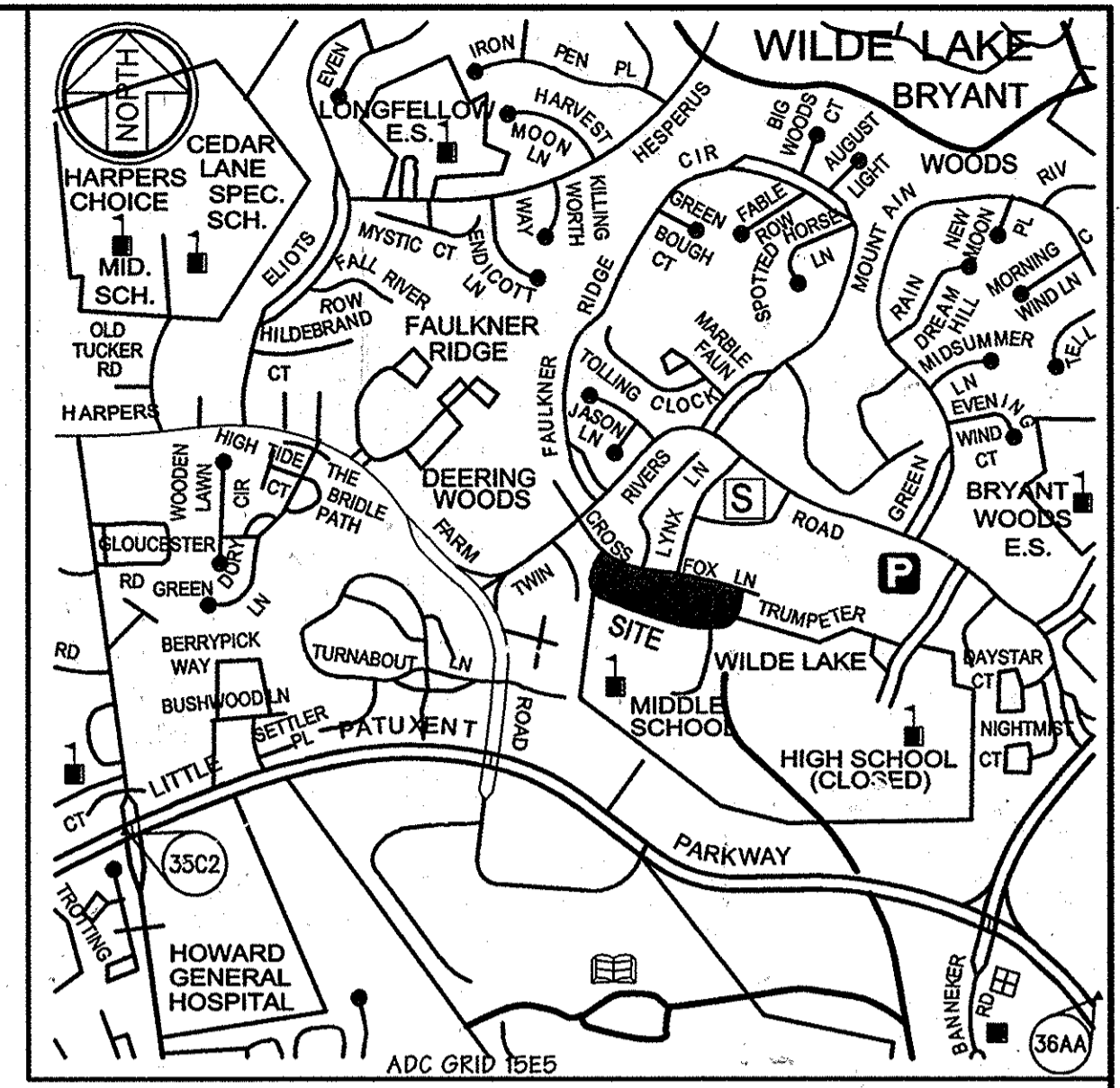


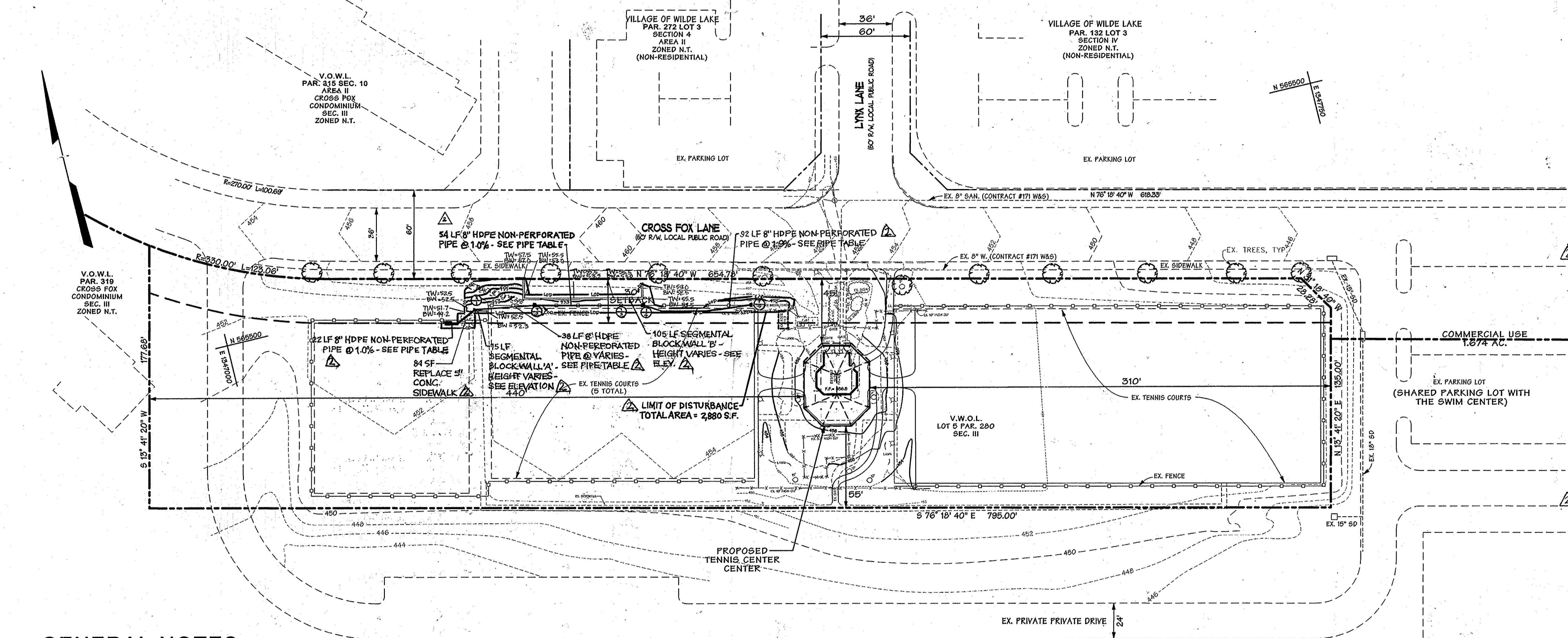
- ### INDEX OF SHEETS
- COVER SHEET
  - SITE AND GRADING PLAN
  - EROSION & SEDIMENT CONTROL PLAN
  - SITE DETAILS
  - DEMOLITION PLAN
  - SWM DRAINAGE AREA PLAN
  - SWM WATER QUALITY CREDIT PLAN



**VICINITY MAP**  
Scale: 1"=2000'

### GEODETIC CONTROL

35C2 N 563920.8144, E 1344204.1507 NGVD ELEVATION = 463.482  
36AA N 562804.8481, E 1349906.2177 NGVD ELEVATION = 359.227



### 8\"/> | STATION | OFFSET | PIPE ELEV. | GROUND ELEV. | NOTE | |---------|--------|------------|--------------|--| | +06.5 | 8.5 FT | 447.5 | 448.5 | CONNECT TO EX. PIPE RESTORE STONE COVER. | | +15 | 8.5 FT | 447.6 | 448.9 | *** | | +26 | 2 LT | 451.5 | 451.5 | 14 YARD INLET INV. IN/OUT=447.7 | | +35 | 3 LT | 449.7 | 452.5 | ** | | +65 | 5 LT | 452.0 | 452.0 | 12 YARD INLET INV. IN/OUT=450.0 | | +120 | 5 LT | 452.0 | 452.0 | 13 YARD INLET INV. IN/OUT=450.0 | | +140 | 5 LT | 452.5 | 452.5 | 14 YARD INLET INV. IN/OUT=450.7 | | +175 | 1 LT | 451.4 | 454.5 | | | +237 | 5 LT | 453.75 | 453.75 | 15 YARD INLET INV. OUT=452.25 | \*INSTALL CLEANOUT (8\"/> \*\*INSTALL VERTICAL BEND \*\*\*INSTALL HORIZONTAL BEND NOTE: OWNER TO APPROVE YARD INLET AND GRATE TYPE.

### DITCH STAKEOUT TABLE

STATION	OFFSET	CL ELEV.	NOTE
+35	5 LT	452.5	
+65	5 LT	452	
+92	5 LT	452.5	
+120	5 LT	452.0	*
+140	5 LT	452.5	*
+175	5 RT	454.25	
+215	5 LT	453.75	*
+237	5 LT	454.25	

\*INSTALL YARD INLET

APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
DATE: 1/03/08  
VS

APPROVED: DEPARTMENT OF PLANNING & ZONING  
 Chief, Development Engineering Division: [Signature] DATE: 2/1/08  
 Chief, Division of Land Development: [Signature] DATE: 2/5/08  
 Director: [Signature] DATE: 2/6/08

4/27/16  
Date No. DRAINAGE AND GRADING MAINTENANCE / IMPROVEMENTS Revision Description

**WILDE LAKE TENNIS CENTER**  
 TENNIS CENTER BUILDING REPLACEMENT  
 10499 CROSS FOX LANE  
 COLUMBIA, MARYLAND 21044  
 VILLAGE OF WILDE LAKE, SEC. 4, AREA 1, OPEN SPACE LOT 5  
 OWNER/DEVELOPER:  
**COLUMBIA ASSOCIATION**  
 10221 WINCOPIN CIRCLE  
 COLUMBIA, MARYLAND 21044-3423  
 PHONE NUMBER 410-391-0591

**CENTURY ENGINEERING**  
 CONSULTING ENGINEERS - PLANNERS  
 10710 Gilroy Road, Hunt Valley, MD 21081  
 Phone: 443.585.2400 Fax: 443.585.2401

LOT/PARCEL No.	5/280	STREET ADDRESS	10499 CROSS FOX LANE
SECTION NAME	VILLAGE OF WILDE LAKE	SECTION/AREA	4/1
PLAT OR LOT	3024/91	TAX MAP No.	29
GRID	24	ELECT. DISTRICT	5
ZONE	NT	CENSUS TRACT	605402
WATER CODE	171	SUBDIV. CODE	171

### Cover Sheet

Designed By: MJP Scale: 1"=40' Project No.: 27124.00  
 Drawn By: MSS MCA Date: JAN. 30, 2008  
 Checked By: AJD Approved: AJD  
 Professional Engr. No. 22574

1/17/08  
Date  
 PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND  
 LICENSE NUMBER: 12,816 EXPIRATION DATE: 11/30/16

### SITE ANALYSIS

- TOTAL PROJECT AREA: 2.845 Ac./123,928 S.F.
- AREA PLAN SUBMISSION: 0.32 Ac./13,939 S.F.
- LIMIT OF DISTURBANCE AREA: 0.32 Ac./13,939 S.F.
- EXISTING ZONING: NEW TOWN, OPEN SPACE CREDITED.
- PROPOSED USE: TENNIS CENTER
- FLOOR SPACE: 800 S.F.
- NUMBER OF EMPLOYEES: 1
- PARKING SPACES REQUIRED: 67 (6 SP./COURT PLUS 1 SP./8000 SF.)
- PARKING SPACES PROVIDED: 67 SPACES ARE LOCATED WITHIN THE SHARED PARKING LOT ON CROSS FOX LANE & PARCEL 280. (WILDE LAKE MIDDLE SCHOOL) PER PREVIOUSLY APPROVED SDP-71-75 AND SDP 74-87.
- OPEN SPACE REQUIRED: N/A
- BUILDING COVERAGE: .006 S.F./ACRES, 2%
- PREVIOUS DPZ FILE NUMBERS: SDP 71-75, F-66-45, SDP 74-87, W&S 171, FDP PH. 2-A-VIII.
- TRASH REMOVAL: PRIVATE PICK UP

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND  
 LICENSE NUMBER: 12,816 EXPIRATION DATE: 11/30/16

### PROFESSIONAL CERTIFICATION

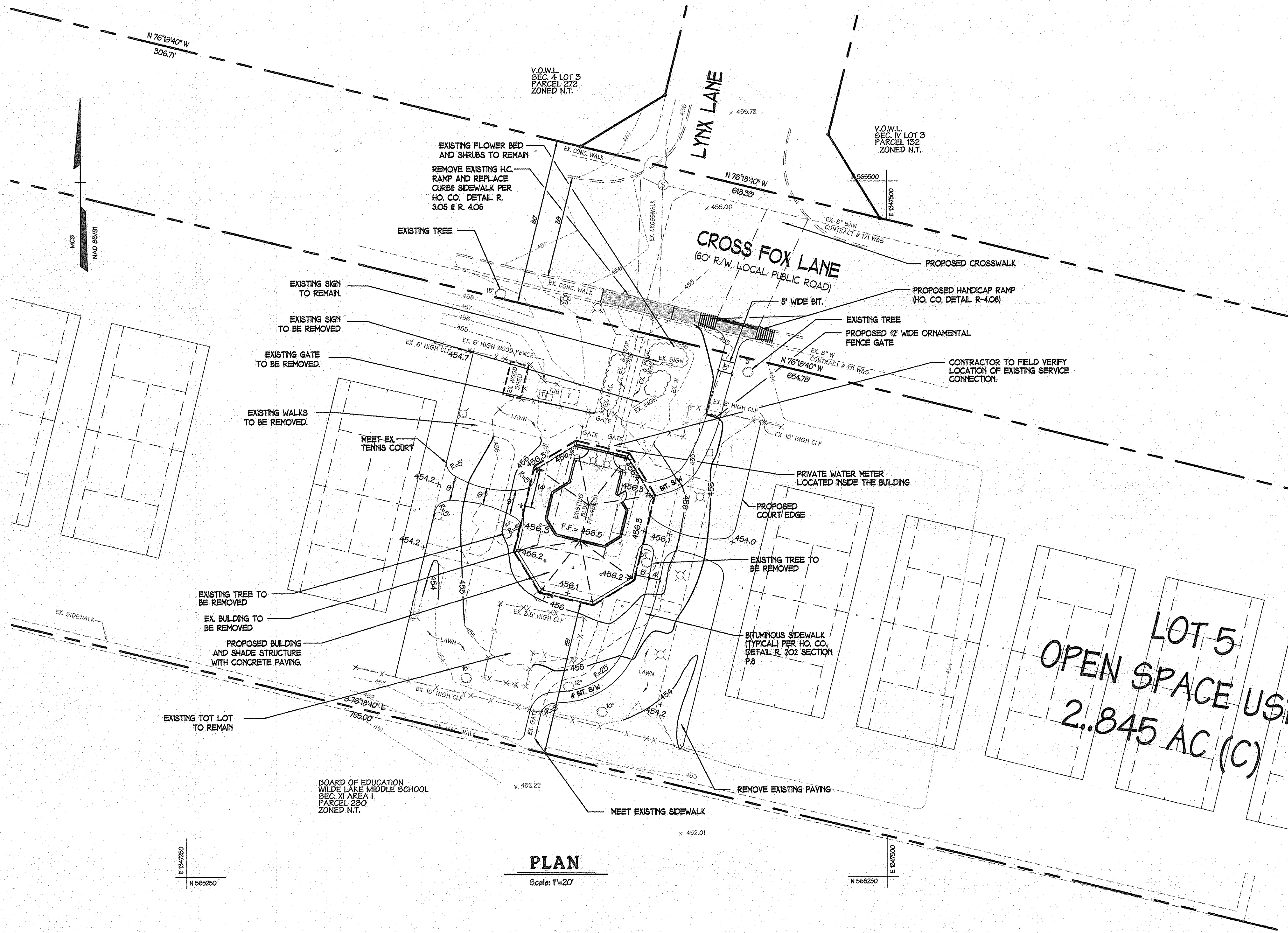
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND  
 LICENSE NUMBER: 22,574 EXPIRATION DATE: 1/16/10

### LEGEND

EX. MINOR CONTOUR	---	EX. CONCRETE SIDEWALK	---
EX. MAJOR CONTOUR	---	EX. FENCE	---
EX. SPOT ELEVATION	x387.6	EX. WALL	---
EX. FIRE HYDRANT	⊕	EX. CLEANOUT	⊕
EX. STORM DRAIN	---	EX. LIGHT STANDARD	⊕
EX. WATER LINE	---	EX. BUSH	⊕
EX. SANITARY SEWER	---	EX. TREE	⊕
EX. ELECTRIC LINE	---	EX. PIPE BOLLARD	⊕
EX. COMMUNICATIONS LINE	---	EX. UTILITY POLE	⊕
EX. MANHOLE	⊕	PROF. MINOR CONTOUR	---
EX. INLET	⊕	PROF. MAJOR CONTOUR	---
EX. TREE LINE	---	PROF. SPOT ELEVATION	---
EX. BUILDING	---	EX. FENCE	---
EX. CURB AND GUTTER	---	PROF. CURB & GUTTER	---
EX. BITUMINOUS PAVING	---		

### GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHP STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- THE EXISTING TOPOGRAPHY IS TAKEN FROM FIELD RUN SURVEY WITH ONE FOOT CONTOUR INTERVALS PREPARED BY CENTURY ENGINEERING, INC. ON JUNE 07.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM, HOWARD COUNTY MONUMENT NOS 35C2, AND 36AA WERE USED FOR THIS PROJECT.
- WATER IS PUBLIC PER CONTRACT # 171 W&S.
- SEWER IS (PUBLIC), SEE CONTRACT #171 W&S.
- STORMWATER MANAGEMENT FOR THIS SITE WILL BE ADDRESSED IN ACCORDANCE WITH REDEVELOPMENT CRITERIA WITH A 50% REDUCTION IN EXISTING IMPERVIOUS SURFACES AND A 35% REDUCTION OVER ALL "NEW" IMPERVIOUS SURFACES ARE TREATED BY NON-ROOFTOP DISCONNECT CREDITS.
- EXISTING UTILITIES ARE BASED ON CONTRACT # 171 W&S.
- THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY WELLS & ASSOC. DATED 10/07 AND WAS APPROVED ON 11/14/07.
- UNLESS OTHERWISE NOTED, ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST HOWARD COUNTY PLUMBING CODE AND DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS AND DETAILS. IN CASE OF CONFLICT OR DISCREPANCY, THE PLUMBING CODE SHALL APPLY.
- EXISTING SITE FEATURES AND UTILITIES SHOWN HAVE BEEN BASED UPON SURVEYS AND OTHER SOURCES BELIEVED TO BE RELIABLE. THE CONTRACTOR OR COMPLETENESS OF THE INFORMATION SHOWN IS NOT GUARANTEED. THE CONTRACTOR SHALL VERIFY ALL INFORMATION BEFORE COMMENCING WORK.
- THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777 A MINIMUM OF FIVE WORKING DAYS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN, REPAIR AND/OR REPLACE ANY EXISTING SEDIMENT CONTROL DEVICES ENCOUNTERED AND DISTURBED DURING THE COURSE OF CONSTRUCTION AT THE END OF EACH DAY. ALL MEASURES AND DEVICES SHALL BE REPAIRED OR REPLACED BEFORE LEAVING THE WORK SITE.
- CONSTRUCTION SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION ON THE APPROVED EROSION AND SEDIMENT CONTROL DRAWINGS.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND INSPECTIONS.
- NUMERICALLY WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- ALL GRADING AND EXCAVATION SHALL BE INSPECTED BY A GEOTECHNICAL ENGINEER.
- THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND DEPTH OF ALL EXISTING UTILITIES, AS NECESSARY PRIOR TO INSTALLING STORM DRAINS. REPORT ANY DISCREPANCIES FROM THE PLANS TO CENTURY ENGINEERING, INC. ALL UTILITIES SHALL BE RETAINED UNLESS LABELED OTHERWISE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS AND WORK REQUIRED TO ADJUST EXISTING AND PROPOSED UTILITIES AND APPURTENANCES TO FINISH GRADES WITHIN THE LIMITS OF WORK. DAMAGE TO EXISTING CONDITIONS AND UTILITIES SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR. THE ULTIMATE STATUS OF ALL EXISTING ELECTRIC, TELEPHONE AND LIGHT POLES WITHIN THE LIMIT OF DISTURBANCE SHALL BE COORDINATED WITH CENTURY ENGINEERING.
- THE CONTRACTOR SHALL HAVE ALL PRIVATE UTILITIES LOCATED PRIOR TO ANY CONSTRUCTION.
- EXISTING UTILITIES WHICH ARE NOT TO BE REMOVED OR ABANDONED SHALL REMAIN OPERATIONAL AT ALL TIMES. APPROPRIATE EXISTING UTILITIES SHALL REMAIN IN SERVICE UNTIL REPLACEMENT/RELOCATED UTILITIES ARE OPERATIONAL.
- THE CONTRACTOR SHALL MAINTAIN 20 FEET MINIMUM COVER OVER ALL UTILITIES DURING CONSTRUCTION.
- UNLESS OTHERWISE NOTED, ALL PROPOSED WATER LINES SHALL HAVE FOUR FEET MINIMUM COVER, 0.5 FEET MINIMUM VERTICAL CLEARANCE FROM ALL STORM DRAIN LINES, AND 10 FEET MINIMUM VERTICAL CLEARANCE ABOVE SANITARY SEWER LINES.
- THERE ARE NO STEEP SLOPES, FLOODPLAINS OR WETLANDS LOCATED ON THIS SITE.
- THIS PROJECT IS SUBJECT TO THE LANDSCAPING REQUIREMENTS OF THE LANDSCAPE MANUAL IN ACCORDANCE WITH THE NEW TOWN ALTERNATIVE COMPLIANCE PROVISION. AN APPROVAL LETTER FROM THE WILDE LAKE VILLAGE BOARD HAS BEEN SUBMITTED TO HOWARD COUNTY.
- THE MINIMUM BUILDING SETBACK RESTRICTIONS FROM PROPERTY LINES AND PUBLIC ROAD RIGHT-OF-WAY ARE TO BE IN ACCORDANCE WITH FDP-2-A-VIII RECORDED ON JUNE 24, 1999 AS PLAT NOS. 3054-A-1789 THRU 1807.
- THIS PROJECT IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS PER COUNCIL BILL 45-2005 AND THE ZONING REGULATIONS AS AMENDED BY COUNCIL BILL 75-2005. DEVELOPMENT OR CONSTRUCTION ON THIS PROPERTY MUST COMPLY WITH SETBACK, AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, WATER PETITION APPLICATION OR BUILDING/GRADING PERMIT APPLICATIONS.
- THIS SITE DEVELOPMENT PLAN IS EXEMPT FROM THE REQUIREMENTS OF THE FOREST CONSERVATION ACT IN ACCORDANCE WITH SECTION 16.12(2)(i)(iv) OF THE HOWARD COUNTY CODE FOR A PLANNED DEVELOPMENT (PD) WHICH HAS PRELIMINARY DEVELOPMENT PLAN APPROVAL AND MORE THAN 50% DEVELOPED PRIOR TO DECEMBER 31, 1992.



**PLAN**  
Scale: 1"=20'

APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
DATE 1/03/08  
B

APPROVED: DEPARTMENT OF PLANNING & ZONING  
 Chief, Development Engineering Division: *[Signature]* 2/4/08  
 Chief, Division of Land Development: *[Signature]* 2/8/08  
 Director: *[Signature]* 3/6/08

Date	No.	Revision Description

**WILDE LAKE TENNIS CENTER**  
 TENNIS CENTER BUILDING REPLACEMENT  
 10499 CROSS FOX LANE  
 COLUMBIA, MARYLAND 21044  
 VILLAGE OF WILDE LAKE, SEC. 4, AREA 1, OPEN SPACE LOT 5  
 OWNER/DEVELOPER:  
**COLUMBIA ASSOCIATION**  
 10221 WINCOPIN CIRCLE  
 COLUMBIA, MARYLAND 21044-3423  
 PHONE NUMBER 410-381-0591

**MM CENTURY ENGINEERING**  
 CONSULTING ENGINEERS - PLANNERS  
 10710 Gilroy Road, Hunt Valley, MD 21031  
 Phone: 443.589.2400 Fax: 443.589.2401

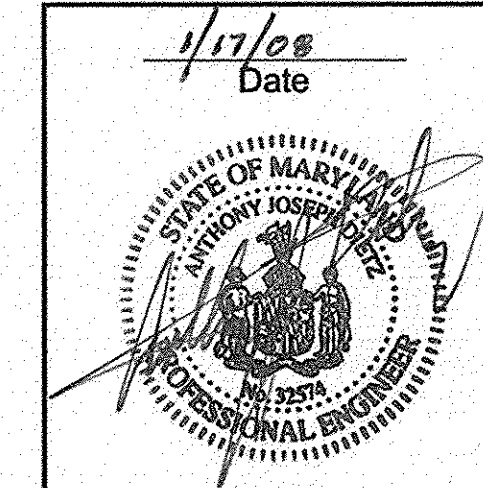
LOT/PARCEL No.	STREET ADDRESS

DESIGNER	SCALE	PROJECT NO.
Designed By: MJP	Scale: 1"=20'	Project No.: 27124.00
Drawn By: MGS	Date: JAN. 30, 2008	
Checked By: AJD	Approved: AJD	2 of 7

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND

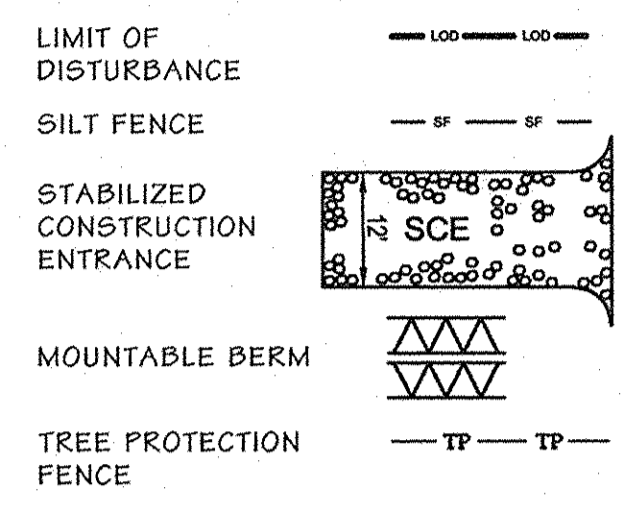
LICENSE NUMBER: 22574 EXPIRATION DATE: 1/16/10



Professional Engr. No. 22574

MCS  
NAD 83/91

### SEDIMENT CONTROL LEGEND



**DEVELOPERS CERTIFICATION**  
I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

*D. McTey* 1/23/08  
SIGNATURE OF DEVELOPER DATE  
**Dennis McTey**  
PRINTED NAME

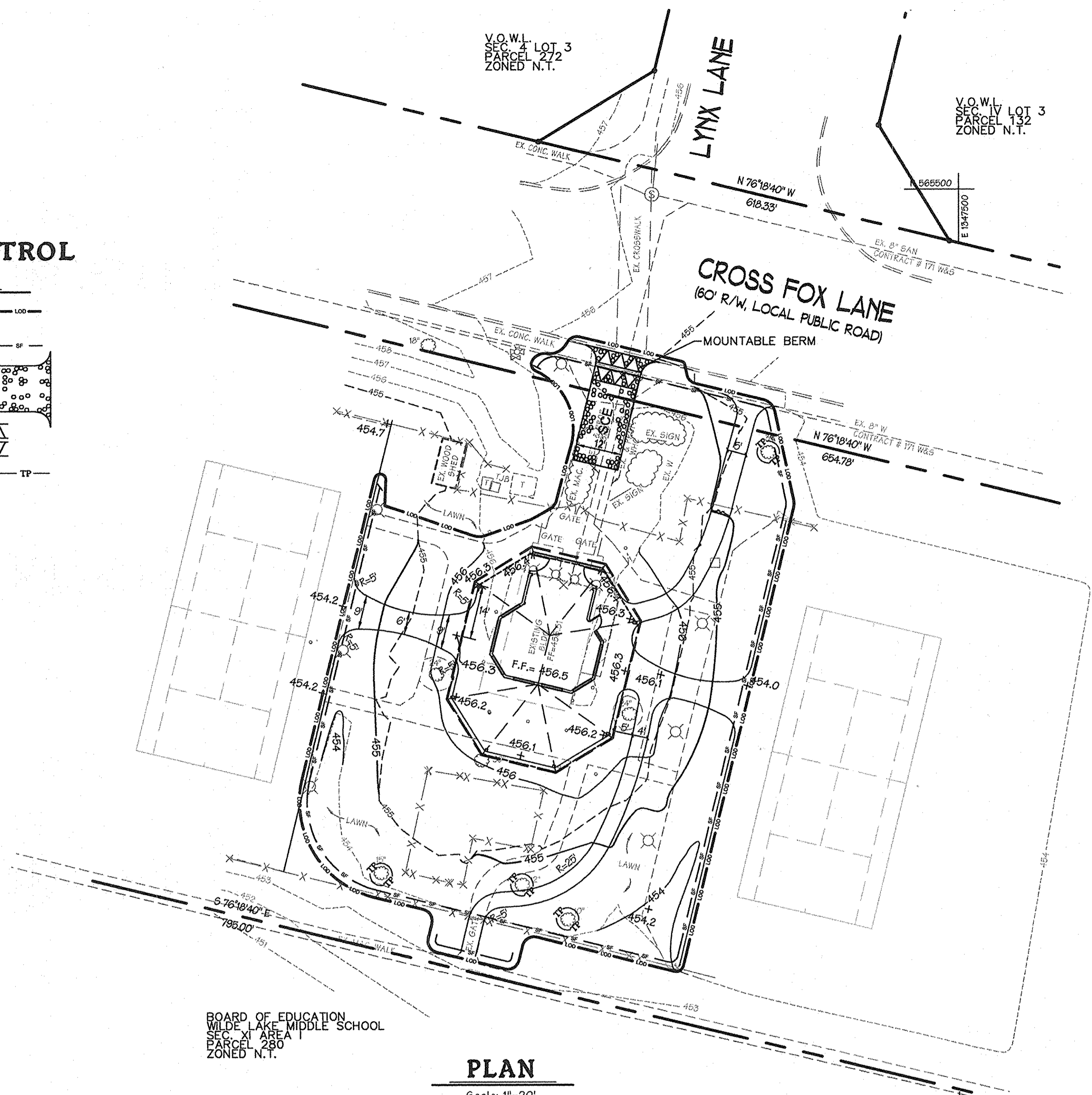
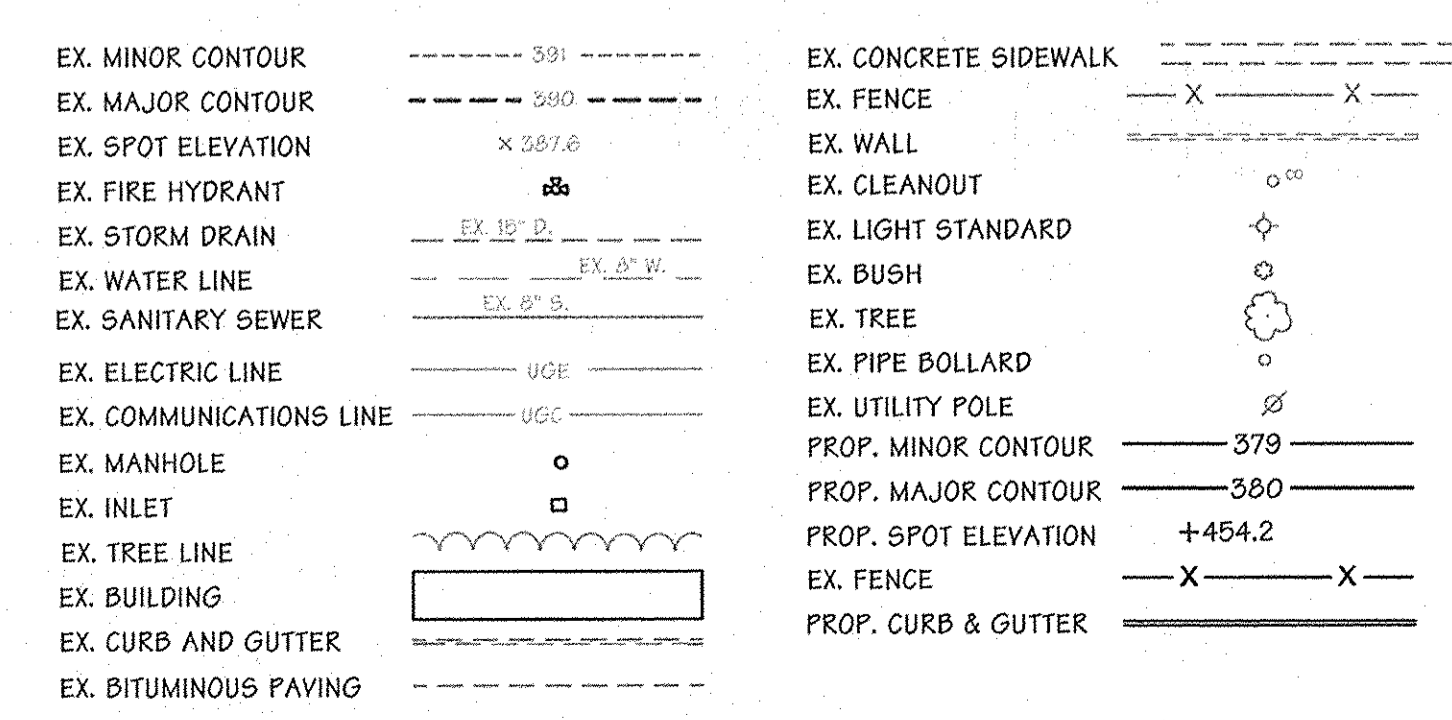
**ENGINEERS CERTIFICATION**  
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*Anthony S. Diety* 1/17/08  
SIGNATURE OF ENGINEER DATE  
**Anthony S. Diety**  
PRINTED NAME

REVIEWED FOR HOWARD S.C.D. & MEETS TECHNICAL REQUIREMENTS.  
U.S. NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS AS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
*John R. Roberts* 1/31/08  
HOWARD S.C.D. DATE

### LEGEND



**PLAN**  
Scale: 1"=20'

NOTE: ADJUST GRADING IN VICINITY OF OVERHEAD ELECTRIC LINE TO MAINTAIN 18 FEET OF VERTICAL CLEARANCE

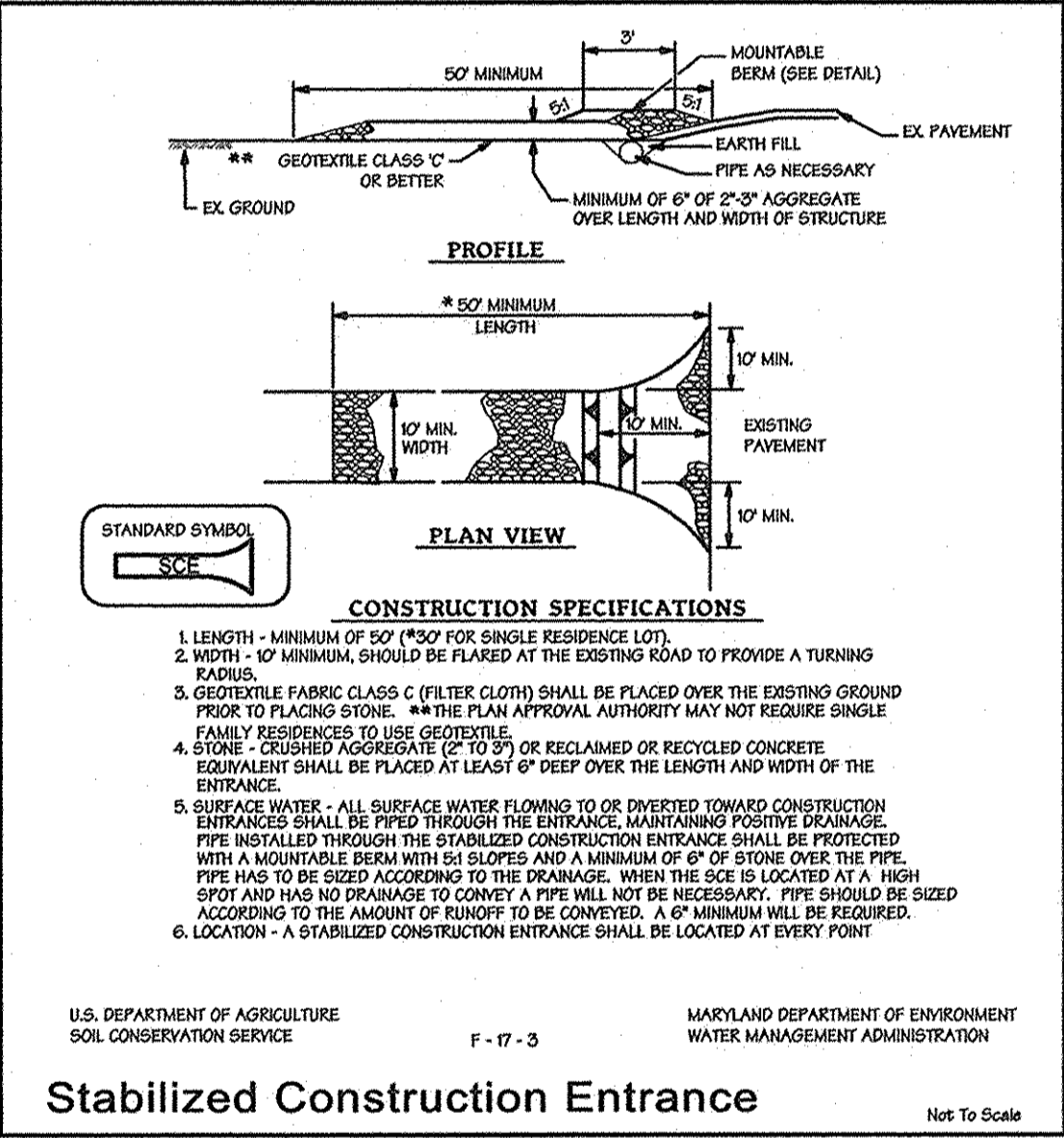
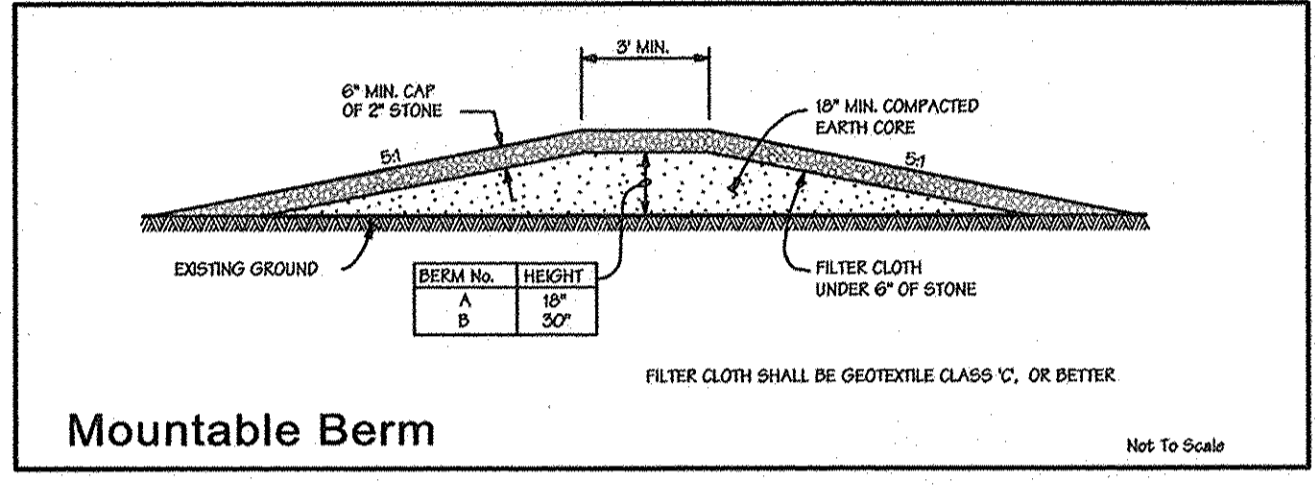
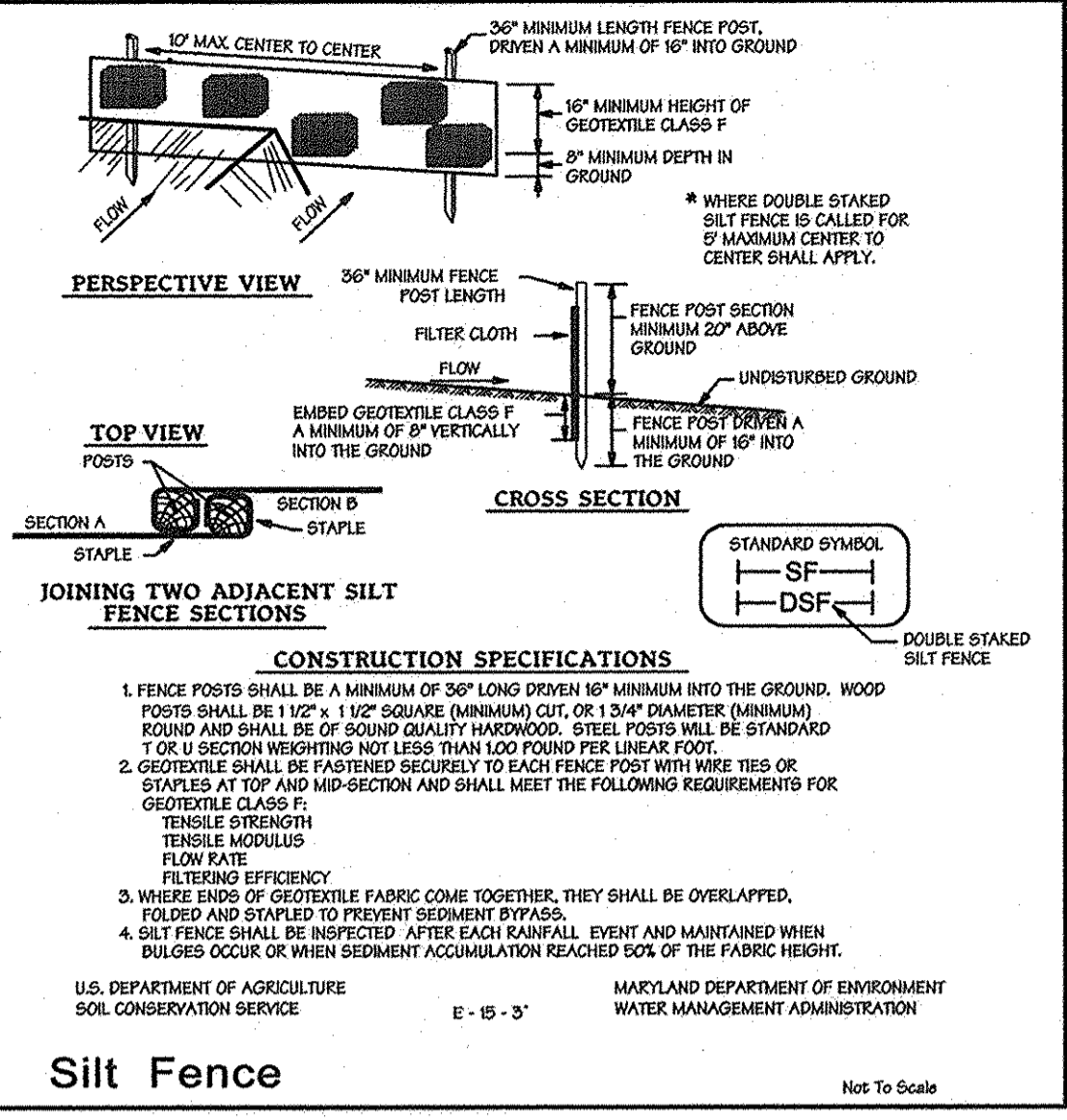
### UTILITY NOTES

- CONTRACTOR SHOULD OPEN THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE SHALL BE PLACED BELOW (DOWNSLOPE) THE TRENCH.
- PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
- ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.

### SEQUENCE OF CONSTRUCTION

- OBTAIN GRADING PERMIT : 1 DAY
- NOTIFY THE HOWARD COUNTY DEPARTMENT OF PERMITS & LICENSES, GRADING AND SEDIMENT CONTROL INSPECTIONS AT 410-313-1855, AT LEAST 48 HOURS PRIOR TO BEGINNING WORK. : 1 DAY
- INSTALL STABILIZATION CONSTRUCTION ENTRANCE AND SILT FENCE : 2 DAYS
- NOTIFY THE HOWARD COUNTY DEPARTMENT OF PERMITS & LICENSES, GRADING AND SEDIMENT CONTROL INSPECTIONS AT 410-313-1855, UPON COMPLETION OF THE INSTALLATION OF THE SEDIMENT CONTROL DEVICES. : 1 DAY
- WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, RAZE EXISTING STRUCTURE, AND CLEAR AND GRUB REMAINDER OF SITE WITHIN LIMIT OF DISTURBANCE. : 1 WEEK
- GRADE SITE AND APPLY PERMANENT STABILIZATION. : 1 WEEK
- CONSTRUCT NEW BUILDING AND INSTALL NEW PATHWAYS : 2 MONTHS
- WHEN ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED AND WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, REMOVE ALL SEDIMENT CONTROL MEASURE, FINE GRADE AND APPLY PERMANENT STABILIZATION TO THOSE AREAS. : 1 WEEK

**HOWARD SOIL CONSERVATION DISTRICT**  
**PERMANENT SEEDING NOTES**  
Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.  
Seedbed Preparation: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.  
Soil Amendments: In lieu of soil test recommendations, use one of the following schedules:  
1. Preferred - Apply 2 tons/acre dolomitic limestone (92 lbs/1000 sq. ft.) and 600 lbs/acre 10-10-10 fertilizer (14 lbs/1000 sq. ft.) before seeding. Harrow or disk into upper three inches of soil. At time of seeding, apply 400 lbs/acre 30-0-0 ureaformal fertilizer (9 lbs/1000 sq. ft.).  
2. Acceptable - Apply 2 tons/acre dolomitic limestone (92 lbs/1000 sq. ft.) and 1000 lbs/acre 10-10-10 fertilizer (23 lbs/1000 sq. ft.) before seeding. Harrow or disk into upper three inches of soil.  
Seeding - For the periods March 1 - April 30 and August 1 - October 15 seed with 60 lbs/acre (1.4 lbs/1000 sq. ft.) of Kentucky 31 Tall Fescue. For the period May 1 - July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs/acre (0.5 lbs/1000 sq. ft.) of weeping lovegrass. During the period of October 16 - February 28, protect site by:  
Option 1 - Two tons per acre of well anchored straw mulch and seed as soon as possible in the spring.  
Option 2 - Use sod. Option 3 - Sod: with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.  
Mulching - Apply 1-1/2 to 2 tons per acre (90 to 90 lbs/1000 sq. ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq. ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq. ft.) for anchoring.  
Maintenance - Inspect all seeding areas and make needed repairs, replacements and reseedings.  
**TEMPORARY SEEDING NOTES**  
Apply to graded or cleared areas likely to be re-disturbed where a short-term vegetative cover is needed.  
Seedbed preparation - Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.  
Soil Amendments - Apply 600 lbs/acre 10-10-10 fertilizer (14 lbs/1000 sq. ft.).  
Seeding - For periods March 1 - April 30 and August 15 - October 15, seed with 2-1/2 bushel per acre of annual ryegrass (3.2 lbs/1000 sq. ft.). For the period May 1 - August 14, seed with 3 bushels of weeping lovegrass (0.7 lbs/1000 sq. ft.). For the period November 16 - February 28, protect site by applying 2 tons/acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.  
Mulching - Apply 1-1/2 to 2 tons/acre (90 to 90 lbs/1000 sq. ft.) of unrotted wood-free, small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal per acre (5 gal/1000 sq. ft.) of emulsified asphalt on flat areas. On slopes 8 ft. or higher, use 348 gal. per acre (8 gal/1000 sq. ft.) for anchoring.  
Refer to the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. For additional rates and methods not covered.



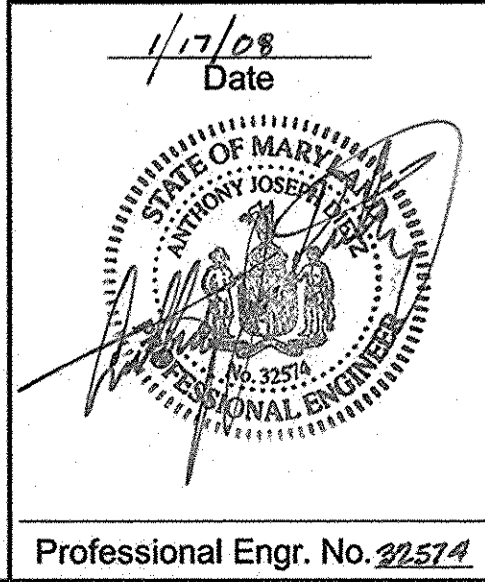
APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
DATE 1/03/08

APPROVED: DEPARTMENT OF PLANNING & ZONING  
*John J. Dwyer* 2/4/08  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE  
*John J. Dwyer* 2/5/08  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE  
*John J. Dwyer* 2/6/08  
DIRECTOR DATE

Date	No.	Revision Description

**WILDE LAKE TENNIS CENTER**  
TENNIS CENTER BUILDING REPLACEMENT  
10489 CROSS FOX LANE  
COLUMBIA, MARYLAND 21044  
VILLAGE OF WILDE LAKE, SEC. 4, AREA 1, OPEN SPACE LOT 5  
OWNER/DEVELOPER:  
**COLUMBIA ASSOCIATION**  
10221 WINGPIN CIRCLE  
COLUMBIA, MARYLAND 21044-3423  
PHONE NUMBER 410-381-0591

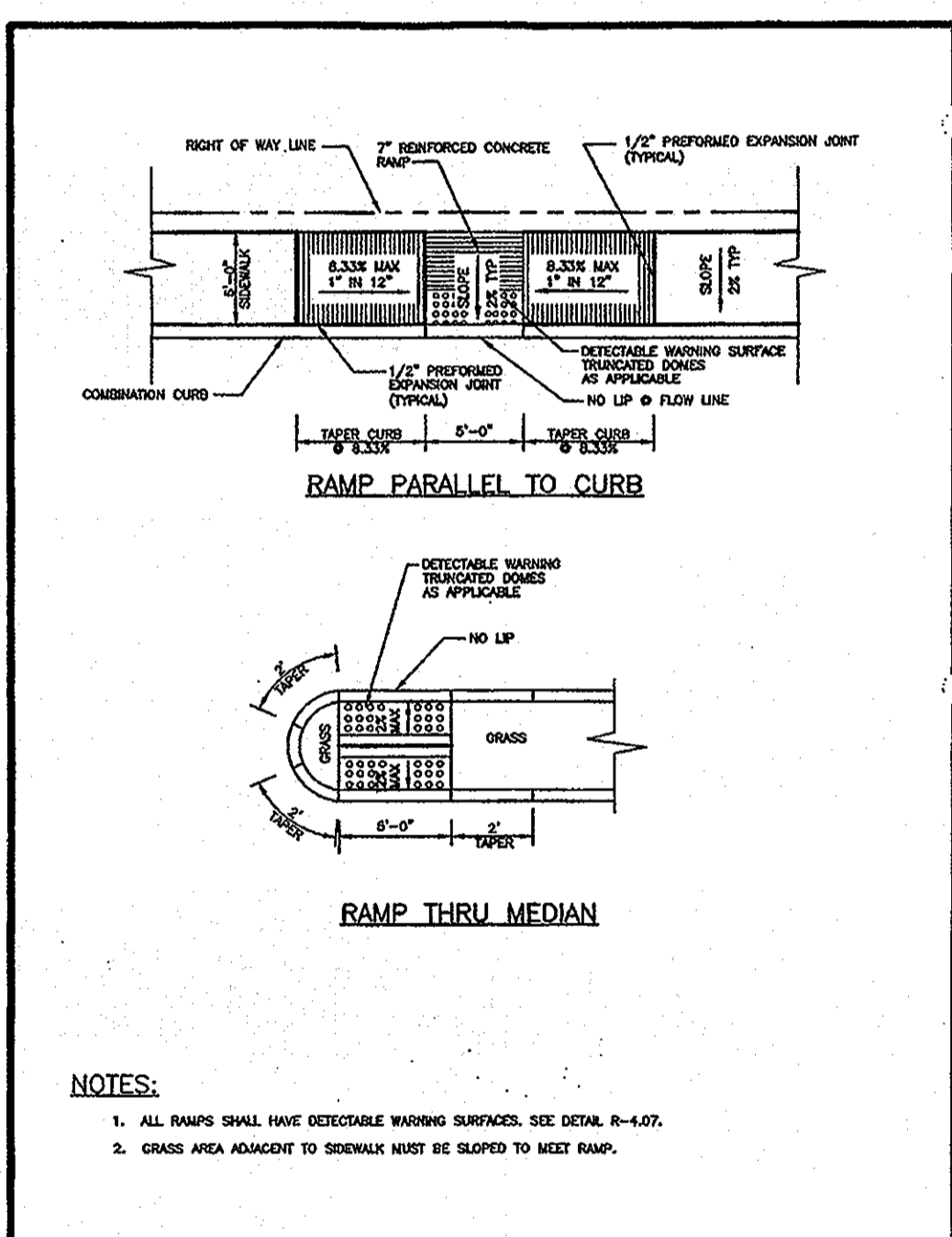
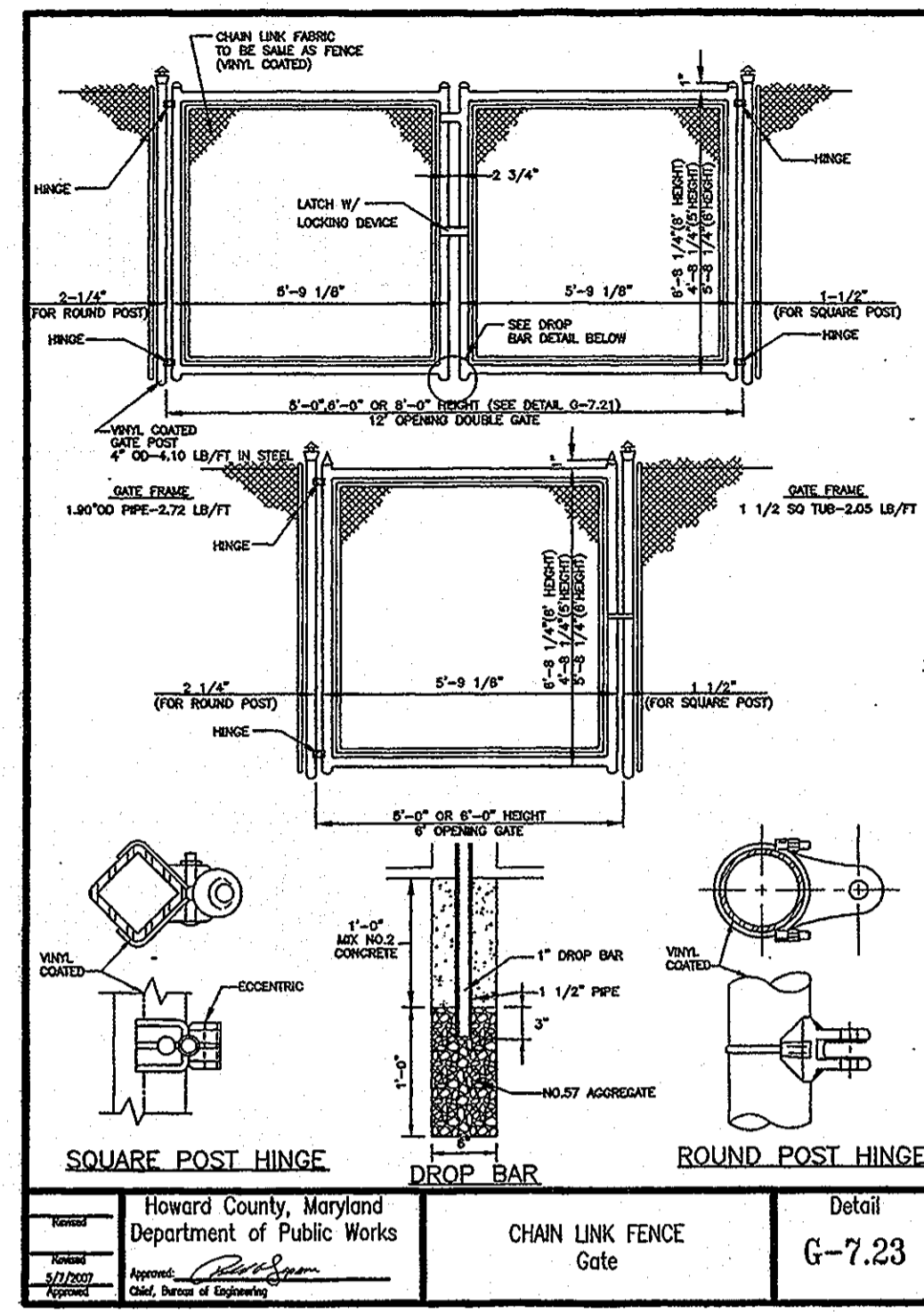
**THIRD CENTURY ENGINEERING**  
CONSULTING ENGINEERS - PLANNERS  
10710 Gilroy Road, Hunt Valley, MD 21031  
Phone: 443.589.2400 Fax: 443.589.2401



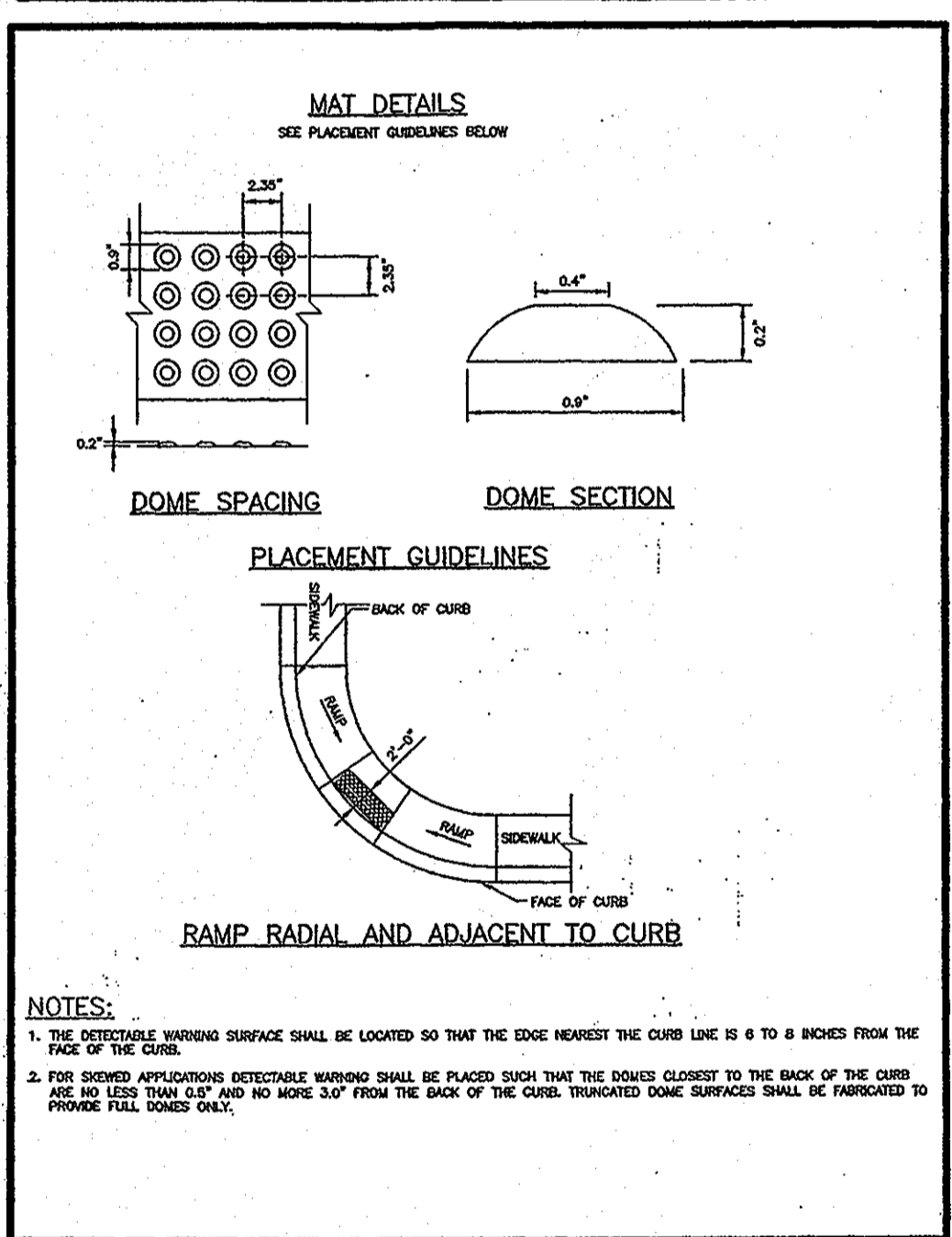
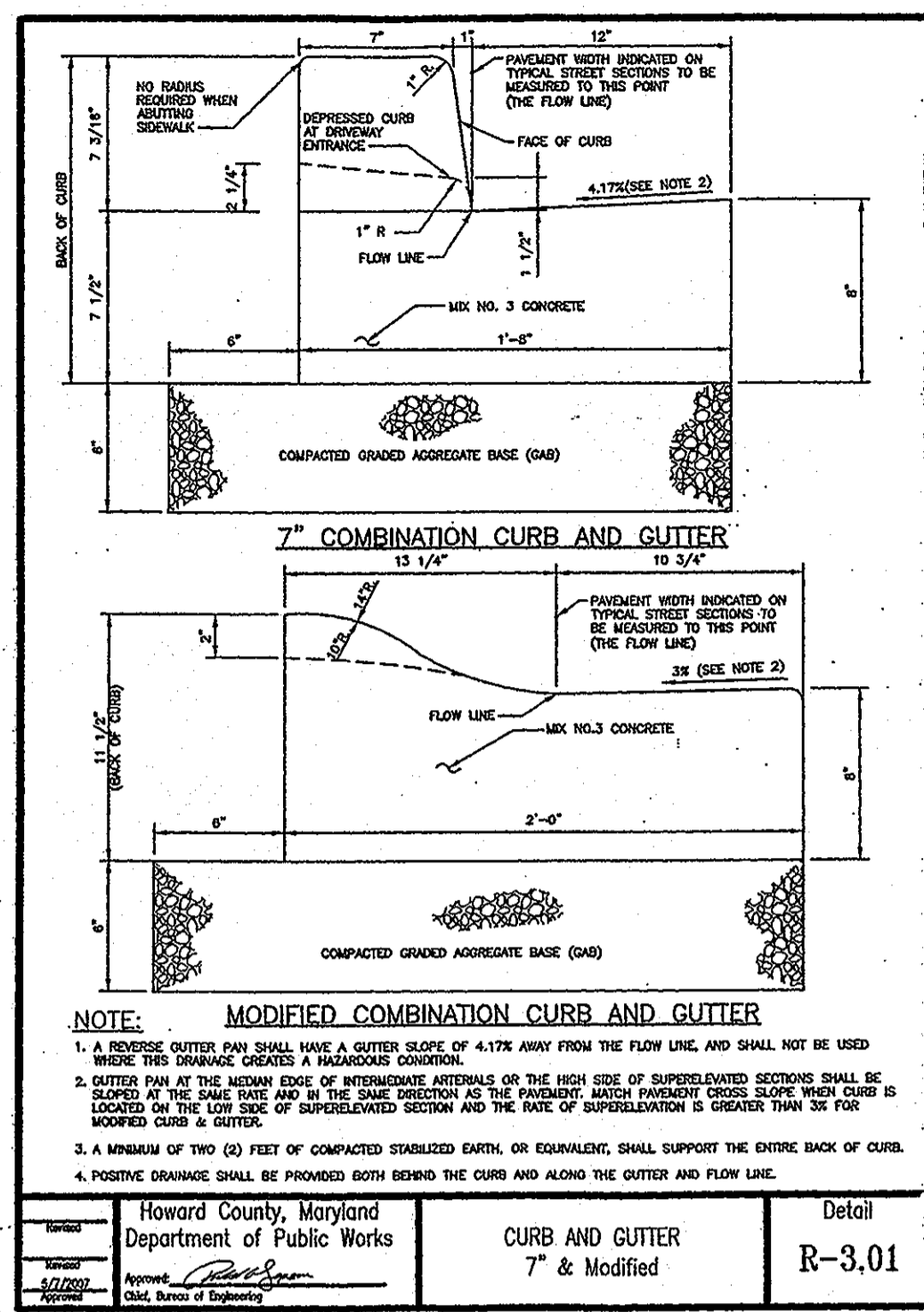
**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND  
LICENSE NUMBER: 22574 EXPIRATION DATE: 1/16/10  
Professional Engr. No. 22574

**EROSION & SEDIMENT CONTROL PLAN**  
Designed By: MJP Scale: 1"=20' Project No.: 27124-00  
Drawn By: MGS Date: JAN. 30, 2008  
Checked By: AJD Approved: AJD 3 of 7

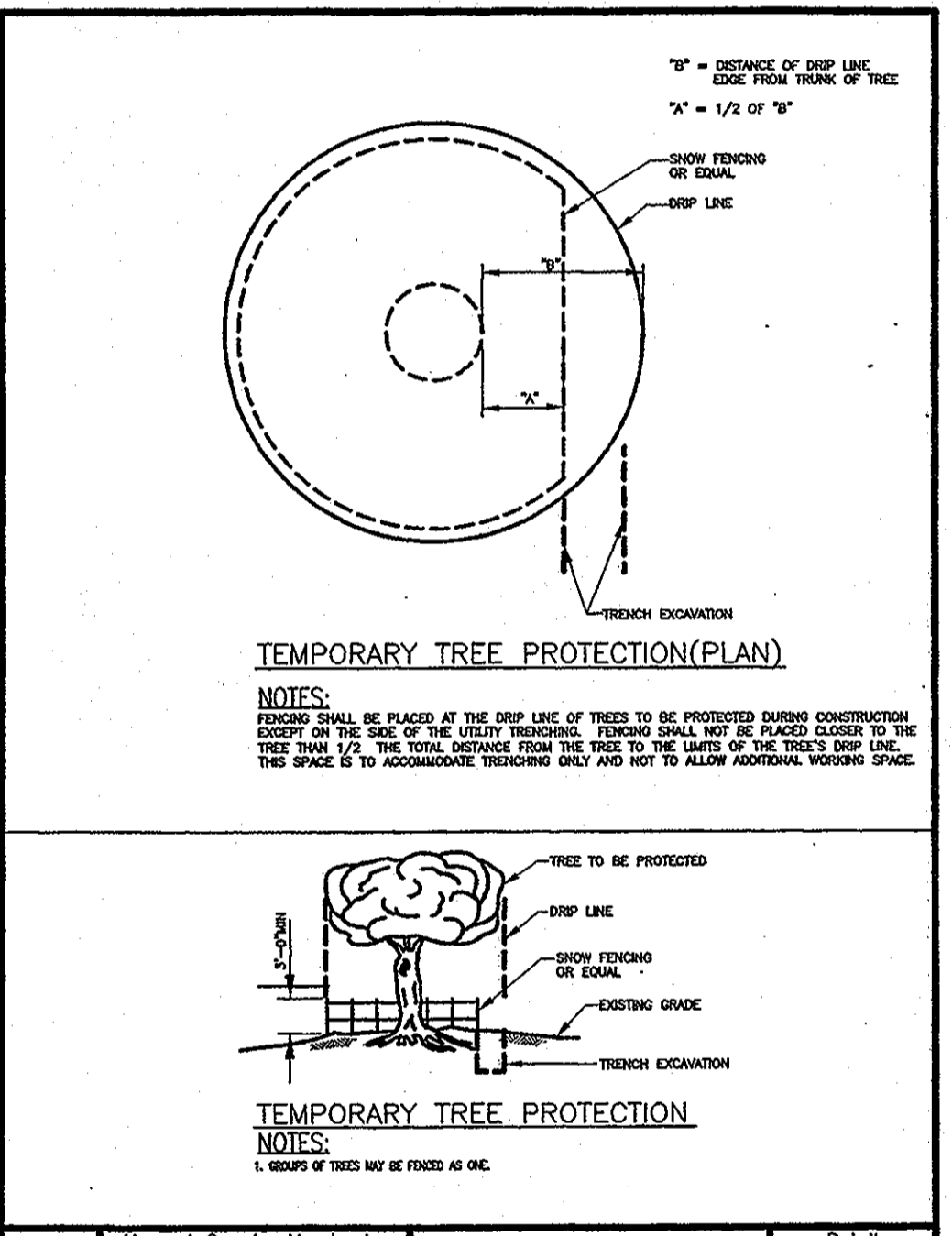
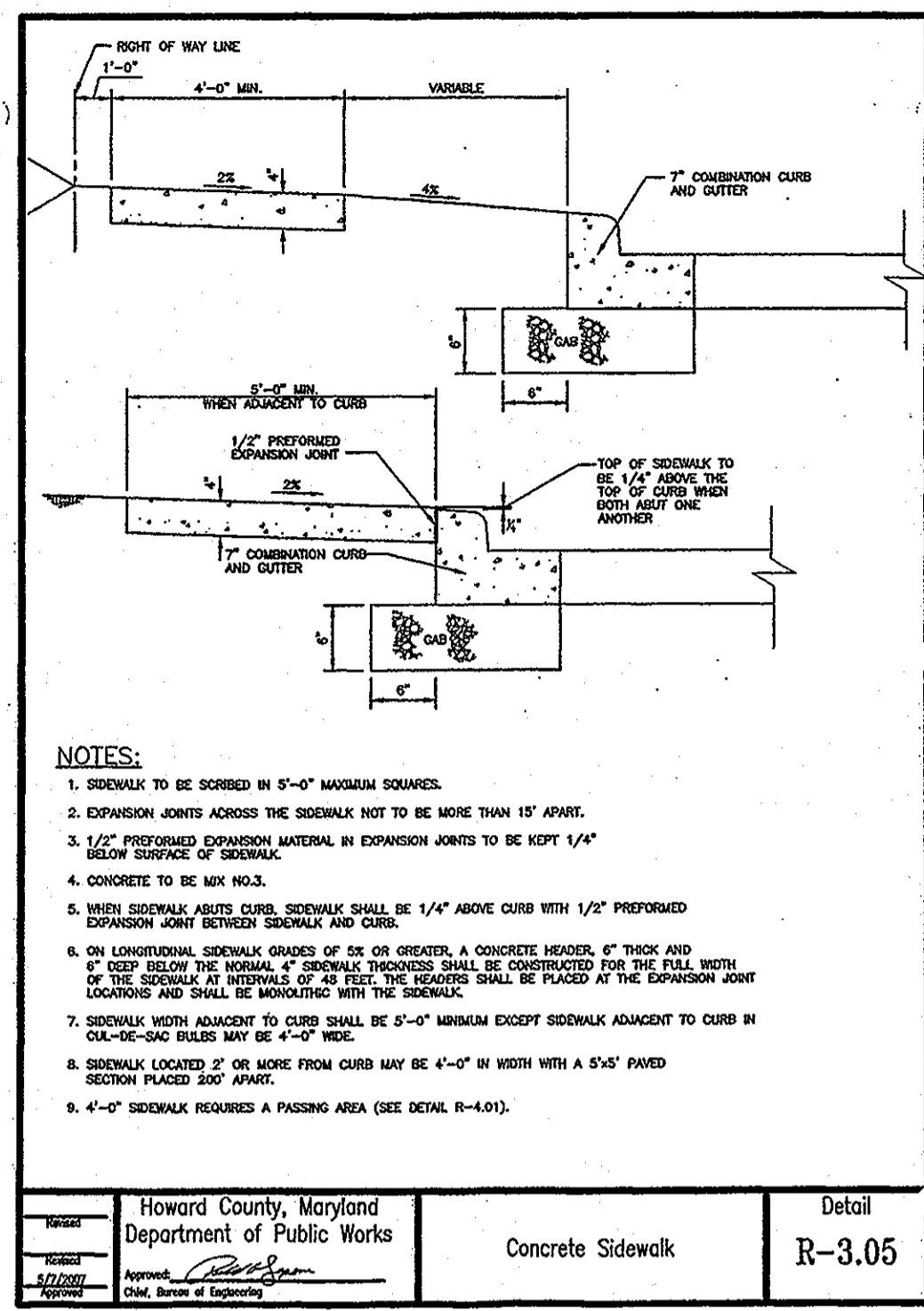
NOTE: Gate opening will be 12' wide & fence height will be 8'.



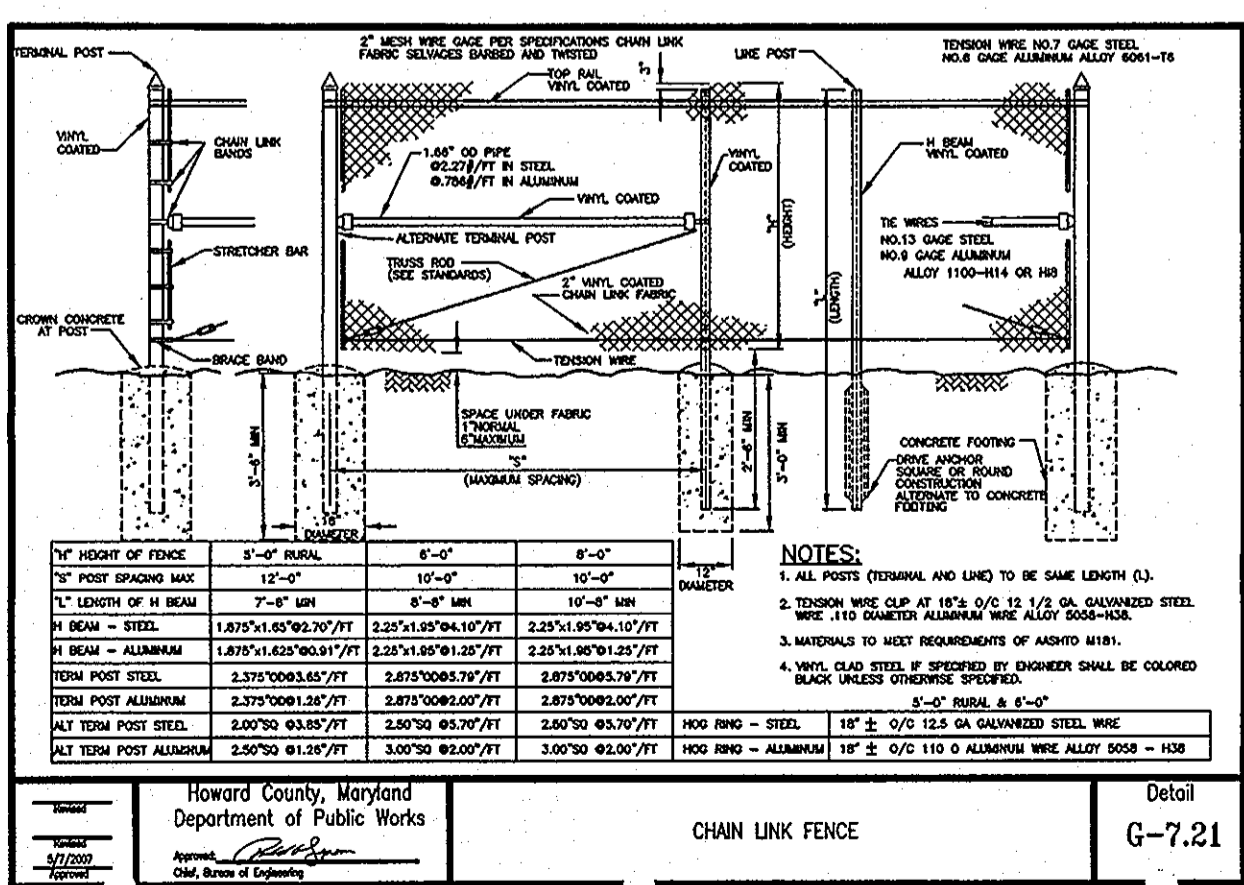
Howard County, Maryland Department of Public Works  
 CHAIN LINK FENCE Gate  
 Detail  
 G-7.23



Howard County, Maryland Department of Public Works  
 CURB AND GUTTER 7\"/>
 Detail  
 R-3.01



Howard County, Maryland Department of Public Works  
 Concrete Sidewalk  
 Detail  
 R-3.05



Howard County, Maryland Department of Public Works  
 CHAIN LINK FENCE  
 Detail  
 G-7.21

SECTION NUMBER	ROAD AND STREET CLASSIFICATION	PAVEMENT MATERIAL (INCHES)	CALIFORNIA BEARING RATIO (CBR)		MIN HMA WITH GAB		HMA WITH CONSTANT GAB	
			3 TO <5	5 TO <7	2.7	3 TO <5	5 TO <7	2.7
P-5	MINOR ARTERIAL	HMA SUPERPAVE FINAL SURFACE 12.5 MM PG 70-22, LEVEL 3 (HIGH ESAL)	2.0	2.0	2.0	2.0	2.0	2.0
		HMA SUPERPAVE INTERMEDIATE SURFACE 12.5 MM PG 64-22, LEVEL 3 (HIGH ESAL)	2.0	2.0	2.0	2.0	2.0	2.0
		HMA SUPERPAVE BASE 19.0 MM PG 64-22, LEVEL 3 (HIGH ESAL)	6.0	6.0	6.0	7.0	5.0	4.0
		GRADED AGGREGATE BASE (GAB)	11.0	5.0	4.0	8.0	8.0	8.0
P-6	UNIMPAVED INTERMEDIATE ARTERIAL DIVIDED INTERMEDIATE ARTERIAL	HMA SUPERPAVE FINAL SURFACE 12.5 MM PG 70-22, LEVEL 3 (HIGH ESAL)	2.0	2.0	2.0	2.0	2.0	2.0
		HMA SUPERPAVE INTERMEDIATE SURFACE 12.5 MM PG 64-22, LEVEL 3 (HIGH ESAL)	2.0	2.0	2.0	2.0	2.0	2.0
		HMA SUPERPAVE BASE 19.0 MM PG 64-22, LEVEL 3 (HIGH ESAL)	7.0	7.0	7.0	8.5	6.5	5.0
		GRADED AGGREGATE BASE (GAB)	13.0	8.0	4.0	8.0	8.0	8.0
P-7	STABILIZED SHOULDER: MINOR ARTERIAL	CHP SEAL DOUBLE SURFACE TREATMENT	1.75	1.75	1.75	NA	NA	NA
		GRADED AGGREGATE BASE (GAB)	16.5	14.5	13.0	NA	NA	NA
P-8	PAVED SHOULDER: UNIMPAVED INTERMEDIATE ARTERIAL SIDEWALK AND PARKING AREAS (PRIVATE) (NOTE: THIS SECTION MAY BE USED IN LIEU OF CONCRETE SIDEWALK IN OFF SITE, PRIVATELY MAINTAINED AREAS ONLY)	HMA SUPERPAVE FINAL SURFACE 12.5 MM PG 64-22, LEVEL 1 (LOW ESAL)	3.0	3.0	3.0	4.0	3.5	3.5
		GRADED AGGREGATE BASE (GAB)	9.5	8.0	5.5	6.0	6.0	6.0

Notes:  
 1) HEAVY TRUCKS ARE DEFINED AS THOSE WITH SIX (6) WHEELS OR MORE INCLUDING GARBAGE TRUCKS.  
 2) HMA SUPERPAVE LAYERS SHALL BE PLACED IN AN APPROPRIATE COMPACTED LIFT THICKNESS: 19.0 MM BASE (2.0\"/>

Howard County, Maryland Department of Public Works  
 PAVING SECTIONS P-5 to P-8  
 Detail  
 R-2.02

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 DATE 1/03/08  
 VS

APPROVED: DEPARTMENT OF PLANNING & ZONING  
 Chief, Development Engineering Division: 2/4/08  
 Chief, Division of Land Development: 2/5/08  
 Director: 2/6/08

**WILDE LAKE TENNIS CENTER**  
 TENNIS CENTER BUILDING REPLACEMENT  
 10499 CROSS FOX LANE  
 COLUMBIA, MARYLAND 21044  
 VILLAGE OF WILDE LAKE, SEC. 4, AREA 1, OPEN SPACE LOT 5  
 OWNER/DEVELOPER:  
**COLUMBIA ASSOCIATION**  
 10221 WINCOPIN CIRCLE  
 COLUMBIA, MARYLAND 21044-3423  
 PHONE NUMBER 410-381-0591

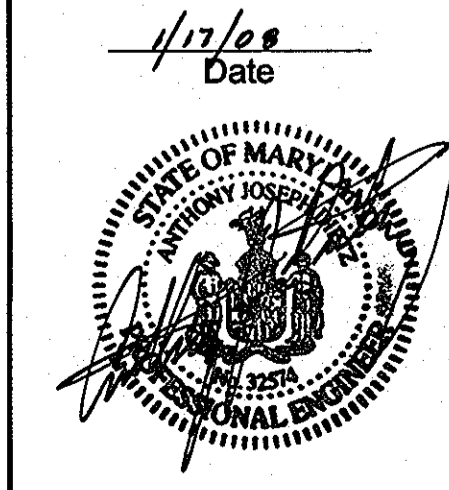
**CENTURY ENGINEERING**  
 CONSULTING ENGINEERS - PLANNERS  
 10710 Gilroy Road, Hunt Valley, MD 21151  
 Phone: 410-589-2400 Fax: 410-589-2401

LOT/PARCEL No. STREET ADDRESS

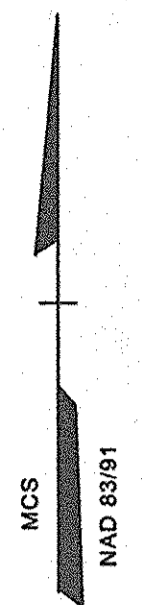
SECTION/AREA 4/1 LOT/PARCEL No. OPEN SPACE LOT 5

TITLE **SITE DETAILS**

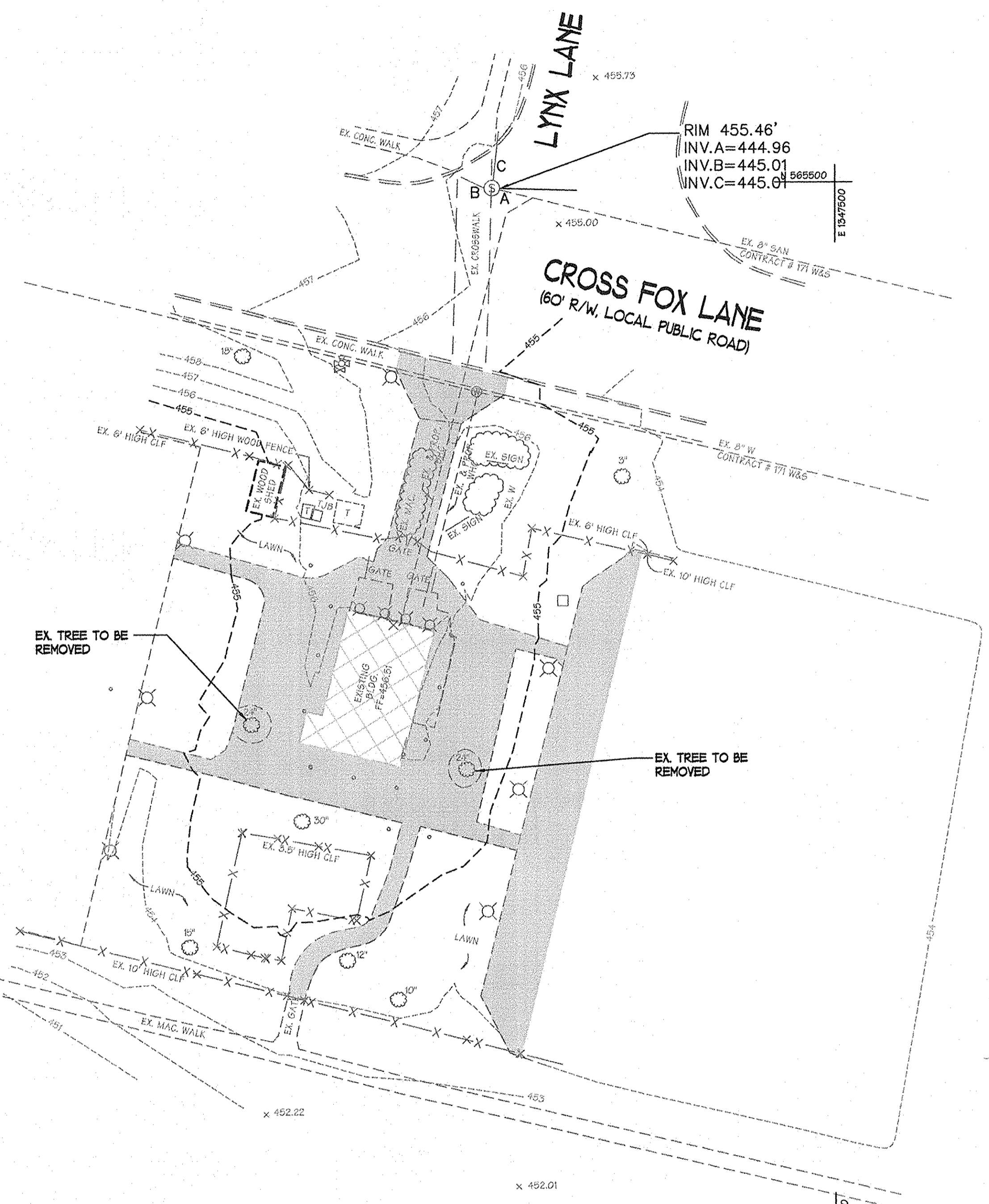
Designed By: MJP Scale: N/A Project No.: 27124.00  
 Drawn By: MGS Date: JAN. 30, 2008  
 Checked By: ASD Approved: ASD 4 of 7



PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND  
 LICENSE NUMBER: 32574 EXPIRATION DATE: 1/16/10  
 Professional Engr. No. 32574



E 1347250  
N 566250



**PLAN**  
Scale: 1"=20'

**LEGEND**

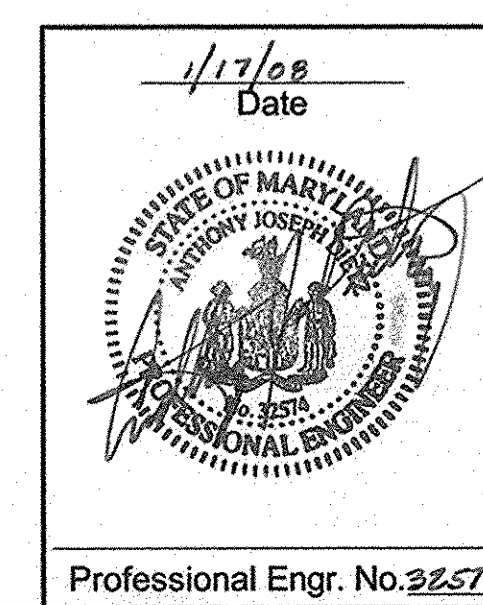
- EXISTING STRUCTURE TO BE RAZED
- EXISTING PAVED SURFACE TO BE REMOVED

**LEGEND**

- |                         |                    |                       |             |
|-------------------------|--------------------|-----------------------|-------------|
| EX. MINOR CONTOUR       | --- 391 ---        | EX. CONCRETE SIDEWALK | --- X ---   |
| EX. MAJOR CONTOUR       | --- 390 ---        | EX. FENCE             | --- X ---   |
| EX. SPOT ELEVATION      | x 387.6            | EX. WALL              | --- X ---   |
| EX. FIRE HYDRANT        | hd                 | EX. CLEANOUT          | o           |
| EX. STORM DRAIN         | --- EX. 18" D. --- | EX. LIGHT STANDARD    | o           |
| EX. WATER LINE          | --- EX. 8" W. ---  | EX. BUSH              | o           |
| EX. SANITARY SEWER      | --- EX. 8" S. ---  | EX. TREE              | o           |
| EX. ELECTRIC LINE       | --- UGE ---        | EX. PIPE BOLLARD      | o           |
| EX. COMMUNICATIONS LINE | --- UGC ---        | EX. UTILITY POLE      | o           |
| EX. MANHOLE             | o                  | PROP. MINOR CONTOUR   | --- 379 --- |
| EX. INLET               | o                  | PROP. MAJOR CONTOUR   | --- 380 --- |
| EX. TREE LINE           | o                  | PROP. SPOT ELEVATION  | +454.2      |
| EX. BUILDING            | o                  | EX. FENCE             | --- X ---   |
| EX. CURB AND GUTTER     | o                  | PROP. CURB & GUTTER   | --- X ---   |
| EX. BITUMINOUS PAVING   | o                  |                       |             |

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND  
LICENSE NUMBER: 22574 EXPIRATION DATE: 1/16/10



APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
DATE 1/03/08  
KS

APPROVED: DEPARTMENT OF PLANNING & ZONING  
 Chief, Development Engineering Division: *[Signature]* 2/4/08  
 Chief, Division of Land Development: *[Signature]* 2/5/08  
 Director: *[Signature]* 2/6/08

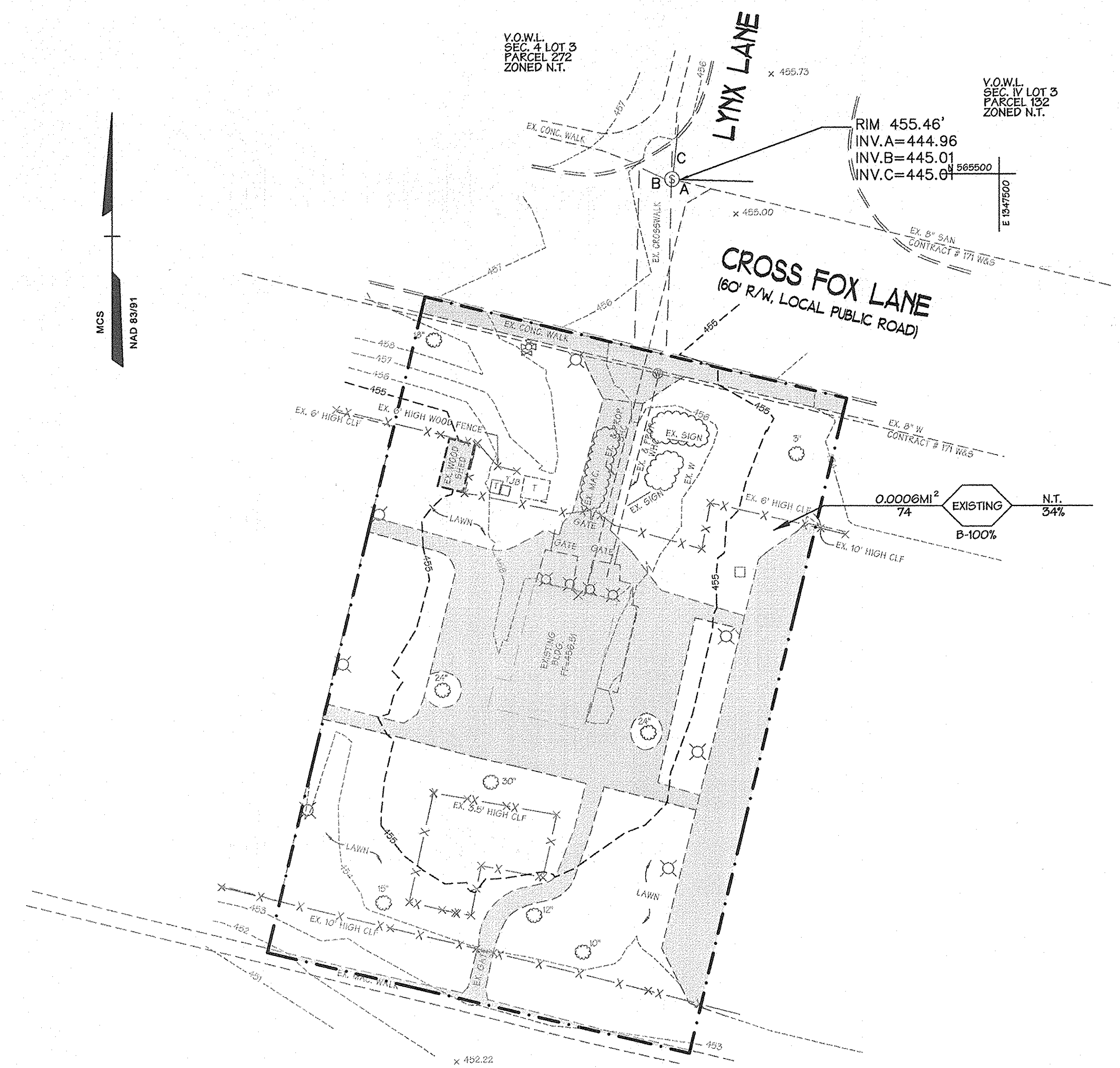
Date	No.	Revision Description

**WILDE LAKE TENNIS CENTER**  
 TENNIS CENTER BUILDING REPLACEMENT  
 10489 CROSS FOX LANE  
 COLUMBIA, MARYLAND 21044  
 VILLAGE OF WILDE LAKE, SEC. 4, AREA 1, OPEN SPACE LOT 5  
 OWNER/DEVELOPER:  
**COLUMBIA ASSOCIATION**  
 10221 WINGOPIN CIRCLE  
 COLUMBIA, MARYLAND 21044-3423  
 PHONE NUMBER 410-381-0591



LOT/PARCEL No.	STREET ADDRESS	
DATE	1/17/08	
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL No.
VILLAGE OF WILDE LAKE	4/1	OPEN SPACE LOT 5
PLAT OR L.P.	TAX MAP No.	ELECT. DISTRICT
3324/91	24 NT	5
WATER CODE	SEWER CODE	CENSUS TRACT
171	171	6054.02
<b>TITLE</b>		
<b>Demolition Plan</b>		
Designed By: MJP	Scale: 1"=20'	Project No.: 27124.00
Drawn By: MSS	Date: JAN. 30, 2008	
Checked By: ADD	Approved: ADD	<b>5 of 7</b>

Y.O.W.L. SEC. 4 LOT 3 PARCEL 272 ZONED N.T.  
 RIM 455.46'  
 INV. A=444.96  
 INV. B=445.01  
 INV. C=445.01



**LEGEND**

- IMPERVIOUS AREA
- LIMIT OF SWM STUDY AREA

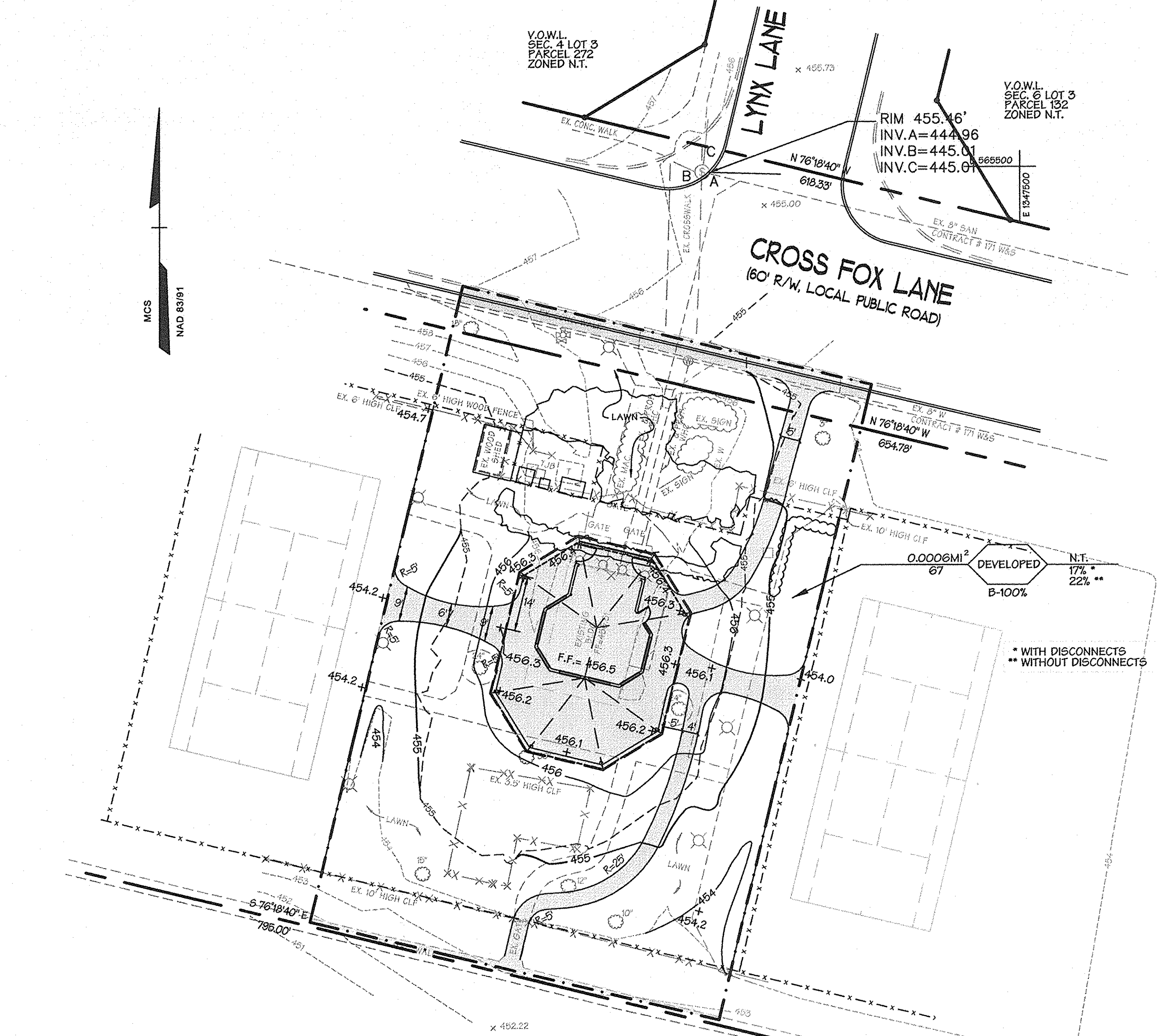
BOARD OF EDUCATION  
 WILDE LAKE MIDDLE SCHOOL  
 SEC. XI AREA 1  
 PARCEL 290  
 ZONED N.T.

NOTE: ALL ON-SITE SOILS CONSIST OF HYDROLOGIC SOIL GROUP B, GLENELOG SOIL SERIES (G1C2)

**EXISTING CONDITIONS PLAN**

Scale: 1"=20'

Y.O.W.L. SEC. 4 LOT 3 PARCEL 272 ZONED N.T.  
 RIM 455.46'  
 INV. A=444.96  
 INV. B=445.01  
 INV. C=445.01



**LEGEND**

- IMPERVIOUS AREA
- LIMIT OF SWM STUDY AREA

BOARD OF EDUCATION  
 WILDE LAKE MIDDLE SCHOOL  
 SEC. XI AREA 1  
 PARCEL 290  
 ZONED N.T.

NOTE: ALL ON-SITE SOILS CONSIST OF HYDROLOGIC SOIL GROUP B, GLENELOG SOIL SERIES (G1C2)

**PROPOSED CONDITIONS PLAN**

Scale: 1"=20'

NOTE: REFER TO SHEET 7 OF 7 FOR SWM CREDITS & REDEVELOPMENT PLAN

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 DATE 1/02/08

APPROVED: DEPARTMENT OF PLANNING & ZONING  
 [Signature] 2/14/08  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 [Signature] 7/9/08  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 [Signature] 7/6/08  
 DIRECTOR

Date	No.	Revision Description

**WILDE LAKE TENNIS CENTER**  
 TENNIS CENTER BUILDING REPLACEMENT  
 10489 CROSS FOX LANE  
 COLUMBIA, MARYLAND 21044  
 VILLAGE OF WILDE LAKE, SEC. 4, AREA 1, OPEN SPACE LOT 5  
 OWNER/DEVELOPER:  
**COLUMBIA ASSOCIATION**  
 10221 WINCOPIN CIRCLE  
 COLUMBIA, MARYLAND 21044-3423  
 PHONE NUMBER 410-381-0581

**CENTURY ENGINEERING**  
 CONSULTING ENGINEERS - PLANNERS  
 10710 Gilroy Road, Hunt Valley, MD 21031  
 Phone: 443.589.2400 Fax: 443.589.2401

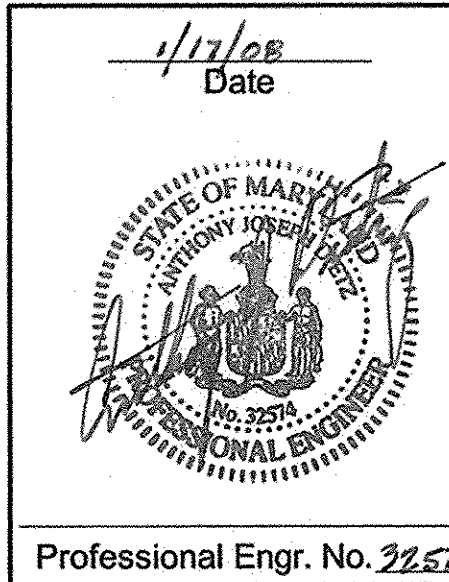
LOT/PARCEL No.	STREET ADDRESS

SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL No.
VILLAGE OF WILDE LAKE	4/1	OPEN SPACE LOT 5
PLAY OR LA	24	NT
TAX MAP No.	ELECT. DISTRICT	CENSUS TRACT
3324/91	29	5
WATER CODE	SHER CODE	
171	171	

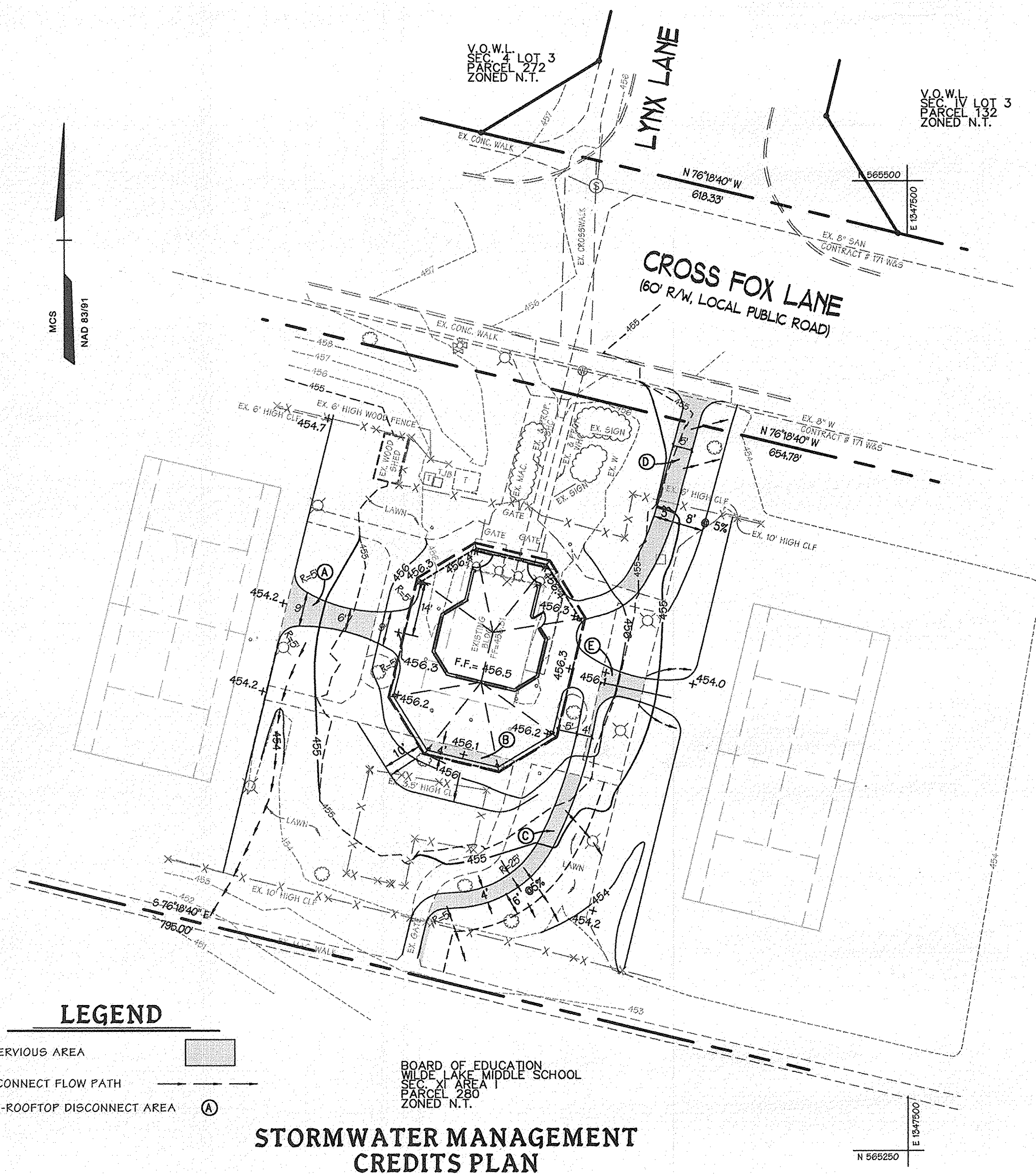
TITLE **Stormwater Management Drainage Plan**

Designed By: MJP Scale: 1"=20' Project No.: 27124.00  
 Drawn By: M55 Date: JAN. 30, 2008  
 Checked By: AJD Approved: AJP **6 of 7**

**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND  
 LICENSE NUMBER: 32574 EXPIRATION DATE: 1/16/10



TOTAL SITE AREA: 17,808 SF / 0.41 AC  
 EXISTING IMPERVIOUS: 6,085 SF / 0.14 AC  
 PROPOSED IMPERVIOUS OVER EXISTING IMPERVIOUS: 3,134 SF / 0.07 AC (50% REDUCTION)  
 NEW IMPERVIOUS OVER EXISTING IMPERVIOUS: 868 SF / 0.02 AC  
 TOTAL PROPOSED IMPERVIOUS: 4,002 SF / 0.09 AC (36% REDUCTION)



**LEGEND**

- IMPERVIOUS AREA [shaded box]
- DISCONNECT FLOW PATH [line with arrow]
- NON-ROOFTOP DISCONNECT AREA (A)

BOARD OF EDUCATION  
 WILDE LAKE MIDDLE SCHOOL  
 SEC. XI AREA  
 PARCEL 280  
 ZONED N.T.

**STORMWATER MANAGEMENT CREDITS PLAN**

Scale: 1"=20'

**LEGEND**

- EXISTING IMPERVIOUS [shaded box]
- PROPOSED IMPERVIOUS / OVER EXISTING IMPERVIOUS [diagonal hatched box]
- "NEW" IMPERVIOUS / OVER EXISTING IMPERVIOUS [solid dark box]
- LIMIT OF SWM STUDY AREA [dashed line]

BOARD OF EDUCATION  
 WILDE LAKE MIDDLE SCHOOL  
 SEC. XI AREA  
 PARCEL 280  
 ZONED N.T.

**STORMWATER MANAGEMENT REDEVELOPMENT PLAN**

Scale: 1"=20'

NOTE: ALL ON-SITE SOILS CONSIST OF HYDROLOGIC SOIL GROUP B, GLENELG SOIL SERIES (GIC2)

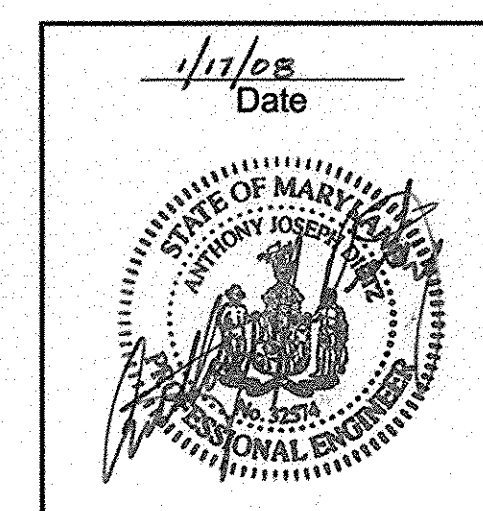
NON ROOFTOP DISCONNECT AREA	AREA SF *	DISCONNECT LENGTH & SLOPE	LENGTH OF IMPERV. AREA	FLOW TYPE
A	188	80' @ 3.75%	8'±	TO SWALE
B	100	10' @ 4.00%	4'	SHEET
C	224	6' MIN. @ 3%	4'	SHEET
D	280	8' MIN. @ 5%	5'	SHEET
E	76	15' MIN. @ 2% 5'±	SHEET	

\* MAXIMUM IMPERVIOUS AREA TO A GIVEN DISCONNECT

**PROFESSIONAL CERTIFICATION**

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LICENSE NUMBER: 22574 EXPIRATION DATE: 1/16/10



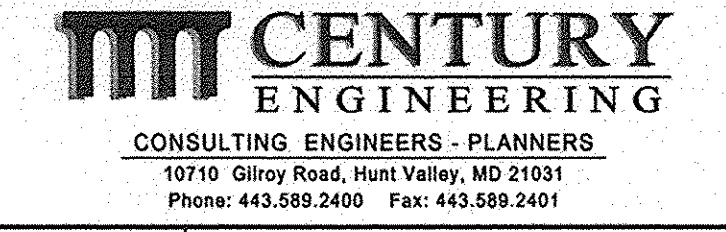
Professional Engr. No. 22574

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 DATE 1/03/08

APPROVED: DEPARTMENT OF PLANNING & ZONING  
 [Signature] 2/4/08  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 [Signature] 2/5/08  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 [Signature] 2/6/08  
 DIRECTOR

Date	No.	Revision Description

**WILDE LAKE TENNIS CENTER**  
 TENNIS CENTER BUILDING REPLACEMENT  
 10499 CROSS FOX LANE  
 COLUMBIA, MARYLAND 21044  
 VILLAGE OF WILDE LAKE, SEC. 4, AREA 1, OPEN SPACE LOT 5  
 OWNER/DEVELOPER:  
**COLUMBIA ASSOCIATION**  
 10221 WINGOPIN CIRCLE  
 COLUMBIA, MARYLAND 21044-3423  
 PHONE NUMBER 410-381-0591



LOT/PARCEL No.		STREET ADDRESS	
SUBDIVISION NAME	VILLAGE OF WILDE LAKE	SECTION/AREA	4/1
VILLAGE OR LOT	OPEN SPACE LOT 5	LOT/PARCEL No.	
GRID #	24	TAX MAP No.	29
ZONE	NT	ELECT. DISTRICT	5
SEWER CODE	171	CENSUS TRACT	6054.02
TITLE <b>Stormwater Management Water Quality Credit Plans</b>			
Designed By:	MJP	Scale:	1"=20'
Drawn By:	MSS	Date:	JAN. 30, 2008
Checked By:	ADD	Approved:	ADD
		Project No.:	27124.00
		<b>7 of 7</b>	