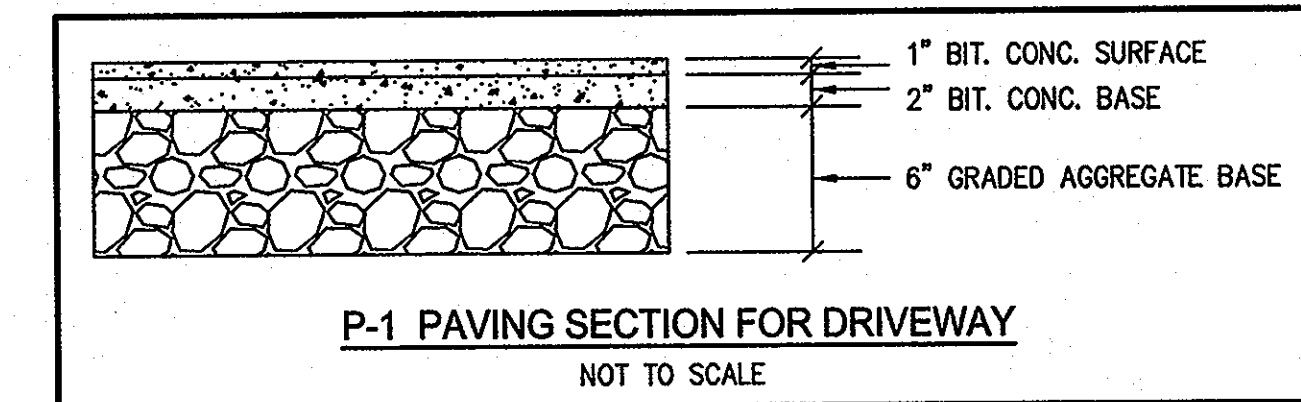
SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS: APPLY 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ. FT.)

SEEDING: FOR THE PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 15 THRU NOVEMBER 15, SEED WITH 2 1/2 BUSHEL PER ACRE OF ANNUAL RYE (3.2 LBS/1000 SQ. FT.) FOR THE PERIOD OF MAY 1 THRU AUGUST 14, SEED WITH 3 LBS PER ACRE OF WEEPING LOVEGRASS (.07 LBS/1000 SQ. FT.) FOR THE PERIOD OF NOVEMBER 16 THRU FEBRUARY 28. PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING OR USE SOD.

MULCHING - APPLY 1 1/2 TO 2 TONS PER ACRE (70 TO 90 LBS /1000 SQ. FT.) OF UNROTTED SMALL GRAN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL / 1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL/1000 SQ. FT.) FOR ANCHORING.

REFER TO THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.



P-1 PAVING SECTION FOR DRIVEWAY
NOT TO SCALE

SEDIMENT AND EROSION CONTROL NOTES

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (313-1855).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MD STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND REVISIONS HERETO.
- FOLLOWING THE INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETE WITHIN: A) SEVEN (7) CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1, B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL AND SEDIMENT CONTROL FOR PERMANENT SEEDINGS (SEC. 51), SOD (SEC. 54), TEMPORARY SEEDING (SEC. 50), AND MULCHING (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTILL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:
TOTAL AREA OF THE SITE: 0.52 ACRES
AREA DISTURBED: 0.52 ACRES
AREA TO BE ROOFED OR PAVED: 0.11 ACRES
AREA TO BE VEGETATIVELY STABILIZED: 0.41 ACRES
TOTAL CUT: 150 CU. YDS.
TOTAL FILL: N/A CU. YDS.
OFFSITE WASTE/BORROW AREA LOCATION: APPROVED HOWARD COUNTY SITE
TOTAL AMOUNT OF SILT FENCE: 460 LF
TOTAL AMOUNT OF SUPER SILT FENCE: N/A LF
TOTAL AMOUNT OF SUPER DIVERSION FENCE: 415 LF
TOTAL AMOUNT OF EARTH DIKE: N/A LF
TOTAL AMOUNT OF EROSION CONTROL MATTING: 150 LF

ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED IF DEEMED NECESSARY BY THE HOWARD COUNTY DEPT. OF PUBLIC WORKS SEDIMENT CONTROL INSPECTOR.
ON ALL SITES, DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH CAN BE BACKFILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.
WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, MINOR FIELD ADJUSTMENTS CAN AND WILL BE MADE TO INSURE THE CONTROL OF ANY SEDIMENT. CHANGES IN THE SEDIMENT CONTROL PRACTICES REQUIRE PRIOR APPROVAL OF THE SEDIMENT CONTROL INSPECTOR AND THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.
ANY CHANGE TO THE GRADING PROPOSED ON THIS PLAN REQUIRES RE-SUBMISSION TO HOWARD COUNTY SOIL CONSERVATION DISTRICT FOR APPROVAL.
ANY VARIATION FROM THE SEQUENCE OF OPERATIONS STATED ON THIS PLAN REQUIRES THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR AND THE HOWARD COUNTY SOIL CONSERVATION DISTRICT PRIOR TO THE INITIATION OF THE CHANGE.
AT THE END OF EACH WORK DAY ALL SEDIMENT CONTROL PRACTICE WILL BE INSPECTED AND LEFT IN THE OPERATIONAL CONDITION.
ALL SEDIMENT AND EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE AGREEMENT MADE BETWEEN COLUMBIA ASSOCIATION AND HSCD AND AS AMENDED 8/1/90.
THE DEVELOPER IS RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS, AND/OR RIGHTS-OF-WAYS THAT MAY BE REQUIRED FOR THE SEDIMENT AND EROSION CONTROL PRACTICES, STORMWATER MANAGEMENT PRACTICES AND THE DISCHARGE OF STORMWATER ONTO OR ACROSS ADJACENT OR DOWNSTREAM PROPERTIES INCLUDED IN THIS PLAN. HE IS ALSO RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS AND/OR RIGHTS-OF-WAYS THAT MAY BE REQUIRED FOR GRADING AND/OR WORK ON ADJACENT PROPERTIES INCLUDED IN THIS PLAN.
THE SEDIMENT CONTROL APPROVALS ON THIS PLAN EXTEND ONLY TO AREAS AND PRACTICES IDENTIFIED AS PROPOSED WORK AND SHALL APPLY AS IF SHOWN ON ALL PLANS.
THE APPROVAL OF THE PLAN FOR SEDIMENT AND EROSION CONTROL DOES NOT RELIEVE THE COUNTY REQUIREMENTS PERTAINING TO ENVIRONMENTAL ISSUES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY THE SPOIL/BORROW SITE AND NOTIFY AND GAIN APPROVAL FROM THE SEDIMENT CONTROL INSPECTOR OF THE SITE AND ITS GRADING NUMBER AT THE TIME OF CONSTRUCTION.

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY HOWARD COUNTY SOIL CONSERVATION DISTRICT
John K. Roberts 5/14/08
DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
John K. Roberts 5/19/08
DATE
J. Kruter - Manshardt for CH 6/19/08
DATE
Director 6/23/08
DATE

DEVELOPER'S / BUILDER'S CERTIFICATE
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO PLAN, SECTION 16.124 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AND THE LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A LETTER OF NOTICE ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.
Quang Kelly 5-8-08
NAME DATE

NO.	DESCRIPTION	BY	DATE
REVISIONS			

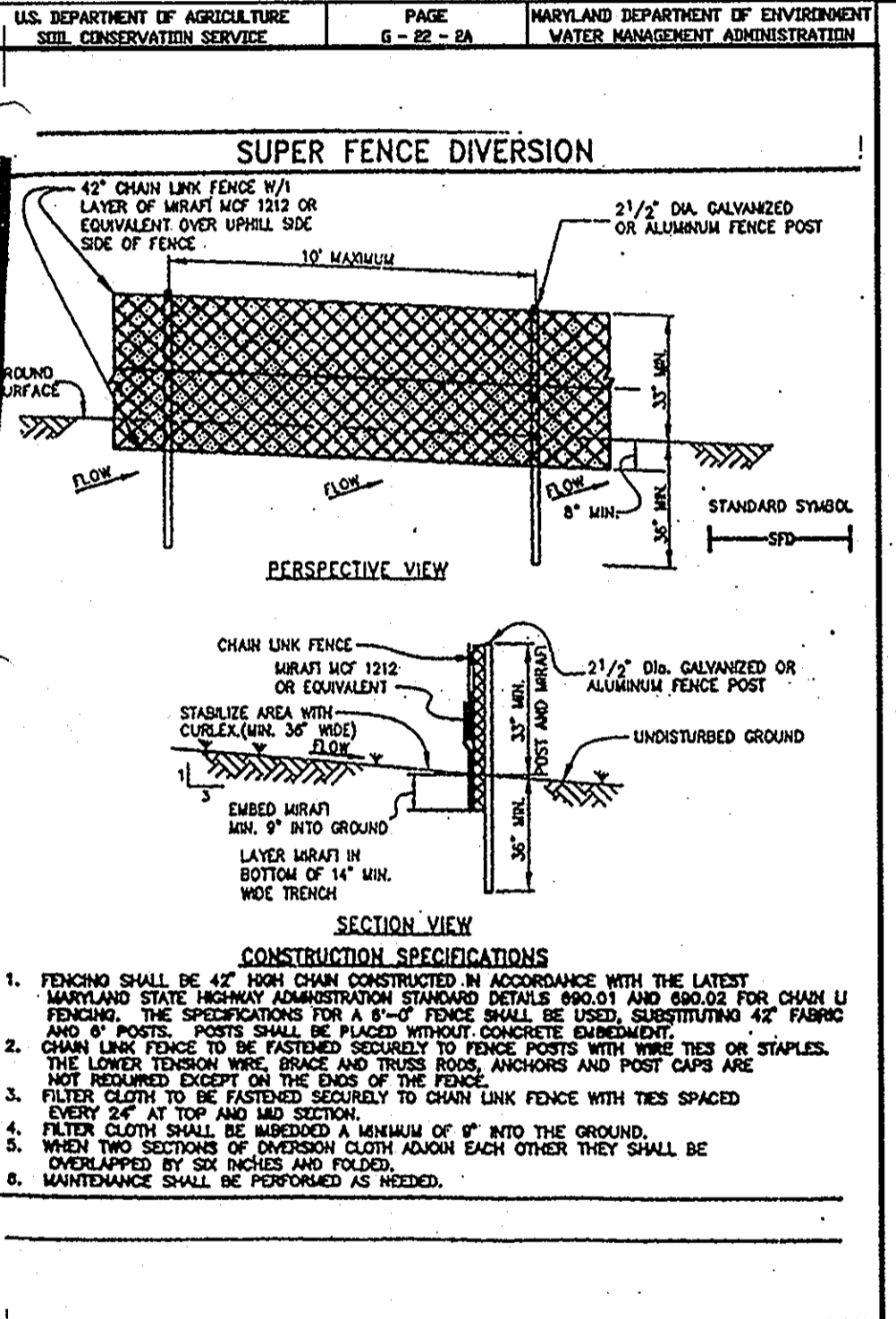
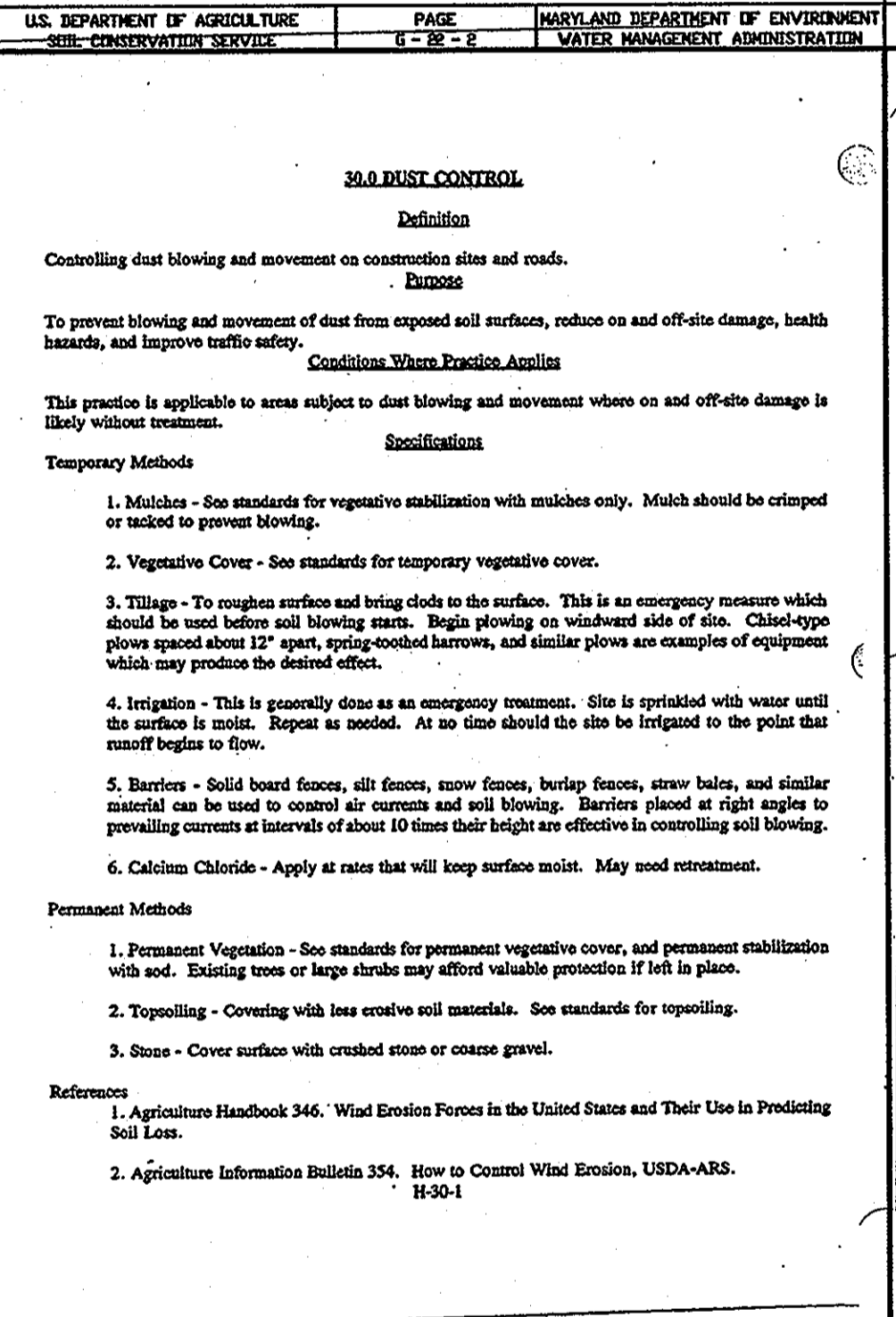
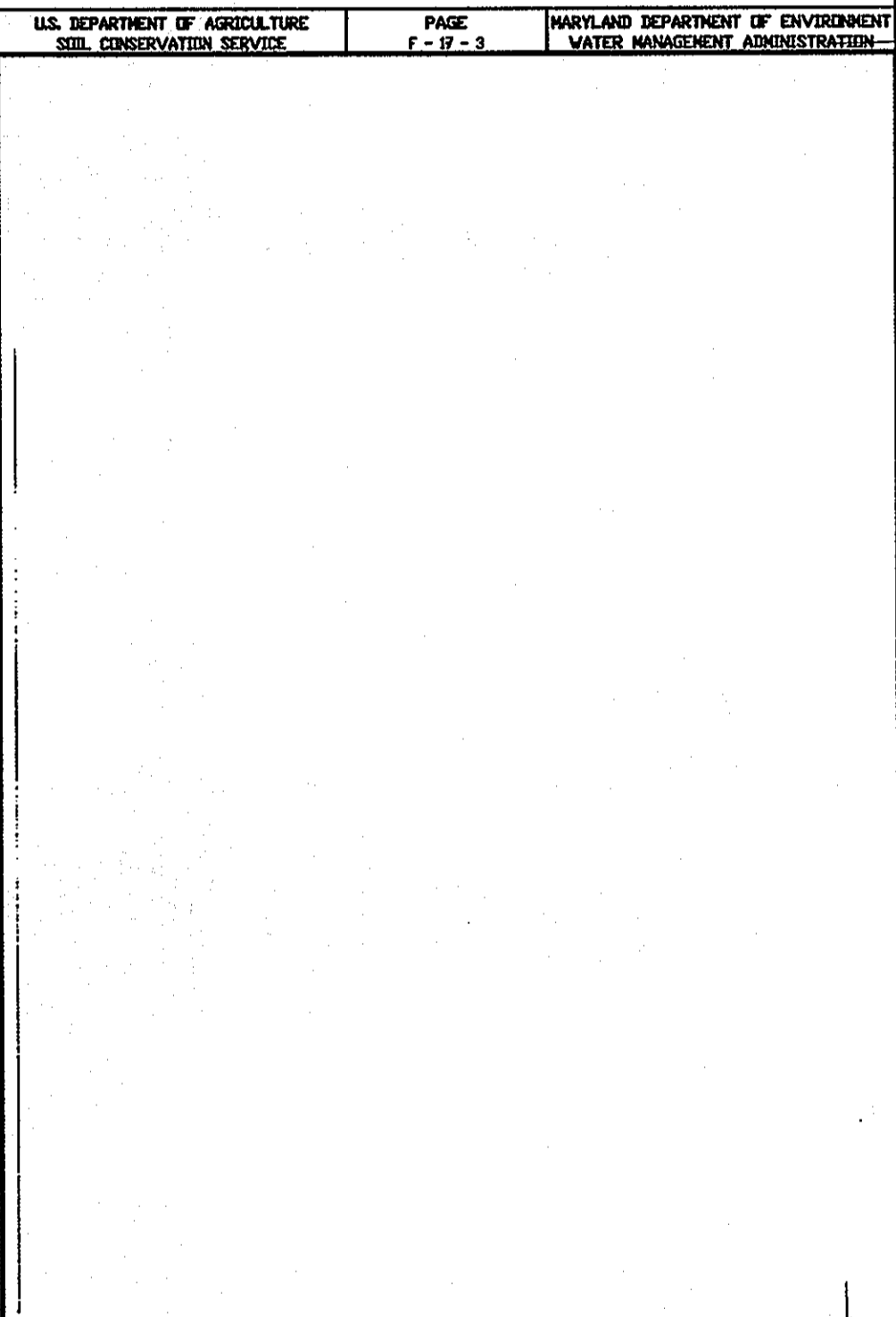
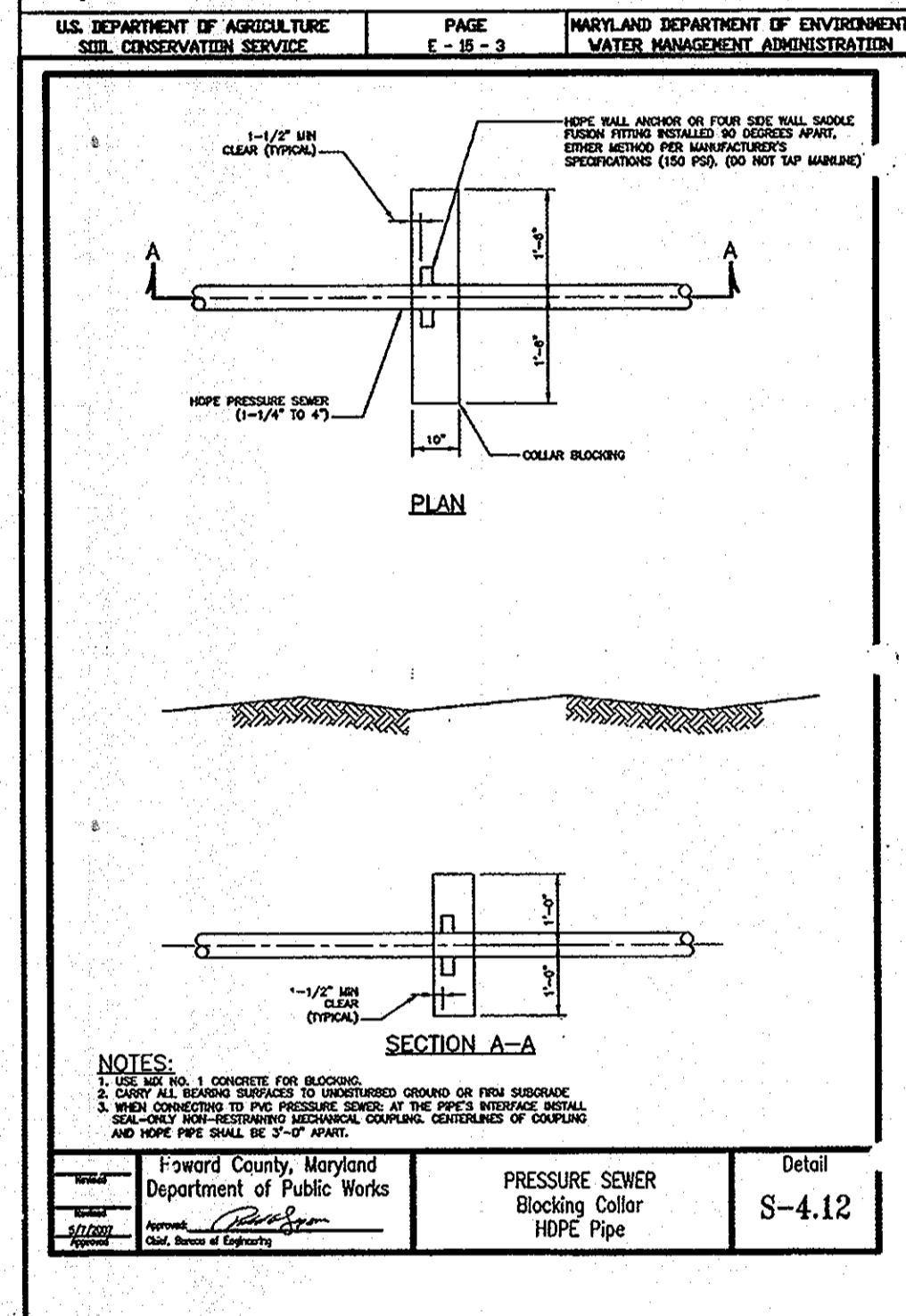
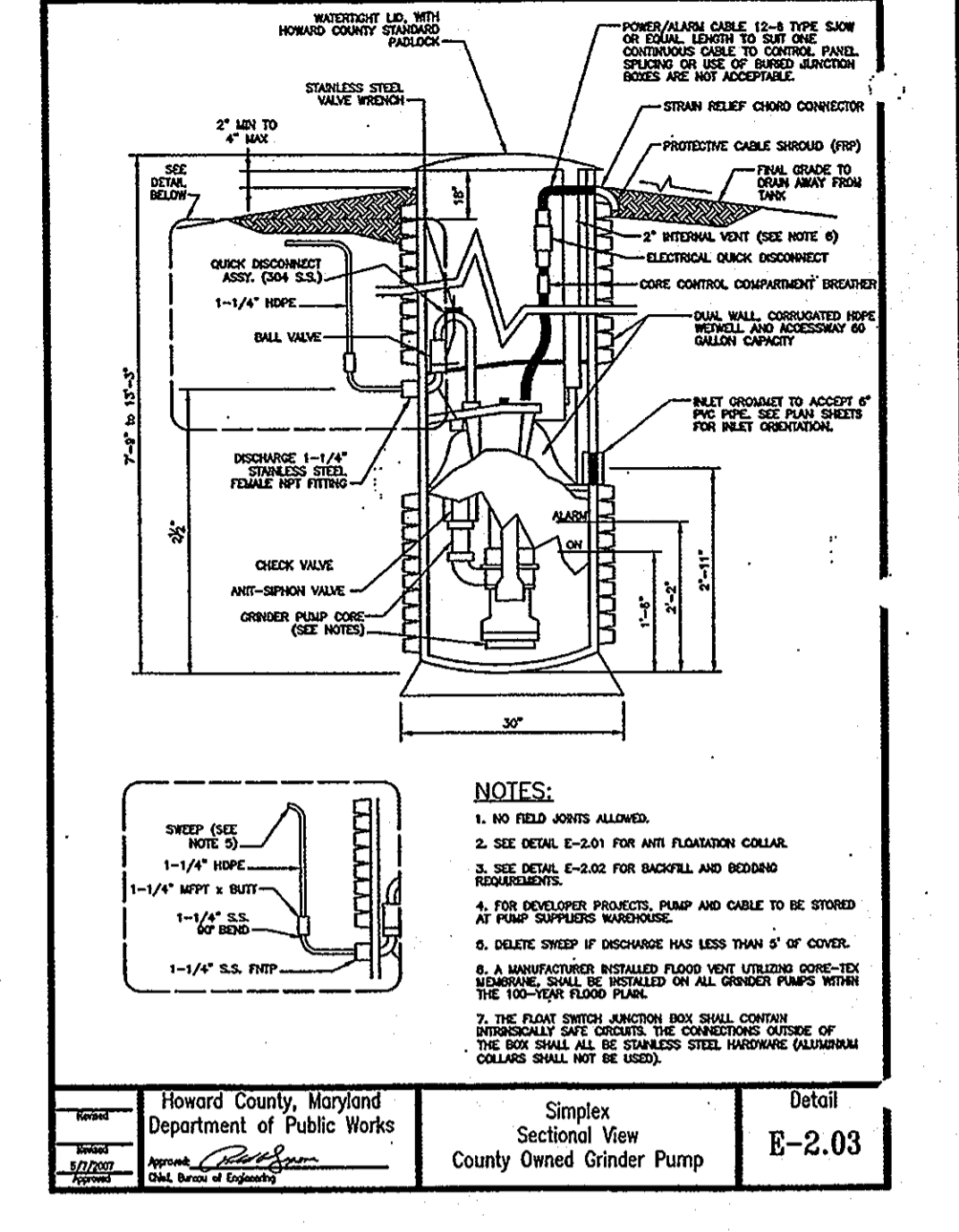
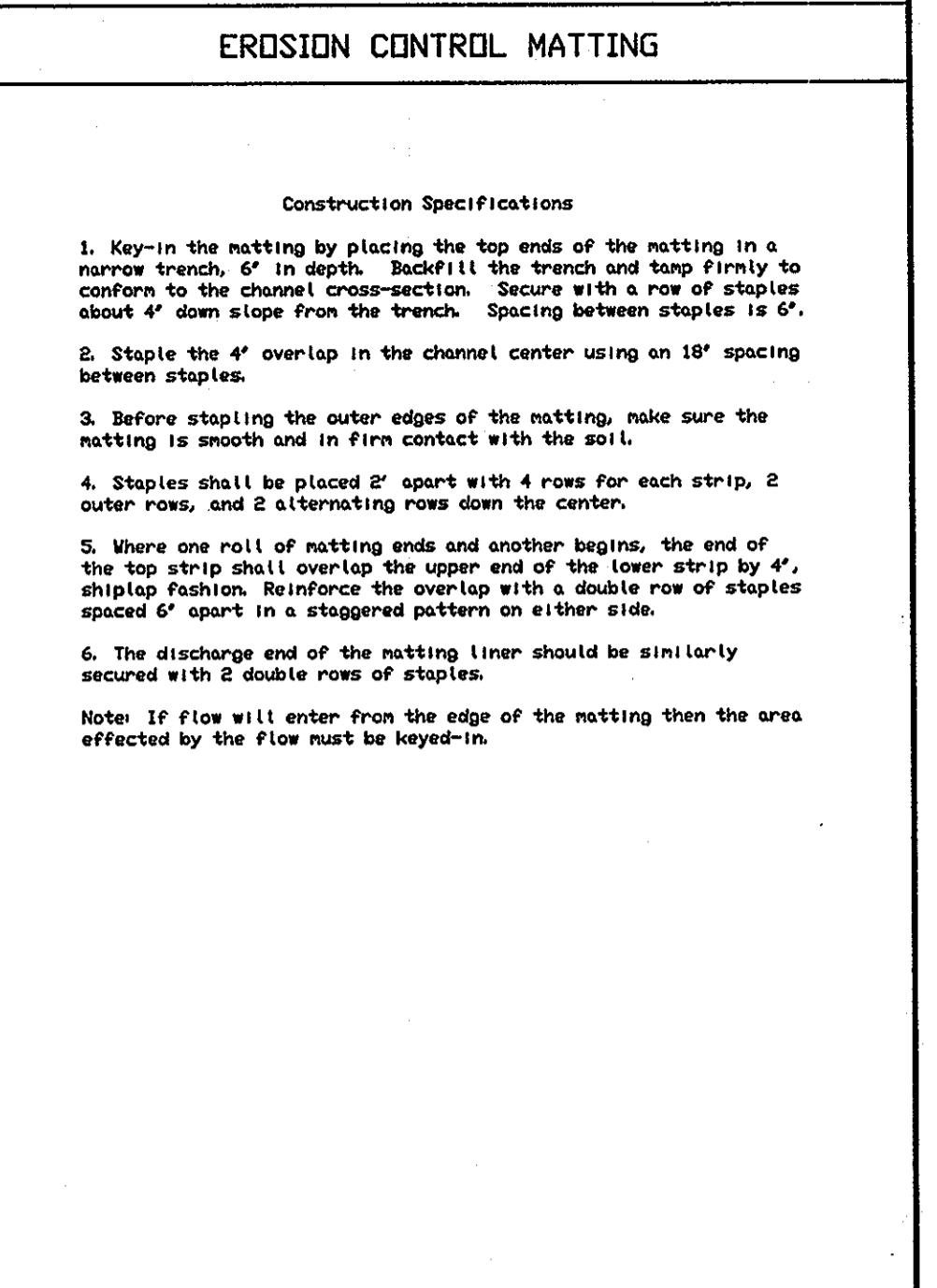
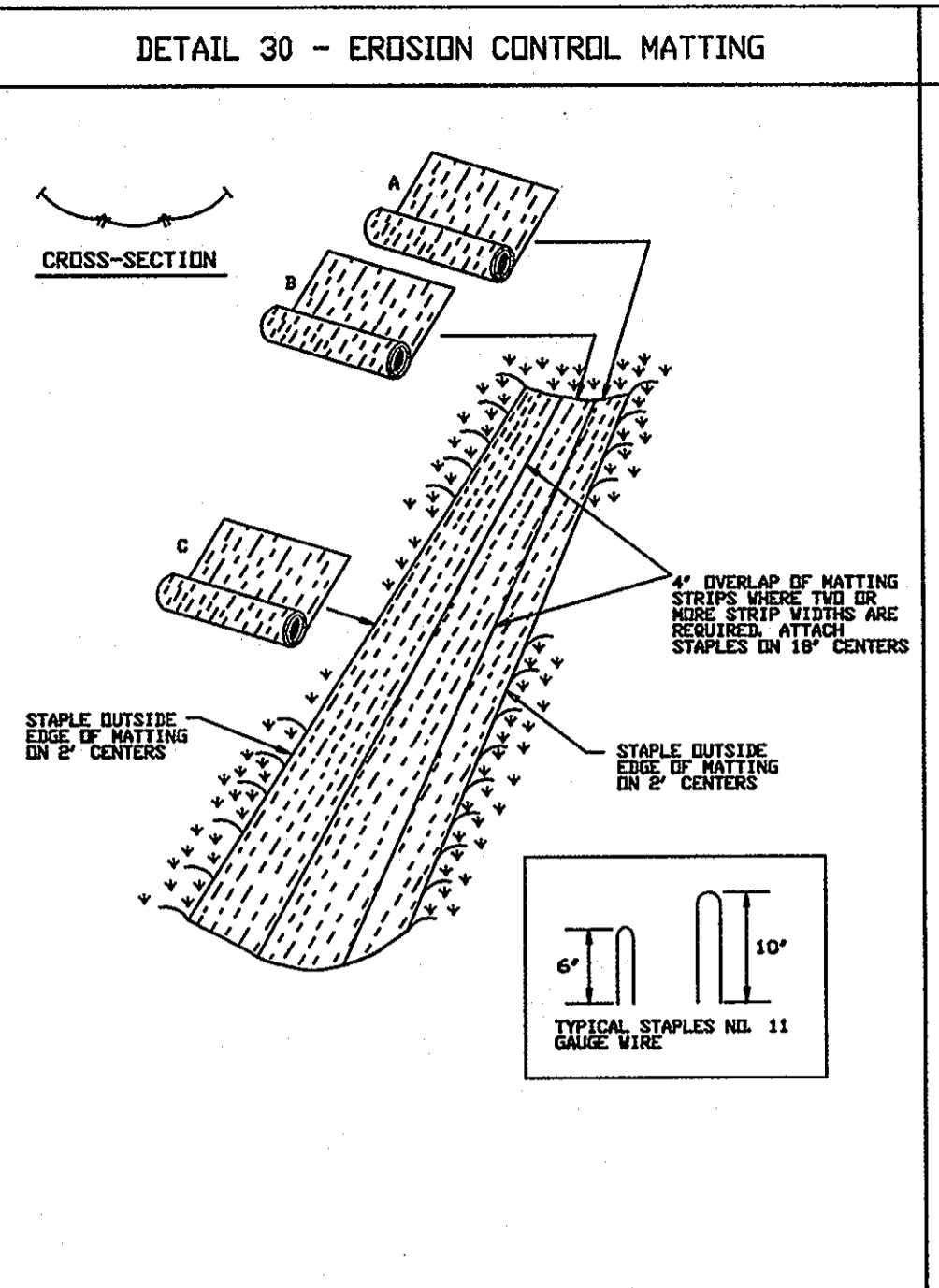
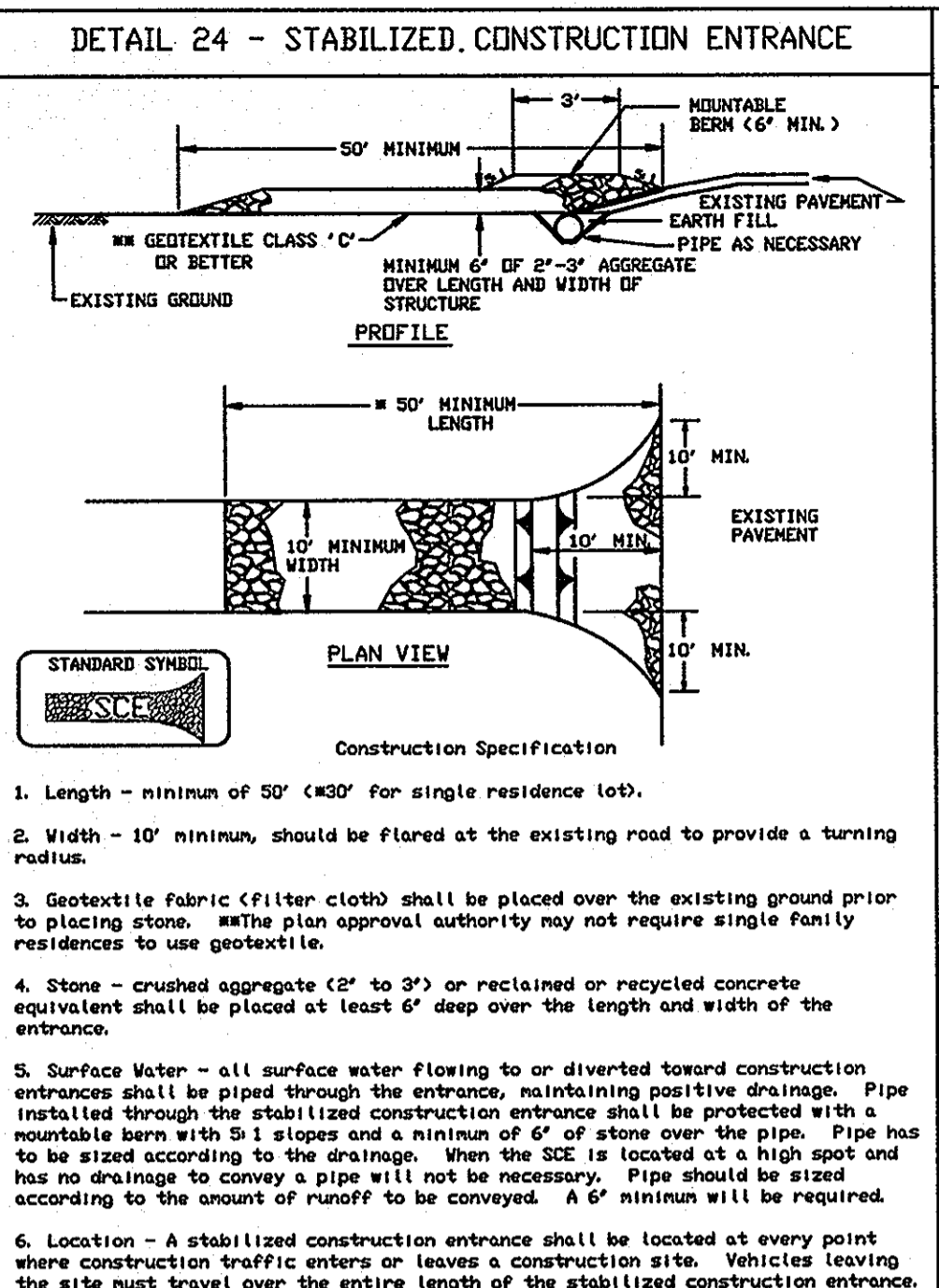
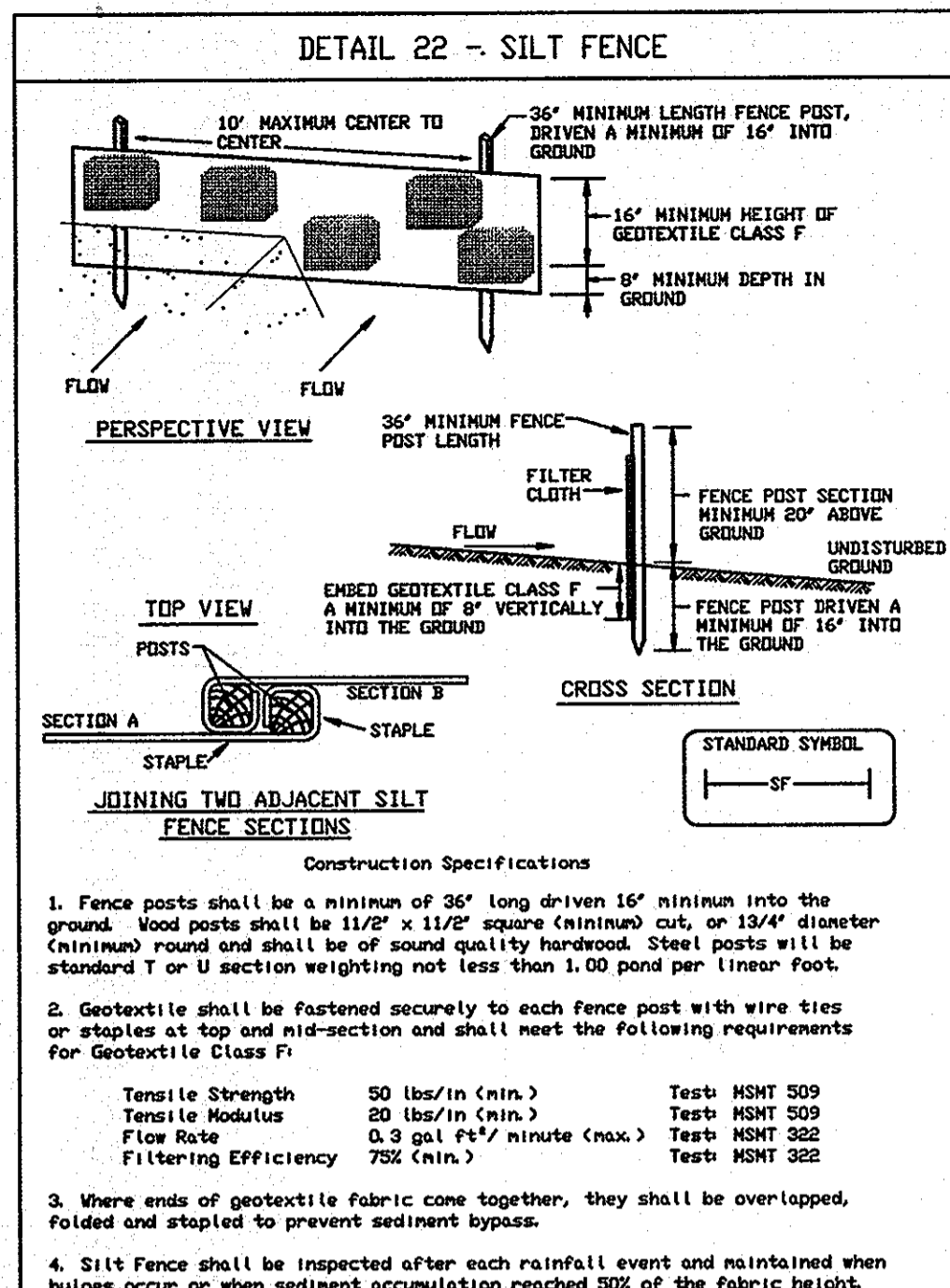
The **RBA** Group, Inc.
ENGINEERS • ARCHITECTS • PLANNERS
7164 Columbia Gateway Drive, Suite 205
Columbia, Maryland 21046
Phone (410) 312-0968, Fax: (410) 312-0997

John K. Roberts
5/19/08

OWNER/DEVELOPER:
HIGH RIDGE, LLC.
10176 BALTIMORE NATIONAL PK.
SUITE 217
ELLCOTT CITY, MD 21042
BUILDER:
CARRIGAN HOMES, INC.
9812 CAITLINS COURT
ELLCOTT CITY, MD 21042
(410) 465-7755

SCALE: GRAPHIC SCALE 1"=30'
DRAWN BY: DW
CHECKED BY: KH/RN
DATE: 05/08/08
JOB NO. M3997.00
SHEET NO. 2 OF 3

SEDIMENT CONTROL PLAN
LOT 4, HOFFMAN PROPERTY
LOT 4 - DEED #10541/001, PLAT #18814
SINGLE FAMILY DETACHED HOME
PLANS PREPARED FOR:
Carrigan Homes
FINAL PLAN APPROVAL DATE: 2/6/07
TAX MAP 18 GRID 13 PARCEL 50
ELECTION DISTRICT NO. 2
HOWARD COUNTY, MARYLAND



THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY HOWARD SOIL CONSERVATION DISTRICT

John R. R. [Signature] 5/14/08
HOWARD SCD DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 5/19/08
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 6/19/08
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 6/20/08
DIRECTOR DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 5/19/08
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 6/19/08
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 6/20/08
DIRECTOR DATE

NO.	DESCRIPTION	BY	DATE

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[Signature] 6/8/08

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CHECKED BY: KH/RN

DATE: 05/08/08

JOB NO. M3997.00

SHEET NO. 3 OF 3

DETAILS

LOT 4, HOFFMAN PROPERTY

LOT 4 - DEED #10541/001, PLAT #18814
SINGLE FAMILY DETACHED HOME
PLANS PREPARED FOR:
Carrigan Homes
FINAL PLAN APPROVAL DATE: 2/5/07
TAX MAP 18 - GRID 13 - PARCEL 50
ELECTION DISTRICT NO. 2
HOWARD COUNTY, MARYLAND