

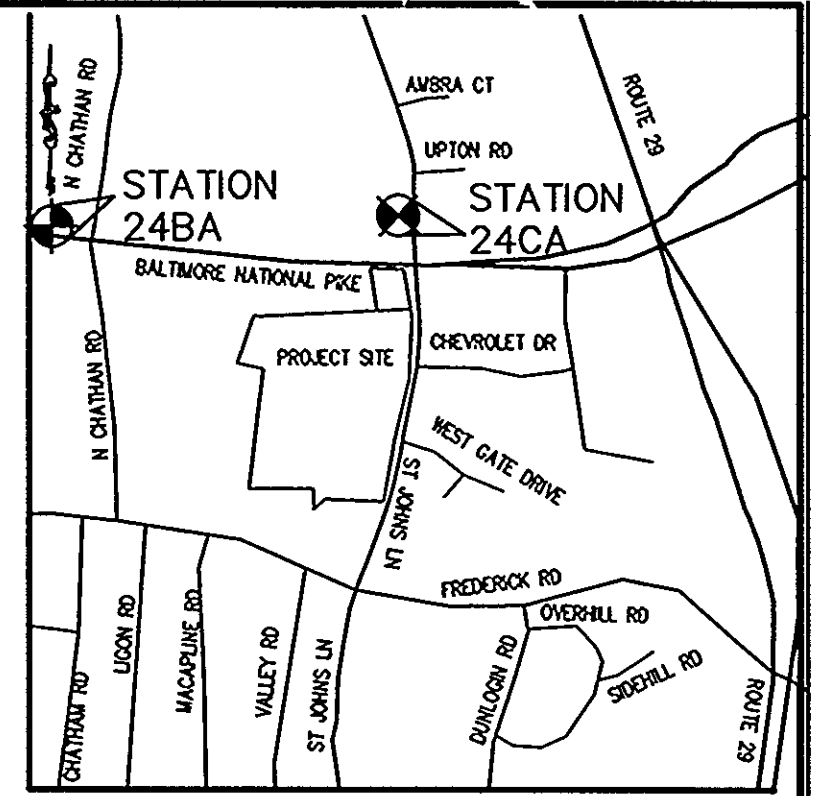
# SAINT JOHNS CEMETERY

## OFFICE AND MAINTENANCE BUILDING

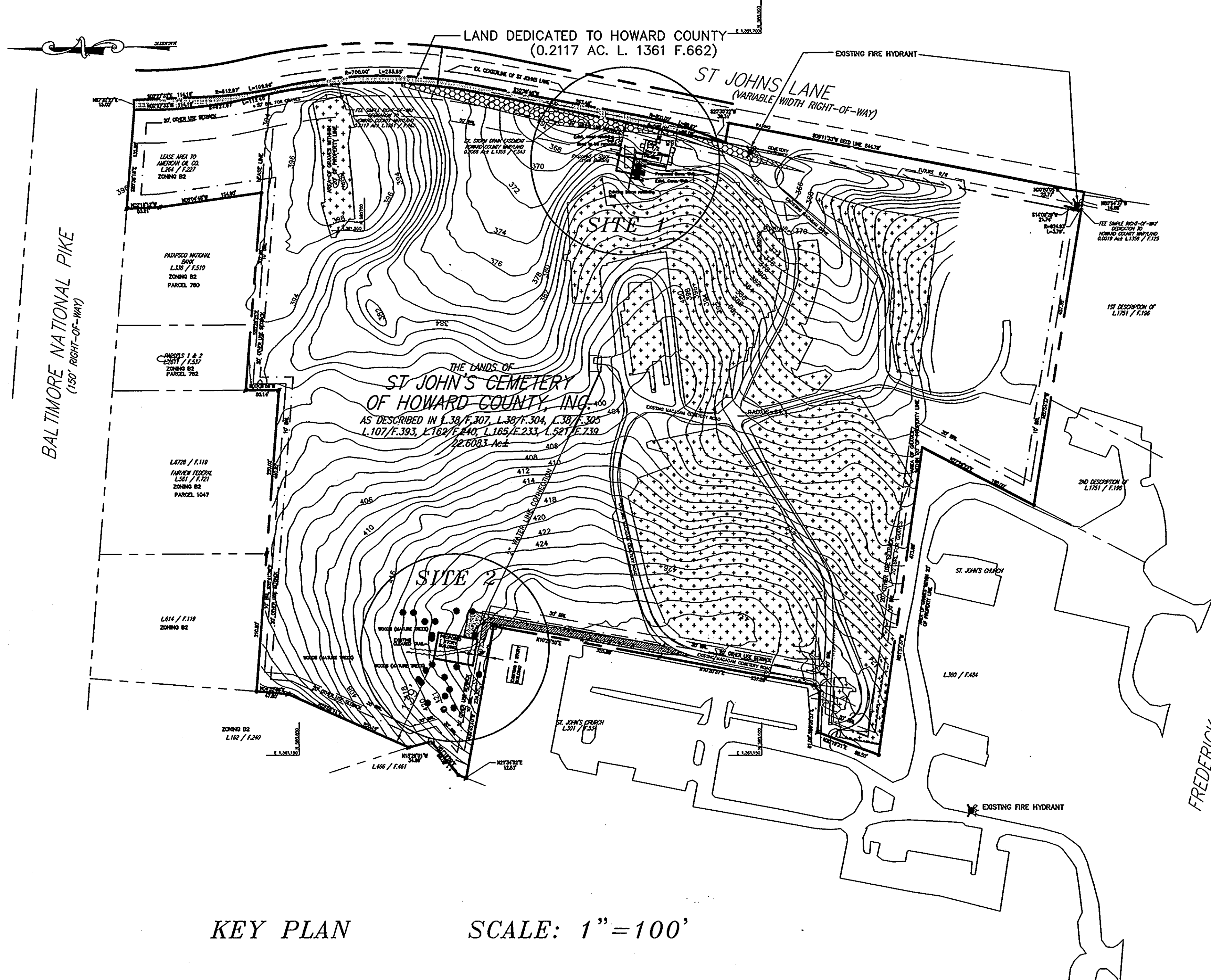
### GENERAL NOTES

- SUBJECT PROPERTY ZONED R-20 PER THE 02/02/2004 COMPREHENSIVE RE-ZONING PLAN AND PER THE COMP. LITE ZONING REGULATIONS AND AMENDMENTS EFFECTIVE JULY 28, 2006.
- TOTAL AREA OF SITE: 22.6083 ACRES.
- TOTAL NUMBER OF LOTS SUBMITTED: 1 MAINTENANCE BUILDING AND 1 OFFICE BUILDING.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS /BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410)313-1880 AT LEAST 24 HOURS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION.
- RELATED HOWARD COUNTY FILES FOR THIS PROJECT: WP-07-053, CASE #RA-04-044C&V, SEWER CONTRACT #115.
- CONSTRUCTION SHALL FOLLOW THE HOWARD COUNTY STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION (VOL. IV) AND OTHER CONSTRUCTION AND BUILDING CODES AS APPLICABLE.
- TOPOGRAPHY IS BASED ON A FIELD-RUN SURVEY PERFORMED BY MARKS & ASSOCIATES, LLC (ELICOTT CITY, MD) ON OR ABOUT JULY, 2006.
- PER SURVEY PREPARED BY MARKS & ASSOCIATES, INC.; HORIZONTAL DATUM IS BASED ON NAD 83, MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS 248A & 242A.
- ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
- NO BATHROOMS ARE PROPOSED FOR MAINTENANCE BUILDING. HENCE NO SEWER SERVICE IS PROVIDED FOR THIS STRUCTURE. OFFICE BUILDING TO BE BUILT ON SLAB AND TO CONTAIN ONE BATHROOM ON FIRST FLOOR. SEWER WILL CONNECT VIA TWIN CONNECTION TO PRIVATE EXISTING SEWER AND PRIVATE PUMP STATION AS SHOWN ON PLAN. CONTRACTOR SHALL VERIFY THIS ELEVATION PRIOR TO SCHEDULING S&C CONSTRUCTION.
- STORMWATER QUALITY MANAGEMENT IS PROVIDED BY VIRTUE OF DISCONNECTION OF NON-ROOFTOP RUNOFF AND GRASSED CHANNEL CREDITS.
- AT THE TIME OF THE INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREWITH LISTED AND APPROVED IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION NO SUBSTITUTION OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DELAY OR DELAY IN THE RELEASE OF THE LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.
- FOREST CONSERVATION REQUIREMENTS WILL BE SATISFIED BY A FEE-IN-LIEU PAYMENT OF \$1,306.80 AS CALCULATED BY HOWARD COUNTY.
- FOR DRIVEWAY ENTRANCE DETAILS REFER TO H.O.CO. DESIGN MANUAL (VOL. IV) DETAIL R.6.06.
- THIS SITE DEVELOPMENT PLAN IS FOR ONE MAINTENANCE BUILDING AND ONE OFFICE BUILDING.
- IN ACCORDANCE WITH SECTION 128 (AV1) OF THE H.O.CO. ZONING REGULATION, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACK, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACKS.
- THE SITE IS A FUNCTIONING CEMETERY AND THE USE FOR EACH OF THE TWO PROPOSED STRUCTURES WILL BE ONLY FOR EMPLOYEES OF THE CEMETERY AND WILL NOT RESULT IN ADDITIONAL TRAFFIC OR RESIDENTIAL UNITS.
- NO WETLANDS EXIST ON SITE.
- APPROXIMATE UTILITY LOCATIONS ARE SHOWN FROM FIELD LOCATIONS AND FROM AVAILABLE RECORDS. THE CONTRACTOR SHALL TEST PIT ALL KNOWN EXISTING UTILITIES TO VERIFY SIZE, LOCATION, SHAPE, TYPE TO HIS ATER SATISFACTION PRIOR TO CONSTRUCTION. UTILITY RELOCATIONS ARE THE RESPONSIBILITY OF THE OWNER, WHETHER SHOWN OR NOT. ANY UTILITY DAMAGED DUE TO CONSTRUCTION MUST BE REPAIRED IMMEDIATELY.
- SHOULD THE CONTRACTOR DISCOVER DISCREPANCIES BETWEEN THE PLAN AND FIELD CONDITIONS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY TO RESOLVE THE SITUATION. THE CONTRACTOR ASSUMES RESPONSIBILITY FOR ALL FIELD CORRECTIONS IF THE ENGINEER IS NOT IMMEDIATELY NOTIFIED.
- THE EXISTING WMC AND SMC FOR 3480 SAINT JOHNS LANE WAS SHOWN FROM A FIELD LOCATION (04/07) AND AVAILABLE CONSTRUCTION DRAWINGS, RESPECTIVELY.
- THIS PLAN IS SUBJECT TO THE AMENDED 5TH ADDITION OF THE SUBMISSION AND LAND DEVELOPMENT REGULATIONS PER COUNCIL BILL NOT. 45-2003 AND THE ZONING REGULATIONS AS AMENDED UNDER COUNCIL BILL# 2003. DEVELOPMENT OR CONSTRUCTION ON THIS LOT MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, WAIVER PETITION APPLICATION OR BUILDING/GRADING PERMIT.
- ON AUGUST 2, 2006 A CONDITIONAL USE FOR A CEMETERY AND THE CONSTRUCTION OF A PROPOSED 24' X 24' ONE STORY FRAME OFFICE BUILDING WITH A CONFERENCE AND ASSEMBLY AREA, KITCHENETTE AND RESTROOM AND THE CONSTRUCTION OF A 40' X 60' ONE STORY EQUIPMENT AND MAINTENANCE BUILDING WAS APPROVED. THE DECISION AND ORDER (RA-04-044C&V) APPROVING THE CONDITIONAL USE SHALL RECALCULATE UNLESS A BUILDING PERMIT CONFORMS TO THE PLAN FOR WHICH THE APPROVAL WAS GRANTED OR OBTAINED WITHIN TWO YEARS AND SUBSTANTIAL CONSTRUCTION COMPLETED WITHIN THREE YEARS FROM THE DATE OF THE DECISION. THE APPROVAL FOR THIS CONDITIONAL USE WILL EXPIRE ON AUGUST 2, 2008 UNLESS AN EXTENSION IS APPROVED BY THE HEARING EXAMINER. *An extension has been granted for the conditional use (see note 30).*
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE REQUIRED 7 TREES IN THE AMOUNT OF \$ 2,100.00 IS PART OF THE BUILDERS GRADING PERMIT APPLICATION FOR THE OFFICE AND MAINTENANCE BUILDING.
- WP-07-053 WAS A REQUEST TO WAIVE SECTION 16.155(G)(1)(X) WHICH REQUIRES A SITE DEVELOPMENT PLAN FOR NEW OR EXPANDED NON-RESIDENTIAL DEVELOPMENT. THE WAIVER WAS DENIED.
- PUBLIC WATER IS PROVIDED AS SHOWN ON CONTRACT NO. 133-W (DRAINAGE AREA IS PATAPSCO). SEWER IS PROVIDED BY PRIVATE PUMP TO PUBLIC SEWER AS SHOWN ON CONTRACT NO. 31-S.
- THERE IS NO FLOOD PLAIN ON THIS SITE.
- A TRAFFIC STUDY WAS PERFORMED BY PHOENIX ENGINEERING, INC. DATED DECEMBER 7, 2007 AND WAS APPROVED ON DECEMBER 26, 2007. IT BE NO NET GAIN IN TRAFFIC, SINCE THE IMPROVEMENTS PROPOSED DO NOT RESULT IN ADDITIONAL PEOPLE TRAVELING TO SITE.
- ANY LIGHTING INSTALLED WILL MEET THE REQUIREMENTS OF THE HOWARD COUNTY ZONING REGULATIONS AND ANY LIGHTING USED TO ILLUMINATE OFF-STREET PARKING AREAS SHALL BE ARRANGED AS TO DIRECT THE LIGHT DOWN TOWARDS THE PARKING AREA AND AWAY FROM THE RESIDENTIAL DISTRICT AND ANY PUBLIC STREET RIGHT-OF-WAY.
- ANY FUTURE IMPROVEMENTS TO THIS SITE WILL REQUIRE COMPLIANCE WITH THE FOREST CONSERVATION MANUAL. THE FEE-ON-LIEU ANNUAL PAID IS FOR THE IMPROVEMENTS PROPOSED ON THIS SDC-08-30 (BASED ON A LOO OF 0.43 ACRES). ANY FUTURE IMPROVEMENTS TO THIS SITE MUST SATISFY THE REQUIREMENTS OF THE FOREST CONSERVATION LAW IN EFFECT AT THAT TIME.
- The building permit must be obtained on or before 4/30/11. Substantial construction must be completed on or before 4/30/12.*

- ### SITE ANALYSIS CHART
- Total project area: 22.6083 Acres
  - Area of site submission: 22.6083 Acres
  - Limit of disturbed area: 0.43 Acres
  - The subject property is zoned R-20
  - Proposed use: Office, Cemetery
  - Floor Space on each level: Office: 484 s.f./ Maintenance building: 2,400 s.f./
  - Total number of structures allowed: 2
  - Total number of structures on submission: 2
  - Maximum number of employees: 3
  - (1 Office, 2 Maintenance Building)
  - Parking Requirements: 1. Provide 1 handicapped
  - Parking spaces provided: 5
  - Open Space On-Site: 0.00 Acre
  - Recreation Open Space provided: n/a
  - Building Coverage: 0.07 Acre
  - Applicable DPZ File references: WP-07-053.



ADC MAP COOR. PG.12 GRID B-8 VICINITY MAP 1" = 2,000'



- ### LEGEND
- | SYMBOL  | DESCRIPTION                       |
|---------|-----------------------------------|
| ---     | EXISTING CONTOUR 2' INTERVAL      |
| +362.2  | PROPOSED SPOT ELEVATION           |
| ---     | PROPOSED CONTOURS                 |
| --- --- | SILT FENCE                        |
| TP      | TREE PROTECTION                   |
| LOO     | LIMIT OF DISTURBANCE              |
| ●       | EXISTING DECIDUOUS TREES > 8" DBH |
| ○       | TO BE REMOVED                     |
| ⊗       | EX. WATER METER                   |
| ⊕       | EX. STORM DRAIN MANHOLE           |
| ⊖       | EX. SEWER CLEANOUT                |
| ▨       | STRUCTURE TO BE REMOVED           |
| ▤       | EXISTING PAVEMENT                 |
| ▥       | PROPOSED MACADAM PAVEMENT         |
| +       | EXISTING GRAVE MARKER             |
| ○       | UTILITY POLE                      |
| —       | OVERHEAD UTILITY LINE             |
| —       | GUY WIRE                          |
| ○       | EX. METAL FENCE                   |
| ☆       | PROPOSED LIGHT POST               |
| ---     | 20' OTHER USE SETBACK             |

### SHEET INDEX

SHEET NO.	DESCRIPTION
SHEET 1	TITLE SHEET
SHEET 2	SITE PLAN (OFFICE)
SHEET 3	SITE PLAN (MAINTENANCE BUILDING)
SHEET 4	SEDIMENT/EROSION CONTROL NOTES & DETAILS

### BENCH MARKS

MONUMENT	COORDINATE	N.	E.
WOOD MONUMENT 248A		N. 586506.1767	E. 1361634.2891
WOOD MONUMENT 248A		N. 586783.241	E. 1359211.6558

WOOD MONUMENT VERMONT, GA-202  
BM #1 PK NAL SET IN MACADAM DRIVE AT ENTRANCE TO OFFICE; ELEV. 365.60 FEET  
BM #2 PROPERTY STONE; ELEV. 416.14 FEET

KEY PLAN SCALE: 1" = 100'

### ENGINEER'S CERTIFICATE

"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Signature of Engineer JOHN R. HEINRICHS, P.E. Date 7/24/08

### MARKS & ASSOCIATES LLC

4531 COLLEGE AVENUE  
ELICOTT CITY, MARYLAND 21043  
PH (410) 747-8738  
FAX (410) 747-8547

### BUILDER/DEVELOPER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan, for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

Paul L. Miller 7/19/08  
Signature of Developer PAUL L. MILLER Date

Approved for HOWARD SOD and meets Technical Requirements.

U.S.D.A. - Natural Resources Conservation Service Date

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

Howard SOD Date

### OWNER/DEVELOPER/BUILDER

SAINT JOHNS CEMETERY OF HOWARD COUNTY, INC.  
3480 SAINT JOHNS LANE  
ELICOTT CITY, MARYLAND 21042  
(410) 465-1800

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Karl S. Doolittle 8/12/08  
Chief, Department of Land Development Date

8/15/08  
Chief, Development Engineering Division Date

8/15/08  
Director - Department of Planning and Zoning Date

PROJECT	SECTION	LOT NO.
SAINT JOHNS CEMETERY	N/A	

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
	20	R-20	24	2 <sup>nd</sup>	6022.00

WATER CODE	SEWER CODE
H-08	5990000

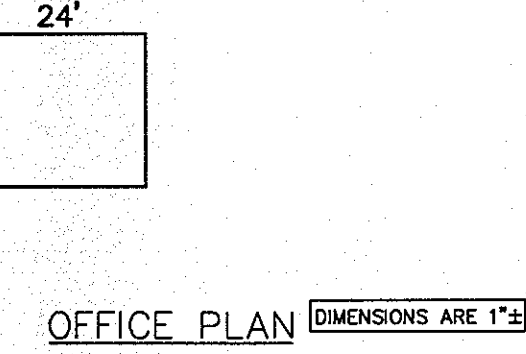
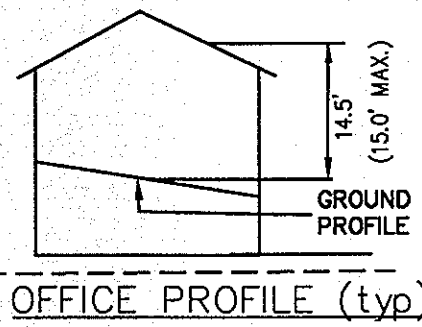
### TITLE SHEET NOTES-SITE DATA

## SAINT JOHNS CEMETERY

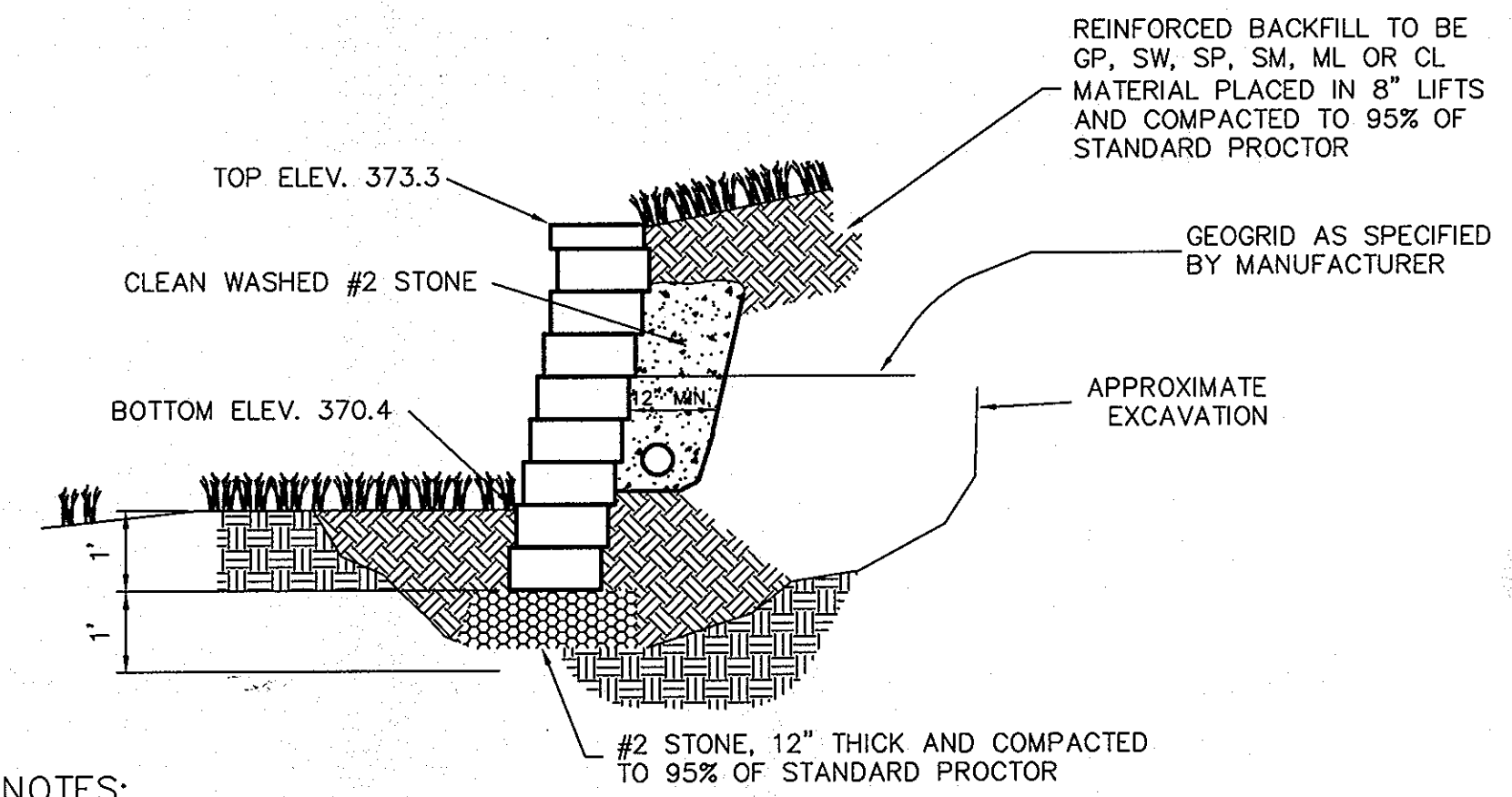
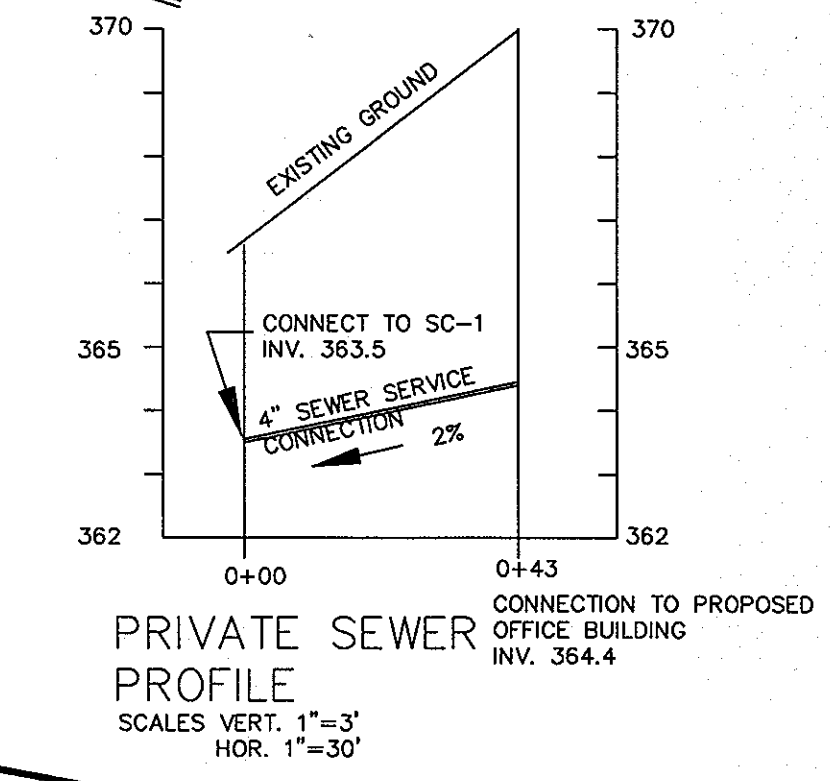
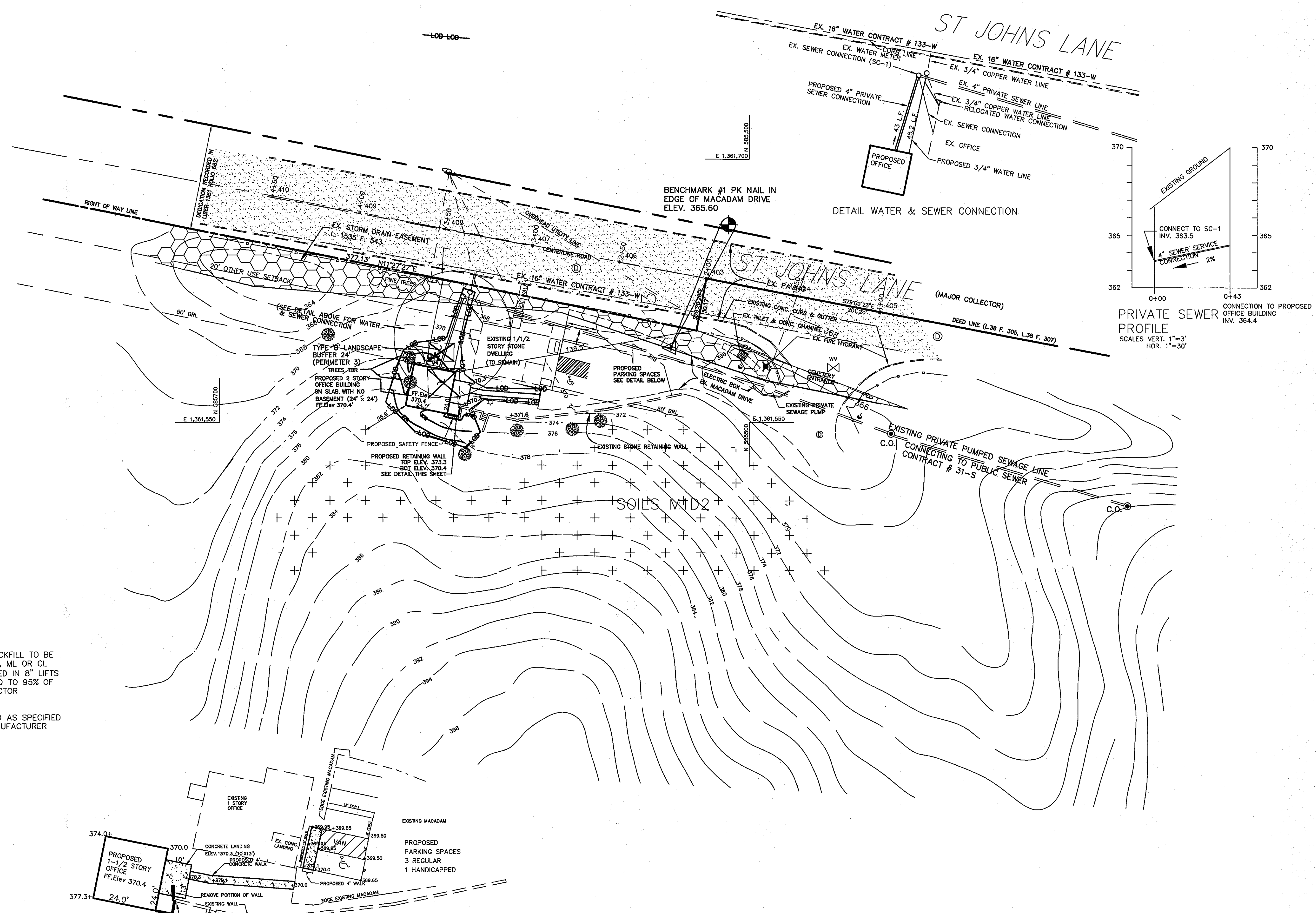
OFFICE AND MAINTENANCE BUILDING

TAX MAP NO: 24 PARCEL NO.: 759 GRID NO.: 11  
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: 1" = 100' DATE: JULY, 2008  
SHEET 1 OF 4 SDP-08-030

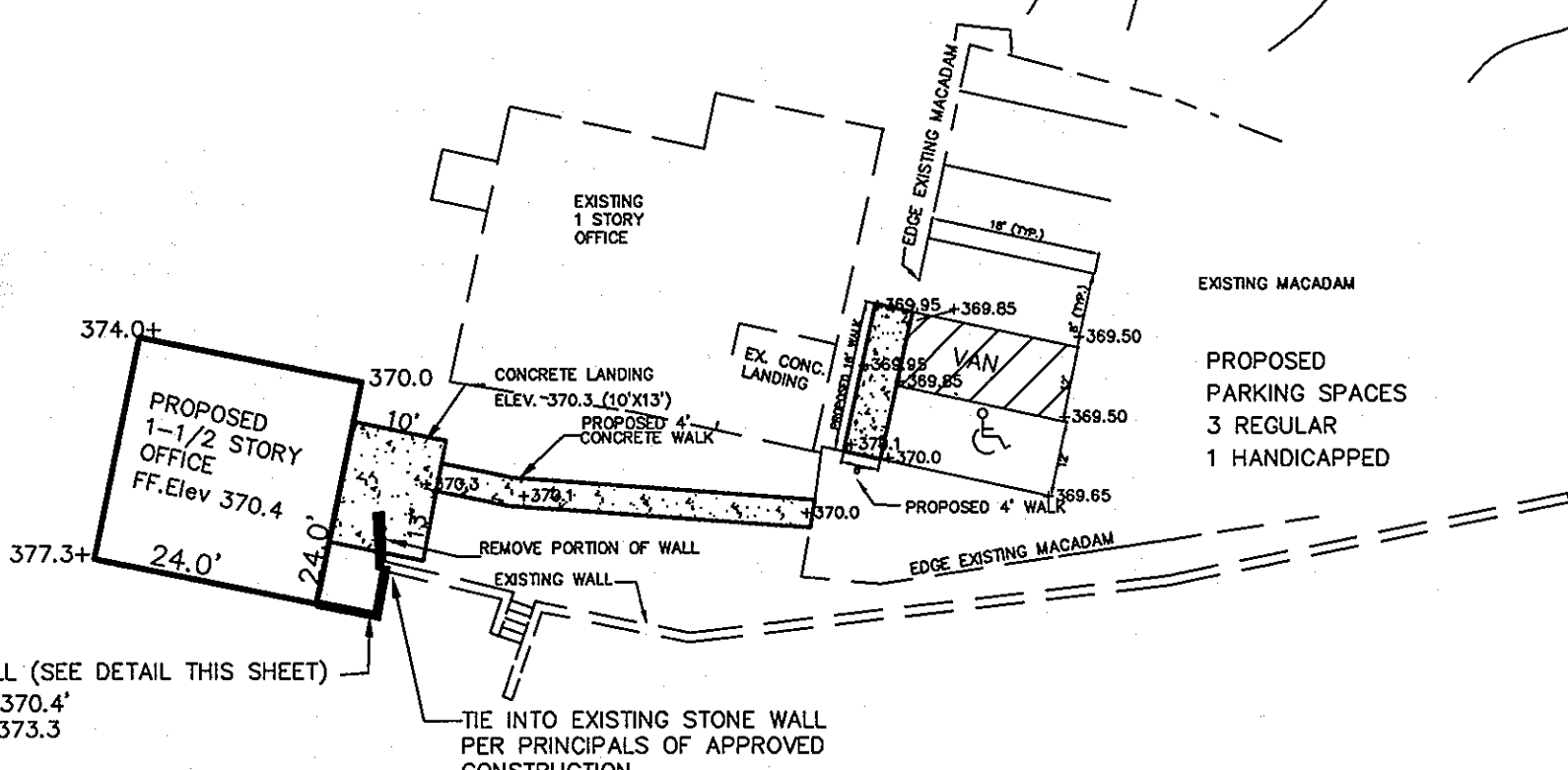
# SITE 1



- LEGEND**
- | SYMBOL  | DESCRIPTION                     |
|---------|---------------------------------|
| ---     | EXISTING CONTOUR 2' INTERVAL    |
| +362.2  | PROPOSED SPOT ELEVATION         |
| ---     | PROPOSED CONTOURS               |
| —S—S—   | SILT FENCE                      |
| —TP—TP— | TREE PROTECTION                 |
| LOD     | LIMIT OF DISTURBANCE            |
| ⊙       | EXISTING DECIDUOUS TREES > 8" # |
| TBR     | TO BE REMOVED                   |
| ⊙       | EX. WATER METER                 |
| ⊙       | EX. STORM DRAIN MANHOLE         |
| ⊙       | EX. SEWER CLEANOUT              |
| ⊗       | STRUCTURE TO BE REMOVED         |
| ▨       | EXISTING PAVEMENT               |
| ▨       | PROPOSED MACADAM PAVEMENT       |
| +       | EXISTING GRAVE MARKER           |
| ⊙       | UTILITY POLE                    |
| —       | OVERHEAD UTILITY LINE           |
| —       | GUY WIRE                        |
| ⊙       | EX. METAL FENCE                 |
| ☆       | PROPOSED LIGHT POST             |



**RETAINING WALL DETAIL**  
NOT TO SCALE



**OFFICE AND HANDICAP PARKING DETAIL**  
SCALE: 1"=20'

SOILS TABLE		
SYMBOL	SOIL DESCRIPTION	HSG
MD2	MANOR LOAM, 15 to 25% SLOPES, MODERATELY ERODED	B
GD2	GLENELG LOAM, 3 to 8% SLOPES, MODERATELY ERODED	B

**GENERAL LANDSCAPE NOTE:**  
The owner, tenant, and/or their agents shall be responsible for maintenance of the required landscaping and plant materials. All plant materials shall be maintained in good growing condition, and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.

**ENGINEER'S CERTIFICATE**  
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature of Engineer JOHN R. HEINRICHS, P.E. Date 7/24/08

**MARKS & ASSOCIATES LLC**  
4531 COLLEGE AVENUE  
ELLICOTT CITY, MARYLAND 21043  
PH (410) 747-8738  
FAX (410) 747-8547

**BUILDER/DEVELOPER'S CERTIFICATE**  
I/We certify that all development and construction will be done according to this plan, for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Signature of Developer PAUL L. MILLER Date 7-18-08

Reviewed for HOWARD SCD and meets Technical Requirements.

U.S.D.A. - Natural Resources Conservation Service Date

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

Howard SCD Date

**OWNER/DEVELOPER/BUILDER**  
SAINT JOHNS CEMETERY OF HOWARD COUNTY, INC.  
3480 SAINT JOHNS LANE  
Ellicott City, Maryland 21042  
(410) 465-1800

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development Date 8/14/08

Chief, Department Engineering Division Date 8/11/08

Director - Department of Planning and Zoning Date 8/15/08

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
N/A	11	R-20	24	2 <sup>nd</sup>	6022.00

WATER CODE H-08 SEWER CODE 5990000

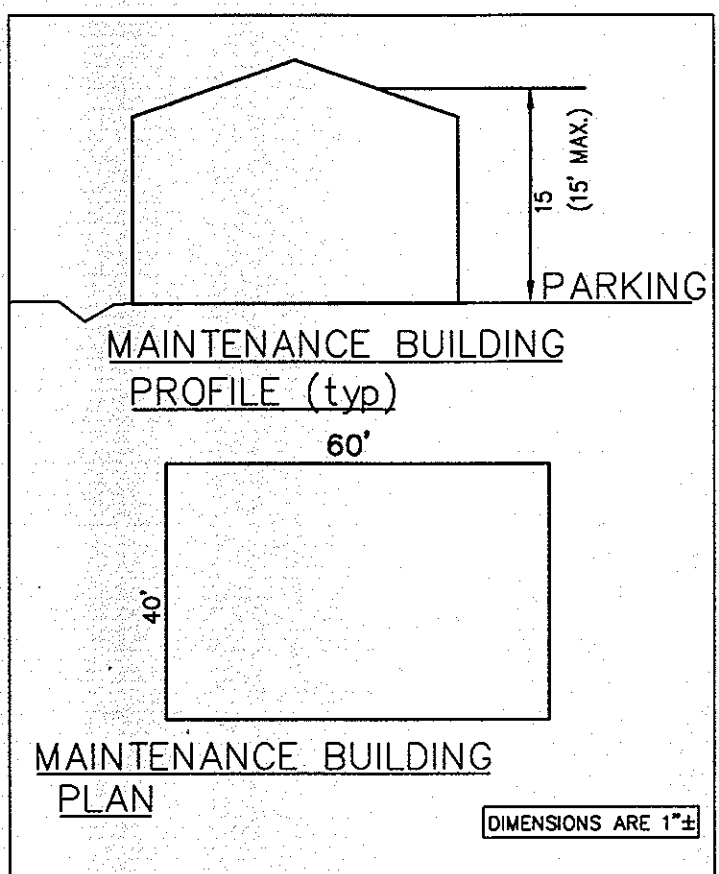
**SITE ONE OFFICE BUILDING**

**SAINT JOHNS CEMETERY**  
OFFICE, MAINTENANCE BUILDING & LANDSCAPE PLAN

TAX MAP NO: 24 PARCEL NO.: 759 GRID NO.: 11  
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: 1"= 30' DATE: JULY, 2008

SHEET 2 OF 4 SDP-08-030

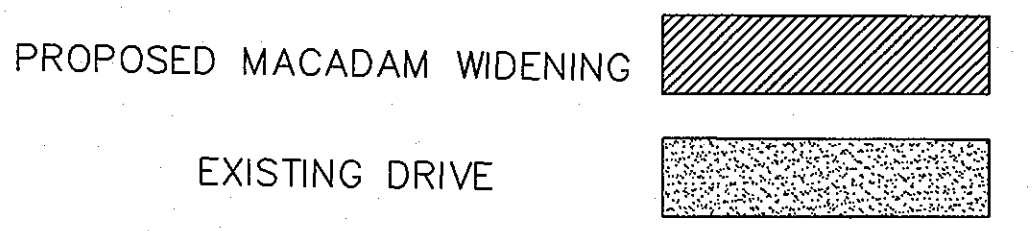
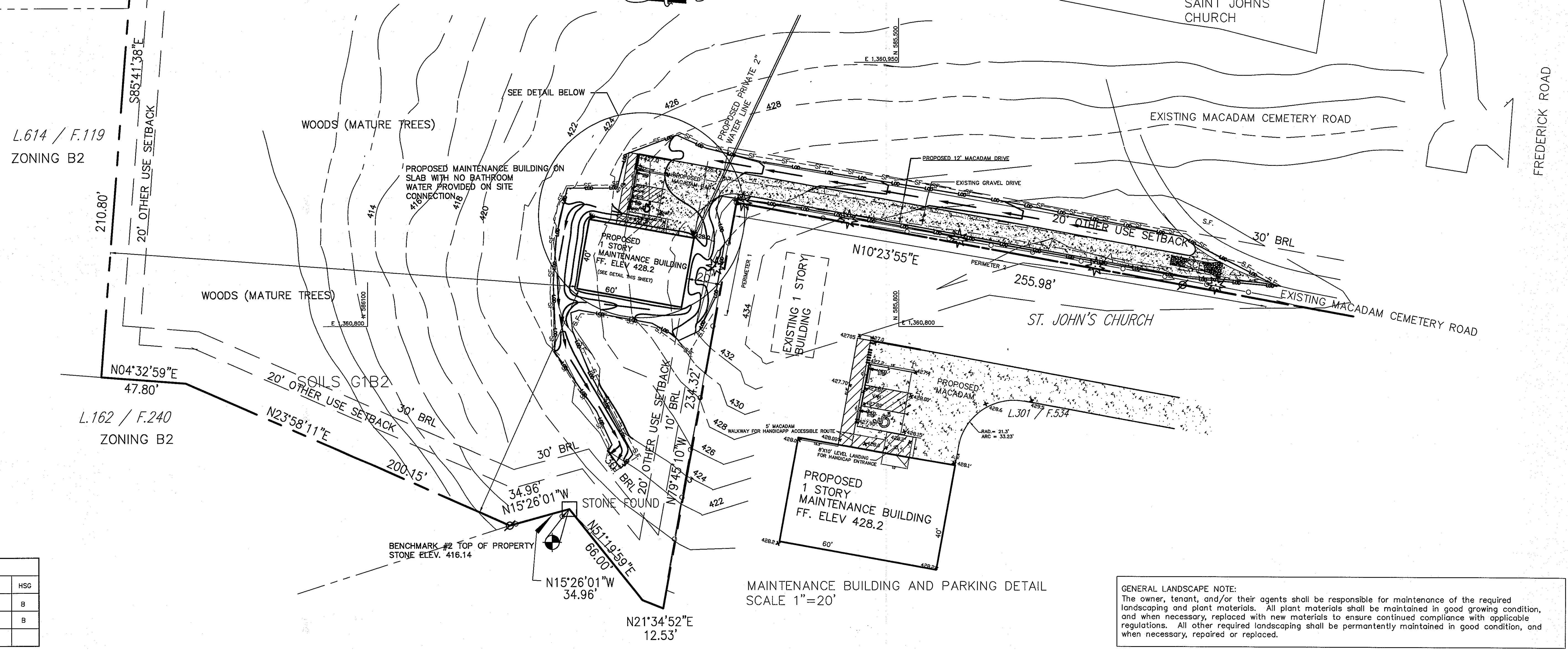
SDP-08-030



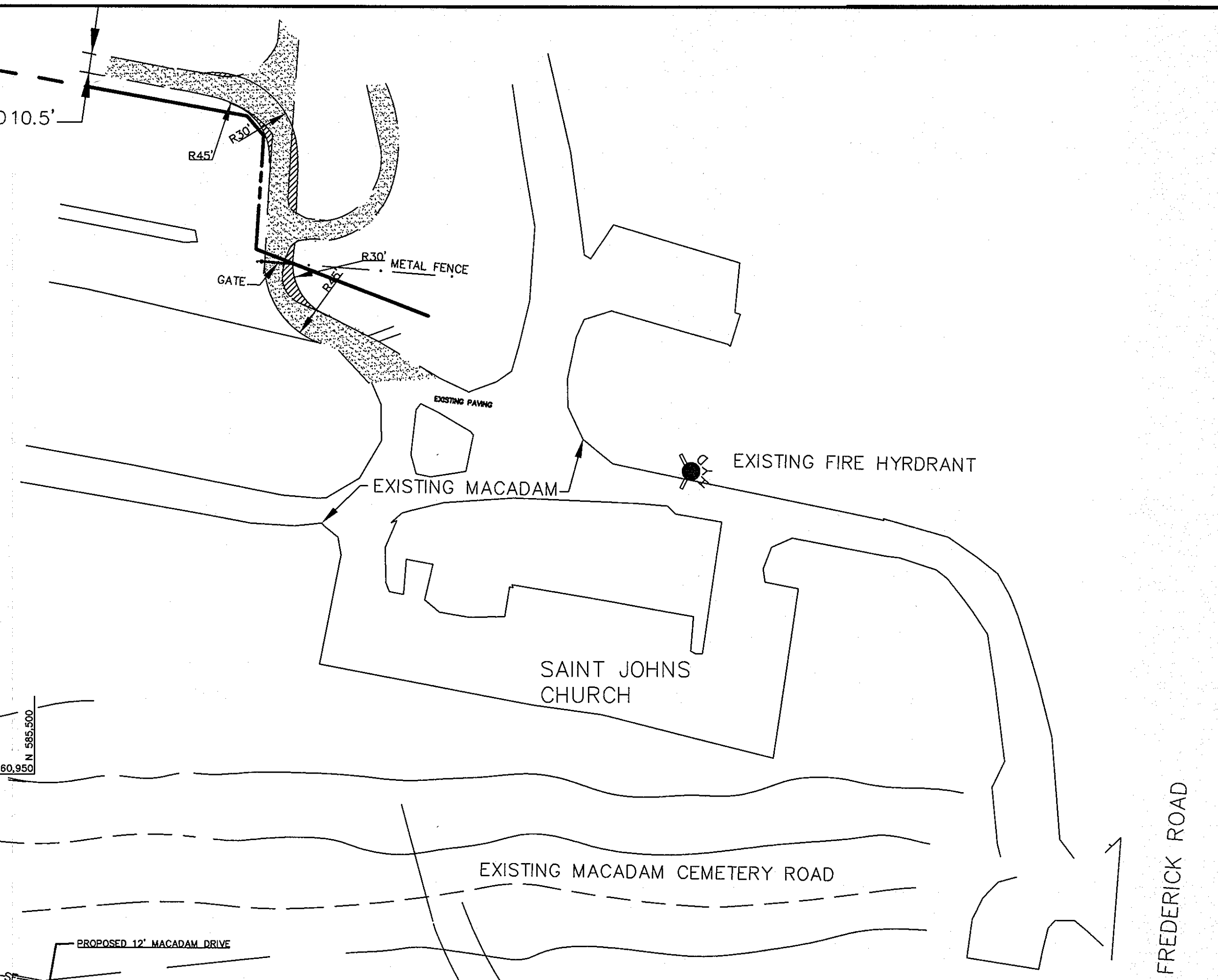
FAIRVIEW FEDERAL  
L.6728 / F.119  
FAIRVIEW FEDERAL  
L.561 / F.721  
ZONING B2  
PARCEL 1047

LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
+362.2	PROPOSED SPOT ELEVATION
---	PROPOSED CONTOURS
SF	SILT FENCE
TP	TREE PROTECTION
---	LIMIT OF DISTURBANCE
●	EXISTING DECIDUOUS TREES > 8" φ
TBR	TO BE REMOVED
⊗	EX. WATER METER
⊙	EX STORM DRAIN MANHOLE
⊕	EX. SEWER CLEANOUT
---	STRUCTURE TO BE REMOVED
---	EXISTING PAVEMENT
---	PROPOSED MACADAM PAVEMENT
+	EXISTING GRAVE MARKER
▲	FLOODLIGHT

# SITE 2



DETAIL OF TURNING RADIUS FOR FIRE TRUCKS  
SCALE: 1"=50'



MAINTENANCE BUILDING AND PARKING DETAIL  
SCALE 1"=20'

GENERAL LANDSCAPE NOTE:  
The owner, tenant, and/or their agents shall be responsible for maintenance of the required landscaping and plant materials. All plant materials shall be maintained in good growing condition, and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.

SOILS TABLE		
SYMBOL	SOIL DESCRIPTION	HSG
M02	MANOR LOAM, 15 to 25% SLOPES, MODERATELY ERODED	B
G02	GLENELG LOAM, 3 to 8% SLOPES, MODERATELY ERODED	B

**ENGINEER'S CERTIFICATE**  
I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

*[Signature]*  
Signature of Engineer JOHN R. HEINRICH, P.E. Date 7/24/08

**MARKS & ASSOCIATES LLC**  
4531 COLLEGE AVENUE  
ELLICOTT CITY, MARYLAND 21043  
PH (410) 747-8738  
FAX (410) 747-8547

**BUILDER/DEVELOPER'S CERTIFICATE**  
I/We certify that all development and construction will be done according to this plan, for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

*[Signature]*  
Signature of Developer PAUL L. MILLER Date 7/18/08

Reviewed for HOWARD SOIL CONSERVATION DISTRICT  
S.D.M. - Natural Resources Conservation Service Date 8/1/08

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.  
*[Signature]* 8/1/08

**OWNER/DEVELOPER/BUILDER**  
SAINT JOHN'S CEMETERY OF HOWARD COUNTY, INC.  
3480 SAINT JOHN'S LANE  
Ellicott City, Maryland 21042  
(410) 465-1800

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
*[Signature]* 8/12/08  
Chief, Division of Land Development  
*[Signature]* 8/11/08  
Chief, Development Engineering Division  
*[Signature]* 8/15/08  
Director - Department of Planning and Zoning

PROJECT	SAINT JOHN'S CEMETERY	SECTION	N/A	LOT NO.	N/A
PLAT	N/A	BLOCK NO.	11	ZONE	R-20
TAX/ZONE	24	ELEC. DIST.	2 <sup>nd</sup>	CENSUS TR.	6022.00
WATER CODE	H-08	SEWER CODE	5990000		

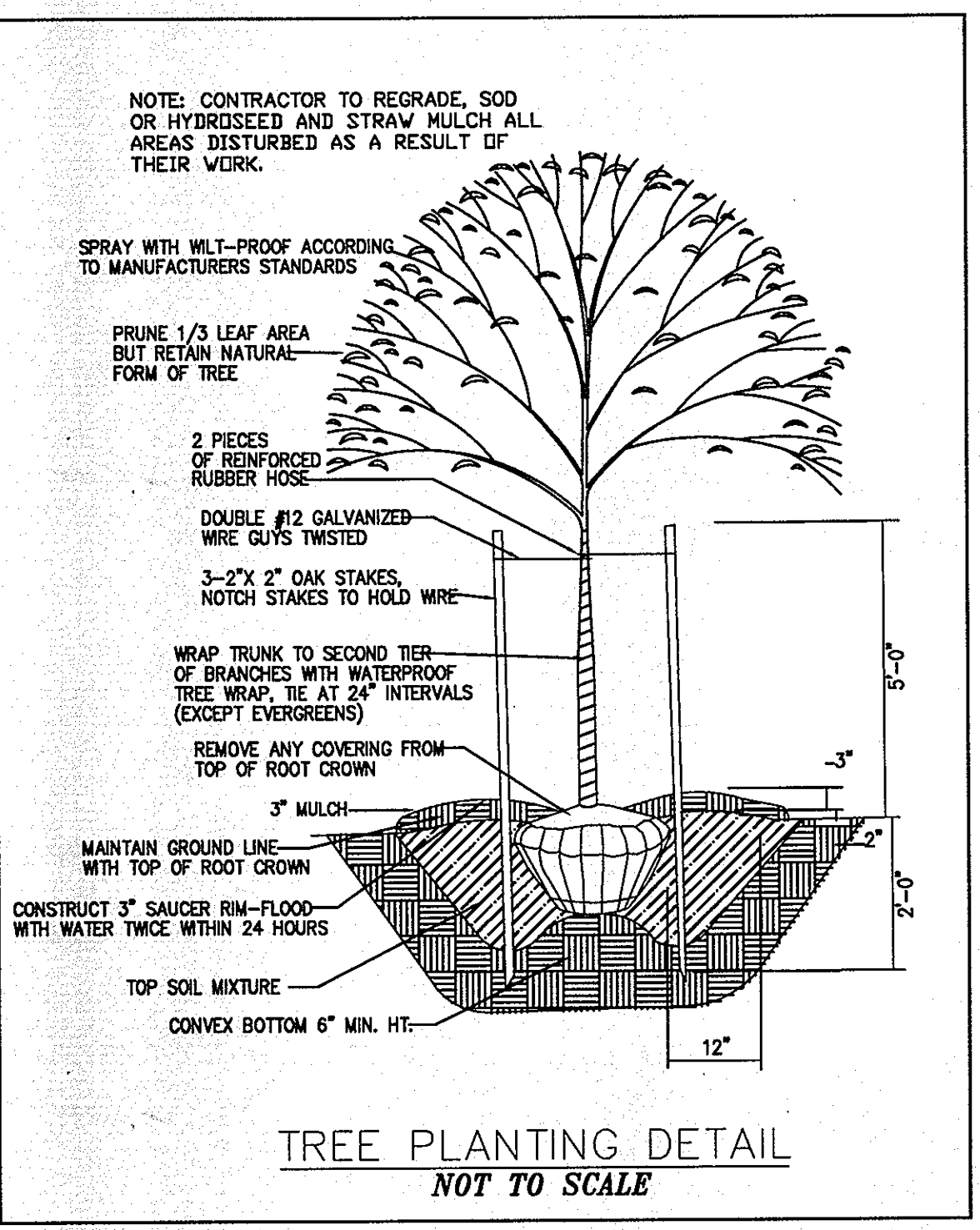
**SITE TWO MAINTENANCE BUILDING**

**SAINT JOHN'S CEMETERY**  
OFFICE, MAINTENANCE BUILDING & LANDSCAPE PLAN

TAX MAP NO: 24 PARCEL NO.: 759 GRID NO.: 11  
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: 1"= 30' DATE: JULY, 2008

SHEET 3 OF 4 SDP-08-030

SDP-08-030



PLANT LIST

QTY	BOTANICAL NAME	SIZE	ROOT
12	ACER RUBRUM/RED MAPLE	2 1/2"-3" CAL. B & B	

COMMENTS: SCHEDULE A PERIMETER LANDSCAPE EDGE

CATEGORY	ADJACENT TO PERIMETER PROPERTIES	PERIMETER EDGE		
		1	2	3
LANDSCAPE TYPE				
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	368' TYPE A 24' TYPE B	64	304	24'
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET)		NO	NO	NO
REQUIRED LINEAR FEET AFTER CREDIT	368	64	304	24'
NUMBER OF TREES REQUIRED	368/60' TYPE A = (6) 24/50' TYPE B = (1)	1	5	1
NUMBER OF PLANTS REQUIRED		0	0	0
NUMBER OF TREES PROVIDED		0	0	0
SHADE TREES (7)				

LANDSCAPING IS NOT REQUIRED ALONG THE NORTHERN AND EASTERN SIDES OF THE MAINTENANCE BUILDING BECAUSE THEY ARE INTERNAL TO THE SITE.  
LANDSCAPING IS NOT REQUIRED ALONG THE NORTHERN, WESTERN AND SOUTHERN SIDES OF THE OFFICE BUILDING BECAUSE THEY ARE INTERNAL TO THE SITE.

**FINANCIAL SURETY FOR THE REQUIRED 7 TREES IN THE AMOUNT OF \$2,000.00 PART OF THE BUILDERS CREDITING PERMIT APPLICATION FOR THE OFFICE AND MAINTENANCE BUILDING.**

(O) EVERGREEN TREES (SUBSTITUTION)  
(O) OTHER TREES (2) (SUBSTITUTION)  
(O) SHRUBS (10) (SUBSTITUTION)

**STANDARDS AND SPECIFICATIONS FOR TOPSOIL FOR SITES UNDER 5 ACRES**

**Definition**  
Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

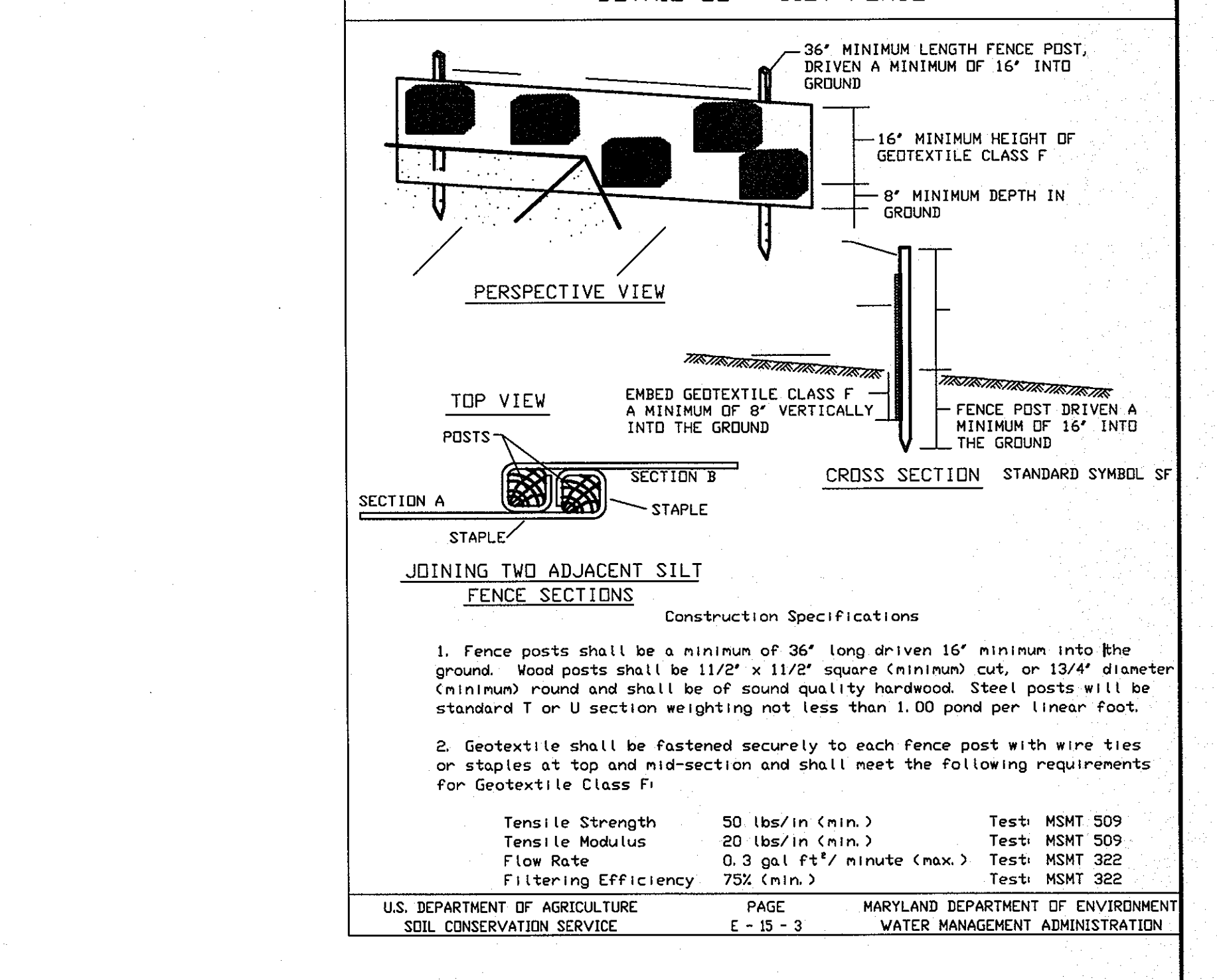
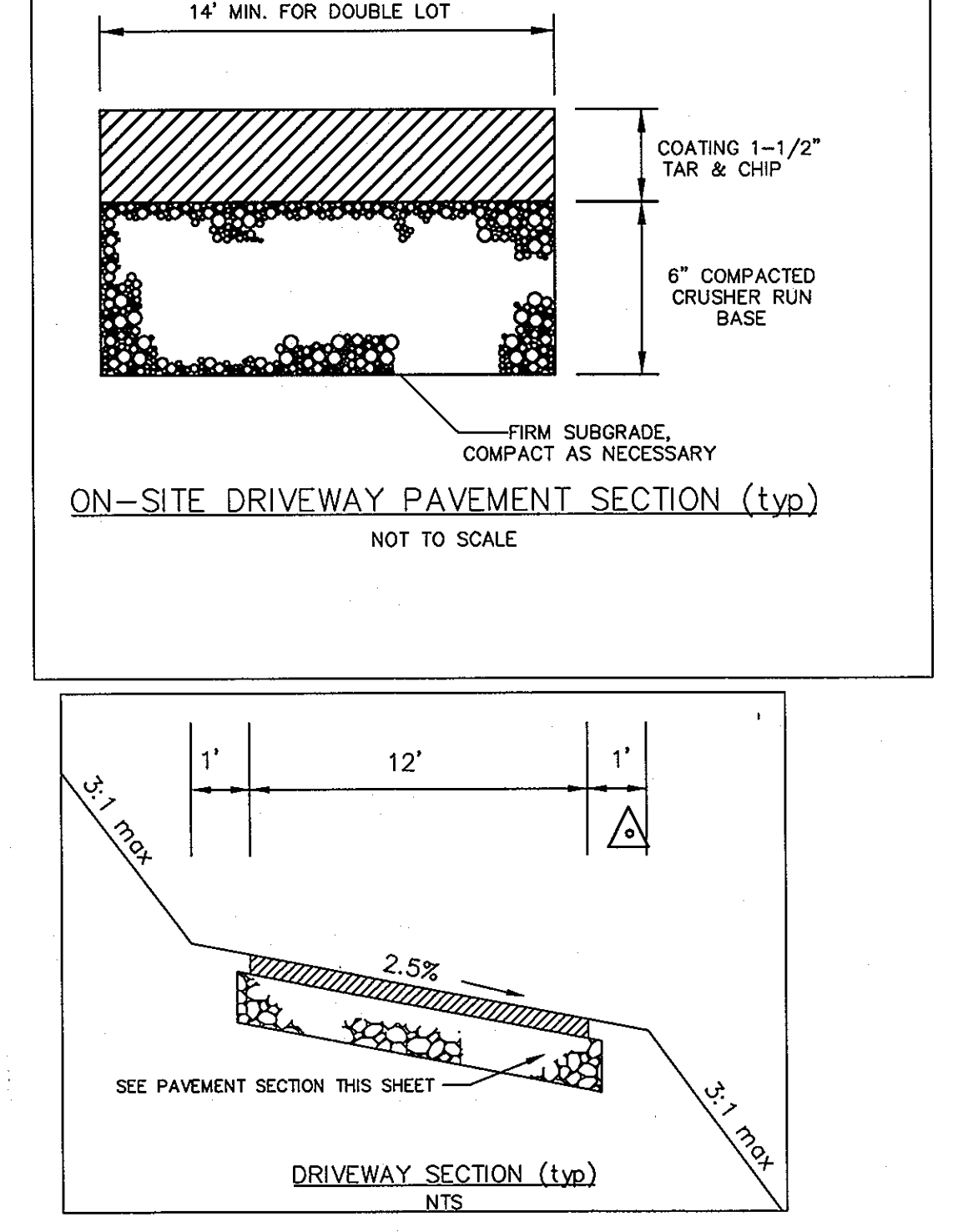
**Purpose**  
To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

**Conditions Where Practice Applies**

- This practice is limited to areas having 2:1 or flatter slopes where:
  - The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
  - The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
  - The original soil to be vegetated contains material toxic to plant growth.
  - The soil is so acidic that treatment with limestone is not feasible.
- For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

**Construction and Material Specifications**

- Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experiment Station.
- Topsoil Specifications - Soil to be used as topsoil must meet the following:
  - Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1.5" in diameter.
  - Topsoil must be free of plants or plant parts such as bermuda grass, quackgrass, Johnson grass, nutgrass, poison ivy, thistle, or others as specified.
  - Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.
- For sites having disturbed areas under 5 acres:
  - Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.



**TEMPORARY SEEDING NOTES**

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

**SEEDBED PREPARATION:**  
LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

**SOIL AMENDMENTS:**  
APPLY 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1,000 SQ.FT.)

**SEEDING:**  
FOR THE PERIODS MARCH 1 THROUGH APRIL 30, AND AUGUST 15 THROUGH NOVEMBER 15, SEED WITH 14 BUSHEL PER ACRE OF ANNUAL RYE (3.2 LBS./ACRE OF WEEPING LOVEGRASS (07 LBS./1,000 SQ.FT. FOR THE PERIOD NOVEMBER 16 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOO.

**MULCHING:**  
APPLY 1 TO 2 TONS PER ACRE (70 TO 90 LBS./1,000 SQ.FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL./1,000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT ACRES ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL./1,000 SQ.FT.) FOR ANCHORING.

REFER TO THE 1988 MARYLAND STANDARDS AND SPECIFICATION FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED ABOVE.

**PERMANENT SEEDING NOTES**

ALL DISTURBED AREAS SHALL BE STABILIZED AS FOLLOWS.

**SEEDBED PREPARATION:**  
LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING.

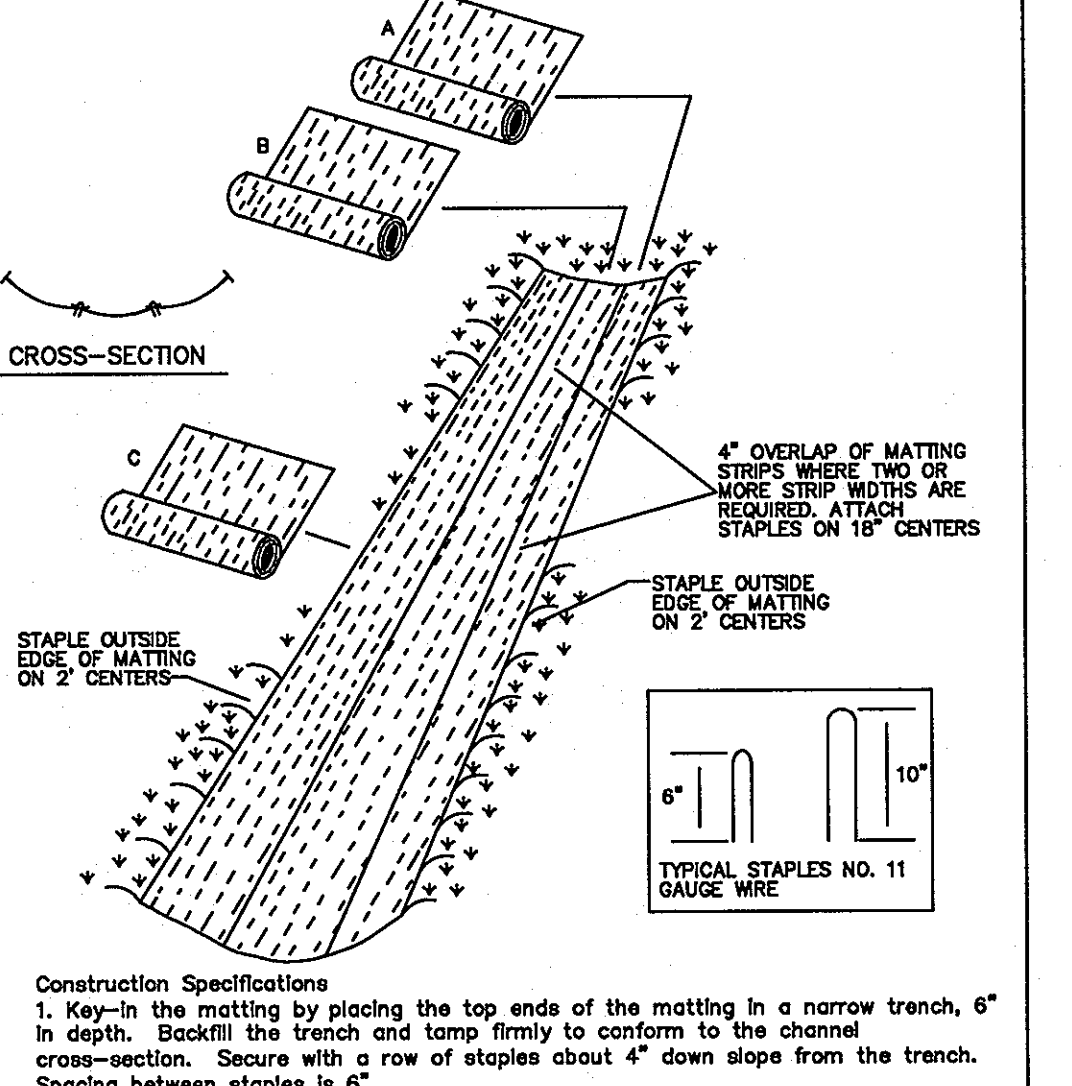
**SOIL AMENDMENTS:**  
APPLY TWO TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS./1,000 SQ.FT.) AND 600 LBS. PER ACRE 0-20-20 FERTILIZER (14 LBS./1,000 SQ.FT.) BEFORE SEEDING HARROW OR DISC INTO UPPER THREE INCHES OF SOIL. AT TIME OF SEEDING, APPLY 400 LBS. PER ACRE 38-0-0 UREAFORM FERTILIZER (9 LBS./1,000 SQ.FT.) AND 500 LBS. PER ACRE (11.5 LBS./1,000 SQ.FT.) OF 10-20-20 FERTILIZER.

**SEEDING:**  
FOR THE PERIODS MARCH 1 THROUGH APRIL 30, AND AUGUST 1 THROUGH OCTOBER 15, SEED WITH 100 LBS. PER ACRE (2.3 LBS./1,000 SQ.FT.) OF KENTUCKY 31 TALL FESCUE, FOR MAY 1 THROUGH JULY 31, SEED WITH 60 LBS./ACRE (1.4 LBS./1,000 SQ.FT.) KENTUCKY 31 TALL FESCUE AND 2 LBS. PER ACRE (0.05 LBS./1,000 SQ.FT.) OF WEEPING LOVEGRASS, DURING THE PERIOD OF OCTOBER 16 THROUGH FEBRUARY 28, PROJECT SITE BY: OPTION (1) - TWO TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING; OPTION (2) - USE SOO; OPTION (3) - SEED WITH 100 LBS./ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH TWO TONS/ACRE WELL ANCHORED STRAW. ALL SLOPES SHOULD BE HYDROSEEDED.

**MULCHING:**  
APPLY 1 TO 2 TONS PER ACRE (10 TO 90 LBS./1,000 SQ.FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING 200 GALLONS PER ACRE (5 GAL./1,000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT ACRES, ON SLOPES 8 FEET OR HIGHER USE 348 GALLONS PER ACRE (8 GAL./1,000 SQ.FT.) FOR ANCHORING.

**MAINTENANCE:**  
INSPECT ALL SEEDED AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

**NOTE:** FOR PUBLIC PONDS SUBSTITUTE CHEMUNG CROWNVECH AT 15 LBS./ACRE AND KENTUCKY 31 TALL FESCUE AT 40 LBS./ACRE AS THE SEEDING REQUIREMENT. OPTIMUM SEEDING DATE FOR THIS MIXTURE IS MARCH 1 TO APRIL 30.



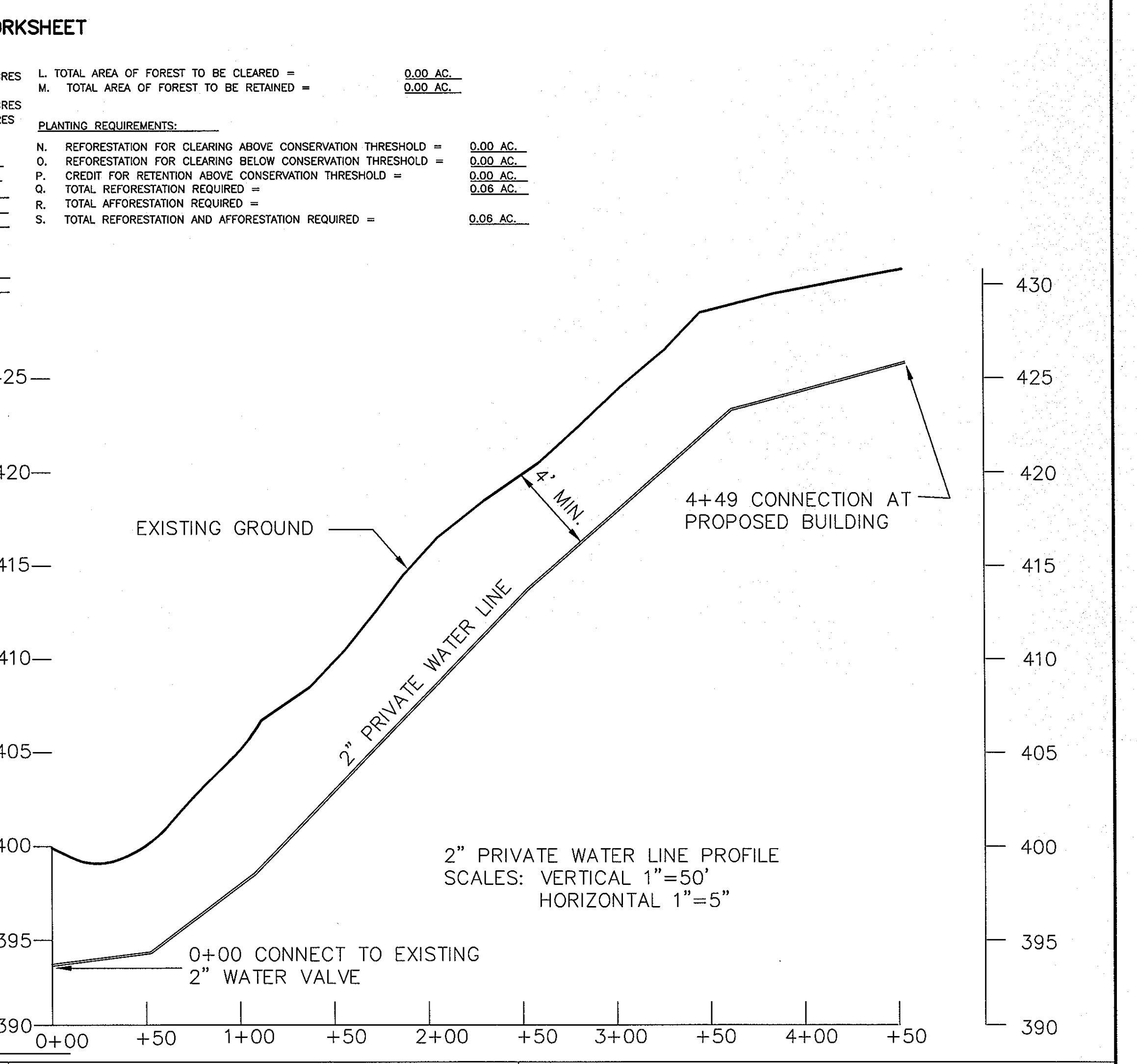
**FOREST CONSERVATION WORKSHEET**

L. BASIC SITE DATA

A. TOTAL TRACT AREA	22.60 ACRES
B. AREA WITHIN 100 YEAR FLOODPLAIN	0.0
C. AREA OUTSIDE LOD	22.17 ACRES
D. NET TRACT AREA	0.43 ACRES

E. LAND USE CATEGORY: IDA R-20  
F. AFFORESTATION THRESHOLD: 15% X D = 0.08 AC.  
G. CONSERVATION THRESHOLD: 20% X D = 0.08 AC.  
H. EXISTING FOREST COVER (EXCLUDING FLOODPLAIN) = 0.00 AC.  
I. AREA OF FOREST ABOVE AFFORESTATION THRESHOLD = 0.00 AC.  
J. AREA OF FOREST ABOVE CONSERVATION THRESHOLD = 0.00 AC.  
K. BREAK EVEN POINT  
L. FOREST RETENTION ABOVE THRESHOLD WITH NO MITIGATION = 0.00 AC.  
M. CLEARING PERMITTED WITHOUT MITIGATION = 0.00 AC.

N. REFORESTATION FOR CLEARING ABOVE CONSERVATION THRESHOLD = 0.00 AC.  
O. REFORESTATION FOR CLEARING BELOW CONSERVATION THRESHOLD = 0.00 AC.  
P. CREDIT FOR RETENTION ABOVE CONSERVATION THRESHOLD = 0.00 AC.  
Q. TOTAL REFORESTATION REQUIRED = 0.00 AC.  
R. TOTAL AFFORESTATION REQUIRED = 0.00 AC.  
S. TOTAL REFORESTATION AND AFFORESTATION REQUIRED = 0.00 AC.



**SEDIMENT CONTROL NOTES**

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSING AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (313-1855).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERETO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: a) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3:1, b) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOW MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING (SEC. 51), SOO (SEC. 54), TEMPORARY SEEDING (SEC. 50), AND MULCHING (SEC. 52). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

**SEQUENCE OF CONSTRUCTION**

- OBTAIN GRADING PERMIT
- NOTIFY HOWARD COUNTY D.I.L.P. (410-313-1330) AND MISS UTILITY (800-257-7777) AT LEAST TWO (2) DAYS PRIOR TO BEGINNING WORK (7 DAYS)
- INSTALL PERIMETER SEDIMENT AND EROSION CONTROL DEVICES (SILT FENCE, S.C.E., TREE PROTECTION FENCING). (2 DAYS)
- CLEAR AND GRUB AND BEGIN SITE GRADING WITHIN LIMITS OF DISTURBANCE. (10 DAYS)
- INSTALL TEMPORARY SEEDING. (2 DAYS)
- CONSTRUCT HOUSE AND DRIVEWAY. (120 DAYS)
- FINE GRADE AND INSTALL PERMANENT SEEDING AND LANDSCAPING. (14 DAYS)
- WHEN ALL UPSTREAM AREAS HAVE BEEN STABILIZED (I.E., HAVE ESTABLISHED VEGETATION OR IS PAVED), OUTFALL DRAIN AND RELATED PLANTINGS. (14 DAYS)
- WITH PERMISSION OF THE S.E.C. INSPECTOR, REMOVE SEDIMENT CONTROL DEVICES AND STABILIZE AREAS DISTURBED BY THIS PROCESS. (5 DAYS)

**ENGINEER'S CERTIFICATE**

"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

**MARKS & ASSOCIATES LLC**  
4531 COLLEGE AVENUE  
ELLICOTT CITY, MARYLAND 21043  
PH (410) 747-8738  
FAX (410) 747-8547

**BUILDER/DEVELOPER'S CERTIFICATE**

"I/We certify that all development and construction will be done according to this plan, for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

**OWNER/DEVELOPER/BUILDER**  
SAINT JOHNS CEMETERY OF HOWARD COUNTY, INC.  
3480 SAINT JOHNS LANE  
ELLICOTT CITY, MARYLAND 21042  
(410) 465-1800

**APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING**

Chief, Division of Land Development: 8/12/08  
Chief, Development Engineering Division: 8/11/08  
Director - Department of Planning and Zoning: 8/15/08

**REVISIONS**

NO.	REVISION	DATE

**DETAILS SEDIMENT/EROSION CONTROL**

**SAINT JOHNS CEMETERY**  
OFFICE, MAINTENANCE BUILDING & LANDSCAPE PLAN

TAX MAP NO: 24 PARCEL NO.: 759 GRID NO.: 11  
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: 1"= 30' DATE: JULY, 2008

SHEET 4 OF 4 SDP-08-030

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
16622	20	R-20	17	2 <sup>nd</sup>	6022.00

Signature of Engineer JOHN R. HEINRICHS, P.E. Date 7/24/08

Signature of Developer PAUL L. MILLER Date 7/18/08

Signature of Howard SCD Date 8/17/08

Signature of Planning and Zoning Date 8/15/08

Signature of Planning and Zoning Date 8/15/08

SDP-08-030