

N/F PARCEL E  
COLUMBIA  
TOWN CENTER  
SECTION 8 AREA 4  
PLAT NO. 4706  
ZONE: NT

PROPOSED TRANSFORMER ON CONCRETE PAD.  
SEE ARCHITECTURAL PLANS FOR DETAILS.

PROPOSED GENERATOR ON RAISED CONCRETE  
PAD. SEE ARCHITECTURAL PLANS FOR DETAILS.

N/F PARCEL C  
COLUMBIA  
TOWN CENTER  
SECTION 8 AREA 4  
PLAT NO. 5305  
ZONE: NT

EXISTING BITUMINOUS PAVEMENT  
PROPOSED 6 STORY  
PARKING GARAGE  
UPPER VEHICLE ENT=464.8  
LOWER VEHICLE ENT=454.8  
620 REGULAR SPACES  
18 HANDICAP SPACES  
638 TOTAL GARAGE SPACES  
\* SEE NOTE @ RIGHT

PROJECT AREA

PROPOSED FIRE DEPARTMENT CONNECTION

CONTRACTOR SHALL REMOVE EXISTING  
CONCRETE SIDEWALK AND INSTALL CONCRETE  
SIDEWALK RAMP PER HO.CD. STD DET.  
R 4.01 (TYPICAL EACH SIDE).

CONTRACTOR SHALL REMOVE EXISTING  
CONCRETE CURB & GUTTER AND CONNECT  
NEW CURB & GUTTER AND ENTRANCE TO  
EXISTING PAVEMENT-IN-LINE @ GRADE. SEE  
HO.CD. STD DET. R 6.07.

**CHARTER DRIVE**  
(60' PUBLIC R/W)

MATCHLINE - SEE SHEET 2 OF 13

MATCHLINE - SEE SHEET 2 OF 13

PROJECT AREA

INV (IN) = 456.88  
INV (IN) = 443.77  
INV (OUT) = 443.67

TOP = 461.27  
INV (IN) = 441.17  
INV (OUT) = 440.62

EXISTING 20" SEWER R/W PER CONTRACT  
371-S

30" WIRE  
SEWER LINES  
LIBER: 0690 @ FOLI: 557

**NOTE:**  
THE HOWARD COUNTY GENERAL HOSPITAL MAY CONSTRUCT THE PROPOSED PARKING GARAGE IN PHASES, I.E. A 4 OR 5 STORY GARAGE AS PHASE 1, AND ADD 1 OR 2 ADDITIONAL LEVELS AT A LATER DATE, DEPENDING UPON NEEDS AND FINANCIAL CAPABILITIES. IF A 4 LEVEL GARAGE IS CONSTRUCTED AS PHASE 1 THE TOTAL NUMBER OF PARKING SPACES AVAILABLE ON THE SUBJECT PROPERTY WILL BE 1293, IF A 5 LEVEL GARAGE IS CONSTRUCTED AS PHASE 1, THE TOTAL NUMBER OF PARKING SPACES AVAILABLE ON THE SUBJECT PROPERTY WILL BE 1310. LEVELS 4 AND 5 EACH CONSIST OF 97 REGULAR SPACES.

**NOTE:**  
STORMWATER MANAGEMENT (QUANTITY & QUALITY) IS PROVIDED BY AN ON-SITE STORM WATER MANAGEMENT POND DESIGN, APPROVED AND CONSTRUCTED PER SDP-95-114. THE FACILITY IS OWNED AND OPERATED BY THE HOWARD COUNTY GENERAL HOSPITAL. THE ORIGINAL APPROVED FACILITY WAS DESIGNED FOR A TOTAL IMPERVIOUS AREA OF 611,029 SQUARE FEET. THE CURRENT PLAN REFLECTS A TOTAL NET DECREASE OF IMPERVIOUS AREA OF 42,806 SQUARE FEET OR 0.98 ACRES.

EXISTING LANDSCAPING AND PARKING LOT LIGHTING ARE PER PRIOR SDP-95-114 & SDP-00-072

**SHEET INDEX**

1 OF 13	COVER SHEET FOR SITE DEVELOPMENT & GRADING FOR HOSPITAL TOWER AND CANOPY
2 OF 13	SITE DEVELOPMENT & GRADING FOR HOSPITAL TOWER, AND CANOPY
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4 OF 13	LANDSCAPE & LIGHTING PLAN FOR PARKING GARAGE
5 OF 13	SITE DEVELOPMENT, GRADING AND LANDSCAPE DETAILS
6 OF 13	STORM DRAIN PLAN FOR HOSPITAL TOWER, AND CANOPY
7 OF 13	STORM DRAIN PLAN & WATER CONNECTION FOR PARKING GARAGE
8 OF 13	STORM DRAIN PROFILES, SCHEDULES, AND WATER CONNECTION PROFILE
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10 OF 13	GRADING, SEDIMENT & EROSION CONTROL PLAN FOR HOSPITAL TOWER, AND CANOPY
11 OF 13	GRADING, SEDIMENT & EROSION CONTROL PLAN FOR PARKING GARAGE
12 OF 13	SEDIMENT & EROSION CONTROL NOTES & DETAILS FOR HOSPITAL TOWER, CANOPY & PARKING GARAGE
13 OF 13	SIGNAGE AND PAVEMENT MARKING PLAN (CEDAR LANE)

6/1/2009  
DATE  
STATE OF MARYLAND  
LANDSCAPE ARCHITECT  
FOR REVISION 1 ONLY

EXISTING 20" SEWER R/W PER CONTRACT  
C-371 W&S

CONTRACTOR CONSTRUCT NEW 4" CONCRETE  
SIDEWALK PER HO. CD. STD DET. R 3.05

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
4/12/07 DATE  
4/12/07 DATE  
4/12/07 DATE

6/1/09 ADDED PEAK ALONG SOUTH PROP. LINE

DATE	NO.	REVISION DESCRIPTION

**HOWARD COUNTY GENERAL HOSPITAL  
TOWN CENTER  
SECTION 8 - AREA 2 - LOT 4**

OWNER/DEVELOPER:  
HOWARD COUNTY GENERAL HOSPITAL, INC.  
5755 CEDAR LANE  
COLUMBIA, MARYLAND 21044

**JOYCE ENGINEERING CORPORATION**  
CIVIL ENGINEERING LAND SURVEYING LAND PLANNING CONSTRUCTION MANAGEMENT  
10706 RAYMOND AVENUE - BELTSVILLE, MARYLAND 20886  
TEL: (301) 595-4353 FAX: (301) 595-4650 WEB: www.joyceeng.com

ADDRESS CHART

LOT/PARCEL	STREET ADDRESS
4/276	5755 CEDAR LANE ~ COLUMBIA, MARYLAND 21044 - HOSPITAL
4/276	5757 CEDAR LANE ~ COLUMBIA, MARYLAND 21044 - PARKING GARAGE

PERMIT INFORMATION CHART

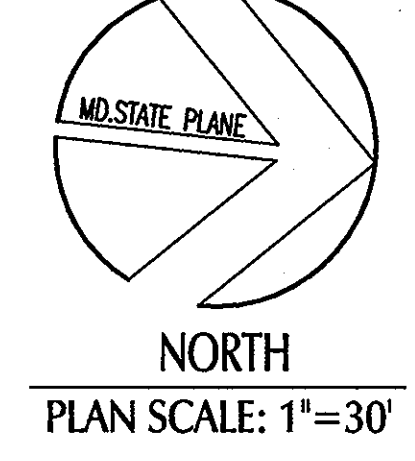
SUBDIVISION	SECTION/AREA	LOT/PARCEL
HIGH TOWN CENTER	8/2	4/276
PLAT OR L/F	BLOCK #	ZONE
18628	5	POR/NT
TAX/ZONE MAP	ELECT. DISTRICT	CENSUS TRACT
	35	5TH
WATER CODE	SEWER CODE	
106	5522500	

**SITE DEVELOPMENT AND GRADING FOR  
PARKING GARAGE ADDITION**

DES BY WAJ	SCALE 1" = 30'	PROJ. NO. 89015L
DRN BY HAL	DATE OCT, 2006	3 OF 13
CHK BY JEC	APPROVED WAJ	

**SITE LEGEND:**

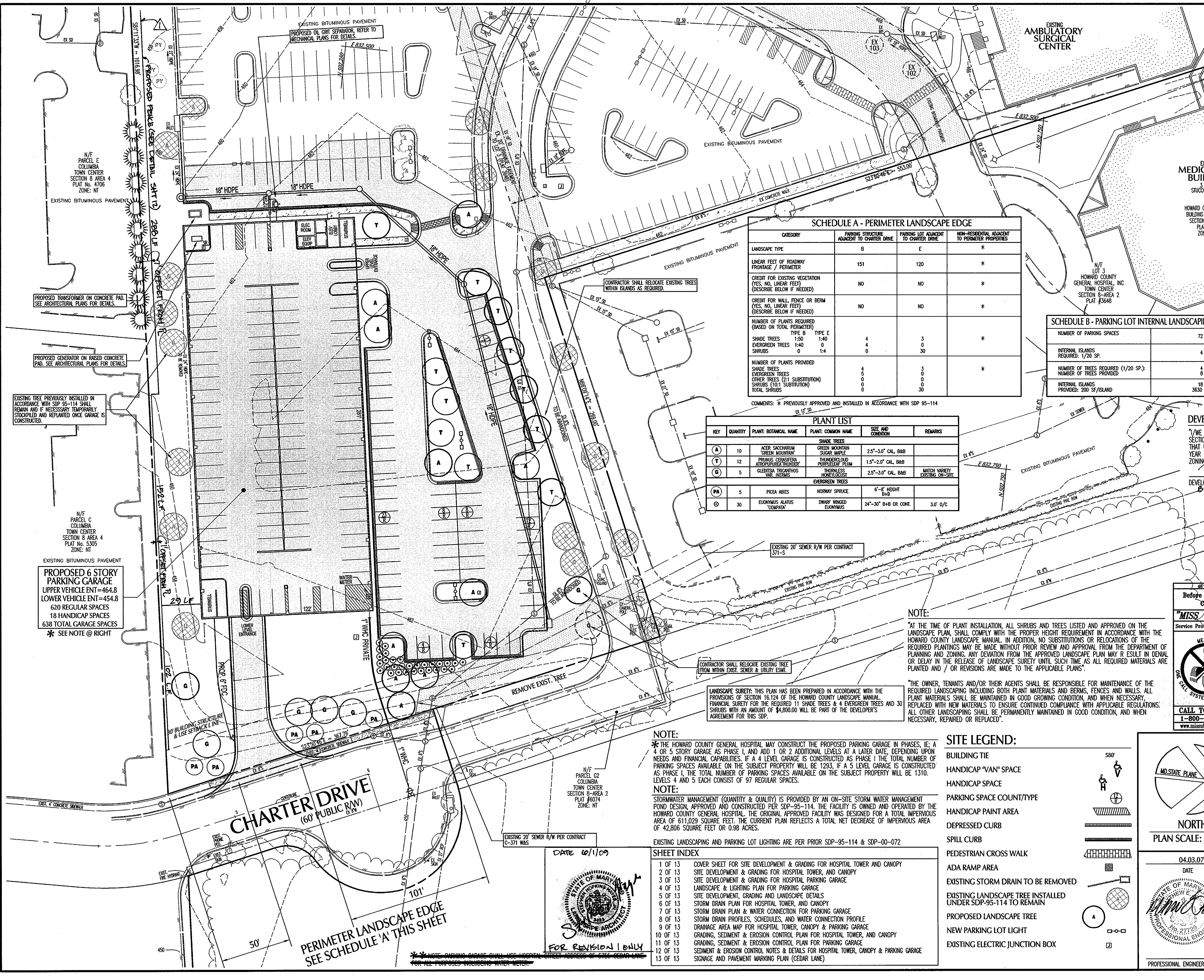
- BUILDING TIE
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- ADA RAMP AREA
- EXISTING STORM DRAIN TO BE REMOVED
- EXISTING LANDSCAPE TREE
- PROPOSED LANDSCAPE TREE
- RELOCATED TREE
- NEW PARKING LOT LIGHT
- EXISTING ELECTRIC JUNCTION BOX



04.03.07  
DATE  
STATE OF MARYLAND  
PROFESSIONAL ENGINEER  
NO. 22729

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NOTE: EXISTING UTILITY INFORMATION SHOWN HEREON IS BASED UPON INFORMATION WHICH WAS AVAILABLE AT THE TIME OF THE BASE PLAN PREPARATION. DUE TO CONVENTIONAL INFORMATION DISCLOSURE RESTRICTIONS, JOYCE ENGINEERING CORP. SHALL NOT BE LIABLE OR RESPONSIBLE FOR THE COMPLETENESS OR ACCURACY OF THE INFORMATION SHOWN. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITY MARKS, LINES AND/OR SERVICES THAT MAY OR COULD BE AFFECTED BY THE ANTICIPATED CONSTRUCTION SHOWN HEREON. THE CONTRACTOR SHALL CONTACT MISS UTILITY PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY TO DETERMINE THE LOCATION OF ANY RECORD UTILITY MARKS, LINES, AND/OR SERVICES AND PERFORM TEST PIT EXCAVATIONS BY HAND AS REQUIRED.



**SCHEDULE A - PERIMETER LANDSCAPE EDGE**

CATEGORY	PARKING STRUCTURE ADJACENT TO CHARTER DRIVE	PARKING LOT ADJACENT TO CHARTER DRIVE	NON-RESIDENTIAL ADJACENT TO PERIMETER PROPERTIES
LANDSCAPE TYPE	B	E	*
LINEAR FEET OF ROADWAY FRONTAGE / PERIMETER	151	120	*
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	*
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	*
NUMBER OF PLANTS REQUIRED (BASED ON TOTAL PERIMETER)			
SHADE TREES	4	3	*
EVERGREEN TREES	4	0	*
SHRUBS	0	30	*
NUMBER OF PLANTS PROVIDED			
SHADE TREES	4	3	*
EVERGREEN TREES	0	0	*
OTHER TREES (>1 SUBSTITUTION)	0	0	*
SHRUBS (10:1 SUBSTITUTION)	0	0	*
TOTAL SHRUBS	0	30	*

COMMENTS: \* PREVIOUSLY APPROVED AND INSTALLED IN ACCORDANCE WITH SDP 95-114

**SCHEDULE B - PARKING LOT INTERNAL LANDSCAPING (NEW LOT)**

NUMBER OF PARKING SPACES	72
INTERNAL ISLANDS REQUIRED: 1/20 SP.	4
NUMBER OF TREES REQUIRED (1/20 SP.):	4
NUMBER OF TREES PROVIDED	8
INTERNAL ISLANDS PROVIDED: 200 SF/ISLAND	18
	3630 SF

**PLANT LIST**

KEY	QUANTITY	PLANT: BOTANICAL NAME	PLANT: COMMON NAME	SIZE AND CONDITION	REMARKS
SHADE TREES					
(A)	10	ACER SACCHARUM	GREEN MOUNTAIN SUGAR MAPLE	2.5'-3.0' CAL. B&B	
(T)	12	PRUNUS CERASIFERA	THORNLESS BLACK CHERRY	1.5'-2.0' CAL. B&B	
(G)	5	GLEDTISIA TRICANTHOS	THORNLESS HONEYSUCKLE	2.5'-3.0' CAL. B&B	MATCH VARIETY EXISTING ON-SITE
EVERGREEN TREES					
(PA)	5	PICEA ABIES	NORWAY SPRUCE	6'-8' HEIGHT B&B	
(C)	30	EUONYMUS ALATUS	DWARF WINGED EUONYMUS	24"-30" B&B OR CONT.	3.0' O/C

**DEVELOPER'S/OWNER'S LANDSCAPE CERTIFICATE:**

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

*Beth Panner* 4-3-07 DATE  
DEVELOPER'S/OWNER'S NAME

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

*[Signature]* 4/12/07 DATE  
CHIEF, DEVELOPMENT ENGINEERING DIVISION

*[Signature]* 4/17/07 DATE  
CHIEF, DIVISION OF LAND DEVELOPMENT

*[Signature]* 4/17/07 DATE  
DIRECTOR

01/09 ADDED FENCE ALONG SOUTH PROP. LINE

DATE	NO.	REVISION DESCRIPTION

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TOWN CENTER  
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10766 BARTIMORE AVENUE - BELTSVILLE, MARYLAND 20705  
TEL: (301) 595-4553 FAX: (301) 595-4650 WEB: www.joyceeng.com  
Printing: Jan 03, 2007 - 2:47pm

ADDRESS CHART

LOT/PARCEL	STREET ADDRESS
4/276	5755 CEDAR LANE ~ COLUMBIA, MARYLAND 21044 - HOSPITAL
4/276	5757 CEDAR LANE ~ COLUMBIA, MARYLAND 21044 - PARKING GARAGE

PERMIT INFORMATION CHART

SUBDIVISION	SECTION/AREA	LOT/PARCEL #
HIGH TOWN CENTER	8/2	4/276

DATE: 04.03.07

PROFESSIONAL ENGINEER NO. 22729

DES BY WAJ SCALE 1" = 30' PROJ. NO. 89015L  
DRN BY HAL DATE OCT, 2006 4 OF 13  
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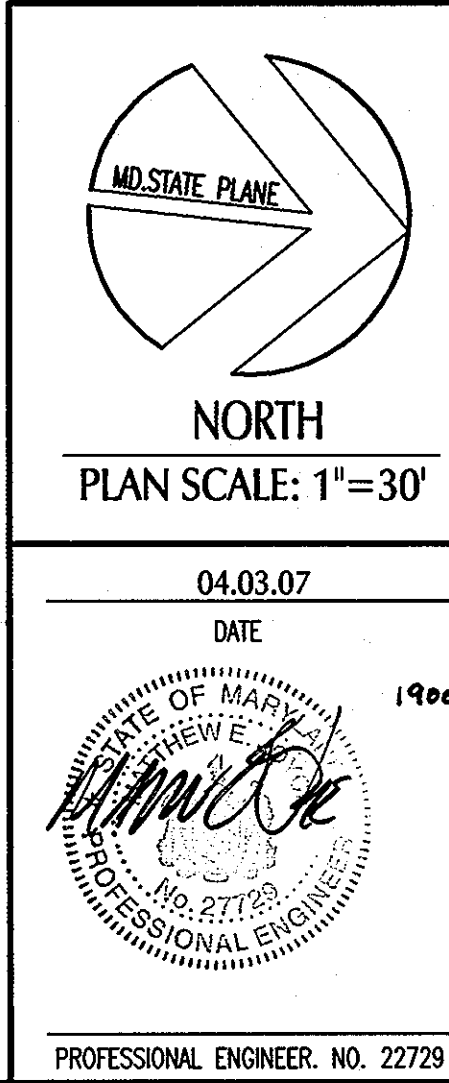
**NOTE:**

\* AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN, SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND / OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.

\* THE OWNER, TENANTS AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.

**SITE LEGEND:**

- BUILDING TIE
- HANDICAP "VAN" SPACE
- HANDICAP SPACE
- PARKING SPACE COUNT/TYPE
- HANDICAP PAINT AREA
- DEPRESSED CURB
- SPILL CURB
- PEDESTRIAN CROSS WALK
- ADA RAMP AREA
- EXISTING STORM DRAIN TO BE REMOVED
- EXISTING LANDSCAPE TREE INSTALLED UNDER SDP-95-114 TO REMAIN
- PROPOSED LANDSCAPE TREE
- NEW PARKING LOT LIGHT
- EXISTING ELECTRIC JUNCTION BOX



**NOTE:**

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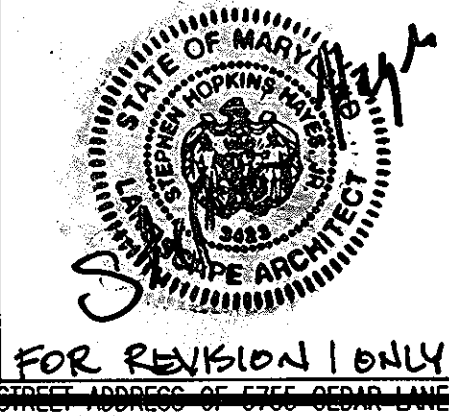
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EXISTING LANDSCAPING AND PARKING LOT LIGHTING ARE PER PRIOR SDP-95-114 & SDP-00-072

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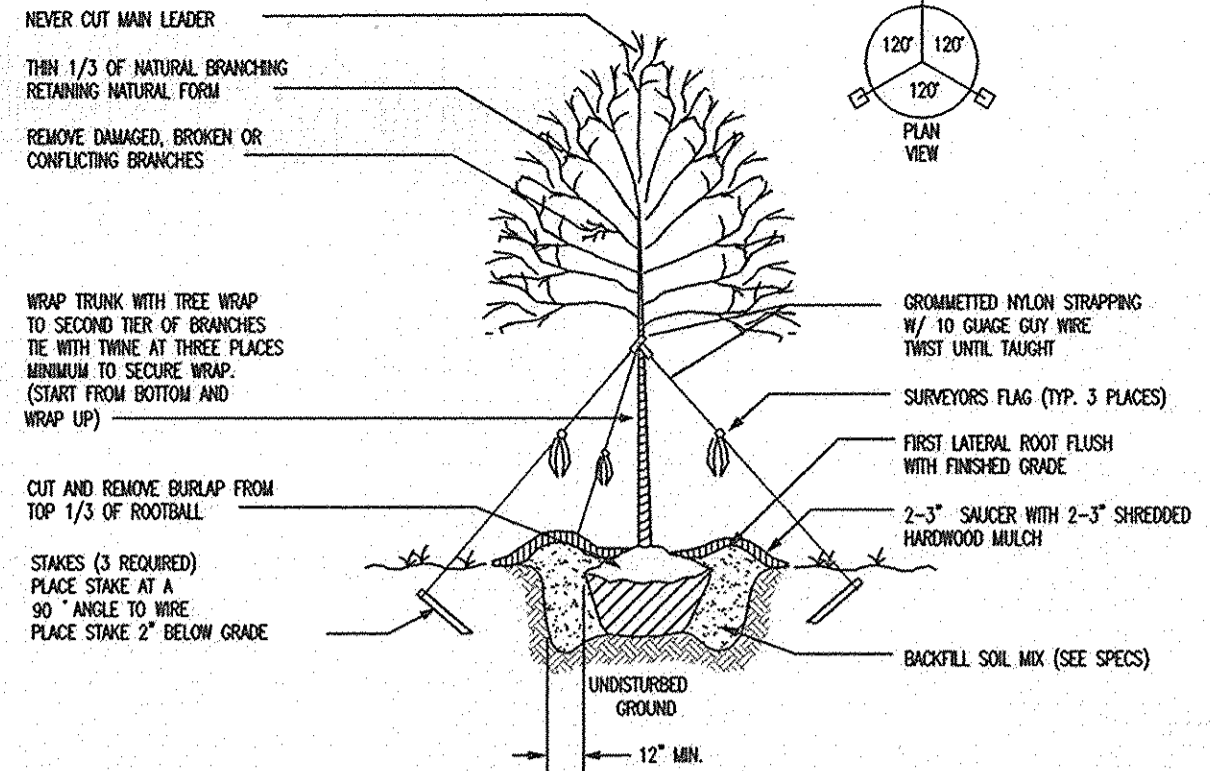
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PERIMETER LANDSCAPE EDGE  
SEE SCHEDULE 'A' THIS SHEET

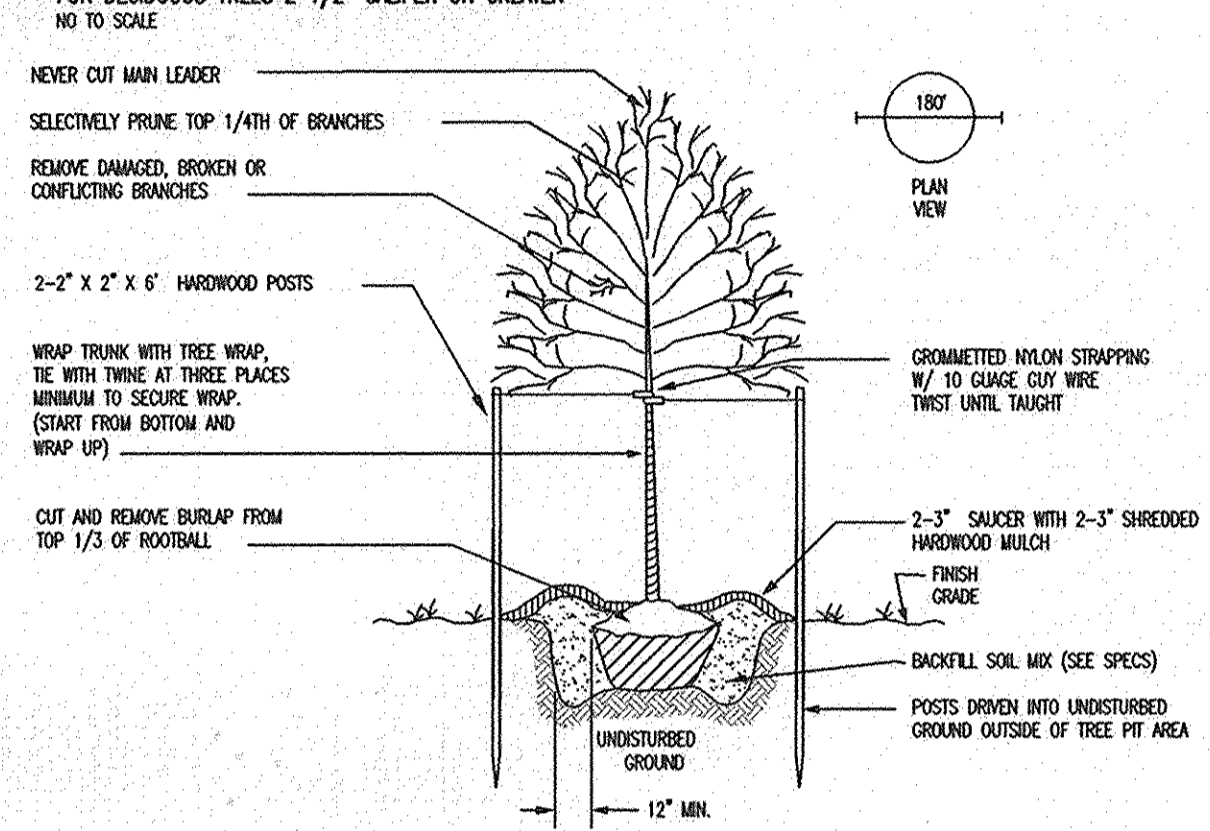
\* NOTE: PARKING GARAGE SHALL USE HOSPITAL STREET ADDRESS OF 5755 CEDAR LANE FOR ALL PURPOSES INCLUDING WATER METERS

**LANDSCAPE NOTES**

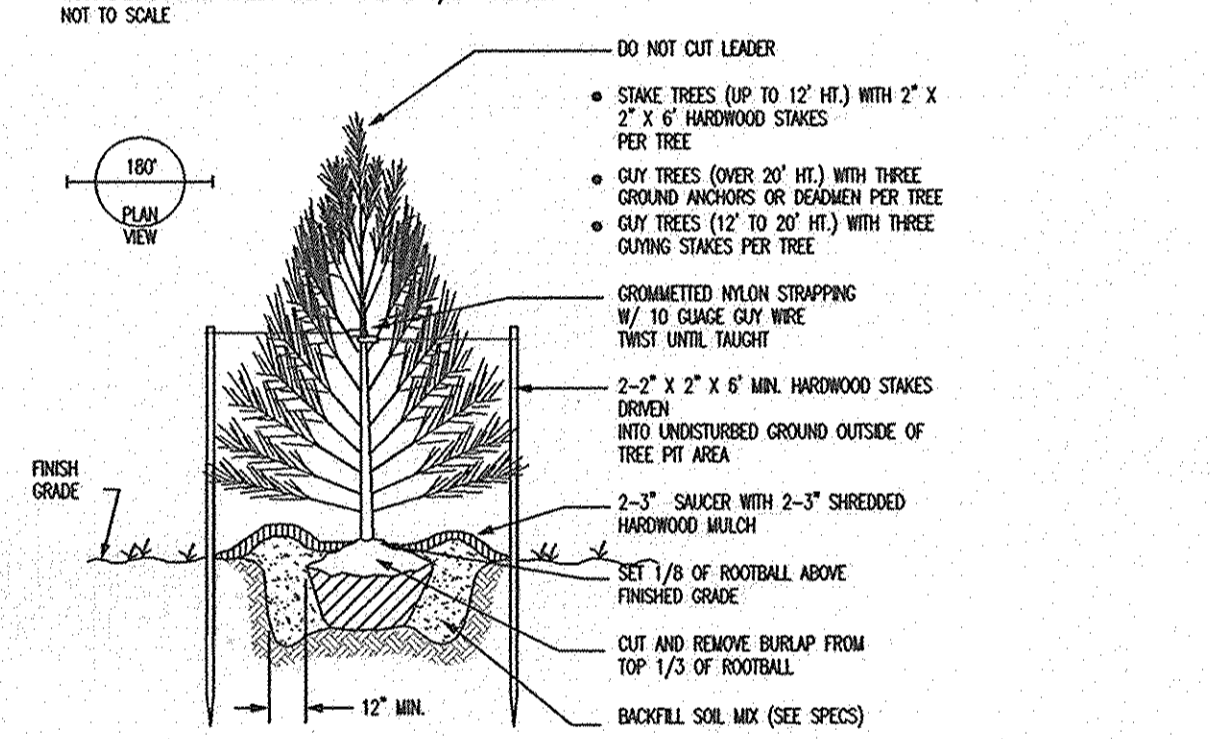
1. THE CONTRACTOR SHALL REVIEW ARCHITECTURAL/ENGINEERING PLANS TO BECOME THOROUGHLY FAMILIAR WITH GRADING AND SURFACE UTILITIES.
2. ALL EQUIPMENT AND TOOLS SHALL BE PLACED SO AS NOT TO INTERFERE OR HINDER THE PEDESTRIAN AND VEHICULAR TRAFFIC FLOW.
3. THE CONTRACTOR SHALL COORDINATE WITH LIGHTING AND IRRIGATION CONTRACTORS REGARDING TIMING OF INSTALLATION OF PLANT MATERIAL.
4. THE CONTRACTOR SHALL INSURE THAT HIS WORK DOES NOT INTERRUPT ESTABLISHED OR PROJECTED DRAINAGE PATTERNS.
5. DURING PLANTING OPERATIONS, EXCESS WASTE MATERIALS SHALL BE PROMPTLY AND FREQUENTLY REMOVED FROM THE SITE.
6. CALL MISS UTILITY A MINIMUM OF THREE DAYS PRIOR TO ANY EXCAVATION. THE CONTRACTOR IS ADVISED OF THE EXISTENCE OF UNDERGROUND UTILITIES ON THE SITE. THEIR EXACT LOCATION SHALL BE VERIFIED IN THE FIELD WITH THE OWNER OR GENERAL CONTRACTOR PRIOR TO THE COMMENCEMENT OF ANY DIGGING OPERATIONS. IN THE EVENT THEY ARE UNCOVERED, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DAMAGE TO UTILITIES AND SUCH DAMAGE SHALL NOT RESULT IN ANY ADDITIONAL EXPENSES TO THE OWNER, ANY DAMAGE OF UNREPORTED LINES SHALL NOT BE THE RESPONSIBILITY OF THE CONTRACTOR.
7. IF UTILITY LINES ARE ENCOUNTERED IN EXCAVATION OF TREE PITS, OTHER LOCATIONS FOR TREES SHALL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COMPENSATION. NO CHANGES OF LOCATION SHALL BE MADE WITHOUT APPROVAL BY THE LANDSCAPE ARCHITECT.
8. MAINTAIN POSITIVE DRAINAGE OUT OF PLANTING BEDS AT A MINIMUM 2% SLOPE. ALL GRADES, DIMENSIONS, AND EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR ON SITE BEFORE CONSTRUCTION BEGINS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT OR OWNER.
9. EVERY POSSIBLE SAFEGUARD SHALL BE TAKEN TO PROTECT BUILDING SURFACES, EQUIPMENT, AND FURNISHINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSON OR PROPERTY WHICH MAY OCCUR AS A RESULT OF HIS NEGLIGENCE IN THE EXECUTION OF THE WORK.
10. IN THE EVENT OF VARIATION BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND THE PLANS, THE PLANS SHALL CONTROL. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES PRIOR TO THE COMMENCEMENT OF WORK. SEED QUANTITY TAKE-OFFS ARE THE RESPONSIBILITY OF THE CONTRACTOR. ALL DISCREPANCIES SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO BIDDING. THE CONTRACTOR SHALL FURNISH PLANT MATERIAL IN SIZES AS SPECIFIED IN PLANT LIST.
11. PLANTS SHALL BE LOCATED AS SHOWN ON THE DRAWINGS OR AS DESIGNATED IN THE FIELD. THE CONTRACTOR SHALL STAKE ALL MATERIAL LOCATED ON THE SITE FOR REVIEW AND/OR ADJUSTMENT BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING. ALL LOCATIONS ARE TO BE APPROVED BY THE LANDSCAPE ARCHITECT BEFORE EXCAVATION.
12. PLANTS SHALL CONFORM TO CURRENT "AMERICAN STANDARDS FOR NURSERY STOCK" BY AMERICAN ASSOCIATION OF NURSERYMEN (AAN), PARTICULARLY WITH REGARD TO SIZE, GROWTH, SIZE OF BALL, AND DENSITY OF BRANCH STRUCTURE. PLANT MATERIAL SHALL BE TAGGED AT THE SOURCE BY THE LANDSCAPE ARCHITECT UNLESS THIS REQUIREMENT IS SPECIFICALLY WAIVED.
13. ALL PLANTS (B&B OR CONTAINER) SHALL BE PROPERLY IDENTIFIED BY WEATHERPROOF LABELS SECURELY ATTACHED THERETO BEFORE DELIVERY TO PROJECT SITE. LABELS SHALL IDENTIFY PLANTS BY NAME, SPECIES, AND SIZE. LABELS SHALL NOT BE REMOVED UNTIL THE FINAL INSPECTION BY THE LANDSCAPE ARCHITECT OR AGENT IN CHARGE.
14. ANY MATERIAL AND/OR WORK MAY BE REJECTED BY THE LANDSCAPE ARCHITECT IF IT DOES NOT MEET THE REQUIREMENTS OF THE SPECIFICATIONS. ALL REJECTED MATERIALS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.
15. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN CONSENT OF THE OWNER OR LANDSCAPE ARCHITECT.
16. THE LANDSCAPE ARCHITECT OR OWNER SHALL HAVE THE RIGHT, AT ANY STAGE OF THE OPERATIONS, TO REJECT ANY AND ALL WORK AND MATERIAL WHICH, IN HIS OPINION, DOES NOT MEET THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS.
17. THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR STABILITY AND CONDITIONS OF ALL TREES AND SHRUBS AND SHALL BE LEGALLY LIABLE FOR ANY DAMAGE CAUSED BY INSTABILITY OF ANY PLANT MATERIALS. STAKING OF ALL TREES SHALL BE DONE UTILIZING A METHOD AGREED UPON BY THE LANDSCAPE ARCHITECT, AS INDICATED ON THE DOCUMENTS.
18. ALL PROPOSED TREES TO BE INSTALLED EITHER ENTIRELY ON OR ENTIRELY OUT OF PLANTING BEDS. PLANTING BED LINES ARE NOT TO BE OBSTRUCTED. ALL SHRUBS AND GROUND COVER AREAS SHALL BE PLANTED IN CONTINUOUS PREPARED BED AND TOP DRESSED WITH 3-INCH SHREDED HARDWOOD MULCH. MULCH SHALL HAVE BEEN SHREDED WITHIN THE LAST SIX MONTHS.
19. SPADE EDGE ALL PLANTING BEDS.
20. MAINTENANCE SHALL BEGIN AFTER EACH PLANT HAS BEEN INSTALLED AND SHALL CONTINUE UNTIL 90 DAYS AFTER FINAL ACCEPTANCE BY THE ARCHITECT OR OWNER REPRESENTATIVE. MAINTENANCE INCLUDING WATERING, PRUNING, WEEDING, FERTILIZING, MULCHING, REPLACEMENT OF SICK OR DEAD PLANTS, AND ANY OTHER CARE NECESSARY FOR THE PROPER GROWTH OF THE PLANT MATERIAL. THE CONTRACTOR MUST BE ABLE TO PROVIDE CONTINUED MAINTENANCE IF REQUESTED BY THE OWNER.
21. UPON COMPLETION OF ALL LANDSCAPING, AN ACCEPTANCE OF WORK SHALL BE HELD. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OR OWNER FOR SCHEDULING THE INSPECTION AT LEAST SEVEN (7) DAYS PRIOR TO THE ANTICIPATED INSPECTION DATE.
22. ALL TREES SHALL BE GUARANTEED FOR 12 MONTHS FROM THE DATE OF ACCEPTANCE. ALL SHRUBS AND GROUND COVERS SHALL BE GUARANTEED FOR 12 MONTHS FROM THE DATE OF ACCEPTANCE. REPLACEMENT PLANTS USED SHALL BE GUARANTEED FOR AN ADDITIONAL 90 DAYS.
23. THE CONTRACTOR IS RESPONSIBLE FOR TESTING PROJECT SOILS. THE CONTRACTOR IS TO PROVIDE A CERTIFIED SOILS REPORT TO THE OWNER. THE CONTRACTOR SHALL VERIFY THAT THE SOILS ON SITE ARE ACCEPTABLE FOR THE PROPER GROWTH OF THE PROPOSED PLANT MATERIAL. SHOULD THE CONTRACTOR FIND POOR SOIL CONDITIONS, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE SOIL AMENDMENTS AS NECESSARY. THESE AMENDMENTS SHALL INCLUDE, BUT NOT BE LIMITED TO, FERTILIZERS, LIME, AND TOPSOIL. PROPER PLANTING SOILS MUST BE VERIFIED PRIOR TO PLANTING OF MATERIALS.
24. THE CONTRACTOR SHALL DISPOSE OF STUMPS AND MAJOR ROOTS OF ALL PLANTS TO BE REMOVED. ANY DEPRESSIONS CAUSED BY REMOVAL OPERATIONS SHALL BE FILLED WITH FERTILE, FRAGILE SOIL PLACED AND COMPACTED SO AS TO REESTABLISH PROPER GRADE FOR NEW PLANTING AND/OR LAWN AREAS.
25. THE CONTRACTOR SHALL INSURE ADEQUATE VERTICAL DRAINAGE IN ALL PLANT BEDS.
26. ALL DISTURBED AREAS OF THE SITE NOT PLANTED WITH SHRUBS OR GROUND COVER SHALL BE FINE GRADED AND SEEDED.
27. ALL LAWN AREAS TO BE SEED WHERE DISTURBANCE HAS OCCURRED WITHIN THE LIMIT OF CONSTRUCTION. LOOSEN UPPER 30" OF SOIL BEFORE SEEDING. IF NOT PREVIOUSLY LOOSENED, AMEND SOIL PER SOIL TEST RECOMMENDATIONS. DURING THE PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU OCTOBER 15, SEED WITH 60 LBS. PER ACRE (1.4 LBS. PER 1000 SQ. FT.) OF REBEL 11 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31 SEED WITH 60 LBS. REBEL 11 TALL FESCUE PER ACRE AND 2 LBS. PER ACRE (0.5 LBS. PER 1000 SQ. FT.) OF WEEPING LONGGRASS. DURING THE PERIOD OF OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY SPREADING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING.
28. SEED MULCH: APPLY 1.5 TO 2 TONS/ACRE (70-90 LBS./1000 SQ. FT.) OF UNROTTED SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATIONS USING MULCH ANCHORING TOOL OR 218 GAL. PER ACRE (5 GAL./1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES > 8%, USE 348 GAL. PER ACRE (8 GAL./1000 SQ. FT.) FOR ANCHORING.
29. INSPECT ALL SEEDED AREAS AND MAKE NEEDED REPAIRS AND RESEED UNTIL LAWN IS ESTABLISHED.
30. BULBS: IN ACCORDANCE WITH SECTION 11 OF THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS



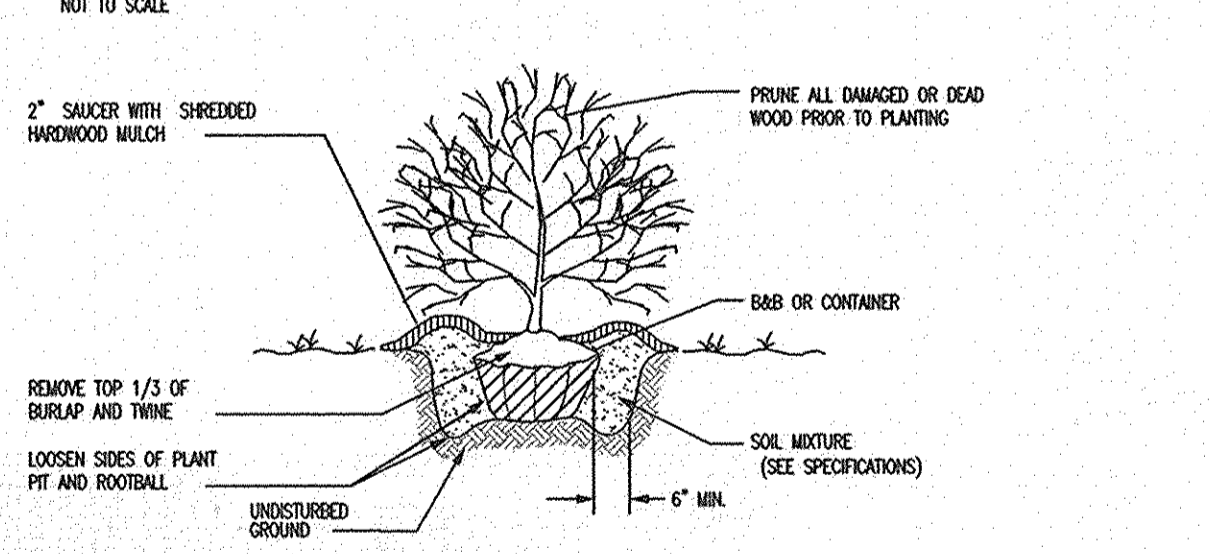
**BALL & BAG TREE PLANTING DETAIL**  
FOR DECIDUOUS TREES 2 1/2" CALIPER OR GREATER  
NOT TO SCALE



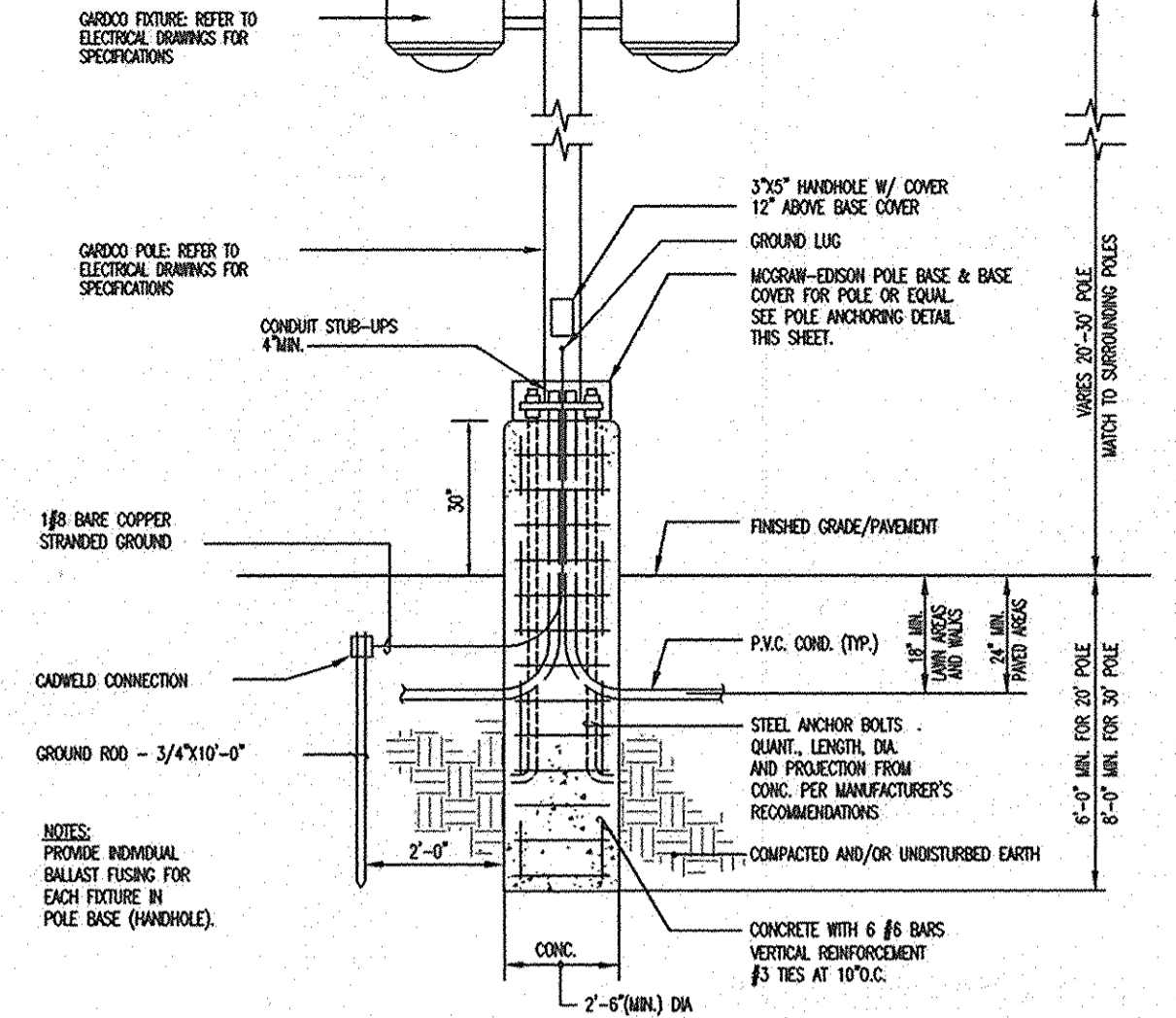
**BALL & BAG TREE PLANTING DETAIL**  
FOR DECIDUOUS TREES LESS THAN 2 1/2" CALIPER  
NOT TO SCALE



**EVERGREEN TREE PLANTING DETAIL**  
NOT TO SCALE



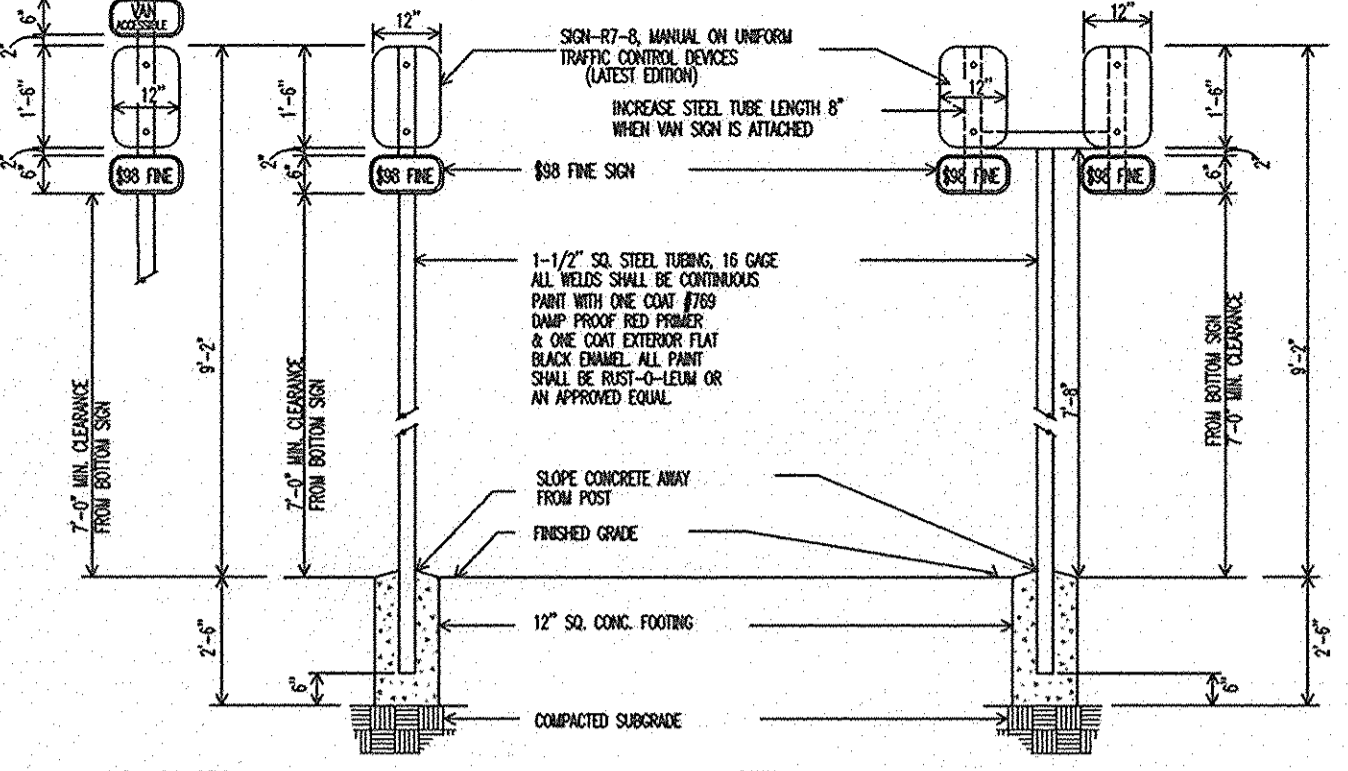
**SHRUB PLANTING DETAIL**  
DECIDUOUS OR EVERGREEN  
NOT TO SCALE



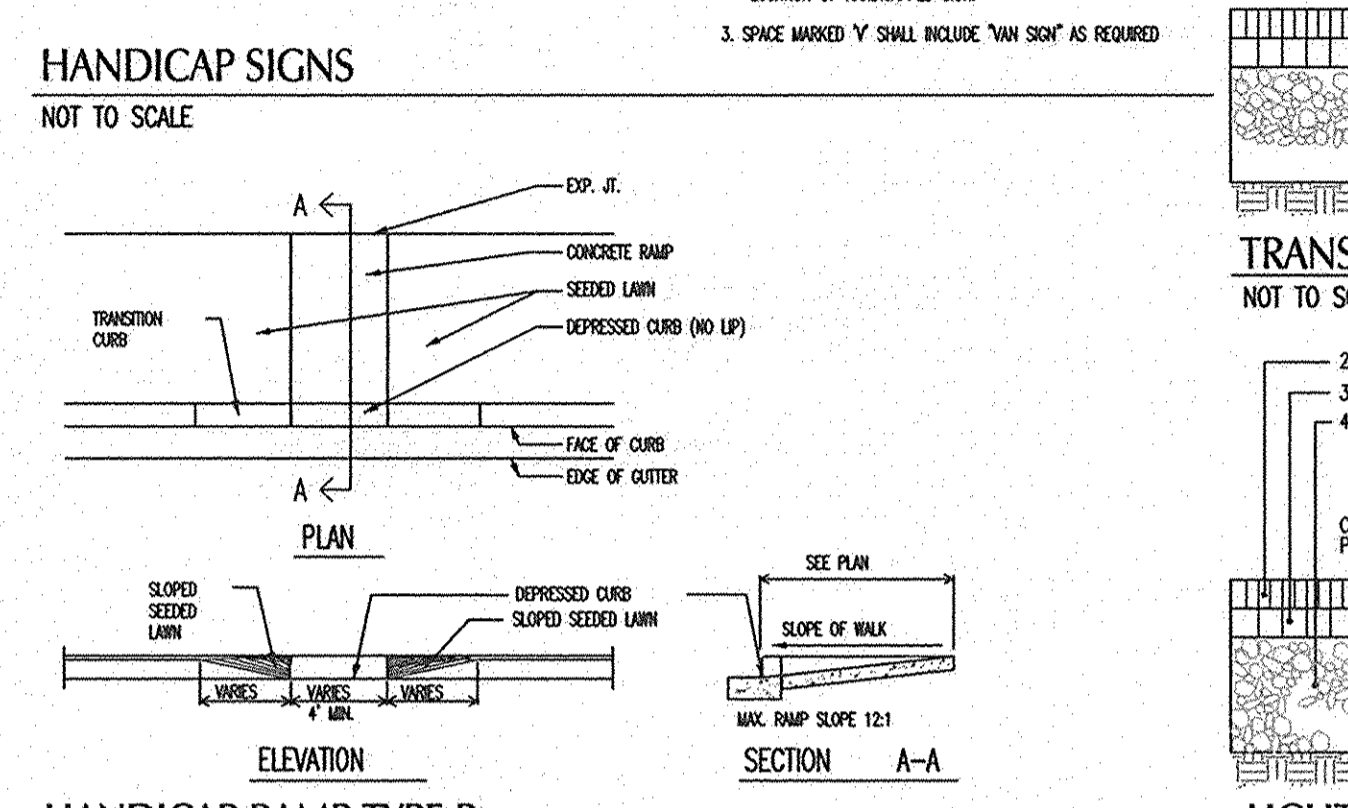
**SITE LIGHTING POLE BASE AND LAMP FIXTURES**  
NOT TO SCALE  
CAUTION: SOIL CONSISTENCY MUST BE VERIFIED WITH STRUCTURAL/GEOTECHNICAL ENGINEERS.

**LIGHTING NOTES**

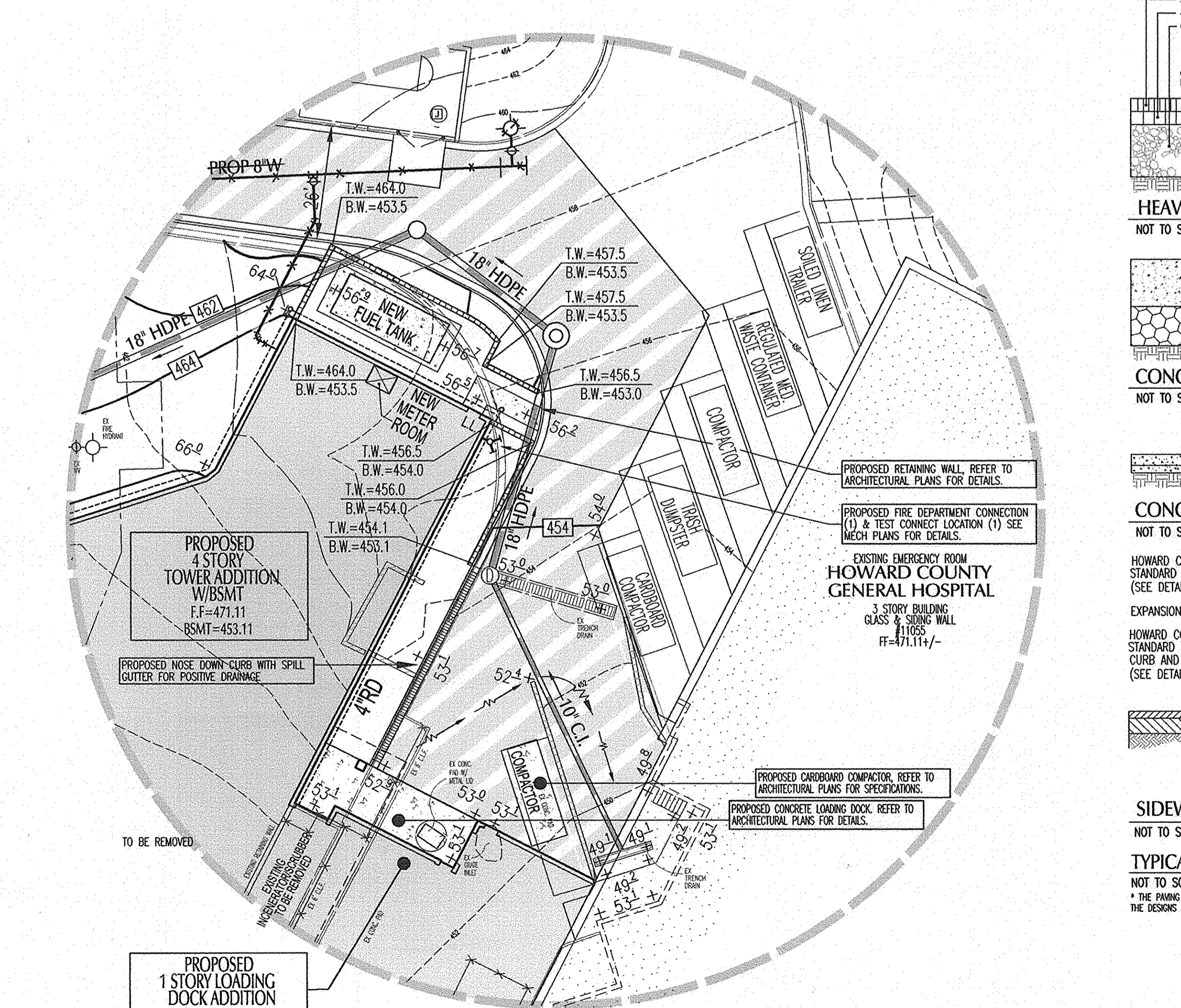
1. LIGHTING CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR LIGHTING OF PARKING EXPANSION. THESE DRAWINGS ARE TO ACCOMPANY THE BID.
2. PARKING FIXTURE TYPE AND POLE TO MATCH EXISTING FIXTURES AND POLES. VERIFY MANUFACTURER, MODEL NUMBER AND LOCATION OF EXISTING LIGHT FIXTURES. SEE NOTE #6.
3. INCLUDE CIRCUITRY IN BID AND ON SHOP DRAWINGS.
4. SEE ARCHITECTURAL PLANS FOR LOCATION OF PEDESTRIAN LIGHTING FOR ENTRANCE WALK AREA.
5. ALL EXTERIOR LIGHTING SHALL COMPLY WITH SECTION 134 OF THE ZONING REGULATIONS.
6. FOR DETAILS OF LIGHTING FIXTURES, INSTALLATION, DESIGN CRITERIA, AND SITE LIGHTING INFORMATION, REFER TO ELECTRICAL PLANS PREPARED BY LEACH WALLACE ASSOCIATES, INC. THE INFORMATION SHOWN ON THIS PLAN IS GENERIC IN NATURE AND THE CONTRACTOR SHALL COMPLY WITH ANY AND ALL INFORMATION SHOWN ON LEACH WALLACE ASSOCIATES PLANS.



**HANDICAP SIGNS**  
NOT TO SCALE

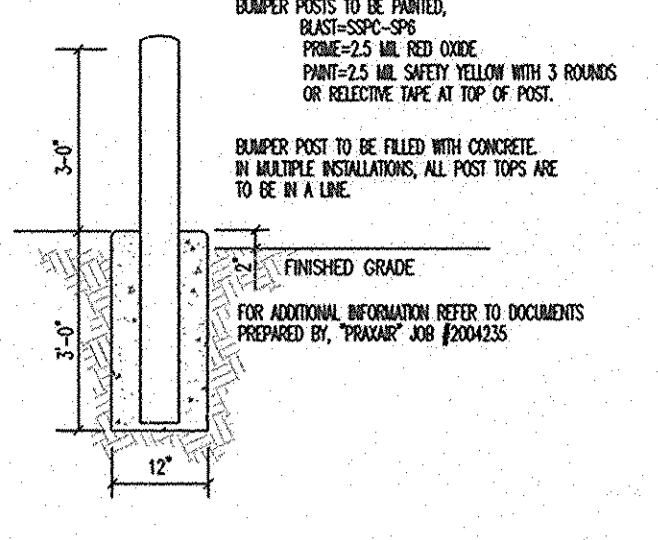


**HANDICAP RAMP TYPE B**  
NOT TO SCALE

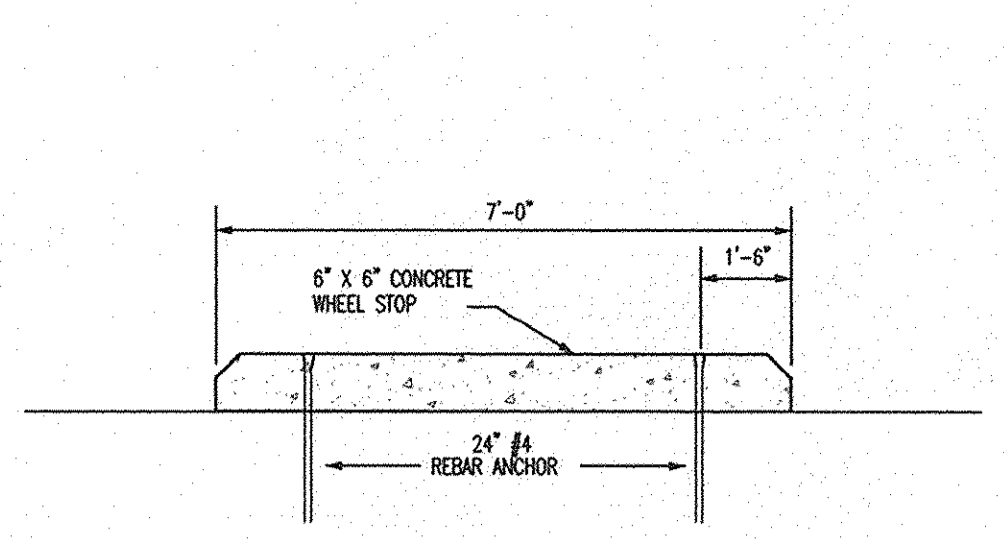


**INSET ~ SPOT ELEVATIONS, REFER TO SHEET 3 OF 13**

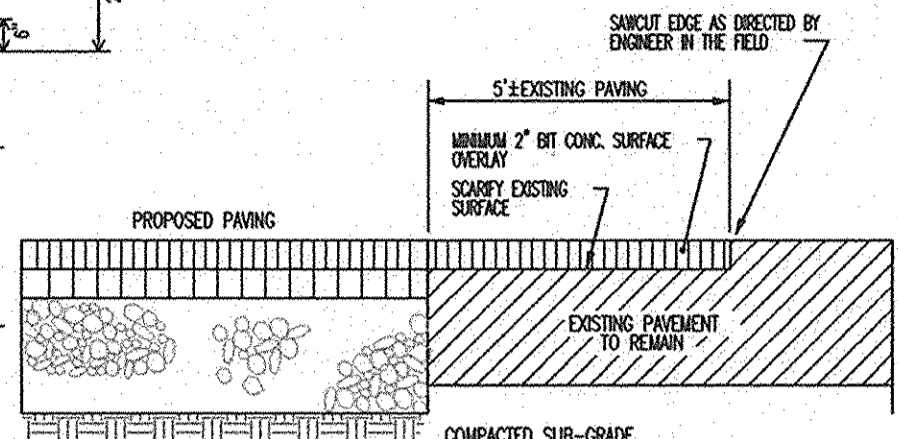
**PLAN SCALE: 1" = 20'**



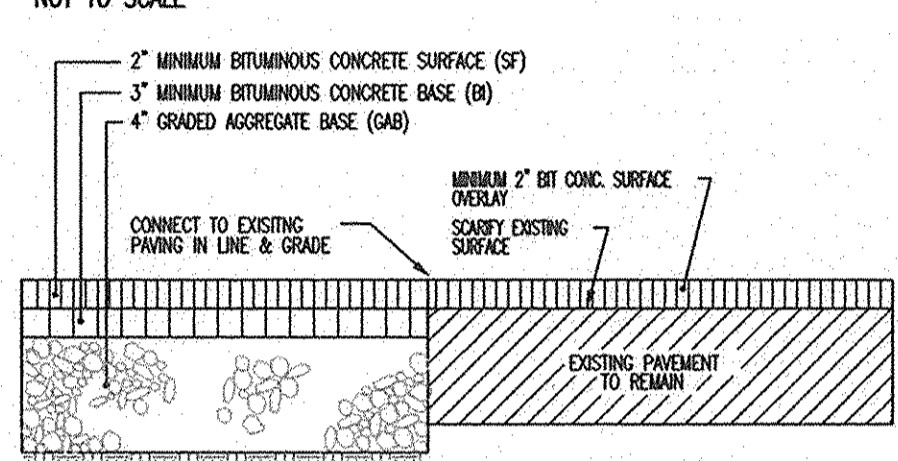
**BOLLARD DETAIL**  
NOT TO SCALE



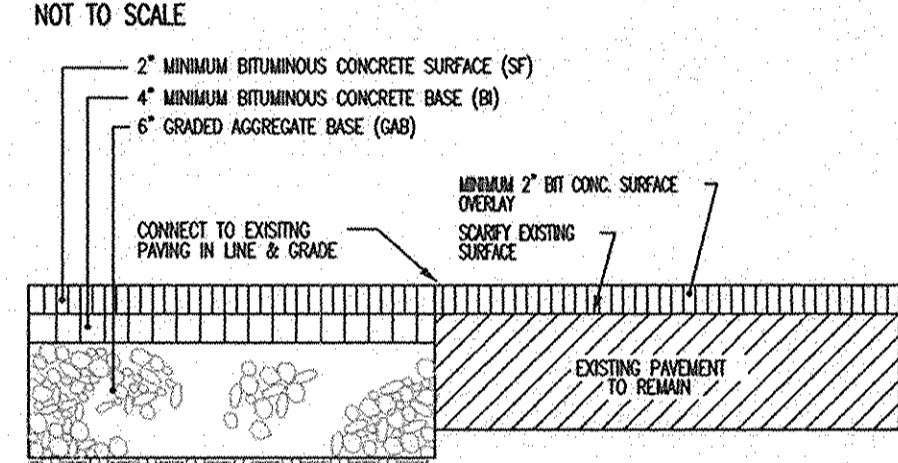
**CONCRETE WHEEL STOP**  
NOT TO SCALE



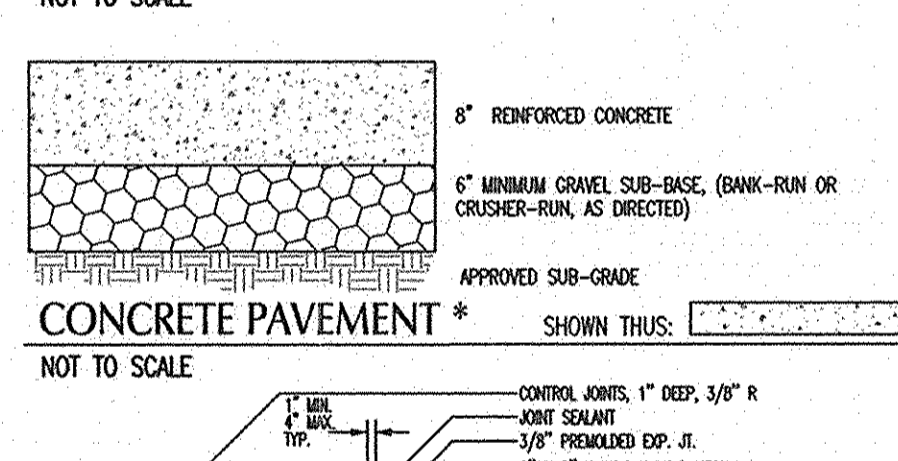
**TRANSITION PAVING \***  
NOT TO SCALE



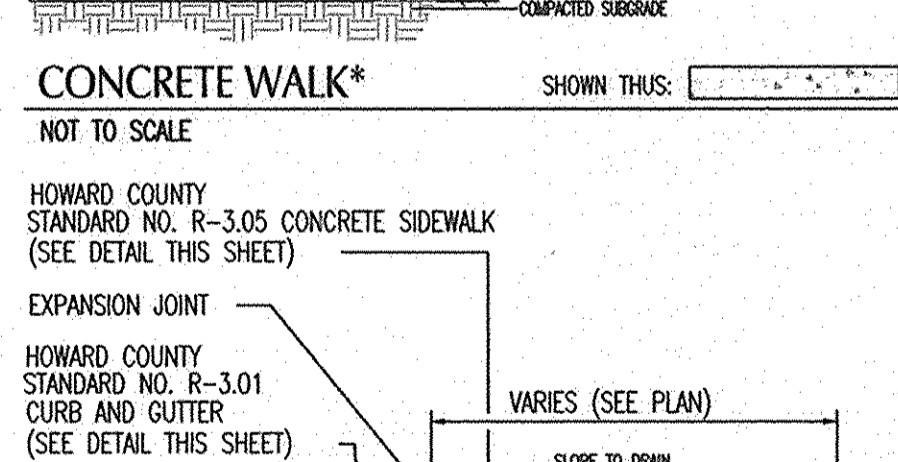
**LIGHT DUTY PAVEMENT \***  
NOT TO SCALE



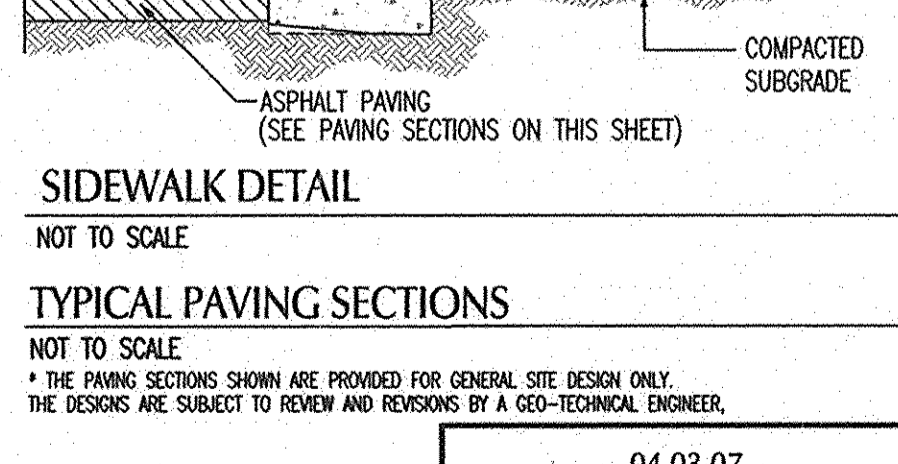
**HEAVY DUTY PAVEMENT \***  
NOT TO SCALE



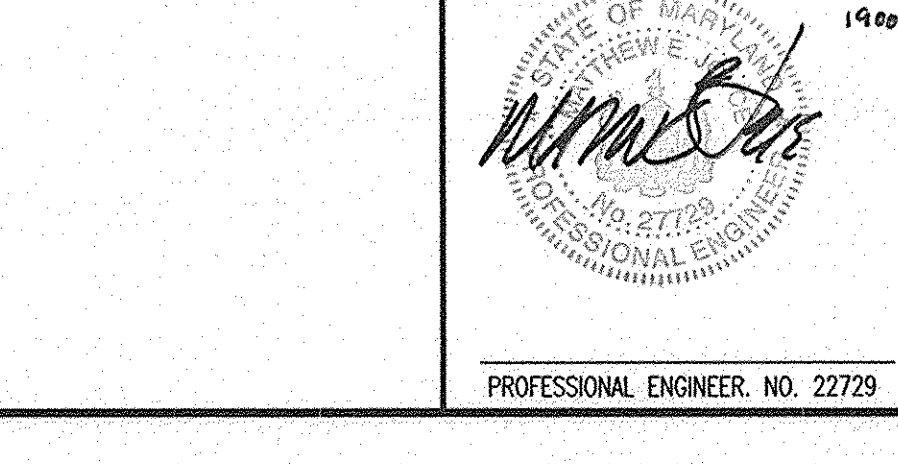
**CONCRETE PAVEMENT \***  
NOT TO SCALE



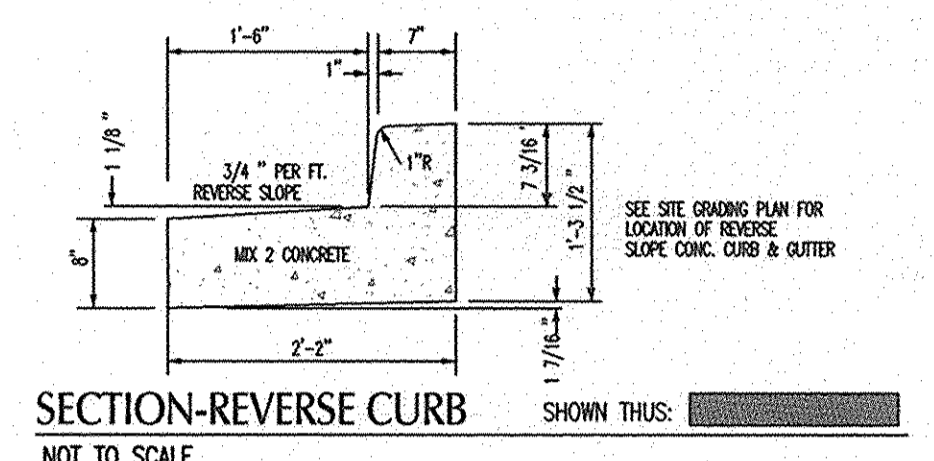
**CONCRETE WALK \***  
NOT TO SCALE



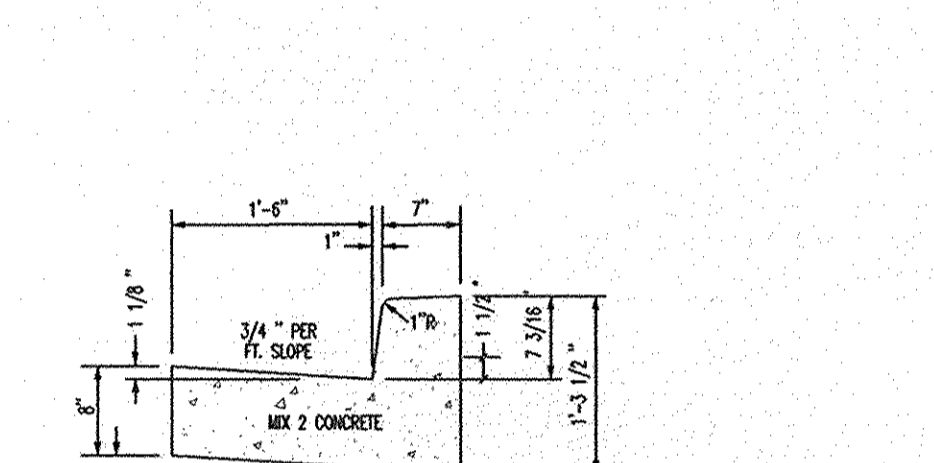
**SIDEWALK DETAIL**  
NOT TO SCALE



**TYPICAL PAVING SECTIONS**  
NOT TO SCALE



**SECTION-REVERSE CURB**  
NOT TO SCALE



**SECTION-STANDARD CURB**  
NOT TO SCALE

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING	
<i>Michael J. ...</i>	4/12/07
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
<i>Wanda ...</i>	4/17/07
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
<i>Stephen ...</i>	4/17/07
DIRECTOR	DATE

DATE	NO.	REVISION DESCRIPTION

**HOWARD COUNTY GENERAL HOSPITAL TOWN CENTER SECTION 8 - AREA 2 - LOT 4**

OWNER/DEVELOPER:  
HOWARD COUNTY GENERAL HOSPITAL, INC.  
5755 CEDAR LANE  
COLUMBIA, MARYLAND 21044

JOYCE ENGINEERING CORPORATION	
CIVIL ENGINEERING LAND SURVEYING LAND PLANNING CONSTRUCTION MANAGEMENT	
10766 BALTIC AVENUE - BELTSVILLE, MARYLAND 20705	
TEL: (301) 995-4353 FAX: (301) 995-4650 WEB: www.joyceeng.com	
Drawing name: P118 and Project: 090151 - Howard County General Hospital/090151HC05SP05.dwg	
Printed: April 03, 2007 - 2:48pm	
ADDRESS CHART	
LOT/PARCEL	STREET ADDRESS
4/276	5755 CEDAR LANE - COLUMBIA, MARYLAND 21044 - HOSPITAL
4/276	5757 CEDAR LANE - COLUMBIA, MARYLAND 21044 - PARKING GARAGE

PERMIT INFORMATION CHART	
SUBDIVISION	SECTION/AREA
HIGH TOWN CENTER	8/2
PLAT OR L/F	TAX/ZONE MAP
18628	5
FOR	ELECT. DISTRICT
FOR	5TH
WATER CODE	CENSUS TRACT
106	6053.02
SEWER CODE	5522500
TITLE SITE DEVELOPMENT, GRADING & LANDSCAPE DETAILS FOR HOSPITAL TOWER, CANOPY, AND PARKING GARAGE ADDITION	
DES BY WAJ	SCALE AS SHOWN
DRN BY HAL	DATE OCT, 2006
CHK BY JEC	APPROVED WAJ
PROJ. NO. 89015L	
5 OF 13	

SHEET INDEX	
1 OF 13	COVER SHEET FOR SITE DEVELOPMENT & GRADING FOR HOSPITAL TOWER AND CANOPY
2 OF 13	SITE DEVELOPMENT & GRADING FOR HOSPITAL TOWER, AND CANOPY
3 OF 13	SITE DEVELOPMENT & GRADING FOR HOSPITAL PARKING GARAGE
4 OF 13	LANDSCAPE & LIGHTING PLAN FOR PARKING GARAGE
5 OF 13	SITE DEVELOPMENT, GRADING AND LANDSCAPE DETAILS
6 OF 13	STORM DRAIN PLAN FOR HOSPITAL TOWER, AND CANOPY
7 OF 13	STORM DRAIN PLAN & WATER CONNECTION FOR PARKING GARAGE
8 OF 13	STORM DRAIN PROFILES, SCHEDULES, AND WATER CONNECTION PROFILE
9 OF 13	DRAINAGE AREA MAP FOR HOSPITAL TOWER, CANOPY & PARKING GARAGE
10 OF 13	GRADING, SEDIMENT & EROSION CONTROL PLAN FOR HOSPITAL TOWER, AND CANOPY
11 OF 13	GRADING, SEDIMENT & EROSION CONTROL PLAN FOR PARKING GARAGE
12 OF 13	SEDIMENT & EROSION CONTROL NOTES & DETAILS FOR HOSPITAL TOWER, CANOPY & PARKING GARAGE
13 OF 13	SIGNAGE AND PAVEMENT MARKING PLAN (CEDAR LANE)

DATE 04.03.07

PROFESSIONAL ENGINEER, NO. 22729

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**NOTES:**

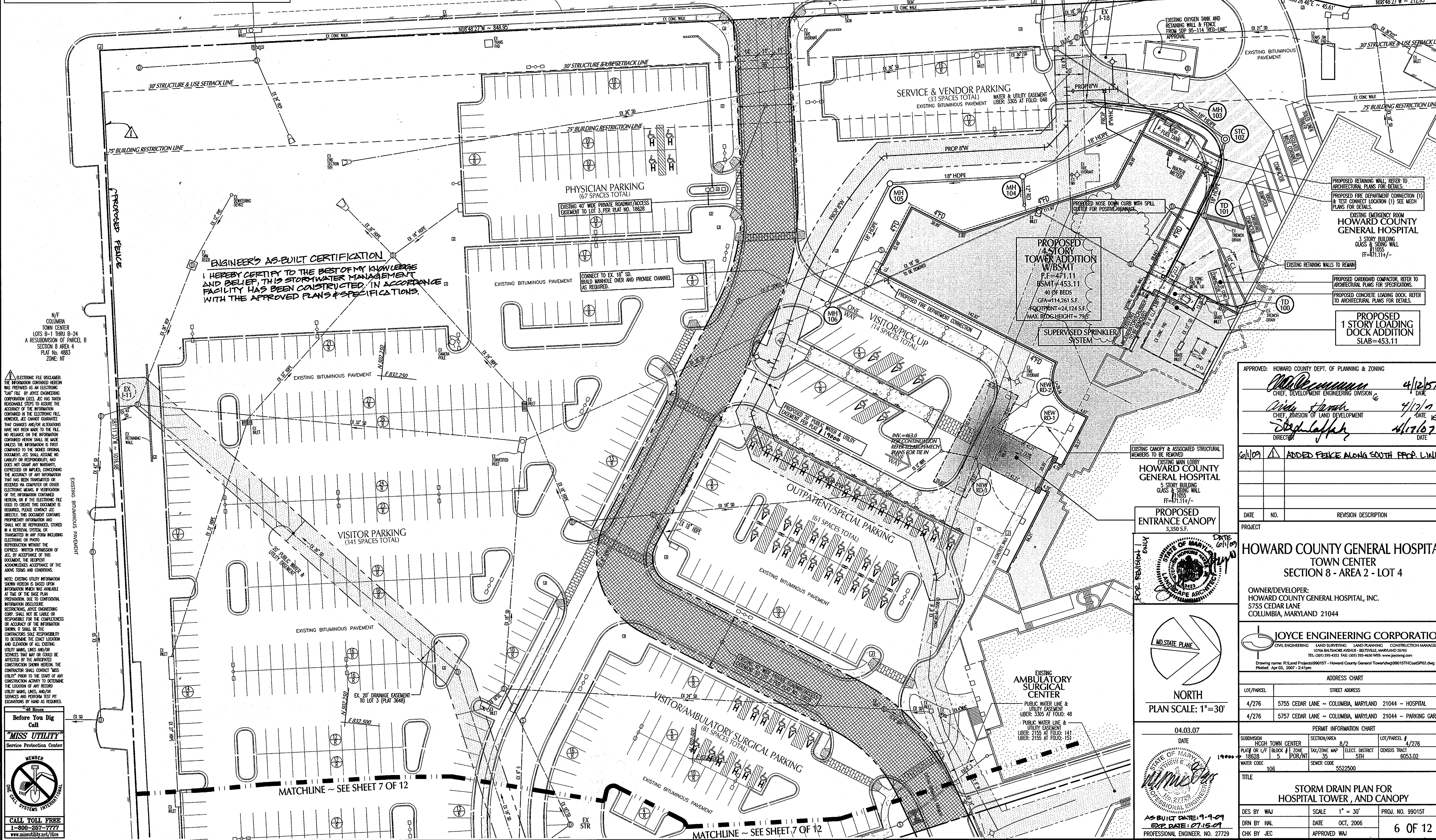
STORMWATER MANAGEMENT (QUANTITY & QUALITY) IS PROVIDED BY AN ON-SITE STORM WATER MANAGEMENT POND DESIGN APPROVED AND CONSTRUCTED PER SDP-95-114. THE FACILITY IS OWNED AND OPERATED BY THE HOWARD COUNTY GENERAL HOSPITAL. THE ORIGINAL APPROVED FACILITY WAS DESIGNED FOR A TOTAL IMPERVIOUS AREA OF 611,029 SQUARE FEET. THE CURRENT PLAN REFLECTS A TOTAL NET DECREASE OF IMPERVIOUS AREA OF 42,806 SQUARE FEET OR 0.98 ACRES.

FOR SITE DEVELOPMENT LEGEND, REFER TO SHEET 3 OF 13.

EXISTING LANDSCAPING AND PARKING LOT LIGHTING ARE PER PRIOR SDP-95-114 & SDP-00-072.

**CEDAR LANE**  
80' PUBLIC RIGHT OF WAY  
MINOR ARTERIAL ROAD

NOTE: RESTRIPPING OF CEDAR LANE TO REFLECT CHANGES TO THE HOSPITAL ENTRANCE WERE REVISED AND APPROVED AS PART OF THE RED-LINE REVISION TO SDP-95-114. THE RESTRIPPING PLAN IS INCLUDED IN THIS (SDP-95-114) PLAN PACKAGE AS SHEET 13 OF 13.



**ENGINEER'S AS-BUILT CERTIFICATION**  
I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS STORMWATER MANAGEMENT FACILITY HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS & SPECIFICATIONS.

N/C COLUMBIA TOWN CENTER LOTS B-1 THRU B-24 A REVISION OF PARCEL B SECTION 8 AREA 4 PLAT NO. 4883 ZONE: NT

ELECTRONIC FILE DISCLAIMER: THE INFORMATION CONTAINED HEREON WAS PREPARED AS AN ELECTRONIC FILE BY JOYCE ENGINEERING CORPORATION (JEC). JEC HAS TAKEN REASONABLE STEPS TO ASSURE THE ACCURACY OF THE INFORMATION CONTAINED IN THE ELECTRONIC FILE. HOWEVER, JEC CANNOT GUARANTEE THAT CHANGES AND/OR ALTERATIONS HAVE NOT BEEN MADE TO THE FILE. NO RELIANCE ON THE INFORMATION CONTAINED HEREIN SHALL BE MADE UNLESS THE INFORMATION IS FIRST COMPARED TO THE SIGNED ORIGINAL DOCUMENT. JEC SHALL ASSUME NO LIABILITY OR RESPONSIBILITY, AND DOES NOT GIVE ANY WARRANTY, EXPRESSED OR IMPLIED, CONCERNING THE ACCURACY OF ANY INFORMATION THAT HAS BEEN TRANSMITTED OR RECEIVED VIA COMPUTER OR OTHER ELECTRONIC MEANS. IF REPRODUCTION OF THE INFORMATION CONTAINED HEREON, OR IF THE ELECTRONIC FILE USED TO CREATE THIS DOCUMENT IS REQUIRED, PLEASE CONTACT JEC DIRECTLY. THIS DOCUMENT CONTAINS PROPRIETARY INFORMATION AND SHALL NOT BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM INCLUDING ELECTRONIC OR PHOTO REPRODUCTION WITHOUT THE EXPRESS WRITTEN PERMISSION OF JEC. BY ACCEPTANCE OF THIS DOCUMENT, THE REPRODUCER ACKNOWLEDGES ACCEPTANCE OF THE ABOVE TERMS AND CONDITIONS.

NOTE: EXISTING UTILITY INFORMATION SHOWN HEREON IS BASED UPON INFORMATION WHICH WAS AVAILABLE AT THE TIME OF THE BASE PLAN PREPARATION. DUE TO CONFIDENTIAL INFORMATION DISCLOSURE RESTRICTIONS, JOYCE ENGINEERING CORP. SHALL NOT BE LIABLE OR RESPONSIBLE FOR THE COMPLETENESS OR ACCURACY OF THE INFORMATION SHOWN. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITY LINES AND/OR SERVICES THAT MAY BE AFFECTED BY THE PROPOSED CONSTRUCTION SHOWN HEREON. THE CONTRACTOR SHALL CONTACT MISS UTILITY PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY TO DETERMINE THE LOCATION OF ANY RECORD UTILITY LINES, LINES AND/OR SERVICES AND PERFORM TEST PIT EXCAVATIONS BY HAND AS REQUIRED.

**Before You Dig Call MISS UTILITY**  
Service Protection Center  
MEMBER ONE CALL SYSTEMS INTERNATIONAL  
CALL TOLL FREE 1-800-287-7777  
www.missutility.net/1155

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

<i>Chris DeMunnig</i>	4/12/07
CHIEF, DEVELOPMENT DIVISION	DATE
<i>David Smith</i>	4/17/07
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
<i>Steve Laffan</i>	4/17/07
DIRECTOR	DATE

6/1/07 **ADDED FENCE ALONG SOUTH PROP. LINE**

DATE	NO.	REVISION DESCRIPTION

**HOWARD COUNTY GENERAL HOSPITAL TOWN CENTER SECTION 8 - AREA 2 - LOT 4**  
OWNER/DEVELOPER: HOWARD COUNTY GENERAL HOSPITAL, INC. 5755 CEDAR LANE COLUMBIA, MARYLAND 21044

**JOYCE ENGINEERING CORPORATION**  
CIVIL ENGINEERING LAND SURVEYING LAND PLANNING CONSTRUCTION MANAGEMENT  
10766 BALTIMORE AVENUE - BELTSVILLE, MARYLAND 20705  
TEL: (301) 595-4353 FAX: (301) 595-4650 WEB: www.joycecorp.com  
Drawing No: R-LLand Proj06090107 - Howard County General Tower/urg060107HC05SP02.dwg  
Printed: April 03, 2007 - 2:41 pm

ADDRESS CHART

LOT/PARCEL	STREET ADDRESS
4/276	5755 CEDAR LANE ~ COLUMBIA, MARYLAND 21044 - HOSPITAL
4/276	5757 CEDAR LANE ~ COLUMBIA, MARYLAND 21044 - PARKING GARAGE

PERMIT INFORMATION CHART

SUBMISSION	SECTION/AREA	LOT/PARCEL #
HCHC TOWN CENTER	8/2	4/276
PLAT OR L/F BLOCK # ZONE TAX/ZONE MAP	18628 5 POR/NT	75 5TH
CENSUS TRACT	6053.02	
WATER CODE	106	SEWER CODE 5522500

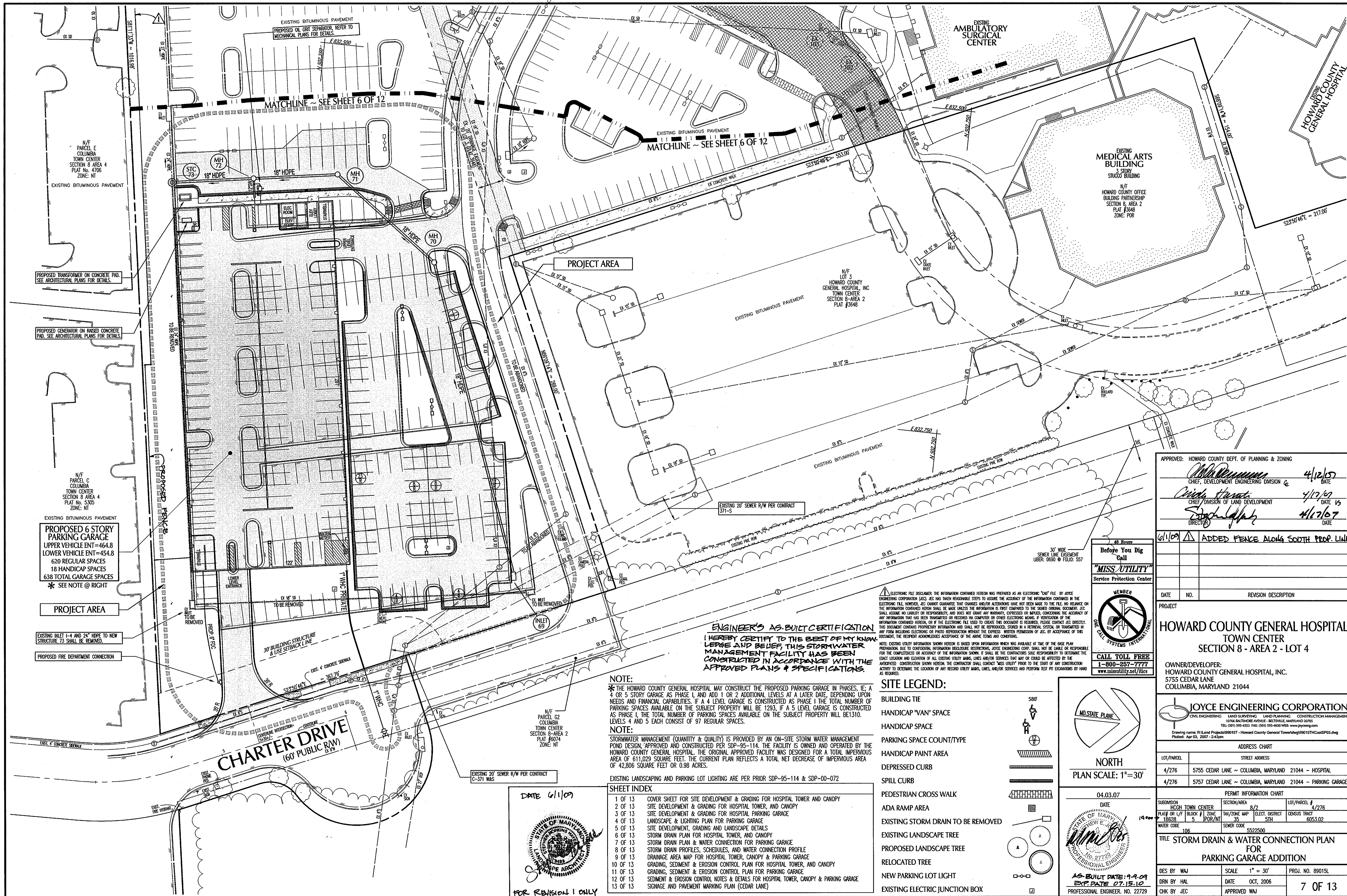
TITLE: **STORM DRAIN PLAN FOR HOSPITAL TOWER, AND CANOPY**

DES BY	SCALE	PROJ. NO.
WAJ	1" = 30'	99015T
DRN BY	DATE	
HAL	OCT, 2006	
CHK BY	APPROVED	
JEC	WAJ	6 OF 12

**PROPOSED ENTRANCE CANOPY**  
3,350 S.F.

**PROPOSED 4-STORY TOWER ADDITION W/BSMT**  
F.F. = 471.11  
BSMT = 453.11  
40 OF BEDS  
G.F.A. = 114,261 S.F.  
FOOTPRINT = 24,124 S.F.  
MAX. BEDS HEIGHT = 79'5"

**PROFESSIONAL ENGINEER**  
DATE: 4/12/07  
EXPIRES: 4/12/09  
PROFESSIONAL ENGINEER NO. 27729



N/F PARCEL E  
COLUMBIA  
TOWN CENTER  
SECTION 8 AREA 4  
PLAT No. 4706  
ZONE: NT  
EXISTING BITUMINOUS PAVEMENT

PROPOSED TRANSFORMER ON CONCRETE PAD.  
SEE ARCHITECTURAL PLANS FOR DETAILS.

PROPOSED GENERATOR ON RAISED CONCRETE  
PAD. SEE ARCHITECTURAL PLANS FOR DETAILS.

N/F PARCEL C  
COLUMBIA  
TOWN CENTER  
SECTION 8 AREA 4  
PLAT No. 5305  
ZONE: NT  
EXISTING BITUMINOUS PAVEMENT

PROPOSED 6 STORY  
PARKING GARAGE  
UPPER VEHICLE ENT=464.8  
LOWER VEHICLE ENT=454.8  
620 REGULAR SPACES  
18 HANDICAP SPACES  
638 TOTAL GARAGE SPACES  
\* SEE NOTE @ RIGHT

PROJECT AREA

EXISTING INLET 1-4 AND 24\"/>

PROPOSED FIRE DEPARTMENT CONNECTION

**CHARTER DRIVE**  
(60' PUBLIC R/W)

**ENGINEER'S AS-BUILT CERTIFICATION**  
I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS STORMWATER MANAGEMENT FACILITY HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS & SPECIFICATIONS.

**NOTE:**  
\* THE HOWARD COUNTY GENERAL HOSPITAL MAY CONSTRUCT THE PROPOSED PARKING GARAGE IN PHASES, I.E. A 4 OR 5 STORY GARAGE AS PHASE 1, AND ADD 1 OR 2 ADDITIONAL LEVELS AT A LATER DATE, DEPENDING UPON NEEDS AND FINANCIAL CAPABILITIES. IF A 4 LEVEL GARAGE IS CONSTRUCTED AS PHASE 1 THE TOTAL NUMBER OF PARKING SPACES AVAILABLE ON THE SUBJECT PROPERTY WILL BE 1293, IF A 5 LEVEL GARAGE IS CONSTRUCTED AS PHASE 1 THE TOTAL NUMBER OF PARKING SPACES AVAILABLE ON THE SUBJECT PROPERTY WILL BE 1310. LEVELS 4 AND 5 EACH CONSIST OF 97 REGULAR SPACES.

**NOTE:**  
STORMWATER MANAGEMENT (QUANTITY & QUALITY) IS PROVIDED BY AN ON-SITE STORM WATER MANAGEMENT POND DESIGN, APPROVED AND CONSTRUCTED PER SDP-95-114. THE FACILITY IS OWNED AND OPERATED BY THE HOWARD COUNTY GENERAL HOSPITAL. THE ORIGINAL APPROVED FACILITY WAS DESIGNED FOR A TOTAL IMPERVIOUS AREA OF 611,029 SQUARE FEET. THE CURRENT PLAN REFLECTS A TOTAL NET DECREASE OF IMPERVIOUS AREA OF 42,806 SQUARE FEET OR 0.98 ACRES.

EXISTING LANDSCAPING AND PARKING LOT LIGHTING ARE PER PRIOR SDP-95-114 & SDP-00-072

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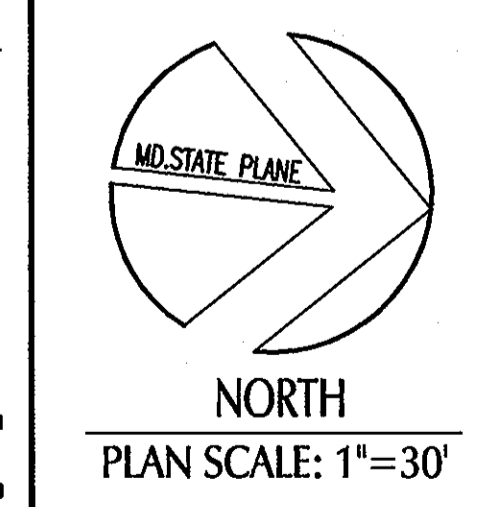
DATE 6/1/09  
FOR REVISION 1 ONLY

**ELECTRONIC FILE DOCUMENT:** THE INFORMATION CONTAINED HEREON WAS PREPARED AS AN ELECTRONIC "DWG" FILE BY JOYCE ENGINEERING CORPORATION (JEC). JEC HAS TAKEN REASONABLE STEPS TO ASSURE THE ACCURACY OF THE INFORMATION CONTAINED IN THE ELECTRONIC FILE. HOWEVER, JEC CANNOT GUARANTEE THAT CHANGES AND/OR ALTERATIONS HAVE NOT BEEN MADE TO THE FILE. NO RELIANCE ON THE INFORMATION CONTAINED HEREON SHALL BE MADE UNLESS THE INFORMATION IS FIRST COMPARED TO THE SIGNED ORIGINAL DOCUMENT. JEC SHALL ASSUME NO LIABILITY OR RESPONSIBILITY AND DOES NOT GRANT ANY WARRANTY, EXPRESSED OR IMPLIED, CONCERNING THE ACCURACY OF ANY INFORMATION THAT HAS BEEN TRANSMITTED OR RECEIVED VIA COMPUTER OR OTHER ELECTRONIC MEANS. IF VERIFICATION OF THE INFORMATION CONTAINED HEREON, OR IF THE ELECTRONIC FILE USED TO CREATE THIS DOCUMENT IS REQUIRED, PLEASE CONTACT JEC DIRECTLY. THIS DOCUMENT CONTAINS PROPRIETARY INFORMATION AND SHALL NOT BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM INCLUDING ELECTRONIC OR PHOTO REPRODUCTION WITHOUT THE EXPRESS WRITTEN PERMISSION OF JEC. BY ACCEPTANCE OF THIS DOCUMENT, THE RECEIPTER ACKNOWLEDGES ACCEPTANCE OF THE ABOVE TERMS AND CONDITIONS.

**NOTE:** EXISTING UTILITY INFORMATION SHOWN HEREON IS BASED UPON INFORMATION WHICH WAS AVAILABLE AT THE TIME OF THE BASE PLAN PREPARATION. DUE TO CHANGING INFORMATION REGARDLESS OF RESTRICTIONS, JOYCE ENGINEERING CORP. SHALL NOT BE LIABLE OR RESPONSIBLE FOR THE COMPLETENESS OR ACCURACY OF THE INFORMATION SHOWN. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITY MARKS, LINES AND/OR SERVICES THAT MAY OR COULD BE AFFECTED BY THE ANTICIPATED CONSTRUCTION SHOWN HEREON. THE CONTRACTOR SHALL CONTACT "MISS UTILITY" PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY TO DETERMINE THE LOCATION OF ANY RECORD UTILITY MARKS, LINES, AND/OR SERVICES AND PERFORM TEST PIT EXAMINATIONS BY HAND AS REQUIRED.

**SITE LEGEND:**

- BUILDING TIE
- HANDICAP "VAN" SPACE
- HANDICAP SPACE
- PARKING SPACE COUNT/TYPE
- HANDICAP PAINT AREA
- DEPRESSED CURB
- SPILL CURB
- PEDESTRIAN CROSS WALK
- ADA RAMP AREA
- EXISTING STORM DRAIN TO BE REMOVED
- EXISTING LANDSCAPE TREE
- PROPOSED LANDSCAPE TREE
- RELOCATED TREE
- NEW PARKING LOT LIGHT
- EXISTING ELECTRIC JUNCTION BOX



DATE 04.03.07  
DATE 9-9-09  
EXP. DATE 07.15.10  
PROFESSIONAL ENGINEER, NO. 22729

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

<i>William E. Jec</i>	4/12/07
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
<i>Stephane Staudt</i>	4/12/07
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
<i>Stephane Staudt</i>	4/12/07
DIRECTOR	DATE

6/1/09 ADDED FENCE ALONG SOUTH PROP. LINE

DATE	NO.	REVISION DESCRIPTION

**HOWARD COUNTY GENERAL HOSPITAL**  
TOWN CENTER  
SECTION 8 - AREA 2 - LOT 4

OWNER/DEVELOPER:  
HOWARD COUNTY GENERAL HOSPITAL, INC.  
5755 CEDAR LANE  
COLUMBIA, MARYLAND 21044

**JOYCE ENGINEERING CORPORATION**  
CIVIL ENGINEERING LAND SURVEYING LAND PLANNING CONSTRUCTION MANAGEMENT  
10766 BALTIMORE AVENUE - BELTSVILLE, MARYLAND 20705  
TEL: (301) 995-4353 FAX: (301) 995-4650 WEB: www.joyceeng.com

ADDRESS CHART

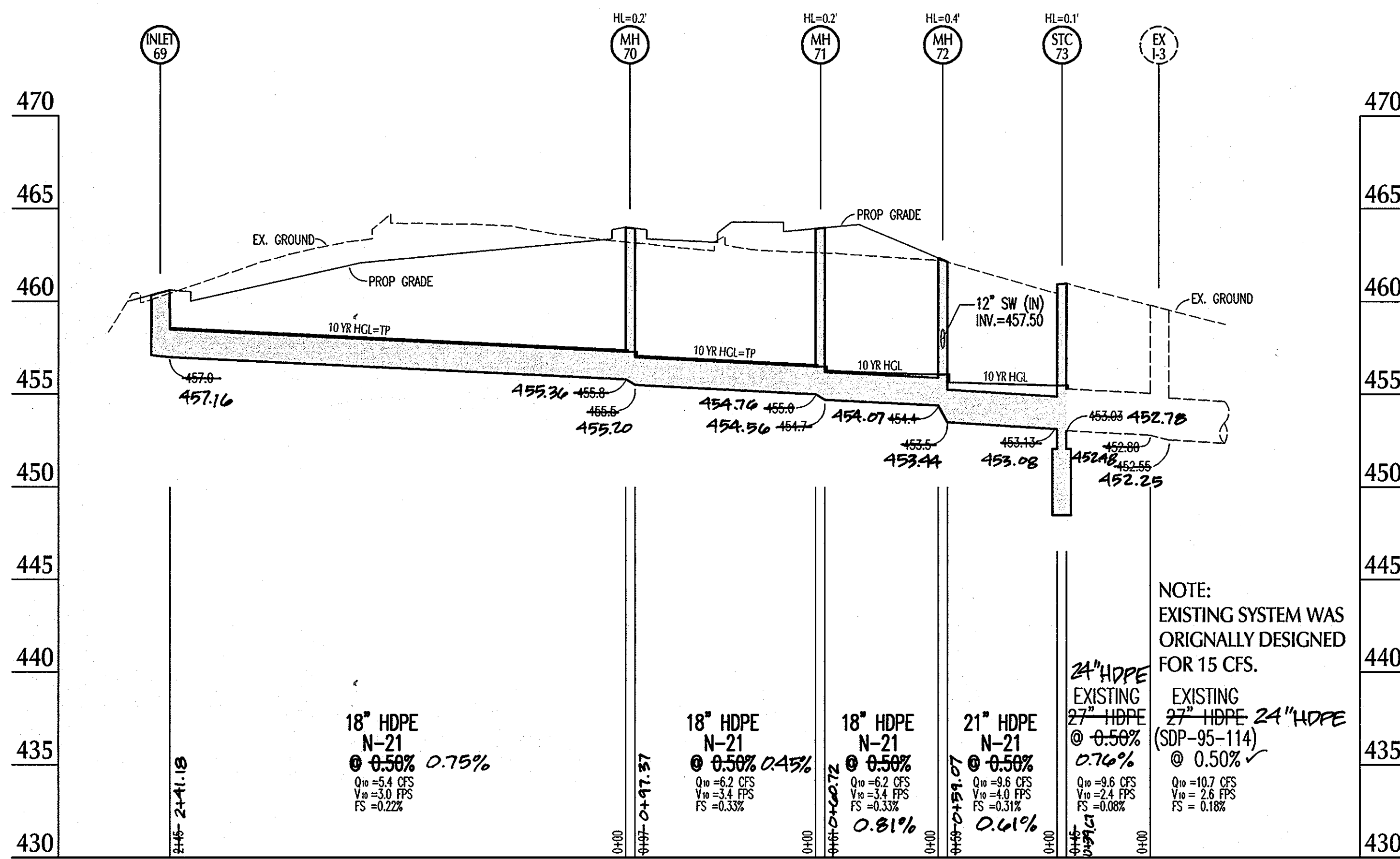
LOT/PARCEL	STREET ADDRESS
4/276	5755 CEDAR LANE ~ COLUMBIA, MARYLAND 21044 - HOSPITAL
4/276	5757 CEDAR LANE ~ COLUMBIA, MARYLAND 21044 - PARKING GARAGE

PERMIT INFORMATION CHART

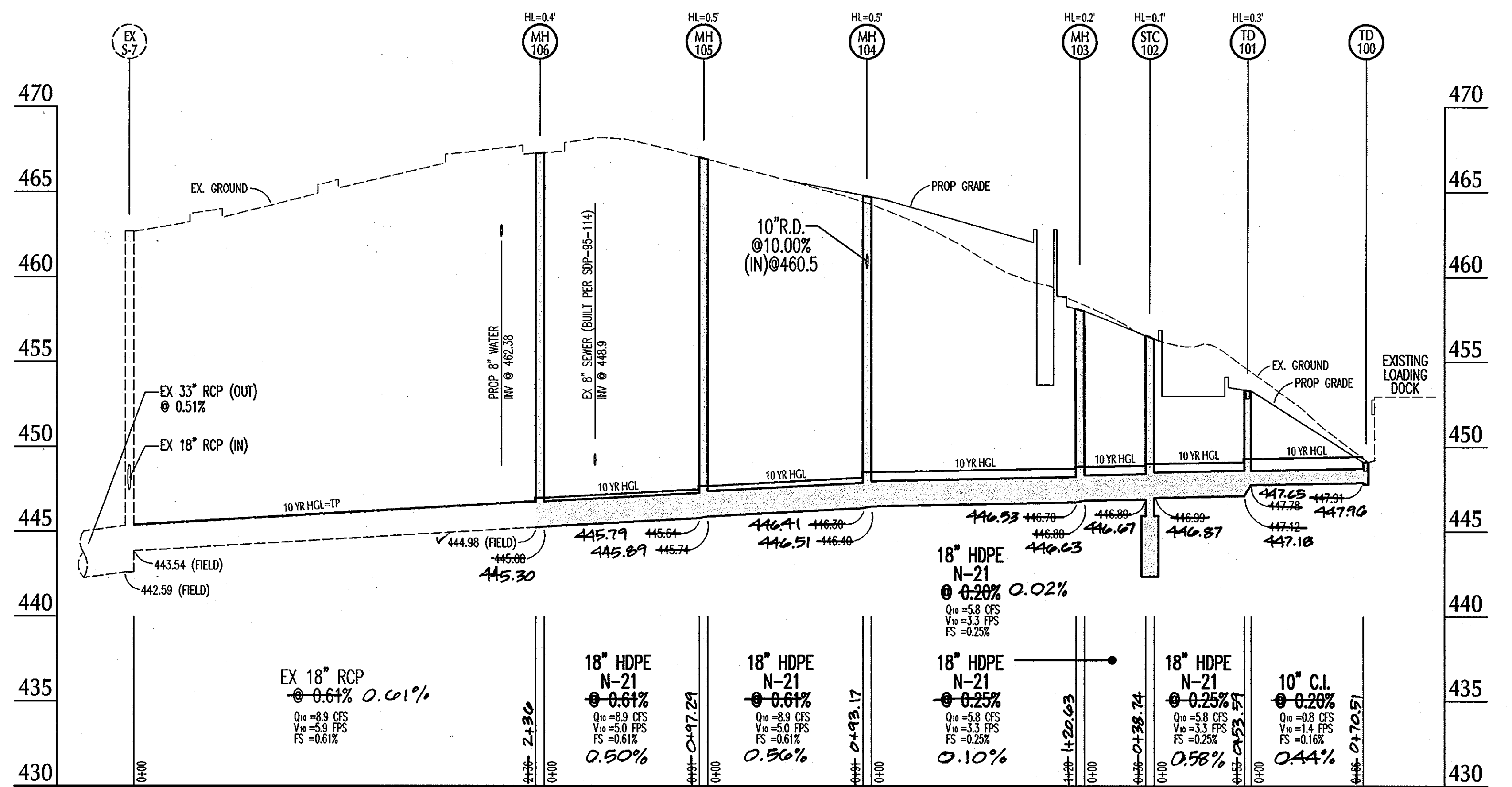
SUBMISSION	SECTION/AREA	LOT/PARCEL #
HCGH TOWN CENTER	8/2	4/276
PLAT OR L/F	BLOCK #	TAX/ZONE MAP
186228	5	35
WATER CODE	SEWER CODE	ELECT. DISTRICT
106	5522500	5TH
CENSUS TRACT	CENSUS TRACT	CENSUS TRACT
6053.02	6053.02	6053.02

TITLE STORM DRAIN & WATER CONNECTION PLAN FOR PARKING GARAGE ADDITION

DES BY WAJ	SCALE 1" = 30'	PROJ. NO. 89015L
DRN BY HAL	DATE OCT. 2006	7 OF 13
CHK BY JEC	APPROVED WAJ	



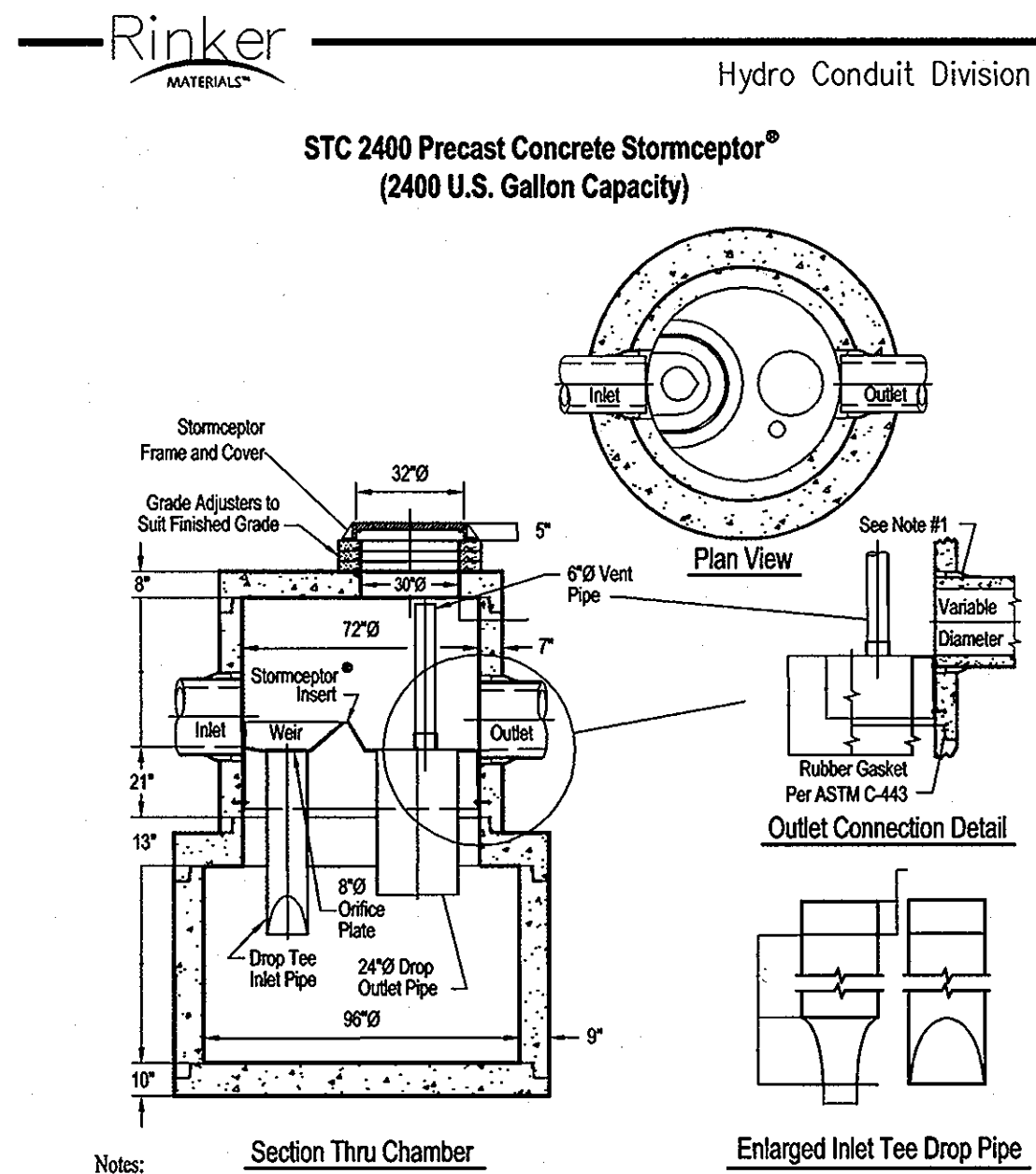
STORM DRAIN PROFILE STRUCTURE 69 TO EX. I-3 ~ PARKING GARAGE  
PROFILE SCALE: HORIZONTAL: 1"=50' VERTICAL: 1"=5'



STORM DRAIN PROFILE STRUCTURE TD 100 TO EX. S-7 ~ HOSPITAL TOWER  
PROFILE SCALE: HORIZONTAL: 1"=50' VERTICAL: 1"=5'

**SHEET INDEX**

1 OF 13	COVER SHEET FOR SITE DEVELOPMENT & GRADING FOR HOSPITAL TOWER AND CANOPY
2 OF 13	SITE DEVELOPMENT & GRADING FOR HOSPITAL TOWER, AND CANOPY
3 OF 13	SITE DEVELOPMENT & GRADING FOR HOSPITAL PARKING GARAGE
4 OF 13	LANDSCAPE & LIGHTING PLAN FOR PARKING GARAGE
5 OF 13	SITE DEVELOPMENT, GRADING AND LANDSCAPE DETAILS
6 OF 13	STORM DRAIN PLAN FOR HOSPITAL TOWER, AND CANOPY
7 OF 13	STORM DRAIN PLAN & WATER CONNECTION FOR PARKING GARAGE
8 OF 13	STORM DRAIN PROFILES, SCHEDULES, AND WATER CONNECTION PROFILE
9 OF 13	DRAINAGE AREA MAP FOR HOSPITAL TOWER, CANOPY & PARKING GARAGE
10 OF 13	GRADING, SEDIMENT & EROSION CONTROL PLAN FOR HOSPITAL TOWER, AND CANOPY
11 OF 13	GRADING, SEDIMENT & EROSION CONTROL PLAN FOR PARKING GARAGE
12 OF 13	SEDIMENT & EROSION CONTROL NOTES & DETAILS FOR HOSPITAL TOWER, CANOPY & PARKING GARAGE
13 OF 13	SIGNAGE AND PAVEMENT MARKING PLAN (CEDAR LANE)



Notes:  
1. The use of a Flexible Connection is recommended at the Inlet and Outlet Pipe.  
2. The Cover should be positioned over the Outlet Drop Pipe and the Vent Pipe.  
3. The Stormceptor System is protected by one or more of the following U.S. Patents: #4981548, #5498331, #5725760, #5753115, #5909181, #6008765, #6371690.  
4. Contact a Hydro Conduit representative for further details not listed on this sheet.

**Precast Concrete Stormceptor**

**CONTRACTOR INFORMATION**

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_  
State: \_\_\_\_\_  
Zip Code: \_\_\_\_\_  
Contact: \_\_\_\_\_  
Phone: \_\_\_\_\_  
Fax: \_\_\_\_\_

**OWNER INFORMATION**

Name: HOWARD COUNTY GENERAL HOSPITAL  
Address: 5755 CEDAR LANE  
City: COLUMBIA  
State: MARYLAND  
Zip Code: 21044  
Contact: JOYCE ENGINEERING CORPORATION  
Phone: 301-595-4353  
Fax: 301-595-4650

**IMPERVIOUS DRAINAGE AREA FOR THIS UNIT** 1.30 Ac.

Stormceptor Model	Insert Size	Manhole Number	AS-BUILT	STC-31
400	3600	Top Elevation (ft)	461.08	460.5
900	4000	Inlet Pipe Invert (ft)	453.08	453.13
1200	4000	Outlet Pipe Invert (ft)	452.78	453.03
1800	6000	Outlet Pipe Invert (ft)	452.78	453.03
2400	7200	Outlet Pipe Invert (ft)	452.78	453.03

**CSR HYDRO CONDUIT**

PLEASE FILL OUT COMPLETELY AND FAX TO:  
ATTN: DUANE THOMAS FAX: (301)698-5351, PHONE: (301)698-7373

**Precast Concrete Stormceptor**

**CONTRACTOR INFORMATION**

Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_  
State: \_\_\_\_\_  
Zip Code: \_\_\_\_\_  
Contact: \_\_\_\_\_  
Phone: \_\_\_\_\_  
Fax: \_\_\_\_\_

**OWNER INFORMATION**

Name: CITY OF BUREAU OF PUBLIC WORKS  
Address: 301-600-2341  
City: COLUMBIA  
State: MARYLAND  
Zip Code: 21044  
Contact: JOYCE ENGINEERING CORPORATION  
Phone: 301-595-4353  
Fax: 301-595-4650

**IMPERVIOUS DRAINAGE AREA FOR THIS UNIT** 1.30 Ac.

Stormceptor Model	Insert Size	Manhole Number	AS-BUILT	STC-192
400	3600	Top Elevation (ft)	456.52	456.4
900	4000	Inlet Pipe Invert (ft)	446.07	446.99
1200	4000	Outlet Pipe Invert (ft)	446.07	446.99
1800	6000	Outlet Pipe Invert (ft)	446.07	446.99
2400	7200	Outlet Pipe Invert (ft)	446.07	446.99

**CSR HYDRO CONDUIT**

PLEASE FILL OUT COMPLETELY AND FAX TO:  
ATTN: DUANE THOMAS FAX: (301)698-5351, PHONE: (301)698-7373

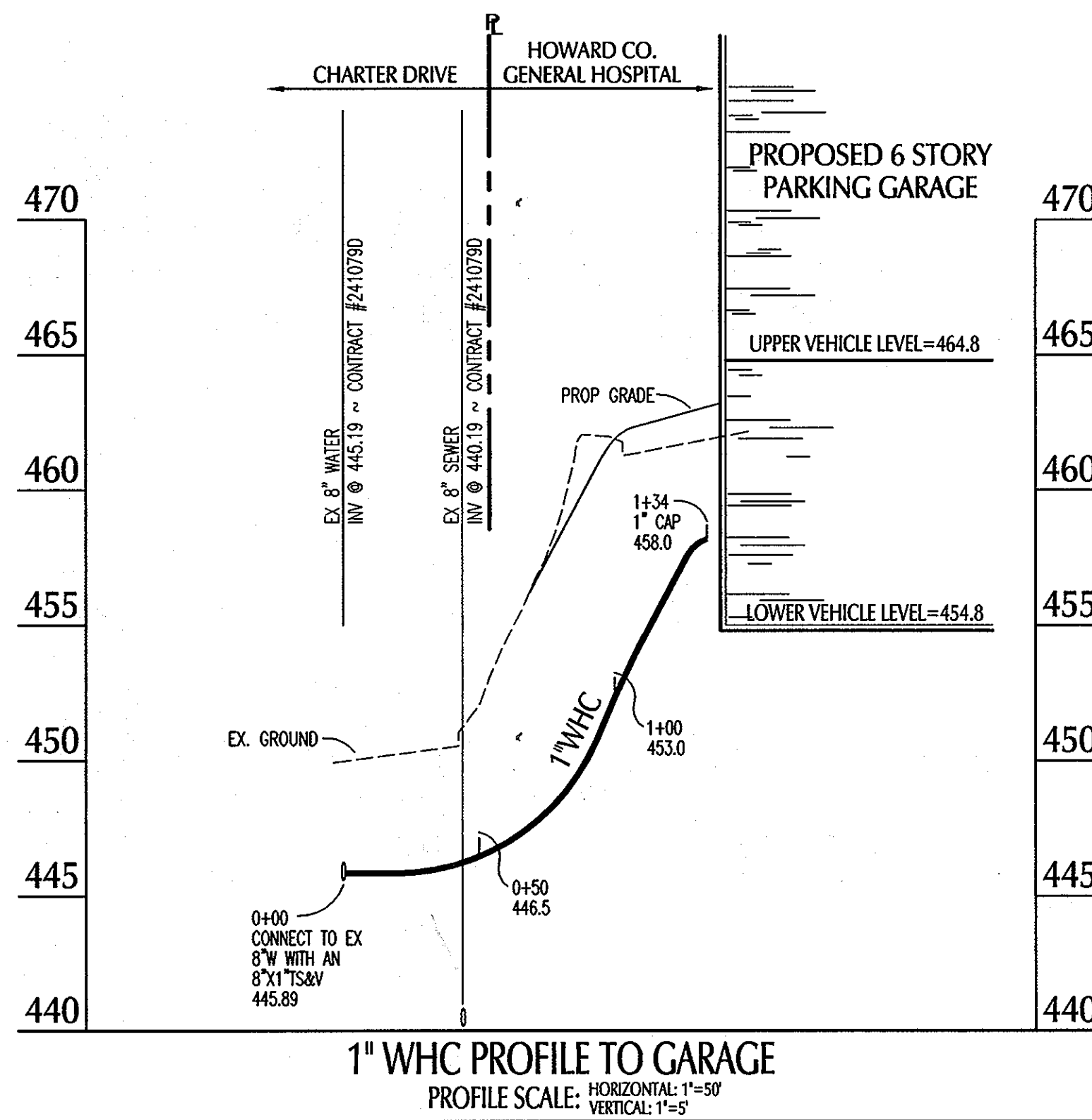
**ENGINEER'S AS-BUILT CERTIFICATION**  
I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS STORMWATER MANAGEMENT FACILITY HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS & SPECIFICATIONS.

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

*Matthew E. Joyce* 4/12/07  
CHIEF, DEVELOPMENT ENGINEERING DIVISION & DATE

*Chris Thomas* 4/10/07  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*Stephen J. Joyce* 4/16/07  
DIRECTOR DATE



1st WHC PROFILE TO GARAGE  
PROFILE SCALE: HORIZONTAL: 1"=50' VERTICAL: 1"=5'

STORMCEPTOR STRUCTURES #73 AND 102

PIPE SCHEDULE							AS-BUILT		
INSPECTED BY	FROM	TO	SIZE	TYPE	LENGTH	SIZE	LENGTH	LENGTH	
	69	70	18"	HDPE N-21	245'		245'	241.18'	
	70	71	18"	HDPE N-21	57'		57'	57.37'	
	71	72	18"	HDPE N-21	61'		61'	60.72'	
	72	73	21"	HDPE N-21	59'		59'	59.07'	
	73	EX. I-3	EX. RCP	EX. RCP	24"		24"	24.00'	
	10100	10101	10"	CAST IRON	66'		66'	68.91'	
	10101	102	18"	HDPE N-21	53'		53'	53.59'	
	102	103	18"	HDPE N-21	36'		36'	35.74'	
	103	104	18"	HDPE N-21	120'		120'	120.63'	
	104	105	18"	HDPE N-21	91'		91'	93.17'	
	105	106	18"	HDPE N-21	91'		91'	92.29'	
	106	S-7	18"	EX. RCP					
TOTAL						919'		930.72'	

PIPE SUMMARY				AS-BUILT		
SIZE	TYPE	LENGTH	SIZE	LENGTH	LENGTH	
18"	HIGH DENSITY POLYETHYLENE N-21	794'		794'	802.64'	
21"	HIGH DENSITY POLYETHYLENE N-21	59'		59'	59.07'	
10"	CAST IRON	66'		66'	68.91'	
TOTAL				919'		930.72'

STRUCTURE SCHEDULE

STRUCTURE SCHEDULE												AS-BUILT		
INSPECTED BY	NO.	TYPE	WIDTH	DEPTH	TOP ELEV.	INLET	OUTLET	STANDARD DETAIL	WIDTH	DEPTH	TOP ELEV.	INLET	OUTLET	LENGTH
	69	A-10 INLET	2'-0"	4'-0"	460.6	460.2	457.0	H.C. DPW STD DIL. 65.12 STD	2'-0"	4'-0"	457.37	457.16	245'	
	70	MANHOLE	4'-0"	4'-0"	464.0	463.9	465.5	H.C. DPW STD DIL. 65.12 STD	4'-0"	4'-0"	463.70	463.2	57'	
	71	MANHOLE	4'-0"	4'-0"	464.0	463.9	465.7	H.C. DPW STD DIL. 65.12 STD	4'-0"	4'-0"	463.41	463.2	61'	
	72	MANHOLE	4'-0"	4'-0"	460.4	460.0	463.5	H.C. DPW STD DIL. 65.12 STD	4'-0"	4'-0"	462.17	463.46	59'	
	73	STORMCEPTOR 2400	8'-0"	4'-0"	461.0	460.8	453.03	SEE DETAIL THIS SHEET	8'-0"	4'-0"	461.07	463.09	24"	
	10100	TRENCH BRIM	-	-	449.1	447.91	REF. TO MECHANICAL PLANS		-	-	448.21	447.47	66'	
	10101	TRENCH BRIM	-	-	453.3	447.12	REF. TO MECHANICAL PLANS		-	-	452.04	451.05	53'	
	102	STORMCEPTOR 2400	8'-0"	4'-0"	456.6	456.5	446.89	SEE DETAIL THIS SHEET	8'-0"	4'-0"	456.52	446.07	36'	
	103	MANHOLE	4'-0"	4'-0"	459.2	459.1	446.70	H.C. DPW STD DIL. 65.12 STD	4'-0"	4'-0"	459.00	446.07	120'	
	104	MANHOLE	4'-0"	4'-0"	464.0	463.9	465.8	H.C. DPW STD DIL. 65.12 STD	4'-0"	4'-0"	463.50	463.41	91'	
	105	MANHOLE	4'-0"	4'-0"	467.0	466.9	446.84	H.C. DPW STD DIL. 65.12 STD	4'-0"	4'-0"	466.47	446.34	91'	
	106	MANHOLE	4'-0"	4'-0"	467.4	467.3	444.98	H.C. DPW STD DIL. 65.12 STD	4'-0"	4'-0"	467.33	445.30		

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STRUCTURE SCHEDULE

STRUCTURE SCHEDULE												AS-BUILT		
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	70	MANHOLE	4'-0"	4'-0"	464.0	463.9	465.5	H.C. DPW STD DIL. 65.12 STD	4'-0"	4'-0"	463.70	463.2	57'	
	71	MANHOLE	4'-0"	4'-0"	464.0	463.9	465.7	H.C. DPW STD DIL. 65.12 STD	4'-0"	4'-0"	463.41	463.2	61'	
	72	MANHOLE	4'-0"	4'-0"	460.4	460.0	463.5	H.C. DPW STD DIL. 65.12 STD	4'-0"	4'-0"	462.17	463.46	59'	
	73	STORMCEPTOR 2400	8'-0"	4'-0"	461.0	460.8	453.03	SEE DETAIL THIS SHEET	8'-0"	4'-0"	461.07	463.09	24"	
	10100	TRENCH BRIM	-	-	449.1	447.91	REF. TO MECHANICAL PLANS		-	-	448.21	447.47	66'	
	10101	TRENCH BRIM	-	-	453.3	447.12	REF. TO MECHANICAL PLANS		-	-	452.04	451.05	53'	
	102	STORMCEPTOR 2400	8'-0"	4'-0"	456.6	456.5	446.89	SEE DETAIL THIS SHEET	8'-0"	4'-0"	456.52	446.07	36'	
	103	MANHOLE	4'-0"	4'-0"	459.2	459.1	446.70	H.C. DPW STD DIL. 65.12 STD	4'-0"	4'-0"	459.00	446.07	120'	
	104	MANHOLE	4'-0"	4'-0"	464.0	463.9	465.8	H.C. DPW STD DIL. 65.12 STD	4'-0"	4'-0"	463.50	463.41	91'	
	105	MANHOLE	4'-0"	4'-0"	467.0	466.9	446.84	H.C. DPW STD DIL. 65.12 STD	4'-0"	4'-0"	466.47	446.34	91'	
	106	MANHOLE	4'-0"	4'-0"	467.4	467.3	444.98	H.C. DPW STD DIL. 65.12 STD	4'-0"	4'-0"	467.33	445.30		

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DATE	NO.	REVISION DESCRIPTION

PROJECT: HOWARD COUNTY GENERAL HOSPITAL TOWN CENTER SECTION 8 - AREA 2 - LOT 4

OWNER/DEVELOPER: HOWARD COUNTY GENERAL HOSPITAL, INC. 5755 CEDAR LANE COLUMBIA, MARYLAND 21044

**JOYCE ENGINEERING CORPORATION**  
CIVIL ENGINEERING LAND SURVEYING LAND PLANNING CONSTRUCTION MANAGEMENT  
10766 BATHURST AVENUE, BETHESDA, MARYLAND 20814  
TEL: (301) 995-4353 FAX: (301) 995-4650 WEB: www.joyceeng.com

ADDRESS CHART

LOT/PARCEL	STREET ADDRESS
4/276	5755 CEDAR LANE ~ COLUMBIA, MARYLAND 21044 - HOSPITAL
4/276	5757 CEDAR LANE ~ COLUMBIA, MARYLAND 21044 - PARKING GARAGE

PERMIT INFORMATION CHART

SUBDIVISION	SECTION/AREA	LOT/PARCEL #			
HIGH TOWN CENTER	8/2	4/276			
PLAT OR L/F	BLOCK #	TAX/ZONE MAP	ELECT. DISTRICT	CENSUS TRACT	
18628	5	FOR/NT	35	5TH	6053.02
WATER CODE	SEWER CODE				
106	5522500				

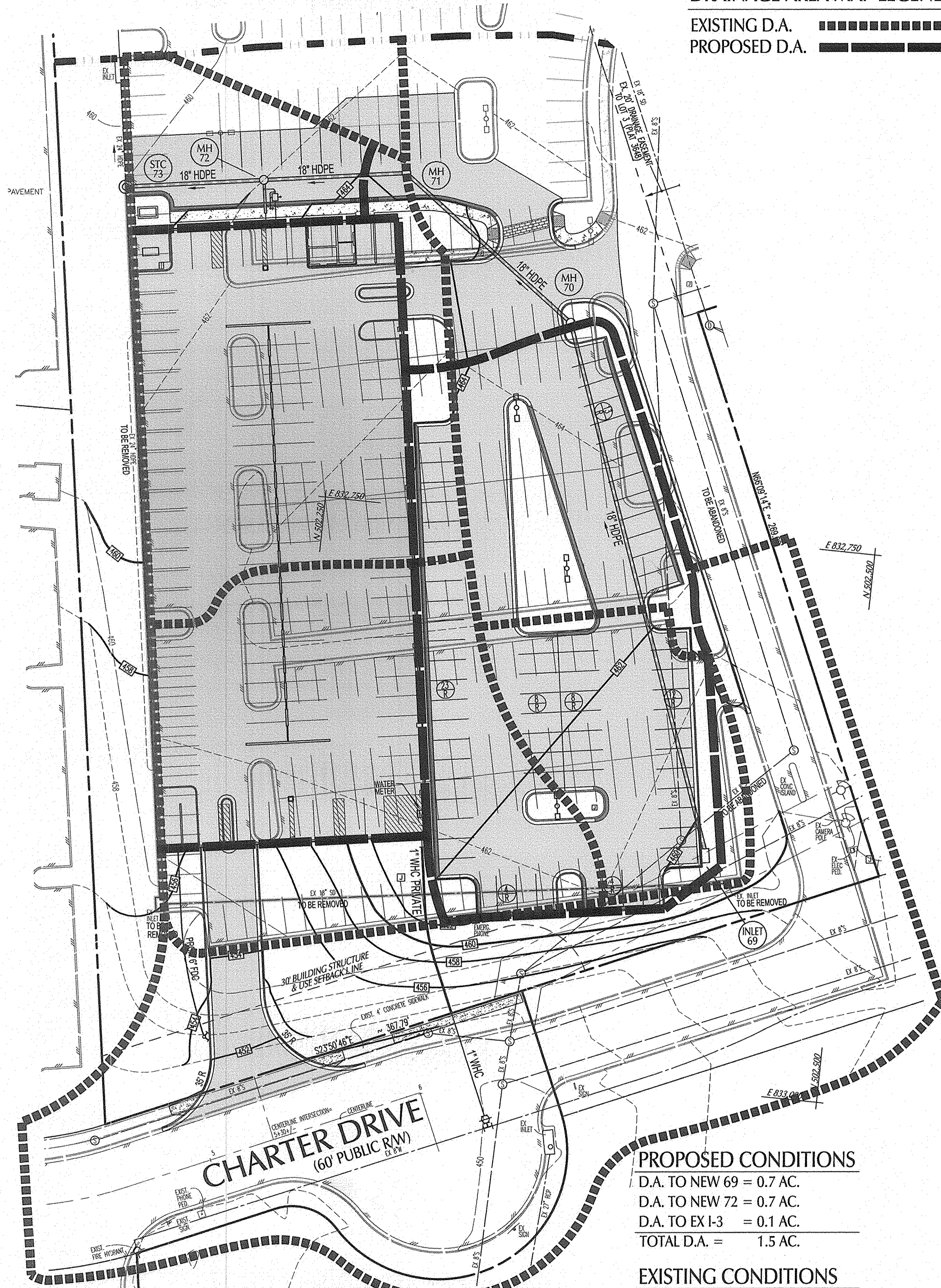
TITLE: STORM DRAIN & WATER CONNECTION PROFILES & NOTES FOR PARKING GARAGE ADDITION

DES BY: WAJ SCALE: 1" = 50' PROJ. NO. 990151  
DRN BY: HAL DATE: OCT, 2006  
CHK BY: JEC APPROVED: WAJ 8 OF 13



**DRAINAGE AREA MAP LEGEND**

EXISTING D.A.   
 PROPOSED D.A.



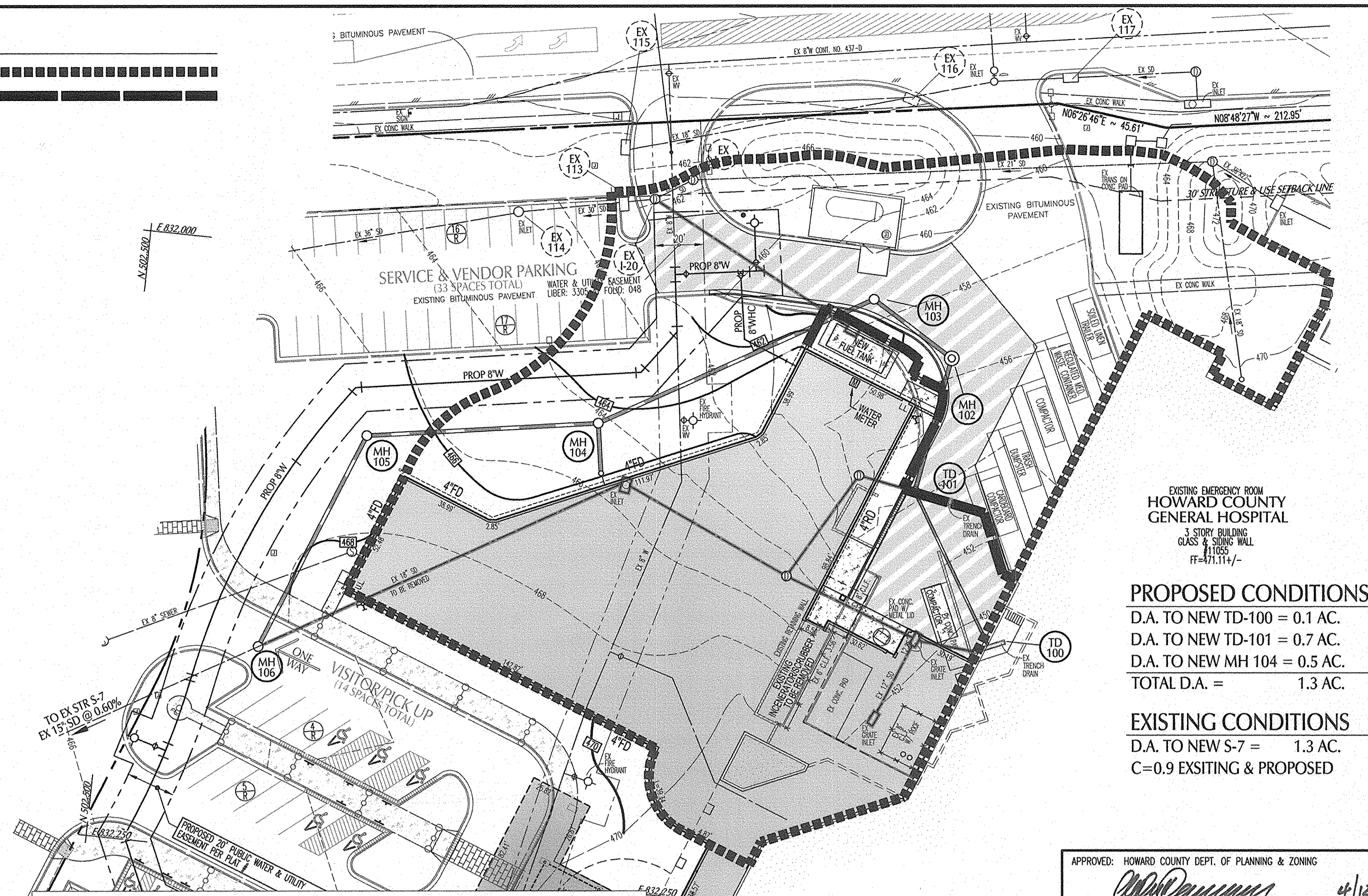
**D.A. IN CHARTER DRIVE**  
 PROP D.A. TO EXISTING INLET = 1.2 AC.  
 EX. D.A. TO EXISTING INLET = 1.1 AC.  
 C=0.9 EXISTING

**DRAINAGE AREA MAP FOR PARKING GARAGE**

EXISTING D.A. TO I-3 = 1.5 AC.  
 PROPOSED D.A. TO I-3 = 1.5 AC.

**PROPOSED CONDITIONS**  
 D.A. TO NEW 69 = 0.7 AC.  
 D.A. TO NEW 72 = 0.7 AC.  
 D.A. TO EX I-3 = 0.1 AC.  
 TOTAL D.A. = 1.5 AC.

**EXISTING CONDITIONS**  
 D.A. TO EX 1-5 = 0.2 AC.  
 D.A. TO EX 1-4 = 0.6 AC.  
 D.A. TO EX 1-3 = 0.7 AC.  
 TOTAL D.A. = 1.5 AC.  
 C=0.9 EXISTING



**JOYCE ENGINEERING CORPORATION**  
 CIVIL ENGINEERING • LAND SURVEYING • LAND PLANNING • CONSTRUCTION MANAGEMENT  
 10766 BALTIMORE AVENUE • BELTSVILLE, MARYLAND 20705  
 TEL: (301) 595-4353 FAX: (301) 595-4650 WEB: www.joyceeng.com

**HOWARD COUNTY GENERAL HOSPITAL - TOWER**  
 STORMWATER CONVEYANCE SYSTEM COMPUTATIONS

Station	Inlet	Outlet	Flow (cfs)	Velocity (ft/s)	Time (min)	Loss (ft)	Notes
100+00	100+00	100+10	1.0	1.5	4.0	0.0	18" HDPE
100+10	100+10	100+20	1.0	1.5	4.0	0.0	18" HDPE
100+20	100+20	100+30	1.0	1.5	4.0	0.0	18" HDPE
100+30	100+30	100+40	1.0	1.5	4.0	0.0	18" HDPE
100+40	100+40	100+50	1.0	1.5	4.0	0.0	18" HDPE
100+50	100+50	100+60	1.0	1.5	4.0	0.0	18" HDPE
100+60	100+60	100+70	1.0	1.5	4.0	0.0	18" HDPE
100+70	100+70	100+80	1.0	1.5	4.0	0.0	18" HDPE
100+80	100+80	100+90	1.0	1.5	4.0	0.0	18" HDPE
100+90	100+90	100+100	1.0	1.5	4.0	0.0	18" HDPE

**DRAINAGE AREA MAP FOR TOWER AND CANOPY**

EXISTING D.A. TO S-7 = 1.3 AC.  
 PROPOSED D.A. TO S-7 = 1.3 AC.

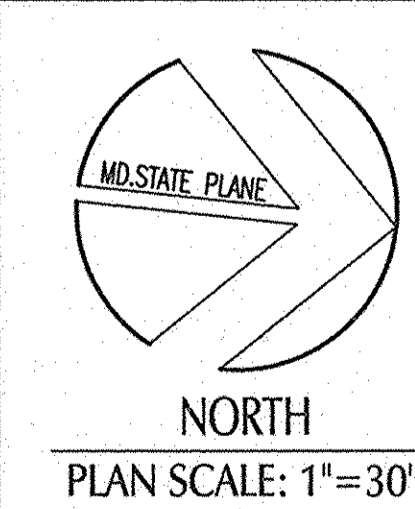
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5 OF 13	SITE DEVELOPMENT, GRADING AND LANDSCAPE DETAILS
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7 OF 13	STORM DRAIN PLAN & WATER CONNECTION FOR PARKING GARAGE
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13 OF 13	SIGNAGE AND PAVEMENT MARKING PLAN (CEDAR LANE)

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 www.missutility.net/utics

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ELECTRONIC FILE DISCLAIMER: THE INFORMATION CONTAINED HEREON WAS PREPARED AS AN ELECTRONIC "CAD" FILE BY JOYCE ENGINEERING CORPORATION (JEC). JEC HAS TAKEN REASONABLE STEPS TO ASSURE THE ACCURACY OF THE INFORMATION CONTAINED IN THE ELECTRONIC FILE. HOWEVER, JEC CANNOT GUARANTEE THAT CHANGES AND/OR ALTERATIONS HAVE NOT BEEN MADE TO THE FILE. NO RELIANCE ON THE INFORMATION CONTAINED HEREON SHALL BE MADE UNLESS THE INFORMATION IS FIRST COMPARED TO THE SIGNED ORIGINAL DOCUMENT. JEC SHALL ASSUME NO LIABILITY OR RESPONSIBILITY, AND DOES NOT GRANT ANY WARRANTY, EXPRESSED OR IMPLIED, CONCERNING THE ACCURACY OF ANY INFORMATION THAT HAS BEEN TRANSMITTED OR RECEIVED VIA COMPUTER OR OTHER ELECTRONIC MEANS. IF VERIFICATION OF THE INFORMATION CONTAINED HEREON, OR IF THE ELECTRONIC FILE USED TO CREATE THIS DOCUMENT IS REQUIRED, PLEASE CONTACT JEC DIRECTLY. THIS DOCUMENT CONTAINS PROPRIETARY INFORMATION AND SHALL NOT BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM INCLUDING ELECTRONIC OR PHOTO REPRODUCTION WITHOUT THE EXPRESS WRITTEN PERMISSION OF JEC. BY ACCEPTANCE OF THIS DOCUMENT, THE RECIPIENT ACKNOWLEDGES ACCEPTANCE OF THE ABOVE TERMS AND CONDITIONS.



DATE: 04.03.07  
 PROFESSIONAL ENGINEER NO. 27729

EXISTING EMERGENCY ROOM  
 HOWARD COUNTY GENERAL HOSPITAL  
 3 STORY BUILDING  
 GLASS & SHING WALL  
 11055  
 FF=471.114/-

**PROPOSED CONDITIONS**  
 D.A. TO NEW TD-100 = 0.1 AC.  
 D.A. TO NEW TD-101 = 0.7 AC.  
 D.A. TO NEW MH 104 = 0.5 AC.  
 TOTAL D.A. = 1.3 AC.

**EXISTING CONDITIONS**  
 D.A. TO NEW S-7 = 1.3 AC.  
 C=0.9 EXISTING & PROPOSED

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING  
 [Signature] 4/12/07 DATE  
 [Signature] 4/17/07 DATE  
 [Signature] 4/17/07 DATE

DATE NO. REVISION DESCRIPTION  
 PROJECT: HOWARD COUNTY GENERAL HOSPITAL TOWN CENTER SECTION 8 - AREA 2 - LOT 4  
 OWNER/DEVELOPER: HOWARD COUNTY GENERAL HOSPITAL, INC. 5755 CEDAR LANE COLUMBIA, MARYLAND 21044

**JOYCE ENGINEERING CORPORATION**  
 CIVIL ENGINEERING • LAND SURVEYING • LAND PLANNING • CONSTRUCTION MANAGEMENT  
 10766 BALTIMORE AVENUE • BELTSVILLE, MARYLAND 20705  
 TEL: (301) 595-4353 FAX: (301) 595-4650 WEB: www.joyceeng.com

ADDRESS CHART

LOT/PARCEL	STREET ADDRESS
4/276	5755 CEDAR LANE ~ COLUMBIA, MARYLAND 21044 - HOSPITAL
4/276	5757 CEDAR LANE ~ COLUMBIA, MARYLAND 21044 - PARKING GARAGE

PERMIT INFORMATION CHART

SUBDIVISION	SECTION/AREA	LOT/PARCEL #
HIGH TOWN CENTER	8/2	4/276
PLAT OR L/F	BLOCK #	ZONE
18628	5	ROR/NT
WATER CODE	SEWER CODE	CENSUS TRACT
106	5522500	6053.02

TITLE: DRAINAGE AREA MAP FOR HOSPITAL TOWER, CANOPY, AND PARKING GARAGE ADDITION

DES BY WAJ	SCALE 1" = 30'	PROJ. NO. 69015L
DRN BY HAL	DATE OCT, 2006	9 OF 13
CHK BY JEC	APPROVED WAJ	

**SHEET INDEX**

- 1 OF 13 COVER SHEET FOR SITE DEVELOPMENT & GRADING FOR HOSPITAL TOWER AND CANOPY
- 2 OF 13 SITE DEVELOPMENT & GRADING FOR HOSPITAL TOWER, AND CANOPY
- 3 OF 13 SITE DEVELOPMENT & GRADING FOR HOSPITAL PARKING GARAGE
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- 5 OF 13 SITE DEVELOPMENT, GRADING AND LANDSCAPE DETAILS
- 6 OF 13 STORM DRAIN PLAN FOR HOSPITAL TOWER, AND CANOPY
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**NOTES:**  
 STORMWATER MANAGEMENT (QUANTITY & QUALITY) IS PROVIDED BY AN ON-SITE STORM WATER MANAGEMENT POND DESIGN, APPROVED AND CONSTRUCTED PER SDP-95-114. THE FACILITY IS OWNED AND OPERATED BY THE HOWARD COUNTY GENERAL HOSPITAL. THE ORIGINAL APPROVED FACILITY WAS DESIGNED FOR A TOTAL IMPERVIOUS AREA OF 611,029 SQUARE FEET. THE CURRENT PLAN REFLECTS A TOTAL NET DECREASE OF IMPERVIOUS AREA OF 42,806 SQUARE FEET OR 0.98 ACRES.  
 FOR SITE DEVELOPMENT LEGEND, REFER TO SHEET 3 OF 12.  
 EXISTING LANDSCAPING AND PARKING LOT LIGHTING ARE PER PRIOR SDP-95-114 & SDP-00-072.

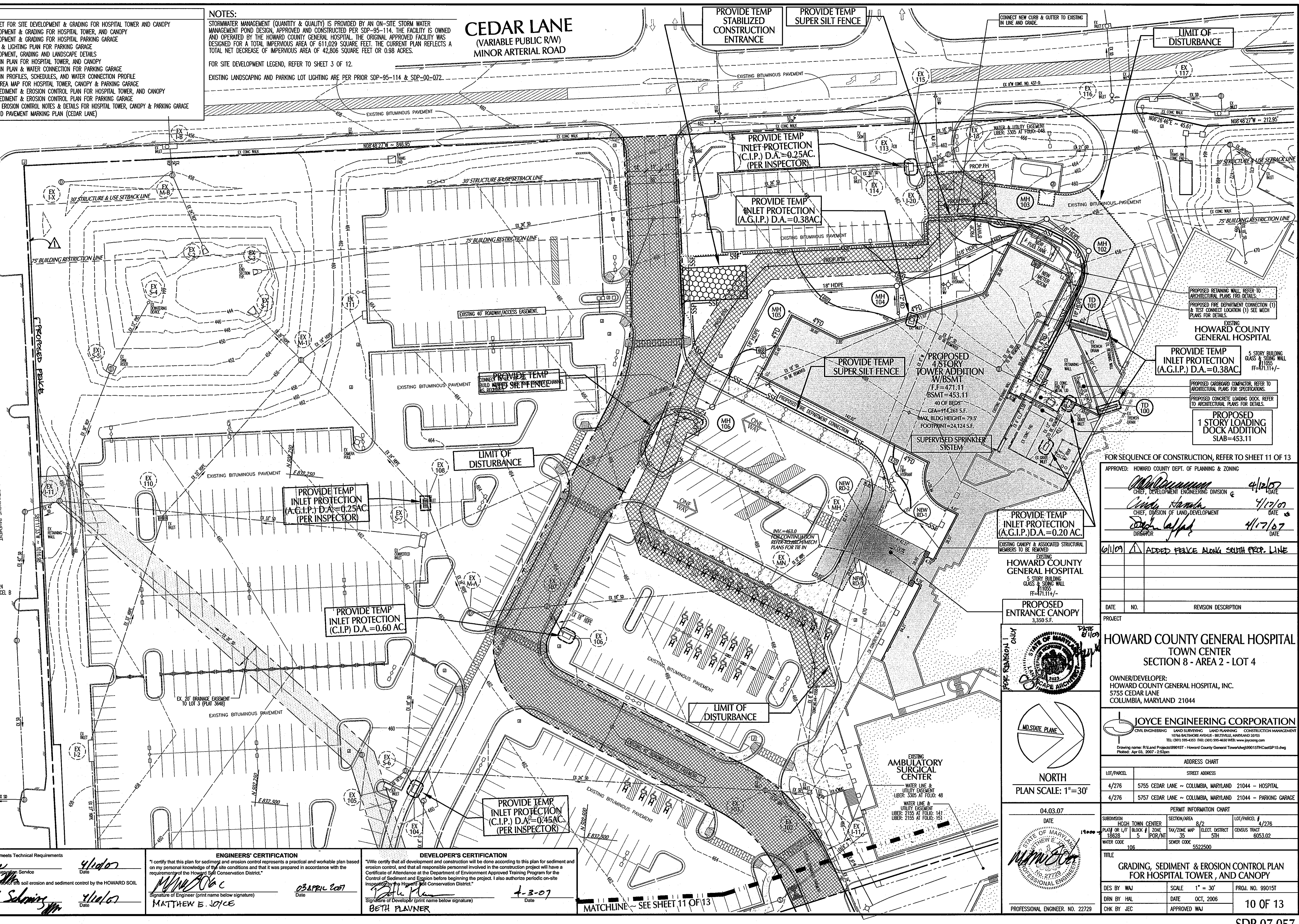
**CEDAR LANE**  
 (VARIABLE PUBLIC R/W)  
 MINOR ARTERIAL ROAD

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**"MISS UTILITY"**  
 Service Protection Center  
 MEMBER  
 ONE CALL SYSTEMS INTERNATIONAL  
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N/F  
 COLUMBIA TOWN CENTER  
 LOTS B-1 THRU B-24  
 A RESUBDIVISION OF PARCEL B SECTION 8 AREA 4 PLAT No. 4883 ZONE: NT



Reviewed for Howard SCD and meets Technical Requirements  
 Signature of Engineer (print name below signature)  
 Date  
 Signature of Developer (print name below signature)  
 Date

**ENGINEERS' CERTIFICATION**  
 "I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."  
 Signature of Engineer (print name below signature)  
 Date

**DEVELOPER'S CERTIFICATION**  
 "We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at the Department of Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspections by the Howard Soil Conservation District."  
 Signature of Developer (print name below signature)  
 Date

FOR SEQUENCE OF CONSTRUCTION, REFER TO SHEET 11 OF 13

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

Signature	4/12/07
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
Signature	4/17/07
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
Signature	4/17/07
DIRECTOR	DATE

DATE	NO.	REVISION DESCRIPTION
01/09	1	ADDED FENCE ALONG SOUTH PROP. LINE

**HOWARD COUNTY GENERAL HOSPITAL TOWN CENTER SECTION 8 - AREA 2 - LOT 4**

OWNER/DEVELOPER:  
 HOWARD COUNTY GENERAL HOSPITAL, INC.  
 5755 CEDAR LANE  
 COLUMBIA, MARYLAND 21044

**JOYCE ENGINEERING CORPORATION**  
 CIVIL ENGINEERING LAND SURVEYING LAND PLANNING CONSTRUCTION MANAGEMENT  
 10766 BALTIMORE AVENUE - BELTSVILLE, MARYLAND 20705  
 TEL: (301) 595-4353 FAX: (301) 595-4650 WEB: www.joyceeng.com  
 Drawing name: R14.Land Projects\990197 - Howard County General Town\Hw9015TH\CDSP10.dwg  
 Plotted: Apr 03, 2007 - 2:55pm

ADDRESS CHART

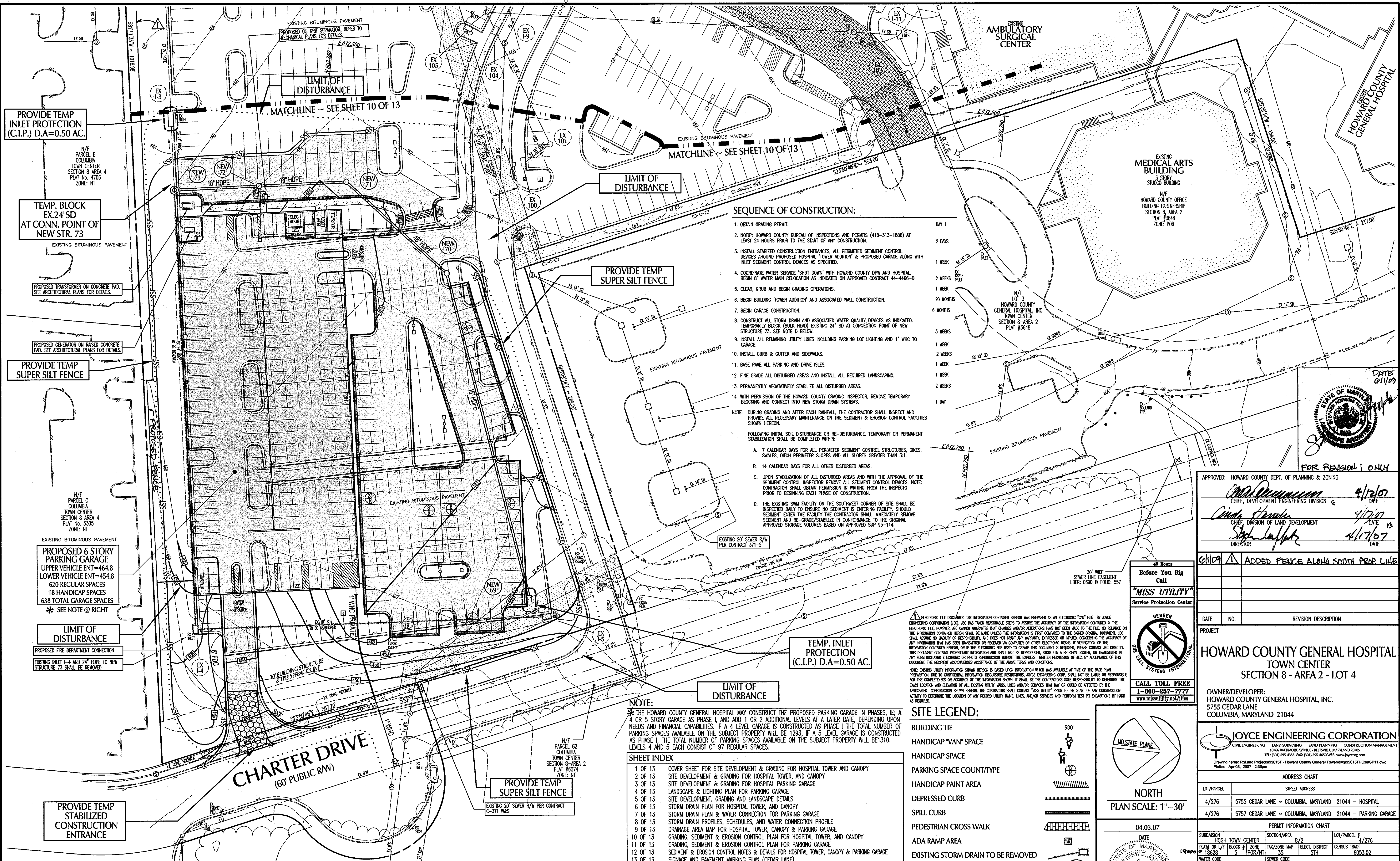
LOT/PARCEL	STREET ADDRESS
4/276	5755 CEDAR LANE ~ COLUMBIA, MARYLAND 21044 - HOSPITAL
4/276	5757 CEDAR LANE ~ COLUMBIA, MARYLAND 21044 - PARKING GARAGE

PERMIT INFORMATION CHART

SUBDIVISION	SECTION/AREA	LOT/PARCEL #
HCHG TOWN CENTER	8/2	4/276
PLAT OR L/F	TAX/ZONE MAP	ELECT. DISTRICT
18678	5 (ROR/NT)	5TH
WATER CODE	SEWER CODE	CENSUS TRACT
106	5522500	8053.02

**GRADING, SEDIMENT & EROSION CONTROL PLAN FOR HOSPITAL TOWER, AND CANOPY**

DES BY WAJ	SCALE 1" = 30'	PROJ. NO. 99015T
DRN BY HAL	DATE OCT, 2006	10 OF 13
CHK BY JEC	APPROVED WAJ	



**SEQUENCE OF CONSTRUCTION:**

1. OBTAIN GRADING PERMIT. DAY 1
2. NOTIFY HOWARD COUNTY BUREAU OF INSPECTIONS AND PERMITS (410-313-1880) AT LEAST 24 HOURS PRIOR TO THE START OF ANY CONSTRUCTION. 2 DAYS
3. INSTALL STABILIZED CONSTRUCTION ENTRANCES, ALL PERIMETER SEDIMENT CONTROL DEVICES AROUND PROPOSED HOSPITAL TOWER ADDITION & PROPOSED GARAGE ALONG WITH INLET SEDIMENT CONTROL DEVICES AS SPECIFIED. 1 WEEK
4. COORDINATE WATER SERVICE 'SHUT DOWN' WITH HOWARD COUNTY DPW AND HOSPITAL. BEGIN 8" WATER MAIN RELOCATION AS INDICATED ON APPROVED CONTRACT 44-4466-D. 2 WEEKS
5. CLEAR, GRUB AND BEGIN GRADING OPERATIONS. 1 WEEK
6. BEGIN BUILDING TOWER ADDITION AND ASSOCIATED WALL CONSTRUCTION. 20 MONTHS
7. BEGIN GARAGE CONSTRUCTION. 6 MONTHS
8. CONSTRUCT ALL STORM DRAIN AND ASSOCIATED WATER QUALITY DEVICES AS INDICATED. TEMPORARILY BLOCK (BULK HEAD) EXISTING 24" SD AT CONNECTION POINT OF NEW STRUCTURE 73. SEE NOTE D BELOW. 3 WEEKS
9. INSTALL ALL REMAINING UTILITY LINES INCLUDING PARKING LOT LIGHTING AND 1" WHC TO GARAGE. 1 WEEK
10. INSTALL CURB & GUTTER AND SIDEWALKS. 2 WEEKS
11. BASE PAVE ALL PARKING AND DRIVE ISLES. 1 WEEK
12. FINE GRADE ALL DISTURBED AREAS AND INSTALL ALL REQUIRED LANDSCAPING. 1 WEEK
13. PERMANENTLY VEGETATIVELY STABILIZE ALL DISTURBED AREAS. 2 WEEKS
14. WITH PERMISSION OF THE HOWARD COUNTY GRADING INSPECTOR, REMOVE TEMPORARY BLOCKING AND CONNECT INTO NEW STORM DRAIN SYSTEMS. 1 DAY

NOTE: DURING GRADING AND AFTER EACH RAINFALL, THE CONTRACTOR SHALL INSPECT AND PROVIDE ALL NECESSARY MAINTENANCE ON THE SEDIMENT & EROSION CONTROL FACILITIES SHOWN HEREON.

FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, TEMPORARY OR PERMANENT STABILIZATION SHALL BE COMPLETED WITHIN:

- A. 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, SWALES, DITCH PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1.
- B. 14 CALENDAR DAYS FOR ALL OTHER DISTURBED AREAS.
- C. UPON STABILIZATION OF ALL DISTURBED AREAS AND WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR REMOVE ALL SEDIMENT CONTROL DEVICES. NOTE: CONTRACTOR SHALL OBTAIN PERMISSION IN WRITING FROM THE INSPECTOR PRIOR TO BEGINNING EACH PHASE OF CONSTRUCTION.
- D. THE EXISTING SWM FACILITY ON THE SOUTHWEST CORNER OF SITE SHALL BE INSPECTED DAILY TO ENSURE NO SEDIMENT IS ENTERING FACILITY. SHOULD SEDIMENT ENTER THE FACILITY THE CONTRACTOR SHALL IMMEDIATELY REMOVE SEDIMENT AND RE-GRADE/STABILIZE IN CONFORMANCE TO THE ORIGINAL APPROVED STORAGE VOLUMES BASED ON APPROVED SDP 95-114.

NOTE: THE HOWARD COUNTY GENERAL HOSPITAL MAY CONSTRUCT THE PROPOSED PARKING GARAGE IN PHASES, I.E. A 4 OR 5 STORY GARAGE AS PHASE 1, AND ADD 1 OR 2 ADDITIONAL LEVELS AT A LATER DATE, DEPENDING UPON NEEDS AND FINANCIAL CAPABILITIES. IF A 4 LEVEL GARAGE IS CONSTRUCTED AS PHASE 1 THE TOTAL NUMBER OF PARKING SPACES AVAILABLE ON THE SUBJECT PROPERTY WILL BE 1293. IF A 5 LEVEL GARAGE IS CONSTRUCTED AS PHASE 1, THE TOTAL NUMBER OF PARKING SPACES AVAILABLE ON THE SUBJECT PROPERTY WILL BE 1310. LEVELS 4 AND 5 EACH CONSIST OF 97 REGULAR SPACES.

**NOTE:**

THE HOWARD COUNTY GENERAL HOSPITAL MAY CONSTRUCT THE PROPOSED PARKING GARAGE IN PHASES, I.E. A 4 OR 5 STORY GARAGE AS PHASE 1, AND ADD 1 OR 2 ADDITIONAL LEVELS AT A LATER DATE, DEPENDING UPON NEEDS AND FINANCIAL CAPABILITIES. IF A 4 LEVEL GARAGE IS CONSTRUCTED AS PHASE 1 THE TOTAL NUMBER OF PARKING SPACES AVAILABLE ON THE SUBJECT PROPERTY WILL BE 1293. IF A 5 LEVEL GARAGE IS CONSTRUCTED AS PHASE 1, THE TOTAL NUMBER OF PARKING SPACES AVAILABLE ON THE SUBJECT PROPERTY WILL BE 1310. LEVELS 4 AND 5 EACH CONSIST OF 97 REGULAR SPACES.

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EXISTING LANDSCAPING AND PARKING LOT LIGHTING ARE PER PRIOR SDP-95-114 & SDP-00-072

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

*[Signature]* 4/2/07  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*[Signature]* 4/2/07  
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*[Signature]* 4/17/07  
 DIRECTOR DATE

DATE 01/09

FOR REVIEW ONLY

48 Hours

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**"MISS UTILITY"**

Service Protection Center

MEMBER

THE MISS UTILITY INTERNATIONAL

CALL TOLL FREE

1-800-257-7777

www.missutility.net/miss

DATE NO. REVISION DESCRIPTION

PROJECT

**HOWARD COUNTY GENERAL HOSPITAL**

TOWN CENTER

SECTION 8 - AREA 2 - LOT 4

OWNER/DEVELOPER:

HOWARD COUNTY GENERAL HOSPITAL, INC.

5755 CEDAR LANE

COLUMBIA, MARYLAND 21044

**JOYCE ENGINEERING CORPORATION**

CIVIL ENGINEERING LAND SURVEYING LAND PLANNING CONSTRUCTION MANAGEMENT

10766 BALTIMORE AVENUE - BELTSVILLE, MARYLAND 20705

TEL: (301) 395-4353 FAX: (301) 395-4650 WEB: www.joyceeng.com

Drawing name: R:\Land Projects\990157 - Howard County General Tower\990157HC06SP11.dwg

Printed: Apr 03, 2007 - 2:55pm

ADDRESS CHART

STREET ADDRESS

LOT/PARCEL

4/276 5755 CEDAR LANE ~ COLUMBIA, MARYLAND 21044 - HOSPITAL

4/276 5757 CEDAR LANE ~ COLUMBIA, MARYLAND 21044 - PARKING GARAGE

04.03.07

DATE

PERMIT INFORMATION CHART

SUBDIVISION HIGH TOWN CENTER SECTION/AREA 8/2 LOT/PARCEL # 4/276

PLAT OR L/F BLOCK # ZONE TAX/ZONE MAP ELEC. DISTRICT CENSUS TRACT

18628 5 (POB/NT) 35 5TH 8053.02

WATER CODE 106 SEWER CODE 5522500

TITLE

**GRADING, SEDIMENT & EROSION CONTROL PLAN FOR PARKING GARAGE ADDITION**

DES BY WAJ SCALE 1" = 30' PROJ. NO. 89015L

DRN BY HAL DATE OCT, 2006 11 OF 13

CHK BY JEC APPROVED WAJ

PROFESSIONAL ENGINEER, NO. 22729

Reviewed for Howard SCD and meets Technical Requirements

*[Signature]* 4/16/07  
 Date

1763-A - Natural Resources Consulting Service

This development plan is approved for the soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT

*[Signature]* 4/16/07  
 Date

**ENGINEERS' CERTIFICATION**

"I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

*[Signature]* 07 APRIL 2007  
 Date

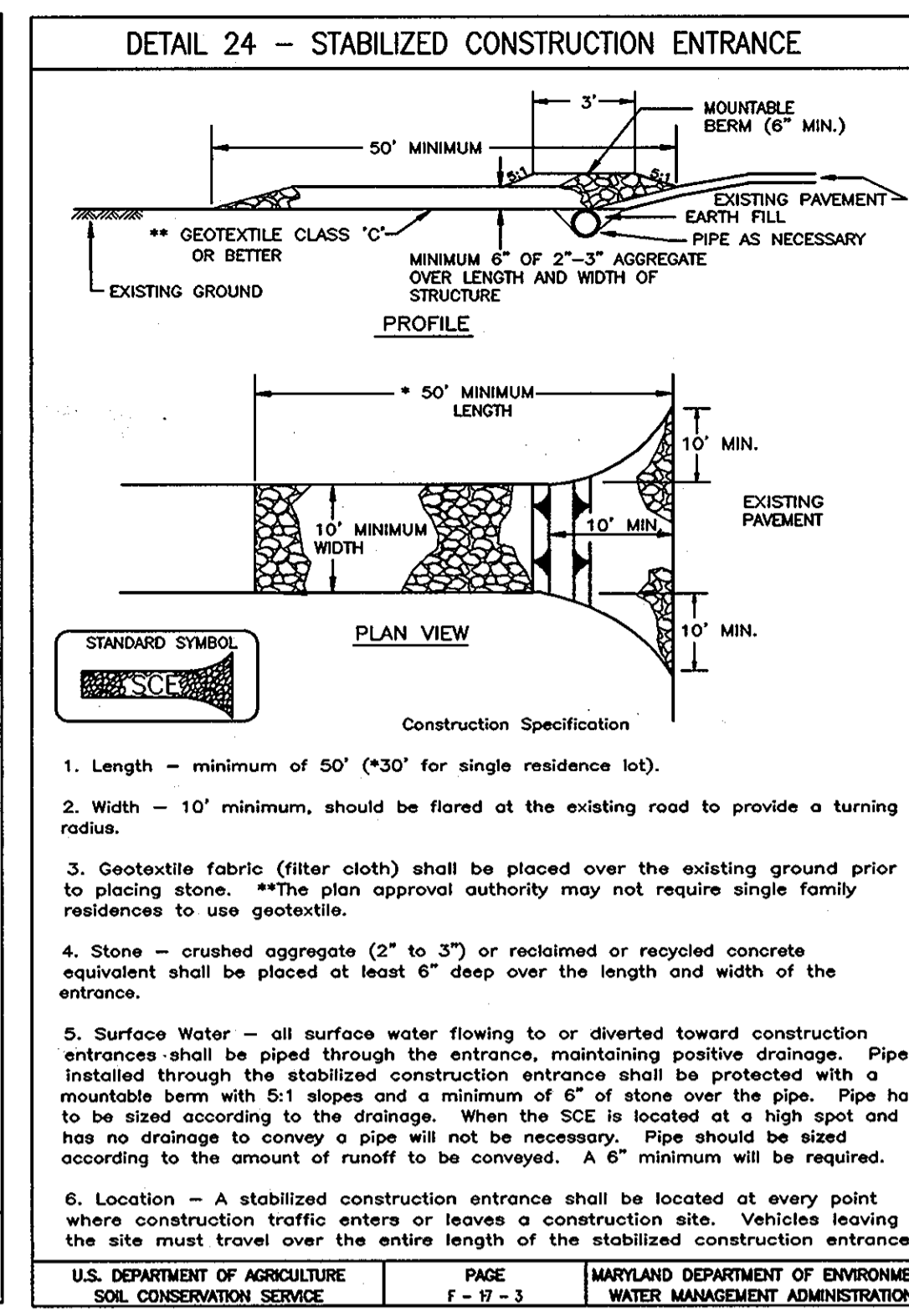
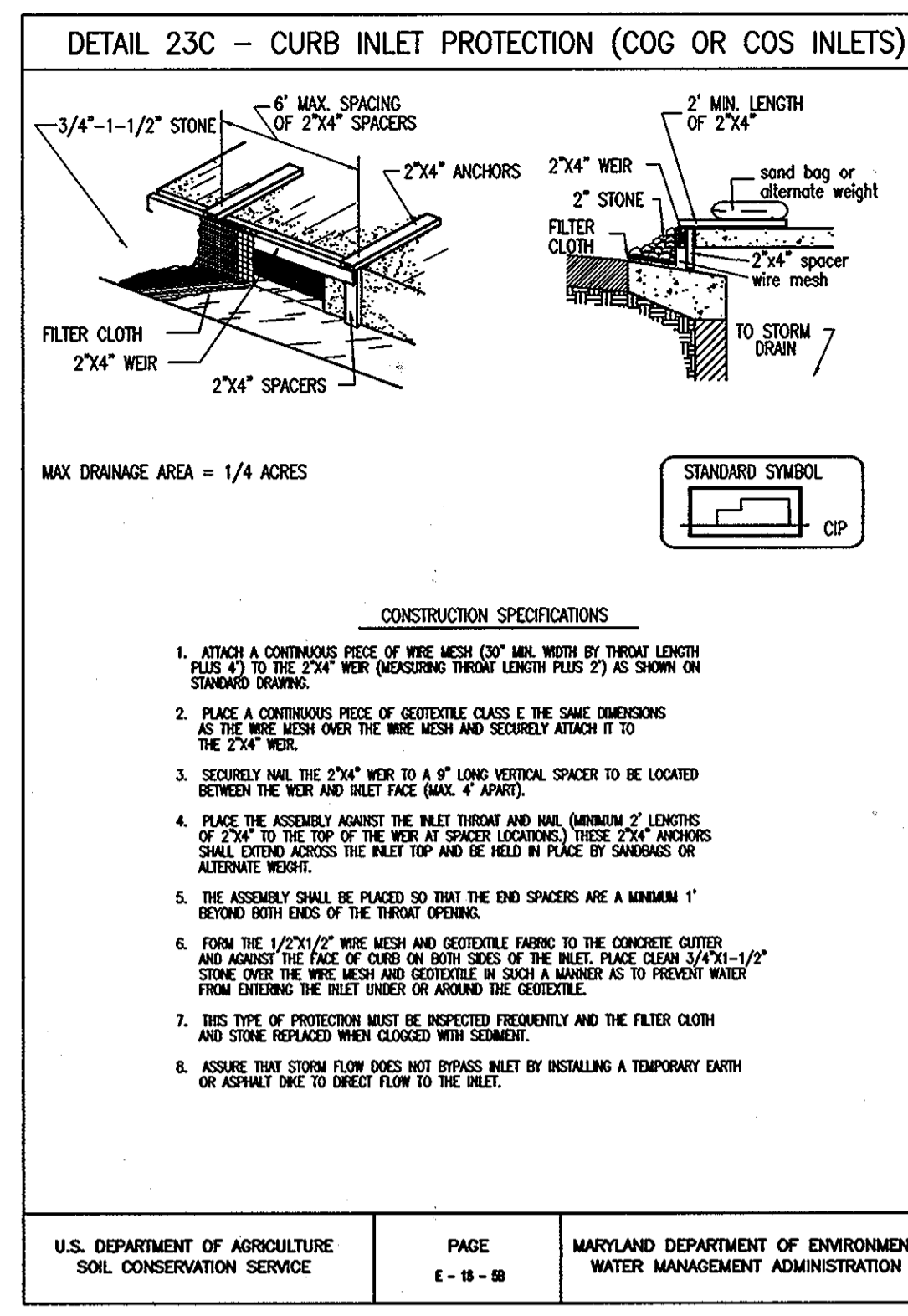
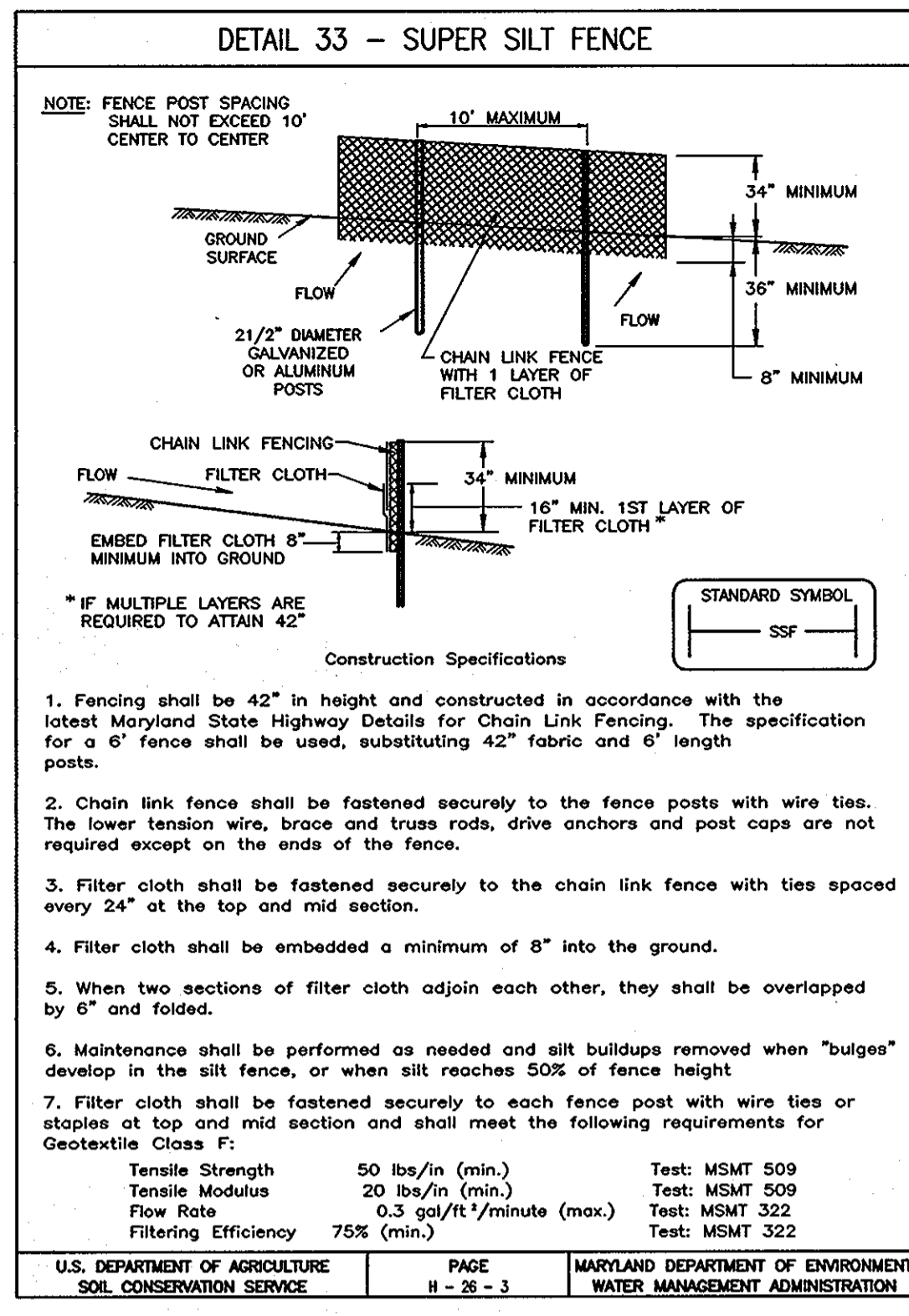
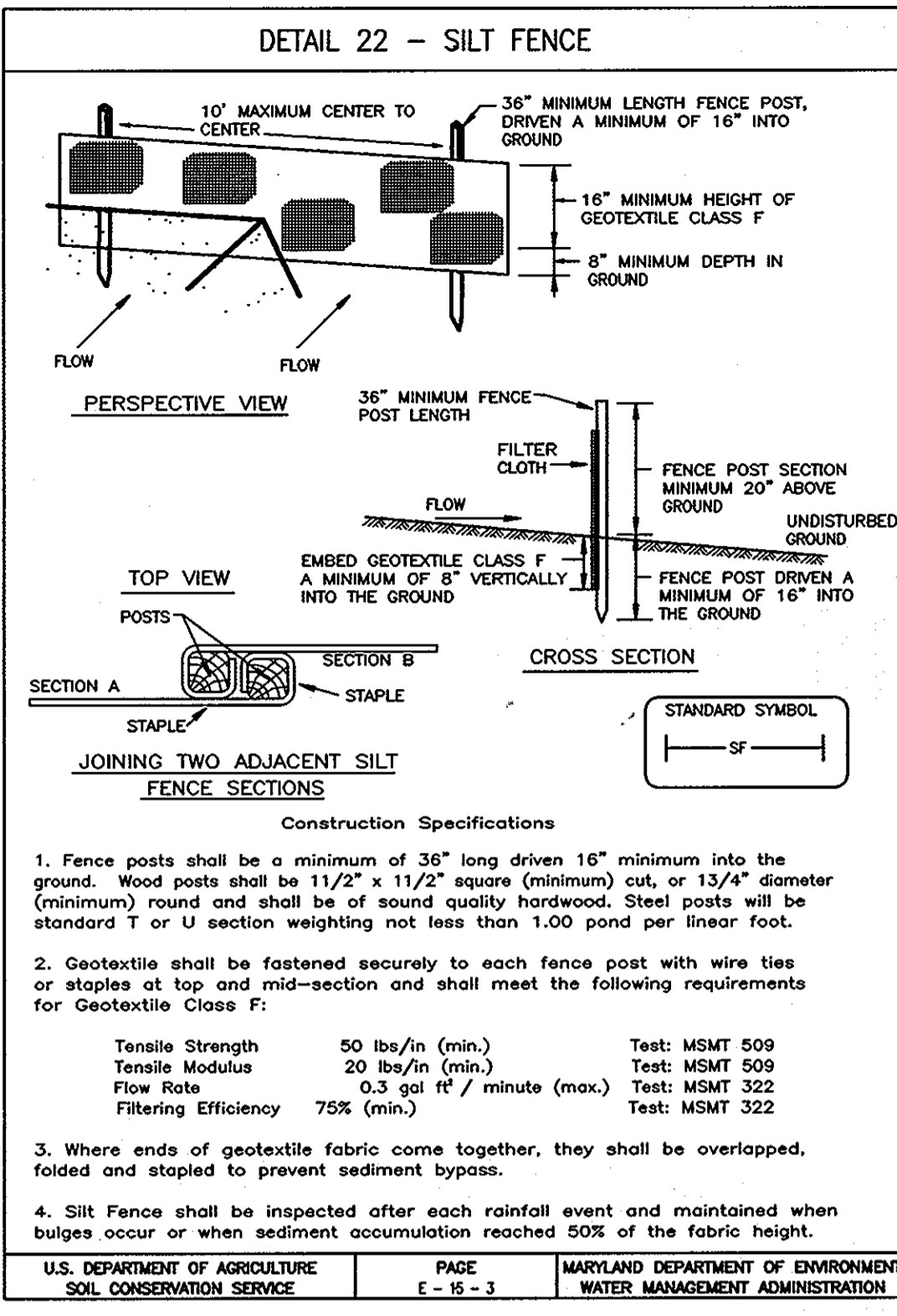
MATTHEW E. JOYCE  
 Signature of Engineer (print name below signature)

**DEVELOPER'S CERTIFICATION**

"We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at the Department of Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

*[Signature]* 4-3-07  
 Date

BETH PLAYNER  
 Signature of Developer (print name below signature)



### HOWARD SOIL CONSERVATION DISTRICT STANDARD SEDIMENT CONTROL NOTES

- A minimum of 48 hours notice must be given to the Howard County Department of Inspections, Licenses and Permits, Sediment Control Division prior to the start of any construction (313-1855).
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the most current MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL and revisions thereto.
- Following initial soil disturbance or re-disturbance, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol 1, Chapter 12 of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding (Sec. 51), sod (Sec. 54), temporary seeding (Sec. 50) and mulching (Sec. 52). Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:
  - Total Area of Site: 19,536 Acres
  - Area Disturbed: 4,180 Acres
  - Area to be roofed or paved: 2,250 Acres
  - Area to be vegetatively stabilized: 1,700 Acres
  - Total Cut: 13,850 Cu. Yds.
  - Total Fill: 1,000 Cu. Yds.
  - Offsite waste/borrow area location: Laurel Sand and Gravel, Vann Dusen Road. Note: Must have approved and active Sediment & Erosion Control Grading Plan/Permit
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment control must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
- Trenches for the construction of utilities is limited to three pipe lengths or that which shall be back-filled and stabilized by the end of each work day, whichever is shorter.

Rev. 9/99

### SILT FENCE

Silt Fence Design Criteria

Slope Steepness	(Maximum) Slope Length	(Maximum) Silt Fence Length
Flatter than 50:1	unlimited	unlimited
50:1 to 10:1	125 feet	1,000 feet
10:1 to 5:1	100 feet	750 feet
5:1 to 3:1	60 feet	500 feet
3:1 to 2:1	40 feet	250 feet
2:1 and steeper	20 feet	125 feet

Note: In areas of less than 2% slope and sandy soils (USDA general classification system, soil Class A) maximum slope length and silt fence length will be unlimited. In these areas a silt fence may be the only perimeter control required.

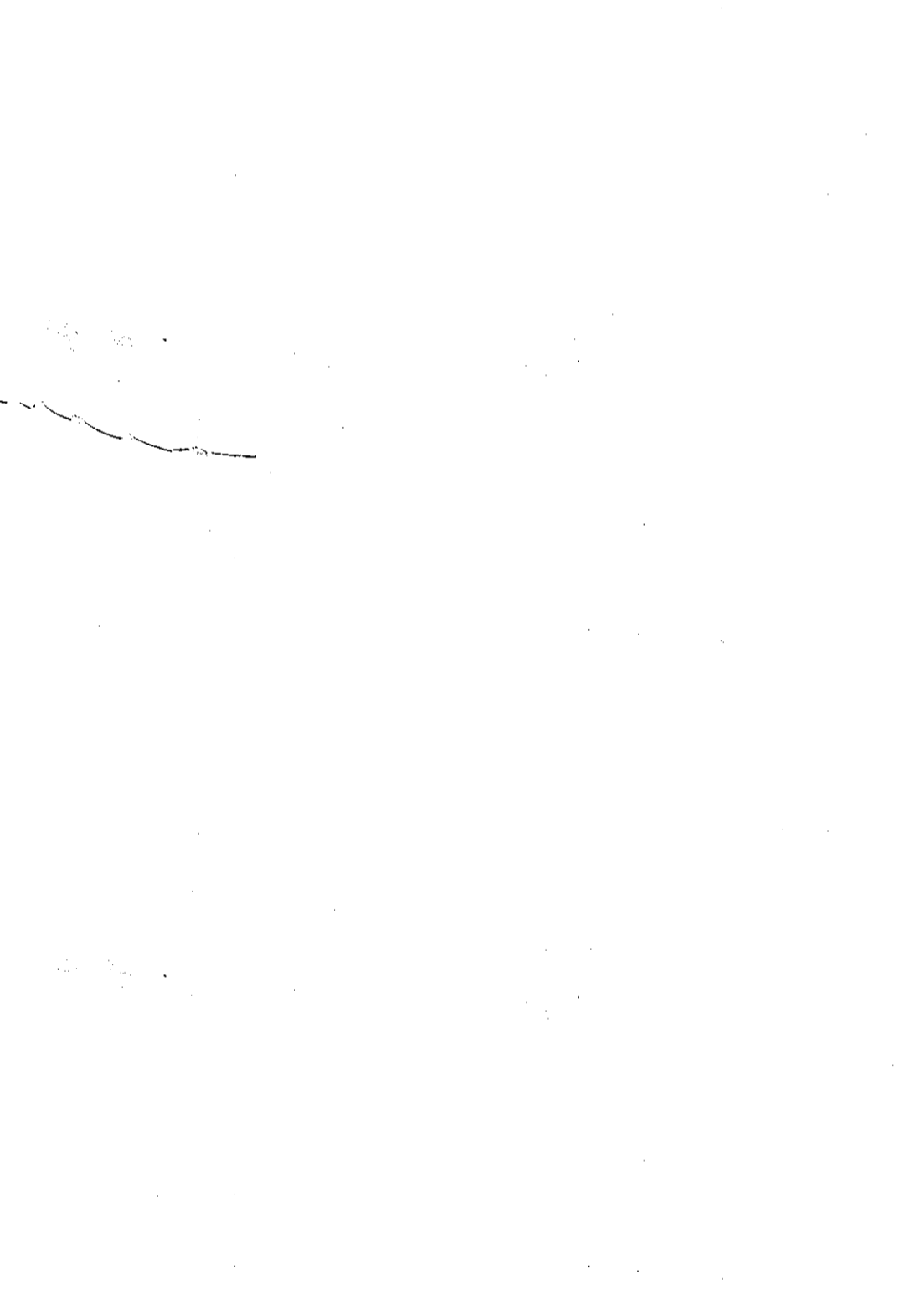
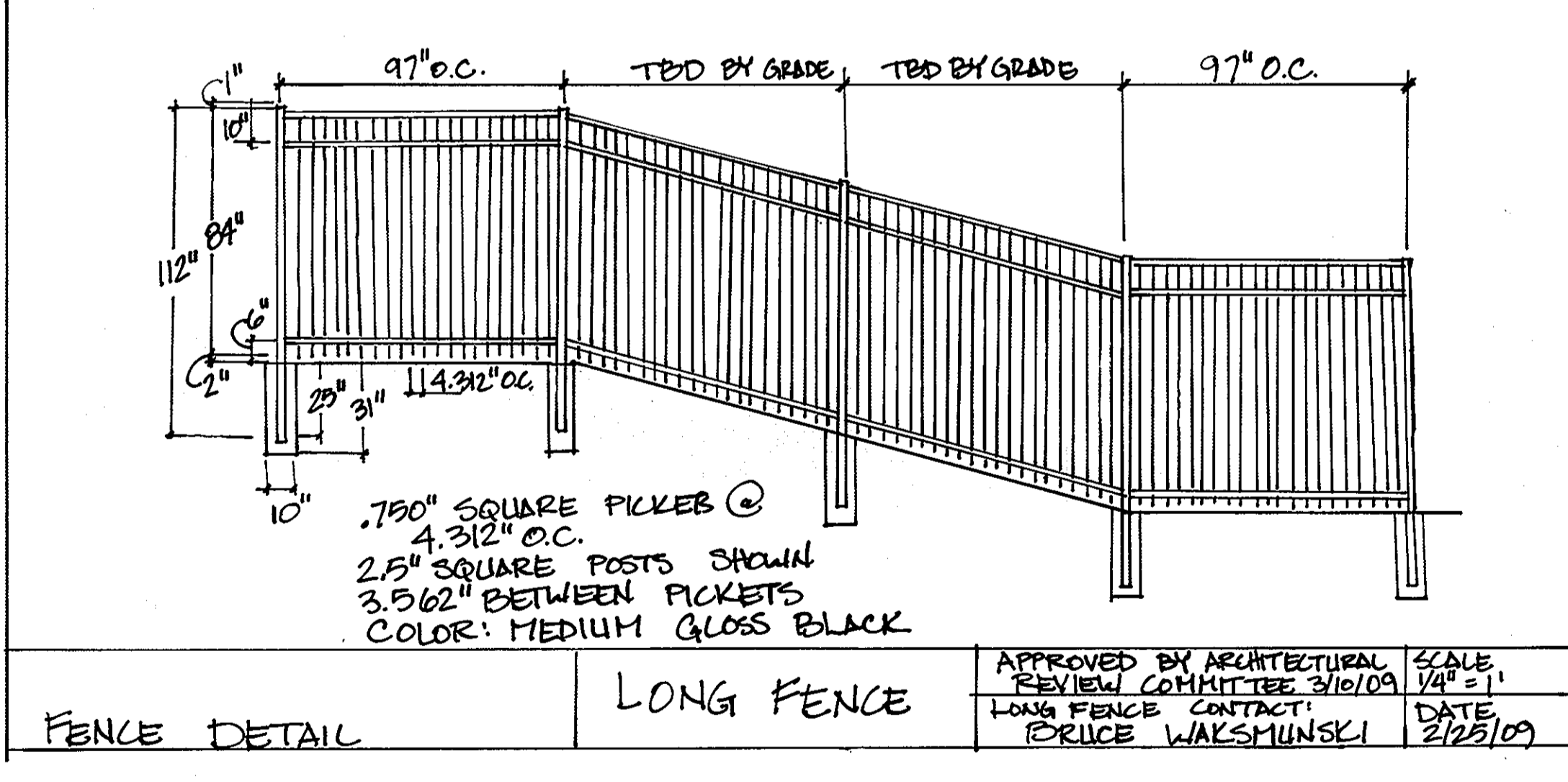
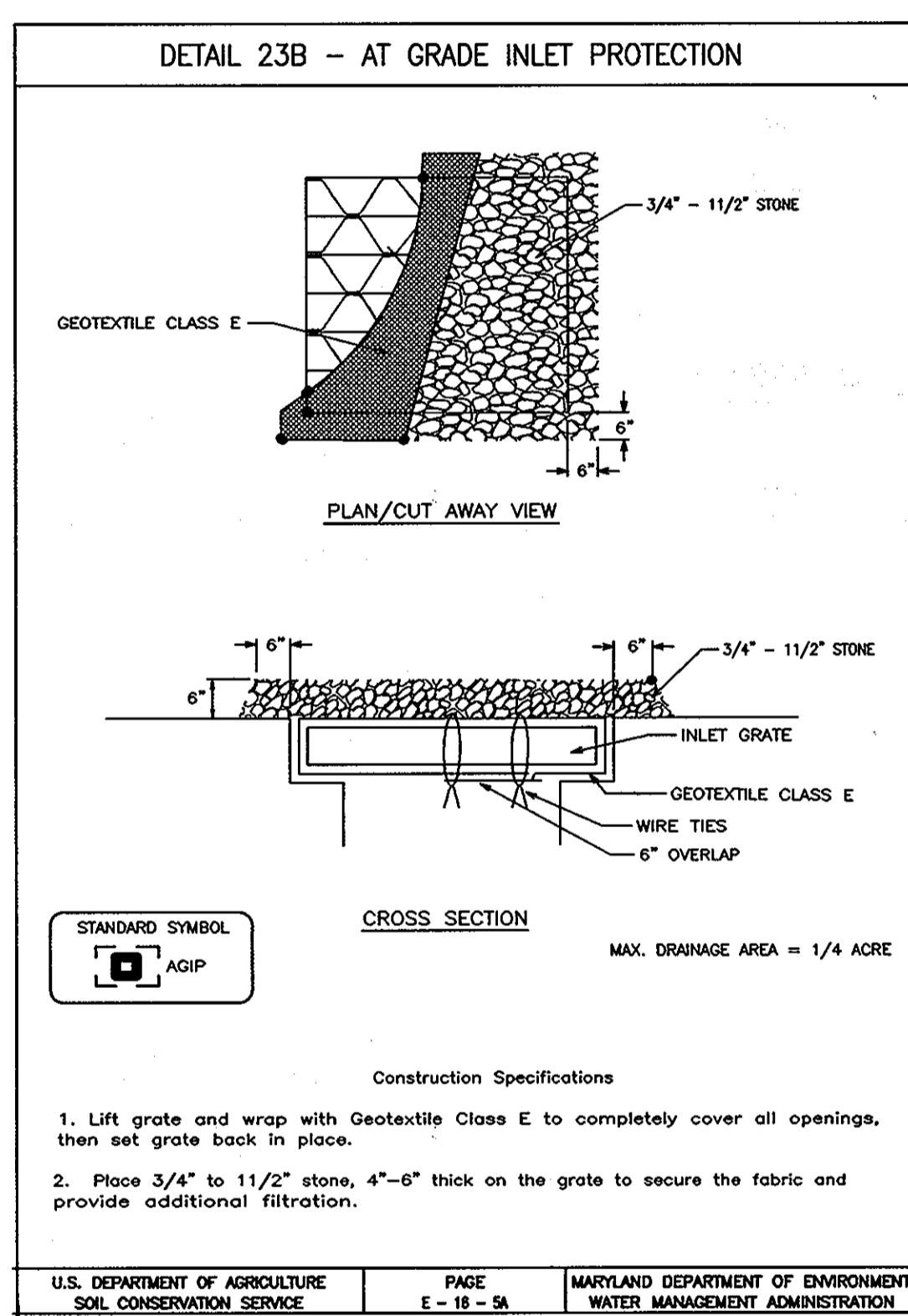
U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE E-15-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

### SUPER SILT FENCE

Design Criteria

Slope	Slope Steepness	Slope Length (maximum)	Silt Fence Length (maximum)
0 - 10%	0 - 10:1	Unlimited	Unlimited
10 - 20%	10:1 - 5:1	200 feet	1,500 feet
20 - 33%	5:1 - 3:1	100 feet	1,000 feet
33 - 50%	3:1 - 2:1	100 feet	500 feet
50% +	2:1 +	50 feet	250 feet

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE E-16-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



### HOWARD SOIL CONSERVATION DISTRICT PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seedbed Preparation: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

Soil Amendments: In lieu of soil test recommendations, use one of the following schedules:

- Preferred -- Apply 2 tons/acre dolomitic limestone (92 lbs/1000 sq. ft.) and 600 lbs/acre 10-10-10 fertilizer (14 lbs/1000 sq. ft.) before seeding. Harrow or disk into upper three inches of soil. At time of seeding, apply 400 lbs/acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq. ft.)
- Acceptable -- Apply 2 tons/acre dolomitic limestone (92 lbs/1000 sq. ft.) and 1000 lbs/acre 10-10-10 fertilizer (23 lbs/1000 sq. ft.) before seeding. Harrow or disk into upper three inches of soil.

Seeding -- For the periods March 1 -- April 30, and August 1 -- October 15, seed with 60 lbs/acre (14 lbs/1000 sq. ft.) of Kentucky 31 Tall Fescue. For the period May 1 -- July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs/acre (.05 lbs/1000 sq. ft.) of weeping lovegrass. During the period of October 16 -- February 28, protect site by:

- Option 1 -- Two tons per acre of well anchored straw mulch and seed as soon as possible in the spring.
- Option 2 -- Use sod.
- Option 3 -- Seed with 60 lbs/acre Kentucky 30 Tall Fescue and mulch with 2 tons/acre well anchored straw.

Mulching -- Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq. ft.) of unrotted small grain straw immediately after seed ing. Anchor mulch immediately after application using mulch anchoring tool or 218 galls per acre (5 gal/1000 sq. ft.) of emulsified asphalt on flat areas. On slope 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq. ft.) for anchoring.

Maintenance -- Inspect all seeding areas and make needed repairs, replacements and reseedings.

TEMPORARY SEEDING NOTES.

Apply to graded or cleared areas likely to be re-disturbed where a short-term vegetative cover is needed.

Seedbed preparation: -- Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

Soil Amendments: -- Apply 600 lbs/acre 10-10-10 fertilizer (14 lbs/1000 sq. ft.).

Seeding: -- For periods March 1 -- April 30 and from August 15 -- October 15, seed with 2-1/2 bushel per acre of annual rye (3.2 lbs/1000 sq. ft.). For the period May 1 -- August 14, seed with 3 lbs/acre of weeping lovegrass (.07 lbs/1000 sq. ft.). For the period November 16 -- February 28, protect site by applying 2 tons/acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

Mulching: -- Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq. ft.) of unrotted weed-free, small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal. per acre (5 gal/1000 sq. ft.) of emulsified asphalt on flat areas. On slope 8 ft. or higher, use 348 gal. per acre (8 gal/1000 sq. ft.) for anchoring.

Refer to the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for additional rates and methods not covered.

DATE 6/1/09

APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING

*Matthew E. Joyce* 4/12/07  
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

*Cynthia Hawks* 4/17/07  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

*Richard Walker* 4/17/07  
DIRECTOR DATE

6/1/09 **ADDED FENCE DETAIL**

DATE	NO.	REVISION DESCRIPTION

PROJECT

### HOWARD COUNTY GENERAL HOSPITAL TOWN CENTER SECTION 8 - AREA 2 - LOT 4

OWNER/DEVELOPER:  
HOWARD COUNTY GENERAL HOSPITAL, INC.  
5755 CEDAR LANE  
COLUMBIA, MARYLAND 21044

JOYCE ENGINEERING CORPORATION

CIVIL ENGINEERING LAND SURVEYING LAND PLANNING CONSTRUCTION MANAGEMENT

10766 BALTIMORE AVENUE - BELTSVILLE, MARYLAND 20705  
TEL: (301) 595-4333 FAX: (301) 595-4650 WEB: www.joyceg.com

Training name: R/Land Project/99015T - Howard County General Town/99015TH/04SP12.0g  
Printed: Apr 03, 2007 - 2:55pm

ADDRESS CHART

LOT/PARCEL	STREET ADDRESS
4/276	5755 CEDAR LANE ~ COLUMBIA, MARYLAND 21044 - HOSPITAL
4/276	5757 CEDAR LANE ~ COLUMBIA, MARYLAND 21044 - PARKING GARAGE

### SHEET INDEX

1 OF 13	COVER SHEET FOR SITE DEVELOPMENT & GRADING FOR HOSPITAL TOWER AND CANOPY
2 OF 13	SITE DEVELOPMENT & GRADING FOR HOSPITAL TOWER, AND CANOPY
3 OF 13	SITE DEVELOPMENT & GRADING FOR HOSPITAL PARKING GARAGE
4 OF 13	LANDSCAPE & LIGHTING PLAN FOR PARKING GARAGE
5 OF 13	SITE DEVELOPMENT, GRADING AND LANDSCAPE DETAILS
6 OF 13	STORM DRAIN PLAN FOR HOSPITAL TOWER, AND CANOPY
7 OF 13	STORM DRAIN PLAN & WATER CONNECTION FOR PARKING GARAGE
8 OF 13	STORM DRAIN PROFILES, SCHEDULES, AND WATER CONNECTION PROFILE
9 OF 13	DRAINAGE AREA MAP FOR HOSPITAL TOWER, CANOPY & PARKING GARAGE
10 OF 13	GRADING, SEDIMENT & EROSION CONTROL PLAN FOR HOSPITAL TOWER, AND CANOPY
11 OF 13	GRADING, SEDIMENT & EROSION CONTROL PLAN FOR PARKING GARAGE
12 OF 13	SEDIMENT & EROSION CONTROL NOTES & DETAILS FOR HOSPITAL TOWER, CANOPY & PARKING GARAGE
13 OF 13	SIGNAGE AND PAVEMENT MARKING PLAN (CEDAR LANE)

04.03.07

DATE

PROFESSIONAL ENGINEER, NO. 22729

PERMIT INFORMATION CHART

SUBMISSION	SECTION/AREA	LOT/PARCEL #
HCHJ TOWN CENTER	8/2	4/276

PLAN OR L/F BLOCK # ZONE I/A/ZONE MAP ELECT. DISTRICT CENSUS TRACT

18022 35 5TH 8053.02

WATER CODE 106 SEWER CODE 5522500

TITLE: SEDIMENT, & EROSION CONTROL NOTES & DETAILS FOR HOSPITAL TOWER, CANOPY, AND PARKING GARAGE ADDITION

DES BY	SCALE	PROJ. NO.
WAJ	1" = 30'	99015T

DRN BY	DATE	APPROVED
HAL	OCT, 2006	12 OF 13

CHK BY: JEC

Reviewed for Howard SCD and meets Technical Requirements

*Jim Moran* 4/12/07  
USDA Natural Resources Conservation Service Date

This development plan is approved for the soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT

*Matthew E. Joyce* 4/12/07  
Howard SCD Date

ENGINEERS' CERTIFICATION

"I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

*Matthew E. Joyce* 03 APRIL 2007  
Signature of Engineer (print name below signature) Date

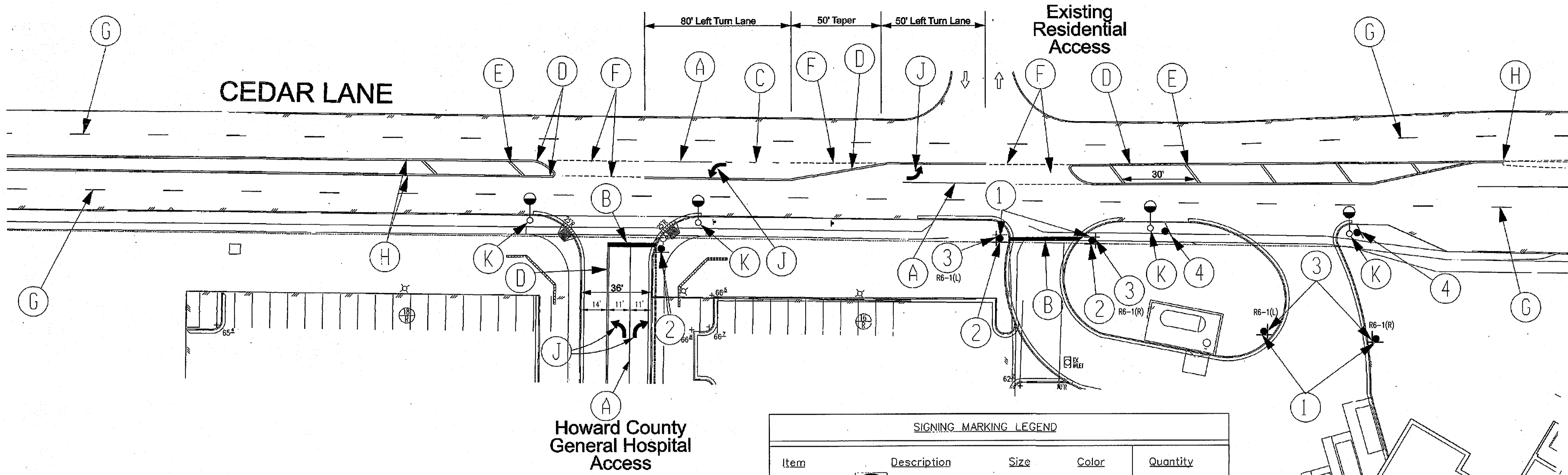
MATTHEW E. JOYCE

DEVELOPER'S CERTIFICATION

"I certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at the Department of Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

*Beth Plwyner* 4-3-07  
Signature of Developer (print name below signature) Date

BETH PLWYNER



SIGNING MARKING LEGEND				
Item	Description	Size	Color	Quantity
1	R5-1	30" x 30"	Red/White	4 EA
2	R1-1	36" x 36"	Red/White	3 EA
3	R6-1(R) R6-1(L)	12" x 36"	Black/White	4(2)EA
4	R3-2	30" x 30"	Black/White	2 EA

EXISTING  
**HOWARD COUNTY  
 GENERAL HOSPITAL**  
 5 STORY BUILDING  
 GLASS & STONE WALL  
 11055  
 FF=471.117/-

**NOTES:**

- 1) Contact Howard County Traffic Division at 410-313-5752 prior to Placing any signs or markings.
- 2) All sign posts used for traffic control signs installed in the County right-of-way shall be mounted on a 2" galvanized steel perforated, square tube post (14 gauge) inserted into a 2-1/2" galvanized steel, perforated square tube sleeve (12 gauge) - 3' long. A galvanized steel pole cap shall be mounted on top of each post.
- 3) Four(4) street lights as shown - 250 watt HPS vapor sag fixture, mounted at 30' on a bronze fiberglass pole using a 12' arm.

SHEET INDEX	
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13 OF 13	SIGNAGE AND PAVEMENT MARKING PLAN (CEDAR LANE)

Signing and Pavement Marking Details	
	Quantity
A. Install 4 in. wide solid white pavement marking for lane line.	65 LF
B. Install 24 in. wide solid white pavement marking for stop line, preformed heat applied tape or thermoplastic.	60 LF
C. Install 4 in. wide solid white dotted pavement marking 2' Segment / 6' Space / 2' Segment	10 LF
D. Install 4 in. wide solid double yellow pavement marking for center line.	1,600 LF
E. Install 12 in. wide solid yellow pavement marking for hatch area. (30' spacing at a 45 degree angle)	65 LF
F. Remove existing markings by grinding.	520 LF
G. Existing to Remain.	NA
H. Tie to existing pavement markings.	NA
J. Install Preformed pavement marking symbol.	4 EA
K. Install Street Light	4 EA

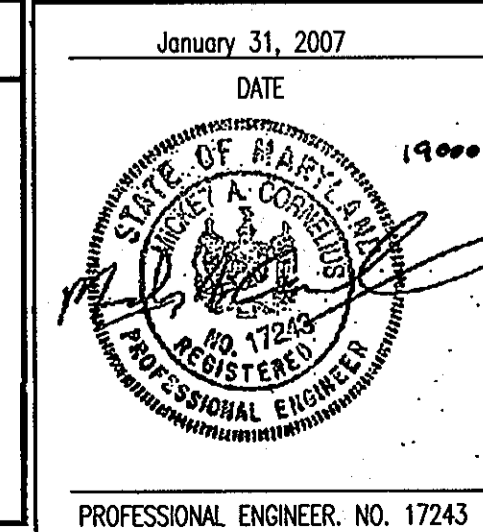
## Cedar Lane

**Cedar Lane at Howard Co. General Hospital Access**

**Signing and Pavement Marking Plan**

NO.	REVISION DESCRIPTION	BY	DATE
1	COMMENTS	TW	1-15-07

SCALE: 1" = 30'  
 DRAWN BY: K. Hurley  
 DESIGNED BY: P. Dorr  
 CHECKED BY: P. Dorr  
 DATE: November 9, 2006  
 JOB NO: 2004-0421  
 SHEET NO: 1 of 1  
 LOCATION: Howard Co., MD  
 FILE: Howard County General HospitalMOT.dwg



APPROVED: HOWARD COUNTY DEPT. OF PLANNING & ZONING	
	4/12/07
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
	4/17/07
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
	4/17/07
DIRECTOR	DATE

DATE	NO.	REVISION DESCRIPTION

**HOWARD COUNTY GENERAL HOSPITAL**  
 TOWN CENTER  
 SECTION 8 - AREA 2 - LOT 4

OWNER/DEVELOPER:  
 HOWARD COUNTY GENERAL HOSPITAL, INC.  
 5755 CEDAR LANE  
 COLUMBIA, MARYLAND 21044

ADDRESS CHART			
LOT/PARCEL	STREET ADDRESS		
4/276	5755 CEDAR LANE ~ COLUMBIA, MARYLAND 21044 - HOSPITAL		
4/276	5757 CEDAR LANE ~ COLUMBIA, MARYLAND 21044 - PARKING GARAGE		

PERMIT INFORMATION CHART			
SUBMISSION	SECTION/AREA	LOT/PARCEL	DATE
HIGH TOWN CENTER	8/2	4/276	4/12/07
PLAT OR L/T	BLOCK	ZONE	ELECT. DISTRICT
18628	5	IPOR NT	5TH
WATER CODE	SEWER CODE	CENSUS TRACT	
106	5522500	6053.02	
TITLE: SIGNING AND PAVEMENT MARKING PLAN (CEDAR LANE) FOR HOSPITAL TOWER, CANOPY, AND PARKING GARAGE ADDITION			
DES BY: WAJ	SCALE: AS SHOWN	PROJ. NO. 89015L	
DRN BY: HAL	DATE: OCT, 2006		
CHK BY: JEC	APPROVED: WAJ		13 OF 13