

GENERAL NOTES:

- The subject property is zoned R-5C per the 2/2/04 Comprehensive Zoning Plan and per the "Comp Lite" Zoning Amendments effective 7/22/06.
- All construction shall be in accordance with the latest Standards and Specifications of Howard County Design Manual Vol. IV and current MSHA Standards & Specifications.
- Project Background:
 Subdivision: Clay Property, Lots 1 & 2
 Location: 9301 All Saints Road
 Laurel, Maryland 20723
 Tax Map: Map 50 / Grid: 2 / Parcel: 496
 Election District: 6th
 Current Plat Reference: 4599
 Current Deed Reference: L 9204, F. 595
- The Boundary shown hereon is based on a field run boundary survey by LDE, Inc. completed November, 2006. SDP is based on plat #4599 with NAD 83 tie in, Bearing & Distance rotated per LDE boundary.
- The topography shown hereon was field run by LDE, Inc. in November, 2006.
- Horizontal and Vertical Datums are related to the Maryland State Plane Coordinate System (NAD 83) as projected from Howard County Control Stations No. 47GC & 47H2.
- Any damage caused by the contractor to existing public right-of-way, existing paving, existing curb and gutter, existing utilities, etc. shall be corrected at the contractor's expense.
- The existing utilities shown hereon are located from field surveys and construction drawings of record. The contractor shall locate existing utilities to his own satisfaction and will in advance of any construction activities. Additionally, the contractor shall take all necessary precautions to protect all existing utilities and maintain uninterrupted service. Any damage incurred to utilities or existing features due to contractor's operation shall be repaired immediately at the contractor's expense.
- There may be additional utilities not shown on these plans. The engineer assumes no responsibility for utility locations not shown and it shall be the responsibility of the contractor to verify the locations of all existing utilities within the limits of construction and notify the engineer of any discrepancies, prior to the start of construction.
- Site Analysis Data:
 a. Total Platted Area (Lot 1): 21,273 s.f. / 0.488 Acres
 b. Area of Plan Submission: 0,488 Acres
 c. Limit of Disturbed Area: 4,850 s.f.
 d. Present Zoning Designation: R-5C
 e. Proposed Site and Structure Use: One (1) SFD house
 f. Building coverage of site: 1,400 s.f. (0.032, Ac) 6.62% of site area
 g. Applicable DPE File Reference: Plat 4599, VP-80-052, F-80-088, NP12-120
- There are no wetlands on lot 1 per a field investigation by LDE, Inc. in August, 2006.
- In accordance with Section 12B of the Howard County Zoning Regulations, bay windows, chimneys or exterior stairways not more than 18 feet in width may project not more than 4 feet into any setbacks. Porches or decks, open or enclosed may project not more than 10 feet into the front or rear yard setbacks.
- See Architectural Plans for building dimensions and design details.
- This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and the Landscaping Manual. Financial surety for the required perimeter landscaping shall be posted with the builders grading permit in the amount of \$1,500.00 for five (5) shade trees.
- There are no streams, stream buffers, wetlands or wetland buffers, steep slopes or 100 year floodplain within the boundary of Lot 1.
- The contractor shall notify the Department of Public Works/Bureau of Engineering/Construction Inspection at (410) 313-1800 at least five (5) working days prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least forty-eight (48) hours prior to any excavation work.
- Driveways shall be provided prior to issuance of a use and occupancy permit for any new dwellings to insure safe access for fire and emergency vehicles per the following minimum requirements:
 a. Width: 12' (16' serving more than one residence);
 b. Surface: 5' compacted crusher run base with tar and chip coating (1/2" min.);
 c. Geometry - Max. 1% grade, max. 10% grade change, minimum 45 ft. turning radius;
 d. Structures (culverts/bridges)-capable of supporting 25 gross tons (H25 loading);
 e. Drainage Elements - capable of safely passing 100 year flood with no more than 1 ft. depth over driveway surface;
 f. Maintenance - sufficient to insure all weather use.
- For flag or pipestem lots, refuse collection, snow removal and road maintenance are provided to the junction of the flag or pipestem and road right-of-way line and not to the pipestem lot driveway.
- A use-in-common driveway maintenance agreement has been recorded in the Land Records of Howard County in Liber 2985, Folio 188, for the shared driveway serving lots 1 & 2, and any lots created by this subdivision.
- Public water and sewer connections are available for Lot 1 via Water Contract No. W-1 and Sewer Contract No. 30-5. Utility mains are located within the All Saints Road Right-of-Way.
- Any damage to Public "Right-of-Ways" or paved public roads shall be repaired immediately at the contractor's expense in accordance with the Howard County Standards and Specifications.
- All fill shall be rolled to a minimum degree of compaction of 95% of the dry unit weight as determined by ASTM D 1557.
- Earthwork quantities shown on this plan are estimated and should not be used for bid purposes. Contractors should perform independent earthwork analysis for bid purposes. Deviations from these plans and specifications without prior written consent of the civil engineer may cause the work to be unacceptable.
- The dimensioned distances shall govern if scaled and dimensioned distances on this plan are found to be in disagreement.
- See sheet 3 for Landscaping Schedule 'A', Planting Detail, Landscape Notes and Landscape Perimeter Summary.
- The protection of the retained landscaped trees and vegetation used as landscape credit is the responsibility of the builder. If the builder removes the credited landscaping, the builder is responsible for replacement in accordance with the Howard County Landscape Manual.
- In accordance with Section 16.120 of the Subdivision Regulations, this project is exempt from the requirements of the Howard County Code for Forest Conservation since it is a site development plan for development of land which is less than 40,000 square feet, and contains no forested areas.
- This subdivision plan is subject to the amended Fifth Edition of the Subdivision and Land Development Regulations per Council Bill No. 45-2003 and the Zoning Regulations as amended under Council Bill #75-2003 effective October 2nd, 2003. Development or construction of lot 1 must comply with setback and buffer regulations in effect at the time of submission of the site development plan or building permit application.
- Upon further subdivision of this property, a noise study may be required. Dwellings located within the front of the property may be within the noise envelope and may be required to be mitigated.
- On September 12, 2007 the Chief of the Development Engineering Division approved a design manual waiver from Howard County Design Manual Volume III, Section 2.6(B), Table 2.10 to allow the existing 20' common access easement to be used. Upon further subdivision of lots 1 & 2 a record plat will be required to increase the common driveway easement to the required 24'.
- On July 12, 2007 the Chief of the Development Engineering Division granted a Design Manual Waiver from Volume III, Section 2.5.2.4.3 to allow this project to only meet the stopping Sight Distance requirement.
- THIS PLAN IS EXEMPT FROM STORMWATER MANAGEMENT REQUIREMENTS. LIMIT OF DISTURBANCE IS LESS THAN 5,000 S.F. (0.115 AC). AT THE TIME OF BUILDING PERMIT, IF THE LIMIT OF DISTURBANCE EXCEEDS 5,000 S.F. SHM WILL NEED TO BE ADDRESSED.
- THE SITE CHANGES FOR USE OF HOWARD SOIL CONSERVATION DISTRICT STANDARD SEDIMENT CONTROL MEASURES.
- THIS PLAN IS SUBJECT TO WAIVER PETITION NO. 12-02, SECTION 16.124 (C) AND SECTION 16.125 (C) (2) WHICH ALLOW FOR IDENTIFICATION OF THE APPROVED AND SIGNED SITE DEVELOPMENT PLAN SDP-07-106, WHICH SHALL BE APPLIED TO THE APPROVED AND SIGNED SUBDIVISION PLAN SDP-07-106.
- SHM MUST COMPLY WITH THE CURRENT REGULATIONS.
- IF THE SUBDIVISION PLAN IS APPROVED, THE SHM SHALL BE SUBMITTED TO THE ENGINEER ON BEHALF OF THE DEVELOPER FOR REVIEW AND APPROVAL. THE CURRENT NAME OF THE OWNER/DEVELOPER SHOULD BE LISTED ON THE SHM.
- COMPLETION OF THE DEVELOPER'S AGREEMENTS AND PAYMENT OF DPM FEES.

SOILS NOTE: ACCORDING TO THE LATEST HOWARD COUNTY SOILS SURVEY ALL SOILS ON LOT 1 ARE UCB, URBAN LAND-CHILLUM-BELTSVILLE COMPLEX, 0-5% SLOPES.



DEVELOPER'S / BUILDER'S CERTIFICATION
 I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Subdivision and Land Development Regulations and the Landscape Manual. I/We further certify that upon completion, a letter notice, if accompanied by an executed One Year Guarantee of Plant Materials will be submitted to the Department of Planning and Zoning.

Keith A. Wharton 4/8/08
 DEVELOPER / BUILDER DATE

- BENCHMARK DESCRIPTIONS:**
- 47GC Standard stamped concrete monument located in concrete island on west side of Route 216 & All Saints Road intersection N 529439.75, E 1355445.37 (NAD 83)
 - 47H2 Standard stamped concrete monument located on the east side of All Saints Road, 0.4 miles north of All Saints Road & Route 216 intersection N 529706.44, E 1355445.37 (NAD 83)

SURVEYOR'S CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

John J. Adella 4/8/08
 SIGNATURE OF SURVEYOR DATE



DEVELOPER'S CERTIFICATE
 I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS AS DEEMED NECESSARY.

Keith A. Wharton 4/8/08
 SIGNATURE OF DEVELOPER DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John C. Robinson 4/15/08
 DATE

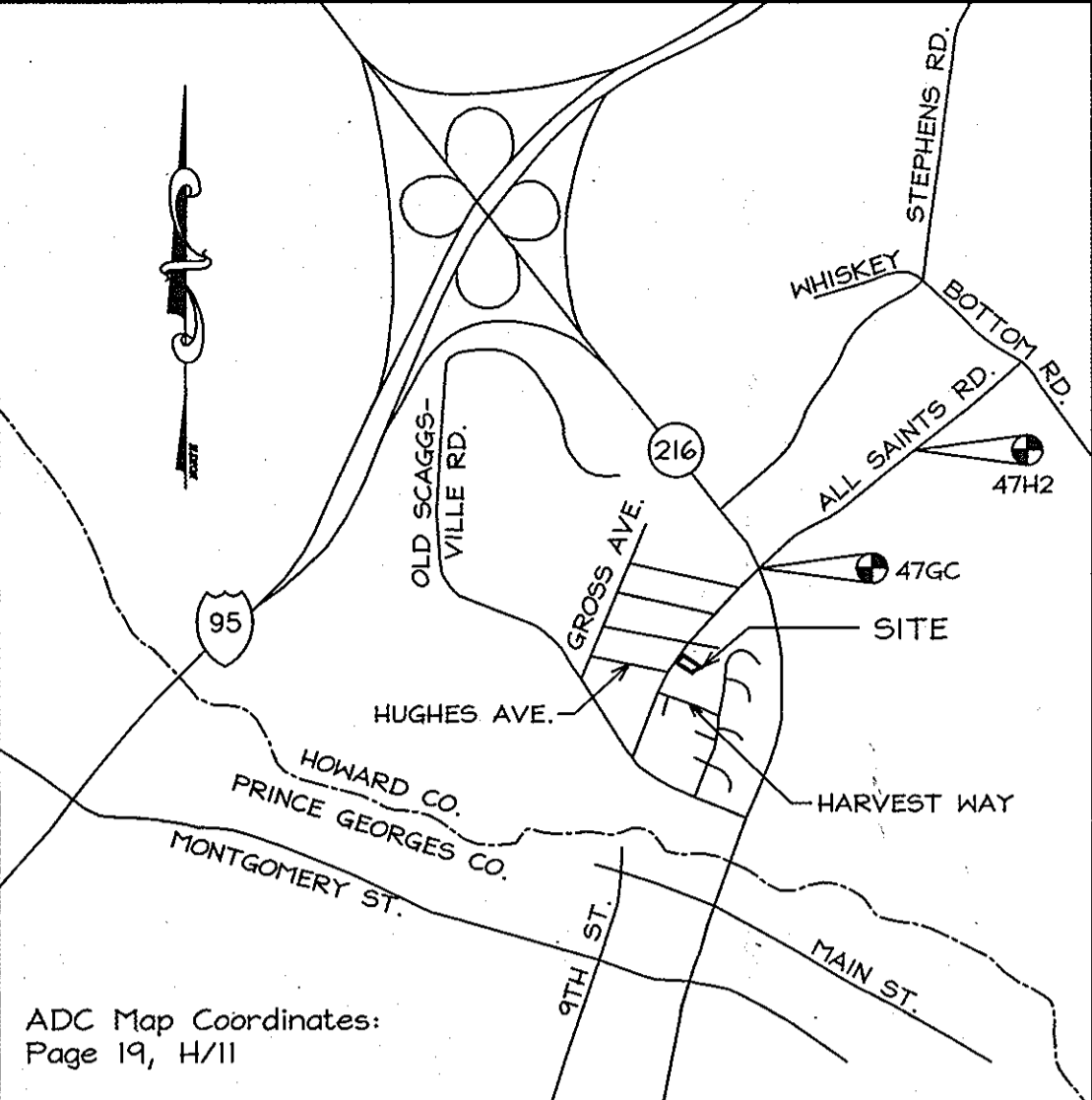
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Frank D. Unger 5/14/11
 DIRECTOR DATE

Conrad Starn 5/2/08
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

John J. Adella 5/1/08
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

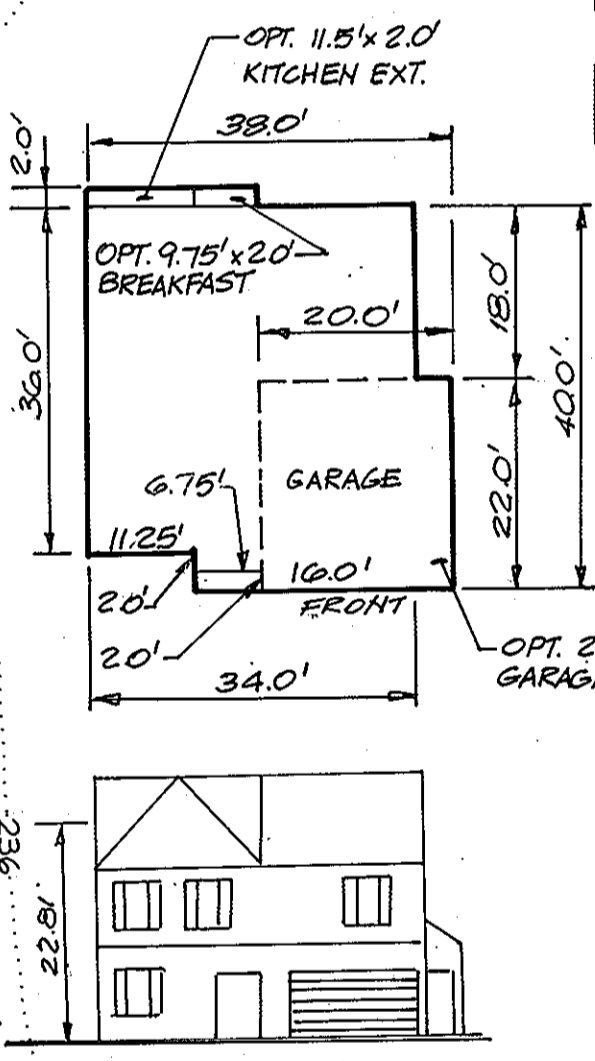
NO.	TITLE
1	Site Development Plan
2	Grading & Sediment Control Plan
3	Sediment Control, Landscape and Construction Notes & Details
4	Stormwater Management Notes & Details
5	Existing Conditions Plan and Simplified Forest Stand Delineation



VICINITY MAP
 1" = 2000'

LEGEND

- 248 --- EXISTING GROUND
- 248 --- PROPOSED GRADE
- SF --- SILT FENCE
- EX. ASPHALT DRIVEWAY TO BE REMOVED FOR NEW UIC DRIVEWAY
- EX. ASPHALT DRIVEWAY
- EXISTING TREE
- PROPOSED TREE
- SOIL BORING LOCATION
- TEST PIT
- EXISTING SEWER
- EXISTING WATER
- FIRE HYDRANT
- EX. SANITARY CLEAN OUT
- SANITARY MANHOLE
- WATER MANHOLE
- WATER METER
- WATER VALVE
- IRON PIPE FOUND
- PROP. SEWER CLEAN OUT
- FRONT SIDE OF HOUSE
- POWER POLE



ROCKBURNE 34

ADDRESS CHART

Lot No.	Street Address
1	9381 ALL SAINTS ROAD

Subdivision Name: CLAY SUBDIVISION Sect/Area: N/A Lot No.: P. 496, Lot 1
 Plat Ref: 4599 Grid No.: 2 Zoning: R-5C Tax Map No.: 50 Election District: 6th Census Tract: 606903
 Water Code: C05 Sewer Code: 710700

LDE Inc.
 Engineers, Surveyors, Planners
 9250 Ramsey Road, Suite 106 Columbia, Maryland - 21045
 (410) 715-1070 - (301) 596-3424 - FAX (410) 715-9540

DESIGNED	S.D.H.	SCALE
SITE DEVELOPMENT / LANDSCAPE PLAN <td></td> <td>1" = 20'</td>		1" = 20'
DRAWN	G.D.W.	DRAWING
SINGLE FAMILY DETACHED DWELLING		1 OF 3
CHECKED	B.D.B.	JOB NO.
TAX MAP 50, PARCEL 496 PLAT NO. 4599 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND		06-016.2
DATE	4/2008	FILE NO.
Previous Submittals: VP-80-52, F-80-088 OWNER/DEVELOPER: HARMONY BUILDERS INC. 4228 COLUMBIA ROAD ELLICOTT CITY, MD 20842 (410) 461-6833		SDP-07-106

No.	Date	Description
2	10/26/12	REVISE FF, BF & GAR ELEV'S TO REFLECT AG-BLT COND.
1	05/07/2012	ADD HOUSE MODEL, REVISE GRADING AND LOCATION OF THE PROPOSED DWELLING, CHANGE SHEET NUMBERS, AND DEVELOPER NAME.

**HOWARD SOIL CONSERVATION DISTRICT
STANDARD SEDIMENT CONTROL NOTES**

1. A minimum of 45 days notice must be given to the Howard County Department of Inspections, Licenses and Permits, Sediment Control Division prior to the start of any construction, (SD-19025).
2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the most current "MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", and revisions thereto.
3. Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1. 1/4 days as to all other disturbed or graded areas on the project site.
4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 7, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL (Section G) for permanent seeding, sod, temporary seeding, and mulching. Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
7. Site Analysis:

Total Area of Site	0.458	Acres
Area Disturbed	0.41	Acres
Area to be roofed or paved	0.11	Acres
Area to be vegetatively stabilized	0.32	Acres
Total Cut	0.20	Cu. Yds.
Total Fill	400	Cu. Yds.
Off-site waste area location	N/A	
8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
9. Additional sediment control must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
10. On all sites with disturbed areas in excess of 5 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this approval by the inspection agency is obtained.
11. Trenches for the construction of utilities is limited to three pipe lengths or that which can be back filled and stabilized within one working day, whichever is shorter.

**HOWARD SOIL CONSERVATION DISTRICT
PERMANENT SEEDING NOTES**

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, disking, or other acceptable means before seeding, if not previously loosened.

- SOIL AMENDMENTS:** In lieu of soil test recommendations, use one of the following schedules:
- 1) PREFERRED -- Apply 2 tons per acre dolomitic limestone (92 lbs/1000sq. ft.) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000sq. ft.) before seeding. Harrow or disk into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (9 lbs/1000sq. ft.).
 - 2) ACCEPTABLE -- Apply 2 tons per acre dolomitic limestone (92 lbs/1000sq. ft.) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000sq. ft.) before seeding. Harrow or disk into upper three inches of soil.

SEEDING -- For periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000sq. ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 50 lbs per acre (1.4 lbs/1000sq. ft.) of Kentucky 21 Tall Fescue and 2 lbs. per acre (.05 lbs/1000sq. ft.) of weeping lovegrass. During the period of October 16 thru February 28, protect site by Option (1) - 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option (2) - Use sod. Option (3) - Seed with 60 lbs. per acre Kentucky 31 Tall Fescue and mulch 2 tons / acre well anchored straw.

MULCHING - Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000sq. ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 2 1/2 gallons per acre (5 gal/1000sq. ft.) of emulsified asphalt on flat areas. On slopes 6 feet or higher, use 3-4 1/2 gallons per acre (9 gal/1000sq. ft.) for anchoring.

MAINTENANCE -- Inspect all seeding areas and make needed repairs, replacements and reseedings.

**HOWARD SOIL CONSERVATION DISTRICT
TEMPORARY SEEDING NOTES**

Apply to graded or cleared areas likely to be redisturbed where a short-term vegetative cover is needed.

SEEDBED PREPARATION: -- Loosen upper three inches of soil by raking, disking, or other acceptable means before seeding, if not previously loosened.

SOIL AMENDMENTS: -- Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000sq. ft.).

SEEDING -- For periods March 1 thru April 30, and from August 15 thru October 15 seed with 2-1/2 bushels per acre of annual ryegrass (3.2 lbs/1000sq. ft.). For the period May 1 thru August 15, seed with 3 lbs. per acre of weeping lovegrass (0.7 lbs/1000sq. ft.). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

MULCHING - Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000sq. ft.) of unrotted weed free small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 2 1/2 gallons per acre (5 gal/1000sq. ft.) of emulsified asphalt on flat areas. On slopes 6 feet or higher, use 3-4 1/2 gallons per acre (9 gal/1000sq. ft.) for anchoring.

Refer to the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for additional rates and methods not covered.

2.0 STANDARD AND SPECIFICATIONS FOR TOPSOIL

- Definition:** Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.
- Purpose:** To provide a suitable soil medium for vegetative growth. Soil of concern have low nutrient content, low nutrient level, low pH, materials toxic to plants, and/or unacceptable soil gradation.
- Conditions Where Practice Applies:**
1. This practice is limited to areas having 2% or flatter slopes where:
 - a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
 - b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
 - c. The original soil to be vegetated contains materials toxic to plant growth.
 2. The soil is so acidic that treatment with lime alone is not feasible.
 3. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.
- Construction and Material Specifications:**
1. Topsoil salvaged from the existing site may be used provided that it meets the standards set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-NRCS in cooperation with Maryland Agricultural Experiment Station.
 2. Topsoil Specifications - Soil to be used as topsoil must meet the following:
 - a. Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Rejected topsoil shall be a mixture of contrasting textures subsoils and shall contain less than 5% by volume of cinders, stones, clays, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 1/2" in diameter.
 - b. Topsoil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnsongrass, nutgrass, poison ivy, blisid, or others as specified.
 - c. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-6 tons/acre (200-400 pounds per 1000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.
 3. For sites having disturbed areas over 5 acres:
 - a. Place topsoil (if required) and apply soil amendments as specified in 2.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.
 - b. For sites having disturbed areas over 5 acres:
 - i. On soil testing Topsoil specifications, obtain test results indicating fertilizer and lime amendments required to bring the soil into compliance with the following:
 - a. pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.
 - b. Organic content of topsoil shall be not less than 1% percent by weight.
 - c. Topsoil having soluble salts content greater than 200 parts per million shall not be used.
 - d. No nod or seed shall be placed on soil which has been treated with soil salts or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phytotoxic materials.
 4. Note: Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.
 5. Place topsoil (if required) and apply soil amendments as specified in 2.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.
 6. Topsoil Application:
 - a. When topsoiling, maintain needed erosion and sediment control practices such as ditches, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Berms.
 - b. Grades on the areas to be topsoiled, which have been previously established, shall be maintained, unless 2'-0" higher in elevation.
 - c. Topsoil shall be uniformly distributed in a 4" - 6" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that bedding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.
 - d. Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seeding preparation.
 7. Alternative for Permanent Seeding - Instead of applying the full amount of lime and commercial fertilizer, composted sludge and amendments may be applied as specified below:
 - a. Composted Sludge Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall be tested to provide amendments and/or sites having disturbed areas over 5 acres shall conform to the following requirements:
 - i. Composted sludge shall be supplied by, or originate from, a person or persons that are permitted (at the time of acquisition of the compost) by the Maryland Department of the Environment under COMA'S 08.04.02.
 - ii. Composted sludge shall contain at least 1 percent nitrogen, 15 percent phosphorus, and 0.2 percent potassium and have a pH of 7.0 to 8.0. If compost does not meet these requirements, the appropriate corrections must be added to meet the requirements prior to use.
 - iii. Composted sludge shall be applied at a rate of 1 ton/1000 square feet.
 - iv. Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 to 10,000 square feet, and 1/3 the normal lime application rate.
 8. References: Guidelines Specifications, Soil Preparation and Seeding, MD-YA, Pub.#1, Cooperative Extension Service, University of Maryland and Virginia Polytechnic Institute, Revised 1975.

NOTE: See Sheet 4 for sequence of construction.

Category	Perimeter Landscape Edge			
	Adjacent to Roadway	Adjacent to Perimeter	Adjacent to Internal Lot	Adjacent to Internal
Perimeter No.	1	2	3	4
Linear Feet of Perimeter	104	235	116	190
Credit for Existing Vegetation				
Shade Trees	N/A	No	No	N/A
Evergreen Trees	N/A	No	Yes	3
Number of Plants Required				
Shade Trees	N/A	4	2	N/A
Number of Plants Provided				
Shade Trees	N/A	5	1	N/A

Comments: The owner/developer will plant 5 shade trees (2 1/2" - 3" Caliper) and retain 3 evergreens along perimeter 3, to substitute for 1 shade tree. *Perimeter 4 is exempt since it is an existing interior subdivision line.

LANDSCAPE PLAN GENERAL NOTES

1. Contractor shall contact "miss utility" (800-257-7777) and shall verify the location of all underground utilities within the project area prior to installation of plant material.
2. Proposed locations of plant material shall be staked in the field by the contractor for approval by owner's representative prior to planting.
3. Plant material and beds shall receive a minimum 3-inch depth of mulch.
4. All areas disturbed by planting operations shall be repaired by the contractor to the satisfaction of the owner's representative.
5. Quantities of trees, evergreens, and shrubs noted on the plant list are based upon the graphic symbols shown on the drawings. Contractor shall provide and install these items based upon graphic symbol quantities. Contact owner's representative if a difference is found between the quantities noted in the plant list and the symbol count of plant materials shown on the drawings.
6. Quantities of groundcovers, perennials, annuals, bulbs, and ornamental grasses shall be as noted in the plant list regardless of the number of graphic symbols shown on the drawings.
7. All plant materials shall be nursery grown and shall comply with the American standard for nursery stock (ANSI Z60.1), latest edition, published by the American association of nurseries.
8. All trees to conform to the American association of nurseries standards: section 1.1.2 - height of branching, all trees to be matched.
9. All plant materials to be full heavy specimens.
10. All areas within the limit of disturbance other than pavements, walks, walls and planting beds shall be seeded lawn.
11. Surety for the five (5) required shade trees is \$1,500.00. The owner, tenant and/or their agents shall be responsible for maintenance of the required landscaping, plant materials, berms, fences and walls. All plant materials shall be maintained in good growing condition and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.
13. At the time of installation, all shrubs and other plantings herewith listed and approved for this site shall be of the proper height requirements in accordance with the Howard County Landscape Manual, in addition, no substitutions or relocation of required plantings may be made without prior review and approval from the Department of Planning and Zoning. Any deviation from this approved Landscape Plan may result in denial or delay in the release of landscape surety until such time as all required materials are planted and/or revisions are made to applicable plans and certificates.

SYMB.	COMMON NAME	BOTANICAL NAME	QTY	SIZE	REMARKS
(Symbol)	Red Sunset	acer rubrum	5	2"-2 1/2" Cal	B & B
(Symbol)	Red Maple				

Figure 6-1. Planting Detail - Deciduous Tree

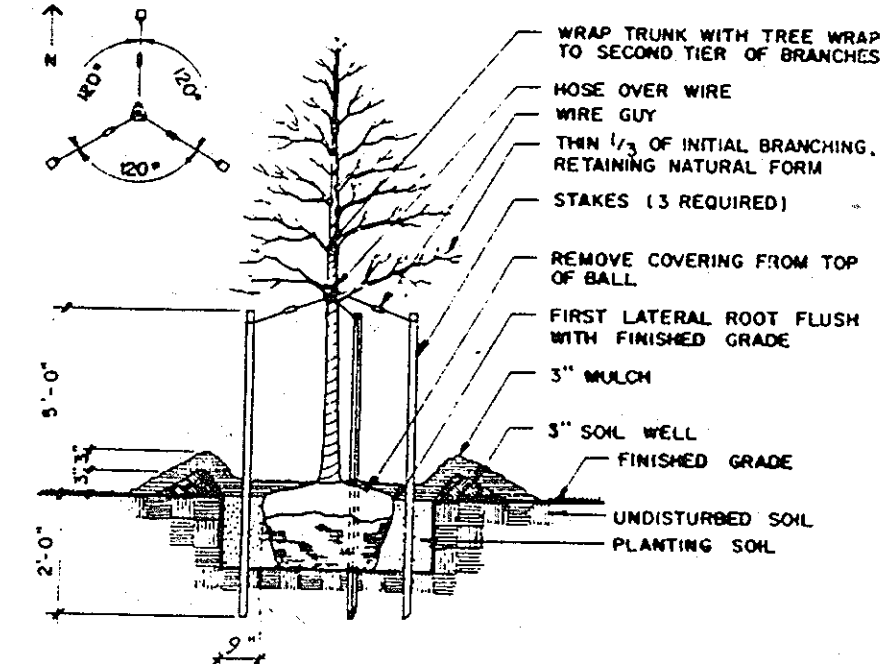
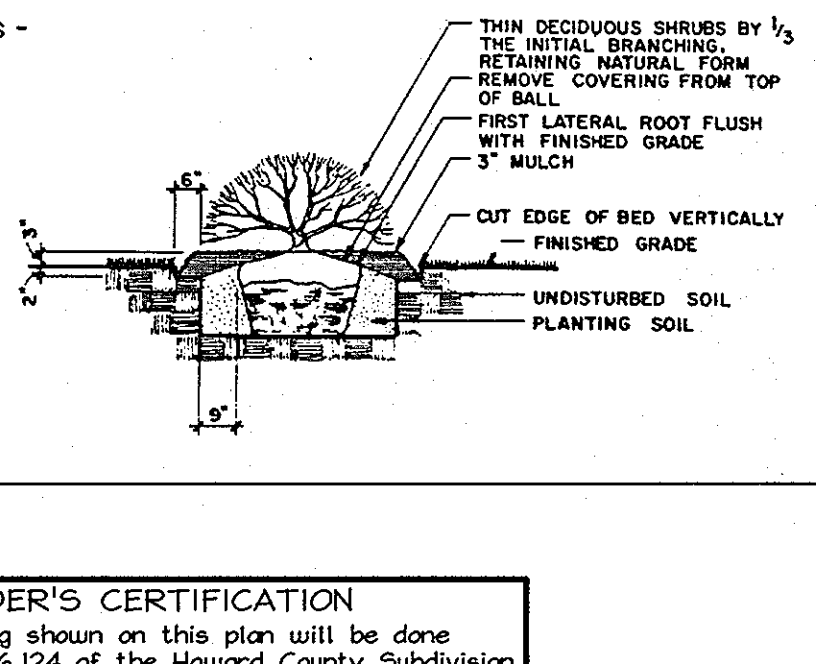


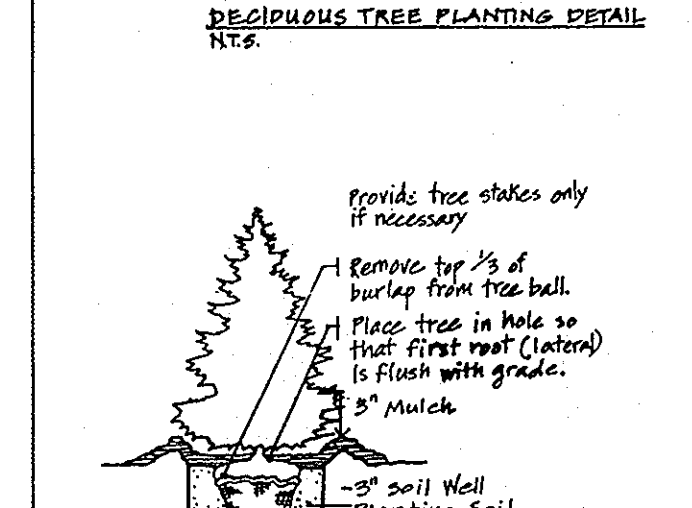
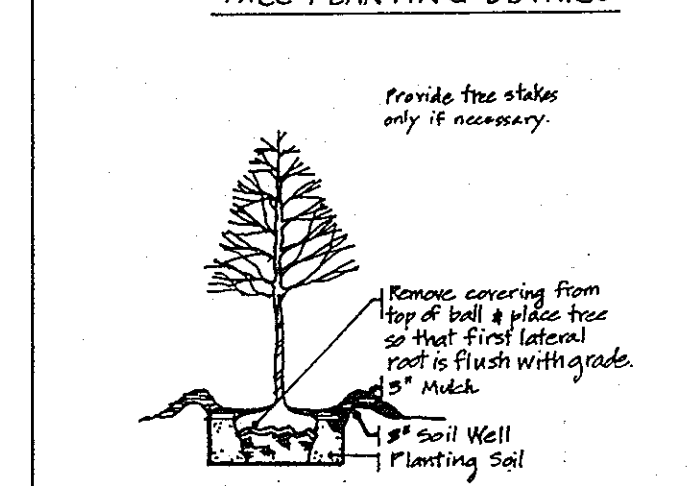
Figure 6-3. Planting Details - Shrub



DEVELOPER'S / BUILDER'S CERTIFICATION
I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Subdivision and Land Development Regulations and the Landscape Manual. I/We further certify that upon completion, a letter notice, of accompanied by an executed One Year Guarantee of Plant Materials will be submitted to the Department of Planning and Zoning.

Kelli A. Williams DATE 4/8/08
DEVELOPER / BUILDER

TREE PLANTING DETAILS



LDE Inc.
Engineers, Surveyors, Planners
9250 Runney Road, Suite 106 Columbia, Maryland - 21045
(410)715-1070 - (800)596-3424 - FAX(410)715-9540

DESIGNED: S.D.H.
DRAWN: G.D.W.
CHECKED: B.D.B.
DATE: 4/2008

SEDIMENT CONTROL, LANDSCAPING AND CONSTRUCTION NOTES & DETAILS
CLAY SUBDIVISION, LOT 1
SINGLE FAMILY DETACHED DWELLING

**TAX MAP 50, PARCEL 496
PLAT NO. 4599
6th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND**

Previous Submittals: VP-80-52, F-80-088
OWNER/DEVELOPER: **HARMONY BUILDERS, INC.**
422 B COLUMBIA ROAD
ELLICOTT CITY, MD 21042
(410) 461-0833

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Wanda D. Layton DATE 5/14/08
DIRECTOR

Chief, Division of Land Development DATE 5/13/08
MPP

Chief, Development Engineering Division DATE 5/16/08
LVE

I hereby certify that these documents were prepared or approved by me and that I am a duly licensed Professional Engineer under the laws of the State of Maryland. License No. 40081, Exp. Date: 2/13/13

Signature of Surveyor DATE 4/10/08

DEVELOPER'S CERTIFICATE
I/We certify that all development and/or construction will be done according to these plans and that any responsible personnel involved in the construction project will have a certificate of attendance at a Department of Planning and Zoning approved training program for the control of sediment and erosion before beginning the project. I also authorize persons on-site inspections by the Howard Soil Conservation District or their authorized agents, as is deemed necessary.

Signature of Developer DATE 4/16/08

SURVEYOR'S CERTIFICATE
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Signature of Surveyor DATE 4/10/08

DEVELOPER'S CERTIFICATE
I/We certify that all development and/or construction will be done according to these plans and that any responsible personnel involved in the construction project will have a certificate of attendance at a Department of Planning and Zoning approved training program for the control of sediment and erosion before beginning the project. I also authorize persons on-site inspections by the Howard Soil Conservation District or their authorized agents, as is deemed necessary.

Signature of Developer DATE 4/16/08

HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Professional Land Surveyor
No. 1866

No.	Date	Description
1	05/07/2012	ELIMINATE ECM DETAIL, CHANGE SHEET NUMBER AND DEVELOPER'S NAME

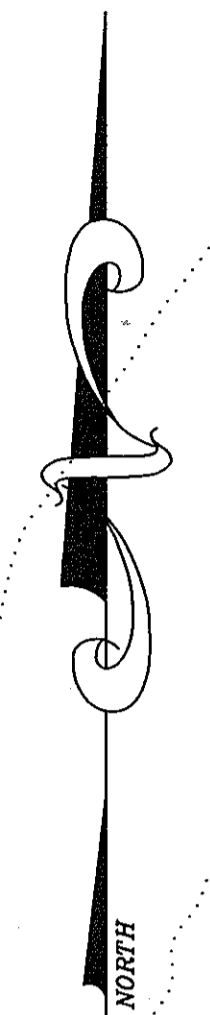
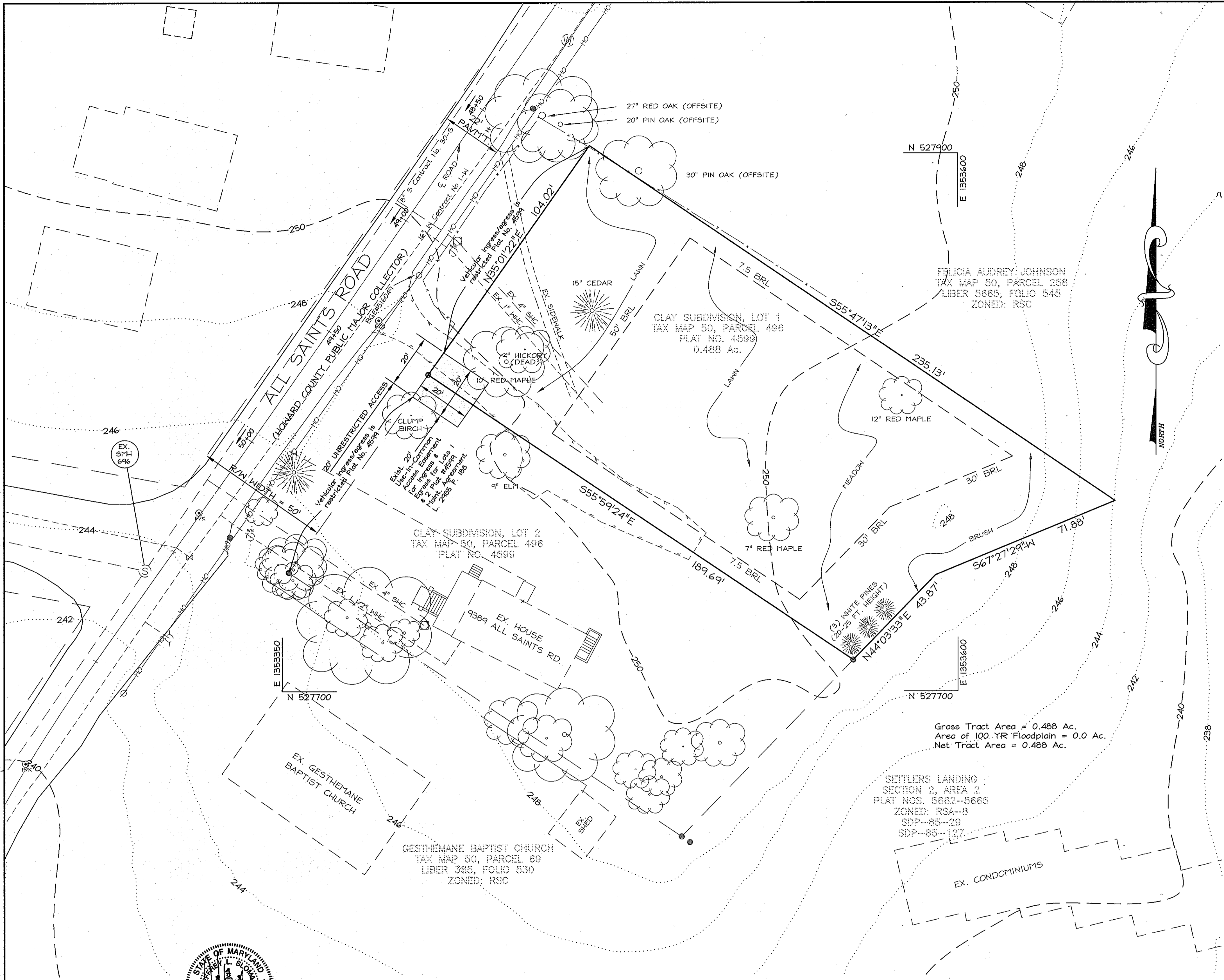
DESIGNED: S.D.H.
DRAWN: G.D.W.
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DATE: 4/2008

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CLAY SUBDIVISION, LOT 1
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Previous Submittals: VP-80-52, F-80-088
OWNER/DEVELOPER: **HARMONY BUILDERS, INC.**
422 B COLUMBIA ROAD
ELLICOTT CITY, MD 21042
(410) 461-0833

SCALE: AS SHOWN
DRAWING: 2 OF 3
JOB NO.: 06-016.2
FILE NO.: SDP-07-106



Gross Tract Area = 0.488 Ac.
 Area of 100.YR Floodplain = 0.0 Ac.
 Net Tract Area = 0.488 Ac.

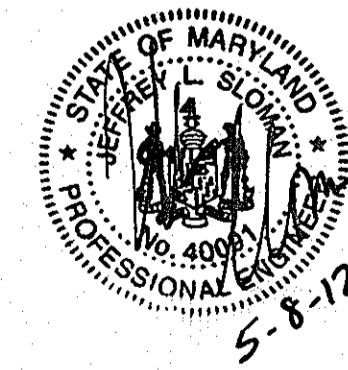
SOILS NOTE: ACCORDING TO THE LATEST HOWARD COUNTY SOILS SURVEY ALL SOILS ON LOT 1 ARE UcB, URBAN LAND-CHILLUM-BELTSVILLE COMPLEX, 0-5% SLOPES.

NOTE: PLEASE SEE SHEET 1 OF THE SUPPLEMENTAL PLANS FOR THE MASTER LEGEND

NOTES:

- No forested areas exist on the subject lot.
- The subject site is exempt from the Forest Conservation requirements under Section 16.1202(b) of the County Code. The site is exempt since it involves development of a single lot of record with a total area less than 40,000 s.f. and no proposed forest clearing.

Professional Certification
Steven D. Heiss
 Steven D. Heiss 4/8/08
 Qualified Professional, MDPCA



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Mark A. Cagle 5/14/08
 DIRECTOR DATE

Cindy Hunt 5/13/08
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Michael... 5/13/08
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

I hereby certify that these documents were prepared or approved by me and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, License No. 40091, Exp Date 2/13/13

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

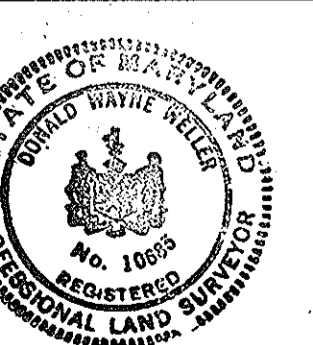
HOWARD SOIL CONSERVATION DISTRICT DATE

SURVEYOR'S CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Donald... 4/8/08
 SIGNATURE OF SURVEYOR DATE

DEVELOPER'S CERTIFICATE
 I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

Steven D. Heiss 4/8/08
 SIGNATURE OF DEVELOPER DATE



REVISIONS		
No.	Date	Description
1	05/07/2012	CHANGE SHEET NUMBER AND DEVELOPERS NAME

LDE Inc. Engineers, Surveyors, Planners 9250 Ramsey Road, Suite 106 Columbia, Maryland - 21045 (410)715-1070 - (301)395-1424 - FAX(410)715-9540		
DESIGNED S.D.H.	EXISTING CONDITIONS PLAN & SIMPLIFIED FOREST STAND DELINEATION CLAY SUBDIVISION, LOT 1 SINGLE FAMILY DETACHED DWELLING	SCALE 1" = 20'
DRAWN G.D.W.	TAX MAP 50, PARCEL 496 PLAT NO. 4599 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND	DRAWING 3 OF 3
CHECKED B.D.B.	Previous Submittals: VP-80-52, F-80-088	JOB NO. 06-016.2
DATE 4/2008	OWNER/DEVELOPER: HARMONY BUILDERS INC. 4228 COLUMBIA ROAD ELLSWORTH CITY, MD 21042 (410) 461-0833	FILE NO. SDP-07-106