

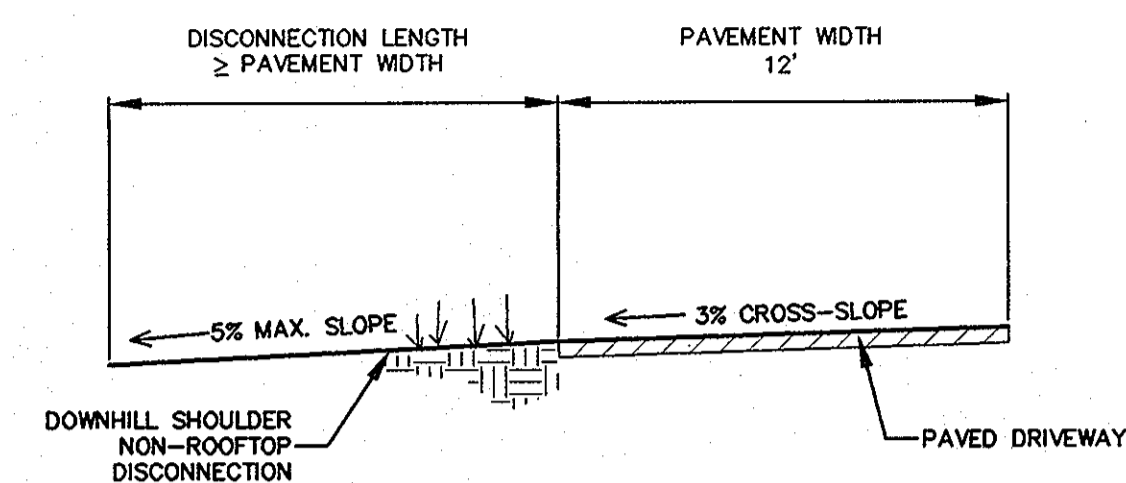
INDEX OF DRAWINGS

NO.	DESCRIPTION
1	SITE DEVELOPMENT PLAN
2	SEDIMENT CONTROL NOTES AND DETAILS

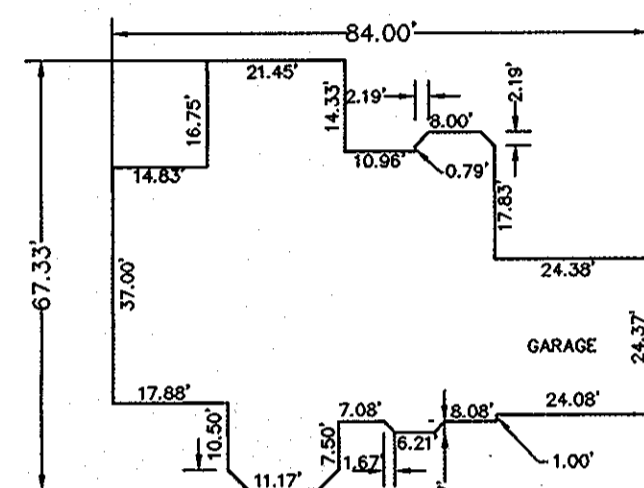
ADDRESS CHART

LOT/PARCEL NO.	STREET ADDRESS
LOT 7	10125 GREEN CLOVER DRIVE

MDS MANOR LOAM, 15 TO 25 PERCENT SLOPES, (B)
MgB2 MANOR GRAVELLY LOAM, 3 TO 8 PERCENT SLOPES, (B)
MgC3 MANOR GRAVELLY LOAM, 8 TO 15 PERCENT SLOPES, (B)



NON-ROOFTOP DISCONNECT DETAIL
NTS



LOT 7
SCALE 1"=30'

DEVELOPER'S/OWNER'S CERTIFICATE

I/CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE NATURAL RESOURCE CONSERVATION SERVICE.

NAME: [Signature]
DATE: 5/10/17

DEVELOPER'S CERTIFICATE

I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE NATURAL RESOURCE CONSERVATION SERVICE.

NAME: [Signature]
DATE: 5/10/17

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.

NAME: [Signature]
DATE: 5/10/17

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD COUNTY LANDSCAPE DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

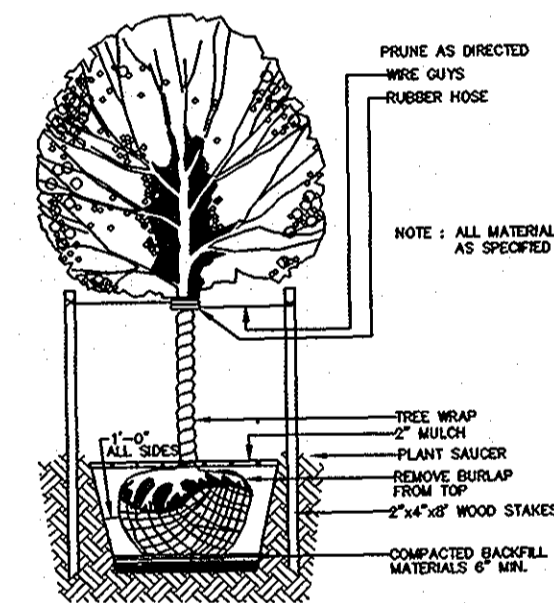
[Signature]
DATE: 5/21/17

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY LANDSCAPE DISTRICT.

[Signature]
DATE: 5/21/17

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DATE: 5/15/17
DATE: 6-13-17
DATE: 6/14/17



TYPICAL DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL #
ALLENFORD	N/A	LOT 7/ PART OF PARCEL 610
PLAT # OR L/F	BLOCK #	ZONE
19176	2	R-20
TAX MAP	ELEC. DIST.	CENSUS TRACT
17	SECOND	6021.00
WATER CODE	SEWER CODE	
F-04	14-3642-D	
PROPOSED IMPROVEMENTS:		
CONSTRUCT HOUSE, ASSOCIATED GRADING		

SCHEDULE A : PERIMETER LANDSCAPED EDGE

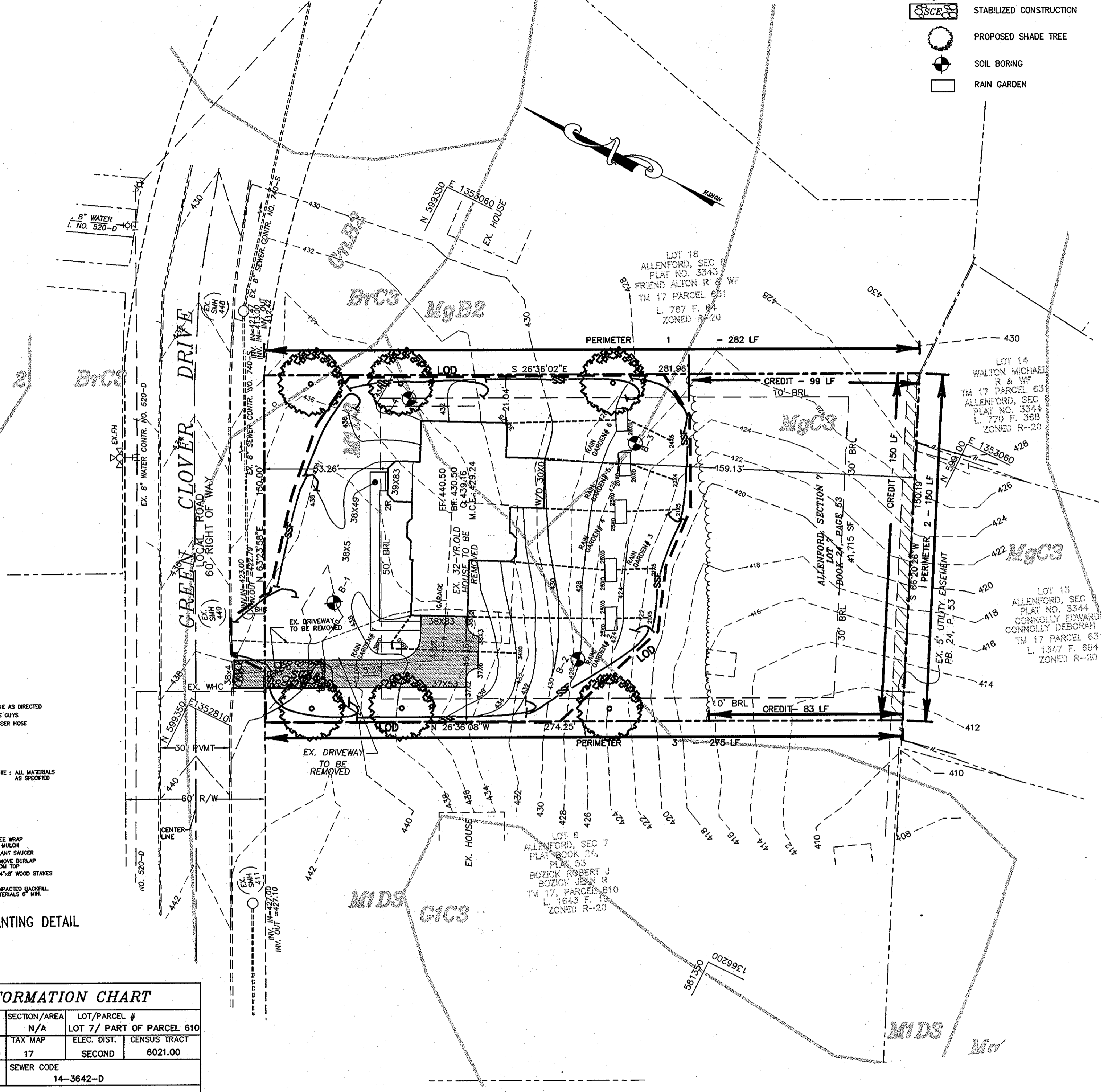
CATEGORY	ADJ TO PERIMETER PROPERTIES	ADJ TO PERIMETER PROPERTIES	ADJ TO PERIMETER PROPERTIES	TOTAL
LANDSCAPE TYPE	N/A (PERIMETER 1)	A (PERIMETER 2)	A (PERIMETER 3)	
LINEAR FEET OF PERIMETER	282' LF	150' LF	275' LF	707' LF
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET)	YES, 99' LF OF EX. TREES TO REMAIN	YES, 150' LF OF EX. TREES TO REMAIN	YES, 83' LF OF EX. TREES TO REMAIN	328' LF
NUMBER OF PLANTS REQUIRED				
SHADE TREES	3 SHADE TREES	0 SHADE TREES	3 SHADE TREES	6 SHADE TREES
EVERGREEN TREES	0 EVERGREEN TREES	0 EVERGREEN TREES	0 EVERGREEN TREES	0 EVERGREEN TREES
SHRUBS	0 SHRUBS	0 SHRUBS	0 SHRUBS	0 SHRUBS
CREDIT FOR EXISTING VEGETATION				
SHADE TREES	0 SHADE TREES	0 SHADE TREES	0 SHADE TREES	0 SHADE TREES
EVERGREEN TREES	0 EVERGREEN TREES	0 EVERGREEN TREES	0 EVERGREEN TREES	0 EVERGREEN TREES
NUMBER OF PLANTS PROVIDED				
SHADE TREES	3 SHADE TREES	0 SHADE TREES	3 SHADE TREES	6 SHADE TREES
EVERGREEN TREES	0 EVERGREEN TREES	0 EVERGREEN TREES	0 EVERGREEN TREES	0 EVERGREEN TREES
OTHER TREES (2:1 SUBSTITUTION)	0 SUBSTITUTION TREES	0 SUBSTITUTION TREES	0 SUBSTITUTION TREES	0 SUBSTITUTION TREES
SHRUBS (10:1 SUBSTITUTION)	0 SHRUBS	0 SHRUBS	0 SHRUBS	0 SHRUBS

LANDSCAPE REQUIREMENT PLANTING SCHEDULE

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
6	[Symbol]	ACER SACCHARUM 'GREEN MOUNTAIN'	GREEN MOUNTAIN SUGAR MAPLE	2 1/2" - 3" CAL.
TOTAL				
6				
6				
6 SHADE TREES				

LEGEND

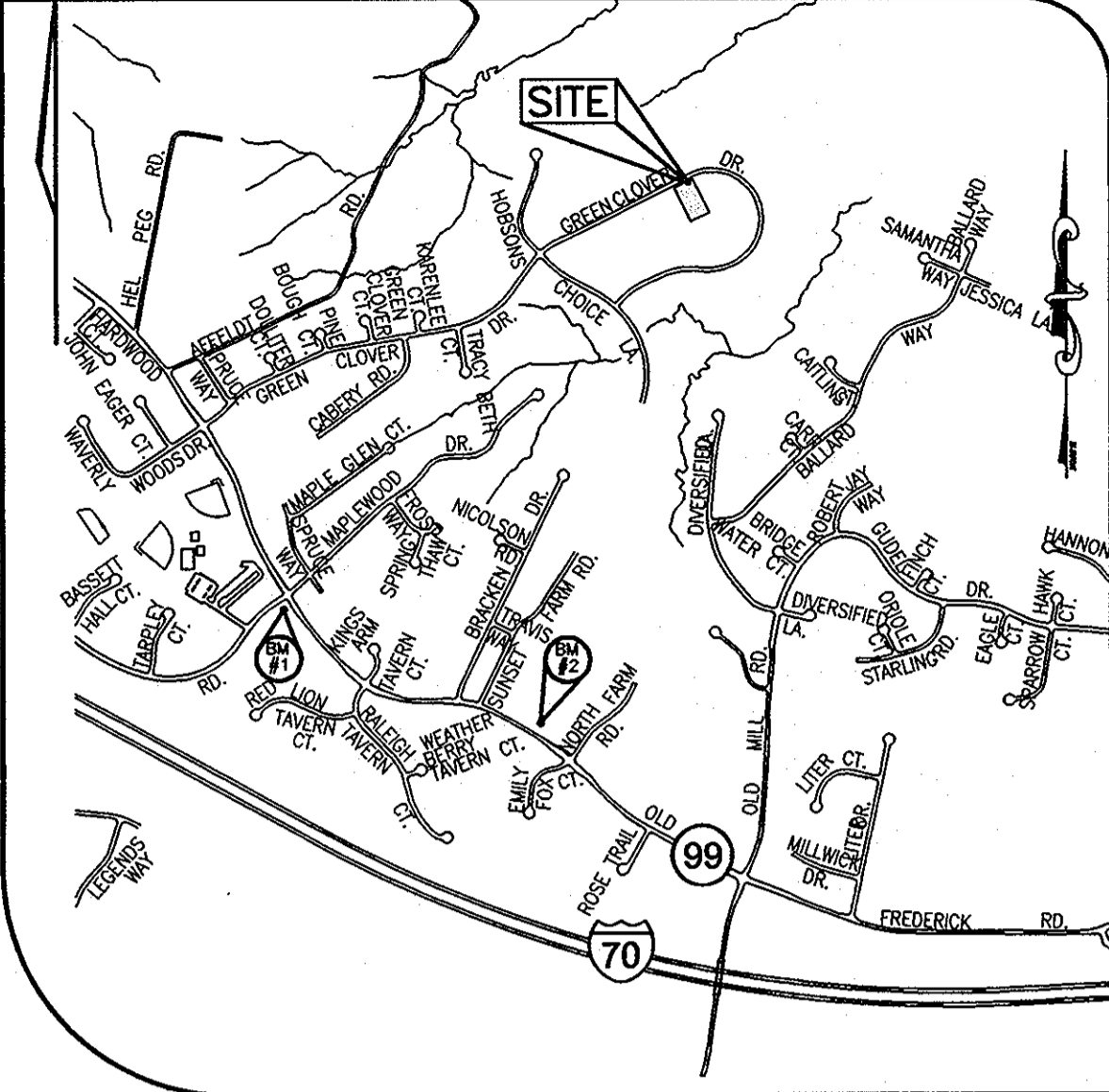
[Symbol]	L.O.D.	LIMIT OF DISTURBANCE
[Symbol]	EX. TREE LINE	EX. TREE LINE
[Symbol]	SUPER SILT FENCE	SUPER SILT FENCE
[Symbol]	STABILIZED CONSTRUCTION	STABILIZED CONSTRUCTION
[Symbol]	PROPOSED SHADE TREE	PROPOSED SHADE TREE
[Symbol]	SOIL BORING	SOIL BORING
[Symbol]	RAIN GARDEN	RAIN GARDEN



GENERAL NOTES

- ALL ASPECTS OF THE PROJECT ARE IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS.
- PROJECT BACKGROUND:
TAX MAP: 17 PARCEL: 2
ELECTION DISTRICT: SECOND.
ZONING: R-20
DEED REFERENCE: 10232/486
PROPOSED USE: SINGLE FAMILY DETACHED.
COUNTY FILE NOS: F-73-025
- AREA TABULATION:
A. TOTAL TRACT AREA: 0.96 AC ±
B. NUMBER OF PROPOSED BUILDABLE LOTS: 1
C. MINIMUM LOT AREA: 41,715 SQ.FT.
D. AREA OF BUILDABLE LOTS: 0.96 AC ±
E. TOTAL AREA DISTURBED: 0.55 AC ±
- HORIZONTAL AND VERTICAL DATUMS ARE RELATED TO THE MARYLAND NAD 83 (NORZ) AND NGVD83 (VERT) AS PROJECTED FROM HOWARD COUNTY CONTROL STATIONS NO. 25A1 & 25A2.
STA. No. 25A1
N 586,557,508 ELEV. 396.416
E 1,366,847.12
N 57,502,849 ELEV. 348.217
E 1,366,558.40
- SURVEY WORK AND DOCUMENTS ARE TO BE PERFORMED IN CONFORMANCE WITH SUBTITLE 13, BOARD OF PROFESSIONAL LAND SURVEYORS, 09.13.06 STATE OF MARYLAND MINIMUM STANDARDS OF PROFESSIONAL PRACTICE.
- ALL AREAS ARE MORE OR LESS.
- THIS SUBDIVISION IS IN THE METROPOLITAN DISTRICT.
- NO BURIAL GROUNDS OR CEMETERIES EXIST ON-SITE.
- STEEP SLOPES 25% OR GREATER WITH A CONTIGUOUS AREA OVER 20,000 SQ.FT. DO NOT EXIST ON SITE.
- NO HISTORIC DISTRICTS ARE ADJACENT TO THIS SITE. SITE IS NOT ADJACENT TO A DESIGNATED SCENIC ROAD.
- NO WETLANDS EXIST ON SITE. ON SITE VISIT WAS PERFORMED BY MILDENBERG BOENDER AND ASSOC. ON NOVEMBER 28, 2006.
- THE SUBJECT PROPERTY IS ZONED R-20 PER THE 2/2/04 COMPREHENSIVE ZONING PLAN AND PER THE "COMP LITE" ZONING AMENDMENTS EFFECTIVE 7/28/06.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
A) WIDTH - 12 FEET (16 FEET SERVING MORE THAN ONE RESIDENT).
B) SURFACE - 6 INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING.
C) GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND MINIMUM OF 45-FOOT TURNING RADIUS.
D) STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING).
E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.
F) STRUCTURE CLEARANCES - MINIMUM 12 FEET
G) MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE.
- CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES ON SITE PRIOR TO COMMENCING CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE (5) DAYS PRIOR TO ANY EXCAVATION WORK:
MISS UTILITY 1-800-257-7777
VERIZON TELEPHONE COMPANY (410) 725-9976
HOWARD COUNTY BUREAU OF UTILITIES (410) 513-4900
AT&T CABLE LOCATION DIVISION (410) 393-3533
BALTIMORE GAS & ELECTRIC (410) 685-0123
STATE HIGHWAY ADMINISTRATION (410) 531-5533
HOWARD COUNTY DEPT. OF PUBLIC WORKS/ CONSTRUCTION INSPECTION DIVISION (410) 313-1880
- IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 18 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
- PUBLIC WATER AND WILL BE PROVIDED VIA THE EXISTING WATER AND SEWER HOUSE CONNECTIONS SEWER CONTRACT NO. 740-S, WATER CONTRACT NO. 520-D.
- THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES, AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- WATER AND SEWER SERVICE TO THIS LOT WAS GRANTED UNDER THE PROVISIONS OF SECTION 18.122.B OF THE HOWARD COUNTY CODE.
- THIS PLAN IS SUBJECT TO THE AMENDED 5TH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS PER COUNCIL BILL 45-2003 AND THE ZONING REGULATION AS AMENDED BY COUNCIL BILL 75-2003. DEVELOPMENT OR CONSTRUCTION ON THESE LOTS MUST COMPLY WITH THE SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, WAIVER PETITION APPLICATION, OR BUILDING/GRADING PERMIT.
- DRIVEWAY INTERSECTION FOR LOT 7 SHALL MEET HOWARD COUNTY STANDARD DETAIL R6.06.
- LANDSCAPING FOR LOT 7 IS PROVIDED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE REQUIRED 6 SHADE TREES IN THE AMOUNT OF \$1,800.00 HAS BEEN POSTED AS PART OF THE DEPARTMENT OF PUBLIC WORKS DEVELOPER'S AGREEMENT FOR RAIN GARDENS.
- SOILS DATA BASED ON HOWARD COUNTY SOIL SURVEY DATED JULY 1968, SHEET 20.
- AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREWITH LISTED AND APPROVED FOR THIS SITE, SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN WILL RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.
- STORMWATER MANAGEMENT IS PROVIDED VIA ROOFTOP AND NON-ROOFTOP DISCONNECTION CREDITS IN ACCORDANCE WITH THE 2000 WIDE STORMWATER MANAGEMENT MANUAL.
- THIS PROPERTY IS EXEMPT FROM FOREST CONSERVATION REQUIREMENTS PER SECTION 16.102.(b)(1)(i) BECAUSE THE TOTAL AREA OF FOREST TO BE CLEARED IS LESS THAN 40,000 SQUARE FEET IN AREA. NO FOREST IS BEING CLEARED.
- NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, OR PLACEMENT OF NEW STRUCTURES IS PERMITTED WITHIN THE LIMITS OF THE WETLANDS OR THEIR BUFFER.

OWNER
ADRIAN J. GOLDSZMIDT
JENNIFER GOLDSZMIDT
10125 GREEN CLOVER DRIVE,
ELICOTT CITY, MD 21042



DATE: MAY 2007
PROJECT: 06-022
ENGINEERING: MMT
ILLUSTRATION: MMT
SCALE: 1"=30'
APPROVAL: RHJ

DATE: []
DESCRIPTION: []
REVISIONS: []

DATE: []

DATE: []

ALLENFORD, SECTION 7
LOT 7
TAX MAP 17 - PARCEL 610 - GRID 2
HOWARD COUNTY, MARYLAND
SECOND ELECTION DISTRICT
SITE DEVELOPMENT PLAN

MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
5072 Borsy Hall Drive, Suite 202, Ellicott City, Maryland, 21042
(410) 997-0296 Bal. (301) 621-5524 Wash. (410) 997-0298 Fax.

1 OF 2

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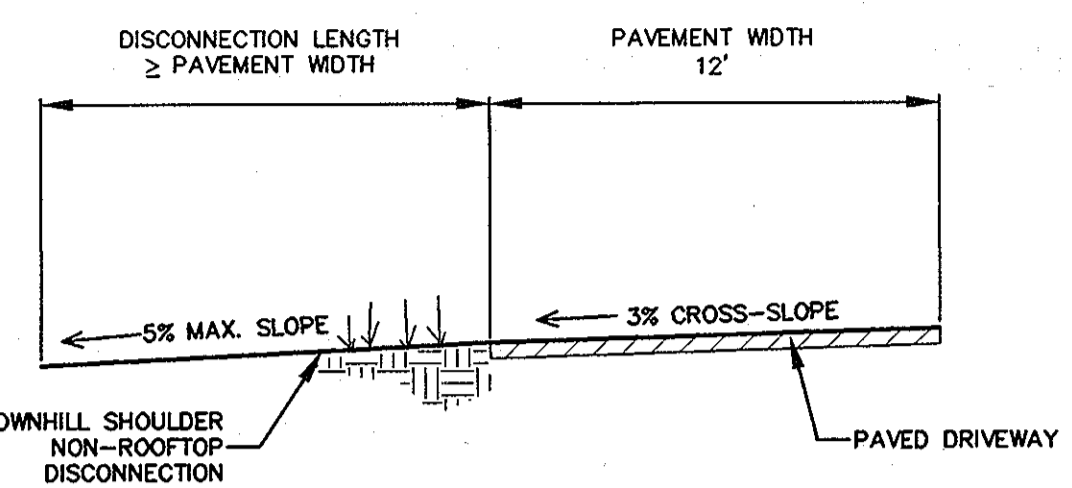
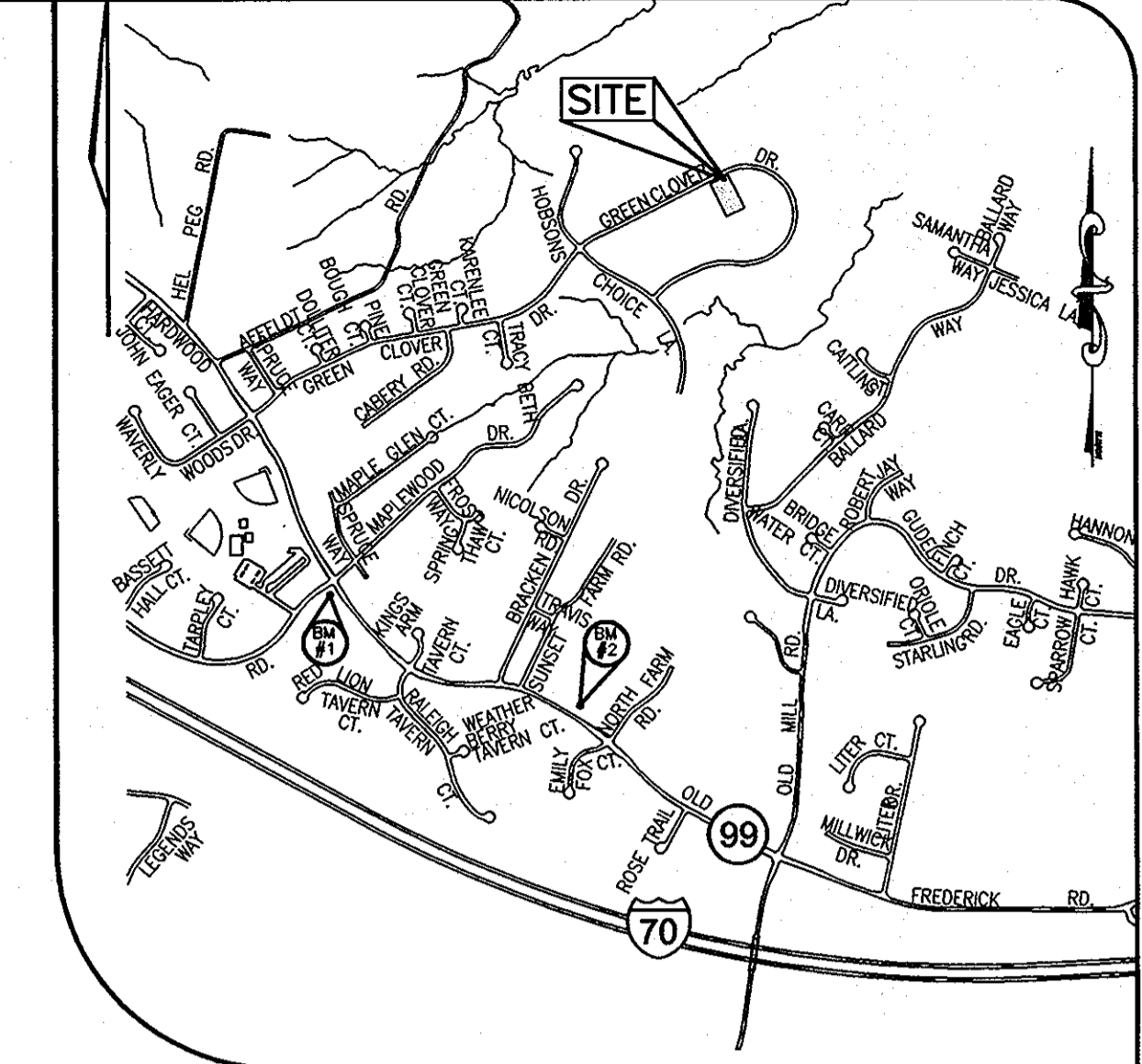
INDEX OF DRAWINGS	
NO.	DESCRIPTION
1	SITE DEVELOPMENT PLAN
2	SEDIMENT CONTROL NOTES AND DETAILS

MID3 MANOR LOAM, 15 TO 25 PERCENT SLOPES, (B)
MgB2 MANOR GRAVELLY LOAM, 3 TO 8 PERCENT SLOPES, (B)
MgC3 MANOR GRAVELLY LOAM, 8 TO 15 PERCENT SLOPES, (B)

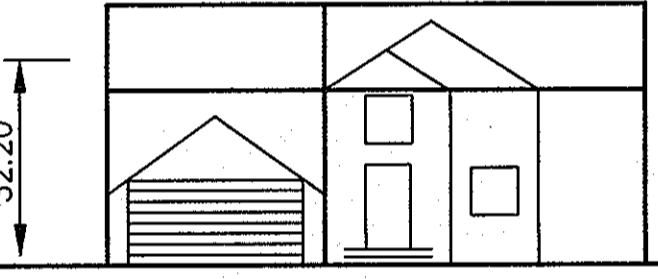
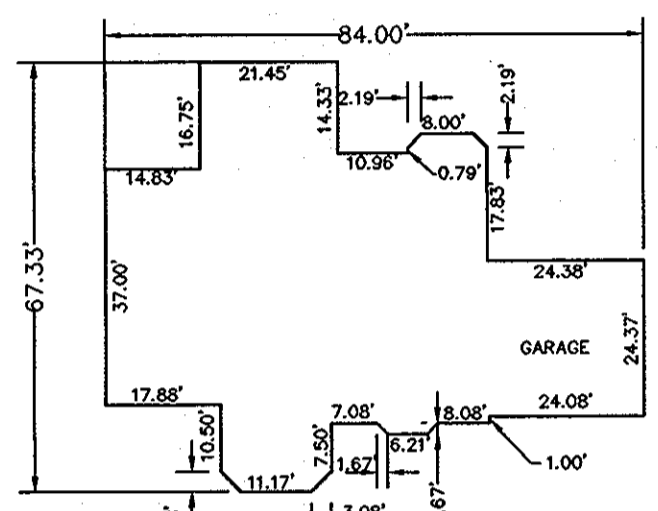
ADDRESS CHART	
LOT/PARCEL NO.	STREET ADDRESS
LOT 7	10125 GREEN CLOVER DRIVE

LEGEND

- LIMIT OF DISTURBANCE
- EX. TREE LINE
- SUPER SILT FENCE
- STABILIZED CONSTRUCTION
- PROPOSED SHADE TREE
- SOIL BORING
- RAIN GARDEN



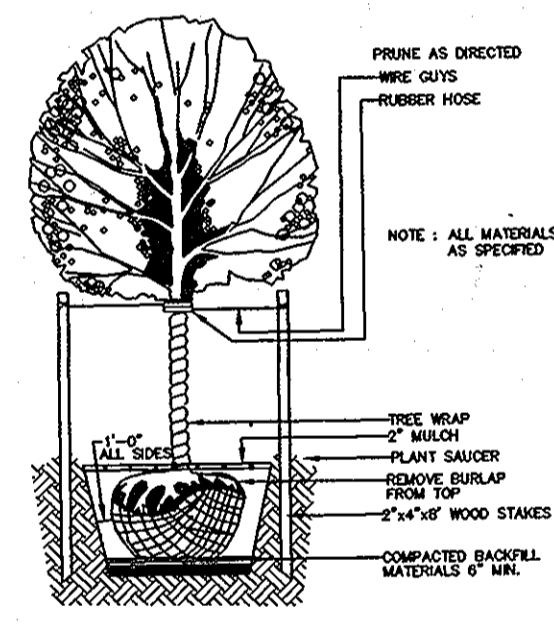
NON-ROOFTOP DISCONNECT DETAIL



LOT 7
SCALE 1"=30'

DEVELOPER'S/OWNER'S CERTIFICATE
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE NATURAL RESOURCE CONSERVATION SERVICE.

NAME: [Signature] DATE: 5/10/12



TYPICAL DECIDUOUS TREE PLANTING DETAIL

PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL #	
ALLENFORD	N/A	LOT 7/ PART OF PARCEL 610	
PLAT # OR L/P	BLOCK #	ZONE	TAX MAP
19176	2	R-20	17
WATER CODE	F-04	SEWER CODE	14-3642-D
PROPOSED IMPROVEMENTS: CONSTRUCT HOUSE, ASSOCIATED GRADING			

SCHEDULE A : PERIMETER LANDSCAPED EDGE				
CATEGORY	ADJ TO PERIMETER PROPERTIES	ADJ TO PERIMETER PROPERTIES	ADJ TO PERIMETER PROPERTIES	TOTAL
LANDSCAPE TYPE	N/A (PERIMETER 1)	A (PERIMETER 2)	A (PERIMETER 3)	
LINEAR FEET OF PERIMETER	282' LF	150' LF	275' LF	707' LF
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET)	YES, 99' LF OF EX. TREES TO REMAIN	YES, 150' LF OF EX. TREES TO REMAIN	YES, 83' LF OF EX. TREES TO REMAIN	328 LF
NUMBER OF PLANTS REQUIRED	3 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	0 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	3 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS	6 SHADE TREES 0 EVERGREEN TREES 0 SHRUBS
CREDIT FOR EXISTING VEGETATION	0 SHADE TREE 0 EVERGREEN TREES	0 SHADE TREES 0 EVERGREEN TREES	0 SHADE TREES 0 EVERGREEN TREES	0 SHADE TREES 0 EVERGREEN TREES
NUMBER OF PLANTS PROVIDED	3 SHADE TREES 0 EVERGREEN TREES 0 SUBSTITUTION TREES 0 SHRUBS (10:1 SUBSTITUTION)	0 SHADE TREES 0 EVERGREEN TREES 0 SUBSTITUTION TREES 0 SHRUBS	3 SHADE TREES 0 EVERGREEN TREES 0 SUBSTITUTION TREES 0 SHRUBS	6 SHADE TREES 0 EVERGREEN TREES 0 SUBSTITUTION TREES 0 SHRUBS

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
6		ACER SACCHARUM 'GREEN MOUNTAIN'	GREEN MOUNTAIN SUGAR MAPLE	2 1/2" - 3" CAL.
TOTAL				
6		6 SHADE TREES		



GENERAL NOTES **VICINITY MAP**
SCALE: 1"=2000'

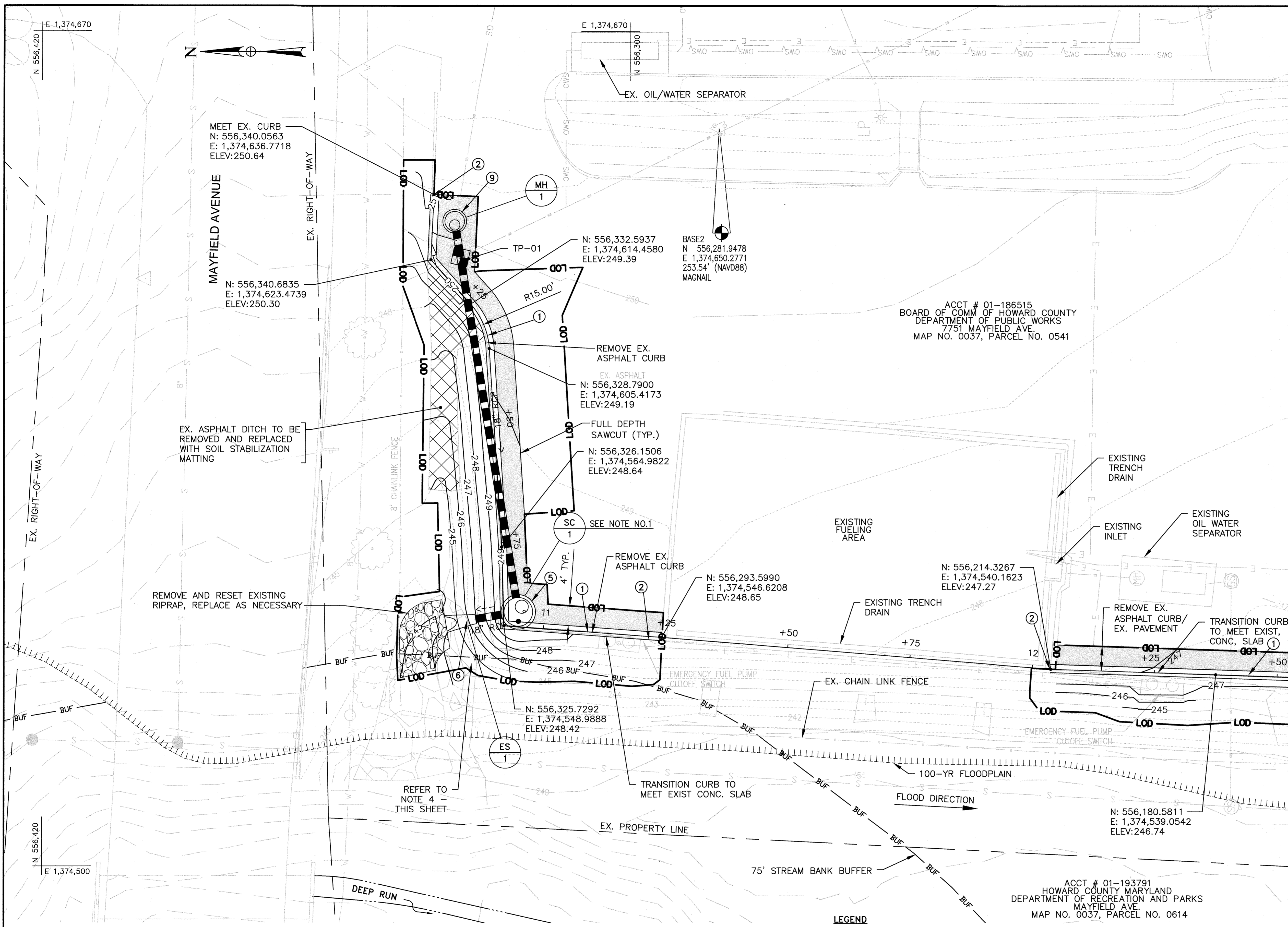
- ALL ASPECTS OF THE PROJECT ARE IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS.
- PROJECT BACKGROUND:**
TAX MAP 17-1 PARCEL 1610 GRID: 2
ELECTION DISTRICT: SECOND.
ZONING: R-20
DEED REFERENCE: 10232/486
PROPOSED USE: SINGLE FAMILY DETACHED.
COUNTY FILE NOS: F-73-025
- AREA TABULATION**
A. TOTAL TRACT AREA: 0.96 AC.±
B. NUMBER OF PROPOSED BUILDABLE LOTS: 1
C. MINIMUM LOT AREA: 41,715 SQ.FT.
D. AREA OF BUILDABLE LOTS: 0.96 AC. ±
E. TOTAL AREA DISTURBED: 0.55 AC. ±
- HORIZONTAL AND VERTICAL DATUMS ARE RELATED TO THE MARYLAND NAD 83 (HORZ) AND NAVD83 (VERT) AS PROJECTED FROM HOWARD COUNTY CONTROL STATIONS NO. 25A1 & 25A2.
STA. No. 25A1 N 586,557.508 ELEV. 396.416
STA. No. 25A2 E 1,366,847.12 N 587,501.908 ELEV. 348.217
E 1,366,556.40
- SURVEY WORK AND DOCUMENTS ARE TO BE PERFORMED IN CONFORMANCE WITH TITLE 13, BOARD OF PROFESSIONAL LAND SURVEYORS, 09.13.06 STATE OF MARYLAND MINIMUM STANDARDS OF PROFESSIONAL PRACTICE.
- ALL AREAS ARE MORE OR LESS.
- THIS SUBDIVISION IS IN THE METROPOLITAN DISTRICT.
- NO BURIAL GROUNDS OR CEMETERIES EXIST ON-SITE.
- STEEP SLOPES 25% OR GREATER WITH A CONTIGUOUS AREA OVER 20,000 SQ.FT. DO NOT EXIST ON SITE.
- NO HISTORIC DISTRICTS ARE ADJACENT TO THIS SITE. SITE IS NOT ADJACENT TO A DESIGNATED SCENIC ROAD.
- NO WETLANDS EXIST ON SITE. ON SITE VISIT WAS PERFORMED BY MILDENBERG BOENDER AND ASSOC. ON NOVEMBER 28, 2006.
- THE SUBJECT PROPERTY IS ZONED R-20 PER THE 2/2/04 COMPREHENSIVE ZONING PLAN AND PER THE "COMP LITE" ZONING AMENDMENTS EFFECTIVE 7/28/06.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
A) WIDTH - 12 FEET (16 FEET SERVING MORE THAN ONE RESIDENT).
B) SURFACE - 6 INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING.
C) GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND MINIMUM OF 45-FOOT TURNING RADIUS.
D) STRUCTURES (CULVERT/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING).
E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.
F) STRUCTURE CLEARANCES - MINIMUM 12 FEET.
G) MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE.
- CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES ON SITE PRIOR TO COMMENCING CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE (5) DAYS PRIOR TO ANY EXCAVATION WORK:
MISS UTILITY 1-800-257-7777
VERIZON TELEPHONE COMPANY (410) 725-9976
HOWARD COUNTY BUREAU OF UTILITIES (410) 313-4900
AT&T CABLE LOCATION DIVISION (410) 313-3333
BALTIMORE GAS & ELECTRIC (410) 685-0123
STATE HIGHWAY ADMINISTRATION (410) 531-5533
HOWARD COUNTY DEPT. OF PUBLIC WORKS/CONSTRUCTION INSPECTION DIVISION (410) 313-1880
- IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
- PUBLIC WATER AND WILL BE PROVIDED VIA THE EXISTING WATER AND SEWER HOUSE CONNECTIONS SEWER CONTRACT NO. 740-S, WATER CONTRACT NO. 520-D.
- THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES, AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- WATER AND SEWER SERVICE TO THIS LOT WAS GRANTED UNDER THE PROVISIONS OF SECTION 18.122.B OF THE HOWARD COUNTY CODE.
- THIS PLAN IS SUBJECT TO THE AMENDED 5TH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, THE HOWARD COUNTY FINANCIAL SURETY FOR THE ZONING REGULATION AS AMENDED BY COUNCIL BILL 75-2003. DEVELOPMENT OR CONSTRUCTION ON THESE LOTS MUST COMPLY WITH THE SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, WAIVER PETITION APPLICATION, OR BUILDING GRADING PERMIT.
- DRIVEWAY INTERSECTION FOR LOT 7 SHALL MEET HOWARD COUNTY STANDARD DETAIL R6.06.
- LANDSCAPING FOR LOT 7 IS PROVIDED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE REQUIRED 6 SHADE TREES IN THE AMOUNT OF \$1,800.00 HAVE BEEN POSTED AS PART OF THE GRADING PERMIT.
- SOILS DATA BASED ON HOWARD COUNTY SOIL SURVEY DATED JULY 1968, SHEET 20.
- AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREWITHE LISTED AND APPROVED FOR THIS SITE, SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT THE APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.
- THIS PROJECT IS EXEMPT FROM STORMWATER MANAGEMENT. NET DISTURBANCE IS LESS THAN 5000 SQ. FT.
- THIS PROPERTY IS EXEMPT FROM FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1302.(d)(1) BECAUSE THE TOTAL AREA OF FOREST TO BE CLEARED IS LESS THAN 40,000 SQUARE FEET IN AREA. NO FOREST IS BEING CLEARED.
- NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, OR PLACEMENT OF NEW STRUCTURES IS PERMITTED WITHIN THE LIMITS OF THE WETLANDS OR THEIR BUFFER.

Project No.	Illustration	Scale	Approval
08-022	MMT	1"=50'	RJH

Project No.	Revision	Date
1	ELIMINATE STEPPED MANICURING	

ALLENFORD, SECTION 7
LOT 7
TAX MAP 17- PARCEL 610- GRID 2
HOWARD COUNTY, MARYLAND
SECOND ELECTION DISTRICT
SITE DEVELOPMENT PLAN

MILDENBERG & ASSOC., INC.
Engineers Planners Surveyors
5072 Dorsy Hill Drive, Suite 202, Ellicott City, Maryland, 21042
(410) 997-0296 Fax: (410) 997-0298 Fax

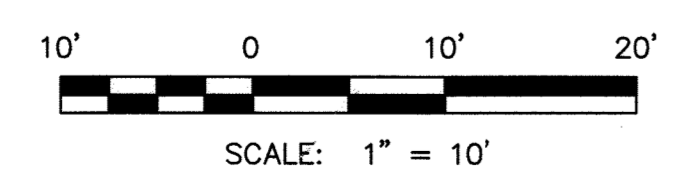


- NOTES:**
1. CREATE LOW POINT AT GRATE FOR SC-1. TRANSITION CURB GUTTER PAN FROM 10+80 TO 11+00 TO SLOPE TO SC-1.
 2. REFER TO MDE WATER AND SCIENCE ADMINISTRATION'S AUTHORIZATION TO PROCEED (201960946/19-NT-3134) AND THE ARMY CORPS OF ENGINEER'S AUTHORIZATION UNDER MDSPGP-5 ACTIVITY NO. CAT A-e(8), TRACKING NO. 20160946.
 3. LIMIT OF DISTURBANCE IS 35,720 SQ. FT. OR 0.82 ACRES.
 4. THE PURPOSE OF THE NECESSARY DISTURBANCE IS TO INSTALL STORM DRAIN OUTFALLS WITHIN THE STREAM, STREAM BANK BUFFER AND 100-YEAR FLOODPLAIN IN ACCORDANCE WITH SECTION 16.116 (C) OF THE SUBDIVISION & LAND DEVELOPMENT REGULATIONS. THE APPROVAL WAS GRANTED ON MAY 20, 2021 WITH THE FOLLOWING CONDITIONS:
 - A. THE PROJECT SHALL ONLY DISTURB THOSE ENVIRONMENTAL AREAS AS STATED IN THE REQUEST AND AS DELINEATED ON THE CAPITAP PROJECT DESIGN PLANS. ANY DISTURBANCES TO REGULATED ENVIRONMENTAL FEATURES BEYOND THIS REQUEST ARE NOT PERMITTED UNLESS THE APPLICANT SUBMITS A FORMAL REQUEST TO THE DEPARTMENT OF PLANNING AND ZONING IN ACCORDANCE WITH SECTION 16.116(C).
 - B. THE DISTURBED AREAS SHALL BE STABILIZED AND SEEDED OR PLANTED WITH NATIVE VEGETATION IN ACCORDANCE WITH THE CAPITAL PROJECT DESIGN PLANS. DETAILS SHALL BE PROVIDED ON THE SITE DEVELOPMENT PLANS.
 - C. THE APPLICANT WILL BE REQUIRED TO OBTAIN ALL NECESSARY APPROVALS AND AUTHORIZATIONS BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) AND THE U.S. ARMY CORPS OF ENGINEERS (USACE) FOR ACTIVITIES IN REGULATED AREAS PRIOR TO SUBMISSION OF A GRADING PERMIT APPLICATION. COPIES OF THE APPROVED MDE PERMITS SHALL BE SUBMITTED WITH THE GRADING PERMIT APPLICATION.
 5. THE PROJECT IS EXEMPT FROM THE FOREST CONSERVATION REQUIREMENTS IN ACCORDANCE WITH SECTION 16.1202(B)(1)(xii) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
 6. AN ALTERNATIVE COMPLIANCE APPROVAL HAS BEEN GRANTED PURSUANT TO SECTION 16.104 AND WITH RESPECT TO SECTION 16.147 OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO CONSOLIDATE THREE (3) CONTIGUOUS PARCELS VIA THE RECORDATION OF AN ADJOINER DEED.
 - A. FILE NUMBER: WP-21-028
 - B. REGULATION SECTION: 16.147
 - C. APPROVAL DATE: OCTOBER 9, 2020
 - D. APPROVAL CONDITIONS:
 - a. APPROVAL OF THIS REQUEST IS TO ADJUST THE COMMON BOUNDARIES BETWEEN PARCELS 170, 408 & 541, AS SHOWN ON TAX MAP 37. NO OTHER LOTS OR PARCELS ARE BEING LEGALLY ENDORSED, NO ADDITIONAL LOTS OR PARCELS ARE TO BE CREATED AND NO NEW DEVELOPMENT, CONSTRUCTION OR IMPROVEMENTS ARE PERMITTED UNDER THIS REQUEST.
 - b. AN ADJOINER DEED SHALL BE RECORDED IN THE LAND RECORDS OF HOWARD COUNTY, MD WITHIN 90 DAYS FROM THE DATE OF THIS ALTERNATIVE COMPLIANCE APPROVAL (ON OR BEFORE JANUARY 7, 2021). THE DEED SHALL REFERENCE THIS ALTERNATIVE COMPLIANCE FILE NUMBER, WP-21-028, AND SHALL INCLUDE METES, BOUNDS, BEARINGS, AND DISTANCE INFORMATION FOR ALL PARCEL LINES. SUBMIT COPIES OF THE RECORDED ADJOINER DEED TO THE DEPARTMENT OF PLANNING AND ZONING WITHIN 30 DAYS OF RECORDATION. THE ADJOINER DEED (LIBER 20479/FOLIO 473) WAS RECORDED ON FEBRUARY 19, 2021.
 - c. ALL EXISTING STRUCTURES MUST MEET MINIMUM STEPBACKS FROM THE PARCEL BOUNDARIES PER SECTION 110.0 AND SECTION 115.0 OF THE ZONING REGULATIONS.
 7. STORMCEPTOR NO. 1 IS LOCATED IN CLOSE PROXIMITY TO AN AREA ONCE SITED WITH UNDERGROUND FUEL TANKS. THE TANKS HAVE BEEN REMOVED AND THE AREA CLEARED BY MDE AS CONTAMINATION FREE. REMNANTS OF UNDERGROUND TANK SLABS THAT WERE USED AS TANK BALLAST MAY BE PRESENT IN THE STORMCEPTOR EXCAVATION AREA AND SHALL BE REMOVED.

MATCHLINE - SDP SHEET 8 OF 16

- NEW CONSTRUCTION NOTES**
1. INSTALL 7 INCH COMBINATION CURB AND GUTTER (STD. R-3.01)
 2. TRANSITION NEW CURB INTO EXISTING CONCRETE CURB (3'-0")
 3. NOSE DOWN CURB
 4. INSTALL TYPE 'S' COMBINATION INLET (STD. D-4.26)
 5. INSTALL STORMCEPTOR STC-450 (WITH INLET GRATE TOP).
 6. INSTALL STANDARD END SECTION FOR 18 INCH PIPE
 7. INSTALL STANDARD ENDWALL FOR 18 INCH PIPE
 8. INSTALL RIPRAP/GABION OUTFALL.
 9. INSTALL STANDARD MANHOLE

PURPOSE:
THE PURPOSE OF THIS REDLINE IS TO ADD STORMCEPTORS TO CAPTURE POTENTIAL SPILLS CONTAINING CONTAMINANTS.



PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16156, EXPIRATION DATE: 8/28/2022

PLAN
SCALE: 1" = 10'

LEGEND

---	RIGHT-OF-WAY/PROPERTY LINE	---	EXISTING STORM DRAIN
-----	100-YR FLOODPLAIN	-----	PROPOSED STORM DRAIN
---250---	EXISTING CONTOURS	---	LIMIT OF DISTURBANCE
---250---	PROPOSED CONTOURS	XXXX	RIPRAP
---	EXISTING SEWER	----	FULL DEPTH PAVEMENT
---	EXISTING WATER	XXXX	REMOVAL OF EXISTING CONCRETE OR ASPHALT
---	EXISTING UNDERGROUND ELECTRIC		

ACCT # 01-193791
HOWARD COUNTY MARYLAND
DEPARTMENT OF RECREATION AND PARKS
MAYFIELD AVE.
MAP NO. 0037, PARCEL NO. 0614

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

DATE: 8/10/21
 DATE: 8/19/21
 DATE: 8/23/21

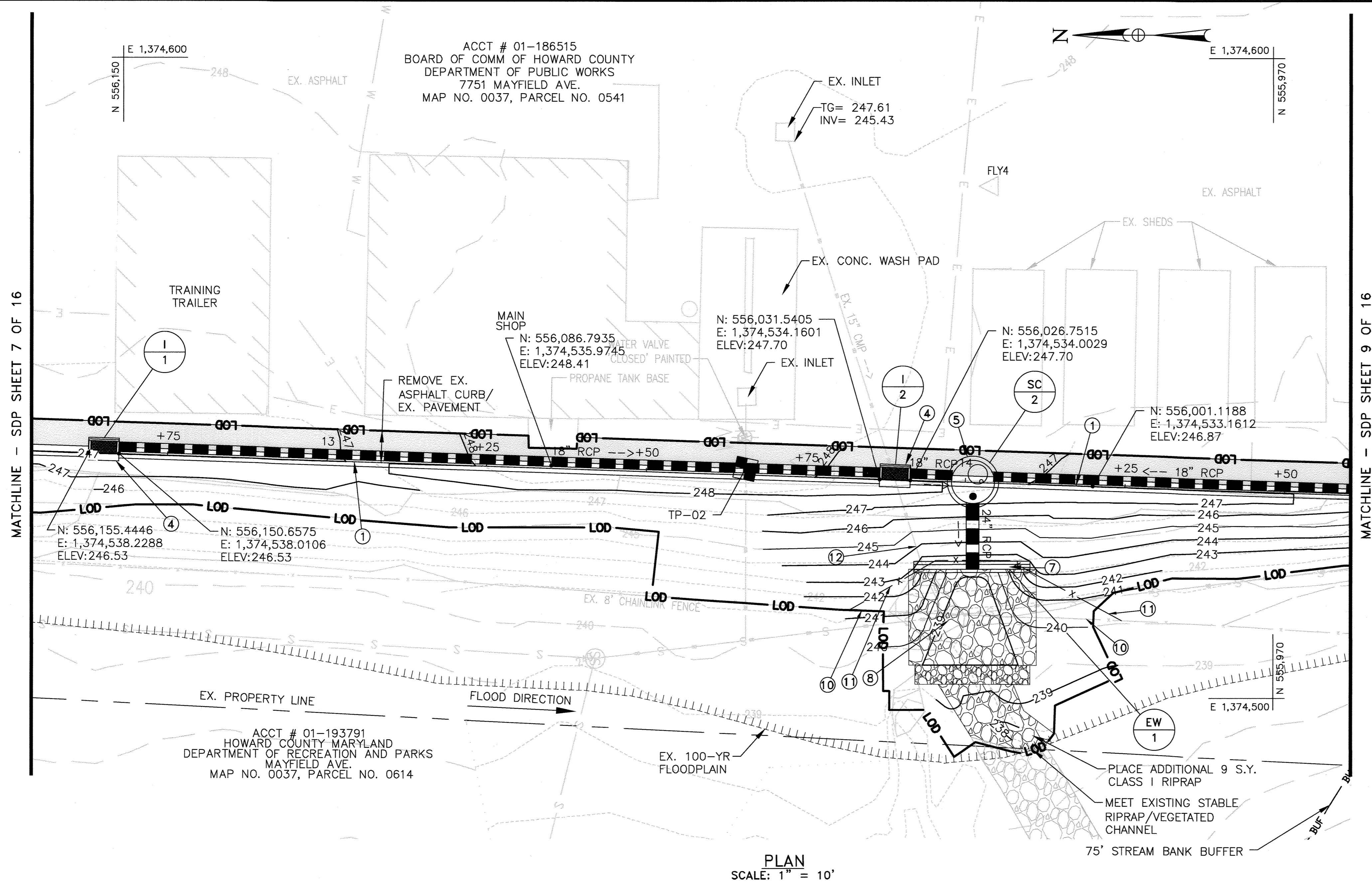


DES:	KMS		
DRN:	CDP		
CHK:	DTM		
DATE:	07/2021		
DTM:	NEW SHEET ADDED	07/2021	
BY:		REVISION	DATE

STORMWATER MANAGEMENT PLAN

REVISED SITE DEVELOPMENT PLAN
MAYFIELD HIGHWAY MAINTENANCE FACILITY - STORMWATER MANAGEMENT
 1ST ELECTION DISTRICT - HOWARD COUNTY, MARYLAND

SCALE: 1" = 20'
 DWG NO.: C-01
 SDP SHT NO. 07 OF 16



PLAN
SCALE: 1" = 10'

▲ PURPOSE:
THE PURPOSE OF THIS REDLINE IS TO ADD STORMCEPTORS TO CAPTURE POTENTIAL SPILLS CONTAINING CONTAMINANTS.

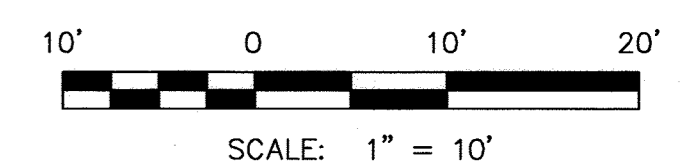
PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16156, EXPIRATION DATE: 8/28/2022

NEW CONSTRUCTION NOTES

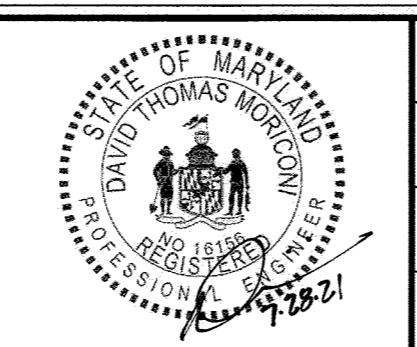
- ① INSTALL 7 INCH COMBINATION CURB AND GUTTER (STD. R-3.01)
- ② TRANSITION NEW CURB INTO EXISTING CONCRETE CURB
- ③ NOSE DOWN CURB
- ④ INSTALL TYPE 'S' COMBINATION INLET (STD. D-4.26)
- ⑤ INSTALL STORMCEPTOR STC-2400
- ⑥ INSTALL STANDARD END SECTION FOR 18 INCH PIPES
- ⑦ INSTALL STANDARD ENDWALL FOR 18 INCH PIPES
- ⑧ INSTALL RIPRAP/GABION OUTFALL
- ⑨ INSTALL STANDARD MANHOLE
- ⑩ REMOVE EXISTING CHAIN LINK FENCE TO NEAREST POST
- ⑪ INSTALL NEW 8' CHAIN LINK FENCE WITH 3 STRAND BARBED WIRE TO MATCH EXISTING
- ⑫ REMOVE EXISTING PIPE FROM 1-2 TO OUTFALL (16 L.F. ±)

LEGEND

- RIGHT-OF-WAY/PROPERTY LINE
- ||||| 100-YR FLOODPLAIN
- 250--- EXISTING CONTOURS
- 250— PROPOSED CONTOURS
- S — EXISTING SEWER
- W — EXISTING WATER
- E — EXISTING UNDERGROUND ELECTRIC
- SD — EXISTING STORM DRAIN
- PROPOSED STORM DRAIN
- LOD — LIMIT OF DISTURBANCE
- ▨ RIPRAP
- ▩ FULL DEPTH PAVEMENT
- ▧ REMOVAL OF EXISTING CONCRETE OR ASPHALT



APPROVED: DEPARTMENT OF PLANNING AND ZONING
 [Signature] DATE: 8/10/21
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] DATE: 8/19/21
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] DATE: 8/23/21
 DIRECTOR



DES:	KMS		
DRN:	CDF		
CHK:	DTM		
DATE:	07/2021	DTM	▲ NEW SHEET ADDED
BY:		NO.	REVISION
			DATE

STORMWATER
MANAGEMENT PLAN

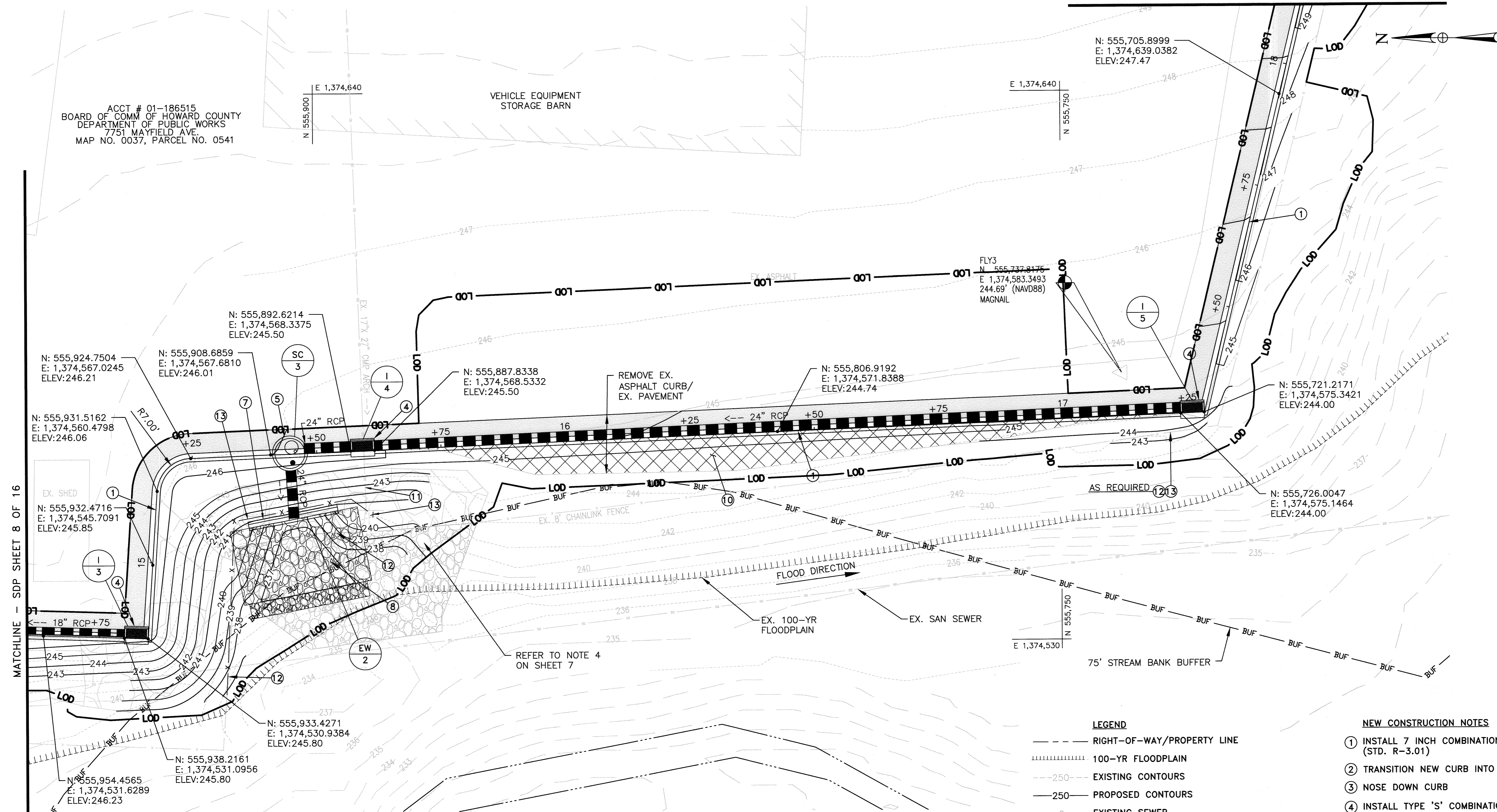
REVISED SITE DEVELOPMENT PLAN
MAYFIELD HIGHWAY MAINTENANCE FACILITY
- STORMWATER MANAGEMENT
1ST ELECTION DISTRICT - HOWARD COUNTY, MARYLAND

SCALE
1" = 20'
DWG NO.
C-02

ACCT # 01-186515
 BOARD OF COMM. OF HOWARD COUNTY
 DEPARTMENT OF PUBLIC WORKS
 7751 MAYFIELD AVE.
 MAP NO. 0037, PARCEL NO. 0541

VEHICLE EQUIPMENT
 STORAGE BARN

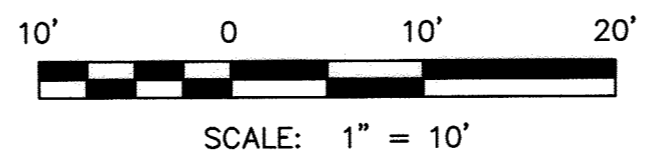
MATCHLINE - SDP SHEET 8 OF 16



PLAN
 SCALE: 1" = 10'

▲ PURPOSE:
 THE PURPOSE OF THIS REDLINE IS TO ADD
 STORMCEPTORS TO CAPTURE POTENTIAL
 SPILLS CONTAINING CONTAMINANTS.

PROFESSIONAL CERTIFICATION
 "I HEREBY CERTIFY THAT DOCUMENTS
 WERE PREPARED OR APPROVED BY ME,
 AND THAT I AM A DULY LICENSED
 PROFESSIONAL ENGINEER UNDER THE
 LAWS OF THE STATE OF MARYLAND,
 LICENSE NO. 16156
 EXPIRATION DATE: 8/28/2022



- LEGEND**
- RIGHT-OF-WAY/PROPERTY LINE
 - 100-YR FLOODPLAIN
 - 250--- EXISTING CONTOURS
 - 250--- PROPOSED CONTOURS
 - S EXISTING SEWER
 - W EXISTING WATER
 - E EXISTING UNDERGROUND ELECTRIC
 - SD EXISTING STORM DRAIN
 - PROPOSED STORM DRAIN
 - LOD LIMIT OF DISTURBANCE
 - [RIPRAP] RIPRAP
 - [FULL DEPTH PAVEMENT] FULL DEPTH PAVEMENT
 - [REMOVAL OF EXISTING CONCRETE OR ASPHALT] REMOVAL OF EXISTING CONCRETE OR ASPHALT

- NEW CONSTRUCTION NOTES**
- ① INSTALL 7 INCH COMBINATION CURB AND GUTTER (STD. R-3.01)
 - ② TRANSITION NEW CURB INTO EXISTING CONCRETE CURB
 - ③ NOSE DOWN CURB
 - ④ INSTALL TYPE 'S' COMBINATION INLET (STD. D-4.26)
 - ⑤ INSTALL STORMCEPTOR STC-2400
 - ⑥ INSTALL STANDARD END SECTION FOR 18 INCH PIPES
 - ⑦ INSTALL STANDARD ENDWALL FOR 18 INCH PIPES
 - ⑧ INSTALL RIPRAP/GABION OUTFALL
 - ⑨ INSTALL STANDARD MANHOLE
 - ⑩ EXISTING PAVEMENT TO BE REMOVED.
 - ⑪ REMOVE EX. PIPE FROM 1-5 TO OUTFALL (15'±)
 - ⑫ REMOVE EX. CHAIN LINK FENCE TO NEAREST POST
 - ⑬ INSTALL NEW 8' CHAIN LINK FENCE WITH 3 STRAND BARBED WIRE TO MATCH EXISTING

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 [Signature] DATE: 8.10.21
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] DATE: 8/14/21
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] DATE: 8/23/21
 DIRECTOR

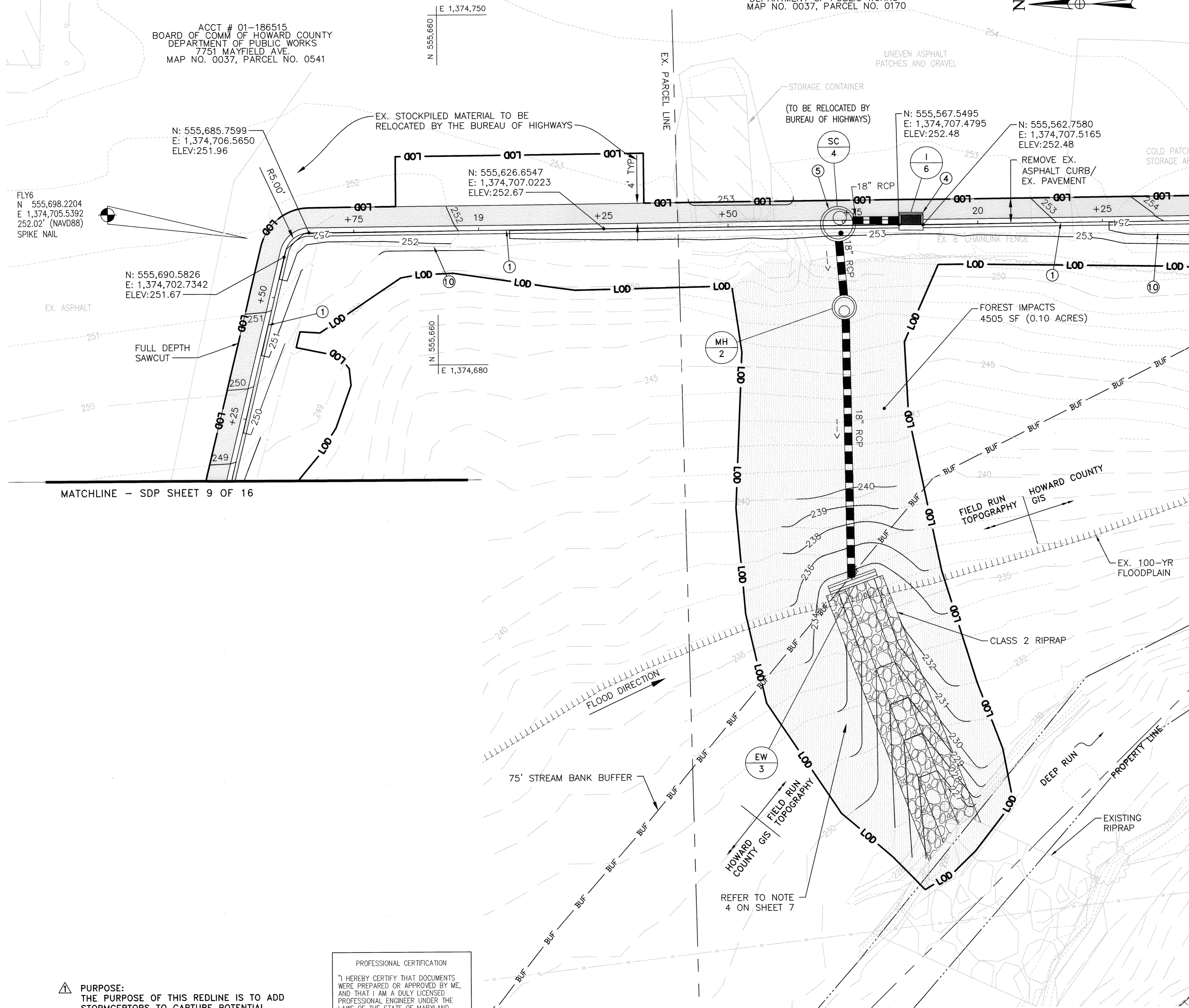


DES: KMS
 DRN: CDF
 CHK: DTM
 DATE: 07/2021
 DTM BY NO. NEW SHEET ADDED 07/2021
 REVISION

**STORMWATER
 MANAGEMENT PLAN**

REVISED SITE DEVELOPMENT PLAN
 MAYFIELD HIGHWAY MAINTENANCE FACILITY
 - STORMWATER MANAGEMENT

SDP SHT NO. 09 OF 16
 SCALE 1"=20'
 DWG NO. C-03

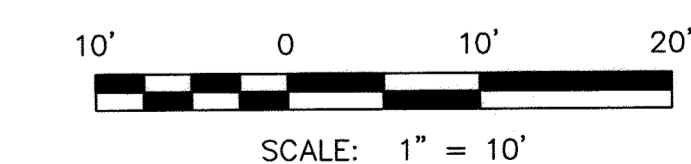


MATCHLINE - SDP SHEET 11 OF 16

MATCHLINE - SDP SHEET 9 OF 16

- NEW CONSTRUCTION NOTES**
- ① INSTALL 7 INCH COMBINATION CURB AND GUTTER (STD. R-3.01)
 - ② TRANSITION NEW CURB INTO EXISTING CONCRETE CURB
 - ③ NOSE DOWN CURB
 - ④ INSTALL TYPE 'S' COMBINATION INLET (STD. D-4.26)
 - ⑤ INSTALL STORMCEPTOR STC 900.
 - ⑥ INSTALL STANDARD END SECTION
 - ⑦ INSTALL STANDARD ENDWALL
 - ⑧ INSTALL RIPRAP/GABION OUTFALL
 - ⑨ INSTALL STANDARD MANHOLE
 - ⑩ REMOVE AND REPLACE FENCE IMPACTED BY CONSTRUCTION (AS REQUIRED)

- LEGEND**
- RIGHT-OF-WAY/PROPERTY LINE
 - ~~~~~ 100-YR FLOODPLAIN
 - - - - - EXISTING CONTOURS
 - 250 — PROPOSED CONTOURS
 - S - EXISTING SEWER
 - W - EXISTING WATER
 - E - EXISTING UNDERGROUND ELECTRIC
 - SD - EXISTING STORM DRAIN
 - - - - - PROPOSED STORM DRAIN
 - LOD - LIMIT OF DISTURBANCE
 - [RIPRAP SYMBOL] RIPRAP
 - [PAVEMENT SYMBOL] FULL DEPTH PAVEMENT
 - [REMOVAL SYMBOL] REMOVAL OF EXISTING CONCRETE OR ASPHALT



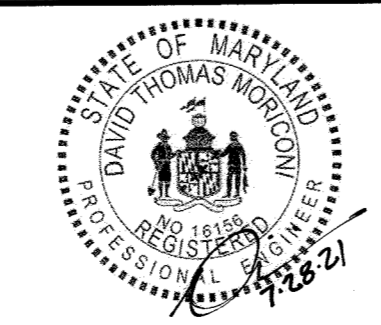
PURPOSE:
 THE PURPOSE OF THIS REDLINE IS TO ADD STORMCEPTORS TO CAPTURE POTENTIAL SPILLS CONTAINING CONTAMINANTS.

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16156, EXPIRATION DATE: 8/28/2022

PLAN
 SCALE: 1" = 10'

SDP SHT NO. 10 OF 16

APPROVED: DEPARTMENT OF PLANNING AND ZONING	DATE: 8/10/21
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE: 8/19/21
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE: 9/23/21
DIRECTOR	DATE:



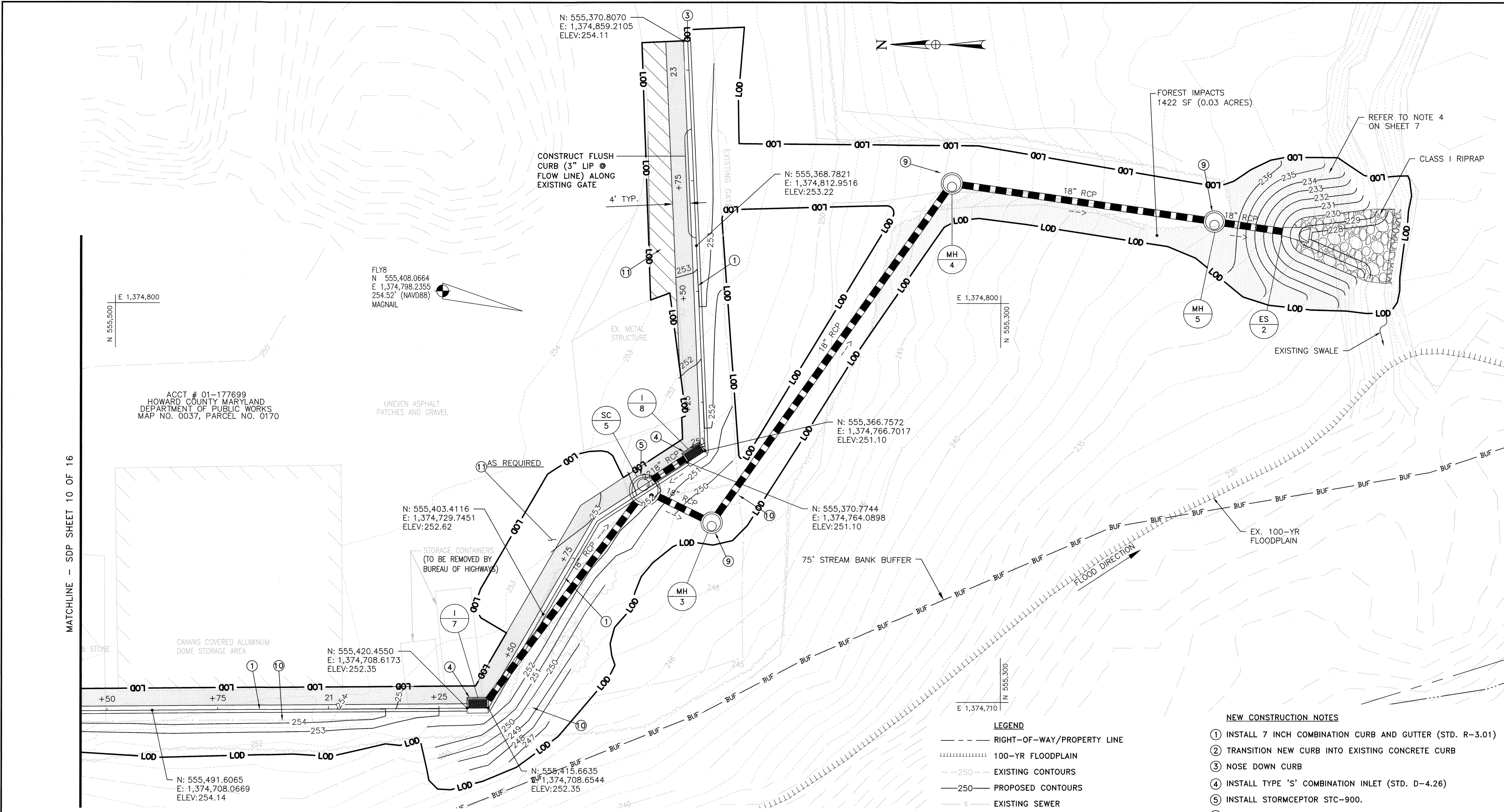
DES: KMS	DATE: 07/2021
DRN: CDF	BY: NO.
CHK: DTM	REVISION
DATE: 07/2021	DATE:

STORMWATER MANAGEMENT PLAN

REVISED SITE DEVELOPMENT PLAN
MAYFIELD HIGHWAY MAINTENANCE FACILITY - STORMWATER MANAGEMENT

SCALE: 1" = 20'
 DWG. NO.: C-04

1ST ELECTION DISTRICT - HOWARD COUNTY, MARYLAND



PLAN
SCALE: 1" = 10'

LEGEND

- RIGHT-OF-WAY/PROPERTY LINE
- ||||| 100-YR FLOODPLAIN
- 250- EXISTING CONTOURS
- 250- PROPOSED CONTOURS
- S- EXISTING SEWER
- W- EXISTING WATER
- E- EXISTING UNDERGROUND ELECTRIC
- SD- EXISTING STORM DRAIN
- - - PROPOSED STORM DRAIN
- LOD- LIMIT OF DISTURBANCE
- [Pattern] RIPRAP
- [Pattern] FULL DEPTH PAVEMENT
- [Pattern] REMOVAL OF EXISTING CONCRETE OR ASPHALT

NEW CONSTRUCTION NOTES

- INSTALL 7 INCH COMBINATION CURB AND GUTTER (STD. R-3.01)
- TRANSITION NEW CURB INTO EXISTING CONCRETE CURB
- NOSE DOWN CURB
- INSTALL TYPE 'S' COMBINATION INLET (STD. D-4.26)
- INSTALL STORMCEPTOR STC-900.
- INSTALL STANDARD END SECTION FOR 18 INCH PIPES
- INSTALL STANDARD ENDWALL FOR 18 INCH PIPES
- INSTALL RIPRAP/GABION OUTFALL
- INSTALL STANDARD MANHOLE
- REMOVE AND REPLACE EX. FENCE IMPACTED BY CONSTRUCTION (AS REQUIRED)
- REMOVE NON-PAVED SURFACE AND REPLACE WITH 6" MIN. COMPACTED AGGREGATED BASE.

NOTE:
STORAGE CONTAINERS SHALL BE REMOVED BY THE BUREAU OF HIGHWAYS PRIOR TO CONSTRUCTION.

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16156, EXPIRATION DATE: 8/28/2022

PURPOSE:
THE PURPOSE OF THIS REDLINE IS TO ADD STORMCEPTORS TO CAPTURE POTENTIAL SPILLS CONTAINING CONTAMINANTS.

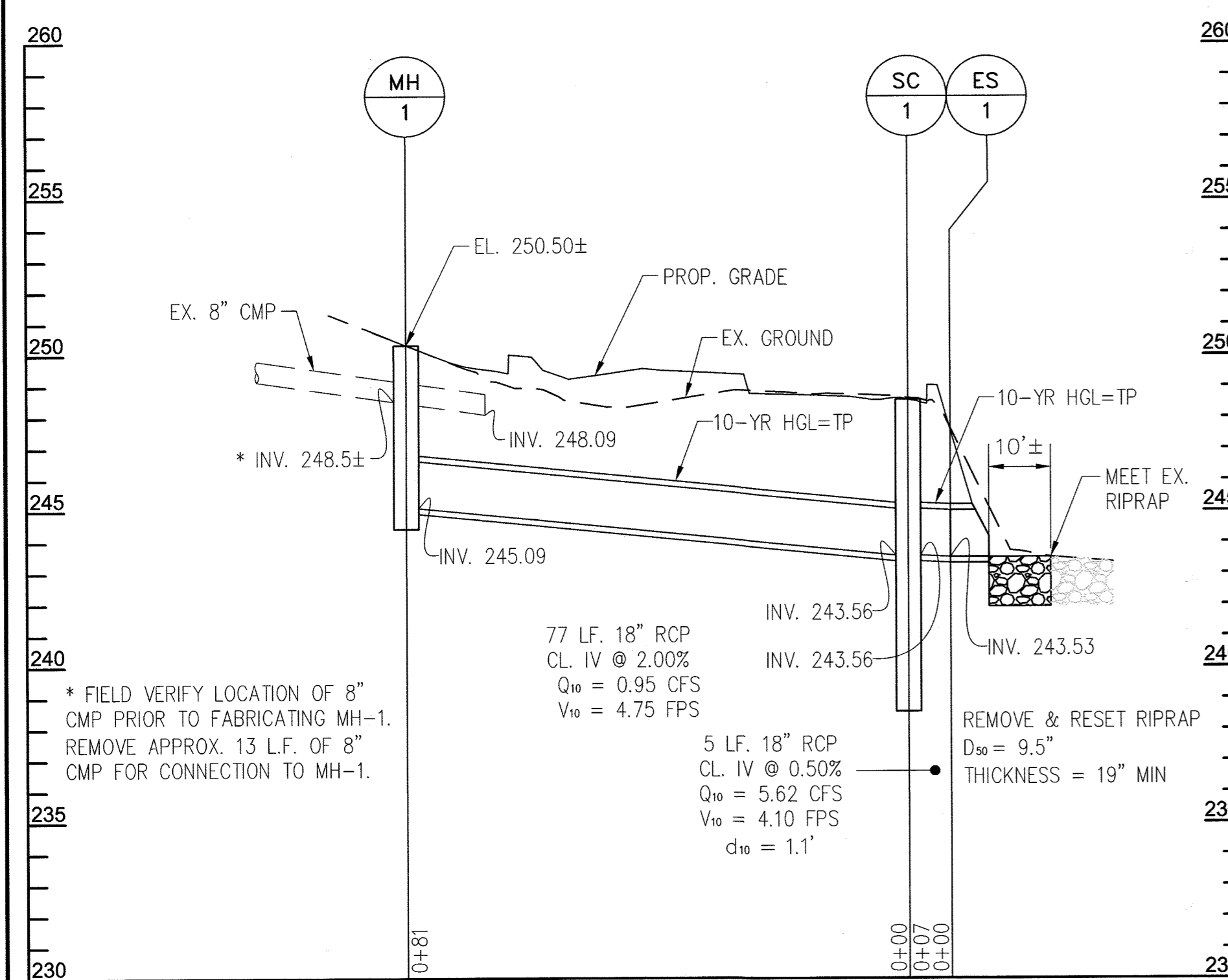
SCALE: 1" = 10'

APPROVED: DEPARTMENT OF PLANNING AND ZONING CHIEF, DEVELOPMENT ENGINEERING DIVISION CHIEF, DIVISION OF LAND DEVELOPMENT DIRECTOR	DATE: 8/10/21 DATE: 8/19/21 DATE: 8/23/21			DES: KMS DRN: CDF CHK: DTM DATE: 07/2021 DTM: NEW SHEET ADDED BY: NO. REVISION DATE: 07/2021	STORMWATER MANAGEMENT PLAN	REVISED SITE DEVELOPMENT PLAN MAYFIELD HIGHWAY MAINTENANCE FACILITY - STORMWATER MANAGEMENT 1ST ELECTION DISTRICT - HOWARD COUNTY, MARYLAND	SCALE: 1"=20' DWG NO.: C-05
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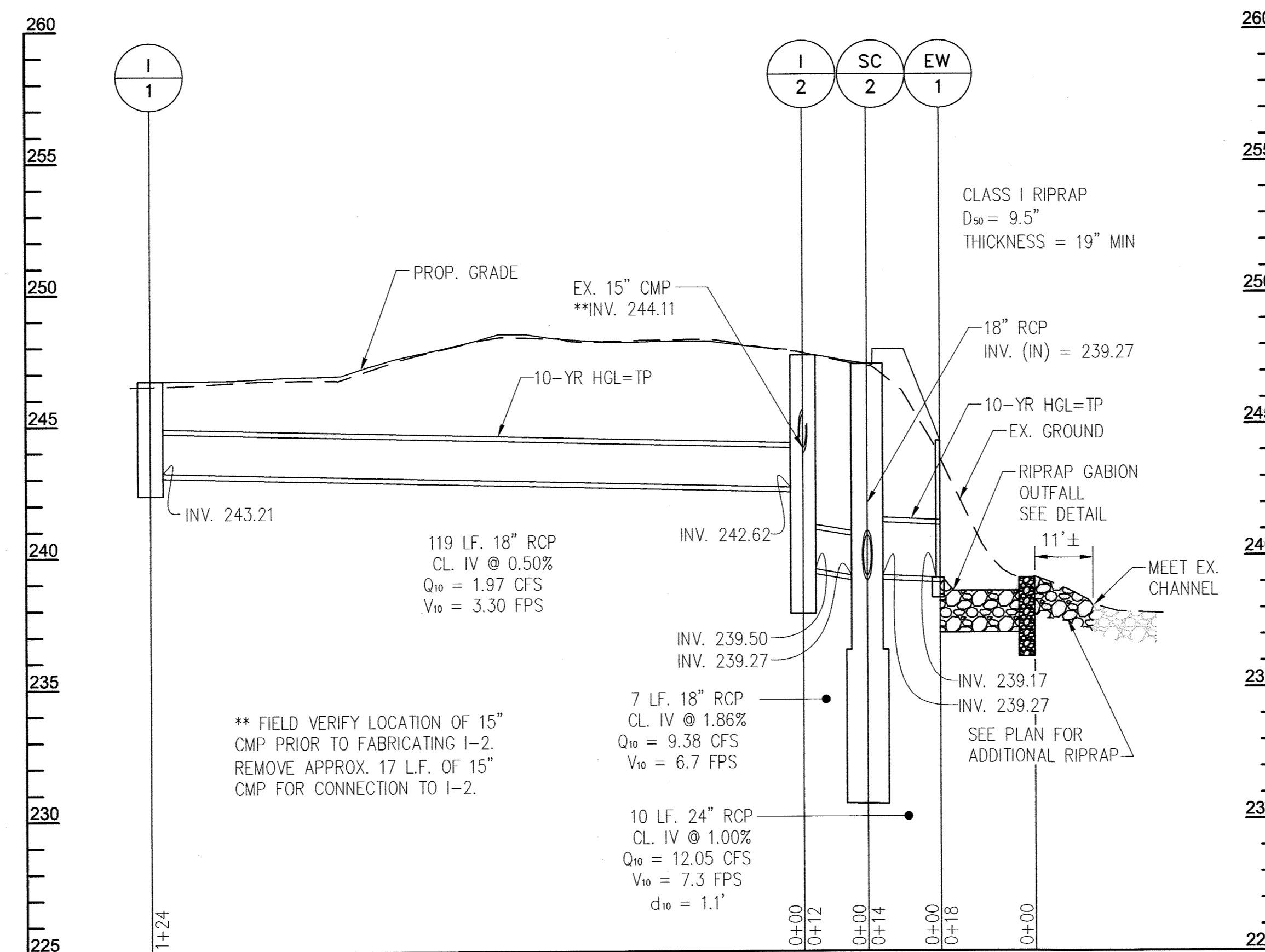
SDP SHT NO. 11 OF 16

FILE NAME: L:\DCS\Projects\H\HoCo\60522164\900-CAD-GIS\910-CAD\20-SHEETS\Mayfield Highway Maintenance\C-01.dwg LAYOUT NAME: C-05 PLOTTED: Thursday, July 29, 2021 - 1:48pm USER: chris.fleming

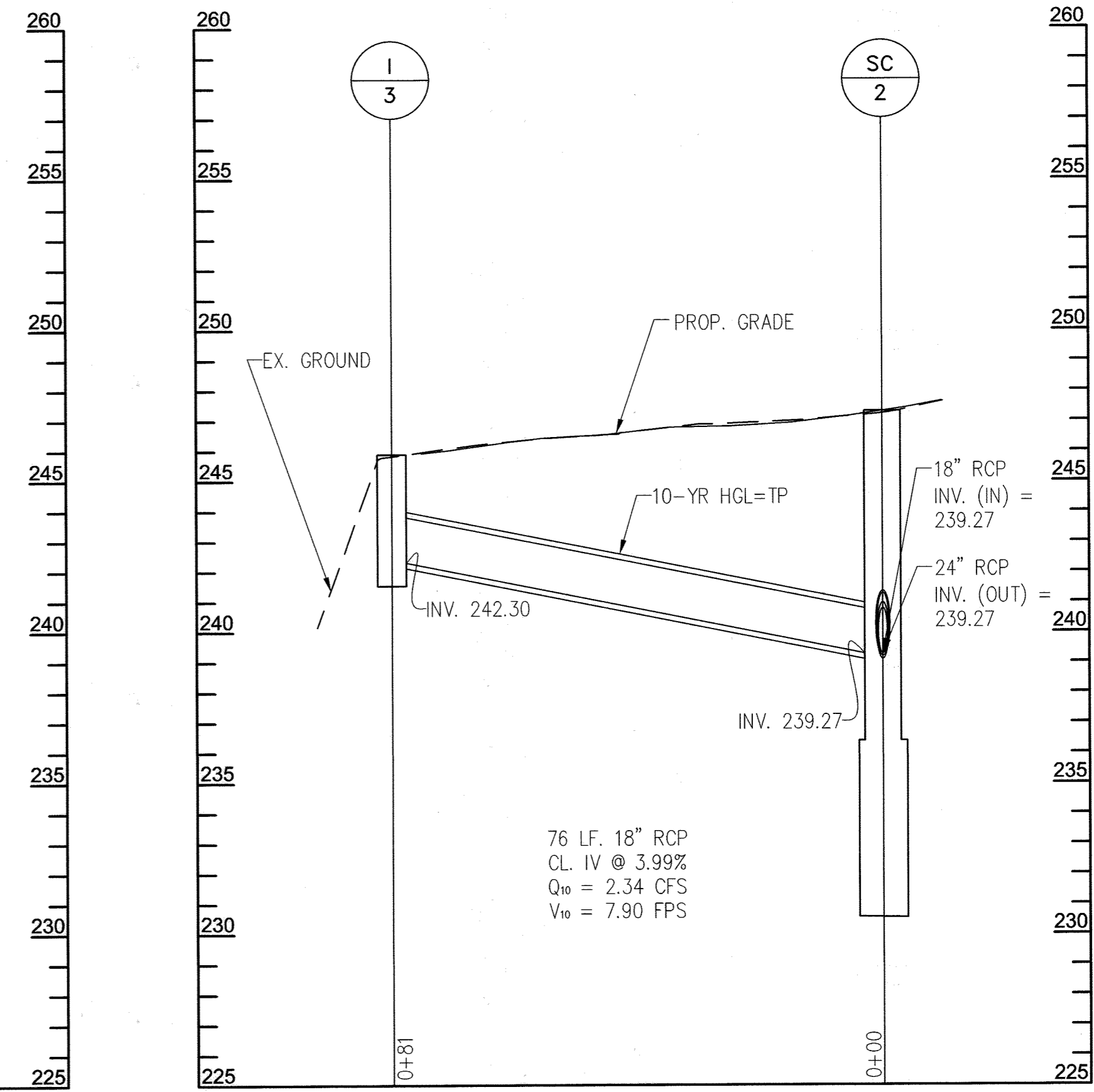
SDP 74-050



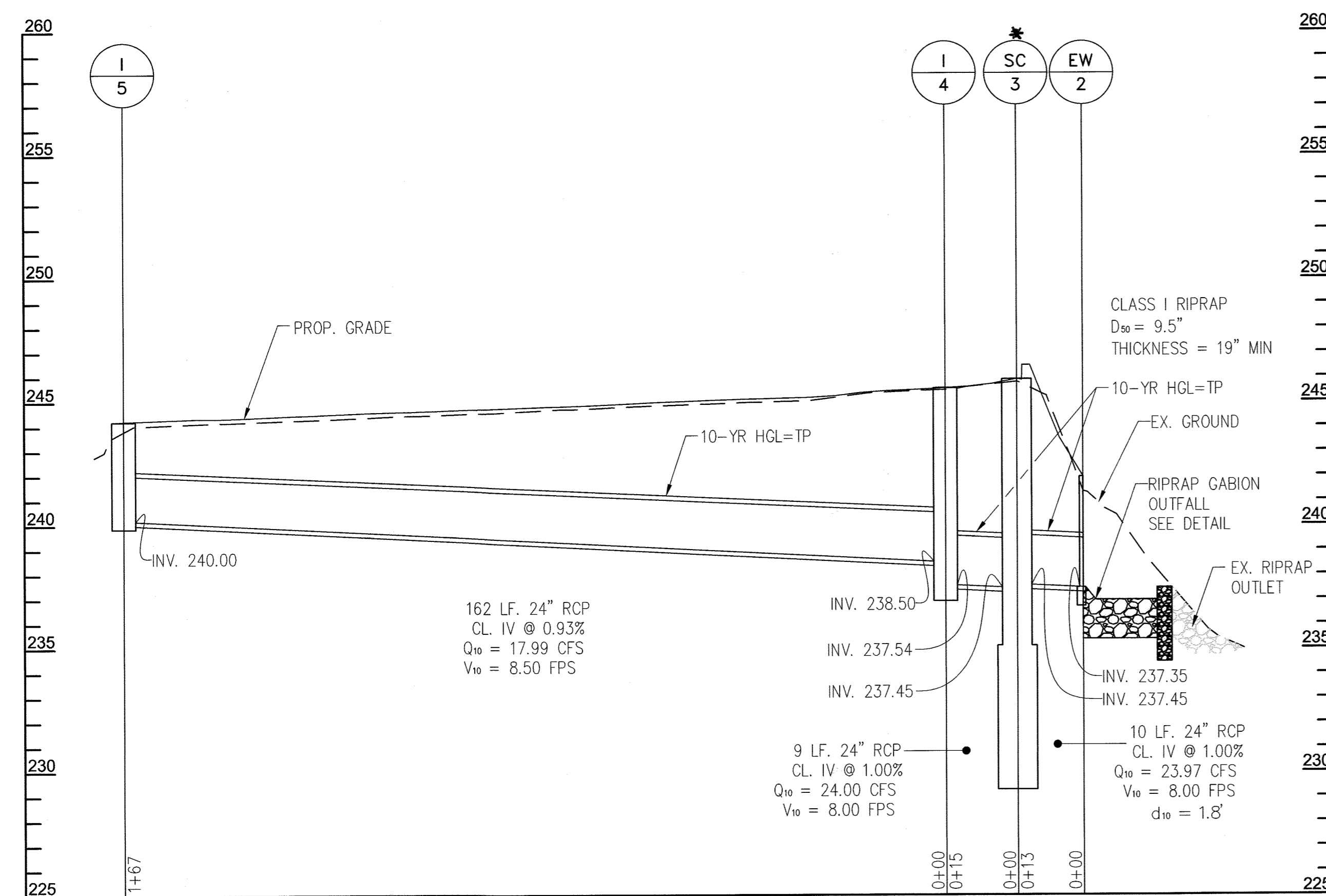
MH-1 TO ES-1



I-1 TO EW-1

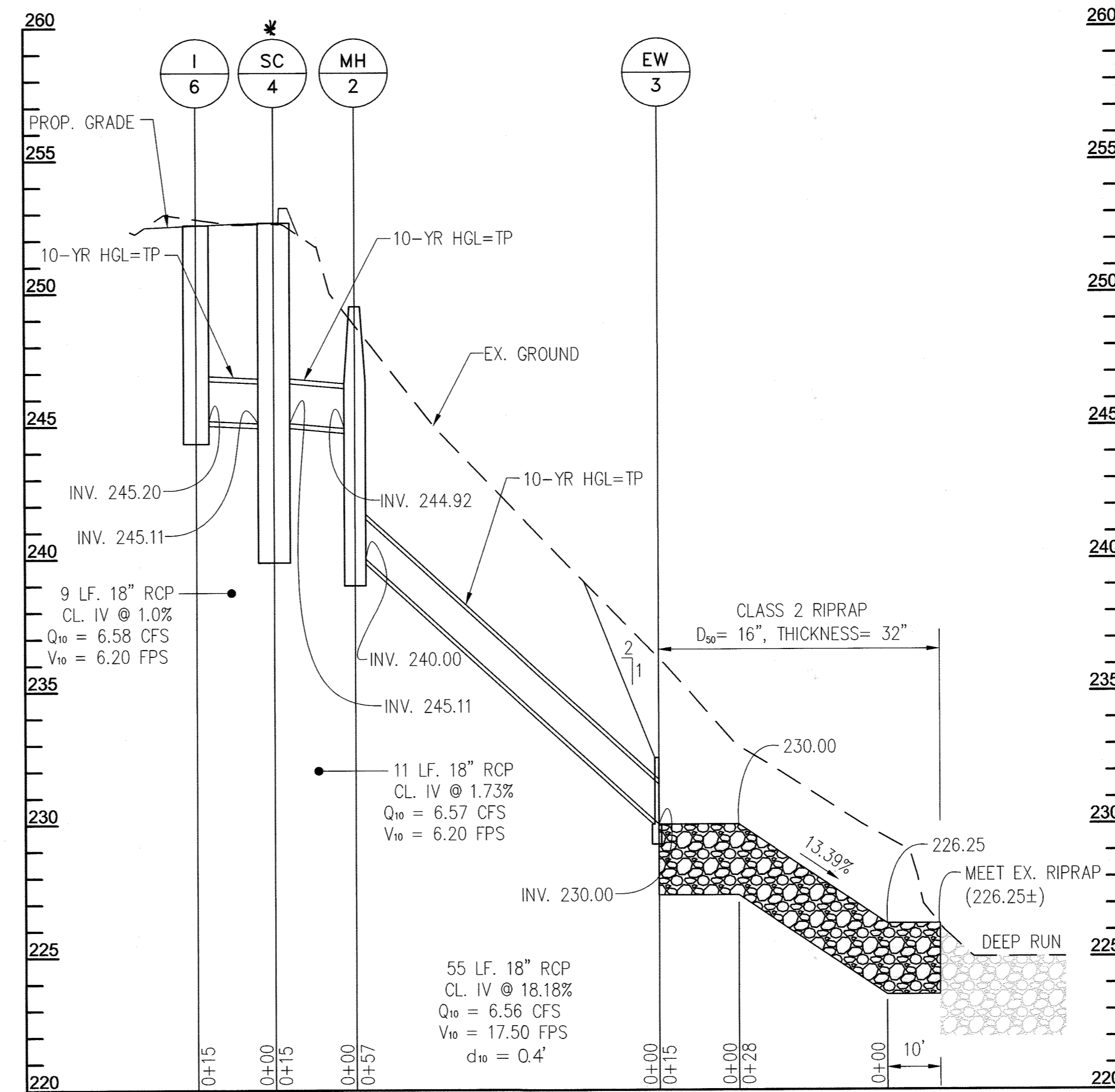


I-3 TO SC-2



I-5 TO EW-2

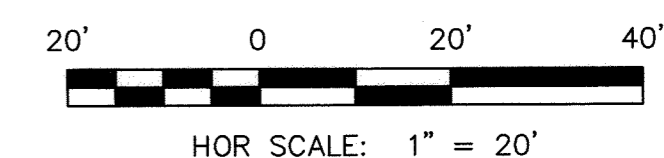
PROFESSIONAL CERTIFICATION
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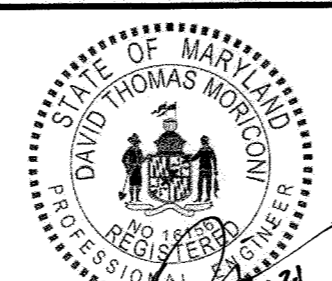
I-6 TO EW-3

* See Stormceptor detail for grade adjustments for cover over gutter pan.

▲ PURPOSE: THE PURPOSE OF THIS REDLINE IS TO ADD STORMCEPTORS TO CAPTURE POTENTIAL SPILLS CONTAINING CONTAMINANTS.



APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DIRECTOR
 DATE: 8/10/21
 DATE: 8/19/21
 DATE: 8/23/21



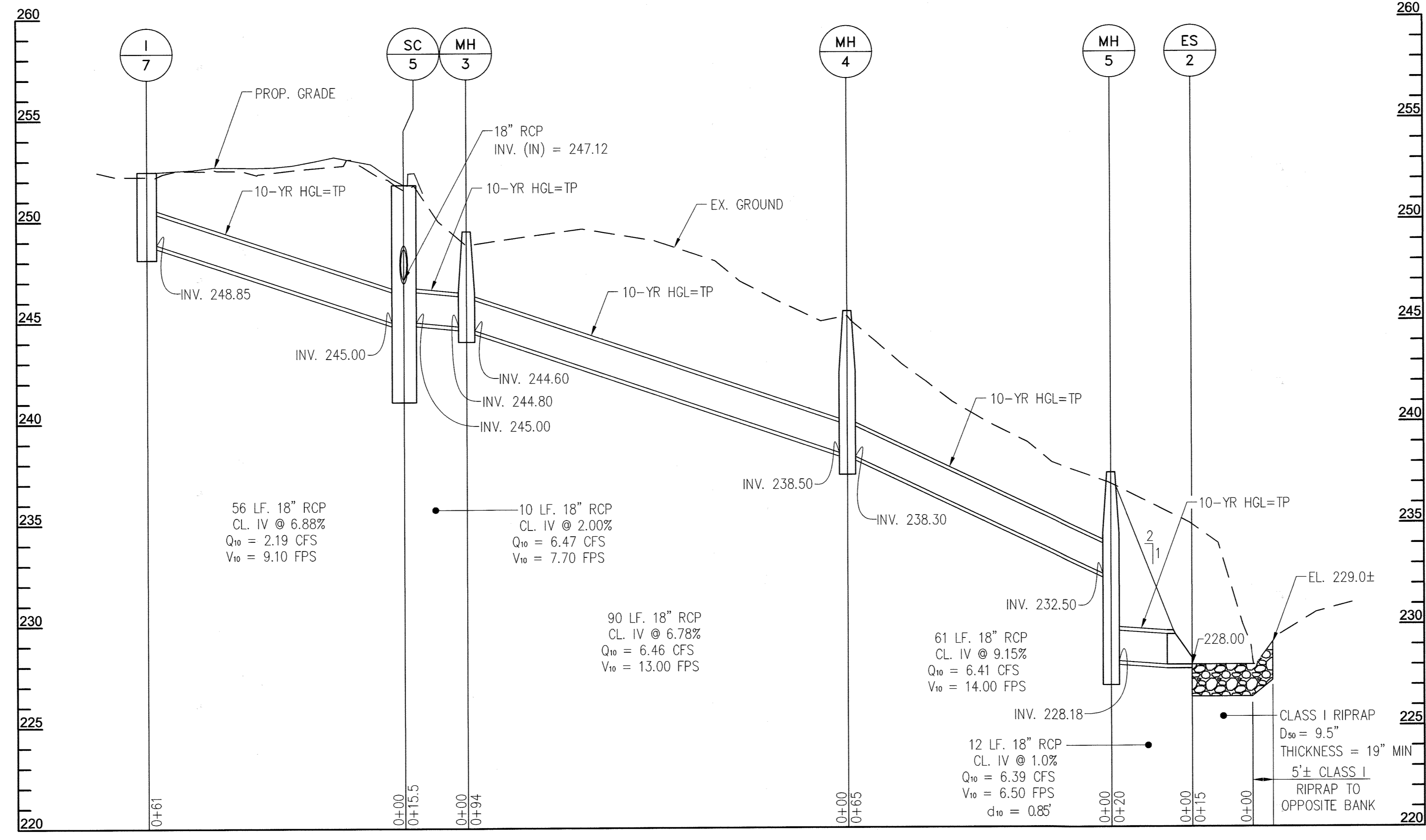
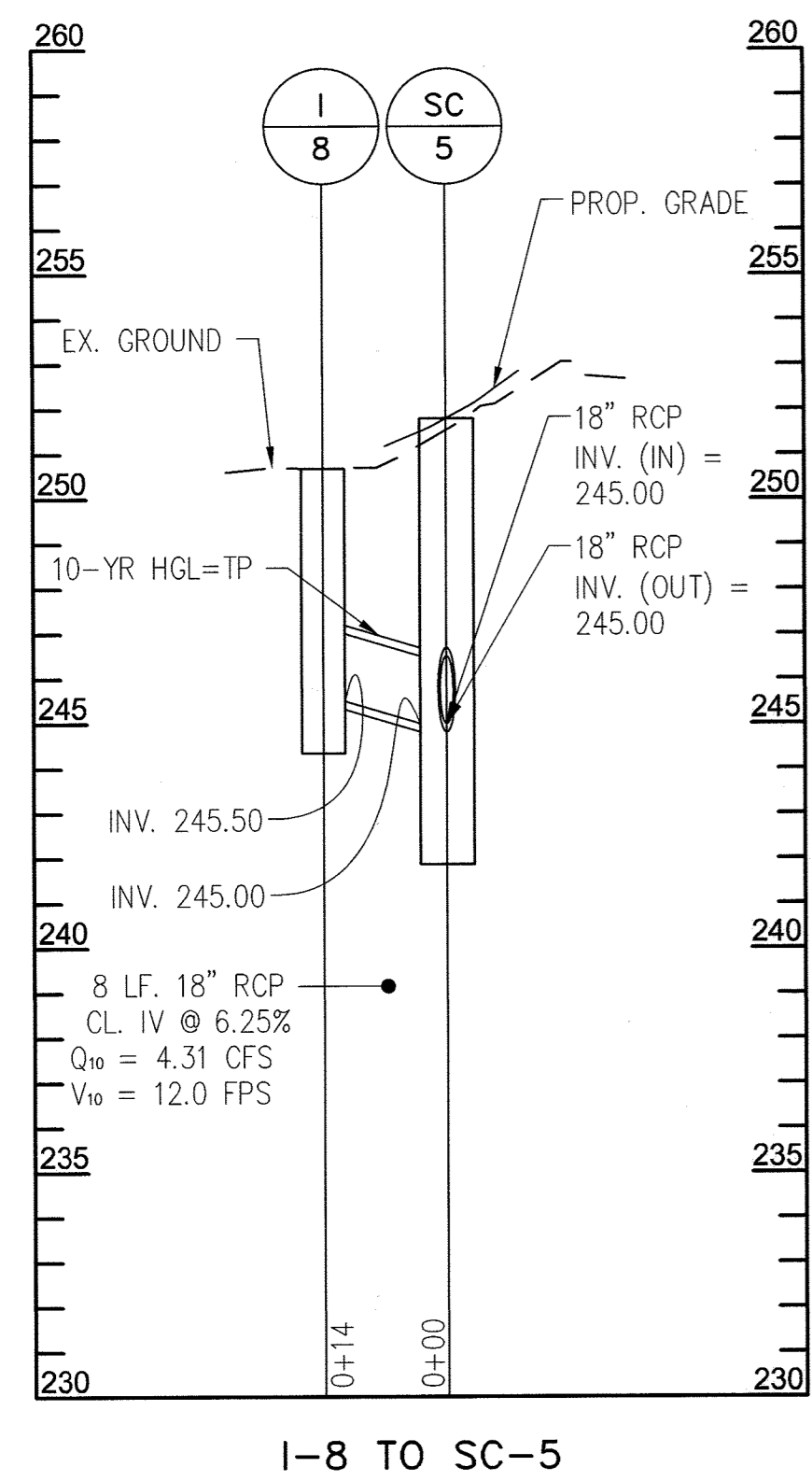
DES:	DMT		
DRN:	DMT		
CHK:	DTM		
DATE:	07/2021		
DTM:	NEW SHEET ADDED	07/2021	
BY:		REVISION	
NO.			

DRAINAGE PROFILES

REVISED SITE DEVELOPMENT PLAN
 MAYFIELD HIGHWAY MAINTENANCE FACILITY
 - STORMWATER MANAGEMENT

SCALE AS SHOWN
 DWG NO. DP-01

1ST ELECTION DISTRICT - HOWARD COUNTY, MARYLAND



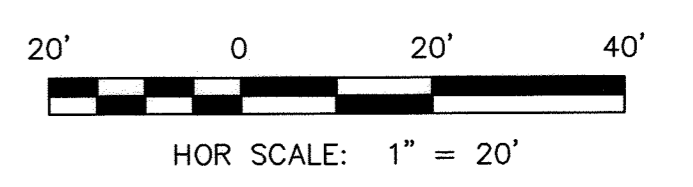
I-7 TO ES-2

STRUCTURE DESIGNATION	WORKPOINT				STRUCTURE TYPE	TOP OF STRUCT. ELEV.	INVERT IN	INVERT OUT	STD. NO.	REMARKS
	STATION	OFFSET	NORTHING	EASTING						
I-1	12+65.00	0.00	1,374,538.15	556,153.05	TYPE S COMBINATION INLET	246.53	-	243.21	D-4.26	
I-2	13+88.97	0.00	1,374,534.08	556,029.15	TYPE S COMBINATION INLET	247.70	242.62	239.50	D-4.26	
I-3	14+82.35	0.00	1,374,531.02	555,935.82	TYPE S COMBINATION INLET	245.80	-	242.39	D-4.26	
I-4	15+59.22	0.00	1,374,568.43	555,890.23	TYPE S COMBINATION INLET	245.50	239.00	237.54	D-4.26	
I-5	17+25.98	0.00	1,374,575.24	555,723.61	TYPE S COMBINATION INLET	244.00	-	240.50	D-4.26	
I-6	19+86.64	0.00	1,374,707.49	555,565.15	TYPE S COMBINATION INLET	252.48	-	245.20	D-4.26	
I-7	21+33.74	0.00	1,374,708.64	555,418.06	TYPE S COMBINATION INLET	252.35	-	248.85	D-4.26	
I-8	22+11.63	0.00	1,374,765.40	555,368.77	TYPE S COMBINATION INLET	251.10	-	245.00	D-4.26	
MH-1	10+05.26	4.45	1,374,631.31	556,335.86	PRECAST MANHOLE	250.50+/-	248.5+/-	245.09	G-5.12	CONNECT EX. 8" CMP
MH-2	19+73.05	16.40	1,374,691.00	555,578.62	PRECAST MANHOLE	249.00	244.92	240.00	G-5.12	
MH-3	22+06.44	14.42	1,374,750.48	555,365.26	PRECAST MANHOLE	249.50	244.80	244.60	G-5.12	
MH-4	22+71.88	58.23	1,374,827.07	555,311.12	PRECAST MANHOLE	245.50	238.50	238.30	G-5.12	
MH-5	22+60.72	117.06	1,374,818.47	555,251.85	PRECAST MANHOLE	237.50	232.50	228.18	G-5.12	
ES-1	10+90.15	3.74	1,374,550.68	556,329.51	CONCRETE END SECTION	-	-	243.50	D-5.51	REMOVE/RESET RIPRAP
ES-2	22+57.83	132.13	1,374,816.25	555,236.54	CONCRETE END SECTION	-	-	228.00	D-5.51	
EW-1	14+01.59	13.56	1,374,520.11	556,016.97	MOD. TYPE C ENDWALL	-	-	239.17	D-5.21	USE DIMENSIONS FOR 42" RCP
EW-2	15+44.86	13.10	1,374,554.76	555,904.04	MOD. TYPE C ENDWALL	-	-	237.35	D-5.21	USE DIMENSIONS FOR 42" RCP
EW-3	19+72.94	70.49	1,374,694.44	555,578.75	TYPE C ENDWALL	-	-	230.00	D-5.21	
SC-1	10+89.22	3.00	1,374,551.79	556,322.80	STC 450I PRECAST STORMCEPTOR	248.30	243.56	243.56	STC-450	SEE DETAIL, SHEET C-06
SC-2	14+01.15	0.00	1,374,533.71	556,016.97	STC 450I PRECAST STORMCEPTOR	245.27	239.27	239.27	STC-450	SEE DETAIL, SHEET C-06
SC-3	15+44.59	0.00	1,374,567.99	555,904.85	STC 2400 PRECAST STORMCEPTOR	245.88	237.45	237.45	STC-2400	SEE DETAIL, SHEET C-06
SC-4	19+72.02	0.00	1,374,707.66	555,579.78	STC 900 PRECAST STORMCEPTOR	252.63	245.11	245.11	STC-900	SEE DETAIL, SHEET C-06
SC-5	21+97.77	0.00	1,374,757.81	555,380.37	STC 900 PRECAST STORMCEPTOR	251.62	245.00	245.00	STC-900	SEE DETAIL, SHEET C-06

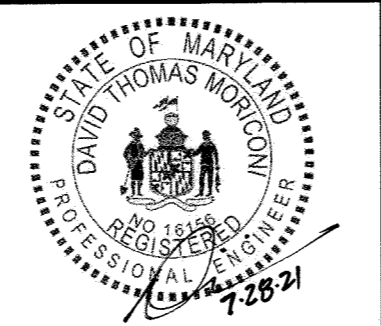
PIPE SCHEDULE					
FROM	TO	SIZE	TYPE	LENGTH	REMARKS
MH-1	SC-1	18"	RCP	77'	
SC-1	ES-1	18"	RCP	5'	
I-1	I-2	18"	RCP	119'	
I-2	SC-2	18"	RCP	7'	
SC-2	EW-1	24"	RCP	10'	
I-3	SC-2	18"	RCP	76'	
I-5	I-4	24"	RCP	162'	
I-4	SC-3	24"	RCP	9'	
SC-3	EW-2	24"	RCP	10'	
I-6	SC-4	18"	RCP	9'	
SC-4	MH-2	18"	RCP	11'	
MH-2	EW-3	18"	RCP	55'	
I-7	SC-5	18"	RCP	56'	
I-8	SC-5	18"	RCP	8'	
SC-5	MH-3	18"	RCP	10'	
MH-3	MH-4	18"	RCP	90'	
MH-4	MH-5	18"	RCP	61'	
MH-5	ES-2	18"	RCP	12'	

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16156, EXPIRATION DATE: 8/28/2022

PURPOSE:
 THE PURPOSE OF THIS REDLINE IS TO ADD STORMCEPTORS TO CAPTURE POTENTIAL SPILLS CONTAINING CONTAMINANTS.



APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 8-10-21
 DATE: 8/14/21
 DATE: 8/23/21

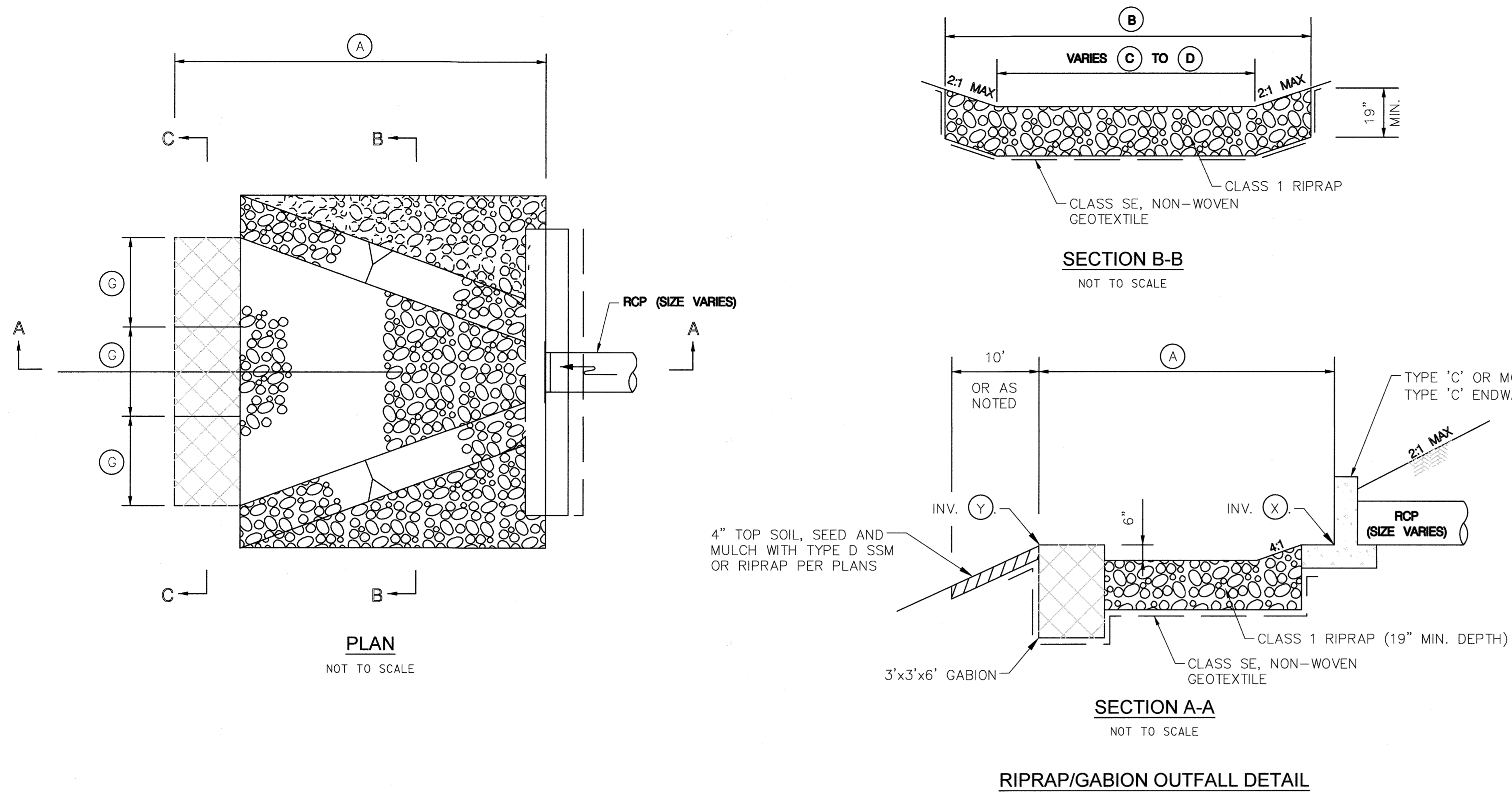


DES: DMT
 DRN: DMT
 CHK: DTM
 DATE: 07/2021
 DTM
 NEW SHEET ADDED
 07/2021

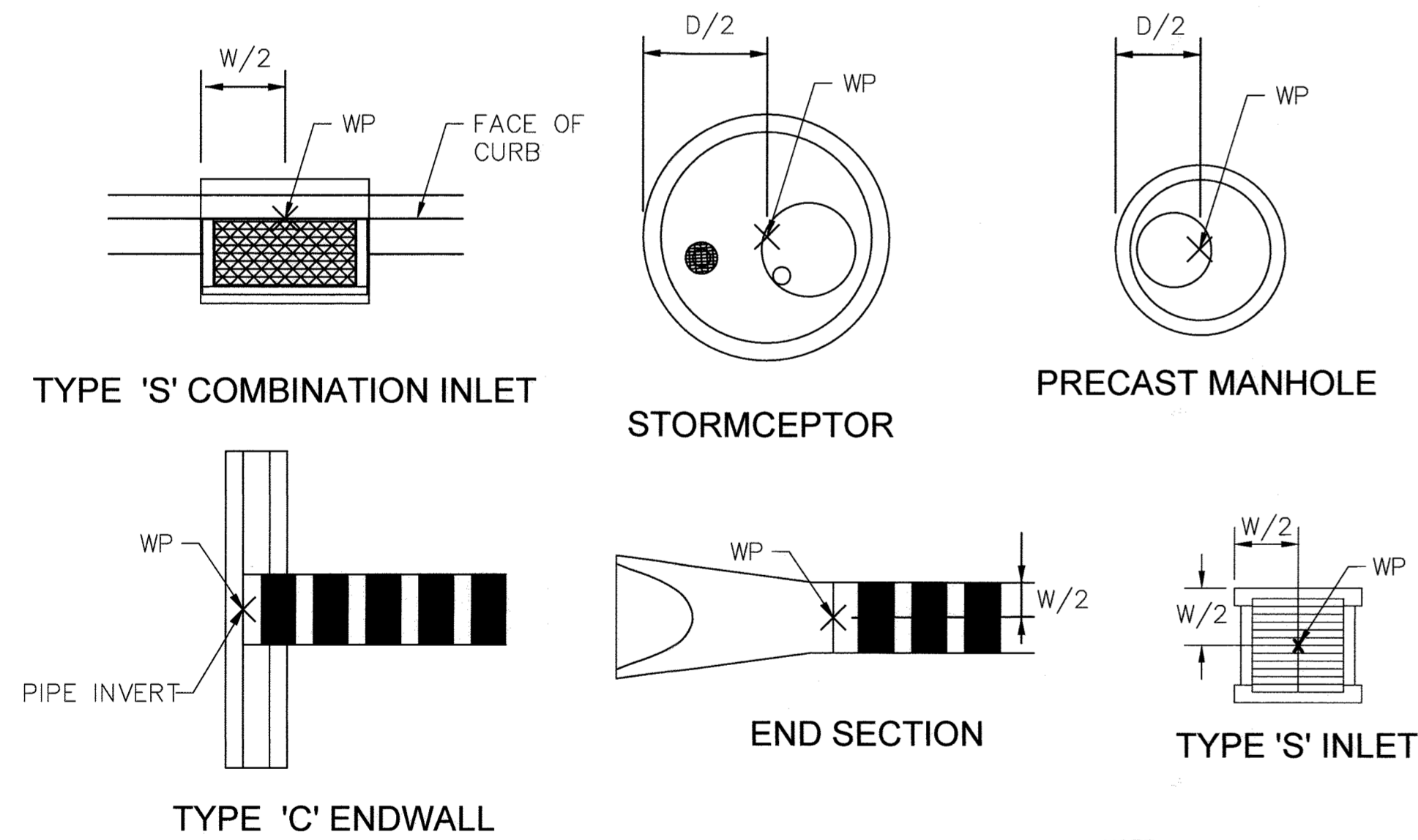
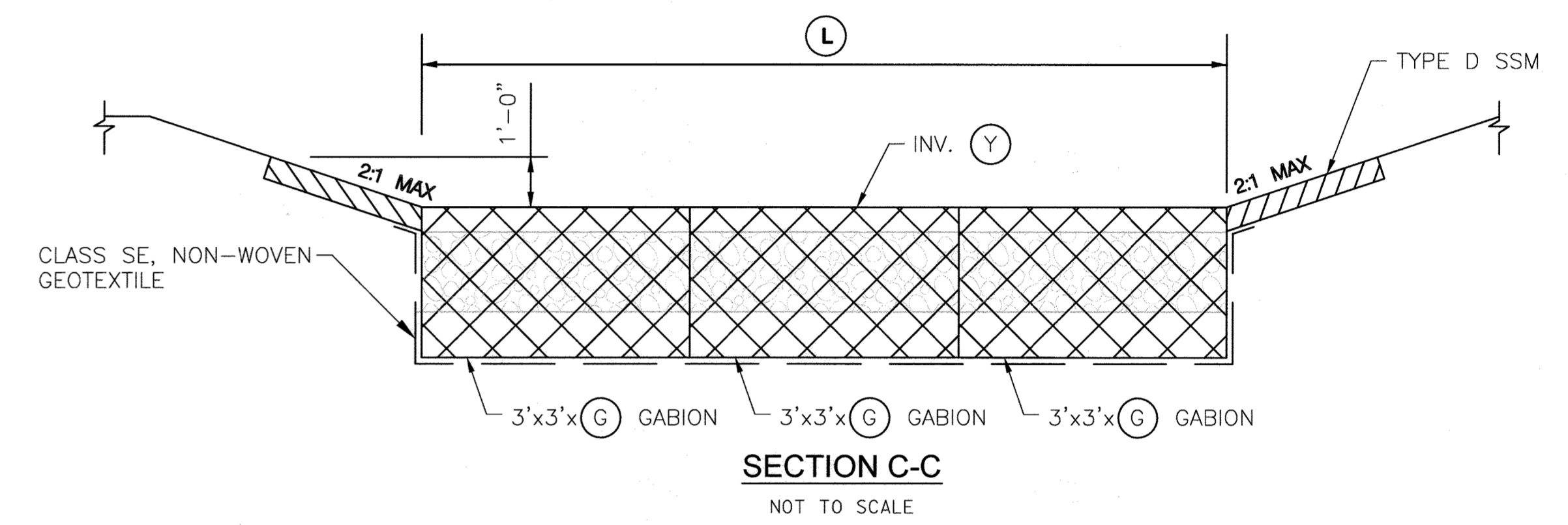
DRAINAGE PROFILES AND SCHEDULES

REVISED SITE DEVELOPMENT PLAN
 MAYFIELD HIGHWAY MAINTENANCE FACILITY - STORMWATER MANAGEMENT
 1ST ELECTION DISTRICT - HOWARD COUNTY, MARYLAND

SCALE AS SHOWN
 DWG NO. DP-02



OUTFALL DIMENSIONS								
OUTFALL	A	B	C	D	G	L	X	Y
EW-1	18'	20'	8'	18'	6'	18'	239.17	239.17
EW-2	18'	26'	8'	24'	8'	24'	237.35	237.35

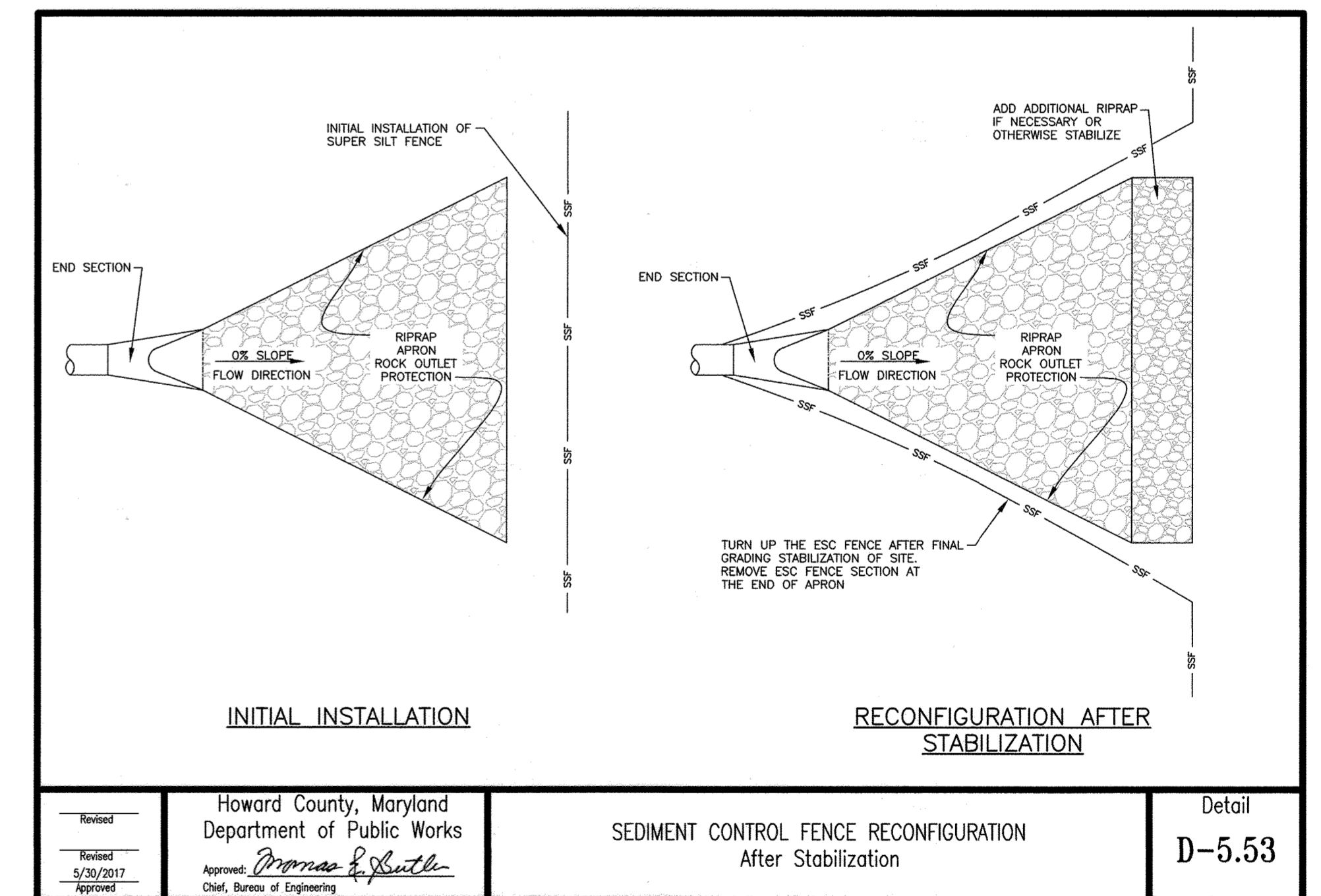


WORKPOINT LOCATIONS
NOT TO SCALE

NOTE:
WORK POINT LOCATIONS FOR STRUCTURES ARE SHOWN IN THE DIAGRAMS ABOVE. THE TOP ELEVATIONS OF THE STRUCTURES ARE GIVEN AT THE WORK POINTS. FOR CURB INLETS, THE TOP ELEVATIONS ARE GIVEN AT THE TOP OF CURB.

PROFESSIONAL CERTIFICATION
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Howard County, Maryland
Department of Public Works
Approved: *Doreen R. Smith*
Chief, Bureau of Engineering

SEDIMENT CONTROL FENCE RECONFIGURATION After Stabilization

Detail
D-5.53

APPROVED: DEPARTMENT OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION
CHIEF, DIVISION OF LAND DEVELOPMENT
DIRECTOR

DATE: 8-10-21
DATE: 8/19/21
DATE: 8/23/21

AECOM

STATE OF MARYLAND
DANIEL D. THOMAS, M.D.
GOVERNOR

DES: DMT
DRN: DMT
CHK: DTM
DATE: 07/2021

DTM
BY NO. REVISION
NEW SHEET ADDED
DATE: 07/2021

STORM DRAIN DETAILS

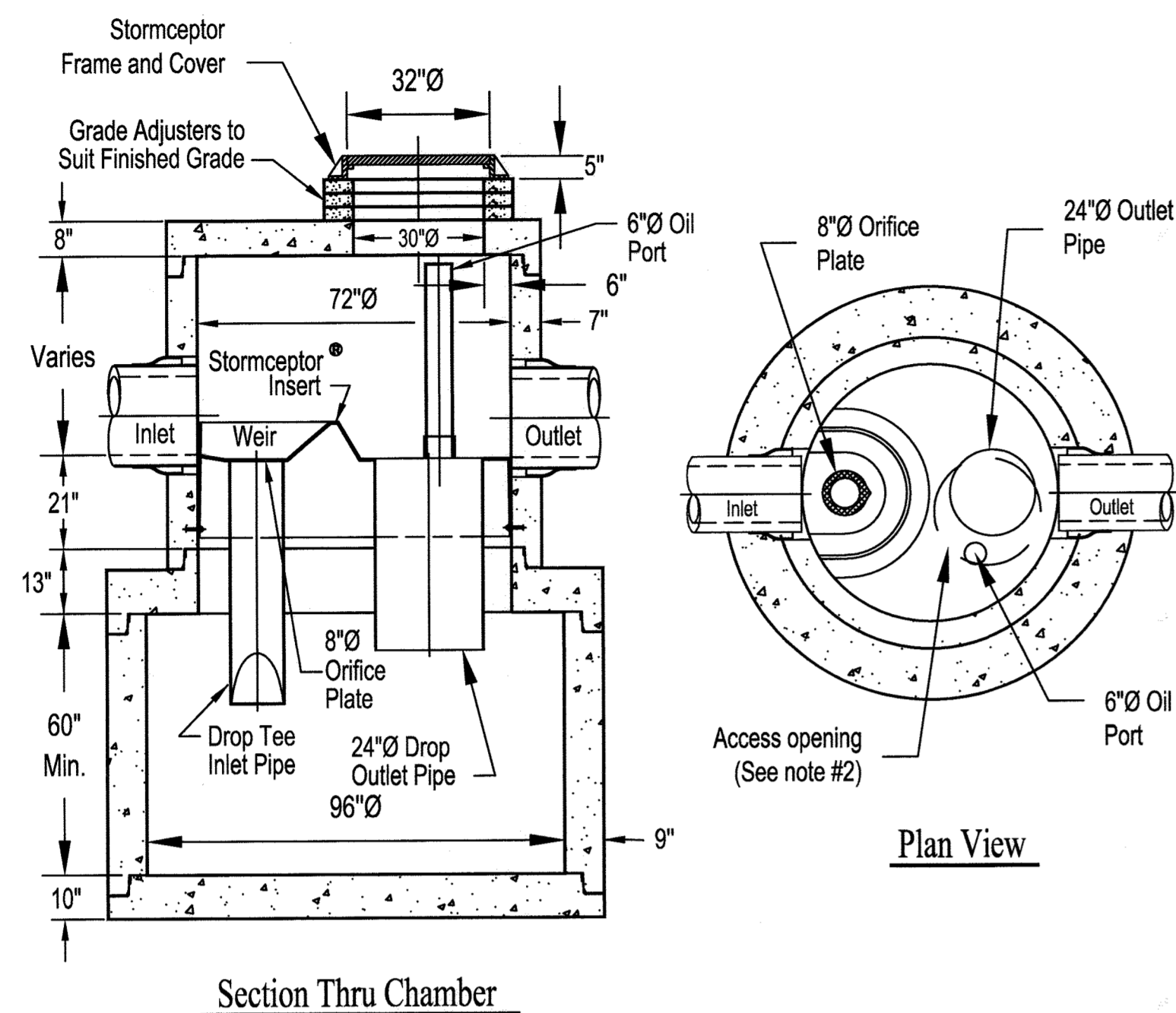
SCALE MAP NO. BLOCK NO.

REVISED SITE DEVELOPMENT PLAN
MAYFIELD HIGHWAY MAINTENANCE FACILITY
- STORMWATER MANAGEMENT

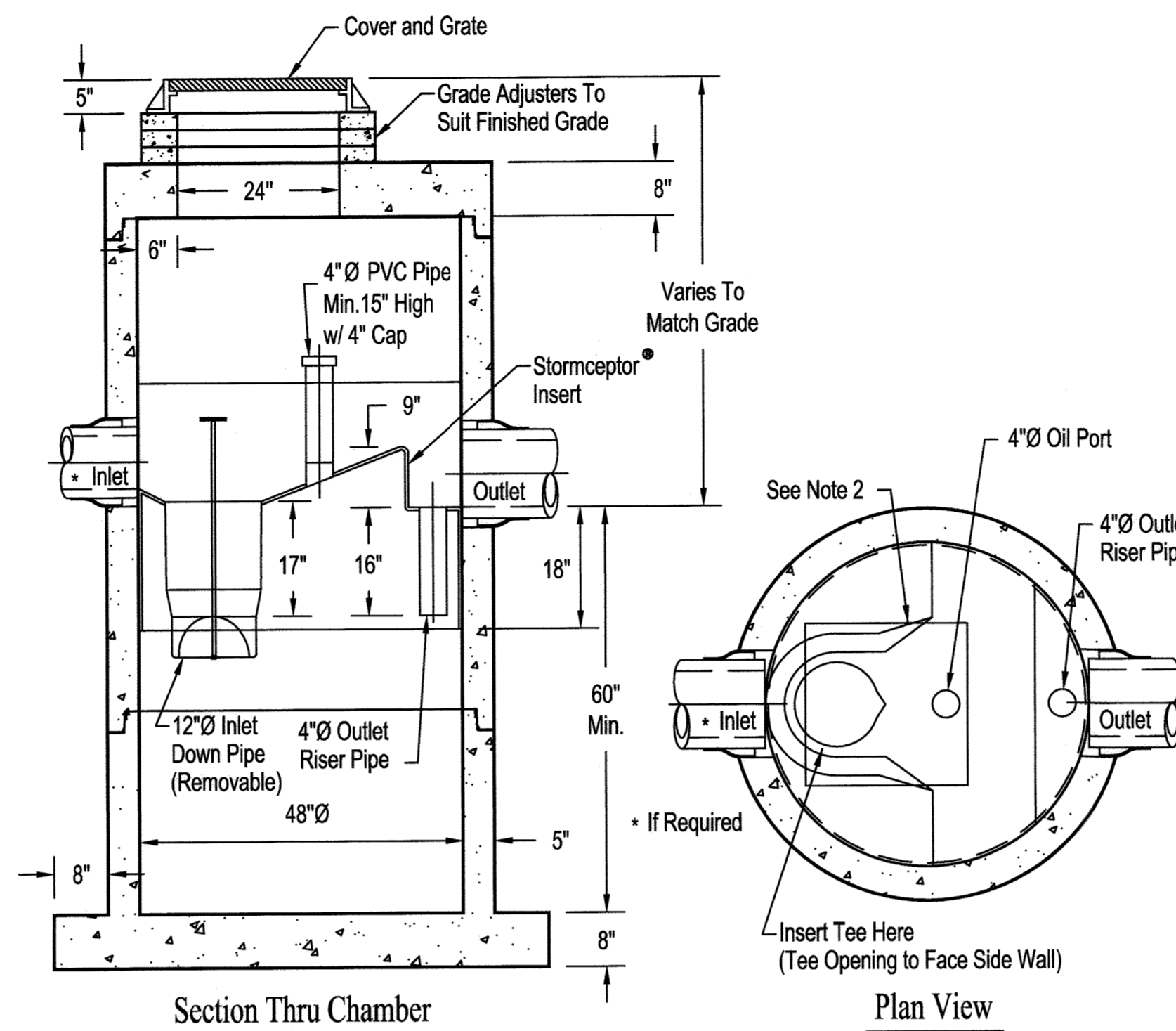
1ST ELECTION DISTRICT - HOWARD COUNTY, MARYLAND

SCALE
N/A
DWG NO.
DD-01

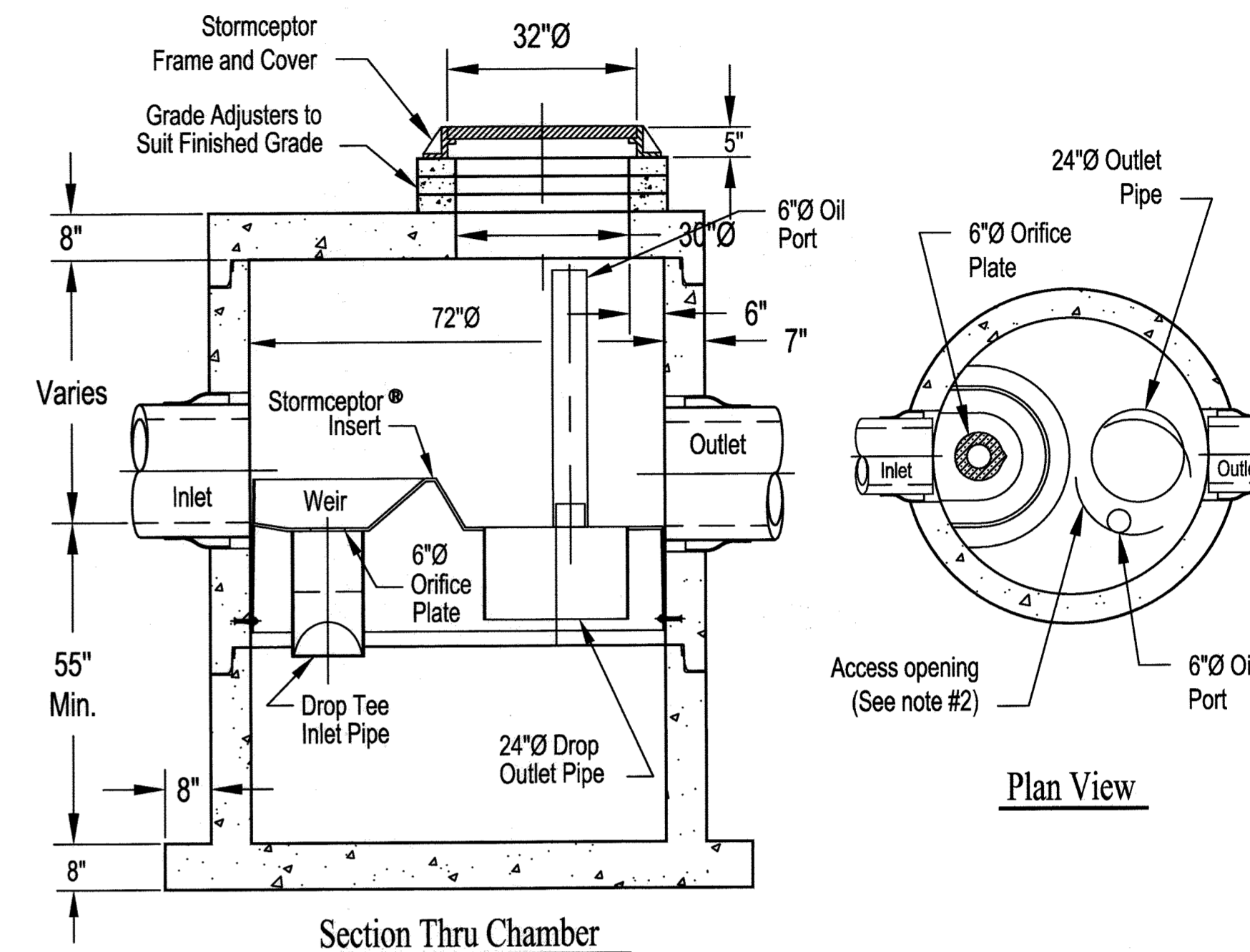
STC 2400 Precast Concrete Stormceptor®
(2400 U.S. Gallon Capacity)



STC 450i Precast Concrete Stormceptor®
(450 U.S. Gallon Capacity)



STC 900 Precast Concrete Stormceptor®
(900 U.S. Gallon Capacity)



Notes:

1. The Use Of Flexible Connection is Recommended at The Inlet and Outlet Where Applicable.
2. The Cover Should be Positioned Over The Outlet Drop Pipe and The Oil Port.
3. The Stormceptor System is protected by one or more of the following U.S. Patents: #4985148, #5498331, #5725760, #5753115, #5849181, #6068765, #6371690.
4. Contact a Concrete Pipe Division representative for further details not listed on this drawing.
5. For SC-3.

Rinker 031

Notes:

1. The Use Of Flexible Connection is Recommended at The Inlet and Outlet Where Applicable.
2. The Cover Should be Positioned Over The Inlet Drop Pipe and The Oil Port.
3. The Stormceptor System is protected by one or more of the following U.S. Patents: #4985148, #5498331, #5725760, #5753115, #5849181, #6068765, #6371690.
4. Contact a Concrete Pipe Division representative for further details not listed on this drawing.
5. For SC-1 and 2.

Rinker 027

Notes:

1. The Use Of Flexible Connection is Recommended at The Inlet and Outlet Where Applicable.
2. The Cover Should be Positioned Over The Outlet Drop Pipe and The Oil Port.
3. The Stormceptor System is protected by one or more of the following U.S. Patents: #4985148, #5498331, #5725760, #5753115, #5849181, #6068765, #6371690.
4. Contact a Concrete Pipe Division representative for further details not listed on this drawing.
5. For SC-4, 5, 6 and 7.

Rinker 028

Stormceptor®

STORMCEPTOR® QUOTATION AND ORDER FORM

Quotation No: _____
Date: _____

Project Information:
Project Number: _____
Project Name: _____
Closing Date: _____
Job-site Address: _____
Municipality: _____

Contractor Information:
Contract Name: _____
Company: _____
Phone No: _____
Fax No: _____
E-mail: _____

Consultant Information:
Contact Name: _____
Company: _____
Phone No: _____
Fax No: _____
E-mail: _____

Owner Information (Required for Maintenance):
Contact Name: _____
Company: _____
Phone No: _____
Fax No: _____
E-mail: _____

Land Use (Check one):
 Commercial Gas Station Government Industrial Military
 Street Residential Transportation Other

STORMCEPTOR INFORMATION
Structure No.: _____
Top of Grate Elev.: _____
Outlet Invert Elev.: _____
Inlet Invert Elev.: _____
Outlet Pipe Material: _____
Inlet Pipe Material: _____

STORMCEPTOR MODEL REQUIRED (circle model number)

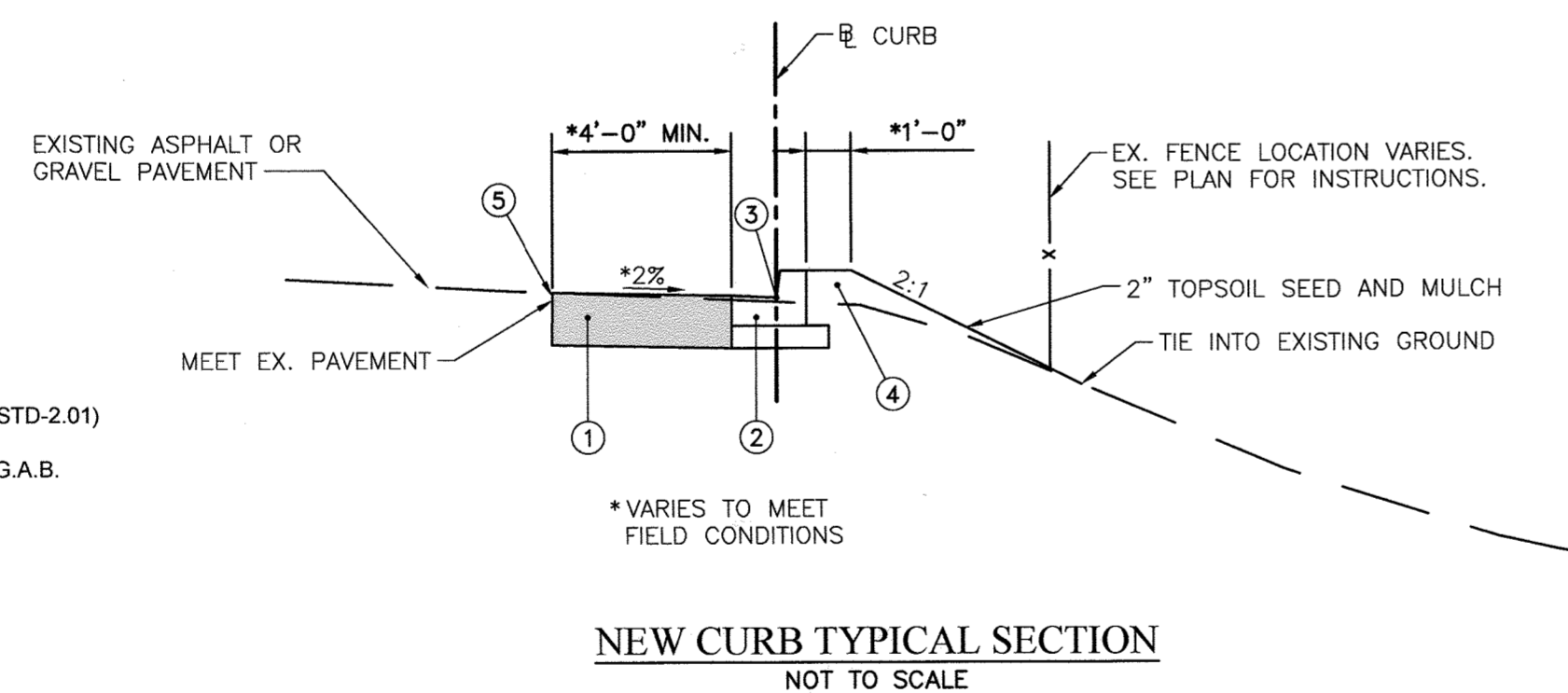
INLET SYSTEM	IN-LINE SYSTEM	SERIES SYSTEM
STC 450	STC 900 STC 1200 STC 1800 STC 2400 STC 3600 STC 4800 STC 6000 STC 7200	STC 11000 STC 16000 STC 13000

Downstream Unit Upstream Unit

Show Orientation of Inlet Pipe Show Orientation of Inlet Pipe Show Orientation of Outlet Pipe on Downstream Unit

Please complete the attached form and fax to your local Stormceptor representative
www.rinkerstormceptor.com

SDP SHT NO. 15 OF 16



- 1 FULL DEPTH PAVEMENT SECTION (P-4 PER STD-2.01)
- 2 7" COMBINATION CURB AND GUTTER WITH G.A.B.
- 3 SEE DE-01 FOR FLOW LINE ELEVATIONS
- 4 COMMON COMPACTED FILL
- 5 FULL DEPTH SAWCUT AS REQUIRED

NEW CURB TYPICAL SECTION
NOT TO SCALE

PROFESSIONAL CERTIFICATION

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PURPOSE:
THE PURPOSE OF THIS REDLINE IS TO ADD STORMCEPTORS TO CAPTURE POTENTIAL SPILLS CONTAINING CONTAMINANTS.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division
Chief, Division of Land Development
Director

DATE: 8-10-21
DATE: 8/19/21
DATE: 8/23/21

AECOM



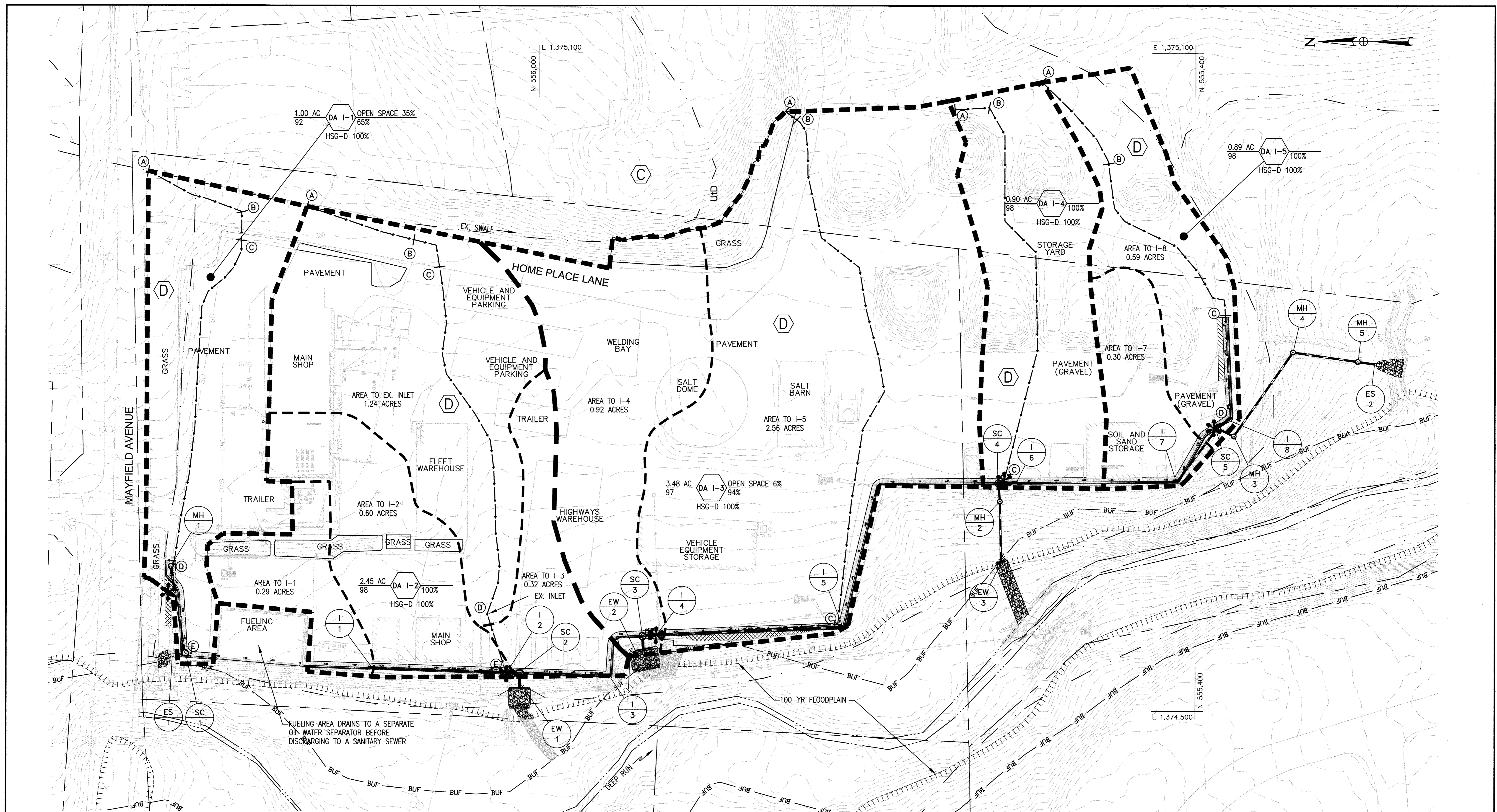
DES: KMS	DTM	NEW SHEET ADDED	07/2021
DRN: ---	BY	REVISION	DATE
CHK: ---	NO.		
DATE: 07/2021			

STORMCEPTOR DETAILS

REVISED SITE DEVELOPMENT PLAN
MAYFIELD HIGHWAY MAINTENANCE FACILITY
- STORMWATER MANAGEMENT

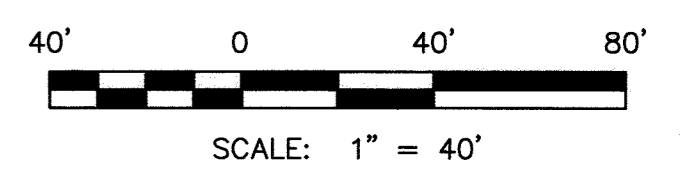
1ST ELECTION DISTRICT - HOWARD COUNTY, MARYLAND

SCALE
N/A
DWG NO.
C-06



LEGEND

- POINT OF INVESTIGATION (POI)
- DRAINAGE AREA BOUNDARY TO POI
- SUB-DRAINAGE BOUNDARY
- TIME OF CONCENTRATION PATH (TC)
- 100-YR FLOODPLAIN
- SOILS GROUP



PROFESSIONAL CERTIFICATION
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APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division: *[Signature]* DATE: 8/10/21
 Chief, Division of Land Development: *[Signature]* DATE: 8/19/21
 Director: *[Signature]* DATE: 8/23/21



DES:	KMS			
DRN:	CDF			
CHK:	DTM			
DATE:	07/2021	DTM	NEW SHEET ADDED	07/2021
		BY		DATE

DRAINAGE AREA MAP (MAYFIELD)

REVISED SITE DEVELOPMENT PLAN
MAYFIELD HIGHWAY MAINTENANCE FACILITY - STORMWATER MANAGEMENT

1ST ELECTION DISTRICT - HOWARD COUNTY, MARYLAND

SCALE: 1" = 40'
 DWG NO.: DA-01