# SITE DEVELOPMENT PLAN EBERHART PROPERTY LOT 3

**GENERAL NOTES** 

THE CONTRACTOR'S EXPENSE.

UNINTERRUPTED SERVICE.

BEFORE STARTING WORK ON THESE DRAWINGS:

BELL ATLANTIC TELEPHONE CO:

HOWARD COUNTY BUREAU OF UTILITIES:

MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.

B.G.&E. CO. UNDERGROUND DAMAGE CONTROL:

VERIZON CABLE LOCATION DIVISION:

STATE HIGHWAY ADMINISTRATION:

B.G.&E. CO. CONTRACTOR SERVICES:

1. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO

CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR

4. ANY DAMAGE TO PUBLIC RIGHTS-OF-WAY, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT

5. EXISTING UTILITIES LOCATED FROM ROAD CONSTRUCTION PLANS AND AVAILABLE RECORD DRAWINGS.

APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTORS INFORMATION.

CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES

AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN

6. TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST

7. IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS

8. DRIVEWAYS SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO INSURE SAFE ACCESS FOR

B) SURFACE — 6 INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING

C) GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE, AND MINIMUM 45 FOOT TURNING

CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS. PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT

EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND

REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.

FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:

A) WIDTH - 12 FEET (16 FEET IF SERVING MORE THAN ONE RESIDENCE)

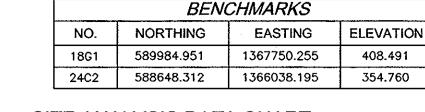
725-9976

313-2366

393-3553

2. THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS

248/3. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/



#### SITE ANALYSIS DATA CHART

LOCATION: TAX MAP 18, GRID 13, PARCEL 49 2ND ELECTION DISTRICT

EXISTING ZONING: R-20 GROSS AREA OF PROJECT: 0.81 AC OR 35,407 SF

AREA OF 100-YEAR FLOODPLAIN DRAINAGE & UTILITY EASEMENT: N/A AREA OF STEEP SLOPES OUTSIDE THE FLOODPLAIN: N/A NET AREA OF PROJECT: 0.81 AC OR 35,407 SF

AREA OF OPEN SPACE REQUIRED: N/A AREA OF OPEN SPACE PROVIDED: N/A AREA OF RECREATIONAL OPEN SPACE REQUIRED: N/A

AREA OF PROPOSED RIGHT-OF-WAY: N/A TOTAL APPROXIMATE LIMIT OF DISTURBANCE: 13,400 SF OR 0.31 AC

AREA OF RECREATIONAL OPEN SPACE PROVIDED: N/A

DPZ REFERENCES: F-03-205

23. BASED ON A FIELD SURVEY NO WELL OR SEPTIC SYSTEMS WERE PRESENT ON-SITE. SHOULD ANY WELLS AND/OR SEPTIC SYSTEMS BE ENCOUNTERED DURING GRADING PROCEDURES THE CONTRACTOR IS TO

25. NO DISTURBANCE IS PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, 100-YEAR FLOODPLAIN AND ITS

26. GRAVITY SEWER SERVICE, FIRST FLOOR ONLY. BASEMENT SEWER SERVICE TO BE PROVIDED BY PRIVATE ON-SITE

27. DESIGN MANUAL VOLUME III, SECTION 2.5.2.H, WAIVER WAS APPROVED ON MARCH 9, 2004. TO UTILIZE STOPPING

PUMP. REF. DESIGN MANUAL WAIVER OF VOLUME II, SECTION 1.8.7, APPROVED ON FEBRUARY 19, 2004

29. THE DWELLING/GARAGE HAS BEEN SITED ON THIS LOT SO THAT A SECOND CAR, IF PARKED IN THE DRIVEWAY,

30. THE RECORDED 35' REAR BUILDING RESTRICTION LINE (BRL) COINCIDES WITH THE BOUNDARY OF THE 35' SETBACK FROM THE WETLAND BUFFER; THEREFORE, THE DISTANCE FROM THE REAR BUILDING RESTRICTION LINE

TO THE REAR PROPERTY LINE WILL VARY IN DISTANCE, NOT TO BE LESS THAN 30 FEET PER THE R-20

ZONING REGULATIONS. SECTION 16.120 (b) (4). (iii) .C OF THE SUBDIVISION REGULATIONS PROHIBITS THE BUILDING ENVELOP TO BE NO CLOSER THAN 35 FEET FROM THE WETLAND BUFFER.

28. WETLANDS SHOWN HEREON IN ACCORDANCE WITH REPORT AND DELINEATION PREPARED BY ECO-SCIENCE

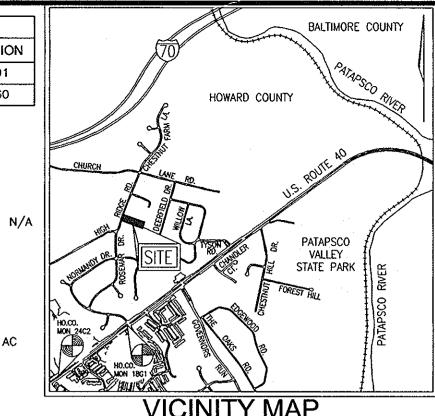
WILL NOT OVERHANG INTO THE PRIVATE USE-IN-COMMON DRIVEWAY (18' MINIMUM CLEARANCE).

CONTACT THE HEALTH DEPARTMENT FOR PROPER ABANDONMENT PROCEDURES.

SIGHT DISTANCE IN LIEU OF INTERSECTION SIGHT DISTANCE.

24. NO 100 YEAR FLOODPLAINS EXIST ON SITE.

PROFESSIONALS 4/21/03.



	ADC MAP 16, GRID E-5			
	SOILS LEGEND			
SYMBOL	NAME / DESCRIPTION		TYPE	
GnB2	GLENVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED		С	
MIB2	MANOR LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED		В	
MsD	MONTALTO AND RELAY VERY STONY SILT LOAMS, 3 TO 25 PERCENT SLOPES		В	
NOTE: HOWAR	RD SOIL SURVEY, MAP NUMBER 16			

EXISTING CONTOUR -----PROPOSED CONTOUR SPOT ELEVATION DIRECTION OF FLOW

LIMIT OF DISTURBANCE

NON-TIDAL WETLAND

24' PRIVATE ACCESS

& UTILITY EASEMENT

EROSION CONTROL MATTING

412----EXISTING TREES TO REMAIN SUPER SILT FENCE

 $\sim$ \_\_\_\_\_SSF\_\_\_\_ -----LOD -----

48253

MINIMUM LOT SIZE CHART GROSS PIPE STEM MINIMUM AREA AREA LOT SIZE 3 | 35,407 Ø | 4,505 Ø | 30,902 Ø

**COORDINATE TABLE** 

216 N 592333.555 E 1367954.178

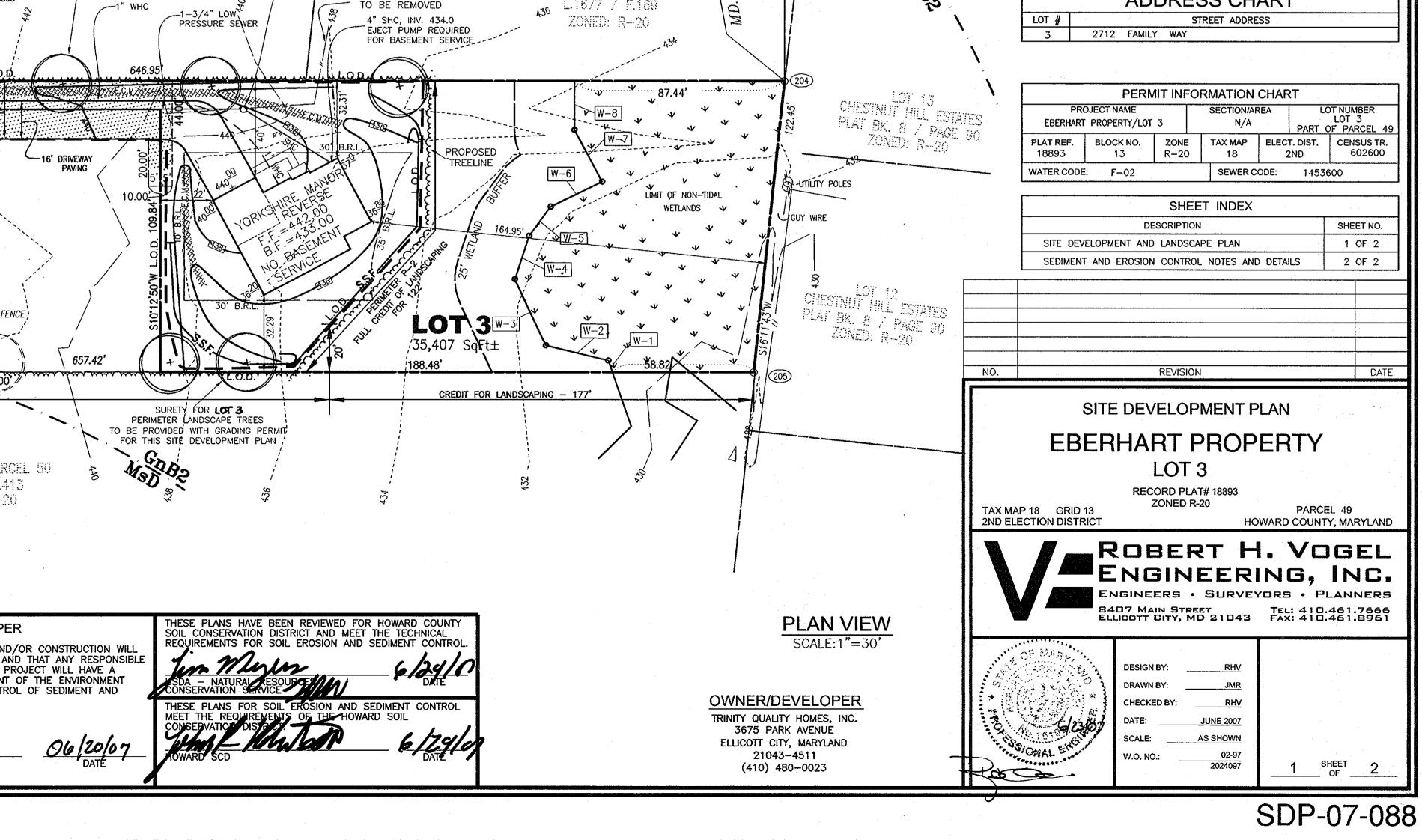
 N 592337.024
 E 1368621.706

 N 592219.433
 E 1368587.553

 N 592449.658
 E 1367997.352

WETLAND LINE TABLE						
LINE	BEARING	DISTANCE				
W-1	N08'49'35"W	5.19'				
W-2	N66'04'43"W	26.85				
W3	N14'46'50"W	30.56'				
W-4	N28'24'29"E	19.17				
W-5	N46'34'00"E	15.08'				
W-6	N74'19'25"E	23.86				
W-7	N17'47'22"W	24.65'				
8-W	N10'13'34"E	20.30				

## ADDRESS CHART LOT # 2712 FAMILY WAY



9. THE SUBJECT PROPERTY IS ZONED R-20 PER THE FEBRUARY 2, 2004 COMPREHENSIVE ZONING PLAN,

10. COORDINATES AND ELEVATIONS ARE BASED ON HOWARD COUNTY MONUMENT NO.'S 18G1 AND 24C2.

13. ACCESS TO PUBLIC WATER HAS BEEN PROVIDED UNDER CONTRACT NO.70-W. ACCESS TO PUBLIC

16. FOR DRIVEWAY ENTRANCE DETAILS REFER TO THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV,

PAYMENT FOR THE 0.89 ACRES OF REFORESTATION REQUIRED. THE FEE OF \$19,384.20

Rev and way requirements for lot 3 satisfied by sheetflow to buffer.

17. THE FOREST CONSERVATION OBLIGATIONS FOR THIS PROJECT HAS BEEN FULFILLED BY A FEE-IN-LIEU

18. STORMWATER MANAGEMENT FACILITIES WILL BE REQUIRED ON LOTS 2 AND 3 IN ACCORDANCE WITH THE

ReV AND WQV REQUIREMENTS FOR LOT 2 SATISFIED BY ROOFTOP & NON-ROOFTOP DISCONNECTION.

19. LANDSCAPING FOR LOT 3 HAS BEEN PROVIDED IN ACCORDANCE WITH THE PROVISIONS OF SECTION

16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL. SURETY IN THE AMOUNT OF

\$2,700.00 SHALL BE POSTED WITH THE BUILDER'S GRADING PERMIT APPLICATION FOR 9 SHADE

20. THIS SDP IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT

21. A DECLARATION OF MAINTENANCE OBLIGATIONS FOR THE PRIVATE USE-IN-COMMON DRIVEWAY SERVING

REGULATIONS PER COUNCIL BILL NO. 45-2003 AND ZONING REGULATIONS AS AMENDED BY COUNCIL

BILL NO. 75-2003. DEVELOPMENT OR CONSTRUCTION ON THESE LOTS MUST COMPLY WITH SETBACKS

AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION ON THE SITE DEVELOPMENT PLAN,

AND THE COMPREHENSIVE LITE ZONING AMMENDMENTS 7/28/06.

12. THE PROPERTY OUTLINE IS BASED ON A FIELD RUN BOUNDARY SURVEY PERFORMED BY FREDERICK WARD ASSOCIATES, INC. IN APRIL 2003.

14. NO BURIAL GROUNDS OR CEMETERIES ARE LOCATED ON THIS PROPERTY.

15. WETLANDS ARE LOCATED ON SITE IN ACCORDANCE WITH DELINEATION

CDV (QUALITY CONTROL): EXEMPT, THE Q1 IS LESS THAN 2 CFS.

WAIVER PETITION APPLICATION, OR BUILDING/GRADING PERMIT.

PREPARED BY EXPLORATION RESEARCH DATED FEBRUARY, 2005.

11. THE PROJECT BOUNDARY IS BASED ON RECORD PLAT# 18893.

SEWER HAS BEEN PROVIDED UNDER CONTRACT NO. 21-S.

STANDARD DETAIL R-6.06 (OPEN SECTION).

DESIGN MANUALS.

EROSION BEFORE BEGINNING THE PROJECT.

C/23/07

SIGNATURE OF ENGINEER ROBERT & VOGEL, PE

### 21.0 STANDARDS AND SPECIFICATIONS FOR TOPSOIL

PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETABLE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

CONDITIONS WHERE PRACTICE APPLIES THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:

A. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.

B. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.

C. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.

D. THE SOIL IS SO ACIDIC THAT TREATMENT WITH

LIMESTONE IS NOT FEASIBLE.

II. FOR THE PURPOSE OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION. AREAS HAVING SLOPES STEEPER THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE PLANS.

CONSTRUCTION AND MATERIAL SPECIFICATIONS

TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND

II. TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:

AGRICULTURAL EXPERIMENTAL STATION.

TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR A SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAT 1 AND 1/2" IN

II. TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACKGRASS, JOHNSONGRASS, NUTSEDGE, POISON MY, THISTLE, OR OTHERS AS SPECIFIED.

III. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.

II. FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES:

I. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGÉTATIVE STABILIZATION -SECTION 1 - VEGETATIVE STABILIZATION METHODS AND MATERIALS.

## SEQUENCE OF CONSTRUCTION

- 1. OBTAIN GRADING PERMIT. 2. INSTALL SEDIMENT CONTROL AS SHOWN ON PLAN IN
- ACCORDANCE WITH DETAILS.(1 DAY) 3. CLEAR AND ROUGH GRADE SITE.(1 WEEK)
- 4. CONSTRUCT HOUSE.(4 MONTHS) 5. FINE GRADE AND STABILIZE THE SITE WITH TOPSOIL
- AND SEEDING (SEE NOTES THIS PLAN).(3 DAYS) 6. AFTER THE SITE IS PERMANENTLY STABILIZED AND AND PERMISSION IS GRANTED FROM HOWARD COUNTY SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT

CONTROLS AND STABILIZE ANY REMAINING DISTURBED AREAS.

- III. FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES: I. ON SOIL MEETING TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS DICTATING FERTILIZER AND LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING: A. PH FOR TOPSOIL SHALL BE BETWEEN 6.0 AND 7.5. IF
- 6.0, SUFFICIENT LIME SHALL BE PRESCRIBED TO RAISE THE PH TO 6.5 OR HIGHER. B. ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 1.5 PERCENT BY WEIGHT. C. TOPSOIL HAVING SOLUBLE SALT CONTENT GREATER THAN

THE TESTED SOIL DEMONSTRATES A PH OF LESS THAN

500 PARTS PER MILLION SHALL NOT BE USED. D. NO SOD OR SEED SHALL BE PLACED ON SOIL SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF

PHYTO-TOXIC MATERIALS. NOTE: TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL.

II. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMMENDMENTS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION—SECTION I-VEGETATIVE STABILIZATION METHODS AND MATERIALS.

#### V. TOPSOIL APPLICATION

WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS.

II. GRADES ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE MAINTAINED, ALBEIT 4' - 8" HIGHER IN ELEVATION.

III. TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4" --8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS

IV. TOPSOIL SHALL NOT BE PLACE WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.

#### PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY

SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:

1) PREFERRED-APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/ 100 SQ.FT.) AND 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS./ 1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL, AT THE TIME OF SEEDING, APPLY 400 LBS, PER ACRE 30-0-0 UREAFORM FERTILIZER (9 LBS/1000 SQ.FT.)

2) ACCEPTABLE-APPLY 2 TONS PER ACRE DOLOMATIC LIMESTONE (92 LBS/ 1000 SQ.FT.) AND APPLY 1000 LBS. PER ACRE 10-10-10- FERTILIZER (23 LBS./1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL.

SEEDING: FOR THE PERIODS MARCH 1 THRU APRIL 30. AND AUGUST 1 THRU KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31, SEED WITH 60 LBS. KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS. PER ACRE (.05 LBS./1000 SQ.FT.) OF WEEPING LOVEGRASS. DURING THE PERIOD OF ÒCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY: OPTION (1) 2 TONS PER ACRE WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) USE SOD. OPTION (3) SEED WITH 60 LBS/ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELL ANCHORED

MULCHING: APPLY 1 1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ. FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL/1000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL/1000 SQ.FT.) FOR ANCHORING.

MAINTENANCE: INSPECT ALL SEEDED AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

# TEMPORARY SEEDING NOTES

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY SOIL AMENDMENTS: APPLY 600 LBS. PER ACRE 10-10-10 FERTILIZER

(14 LBS./1000 SQ.FT). SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30 AND FROM AUGUST 15 THRU NOVEMBER 15, SEED WITH 2 1/2 BUSHEL PER ACRE OF ANNUAL RYE (3.2 LBS./1000 SQ.FT.) FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS. PER ACRE OF WEEPING LOVEGRASS (.07 LBS./1000 SQ.FT.). FOR THE

IN THE SPRING, OR USE SOD. MULCHING: APPLY 1 1/2 TO 2 TONS PER ACRE (70 TO 90 LBS./1000 SQ.FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL/1000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE

PERIOD NOVEMBER 1 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS

PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE

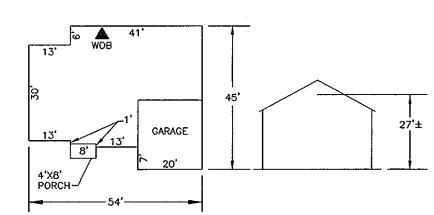
(8 GAL/1000 SQ.FT.) FOR ANCHORING. REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT

## SEDIMENT CONTROL NOTES

- 1. A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTION, LICENSE AND PERMITS SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (313-1855).
- 2. ALL VEGETATION AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- 3. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: (A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3:1, (B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE
- 4. ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 7, HOWARD COUNTY DESIGN MANUAL STORM DRAINAGE.
- 5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING, SOD, TEMPORARY SEEDING, AND MULCHING (SEC. G). TEMPORARY STABILIZATION WITH MULCH ALONE SHALL BE DONE WHEN RECOMMENDED SÉEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- 6. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- 7. SITE ANALYSIS

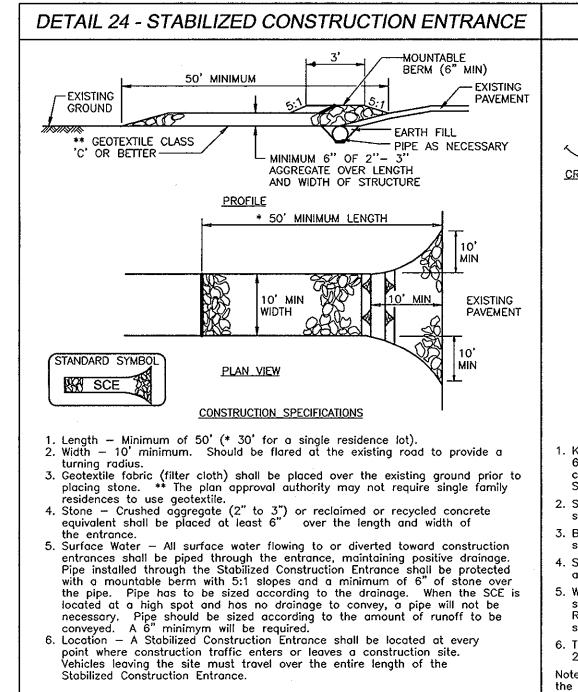
TOTAL AREA	35,407 SF
AREA DISTURBED	13,400 SF
AREA TO BE ROOFED OR PAVED	7,500 SF
AREA TO BE VEGETATIVELY STABILIZED	27,907 SF
TOTAL CUT	180_CY
TOTAL FILL	180 CY
OFFSITE WASTE/BORROW AREA LOCATION	*

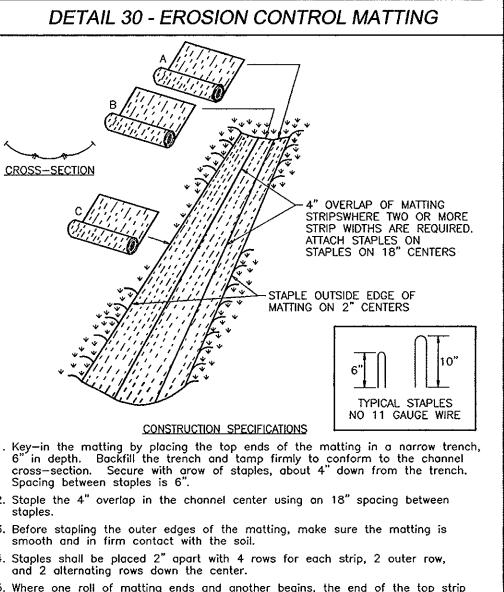
- 8. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- 9. ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- 10. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- 11. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.
- \* TO BE DETERMINED BY CONTRACTOR, WITH PRE-APPROVAL OF THE SEDIMENT CONTROL INSPECTOR WITH AN APPROVED AND ACTIVE GRADING PERMIT



TOTAL

YORKSHIRE MANOR SCALE: 1"= 30"





- 5. Before stapling the outer edges of the matting, make sure the matting is
- shall overlap the upper end of the lower strip by 4", shiplap fashion. Reinforce the overlap with a double row of staples spaced 6" apart in a staggered pattern on either side.
- 6. The discharge end of the matting liner should be similarly secured with 2 double rows of staples. Note: If flow will enter from the edge of the matting then the area effected by

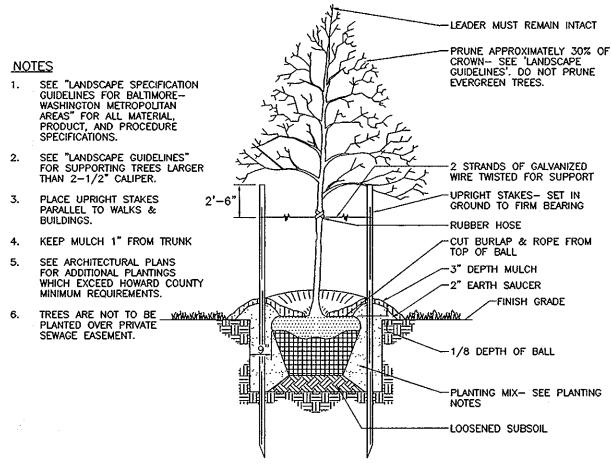
the flow must be keyed-in. US DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE

2 1/2" DIAMETER GALVANIZED OR ALUMINUM POSTS -CHAIN LINK FENCE WITH 1 LAYER OF FILTER CLOTH CHAIN LINK FENCING -34" MINIMUM FILTER CLOTH OF FILTER CLOTH\* EMBED FILTER CLOTH 8" MINIMUM INTO GROUND — STANDARD SYMBO \*IF MULTIPLE LAYERS ARE REQUIRED TO ATTAIN 42 — SSF — CONSTRUCTION SPECIFICATIONS . Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway Details for Chain Link Fencing. The specification for a 6' fence shall be used, substituting 42" fabric and 6' length posts. Chain link fence shall be fastened securely to the fence posts with wire ties. The lower tension wire, brace and truss rods, drive anchors and post caps are not required except on the ends of the fence. 3. Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and midsection. 4. Filter cloth shall be embedded a minimum of 8" into the ground. 5. When two sections of filter cloth adjoin each other, they shall be overlapped 6. Maintenance shall be performed as needed and silt buildups removed when 'bulges' develop in the silt fence, or when silt reaches 50% of fence height. 7. Filter cloth shall be fastened securely to each fence post with wire ties or staples at top and midsection and shall meet the following requirements for Geotextile Class F 50 lbs/in (min) 20 lbs/in (min) Test: MSMT 509 Tensile Strength Tensile Modulus Test: MSMT 509 Test: MSMT 322 Flow Rate 0.3 gal/ft 2/minute (max) Filtering Efficiency 75% (min Test: MSMT 322

CENTER TO CENTER

GROUND

SURFACE

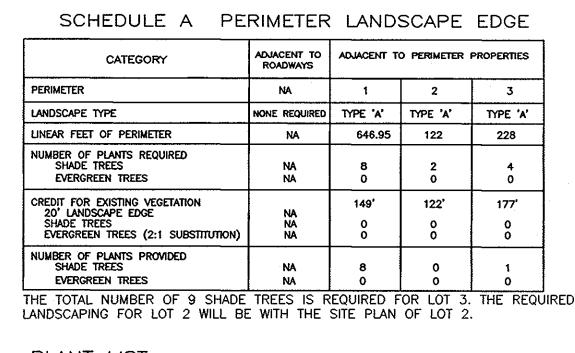


# TREE PLANTING AND STAKING

DECIDUOUS TREES UP TO 2-1/2" CALIPER NOT TO SCALE

# LANDSCAPE NOTES

- 1. AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED FOR THIS SITE BE OF THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF THE REQUIRED PLANTING MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.
- 2. THE OWNER, TENANTS AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- 3. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- 4. NO CLEARING OF EXISTING VEGETATION IS PERMITTED WITHIN THE LANDSCAPE EDGE FOR WHICH CREDIT IS BEING TAKEN; HOWEVER, LANDSCAPE MAINTENANCE IS AUTHORIZED.



DETAIL 33 - SUPER SILT FENCE

——8" MINIMUM

-34" MINIMUM

#### PLANT LIST

QTY	BOTANICAL NAME/ COMMON NAME	SIZE	ROOT	LOCATION	
9	ACER RUBRUM "OCTOBER GLORY"/ RED MAPLE	2 1/2" - 3" CAL	8 & B	as shown	-

# DEVELOPER'S LANDSCAPE CERTIFICATE

1/WE CERTIFY THAT LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION OF THE PROJECT, A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.



06/20/07

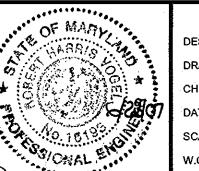
SEDIMENT AND EROSION CONTROL NOTES AND DETAILS **EBERHART PROPERTY** 

> LOT 3 RECORD PLAT# 18893

ZONED R-20 TAX MAP 18 GRID 13 2ND ELECTION DISTRICT

HOWARD COUNTY, MARYLAND





**DESIGN BY** DRAWN BY CHECKED BY: DATE: SCALE: AS SHOWN W.O. NO.:

SHEET 2

OWNER/DEVELOPER

TRINITY QUALITY HOMES, INC. 3675 PARK AVENUE ELLICOTT CITY, MARYLAND 21043-4511 (410) 480-0023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING

AND ZONING

"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.

BY THE DEVELOPER

REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL EROSION AND SEDIMENT CONTROL

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD COUNTY

SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL

PARCEL 49