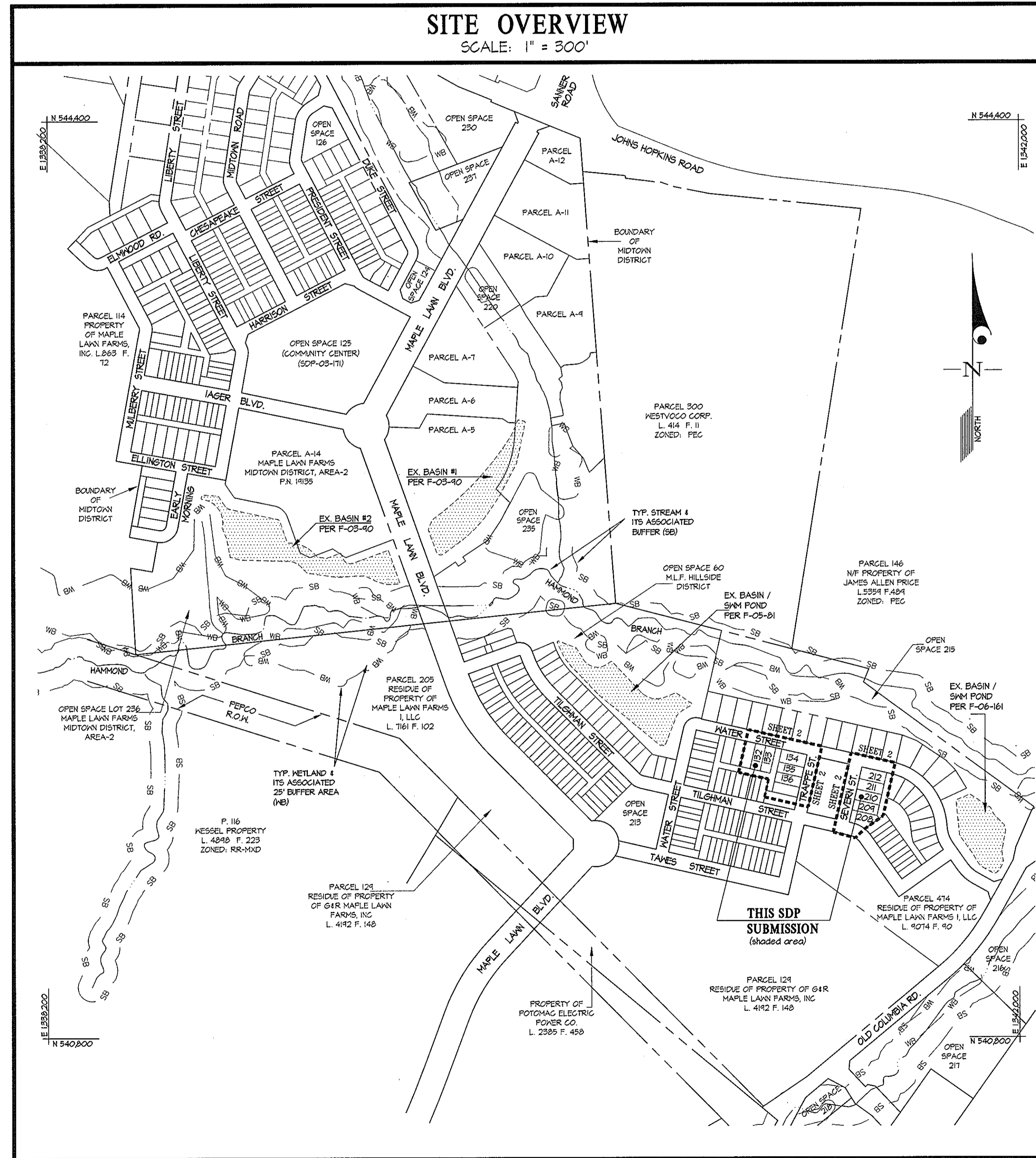
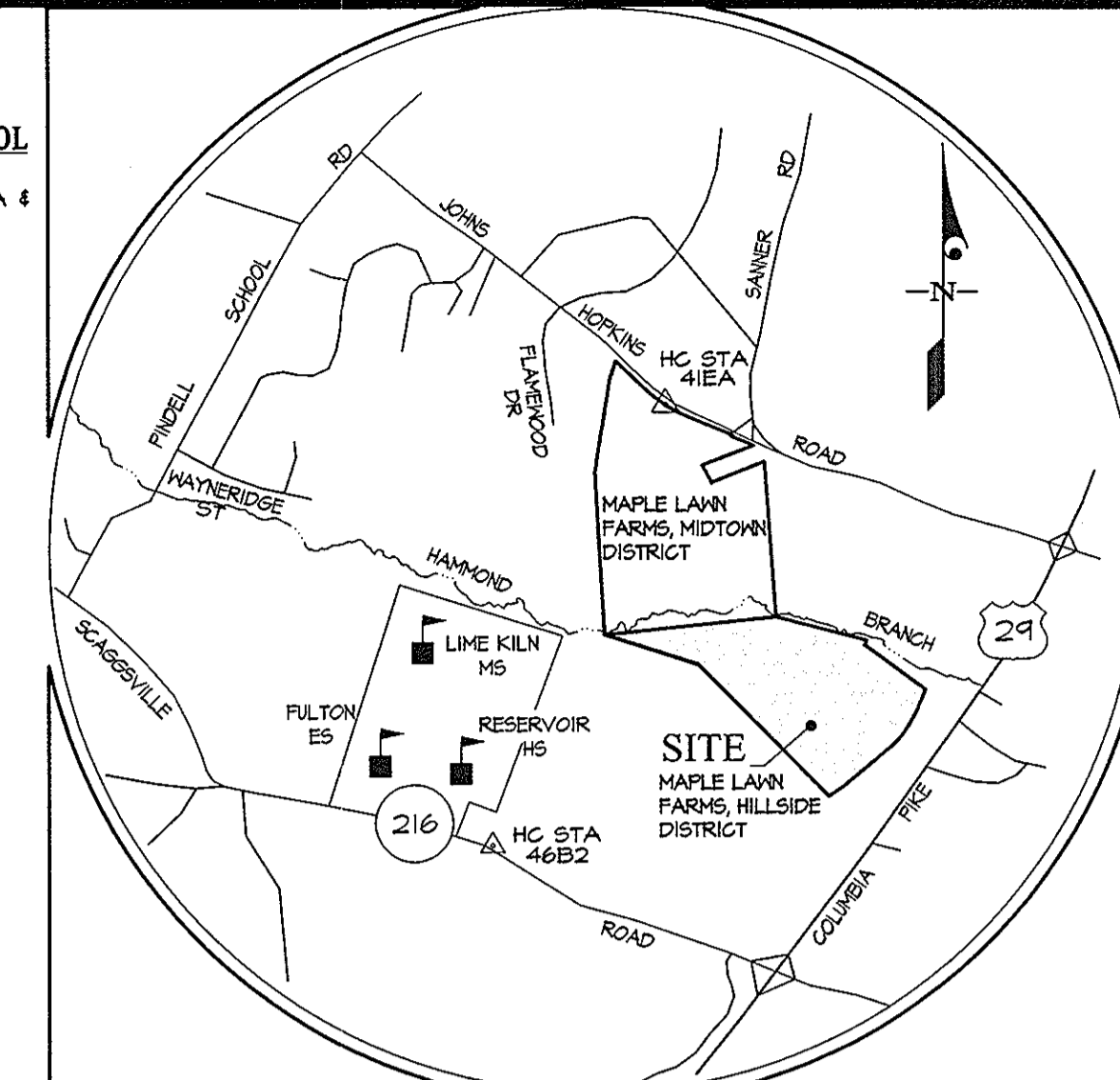


MAPLE LAWN FARMS SITE DEVELOPMENT PLAN

HILLSIDE DISTRICT -- AREA 3 LOTS 132-136 and 208-212 FIFTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND



HOWARD COUNTY CONTROL
 NAD83 HORIZONTAL DATA &
 NVD88 VERTICAL DATA
 41EA N 544825.809
 E 1394217.444
 ELY: 407.053
 46B2 N 539989.1217
 E 1391218.484
 ELY: 474.671



OVERALL OPEN SPACE PROVISION FOR MAPLE LAWN FARMS

PHASE NUMBER (AND NAME)	APPROVED DPZ FILE NO.	PHASE AREA GROSS ACREAGE	REQUIRED OPEN SPACE (35% OF GROSS AC.)	OPEN SPACE PROVIDED IN AC. (B) *	REQUIRED ACTIVE OPEN SPACE IN AC. **	ACTIVE RECREATION O.S. PROVIDED IN AC. (C) ***
1 (BUSINESS DISTRICT, AREA-1)	F-03-07	51.98	18.19	21.5 (40.7)	1.82	1.52 (41.7) ①
2 (MIDTOWN DISTRICT, AREA-1)	F-03-40	31.48	10.99	15.75 (42.1)	1.31	1.31 (41.7) ①
3 (MIDTOWN DISTRICT, AREA-2)	F-04-42	58.80	20.58	22.85 (38.9)	2.06	2.06 (41.7) ①
4a (HILLSIDE DISTRICT, AREA-1)	F-05-81	15.41	5.41	6.70 (43.3)	0.54	0.29 (4.3) ②
4b (MIDTOWN DISTRICT, AREA-3)	F-05-194	0.00	0.00	0.00	0.00	0.00
4c (BUSINESS DISTRICT, AREA-2)	F-05-112/113	3.00	1.05	0.00	0.10	0.10
5a (HILLSIDE DISTRICT, AREA-1)	F-06-43	0.00	0.00	0.00	0.00	0.00
5b (HILLSIDE DISTRICT, AREA-3)	F-06-161	33.26	11.64	19.50 (58.4)	1.16	1.61 (8.7)
TOTAL		194.94	69.47	84.95 (42.5)	6.94	9.42 (11)

* THE PERCENTAGE OF OPEN SPACE PROVIDED IS BASED ON THE GROSS SITE ACREAGE.
 ** 10% OF THE OPEN SPACE PROVIDED MUST BE AVAILABLE FOR ACTIVE RECREATION.
 *** THE PERCENTAGE OF ACTIVE RECREATION O.S. PROVIDED IS BASED ON THE O.S. PROVIDED (CUMULATIVE TOTAL ACREAGE).
 ① 1.52 AC. = COMMUNITY CENTER (0.5, 1.25 - 5.01 AC.), 0.5, 1.26 (0.35 AC.) AND 0.5, 2.30 (1.96 AC.)
 ② 0.29 AC. = PATHWAYS
 OPEN SPACE LOTS 126 AND 230 ARE CONSIDERED RECREATIONAL SINCE RESIDENTS WILL BE ABLE TO GATHER AND CHILDREN WILL BE ABLE TO PLAY IN THESE AREAS.

THIS PLAN HAS BEEN SET UP TO ALLOW MULTIPLE GRADING PERMITS, IN ACCORDANCE WITH APPLICABLE POLICY FOR M.F.

LOT GROUPS	DISTURBED AREA	LANDSCAPE SURETY AMOUNT	LANDSCAPE INSPECTION FEES PAID
132-136	0.741 AC	\$3,120.00	\$ 100.00
208-212	0.731 AC	\$4,500.00	\$ 100.00
TOTAL	1.471 AC	\$7,620.00	\$ 200.00

WITHIN 1 YEAR OF SIGNATURE APPROVAL OF THIS SDP BY THE DIRECTOR OF DPZ, THE BUILDER SHALL APPLY TO THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS FOR BUILDING PERMITS TO INITIATE THE CONSTRUCTION ON THIS SDP. THE BUILDER SHALL APPLY FOR BUILDING PERMITS FOR ALL CONSTRUCTION AUTHORIZED ON THIS SDP WITHIN 5 YEARS OF ITS APPROVAL.

SHEET INDEX

- COVER SHEET
- SITE DEVELOPMENT PLAN
- SITE DETAILS
- SEDIMENT & EROSION CONTROL PLAN
- SEDIMENT CONTROL NOTES & DETAILS
- LANDSCAPE PLAN, NOTES & DETAILS
- LANDSCAPE PLAN, NOTES & DETAILS

ADDRESS CHART

LOT NO.	STREET ADDRESS	LOT NO.	STREET ADDRESS
132	1746 WATER STREET	208	1402 SEVERN STREET
133	1748 WATER STREET	209	1404 SEVERN STREET
134	1749 TRAPPE STREET	210	1406 SEVERN STREET
135	1747 TRAPPE STREET	211	1408 SEVERN STREET
136	1745 TRAPPE STREET	212	1410 SEVERN STREET

WATER CODE: E21	SEWER CODE: 1645000
DEVELOPMENT NAME: MAPLE LAWN FARMS, HILLSIDE DISTRICT - AREA 3	DISTRICT/AREA: HILLSIDE/AREA-3
PLAT 18744-18750	LOTS 132-136 and 208-212
ZONE MXD-3	GENSUS TRACT 6091.02
TAX MAP 41	GRID 15, 16, 21 & 22
GRID 5	ELEC. DIST. 209

- GENERAL NOTES**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
 - THE CONTRACTOR SHALL NOTIFY THE BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1800 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
 - THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-251-TTTT AT LEAST 48-HOURS PRIOR TO ANY EXCAVATION WORK.
 - PROJECT BACKGROUND:
 LOCATION: SEE VICINITY MAP IN THE TOP RIGHT CORNER OF THIS SHEET
 TAX MAP: 41
 ELECTION DISTRICT: 5
 ZONING: MXD-3 PER ZB-495M (APPROVED ON 02-08-01), UNDERLYING ZONING IS RR-DEO AND PER THE 2/02/04 COMPREHENSIVE ZONING PLAN.
 AREA OF BUILDABLE LOTS (Nos. 132-136, 208-212) FOR THIS SITE DEVELOPMENT PLAN: 1.071 ACRES.
 FOR OTHER SUBMISSIONS RELATED TO THIS SITE, SEE HOWARD COUNTY DEPT. OF PLANNING & ZONING FILE NOS.: 5-01-11, ZB-495M, PB-353, NP-01-11, NP-03-02, P-03-01, P-03-01, P-04-01, P-05-02, F-04-42, F-05-81, F-05-82, F-05-112/113, S-06-16, F-05-194, F-06-43, F-06-21, F-06-161 & SDP-07-126, ZB-1039M, PB-378, NP-06-42, AND F-06-219.
 - TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
 - ALL PLAN DIMENSIONS ARE TO THE FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIIALLY BETWEEN ITEMS UNLESS OTHERWISE NOTED.
 - EXISTING TOPOGRAPHY AND FEATURES COMPILED FROM F-06-161.
 - COORDINATES ARE BASED ON NAD83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATION NUMBERS 41EA & 46B2.
 - STORMWATER MANAGEMENT, FOR BOTH QUALITY (M&Q) AND QUANTITY (C&V) HAS BEEN SATISFIED BY A REGIONAL FACILITY CONSTRUCTED UNDER F-05-81 ON OPEN SPACE LOT 60 AND UNDER F-06-161 ON OPEN SPACE LOTS 214 & 215. THE PONDS WILL BE PUBLICLY OWNED AND MAINTAINED AND THE RECHARGE FACILITY (ON O.S. 214) WILL BE PRIVATELY OWNED AND MAINTAINED.
 - PUBLIC WATER AND SEWER SHALL BE UTILIZED (AS PROVIDED BY HIS CONTRACT NO. 24-4928-D) AND THE WATER METER VAULTS ARE LOCATED IN THE R.O.W.
 - THE EXISTING UTILITIES SHOWN HEREIN WERE DERIVED FROM AVAILABLE PUBLIC RECORDS. THE CONTRACTOR MUST DIG TEST PITS (BY HAND) AT ALL UTILITY CROSSINGS AND CONNECTION POINTS TO VERIFY EXACT LOCATION. IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONFLICTS.
 - ALL ROADS LABELED AS "PUBLIC" ARE PUBLICLY MAINTAINED ONCE THEY ARE DEDICATED. ALL ROADS LABELED AS "PRIVATE" ARE PRIVATELY MAINTAINED BY A HOMEOWNER ASSOCIATION.
 - ANY DAMAGE TO THE ADJACENT COUNTY OWNED RIGHT-OF-WAY AND PROPERTY SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
 - THERE ARE NO GRAVE SITES, CEMETERIES, WETLANDS, 100-YR FLOODPLAIN OR STREAM ON THE BUILDABLE LOTS SHOWN ON THIS SITE DEVELOPMENT PLAN. ELSEWHERE WITHIN THE HILLSIDE DISTRICT OPEN SPACE THERE ARE WETLANDS, 100-YR FLOODPLAIN AND STREAMS.
 - THIS PROJECT COMPLIES WITH THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY APPROVAL AND IMPLEMENTATION OF F-06-161. ALL FOREST CONSERVATION OBLIGATIONS WERE ADDRESSED UNDER F-05-81.
 - FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING (AS SHOWN ON SHEETS 1 & 2) TO SATISFY 5-01-11 DEVELOPMENT CRITERIA AND SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL SHALL BE POSTED AS PART OF THE GRADING PERMIT FOR EACH LOT (WHERE APPLICABLE). FOR ADDITIONAL INFORMATION ON THE LANDSCAPE SURETY SEE SHEET 8 AND THE GRADING PERMIT CHART ON SHEET 1.
 - DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 A. WIDTH - 12' (16' SERVING MORE THAN ONE RESIDENCE)
 B. SURFACE - 6" OF COMPACTED CRUSHER RUN BASE MATERIAL AND CHIP COATINGS (1-1/2" MIN.)
 C. GEOMETRY - MAX. 10% GRADE, MAX. 10% GRADE CHANGE AND MIN. 45' TURNING RADIUS
 D. STRUCTURES (CULVERTS/VERTICES) - CAPABLE OF SUPPORTING 25 GROSS TONS (125 LBS LOADS)
 E. DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.
 F. MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE.
 - PUBLIC REFUSE PICKUP IS PROVIDED IN THE ALLEY FOR THE COTTAGE LOTS.
 - BAY WINDOWS, HINDON KILLS, CHIMNEYS, HEATING OR AIR CONDITIONING UNITS AND EXTERIOR STAIRWAYS IF NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NO MORE THAN 4 FEET INTO ANY REQUIRED SETBACK AREA IN ACCORDANCE WITH SECTION 12B.1 OF THE ZONING REGULATIONS, EXCEPT FOR THE ITEMS LISTED UNDER 4.D OF THE LOT DEVELOPMENT DATA ON THIS SHEET.
 - AS A CONSEQUENCE OF THE SKETCH PLAN 5-01-11 APPROVAL PRIOR TO 11-15-01, THIS PROJECT IS GRANDFATHERED TO THE FOURTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
 - THE TWO CAR GARAGES SHALL BE USED FOR PARKING PURPOSES ONLY AND ARE NOT PERMITTED TO BE CONVERTED TO OTHER USES IN ACCORDANCE WITH SECTION 12B.2.1 OF THE ZONING REGULATIONS AND THE APPROVED M.F. DEVELOPMENT CRITERIA. UNLESS OTHERWISE PROHIBITED BY POSTED SIGNAGE OR CURB MARKINGS, ON-STREET PARALLEL PARKING ALONG THE CURB WITHIN THE PUBLIC RIGHTS-OF-WAY IS ALLOWED FOR VISITOR AND OVERFLOW PARKING. THE ON-STREET PARKING AREA WILL NOT BE STRIPED.
 - NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAMS OR THEIR BUFFERS, FOREST CONSERVATION EASEMENT AREAS AND 100 YEAR FLOODPLAIN.

- LOT DEVELOPMENT DATA**
- GENERAL SITE ANALYSIS DATA
 A. PRESENT ZONING: MXD-3 PER ZB-495M
 B. PROPOSED USE OF SITE: 10 SFD RESIDENTIAL DWELLINGS
 C. PUBLIC WATER & SEWER TO BE UTILIZED (CONTR #24-4928-D)
 D. PARKING PROVIDED PER SEC 133 D.2.a: 2 SPACES/UNIT x 10 = 20 SPACES
 PARKING PROVIDED: 20 GARAGE SPACES (ALL LOTS HAVE AT LEAST A 2-CAR GARAGE. SEE NOTE 2 ABOVE REGARDING PARKING).
 E. RECREATION OPEN SPACE FOR THIS SDP IS ADDRESSED UNDER F-06-161 (SEE OVERALL OPEN SPACE PROVISION CHART ON THIS SHEET).
 - AREA TABULATION
 A. AREA OF BUILDABLE LOTS FOR THIS SUBMISSION: 45,845 SF OR 1.041 AC.
 B. AREA OF THIS PLAN SUBMISSION: 1.471 ACRES (L.O.D.)
 C. AREA OF DISTURBANCE BY THIS SDP: 1.471 ACRES

3. LOT DESIGNATION

LOT TYPE	LOT NUMBERS	MINIMUM LOT SIZE	MIN. LOT WIDTH AT FRONT BRL	MAX. BUILDING HT.
COTTAGE	132-136 and 208-212	2500 SQUARE FEET	32 FEET	30 FEET (MEAN HT.)

COTTAGE LOT TYPE IS SFD

4. STRUCTURE SETBACKS PER 5-06-16 AND PLAT No. 18744

LOT TYPE	FRONT SETBACK	SIDE SETBACK	MINIMUM REAR SETBACKS
COTTAGE	10' MIN.	4' MIN.	20' TO PRINCIPAL STRUCTURE, 5' FOR REAR (DETACH/ATTACH GARAGE OR TO ACCESSORY STRUCTURES).

* THERE IS NO SIDE SETBACK (0') FOR A GARAGE

- A ZERO LOT LINE DWELLING UNIT MAY BE LOCATED ON ANY PROPERTY LINE WHICH IS NOT A STREET RIGHT-OF-WAY PROVIDED THAT (1) NO PART OF THE DWELLING SHALL ENCRoACH ONTO THE ADJOINING LOT, (2) AN ACCESS EASEMENT FOR THE PURPOSE OF MAINTENANCE TO THE SIDE OF THE STRUCTURE SHALL BE INCLUDED IN THE DEED WHERE APPROPRIATE. SPACING BETWEEN DWELLING UNITS SHALL BE A MINIMUM OF 8'. GARAGES HOWEVER, MAY ADJOIN ALONG THE PROPERTY LINE, PROVIDED THEY COMPLY WITH ALL BUILDING AND FIRE CODE REGULATIONS.
- OPEN DECKS MUST BE A MINIMUM OF 10' FROM REAR PROPERTY LINE, AND ARE SUBJECT TO SIDE YARD SETBACKS.
- FACING ACCESSORY STRUCTURES AND DETACHED GARAGES (ACROSS AN ALLEY/LANE R.O.W.) SHALL BE 30' APART.
- EXCEPTIONS TO FRONT SETBACK REQUIREMENTS. SECTION 12B.1 APPLIES, EXCEPT FOR THE FOLLOWING:
 - PORCHES MAY ENCRoACH INTO THE FRONT YARD TO WITHIN 2' FROM THE PROPERTY LINE OR RIGHT-OF-WAY FOR TOWNHOUSES, COTTAGES AND MANORS. PORCHES MAY ENCRoACH INTO THE SIDE YARD OF CORNER LOTS TO WITHIN 2' FROM RIGHT-OF-WAY FOR COTTAGES AND MANORS, WHERE A SIDE YARD ABUTS AN OPEN SPACE OR PASSAGE, PORCHES MAY ENCRoACH TO WITHIN 1' FROM SIDE PROPERTY LINE FOR COTTAGES AND MANORS.
 - STOOPS AND STEPS MAY ENCRoACH INTO THE FRONT AND SIDE YARDS TO WITHIN 1' FROM THE FRONT PROPERTY LINE.
 - GARDEN WALLS, FENCES, PIERS, GATES AND SIMILAR ORNAMENTS MAY BE BUILT IN THE FRONT AND SIDE YARDS NOT CLOSER THAN 1' FROM THE FRONT PROPERTY LINE, NOT GREATER THAN 48" ALONG THE FRONT PROPERTY LINE AND NOT GREATER THAN 72" ALONG THE SIDE AND REAR PROPERTY LINES.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *Mark J. Lough* 9/5/07
 Chief, Division of Land Development: *Christina* 9/5/07
 Chief, Development Engineering Division: *William* 8/23/07

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12875, EXPIRATION DATE: MAY 26, 2008.

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
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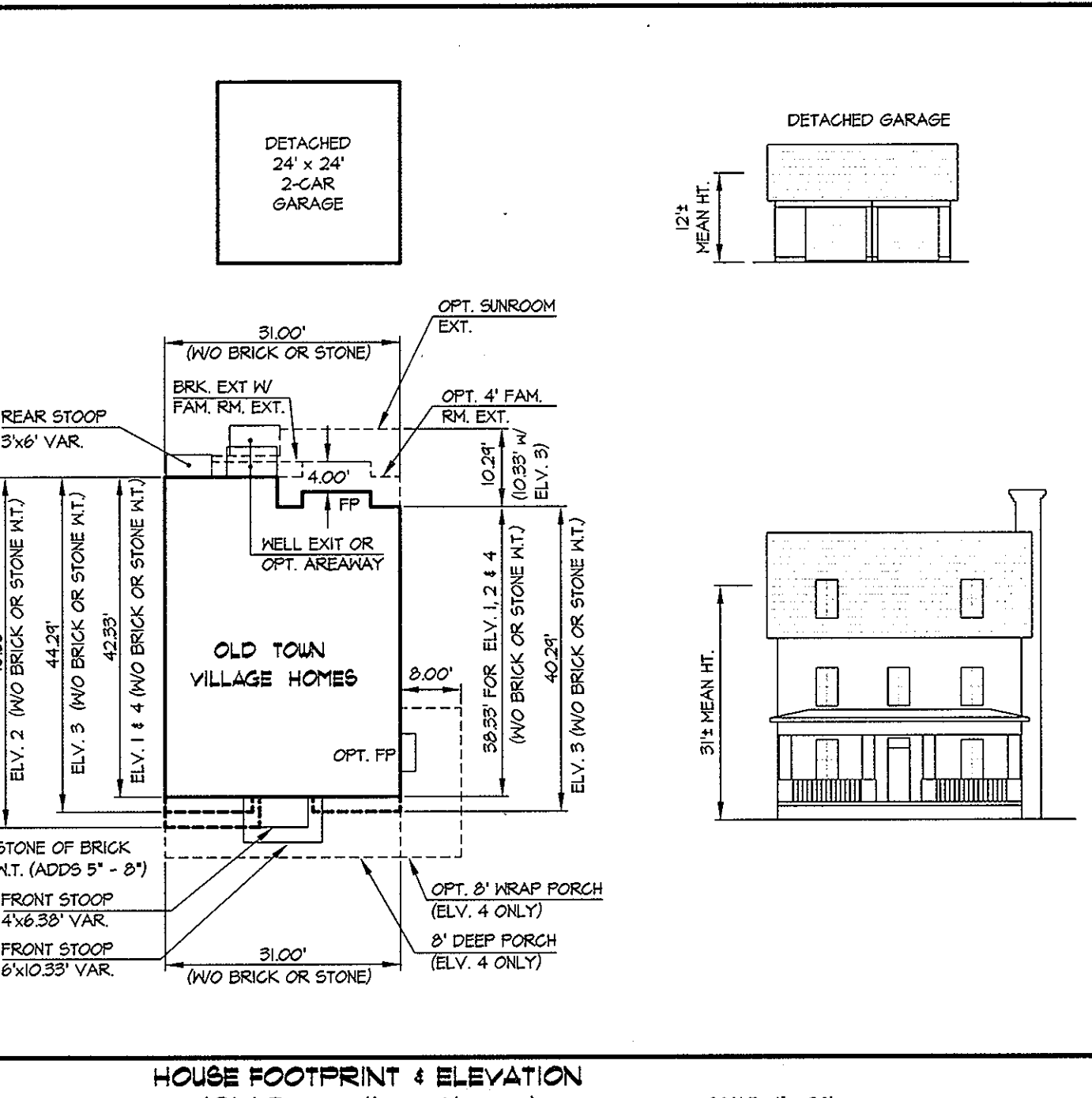
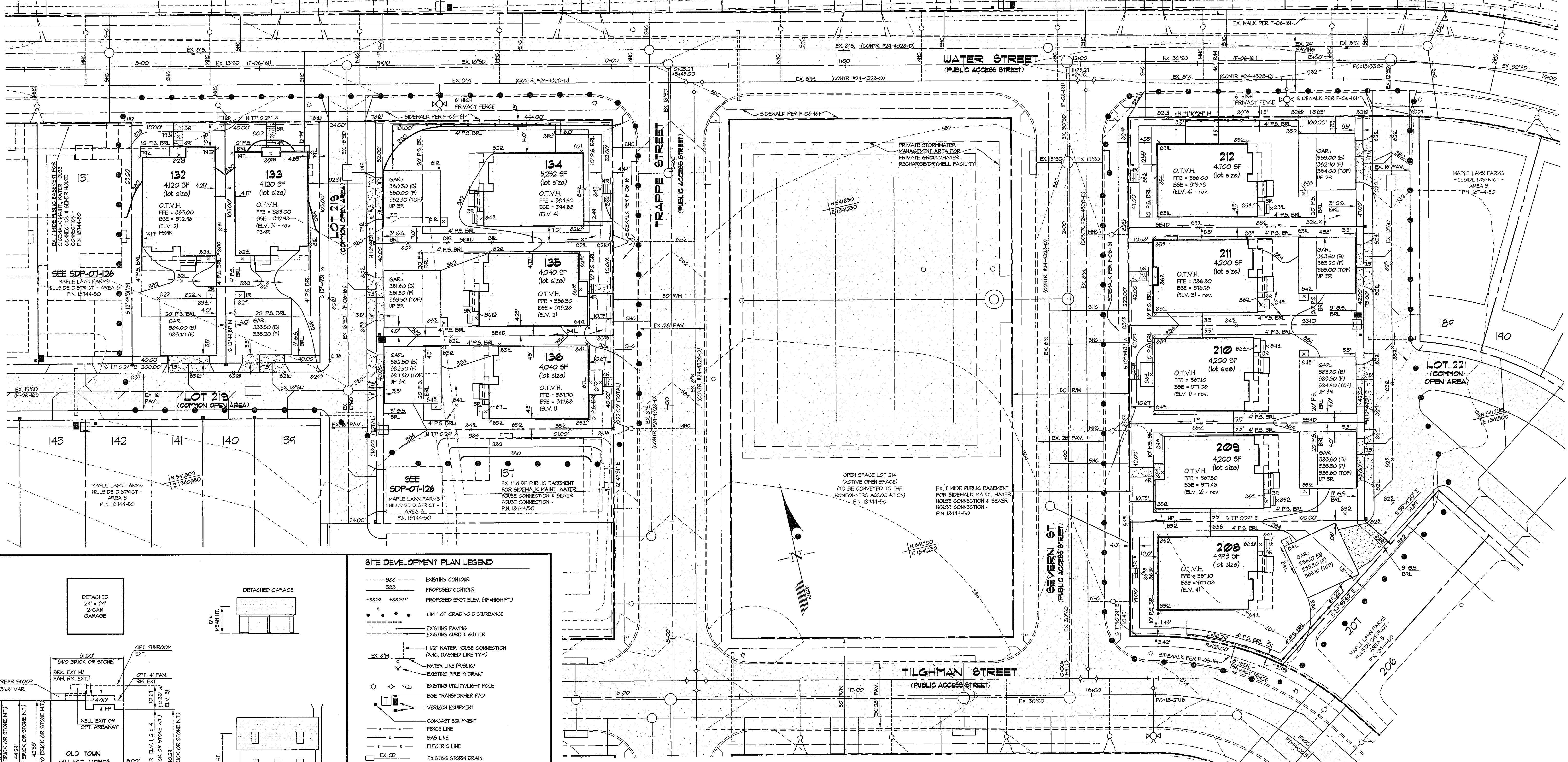
DATE	REVISION	BY	APPR.

PREPARED FOR:
 PROPERTY OWNER (SELLER):
 G & R MAPLE LAWN, INC., ET. AT.
 1829 REISTERTOWN ROAD, SUITE 300
 BALTIMORE, MD 21208
 PH: 410-484-8400
 atn: CHARLIE O'DONOVAN

HOME BUILDER (CONTRACT PURCHASER):
 MILLER AND SMITH OF MAPLE LAWN L.L.C.
 8401 GREENSBORO DRIVE, SUITE 300
 MCLEAN, VIRGINIA 22102
 PH: 703-821-2500 x 235
 atn: COLLEEN MCCALL

COVER SHEET
MAPLE LAWN FARMS
 HILLSIDE DISTRICT - AREA 3: LOT Nos. 132-136 and 208-212
 (SFD RESIDENTIAL USE)
 PLAT Nos. 18744 - 18750
 ELECTION DISTRICT No. 5

SCALE AS SHOWN	ZONE MXD-3	GRID 41	ELEC. DIST. 209	G. L. W. FILE No. 06013
DATE AUG., 2007	TAX MAP - GRID 41	SHEET 1 OF 7	HOWARD COUNTY, MARYLAND	



SITE DEVELOPMENT PLAN LEGEND

- 388 --- EXISTING CONTOUR
- 388 --- PROPOSED CONTOUR
- +88.00 +88.00* PROPOSED SPOT ELEV. (IF HIGH PT)
- --- LIMIT OF GRADING DISTURBANCE
- --- EXISTING PAVING
- --- EXISTING CURB & GUTTER
- --- 1 1/2" WATER HOUSE CONNECTION (W/C, DASHED LINE TYP)
- --- WATER LINE (PUBLIC)
- --- EXISTING FIRE HYDRANT
- --- EXISTING UTILITY/LIGHT POLE
- --- BGE TRANSFORMER PAD
- --- VERIZON EQUIPMENT
- --- COMCAST EQUIPMENT
- --- FENCE LINE
- --- GAS LINE
- --- ELECTRIC LINE
- --- EXISTING STORM DRAIN
- --- EXISTING SEWER MAIN (DASHED LINE)
- --- SEWER HOUSE CONNECTION (S/C, SOLID LINE)
- --- PROPOSED CONCRETE DRIVEWAY & SIDEWALK
- --- PROPOSED HOUSE
- --- FFE = FINISHED FLOOR ELEVATION
- --- BSE = BASEMENT SLAB ELEVATION (UPPER, L-LOWER)
- --- GAR = GARAGE (F-FRONT, B-BACK)
- --- REV = REVERSED HOUSE ORIENTATION
- --- FSWR = FOUNDATION STEP WALL REQUIRED
- --- P.S. BRL --- PRINCIPAL STRUCTURE BRL
- --- G.S. BRL --- GARAGE STRUCTURE BRL
- --- SB4D --- SAME BEARINGS AND DISTANCE
- --- --- EXISTING EASEMENT

- NOTES:**
- ALL FENCES, GARDEN WALLS, STOOPS AND STEPS ALONG THE R/W SHALL BE LOCATED BEHIND THE 1' PUBLIC SIDEWALK ESMT.
 - BRICK POINT ALL BUILDING CONSTRUCTION UNLESS NOTED OTHERWISE.
 - ALL W/C'S TO THE SUBJECT LOTS OF THIS SDP ARE 1 1/2" PER CONTRACT #24-4328-D AND THE WATER METER VAULTS ARE IN THE R.O.M.
 - SEE THE CHART ON THIS SHEET FOR S/C INFORMATION. CONTRACTOR SHALL CHECK AND VERIFY THE SEWER HOUSE ELEVATIONS AT THE PROPERTY LINE PRIOR TO CONSTRUCTION.
 - ALL GARDEN WALLS AND FENCES THAT STRADDLE PROPERTY LINES SHALL BE MAINTAINED IN ACCORDANCE WITH ARTICLE 15 OF THE MAPLE LAWN HOMEOWNERS ASSOCIATION COVENANTS (RECORDED AT LIBER 14H FOLIO 292 THROUGH 366).
 - DRIVEWAY APRONS ON WATER STREET SHALL BE CONSTRUCTED IN ACCORDANCE WITH DPM DET. R-6.01. ALSO SEE GENERAL NOTE I ON SHEET I FOR OTHER REQUIREMENTS (IF APPLICABLE) REGARDING DRIVEWAYS.
 - ALL BUILDING WALLS WITHIN 10' OF A BGE TRANSFORMER SHALL BE CONSTRUCTED FOR A MINIMUM FIRE RESISTANCE RATINGS OF 3 HOURS.
 - ALL YARD DRAIN INLETS ARE 12" IN/PLAST IN/LINE DRAIN MODEL NO. 212AG (SN OR 50V1). CONNECT ALL YARD DRAIN INLETS TO THE EXISTING STORM DRAIN STUBS IN THE ALLEY USING ADS N-12 (HPEE, TYPE 'S') PIPES. CONTRACTOR SHALL CHECK AND VERIFY THE INVERT OF THE STUBS AT THE ALLEY PROPERTY LINE PRIOR TO CONSTRUCTION. PROVIDE POSITIVE DRAIN (8 IN) FROM YARD INLET TO THE STORM DRAIN STUBS. PROVIDE 1.0' MIN. COVER OVER THE HOPE PIPES. ALL DOWN SPOUTS SHALL BE DISCHARGED ONTO SPLASH BLOCKS OR PIPE DIRECTLY TO THE YARD DRAIN.
 - INGRESS/EGRESS FOR THE COTTAGE LOTS ARE RESTRICTED TO THE ALLEY.

SEWER HOUSE CONNECTIONS MINIMUM CELLAR ELEVATIONS AND INVERT ELEVATION @ PL.

LOT	ELEVATION @ PROP. LINE	MCE	LOT	ELEVATION @ PROP. LINE	MCE
132	364.21	364.90	208	312.48	315.80
133	365.60	370.10	209	311.48	315.20
134	368.40	371.60	210	311.33	315.50
135	371.00	374.20	211	311.06	315.20
136	371.60	376.00	212	364.15	315.60

INVERT ELEVATIONS FOR YARD DRAIN STUBS @ ALLEY PL.

LOT	ELEVATION	LOT	ELEVATION
132	371.44	208	311.45
133	376.77	209	312.24
134	375.24	210	311.84
135	374.42	211	311.44
136	375.26	212	371.01

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Paul A. Uyle 9/5/07
 Director Date
Chantel 9/5/07
 Chief, Division of Land Development Date
John W. Williams 8/28/07
 Chief, Development Engineering Division Date

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12475, EXPIRATION DATE: MAY 26, 2008.



GLWGUTSCHICK LITTLE & WEBER, P.A.
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 3908 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
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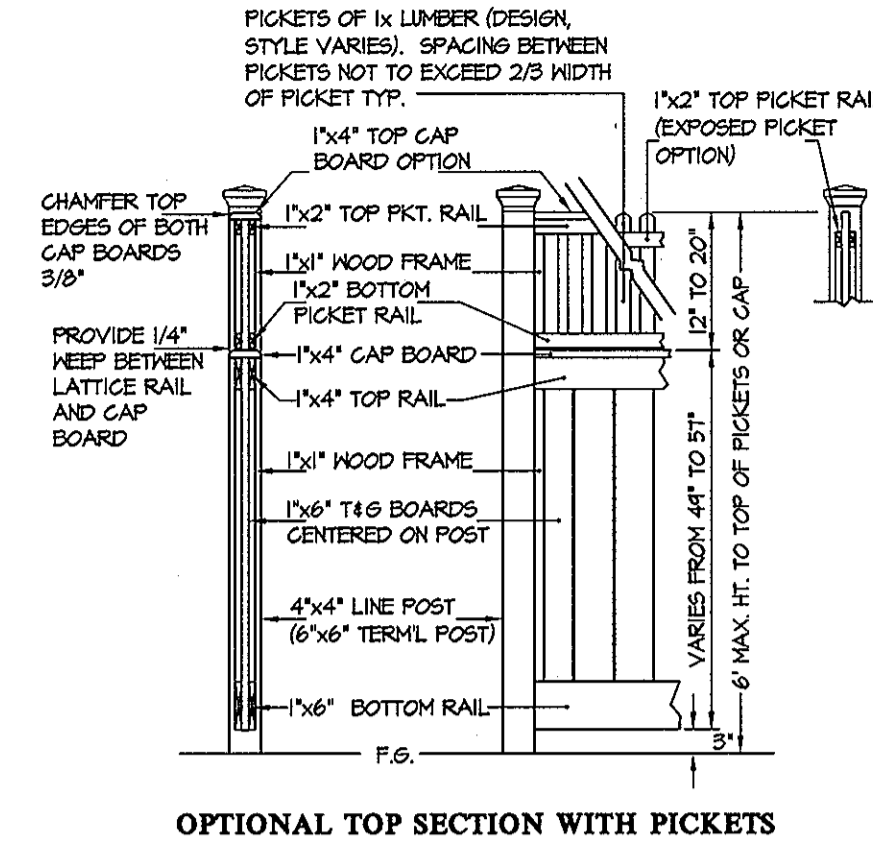
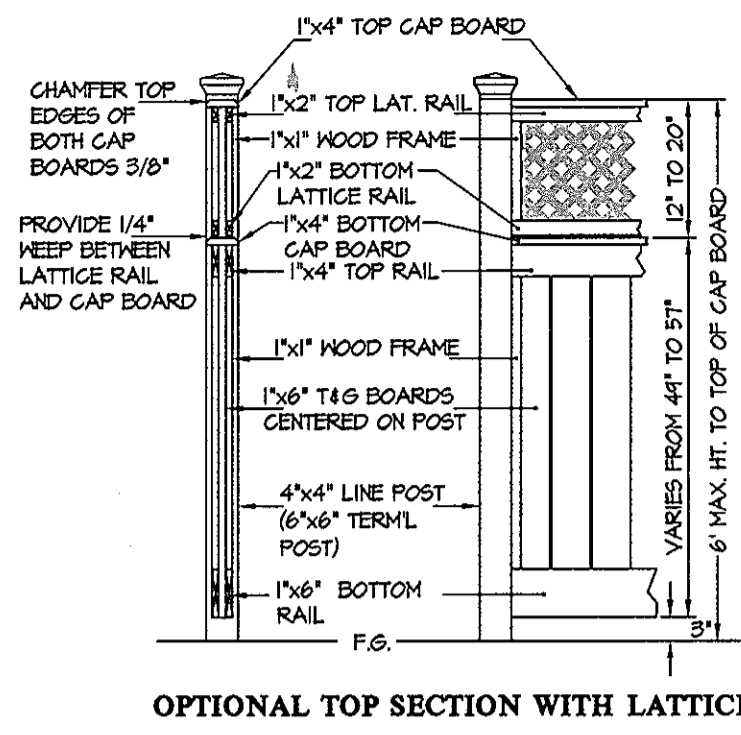
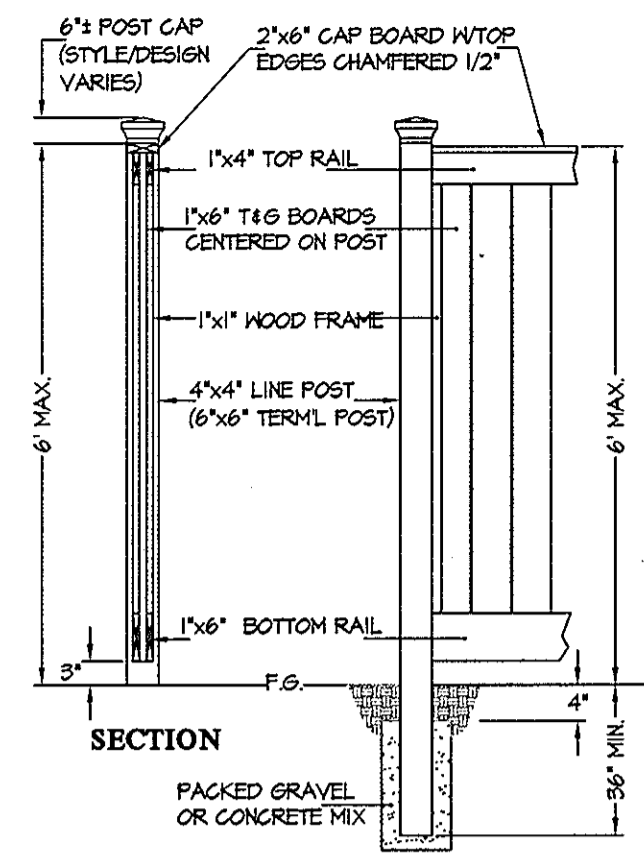
DATE	REVISION	BY	APP'R.

PREPARED FOR:
 PROPERTY OWNER (SELLER): G & R MAPLE LAWN, INC., ET. AT. 1829 REISTERTOWN ROAD, SUITE 300 BALTIMORE, MD 21208 PH: 410-401-8400 attn: CHARLIE O'DONOVAN
 HOME BUILDER (CONTRACT PURCHASER): MILLER AND SMITH AT MAPLE LAWN L.L.C. 8401 GREENSBORO DRIVE, SUITE 300 MCLEAN, VIRGINIA 22102 PH: 703-821-2500 x.255 attn: COLLEEN MCCALL

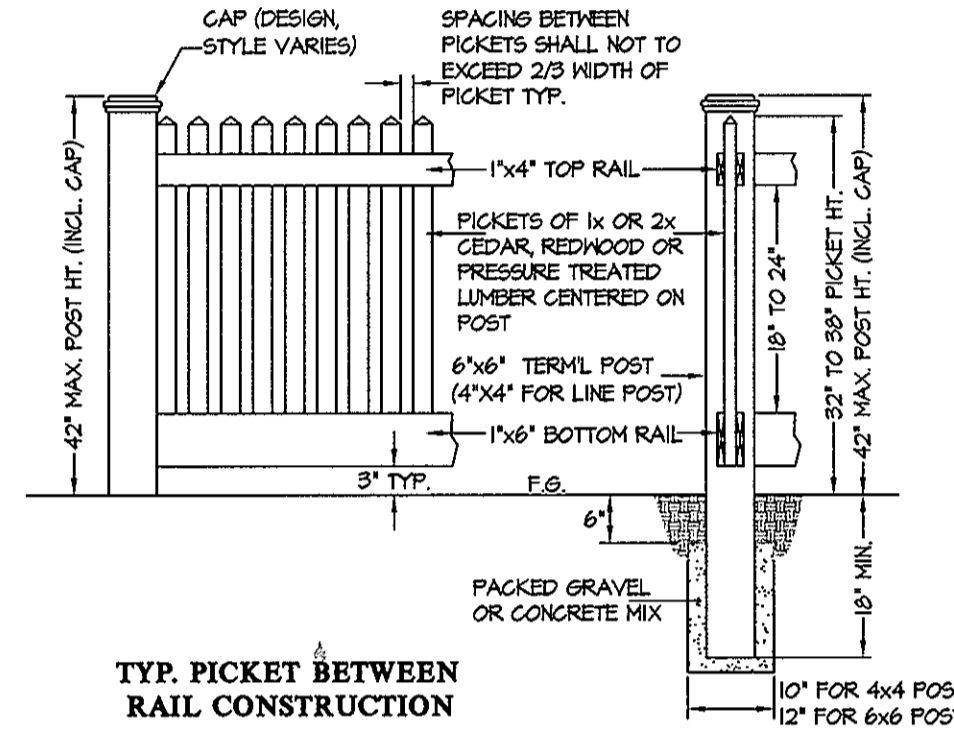
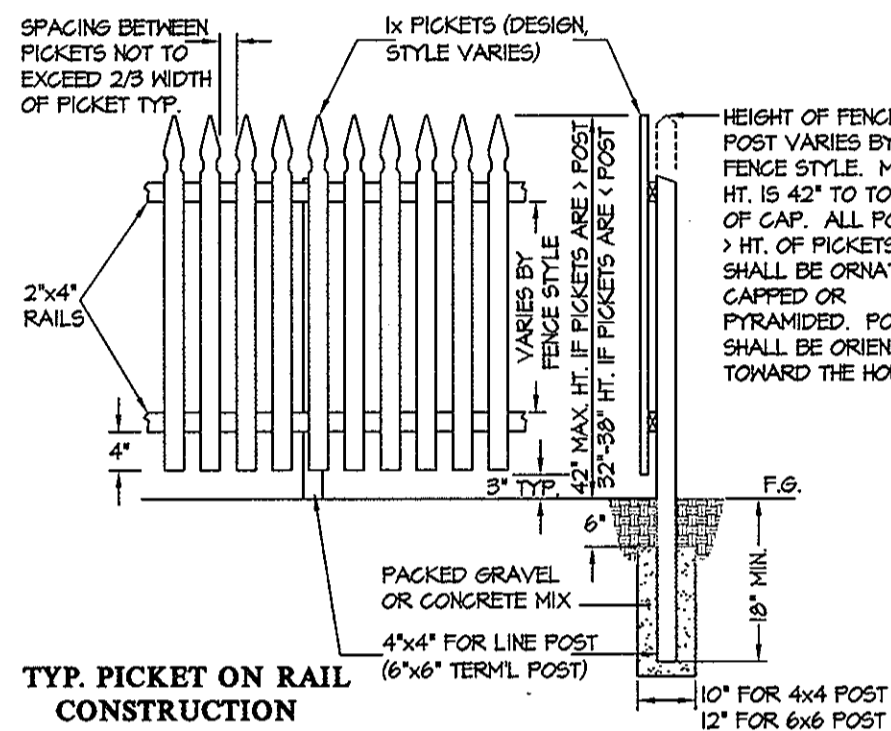
SITE DEVELOPMENT PLAN
MAPLE LAWN FARMS
 HILLSIDE DISTRICT - AREA 3: LOT Nos. 132-136 and 208-212
 PLAT Nos. 18744 - 18750
 ELECTION DISTRICT No. 5

SCALE: 1"=20'
 ZONING: MXD-3
 G. L. W. FILE No.: 06013
 DATE: AUG., 2007
 TAX MAP - GRID: 41
 SHEET: 2 OF 7

HOWARD COUNTY, MARYLAND



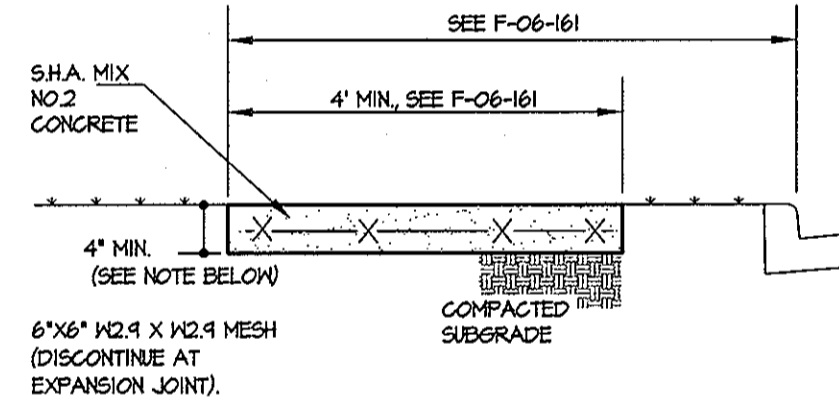
PRIVACY FENCE NOTES & DETAILS NO SCALE



PICKET FENCE DETAILS NO SCALE

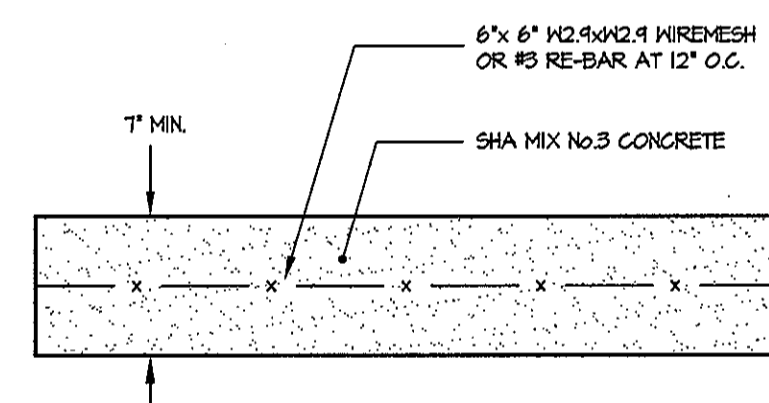
NOTES

1. ALL FENCE/GARDEN WALLS ALONG THE R/W SHALL BE LOCATED BEHIND THE SIDEWALK ESMT.
2. ALL FENCES (AND GARDEN WALLS) THAT STRADDLE PROPERTY LINES SHALL BE PRIVATELY MAINTAINED IN ACCORDANCE WITH ARTICLE 15 OF THE MAPLE LAWN HOMEOWNERS ASSOCIATION COVENANTS (RECORDED AS LIBER 1414 FOLIO 242 THROUGH 366).
3. SEE LOT DEVELOPMENT DATA ITEM 4.D. ON SHEET 1 REGARDING HEIGHT LIMITATIONS FOR FENCES, GARDEN WALLS AND SIMILAR FEATURES.
4. THE PICKET FENCE STYLE SHOWN ON THESE DETAILS IS A SAMPLE REPRESENTATIVE ONLY. REFER TO THE MAPLE LAWN DESIGN GUIDELINES (SECTION 4, PAGES 16-19) FOR OTHER FENCE AND PICKET STYLES FOR MLP.
5. FENCES SHALL BE MADE OF CEDAR, REDWOOD, PRESSURE TREATED LUMBER OR SOLID PVC. ALL STEEL HARDWARE AND FASTENERS SHALL BE GALVANIZED. ALL FENCE FINISHES SHALL BE APPROVED AND ACCEPTED BY THE MAPLE LAWN FARMS DESIGN REVIEW COMMITTEE (DRG).
6. FENCE POSTS SHALL BE SPACED EVENLY WITH A 6' SPACING BETWEEN POSTS. TERMINAL POSTS (AT CORNER, ENDS, ETC.) SHALL BE WIDER AND TALLER IN PROPORTION THAN LINE POSTS.
7. THE HEIGHT OF A PICKET FENCE REFERS TO THE HEIGHT OF PICKETS AND NOT THE POSTS.
8. FENCES ON NEIGHBORING LOTS SHALL BE OF DIFFERENT DESIGN/STYLE.
9. MANUFACTURED VINYL FENCES MEETING THE HEIGHT LIMITATIONS SHOWN MAY BE USED IF THEY ARE APPROVED BY THE DRG.



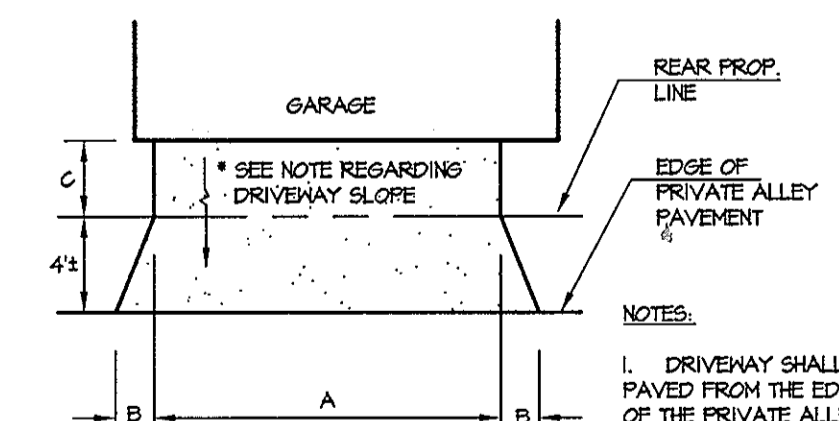
- NOTES:
1. UNLESS SHOWN OTHERWISE, INSTALL EXPANSION JOINTS AT MAX. 20'-0" O.C. AND SCORING JOINTS AT MAX. 5'-0" O.C.
 2. PROVIDE 1/2" PREFORMED BITUMINOUS EXPANSION JOINT WHERE SIDEWALK ABUTS AGAINST CURB AND SET SIDEWALK 1/4" ABOVE CURB PER NO. CO. DET. R-3.05.

SIDEWALK PAVEMENT SECTION NO SCALE



- NOTES:
1. UNLESS SHOWN OTHERWISE, INSTALL EXPANSION JOINTS AT MAX. 20'-0" O.C.
 2. PROVIDE 1/2" PREFORMED BITUMINOUS EXPANSION JOINT WHERE THE DRIVEWAY APRON ABUTS OTHER CONCRETE STRUCTURES OR PAVEMENTS.
 3. FOR REFERENCE, SEE HOWARD COUNTY STD. DETAILS R6.01-6.04.
 4. FOR BITUMINOUS PAVING, SEE HOWARD COUNTY STD. DETAIL R2.01 (P-1 SECTION).

CONCRETE DRIVEWAY and APRON PAVEMENT SECTION NO SCALE



- NOTES:
1. DRIVEWAY SHALL BE PAVED FROM THE EDGE OF THE PRIVATE ALLEY TO THE GARAGE USING THE CONCRETE PAVING SHOWN ON THIS PLAN OR A P-1 BITUMINOUS PAVING SECTION PER NO. CO. STD. DETAIL R-2.01
 2. PROVIDE POSITIVE DRAINAGE AWAY FROM THE GARAGE TO THE ALLEY. SLOPE ON THE DRIVEWAY MAY VARY FROM 1% (MIN. ON HIGH SIDE OF THE DRIVEWAY) TO 1/4% (MAX. ON THE LOW SIDE)
- | | |
|---|---|
| A | FOR 2-CAR GARAGE: 16' MIN, 18' MAX.
FOR 3-CAR GARAGE: 28' MAX. IF CONTINUOUS |
| B | 2' FLARE MIN. |
| C | VARIABLES, SEE PLAN (3'-2" MIN) |

PRIVATE DRIVEWAY and APRON DETAIL NO SCALE

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12475, EXPIRATION DATE: MAY 26, 2008.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Paul D. Lytle* 7/5/02
 Chief, Division of Land Development: *William* 9/5/00
 Chief, Development Engineering Division: *CB* 8/20/00

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-683-1820 DC/VA: 301-589-2524 FAX: 301-421-4186

PREPARED FOR:

PROPERTY OWNER (SELLER):
 G & R MAPLE LAWN, INC., ET. AT.
 1829 REISERTOWN ROAD, SUITE 300
 BALTIMORE, MD 21208
 PH: 410-484-8400
 attn: CHARLIE O'DONOVAN

HOME BUILDER (CONTRACT PURCHASER):
 MILLER and SMITH of MAPLE LAWN L.L.C.
 8401 GREENSBORO DRIVE, SUITE 300
 MCLEAN, VIRGINIA 22102
 PH: 703-821-2500 x 235
 attn: COLLEEN McCALL

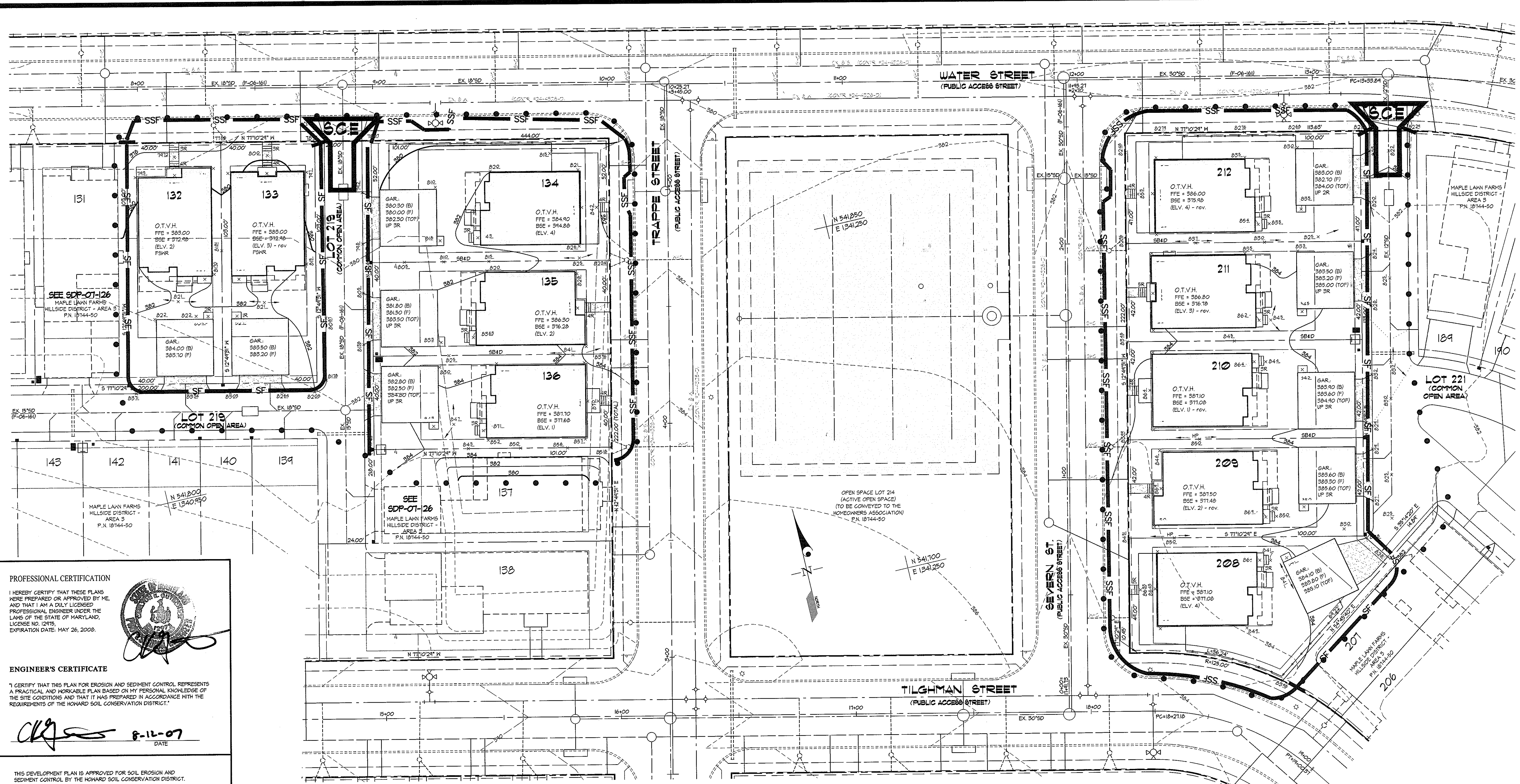
NOTES & DETAILS

MAPLE LAWN FARMS
 HILLSIDE DISTRICT - AREA 3: LOT Nos. 132-136 and 208-212
 (SFD RESIDENTIAL USE)
 PLAT Nos. 18744 - 18750

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	06013
DATE	TAX MAP - GRID	SHEET
AUG., 2007	41	3 OF 7

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12875, EXPIRATION DATE: MAY 26, 2008.

ENGINEER'S CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Roberts 8-12-07
 DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Roberts 8/29/07
 HOWARD S.C.D. DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

Jim Meyer 8/29/07
 NATUREL RESOURCES CONSERVATION SERVICE DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

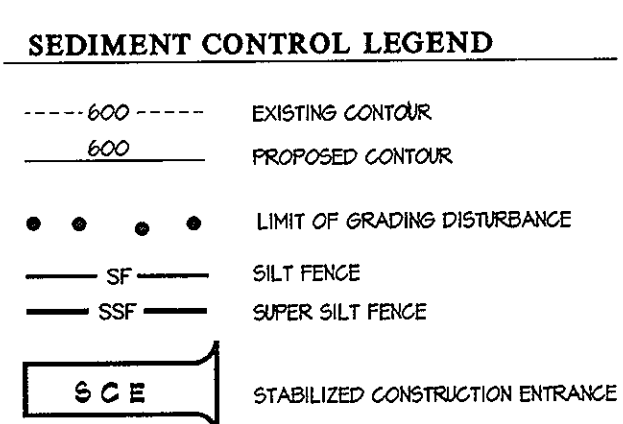
Mark DeLay 9/5/07
 Director Date

Chamber 9/5/07
 Chief, Division of Land Development Date

Chris Reumann 8/29/07
 Chief, Development Engineering Division Date

BUILDER'S CERTIFICATE
 I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD.

Colleen McCall 8/14/07
 SIGNATURE OF DEVELOPER/BUILDER DATE



- SEQUENCE OF CONSTRUCTION**
1. APPLY FOR GRADING PERMIT AND SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE INSPECTOR. OBTAIN GRADING PERMIT FROM THE INSPECTOR AT THE MEETING. COORDINATE THE WORK ON THIS SDP WITH THE WORK UNDER F-06-161.
 2. INSTALL STABILIZED CONSTRUCTION ENTRANCES (SCE), SILT FENCES (SF), SUPER SILT FENCES (SSF).
 3. GRADE SITE FOR HOUSE CONSTRUCTION. PROVIDE DUST CONTROL AS NECESSARY (1 DAY PER LOT).
 4. CONSTRUCT HOUSES, DRIVEWAYS, SIDEWALKS AND OTHER ASSOCIATED LOT IMPROVEMENTS. INSTALL LANDSCAPING (6-4 MONTHS PER LOT).
 5. AS EACH BUILDING IS COMPLETED, STABILIZE ANY REMAINING BARE DIRT AREA WITH PERMANENT SEEDING OR WITH SOD.
 6. ONCE AREA DRAINING TO SEDIMENT CONTROL MEASURES HAVE BEEN STABILIZED, OBTAIN PERMISSION FROM THE INSPECTOR TO REMOVE THE SEDIMENT CONTROL ITEMS.
1. OBTAIN INSPECTION FOR RELEASE OF SURETY (FOR GRADING AND LANDSCAPING).
2. OBTAIN USE AND OCCUPANCY PERMIT THEN FINALIZE SETTLEMENT.

THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20886
 TEL: 301-421-4024 BALT. 410-860-1820 DC/VA 301-988-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP.

PREPARED FOR:
 PROPERTY OWNER (SELLER): HOME BUILDER (CONTRACT PURCHASER)
 G & R MAPLE LAWN, INC., ET. AT. MILLER AND SMITH AT MAPLE LAWN LLC.
 1829 RESTERTOWN ROAD, SUITE 300 8401 GREENSBORO DRIVE, SUITE 300
 BALTIMORE, MD 21208 MCLEAN, VIRGINIA 22102
 PH: 410-484-8400 PH: 703-821-2500 x 236
 c/o: CHARLIE O'DONOVAN c/o: COLLEEN MCCALL

SEDIMENT CONTROL PLAN
MAPLE LAWN FARMS
 HILLSIDE DISTRICT - AREA 3: LOT Nos. 132-136 and 208-212
 (SFD RESIDENTIAL USE)
 PLAT Nos. 18744 - 18750

SCALE	ZONING	G. L. W. FILE No.
1"=40'	MXD-3	06013
DATE	TAX MAP - GRID	SHEET
AUG, 2007	41	4 OF 7

HOWARD COUNTY, MARYLAND

SEDIMENT CONTROL NOTES

1. A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY OFFICE OF INSPECTION AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION. (410) 318-1855
2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THEREOF.
3. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES AND PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1. B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
4. ALL SEDIMENT TRAP BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. I, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDINGS, SOO, TEMPORARY SEEDINGS AND MULCHING (SEC. G), TEMPORARY STABILIZATION WITH MULCH ALONE, CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
6. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

	LOTS 132-136	LOTS 208-212
TOTAL AREA OF SITE	0.4852 AC.	0.5184 AC.
AREA DISTURBED	0.1745 AC.	0.174 AC.
AREA TO BE ROOTED OR PAVED	0.0551 AC.	0.041 AC.
AREA TO BE VEGETATIVELY STABILIZED	0.191 AC.	0.191 AC.
TOTAL CUT	12501 C.Y.	12501 C.Y.
TOTAL FILL	12501 C.Y.	12501 C.Y.
OFF-SITE WASTE/BORROW AREA LOCATION	NONE	NONE

8. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
9. ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY DPM SEDIMENT CONTROL INSPECTOR.
10. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF PERIMETER EROSION AND SEDIMENT CONTROL STRUCTURES, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
11. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO 3 PIPE LENGTHS OR THAT WHICH SHALL BE BACKFILLED AND STABILIZED WITHIN 1 WORKING DAY, WHICHEVER IS SHORTER.

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREA NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING (UNLESS PREVIOUSLY LOOSENEED).

SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES

- 1) PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (42 LBS/1000 SQ FT) AND 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ FT) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL. AT TIME OF SEEDING, APPLY 400 LBS PER ACRE 30-0-0 UREA-FORM FERTILIZER (4 LBS/1000 SQ FT).
- 2) ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (42 LBS/1000 SQ FT) AND 1000 LBS PER ACRE OF 10-10-10 FERTILIZER (25 LBS/1000 SQ FT) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL.

SEEDING: FOR THE PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU OCTOBER 15, SEED WITH 60 LBS PER ACRE (1.4 LBS/1000 SQ FT) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31, SEED WITH 60 LBS KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS PER ACRE (0.5 LBS/1000 SQ FT) OF KEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY: OPTION (1) 2 TONS PER ACRE OF WELLS ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) USE SOO. OPTION (3) SEED WITH 60 LBS/ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELLS ANCHORED STRAW.

MULCHING: APPLY 1/2 TO 2 TONS PER ACRE (10 TO 40 LBS/1000 SQ FT) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 216 GALLONS PER ACRE (5 GALLON/100 SQ FT) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 3 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GALLON/100 SQ FT) FOR ANCHORING.

MAINTENANCE: INSPECT ALL SEEDING AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

TEMPORARY SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING (UNLESS PREVIOUSLY LOOSENEED).

SOIL AMENDMENTS: APPLY 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ FT).

SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30 AND FROM AUGUST 1 THRU OCTOBER 15, SEED WITH 2-1/2 BUSHEL PER ACRE OF ANNUAL RYE (5.2 LBS/1000 SQ FT). FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS PER ACRE OF KEEPING LOVEGRASS (0.7 LBS/1000 SQ FT). FOR THE PERIOD NOVEMBER 16 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELLS ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOO.

MULCHING: APPLY 1/2 TO 2 TONS PER ACRE (10 TO 40 LBS/1000 SQ FT) OF UNROTTED, WEEB-FREE, SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 216 GAL PER ACRE (5 GALLON/100 SQ FT) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 3 FT OR HIGHER, USE 348 GAL PER ACRE (8 GALLON/100 SQ FT) FOR ANCHORING.

ENGINEER'S CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING."

Colleen McCall 8/14/07
 DATE

STANDARD AND SPECIFICATIONS FOR TOPSOIL

DEFINITION
 PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

PURPOSE
 TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

CONDITIONS WHERE PRACTICE APPLIES

- I. THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPE WHERE:
 - A. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.
 - B. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLY OF MOISTURE AND PLANT NUTRIENTS.
 - C. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
 - D. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.
- II. FOR THE PURPOSE OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION. AREAS HAVING SLOPES STEEPER THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE PLANS.

CONSTRUCTION AND MATERIAL SPECIFICATIONS

I. TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE RESPECTIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.

- TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:
 - A. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 2.0 VEGETATIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS (OR SEE SEEDING NOTES).
 - II. FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES:
 - A. ON SOIL MEETING TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS DICTATING FERTILIZER & LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING:
 1. PH FOR TOPSOIL SHALL BE BETWEEN 6.0 AND 7.5. IF THE TESTED SOIL DEMONSTRATES A PH OF LESS THAN 6.0, SUFFICIENT LIME SHALL BE PRESCRIBED TO RAISE THE PH TO 6.5 OR HIGHER.
 2. ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 15 PERCENT BY WEIGHT.
 3. TOPSOIL HAVING SOLUBLE SALT GREATER THAN 500 PARTS PER MILL SHALL NOT BE USED.
 4. NO SOO OR SEED SHALL BE PLACED ON SOIL WHICH HAS BEEN WITH SOO STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (4 DAYS MIN) TO PERMIT DISSIPATION OF PHOTO-TOXIC MATERIALS.
 - B. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 2.0 VEGETATIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS (OR SEE SEEDING NOTES).

VI. ALTERNATIVE FOR PERMANENT SEEDING - INSTEAD OF APPLYING THE FULL AMOUNTS OF LIME AND COMMERCIAL FERTILIZER, COMPOSTED SLUDGE AND AMENDMENTS MAY BE APPLIED AS SPECIFIED BELOW:

- A. COMPOSTED SLUDGE MATERIAL FOR USE AS A SOIL CONDITIONER FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES SHALL BE TESTED TO PRESCRIBE AMENDMENTS AND FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:
 1. COMPOSTED SLUDGE SHALL BE SUPPLIED BY, OR ORIGINATE FROM, A PERSON OR PERSONS THAT ARE PERMITTED (AT THE TIME OF ACQUISITION OF THE COMPOST) BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT UNDER COMAR 26.04.06.
 2. COMPOSTED SLUDGE SHALL CONTAIN AT LEAST 1 PERCENT NITROGEN, 15 PERCENT PHOSPHORUS, AND 0.2 PERCENT POTASSIUM AND HAVE A PH OF 1.0 TO 8.0. IF COMPOST DOES NOT MEET THESE REQUIREMENTS, THE APPROPRIATE CONSTITUENTS MUST BE ADDED TO MEET THE REQUIREMENTS PRIOR TO USE.
 3. COMPOSTED SLUDGE SHALL BE APPLIED AT A RATE OF 1 TON/1000 SQUARE FEET.
- B. COMPOSTED SLUDGE SHALL BE AMENDED WITH A POTASSIUM FERTILIZER APPLIED AT A RATE OF 4LB/1000 SQUARE FEET, AND 1/3 THE NORMAL LIME APPLICATION RATE.

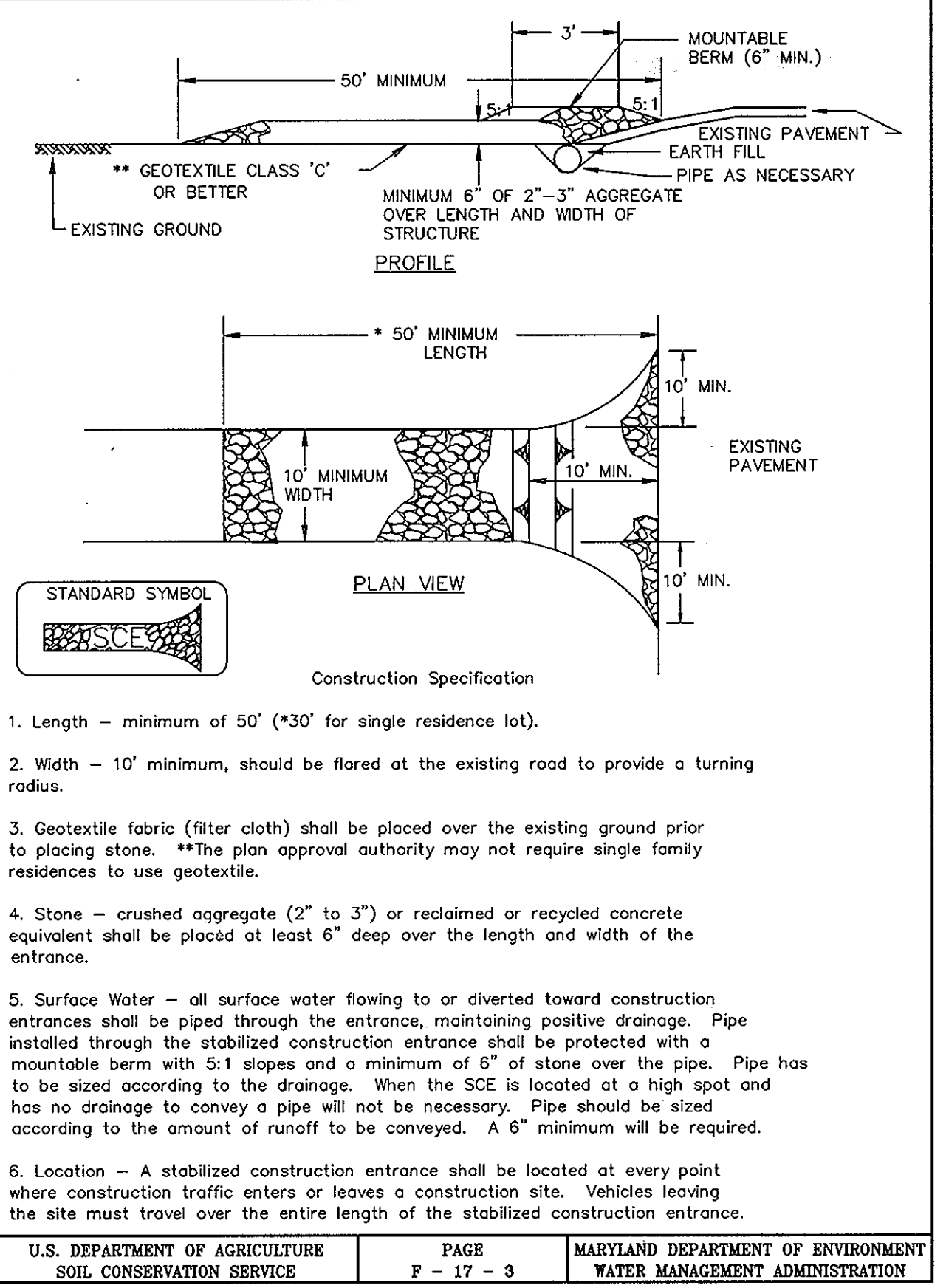
REFERENCES: GUIDELINE SPECIFICATIONS, SOIL PREPARATION AND SODDINGS, MD-VA PUB. #1, COOPERATIVE EXTENSION SERVICE, UNIVERSITY OF MARYLAND AND VIRGINIA POLYTECHNIC INSTITUTION. REVISED 1975.

PROFESSIONAL CERTIFICATION

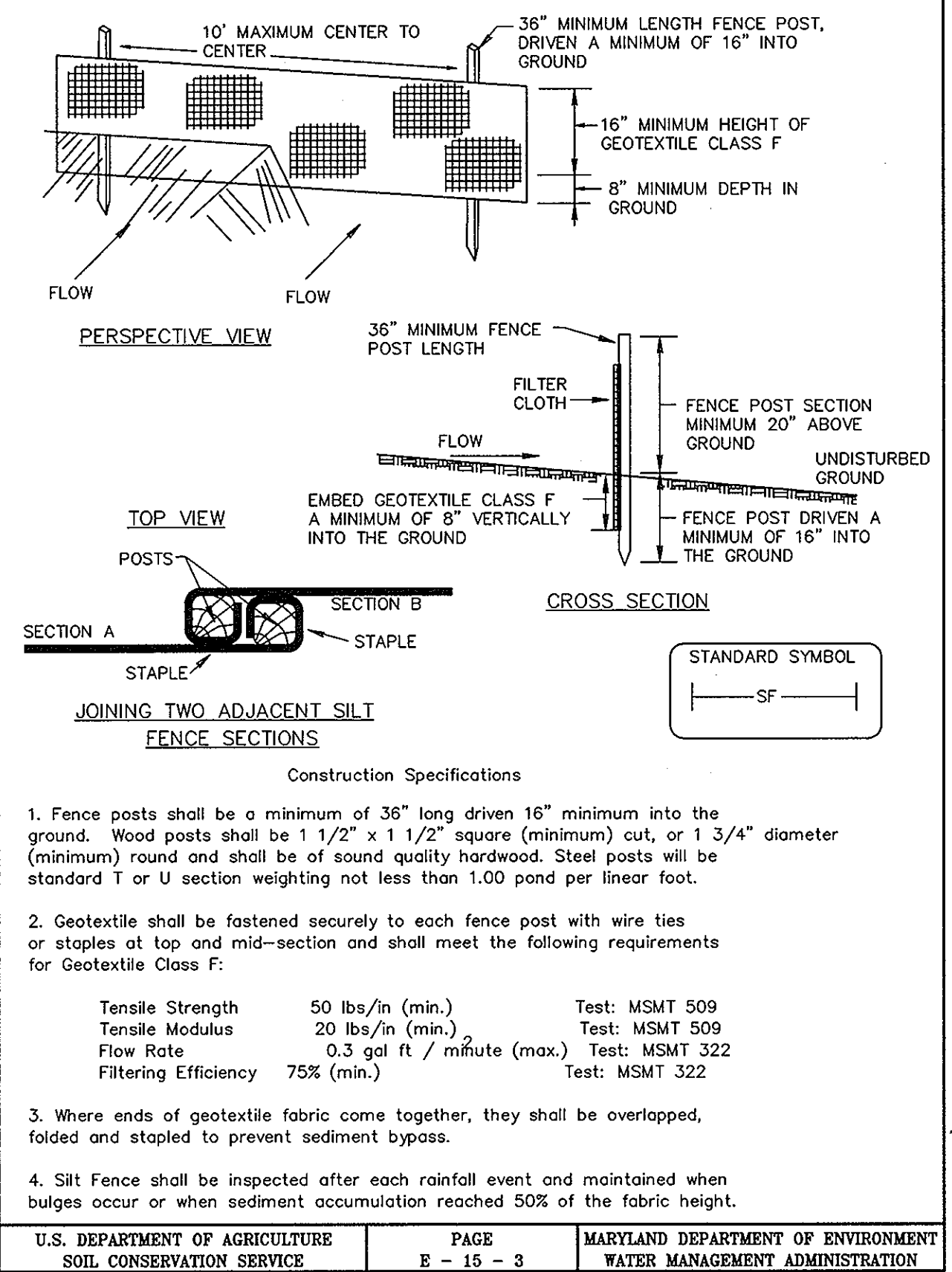
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12175, EXPIRATION DATE: MAY 26, 2008.

Colleen McCall

DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE



DETAIL 22 - SILT FENCE



DUST CONTROL

DEFINITION
 Controlling dust blowing and movement on construction sites and roads.

PURPOSE
 To prevent blowing and movement of dust from exposed soil surfaces, reduce on and off-site damage, health hazards, and improve traffic safety.

CONDITIONS WHERE PRACTICE APPLIES
 This practice is applicable to areas subject to dust blowing and movement where on and off-site damage is likely without treatment.

SPECIFICATIONS

Temporary Methods

1. Mulches - See standards for vegetative stabilization with mulches only. Mulch should be crimped or tacked to prevent blowing.
2. Vegetative Cover - See standards for temporary vegetative cover.
3. Tillage - To roughen surface and bring clods to the surface. This is an emergency measure which should be used before soil blowing starts. Bligh plowing on windward side of site. Chisel-type plows spaced about 12" apart, spring-toothed harrows, and similar plows are examples of equipment which may produce the desired effect.
4. Irrigation - This is generally done as an emergency treatment. Site is sprinkled with water until the surface is moist. Repeat as needed. At no time should the site be irrigated to the point that runoff begins to flow.
5. Barriers - Solid board fences, silt fences, snow fences, straw bales, and similar material can be used to control air currents and soil blowing. Barriers placed at right angle to prevailing currents at intervals at about ten times their height are effective in controlling soil blowing. Calcium Chloride - Apply at rates that will keep surface moist. May need treatment.

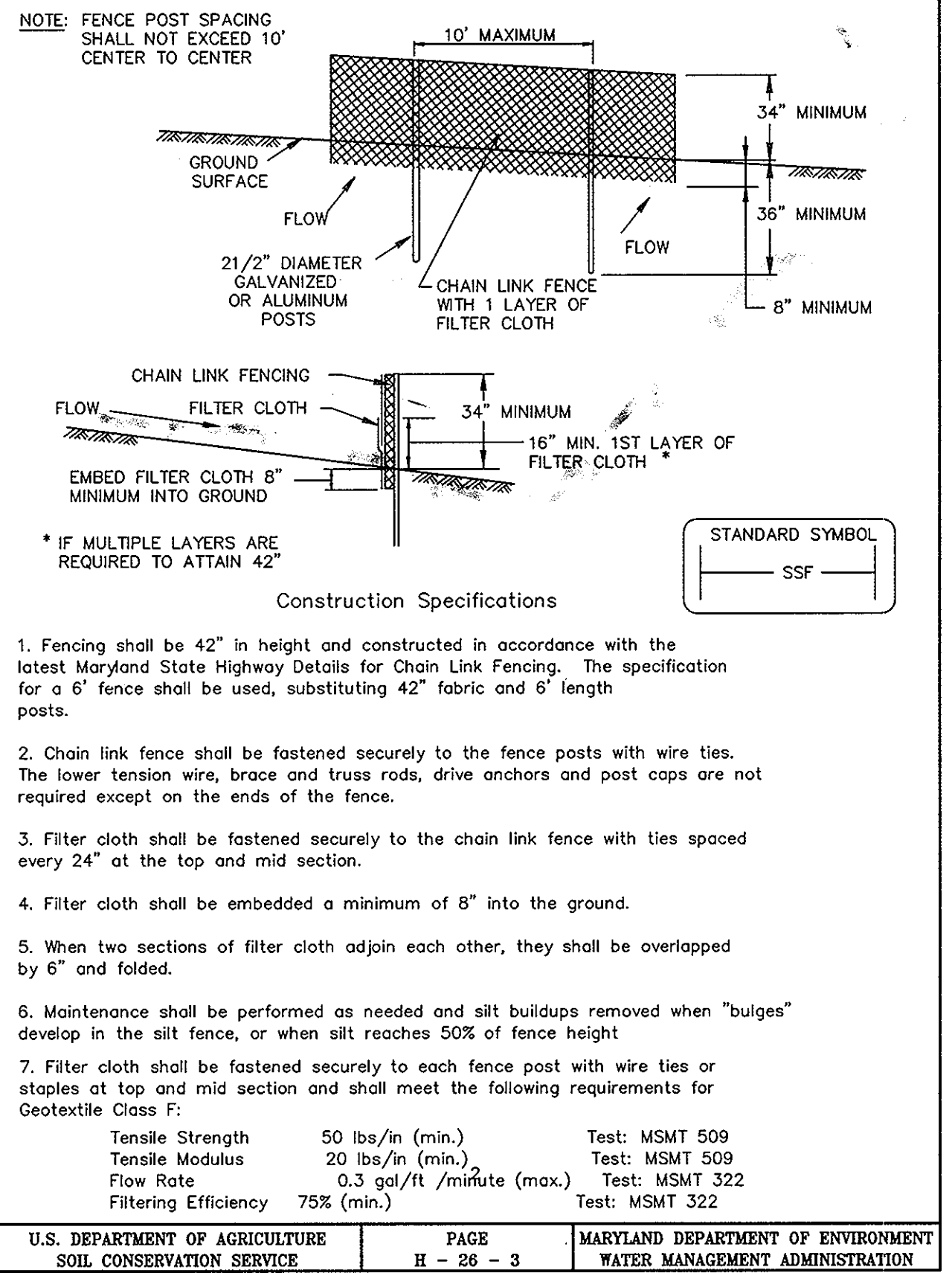
Permanent Methods

1. Permanent Vegetation - See standards for permanent vegetative cover, and permanent stabilization with sod. Existing trees or large shrubs may afford valuable protection if left in place.
2. Topsoiling - Covering with less erosive soil material. See standards for top soil.
3. Stone - Cover surface with crushed stone or gravel.

References

1. Agriculture Handbook 346, Wind Erosion Forces in the United States and Their Use in Predicting Soil Loss.
2. Agriculture Information Bulletin 354, How to Control Wind Erosion, USDA, ARS.

DETAIL 33 - SUPER SILT FENCE



THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY

BUILDER'S CERTIFICATE

"I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD."

Colleen McCall 8/14/07
 SIGNATURE OF DEVELOPER/BUILDER DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

John Roberts 8/29/07
 HOWARD S.D. DATE

Jim Marney 8/29/07
 NATURAL RESOURCES CONSERVATION DIVISION DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Paul M. Coyle 9/5/07
 Director DATE

Colleen McCall 9/5/07
 Chief, Division of Land Development DATE

Colleen McCall 9/5/07
 Chief, Development Engineering Division DATE

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3809 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-583-1800 DC/VA: 301-588-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.

PREPARED FOR:

PROPERTY OWNER (SELLER): G & R MAPLE LAWN, INC., ET. AT. 1829 REISTERTOWN ROAD, SUITE 300 BALTIMORE, MD 21208 PH: 410-484-8400 atn: CHARLIE O'DONOVAN

HOME BUILDER (CONTRACT PURCHASER): MILLER AND SMITH OF MAPLE LAWN L.L.C. 8401 GREENSBORO DRIVE, SUITE 300 MCLEAN, VIRGINIA 22102 PH: 703-821-2500 x 236 atn: COLLEEN MCCALL

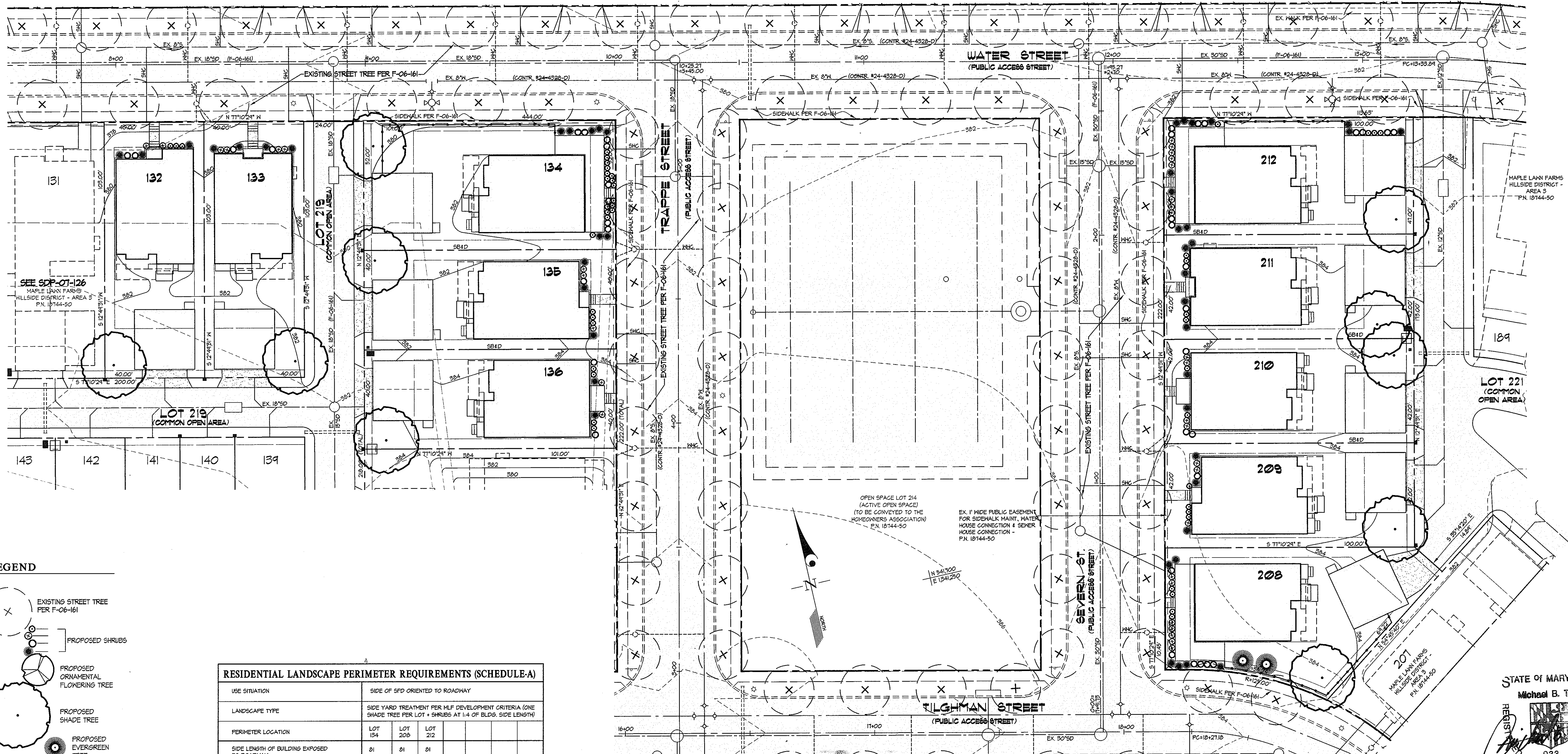
SEDIMENT CONTROL PLAN / NOTES & DETAILS

MAPLE LAWN FARMS
 HILLSIDE DISTRICT - AREA 3: LOT Nos. 132-136 and 208-212
 (SFD RESIDENTIAL USE)
 PLAT Nos. 18744 - 18750

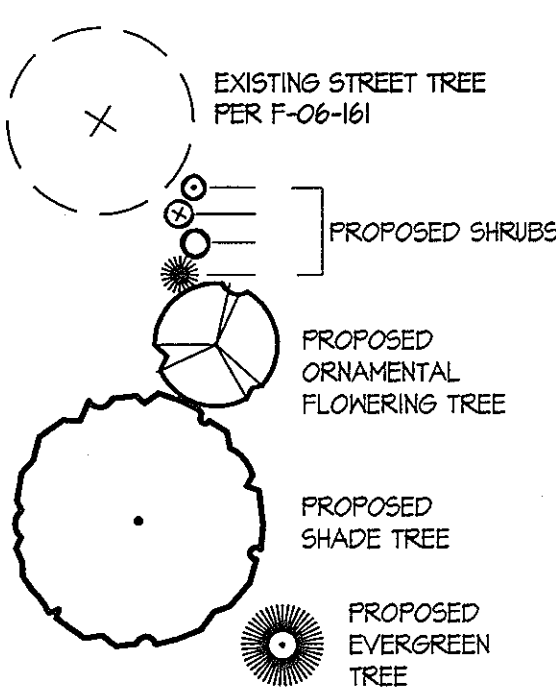
ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=40'	MXD-3	06013
DATE	TAX MAP - GRID	SHEET
AUG, 2007	41	5 OF 7



LEGEND



SEE SHEET 7 FOR PLANT LIST, NOTES & DETAILS

RESIDENTIAL LANDSCAPE PERIMETER REQUIREMENTS (SCHEDULE-A)

USE SITUATION	SIDE OF SFD ORIENTED TO ROADWAY		
	LOT 134	LOT 208	LOT 212
LANDSCAPE TYPE	SIDE YARD TREATMENT PER MFL DEVELOPMENT CRITERIA (ONE SHADE TREE PER LOT + SHRUBS AT 1:4 OF BLDG. SIDE LENGTH)		
PERIMETER LOCATION	LOT 134	LOT 208	LOT 212
SIDE LENGTH OF BUILDING EXPOSED TO ROADWAY	81	81	81
CREDIT FOR EXISTING VEGETATION	N/A	N/A	N/A
CREDIT FOR WALL, FENCE OR BERM	N/A	N/A	N/A
NUMBER OF PLANTS REQUIRED	PER SCHEDULE-C		
SHADE TREES	2	2	2
EVERGREEN TREES	0	0	0
SHRUBS	21	21	21
NUMBER OF PLANTS PROVIDED	PER SCHEDULE-C		
SHADE TREES	0	0	0
EVERGREEN TREES	0	0	0
OTHER TREES (0:2:1 SUBSTITUTION)	0	0	0
SHRUBS (0:1 SUBSTITUTION)	21	21	21

* THE OPTIONAL EXTENDED BUILDING FEATURES ARE INCLUDED IN THE BUILDING LENGTH VALUE SHOWN.

NOTES:
 1. AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN, SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.

2. THE OWNER, TENANTS AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIAL TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.

RESIDENTIAL LOT INTERNAL LANDSCAPING REQUIREMENTS (SCHEDULE-C)

LOT	REQUIRED FRONT YARD PLANTINGS		REQUIRED SIDE & REAR YARD PLANTINGS		PLANTINGS PROVIDED			COMMENTS
	TYPE	NO.	SHRUBS AT 1:4 OF LOT WIDTH AT BRL	ON CORNER LOTS, PROVIDE 1:4 OF SIDE BLDG. LENGTH	SHD. TREE	SHRUBS	OTHERS (AS SUBSTITUTIONS)	
COTTAGE	132	42'	10	N/A	1	10		A, B
	133	42'	10	N/A	1	10		A, B
	134	52'	15	N/A	1	15		A, B, C
	135	42'	10	N/A	1	10		A, B
	136	42'	10	N/A	1	10		A, B
	208	44'	13	81'	21	1	24	2 EVERGREEN TREES FOR 10 SHRUBS
209	42'	11	N/A	N/A	1	11		A, B
210	42'	11	N/A	N/A	1	11		A, B
211	42'	11	N/A	N/A	1	11		A, B
212	47'	12	81'	21	1	33		A, B, C

COMMENTS:
 (A) SUBSTITUTION FOR DIFFERENT TYPE OF PLANT MATERIALS ARE AS FOLLOWS: 1 SHADE TREE = 2 ORNAMENTALS OR EVERGREEN TREES = 10 SHRUBS, 5 SHRUBS = 1 ORNAMENTAL OR EVERGREEN TREES, AND 4 SQUARE FEET OF GROUND COVER OR PERENNIALS = 1 SHRUB.
 (B) PLANT MATERIALS HAVE BEEN RELOCATED TO A DIFFERENT YARD WITHIN THE SAME LOT FOR SPATIAL DESIGN PURPOSES.
 (C) PLANT QUANTITIES FROM SCHEDULE-A ARE INCLUDED AND ACCOUNTED WITH SCHEDULE-C PROPOSED PLANT QUANTITIES TO SIMPLIFY SUBSTITUTIONS.

LANDSCAPE SURETY PER LOT

BUILDER	LOT No.	PLANT QUANTITY		SURETY AMOUNT
		SHADE TREE	SHRUBS	
MILLER and SMITH at MAPLE LAWN, L.L.C.	132	1	10	\$600.00
	133	1	10	\$600.00
	134	1	15	\$1,320.00
	135	1	10	\$600.00
	136	1	10	\$600.00
	208	1	34	\$1,320.00
209	1	11	\$630.00	
210	1	11	\$630.00	
211	1	11	\$630.00	
212	1	33	\$1,290.00	
TOTAL		10	114	\$8,220.00

DEVELOPER'S/BULDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL AND THE MFL LANDSCAPE DESIGN CRITERIA. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXCITED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME: *Colleen McCall* DATE: *8/14/07*

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Mark A. Uyle* Date: *9/17/07*
 Chief, Division of Land Development: *[Signature]* Date: *9/15/07*
 Chief, Development Engineering Division: *[Signature]* Date: *9/20/07*

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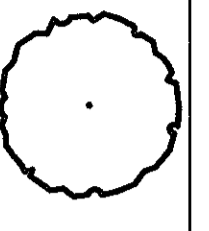
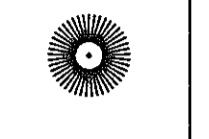




LANDSCAPE PLAN
MAPLE LAWN FARMS
 HILLSIDE DISTRICT - AREA 3: LOT Nos. 132-136 and 208-212 (SFD RESIDENTIAL USE)
 PLAT No. 18744 - 18750
 ELECTION DISTRICT No. 5

SCALE: 1"=20'
 ZONING: MXD-3
 DATE: AUG, 2007
 TAX MAP - GRID: 41
 G. L. W. FILE No.: 06013
 SHEET: 6 OF 7
 HOWARD COUNTY, MARYLAND

THIS PLAN IS FOR PLANTING PURPOSES ONLY.

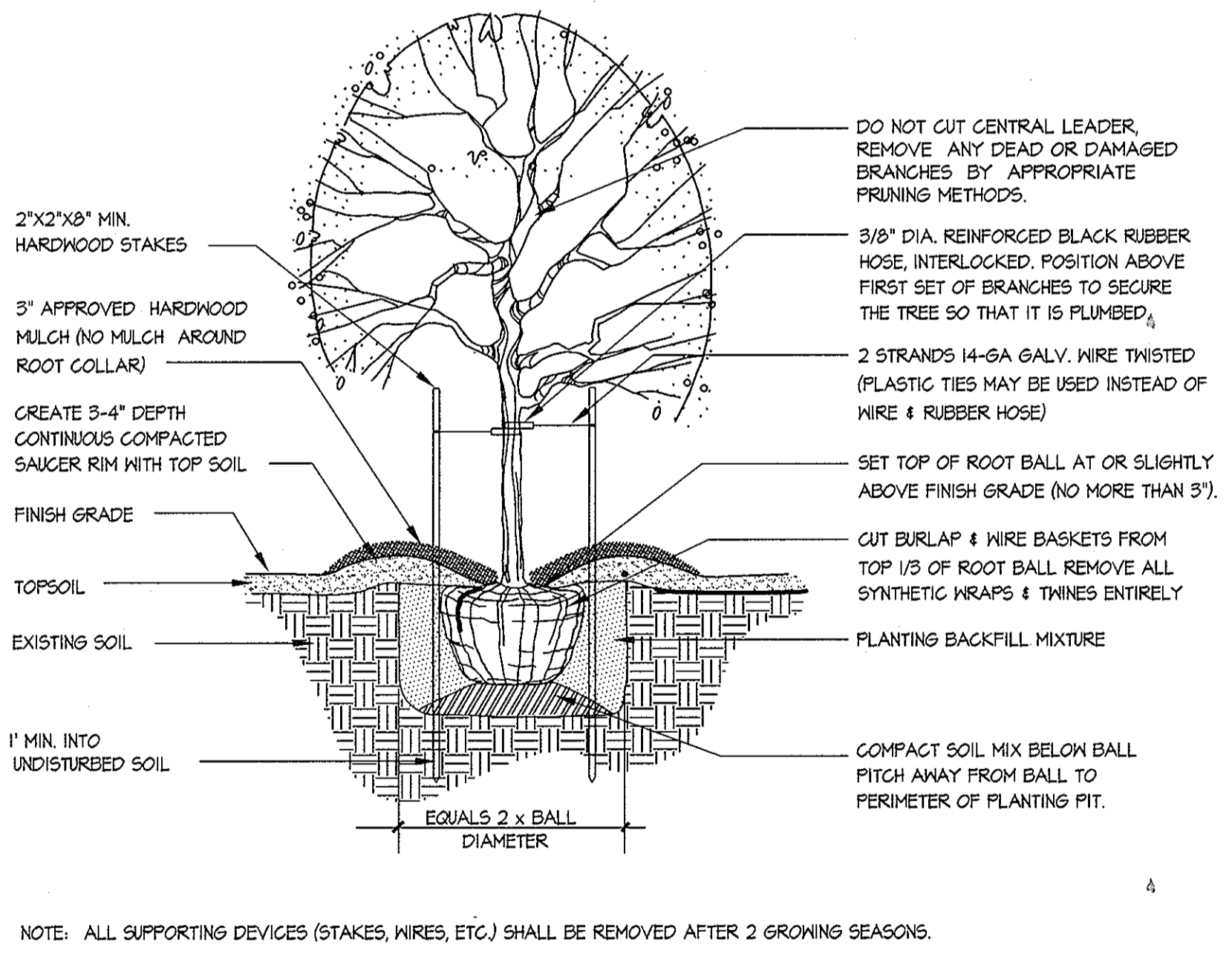
STATE OF MARYLAND
Michael B. Tran
 ARCHITECT
 938 LANDSCAPE

PLANT LIST

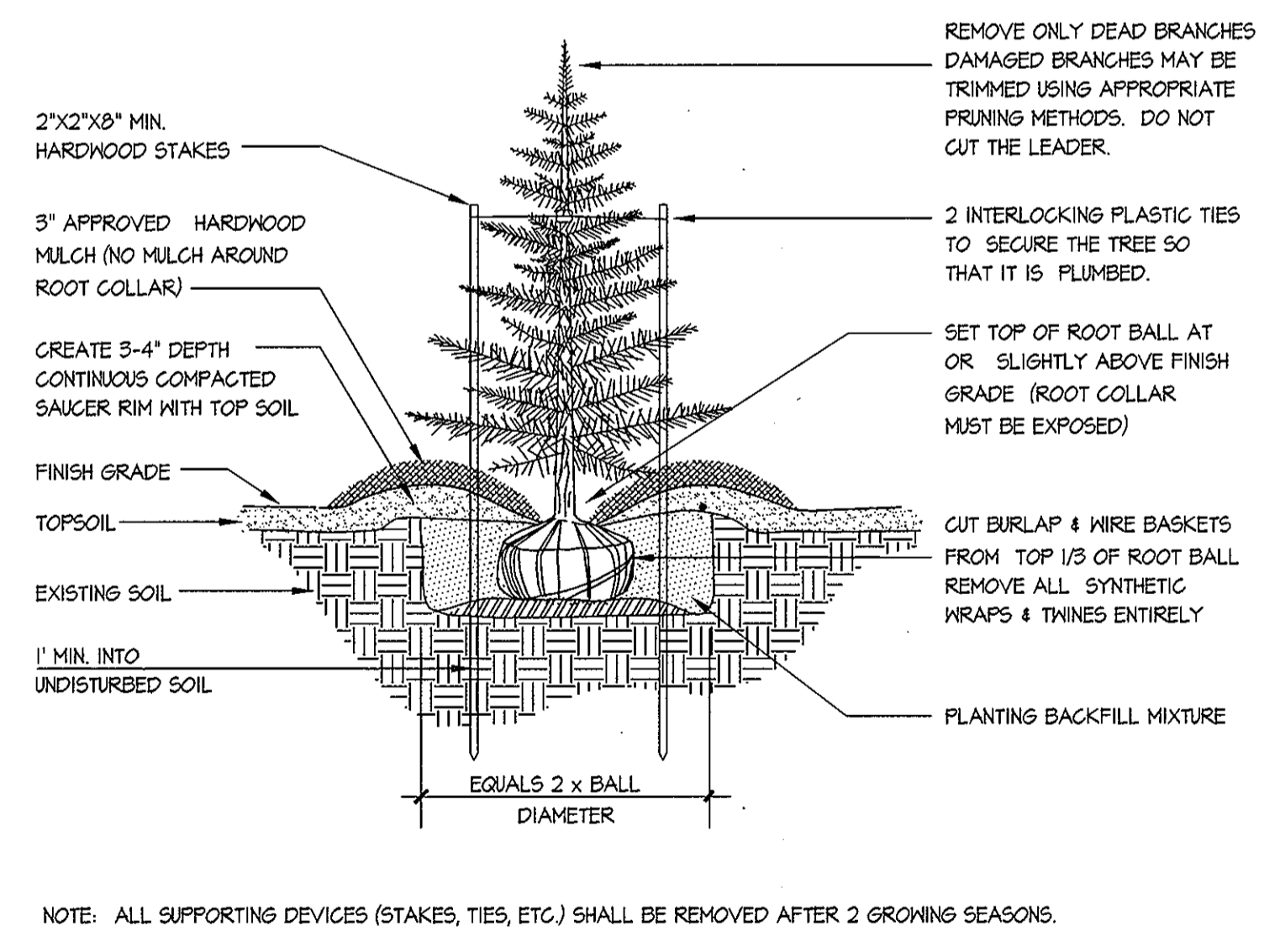
SYMBOL	QUANT.	SIZE	NAME (BOTANICAL/COMMON) OF PLANTS FOR SELECTION BY OWNER/BUYER	COMMENTS
	10	ALL SHADE TREES SHALL BE 2.5"-3" CAL. AND 12' MIN. HT.	ACER RUBRUM 'OCTOBER GLORY' / OCTOBER GLORY RED MAPLE ACER RUBRUM 'RED SUNSET' / RED SUNSET RED MAPLE ACER SACHARUM 'GREEN MOUNTAIN' / GREEN MOUNTAIN SUGAR MAPLE ACER X FREEMANII 'CELEBRATION' / CELEBRATION FREEMAN MAPLE ACER SAGCHARUM 'GOLDSPIRE' / GOLDSPIRE SUGAR MAPLE QUERCUS PHELLOS / HILLOW OAK QUERCUS RUBRA / NORTHERN RED OAK TILIA CORDATA 'GREENSPIRE' / GREENSPIRE LITTLELEAF LINDEN ZELKOVA SERRATA 'GREEN VASE' / GREEN VASE ZELKOVA ZELKOVA SERRATA 'VILLAGE GREEN' / VILLAGE GREEN ZELKOVA	ALL B&B
	2	ALL EVERGREEN TREES SHALL BE 6-8' HT.	CUPRESSOCYPARIS LEYLANDI / LEYLAND CYPRESS ILEX ATTENUATA 'FOSTERI' / FOSTER HOLLY ILEX OPACA / AMERICAN HOLLY FICIA OMORICA / SERBIAN SPRUCE FICIA FUNGENS / COLORADO SPRUCE PINUS STROBUS / EASTERN WHITE PINES	ALL B&B. ALL SHALL HAVE AN INTACT CENTRAL LEADER
	44	ALL 18" - 24" SPREAD	AZALEA VAR. 'GUMPO PINK', 'GUMPO WHITE', 'KAEMPO' COTONEASTER DAMMERI 'CORAL BEAUTY' / CORAL BEAUTY COTONEASTER COTONEASTER HORIZONTALIS 'TOM THUMB' / TOM THUMB COTONEASTER JUNIFERUS HORIZONTALIS VAR. / JUNIFER VAR. 'BEAR HARBOR', 'ANDORRA', 'WILTONI BLUE RUG' JUNIFERUS PROCUMBENS 'NANA' / DWARF JAPANESE GARDEN JUNIFER	ALL CONTAINERIZED
	33	ALL 24" - 30" SPREAD	AZALEA VAR. 'DELANARE VALLEY WHITE', 'HERSHEY RED', 'HINO CRIMSON' BERBERIS THUNDERFII ATROPURPUREA 'CRIMSON PYGMY' / CRIMSON PYGMY BARBERRY DEUTZIA GRACILIS / SLENDER DEUTZIA ILEX CRENATA 'HELLE' / DWARF JAPANESE HOLLY ILEX GLABRA 'COMPACTA' / DWARF INK-BERRY MAHONIA AQUIFOLIUM / OREGON GRAPE HOLLY SPIREA NIPPONICA 'SNOWMOUND' / SNOWMOUND SPIREA	ALL CONTAINERIZED
	31	ALL 24" - 30" SPREAD & 2.5' - 3' HT.	EUONYMUS ALATUS 'COMPACTA' / DWARF HINGED EUONYMUS EUONYMUS KIANTSCHOVICUS 'MANHATTAN' / MANHATTAN EUONYMUS MAHONIA BEALEI / LEATHERLEAF MAHONIA OSMANTHUS HETEROPHYLLUS 'GULFIDE' / SWEET HOLLY RHODODENDRON HYBRID VAR. (CAT. ALBUM, CAT. GRANDIFLORA, 'ENGLISH ROSEUM', 'ROSEUM ELEGANS') RHODODENDRON 'PJM' / PJM RHODODENDRON TAXUS CUSPIDATA 'NANA' / DWARF JAPANESE YEW VIBURNUM CALESI / KOREAN SPICE VIBURNUM	ALL CONTAINERIZED
	46	ALL 3' - 4' HT.	ILEX VERTICILLATA VAR. / WINTERBERRY HOLLY VAR. ('CARDINAL', 'JIM DANDY', 'RED SPRITE', 'WINTER RED' or 'SPARKLEBERRY') JUNIFERUS CHINENSIS 'BLUE POINT' / BLUE POINT JUNIFER TAXUS MEDIA 'HICKSII' / HICKS YEW THUJA OCCIDENTALIS 'EMERAL GREEN' / EMERAL GREEN ARBORVITAE	ALL CONTAINERIZED

LANDSCAPE NOTES

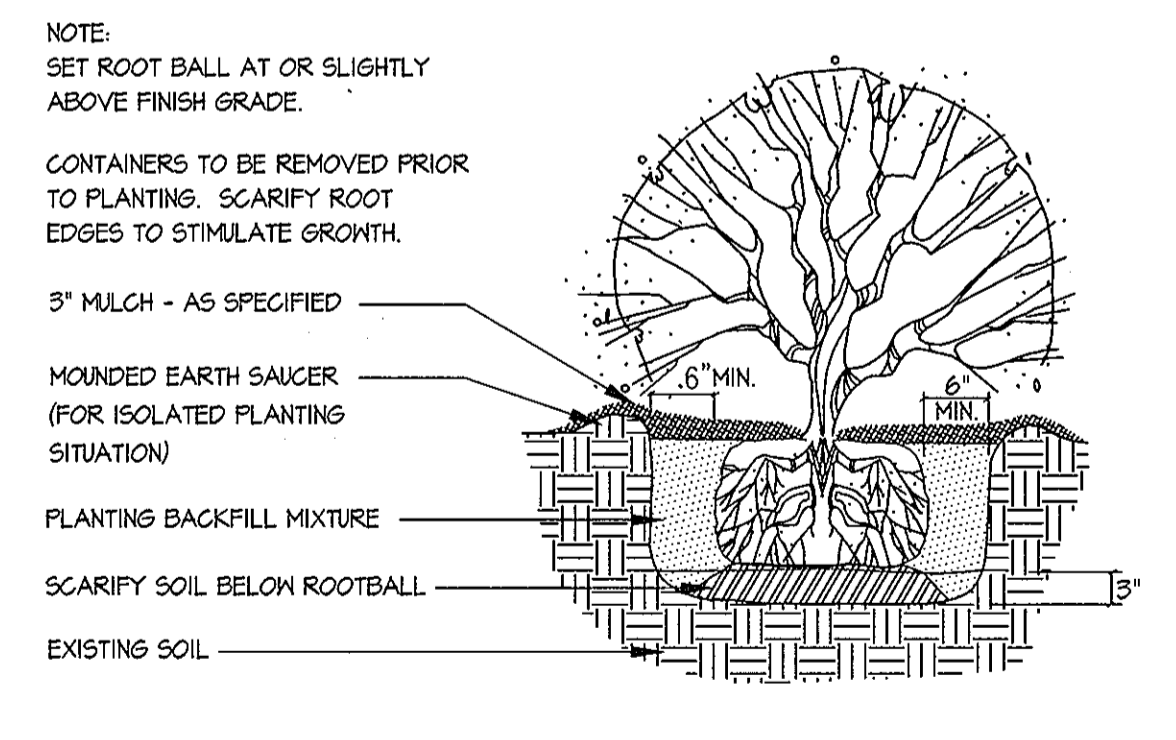
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE & CHAPTER VI OF THE HOWARD COUNTY LANDSCAPE MANUAL (ALTERNATIVE COMPLIANCE) PLUS THE LANDSCAPE DESIGN CRITERIA OF 5-06-16 AND PD CASE NO. 316.
 - CONTRACTOR SHALL NOTIFY ALL UTILITIES AT LEAST (5) FIVE DAYS BEFORE STARTING WORK. ALL GENERAL NOTES, ESPECIALLY THOSE REGARDING UTILITIES, ON SHEET NO.1 SHALL APPLY.
 - FIELD VERIFY UNDERGROUND UTILITY LOCATIONS AND EXISTING CONDITIONS BEFORE STARTING PLANTING WORK. CONTACT CONSTRUCTION MANAGER OR OWNER IF ANY RELOCATIONS ARE REQUIRED.
 - PLANT QUANTITIES SHOWN ON THE PLANT LIST ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON THE PLAN AND THOSE SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE.
 - ALL PLANT MATERIAL SHALL BE FULL, HEAVY, WELL FORMED, SYMMETRICAL, AND CONFORM TO THE A.A.N. SPECIFICATIONS. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THIS PLAN.
 - NO SUBSTITUTION SHALL BE MADE WITHOUT PRIOR APPROVAL FROM HOWARD COUNTY DPZ AND THE OWNER OR HIS REPRESENTATIVE.
 - ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES BUT NOT OTHERWISE PLANTED, PAVED, OR MULCHED SHALL BE SOODED OR SEEDED IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATION. A MINIMUM OF 4" OF TOPSOIL SHALL BE PROVIDED TO ALL PLANTING AREAS (FOR TOPSOIL SPEC. SEE SHEET 4).
 - THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING IF HE/SHE ENCOUNTERS SOIL DRAINAGE CONDITIONS THAT MAY BE DETRIMENTAL TO THE GROWTH OF THE PLANTS.
 - ALL EXPOSED EARTH WITHIN THE LIMITS OF PLANTING BEDS SHALL BE MULCHED WITH SHREDED HARDWOOD MULCH PER THE PLANTING DETAILS.
 - DO NOT PLANT WITHIN THE PUBLIC WATER, SEWER AND UTILITY EASEMENT.
- II. "SCHEDULE-C" IS PROVIDED FOR LANDSCAPE SURETY CALCULATION PURPOSES. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING SHALL BE POSTED WITH THE GRADING PERMIT FOR HOUSE CONSTRUCTION IN THE AMOUNT OF \$8,220.00 FOR THE LOTS PER THIS SDP AS FOLLOWS:
- 174 SHRUBS AT \$30/SHRUB = \$5,220.00
10 TREES AT \$300.00/TREE = \$3,000.00
- FOR LANDSCAPE INSPECTION TO OBTAIN THE RELEASE OF THE SURETY, CONTACT HOWARD COUNTY DEPT. OF PLANNING & ZONING AT 410-318-2350. SEE THE CHART BELOW FOR THE BREAK DOWN OF THE SURETY ON A PER LOT BASIS.



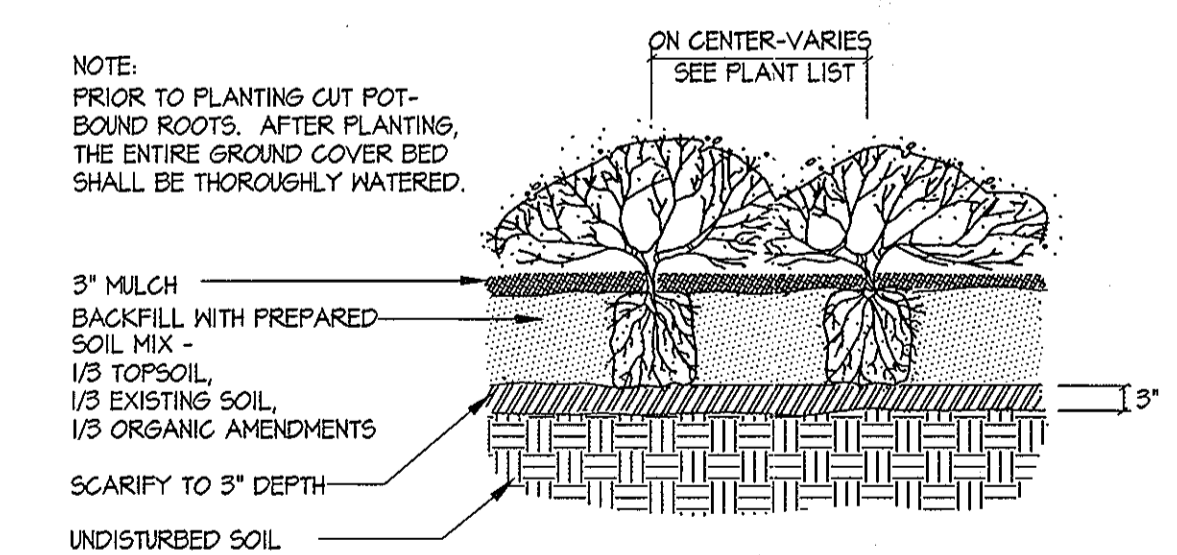
DECIDUOUS TREE PLANTING DETAIL
FOR PLANTING MATERIAL UP TO 3 1/2" CALIPER



EVERGREEN TREE PLANTING DETAIL



SHRUB PLANTING DETAIL



GROUNDCOVER PLANTING DETAIL

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Michael B. Tran 9/15/07
Director

Colleen McCall 9/15/07
Chief, Division of Land Development

Michael B. Tran 8/22/07
Chief, Development Engineering Division

STATE OF MARYLAND
Michael B. Tran
REGISTERED ARCHITECT
933 LANDSCAPE ARCHITECT

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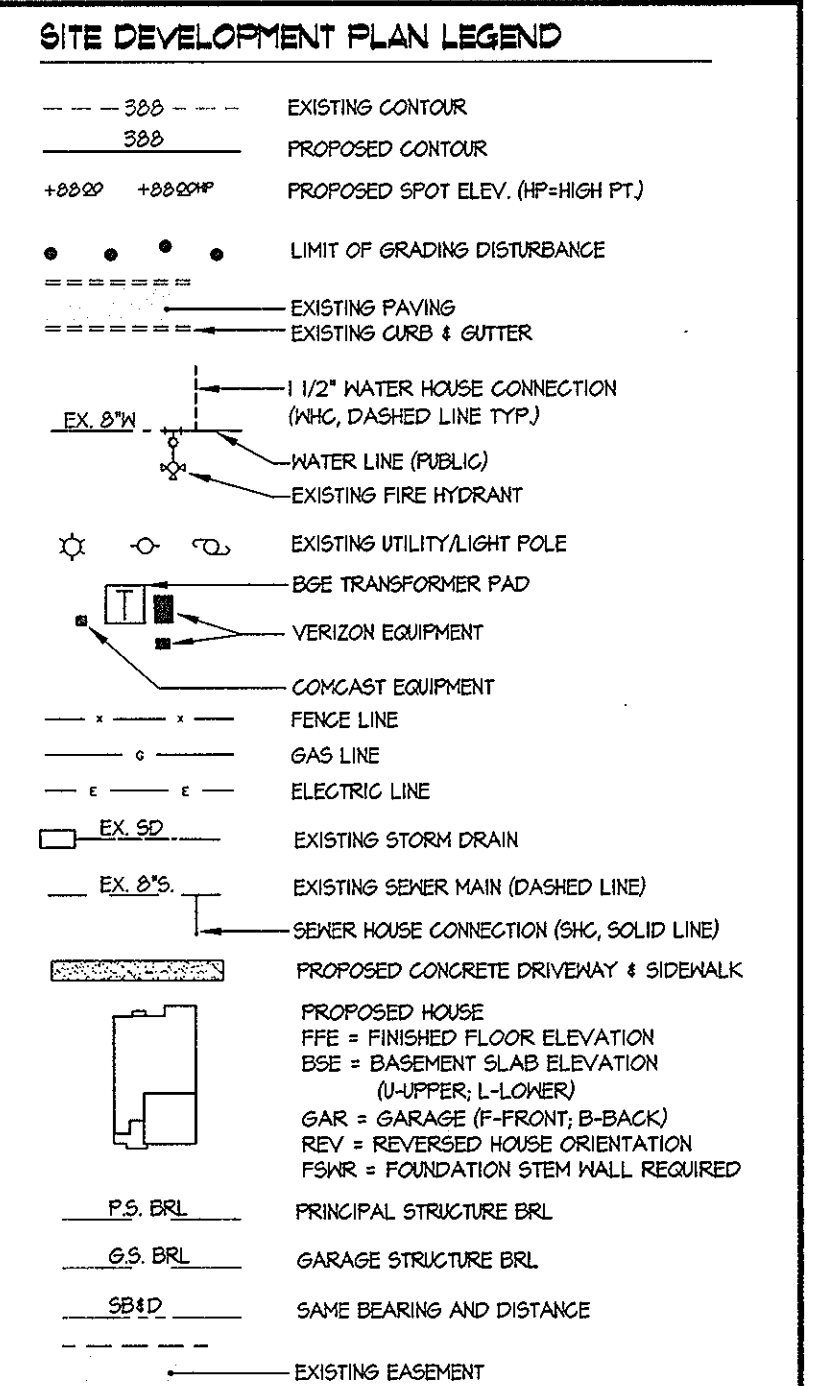
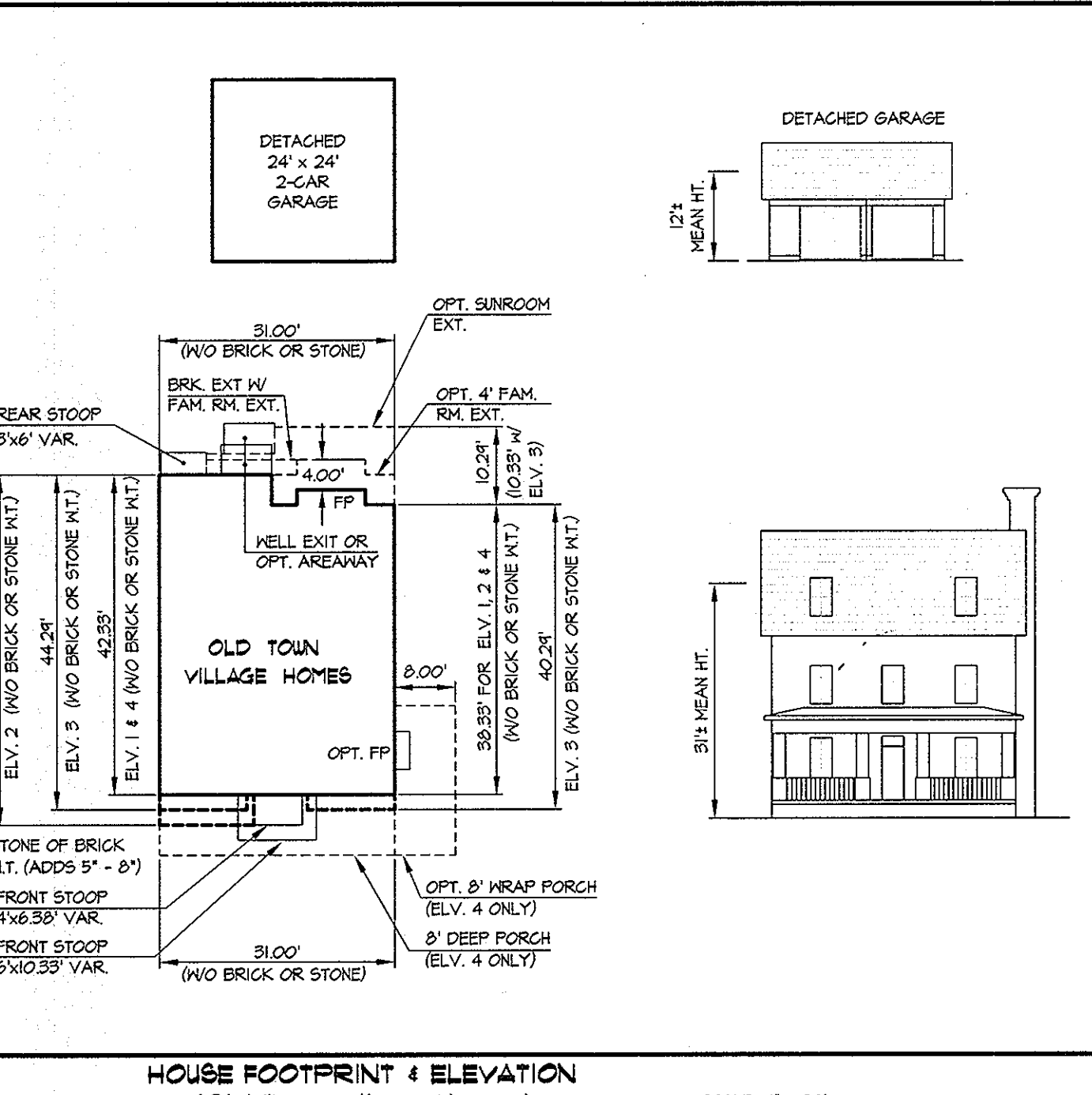
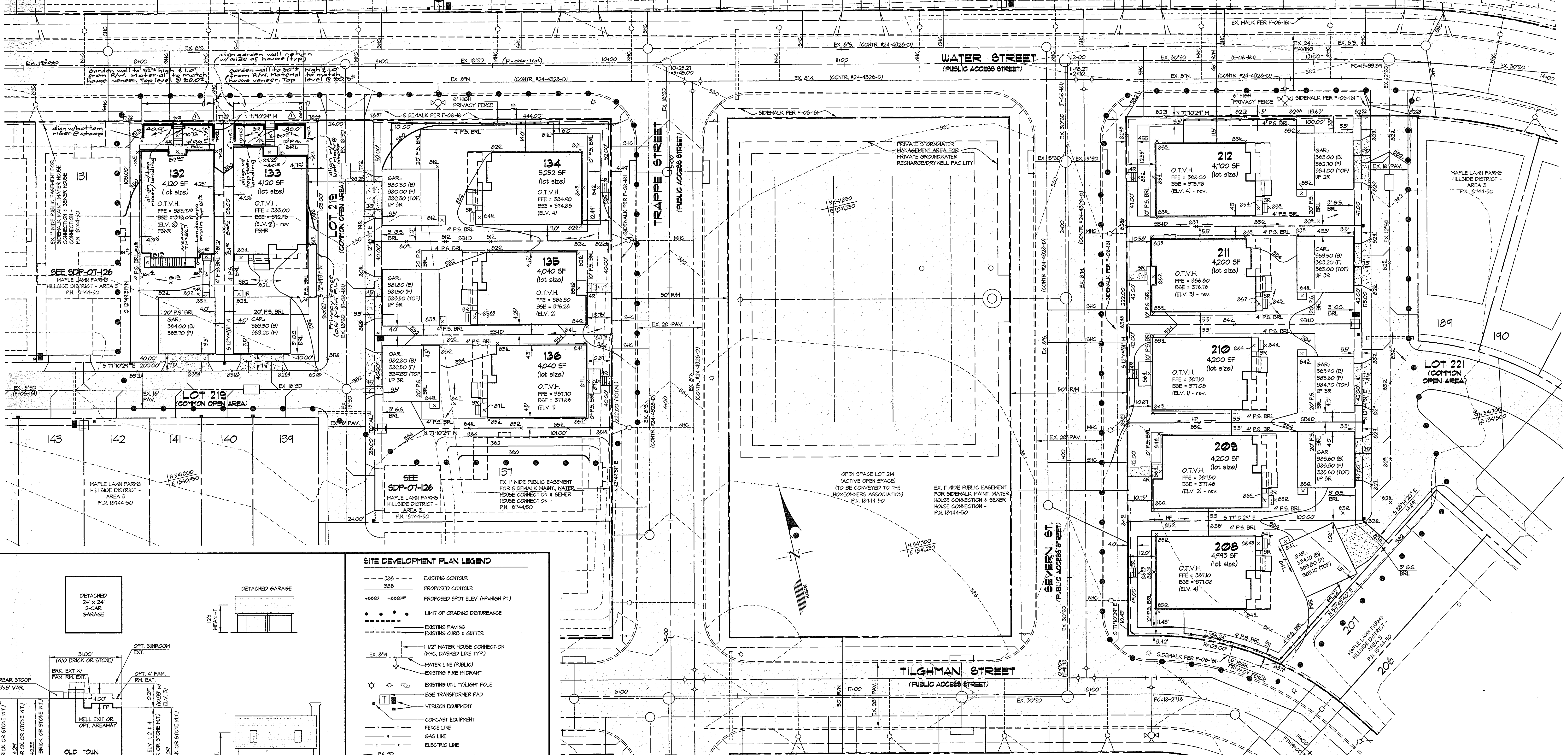
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LANDSCAPE NOTES and DETAILS
MAPLE LAWN FARMS
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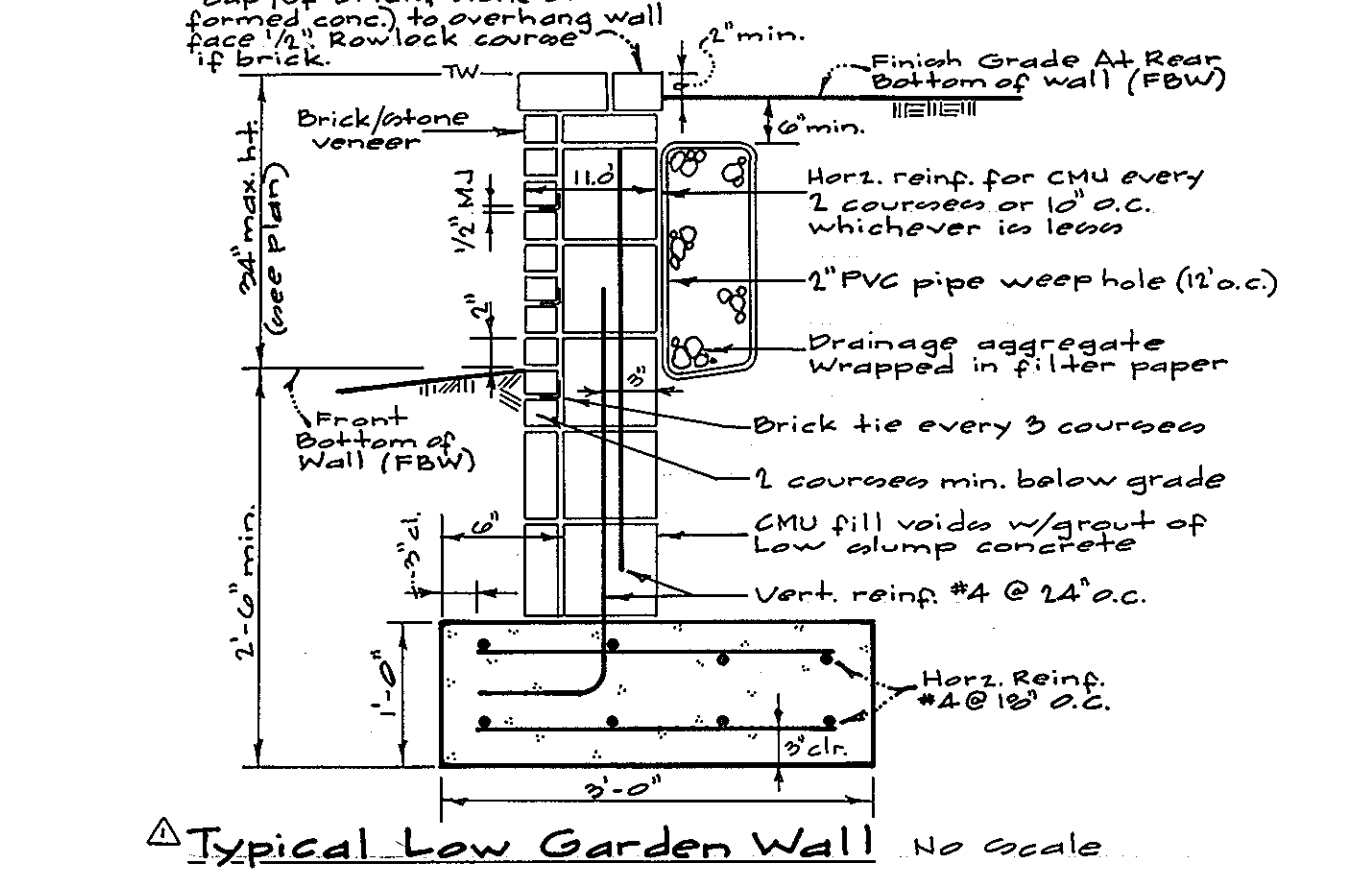
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SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	06013
DATE	TAX MAP - GRID	SHEET
AUG., 2007	41	7 OF 7

HOWARD COUNTY, MARYLAND



- NOTES:**
- ALL FENCES, GARDEN WALLS, STOOPS AND STEPS ALONG THE R/W SHALL BE LOCATED BEHIND THE 1' PUBLIC SIDEWALK ESMT.
 - BRICK POINT ALL BUILDING CONSTRUCTION UNLESS NOTED OTHERWISE.
 - ALL MHC'S TO THE SUBJECT LOTS OF THIS SDP ARE 1 1/2" PER CONTRACT #24-4328-D AND THE WATER METER VAULTS ARE IN THE R.O.M.
 - SEE THE CHART ON THIS SHEET FOR SHC INFORMATION. CONTRACTOR SHALL CHECK AND VERIFY THE SEWER HOUSE ELEVATIONS AT THE PROPERTY LINE PRIOR TO CONSTRUCTION.
 - ALL GARDEN WALLS AND FENCES THAT STRADDLE PROPERTY LINES SHALL BE MAINTAINED IN ACCORDANCE WITH ARTICLE 15 OF THE MAPLE LAWN FARM HOMEOWNERS ASSOCIATION COVENANTS (RECORDED AT LIBER 1414 FOLIO 212 THROUGH 366).
 - DRIVEWAY APRONS ON WATER STREET SHALL BE CONSTRUCTED IN ACCORDANCE WITH DPM DET. R-6.01. ALSO SEE GENERAL NOTE IT ON SHEET 1 FOR OTHER REQUIREMENTS (IF APPLICABLE) REGARDING DRIVEWAYS.
 - ALL BUILDINGS WITHIN 10' OF A BGE TRANSFORMER SHALL BE CONSTRUCTED FOR A MINIMUM FIRE RESISTANCE RATINGS OF 3 HOURS.
 - ALL YARD DRAIN INLETS ARE 12" (N.Y.L.P.) LAST INLINE DRAIN MODEL NO. 2712AG (N.Y. OR E.V.) CONNECT ALL YARD DRAIN INLETS TO THE EXISTING STORM DRAIN STUBS IN THE ALLEY USING ADS N-12 (H.D.P.E. TYPE 'S') PIPES. CONTRACTOR SHALL CHECK AND VERIFY THE INVERT OF THE STUBS AT THE ALLEY PROPERTY LINE PRIOR TO CONSTRUCTION. PROVIDE POSITIVE DRAIN (6" MIN) FROM YARD INLET TO THE STORM DRAIN STUBS. PROVIDE 10' MIN. COVER OVER THE HOPE PIPES. ALL DOWN SPOUTS SHALL BE DISCHARGED ONTO SPLASH BLOCKS OR PIPE DIRECTLY TO THE YARD DRAIN.
 - INGRESS/EGRESS FOR THE COTTAGE LOTS ARE RESTRICTED TO THE ALLEY.



SEWER HOUSE CONNECTIONS MINIMUM CELLAR ELEVATIONS AND INVERT ELEVATION @ P.L.

LOT	ELEVATION @ PROP. LINE	MCE	LOT	ELEVATION @ PROP. LINE	MCE
132	364.81	364.50	208	374.48	375.80
133	365.60	370.00	209	374.98	375.20
134	366.40	371.60	210	373.33	375.50
135	371.00	374.20	211	371.06	375.20
136	371.60	376.00	212	364.19	375.80

INVERT ELEVATIONS FOR YARD DRAIN STUBS @ ALLEY P.L.

LOT	ELEVATION	LOT	ELEVATION
132	371.44	208	371.43
133	376.71	209	375.24
134	375.84	210	371.84
135	374.42	211	371.44
136	375.86	212	371.21

NOTE: ALL SEWER HOUSE CONNECTIONS ARE 4".

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Paul A. Uyle 9/5/07
 Director Date
Chadwick 9/5/07
 Chief, Division of Land Development Date
Chadwick 8/22/07
 Chief, Development Engineering Division Date

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12475, EXPIRATION DATE: MAY 26, 2009.

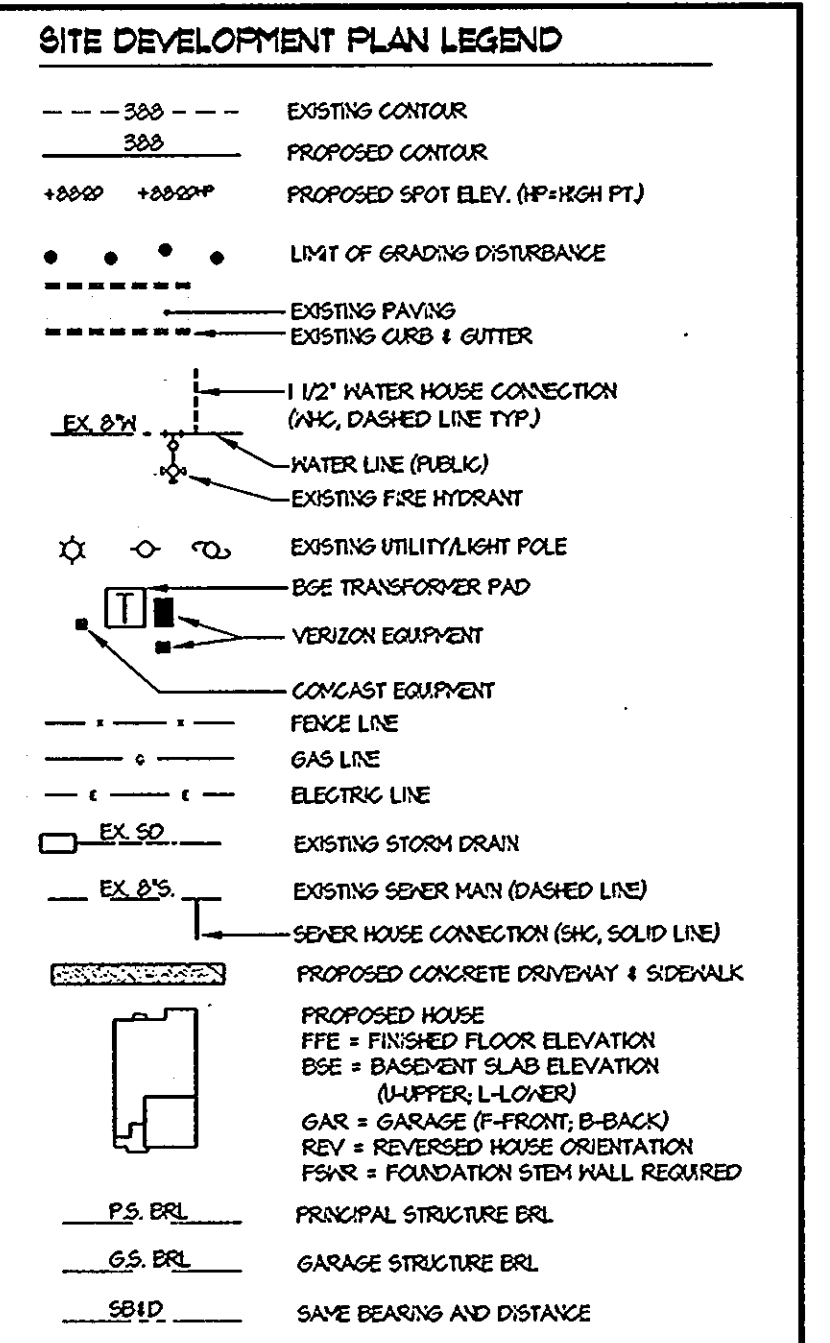
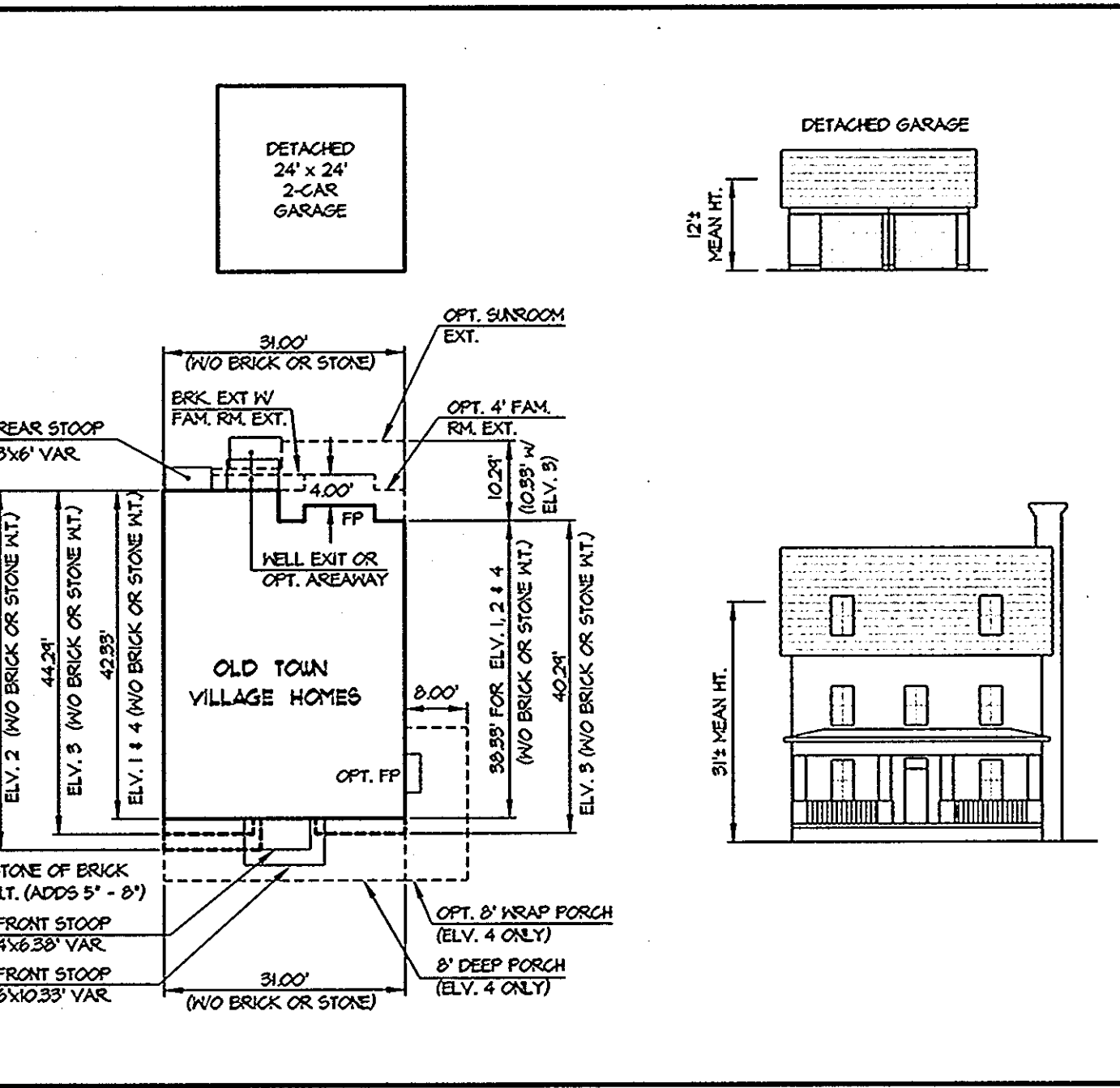
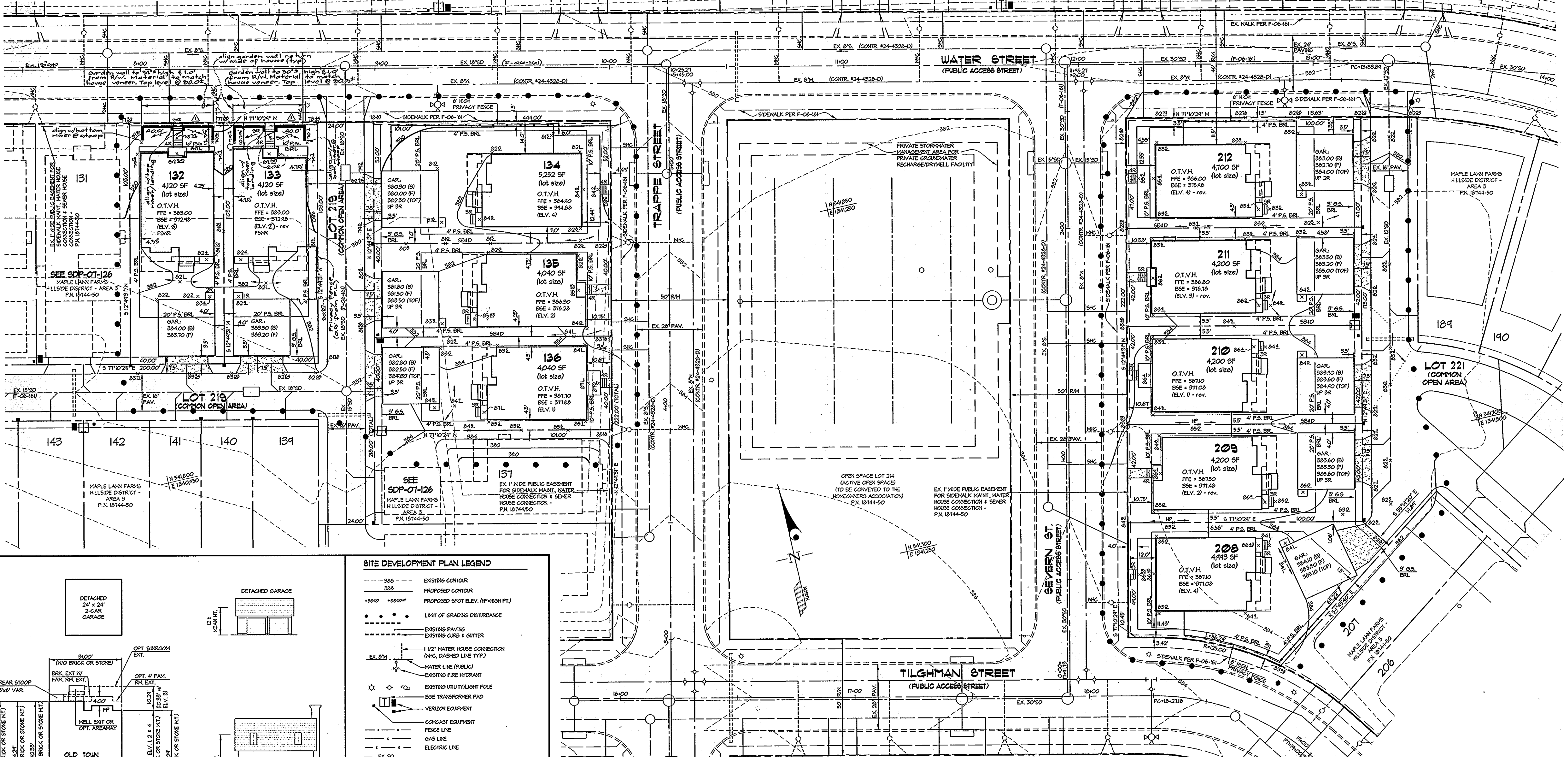
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DATE	REVISION	BY	APPR.
9/2/07	Added rear two features and walkway & minor grading changes on lot 132	WJG	
5/21/08	revised lots 132 & 133 and added garden walls to 132 & 133; added garden wall det.	KLP	

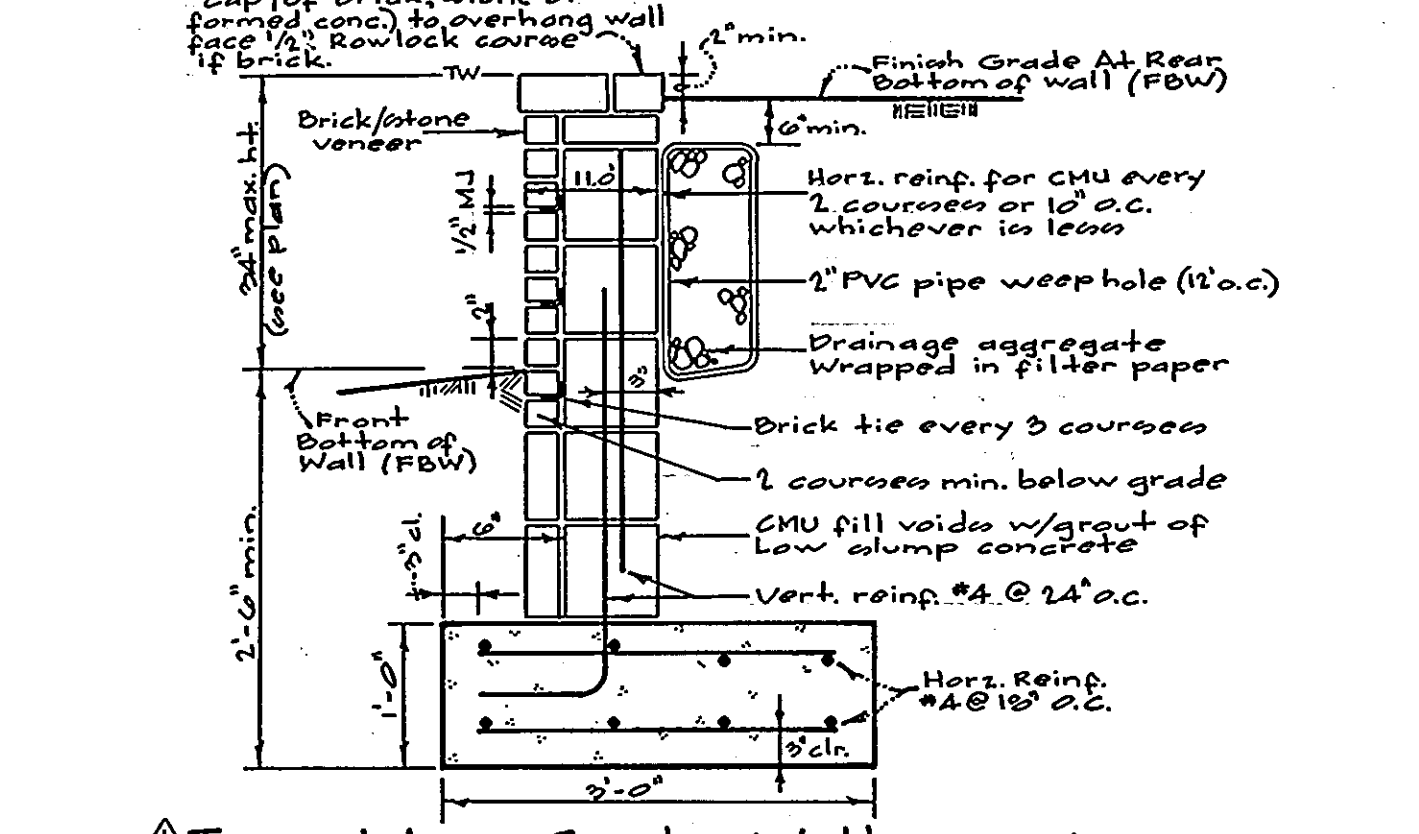
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SITE DEVELOPMENT PLAN
MAPLE LAWN FARMS
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1"=20'	MXD-3	06013
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AUG., 2007	41	2 OF 7



- NOTES:**
- ALL FENCES, GARDEN WALLS, STOOPS AND STEPS ALONG THE R/W SHALL BE LOCATED BEHIND THE 1' PUBLIC SIDEWALK ESMT.
 - BRICK POINT ALL BUILDING CONSTRUCTION UNLESS NOTED OTHERWISE.
 - ALL MKC'S TO THE SUBJECT LOTS OF THIS SDP ARE IN THE R.O.M. #24-4328-D AND THE WATER METER VALVES ARE IN THE R.O.M.
 - SEE THE CHART ON THIS SHEET FOR SHC INFORMATION. CONTRACTOR SHALL CHECK AND VERIFY THE INVERT OF THE STUBS AT THE ALLEY PROPERTY LINE PRIOR TO CONSTRUCTION. PROVIDE POSITIVE DRAIN FROM YARD ALLEY TO THE STORM DRAIN STUBS. PROVIDE 10' MIN. COVER OVER THE HOPE PIPES. ALL DOWN SPOUTS SHALL BE DISCHARGED ONTO SPLASH BLOCKS OR PIPE DIRECTLY TO THE YARD DRAIN.
 - ALL GARDEN WALLS AND FENCES THAT STRADDLE PROPERTY LINES SHALL BE MAINTAINED IN ACCORDANCE WITH ARTICLE 15 OF THE MAPLE LAWN HOMEOWNERS ASSOCIATION COVENANTS (RECORDED AT LIBER 1411 FOLIO 212 THROUGH 366).
 - ALL BUILDINGS WITHIN 10' OF A BGE TRANSFORMER SHALL BE CONSTRUCTED FOR A MINIMUM FIRE RESISTANCE RATINGS OF 3 HOURS.
 - ALL YARD DRAIN INLETS ARE 12" (N) (LAST IN LINE DRAIN MODEL NO. 212AG 811 OR 821). CONNECT ALL YARD DRAIN INLETS TO THE EXISTING STORM DRAIN STUBS IN THE ALLEY USING ADS #4-12 (HOPE, TYPE 5) PIPES. CONTRACTOR SHALL CHECK AND VERIFY THE INVERT OF THE STUBS AT THE ALLEY PROPERTY LINE PRIOR TO CONSTRUCTION. PROVIDE POSITIVE DRAIN FROM YARD ALLEY TO THE STORM DRAIN STUBS. PROVIDE 10' MIN. COVER OVER THE HOPE PIPES. ALL DOWN SPOUTS SHALL BE DISCHARGED ONTO SPLASH BLOCKS OR PIPE DIRECTLY TO THE YARD DRAIN.
 - INGRESS/EGRESS FOR THE COTTAGE LOTS ARE RESTRICTED TO THE ALLEY.



SEWER HOUSE CONNECTIONS MINIMUM CELLAR ELEVATIONS AND INVERT ELEVATION OF FL. LINE

LOT	ELEVATION OF PROP. LINE	INVERT	LOT	ELEVATION OF PROP. LINE	INVERT
132	364.83	364.80	208	372.48	375.80
133	365.60	370.10	209	371.98	375.20
134	366.40	371.60	210	371.83	375.50
135	371.00	374.20	211	371.06	375.20
136	371.60	376.60	212	364.19	375.60

INVERT ELEVATIONS FOR YARD DRAIN STUBS @ ALLEY FL.

LOT	ELEVATION	LOT	ELEVATION
132	371.44	208	371.45
133	376.77	209	376.24
134	378.24	210	371.44
135	374.42	211	371.44
136	375.66	212	371.01

NOTE: ALL SEWER HOUSE CONNECTIONS ARE 4".

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Paul A. Cagle* 9/5/07

Chief, Division of Land Development: *John A. ...* 9/5/07

Chief, Development Engineering Division: *...* 9/21/07

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12475, EXPIRATION DATE: MAY 26, 2009.

[Signature]

GLWGUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS

3909 NATIONAL DRIVE - SUITE 250 - BURTONTOWN OFFICE PARK

BURTONTOWN, MARYLAND 20866

TEL: 301-421-4024 FAX: 301-421-4020

DATE: 8/21/07

REVISION: RECALCULATED LOTS 132 & 133 AND ADDED GARDEN WALLS TO LOTS 132 & 133; ADDED GARDEN WALL DET.

BY: klp

APPR: [Signature]

PREPARED FOR:

PROPERTY OWNER (SELLER): G & R MAPLE LAWN, INC., ET. AL. 1829 RESTERTOWN ROAD, SUITE 300 BALTIMORE, MD 21208 PH: 410-484-8400 atn: CHARLIE O'DONOVAN

HOME BUILDER (CONTRACT PURCHASER): MULLER AND SMITH OF MAPLE LAWN L.L.C. 8401 GREENSBORO DRIVE, SUITE 300 MCOLAN, VIRGINIA 22102 PH: 703-821-2500 x 236 atn: COLLEEN McCALL

SITE DEVELOPMENT PLAN

MAPLE LAWN FARMS

HILLSIDE DISTRICT - AREA 3: LOT Nos. 132-136 and 208-212 (SFD RESIDENTIAL USE)

PLAT Nos. 18744 - 18750

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

SCALE: 1"=20'

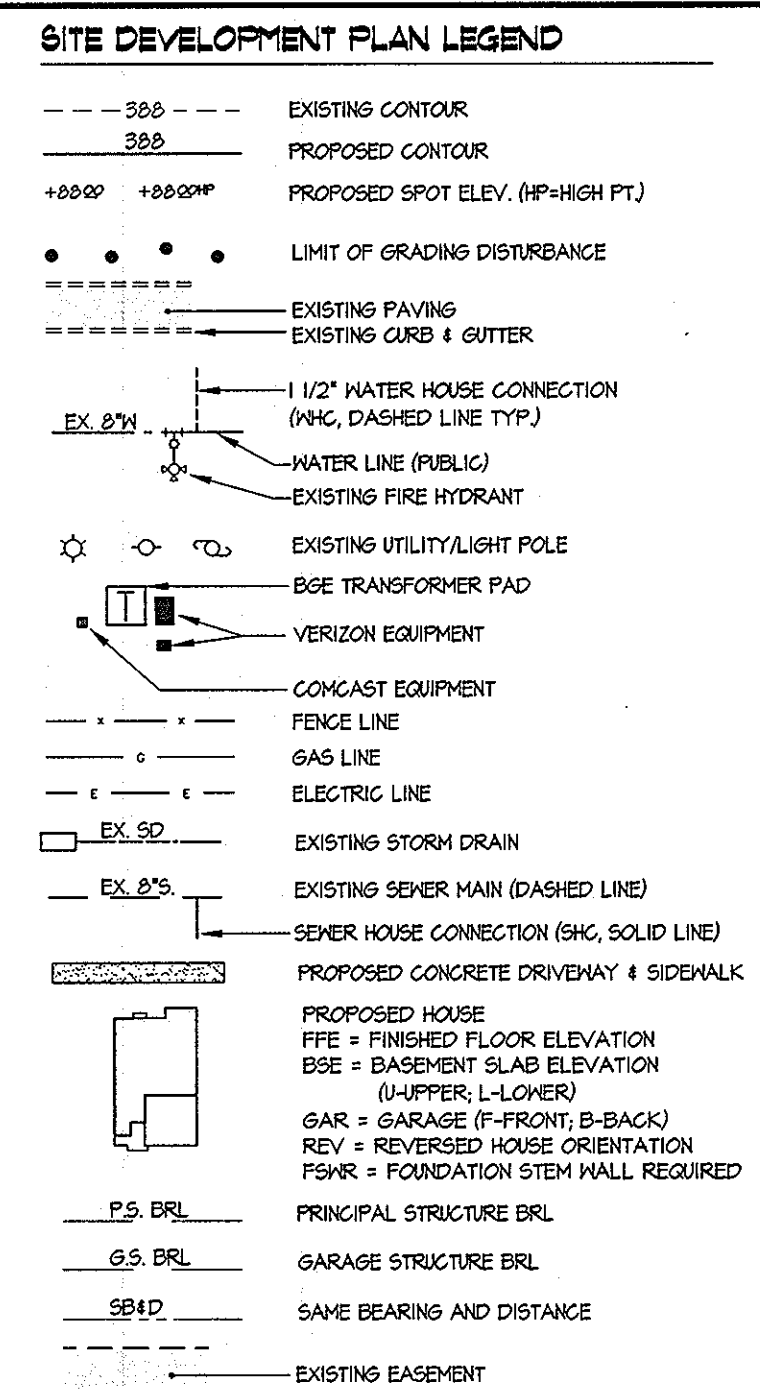
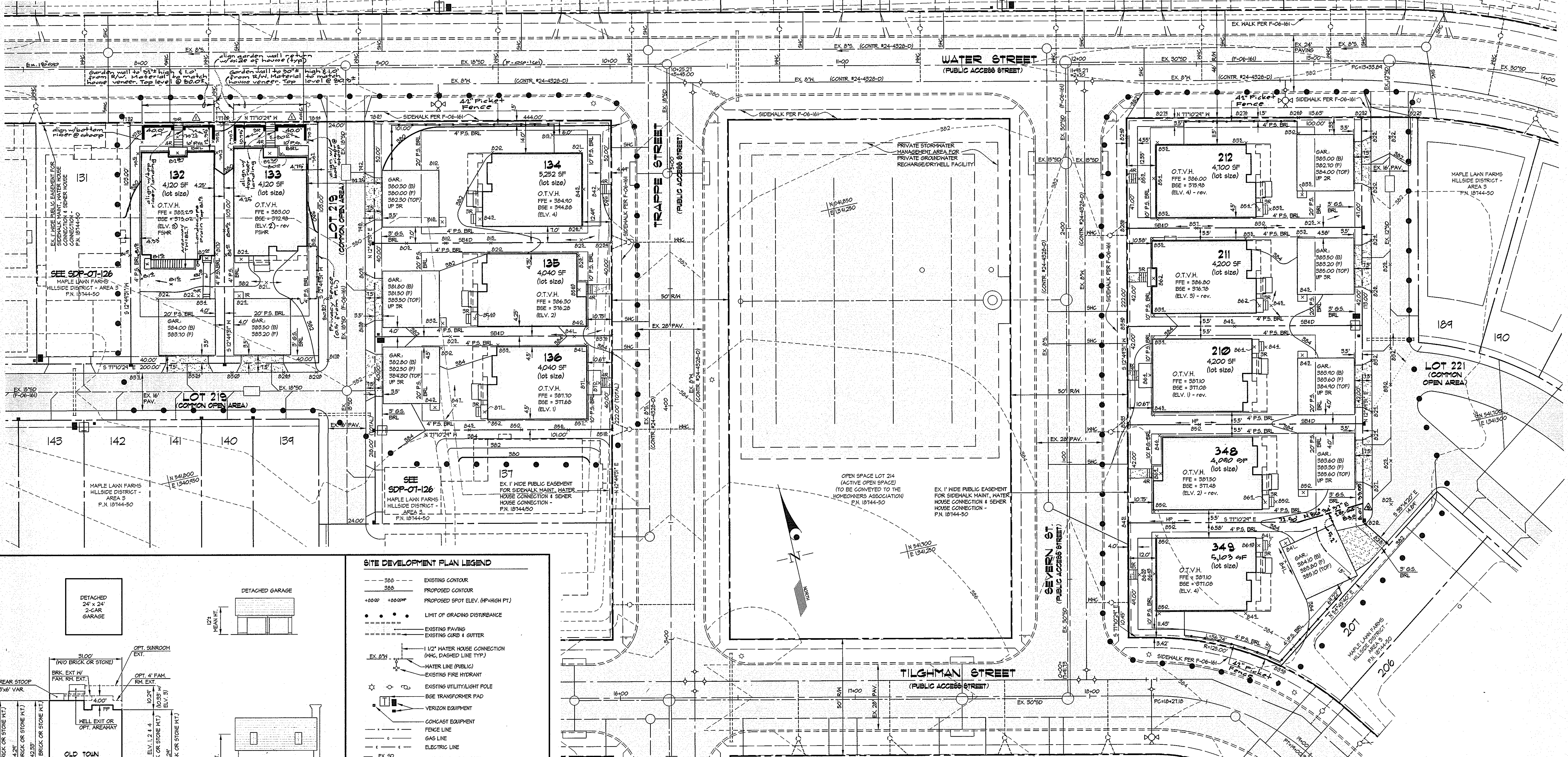
ZONING: MXD-3

G. L. W. FILE No.: 06013

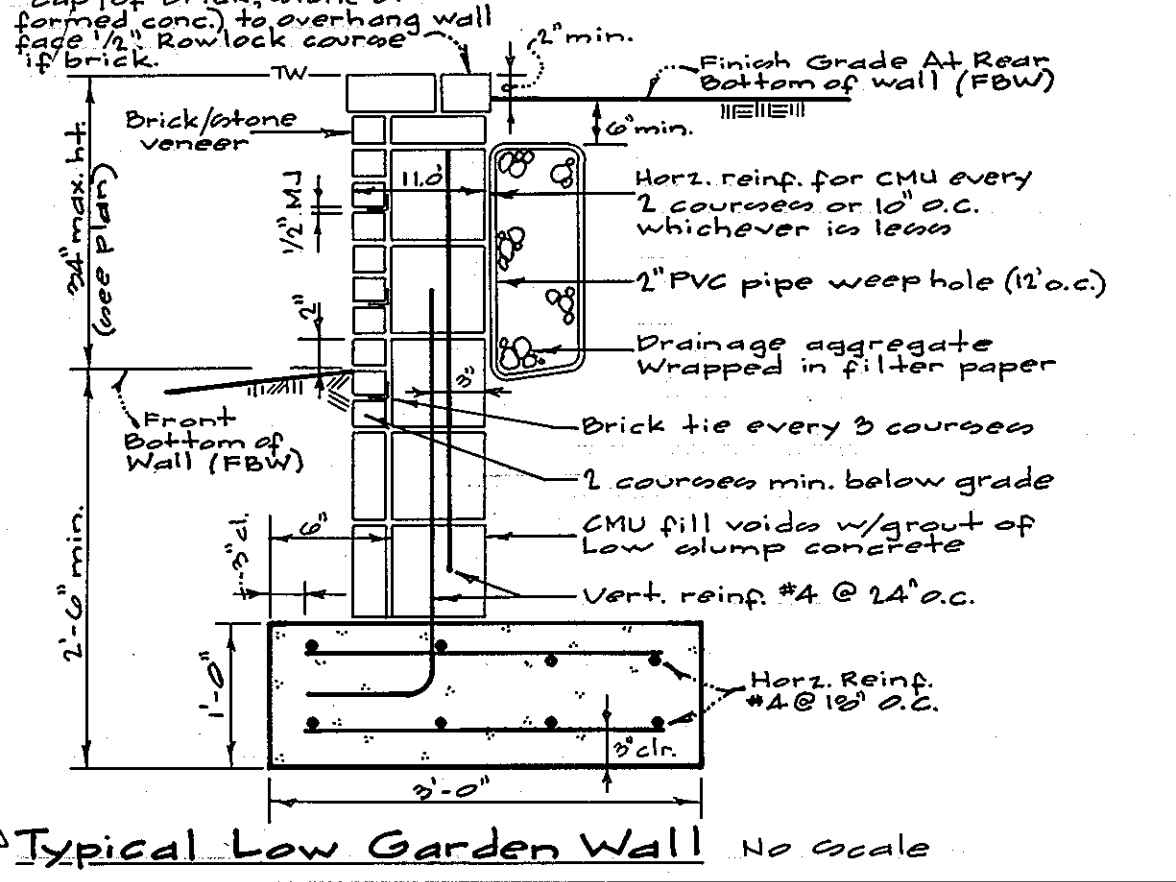
DATE: AUG, 2007

TAX MAP - GRID: 41

SHEET: 2 OF 7



- ### NOTES:
- ALL FENCES, GARDEN WALLS, STOOPS AND STEPS ALONG THE RAM SHALL BE LOCATED BEHIND THE 1' PUBLIC SIDEWALK ESMT.
 - BRICK POINT ALL BUILDING CONSTRUCTION UNLESS NOTED OTHERWISE
 - ALL MH'S TO THE SUBJECT LOTS OF THIS SDP ARE 1 1/2' PER CONTRACT #24-4328-D AND THE WATER METER VAULTS ARE IN THE R.O.M.
 - SEE THE CHART ON THIS SHEET FOR SHC INFORMATION. CONTRACTOR SHALL CHECK AND VERIFY THE SEWER HOUSE ELEVATIONS AT THE PROPERTY LINE PRIOR TO CONSTRUCTION.
 - ALL GARDEN WALLS AND FENCES THAT STRADDLE PROPERTY LINES SHALL BE MAINTAINED IN ACCORDANCE WITH ARTICLE 15 OF THE MAPLE LAWN HOMEOWNERS ASSOCIATION COVENANTS (RECORDED AT LIBER 14H FOLIO 242 THROUGH 366).
 - DRIVEWAY APRONS ON WATER STREET SHALL BE CONSTRUCTED IN ACCORDANCE WITH DPM DET. R-6.01. ALSO SEE GENERAL NOTE IT ON SHEET 1 FOR OTHER REQUIREMENTS (IF APPLICABLE) REGARDING DRIVEWAYS.
 - ALL BUILDINGS WITHIN 10' OF A BGE TRANSFORMER SHALL BE CONSTRUCTED FOR A MINIMUM FIRE RESISTANCE RATINGS OF 3 HOURS.
 - ALL YARD DRAIN INLETS ARE 12" (NO. 1) LAST IN LINE DRAIN MODEL NO. 2712AG 8H OR 8V.1. CONNECT ALL YARD DRAIN INLETS TO THE EXISTING STORM DRAIN STUBS IN THE ALLEY USING ADS #12 (NPE, TYPE 5) PIPES. CONTRACTOR SHALL CHECK AND VERIFY THE INVERT OF THE STUBS AT THE ALLEY PROPERTY LINE PRIOR TO CONSTRUCTION. PROVIDE POSITIVE DRAIN (R.M.U) FROM YARD INLET TO THE STORM DRAIN STUBS. PROVIDE 10' MIN. COVER OVER THE HOPE PIPES. ALL DOWN SPOUTS SHALL BE DISCHARGED ONTO SPLASH BLOCKS OR PIPE DIRECTLY TO THE YARD DRAIN.
 - INGRESS/EGRESS FOR THE COTTAGE LOTS ARE RESTRICTED TO THE ALLEY.



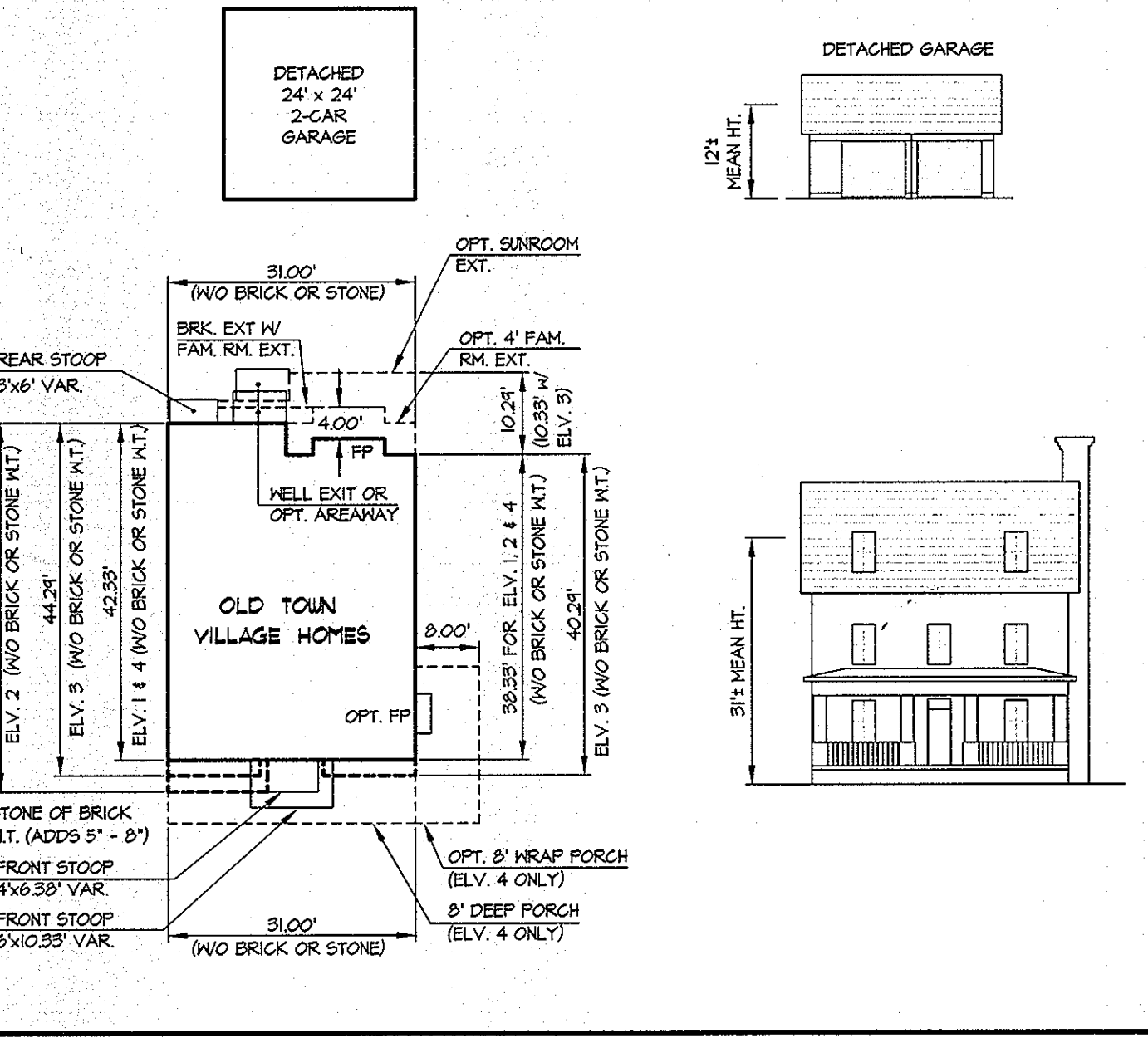
SEWER HOUSE CONNECTIONS MINIMUM CELLAR ELEVATIONS AND INVERT ELEVATION OF PIPES

LOT	ELEVATION OF PROP. LINE	MCE	LOT	ELEVATION OF PROP. LINE	MCE
132	364.87	364.30	208	373.48	375.80
133	365.60	370.10	209	371.98	375.20
134	366.40	371.60	210	371.33	375.50
135	371.00	374.20	211	371.06	375.20
136	371.60	376.00	212	364.19	375.60

INVERT ELEVATIONS FOR YARD DRAIN STUBS @ ALLEY P.L.

LOT	ELEVATION	LOT	ELEVATION
132	371.44	208	371.45
133	376.77	209	378.24
134	378.24	210	371.84
135	374.92	211	371.44
136	375.26	212	371.01

NOTE: ALL SEWER HOUSE CONNECTIONS ARE 4".



HOUSE FOOTPRINT & ELEVATION (Old Town Village Homes)

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *Paul A. Uyle* Date: 9/5/07
 Chief, Division of Land Development: *Chadman* Date: 9/5/07
 Chief, Development Engineering Division: *Chadman* Date: 9/22/07

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 12475, EXPIRATION DATE: MAY 26, 2009.

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20886
 TEL: 301-421-4024 BAL: 410-889-1820 DC/VA: 301-889-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
7/15/08	rev old lots 208 & 209 to 208 & 209; change fence type on lots 134, 212 & 210	klp	
9/2/08	rev rear house, rear wall, driveway & minor grading changes on lot 132	waj	
5/21/08	revised lots 132 & 133 and added garden walls to 132 & 133; added garden wall det.	klp	

PREPARED FOR:
 PROPERTY OWNER (SELLER): G & M MAPLE LAWN, INC., ET. AT. 1829 REISTERTOWN ROAD, SUITE 300 BALTIMORE, MD 21208 PH: 410-484-8400 attn: CHARLIE O'DONOVAN
 HOME BUILDER (CONTRACT PURCHASER): MILLER AND SMITH AT MAPLE LAWN L.L.C. 8401 GREENSBORO DRIVE, SUITE 300 MCLEAN, VIRGINIA 22102 PH: 703-821-2500 x 236 attn: COLLEEN MCALL

SITE DEVELOPMENT PLAN
MAPLE LAWN FARMS
 HILLSIDE DISTRICT - AREA 3: LOT Nos. 132-136 and 208-212 (SFD RESIDENTIAL USE)
 PLAT Nos. 18744 - 18750 & 18770-72
 ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1"=20'	MXD-3	06013
DATE	TAX MAP - GRID	SHEET
AUG., 2007	41	2 OF 7