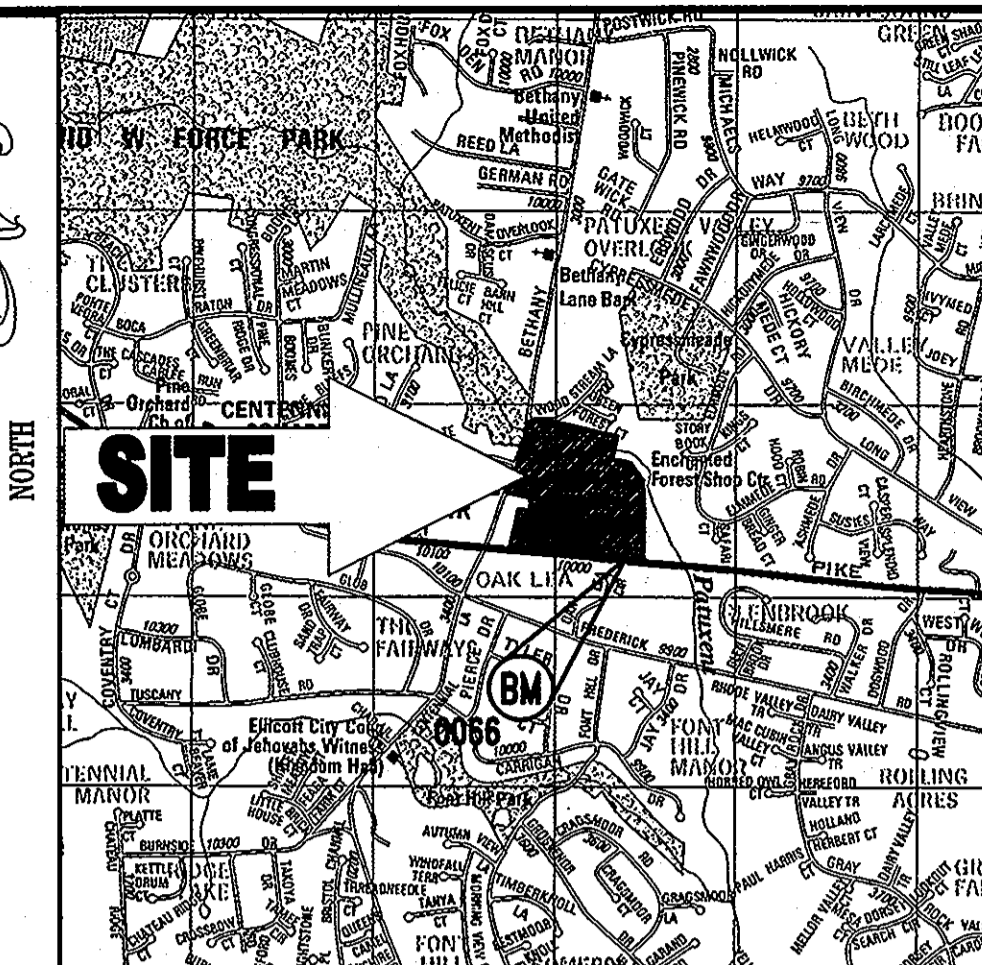


CHEVY CHASE BANK SITE DEVELOPMENT PLANS

10070 BALTIMORE NATIONAL PIKE TAX MAP 24, GRID 2, PARCEL 454 ELLCOTT CITY HOWARD COUNTY, MARYLAND



LOCATION MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'

LEGEND

EXISTING	FOR ENTIRE PLAN SET (NOT TO SCALE)	PROPOSED
EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
---	ONSITE PROPERTY LINE / R.O.W. LINE	---
---	LEASE LINE	---
---	NEIGHBORING PROPERTY LINE / INTERIOR PARCEL LINE	---
---	EASEMENT LINE	---
---	SETBACK LINE	---
---	CENTERLINE OF RELOCATED STREAM	---
---	BOTTOM OF SURFACE SANDFILTER / SWM FACILITY	---
---	CONCRETE CURB & GUTTER	---
---	CURB AND GUTTER	---
---	SPILL CURB TRANSITION CURB	---
---	DEPRESSED CURB AND GUTTER	---
○	TYPICAL LIGHT	○
☆	ACORN LIGHT	☆
△	TYPICAL SIGN	△
△	PARKING COUNTS	△
---	CONTOUR LINE	---
516.4 OR 516.4	SPOT ELEVATIONS	516.4 OR 516.4
XXX	SANITARY LABEL	XXX
XXX	STORM LABEL	XXX
S	SANITARY SEWER LATERAL	S
W	UNDERGROUND WATER LINE	W
E	UNDERGROUND ELECTRIC LINE	E
G	UNDERGROUND GAS LINE	G
OH	OVERHEAD WIRE	OH
T	UNDERGROUND TELEPHONE LINE	T
C	UNDERGROUND CABLE LINE	C
---	STORM SEWER	---
---	SANITARY SEWER MAIN	---
---	HYDRANT	---
---	SANITARY MANHOLE	---
---	STORM MANHOLE	---
---	WATER METER	---
---	WATER VALVE	---
---	GAS VALVE	---
---	GAS METER	---
---	TYPICAL END SECTION	---
---	HEADWALL OR ENDWALL	---
---	YARD INLET	---
---	CURB INLET	---
---	CLEAN OUT	---
---	ELECTRIC MANHOLE	---
---	TELEPHONE MANHOLE	---
---	ELECTRIC BOX	---
---	ELECTRIC PEDESTAL	---
---	MONITORING WELL	---
---	TEST PIT	---
---	BENCHMARK	---
---	BORING	---
---	UTILITY POLE W/LIGHT	---
---	POLE LIGHT	---
---	TRAFFIC LIGHT	---
---	UTILITY POLE	---

GENERAL NOTES:

- THIS PLAN IS BASED ON A SURVEY BY BOHLER ENGINEERING: ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY CHEVY CHASE BANK, PART OF PARCEL A, THE ENCHANTED FOREST COMMERCIAL CENTER, PLAT NUMBER MDR9687, COLUMBIA, 2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND" DATED 07/31/07. PROJECT NO.: 5073201.SR. ELEVATIONS ARE BASED UPON NAVD 88, REF. HOWARD COUNTY CONTROL STATIONS 0066, MARYLAND STATE PLANE GRID NORTH REFERENCES HOWARD COUNTY SURVEY CONTROL STATIONS 6066, NAD.27.
- THE EXISTING TOPOGRAPHY IS TAKEN FROM A FIELD RUN SURVEY WITH TWO FOOT CONTOUR INTERVALS PREPARED BY BOHLER ENGINEERING DATED 07/31/07. ELEVATIONS ARE BASED UPON NAVD 88, REF. HOWARD COUNTY CONTROL STATIONS 0066, MARYLAND STATE PLANE GRID NORTH REFERENCES HOWARD COUNTY SURVEY CONTROL STATIONS 0066, NAD.27.
- EXISTING UTILITIES ARE BASED ON A SURVEY BY BOHLER ENGINEERING: DATED 07/31/07.
- THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY STREET TRAFFIC STUDIES, LTD. ENTITLED "TRAFFIC IMPACT ANALYSIS, CHEVY CHASE BANK - ENCHANTED FOREST, HOWARD COUNTY, MARYLAND", STS JOB NO. 5374, DATED MARCH 30, 2009 AND APPROVED AUGUST 4, 2009.
- THE SUBJECT PROPERTY IS ZONED B-2 PER THE FEBRUARY 2, 2004 COMPREHENSIVE ZONING PLAN AND PER THE "COMP LITE" ZONING REGULATION AMENDMENTS EFFECTIVE JULY 28, 2006.
- EXISTING USE: NONE
PROPOSED USE: BANK WITH TRIPLE DRIVE THRU
- BUILDING HEIGHT: 25.00'
MAXIMUM HEIGHT ALLOWED: 40.00'

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7-8	UTILITY PROFILES
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20	STORMWATER MANAGEMENT DRAINAGE AREAS
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GENERAL NOTES: (CONTINUED)

- PARKING: REQUIRED - BANK: FIVE SPACES/1,000 SF OF FLOOR AREA 5 X (3,100/1,000) = 19 SPACES TOTAL PARKING REQUIRED = 19 SPACES TOTAL PARKING PROVIDED = 27 SPACES (INCLUDING 2 HANDICAP SPACES)
- REFUSE SHALL BE DISPOSED OF DAILY IN TRASH RECEPTACLES LOCATED INSIDE OF THE BUILDING. TRASH REMOVAL WILL BE PRIVATELY CONTRACTED.
- SETBACKS: BALTIMORE NATIONAL PIKE - U.S. ROUTE 40 (SOUTH): USE & STRUCTURE SETBACK REQUIRED 30' PROPOSED 133.71' PARKING SETBACK (DISTANCE FROM PROPERTY/LEASE LINE TO BACK OF CURB) 10' 100.88'
- LIGHTING SHALL BE SHIELDED AND DIRECTED SO THAT IT DOES NOT SHINE DIRECTLY ONTO ANY ADJACENT PROPERTIES. IT SHALL NOT ILLUMINATE RESIDENTIAL PROPERTIES AND SHALL NOT PRODUCE GLARE WHICH WOULD CAUSE A HAZARD FOR MOTOR VEHICLE OPERATIONS IN THE VICINITY OF THE SITE. LIGHTING SHALL COMPLY WITH SECTION 134 OF THE ZONING REGULATIONS.
- UTILITIES: WATER, PUBLIC - EXISTING 20" WATER LINE (CONTRACT # 44-1747) IS LOCATED IN U.S. ROUTE 40 AND A NEW CONNECTION WILL BE MADE. SEWER, PRIVATE - A 6" SANITARY SEWER LINE, PER SDP # 90-74, IS LOCATED EAST OF THE SITE BETWEEN TWO EXISTING BUILDINGS AND A NEW CONNECTION WILL BE MADE. THE PRIVATE ON-SITE SEWER CONNECTS TO AN EXISTING 8" SANITARY SEWER LINE (CONTRACT #411-S) LOCATED IN U.S. ROUTE 40. STORM DRAIN - STORMWATER WILL BE CONVEYED THROUGH INLETS TO THE PROPOSED SURFACE SAND FILTER LOCATED AT THE NORTHEAST CORNER OF THE SITE. BIORETENTION FACILITY - A BIORETENTION FACILITY WILL BE LOCATED WITHIN THE SOUTHERN PORTION OF THE SITE TO TREAT RUNOFF FROM U.S. ROUTE 40 TO THE MAXIMUM EXTENT POSSIBLE.
- ALL HOWARD COUNTY STORM WATER MANAGEMENT REQUIREMENTS WILL BE MET VIA A SURFACE SANDFILTER. IN ADDITION TO THE SURFACE SANDFILTER, A BIORETENTION FACILITY WILL BE CONSTRUCTED TO PROVIDE WATER QUALITY, TO THE MAXIMUM EXTENT POSSIBLE, FROM THE DRAINAGE AREA ACROSS U.S. ROUTE 40. THE DEVELOPER IS RESPONSIBLE FOR ALL MAINTENANCE OF THE SYSTEM TO ENSURE PROPER FUNCTION OF THE SURFACE SANDFILTER AND BIORETENTION FACILITY.
- ELECTION DISTRICT: 2
- DEED REFERENCE: PART OF PARCEL A THE ENCHANTED FOREST COMMERCIAL CENTER PLAT # MDR9687 LIBER 8360, FOLIO 654

GENERAL NOTES: (CONTINUED)

- TAX MAP: 24, GRID: 2, PARCEL: 454
- PROPERTY IS LOCATED IN ELLCOTT CITY
- THERE IS NO 100-YEAR FLOOD PLAIN LOCATED ON SITE PER FEMA FIRM MAP 240044 0023 B DATED 12/04/86. SITE LOCATED IN ZONE C - AREAS OF MINIMAL FLOODING.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY AND MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- THERE ARE NO KNOWN BURIAL GROUNDS LOCATED ON-SITE.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NO. 0066 (OLD NO. 24AA) WAS USED FOR THIS PROJECT. WITH A PUBLISHED ELEVATION OF 386.589
- THIS PLAN IS SUBJECT TO THE AMENDED 5TH EDITION OF THE SUBDIVISION REGULATIONS AND THE 07/28/06 ZONING REGULATIONS.
- RELATED FILE APPLICATIONS: F-90-32, S-89-82, SDP-90-74, SDP-90-187, WP-89-143, WP-90-54, ZB CASE 867M, HDC-07-44, WP-09-110, WP-08-040, WP-08-086, WP-11-061, WP-12-048, WP-13-069.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$10,800.00 FOR 28 SHADE TREES AND 16 EVERGREEN TREES.
- NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAMS OR THEIR BUFFERS, FOREST CONSERVATION EASEMENT AREAS AND 100 YEAR FLOODPLAIN, EXCEPT AS FOLLOWS: A WAIVER OF SUBDIVISION REGULATIONS SECTIONS 16.116(A)(1) AND 16.116(A)(2)(X) WAS REQUESTED AND APPROVED ON MARCH 5, 2009.

COUNTY CONTROL INFORMATION

STATION 0066
HOWARD COUNTY ALUMINUM DISK SET ON A CONCRETE MONUMENT ALONG U.S. ROUTE 40 BY ENCHANTED FOREST SHOPPING CENTER ENTRANCE.
ELEV. = 386.589

GENERAL NOTES: (CONTINUED)

- THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16-124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- THE FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY A FEE-IN-LIEU REQUEST FOR 34,848 S.F. (0.80 AC.) OF FORESTS. THE REQUEST RESULTS IN A PAYMENT OF \$26,136.00 TO THE HOWARD COUNTY FOREST CONSERVATION FUND.
- A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. IT SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4'-5' IN HEIGHT AND NO MORE THAN 6' Laterally FROM THE DOOR. THE BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY AN OWNER THAT IT IS BEING ACCESSED. (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1)
- PER TRACKING NUMBER 07-NI-3365/200765072, THE MARYLAND DEPARTMENT OF THE ENVIRONMENT HAS ISSUED A NONTIDAL WETLANDS AND WATERWAYS PERMIT TO CHEVY CHASE BANK FOR THE CONSTRUCTION OF A NEW BANK BRANCH IMPACTING 235 LINEAR FEET OF STREAM, 2,386 SQUARE FEET OF EMERGENT NONTIDAL WETLAND AND 12,526 SQUARE FEET OF REGULATED BUFFER. ADDITIONALLY, 689 SQUARE FEET OF EMERGENT NONTIDAL WETLANDS WILL BE TEMPORARILY IMPACTED.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE SITE IS LISTED IN THE HOWARD COUNTY HISTORIC SITES INVENTORY AS HO-767. THE PLAN WAS REVIEWED BY THE HISTORIC COMMISSION IN OCTOBER, 2007. THE COMMISSION HAD NO ADVISORY COMMENTS REGARDING THE PLAN.
- WAIVER PETITION WP-09-110 WAS APPROVED ON MARCH 5, 2009 TO WAIVE SECTIONS 16.116(a)(1), 16.116(a)(2)(i), AND 16.150(a)(2) OF THE HOWARD COUNTY CODE AS IT RELATES TO THIS SITE DEVELOPMENT PLAN.
- THIS DEVELOPER IS RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF THE RETAINING WALL.

MISS UTILITY



PROFESSIONAL CERTIFICATION

I, ADAM J. VOLANTH HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21342, EXPIRATION DATE: 9/14/14.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
 COUNTY HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT

UTILITY CONTACT INFORMATION:

NATURAL GAS AND ELECTRIC
BALTIMORE GAS AND ELECTRIC
7317 PARKWAY DRIVE
SOUTH HANOVER, MD 21078
PHONE: (410) 859-9383

TELEPHONE
VERIZON
7133 RUTHERFORD ROAD
BALTIMORE, MD 21244
PHONE: (410) 224-5286

STORMWATER MANAGEMENT
HOWARD COUNTY PLANNING AND ZONING DEPARTMENT
3430 COURTHOUSE DRIVE
ELLCOTT CITY, MD 21043
PHONE: (410) 313-2350

WATER AND SANITARY SEWER
HOWARD COUNTY PUBLIC WORKS BUREAU OF UTILITIES
8250 OLD MONTGOMERY ROAD
COLUMBIA, MD 21045
PHONE: (410) 313-4910

EROSION AND SEDIMENT CONTROL
DEPARTMENT OF INSPECTIONS, LICENSES & PERMITS
3430 COURTHOUSE DRIVE
ELLCOTT CITY, MD 21043
PHONE: (410) 313-2455

PLANNING AND ZONING
HOWARD COUNTY PLANNING AND ZONING DEPARTMENT
3430 COURTHOUSE DRIVE
ELLCOTT CITY, MD 21043
PHONE: (410) 313-2350

SITE ANALYSIS DATA CHART

PROJECT AREA: LEASE AREA = 2.04 ACRES = 88,855 S.F.
 LIMIT OF DISTURBED AREA: 96,588 S.F. (2.22 AC.)
 PRESENT ZONING: B-2 (BUSINESS GENERAL)
 PROPOSED USE: BANK WITH TRIPLE DRIVE-THRU
 FLOOR AREA: TOTAL FLOOR AREA: 3,100 S.F.

MAXIMUM NUMBER OF EMPLOYEES: 10
 PARKING SPACES REQUIRED: 19 (SEE GENERAL NOTE 8 OF THIS SHEET)
 PARKING SPACES PROVIDED: 27 (INCLUDING 2 HANDICAP SPACES)
 BUILDING COVERAGE OF SITE: 0.07 ACRES (3.64% OF GROSS AREA)
 APPLICABLE DPZ FILE REFERENCES: F-90-32, S-89-82, SDP-90-74, SDP-90-187, WP-89-143, WP-90-54, ZB CASE 867M, HDC-07-44, WP-09-110, WP-08-040, WP-08-086

ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
PARCEL 454	10070 BALTIMORE NATIONAL PIKE, ELLCOTT CITY HOWARD COUNTY, MD 21042

PERMIT INFORMATION CHART			
SUBDIVISION NAME:	SECTION/AREA	TAX MAP NO.	ELECT. DISTRICT
THE ENCHANTED FOREST COMMERCIAL CENTER	454	24	2nd
PLAT RECORDATION/GRID#	ZONING	CENSUS TRACT	
2.377-2.378	B-2	8022	
WATER CODE	SEWER CODE		
H08	5440000		

PREPARED BY:



901 DULANEY VALLEY ROAD
 SUITE 801
 TOWSON, MARYLAND 21204
 PH: (410) 821-7900
 FX: (410) 821-7987
 CONTACT: ADAM J. VOLANTH, P.E.
 www.bohlerengineering.com

OWNER

ENCHANTED FOREST, LLC
 3333 NEW HYDE PARK ROAD
 NEW HYDE PARK, NY 11042
 CONTACT: GEOFF GLAZER
 TEL: (410) 684-2000

APPLICANT

KIMCO REALTY CORPORATION
 1954 GREENSPRING DRIVE, SUITE 330
 TIMONUM, MD 21093
 CONTACT: GREG REED
 TEL: (410) 684-2000

GENERAL NOTE:
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE BEGINNING OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

DESIGNED BY: A.G.S.
 DRAWN BY: R.F.G.
 PROJECT NO.: MDO69000.1
 DATE: 3/1/13
 SCALE: AS SHOWN
 DRAWING NO. 1 OF 28

SITE PLAN GENERAL NOTES

- THIS PLAN IS BASED ON A SURVEY PREPARED BY: BOHLER ENGINEERING ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY CHEVY CHASE BANK, PART OF PARCEL A, THE ENCHANTED FOREST COMMERCIAL CENTER, PLAT NUMBER MDR9687, COLUMBIA, 2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND" DATED 07/31/07 PROJECT NO.: 5073201.SR
- SPECIFIC RESOURCES, TECHNICAL REPORTS, DESIGN DOCUMENTS, ETC. RELATED TO THIS PROJECT INCLUDE, BUT MAY NOT BE LIMITED TO, THE FOLLOWING:
TRAFFIC: THIS PLAN IS BASED ON A TRAFFIC REPORT PREPARED BY STREET TRAFFIC STUDIES, LTD. ENTITLED TRAFFIC IMPACT ANALYSIS, CHEVY CHASE BANK - ENCHANTED FOREST, HOWARD COUNTY, MARYLAND", STS JOB NO. 5374, DATED MARCH 30, 2009.
GEOTECHNICAL: THIS PLAN IS BASED ON A GEOTECHNICAL REPORT PREPARED BY TRIAD ENGINEERING, INC. ENTITLED "REPORT OF GEOTECHNICAL INVESTIGATION, PLANNED CHEVY CHASE BANK NEW BIORETENTION BASIN, 10040 BALTIMORE NATIONAL PIKE, HOWARD COUNTY, MARYLAND, TRIAD PROJECT NO. 07-09-0129," DATED APRIL 16, 2009.
WETLANDS: THIS PLAN IS BASED ON A WETLANDS DELINEATION STUDY PREPARED BY TRIAD ENGINEERING, INC. ENTITLED "REPORT OF ROUTINE WETLANDS DELINEATION STUDY, CHEVY CHASE BANK AT THE ENCHANTED FOREST, HOWARD COUNTY, MARYLAND, TRIAD PROJECT NO. 03-07-0172," DATED JUNE 1, 2007.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING THESE DOCUMENTS AND FAMILIARIZING HIMSELF WITH SAME FOR APPLICATION BOTH PRIOR TO AND DURING CONSTRUCTION.
- ALL ELEVATIONS SHOWN ARE BASED ON THE SURVEYOR'S BENCHMARK, AS REFERENCED IN THE SURVEY, AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUNDBREAK.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.
- THE OWNER/CONTRACTOR SHALL BE FAMILIAR WITH AND RESPONSIBLE FOR ANY/ALL CERTIFICATIONS, INSPECTIONS, ETC. REQUIRED BY ALL GOVERNING JURISDICTIONAL AGENCIES DURING AND AFTER CONSTRUCTION FOR SIGN-OFF AND CERTIFICATE OF OCCUPANCY ISSUANCE, INCLUDING BUT NOT LIMITED TO PROCUREMENT OF SERVICES, SCHEDULING OF FIELD OBSERVATIONS AND COORDINATION WITH REPRESENTATIVES OF THE APPROPRIATE PARTIES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
- THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY BOHLER ENGINEERING IN WRITING OF ANY SUCH DISCREPANCY BETWEEN GEOTECHNICAL REPORT AND PLANS, ETC.
- THE PROPERTY SURVEY SHALL BE CONSIDERED A PART OF THESE PLANS.
- THESE PLANS ARE BASED ON INFORMATION PROVIDED TO BOHLER ENGINEERING AT THE TIME OF PLAN PREPARATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY BOHLER ENGINEERING IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK WOULD BE INHIBITED BY ANY OTHER SITE FEATURES.
- ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY BOHLER ENGINEERING IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL/BUILDING PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY LOCATIONS.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL TOWN, COUNTY, STATE AND FEDERAL LAWS AND APPLICABLE CODES.
- CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.
- CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES AS NECESSARY TO ENSURE THE STRUCTURAL STABILITY OF PAVEMENT, STRUCTURES, ETC. TO REMAIN, AND TO PROVIDE A SAFE WORK AREA.
- CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING ALL EXISTING DAMAGE AND FOR NOTIFYING CONSTRUCTION MANAGER PRIOR TO START OF CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM DURING CONSTRUCTION SUCH AS BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE ALL SIGNAL INTERCONNECT CABLE, CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION. REPAIR SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
- ALL CONCRETE SHALL HAVE THE MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS AS INDICATED IN SPECIFICATIONS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.
- BOHLER ENGINEERING IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS/MEANS FOR COMPLETION OF THE WORK DEPICTED ON THESE PLANS NOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND NOTIFICATION OF OWNER AND BOHLER ENGINEERING WHEN A CONFLICT IS IDENTIFIED.
- BOHLER ENGINEERING IS NOT RESPONSIBLE FOR JOB SITE SAFETY NOR HAVE THEY BEEN RETAINED FOR SUCH PURPOSES.
- ALL CONTRACTORS MUST CARRY STATUTORY WORKER'S COMPENSATION INSURANCE, EMPLOYER'S LIABILITY INSURANCE AND APPROPRIATE LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME BOHLER ENGINEERING, AND ITS SUBCONSULTANTS AS ADDITIONAL INSURED AND TO PROVIDE OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD CONTRACTORS. ALL CONTRACTORS MUST FURNISH BOHLER ENGINEERING WITH CERTIFICATIONS OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THE HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE HARMLESS BOHLER ENGINEERING AND ITS SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS.
- NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER ENGINEERING, NOR THE PRESENCE OF BOHLER ENGINEERING OR ITS EMPLOYEES AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. BOHLER ENGINEERING AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. BOHLER ENGINEERING SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE MADE ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
- BOHLER ENGINEERING SHALL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN CONCEPT AND THE INFORMATION SHOWN IN THE CONSTRUCTION MEANS OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES, OR CONSTRUCTION SAFETY PRECAUTIONS, ALL OF WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. BOHLER ENGINEERING'S REVIEW SHALL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT BOHLER ENGINEERING HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER ENGINEERING SHALL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO THE ATTENTION OF BOHLER ENGINEERING IN WRITING BY THE CONTRACTOR. BOHLER ENGINEERING SHALL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.

SITE PLAN GENERAL NOTES CONTINUED

- BOHLER ENGINEERING SHALL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN CONCEPT AND THE INFORMATION SHOWN IN THE CONSTRUCTION MEANS OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES, OR CONSTRUCTION SAFETY PRECAUTIONS, ALL OF WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. BOHLER ENGINEERING'S REVIEW SHALL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT BOHLER ENGINEERING HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER ENGINEERING SHALL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO THE ATTENTION OF BOHLER ENGINEERING IN WRITING BY THE CONTRACTOR. BOHLER ENGINEERING SHALL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.
- IN AN EFFORT TO RESOLVE ANY CONFLICTS THAT ARISE DURING THE DESIGN AND CONSTRUCTION OF THE PROJECT OR FOLLOWING THE COMPLETION OF THE PROJECT, BOHLER ENGINEERING AND THE CONTRACTOR MUST AGREE THAT ALL DISPUTES BETWEEN THEM ARISING OUT OF OR RELATING TO THIS AGREEMENT OR THE PROJECT SHALL BE SUBMITTED TO NONBINDING MEDIATION UNLESS THE PARTIES MUTUALLY AGREE OTHERWISE.
- THE CONTRACTOR MUST INCLUDE A MEDIATION PROVISION IN ALL AGREEMENTS WITH INDEPENDENT SUBCONTRACTORS AND CONSULTANTS RETAINED FOR THE PROJECT AND TO REQUIRE ALL INDEPENDENT CONTRACTORS AND CONSULTANTS ALSO TO INCLUDE A SIMILAR MEDIATION PROVISION IN ALL AGREEMENTS WITH THEIR SUBCONTRACTORS, SUBCONSULTANTS, SUPPLIERS AND FABRICATORS, THEREBY PROVIDING FOR MEDIATION AS THE PRIMARY METHOD FOR DISPUTE RESOLUTION BETWEEN THE PARTIES TO ALL THOSE AGREEMENTS.
- IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED THEREON, WITHOUT FIRST OBTAINING PRIOR WRITTEN AUTHORIZATION FOR SUCH DEVIATIONS FROM THE OWNER AND ENGINEER, IT SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL COSTS TO CORRECT ANY WORK DONE, ALL FINES OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS TO CORRECT ANY SUCH WORK AND FROM ALL SUCH FINES AND PENALTIES, COMPENSATION AND PUNITIVE DAMAGES AND COSTS OF ANY NATURE RESULTING THEREFROM.

GRADING NOTES

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY BOHLER ENGINEERING OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY BOHLER ENGINEERING SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED AS OUTLINED IN THE GEOTECHNICAL REPORT. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL BE SUBMITTED IN COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER OR OWNER'S REPRESENTATIVE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS DIRECTED BY THE GEOTECHNICAL REPORT.
- ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION SHALL BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND SHALL BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS.
- THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS AND REGULATIONS, OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES.
- PAVEMENT SHALL BE SAW CUT IN STRAIGHT LINES TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS SHALL BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.
- THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS SHALL BE ADJUSTED, IF REQUIRED, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MINIMUM SLOPE AGAINST ALL ISLANDS, GUTTERS, AND CURBS; 1.0% ON ALL CONCRETE SURFACES; AND 1.5% MINIMUM ON ASPHALT, TO PREVENT PONDING. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST MUST BE IDENTIFIED TO BOHLER ENGINEERING IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITHOUT NOTIFICATION IS DONE SO AT THE CONTRACTOR'S OWN RISK.
- PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF 0.75% GUTTER GRADE ALONG CURB FACE. ENGINEER TO APPROVE FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION.
- REFER TO SITE PLAN FOR ADDITIONAL NOTES.
- IN CASE OF DISCREPANCIES BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE. IMMEDIATELY NOTIFY BOHLER ENGINEERING IN WRITING OF ANY CONFLICTS.
- CONTRACTOR SHALL BE REQUIRED TO SECURE ALL NECESSARY PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR SHALL SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING WORK.

UTILITY NOTES

- LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO BOHLER ENGINEERING. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. ALL PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL UTILITIES AND SERVICES INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE SHALL BE VERTICALLY AND HORIZONTALLY LOCATED. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY BOHLER ENGINEERING OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY BOHLER ENGINEERING SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
- DEFINE AND LOCATE VERTICALLY AND HORIZONTALLY ALL ACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.
- THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP REQUIREMENTS/DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE UTILITY SERVICE SIZES ARE TO BE DETERMINED BY THE ARCHITECT. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES/SERVICES WITH THE INDIVIDUAL COMPANIES, TO AVOID CONFLICTS AND ENSURE PROPER DEPTHS ARE ACHIEVED. THE JURISDICTION UTILITY REQUIREMENTS SHALL ALSO BE MET, AS WELL AS COORDINATING THE UTILITY TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE. WHERE CONFLICTS EXIST WITH THESE SITE PLANS, BOHLER ENGINEERING IS TO BE NOTIFIED PRIOR TO CONSTRUCTION TO RESOLVE SAME.
- WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS SHALL BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTOR'S PRICE FOR WATER SERVICE SHALL INCLUDE ALL FEES AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE A COMPLETE WORKING SERVICE.
- ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE UTILITY/SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.
- THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS AND REGULATIONS, OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES.
- REFER TO SITE PLAN FOR ADDITIONAL NOTES.
- IN CASE OF DISCREPANCIES BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE. IMMEDIATELY NOTIFY BOHLER ENGINEERING IN WRITING OF ANY CONFLICTS.
- CONTRACTOR SHALL BE REQUIRED TO SECURE ALL NECESSARY PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR SHALL SUPPLY A COPY OF APPROVALS TO BOHLER ENGINEERING AND OWNER PRIOR TO INITIATING WORK.
- ELECTRIC SERVICE TO ALL EXISTING BUILDINGS MUST BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.



PROFESSIONAL CERTIFICATION

I, ADAM J. VOLANTH HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21342, EXPIRATION DATE: 9/14/14.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF-DEVELOPMENT ENGINEERING DIVISION 3/8/13
 CHIEF-DIVISION OF LAND DEVELOPMENT 5/6/13
 DIRECTOR DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
 COUNTY HEALTH OFFICER DATE
 HOWARD COUNTY HEALTH DEPARTMENT

NO.	DATE	REVISION DESCRIPTION
OWNERS:	ENCHANTED FOREST LLC 3333 NEW HYDE PARK ROAD NEW HYDE PARK, NY 11042 C/O GREG REED PHONE: (410) 884-2000	DEVELOPER: LAWD REALTY CORPORATION 1954 GREENSPRING DRIVE, SUITE 330 TIMONUM, MD 21093 C/O GREG REED PHONE: (410) 884-2000
PROJECT:	CHEVY CHASE BANK PARCEL 454, THE ENCHANTED FOREST COMMERCIAL CENTER 10070 BALTIMORE NATIONAL PIKE ELLCOTT CITY, HOWARD COUNTY, MARYLAND	
AREA:	2.04 AC. TAX MAP 24 GRID 2 ZONED B-2 PARCEL 454, L. 8360, F. 654 2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND	

GENERAL NOTES

BOHLER ENGINEERING
 901 DULANEY VALLEY ROAD
 SUITE 801
 TOWSON, MARYLAND 21204
 PH: (410) 821-7900
 FX: (410) 821-7987
 www.bohlerengineering.com

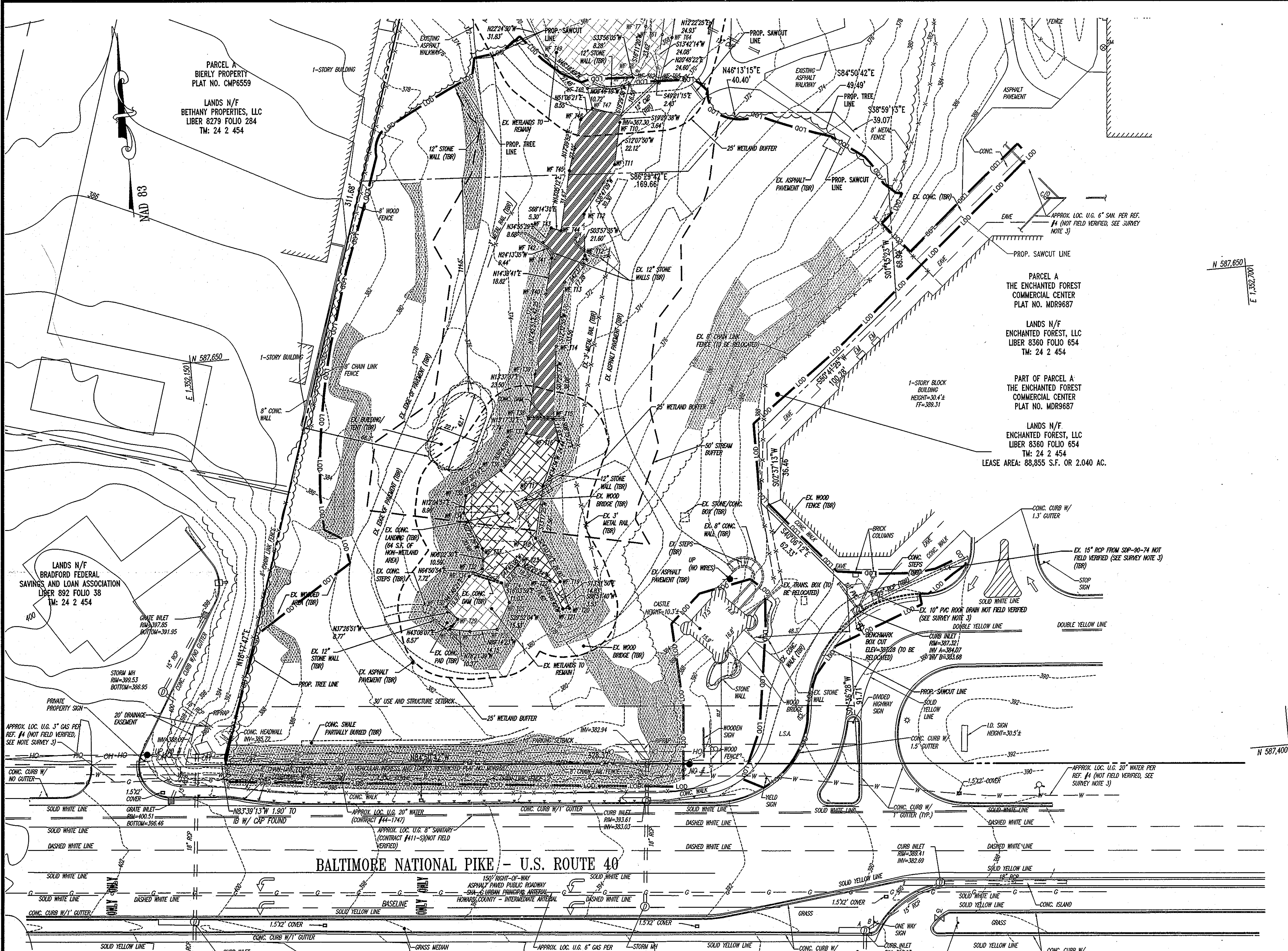
DESIGNED BY: A.G.S.
 DRAWN BY: R.F.G.
 PROJECT NO.: MD069000.1
 DATE: 3/1/13
 SCALE: 1"=30'
 DRAWING NO. 2 OF 28

ADAM J. VOLANTH
 PROFESSIONAL ENGINEER NO. 21342

ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
PARCEL 454	10070 BALTIMORE NATIONAL PIKE, ELLCOTT CITY HOWARD COUNTY, MD 21042

PERMIT INFORMATION CHART			
SUBDIVISION NAME:	SECTION/AREA	TAX MAP NO.	LOT/PARCEL NO.
THE ENCHANTED FOREST COMMERCIAL CENTER	454	24	454
TRAC RECORDATION/ORD#	ZONING	ELECT. DISTR	CENSUS TRACT
213777-12589	B-2	2nd	6022
WATER CODE	H08	SEWER CODE	5440000

GENERAL NOTE:
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY BOHLER ENGINEERING OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY BOHLER ENGINEERING SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.



DEMOLITION NOTES

- THIS PLAN IS BASED ON DOCUMENTS AND INFORMATION BY: BOHLER ENGINEERING ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY CHEVY CHASE BANK, PART OF PARCEL A, THE ENCHANTED FOREST COMMERCIAL CENTER, PLAT NUMBER MDR96878A, COLUMBIA, 2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND" DATED 07/31/07 PROJECT NO.: S073201.SR
- BOHLER ENGINEERING IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION.
- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AS WELL AS ALL FEDERAL, STATE AND LOCAL REGULATIONS. ANY DISCREPANCIES OR DEVIATIONS SHALL BE IDENTIFIED BY THE CONTRACTOR TO BOHLER ENGINEERING IN WRITING FOR RESOLUTION PRIOR TO INITIATION OF SITE ACTIVITY.
- PRIOR TO STARTING ANY DEMOLITION CONTRACTOR IS RESPONSIBLE FOR/TO:
 - ENSURING THAT COPIES OF ALL APPLICABLE PERMITS AND APPROVALS ARE MAINTAINED ON SITE AND AVAILABLE FOR REVIEW.
 - INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL AND/OR TREE PROTECTION MEASURES PRIOR TO SITE DISTURBANCE.
 - LOCATING (VERTICALLY AND HORIZONTALLY) ALL UTILITIES AND SERVICES, INCLUDING, BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.
 - PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE SYSTEM THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
 - FAMILIARIZING THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
 - COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES.
 - A COMPLETE INSPECTION FOR CONTAMINANTS BY A LICENSED ENVIRONMENTAL TESTING AGENCY, OF ALL BUILDINGS AND/OR STRUCTURES TO BE REMOVED. SAME SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL ENVIRONMENTAL REGULATIONS. ANY/ALL CONTAMINANTS SHALL BE REMOVED AND DISPOSED OF BY A FEDERALLY LICENSED CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS. ALL ENVIRONMENTAL WORK INCLUDING HAZARDOUS MATERIAL, SOILS, ASBESTOS, OR OTHER REFERENCED OR IMPLIED HEREIN IS THE SOLE RESPONSIBILITY OF THE OWNER'S ENVIRONMENTAL CONSULTANT.

MISS UTILITY



- BOHLER ENGINEERING IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
- THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN AS A RESULT OF HIS ACTIVITIES. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION CONDITION.
- IN THE ABSENCE OF SPECIFICATIONS, THE CONTRACTOR SHALL PERFORM EARTH MOVEMENT ACTIVITIES, DEMOLITION AND REMOVAL OF ALL FOUNDATION WALLS, FOOTINGS, AND OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE IN ACCORDANCE WITH DIRECTION BY OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
- EXPLOSIVES SHALL NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS SHALL BE IN PLACE PRIOR TO STARTING AN EXPLOSIVE PROGRAM. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL" AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHTS - OF - WAY.
- CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY.
- DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROPERTY LINE WITHOUT WRITTEN PERMISSION OF THE APPLICABLE PROPERTY OWNER, AND/OR APPROPRIATE GOVERNMENT AGENCY.
- USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION. CONTRACTOR IS RESPONSIBLE TO SAFEGUARD SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
- THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL METHODS AND MEANS ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL TOWN, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES.
- LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE AND ACCESSIBLE IN THE FIELD AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBUILT PLANS AND UTILITY MARK OUTS DO NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATIONS ARE TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATIONS, SIZE AND TYPE BY THE PROPER UTILITY COMPANY AND OR CONTRACTOR.
- ELEVATIONS ARE BASED UPON NAVD 88, REF. HOWARD COUNTY CONTROL STATIONS 0066, NAD27.
- PROPERTY IS LOCATED IN FLOOD HAZARD ZONE "C" (AREA OF MINIMAL FLOODING) PER MAP ENTITLED "NATIONAL FLOODING INSURANCE PROGRAM" FIRM-FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND, PANEL 23 OF 45", COMMUNITY-PANEL NUMBER 240044 0023 B, MAP REVISED 12-4-86.

PROFESSIONAL CERTIFICATION

I, ADAM J. VOLANTH HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21342, EXPIRATION DATE: 9/14/14.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF-DEVELOPMENT ENGINEERING DIVISION
 DATE: 4/25/13

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
 DATE: 5/13/13

APPROVED: COUNTY HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT
 DATE: 5/13/13

SURVEY NOTES:

- PROPERTY IS KNOWN AS PART OF ENCHANTED FOREST, LLC AS RECORDED IN LIBER 8360, FOLIO 654 AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AND HAVING A TAX MAP NUMBER OF 24, GRID 2, PARCEL 45A.
- LEASE AREA = 88,855 SQUARE FEET OR 2.04 ACRES.
- LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARKOUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.
- THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY BOHLER ENGINEERING AND OTHER REFERENCE MATERIAL AS LISTED HEREON. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
- THIS PROPERTY MAY BE SUBJECT TO RESTRICTIONS, COVENANTS AND/OR EASEMENTS, WRITTEN OR IMPLIED.
- THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
- ELEVATIONS ARE BASED ON NAVD 88 DATUM PER HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, SURVEY DIVISION, GEODETIC SURVEY CONTROL #0066 (244A) WITH A PUBLISHED ELEVATION OF 386.59.
- THE PROPERTY IS LOCATED IN ZONE C (AREAS OF MINIMAL FLOODING) PER PLAN REFERENCE #2.
- STORM SEWER UTILITIES ARE SHOWN PER MARKOUT AND FIELD LOCATION. GAS, WATER AND SANITARY SEWER UTILITIES ARE SHOWN PER FIELD LOCATION OF ABOVE GROUND STRUCTURE AND PLANS RECEIVED FROM UTILITY COMPANIES AND LOCAL GOVERNMENT OFFICES.

SURVEY REFERENCES

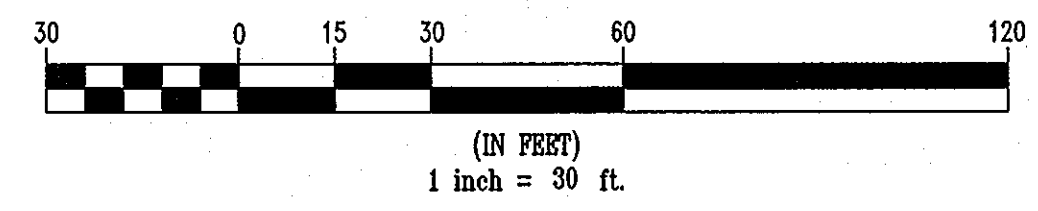
- THE MARYLAND DEPARTMENT OF ASSESSMENTS AND TAXATION RECORDS FOR HOWARD COUNTY, MAP NUMBER 24.
- MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND, PANEL 23 OF 45", COMMUNITY-PANEL NUMBER 240044 0023 B, MAP REVISED DECEMBER 4, 1986.
- MAP ENTITLED "CONCEPT PLAN, CHEVY CHASE BANK AT THE ENCHANTED FOREST", DATED MAY 30, 2007, AND PREPARED BY BOHLER ENGINEERING, TOWSON, MD.
- MAP ENTITLED "SITE DEVELOPMENT PLAN, A COMMERCIAL CENTER, THE ENCHANTED FOREST, SHEET 3 OF 40", DATED APRIL 5, 1991, AND PREPARED BY RIEMER MUEGGE & ASSOCIATES, INC, ELLICOTT CITY, MARYLAND.

ENVIRONMENTAL IMPACTS

- AREA OF EXISTING WETLANDS TO BE FILLED IN (2,386 SF)
 - AREA OF EXISTING WETLANDS TO BE TEMPORARILY IMPACTED (689 SF)
 - AREA OF EXISTING STREAM TO BE FILLED IN (WATERS OF THE U.S. = 235 LF)
 - AREA OF 25% OR GREATER SLOPE (19,965 SF)
- DISTURBED BUFFERS: 12,526 SF

NOTE:
 THE LOD SHOWN ON THIS PLAN DOES NOT REPRESENT THE LIMITS OF DISTURBANCE FOR SEDIMENT CONTROL. SEE SHEETS 13 & 14 FOR APPROVED SEDIMENT CONTROL AND PHASING.

GRAPHIC SCALE



GENERAL NOTE:
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK. SCOPE FROM THE INTENTION OF CONSTRUCTION SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
PARCEL 45A	10070 BALTIMORE NATIONAL PIKE, ELLICOTT CITY HOWARD COUNTY, MD 21042

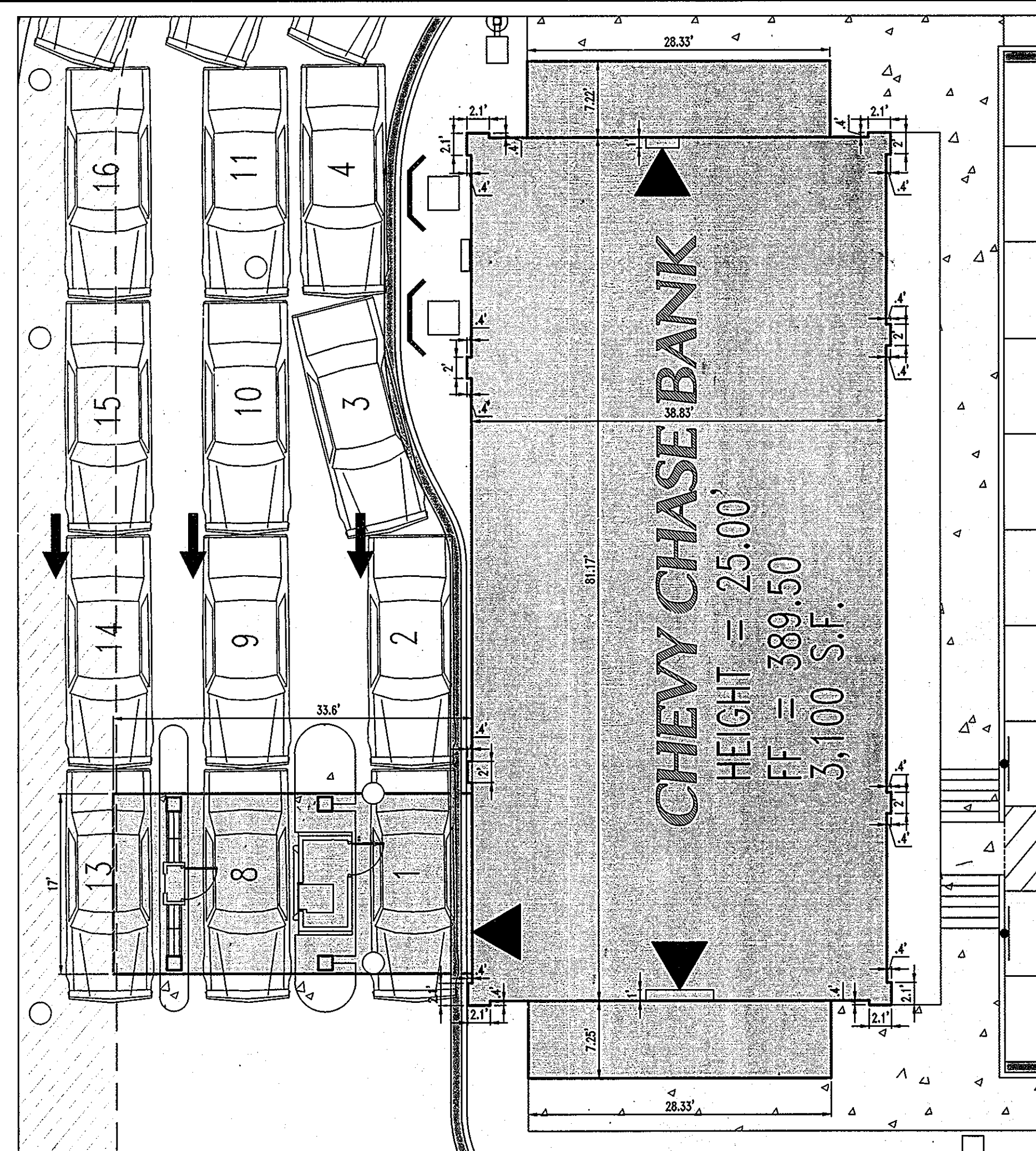
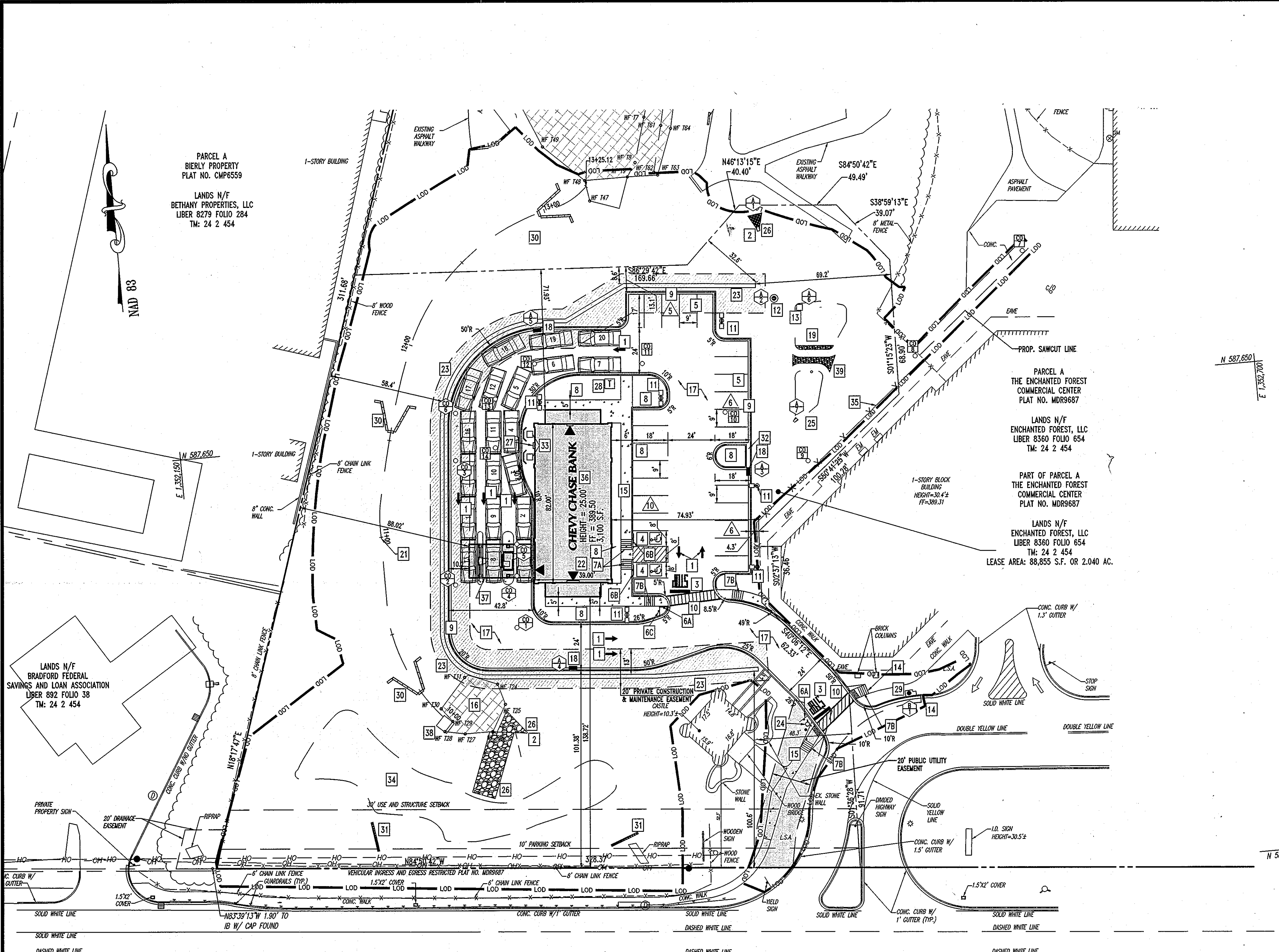
PERMIT INFORMATION CHART			
SUBDIVISION NAME:	SECTION/AREA	TAX MAP NO.	ELECT. DISTR
THE ENCHANTED FOREST COMMERCIAL CENTER	45A	24	2nd
PLAT RECORDED/GRO#	ZONING	CENSUS TRACT	
22377-22379	B-2	6022	
WATER CODE	SEWER CODE		
H08	5440000		

BOHLER ENGINEERING

901 DULANEY VALLEY ROAD
 SUITE 801
 TOWSON, MARYLAND 21204
 PH: (410) 821-7900
 FX: (410) 821-7987
 www.bohlerengineering.com

DESIGNED BY: A.G.S.
 DRAWN BY: R.F.G.
 PROJECT NO.: MDO69000.1
 DATE: 3/1/13
 SCALE: 1"=30'
 DRAWING NO.: 3 OF 28

ADAM J. VOLANTH, P.E.
 PROFESSIONAL ENGINEER NO. 21342



BUILDING DIMENSIONS
SCALE: 1"=10'



PROFESSIONAL CERTIFICATION

I, ADAM J. VOLANTH HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21342, EXPIRATION DATE: 9/14/14.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHEVY-DEVELOPMENT ENGINEERING DIVISION J.R. DATE: 4/25/13
 VETSHAW DATE: 5/03/13
 CHEVY-DIVISION OF LAND DEVELOPMENT DATE: 5/6/10
 DIRECTOR DATE: 5/6/10

THE SITE PLAN IS BASED UPON ARCHITECTURAL PLANS PREPARED BY LEO A. DALY, ENTITLED "CHEVY CHASE BANK ENCHANTED FOREST" (JOB NO. 051-10198-000), DATED MARCH 21, 2008, (LAST REVISED AUGUST 21, 2009)

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.

COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT

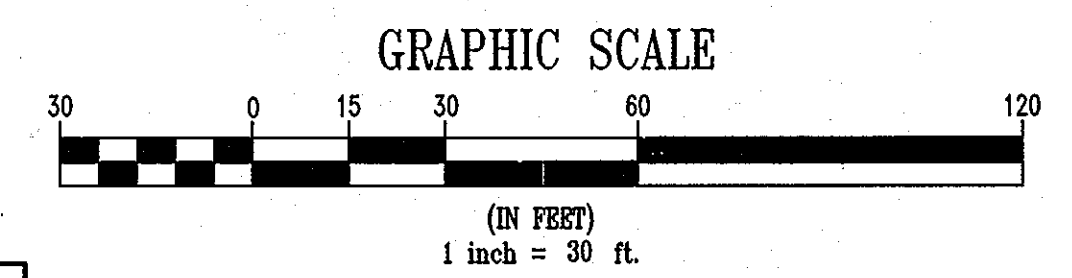
SITE KEYNOTES

- | | | | |
|--|--|--|--|
| 1 DIRECTIONAL ARROW | 7A HANDICAP RAMP PARALLEL TO CURB (HOWARD COUNTY STANDARD DETAIL R-4.06) | 18 INLET (HOWARD COUNTY STANDARD DETAIL D-4.22) | 29 INLET (HOWARD COUNTY STANDARD DETAIL D-4.03) |
| 2 CONCRETE END SECTION | 7B HANDICAP RAMP PERPENDICULAR TO CURB (MODIFIED HOWARD COUNTY STANDARD DETAIL R-4.05) | 19 SURFACE SANDFILTER | 30 ROCK VANE |
| 3 STOP BAR AND GRAPHIC | 8 LANDSCAPE AREA | 20 NOT USED | 31 STONE DIAPHRAGM |
| 4 PAINTED HANDICAP PARKING SYMBOL | 9 COMBINATION CURB AND GUTTER (HOWARD COUNTY STANDARD DETAIL R-3.01) | 21 CENTERLINE OF RELOCATED STREAM CHANNEL | 32 2' CONCRETE FLUME |
| 5 STANDARD PARKING STALL & STRIPING DETAIL | 10 CROSSWALK STRIPING | 22 SITE CONTRACTOR SHALL REFER TO ARCHITECT PLANS FOR THE EXACT DIMENSIONS OF THE BUILDING AND THE LOCATION OF DOORWAYS, UTILITIES, ETC. | 33 CONDENSERS WITH BRICK WALL SCREEN (SEE ARCHITECTURAL PLANS FOR DETAILS) |
| 6 DIRECTIONAL SIGNAGE | 11 SITE AREA LIGHT | 23 RETAINING WALL WITH CHAIN LINK FENCE | 34 BIORETENTION FACILITY |
| ALL SIGNS SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE U.S. DEPARTMENT OF TRANSPORTATION. | 12 MANHOLE (HOWARD COUNTY STANDARD DETAIL G-5.12) | 24 FIRE HYDRANT | 35 RELOCATED CHAIN LINK FENCE |
| 6A "STOP" SIGN | 13 YARD INLET (HOWARD COUNTY STANDARD DETAIL D-4.14) | 25 HDPE END SECTION | 36 PROP. CHEVY CHASE BANK BUILDING |
| 6B HANDICAP SIGN | 14 SAWCUT LINE | 26 RIP RAP | 37 PROP. DRIVE-THRU CANOPY |
| 6C "DO NOT ENTER" SIGN | 15 TYPICAL SIDEWALK (HOWARD COUNTY STANDARD DETAIL R-3.05) | 27 ELECTRIC METER | 38 PROP. CONCRETE PAD |
| | 16 EXISTING WETLANDS TO REMAIN | 28 RELOCATED ELECTRIC TRANSFORMER (PER BGE REQUIREMENTS) | 39 PROP. GABION BASKETS |
| | 17 ASPHALT PAVEMENT SECTION | | |

LEGEND

- 20' PUBLIC UTILITY EASEMENT FOR WATERLINE
- 20' PRIVATE CONSTRUCTION & MAINTENANCE EASEMENT FOR RETAINING WALLS

NOTE:
THE LOD SHOWN ON THIS PLAN DOES NOT REPRESENT THE LIMITS OF DISTURBANCE FOR SEDIMENT CONTROL. SEE SHEETS 13 & 14 FOR APPROVED SEDIMENT CONTROL AND PHASING.



REFER TO SHEET 2 FOR SITE PLAN NOTES

ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
PARCEL 454	10070 BALTIMORE NATIONAL PIKE, ELLICOTT CITY HOWARD COUNTY, MD 21042

PERMIT INFORMATION CHART			
SUBDIVISION NAME:	SECTION/AREA	TAX MAP NO.	LOT/PARCEL NO.
THE ENCHANTED FOREST COMMERCIAL CENTER	454	24	454
PLAT RECORDATION/GRID#	ZONING	ELECT. DISTR	CENSUS TRACT
2-277-2277	B-2	2nd	6022
WATER CODE	HOB	SEWER CODE	5440000

NO.	DATE	REVISION DESCRIPTION

OWNERS: ENCHANTED FOREST LLC
3333 NEW HYDE PARK ROAD
NEW HYDE PARK, NY 11042
C/O GEOF GLAZER
PHONE: (410) 684-2000

DEVELOPER: CHEVY REALTY CORPORATION
1954 GREENSPRING DRIVE, SUITE 330
TIMONUM, MD 21093
C/O GEOF GLAZER
PHONE: (410) 684-2000

PROJECT: CHEVY CHASE BANK
PARCEL 454, THE ENCHANTED FOREST COMMERCIAL CENTER
10070 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, HOWARD COUNTY, MARYLAND

AREA 2.04 AC. TAX MAP 24 GRID 2 ZONED B-2
PARCEL 454, L. 8360, F. 654
2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE

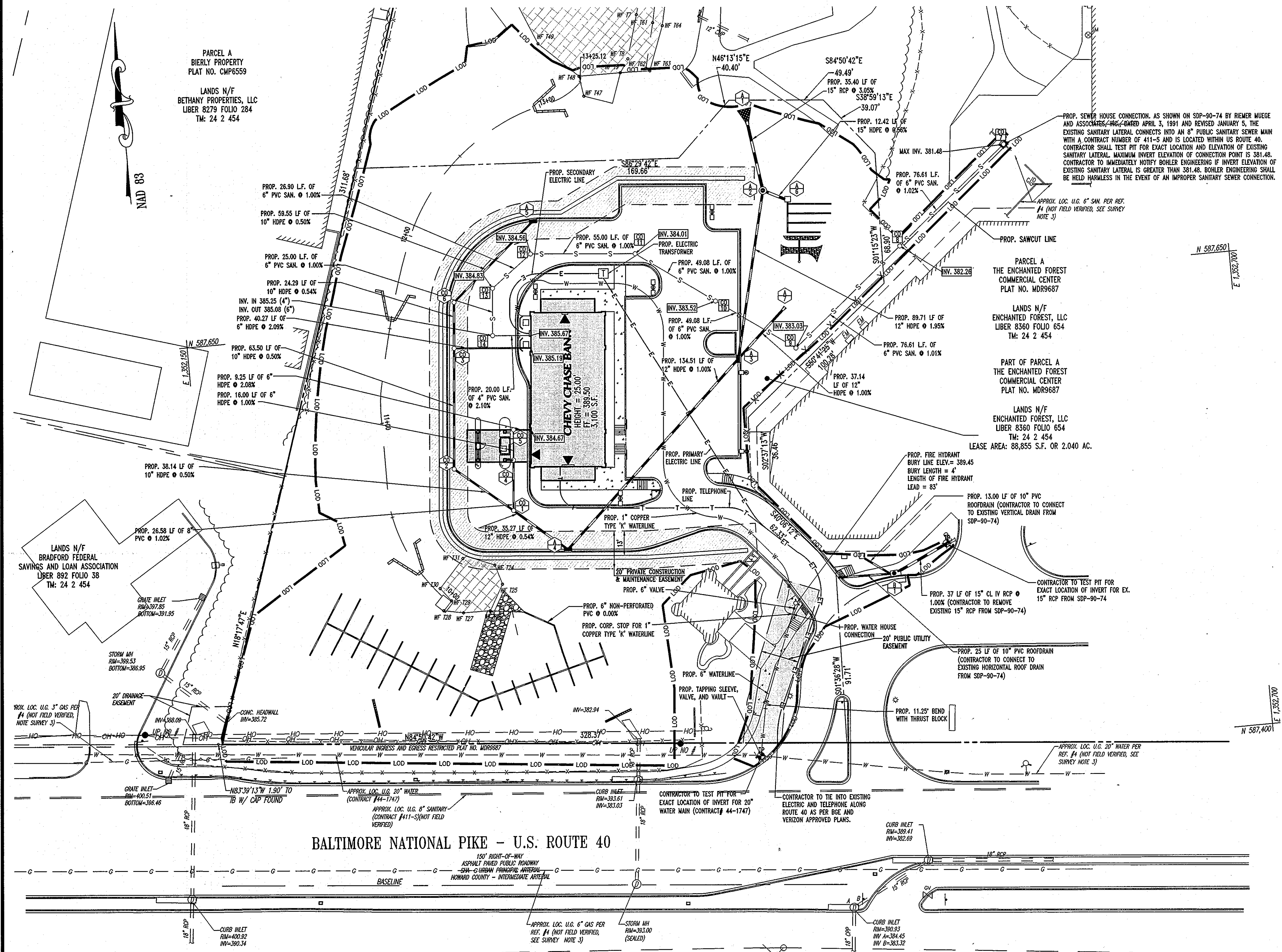
SITE PLAN



901 DULANEY VALLEY ROAD
SUITE 801
TOWNSON, MARYLAND 21284
PH: (410) 821-7900
FX: (410) 821-7987
www.bohlerengineering.com

DESIGNED BY: A.G.S.
DRAWN BY: R.F.G.
PROJECT NO.: MDO69000.1
DATE: 3/1/13
SCALE: 1"=30'
DRAWING NO. 4 OF 28

ADAM J. VOLANTH
PROFESSIONAL ENGINEER NO. 21342



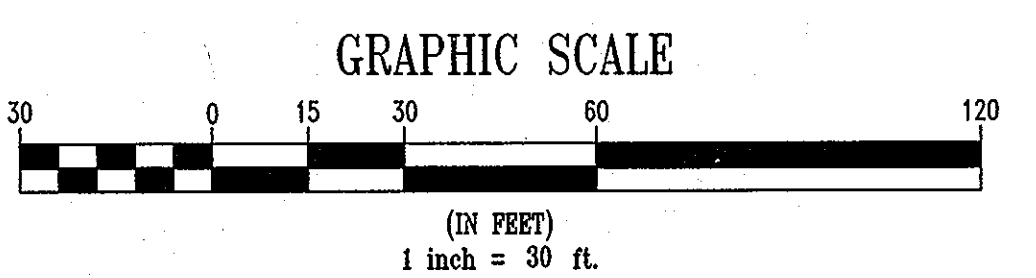
THE UTILITY PLAN IS BASED UPON ARCHITECTURAL PLANS PREPARED BY LEO A. DALY, ENTITLED "CHEVY CHASE BANK ENCHANTED FOREST" (JOB NO. 051-10198-000), DATED MARCH 21, 2008, (LAST REVISED AUGUST 21, 2009)

ADO NOTES:

- ALL WATERLINE CONSTRUCTION WITHIN THE 20' PUBLIC UTILITY EASEMENT SHALL BE CONSIDERED PART OF THE ADVANCE DEPOSIT ORDER AGREEMENT AND SHALL BE IN CONFORMANCE WITH ALL HOWARD COUNTY VOLUME II AND IV DETAILS.
- CONTRACTOR SHALL RESTRAIN ALL PROPOSED WATERLINE TEES AND BENDS IN ACCORDANCE WITH HOWARD COUNTY VOLUME II DESIGN MANUAL DETAILS W-2.21, W-2.22, AND W-2.23. ALL PROPOSED VALVES TO BE ADEQUATELY RESTRAINED WITH MECHANICAL JOINT RESTRAINTS.
- CONTRACTOR SHALL INSURE PROPER TRENCH COMPACTION FOR THE PUBLIC WATERLINE IN ACCORDANCE WITH HOWARD COUNTY STANDARD DETAILS G-4.01 AND G-4.02.

LEGEND
 [Symbol] 20' PUBLIC UTILITY EASEMENT
 [Symbol] 20' CONSTRUCTION EASEMENT

NOTE:
 THE LOD SHOWN ON THIS PLAN DOES NOT REPRESENT THE LIMITS OF DISTURBANCE FOR SEDIMENT CONTROL. SEE SHEETS 13 & 14 FOR APPROVED SEDIMENT CONTROL AND PHASING.



GENERAL NOTE:
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PROFESSIONAL CERTIFICATION
 I, ADAM J. VOLANTH HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21342, EXPIRATION DATE: 9/14/14.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 [Signature] 4/25/13
 CHIEF-DEVELOPMENT ENGINEERING DIVISION
 [Signature] 5/6/13
 CHIEF-DIVISION OF LAND DEVELOPMENT
 [Signature] 5/6/13
 DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
 [Signature]
 COUNTY HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT

NO.	DATE	REVISION DESCRIPTION

OWNERS: ENCHANTED FOREST LLC
 3333 NEW HYDE PARK ROAD
 NEW HYDE PARK, NY 11042
 C/O GREG BEER
 PHONE: (410) 684-2000

DEVELOPER: WINDY REALTY CORPORATION
 1554 GREENSPRING DRIVE, SUITE 330
 TIMONUM, MD 21093
 C/O GREG BEER
 PHONE: (410) 684-2000

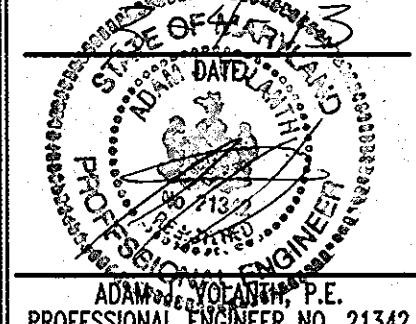
PROJECT: CHEVY CHASE BANK
 PARCEL 454, THE ENCHANTED FOREST COMMERCIAL CENTER
 10070 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, HOWARD COUNTY, MARYLAND

AREA 2.04 AC. TAX MAP 24 GRID 2 ZONED B-2
 PARCEL 454, L. 8360, F. 654
 2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE: UTILITY PLAN



901 DULANEY VALLEY ROAD
 SUITE 801
 TOWSON, MARYLAND 21204
 PH: (410) 821-7900
 FX: (410) 821-7987
 www.bohlerengineering.com

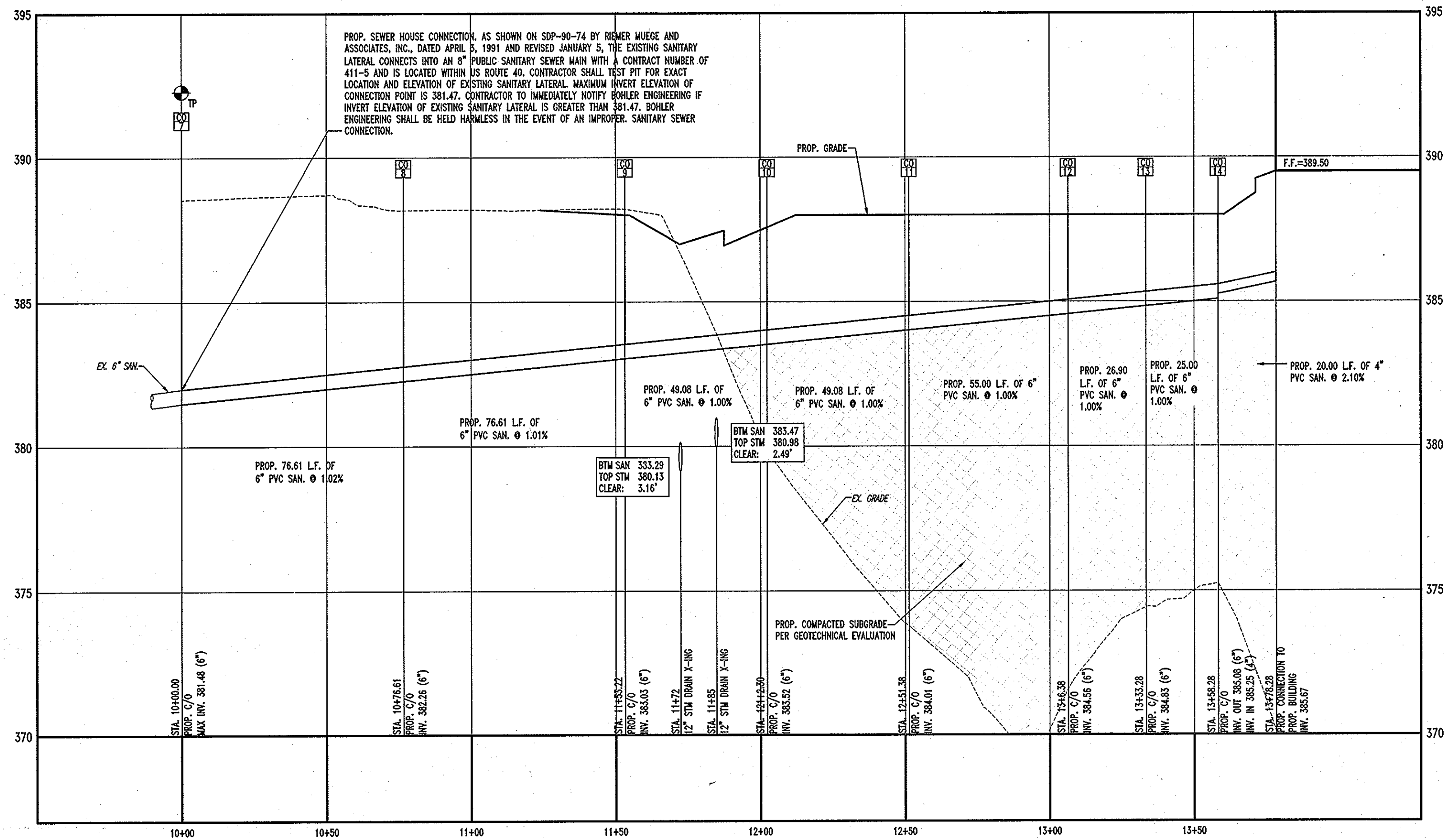


DESIGNED BY: A.G.S.
 DRAWN BY: R.F.G.
 PROJECT NO.: M0809000.1
 DATE: 3/1/13
 SCALE: 1"=30'

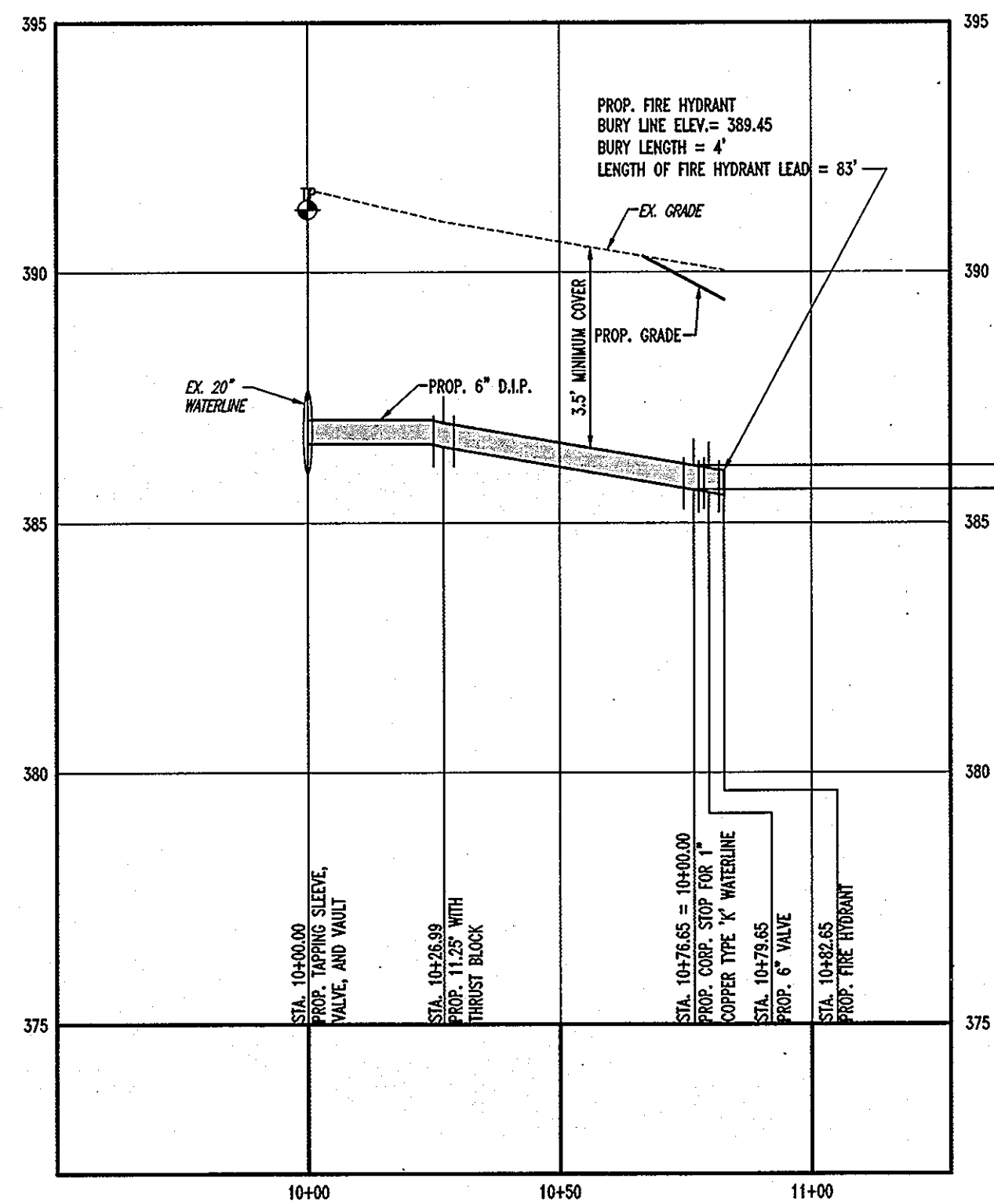
ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
PARCEL 454	10070 BALTIMORE NATIONAL PIKE, ELLICOTT CITY HOWARD COUNTY, MD 21042

PERMIT INFORMATION CHART			
SUBDIVISION NAME: THE ENCHANTED FOREST COMMERCIAL CENTER	SECTION/AREA	LOT/PARCEL NO. 454	
TREAT RECORDATION/GRID 2	ZONING B-2	ELECT. DISTR 2nd	CENSUS TRACT 6022
WATER CODE H08	SEWER CODE	5440000	

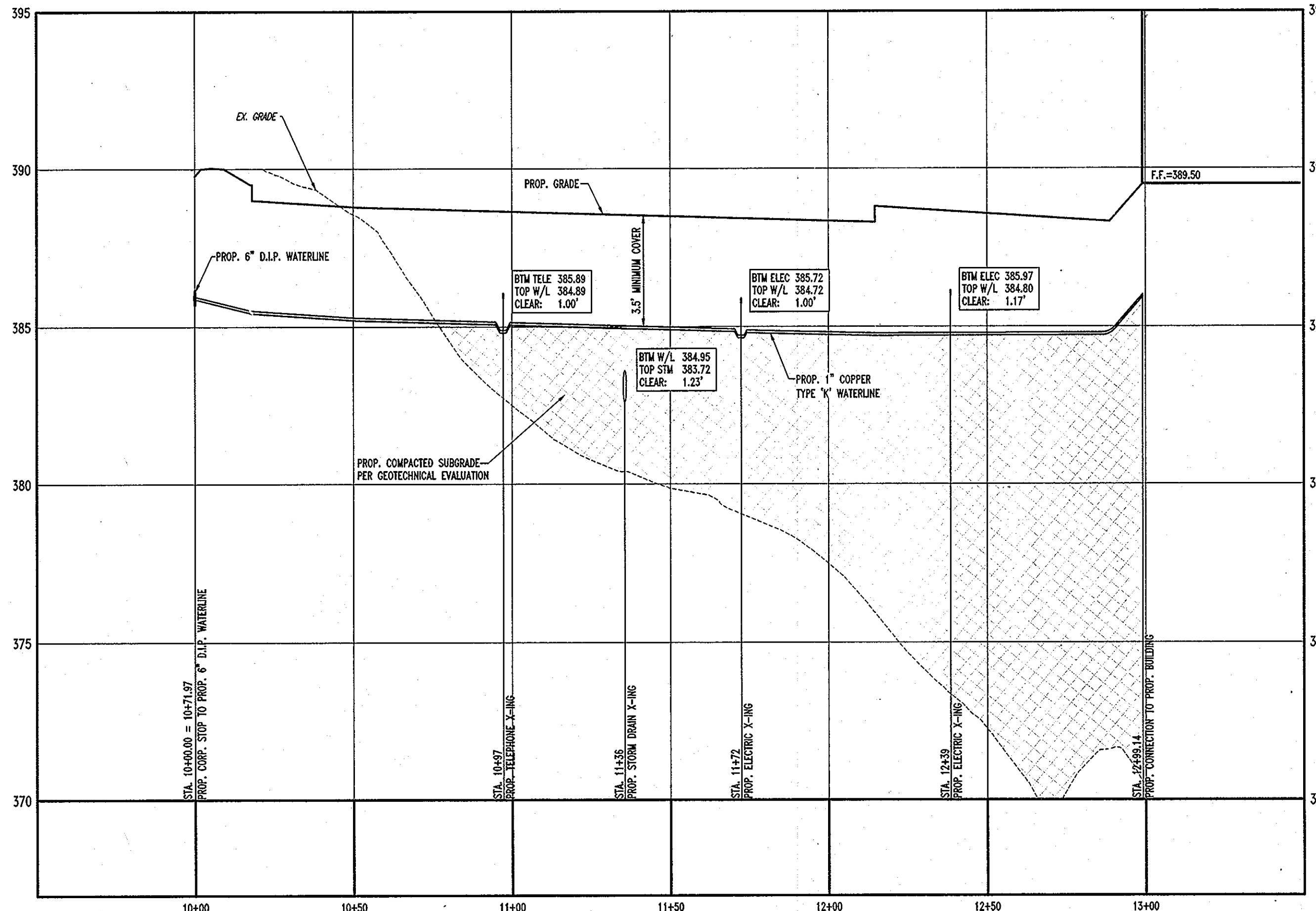
REFER TO SHEET 2 FOR ADDITIONAL UTILITY PLAN NOTES



SANITARY SEWER PROFILE
SCALE: HORIZ. 1"=20'
VERT. 1"=2'

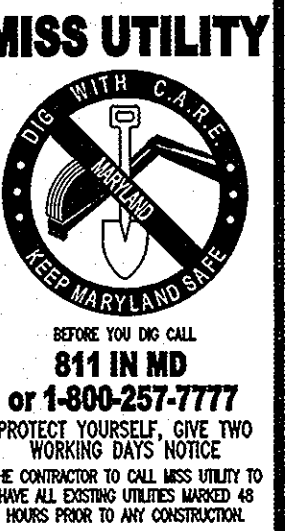


WATERLINE PROFILE
SCALE: HORIZ. 1"=30'
VERT. 1"=3'



WATERLINE PROFILE
SCALE: HORIZ. 1"=30'
VERT. 1"=3'

GENERAL NOTE:
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PROFESSIONAL CERTIFICATION
I, ADAM J. VOLANTH, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21342, EXPIRATION DATE: 9/14/14

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Adam J. Volanth 4/25/13
CHIEF-DEVELOPMENT ENGINEERING DIVISION'S P. DATE
Adam J. Volanth 5/13/13
CHIEF-DIVISION OF LAND DEVELOPMENT DATE
Adam J. Volanth 5/13/13
DIRECTOR DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
Adam J. Volanth DATE
HOWARD COUNTY HEALTH DEPARTMENT

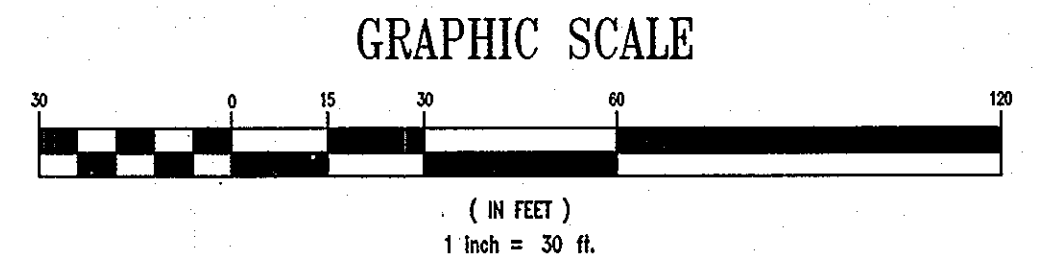
NO.	DATE	REVISION DESCRIPTION

OWNERS: ENCHANTED FOREST LLC, 3333 NEW HYDE PARK ROAD, NEW HYDE PARK, NY 11042, C/O GEOFF GLAZER, PHONE: (410) 584-2000

DEVELOPER: HOWARD COUNTY REALTY CORPORATION, 1954 GREENSPRING DRIVE, SUITE 330, TIMONUM, MD 21093, C/O GEOFF GLAZER, PHONE: (410) 584-2000

PROJECT: CHEVY CHASE BANK, PARCEL 454, THE ENCHANTED FOREST COMMERCIAL CENTER, 10070 BALTIMORE NATIONAL PIKE, ELLICOTT CITY, HOWARD COUNTY, MARYLAND

AREA 2.04 AC. TAX MAP 24 GRID 2 ZONED B-2, PARCEL 454, L. 8360, F. 654, 2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND



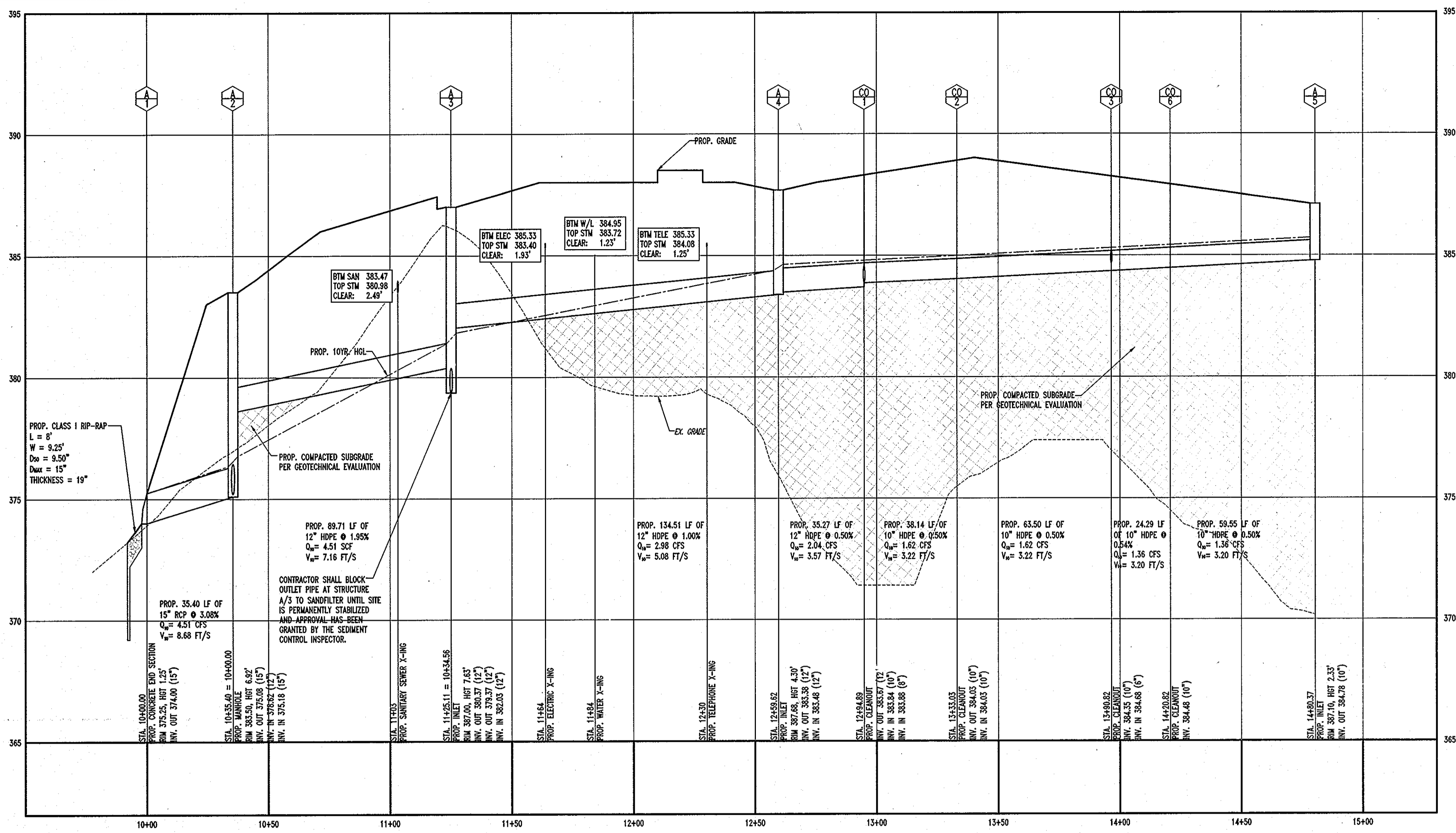
ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
PARCEL 454	10070 BALTIMORE NATIONAL PIKE, ELLICOTT CITY HOWARD COUNTY, MD 21042

PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL NO.	
THE ENCHANTED FOREST COMMERCIAL CENTER	454	454	
PLAT RECORDED/GRID	ZONING	TAX MAP NO.	ELECT. DIST.
22-27-24-27	B-2	24	2nd
WATER CODE	H08	SEWER CODE	5440000

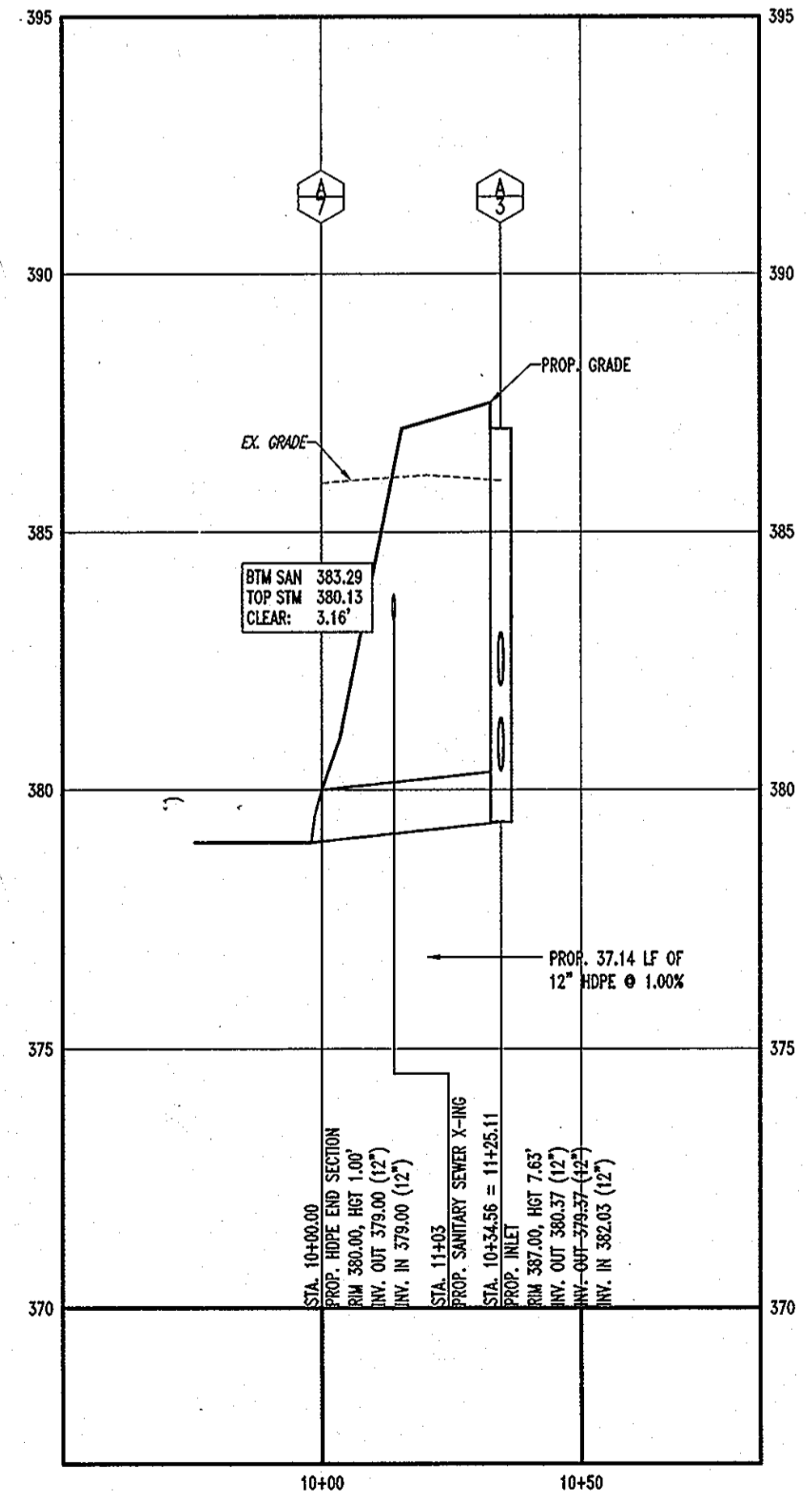
BOHLER ENGINEERING
901 DULANEY VALLEY ROAD, SUITE 801, TOWSON, MARYLAND 21204
PH: (410) 821-7900, FX: (410) 821-7987, www.bohlereengineering.com

DESIGNED BY: A.G.S.
DRAWN BY: R.F.G.
PROJECT NO.: MD069000.1
DATE: 3/1/13
SCALE: 1"=30'
DRAWING NO. 7 OF 28

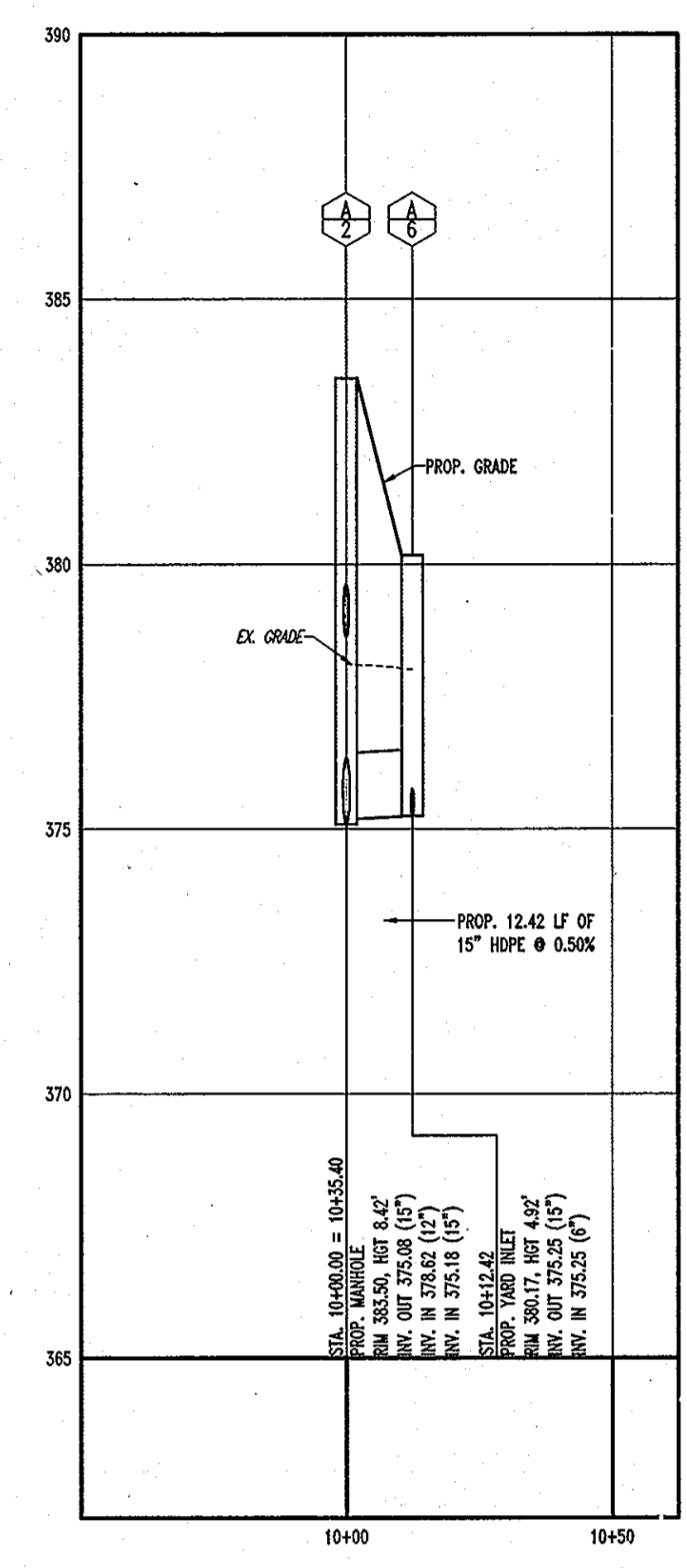
ADAM J. VOLANTH
PROFESSIONAL ENGINEER NO. 21342



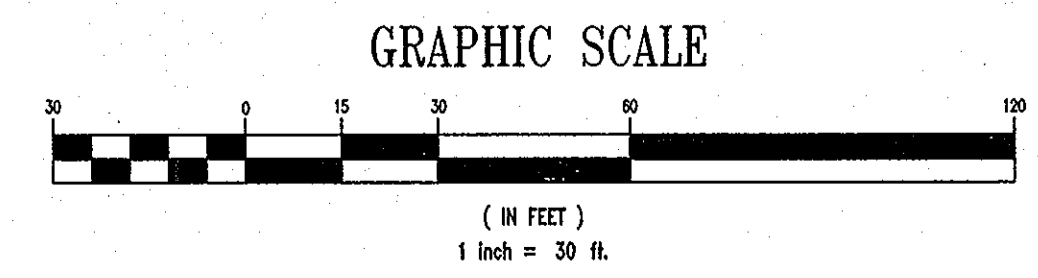
STORM DRAIN PROFILE A-1 TO A-5
SCALE: HORIZ. 1"=30'
VERT. 1"=5'



STORM DRAIN PROFILE A-7 TO A-3
SCALE: HORIZ. 1"=30'
VERT. 1"=5'



STORM DRAIN PROFILE A-2 TO A-6
SCALE: HORIZ. 1"=30'
VERT. 1"=5'



PROFESSIONAL CERTIFICATION
I, ADAM J. VOLANTH, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21342, EXPIRATION DATE: 9/14/14

APPROVED: DEPARTMENT OF PLANNING AND ZONING
CHIEF-DEVELOPMENT ENGINEERING DIVISION, R. DATE
Karl Sheehan 5/23/13
CHIEF-DIVISION OF LAND DEVELOPMENT
Frank M. Wagle 5/6/13
DIRECTOR DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT DATE

NO.	DATE	REVISION DESCRIPTION

OWNERS: ENCHANTED FOREST LLC
3333 NEW HYDE PARK ROAD
NEW HYDE PARK, NY 11042
C/O GEOFF GLAZIER
PHONE: (410) 654-2000

DEVELOPER: RINGO REALTY CORPORATION
1954 GREENSPRING DRIVE, SUITE 330
TIMONUM, MD 21093
C/O GREG BEER
PHONE: (410) 654-2000

PROJECT: CHEVY CHASE BANK
PARCEL 454, THE ENCHANTED FOREST COMMERCIAL CENTER
10070 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, HOWARD COUNTY, MARYLAND

AREA 2.04 AC. TAX MAP 24 GRID 2 ZONED B-2
PARCEL 454, L. 8360, F. 654
2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

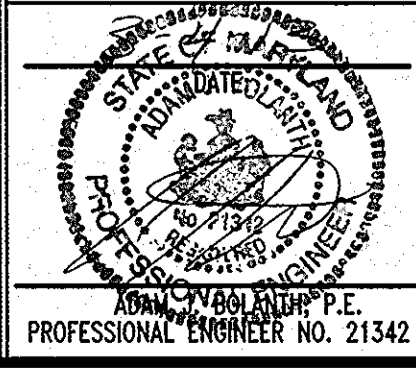
TITLE
UTILITY PROFILES



901 DULANEY VALLEY ROAD
SUITE 801
TOWSON, MARYLAND 21284
PH: (410) 821-7900
FX: (410) 821-7987
www.bohlereng.com

ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
PARCEL 454	10070 BALTIMORE NATIONAL PIKE, ELLCOTT CITY HOWARD COUNTY, MD 21042

PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL NO.	
THE ENCHANTED FOREST COMMERCIAL CENTER	24	454	
PLAT RECORDATION GRID#	ZONING	TAX MAP NO.	ELECT. DISTRICT
2237-2272	B-2	24	2nd
WATER CODE	SEWER CODE	CENSUS TRACT	
HOB	5440000	6022	



DESIGNED BY: A.G.S.
DRAWN BY: R.F.G.
PROJECT NO.: MD069000.1
DATE: 3/1/13
SCALE: 1"=30'
DRAWING NO. 8 OF 28

GENERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

KEYSTONE STANDARD RETAINING WALL

FOR

CHEVY CHASE BANK

10040 BALTIMORE NATIONAL PIKE

HOWARD COUNTY, MD

PREPARED BY:

CIS

ENGINEERING, INC.

A division of CIS, Inc.

31 Sycolin Road, S.E.
Leesburg, VA 20175

Phone: (703) 669-9052

Fax: (703) 534-2107

SHEET INDEX:

- SHEET 1 - COVER
- SHEET 2 - PLAN & ELEVATION VIEWS
- SHEET 3 - WALL DETAILS
- SHEET 4 - WALL DETAILS & NOTES

CIS
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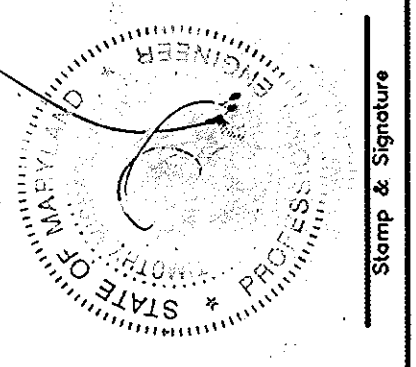
REVISION #	REMARKS	DATE	BY	CHKD

I hereby certify that these documents were prepared or supervised by me, a Professional Engineer, License No. 22108, Expiration Date: September 18, 2014.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] 4/25/13
 CHIEF - DEVELOPMENT ENGINEERING DIVISION DATE

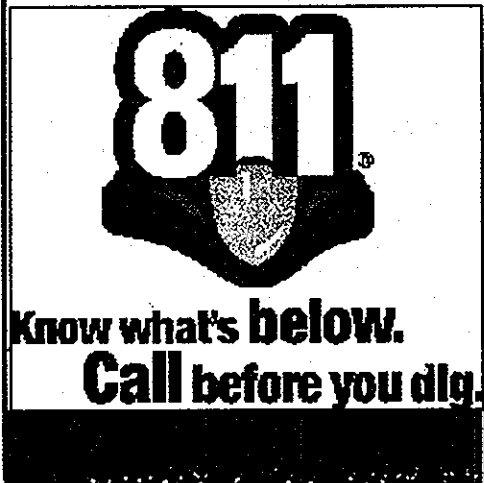
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 CHIEF - DIVISION OF LAND DEVELOPMENT DATE

[Signature] 5/14/13
 DIRECTOR DATE



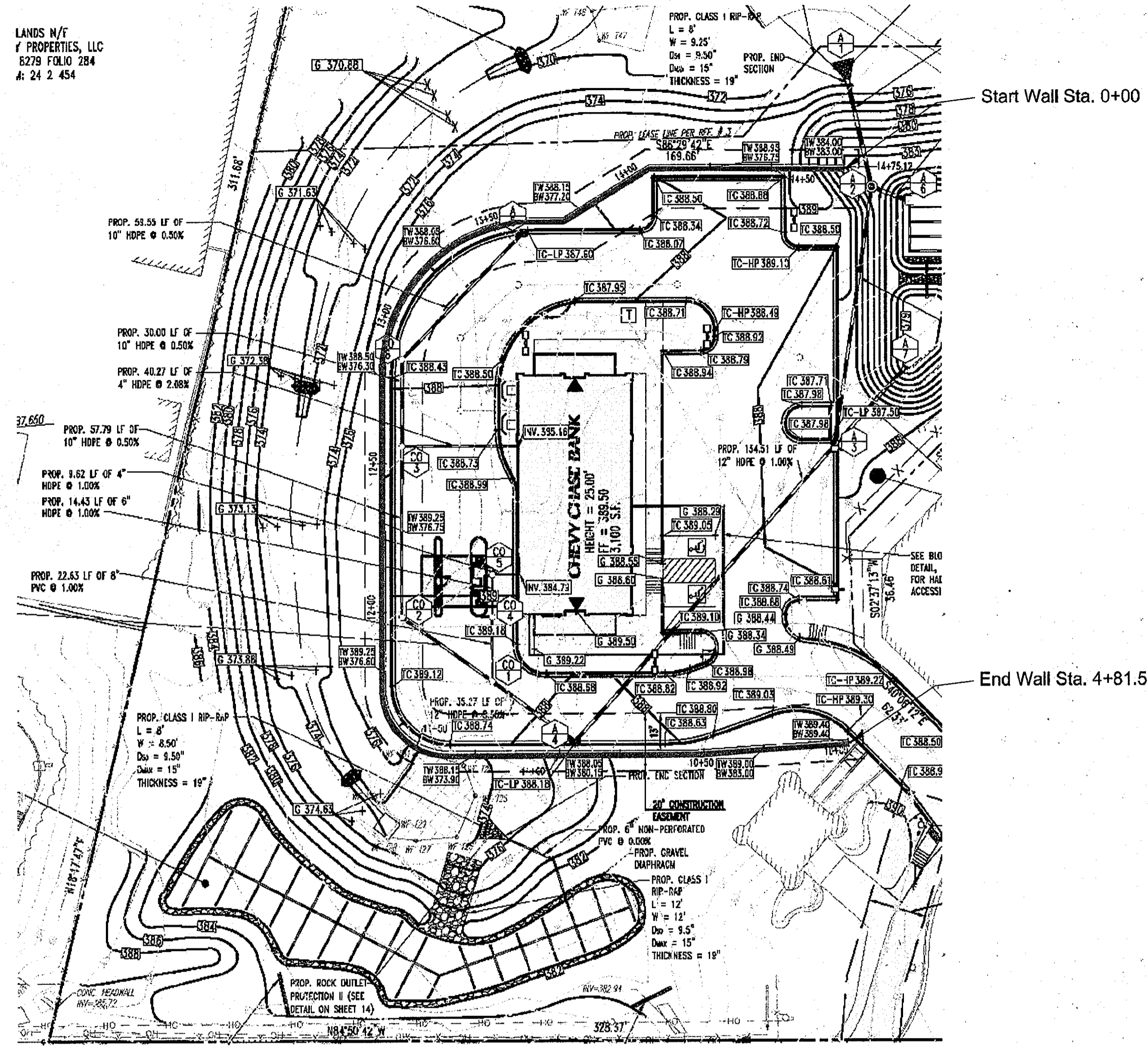
CHEVY CHASE BANK
10040 BALTIMORE NATIONAL PIKE
HOWARD COUNTY, MD
KEYSTONE STANDARD RETAINING WALL
COVER SHEET

SHEET
9 OF 28
TMG
05/22/2009



EXCAVATORS, CONTRACTORS AND OWNERS ARE REQUIRED TO CONTACT THE MISS UTILITY SYSTEM NO LESS THAN 3 DAYS BUT NOT MORE THAN 15 WORKING DAYS PRIOR TO THE DAY (EXCLUDING WEEKENDS AND HOLIDAYS) THEY PLAN TO START WORK. ALL EXCAVATION MUST BE IN ACCORDANCE WITH APPLICABLE CODES. DEFINITION OF EXCAVATION: TO DIG, DRILL, BLAST, AUGER, BORE, GRADE OR TRENCH. FAILURE TO NOTIFY IS A DIRECT VIOLATION OF THE LAW AND PENALTIES CAN BE ENFORCED.

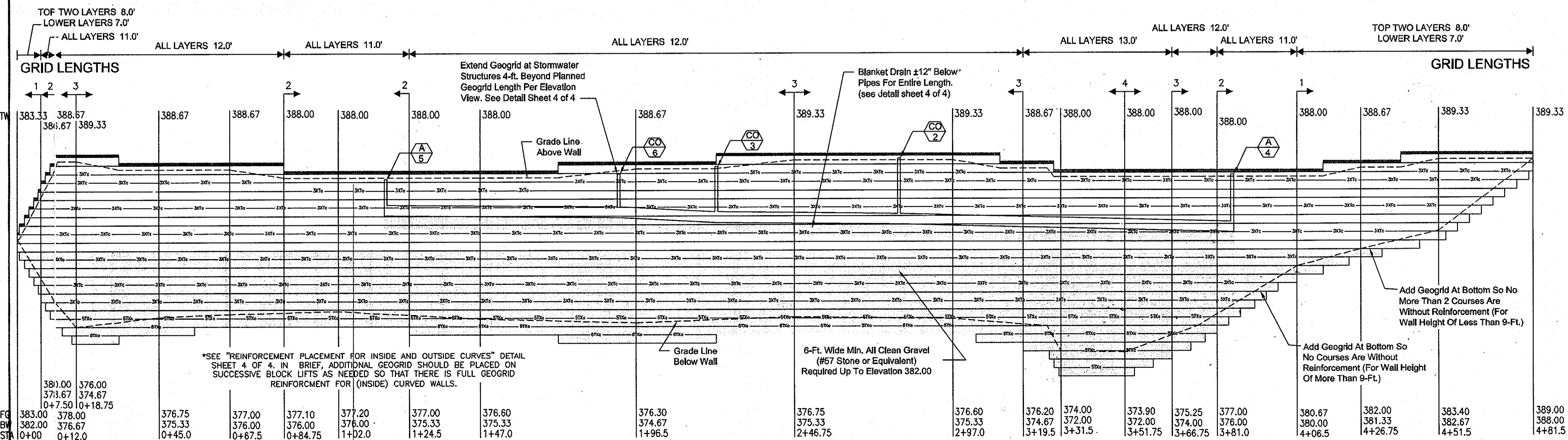
LANDS N/F
 Y PROPERTIES, LLC
 8279 FOLIO 284
 A: 24 2 454



SITE PLAN: 1"=30'

* Plan view shown is from set of plans for Chevy Chase Bank by Bohler Engineering, Sheet 5 of 26, dated 4/20/2009.

"THIS PLAN VIEW IS PROVIDED TO DEPICT THE RETAINING WALL LOCATION ONLY. NO OTHER SITE INFORMATION, GRADING, PLANTING, ETC. IS INTENDED. REFER TO PROJECT SITE PLANS BY OTHERS FOR ADDITIONAL SITE INFORMATION."



GRID KEY: MIRAFI 3XTc OR STRONGER
 MIRAFI 5XTc OR STRONGER

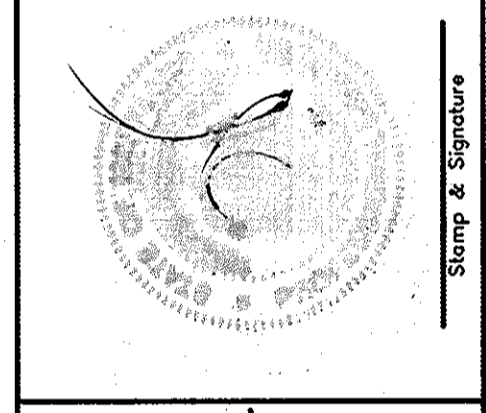
TW = TOP OF WALL (NOT INCLUDING CAP)
 FG = PROPOSED FINISHED GRADE AT BASE OF WALL
 BW = BOTTOM OF BLOCK / TOP OF LEVELING PAD
 STA = WALL STATION

SCALE : H. 1"=20' V. 1"=5'

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF - DEVELOPMENT ENGINEERING DIVISION & DUTC
 V. J. [Signature] 4/25/13
 CHIEF - DIVISION OF LAND DEVELOPMENT & DUTC
 D. [Signature] 5/13/13
 DIRECTOR 5/13/13 DATE

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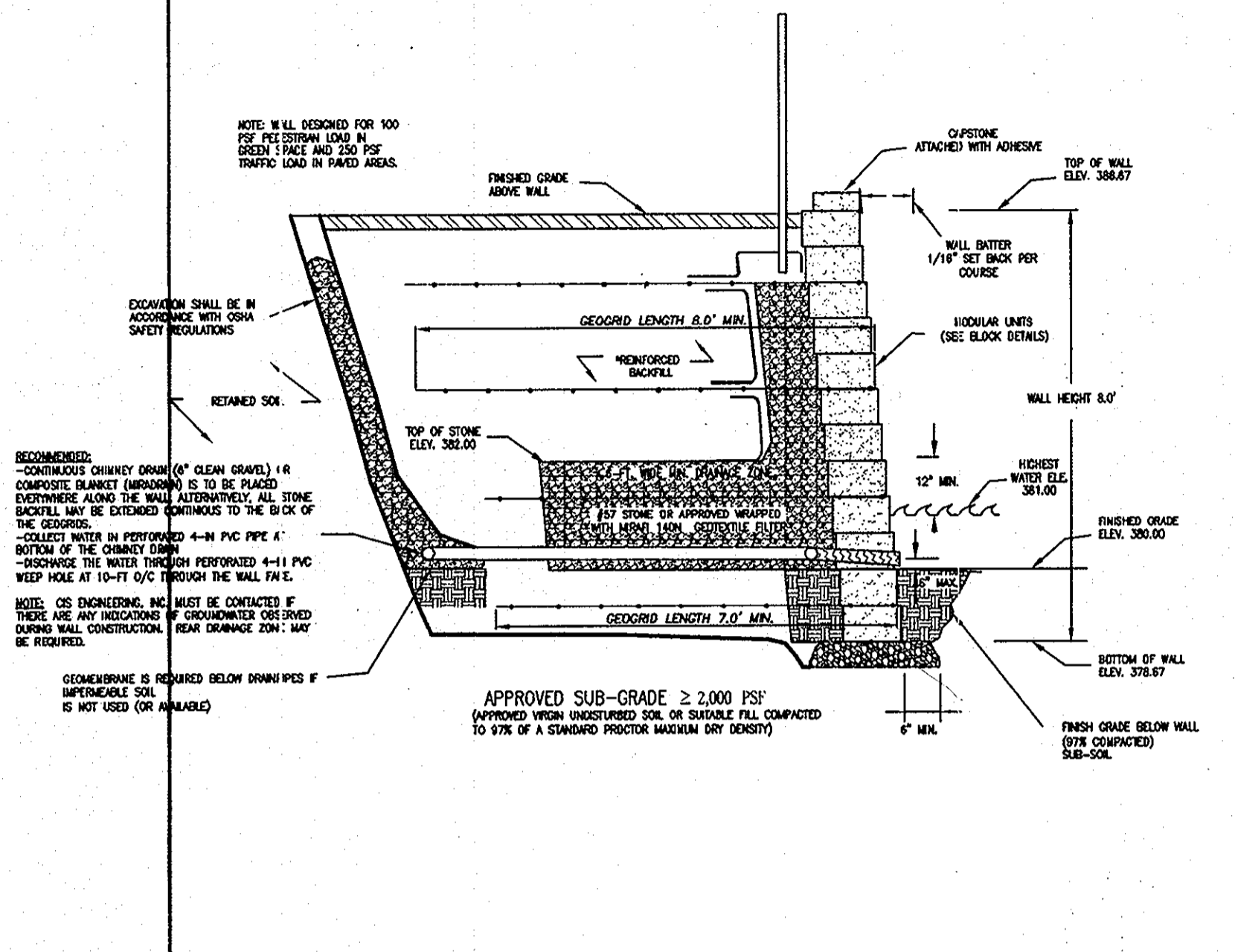
REVISION #	DATE	BY	CHD	REMARKS



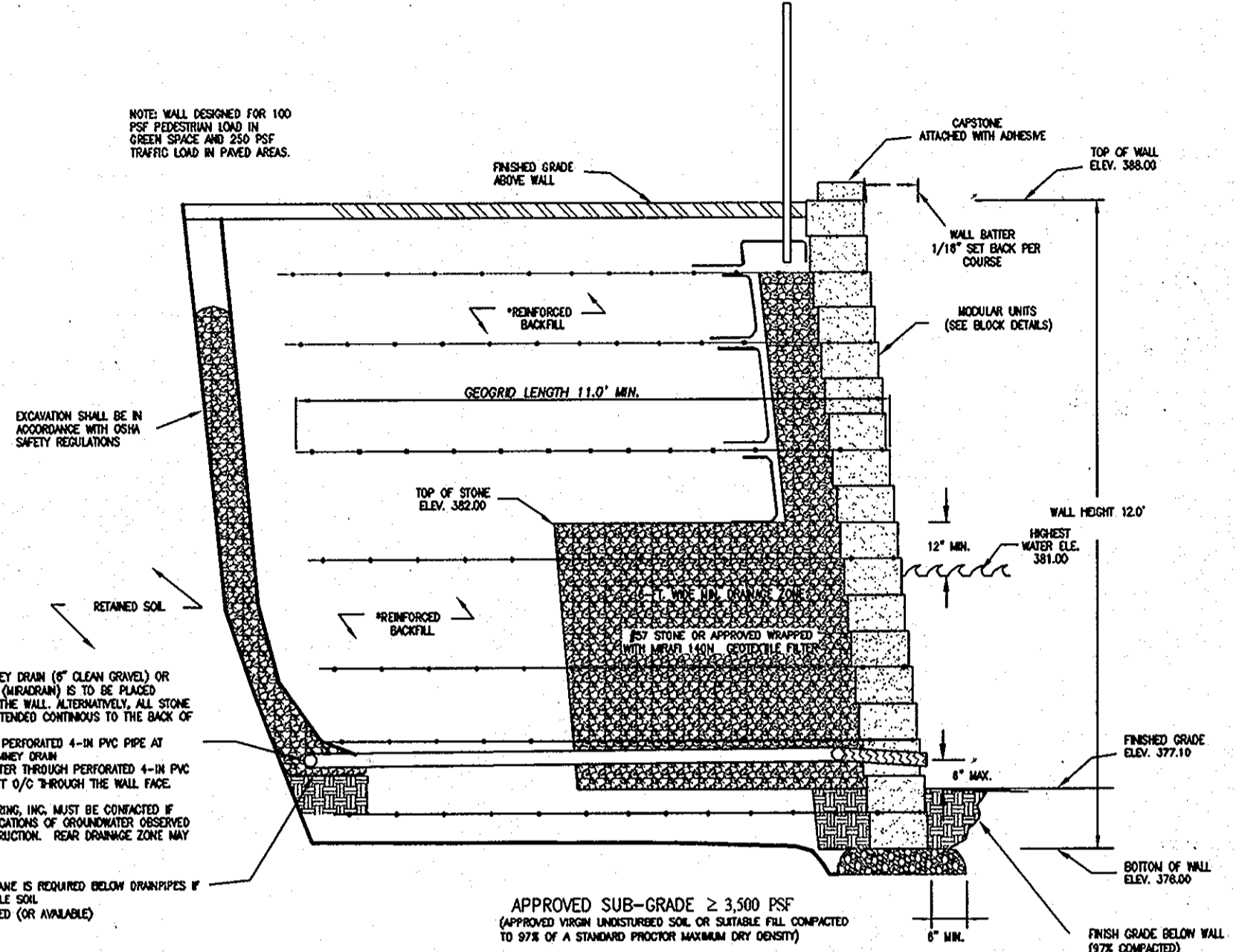
CHEVY CHASE BANK
 10040 BALTIMORE NATIONAL PIKE
 HOWARD COUNTY, MD
 KEYSTONE STANDARD RETAINING WALL
 PLAN AND ELEVATION VIEWS

SHEET 10 OF 28
 TMG
 05/22/2009

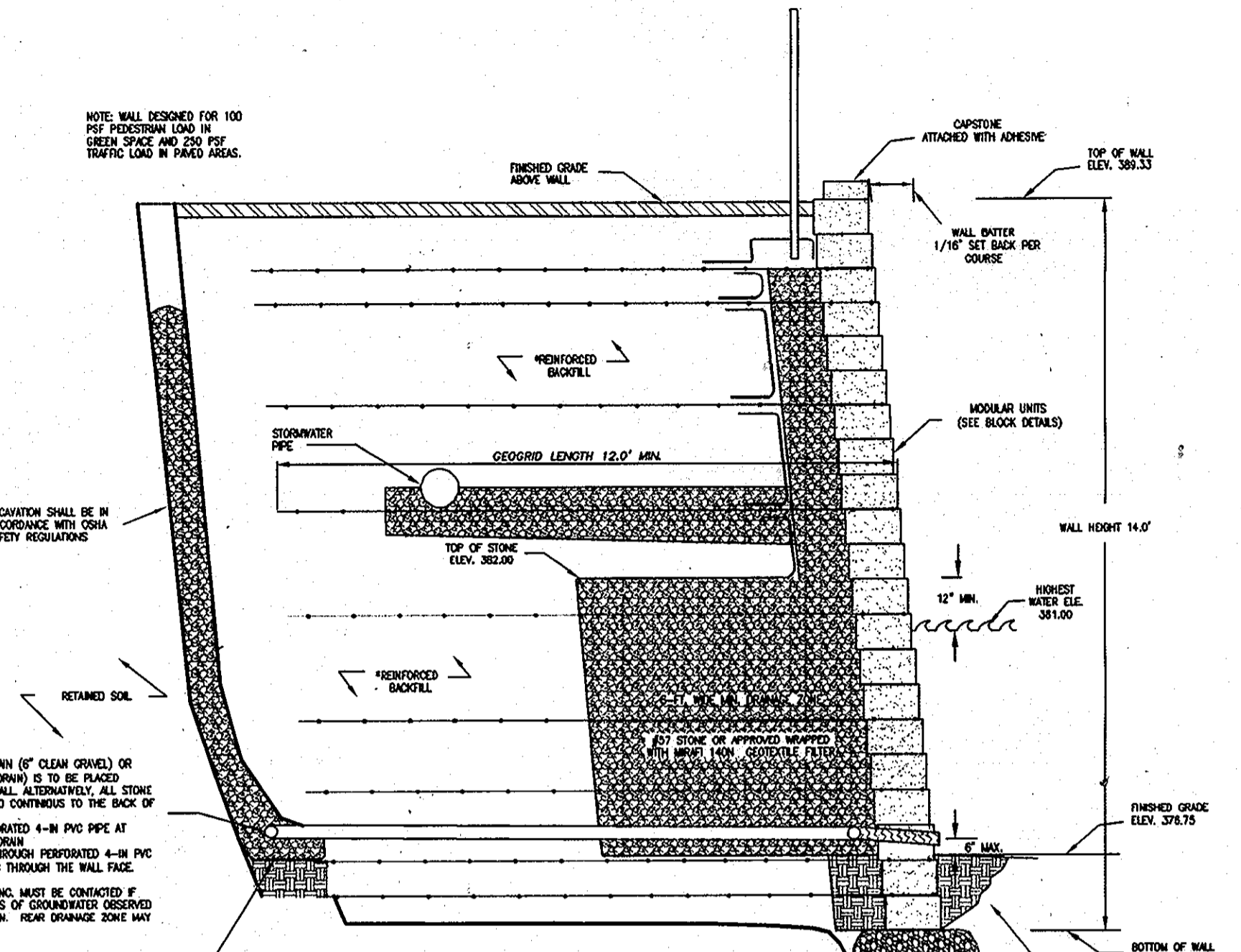
WALL SECTION #1 STA. 0+7.50
8-FT. WALL HEIGHT
SCALE: 3/8" = 1'



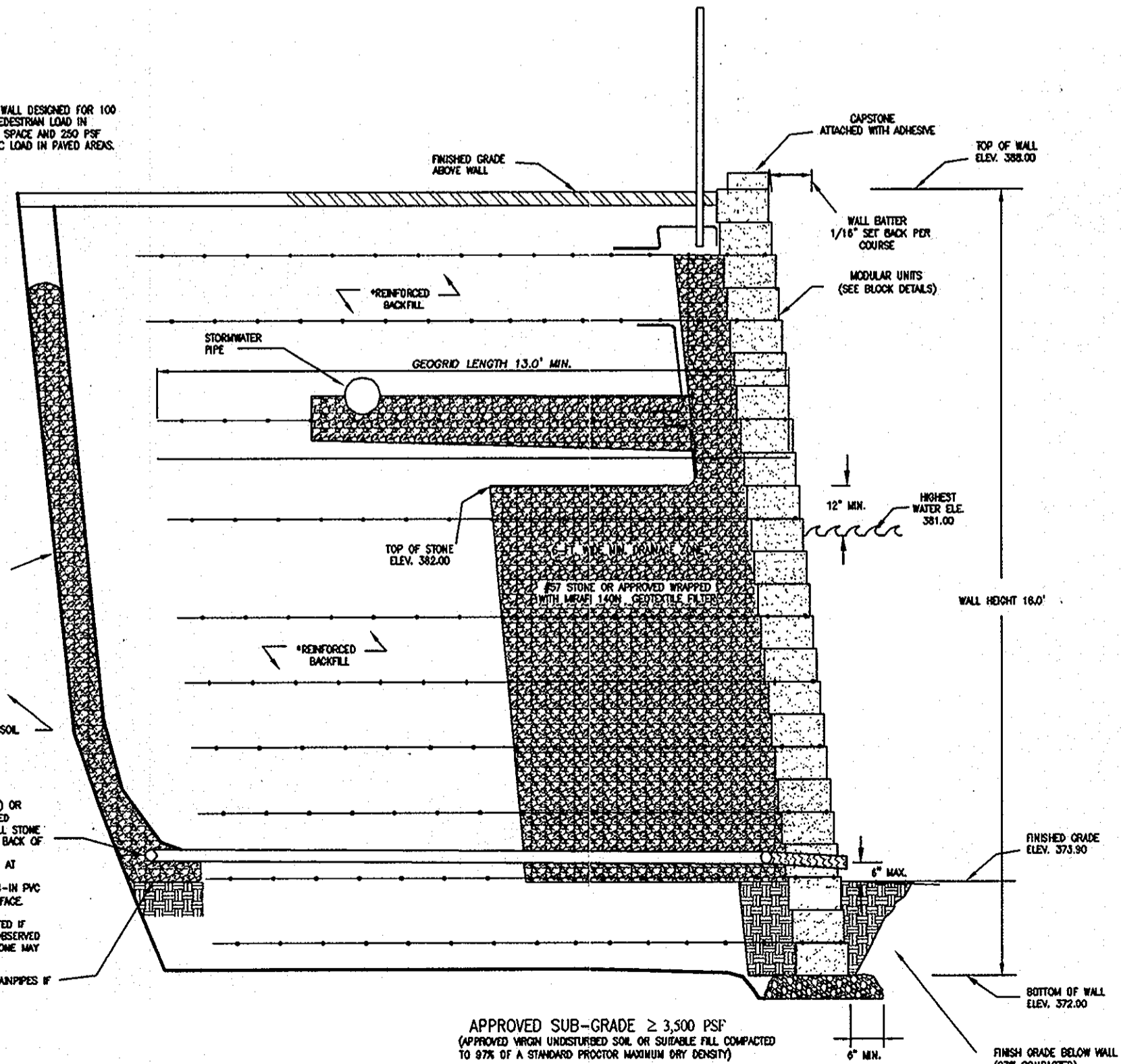
WALL SECTION #2 STA. 0+84.75
12-FT. WALL HEIGHT
SCALE: 3/8" = 1'



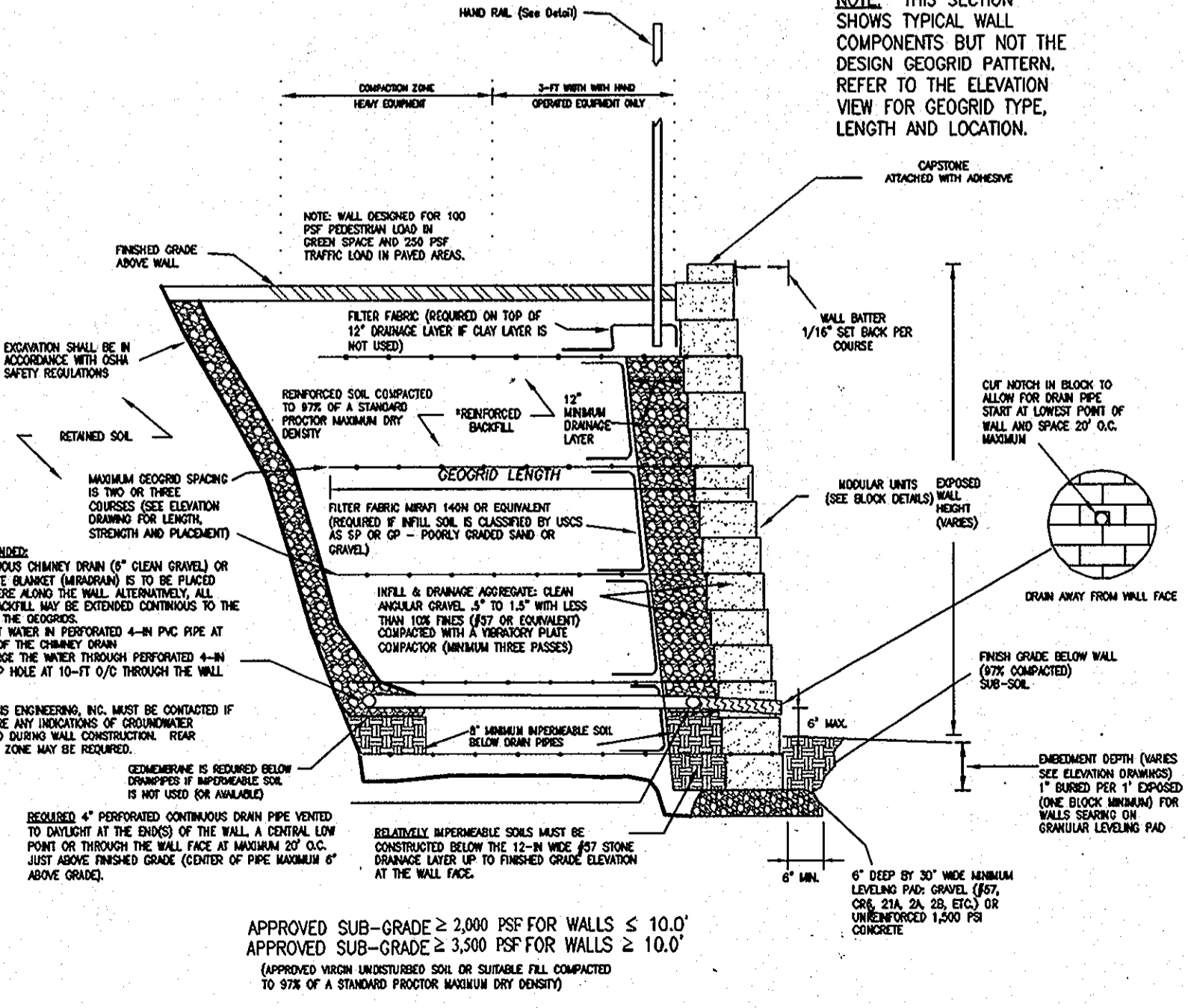
WALL SECTION #3 STA. 2+46.75
14-FT. WALL HEIGHT
SCALE: 3/8" = 1'



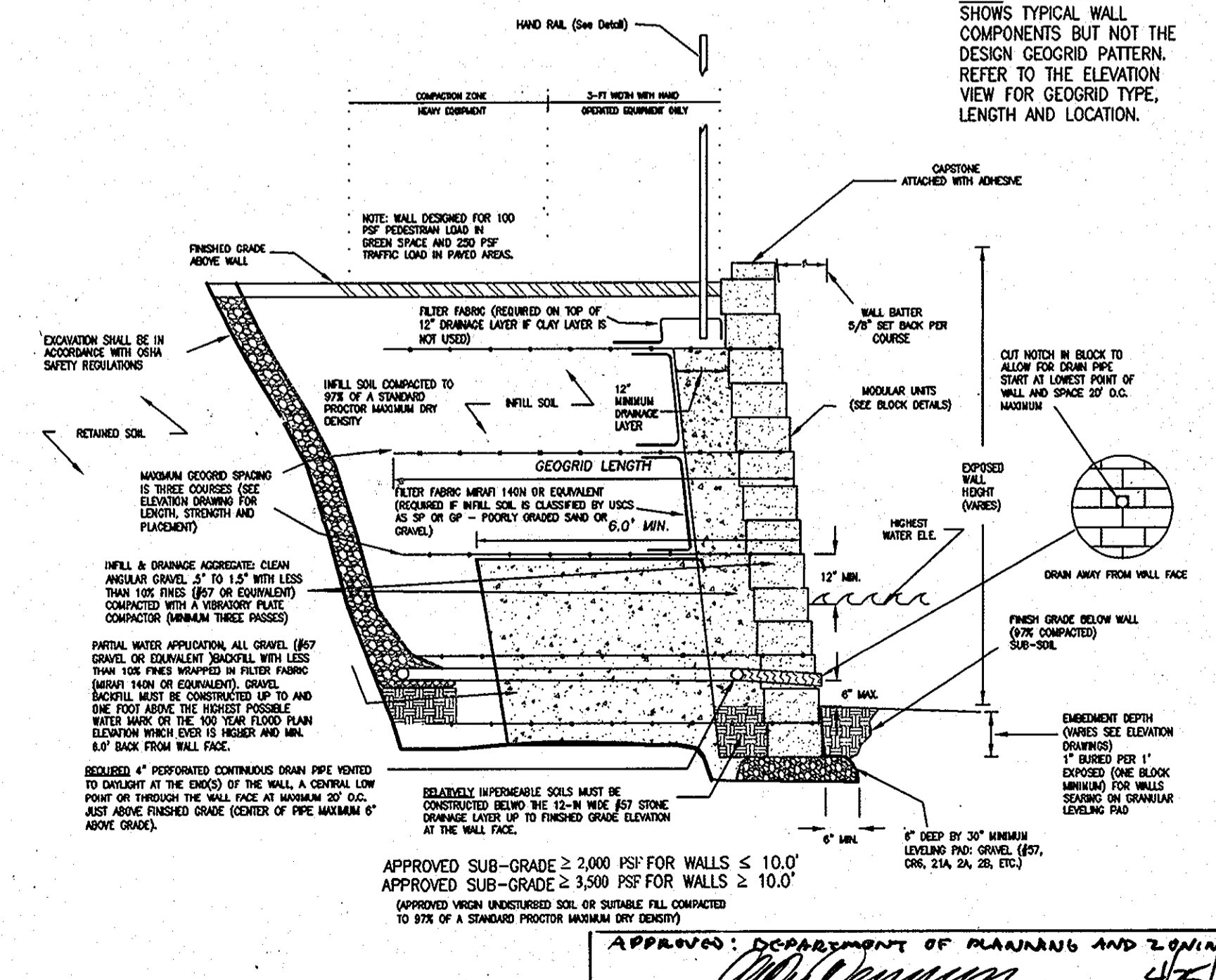
WALL SECTION #4 STA. 3+51.75
14-FT. WALL HEIGHT
SCALE: 3/8" = 1'



TYPICAL WALL SECTION
(STA. 4+33.5 TO STA. 4+81.5)
N. T. S.



TYPICAL PARTIAL WATER APPLICATION SECTION
(STA. 0+00 TO STA. 4+33.5)
N. T. S.



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Leesburg, VA 20175
Phone: (703) 669-9092
Fax: (703) 534-2107

NO.	DATE	REVISION	BY	CHKD



CHEVY CHASE BANK
10040 BALTIMORE NATIONAL PIKE
HOWARD COUNTY, MD
KEYSTONE STANDARD RETAINING WALL
TYPICAL DETAILS

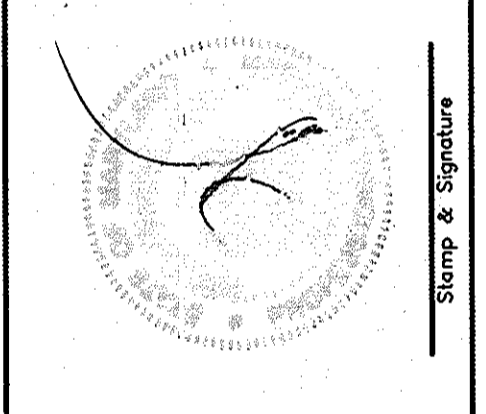
SHEET 11 OF 28
TMG
05/22/2009

APPROVED: DEPARTMENT OF PLANNING AND ZONING
CHIEF-DEVELOPMENT ENGINEERING DIVISION
DATE: 5/23/13
DIRECTOR: [Signature]

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF - DEPARTMENT ENGINEERING DIVISION *[Signature]* 4/25/13
 CHIEF - DIVISION OF LAND DEVELOPMENT *[Signature]* 5/13/13
 DIRECTOR *[Signature]* 4/3/13

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 Leesburg, VA 20175
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CHKO	
BY	
DATE	
REVISION	

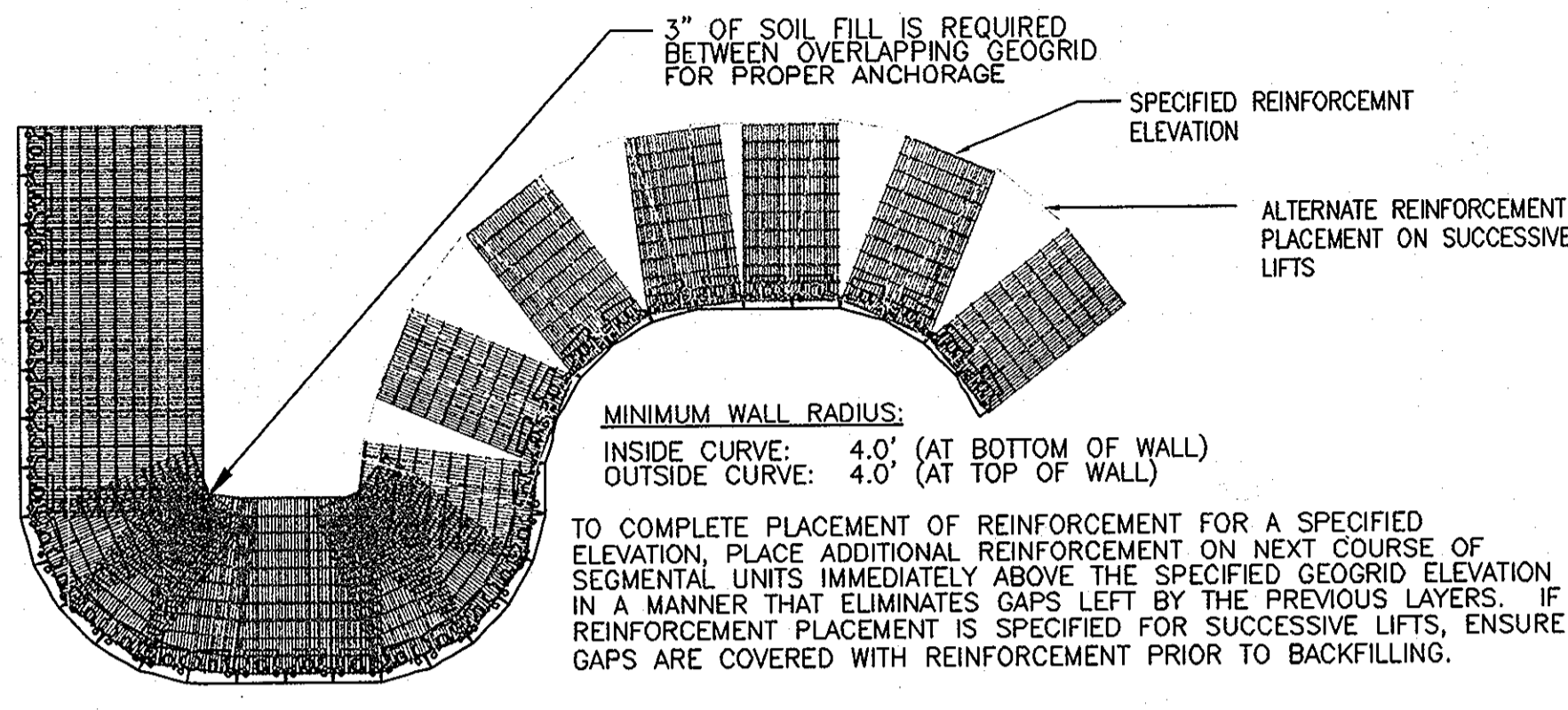
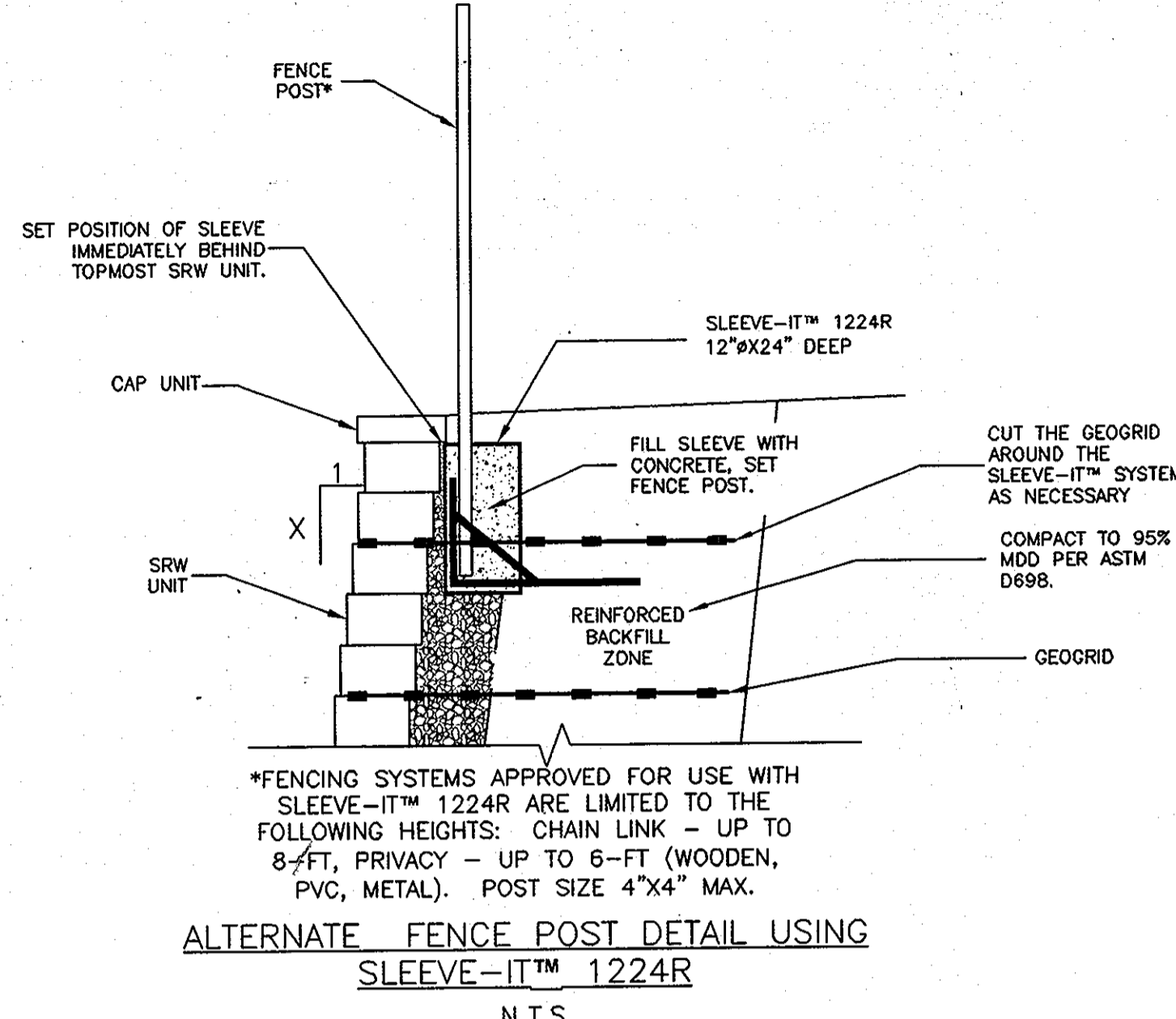
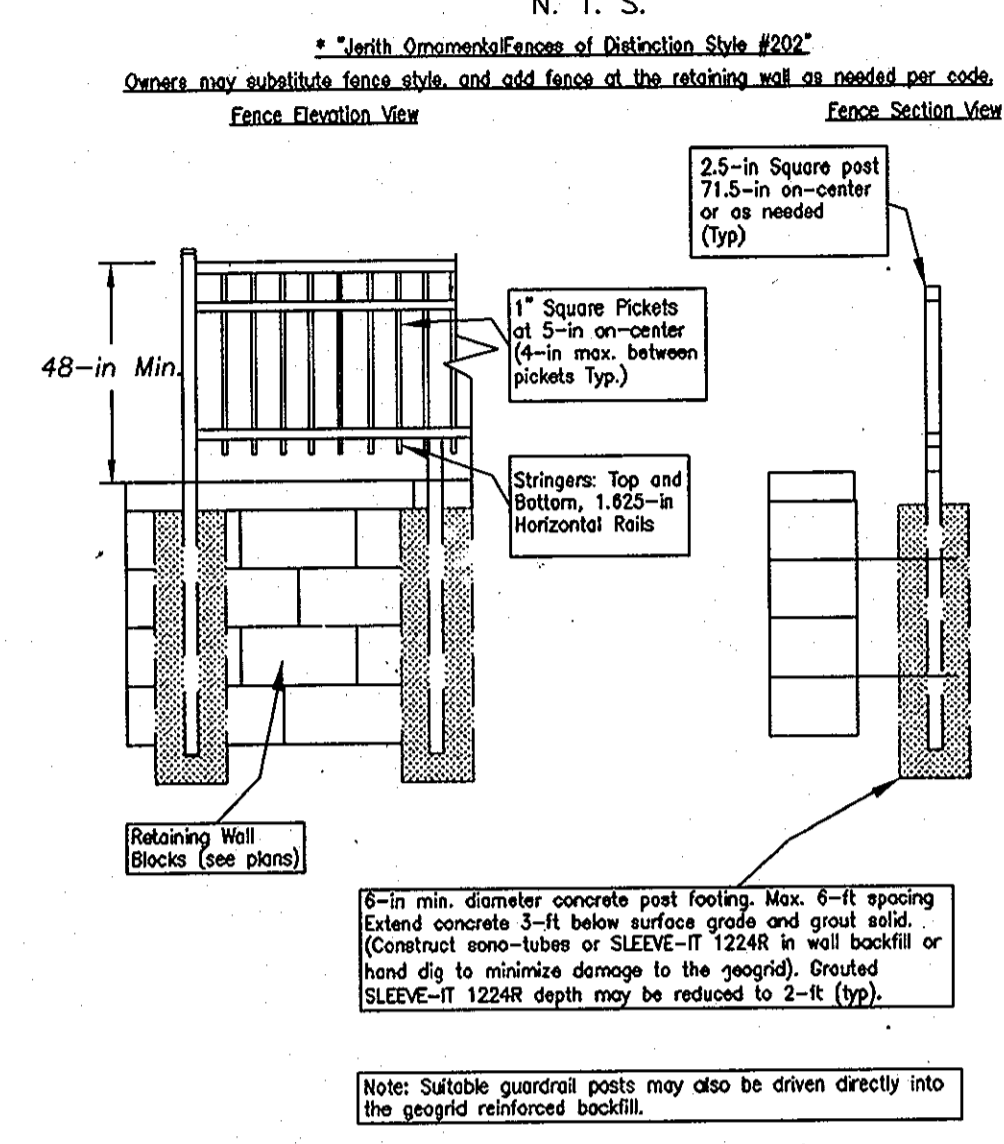


CHEY CHASE BANK
 10040 BALTIMORE NATIONAL PIKE
 HOWARD COUNTY, MD
 KEYSTONE STANDARD RETAINING WALL
 TYPICAL DETAILS & NOTES

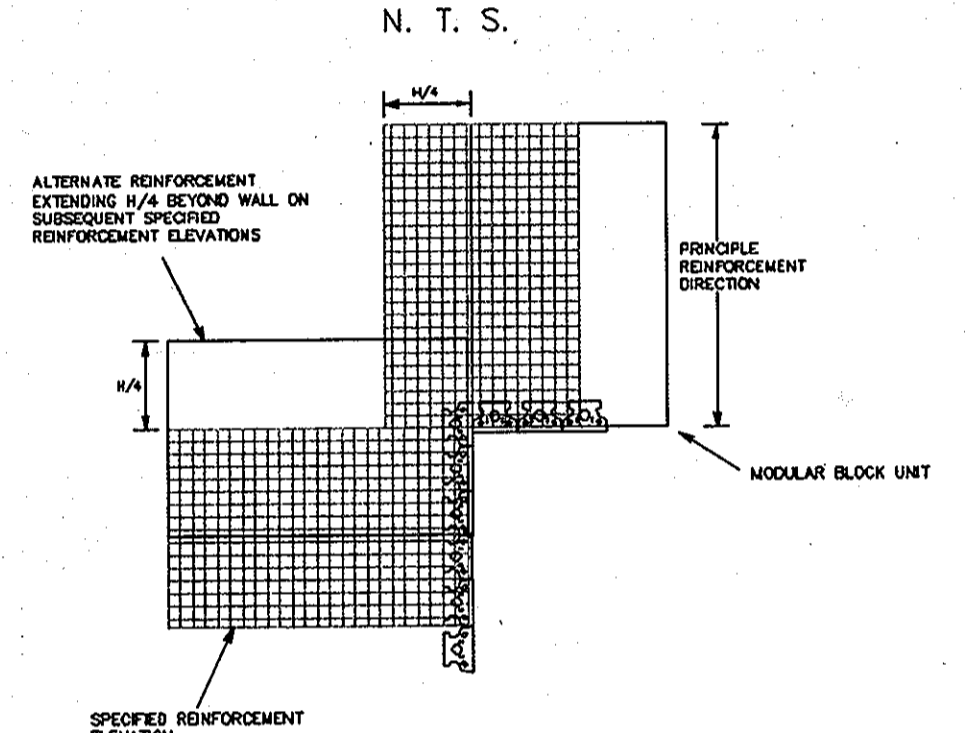
SHEET
 12 OF 28
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05/22/2009

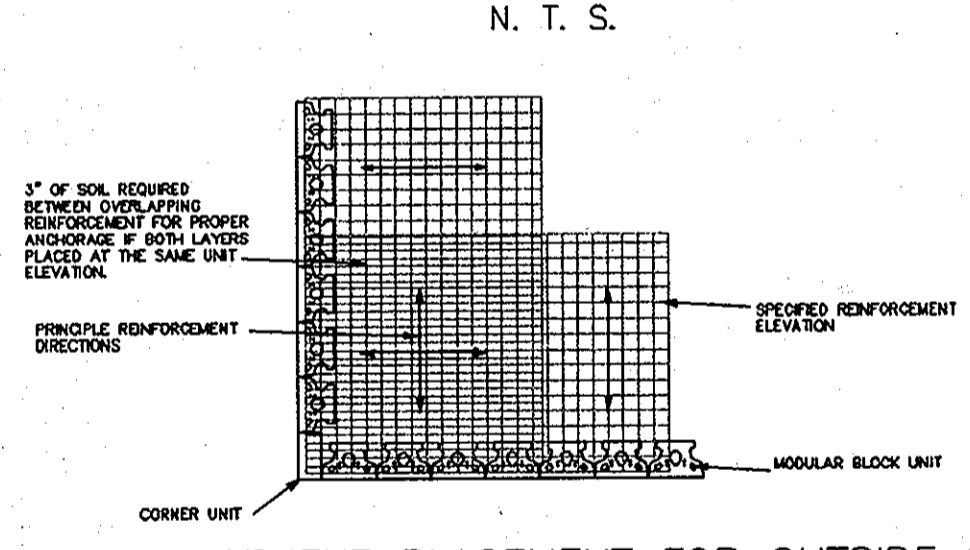
TYPICAL FENCE DETAIL*
 N. T. S.



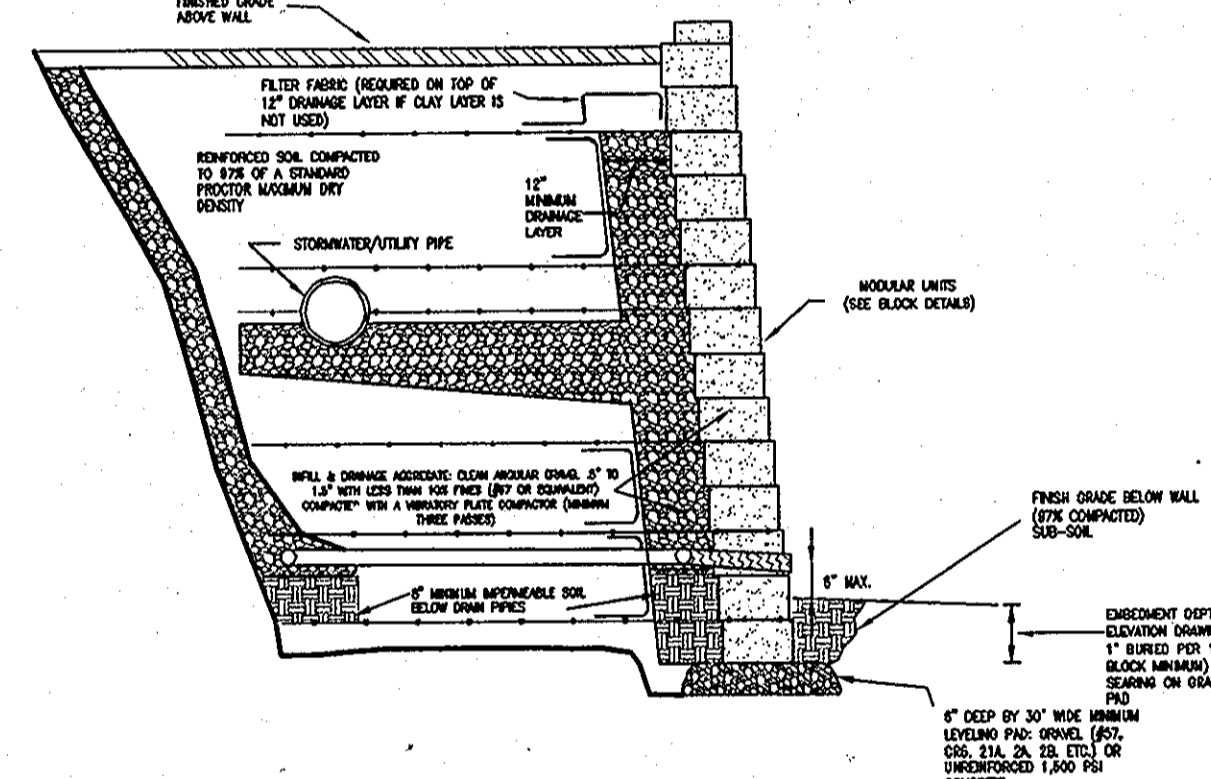
REINFORCEMENT PLACEMENT FOR INSIDE AND OUTSIDE CURVES
 N. T. S.



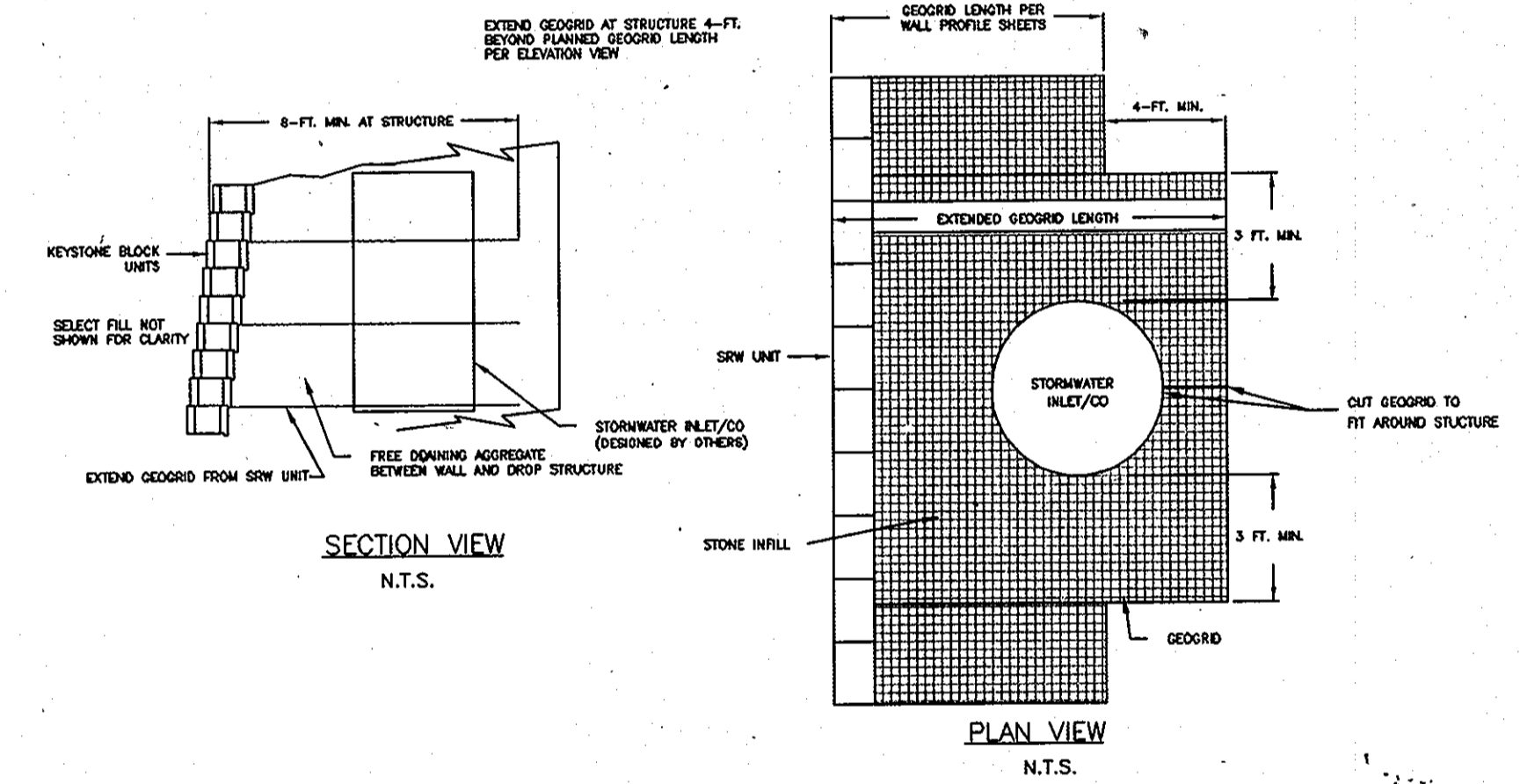
REINFORCEMENT PLACEMENT FOR INSIDE 90° CORNERS
 N. T. S.



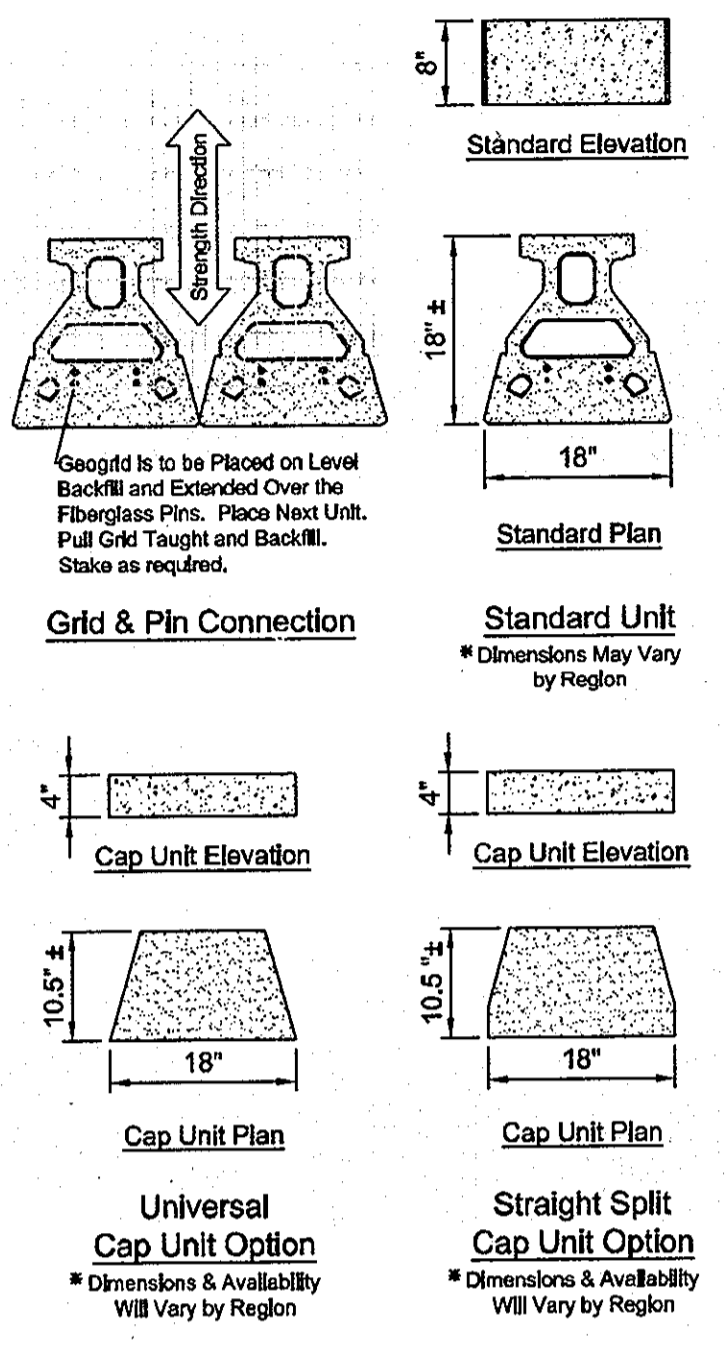
REINFORCEMENT PLACEMENT FOR OUTSIDE 90° CORNERS
 N. T. S.



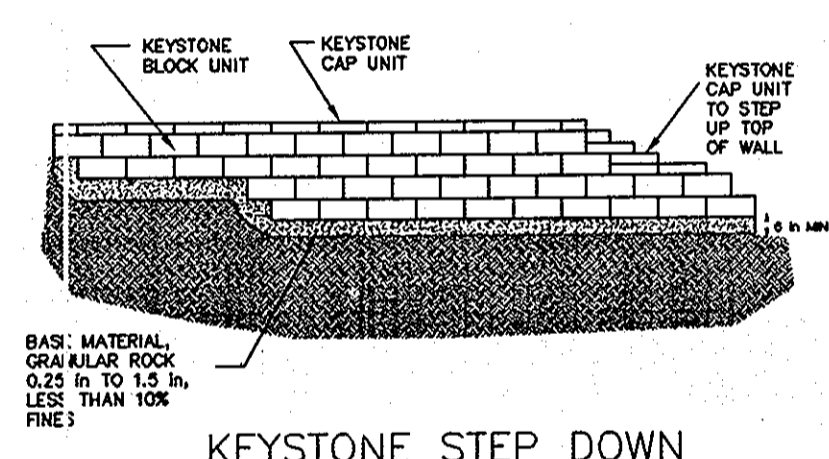
UTILITY/STORMWATER PIPE IN REINFORCED ZONE
 N. T. S.



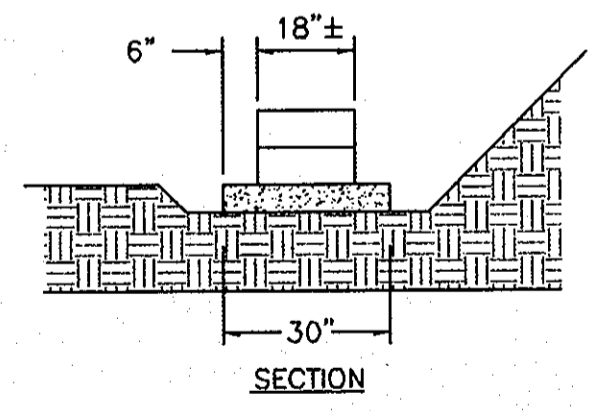
VERTICAL STRUCTURE IN REINFORCED ZONE
 N. T. S.



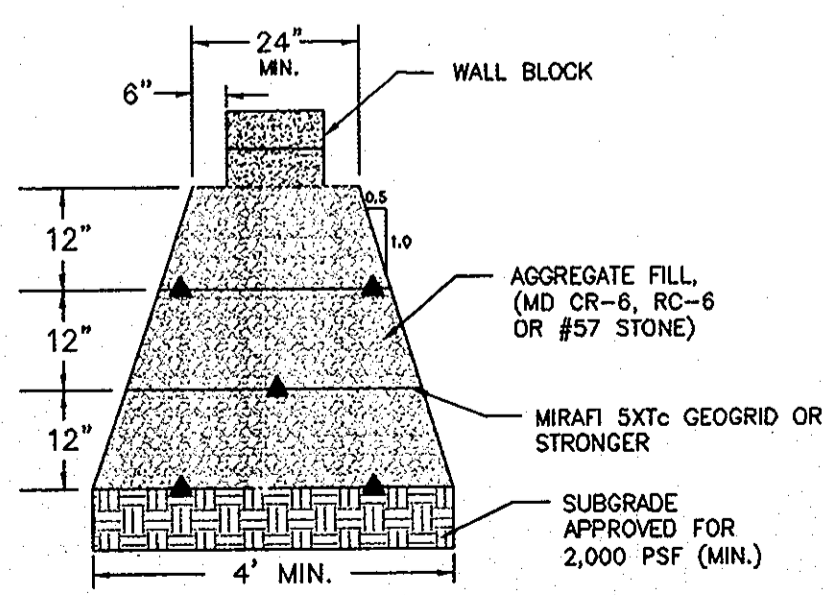
KEYSTONE STANDARD UNITS



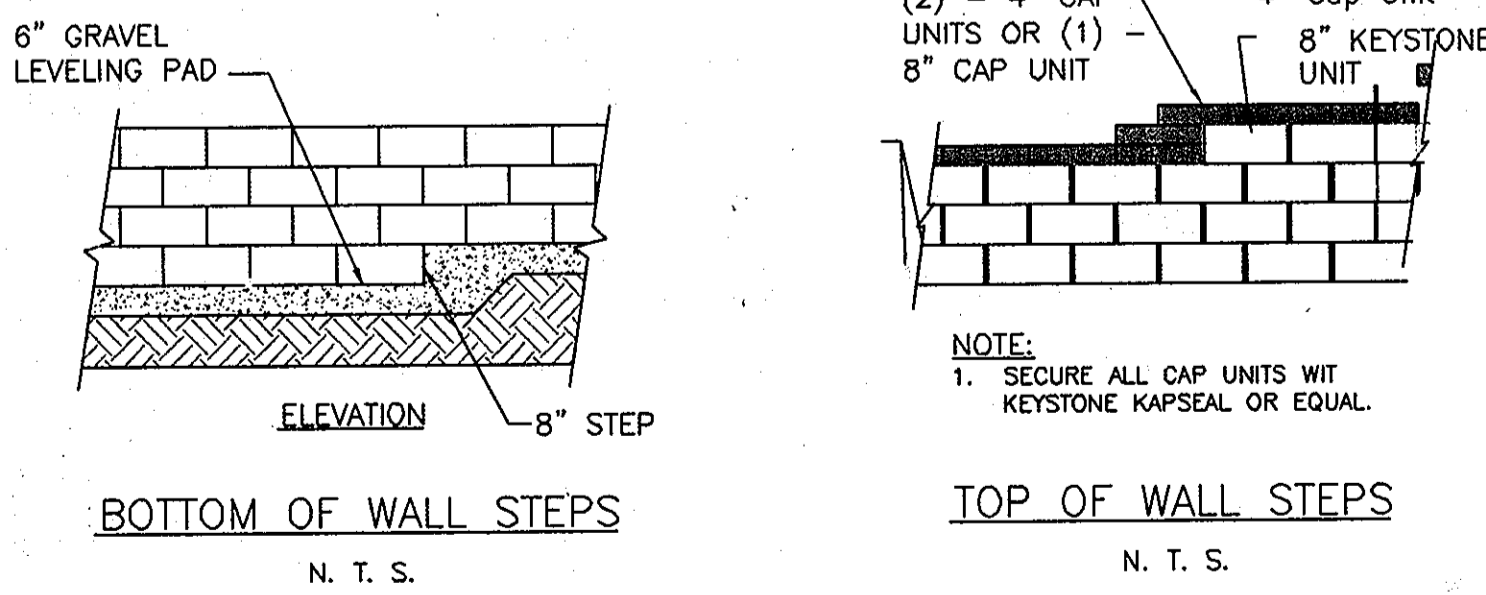
KEYSTONE STEP DOWN TYPICAL DETAIL
 N. T. S.



LEVELING PAD DETAIL



OPTIONAL FOUNDATION SUBGRADE STABILIZATION DETAIL (FOR SUBGRADE <3,500 PSF)



BOTTOM OF WALL STEPS
 N. T. S.

TOP OF WALL STEPS
 N. T. S.

SPECIAL HOWARD COUNTY RETAINING WALL SPECIFICATIONS:

- Retaining walls shall only be constructed under the observation of a Registered Professional Engineer and a (NICET, WACEL, or equivalent) certified soils technician.
- The required bearing pressure beneath the footing of the wall shall be verified in the field by a certified soils technician. Testing documentation shall be provided to the Howard County Inspector prior to the start of construction. The required test procedure at a minimum shall be the Dynamic Cone Penetrometer Test (DCP) per ASTM STP-399.
- The suitability of fill material shall be confirmed by the on-site soils technician. Each eight inch lift must be compacted to 95% Standard Proctor Density, and the testing report shall be made available to the Howard County Inspector upon completion of construction.
- For "CRITICAL" walls, one soil boring shall be required every 100 feet along the entire length of the wall. Copies of all boring reports shall be provided to the Howard County Inspector prior to the start of construction.

PART 1: GENERAL

- These plans refer only to the installation of the referenced Keystone Standard wall block. No other site grading or other information is intended by these plans. All site grading and wall location information was provided by others. The wall height may be reduced in the field as needed to meet site grades.
- PART 2: KEYSTONE PRODUCTS**
- Modular concrete materials shall consist of Keystone Standard units in accordance with the requirements of ASTM C1372, ASTM C69, and ASTM C140.
 - Base leveling pad shall consist of a compacted crushed stone base as shown on the drawings.
 - Unit drainage fill shall consist of clean #57 stone.
 - 6-Ft. wide drainage aggregate zone required up to elevation 382.00. Drainage must consist of #57 stone or approved equivalent.
 - The retaining wall backfill selectively may be site excavated soil when approved by the geotechnical engineer or otherwise specified herein. Suitable wall backfill must meet the following:
 USCS ML, SM or more granular
 Liquid Limit (LL) ≤ 40; Plasticity Index (PI) ≤ 12
 Standard Proctor maximum dry density ≥ 108 pcf
 Internal Friction Angle ≥ 28°
 Moisture content ≤ 3% of the optimum moisture content for compaction
 - The geogrid shall consist of Miraf 3XT-C geogrids or stronger as noted on Elevation View.
- PART 3 EXECUTION**
- All work must be performed in accordance with these plans, project documents, Keystone construction recommendations all applicable building and safety codes.
 - At the end of each work day, the Contractor shall protect the retaining wall backfill zone from runoff from adjacent site areas.

3.01 Excavation

- Contractor shall excavate to the lines and grades shown on the construction drawings or as recommended by the geotechnical engineer.
- In areas with soil subgrade the geotechnical engineer shall inspect the excavation and verify the subgrade for at least 2,000-psf for walls up to 10-ft, 3,000-psf for walls over 10-ft. Soil bearing capacity prior to placement of leveling material or fill soils. The bottom of the wall shall be supported upon a granular leveling pad on approved natural ground or controlled structural fill. Unsuitable foundation soils must be overexcavated and replaced with approved compacted materials.

3.02 Base Leveling Pad

- Leveling pad material shall be placed to the lines and grades shown on the construction drawings, to a min. thickness of 6-in and extend laterally a min of 6-in in front and behind the modular wall unit.
- Soil leveling pad shall be compacted to at least 97% Standard Proctor density per ASTM D-698.

3.03 Modular Unit Installation

- Retaining wall block and connection pins shall be installed in accordance with the manufacturer's construction manual.

3.04 Cap Installation

- Cap units shall be glued to underlying units with an all-weather adhesive recommended by the manufacturer.

3.05 Structural Geogrid Installation

- Geogrid shall be oriented with the highest strength axis perpendicular to the wall alignment.
- Geogrid reinforcement shall be placed at the strengths, lengths, and elevations shown on the construction or as directed by CIS Engineering, Inc.
- The geogrid shall be laid horizontally on compacted backfill and attached to the modular wall units. Place the next course of modular concrete units over the geogrid. The geogrid shall be pulled taut, and anchored prior to backfill placement on the geogrid.
- Geogrid reinforcements shall be continuous throughout their embedment lengths and placed side-by-side to provide 100% coverage at each level.

3.06 Reinforced Backfill Placement

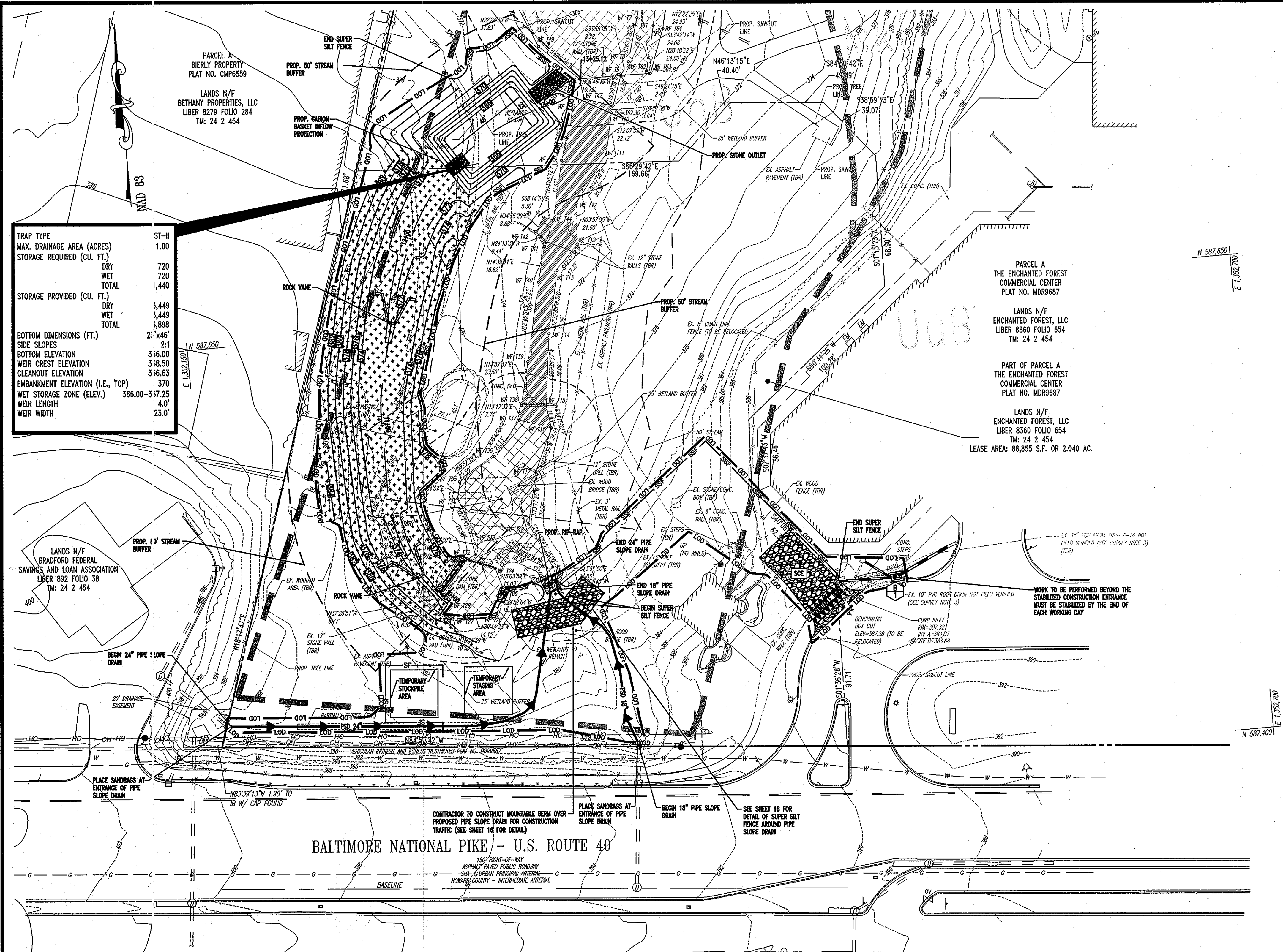
- Backfill shall be placed in 38-in max. loose lifts, spread, and compacted in such a manner that minimizes the development of slack in the geogrid and installation damage.
- Reinforced backfill shall be compacted to at least 97% of the maximum density as determined by ASTM D698. The moisture content of the backfill material prior to and during compaction shall be uniformly distributed throughout each layer and shall be 43% of the optimum moisture content for compaction.
- Open-graded stone, gravel, reclaimed concrete, or plating soil backfill shall be compacted with the grading equipment or approved vibratory compaction equipment.
- Only lightweight hand-operated equipment shall be allowed within 3-ft from the tail of the modular concrete unit.
- It is recommended that Sono-tubes or SLEEVE-IT 1224R be installed during wall construction to allow for fence installation (as needed).

3.07 As-Built Construction Tolerances

- Vertical alignment: ± 1.5" over any 10' distance.
- Wall Batter: within 2 degrees of design batter.
- Horizontal alignment: ± 1.5" over any 10' distance.
- Max horizontal gap between blocks ≤ 1/2 inch.

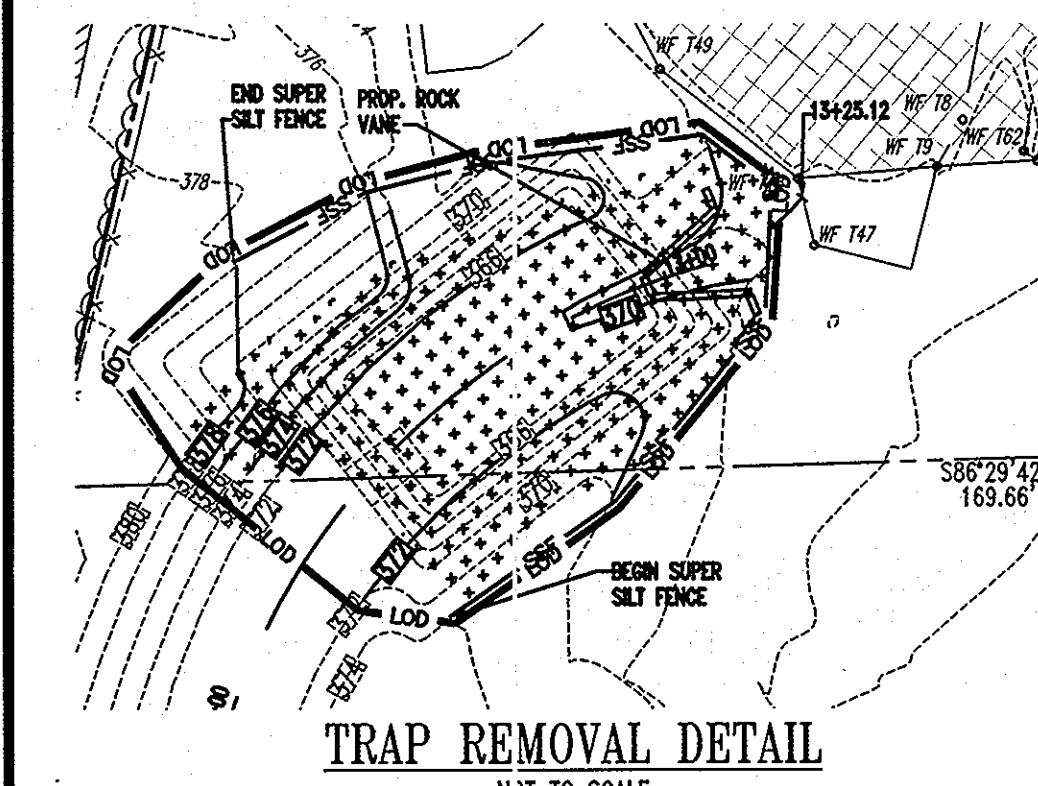
Retaining Wall Design Information		Retained Soil Unit Weight (γ):	125 pcf	Foundation Bearing Capacity: Walls up to 10-ft:	2,000 psf
		Wall Backfill Unit Weight (γ):	125 pcf	Foundation Bearing Capacity: Walls over 10-ft:	3,500 psf
		Uniform Vertical Pedestrian Load:	100 psf	Internal Angle of Compacted Backfill Friction (φ):	28°
		Uniform Traffic Load:	250 psf	Soil Cohesion (c):	0 psf
Selsmic Factors					
A=0.12		K _w =0.06g		- All F.S. reduced to 75% of Static Loading F.S. for selsmic conditions with minimum F.S.(selsmic) = 1.1	
F.S. Sliding (min.):		2.0	F.S. Shear (min.):		1.5
F.S. Overturning (min.):		2.0	F.S. Bending (min.):		1.5
F.S. Bearing (min.):		2.0			
Global Stability					
F.S. Circular Failure (min.):		1.3	Internal Stability		
			F.S. Uncertainty (min.):		1.5
			F.S. Pullout (min.):		1.5

Howard County File #SDP-08-40



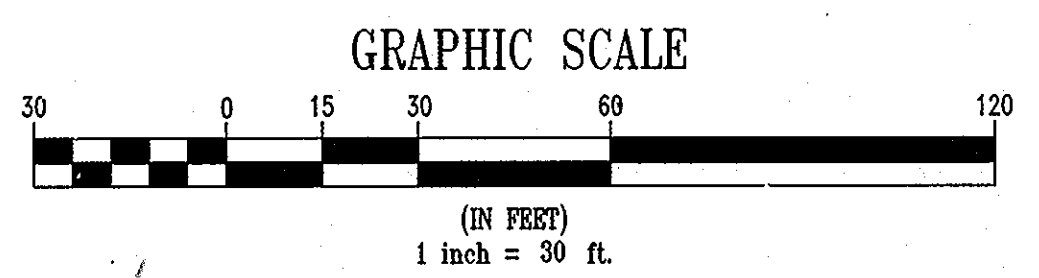
TRAP TYPE	ST-II
MAX. DRAINAGE AREA (ACRES)	1.00
STORAGE REQUIRED (CU. FT.)	
DRY	720
WET	720
TOTAL	1,440
STORAGE PROVIDED (CU. FT.)	
DRY	3,449
WET	3,449
TOTAL	3,898
BOTTOM DIMENSIONS (FT.)	2'-4'6"
SIDE SLOPES	2:1
BOTTOM ELEVATION	336.00
WEIR CREST ELEVATION	338.50
CLEANOUT ELEVATION	336.65
EMBANKMENT ELEVATION (I.E., TOP)	370
WET STORAGE ZONE (ELEV.)	366.00-337.25
WEIR LENGTH	4.0'
WEIR WIDTH	23.0'

LANDS N/F
BRADFORD FEDERAL
SAVINGS AND LOAN ASSOCIATION
LIBER 892 FOLIO 38
TM: 24 2 454



GENERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE FROM THE INCEPTION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

BALTIMORE NATIONAL PIKE - U.S. ROUTE 40



- NOTE:**
- CONTRACTOR SHALL NOT COMMENCE ANY LAND DISTURBING ACTIVITIES PRIOR TO OBTAINING A GRADING PERMIT.
 - TO PROTECT IMPORTANT AQUATIC SPECIES, MOTOR DRIVEN CONSTRUCTION EQUIPMENT SHALL NOT BE ALLOWED WITHIN STREAM CHANNELS UNLESS ON AUTHORIZED FORD CROSSINGS. ACTIVITIES WITHIN STREAM CHANNELS ARE PROHIBITED AS DETERMINED BY THE CLASSIFICATION OF THE STREAM (COMAR 26.08.02.03). LITTLE PATUXENT RIVER IS A USE-I WATERWAY; IN-STREAM WORK MAY NOT BE CONDUCTED FROM MARCH 1 THROUGH JUNE 15 INCLUSIVE, OF ANY YEAR.

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John C. Koster 4/17/13
HOWARD SCD

ENGINEER'S CERTIFICATE
"I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL IS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
Adam J. Volanth 3-7-13
SIGNATURE OF ENGINEER DATE
ADAM J. VOLANTH, P.E.

DEVELOPER'S CERTIFICATE
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."
ENCHANTED FOREST, LLC
801 KIMBLE INCOME FUND I, L.P. DALE HEMBEK
BY: KIMBLE INCOME FUND I, L.P., GENERAL PARTNER
Stuart W. Cox
NAME: DATE
Stuart W. Cox
Vice President
TITLE:

EROSION AND SEDIMENT CONTROL UTILITY INSTALLATION NOTES

CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE SHALL BE PLACED BELOW (DOWNSLOPE OF) TRENCH.

PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.

ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.

THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AT ALL TIMES DURING UNDERGROUND UTILITY CONSTRUCTION.

QUANTITY TAKEOFF OF PHASE I SEDIMENT CONTROL MEASURES

OVERALL LIMIT OF DISTURBANCE	96,588 S.F. OR 2.22 AC.
PHASE I LIMIT OF DISTURBANCE	34,490 S.F. OR 0.79 AC.
TOTAL NET SITE AREA	85,081 S.F. OR 1.95 AC.
TOTAL IMPERVIOUS AREA	29,862 S.F. OR 0.68 AC.
AREA TO BE VEGETATIVELY STABILIZED	67,726 S.F. OR 1.55 AC.
SILT FENCE	120 L.F.
SUPER SILT FENCE	731 L.F.
CURB INLET PROTECTION	1 EA.
STABILIZED CONSTRUCTION ENTRANCE	1 EA.
ROCK VANE	2 EA.

EARTH WORK (OVERALL)	
CUT:	3,660 CY.
FILL:	13,610 CY.

SPOIL MATERIAL SHALL BE DISCARDED AT A SITE WITH AN ACTIVE GRADING PERMIT AND APPROVED SEDIMENT CONTROL PLAN. BORROW MATERIAL SHALL BE OBTAINED FROM AN APPROVED SITE WITH AN ACTIVE GRADING PERMIT AND AN APPROVED SEDIMENT CONTROL PLAN.

EARTH QUANTITIES LISTED ABOVE ARE FOR SEDIMENT CONTROL USE ONLY. CONTRACTOR SHALL NOT RELY ON THESE FIGURES FOR ESTIMATING AND BIDDING PURPOSES.

UTILITY LEGEND:

	PROPOSED STORM SEWER
	EXISTING STORM SEWER
	PROPOSED SANITARY SEWER
	EXISTING SANITARY SEWER
	PROPOSED UNDERGROUND GAS
	EXISTING UNDERGROUND GAS
	PROPOSED UNDERGROUND WATER
	EXISTING UNDERGROUND WATER
	PROPOSED UNDERGROUND ELECTRIC
	EXISTING UNDERGROUND ELECTRIC
	PROPOSED UNDERGROUND TELEPHONE
	EXISTING UNDERGROUND TELEPHONE
	PROPOSED OVERHEAD ELECTRIC WIRES
	EXISTING OVERHEAD ELECTRIC WIRES

EROSION AND SEDIMENT CONTROL LEGEND

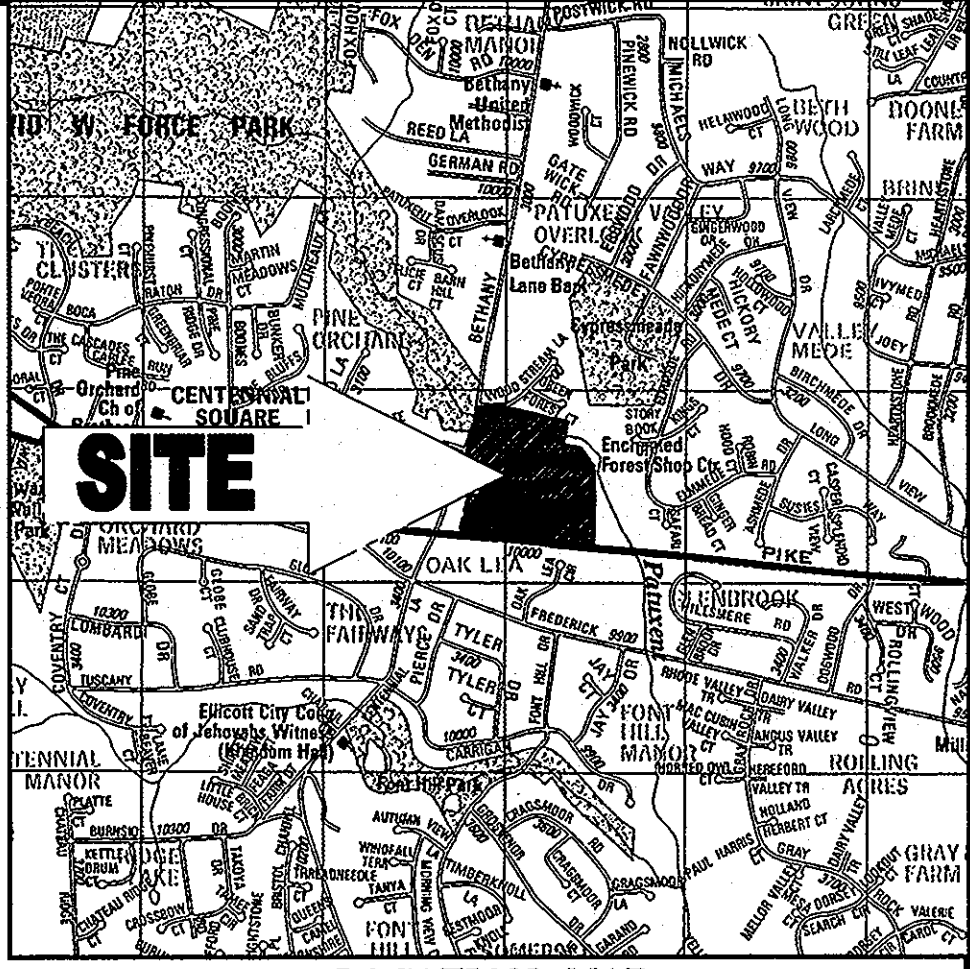
	PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	LIMIT OF DISTURBANCE
	SUPER SILT FENCE
	SILT FENCE
	STREAM BANK BUFFER
	STABILIZED CONSTRUCTION ENTRANCE
	MOUNTABLE BERM
	STANDARD INLET PROTECTION
	CURB INLET PROTECTION
	GABION INFLOW PROTECTION
	PIPE SLOPE DRAIN
	ROCK VANE
	EROSION CONTROL MATTING OVER SEED AND MULCH

ADDRESS CHART

LOT/PARCEL #	STREET ADDRESS
PARCEL 454	10070 BALTIMORE NATIONAL PIKE, ELLICOTT CITY HOWARD COUNTY, MD 21042

PERMIT INFORMATION CHART

SUBDIVISION NAME:	SECTION/AREA	LOT/PARCEL NO.
THE ENCHANTED FOREST COMMERCIAL CENTER		454
PLAT RECORDATION GROUP:	ZONING	TAX MAP NO.
2377-2378	B-2	24
WATER CODE	ELECT. DISTR	CENSUS TRACT
H08	2nd	6022
	SEWER CODE	
	5440000	



LOCATION MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'

REFERENCE:
SOIL SURVEY
HOWARD COUNTY, MD
PREPARED BY:
UNITED STATES DEPARTMENT OF AGRICULTURE
DATED: JULY 1968

SOIL DESCRIPTIONS
Gnb - GLENVILLE - BAILE SILT LOAMS, 0 TO 8 PERCENT SLOPES (HYDROLOGIC)
Mf - MANOR-BRINKLOW COMPLEX, 25 TO 65 PERCENT SLOPES, VERY ROCKY
Uub - URBAN LAND-UDORHTHOMTS COMPLEX, 0 TO 8 PERCENT SLOPES

INLET PROTECTION NOTE
THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH THE EXCEPTION OF THE FOLLOWING:
1) ANY INLET OUTFALLING DIRECTLY INTO A SEDIMENT TRAPPING DEVICE.
2) INLETS ON PRIVATE OR PUBLIC PAVED ROAD OPEN TO THE PUBLIC.

ALL INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, PAGE E-23. THE REMOVAL OF ANY INLET PROTECTION DEVICES WILL REQUIRE APPROVAL FROM THE INSPECTOR.

*STORM DRAIN TO BE FLUSHED PRIOR TO TRAPPING DEVICE REMOVAL.

PROFESSIONAL CERTIFICATION
I, ADAM J. VOLANTH HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21342, EXPIRATION DATE: 9/14/14.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
John C. Koster 4/17/13
CHIEF-DEVELOPMENT ENGINEERING DIVISION J. POATE
John C. Koster 5/13/13
CHIEF-DIVISION OF LAND DEVELOPMENT
John C. Koster 5/13/13
DIRECTOR DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT

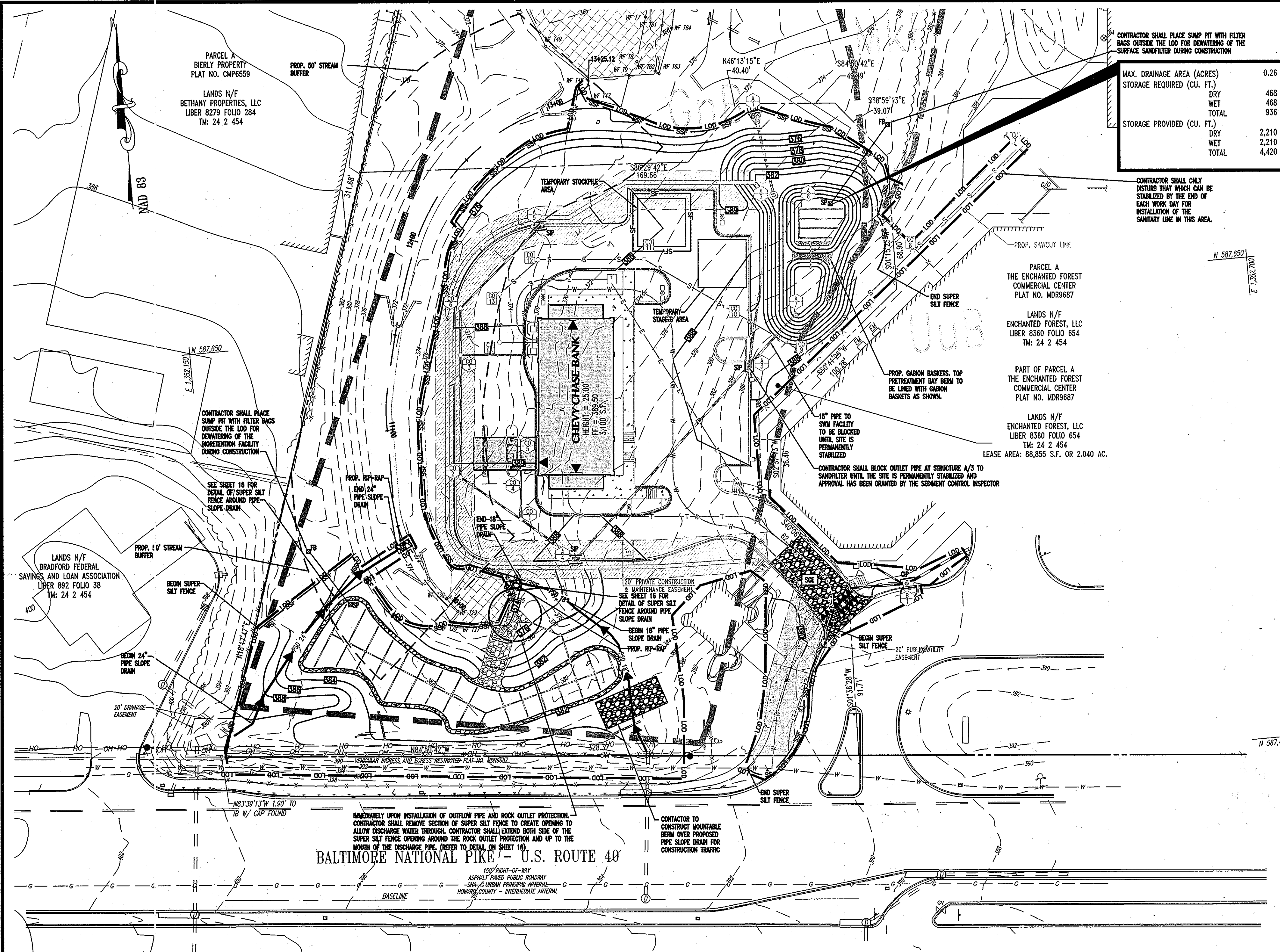
NO.	DATE	REVISION DESCRIPTION
OWNERS:	ENCHANTED FOREST LLC 3333 NEW HYDE PARK ROAD NEW HYDE PARK, NY 11042	DEVELOPER: CWG REALTY CORPORATION 1954 GREENSPRING DRIVE, SUITE 330 TIMONUM, MD 21093 C/O GEOFF GLAZER PHONE: (410) 684-2000
PROJECT:	CHEVY CHASE BANK PARCEL 454, THE ENCHANTED FOREST COMMERCIAL CENTER 10070 BALTIMORE NATIONAL PIKE ELLICOTT CITY, HOWARD COUNTY, MARYLAND	
AREA:	2.04 AC. TAX MAP 24 BRID 2 ZONED B-2 PARCEL 454, L. 8360, F. 654	
TITLE:	2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND	
PHASE I EROSION AND SEDIMENT CONTROL PLAN		

BOHLER ENGINEERING

901 DULANEY VALLEY ROAD
SUITE 801
TOWNSHIP, MARYLAND 21204
PH: (410) 821-7900
FX: (410) 821-7987
www.bohlerengineering.com

DESIGNED BY: A.G.S.
DRAWN BY: R.F.G.
PROJECT NO.: MD069000.1
DATE: 3/1/13
SCALE: 1"=30'
DRAWING NO. 13 OF 28

ADAM J. VOLANTH, P.E.
PROFESSIONAL ENGINEER NO. 21342



MAX. DRAINAGE AREA (ACRES)	0.26
STORAGE REQUIRED (CU. FT.)	
DRY	468
WET	468
TOTAL	936
STORAGE PROVIDED (CU. FT.)	
DRY	2,210
WET	2,210
TOTAL	4,420

QUANTITY TAKEOFF OF PHASE II SEDIMENT CONTROL MEASURES

OVERALL LIMIT OF DISTURBANCE	96,588 S.F. OR 2.22 AC.
PHASE II LIMIT OF DISTURBANCE	74,198 S.F. OR 1.70 AC.
TOTAL NET SITE AREA	85,081 S.F. OR 1.95 AC.
TOTAL IMPERVIOUS AREA	28,862 S.F. OR 0.66 AC.
AREA TO BE VEGETATIVELY STABILIZED	67,726 S.F. OR 1.56 AC.
SILT FENCE	120 L.F.
SUPER SILT FENCE	467 L.F.
STANDARD INLET PROTECTION	3 EA.
CURB INLET PROTECTION	1 EA.
STABILIZED CONSTRUCTION ENTRANCE	1 EA.
STONE VANE	1 EA.

EARTH WORK (OVERALL)	
CUT:	3,660 CY.
FILL:	13,610 CY.

SPOIL MATERIAL SHALL BE DISCARDED AT A SITE WITH AN ACTIVE GRADING PERMIT AND APPROVED SEDIMENT CONTROL PLAN. BORROW MATERIAL SHALL BE OBTAINED FROM AN APPROVED SITE WITH AN ACTIVE GRADING PERMIT AND AN APPROVED SEDIMENT CONTROL PLAN.

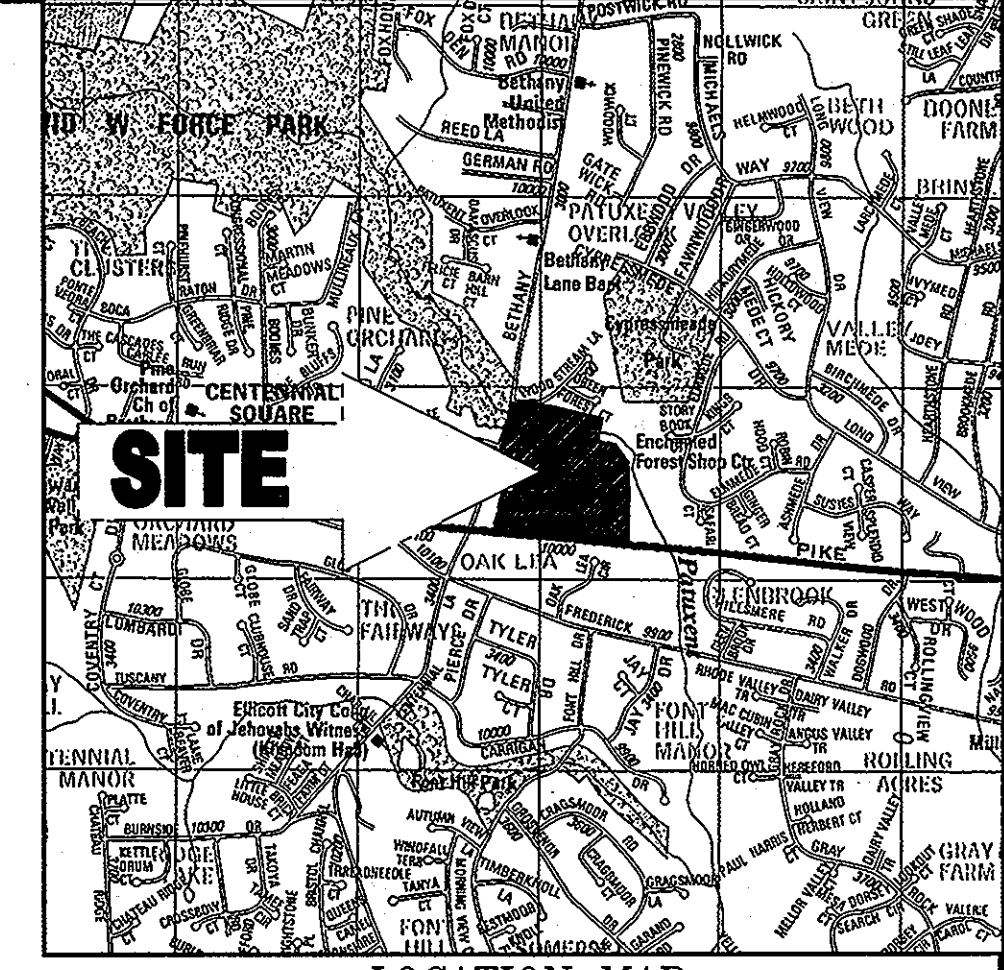
EARTH QUANTITIES LISTED ABOVE ARE FOR SEDIMENT CONTROL USE ONLY. CONTRACTOR SHALL NOT RELY ON THESE FIGURES FOR ESTIMATING AND BONDING PURPOSES.

UTILITY LEGEND:

PROPOSED STORM SEWER	—S—S—
EXISTING STORM SEWER	—S—S—
PROPOSED SANITARY SEWER	—S—S—
EXISTING SANITARY SEWER	—S—S—
PROPOSED UNDERGROUND GAS	—G—G—
EXISTING UNDERGROUND GAS	—G—G—
PROPOSED UNDERGROUND WATER	—W—W—
EXISTING UNDERGROUND WATER	—W—W—
PROPOSED UNDERGROUND ELECTRIC	—E—E—
EXISTING UNDERGROUND ELECTRIC	—E—E—
PROPOSED UNDERGROUND TELEPHONE	—T—T—
EXISTING UNDERGROUND TELEPHONE	—T—T—
PROPOSED OVERHEAD ELECTRIC WIRES	—OH—OH—
EXISTING OVERHEAD ELECTRIC WIRES	—OH—OH—

EROSION AND SEDIMENT CONTROL LEGEND

PROPERTY LINE	—
EXISTING CONTOUR	—
PROPOSED CONTOUR	—
LIMIT OF DISTURBANCE	—
SUPER SILT FENCE	—
EX. SUPER SILT FENCE	—
SILT FENCE	—
STREAM BANK BUFFER	—
STABILIZED CONSTRUCTION ENTRANCE	—
MOUNTABLE BERM	—
STANDARD INLET PROTECTION	—
CURB INLET PROTECTION	—
ROCK OUTLET PROTECTION	—
PIPE SLOPE DRAIN	—
ROCK VANE	—
EROSION CONTROL MATTING	—



LOCATION MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'

REFERENCE:

SOIL SURVEY
HOWARD COUNTY, MD
PREPARED BY:
UNITED STATES DEPARTMENT OF AGRICULTURE
DATED: JULY 1968

SOIL DESCRIPTIONS

GMB - GLENVILLE - BAILE SILT LOAMS, 0 TO 8 PERCENT SLOPES (HYDROLOGIC)
MAF - MANOR-BRINKLOW COMPLEX, 25 TO 65 PERCENT SLOPES, VERY ROCKY
UUB - URBAN LAND-UDORTMENTS COMPLEX, 0 TO 8 PERCENT SLOPES

INLET PROTECTION NOTE

THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH THE EXCEPTION OF THE FOLLOWING:

- *1) ANY INLET OUTFALLING DIRECTLY INTO A SEDIMENT TRAPPING DEVICE.
- *2) INLETS ON PRIVATE OR PUBLIC PAVED ROAD OPEN TO THE PUBLIC.

ALL INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, PAGE E-23. THE REMOVAL OF ANY INLET PROTECTION DEVICES WILL REQUIRE APPROVAL FROM THE INSPECTOR.

*STORM DRAIN TO BE FLUSHED PRIOR TO TRAPPING DEVICE REMOVAL.

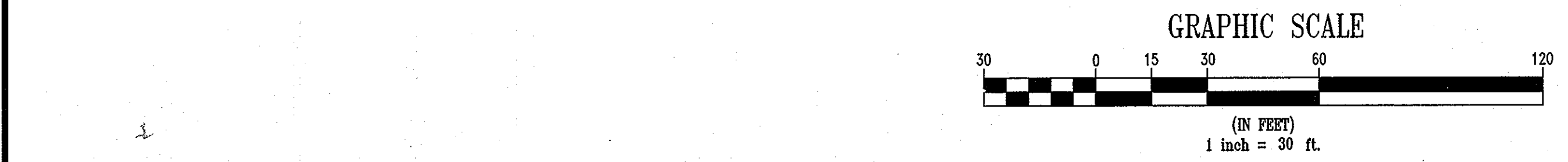
MISS UTILITY



PROFESSIONAL CERTIFICATION

I, ADAM J. VOLANTH HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21342, EXPIRATION DATE: 9/14/14.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
CHIEF-DEVELOPMENT ENGINEERING DIVISION
CHIEF-DIVISION OF LAND DEVELOPMENT
DIRECTOR
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.



GENERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

- NOTE:**
- CONTRACTOR SHALL NOT COMMENCE ANY LAND DISTURBING ACTIVITIES PRIOR TO OBTAINING A GRADING PERMIT.
 - TO PROTECT IMPORTANT AQUATIC SPECIES, MOTOR DRIVEN CONSTRUCTION EQUIPMENT SHALL NOT BE ALLOWED WITHIN STREAM CHANNELS UNLESS ON AUTHORIZED FORD CROSSINGS. ACTIVITIES WITHIN STREAM CHANNELS ARE PROHIBITED AS DETERMINED BY THE CLASSIFICATION OF THE STREAM (COMAR 26.08.02.08). LITTLE PATUXENT RIVER IS A USE-1 WATERWAY; IN-STREAM WORK MAY NOT BE CONDUCTED FROM MARCH 1 THROUGH JUNE 15 INCLUSIVE, OF ANY YEAR.

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY COMMISSIONERS.
Adam J. Volanth 9/1/13
HOWARD COUNTY

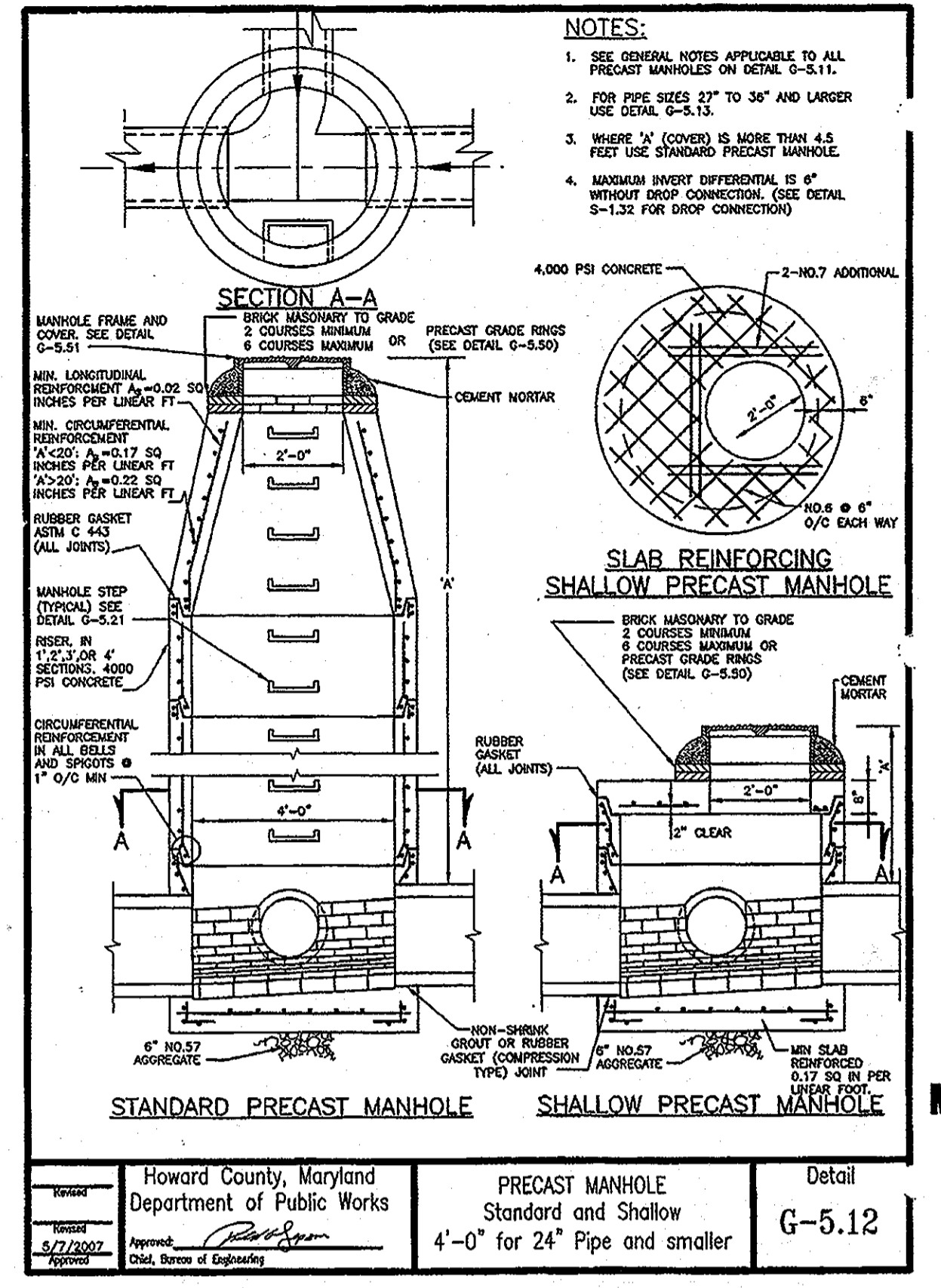
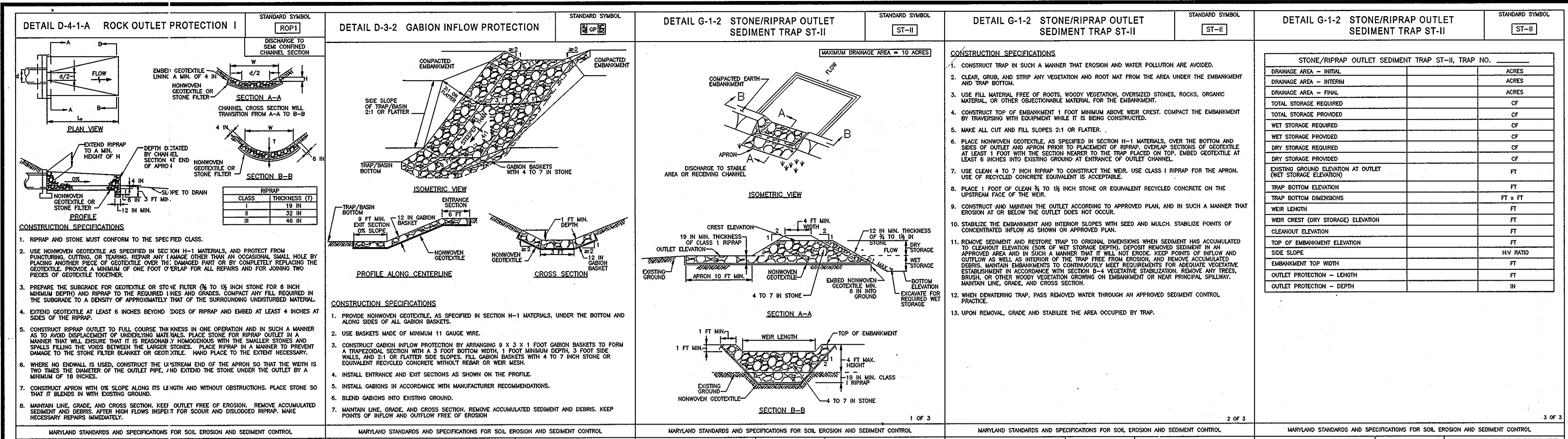
ENGINEER'S CERTIFICATE
"I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY CONSERVATION DISTRICT."
Adam J. Volanth 3-4-13
SIGNATURE OF ENGINEER
ADAM J. VOLANTH, P.E. DATE

DEVELOPER'S CERTIFICATE
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD COUNTY CONSERVATION DISTRICT."
ENCHANTED FOREST LLC
BY: KIMCO INCOME FUND I.L.P. SOLE MEMBER
BY: KIMCO INCOME FUND I.L.P. INC. GENERAL PRACTICE
NAME: *Stan W. Cox* DATE
TITLE: *Vice President*

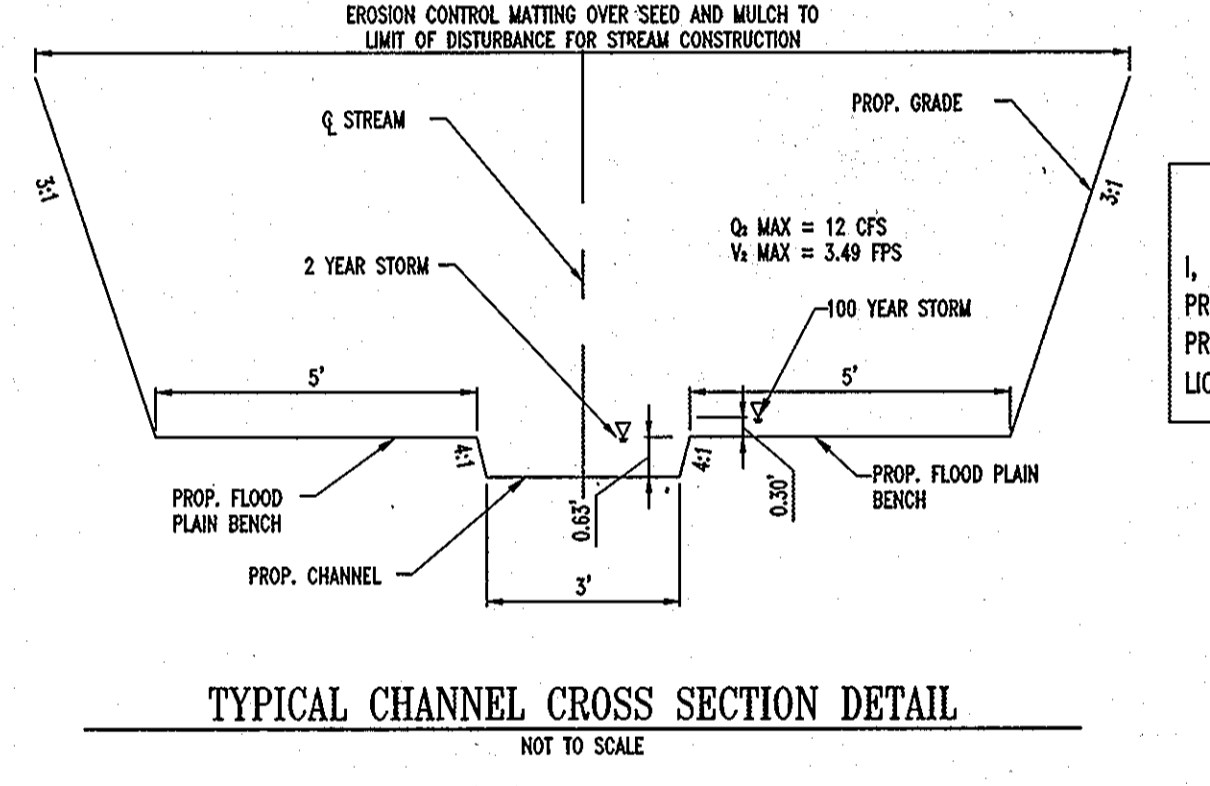
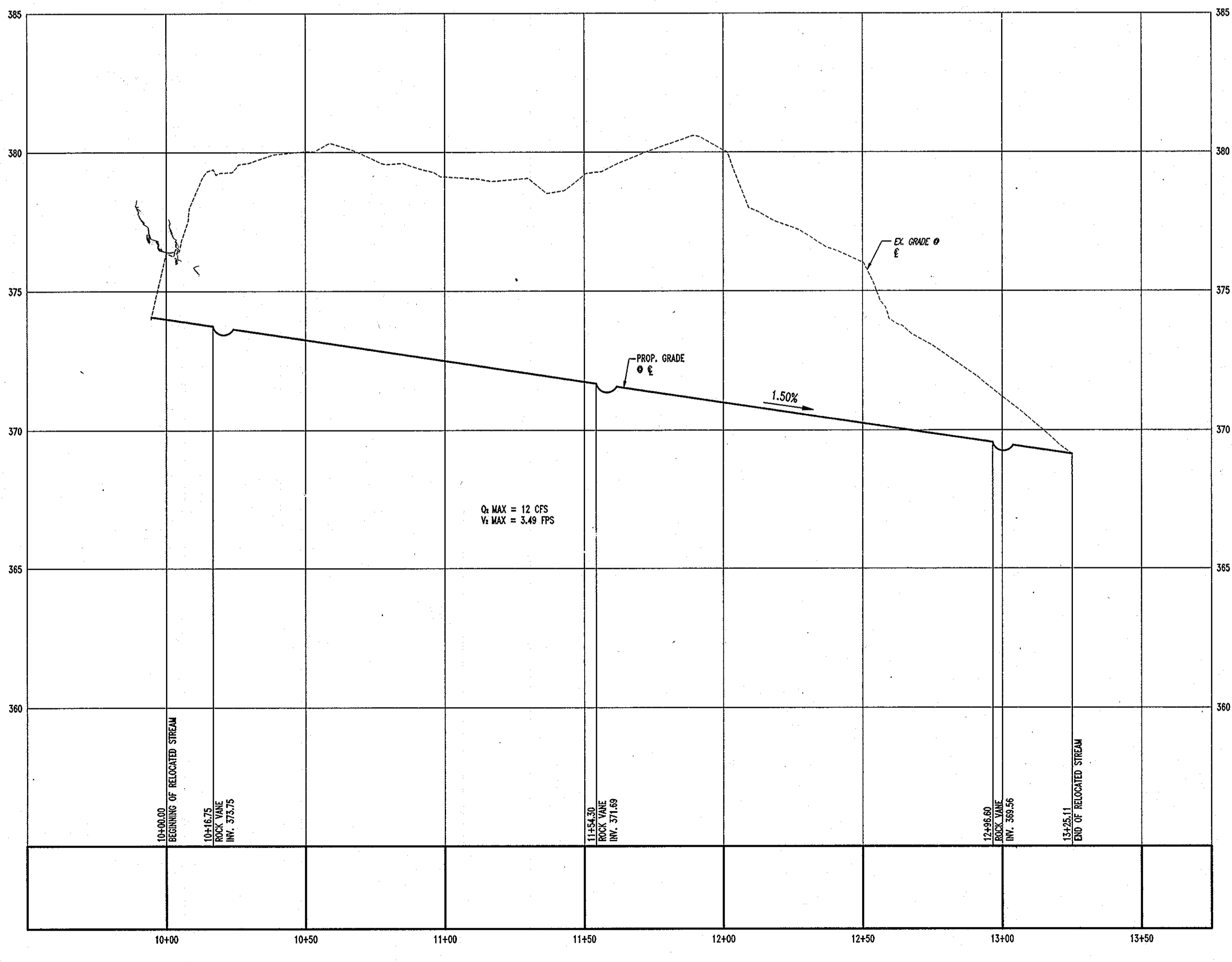
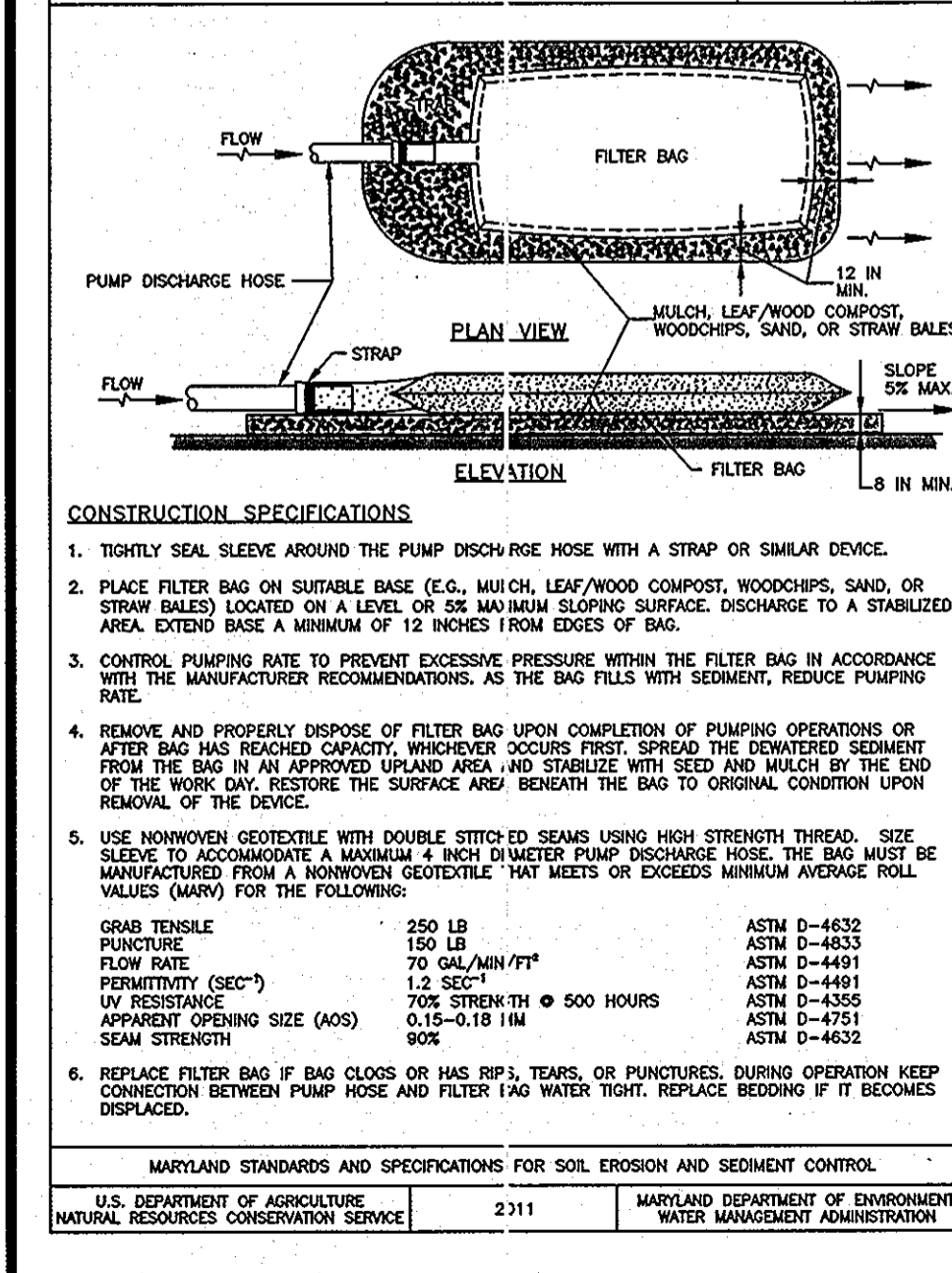
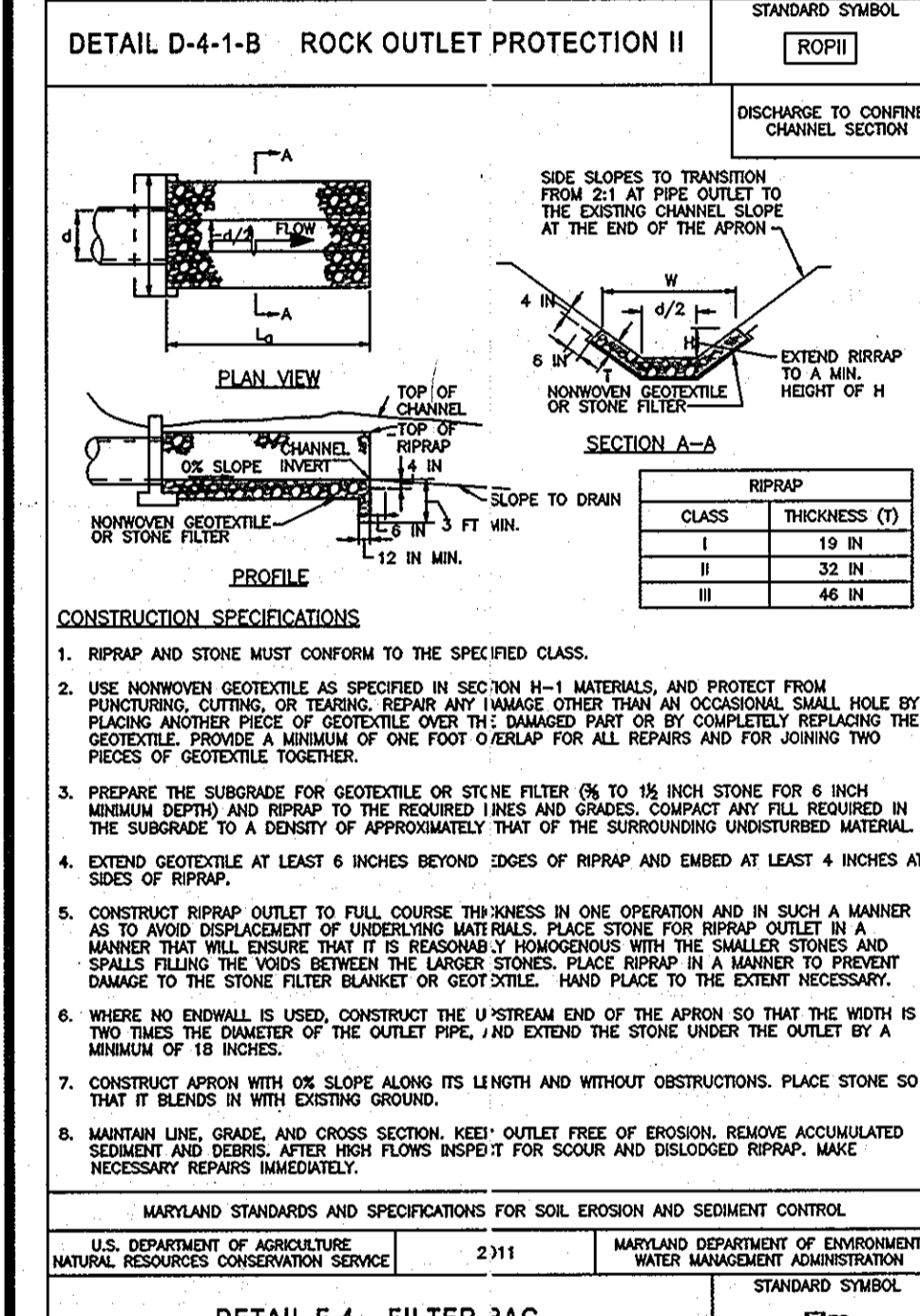
ADDRESS CHART		
LOT/PARCEL #	STREET ADDRESS	
PARCEL 454	10070 BALTIMORE NATIONAL PIKE, ELICOTT CITY HOWARD COUNTY, MD 21042	
PERMIT INFORMATION CHART		
SUBDIVISION NAME:	SECTION/AREA	LOT/PARCEL NO.
THE ENCHANTED FOREST COMMERCIAL CENTER		454
PLAT RECORDED/GRID	ZONING	TAX MAP NO.
22337-22338	B-2	24
WATER CODE	ELECT. DIST.	CENSUS TRACT
H08	2nd	6022
SEWER CODE		
5440000		

BOHLER ENGINEERING
901 DULANEY VALLEY ROAD
SUITE 801
TOWSON, MARYLAND 21204
PH: (410) 821-7900
FX: (410) 821-7987
www.bohlerengineering.com

DESIGNED BY: A.G.S.
DRAWN BY: R.F.G.
PROJECT NO.: MD069000.1
DATE: 3/1/13
SCALE: 1"=30'
ADAM J. VOLANTH, P.E.
PROFESSIONAL ENGINEER NO. 21342
DRAWING NO. 14 OF 28



STONE/RIPRAP OUTLET SEDIMENT TRAP ST-II, TRAP NO.	ACRES
DRAINAGE AREA - INITIAL	ACRES
DRAINAGE AREA - FINAL	ACRES
TOTAL STORAGE PROVIDED	CF
WET STORAGE REQUIRED	CF
WET STORAGE PROVIDED	CF
DRY STORAGE REQUIRED	CF
DRY STORAGE PROVIDED	CF
EXISTING GROUND ELEVATION AT OUTLET (WET STORAGE ELEVATION)	FT
TRAP BOTTOM ELEVATION	FT
TRAP BOTTOM DIMENSIONS	FT x FT
WEIR LENGTH	FT
WEIR CREST (DRY STORAGE) ELEVATION	FT
CLEANOUT ELEVATION	FT
TOP OF EMBANKMENT ELEVATION	FT
SIDE SLOPE	HV RATIO
EMBANKMENT TOP WIDTH	FT
OUTLET PROTECTION - LENGTH	FT
OUTLET PROTECTION - DEPTH	IN



THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY ENGINEER ON 4/9/13

ENGINEER'S CERTIFICATE
I, THE ENGINEER, CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL IS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY CONSERVATION DISTRICT.

DEVELOPER'S CERTIFICATE
I, THE DEVELOPER, CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD COUNTY CONSERVATION DISTRICT.

PROFESSIONAL CERTIFICATION
I, ADAM J. VOLANTH HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21342, EXPIRATION DATE: 9/14/14.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
CHIEF-DEVELOPMENT ENGINEERING DIVISION DATE: 4/15/13
CHIEF-DIVISION OF LAND DEVELOPMENT DATE: 5/3/13
DIRECTOR DATE: 5/1/13

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
COUNTY HEALTH OFFICER DATE: _____
HOWARD COUNTY HEALTH DEPARTMENT

ADDRESS CHART

LOT/PARCEL #	STREET ADDRESS
PARCEL 454	10070 BALTIMORE NATIONAL PIKE, ELLICOTT CITY HOWARD COUNTY, MD 21042

PERMIT INFORMATION CHART

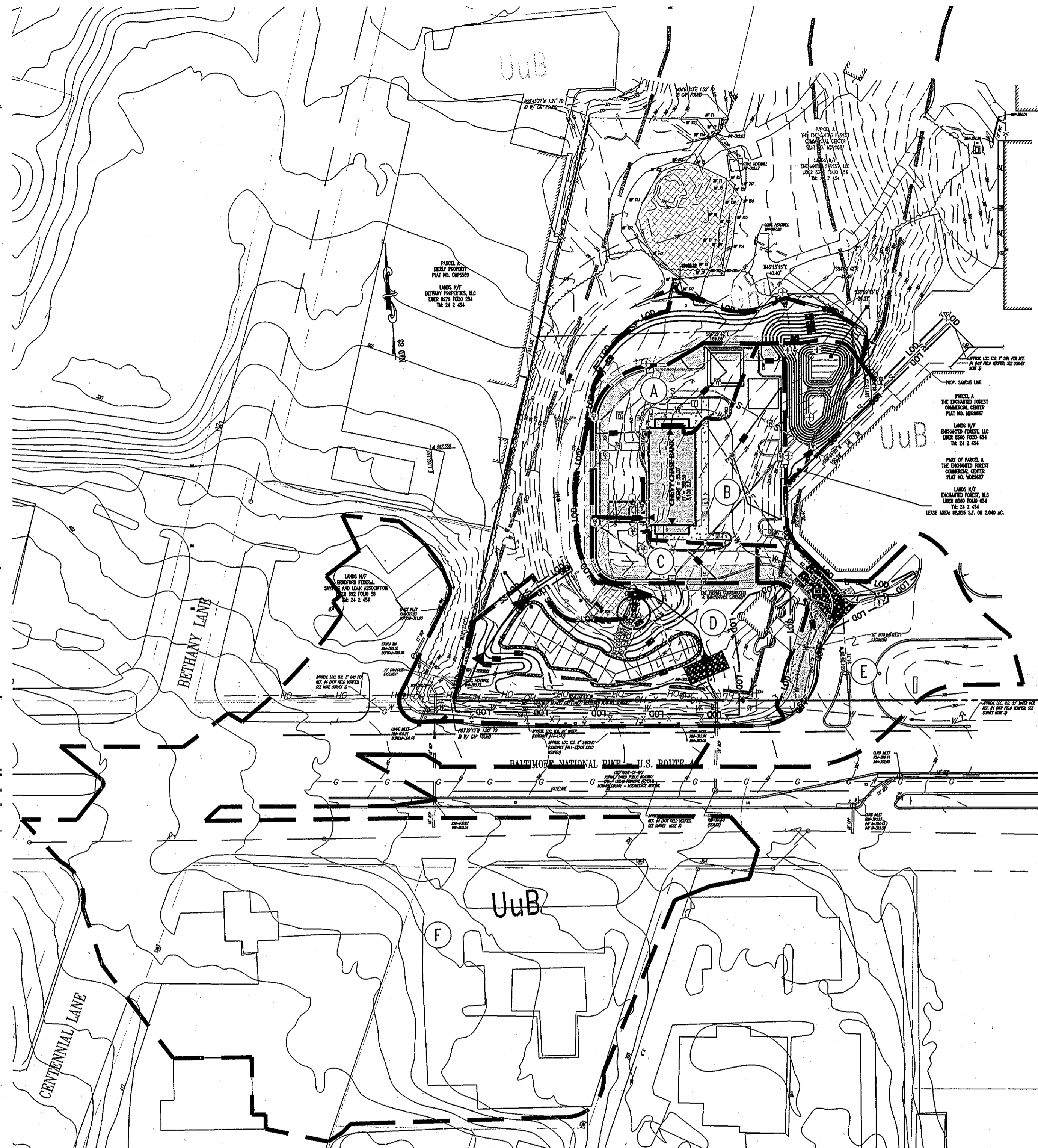
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL NO.
THE ENCHANTED FOREST COMMERCIAL CENTER		454
PLAT RECORDATION GRID#	ZONING	TAX MAP NO.
2877-32372	2	B-2
WATER CODE	SEWER CODE	ELECT. DISTRICT
H08	5440000	2nd
CENSUS TRACT		
6022		

BOHLER ENGINEERING

901 DULANEY VALLEY ROAD
SUITE 801
TOWSON, MARYLAND 21284
PH: (410) 821-7900
FX: (410) 821-7987
www.bohlerengineering.com

DESIGNED BY: A.G.S.
DRAWN BY: R.F.G.
PROJECT NO.: MD069000.1
DATE: 3/1/13
SCALE: N.T.S.
DRAWING NO. 17 OF 28

GENERAL NOTE: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.



THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY BOARD OF SUPERVISORS.

ENGINEER'S CERTIFICATE
 I, THE ENGINEER, CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL IS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY BOARD OF SUPERVISORS.

Signature of Engineer: *Adam J. Volanth*
 DATE: 3-4-13

DEVELOPER'S CERTIFICATE
 I, THE DEVELOPER, CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD COUNTY BOARD OF SUPERVISORS.

Signature of Developer: *Stuart W. Cox*
 DATE: 3-4-13

PHASE I EROSION AND SEDIMENT CONTROL DRAINAGE AREA
 SCALE: 1"=50'

- (A) IMPERVIOUS AREA = 0 S.F. OR 0.00 AC.
 PERVIOUS AREA = 29,039 S.F. OR 0.67 AC.
 TOTAL AREA = 29,039 S.F. OF 0.67 AC. TO SSP
- (B) IMPERVIOUS AREA = 17,669 S.F. OR 0.41 AC.
 PERVIOUS AREA = 6,953 S.F. OR 0.16 AC.
 TOTAL AREA = 24,622 S.F. OF 0.57 AC. TO CIP
- (C) IMPERVIOUS AREA = 127,369 S.F. OR 2.92 AC.
 PERVIOUS AREA = 22,478 S.F. OF 0.52 AC.
 TOTAL AREA = 149,847 S.F. OF 3.44 AC. TO 24" PSD
- (D) IMPERVIOUS AREA = 0 S.F. OR 0.00 AC.
 PERVIOUS AREA = 54,447 S.F. OF 0.79 AC.
 TOTAL AREA = 54,447 S.F. OF 0.79 AC. TO SEDIMENT TRAP

PHASE II EROSION AND SEDIMENT CONTROL DRAINAGE AREA
 SCALE: 1"=50'

- (A) IMPERVIOUS AREA = 7,937 S.F. OR 0.18 AC.
 PERVIOUS AREA = 1,549 S.F. OR 0.04 AC.
 TOTAL AREA = 9,486 S.F. OR 0.22 AC. TO SIP
- (B) IMPERVIOUS AREA = 8,731 S.F. OR 0.20 AC.
 PERVIOUS AREA = 1,520 S.F. OR 0.04 AC.
 TOTAL AREA = 10,251 S.F. OR 0.24 AC. TO SIP
- (C) IMPERVIOUS AREA = 5,409 S.F. OR 0.12 AC.
 PERVIOUS AREA = 225 S.F. OR 0.01 AC.
 TOTAL AREA = 5,634 S.F. OR 0.13 AC. TO SIP
- (D) IMPERVIOUS AREA = 0 S.F. OR 0.00 AC.
 PERVIOUS AREA = 37,985 S.F. OR 0.87 AC. TO SSF
- (E) IMPERVIOUS AREA = 17,669 S.F. OR 0.41 AC.
 PERVIOUS AREA = 6,953 S.F. OR 0.16 AC.
 TOTAL AREA = 24,622 S.F. OF 0.57 AC. TO CIP
- (F) IMPERVIOUS AREA = 127,369 S.F. OR 2.92 AC.
 PERVIOUS AREA = 22,478 S.F. OF 0.52 AC.
 TOTAL AREA = 149,847 S.F. OF 3.44 AC. TO 24" PSD

ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
PARCEL 454	10070 BALTIMORE NATIONAL PIKE, ELLICOTT CITY HOWARD COUNTY, MD 21042

PERMIT INFORMATION CHART		
SUBDIVISION NAME:	SECTION/AREA	LOT/PARCEL NO.
THE ENCHANTED FOREST COMMERCIAL CENTER		454
PLAT RECORDATION GRID#	ZONING	TAX MAP NO.
23727-23728	B-2	24
ELECT. DISTR	CENSUS TRACT	SEWER CODE
2nd	6022	5440000
WATER CODE	H08	

MISS UTILITY

BEFORE YOU DIG CALL
811 IN MD
 or 1-800-257-7777

PROTECT YOURSELF. GIVE TWO WEEKS' NOTICE. THE CONTRACTOR TO CALL MISS UTILITY TO MARK ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

PROFESSIONAL CERTIFICATION

I, ADAM J. VOLANTH HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21342, EXPIRATION DATE: 9/14/14.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Adam J. Volanth 4/25/13
 CHIEF-DEVELOPMENT ENGINEERING DIVISION, DATE

Veronica... 5/03/13
 CHIEF-DIVISION OF LAND DEVELOPMENT, DATE

Paul J.... 5/13/13
 DIRECTOR, DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.

Howard County Health Department DATE

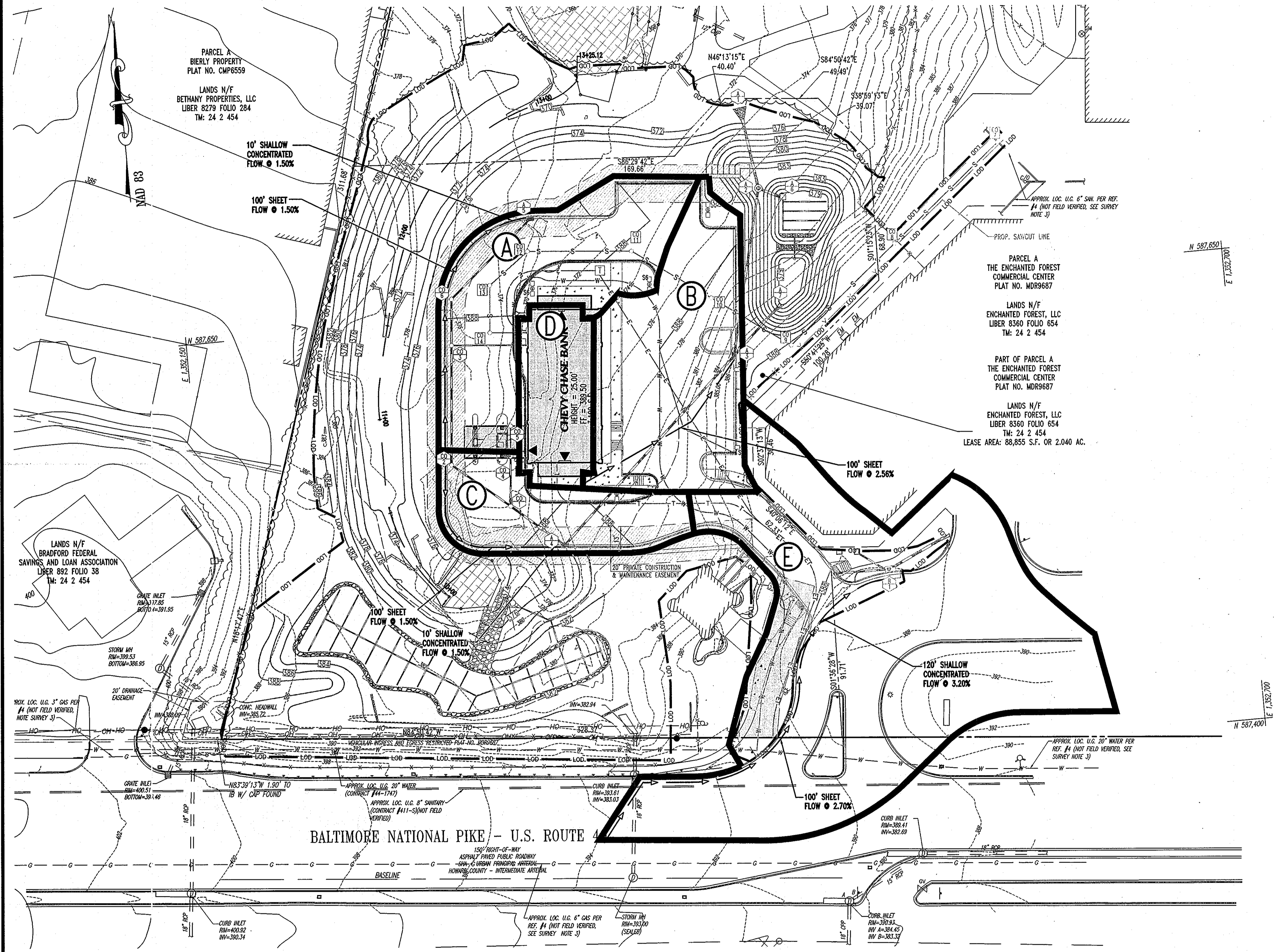
NO.	DATE	REVISION DESCRIPTION
OWNERS:	ENCHANTED FOREST LLC 3333 NEW HYDE PARK ROAD NEW HYDE PARK, NY 11042 C/O GEOFF GLAZIER PHONE: (410) 824-2000	DEVELOPER: HOWARD REALTY CORPORATION 1954 GREENSPRING DRIVE, SUITE 330 TIMONUM, MD 21093 C/O GREG BREED PHONE: (410) 824-2000
PROJECT:	CHEVY CHASE BANK 10070 BALTIMORE NATIONAL PIKE ELLICOTT CITY, MARYLAND	
AREA:	2.04 AC. TAX MAP 24 GRID 2 ZONED B-2 PARCEL 454, L. 8360, F. 654 2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND	
TITLE:	EROSION AND SEDIMENT CONTROL DRAINAGE AREAS	

BOHLER ENGINEERING

901 DULANEY VALLEY ROAD
 SUITE 801
 TOWSON, MARYLAND 21204
 PH: (410) 821-7900
 FX: (410) 821-7987
 www.bohlerengineering.com

DESIGNED BY: A.G.S.
 DRAWN BY: R.F.G.
 PROJECT NO.: MD069000.1
 DATE: 3/1/13
 SCALE: N.T.S.
 DRAWING NO. 18 OF 28

ADAM J. VOLANTH
 PROFESSIONAL ENGINEER NO. 21342



PROPOSED STORMDRAIN DRAINAGE AREAS

- A** IMPERVIOUS AREA = 7,937 S.F. OR 0.18 AC.
PERVIOUS AREA = 1,549 S.F. OR 0.04 AC.
TOTAL AREA = 9,486 S.F. OR 0.22 AC.
C' = 73
- B** IMPERVIOUS AREA = 8,731 S.F. OR 0.20 AC.
PERVIOUS AREA = 1,520 S.F. OR 0.04 AC.
TOTAL AREA = 10,251 S.F. OR 0.24 AC.
C' = 74
- C** IMPERVIOUS AREA = 5,409 S.F. OR 0.12 AC.
PERVIOUS AREA = 225 S.F. OR 0.01 AC.
TOTAL AREA = 5,634 S.F. OR 0.13 AC.
C' = 81
- D** IMPERVIOUS AREA = 3,640 S.F. OR 0.08 AC.
PERVIOUS AREA = 0 S.F. OR 0.00 AC.
TOTAL AREA = 3,640 S.F. OR 0.08 AC.
C' = 86
- E** IMPERVIOUS AREA = 17,669 S.F. OR 0.41 AC.
PERVIOUS AREA = 6,953 S.F. OR 0.16 AC.
TOTAL AREA = 24,622 S.F. OR 0.57 AC.
C' = 66

NOTE:
THE LOD SHOWN ON THIS PLAN DOES NOT REPRESENT THE LIMITS OF DISTURBANCE FOR SEDIMENT CONTROL. SEE SHEETS 13 & 14 FOR APPROVED SEDIMENT CONTROL AND PHASING.



PROFESSIONAL CERTIFICATION
I, ADAM J. VOLANTH HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21342, EXPIRATION DATE: 9/14/14.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Adam J. Volanth 4/15/13
CHIEF-DEVELOPMENT ENGINEERING DIVISION
Neil Sheppard 5/6/13
CHIEF-DIVISION OF LAND DEVELOPMENT
Paul J. Wynn 5/13/13
DIRECTOR
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
~~HEALTH OFFICER~~
HOWARD COUNTY HEALTH DEPARTMENT

NO.	DATE	REVISION DESCRIPTION
OWNERS:	ENCHANTED FOREST LLC 3333 NEW HYDE PARK ROAD NEW HYDE PARK, NY 11042 C/O GEOFF BLAZER PHONE: (410) 684-2000	DEVELOPER: GUYO REALTY CORPORATION 1954 GREENSPRING DRIVE, SUITE 330 TIMONUM, MD 21093 C/O GEOFF BLAZER PHONE: (410) 684-2000
PROJECT:	CHEVY CHASE BANK PARCEL 454, THE ENCHANTED FOREST COMMERCIAL CENTER 10070 BALTIMORE NATIONAL PIKE ELLCOTT CITY, HOWARD COUNTY, MARYLAND	
AREA:	2.04 AC. TAX MAP 24- GRID 2 ZONED B-2 PARCEL 454, L. 8360, F. 654 2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND	
TITLE:	STORMDRAIN DRAINAGE AREA MAP	

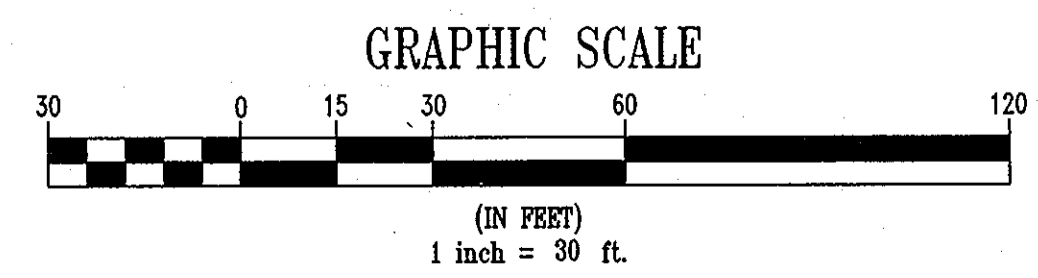


901 DULANEY VALLEY ROAD
SUITE 801
TOWSON, MARYLAND 21284
PH: (410) 821-7900
FX: (410) 821-7987
www.bohlerengineering.com

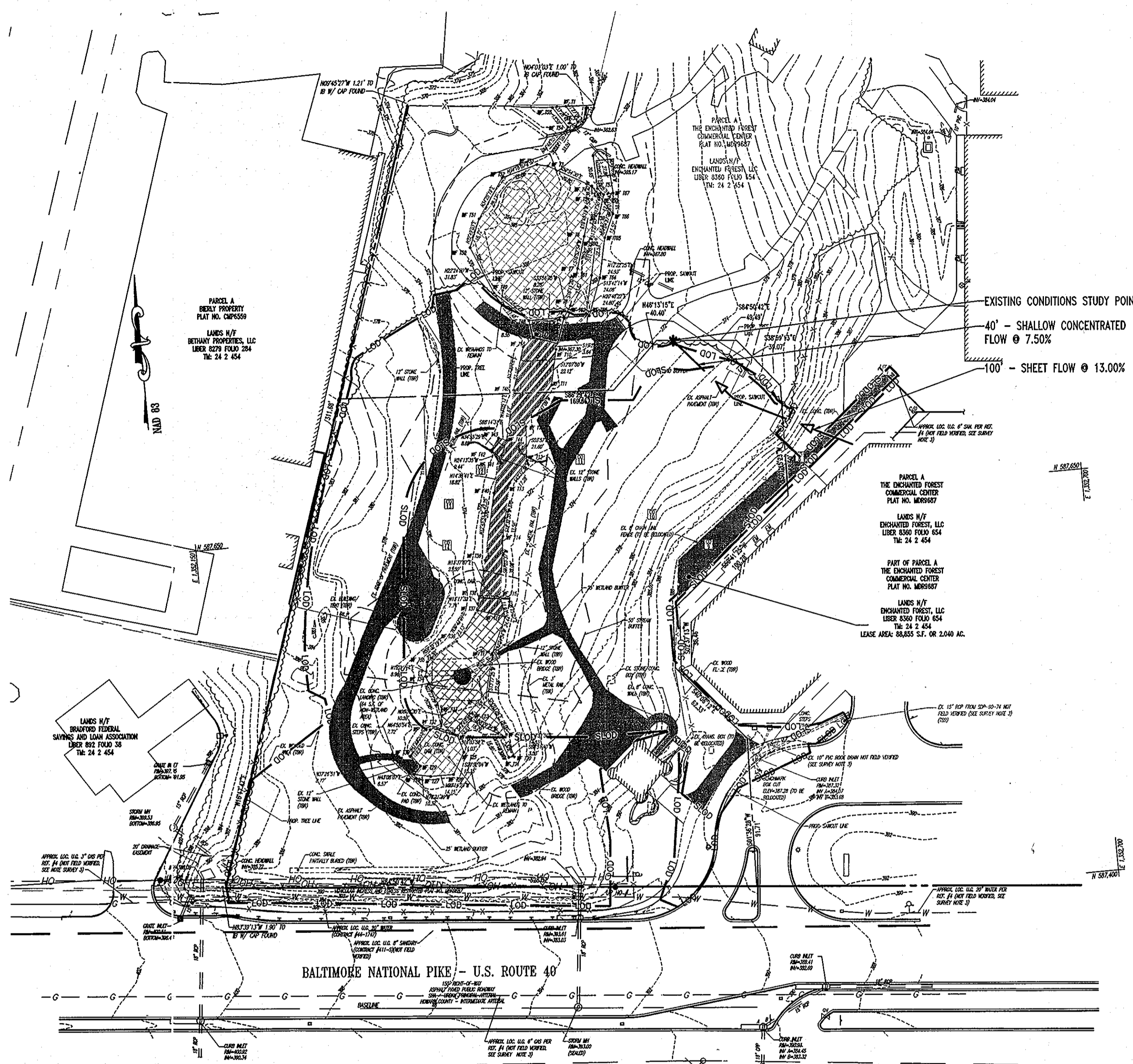
ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
PARCEL 454	10070 BALTIMORE NATIONAL PIKE, ELLCOTT CITY HOWARD COUNTY, MD 21042

PERMIT INFORMATION CHART			
SUBDIVISION NAME:	SECTION/AREA	LOT/PARCEL NO.	
THE ENCHANTED FOREST COMMERCIAL CENTER		454	
PLAT RECORDATION GRID#	ZONING	TAX MAP NO.	ELECT. DIST
22777-22228	B-2	24	2nd
WATER CODE	SEWER CODE	CENSUS TRACT	
HOB	5440000	8022	

DESIGNED BY: A.G.S.
DRAWN BY: R.F.G.
PROJECT NO.: MD069000.1
DATE: 3/1/13
SCALE: N.T.S.
DRAWING NO. 19 OF 28
ADAM J. VOLANTH
PROFESSIONAL ENGINEER NO. 21342



GENERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

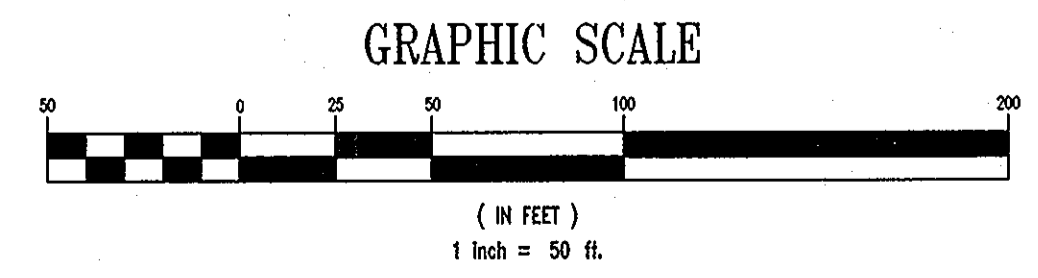


PRE-DEVELOPMENT STORMWATER MANAGEMENT DRAINAGE AREA
SCALE: 1"=50'

OVERALL LOD
IMPERVIOUS AREA = 12,485 S.F. OR 0.29 AC.
PERVIOUS AREA = 84,103 S.F. OR 1.93 AC.
TOTAL AREA = 96,588 S.F. OR 2.22 AC.
TC = 0.17
WEIGHTED 'C' = 66

SITE LIMITED LOD
IMPERVIOUS AREA = 9,485 S.F. OR 0.22 AC.
PERVIOUS AREA = 61,660 S.F. OR 1.41 AC.
TOTAL AREA = 71,145 S.F. OR 1.63 AC.
TC = 0.17
WEIGHTED 'C' = 61

DRAINAGE AREA TO STREAM (OUTSIDE OF LOD)
IMPERVIOUS AREA = 127,369 S.F. OR 2.92 AC.
PERVIOUS AREA = 22,478 S.F. OR 0.52 AC.
TOTAL AREA = 149,847 S.F. OR 3.44 AC.

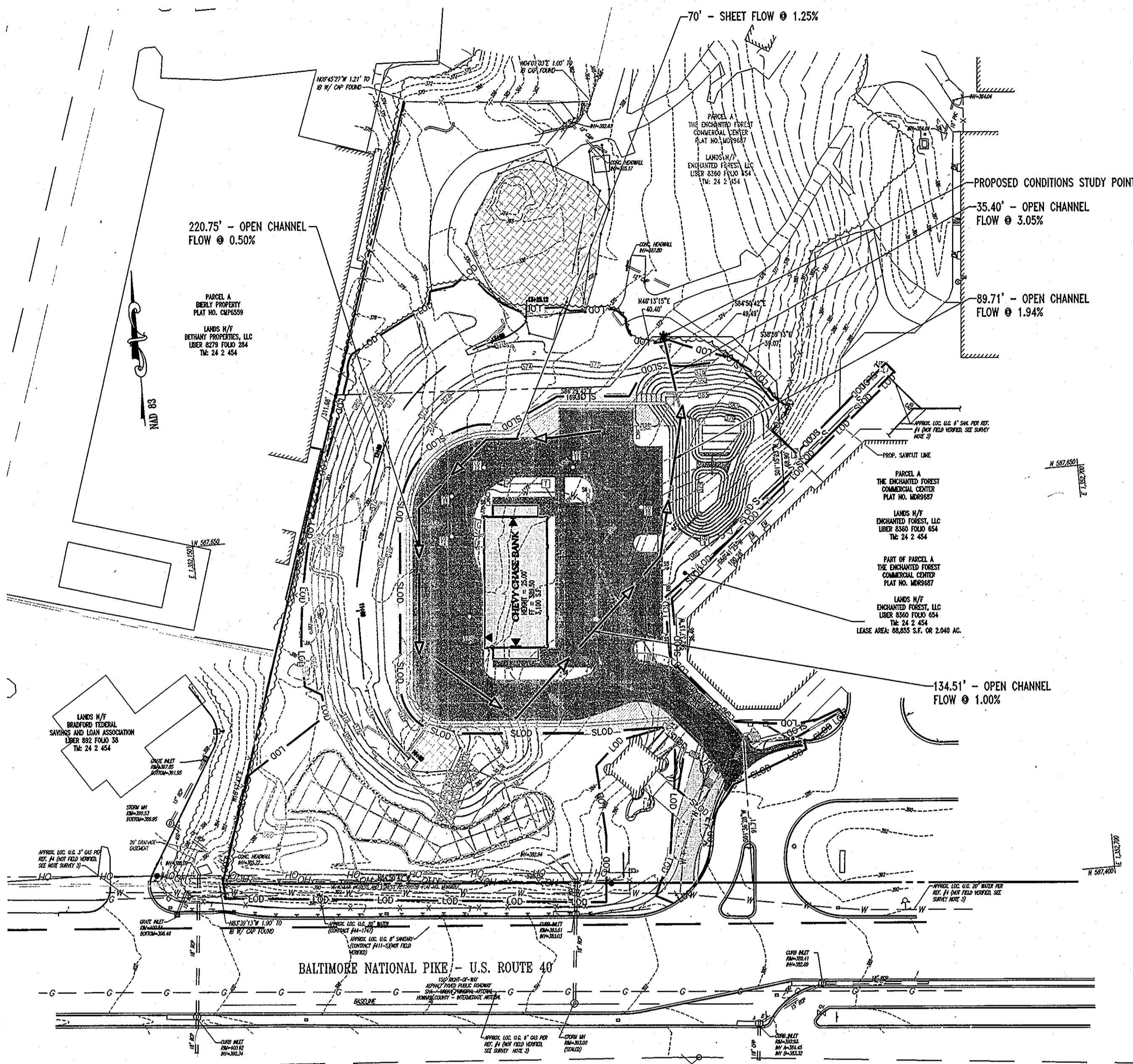


LEGEND:

- IMPERVIOUS AREA
- LOD - OVERALL LIMIT OF DISTURBANCE
- SLOD - SITE LIMITED LIMIT OF DISTURBANCE

NOTE
THE PROPOSED SWM FACILITY HAS BEEN DESIGNED PER THE SITE LIMITED LIMIT OF DISTURBANCE. ALL DISTURBANCE OUTSIDE OF THE SITE LIMITED LIMIT OF DISTURBANCE WILL REMAIN PERVIOUS AND BE DIVERTED AROUND THE PROPOSED BANK SITE VIA THE RELOCATED STREAM.

NOTE:
THE LOD SHOWN ON THIS PLAN DOES NOT REPRESENT THE LIMITS OF DISTURBANCE FOR SEDIMENT CONTROL. SEE SHEETS 13 & 14 FOR APPROVED SEDIMENT CONTROL AND PHASING.



POST-DEVELOPMENT STORMWATER MANAGEMENT DRAINAGE AREA
SCALE: 1"=50'

OVERALL LOD
IMPERVIOUS AREA = 28,862 S.F. OR 0.66 AC.
PERVIOUS AREA = 67,726 S.F. OR 1.56 AC.
TOTAL AREA = 96,588 S.F. OR 2.22 AC.
TC = 0.10
WEIGHTED 'C' = 73

SITE LIMITED LOD
IMPERVIOUS AREA = 28,862 S.F. OR 0.66 AC.
PERVIOUS AREA = 42,283 S.F. OR 0.97 AC.
TOTAL AREA = 71,145 S.F. OR 1.63 AC.
TC = 0.10
WEIGHTED 'C' = 76

DRAINAGE AREA TO STREAM (OUTSIDE OF LOD)
IMPERVIOUS AREA = 127,369 S.F. OR 2.92 AC.
PERVIOUS AREA = 22,478 S.F. OR 0.52 AC.
TOTAL AREA = 149,847 S.F. OR 3.44 AC.

ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
PARCEL 454	10070 BALTIMORE NATIONAL PIKE, ELLICOTT CITY HOWARD COUNTY, MD 21042

PERMIT INFORMATION CHART		
SUBDIVISION NAME:	SECTION/AREA	LOT/PARCEL NO.
THE ENCHANTED FOREST COMMERCIAL CENTER	24	454
PLAT RECORDATION/GRID#	ZONING	TAX MAP NO.
22377-23772	B-2	24
WATER CODE	ELECT. DISTR	CENSUS TRACT
HOB	2nd	8022
	SEWER CODE	
	5440000	

MISS UTILITY
BEFORE YOU DIG CALL
811 IN MD
PROTECT YOURSELF. GIVE TWO WORKING DAYS NOTICE.
THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

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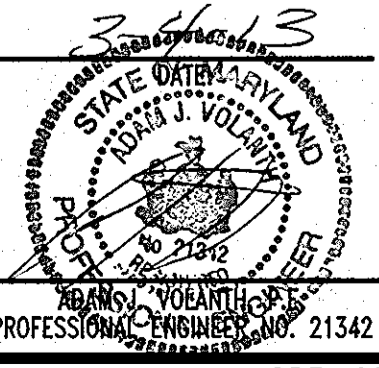
APPROVED: DEPARTMENT OF PLANNING AND ZONING
Adam J. Volanth 4/25/13
CHIEF-DEVELOPMENT ENGINEERING DIVISION P. DATE
Keith J. Quirk 5/03/13
CHIEF-DIVISION OF LAND DEVELOPMENT
David M. J. ... 5/6/13
DIRECTOR DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
...
COUNTY HEALTH OFFICER DATE
HOWARD COUNTY HEALTH DEPARTMENT

NO.	DATE	REVISION DESCRIPTION
OWNERS:	ENCHANTED FOREST LLC 3533 NEW HYDE PARK ROAD NEW HYDE PARK, NY 11042 C/O GEOFF GLAZER PHONE: (410) 684-2000	DEVELOPER: REALTY CORPORATION 1954 GREENSPRING DRIVE, SUITE 330 TIMONUM, MD 21085 C/O GEOFF GLAZER PHONE: (410) 684-2000
PROJECT:	CHEVY CHASE BANK PARCEL 454, THE ENCHANTED FOREST COMMERCIAL CENTER 10070 BALTIMORE NATIONAL PIKE ELLICOTT CITY, HOWARD COUNTY, MARYLAND	
AREA:	2.04 AC. TAX MAP 24 GRID 2 ZONED B-2 PARCEL 454, L. 8360, F. 654 2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND	
TITLE:	STORMWATER MANAGEMENT DRAINAGE AREAS	

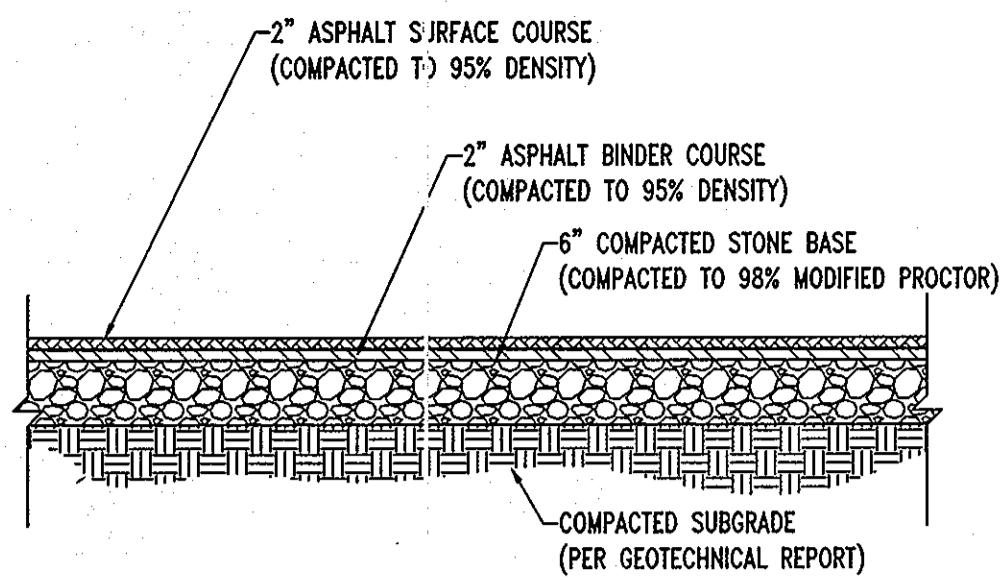
BOHLER ENGINEERING

901 DULANEY VALLEY ROAD
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PH: (410) 821-7900
FX: (410) 821-7987
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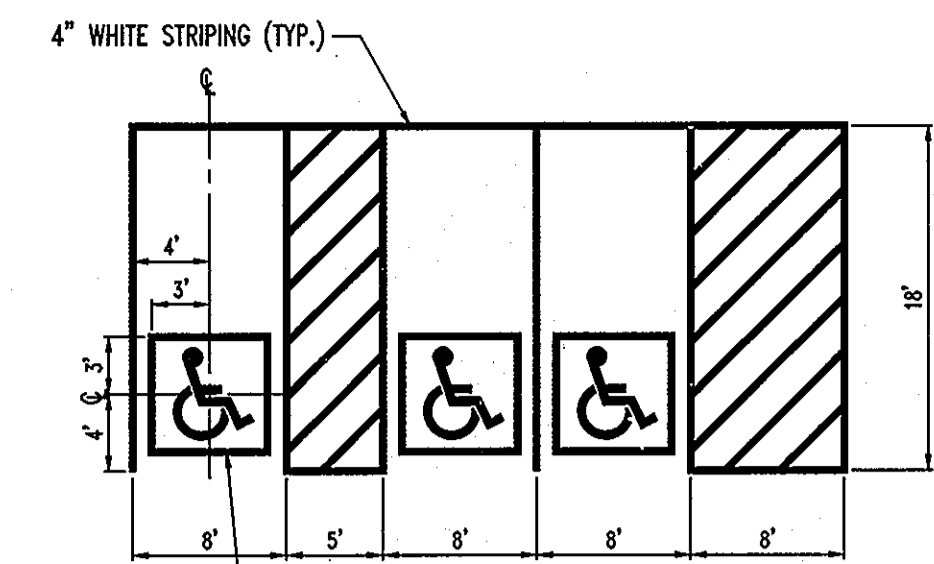
DESIGNED BY: A.G.S.
DRAWN BY: R.F.G.
PROJECT NO.: MD069000.1
DATE: 3/1/13
SCALE: N.T.S.
DRAWING NO. 20 OF 28

GENERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.



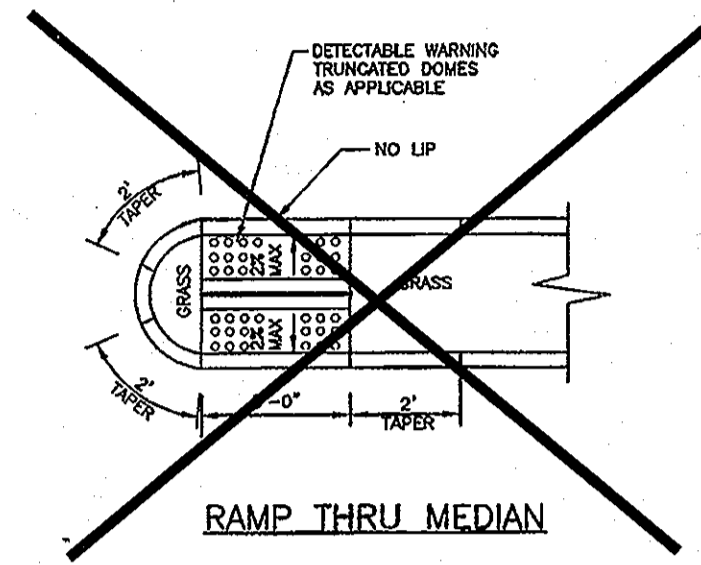
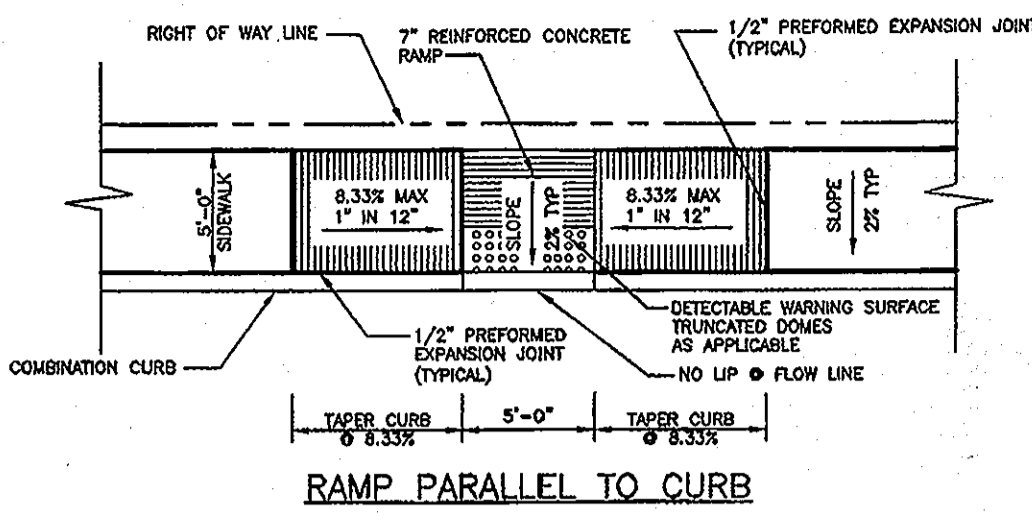
NOTE:
 1. SECTION SHOWN IS BASED ON AN ANTICIPATED CBR OF 6.0 PER A GEOTECHNICAL REPORT PREPARED BY TRIAD ENGINEERING, INC. ENTITLED "REPORT OF GEOTECHNICAL INVESTIGATION, PLANNED CHEVY CHASE, 10040 BALTIMORE NATIONAL PIKE, HOWARD COUNTY, MARYLAND, TRIAD PROJECT NO. 07-07-0455," DATED OCTOBER 12, 2007. FINAL DESIGN TO BE PROVIDED ONCE FINAL CBR'S ARE AVAILABLE ON COMPACTED SUB-BASE.

STANDARD DUTY ASPHALT PAVEMENT SECTION
 NOT TO SCALE



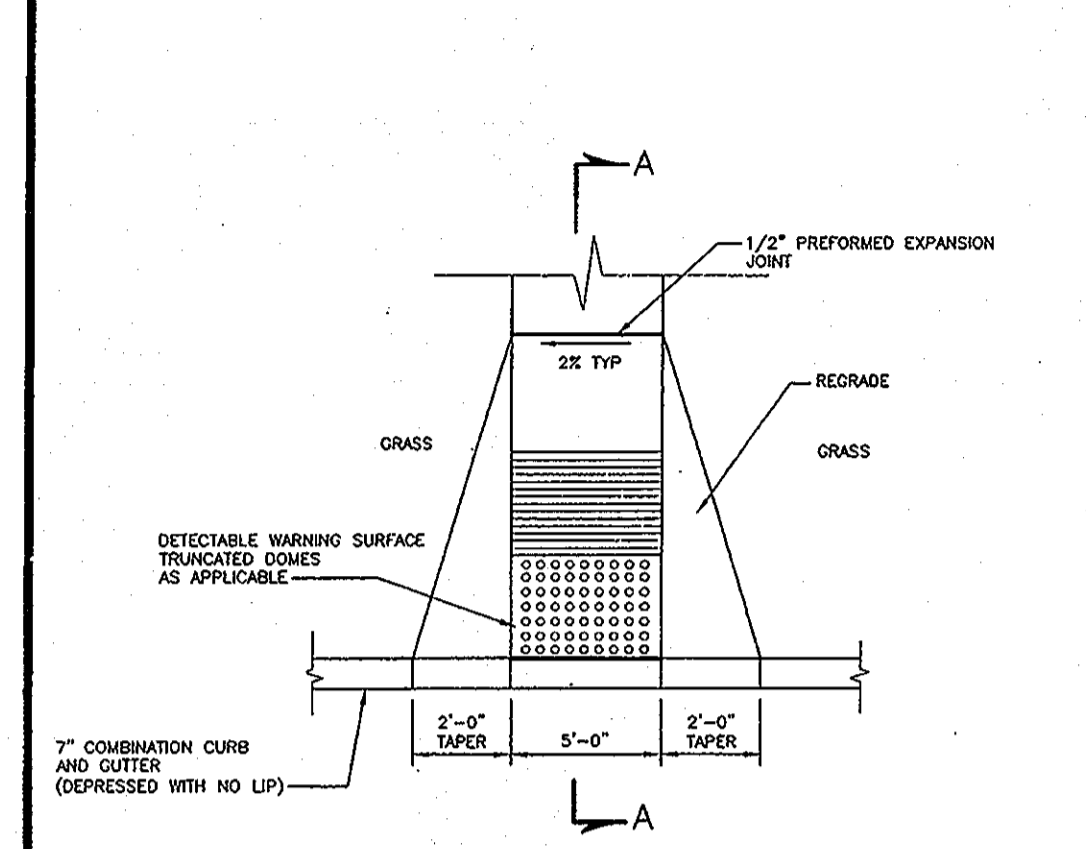
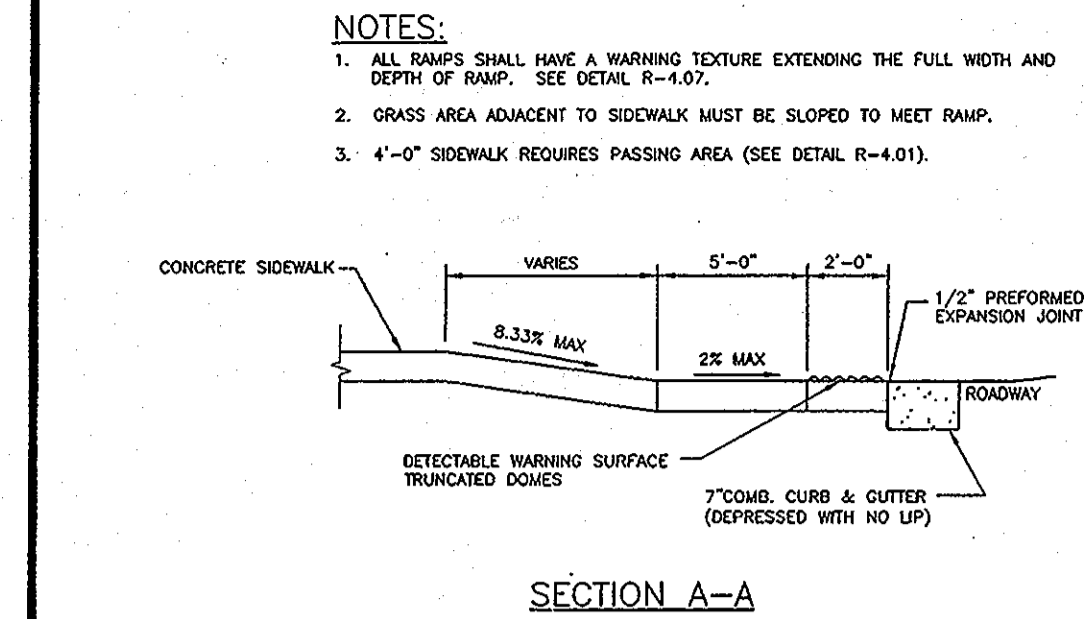
NOTE:
 1. ALL HANDICAP STALL MARKINGS SHALL CONFORM TO CURRENT ADA GUIDELINES AND LOCAL REGULATIONS.
 2. STALL DEPTH SHALL BE BASED ON THE LOCAL JURISDICTIONAL REQUIREMENTS FOR PARKING STALL DIMENSIONS.
 3. SEE HANDICAP SYMBOL DETAIL FOR PROPORTIONS AND DISPLAY CONDITIONS.

STANDARD HANDICAP STALL MARKING DETAIL
 NOT TO SCALE

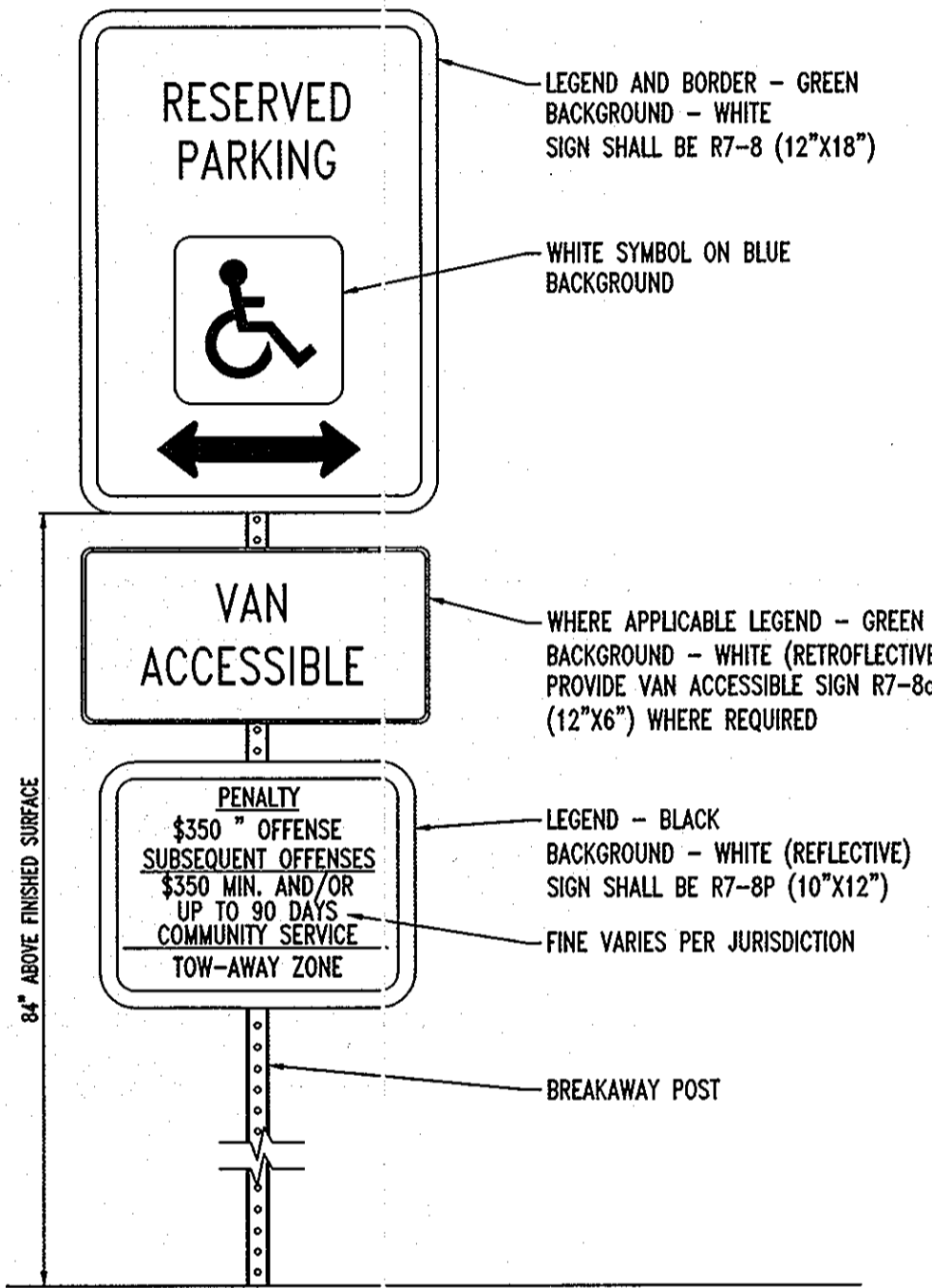


NOTES:
 1. ALL RAMP SHALL HAVE DETECTABLE WARNING SURFACES. SEE DETAIL R-4.07.
 2. GRASS AREA ADJACENT TO SIDEWALK MUST BE SLOPED TO MEET RAMP.

HOWARD COUNTY, MARYLAND DEPARTMENT OF PUBLIC WORKS	SIDEWALK RAMP Layout & Grading Parallel to Curb & Thru Median	Detail R-4.06
APPROVED: [Signature] CHIEF, Bureau of Engineering		

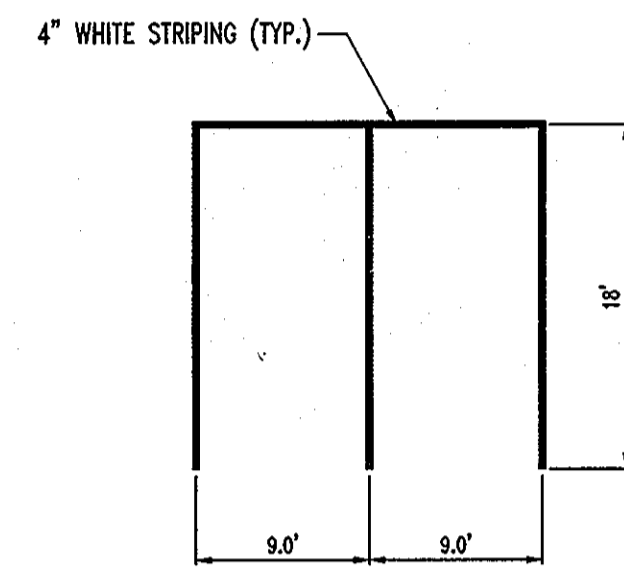


HOWARD COUNTY, MARYLAND DEPARTMENT OF PUBLIC WORKS	SIDEWALK RAMP Layout & Grading Perpendicular to Curb	Detail R-4.05
APPROVED: [Signature] CHIEF, Bureau of Engineering		



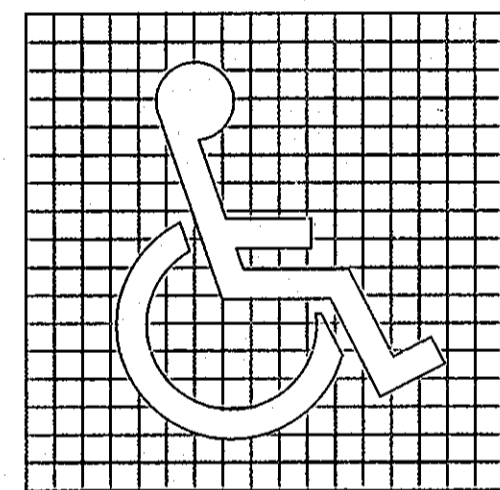
NOTE:
 1. SIGNS SHALL MEET THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 2. SIGNS ATTACHED WITH ACORN NUT TYPE FASTENERS.

HANDICAP PARKING SIGN DETAIL
 NOT TO SCALE



NOTE:
 1. SEE SITE PLAN FOR PARKING STALL DIMENSIONS.

PARKING STALL MARKING DETAIL
 NOT TO SCALE



PROPORTIONS OF INTERNATIONAL SYMBOL OF ACCESSIBILITY
 DISPLAY CONDITIONS OF INTERNATIONAL SYMBOL OF ACCESSIBILITY

HANDICAP SYMBOL DETAIL
 NOT TO SCALE

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811 IN MD
 or 1-800-257-7777
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APPROVED: DEPARTMENT OF PLANNING AND ZONING
 [Signature] 4/25/13
 CHIEF-DEVELOPMENT ENGINEERING DIVISION, DATE
 [Signature] 5/6/13
 CHIEF-DIVISION OF LAND DEVELOPMENT, DATE
 [Signature] 5/3/10
 DIRECTOR, DATE
 APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
 [Signature] DATE
 COUNTY HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT

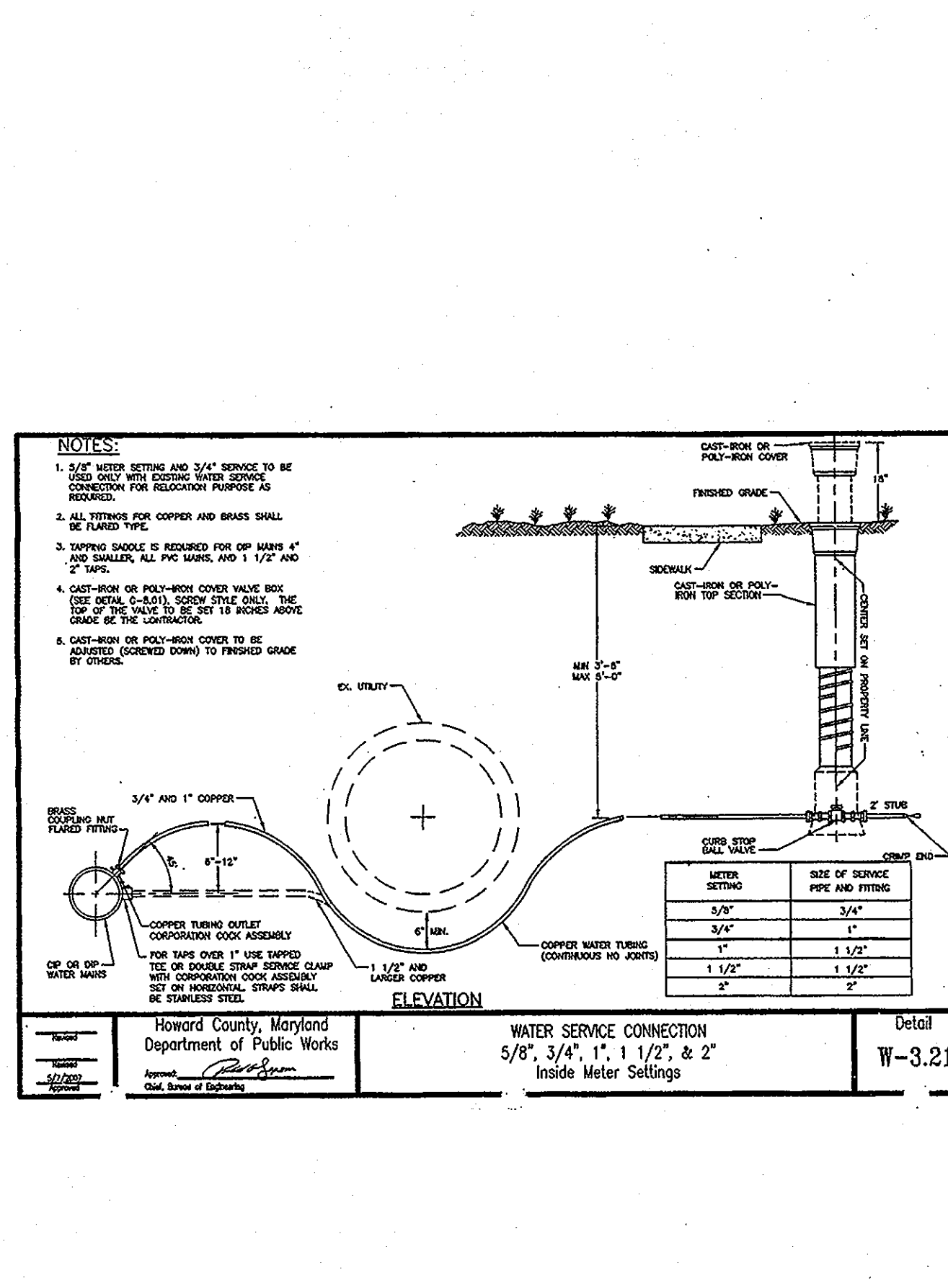
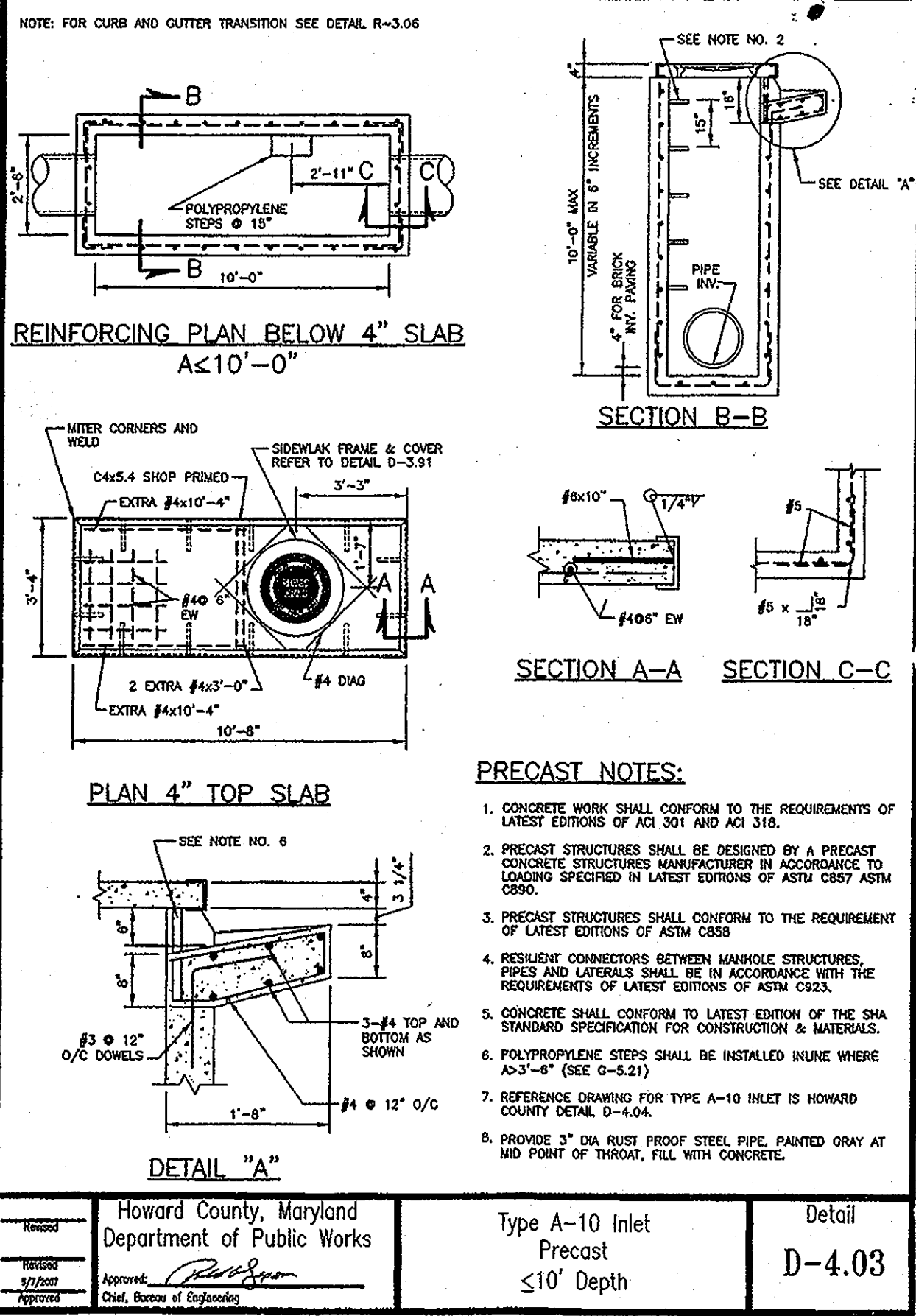
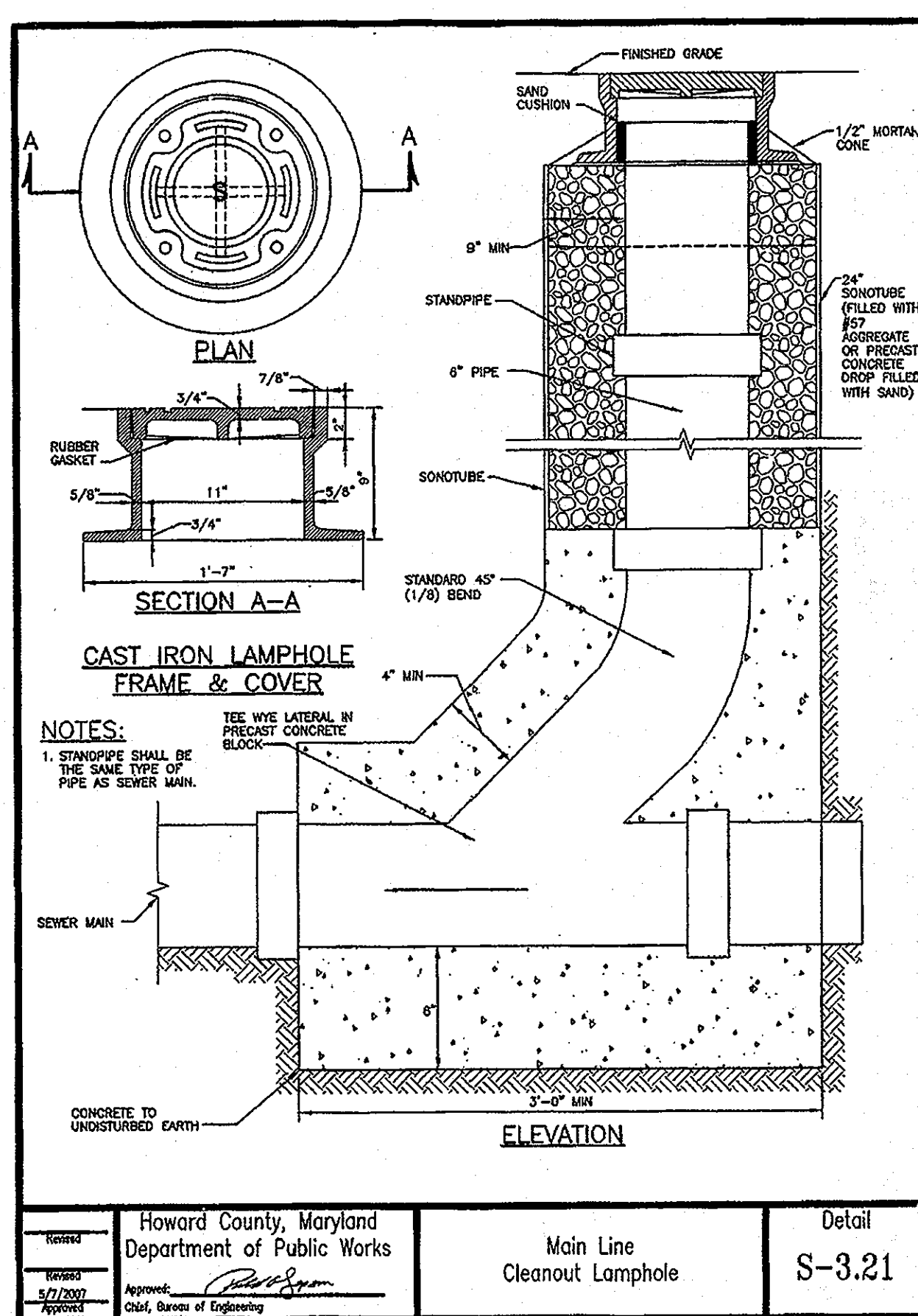
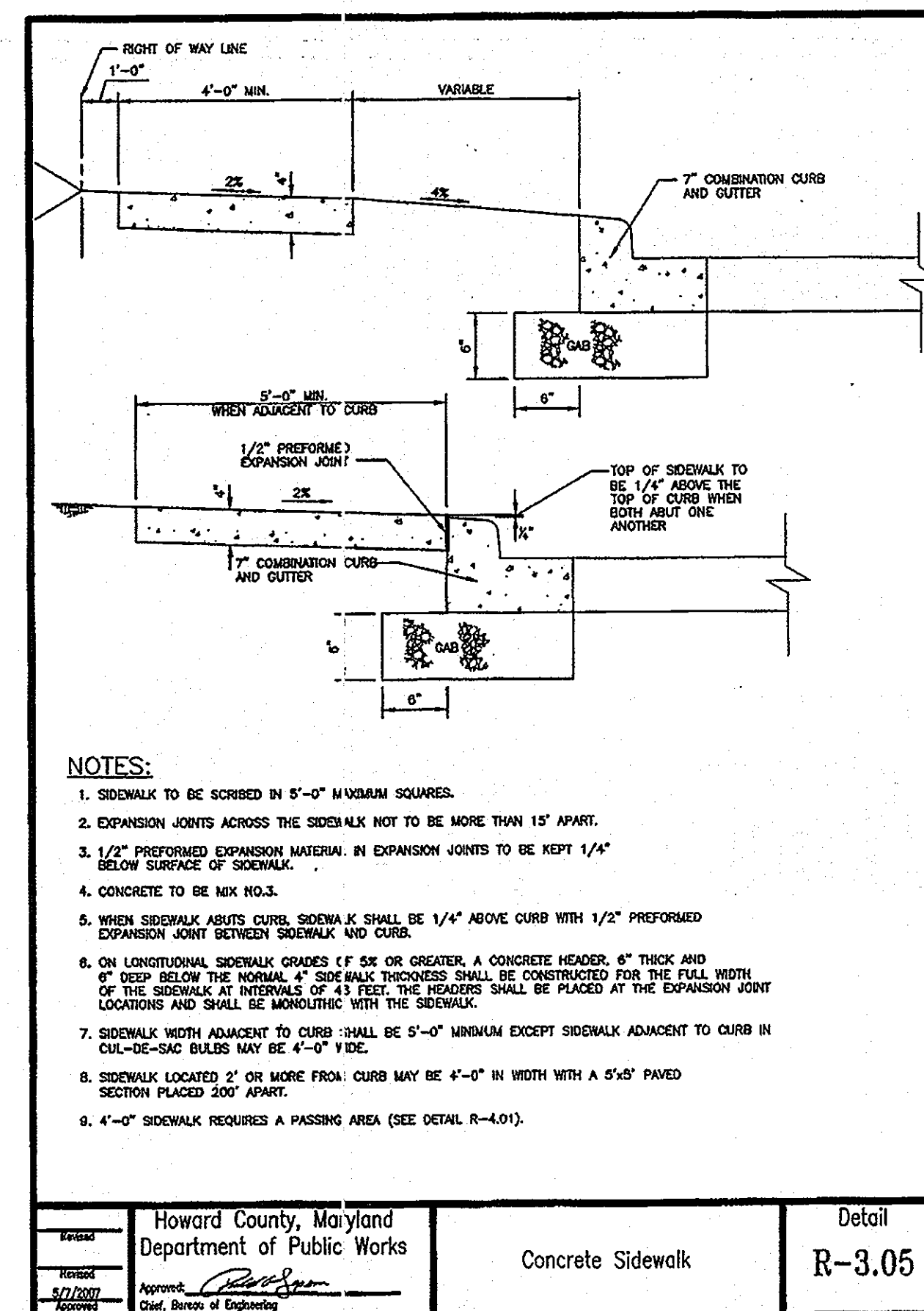
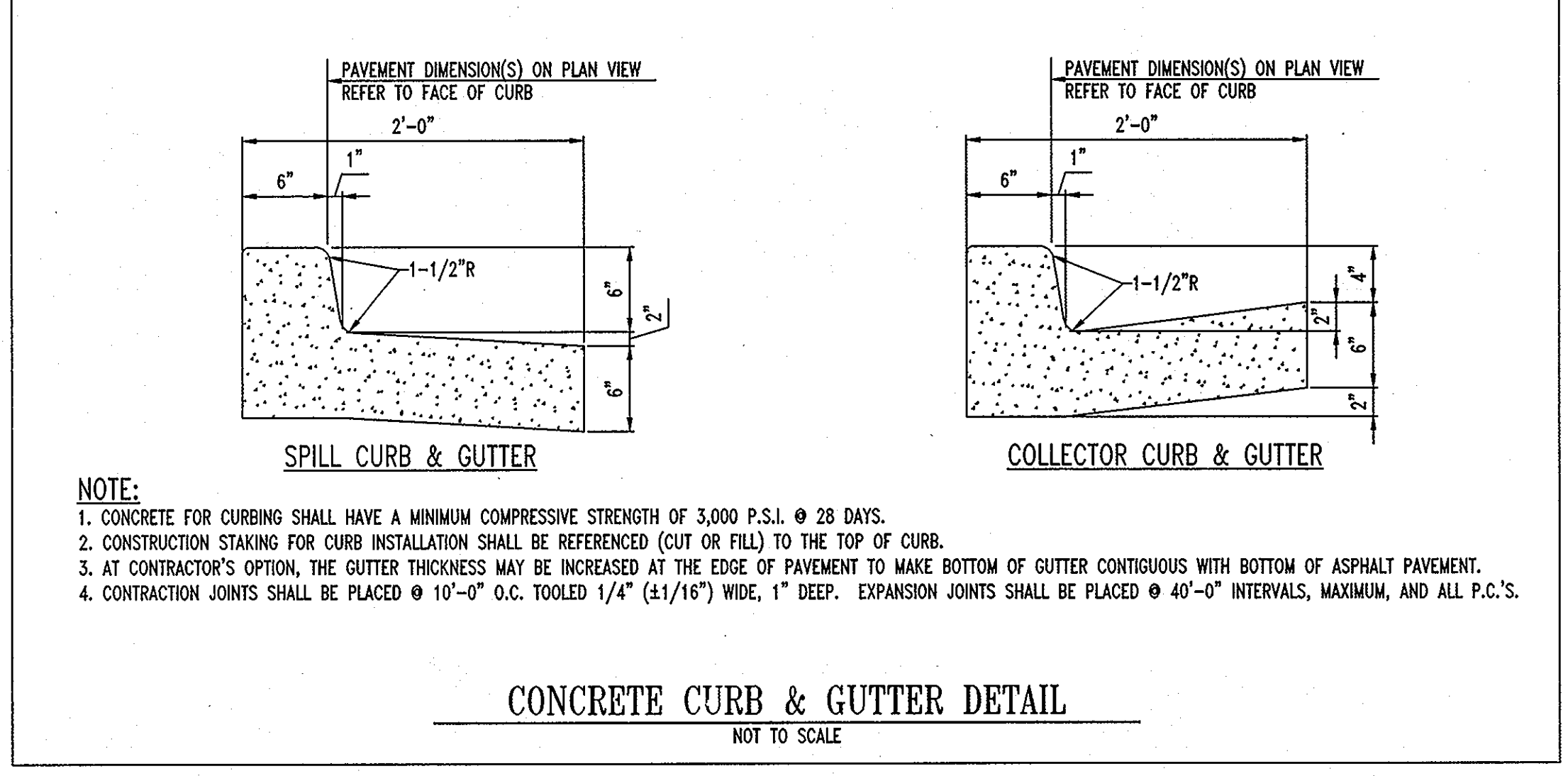
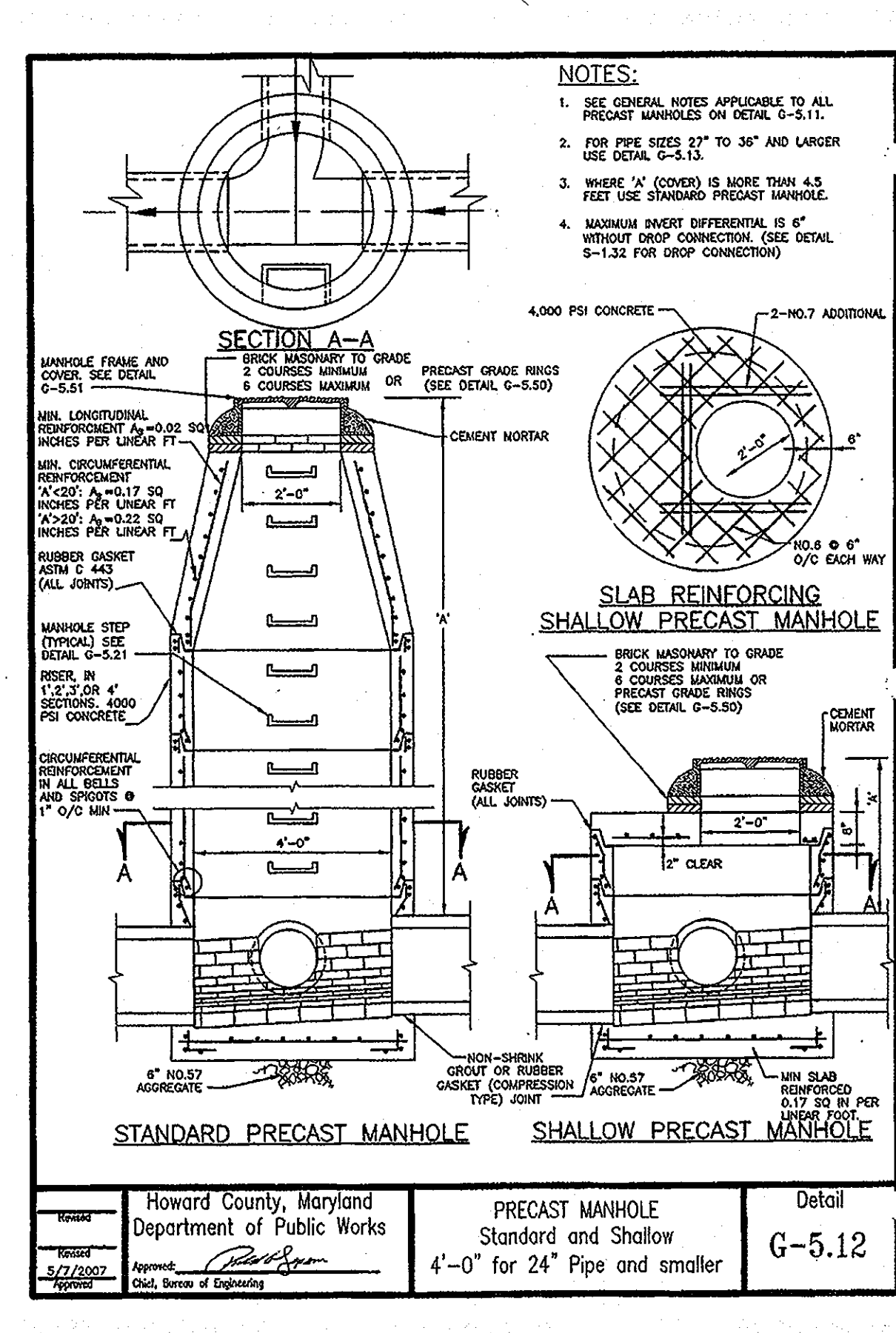
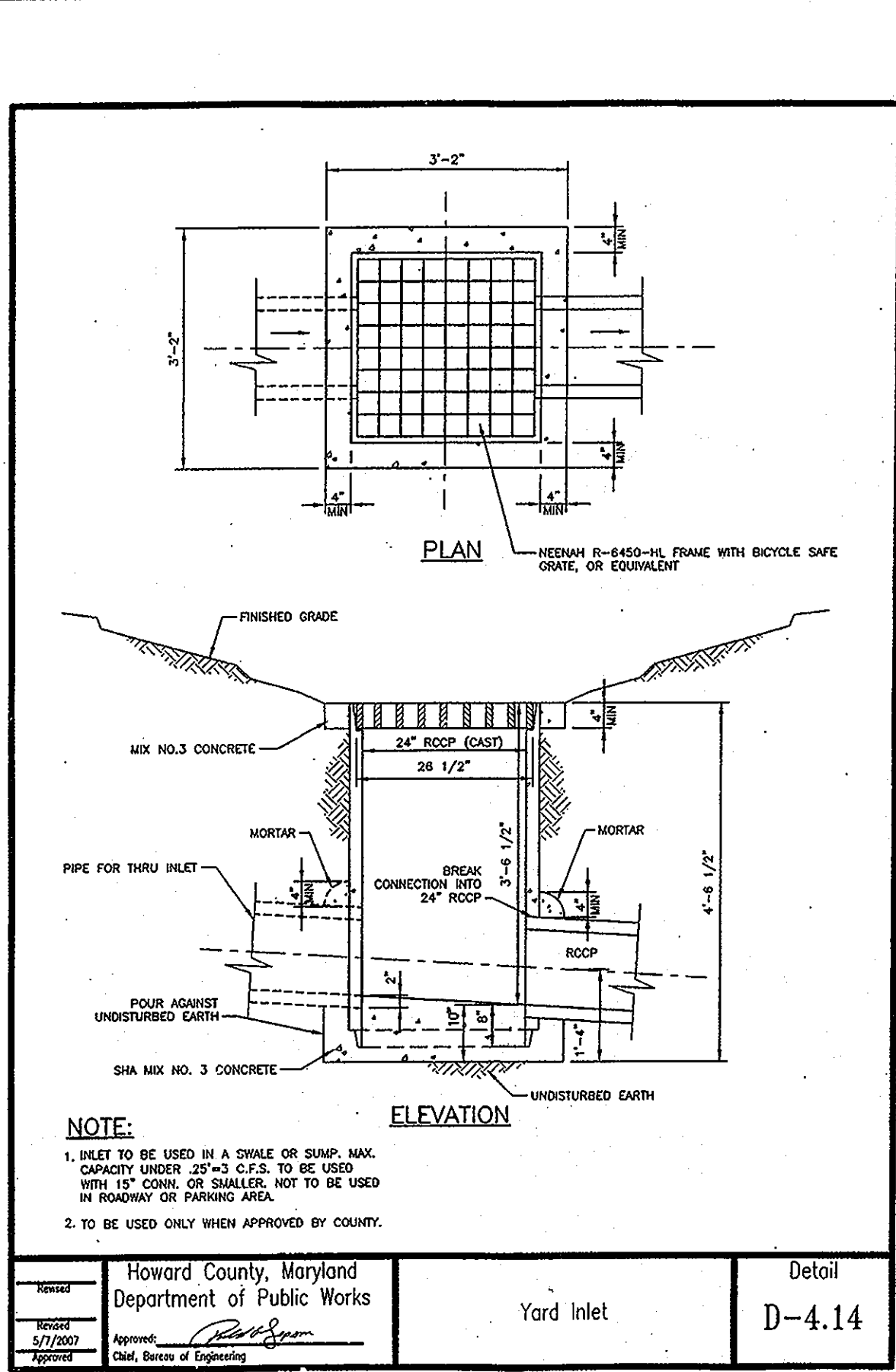
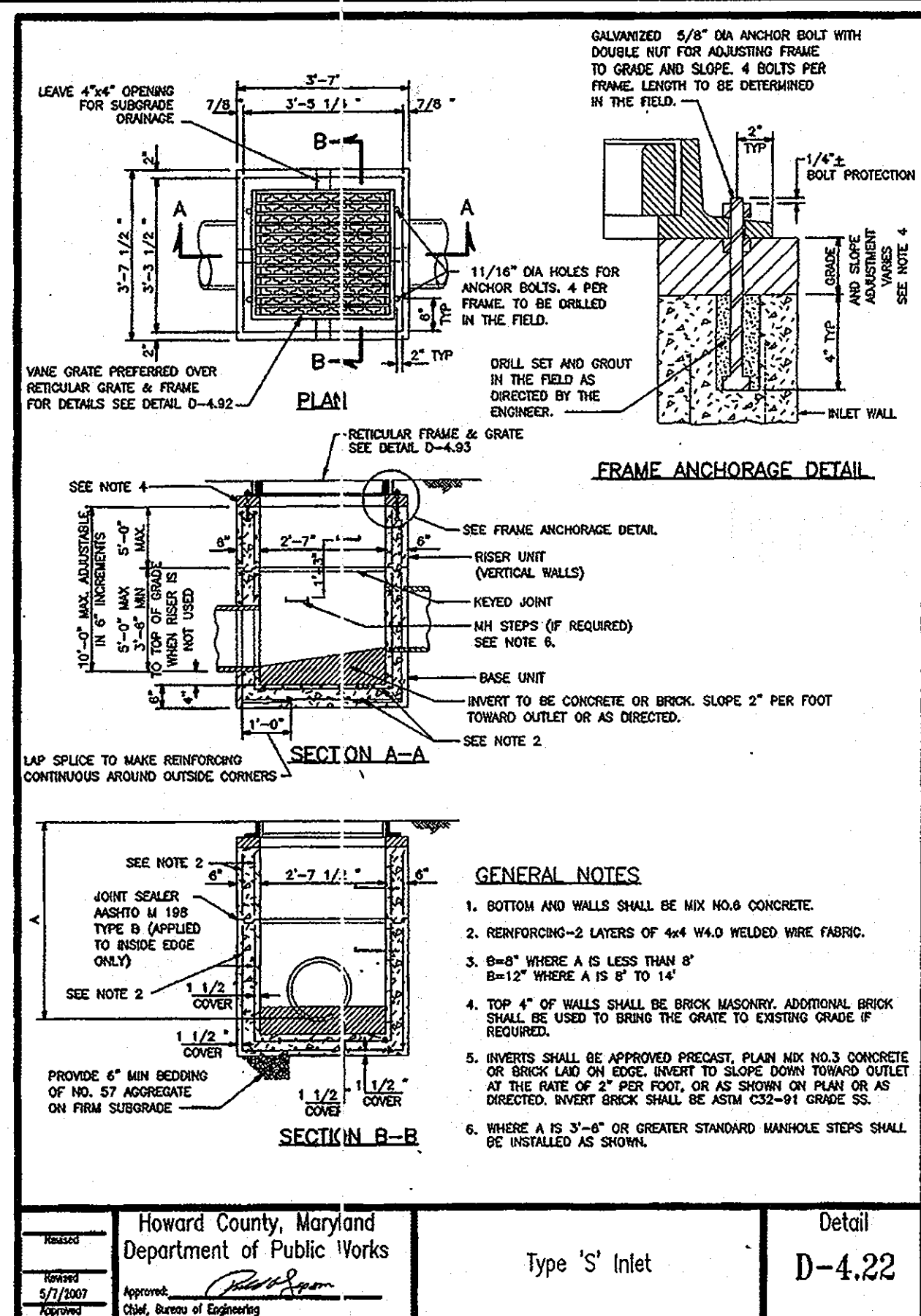
NO.	DATE	REVISION DESCRIPTION
OWNERS:	ENCHANTED FOREST LLC 3333 NEW HYDE PARK ROAD NEW HYDE PARK, NY 11042 C/O GEOFF GLAZER PHONE: (410) 884-2000	DEVELOPER: RWCO REALTY CORPORATION 1954 GREENSPRING DRIVE, SUITE 330 TIMONUM, MD 21093 C/O GREG REED PHONE: (410) 884-2000
PROJECT:	CHEVY CHASE BANK PARCEL 454, THE ENCHANTED FOREST COMMERCIAL CENTER 10070 BALTIMORE NATIONAL PIKE ELLCOTT CITY, HOWARD COUNTY, MARYLAND	
AREA 2.04 AC.	TAX MAP 24 GRID 2 ZONED B-2 PARCEL 454, L. 8360, F. 654 2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND	
TITLE		



901 DULANEY VALLEY ROAD
 SUITE 801
 TOWSON, MARYLAND 21204
 PH: (410) 821-7900
 FX: (410) 821-7987
 www.bohlerengineering.com

DESIGNED BY: A.G.S.
 DRAWN BY: R.F.G.
 PROJECT NO.: MD069000.1
 DATE: 3/1/13
 SCALE: N.T.S.
 DRAWING NO.: 21 OF 28

ADDRESS CHART		
LOT/PARCEL #	STREET ADDRESS	
PARCEL 454	10070 BALTIMORE NATIONAL PIKE, ELLCOTT CITY HOWARD COUNTY, MD 21042	
PERMIT INFORMATION CHART		
SUBDIVISION NAME:	SECTION/AREA	LOT/PARCEL NO.
THE ENCHANTED FOREST COMMERCIAL CENTER		454
PLAT RECORDATION GRID#	ZONING	TAX MAP NO.
22777-22779	B-2	24
WATER CODE	ELECT. DISTR	CENSUS TRACT
HOB	2nd	6022
	SEWER CODE	
	5440000	



MISS UTILITY

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PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND,
LICENSE NO. 21342, EXPIRATION DATE: 9/14/14.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Adam J. Volanth 4/25/13
CHIEF-DEVELOPMENT ENGINEERING DIVISION DATE

Adam J. Volanth 5/31/13
CHIEF-DIVISION OF LAND DEVELOPMENT DATE

Adam J. Volanth 5/31/13
DIRECTOR DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC
SEWERAGE SYSTEMS.

COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT

NO.: DATE REVISION DESCRIPTION

OWNERS: ENCHANTED FOREST LLC
3333 NEW HYDE PARK ROAD
NEW HYDE PARK, NY 11042
C/O C/O GEFF GLAZER
PHONE: (410) 684-2000

DEVELOPER: RAYCO REALTY CORPORATION
1554 GREENSPRING DRIVE, SUITE 330
TIMonium, MD 21093
C/O C/O GEFF GLAZER
PHONE: (410) 684-2000

PROJECT: CHEVY CHASE BANK
PARCEL 454, THE ENCHANTED FOREST COMMERCIAL CENTER
10070 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, HOWARD COUNTY, MARYLAND

AREA 2.04 AC. TAX MAP 24 GRID 2 ZONED B-2
PARCEL 454, L. 8360, F. 654
2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE: SITE DETAILS

BOHLER ENGINEERING

901 DULANEY VALLEY ROAD
SUITE 801
TOWSON, MARYLAND 21204
PH: (410) 821-7900
PH: (410) 821-7987
www.bohlereengineering.com

ADDRESS CHART

LOT/PARCEL #	STREET ADDRESS
PARCEL 454	10070 BALTIMORE NATIONAL PIKE, ELLCOTT CITY HOWARD COUNTY, MD 21042

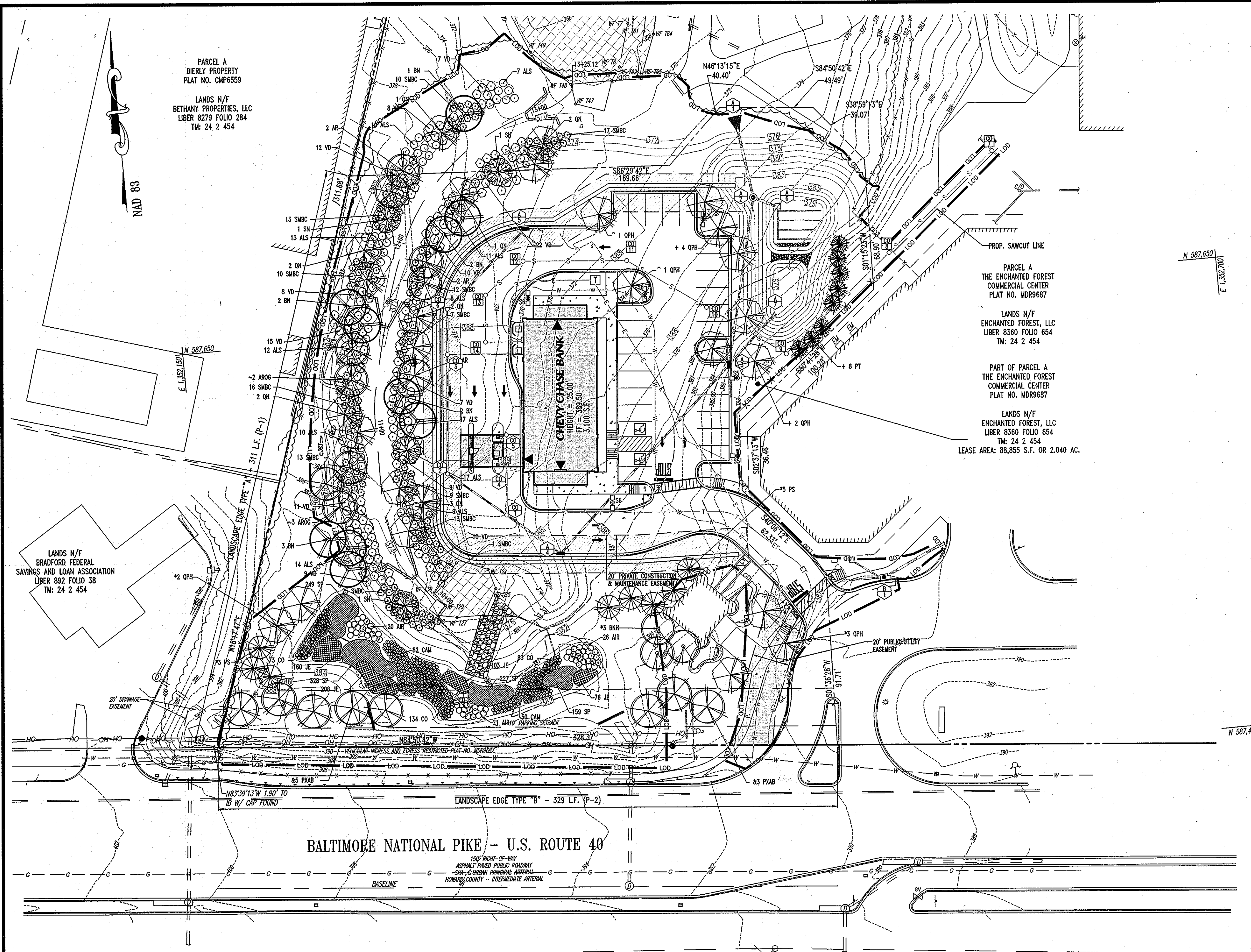
PERMIT INFORMATION CHART

SUBDIVISION NAME:	SECTION/AREA	LOT/PARCEL NO.
THE ENCHANTED FOREST COMMERCIAL CENTER	454	454
PLAT RECORDED/GRID:	ZONING	TAX MAP NO.
22-272-23378	B-2	24
WATER CODE	SEWER CODE	ELECT. DISTR.
H08	5440000	2nd

DESIGNED BY: A.G.S.
DRAWN BY: R.F.G.
PROJECT NO.: MD069000.1
DATE: 3/1/13
SCALE: N.T.S.
DRAWING NO. 22 OF 28

PROFESSIONAL ENGINEER NO. 21342

GENERAL NOTE:
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PARCEL A
BIERLY PROPERTY
PLAT NO. CMP6559

LANDS N/F
BETHANY PROPERTIES, LLC
LIBER 8279 FOLIO 284
TM: 24 2 454

E. 587,650

LANDS N/F
BRADFORD FEDERAL
SAVINGS AND LOAN ASSOCIATION
LIBER 892 FOLIO 38
TM: 24 2 454

PARCEL A
THE ENCHANTED FOREST
COMMERCIAL CENTER
PLAT NO. MDR9687

LANDS N/F
ENCHANTED FOREST, LLC
LIBER 8360 FOLIO 654
TM: 24 2 454

PART OF PARCEL A
THE ENCHANTED FOREST
COMMERCIAL CENTER
PLAT NO. MDR9687

LANDS N/F
ENCHANTED FOREST, LLC
LIBER 8360 FOLIO 654
TM: 24 2 454

LEASE AREA: 88,855 S.F. OR 2.040 AC.

N 587,650
E 1,352,700

N 587,400
E 1,352,700

LANDSCAPE SCHEDULE PER HOWARD COUNTY LANDSCAPE MANUAL

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
SHADE TREE(S)					
AROG	5	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2 1/2-3" CAL.	B+B
PXAB	8	PLATANUS X ACERIFOLIA 'BLOODGOOD'	BLOODGOOD LONDON PLANETREE	2 1/2-3" CAL.	B+B
OPH	13	QUERCUS PHELLOS	WILLOW OAK	2 1/2-3" CAL.	B+B
BNH	3	BETULA NIGRA 'HERITAGE'	HERITAGE RIVER BIRCH	10-12'	B+B
EVERGREEN TREE(S)					
PS	8	PINUS STROBUS	EASTERN WHITE PINE	6-8'	B+B
PT	8	PINUS THUNBERGIANA	JAPANESE BLACK PINE	6-8'	B+B

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.

LANDSCAPE SCHEDULE FOR BIORETENTION AND STREAM RELOCATION AREAS

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
SHADE TREE(S)					
AR	5	ACER RUBRUM	RED MAPLE	2 1/2-3" CAL.	B+B
QN	13	QUERCUS NIGRA	WATER OAK	2 1/2-3" CAL.	2 GAL.
ORNAMENTAL TREE(S)					
BN	10	BETULA NIGRA	MULTI STEM RIVER BIRCH	10-12'	B+B
SN	4	SALIX NIGRA	BLACK WILLOW	2 1/2-3" CAL.	2 GAL.
DECIDUOUS SHRUB(S)					
AIR	67	ALNUS INCANA SSP RUGOSA	SPECKLED ALDER	12"	TREE TUBE
ALS	109	ALNUS SERRULATA	COMMON ALDER	3-4"	2 GAL.
CAM	132	CORNUS AMOMUM	SILKY DOGWOOD	12"	TREE TUBE
CO	290	CEPHALANTHUS OCCIDENTAUS	BUITON BUSH	12"	TREE TUBE
SMBC	146	SAMBUCUS CANADENSIS	ELDERBERRY	18-24"	2 GAL.
VD	129	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	3-4"	B+B
GROUND COVER					
JE	547	JUNCUS EFFUSUS	SOFT RUSH	PLUG	CONTAINER
SP	963	SCIRPUS PUNGENS	THREE SQUARE	PLUG	CONTAINER
		TS10			

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.

MISS UTILITY

BEFORE YOU DIG CALL
811 IN MD
PROTECT YOURSELF. GIVE TWO WORKING DAYS NOTICE.
THE CONTRACTOR TO CALL MISS UTILITY TO MARK ALL EXISTING UTILITIES 48 HOURS PRIOR TO ANY CONSTRUCTION.

PROFESSIONAL CERTIFICATION

I, ERIC R. MCWILLIAMS, HEREBY CERTIFY THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE # 3697, EXPIRATION DATE: 9/20/14

APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] 4/25/13
CHIEF-DEVELOPMENT ENGINEERING DIVISION
[Signature] 5/31/13
CHIEF-DIVISION OF LAND DEVELOPMENT
[Signature] 5/16/13
DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.

COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT

NO.	DATE	REVISION DESCRIPTION

OWNERS: ENCHANTED FOREST LLC
3333 NEW HYDE PARK ROAD
NEW HYDE PARK, NY 11042
C/O GEOFF GLAZER
PHONE: (410) 684-2000

DEVELOPER: RWCO REALTY CORPORATION
1954 GREENSPRING DRIVE, SUITE 330
TOWSON, MD 21285
C/O GEOFF GLAZER
PHONE: (410) 684-2000

PROJECT: CHEVY CHASE BANK
PARCEL 454, THE ENCHANTED FOREST COMMERCIAL CENTER
10070 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, HOWARD COUNTY, MARYLAND

AREA 2.04 AC. TAX MAP 24 GRID 2 ZONED B-2
PARCEL 454, L 8360, F. 654
2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

LANDSCAPE PLAN

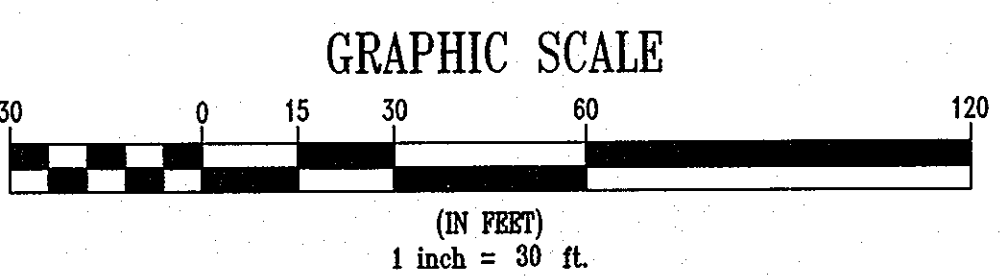


901 DULANEY VALLEY ROAD
SUITE 801
TOWSON, MARYLAND 21204
PH: (410) 821-7900
FX: (410) 821-7987
www.bohlerengineering.com

ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
PARCEL 454	10070 BALTIMORE NATIONAL PIKE, ELLCOTT CITY HOWARD COUNTY, MD 21042

PERMIT INFORMATION CHART			
SUBDIVISION NAME:	SECTION/AREA	LOT/PARCEL NO.	
THE ENCHANTED FOREST COMMERCIAL CENTER		454	
PLAT RECORDED/GRID:	ZONING	TAX MAP NO.	ELECT. DIST
23377-23378	B-2	24	2nd
CENSUS TRACT			
6022			
WATER CODE	SEWER CODE		
H08	5440000		

DESIGNED BY: A.G.S.
DRAWN BY: R.F.G.
PROJECT NO.: MD09600.1
DATE: 3/1/13
SCALE: 1"=30'
DRAWING NO. 23 OF 28



GENERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

SCHEDULE A: PERIMETER LANDSCAPE EDGE		
LOCATION	WEST PROPERTY LINE (P-1)	SOUTH PROPERTY LINE (P-2)
ADJACENT TO	PERIMETER PROPERTIES NON-RESIDENTIAL TO NON-RESIDENTIAL	ADJACENT TO ROADWAYS NON-RESIDENTIAL TO BALTIMORE NATIONAL PIKE ROUTE 40
LANDSCAPE TYPE	TYPE A	TYPE B
LINEAR FEET OF PROPERTY LINE	311 L.F.	329 L.F.
CREDIT FOR EXISTING VEGETATION	NO	NO
CREDIT FOR WALL, FENCE OR BERM	NO	NO
NUMBER OF PLANTS REQUIRED:		
SHADE TREE(S):	5 SHADE TREE(S)	7 SHADE TREE(S)
EVERGREEN TREE(S):	0 EVERGREEN TREE(S)	8 EVERGREEN TREE(S)
SHRUB(S):	0 SHRUB(S)	0 SHRUB(S)
NUMBER OF PLANTS PROVIDED:		
SHADE TREE(S):	5 SHADE TREE(S)	8 SHADE TREE(S)
EVERGREEN TREE(S):	0 EVERGREEN TREE(S)	8 EVERGREEN TREE(S)
SHRUB(S): (1:1 SUBSTITUTION)	0 SHRUB(S)	0 SHRUB(S)
INDICATES PLANT MATERIAL UTILIZED TO FULFILL REQUIREMENT	"a"	"a"

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING	
NUMBER OF PARKING SPACES:	27 SPACES
NUMBER OF TREES REQUIRED:	1/20 SPACES 2 SHADE TREES
NUMBER OF TREES PROVIDED:	2 SHADE TREES
SHADE TREE(S):	2 SHADE TREES
OTHER TREE(S): (2:1 SUBSTITUTION)	
"a" INDICATES PLANT MATERIAL UTILIZED TO FULFILL REQUIREMENT	

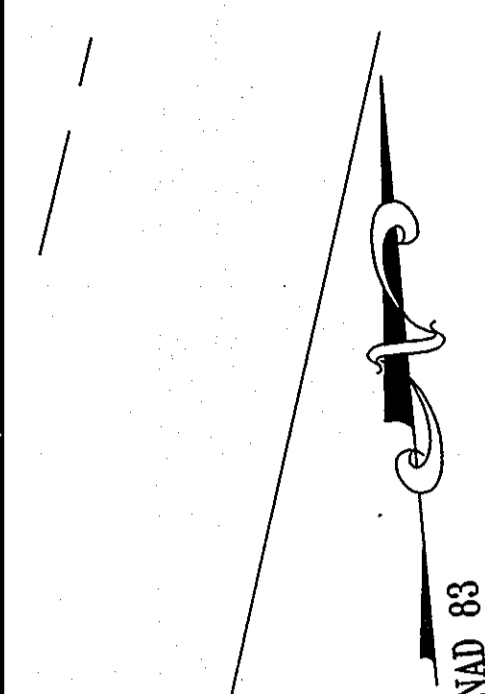
SCHEDULE D STORMWATER MANAGEMENT AREA LANDSCAPING	
LINEAR FEET OF PERIMETER	315 L.F.
NUMBER OF TREES REQUIRED:	
SHADE TREE(S): 1:50	6 SHADE TREE(S)
EVERGREEN TREE(S): 1:40	8 EVERGREEN TREE(S)
CREDIT FOR EXISTING VEGETATION (NO, YES, AND %)	NO
CREDIT FOR OTHER LANDSCAPING (NO, YES, AND %)	NO
NUMBER OF TREES PROVIDED:	
SHADE TREE(S):	6 SHADE TREE(S)
EVERGREEN TREE(S):	8 EVERGREEN TREE(S)
OTHER TREES (2:1 SUBSTITUTION)	0
"a" INDICATES PLANT MATERIAL UTILIZED TO FULFILL REQUIREMENT	

STREET TREE REQUIREMENTS:

BALTIMORE NATIONAL PIKE	
LINEAR FEET OF PERIMETER ADJACENT TO STREET:	329 L.F.
NUMBER OF TREES REQUIRED:	
SHADE TREE(S): 1:40	8 SHADE TREE(S)
NUMBER OF TREES PROVIDED:	
SHADE TREE(S): 1:40	8 SHADE TREE(S)
"a" INDICATES PLANT MATERIAL UTILIZED TO FULFILL REQUIREMENT	

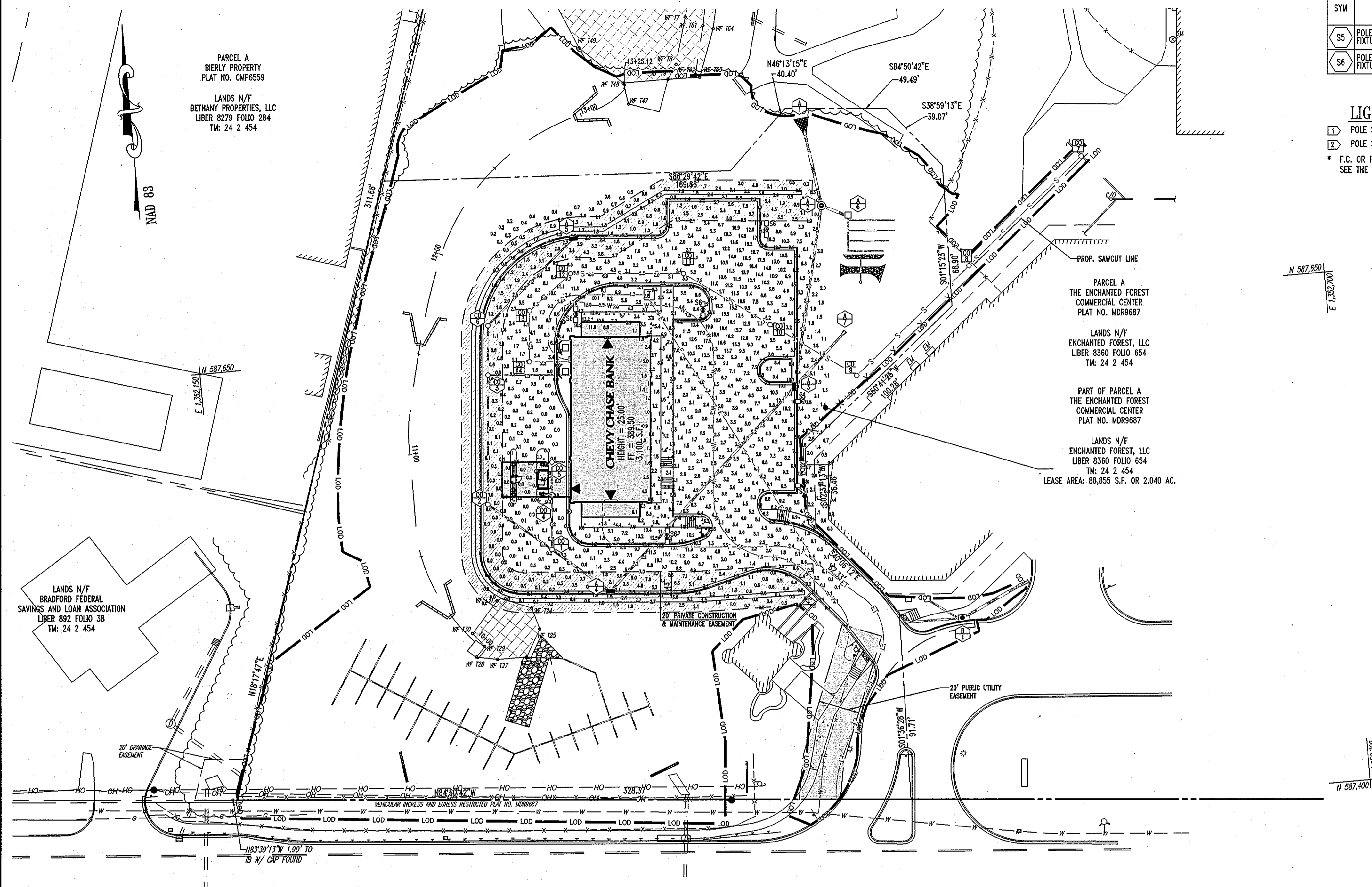
HOWARD COUNTY, MD COMPLIANCE CHART:

TABLE 1 PERIMETER LANDSCAPE TYPES -- BASED ON ADJACENT LAND USE			
LANDSCAPE EDGE TYPE	LANDSCAPE CHARACTER	SHADE TREE(S) PER LINEAR FEET	EVERGREEN TREE(S) PER LINEAR FEET
A	LIGHT BUFFER	1:60	0
B	MODERATE BUFFER	1:50	1:40
C	HEAVY BUFFER	1:40	1:20
D	SCREEN	1:60	1:10
E	BUFFER - PARKING ADJ. TO ROADWAY	1:40	0



PARCEL A
BIERLY PROPERTY
PLAT NO. CMP6559

LANDS N/F
BETHANY PROPERTIES, LLC
LIBER 8279 FOLIO 384
TM: 24 2 454



PARCEL A
THE ENCHANTED FOREST
COMMERCIAL CENTER
PLAT NO. MDR9687

LANDS N/F
ENCHANTED FOREST, LLC
LIBER 8360 FOLIO 654
TM: 24 2 454

PART OF PARCEL A
THE ENCHANTED FOREST
COMMERCIAL CENTER
PLAT NO. MDR9687

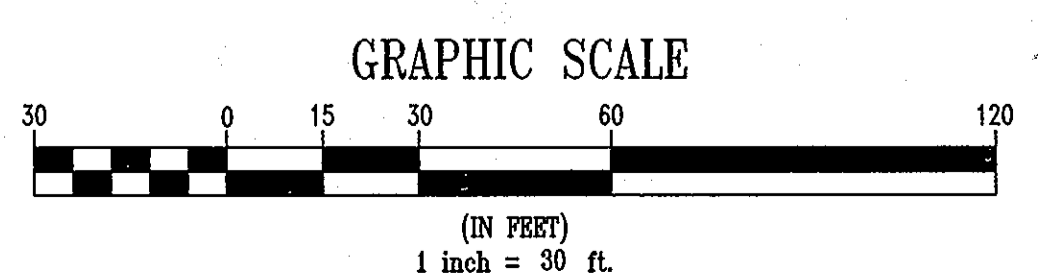
LANDS N/F
ENCHANTED FOREST, LLC
LIBER 8360 FOLIO 654
TM: 24 2 454

LEASE AREA: 88,855 S.F. OR 2.040 AC.

LANDS N/F
BRADFORD FEDERAL
SAVINGS AND LOAN ASSOCIATION
LIBER 892 FOLIO 38
TM: 24 2 454

BALTIMORE NATIONAL PIKE - U.S. ROUTE 40

150' RIGHT-OF-WAY
ASPHALT PAVED PUBLIC ROADWAY
20'-0" CROWN FINISHING MATERIAL
HOWARD COUNTY - INTERMEDIATE AIRPORT



LIGHTING FIXTURE SCHEDULE										
SYM	DESCRIPTION	MANUFACTURER	CATALOG No. AND VOLTAGE	LAMP DATA		MOUNTING			REMARKS	
				QUANT.	WATT.	LAMP	REC.	SURF.		WALL
SS	POLE AND POLE MOUNTED FIXTURE	GARCO	EH191FM400MH-120 BLALF	1	400	MH400/U				20' STEEL POLE PROVIDED BY GARCO FINISH SHALL BE BLACK (1) (B)
SE	POLE AND POLE MOUNTED FIXTURE	GARCO	EH192FM400MH-120 BLALF	2	400	MH400/U				20' STEEL POLE PROVIDED BY GARCO FINISH SHALL BE BLACK (2) (B)

LIGHTING FIXTURE SCHEDULE NOTES:

(1) POLE SHALL BE GARCO CAT No SSA5-2001BLA.

(2) POLE SHALL BE GARCO CAT No SSA5-2002BLA.

* F.C. OR FOOT CANDLES AT 36" ABOVE THE GROUND - AS DEFINED BY THE STATE OF MD LEGISLATION. SEE THE ARCHITECTURAL PLANS FOR LIGHT POLE BASE DETAIL.

NOTE:
THE LOD SHOWN ON THIS PLAN DOES NOT REPRESENT THE LIMITS OF DISTURBANCE FOR SEDIMENT CONTROL. SEE SHEETS 15 & 14 FOR APPROVED SEDIMENT CONTROL AND PHASING.

THE LIGHTING PLAN WAS PREPARED BY LEO A DALY, TITLED: "CHEVY CHASE BANK - SITE LIGHTING AND PHOTOMETRIC PLAN," JOB NO.: 051-10198-000, DATED: MARCH 21, 2008

MISS UTILITY

BEFORE YOU DIG CALL
811 IN MD
or 1-800-257-7777

PROTECT YOURSELF. GIVE TWO WORKING DAYS NOTICE. THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED AS SHOWN PRIOR TO ANY CONSTRUCTION.

PROFESSIONAL CERTIFICATION

I, ADAM J. VOLANTH HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 21342, EXPIRATION DATE: 9/14/14.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Adam J. Volanth 4/8/13
 CHIEF-DEVELOPMENT ENGINEERING DIVISION, DATE

Neil Sheehan 5/03/13
 CHIEF-DIVISION OF LAND DEVELOPMENT, DATE

James R. Angell 5/8/10
 DIRECTOR, DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.

Adam J. Volanth DATE

COUNTY HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT

NO.	DATE	REVISION DESCRIPTION

OWNERS:
 ENCHANTED FOREST LLC
 3333 NEW HYDE PARK ROAD
 NEW HYDE PARK, NY 11042
 C/O GLENN GLAZER
 PHONE: (410) 684-2000

DEVELOPER:
 TRICO REALTY CORPORATION
 1954 GREENSPRING DRIVE, SUITE 330
 TIMONUM, MD 21083
 C/O GREG REED
 PHONE: (410) 684-2000

PROJECT: CHEVY CHASE BANK
 THE ENCHANTED FOREST COMMERCIAL CENTER
 10070 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, HOWARD COUNTY, MARYLAND

AREA 2.04 AC. TAX MAP 24 GRID 2 ZONED B-2
 PARCEL 454, L. 8360, F. 654
 2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE: LIGHTING PLAN

BOHLER ENGINEERING

901 DULANEY VALLEY ROAD
 SUITE 801
 TOWSON, MARYLAND 21284
 PH: (410) 821-7900
 FX: (410) 821-7987
 www.bohlerengineering.com

ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
PARCEL 454	10070 BALTIMORE NATIONAL PIKE, ELLICOTT CITY HOWARD COUNTY, MD 21042

PERMIT INFORMATION CHART			
SUBDIVISION NAME:	SECTION/AREA	TAX MAP NO.	LOT/PARCEL NO.
THE ENCHANTED FOREST COMMERCIAL CENTER		24	454
PLAN RECORDATION/GRID#	ZONING	ELECT. DISTR	CENSUS TRACT
22372-22372	B-2	2nd	6022
WATER CODE	SEWER CODE		
H08	5440000		

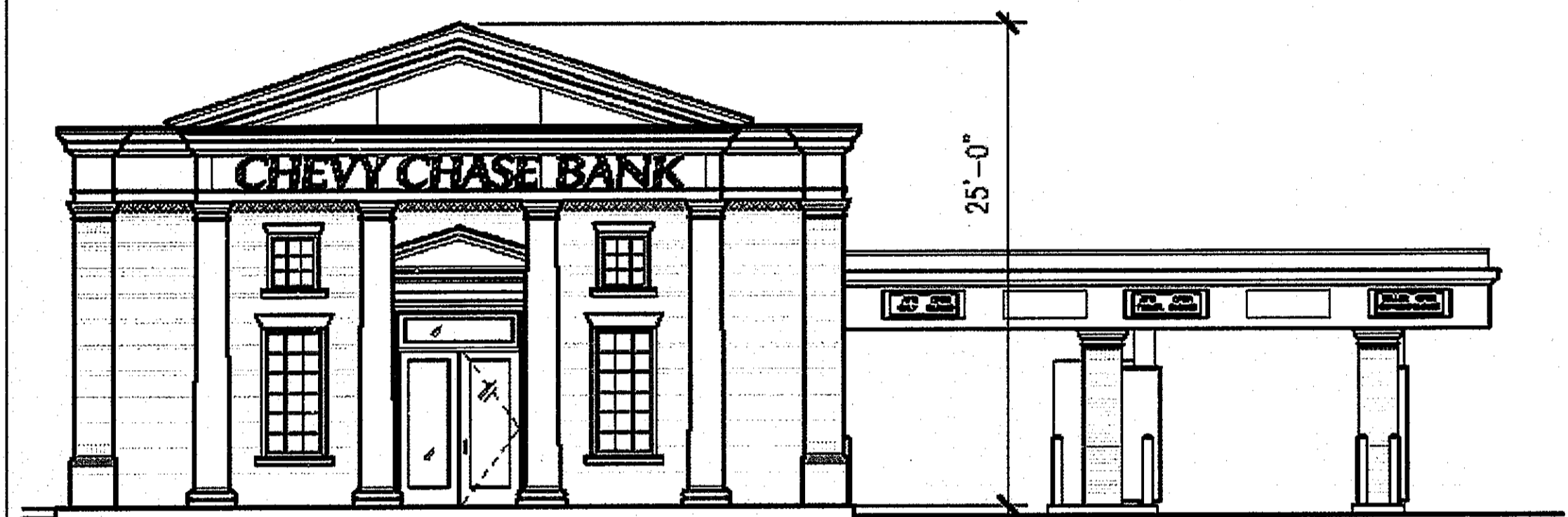
DESIGNED BY: A.G.S.
 DRAWN BY: R.F.G.
 PROJECT NO.: MDR09000.1
 DATE: 3/1/13
 SCALE: 1"=30'
 DRAWING NO. 25 OF 28

PROFESSIONAL ENGINEER No. 21342

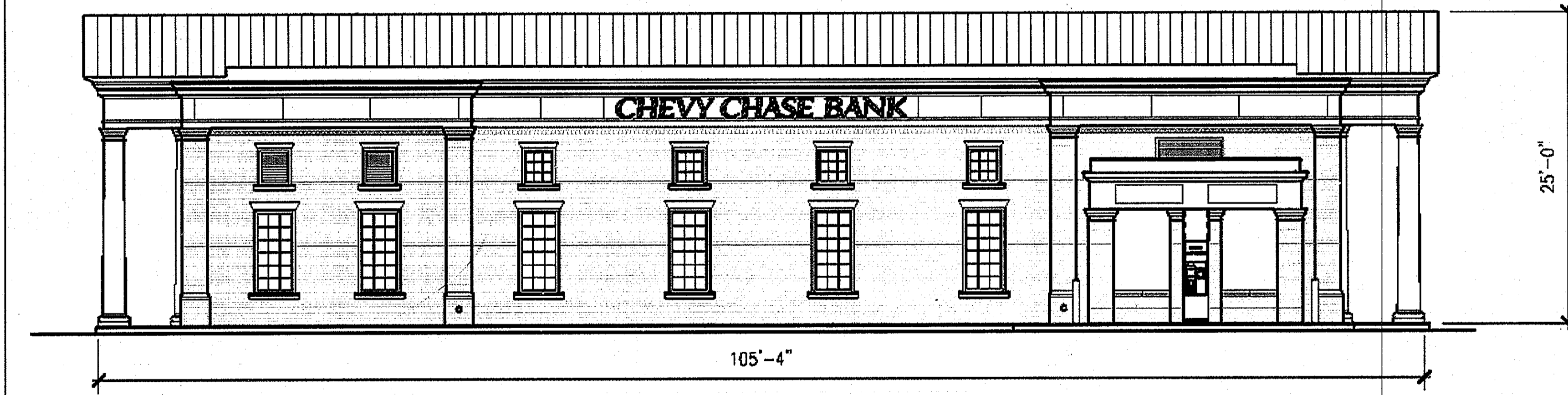
GENERAL NOTE:
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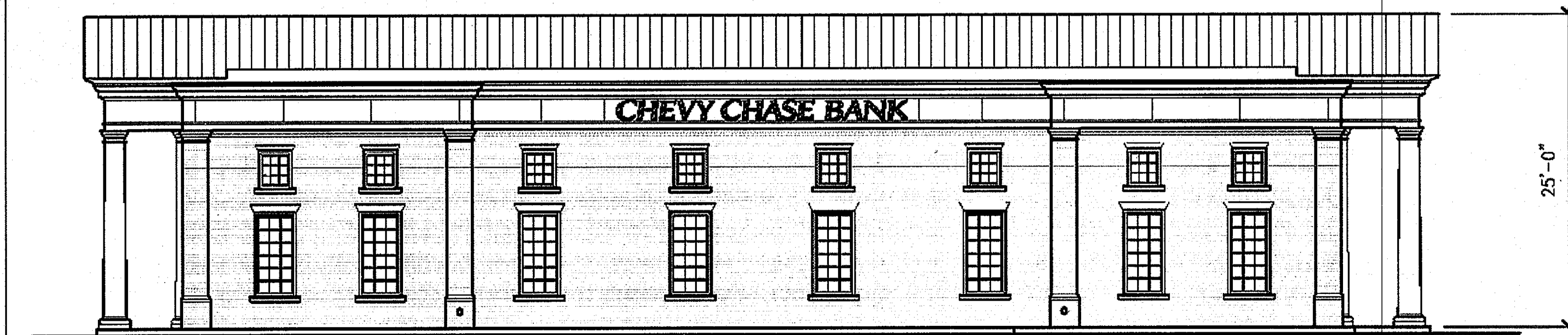
MAIN ENTRY ELEVATION



SECONDARY ENTRY ELEVATION



DRIVE-THRU SIDE ELEVATION



PARKING SIDE ELEVATION

GENERAL NOTE:
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ARCHITECTURAL ELEVATIONS PROVIDED BY LEO A. DALY. PLEASE REFERENCE THE APPROVED ARCHITECTURAL PLANS FOR FURTHER DETAIL.

ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
PARCEL 454	10070 BALTIMORE NATIONAL PIKE, ELLICOTT CITY HOWARD COUNTY, MD 21042

PERMIT INFORMATION CHART			
SUBDIVISION NAME:	SECTION/AREA	TAX MAP NO.	LOT/PARCEL NO.
THE ENCHANTED FOREST COMMERCIAL CENTER	454	24	454
PLAY RECREATION/GRID#	ZONING	ELECT. DISTR	CENSUS TRACT
2-3377-2337#	B-2	2nd	6022
WATER CODE	SEWER CODE		
H08	5440000		



PROFESSIONAL CERTIFICATION

I, ADAM J. VOLANTH HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21342, EXPIRATION DATE: 9/14/14.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF-DEVELOPMENT ENGINEERING DIVISION, DATE 4/25/13
 CHIEF-DIVISION OF LAND DEVELOPMENT, DATE 5/2/13
 DIRECTOR, DATE 5/3/13

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.

COUNTY HEALTH OFFICER, HOWARD COUNTY HEALTH DEPARTMENT, DATE

NO.	DATE	REVISION DESCRIPTION
OWNERS:	ENCHANTED FOREST LLC 3333 NEW HYDE PARK ROAD NEW HYDE PARK, NY 11042 C/O GERT GLAZER PHONE: (410) 684-2000	DEVELOPER: GWC REALTY CORPORATION 1954 GREENSPRING DRIVE, SUITE 330 TIMONONIA, MD 21093 C/O GERT GLAZER PHONE: (410) 684-2000

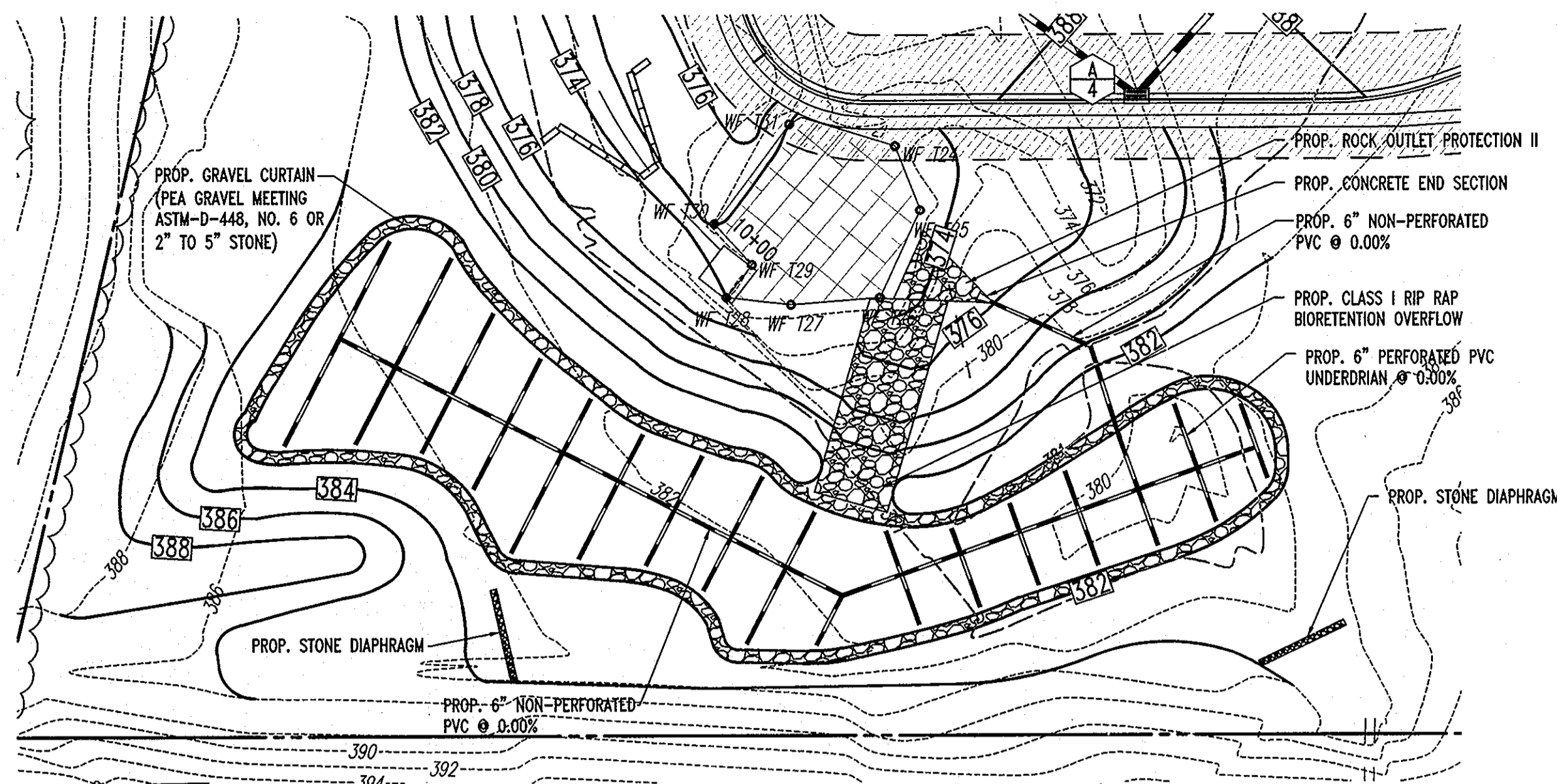
PROJECT: CHEVY CHASE BANK
 PARCEL 454, THE ENCHANTED FOREST COMMERCIAL CENTER
 10070 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, HOWARD COUNTY, MARYLAND
 AREA 2.04 AC. TAX MAP 24 GRID 2 ZONED B-2
 PARCEL 454, L. 8360, F. 654
 2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

ARCHITECTURAL ELEVATIONS



901 DULANEY VALLEY ROAD
 SUITE 801
 TOWSON, MARYLAND 21204
 PH: (410) 821-7900
 FX: (410) 821-7987
 www.bohlerengineering.com

DESIGNED BY: A.G.S.
 DRAWN BY: R.F.G.
 PROJECT NO.: MD069000.1
 DATE: 3/1/13
 SCALE: N.T.S.
 DRAWING NO. 26 OF 28



BIORETENTION FACILITY PLAN VIEW
SCALE: 1"=10'

STREAMBANK FILL AREAS NOTES AND SPECIFICATIONS

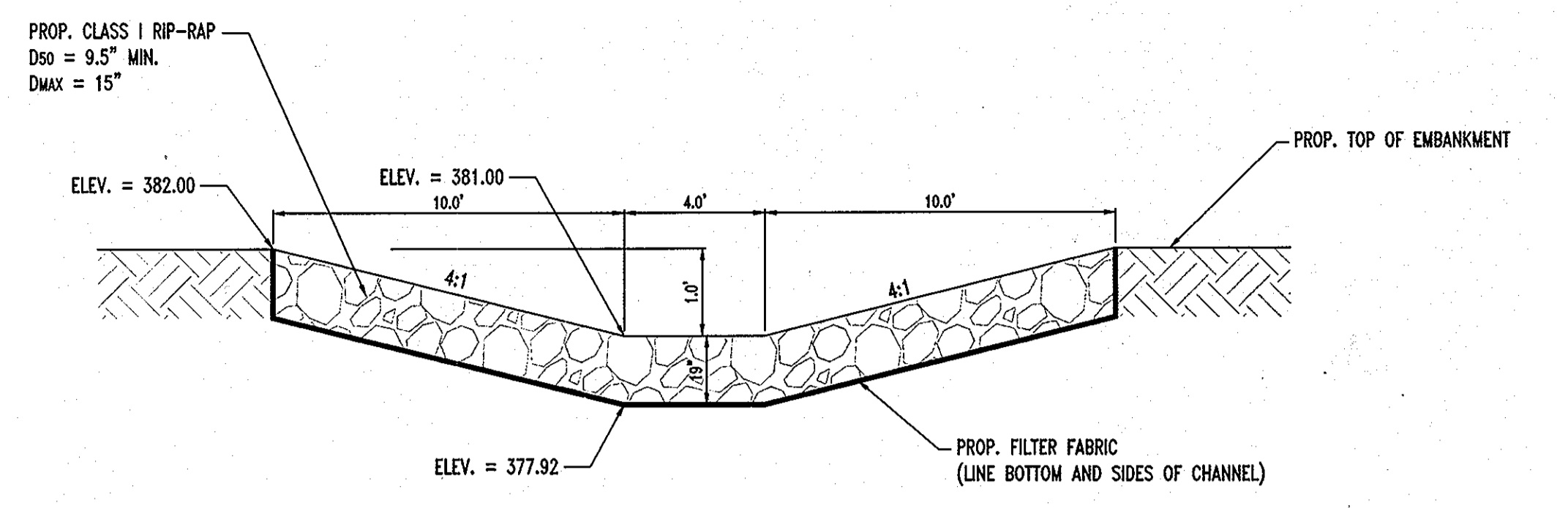
1. FILL MATERIAL TO BE USED IN STREAMBANK CONSTRUCTION SHALL BE SELECT GRANULAR MATERIAL APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.
2. PLACEMENT OF SELECT FILL SHALL BE UNDER THE DIRECTION OF THE GEOTECHNICAL ENGINEER. ALL FILLS SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE STANDARD PROCTOR TEST.
3. ALL PROPOSED MATTING, SEEDING AND STAKES SHALL BE PLACED IMMEDIATELY UPON COMPLETION OF FILL PLACEMENT.

STONE SPECIFICATIONS

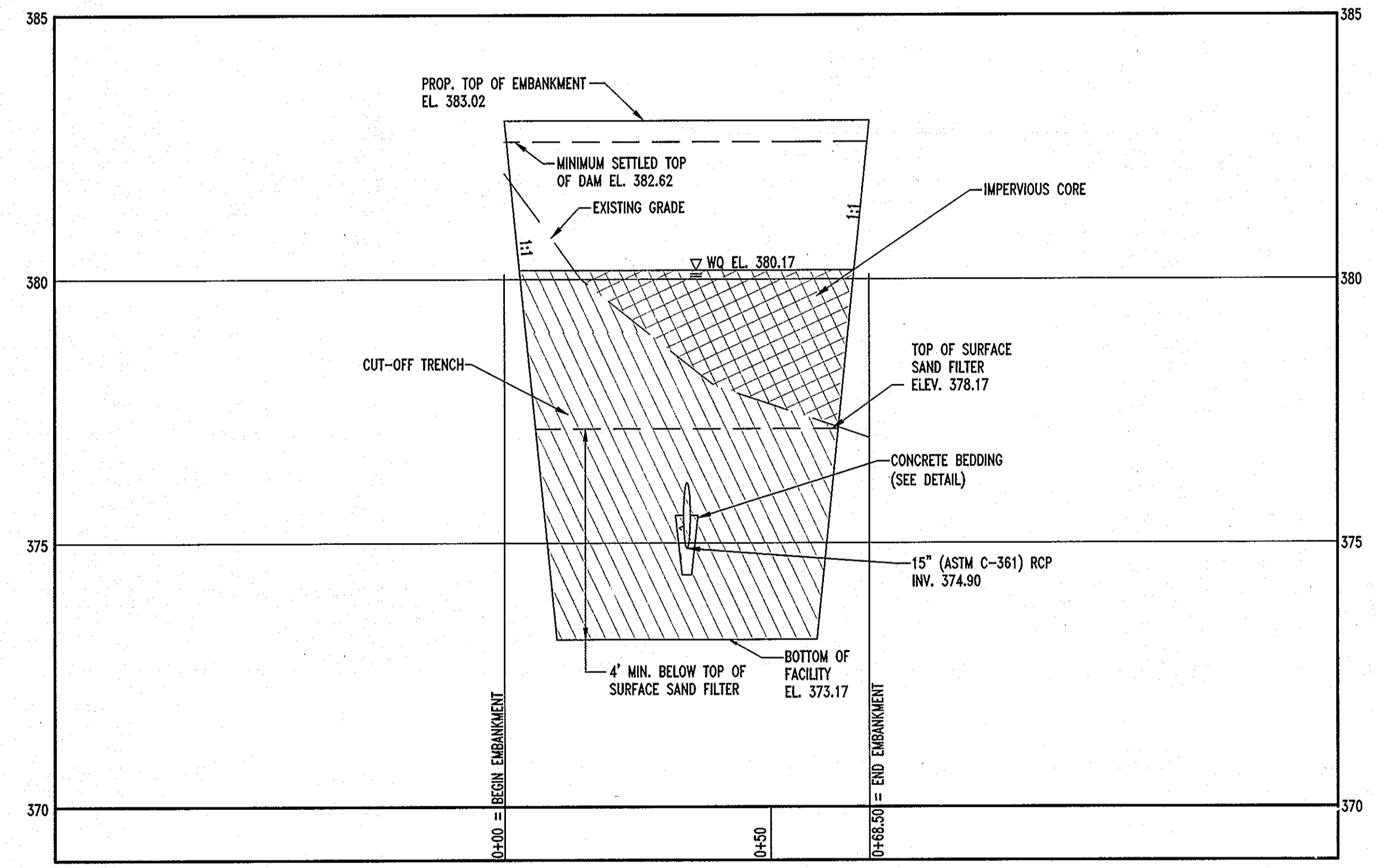
1. FOOTING OR BURIED STONE SHALL CONSIST OF ANGULAR FLAT ROCK SIMILAR IN COLOR, TEXTURE AND DENSITY TO THAT SUPPLIED BY THE LAFARGE CORPORATION - TEXAS QUARRY (COCKEYSVILLE MARBLE WITH MICA LAYERS), OR THE LAFARGE CORPORATION CHURCHVILLE QUARRY (AMPHIBOLITE GRAY-BLACK). CONTRACTOR MAY USE, UPON APPROVAL BY THE GEOTECHNICAL ENGINEER, ON-SITE STONE FOR FOOTINGS IF SAID MATERIALS ARE OF APPROPRIATE SIZE AND DURABILITY.
2. EXPOSED STONE SHALL CONSIST OF ANGULAR FLAT ROCK SIMILAR IN COLOR, TEXTURE AND DENSITY TO THAT SUPPLIED BY THE LAFARGE CORPORATION - CHURCHVILLE QUARRY (AMPHIBOLITE GRAY-BLACK).
3. STONE SHALL BE FREE FROM LAMINATIONS, WEAK CLEAVAGES, AND WILL NOT DISINTEGRATE FROM THE ACTION OF AIR, WATER, OR IN HANDLING AND PLACING.
4. CONTRACTOR SHALL OBTAIN, FROM THE QUARRY, A STONE CLASSIFICATION, WEIGHT PER CUBIC FOOT, AND WEIGHT OF STONE BEING SUPPLIED AND SUBMIT THE INFORMATION TO THE ENGINEER FOR APPROVAL.

JUTE MATTING INSTALLATION GUIDELINES

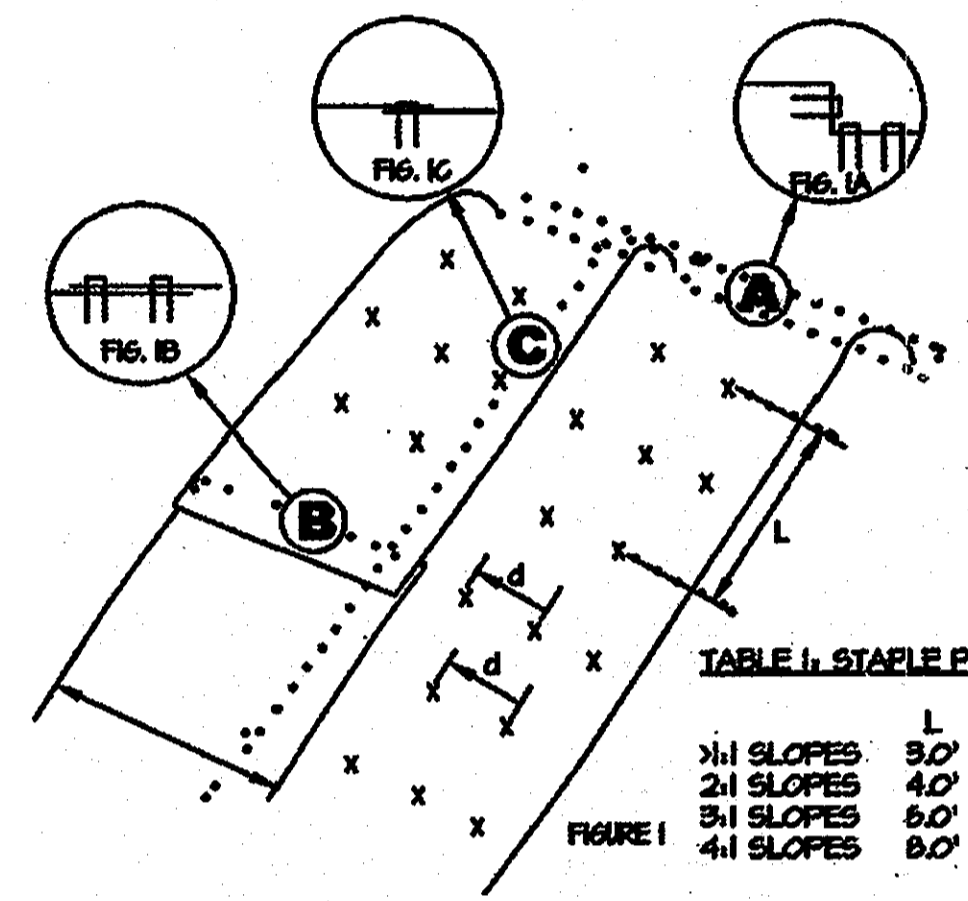
1. PREPARE SOIL, INCLUDING GRADING, APPLICATION OF LIME, FERTILIZER, AND SEEDS. THE SURFACE OF THE SOIL SHOULD BE SMOOTH AND FREE OF ROCKS, ROOTS AND OTHER OBSTRUCTIONS.
2. START AT THE TOP OF THE SLOPE BY ANCHORING BLANKETS IN A 6" DEEP AND 6" WIDE ANCHOR TRENCH. PLACE BLANKETS, STAPLE (8" STAPLES RECOMMENDED), BACKFILL AND COMPACTION.
3. ROLL THE BLANKETS DOWN THE SLOPE (RECOMMENDED FOR STEEP SLOPES) OR ACROSS THE SLOPE. STAPLE THE OPEN BLANKET EDGE USING ONE ROW OF STAPLES AT 1.5-2 FOOT INTERVALS. THE MIDDLE OF THE BLANKETS SHOULD BE STAPLED USING A PREFERRED STAPLE PATTERN. BE SURE TO LAY BLANKETS LOOSELY ON THE GROUND ALLOWING A GOOD CONTACT BETWEEN SOIL AND BLANKETS.
4. WHEN BLANKET SPlicing IS NECESSARY, USE AN 8" OVERLAP. USE TWO ROWS OF STAPLES (8" STAPLES RECOMMENDED) TO ANCHOR BLANKETS. TWELVE INCH STAPLE SPACING WITH A STAGGERED PATTERN IS RECOMMENDED. OVERLAP SIDES OF BLANKETS AT LEAST 6" AND USE STAPLES (8" STAPLES RECOMMENDED) ALONG OVERLAP AT 12" SPACING.
5. PROVIDE A 6" DEEP AND 6" WIDE ANCHOR TRENCH AT THE TOE OF THE SLOPE OR STREAMBANK OR SHORELINE.
6. USE WIRE STAPLES OF GAUGE II OR LOWER. IF WOODEN PEGS ARE USED, THE MINIMUM LENGTH IS 12". ANCHORS SHOULD BE LONG ENOUGH TO PROVIDE A STRONG BOND BETWEEN THE BLANKET AND THE GROUND. REQUIRED ANCHOR LENGTH MAY VARY DEPENDING ON THE SOIL CONDITION.
7. THIS PROCEDURE COULD BE ALTERED AT THE DISCRETION OF THE SITE ENGINEER.



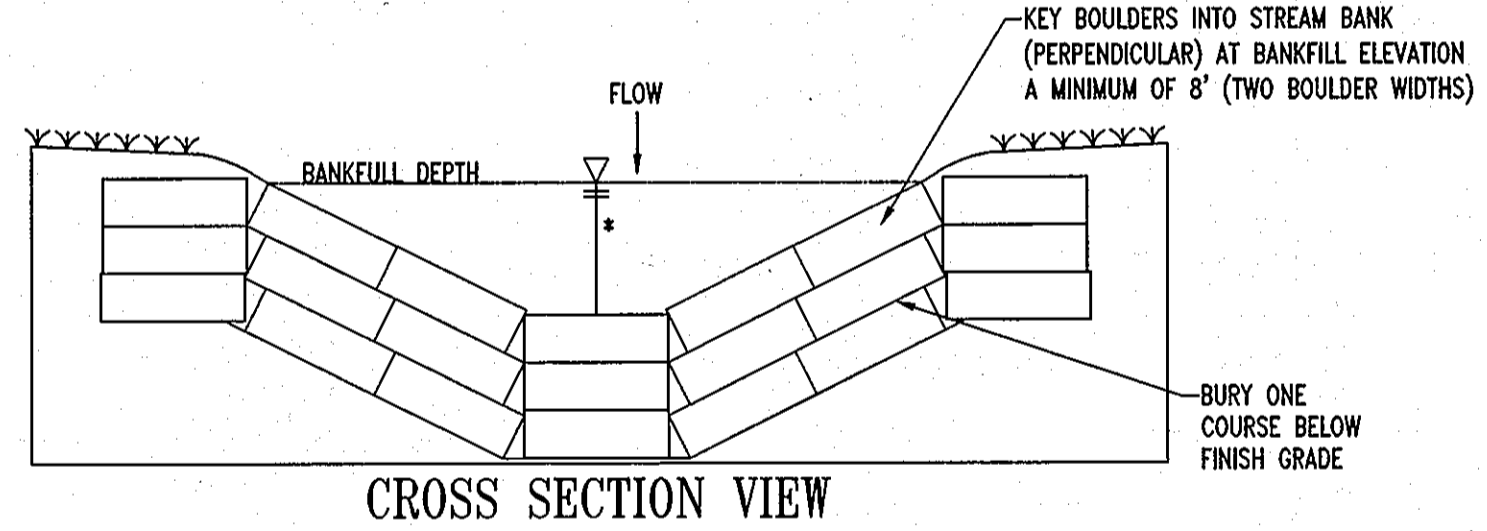
BIORETENTION OVERFLOW DETAIL
NOT TO SCALE



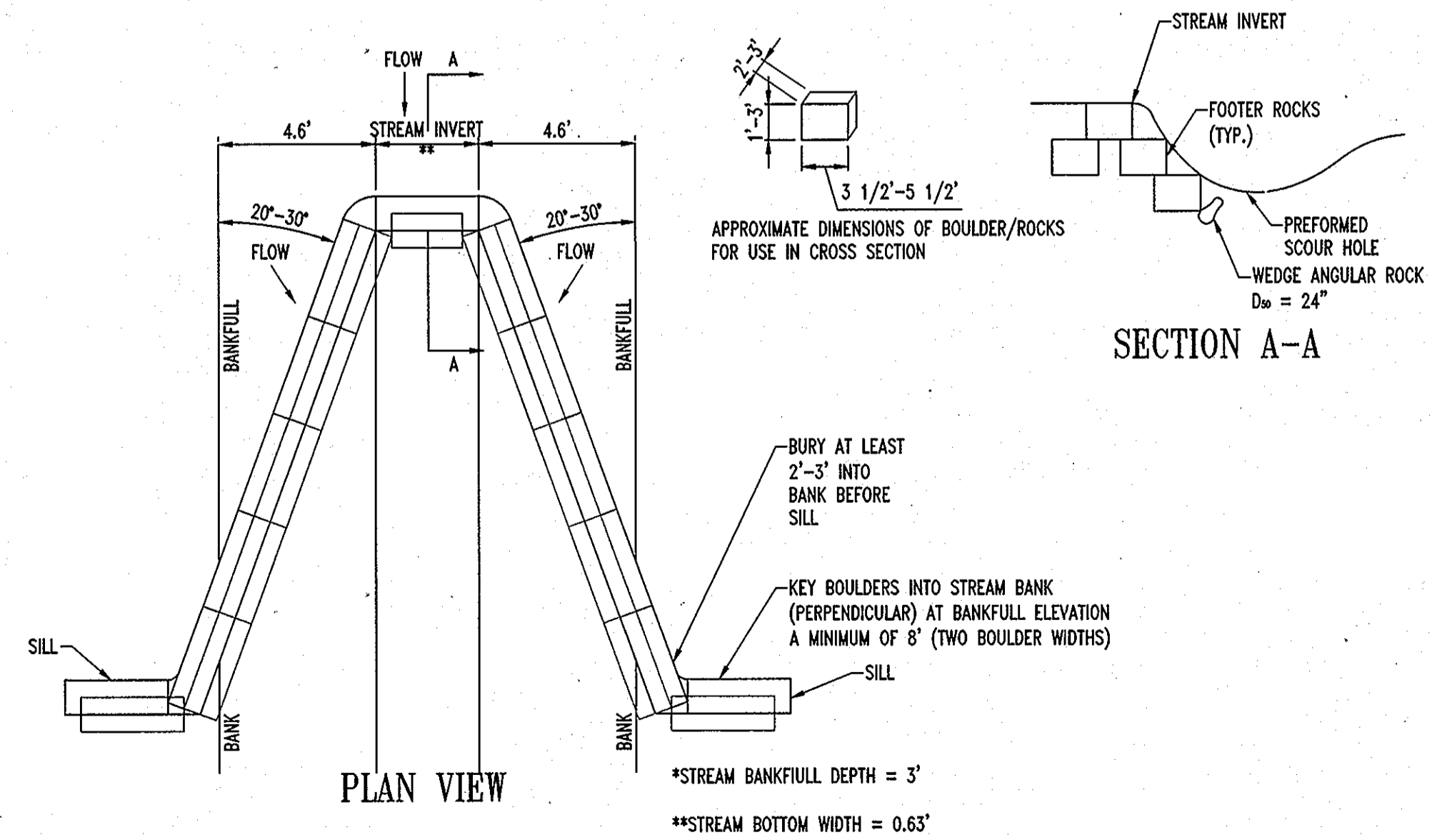
SANDFILTER CENTERLINE EMBANKMENT PROFILE
HORIZ. SCALE: 1"=20'
VERT. SCALE: 1"=2'



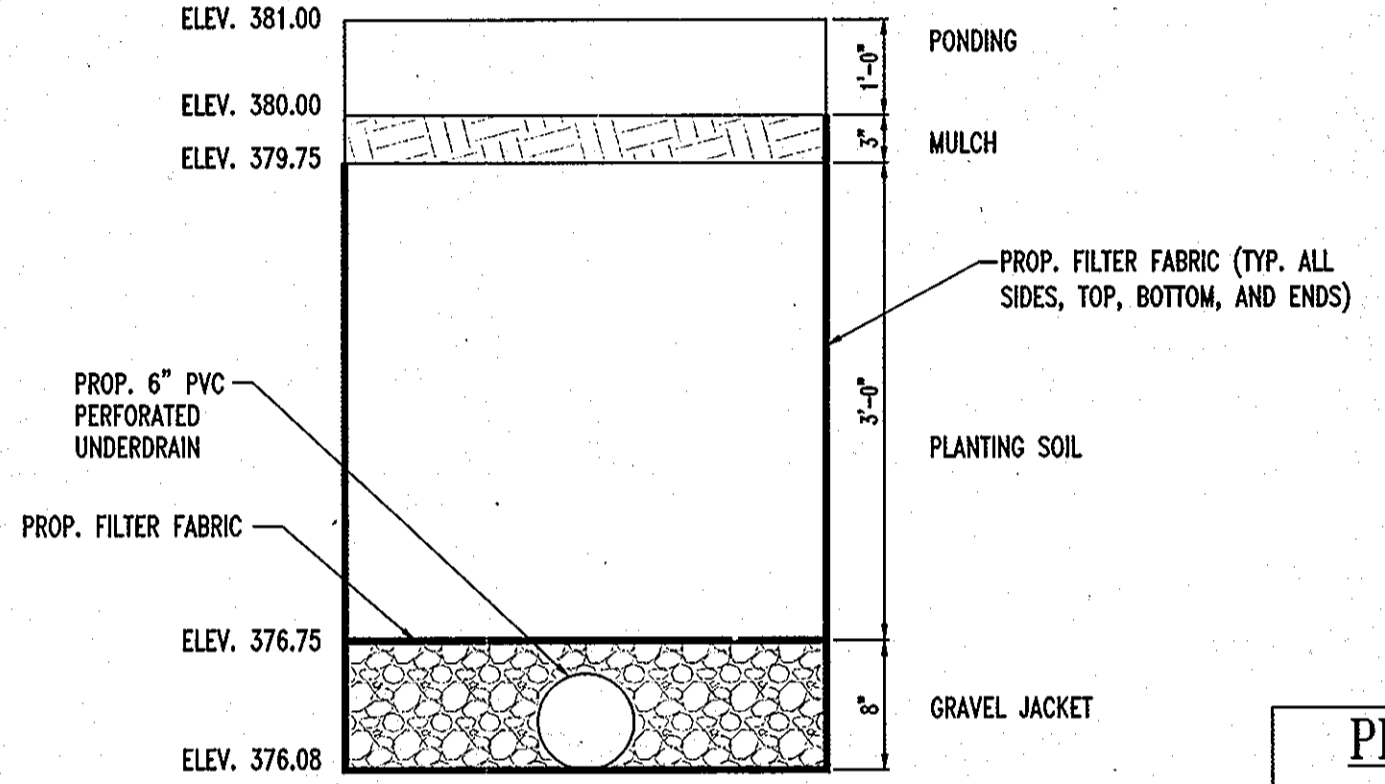
JUTE MATTING DETAIL
NOT TO SCALE



CROSS SECTION VIEW



ROCK VANE DETAIL
NOT TO SCALE



BIORETENTION TYPICAL SECTION
NOT TO SCALE

ROCK VANE INSTALLATION GUIDELINES

1. ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED PER THE APPROVED PLANS PRIOR TO INSTALLATION OF THE ROCK VANES.
2. MAINTAIN FUNCTIONALITY OF THE EXISTING STREAM DURING CONSTRUCTION OF THE RELOCATED STREAM AND ROCK VANES.
3. SHAPE AND ORIENTATION: VANES SHOULD BE ANGLED 20 TO 30 DEGREES FROM UPSTREAM BANK.
4. HEIGHT: THE BANK-END OF THE VANE SHOULD BE AT THE BANKFULL ELEVATION AND THE TIP OF VANE SHOULD BE PARTIALLY EMBEDDED IN THE STREAMBED SUCH THAT IT IS SUBMERGED EVEN DURING LOW FLOWS. THE VANE ARM SHOULD BE PLACED AT A VERTICAL ANGLE OF 3% TO 7%.
5. LENGTH: VANES SHOULD SPAN A MAXIMUM OF 1/3 OF THE CHANNEL WIDTH, DEPENDING ON THE CHANNEL SIZE. THE LARGER THE CHANNEL, THE SHORTER THE VANE SHOULD BE RELATIVE TO THE CHANNEL WIDTH.
6. WHEN INSTALLING VANES, THE BANK END OF THE STRUCTURE SHOULD BE FIRMLY ANCHORED A MINIMUM OF 2-3 ROCKS INTO THE BANK.
7. ALL ROCKS SHOULD TOUCH ADJACENT ROCKS TO FORM A TIGHT FIT. VANE ROCKS SHALL BE PLACED ON TOP OF FOOTER ROCKS SO THAT EACH VANE ROCK RESTS UPON TWO HALVES OF EACH FOOTER ROCK BELOW, AND SO THAT THE VANE ROCK IS OFFSET IN THE UPSTREAM DIRECTION. VANE ROCKS SHALL BE SHINGLED UPSTREAM.
8. ALL DISTURBED AREAS SHOULD BE PERMANENTLY STABILIZED IN ACCORDANCE WITH THE APPROVED SEDIMENT AND EROSION CONTROL PLAN.

OPERATION AND MAINTENANCE SCHEDULE FOR BIO-RETENTION AREAS (F-6)

1. ANNUAL MAINTENANCE OF PLANT MATERIAL, MULCH LAYER AND SOIL LAYER IS REQUIRED. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING.
2. SCHEDULE OF PLANT INSPECTION WILL BE TWICE A YEAR IN SPRING AND FALL. THIS INSPECTION WILL INCLUDE REMOVAL OF DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT, TREATMENT OF ALL DISEASED TREES AND SHRUBS AND REPLACEMENT OF ALL DEFICIENT STAKES AND WIRES.
3. MULCH SHALL BE INSPECTED EACH SPRING. REMOVE PREVIOUS MULCH LAYER BEFORE APPLYING NEW LAYER ONCE EVERY 2 TO 3 YEARS.
4. SOIL EROSION TO BE ADDRESSED ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER MONTH AND AFTER HEAVY STORM EVENTS.

GENERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DIMENSIONS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.



PROFESSIONAL CERTIFICATION
I, ADAM J. VOLANTH HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21342, EXPIRATION DATE: 9/14/14.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Adam J. Volanth 4/25/13
CHIEF-DEVELOPMENT ENGINEERING DIVISION
Kurt Shulman 5/3/13
CHIEF-DIVISION OF LAND DEVELOPMENT
David A. Cagle 5/5/12
DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
Howard County Health Department DATE

NO.	DATE	REVISION DESCRIPTION

PROJECT: CHEVY CHASE BANK
PARCEL 454, THE ENCHANTED FOREST COMMERCIAL CENTER
10070 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, HOWARD COUNTY, MARYLAND
AREA: 2.04 AC. **TAX MAP:** 24 **GRID:** 2 **ZONED:** B-2
PARCEL 454, L. 8360, F. 654
2ND ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

TITLE: STORMWATER MANAGEMENT DETAILS



901 DULANEY VALLEY ROAD
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TOWSON, MARYLAND 21204
PH: (410) 821-7900
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ADDRESS CHART	
LOT/PARCEL #	STREET ADDRESS
PARCEL 454	10070 BALTIMORE NATIONAL PIKE, ELLICOTT CITY HOWARD COUNTY, MD 21042
PERMIT INFORMATION CHART	
SUBDIVISION NAME: THE ENCHANTED FOREST COMMERCIAL CENTER	SECTION/AREA: 454
PLAT RECORDATION/GRID: 2	ZONING: B-2
TAX MAP NO.: 24	ELECT. DIST: 2nd
CENSUS TRACT: 6022	LOT/PARCEL NO.: 454
WATER CODE: H08	SEWER CODE: 5440000

DESIGNED BY: A.G.S.
DRAWN BY: R.F.G.
PROJECT NO.: MD069000.1
DATE: 3/1/13
SCALE: N.T.S.
DRAWING NO. 28 OF 28