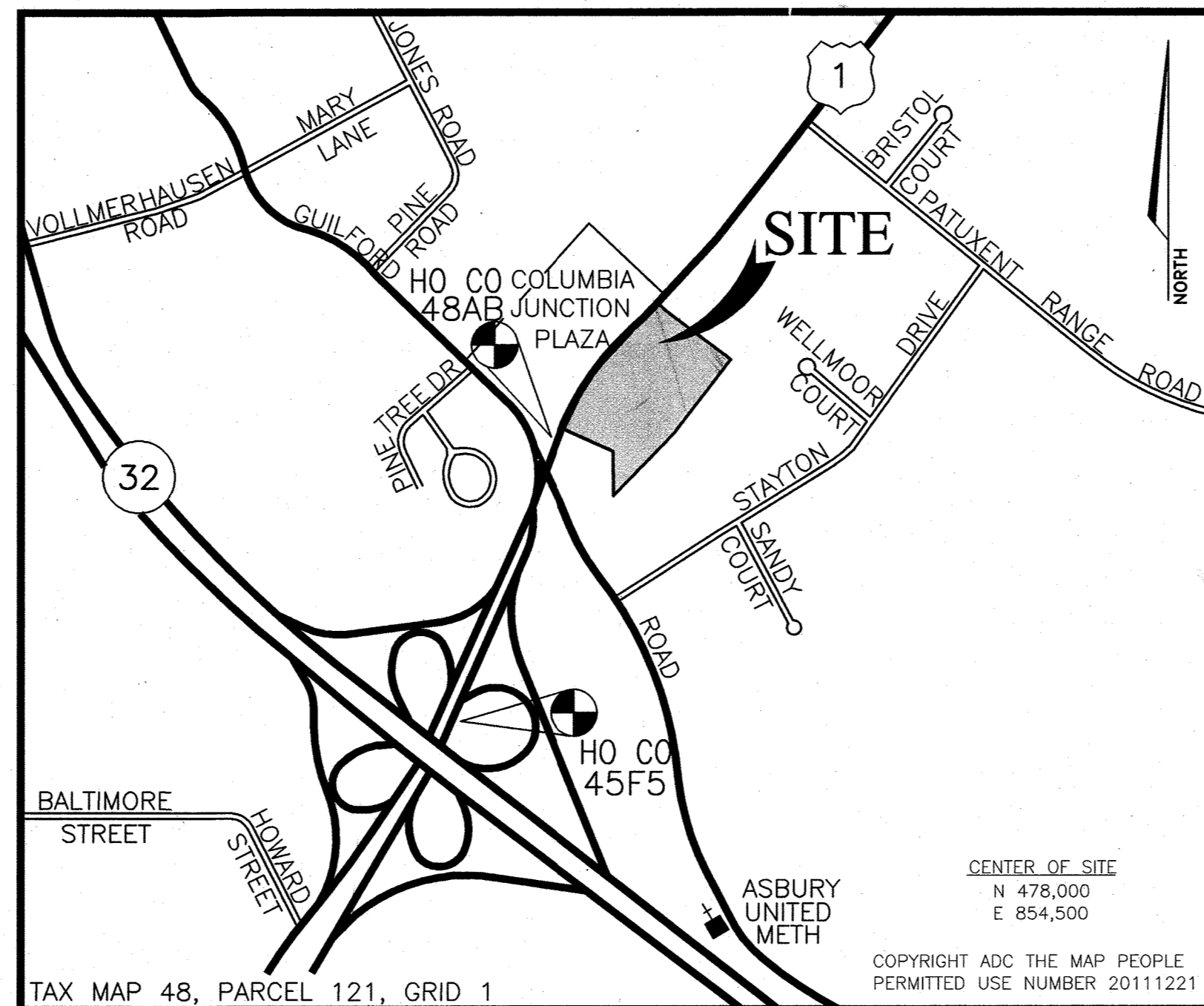


GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS. SHA SHOULD BE NOTIFIED PRIOR TO ANY WORK ALONG US ROUTE 1.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE(5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO BOTTOM FACE OF CURB UNLESS OTHERWISE NOTED.
- THE EXISTING TOPOGRAPHY IS TAKEN FROM AERIAL SURVEY WITH 2 FOOT CONTOUR INTERVALS PREPARED BY POTOMAC AERIAL SURVEYS DATED JANUARY 2006.
- THE COORDINATES SHOWN HEREON ARE BASED UPON HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. WERE USED FOR THIS PROJECT.
- WATER IS PUBLIC. WATER TO BE SERVICED BY CONTRACT #44-3931-D.
- SEWER IS PUBLIC. SEWER TO BE SERVICED BY CONTRACT #20-3861-D.
- EXISTING SEWER RIMS & INVERTS ARE BASED ON FIELD RUN SURVEYED LOCATIONS AND ELEVATIONS. ALL OTHER EXISTING UTILITIES BASED ON AVAILABLE INFORMATION.
- THE WETLANDS DELINEATION STUDY FOR THIS PROJECT WAS PREPARED BY JOHN E. HARMS, JR. & ASSOCIATES INC. DATED JUNE 2007.
- THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED AUGUST 7, 2007 AND WAS APPROVED ON DECEMBER 7, 2007. THE TRAFFIC STUDY FOR THE ADDITIONAL SERVICES BAYS WAS PREPARED BY MARB GROUP, DATED MAY 2017. THIS STUDY DOES NOT IMPACT THE CURRENT INTERSECTION.
- PROJECT BACKGROUND INFORMATION:
 SUBDIVISION NAME: PENSKE
 TAX MAP: 48
 GRID: 1
 LOT/PARCEL: 121
 ZONING: CE-CL1
 Z/FRA REFERENCE: N/A
 ELECTION DISTRICT: 6TH
 SITE AREA: 17.5 ACRES
 DPZ REFERENCE NUMBER: BA-06-028N; SOP-89-78; WP-08-011; F-08-19
 REQUIRED PARKING: 229 SPACES (2 SPACE PER 1000 SQ.FT. X 7,432 SQ.FT. + 3 SPACES PER SERVICE BAY X 6 SERVICE BAYS + 1 SPACE PER 1000 SQ.FT. X 199,827 SQ.FT.)
 PROPOSED PARKING: 312 SPACES (INCLUDING 25 SPACES FOR STORAGE OF RENTAL VEHICLES).
 PEDESTRIAN AMENITY AREA: NET SITE AREA IS 14.02 ACRES (SITE AREA LESS ROW DEDICATION & FOREST CONSERVATION AREA)
 REQUIRED = 14.02 ACRES X 0.05 = 0.70 ACRES
 PROVIDED = 0.71 ACRES
- NO FLOODPLAIN OR STREAMS EXIST ON-SITE.
- STORMWATER MANAGEMENT QUALITY CONTROL TO BE PROVIDED VIA THREE BIORETENTION FACILITIES. SITE IS CONSIDERED REDEVELOPMENT. ONLY WATER QUALITY CONTROL IS REQUIRED. A SUPPLEMENTAL GEOTECHNICAL STUDY PREPARED BY SPECIALIZED ENGINEERING HAS BEEN SUBMITTED ALONG WITH THIS SDP WHICH ESTABLISHED PRIOR LIMITS OF DISTURBANCE ON-SITE AND ARE THEREFORE CONSIDERED IMPERVIOUS FOR THE EXISTING CONDITIONS. THE IMPERVIOUS AREA PROPOSED IS LESS THAN THAT CONSIDERED AS EXISTING IMPERVIOUS, THEREFORE Rev IS NOT REQUIRED. SEE REPORT FOR DETAILS. ALL THREE BIORETENTION FACILITIES ARE TO BE PRIVATELY OWNED AND MAINTAINED.
- FOR PROPOSED LIGHTING, SEE SHEETS 21 AND 22.
- ON DECEMBER 11, 2006 UNDER BA-06-028N, CONFIRMATION AND EXPANSION OF A NONCONFORMING USE RENTAL VEHICLE FACILITY WITH STORAGE, REPAIR AND FUEL DISPENSING FACILITY LOCATED IN A CE-CL1 ZONING DISTRICT WAS GRANTED.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE(5) DAYS PRIOR TO ANY EXCAVATION WORK:
 MISS UTILITY 1-800-257-7777
 C&P TELEPHONE CO. (410) 725-9976
 HOWARD COUNTY BUREAU OF UTILITIES (410) 313-4900
 AT&T CABLE LOCATION DIVISION (410) 393-3533
 BALTIMORE GAS & ELECTRIC (410) 685-0123
 STATE HIGHWAY ADMINISTRATION (410) 531-5533
 HOWARD COUNTY DEPT. OF PUBLIC WORKS/ CONSTRUCTION INSPECTION DIVISION (410) 313-1880

- CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES ON SITE PRIOR TO COMMENCING CONSTRUCTION.
- PROPERTY IS LOCATED WITHIN THE METROPOLITAN DISTRICT.
- NO CEMETERY OR HISTORIC STRUCTURES EXIST ON SITE.
- PROPERTY IS NOT ADJACENT TO ANY SCENIC ROADS.
- THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT. NO CLEARING, GRADING, OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT; HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST EASEMENT ARE ALLOWED. THE FOREST CONSERVATION REQUIREMENTS HAVE BEEN MET BY RETENTION OF 2.12 ACRES OF FOREST AND PAYMENT OF A FEE-IN-LIEU OF REFORESTATION FOR 1.45 ACRES (63,162 SQ.FT.) IN THE AMOUNT OF \$47,371.00. FINANCIAL SURETY FOR THE ON-SITE RETENTION (2.12 ACRES OR 92,347.2 SQ.FT. IN THE AMOUNT OF \$18,469.44) HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT UNDER F-08-019.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPERS AGREEMENT FOR THE REQUIRED LANDSCAPE PLANTINGS (49 SHADE TREES & 15 EVERGREENS) IN THE AMOUNT OF \$19,750.00.
- NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT AREAS.
- ALL OUTDOOR LIGHTING SHALL COMPLY WITH THE REQUIREMENTS OF HOWARD COUNTY ZONING REGULATIONS SECTION 134.
- THE PROPERTY IS ZONED CE-CL1 PER THE 02/02/04 COMPREHENSIVE ZONING PLAN AND THE COMP LITE ZONING AMENDMENTS DATED 07/28/06.
- THE GRADING AND REMOVAL OF VEGETATION WITHIN THE WETLANDS IS PERMITTED PER THE CONDITIONS OF WP-08-011. APPROVAL OF THIS WAIVER WAS GRANTED ON SEPTEMBER 18, 2007 BY THE DIRECTOR OF PLANNING AND ZONING AND IS SUBJECT TO THE FOLLOWING CONDITIONS:
 1. THE PETITIONER SHALL OBTAIN ALL NECESSARY PERMITS FROM THE STATE OF MARYLAND DEPARTMENT OF THE ENVIRONMENT, AS WELL AS FROM ALL APPLICABLE HOWARD COUNTY AGENCIES.
 2. THE PETITIONER SHALL ENSURE ALL STORMWATER MANAGEMENT RUNOFF CURRENTLY RECEIVED BY THIS MAN-MADE WETLAND AREA IS DIVERTED TO OTHER AREAS AS APPROVED BY DED PRIOR TO FILLING IN THIS WETLAND AREA.
 3. STABILIZE GRADED AREAS THAT WILL NOT BE IMMEDIATELY DEVELOPED IN CONJUNCTION WITH A PLAN APPROVED BY THE HOWARD SOIL CONSERVATION DISTRICT(SCD) AND DEVELOPMENT ENGINEERING DIVISION(DED).
 4. THE APPLICANT MUST MEET THE REQUIREMENTS OF THE DEPARTMENT OF HEALTH AS LISTED ON AUGUST 30, 2007 RESPONSE TO THIS APPLICATION.
- ALL EXTERIOR LIGHT FIXTURES SHALL BE ORIENTED TO DIRECT LIGHT INWARDS AND DOWNWARDS ON-SITE AWAY FROM ALL ADJOINING RESIDENTIAL PROPERTIES AND PUBLIC ROADS IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
- SEPTIC SYSTEM TO BE PROPERLY ABANDONED UPON DEMOLITION OF ALL EXISTING STRUCTURES IN ACCORDANCE WITH THE SEQUENCE OF CONSTRUCTION, SHEET 10.
- A KNOX BOX (A FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. IT SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4' TO 5' IN HEIGHT AND NO MORE THAN 6 FEET LATERALLY FROM THE DOOR. THE KNOX BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE ALARM SYSTEM) IN ACCORDANCE WITH NFPA-1.10.12.1. ALL GATES ARE REQUIRED TO HAVE A KNOX BOX OR KNOX BOX OVERRIDE CONTROL TO ENSURE TIMELY FIRE DEPARTMENT ACCESS IN ACCORDANCE WITH NFPA-1.10.12. GATES ACCESSIBLE TO EMERGENCY APPARATUS BY APPROVED MECHANISM OF FIRE DEPARTMENT.
- SIGNAGE SHALL BE PLACED ON THE BUILDING IDENTIFYING THE BUILDING ADDRESS. SIGNAGE SHALL BE PROVIDED AT THE STREET IDENTIFYING THE BUILDING ADDRESS.
- ALL SILTATION FROM THE SEDIMENT TRAP SHALL BE COMPLETELY REMOVED PRIOR TO CONSTRUCTION OF THE BIORETENTION FACILITIES. SEE THE SEQUENCE OF CONSTRUCTION.
- THE SECONDARY REAR ACCESS IS INTENDED FOR USE BY EMPLOYEES & FOR TRUCK REPAIR.
- SAFETY FOR THE REQUIRED LANDSCAPING ON PARCEL B (7 SHADE TREES AND 36 SHRUBS) TO BE POSTED AS PART OF THE DPW DEVELOPERS AGREEMENT IN THE AMOUNT OF \$3,180.00.

SITE DEVELOPMENT PLAN PENSKE SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND



VICINITY MAP
SCALE: 1"=1000'

Sheet	INDEX TO SHEETS
1	COVER SHEET
2	EXISTING CONDITIONS/DEMOLITION PLAN
3	EXISTING CONDITIONS/DEMOLITION PLAN
4	SITE DEVELOPMENT PLAN
5	SITE DEVELOPMENT PLAN
6	GRADING PLAN
7	GRADING PLAN
8	EROSION & SEDIMENT CONTROL PLAN
9	EROSION & SEDIMENT CONTROL PLAN
10	EROSION & SEDIMENT CONTROL NOTES & DETAILS
11	INLET DRAINAGE AREA MAP
12	SEWER, WATER & STORM DRAIN PROFILES
13	STORM DRAIN PROFILES
14	STORM DRAIN PROFILES
15	SWM DETAILS
16	SWM DETAILS
17	BORINGS
18	BORINGS & TRAFFIC CONTROL PLAN
19	LANDSCAPE PLAN
20	LANDSCAPE PLAN
21	LIGHTING PLAN
22	LIGHTING SITE PLAN, DETAIL & SCHEDULE
23	DRAINAGE AREA MAP - PARCEL B
24	BIORETENTION DETAILS - PARCEL B

SITE ANALYSIS DATA

PROJECT SUMMARY:

EXISTING:
 EXISTING USE: RENTAL FACILITY WITH STORAGE AND REPAIR OF RENTAL VEHICLES INCLUDING STORAGE AND DISPENSING OF FUEL.
 EXISTING PAVED OR GRAVEL AREA: 316,220 SQ.FT. OR 7.26 ACRES.
 EXISTING BUILDING AREA: 13,472 SQ.FT. OR 0.31 ACRES (2 SINGLE STORY STRUCTURES, EXCLUDES ABANDONED 408 SQ.FT. SHED).
 TOTAL EXISTING IMPERVIOUS AREA: 328,692 SQ.FT. OR 7.57 ACRES.

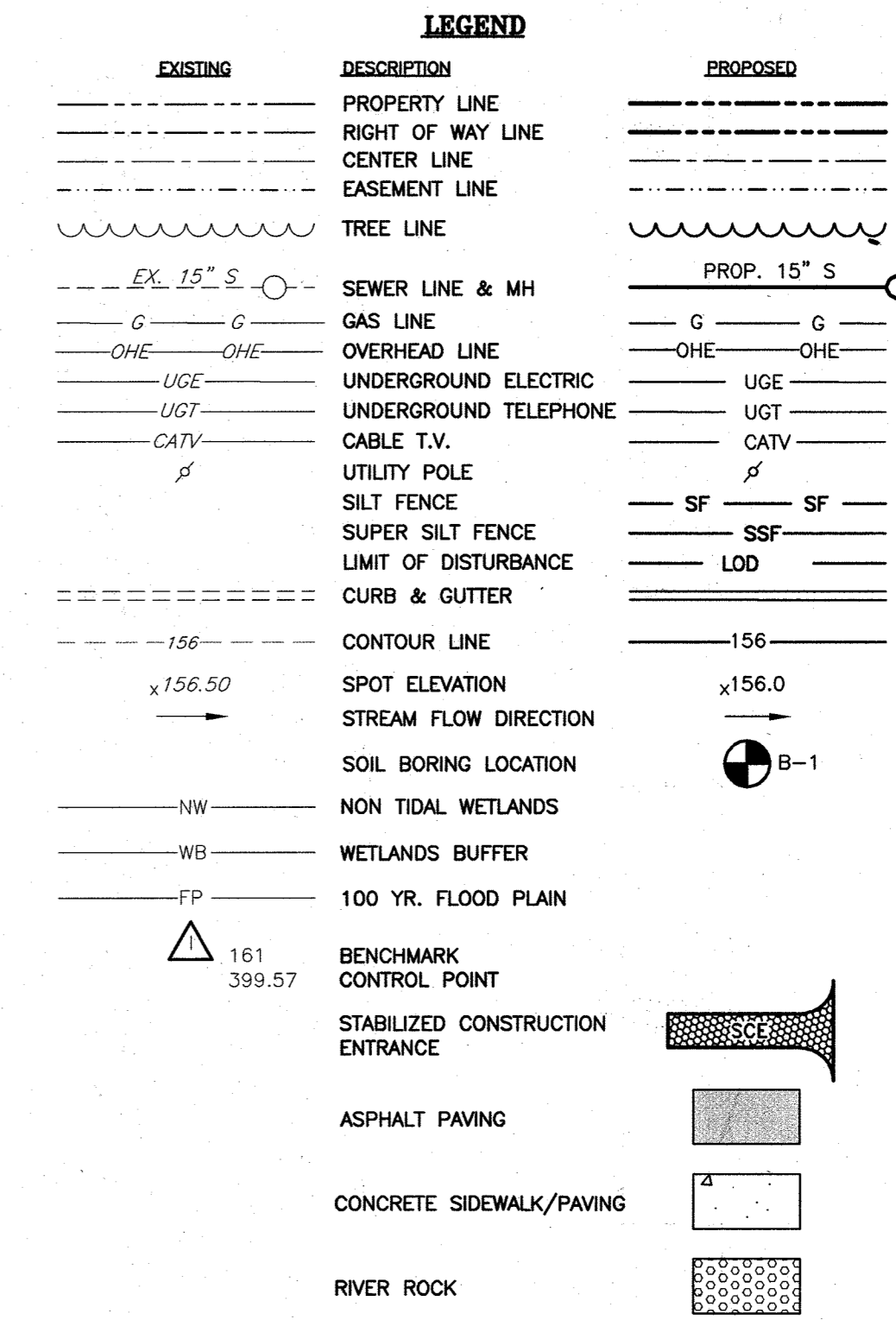
PROPOSED:
 PROPOSED USE: RENTAL FACILITY WITH STORAGE AND OF RENTAL VEHICLES INCLUDING STORAGE AND DISPENSING OF FUEL.
 PROPOSED PROJECT AREA (TOTAL OF PARCEL A): 462,152 SQ.FT. OR 10.63 ACRES
 PROPOSED PAVED AREA: 440,556 SQ.FT. OR 9.99 ACRES (INCLUDES IMPROVEMENTS TO US RT 1).
 PROPOSED BUILDING AREA: 26,944 SQ.FT. OR 0.62 ACRES (1 SINGLE STORY STRUCTURE) 5,828 OF PROPOSED PROJECT AREA
 TOTAL PROPOSED IMPERVIOUS AREA: 435,106 SQ.FT. OR 9.99 ACRES.
 TOTAL INCREASE IN IMPERVIOUS AREA: 105,414 SQ.FT. OR 2.42 ACRES.
 EXISTING BUILDING HEIGHT: 22'.
 PROPOSED BUILDING HEIGHT: 23'11".
 REQUIRED PARKING: 229 SPACES (2 SPACE PER 1000 SQ.FT. X 7,432 SQ.FT. + 3 SPACES PER SERVICE BAY X 6 SERVICE BAYS + 1 SPACE PER 1000 SQ.FT. X 199,827 SQ.FT.)
 *NOTE: TAKE 20% OF BUILDING TO ROAD TO CALCULATE PARKING SPACE REMAINDER IS ACCOUNTED FOR THROUGH SERVICE BAYS.
 PROPOSED PARKING: 312 SPACES (INCLUDING 25 SPACES FOR STORAGE OF RENTAL VEHICLES).
 TOTAL PROPOSED DISTURBED AREA: 14.1 ACRES

STOPPING SIGHT DISTANCE:
 ROAD CLASSIFICATION= INTERMEDIATE ARTERIAL
 POSTED SPEED = 50 MPH
 ANALYSIS SPEED = 60 MPH
 HEIGHT OF EYE = 3.5' MPH
 HEIGHT OF OBJECT = 2.0'

USE-IN-COMMON DRIVEWAY:
 DISTANCE LEFT GRADE = -4.2% SSD = 570' (PER DMII, TABLE 2.01)
 DISTANCE RIGHT GRADE = 5.3% SSD = 570' (PER DMII, TABLE 2.02)
 BASED ON THIS ANALYSIS, THE DRIVEWAY HAS ADEQUATE STOPPING SIGHT DISTANCE.

PARCEL	STREET ADDRESS
A	8685 WASHINGTON BOULEVARD
B	8705 WASHINGTON BOULEVARD

PERMIT INFORMATION CHART					
PROJECT NAME	SECTION/AREA	LOT/PARCEL#			
PENSKE	-----	121/ PARCEL A			
PLAT#	BLOCK#	ZONE	TAX MAP	ELEC. DIST.	CENSUS TRACT
-	1	CE-CL1	48	SIXTH	606901
WATER CODE	B02	SEWER CODE	401200		
PROPOSED IMPROVEMENTS					
CONSTRUCT NEW RENTAL FACILITY AND SHOP BLDG, GRADE, PROVIDE PARKING, SWM WATER QUALITY & FENCING.					



SOILS CHART	
TYPE	DESCRIPTION
CrD	CROOM AND EVESBORO SOILS, 10 TO 15 PERCENT SLOPES - TYPE C
Utd	URBAN-LAND-UDORTHEMIS COMPLEX, 0. TO 15 PERCENT SLOPES- TYPE D

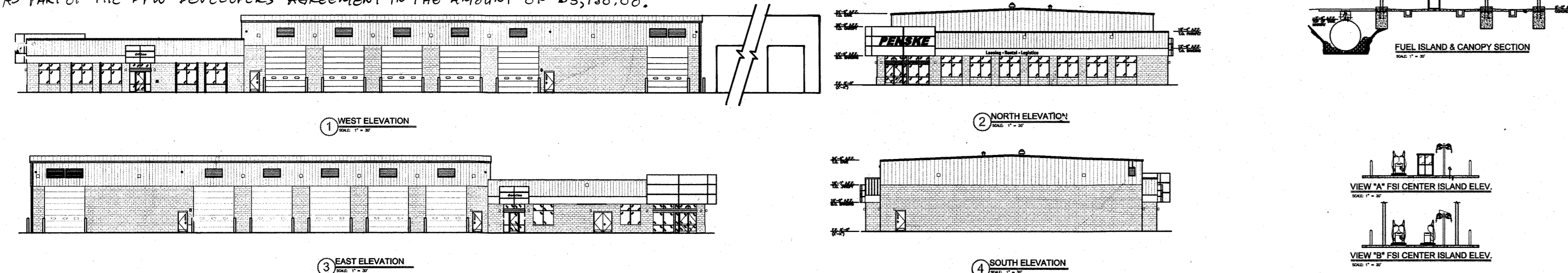
OWNER/DEVELOPER
PENSKE TRUCK LEASING CO, LP
 ATTN: JOE MCQUILLEN
 P.O. BOX 563
 ROUTE 10 GREEN HILLS
 READING, PA 19603

DEVELOPERS CERTIFICATE
 I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE NATURAL RESOURCE CONSERVATION SERVICE.
 SIGNATURE OF DEVELOPER: [Signature] DATE: 8-13-08

ENGINEER'S CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.
 SIGNATURE OF ENGINEER: [Signature] DATE: 8-12-08

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT'S TECHNICAL REQUIREMENTS.
 SIGNATURE OF DISTRICT ENGINEER: [Signature] DATE: 8/24/08

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF DEVELOPMENT ENGINEERING DIVISION: [Signature] DATE: 8/27/08
 CHIEF DIVISION OF LAND DEVELOPMENT: [Signature] DATE: 8/24/08
 DIRECTOR: [Signature] DATE: 8/24/08



HARMS
 ENGINEERS • PLANNERS • SURVEYORS
 1209 N. EAST STREET, FREDERICK, MARYLAND 21701
 Office: 301/631-2027 FAX: 301/631-2028

NO.	REVISION	BY	DATE
1	ADDED NOTES TO NOTES 13	SO	05/18/07
2	ADDED NOTES TO NOTES 13	SO	05/18/07
3	ADDED NOTES TO NOTES 13	SO	05/18/07
4	ADDED NOTES TO NOTES 13	SO	05/18/07
5	ADDED NOTES TO NOTES 13	SO	05/18/07
6	ADDED NOTES TO NOTES 13	SO	05/18/07
7	ADDED NOTES TO NOTES 13	SO	05/18/07

COVER SHEET

PENSKE-RENTAL RETAIL & STORAGE FACILITY

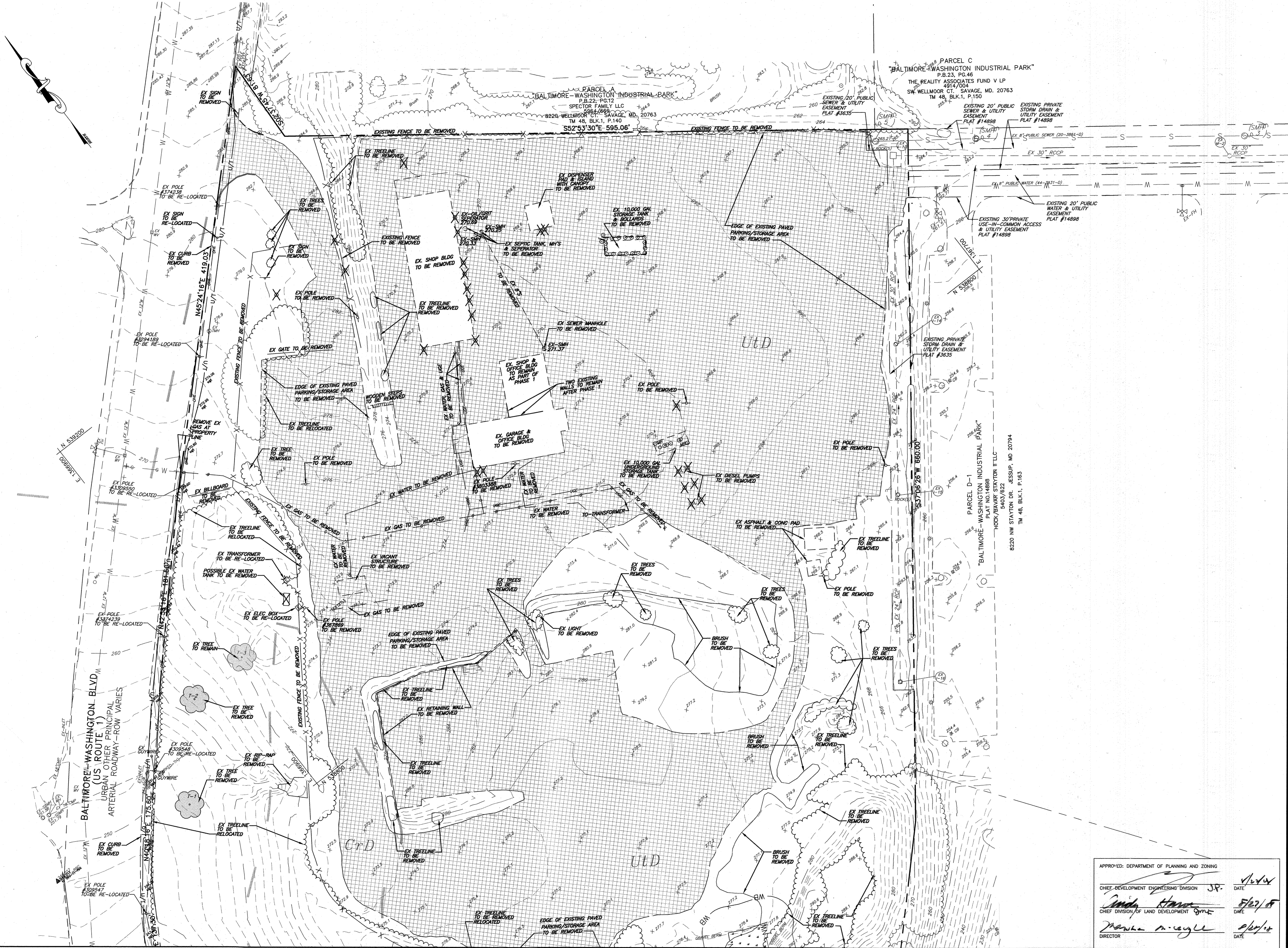
8685 E. WASHINGTON BOULEVARD
 JESSUP, MARYLAND 20794
 TAX MAP 48, PARCEL 121, PLAT #F-08-19
 SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

DESIGNED BY: [Signature]
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 DATE: JULY, 2008
 W.O. NO. 08-05-034A

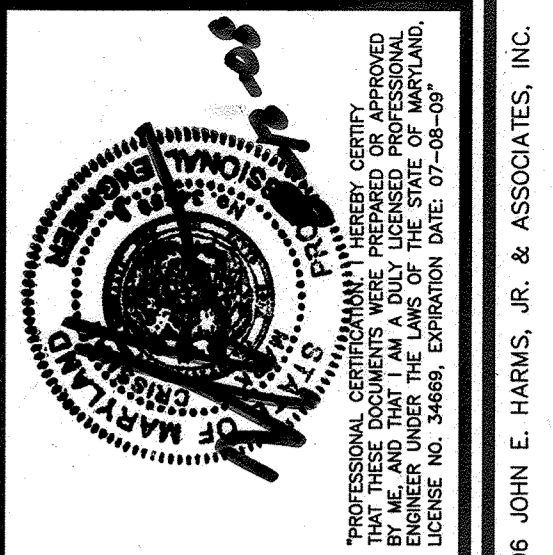
1 OF 24

Date: 08/12/2008 User: eric Drawing Path: \\dca2600\Projects\Penske - Howard County\08-05-034A\DWG\Site\development\PENSKESHEET-01-COVER SHEET.dwg XREF File(s):

Date: 08/12/2008 User: srueth
 Drawing Path: \\c:\proj\2800\Projects\Penske - Howard County\08-05-034A\Draw\Site Development Plans\RENSKE-02-01-DEMOL PLAN.dwg XREF File(s): \RENSKE-EXISTBASE-SOP.dwg



MATCHLINE— SEE SHEET 3 FOR CONTINUATION



HARMS
 ENGINEERS • PLANNERS • SURVEYORS
 1209 N. EAST STREET, FREDERICK, MARYLAND 21701
 Office: 301/631-2027 FAX: 301/631-2028

NO.	REVISION	BY	DATE
6	Change TOTAL # OF SHEETS	FC	7/6/17

EXISTING CONDITIONS/DEMOLITION PLAN
PENSKE-RENTAL RETAIL & STORAGE FACILITY
 8685 E. WASHINGTON BOULEVARD
 JESSUP, MARYLAND 20794
 TAX MAP 48, PARCEL 121, PLAT #F-08-019
 SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 SCALE: 1" = 40'

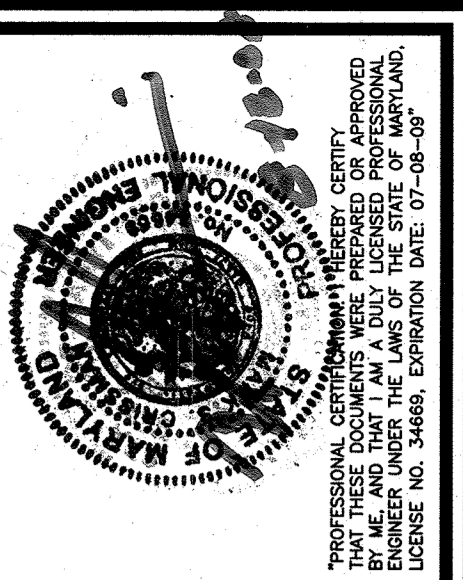
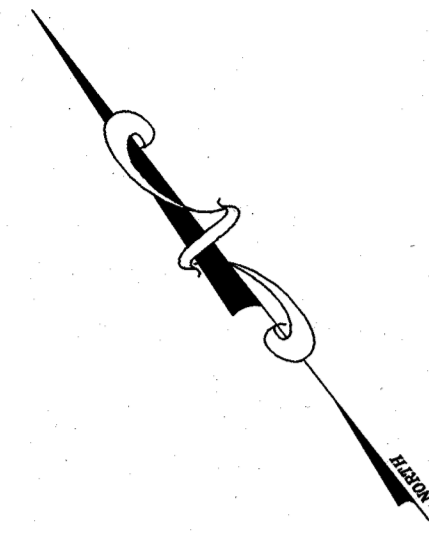
DESIGNED BY: SJL
 DRAWN BY: SIN
 CHECKED BY: MSC
 DATE: JULY, 2008
 W.O. NO. 08-05-034A

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF DEVELOPMENT ENGINEERING DIVISION JR. DATE: 7/24/08
 Cindy Harms DATE: 7/27/08
 CHIEF DIVISION OF LAND DEVELOPMENT DATE: 8/6/08
 Director DATE: 8/6/08

2
 2 OF 24

© 2006 JOHN E. HARMS, JR. & ASSOCIATES, INC.

SDP-08-015



HARMS
 ENGINEERS • PLANNERS • SURVEYORS
 1209 N. EAST STREET, FREDERICK, MARYLAND 21701
 Office: 301/631-2027 FAX: 301/631-2028

NO.	REVISION	BY	DATE
6	CHANGE TOTAL # OF SHEETS	PEC	7/6/08

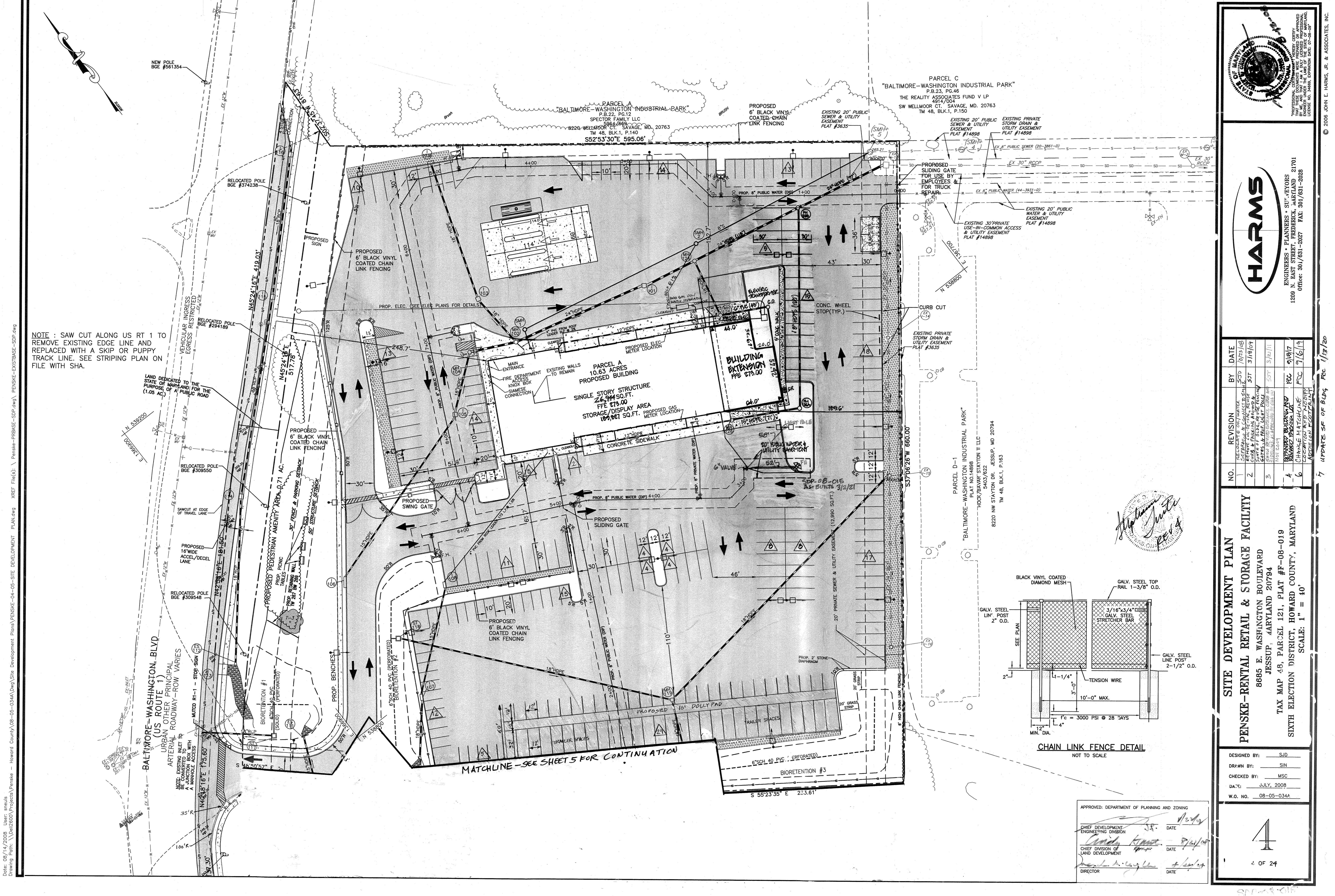
EXISTING CONDITIONS/DEMOLITION PLAN
PENSKE-RENTAL RETAIL & STORAGE FACILITY
 8685 E. WASHINGTON BOULEVARD
 JESSUP, MARYLAND 20794
 TAX MAP 48, PARCEL 121, PLAT #F-08-019
 SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 SCALE: 1" = 40'

DESIGNED BY: SJD
 DRAWN BY: SIN
 CHECKED BY: MSC
 DATE: JULY, 2008
 W.O. NO. 08-05-034A

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF DEVELOPMENT ENGINEERING DIVISION J.R. DATE 7/27/08
 CHIEF DIVISION OF LAND DEVELOPMENT JMK DATE 7/27/08
 DIRECTOR John E. Harms, Jr. DATE 7/27/08

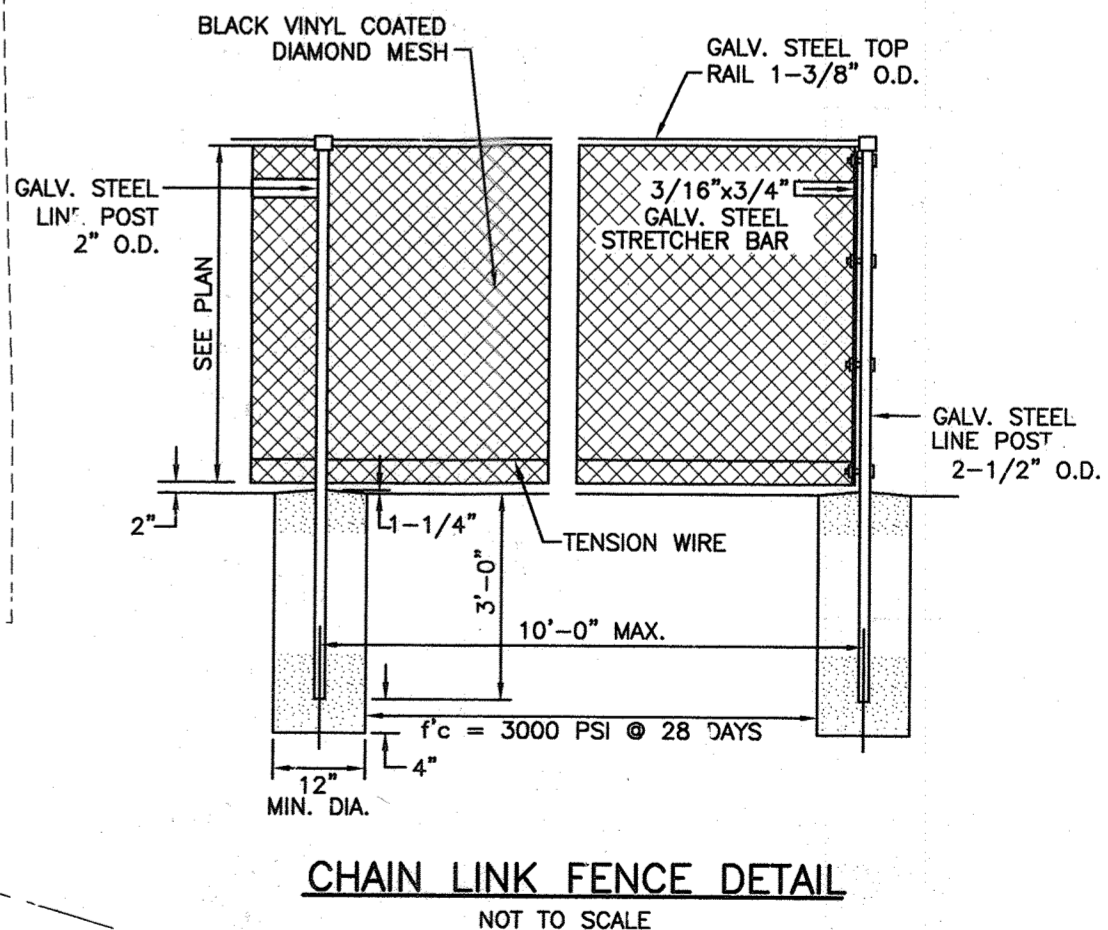
3
 3 OF 24

Date: 08/12/2008 User: smejls Drawing Path: \\Ortiz2600\Projects\Penske - Howard County\08-05-034A\DWG\Site Development Plans\PENSKE-02-05-0500 PLAN.dwg XREF File(s): \PENSKE-EXISTBASE-SDP.dwg



NOTE: SAW CUT ALONG US RT 1 TO REMOVE EXISTING EDGE LINE AND REPLACED WITH A SKIP OR PUPPY TRACK LINE. SEE STRIPING PLAN ON FILE WITH SHA.

Date: 08/14/2008 User: meads
 Drawing Path: \\Dell2600\Projects\Penske - Howard County\08-05-034\Draw Site Development Plans\PENSK-04-05-SITE DEVELOPMENT PLAN.dwg XREF File(s): Penske-PRBASE-SOP.dwg, FENSK-EXSTBASE-SOP.dwg



Stephen J. JESSUP
 PROFESSIONAL ENGINEER
 LICENSE NO. 14898
 EXPIRES 12/31/11

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF DEVELOPMENT ENGINEERING DIVISION
 [Signature] DATE 8/14/08
 CHIEF DIVISION OF LAND DEVELOPMENT
 [Signature] DATE 8/14/08
 DIRECTOR

SITE DEVELOPMENT PLAN
PENSKE-RENTAL RETAIL & STORAGE FACILITY
 8685 E. WASHINGTON BOULEVARD
 JESSUP: MARYLAND 20794
 TAX MAP 48, PARCEL 121, PLAT #F-08-019
 SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 SCALE: 1" = 40'

DESIGNED BY: SJD
 DRAWN BY: SIN
 CHECKED BY: MSC
 DATE: JULY, 2008
 W.O. NO. 08-05-034A

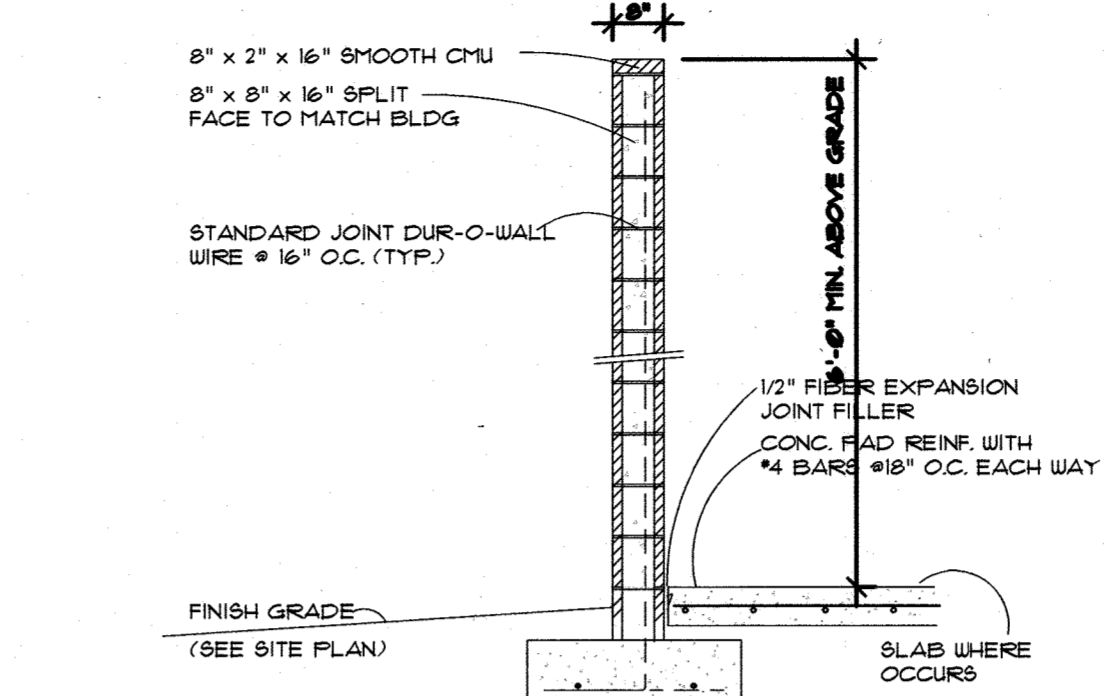
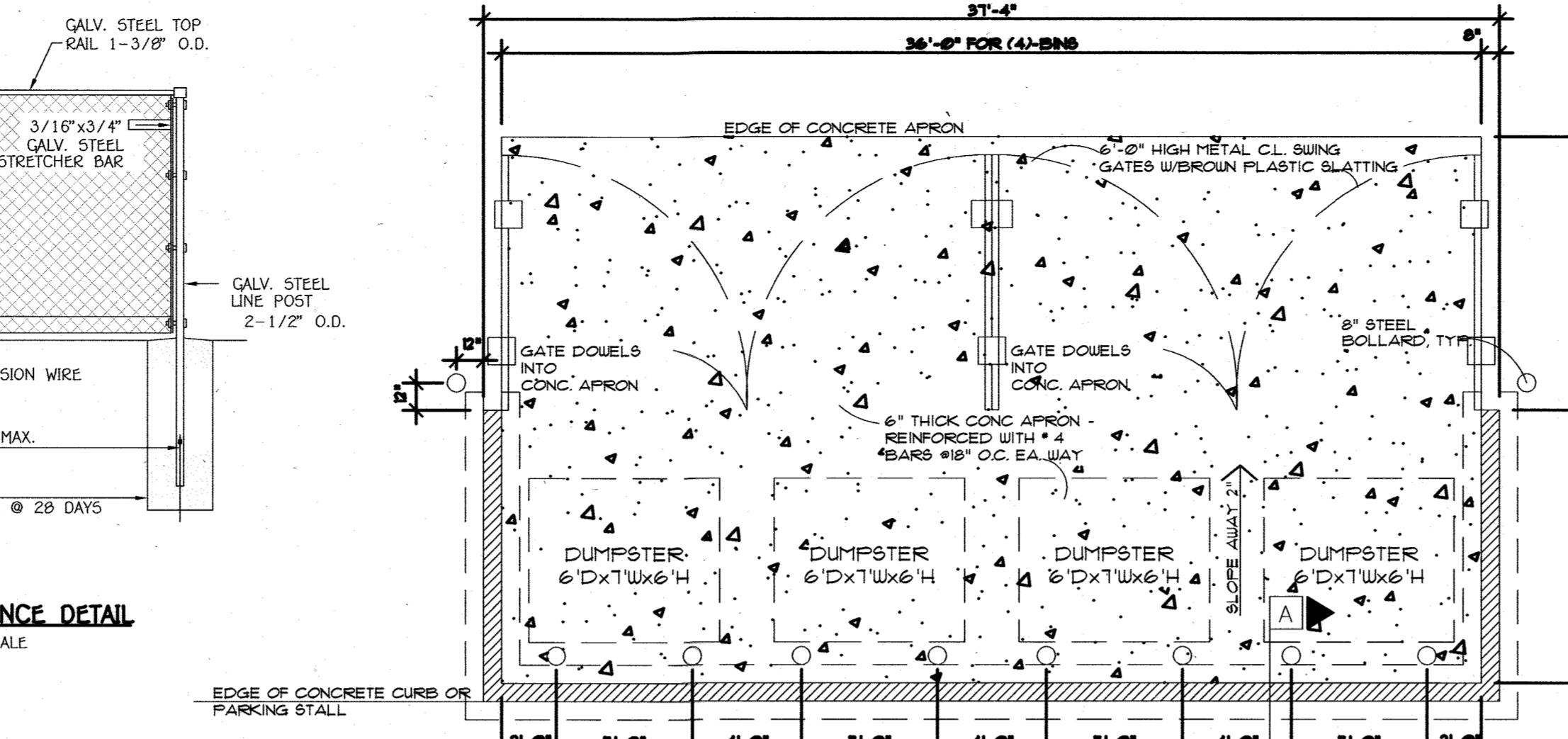
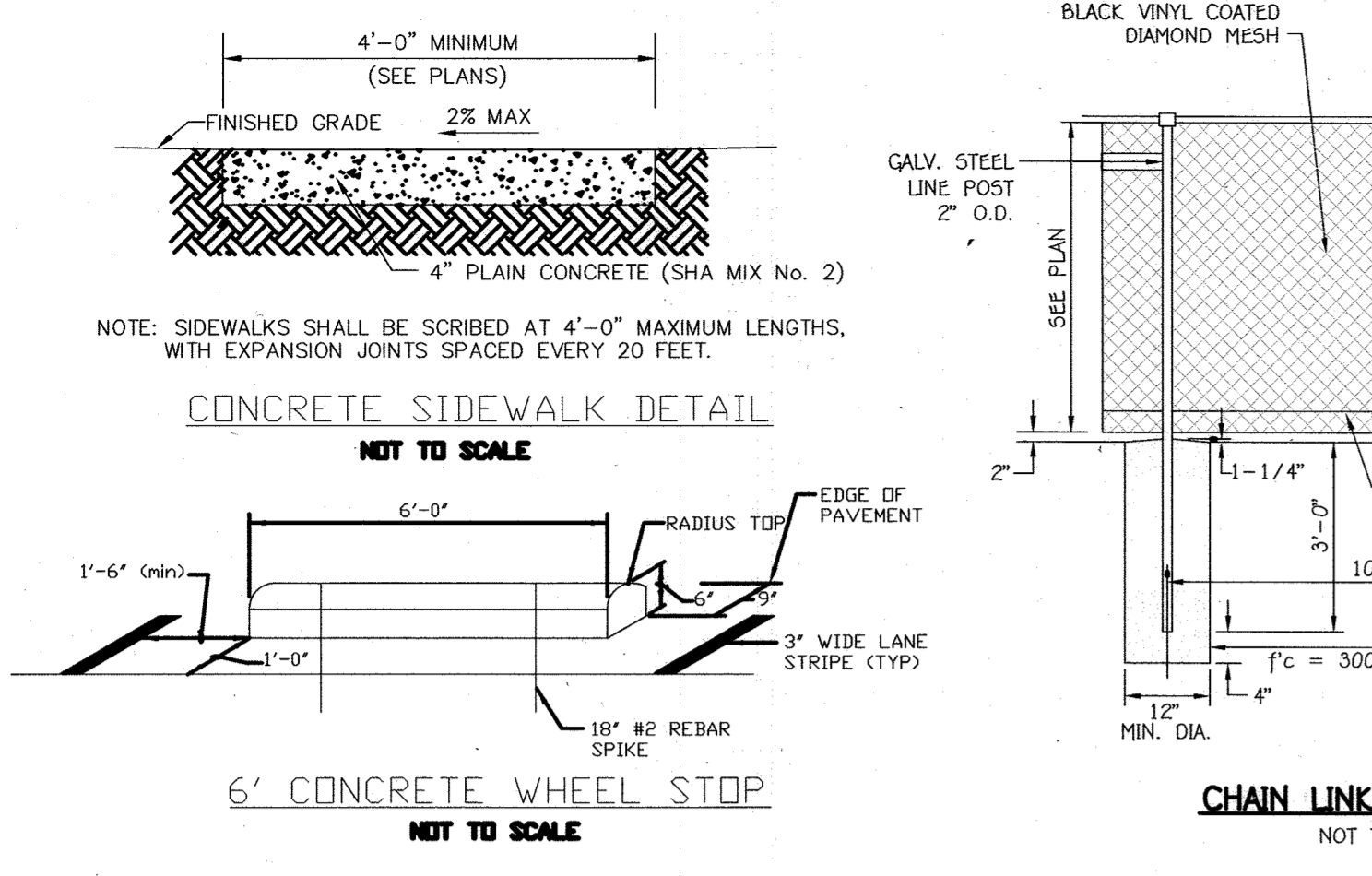
4 OF 24

HARMS
 ENGINEERS • PLANNERS • SURVEYORS
 1209 N. EAST STREET, FREDERICK, MARYLAND 21701
 Office: 301/681-2027 FAX: 301/681-2028

NO.	REVISION	BY	DATE
1	RELOCATED & DIMENSIONS	SJD	10/23/08
2	SEPARATION & CONCERN	SJD	3/19/09
3	START OF BLDG. & USE FOOTING	SJT	3/19/09
4	STAIR REVISIONS	SJT	3/21/11
5	NOV 2009	SJT	11/11/09
6	REMOVED PLAYGROUND	PC	9/19/17
7	UPDATE SF OF BLDG	PC	7/6/19

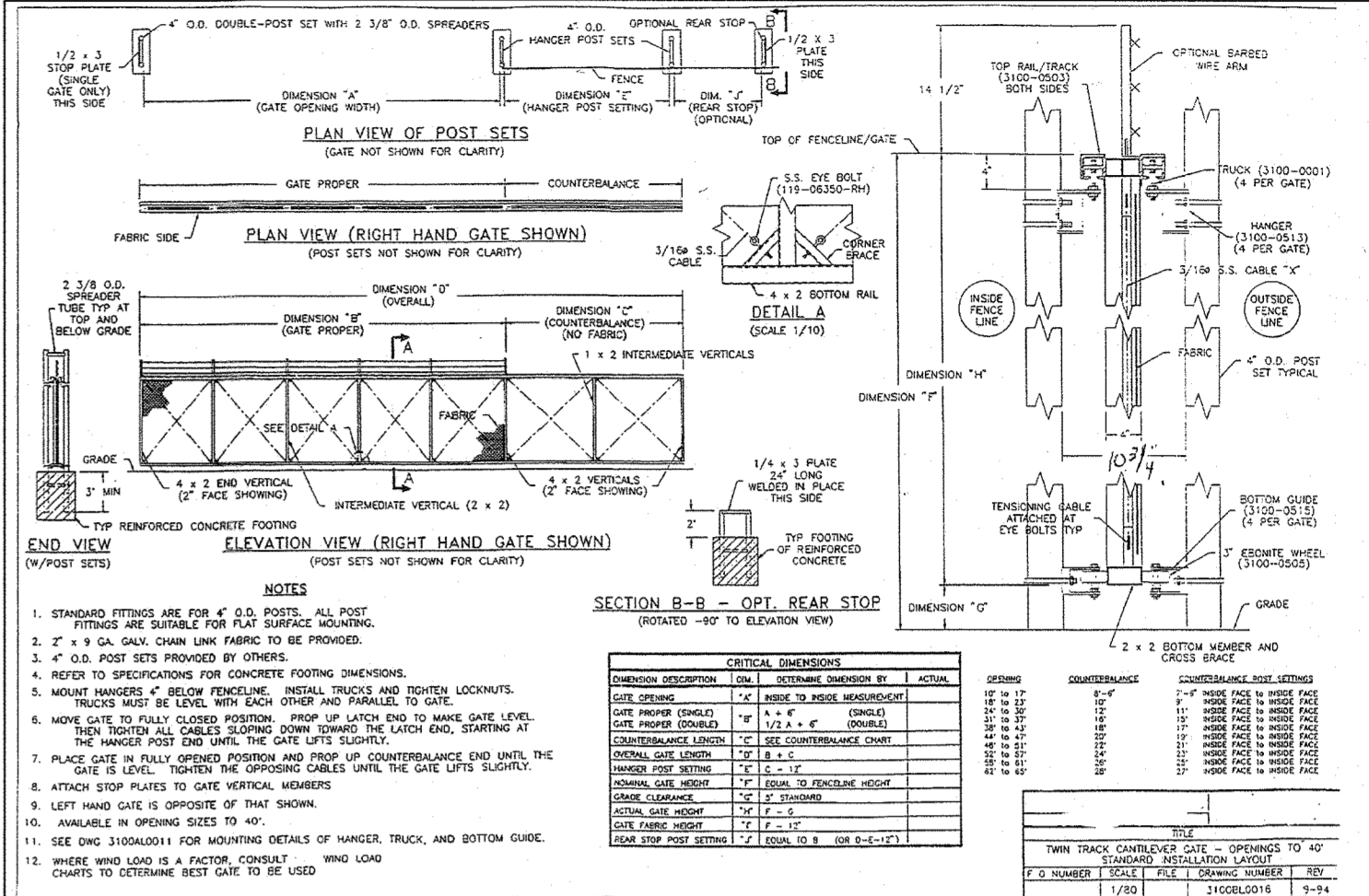
7 UPDATE SF OF BLDG PC 1/13/20

© 2008 JOHN E. HARMS, JR. & ASSOCIATES, INC.



SOIL	NAME	CLASS	C FACTOR
CrD	Croom and Evesboro soils, 10 to 15 percent slope	C	0.28
UJD	Urban - Land - Udorthents Complex, 0 to 15 percent slope	D	0.28

Soil Map Number: 25 (Savage, SE)

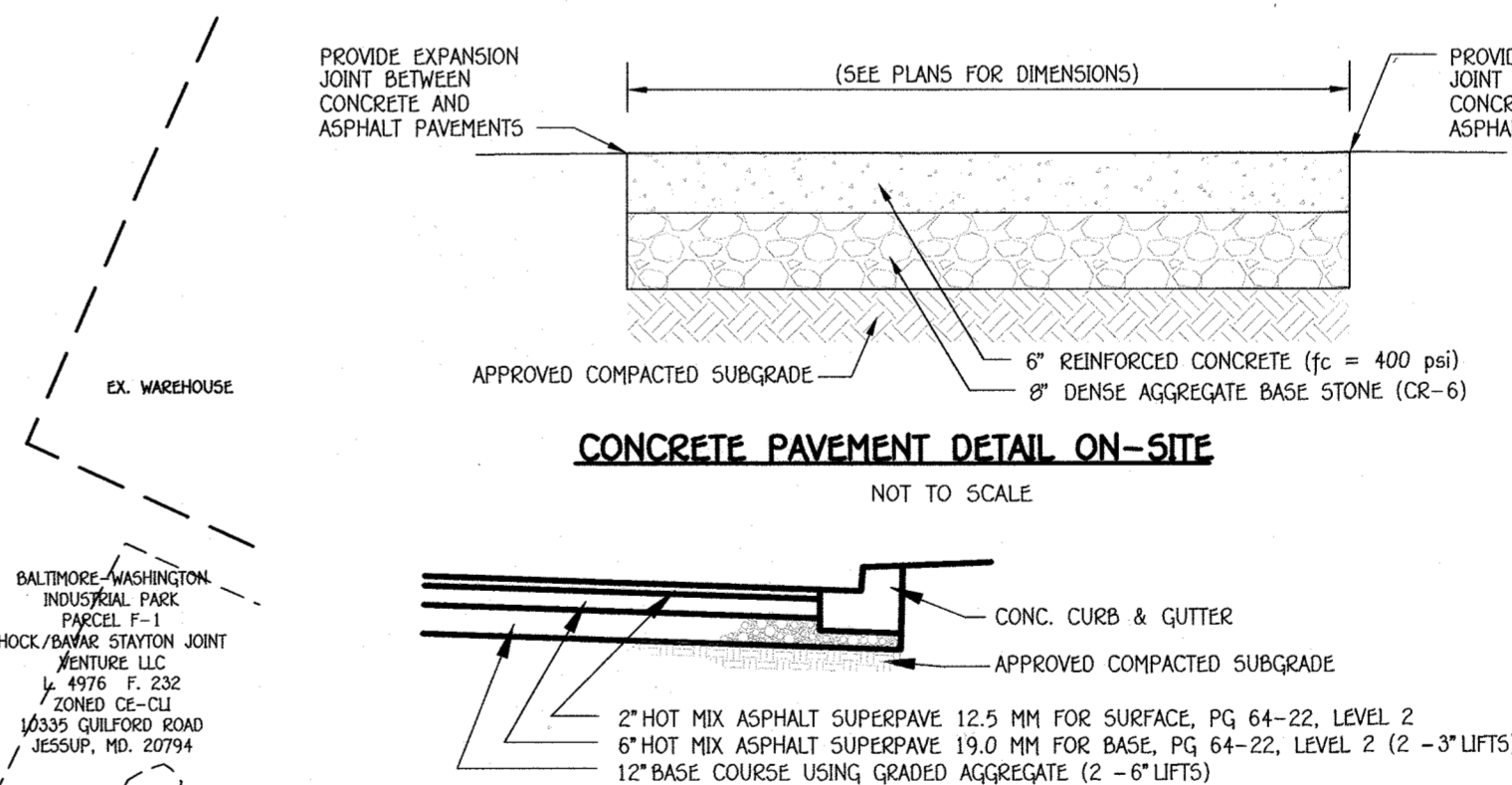
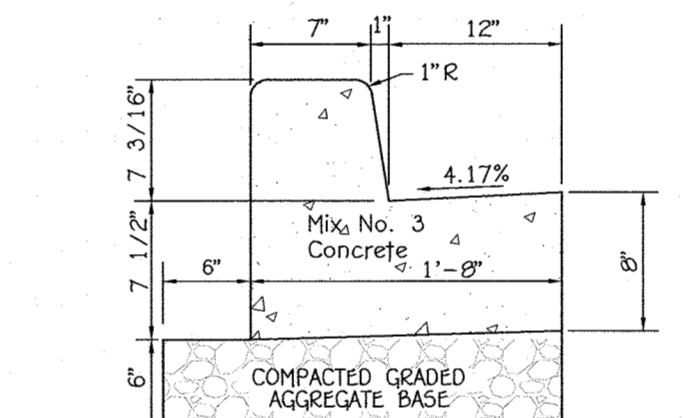
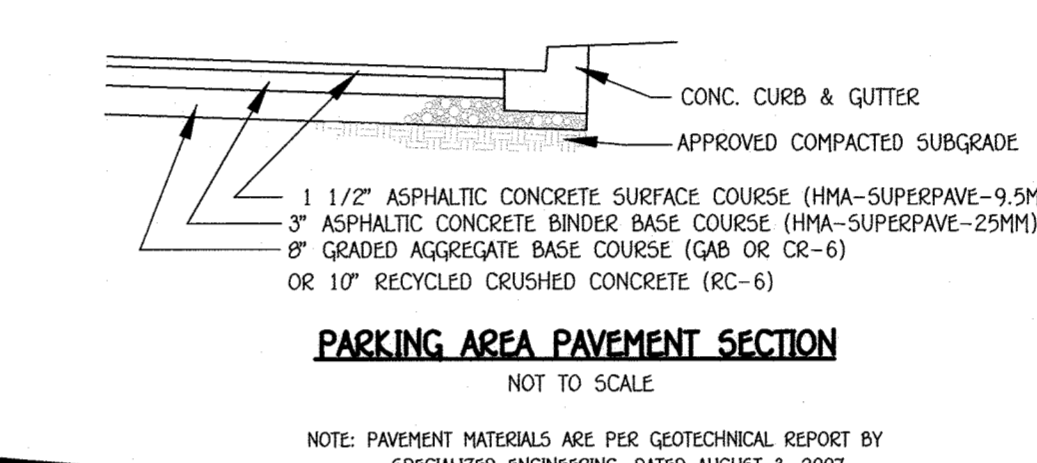
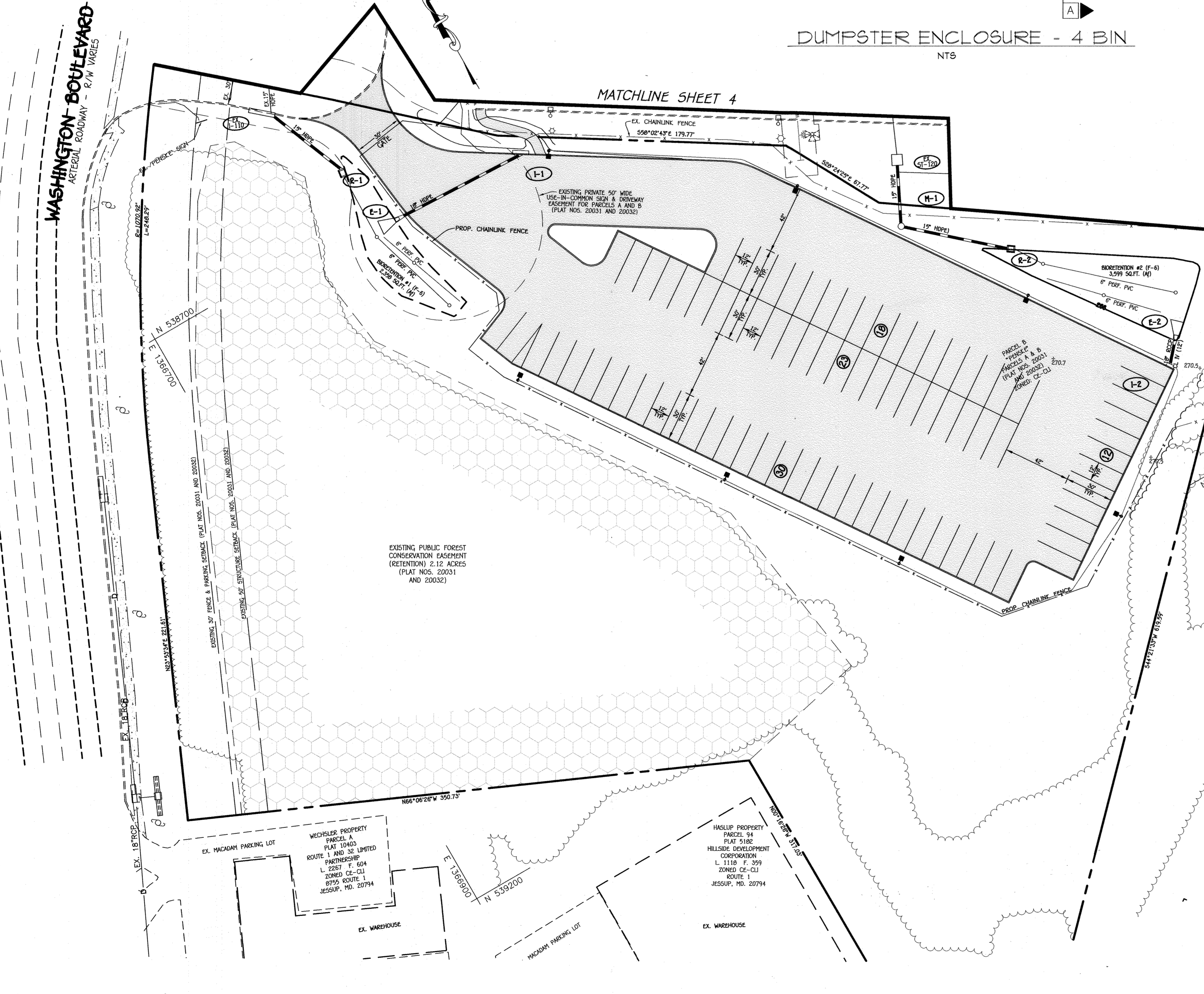


OPENING	LENGTH	DATE	POST SETS (P)	BAYS	OVERHAUL
1/2" MIN. VERTICAL CLEARANCE	12" - 24"	1987	2	2	NO
2" MIN. HORIZONTAL CLEARANCE	24" - 36"	1987	2	2	NO
6" MIN. HORIZONTAL CLEARANCE	36" - 48"	1987	2	2	NO
10" MIN. HORIZONTAL CLEARANCE	48" - 60"	1987	2	2	NO
14" MIN. HORIZONTAL CLEARANCE	60" - 72"	1987	2	2	NO
18" MIN. HORIZONTAL CLEARANCE	72" - 84"	1987	2	2	NO
22" MIN. HORIZONTAL CLEARANCE	84" - 96"	1987	2	2	NO
26" MIN. HORIZONTAL CLEARANCE	96" - 108"	1987	2	2	NO
30" MIN. HORIZONTAL CLEARANCE	108" - 120"	1987	2	2	NO
34" MIN. HORIZONTAL CLEARANCE	120" - 132"	1987	2	2	NO
38" MIN. HORIZONTAL CLEARANCE	132" - 144"	1987	2	2	NO
42" MIN. HORIZONTAL CLEARANCE	144" - 156"	1987	2	2	NO
46" MIN. HORIZONTAL CLEARANCE	156" - 168"	1987	2	2	NO
50" MIN. HORIZONTAL CLEARANCE	168" - 180"	1987	2	2	NO
54" MIN. HORIZONTAL CLEARANCE	180" - 192"	1987	2	2	NO
58" MIN. HORIZONTAL CLEARANCE	192" - 204"	1987	2	2	NO
62" MIN. HORIZONTAL CLEARANCE	204" - 216"	1987	2	2	NO
66" MIN. HORIZONTAL CLEARANCE	216" - 228"	1987	2	2	NO
70" MIN. HORIZONTAL CLEARANCE	228" - 240"	1987	2	2	NO

PARKING AREA PAVEMENT SECTION
NOT TO SCALE

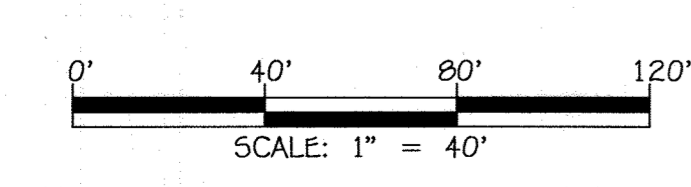
1 1/2" ASPHALTIC CONCRETE SURFACE COURSE (HMA-SUPERPAVE-9.5MM)
3" ASPHALTIC CONCRETE BINDER BASE COURSE (HMA-SUPERPAVE-25MM)
6" GRADED AGGREGATE BASE COURSE (GAB OR CE-6)
OR 10" RECYCLED CRUSHED CONCRETE (RC-6)

7" COMBINATION CONCRETE CURB AND GUTTER
NO SCALE



SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
- - - -	EXISTING CONTOUR 10' INTERVAL
X	EXISTING FENCE
D	EXISTING STORM DRAIN LINE
W	EXISTING WATER LINE
E	EXISTING UNDERGROUND ELECTRIC
302	STEEP SLOPES 15% - 24.9% OR GREATER
300	STEEP SLOPES 25% OR GREATER
---	PROPOSED CONTOUR 2' INTERVAL
- - - -	PROPOSED CONTOUR 10' INTERVAL
+	SPOT ELEVATION
■	EXISTING CONCRETE WALK
■	PROPOSED MACADAM PAVING
~	EXISTING TREELINE
~	PROPOSED TREELINE
18" SLOPE	PROPOSED STORMDRAIN
- - - B.R.L.	BUILDING RESTRICTION LINE
○	EXISTING LIGHT POLE
—	LIMIT OF DISTURBANCE
SSF	SUPER SILT FENCE
SF	SILT FENCE
■	PROPOSED STREET LIGHT

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CONTINENTAL SQUARE OFFICE PARK - 10272 BALTORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2999



PLAN
SCALE: 1" = 40'

1		REPLACEMENT SHEET TO SHOW PARKING ON PARCEL B	FCC	7/23/19
NO.		REVISION	BY	DATE
APPROVED: DEPARTMENT OF PLANNING AND ZONING				
Chief, Division of Land Development		ES	7/23/20	Date
Chief, Development Engineering Division		JP	8/25/19	Date
Director, Department of Planning and Zoning		JP	5-12-2020	Date

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2020."

STEPHANIE J. TUTTE, P.L.E., R.A., LEED AP BD&C

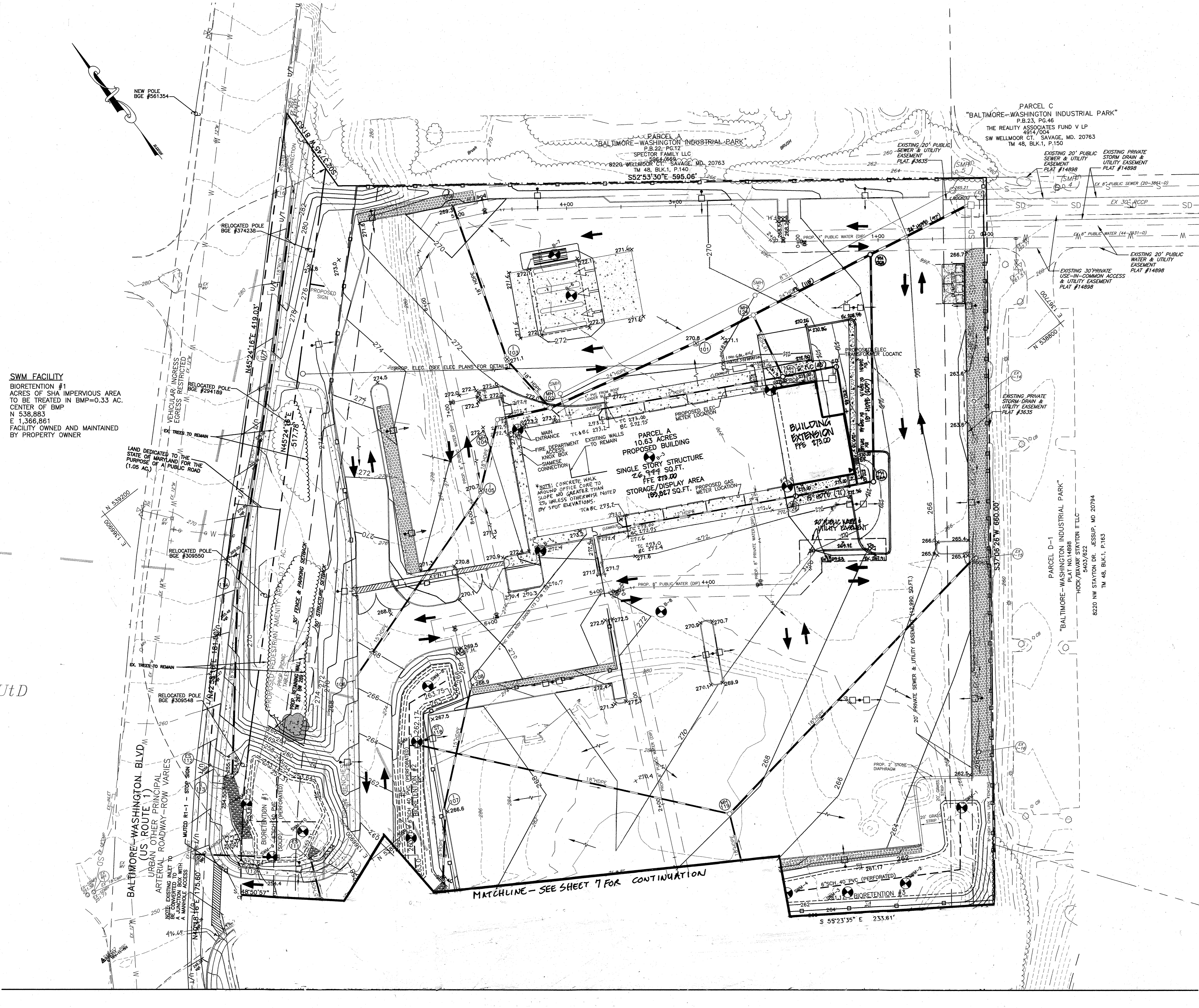
SITE DEVELOPMENT PLAN (REPLACEMENT SHEET)

PENSKE-RENTAL RETAIL & STORAGE FACILITY PARKING LOT ADDITION

ZONED: CE-CL1 TAX MAP No.: 48 GRID No.: 1 PARCEL No.: 121
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: JULY 2019

SHEET 5 OF 24

Date: 08/12/2008 User: sneels
 Drawing Path: \\D:\2600\Projects\Penske - Howard County\08-05-034\DWG\Site Development\Plans\PENSKE-06-07-08\RD PLAN.dwg XREF File(s): \Penske-FRBASE-SDF.dwg \PENSKE-EXISTBASE-SDF.dwg



SWM FACILITY
 BIORETENTION #1
 ACRES OF SHA IMPERVIOUS AREA
 TO BE TREATED IN BMP=0.33 AC.
 CENTER OF BMP
 N 538.883
 E 1,366.861
 FACILITY OWNED AND MAINTAINED
 BY PROPERTY OWNER

LAND DEDICATED TO THE
 STATE OF MARYLAND FOR THE
 PURPOSE OF A PUBLIC ROAD
 (1.05 AC)

MATCHLINE - SEE SHEET 7 FOR CONTINUATION

PARCEL C
 "BALTIMORE-WASHINGTON INDUSTRIAL PARK"
 P.B.23, PG.46
 THE REALITY ASSOCIATES FUND V LP
 4814/7004
 SW WELLMOOR CT, SAVAGE, MD, 20763
 TM 48, BLK.1, P.150

PARCEL A
 P.B.22, PG.12
 SPECTOR FAMILY LLC
 8220 WELLMOOR CT, SAVAGE, MD, 20763
 TM 48, BLK.1, P.140
 S52°53'30"E 595.06'

PARCEL A
 10.63 ACRES
 PROPOSED BUILDING
 SINGLE STORY STRUCTURE
 26,944 SQ.FT.
 FFE 219.00
 STORAGE/DISPLAY AREA
 109,847 SQ.FT. PROPOSED GAS
 METER LOCATION

BUILDING
 EXTENSION
 FFE 173.00

DEVELOPERS CERTIFICATE
 I CERTIFY THAT ALL DEVELOPMENT AND
 CONSTRUCTION WILL BE DONE ACCORDING TO THIS
 PLAN AND THAT ANY RESPONSIBLE PERSONNEL
 INVOLVED IN THE CONSTRUCTION PROJECT WILL
 HAVE A CERTIFICATE OF ATTENDANCE AT A
 DEPARTMENT OF THE ENVIRONMENT APPROVED
 TRAINING PROGRAM FOR THE CONTROL OF
 SEDIMENT AND EROSION BEFORE BEGINNING THE
 PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE
 INSPECTION BY THE NATURAL RESOURCE
 CONSERVATION SERVICE.
 SIGNATURE OF DEVELOPER: *Joseph P. McQuillen* DATE: 8-13-08
 PRINTED NAME OF DEVELOPER: JOSEPH P. MCQUILLEN

ENGINEER'S CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR EROSION AND
 SEDIMENT CONTROL REPRESENTS A PRACTICAL AND
 WORKABLE PLAN BASED ON MY PERSONAL
 KNOWLEDGE OF THE SITE CONDITIONS AND THAT
 IT WAS PREPARED IN ACCORDANCE WITH THE
 REQUIREMENTS OF THE NATURAL RESOURCE
 CONSERVATION SERVICE.
 SIGNATURE OF ENGINEER: *Mark S. Crissman* DATE: 8-12-08
 PRINTED NAME OF ENGINEER: MARK S. CRISSMAN

THESE PLANS HAVE BEEN REVIEWED FOR
 HOWARD SOIL CONSERVATION DISTRICT AND MEETS
 TECHNICAL REQUIREMENTS.
 USDA NATURAL RESOURCE
 CONSERVATION SERVICE
 THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL
 EROSION AND SEDIMENT CONTROL BY THE HOWARD
 SOIL CONSERVATION DISTRICT.
 SIGNATURE: *John K. Hester* DATE: 8/21/08
 HOWARD SOIL
 CONSERVATION DISTRICT

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF DEVELOPMENT ENGINEERING DIVISION
 SIGNATURE: *Andi...* DATE: 8/27/08
 CHIEF DIVISION OF LAND DEVELOPMENT
 SIGNATURE: *...* DATE: 8/27/08
 DIRECTOR

HARMS
 ENGINEERS • PLANNERS • SURVEYORS
 1209 N. EAST STREET, FREDERICK, MARYLAND 21701
 Office: 301/631-2027 FAX: 301/631-5028

NO.	REVISION	BY	DATE
1	RELOCATES OIL/WATER	SD	10/23/08
2	SEPARATES & CONNECTS TO SHA	SD	4/11/09
3	RELOCATES & CONNECTS TO SHA	SD	3/11/11
4	EXPANDED BIORETENTION	PC	9/16/17
5	REMOVED PARKING LOT	PC	7/10/19

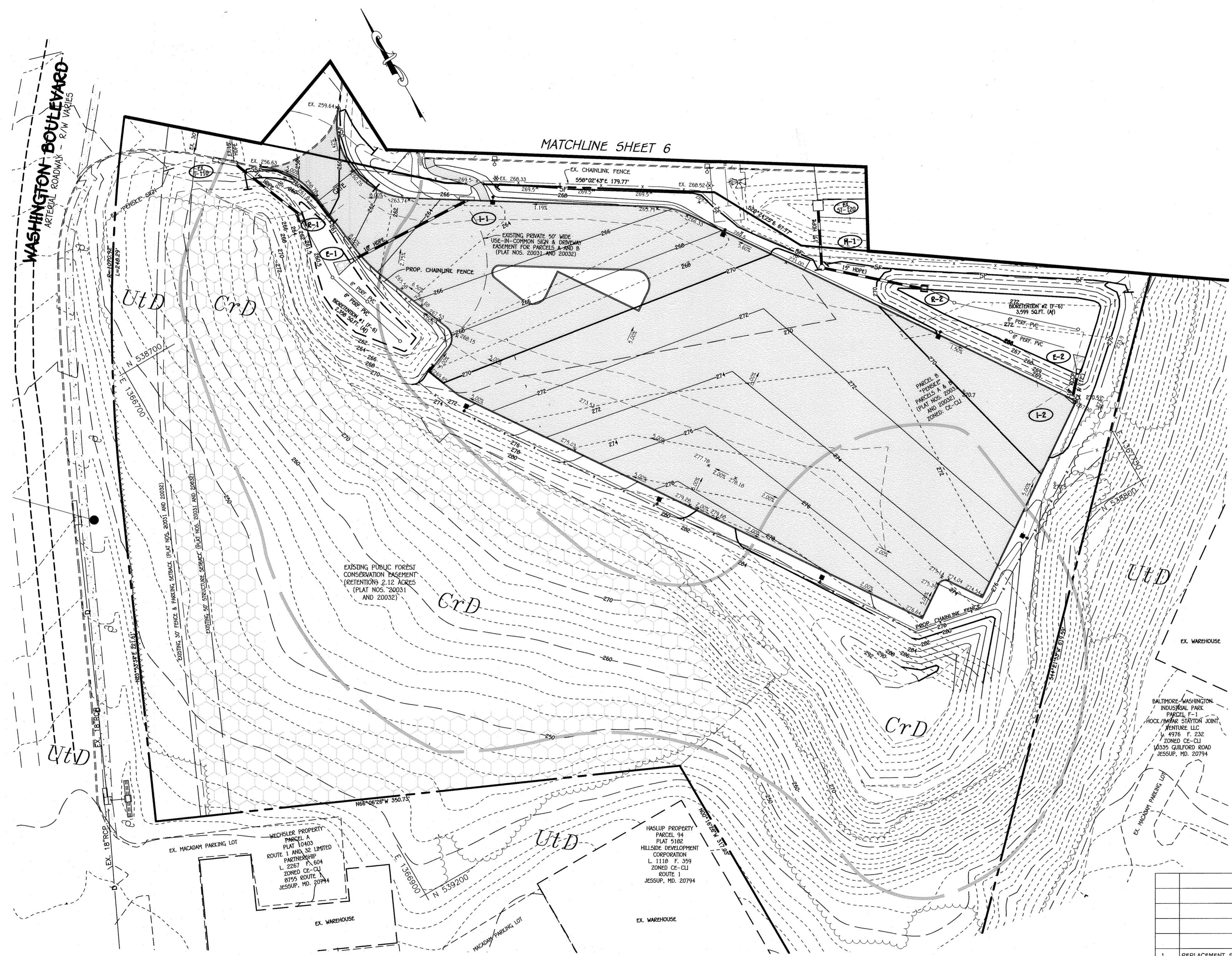
GRADING PLAN

PENSKE-RENTAL RETAIL & STORAGE FACILITY
 8685 E. WASHINGTON BOULEVARD
 JESSUP, MARYLAND 20794
 TAX MAP 48, PARCEL 121
 SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 SCALE: 1" = 40'

6 OF 24

© 2008 JOHN E. HARMS, JR. & ASSOCIATES, INC.

SOILS LEGEND			
SOIL	NAME	CLASS	K FACTOR
CrD	Croom and Evesboro soils, 10 to 15 percent slope	C	0.28
Utd	Urban - Land - Udothents Complex, 0 to 15 percent slope	D	0.28
Soil Map Number: 25 (Savage, SE)			



LEGEND	
SYMBOL	DESCRIPTION
--- 302 ---	EXISTING CONTOUR 2' INTERVAL
--- 300 ---	EXISTING CONTOUR 10' INTERVAL
X	EXISTING FENCE
d	EXISTING STORM DRAIN LINE
w	EXISTING WATER LINE
e	EXISTING UNDERGROUND ELECTRIC
▨	STEEP SLOPES 15%-24.9% OR GREATER
▨	STEEP SLOPES 25% OR GREATER
--- 302 ---	PROPOSED CONTOUR 2' INTERVAL
--- 300 ---	PROPOSED CONTOUR 10' INTERVAL
+ 275.14	SPOT ELEVATION
▭	EXISTING CONCRETE WALK
▭	PROPOSED MACADAM PAVING
▭	EXISTING TREELINE
▭	PROPOSED TREELINE
▭	PROPOSED STORMDRAIN
--- B.R.L. ---	BUILDING RESTRICTION LINE
○	EXISTING LIGHT POLE
▭	LIMIT OF DISTURBANCE
▭	SUPER SILT FENCE
▭	SILT FENCE
●	PROPOSED STREET LIGHT

OWNER/DEVELOPER
 PENSKE RENTAL, LEASING, LOGISTICS
 5 CAPITAL DRIVE
 READING, PA 17110
 Attention: JON WILTANGER
 717-612-4665

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2020."



GRADING PLAN (REPLACEMENT SHEET)

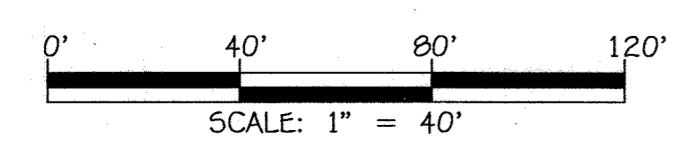
**PENSKE-RENTAL RETAIL & STORAGE FACILITY
 PARKING LOT ADDITION**

ZONED: CE-CL1 TAX MAP No.: 48 GRID No.: 1 PARCEL No.: 121
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: JULY 2019

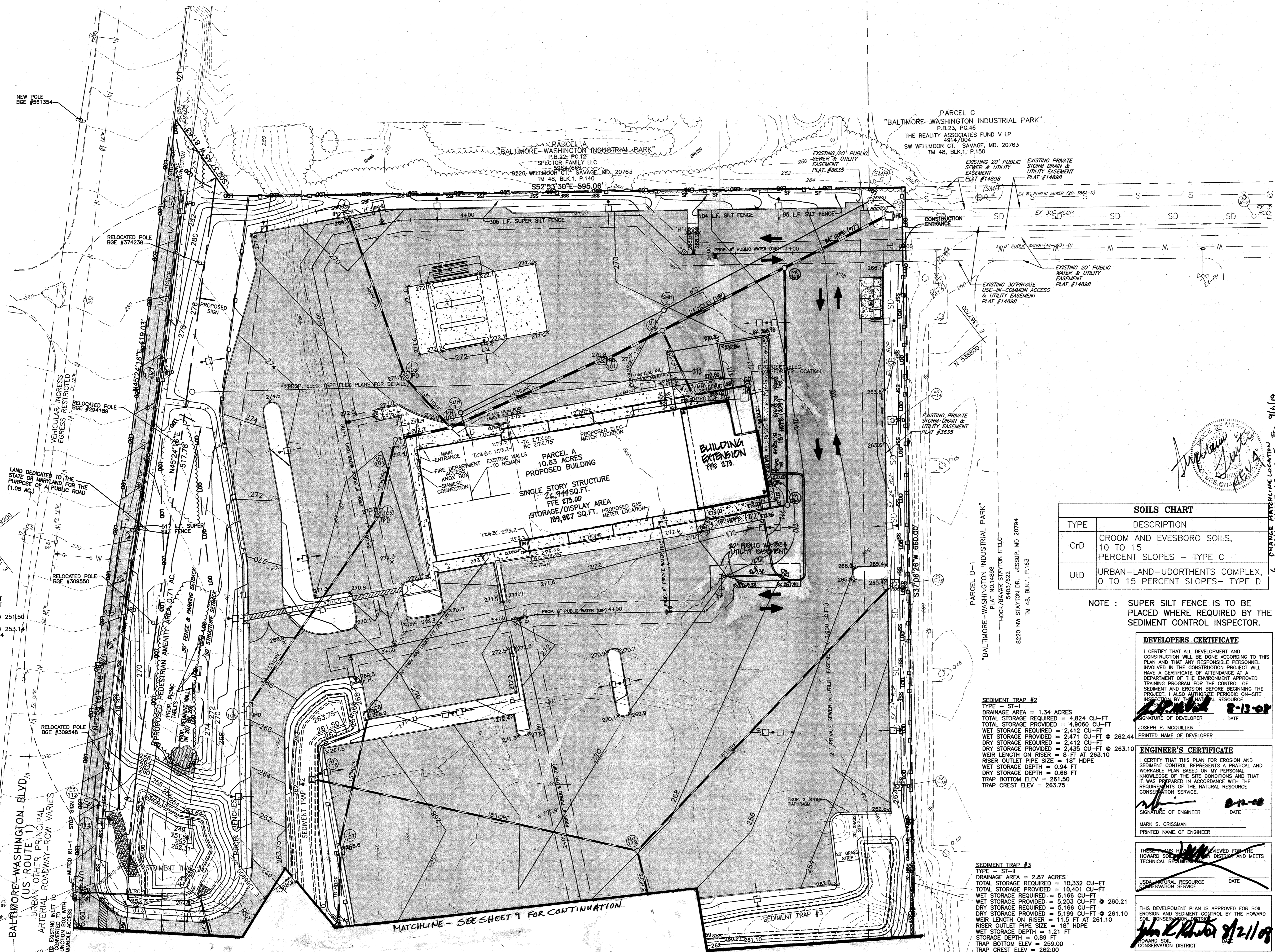
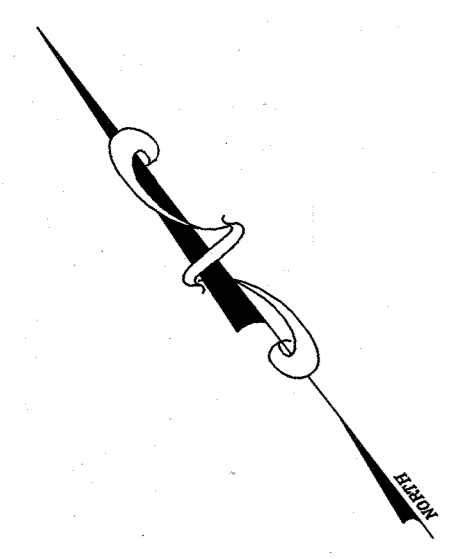
SHEET 7 OF 24

1	REPLACEMENT SHEET TO SHOW PARKING ON PARCEL B	FCC	7/23/19
NO.	REVISION	BY	DATE
APPROVED: DEPARTMENT OF PLANNING AND ZONING			
Chief, Division of Land Development	Ed	5/1/2019	Date
Chief, Development Engineering Division	JF	9/25/19	Date
Director, Department of Planning and Zoning	Stephane J. Tuite	5-12-2020	Date

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 1000 NATIONAL SQUARE OFFICE PARK - 10072 BALTIMORE NATIONAL FLEX
 ELICOTT CITY, MARYLAND 21042
 (410) 661-2295



PLAN
 SCALE: 1" = 40'



SEDIMENT TRAP #1
 TYPE - ST-1
 DRAINAGE AREA = 3.81 ACRES
 TOTAL STORAGE REQUIRED = 13,716 CU-FT
 TOTAL STORAGE PROVIDED = 13,855 CU-FT
 WET STORAGE REQUIRED = 6,858 CU-FT
 WET STORAGE PROVIDED = 6,876 CU-FT @ 251.50
 DRY STORAGE REQUIRED = 6,858 CU-FT
 DRY STORAGE PROVIDED = 6,979 CU-FT @ 253.14
 WEIR LENGTH ON RISER = 12 FT AT 253.14
 RISER OUTLET PIPE SIZE = 18" HDPE
 WET STORAGE DEPTH = 2.50 FT
 DRY STORAGE DEPTH = 1.64 FT
 TRAP BOTTOM ELEV = 249.00
 TRAP CREST ELEV = 254.00

NOTE:
 CONVERT EARTH BERM TO
 MACADAM BERM AT THE
 DIRECTION OF THE SEDIMENT
 CONTROL INSPECTOR.

BALTIMORE-WASHINGTON BLVD
 (US ROUTE 1)
 OTHER PRINCIPAL
 ROADWAY - ROW VARIES

RELOCATED POLE
 BGE #309548

RELOCATED POLE
 BGE #309550

RELOCATED POLE
 BGE #374238

RELOCATED POLE
 BGE #374238

RELOCATED POLE
 BGE #374238

RELOCATED POLE
 BGE #374238

RELOCATED POLE
 BGE #374238

RELOCATED POLE
 BGE #374238

RELOCATED POLE
 BGE #374238

RELOCATED POLE
 BGE #374238

RELOCATED POLE
 BGE #374238

RELOCATED POLE
 BGE #374238

RELOCATED POLE
 BGE #374238

RELOCATED POLE
 BGE #374238

RELOCATED POLE
 BGE #374238

RELOCATED POLE
 BGE #374238

RELOCATED POLE
 BGE #374238

RELOCATED POLE
 BGE #374238

RELOCATED POLE
 BGE #374238

RELOCATED POLE
 BGE #374238

RELOCATED POLE
 BGE #374238

RELOCATED POLE
 BGE #374238

RELOCATED POLE
 BGE #374238

RELOCATED POLE
 BGE #374238

RELOCATED POLE
 BGE #374238

RELOCATED POLE
 BGE #374238

RELOCATED POLE
 BGE #374238

RELOCATED POLE
 BGE #374238

RELOCATED POLE
 BGE #374238

RELOCATED POLE
 BGE #374238

RELOCATED POLE
 BGE #374238

RELOCATED POLE
 BGE #374238

RELOCATED POLE
 BGE #374238

RELOCATED POLE
 BGE #374238

RELOCATED POLE
 BGE #374238

RELOCATED POLE
 BGE #374238

RELOCATED POLE
 BGE #374238

MATCHLINE - SEE SHEET 9 FOR CONTINUATION

PARCEL C
 "BALTIMORE-WASHINGTON INDUSTRIAL PARK"
 P.B. 23, PG. 46
 THE REALITY ASSOCIATES FUND V LP
 4814/004
 SW WELLMOOR CT, SAVAGE, MD, 20763
 TM 48, BLK.1, P.150

PARCEL A
 "BALTIMORE-WASHINGTON INDUSTRIAL PARK"
 P.B. 22, PG. 12
 SPECTOR FAMILY LLC
 5964/669
 8228 WELLMOOR CT, SAVAGE, MD, 20763
 TM 48, BLK.1, P.140
 S52°53'30"E 595.06'

PARCEL A
 10.63 ACRES
 PROPOSED BUILDING
 SINGLE STORY STRUCTURE
 26,944 SQ. FT.
 STORAGE/DISPLAY AREA
 109,827 SQ. FT.

BUILDING
 EXTENSION
 PLS 273

SOILS CHART

TYPE	DESCRIPTION
CrD	CROOM AND EVESBORO SOILS, 10 TO 15 PERCENT SLOPES - TYPE C
UD	URBAN-LAND-UDORTHEMETS COMPLEX, 0 TO 15 PERCENT SLOPES- TYPE D

NOTE : SUPER SILT FENCE IS TO BE
 PLACED WHERE REQUIRED BY THE
 SEDIMENT CONTROL INSPECTOR.

DEVELOPERS CERTIFICATE

I CERTIFY THAT ALL DEVELOPMENT AND
 CONSTRUCTION WILL BE DONE ACCORDING TO THIS
 PLAN AND THAT ANY RESPONSIBLE PERSONNEL
 INVOLVED IN THE CONSTRUCTION PROJECT WILL
 HAVE A CERTIFICATE OF ATTENDANCE AT A
 DEPARTMENT OF THE ENVIRONMENT APPROVED
 TRAINING PROGRAM FOR THE CONTROL OF
 SEDIMENT AND EROSION BEFORE BEGINNING THE
 PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE
 INSPECTION BY THE AGENCY RESOURCE.

DATE: 8-13-08
 SIGNATURE OF DEVELOPER: [Signature]
 JOSEPH P. MCGUILLEN
 PRINTED NAME OF DEVELOPER

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR EROSION AND
 SEDIMENT CONTROL REPRESENTS A PRACTICAL AND
 WORKABLE PLAN BASED ON MY PERSONAL
 KNOWLEDGE OF THE SITE CONDITIONS AND THAT
 IT WAS PREPARED IN ACCORDANCE WITH THE
 REQUIREMENTS OF THE NATURAL RESOURCE
 CONSERVATION SERVICE.

DATE: [Blank]
 SIGNATURE OF ENGINEER: [Signature]
 MARK S. CRISSMAN
 PRINTED NAME OF ENGINEER

USDA NATURAL RESOURCE CONSERVATION SERVICE

DATE: [Blank]
 SIGNATURE: [Signature]

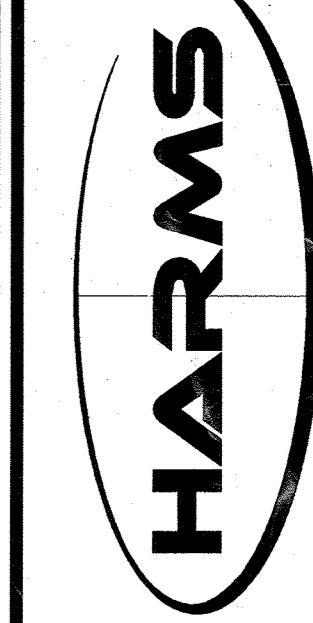
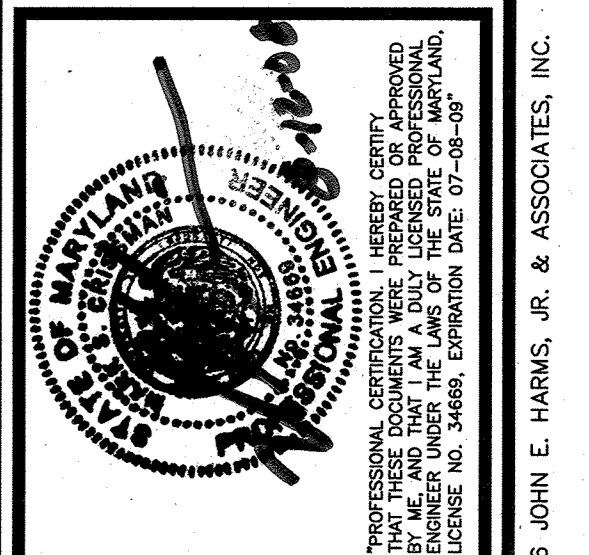
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT

DATE: 8/21/08
 SIGNATURE: [Signature]

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DATE: [Blank]
 SIGNATURE: [Signature]
 DATE: [Blank]
 SIGNATURE: [Signature]
 DATE: [Blank]
 SIGNATURE: [Signature]
 DATE: [Blank]

CHANGE MATERIALS LOCATION AND EROSION CONTROL FOOTPRINT Fee 9/16/19



1200 N. EAST STREET, FREDERICK, MARYLAND 21701
 Office: 301/631-5027 FAX: 301/631-3028

NO.	REVISION	DATE
1	RELOCATE ONLY WATER SEPARATOR TO CONFORM TO BTR # 2	10/15/08
2	RELOCATE ONLY WATER SEPARATOR TO CONFORM TO BTR # 2	4/15/09
3	RELOCATE ONLY WATER SEPARATOR TO CONFORM TO BTR # 2	3/21/11
4	RELOCATE ONLY WATER SEPARATOR TO CONFORM TO BTR # 2	9/10/17
5	RELOCATE ONLY WATER SEPARATOR TO CONFORM TO BTR # 2	7/05/18

EROSION & SEDIMENT CONTROL PLAN
PENSKE-RENTAL RETAIL & STORAGE FACILITY
 8685 E. WASHINGTON BOULEVARD
 JESSUP, MARYLAND 20794
 TAX MAP 48, PARCEL 121
 SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 SCALE: 1" = 40'

DESIGNED BY: SJG
 DRAWN BY: S/N
 CHECKED BY: MSC
 DATE: JULY, 2008
 W.O. NO. 08-05-034A

8
 8 OF 24

ADDITIONAL STANDARD SEDIMENT CONTROL NOTES

- Additional sediment control must be provided, if deemed necessary by the CD. The site and all controls shall be inspected by the contractor weekly and the next day after each rain event. A written report by the contractor, made available upon request, is part of every inspection and should include:
 - Inspection date
 - Inspection type (routine, pre-storm event, during rain event)
 - Name and title of inspector
 - Weather information (current conditions as well as time and amount of last recorded precipitation)
 - Brief description of project status (e.g., percent complete) and/or current activities
 - Evidence of sediment discharges
 - Identification of plan deficiencies
 - Identification of sediment controls that require maintenance
 - Identification of missing or improperly installed sediment controls
 - Compliance status regarding the sequence of construction and stabilization requirements
 - Photographs
 - Monitoring/sampling
 - Maintenance and/or corrective action performed
 - Other inspection items as required by the General Permit for Stormwater Associated with Construction Activities (NPDES, MDE).
- Trenches for the construction of utilities is limited to three pipe lengths or that which can and shall be back-filled and stabilized by the end of each workday, whichever is shorter.
- Any major changes or revisions to the plan or sequence of construction must be reviewed and approved by the HSCD prior to proceeding with construction. Minor revisions may be approved by the CD per the list of HSCD-approved field changes.
- Disturbance shall not occur outside the L.O.D. A project is to be sequenced so that grading activities begin on one grading unit (maximum acreage of 20 ac. per grading unit) at a time. Work may proceed to a subsequent grading unit when at least 50 percent of the disturbed area in the preceding grading unit has been stabilized and approved by the HSCD. Unless otherwise specified and approved by the HSCD, no more than 30 acres cumulatively may be disturbed at a given time.
- Wash water from any equipment, vehicles, wheels, pavement, and other sources must be treated in a sediment basin or other approved washout structure.
- Topsoil shall be stockpiled and preserved on-site for redistribution onto final grade.
- All Silt Fence and Super Silt Fence shall be placed on-the-contour, and be imbricated at 25' minimum intervals, with lower ends curled uphill by 2' in elevation. Stream channels must not be disturbed during the following restricted time periods (inclusive):
 - Use I and II March 1 - June 15
 - Use III and IIII October 1 - April 30
 - Use IV March 1 - May 31
- A copy of this plan, the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, and associated permits shall be on-site and available when the site is active.

TEMPORARY SEEDING NOTES (B-4-4)

Definition
To stabilize disturbed soils with vegetation for up to 6 months.

Purpose
To use fast growing vegetation that provides cover on disturbed soils.

Conditions Where Practice Applies
Exposed soils where ground cover is needed for a period of 6 months or less. For longer duration of time, permanent stabilization practices are required.

Criteria

- Select one or more of the species or seed mixtures listed in Table B.1 for the appropriate Plant Hardiness Zone (from Figure B.3), and enter them in the Temporary Seeding Summary below along with application rates, seeding dates and seeding depths. If this Summary is not put on the plan and completed, then Table B.1 plus fertilizer and lime rates must be put on the plan.
- For sites having soil tests performed, use and show the recommended rates by the testing agency. Soil tests are not required for Temporary Seeding.
- When stabilization is required outside of a seeding season, apply seed and mulch or straw mulch alone as prescribed in Section B-4-3.A.1.b and maintain until the next seeding season.

Hardness Zone (from Figure B.3):	6b	Fertilizer Rate (10-20-20)	Lime Rate
Seed Mixture (from Table B.1):			
Species	Application Rate (lb/ac)	Seeding Dates	Seeding Depths
BARLEY	96	3/1 - 5/15	1"
OATS	72	8/15 - 10/15	1"
RYE	112		1"

PERMANENT SEEDING NOTES (B-4-5)

A. Seed Mixtures

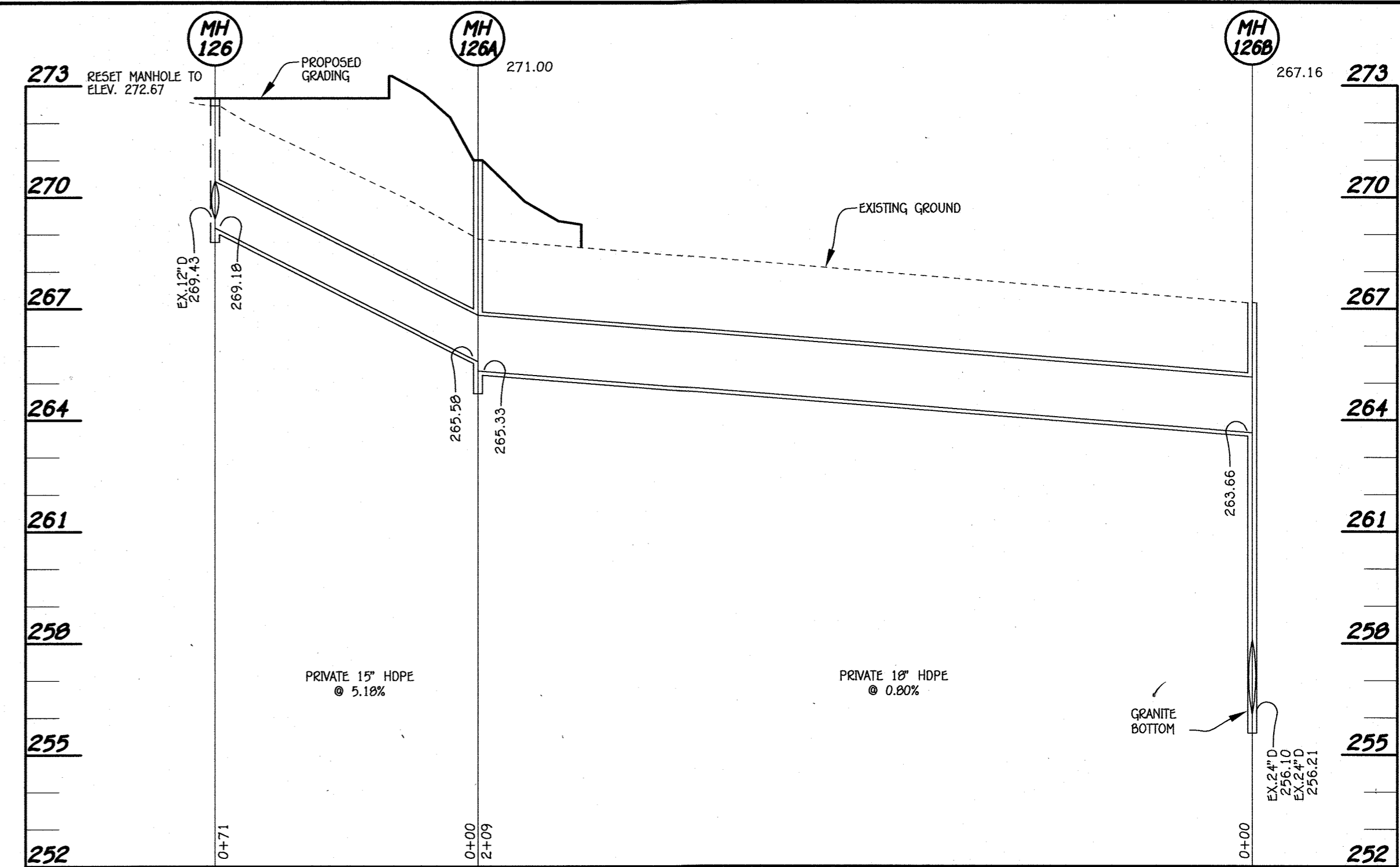
- General Use
- Select one or more of the species or mixtures listed in Table B.3 for the appropriate Plant Hardiness Zone (from Figure B.3) and based on the site condition or purpose found on Table B.2, enter selected mixtures, application rates, and seeding dates in the Permanent Seeding Summary. The Summary is to be placed on the plan.
- Additional planting specifications for exceptional sites such as shorelines, stream banks, or dunes or for special purposes such as wildlife or aesthetic treatment may be found in USDA-NRCS Technical Field Office Guide, Section 342 - Critical Area Planting.

c. For sites having disturbed area over 5 acres, use and show the rates recommended by the soil testing agency. d. For areas receiving low maintenance, apply urea form fertilizer (46-0-0) at 3 1/2 pounds per 1000 square feet (150 pounds per acre) at the time of seeding in addition to the soil amendments shown in the Permanent Seeding Summary.

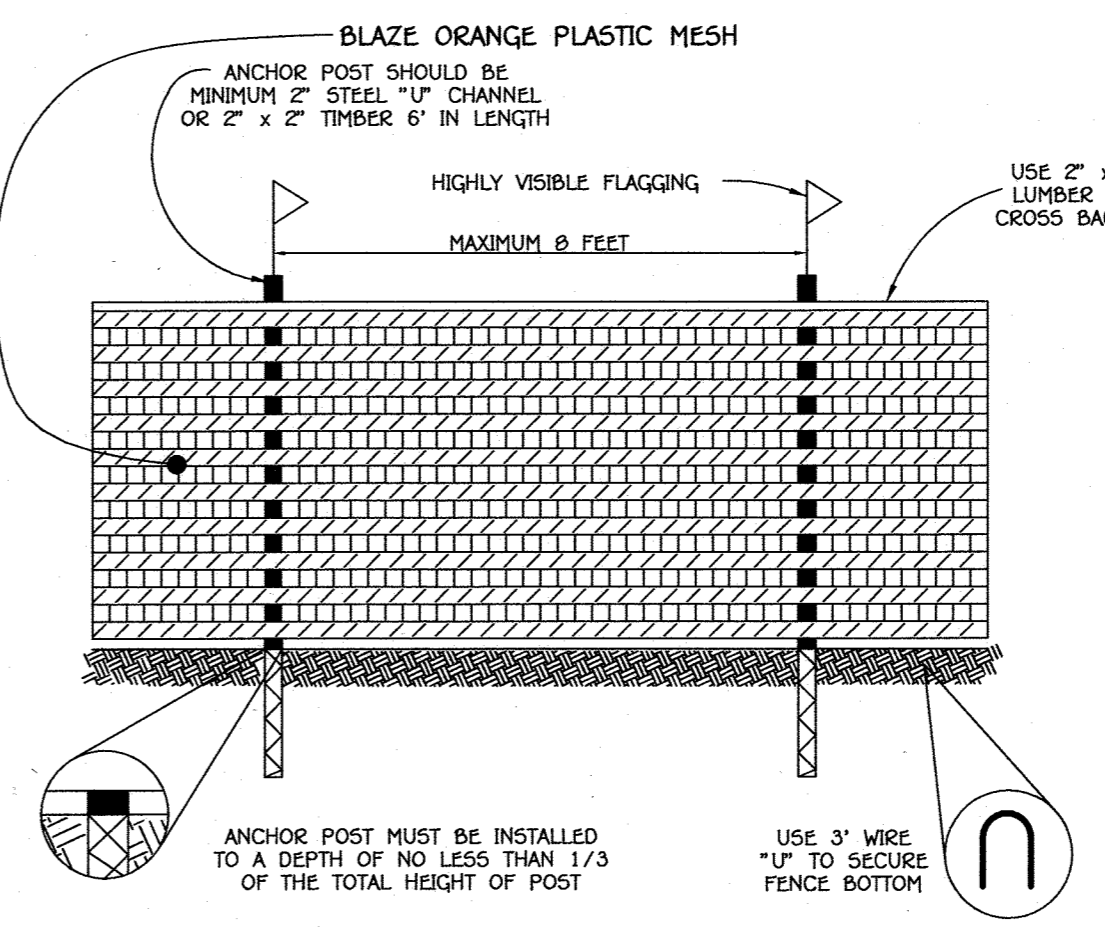
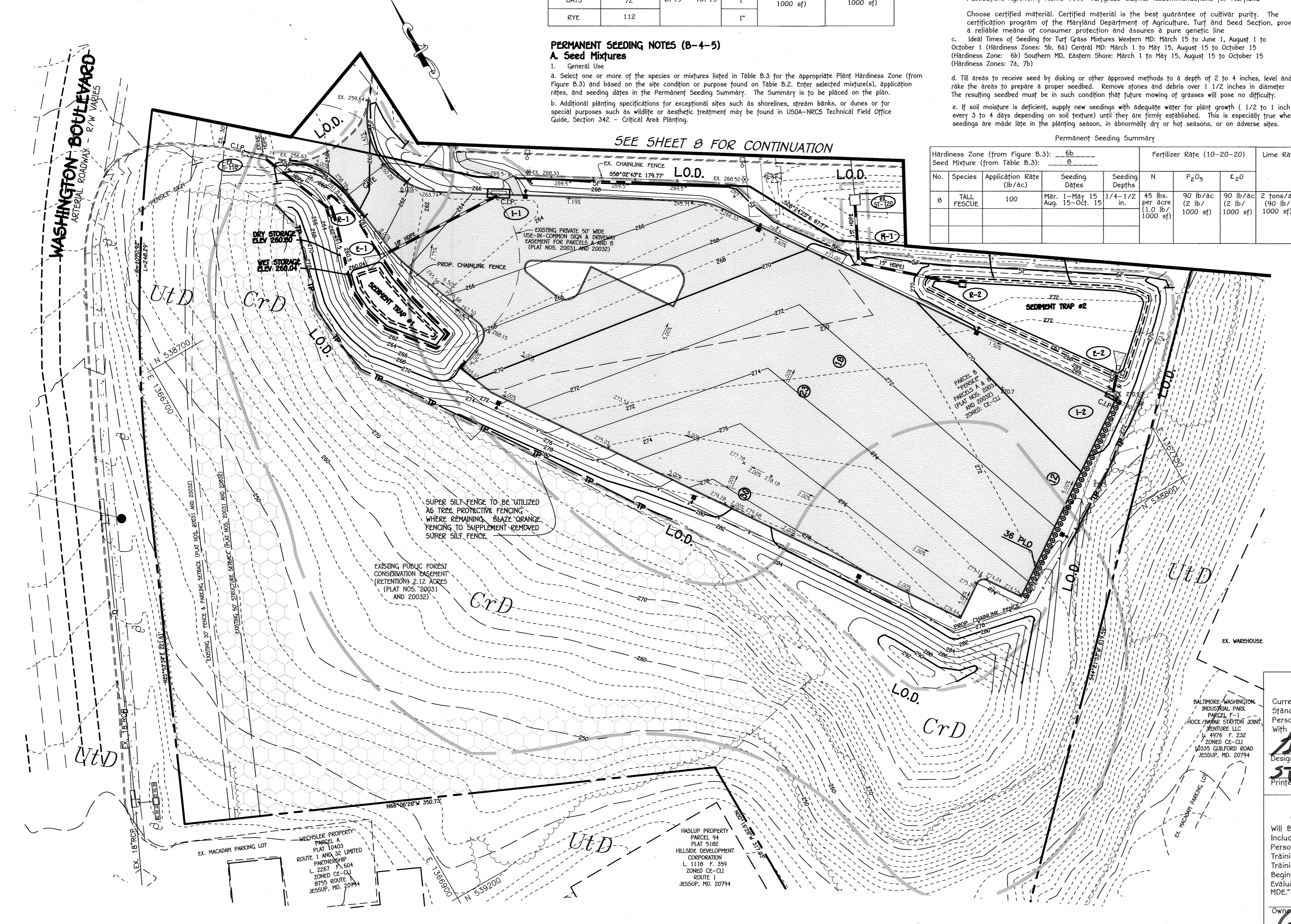
- Turfgrass Mixtures
- Areas where turfgrass may be desired include lawns, parks, playgrounds, and commercial sites which will receive a medium to high level of maintenance.
- Select one or more of the species or mixtures listed below based on the site conditions or purpose. Enter selected mixture(s), application rates, and seeding dates in the Permanent Seeding Summary. The summary is to be placed on the plan.
 - Kentucky Bluegrass: Full Sun Mixture: For use in areas that receive intensive management. Irrigation required in the areas of central Maryland and Eastern Shore. Recommended Certified Kentucky Bluegrass Cultivars Seeding Rate: 1.5 to 2.0 pounds per 1000 square feet. Choose a minimum of three Kentucky bluegrass cultivars with each ranging from 10 to 35 percent of the total mixture by weight.
 - Kentucky Bluegrass/Perennial Rye: Full Sun Mixture: For use in full sun areas where rapid establishment is necessary and when turf will receive medium to intensive management. Certified Perennial Ryegrass Cultivars/Certified Kentucky Bluegrass Seeding Rate: 2 pounds mixture per 1000 square feet. Choose a minimum of three Kentucky bluegrass cultivars with each ranging from 10 to 35 percent of the total mixture by weight.
 - Tall Fescue/Kentucky Bluegrass: Full Sun Mixture: For use in drought prone areas and/or for areas receiving low to medium management in full sun to medium shade. Recommended mixture includes: Certified Tall Fescue Cultivars 95 to 100 percent, Certified Kentucky Bluegrass Cultivars 0 to 5 percent. Seeding Rate: 5 to 8 pounds per 1000 square feet. One or more cultivars may be blended.
 - Kentucky Bluegrass/Fine Fescue: Shade Mixture: For use in areas with shade in bluegrass lawns. For establishment in high quality, intensively managed turf area. Mixture includes: Certified Kentucky Bluegrass Cultivars 30 to 40 percent and Certified Fine Fescue and 60 to 70 percent. Seeding Rate: 1 1/2 to 3 pounds per 1000 square feet.

Notes:
Select turfgrass varieties from those listed in the most current University of Maryland Publication, Agronomy Memo #77, "Turfgrass Cultivar Recommendations for Maryland"
Choose certified material. Certified material is the best guarantee of cultivar purity. The certification program of the Maryland Department of Agriculture, Turf and Seed Section, provides a reliable means of consumer protection and assures a pure genetic line.
c. Ideal Times of Seeding for Turf Grass Mixtures Western MD: March 15 to June 1, August 1 to October 1 (Hardness Zones: 5b, 6a) Central MD: March 1 to May 15, August 15 to October 15 (Hardness Zones: 6b) Southern MD, Eastern Shore: March 1 to May 15, August 15 to October 15 (Hardness Zones: 7a, 7b)
d. Till areas to receive seed by disking or other approved methods to a depth of 2 to 4 inches, level and rake the areas to prepare a proper seedbed. Remove stones and debris over 1 1/2 inches in diameter. The resulting seedbed must be in such condition that future mowing of grasses will pose no difficulty.
e. If soil moisture is deficient, supply new seedings with adequate water for plant growth (1/2 to 1 inch every 3 to 4 days depending on soil texture) until they are firmly established. This is especially true when seedings are made late in the planting season, in abnormally dry or hot seasons, or on adverse sites.

Hardness Zone (from Figure B.3):	6b	Fertilizer Rate (10-20-20)	Lime Rate					
Seed Mixture (from Table B.3):								
No.	Species	Application Rate (lb/ac)	Seeding Dates	Seeding Depths	N	P ₂ O ₅	K ₂ O	
1	TALL FESCUE	100	Mar. 1-May 15 Aug. 15-Oct. 15	1/4-1/2 in.	45 lb. per acre (110 lb/1000 sf)	90 lb/ac (2 lb/1000 sf)	90 lb/ac (2 lb/1000 sf)	2 tons/ac (90 lb/1000 sf)



PROFILE
SCALE: HORIZ. : 1" = 30'
VERT. : 1" = 5'



- NOTES:**
- FOREST PROTECTION DEVICE ONLY.
 - RETENTION AREA WILL BE SET AS PART OF THE REVIEW PROCESS.
 - BOUNDARIES OF RETENTION AREA SHOULD BE STAKED AND FLAGGED PRIOR TO INSTALLING DEVICE.
 - ROOT DAMAGE SHOULD BE AVOIDED.
 - PROTECTIVE SIGNAGE MAY ALSO BE USED.
 - DEVICE SHOULD BE MAINTAINED THROUGHOUT CONSTRUCTION.

TREE PROTECTION DETAIL
NOT TO SCALE

- SEQUENCE OF CONSTRUCTION FOR PARKING LOT ON PARCEL B**
- OBTAIN A GRADING PERMIT AND HOLD PRE-CONSTRUCTION MEETING WITH COUNTY INSPECTOR. (2 WEEKS)
 - NOTIFY "MDS UTILITY" AT LEAST 48 HOURS BEFORE BEGINNING ANY WORK AT 1-800-257-7777. NOTIFY THE HOWARD COUNTY OFFICE OF CONSTRUCTION INSPECTION AT 410-513-1330 AT LEAST 24 HOURS BEFORE STARTING WORK.
 - INSTALL STABILIZED CONSTRUCTION ENTRANCE, SILT FENCE, SUPER SILT FENCE, AND TREE PROTECTIVE FENCING WHERE SHOWN. (1 DAY)
 - INSTALL ACCESS BAY OFF-SITE AND BUSH GRASS FOR PARKING LOT. (1 WEEK)
 - INSTALL TEMPORARY SEEDING. (1 DAY)
 - CONSTRUCT STORM DRAIN SYSTEMS, PAVE PARKING LOT, AND INSTALL LIGHTING AND FENCING. (2 WEEKS)
 - FINE GRADE AND INSTALL PERMANENT SOIL STABILIZATION MATING ON SLOPES. (1 DAY)
 - UPON COMPLETION OF STABILIZATION, INSTALL AERATION FACILITIES ALONG WITH PIPING AND CONTROL STRUCTURES. PATCH PAVING AS NECESSARY (1 WEEK)
 - ALL FINAL GRADES AND STABILIZATION SHOULD BE COMPLETED BEFORE ANY REMOVAL OF CONTROLS. WHEN ALL CONTRIBUTING AREAS TO THE SEDIMENT CONTROL DEVICES HAVE BEEN STABILIZED AND WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, THE SEDIMENT CONTROL DEVICES MAY BE REMOVED. (2 DAYS)
- NOTE: THE CONTRACTOR SHALL INSPECT AND PROVIDE NECESSARY MAINTENANCE EACH RAINFALL AND ON A DAILY BASIS.

SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	EXISTING CONTOUR 10' INTERVAL
-X-	EXISTING FENCE
-d-	EXISTING STORM DRAIN LINE
-w-	EXISTING WATER LINE
-E-	EXISTING UNDERGROUND ELECTRIC
▬	STEEP SLOPES 15%-24.9% OR GREATER
▬	STEEP SLOPES 25% OR GREATER
---	PROPOSED CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 10' INTERVAL
+ 275.14	SPOT ELEVATION
▬	EXISTING CONCRETE WALK
▬	PROPOSED MACADAM PAVING
▬	EXISTING TREELINE
▬	PROPOSED TREELINE
▬	PROPOSED STORMDRAIN
▬	B.R.L. BUILDING RESTRICTION LINE
○	EXISTING LIGHT POLE
▬	L.O.D. LIMIT OF DISTURBANCE
▬	SSP SUPER SILT FENCE
▬	SILT FENCE
▬	TREE PROTECTION FENCE
●	PROPOSED STREET LIGHT

PROFESSIONAL CERTIFICATION
I hereby certify that this plan has been designed in accordance with Current Maryland Erosion and Sediment Control Laws, Regulations and Standards, that it Represents a Practical and Workable Plan Based on My Personal Knowledge of the Site, and that it was Prepared in Accordance with the Requirements of The Howard Soil Conservation District.

Stephanie Tuite 8/30/19
Date
Printed Name: **STEPHANIE TUITE** 38386
MD Registration No. R.L.S. or R.L.A. (circle one)

OWNER/DEVELOPER CERTIFICATION
"I/We Certify that Any Clearing, Grading, Construction or Development will be Done Pursuant to This Approved Erosion and Sediment Control Plan, Including Inspecting and Maintaining Controls and that The Responsible Personnel Involved in The Construction Project will Have a Certificate of Training At A Maryland Department of the Environment (MDE) Approved Training Program For The Control On Erosion and Sediment Prior To Beginning The Project. I Certify Right-of-entry For Periodic On-site Evaluation in Howard County, The Howard Soil Conservation District and/or MDE."

John Winters 9-5-19
Date
Printed Name & Title: **John Winters, Senior Regional Manager**

Approved: This Plan is Approved For Soil Erosion and Sediment Control by The Howard Soil Conservation District.

John L. Winters 9/18/19
Date
Printed Name & Title: **John L. Winters**
MD Registration No. 38386
Professional Engineer

Approved: DEPARTMENT OF PLANNING AND ZONING
Chief, Division of Land Development EB 8/18/2019
Date
Chief, Development Engineering Division JP 9-5-19
Date
Director, Department of Planning and Zoning 5-12-2020
Date

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2020."

Stephanie J. Tuite, R.L.E., LEED AP BD+C 8/30/19
Date

EROSION & SEDIMENT CONTROL PLAN (REPLACEMENT SHEET)

PENSKE-RENTAL RETAIL & STORAGE FACILITY PARKING LOT ADDITION

ZONED: CE-CL1 TAX MAP No.: 48 GRID No.: 1 PARCEL No.: 121
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: JULY 2019

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CORNER SQUARE OFFICE PARK - 10272 BALDOR NATIONAL PARK
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2899

SOILS LEGEND

SOIL	NAME	CLASS	K FACTOR
CrD	Croom and Evesboro soils, 10 to 15 percent slope	C	0.2B
Utd	Urban - Land - Udothen's Complex, 0 to 15 percent slope	D	0.2B

Soil Map Number: 25 (Savage, SE)

NO.	REVISION	BY	DATE
1	REPLACEMENT SHEET TO SHOW PARKING ON PARCEL B	FCC	7/23/19

HOWARD SOIL CONSERVATION DISTRICT

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE... SEEDING PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING... SEEDING: FOR THE PERIODS MARCH 1 THROUGH APRIL 30...

TEMPORARY SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED... SEEDING PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING... SEEDING: FOR PERIODS MARCH 1 THROUGH APRIL 30...

STANDARD SEDIMENT CONTROL NOTES

- 1. A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS... 2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL...

SEQUENCE OF CONSTRUCTION

- 1. CONTRACTOR SHALL NOTIFY MISS UTILITY, 1-800-257-7777 (A MINIMUM OF 3 WORKING DAYS)... 2. NOTIFY THE HOWARD COUNTY INSPECTIONS OFFICE AT 410-313-1523 TO SCHEDULE A PRE-CONSTRUCTION MEETING...

STANDARD AND SPECIFICATIONS FOR TOPSOIL

DEFINITION: PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION... PURPOSE: TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH... CONDITIONS WHERE PRACTICE APPLIES: THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES...

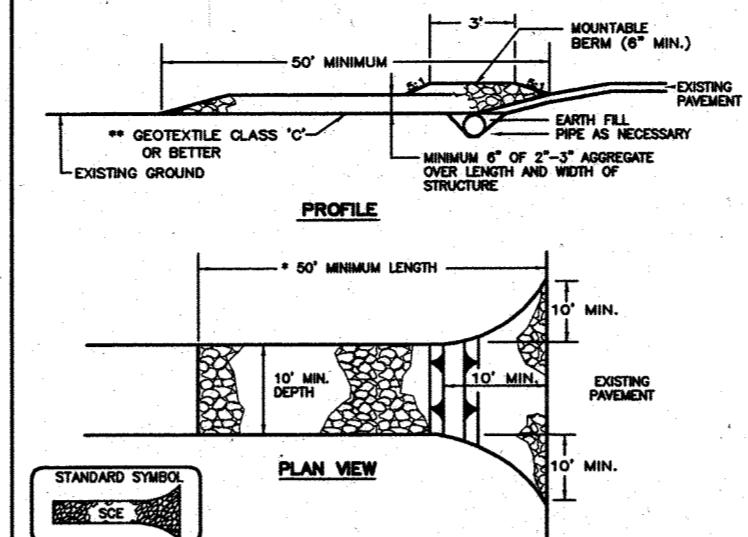
CONSTRUCTION AND MATERIAL SPECIFICATIONS

- I. TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS... II. TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING: 1. TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND...

TEMPORARY DUST CONTROL MEASURES

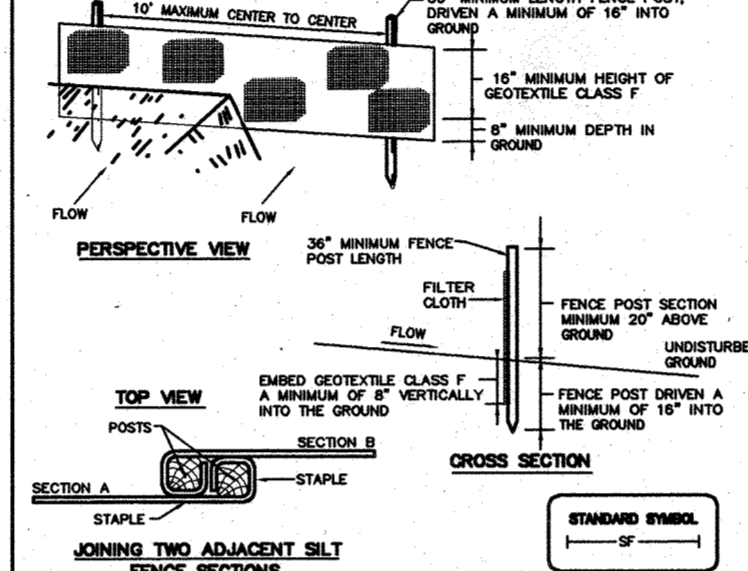
- 1. MULCHES - SEE STANDARDS FOR VEGETATIVE STABILIZATION WITH MULCHES ONLY... 2. VEGETATIVE COVER - SEE STANDARDS FOR TEMPORARY VEGETATIVE COVER... 3. TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE...

DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE



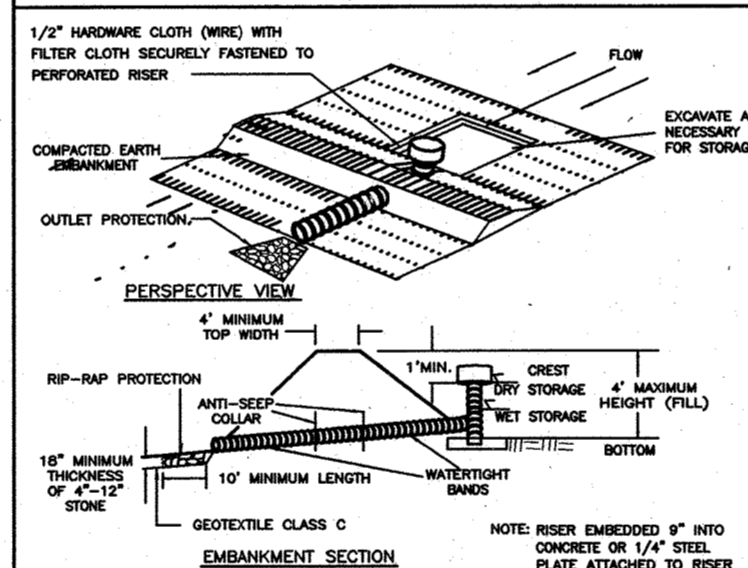
Construction Specifications: 1. Length - minimum of 50' (30' for single residence lot)... 2. Width - 10' minimum, should be flared at the existing road to provide a turning radius...

DETAIL 22 - SILT FENCE



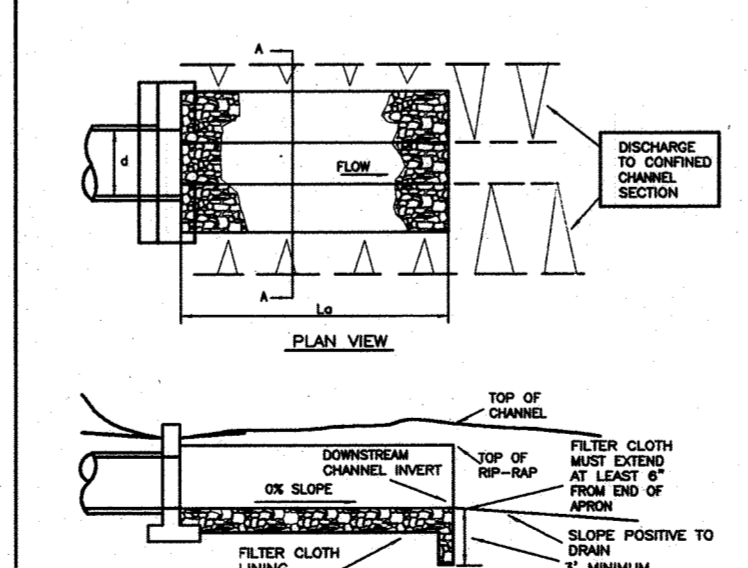
Construction Specifications: 1. Fence posts shall be a minimum of 36" long... 2. Geotextile shall be fastened securely to each fence post with wire ties... 3. Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass...

DETAIL 8 - PIPE OUTLET SEDIMENT TRAP - ST I



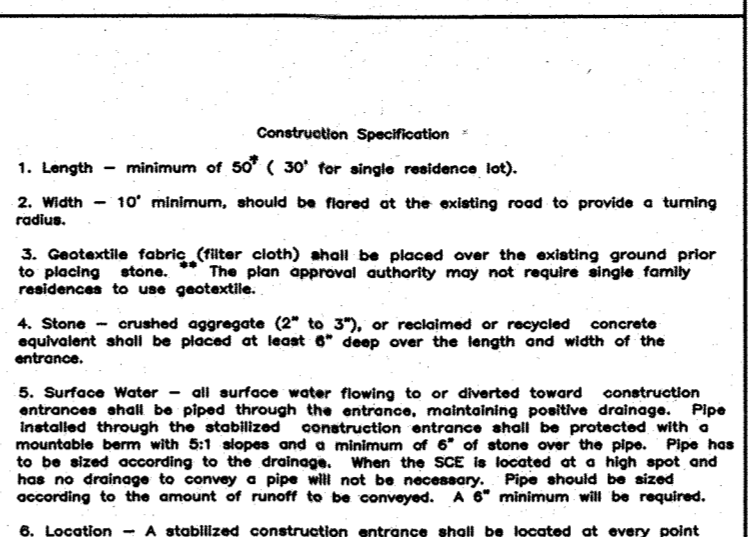
Construction Specifications: 1. The area under the embankment shall be cleared, grubbed and stripped of any vegetation and root mat... 2. The fill material for the embankment shall be free of roots or other woody debris...

DETAIL 26 - ROCK OUTLET PROTECTION II



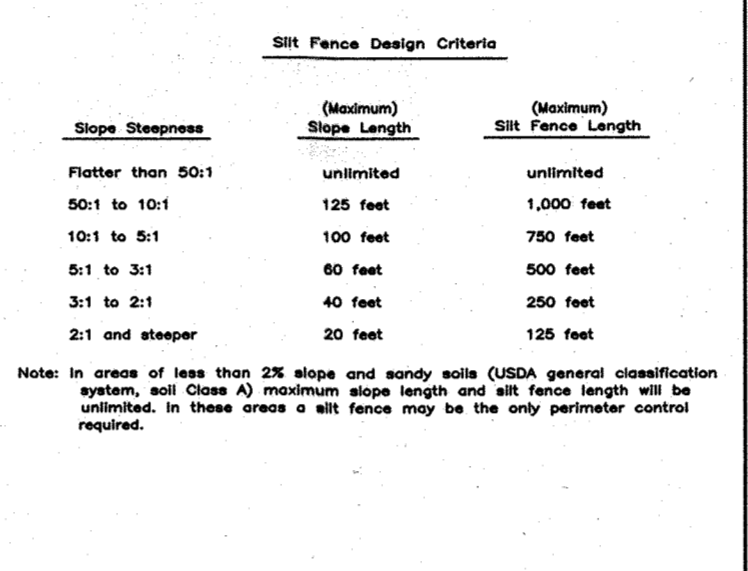
Construction Specifications: 1. The subgrade for the filter, rip-rap, or gabion shall be prepared by the registered land and grade... 2. The rock or gravel shall conform to the specified grading limits when installed...

STABILIZED CONSTRUCTION ENTRANCE



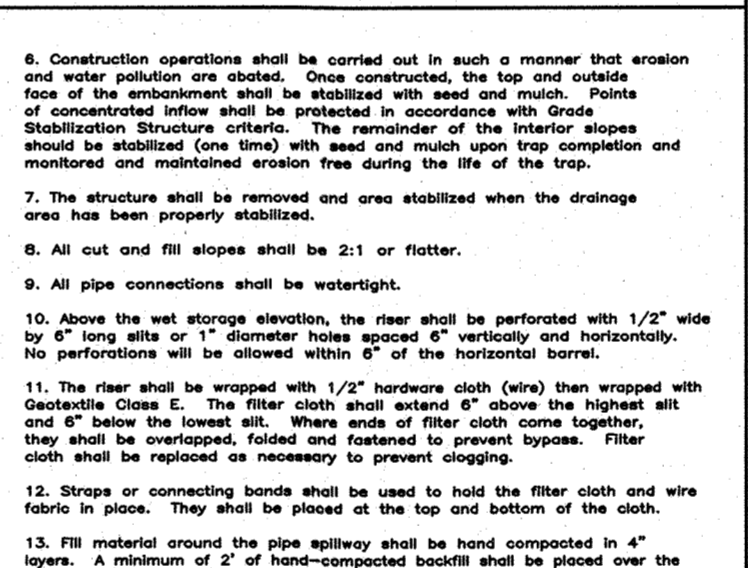
Construction Specifications: 1. Length - minimum of 50' (30' for single residence lot)... 2. Width - 10' minimum, should be flared at the existing road to provide a turning radius...

SILT FENCE



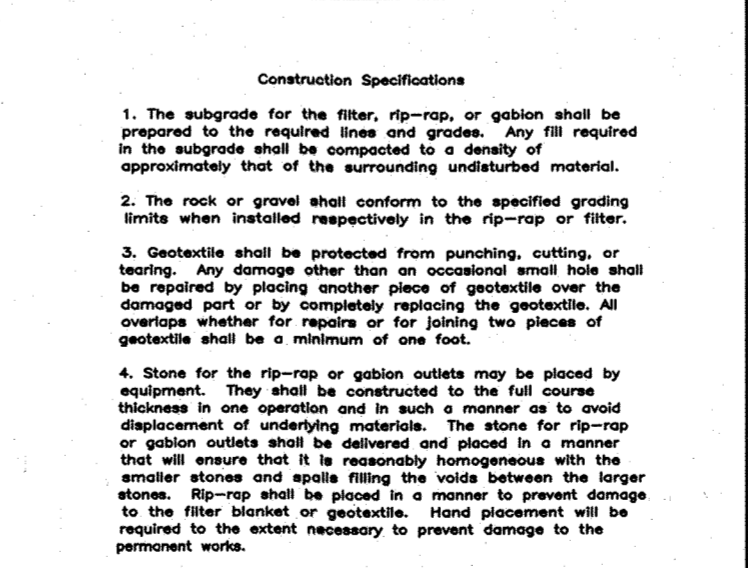
Construction Specifications: 1. Fence posts shall be a minimum of 36" long... 2. Geotextile shall be fastened securely to each fence post with wire ties... 3. Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass...

PIPE OUTLET SEDIMENT TRAP - ST I



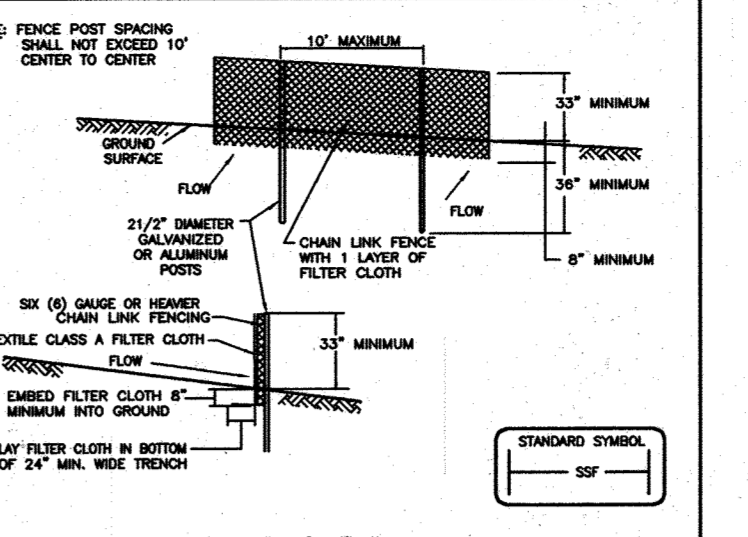
Construction Specifications: 1. The area under the embankment shall be cleared, grubbed and stripped of any vegetation and root mat... 2. The fill material for the embankment shall be free of roots or other woody debris...

ROCK OUTLET PROTECTION



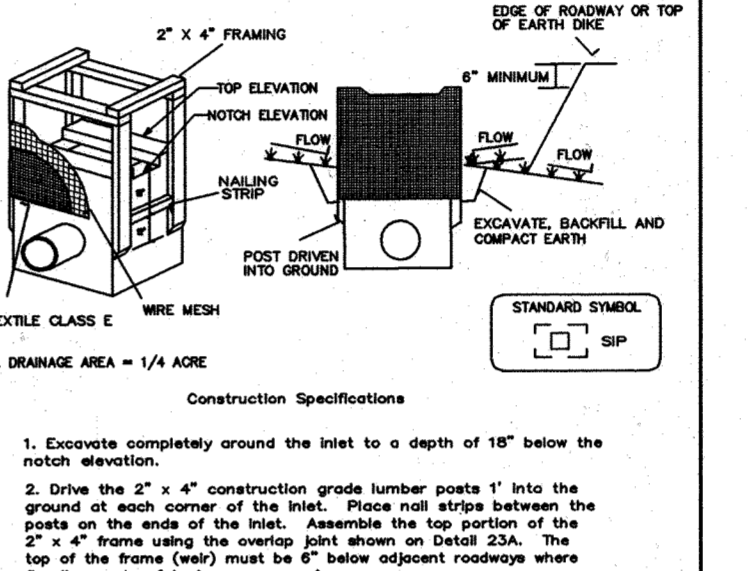
Construction Specifications: 1. The subgrade for the filter, rip-rap, or gabion shall be prepared by the registered land and grade... 2. The rock or gravel shall conform to the specified grading limits when installed...

DETAIL 33 - SUPER SILT FENCE



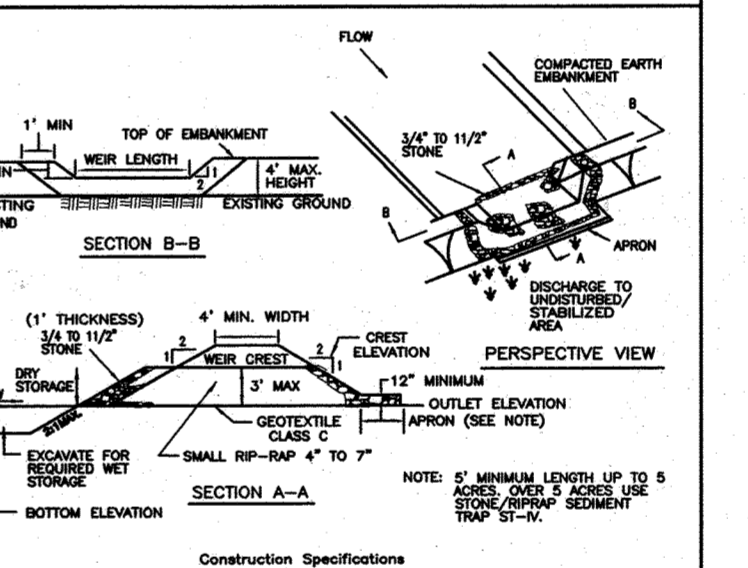
Construction Specifications: 1. Fencing shall be 42 inches in height and constructed in accordance with the same method as the silt fence... 2. The post to be used shall be 2x4...

DETAIL 23A - STANDARD INLET PROTECTION



Construction Specifications: 1. Excavate completely around the inlet to a depth of 18" below the inlet elevation... 2. Drive the 2" x 4" construction grade lumber posts 1' into the ground at each corner of the inlet...

DETAIL 9 - STONE OUTLET SEDIMENT TRAP - ST II



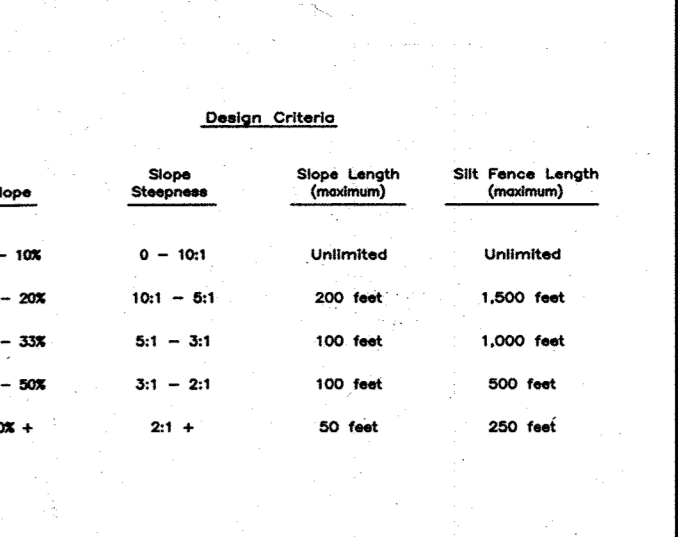
Construction Specifications: 1. Area under embankment shall be cleared, grubbed and stripped of any vegetation and root mat... 2. The fill material for the embankment shall be free of roots or other woody debris...

STONE OUTLET SEDIMENT TRAP - ST II



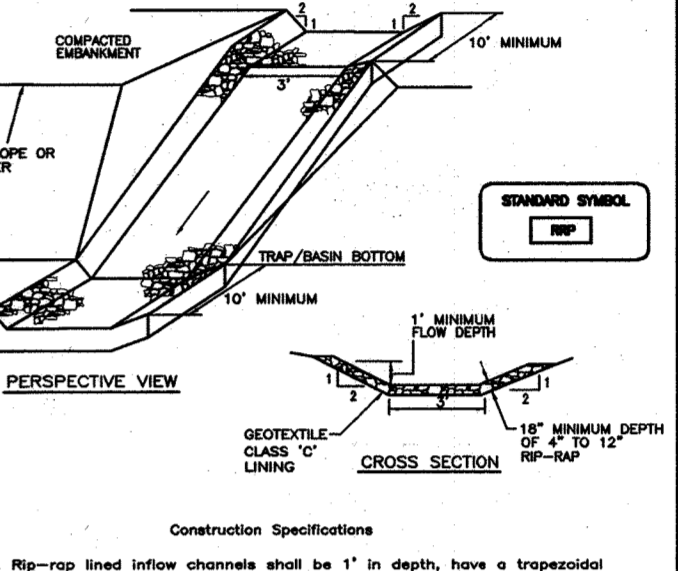
Construction Specifications: 1. The structure shall be inspected periodically and each rock and geotextile replaced when necessary... 2. Rip-rap used for the lining may be recycled for permanent outlet protection...

SUPER SILT FENCE



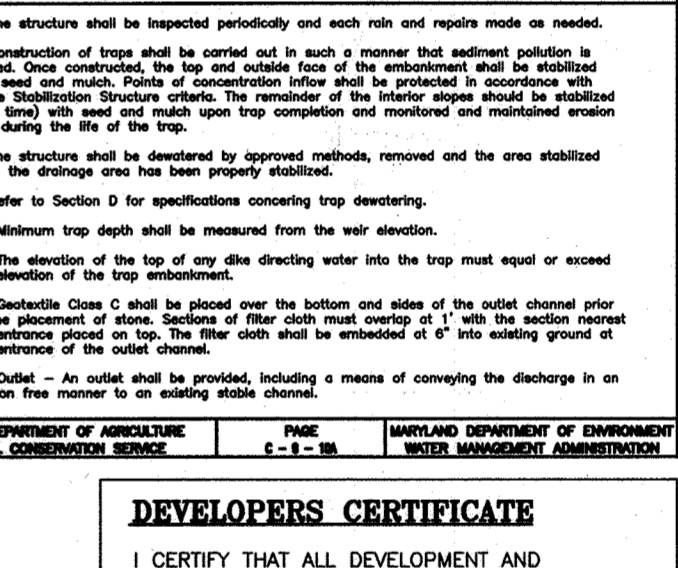
Design Criteria: Slope Slope Steepness Slope Length (Minimum) Silt Fence Length (Maximum) 0 - 10% 0 - 10:1 Unlimited Unlimited...

DETAIL 5 - RIP-RAP INFLOW PROTECTION



Construction Specifications: 1. Rip-rap used for the lining may be recycled for permanent outlet protection... 2. Rip-rap inflow protection shall be used where the slope is between 4:1 and 10:1...

STONE OUTLET SEDIMENT TRAP - ST II

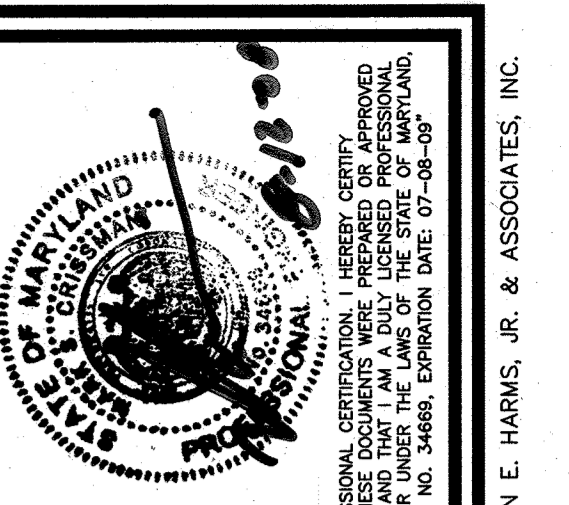


Construction Specifications: 1. The structure shall be inspected periodically and each rock and geotextile replaced when necessary... 2. Rip-rap used for the lining may be recycled for permanent outlet protection...

DEVELOPERS CERTIFICATE

I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING CONSTRUCTION...

ENGINEER'S CERTIFICATE: I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE...



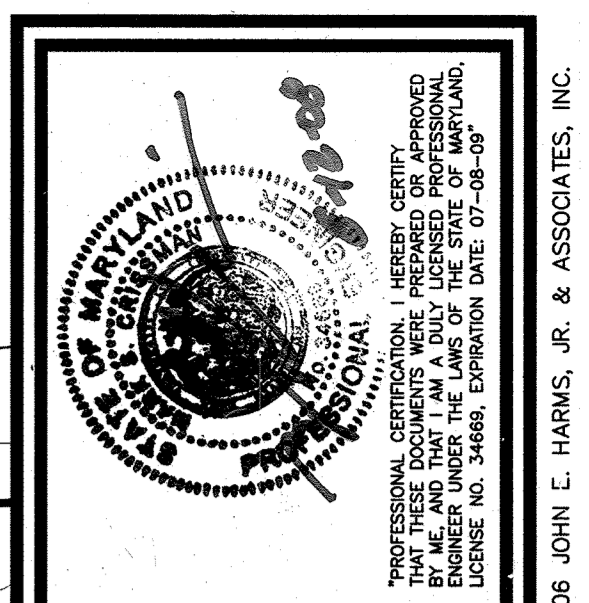
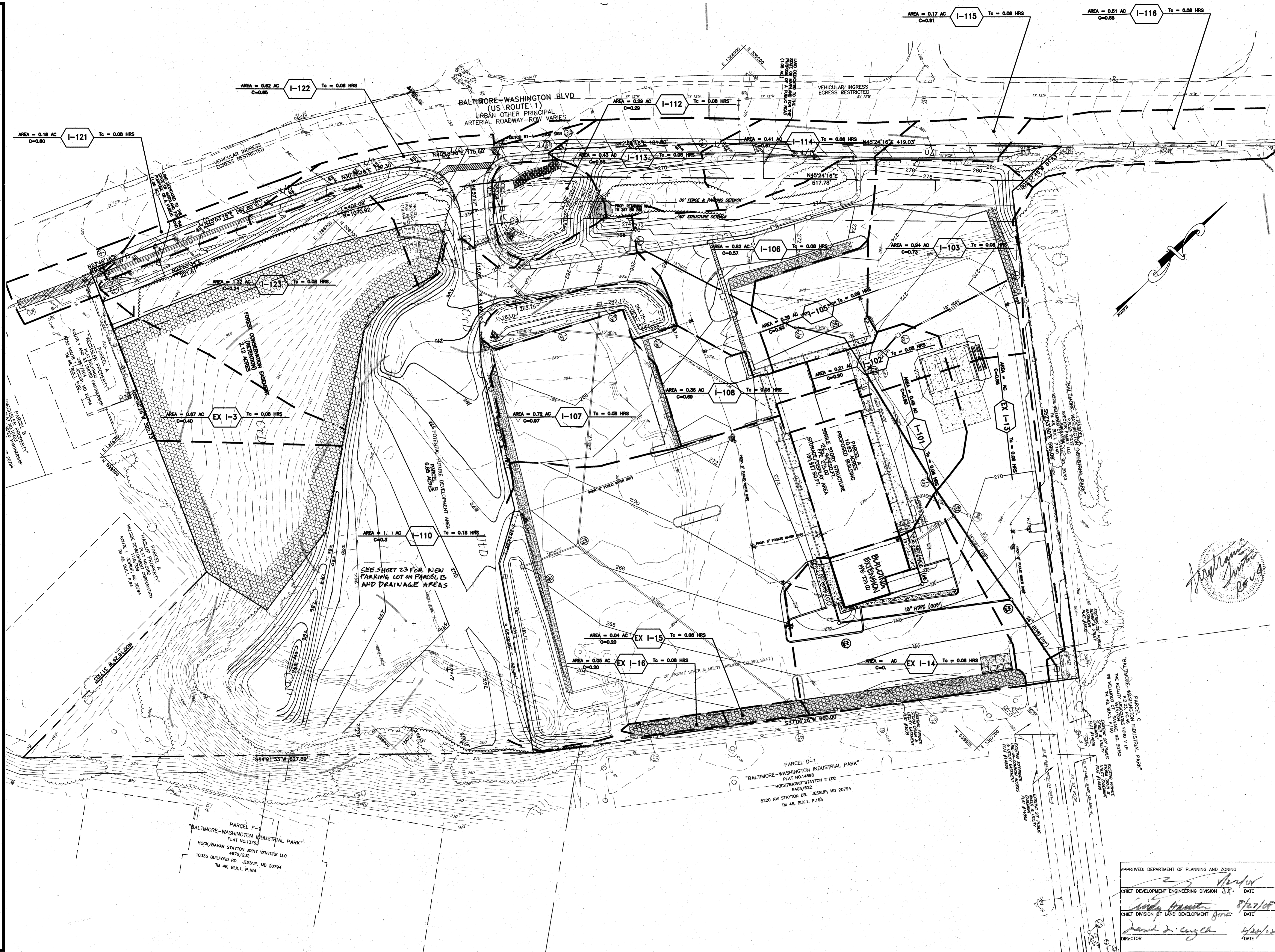
HARMS ENGINEERS & PLANNERS - SURVEYORS 1209 N. EAST STREET, FREDERICK, MARYLAND 21701 Office: 301/631-2027 FAX: 301/631-2026

Table with columns: NO., REVISION, DATE, CHANGE TOTAL # OF SHEETS. Row 1: 6, 9/1/11, 7/1.

EROSION & SEDIMENT CONTROL NOTES PENSKE - RENTAL RETAIL & STORAGE FACILITY 8685 E. WASHINGTON BOULEVARD JESSUP, MARYLAND 20794 TAX MAP 48, PARCEL 121 SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND SCALE: AS SHOWN

DESIGNED BY: SJD DRAWN BY: SIN CHECKED BY: MSC DATE: JULY, 2008 W.O. NO. 08-05-034A

APPROVED: DEPARTMENT OF PLANNING AND ZONING CHIEF DEVELOPMENT ENGINEERING DIVISION DATE: 7/2/08



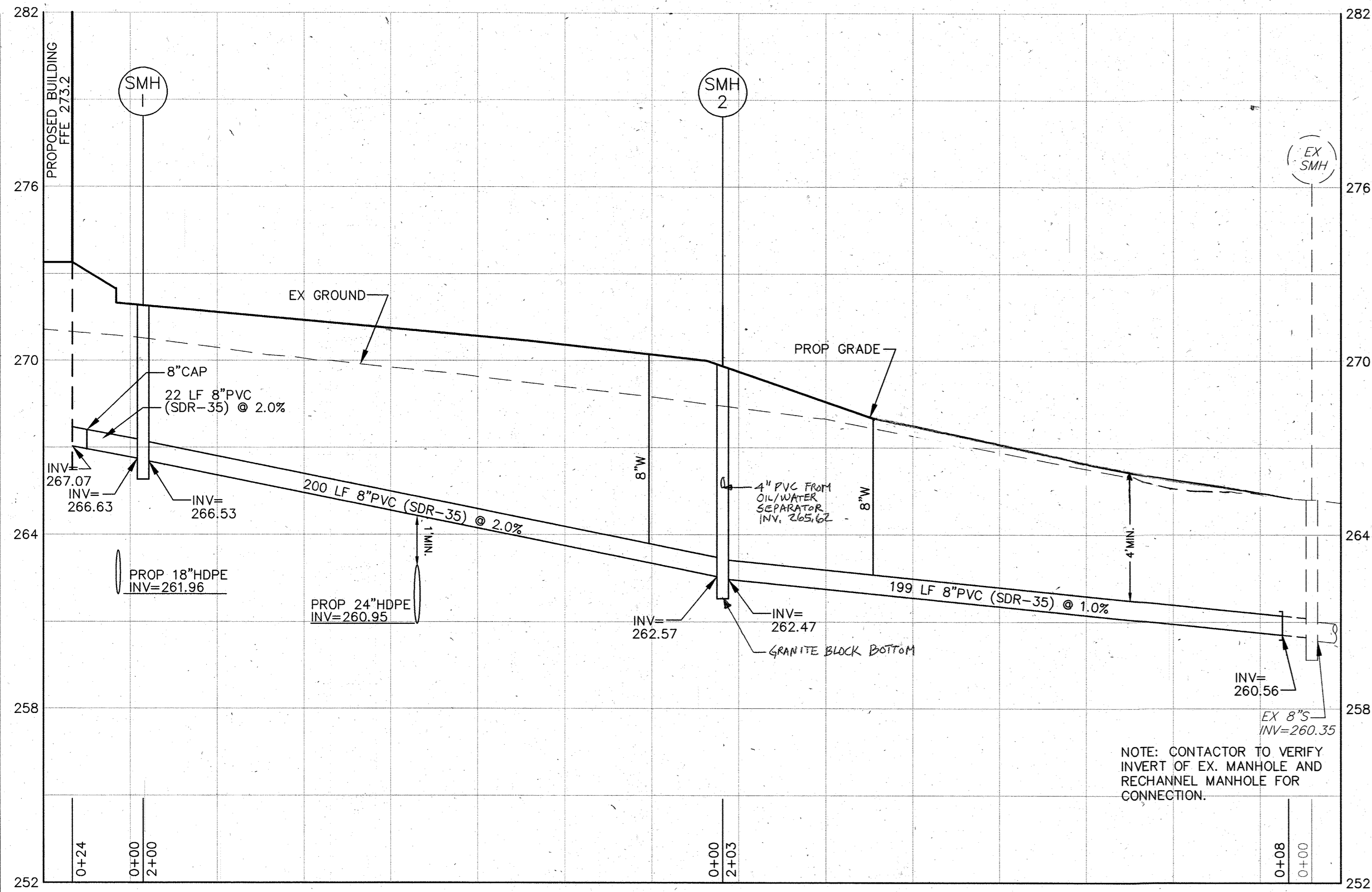
HARMS
 ENGINEERS • PLANNERS • SURVEYORS
 1209 N. EAST STREET, FREDERICK, MARYLAND
 Office: 301/631-2027 FAX: 301/631-2028

NO.	REVISION	BY	DATE
1	RE-LAYOUT OF DRAINAGE AREAS	SJD	10/23/08
2	REVISED DRAINAGE AREAS TO REFLECT FIELD CONDITIONS	SJD	4/15/09
3	REVISED DRAINAGE AREAS TO REFLECT FIELD CONDITIONS	SJD	3/21/11
4	REVISED DRAINAGE AREAS TO REFLECT FIELD CONDITIONS	PC	9/19/17
5	REVISED DRAINAGE AREAS TO REFLECT FIELD CONDITIONS	PC	7/27/18
6	REVISED DRAINAGE AREAS TO REFLECT FIELD CONDITIONS	PC	9/6/17

INLET DRAINAGE AREA MAP
PENSKE-RENTAL RETAIL & STORAGE FACILITY
 8685 E. WASHINGTON BOULEVARD
 JESSUP, MARYLAND 20794
 TAX MAP 48, PARCEL 121
 SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 SCALE: 1" = 50'

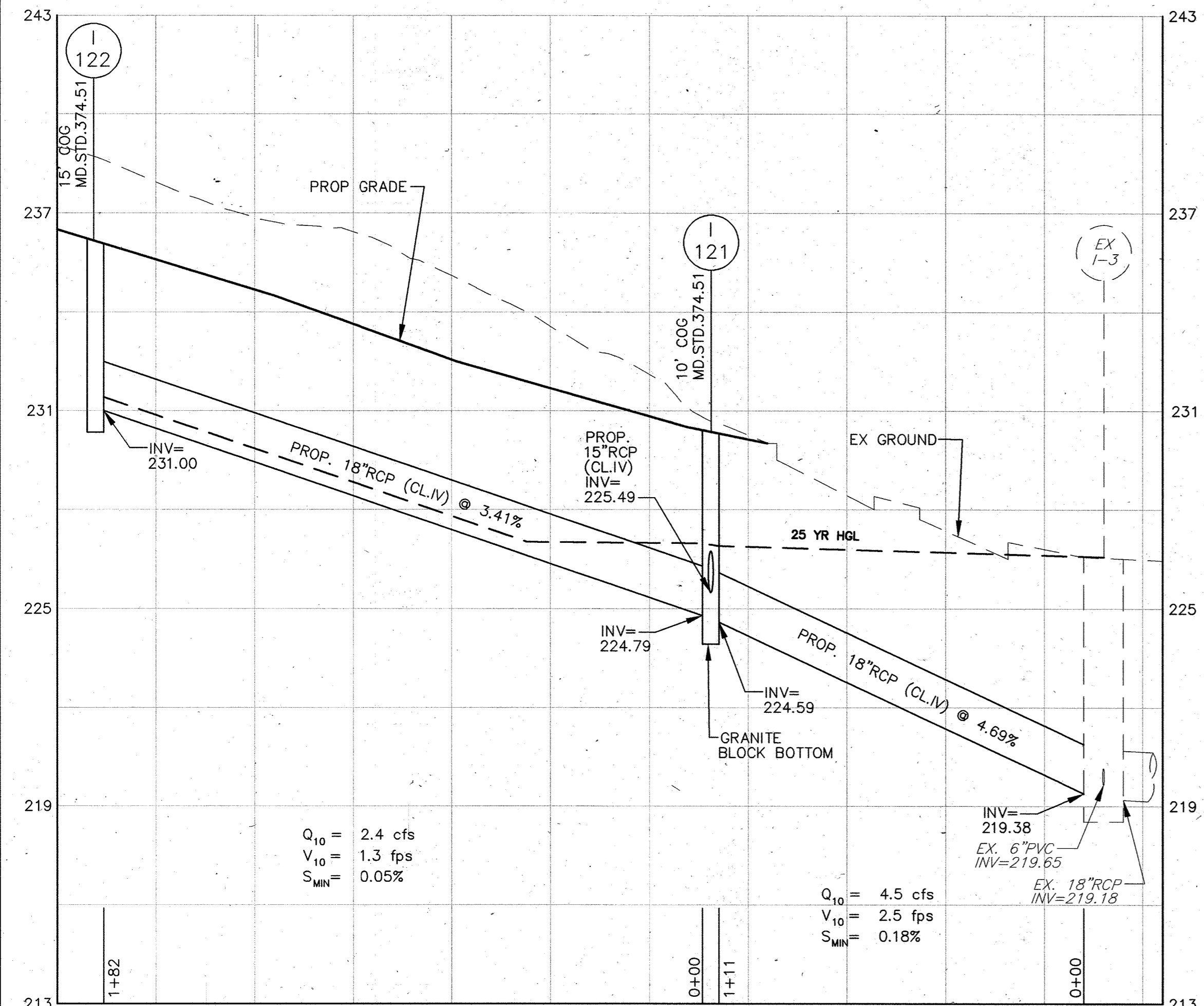
DESIGNED BY: SJD
 DRAWN BY: SIN
 CHECKED BY: MSC
 DATE: JULY, 2008
 W.O. NO. 08-05-034A

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF DEVELOPMENT ENGINEERING DIVISION
 CHIEF DIVISION OF LAND DEVELOPMENT
 DIRECTOR



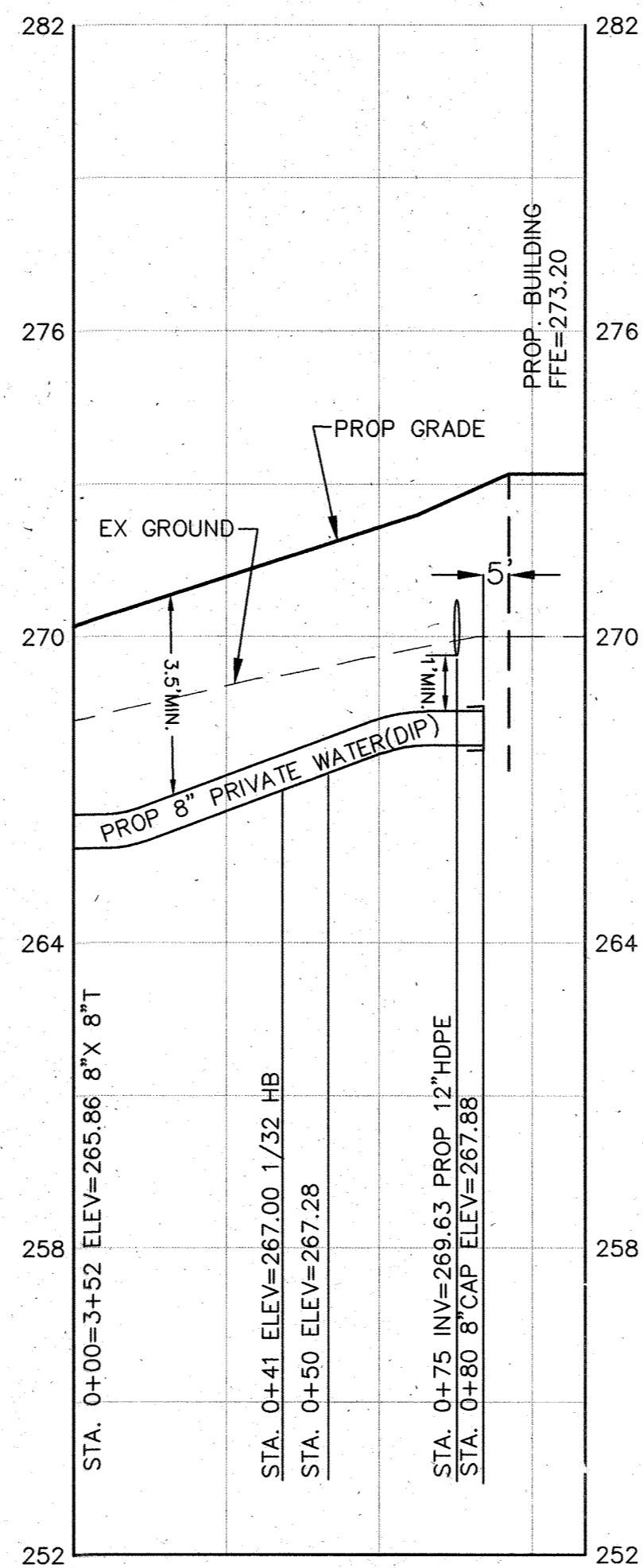
8" PRIVATE SEWER PROFILE

HOR. SCALE: 1"=30'
VERT. SCALE: 1"=3'



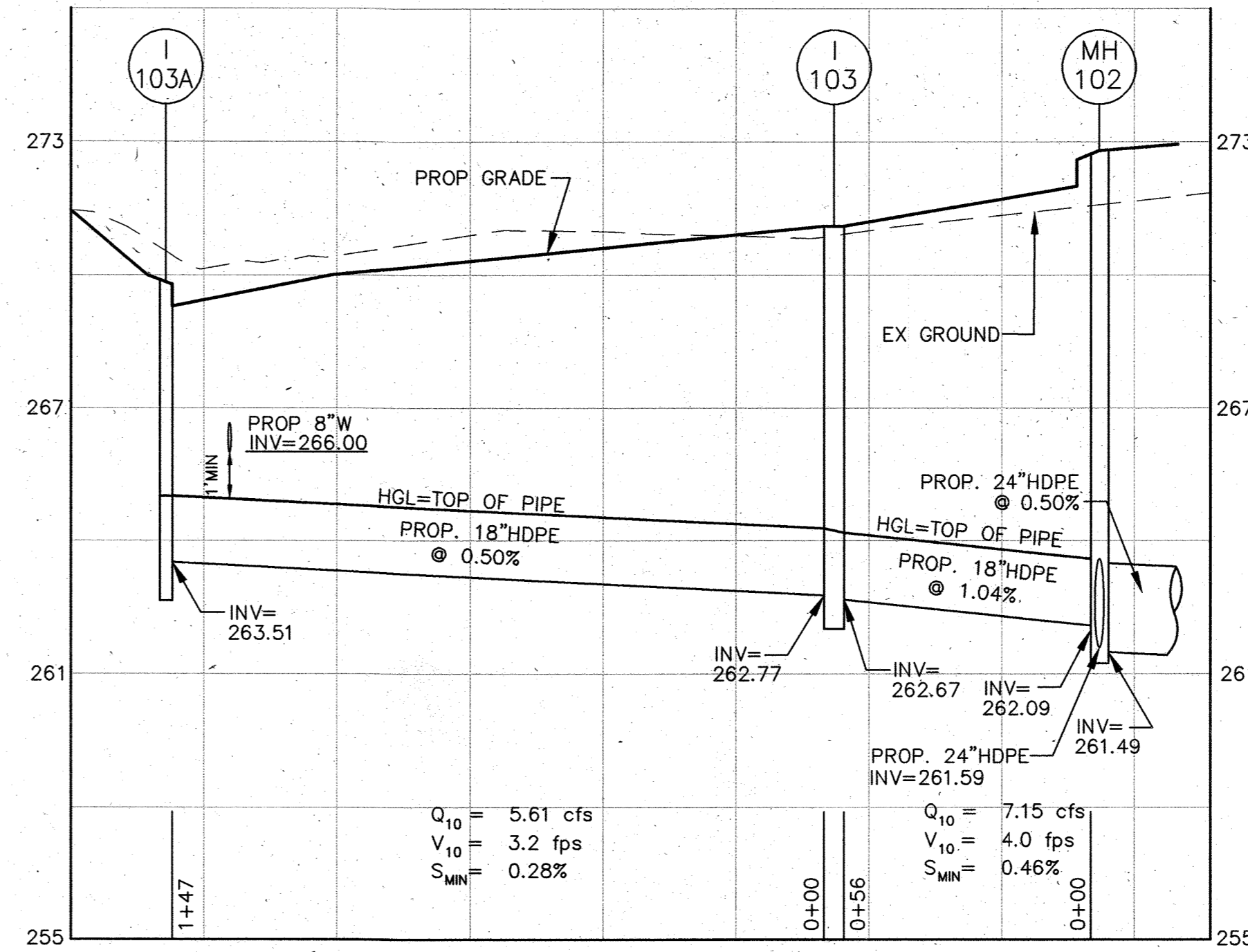
STORM DRAIN PROFILE I-121 TO EX I-3

HOR. SCALE: 1"=30'
VERT. SCALE: 1"=3'



8" PRIVATE WATER

HOR. SCALE: 1"=30'
VERT. SCALE: 1"=3'



STORM DRAIN PROFILE I-103 TO MH 104 (PHASE 2)

HOR. SCALE: 1"=30'
VERT. SCALE: 1"=3'

STORM DRAIN PIPE SCHEDULE

SIZE	TYPE	LENGTH
4"	PVC	182 L.F.
6"	PVC(SOLID)	124 L.F.
6"	PVC(PERFORATED)	466 L.F.
12"	HDPE	333 L.F.
15"	RCP (CL.V)	9 L.F.
15"	HDPE	467 L.F.
18"	RCP (CL.V)	891 L.F.
18"	HDPE	734 L.F.
24"	HDPE	790 L.F.

STRUCTURE SCHEDULE

STR #	COORDINATES	TOP ELEV	TYPE	INV IN	INV OUT
I-101	N 538990.861 E 1367424.494	270.80	GRATE INLET HO CO. STD. D-4.22	260.77	260.67
MH-102	N 539026.251 E 1367282.364	272.80	48" DIA. MH HO CO. STD. G-5.12	262.09	261.49
I-103	N 539085.984 E 1367278.760	270.80	GRATE INLET HO CO. STD. D-4.22	262.77	262.67
I-103A	N 539227.886 E 1367325.615	269.80	A-5 INLET HO CO. STD. D-4.01	---	263.51
MH-104	N 539047.397 E 1367237.673	272.40	48" DIA. MH HO CO. STD. G-5.12	262.32	261.82
I-105	N 539005.230 E 1367185.940	271.83	GRATE INLET HO CO. STD. D-4.22	262.89	262.64
I-106	N 538935.841 E 1366989.161	266.70	A-10 INLET HO CO. STD. D-4.03	---	263.91
I-107	N 538791.989 E 1366979.647	266.72	A-5 INLET HO CO. STD. D-4.01	263.96	263.71
I-108	N 538870.377 E 1367070.210	269.40	HO CO. STD. D-4.01	---	264.53
ES-109	N 538742.582 E 1366837.856	264.91	18" HDPE END SECTION	---	263.40
I-110	N 538798.298 E 1366817.951	256.00	A-5 INLET HO CO. STD. D-4.03	---	253.61
ES-111	N 538835.785 E 1366855.766	252.90	15" HDPE END SECTION	---	253.34
ES-112	N 538939.744 E 1366846.102	252.90	18" RCP END SECTION MD.STD. 368.01	---	254.68
I-113	N 538945.5403 E 1366827.1984	255.70	10' COG OPENING (10.5' WIDTH) MD.STD. 374.63	---	254.50
I-114	N 539075.3335 E 1366954.5692	266.62	15' COG INLET MD.STD. 374.51	260.72	260.52
I-115	N 539220.8320 E 1367107.8953	277.22	10' COG INLET MD.STD. 374.51	271.20	271.00
I-116	N 539326.8457 E 1367213.5209	282.86	15' COG INLET MD.STD. 374.51	277.80	277.60
ST-117	N 538854.836 E 1366831.324	---	RISER STRUCTURE	248.97	248.97
ST-118	N 538856.116 E 1366996.415	---	RISER STRUCTURE	258.84	258.84
MH-119	N 538631.008 E 1367184.332	267.70	48" DIA. MH HO CO. STD. G-5.12	257.40	256.90
ST-120	N 538565.634 E 1367155.146	---	RISER STRUCTURE	257.84	257.74
I-121	N 538460.6888 E 1366545.3090	230.35	10' COG INLET MD.STD. 374.51	225.49	224.59
I-122	N 538631.6548 E 1366621.0560	236.16	15' COG INLET MD.STD. 374.51	---	231.00
I-123	N 538454.0688 E 1366560.0597	229.75	TYPE "K" INLET MD.STD. 378.03	---	226.39
MH-124	N 538979.057 E 1367481.851	270.47	48" DIA. MH HO CO. STD. G-5.12	260.39	260.29
MH-125	N 538979.057 E 1367481.851	270.76	48" DIA. MH HO CO. STD. G-5.12	268.87	268.37
MH-126	N 538917.582 E 1367481.851	270.67	48" DIA. MH HO CO. STD. G-5.12	269.43	269.16
MH-126A	N 538789.07 E 1367472.62	271.00	48" DIA. MH HO CO. STD. G-5.12	269.50	269.39
MH-126B	N 538789.07 E 1367472.62	271.16	48" DIA. MH HO CO. STD. G-5.12	269.50	269.45

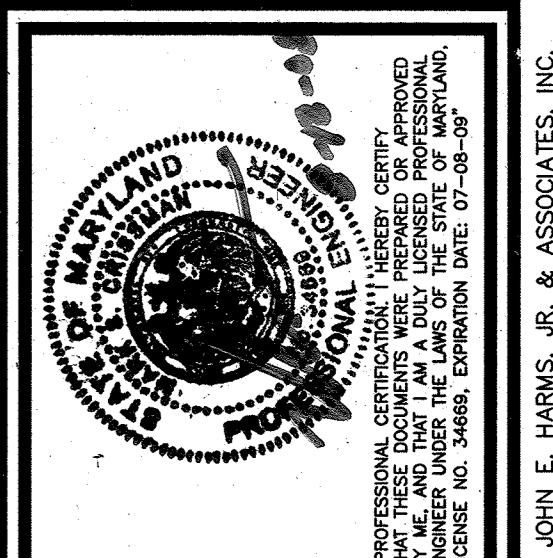
NOTE: COORDINATES FOR CURB INLETS ARE AT CENTER FACE OF CURB FOR THE INLET STRUCTURES (NOT THE TYPICAL OPENING), FOR CURB INLETS AND MANHOLES THEY ARE CENTER OF STRUCTURE.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF DEVELOPMENT ENGINEERING DIVISION: *J.R.* DATE: *8/22/08*

CHIEF DIVISION OF LAND DEVELOPMENT: *John* DATE: *8/22/08*

DIRECTOR: *David L. Cagle* DATE: *8/24/08*



HARMS

ENGINEERS • PLANNERS • SURVEYORS

1209 N. EAST STREET, FREDERICK, MARYLAND 21701

Office: 301/631-2027 FAX: 301/631-2028

NO.	REVISION	BY	DATE
1	ISSUE FOR PERMIT	SP	10/22/08
2	REVISED TO REFLECT CHANGES TO PERMIT	SP	08/18/09
4	REVISED TO REFLECT CHANGES TO PERMIT	PC	09/17/09
6	CHANGE TOTAL # OF SHEETS	PC	7/16/19

SEWER, WATER & STORM DRAIN PROFILES

STORM RETAIL & STORAGE FACILITY

8685 E. WASHINGTON BOULEVARD
JESSUP, MARYLAND 20794

TAX MAP 48, PARCEL 121

SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

SCALE: AS SHOWN

DESIGNED BY: *SJD*

DRAWN BY: *MSC*

CHECKED BY: *MSC*

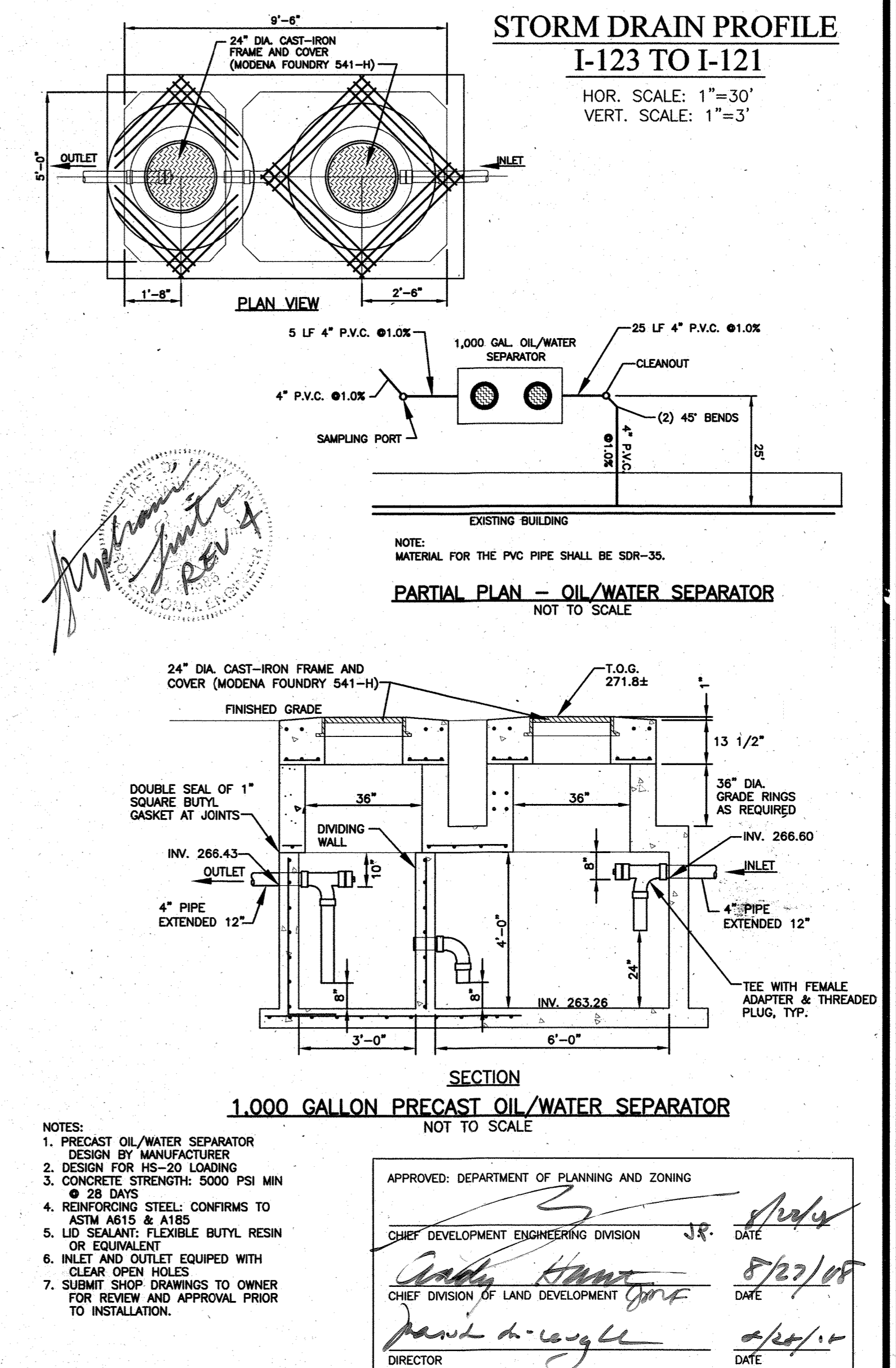
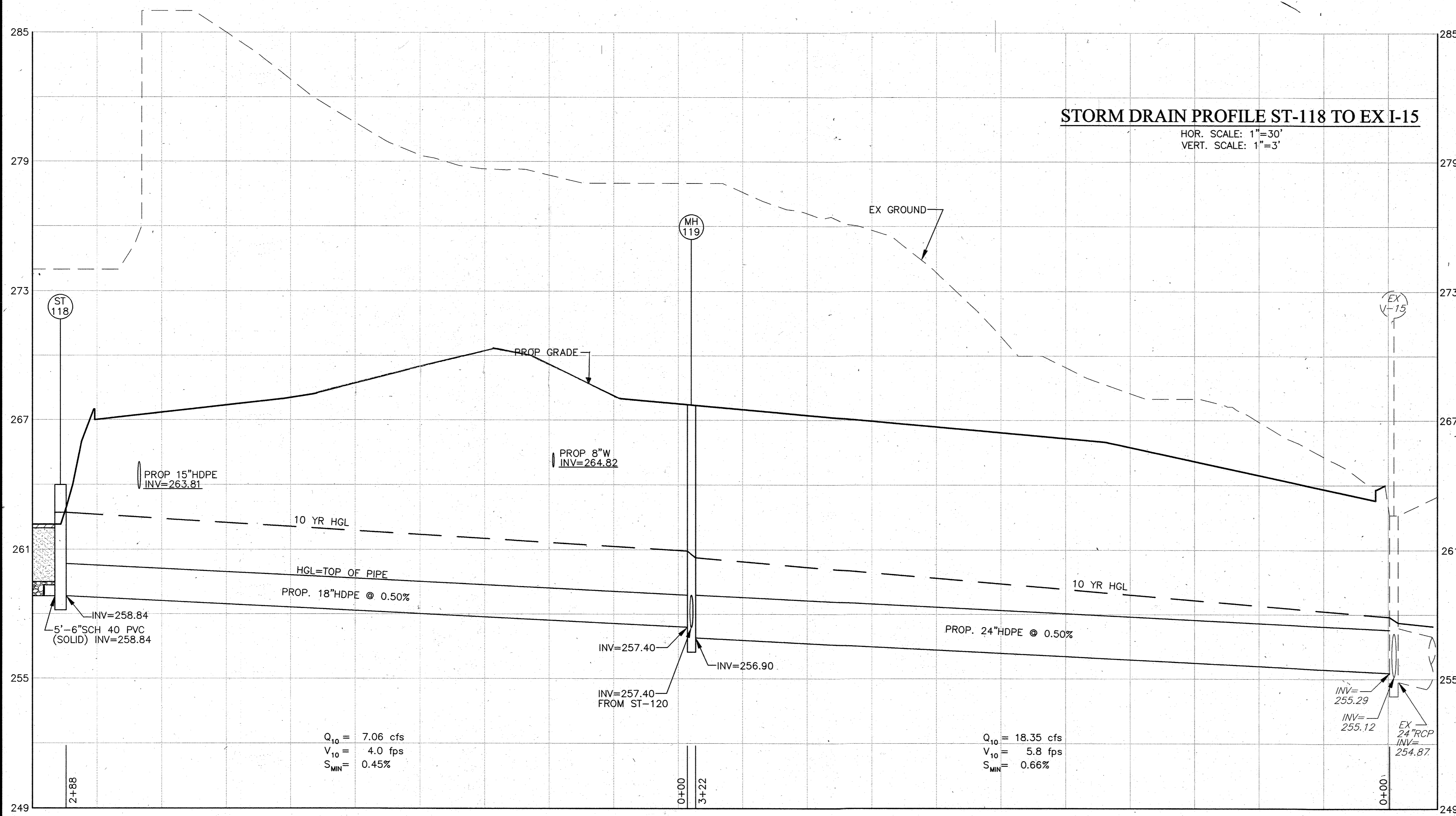
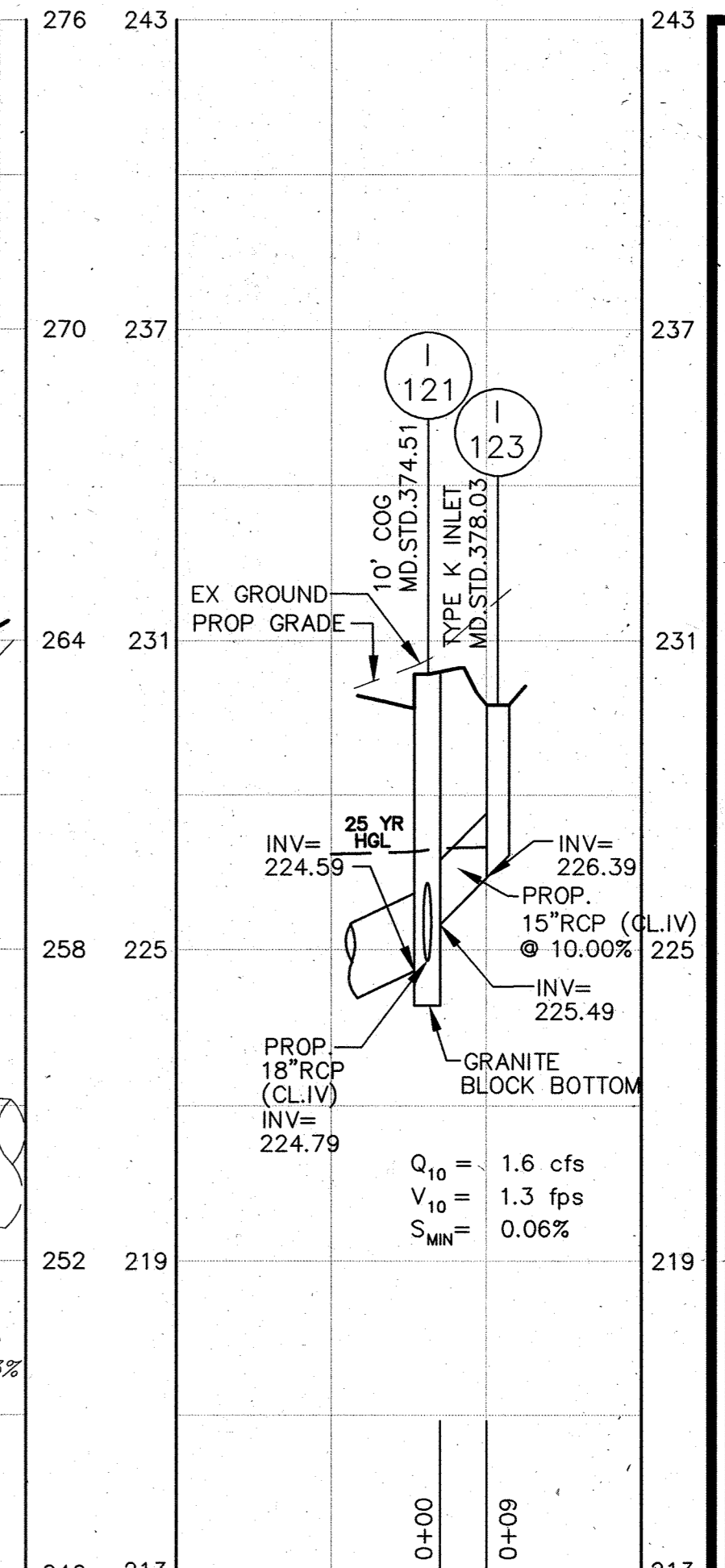
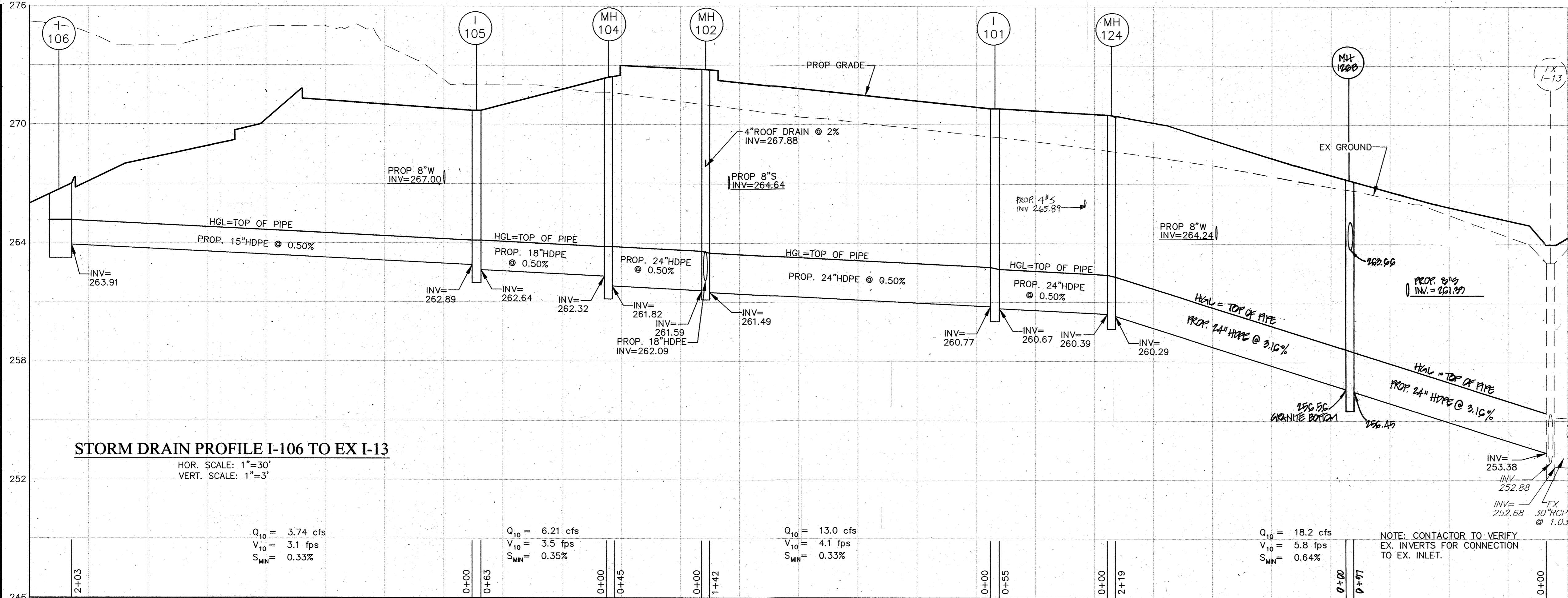
DATE: JULY, 2008

W.O. NO. 08-05-034A

Date: 06/12/2008 User: sneuils Drawing Path: \\V:\projects\Projects\Penske - Howard County\08-05-034A\Draw\Sites Development\Draw\PENSK-12-14-STORM DRAIN PROFILES.dwg XREF File(s): \Penske-EX-DBASE-SUP.dwg

© 2006 JOHN E. HARMS, JR. & ASSOCIATES, INC.

Date: 08/12/2008 User: sneels Drawing Path: \\D:\2600\Projects\Penske - Howard County\08-05-034A\DWG\Site Development\Plans\PENSKE-12-14-STORM DRAIN PROFILES.dwg XREF File(s): \Penske-PRBASE-SDP.dwg PENSKE-EXISTBASE-SDP.dwg



HARMS
ENGINEERS - PLANNERS - SURVEYORS
1209 N. EAST STREET, FREDERICK, MARYLAND 21701
Office: 301/631-2027 FAX: 301/631-8026

NO.	REVISION	BY	DATE
1	ADD 4\"/>		

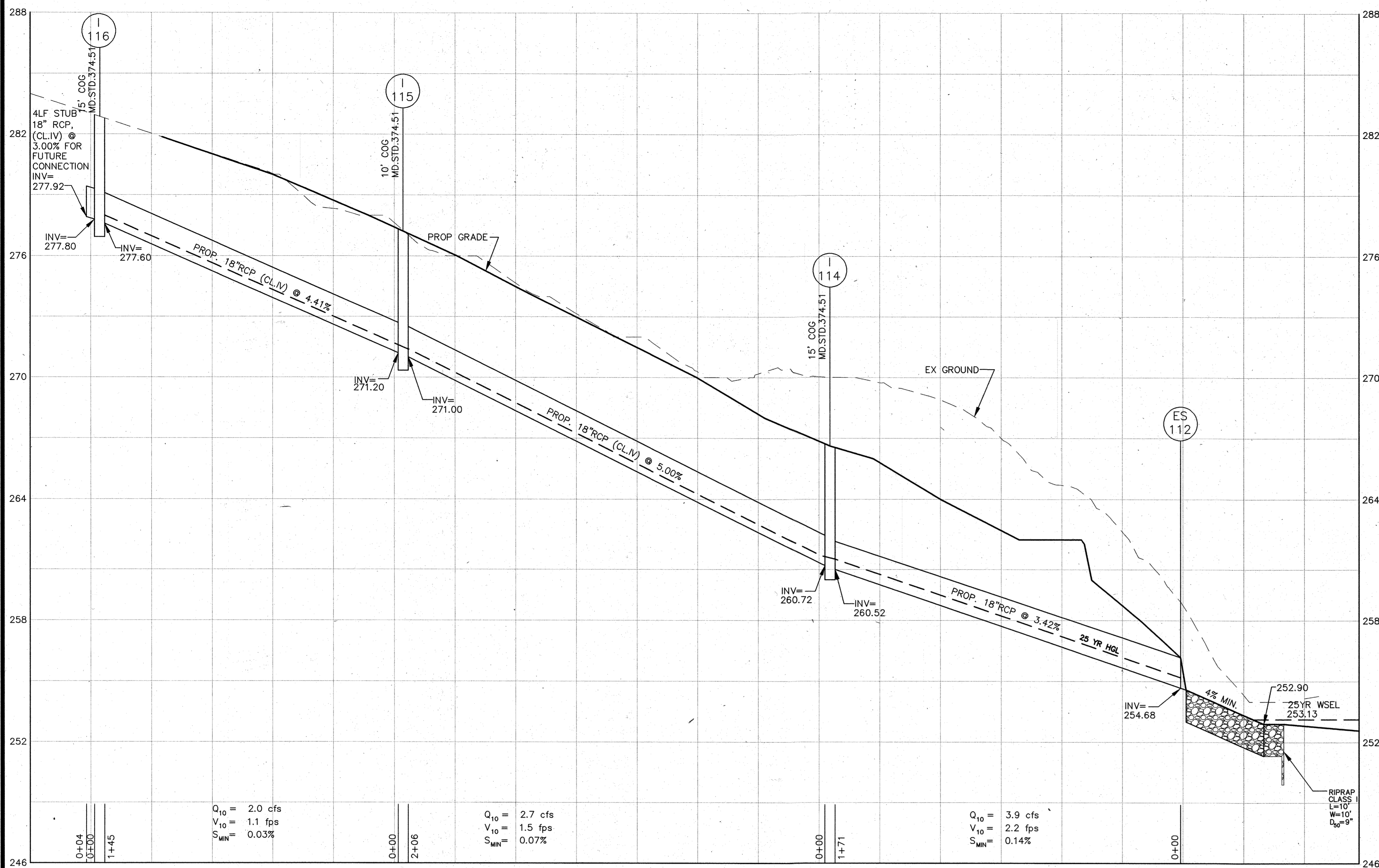
STORM DRAIN PROFILES
PENSKE--RENTAL RETAIL & STORAGE FACILITY
8685 E. WASHINGTON BOULEVARD
JESSUP, MARYLAND 20794
TAX MAP 46, PARCEL 121
SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN

DESIGNED BY: SJD
DRAWN BY: SIN
CHECKED BY: MSC
DATE: JULY, 2008
W.O. NO. 08-05-034A

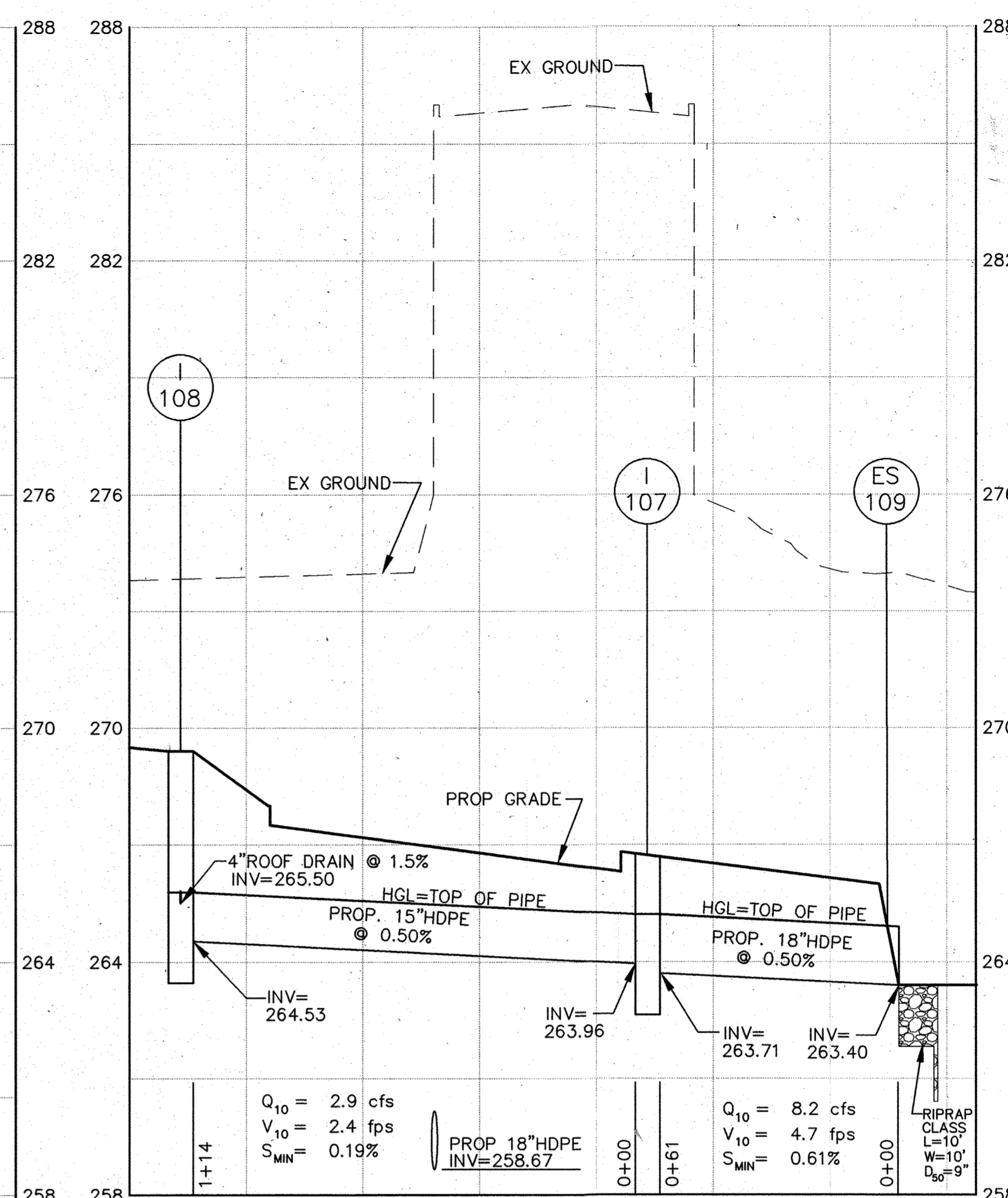
13

13 OF 24

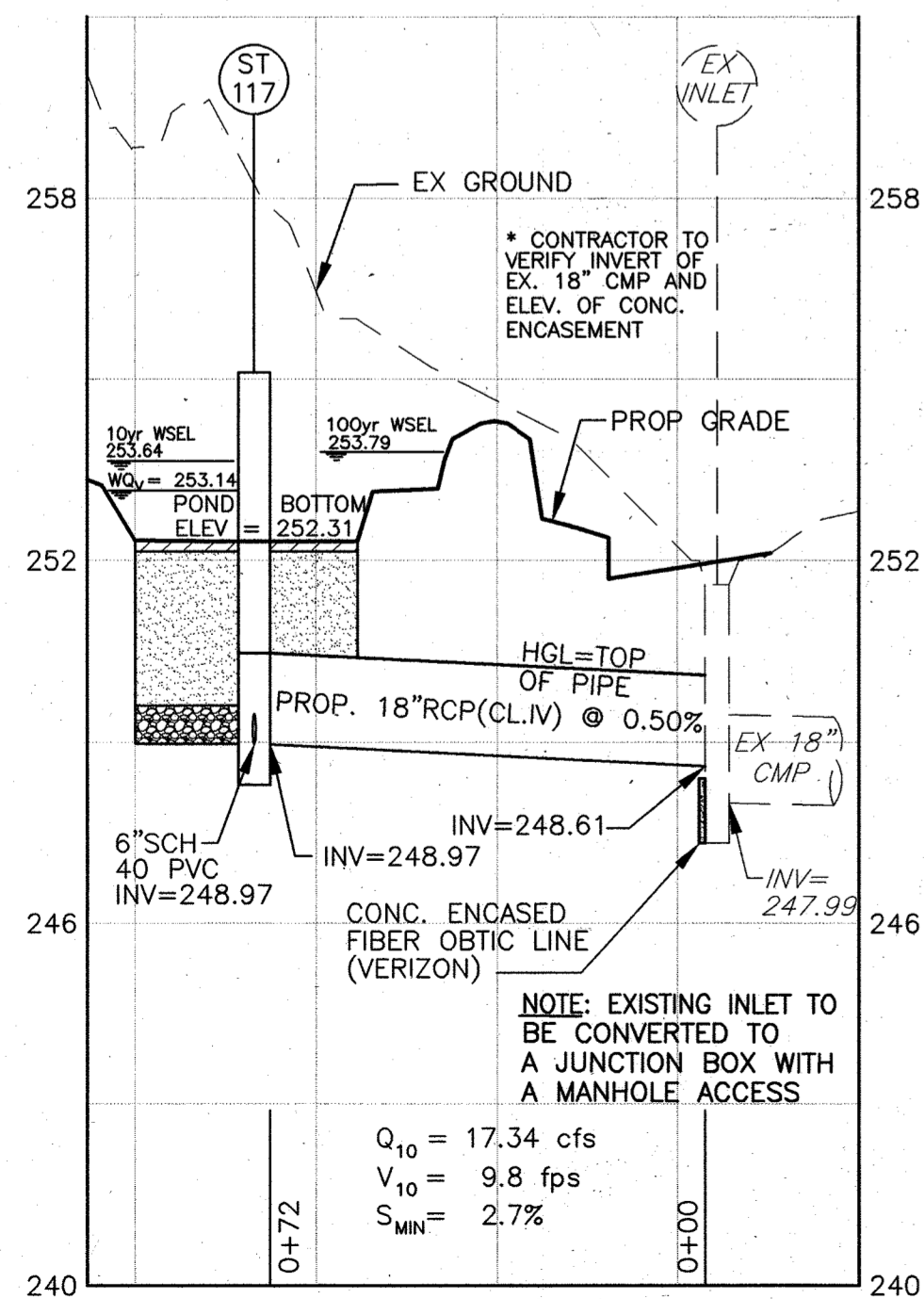
Date: 08/12/2008 User: snuels Drawing Path: \\Del2600\Projects\Penske - Howard County\08-05-034A\Drawings\Site Development Plans\VENSK-12-14-STORM DRAIN PROFILES.dwg XREF File(s): Penske-PRBASE-SDP.dwg



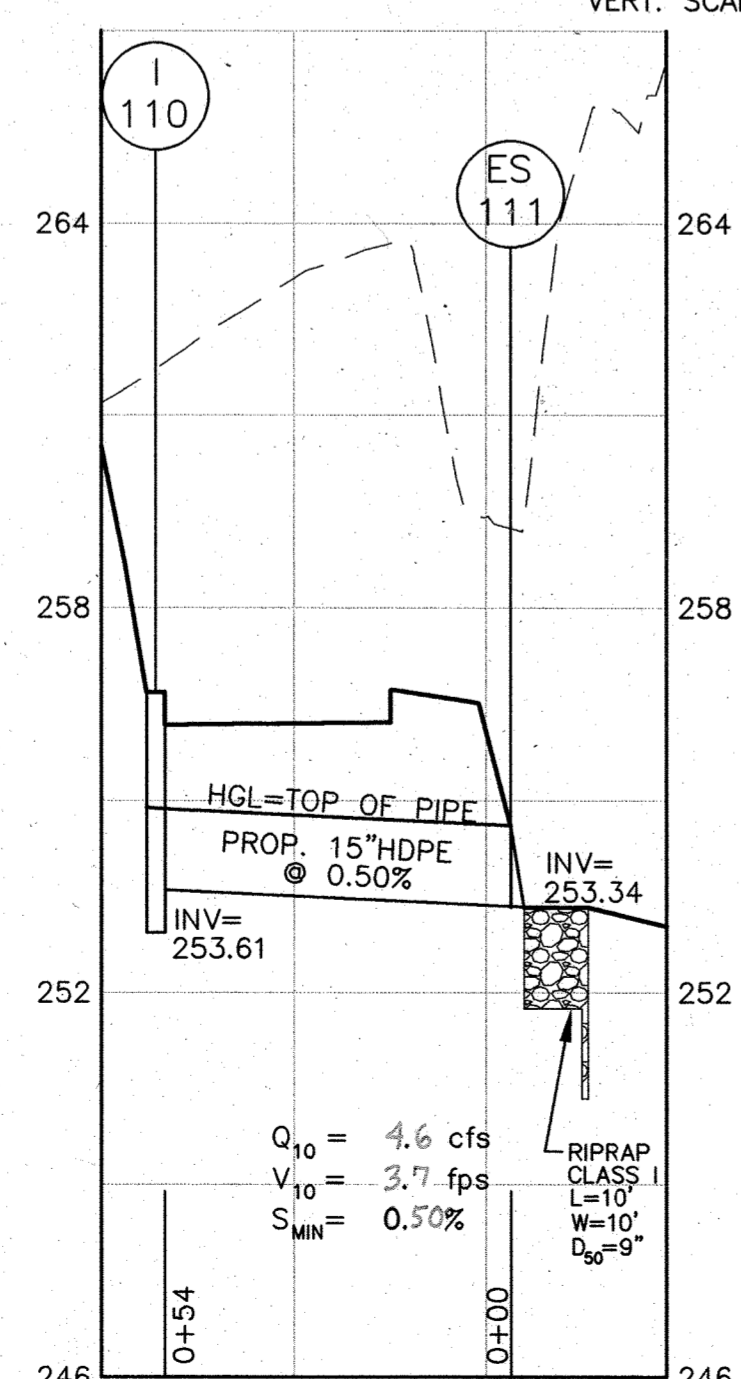
STORM DRAIN PROFILE I-116 TO ES-112
HOR. SCALE: 1"=30'
VERT. SCALE: 1"=3'



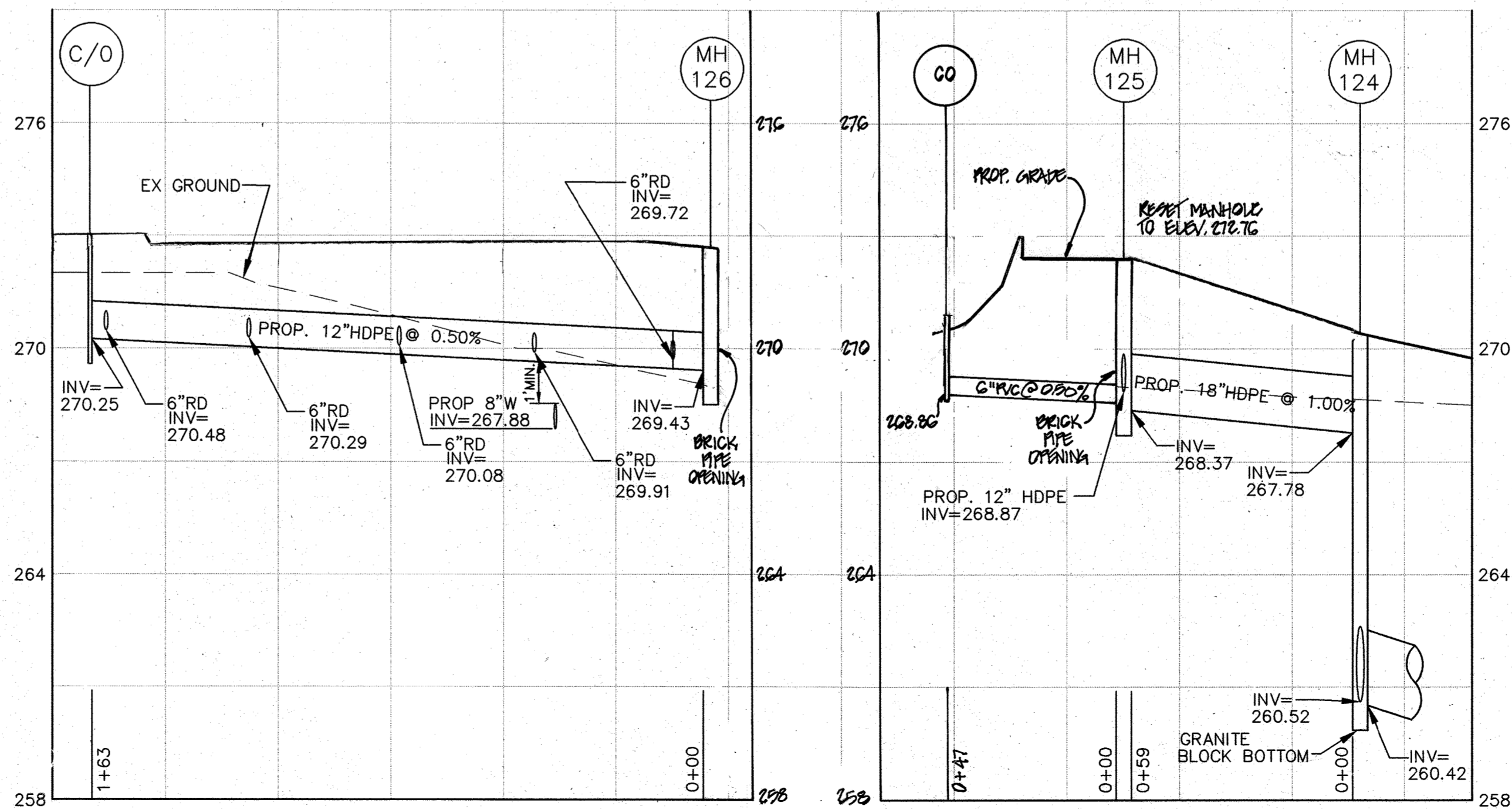
STORM DRAIN PROFILE I-106 TO ES-119
HOR. SCALE: 1"=30'
VERT. SCALE: 1"=3'



STORM DRAIN PROFILE ST-117 TO EX INLET
HOR. SCALE: 1"=30'
VERT. SCALE: 1"=3'



STORM DRAIN PROFILE I-110 TO ES-111
HOR. SCALE: 1"=30'
VERT. SCALE: 1"=3'



STORM DRAIN PROFILE ROOF LEADERS TO MH-124
HOR. SCALE: 1"=30'
VERT. SCALE: 1"=3'

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF DEVELOPMENT ENGINEERING DIVISION
 CHIEF DIVISION OF LAND DEVELOPMENT
 DIRECTOR

DATE: 8/23/08
 DATE: 8/23/08
 DATE: 8/23/08

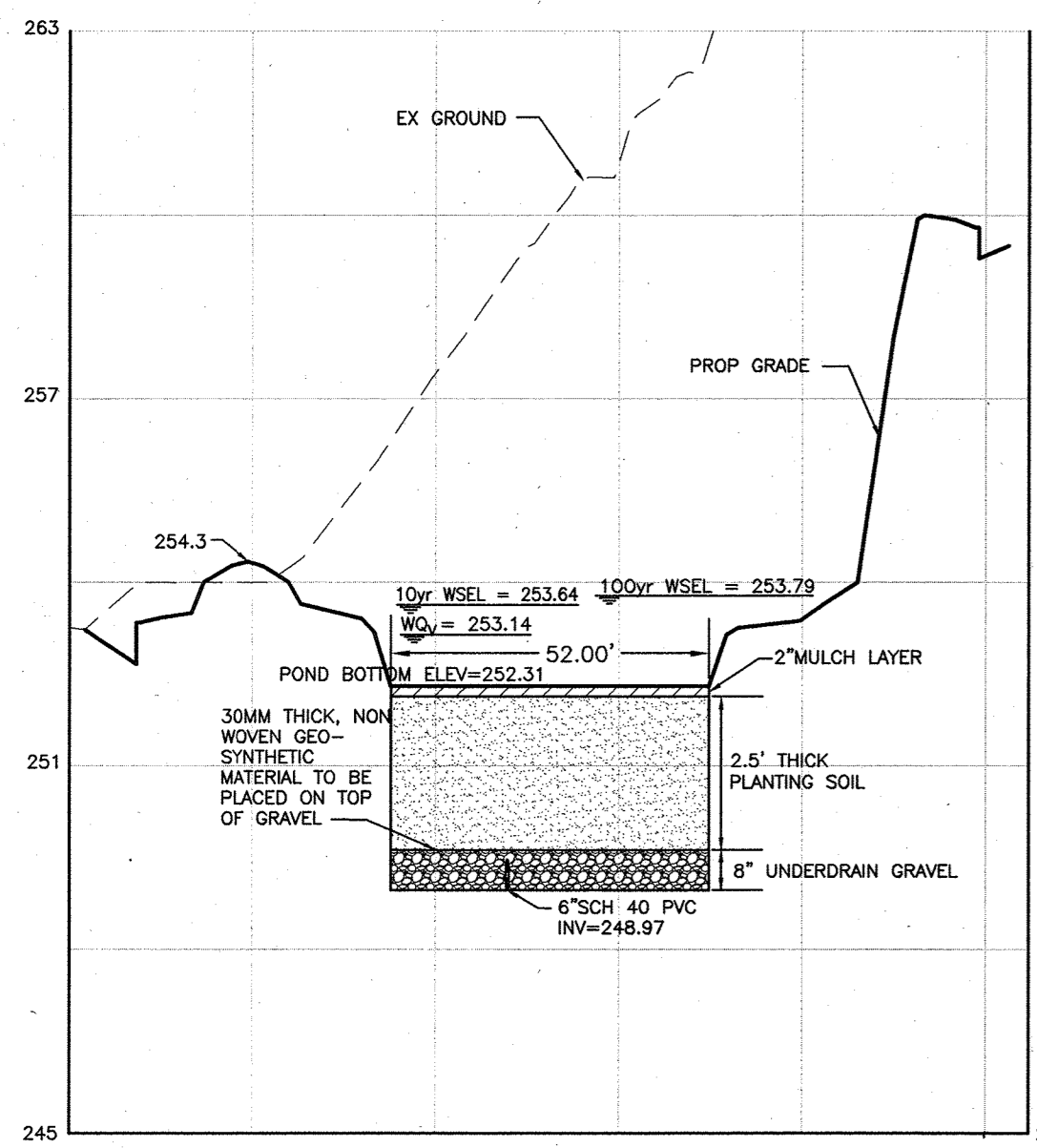
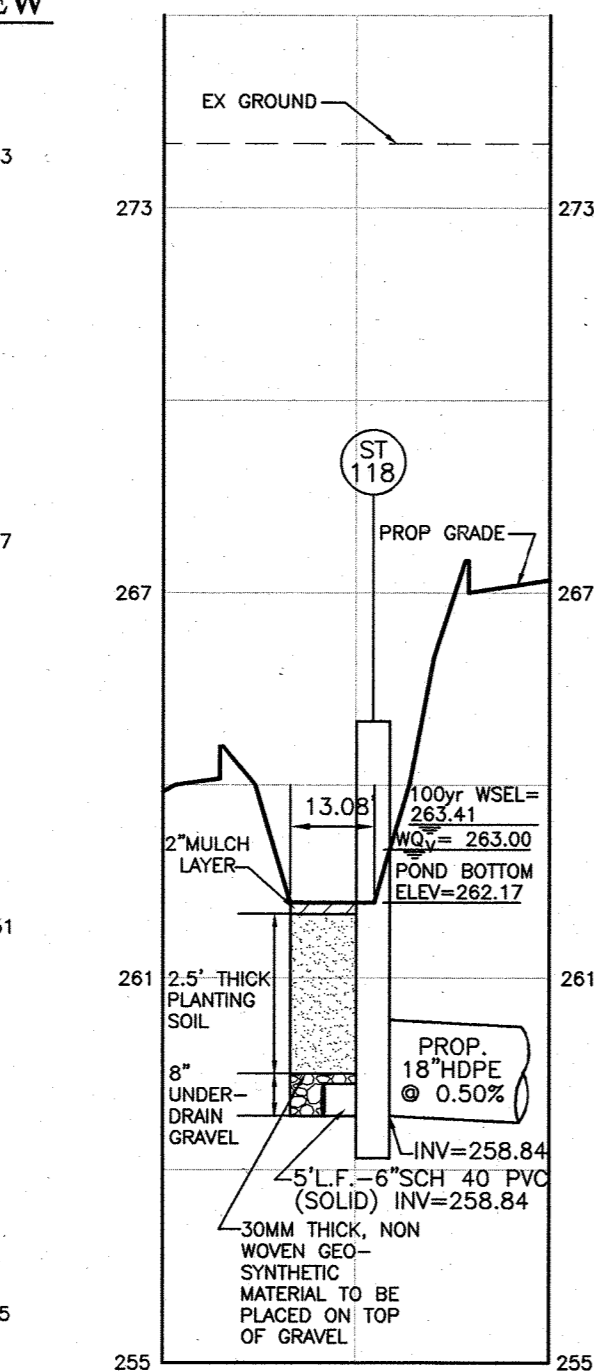
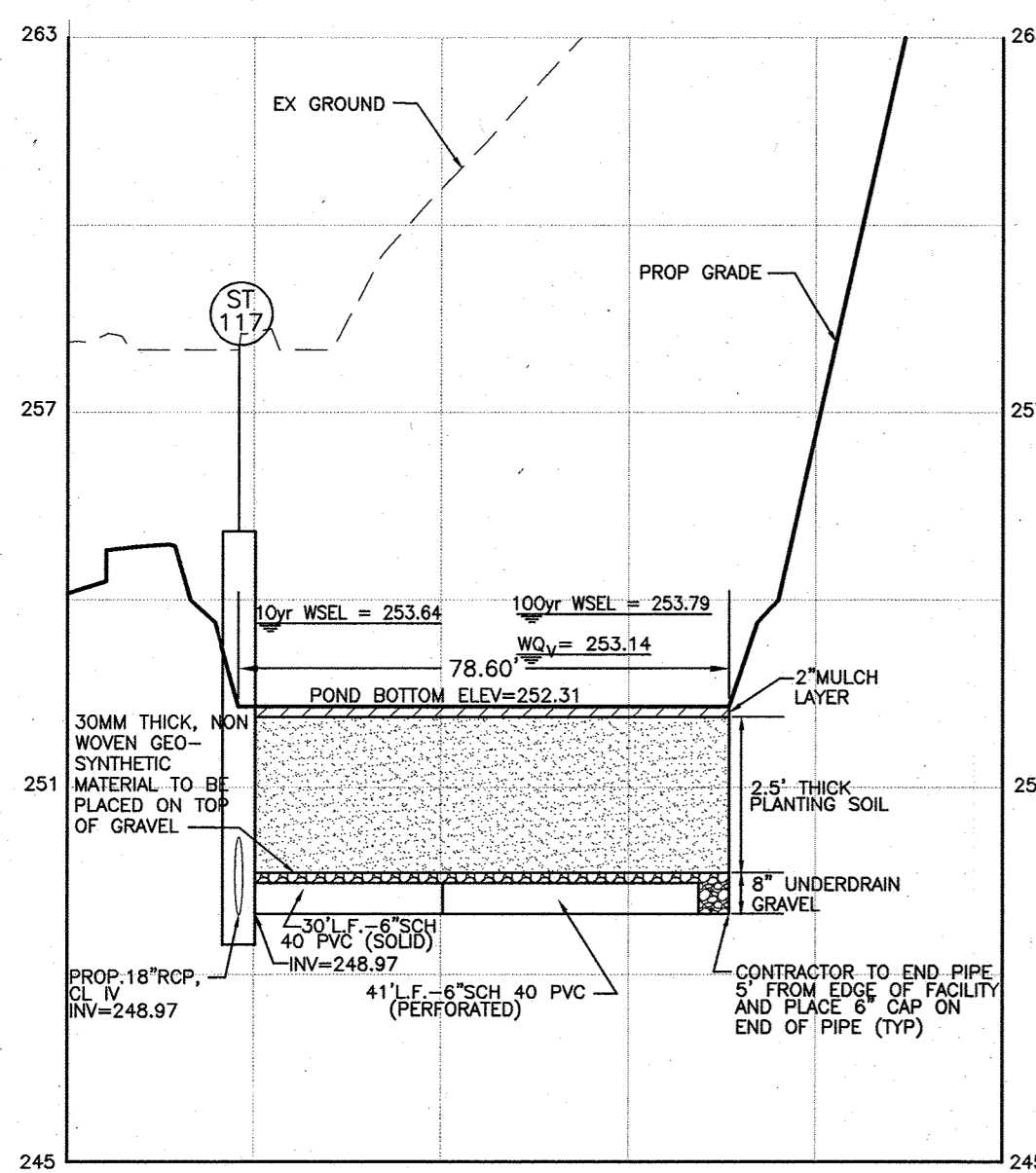
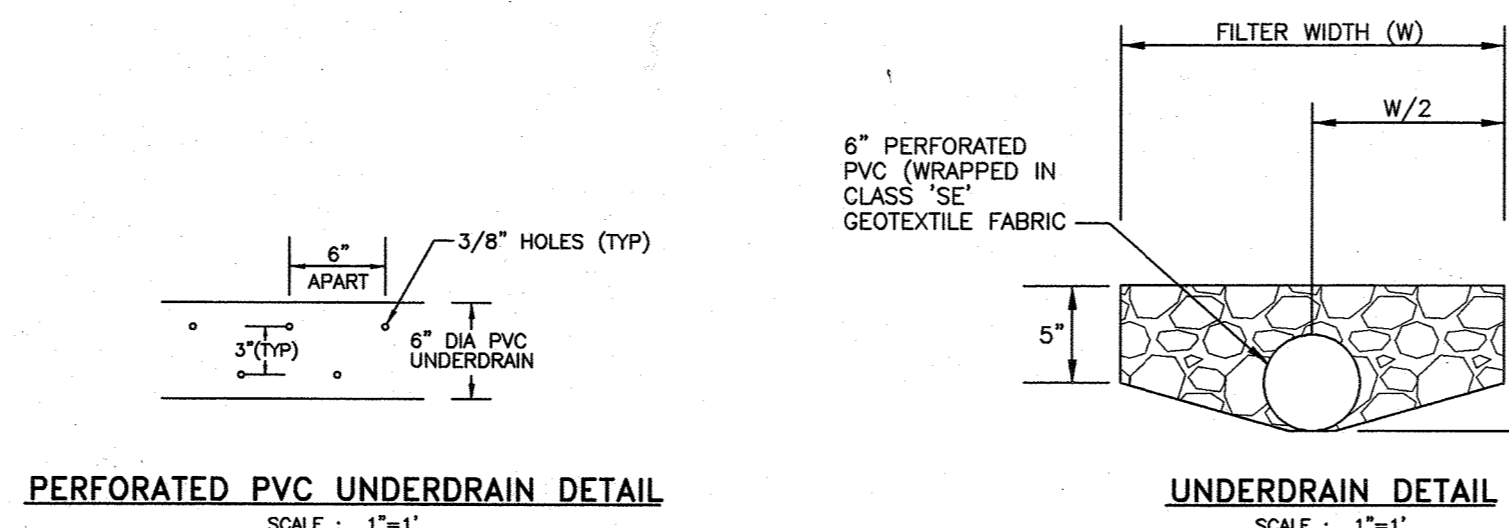
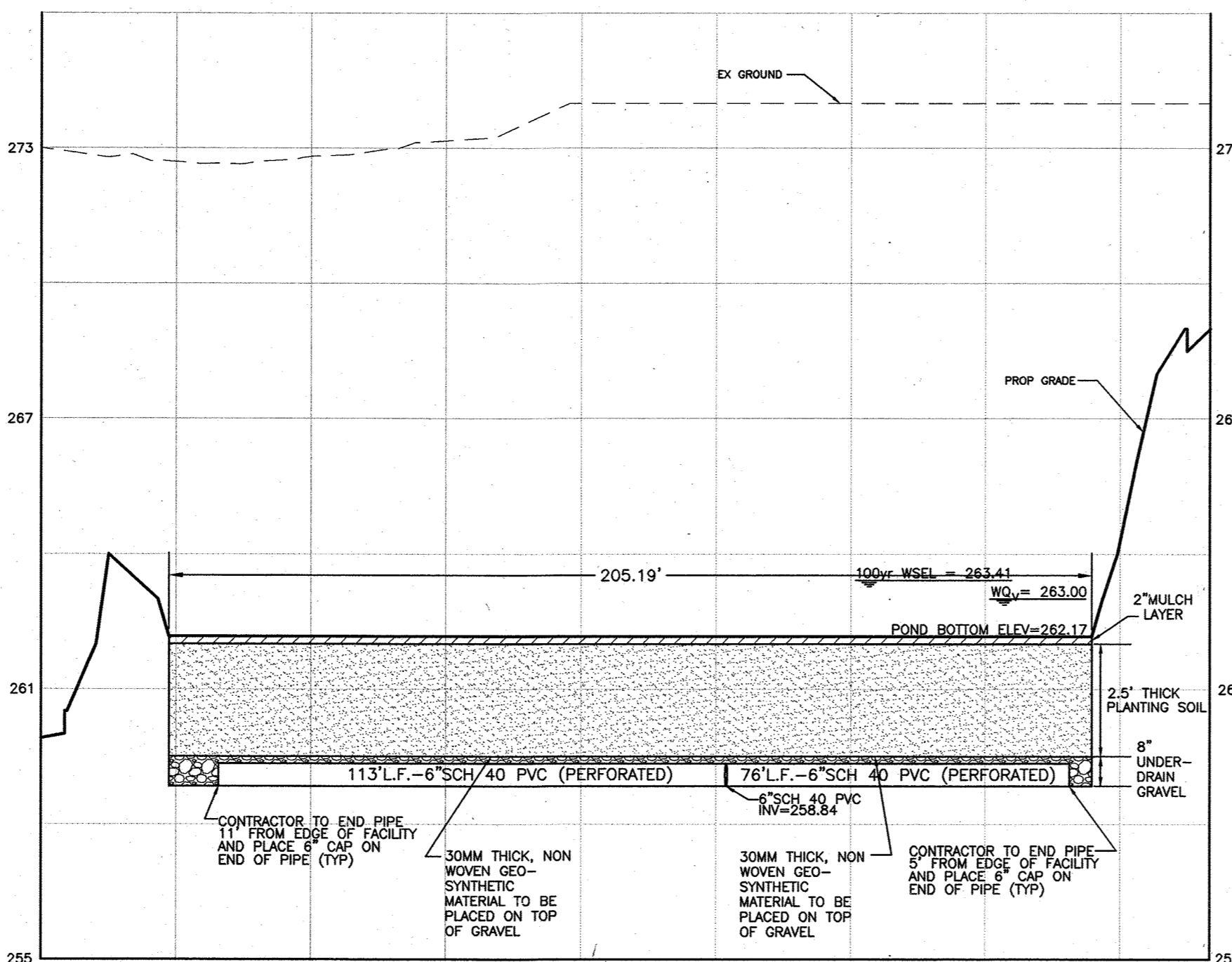
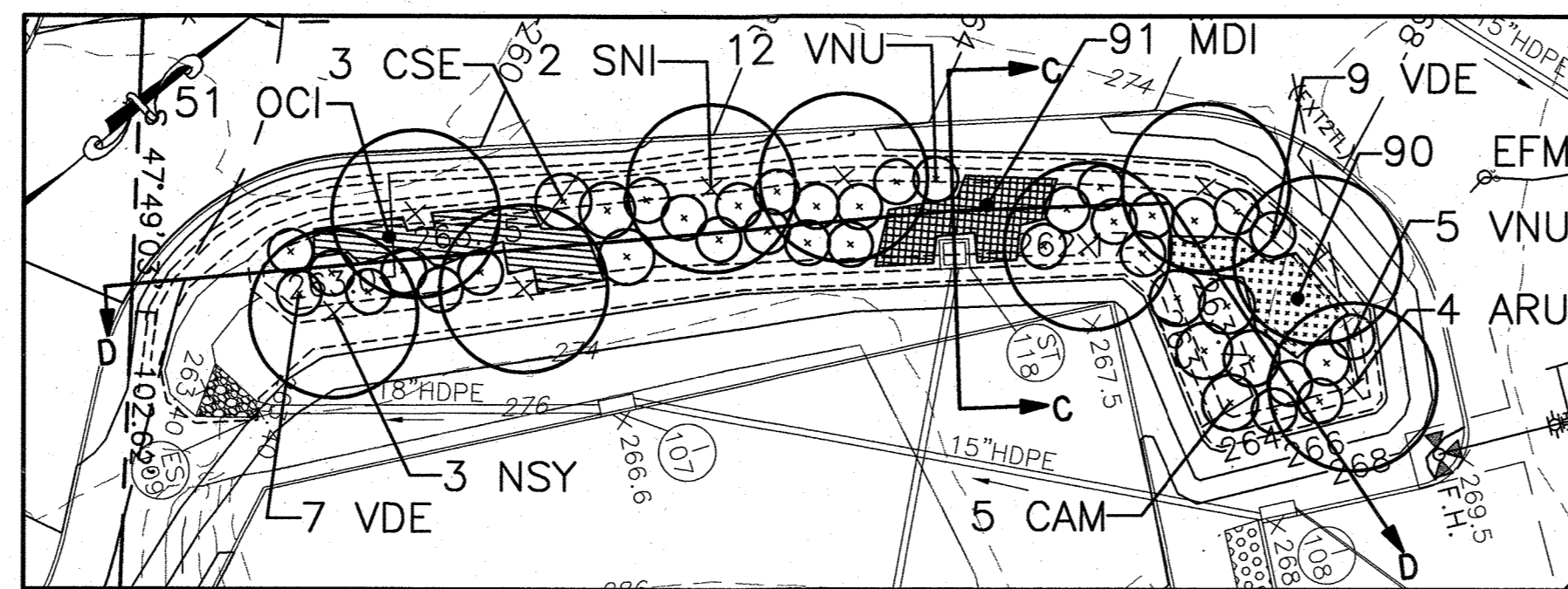
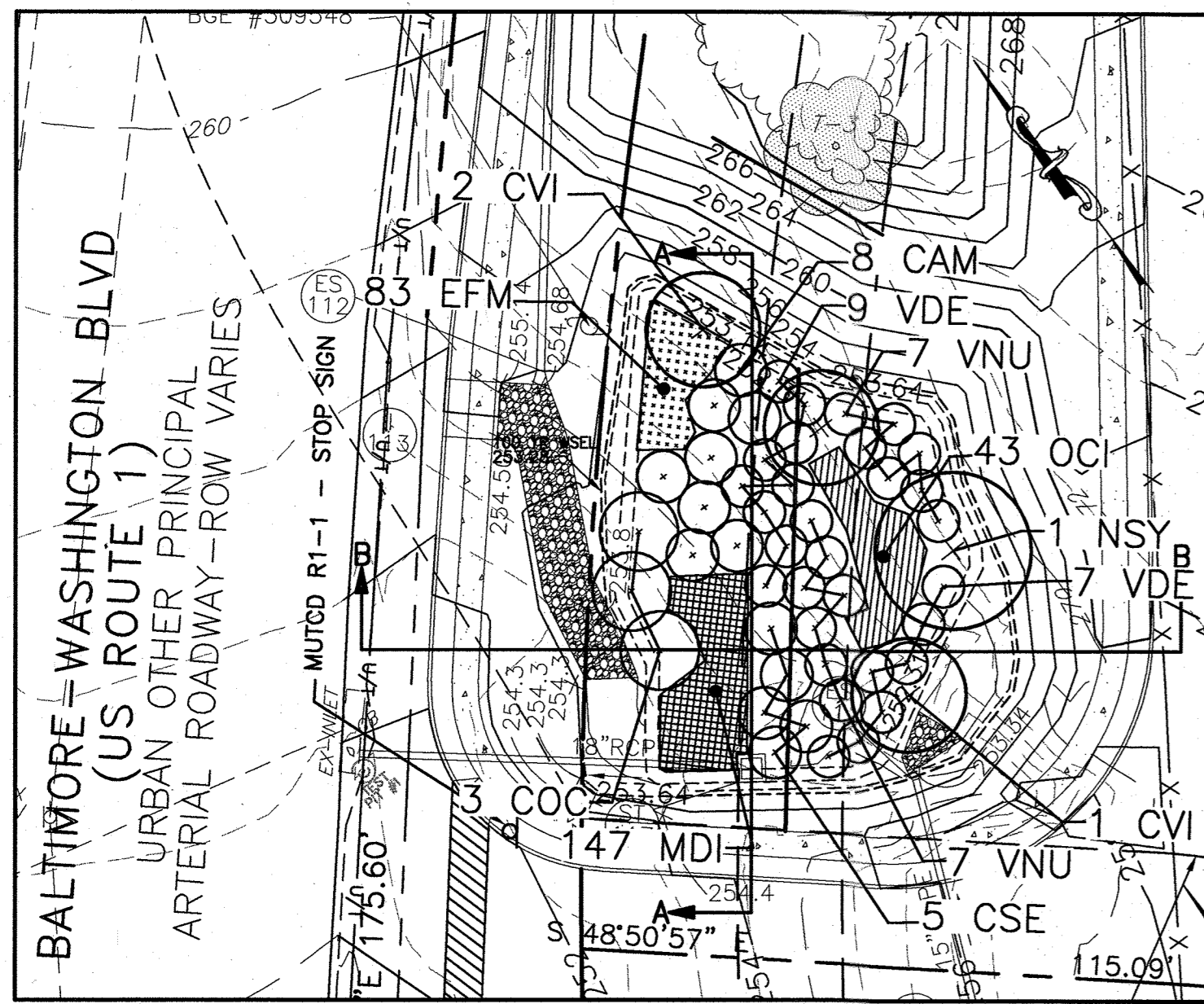
HARMS
 ENGINEERS • PLANNERS • SURVEYORS
 1200 N. EAST STREET, FREDERICK, MARYLAND 21701
 OFFICE: 301/651-2027 FAX: 301/651-2026

NO.	REVISION	BY	DATE
1	REVISE PROPOSED GRADE LINE AND 25-YR WSEL	SJT	03/18/09
2	REVISE H10 TO 65-111 PROFILE	SJT	3/21/11
3	REVISE H10 TO 65-111 PROFILE	PCC	9/10/11
4	REVISE H10 TO 65-111 PROFILE	PCC	9/10/11
5	CHANGE TOTAL # OF SHEETS	PCC	9/16/11

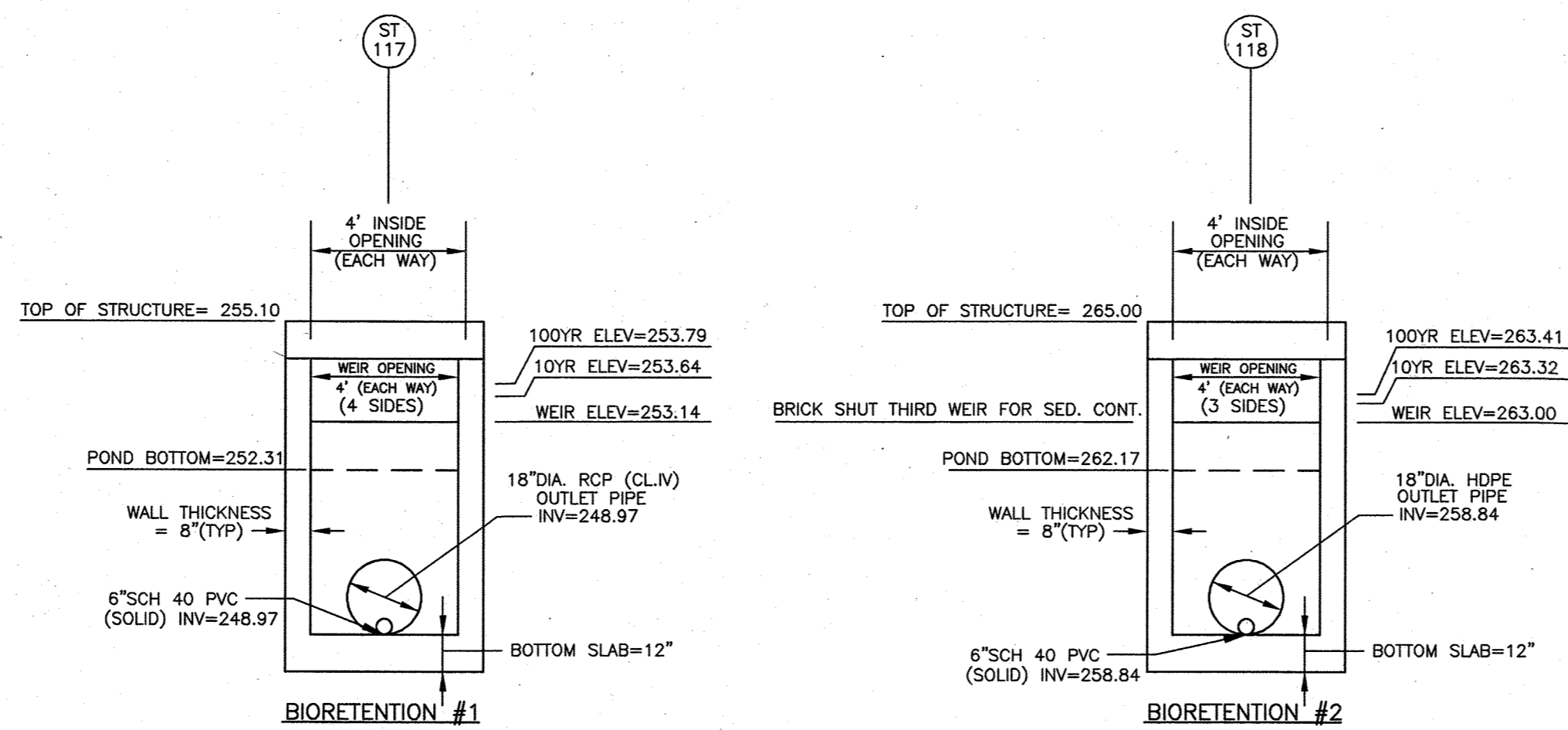
STORM DRAIN PROFILES
PENSKE-RENTAL RETAIL & STORAGE FACILITY
 8685 E. WASHINGTON BOULEVARD
 JESSUP, MARYLAND 20794
 TAX MAP 48, PARCEL 121
 SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN

DESIGNED BY: SID
 DRAWN BY: SIN
 CHECKED BY: MSC
 DATE: JULY, 2008
 W.O. NO. 08-05-034A

Date: 08/12/2008 User: etech Drawing Path: \\D:\2600\Projects\Penske - Howard County\08-05-034A\Site Development\Plans\PENSK8-15-16-SWA-PLAN-DETAILS.dwg XREF File(s): Penске-ESTABSE-SOP.dwg



- REINFORCEMENT NOTES:**
(PER MSHA STD. MD-374.23)
- CONCRETE SHALL BE MIX NO.6 (4500 PSI).
 - WALL REINFORCEMENT FOR BASE UNITS, RISER UNITS SHALL BE REINFORCEMENT BASE OR WELDED WIRE FABRIC WITH MINIMUM AREA OF 0.12 IN.2/FT FOR THE 48" DIAMETER MANHOLES. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 AND A 82. REINFORCEMENT BARS SHALL MEET A 615. GRADE 60.
 - BASE REINFORCEMENT SHALL BE REINFORCEMENT BARS OR WELDED WIRE FABRIC WITH A MINIMUM AREA OF 0.14 IN.2/FT. THE BASE MAY BE CAST MONOLITHIC WITH BASE UNIT OR JOINTED PER MANUFACTURER'S DESIGN.
 - SEE DETAIL THIS SHEET FOR WEIR TRASH RACKS.



MATERIALS SPECIFICATIONS FOR BIORETENTION FACILITIES

MATERIAL	SPECIFICATION	SIZE	NOTES
PLANTINGS	SEE PLANT LIST THIS SHEET	N/A	PLANTINGS ARE SITE-SPECIFIC, SEE PLANT LIST THIS SHEET
PLANTING SOIL	SAND 35% - 60% SILT 0% - 25% GROUND COMPOST 40% - 50%	N/A	AGED 6 MONTHS, MINIMUM
MULCH	SHREDDED HARDWOOD		
PEA GRAVEL DIAPHRAGM AND CURTAIN DRAIN	PEA GRAVEL: ASTM-D-448 ORNAMENTAL STONE: WASHED COBBLES	PEA GRAVEL: NO. 6 STONE: 2" TO 5"	
GEOTEXTILE	CLASS "SE" - APPARENT OPENING SIZE (ASTM-D-4751), GRAB TENSILE STRENGTH (ASTM-D-4632), PUNCTURE RESISTANCE (ASTM-D-4833)	N/A	TYPAR 3601, TREVA 1127 OR APPROVED EQUAL
UNDERDRAIN GRAVEL	AASHTO M-43	3" TO 9"	
UNDERDRAIN PIPING	F 758, TYPE PS 28 OR AASHTO M-278	4" TO 6" RIGID SCHEDULE 40 PVC OR SDR35	FOR USE AS NECESSARY BENEATH UNDERDRAINS ONLY 3/8" PERF. @ 6" ON CENTER, 4 HOLES PER ROW; MINIMUM OF 3" OF GRAVEL OVER PIPES; NOT NECESSARY UNDERNEATH PIPES

BIORETENTION #1 PLANT LIST

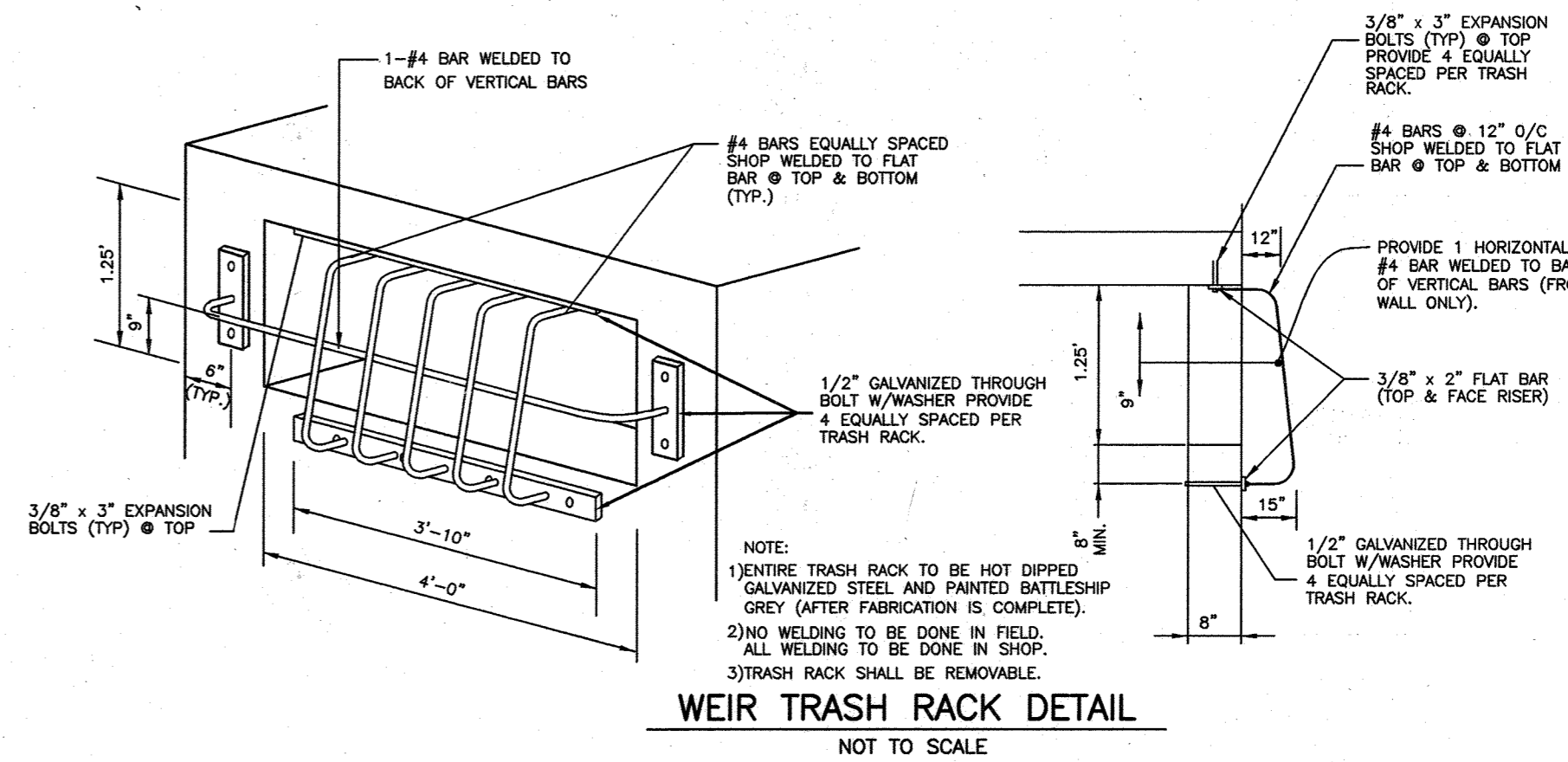
KEY	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	REMARKS	QUANTITY
TREES						
CVI	CRATAEGUS VIRIDIS	GREEN HAWTHORNE	AS SHOWN	1" CAL.	CONT./BB	3
NSY	NYSSA SYLVATICA	BLACKGUM	AS SHOWN	1"-1 1/2" CAL.	BB	1
SHRUBS						
COC	CEPHALANTHUS OCCIDENTALIS	BUTTONBUSH	AS SHOWN	18"-24" HT.	CONT.	3
CAM	CORNUS AMOMUM	SILKY DOGWOOD	AS SHOWN	18"-24" HT.	CONT.	8
CSE	CORNUS SERICEA	REDSIER DOGWOOD	AS SHOWN	18"-24" HT.	CONT.	5
VDE	VIBURNUM DENTATUM	ARROWWOOD	AS SHOWN	18"-24" HT.	CONT.	16
VNU	VIBURNUM NUDUM	POSSUMHAW VIBURNUM	AS SHOWN	18"-24" HT.	CONT.	24
HERBACEOUS SPECIES						
EFM	EUPATORIUM FISTULOSUM	JOE-PYE WEED	AS SHOWN	1 QT./12" HT.	CONT. (2' O.C.)	83
MDI	MONARDA DIDYMA	BEEBALM	AS SHOWN	1 QT.	CONT. (2' O.C.)	147
OCI	OSMUNDA CINNAMOMEA	CINNAMON FERN	AS SHOWN	1 QT.	CONT. (3' O.C.)	43

BIORETENTION AREA = 4,191 SQ.FT. OR 0.10 AC.
PROVIDED: 4 SHADE TREES, 46 SHRUBS AND 273 HERBACEOUS SPECIES

BIORETENTION #2 PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	REMARKS	QUANTITY
TREES						
ARU	ACER RUBRUM	RED MAPLE	AS SHOWN	1"-1 1/2" CAL.	BB	4
NSY	NYSSA SYLVATICA	BLACKGUM	AS SHOWN	1"-1 1/2" CAL.	BB	3
SNI	SALIX NIGRA	BLACK WILLOW	AS SHOWN	1"-1 1/2" CAL.	BB	2
SHRUBS						
CAM	CORNUS AMOMUM	SILKY DOGWOOD	AS SHOWN	18"-24" HT.	CONT.	5
CSE	CORNUS SERICEA	REDSIER DOGWOOD	AS SHOWN	18"-24" HT.	CONT.	3
VDE	VIBURNUM DENTATUM	ARROWWOOD	AS SHOWN	18"-24" HT.	CONT.	16
VNU	VIBURNUM NUDUM	POSSUMHAW VIBURNUM	AS SHOWN	18"-24" HT.	CONT.	17
HERBACEOUS SPECIES						
EFM	EUPATORIUM FISTULOSUM	JOE-PYE WEED	AS SHOWN	1 QT./12" HT.	CONT. (2' O.C.)	90
MDI	MONARDA DIDYMA	BEEBALM	AS SHOWN	1 QT.	CONT. (2' O.C.)	91
OCI	OSMUNDA CINNAMOMEA	CINNAMON FERN	AS SHOWN	1 QT.	CONT. (3' O.C.)	51

BIORETENTION AREA = 2,884 SQ.FT. OR 0.07 AC.
PROVIDED: 9 SHADE TREES, 41 SHRUBS AND 232 HERBACEOUS SPECIES

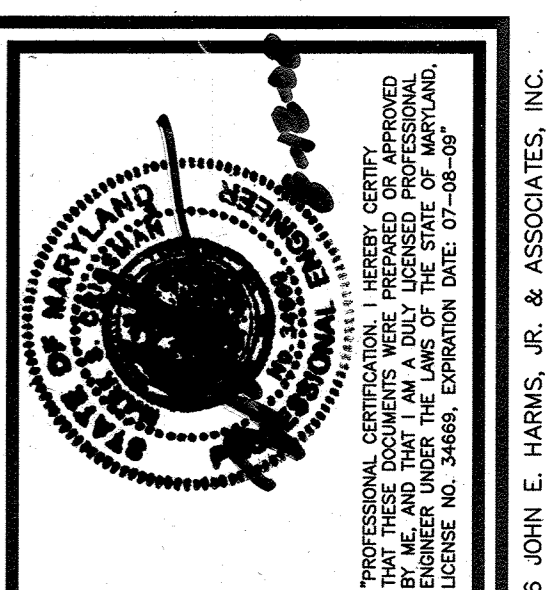


APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF DEVELOPMENT ENGINEERING DIVISION: *[Signature]* DATE: 8/22/08

CHIEF DIVISION OF LAND DEVELOPMENT: *[Signature]* DATE: 8/22/08

DIRECTOR: *[Signature]* DATE: 8/22/08

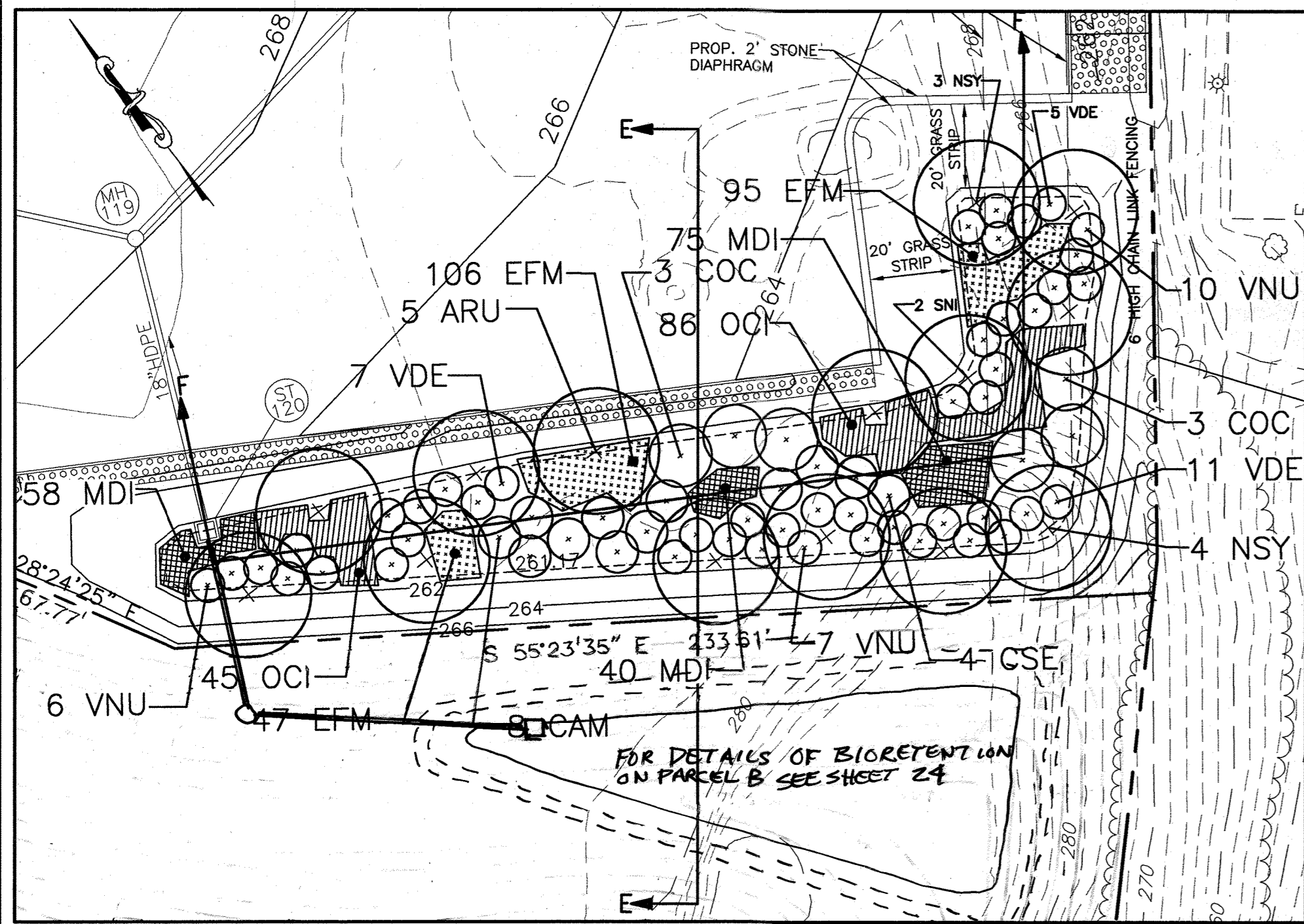


HARMS
ENGINEERS • PLANNERS • SURVEYORS
1209 N. EAST STREET, FREDERICK, MARYLAND 21701
Office: 301/651-2027 FAX: 301/631-2028

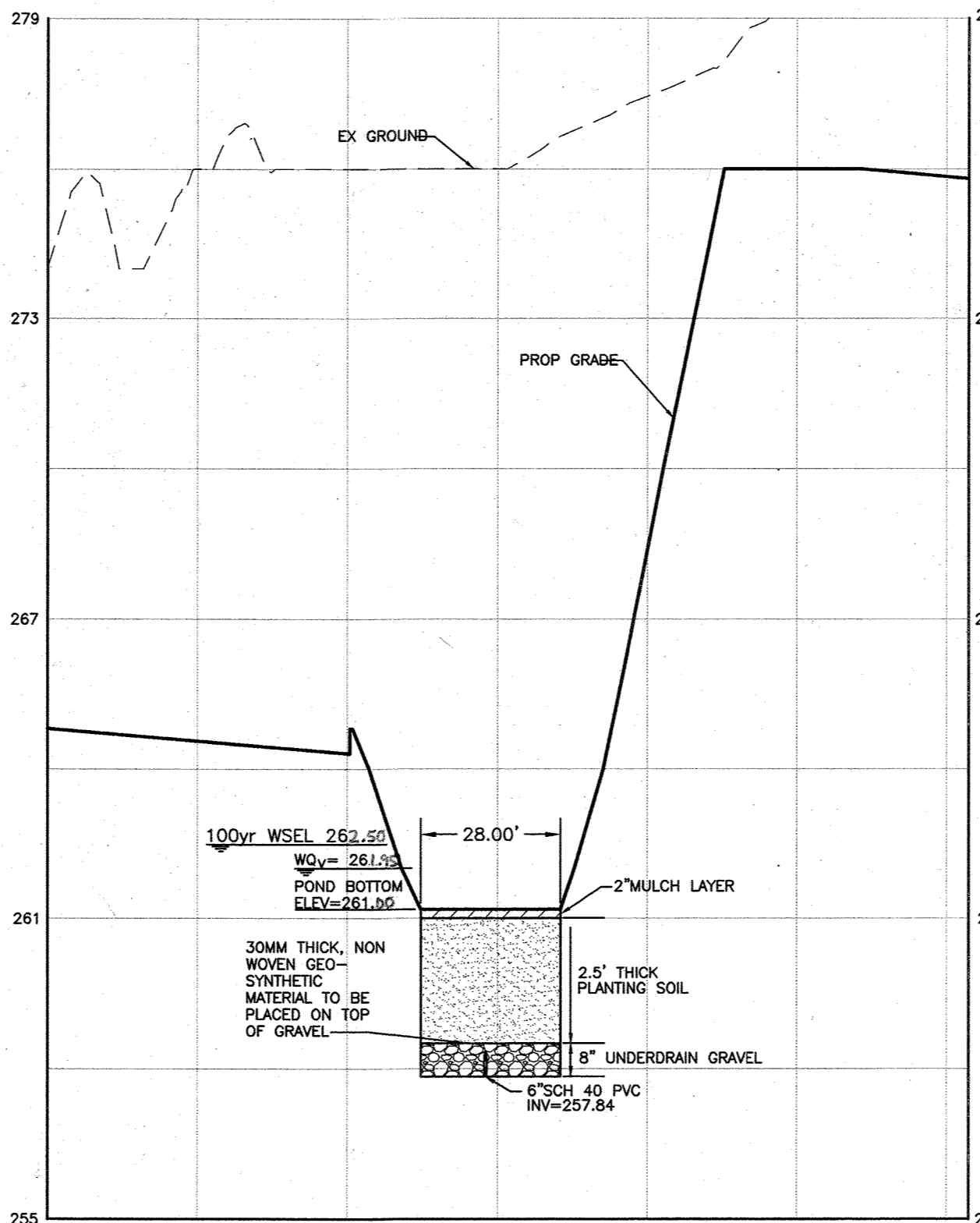
NO.	REVISION	BY	DATE
6	Change Total # of Sheets	EC	9/6/11

STORMWATER MANAGEMENT DETAILS
PENSK8-RENTAL RETAIL & STORAGE FACILITY
8685 E. WASHINGTON BOULEVARD
JESSUP, MARYLAND 20794
TAX MAP 48, PARCEL 121
SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

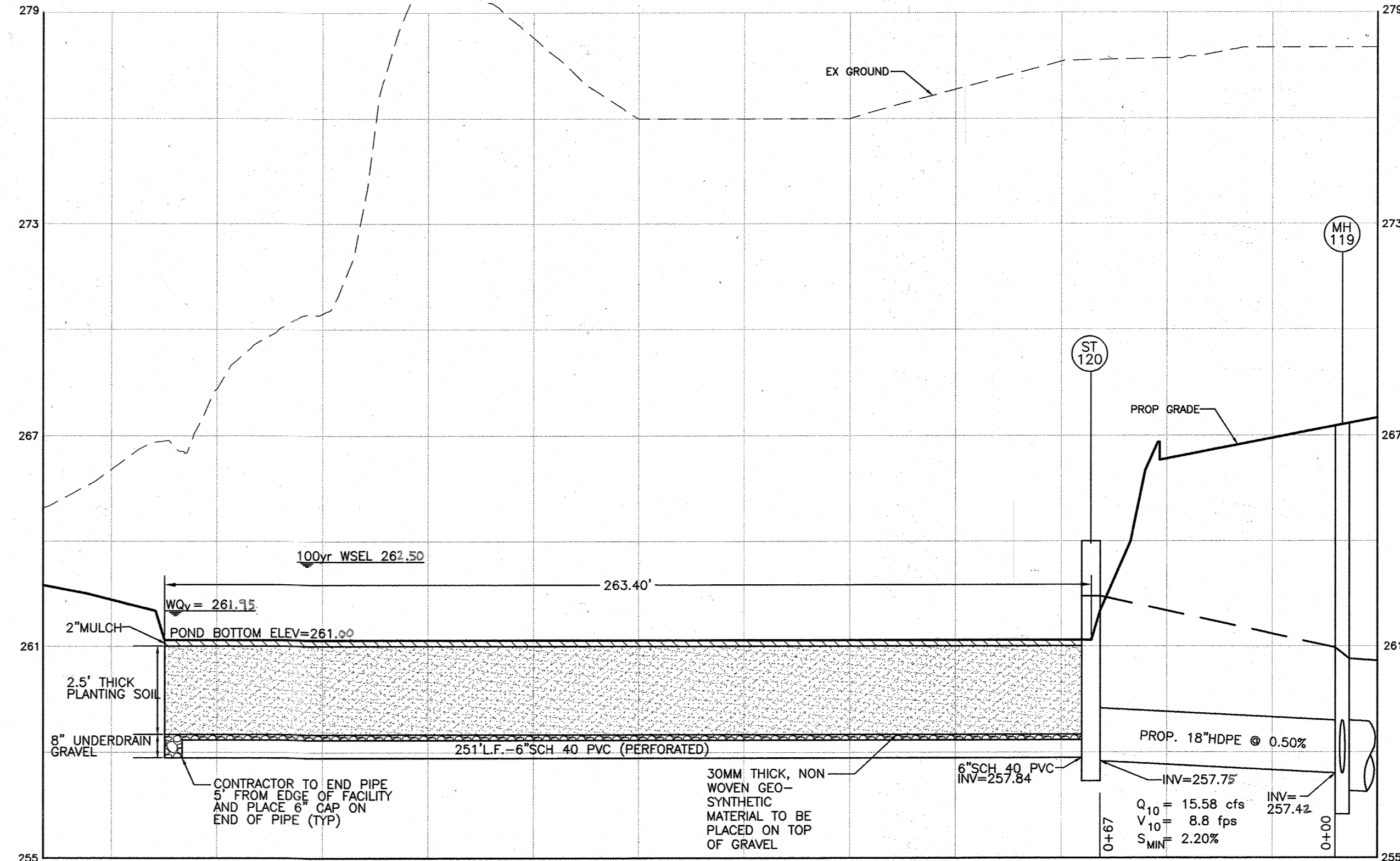
DESIGNED BY: SJD
DRAWN BY: SIN
CHECKED BY: MSC
DATE: JULY, 2008
W.G. NO. 08-05-034A



BIORETENTION 3-PLAN VIEW
SCALE: 1"=30'



BIORETENTION #3-SECTION E-E
HOR. SCALE: 1"=30'
VERT. SCALE: 1"=3'



BIORETENTION #3-SECTION F-F
HOR. SCALE: 1"=30'
VERT. SCALE: 1"=3'

MATERIALS SPECIFICATIONS FOR BIORETENTION FACILITIES

MATERIAL	SPECIFICATION	SIZE	NOTES
PLANTINGS	SEE PLANT LIST THIS SHEET	N/A	PLANTINGS ARE SITE-SPECIFIC, SEE PLANT LIST THIS SHEET
PLANTING SOIL	SAND 35% - 60% SILT 0% - 25% GROUND COMPOST 40% - 50%	N/A	
MULCH	SHREDDED HARDWOOD		AGED 6 MONTHS, MINIMUM
PEA GRAVEL DIAPHRAGM AND CURTAIN DRAIN	PEA GRAVEL: ASTM-D-448 ORNAMENTAL STONE: WASHED COBBLES	PEA GRAVEL: NO. 6 STONE: 2 TO 5"	
GEOTEXTILE	CLASS "SE" - APPARENT OPENING SIZE (ASTM-D-4751), GRAB TENSILE STRENGTH (ASTM-D-4632), PUNCTURE RESISTANCE (ASTM-D-4833)	N/A	TYPAR 3601, TREVIA 1127 OR APPROVED EQUAL
UNDERDRAIN GRAVEL	AASHTO M-43	3" TO 9"	
UNDERDRAIN PIPING	F 758, TYPE PS 28 OR AASHTO M-278	4" TO 6" RIGID SCHEDULE 40 PVC OR SDR35	FOR USE AS NECESSARY BENEATH UNDERDRAINS ONLY 3/8" PERF. 6" ON CENTER, 4 HOLES PER ROW; MINIMUM OF 3" OF GRAVEL OVER PIPES; NOT NECESSARY UNDERNEATH PIPES

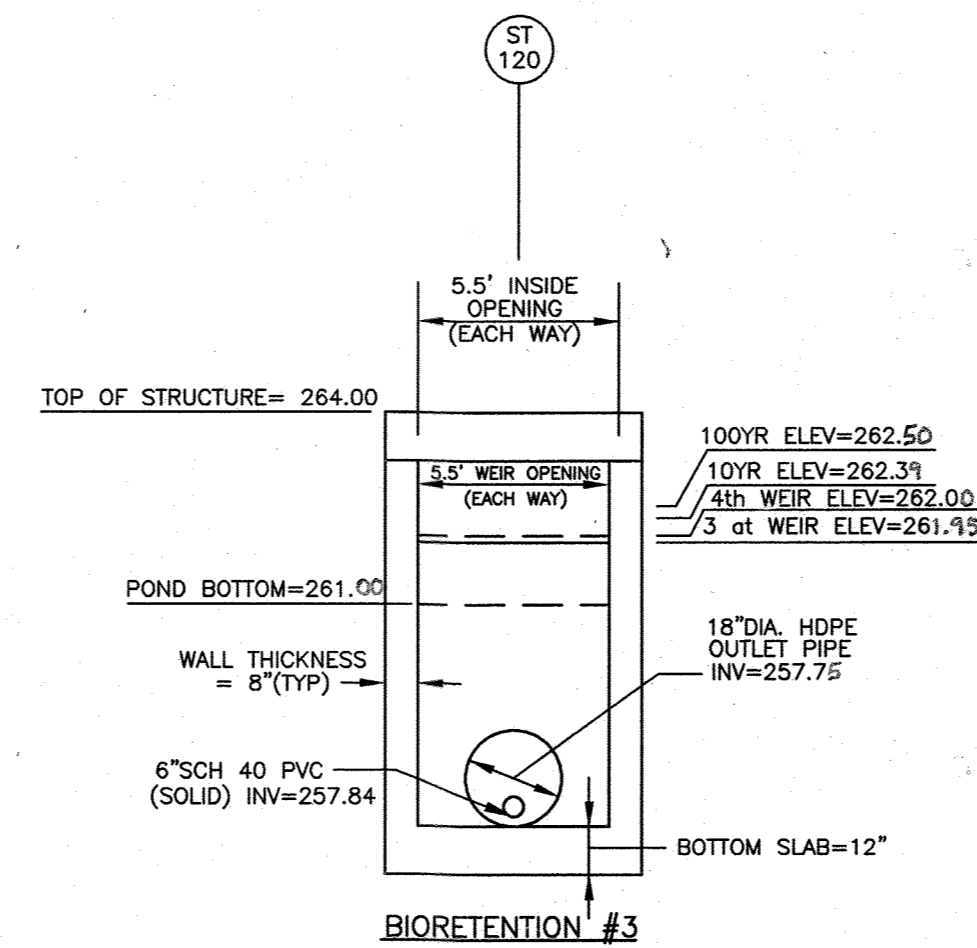
BIORETENTION #3 PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	REMARKS	QUANTITY
TREES						
ARU	ACER RUBRUM	RED MAPLE	AS SHOWN	1"-1 1/2" CAL.	BB	5
NSY	NYSSA SYLVATICA	BLACKGUM	AS SHOWN	1"-1 1/2" CAL.	BB	7
SNI	SALIX NIGRA	BLACK WILLOW	AS SHOWN	1"-1 1/2" CAL.	BB	2
SHRUBS						
COC	CEPHALANTHUS OCCIDENTALIS	BUTTONBUSH	AS SHOWN	18"-24" HT.	CONT.	6
CAM	CORNUS AMOMUM	SILKY DOGWOOD	AS SHOWN	18"-24" HT.	CONT.	8
CSE	CORNUS SERICEA	REDSIER DOGWOOD	AS SHOWN	18"-24" HT.	CONT.	4
VDE	VIBURNUM DENTATUM	ARROWWOOD	AS SHOWN	18"-24" HT.	CONT.	23
VNU	VIBURNUM NUDUM	POSSUMHAW VIBURNUM	AS SHOWN	18"-24" HT.	CONT.	27
HERBACEOUS SPECIES						
EFM	EUPATORIUM FISTULOSUM	JOE-PYE WEED	AS SHOWN	1 QT./12" HT.	CONT. (2' O.C.)	248
MDI	MONARDA DIDYMA	BEEBALM	AS SHOWN	1 QT.	CONT. (2' O.C.)	173
OOC	OSMUNDA CINNAMOMEA	CINNAMON FERN	AS SHOWN	1 QT.	CONT. (3' O.C.)	131

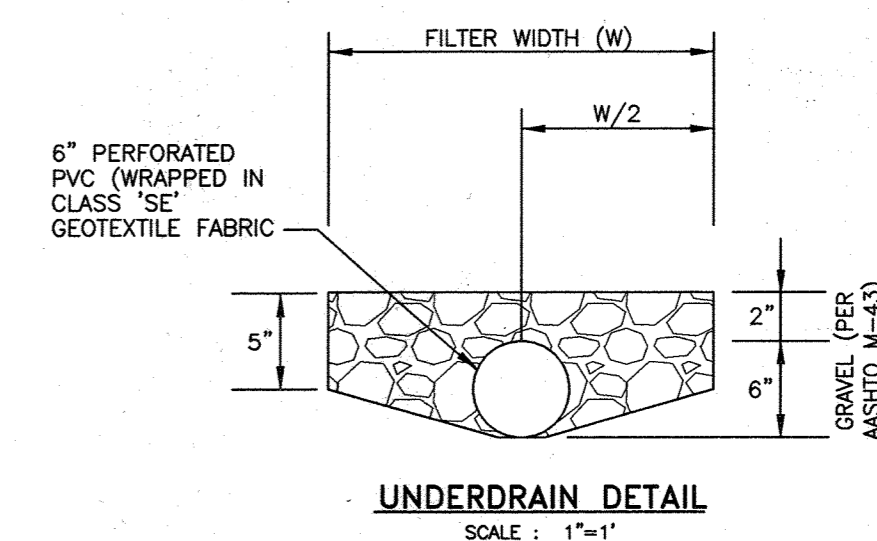
BIORETENTION AREA = 7,109 SQ.FT. OR 0.16 AC.
PROVIDED: 14 SHADE TREES, 68 SHRUBS
AND 552 HERBACEOUS SPECIES

REINFORCEMENT NOTES :
(PER MSHA STD. MD-374.23)

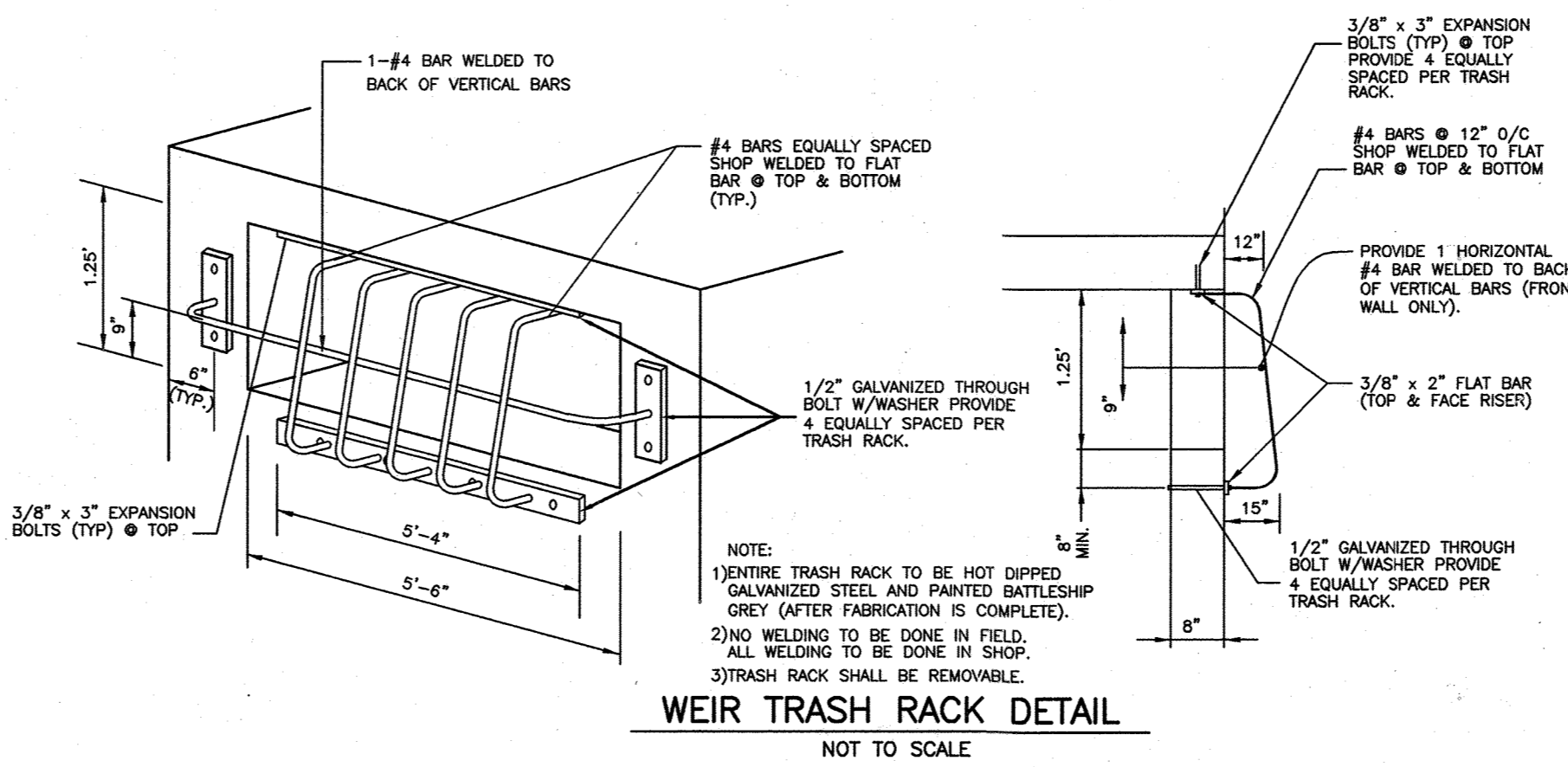
- CONCRETE SHALL BE MIX NO.6 (4500 PSI).
- WALL REINFORCEMENT FOR BASE UNITS, RISER UNITS SHALL BE REINFORCEMENT BASE OR WELDED WIRE FABRIC WITH MINIMUM AREA OF 0.12 IN.2/FT FOR THE 48" DIAMETER MANHOLES. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 AND A 82. REINFORCEMENT BARS SHALL MEET A 615. GRADE 60.
- BASE REINFORCEMENT SHALL BE REINFORCEMENT BARS OR WELDED WIRE FABRIC WITH A MINIMUM AREA OF 0.14 IN.2/FT. THE BASE MAY BE CAST MONOLITHIC WITH BASE UNIT OR JOINTED PER MANUFACTURER'S DESIGN.
- SEE DETAIL THIS SHEET FOR WEIR TRASH RACKS.



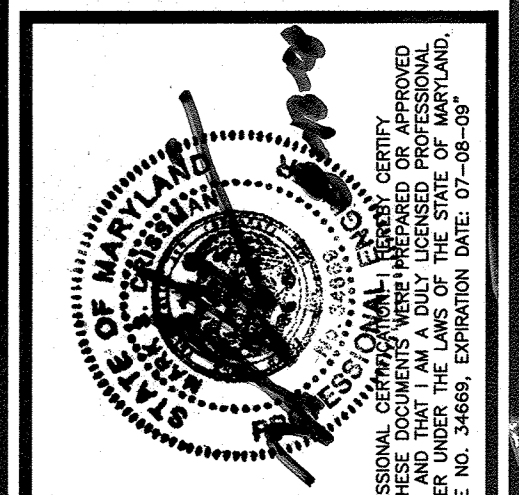
RISER DETAIL
NOT TO SCALE



PERFORATED PVC UNDERDRAIN DETAIL
SCALE: 1"=1'



WEIR TRASH RACK DETAIL
NOT TO SCALE



HARMS
ENGINEERS • PLANNERS • SURVEYORS
1209 N. EAST STREET, FREDERICK, MARYLAND 21701
Office: 301/631-2027 FAX: 301/631-2028

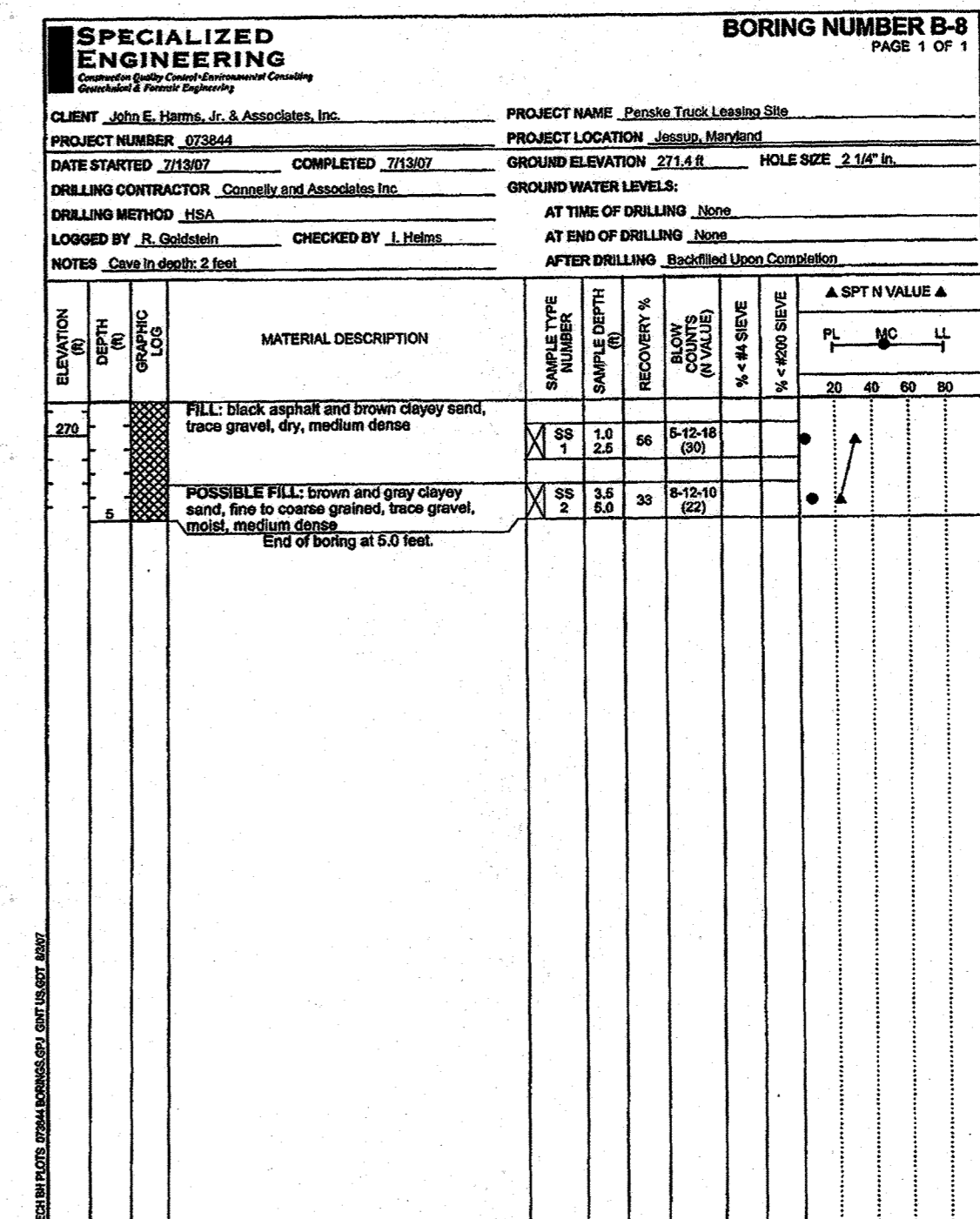
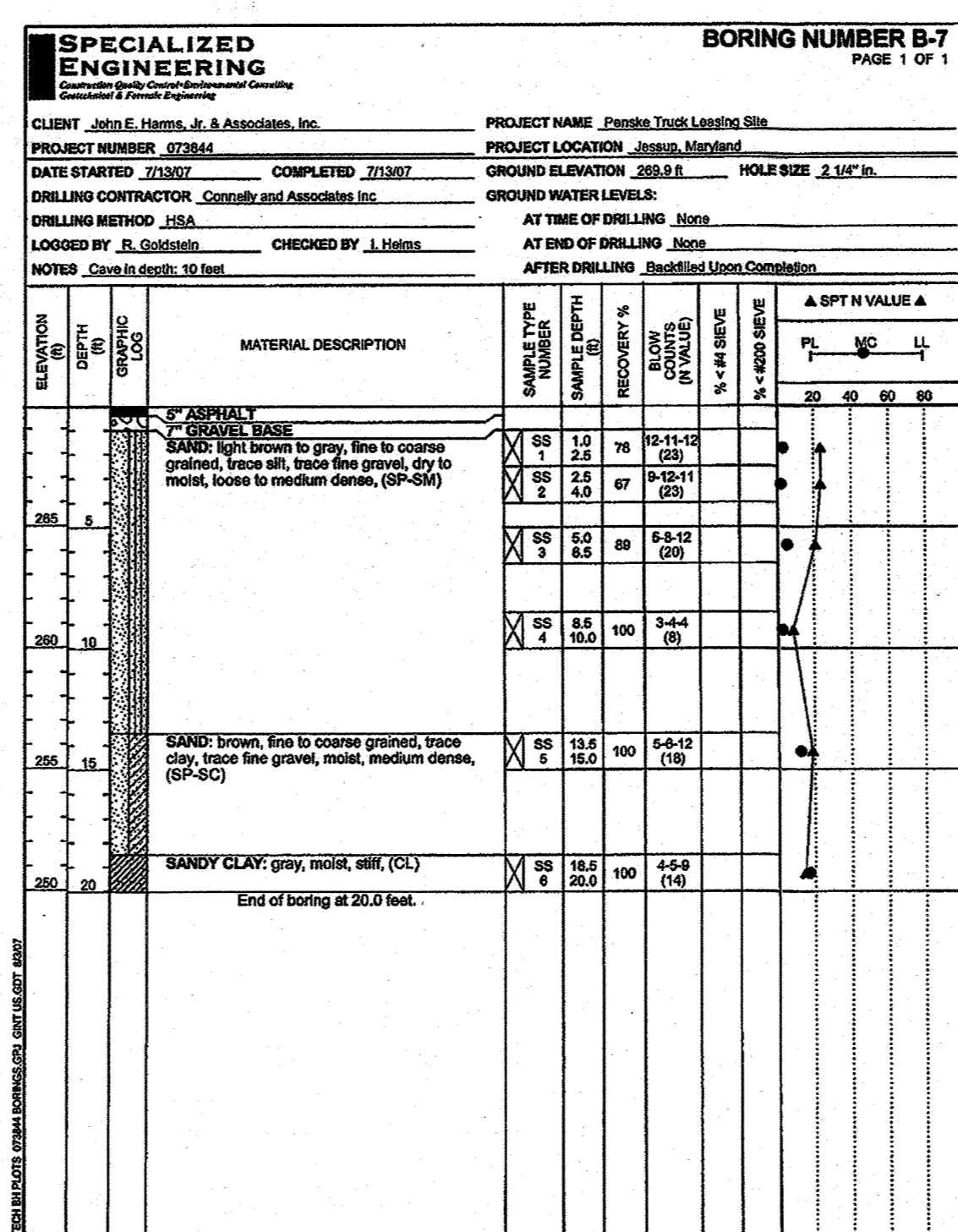
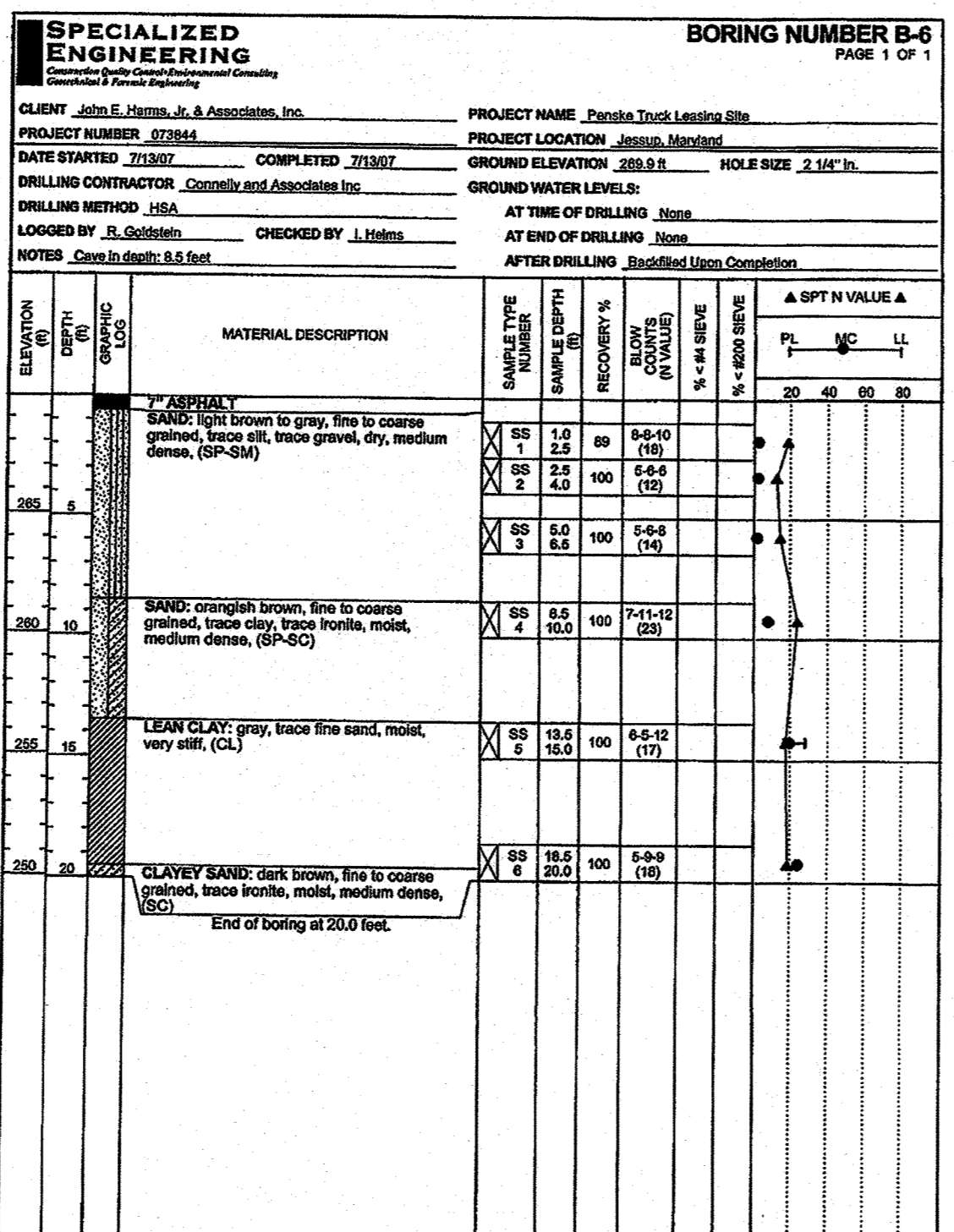
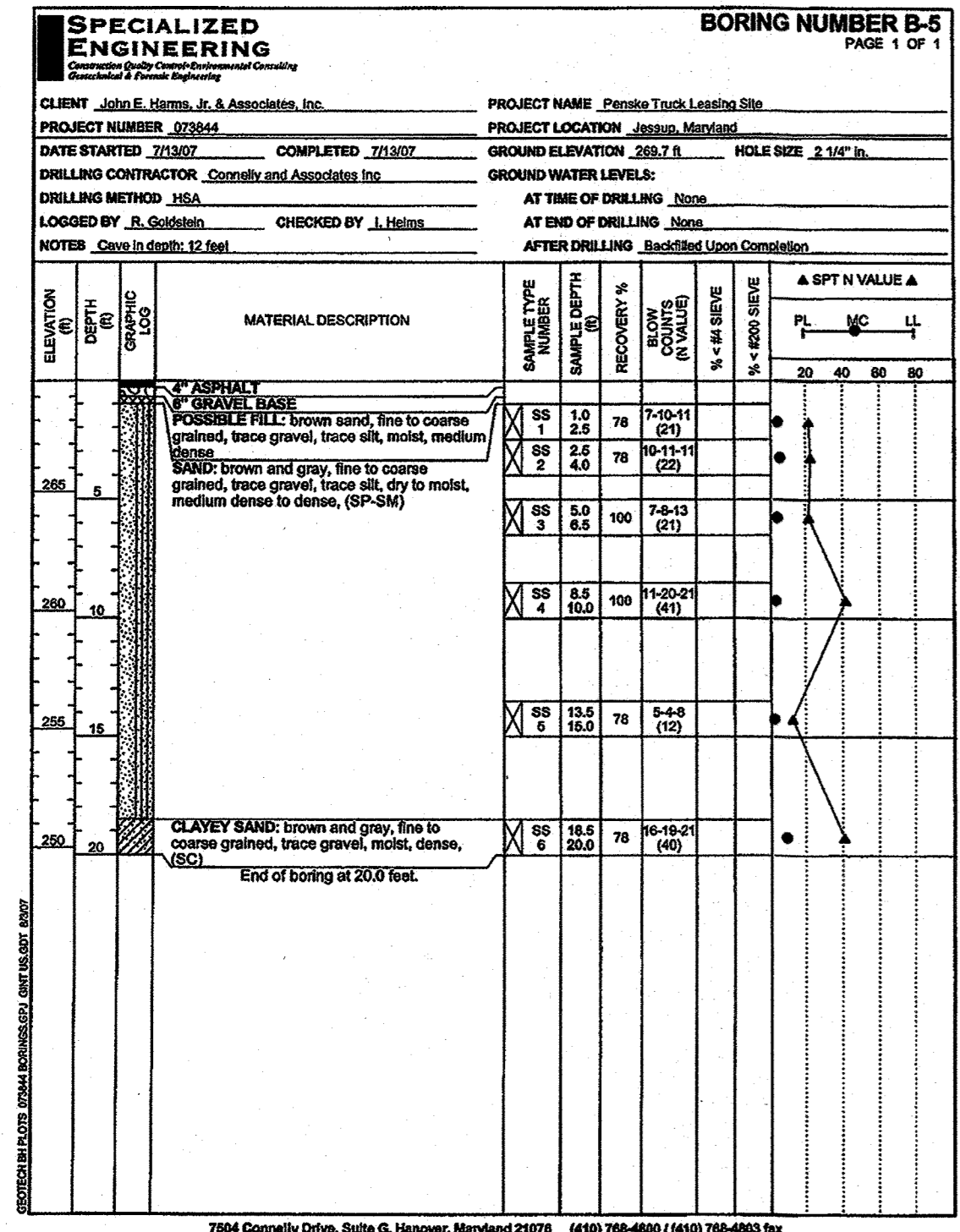
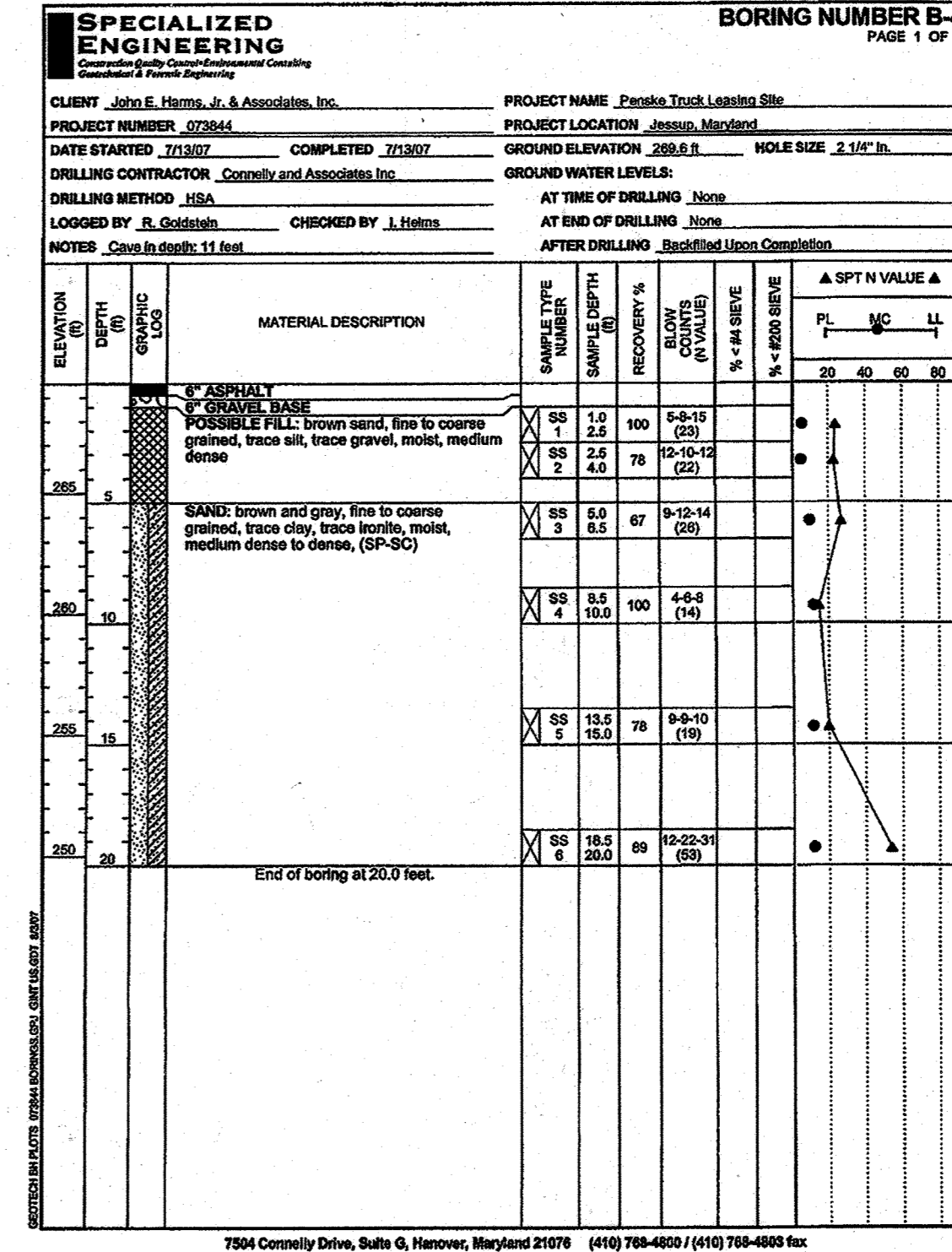
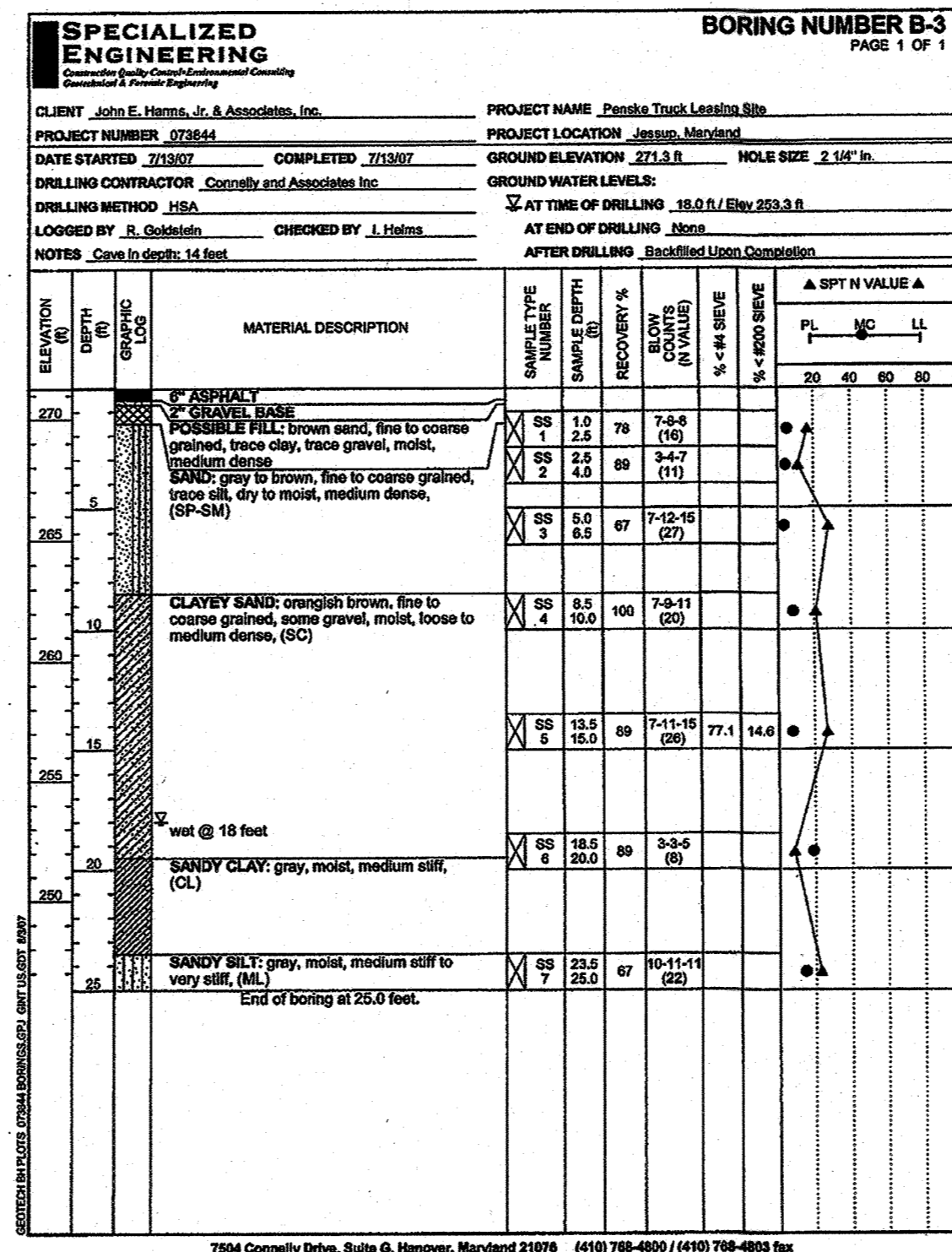
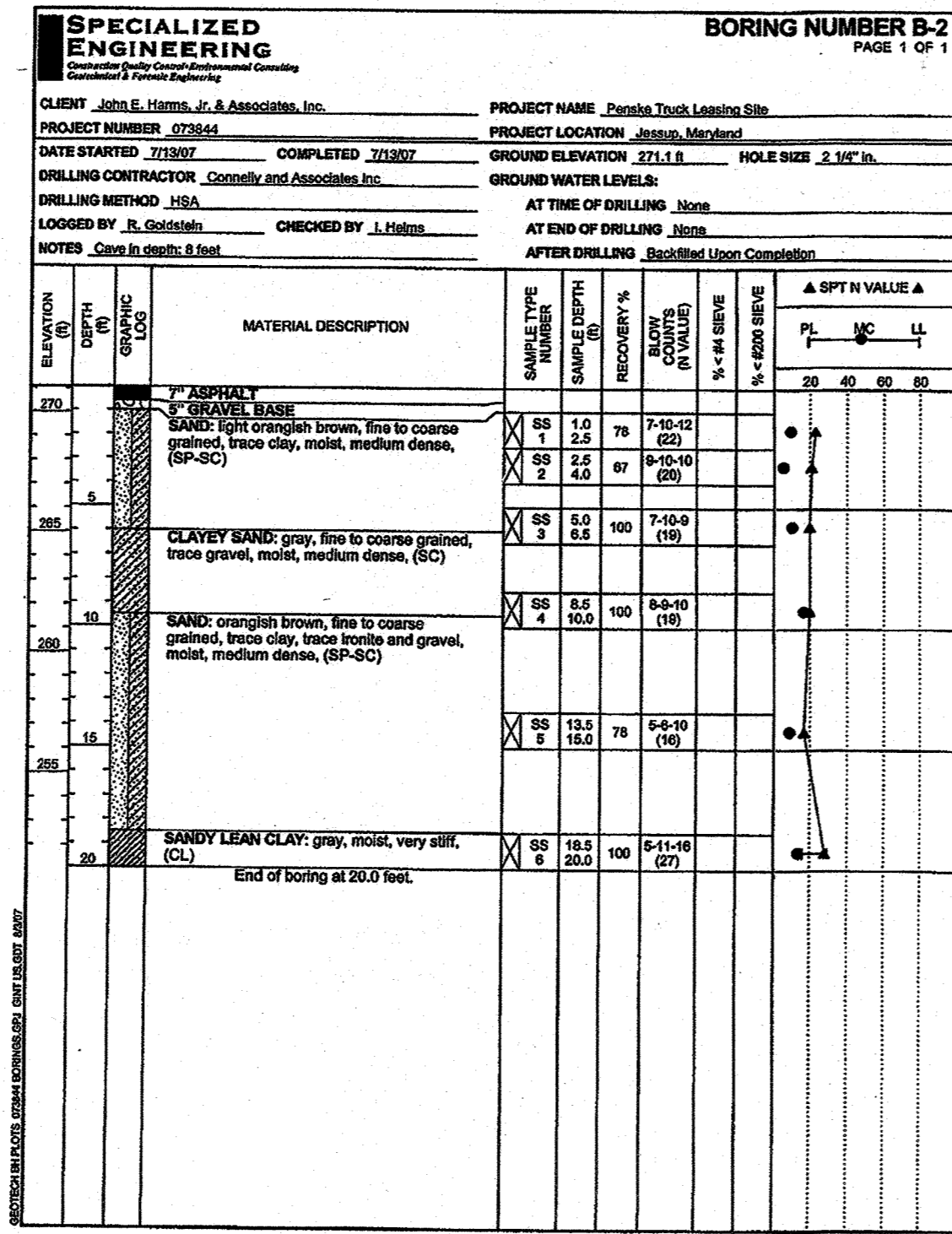
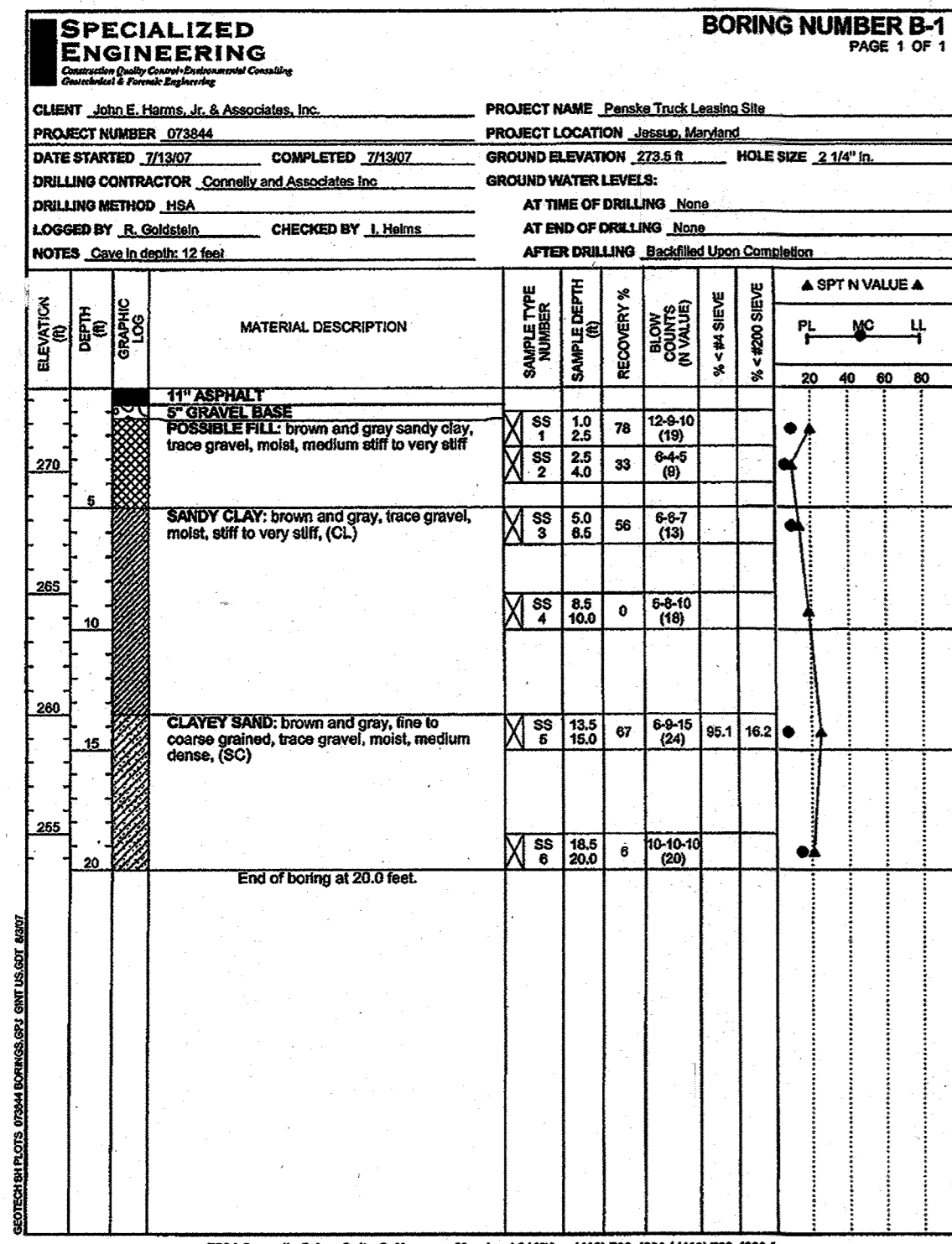
NO.	REVISION	BY	DATE
5	REVISED PER MSHA COMMENTS	JTH	3/2/11
6	REVISED PER MSHA COMMENTS	JTH	3/16/11

STORMWATER MANAGEMENT DETAILS
PENSKE - RENTAL RETAIL & STORAGE FACILITY
8685 E. WASHINGTON BOULEVARD
JESSUP, MARYLAND 20794
TAX MAP 48, PARCEL 121
SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

DESIGNED BY: SJD
DRAWN BY: SIN
CHECKED BY: MSC
DATE: JULY, 2008
W.O. NO. 08-05-034A

APPROVED: DEPARTMENT OF PLANNING AND ZONING
CHIEF DEVELOPMENT ENGINEERING DIVISION J.P. DATE 5/21/08
CHIEF DIVISION OF LAND DEVELOPMENT C.H. DATE 5/21/08
DIRECTOR P.H. DATE 5/21/08

Date: 08/12/2008 User: rsc/b Drawing Path: \\c012600\Projects\Penske-17-18-BORINGS.dwg XREF File(s):



HARMS
ENGINEERS • PLANNERS • SURVEYORS
1209 N. EAST STREET, FREDERICK, MARYLAND 21701
Office: 301/631-2027 FAX: 301/631-2028

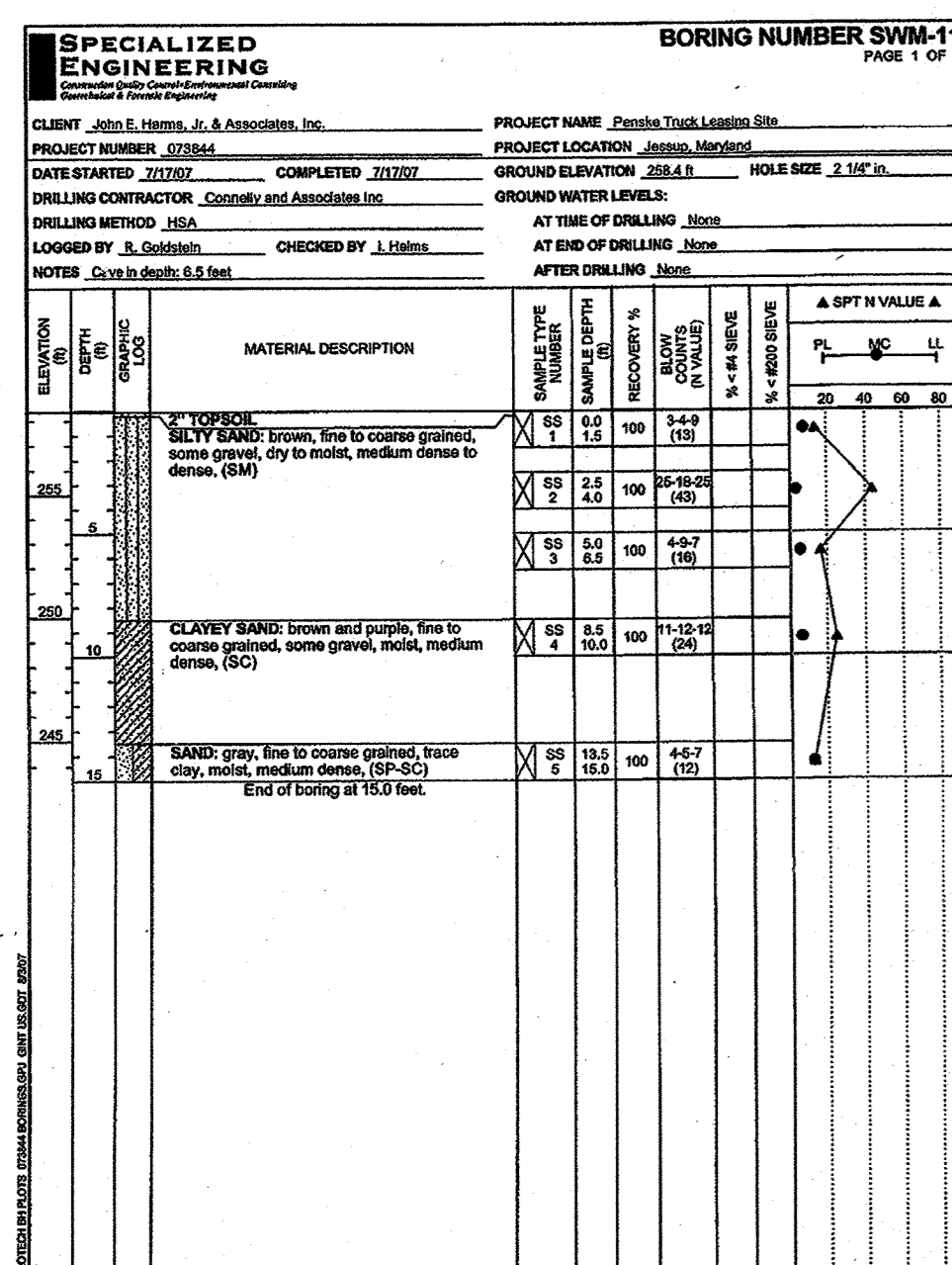
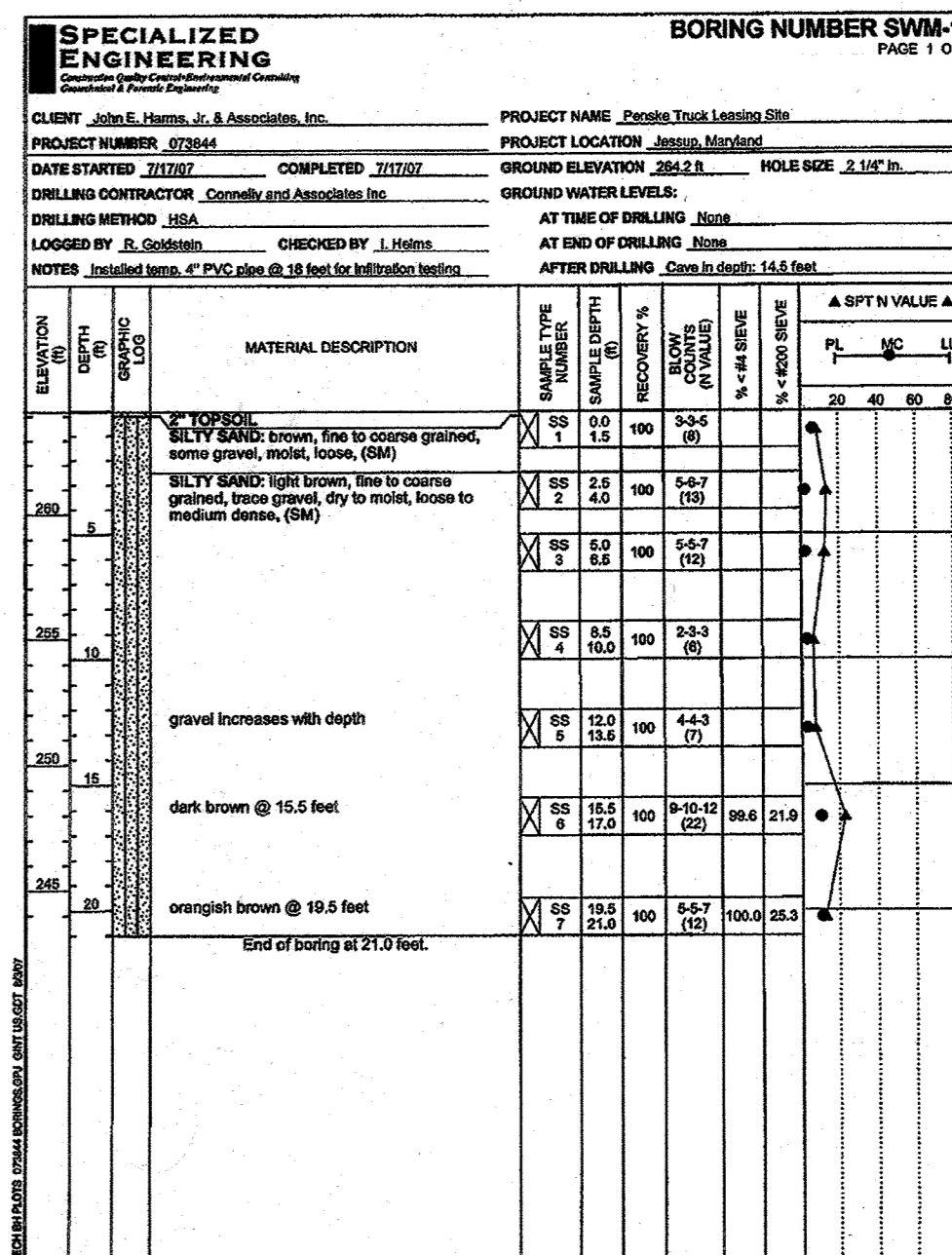
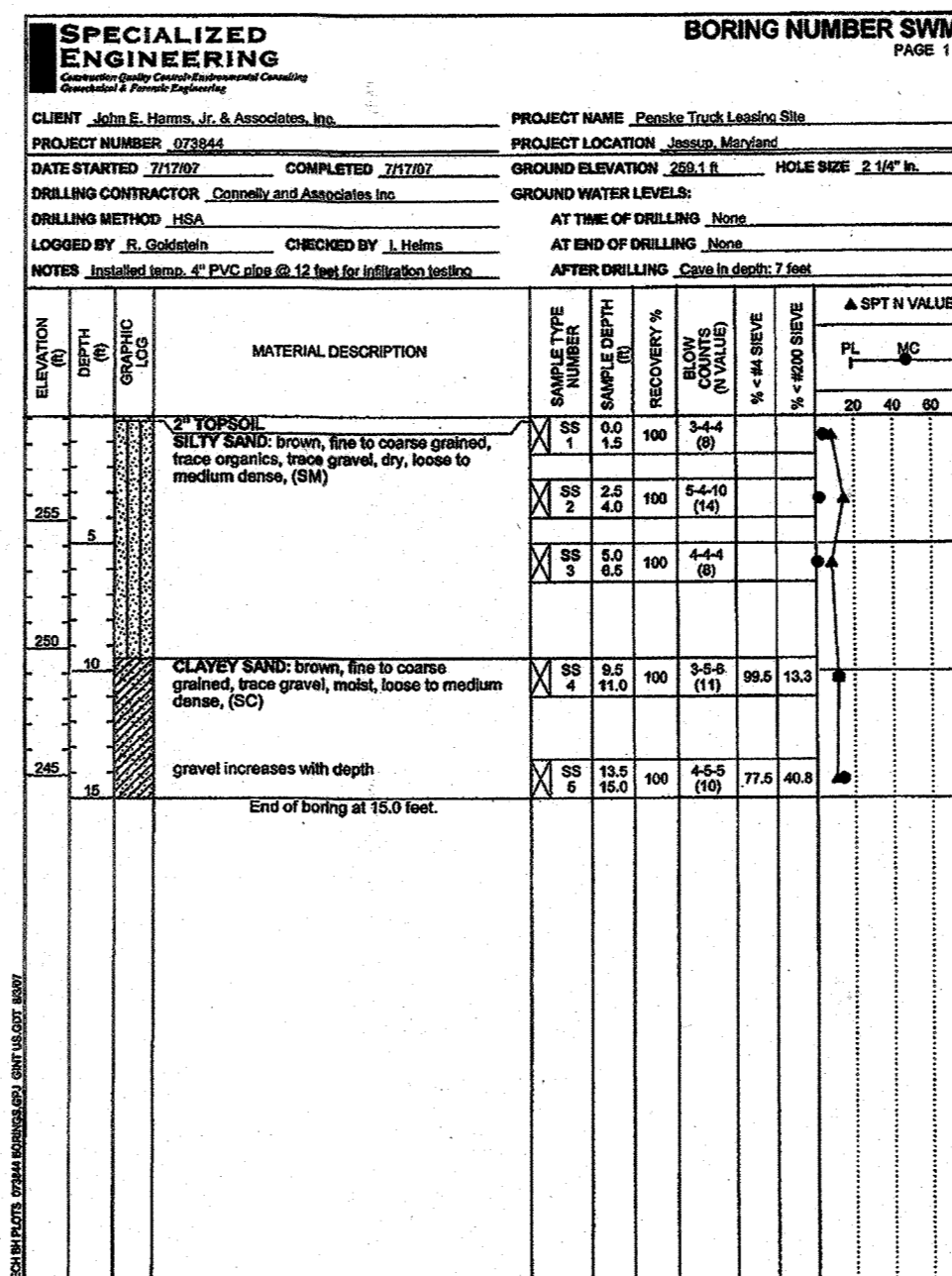
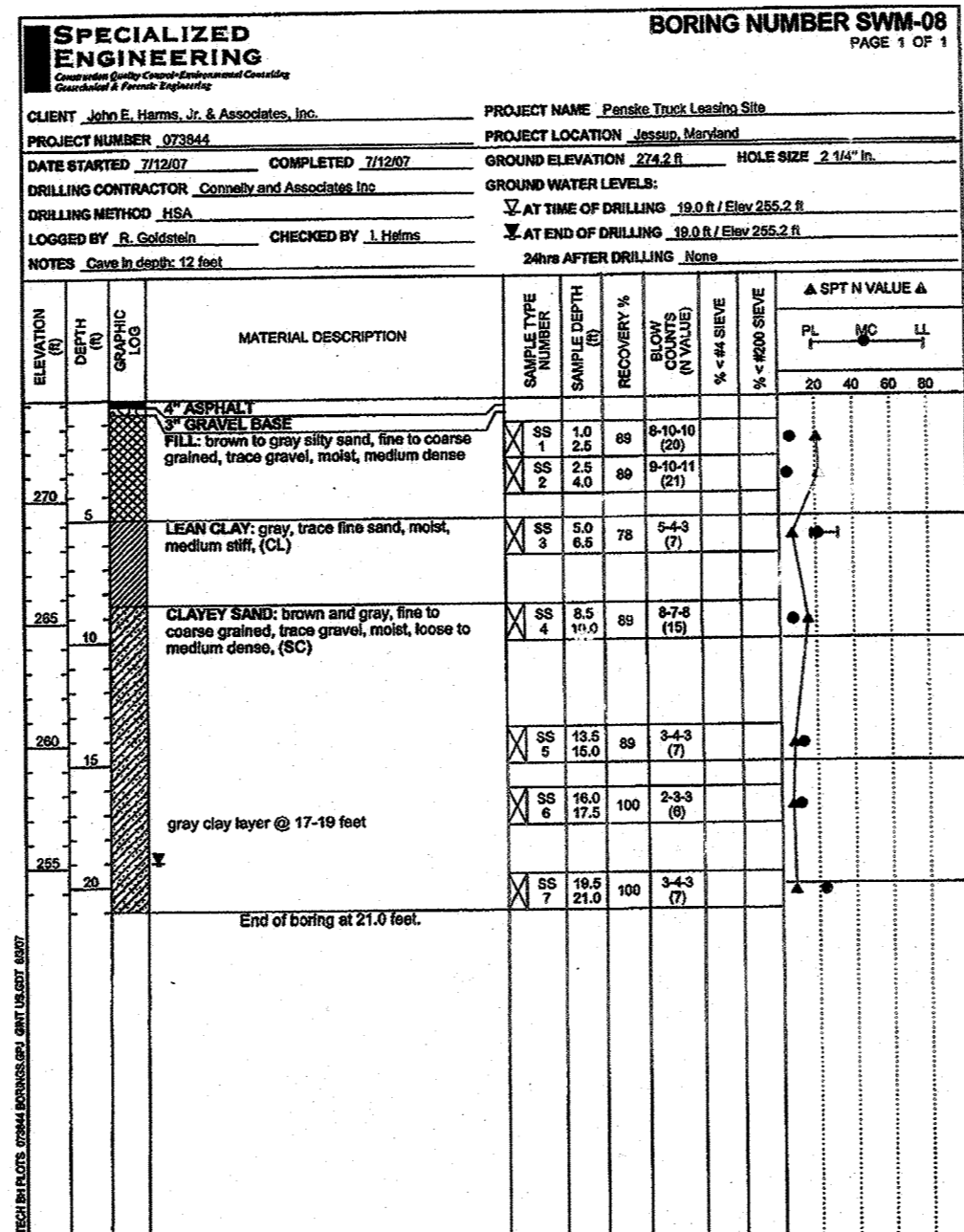
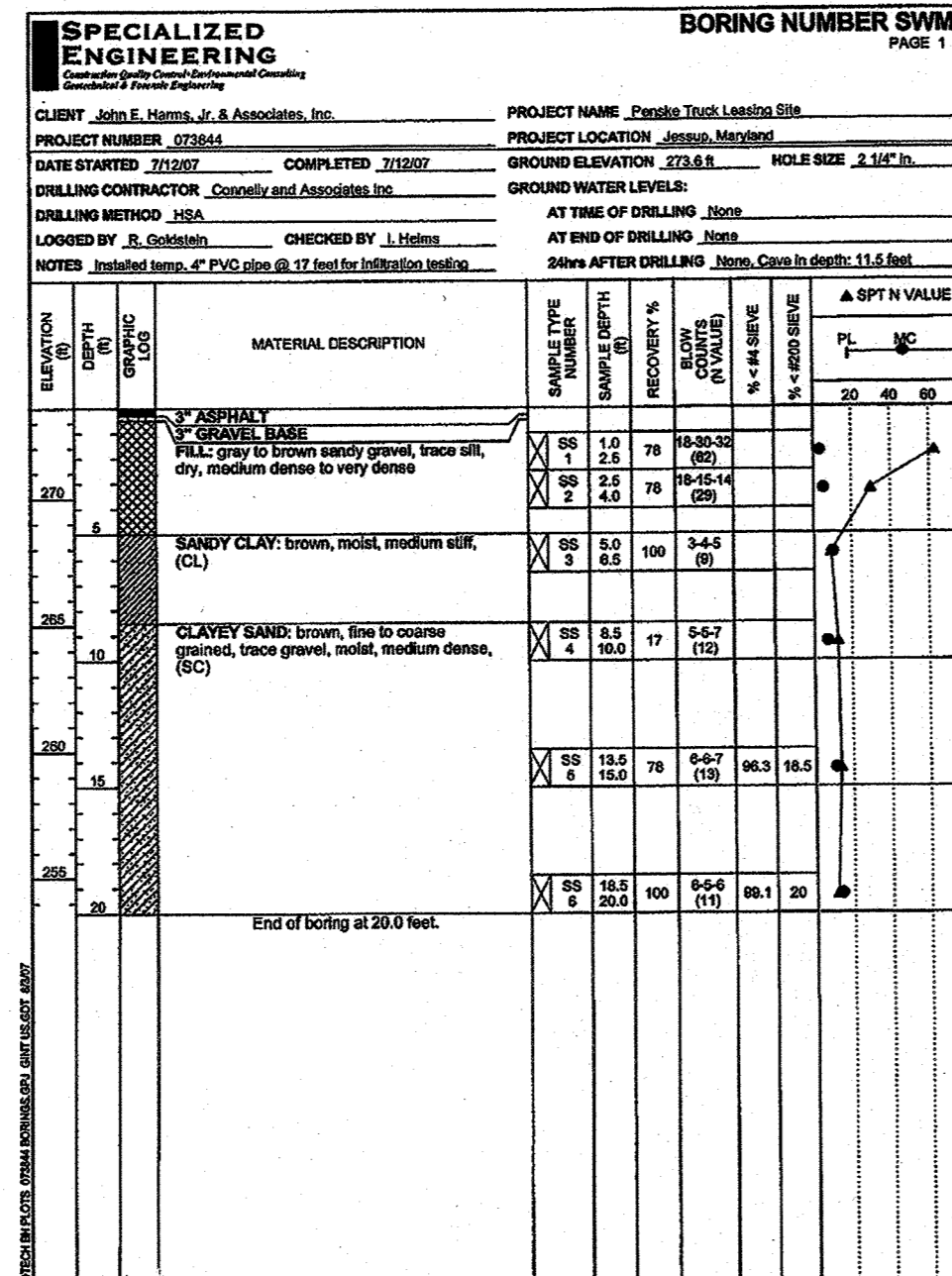
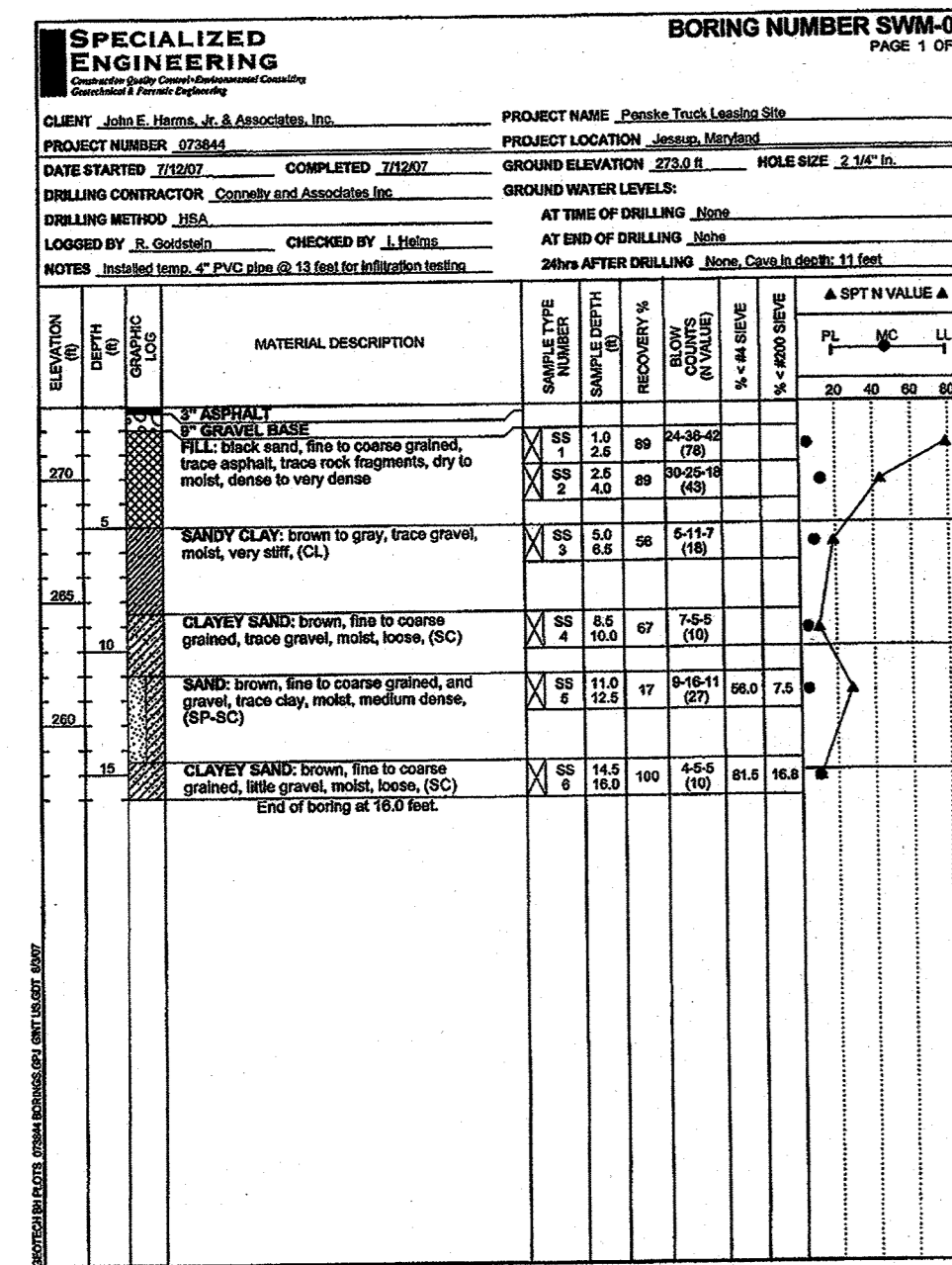
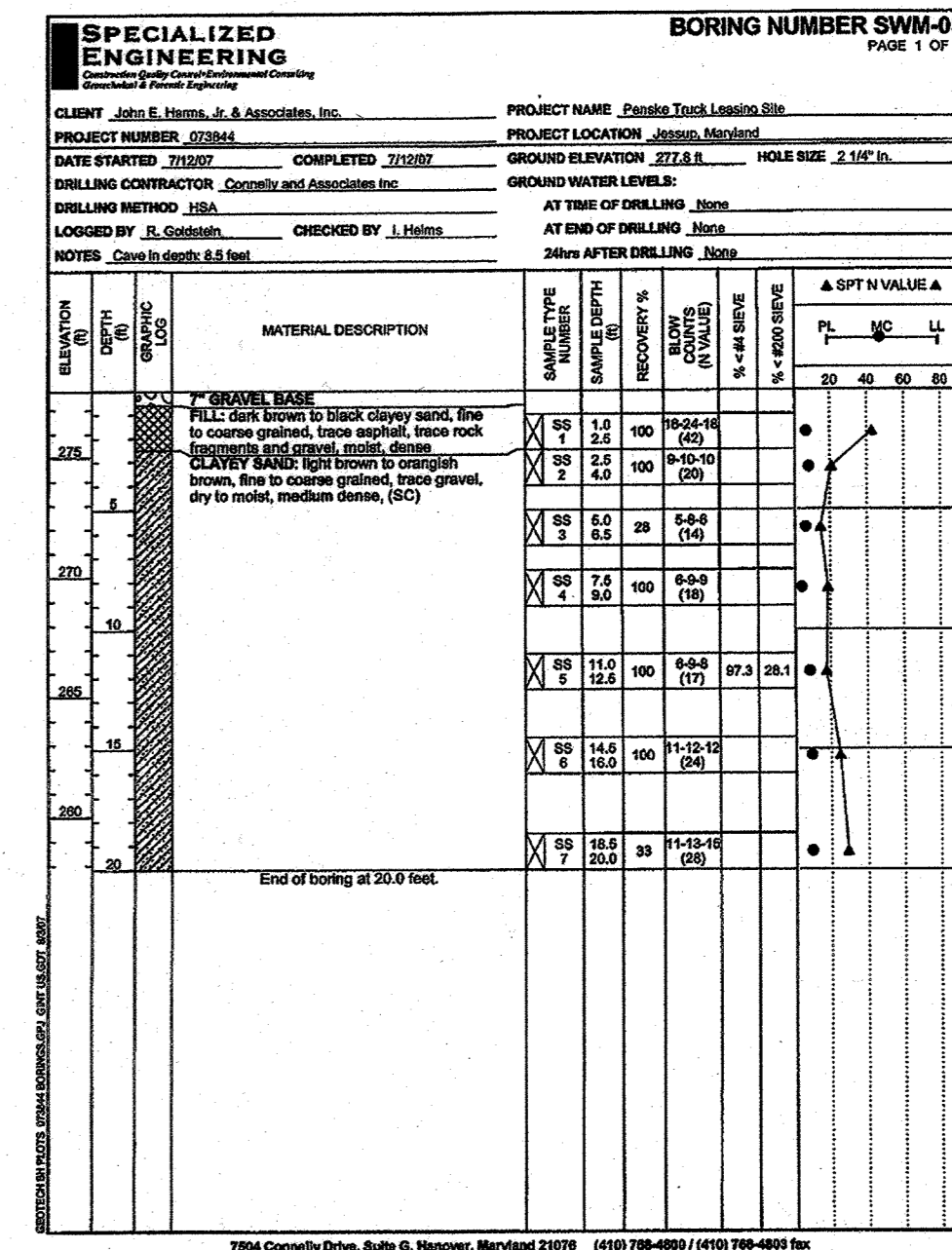
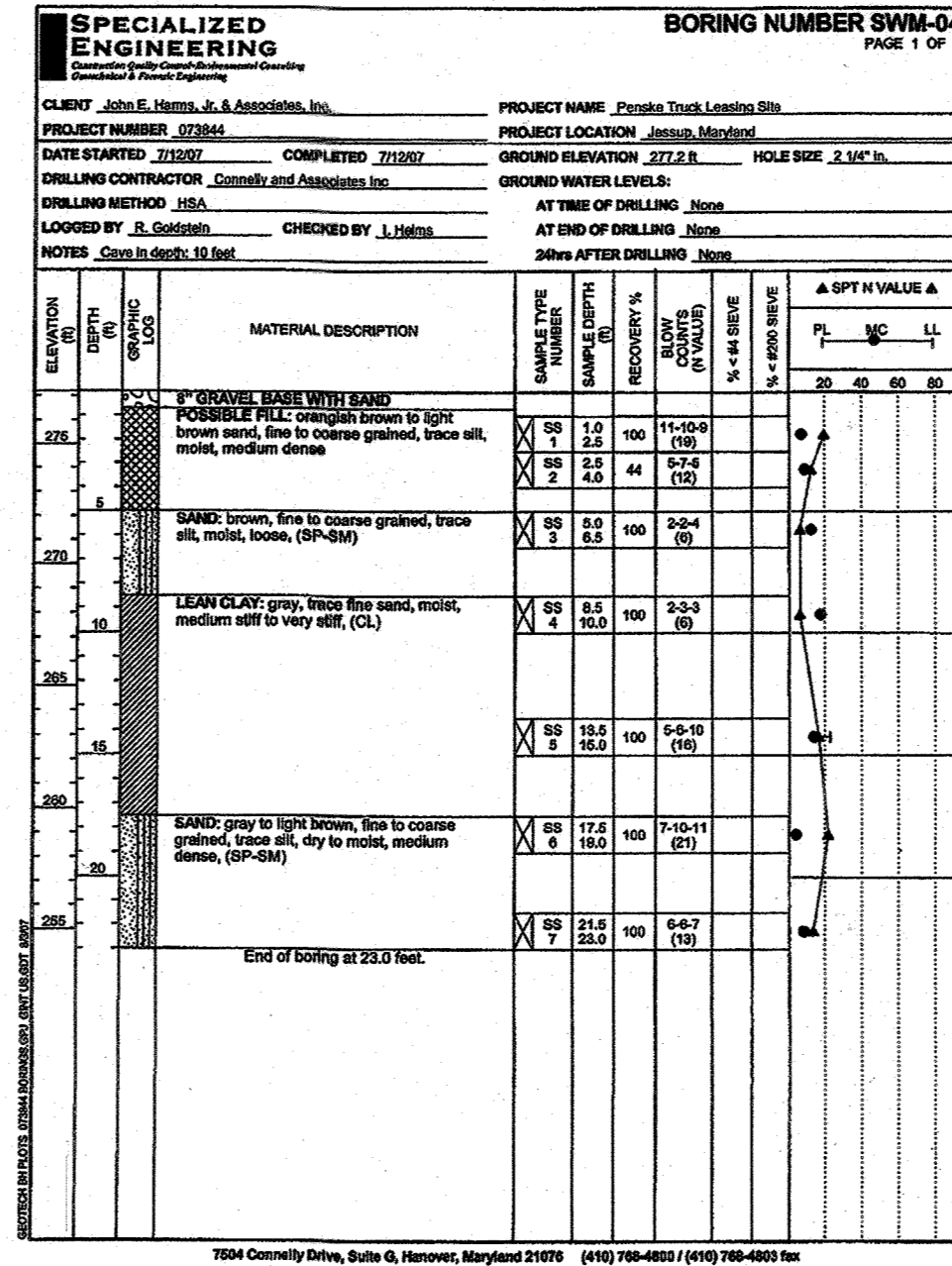
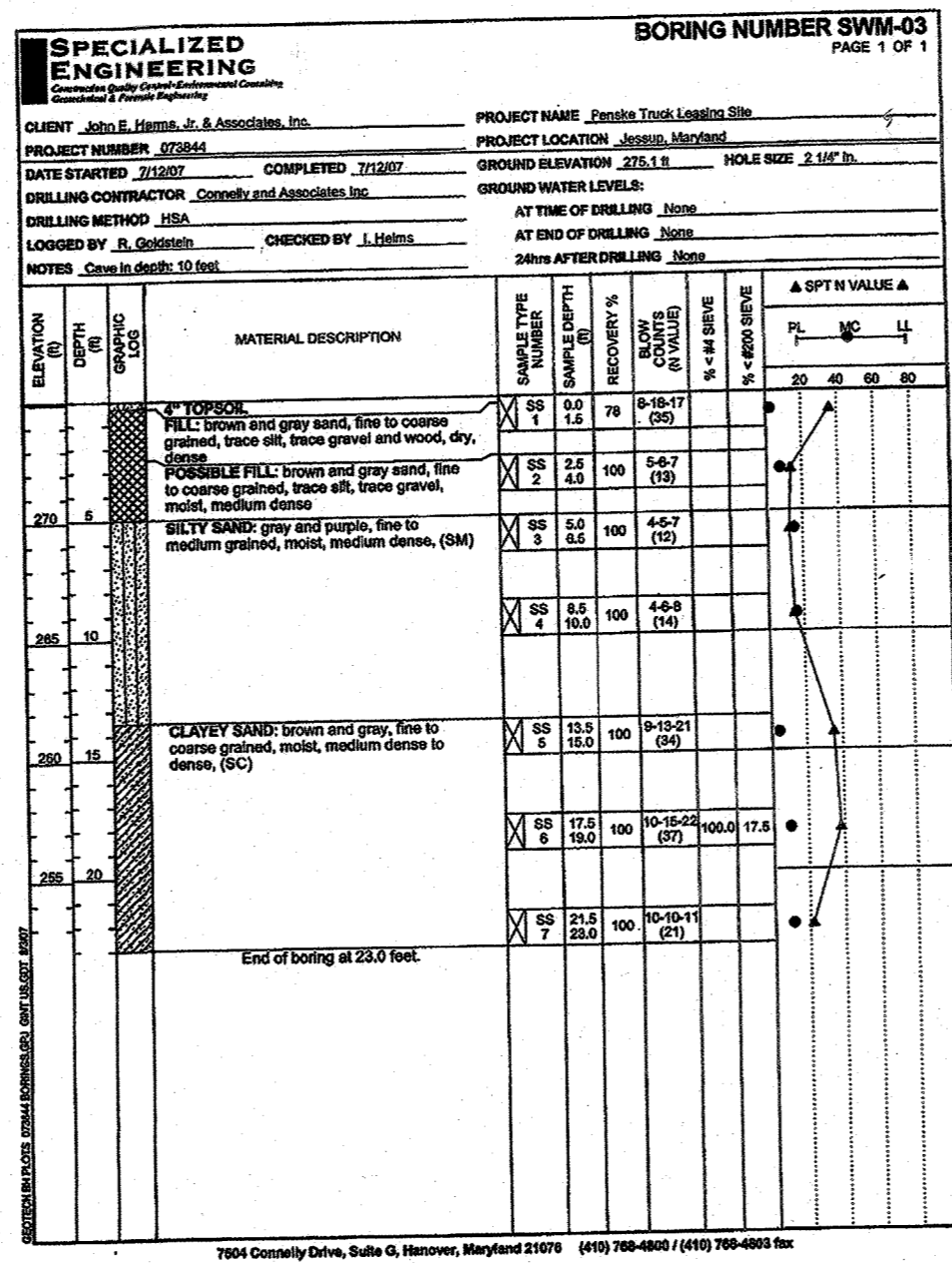
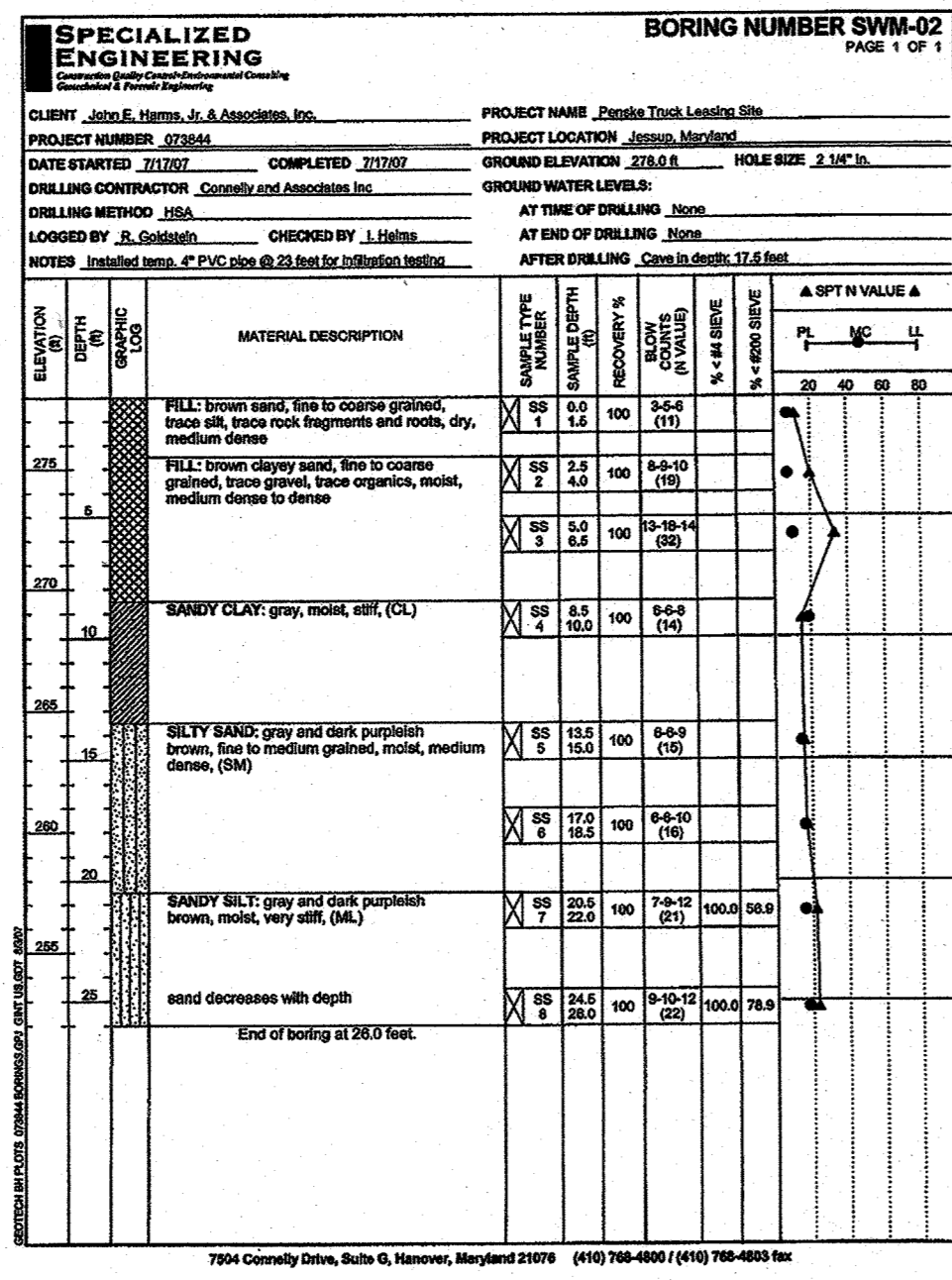
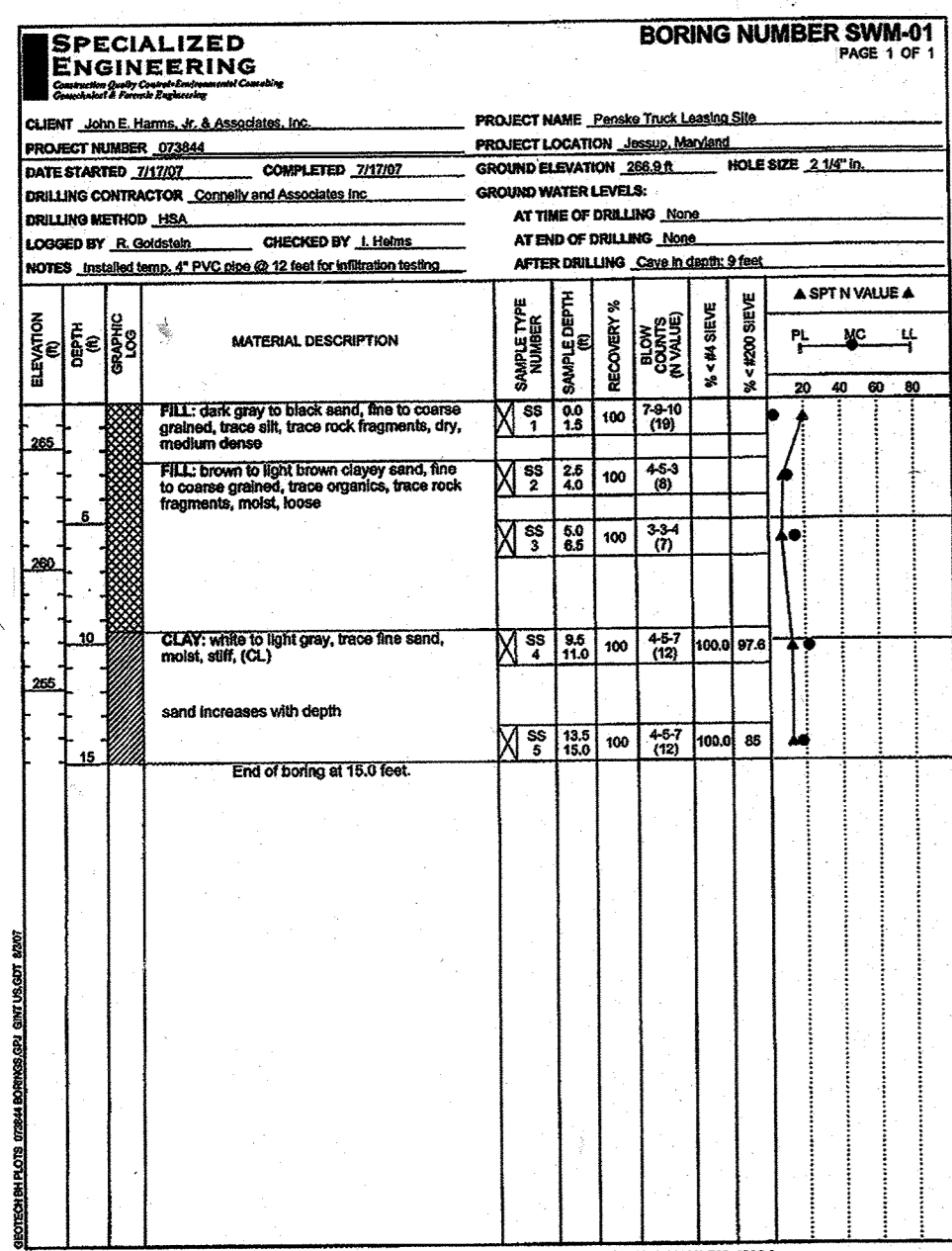
NO.	REVISION	BY	DATE
6	Change Total floor slabs	FC	7/16/07

BORINGS
PENSKE-RENTAL RETAIL & STORAGE FACILITY
8685 E. WASHINGTON BOULEVARD
JESSUP, MARYLAND 20794
TAX MAP 48, PARCEL 121
SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

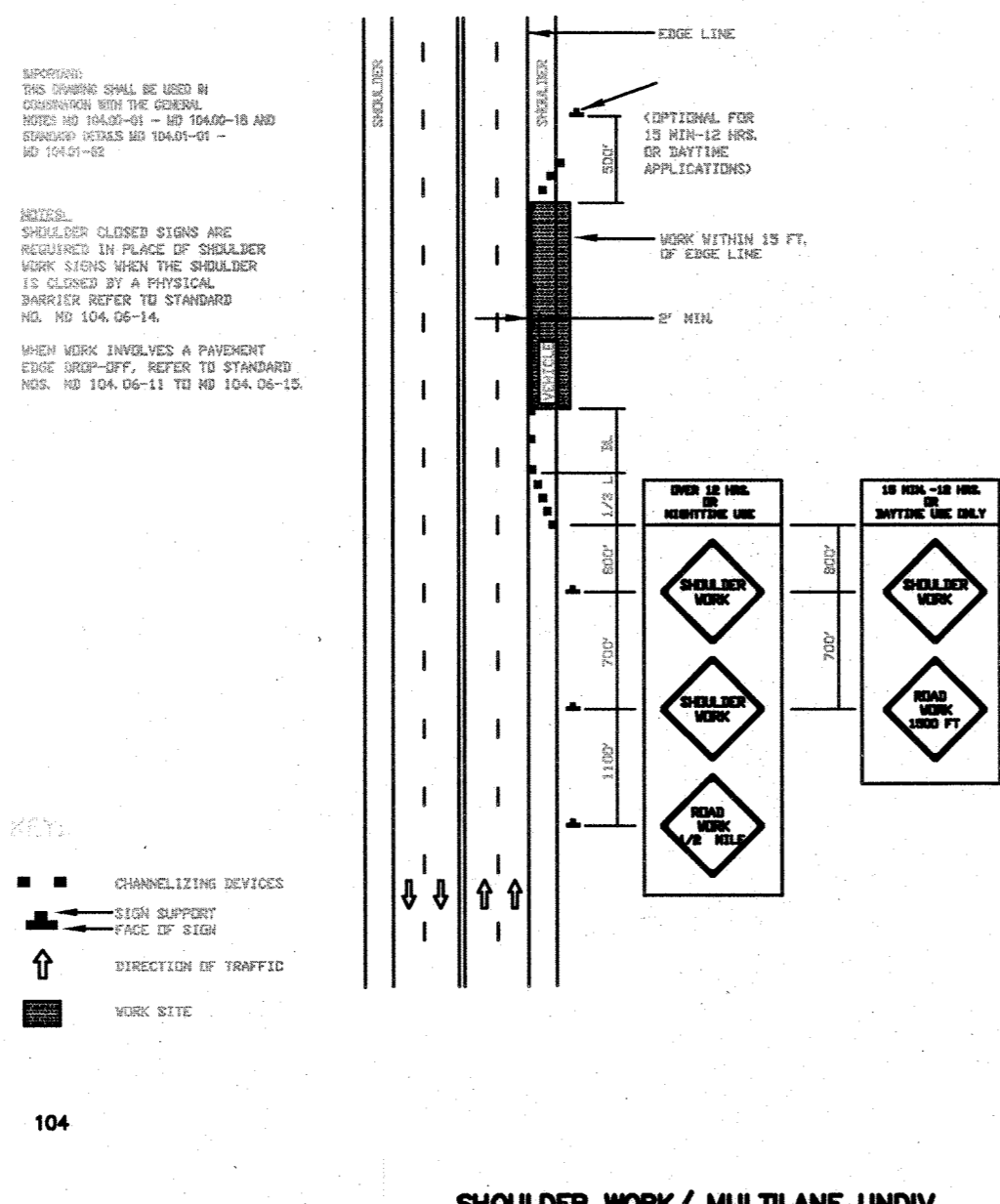
DESIGNED BY: SJD
DRAWN BY: SIN
CHECKED BY: MSC
DATE: JULY, 2008
W.O. NO. 08-05-034A

APPROVED: DEPARTMENT OF PLANNING AND ZONING
CHIEF DEVELOPMENT ENGINEERING DIVISION J.P. DATE 8/20/08
CHIEF DIVISION OF LAND DEVELOPMENT J.P. DATE 8/20/08
DIRECTOR Denise D. Cagle DATE 8/20/08

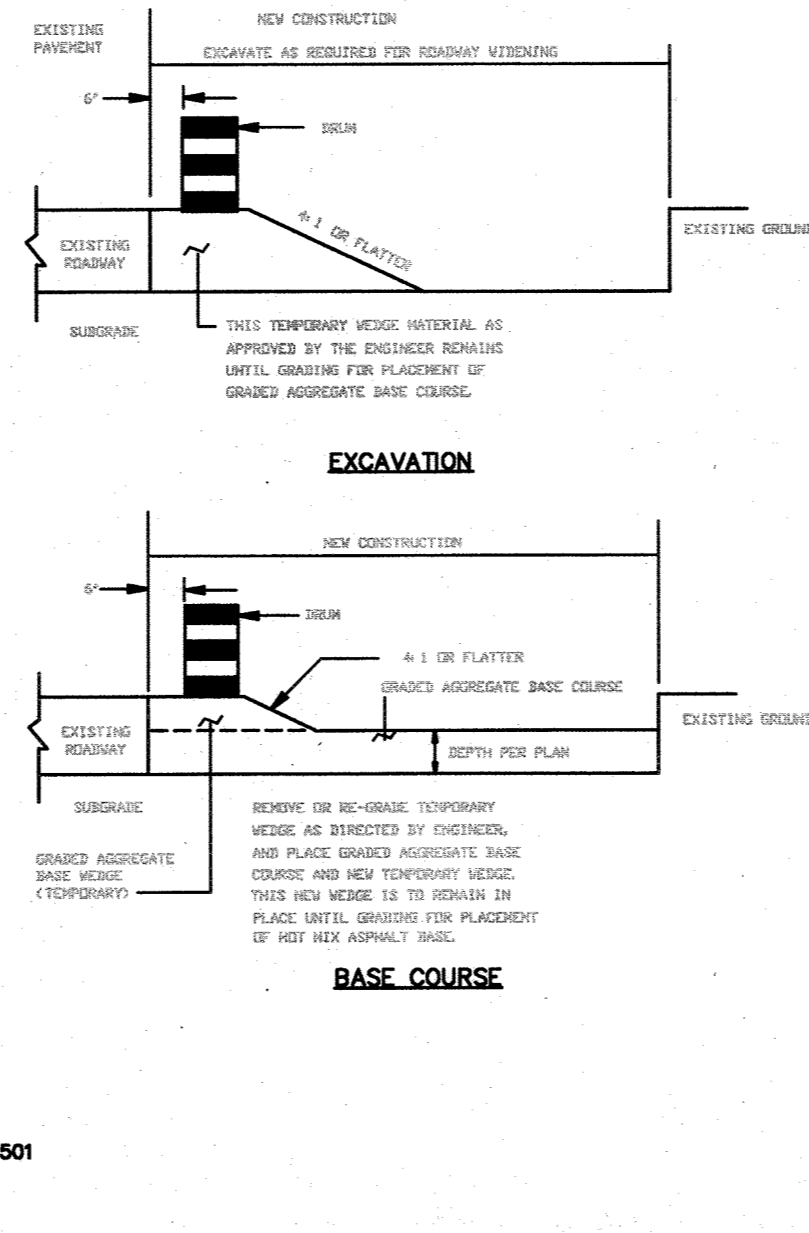
17
17 OF 24



TEMPORARY TRAFFIC CONTROL TYPICAL APPLICATION



TEMPORARY TRAFFIC CONTROL TYPICAL APPLICATION



SHOULDER WORK/MULTILANE UNDIV. GREATER THAN 40 MPH MD 104.03-01

STAGED ROADWAY CONSTRUCTION MD 104.01-28

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF DEVELOPMENT ENGINEERING DIVISION
 CHIEF DIVISION OF LAND DEVELOPMENT
 DATE: 8/2/08
 DATE: 8/2/08
 DATE: 8/2/08

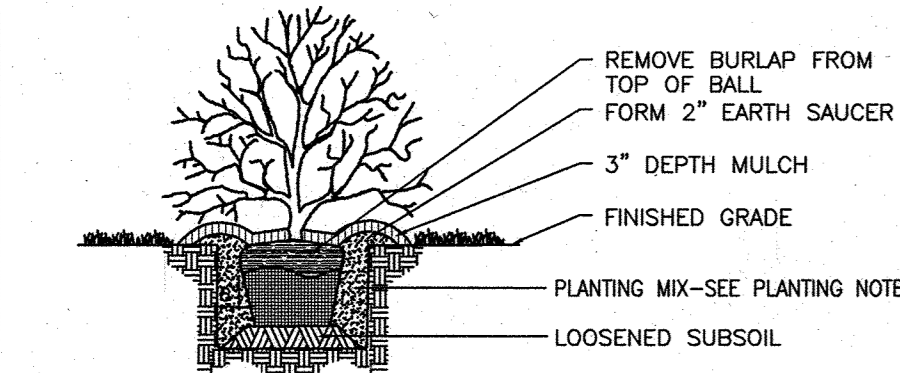
BORINGS & TRAFFIC CONTROL PLAN
 PENSKE-RENTAL RETAIL & STORAGE FACILITY
 8685 E. WASHINGTON BOULEVARD
 JESSUP, MARYLAND 20794
 TAX MAP 48, PARCEL 121
 SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

DESIGNED BY: SJD
 DRAWN BY: SIN
 CHECKED BY: MSC
 DATE: JULY, 2008
 W.O. NO. 08-05-034A

18
 18 OF 24

HARMS
 ENGINEERS • PLANNERS • SURVEYORS
 1209 N. EAST STREET, FREDERICK, MARYLAND 21701
 Office: 301/631-2027 FAX: 301/631-2028

NO.	REVISION	BY	DATE
6	CHANGE TOTAL # OF SHEETS	FC	9/6/09



NOTES
 1. DIG A SINGLE TRENCH FOR HEDGES.
 2. KEEP MULCH 1" FROM TRUNK.

SHRUB PLANTING
 DECIDUOUS AND EVERGREEN SHRUBS NOT TO SCALE

PLANTING NOTES

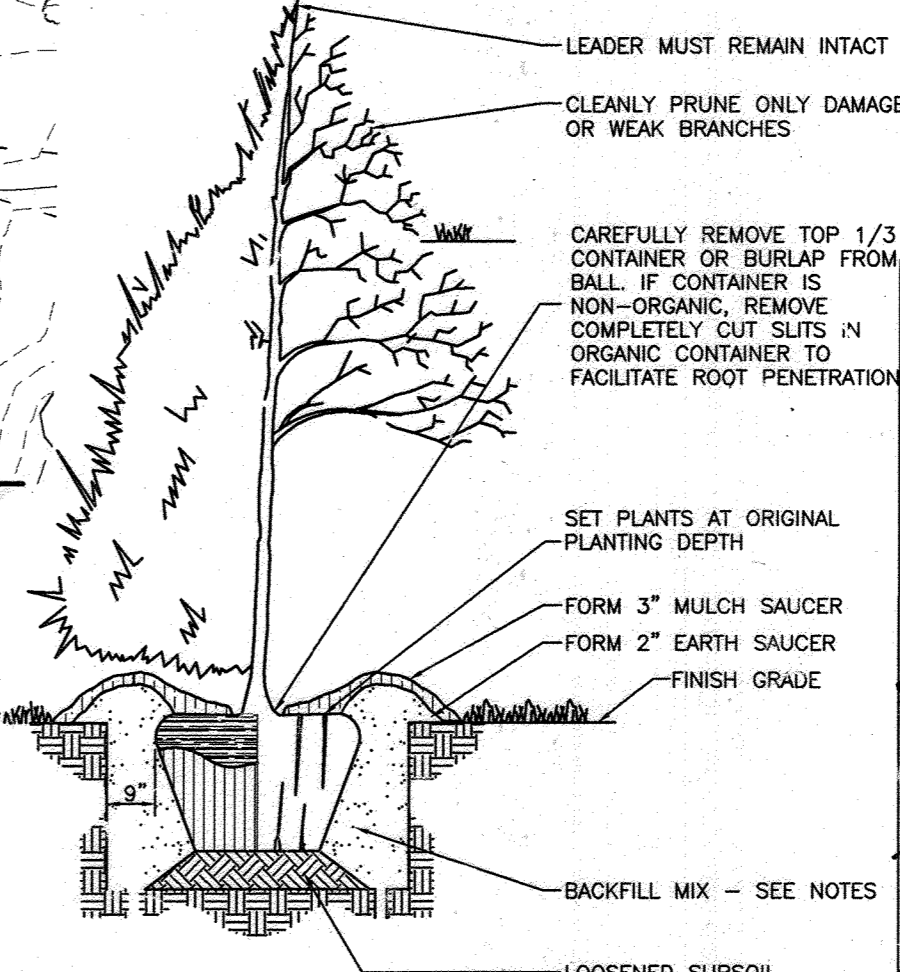
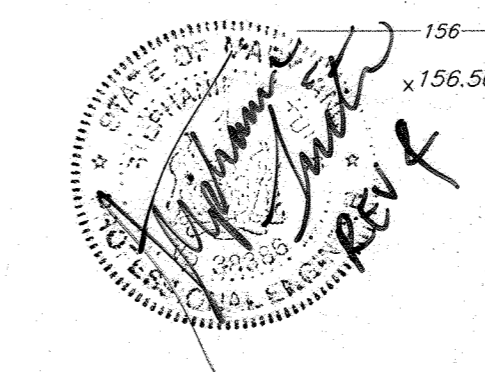
- CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES, UTILITY CONTRACTORS AND "MISS UTILITY" A MINIMUM OF 48 HOURS PRIOR TO BEGINNING WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO UTILITIES DUE TO NON-COORDINATED WORK. CONTRACTOR MAY MAKE MINOR ADJUSTMENTS IN SPACING AND LOCATION OF PLANT MATERIAL TO AVOID CONFLICTS WITH UTILITIES.
- PLANTS, RELATED MATERIAL, AND OPERATIONS SHALL MEET THE DETAILED DESCRIPTION AS GIVEN ON THE PLANS AND AS DESCRIBED HEREIN.
- PLANT MATERIAL, UNLESS OTHERWISE SPECIFIED, SHALL BE NURSERY GROWN, UNIFORMLY BRANCHED AND HAVE A VIGOROUS ROOT SYSTEM. PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS PLANTS FREE FROM DEFECTS, DECAY, DISFIGURING ROOTS, SUNSCALD INJURIES, ABRASIONS OF THE BARK, PLANT DISEASE, INSECT PEST EGGS, BORERS, INFESTATIONS OR OBJECTIONABLE DISFIGUREMENTS. PLANT MATERIAL THAT IS WEAK OR WHICH HAS BEEN CUT BACK FROM LARGER GRADES TO MEET SPECIFIED REQUIREMENTS WILL BE REJECTED. TREES WITH FORKED LEADERS WILL NOT BE ACCEPTED. PLANTS SHALL BE FRESHLY DUG; NO HELED-IN PLANTS OR PLANTS FROM COLD STORAGE WILL BE ACCEPTED.
- UNLESS OTHERWISE SPECIFIED, PLANT MATERIAL SHALL CONFORM TO "AMERICAN STANDARD FOR NURSERY STOCK" ANSI Z60.1-1990, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INCLUDING ALL ADDENDA.
- UNLESS OTHERWISE SPECIFIED, GENERAL CONDITIONS, PLANTING OPERATIONS, DETAILS AND PLANTING SPECIFICATIONS SHALL CONFORM TO "LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE - WASHINGTON METROPOLITAN AREAS" (HEREINAFTER "LANDSCAPE GUIDELINES") APPROVED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF METROPOLITAN WASHINGTON AND THE POTOMAC CHAPTER OF THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS, LATEST EDITION, INCLUDING ALL ADDENDA.
- CONTRACTOR SHALL BE REQUIRED TO GUARANTEE PLANT MATERIAL FOR A PERIOD OF ONE YEAR IN ACCORDANCE WITH THE LANDSCAPE GUIDELINES. CONTRACTOR TO MAINTAIN WATERING FOR A MINIMUM OF ONE MONTH.
- PLANTING BEDS SHALL BE MULCHED AS SPECIFIED TO THE LIMITS OF THE PLANTING BEDS AS SHOWN ON THE PLAN AND TO THE DEPTH AS SHOWN ON THE DETAILS.
- PROTECTION OF EXISTING VEGETATION TO REMAIN SHALL BE ACCOMPLISHED BY THE TEMPORARY INSTALLATION OF 4" HIGH SNOW FENCE, ORANGE PLASTIC MESH OR OTHER APPROVED FENCING, IN LOCATIONS SHOWN ON THE PLAN, AT THE DRIP LINE.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING PLANT MATERIAL IN THE PROPER PLANTING SEASON FOR EACH PLANT TYPE.
- PLANTING MIX SHALL BE AS FOLLOWS:
 DECIDUOUS PLANTS - TWO PARTS TOPSOIL, ONE PART WELL-ROTTED COW OR HORSE MANURE. ADD 3 LBS. OF STANDARD FERTILIZER PER CUBIC YARD OF PLANTING MIX.
 EVERGREEN PLANTS - TWO PARTS TOPSOIL, ONE PART HUMUS OR OTHER APPROVED ORGANIC MATERIAL. ADD 3 LBS. OF EVERGREEN (ACIDIC) FERTILIZER PER CUBIC YARD OF PLANTING MIX. TOPSOIL SHALL CONFORM TO THE LANDSCAPE GUIDELINES.
- THIS PLAN IS INTENDED FOR LANDSCAPE USE ONLY. SEE OTHER PLAN SHEETS FOR MORE INFORMATION ON GRADING, SEDIMENT CONTROL, UTILITIES, LAYOUT, ETC.
- ALL GUYING AND STAKING MUST BE REMOVED AT THE END OF A ONE YEAR PERIOD AFTER INSTALLATION.
- AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN, SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.
- ALL LANDSCAPING SHALL BE COMPLETED IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN BEFORE A RELEASE OF SURETY. PRIOR TO SUCH RELEASE, THE PLAN PREPARED SHALL SUBMIT A WRITTEN CERTIFICATION TO THE DEPARTMENT OF PLANNING AND ZONING THAT HEALTHY PLANT MATERIALS WERE PROPERLY INSTALLED AND THAT A ONE-YEAR GUARANTEE HAS BEEN EXECUTED.
- FOR PLANTING SPECIFICATIONS FOR THE BIORETENTION FACILITIES, PLEASE REFER TO STORMWATER MANAGEMENT DETAIL SHEETS 15 & 16.

***NOTES:**

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING (62 SHADE TREES, 15 EVERGREENS) HAS BEEN POSTED AS PART OF THE DWP DEVELOPERS AGREEMENT IN THE AMOUNT OF \$18,150.00.
- THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES, AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.

LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY LINE	---
---	RIGHT OF WAY LINE	---
---	CENTER LINE	---
---	EASEMENT LINE	---
---	TREE LINE	---
---	SEWER LINE & MH	---
---	GAS LINE	---
---	OVERHEAD LINE	---
---	UNDERGROUND ELECTRIC	---
---	UNDERGROUND TELEPHONE	---
---	CABLE T.V.	---
---	UTILITY POLE	---
---	CURB & GUTTER	---
---	CONTOUR LINE	---
---	SPOT ELEVATION	---
---	SHADE TREE	---
---	ORNAMENTAL TREE	---
---	EVERGREEN TREES	---
---	SHRUB	---
---	BG&E LIGHT POLE	---
---	ON-SITE LIGHT POLE	---



TREE PLANTING DETAIL
 NOT TO SCALE

PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	REMARKS	QUANTITY
AGR	ACER GRiseum	PAPERBARK MAPLE	AS SHOWN	1.5" CAL.	CONT/BB	59
ARU	ACER RUBRUM	"OCTOBER GLORY" RED MAPLE	AS SHOWN	2.5" - 3" CAL.	BB/LOW BRANCHED	26
GTO	GLEDITSIA TRACANTHOS NERMIS IMPERIAL	IMPERIAL THORNLESS HONOLUCIST	AS SHOWN	2.5" - 3" CAL.	BB/LOW BRANCHED	7
INS	ILEX x "NELLIE STEVENS"	NELLIE STEVENS HOLLY	AS SHOWN	6"-7" HT.	BB/UNHEARED	28
PAB	PICEA ABIES	NORWAY SPRUCE	AS SHOWN	6"-7" HT.	BB/UNHEARED	6
PTH	PRUNUS THUNBERGII	PURPLE-LEAF PLUM	AS SHOWN	1.5" CAL.	CONT/BB	3
TCO	TILIA CORDATA "GREENSPIRE"	"GREENSPIRE" LINDEN	AS SHOWN	2.5" - 3" CAL.	BB/LIMB TO 7'	16
VDA	VIBURNUM DAVIDI	VIBURNUM	AS SHOWN	2"-3" HT.	CONT/BB	29
PLO	PRUNUS LAURO CERASUS	PINK CHERRY LAUREL	AS SHOWN	3/4" x 3/4" HT	CONT/BB	36

TOTAL TREES & SHRUBS PROPOSED = 59 SMALL STREET TREES, 49 SHADE TREES, 3 ORNAMENTAL TREES, 34 EVERGREENS, 65 SHRUBS

STREET TREES
 REQUIRED: 1780 LF X 1 TREE / 30 LF = 59 SMALL TREES
 PROVIDED: 59 SMALL TREES

SCHEDULE B: PARKING LOT INTERNAL LANDSCAPING

NUMBER OF PARKING SPACES	512
NUMBER OF PLANTING ISLANDS REQUIRED	16
NUMBER OF PLANTING ISLANDS PROVIDED	16
NUMBER OF TREES PROVIDED	16 SHADE TREES
OTHER TREES (2:1 SUBSTITUTION)	4 TREES

SCHEDULE A: PERIMETER LANDSCAPED EDGE

LANDSCAPE TYPE	ADJACENT TO ROADS				ADJACENT TO PERIMETER PROPERTIES				TOTAL
	B (PERIMETER 1)	D (PERIMETER 1)	A (PERIMETER 2)	A (PERIMETER 3)	A (PERIMETER 4)	A (PERIMETER 4)	A (PERIMETER 4)	A (PERIMETER 4)	
LINEAR FEET OF PERIMETER	977.96 LF	193 LF	676.69 LF	1,287.89 LF	709.76 LF	709.76 LF	709.76 LF	709.76 LF	709.76 LF
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET)	NO	NO	NO	YES, 334 LF OF EX. TREES & BIORETENTION TREES	YES, 580 LF OF EXISTING TREES	YES, 580 LF OF EXISTING TREES	YES, 580 LF OF EXISTING TREES	YES, 580 LF OF EXISTING TREES	YES, 580 LF OF EXISTING TREES
NUMBER OF PLANTS REQUIRED	4 SHADE TREES 5 EVERGREEN TREES 0 SHRUBS	3 SHADE TREES 19 EVERGREEN TREES 0 SHRUBS	11 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	16 SHADE TREE 0 EVERGREEN TREES 3% SHRUBS	2 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	2 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	2 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	2 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	34 SHADE TREES 19 EVERGREEN TREES 0 SHRUBS
NUMBER OF PLANTS PROVIDED	4 SHADE TREES 5 EVERGREEN TREES 0 SHRUBS	2 SHADE TREES 21 EVERGREEN TREES 0 SHRUBS	6 SHADE TREES 10 EVERGREEN TREES 0 SHRUBS	16 SHADE TREE 0 EVERGREEN TREES 3% SHRUBS	2 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	2 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	2 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	2 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	30 SHADE TREES 36 EVERGREEN TREES 3% SHRUBS

HARMS
 ENGINEERS • PLANNERS • SURVEYORS
 1209 N. EAST STREET, FREDERICK, MARYLAND
 Office: 301/631-2027 FAX: 301/631-6028

LANDSCAPE PLAN
PENSKE-RENTAL RETAIL & STORAGE FACILITY
 8685 E. WASHINGTON BOULEVARD
 JESSUP, MARYLAND 20794
 TAX MAP 4B, PARCEL 121
 SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 SCALE: 1" = 40'

DESIGNED BY: SJD
 DRAWN BY: SIN
 CHECKED BY: MSC
 DATE: JULY, 2008
 W.O. NO. 08-05-034A

19 OF 24

Date: 08/12/2008 User: snells
 Drawing Path: \\D:\2600\Projects\Penske - Howard County\08-05-034A\DWG\Site Development\Plans\PENSKE-19-20-LANDSCAPE PLAN.dwg XREF File(s): \PENSKE-EXISTBASE-SDP.dwg Penske-FRBASE-SDP.dwg
 2008 JOHN E. HARMS, JR. & ASSOCIATES, INC.

NOTE:
 1. REFER TO SHEET 19 FOR PLANTING LISTS AND NOTES.
 2. SURETY FOR THE REQUIRED LANDSCAPING (7 SHADE TREES AND 36 SHRUBS) TO BE POSTED AS PART OF THE DPW DEVELOPERS AGREEMENT IN THE AMOUNT OF \$3,180.00.



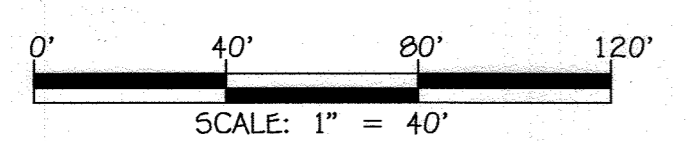
LEGEND	
SYMBOL	DESCRIPTION
---302---	EXISTING CONTOUR 2' INTERVAL
---300---	EXISTING CONTOUR 10' INTERVAL
X	EXISTING FENCE
d	EXISTING STORM DRAIN LINE
w	EXISTING WATER LINE
e	EXISTING UNDERGROUND ELECTRIC
▨	STEEP SLOPES 15%-24.9% OR GREATER
▨	STEEP SLOPES 25% OR GREATER
---302---	PROPOSED CONTOUR 2' INTERVAL
---300---	PROPOSED CONTOUR 10' INTERVAL
+ 275.14	SPOT ELEVATION
▨	EXISTING CONCRETE WALK
▨	PROPOSED MACADAM PAVING
▨	EXISTING TREELINE
▨	PROPOSED TREELINE
▨	PROPOSED STORMDRAIN
---B.R.L.---	BUILDING RESTRICTION LINE
○	EXISTING LIGHT POLE
---	LIMIT OF DISTURBANCE
SSF	SUPER SILT FENCE
●	PROPOSED STREET LIGHT

DEVELOPER'S / BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A LETTER OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME: Jonathan Wiltaniger DATE: 9-5-19

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CORTLAND SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PARK
 ELLIOTT CITY, MARYLAND 21042
 (410) 461-2895



PLAN
 SCALE: 1" = 40'

1	REPLACEMENT SHEET TO SHOW PARKING ON PARCEL B	FCC	7/23/19
NO.	REVISION	BY	DATE
APPROVED: DEPARTMENT OF PLANNING AND ZONING			
Chief, Division of Land Development	ES	6/11/2020	Date
Chief, Development Engineering Division	JP	9/25/19	Date
Director, Department of Planning and Zoning		5-12-2020	Date

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2020."

Stephanie J. Tuttle
 STEPHANIE J. TUTTLE, P.E., R.A., LEED AP BD+C

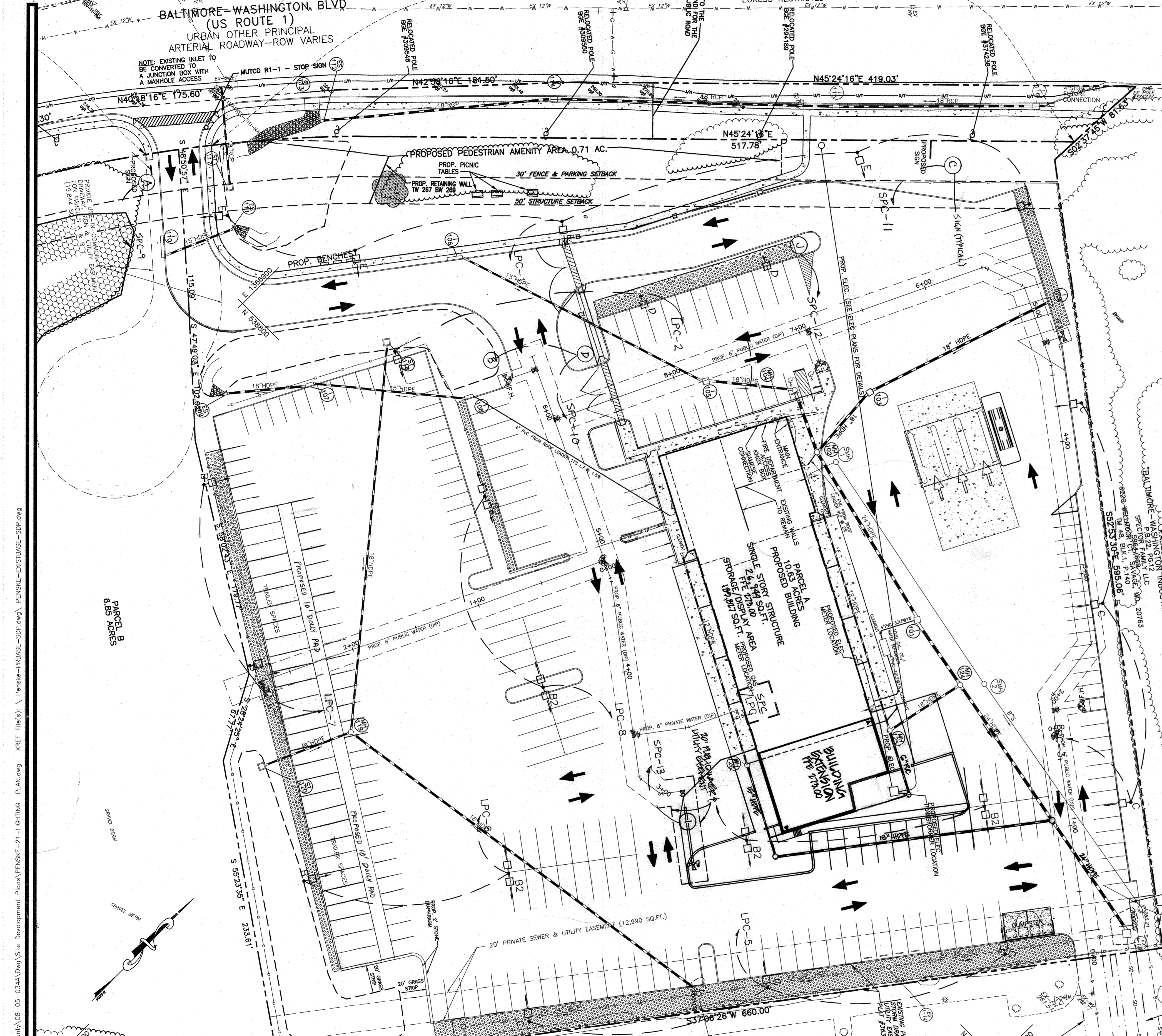
LANDSCAPE PLAN

PENSKE-RENTAL RETAIL & STORAGE FACILITY PARKING LOT ADDITION

ZONED: CE-CU TAX MAP No.: 48 GRID No.: 1 PARCEL No.: 121
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: JULY 2019

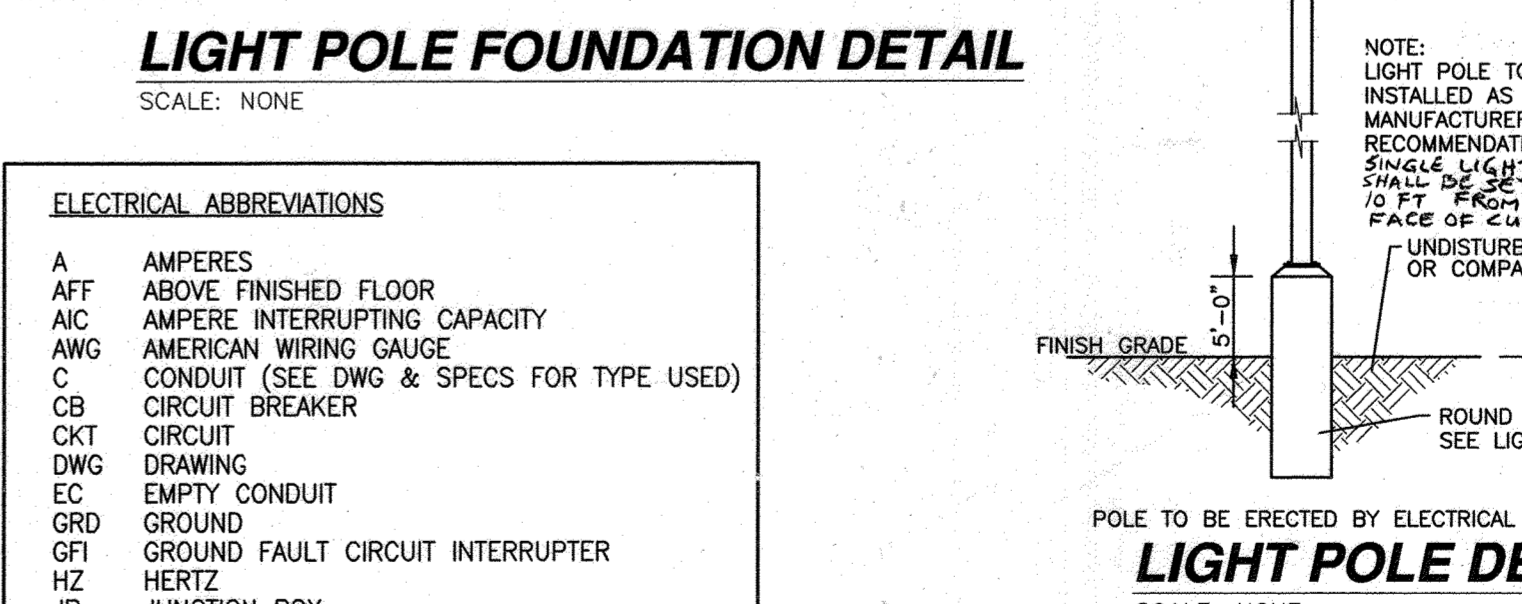
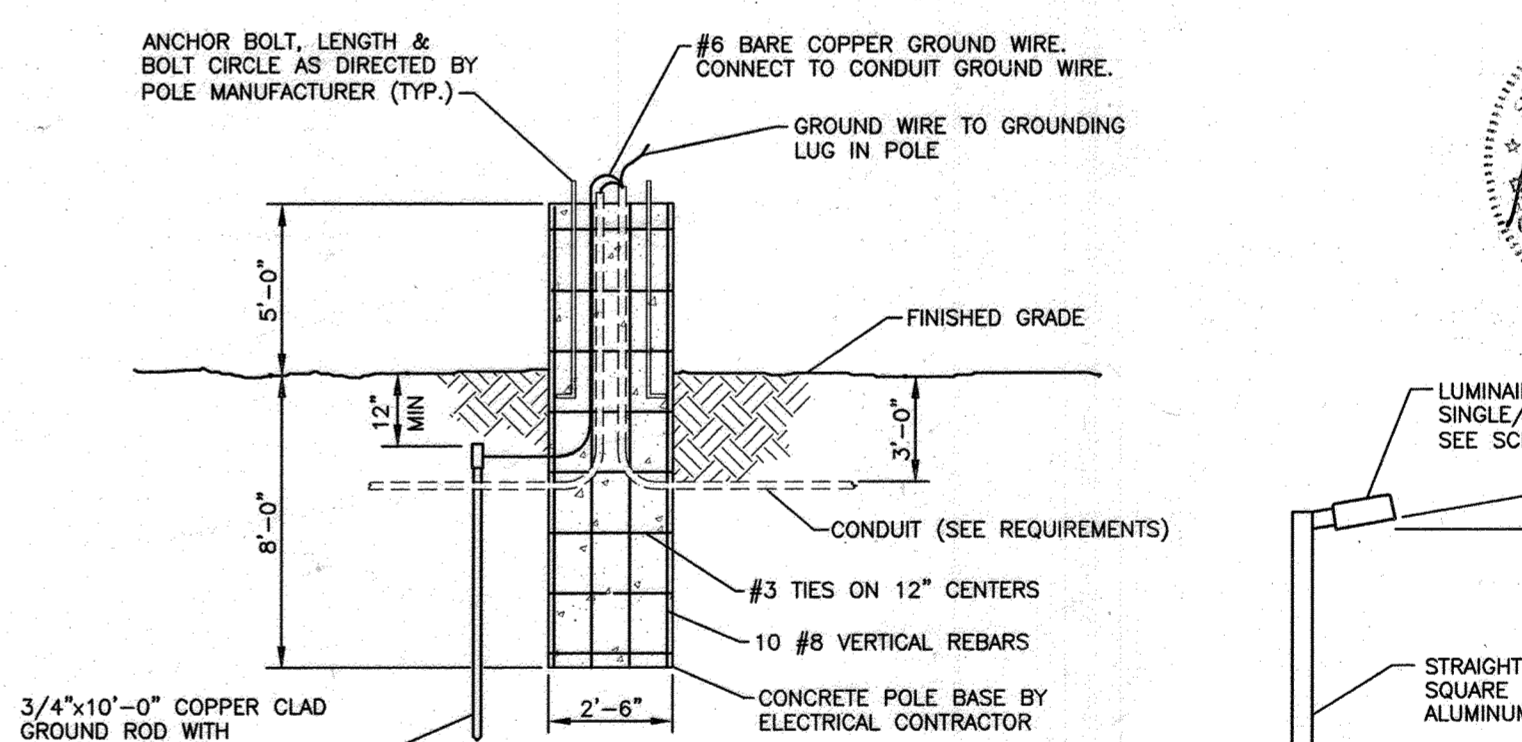
SHEET 20 OF 24

OWNER/DEVELOPER
 PENSKE RENTAL LEASING, LOGISTICS
 5 CAPITAL DRIVE
 READING, PA 17110
 Attention: JONI WILTANIGER
 717-612-4665



POLE ID	POLE DESCRIPTION	QUANTITY & TYPE OF LGT. FIXTURES	FIXTURE M.H.	POLE/CROSS ARM MANUFACTURER & CATALOG NO.	REMARKS
B	30 FT. SQUARE STRAIGHT ALUMINUM SHAFT LIGHTING POLE. ONE-PIECE CONSTRUCTION. GROUND LUG, GALVANIZED ANCHOR BOLTS AND TEMPLATE TO BE INCLUDED. SQUARE BASE COVER, GASKETED 3/8" HANDBOLE. ELECTROCOAT FINISH. CSA CERTIFICATION.	(1) TYPE "A1"	35 FT. ABOVE GRADE	SPALLING LIGHTING, CAT. NO. SSA-30-60-B-AX-DB	5.0 FT HIGH, CONCRETE POLE BASE
B2	30 FT. SQUARE STRAIGHT ALUMINUM SHAFT LIGHTING POLE. ONE-PIECE CONSTRUCTION. GROUND LUG, GALVANIZED ANCHOR BOLTS AND TEMPLATE TO BE INCLUDED. SQUARE BASE COVER, GASKETED 3/8" HANDBOLE. ELECTROCOAT FINISH. CSA CERTIFICATION.	(2) TYPE "A1"	35 FT. ABOVE GRADE	SPALLING LIGHTING, CAT. NO. SSA-30-60-B-AX-DB	5.0 FT HIGH, CONCRETE POLE BASE
C	30 FT. SQUARE STRAIGHT ALUMINUM SHAFT LIGHTING POLE. ONE-PIECE CONSTRUCTION. GROUND LUG, GALVANIZED ANCHOR BOLTS AND TEMPLATE TO BE INCLUDED. SQUARE BASE COVER, GASKETED 3/8" HANDBOLE. ELECTROCOAT FINISH. CSA CERTIFICATION.	(1) TYPE "A2"	35 FT. ABOVE GRADE	SPALLING LIGHTING, CAT. NO. SSA-30-60-B-AX-DB	5.0 FT HIGH, CONCRETE POLE BASE
E	30 FT. SQUARE STRAIGHT ALUMINUM SHAFT LIGHTING POLE. ONE-PIECE CONSTRUCTION. GROUND LUG, GALVANIZED ANCHOR BOLTS AND TEMPLATE TO BE INCLUDED. SQUARE BASE COVER, GASKETED 3/8" HANDBOLE. ELECTROCOAT FINISH. CSA CERTIFICATION.	(1) TYPE "A4"	35 FT. ABOVE GRADE	SPALLING LIGHTING, CAT. NO. SSA-30-60-B-AX-DB	5.0 FT HIGH, CONCRETE POLE BASE
F	30 FT. SQUARE STRAIGHT ALUMINUM SHAFT LIGHTING POLE. ONE-PIECE CONSTRUCTION. GROUND LUG, GALVANIZED ANCHOR BOLTS AND TEMPLATE TO BE INCLUDED. SQUARE BASE COVER, GASKETED 3/8" HANDBOLE. ELECTROCOAT FINISH. CSA CERTIFICATION.	(1) TYPE "A3"	35 FT. ABOVE GRADE	SPALLING LIGHTING, CAT. NO. SSA-30-60-B-AX-DB	5.0 FT HIGH, CONCRETE POLE BASE

TYPE	DESCRIPTION	LAMPS	VA	MOUNTING	MANUFACTURER & CAT. NO.	REMARKS
A1	LIGHTWEIGHT, RUGGED, ONE PIECE FORMED AND WELDED ALUMINUM WEATHERPROOF HID LUMINAIRE. EXTRUDED ALUMINUM FRAME WITH RIGID CORNER BRACING. SILICONE GASKETING SEALS. FLAT TEMPERED AND IMPACT RESISTANT GLASS WITH SHARP FULL CUTOFF. EXTRUDED ARMS WITH REQUIRED ADAPTERS. MODUL. PORCELAIN SOCKET. PULSE RATED WITH SPRING-LOADED, NICKEL PLATED CENTER CONTACT. MEDIUM BASE FOR E-25 LAMP. CWA TYPE HPF BALLAST. ELECTROCOAT THERMOSET POLYESTER POWDER COAT PAINT FINISH. UL 1598 LISTED FOR USE IN WET LOCATIONS.	1000W, HPS	1200.00	SEE LIGHTING POLE SCHEDULE	SPALLING LIGHTING, RAVEN SERIES, CAT. NO. RCL-A10-51K-HSP-F-Q-DB-DB	208 Volt
A2	LIGHTWEIGHT, RUGGED, ONE PIECE FORMED AND WELDED ALUMINUM WEATHERPROOF HID LUMINAIRE. EXTRUDED ALUMINUM FRAME WITH RIGID CORNER BRACING. SILICONE GASKETING SEALS. FLAT TEMPERED AND IMPACT RESISTANT GLASS WITH SHARP FULL CUTOFF. EXTRUDED ARMS WITH REQUIRED ADAPTERS. MODUL. PORCELAIN SOCKET. PULSE RATED WITH SPRING-LOADED, NICKEL PLATED CENTER CONTACT. MEDIUM BASE FOR E-25 LAMP. CWA TYPE HPF BALLAST. ELECTROCOAT THERMOSET POLYESTER POWDER COAT PAINT FINISH. UL 1598 LISTED FOR USE IN WET LOCATIONS.	1000W, HPS	1200.00	SEE LIGHTING POLE SCHEDULE	SPALLING LIGHTING, RAVEN SERIES, CAT. NO. RCL-A10-51K-HSP-F-Q-DB-HS	208 Volt
A3	LIGHTWEIGHT, RUGGED, ONE PIECE FORMED AND WELDED ALUMINUM WEATHERPROOF HID LUMINAIRE. EXTRUDED ALUMINUM FRAME WITH RIGID CORNER BRACING. SILICONE GASKETING SEALS. FLAT TEMPERED AND IMPACT RESISTANT GLASS WITH SHARP FULL CUTOFF. EXTRUDED ARMS WITH REQUIRED ADAPTERS. MODUL. PORCELAIN SOCKET. PULSE RATED WITH SPRING-LOADED, NICKEL PLATED CENTER CONTACT. MEDIUM BASE FOR E-25 LAMP. CWA TYPE HPF BALLAST. ELECTROCOAT THERMOSET POLYESTER POWDER COAT PAINT FINISH. UL 1598 LISTED FOR USE IN WET LOCATIONS.	400W, HPS	470.00	SEE LIGHTING POLE SCHEDULE	SPALLING LIGHTING, RAVEN SERIES, CAT. NO. RCL-A10-540-HSP-F-Q-DB-HS	208 Volt
A4	LIGHTWEIGHT, RUGGED, ONE PIECE FORMED AND WELDED ALUMINUM WEATHERPROOF HID LUMINAIRE. EXTRUDED ALUMINUM FRAME WITH RIGID CORNER BRACING. SILICONE GASKETING SEALS. FLAT TEMPERED AND IMPACT RESISTANT GLASS WITH SHARP FULL CUTOFF. EXTRUDED ARMS WITH REQUIRED ADAPTERS. MODUL. PORCELAIN SOCKET. PULSE RATED WITH SPRING-LOADED, NICKEL PLATED CENTER CONTACT. MEDIUM BASE FOR E-25 LAMP. CWA TYPE HPF BALLAST. ELECTROCOAT THERMOSET POLYESTER POWDER COAT PAINT FINISH. UL 1598 LISTED FOR USE IN WET LOCATIONS.	400W, HPS	470.00	SEE LIGHTING POLE SCHEDULE	SPALLING LIGHTING, RAVEN SERIES, CAT. NO. RCL-A10-540-HSP-F-Q-DB-HS	208 Volt



POLE ID	POLE DESCRIPTION	QUANTITY & TYPE OF LGT. FIXTURES	FIXTURE M.H.	POLE/CROSS ARM MANUFACTURER & CATALOG NO.	REMARKS	
D	30 FT. SQUARE STRAIGHT ALUMINUM SHAFT LIGHTING POLE. ONE-PIECE CONSTRUCTION. GROUND LUG, GALVANIZED ANCHOR BOLTS AND TEMPLATE TO BE INCLUDED. SQUARE BASE COVER, GASKETED 3/8\"/>					
A5	LIGHTWEIGHT, RUGGED, ONE-PIECE FORMED AND WELDED ALUMINUM WEATHERPROOF HID LUMINAIRE. EXTRUDED ALUMINUM FRAME WITH RIGID CORNER BRACING. SILICONE GASKETING SEALS. FLAT TEMPERED AND IMPACT RESISTANT GLASS WITH SHARP FULL CUTOFF. EXTRUDED ARMS WITH REQUIRED ADAPTERS. MODUL. PORCELAIN SOCKET. PULSE RATED WITH SPRING-LOADED, NICKEL PLATED CENTER CONTACT. MEDIUM BASE FOR E-25 LAMP. CWA TYPE HPF BALLAST. ELECTROCOAT THERMOSET POLYESTER POWDER COAT PAINT FINISH. UL 1598 LISTED FOR USE IN WET LOCATIONS.	1000W, HPS	1200.00	SEE LIGHTING POLE SCHEDULE	SPALLING LIGHTING, RAVEN SERIES, CAT. NO. RCL-A10-51K-HSP-F-Q-DB-DB	208 VOLT

BRANCH CKT. ID	VOLTAGE (VOLTS)	BRANCH CB	CURRENT (AMPS)	BRANCH CKT. CONDUCTOR NUMBER (SIZE)	CONDUIT SIZE (SCH. 40 PVC)	APPROX. NOMINAL LENGTH (FT.)
LPC-1.00	208.00	35A, 2P	18.00	2 #4 & 1 #4 GRD	1 1/4"	450.00
LPC-2.00	208.00	35A, 2P	17.00	2 #4 & 1 #4 GRD	1 1/4"	400.00
LPC-3.00	208.00	35A, 2P	17.00	2 #4 & 1 #4 GRD	1 1/4"	250.00
LPC-4.00	208.00	35A, 2P	22.00	2 #4 & 1 #4 GRD	1 1/4"	150.00
LPC-5.00	208.00	35A, 2P	17.00	2 #4 & 1 #4 GRD	1 1/4"	250.00
LPC-3.30	208.00	35A, 2P	17.00	2 #4 & 1 #4 GRD	1 1/4"	250.00
LPC-7.00	208.00	35A, 2P	13.00	2 #4 & 1 #4 GRD	1 1/4"	400.00
LPC-8.00	208.00	35A, 2P	22.00	2 #4 & 1 #4 GRD	1 1/4"	250.00
TOTALS:			148.00			

ELECTRICAL LEGEND

□ SITE LIGHTING FIXTURES, POLE MOUNTED - SEE LIGHTING FIXTURE AND POLE SCHEDULES.

○ HANDHOLE (SEE INSTALLATION DETAILS)

— CONDUIT WITH WIRING UNDERGROUND (36" BELOW FINISHED GRADE MIN.) SEE BRANCH WIRING SCHEDULE FOR CONDUCTOR SIZES.

→ HOMERUN TO PANELBOARD, ARROWS INDICATE NUMBER OF CIRCUITS. (SEE BRANCH WIRING SCHEDULE FOR CONDUCTOR SIZES.)

○ LPC-#3 DESIGNATE LIGHTING FIXTURE CIRCUITS

① DRAWING NOTE (APPLIES TO DRAWING WHERE SHOWN.)

BRANCH CKT. ID	VOLTAGE (VOLTS)	BRANCH CB	CURRENT (AMPS)	CONDUIT SIZE (SCH. 40 PVC)	APPROX. NOMINAL LENGTH (FT.)	REMARKS
SPC-1	120.00	20A, 1P	4.00	1 1/4"	750.00	216N "A"
SPC-2	120.00	20A, 1P	7.00	1 1/4"	200.00	216N "B"
SPC-3	120.00	20A, 1P	4.00	1 1/4"	750.00	216N "C"
SPC-4	120.00	20A, 1P	4.00	1 1/4"	200.00	216N "D"
SPC-5	120.00	20A, 1P	3.00	1 1/4"	200.00	216N "E"
TOTAL			22.00			

TYPE	DESCRIPTION	LAMPS	VA	MOUNTING	MANUFACTURER & CAT. NO.	REMARKS
A5	LIGHTWEIGHT, RUGGED, ONE-PIECE FORMED AND WELDED ALUMINUM WEATHERPROOF HID LUMINAIRE. EXTRUDED ALUMINUM FRAME WITH RIGID CORNER BRACING. SILICONE GASKETING SEALS. FLAT TEMPERED AND IMPACT RESISTANT GLASS WITH SHARP FULL CUTOFF. EXTRUDED ARMS WITH REQUIRED ADAPTERS. MODUL. PORCELAIN SOCKET. PULSE RATED WITH SPRING-LOADED, NICKEL PLATED CENTER CONTACT. MEDIUM BASE FOR E-25 LAMP. CWA TYPE HPF BALLAST. ELECTROCOAT THERMOSET POLYESTER POWDER COAT PAINT FINISH. UL 1598 LISTED FOR USE IN WET LOCATIONS.	1000W, HPS	1200.00	SEE LIGHTING POLE SCHEDULE	SPALLING LIGHTING, RAVEN SERIES, CAT. NO. RCL-A10-51K-HSP-F-Q-DB-DB	208 VOLT

HARMS
ENGINEERS • PLANNERS • SURVEYORS

1209 N. EAST STREET, FREDERICK, MARYLAND 21701
Office: 301/651-2027 FAX: 301/651-2028

NO.	REVISION	BY	DATE
2	REMOVE UNNECESSARY REVISE CURS	ST	03/16/04
4	REPLACE WIRING SCHEDULES	ST	09/17/04
6	CHANGE TOTAL # OF SHEETS	FC	09/16/04
7	UPDATE FOOTPRINT & SE OF BLDG	FC	11/12/04

LIGHTING PLAN

PENSKE-RENTAL RETAIL & STORAGE FACILITY

8685 E. WASHINGTON BOULEVARD
JESSUP, MARYLAND 20794
TAX MAP 48, PARCEL 121

SIXTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

SCALE: 1" = 40'

DESIGNED BY: EG

DRAWN BY: MW

CHECKED BY:

DATE: JULY, 2008

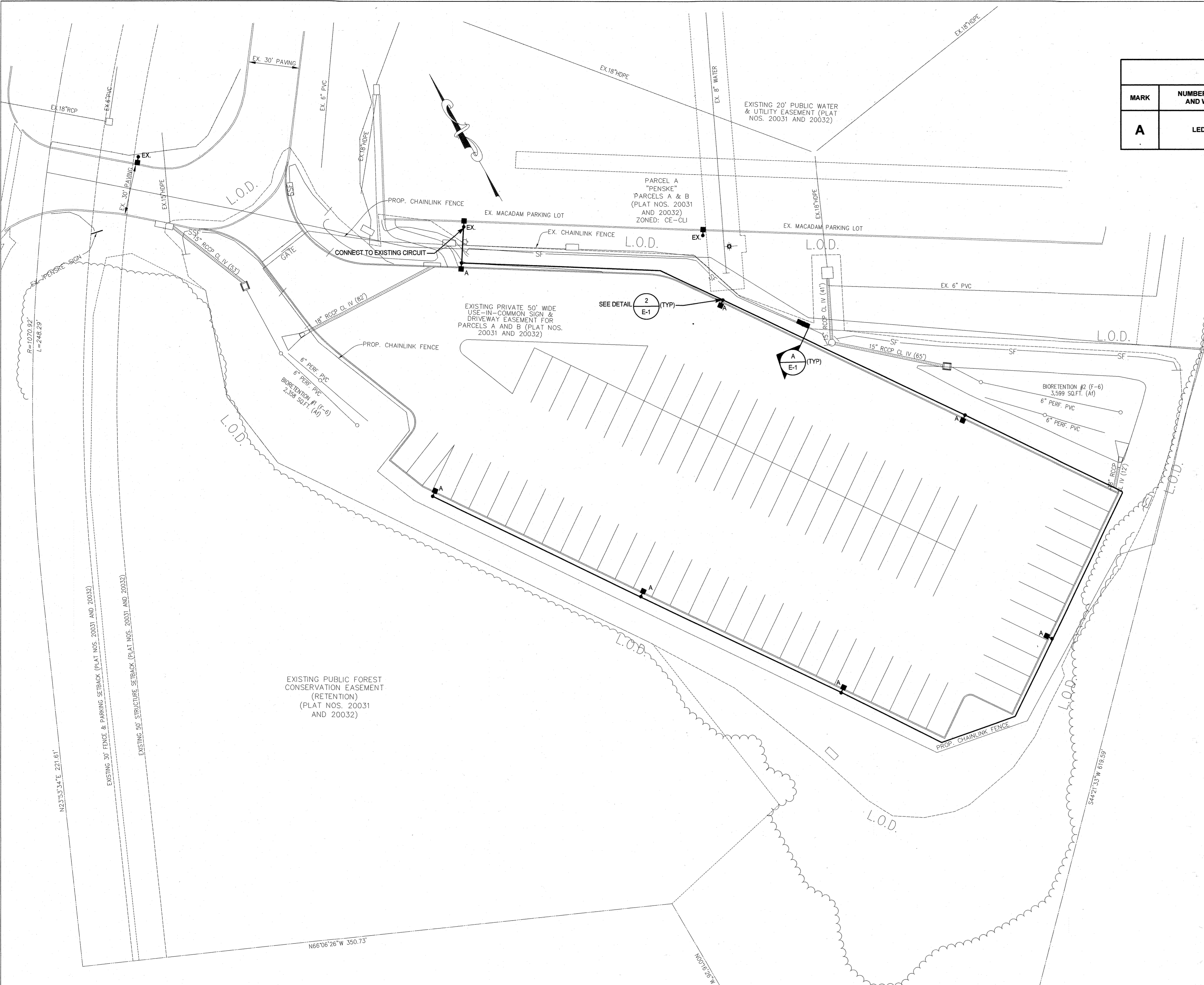
W.O. NO. 08-05-034A

21

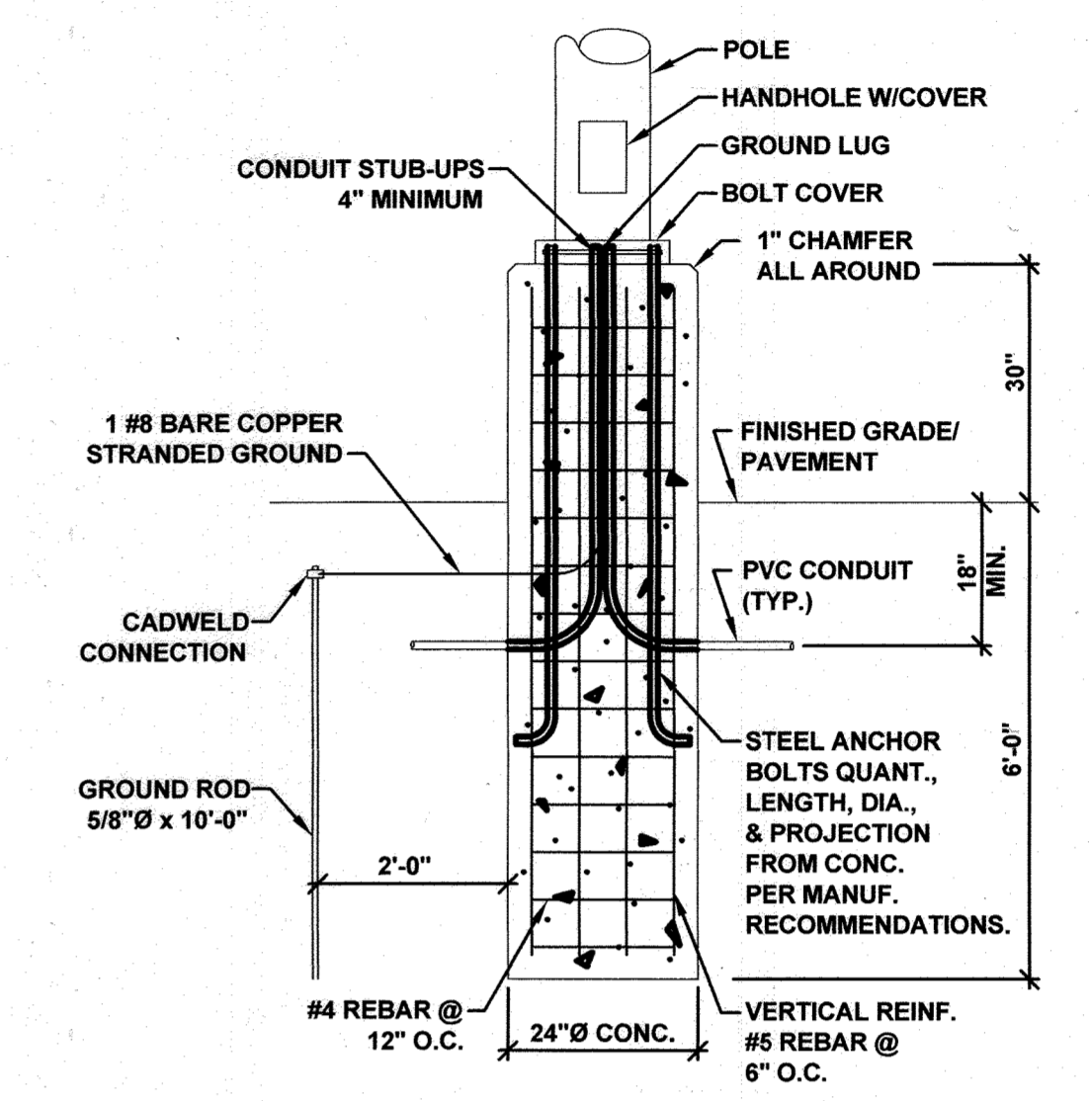
21 OF 24

SDP-03-015

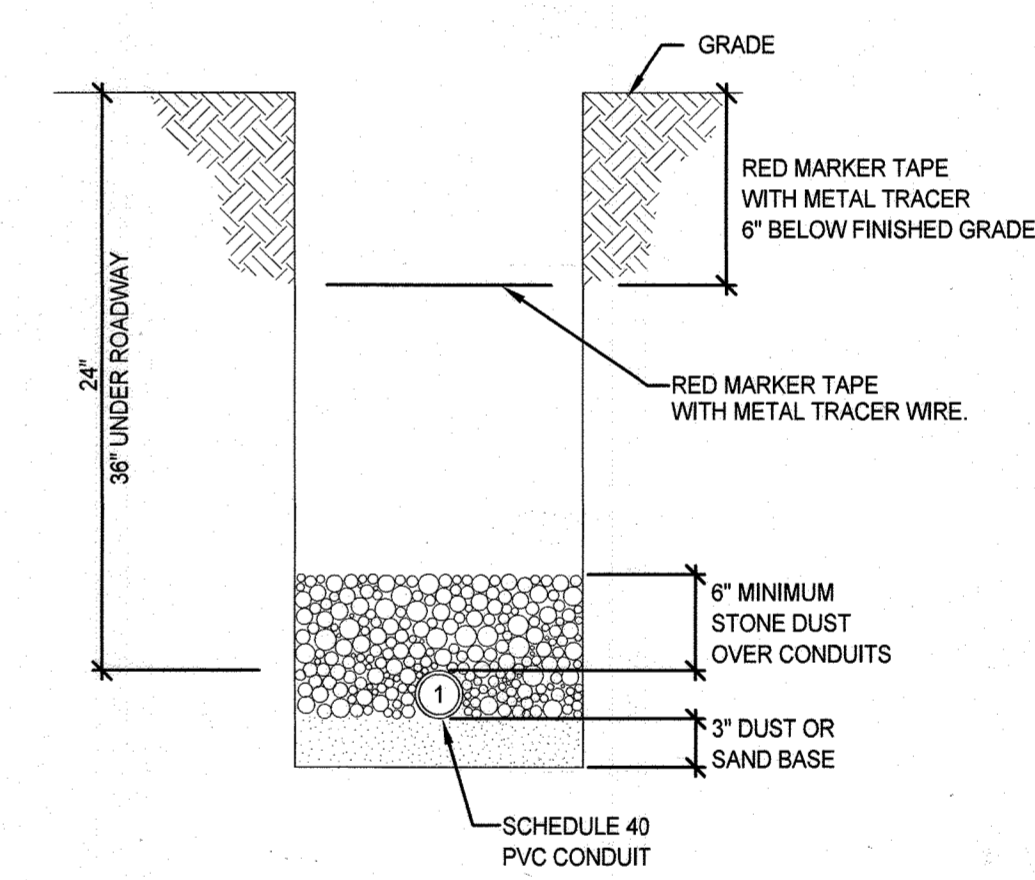
Date: 08/12/2008 User: sneels Drawing Path: \\D:\2600\Projects\Penske - Howard County\08-05-034A\Site Development\Plan\PENSKE-EX1BASE-SDP.dwg



LIGHTING FIXTURE SCHEDULE						
MARK	NUMBER OF LAMPS AND WATTAGE	MANUFACTURE	CATALOG NUMBER	DRIVER VOLTAGE	TYPE OF MOUNTING	REMARKS
A	LED (283 W)	GE LIGHTING	EASC-2-K4-F5-40-1-A-DKBZ	UNV	POLE	PROVIDE POLE: SSS-H-25-50-B-1-S2-DB-UL
						SHIELDING: ELS-EASX-FF5-BLCK



2 SITE LIGHTING POLE BASE DETAIL
E-1 NO SCALE



NOTE:
1. BACKFILL TO BE COMPACTED IN 6 INCH LAYERS TO AVOID SETTLING.
WIRE/CONDUIT:
(1) (2) #6, (1) #10 GRD IN 1\"/>

UNDERGROUND CONDUIT SECTION "A"
NO SCALE

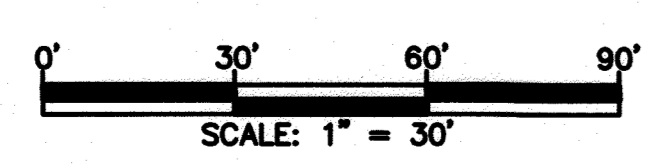
GENERAL NOTES:

G1. EXISTING FIXTURES (EX) SHOWN WERE INCLUDED WITHIN THE PHOTOMETRIC CALCULATIONS.

OWNER/DEVELOPER
PENSKE RENTAL LEASING, LOGISTICS
5 CAPITAL DRIVE
READING, PA 17110
Attention: JON WILTANGER
717-612-4665

QCL ENGINEERING
Frederick Office
3 West Second Street
Frederick, MD 21701
ph:(301)895-0424 fax:(301)895-0380

FISHER, COLLINS & CARTER, INC.
ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2855



1 SITE PLAN - ELECTRICAL
E-1 1" = 30'-0"

APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature]
DIRECTOR, DEPARTMENT OF PLANNING & ZONING
Chief, Division of Land Development
Chief, Development Engineering Division

5-12-2020 DATE
5/1/2020 Date
9/25/19 Date



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 45511 Expiration Date: 06/03/2018

Parcel Number		Street Address	
B		8685 WASHINGTON BLVD JESSUP, MD 20794	

PROJECT	SECTION/AREA	PARCEL
PENSKE	N/A	121

PLAT NOS.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
F-08-19	1	CE-CLT	48	SIXTH	606901

WATER CODE	SEWER CODE
B02	401200

LIGHTING SITE PLAN, DETAIL & SCHEDULE

PENSKE-RENTAL RETAIL & STORAGE FACILITY
PARKING LOT ADDITION

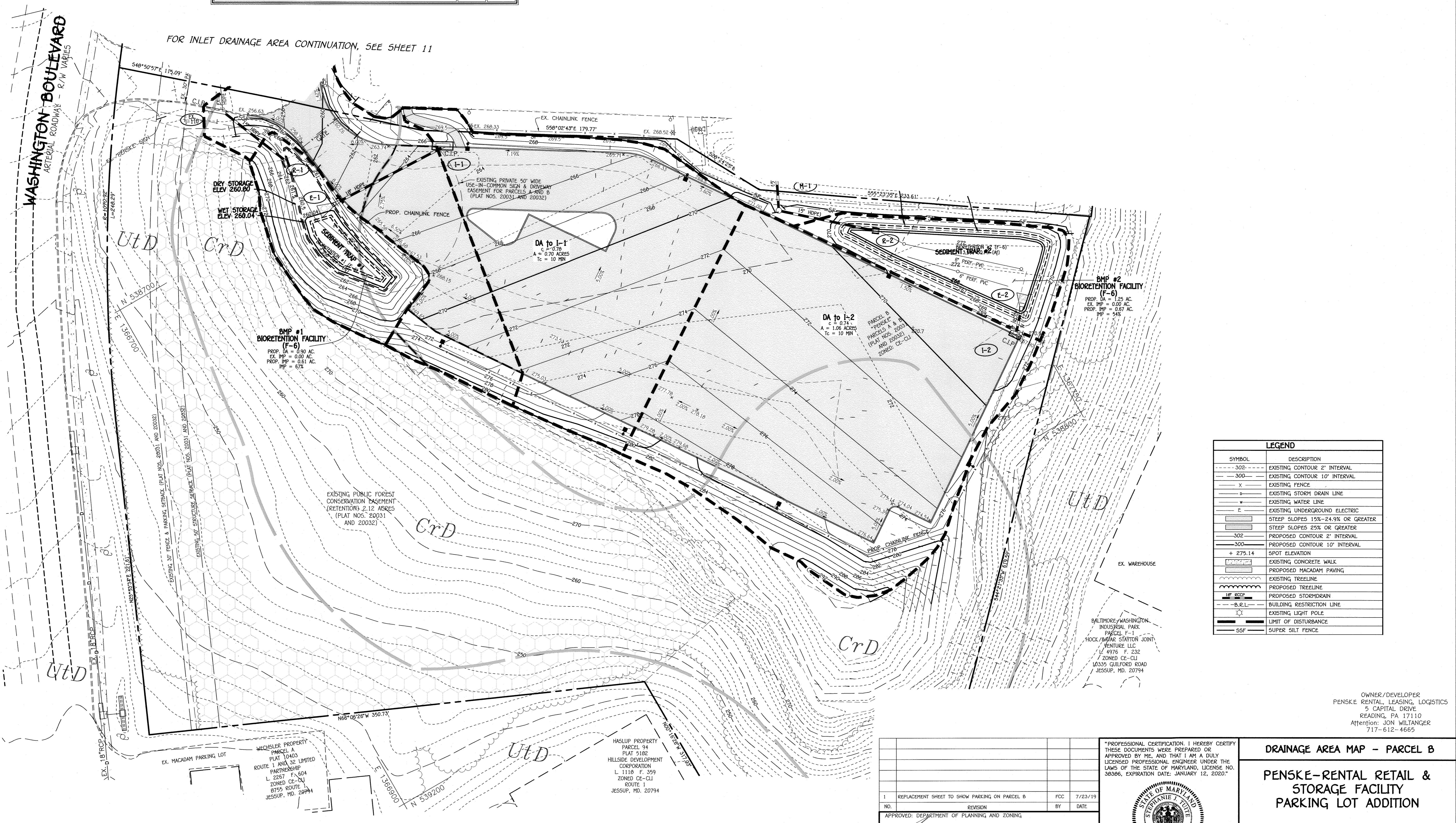
ZONED: CE-CLT TAX MAP No.: 48 GRID No.: 1 PARCEL No.: 121
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: FEBRUARY 2018

SHEET 22 OF 24

SOILS LEGEND			
SOIL	NAME	CLASS	K FACTOR
CrD	Croom and Evesboro soils, 10 to 15 percent slope	C	0.20
UtD	Urban - Land - Udothentz Complex, 0 to 15 percent slope	D	0.20

Soil Map Number: 25 (Savage, SE)

FOR INLET DRAINAGE AREA CONTINUATION, SEE SHEET 11



LEGEND	
SYMBOL	DESCRIPTION
--- 302 ---	EXISTING CONTOUR 2' INTERVAL
--- 300 ---	EXISTING CONTOUR 10' INTERVAL
- - - - -	EXISTING FENCE
x	EXISTING STORM DRAIN LINE
w	EXISTING WATER LINE
e	EXISTING UNDERGROUND ELECTRIC
▨	STEEP SLOPES 15%-24.9% OR GREATER
▩	STEEP SLOPES 25% OR GREATER
--- 302 ---	PROPOSED CONTOUR 2' INTERVAL
--- 300 ---	PROPOSED CONTOUR 10' INTERVAL
+ 275.14	SPOT ELEVATION
▭	EXISTING CONCRETE WALK
▭	PROPOSED MACADAM PAVING
▭	EXISTING TREELINE
▭	PROPOSED TREELINE
▭	PROPOSED STORMDRAIN
▭	BUILDING RESTRICTION LINE
○	EXISTING LIGHT POLE
▭	LIMIT OF DISTURBANCE
▭	SUPER SILT FENCE

BMP #2 BIORETENTION FACILITY (F-6)
 PROP. DA = 1.25 AC.
 EX. IMP = 0.00 AC.
 PROP. IMP = 0.67 AC.
 IMP = 54%

BMP #1 BIORETENTION FACILITY (F-6)
 PROP. DA = 0.30 AC.
 EX. IMP = 0.00 AC.
 PROP. IMP = 0.51 AC.
 IMP = 67%

DA to I-1
 c = 0.70
 A = 0.70 ACRES
 Tc = 10 MIN

DA to I-2
 c = 0.74
 A = 1.06 ACRES
 Tc = 10 MIN

BALTIMORE-WASHINGTON INDUSTRIAL PARK
 PARCEL F-1
 HOCK/BAYAR STAYTON JOINT VENTURE LLC
 L 4976 F. 232
 ZONED CE-CL1
 10335 GUILFORD ROAD
 JESSUP, MD. 20794

OWNER/DEVELOPER
 PENSKE RENTAL, LEASING, LOGISTICS
 5 CAPITAL DRIVE
 READING, PA 17110
 Attention: JON WILTANGER
 717-612-4665

DRAINAGE AREA MAP - PARCEL B

**PENSKE-RENTAL RETAIL & STORAGE FACILITY
 PARKING LOT ADDITION**

ZONED: CE-CL1 TAX MAP No.: 48 GRID No.: 1 PARCEL No.: 121
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: JULY 2019

SHEET 23 OF 24

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2020."

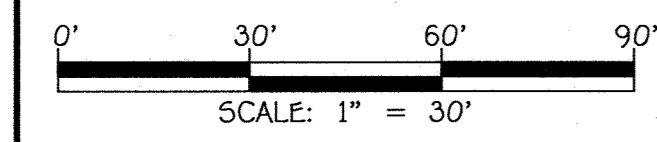


STEPHANIE J. TUITE, P.E., LEED AP BD+C

NO.	REVISION	BY	DATE
1	REPLACEMENT SHEET TO SHOW PARKING ON PARCEL B	FCC	7/23/19

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development	EB	8/1/20
Chief, Development Engineering Division	JF	9/25/19
Director, Department of Planning and Zoning	AP	5-12-2020



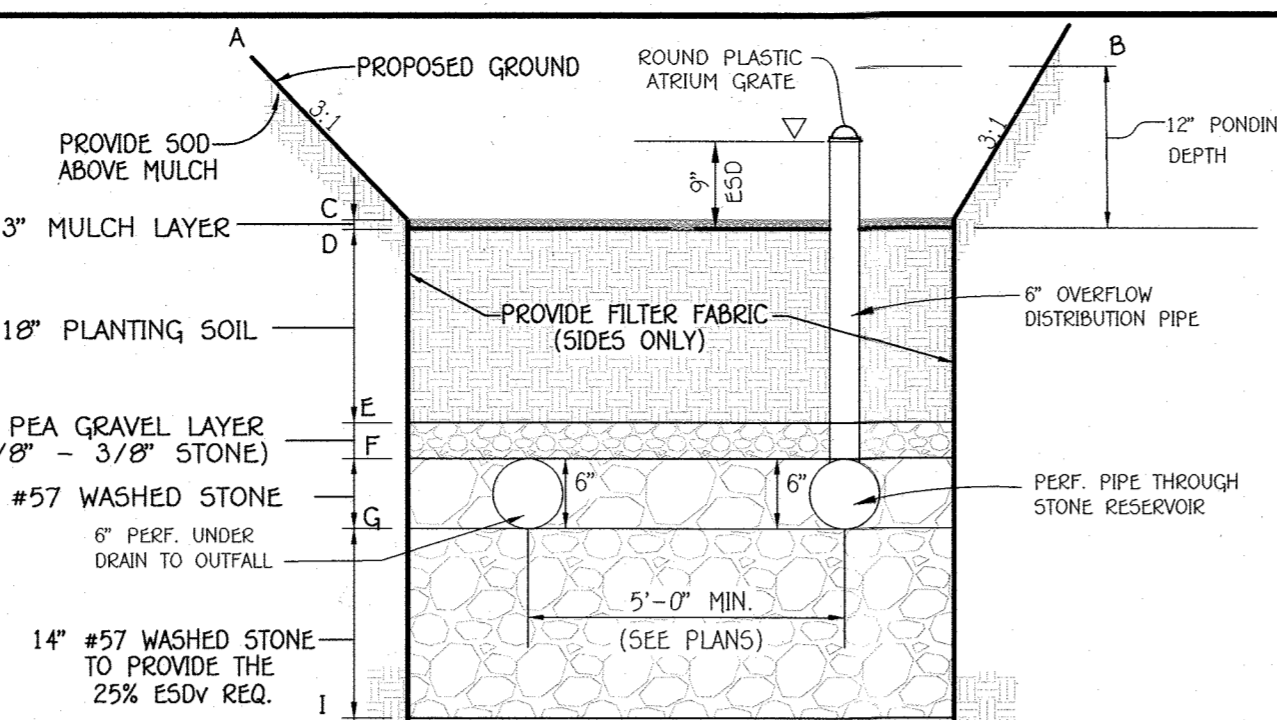
PLAN
 SCALE: 1" = 30'

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SOURCE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELKLOFT CITY, MARYLAND 21042
 (410) 461-2299

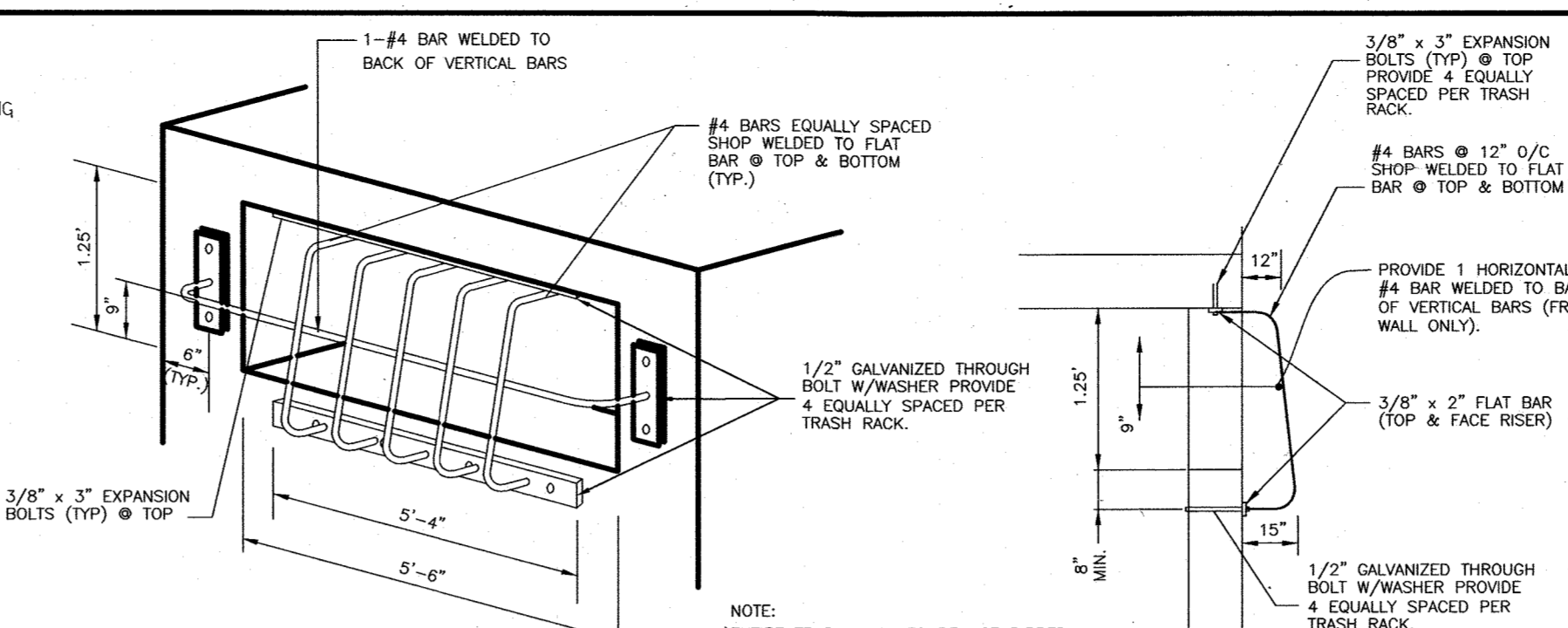
1/20/17/17001/Engineering/Design/17001/Reading/Printing/Lot/Map/Sheet/23_1/1

OPERATION & MAINTENANCE SCHEDULE FOR BIORETENTION (F-6)

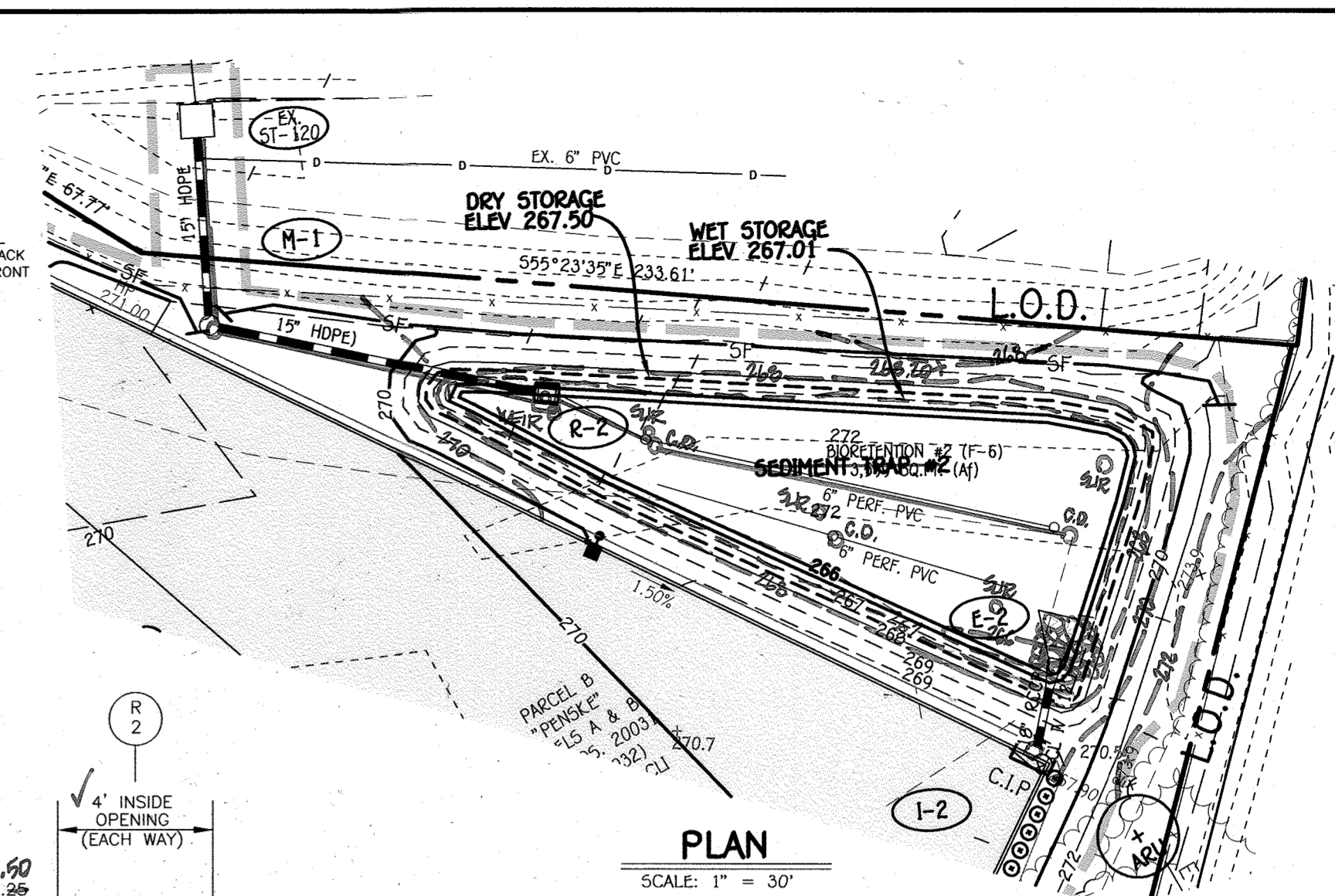
- A. THE OWNER SHALL MAINTAIN THE PLANT MATERIAL, MULCH LAYER AND SOIL LAYER ANNUALLY. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING ACCEPTABLE REPLACEMENT PLANT MATERIAL IS LIMITED TO THE FOLLOWING: 2000 MARYLAND STORMWATER DESIGN MANUAL VOLUME II, TABLE A.4.1 AND 2.
- B. THE OWNER SHALL PERFORM A PLANT IN THE SPRING AND IN THE FALL OF EACH YEAR. DURING THE INSPECTION, THE OWNER SHALL REMOVE DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT, REPLACE DEAD PLANT MATERIAL WITH ACCEPTABLE REPLACEMENT PLANT MATERIAL, TREAT DISEASED TREES AND SHRUBS AND REPLACE ALL DEFICIENT STAKES AND WIRES.
- C. THE OWNER SHALL INSPECT THE MULCH EACH SPRING. THE MULCH SHALL BE REPLACED EVERY TWO TO THREE YEARS. THE PREVIOUS MULCH LAYER SHALL BE REMOVED BEFORE THE NEW LAYER IS APPLIED.
- D. THE OWNER SHALL CORRECT SOIL EROSION ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONE PER MONTH AND AFTER EACH HEAVY STORM.



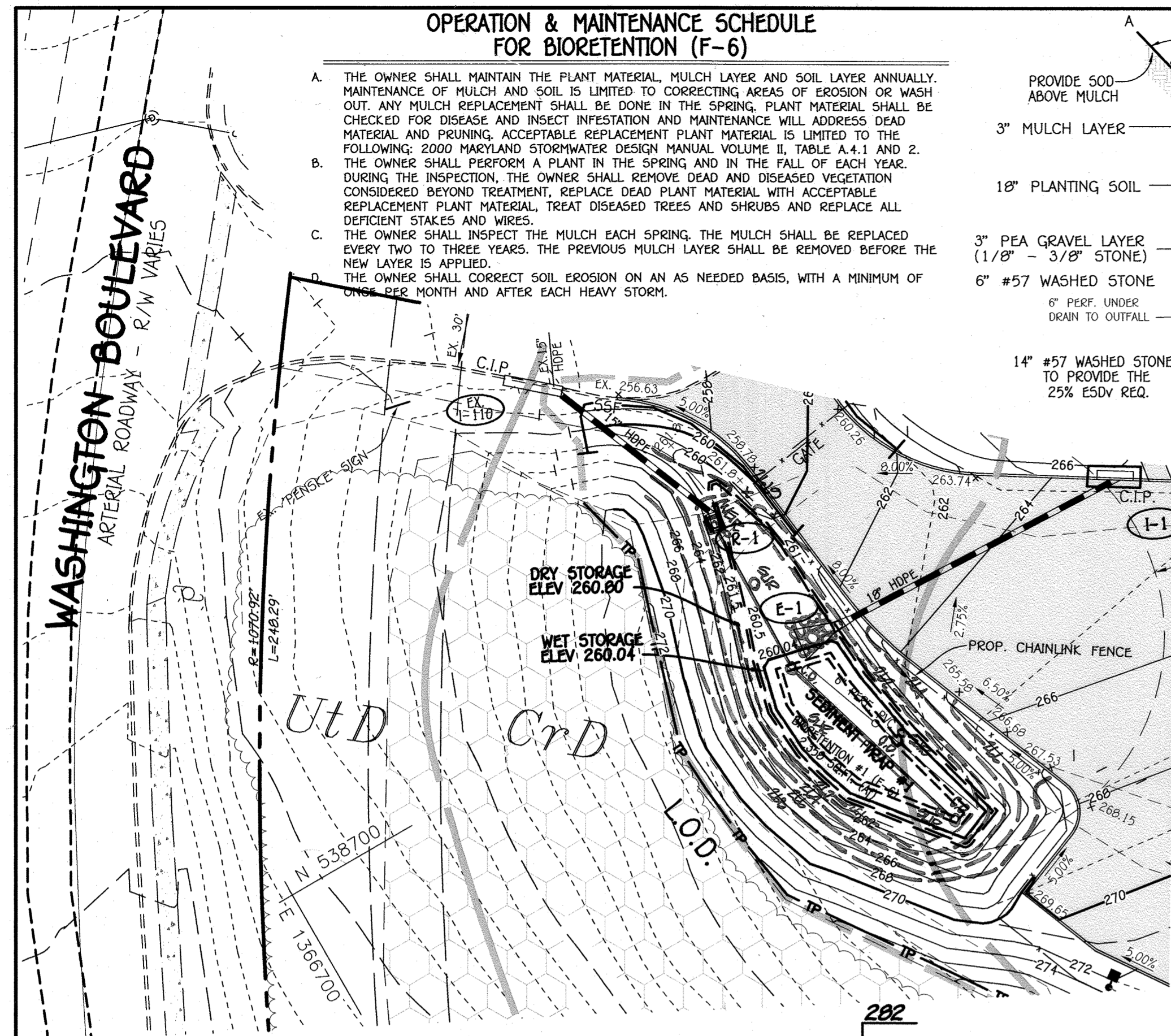
MICRO BIORETENTION (M-6) SECTION WITH 6" OVERFLOW DISTRIBUTION PIPE
NO SCALE



WEIR TRASH RACK DETAIL
NOT TO SCALE

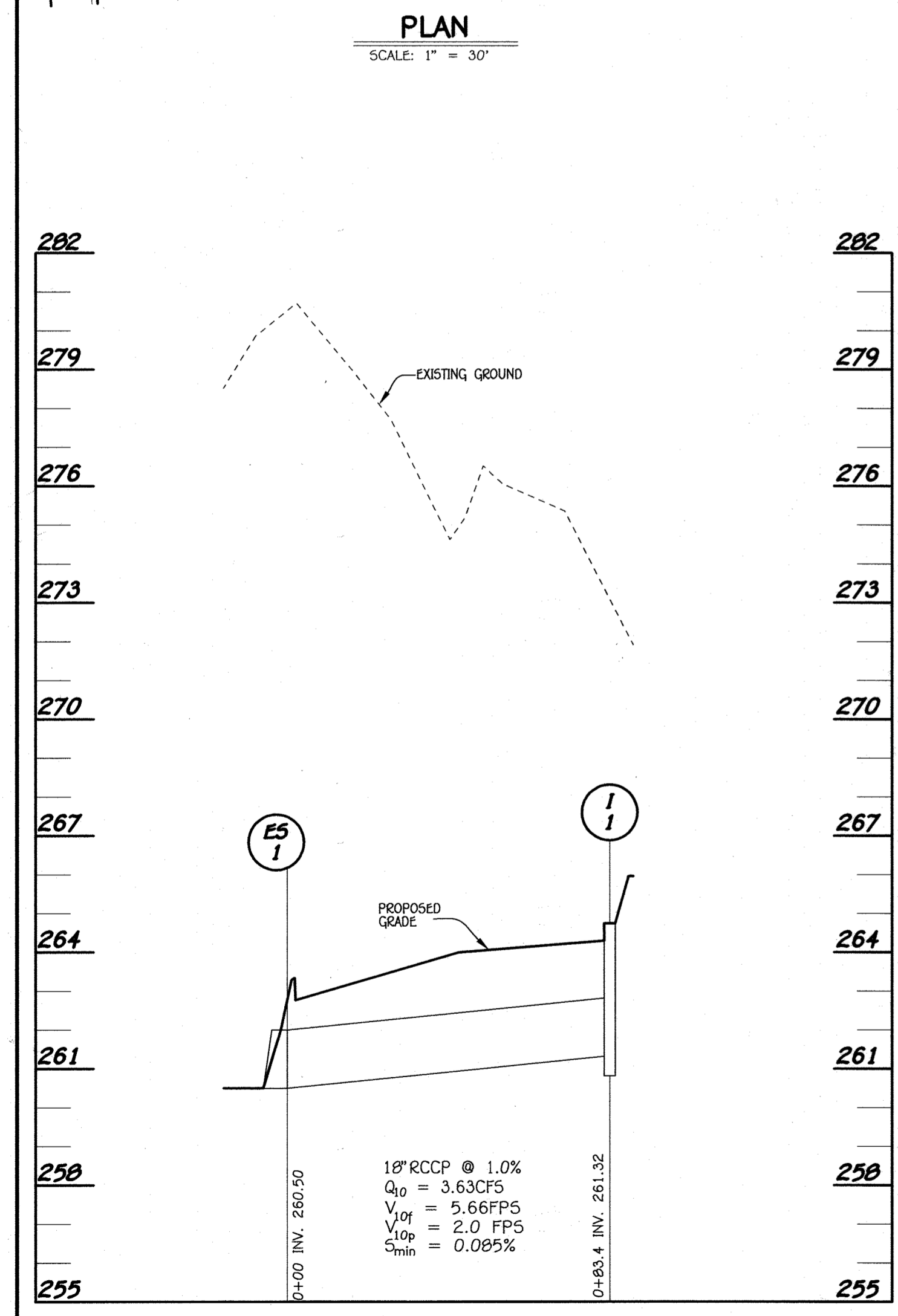


PLAN
SCALE: 1" = 30'

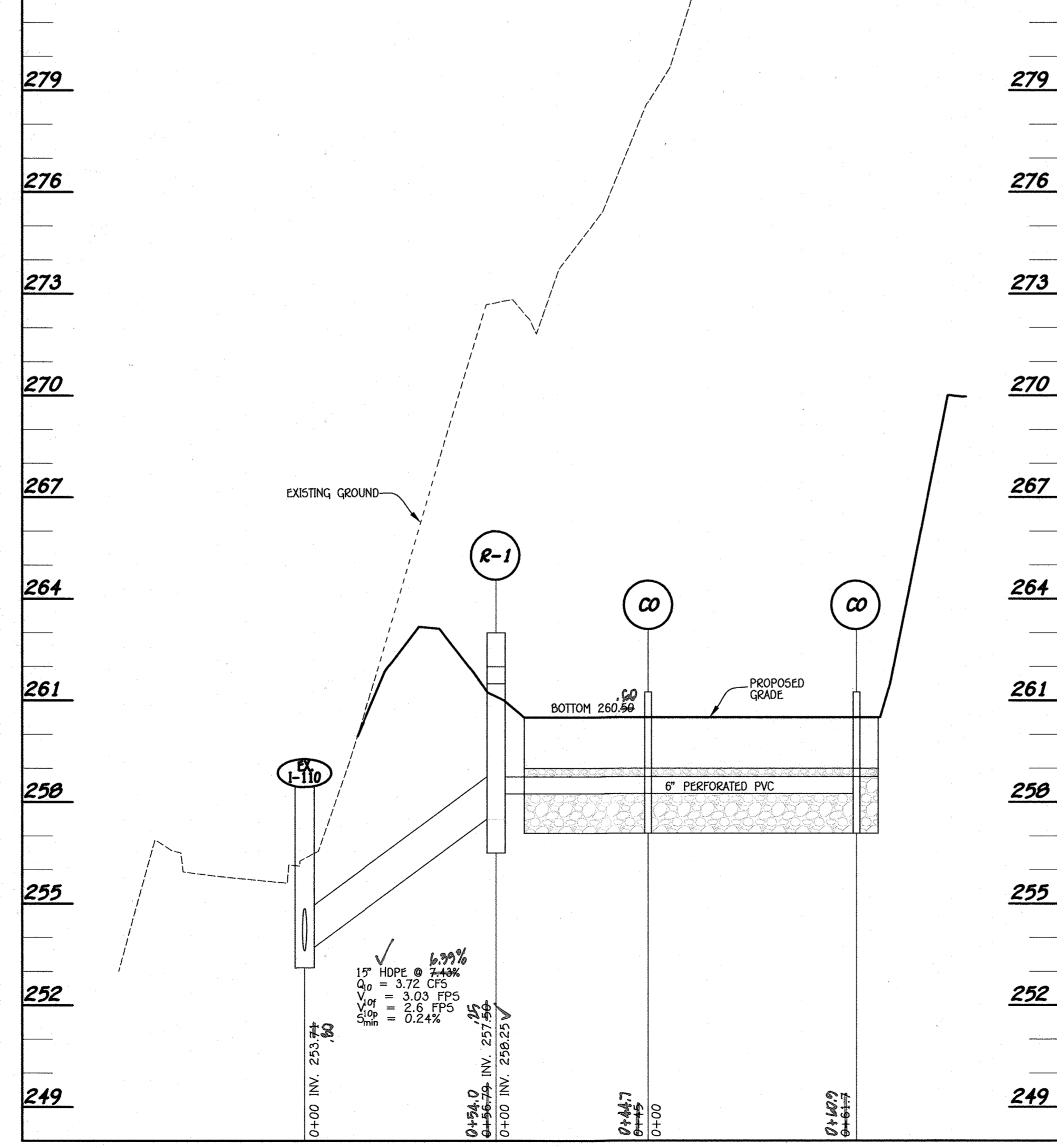


PLAN
SCALE: 1" = 30'

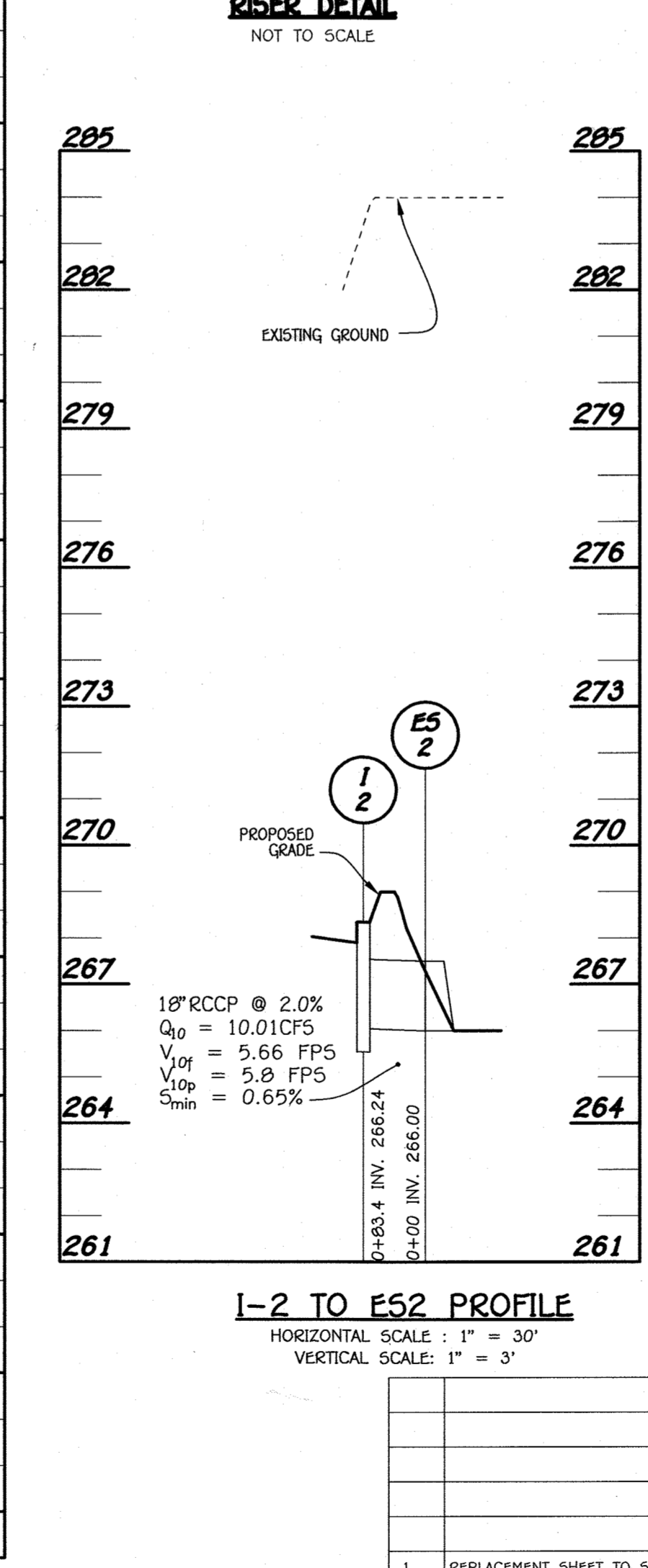
- REINFORCEMENT NOTES:**
(PER MSHA STD. MD-374.23)
- CONCRETE SHALL BE MIX NO.6 (4500 PSI).
 - WALL REINFORCEMENT FOR BASE UNITS, RISER UNITS SHALL BE REINFORCEMENT BASE OR WELDED WIRE FABRIC WITH MINIMUM AREA OF 0.12 IN²/FT FOR THE 48" DIAMETER MANHOLES. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 AND A 82. REINFORCEMENT BARS SHALL MEET A 615, GRADE 60.
 - BASE REINFORCEMENT SHALL BE REINFORCEMENT BARS OR WELDED WIRE FABRIC WITH A MINIMUM AREA OF 0.14 IN²/FT. THE BASE MAY BE CAST MONOLITHIC WITH BASE UNIT OR JOINTED PER MANUFACTURER'S DESIGN.



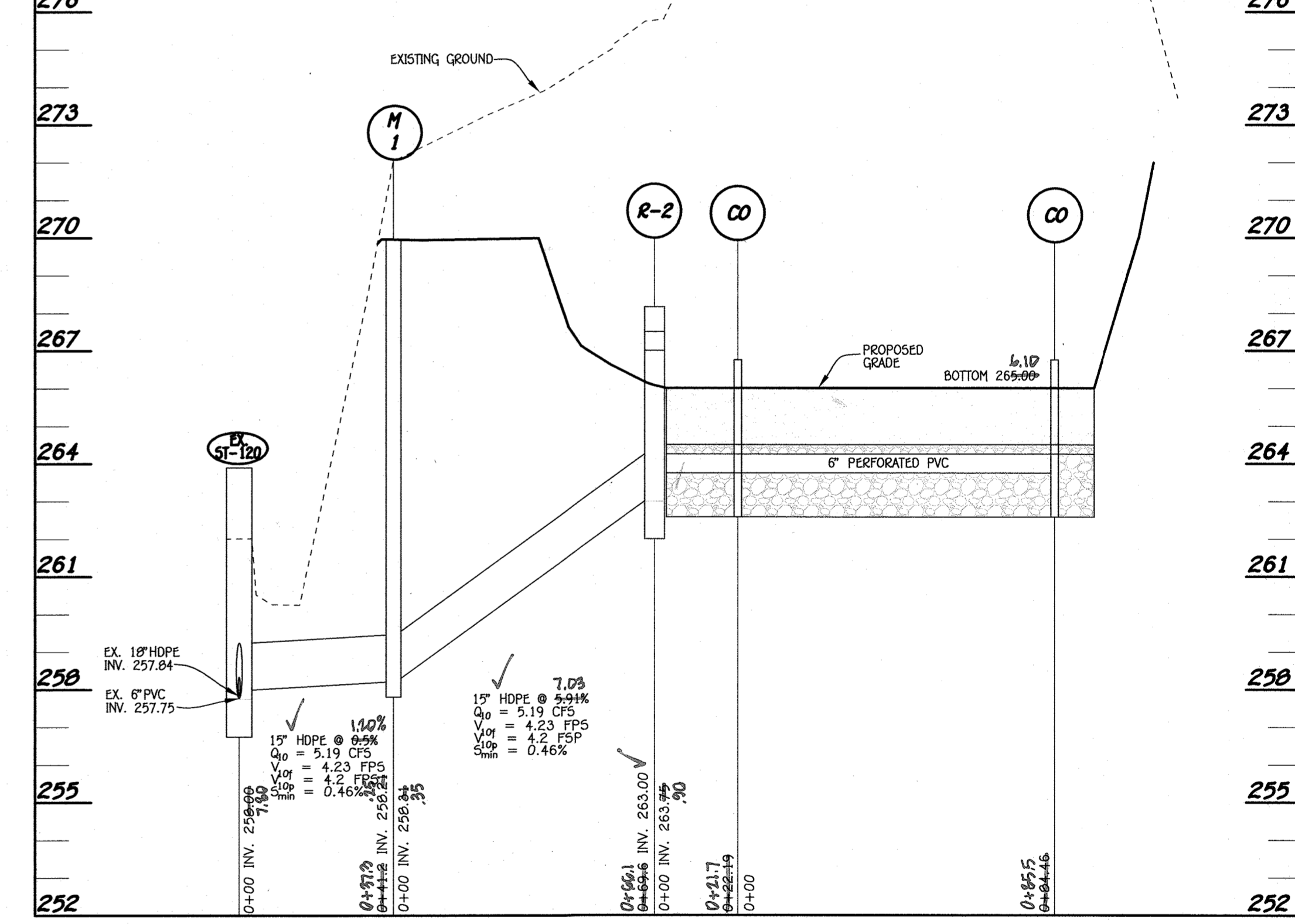
I-1 TO E51 PROFILE
HORIZONTAL SCALE: 1" = 30'
VERTICAL SCALE: 1" = 3'



BIORETENTION #1 PROFILE
HORIZONTAL SCALE: 1" = 30'
VERTICAL SCALE: 1" = 3'

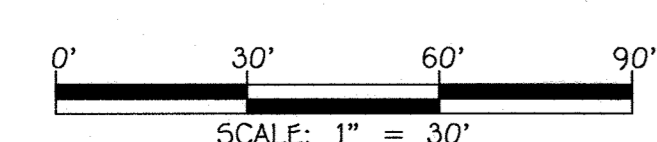


I-2 TO E52 PROFILE
HORIZONTAL SCALE: 1" = 30'
VERTICAL SCALE: 1" = 3'



BIORETENTION #2 PROFILE
HORIZONTAL SCALE: 1" = 30'
VERTICAL SCALE: 1" = 3'

BIORETENTION									
BIORETENTION FILTER	A	B	C	D	E	F	G	H	I
#1	261.50	261.50	260.50	260.25	258.75	258.50	258.00	258.00	256.83
#2	267.00	267.00	266.00	265.75	264.25	264.00	263.50	263.50	262.33



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CONTINENTAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PARK
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2999

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38386, EXPIRATION DATE: JANUARY 12, 2020."

STEPHANIE J. TUITE, P.L.E., R.A., LEED AP BD+C

BIORETENTION DETAILS - PARCEL B

PENSKE-RENTAL RETAIL & STORAGE FACILITY PARKING LOT ADDITION

ZONED: CE-CL1 TAX MAP No.: 48 GRID No.: 1 PARCEL No.: 121
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: JULY 2019

SHEET 24 OF 24