

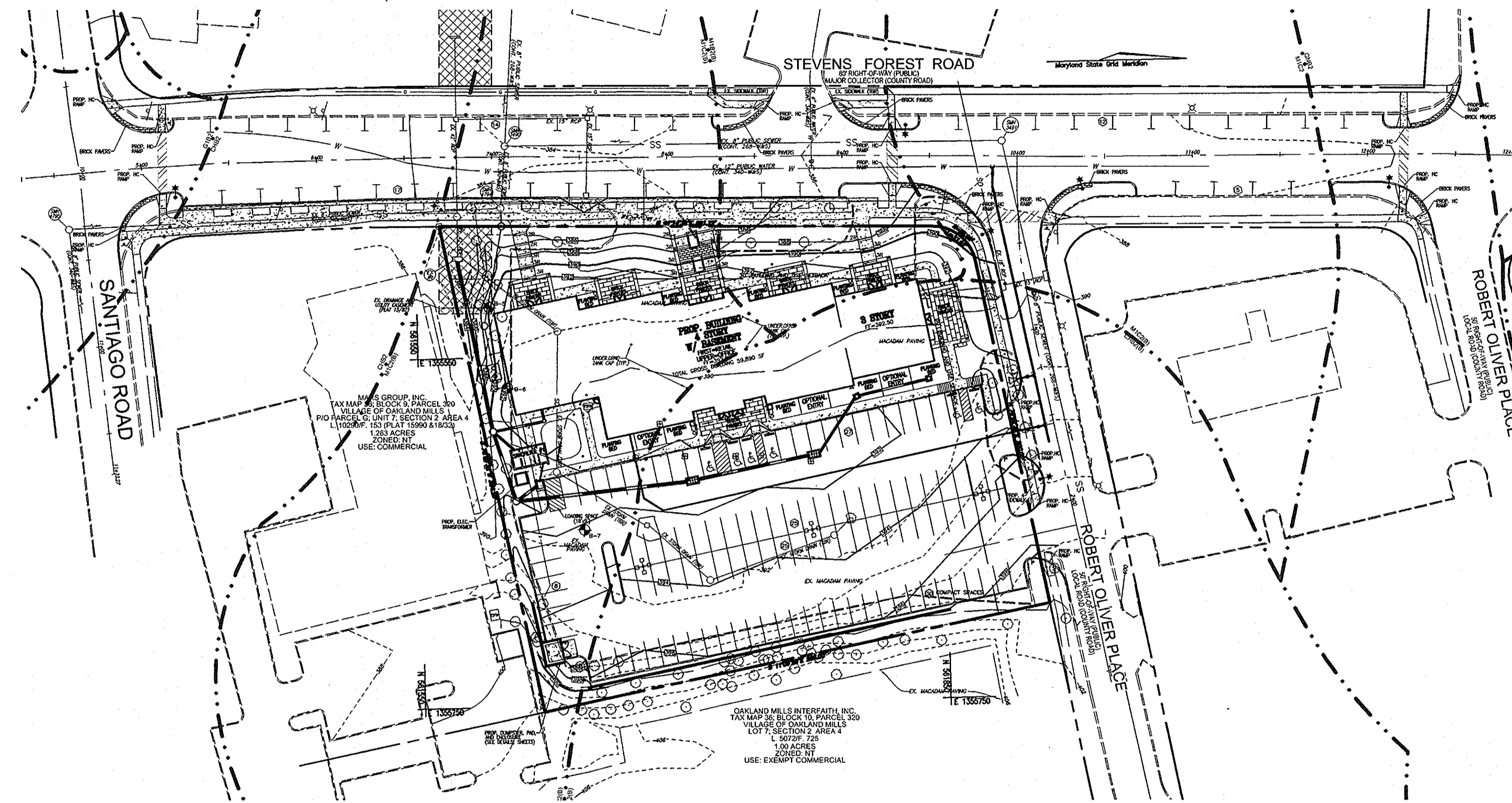
GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS AISHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS:
 MISS UTILITY 1-800-257-7777
 VERISON TELEPHONE COMPANY 1-410-954-6281
 HOWARD COUNTY BUREAU OF UTILITIES 313-2366
 ATEK CABLE LOCATION DIVISION 393-3553
 B.G.A.E. CO. CONTRACTOR SERVICES 850-4620
 B.G.A.E. CO. UTILITIES DAMAGE CONTROL 787-4320
 STATE HIGHWAY ADMINISTRATION 531-5533
- SITE ANALYSIS:**
 AREA OF PARCEL 300 LOT 8: 1.71 AC.
 PRESENT ZONING: NT
 USE OF STRUCTURE:
 OFFICE, RETAIL AND RESTAURANT
 BUILDING COVERAGE (FOOTPRINT): 14813 SF (0.34 AC. OR 19.89% OF LOT 8 AREA)
 BASEMENT AREA: 16585 SF STORAGE/MECHANICAL
 1ST FLOOR: 89265 SF RETAIL, 33275 SF OFFICE, 25235 SF STORAGE
 2ND FLOOR: 125725 SF OFFICE, 27005 SF STORAGE
 3RD FLOOR: 125725 SF OFFICE, 27005 SF STORAGE
 4TH FLOOR: 103515 SF OFFICE, 23635 SF STORAGE
 TOTAL BUILDING FLOOR SPACE: 8926 RETAIL, 388225 OFFICE, 121425 SF STORAGE
 TOTAL FLOOR SPACE: 58990 SF
 PAVED PARKING LOT/AREA ON SITE: 0.73 AC. OR 42% OF LOT 8 AREA
 AREA OF LANDSCAPE ISLAND: 0.012 AC. OR 0.72% OF LOT 8 AREA
 LIMIT OF DISTURBED AREA: 2.12 AC.
 CUT: 2600 CY FILL: 2600 CY
- PROJECT BACKGROUND:**
 LOCATION - COLUMBIA, MD.; TAX MAP 36, BLOCK 3 & 9, PARCEL 300, LOT 8.
 ZONING: NT
 SUBDIVISION: N/A
 SECTION/AREA: N/A
 SITE AREA: 1.71 AC (ON-SITE), 0.51 AC (OFF-SITE)
 REF. REFERENCES: SDP-73-1189, SDP-70-111, FDP-50-A
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
- ANY DAMAGE TO PUBLIC RIGHT-OF-WAYS, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- EXISTING UTILITIES LOCATED FROM ROAD CONSTRUCTION PLANS, FIELD SURVEYS, PUBLIC WATER AND AND SEWER EXTENSION PLANS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTORS INFORMATION. CONTRACTOR TO LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- ALL REINFORCED CONCRETE FOR STORM DRAIN STRUCTURES SHALL HAVE A MINIMUM OF 28 DAYS STRENGTH OF 3,500 P.S.I.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ESTIMATES OF EARTHWORK QUANTITIES ARE PROVIDED SOLELY FOR THE PURPOSE OF CALCULATING FEES.
- SOIL COMPACTION SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER, GEOTECHNICAL ENGINEER TO CONFIRM ACCEPTABILITY OF PROPOSED PAVING SECTION BASED ON TEST PRIOR TO CONSTRUCTION.
- THE EXISTING TOPOGRAPHY SHOWN HEREON IS BASED ON A FIELD TOPOGRAPHICAL SURVEY PERFORMED BY ROBERT H. VOGEL ENGINEERING, INC., DATED OCTOBER 2006.
- THE PROPERTY LINES SHOWN HEREON IS BASED ON A BOUNDARY SURVEY PERFORMED BY ROBERT H. VOGEL ENGINEERING, INC., DATED FEBRUARY 12, 2007.
- A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
- THE GEOTECHNICAL ENGINEER TO CONFIRM PAVING SECTION PRIOR TO CONSTRUCTION. ALL PAVING TO BE MINIMUM HOWARD COUNTY STANDARD DETAIL P-2 UNLESS OTHERWISE NOTED. (SEE DETAIL, SHEET 3)
- ALL CURB AND COUNTY STANDARD DETAIL 3.01 UNLESS OTHERWISE NOTED. (SEE DETAIL, SHEET 3)
- CONTRACTOR RESPONSIBLE TO CONSTRUCT ALL HANDICAP RAMPS AND HANDICAP ACCESS IN ACCORDANCE WITH CURRENT ADA REQUIREMENTS.
- WHERE DRAINAGE FLOWS AWAY FROM CURB, CONTRACTOR TO REVERSE THE CUTTER PAN.
- ALL ELEVATIONS ARE TO FLOWLINE/BOTTOM OF CURB UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- PUBLIC WATER AVAILABLE THROUGH CONTRACT 340-W&S.
- STORMWATER MANAGEMENT QUANTITY IS NOT REQUIRED FOR THIS PROJECT.
- STORMWATER MANAGEMENT QUALITY IS PROVIDED BY A PROPOSED UNDERGROUND SAND/FILTER SYSTEMS. THE PROPOSED STORMWATER FACILITIES TO BE PROVIDED OWNED AND MAINTAINED BY DEVELOPER. THIS PROJECT IS CONSIDERED REDEVELOPMENT.
- ALL EXTERIOR LIGHTING TO CONFORM TO SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS. (DETAIL ON SHEET 3)
- GEOTECHNICAL REPORT PREPARED BY ENGINEERING CONSULTING SERVICES, LLC., DATED NOVEMBER 16, 2006.
- ANY EXISTING STREET TREES DAMAGED OR DESTROYED DURING CONSTRUCTION WILL BE REPLACED BY THE CONTRACTOR.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE NEW TOWN/ALTERNATIVE COMPLIANCE PROVISIONS OF CHAPTER VI FO THE HOWARD COUNTY LANDSCAPE MANUAL.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$13,200.00 FOR THE REQUIRED 44 SHADE TREES.
- TRAFFIC STUDY PREPARED BY THE TRAFFIC GROUP, DATED FEBRUARY 8, 2007.
- ALL STORMWATER PIPE BEDDING IS TO BE CLASS "C".
- BUILDING TO HAVE INSIDE WATER METER SETTING.
- THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- ALL ROOF LEADERS TO DRAIN INTO SITE STORM DRAINS.
- THE SUBJECT PROPERTY IS ZONED NT PER THE 02/02/2004 COMPREHENSIVE ZONING PLAN AND THE "COMP LITE" ZONING AMENDMENTS EFFECTIVE 07/28/06.
- THIS PROJECT IS EXEMPT FROM THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BECAUSE IT IS IN THE NT ZONING DISTRICT AND THIS PROPERTY HAS A SITE DEVELOPMENT PLAN APPROVED PRIOR TO DECEMBER 31, 1992 (SDP-70-1189 & SDP-73-1189) THIS SITE DEVELOPMENT PLAN.
- THE EXISTING FOUNDATION AND ALL STRUCTURES WITHIN PARCELS 300 SHALL BE LOT 8 REMOVED, IN ACCORDANCE WITH HOWARD COUNTY REGULATIONS, PRIOR TO CONSTRUCTION.
- THERE ARE NO 100-YEAR FLOODPLAINS, WETLANDS, FCE AREAS, WETLAND BUFFERS, STREAMS, STREAM BUFFERS, SLOPES 15-24.9%, OR SLOPES 25% OR GREATER LOCATED ON PARCEL 300, LOT 8.
- BUILDING TO HAVE AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM.
- LANDSCAPING NOT PERMITTED WITHIN 7'-1 1/2" OF EACH SIDE OF THE FIRE DEPARTMENT CONNECTION. PROVIDE A CLEAR UNRESTRICTED ACCESS PATH TO THE FIRE DEPARTMENT CONNECTION. NFPA-1 13.1.4
- A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. IT SHALL BE PLACED TO THE RIGHT TO THE MAIN ENTRANCE AT A RANGE OF 405" IN HEIGHT AND NO MORE THAN 6' LATERALLY FROM THE DOOR. THE BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM). NFPA-1 10.12.1
- SIGNAGE SHALL BE PROVIDED ON THE BUILDING IDENTIFYING THE BUILDING ADDRESS, AND EACH SUITE SEPERATED BY LETTER.
- STREET LIGHT PLACEMENT AND THE TYPE OF FIXTURE AND POLE SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME III (1993) AND AS MODIFIED BY "GUIDELINES FOR STREET LIGHTS IN RESIDENTIAL DEVELOPMENTS (JUNE 1993) A MINIMUM SPACING OF 20' SHALL BE MAINTAINED BETWEEN ANY STREET LIGHT AND ANY TREE.
- ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTRY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) -3" LONG. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
- NUMEROUS SIGNS WILL NEED TO BE RELOCATED ALONG STEVENS FOREST ROAD CONTACT HOWARD COUNTY TRAFFIC ENGINEERING (410-313-5752) FOR DETAILS.
- PROVIDE PEDESTRIAN SIGNS (W11-2 WITH ARROW MOUNTED TO POLE) AT EACH OF THE THREE CROSS WALKS ON STEVENS FOREST ROAD. TOTAL OF 12 SIGNS MOUNTED BACK. SIGNS MAYBE PLACED ON STREET LIGHT POLES WHERE POSSIBLE.
- THE PROJECT IS SUBJECT TO A DESIGN MANUAL WAIVER, APPROVED JUNE 22, 2007; TO VOLUME III, SECTION 2.5.B.9, INTERSECTION SIGHT DISTANCE. FOR THE PURPOSED IMPROVEMENTS LOCATED AT ROBERT OLIVER PLACE AND STEVENS FOREST ROAD, THE STOPPING SIGHT DISTANCE IS BEING PROVIDED AND THE INTERSECTION SIGHT DISTANCE BASED ON THE STOPPING SIGHT DISTANCE REQUIRED LENGTH IS ALSO BEING PROVIDED. THIS ALTERNATE CRITERIA IS PRESENTED IN THE INTERSECTION SIGHT DISTANCE SECTION OF THE ROADS AND BRIDGES DESIGN MANUAL. THESE CRITERIA HAVE BEEN ACHIEVED.

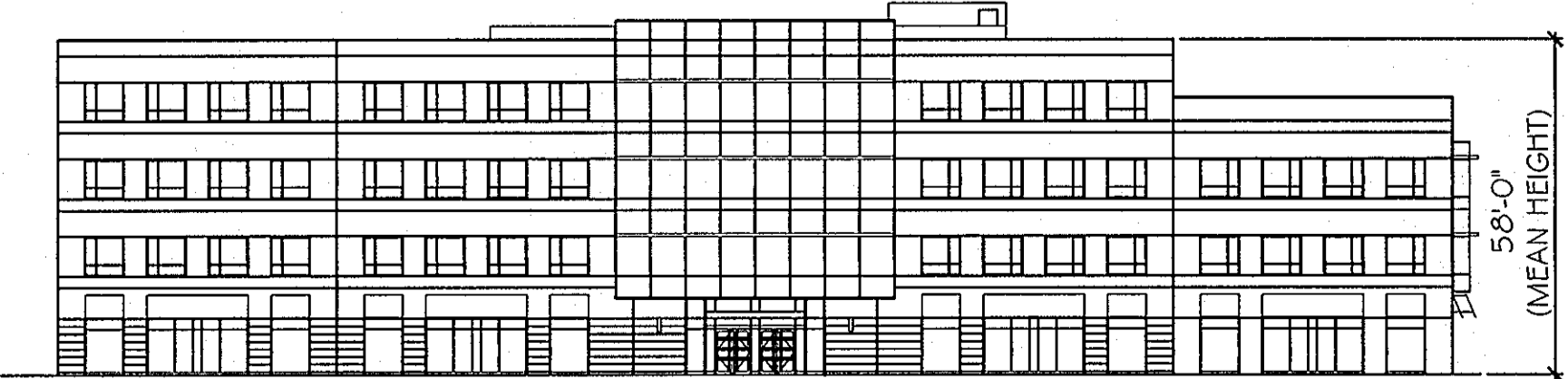
PARKING TABULATION

OFFICE: 38,822SF @ 3 SPACES/1000SF= 117 SPACES
 SERVICE/RETAIL: 8,926SF @ 5 SPACES/1000SF= 45 SPACES
 TOTAL SPACES REQUIRED: 162 SPACES (INCLUDE 6 HANDICAP SPACE)
 TOTAL SPACES PROVIDED: 115 SPACES OFF-STREET
 48 SPACES ON-STREET
 163 TOTAL SPACES (INCLUDE 6 HANDICAP SPACE)

MERIDIAN SQUARE (FORMERLY KNOWN AS METRO CENTER) VILLAGE OF OAKLAND MILLS LOT 8 OFFICE/RETAIL/RESTAURANT SITE DEVELOPMENT PLAN



LOCATION MAP
SCALE: 1"=50'



ADDRESS CHART					
LOT/PARCEL#	STREET ADDRESS				
8/300	5901 STEVEN FOREST RD				
PERMIT INFORMATION CHART					
SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER			
N/A	N/A	300			
DEED REF.	BLOCK NO.	ZONE	TAX/ZONE	ELECT. DIST.	CENSUS TR.
4571/501	3&9	NT	36	6TH	6066.03
WATER CODE: E03			SEWER CODE: 553260		

DEVELOPER
 STEVENS FOREST ASSOCIATES, LLC
 C/O METROVENTURES/USA, INC.
 ONE NORTH CHARLES STREET
 SUITE 1901
 BALTIMORE, MARYLAND 21201
 410-385-8922

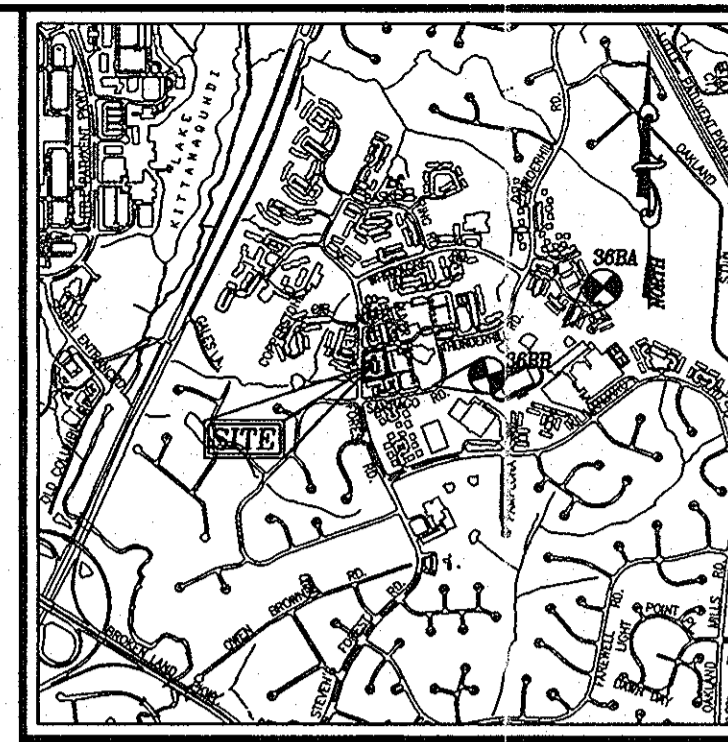
OWNER
 EXXON CORPORATION
 PO BOX 53
 HOUSTON, TX 77001

LEGEND

Existing Contour	---
Proposed Contour	---
Existing Spot Elevation	382.56
Proposed Spot Elevation	+82.53
Direction of Flow	→
Existing Trees to Remain	(Tree Symbol)
Light Poles	(Light Pole Symbol)
Soil Type	M1B2 M1B3
Concrete	(Hatched Pattern)

BENCHMARKS

HOWARD COUNTY BENCHMARK 36BA (CONCRETE MONUMENT)	N 562135.529	E 1357571.633	ELEV. 416.78
HOWARD COUNTY BENCHMARK 36BB (CONCRETE MONUMENT)	N 561504.223	E 1356203.669	ELEV. 409.29



SHEET INDEX

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SEDIMENT AND EROSION CONTROL NOTES AND DETAILS	5 OF 9
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APPROVED
 ENGINEERING DEPARTMENT
 OF HOWARD COUNTY
 DATE: 8/9/07

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 [Signature]
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 10/30/07

[Signature]
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 11/1/07

[Signature]
 DIRECTOR
 DATE: 11/1/07

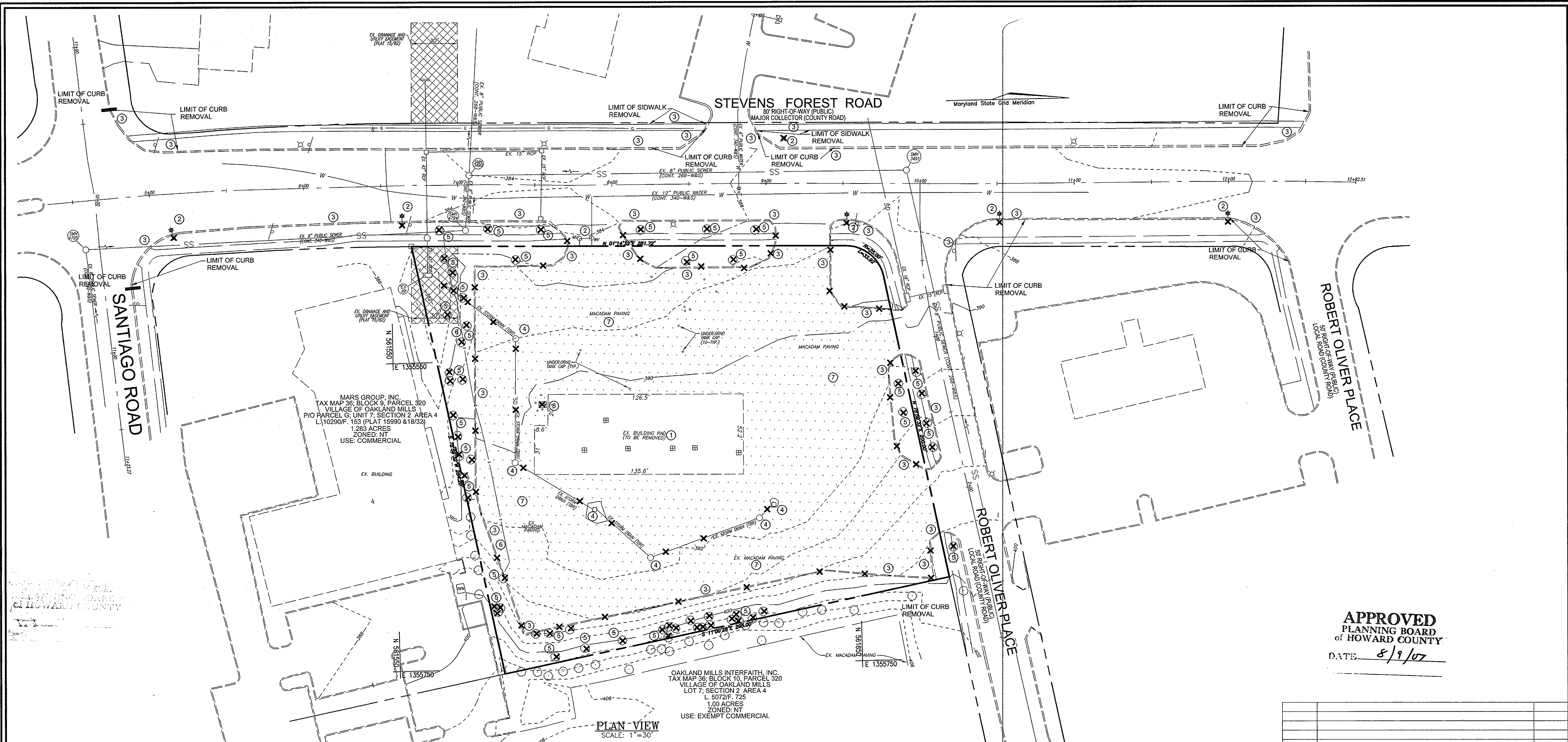
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 COUNTY HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT
 DATE:

SITE DEVELOPMENT PLAN
COVER SHEET
MERIDIAN SQUARE
 (formerly known as METRO CENTER)
 VILLAGE OF OAKLAND MILLS - LOT 8
 OFFICE/RETAIL/RESTAURANT
 TAX MAP 36 BLOCKS 3 & 9 PARCEL 300
 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET
 ELICOTT CITY, MD 21043
 TEL: 410.461.7666
 FAX: 410.461.8961

DESIGN BY: W.G.Z.
 DRAWN BY: W.G.Z.
 CHECKED BY: RHV
 DATE: OCT. 17, 2007
 SCALE: AS SHOWN
 W.O. NO.: 06-33

1 SHEET OF 9



DESIGN GUIDELINES - DEMOLITION PLAN

PLAN VIEW
SCALE: 1"=30'

- GENERAL NOTES:**
- DEMOLITION CONTRACTOR SHALL CONSTRUCT EROSION CONTROL MEASURES AS SHOWN ON THE EROSION CONTROL PLAN AS NECESSARY DURING DEMOLITION OPERATIONS OR AS DIRECTED BY THE ENGINEER, CITY OR COUNTY INSPECTOR TO PROTECT ADJACENT PROPERTIES AND WATER RESOURCES FROM SOIL EROSION AND SEDIMENTATION.
 - VARIATIONS TO CONDITIONS OR DISCREPANCIES IN ACTUAL FIELD CONDITIONS AS THEY APPLY TO THE DEMOLITION OR SITE DEVELOPMENT WORK MUST BE BROUGHT TO THE OWNER'S REPRESENTATIVE AND ENGINEER'S ATTENTION PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION.
 - CONTRACTOR SHALL LOCATE, IDENTIFY, PROPERLY TERMINATE, AND MARK ALL EXISTING UTILITIES WITHIN THE DEMOLITION AREA THAT ARE TO REMAIN AND PROTECT THEM FROM DAMAGE.
 - THE DEMOLITION CONTRACTOR MUST NOTIFY ALL UTILITY COMPANIES, FIRE MARSHALL, AND OWNER'S REPRESENTATIVE PRIOR TO INTERRUPTION OF ANY UTILITY SERVICE. NOTIFICATION MUST BE MADE PER THE PROJECT SPECIFICATIONS. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH AND ADHERENCE TO EACH UTILITY COMPANY'S AND FIRE MARSHALL'S REGULATIONS REGARDING SERVICE INTERRUPTION.
 - THE DEMOLITION CONTRACTOR MUST PROTECT ALL LANDSCAPING AND OTHER FEATURES DESIGNATED TO REMAIN AND REPLACE SUCH ITEMS IF DISTURBED DURING DEMOLITION.
 - CONTRACTOR SHALL CONDUCT ALL DEMOLITION OPERATIONS WITH MINIMUM INTERFERENCE TO PUBLIC AND/OR PRIVATE ACCESSES AND FACILITIES. ALL AREAS OUTSIDE OF THE PAVEMENT REMOVAL LINE MUST BE MAINTAINED FOR PUBLIC ACCESS.
 - THE DEMOLITION CONTRACTOR MUST PROTECT BENCH MARKS, PROPERTY CORNERS, AND ALL OTHER SURVEY MONUMENTS FROM DAMAGE OR DISPLACEMENT. IF A MARKER MUST BE REMOVED, IT SHALL BE REPLACED BY A LICENSED LAND SURVEYOR AND REPLACED.
 - THE DEMOLITION CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL MEASURES AS REQUIRED IN ACCORDANCE WITH THE U.S. DEPT. OF TRANSPORTATION "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" AND GOVERNING MUNICIPALITY REQUIREMENTS.
 - DEPRESSIONS AND VOID AREAS CAUSED BY DEMOLITION WORK ARE TO BE FILLED TO SUBGRADE AND PROPERLY COMPACTED TO THE EXISTING ELEVATION TO AVOID WATER PONDING.
 - THE DEMOLITION CONTRACTOR SHALL ACQUIRE ALL PERMITS AND PAY ALL ASSOCIATED FEES PERTAINING TO THE DEMOLITION AND DISPOSAL REQUIREMENTS. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ADHERENCE TO ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS REGARDING THIS WORK. IF THERE ARE NO LOCAL, STATE OR FEDERAL REQUIREMENTS THE DEMOLITION CONTRACTOR SHALL ACQUIRE AN ENGINEER'S CERTIFICATION THAT THE WORK HAS BEEN DONE IN ACCORDANCE WITH THE PLANS.
 - THE DEMOLITION CONTRACTOR SHALL COORDINATE THE DEMOLITION TO LEAVE ACCESS AND UTILITY SERVICE TO THE NEIGHBORING BUILDINGS AT ALL TIMES.
 - THE DEMOLITION CONTRACTOR SHALL FIELD LOCATE, MARK AND PROTECT ALL EXISTING UTILITIES.

LEGEND:

	EXISTING CONTOUR
	EXISTING SPOT ELEVATION
	EXISTING CURB AND GUTTER
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING MAILBOX
	EXISTING SIGN
	EXISTING SANITARY MANHOLE
	EXISTING SANITARY LINE
	EXISTING CLEANOUT
	EXISTING FIRE HYDRANT
	EXISTING TRANSFORMER
	EXISTING WATER LINE
	EXISTING FENCE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	DEMOTES ITEM TO BE REMOVED
	PAVEMENT/GRAVEL DRIVE TO BE REMOVED

	BUILDING PAD TO BE RAZED
	LIGHT POLE/ UTILITY STRUCTURE TO BE REMOVED
	CURB & GUTTER, CONCRETE, SIDEWALK, RUBBLE TO BE REMOVED (ALL CURB & GUTTER TO BE REMOVED WITHIN PROPERTY LINES)
	STORM DRAIN STRUCTURE TO BE REMOVED
	TREE TO BE REMOVED (S6)
	CONTRACTOR TO DETERMINE IF ELECTRICAL SERVICE THROUGH SITE SERVES THE MARS GROUP PROPERTY TO THE SOUTH. IF SERVICE IS PROVIDED TO THEM, THEN CONTRACTOR TO RELOCATE AS NECESSARY, WHILE MAINTAINING SERVICE.
	MACADAM TO BE REMOVED
	TRANSFORMER TO BE REMOVED

NOTE:
ALL STORM DRAIN STRUCTURES NOT SPECIFICALLY CALLED OUT TO BE REMOVED ARE TO BE MODIFIED PER THIS SITE DEVELOPMENT PLAN.
THE EXISTING STORMWATER MANAGEMENT FACILITY AND ASSOCIATED STRUCTURES ARE TO REMAIN.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 10/30/07
CHIEF, DEVELOPMENT ENGINEERING DIVISION (6) DATE

[Signature] 11/1/07
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 11/1/07
DIRECTOR DATE

APPROVED
PLANNING BOARD
of HOWARD COUNTY
DATE 8/9/07

NO.	REVISION	DATE

SITE DEVELOPMENT PLAN
EXISTING CONDITIONS
AND DEMOLITION PLAN

MERIDIAN SQUARE
(formerly known as METROCENTER)
VILLAGE OF OAKLAND MILLS - LOT 8
OFFICE/RETAIL/RESTAURANT

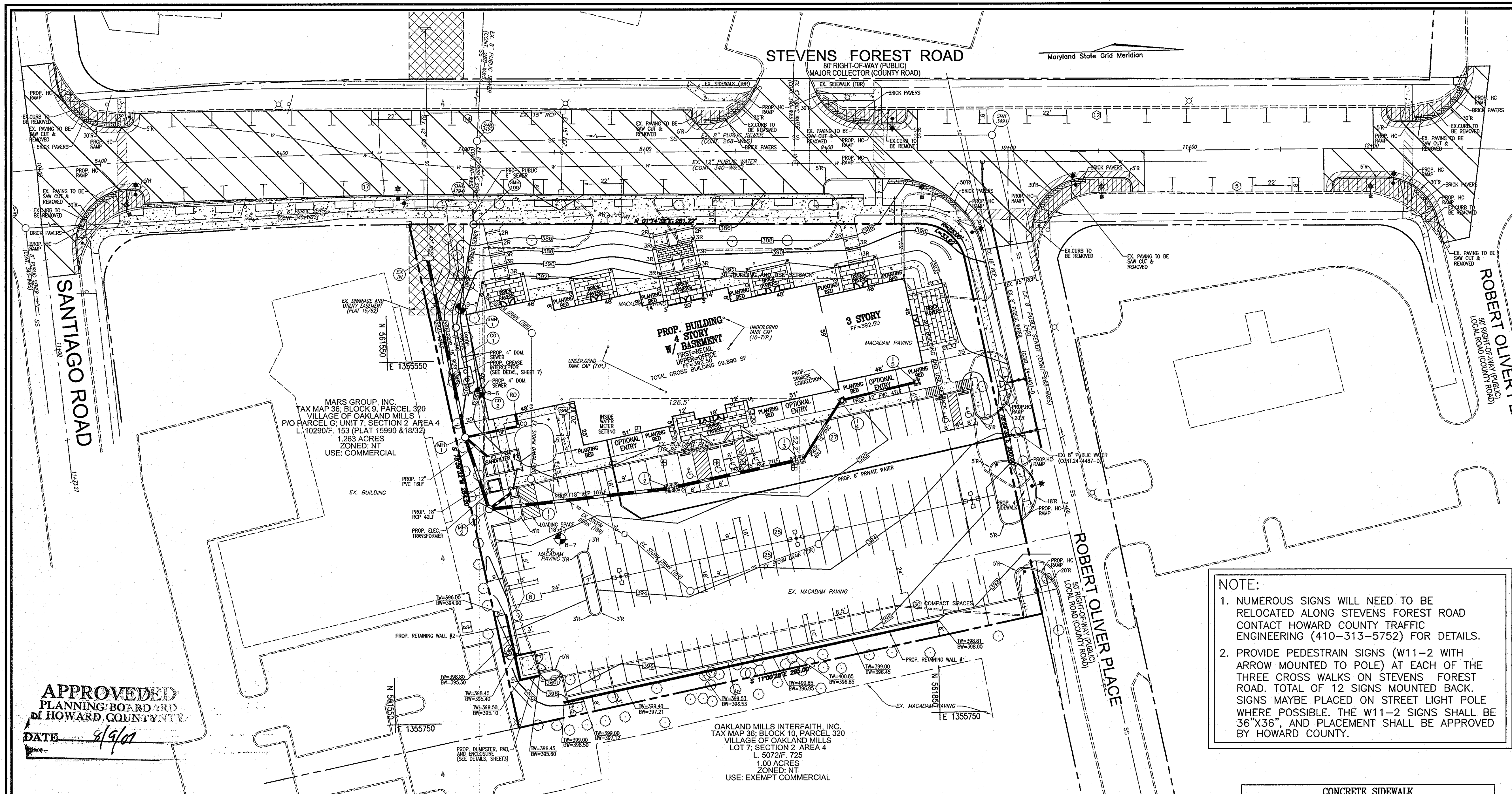
TAX MAP 36 BLOCKS 3 & 9 PARCEL 300
5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL
ENGINEERS • SURVEYORS • PLANNERS

8407 MAIN STREET TEL: 410-461-7666
ELLIGOTT CITY, MD 21043 FAX: 410-461-8961

DESIGN BY: WGZ
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2 SHEET OF 9

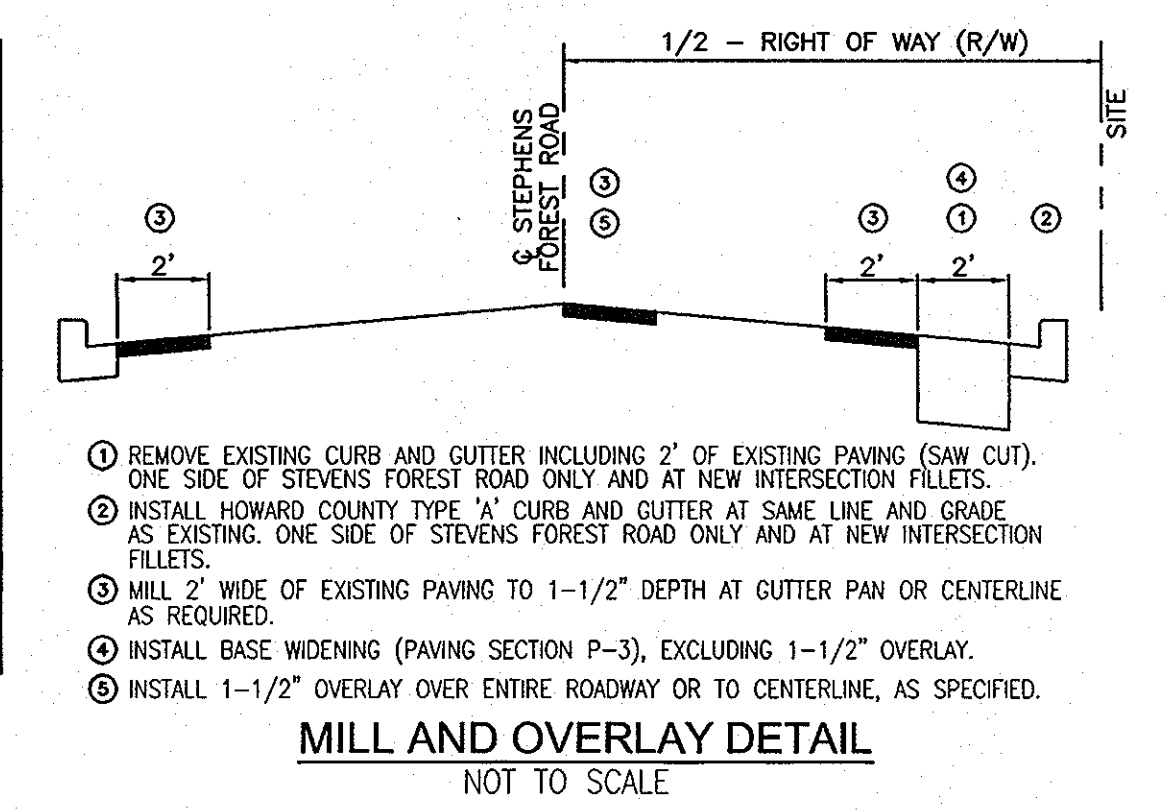


LEGEND:

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- EXISTING SPOT ELEVATION
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN INLET
- EXISTING TREES (FIELD LOCATED)
- EXISTING TREELINE
- EXISTING FENCE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- SOLS BOUNDARY
- PROPOSED SIDEWALK
- PROPOSED LIGHTING
- MILL AND OVERLAY

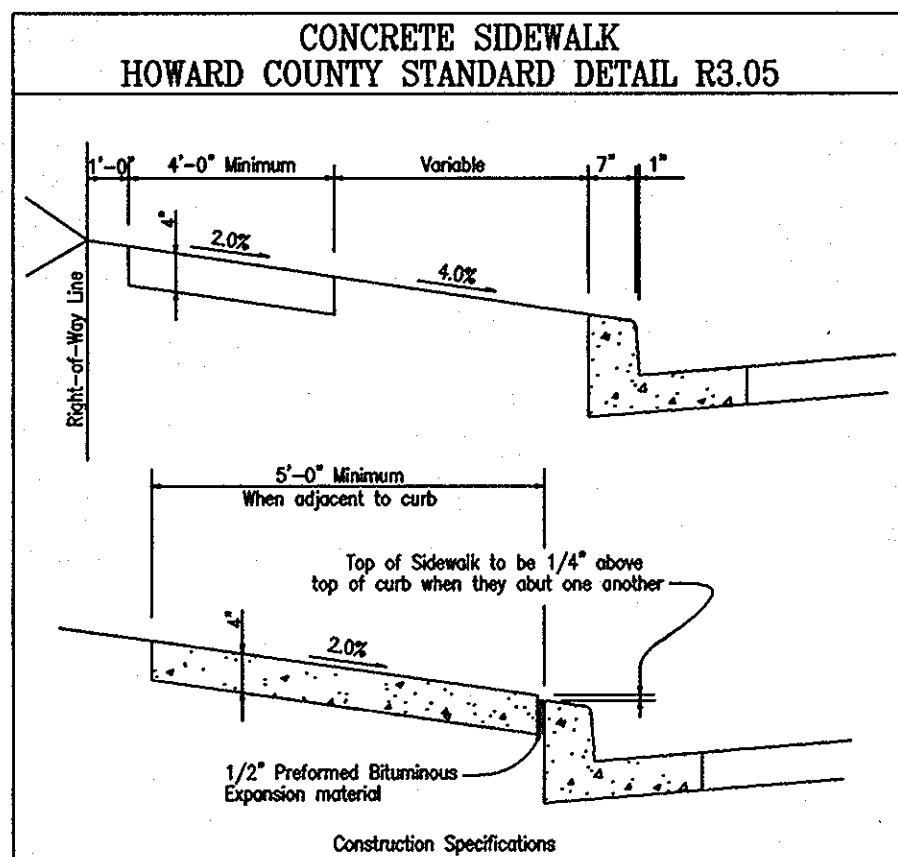
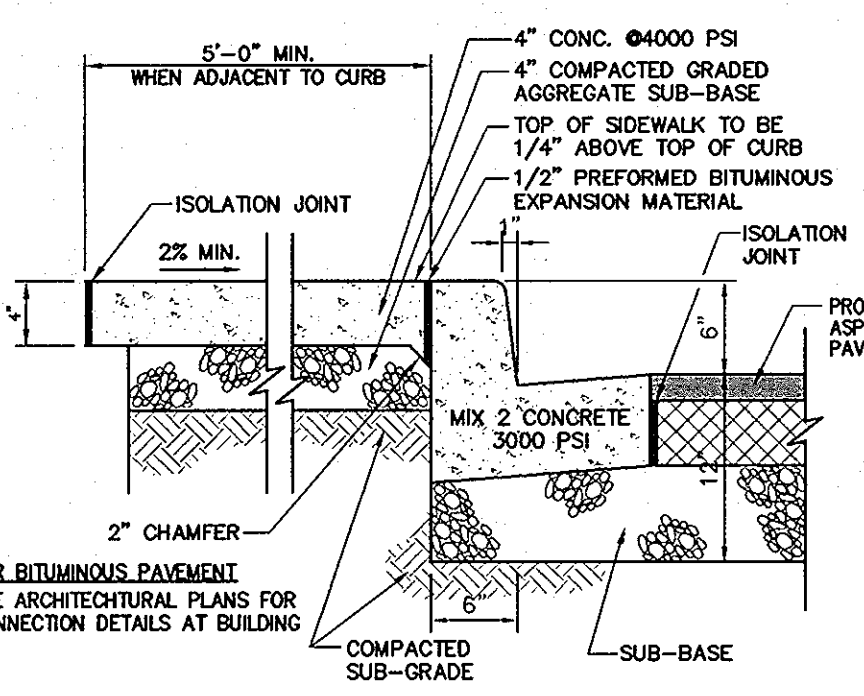
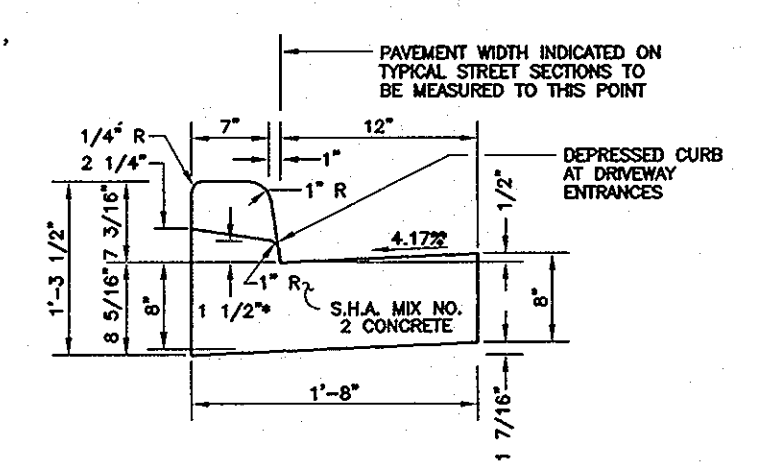
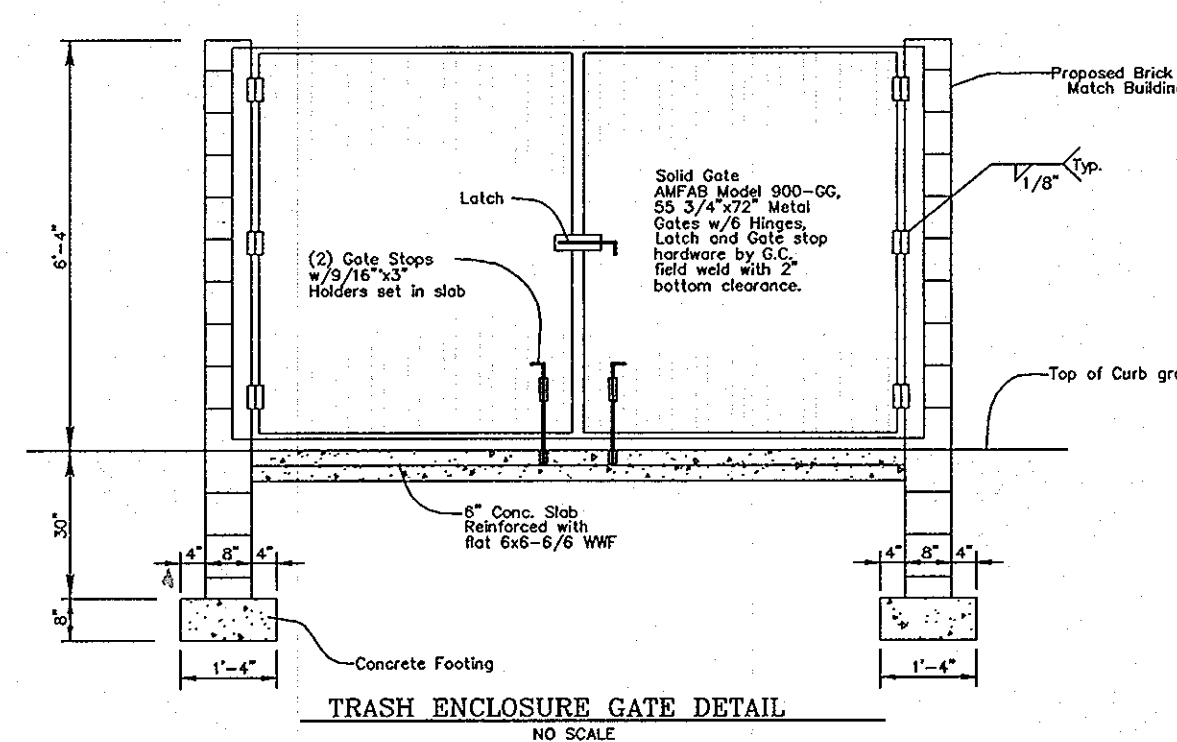
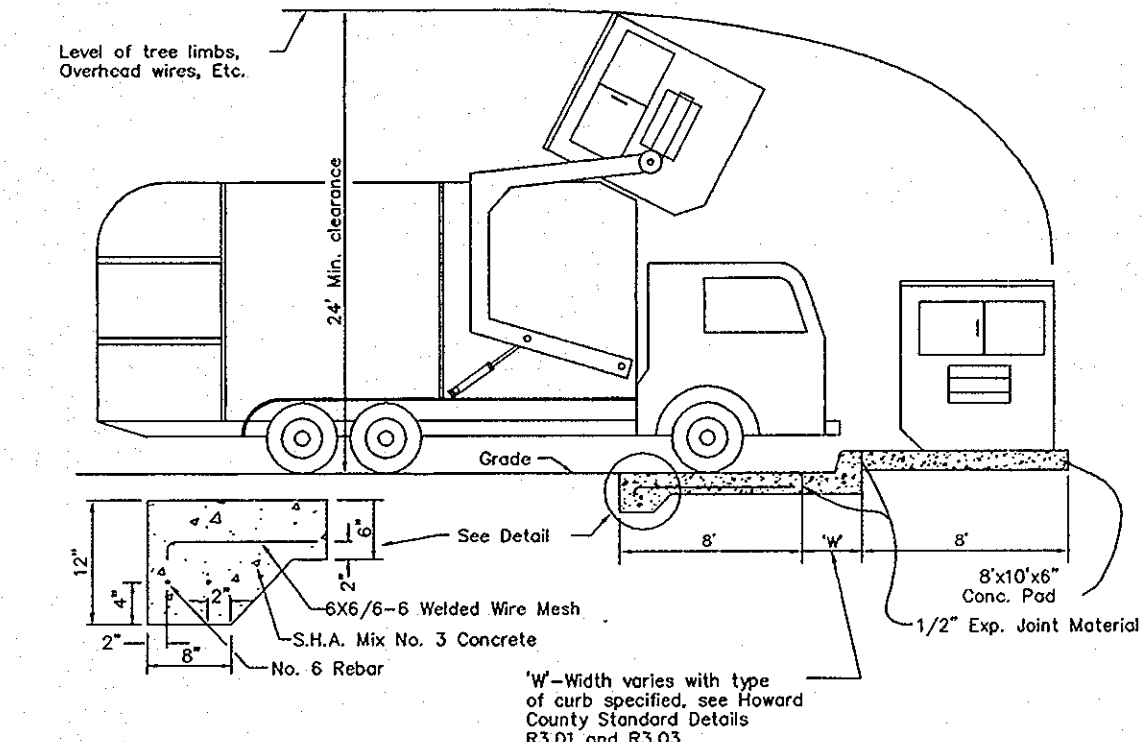
NOTE:

- NUMEROUS SIGNS WILL NEED TO BE RELOCATED ALONG STEVENS FOREST ROAD CONTACT HOWARD COUNTY TRAFFIC ENGINEERING (410-313-5752) FOR DETAILS.
- PROVIDE PEDESTRAIN SIGNS (W11-2 WITH ARROW MOUNTED TO POLE) AT EACH OF THE THREE CROSS WALKS ON STEVENS FOREST ROAD. TOTAL OF 12 SIGNS MOUNTED BACK. SIGNS MAY BE PLACED ON STREET LIGHT POLE WHERE POSSIBLE. THE W11-2 SIGNS SHALL BE 36"X36", AND PLACEMENT SHALL BE APPROVED BY HOWARD COUNTY.



APPROVED
PLANNING BOARD OF
HOWARD COUNTY
DATE 8/9/01

LAYOUT
SCALE: 1"=30'



PAVEMENT SECTIONS

	LIGHT DUTY	HEAVY DUTY
SURFACE COURSE ASPHALT HMA Superpave - 9.5mm**	1.5"	1.5"
BASE COURSE ASPHALT HMA Superpave - 12.5mm** HMA Superpave - 19.0mm**	2.0"	3.0"
GRADED AGGREGATE BASE GAB	6.0"	6.0"
TOTAL PAVEMENT THICKNESS	9.5"	10.5"

*Compaction: Level 1 (50 gyrations)
**Binder Type: PG64-22

- Construction Specifications**
- Sidewalk to be scribed in 5'-0" maximum squares.
 - Expansion joints across the sidewalk not to be more than 15' apart.
 - 1/2" Preformed Bituminous Expansion material in expansion joints to be kept 1/4" below surface of sidewalk.
 - Concrete to be min number 2.
 - When sidewalk abuts curb, sidewalk shall be 1/4" above curb with 1/2" Preformed Bituminous Expansion material between sidewalk and curb.
 - On longitudinal sidewalk grades of 5% or greater, a concrete header, 6" thick and 6" deep below the normal 1/2" concrete sidewalk shall be constructed for the full width of the sidewalk at intervals of 40 feet. The headers shall be placed at expansion joint locations and shall be monolithic with the curb.
 - Sidewalk width adjacent to curb shall be 5'-0" minimum except sidewalk adjacent to curb in cut-and-throw shall be 4'-0" wide.
 - Sidewalk located 2' or more from curb may be 4'-0" in width with a 5'x5' paved section placed 200' apart.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION 66 DATE 10/30/01

 CHIEF, DIVISION OF LAND DEVELOPMENT DATE 11/1/01

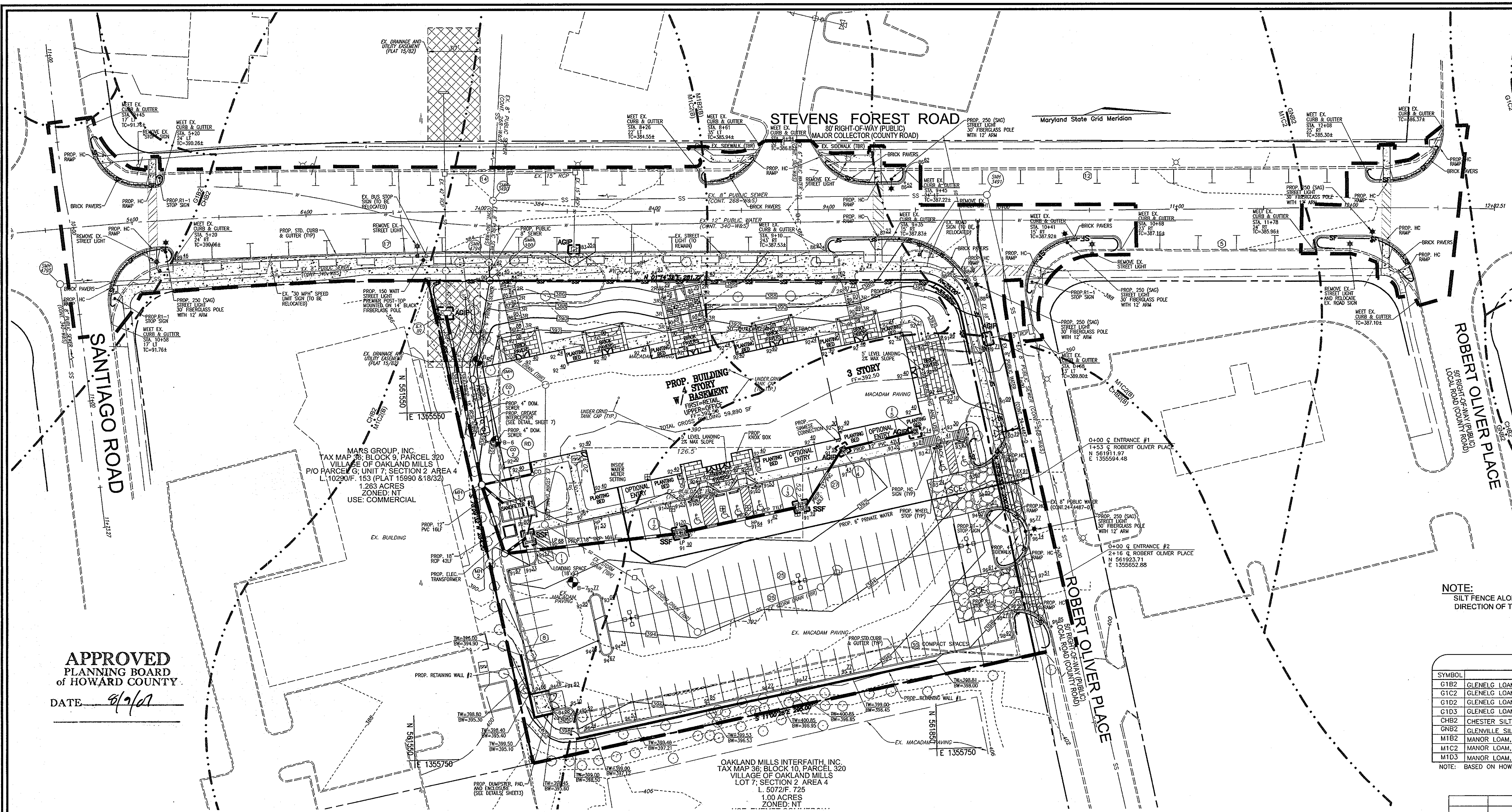
 DIRECTOR DATE 11/1/01

SITE DEVELOPMENT PLAN
SITE LAYOUT
AND DETAILS PLAN
MERIDIAN SQUARE
(formerly known as METROCENTER)
VILLAGE OF OAKLAND MILLS - LOT 8
OFFICE/RETAIL/RESTAURANT
TAX MAP 36 BLOCKS 3 & 9 PARCEL 300
6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL
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8407 MAIN STREET
ELICOTT CITY, MD 21043
TEL: 410.461.7666
FAX: 410.461.8966

DESIGN BY: _____
DRAWN BY: W.G.Z.
CHECKED BY: R.H.V.
DATE: OCT. 17, 2007
SCALE: AS SHOWN
W.O. NO.: 06-33

3 SHEET OF 9



- LEGEND:**
- EXISTING CONTOUR
 - - - - PROPOSED CONTOUR
 - + 402.88 PROPOSED SPOT ELEVATION
 - EXISTING SPOT ELEVATION
 - EXISTING CURB AND GUTTER
 - PROPOSED CURB AND GUTTER
 - EXISTING UTILITY POLE
 - EXISTING LIGHT POLE
 - EXISTING MAILBOX
 - EXISTING SIGN
 - EXISTING SANITARY MANHOLE
 - EXISTING SANITARY LINE
 - EXISTING CLEANOUT
 - EXISTING FIRE HYDRANT
 - EXISTING WATER LINE
 - PROPOSED STORM DRAIN
 - PROPOSED STORM DRAIN INLET
 - EXISTING TREES (FIELD LOCATED)
 - EXISTING TREELINE (FIELD LOCATED)
 - EXISTING FENCE
 - PROPERTY LINE
 - RIGHT-OF-WAY LINE
 - SOILS BOUNDARY
 - PROPOSED SIDEWALK
 - PROPOSED LIGHTING
 - SILT FENCE
 - SUPER SILT FENCE
 - AT GRADE INLET PROTECTION
 - SUPER SILT FENCE PROTECTION
 - LIMIT OF DISTURBANCE
 - STABILIZED CONSTRUCTION ENTRANCE

NOTE:
SILT FENCE ALONG STEVENS FOREST ROAD IS TO BE A DOUBLE ROW AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

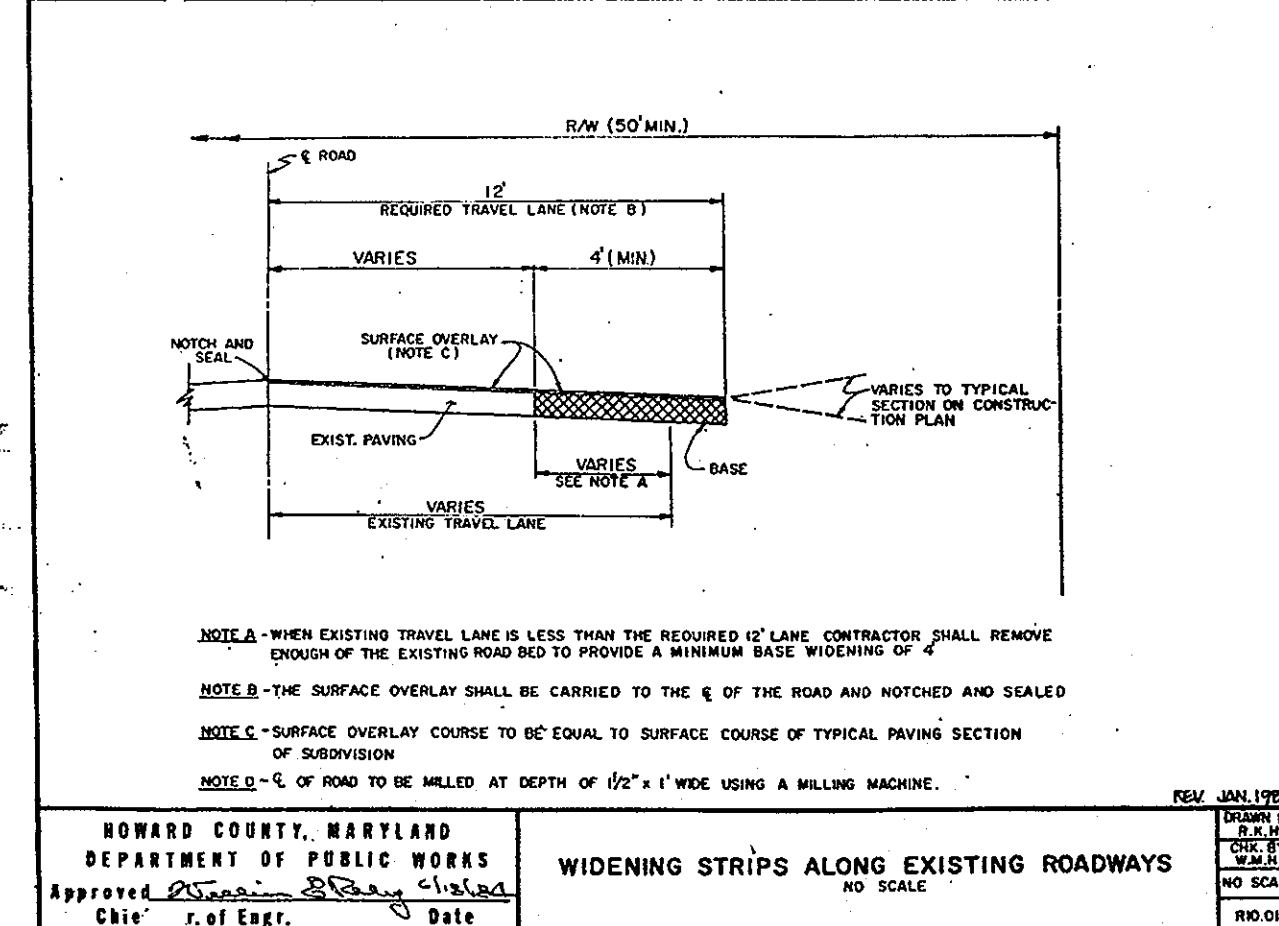
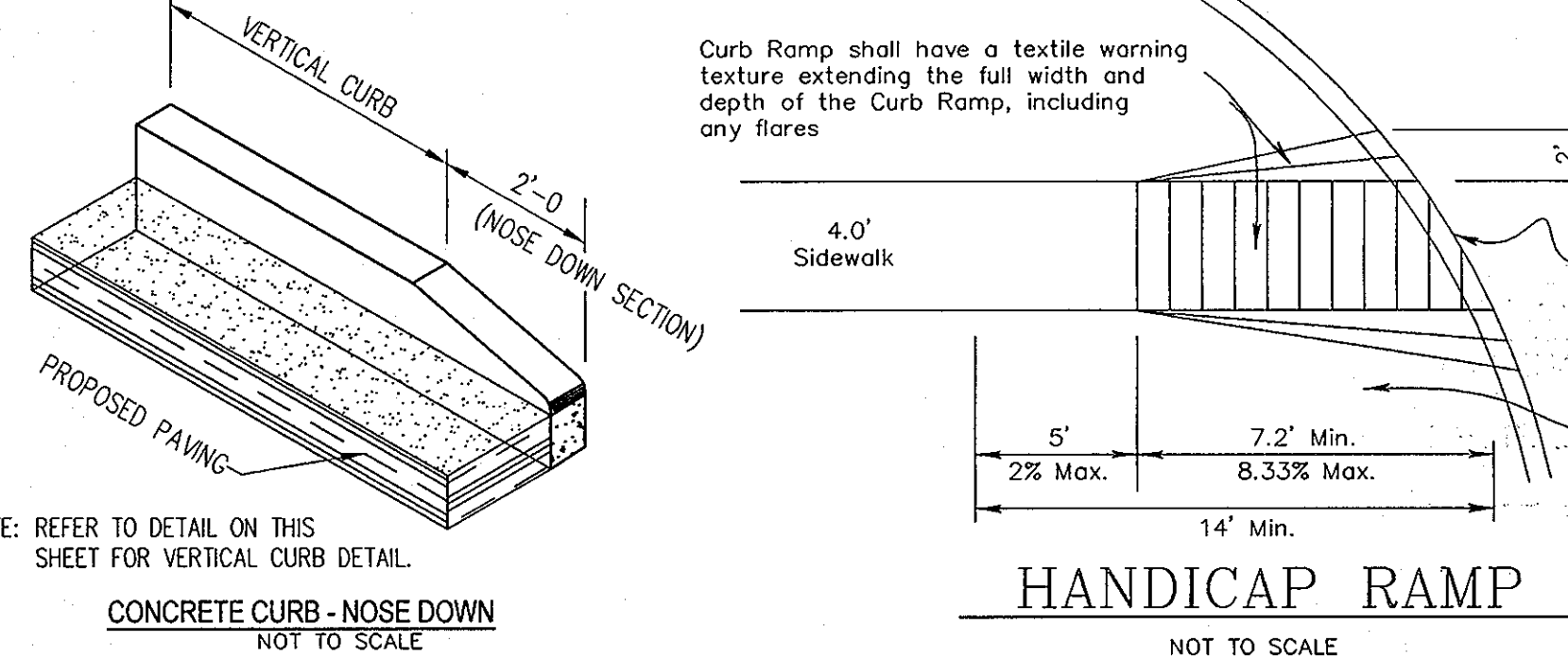
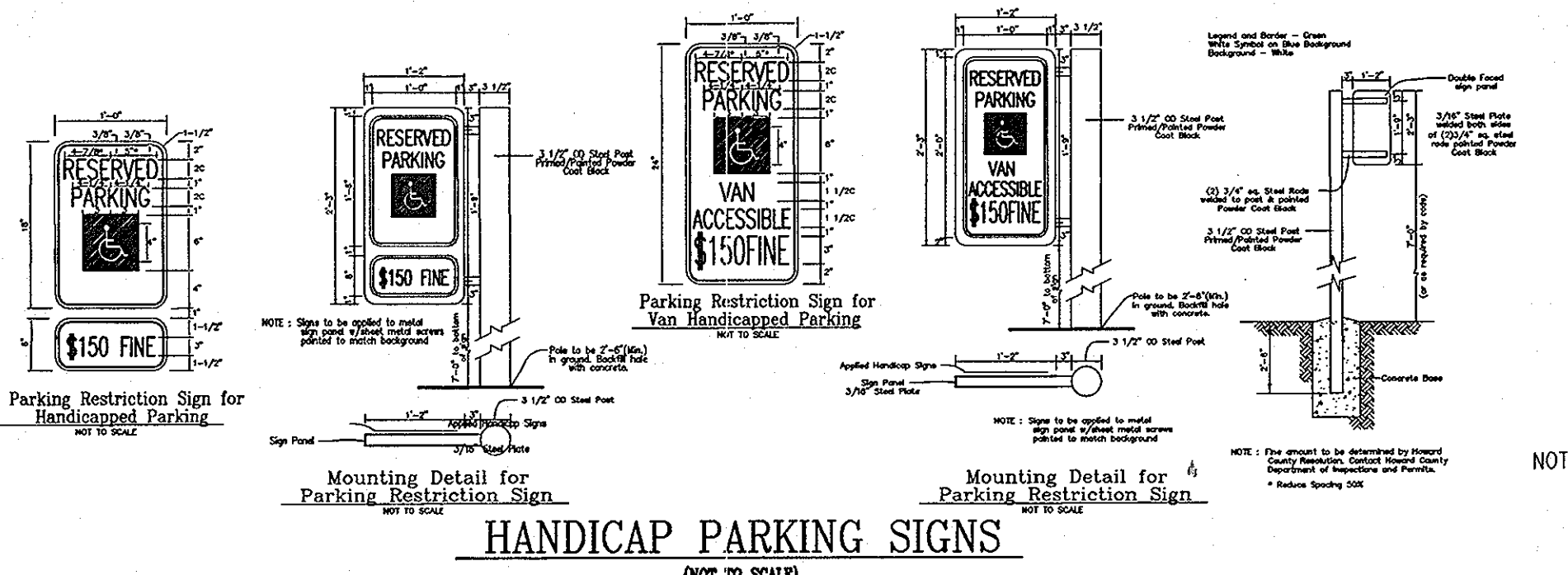
APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE: 8/2/07

SEDIMENT CONTROL PLAN
SCALE: 1"=30'

SOILS LEGEND

SYMBOL	NAME / DESCRIPTION	GROUP
G1B2	GLENELG LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED	B
G1C2	GLENELG LOAM, 8 TO 15 PERCENT SLOPES, MODERATELY ERODED	B
G1D2	GLENELG LOAM, 15 TO 25 PERCENT SLOPES, MODERATELY ERODED	B
G1D3	GLENELG LOAM, 15 TO 25 PERCENT SLOPES, SEVERELY ERODED	B
CHB2	CHESTER SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED	B
GNB2	GLENVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED	C
M1B2	MANOR LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED	B
M1C2	MANOR LOAM, 8 TO 15 PERCENT SLOPES, MODERATELY ERODED	B
M1D3	MANOR LOAM, 15 TO 25 PERCENT SLOPES, SEVERELY ERODED	B

NOTE: BASED ON HOWARD SOIL SURVEY



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

REVIEWED FOR HOWARD S.C.D. & MEETS TECHNICAL REQUIREMENTS
 USDA NATURAL RESOURCES CONSERVATION SERVICE
 THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

BY THE DEVELOPER:
 I, WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

BY THE ENGINEER:
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD COUNTY, MARYLAND
 DEPARTMENT OF PUBLIC WORKS
 Approved: [Signature] Date: 10/15/07
 Chief, [Title]

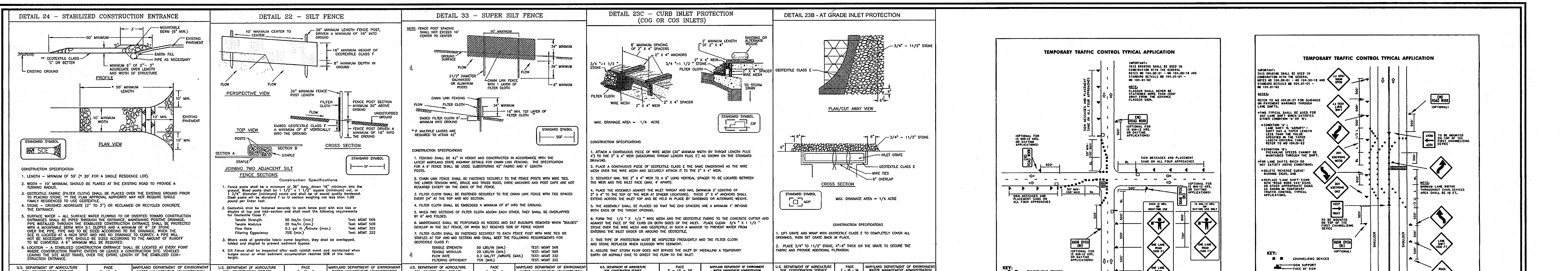
DEVELOPER
 STEVENS FOREST ASSOCIATES, LLC
 C/O METROVENTURES/USA, INC.
 ONE NORTH CHARLES STREET
 SUITE 1901
 BALTIMORE, MARYLAND 21201
 410-385-8922

OWNER
 EXXON CORPORATION
 PO BOX 53
 HOUSTON, TX 77001

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET
 ELIGOTT CITY, MD 21043
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4 SHEET OF 9



PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE UNDER A PERMANENT LONG-TERM VEGETATIVE SEEDBED PREPARATION: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously SOIL AMENDMENTS: In lieu of soil test recommendations, use one of the following:

1. Preferred—Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq.ft.) and 600 lbs per acre 10-10-10 fertilizer (14 lbs./1000 sq.ft.) before seeding or disc into upper three inches of soil. At the time of seeding, apply 400 lbs. per acre 30-0-0 uniform fertilizer (8 lbs./1000 sq.ft.).
2. Acceptable—Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq.ft.) and apply 1000 lbs. per acre 10-10-10 fertilizer (23 lbs./1000 sq.ft.) before seeding. Harrow or disc into upper 3 inches of soil.

SEEDING: For periods March 1 thru April 30, and August 1 thru October 15, seed with 80 lbs. per acre (1.6 lbs./1000 sq.ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs. per acre (.05 lbs./1000 sq.ft.) of weeping lovegrass. During the period of October 16 thru February 28, protect site by Option (1) 2 tons per acre well composted straw mulch and seed as soon as possible in the spring. Option (2) Use seed, Option (3) Seed with 60 lbs./acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well composted MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq.ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre.

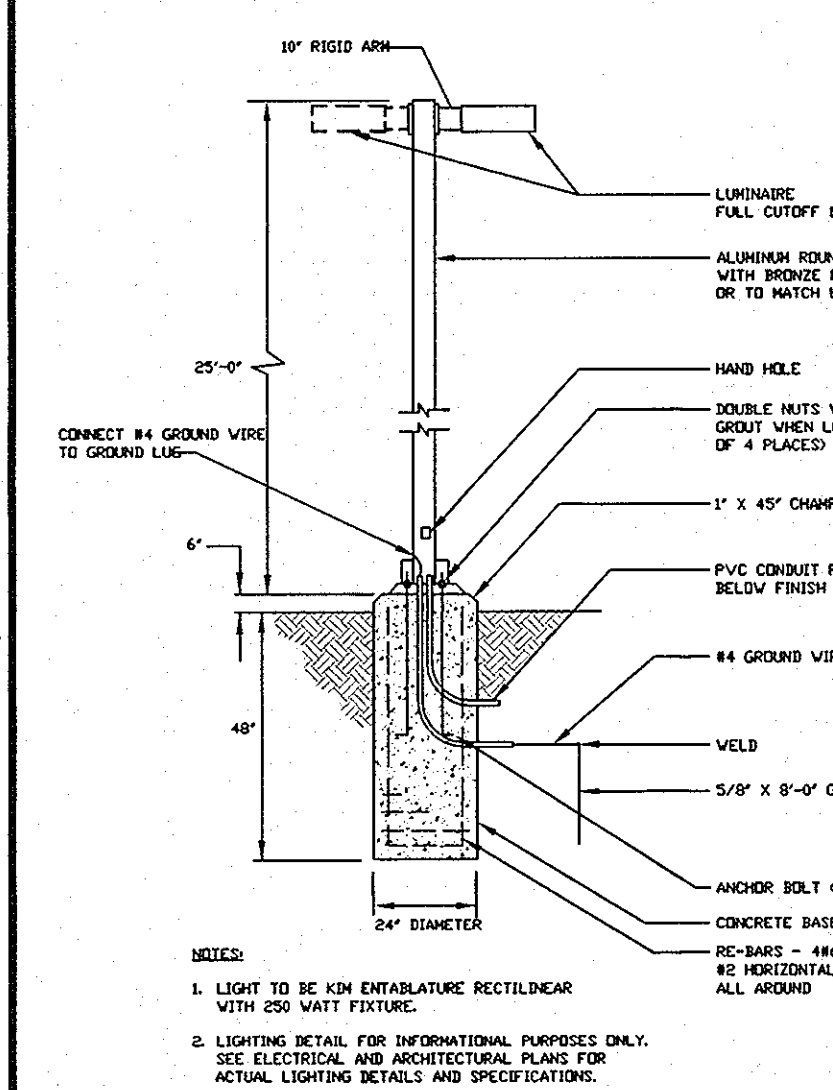
MAINTENANCE: Inspect all seeded areas and make needed repairs.

TEMPORARY SEEDING NOTES

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously SOIL AMENDMENTS: Apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs./1000 sq.ft.) before seeding or disc into upper three inches of soil. At the time of seeding, apply 400 lbs. per acre 30-0-0 uniform fertilizer (8 lbs./1000 sq.ft.).

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REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT SPECIFIED HEREIN.



POLE BASE DETAIL
(NOT TO SCALE)

21.0 STANDARDS AND SPECIFICATIONS FOR TOPSOIL

Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation. To provide a suitable soil medium for vegetable growth. Soils of coarse texture, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation:

Conditions Where Practice Applies

- i. This practice is limited to areas having 2:1 or flatter slopes where the exposed subsoil/parent material is not adequate to produce vegetative growth.
- ii. The soil material is so shallow that the rooting zone is not deep enough to support plants of furnish containing supplies of moisture and plant nutrients.
- iii. The original soil to be vegetated contains moderate toxic to plant growth.
- iv. The soil is so acidic that treatment with lime is not economically feasible.

For the purpose of these Standards and Specifications, slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate shown on the plans.

Construction and Material Specifications

- i. Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SSC in cooperation with Maryland Agricultural Experiment Station.
- ii. Topsoil Specifications - Soil to be used as topsoil must meet the following:
 - a. Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or a soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textures, subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 and 1/2" in diameter.
 - b. Topsoil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnsongrass, nutgrass, poison ivy, bindle, or others as specified.
 - c. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 lbs./acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with bludge operations as described in the following procedures:

For sites having disturbed areas over 5 acres: i. On soil meeting topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following: a. pH for topsoil shall be between 6.0 and 7.5. b. Organic content of topsoil shall be not less than 1.5 percent by weight. c. Topsoil having soluble salt content greater than 200 parts per million shall not be used. d. No sod or seed shall be placed on soil which has elapsed (14 days min.) to permit dissipation of phytotoxic materials.

NOTE: Topsoil specifications or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.

- i. Place topsoil (if required) and apply soil amendments specified in 20.0 Vegetative Stabilization-Section I-Vegetative Stabilization Methods and Materials.
- ii. Grades on the areas to be topsoiled, which have been previously established, shall be maintained, about 4" to 6" higher in elevation.
- iii. Topsoil shall be uniformly distributed in a 4" to 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.
- iv. Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seeded preparation.

SEQUENCE OF CONSTRUCTION

1. OBTAIN HOWARD COUNTY GRADING PERMIT. (WEEK 1)
2. NOTIFY HOWARD COUNTY AT LEAST 48 HOURS PRIOR TO START OF CONSTRUCTION. (WEEK 1)
3. CONDUCT A PRE-CONSTRUCTION MEETING WITH THE SEDIMENT CONTROL INSPECTOR PRIOR TO ANY LAND DISTURBANCE. (WEEK 1)
4. INSTALL STABILIZED CONSTRUCTION ENTRANCE WITH MOUNTAINABLE SEAM. (WEEK 2)
5. INSTALL ALL SILT FENCE, "SUPER" SILT FENCE" AS INDICATED ON PLANS. (WEEK 2)
6. WITH APPROVAL OF SEDIMENT CONTROL INSPECTOR, CLEAR AND GRUB SITE. (WEEK 3)
7. BEGIN ON-SITE GRADING AND UTILITY CONSTRUCTION. (WEEK 4)
8. AS SOON DRAIN INSTALLATION PROGRESSES, INSTALL INLET PROTECTION AS INDICATED ON PLANS. PROVIDE SSF FOR INLETS 1-1, 1-2 AND 1-3. (WEEK 4-6)
9. BEGIN RETAINING WALL CONSTRUCTION. (WEEK 7)
10. BEGIN INSTALLATION OF SANDPAPER. (WEEK 15)
11. BEGIN BUILDING CONSTRUCTION. (WEEK 16)
12. INSTALL ON-SITE PAVING BASE COURSE TO THE LIMITS PERMITTED BY THE SEDIMENT CONTROL INSPECTOR. (WEEK 18)
13. COMPLETE BUILDING AND UTILITY CONSTRUCTION. (WEEK 21)
14. BEGIN OFF-SITE ROAD WORK. (WEEK 23)
15. INSTALL ALL CURB AND GUTTER. (WEEK 26)
16. INSTALL ALL PAVING SURFACE COURSE. (WEEK 28)
17. INSTALL ALL SIDEWALK. (WEEK 29)
18. FINE GRADE AND STABILIZE ALL AREAS OF PARCEL INCLUDING ANY EXPOSED EARTH AREAS OUTSIDE THE LOD. REMOVE ALL TRASH JUNK AND DEBRIS FROM ENTIRE PARCEL. (WEEK 30)
19. REMOVE ALL SEDIMENT CONTROL MEASURES AFTER RECEIVING APPROVAL FROM THE SEDIMENT CONTROL INSPECTOR. (WEEK 39)
20. INSTALL SITE LANDSCAPING. (WEEK 30)

NOTES:

1. DURING GRADING AND AFTER EACH RAINFALL, CONTRACTOR WILL INSPECT AND PROVIDE NECESSARY MAINTENANCE TO THE SEDIMENT CONTROL MEASURES ON THIS PLAN.
2. FOLLOWING INITIAL SOIL DISTURBANCES OR REDISTURBANCE PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
 - a. 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL.
 - b. 14 CALENDAR DAYS FOR ALL OTHER DISTURBED AREAS.

SEDIMENT CONTROL NOTES

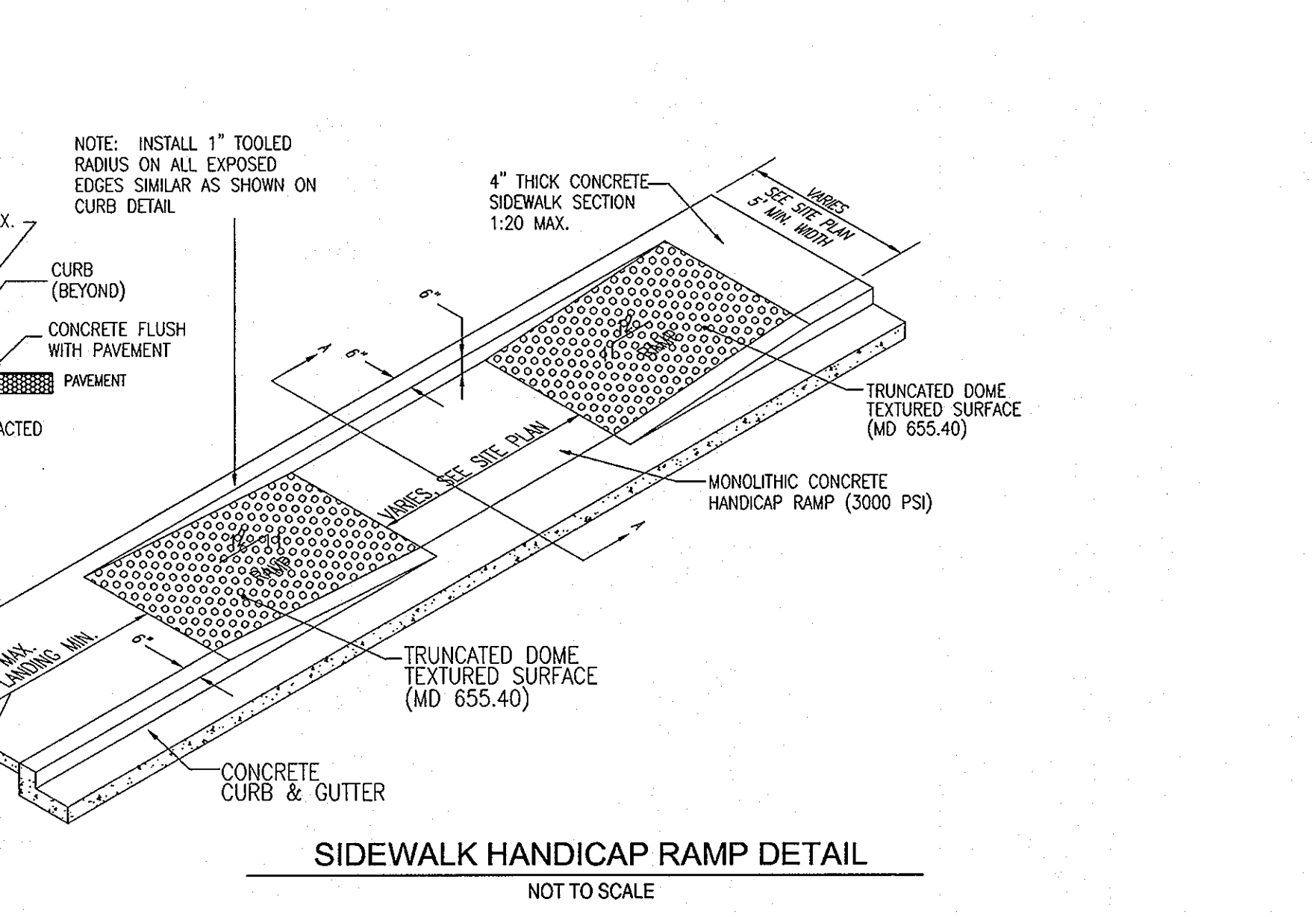
1. A minimum of 48 hours notice must be given to the Howard County Department of Inspection, License and Permits Sediment Control Division prior to the start of any construction (315-1855).
2. All vegetation and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL and revisions thereof.
3. Following initial soil disturbance or redisturbance, permanent or temporary stabilization shall be completed within: (a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes, and all slopes greater than 3:1. (b) 14 days as to all other disturbed or graded areas on the project site.
4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 7, HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding, sod, temporary seeding, and mulching (Sec. 0). Temporary stabilization with mulch shall be done when recommended seeding does not allow for proper germination and establishment of grasses.
6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
7. Site Analysis:

Total Area	1.71 Acres
Graded Disturbed	2.98 Acres
Area to be roofed/covered	1.63 Acres
Area to be vegetatively stabilized	1.82 Acres
Total Curb	1820.00
Total CV	2800.00
WASTE/GRASS/ROCK LOCATION	OFFSITE **
8. Any sediment control practice which is disturbed by grading activity or the placement of utilities must be repaired on the same day of disturbance.
9. Additional sediment controls must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
11. Trenches for the construction of utilities is limited to three pipe lengths or that which shall be back-filled and stabilized within one working day, whichever is shorter.
 - ** Includes 1.91 Acres of off-site for curb fill, milling and overlay, sidewalk and utility construction. Actual site area = 1.71 Acres
 - ** To be determined by contractor, with pre-approval of the Sediment Control Inspector with an approved active grading permit.

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SIDEWALK HANDICAP RAMP DETAIL
(NOT TO SCALE)

TEMPORARY TRAFFIC CONTROL TYPICAL APPLICATION

IMPORTANT: THIS SHALL BE USED IN COMBINATION WITH THE OTHER STANDARD DETAILS NO. 104-01-18 AND 104-01-19. SEE STANDARD DETAILS NO. 104-01-01 TO 104-01-17.

NOTES: 1. TRAFFIC SHALL BE KEPT OFF THE ROADWAY. 2. TRAFFIC SHALL BE KEPT OFF THE ROADWAY. 3. TRAFFIC SHALL BE KEPT OFF THE ROADWAY. 4. TRAFFIC SHALL BE KEPT OFF THE ROADWAY.

KEY: CHANNELLING DEVICES, SIGN SUPPORT, FACE OF SIGN, DIRECTION OF TRAFFIC, WORK SITE, FLAGGER.

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KEY: CHANNELLING DEVICES, SIGN SUPPORT, FACE OF SIGN, DIRECTION OF TRAFFIC, WORK SITE, FLAGGER.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

10/30/07
11/1/07
11/1/07

REVIEWED FOR HOWARD S.C.D. & MEETS TECHNICAL REQUIREMENTS BY THE DEVELOPER:

USDA NATIONAL RESOURCES CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

BY THE DEVELOPER:

SIGNATURE OF DEVELOPER: [Signature]

DATE: 10/18/07

BY THE ENGINEER:

SIGNATURE OF ENGINEER: [Signature]

DATE: 10/18/07

DATE: 8/9/07

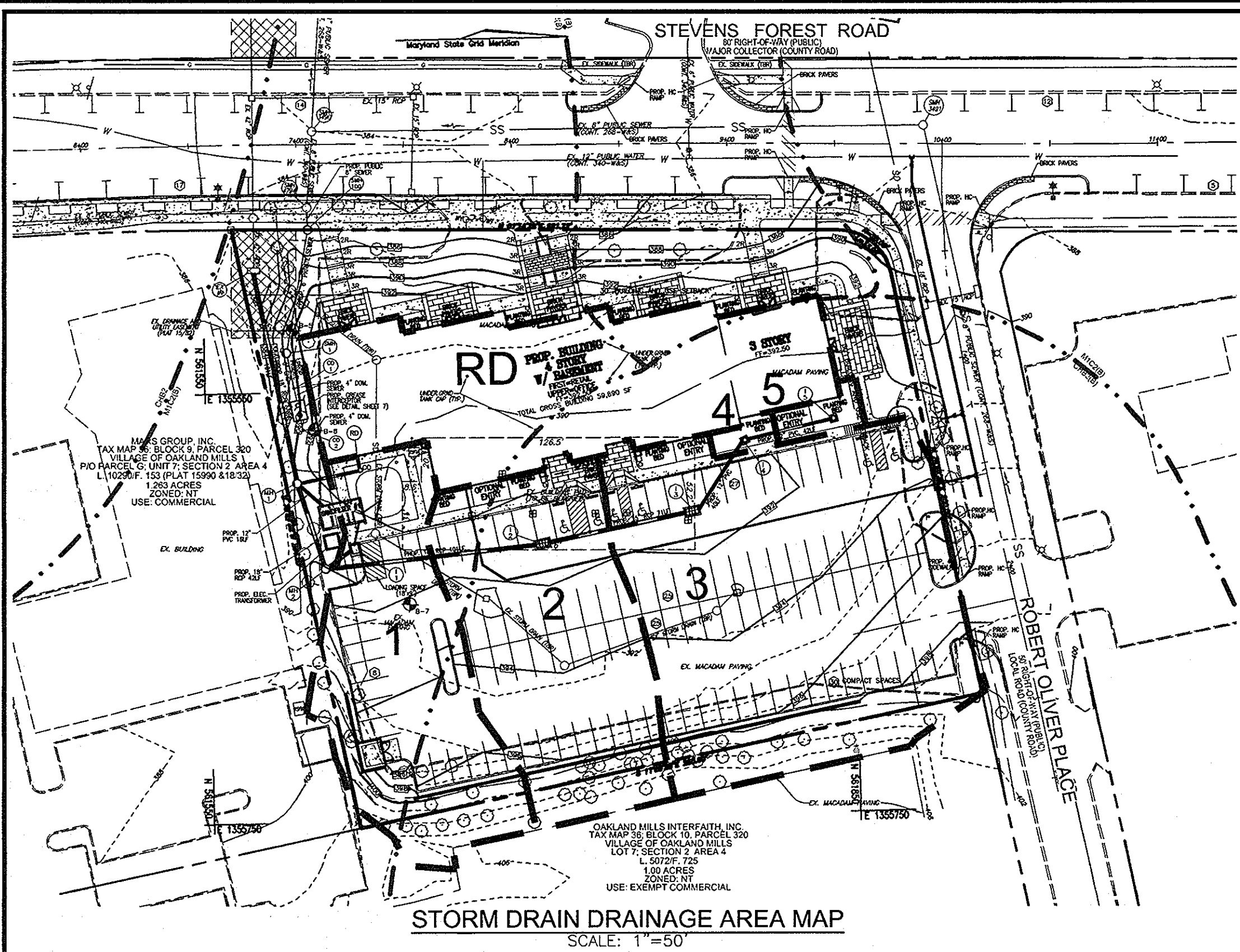
DEVELOPER
STEVENS FOREST ASSOCIATES, LLC
C/O METROVENTURES/USA, INC.
ONE NORTH CHARLES STREET
SUITE 1901
BALTIMORE, MARYLAND 21201
410-385-8922

OWNER
EXXON CORPORATION
PO BOX 53
HOUSTON, TX 77001

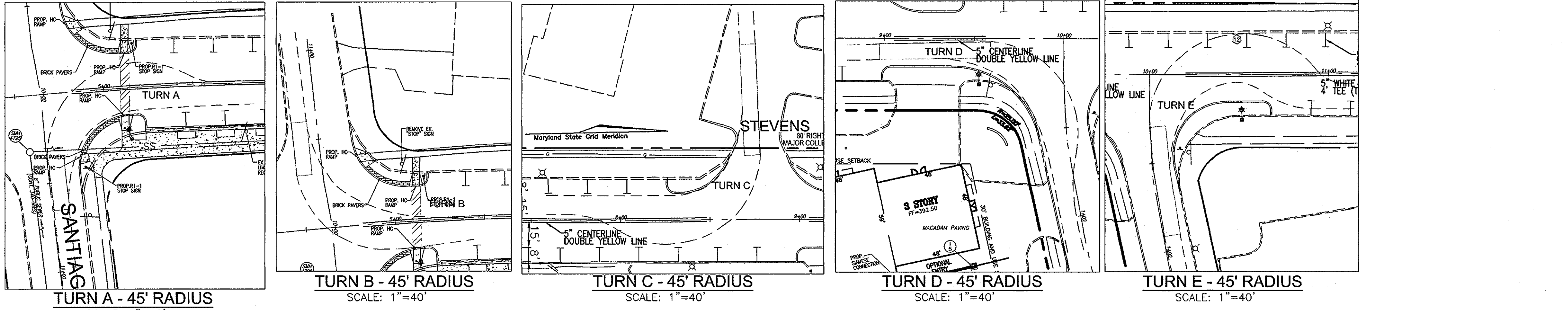
ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET, ELLICOTT CITY, MD 21043
TEL: 410.461.7666
FAX: 410.461.8961

DESIGN BY: WGS
DRAWN BY: WGS
CHECKED BY: RHV
DATE: OCT. 17, 2007
SCALE: AS SHOWN
W.O. NO.: 06-33

5 SHEET OF 9



STORM DRAIN DRAINAGE AREA MAP
SCALE: 1"=50'



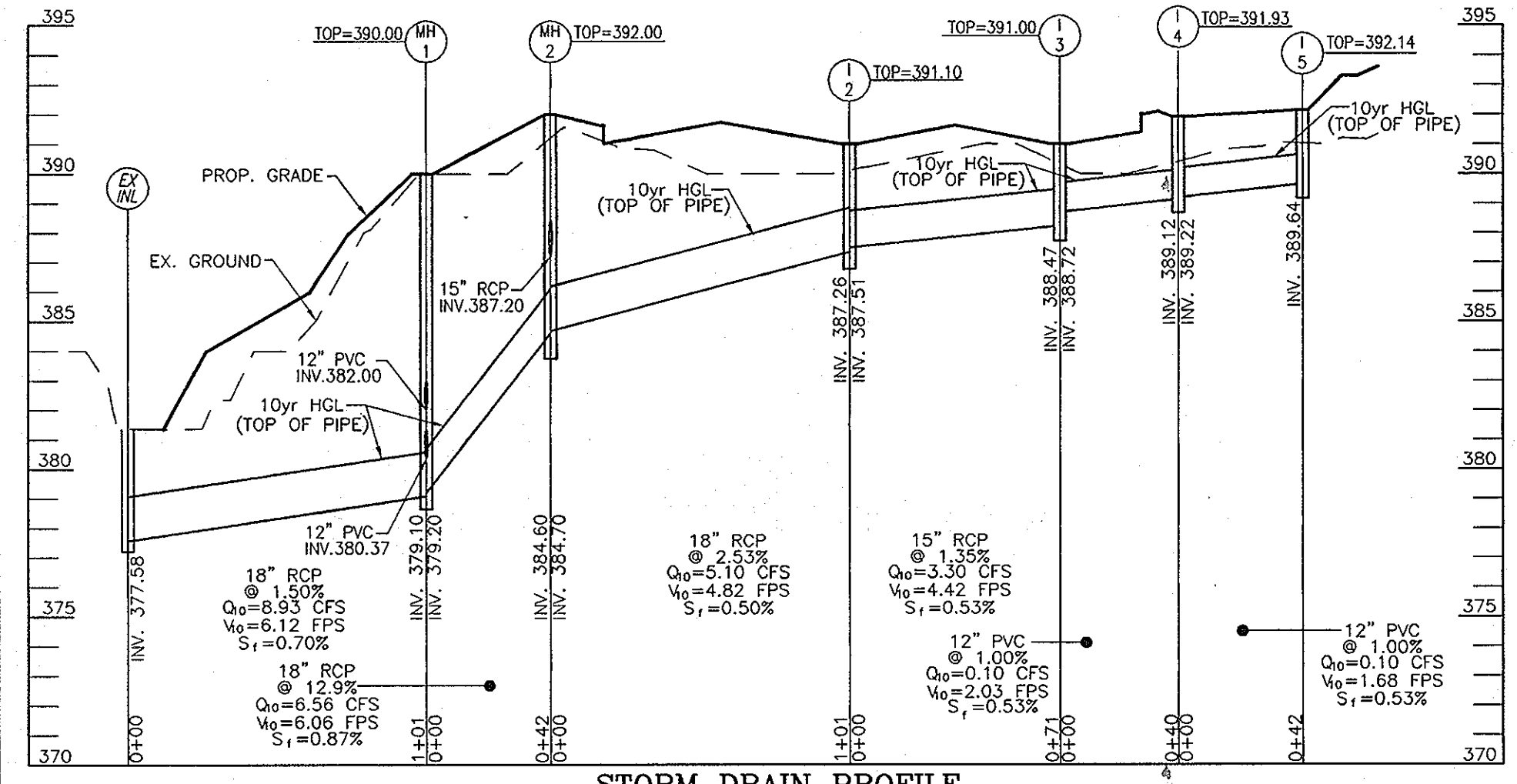
PAVEMENT MARKING PLAN
SCALE: 1"=40'

NO.	TYPE	LOCATION	TOP ELEV.	INV. IN	INV. OUT	COMMENTS
I-1	TYPE 'A'-5' INLET	N 561622 E 1355632	391.58	387.26	387.26	HO. CO. STD. SD-4.40
I-2	DOUBLE TYPE 'S' INLET	N 561725 E 1355624	391.10	387.51	387.26	HO. CO. STD. SD-4.23
I-3	DOUBLE TYPE 'S' INLET	N 561725 E 1355611	391.00	388.47	388.47	HO. CO. STD. SD-4.23
I-4	'YARD' INLET	N 561800 E 1355578	391.93	389.22	389.12	HO. CO. STD. SD-4.14
I-5	'YARD' INLET	N 561842 E 1355570	392.14	389.64	389.64	HO. CO. STD. SD-4.14
MH-1	4'-0" STANDARD PRECAST MANHOLE	N 561592 E 1355592	392.00	388.28	379.10	HO. CO. STD. G-5.12
MH-2	4'-0" STANDARD PRECAST MANHOLE	N 561604 E 1355632	392.00	388.28	384.60	HO. CO. STD. G-5.12 ⁴
	PRECAST SANDPITER	SEE PLAN	388.54	386.87	380.87	SEE SHEET 7

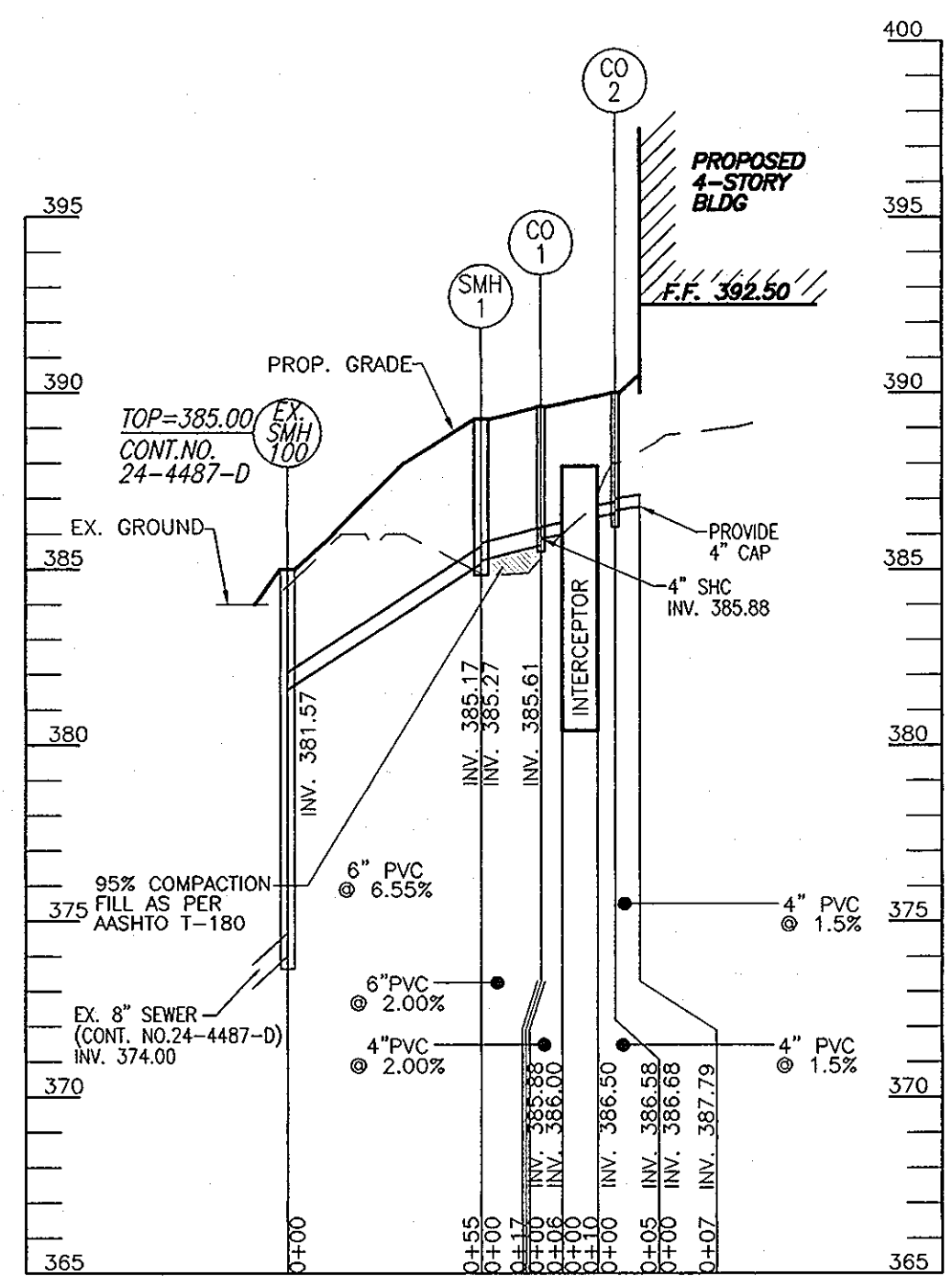
INLET#	AREA (AC)	'C' FACTOR (C)	% IMPERVIOUS (P)
I-1	0.27	0.69	72
I-2	0.29	0.77	85
I-3	0.52	0.74	81
I-4	0.01	0.16	0
I-5	0.01	0.16	0
RD	0.34	0.87	100

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE 8/9/07

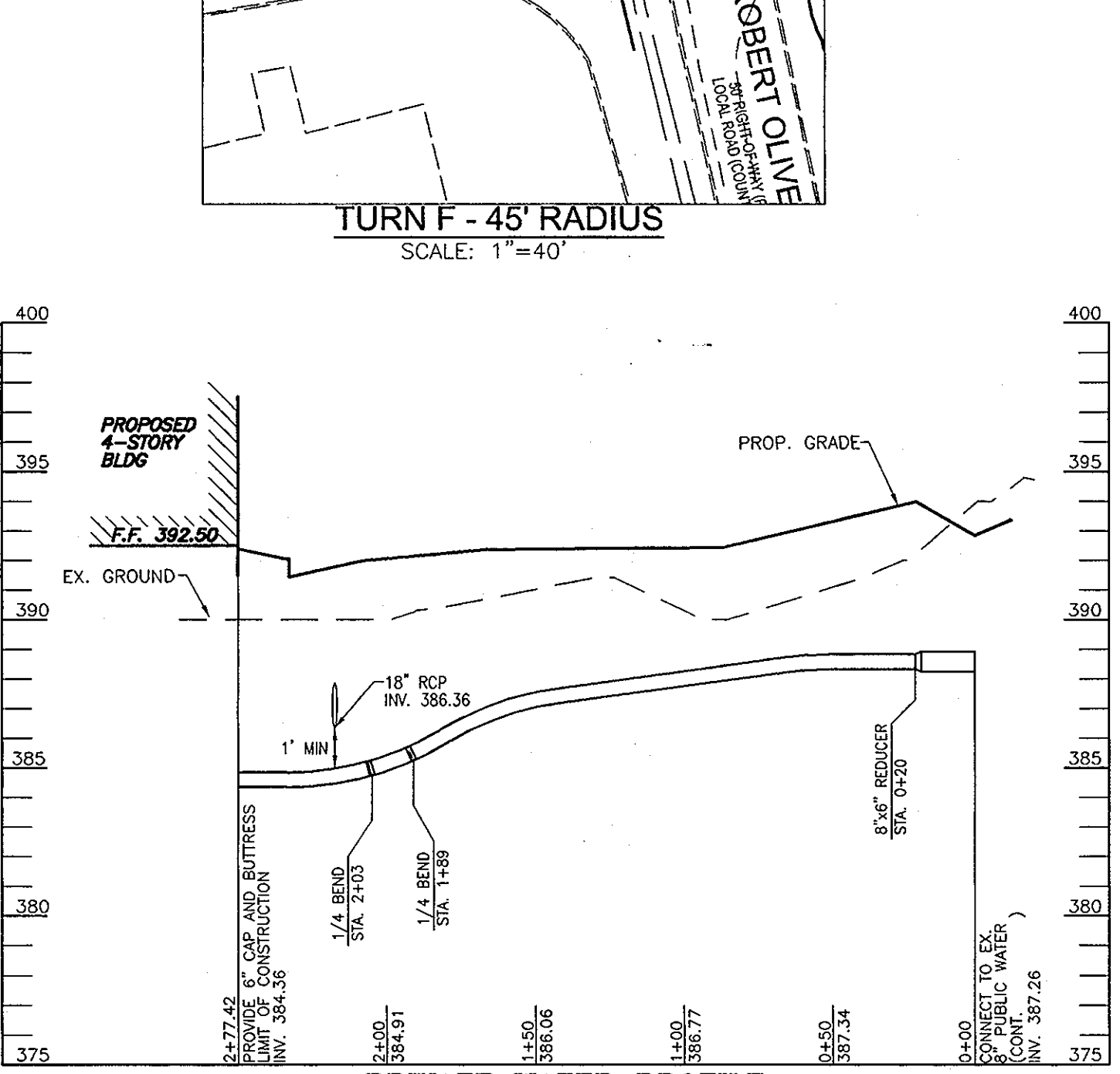
NOTE: 1. Top elevations are at center top of headpiece for Type 'A'-5' inlets at center top of grate for Double Type 'S' and yard inlets and top of Manhole cover for Precast Manholes.
2. For top slab slopes see grading plan.
3. See Architectural plans for roof drain details.
4. All custom and non-standard structures to be designed by a qualified structural engineer.



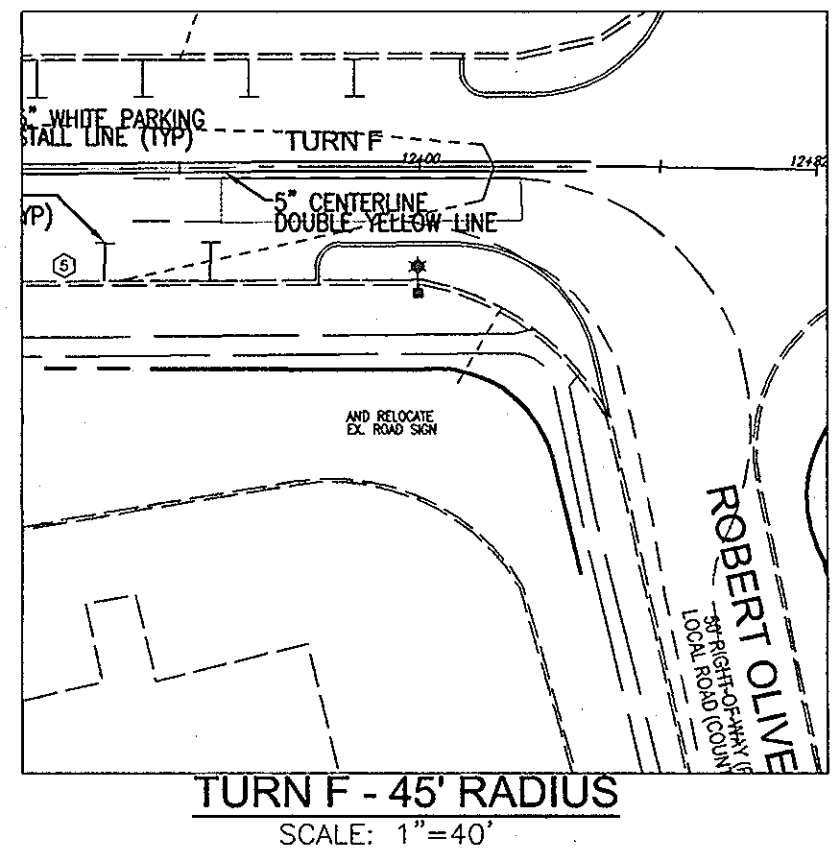
STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



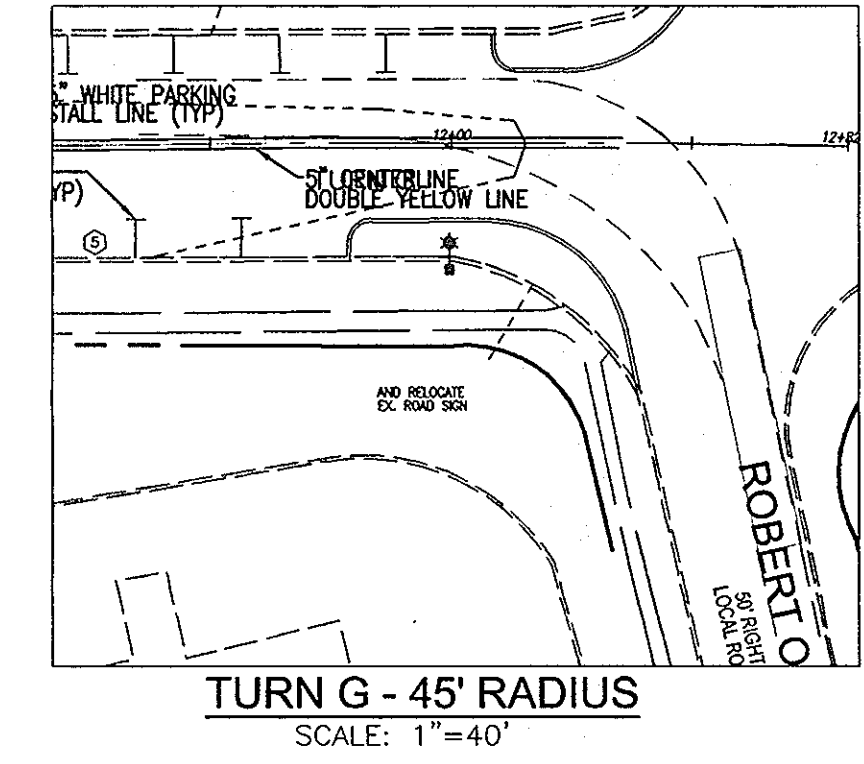
PRIVATE SEWER PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



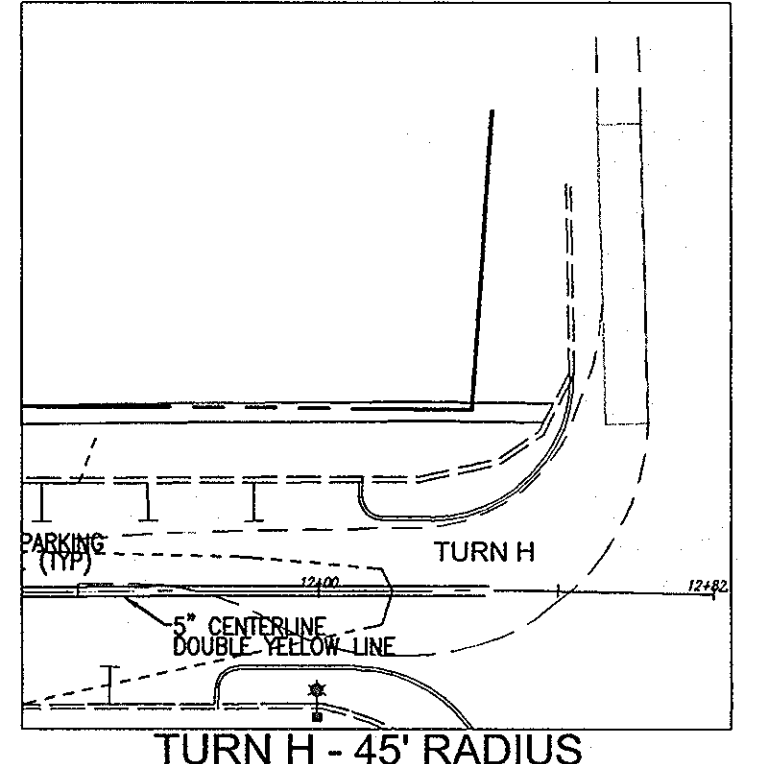
PRIVATE WATER PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



TURN F - 45' RADIUS
SCALE: 1"=40'



TURN G - 45' RADIUS
SCALE: 1"=40'



TURN H - 45' RADIUS
SCALE: 1"=40'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE 10/30/07

REVISOR FOR HOWARD S.C.D. & MEETS TECHNICAL REQUIREMENTS.
USDA-NATURAL RESOURCE CONSERVATION SERVICE
THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION, SEDIMENT CONTROL, AND HOWARD SOIL CONSERVATION DISTRICT.
HOWARD S.C.D. DATE

BY THE DEVELOPER:
I, [Signature], CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.
SIGNATURE OF DEVELOPER DATE 10/18/07

BY THE ENGINEER:
I, [Signature], CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
SIGNATURE OF ENGINEER DATE 10/18/07

SIZE	TYPE	LENGTH
12"	PVC	136 LF
15"	RCF, CLIV	71 LF
18"	RCF, CLIV	241 LF
6"	PVC, SANITARY	29 LF
8"	RCF, SANITARY	53 LF
6"	DIP	204 LF

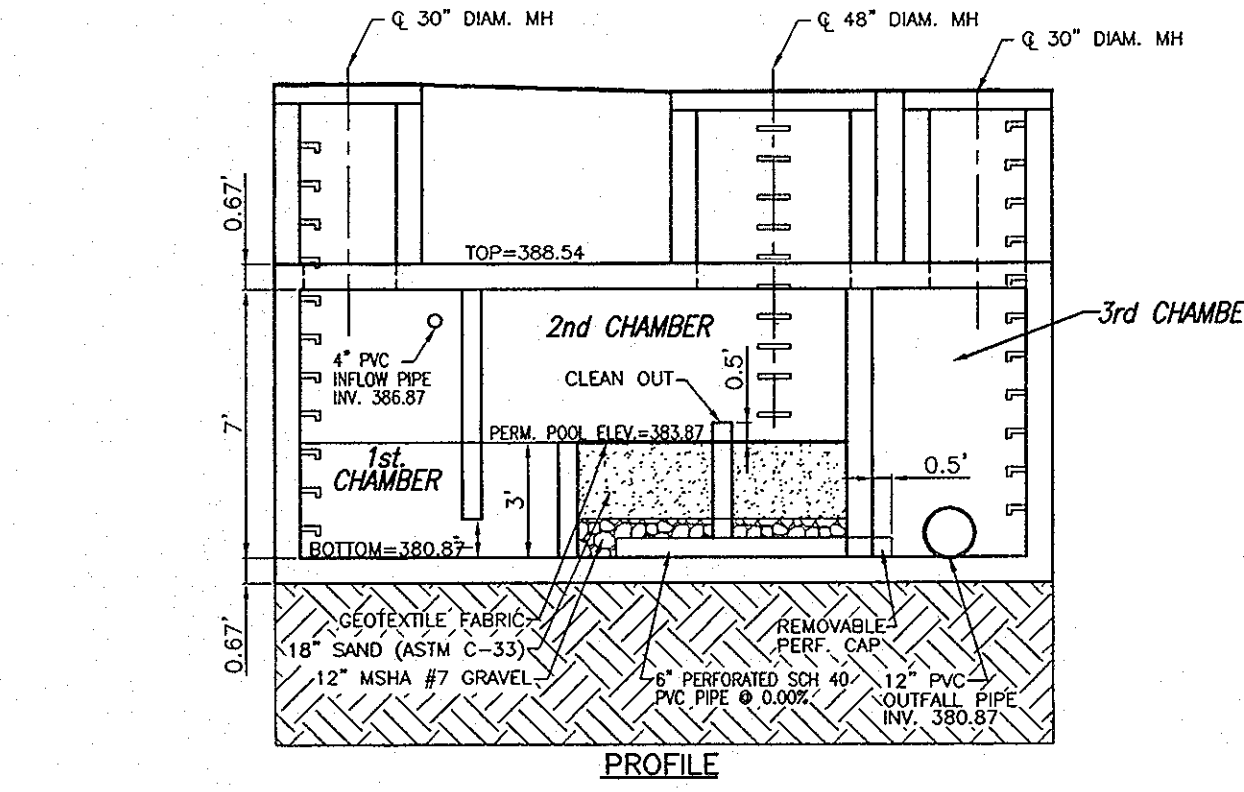
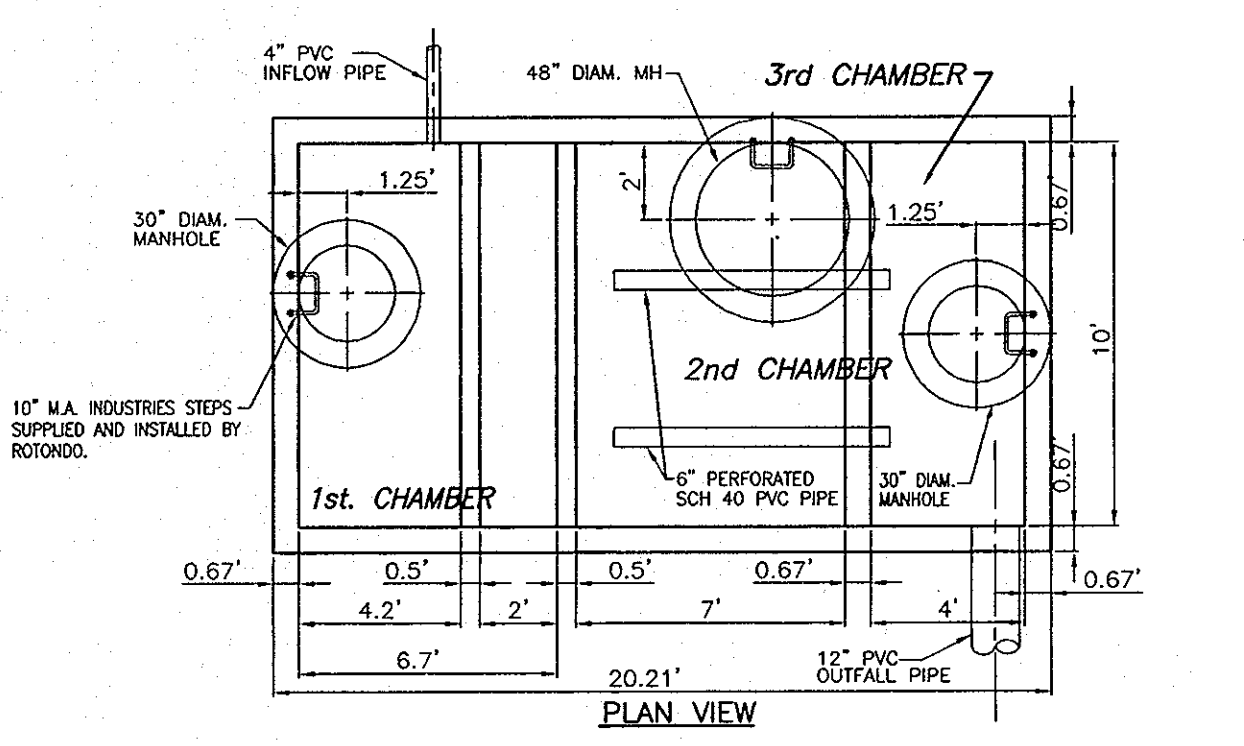
DEVELOPER
STEVENS FOREST ASSOCIATES, LLC
C/O METROVENTURES/USA, INC.
ONE NORTH CHARLES STREET
SUITE 1901
BALTIMORE, MARYLAND 21201
410-385-8922

OWNER
EXXON CORPORATION
PO BOX 53
HOUSTON, TX 77001

SITE DEVELOPMENT PLAN
STORM DRAIN DRAINAGE AREA MAP,
AND UTILITY PROFILES
MERIDIAN SQUARE
(formerly known as METROCENTER)
VILLAGE OF OAKLAND MILLS - LOT 8
OFFICE/RETAIL/RESTAURANT
TAX MAP 36 BLOCKS 3 & 9
6TH ELECTION DISTRICT
PARCEL 300
HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET
ELICOTT CITY, MD 21043
TEL: 410.461.7666
FAX: 410.461.8961

DESIGN BY: [Signature]
DRAWN BY: [Signature]
CHECKED BY: [Signature]
DATE: OCT 17, 2007
SCALE: AS SHOWN
W.O. NO.: 06-33
6 SHEET OF 9



SAND FILTER SCHEMATIC
SCALE: 1"=5'

NOTE: STRUCTURAL DESIGN OF SANDFILTERS MUST BE ENGINEERED AND CERTIFIED PRIOR TO CONSTRUCTION

- B.3.A SAND FILTER SPECIFICATIONS**
- MATERIAL SPECIFICATIONS FOR SAND FILTERS**
THE ALLOWABLE MATERIALS FOR SAND FILTER CONSTRUCTIONS ARE DETAILED IN TABLE B.3.1.
 - SAND FILTER TESTING SPECIFICATIONS**
UNDERGROUND SAND FILTERS, FACILITIES WITH SENSITIVE GROUNDWATER AQUIFERS, AND FILTERS DESIGNED TO SERVE URBAN HOT SPOTS ARE TO BE TESTED FOR WATER TIGHTNESS PRIOR TO PLACEMENT OF FILTER MEDIA. ENTRANCES AND EXITS SHOULD BE PLUGGED AND THE SYSTEM COMPLETELY FILLED WITH WATER TO DISPERSE WATER TIGHTNESS. WATER TIGHTNESS MEANS NO LEAKAGE FOR A PERIOD OF 8 HOURS.
ALL OVERFLOW WEIRS, MULTIPLE ORIFICES AND FLOW DISTRIBUTE SLOTS ARE TO BE FIELD-TESTED TO VERIFY ADEQUATE DISTRIBUTION OF FLOWS.
 - SAND FILTER CONSTRUCTION SPECIFICATIONS**
PROVIDE SUFFICIENT MAINTENANCE ACCESS (I.E., 12'-FOOT-WIDE ROAD WITH LEGALLY RECORDED EASEMENT). VEGETATED ACCESS SLOPES ARE TO BE A MAXIMUM OF 10%; GRAVEL SLOPES TO 15%; PAVED SLOPES TO 25%.
ABSOLUTELY NO RUNOFF IS TO ENTER THE FILTER UNTIL ALL CONTRIBUTING DRAINAGE AREAS HAVE BEEN STABILIZED.
SURFACE OF FILTER BED IS TO BE LEVEL.
ALL UNDERGROUND SAND FILTERS SHOULD BE CLEARLY DELINEATED WITH SIGNS SO THAT THEY MAY BE LOCATED WHEN MAINTENANCE IS DUE.
SURFACE SAND FILTERS MAY BE PLANTED WITH APPROPRIATE GRASSES; SEE APPENDIX A.
"POCKET" SAND FILTERS (AND RESIDENTIAL BIOPRETENTION FACILITIES TREATING AREAS LARGER THAN AN ACRE) SHALL BE SIZED WITH A STONE "WINDOW" THAT COVERS APPROXIMATELY 10% OF THE FILTER AREA. THIS "WINDOW" SHALL BE FILLED PER GRAVEL (3/4 INCH STONE).
PROVIDE MANHOLE AND/OR GRATES TO ALL UNDERGROUND AND BELOW GRADE STRUCTURES. MANHOLE SHALL BE IN COMPLIANCE WITH STANDARD SPECIFICATIONS FOR EACH COUNTY BUT DIAMETERS SHOULD BE 30" MINIMUM TO COMPLY WITH OSHA CONFINED SPACE REQUIREMENTS. ALUMINUM AND STEEL LOUVERED DOORS ARE ALSO ACCEPTABLE. TEN INCH WIDE (MINIMUM) MANHOLE STEPS (12" O.C.) SHALL BE CAST IN PLACE OR DRILLED AND MORTARED INTO THE WALL BELOW EACH MANHOLE. A 5" MINIMUM HEIGHT CLEARANCE (FROM THE TOP OF THE SAND LAYER TO THE BOTTOM OF THE UPPER/SURFACE SLAB) IS REQUIRED FOR ALL PERMANENT UNDERGROUND STRUCTURES. LIFE RINGS ARE TO BE SUPPLIED TO REMOVE/REPLACE TOP SLABS ON PRE-FABRICATED STRUCTURES. MANHOLE COVERS SHOULD ALLOW FOR PROPER VENTILATION.
 - SPECIFICATIONS PERTAINING TO UNDERGROUND SAND FILTERS**
UNDERGROUND SAND BEDS SHALL BE PROTECTED FROM TRASH ACCUMULATION BY A WIDE MESH GEOTEXTILE SCREEN TO BE PLACED ON THE SURFACE OF THE SAND BED; SCREEN IS TO BE ROLLED UP, REMOVED, CLEANED AND RE-INSTALLED DURING MAINTENANCE OPERATIONS.

Table B.3.1 Material Specifications for Sand Filters

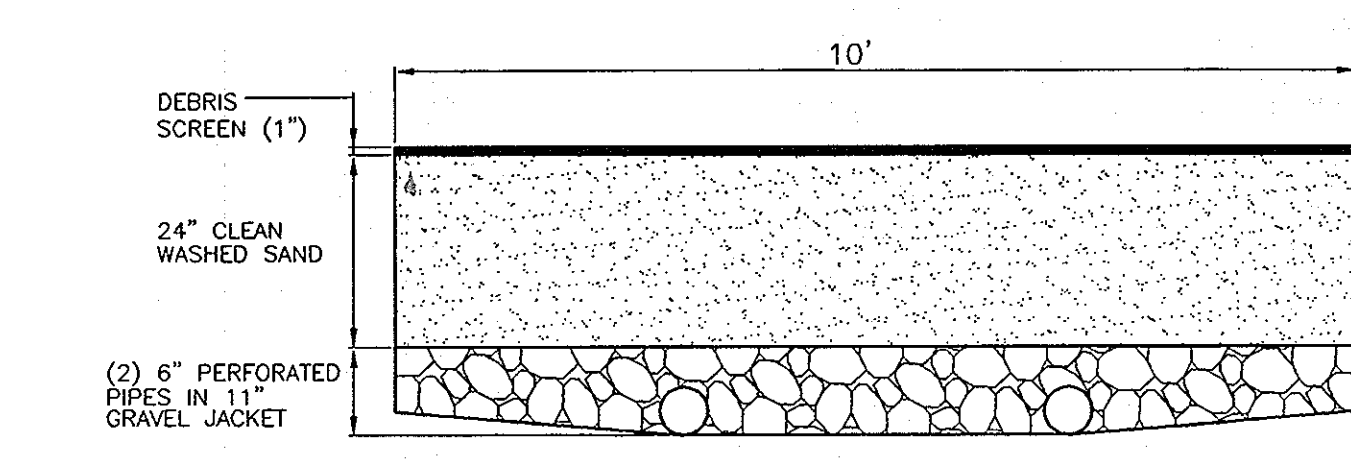
Material	Specification	Notes
concrete	31 concrete sand	31 concrete sand
geotextile fabric	ASTM-D-4833 (puncture strength - 125 lb) or equivalent	Must maintain 125 gsm per sq. ft. flow rate. Note: a 4" per gravel layer may be substituted for geotextile mesh to "separate" sand filter layers.
impermeable liner	ASTM-D-4833 (thickness) 30 mil thickness	Liner to be ultraviolet resistant. A geotextile fabric should be used to protect the liner from puncture.
underdrain piping	ASTM-D-4833 (puncture strength - 125 lb) or equivalent	3/4" perfor. 60° on center, 4 holes per row; minimum of 3" of gravel over pipes; see necessary underdrain types
concrete (cast-in-place)	NSBA Standards and Specs. (minimum 3000 psi, 4" x 4" = 3000 psi, normal weight, air-entrained, minimum 28 day strength)	on-site testing of poured-in-place concrete required; 28 day strength and slump test; all concrete design (cast-in-place or pre-cast) not using pre-approved State or local standards requires professional engineer to supervise pond construction and provide the HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.
concrete (pre-cast)	NSBA Standards and Specs. (minimum 3000 psi, 4" x 4" = 3000 psi, normal weight, air-entrained, minimum 28 day strength)	on-site testing of poured-in-place concrete required; 28 day strength and slump test; all concrete design (cast-in-place or pre-cast) not using pre-approved State or local standards requires professional engineer to supervise pond construction and provide the HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION *[Signature]* DATE: 10/20/07

CHIEF, DIVISION OF LAND DEVELOPMENT *[Signature]* DATE: 11/1/07

DIRECTOR *[Signature]* DATE: 11/1/07



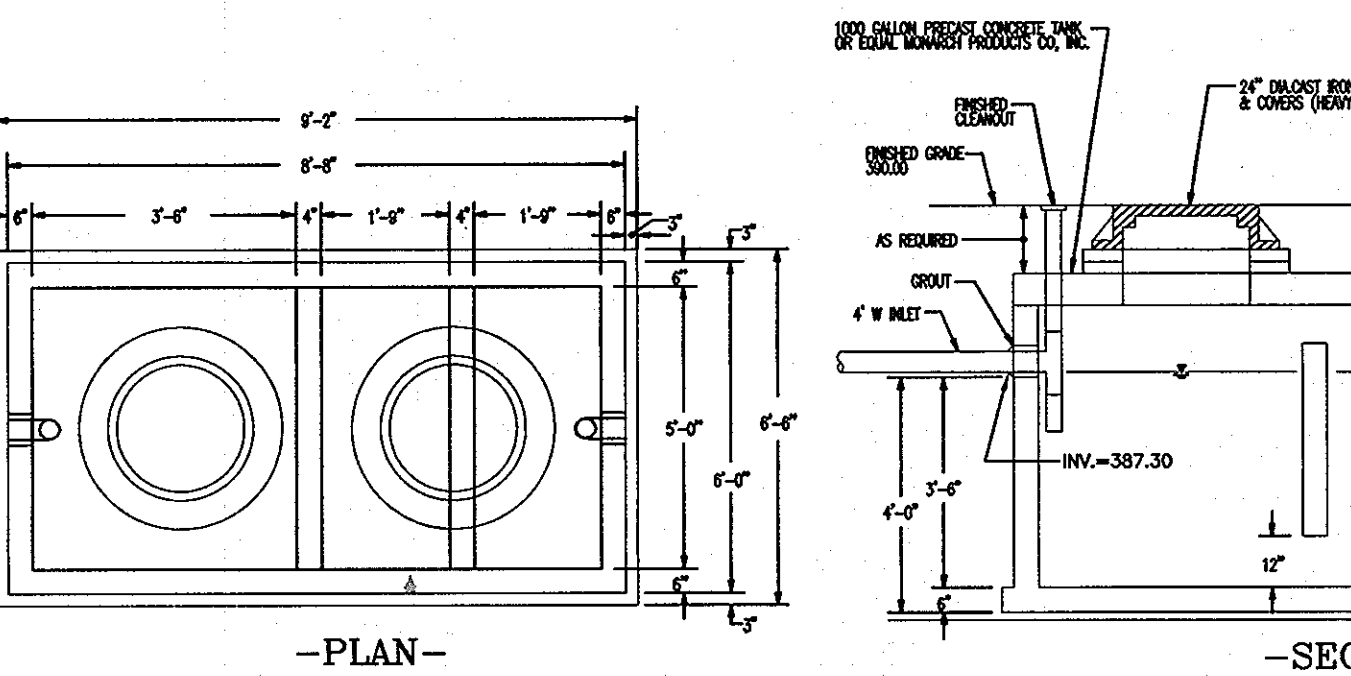
SECTION THROUGH SAND FILTER
SCALE: 1/2"=1'

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED UNDERGROUND STORMWATER FILTRATION SYSTEM (F-2)

- THE SEDIMENT CHAMBER OUTLET DEVICES SHALL BE CLEANED AND/OR REPAIRED WHEN DRAW-DOWN TIMES WITHIN THE CHAMBER EXCEED 36 HOURS.
- DEBRIS AND LITTER SHALL BE REMOVED AS NECESSARY TO ENSURE PROPER OPERATION OF THE SYSTEM.
- SEDIMENT SHALL BE CLEANED OUT OF THE SEDIMENTATION CHAMBER WHEN IT ACCUMULATES TO A DEPTH OF 6 INCHES. VEGETATION WITHIN THE SEDIMENT CHAMBER SHALL BE LIMITED TO A HEIGHT OF 18 INCHES.
- WHEN WATER PONDS ON THE SURFACE OF THE FILTER BED FOR MORE THAN 72 HOURS, THE TOP FEW INCHES OF DISCOLORED MATERIAL SHALL BE REPLACED WITH FRESH MATERIAL. PROPER CLEANING AND DISPOSAL OF THE REMOVED MATERIALS AND LIQUID MUST BE FOLLOWED BY THE OWNER.
- A LOG BOOK SHALL BE MAINTAINED TO DETERMINE THE RATE AT WHICH THE FACILITY DRAINS.
- THE MAINTENANCE LOG BOOK SHALL BE AVAILABLE TO HOWARD COUNTY FOR INSPECTION TO ENSURE COMPLIANCE WITH OPERATION AND MAINTENANCE CRITERIA.
- ONCE THE PERFORMANCE CHARACTERISTICS OF THE INFILTRATION SYSTEM HAVE BEEN VERIFIED, THE MONITORING SCHEDULE CAN BE REDUCED TO AN ANNUAL BASIS UNLESS THE PERFORMANCE DATA INDICATES THAT A MORE FREQUENT SCHEDULE IS REQUIRED.

UNDERGROUND SAND FILTER CONSTRUCTION SPECIFICATIONS

- PROVIDE MANHOLE AND/OR GRATES TO ALL UNDERGROUND AND BELOW GRADE STRUCTURES. MANHOLES SHALL BE IN COMPLIANCE WITH STANDARD SPECIFICATIONS FOR EACH COUNTY, BUT DIAMETERS SHOULD BE 30" MINIMUM TO COMPLY WITH OSHA CONFINED SPACE REQUIREMENTS. ALUMINUM AND STEEL LOUVERED DOORS ARE ALSO ACCEPTABLE. TEN INCH WIDE (MINIMUM) MANHOLE STEPS (12" O.C.) SHALL BE CAST IN PLACE OR DRILLED AND MORTARED INTO THE WALL BELOW EACH MANHOLE. A 5" MINIMUM HEIGHT CLEARANCE (FROM THE TOP OF THE SAND LAYER TO THE BOTTOM OF THE UPPER/SURFACE SLAB) IS REQUIRED FOR ALL PERMANENT UNDERGROUND STRUCTURES. LIFE RINGS ARE TO BE SUPPLIED TO REMOVE/REPLACE TOP SLABS ON PRE-FABRICATED STRUCTURES. MANHOLE COVERS SHOULD ALLOW FOR PROPER VENTILATION.
- UNDERGROUND SANDFILTERS SHOULD BE CONSTRUCTED WITH A GATE VALVE LOCATED JUST ABOVE THE TOP OF THE FILTER BED FOR DEWATERING IN THE EVENT THAT CLOGGING OCCURS.
- UNDERGROUND SAND BEDS SHALL BE PROTECTED FROM TRASH ACCUMULATION BY A WIDE MESH GEOTEXTILE SCREEN TO BE PLACED ON THE SURFACE OF THE SAND BED; SCREEN IS TO BE ROLLED UP, REMOVED, CLEANED AND RE-INSTALLED DURING MAINTENANCE OPERATIONS.



GREASE INTERCEPTOR DETAIL
NOT TO SCALE

STORMWATER MANAGEMENT REQUIREMENTS

AREA	REQUIREMENT	VOLUME/CFS REQUIREMENT WITHOUT CREDITS	CREDITS	VOLUME REQUIREMENT WITH CREDITS	NOTES
1	WATER QUALITY VOLUME (WQV)	DEVELOPED AREAS	0.018 AC. FT. OR 799 CF	0.018 AC. FT. OR 799 CF	TOTAL IMP.=1.29 AC. 1.71% REDUCTION REQUIRED. 20% TREATMENT=0.27 AC. NEW IMPROVEMENTS=1.1 AC. NEW IMPROVEMENTS=1.1 AC. BMP, REQUIRING TREATMENT=0.29 AC.
2	RECHARGE VOLUME (REV)	DEVELOPED AREAS	N/A	N/A	N/A FOR DEVELOPMENT AREA
3	CHANNEL PROTECTION VOLUME* (CPV)	DEVELOPED AREAS	N/A	N/A	N/A
4	OVERHEAD FLOOD PROTECTION* (OFP)	DEVELOPED AREAS	N/A	N/A	N/A
5	EXTREME FLOOD VOLUME* (EFV)	DEVELOPED AREAS	N/A	N/A	N/A

THIS SITE IS CONSIDERED REDEVELOPMENT
WQV PROVIDED BY UNDERGROUND SAND FILTERS. (F-2)

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

USDA-NATURAL RESOURCES CONSERVATION SERVICE

THESE PLANS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

BY THE DEVELOPER: *[Signature]* DATE: 10/18/07

BY THE ENGINEER: *[Signature]* DATE: 10/18/07

Subgrade Preparation
Subgrade preparation should generally include the stripping of the existing asphalt, existing concrete slab on grade, and other unsuitable surface materials from the planned building and pavement areas. Care should be taken when stripping topsoil materials so as to not mix these materials with otherwise suitable subgrade soils. We recommend that the stripping of unsuitable surface materials should extend to a minimum of 5 feet beyond the building and pavement area limits.

Subsequent to stripping operations, the exposed subgrade soils in the planned building and pavement areas should be examined by a qualified representative of the Geotechnical Engineer. The exposed soils should be thoroughly profiled by a vehicle having an axle weight of at least 10 tons, such as a fully-loaded tandem axle dump truck. This procedure is intended to assist in identifying any localized unstable materials. In the event that any unstable materials are encountered during the profiling operations, those subgrade soils should either be thoroughly denuded in-place, or undercut to firm ground and replaced with controlled, compacted fill to final subgrade elevations.

Fill Placement
Prior to placement of compacted fill, representative bulk samples (about 50 pounds) should be taken of the proposed fill soils and laboratory tests should be conducted to determine Atterberg limits, natural moisture content, grain-size distribution, and moisture-density relationships for compaction. These test results will be necessary for proper control of construction for new engineered fill.

Upon achieving competent subgrade conditions, the Contractor can place and compact engineered fill to reach final subgrade levels. In general, any material to be used as structural fill should consist of soil types classified as ML, SM or more granular soil, in accordance with ASTM D 2487, and should have a Liquid Limit less than 40, and a Plasticity Index less than 10. Materials having USCS classifications of ML and SM should be readily available on-site. Soils with these designations are generally suitable for use as structural, compacted fill, with moisture adjustments during fill placement. Any encountered CL soil types at the site should be limited to use in deeper pavement area fills only and should be used at depths greater than 2 feet below pavement subgrade levels.

Prior to the utilization of any off-site borrow materials, the Geotechnical Engineer should be provided with representative samples in order to determine the suitability of the materials for use as a controlled compacted fill and to develop moisture-density relationships. In order to expedite the work, it is recommended that all borrow materials generally should be compacted to at least 98 percent of the maximum dry density according to ASTM D 698 to provide improved support characteristics. Fill placed in non-structural areas should be compacted to at least 90 percent of the maximum dry density according to ASTM D 698, in order to avoid significant subsidence.

Because of the inherent variations of on-site soils, variations in moisture-density relationships should be anticipated. Such variations must be determined in the field by a qualified representative of the Geotechnical Engineer at the time of construction, so that any necessary changes to fill placement and compaction procedures can be implemented.

Rock Excavation
Based upon the results of the borings and anticipated final grades at the site, EGS anticipates that very dense to extremely dense decomposed rock materials might be encountered during construction.

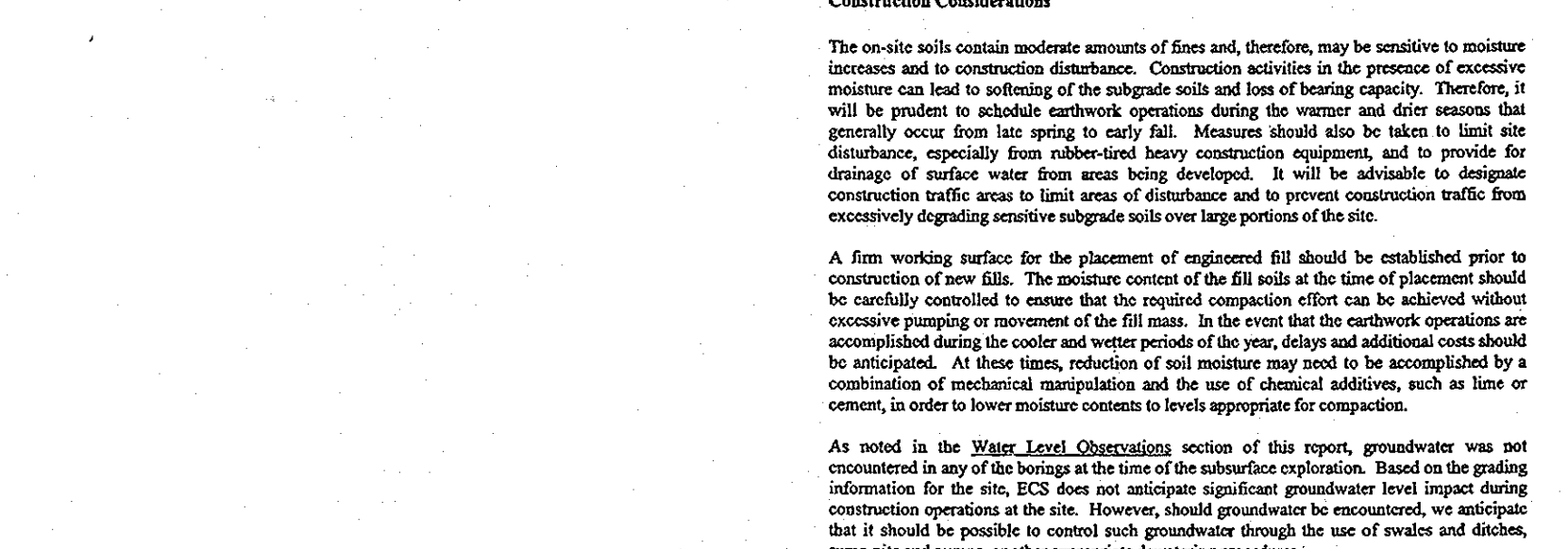
For preliminary estimation purposes, excavation difficulty may be correlated to SPT results. It should be possible to excavate decomposed rock materials having SPT values up to about 50 blows per 4 inches of penetration with conventional testwork equipment, which most likely will include tipping. Materials exhibiting SPT values greater than 50 blows per 4 inches of penetration, or blasting, particularly in narrow trench excavations.

In addition to the excavation guidelines outlined above, it should be pointed out that the physical characteristics of the extremely dense residual soils and underlying rock, such as foliation, jointing, fracturing and lithology, along with the type of excavation equipment used, will greatly influence this aspect of the work operations. We recommend that the applicable contractor carefully review the results of the final subsurface investigation and also consider a pilot program, which can assist in correlating the subsurface data with anticipated excavation difficulties during building, roadway, and utility construction with the type of equipment planned for use on the project site. It is also imperative that all contract documents related to the excavation of rock materials include specific criteria (i.e. equipment type and power ratings) to define rock excavation for mass grading and rock excavation in narrow excavations. The applicable contractor should be required to visit the site to observe the existing conditions and should be encouraged to perform their own explorations to determine the impact that rock may have on their working on the project site.

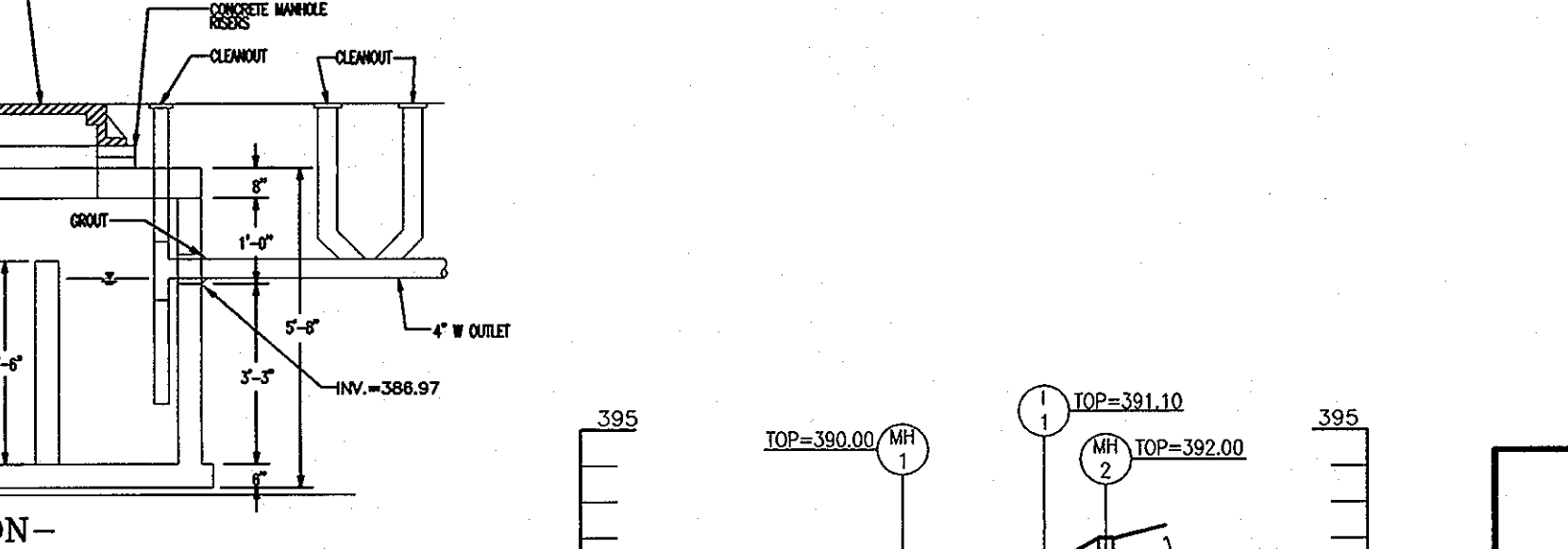
Construction Considerations
The on-site soils contain moderate amounts of fines and, therefore, may be sensitive to moisture increases and to contraction disturbances. Construction activities in the presence of excessive moisture can lead to softening of the subgrade soils and loss of bearing capacity. Therefore, it will be prudent to schedule earthwork operations during the warm and drier seasons that generally occur from late spring to early fall. Measures should also be taken to limit site disturbance, especially from rubber-tired heavy construction equipment, and to provide for drainage of surface water from areas being developed. It will be important to designate construction traffic areas to limit areas of disturbance and to prevent construction traffic from excessively degrading sensitive subgrade soils over large portions of the site.

A firm working surface for the placement of engineered fill should be established prior to construction of new fill. The moisture content of the fill soils at the time of placement should be carefully controlled to ensure that the required compaction effort can be achieved without excessive pumping or movement of the fill mass. In the event that the earthwork operations are accomplished during the cooler and wetter periods of the year, drier and additional costs should be anticipated. At these times, reduction of soil moisture may need to be accomplished by a combination of mechanical manipulation and the use of chemical additives, such as lime or cement, in order to lower moisture contents to levels appropriate for compaction.

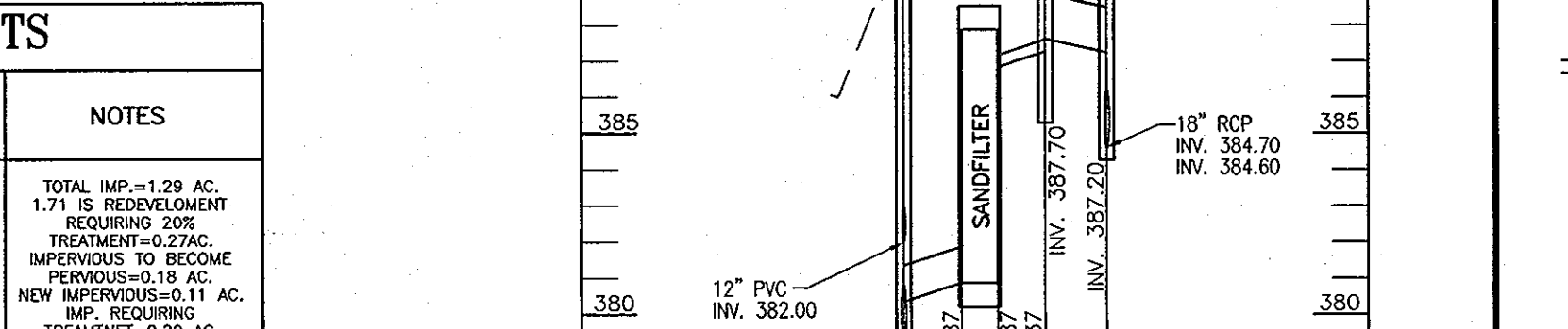
As noted in the Water Level Observations section of this report, groundwater was not encountered in any of the borings at the time of the subsurface exploration. Based on the grading information for the site, EGS does not anticipate significant groundwater level impact during construction operations at the site. However, should groundwater be encountered, we anticipate that it should be possible to control such groundwater through the use of swales and ditches, pump pits and pumps, or other appropriate dewatering procedures.



STORM DRAIN PROFILE
SCALE: HORIZONTAL = 1"=50'
VERTICAL = 1"=5'



INLET I-1 (TYPE A-10)
SCALE: 1"=3'

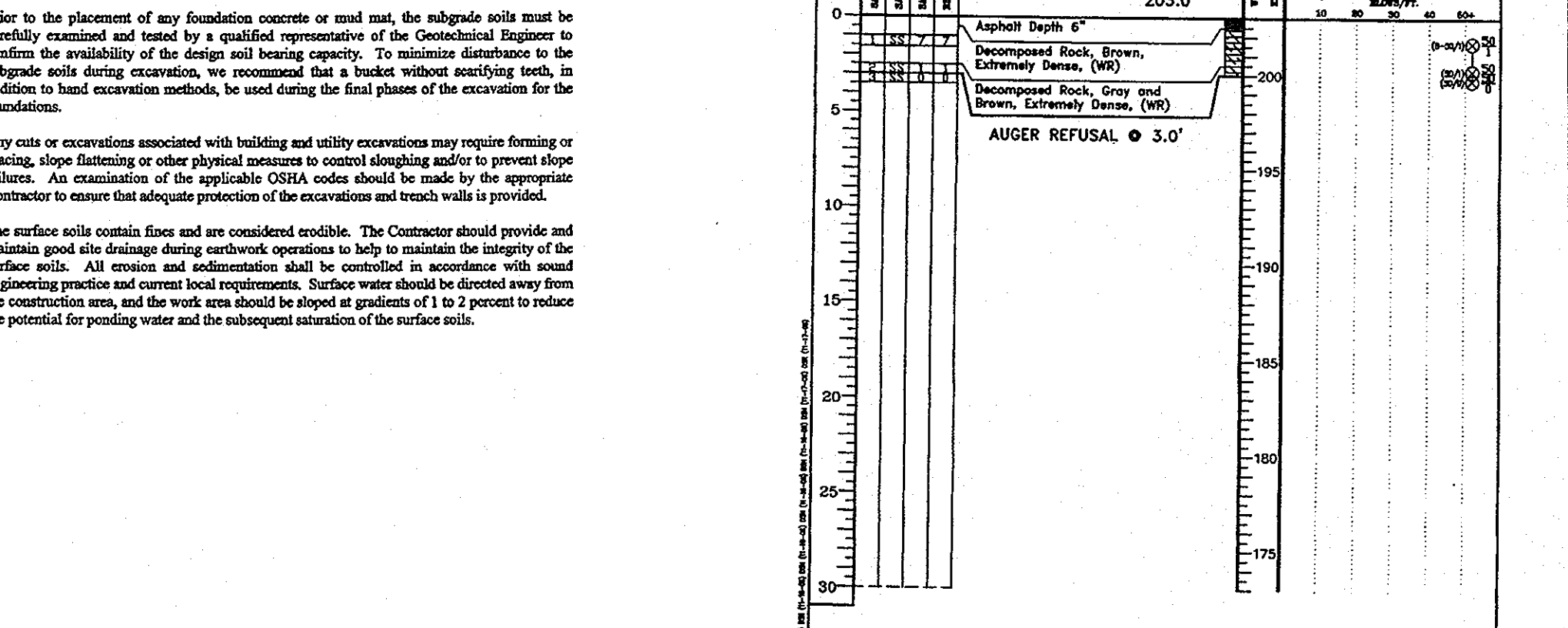


TRASH RACK DETAIL
SCALE: 1"=3'

Metrowentures, Inc. JOB # 4329 BOILING # B-7 SHEET 1 OF 1

PROJECT NAME: Metrowentures, Inc. ARCHITECT-ENGINEER: Robert H. Vogel Engineering, Inc.

NEW LOCATION: Stevens Forest Rd. of Robert Oliver Pl., Columbia, MD

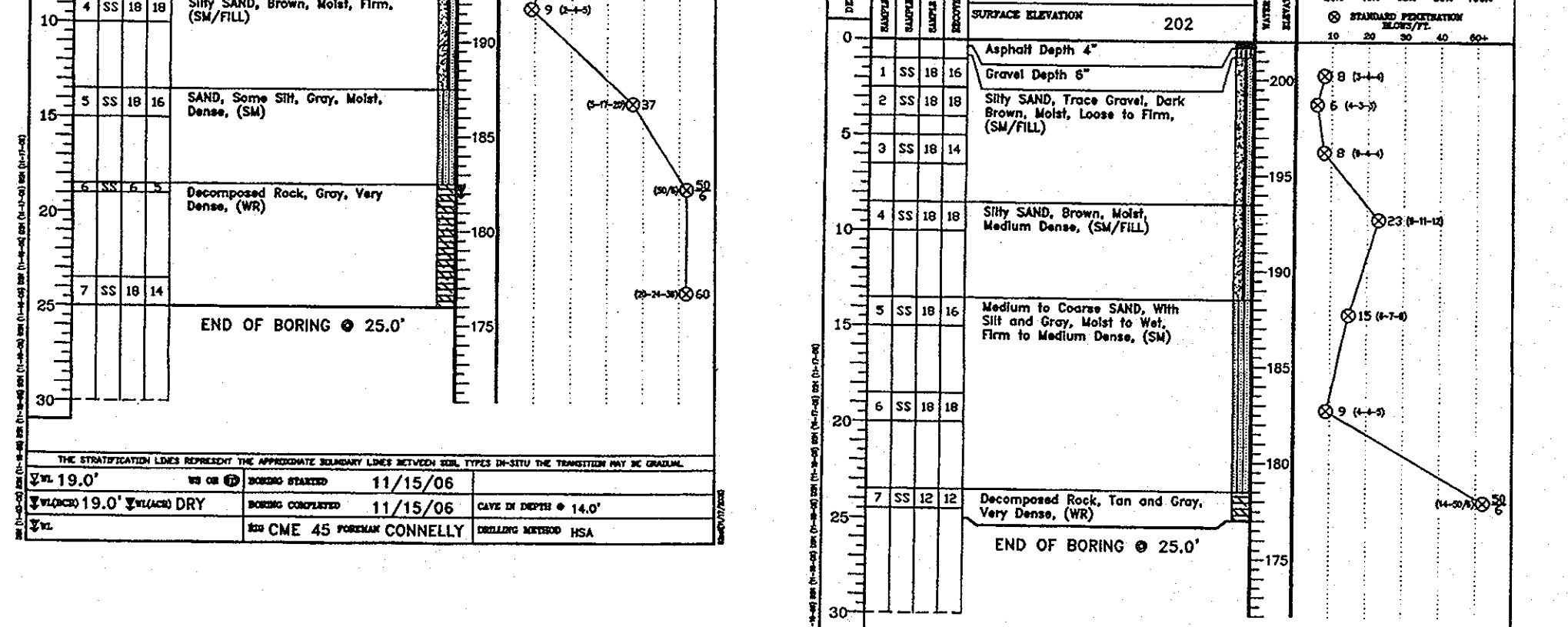


BORING LOG 201
END OF BORING @ 25.0'

Metrowentures, Inc. JOB # 4329 BOILING # B-6 SHEET 1 OF 1

PROJECT NAME: Metrowentures, Inc. ARCHITECT-ENGINEER: Robert H. Vogel Engineering, Inc.

NEW LOCATION: Stevens Forest Rd. of Robert Oliver Pl., Columbia, MD



BORING LOG 202
END OF BORING @ 25.0'

Metrowentures, Inc. JOB # 4329 BOILING # B-6 SHEET 1 OF 1

PROJECT NAME: Metrowentures, Inc. ARCHITECT-ENGINEER: Robert H. Vogel Engineering, Inc.

NEW LOCATION: Stevens Forest Rd. of Robert Oliver Pl., Columbia, MD

BORING LOG 203
END OF BORING @ 25.0'

Metrowentures, Inc. JOB # 4329 BOILING # B-6 SHEET 1 OF 1

PROJECT NAME: Metrowentures, Inc. ARCHITECT-ENGINEER: Robert H. Vogel Engineering, Inc.

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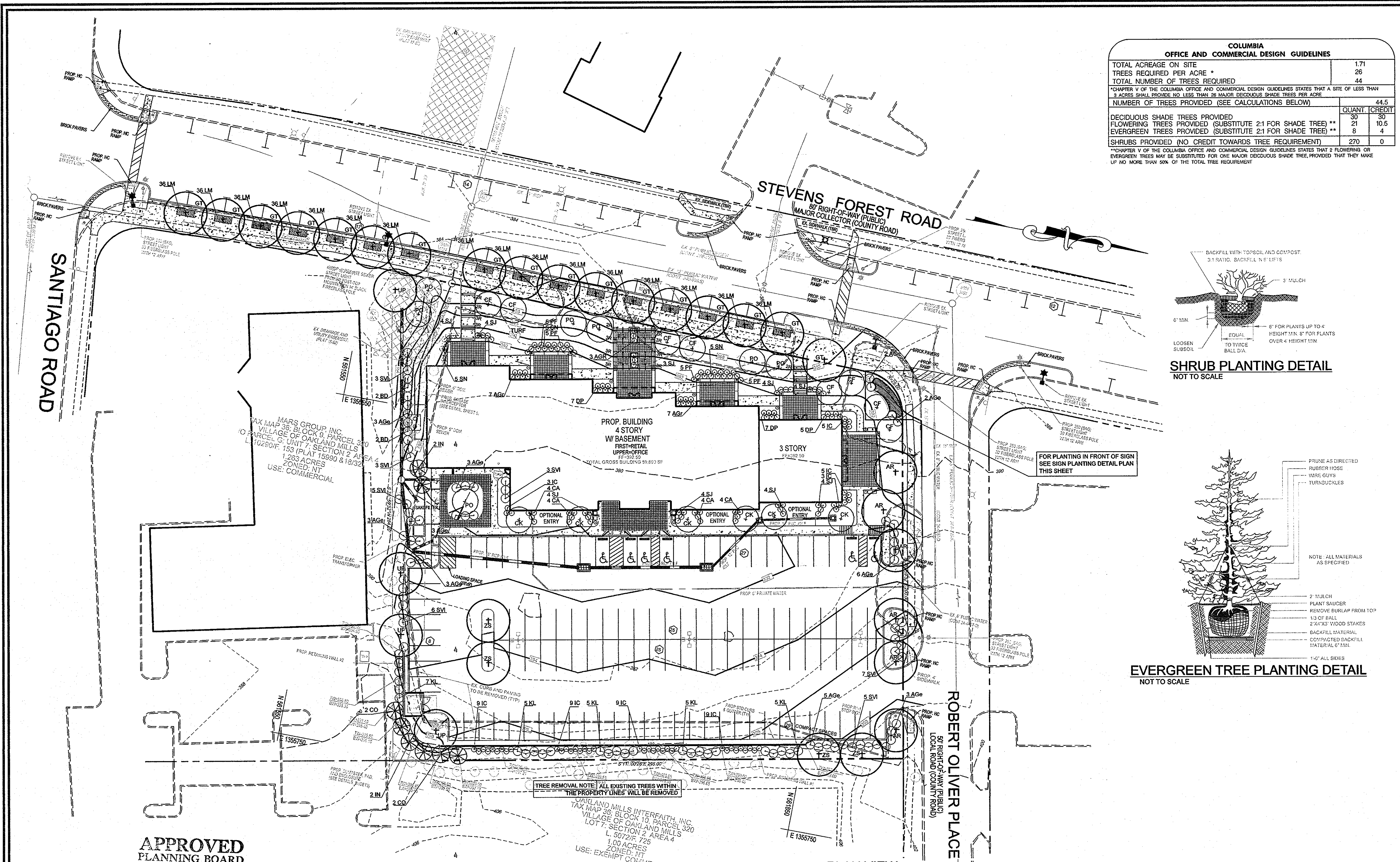
BORING LOG 204
END OF BORING @ 25.0'

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS

8407 MAIN STREET, ELICOTT CITY, MD 21043 TEL: 410.461.7666 FAX: 410.461.8961

DESIGN BY: W.G.Z.
DRAWN BY: W.G.Z.
CHECKED BY: R.H.V.
DATE: OCT. 17, 2007
SCALE: AS SHOWN
W.O. NO.: 06-33

7 SHEET OF 9

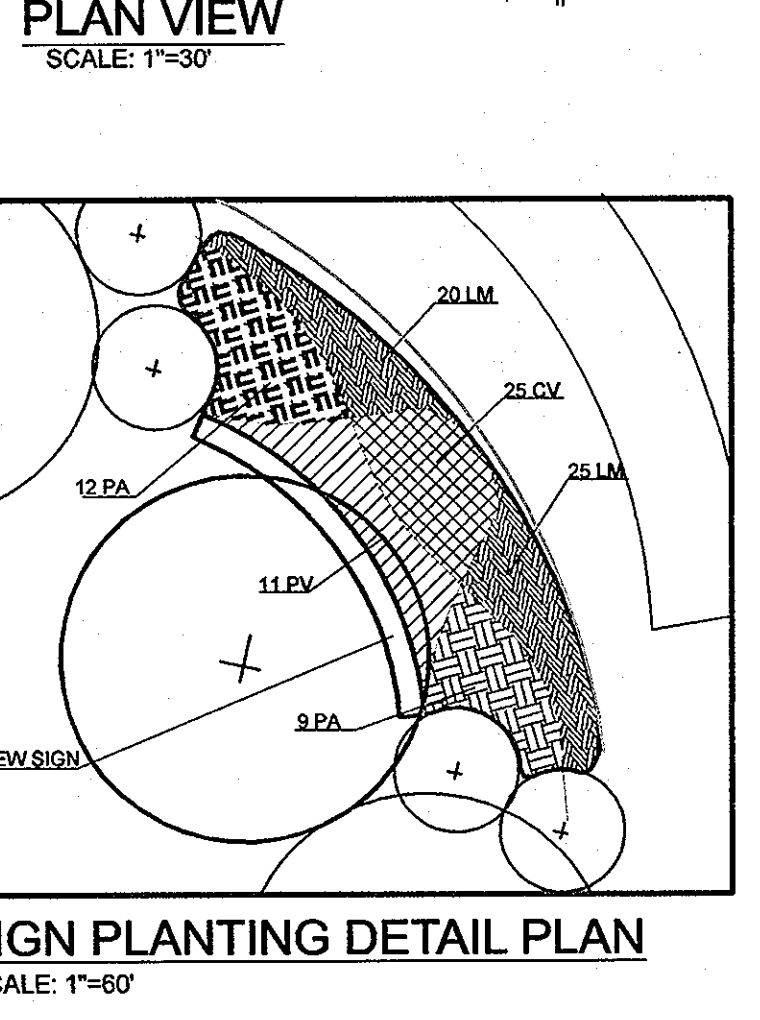
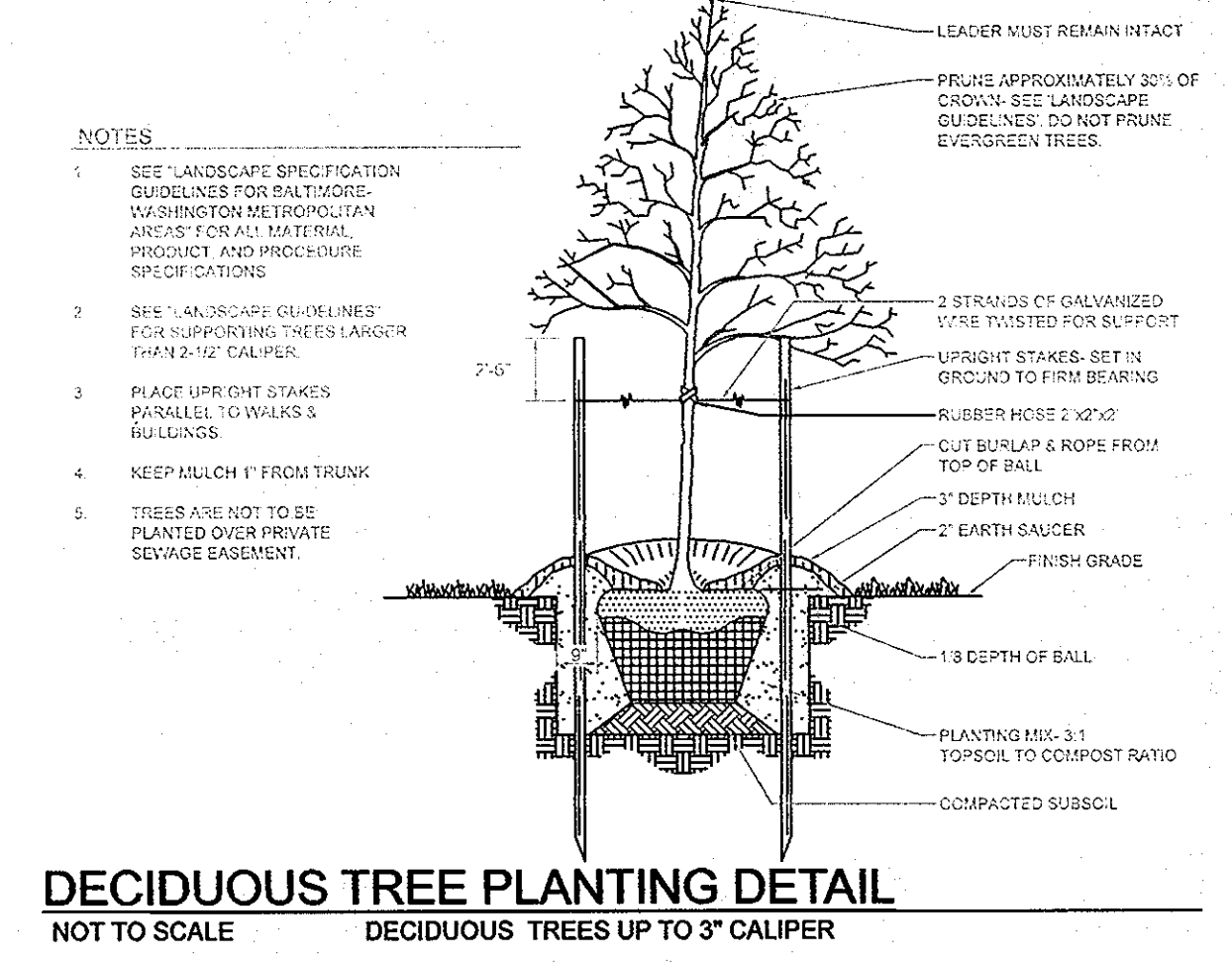
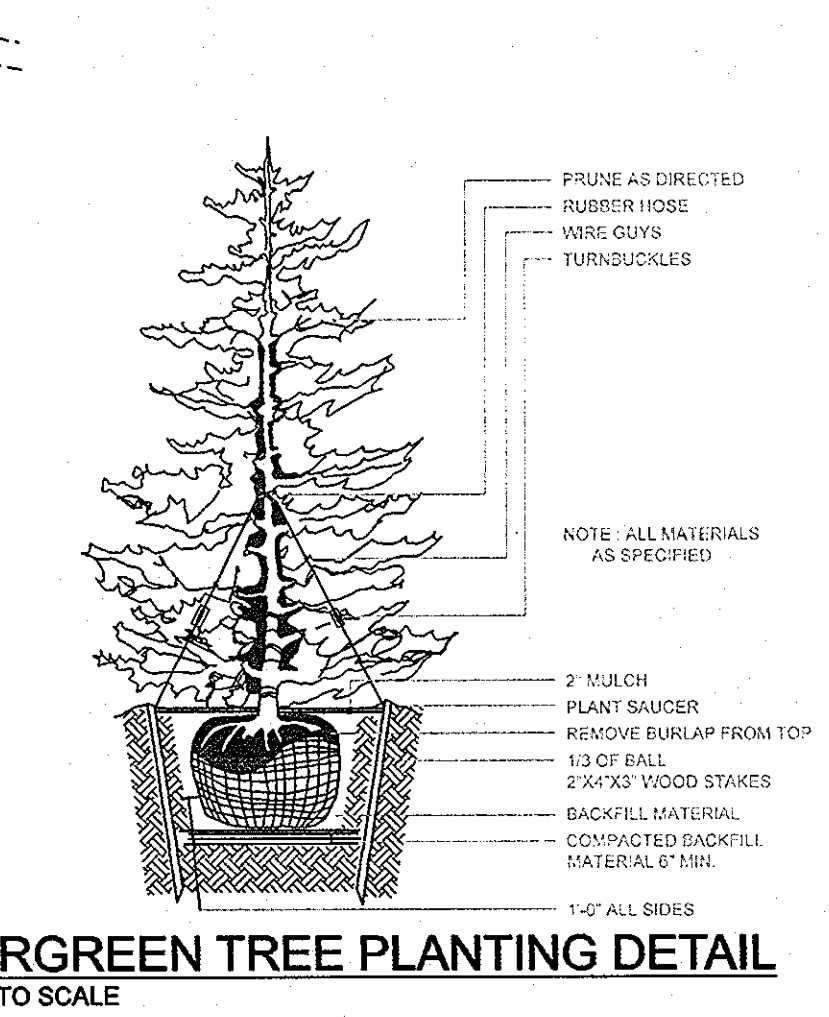
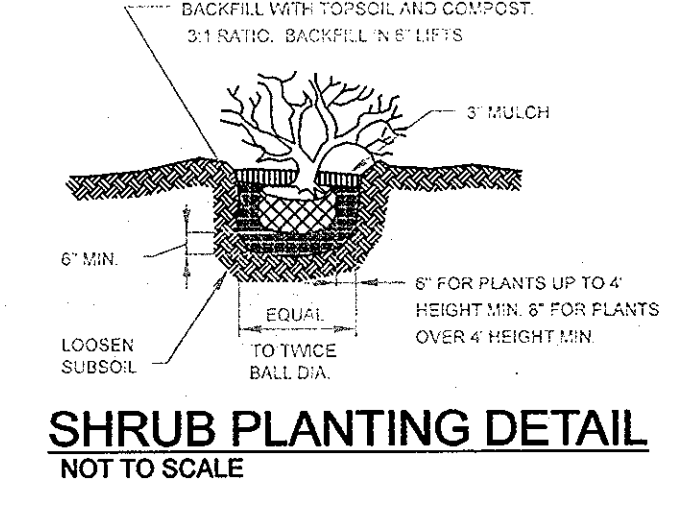


COLUMBIA OFFICE AND COMMERCIAL DESIGN GUIDELINES

TOTAL ACREAGE ON SITE	1.71
TREES REQUIRED PER ACRE *	26
TOTAL NUMBER OF TREES REQUIRED	44
*CHAPTER V OF THE COLUMBIA OFFICE AND COMMERCIAL DESIGN GUIDELINES STATES THAT A SITE OF LESS THAN 3 ACRES SHALL PROVIDE NO LESS THAN 26 MAJOR DECIDUOUS SHADE TREES PER ACRE	
NUMBER OF TREES PROVIDED (SEE CALCULATIONS BELOW)	44.5
DECIDUOUS SHADE TREES PROVIDED	30
FLOWERING TREES PROVIDED (SUBSTITUTE 2:1 FOR SHADE TREE) **	21
EVERGREEN TREES PROVIDED (SUBSTITUTE 2:1 FOR SHADE TREE) **	8
SHRUBS PROVIDED (NO CREDIT TOWARDS TREE REQUIREMENT)	270
EVERGREEN TREES MAY BE SUBSTITUTED FOR ONE MAJOR DECIDUOUS SHADE TREE, PROVIDED THAT THEY MAKE UP NO MORE THAN 50% OF THE TOTAL TREE REQUIREMENT	0

PLANT SCHEDULE

SYMBOL	KEY	BOTANICAL/COMMON NAME	SPACING	SIZE	ROOT QUANTITY
AR	+	ACER RUBRUM 'OCTOBER GLORY'	25' OC	3" CAL	B&B 6
GT	+	QUERCUS THUNBERGII 'SKYLINE'	30' OC	3" CAL	B&B 16
UP	+	ULMUS PARVIFLORA 'CORNICE ELM'	25' OC	3" CAL	B&B 4
ZS	+	ZELKOVA SERRATA 'VILLAGE GREEN'	25' OC	3" CAL	B&B 4
CF	+	CORNUS FLORIDA 'CLOUD 9'	15' OC	10' HT	B&B 8
CK	+	CORNUS KOUSA X C. FLORIDA 'CELESTIAL'	15' OC	10' HT	B&B 6
PO	+	PRUNUS Y OKAME 'OKAME CHERRY'	15' OC	10' HT	B&B 7
CO	+	CHAMAECYPARIS OBTUSA 'CHRISP'	10' OC	6-8' HT	B&B 4
IN	+	ILEX NELLE R STEVENS 'NELLE STEVENS HOLLY'	10' OC	6-8' HT	B&B 4
AG	+	ABELIA GRANDIFLORA 'EDWARD GOUCHER'	5' OC	2' HT	CONT. 33
BO	+	BUDDLEIA DAVIDI 'BONNIE'	5' OC	2' HT	CONT. 4
KL	+	KALMA LATIFOLIA 'ELF'	5' OC	2' HT	CONT. 27
SV	+	SYRINGA VULGARIS 'MME LEMOINE'	5' OC	2' HT	CONT. 32
AG	+	ABELIA GRANDIFLORA 'ROSE CREEK'	3' OC	1' HT	CONT. 17
CA	+	CLETHRA ALFONSOA 'HUMMINGBIRD'	3' OC	1' HT	CONT. 16
DP	+	DEUTZIA 'PINK MINGO'	3' OC	1' HT	CONT. 19
IC	+	ILEX CRENATA 'BEEHIVE'	3' OC	1' HT	CONT. 52
PF	+	POTENTILLA FRUTICOSA 'GOLDSTAR'	3' OC	1' HT	CONT. 20
SJ	+	SPIRAEA JAPONICA 'ANTHONY WATERER'	3' OC	1' HT	CONT. 35
SN	+	SPIRAEA JAPONICA 'SNOWMOUND'	3' OC	1' HT	CONT. 15
CV	+	COROPHIS VERTICILLATA	12" OC	1 GAL	CONT. 25
LM	+	LIRIOPE MUSEUM 'BIG BLUE'	12" OC	1 GAL	CONT. 565
PA	+	PENNETUM ALOPECUROIDES 'HAMELIN'	18" OC	1 GAL	CONT. 21
PV	+	PEROVSKIA ATRIPLEXIFOLIA 'RUSSIAN SAGE'	18" OC	1 GAL	CONT. 11



LEGEND:

(Symbol)	PROPERTY LINE	(Symbol)	EXISTING CONTOUR
(Symbol)	RIGHT-OF-WAY LINE	(Symbol)	PROPOSED CONTOUR
(Symbol)	PROPOSED SIDEWALK	(Symbol)	EXISTING CURB AND GUTTER
(Symbol)	PROPOSED LIGHT	(Symbol)	PROPOSED CURB AND GUTTER
(Symbol)	FLUSH CURB	(Symbol)	EXISTING UTILITY POLE
(Symbol)	PROPOSED STORM DRAIN	(Symbol)	EXISTING LIGHT POLE
(Symbol)	PROPOSED STORM DRAIN INLET	(Symbol)	EXISTING SIGN
(Symbol)	PROPOSED BRICK PAVING	(Symbol)	EXISTING SANITARY MANHOLE
(Symbol)		(Symbol)	EXISTING SANITARY LINE
(Symbol)		(Symbol)	EXISTING FIRE HYDRANT

- LANDSCAPE SCHEDULE NOTE:**
- ALL PLANT MATERIALS SHALL BE FULL AND HEAVY, BE WELL FORMED AND SYMMETRICAL, CONFORM TO THE MOST CURRENT AAS SPECIFICATIONS AND BE INSTALLED IN ACCORDANCE WITH HRD PLANTING SPECIFICATIONS.
 - CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
 - FINAL LOCATION OF PLANT MATERIAL MAY NEED TO VARY TO MEET FINAL FIELD CONDITIONS. TREES SHALL NOT BE PLANTED IN THE BOTTOM OF DRAINAGE SWALES.
 - CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO BIDDING. IF PLAN DIFFERS FROM LANDSCAPE SCHEDULE, THE PLAN SHALL GOVERN.
 - AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREWITH LISTED AND APPROVED FOR THIS SITE, SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPING MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING.
 - THE OWNER TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BEMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPINGS SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION AND WHEN NECESSARY, REPAIRED OR REPLACED.
 - SHOULD ANY TREE DESIGNATED FOR PRESERVATION FOR WHICH LANDSCAPING CREDIT IS GIVEN DIE PRIOR TO RELEASE OF BONDS, THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT SPECIES OR WITH A TREE WHICH WILL OBTAIN THE SAME HEIGHT, SPREAD AND GROWTH CHARACTERISTICS. THE REPLACEMENT TREE MUST BE A MINIMUM OF 3 INCHES IN CALIPER AND INSTALLED AS REQUIRED IN THE HOWARD COUNTY LANDSCAPE MANUAL.
 - THIS LANDSCAPE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER V OF THE COLUMBIA OFFICE AND COMMERCIAL DESIGN GUIDELINES.
 - THIS LANDSCAPE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 18.124 OF THE HOWARD COUNTY CODE AND THE NEW TOWN ALTERNATIVE COMPLIANCE PROVISIONS OF CHAPTER VI OF THE HOWARD COUNTY LANDSCAPE MANUAL.
 - FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$13,200 FOR THE REQUIRED 44 SHADE TREES.

APPROVED PLANNING BOARD of HOWARD COUNTY
DATE: 8/9/07

DEVELOPER'S/BUILDER'S CERTIFICATE

I WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 18.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Signature: [Signature] DATE: 10/18/07

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division: [Signature] DATE: 10/20/07

Chief, Division of Land Development: [Signature] DATE: 11/1/07

Director: [Signature] DATE: 11/1/07

DEVELOPER: STEVENS FOREST ASSOCIATES, LLC
C/O METROVENTURES/SA/INC.
ONE NORTH CHARLES STREET
SUITE 1801
BALTIMORE, MARYLAND 21201
410-385-8922

OWNER: EXXON CORPORATION
PO BOX 53
HOUSTON, TX 77001

NO.	REVISION	DATE

SITE LANDSCAPE PLAN

MERIDIAN SQUARE
(formerly known as METROCENTER)
VILLAGE OF OAKLAND MILLS - LOT 8
OFFICE/RETAIL/RESTAURANT

TAX MAP 36 BLOCKS 3 & 9
6TH ELECTION DISTRICT

PARCEL 300
HOWARD COUNTY, MARYLAND

P.E.L.A. DESIGN, INC.
7400 York Road
Suite 403
Towson, Maryland 21284
P: 410-296-3890
F: 410-296-3898
mail@peladesign.net

PLANNERS & LANDSCAPE ARCHITECTS

DESIGN BY: MM, LT
DRAWN BY: MM
CHECKED BY: LT
DATE: OCTOBER 2007
SCALE: 1"=30'
NO. NO.: 06-33

8 SHEET OF 9

STRUCTURAL NOTE

- 1) Loads: Lateral Pressure - 40psf/ft
- 2) Loads greater than the design live loads shall not be placed on the structure. A concrete structure may not support its design live load for 28 days. Contractor shall support adjacent structures, utilities and excavations. Contractor shall have all temporary formwork, sheeting, shoring, underpinning, etc. certified by a qualified engineer as a part of the contractor's work.
- 3) Contractor shall conform with the provisions of the local Building Code and any other Local, State or Federal Regulations.
- 4) At the time of shop drawing submission, the general contractor shall inform the engineer in writing of any deviations or omissions from the contract documents.
- 5) The contractor shall support adjacent structures, utilities, and excavations. The contractor shall submit shop drawings and design calculations certified by a registered professional engineer for all temporary formwork, sheeting, shoring, and underpinning as a part of the contractor's work. Contractor shall verify the location of all existing site conditions, structures and utilities prior to commencing work and report discrepancies to the Engineer.
- 6) Inspection - The Owner may employ the Engineer or a qualified inspection agency to perform any or all of the services specified herein. The Contractor shall afford full cooperation to laboratory personnel and shall provide adequate notice before beginning operations requiring laboratory services. The Testing Laboratory shall make immediate report of all tests and observations and distribute copies as follows: Owner, Architect, Engineer, and Contractor. (one copy each).
- 7) Shop drawings for all structural items must be submitted by the General Contractor. If a Contractor or Owner fails to submit the shop drawings, the Firm Mayer Consulting Engineers will not be responsible for the structural certification and/or the design of the project.
- 8) Footings are designed for an assumed bearing capacity of 4000 PSF. Footings shall bear on natural undisturbed soil, 1'-0" below original grade and bottom of exterior footing shall be 3'-0" below finished grade. Contractor shall verify soil pressure in the field. If found to be less than 4000 PSF, the footings will have to be redesigned.
- 9) Do not backfill against the retaining wall until the concrete or grout concrete masonry has reached full 28 day design strength.
- 10) All fill and backfill material, all footing bearing and compaction control shall be inspected and approved in writing by a Qualified Engineer.
- 11) Except as noted, all reinforcing shall be high strength new billet steel conforming to ASTM designation A615 (F_y = 60,000 psi). All reinforcing shall be detailed, fabricated, and placed in accordance with the ACI's "Manual of Standard Practice for Detailing Concrete Structures" (ACI 315).
- 12) All reinforcing bars not otherwise detailed or noted on the drawings shall be continuous with splices as noted herein.
- 13) Contractor must submit a concrete design mix in accordance with ACI 318 (latest approved edition) for approval by the Engineer. Such design mix shall be accompanied by the appropriate graphs and background data. Concrete design mix shall indicate 7 and 28 day strengths, cement content and water cement ratio, fine and coarse aggregates and admixtures for each design strength.
- 14) All concrete work shall be in accordance with the requirements of the American Concrete Institute Code (ACI 318 - latest edition).
- 15) All concrete work shall conform to the latest approved (by local government) editions of the following ACI and ASTM documents:

ACI - 301	specifications
ACI - 318	code
ACI - 214	compression tests
ACI - 306	cold weather
ACI - 315	detailing
ACI - 347	formwork
ACI - 605	hot weather
ACI - 613	proportions of concrete
ACI - 614	placing concrete
ACI - ASCE Committee 423	unbonded tendons
ASTM- C94	ready-mix concrete

- 16) All concrete, except as noted elsewhere, shall be (f'_c = 3000 psi) natural hard rock aggregate concrete. All exterior concrete shall be air-entrained at minimum 3% to maximum 6%.
- 17) No calcium chloride shall be added to the concrete without written approval by the Engineer.
- 18) The addition of water to concrete at the plant or in the field greater than 1% more than the specified water content is strictly prohibited without written approval by the Engineer.
- 19) All field and lab testing of concrete shall conform to the latest approved (by local government) editions of ASTM:

ASTM-C-431	Field cylinder specimens
ASTM-C-143	Slump test
ASTM-C-119 or C-231	Air content (when required)
ASTM-C-391	Lab testing cylinders
ASTM-C-112	Sampling fresh concrete
ASTM-C-42	Hardened cores (when required)

Upon completion of concrete testing, the agency shall certify their results as follows:

"I certify that the field and lab testing conforms to the ASTM documents and good practice."

Signed _____ P.E.
(for Agency)

- 20) Concrete test cylinders shall be made in accordance with ACI 318. Mold and cure samples in accordance with ASTM C31. Test cylinders in accordance with ASTM C39; 1 at 7 days age, and 2 at 28 days. Determine slump in accordance with ASTM G143. Determine air content of concrete for each strength test in accordance with ASTM C231.

- 21) Certify delivery tickets and control addition of water at the site.

- 22) General contractor shall submit a formwork plan and design calculations certified by a registered professional engineer showing framing sizes, and strengths of formwork, materials, specifications, sequence of construction, and detailed plans of formwork removal.

- 23) All formwork shall be in accordance with the American Concrete Institute's "Formwork of Concrete", special publication No. 4 and ACI's "Standard Recommended Practice of Concrete Formwork" (ACI-347-latest edition).

- 24) Forms must remain in place a minimum of seven days before removal provided the mean daily air temperature is at least 32 degrees Fahrenheit and that the air in contact with the concrete has been kept at least 50 degrees Fahrenheit for the seven days. Field cured cylinders may be used in lieu of the above.

- 25) Concrete construction joints in walls shall be located midway between supports except that where an intersecting member occurs at midspan, the joint shall be offset twice the width of the intersecting member. Before fresh concrete is poured against concrete in place, the contact surfaces of concrete in place shall be thoroughly cleaned, all laitance shall be removed, and the contact surfaces shall be thoroughly slushed with grout consisting of one part sand to one part cement with a minimum amount of water.

- 26) All mortar shall conform to ASTM - C270. Mortar to be used shall be sampled and tested by the brick and masonry suppliers according to the ASTM - C91 and results submitted to the Engineer for review. Mortar shall be Type "M" as a minimum.

- 27) MORTAR:
Type "M" (2500 psi on the job).

- PROPORTIONS:
Type "M" - 1 part Portland Cement; 1 part Masonry Cement; 5 parts sand.

- 28) The Contractor shall provide the Engineer with the mix design of the mortar including all admixtures and coloring agents. The mix design shall be used in making the masonry prisms prior to construction and the test results of these prisms shall be supplied with the mix design. This mix design shall be used for the duration of the job and the Contractor shall provide proportioning boxes in the field for maintaining the approved mix design. The Inspector shall verify that the mix design is being followed. Any changes (including changing brands of cement, masonry cement, aggregate, admixtures, water) in the mortar mix after the mix design has been approved shall not be incorporated into field use until masonry prisms have been made, and approved.

- 29) Use full head and bed joints.

- 30) Calcium Chloride may not be used as an admixture.

- 31) Technical notes on Brick and Tile Construction #1A January 1968, titled "Cold Weather Construction and Protection Requirements" shall be followed for construction and protection of masonry and temperatures below 40 degrees.

- 32) Reinforcing steel for masonry construction shall conform to ASTM A615, Grade 60.

- 33) All brick and masonry construction shall be provided with standard truss type "Dur-o-Wall" or equal reinforcing at 8" on center unless heavier reinforcement is noted on the drawings.

- 34) Compressive Strength (FM at 28 days)

The minimum required compressive strength (FM at 28 days) of brick masonry construction, concrete masonry construction, and brick and concrete masonry construction is as follows:

System	Min. req'd. FM at 28 days
8" hollow C.M.U.	1800 PSI net area.

- 35) PRISM TESTS:

Prism tests shall be made of the above systems to verify the minimum required compressive strength (FM at 28 days). Prisms shall be constructed and tested according to Section 3.2 of "Specification for the Design and Construction of Load Bearing Concrete Masonry" and/or Section 4.2.2.1 of "Building Code Requirements for Engineered Brick Masonry". Tests shall be performed by an independent laboratory and test results shall be approved by a Registered Engineer. The test laboratory shall be approved by the Engineer.

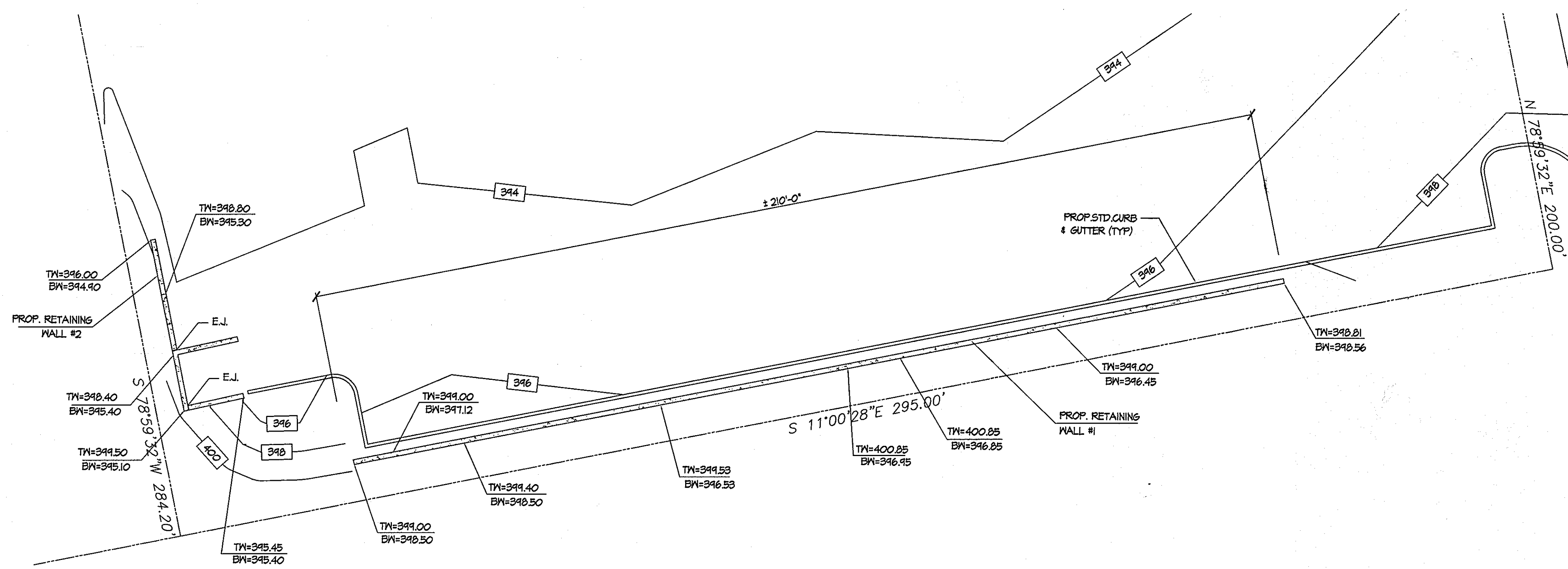
All masonry prisms (except for the masonry prisms made prior to construction) shall be made in the field. The Contractor shall provide a suitable working area for constructing and storing the masonry prisms as long as they are in the field. Mortar shall be material that is being used at the time of the job. The Contractor shall also provide the necessary bindings to prevent damage to the prisms during transportation. The testing agency shall transport the prisms to its Lab on the date it is to test the prisms.

Prior to the start of construction: Three prisms (five prisms for solid brick) of each system shall be tested to verify the minimum FM. One prism shall be tested at 7 days, remainder at 28 days.

During construction: Three prisms (five prisms for solid brick) of each system being used shall be tested for each 5000 square feet of wall area or each story height (whichever is more frequent).

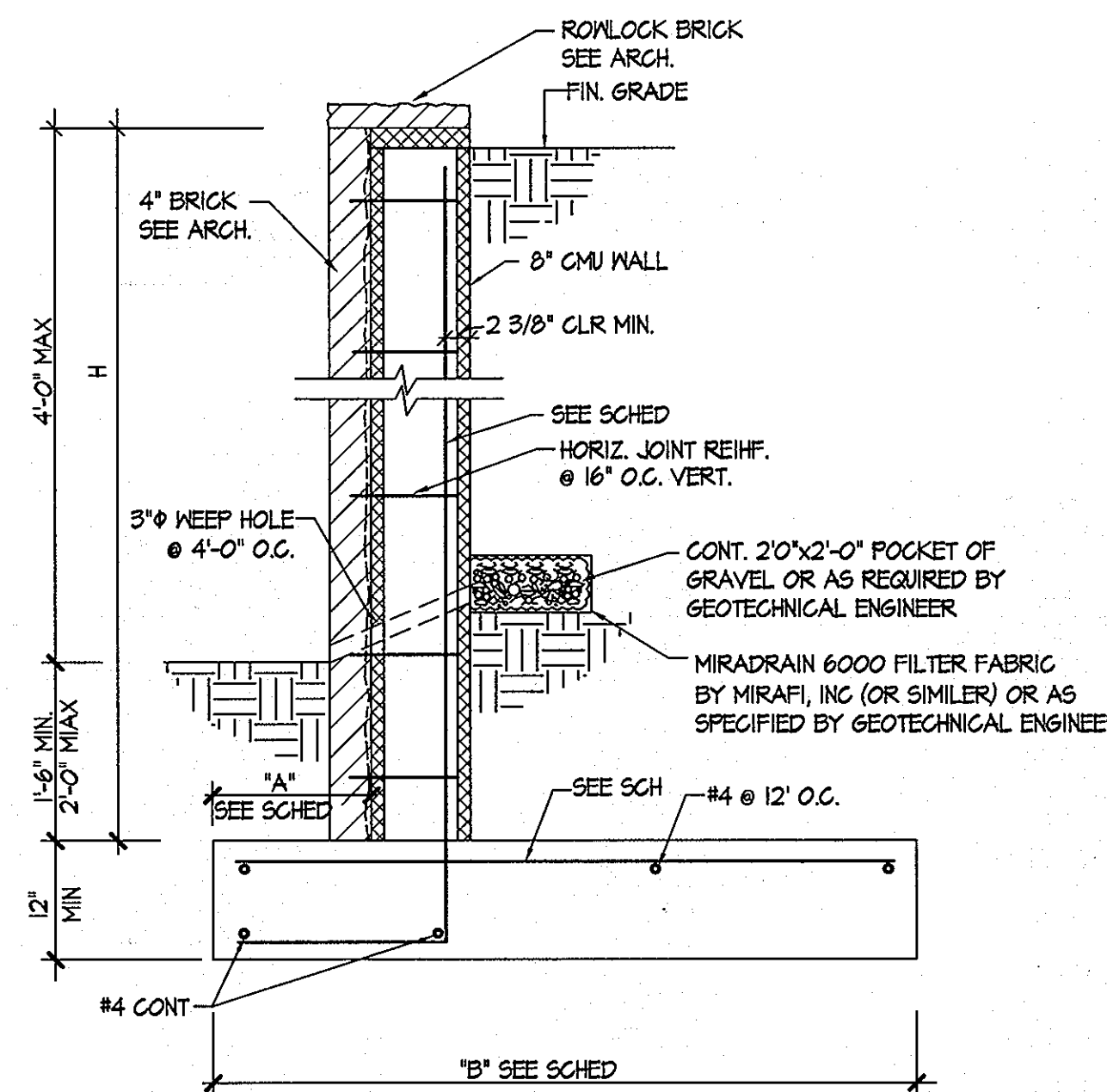
- 36) Inspection for the masonry construction shall be required for all masonry that is noted shown on the drawings. The Inspection Agency shall be approved by the Engineer. At the completion of the inspection, the Agency shall certify that the masonry has been built in accordance with the plans and specifications.

- 37) Inspection of all placed concrete and reinforcement is required. Owner shall approve independent Inspection Agency. Independent Inspection Agency shall certify formwork, concrete and reinforcement under an engineer's seal. Subgrade material shall be approved by geotechnical engineer. Submit daily reports to Owner, Contractor, Architect, Building Department, and Engineer.



RETAINING WALL PLAN

- NOTES:
- 1) VERIFY WITH CIVIL DWG. ALL INFORMATION SHOWN
 - 2) TOP OF FOOTING TO BE MIN. 1'-6" BELOW LOWEST FINISH GRADE AND A MAX 2'-0" BELOW LOWEST FINISH GRADE
 - 3) G.C. TO COORDINATE LOCATION OF STEP FOOTING



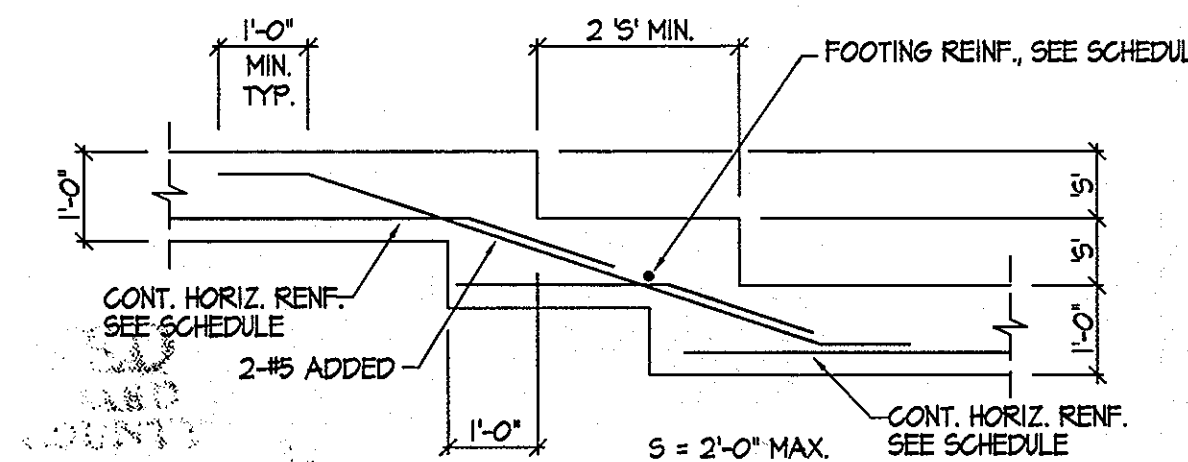
TYPICAL SECTION

N.T.S.

- NOTES:
- 1) FILL ALL CELLS WITH PEA GRAVEL CONCRETE f'_c=3000PSI ROD OR VIBRATE TO ASSURE 100% FILL
 - 2) PROVIDE CRACK CONTROL JOINTS @ 10'-0" O.C. ON EXPOSED FACE.
 - 3) PROVIDE EXPANSION JOINTS @ 40'-0" O.C. AND WHEN WALL CHANGES DIRECTION
 - 4) DO NOT EXTEND HORIZ. REINF. THROUGH EXPANSION JOINT

RETAINING WALL SCHEDULE

H	A	B	V-BARS	X-BARS
3'-4" OR LESS	8"	2'-4"	#4 @ 32"	#4 @ 24"
4'-0"	10"	2'-4"	#4 @ 32"	#4 @ 24"
4'-8"	12"	3'-4"	#5 @ 32"	#4 @ 24"
5'-4"	14"	3'-8"	#5 @ 16"	#4 @ 16"
6'-0"	16"	4'-2"	#5 @ 8"	#4 @ 16"



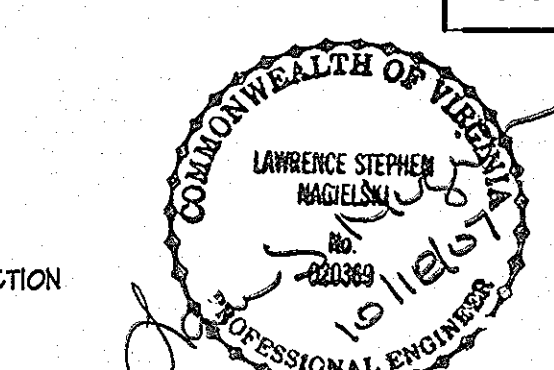
TYP. STEP FOOTING

N.T.S.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY
 DATE: 8/9/07



DEVELOPER
 STEVENS FOREST ASSOCIATES, LLC
 C/O METROVENTURES/USA, INC.
 ONE NORTH CHARLES STREET
 SUITE 1901
 BALTIMORE, MARYLAND 21201
 410-385-8922

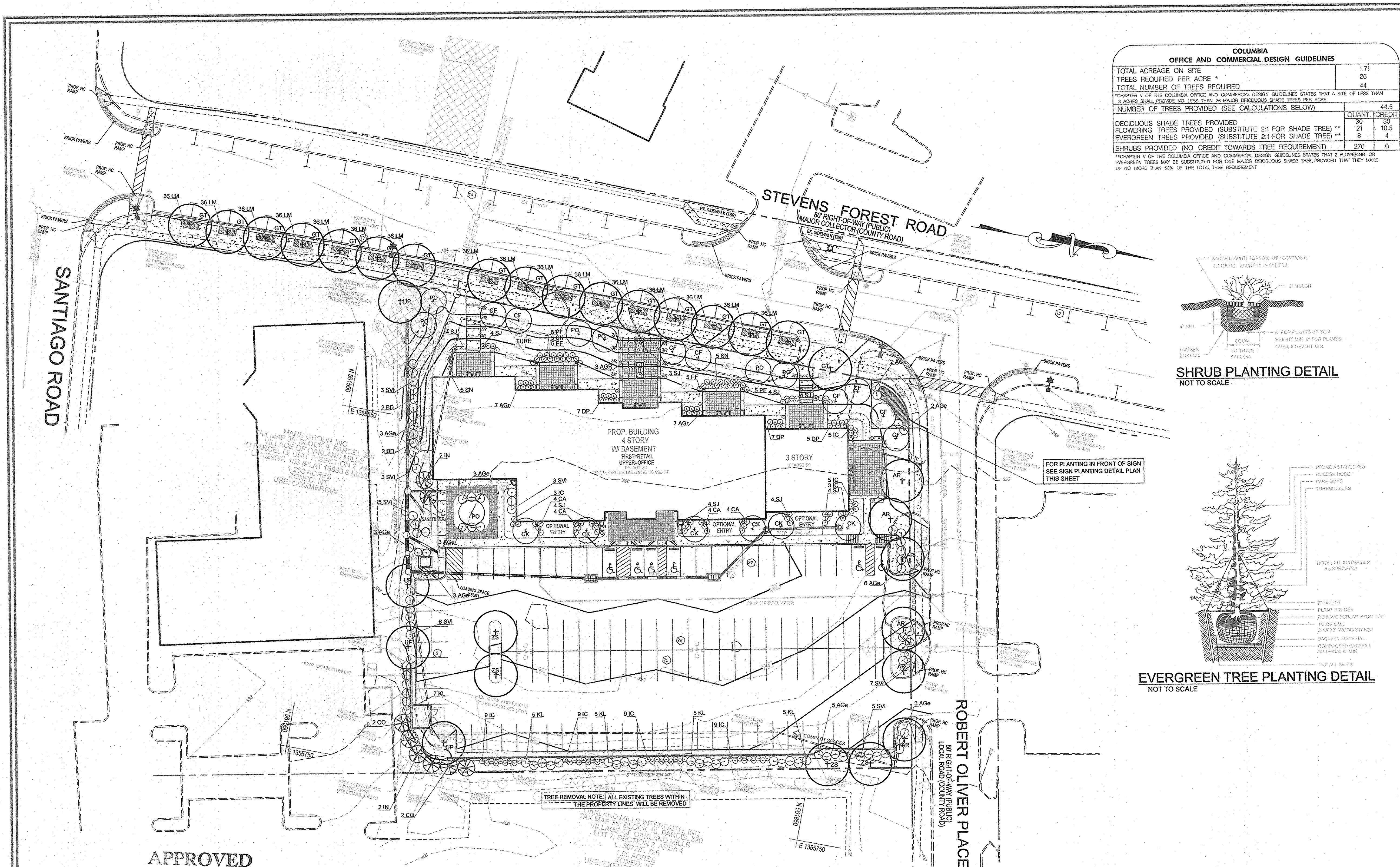
OWNER
 EXXON CORPORATION
 PO BOX 53
 HOUSTON, TX 77001

SITE DEVELOPMENT PLAN
 MERIDIAN SQUARE
 (formerly known as METROCENTER)
 VILLAGE OF OAKLAND MILLS - LOT 8
 OFFICE/RETAIL
 TAX MAP 36 BLOCKS 3 & 9
 6TH ELECTION DISTRICT
 PARCEL 300
 HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET
 ELLICOTT CITY, MD 21043
 TEL: 410.461.7666
 FAX: 410.461.8961

DESIGN BY: WGZ
 DRAWN BY: TEX
 CHECKED BY:
 DATE: OCTOBER 17, 2007
 SCALE: AS SHOWN
 W.O. NO.: 06-33

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 9 SHEET OF 9



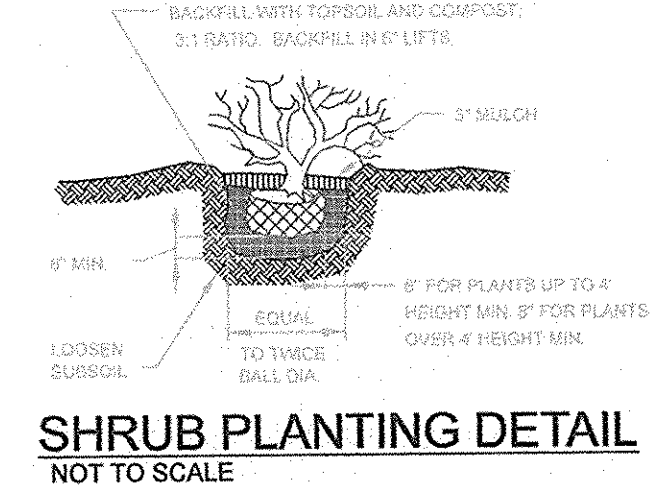
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EVERGREEN TREES PROVIDED (SUBSTITUTE 2:1 FOR SHADE TREE)	8
SHRUBS PROVIDED (NO CREDIT TOWARDS TREE REQUIREMENT)	270
QUANT.	CREDIT
30	30
21	10.5
8	4
270	0

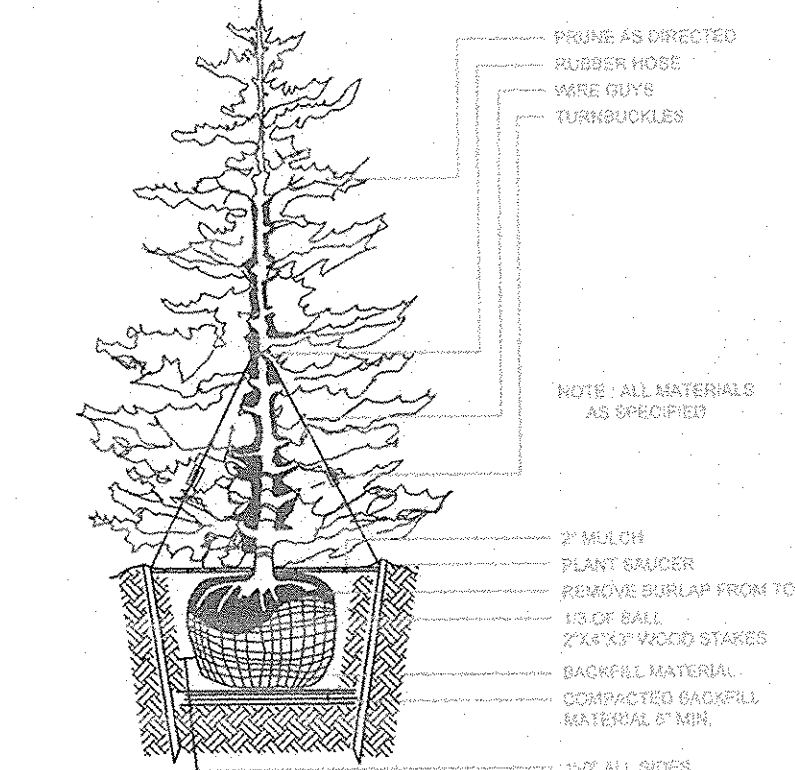
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PLANT SCHEDULE

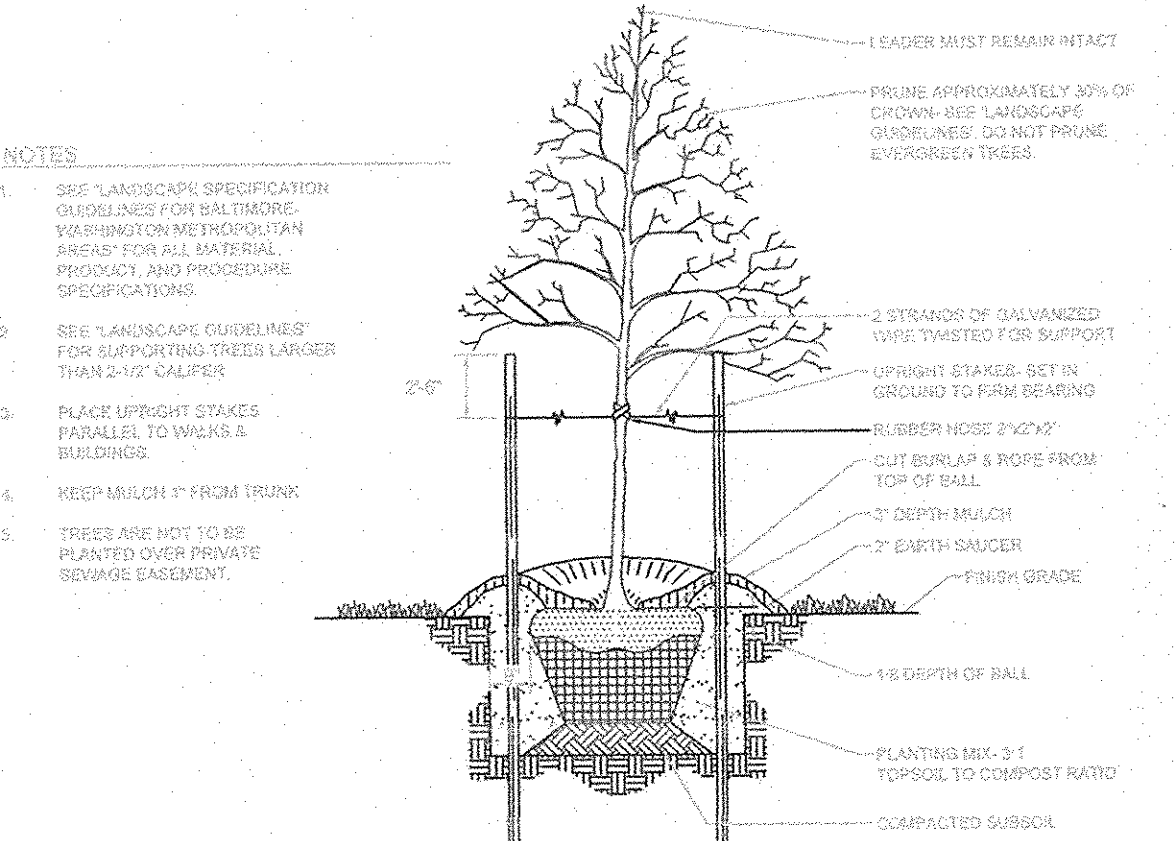
SYMBOL	KEY	BOTANICAL/COMMON NAME	SPACING	SIZE	ROOT QUANTITY
+	AR	ACELE FLEURBIL "OCTOBER GLORY"	25' OC	3" CAL	B&B 6
	GT	OCTOBER GLOVE RED MAPLE	30' OC	3" CAL	B&B 16
	UP	SKYLINE HONOLULU	25' OC	3" CAL	B&B 4
	ZS	ULMUS PARVIFOLIA CHINESE ELM	25' OC	3" CAL	B&B 4
		ZELKOVA SERRATA "VILLAGE GREEN"	25' OC	3" CAL	B&B 4
		VILLAGE GREEN ZELKOVA			
	CF	CORNUS FLORIDA "CLOUD 9"	15' OC	10' HT	B&B 8
	CK	CLOUD 9 FLOWERING DOGWOOD	15' OC	10' HT	B&B 6
	PO	CORNUS KOUSA X C. FLORIDA "CELESTAL"	15' OC	10' HT	B&B 7
		STILLAR SILBES DOGWOOD	15' OC	10' HT	B&B 7
		PRUNUS X OKAME OKAME CHERRY			
	CO	CHAMAEPARIS OCTUBRA "CRISP"	10' OC	6-8' HT	B&B 4
	IN	GOLDEN HINOKI CYPRESS	10' OC	6-8' HT	B&B 4
		ILEX "NELLE R STEVENS" NELLE STEVENS HOLLY			
	AGe	ABELIA GRANDIFLORA "EDWARD GOUCHIER"	5' OC	2' HT	CONT. 33
	BD	GLOSSY ABELIA	5' OC	2' HT	CONT. 4
		BUDDLEIA DAVIDI BONNIE BUTTERFLY BUSH			
	KL	KALMA LATIFOLIA ELE	5' OC	2' HT	CONT. 27
		ELE MOUNTAIN LILY			
	SV	SYRINGA VULGARIS "MME LEMOINE"	5' OC	2' HT	CONT. 32
		MME LEMOINE COMMON LILAC			
	AGr	ABELIA GRANDIFLORA "ROSE CREEK"	3' OC	1' HT	CONT. 17
	CA	CLETHRA ALNIFOLIA "HUMMINGBIRD"	3' OC	1' HT	CONT. 16
		HUMMINGBIRD SUMMER SWEET			
	DP	DELIZIA "PINK MINOR"	3' OC	1' HT	CONT. 19
		PINK MINOR DELIZIA			
	IC	ILEX CRENATA "BEEHIVE"	3' OC	1' HT	CONT. 52
		BEEHIVE HOLLY			
	PF	POTENTILLA FRUTICOSA "GOLDSTAR"	3' OC	1' HT	CONT. 20
		GOLDSTAR POTENTILLA			
	SJ	SPIRAEA JAPONICA "ANTHONY WATERF"	3' OC	1' HT	CONT. 35
		ELMOLD SPIREA			
	SN	SPIRAEA HIPPOCISTRA "SNOWMOUND"	3' OC	1' HT	CONT. 15
		SNOWMOUND SPIREA			
	CV	COREOPSIS VERTICILLATA	12" OC	1 GAL	CONT. 25
		COREOPSIS			
	LM	LIRIOPE MUSCARI "BIG BLUE"	12" OC	1 GAL	CONT. 565
		BIG BLUE LIRIOPE			
	PA	PENNETSETUM ALPESIFRONS "HAMELIN"	18" OC	1 GAL	CONT. 21
		HAMELIN PLEASANT BELL			
	PV	PEROVSKIA ATRIPLICIFOLIA	18" OC	1 GAL	CONT. 11
		RUSSIAN SAGE			
		SEEDED AREA			1,987 S.Y.



SHRUB PLANTING DETAIL
NOT TO SCALE



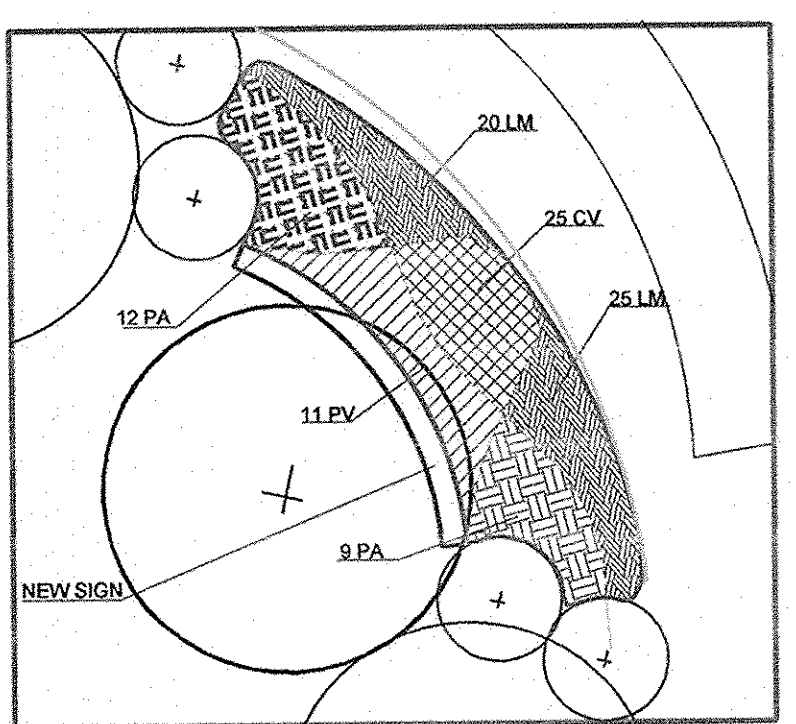
EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE



DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE
DECIDUOUS TREES UP TO 3\"/>

- NOTES**
- SEE "LANDSCAPE SPECIFICATIONS" FOR MATERIALS AND PROCEDURES SPECIFICATIONS.
 - SEE "LANDSCAPE SPECIFICATIONS" FOR SUPPORTING TREE LARGER THAN 3-1/2" CALIPER.
 - PLACE UPRIGHT STAKES PARALLEL TO WINDS & BRANCHES.
 - KEEP MULCH 1" FROM TRUNK.
 - TREES ARE NOT TO BE PLANTED OVER PRIVATE SEWERAGE EASEMENT.

PLAN VIEW
SCALE: 1"=30'



SIGN PLANTING DETAIL PLAN
SCALE: 1"=60'

LEGEND:

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- PROPOSED SIDEWALK
- PROPOSED LIGHT
- FLUSH CURB
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN INLET
- PROPOSED BRICK PAVING
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING FIRE HYDRANT

LANDSCAPE SCHEDULE NOTE:

- ALL PLANT MATERIALS SHALL BE FULL AND HEAVY, BE WELL FORMED AND SYMMETRICAL, CONFORM TO THE MOST CURRENT AAN SPECIFICATIONS AND BE INSTALLED IN ACCORDANCE WITH HRD PLANTING SPECIFICATIONS.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
- FINAL LOCATION OF PLANT MATERIAL MAY NEED TO VARY TO MEET FINAL FIELD CONDITIONS. TREES SHALL NOT BE PLANTED IN THE BOTTOM OF DRAINAGE SWALES.
- CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO BIDDING. IF PLANT DIFFERS FROM LANDSCAPE SCHEDULE, THE PLAN SHALL GOVERN.
- AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREWITH LISTED AND APPROVED FOR THIS SITE, SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPING MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING.
- THE OWNER TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION AND WHEN NECESSARY, REPAIRED OR REPLACED.
- SHOULD ANY TREE DESIGNATED FOR PRESERVATION FOR WHICH LANDSCAPING CREDIT IS GIVEN DIE PRIOR TO RELEASE OF BONDS, THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT SPECIES OR WITH A TREE WHICH WILL OBTAIN THE SAME HEIGHT, SPREAD AND GROWTH CHARACTERISTICS. THE REPLACEMENT TREE MUST BE A MINIMUM OF 3 INCHES IN CALIPER AND INSTALLED AS REQUIRED IN THE HOWARD COUNTY LANDSCAPE MANUAL.
- THIS LANDSCAPE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER V OF THE COLUMBIA OFFICE AND COMMERCIAL DESIGN GUIDELINES.
- THIS LANDSCAPE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE NEW TOWN ALTERNATIVE COMPLIANCE PROVISIONS OF CHAPTER VI OF THE HOWARD COUNTY LANDSCAPE MANUAL.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$13,200 FOR THE REQUIRED 44 SHADE TREES.

APPROVED
PLANNING BOARD
of HOWARD COUNTY

DATE: 8/9/07

DEVELOPER'S/BUILDER'S CERTIFICATE

I WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Signature: *[Signature]* DATE: 10/18/07

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division & DATE: 10/20/07
 Chief, Division of Land Development DATE: 1/1/10
 Director DATE: 11/1/07

DEVELOPER
STEVENS FOREST ASSOCIATES, LLC
C/O METROVENTURES/SAI, INC.
ONE NORTH CHARLES STREET
SUITE 1901
BALTIMORE, MARYLAND 21201
410-385-8922

OWNER
EXXON CORPORATION
PO BOX 53
HOUSTON, TX 77001

NO.	REVISION	DATE
1	REVISE TRANSFORMER PAD LOCATION; REVISE STORM DRAIN TO ADD MANHOLE 1A.	1-24-08

SITE LANDSCAPE PLAN

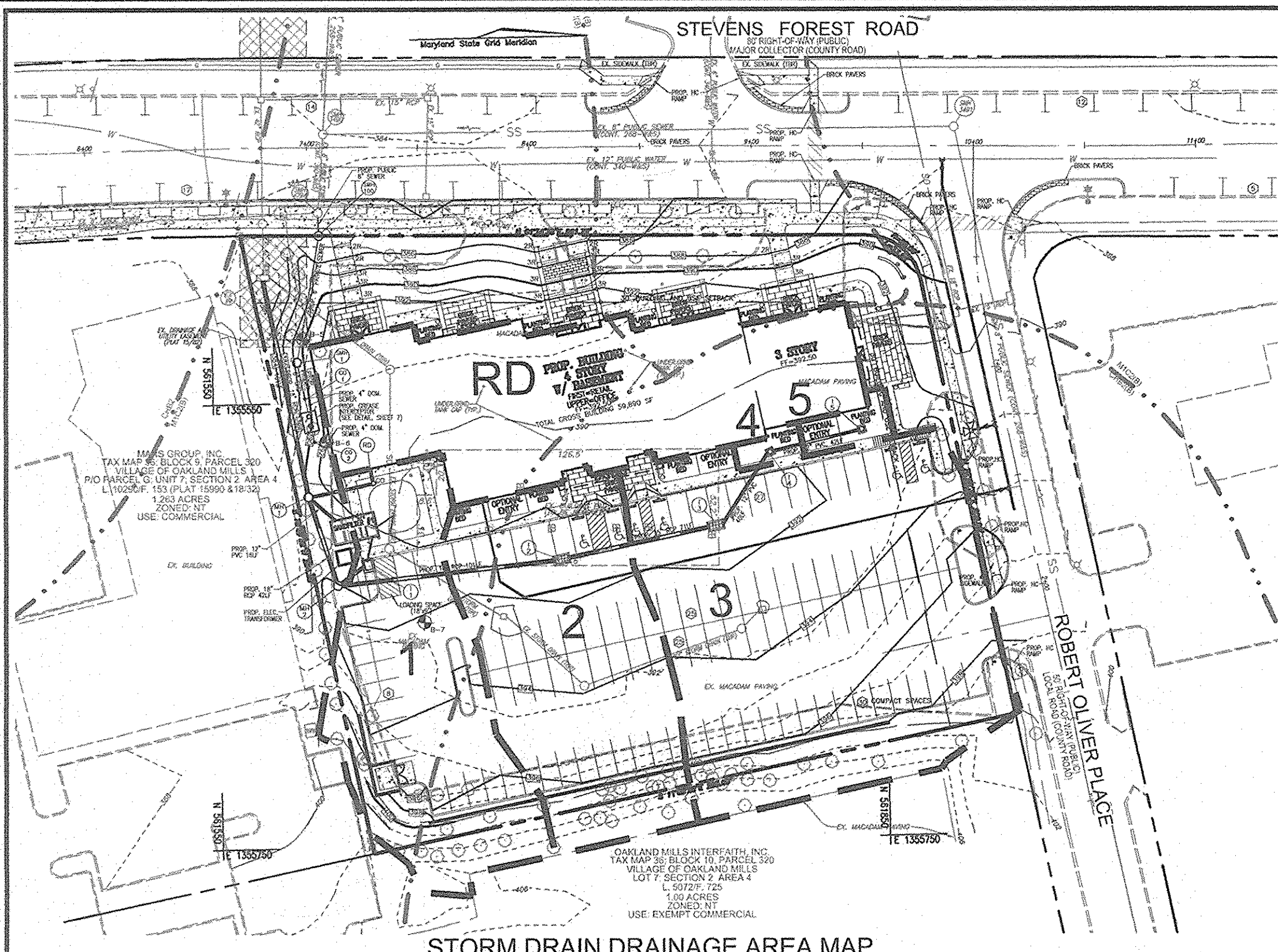
MERIDIAN SQUARE
(formerly known as METROCENTER)
VILLAGE OF OAKLAND MILLS - LOT 8
OFFICE/RETAIL/RESTAURANT

TAX MAP 36 BLOCKS 3 & 9
6TH ELECTION DISTRICT

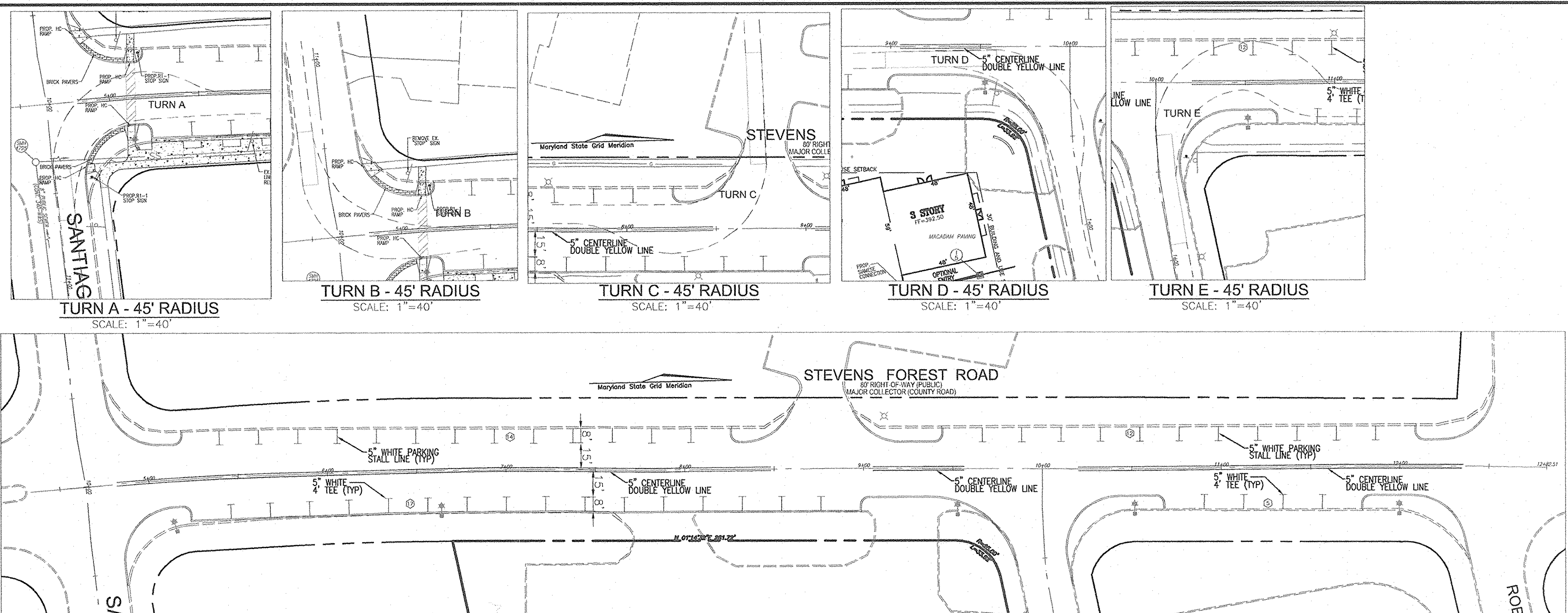
P.E.L.A. DESIGN, INC.
7400 York Road
Suite 405
Towson, Maryland 21204
P: 410-296-3990
F: 410-296-3998
mail@peladesign.net

DESIGN BY: MM, LT
 DRAWN BY: MM
 CHECKED BY: LT
 DATE: OCTOBER 2007
 SCALE: 1"=30'
 C.D. NO.: 06-33

8 SHEET OF 9



STORM DRAIN DRAINAGE AREA MAP
SCALE: 1"=50'



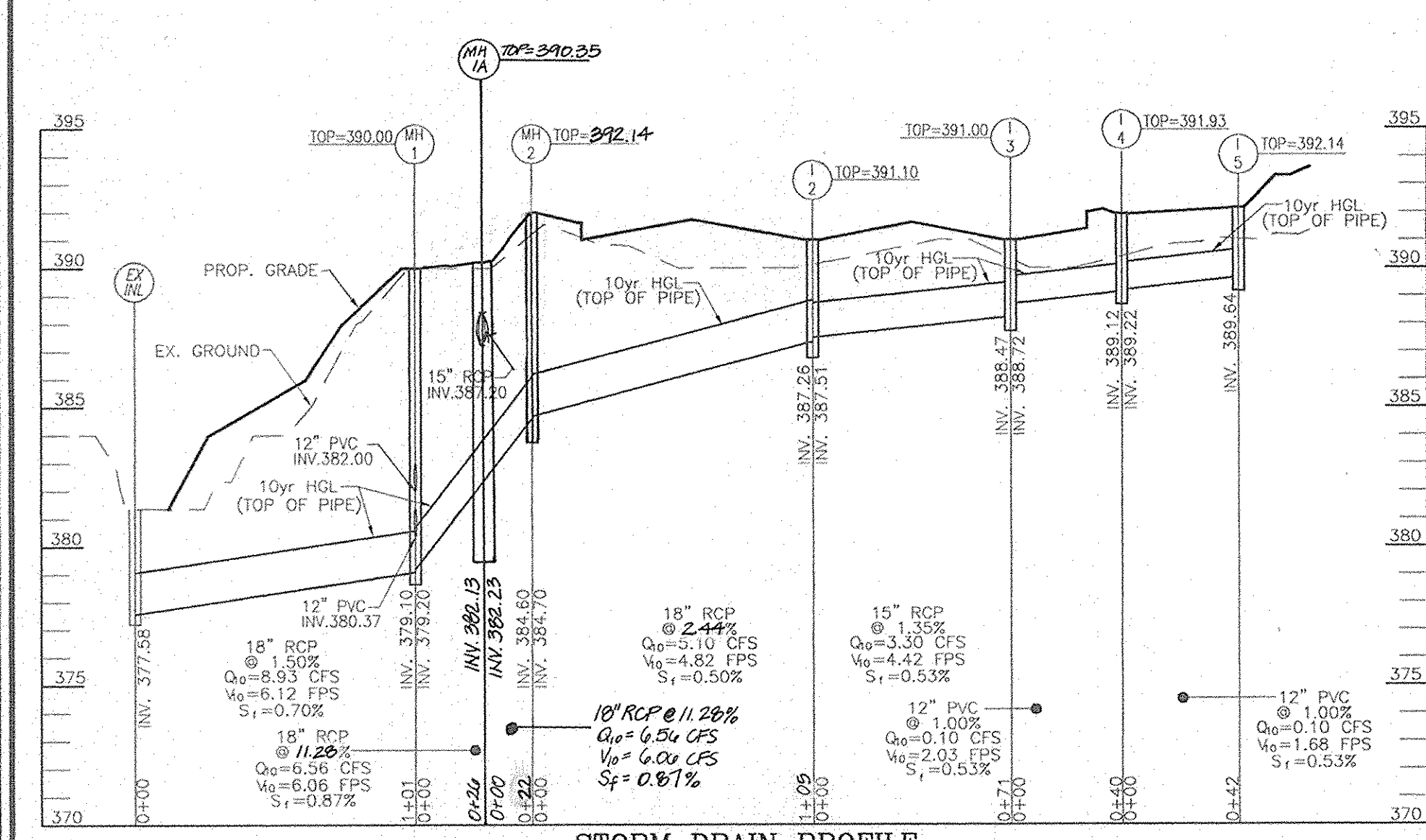
PAVEMENT MARKING PLAN
SCALE: 1"=40'

STORM DRAIN STRUCTURE SCHEDULE						
NO.	TYPE	LOCATION	TOP ELEV.	INV. IN	INV. OUT	COMMENTS
1-1	TYPE "A-5" INLET	N 561622 E 1355632	391.58	387.57	387.57	HO. CO. STD. SD-4.40
1-2	DOUBLE TYPE "S" INLET	N 561705 E 1355624	391.10	387.26	387.26	HO. CO. STD. SD-4.23
1-3	DOUBLE TYPE "S" INLET	N 561775 E 1355611	391.00	388.47	388.47	HO. CO. STD. SD-4.23
1-4	"YARD" INLET	N 561800 E 1355578	389.22	389.12	389.12	HO. CO. STD. SD-4.14
1-5	"YARD" INLET	N 561842 E 1355570	392.14	389.64	389.64	HO. CO. STD. SD-4.14
MH-1	4"-0" STANDARD PRECAST MANHOLE	N 561592 E 1355592	392.00	389.00	389.00	HO. CO. STD. C-5.12
MH-2	4"-0" STANDARD PRECAST MANHOLE	N 561601 E 1355639	392.14	388.59	388.59	HO. CO. STD. C-5.12
	PRECAST SANDFILTER	SEE PLAN	388.54	386.87	386.87	SEE SHEET 7
MH-1A	4'-0" STANDARD PRECAST MANHOLE	N 561601 E 1355639	392.14	388.54	388.54	HO. CO. STD. G-5.12

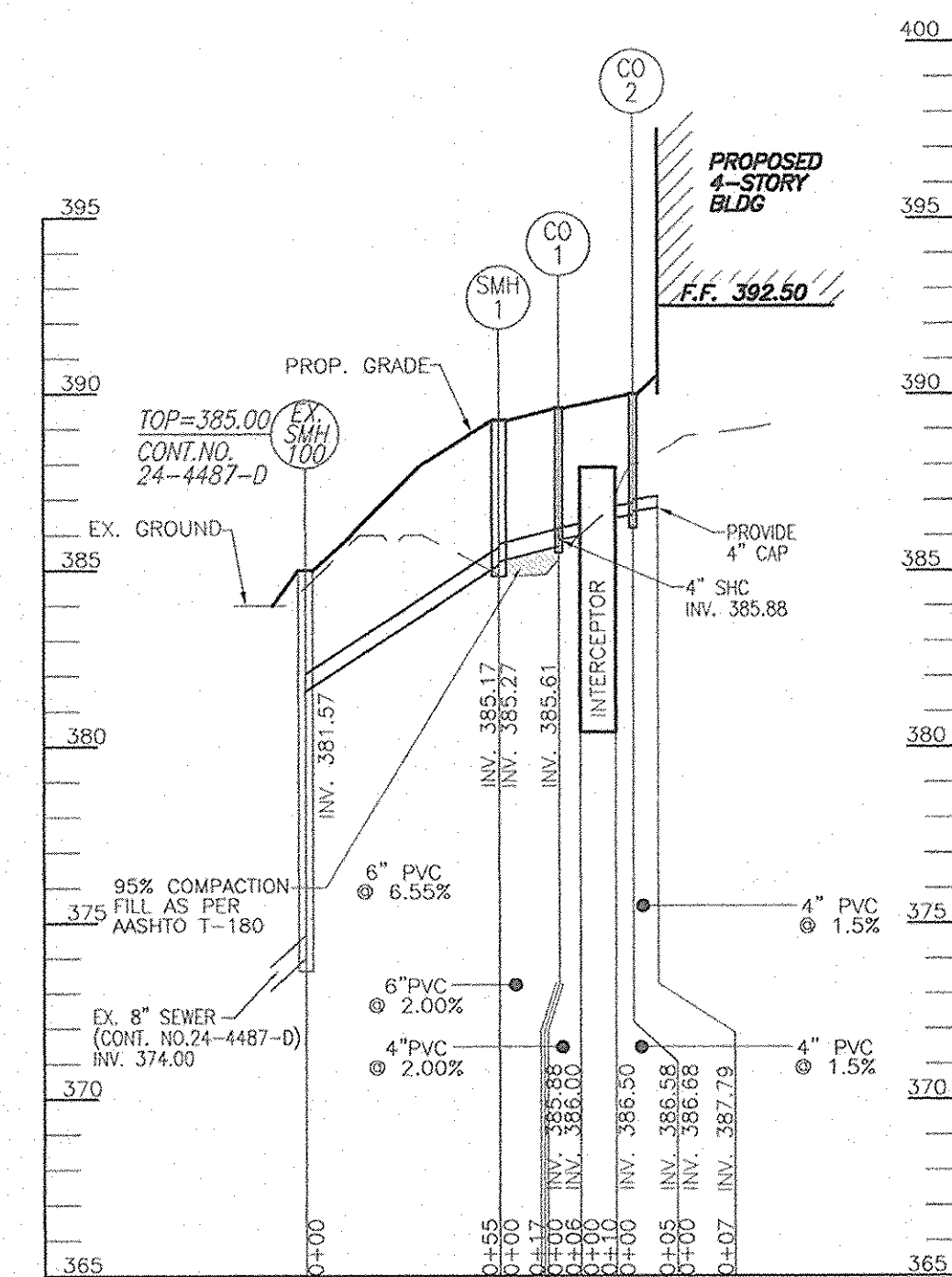
AREA AND "C" FACTOR TABULATION			
INLET#	AREA(A)	"C" FACTOR (C)	%IMPERVIOUS (P)
1-1	0.27	0.69	72
1-2	0.29	0.77	85
1-3	0.52	0.74	81
1-4	0.01	0.16	0
1-5	0.01	0.16	0
RD	0.34	0.87	100

APPROVED
PLANNING BOARD
of HOWARD COUNTY
DATE: 4/9/07

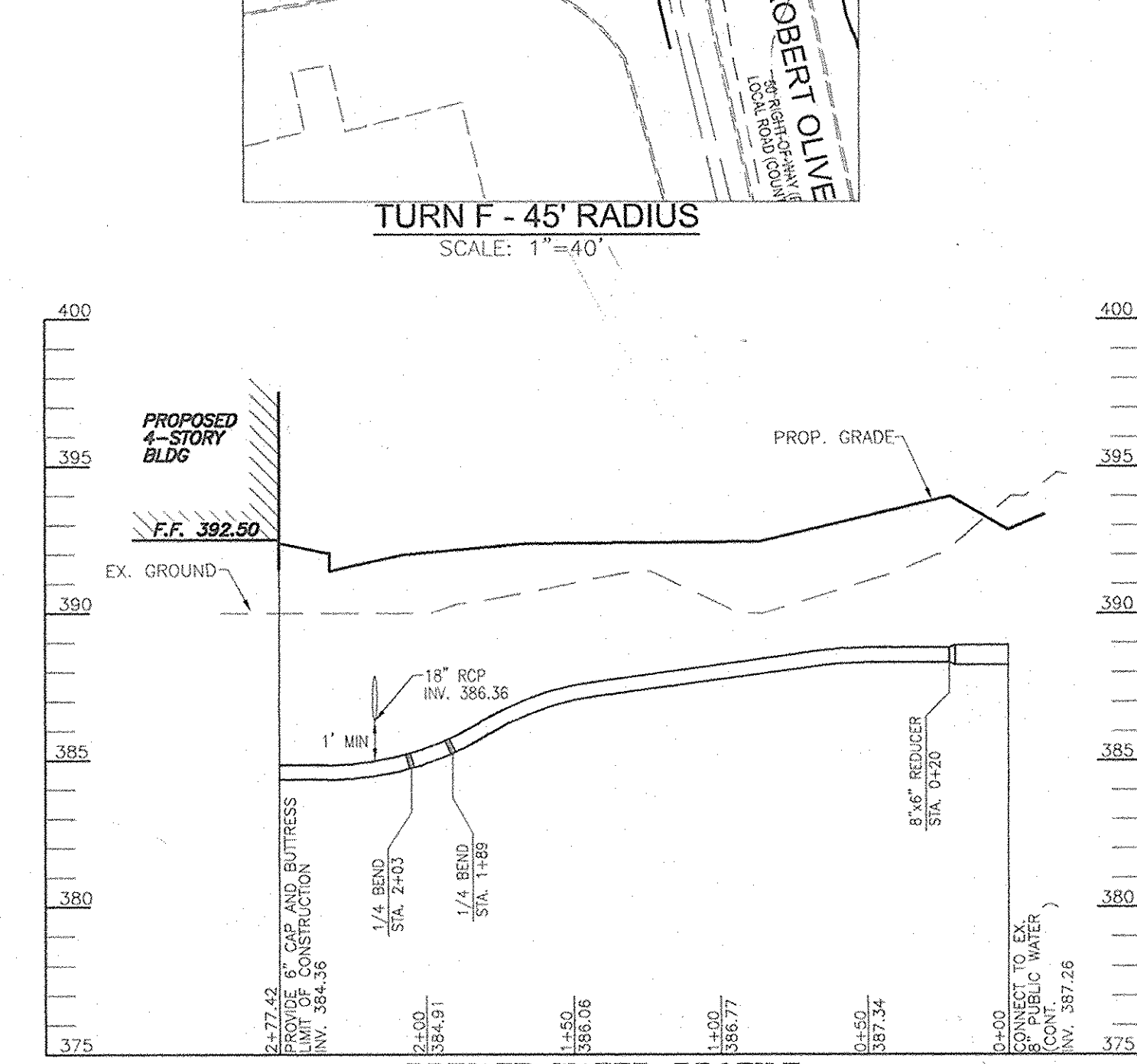
NOTE: 1. Top elevations are at center top of headpiece for Type "A-5" inlets at center top of Double Type "S" and yard inlets and top of Manhole cover for Precast Manholes.
2. For top slab slopes see grading plan.
3. See Architectural plans for roof drain details.
4. All custom and non-standard structures to be designed by a qualified structural engineer.



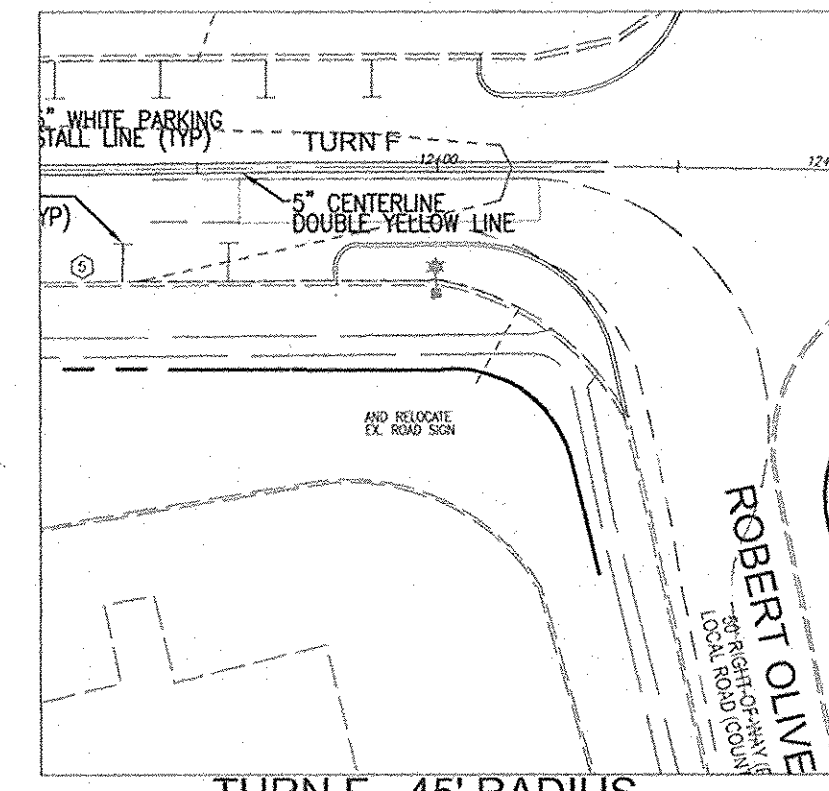
STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



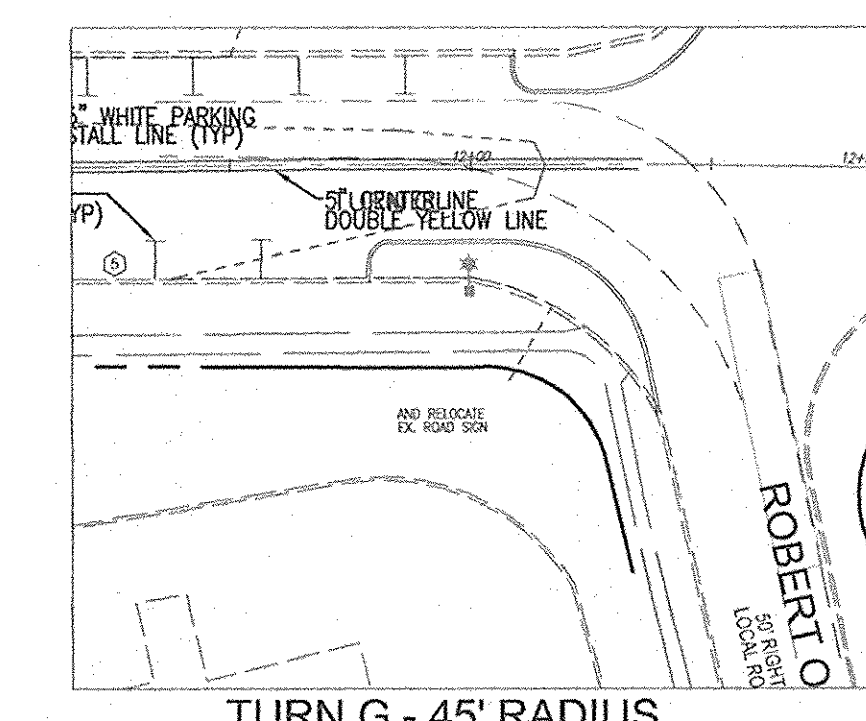
PRIVATE SEWER PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



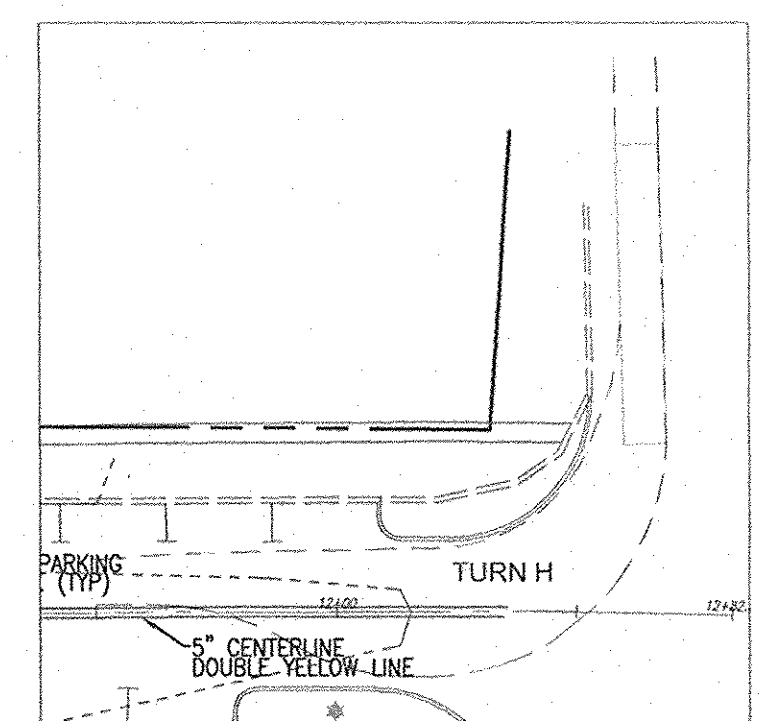
PRIVATE WATER PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



TURN F - 45' RADIUS
SCALE: 1"=40'



TURN G - 45' RADIUS
SCALE: 1"=40'



TURN H - 45' RADIUS
SCALE: 1"=40'

NO.	REVISION	DATE
1	REVISE LOCATION OF TRANSFORMER PAD; REVISE STORM DRAIN TO ADD MANHOLE 1A.	1-24-06

SITE DEVELOPMENT PLAN
STORM DRAIN DRAINAGE AREA MAP,
AND UTILITY PROFILES
MERIDIAN SQUARE
(formerly known as METROCENTER)
VILLAGE OF OAKLAND MILLS - LOT 8
OFFICE/RETAIL/RESTAURANT
TAX MAP 36 BLOCKS 3 & 9 PARCEL 300
6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET ELLICOTT CITY, MD 21043 TEL: 410.461.7666 FAX: 410.461.8961

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION
CHIEF, DIVISION OF LAND DEVELOPMENT
DIRECTOR

REVIEWED FOR HOWARD S.C.D. & MEETS TECHNICAL REQUIREMENTS.
USDA - NATURAL RESOURCES CONSERVATION SERVICE
THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

BY THE DEVELOPER:
I, WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

BY THE ENGINEER:
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

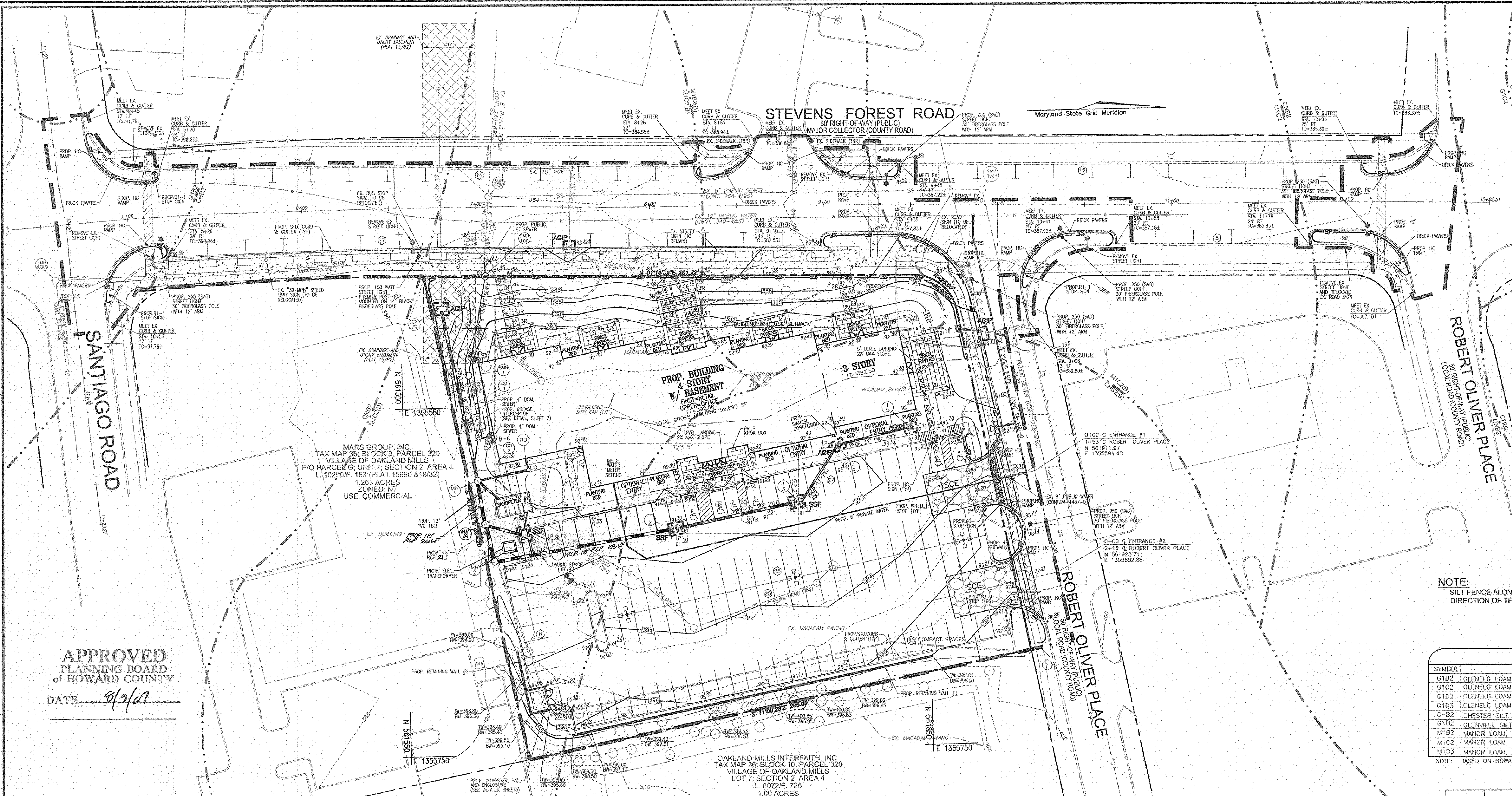
SIZE	TYPE	LENGTH
12"	PVC	136 LF
15"	RCP, CLIV	71 LF
18"	RCP, CLIV	241 LF
6"	PVC, SANITARY	29 LF
8"	RCP, SANITARY	53 LF
6"	DIP	204 LF

DEVELOPER: STEVENS FOREST ASSOCIATES, LLC
C/O METROVENTURES/USA, INC.
ONE NORTH CHARLES STREET SUITE 1901
BALTIMORE, MARYLAND 21201
410-385-8922

OWNER: EXXON CORPORATION
PO BOX 53
HOUSTON, TX 77001

DESIGN BY: W.G.Z.
DRAWN BY: R.H.V.
CHECKED BY: R.H.V.
DATE: OCT. 17, 2007
SCALE: AS SHOWN
W.O. NO.: 06-33

6 SHEET OF 9



LEGEND:

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING MAILBOX
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN INLET
- EXISTING TREES (FIELD LOCATED)
- EXISTING TREELINE (FIELD LOCATED)
- EXISTING FENCE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- SOILS BOUNDARY
- PROPOSED SIDEWALK
- PROPOSED LIGHTING
- SILT FENCE
- SUPER SILT FENCE
- AT GRADE INLET PROTECTION
- SUPER SILT FENCE PROTECTION
- LIMIT OF DISTURBANCE
- STABILIZED CONSTRUCTION ENTRANCE

NOTE:
SILT FENCE ALONG STEVENS FOREST ROAD IS TO BE A DOUBLE ROW AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

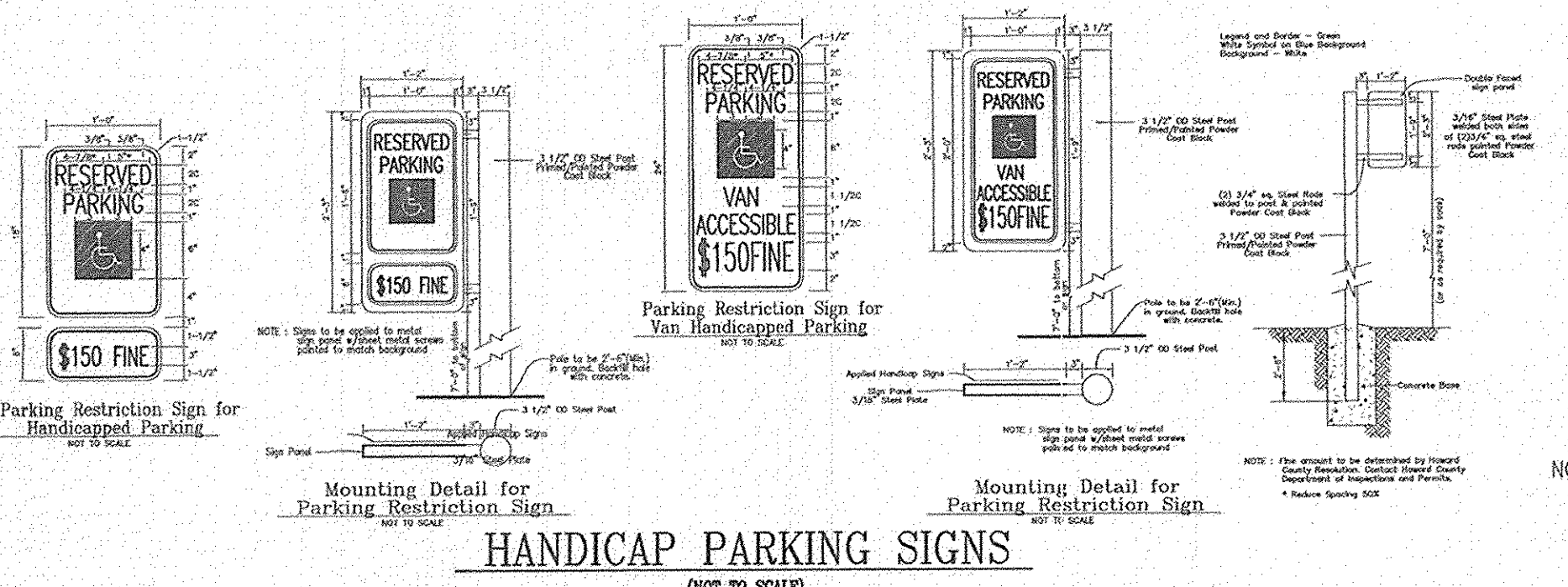
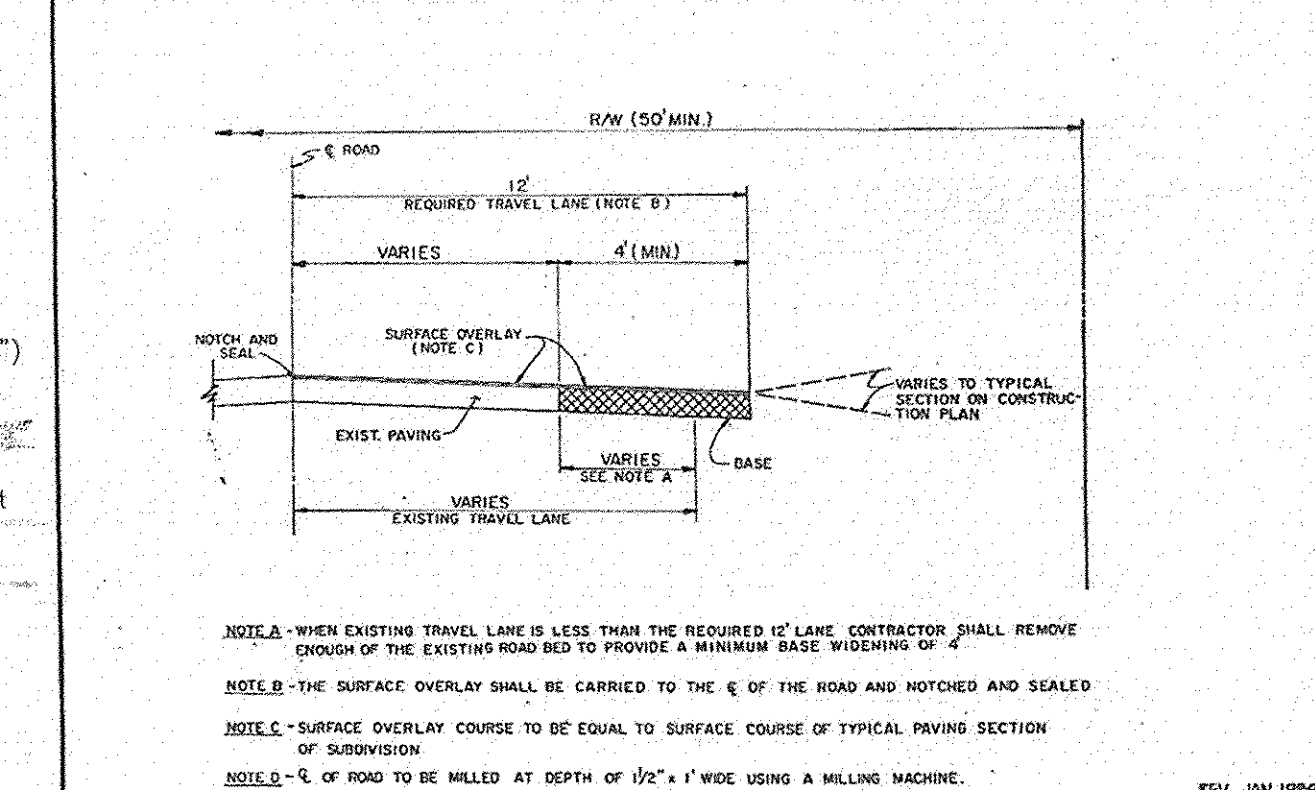
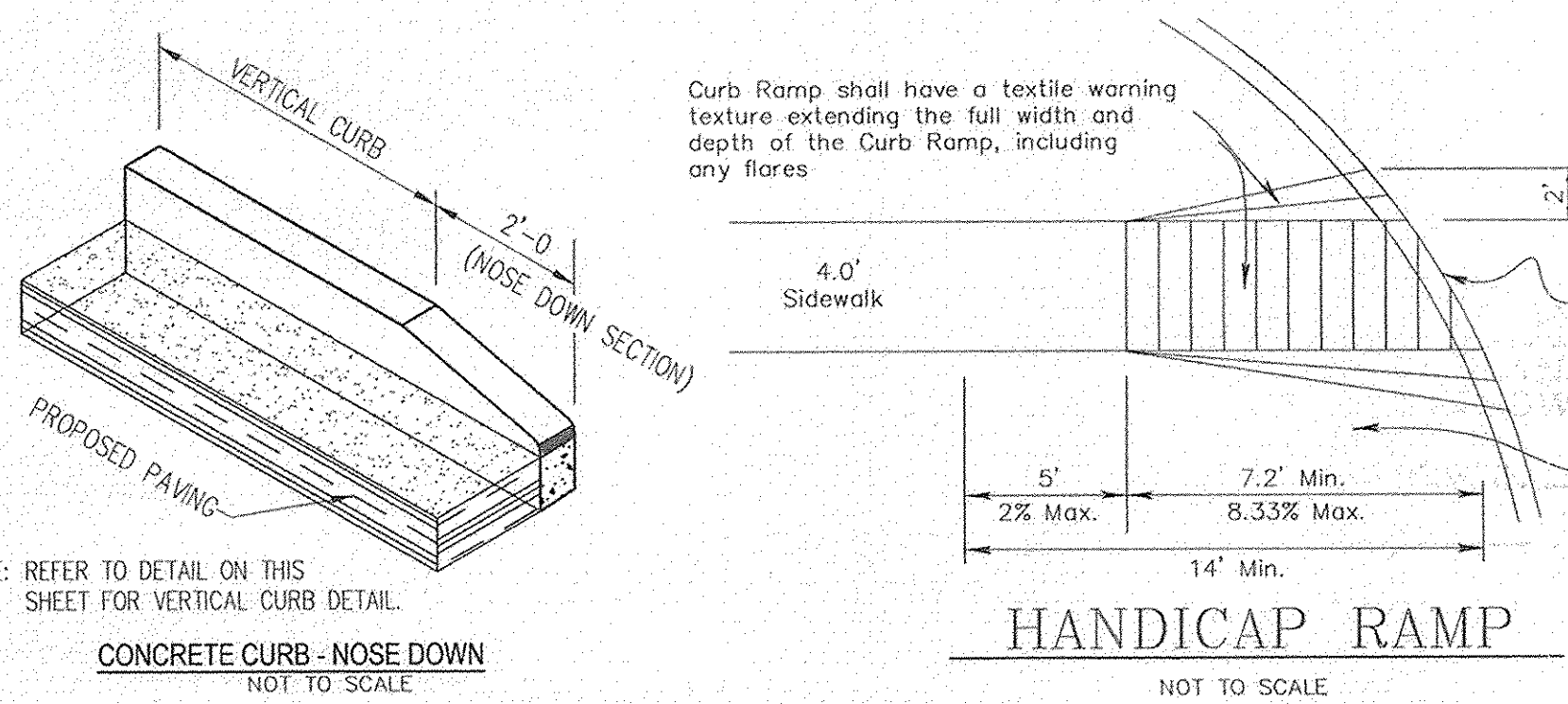
APPROVED
PLANNING BOARD
of HOWARD COUNTY
DATE 8/2/07

SOILS LEGEND

SYMBOL	NAME / DESCRIPTION	GROUP
G1B2	GLENELG LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED	B
G1C2	GLENELG LOAM, 8 TO 15 PERCENT SLOPES, MODERATELY ERODED	B
G1D2	GLENELG LOAM, 15 TO 25 PERCENT SLOPES, MODERATELY ERODED	B
G1D3	GLENELG LOAM, 15 TO 25 PERCENT SLOPES, SEVERELY ERODED	B
CHB2	CHESTER SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED	B
GNB2	GLENVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED	C
M1B2	MANOR LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED	B
M1C2	MANOR LOAM, 8 TO 15 PERCENT SLOPES, MODERATELY ERODED	B
M1D3	MANOR LOAM, 15 TO 25 PERCENT SLOPES, SEVERELY ERODED	B

NOTE: BASED ON HOWARD SOIL SURVEY

SEDIMENT CONTROL PLAN
SCALE: 1"=30'



NO.	REVISION	DATE
1	REVISE LOCATION OF TRANSFORMER PAD, REVISE STORM DRAIN TO ADD MANHOLE 1A.	1.24.06

SITE DEVELOPMENT PLAN
SITE GRADING, SEDIMENT AND EROSION CONTROL PLAN; SOILS MAP
MERIDIAN SQUARE
(formerly known as METROCENTER)
VILLAGE OF OAKLAND MILLS - LOT 8
OFFICE/RETAIL/RESTAURANT
TAX MAP 36 BLOCKS 3 & 9 PARCEL 300
6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET TEL: 410.461.7666
ELLIOTT CITY, MD 21043 FAX: 410.461.8961

DESIGN BY: WGZ
DRAWN BY: WGZ
CHECKED BY: RHV
DATE: OCT. 17, 2007
SCALE: AS SHOWN
W.O. NO.: 06-33

4 SHEET OF 9

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 10/30/07

CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 11/1/07

REVIEWED FOR HOWARD S.C.D. & MEETS TECHNICAL REQUIREMENTS
USDA NATURAL RESOURCES CONSERVATION SERVICE
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

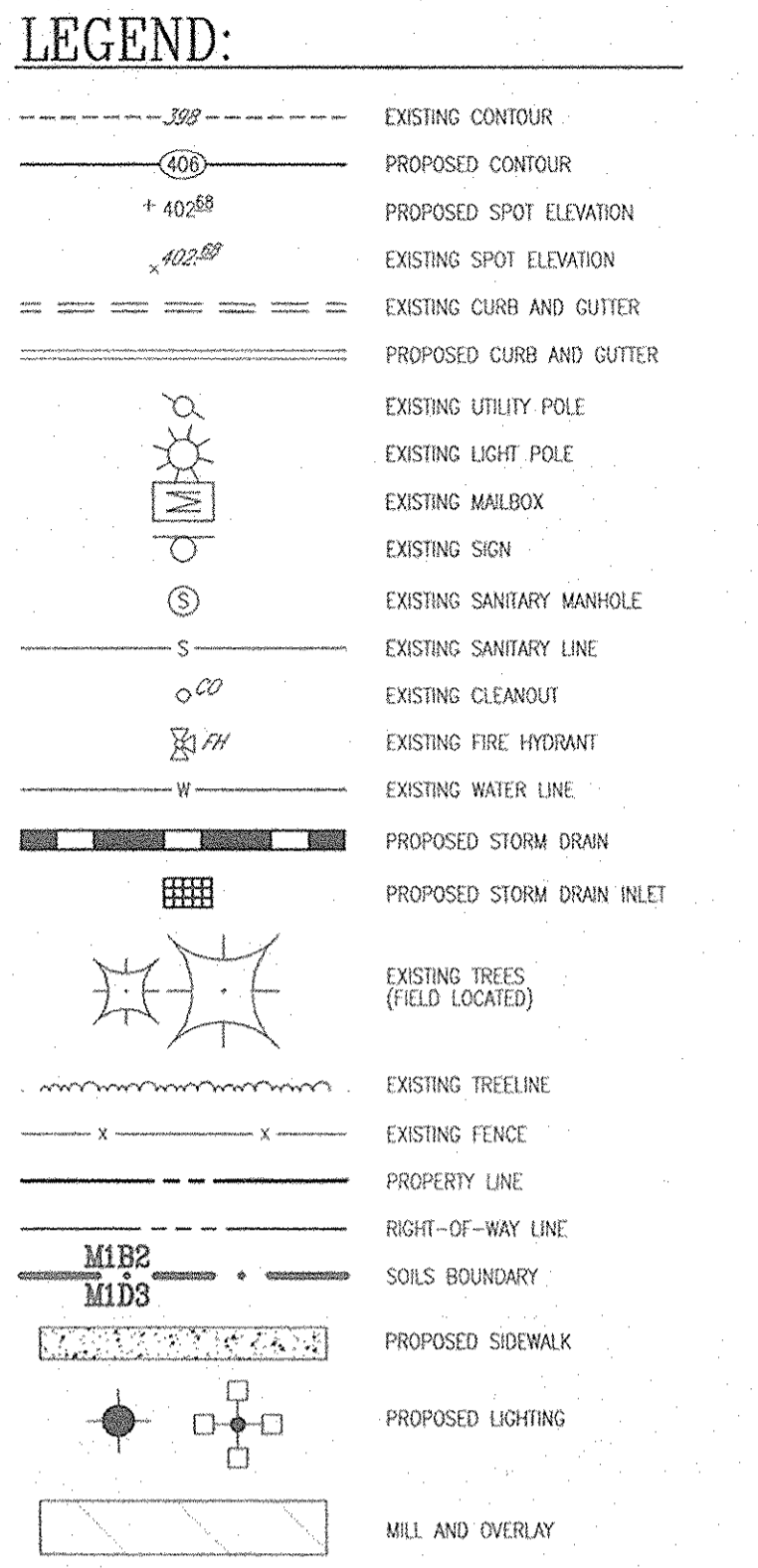
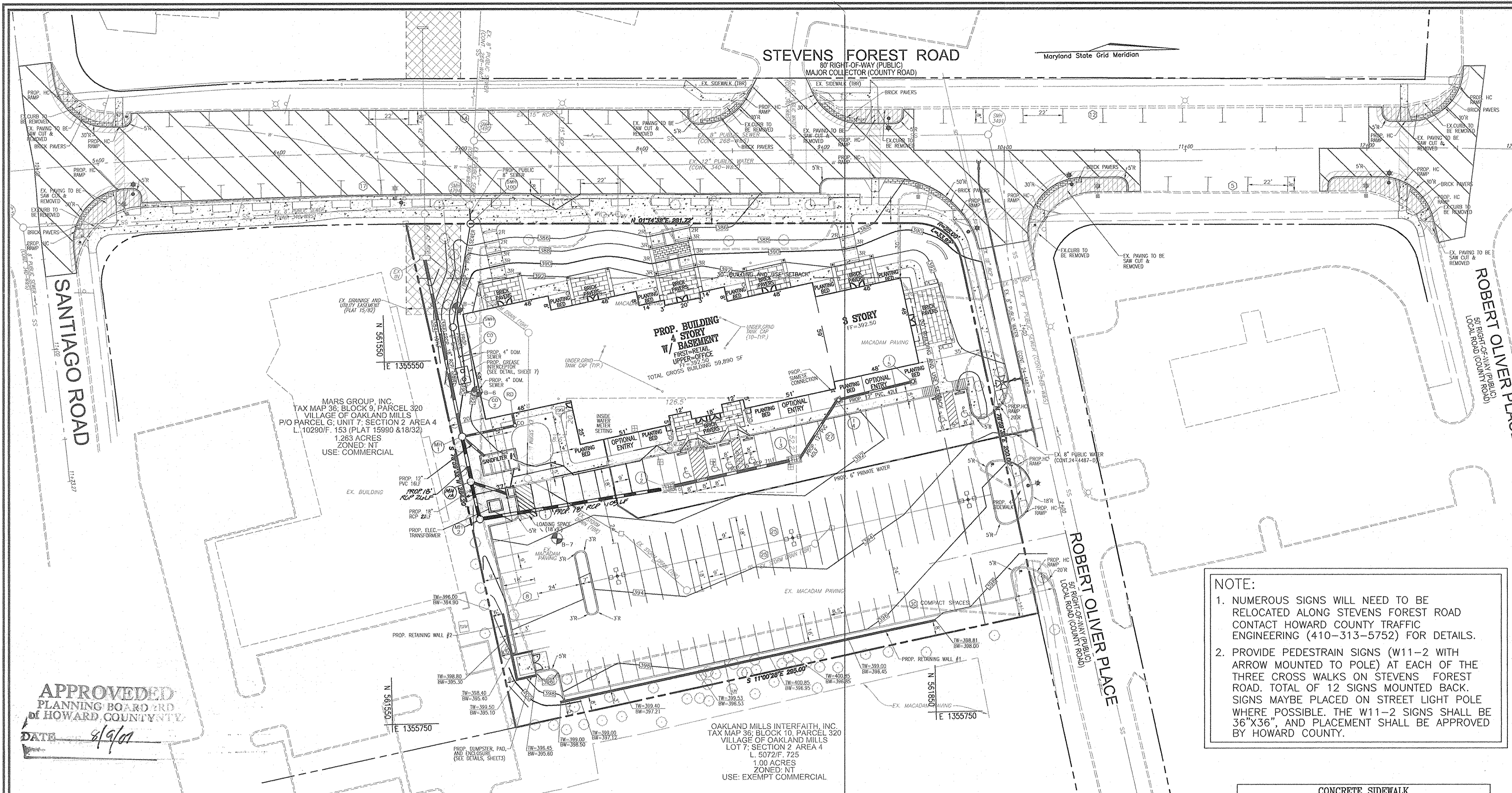
HOWARD S.C.D. DATE: 10/16/07

BY THE DEVELOPER:
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

SIGNATURE OF DEVELOPER: [Signature] DATE: 10/16/07

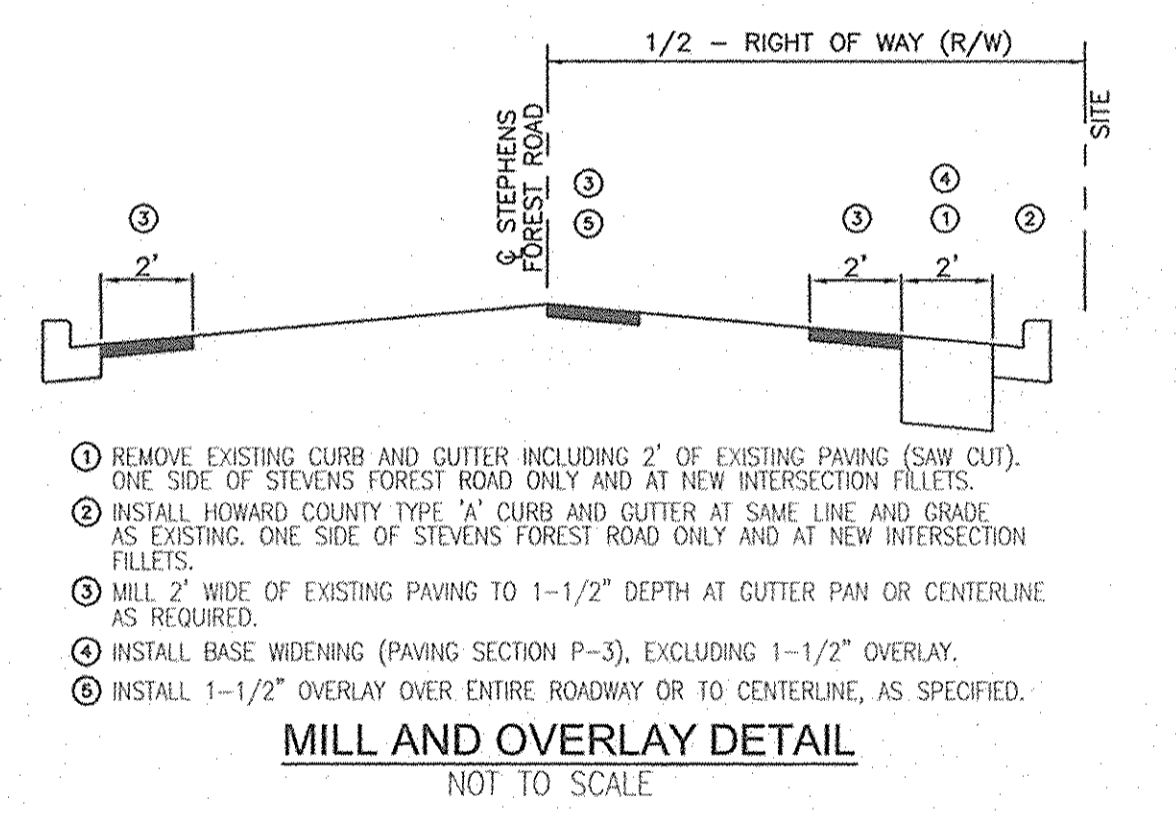
BY THE ENGINEER:
"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

SIGNATURE OF ENGINEER: [Signature] DATE: 10/16/07

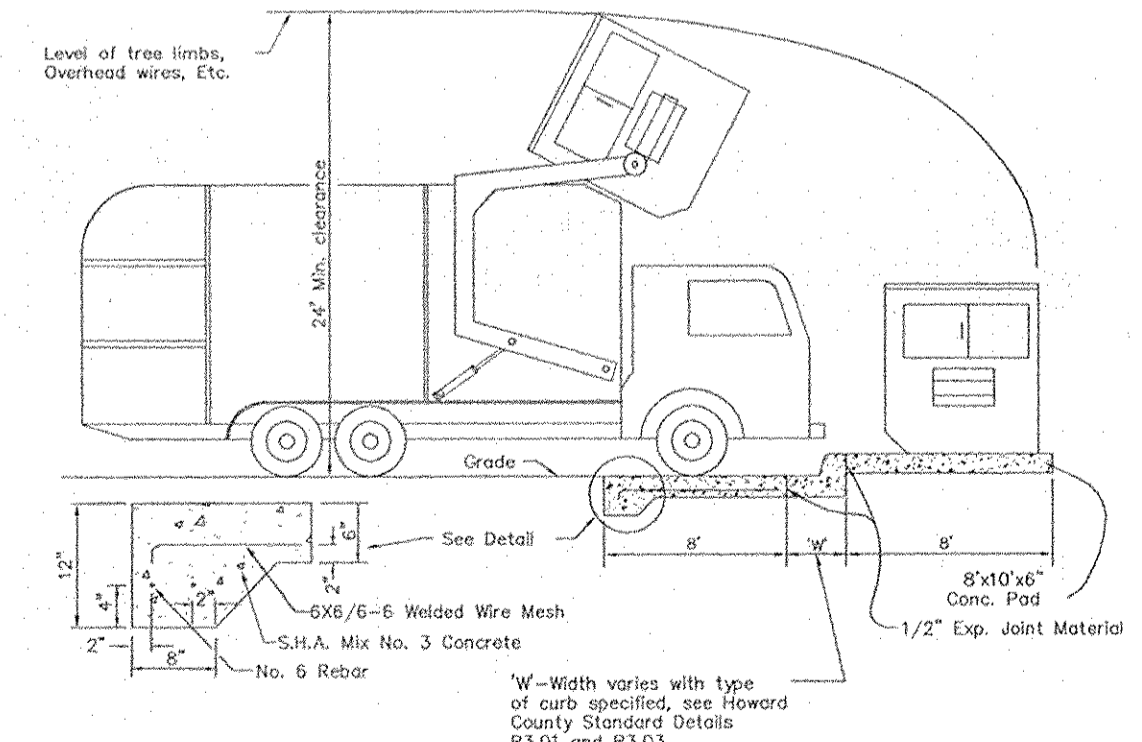


NOTE:

- NUMEROUS SIGNS WILL NEED TO BE RELOCATED ALONG STEVENS FOREST ROAD CONTACT HOWARD COUNTY TRAFFIC ENGINEERING (410-313-5752) FOR DETAILS.
- PROVIDE PEDESTRAIN SIGNS (W11-2 WITH ARROW MOUNTED TO POLE) AT EACH OF THE THREE CROSS WALKS ON STEVENS FOREST ROAD. TOTAL OF 12 SIGNS MOUNTED BACK. SIGNS MAY BE PLACED ON STREET LIGHT POLE WHERE POSSIBLE. THE W11-2 SIGNS SHALL BE 36"x36", AND PLACEMENT SHALL BE APPROVED BY HOWARD COUNTY.



APPROVED
PLANNING BOARD ORD
OF HOWARD COUNTY
DATE 8/9/07

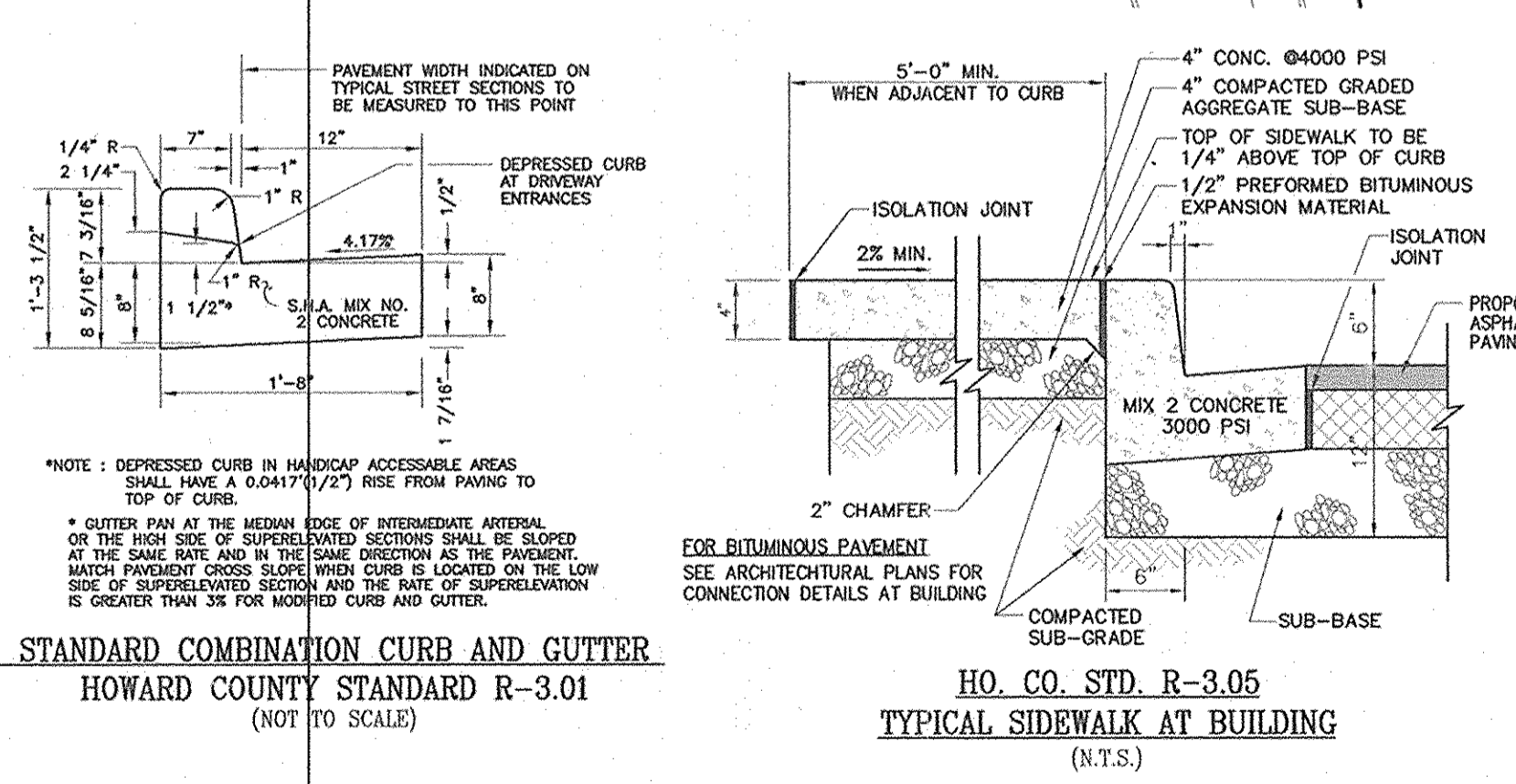
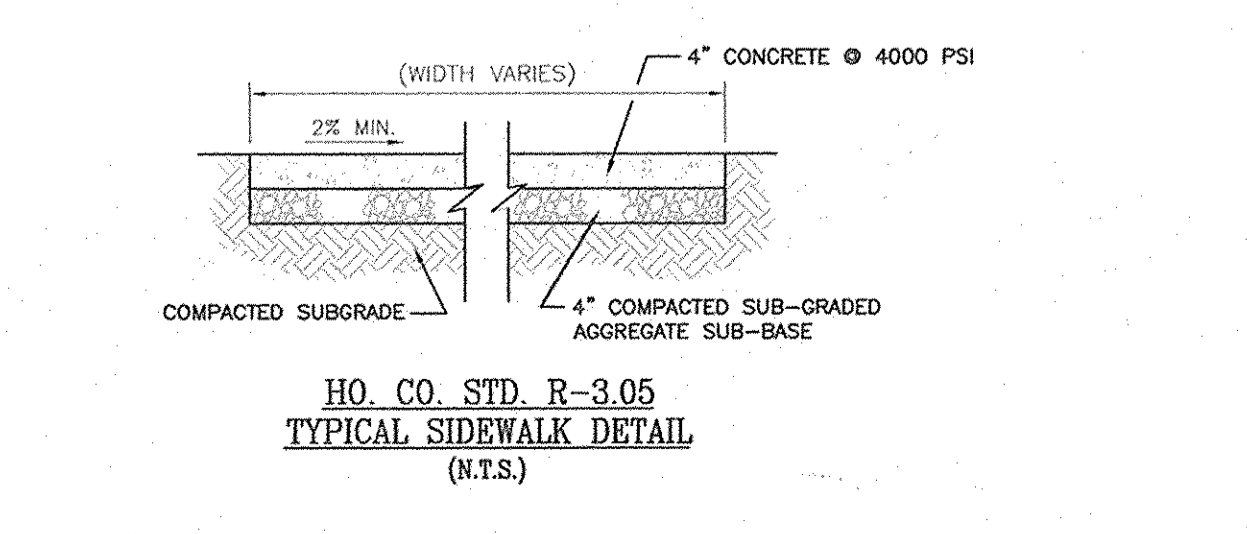
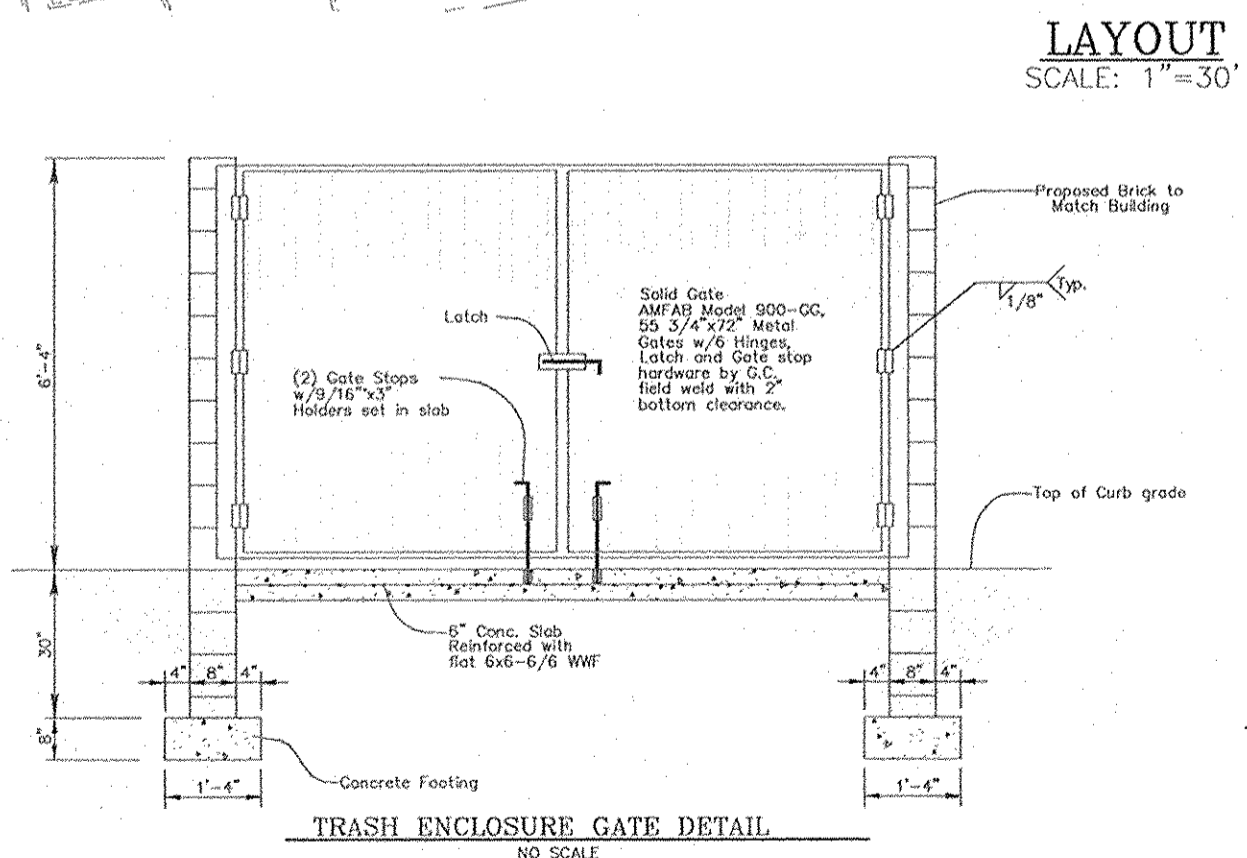


APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE 10/30/07

CHIEF, DIVISION OF LAND DEVELOPMENT
DATE 11/1/07

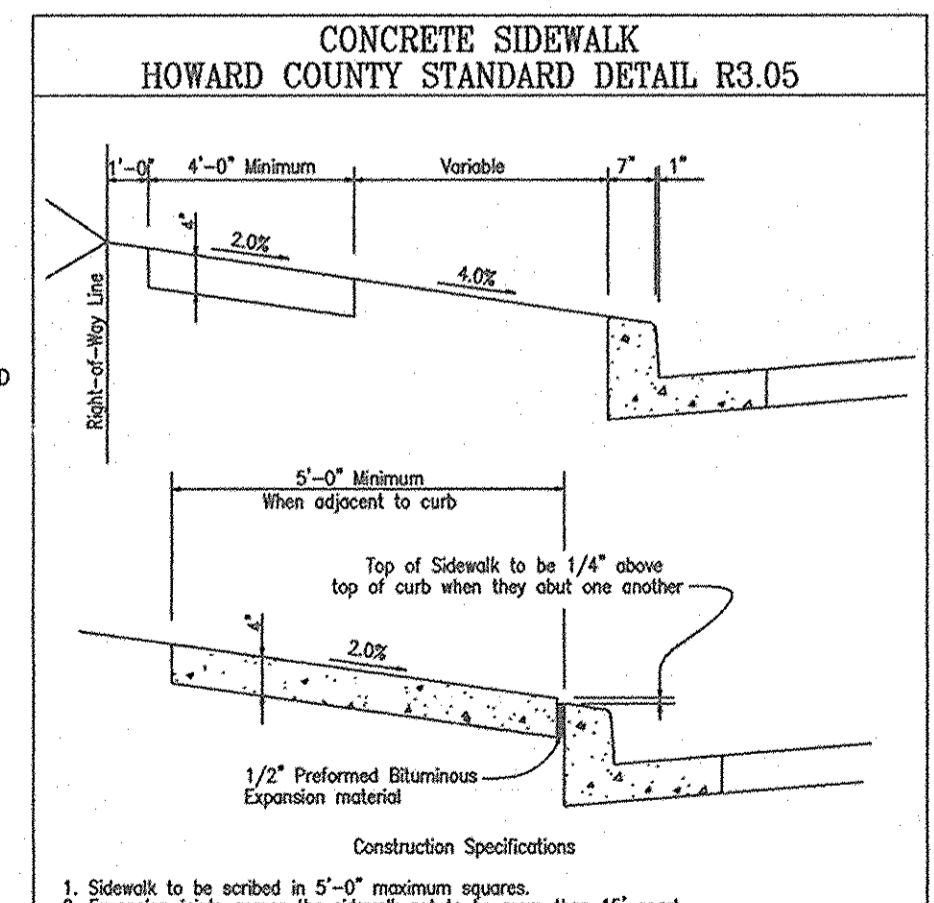
DIRECTOR
DATE 11/1/07



PAVEMENT SECTIONS

	LIGHT DUTY	HEAVY DUTY
SURFACE COURSE ASPHALT HMA Superpave - 9.5mm**	1.5"	1.5"
BASE COURSE ASPHALT HMA Superpave - 12.5mm** HMA Superpave - 19.00mm**	2.0"	3.0"
GRADED AGGREGATE BASE GAB	6.0"	6.0"
TOTAL PAVEMENT THICKNESS	9.5"	10.5"

*Compaction: Level 1 (50 gyrations)
**Binder Type: PG64-22



1. Sidewalk to be scribed in 5'-0" maximum squares.
2. Expansion joints across the sidewalk not to be more than 15' apart.
3. 1/2" Preformed Bituminous Expansion material in expansion joints to be kept 1/4" below surface of sidewalk.
4. Concrete to be mix number 2.
5. Where sidewalk abuts curb, sidewalk shall be 1/4" above curb with 1/2" Preformed Bituminous Expansion material between sidewalk and curb.
6. On longitudinal abutts, grades of 2% or greater, a concrete header, 6" thick and 6" deep below the normal 4" sidewalk thickness shall be constructed for the full width of the sidewalk at intervals of 48 feet. The headers shall be placed at expansion joint locations and shall be monolithic with the curb.
7. Sidewalk width adjacent to curb shall be 5'-0" minimum except sidewalk adjacent to curb 8. Sidewalk located 2' or more from curb may be 4'-0" in width with a 5'0" paved section placed 200' apart.

DEVELOPER
STEVENS FOREST ASSOCIATES, LLC
C/O METROVENTURES/USA, INC.
ONE NORTH CHARLES STREET
SUITE 1901
BALTIMORE, MARYLAND 21201
410-385-8922

OWNER
EXXOM CORPORATION
P.O. BOX 53
HOUSTON, TX 77001

NO.	REVISION	DATE
1	REVISE LOCATION OF TRANSFORMER PAD; REVISE STORM DRAIN TO ADD MANHOLE 1A.	1/24/08

SITE DEVELOPMENT PLAN
SITE LAYOUT
AND DETAILS PLAN
MERIDIAN SQUARE
(formerly known as METROCENTER)
VILLAGE OF OAKLAND MILLS - LOT 8
OFFICE/RETAIL/RESTAURANT

TAX MAP 36 BLOCKS 3 & 9
6TH ELECTION DISTRICT

PARCEL 300
HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET
ELLCOTT CITY, MD 21043
TEL: 410.461.7656
FAX: 410.461.8961

DESIGN BY: WJZ
DRAWN BY: WJZ
CHECKED BY: RHY
DATE: OCT. 17, 2007
SCALE: AS SHOWN
W.O. NO.: 06-33

3 SHEET OF 9

MERIDIAN SQUARE (FORMERLY KNOWN AS METRO CENTER) VILLAGE OF OAKLAND MILLS LOT 8 OFFICE/RETAIL/RESTAURANT SITE DEVELOPMENT PLAN

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS:
MISS UTILITY: 1-800-257-7777
VERIZON TELEPHONE COMPANY: 1-800-257-4281
HOWARD COUNTY BUREAU OF UTILITIES: 313-2366
FIRST CABLE LOCATION DIVISION: 313-2553
B.G. & E. CO. CONTRACTOR SERVICES: 850-4820
E.G. & E. CO. UNDERGROUND DAMAGE CONTROL: 787-4920
STATE HIGHWAY ADMINISTRATION: 531-5533
- SITE ANALYSIS:
AREA OF PARCEL 300 LOT 8: 1.71 AC.
PRESENT ZONING: NT
USE OF STRUCTURES:
OFFICE, RETAIL AND RESTAURANT
BUILDING COVERAGE (FOOTPRINT): 14813 SF (0.34 AC. OR 19.89% OF LOT 8 AREA)
BASEMENT AREA: 16965 SF STORAGE/MECHANICAL
1ST FLOOR: 8926 SF RETAIL, 3327 SF OFFICE, 2523 SF STORAGE
2ND FLOOR: 12572 SF OFFICE, 2700 SF STORAGE
3RD FLOOR: 12572 SF OFFICE, 2700 SF STORAGE
4TH FLOOR: 10351 SF OFFICE, 2545 SF STORAGE
TOTAL BUILDING FLOOR SPACE: 8926 RETAIL, 38822 SF OFFICE, 12142 SF STORAGE
TOTAL FLOOR SPACE: 59890 SF
PAVED PARKING LOT/AREA ON SITE: 0.73 AC. OR 42% OF LOT 8 AREA
AREA OF LANDSCAPE ISLAND: 0.012 AC. OR 0.72% OF LOT 8 AREA
LIMIT OF DISTURBED AREA: 2.12 AC.
CUT: 2800 CY FILL: 2800 CY
- PROJECT BACKGROUND:
LOCATION: COLUMBIA, MD.; TAX MAP 36, BLOCK 3 & 9, PARCEL 300, LOT 8.
ZONING: NT
SUBDIVISION: N/A
SECTION/AREA: N/A
SITE AREA: 1.71 AC (ON-SITE), 0.51 AC (OFF-SITE).
REF. REFERENCES: SDP-73-118C, SDP-70-11, FOP-50-A
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
- ANY DAMAGE TO PUBLIC RIGHT-OF-WAYS, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- EXISTING UTILITIES LOCATED FROM ROAD CONSTRUCTION PLANS, FIELD SURVEYS, PUBLIC WATER AND SEWER EXTENSION PLANS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTOR'S INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- ALL REINFORCED CONCRETE FOR STORM DRAIN STRUCTURES SHALL HAVE A MINIMUM OF 28 DAYS STRENGTH OF 3,500 P.S.I.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ESTIMATES OF EARTHWORK QUANTITIES ARE PROVIDED SOLELY FOR THE PURPOSE OF CALCULATING FEES.
- SOIL COMPACTION SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER. GEOTECHNICAL ENGINEER TO CONFIRM ACCEPTABILITY OF PROPOSED PAVING SECTION BASED ON SOIL TEST PRIOR TO CONSTRUCTION.
- THE EXISTING TOPOGRAPHY SHOWN HEREON IS BASED ON A FIELD TOPOGRAPHICAL SURVEY PERFORMED BY ROBERT H. VOGEL ENGINEERING, INC. DATED OCTOBER 2006.
- THE PROPERTY LINES SHOWN HEREON IS BASED ON A BOUNDARY SURVEY PERFORMED BY ROBERT H. VOGEL ENGINEERING, INC. DATED FEBRUARY 12, 2007.
- A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
- THE GEOTECHNICAL ENGINEER TO CONFORM PAVING SECTION PRIOR TO CONSTRUCTION. ALL PAVING TO BE MINIMUM HOWARD COUNTY STANDARD DETAIL P-2 UNLESS OTHERWISE NOTED. (SEE DETAIL SHEET 3)
- ALL CURB AND GUTTER TO BE HOWARD COUNTY STANDARD DETAIL 3.01 UNLESS OTHERWISE NOTED. (SEE DETAIL SHEET 3)
- CONTRACTOR RESPONSIBLE TO CONSTRUCT ALL HANDICAP RAMPS AND HANDICAP ACCESS IN ACCORDANCE WITH CURRENT ADA REQUIREMENTS.
- WHERE DRAINAGE FLOWS AWAY FROM CURB, CONTRACTOR TO REVERSE THE GUTTER PAN.
- ALL ELEVATIONS ARE TO FLOWLINE/BOTTOM OF CURB UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- PUBLIC WATER AVAILABLE THROUGH CONTACT 340-W&S.
- PUBLIC SEWER AVAILABLE THROUGH CONTACT 288-W&S.
- STORMWATER MANAGEMENT QUANTITY IS NOT REQUIRED FOR THIS PROJECT.
- STORMWATER MANAGEMENT QUALITY IS PROVIDED BY A PROPOSED UNDERGROUND SANDFILTER SYSTEMS. THE PROPOSED STORMWATER FACILITIES TO BE PRIVATELY OWNED AND MAINTAINED BY DEVELOPER. THIS PROJECT IS CONSIDERED REDEVELOPMENT.
- ALL EXTERIOR LIGHTING TO CONFORM TO SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS. (DETAIL ON SHEET 3)
- GEOTECHNICAL REPORT PREPARED BY ENGINEERING CONSULTING SERVICES, LLC., DATED NOVEMBER 16, 2006.
- ANY EXISTING STREET TREES DAMAGED OR DESTROYED DURING CONSTRUCTION WILL BE REPLACED BY THE CONTRACTOR.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.174 OF THE HOWARD COUNTY CODE AND THE NEW TOWNSHIP ALTERNATIVE COMPLIANCE PROVISIONS OF CHAPTER VI OF THE HOWARD COUNTY LANDSCAPE MANUAL.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$13,200.00 FOR THE REQUIRED 44 SHADE TREES.
- TRAFFIC STUDY PREPARED BY THE TRAFFIC GROUP DATED FEBRUARY 6, 2007.
- ALL STORMWATER PIPE BEDDING IS TO BE CLASS "C".
- BUILDING TO HAVE INSIDE WATER METER SETTING.
- THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- ALL ROOF LEADERS TO DRAIN INTO SITE STORM DRAINS.
- THE SUBJECT PROPERTY IS ZONED NT PER THE 02/02/2004 COMPREHENSIVE ZONING PLAN AND THE "COMP LITE" ZONING AMENDMENTS EFFECTIVE 07/08/06.
- THIS PROJECT IS EXEMPT FROM THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BECAUSE IT IS IN THE NT ZONING DISTRICT AND THIS PROPERTY HAS A SITE DEVELOPMENT PLAN APPROVED PRIOR TO DECEMBER 31, 1992 (SDP-70-11 & SDP-70-11) THIS SITE DEVELOPMENT PLAN.
- THE EXISTING FOUNDATION AND ALL STRUCTURES WITHIN PARCELS 300 SHALL BE LOT 8 REMOVED, IN ACCORDANCE WITH HOWARD COUNTY REGULATIONS, PRIOR TO CONSTRUCTION.
- THERE ARE NO 100-YEAR FLOODPLANS, WETLANDS, FCE AREAS, WETLAND BUFFERS, STREAMS, STREAM BUFFERS, SLOPES 15-24.9% OR SLOPES 25% OR GREATER LOCATED ON PARCEL 300, LOT 8.
- BUILDING TO HAVE AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM.
- LANDSCAPING NOT PERMITTED WITHIN 7'-1/2" OF EACH SIDE OF THE FIRE DEPARTMENT CONNECTION. PROVIDE A CLEAR UNOBSTRUCTED ACCESS PATH TO THE FIRE DEPARTMENT CONNECTION. NFP-1 13.1.4
- A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. IT SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 405' IN HEIGHT AND NO MORE THAN 6' LATERALLY FROM THE DOOR. THE BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM). NFP-1 10.12.1
- SIGNAGE SHALL BE PROVIDED ON THE BUILDING IDENTIFYING THE BUILDING ADDRESS, AND EACH SUITE SEPARATED BY LETTER.
- STREET LIGHT PLACEMENT AND THE TYPE OF FIXTURE AND POLE SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME III (1993) AND AS MODIFIED BY "GUIDELINES FOR STREET LIGHTS IN RESIDENTIAL DEVELOPMENTS (JUNE 1993) A MINIMUM SPACING OF 20' SHALL BE MAINTAINED BETWEEN ANY STREET LIGHT AND ANY TREE.
- ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTRY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE POST (1 1/4" GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
- NUMEROUS SIGNS WILL NEED TO BE RELOCATED ALONG STEVENS FOREST ROAD CONTACT HOWARD COUNTY TRAFFIC ENGINEERING (410-313-5752) FOR DETAILS.
- PROVIDE PEDESTRIAN SIGNS (W11-2 WITH ARROW MOUNTED TO POLE) AT EACH OF THE THREE CROSS WALKS ON STEVENS FOREST ROAD. TOTAL OF 12 SIGNS MOUNTED BACK. SIGNS MAYBE PLACED ON STREET LIGHT POLES WHERE POSSIBLE.
- THE PROJECT IS SUBJECT TO A DESIGN MANUAL WAIVER, APPROVED JUNE 22, 2007; TO VOLUME III, SECTION 2.5.B.9, INTERSECTION SIGHT DISTANCE. FOR THE PURPOSES IMPROVEMENTS LOCATED AT ROBERT OLIVER PLACE AND STEVENS FOREST ROAD. THE STOPPING SIGHT DISTANCE IS BEING PROVIDED AND THE INTERSECTION SIGHT DISTANCE BASED ON THE STOPPING SIGHT DISTANCE REQUIRED LENGTH IS ALSO BEING PROVIDED. THIS ALTERNATE CRITERIA IS PRESENTED IN THE INTERSECTION SIGHT DISTANCE SECTION OF THE ROADS AND BRIDGES DESIGN MANUAL. THESE CRITERIA HAVE BEEN ACHIEVED.

PARKING TABULATION

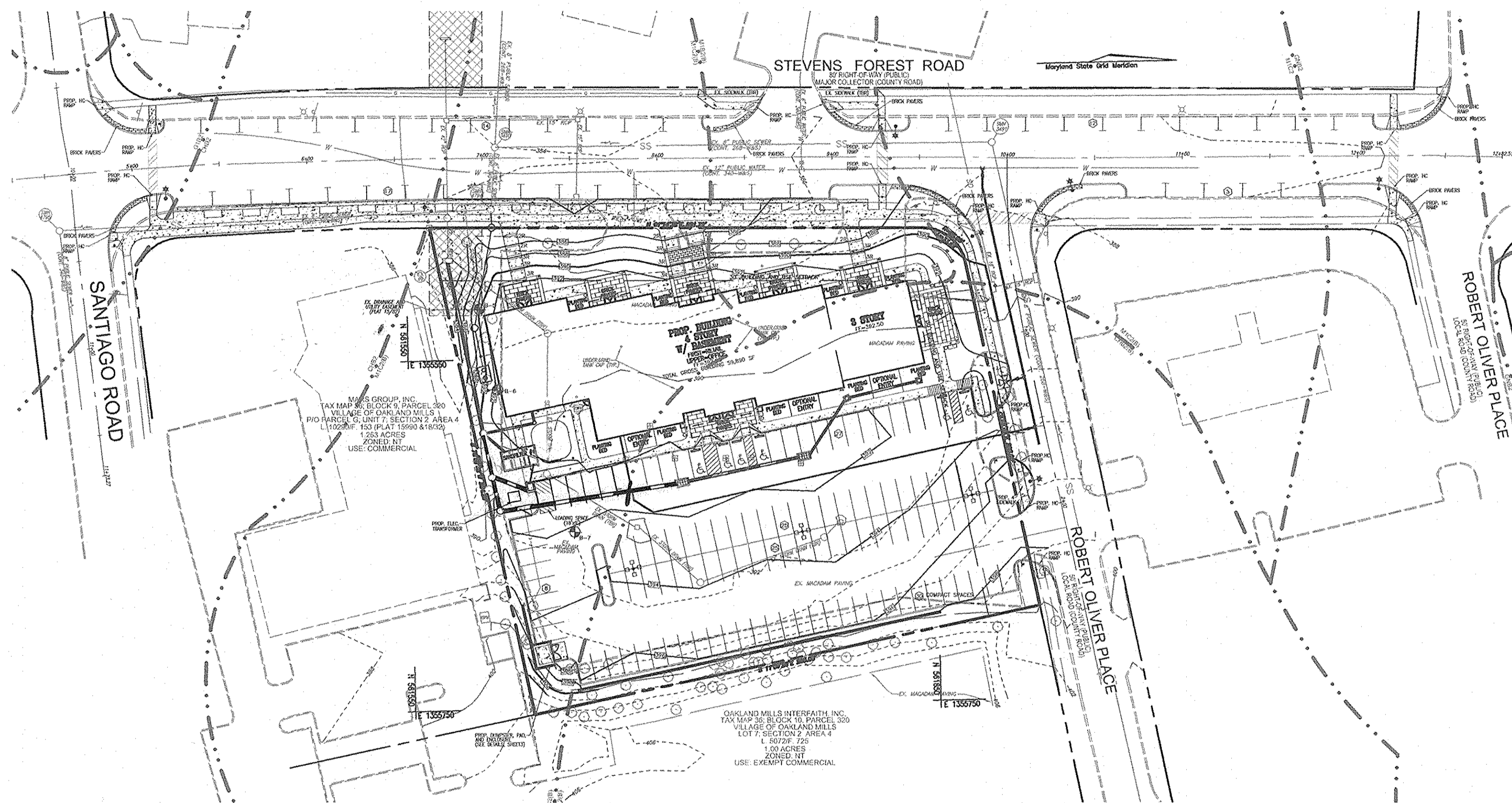
OFFICE: 38,822 SF @ 3 SPACES/1000 SF = 117 SPACES
SERVICE/RETAIL: 8,926 SF @ 5 SPACES/1000 SF = 45 SPACES
TOTAL SPACES REQUIRED: 162 SPACES (INCLUDE 6 HANDICAP SPACE)
TOTAL SPACES PROVIDED: 115 SPACES OFF-STREET
48 SPACES ON-STREET
163 TOTAL SPACES (INCLUDE 6 HANDICAP SPACE)

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

10/30/07
DATE
11/1/07
DATE
11/1/07
DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS

COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT

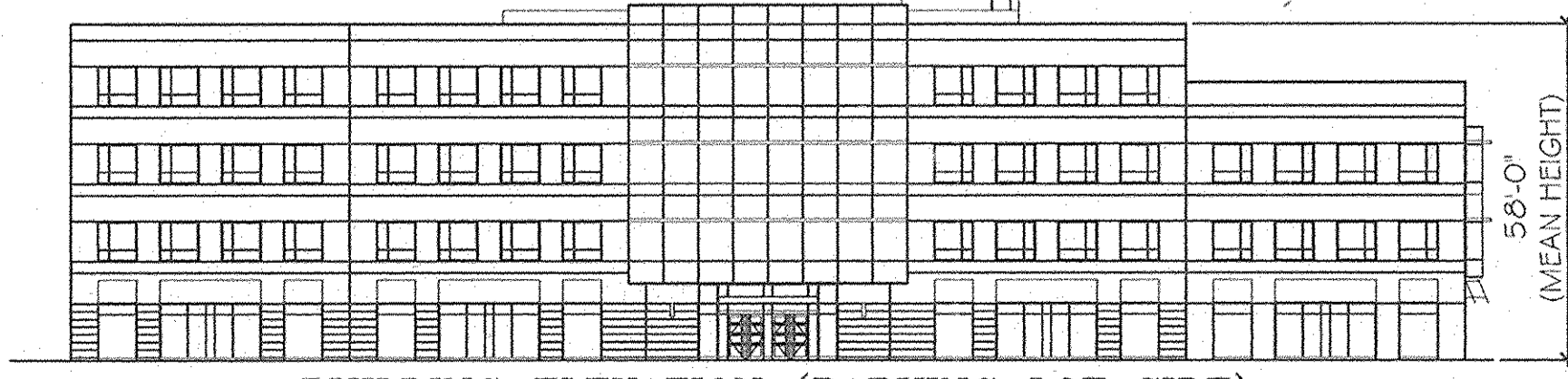


LOCATION MAP

SCALE: 1"=50'

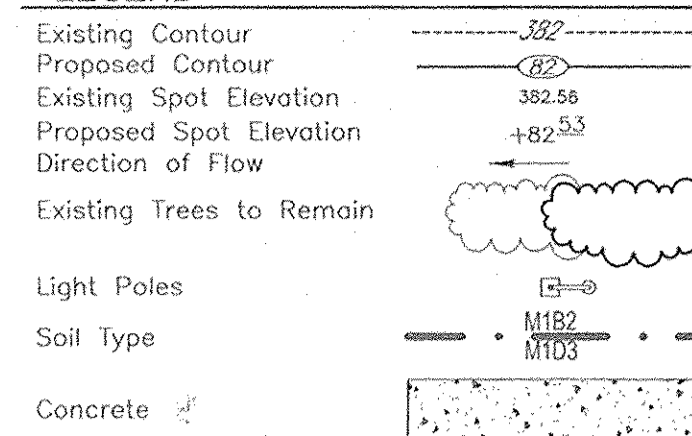


BUILDING ELEVATION (STREET SIDE)
NOT TO SCALE



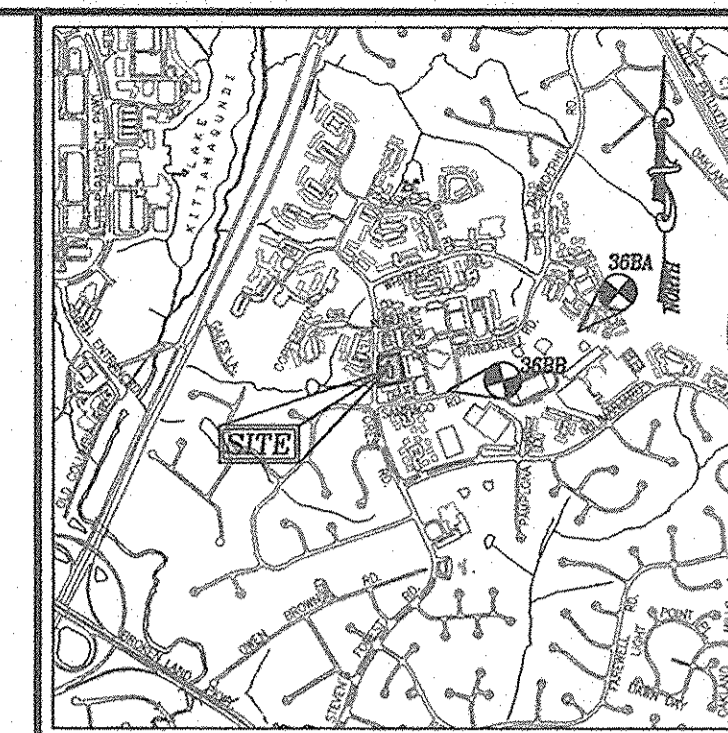
BUILDING ELEVATION (PARKING LOT SIDE)
NOT TO SCALE

LEGEND



BENCHMARKS

HOWARD COUNTY BENCHMARK 368A (CONCRETE MONUMENT)
N 562135.529 E 1357571.633 ELEV. 416.78
HOWARD COUNTY BENCHMARK 368B (CONCRETE MONUMENT)
N 561504.223 E 1356203.669 ELEV. 409.29



VICINITY MAP

1"=200'
ADC MAP COORDINATES: 15 J7

DESCRIPTION	SHEET INDEX	SHEET NO.
COVER SHEET		1 OF 9
EXISTING CONDITIONS, AND DEMOLITION PLAN		2 OF 9
SITE LAYOUT PLAN & SITE DETAILS		3 OF 9
SITE GRADING, SEDIMENT AND EROSION CONTROL PLAN, SITE DETAILS AND SOILS MAP		4 OF 9
SEDIMENT AND EROSION CONTROL NOTES AND DETAILS		5 OF 9
STORM DRAIN DRAINAGE AREA MAP, UTILITY PROFILES, PAVEMENT MARKING PLAN		6 OF 9
STORMWATER MANAGEMENT NOTES AND DETAILS AND SITE DETAILS		7 OF 9
SITE LANDSCAPE PLAN		8 OF 9
RETAINING WALL PLAN		9 OF 9

APPROVED
DATE: 8/9/07

ADDRESS CHART	
LOT/PARCEL#	STREET ADDRESS
8/300	5901 STEVEN FOREST RD

PERMIT INFORMATION CHART					
SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER			
N/A	N/A	300			
DEED REF.	BLOCK NO.	ZONE	TAX/ZONE	ELECT. DIST.	CENSUS TR.
4571/501	3&9	NT	36	6TH	6066.03
WATER CODE: E03			SEWER CODE: 553260		

NO.	REVISION	DATE
1	REVISE LOCATION OF TRANSFORMER PAD, REVISE STORM DRAIN	1-2-08

SITE DEVELOPMENT PLAN
COVER SHEET
MERIDIAN SQUARE
(formerly known as METRO CENTER)
VILLAGE OF OAKLAND MILLS - LOT 8
OFFICE/RETAIL/RESTAURANT
TAX MAP 36 BLOCKS 3 & 9 PARCEL 300
6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET TEL: 410.461.7666
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DESIGN BY: WGL
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