

**GENERAL NOTES**

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48-HOURS PRIOR TO ANY EXCAVATION WORK.
- PROJECT BACKGROUND:  
 LOCATION: TAX MAP 36  
 ZONING: NT  
 ELECTION DISTRICT: 6TH ELECTION DISTRICT  
 SECTION/AREA: 1/1  
 SITE AREA: 12.2± AC. (AREA OF PARCEL D-2)  
 APPROVED NAME AND DEPT. OF PLANNING & ZONING REF. FILE NOS.:  
 FDP PHASE 117-A-11 (AS AMENDED), SDP-72-120c, SDP-89-05, F-72-90, F-23-29, F-05-124 F-07-208 (McGaw Road Improvements) and Contract 24-4504-D, WP-10-71, F-10-120
- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO THE FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIALLY BETWEEN ITEMS UNLESS OTHERWISE NOTED.
- EXISTING TOPOGRAPHY AND FEATURES WERE DERIVED FROM AVAILABLE PUBLIC RECORDS AND FROM SURVEY BY GUTSCHICK, LITTLE & WEBER, P.A. DONE IN FEBRUARY, 2005.
- COORDINATES ARE BASED ON HOWARD COUNTY GEODETIC CONTROL STA. Nos. 36B AND 42CA. THE VERTICAL DATUM IS IN NAVD88.
- THIS SITE WILL BE SERVED BY PUBLIC WATER & SEWER UNDER CONTRACT #24-4504-D.
- ALL ON-SITE STORM DRAINS PROPOSED UNDER THIS SDP ARE PRIVATE.
- THE EXISTING UTILITIES SHOWN HEREIN WERE DERIVED FROM AVAILABLE PUBLIC RECORDS. THE CONTRACTOR MUST HAND DIG TEST PITS AT ALL UTILITY CROSSINGS AND CONNECTION POINTS TO VERIFY EXACT LOCATION.
- ALL PROPOSED RAMPS SHALL BE IN ACCORDANCE WITH CURRENT A.D.A. STANDARDS. MAXIMUM SIDEWALK CROSS SLOPE SHALL BE (2%) TWO PERCENT. PROVIDE A MINIMUM OF (5x5) FIVE BY FIVE FOOT LEVEL LANDING (2% MAX) AT THE TOP AND BOTTOM OF ALL RAMPS AND BUILDING INGRESS/EGRESS POINTS.
- ALL ON-SITE PAVING AND ROADWAYS ARE PRIVATELY OWNED AND MAINTAINED.
- ANY DAMAGE TO COUNTY OWNED RIGHT-OF-WAY TO BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- TRENCH BEDDING FOR STORM DRAINAGE STRUCTURES SHALL BE IN ACCORDANCE WITH HOWARD COUNTY STANDARD 02.01. CLASS "C" BEDDING, UNLESS OTHERWISE NOTED.
- GUTTER PAN OF CURBS SHALL BE PITCHED TO CONFORM TO THE ADJACENT DRAINAGE PATTERN OF THE ADJOINING PAVING FOR VEHICULAR USE. FOR CONCRETE CURB AND GUTTER, SEE DETAIL ON SHEET 3.
- ALL CURB FILLETS ARE 5' RADIUS UNLESS NOTED OTHERWISE. SPOT ELEVATIONS ALONG CURB LINE ARE FOR THE FLOW LINE (BOTTOM OF CURB), UNLESS NOTED OTHERWISE.
- THERE ARE NO KNOWN GRAVE SITES OR CEMETERIES ON THIS SITE.
- OTHER TOPICS RELATED TO THIS SITE:  
 - APFO & TRAFFIC STUDY PREPARED BY THE TRAFFIC GROUP (MAY 23, 2007).  
 - SUBSURFACE EXPLORATION AND GEOTECHNICAL EVALUATION BY SPECIALIZED ENGINEERING (MAR. 5, 2007).
- ALL OUTSIDE LIGHTING SHALL COMPLY WITH ZONING REGULATION SECTION 134 WHICH REQUIRES LIGHTS TO BE INSTALLED TO DIRECT/REFLECT LIGHT DOWNWARDS AND INWARDS ON SITE AWAY FROM ALL ADJOINING PUBLIC STREETS AND RESIDENTIAL AREAS. SEE SHEET 3 FOR LIGHTING SCHEDULE.
- ALL BUILDINGS SHALL HAVE AN INSIDE WATER METER SETTING. ALL BUILDINGS SHALL BE EQUIPPED WITH AN AUTOMATIC FIRE PREVENTION SPRINKLER SYSTEM.
- THIS SITE DEVELOPMENT PLAN IS EXEMPT FROM THE REQUIREMENTS OF THE FOREST CONSERVATION ACT IN ACCORDANCE WITH SECTION 16.1222(b)(1)(v) OF THE HOWARD COUNTY CODE FOR A PLANNED UNIT DEVELOPMENT (PUD) WHICH HAS PRELIMINARY DEVELOPMENT PLAN APPROVAL AND WAS MORE THAN 50% DEVELOPED PRIOR TO 12/31/92.
- THERE ARE NO WETLANDS, STREAMS, FLOODPLAIN OR REQUIRED BUFFERS ON THIS SITE. ALSO, THERE ARE NO HISTORIC STRUCTURES OR CEMETERIES LOCATED ON THIS SITE.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. LANDSCAPE SURETY FOR THE REQUIRED LANDSCAPING IS POSTED AS PART OF THE DEVELOPER'S AGREEMENT FOR THIS SDP. FOR INFORMATION ON THE REQUIRED LANDSCAPE PLANTING AND ASSOCIATED SURETY SEE SHEETS 11 & 12.
- THE MINIMUM BUILDING SETBACK RESTRICTIONS FROM PROPERTY LINES AND PUBLIC ROAD RIGHT-OF-WAYS ARE TO BE IN ACCORDANCE WITH FDP-117-A-11 RECORDED ON 9-27-07 AS PLAT Nos. 19417 thru 19423.
- THIS PROJECT IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS PER COUNCIL BILL 45-2003 AND THE ZONING REGULATIONS AS AMENDED BY COUNCIL BILL 75-2003. DEVELOPMENT OR CONSTRUCTION ON THIS PROPERTY MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, WAIVER PETITION APPLICATION OR BUILDING/GRADING PERMIT APPLICATIONS.
- STORMWATER MANAGEMENT IS PROVIDED BY A SURFACE SAND FILTER POND (FACILITY-A) AND BY AN UNDERGROUND PIPE MANHOLE SYSTEM (FACILITY-B). FACILITY-A PROVIDES WATER QUALITY (WQV) FOR THE ENTIRE SITE AS WELL AS WATER QUALITY FOR THE ROAD IMPROVEMENTS UNDER F-07-208. FACILITY-B CONSISTS OF A STORMCEPTOR FOLLOWED BY A 72" CMP UNDERGROUND MANHOLE. THIS FACILITY CONTROLS THE DISCHARGE OF TSS AND TO TSS STORM TO THE EXISTING POST OFFICE POND LOCATED IN THE SOUTHERN CORNER OF THE PROPERTY. BOTH FACILITY-A AND FACILITY-B ARE PRIVATELY OWNED AND MAINTAINED.
- ON JANUARY 31, 2008 THE HOWARD COUNTY PLANNING BOARD APPROVED THIS SDP (EXCEPT FOR THE CLOCK TOWER HEIGHT ADJUSTMENT). ON APRIL 24, 2008 THE HOWARD COUNTY PLANNING BOARD APPROVED THIS SDP FOR THE REQUESTED HEIGHT ADJUSTMENT FOR THE CLOCK TOWER. On April 7, 2011 the planning board approved the relocation of the clock tower to the northeast corner of the parking garage.

29. Any future expansions may require an update to the traffic study and stormwater design.

30. A liquor store is a permitted use in accordance with FDP-117-A-11 criteria T.D. The liquor store will not be accessible from the grocery store for patrons or loading purposes.

WP-10-71 was approved on 12/29/09 to allow the right-in/right-out from this site (Parcel D-2) to Snowden River Parkway (SRP) which is restricted for vehicular ingress/egress per section 10.119(f). The remaining portion of SRP along this site is still restricted.

WP-10-71

On Oct. 28, 2009 the planning director approved request to waive section 10.150(a)(1)(i) requiring the developer to apply to the department of inspections, licenses and permits for building permits to initiate construction on the site within 1 year of original. The developer shall apply for building permits for all construction authorized by the approved site development plan within 2 years from the date of the approval letter from the department of Planning and Zoning (October 28, 2009), or by the new plan expiration date of October 28, 2011.

# WEGMANS FOOD MARKETS

## SITE DEVELOPMENT PLAN

### PARCEL 'D-2' (redevelopment of Parcel D-1)

#### TAX MAP PARCEL 356

#### SECTION 1 AREA 1

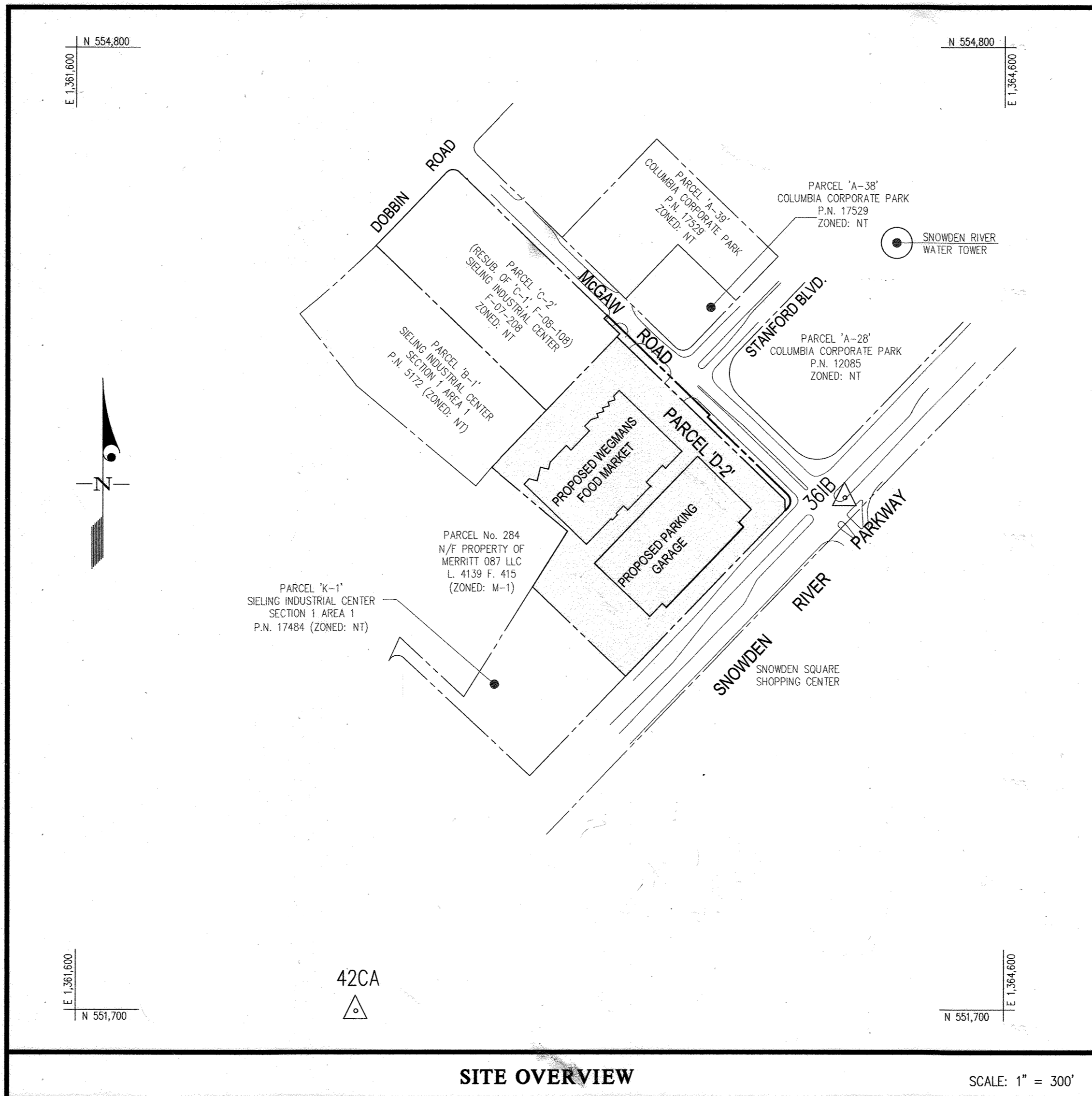
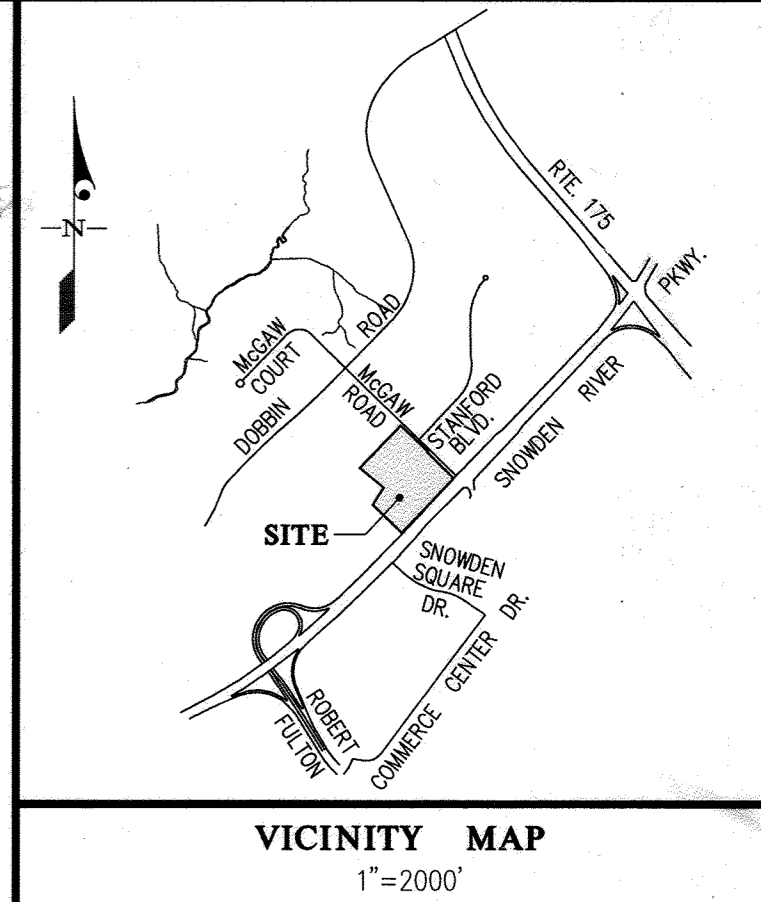
#### SIXTH ELECTION DISTRICT

#### HOWARD COUNTY, MARYLAND

HOWARD COUNTY CONTROL  
 NAD83 & NAVD88 (VERTICAL DATA)

36B N 553348.6361  
 E 1364085.2553  
 ELEV.=385.72

42CA N 551695.7342  
 E 1362506.4222  
 ELEV.=376.50



**SITE ANALYSIS DATA**

- GENERAL SITE DATA
  - PRESENT ZONING: NT-EMPLOYMENT CENTER INDUSTRIAL
  - PROPOSED USE OF SITE OR STRUCTURES: REDEVELOPMENT WITH A WEGMANS FOOD STORE AND A PARKING GARAGE
- AREA TABULATION
  - SITE AREA: 12.2± ACRES (Area of Parcel D-2 = Parcel D-1 at 12.6± ac. less 0.40 ac. of public road dedication)
  - AREA OF THIS PLAN SUBMISSION: 12.2± AC
  - LIMIT OF DISTURBED AREA BY THIS SDP: 12.6± ACRES
  - BUILDING AREA:
    - WEGMANS STORE = 160,000 S.F. (116,917 s.f. 1st floor + 43,083 s.f. Mezzanine + 200 sq. ft. liquor store + 1400 sq. ft. expansion)
    - PARKING STRUCTURE = 137,140 S.F. (112,514 s.f. footprint + 24,626 s.f. ramp)
  - BUILDING COVERAGE OF SITE (50% MAXIMUM LOT COVERAGE ALLOWED IN ACCORDANCE WITH FDP-117-A-11):
    - WEGMANS STORE = 21.9% ±
    - PARKING STRUCTURE = 25.0% ±
    - TOTAL = 47.7% ±
  - TOTAL PAVED SURFACES (DRIVEWAYS, SURFACE PARKING, SIDEWALKS, PLAZAS, ETC.) ON SITE: 3.59± ACRES OR 29.4% ± OF THE SITE
- OPEN SPACE DATA
  - OPEN SPACE REQUIRED ON SITE: N/A
  - OPEN SPACE PROPOSED: N/A
- PARKING SPACE DATA
  - REQUIRED PARKING PER SEC.133.D.4.M OF THE ZONING REGULATIONS AND PER FDP-117-A-11: 800 SPACES ARE REQUIRED GENERAL RETAIL @ 5.0 PER 1000 S.F. OF GROSS FLOOR AREA
  - PARKING PROVIDED:
    - 60 STANDARD 90' x 18' SURFACE PARKING SPACES
    - 712 STANDARD 90' x 18' PARKING GARAGE SPACES
    - 9 REGULAR HANDICAP PARKING SPACES IN THE PARKING GARAGE
    - 32 VAN-ACCESSIBLE HANDICAP PARKING SPACES IN THE PARKING GARAGE
    - 712 TOTAL PARKING SPACES PROVIDED

**SHEET INDEX**

- COVER SHEET
- SITE DEVELOPMENT PLAN / SITE DETAILS
- SITE DEVELOPMENT PLAN / SITE DETAILS
- CURB AND PAVING DELINEATION PLAN / SITE DETAILS
- STORM DRAIN & STORMWATER MANAGEMENT DRAINAGE AREA MAP
- STORMWATER MANAGEMENT NOTES & DETAILS / SWM PROFILES
- STORM DRAIN PROFILES / UTILITY PROFILES
- DEMOLITION PLAN
- SEDIMENT CONTROL PLAN
- SEDIMENT CONTROL NOTES AND DETAILS
- LANDSCAPE PLAN
- DETAILS, LANDSCAPE NOTES & SCHEDULES
- Retaining Wall / Guard Plan & Elevation sheet 1
- Retaining Wall / Guard Plan & Elevation sheet 2
- Retaining Wall & Pier Sections
- Decorative Pier Plans Sections
- Structural Plan & Details ~ Retaining Wall
- Structural Notes & Sections ~ Retaining Wall
- Rear Retaining Wall ~ Plan, Sections & Elevation
- Seating Area ~ Plan, Sections & Elevation
- Retaining Walls ~ Plan & Sections

APPROVED  
**PLANNING BOARD OF HOWARD COUNTY**

DATE **January 31, 2008 and April 24, 2008 & April 7, 2011**

APPROVED: FOR PUBLIC WATER & SEWERAGE SYSTEM  
 HOWARD COUNTY HEALTH DEPARTMENT  
*Barbara P. Pater* 8/28/2008  
 County Health Officer Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
*David M. Uyle* 9/6/11  
 Director Date  
*Chris Ham* 9/2/11  
 Chief, Division of Land Development Date  
*Mike Williams* 9/20/11  
 Chief, Development Engineering Division Date

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 26, 2010.  
*[Signature]*  
 7-28-08

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONTOWNE OFFICE PARK  
 BURTONTOWNE, MARYLAND 20896  
 TEL: 301-421-4024 BALT. 410-850-1820 DC/VA 301-889-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
9/23/2011	Update Parking count for new EV charger	klp	
5/15/2011	Add liquor store & update site analysis accordingly	klp	
1/19/2010	revise parking count and added WP-10-71 & WP-10-71	klp	

PREPARED FOR:  
 LAND LEASER:  
 OWNER/DEVELOPER/LAND LEASER:  
 SCIENCE FICTION, LLC  
 C/O ANTIWOPEN AUTOMOTIVE GROUP  
 6440 BALTIMORE NATIONAL PIKE  
 CATONSVILLE, MD 21228  
 CONTACT: STEPHEN LEATY  
 585-464-4600 EXT. 6833  
 CONTACT: estanford Hesse

**COVER SHEET**  
**WEGMANS FOOD MARKETS**  
**COLUMBIA SIELING INDUSTRIAL CENTER**  
**PARCEL 'D-2' (redevelopment of Parcel D-1)**  
**TAX MAP PARCEL 356**  
 SECTION 1, AREA 1; PLAT Nos. 17484 & 20012 & 21178  
 HOWARD COUNTY, MARYLAND

WATER CODE:	SEWER CODE:	PROJ. NAME:	PLAT:	ZONE:	TAX MAP:	BLOCK:	ELEC. DIST.:	CENSUS TRACT:
E06	3380000	COLUMBIA SIELING INDUSTRIAL CENTER PARCEL D-2 (WEGMANS FOOD MARKETS)	17484, 20012 & 21178	NT	36	24	6	6067.03

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	07005

DATE	TAX MAP - GRID	SHEET
July/2008	TM 36 - 24	1 OF 21

**SITE DEVELOPMENT PLAN LEGEND**

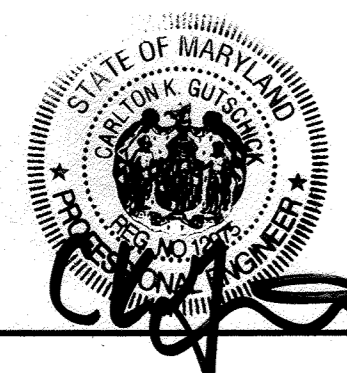
- 366 --- EXISTING CONTOUR
- 300 --- PROPOSED CONTOUR
- +32.10 PROPOSED SPOT ELEVATION
- EXISTING STORM DRAIN
- PROPOSED STORM DRAIN
- PROPOSED ELECTRIC CONDUIT ENCASED (DUCT BANK)
- EXISTING GAS LINE
- EXISTING SANITARY SEWER
- SANITARY SEWER (PRIVATE)
- WATERLINE (PUBLIC)
- WHC (PRIVATE)
- EXISTING FIRE HYDRANT
- EXISTING CURB & GUTTER
- LIMIT OF GRADING DISTURBANCE
- CONCRETE CURB & GUTTER (DET. 5/4)
- GUTTER PAN
- FACE OF CURB
- P.T./C. BACK OF CURB
- CONCRETE/PAVER SIDEWALK (DET. 1/4)
- EASEMENT AREA (SHADED)
- NUMBER OF PARKING SPACES
- EXISTING LIGHT FIXTURES & POLE
- PROPOSED LIGHT FIXTURES & POLE
- SOIL BORING LOCATION AND No.

**NOTES:**

1. UNLESS NOTED OTHERWISE, PROPOSED SPOT ELEVATIONS ALONG THE CONCRETE CURB & GUTTER ARE TO THE FLOW LINE (BOTTOM OF CURB) AT THE P.C.'S/P.T.'S, CORNERS AND TERMINUSES.
2. SEE ROAD CONSTRUCTION PLAN F-07-208 FOR THE PUBLIC ROAD IMPROVEMENT WORK TO MCGAW ROAD AND SNOWDEN RIVER PARKWAY ASSOCIATED WITH THIS SDP.
3. ALL ON-SITE PAVING AND ROADWAYS ARE PRIVATE.
4. ALL ON-SITE STORM DRAIN ARE PRIVATE AND SHALL BE PRIVATELY MAINTAINED. THE ON-SITE WATER IS PRIVATELY MAINTAINED EXCEPT THE PORTION OF THE 8" W. AND FIRE HYDRANTS THAT ARE WITHIN THE "PUBLIC WATER & UTILITY EASEMENT". ALL ON-SITE PRIVATE SEWER LINES AND STRUCTURES SHALL BE PRIVATELY MAINTAINED.
5. FOR INFORMATION OF THE PUBLIC PORTION OF THE ON-SITE WATER AND SEWER LINE, SEE DPM CONTRACT No. 24-4504-D.
6. UNLESS NOTED OTHERWISE, ALL PLAN DIMENSION ARE TO THE FACE OF STRUCTURE (BLDG, CURB, ETC.). DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIAL BETWEEN ITEMS, UNLESS NOTED OTHERWISE.
7. ALL CURB RADI ARE 5' (FACE OF CURB @ FLOW LINE) UNLESS NOTED OTHERWISE.
8. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE STORE BUILDING. IT SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4'-5' IN HEIGHT AND NO MORE THAN 6' LATERALLY FROM THE DOOR. THE BOX SHALL BE ELECTRONICALLY MONITORED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM).
9. THE TOP OF THE FOOTINGS FOR THE COLUMNS ALONG THE SOUTH SIDE OF THE ELEVATED GARAGE RAMP SHALL BE SET A MINIMUM OF 1.0' BELOW THE INVERT OF THE ADJACENT PUBLIC WATER MAIN (SEE CONTRACT #24-4504-D).
10. SIDEWALK ALONG MCGAW ROAD SHALL BE BY THE ROAD CONTRACTOR (NOT THE SITE CONTRACTOR).

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 26, 2012.

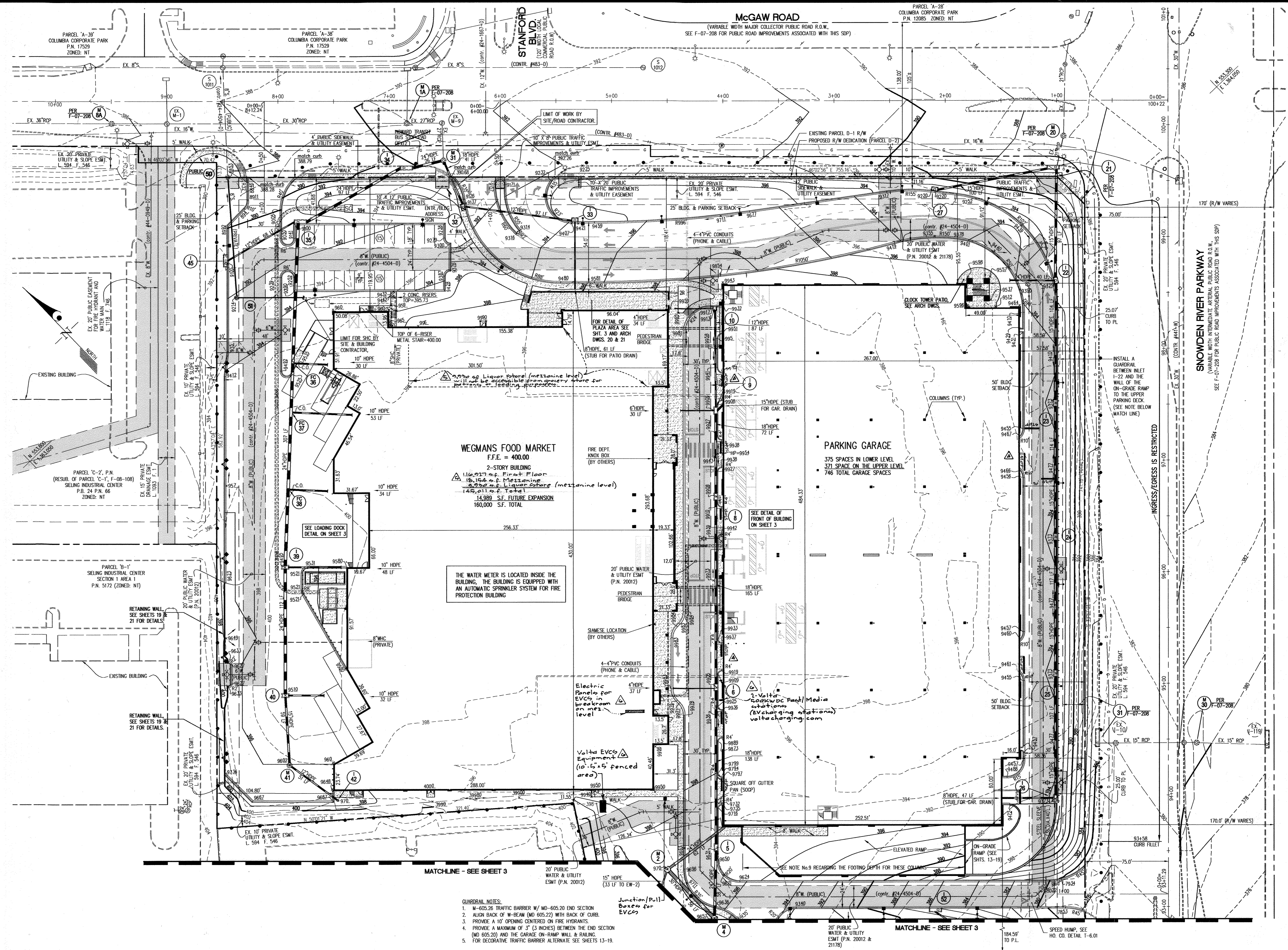


APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
DATE January 31, 2008, April 24, 2008 and April 7, 2011

APPROVED: FOR PUBLIC WATER & SEWERAGE SYSTEM  
HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
County Health Officer \_\_\_\_\_ Date \_\_\_\_\_  
Director *Mona E. Ruddle* 3/21/11  
Chief, Division of Land Development *W. J. ...* 4/21/11  
Chief, Development Engineering Division *C. ...* 2/14/11

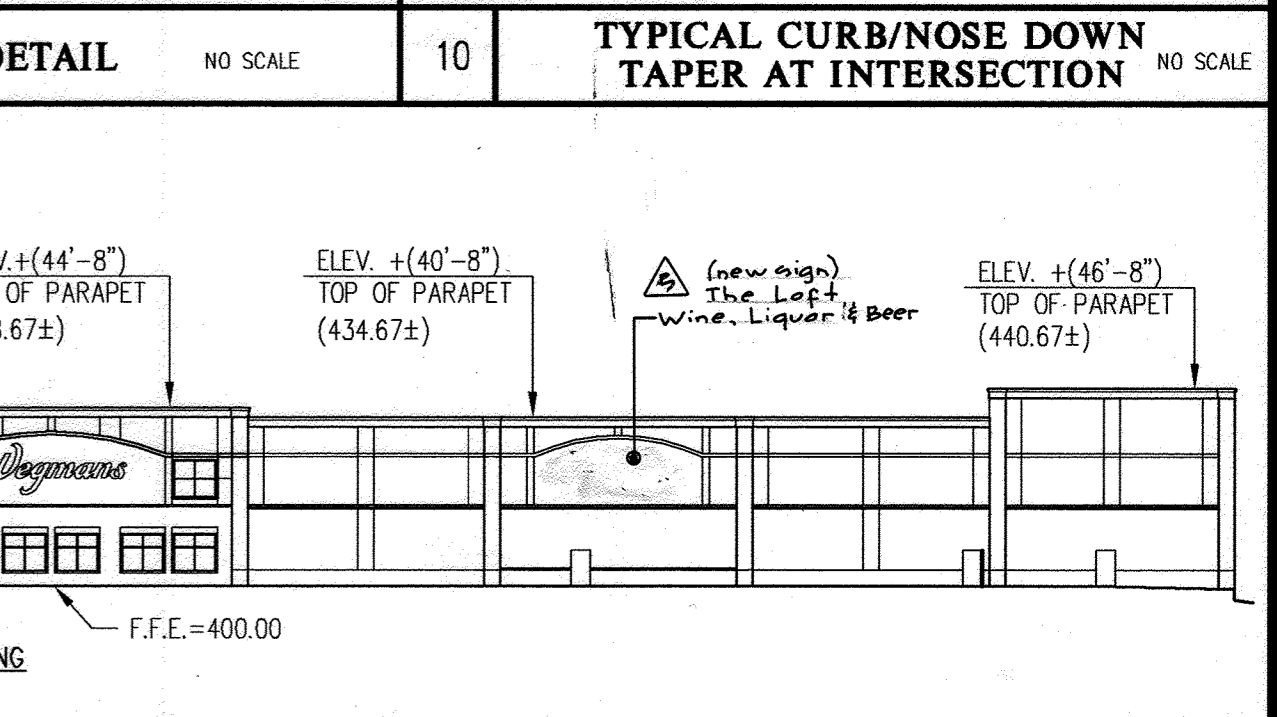
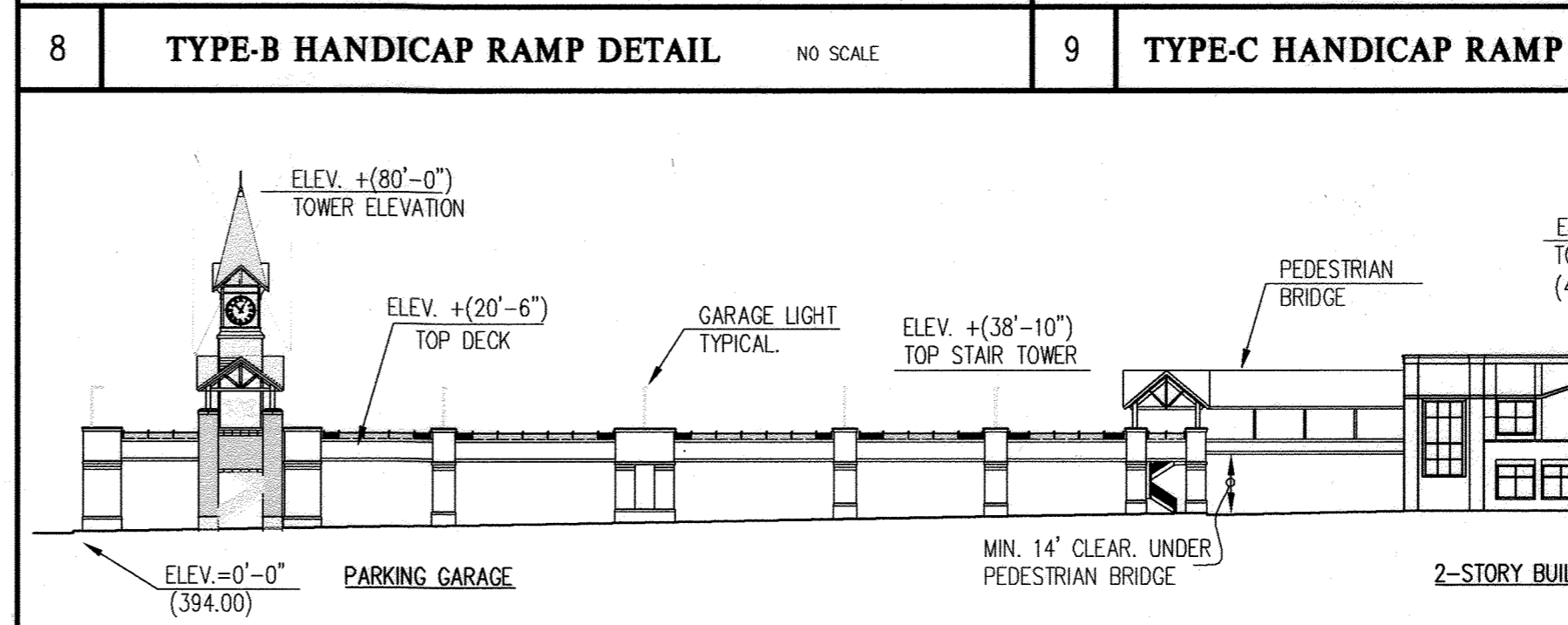
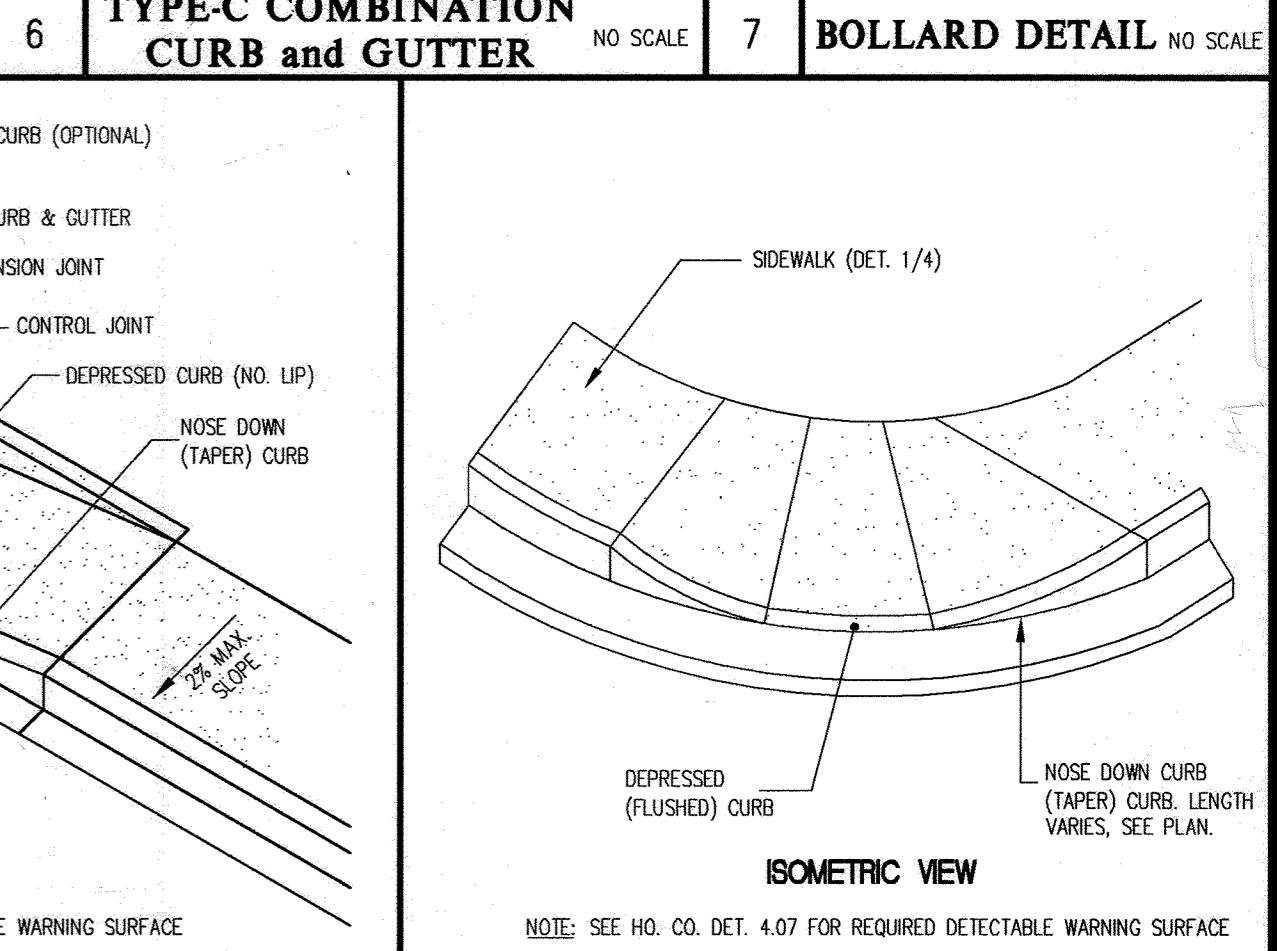
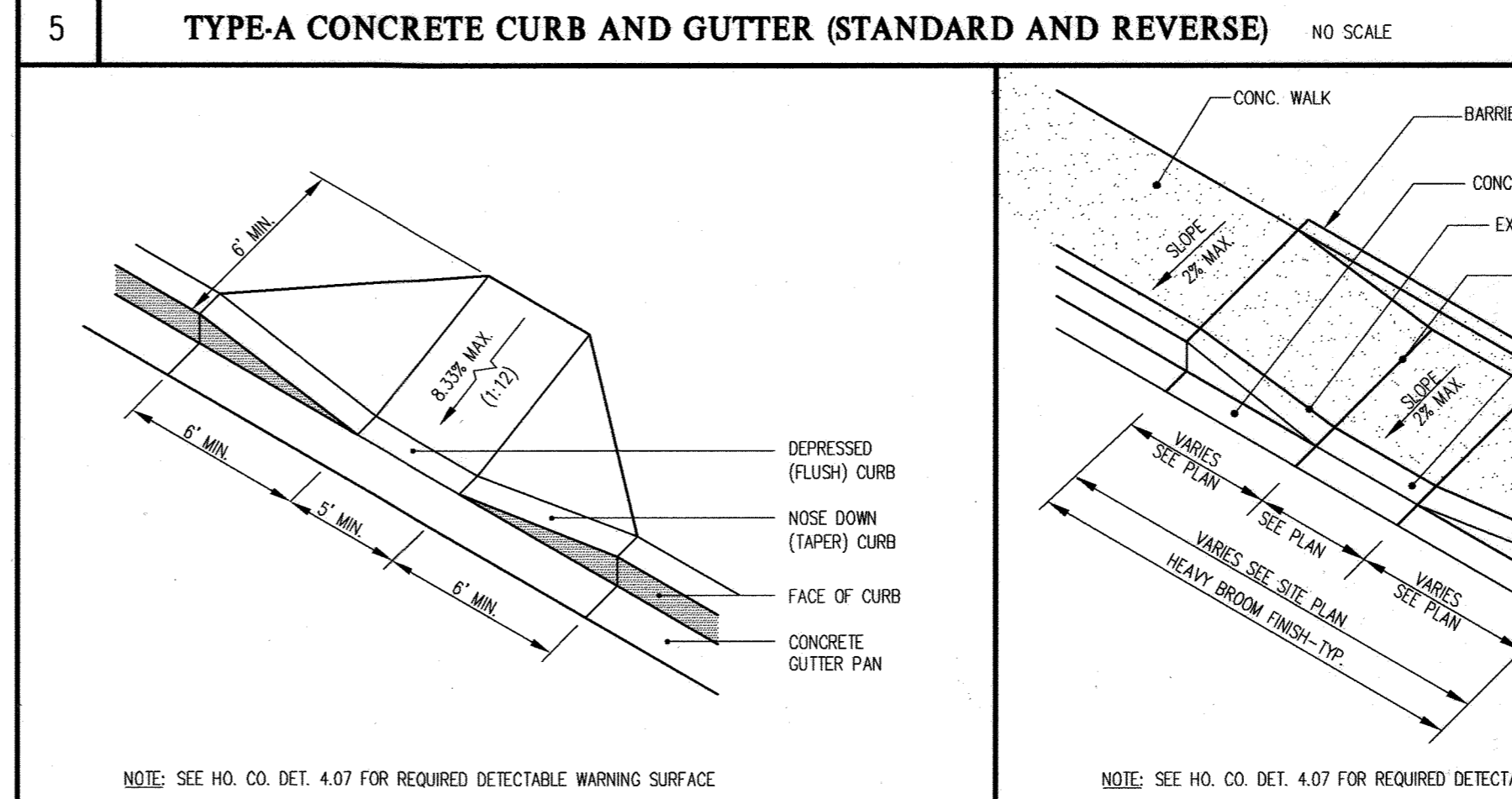
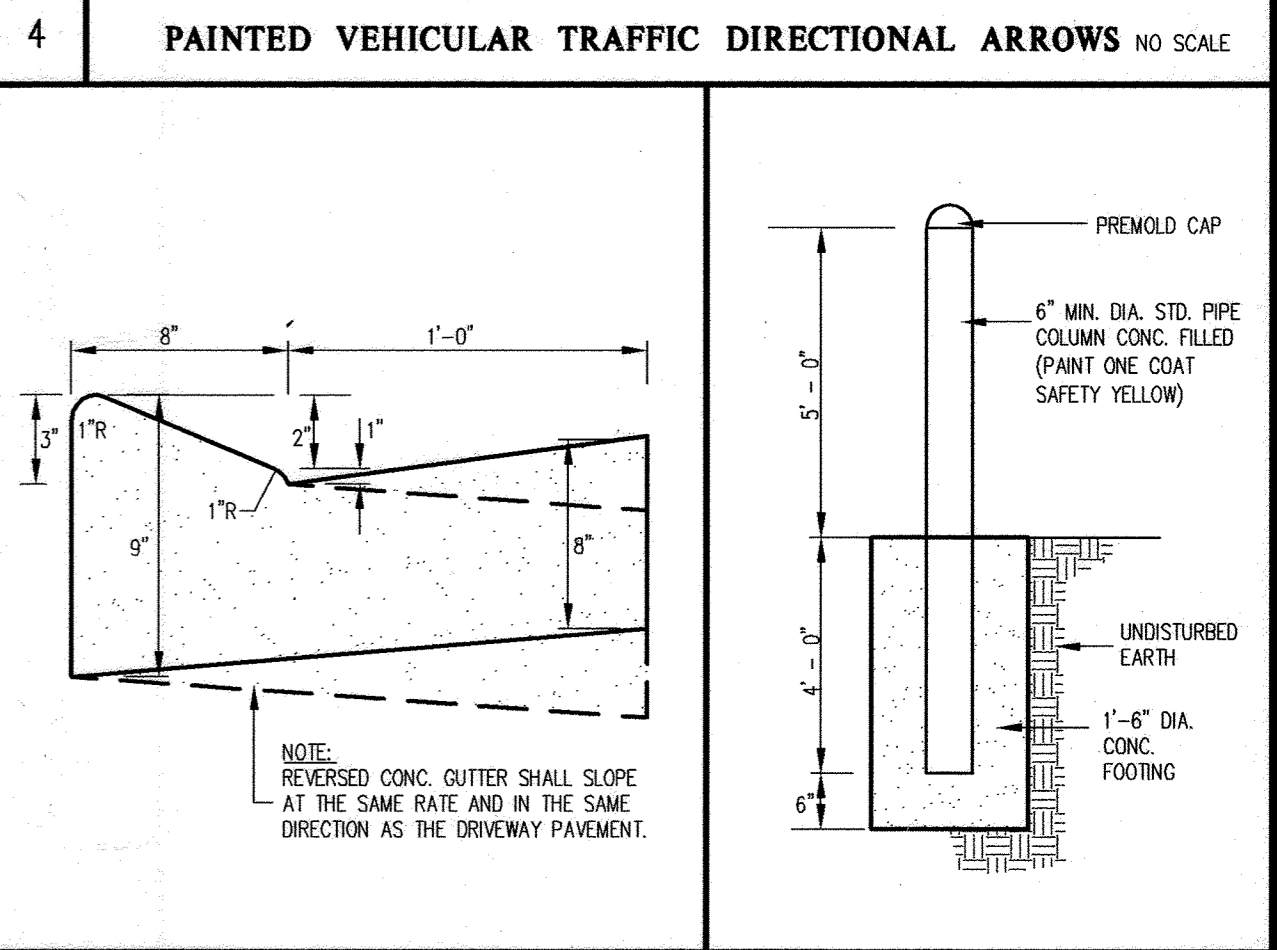
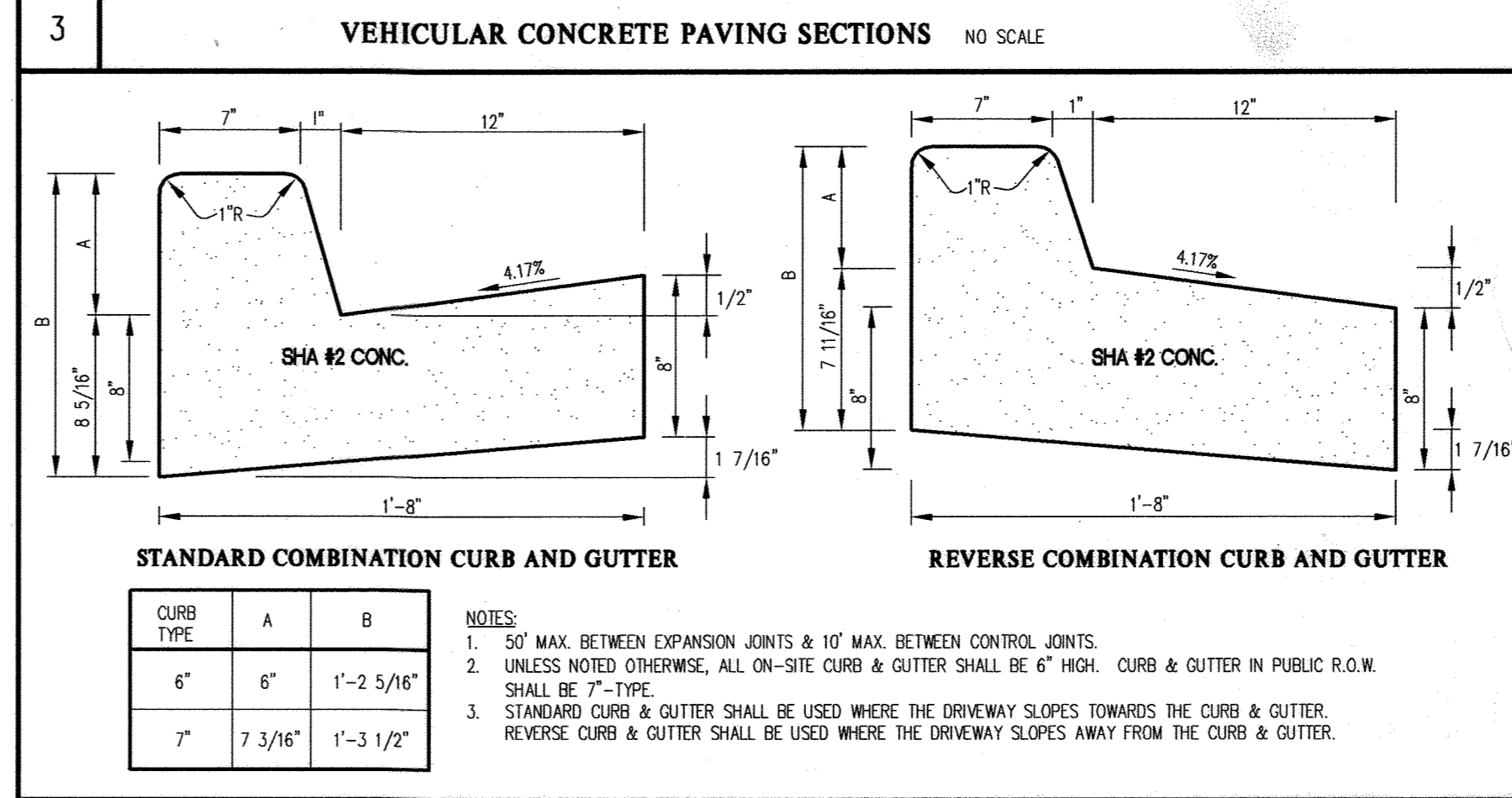
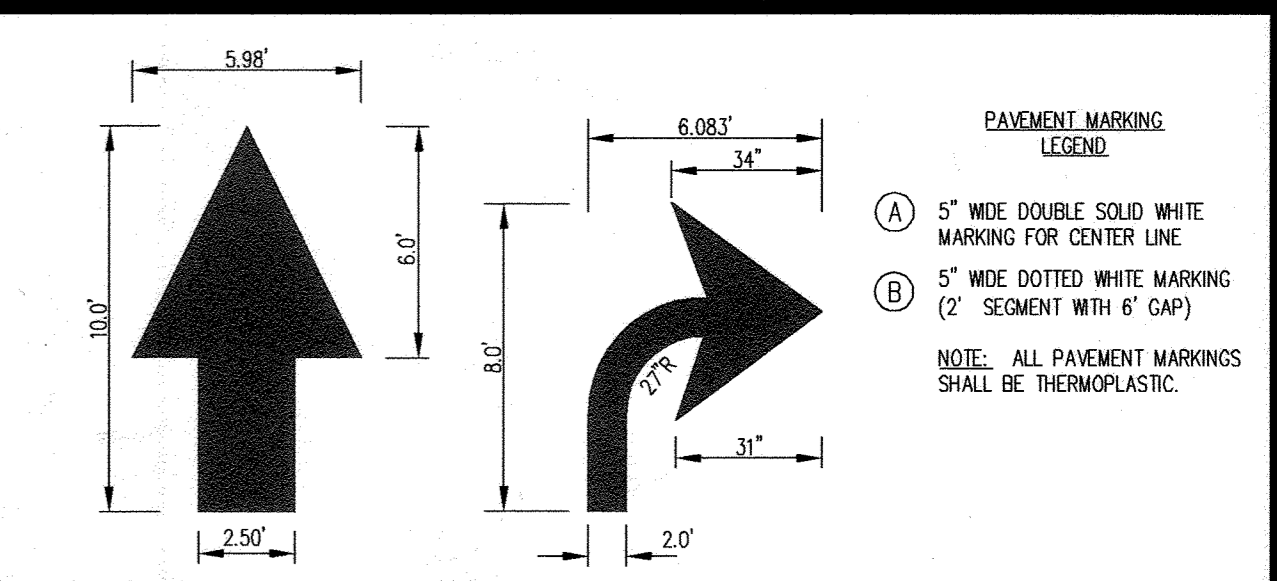
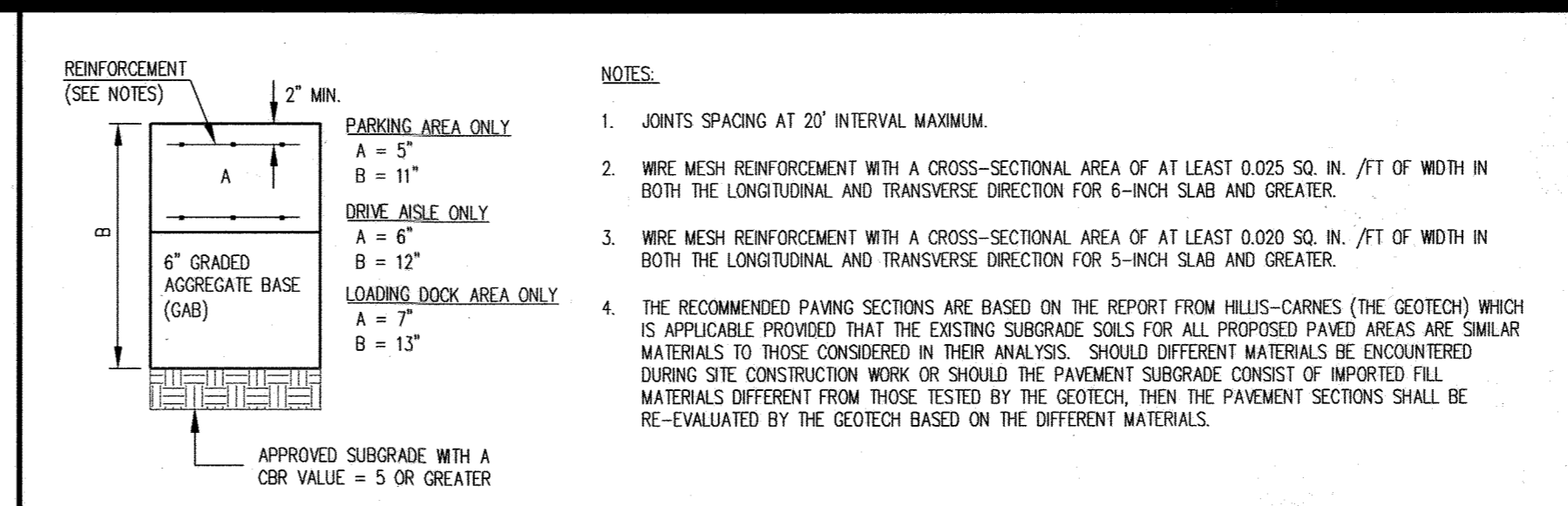
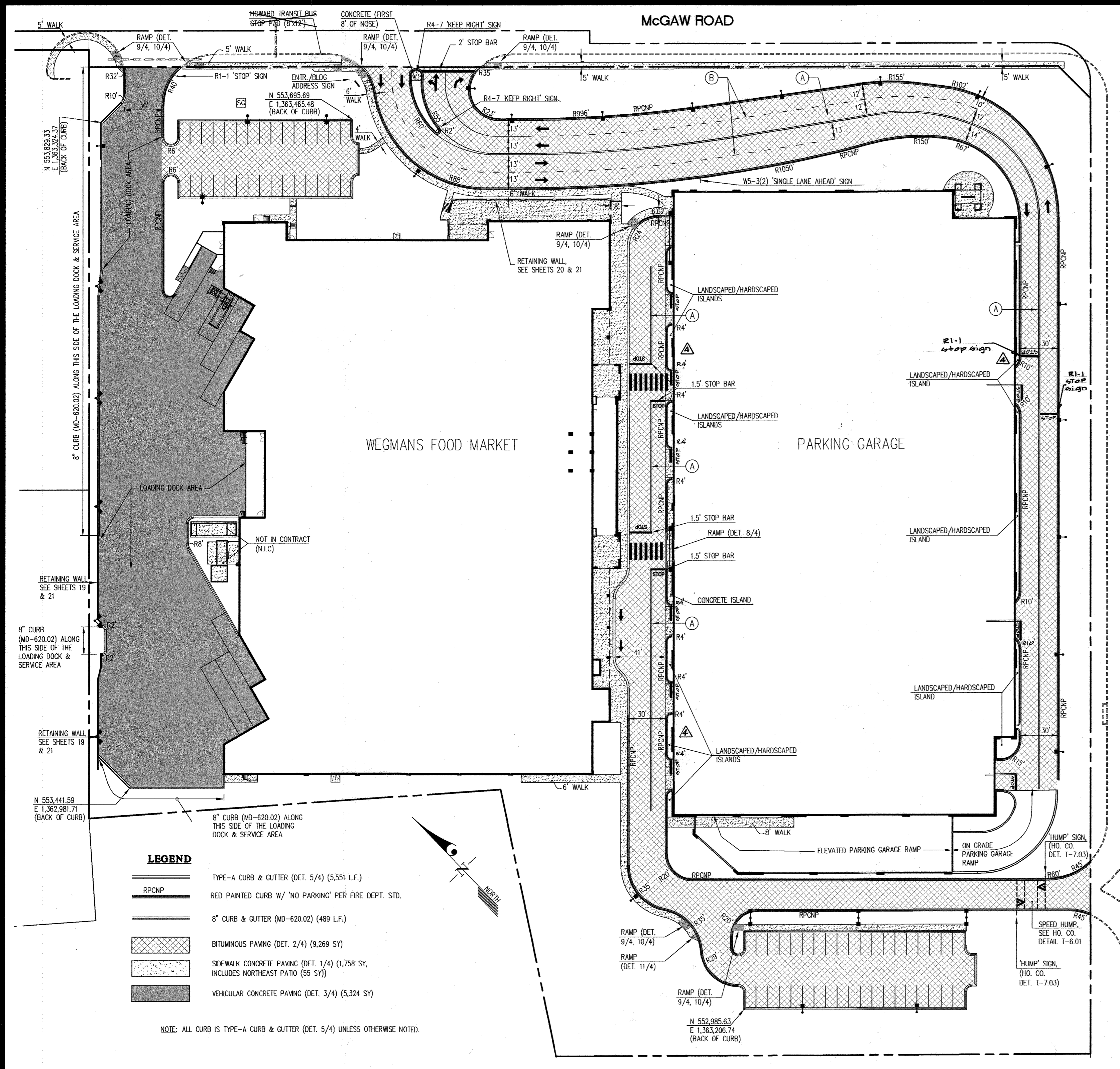
**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTNSVILLE OFFICE PARK  
BURTNSVILLE, MARYLAND 20866  
TEL: 301-421-4024 FAX: 301-421-4186



- QUADRANT NOTES:**
1. M-605.26 TRAFFIC BARRIER W/ MD-605.20 END SECTION
  2. ALIGN BACK OF W-BEAM (MD 605.22) WITH BACK OF CURB.
  3. PROVIDE A 10' OPENING CENTERED ON FIRE HYDRANTS.
  4. PROVIDE A MAXIMUM OF 3" (3 INCHES) BETWEEN THE END SECTION (MD 605.20) AND THE GARAGE ON-RAMP WALL & RAILING.
  5. FOR DECORATIVE TRAFFIC BARRIER ALTERNATE SEE SHEETS 13-19.

DATE	REVISION	BY	APP'R.	OWNER/DEVELOPER/LAND LEASER SCIENCE FICTION, LLC C/O ANTIWERPEN AUTOMOTIVE GROUP 6440 BALTIMORE NATIONAL PIKE CATONSVILLE, MD 21228 CONTACT: STANFORD HESS	PREPARED FOR: LAND LEASER: WEGMANS FOOD MARKETS, INC. 100 WEGMANS MARKET STREET ROCHESTER, NY 14624 CONTACT: STEPHEN LEATY 585-464-4600 EXT. 6833	(REVISED) SITE DEVELOPMENT PLAN <b>WEGMANS FOOD MARKETS</b> COLUMBIA SIELING INDUSTRIAL CENTER PARCEL 'D-2' (rededication of Parcel D-1) TAX MAP PARCEL 356 SECTION 1, AREA 1; PLAT Nos. 17484, 20012 & 21178	SCALE 1"=40'	ZONING NT	G. L. W. FILE No. 07005
01/15/2011	add volta EV chargers								
03/15/2011	add liquor store								
11/17/2011	added stop bars for parking garage	kjp							
3/3/2011	REVISE BLDG. & PARKING GARAGE FOOTPRINTS; REV. GRADING; RELOCATE CLOCK TOWER TO GARAGE CORNER	kjp/mbt							
06/11/2010	Revised eastern parking facilities, storm drain system and water main to affect necessary changes for the access to S.R.P.								





**APPROVED**  
PLANNING BOARD OF HOWARD COUNTY

DATE: January 31, 2008, April 24, 2008 and April 17, 2011

APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEM  
HOWARD COUNTY HEALTH DEPARTMENT

County Health Officer: \_\_\_\_\_ Date: \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Thomas & Butler* 3/21/11

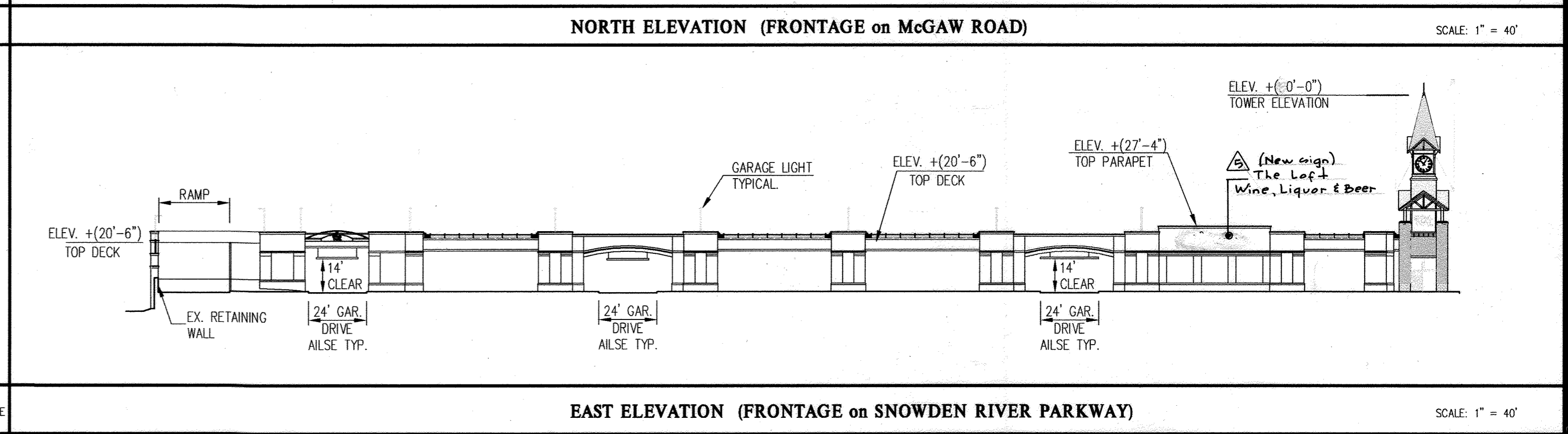
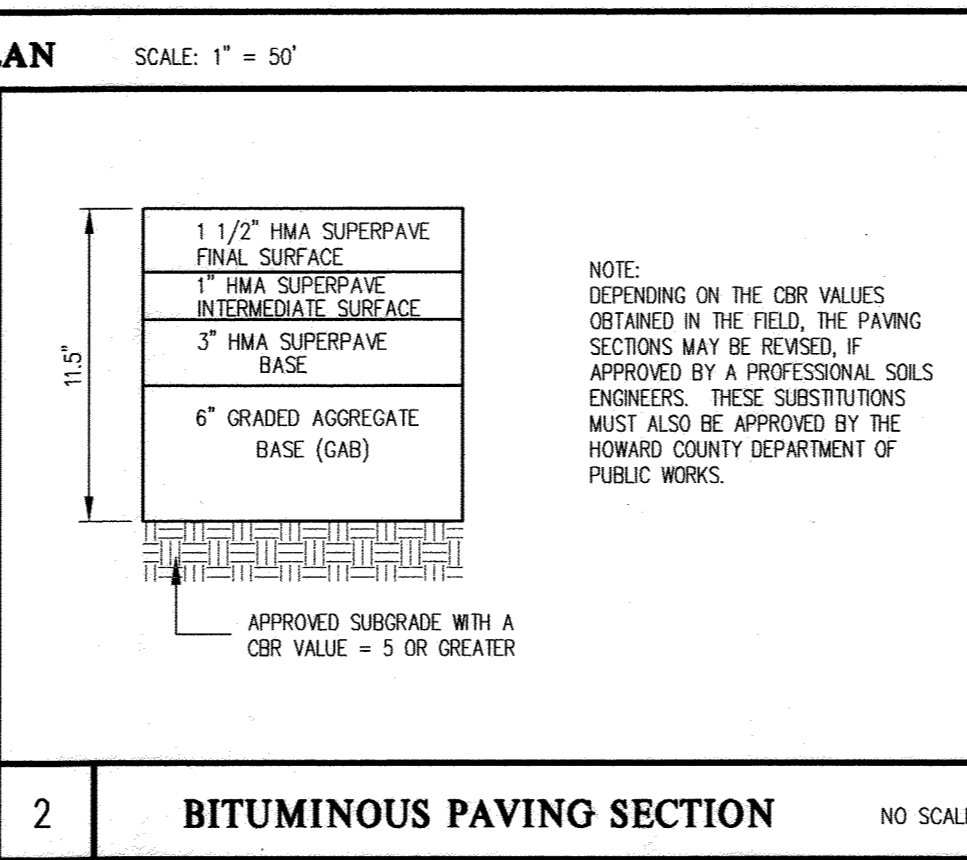
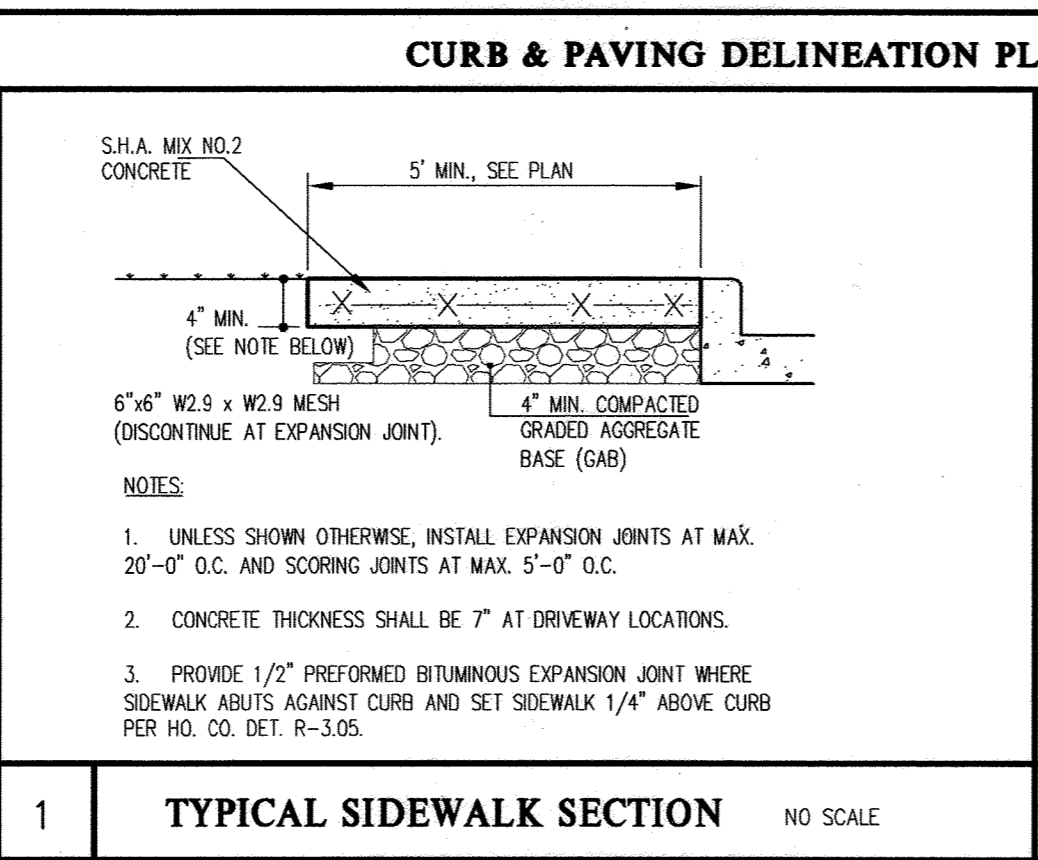
Chief, Division of Land Development: *Vict Steinhilber* 3/21/11

Chief, Development Engineering Division: *Chad Johnson* 3/14/11

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 26, 2012.

*Chad Johnson* 3-2-11



**GLWGUTSCHICK LITTLE & WEBER, P.A.**

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS

3909 NATIONAL DRIVE - SUITE 250 - BURTONTOWNE OFFICE PARK  
BURTONTOWNE, MARYLAND 20866

TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-589-2524 FAX: 301-421-4186

DATE: 06-11-2010

REVISION: \_\_\_\_\_

BY: \_\_\_\_\_

APP'R: \_\_\_\_\_

**PREPARED FOR:**  
OWNER/DEVELOPER/LAND LEASER:  
SCIENCE FICTION, LLC  
C/O ANTHEPROM AUTOMOTIVE GROUP  
6440 BALTIMORE NATIONAL PIKE  
CATONSVILLE, MD 21228

**LAND LEASE:**  
WEGMANS FOOD MARKETS, INC.  
100 WEGMANS MARKET STREET  
ROCHESTER, NY 14624

CONTACT: STEPHEN LEATY  
585-464-4600 EXT. 6833

**(REVISED) CURB & PAVING DELINEATION PLAN / SITE DETAILS**

**WEGMANS FOOD MARKETS**  
COLUMBIA SIELING INDUSTRIAL CENTER  
PARCEL 'D-2' (redevelopment of Parcel D-1)  
TAX MAP PARCEL 356  
SECTION 1, AREA I; PLAT Nos. 17484, 20012 & 21178

SCALE: AS SHOWN

ZONING: NT

G. L. W. FILE NO.: 07005

DATE: JUNE/2010

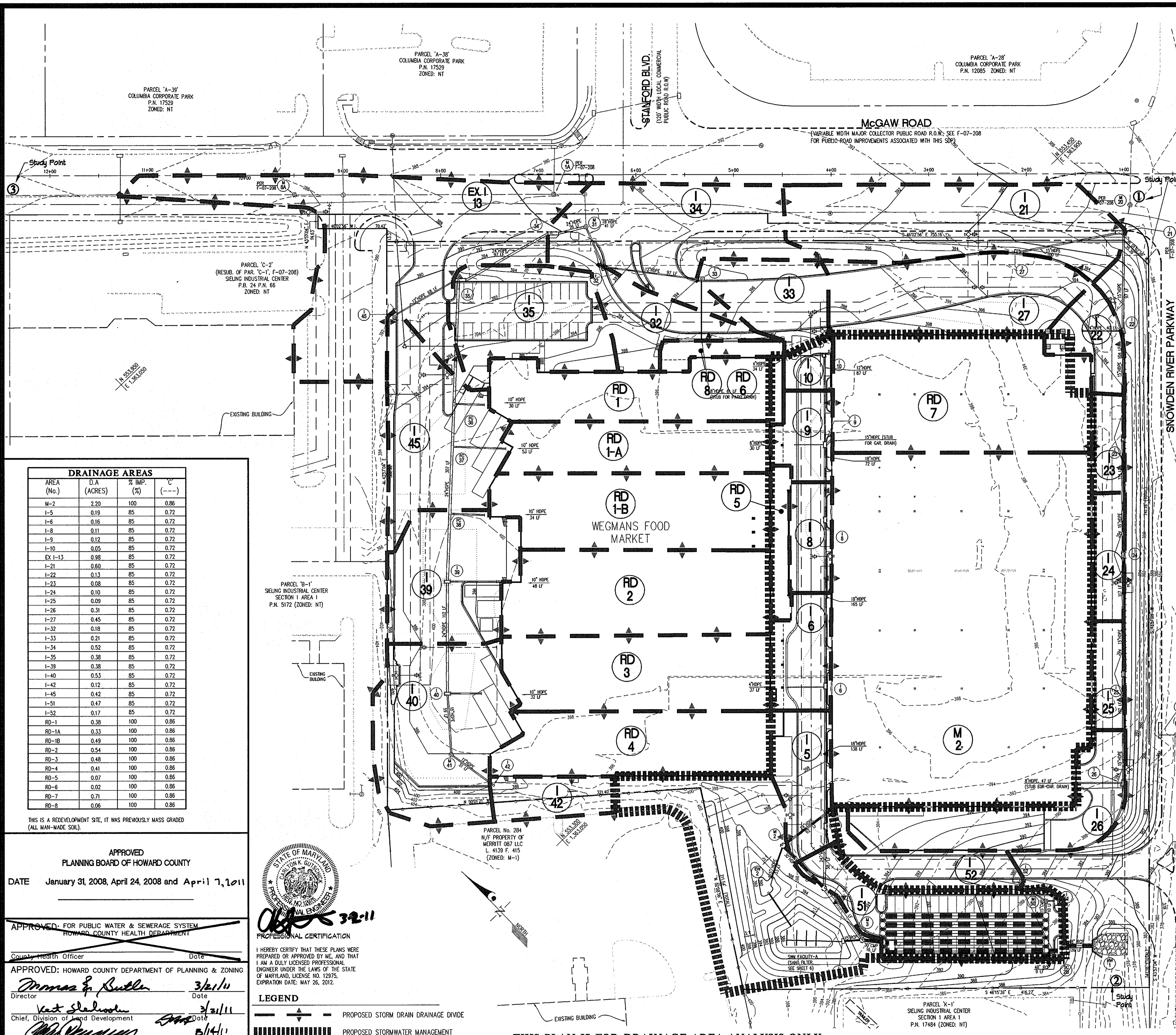
TAX MAP - GRID: TM 36 - 24

SHEET: 4 OF 21

6TH ELECTION DISTRICT

HOWARD COUNTY, MARYLAND

**SDP-07-131**



**DRAINAGE AREAS**

AREA (No.)	D.A. (ACRES)	% IMP. (%)	C <sub>s</sub> (---)
M-2	2.20	100	0.86
I-5	0.19	85	0.72
I-6	0.16	85	0.72
I-8	0.11	85	0.72
I-9	0.12	85	0.72
I-10	0.05	85	0.72
EX I-13	0.98	85	0.72
I-21	0.60	85	0.72
I-22	0.13	85	0.72
I-23	0.08	85	0.72
I-24	0.10	85	0.72
I-25	0.09	85	0.72
I-26	0.31	85	0.72
I-27	0.45	85	0.72
I-32	0.18	85	0.72
I-33	0.21	85	0.72
I-34	0.52	85	0.72
I-35	0.38	85	0.72
I-39	0.38	85	0.72
I-40	0.53	85	0.72
I-42	0.12	85	0.72
I-45	0.42	85	0.72
I-51	0.47	85	0.72
I-52	0.17	85	0.72
RD-1	0.38	100	0.86
RD-1A	0.33	100	0.86
RD-1B	0.49	100	0.86
RD-2	0.54	100	0.86
RD-3	0.48	100	0.86
RD-4	0.41	100	0.86
RD-5	0.07	100	0.86
RD-6	0.02	100	0.86
RD-7	0.71	100	0.86
RD-8	0.06	100	0.86

THIS IS A REDEVELOPMENT SITE, IT WAS PREVIOUSLY MASS GRADED (ALL MAN-MADE SOIL).

APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
DATE January 31, 2008, April 24, 2008 and April 7, 2011

APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEM  
HOWARD COUNTY HEALTH DEPARTMENT  
County Health Officer \_\_\_\_\_ Date \_\_\_\_\_

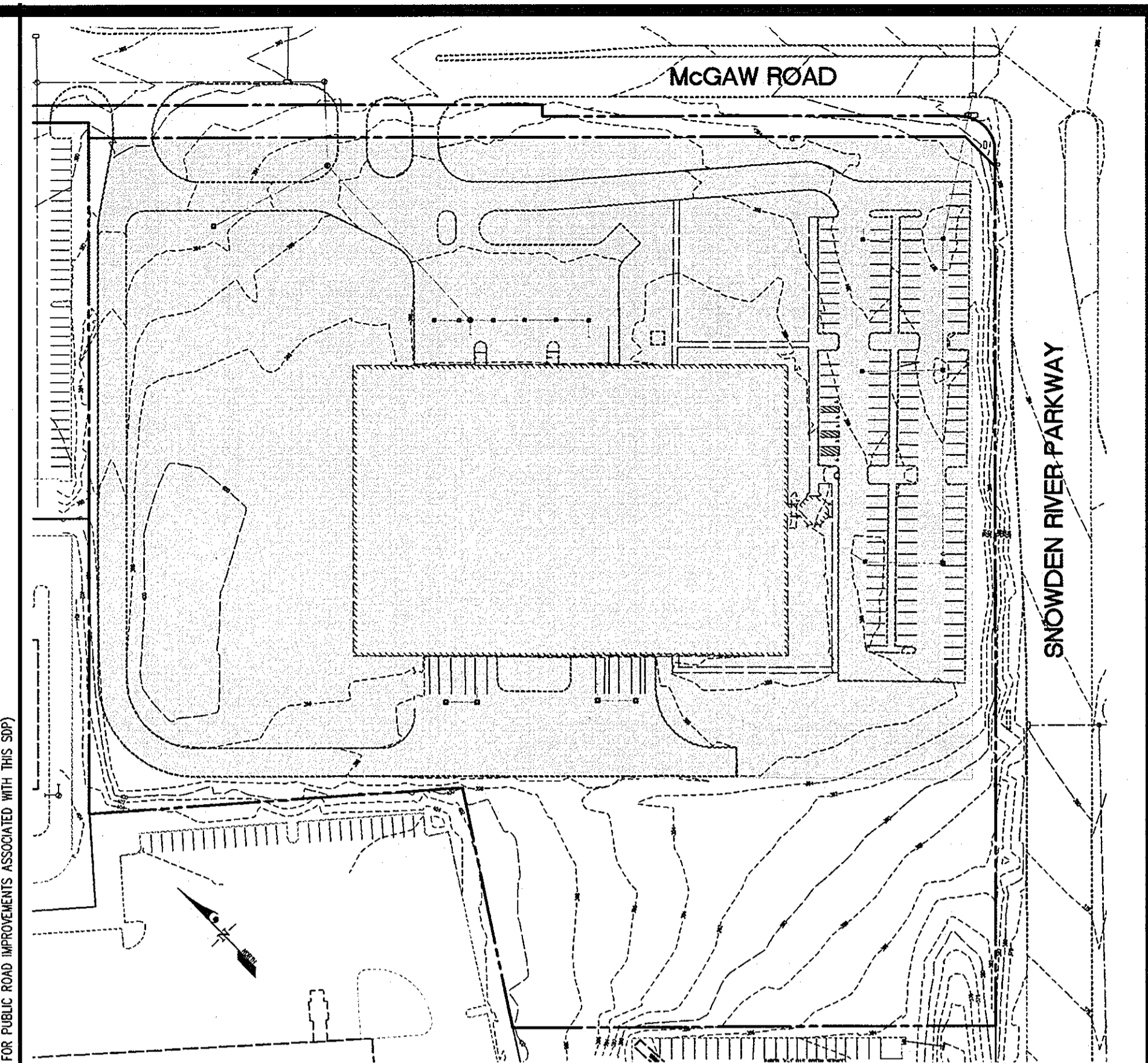
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director *Thomas E. Butler* Date 3/21/11  
Chief, Division of Land Development *Victor Slavovick* Date 3/21/11  
Chief, Development Engineering Division *John J. ...* Date 5/14/11



PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 26, 2012.

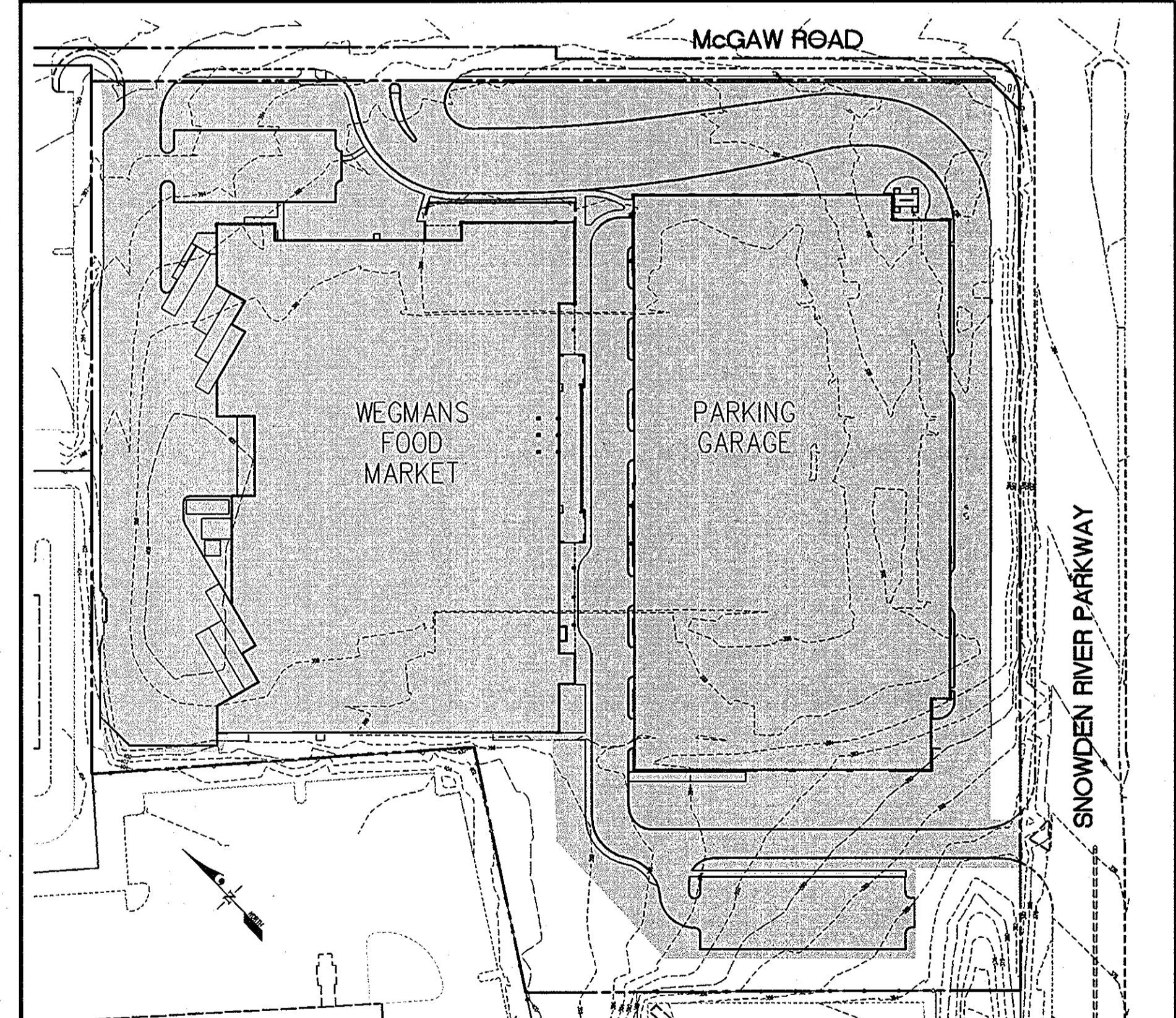
LEGEND  
 PROPOSED STORM DRAIN DRAINAGE DIVIDE  
 PROPOSED STORMWATER MANAGEMENT DRAINAGE DIVIDE

THIS PLAN IS FOR DRAINAGE AREA ANALYSIS ONLY



TOTAL SITE AREA = 10.5 Ac  
TOTAL IMPERVIOUS AREA = 9.5 Ac

EXISTING IMPERVIOUS ENVELOPE SCALE: 1" = 100'



TOTAL SITE AREA = 12.2 Ac  
TOTAL IMPERVIOUS AREA = 10.8 Ac

PROPOSED IMPERVIOUS ENVELOPE SCALE: 1" = 100'

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20868  
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-389-2524 FAX: 301-421-4186

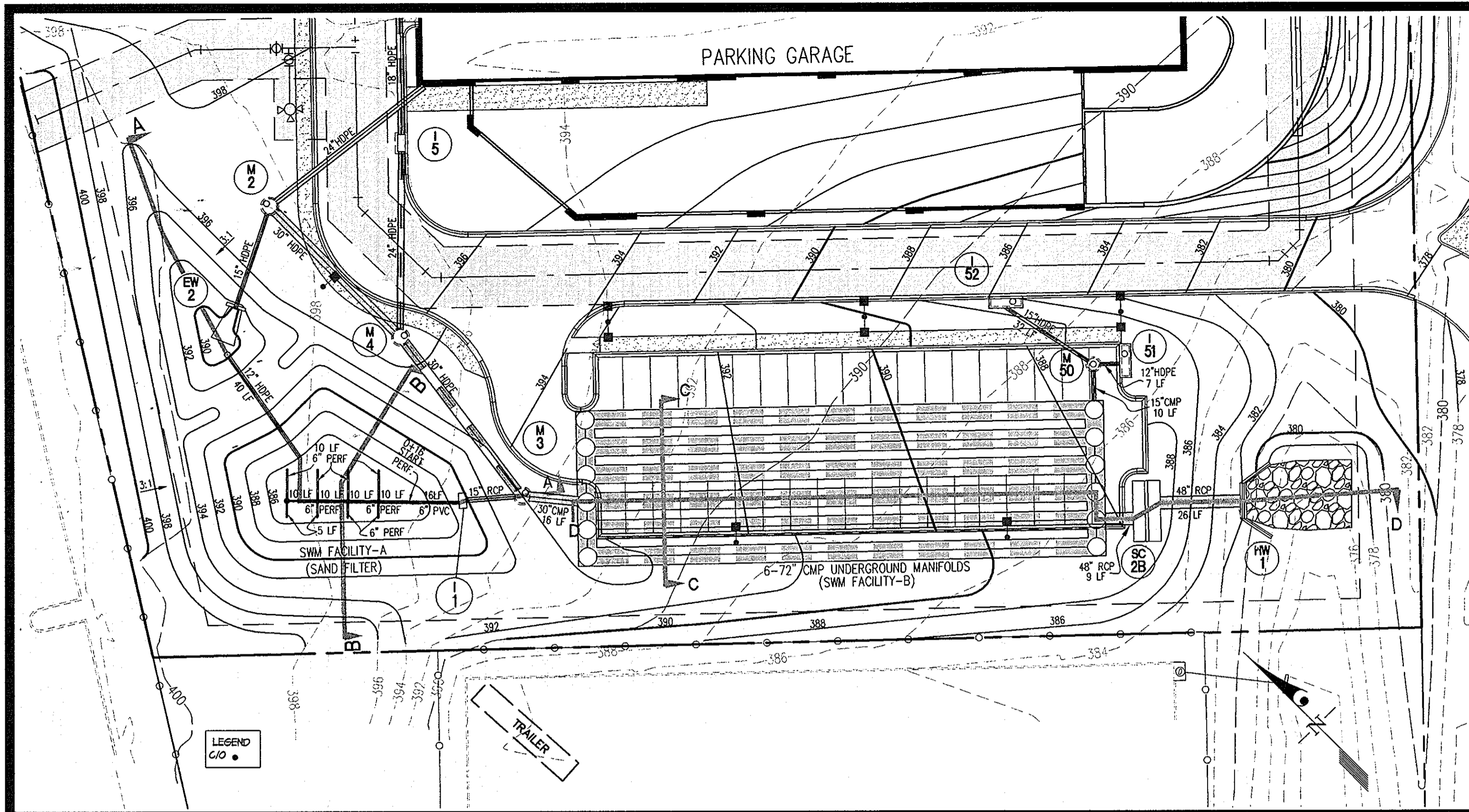
DATE	REVISION	BY	APPR
03-3-2011	REV. BLDG., PARKING GARAGE & LOADING DOCK AREA, REV. SD BY FRONT & BEHIND BLDG., REV. DA ACCORDINGLY		
06-11-2010	Update Drainage Areas for changes associated with Snowden River Pkwy access and expansion of service area (I-44)		

PREPARED FOR:  
OWNER/DEVELOPER/LAND LEASER:  
SCIENCE FICTION, LLC  
C/O ANTIHERPEN AUTOMOTIVE GROUP  
6440 BALTIMORE NATIONAL PIKE  
CATONSVILLE, MD 21228  
CONTACT: STANFORD HESS

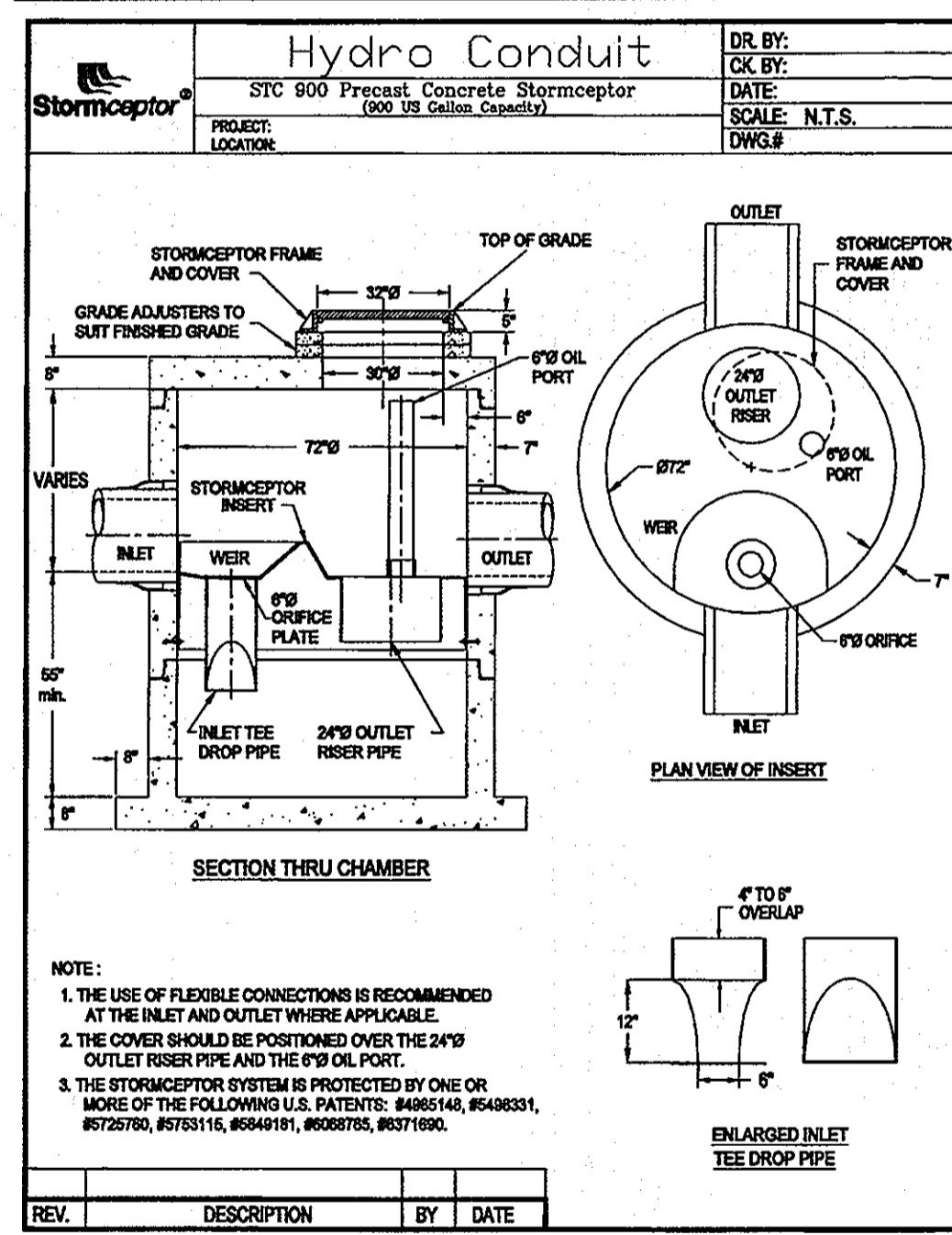
LAND LEASER:  
WEGMANS FOOD MARKETS, INC.  
100 WEGMANS MARKET STREET  
ROCHESTER, NY 14624  
CONTACT: STEPHEN LEATY  
585-464-4600 EXT. 6833

(REVISED) STORM DRAIN / STORMWATER MANAGEMENT DRAINAGE AREA MAP  
**WEGMANS FOOD MARKETS**  
COLUMBIA SIELING INDUSTRIAL CENTER  
PARCEL 'D-2' (redevelopment of Parcel D-1)  
TAX MAP PARCEL 356  
SECTION 1, AREA I; PLAT Nos. 17484, 20012 & 21178  
6TH ELECTION DISTRICT

SCALE	ZONING	G. L. W. FILE No.
1" = 50'	NT	07005
DATE	TAX MAP - GRID	SHEET
JUNE/2010	TM 36 - 24	5 OF 21



**STORMWATER MANAGEMENT POND 'A' & FACILITY 'B'** SCALE: 1" = 30'



**OPERATION AND MAINTENANCE SCHEDULE**  
**PRIVATE STORMWATER MANAGEMENT FACILITY**

**ROUTINE MAINTENANCE**

1. THE FACILITY SHALL BE INSPECTED ANNUALLY AND AFTER MAJOR STORMS. INSPECTIONS SHOULD BE PERFORMED DURING WET WEATHER TO DETERMINE IF THE POND IS FUNCTIONING PROPERLY.
2. TOP AND SIDE SLOPES OF THE EMBANKMENT SHALL BE MOVED A MINIMUM OF TWO (2) TIMES A YEAR, ONCE IN JUNE AND ONCE IN SEPTEMBER. OTHER SIDE SLOPES, THE BOTTOM OF THE POND, AND MAINTENANCE ACCESS SHOULD BE MOVED AS NEEDED.
3. DEBRIS AND LITTER NEXT TO THE OUTLET STRUCTURE SHALL BE REMOVED DURING REGULAR MOWING OPERATIONS AND AS NEEDED.
4. VISIBLE SIGNS OF EROSION IN THE POND AS WELL AS RIP-RAP OUTLET AREA SHALL BE REPAIRED AS SOON AS IT IS NOTICED.

**NON-ROUTINE MAINTENANCE**

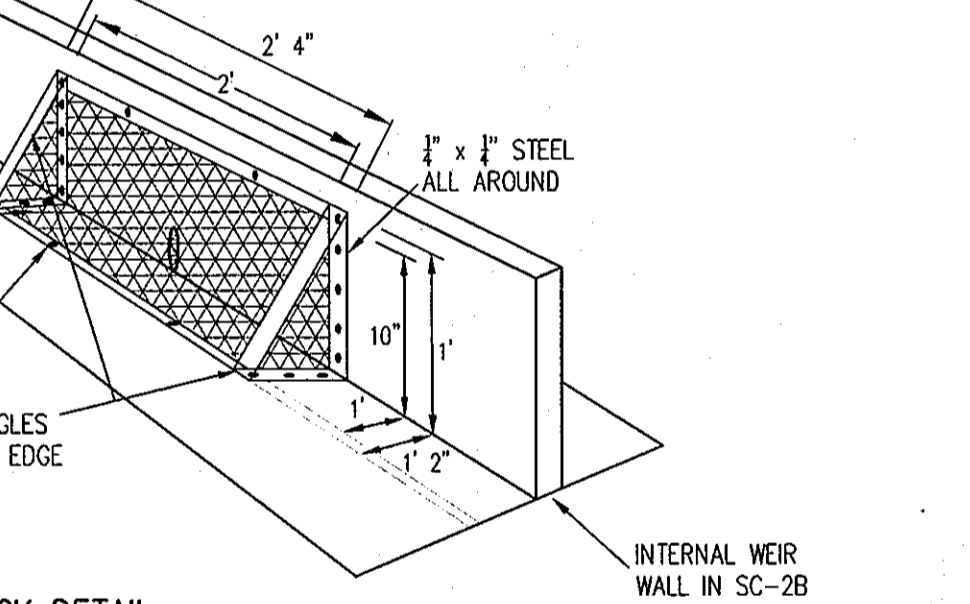
1. STRUCTURAL COMPONENTS OF THE POND SUCH AS THE DAM, THE RISER, AND THE PIPES SHALL BE REPAIRED UPON DETECTION OF ANY DAMAGE. THE COMPONENTS SHOULD BE INSPECTED DURING ROUTINE MAINTENANCE OPERATIONS.
2. SEDIMENT SHOULD BE WHEN ITS ACCUMULATION SIGNIFICANTLY REDUCES THE DESIGN STORAGE, INTERFERES WITH THE FUNCTION OF THE RISER, WHEN DEEMED NECESSARY FOR AESTHETIC REASONS, OR WHEN DEEMED NECESSARY.

**SWM POND A SUMMARY TABLE**

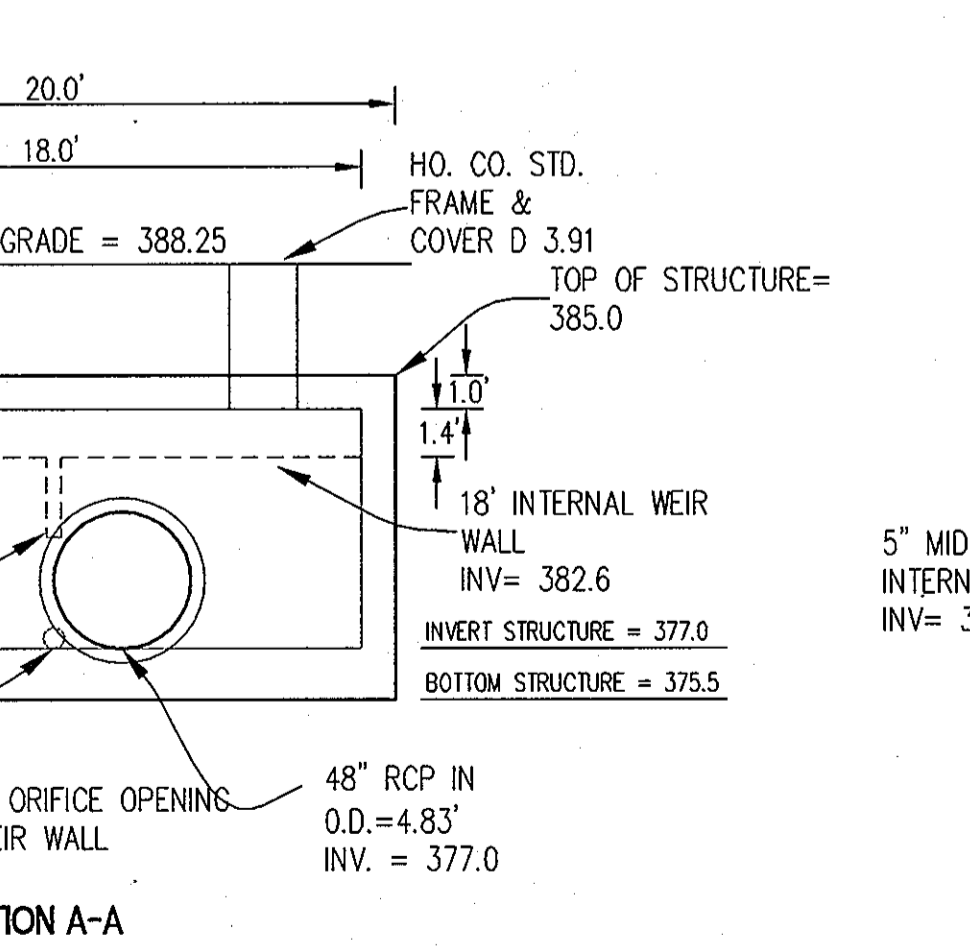
Type: SURFACE SAND FILTER (F1)  
 Non - MDE 378 Facility  
 Total Drainage Area To Facility = 2.33 acres  
 WQV Required = 0.28 ac-ft  
 WQV Provided = 0.28 ac-ft  
 WQV WSEL = 391.00  
 Q-1YR = 0.08 cfs  
 CPV Not Required  
 1-YR WSEL = 391.00  
 100-YR WSEL = 391.50  
 Low-flow Outlet: 6\"/>

**SWM FACILITY B SUMMARY TABLE**

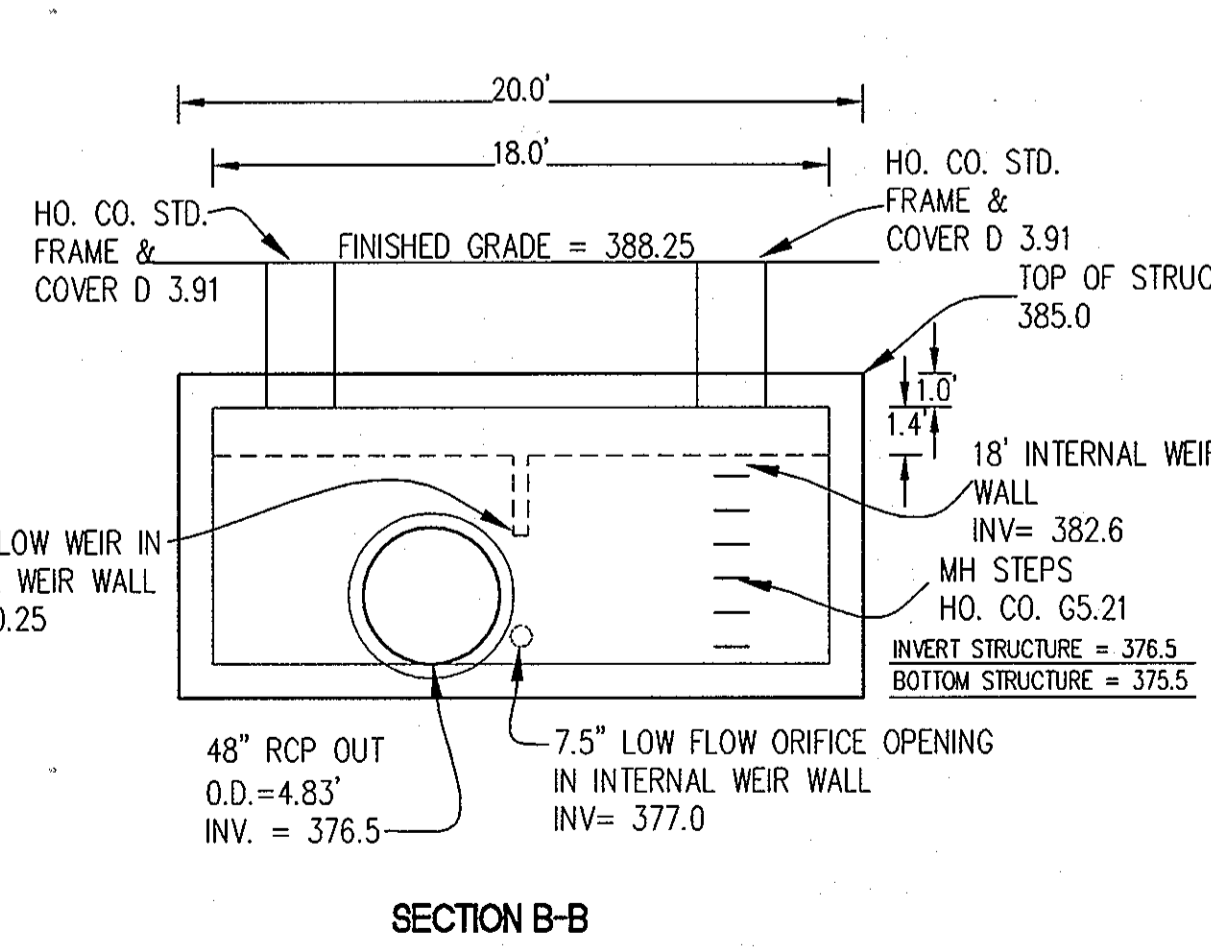
Type: UNDERGROUND PIPE MANIFOLD  
 Non - MDE 378 Facility  
 Total Drainage Area To Facility = 5.29 acres  
 Q-1YR = 2.23 cfs  
 CPV Not Required  
 1-YR WSEL = 379.59  
 Q-2YR = 2.61 cfs  
 2-YR WSEL = 380.30  
 Q-10YR = 7.80  
 100-YR WSEL = 382.59  
 Q-100 YR = 40.65  
 100-YR WSEL = 383.47  
 Low-flow Outlet: 7.5\"/>



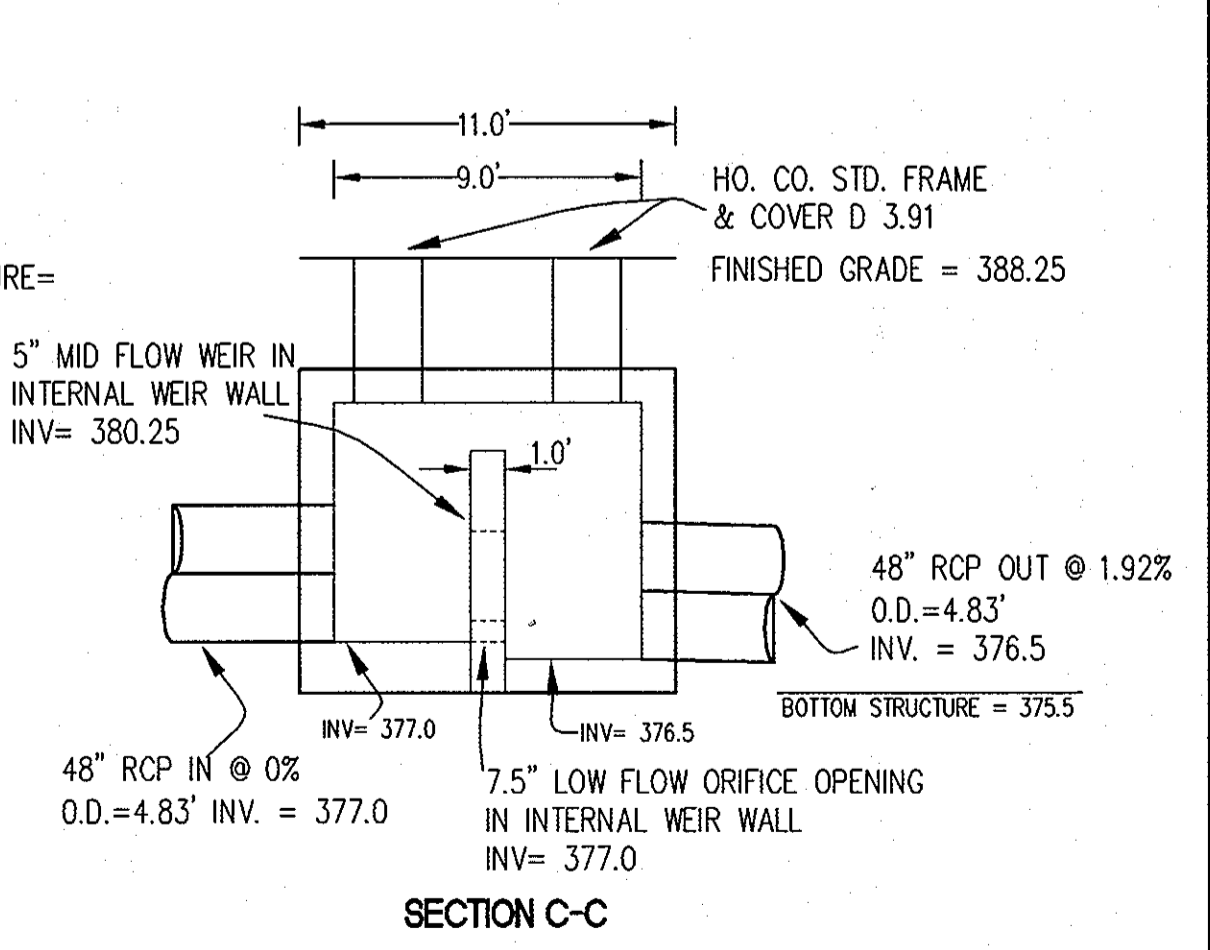
**TRASH RACK DETAIL** N.T.S.



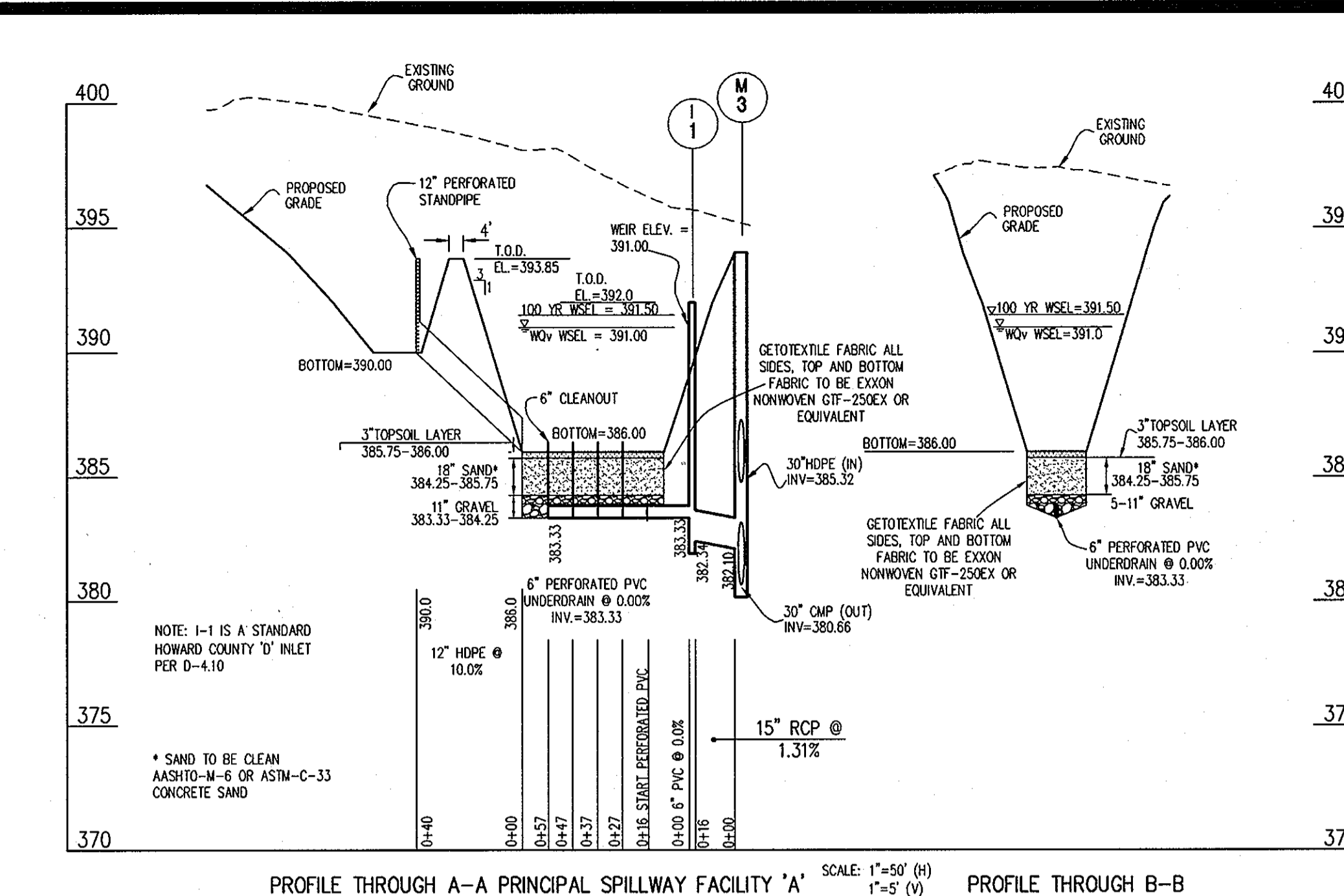
**RISER SC-2B DETAIL** N.T.S.



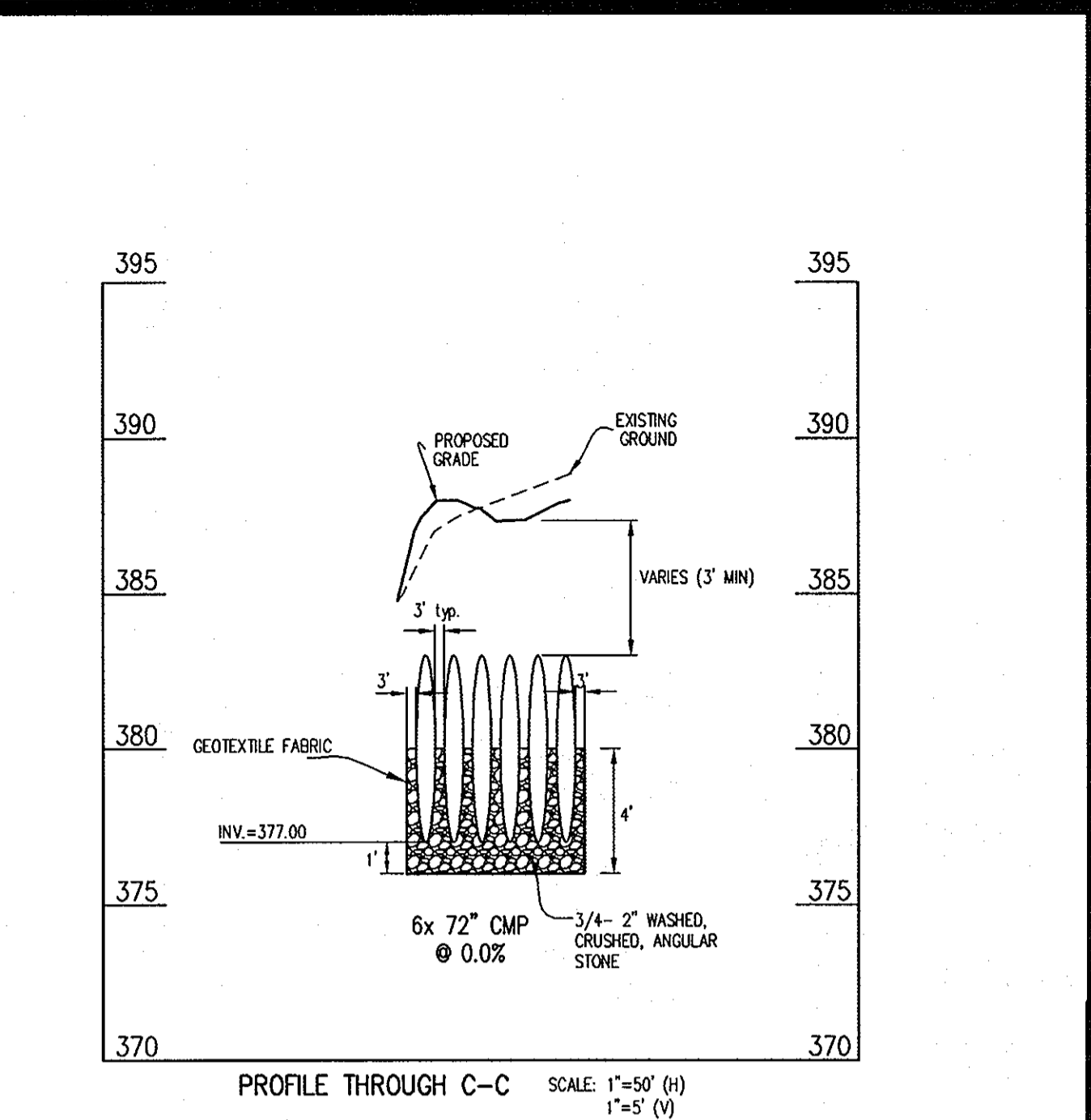
**SECTION B-B**



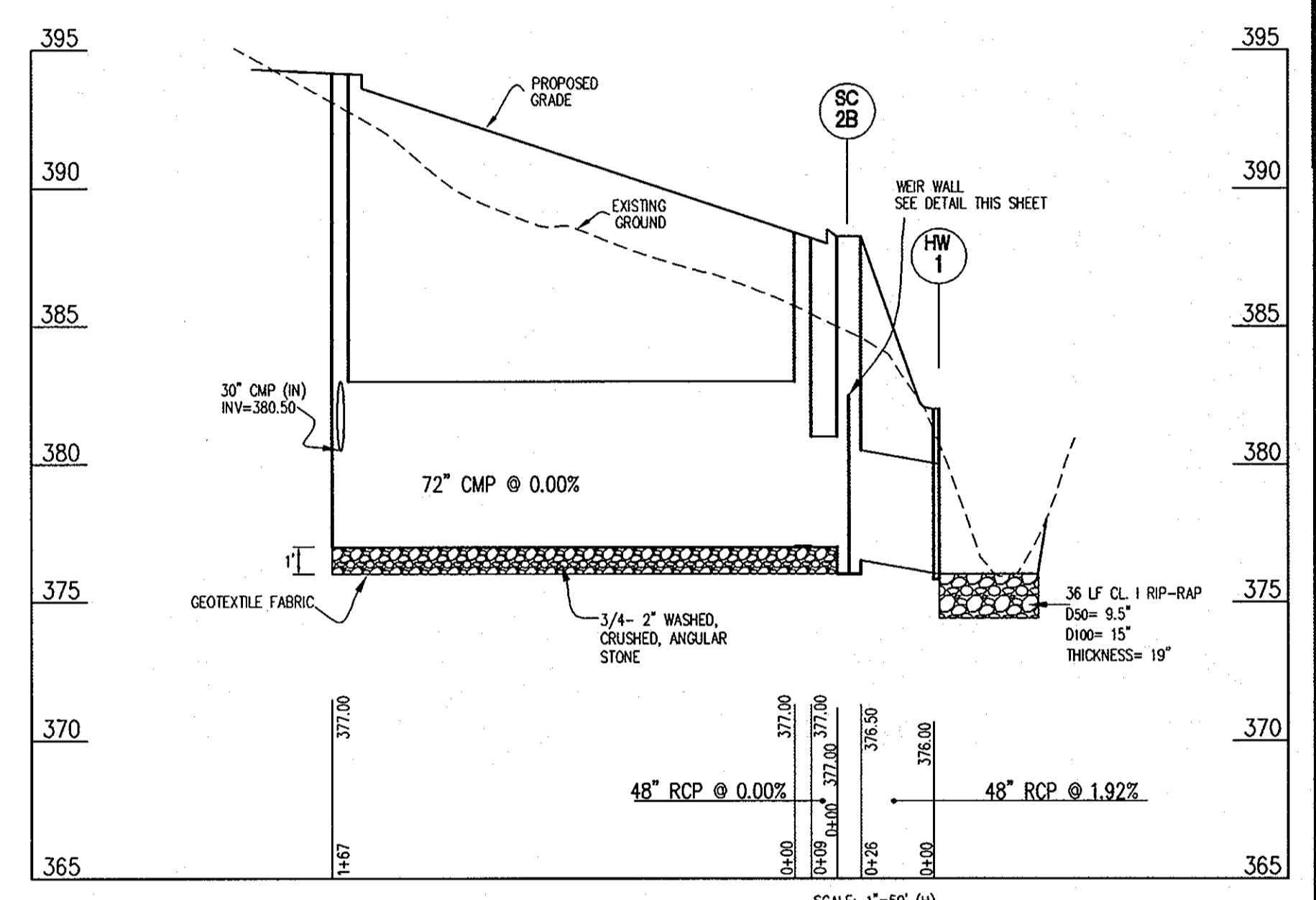
**SECTION C-C**



**PROFILE THROUGH A-A PRINCIPAL SPILLWAY FACILITY 'A'** SCALE: 1"=50' (H) 1"=5' (V)



**PROFILE THROUGH C-C** SCALE: 1"=50' (H) 1"=5' (V)



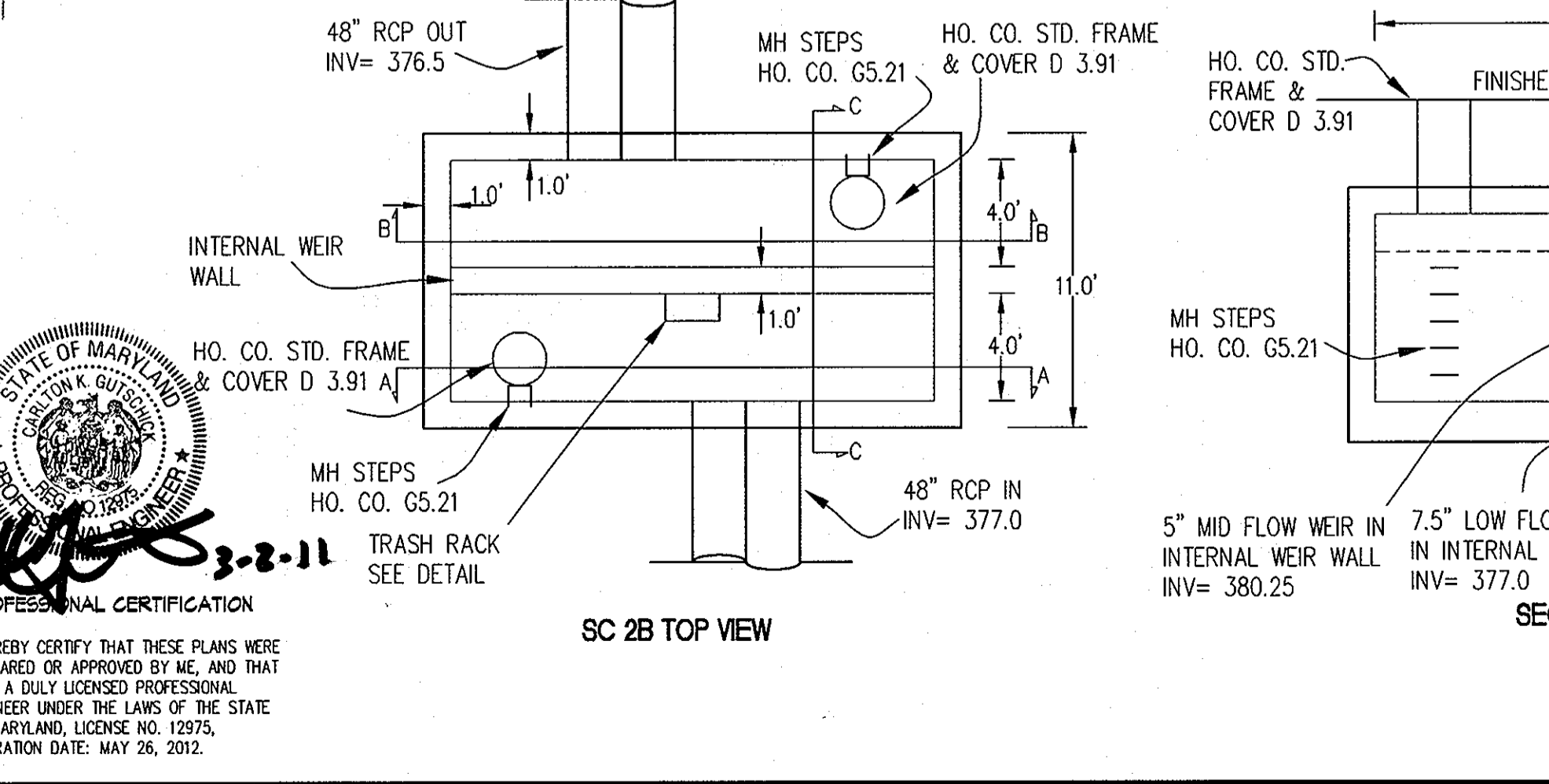
**PROFILE THROUGH D-D PRINCIPAL SPILLWAY FACILITY 'B'** SCALE: 1"=50' (H) 1"=5' (V)

**M-4 DETAIL** NO SCALE

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 DATE January 31, 2008, April 24, 2008 and April 7, 2011

APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEM  
 HOWARD COUNTY HEALTH DEPARTMENT  
 County Health Officer \_\_\_\_\_ Date \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director *Debra E. Suddler* Date 3/21/11  
 Chief, Division of Land Development *W. Williams* Date 3/21/11  
 Chief, Development Engineering Division *Ge* Date 3/14/11



**SC 2B TOP VIEW**

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONTVILLE OFFICE PARK  
 BURTONTVILLE, MARYLAND 20866  
 TEL: 301-421-4024 FAX: 410-889-1820 DC/VA: 301-889-2524 FAX: 301-421-4185

DATE	REVISION	BY	APPR.
3-3-2011	REMOVE SLOTTED DRAIN DETAIL, REV. PLAN VIEW DETAIL TO SHOW NEW PARKING GAR. AND GRADING		
11-20-09	REVISE SWM POND & FACILITY DETAIL AND PROFILE THROUGH C-C		

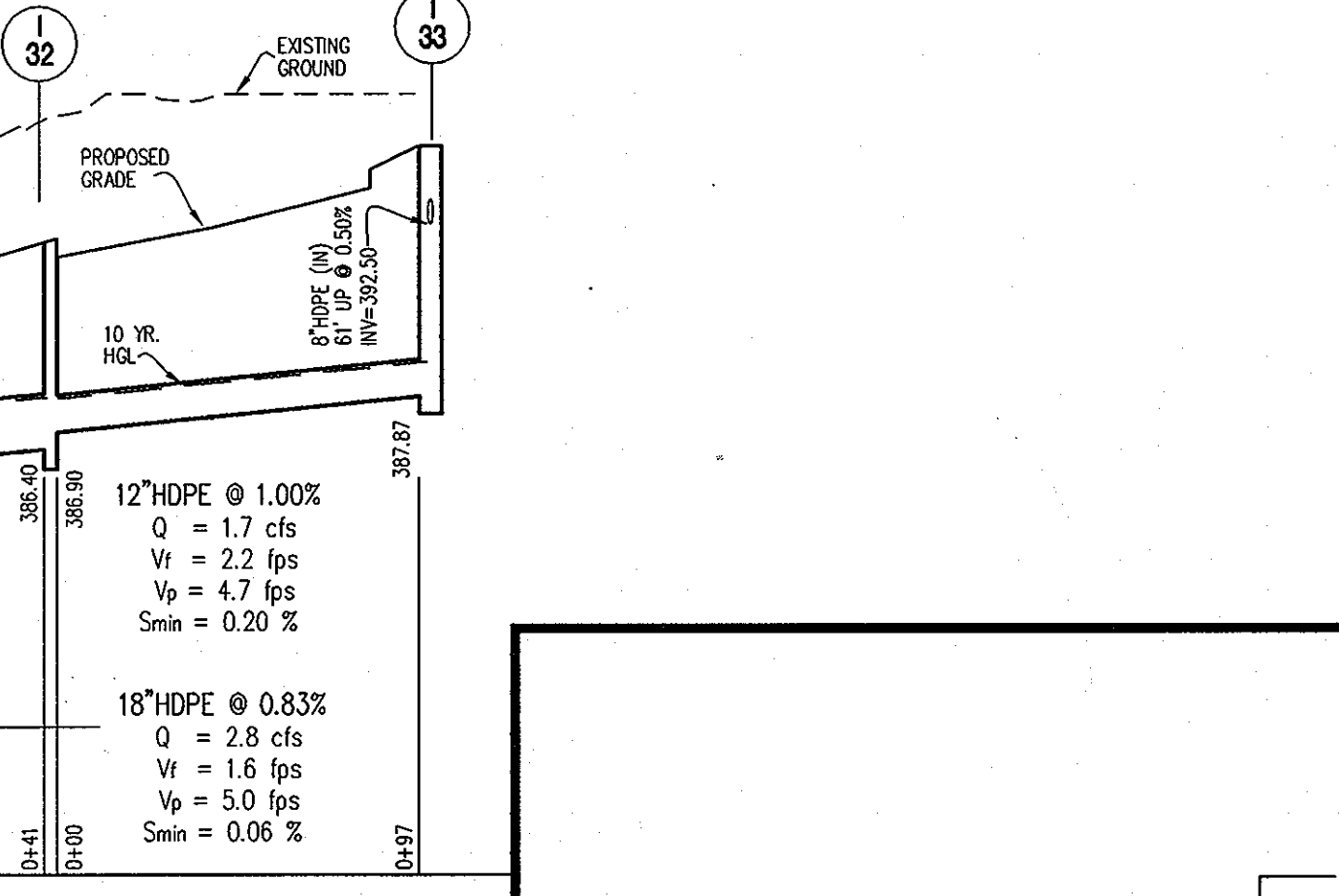
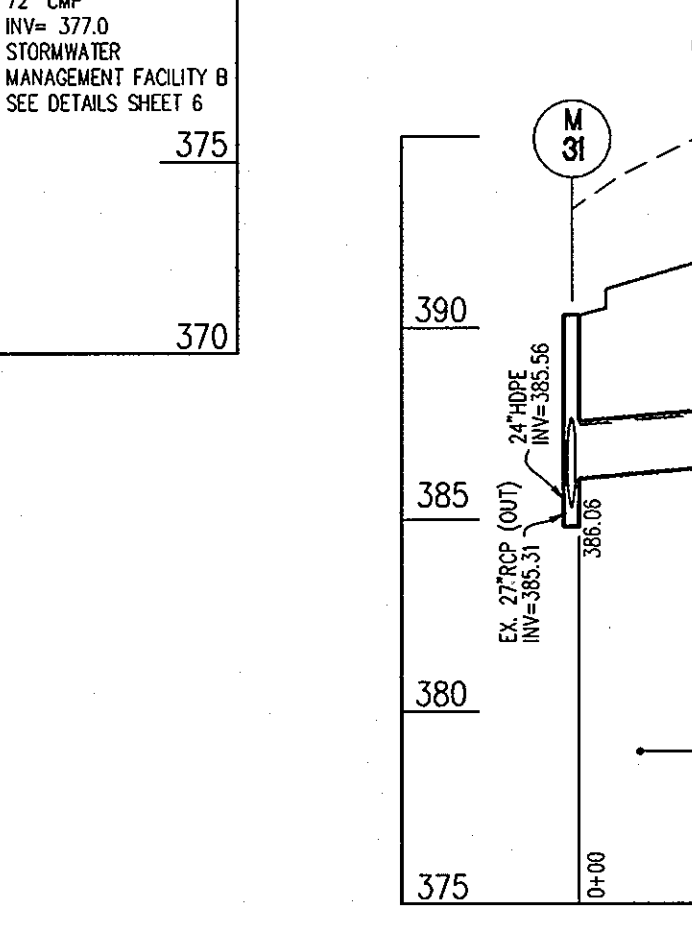
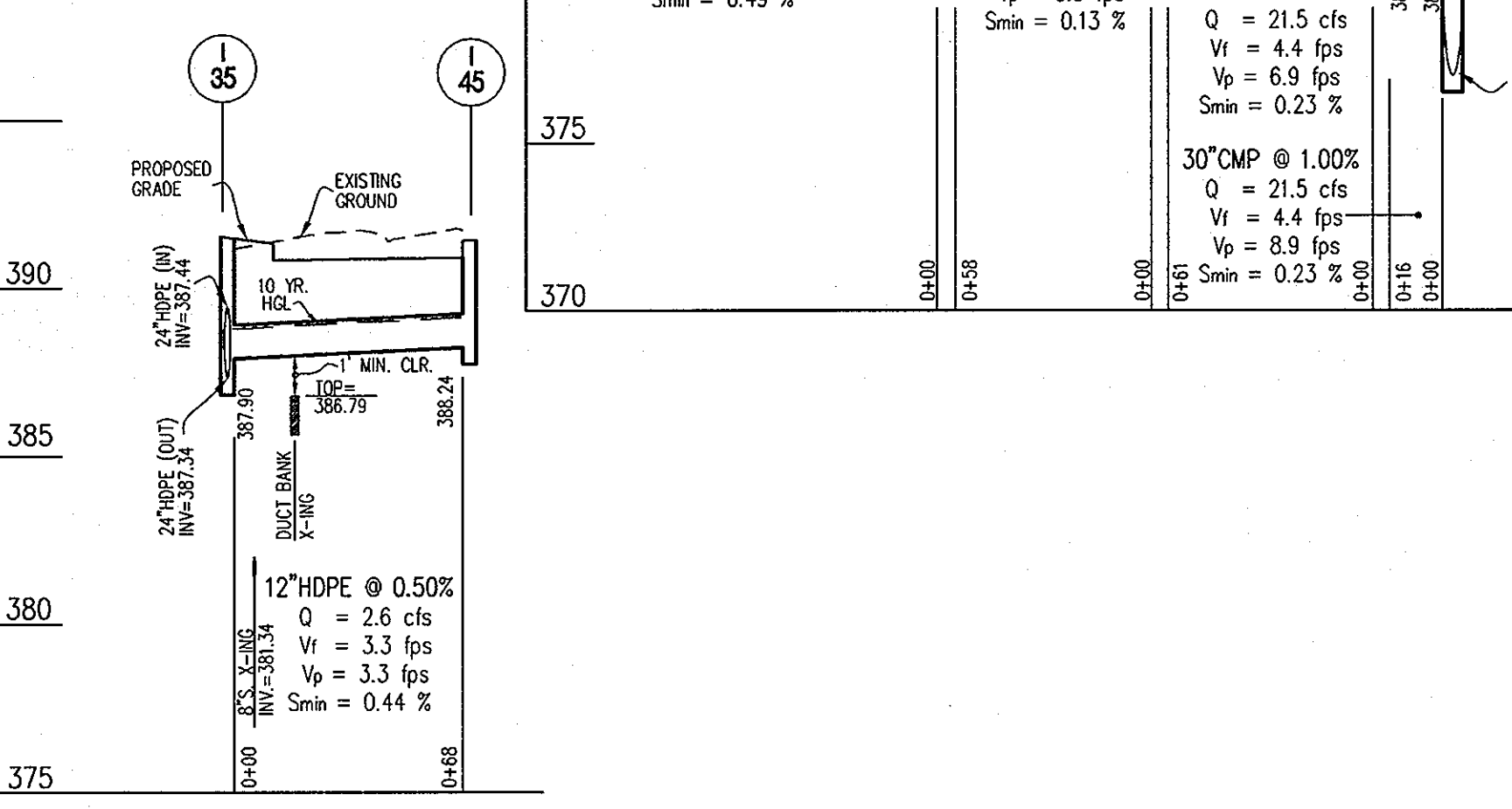
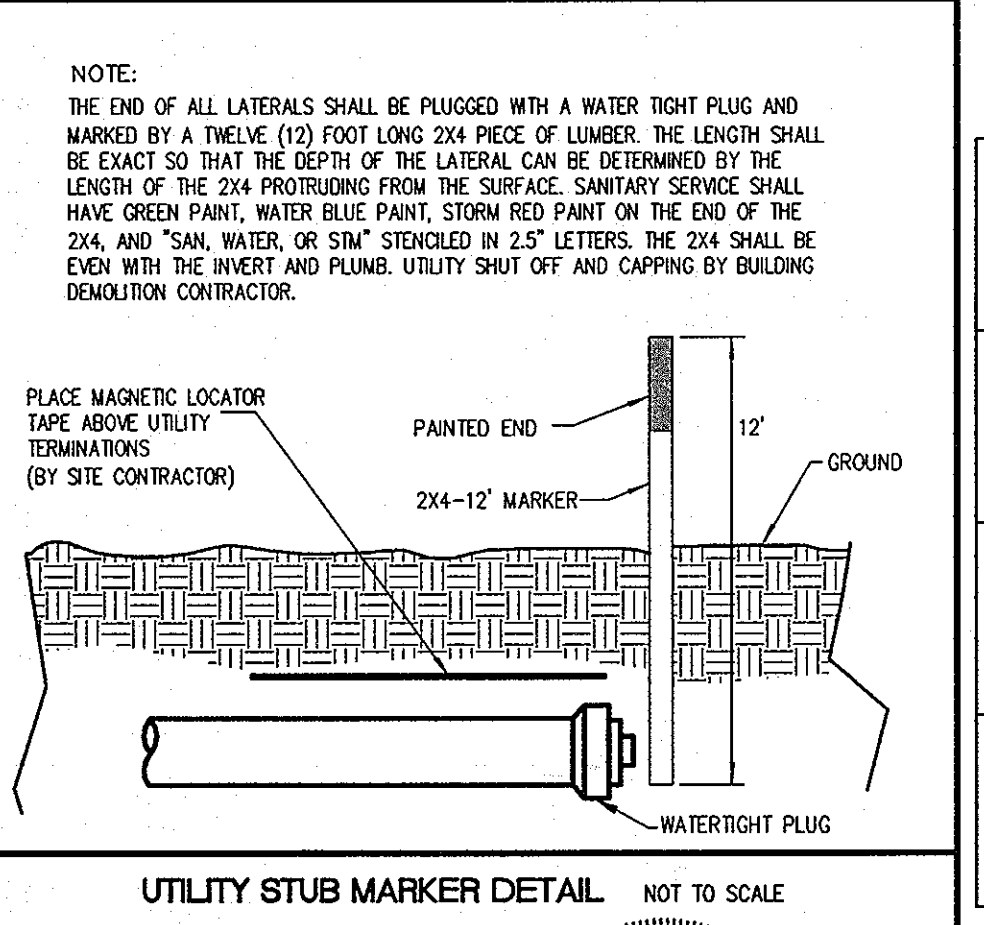
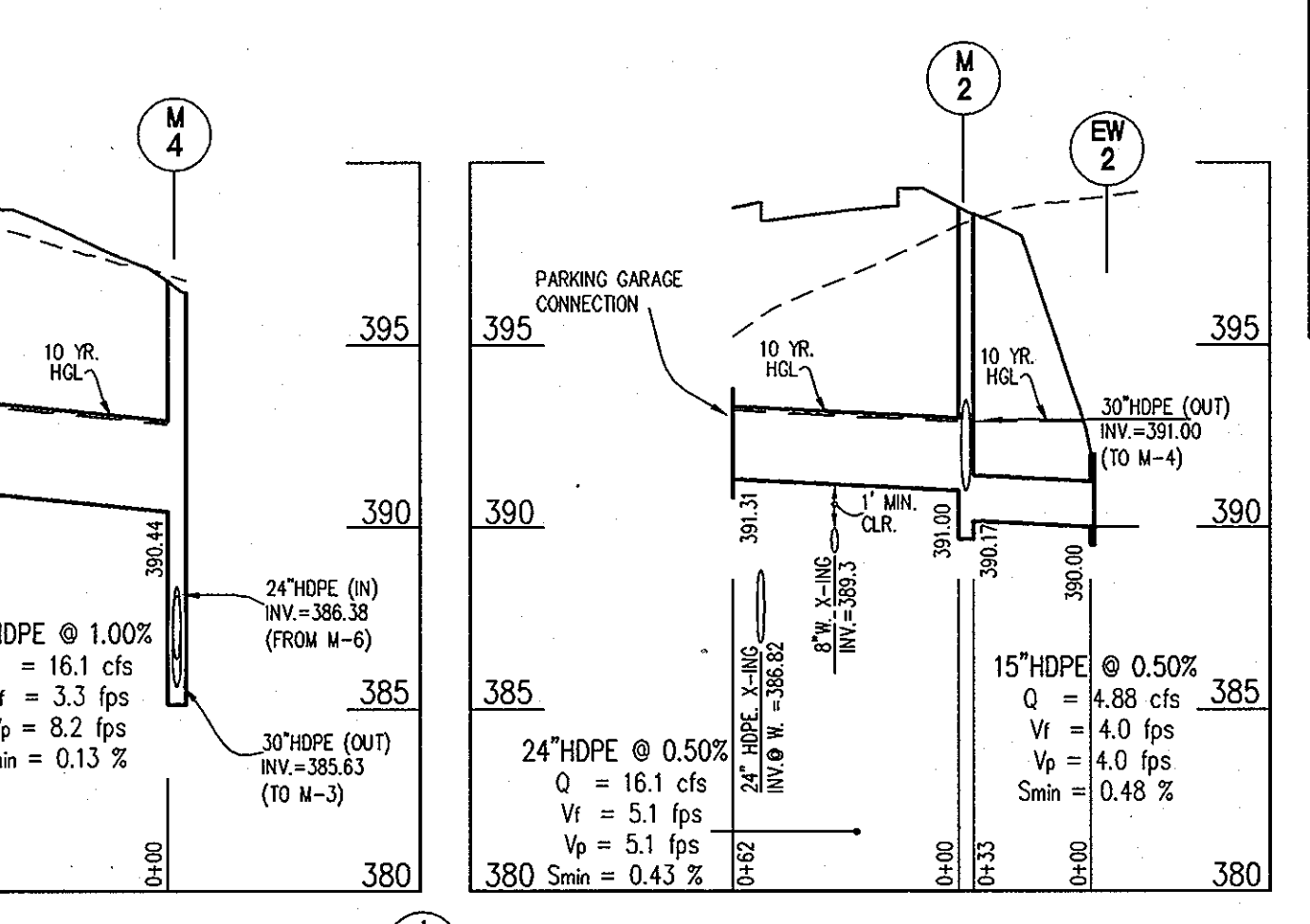
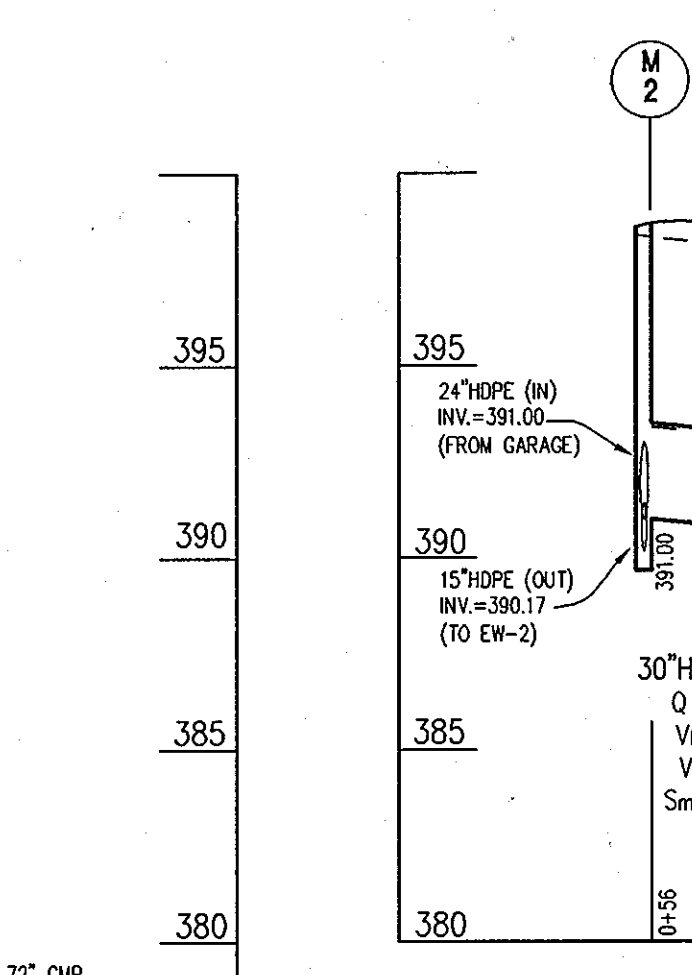
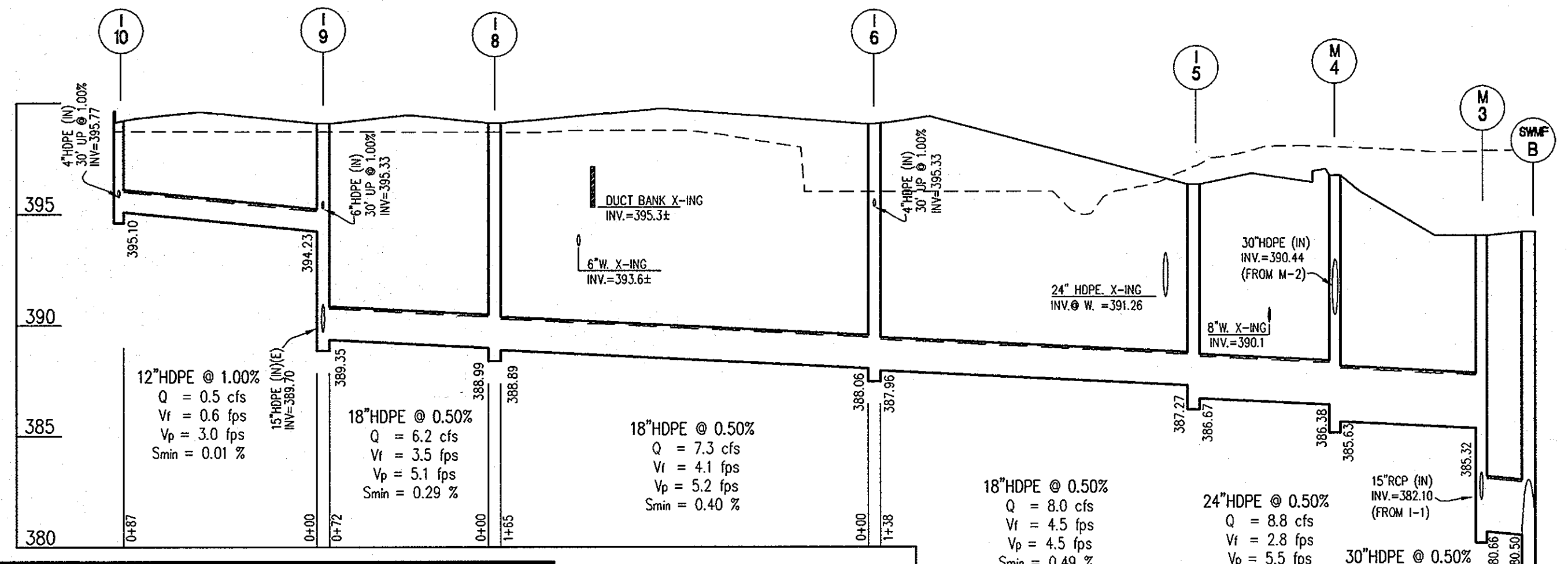
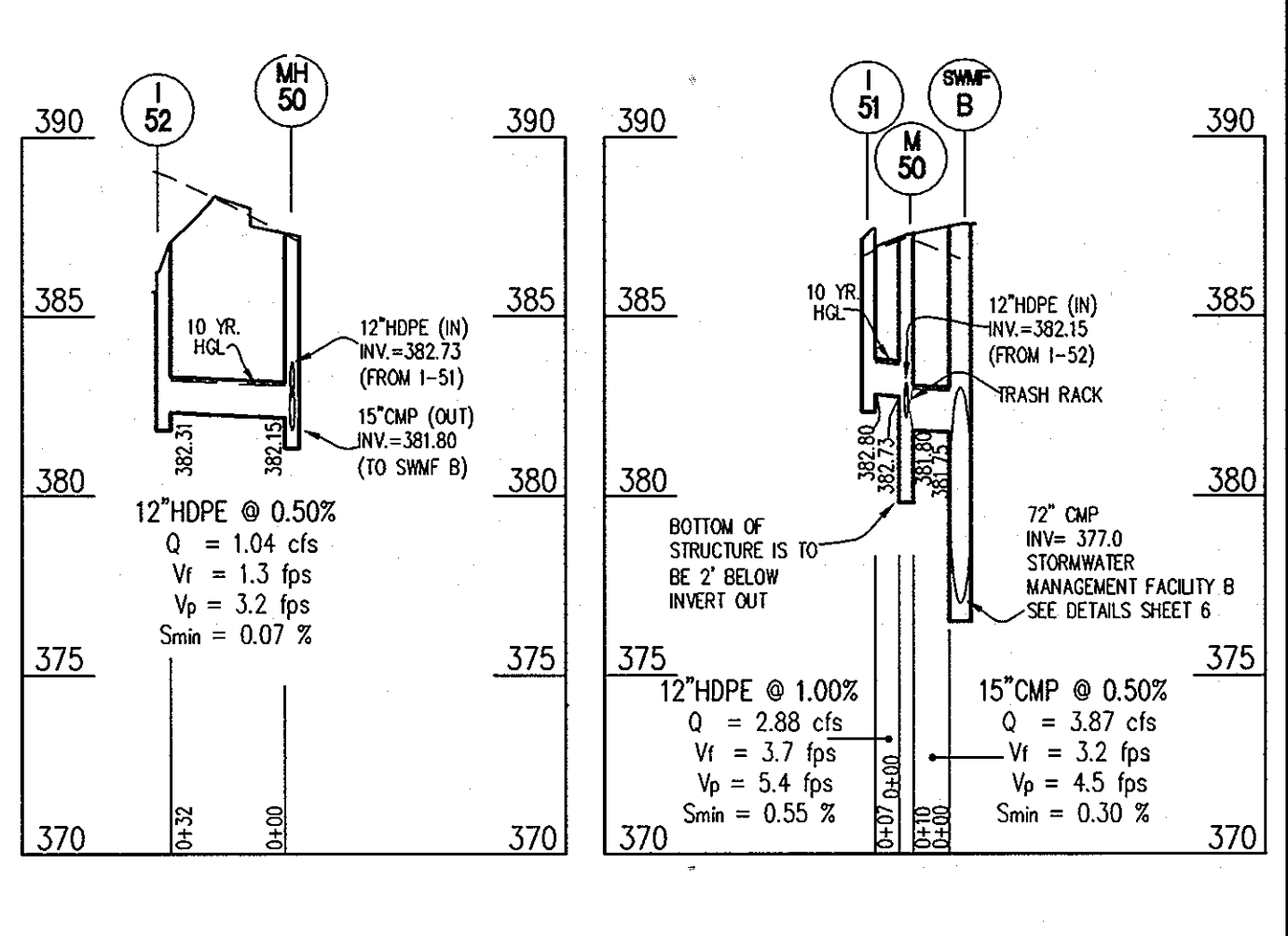
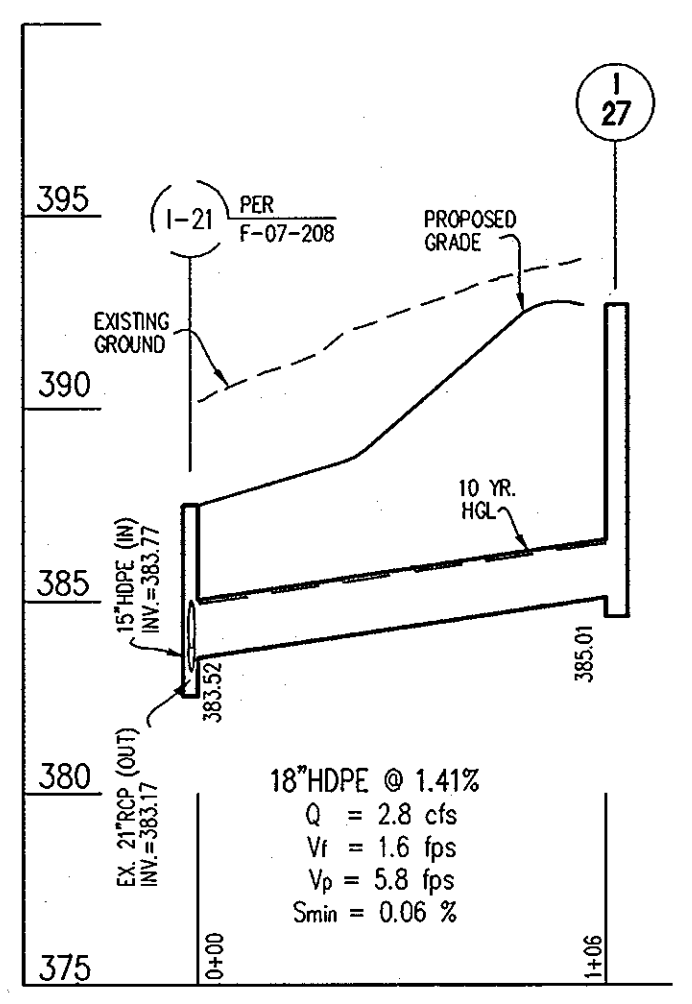
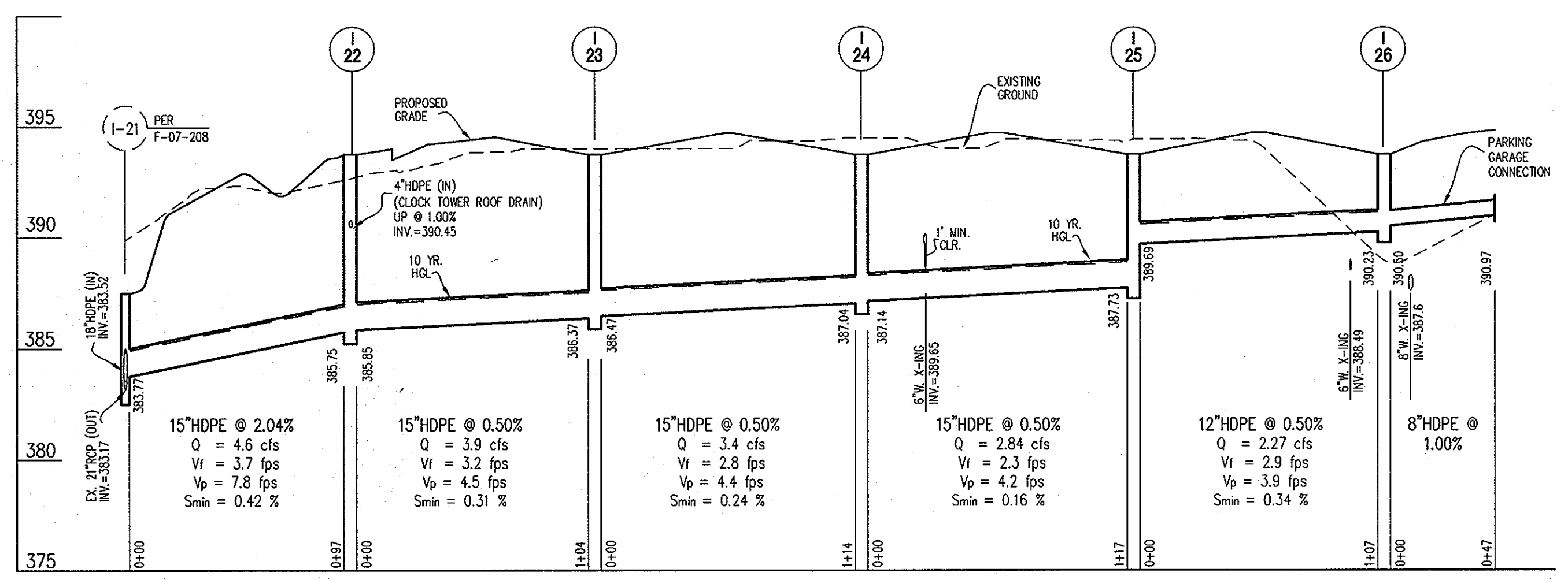
PREPARED FOR:  
 OWNER/DEVELOPER/LAND LEASER:  
 SORANCE FRICTION, LLC  
 C/O ANTIWREN AUTOMOTIVE GROUP  
 6440 BALTIMORE NATIONAL PIKE  
 COLUMBIAVILLE, MD 21128  
 CONTACT: STANFORD HESS

LAND LEASER:  
 WEGMANS FOOD MARKETS, INC.  
 100 WEGMANS MARKET STREET  
 ROCHESTER, NY 14624  
 CONTACT: STEPHEN LEATY  
 585-464-4600 EXT. 6833

**(REVISED) STORMWATER MANAGEMENT NOTES & DETAILS / SWM PROFILES**

**WEGMANS FOOD MARKETS**  
 COLUMBIA SIELING INDUSTRIAL CENTER  
 PARCEL 'D-2' (redevelopment of Parcel D-1)  
 TAX MAP PARCEL 356  
 SECTION 1, AREA I; PLAT Nos. 17484, 20012 & 21178  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	07005
DATE	TAX MAP - GRID	SHEET
JUNE/2010	TM 36 - 24	6 OF 21



STRUCTURE SCHEDULE									
NO.	TYPE	WIDTH (INSIDE)	TOP ELEVATION		INVERT ELEVATION		STANDARD DETAIL	LOCATIONS & REMARKS	
			UPPER	LOWER	UPPER	LOWER			
HW-1	A' HEADWALL	48" PIPE	382.00	---	376.00	---	D-5.11		
EW-2	C' ENDWALL	12" PIPE	392.00	---	390.00	---	D-5.21		
I-1	A-5	2'-6"	391.83	---	383.33	382.48	D-4.01	See Sheet 6, A-5 w/ openings on both sides and on other sections	
M-2	5' MANHOLE	5'-0"	391.00	---	390.17	389.17	G-5.13		
M-3	5' MANHOLE	5'-0"	394.00	---	385.32	386.66	G-5.13		
M-4	STORMCEPTOR	---	396.57	---	390.44	385.63	SEE DETAIL (sheet 6)		
I-5	WR	3'-6"	386.80	---	387.27	386.67	D-4.35		
I-6	WR	3'-6"	399.55	---	395.33	387.96	D-4.35		
I-8	WR	3'-6"	399.58	---	388.99	388.89	D-4.35		
I-9	WR	3'-6"	399.56	---	394.33	389.35	D-4.35		
I-10	SINGLE S COMBO	2'-7"	399.63	---	395.77	395.10	D-4.32		
I-22	A-5	4'-0"	393.75	---	390.45	385.75	D-4.02		
I-23	DOUBLE S COMBO	3'-6"	394.23	---	386.47	386.37	D-4.32 & SD-4.34		
I-24	DOUBLE S COMBO	3'-6"	394.23	---	387.14	387.04	D-4.32 & SD-4.34		
I-25	DOUBLE S COMBO	3'-6"	394.23	---	389.69	387.79	D-4.32 & SD-4.34		
I-26	DOUBLE S COMBO	3'-6"	394.23	---	390.50	390.23	D-4.32 & SD-4.34		
I-27	A-5	4'-0"	392.70	---	terminal	385.01	D-4.02		
M-31	4' MANHOLE	4'-0"	390.50	---	386.06	385.31	G-5.12		
I-32	A-5	4'-0"	392.01	391.87	386.90	386.40	D-4.02		
I-33	A-5	4'-0"	394.68	394.57	392.50	387.87	D-4.02		
I-34	A-10	2'-6"	390.53	390.36	386.08	385.98	D-4.04		
I-35	A-10	2'-6"	391.61	391.50	387.90	387.34	D-4.04		
I-39	DOUBLE S INLET	2'-7"	394.95	---	391.42	390.15	D-4.23		
I-40	DOUBLE S INLET	2'-7"	395.10	---	392.08	390.81	D-4.23		
M-41	4' MANHOLE	4'-0"	396.02	---	392.48	391.96	G-5.12		
I-42	YARD INLET	2'-7"	397.00	---	terminal	392.57	D-4.14		
I-45	A-10	2'-6"	391.60	391.26	terminal	388.24	D-4.02		
M-50	4' MANHOLE	4'-0"	387.28	---	382.73	381.85	G-5.12		
I-51	A-10	2'-6"	387.52	387.30	terminal	382.80	D-4.04		
I-52	A-10	2'-6"	386.49	385.80	terminal	382.31	D-4.04		

NOTES:  
 1. ALL STRUCTURES TO BE PRECAST.  
 2. THE STRUCTURE SCHEDULE IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN VALUES SHOWN ON THE SCHEDULE AND THOSE SHOWN ON THE PLAN & PROFILES, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR CLARIFICATION PRIOR TO PRECASTING.

**ALL PROFILES**  
 SCALE: 1" = 5' VERT.  
 1" = 50' HORIZ.

PIPE SCHEDULE (Storm Drain & SWM)		
SIZE & TYPE	QUANTITY (LF)	REMARKS
4" HDPE	182	Front Roof Drain (see sheet 2)
6" PVC (PERFORATED)	100	SWM (see sheet 6)
6" PVC (SOLID)	16	SWM (see sheet 6)
8" HDPE	108	Storm Drain
10" HDPE	280	Rear Roof Drain (see sheet 2)
12" HDPE	489	Storm Drain (449') and SWM (40')
15" HDPE	524	Storm Drain
15" RCP (ASTM C-361)	16	SWM (see sheet 6)
15" CMP	10	Storm Drain
18" HDPE	522	Storm Drain
24" HDPE	663	Storm Drain
30" HDPE	117	Storm Drain
30" CMP	16	Storm Drain
72" CMP	1068	SWM (see sheet 6)
48" RCP (ASTM C-361)	35	SWM (see sheet 6)

**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12973, EXPIRATION DATE: MAY 26, 2012.

**APPROVED**  
 PLANNING BOARD OF HOWARD COUNTY

DATE: January 31, 2008, April 24, 2008 and April 7, 2011

**APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEM**  
 HOWARD COUNTY HEALTH DEPARTMENT

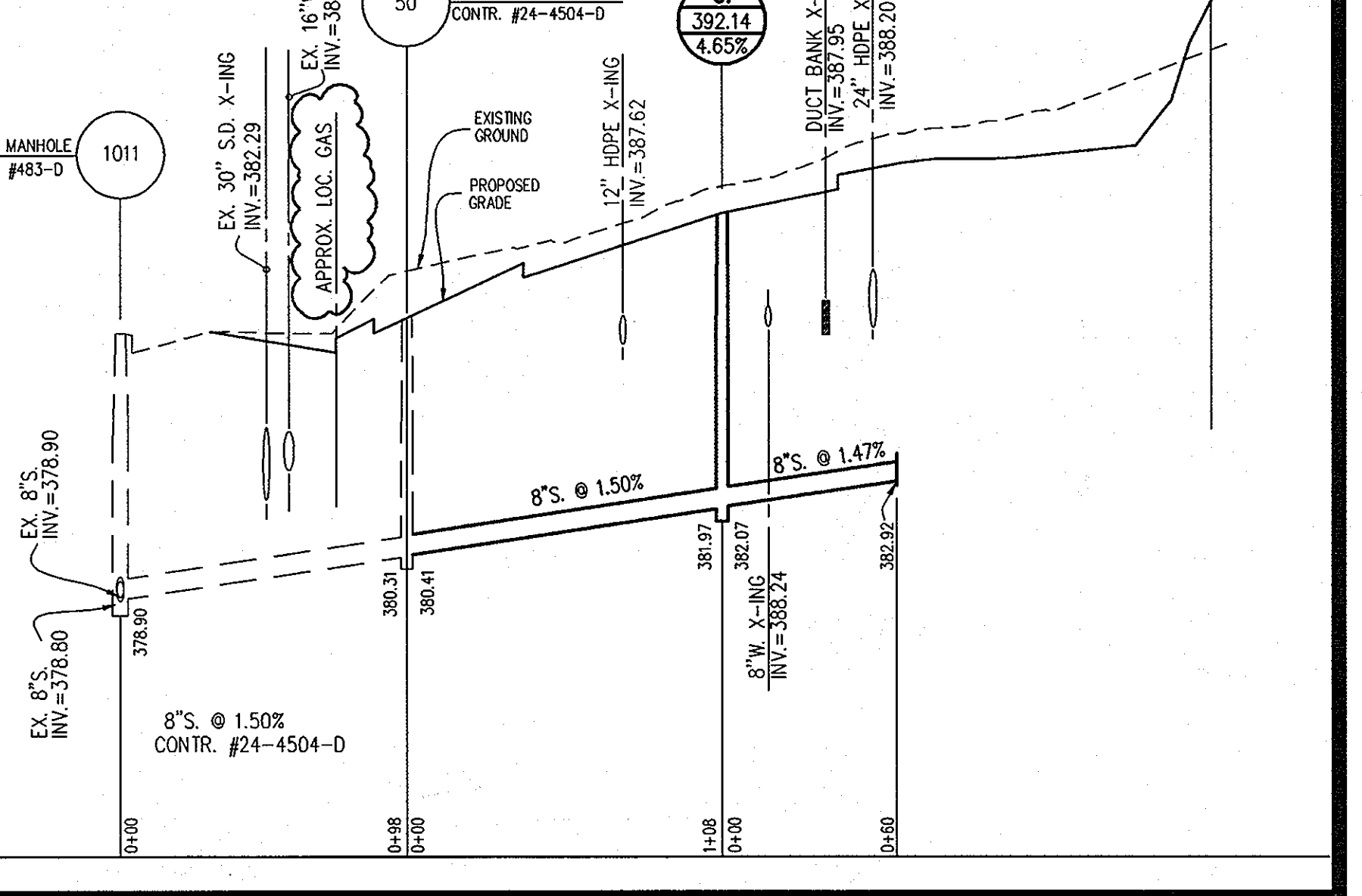
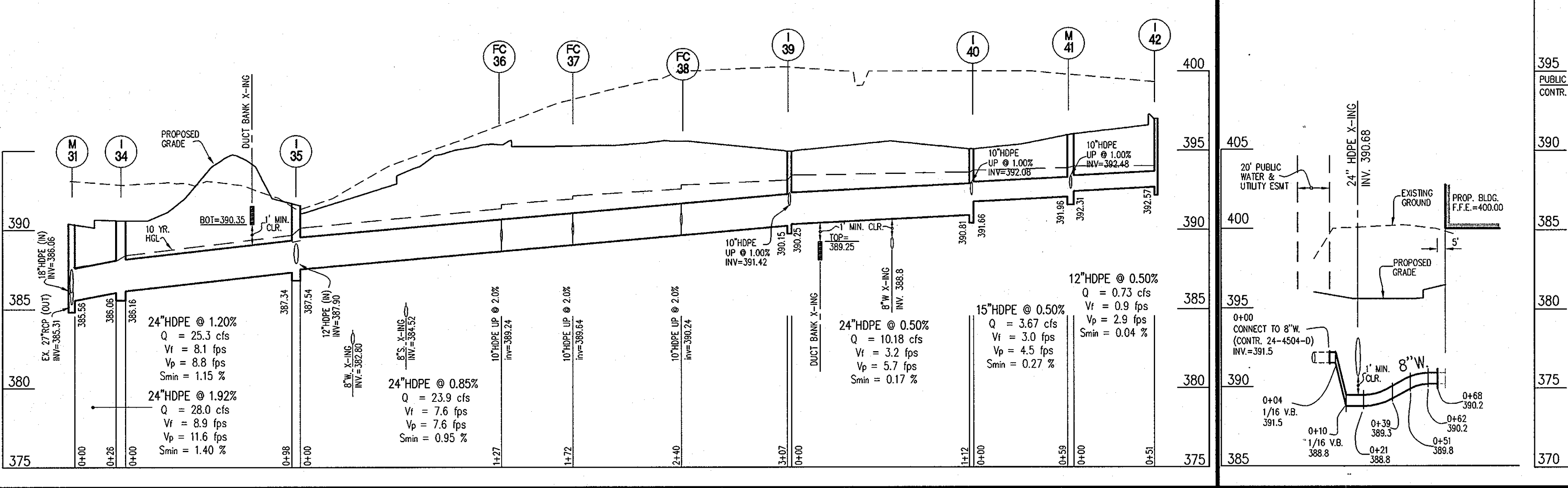
Health Officer: \_\_\_\_\_ Date: \_\_\_\_\_

**APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING**

Director: *Dennis E. Smith* Date: 3/21/11

Chief, Division of Land Development: *Karl Seabrook* Date: 3/21/11

Chief, Development Engineering Division: *Chris Williams* Date: 3/14/11



**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT: 410-850-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
03-1-2011	REVISE SD, WIC & SEWER PROFILE DUE TO NEW BLDG & GARAGE AND NEW GRADING		
06-11-2010	Update Storm Drain Profiles (to 1-21 and HW-1) & Structure Schedules for changes associated w/ shifting parking facilities for access to S.R.P.		

**PREPARED FOR:**  
 OWNER/DEVELOPER/LAND LEASER:  
 SCIENCE FRICTION, LLC  
 C/O ANTIKIPEN AUTOMOTIVE GROUP  
 6440 BALTIMORE NATIONAL PIKE  
 CATONSVILLE, MD 21228

**LAND LEASER:**  
 WEGMANS FOOD MARKETS, INC.  
 100 WEGMANS MARKET STREET  
 ROOSTER, NY 14624

CONTACT: STEPHEN LEATY  
 585-464-4600 EXT. 6833

**(REVISED) STORM DRAIN / UTILITY PROFILES**  
**WEGMANS FOOD MARKETS**  
 COLUMBIA SIBLING INDUSTRIAL CENTER  
 PARCEL 'D-2' (redevelopment of Parcel D-1)  
 TAX MAP PARCEL 356  
 SECTION 1, AREA I; PLAT Nos. 17484, 20012 & 21178  
 6TH ELECTION DISTRICT  
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SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	NT	07005
DATE	TAX MAP - GRID	SHEET
JUNE/2010	TM 36 - 24	7 OF 21

**LEGEND**

---	600	EXISTING CONTOUR
---	600	PROPOSED CONTOUR
■		FOOTPRINT OF PROPOSED BUILDING AND PAVING
---	SSF	SILT FENCE
---	SF	SUPER SILT FENCE

**DEMOLITION NOTES**

1. APPLY FOR A DEMOLITION/GRADING PERMIT. CONTACT THE FIRE DEPARTMENT REGARDING THE POSSIBLE USE OF THE EXISTING BUILDING FOR TRAINING EXERCISES.
2. INSTALL SUPER SILT FENCE (SSF) AND SILT FENCE (-SF-) AND STABILIZE CONSTRUCTION ENTRANCE (SCE). A DOUBLE ROW OF SSF SHALL BE INSTALLED AT THE DISCRETION OF THE SOI.
3. SHUT OFF ALL POWER AND UTILITIES TO THE SITE. FOR WATER, CONTACT DPW. FOR GAS & ELECTRIC, CONTACT BGE.
4. UNLESS OTHERWISE NOTED, DEMOLISH ALL EXISTING ON-SITE IMPROVEMENTS AND HAUL THE DEBRIS TO A LEGAL DUMP SITE OR RECYCLE FACILITY. COORDINATE THE DEMOLITION WORK WITH THE ROAD IMPROVEMENT WORK TO MCGAW PER F-07-208. EXTEND THE SSF ACROSS THE EX. ENTRANCE ONCE THE PAVEMENT IN THIS AREA IS REMOVED.
5. REMOVE ALL UNDER GROUND PIPES 4" OR LARGER IN DIAMETER. FOR THE EXISTING STORM DRAIN FROM M-X (ON SITE, NORTHEAST OF THE BUILDING) TO M-9 (ON MCGAW RD.) REMOVE M-X AND TEMPORARY BLOCK THE EX. 27" RCP GOING OUT OF M-X. THE 27" RCP WILL BE USE FOR THE REDEVELOPMENT STORM DRAIN SYSTEM. FOR THE EXISTING WATER MAIN, REMOVE THE WATER PIPE TO ONE FULL PIPE LEFT FROM THE EXISTING WATER VALVE.
6. STABILIZED THE CLEARED SITE WITH TEMPORARY SEEDING. LEAVE THE SSF AND SF IN PLACE.

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD S.C.D. DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

NATURAL RESOURCES CONSERVATION SERVICE DATE

**DEVELOPER'S/BUILDER'S CERTIFICATE**

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD."

*Stephen Leaty* 7/28/08  
SIGNATURE OF DEVELOPER/BUILDER DATE

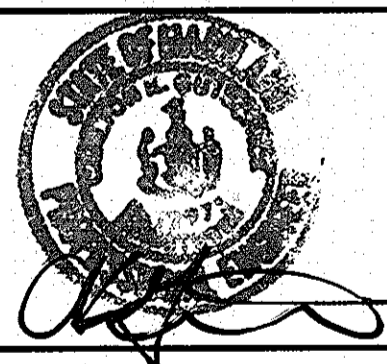
**ENGINEER'S CERTIFICATE**

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

*Chaf* 7-28-08  
DATE

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 26, 2010.



**APPROVED PLANNING BOARD OF HOWARD COUNTY**

DATE January 31, 2008 and April 24, 2008 & April 7, 2011

APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEM  
HOWARD COUNTY HEALTH DEPARTMENT

*Robert Peter Seiler* 8/25/2008  
County Health Officer

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

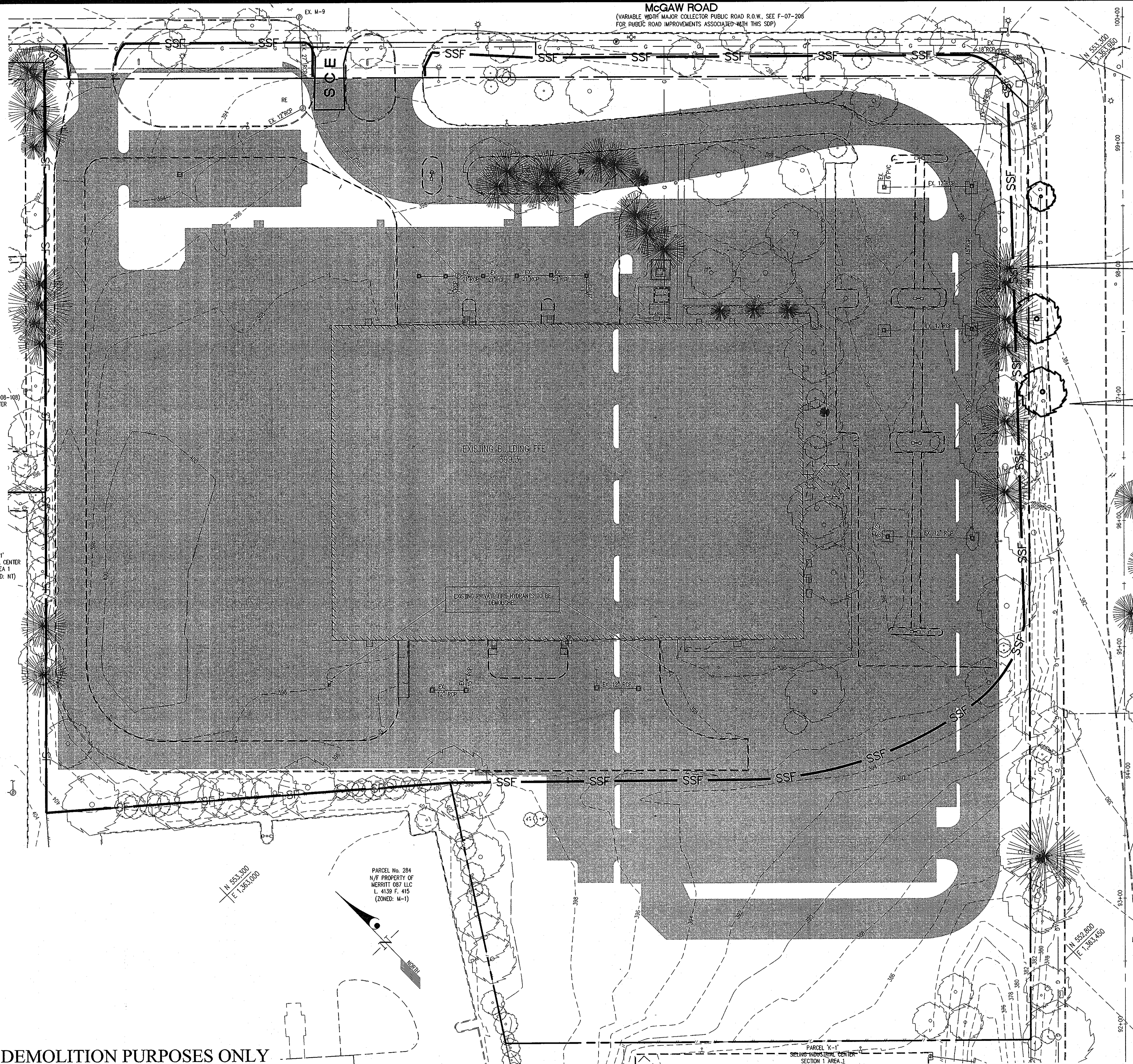
*Frank A. Leigh* 9/13/08  
Director  
*Andy Kama* 9/2/08  
Chief, Division of Land Development  
*Blaine* 8/20/08  
Chief, Development Engineering Division

**GLWGUTSCHICK LITTLE & WEBER, P.A.**

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BAL: 410-889-1820 DC/VA: 301-889-2524 FAX: 301-421-4188

DES. MBT DRN. CHK.

THIS PLAN IS FOR DEMOLITION PURPOSES ONLY



ALL EXISTING ON-SITE TREES TO BE REMOVED.

DO NOT DISTURB EXISTING HIGHLIGHTED STREET TREES ALONG SNOWDEN RIVER PARKWAY. (NOTE: SELECTIVELY CLEAR ALL INVASIVE SPECIES CONTACT LANDSCAPE ARCHITECT FOR IDENTIFICATION AND MARKING)

SNOWDEN RIVER PARKWAY  
(VARIABLE WIDTH INTERMEDIATE ARTERIAL PUBLIC ROAD R.O.W. SEE F-07-208 FOR PUBLIC ROAD IMPROVEMENTS ASSOCIATED WITH THIS SDP)

PARCEL No. 284  
N/F PROPERTY OF  
MERRITT 087 LLC  
L: 4139 F. 415  
(ZONED: M-1)

PARCEL "C-2"  
(RESUB. OF PARCEL "C-1", F-08-108)  
SIELING INDUSTRIAL CENTER  
P.B. 24 P.M. 66  
ZONED: NT

PARCEL "B-1"  
SIELING INDUSTRIAL CENTER  
SECTION 1 AREA 1  
P.N. 5172 (ZONED: NT)

PREPARED FOR:  
OWNER/DEVELOPER AND LEASER:  
SCIENCE FICTION, LLC  
C/O ANTIWERPEN AUTOMOTIVE GROUP  
6440 BALTIMORE NATIONAL PIKE  
CATONSVILLE, MD 21228  
CONTACT: STEPHEN LEATY  
585-464-4600 EXT. 6833

DEMOLITION PLAN  
**WEGMANS FOOD MARKETS**  
COLUMBIA SIELING INDUSTRIAL CENTER  
PARCEL "D-2" (redevelopment of Parcel D-1)  
TAX MAP PARCEL 356  
SECTION 1, AREA 1; PLAT Nos. 17484 & 20012 & 21178  
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=40'	NT	07005
DATE	TAX MAP - GRID	SHEET
July/2008	TM 36 - 24	8 OF 21

DATE	REVISION	BY	APP'R.



- SEQUENCE OF CONSTRUCTION**
- APPLY FOR A GRADING PERMIT AND SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE SEDIMENT CONTROL INSPECTOR (SCI). THE PERMIT IS ISSUED AT THE PRE-CON MEETING.
  - INSTALL SUPER SILT FENCE (SSF), SILT FENCE (SF) AND STABILIZE CONSTRUCTION ENTRANCE (SCE). A DOUBLE ROW OF SSF SHALL BE INSTALLED AT THE DIRECTION OF THE SCI.
  - UPON RECEIVING PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR, PERFORM SITE DEMOLITION WORK PER THE "DEMOLITION PLAN" AND COORDINATE THIS WITH THE ROAD IMPROVEMENT WORK TO MCGAW.
  - INSTALL BASIN B, SC-6, ES-5, EARTH DIKE 1 AND TEMPORARY SWALE 2 (10 DAYS).
  - UPON RECEIVING PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR, GRADE SITE TO AN APPROPRIATE SUBGRADE (90 DAYS).
  - INITIATE UTILITY AND BUILDING CONSTRUCTION (STORE & PARKING GARAGE). PROVIDE INLET PROTECTION AT EACH INLET AS SOON AS THEY ARE INSTALLED. DO NOT CONNECT PROPOSED STORM DRAIN TO EXISTING STORM DRAIN IN MCGAW ROAD UNTIL ALL UPSTREAM INLETS HAVE INLET PROTECTION. (UTILITY WORK, 1 WEEK; BUILDING CONSTRUCTION, 10-12 MONTHS).
  - INSTALL TRAP D AND EARTH DIKE 3 PRIOR TO DISTURBING THE AREA TO THE SOUTH OF BASIN B AND EARTH DIKE 1.
  - INSTALL CURB & GUTTER AND BASE PAVING (3-4 DAYS).
  - STABILIZE ALL "GREEN" AREA WITH LANDSCAPING AND PERMANENT SEEDING OR SOO WHERE SPECIFIED (3-4 DAYS).
  - ONCE THE AREA DRAINING TO THE BASIN HAS BEEN PERMANENTLY STABILIZED, A 5 DAY CLEAR WEATHER (NO PRECIPITATION) FORECAST FROM THE SWS, OBTAIN PERMISSION FROM THE SCI TO REMOVE BASIN B, SC-5, AND ES-6 AND INSTALL THE UNDERGROUND STORMWATER MANAGEMENT FACILITY B, SC-2B, AND ER-1. CONNECT FACILITY B TO THE STORM DRAIN AT H-1 (5 DAYS).
  - NOTE: ALL MATERIALS NECESSARY FOR SIM CONSTRUCTION EACH DAY MUST BE ON SITE PRIOR TO START OF CONSTRUCTION THAT DAY.
  - ONCE STORMWATER MANAGEMENT FACILITY B HAS BEEN INSTALLED, BRING THE REMAINDER OF THE SITE UP TO SUBGRADE. INSTALL CURB & GUTTER AND BASE PAVEMENT, & ALL UTILITIES ABOVE STORMWATER MANAGEMENT FACILITY B (10 DAYS).
  - OBTAIN PERMISSION FROM THE SCI TO REMOVE ALL REMAINING SEDIMENT CONTROL MEASURES.
  - INSTALL FINISH PAVING COURSE AND STRIPE THE PARKING SPACES (2 DAYS).
  - COMPLETE THE STORE & GARAGE, OBTAIN A USE & OCCUPANCY PERMIT, THEN HAVE A GRAND OPENING.

- NOTES:**
- FOR CLARITY, THE EXISTING IMPROVEMENTS THAT ARE DEMOLISHED (SEE SHEET B) ARE NOT SHOWN.
  - TEMPORARY SIM IS PROVIDED BY THE EXISTING REGIONAL FACILITIES IN GATEWAY COMMERCE CENTER AND COLUMBIA CORPORATE PARK.
  - ALL FENCE THAT IS TEMPORARILY MOVED FOR UTILITY INSTALLATION OR GRADING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL DISTURBED FENCE SHALL BE RESTORED DAILY.

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*John P. Robertson* 3/9/11  
DATE

**DEVELOPER'S/BUILDER'S CERTIFICATE**

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD."

*Stephen Leaty* 3/2/11  
SIGNATURE OF DEVELOPER/BUILDER DATE

**ENGINEER'S CERTIFICATE**

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

*CK* 3-2-11  
DATE

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12275, EXPIRATION DATE: MAY 26, 2012.

3-2-11 *CK*

APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
DATE January 31, 2008, April 24, 2008 and April 7, 2011

APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEM  
HOWARD COUNTY HEALTH DEPARTMENT

County Health Officer Date

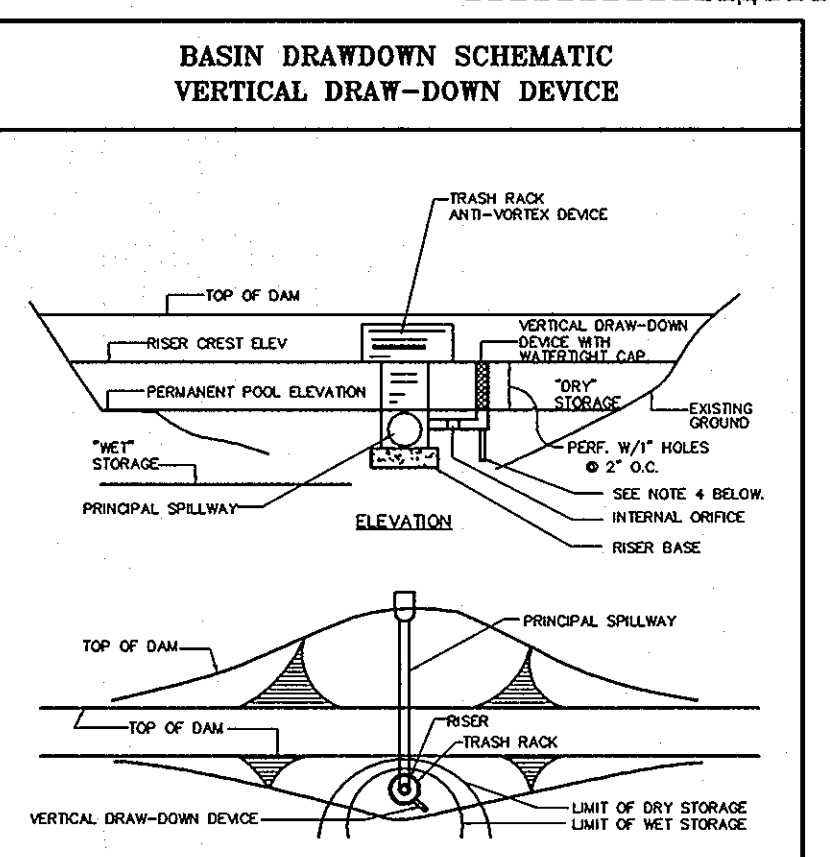
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*Thomas R. Suttle* 3/2/11  
Director Date

*Veit S. Suttle* 3/2/11  
Chief, Division of Land Development Date

*John P. Robertson* 3/14/11  
Chief, Development Engineering Division Date

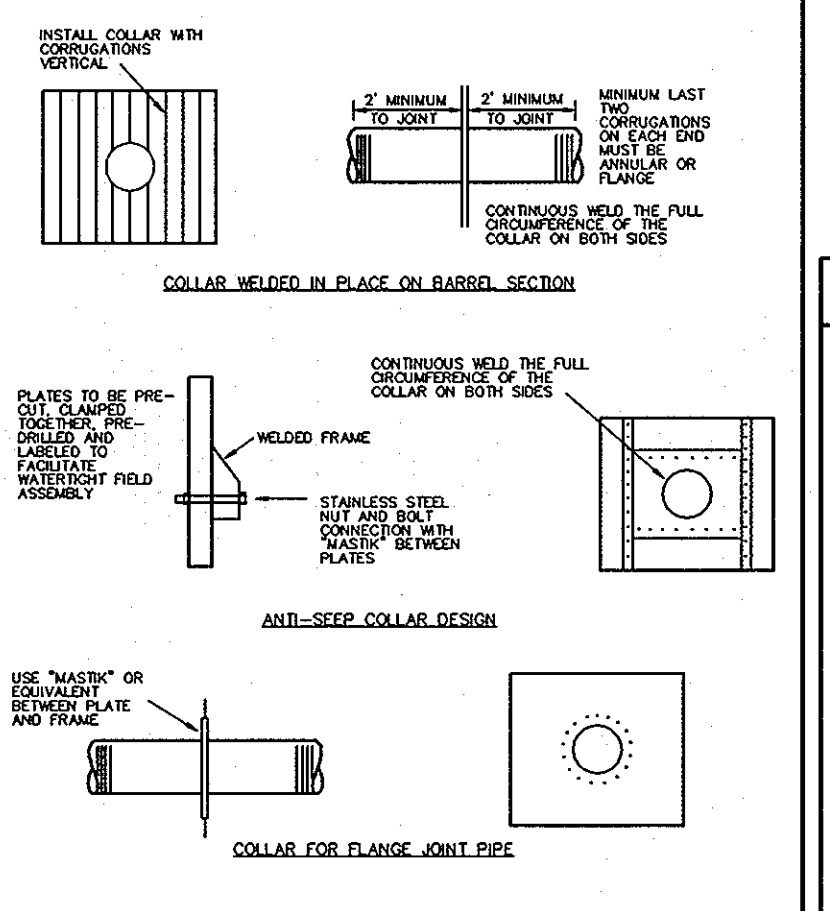
**GLWGutschick Little & Weber, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BALT. 410-880-1020 DC/VA 301-889-2524 FAX: 301-421-4186



- CONSTRUCTION SPECIFICATIONS**
- Performances in the draw-down device may not extend into the wet storage.
  - The total area of the perforations must be greater than 4 times the area of the internal orifice.
  - The perforated portion of the draw-down device shall be wrapped with 1/2" hardware cloth and geotextile fabric. The geotextile fabric shall meet the specifications for Geotextile Class C.
  - Provide support of draw-down device to prevent sagging and flotation. An acceptable alternative means is to install both sides of draw-down device with 1" steel angle, or 1" by 4" square or 2" round wooden posts set 1' minimum into the ground then driving them to the device by wrapping with 12 gauge minimum wire.

U.S. DEPARTMENT OF AGRICULTURE PAGE 10-10-30 MARYLAND DEPARTMENT OF ENVIRONMENT SOIL CONSERVATION SERVICES WATER MANAGEMENT ADMINISTRATION

**DETAIL 14 - TYPICAL ANTI-SEEP COLLARS**



U.S. DEPARTMENT OF AGRICULTURE PAGE 10-10-24 MARYLAND DEPARTMENT OF ENVIRONMENT SOIL CONSERVATION SERVICES WATER MANAGEMENT ADMINISTRATION

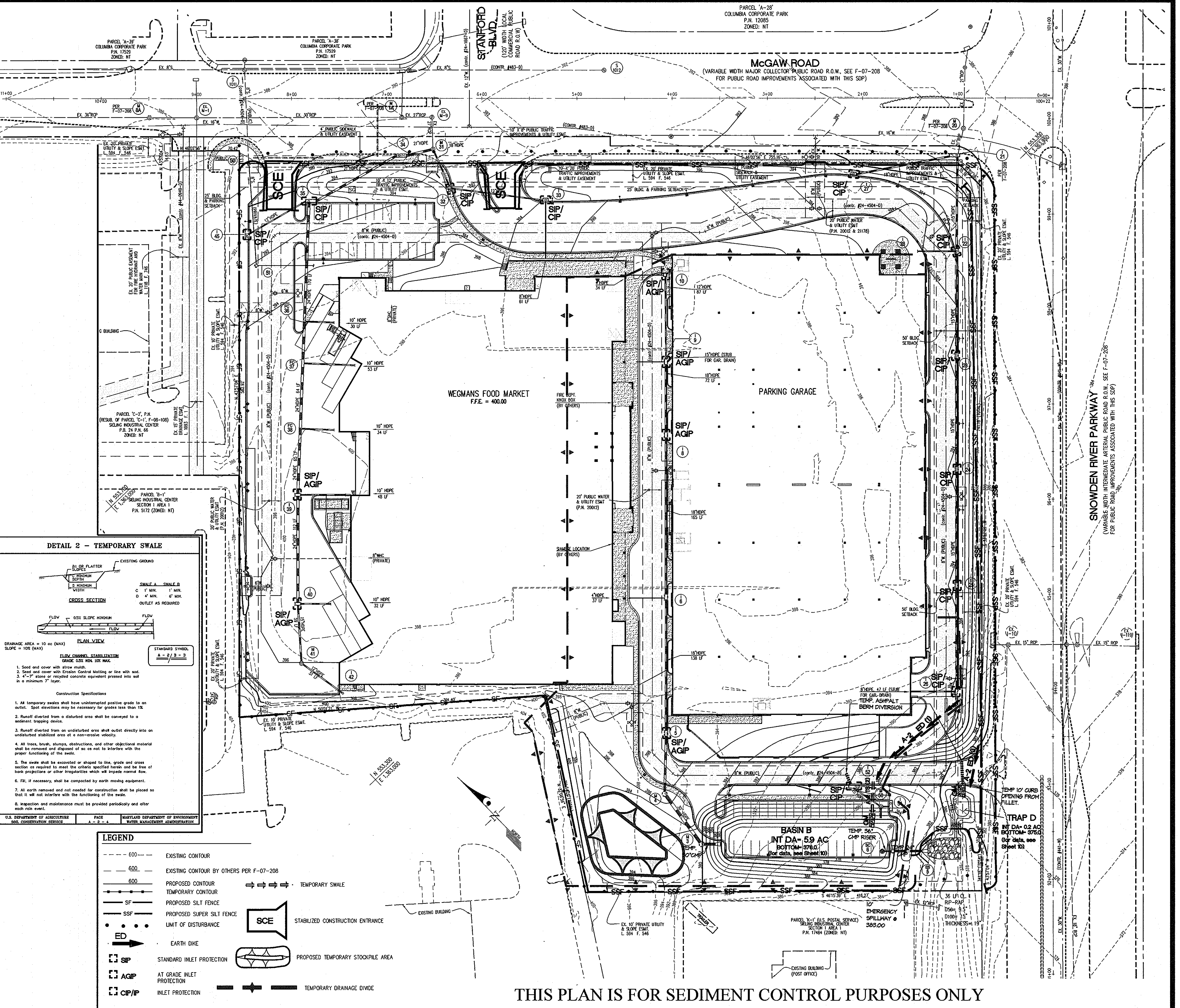
**LEGEND**

- 600 --- EXISTING CONTOUR
- 600 --- EXISTING CONTOUR BY OTHERS PER F-07-208
- 600 --- PROPOSED CONTOUR
- SF --- PROPOSED SILT FENCE
- SSF --- PROPOSED SUPER SILT FENCE
- SCE --- STABILIZED CONSTRUCTION ENTRANCE
- ED --- EARTH DIKE
- SIP --- STANDARD INLET PROTECTION
- AGIP --- AT GRADE INLET PROTECTION
- CIP/P --- INLET PROTECTION
- TEMPORARY SWALE
- TEMPORARY CONTOUR
- TEMPORARY SILT FENCE
- LIMIT OF DISTURBANCE
- PROPOSED TEMPORARY STOCKPILE AREA
- TEMPORARY DRAINAGE DIVIDE

U.S. DEPARTMENT OF AGRICULTURE PAGE 10-10-27 MARYLAND DEPARTMENT OF ENVIRONMENT SOIL CONSERVATION SERVICES WATER MANAGEMENT ADMINISTRATION

NOTE: UNDER NO CIRCUMSTANCES WILL THE Dimple (UNIVERSAL) CONNECTOR BAND BE ACCEPTABLE FOR USE IN ANY SEDIMENT CONTROL OR STORMWATER MANAGEMENT STRUCTURE.

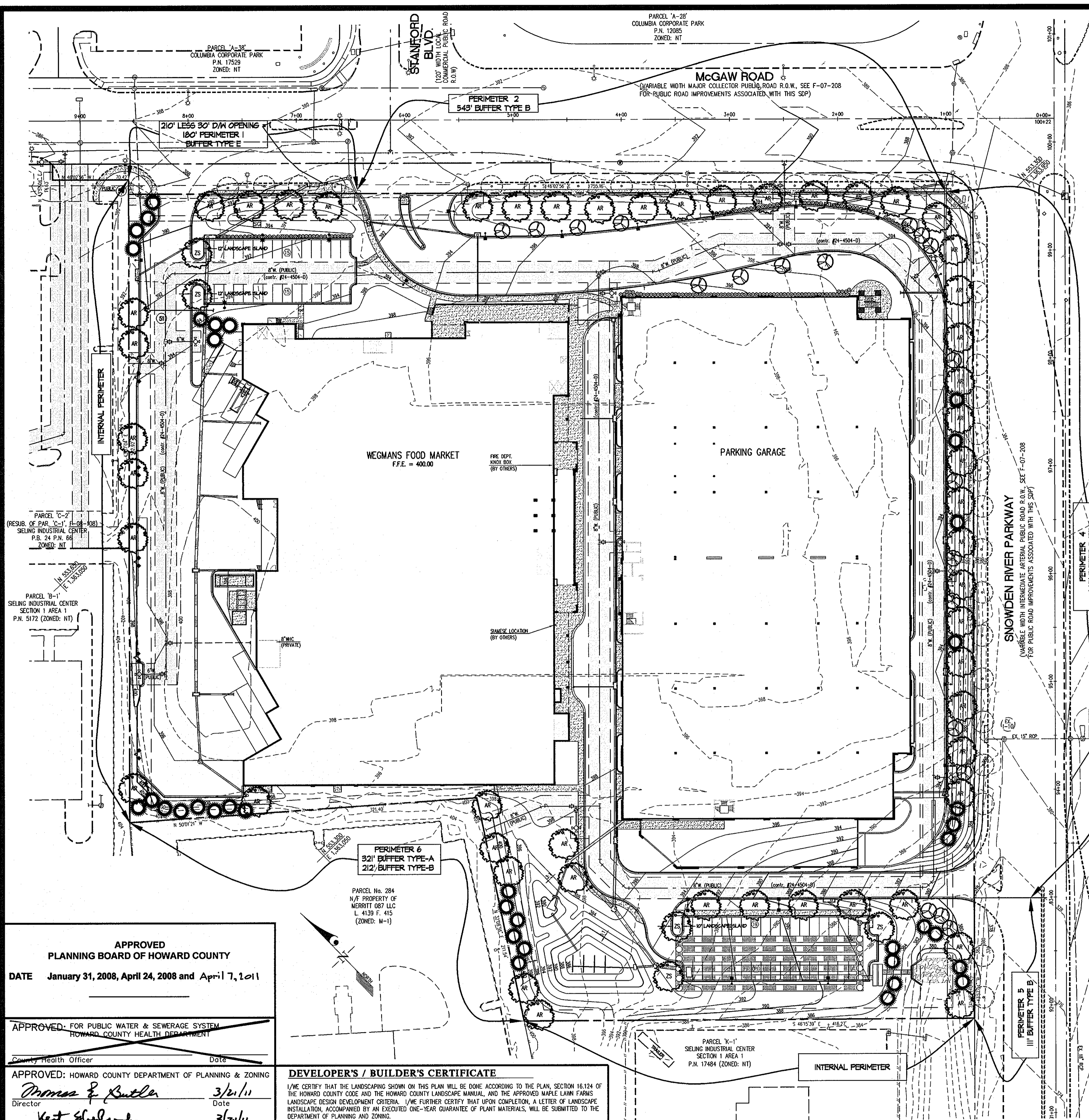
3-3-2011 REV. BLDG. & PARKING GAR. REV. GRADING & STORM DRAIN IN FRONT OF BLDG. AND LOADING DOCK AREA; REV. INLET PROTECTION  
06-11-2010 REV. GRADING & SED. CONTROL DUE TO NEW PARKING GARAGE, NEW PARKING LOT SOUTH OF GAR. & ACCESS DRIVE TO S.R.P.



THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY

PREPARED FOR: OWNER/DEVELOPER/LAND LEASER: SCIENCE FICTION, LLC C/O ANTHEMPER AUTOMOTIVE GROUP 6140 BALTIMORE NATIONAL PIKE CATONSVILLE, MD 21228 CONTACT: STANFORD HESS	LAND LEASEE: WEGMANS FOOD MARKETS, INC. 100 WEGMANS MARKET STREET ROCHESTER, NY 14624 CONTACT: STEPHEN LEATY 585-464-4600 EXT. 6833	(REVISED) SEDIMENT CONTROL PLAN <b>WEGMANS FOOD MARKETS</b> COLUMBIA SIELING INDUSTRIAL CENTER PARCEL 'D'-2 (redevelopment of Parcel D-1) TAX MAP PARCEL 356 SECTION 1, AREA 1; PLAT Nos. 17484, 20012 & 21178	SCALE 1" = 50'	ZONING NT	G. L. W. FILE No. 07005
DATE 06-11-2010	REVISION	DATE JUNE/2010	TAX MAP - GRID TM 36 - 24	SHEET 9 OF 21	





**PLANT LEGEND:**

- PROPOSED SHADE TREE (NEW)
- PROPOSED EVERGREEN TREE (NEW)
- PROPOSED ORNAMENTAL TREE (NEW)
- PROPOSED SHRUB (NEW)
- STREET TREE PER F-07-208

**SCHEDULE A - PERIMETER LANDSCAPE EDGE**

PERIMETER LOCATION	McGAW ROAD, PERIMETER ①	McGAW ROAD, PERIMETER ②	McGAW ROAD AND SNOWDEN RIVER, PERIMETER ③	SNOWDEN RIVER, PERIMETER ④	SNOWDEN RIVER, PERIMETER ⑤	MERRITT 087 LLC PERIMETER ⑥	INTERNAL (ALL OTHERS)
USE SITUATION	PARKING ADJACENT TO PUBLIC ROAD	NON-RESIDENTIAL ADJACENT TO PUBLIC ROAD	PARKING ADJACENT TO PUBLIC ROAD	NON-RESIDENTIAL ADJACENT TO PUBLIC ROAD	STORMWATER MANAGEMENT ADJACENT TO PUBLIC ROAD	NON-RESIDENTIAL ADJACENT TO NON-RESIDENTIAL	SWIM ADJACENT TO NON-RESIDENTIAL
LANDSCAPE BUFFER TYPE	E	B	E	B	B	A	B
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	180 LF	543 LF	465 LF	665 LF	111 LF	321 LF	212 LF
CREDIT FOR EXISTING VEGETATION	NONE	NONE	NONE	NONE	NONE	NONE	NONE
CREDIT FOR WALL, FENCE OR BERM	NONE	NONE	NONE	NONE	NONE	NONE	NONE
LENGTH OF PERIMETER TO BE BUFFERED	180 LF	543 LF	465 LF	665 LF (less 24' d/w opening=641')	111 LF	321 LF	211 LF
NUMBER OF PLANTS REQUIRED							
SHADE TREES	5	11	12	13	2	6	5
EVERGREEN TREES	NONE	14	NONE	16	3	NONE	6
SHRUBS	45	NONE	117	NONE	NONE	NONE	6
NUMBER OF PLANTS PROVIDED							
SHADE TREES	4	11	11	15 (2 for 4 evgrm.)	2	2	5
EVERGREEN TREES	4.2 for 1 shade and 2 for 10 shrubs	0	0	7	>3	8 for 4 shade	6
ORNAMENTAL TREES (@ 2:1 substitution)	0	The 14 evergreens are substituted with 11 orn'tl trees & 117 shrubs	3 ornamental for 1 shade tree	6 for 6 evergreen	0	0	0
SHRUBS (10:1 substitution)	35		117	0	0	0	0

SURETY FOR SCHEDULE 'A':  
 46 SHADE TREES @ \$300/TREE = \$ 13,800.00  
 27 EVERGREEN TREES @ \$150/TREE = \$ 4,050.00  
 162 SHRUBS @ \$30/SHRUB = \$ 4,860.00  
 TOTAL SURETY = \$ 22,710.00

THE SCHEDULE-A LANDSCAPE SURETY OF \$22,710.00 IS MORE THAN SUFFICIENT TO COVER THE REVISED SURETY OF \$19,800.00 FOR THE REQUIRED PERIMETER PLANTING ASSOCIATED WITH THE REVISIONS FOR DIRECT ACCESS TO SNOWDEN RIVER PKWY. THE REVISED SURETY OF \$19,800 IS FOR:  
 42 SHADE TREES AT \$300/TREE = \$12,600  
 39 EVERGREEN TREES AT \$150/TREE = \$ 5,850  
 45 SHRUBS AT \$30/SHRUB = \$ 1,350

**SCHEDULE B - PARKING LOT INTERNAL LANDSCAPING**

NUMBER OF PARKING SPACES	68 NEW SURFACE PARKING SPACES
NUMBER OF TREES REQUIRED	4 (1 SHADE TREE PER 20 PARKING SPACES)
NUMBER OF TREES PROVIDED	
SHADE TREES	5
OTHER TREES (2:1 substitution)	

THE SURETY FOR THE REQUIRED PLANTING PER SCHEDULE-B IS: 5 trees x \$300/tree = \$1,500.00

THE SCHEDULE-B SURETY OF \$1,500.00 FOR 5 SHADE TREES IS MORE THAN SUFFICIENT TO COVER THE 4 TREES REQUIRED FOR REVISIONS ASSOCIATED WITH THE ACCESS TO SNOWDEN RIVER PKWY.

**PLANT LIST**

SYMBOL	QUANT.	SIZE	NAME (BOTANICAL/COMMON) OF PLANTS FOR SELECTION BY OWNER/BUYER	COMMENTS
AR	51	3-3.5" CAL.	ACER RUBRUM 'RED SUNSET' / RED SUNSET RED MAPLE	ALL B&B
ZS	5	3-3.5" CAL.	ZELKOVA SERRATA 'VILLAGE GREEN' / VILLAGE GREEN ZELKOVA	ALL B&B
ET	37	8' HT. MIN.	CUPRESSOCYPARIS LEYLANDII / LEYLAND CYPRESS	ALL B&B
OR	20	ALL ORNAMENTAL FLOWERING TREES SHALL BE A MIN. OF 2" CAL. AND 8-10' HT.	CHOICE OF THE FOLLOWING SPECIES: BETULA NIGRA / RIVER BIRCH LAGERSTROEMIA INDICA / CRAPE MYRTLE MALUS ZUMI 'CALOCARPA' / ZUMI CRABAPPLE	ALL B&B
S	152	ALL SHRUBS SHALL BE A MIN. OF 3" HT.	CHOICE OF THE FOLLOWING SPECIES: VIBURNUM RHYTHIDOPHYLLUM / LEATHERLEAF VIBURNUM TAXUS X MEDIA 'DENSIFORMIS' / GENSE YEW BUXUS MICROPHYLLA KOREANA 'GREEN VELVET' / GREEN VELVET BOXWOOD	CONT

(ALL LANDSCAPE PLANTING ABOVE THE MINIMUM IS VOLUNTARY AND NOT MANDATORY)

APPROVED  
**PLANNING BOARD OF HOWARD COUNTY**

DATE **January 31, 2008, April 24, 2008 and April 7, 2011**

APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEM  
 HOWARD COUNTY HEALTH DEPARTMENT  
 County Health Officer \_\_\_\_\_ Date \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director *Thomas F. Butler* 3/21/11  
 Chief, Division of Land Development *Kat Schulze* 3/21/11  
 Chief, Development Engineering Division *John P. ...* 3/24/11

**DEVELOPER'S / BUILDER'S CERTIFICATE**  
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 18.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL AND THE APPROVED MAPLE LAWN FARMS LANDSCAPE DESIGN DEVELOPMENT CRITERIA. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE-YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.  
 NAME (DEVELOPER'S/BUILDER'S) *Stephen Leaty* DATE *3/21/11*

**THIS PLAN IS FOR LANDSCAPE PURPOSES ONLY**

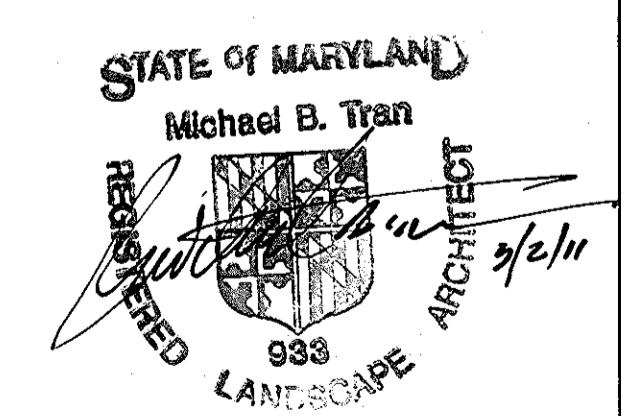
**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT. 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R
03-3-2011	REVISED BUILDING AND PARKING GARAGE AND REVISED LANDSCAPING ACCORDINGLY		
06-11-2010	Revised landscaping for changes associated with the direct access to Snowden River Parkway		

PREPARED FOR:  
 OWNER/DEVELOPER/LAND LEASER:  
 SCIENCE FICTION, LLC  
 C/O ANTIWESEN AUTOMOTIVE GROUP  
 6440 BALTIMORE NATIONAL PIKE  
 CATONSVILLE, MD 21228  
 CONTACT: STEPHEN LEATY  
 585-464-4600 EXT. 6833

(REVISED) LANDSCAPE PLAN  
**WEGMANS FOOD MARKETS**  
 COLUMBIA SIELING INDUSTRIAL CENTER  
 PARCEL 'D-2' (redevelopment of Parcel D-1)  
 TAX MAP PARCEL 356  
 SECTION 1, AREA I; PLAT Nos. 17484, 20012 & 21178  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=50'	NT	07005
DATE	TAX MAP - GRID	SHEET
JUNE/2010	TM 36 - 24	11 OF 21



SPECIFICATIONS: PLANT MATERIALS AND PLANTING METHODS

A. PLANT MATERIALS
C. IF AREAS ARE DESIGNATED AS SHRUB BEDS OR HEDGE TRENCHES, THEY SHALL BE EXCAVATED TO AT LEAST 18" DEPTH MINIMUM. AREAS DESIGNATED FOR GROUND COVERS AND VINES SHALL BE EXCAVATED TO AT LEAST 12" IN DEPTH MINIMUM.
D. DIAMETER AND DEPTH OF TREE PITS SHALL GENERALLY BE AS FOLLOWS:

Table with columns: PLANT SIZE, ROOT BALL, PIT DIA., PIT DEPTH. Rows for various plant sizes (3"-5.5" cal to 5.5"-6" cal).

3. PLANT MEASUREMENTS
ALL PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED IN THE PLANT SCHEDULE AS APPROVED BY THE DESIGN REVIEW COMMITTEE (DRC).
A. CALIPER MEASUREMENTS SHALL BE TAKEN SIX INCHES (6") ABOVE GRADE FOR TREES UNDER FOUR-INCH (4") CALIPER AND TWELVE (12") ABOVE GRADE FOR TREES FOUR INCHES (4") IN CALIPER AND OVER.

Table with columns: CALIPER, HEIGHT, SPREAD, SIZE OF BALL. Rows for caliper sizes from 3"-3.5" to 5.5"-6".

4. PLANT IDENTIFICATION
LEGIBLE LABELS SHALL BE ATTACHED TO ALL SHADE TREES, MINOR TREES, SPECIMEN SHRUBS AND BUNDOLES OR BOXES OF OTHER PLANT MATERIAL CHANGING THE BOTANICAL AND COMMON NAMES, SIZE AND QUANTITY OF EACH.
5. PLANT INSPECTION
THE DESIGN REVIEW COMMITTEE MAY, UPON REQUEST BY THE BUILDER OR DEVELOPER, AT LEAST TEN (10) DAYS PRIOR TO THE INSTALLATION OF ANY PROPOSED PLANT MATERIAL, INSPECT ALL PROPOSED PLANT MATERIAL AT THE SOURCE OF ORIGIN.

6. PLANTING METHODS
ALL PROPOSED PLANT MATERIALS THAT MEET THE SPECIFICATIONS IN SECTION A ARE TO BE PLANTED IN ACCORDANCE WITH THE FOLLOWING METHODS DURING THE PROPER PLANTING SEASONS AS DESCRIBED IN THE FOLLOWING:
1. PLANTING SEASONS
THE PLANTING OF DECIDUOUS TREES, SHRUBS AND VINES SHALL BE FROM MARCH 1ST TO JUNE 15TH AND FROM SEPTEMBER 15TH TO DECEMBER 15TH.

LANDSCAPE NOTES

1. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE & THE HOWARD COUNTY LANDSCAPE MANUAL.
2. CONTRACTOR SHALL NOTIFY ALL UTILITIES AT LEAST (5) FIVE DAYS BEFORE STARTING WORK. ALL GENERAL NOTES, ESPECIALLY THOSE REGARDING UTILITIES, ON SHEET NO.1 SHALL APPLY.
3. FIELD VERIFY UNDERGROUND UTILITY LOCATIONS AND EXISTING CONDITIONS BEFORE STARTING PLANTING WORK. CONTACT CONSTRUCTION MANAGER OR OWNER IF ANY RELOCATIONS ARE REQUIRED.

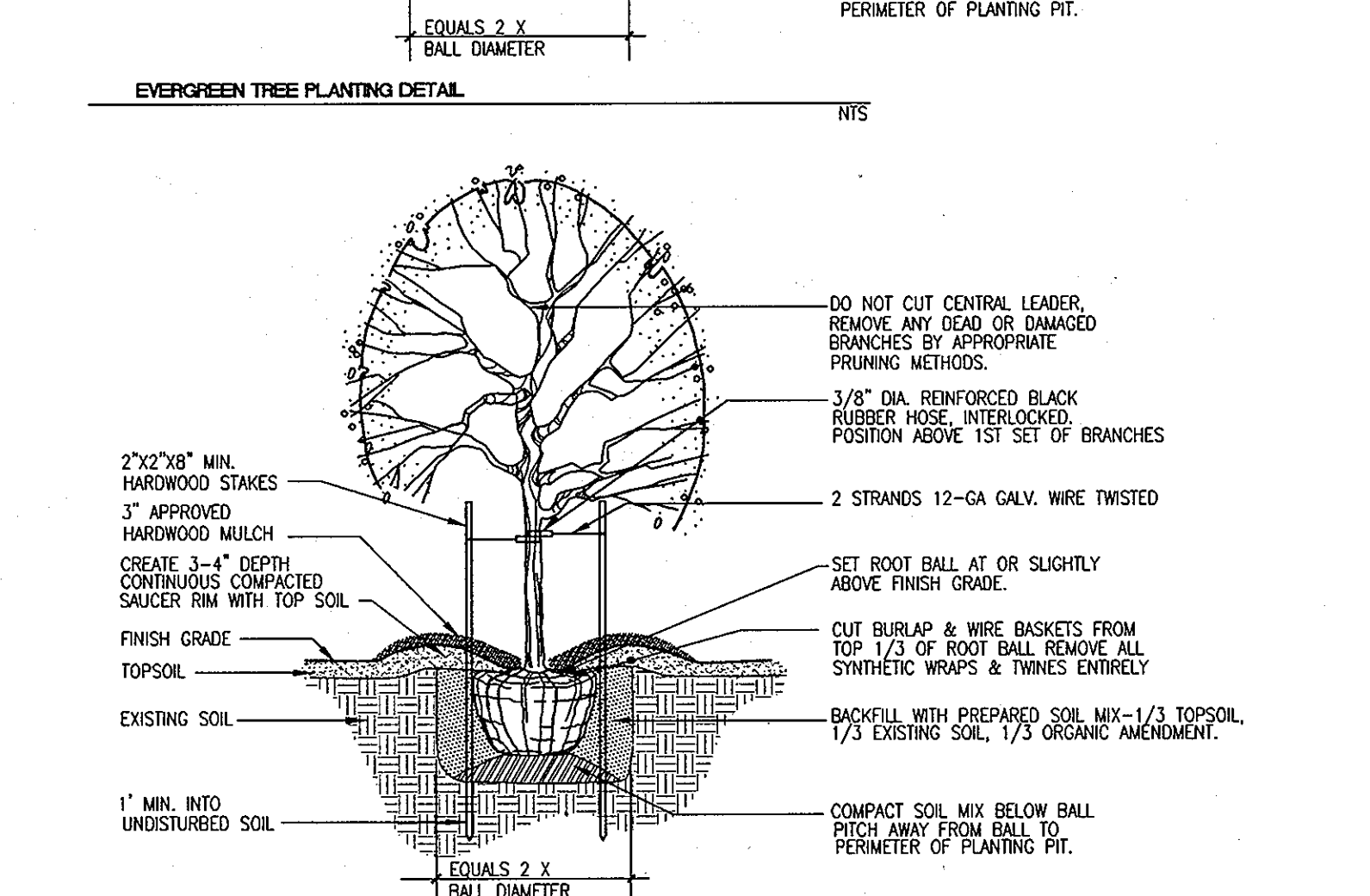
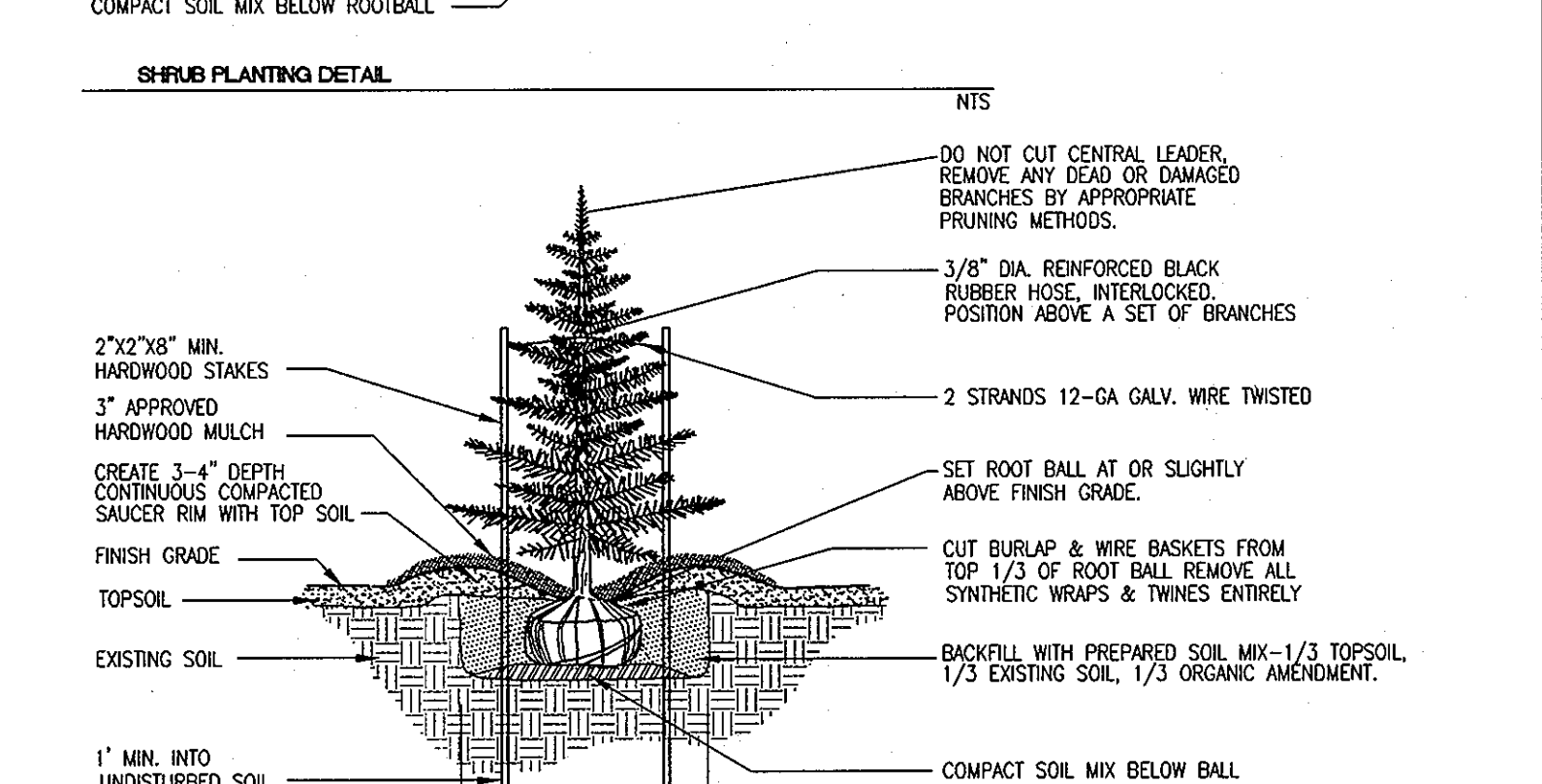
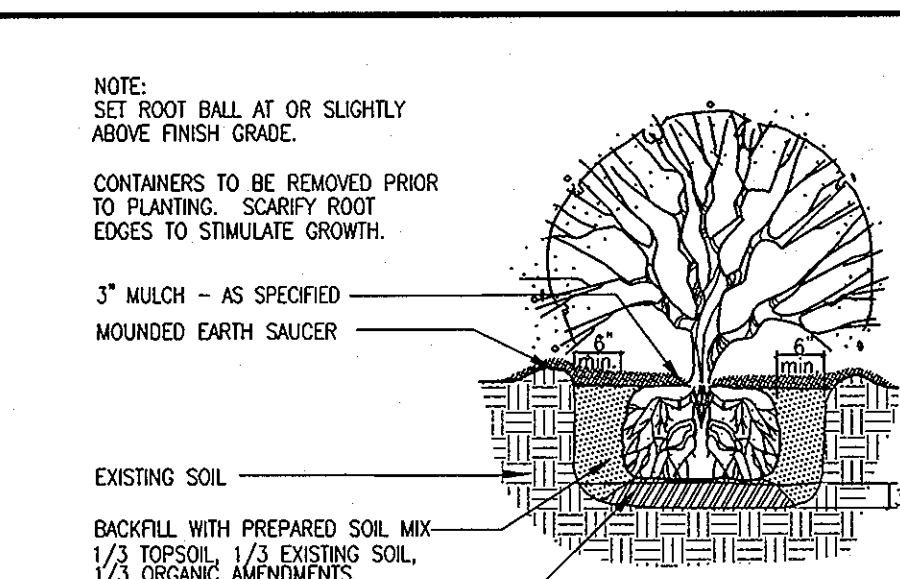


Table with columns: TYPE/SYMBOL, MANUFACTURER, WATTAGE, LAMP, POLE and FIXTURE. Lists lighting fixture specifications for different types.

NOTE: SEE ELECTRICAL DWGS. FOR EXACT LOCATION OF LIGHTING

LED AREA LIGHT - MEDIUM (XAM3) product page for Crossover Lighting, including technical specifications, features, and contact information.

LED AREA LIGHT - MEDIUM (XAM3) product page for Crossover Lighting, including dimensions, mounting options, and a lighting schedule.

APPROVED PLANNING BOARD OF HOWARD COUNTY stamp and signature section with dates and signatures for approval.

DEVELOPER'S / BUILDER'S CERTIFICATE stamp with signature and date for the project.

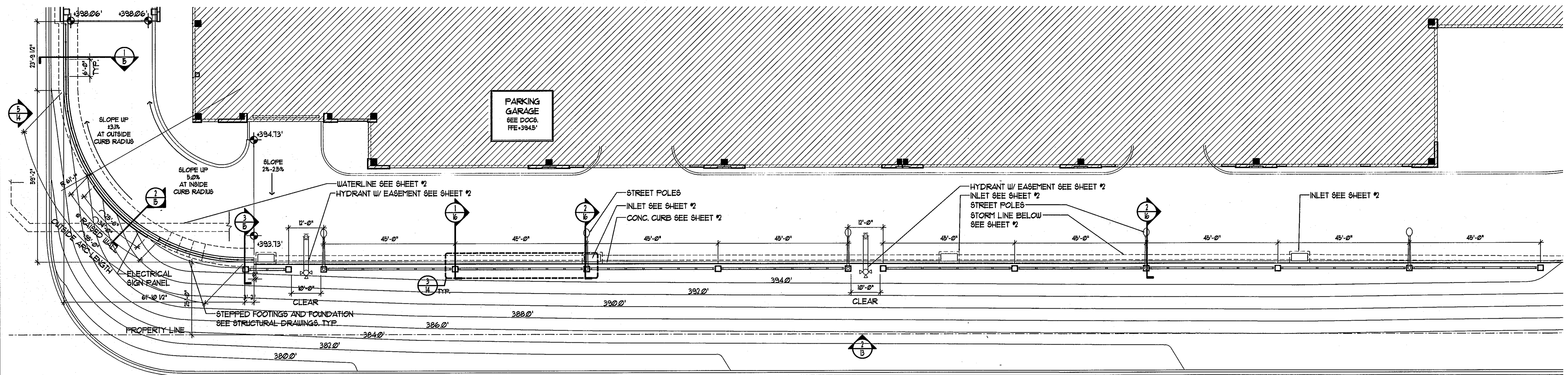
GLWGUTSCHICK LITTLE & WEBER, P.A. logo and contact information for the engineering firm.

PREPARED FOR: WEGMANS FOOD MARKETS, INC. information including owner/developer and land/leasee details.

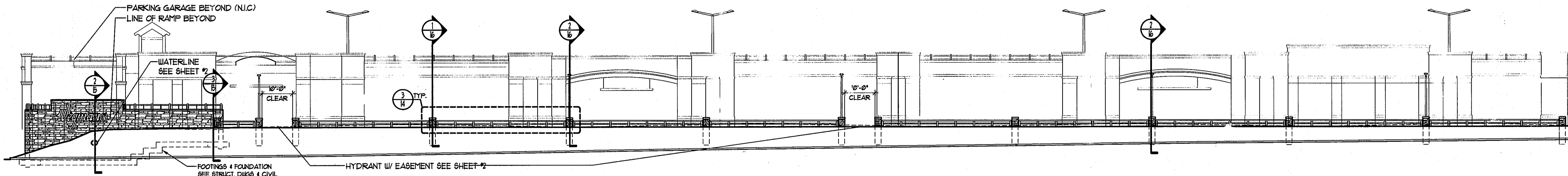
PHILIPS GARDCO lighting schedule table with columns for date, time, and location details for the project.

(REVISED) LANDSCAPE NOTES & DETAILS / LIGHTING SCHEDULE & DETAILS title and project information for Wegmans Food Markets.

Table with columns: SCALE, ZONING, G. L. W. FILE No., DATE, TAX MAP, SHEET, etc.



1 RETAINING WALL PLAN  
SCALE: 1/16" = 1'-0"



2 RETAINING WALL ELEVATION  
SCALE: 1/16" = 1'-0"

EXTERIOR MATERIAL LEGEND	
PC	PRECAST CONCRETE MANUF/DIST: OLDCASTLE STYLE/TYPE:TBD. COLOR: TBD.
SI	STONE VENEER MANUF/DIST: EL DORADO STYLE/TYPE: LIMESTONE COLOR: NEW HAVEN



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING	APPROVED PLANNING BOARD OF HOWARD COUNTY
<i>Thomas J. Suter</i> Director Date: 8/27/10	DATE: January 31, 2008 and April 24, 2008 April 7, 2011
<i>Ken Suter</i> Chief, Division of Land Development Date: 8/27/10	
<i>Chris Williams</i> Chief, Development Engineering Division Date: 8/10/10	

DES.	ORN.	CHK.	DATE	REVISION	BY	APPR.

PREPARED FOR:  
LAND LEASEE:  
WEGMANS FOOD MARKETS, INC.  
100 WEGMANS MARKET STREET  
ROCHESTER, NY 14624  
CONTACT: STEPHEN LEATY  
585-464-4600 EXT. 6833

RETAINING WALL GUARD PLAN & ELEVATION SHEET ONE  
WEGMANS FOOD MARKETS  
COLUMBIA STREET INDUSTRIAL CENTER  
PARCEL D-1 (redevelopment of Parcel D-1)  
TAX MAP PARCEL 356  
SECTION 1, AREA 1, PLAT Nos. 17484, 20012 & 21178  
HOWARD COUNTY, MARYLAND

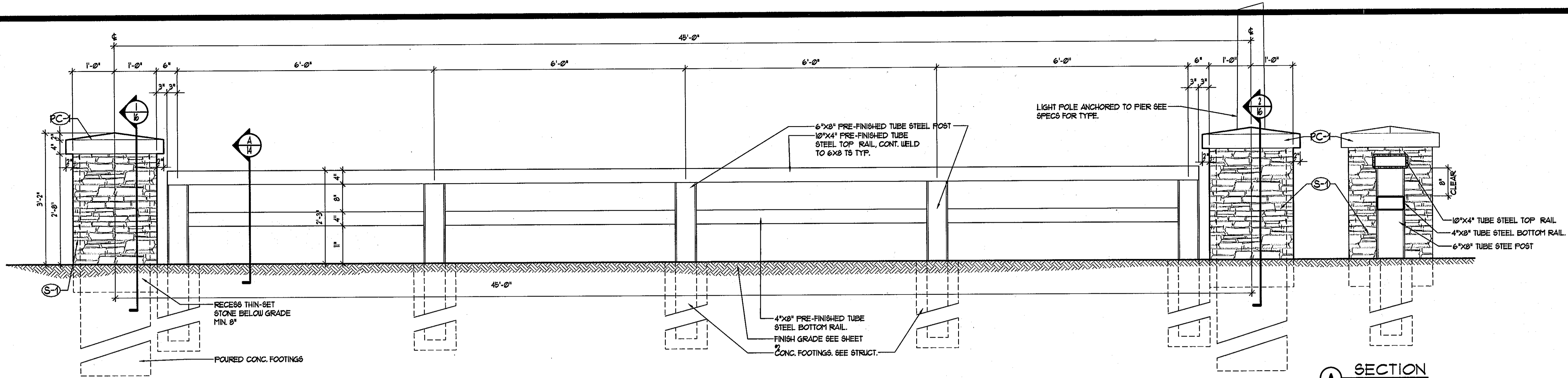
**Bignell Watkins Hasser**  
ARCHITECTS P.C.

ONE PARK PLACE, SUITE 250  
ANNAPOLIS, MARYLAND 21401  
Maryland: (301) 261-8228  
MD Fax: (410) 224-4443  
Baltimore: (410) 841-6595  
Annapolis: (410) 224-2727  
Website: www.bigwoho.com

8500 LEESBURG PIKE, SUITE 503  
VIENNA, VIRGINIA 22182  
Virginia: (703) 288-3320  
VA Fax: (703) 288-4211

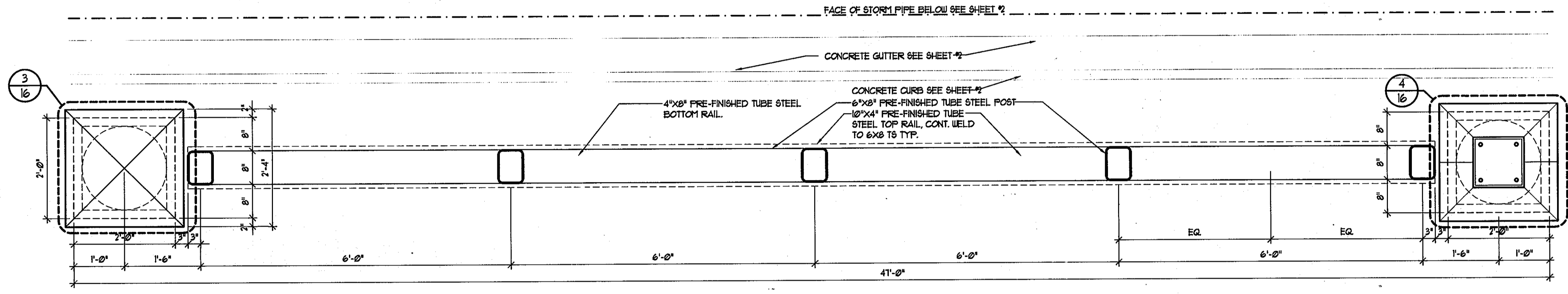
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Violators will be subject to prosecution by fullest extent of the law.  
Written dimensions on these drawings shall have precedence over scale dimensions.  
Contractors shall verify and be responsible for all dimensions and conditions on the  
job and this office must be notified of any variation from the dimensions and  
conditions shown by these drawings.

SCALE	ZONING	G. L. W. FILE #
DATE	NT	SHEET
JUNE/2010	TM 36 - 24	13 OF 21

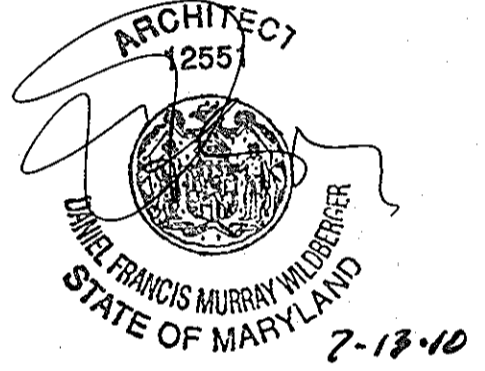


3 DETAIL ELEVATION  
SCALE: 3/4" = 1'-0"

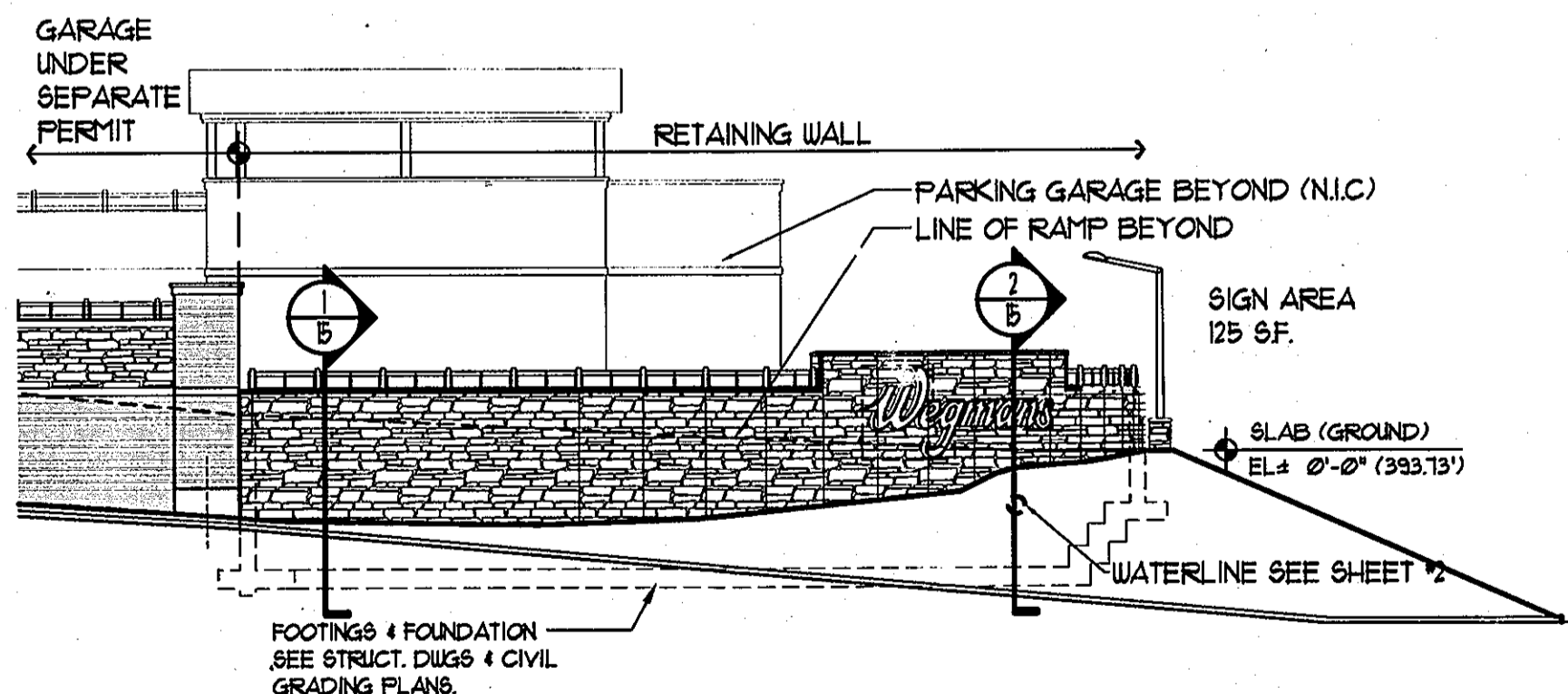
A SECTION  
SCALE: 3/4" = 1'-0"



4 DETAIL PLAN  
SCALE: 3/4" = 1'-0"



EXTERIOR MATERIAL LEGEND	
(FC)	PRECAST CONCRETE MANF./DIST. OLDCASTLE STYLE/TYPE: T.B.D. COLOR: T.B.D.
(SI)	STONE VENEER MANF./DIST. EL DORADO STYLE/TYPE: LIMESTONE COLOR: NEW HAVEN



5 RETAINING WALL ELEVATION  
SCALE: 1/8" = 1'-0"

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *Anna E. Sulea* Date: 8/27/10  
 Chief, Division of Land Development: *Robert Shee* Date: 8/27/10  
 Chief, Development Engineering Division: *Robert Shee* Date: 8/10/10

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 DATE: January 31, 2008 and April 24, 2008 & April 7, 2011

DES.	DRN.	CHK.	DATE	REVISION	BY	APPR.

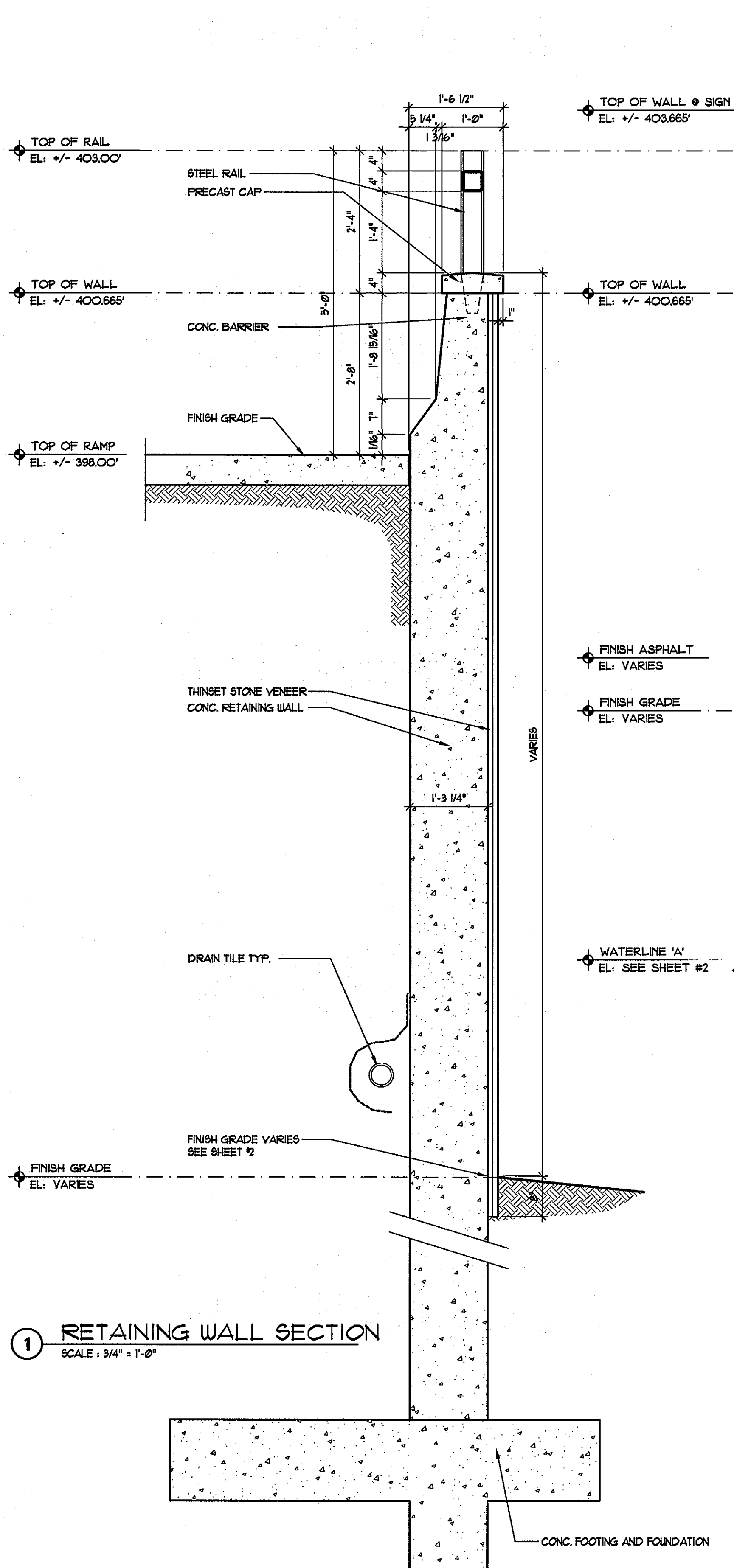
PREPARED FOR:  
 OWNER/DEVELOPER/AND LEASER:  
 SCIENCE FICTON, LLC  
 C/O ANTIHERPEN AUTOMOTIVE GROUP  
 8440 BALTIMORE NATIONAL PIKE  
 CATONSVILLE, MD 21228  
 CONTACT: STEPHEN LEATY  
 555-464-4600 EXT. 6833

RETAINING WALL/ GUARD PLAN & ELEVATION SHEET TWO  
**WEGMANS FOOD MARKETS**  
 COLUMBIA SIELING INDUSTRIAL CENTER  
 PARCEL D-2 (redevelopment of Parcel D-1)  
 TAX MAP PARCEL 356  
 SECTION 1, AREA 1; PLAT Nos. 17484, 20012 & 21117  
 6TH ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

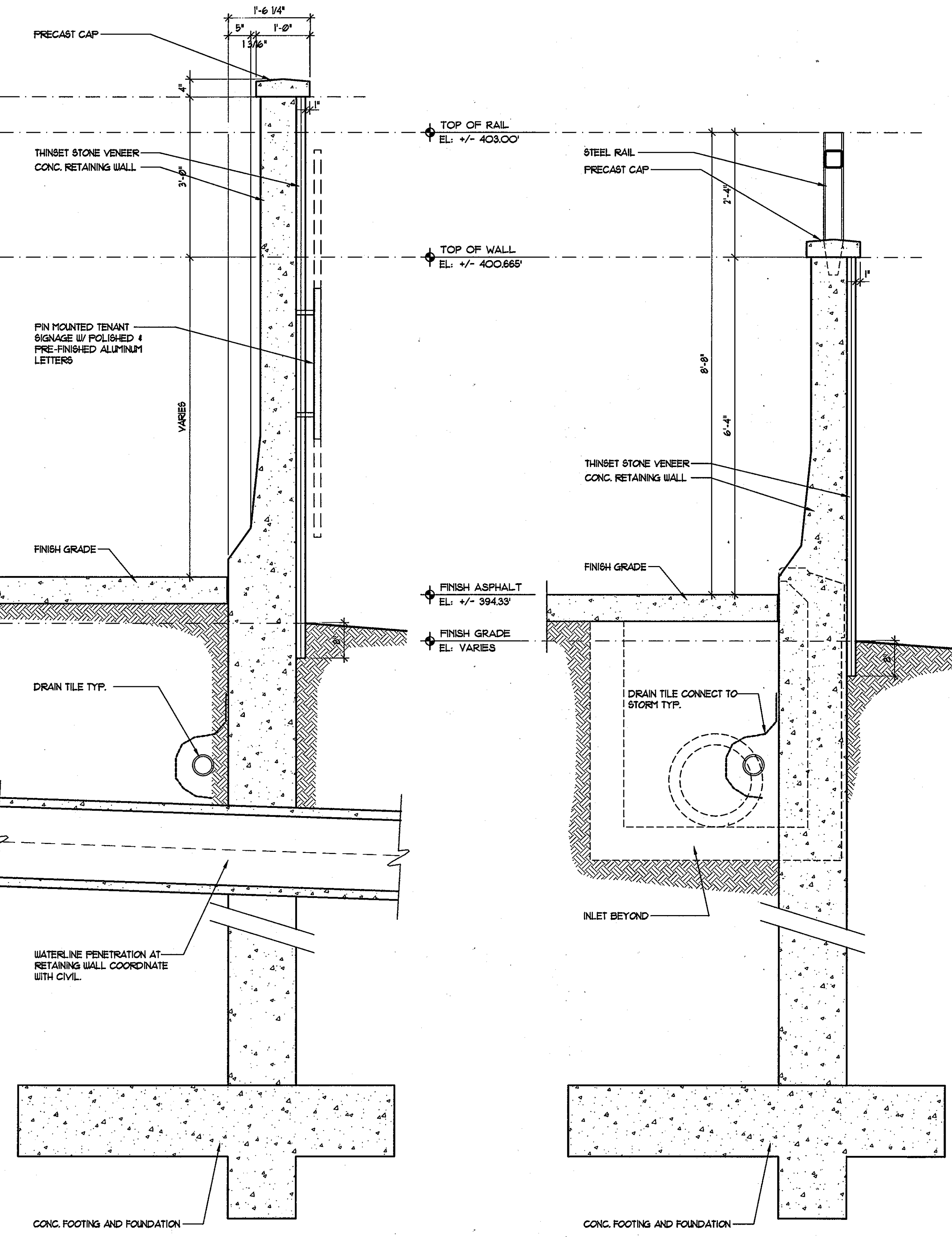
**Bignell Watkins Hasser**  
 ARCHITECTS P. C.  
 ONE PARK PLACE, SUITE 250 ANNAPOLIS, MARYLAND 21401  
 Maryland: (301) 281-8228  
 MD Fax: (410) 224-4443  
 Baltimore: (410) 841-6595  
 Annapolis: (410) 224-2727  
 Website: www.bigwha.com

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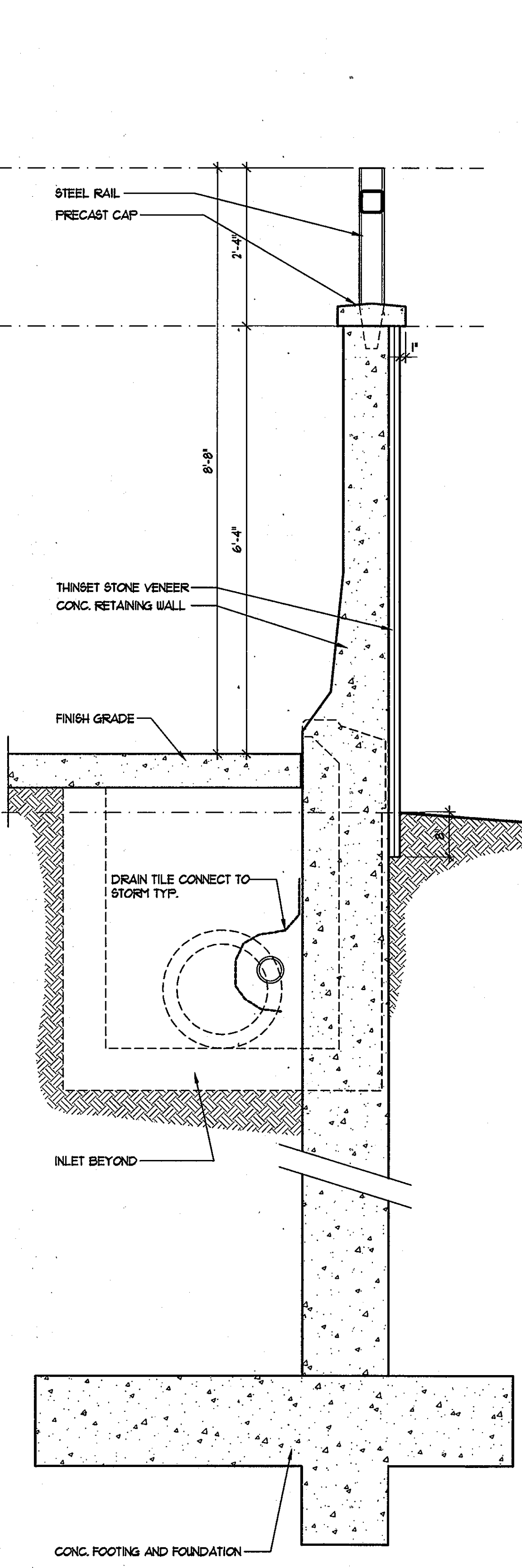
SCALE	ZONING	G. L. W. FILE No.
	NT	
DATE	SHEET	
JUNE/2010	TM 36 - 24	14 OF 21



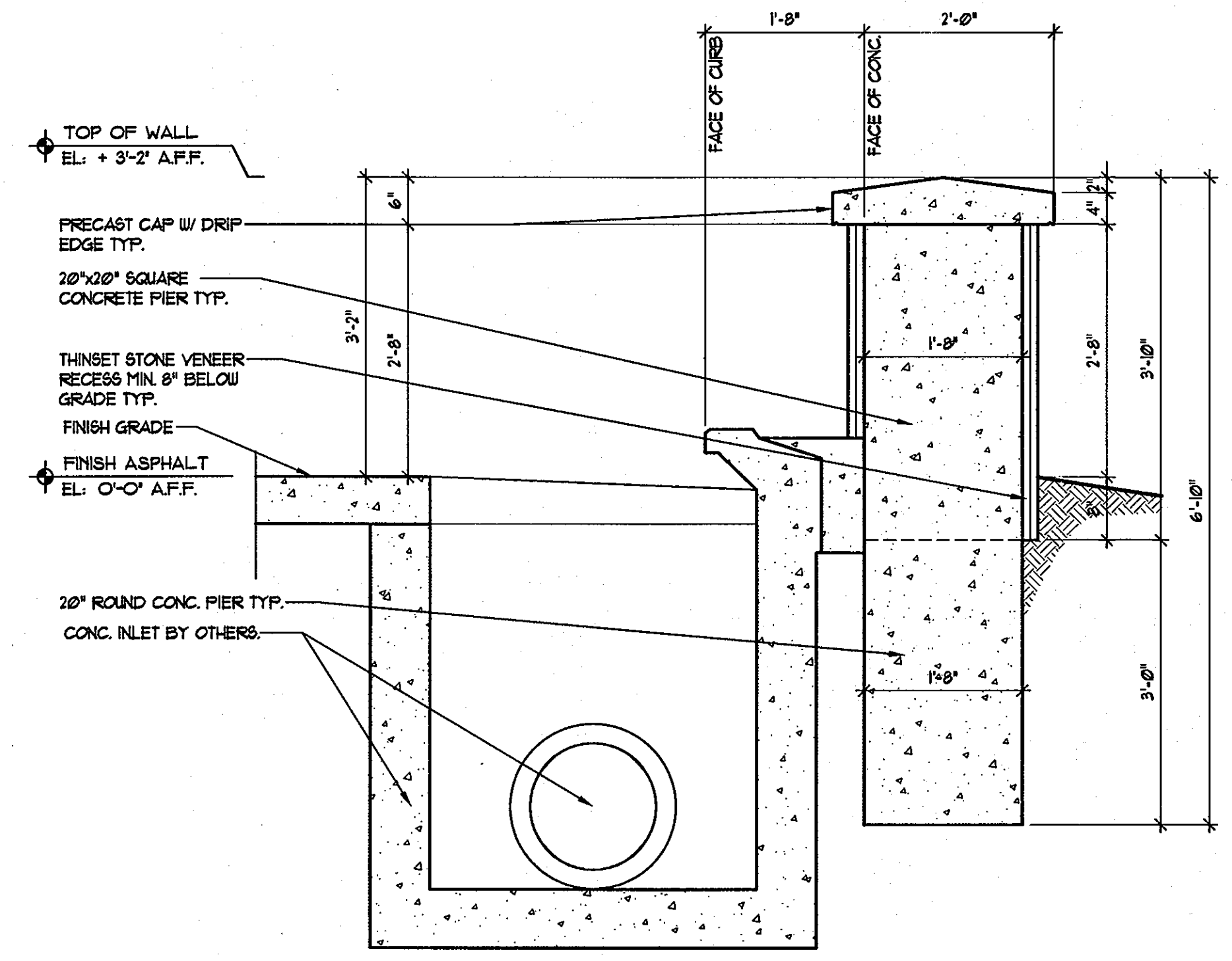
1 RETAINING WALL SECTION  
SCALE: 3/4" = 1'-0"



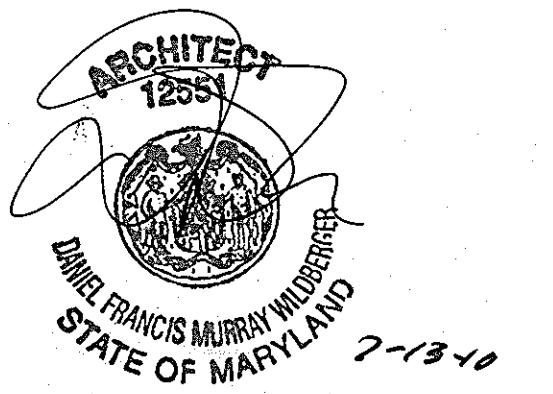
2 RETAINING WALL SECTION  
SCALE: 3/4" = 1'-0"



3 RETAINING WALL SECTION  
SCALE: 3/4" = 1'-0"



4 PIER SECTION  
SCALE: 3/4" = 1'-0"



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
*Thomas & Puder* 8/22/10  
 Director Date  
*W. J. Skidmore* 8/22/10  
 Chief, Division of Land Development Date  
*W. J. Skidmore* 8/22/10  
 Chief, Development Engineering Division Date

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 DATE January 31, 2008 and April 24, 2008 &  
 April 7, 2011

DES.	DRN.	CHK.	DATE	REVISION	BY	APPR.

PREPARED FOR:  
 OWNER/DEVELOPER/LAND LEASER: SCIENCE FICTION, LLC  
 C/O ANTHEMIPEN AUTOMOTIVE GROUP  
 3440 BALTIMORE NATIONAL PIKE  
 CATONSVILLE, MD 21228  
 CONTACT: STEPHEN LEATY  
 585-464-4600 EXT. 6833

RETAINING WALL & PIER SECTIONS  
**WEGMANS FOOD MARKETS**  
 COLUMBIA SIELING INDUSTRIAL CENTER  
 PARCEL 'D-2' (redevelopment of Parcel D-1)  
 TAX MAP PARCEL 356  
 SECTION 1, AREA 1, PLAT Nos. 17484, 20012 & 21178  
 6TH ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

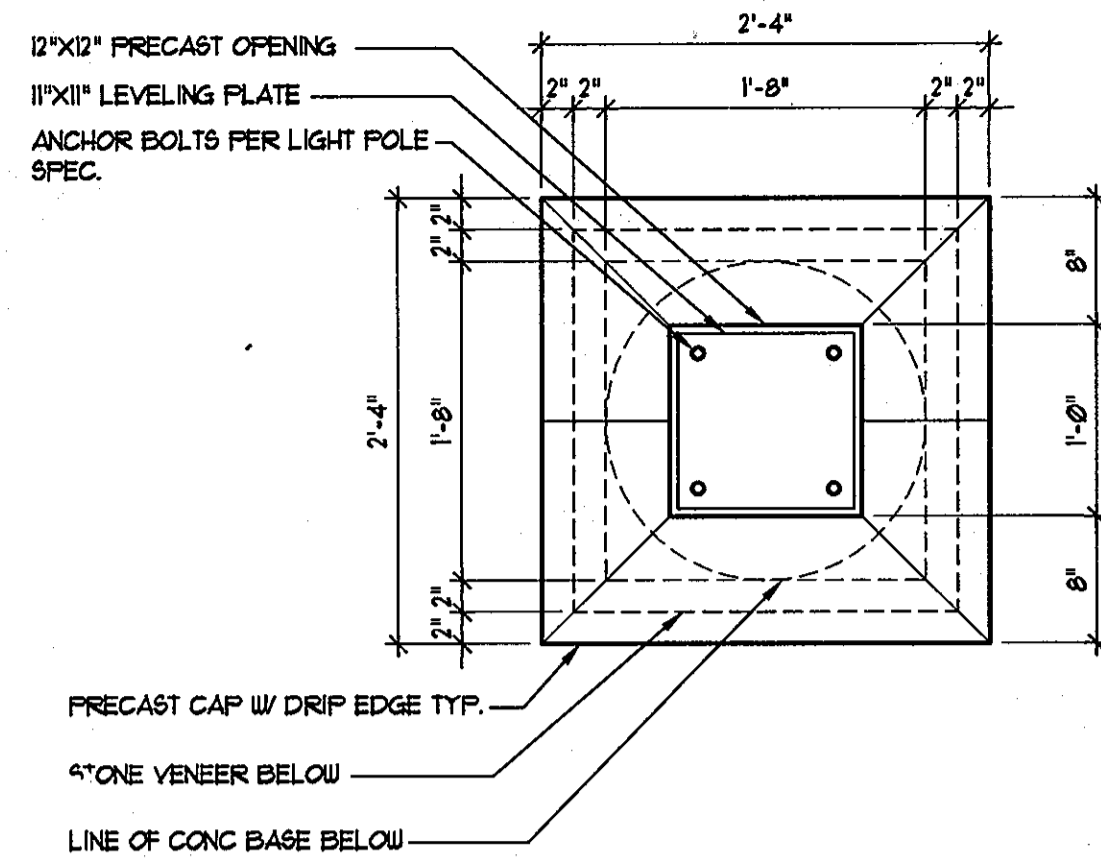
**Bignell Watkins Hauser**  
 ARCHITECTS P.C.

ONE PARK PLACE, SUITE 250  
 ANNAPOLIS, MARYLAND 21401  
 Maryland: (301) 261-8228  
 MD Fax: (410) 224-4443  
 Annapolis: (410) 841-6595  
 (410) 224-2727  
 Website: www.bigwaha.com

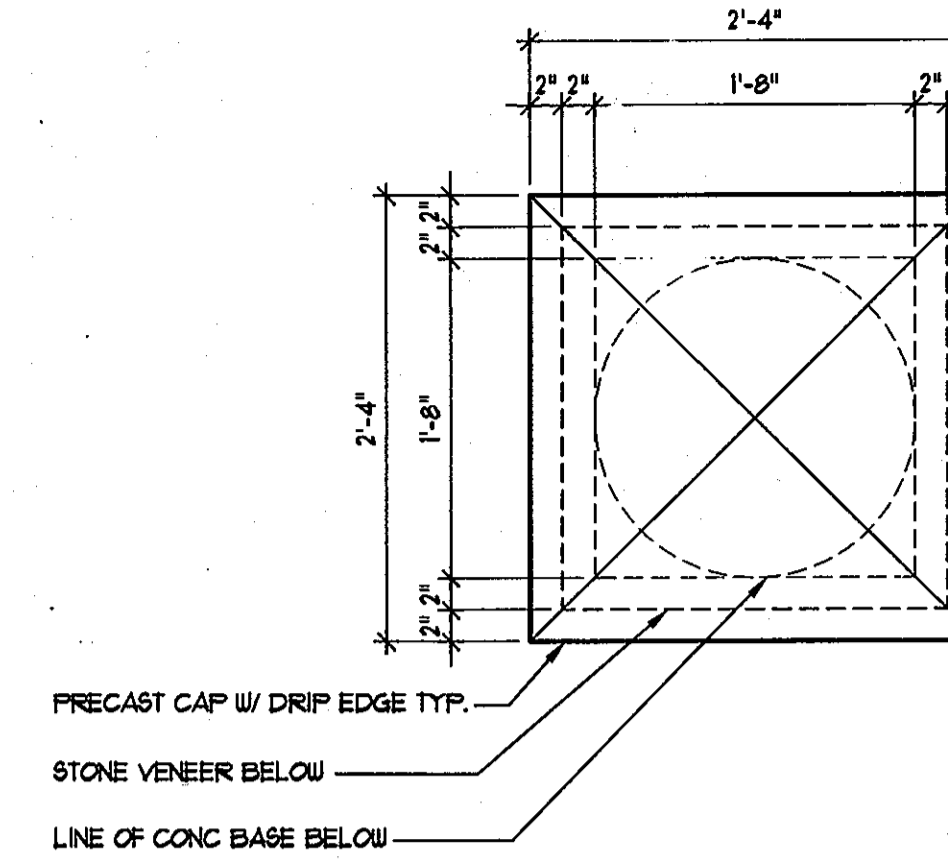
8500 LEESBURG PIKE, SUITE 503  
 VIENNA, VIRGINIA 22182  
 Virginia: (703) 288-3320  
 VA Fax: (703) 288-4211

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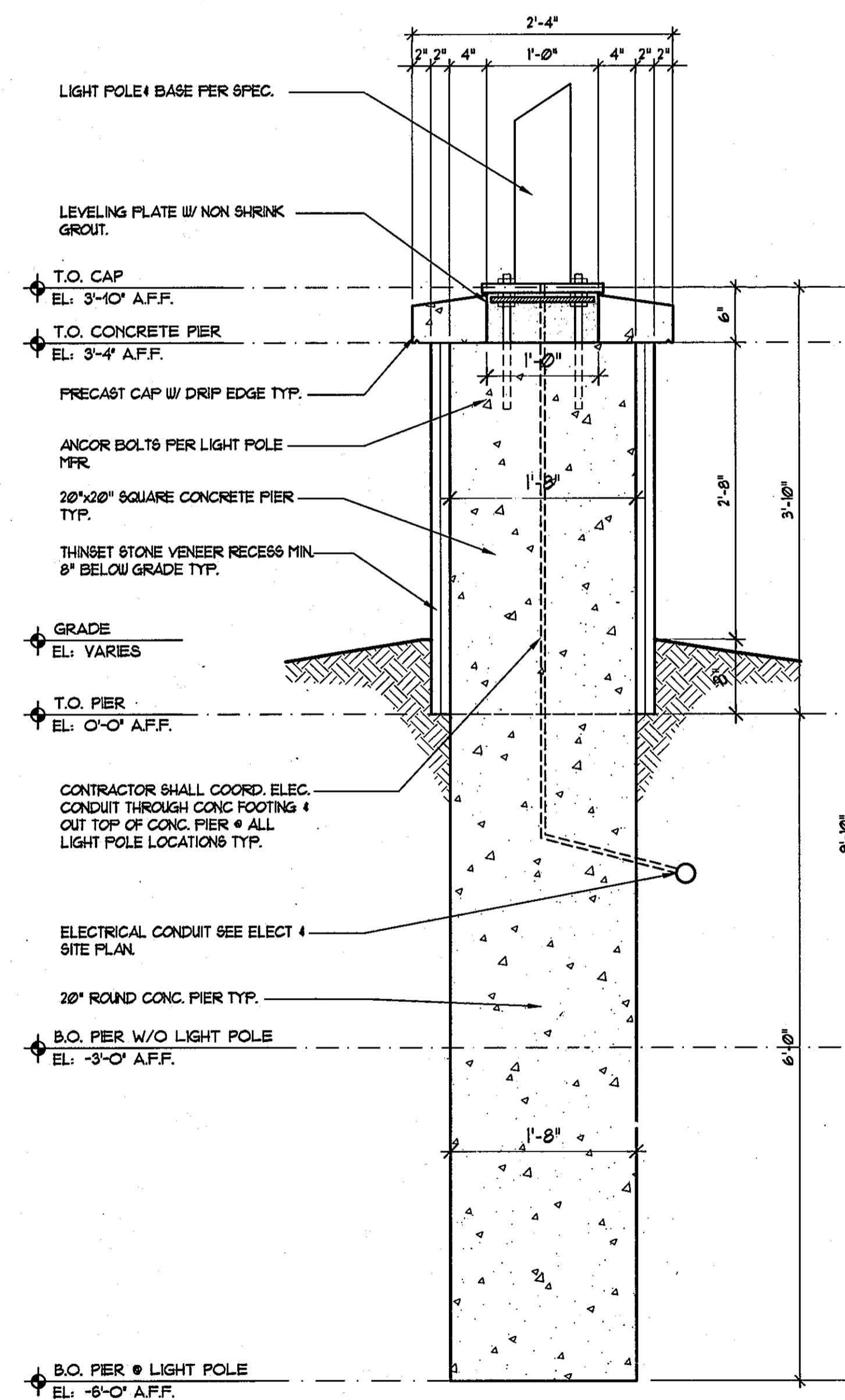
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	NT	
DATE		SHEET
JUNE/2010	TM 36 - 24	15 OF 21



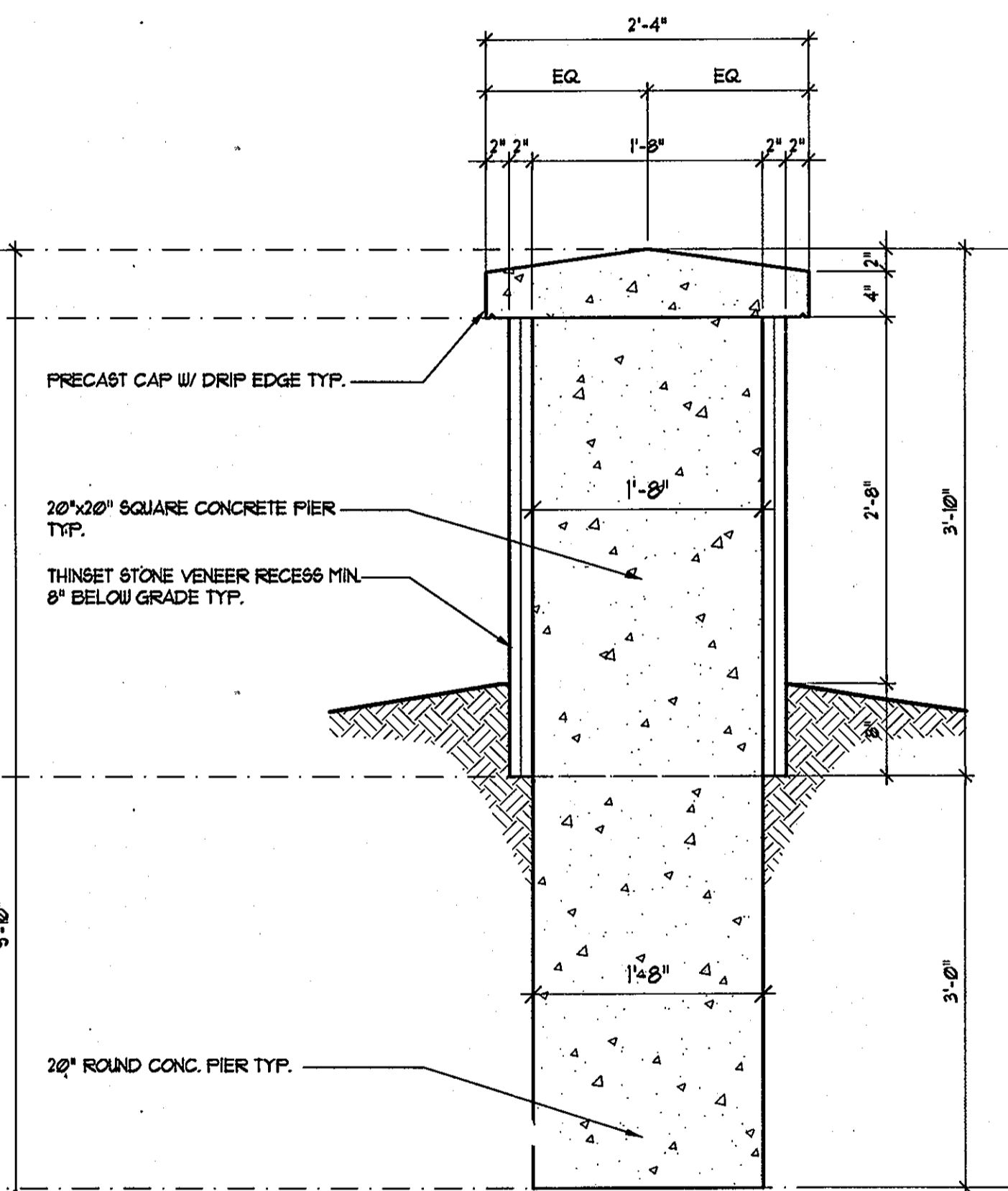
4 CONCRETE PIER PLAN @ LIGHT  
SCALE: 1" = 1'-0"



3 CONCRETE PIER PLAN  
SCALE: 1" = 1'-0"



2 CONCRETE PIER SECTION @ LIGHT  
SCALE: 1" = 1'-0"



1 CONCRETE PIER SECTION  
SCALE: 1" = 1'-0"



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*Thomas & Butler* 8/27/10  
Director Date  
*W. J. DeJure* 8/27/10  
Chief, Division of Land Development Date  
*W. J. DeJure* 8/16/10  
Chief, Development Engineering Division Date

APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
DATE January 31, 2008 and April 24, 2008 & April 7, 2011

DES.	DRN.	CHK.	DATE	REVISION	BY	APP'R.

PREPARED FOR:  
LAND LEASEE:  
WEGMANS FOOD MARKETS, INC.  
100 WEGMANS MARKET STREET  
ROCHESTER, NY 14624  
CONTACT: STEPHEN LEATY  
585-464-4600 EXT. 6833

DECORATIVE PIER PLANS SECTIONS  
WEGMANS FOOD MARKETS  
COLUMBIA SIELING INDUSTRIAL CENTER  
PARCEL D-2 (redevelopment of Parcel D-1)  
TAX MAP PARCEL 356  
SECTION 1, AREA 1, PLAT Nos. 17484, 20012 & 21117

**Bignell Watkins Hasser**  
ARCHITECTS P.C.  
ONE PARK PLACE, SUITE 250 ANNAPOLIS, MARYLAND 21401  
Maryland: (301) 261-8228  
MD Fax: (410) 224-4443  
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8500 LEESBURG PIKE, SUITE 503 VIENNA, VIRGINIA 22182  
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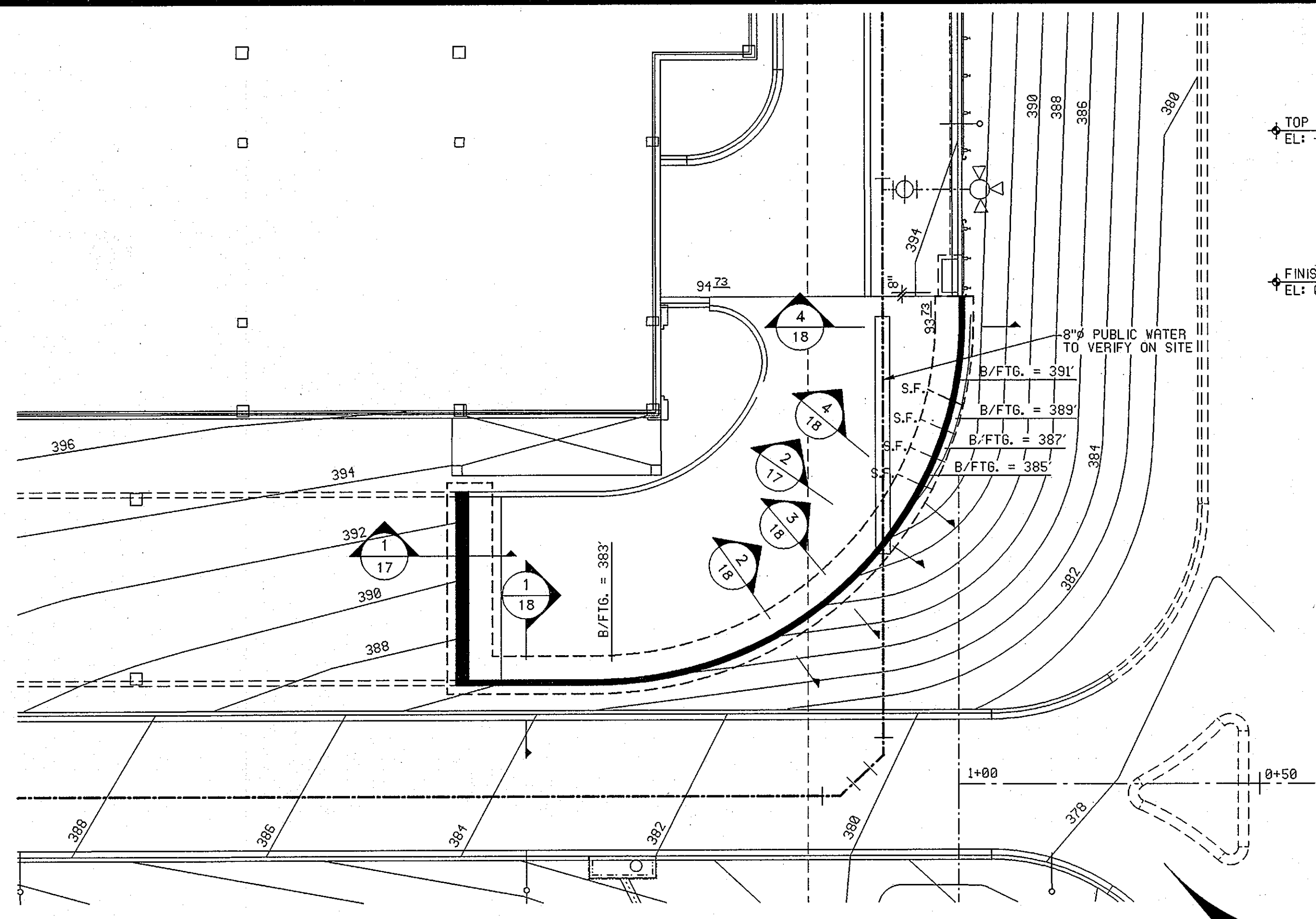
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SCALE	ZONING	G. L. W. FILE No.
	NT	
DATE	SHEET	
JUNE/2010	TM 36 - 24	16 OF 21

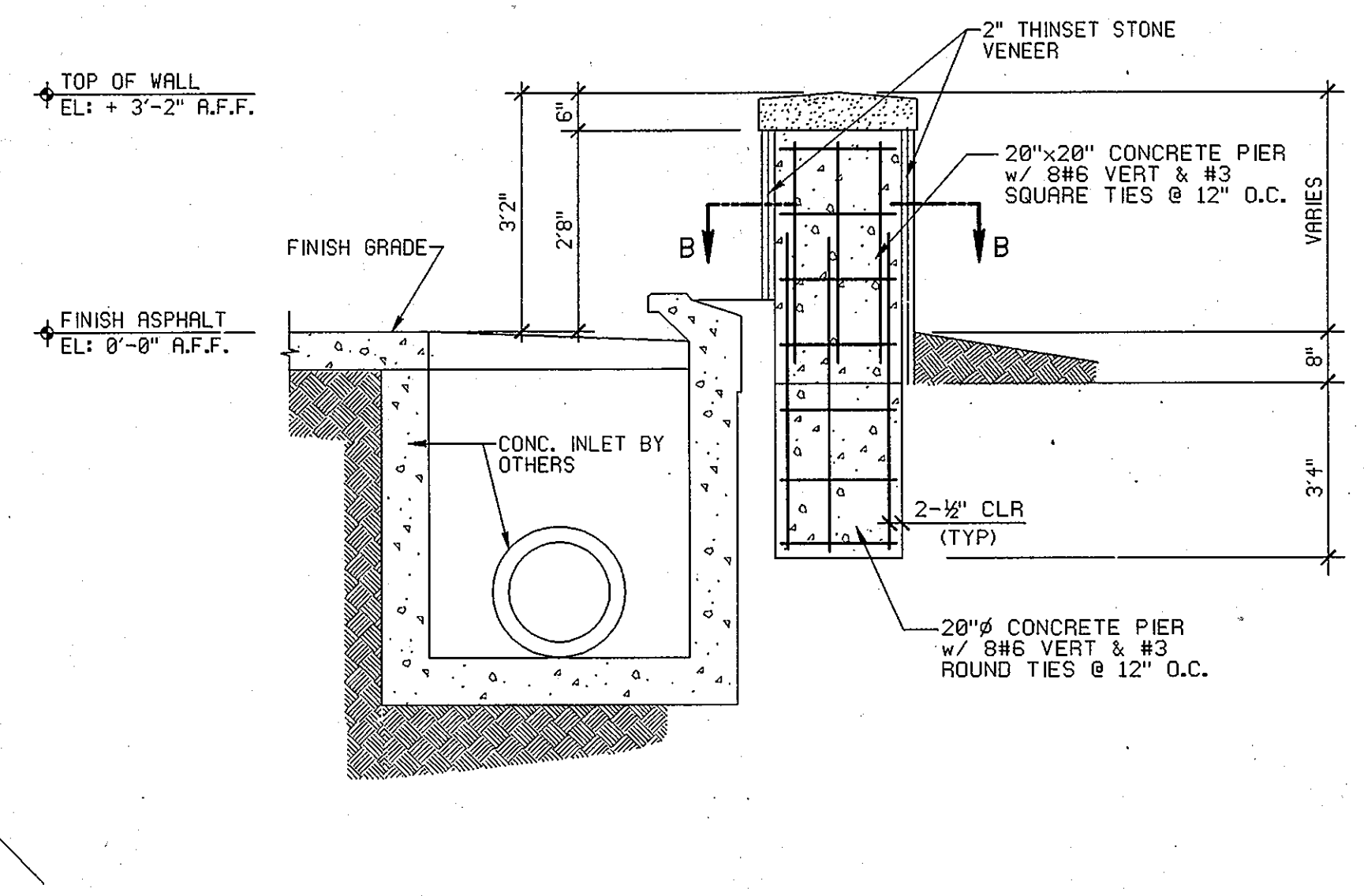
6TH ELECTION DISTRICT

HOWARD COUNTY, MARYLAND

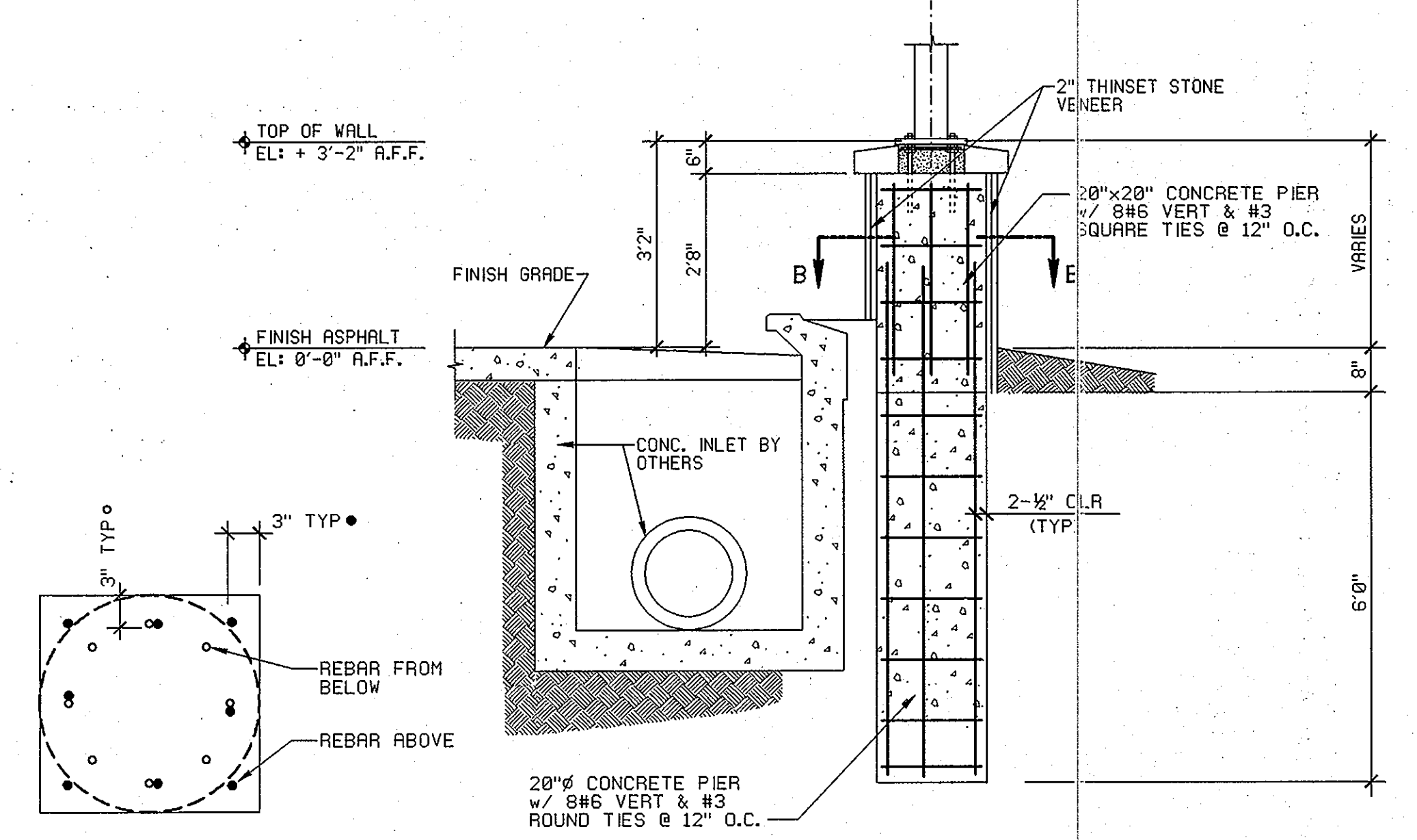




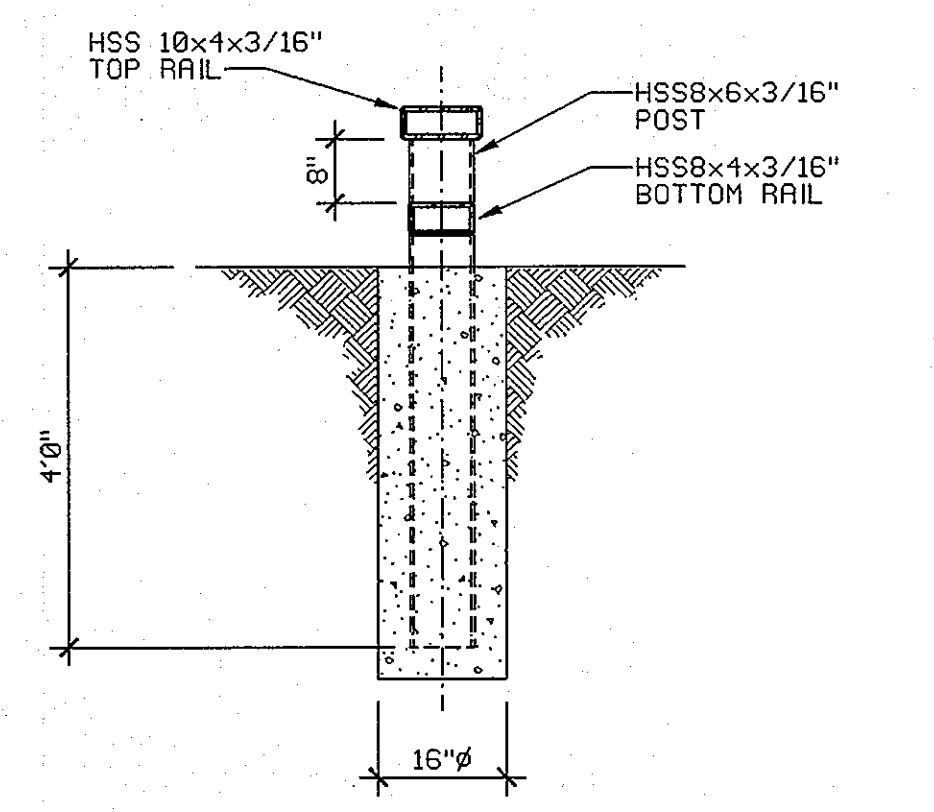
**PARTIAL SITE PLAN**  
SCALE: 1/16"=1'0"



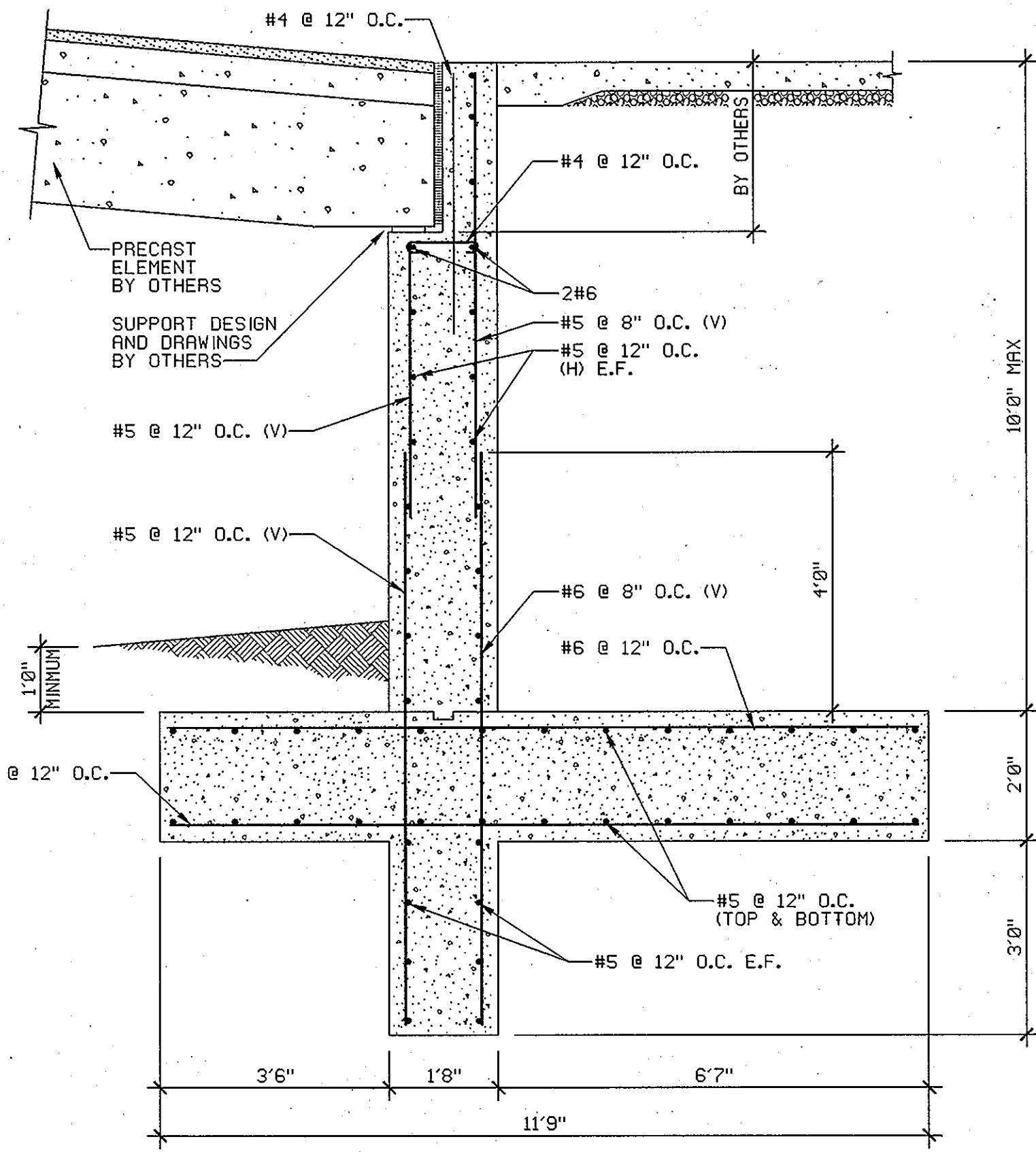
**3** PIER SECTION WITH OUT LIGHT POLE  
SCALE: 1/2"=1'0"



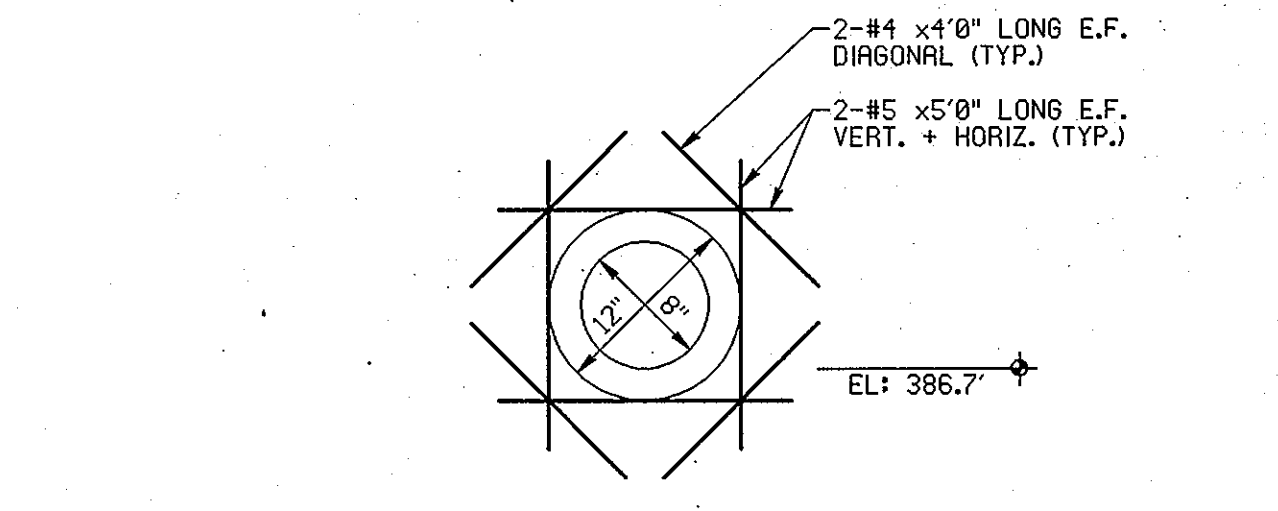
**4** PIER SECTION WITH LIGHT POLE  
SCALE: 1/2"=1'0"



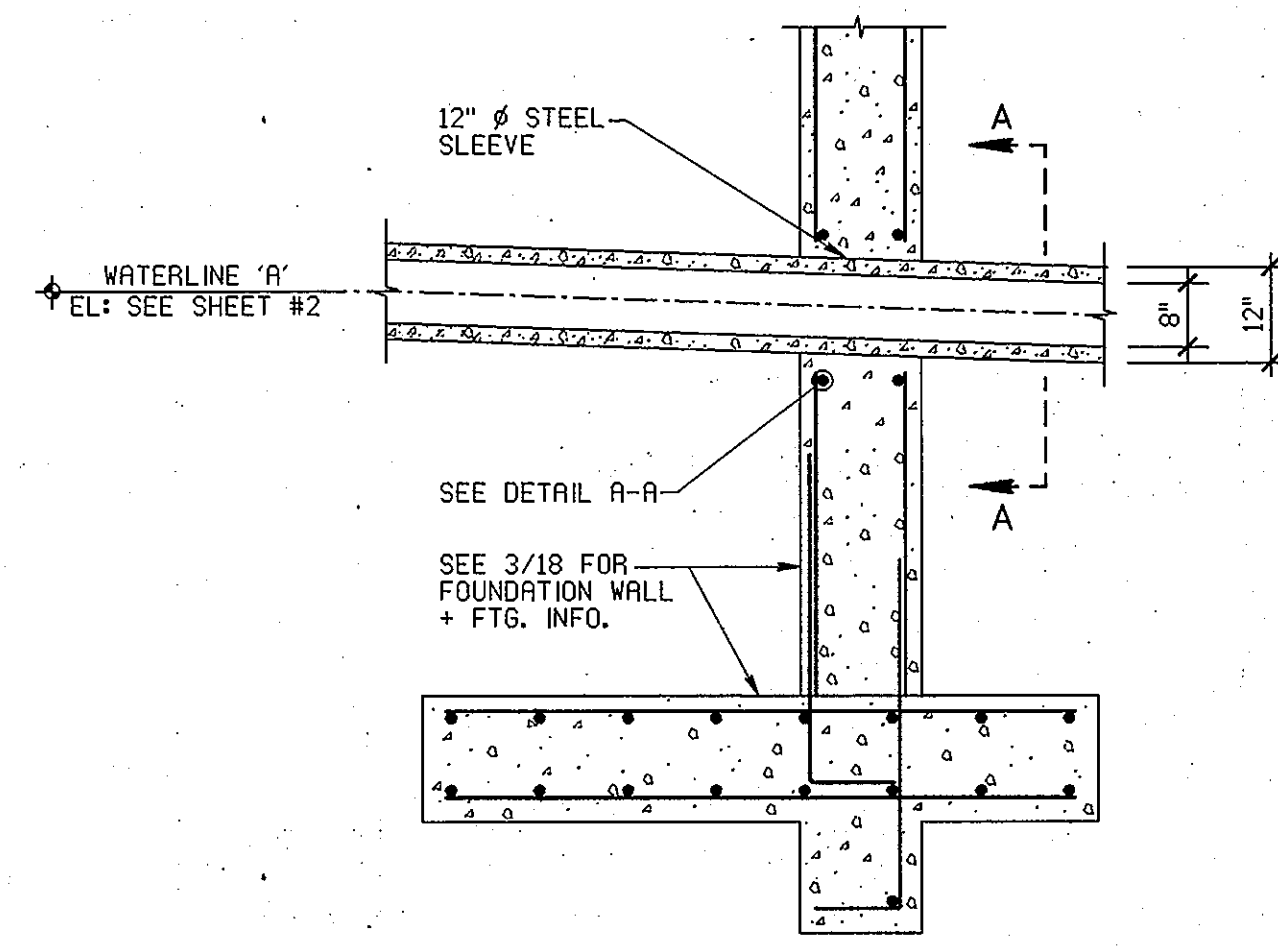
**5** SECTION  
SCALE: 1/2"=1'0"



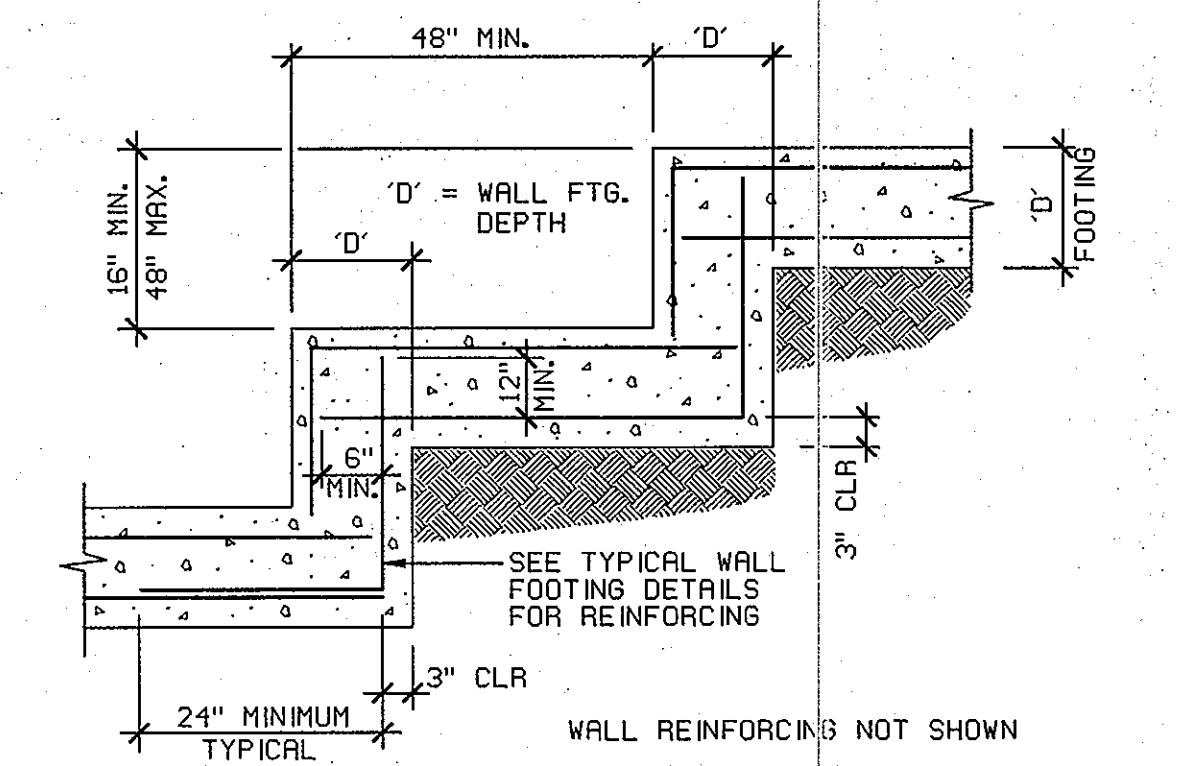
**1** SECTION @ RAMP RETAINING WALL  
SCALE: 1/2"=1'0"



**SECTION A-A**  
SCALE: 1"=1'0"



**2** RETAINING WALL SECTION  
SCALE: 1/2"=1'0"



**D16a** TYPICAL STEPPED FOOTING DETAIL  
(AS REQUIRED)

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING		APPROVED PLANNING BOARD OF HOWARD COUNTY	
Director <i>Thomas &amp; Sutler</i> Date: 8/27/10	Chief, Division of Land Development <i>Ken S. ...</i> Date: 2/2/11	DATE: January 31, 2008 and April 24, 2008 & April 7, 2011	
Chief, Development Engineering Division <i>...</i> Date: 2/10/10			

DES.	DRN.	CHK.	DATE	REVISION	BY	APP.

OWNER/DEVELOPER/LAND LEASER: SCIENCE FICTION, LLC C/O ANTWERPEN AUTOMOTIVE GROUP 8440 BALTIMORE NATIONAL PIKE CATONSVILLE, MD 21228 CONTACT: STANFORD HEAS	LAND LEASER: WEGMANS FOOD MARKETS, INC. 100 WEGMANS MARKET STREET ROCHESTER, NY 14624 CONTACT: STEPHEN LEATY 585-464-4600 EXT. 6835
---	--

STRUCTURAL PLAN & DETAILS - RETAINING WALL	
WEGMANS FOOD MARKETS COLUMBIA SIELING INDUSTRIAL CENTER PARCEL D-2' (redevelopment of Parcel D-1) TAX MAP PARCEL 356 SECTION 1, AREA 1, PLAT Nos. 17484, 20012 & 21117	
6TH ELECTION DISTRICT	HOWARD COUNTY, MARYLAND

**WATKINS** Partnership Inc.  
3032 Mitchellville Road, Suite 202  
Bowie, Maryland 20716  
ANNAP. (410) 741-1791  
WASH. (301) 248-0974  
Consulting Structural Engineering FAX (301) 248-0974

**PROJECT #: 20100101**

*[Professional Seal]*  
Professional Certification  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
No. 12659  
Expiration date: October 11, 2011

SCALE	ZONING	G. L. W. FILE No.
	NT	
DATE	SHEET	
JUNE/2010	TM 36 - 24	17 OF 21

**GENERAL NOTES:**

CODE: DESIGN AND CONSTRUCTION TO BE IN ACCORD WITH THE IBC 2003 CODE AND THE PARTICULAR CODES AS REFERENCED IN IBC 2003 BLDG CODE OR IN ACCORDANCE WITH THE ASCE 7-02.

LIVE LOADS: THE STRUCTURE HAS BEEN DESIGNED FOR LIVE LOADS AS FOLLOWS:

FLOOR LOAD:  
RETAIL: 100.00 PSF  
PARKING: 50.00

BUILDING CATEGORY: I  
EXPOSURE CATEGORY: A

WIND:  
3-SEC GUST SPEED: 90.00 MPH  
IMPORTANCE FACTOR (Iw): 2.0

SEISMIC:  
SEISMIC USE GROUP: A  
IMPORTANCE FACTOR (Ie): 1.00  
SOIL SITE CLASS: D

CONSTRUCTION SAFETY: LOADS GREATER THAN THE APPLICABLE DESIGN LOADS SHALL NOT BE PLACED ON THE STRUCTURE. PROVISION SHALL BE MADE FOR ADEQUATE BRACING AND SUPPORT OF ADJACENT CONSTRUCTION, UTILITIES AND EXCAVATIONS. JOB SITE SAFETY AND CONSTRUCTION PROCEDURES ARE THE RESPONSIBILITY OF THE CONTRACTOR.

FOUNDATION: THE SOILS REPORT AS PREPARED BY HILLIS-CARNES (#070509) SHALL BE CONSIDERED PART OF THESE SPECIFICATIONS. IF ANY CONFLICT EXISTS BETWEEN SOIL CONSULTANT'S REPORT AND THE FOLLOWING RECOMMENDATIONS, THE MORE STRINGENT REQUIREMENT WILL APPLY. BEFORE PLACEMENT OF FILL, IT IS RECOMMENDED THAT THE SITE BE INSPECTED BY A PROFESSIONAL SOILS ENGINEER REGISTERED IN THE JURISDICTION OF THE PROJECT FOR PROPER STRIPPING AND PREPARATION FOR RECEIVING THE FILL.

EXCAVATION FOR AND BEARING MATERIAL FOR FOUNDATIONS SHOULD BE SUPERVISED BY A PROFESSIONAL SOILS ENGINEER REGISTERED IN THE JURISDICTION OF THE PROJECT.

THE AREAS WITHIN THE BUILDING LIMITS AND THOSE EXTENDING ON ALL THE SIDES, TO A MINIMUM OF SIX (6) FEET OR THE DEPTH OF CONTROLLED FILL, WHICHEVER IS MORE, SHALL BE PREPARED (BY EXCAVATION OR BY PLACING CONTROLLED FILL) TO AN ELEVATION (2'-6") INCHES BELOW THE FINISHED FLOOR LEVELS OF SLABS ON GRADE.

THE FOOTINGS SHALL BE EXCAVATED AFTER THE BUILDING AREAS HAVE BEEN PROPERLY PREPARED.

MATERIAL SATISFACTORY FOR CONTROLLED FILL AND BACKFILL MATERIAL AROUND AND ABOVE FOOTINGS SHALL INCLUDE CLEAN SOIL OR BANKRUN SAND AND GRAVEL (GW, GC, SC, SH, ML & CL), BUT EXCLUDE HIGHLY PLASTIC CLAYS (MH & CH) OR HIGH SHRINK-SWELL SOILS. THE FILL MATERIALS SHALL BE FREE FROM TOPSOIL, ORGANIC CONTAMINATED SOIL AND ROCK FRAGMENTS HAVING A MAJOR DIMENSION GREATER THAN FOUR (4) INCHES, AND SHALL CONTAIN NO ICE OR SNOW.

ALL FOOTINGS SHALL BE CARRIED DOWN A MINIMUM OF ONE FOOT INTO VIRGIN SOIL OR COMPACTED FILL OR AS DIRECTED BY THE SOILS ENGINEER AND, IF EXTERIOR, SHALL BE A MINIMUM OF 2'-0" BELOW FINISHED EXTERIOR GRADE. FOOTINGS ARE DESIGNED FOR A SOIL BEARING PRESSURE OF 6500 PSF. FOOTING ELEVATIONS HAVE BEEN ESTABLISHED FROM AVAILABLE INFORMATION AND SHALL NOT BE TAKEN AS A WAIVER OF THESE REQUIREMENTS.

WATER, LOOSE SOIL AND SOIL SOFTENED BY WATER SHALL BE REMOVED FROM THE BOTTOM OF THE FOOTING EXCAVATIONS BEFORE PLACING CONCRETE.

FOOTING EXCAVATIONS SHALL NOT BE LEFT OPEN FOR LONG PERIODS. IT IS SUGGESTED THAT THE BOTTOM OF THE FOOTING EXCAVATIONS AND TRENCHES BE PROTECTED BY UNDERCUTTING AND PLACING THREE (3) INCHES OF A LEAN-MIX CONCRETE SLAB IMMEDIATELY UPON APPROVAL AND BEFORE REINFORCING STEEL IS PLACED.

DEPTH OF EXCAVATIONS BELOW ANY FOOTINGS SHALL NOT EXCEED 1/2 THE DISTANCE FROM THE NEAREST EDGE OF THAT FOOTING.

PROVISIONS MUST BE TAKEN TO PROTECT ALL CONCRETE WORK FROM FROST DAMAGE WITH SPECIAL ATTENTION PAID TO FOOTINGS AND OTHER CONCRETE ON GRADE PRIOR TO BACKFILLING AND ENCLOSING THE BUILDING.

CARE SHOULD BE TAKEN TO ASSURE THAT DURING PLACING OF CONCRETE FOOTINGS AND SLABS ON GRADE NO ORGANIC MATTER, SALTS, OR CLAYS ARE MIXED WITH THE CONCRETE.

UNLESS OTHERWISE NOTED, FLOOR SLAB ON GRADE TO BE AS SHOWN ON DRAWINGS. FLOOR SLAB TO BE POURED IN STRIPS OR AS NOTED BY THE ARCHITECT. CUT ALTERNATE STRANDS OF W/F AT POUR JOINTS OR USE SCREED KEYS, IN WHICH CASE ALL STRANDS AT THE KEY MAY BE CUT.

COMPACTION: EACH LAYER OF FILL SHALL BE COMPACTED AT OPTIMUM MOISTURE CONTENT (PLUS OR MINUS 2%) TO NOT LESS THAN 95% OF MAXIMUM DRY DENSITY.

LOWER DEGREES OF COMPACTION MAY BE PERMITTED BY THE BUILDING OFFICIAL AFTER RECEIPT OF A REPORT FROM THE SOILS ENGINEER CERTIFYING THAT HE HAS INVESTIGATED THE SUBSOIL OF THE SITE, HAS TESTED REPRESENTATIVE FILL MATERIALS AND THAT IN HIS OPINION SUCH LOWER DEGREE OF COMPACTION WILL BE ADEQUATE FOR THE INTENDED USE OF THE FILL.

IN-PLACE FIELD DENSITY SHALL BE DETERMINED IN ACCORDANCE WITH ASTM D-698 OR ASTM D-1557.

ALL FILLS SHALL BE PLACED IN APPROXIMATELY HORIZONTAL LAYERS, EACH LAYER HAVING A LOOSE THICKNESS OF NOT MORE THAN 8 INCHES.

NO FILL SHALL BE PLACED ON FROZEN GROUND.

TEMPORARY LATERAL BRACING: PROVIDE ADEQUATE BRACING AND SHORING FOR BASEMENT, RETAINING AND PIT WALLS. BRACE BASEMENT AND PIT WALLS UNTIL SUPPORTING FLOORS ABOVE ARE IN PLACE AND HAVE ATTAINED DESIGN STRENGTH. DO NOT BRACKFILL WALLS UNTIL AFTER FLOORS AT THE TOP AND BASE OF THE WALLS ARE IN PLACE. WHERE BACKFILL IS REQUIRED ON BOTH SIDES OF A WALL, BACKFILL BOTH SIDES SIMULTANEOUSLY WITH THE GRADE DIFFERENCE NOT TO EXCEED 2'-0" AT ANY TIME.

LATERALLY BRACE BUILDING WALLS IN AN APPROVED MANNER AS REQUIRED. BRACING SHALL REMAIN IN PLACE UNTIL ROOF OR FLOOR MEMBERS HAVE BEEN SECURELY ANCHORED TO THE WALL.

PROVIDE ADEQUATE BRACING AND GUY-WIRING FOR STEEL FRAME AND MEMBERS DURING STEEL ERECTION AND CONCRETE WORK ON DECK. BRACING ARRANGEMENT SHALL REMAIN IN PLACE UNTIL PERMANENT CONNECTIONS HAVE BEEN MADE. STEEL FRAME SHALL BE PLUMB WITHIN TOLERANCES AND PROJECT SPECIFICATION REQUIREMENTS.

CONCRETE: TO BE MIXED AND PLACED IN ACCORDANCE WITH THE CURRENT "AMERICAN CONCRETE INSTITUTE (ACI) BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE". A COPY OF THIS CODE SHALL BE AVAILABLE ON THE PROJECT AT ALL TIMES.

ALL REINFORCED CONCRETE, INCLUDING FLOOR TOPPING, TO HAVE A COMPRESSIVE STRENGTH (f'c) OF 3,000 PSI, UNLESS OTHERWISE NOTED.  
WALLS AND FOOTINGS 4,000 PSI

CONTRACTOR SHALL SUBMIT MIX DESIGNS ACCOMPANIED BY APPROPRIATE GRAPHS AND BACKGROUND DATA FOR APPROVAL. MIX DESIGN SHALL INDICATE 7 AND 28 DAYS STRENGTHS, CEMENT CONTENT, AIR CONTENT, WATER-CEMENT RATIO, AMOUNT OF FINE AND COARSE AGGREGATES AND ADMIXTURES. ALL EXTERIOR CONCRETE AND CONCRETE EXPOSED TO WEATHER SHALL BE AIR-ENTRAINED.

CONCRETE CYLINDER TESTS SHALL BE MADE BY AN INDEPENDENT QUALIFIED TESTING AGENCY, TO BE RETAINED AND PAID FOR BY THE CONTRACTOR, IN ACCORDANCE WITH ASTM SPECIFICATION FOR "COMPRESSION TESTS OF CONCRETE". A MINIMUM OF 4 TEST CYLINDERS SHALL BE MADE FOR EACH 50 CUBIC YARDS, OR FRACTION THEREOF, OF CONCRETE PLACED; TWO TESTED AT SEVEN DAYS AND TWO TESTED AT TWENTY-EIGHT DAYS. THE TESTING AGENCY SHALL BE RESPONSIBLE FOR OBTAINING SAMPLES AND FOR STORAGE.

ALL CONTINUOUS REINFORCING SHALL BE CONTINUOUS OR LAPPED AT ALL SPLICES, CORNERS AND INTERSECTIONS A MINIMUM OF 30 BAR DIAMETERS (U.N.O.).

PROVIDE SPACERS, CHAIRS, TIES AS REQUIRED AND NECESSARY FOR ASSEMBLING, PLACING AND SUPPORTING ALL REINFORCEMENT IN PROPER POSITION.

CONCRETE PROTECTION FOR REINFORCEMENT SHALL BE AS GIVEN IN ACI-318.

ALL CONCRETE WORK, REINFORCING PLACEMENT, FORMWORK AND SHORING SHALL BE INSPECTED BY A PROFESSIONAL ENGINEER REGISTERED IN THE JURISDICTION OF THE PROJECT. CONCRETE QUALITY CONTROL, INSPECTION AND TESTING SHALL BE IN STRICT ACCORDANCE WITH THE PROJECT SPECIFICATIONS, AS WELL AS LOCAL BUILDING CODE REQUIREMENTS.

USE OF ADDITIVES SHALL NOT BE PERMITTED UNLESS SPECIFICALLY APPROVED BY THE STRUCTURAL ENGINEER. USE OF ADDITIVES CONTAINING CALCIUM CHLORIDE SHALL NOT BE PERMITTED.

USE OF CEMENT SUBSTITUTES SUCH AS "NEWCEM" SHALL NOT BE PERMITTED WITHOUT PRIOR APPROVAL FROM THE STRUCTURAL ENGINEER. THE USE OF CEMENT SUBSTITUTES WILL ONLY BE PERMITTED DURING SPECIFIC SEASONS. THE AMOUNT OF CEMENT SUBSTITUTE PERMITTED IN THE MIX DESIGN WILL BE LIMITED TO 25% BY WEIGHT OF THE TOTAL AMOUNT OF CEMENT IN THE MIX.

SHOP DRAWINGS: PARTIAL SUBMISSIONS OF SHOP DRAWINGS FOR REVIEW MUST BE PRE-APPROVED BY THE STRUCTURAL ENGINEER.

INCOMPLETE OR SHOP DRAWINGS WHICH HAVE NOT BEEN CHECKED BY THE DETAILER, CONTRACTOR WILL NOT BE REVIEWED BY THE STRUCTURAL ENGINEER.

NUMEROUS DIMENSIONAL ERRORS, LACK OF CONNECTION COORDINATION, AND MISSING MEMBER FABRICATION DETAILING ARE CONSIDERED PROOF THAT THE SHOP DRAWING HAVE NOT BEEN CHECKED OR ARE INCOMPLETE.

THE CONTRACTOR SHALL REVIEW ALL SHOP DRAWINGS FOR CONFORMANCE WITH THE STRUCTURAL/ARCHITECTURAL DRAWINGS BEFORE SUBMISSION TO THE STRUCTURAL ENGINEER.

ANY DEVIATIONS FROM THE CONTRACT STRUCTURAL/ARCHITECTURAL DRAWINGS SHALL BE INDICATED IN RED ON THE SHOP DRAWINGS BY THE CONTRACTOR.

ONLY SHOP DRAWINGS SIGNED AND DATED BY THE CONTRACTOR WILL BE REVIEWED BY THE STRUCTURAL ENGINEER.

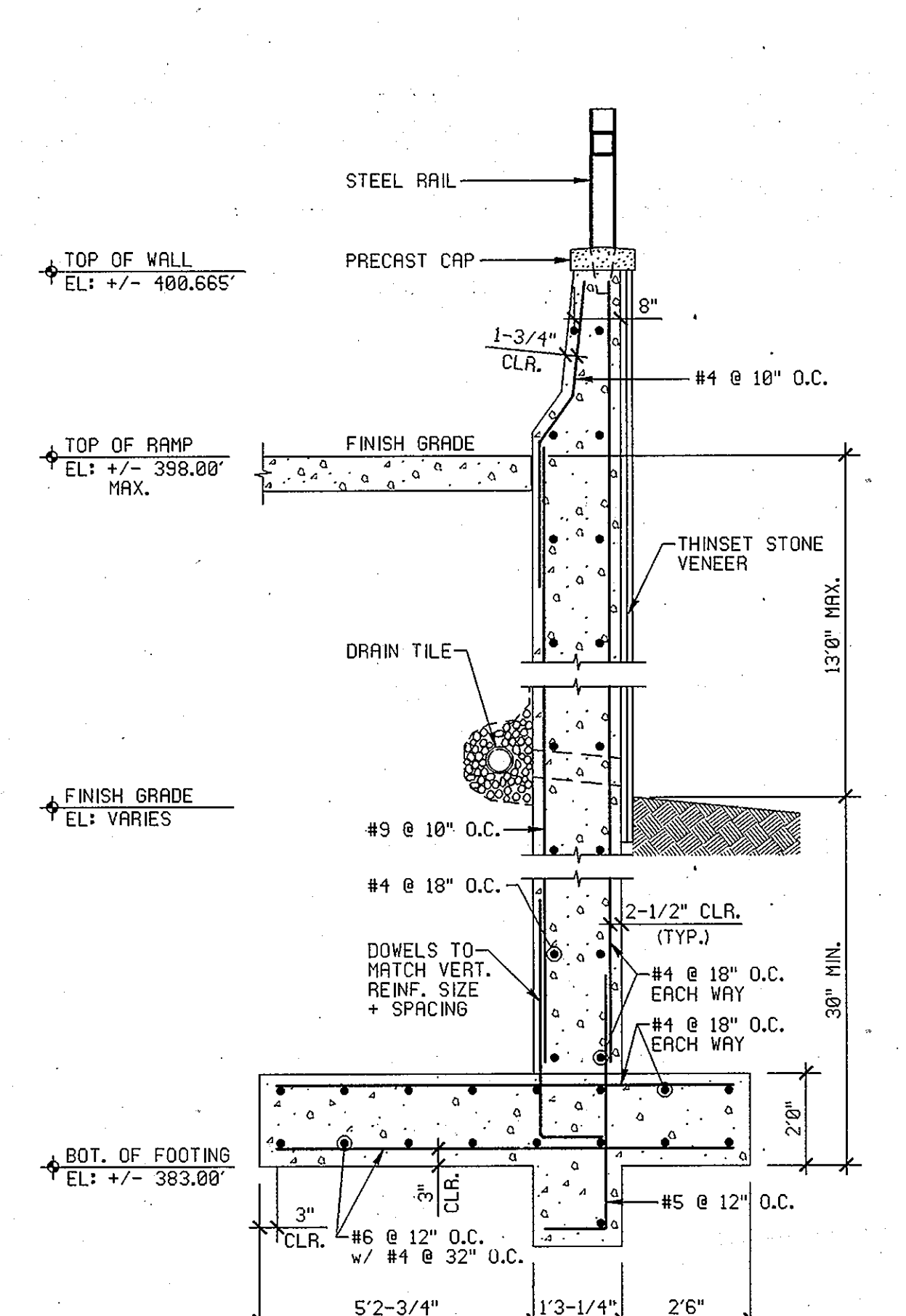
THE STRUCTURAL ENGINEER WILL PROCESS A MAXIMUM OF 5 SETS OF SHOP DRAWINGS PER SUBMISSION.

THE STRUCTURAL ENGINEER SHALL HAVE 12 WORKING DAYS TO PERFORM THE SHOP DRAWING REVIEW.

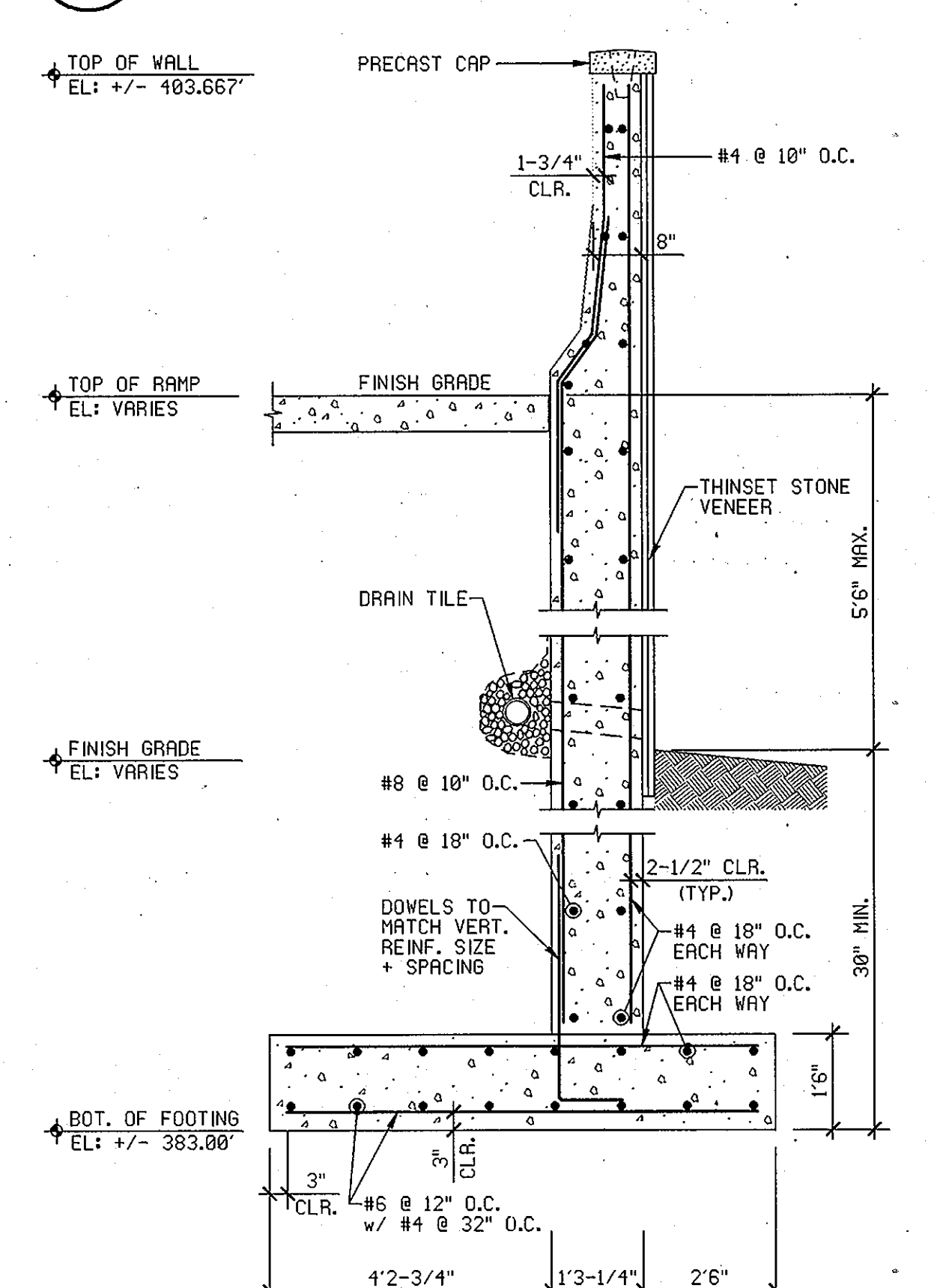
CONTRACT DOCUMENTS MAY NOT BE REPRODUCED FOR USE AS SHOP DRAWINGS WITHOUT A WRITTEN AGREEMENT BETWEEN THE GENERAL CONTRACTOR AND THE ENGINEER OF RECORD.

A USE AND ROYALTY FEE WILL BE ASSESSED PER EACH SHEET OR ELECTRONIC FILE, AND MUST BE PAID IN FULL PRIOR TO THE ENGINEER RELEASING THE SHOP DRAWINGS.

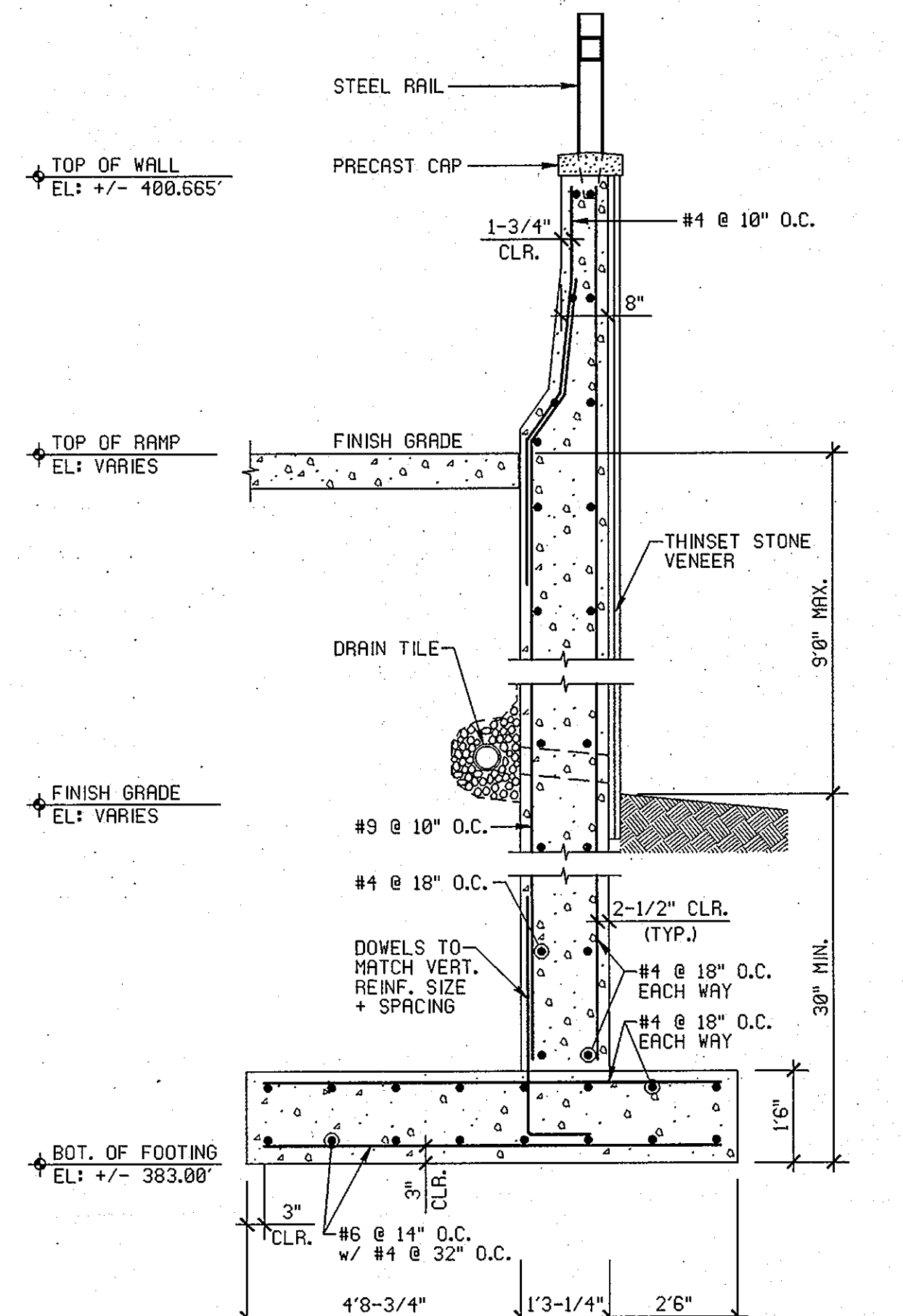
SPECIAL INSPECTION: STRUCTURAL STEEL AND CONCRETE CONSTRUCTION SHALL BE INSPECTED AS REQUIRED PER SECTION 1704 OF THE IBC 2003 AND THE JURISDICTION OF THE PROJECT.



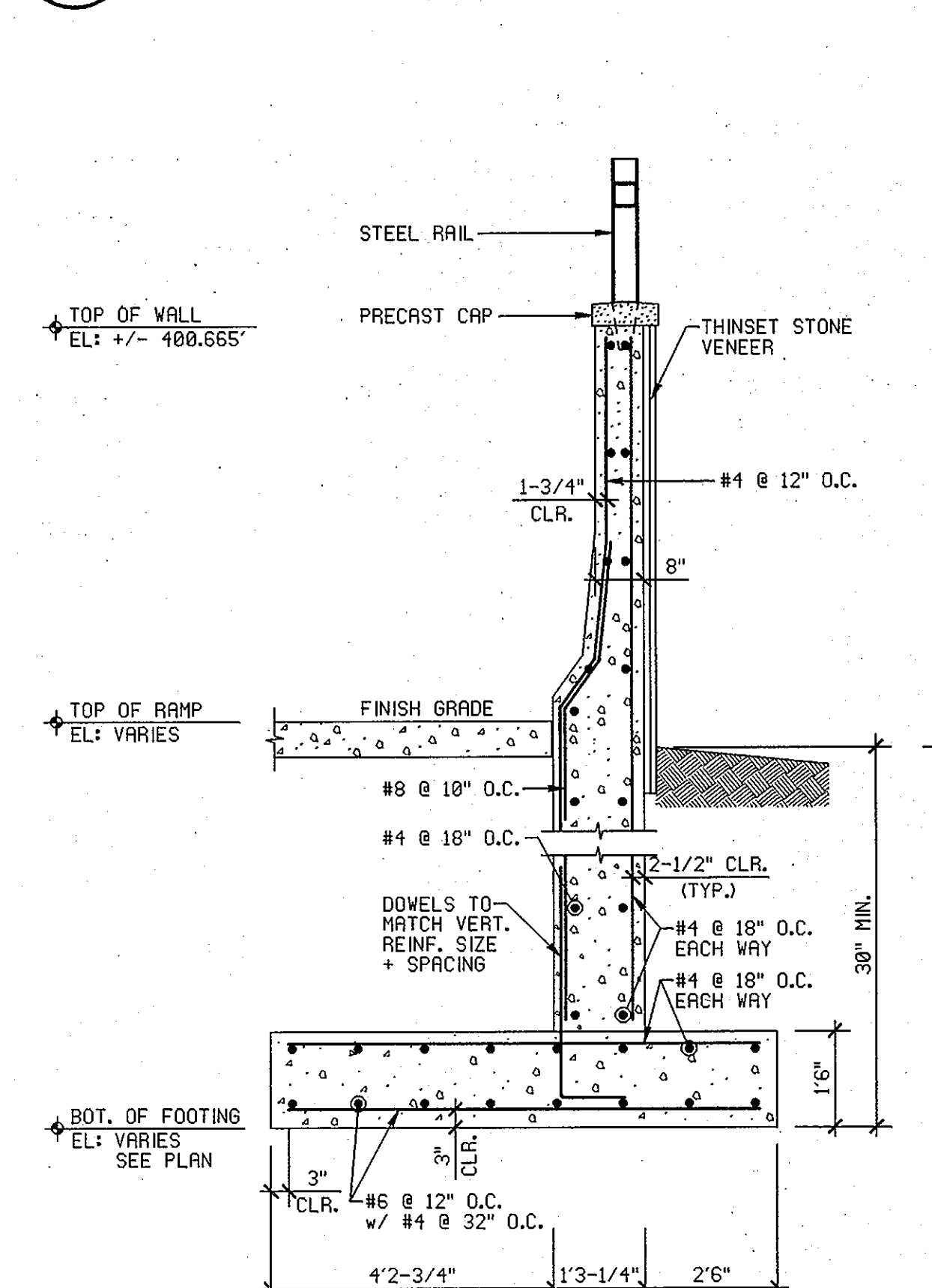
**1 RETAINING WALL SECTION**  
SCALE: 1/2"=1'-0"  
REF: 17A-10A



**3 RETAINING WALL SECTION**  
SCALE: 1/2"=1'-0"  
REF: 17A-10A



**2 RETAINING WALL SECTION**  
SCALE: 1/2"=1'-0"  
REF: 17A-10A



**4 RETAINING WALL SECTION**  
SCALE: 1/2"=1'-0"  
REF: 17A-10A

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *Thomas G. Sweller* Date: 8/27/10  
 Chief, Division of Land Development: *Robert J. ...* Date: 8/27/10  
 Chief, Development Engineering Division: *...* Date: 8/26/10

APPROVED: PLANNING BOARD OF HOWARD COUNTY  
 DATE: January 31, 2008 and April 24, 2008 & April 7, 2011

DES.	DRN.	CHK.	DATE	REVISION	BY	APP'R.

PREPARED FOR:  
 OWNER/DEVELOPER/LAND LEASER: SCIENCE FICTION, LLC  
 C/O ANTIWEATHER AUTOMOTIVE GROUP  
 6440 BALTIMORE NATIONAL PIKE  
 CATONSVILLE, MD 21228  
 CONTACT: STEPHEN LEATY  
 565-464-4600 EXT. 6833

LAND LEASER:  
 WEGMANS FOOD MARKETS, INC.  
 100 WEGMANS MARKET STREET  
 ROCHESTER, NY 14624  
 CONTACT: STEPHEN LEATY  
 565-464-4600 EXT. 6833

**STRUCTURAL NOTES & SECTIONS - RETAINING WALL**  
**WEGMANS FOOD MARKETS**  
 COLUMBIA SIELING INDUSTRIAL CENTER  
 PARCEL D-2' (redevelopment of Parcel D-1)  
 TAX MAP PARCEL 356  
 SECTION 1, AREA 1; PLAT Nos. 17484, 20012 & 21178  
 6TH ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

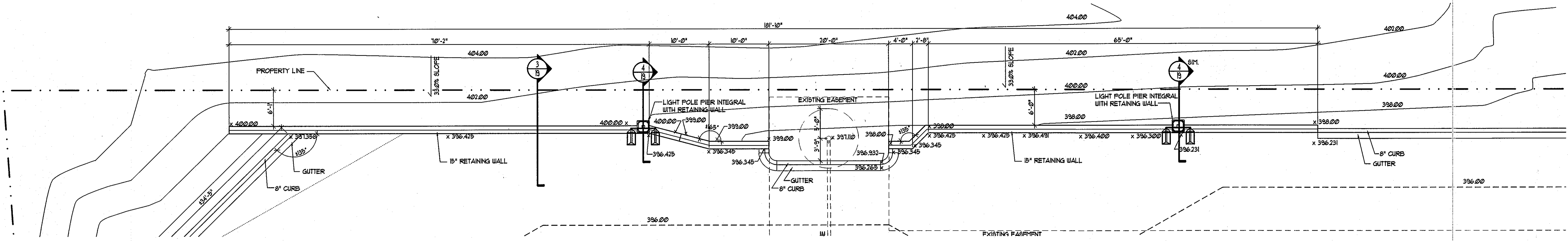
**WATKINS** 3032 Mitchellville Road  
 Suite 202  
 ANNAPOLIS, MD 21403  
 (410) 744-4700  
 WASH. (301) 248-0974  
 FAX (301) 248-0976

PROJECT #: 20100101

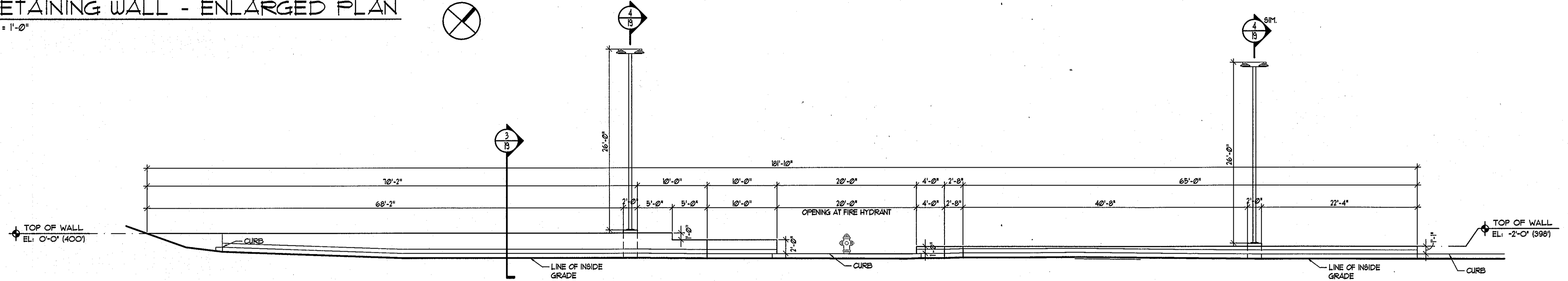
Professional Certification  
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
 License Number: 12859, E.M.W. expiration date: October 11, 2011

SCALE	ZONING	G. L. W. FILE No.
	NT	
DATE	SHEET	
JUN/2010	TM 36 - 24	18 OF 21

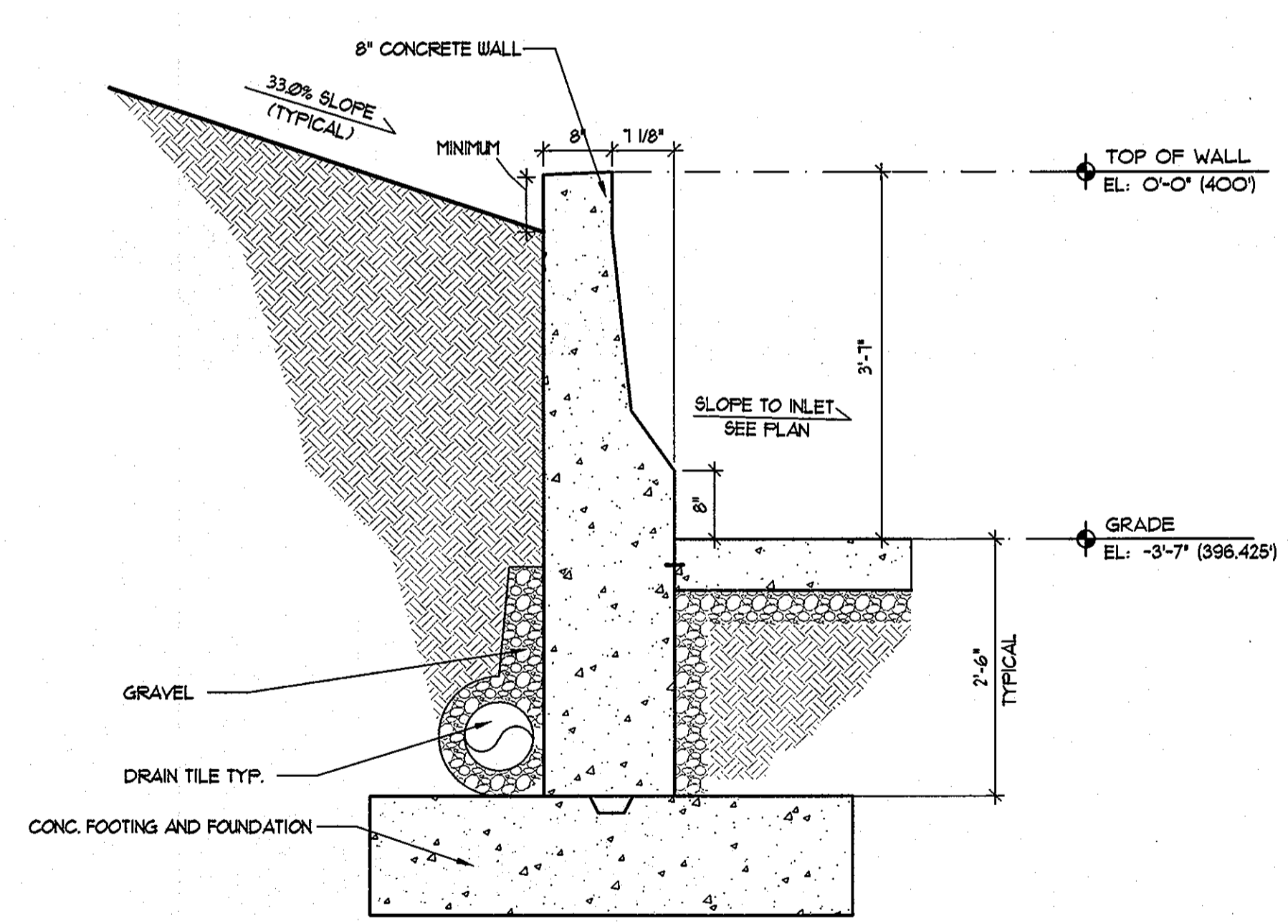
SDP-07-131



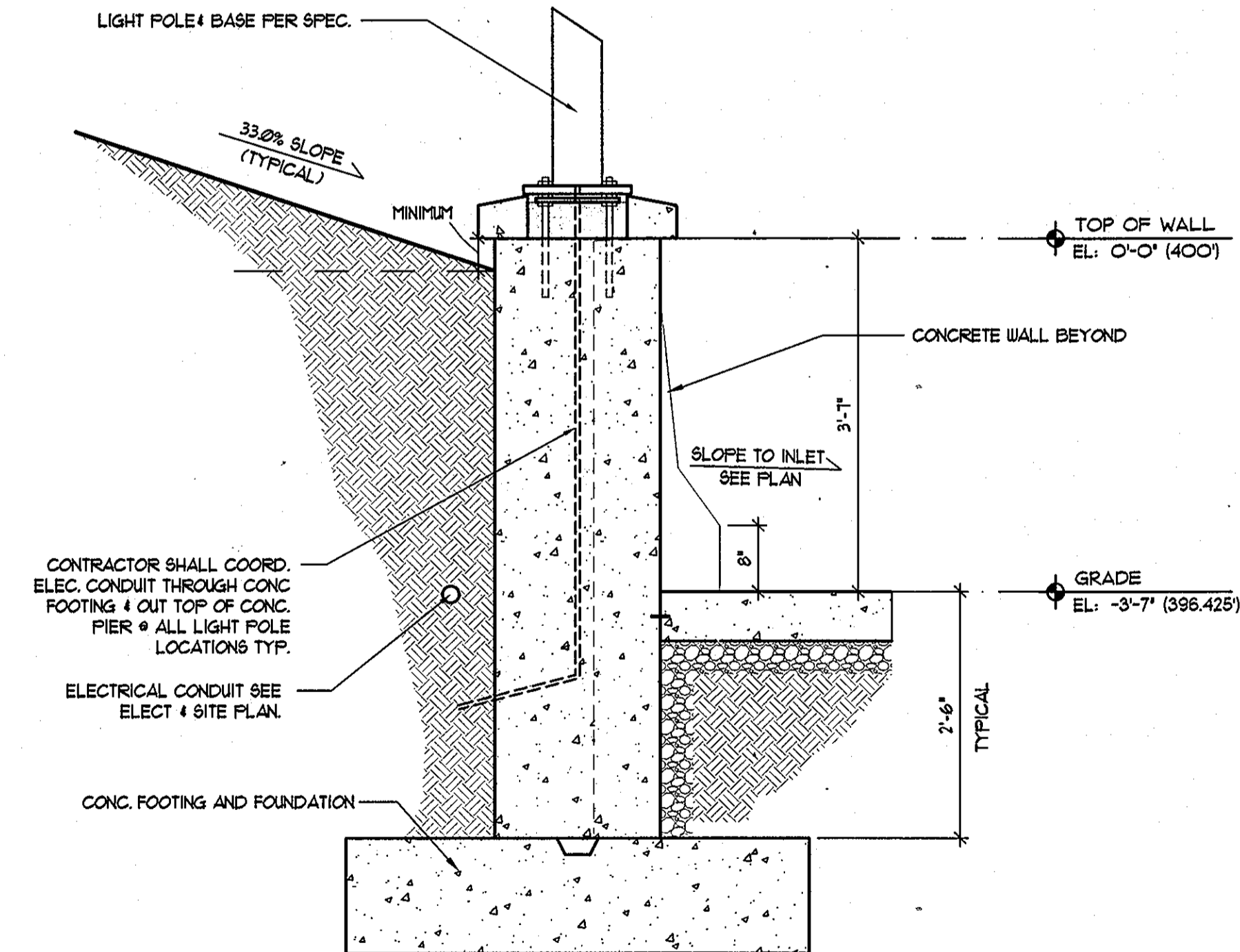
1 RETAINING WALL - ENLARGED PLAN  
1/8" = 1'-0"



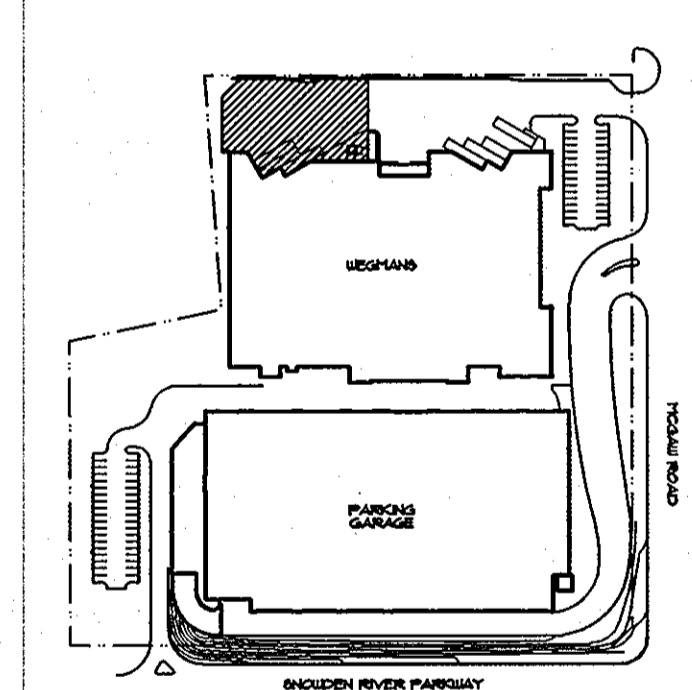
2 RETAINING WALL - INTERIOR ELEVATION  
1/8" = 1'-0"



3 RETAINING WALL SECTION  
3/4" = 1'-0"



4 RETAINING WALL SECTION @ LIGHT PIER  
3/4" = 1'-0"



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
*Thomas E. Suttler* 3/24/10  
 Director Date  
*W. J. Sheehan* 3/24/11  
 Chief, Division of Land Development Date  
*William J. ...* 3/14/11  
 Chief, Development Engineering Division Date

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 DATE January 31, 2008 and April 24, 2008  
 April 7, 2011

DES.	DRN.	CHK.	DATE	REVISION	BY	APPR.

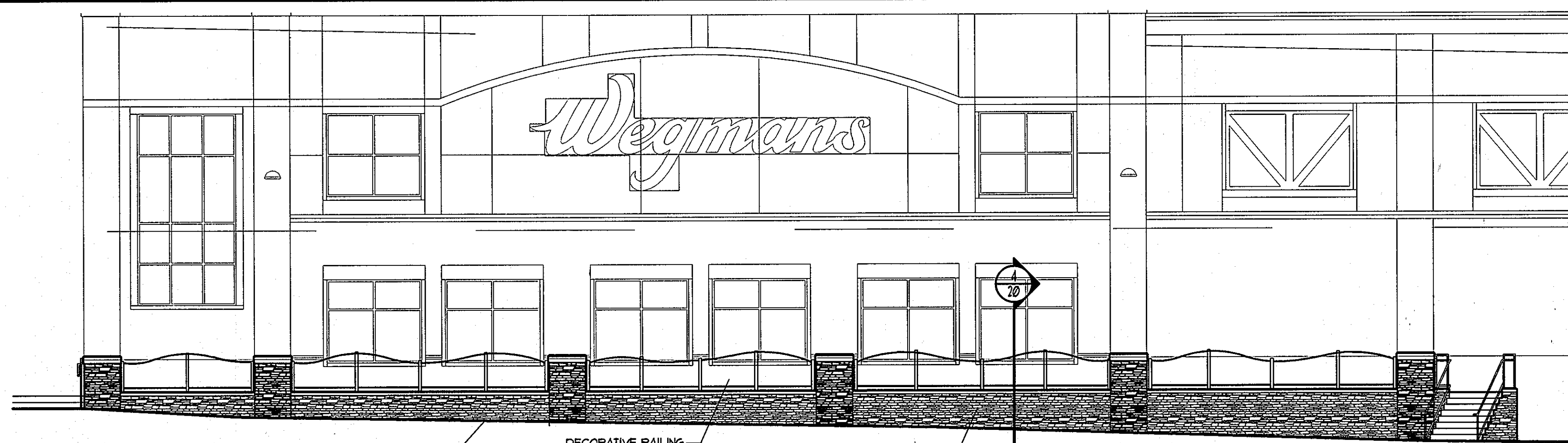
DATE	REVISION	BY	APPR.

OWNER/DEVELOPER/AND LEASER:	LAND LEASEE:
SCIENCE FICTION, LLC C/O ANTIWERPEN AUTOMOTIVE GROUP 6440 BALTIMORE NATIONAL PIKE CATONSVILLE, MD 21228	WEGMANS FOOD MARKETS, INC. 100 WEGMANS MARKET STREET ROCHESTER, NY 14624
CONTACT: STANFORD HESS	CONTACT: STEPHEN LEATY 585-464-4600 EXT. 6833

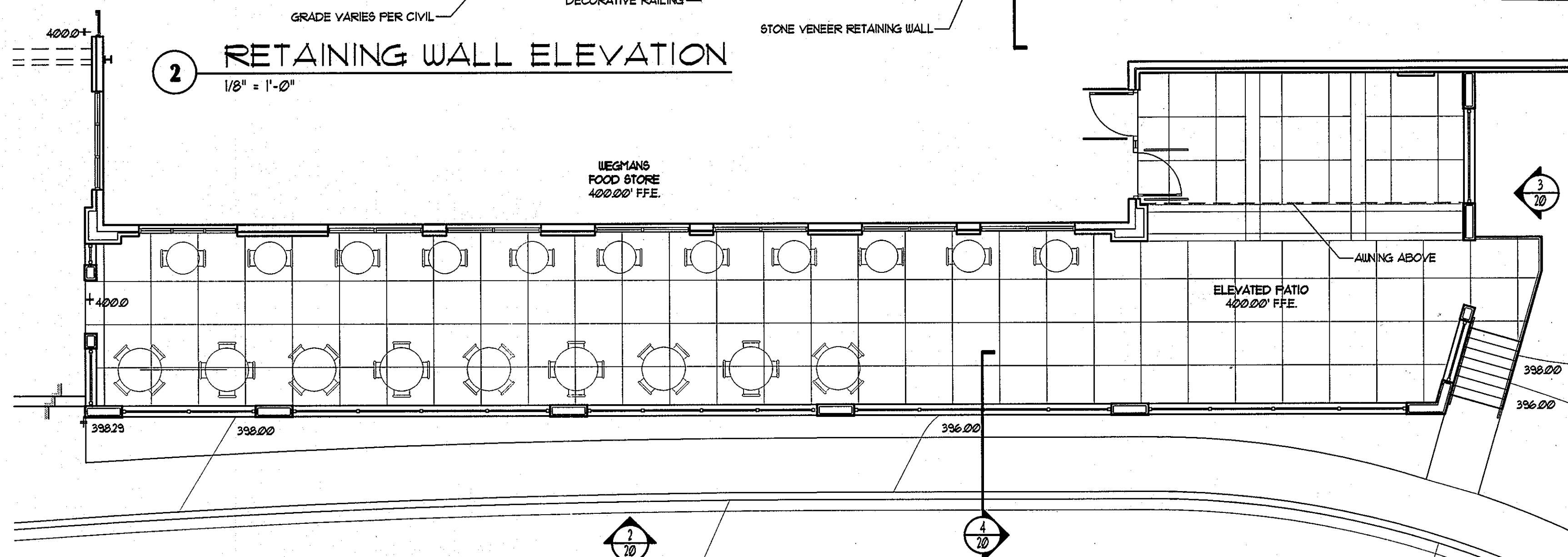
PREPARED FOR:  
 REAR RETAINING WALL - PLAN, SECTIONS & ELEVATION  
**WEGMANS FOOD MARKETS**  
 COLUMBIA SIELING INDUSTRIAL CENTER  
 PARCEL D-2 (redevelopment of Parcel D-1)  
 TAX MAP PARCEL 356  
 SECTION 1, AREA 1, PLAT Nos. 17484, 20012 & 21178  
 6TH ELECTION DISTRICT

ARCHITECT  
**Bignell Watkins Hasser**  
 ARCHITECTS P.C.  
 ONE PARK PLACE, SUITE 250  
 ANNAPOLIS, MARYLAND 21401  
 Maryland: (301) 261-8228  
 MD Fax: (410) 224-4443  
 Annapolis: (410) 841-6595  
 (410) 224-2727  
 Website: www.bigwaha.com  
 8500 LEESBURG PIKE, SUITE 503  
 VIENNA, VIRGINIA 22182  
 Virginia: (703) 288-3320  
 VA Fax: (703) 288-4211

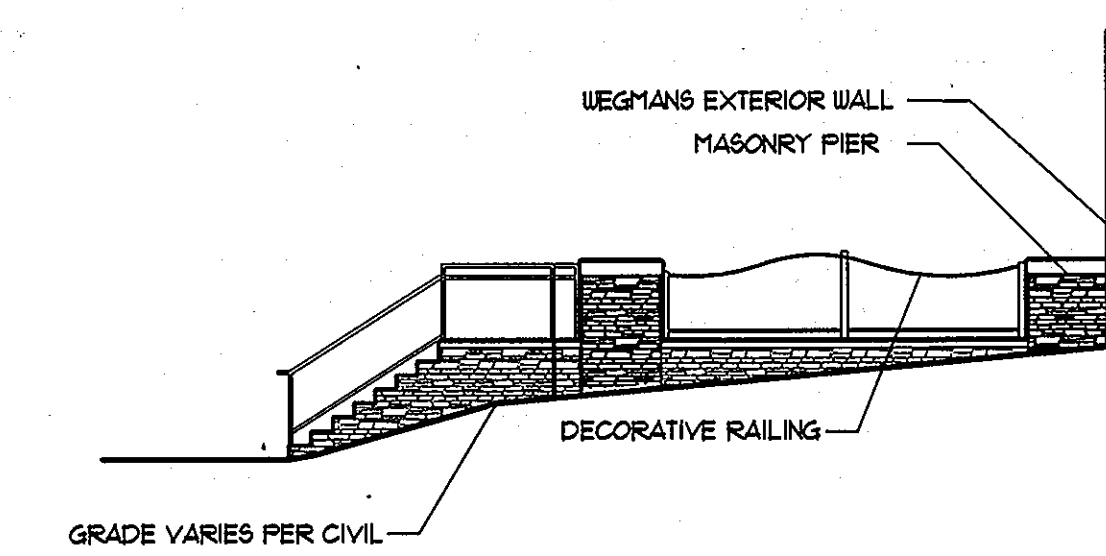
SCALE	ZONING	G. L. W. FILE No.
	NT	
DATE	SHEET	
JANUARY/2011	TM 36 - 24	19 OF 21



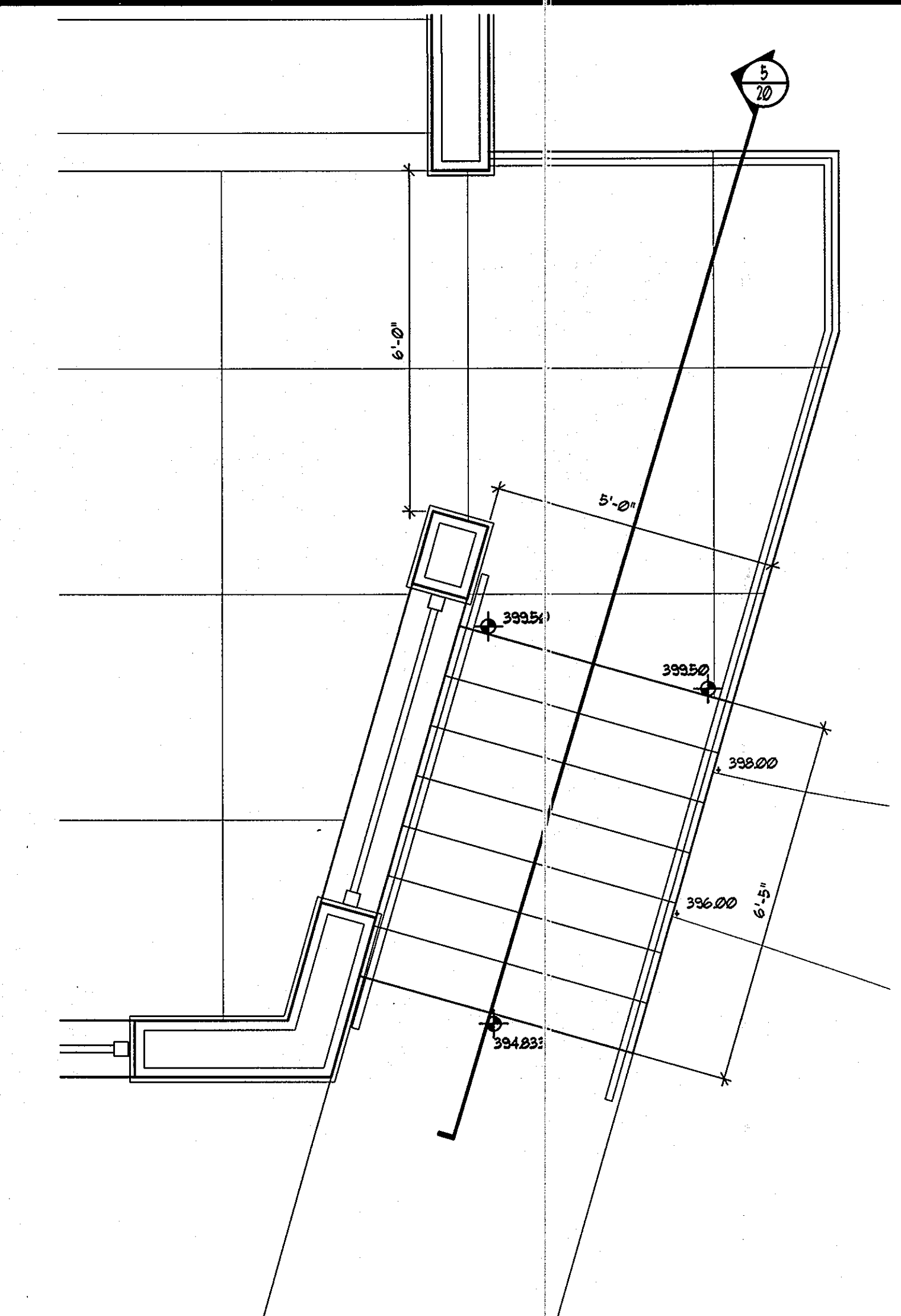
**2 RETAINING WALL ELEVATION**  
1/8" = 1'-0"



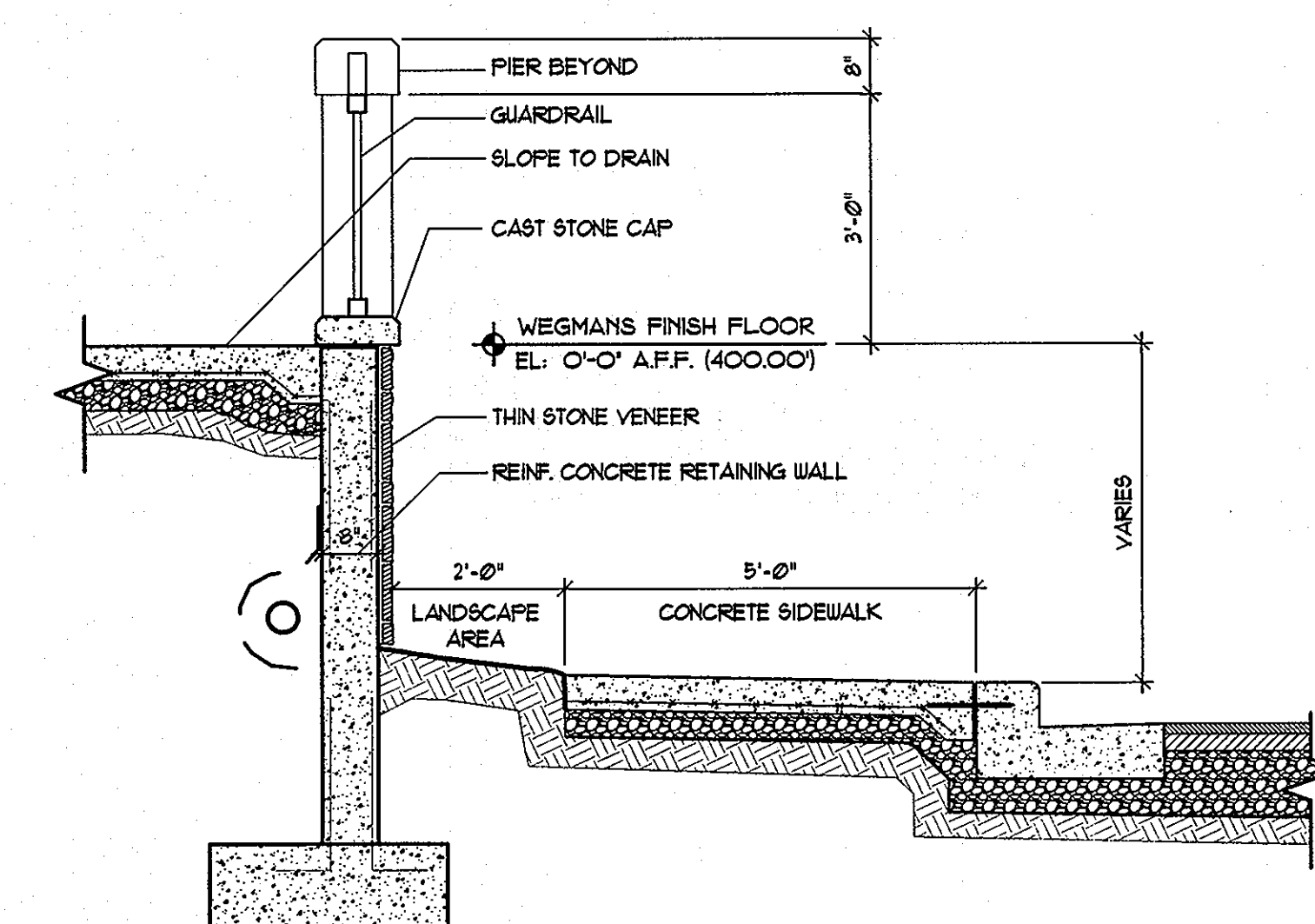
**1 PARTIAL SITE PLAN (STAIR OPTION)**  
1/8" = 1'-0"



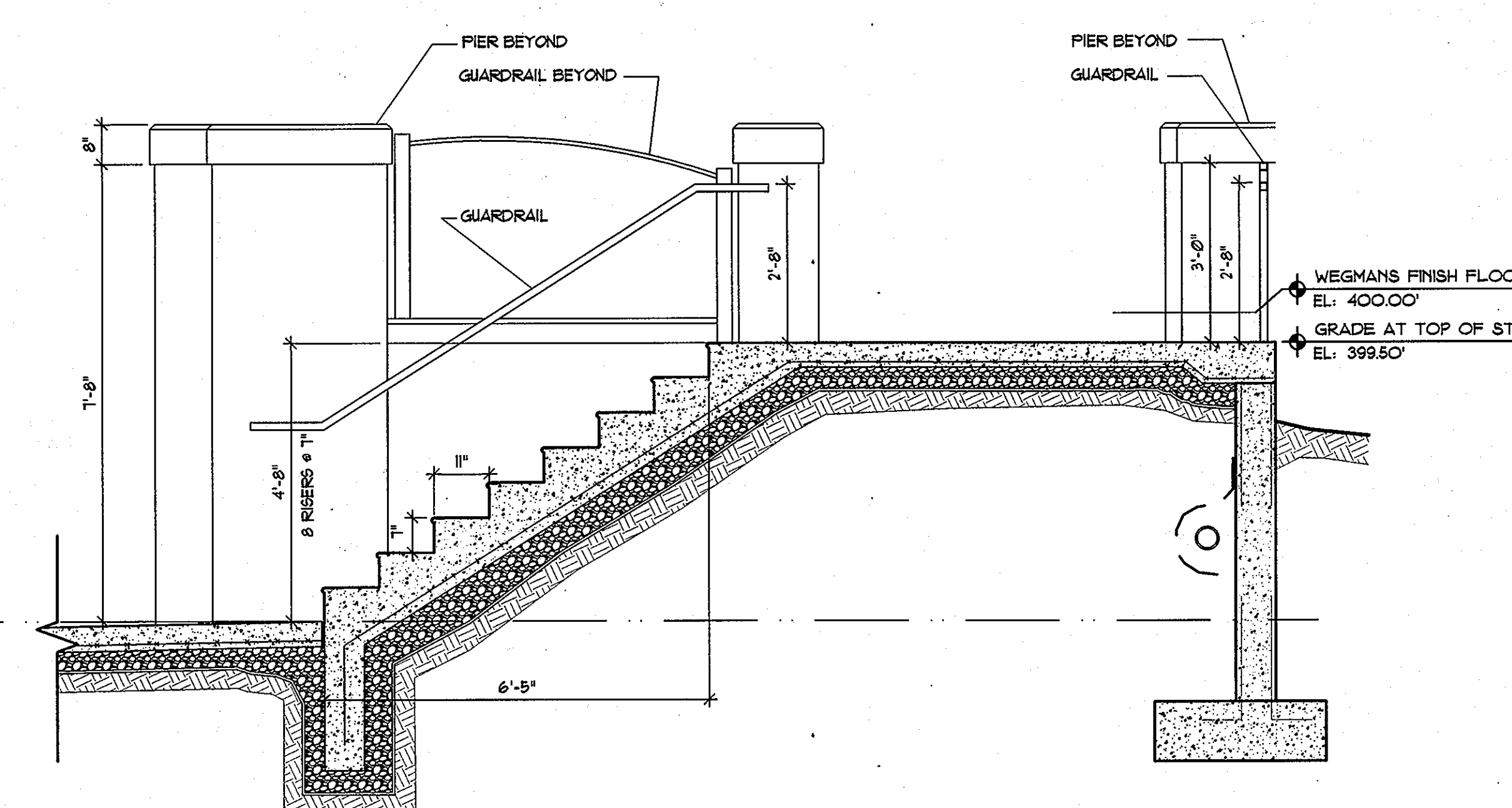
**3 RETAINING WALL ELEVATION**  
1/8" = 1'-0"



**6 PARTIAL SITE PLAN (STAIR)**  
1/2" = 1'-0"



**4 RETAINING WALL SECTION**  
1/2" = 1'-0"



**5 STAIR SECTION**  
1/2" = 1'-0"

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
*Thomas S. Swelle* 3/21/11  
 Director Date  
*Scott Shuler* 3/21/11  
 Chief, Division of Land Development Date  
*John Williams* 3/14/11  
 Chief, Development Engineering Division Date

APPROVED: PLANNING BOARD OF HOWARD COUNTY  
 DATE January 31, 2008 and April 24, 2008 & April 17, 2011

DES.	DRN.	CHK.	DATE	REVISION	BY	APPR.

PREPARED FOR:  
 OWNER/DEVELOPER/LAND LEASER:  
 SCIENCE FICTION, LLC  
 C/O ANTWERPEN AUTOMOTIVE GROUP  
 8440 BALTIMORE NATIONAL PKE  
 CATONSVILLE, MD 21228  
 CONTACT: STANFORD HESS

LAND LEASER:  
 WEGMANS FOOD MARKETS, INC.  
 100 WEGMANS MARKET STREET  
 ROCHESTER, NY 14624  
 CONTACT: STEPHEN LEATY  
 585-464-4600 EXT. 6833

SEATING AREA - PLAN, SECTIONS & ELEVATION  
**WEGMANS FOOD MARKETS**  
 COLUMBIA SIELING INDUSTRIAL CENTER  
 PARCEL 'D-2' (redevelopment of Parcel D-1)  
 TAX MAP PARCEL 356  
 SECTION 1, AREA 1; PLAT Nos. 17484, 20012 & 21178  
 6TH ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

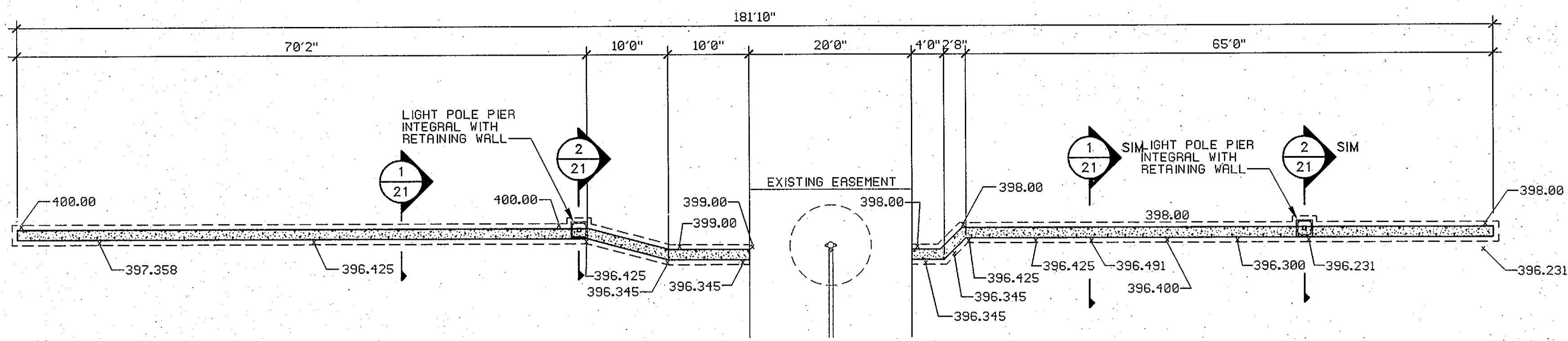
**Bignell Watkins Hasser**  
 ARCHITECTS P.C.

ONE PARK PLACE, SUITE 250  
 ANNAPOLIS, MARYLAND 21401  
 Maryland: (301) 261-8228  
 MD Fax: (410) 224-4443  
 Baltimore: (410) 841-8595  
 Annapolis: (410) 224-2727

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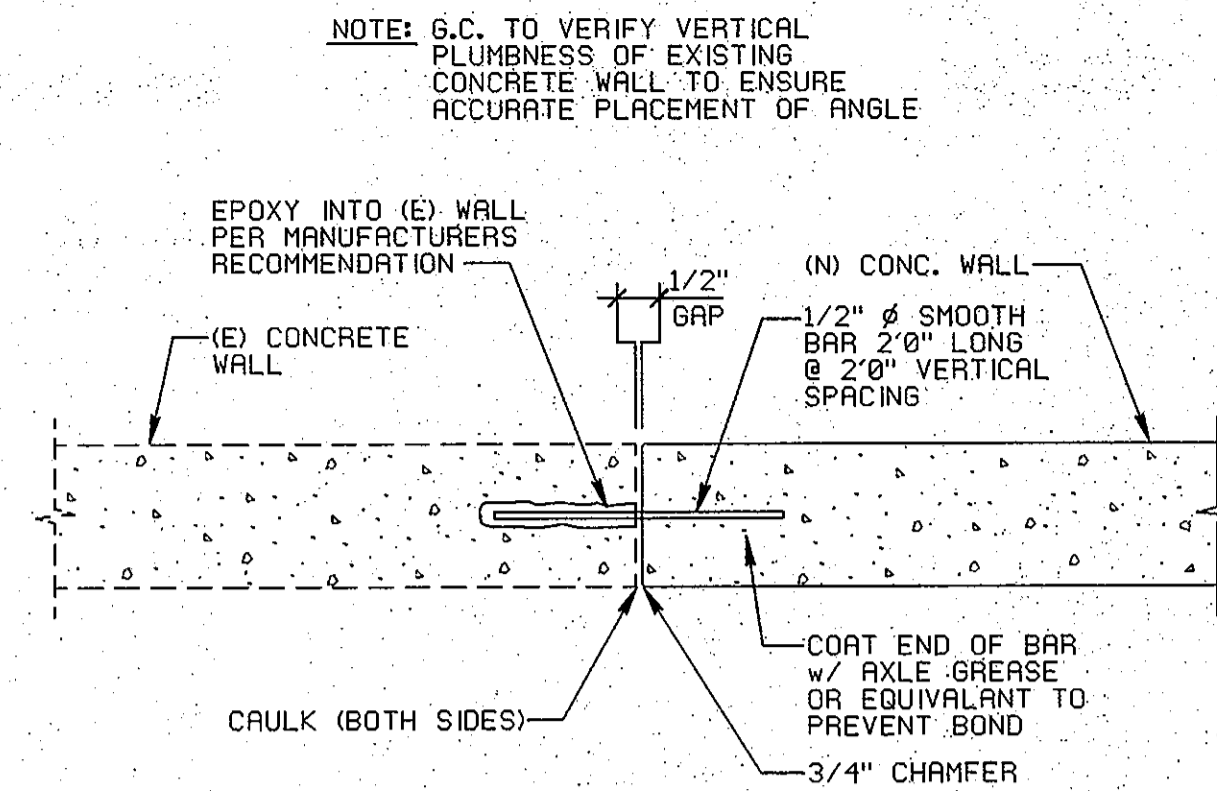
SCALE	ZONING	G. L. W. FILE No.
	NT	
DATE	SHEET	
JANUARY/2011	TM 36 - 24	20 OF 21



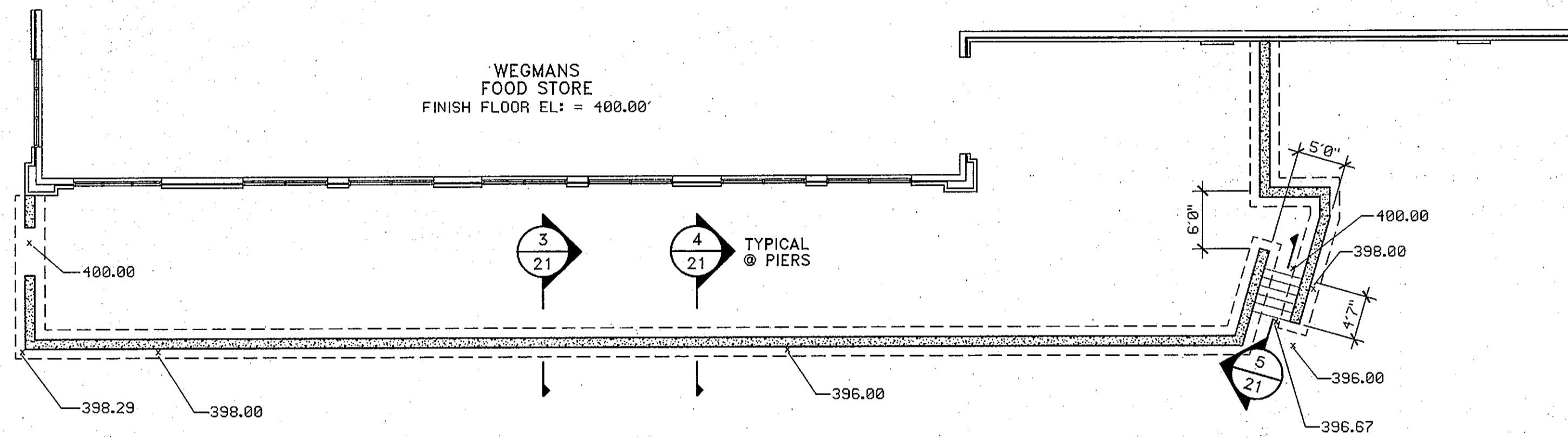


RETAINING WALL - PLAN

SCALE: 3/32" = 1'0"

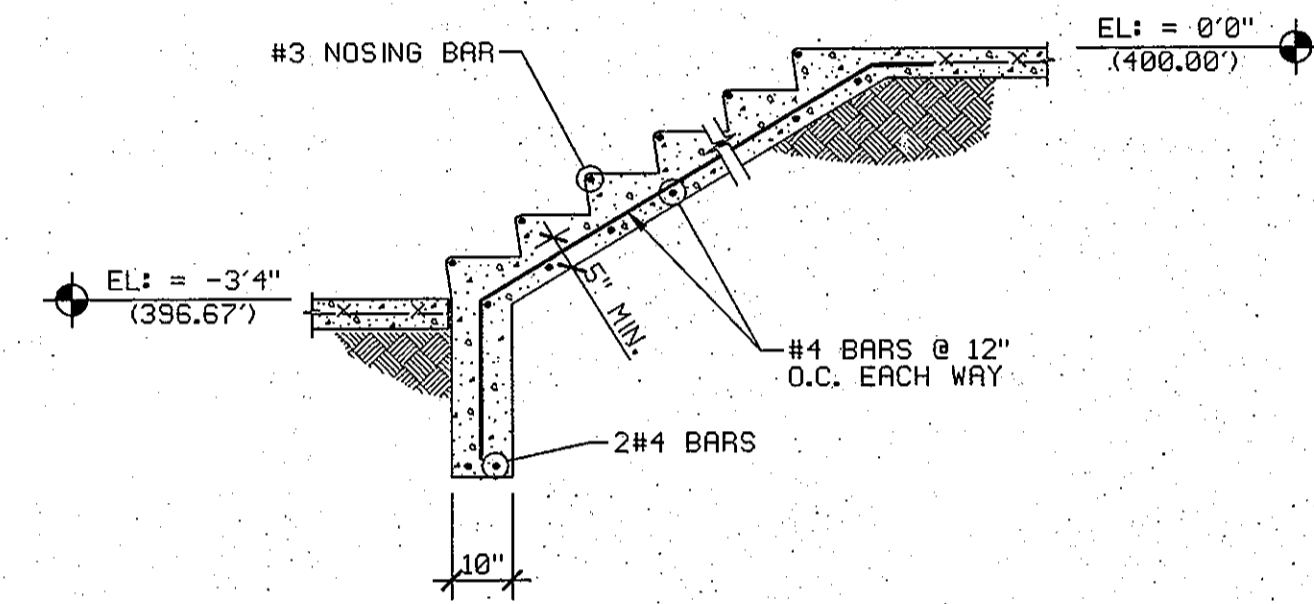


D20b BONDING ANGLE DETAIL  
DET



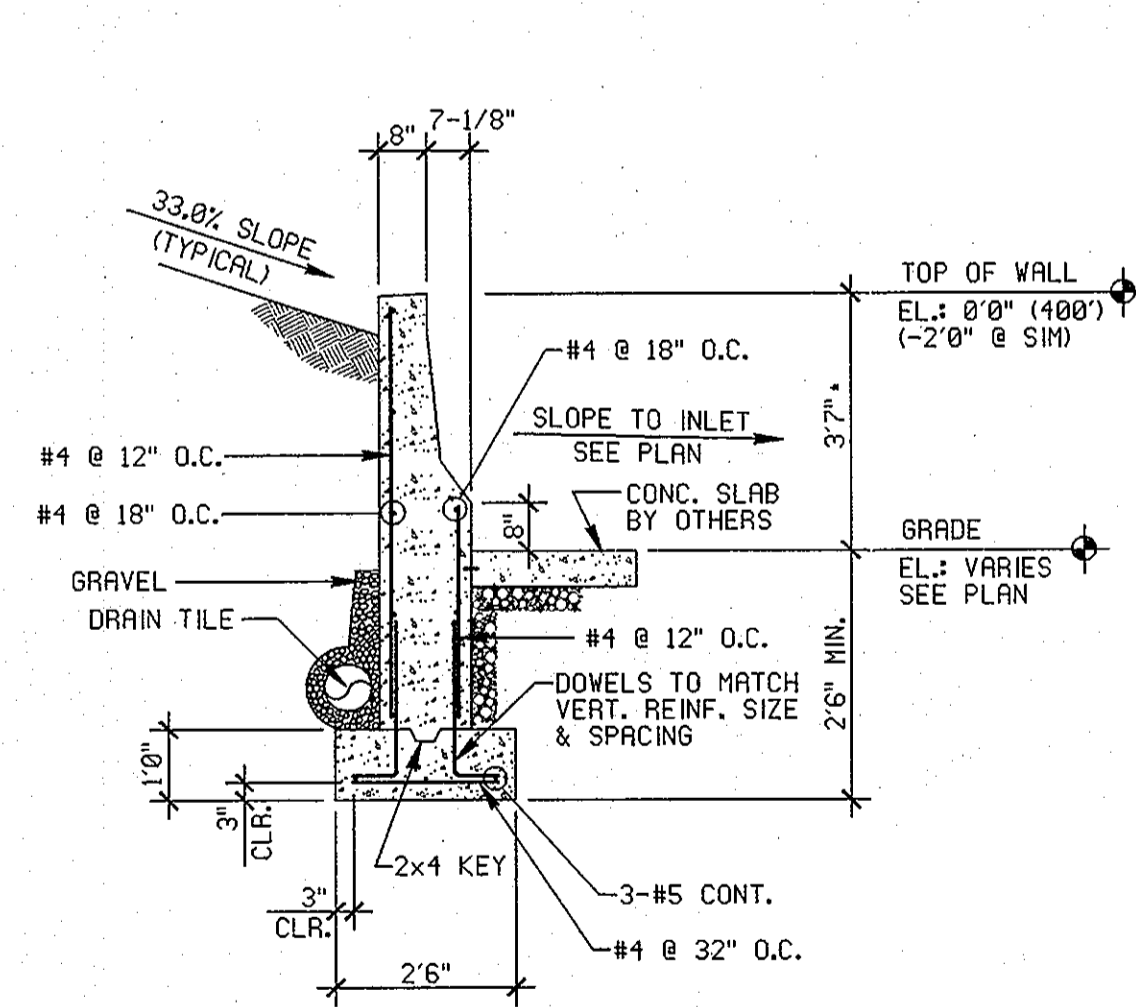
PARTIAL FOUNDATION PLAN (STAIR OPTION)

SCALE: 3/32" = 1'0"



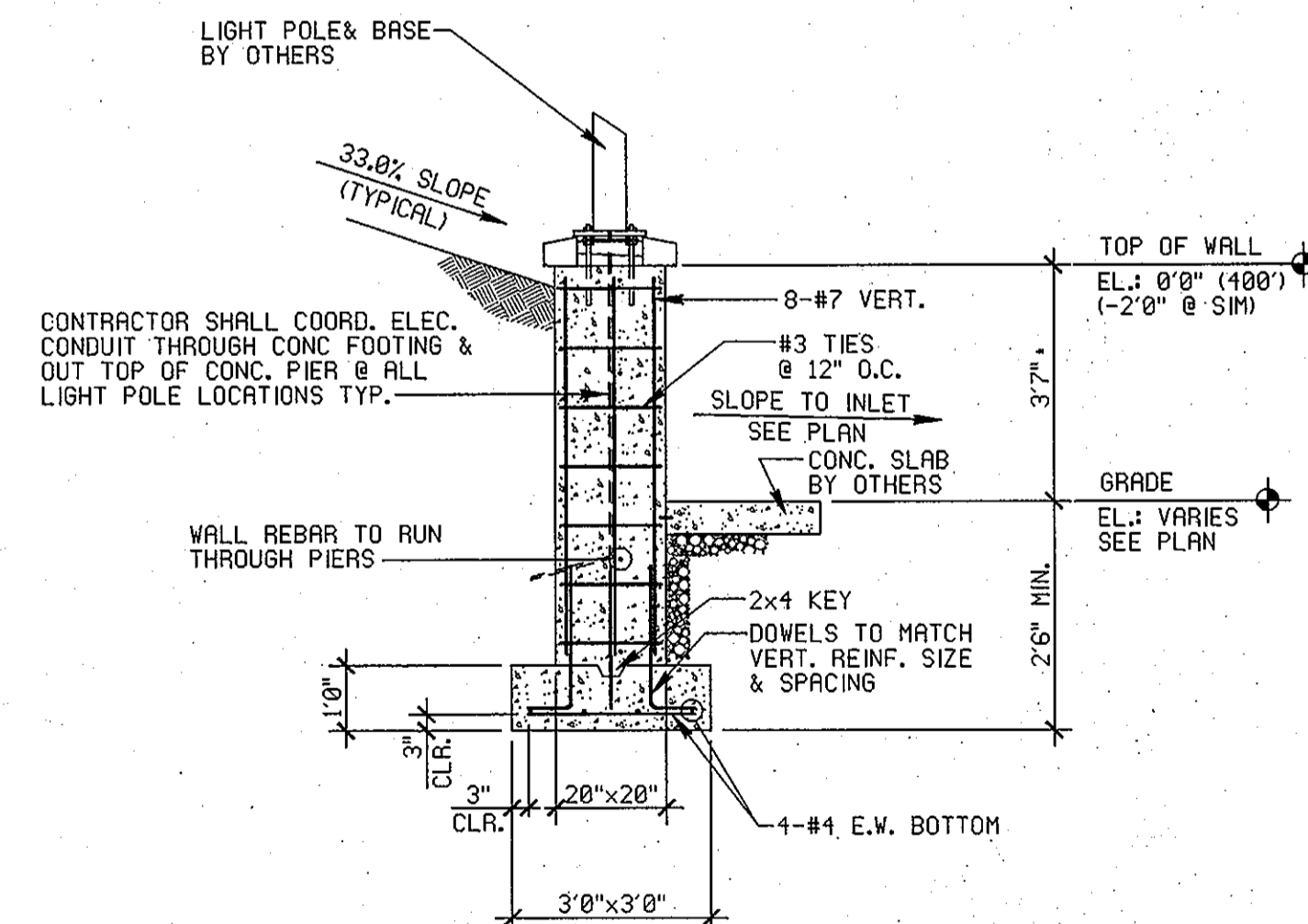
5 STAIR SECTION

SCALE: 3/8" = 1'0"



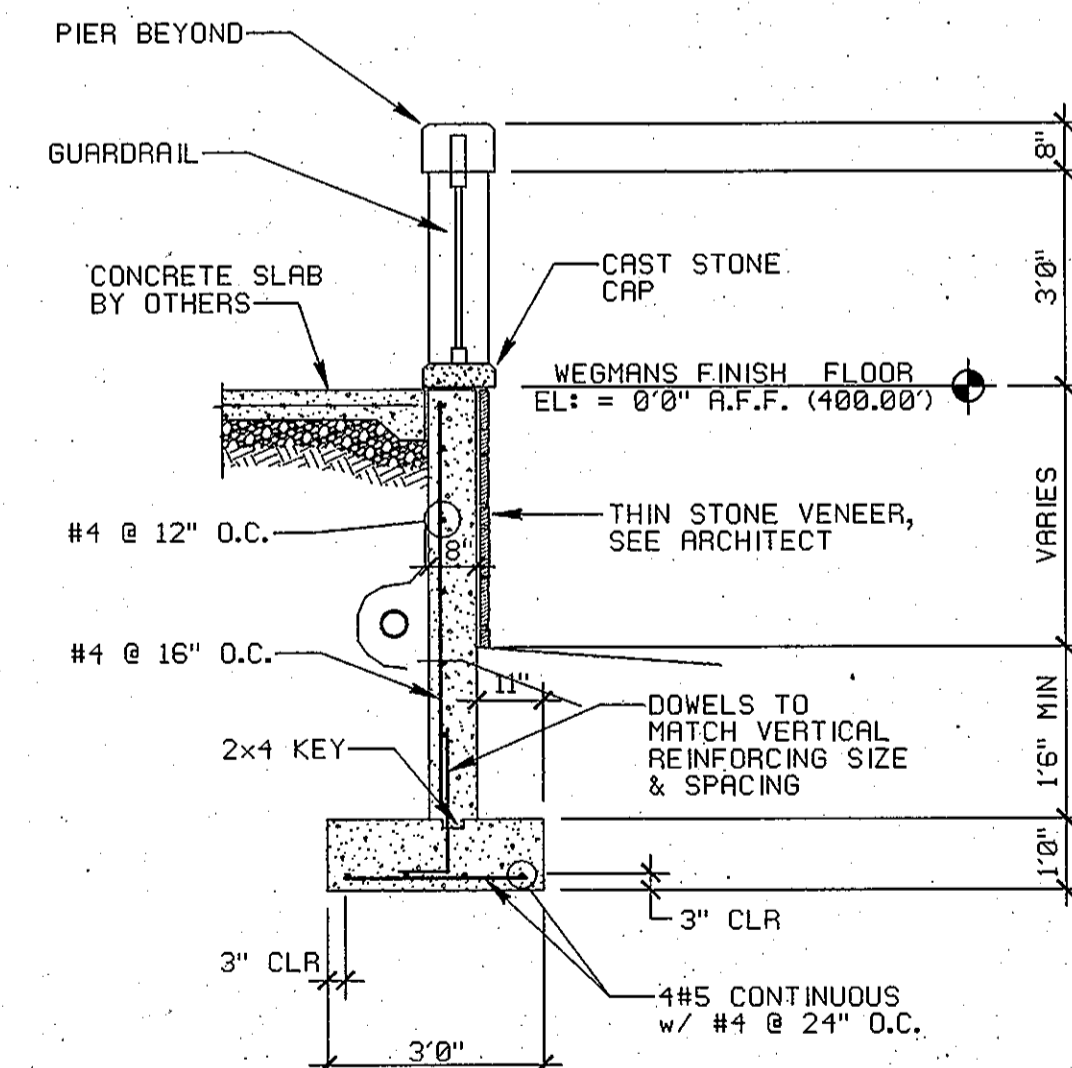
SECTION 1

SCALE: 3/8" = 1'0"



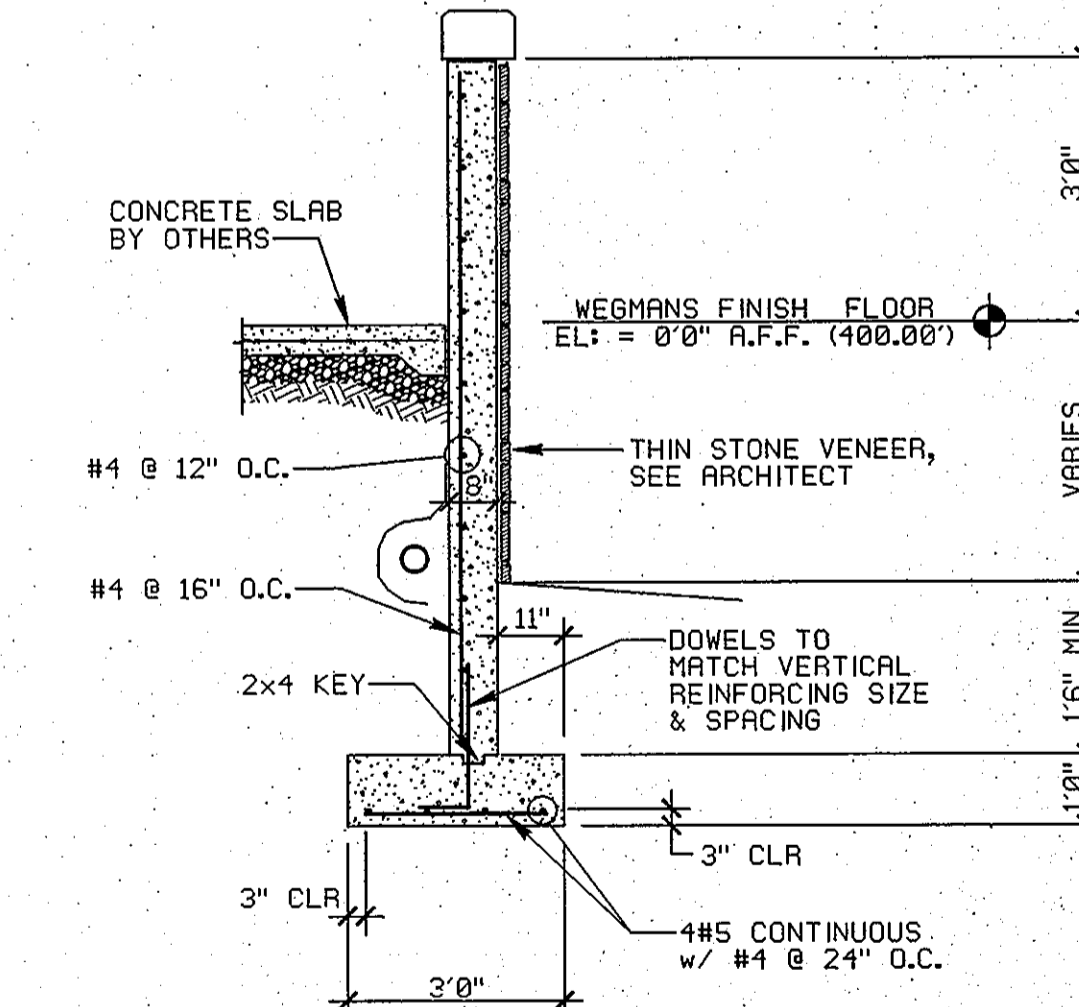
SECTION 2

SCALE: 3/8" = 1'0"



RETAINING WALL SECTION 3

SCALE: 3/8" = 1'0"



PIER SECTION 4

SCALE: 3/8" = 1'0"

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *Thomas & Butler* Date: 3/21/11  
 Chief, Division of Land Development: *West Sladon* Date: 3/24/11  
 Chief, Development Engineering Division: *Williamson* Date: 3/14/11

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 DATE: January 31, 2008 and April 24, 2008 & April 7, 2011

**WATKINS** Consulting Structural Engineering  
 3032 Mitchellville Road, Suite 202, Bowie, Maryland 20716  
 ANNAP. (410) 744-7781 WASH. (301) 248-0974 FAX (301) 248-0976  
 PROJECT #: 20100101

*Professional Engineer*  
 No. 12658  
 REGISTERED PROFESSIONAL ENGINEER  
 WASH. STATE  
 MAR 1 2011

Professional Certification  
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.  
 License number: 12658, S.M.N.V. - expiration date: October 31, 2011.

DES.	DRN.	CHK.	DATE	REVISION	BY	APPR.

PREPARED FOR:  
 OWNER/DEVELOPER/LAND LEASER: SCIENCE FICTION, LLC  
 CO. ANTIWEPPER AUTOMOTIVE GROUP  
 6440 BALTIMORE NATIONAL PIKE  
 CATONSVILLE, MD 21228  
 CONTACT: STANFORD HESS  
 LAND LEASEE: WEGMANS FOOD MARKETS, INC.  
 100 WEGMANS MARKET STREET  
 ROCHESTER, NY 14624  
 CONTACT: STEPHEN LEATY  
 585-464-4600 EXT. 6833

RETAINING WALLS - PLAN & SECTIONS  
**WEGMANS FOOD MARKETS**  
 COLUMBIA SIELING INDUSTRIAL CENTER  
 PARCEL D-2 (redevelopment of Parcel D-1)  
 TAX MAP PARCEL 356  
 SECTION 1, AREA 1; PLAT Nos. 17484, 20012 & 21178  
 6th ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
AS NOTED	NT	
DATE	SHEET	
JANUARY/2011	TM 36 - 24	21 OF 21