

GENERAL NOTES

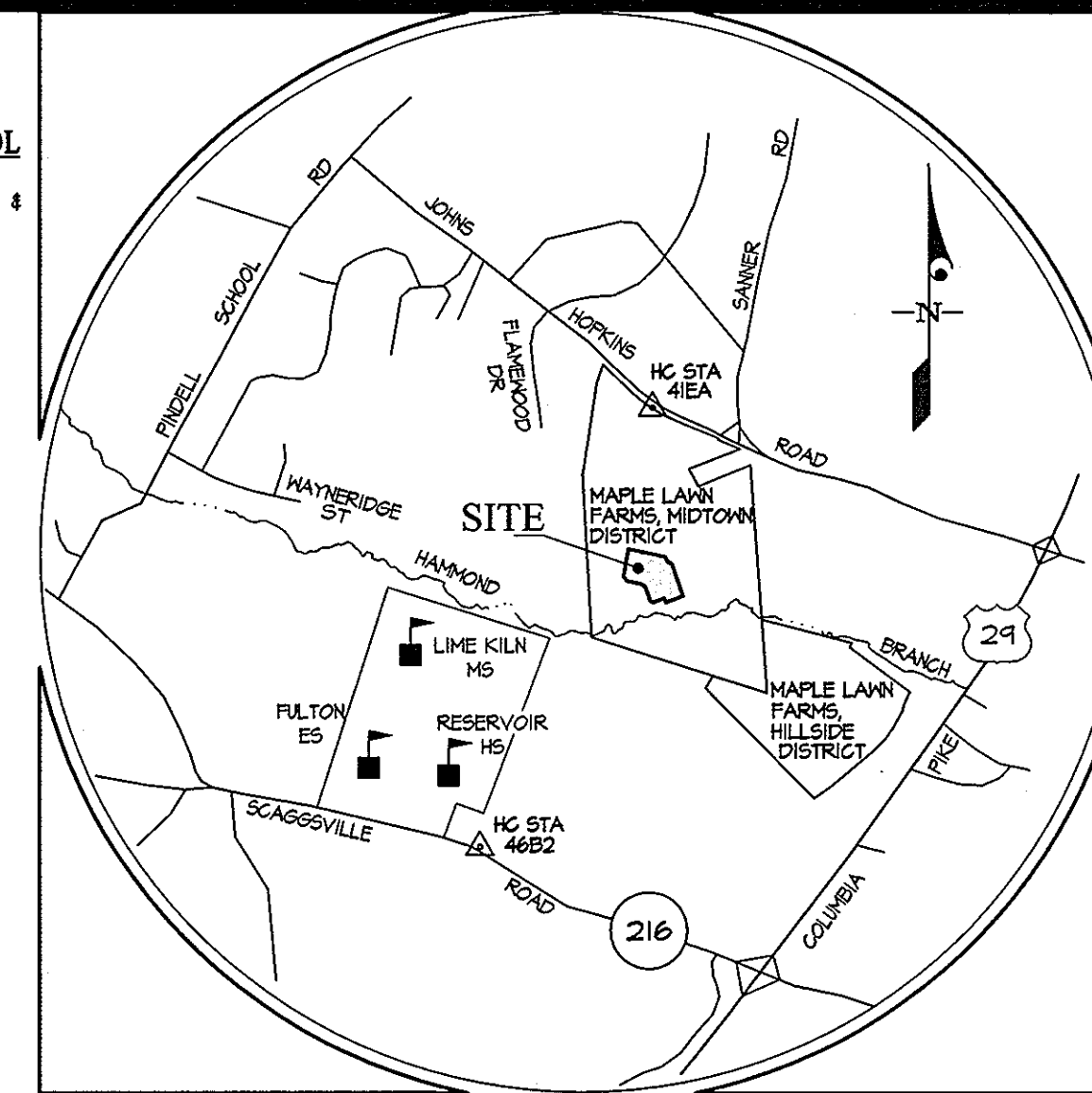
- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1800 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-251-7111 AT LEAST 48-HOURS PRIOR TO ANY EXCAVATION WORK.
4. PROJECT BACKGROUND: LOCATION: SEE VICINITY MAP IN THE TOP RIGHT CORNER OF THIS SHEET. TAX MAP: 41. ELECTION DISTRICT: 5. ZONING: MXD-3 PER ZB-193M (APPROVED ON 02-08-01), UNDERLYING ZONING IS RR-050 AND PER THE 02/02/04 COMPREHENSIVE ZONING PLAN AND THE COMPREHENSIVE ZONING REGULATIONS AMENDMENTS EFFECTIVE ON 12/26/06. AREA OF BUILDABLE LOTS FOR THIS SITE DEVELOPMENT PLAN: 5.551 ACRES (PLAT NO. 11355).
FOR OTHER SUBMISSIONS RELATED TO THIS SITE, SEE HOWARD COUNTY DEPT. OF PLANNING & ZONING FILE NOS.: 5-01-17, ZB-193M, PB-255, MP-01-11, MP-03-02, F-05-01, F-03-10, F-04-01, F-04-12, MP-05-36, F-05-142, F-05-31, F-05-194, F-05-112/113, 5-06-16, CR122-2006 (approved on 10/19/2006), ZB193M, PB-278, AND F-07-25.
DOWNSIDE SECTION 2.8 WAS APPROVED ON 04/10/07 FOR A PORTION OF CHASE STREET TO BE 20' MIN. WIDTH W/ STANDARD SIZE PARALLEL PARKING PROVIDED ALONG THIS PORTION OF THE PRIVATE ROAD.
5. TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
6. ALL PLAN DIMENSIONS ARE TO THE FACE OF CURB OR FACE OF BUILDINGS UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIALLY BETWEEN ITEMS UNLESS OTHERWISE NOTED.
7. EXISTING TOPOGRAPHY AND FEATURES COMPILED FROM F-03-10 AND GJM SURVEY IN MARCH 2006.
8. COORDINATES ARE BASED ON NAD83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATION NUMBERS 41EA & 46B2.
9. STORMWATER MANAGEMENT, FOR BOTH QUALITY (HQ) AND QUANTITY (QV), HAS BEEN SATISFIED BY A REGIONAL FACILITY CONSTRUCTED UNDER F-03-10 ON OPEN SPACE LOT 122. THE RECHARGE REQUIREMENTS FOR THIS PARCEL IS PROVIDED IN THE FACILITY (ALSO CONSTRUCTED UNDER F-03-10) BEHIND THE COMMUNITY CENTER (SDP-03-11) ON OPEN SPACE LOT 125. THE POND WILL BE PUBLICLY OWNED AND MAINTAINED ONCE ITS DEDICATED.
10. PUBLIC WATER AND SEWER SHALL BE UTILIZED AS PROVIDED BY M&S CONTRACT NOS. 24-4105-D, 24-4238-D AND 24-4455-D. WATER METERS ARE LOCATED INSIDE THE BUILDINGS. ALL BUILDINGS SHALL BE EQUIPPED WITH A SPRINKLER SYSTEM (FOR FIRE PROTECTION). THE ON-SITE SANITARY SEWER SYSTEM IS PRIVATELY OWNED AND MAINTAINED BY THE CONDOMINIUM ASSOCIATION.
11. THE EXISTING UTILITIES SHOWN HEREIN WERE DERIVED FROM AVAILABLE PUBLIC RECORDS. THE CONTRACTOR MUST DIG TEST PITS (BY HAND) AT ALL UTILITY CROSSINGS AND CONNECTION POINTS TO VERIFY EXACT LOCATION. IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONFLICTS.
12. ALL ROADS LABELED AS 'PUBLIC' ARE PUBLICLY MAINTAINED ONCE THEY ARE DEDICATED. ALL ROADS LABELED AS 'PRIVATE' ARE PRIVATELY MAINTAINED BY A CONDOMINIUM ASSOCIATION. FOR DRIVEWAY ENTRANCE WITHIN THE PUBLIC ROADWAYS, SEE HOWARD COUNTY DPM STD. R-6.01.
13. ANY DAMAGE TO THE ADJACENT COUNTY OWNED RIGHT-OF-WAY AND PROPERTY SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
14. THERE ARE NO GRAVE SITES, CEMETERIES, WETLANDS, 100-YR FLOODPLAIN OR STREAM ON THIS PARCEL. ELSEWHERE WITHIN THE MIDTOWN DISTRICT OPEN SPACE THERE ARE WETLANDS, 100-YR FLOODPLAIN AND STREAMS.
15. THIS PROJECT COMPLIES WITH THE REQUIREMENTS OF SECTION 161200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY PROVISIONAL AND F-03-10 AND F-04-12. ALL FOREST CONSERVATION OBLIGATIONS WERE SATISFIED UNDER F-03-10 AND F-04-12.
16. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING (AS SHOWN ON SHEETS 11 & 12) TO SATISFY 5-01-15-06-16 DEVELOPMENT CRITERIA AND SECTION 16124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL SHALL BE POSTED AS PART OF THE DPM DEVELOPER AGREEMENT ASSOCIATED WITH THIS SDP. FOR ADDITIONAL INFORMATION ON THE LANDSCAPE SURETY SEE SHEET 12.
17. DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
A. WIDTH - 12'14" SERVING MORE THAN ONE RESIDENCE
B. SURFACE - 6" OF COMPACTED CRUSHER RUN BASE WITH R AND CHIP COATING (1-1/2" MIN)
C. GEOMETRY - MAX. 15% GRADE, MAX. 10% GRADE CHANGE AND MIN. 45' TURNING RADIUS
D. STRUCTURES (GUTTERS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (125 LOADS)
E. DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.
F. MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE.
18. PUBLIC REFUSE PICKUP IS PROVIDED IN THE ALLEY.
19. BAY WINDOWS, WINDOW WELLS, CHIMNEYS, HEATING OR AIR CONDITIONING UNITS AND EXTERIOR STAIRWAYS IF NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NO MORE THAN 4 FEET INTO ANY REQUIRED SETBACK AREA IN ACCORDANCE WITH SECTION 12B.1.A.1 OF THE ZONING REGULATIONS, EXCEPT FOR THE ITEMS LISTED UNDER 4.D OF THE LOT DEVELOPMENT DATA ON THIS SHEET.
20. AS A CONSEQUENCE OF THE SKETCH PLAN 5-01-11 APPROVAL PRIOR TO 11-15-01, THIS PROJECT IS GRANDFATHERED TO THE FOURTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
21. THE GARAGES SHALL BE USED FOR PARKING PURPOSES ONLY AND ARE NOT PERMITTED TO BE CONVERTED TO OTHER USES IN ACCORDANCE WITH SECTION 15D.2.A OF THE ZONING REGULATIONS AND THE APPROVED CRITERIA. UNLESS OTHERWISE PROHIBITED BY POSTED SIGNAGE OR CURB MARKING, ON-STREET PARALLEL PARKING ALONG THE CURB WITHIN THE PUBLIC RIGHTS-OF-WAY IS ALLOWED FOR VISITOR AND OVERFLOW PARKING. THE NON-INDENTED ON-STREET PARKING AREA WILL NOT BE STRIPED.
22. NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAMS OR THEIR BUFFERS, FOREST CONSERVATION EASEMENT AREAS AND 100' YEAR FLOODPLAIN.
23. THE SIDE METER ROOMS ON UNITS A1 AND D1 ARE IN COMPLIANCE WITH SECTION 12B.1.A.1 OF THE ZONING REGULATIONS FOR A BUILDING FEATURE WITH A MAXIMUM WIDTH OF 16 FEET THAT MAY PROJECT UP TO 4 FEET INTO ANY SETBACK.

MAPLE LAWN FARMS
SITE DEVELOPMENT PLAN

MIDTOWN DISTRICT -- AREA 2
PARCEL A-14
MULTI-FAMILY APARTMENT/CONDOMINIUM DWELLING UNITS
FIFTH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

HOWARD COUNTY CONTROL

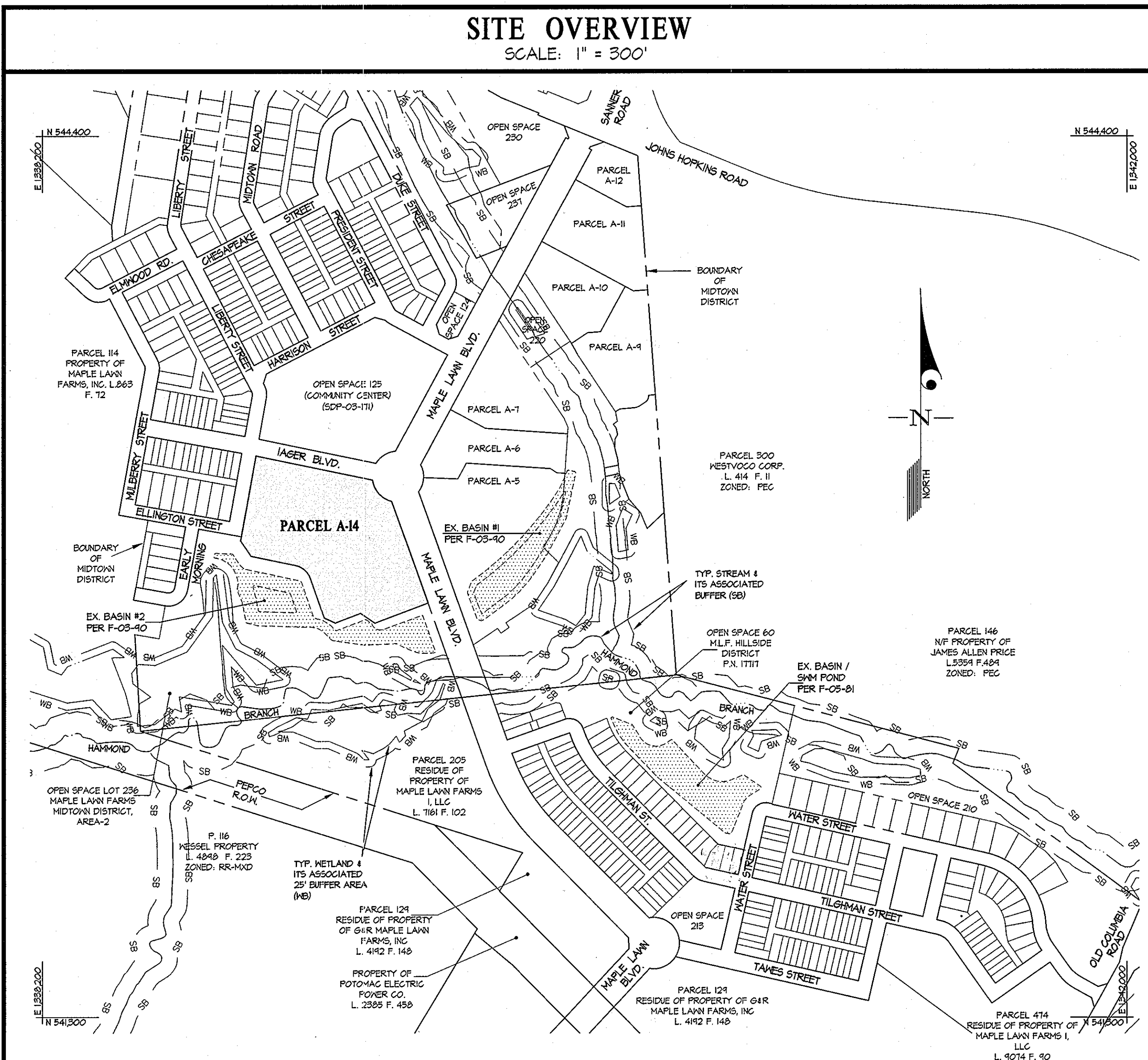
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E 1394217.444
ELV.=4071.055
46B2 N 529481.1277
E 1391210.484
ELV.=414.671



VICINITY MAP
SCALE: 1" = 2000'

SITE OVERVIEW

SCALE: 1" = 300'



OVERALL OPEN SPACE & OTHER RESIDENTIAL LAND USE TRACKING CHART FOR MAPLE LAWN FARMS

Table with columns: PHASE NUMBER (AND NAME), APPROVED DPZ FILE NO., PHASE AREA GROSS ACRES, OPEN SPACE PROVIDED IN AC. (%), REQUIRED ACTIVE OPEN SPACE IN AC.**, ACTIVE REG. O.S. PROVIDED IN AC. (6) ***, OTHER RESIDENTIAL ACRES (%), OTHER RESIDENTIAL UNITS (SFA + APT), OTHER RESIDENTIAL DENSITY. Rows include Business District, Midtown District, Hillside District, and a TOTAL row.

* THE PERCENTAGE OF OPEN SPACE PROVIDED IS BASED ON THE GROSS SITE ACRES (59% MIN. REQUIRED).
** 10% OF THE OPEN SPACE REQUIRED MUST BE AVAILABLE FOR ACTIVE RECREATION (OR 0.03% OF GROSS ACRES).
*** THE PERCENTAGE OF ACTIVE RECREATION O.S. PROVIDED IS BASED ON THE O.S. PROVIDED (CUMULATIVE TOTAL AGREEMENT).
(1) 152 AC. = COMMUNITY CENTER (0.5, 125 - 5.01 AC), O.S. 126 (0.35 AC) AND O.S. 230 (1.96 AC)
(2) 0.24 AC. = PATHWAYS
OPEN SPACE LOTS 125 AND 230 ARE CONSIDERED RECREATIONAL SINCE RESIDENTS WILL BE ABLE TO GATHER AND CHILDREN WILL BE ABLE TO PLAY IN THESE AREAS.

LOT DEVELOPMENT DATA

- I. GENERAL SITE ANALYSIS DATA
A. PRESENT ZONING: MXD-3 PER ZB-193M AND ZB-039M
B. PROPOSED USE OF SITE: 144 MULTI-FAMILY DWELLING UNITS (APARTMENT)
C. PUBLIC WATER & SEWER TO BE UTILIZED (CONTR. NOS. 24-4105-D, 24-4238-D AND 24-4455-D).
D. PARKING REQUIRED PER CDP, PLAT 16760 AND DMV 11 (Table 211): (1.5 spaces/unit + 0.3 spaces/unit) x 144 units = 216 + 44 = 260 SPACES
PARKING PROVIDED: 144 garage spaces + 144 driveway tandem spaces + 44 on-site parallel spaces + 25 on-street parallel spaces = 357 SPACES.
E. RECREATION OPEN SPACE FOR THIS SDP IS ADDRESSED UNDER F-04-12 (SEE OVERALL OPEN SPACE PROVISION CHART ON THIS SHEET).

- 2. AREA TABULATION
A. AREA OF THIS PARCEL: 5.551 AC. (PLAT NO. 11355)
B. AREA OF THIS PLAN SUBMISSION: 5.464 ACRES
C. AREA OF DISTURBANCE BY THIS SDP: 5.464 ACRES

Table with columns: DEVELOPMENT TYPE, MINIMUM LOT SIZE, MIN. LOT WIDTH AT FROM BRL, MAX. BUILDING HT. Row: APARTMENT, N/A, N/A, 60' (MEAN HT.)

Table with columns: DEVELOPMENT TYPE, FRONT SETBACK, SIDE SETBACK, MINIMUM REAR SETBACKS. Row: APARTMENT, 10', 10' (ZERO FOR GARAGES), 20' TO PRINCIPAL STRUCTURE, 3' FOR REAR (DETACH/ATTACH) GARAGE OR TO ACCESSORY STRUCTURES.

- A. BETWEEN APARTMENT BUILDINGS, THE MINIMUM SETBACK DISTANCES SHALL BE 30' FRONT TO FRONT, 50' BACK TO BACK, 50' FRONT TO BACK AND 15' FOR ALL OTHER CONDITIONS.
B. OPEN DECKS MUST BE A MINIMUM OF 10' FROM REAR PROPERTY LINE, AND ARE SUBJECT TO SIDE YARD SETBACKS.
C. FACING ACCESSORY STRUCTURES AND DETACHED GARAGES (ACROSS AN ALLEY/LANE R.O.N.) SHALL BE 30' APART.
D. EXCEPTIONS TO FRONT SETBACK REQUIREMENTS: SECTION 12B.1.A.1 APPLIES, EXCEPT FOR THE FOLLOWING:
- PORCHES MAY ENCRoACH INTO THE FRONT YARD TO WITHIN 2' FROM THE PROPERTY LINE OR RIGHT-OF-WAY FOR ALL OTHER RESIDENTIAL LOT TYPES.
- STOOps AND STEPS MAY ENCRoACH INTO THE FRONT AND SIDE YARDS TO WITHIN 1' FROM THE FRONT PROPERTY LINE FOR ALL OTHER RESIDENTIAL LOT TYPES.
- GARDEN WALLS, FENCES, PERS, GATES AND SIMILAR ORNAMENTS MAY BE BUILT IN THE FRONT AND SIDE YARDS NOT CLoSER THAN 1' FROM THE FRONT PROPERTY LINE, NOT GREATER THAN 48" IN HEIGHT ALONG THE FRONT PROPERTY LINE AND NOT GREATER THAN 12" ALONG THE SIDE AND REAR PROPERTY LINES.
- MASONRY VENEER MAY ENCRoACH A MAXIMUM OF 6" INTO ANY REQUIRED SETBACK AREAS.

MP-01-11
ON MAY 2, 2001, MP-01-11 WAS GRANTED FOR THE FOLLOWING:
- ADDITIONAL POINTS OF ACCESS ALLOPED ONTO MAPLE LAWN BLVD, OTHER THAN THOSE PERMITTED BY 16.11(F)(X), SUBJECT TO FURTHER ANALYSIS AND APPROVALS AT LATER PLAN STAGES.
- RESIDENTIAL LOTS ARE ALLOPED TO FRONT ON NEIGHBORHOOD PARKS INSTEAD BEING LIMITED FRONTAGE ON PUBLIC R/W'S AS IN 16.12(C)(2), SUBJECT TO ADEQUATE PRIVATE ALLEY ACCESS.

COUNCIL RESOLUTION No. 122-2006
ALLOPED FOR THE DISPOSITION OF A PORTION OF OPEN SPACE ON LOT 222 (WHICH THEN BECAME OPEN SPACE LOT 236 PER F-01-06) TO MAPLE LAWN FARMS I, LLC AND IN EXCHANGE ADDITIONAL ACRES IS ADDED TO HOWARD COUNTY OPEN LOT 235 (UNDER F-06-294).

DESIGN MANUAL VOL. III WAIVERS
- THE WAIVER TO DMV III SEC. 2.5.B.4 HAS APPROVED ON 5/6/07 FOR THE CURB MODIFICATION AT THE ENTRANCE TO LIBERTY STREET (south side).
- THE WAIVER TO DMV III SEC. 2.B WAS APPROVED ON 4/1/07.

WP-09-204
ALLOPED AN ADDITIONAL TWO YEAR PERIOD TO APPLY FOR BUILDING PERMITS FOR ALL CONSTRUCTION AUTHORIZED BY THE APPROVED SDP TO BE EXTENDED TWO YEARS FROM THE PREVIOUS DEADLINE DATE OF JULY 18, 2009 OR UNTIL JULY 18, 2011.

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12475, EXPIRATION DATE: MAY 26, 2008.



APPROVED
PLANNING BOARD
of HOWARD COUNTY

DATE: MAY 10, 2007

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: [Signature] Date: 7/18/10
Chief, Division of Land Development: [Signature] Date: 7/17/10
Chief, Development Engineering Division: [Signature] Date: 7/16/10

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 FAX: 301-421-4188

Table with columns: DATE, REVISION, BY, APPR. Rows include dates and initials for revisions.

PREPARED FOR:
PROPERTY OWNER: G & R MAPLE LAWN, INC., ET. AL. 1829 RESTERTOWN ROAD, SUITE 300 BALTIMORE, MD 21208 410-484-8400
BUILDER/CONTRACT PURCHASER: BA MAPLE LAWN, LLC c/o BOZZUTO HOMES, INC. 7850 WALKER DRIVE, SUITE 400 GREENBELT, MD 20770 301-220-0100

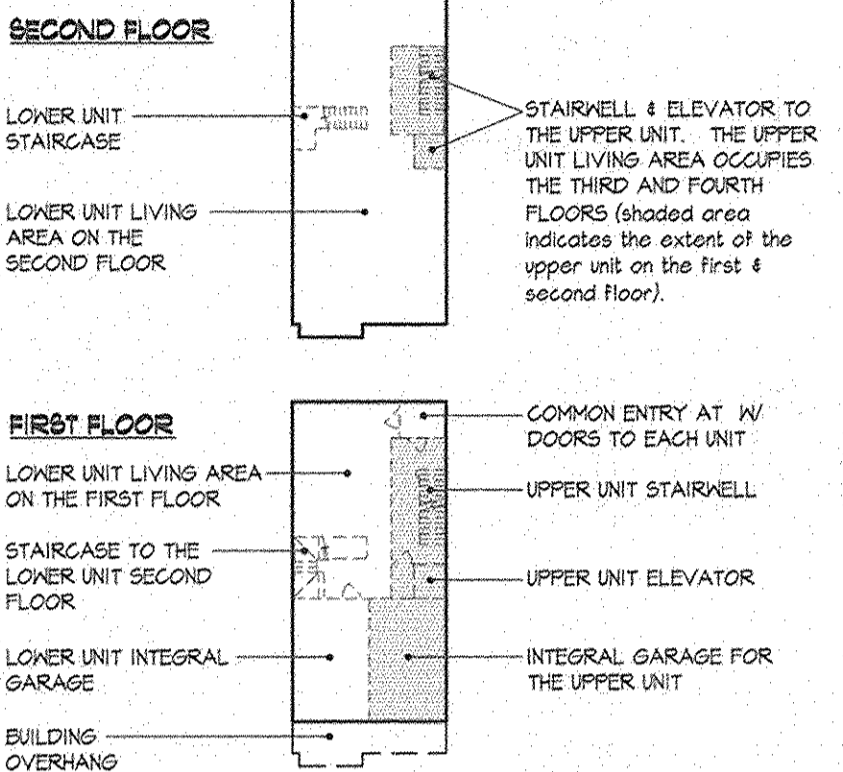
ELECTION DISTRICT No. 5

COVER SHEET
MAPLE LAWN FARMS
MIDTOWN DISTRICT - AREA 2, PARCEL A-14
MULTI-FAMILY APARTMENT/CONDOMINIUM DWELLING UNITS
PLAT Nos. 19135

Table with columns: SCALE (AS SHOWN), ZONING (MXD-3), SHEET (1 OF 13), DATE (June/2007), TAX MAP (41 / 21), G. L. W. FILE NO. (06047).

NOTES:

- ANY FENCE/GARDEN WALLS ALONG THE PUBLIC RIGHT-OF-WAY OF LIBERTY STREET, JAGER AND MAPLE LAWN BLVD. SHALL BE LOCATED BEHIND THE SIDEWALK ESMT.
 - BRICK POINT ALL BUILDING CONSTRUCTIONS UNLESS NOTED OTHERWISE.
 - ALL BUILDING WALLS WITHIN 10' OF A BGE TRANSFORMER SHALL BE CONSTRUCTED FOR A MINIMUM FIRE RESISTANCE RATING OF 3 HOURS.
 - ALL ROOF DRAINS SHALL BE PIPED TO THE STORM DRAIN SYSTEM.
 - THE 7 APARTMENT/CONDOMINIUM BUILDINGS ARE COMPOSED OF 700'S, EACH OF WHICH CONTAINS A LOWER AND AN UPPER UNIT (2 UNITS PER FLD). THE UNIT BREAK DOWN ARE FOR EACH BUILDING ARE:
- | BUILDING | NUMBER OF FLOORS | NUMBER OF UNITS |
|----------|------------------|-----------------|
| 1 | 12 (A1 - A12) | 24 |
| 2 | 1 (B1 - B1) | 14 |
| 3 | 10 (C1 - C10) | 20 |
| 4 | 10 (D1 - D12) | 24 |
| 5 | 3 (E1 - E3) | 6 |
| 6 | 10 (F1 - F10) | 20 |
| 7 | 18 (G1 - G18) | 36 |
| | | 144 TOTAL |
- EACH APARTMENT/CONDOMINIUM UNIT HAS INTERNAL AND DIRECT ACCESS TO AN INTEGRAL GARAGE. THE DRIVEWAY OUTSIDE EACH GARAGE IS AVAILABLE AS TANDEM PARKING FOR THE UNIT THAT IT SERVES (SEE BUILDING CIRCULATION DIAGRAM BELOW).



PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12478, EXPIRATION DATE: MAY 26, 2008.

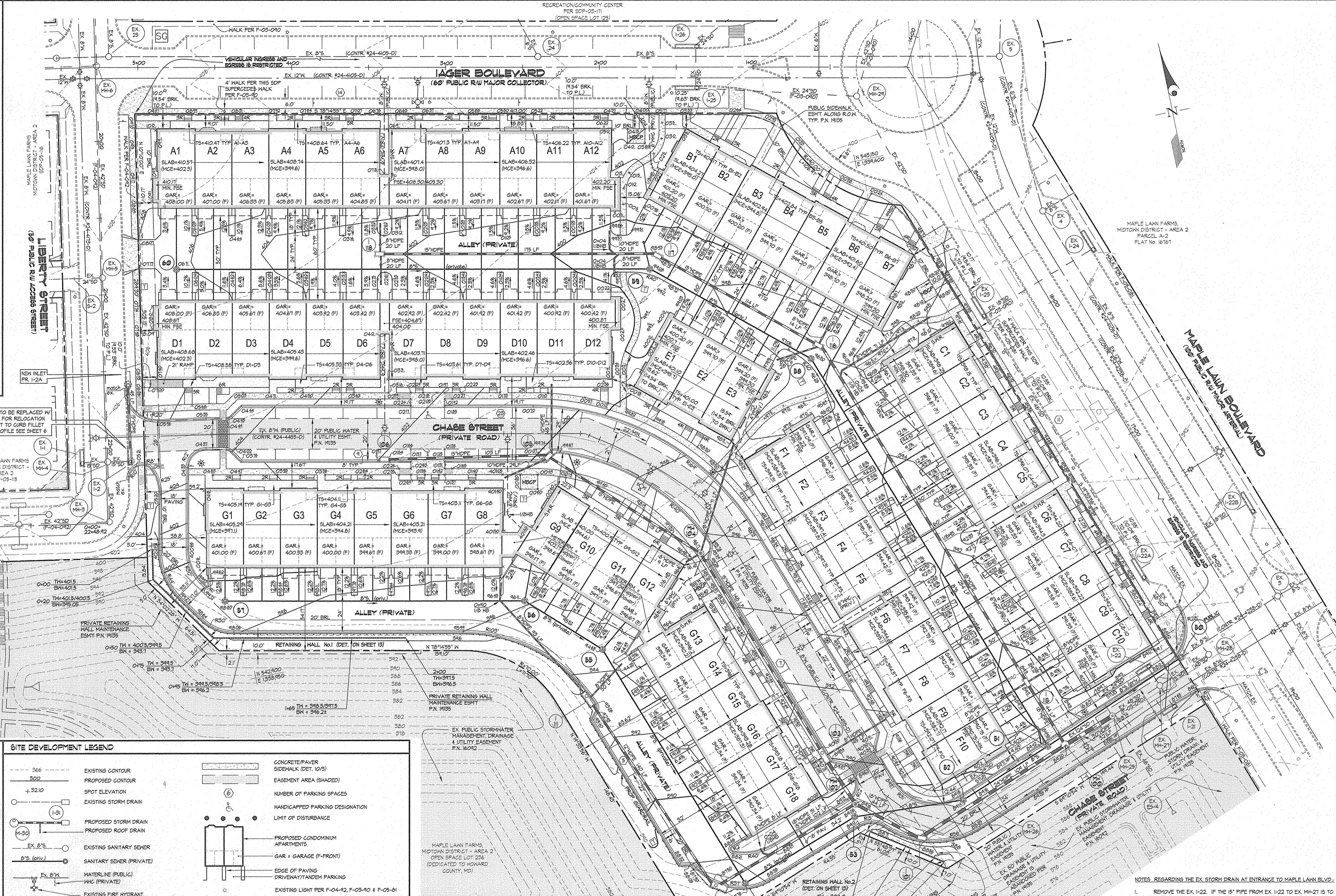
David A. Wagle
Professional Engineer



APPROVED PLANNING BOARD OF HOWARD COUNTY

DATE: MAY 10, 2007

Vg



SITE DEVELOPMENT LEGEND

- - - 366	EXISTING CONTOUR	CONCRETE/PAVER SIDEWALK (DET. 10/3)
- - - +.3210	PROPOSED CONTOUR	EASEMENT AREA (SHADED)
○	SPOT ELEVATION	NUMBER OF PARKING SPACES
○ (with symbol)	EXISTING STORM DRAIN	HANDICAPPED PARKING DESIGNATION
○ (with symbol)	PROPOSED STORM DRAIN	LIMIT OF DISTURBANCE
○ (with symbol)	PROPOSED ROOF DRAIN	PROPOSED CONDOMINIUM APARTMENTS
○ (with symbol)	EXISTING SANITARY SEWER	GAR = GARAGE (F-FRONT)
○ (with symbol)	SANITARY SEWER (PRIVATE)	EDGE OF PAVING DRIVEWAY/TANDEM PARKING
○ (with symbol)	WATERLINE (PUBLIC)	EXISTING LIGHT PER F-04-42, F-03-40 & F-05-01
○ (with symbol)	W/C (PRIVATE)	PROPOSED LIGHT
○ (with symbol)	EXISTING FIRE HYDRANT	PROPOSED PAD (4'x4') FOR BGE TRANSFORMER
○ (with symbol)	PROPOSED GUARDRAIL	MAIL BOX CONCRETE PAD (15' x 11.33')
○ (with symbol)	EXISTING CURB & GUTTER	STEM WALL REQUIRED
○ (with symbol)	CONCRETE CURB & GUTTER (DET. 6/5)	BRICK TO BRICK
○ (with symbol)	GUTTER PAN	TOP OF STEP
○ (with symbol)	FACE OF CURB	FINISH SLAB ELEV. (FOR UTILITY ROOM)
○ (with symbol)	F/PC	MINIMUM CELLAR ELEVATION
○ (with symbol)	BACK OF CURB	
○ (with symbol)	SPILL (REVERSE) 614 PORTION	

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

David A. Wagle 7/10/07
Director

Cinda Hamt 7/10/07
Chief, Division of Land Development

William J. ... 7/10/07
Chief, Development Engineering Division

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BURTONSVILLE, MARYLAND 20866
TEL. 301-421-4024 BALT. 410-880-1829 DC/VA. 301-989-2524 FAX. 301-421-4186

DATE	REVISION	BY	APP'R.

PREPARED FOR:

PROPERTY OWNER: G & R MAPLE LAWN, INC., ET. AT. 1829 REISTERTOWN ROAD, SUITE 300 BALTIMORE, MD 21208 410-484-8400

BUILDER/CONTRACT PURCHASER: BA MAPLE LAWN, LLC c/o BOZZUTO HOMES, INC. 7850 WALKER DRIVE, SUITE 400 GREENBELT, MD 20770 301-220-0100

SITE DEVELOPMENT PLAN

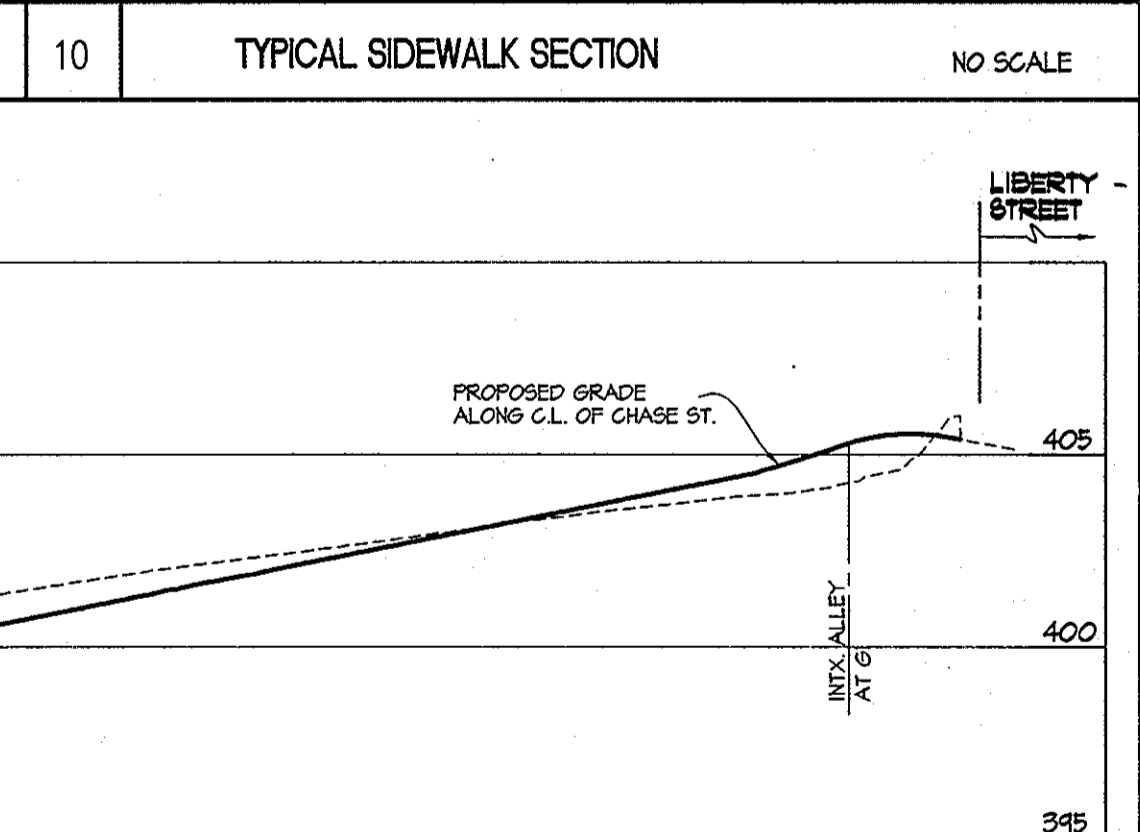
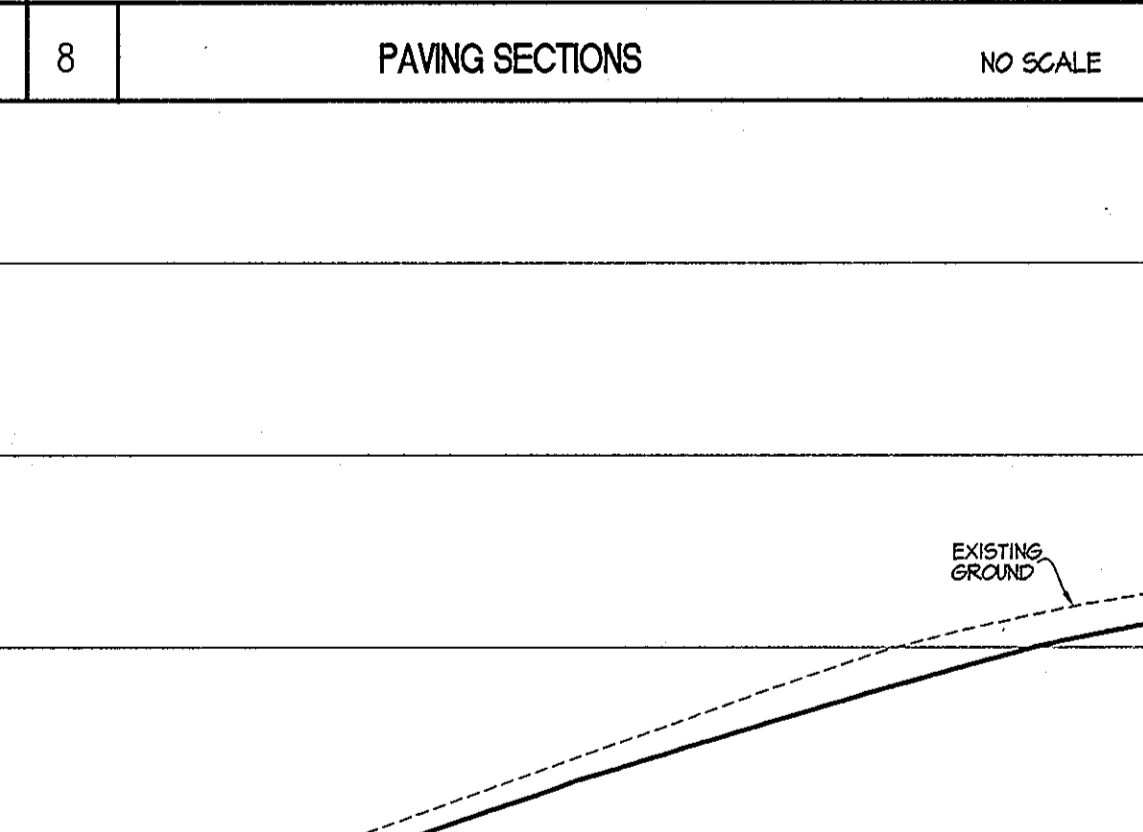
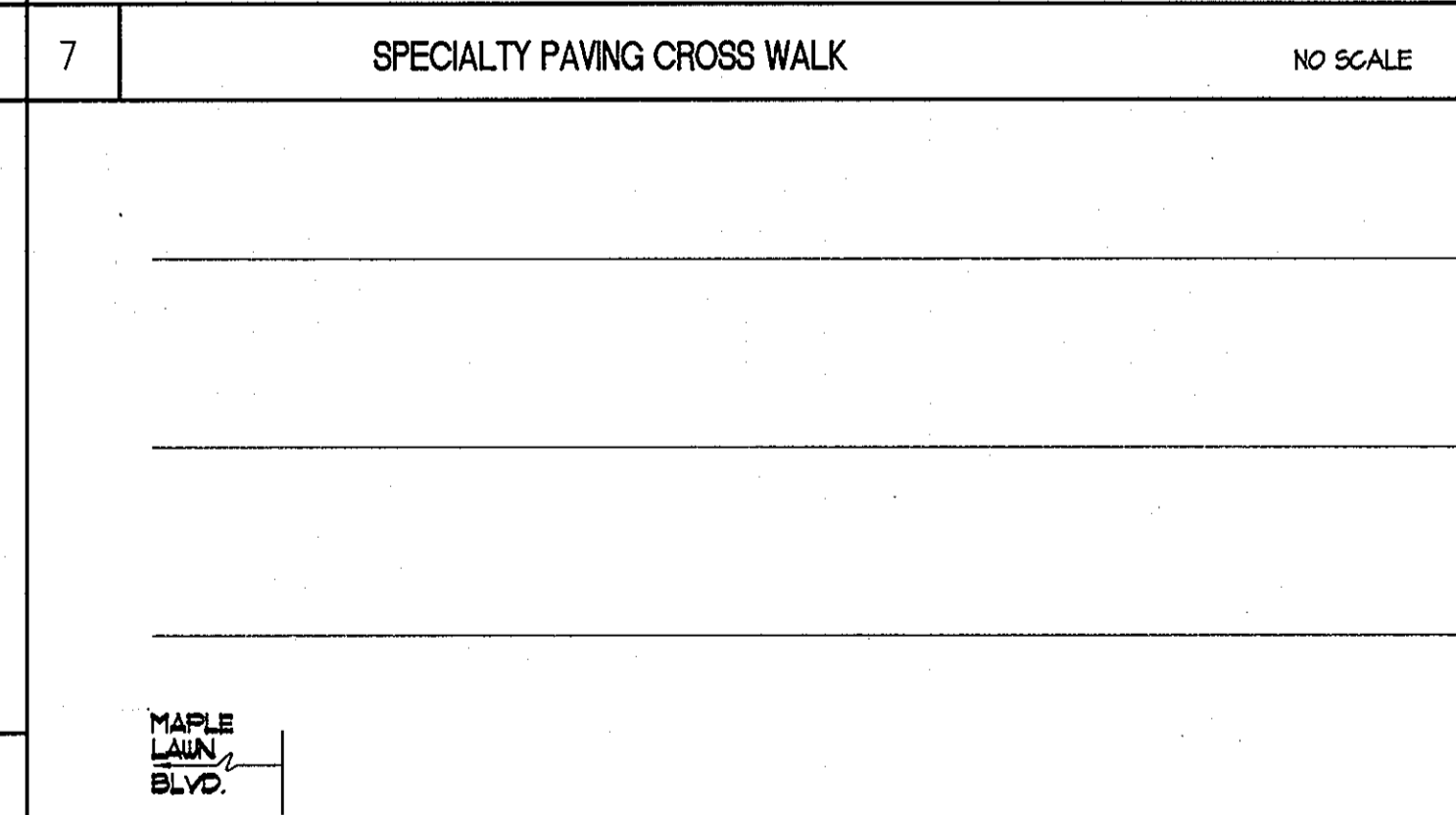
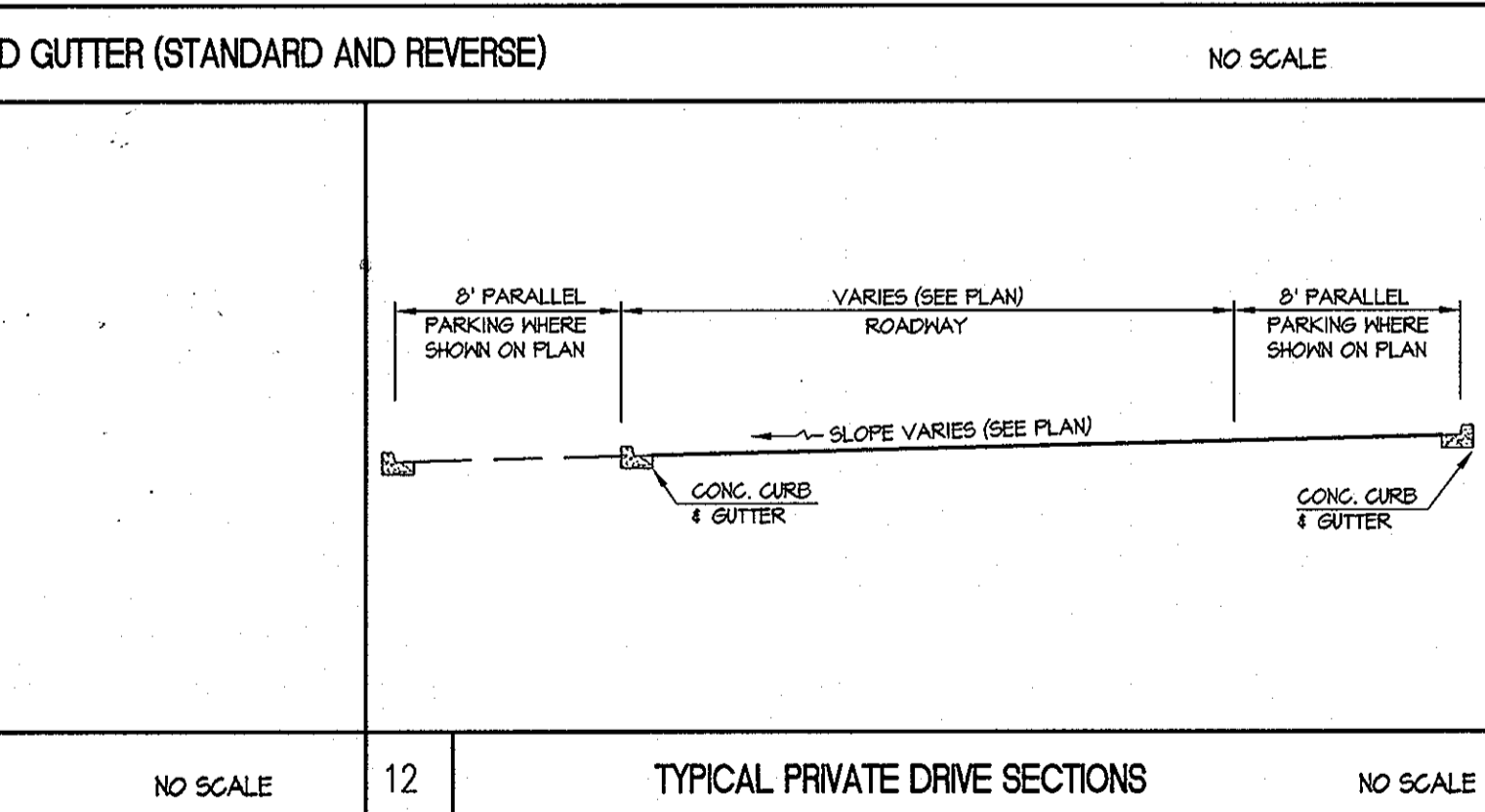
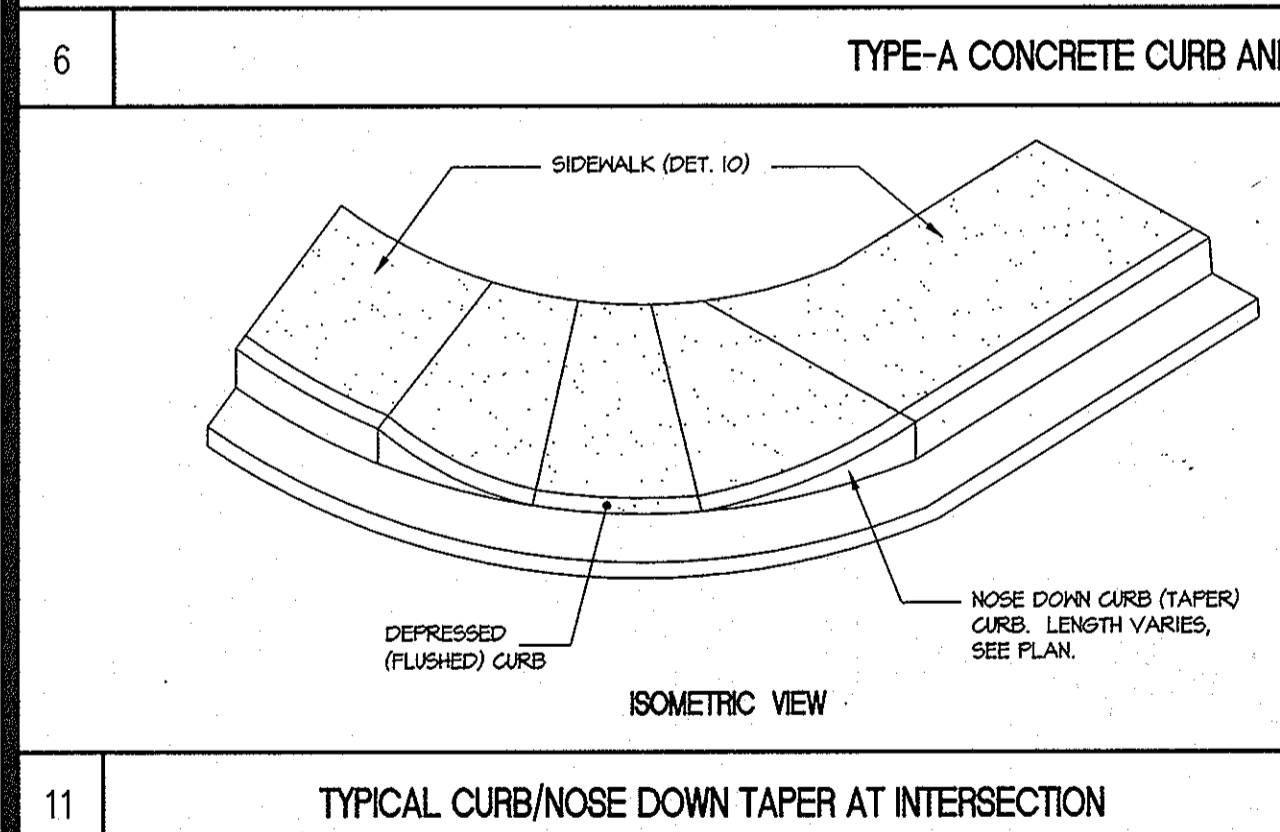
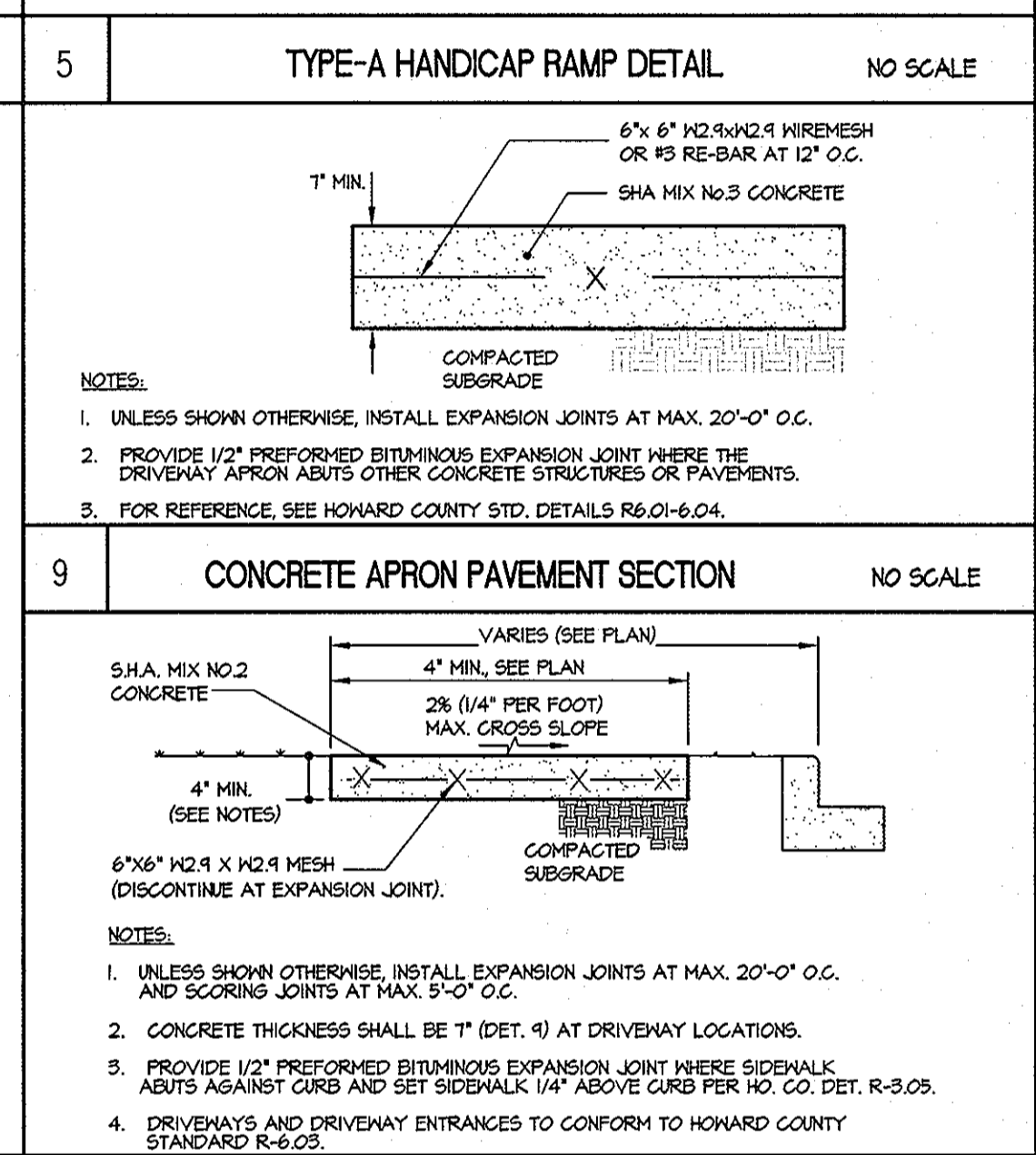
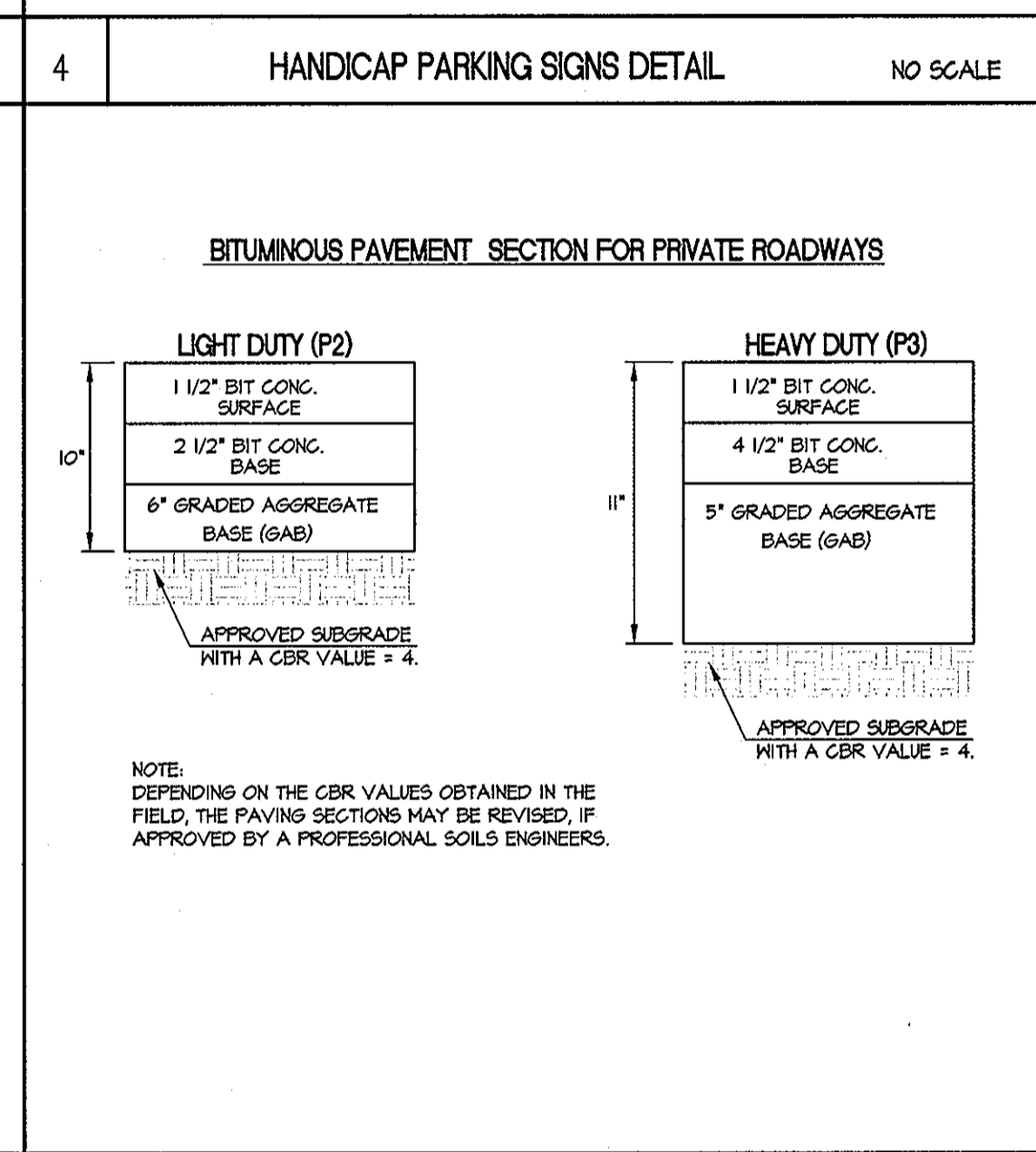
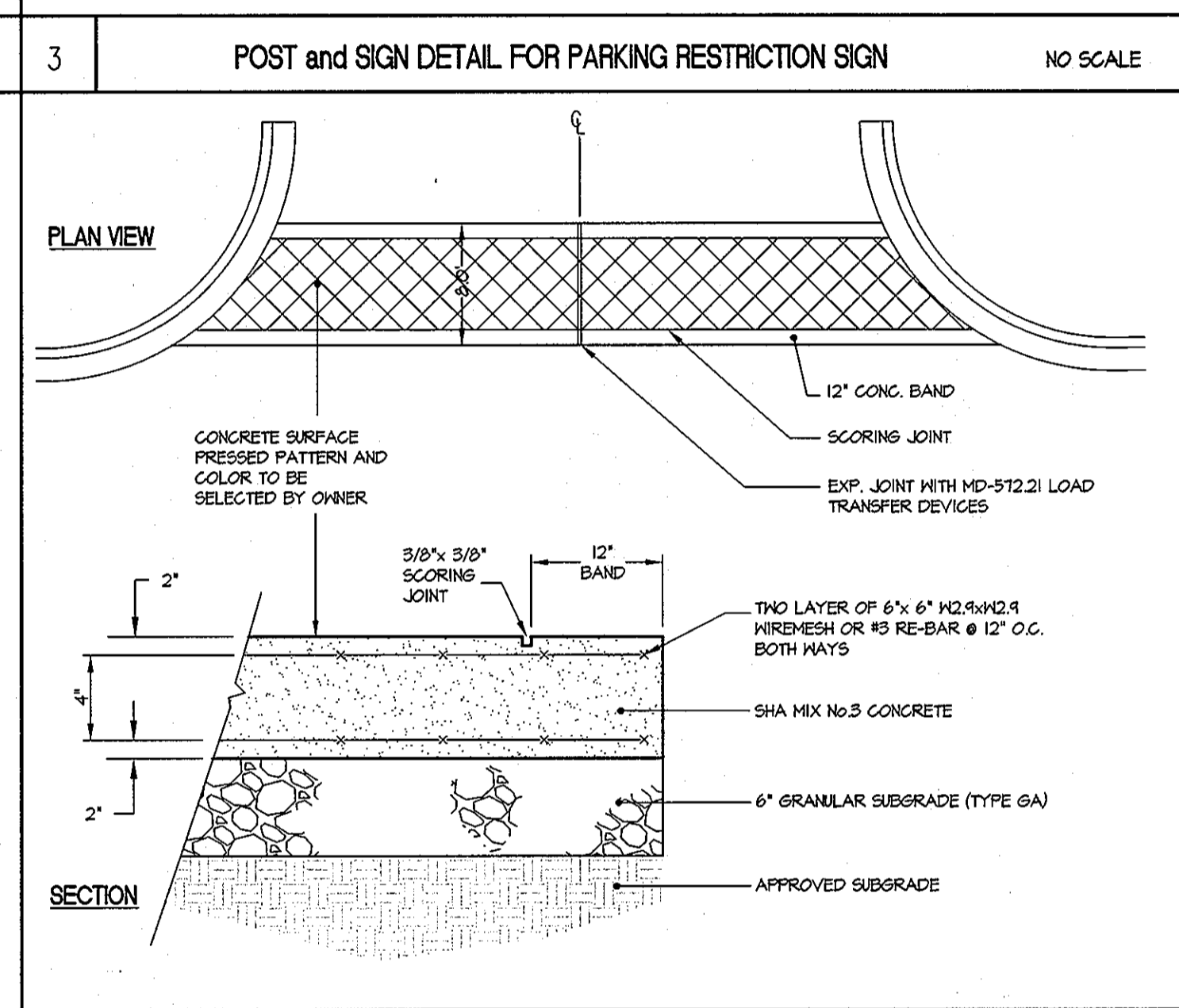
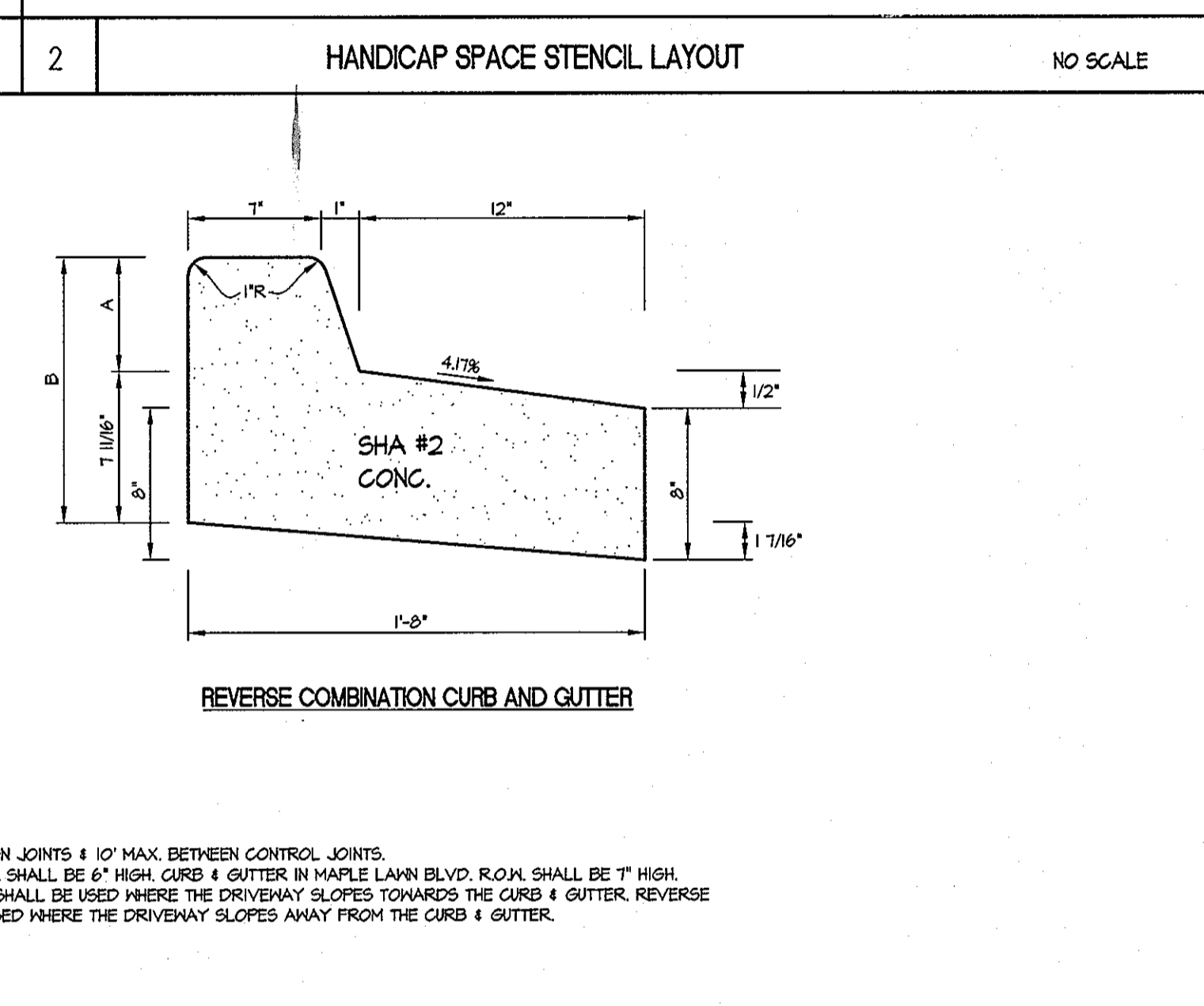
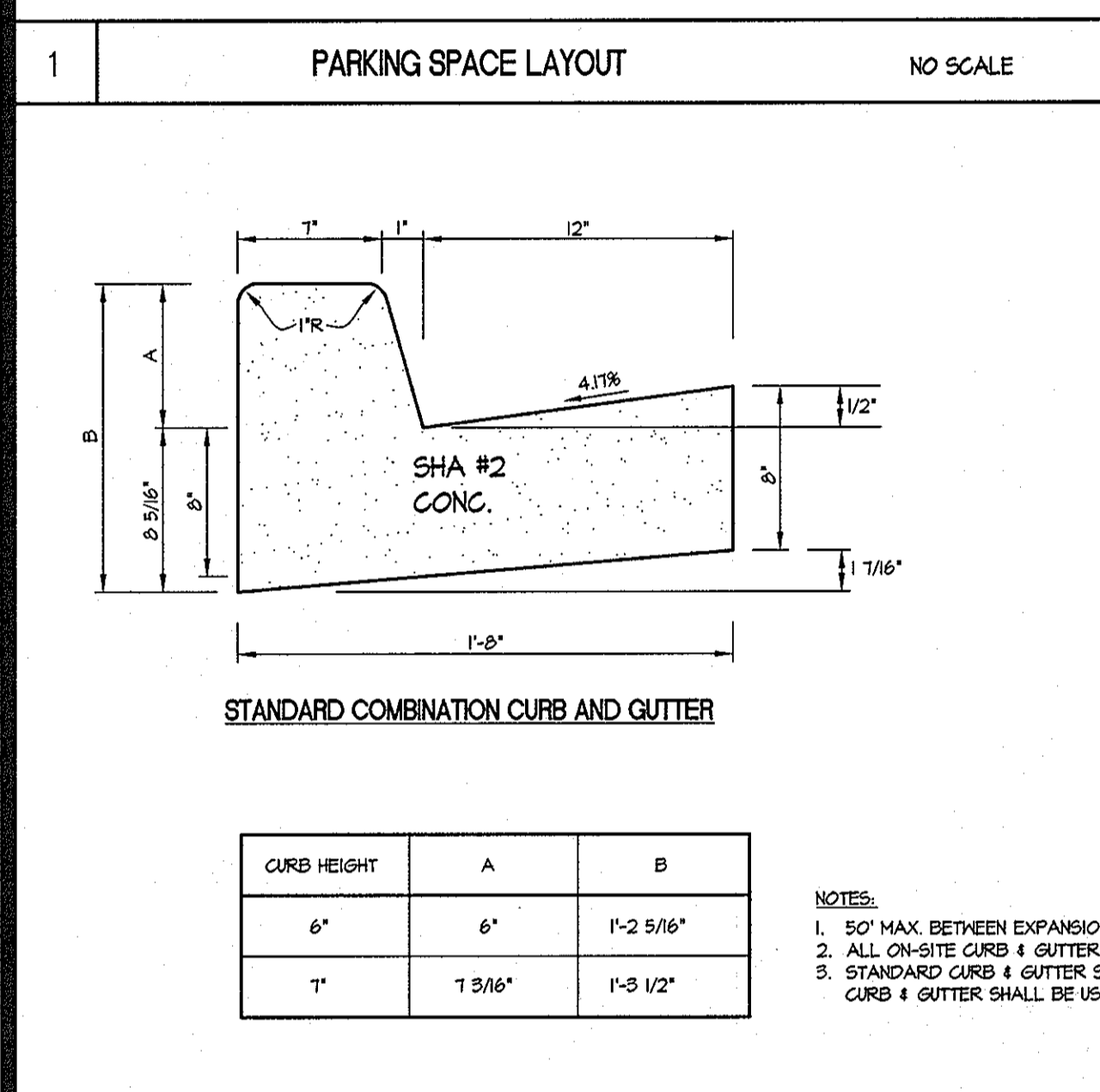
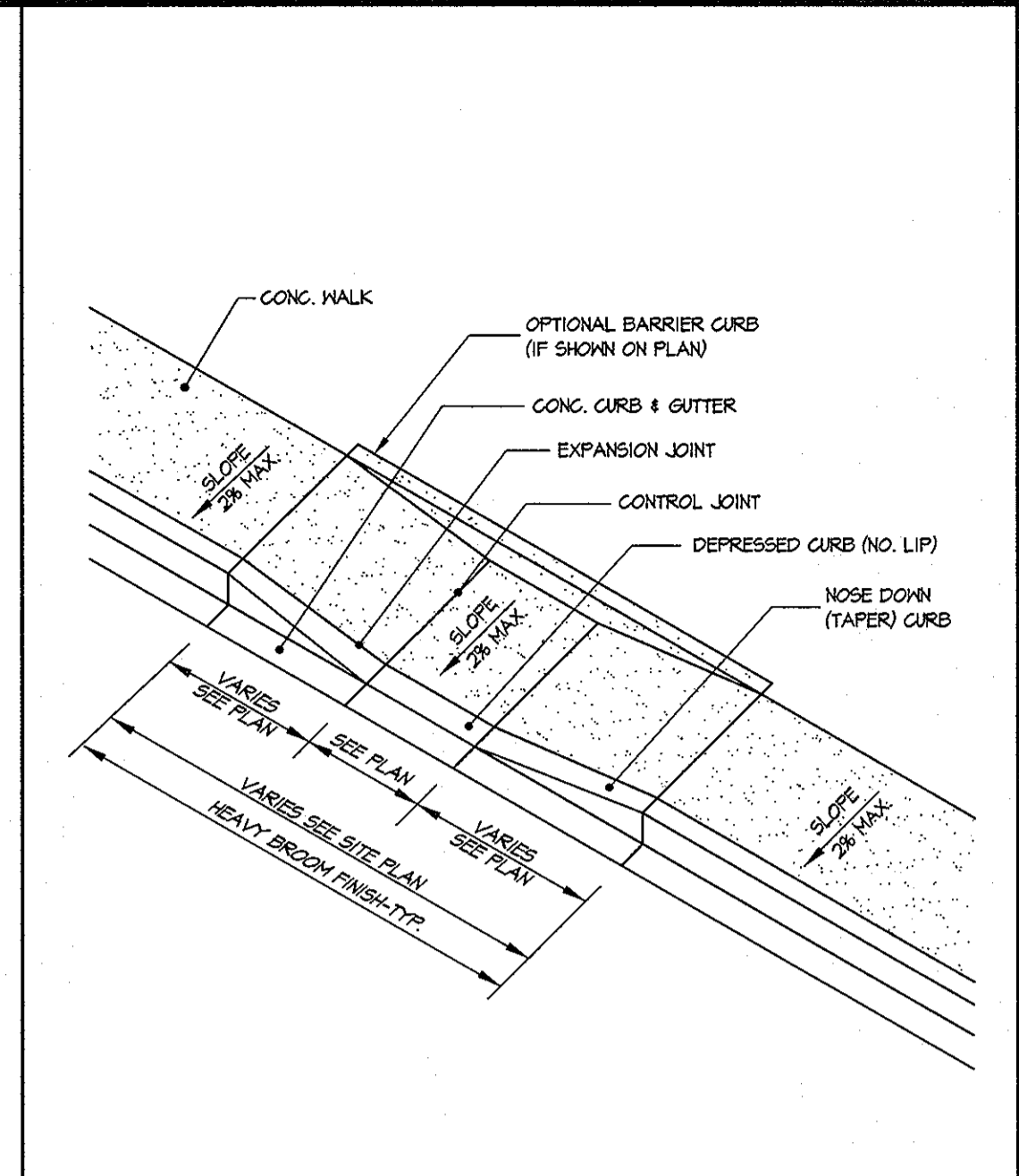
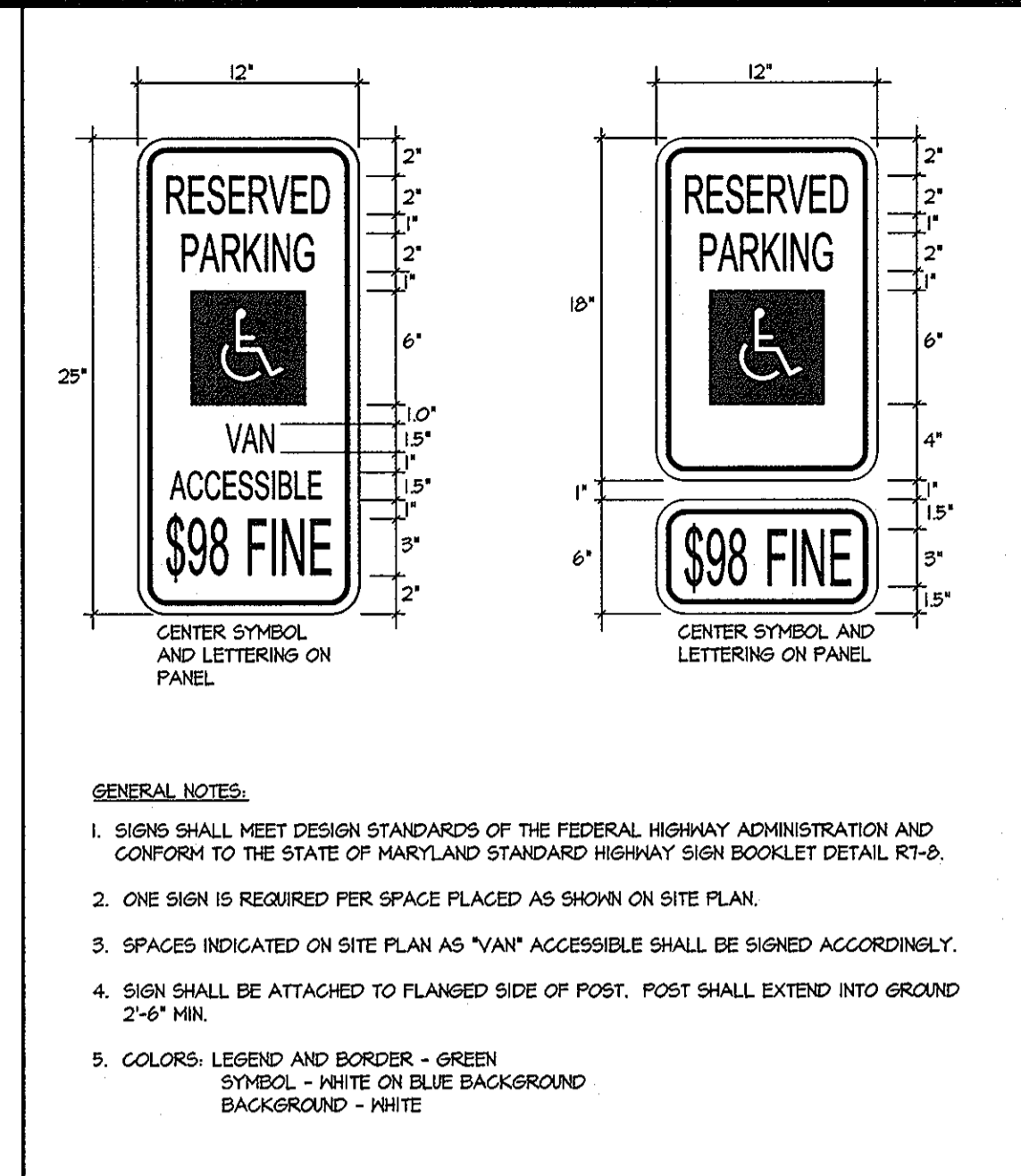
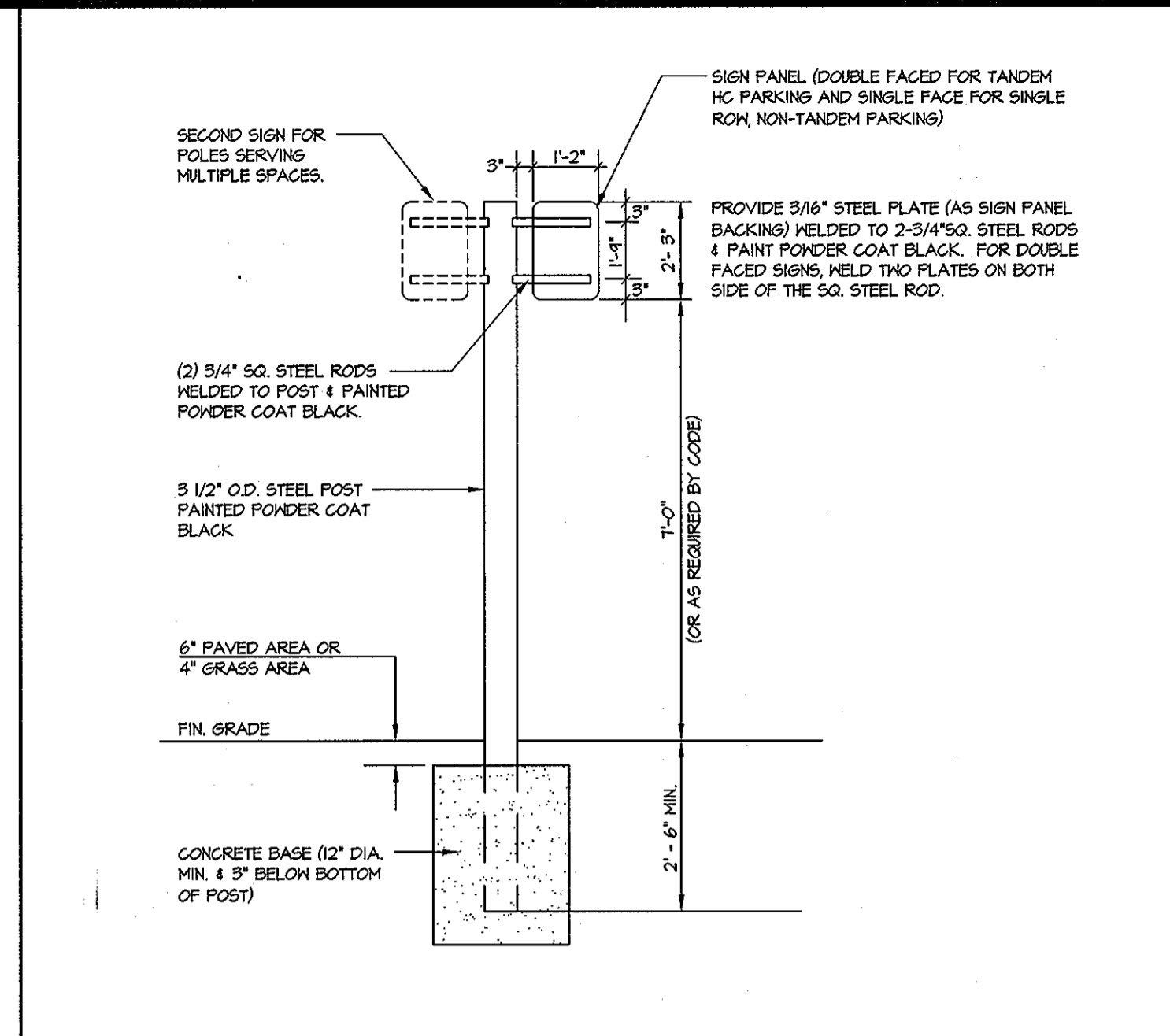
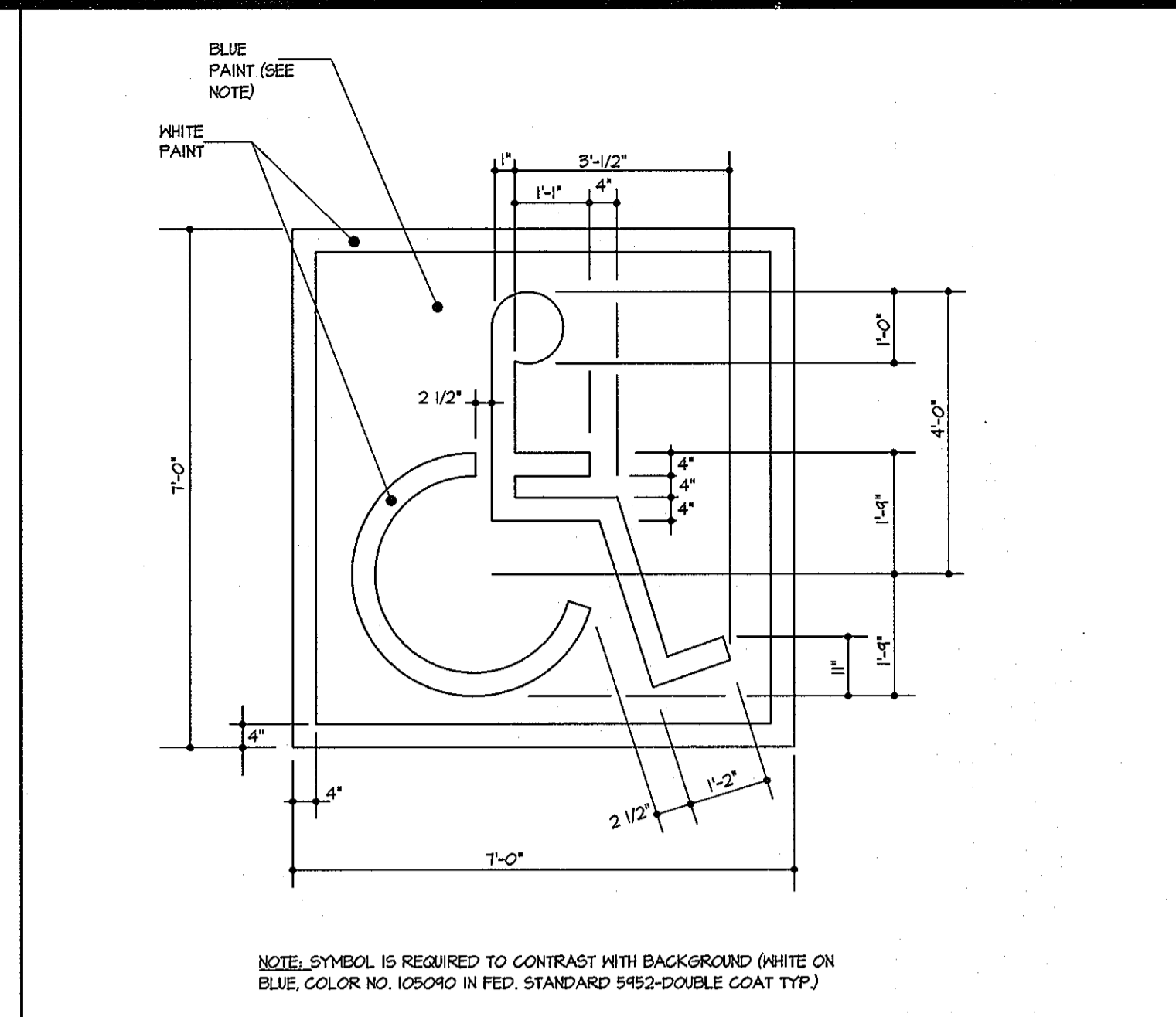
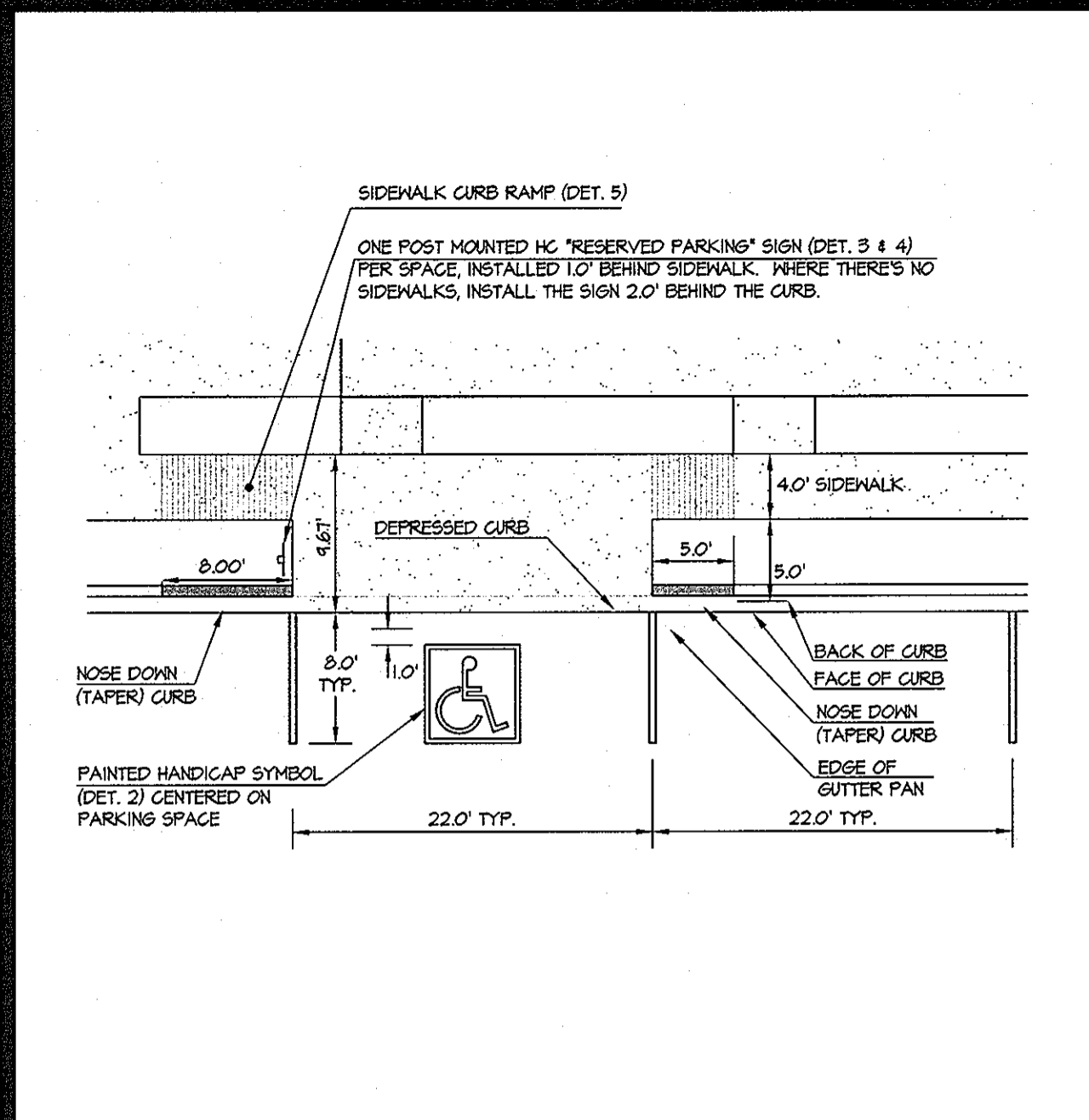
MAPLE LAWN FARMS
MIDTOWN DISTRICT - AREA 2, PARCEL A-14
MULTI-FAMILY APARTMENT/CONDOMINIUM DWELLING UNITS
PLAT Nos. 19135

ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE NO.
1" = 30'	MXD-3	06047
DATE	TAX MAP - GRID	SHEET
June/2007	41 / 21	2 OF 13

NOTES REGARDING THE EX. STORM DRAIN AT ENTRANCE TO MAPLE LAWN BLVD.

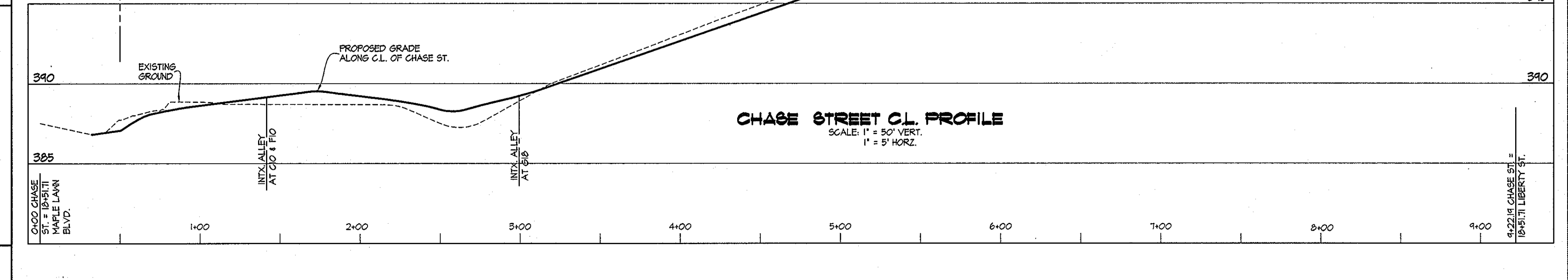
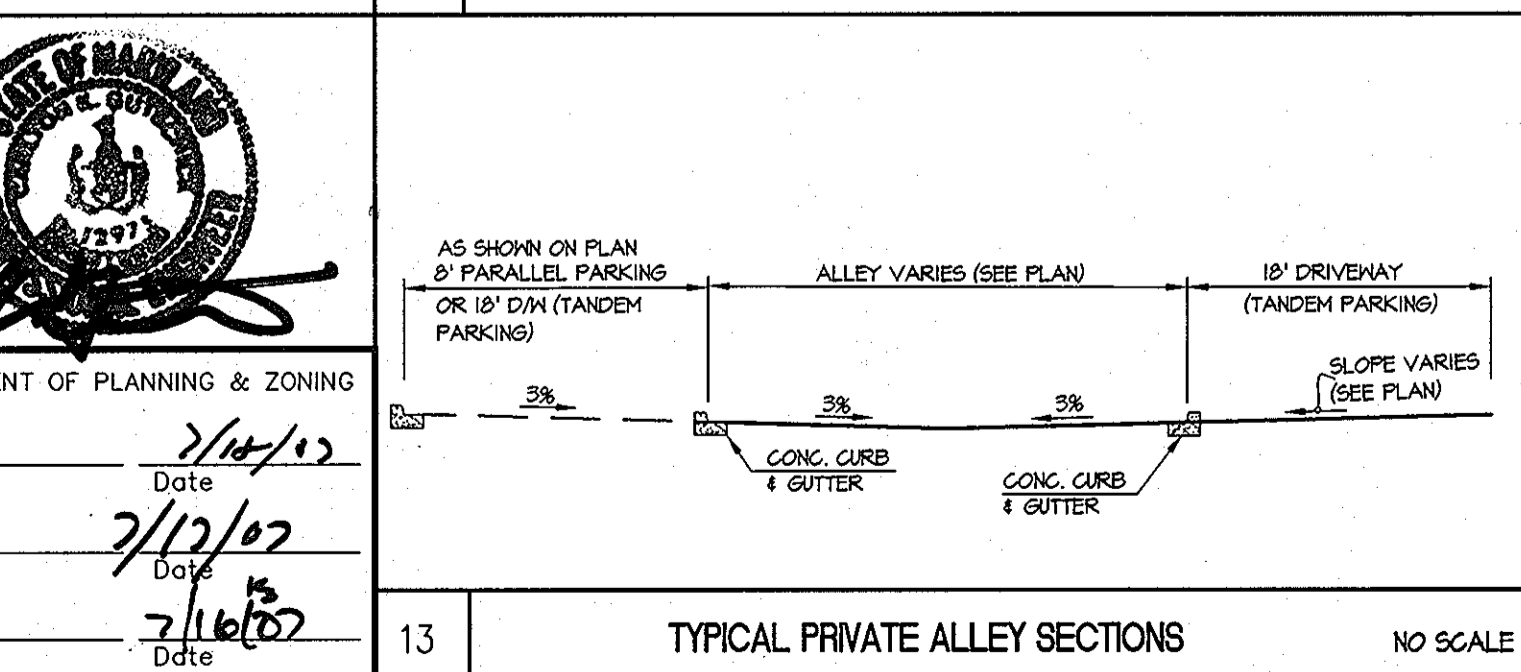
- REMOVE THE EX. I-22. IF THE 18" PIPE FROM BLDG-C TO EX. I-22 TO EX. MH-21 IS TO BE USED FOR THE ROOF DRAIN SYSTEM (RDS) FROM BLDG-C, PROVIDE THE NECESSARY ADAPTER/REDUCER FOR THE RDS CONNECTION OTHERWISE REMOVE THIS 18" PIPE AND BRICK SHUT THE OPENING AT EX. MH-21. ADJUST THE TOP OF MH-21 AND MATCH THE NEW FINISH PAVEMENT (489.18).
- ADJUST THE TOP OF EX. MH-25 AND MATCH THE NEW FINISH PAVEMENT (489.14). IF THE RDS FROM BLDG-C IS CONNECTED TO EX. 24" 518 FROM MH-25, PROVIDE THE NECESSARY ADAPTER/REDUCER FOR THE RDS CONNECTION OTHERWISE REMOVE THE 24" 518 AND BRICK SHUT THE OPENING AT MH-25.
- REMOVE THE EXISTING 24" PIPE FROM MH-25 TO MH-26. REMOVE EX. MH-26 AND ITS 24" 518 TO THE NORTHEAST.



APPROVED PLANNING BOARD OF HOWARD COUNTY
 DATE: MAY 10, 2007

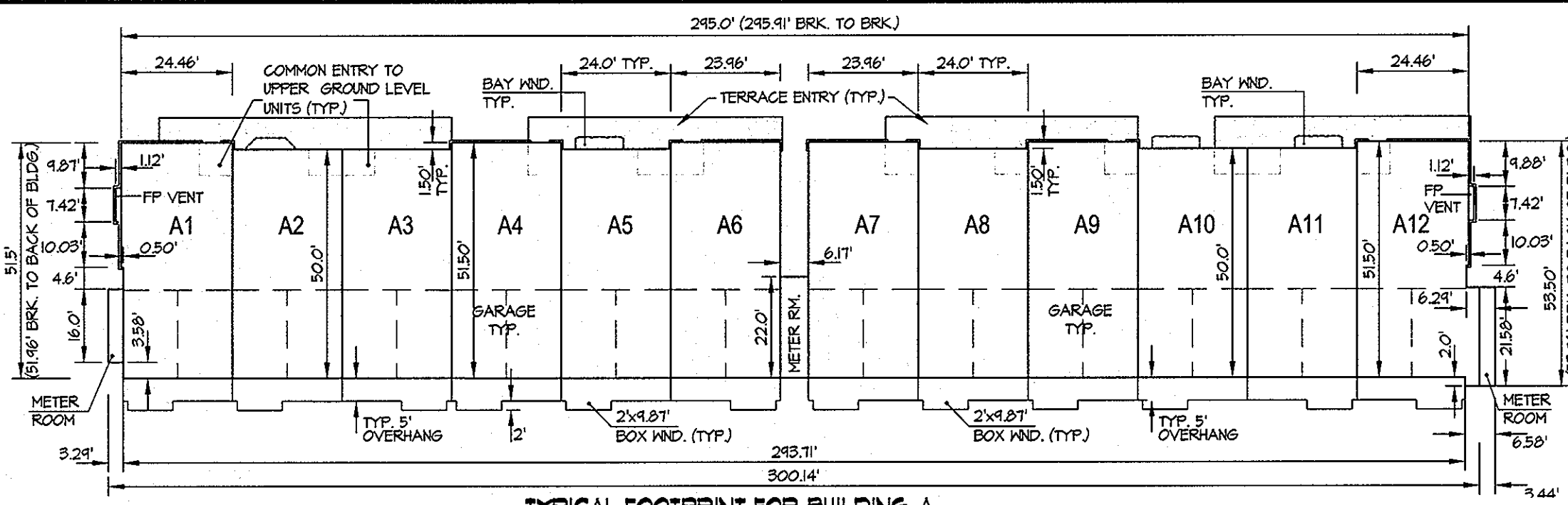
PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12475, EXPIRATION DATE: MAY 26, 2008.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *Paul H. Leight* Date: 7/16/07
 Chief, Division of Land Development: *Condy Hermitz* Date: 7/12/07
 Chief, Development Engineering Division: *David...* Date: 7/16/07

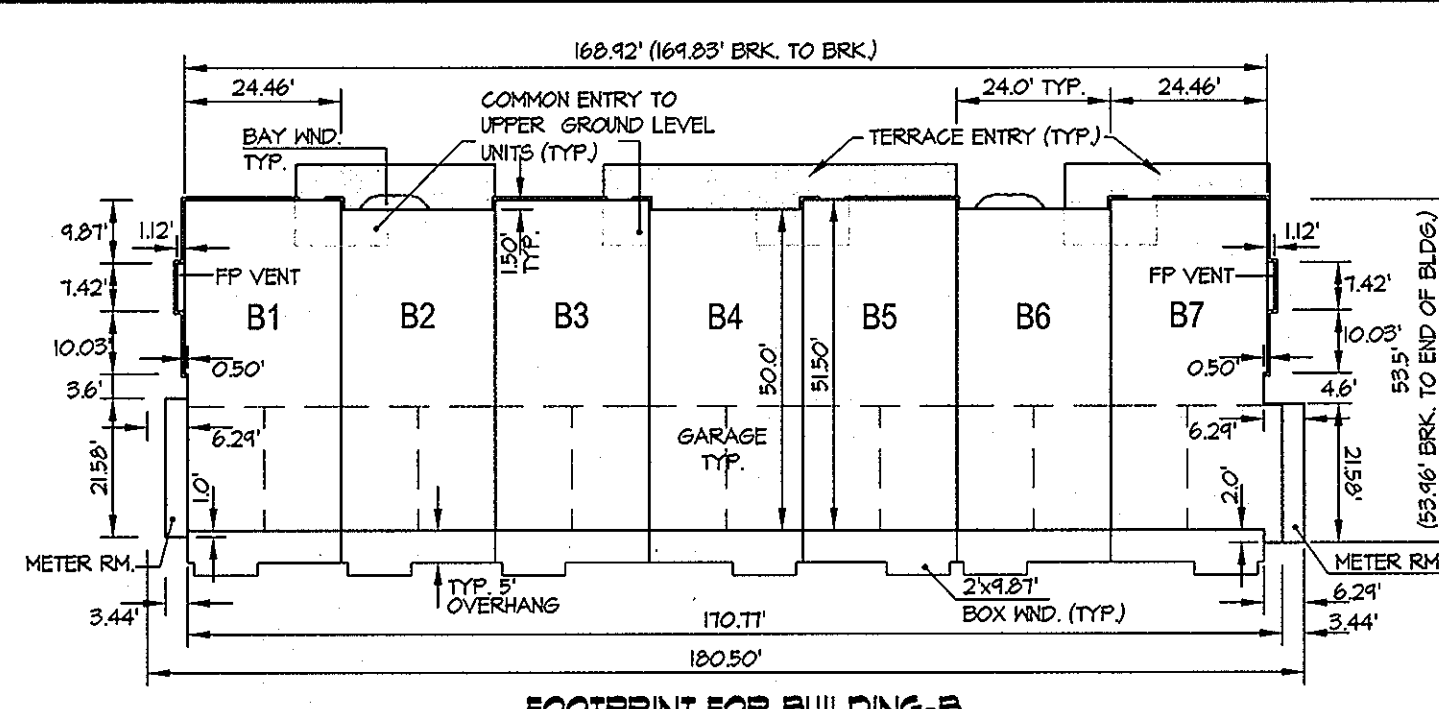


GLWGUTSCHICK LITTLE & WEBER, P.A. CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK BURTONSVILLE, MARYLAND 20886 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186	PREPARED FOR: PROPERTY OWNER: G & R MAPLE LAWN, INC., ET. AT. 1829 REISTERTOWN ROAD, SUITE 300 BALTIMORE, MD 21208 410-484-8400		BUILDER/CONTRACT PURCHASER: BA MAPLE LAWN, LLC c/o BOZZUTO HOMES, INC. 7850 WALKER DRIVE, SUITE 400 GREENBELT, MD 20770 301-220-0100		SITE DETAILS MAPLE LAWN FARMS MIDTOWN DISTRICT - AREA 2, PARCEL A-14 MULTI-FAMILY APARTMENT/CONDOMINIUM DWELLING UNITS PLAT Nos. 19135		SCALE: AS SHOWN	ZONING: MXD-3	G. L. W. FILE No. 06047
	DATE: June/2007	TAX MAP - GRID 41 / 21	SHEET 3 OF 13	HOWARD COUNTY, MARYLAND					

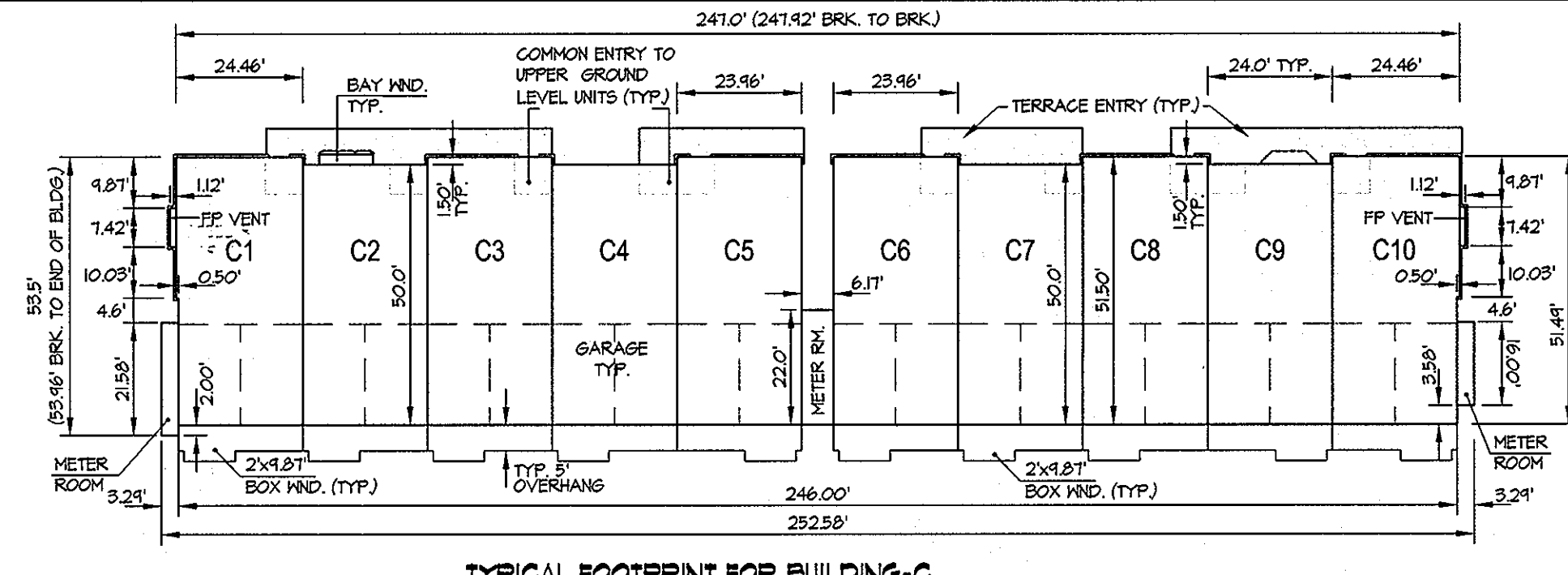
Drawings\02001\06047\SDP\06047-SDP-DET.dwg DES. MBT DRN. KLP CHK. DATE REVISION BY APPR. ELECTION DISTRICT No. 5



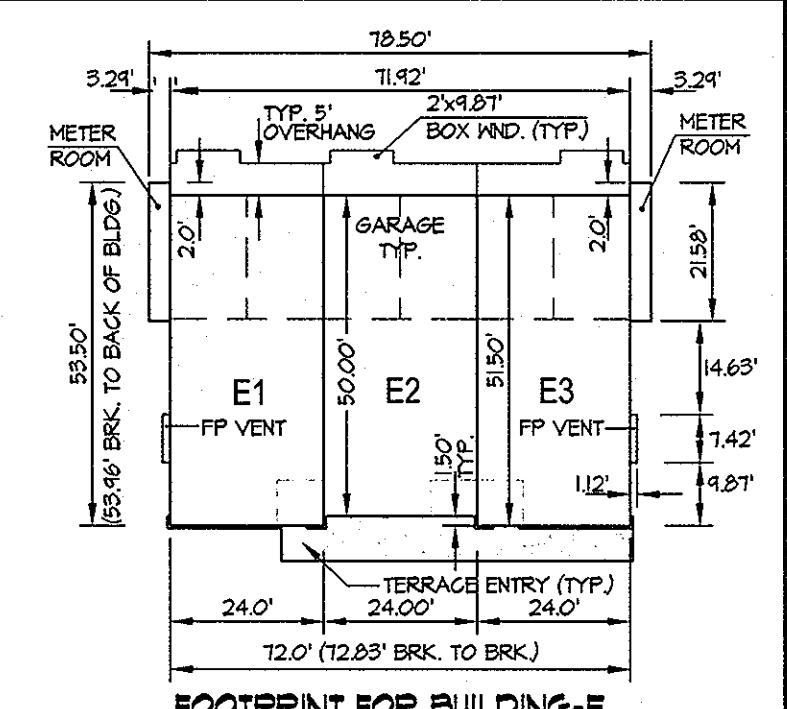
TYPICAL FOOTPRINT FOR BUILDING-A
SCALE: 1" = 30'



FOOTPRINT FOR BUILDING-B
SCALE: 1" = 30'



TYPICAL FOOTPRINT FOR BUILDING-C
SCALE: 1" = 30'



FOOTPRINT FOR BUILDING-E
SCALE: 1" = 30'



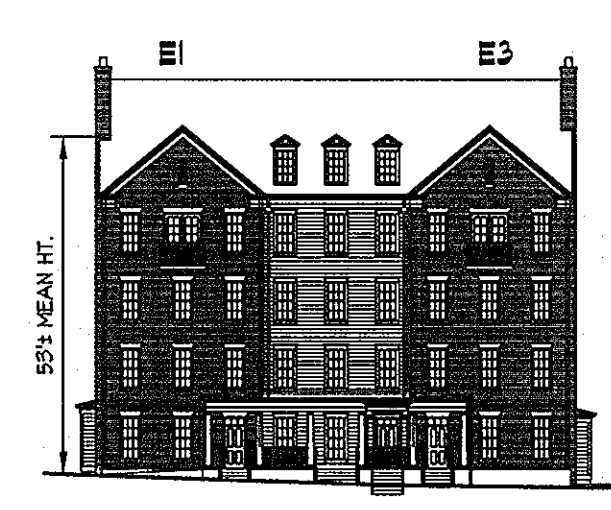
ELEVATION FOR BUILDING-A (SIMILAR FOR BUILDING-D)
SCALE: 1" = 30'



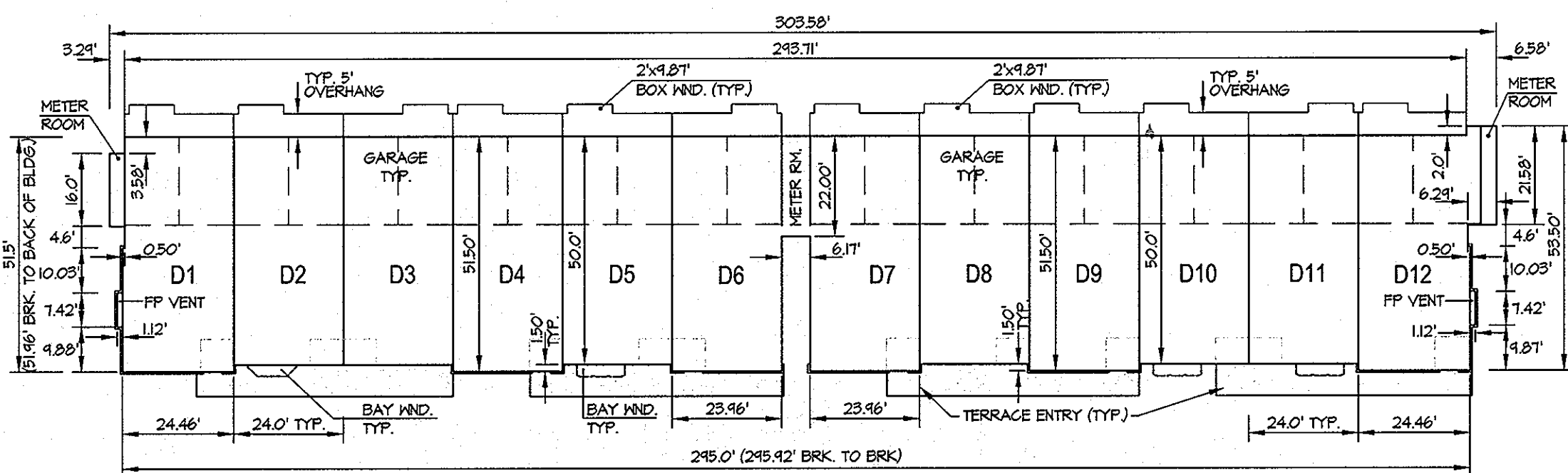
ELEVATION FOR BUILDING-B
SCALE: 1" = 30'



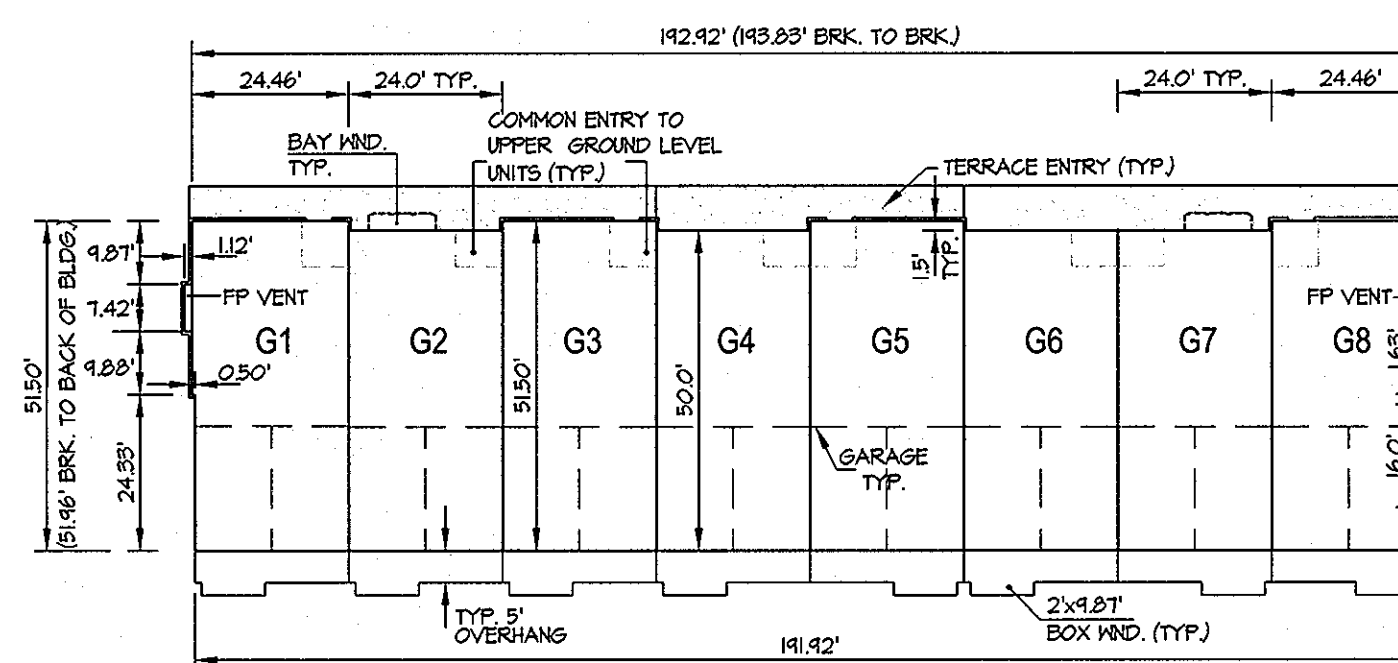
ELEVATION FOR BUILDING-C (SIMILAR FOR BLDG-F)
SCALE: 1" = 30'



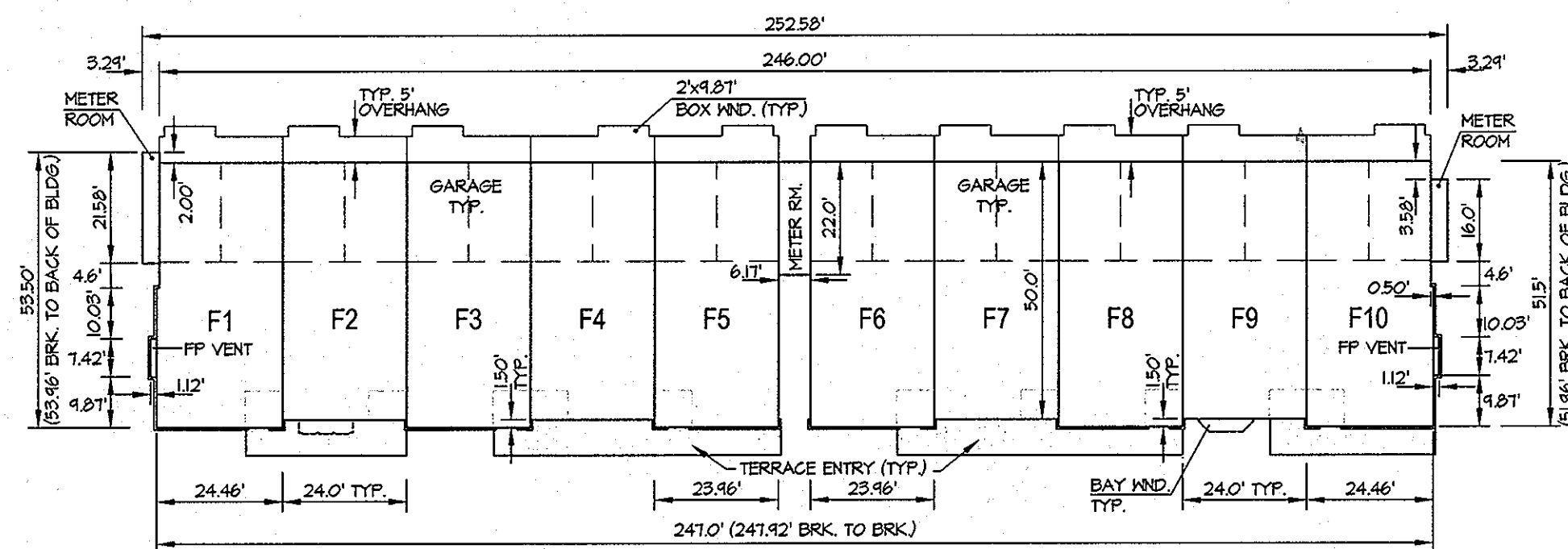
ELEVATION FOR BUILDING-E
SCALE: 1" = 30'



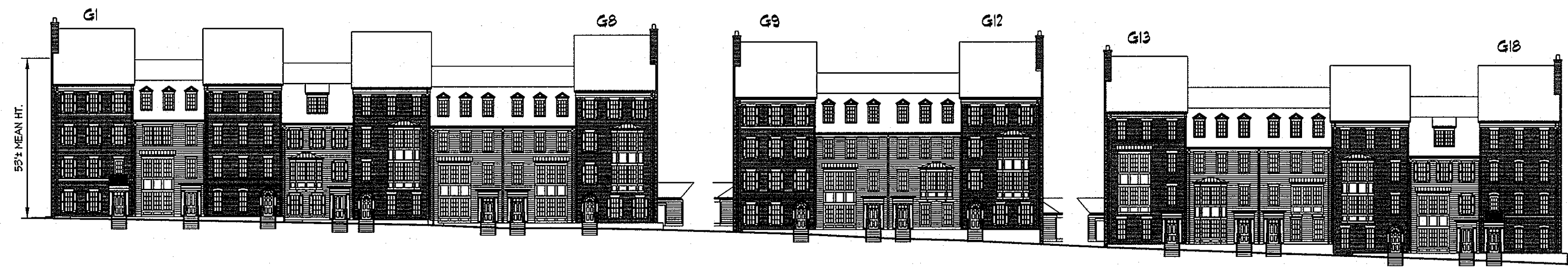
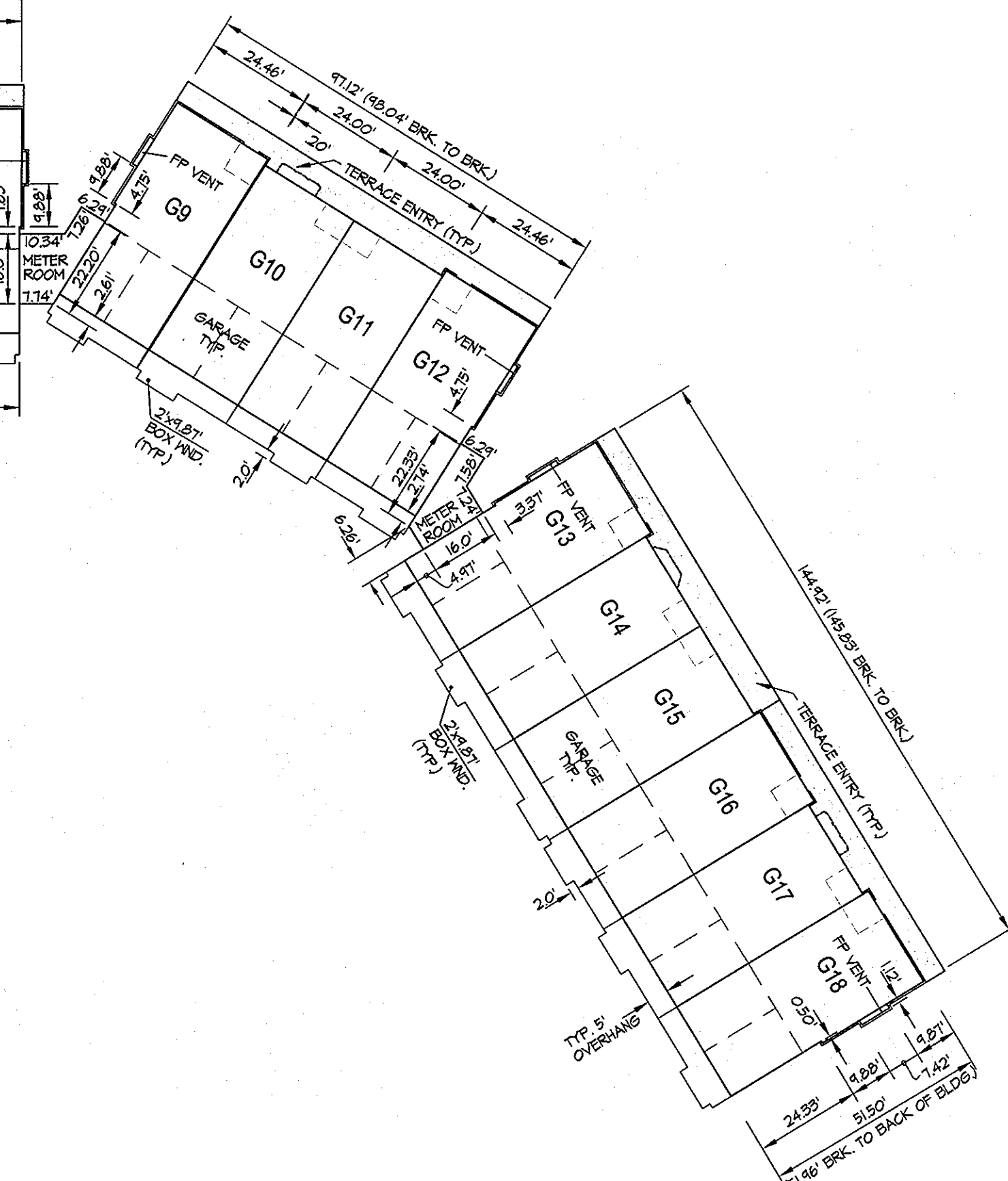
TYPICAL FOOTPRINT FOR BUILDING-D
SCALE: 1" = 30'



FOOTPRINT FOR BUILDING-G
SCALE: 1" = 30'



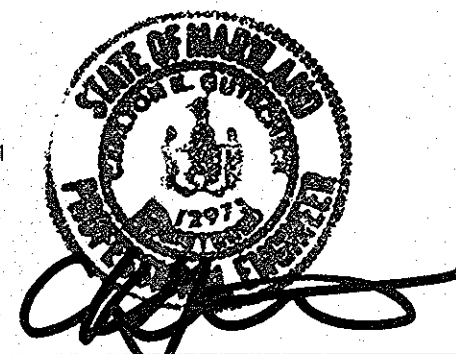
TYPICAL FOOTPRINT FOR BUILDING-F
SCALE: 1" = 30'



ELEVATION FOR BUILDING-G
SCALE: 1" = 30'

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12475, EXPIRATION DATE: MAY 26, 2008.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Masha A. Ujwyl* Date: 7/14/10
 Chief, Division of Land Development: *Andy Hamant* Date: 7/12/09
 Chief, Development Engineering Division: *[Signature]* Date: 7/16/10

APPROVED
PLANNING BOARD
OF HOWARD COUNTY

DATE: MAY 10, 2007

GLWGUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20886
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-389-2524 FAX: 301-421-4186

PREPARED FOR:

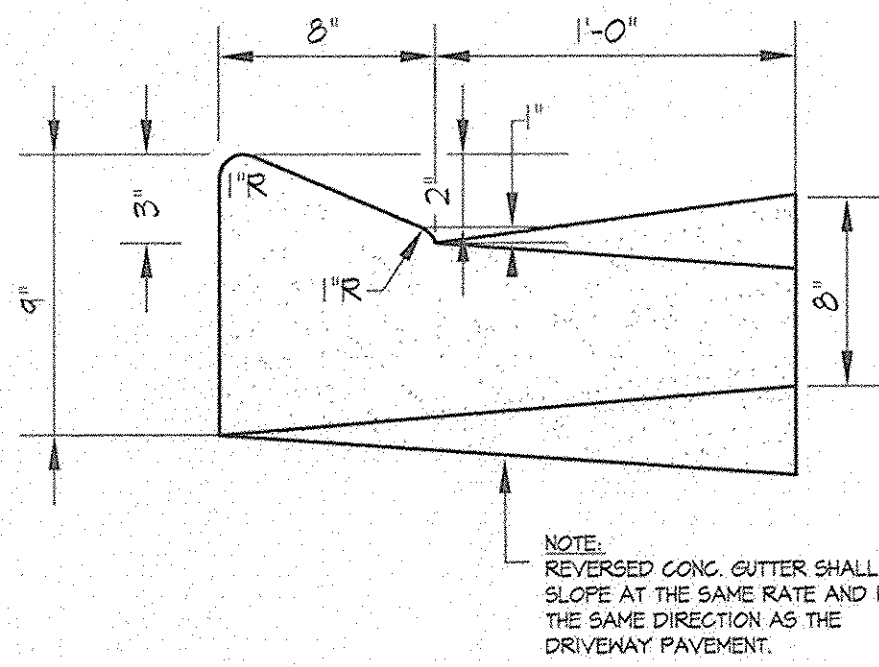
PROPERTY OWNER:
G & R MAPLE LAWN, INC., ET. AL.
1829 REISTERTOWN ROAD, SUITE 300
BALTIMORE, MD 21208
410-484-8400

BUILDER/CONTRACT PURCHASER:
BA MAPLE LAWN, LLC
c/o BOZZUTO HOMES, INC.
7850 WALKER DRIVE, SUITE 400
GREENBELT, MD 20770
301-220-0100

SITE DETAILS

MAPLE LAWN FARMS
MIDTOWN DISTRICT - AREA 2, PARCEL A-14
MULTI-FAMILY APARTMENT/CONDOMINIUM DWELLING UNITS
PLAT Nos. 19135

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	06047
DATE	TAX MAP - GRID	SHEET
June/2007	41 / 21	4 OF 13



NOTE:
REVERSED CONC. GUTTER SHALL
SLOPE AT THE SAME RATE AND IN
THE SAME DIRECTION AS THE
DRIVEWAY PAVEMENT.

1 TYPE 'C' COMBINATION CURB AND GUTTER NO SCALE

LEGEND

- P2 PAVING (2,900 SY, DET. 6/3)
- P3 PAVING (6,235 SY, DET. 6/3)
- HEAVY DUTY CONCRETE APRON PAVING (54 SY, DET. 9/3)
- SIDEWALK CONCRETE PAVING (1470 SY, DET. 11/3)
- STAMPED CONCRETE X-WALK (33 SY, DET. 1/3)
- CURB & GUTTER (2,160 LF DET. 6/3)
- RED PAINTED CURB W/ 'NO PARKING' PER FIRE DEPT. STD.

NOTES:

1. ALL SIDEWALKS ARE 4' WIDE UNLESS NOTED OTHERWISE. ALL LEADWALKS ARE 5' WIDE.
2. FOR TYPICAL ROAD SECTION PAVING SECTIONS AND CURB DETAILS, SEE SHEET 3.
3. UNLESS OTHERWISE NOTED, ALL CURB & GUTTER ARE TYPE -A (DET. 6/6).
4. ALL PAVEMENT MARKINGS TO BE APPLIED USING 'SETFAST PREMIUM ALKYD TRAFFIC PAINT' BY SHERWIN WILLIAMS OR APPROVED EQUAL. ALL PAVEMENT (SUCH AS ARROWS 'ONLY' MARKINGS, STOP BARS, ETC.) MUST BE INSTALLED IN THERMOPLASTIC.
5. TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT AND PUTTING THE ROADWAY INTO SERVICE.

APPROVED
PLANNING BOARD
of HOWARD COUNTY

DATE MAY 10, 2007

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *John D. Unger* Date: 7/16/07
 Chief, Division of Land Development: *Cindy Hamrick* Date: 7/16/07
 Chief, Development Engineering Division: *Michael J. ...* Date: 7/16/07

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 12915. EXPIRATION DATE: MAY 26, 2008.



GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20886
 TEL: 301-421-4024 BALT. 410-850-1820 DC/VA 301-989-2524 FAX: 301-421-4186

PREPARED FOR:

PROPERTY OWNER:
G & R MAPLE LAWN, INC., ET. AT.
1829 REISTERTOWN ROAD, SUITE 300
BALTIMORE, MD 21208
410-484-8400

BUILDER/CONTRACT PURCHASER:
BA MAPLE LAWN, LLC
c/o BOZZUTO HOMES, INC.
7850 WALKER DRIVE, SUITE 400
GREENBELT, MD 20770
301-220-0100

PAVING AND CURB DELINEATION PLAN

MAPLE LAWN FARMS
 MIDTOWN DISTRICT - AREA 2, PARCEL A-14
 MULTI-FAMILY APARTMENT/CONDOMINIUM DWELLING UNITS
 PLAT Nos. 19135

SCALE	ZONING	G. L. W. FILE No.
1" = 30'	MXD-3	06047
DATE	TAX MAP - GRID	SHEET
June/2007	41 / 21	5 OF 13

L:\CADD\DRAWINGS\02001\06047\SDP\06047-PAVING.dwg DES. MBT DRN. KLP CHK.

DATE	REVISION	BY	APP'R.

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

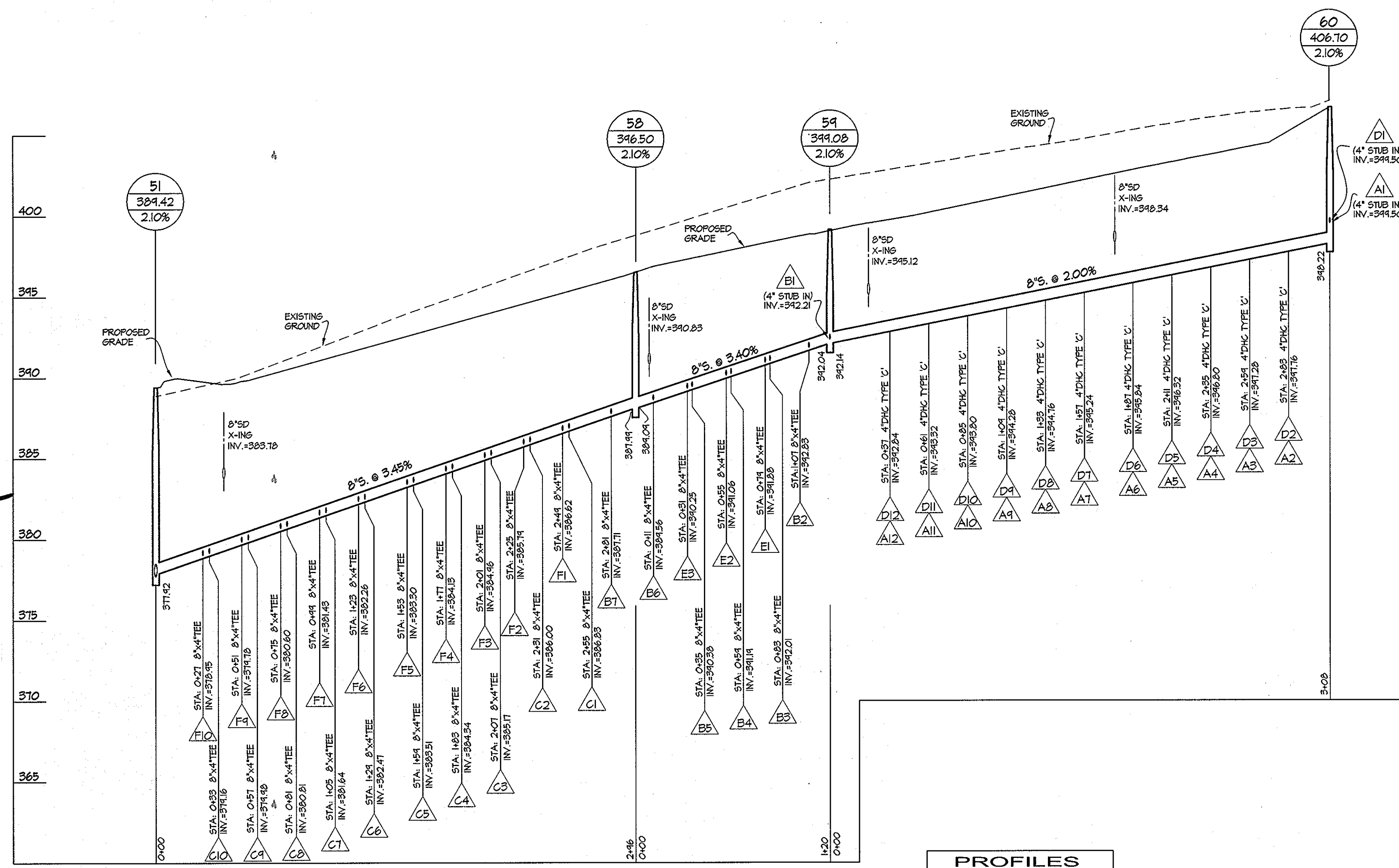
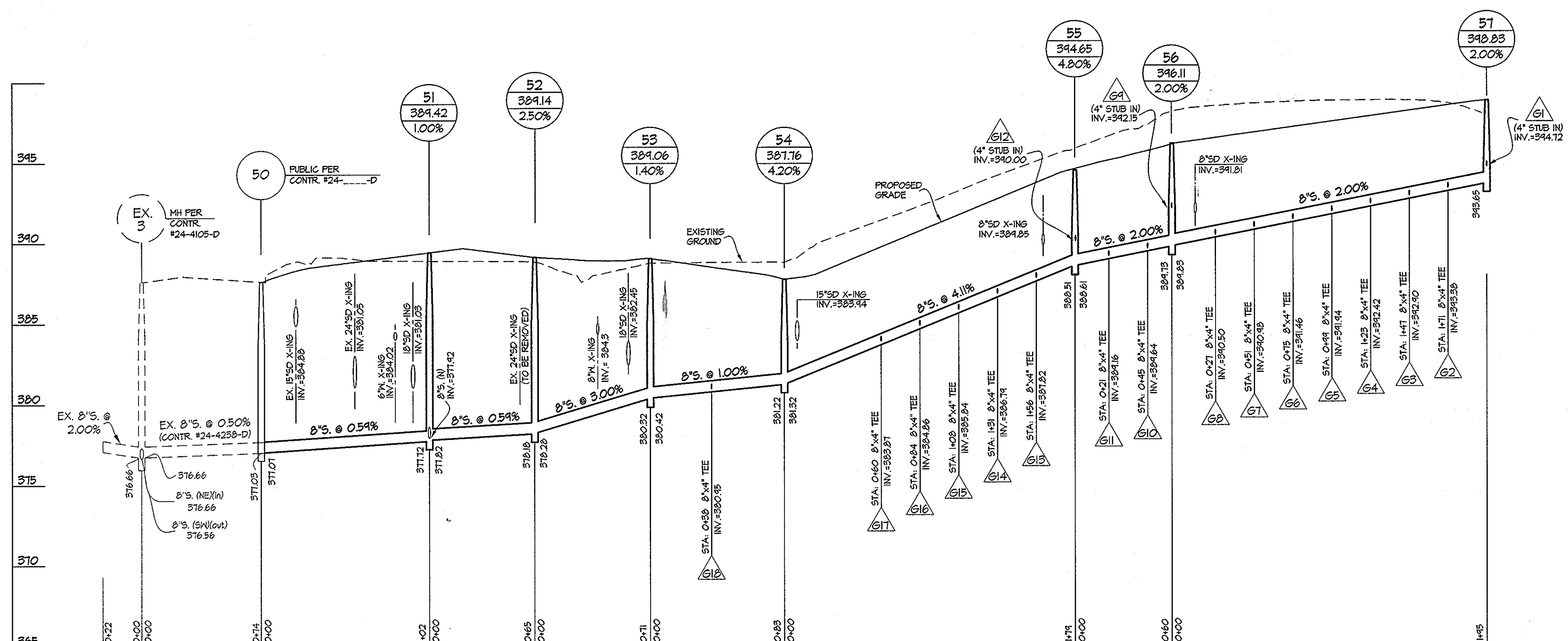
SEWER HOUSE CONNECTION TABLE

POD No.	LOCATION (station)	INV. @ 4" (ft.)	SLAB	LENGTH (ft.)	SLOPE (%)	TYPE (-)
A1	5 60	394.42	410.57	38	2.0	type 'c' DHC
A2	2+83	394.42	410.57	40	2.0	type 'c' DHC
A3	2+59	394.42	410.57	40	2.0	type 'c' DHC
A4	2+35	394.42	410.57	40	2.0	type 'c' DHC
A5	2+11	394.42	410.57	40	2.0	type 'c' DHC
A6	1+87	394.42	410.57	40	2.0	type 'c' DHC
A7	1+57	394.42	410.57	40	2.0	type 'c' DHC
A8	1+33	394.42	410.57	40	2.0	type 'c' DHC
A9	1+09	394.42	410.57	40	2.0	type 'c' DHC
A10	0+85	394.42	410.57	40	2.0	type 'c' DHC
A11	0+61	394.42	410.57	40	2.0	type 'c' DHC
A12	0+37	394.42	410.57	40	2.0	type 'c' DHC
B1	5 59	394.21	404.27	42	2.0	4x8 inch Tee
B2	1+07	392.83	404.27	40	2.0	4x8 inch Tee
B3	0+83	392.01	402.94	40	2.0	4x8 inch Tee
B4	0+59	391.19	402.94	40	2.0	4x8 inch Tee
B5	0+35	390.38	402.94	40	2.0	4x8 inch Tee
B6	0+11	389.56	401.60	40	2.0	4x8 inch Tee
B7	2+81	387.71	401.60	47	2.0	4x8 inch Tee
C1	2+55	386.83	398.25	40	2.0	4x8 inch Tee
C2	2+31	386.00	398.25	40	2.0	4x8 inch Tee
C3	2+07	385.17	398.25	40	2.0	4x8 inch Tee
C4	1+83	384.34	398.25	40	2.0	4x8 inch Tee
C5	1+59	383.51	398.25	40	2.0	4x8 inch Tee
C6	1+35	382.67	398.25	40	2.0	4x8 inch Tee
C7	1+11	381.84	398.25	40	2.0	4x8 inch Tee
C8	0+87	381.01	398.25	40	2.0	4x8 inch Tee
C9	0+63	380.18	398.25	40	2.0	4x8 inch Tee
C10	0+39	379.35	398.25	40	2.0	4x8 inch Tee
D1	5 60	394.42	410.57	18	2.0	type 'c' DHC
D2	2+83	394.42	410.57	20	2.0	type 'c' DHC
D3	2+59	394.42	410.57	20	2.0	type 'c' DHC
D4	2+35	394.42	410.57	20	2.0	type 'c' DHC
D5	2+11	394.42	410.57	20	2.0	type 'c' DHC
D6	1+87	394.42	410.57	20	2.0	type 'c' DHC
D7	1+57	394.42	410.57	20	2.0	type 'c' DHC
D8	1+33	394.42	410.57	20	2.0	type 'c' DHC
D9	1+09	394.42	410.57	20	2.0	type 'c' DHC
D10	0+85	394.42	410.57	20	2.0	type 'c' DHC
D11	0+61	394.42	410.57	20	2.0	type 'c' DHC
D12	0+37	394.42	410.57	20	2.0	type 'c' DHC

POD No.	LOCATION (station)	INV. @ 4" (ft.)	SLAB	LENGTH (ft.)	SLOPE (%)	TYPE (-)
E1	0+79	391.88	401.10	20	2.0	4x8 inch Tee
E2	0+55	391.06	401.10	20	2.0	4x8 inch Tee
E3	0+31	390.25	401.10	20	2.0	4x8 inch Tee
F1	2+49	386.62	399.41	20	2.0	4x8 inch Tee
F2	2+25	385.79	399.41	20	2.0	4x8 inch Tee
F3	2+01	384.96	399.41	20	2.0	4x8 inch Tee
F4	1+77	384.13	399.41	20	2.0	4x8 inch Tee
F5	1+53	383.30	399.41	20	2.0	4x8 inch Tee
F6	1+29	382.46	399.41	20	2.0	4x8 inch Tee
F7	0+99	381.63	399.41	20	2.0	4x8 inch Tee
F8	0+75	380.80	399.41	20	2.0	4x8 inch Tee
F9	0+51	379.97	399.41	20	2.0	4 inch DHC
F10	0+27	379.14	399.41	20	2.0	4 inch DHC
G1	5 57	394.72	405.29	20	2.0	4 inch DHC
G2	1+71	393.38	405.29	22	2.0	4 inch DHC
G3	1+47	392.55	405.29	22	2.0	4x8 inch Tee
G4	1+23	391.72	405.29	22	2.0	4x8 inch Tee
G5	0+99	390.89	405.29	22	2.0	4x8 inch Tee
G6	0+75	390.06	405.29	22	2.0	4x8 inch Tee
G7	0+51	389.23	405.29	22	2.0	4x8 inch Tee
G8	0+27	388.40	405.29	22	2.0	4x8 inch Tee
G9	5 56	392.15	401.00	23	2.0	4x8 inch Tee
G10	0+45	389.64	401.00	23	2.0	4x8 inch Tee
G11	0+21	388.81	401.00	23	2.0	4 inch DHC
G12	5 55	390.00	401.00	21	2.0	4x8 inch Tee
G13	1+56	387.82	396.20	20	2.0	4x8 inch Tee
G14	1+31	386.99	396.20	20	2.0	4x8 inch Tee
G15	1+06	386.16	396.20	20	2.0	4x8 inch Tee
G16	0+84	385.33	396.20	20	2.0	4x8 inch Tee
G17	0+60	384.50	396.20	20	2.0	4x8 inch Tee
G18	0+36	383.67	396.20	23	2.0	4x8 inch Tee

NOTES:

1. INVERTS LISTED FOR DROP HOUSE CONNECTIONS ARE FOR THE TOP OF JOINT WHERE THE DHC CONNECTS TO THE HORIZONTAL RUN.
2. INVERTS LISTED FOR 4"x8" TEES ARE FOR THE INVERT OF THE 4" AT THE MAIN.
3. FOR INVERTS OF THE 8" MAIN, SEE SEWER PROFILES.
4. STATION LOCATION OF ALL SHC CONNECTIONS IS FROM THE CENTERLINE OF THE NEXT DOWNSTREAM SEWER STRUCTURE AND ALL SLOPES LISTED ARE FOR THE SLOPE OF THE 4" STUB.
5. ALL SHC'S SLOPES ARE 2.0% UNLESS OTHERWISE NOTED.



PROFILES
SCALE: 1" = 5' VERT.
1" = 50' HORIZ.

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 10715, EXPIRATION DATE, MAY 26, 2008.



APPROVED
PLANNING BOARD
OF HOWARD COUNTY

DATE: MAY 10, 2007

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *[Signature]* Date: 7/14/07
Chief, Division of Land Development: *[Signature]* Date: 7/12/07
Chief, Development Engineering Division: *[Signature]* Date: 7/16/07

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

PREPARED FOR:

PROPERTY OWNER:
C & R MAPLE LAWN, INC. ET. AT.
1829 REISTERTOWN ROAD, SUITE 300
BALTIMORE, MD 21208
410-484-8400

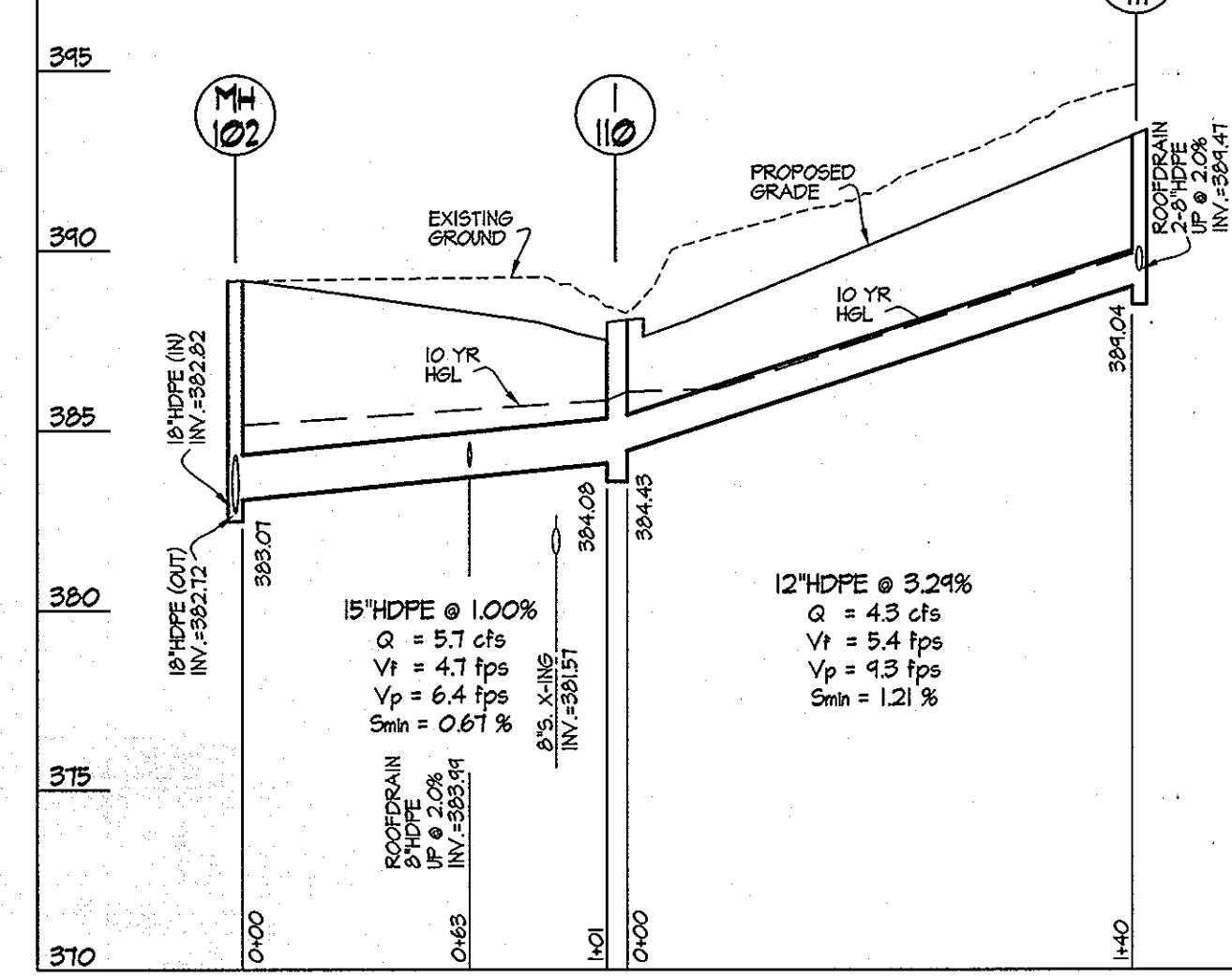
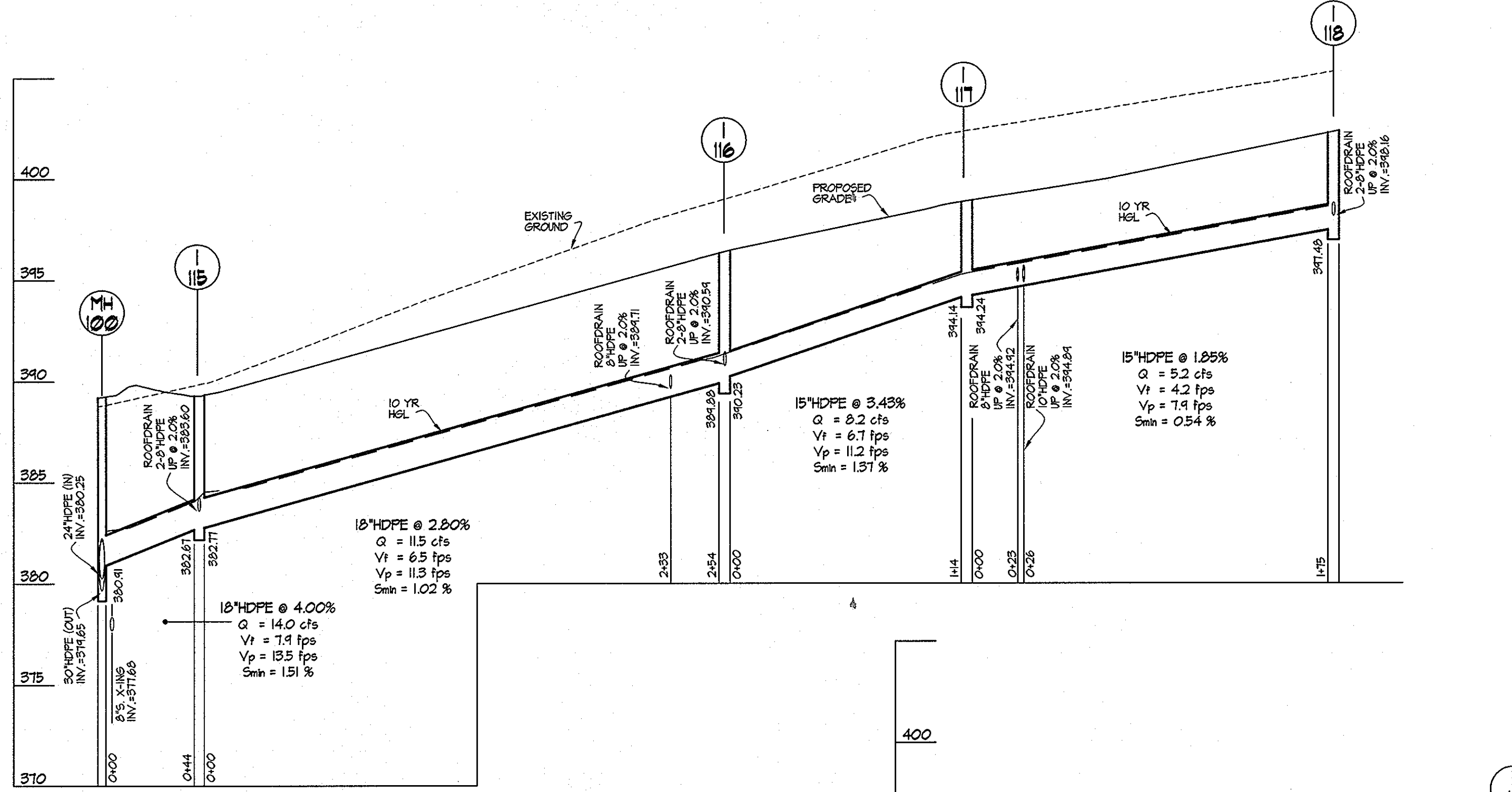
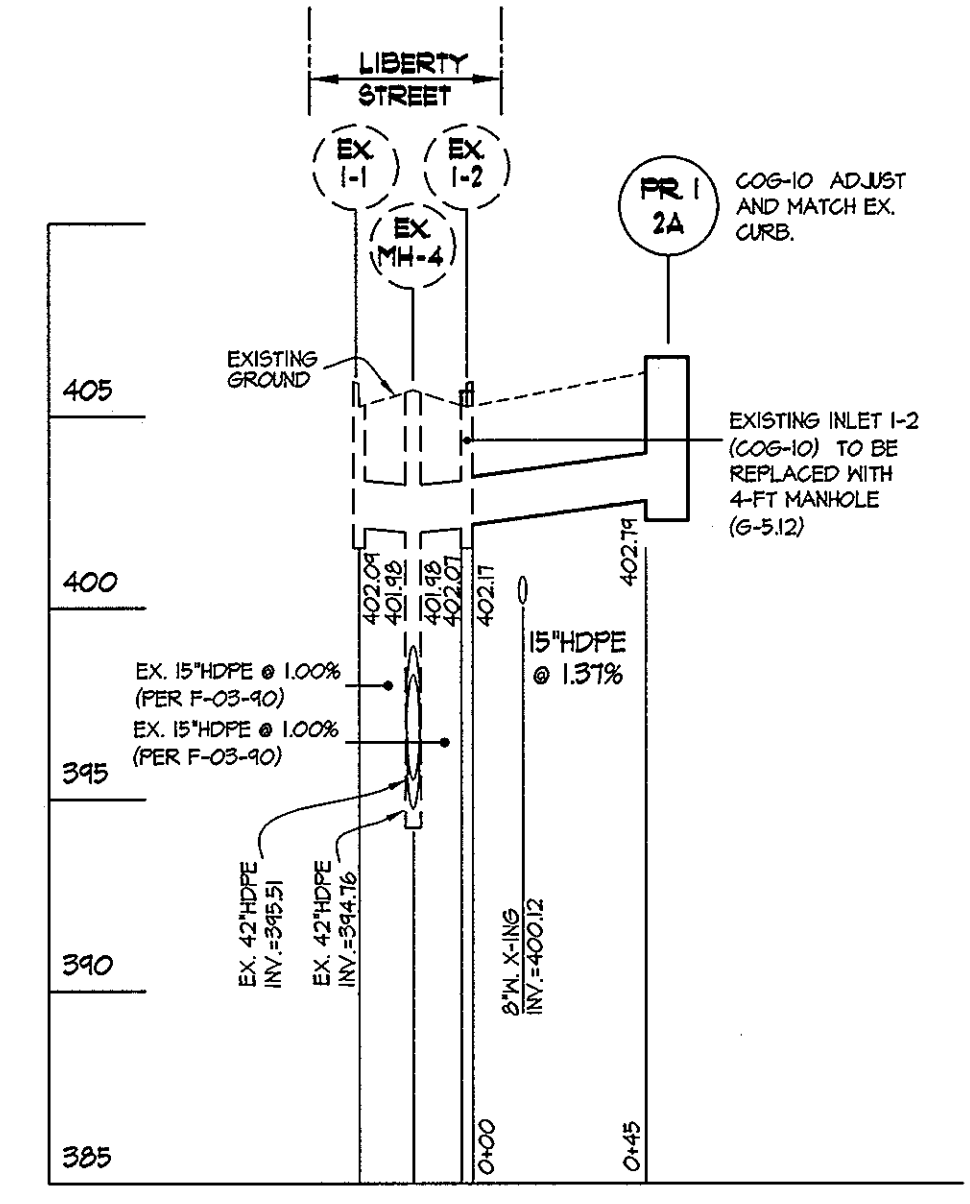
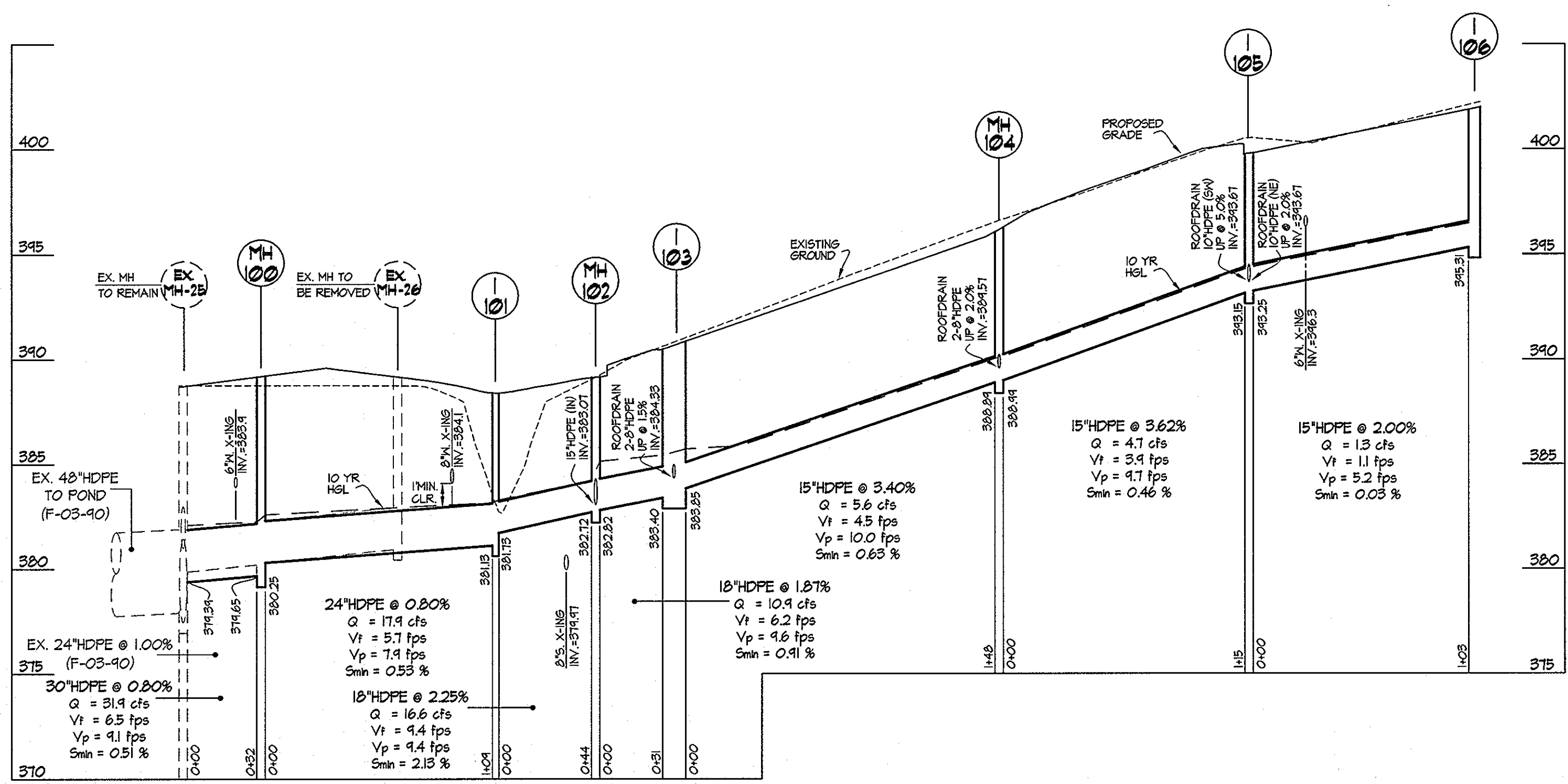
BUILDER/CONTRACT PURCHASER:
BA MAPLE LAWN, LLC
c/o BOZZUTO HOMES, INC.
7850 WALKER DRIVE, SUITE 400
GREENBELT, MD 20770
301-220-0100

SEWER PROFILES

MAPLE LAWN FARMS
MIDTOWN DISTRICT - AREA 2, PARCEL A-14
MULTI-FAMILY APARTMENT/CONDOMINIUM DWELLING UNITS
PLAT Nos. 19135

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	06047
DATE	TAX MAP - GRID	SHEET
June/2007	41 / 21	6 OF 13

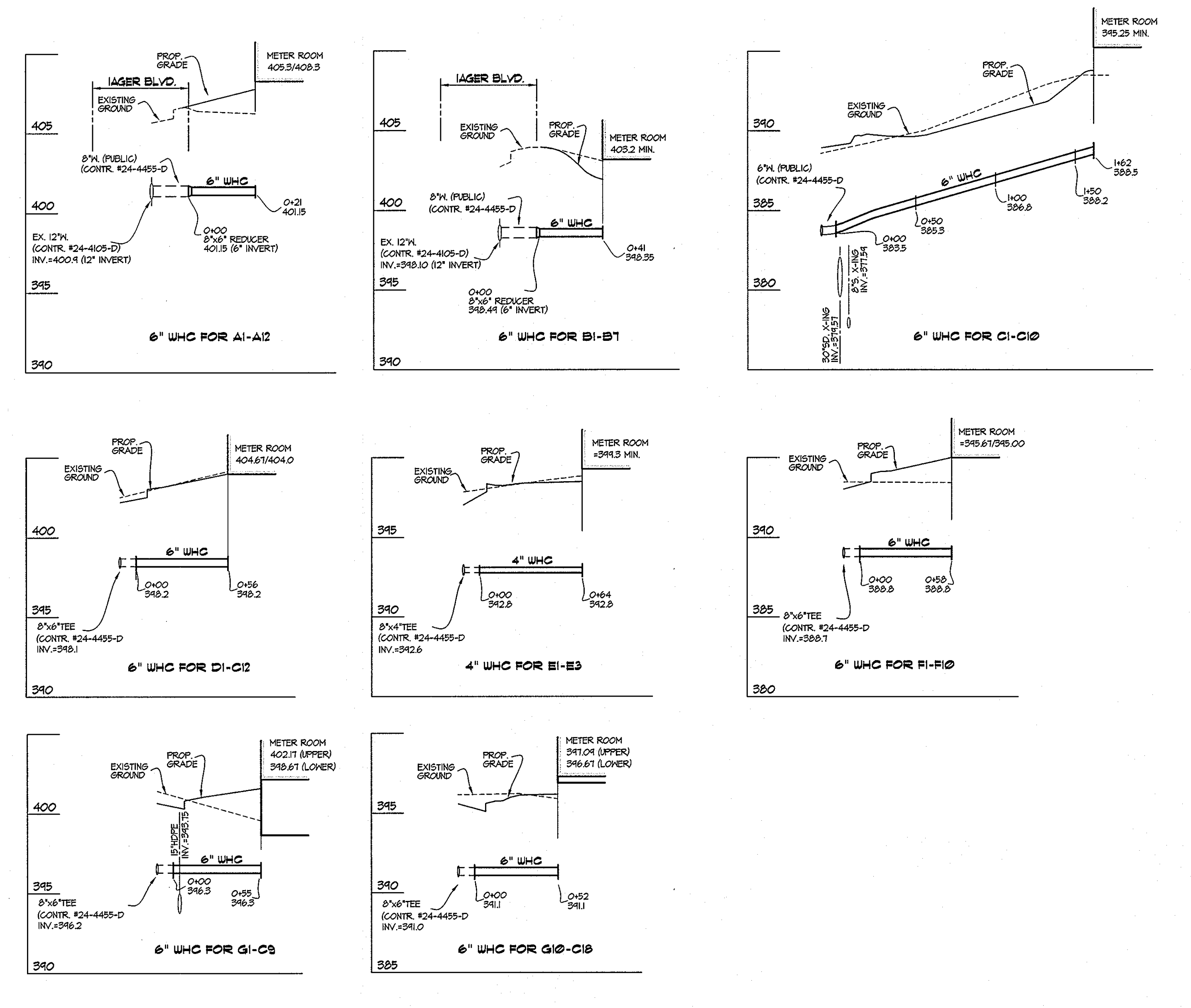
DATE	REVISION	BY	APP'R.



S.D. STRUCTURE SCHEDULE								
NO.	TYPE	WIDTH (INSIDE)	TOP ELEVATION		INVERT ELEVATION		STANDARD DETAIL	LOCATIONS & REMARKS
			UPPER	LOWER	UPPER	LOWER		
MH-100	5' MANHOLE	5'-0"	---	384.20	380.25	379.65	HO. CO. G 5.12	
MH-101	DOUBLE 5' COMBO	2'-1"	388.36	388.36	381.75	381.15	HO. CO. SD-4.34	
MH-102	4' MANHOLE	4'-0"	---	384.06	383.07	382.72	HO. CO. G 5.12	
I-103	A-10 INLET	3'-0"	384.30	384.44	383.40	383.40	HO. CO. SD-4.02	
MH-104	4' MANHOLE	4'-0"	---	386.17	384.57	383.84	HO. CO. G 5.12	
I-105	DOUBLE 5' COMBO	2'-1"	400.07	394.14	393.67	393.15	HO. CO. SD-4.34	
I-106	DOUBLE 5' COMBO	2'-1"	401.97	401.84	395.31	terminal	HO. CO. SD-4.34	
I-110	A-10 INLET	3'-0"	388.00	388.00	384.43	384.08	HO. CO. SD-4.02	
I-111	A-10 INLET	3'-0"	383.51	383.06	384.47	384.04	HO. CO. SD-4.02	
I-115	DOUBLE 5' INLET	2'-1"	384.30	384.30	383.60	382.67	HO. CO. SD-4.23	
I-116	DOUBLE 5' INLET	2'-1"	386.42	386.24	384.54	384.28	HO. CO. SD-4.23	
I-117	DOUBLE 5' INLET	2'-1"	388.91	388.74	384.24	384.14	HO. CO. SD-4.23	
I-118	DOUBLE 5' INLET	2'-1"	402.38	402.28	398.16	397.48	HO. CO. SD-4.23	

NOTE: ALL STORM DRAIN STRUCTURES SHALL BE PRECAST.

S.D. PIPE SUMMARY TABLE			
SIZE (IN)	TYPE	QUANTITY (LF)	REMARKS
12	HDPE	140	ADS N12 or equiv.
15	HDPE	812	ADS N12 or equiv.
18	HDPE	373	ADS N12 or equiv.
24	HDPE	106	ADS N12 or equiv.
30	HDPE	32	ADS N12 or equiv.



PROFILES
 SCALES: 1" = 5' VERT.
 1" = 50' HORIZ.

APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY
 DATE MAY 10, 2007



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: Mark A. Legler Date: 7/16/07
 Chief, Division of Land Development: Andy Hanna Date: 7/13/07
 Chief, Development Engineering Division: Michael... Date: 7/16/07

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12478, EXPIRATION DATE: MAY 26, 2008.

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20886
 TEL: 301-421-4024 BALT: 410-883-1820 DC/VA: 301-389-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.

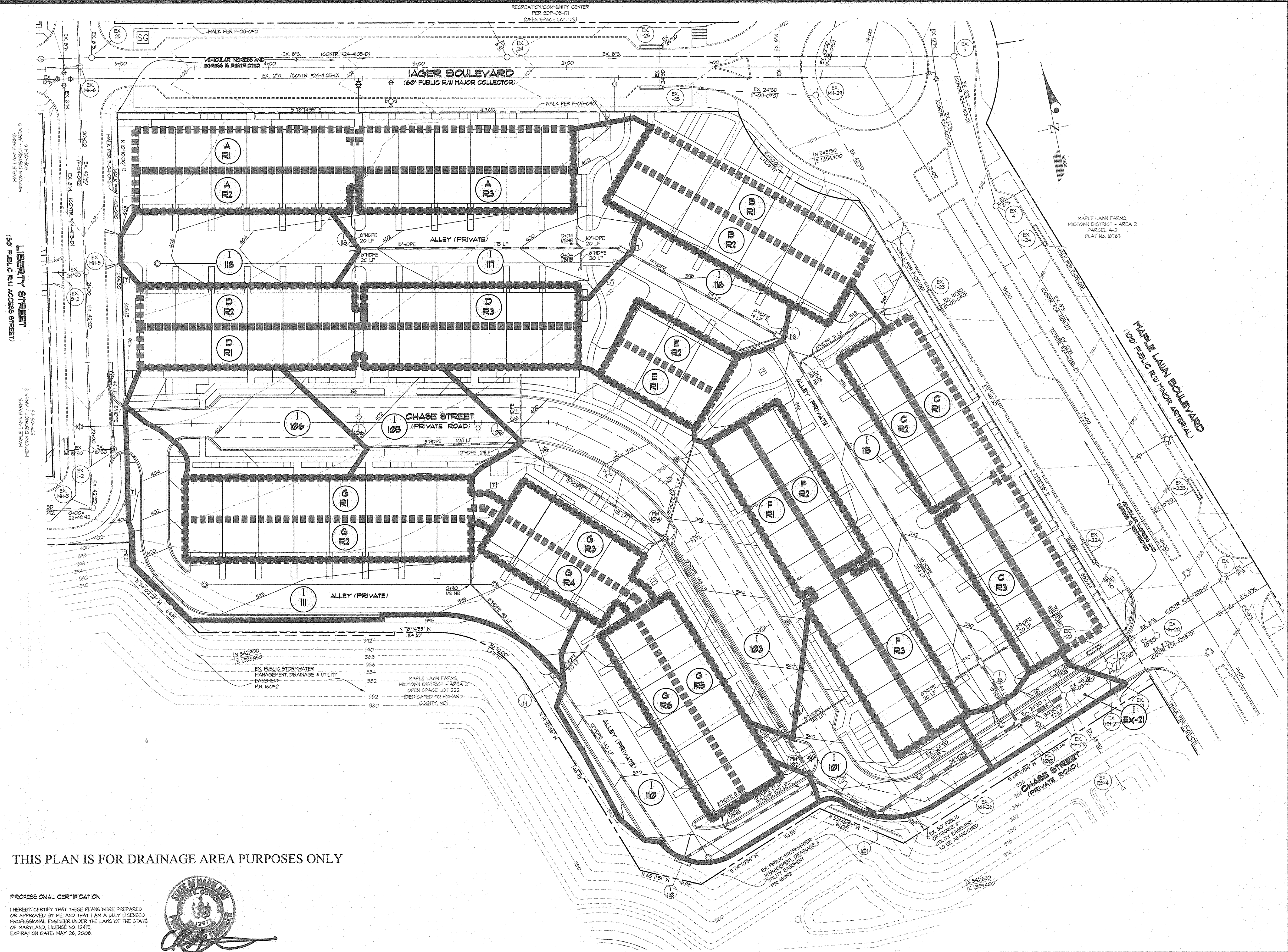
PREPARED FOR:
 PROPERTY OWNER: G & R MAPLE LAWN, INC., ET. AT. 1829 REISTERTOWN ROAD, SUITE 300 BALTIMORE, MD 21208 410-484-8400
 BUILDER/CONTRACT PURCHASER: BA MAPLE LAWN, LLC c/o BOZZUTO HOMES, INC. 7850 WALKER DRIVE, SUITE 400 GREENBELT, MD 20770 301-220-0100

STORM DRAIN PROFILES / WATER PROFILES
MAPLE LAWN FARMS
 MIDTOWN DISTRICT - AREA 2, PARCEL A-14
 MULTI-FAMILY APARTMENT/CONDOMINIUM DWELLING UNITS
 PLAT Nos. 19135
 ELECTION DISTRICT No. 5
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	06047
DATE	TAX MAP - GRID	SHEET
June/2007	41 / 21	7 OF 13

DRAINAGE AREA INFORMATION		
INLET	AREA (ACRES)	C VALUE
A R1	0.18	0.81
A R2	0.04	
A R3	0.04	
B R1	0.11	
B R2	0.11	
C R1	0.15	
C R2	0.08	
C R3	0.08	
D R1	0.18	
D R2	0.04	
D R3	0.04	
E R1	0.05	
E R2	0.05	
F R1	0.15	
F R2	0.08	
F R3	0.08	
G R1	0.15	
G R2	0.12	
G R3	0.06	
G R4	0.01	
G R5	0.04	
G R6	0.04	
H-01	0.20	0.75
H-02	0.35	
H-03	0.18	
H-04	0.22	
H-05	0.24	
H-06	0.24	
H-07	0.16	
H-08	0.20	
H-09	0.11	
EX-21	0.08	

NOTE: THIS SITE HAS PREVIOUSLY MASS GRADED UNDER F-03-02.



LEGEND

■ ■ ■ ■ ■ ROOF DRAINAGE AREA TO PIPE STUBS

— SURFACE DRAINAGE AREA TO INLET

APPROVED
PLANNING BOARD
OF HOWARD COUNTY

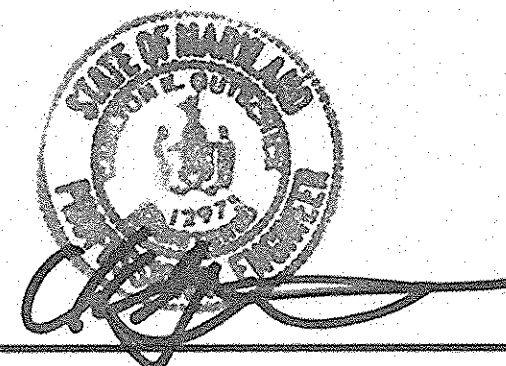
DATE: MAY 10, 2007

THIS PLAN IS FOR DRAINAGE AREA PURPOSES ONLY

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: Martha A. Wright 2/14/17
 Date: 2/17/07
 Chief, Division of Land Development
 Date: 2/16/07
 Chief, Development Engineering Division

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12479, EXPIRATION DATE: MAY 26, 2008.



GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT. 410-883-1820 DC/VA: 301-939-2524 FAX: 301-421-4186

L:\CADD\DRAWINGS\02001\06047\SDP\06047-DAM.dwg DES. MBT DRN. KLP CHK.

DATE	REVISION	BY	APP'R.

PREPARED FOR:

PROPERTY OWNER:
 G & R MAPLE LAWN, INC., ET. AT.
 1829 REISTERTOWN ROAD, SUITE 300
 BALTIMORE, MD 21208
 410-484-8400

BUILDER/CONTRACT PURCHASER:
 BA MAPLE LAWN, LLC
 c/o BOZZUTO HOMES, INC.
 7850 WALKER DRIVE, SUITE 400
 GREENBELT, MD 20770
 301-220-0100

DRAINAGE AREA MAP
MAPLE LAWN FARMS
 MIDTOWN DISTRICT - AREA 2, PARCEL A-14
 MULTI-FAMILY APARTMENT/CONDOMINIUM DWELLING UNITS
 PLAT Nos. 19135

ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE No.
1"=30'	MXD-3	06047
DATE	TAX MAP - GRID	SHEET
June/2007	41 / 21	8 OF 13

SEDIMENT CONTROL LEGEND

- 600 --- EXISTING CONTOUR
- 600 --- PROPOSED CONTOUR
- + 500.0 --- PROPOSED SPOT ELEVATION
- • • • • LIMIT OF GRADING DISTURBANCE
- [SCE] STABILIZED CONSTRUCTION ENTRANCE
- [SF] SILT FENCE
- [SSF] SUPER SILT FENCE
- [SSF] IMBRICATED/WRAPED SUPER SILT FENCE
- [CIP] CURB INLET PROTECTION

SEQUENCE OF CONSTRUCTION

1. APPLY FOR A GRADING PERMIT AND ARRANGE FOR A PRE-CONSTRUCTION MEETING WITH THE SEDIMENT CONTROL INSPECTOR (SCI) AT THE MEETING, OBTAIN THE GRADING PERMIT FROM THE SCI. DURATION: 1 DAY.
2. INSTALL THE STABILIZED CONSTRUCTION ENTRANCES (SCE), SILT FENCE (-SF-) SUPER SILT FENCE (-SSF-) AND CURB INLET PROTECTION (AT EX. 1-2) ONLY. DURATION: 1 DAY.
3. BUILD THE TWO RETAINING WALLS. DURATION: 1 WEEK.
4. INSTALL THE STORM DRAIN SYSTEMS FROM EX. MH-25 TO INLETS I-11, I-106 AND I-118. COORDINATE THE INSTALLATION OF THE WATER AND SANITARY SEWER SYSTEMS WITH THE STORM DRAIN WORK. DURATION: 1 WEEK.
5. FROM INLET I-102, INSTALL THE CURB (ADJACENT TO THE ROAD) UP TO LIBERTY STREET AND MAPLE LAWN BOULEVARD (NOTE: TILL THE BACK OF RETAINING WALL NO.1 TO SURGE) IN ORDER TO INSTALL THE CURB IN THIS AREA. DURATION: 2-3 DAYS.
6. ENSURE THAT THE ON-SITE STORM DRAIN SYSTEM IS WORKING AND THAT ITS DRAINING TO THE EXISTING BASIN VIA MH-25 (TEMP. 5'x6' IS PROVIDED BY THE BASH), THEN OBTAIN PERMISSION FROM THE SCI TO PROCEED WITH GRADING THE ENTIRE SITE. GRADE THE SITE TO THE APPROPRIATE SUBGRADE CONDITION. DURATION: 2 DAYS.
7. INSTALL THE REMAINING CONCRETE CURB AND GUTTER THEN BASE-PAVE THE INTERNAL ROAD AND ALLEYS. AT EXISTING I-21, REPLACE THE CIP WITH A TEMPORARY ASPHALT BERM (5'x6'x4' DIVERSION) ONCE THIS AREA IS PAVED. DURATION: 1 WEEK.
8. CONSTRUCT THE BUILDINGS. INSTALL INDIVIDUAL SEDIMENT CONTROL MEASURES (-SF- AND -SSF-) FOR EACH BUILDING AS THEY UNDERGO CONSTRUCTION (SEE SHEET 10). THE CONSTRUCTION OF BUILDING 'A', 'B', OR 'C' CAN START ONCE SEQUENCE NO. 2 IS DONE. DURATION: 9-12 MONTHS PER BUILDING.
9. INSTALL SIDEWALKS, DRIVEWAYS AND LANDSCAPING ASSOCIATED WITH EACH BUILDING. DURATION: 1 WEEK.
10. ACQUIRED THE NECESSARY INSPECTIONS AND CERTIFICATIONS FOR A USE & OCCUPANCY PERMIT.
11. INSTALL THE SURFACE PAVING COURSE AND THE STRIPE PARKING SPACES. DURATION: 2 DAYS.
12. FLUSH THE STORM DRAIN SYSTEM OF ANY ACCUMULATED SEDIMENT. COORDINATE THIS WITH THE F-05-30 FOND CONVERSION WORK BY GAR MAPLE LAWN, INC. DURATION: 1 DAY.
13. OBTAIN PERMISSION FROM THE SCI PRIOR TO REMOVING OF ANY REMAINING SEDIMENT CONTROL MEASURES.

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

CRJ 7-2-07
DATE

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12475, EXPIRATION DATE: 11/1/2008.



DEVELOPER'S/BUILDER'S CERTIFICATE

"WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD."

[Signature] 6/27/07
SIGNATURE OF DEVELOPER/BUILDER DATE

APPROVED PLANNING BOARD of HOWARD COUNTY

DATE: MAY 10, 2007
Yes

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

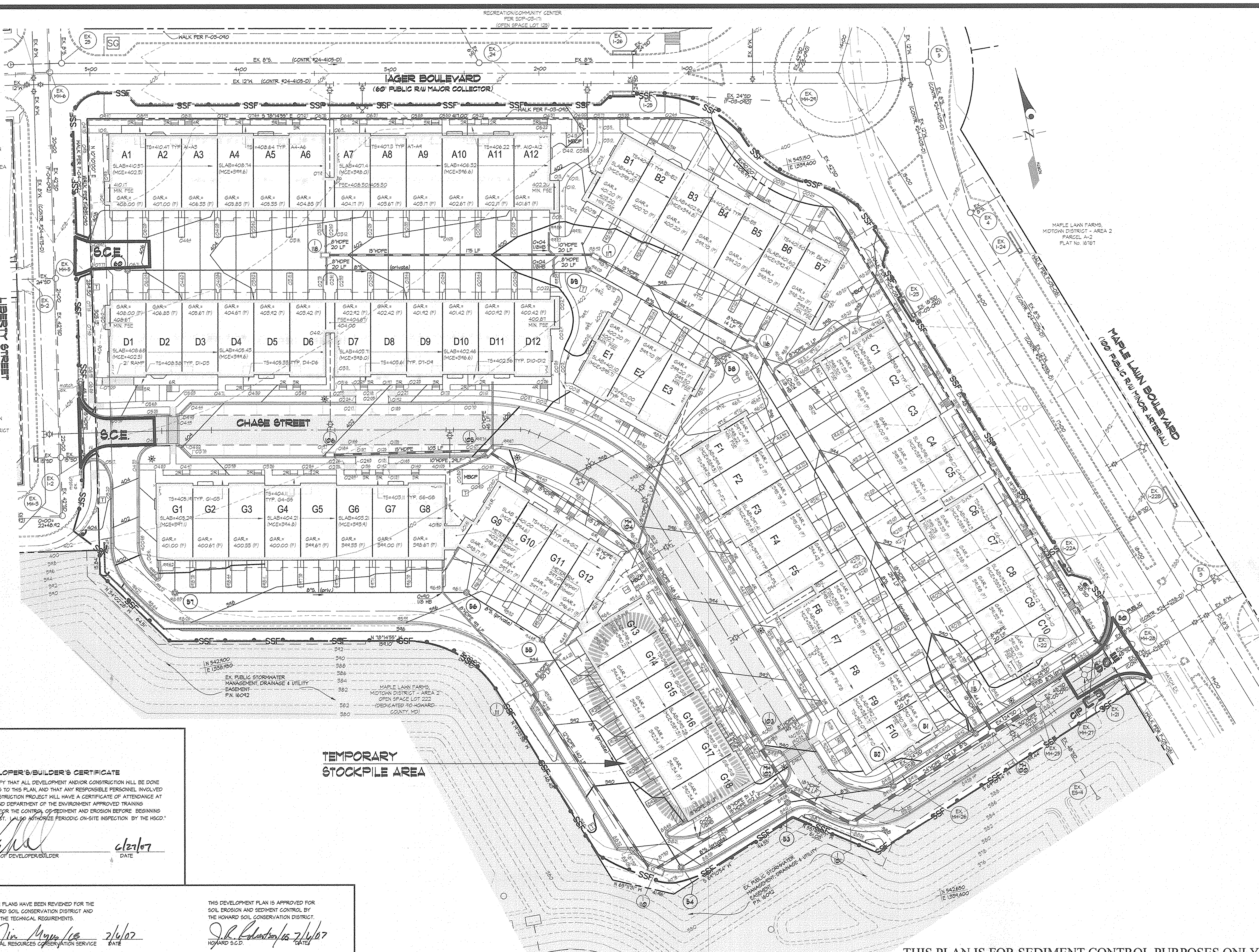
[Signature] 7/10/07
Director Date
[Signature] 7/17/07
Chief, Division of Land Development Date
[Signature] 7/16/07
Chief, Development Engineering Division Date

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

[Signature] 7/6/07
NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 7/14/07
HOWARD S.C.D. DATE



TEMPORARY STOCKPILE AREA

THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONVILLE OFFICE PARK
BURTONVILLE, MARYLAND 20866
TEL: 301-421-4024 BAL: 410-889-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.

PREPARED FOR:
PROPERTY OWNER:
G & R MAPLE LAWN, INC. ET. AT.
1829 REISTERTOWN ROAD, SUITE 300
BALTIMORE, MD 21208
410-484-8400







BUILDER/CONTRACT PURCHASER:
BA MAPLE LAWN, LLC
c/o BOZZUTO HOMES, INC.
7850 WALKER DRIVE, SUITE 400
GREENBELT, MD 20770
301-220-0100

SEDIMENT CONTROL PLAN (SITE WORK)
MAPLE LAWN FARMS
MIDTOWN DISTRICT - AREA 2, PARCEL A-14
MULTI-FAMILY APARTMENT/CONDOMINIUM DWELLING UNITS
PLAT NO. 19135

ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE NO.
1" = 30'	MXD-3	06047
DATE	TAX MAP - GRID	SHEET
June/2007	41 / 21	9 OF 13

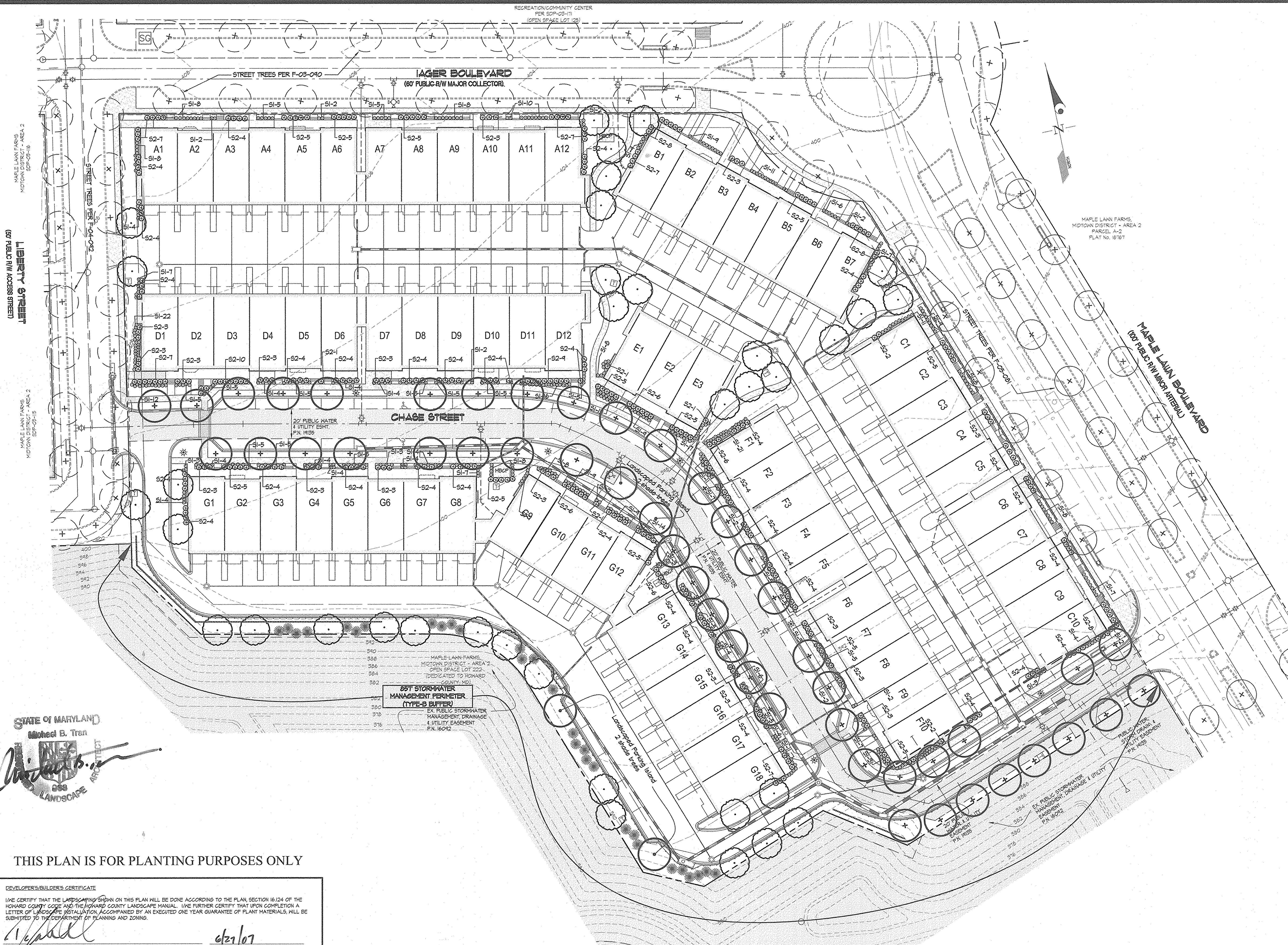
PLANTING LEGEND

-  SHRUBS
-  EVERGREEN TREES
-  CANOPY SHADE TREES
-  EXISTING STREET TREES
-  PROPOSED STREET TREES
-  PROPOSED PARKING LOT TREES

LANDSCAPE NOTES

1. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE, THE LANDSCAPE MANUAL, AND THE MAPLE LAWN FARMS LANDSCAPE DESIGN CRITERIA.
 2. CONTRACTOR SHALL NOTIFY ALL UTILITIES AT LEAST (5) FIVE DAYS BEFORE STARTING WORK. ALL GENERAL NOTES, ESPECIALLY THOSE REGARDING UTILITIES, ON SHEET NO.1 SHALL APPLY.
 3. FIELD VERIFY UNDERGROUND UTILITY LOCATIONS AND EXISTING CONDITIONS BEFORE STARTING PLANTING WORK. CONTACT CONSTRUCTION MANAGER OR OWNER IF ANY RELOCATIONS ARE REQUIRED.
 4. PLANT QUANTITIES SHOWN ON THE PLAN LIST ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON THE PLAN AND THOSE SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE.
 5. ALL PLANT MATERIAL SHALL BE FULL, HEAVY, WELL FORMED, SYMMETRICAL, AND CONFORM TO THE A.A.N. SPECIFICATIONS. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THIS PLAN.
 6. NO SUBSTITUTION SHALL BE MADE WITHOUT PRIOR APPROVAL FROM HOWARD COUNTY DPZ AND THE OWNER OR HIS REPRESENTATIVE.
 7. ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES BUT NOT OTHERWISE PLANTED, PAVED, OR MULCHED SHALL BE SOODED OR SEEDED IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATION. A MINIMUM OF 4" OF TOPSOIL SHALL BE PROVIDED TO ALL PLANTING AREAS (FOR TOPSOIL SPEC. SEE SHEET 12).
 8. THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING IF HE/SH/HE ENCOUNTERS SOIL DRAINAGE CONDITIONS THAT MAY BE DETRIMENTAL TO THE GROWTH OF THE PLANTS.
 9. ALL EXPOSED EARTH WITHIN THE LIMITS OF PLANTING BEDS SHALL BE MULCHED WITH SHREDDED HARDWOOD MULCH PER THE PLANTING DETAILS.
 10. DO NOT PLANT WITHIN THE PUBLIC WATER AND UTILITY EASEMENT.
 11. THE OWNER, TENANT AND OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS, BERRMS AND FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, BE REPLACED WITH NEW MATERIALS TO INSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION AND WHEN NECESSARY, REPAIRED AND REPLACED.
 12. AT THE TIME OF PLANT INSTALLATION ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.
 13. SCHEDULES 'B', 'C' AND 'D' (ON SHEET 12) ARE PROVIDED FOR LANDSCAPE SURETY CALCULATION PURPOSES. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING PER THE SCHEDULES HAS BEEN POSTED AS PART OF THE OPW DEVELOPER AGREEMENT ASSOCIATED WITH THIS SDP. THE LANDSCAPE SURETY IS \$452100.00 FOR THE FOLLOWING:

402 SHRUBS @ \$30.00 EA	= \$120600.00
21 EVERGREEN TREES @ \$150.00 EA	= \$31500.00
44 SHADE TREES @ \$500.00 EA	= \$220000.00
46 STREET TREES @ \$500.00 EA	= \$230000.00
- FOR THE RELEASE OF THE SURETY, CONTACT HOWARD COUNTY DEPT. OF PLANNING & ZONING AT 410-313-2350.



STATE OF MARYLAND
 Michael B. Tran
 LANDSCAPE ARCHITECT

APPROVED
 PLANNING BOARD
 OF HOWARD COUNTY
 DATE MAY 10, 2007
 vs

THIS PLAN IS FOR PLANTING PURPOSES ONLY

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *Mark A. Logue* 2/16/07
 Chief, Division of Land Development: *John Hamilton* 7/17/07
 Chief, Development Engineering Division: *John Hamilton* 7/14/07

DEVELOPER'S/BUILDER'S CERTIFICATE
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.
 NAME: *L. G. Little* DATE: 6/21/07

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONVILLE OFFICE PARK
 BURTONVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2554 FAX: 301-421-4186

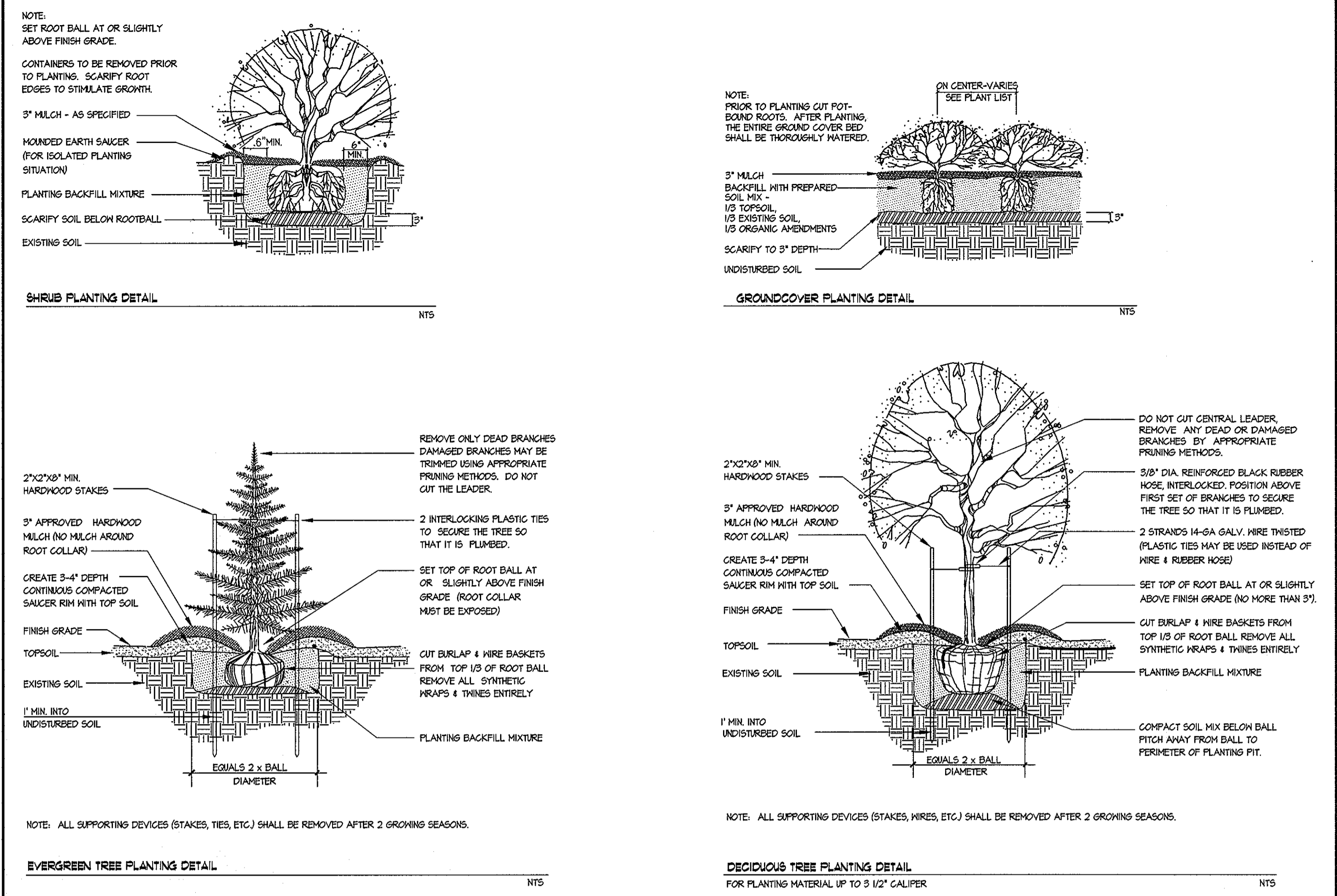
DATE	REVISION	BY	APPR.

PREPARED FOR:
 PROPERTY OWNER:
 G & R MAPLE LAWN, INC., ET. AL.
 1829 REISTERTOWN ROAD, SUITE 300
 BALTIMORE, MD 21208
 410-484-8400
 BUILDER/CONTRACT PURCHASER:
 BA MAPLE LAWN, LLC
 c/o BOZZUTO HOMES, INC.
 7850 WALKER DRIVE, SUITE 400
 GREENBELT, MD 20770
 301-220-0100

LANDSCAPE PLAN
MAPLE LAWN FARMS
 MIDTOWN DISTRICT - AREA 2, PARCEL A-14
 MULTI-FAMILY APARTMENT/CONDOMINIUM DWELLING UNITS
 PLAT Nos. 19135
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1" = 30'	MXD-3	06047
DATE	TAX MAP - GRID	SHEET
June/2007	41 / 21	11 OF 13

PLANT LIST				
SYMBOL	QUANT.	SIZE	NAME (BOTANICAL/COMMON) OF PLANTS FOR SELECTION BY OWNER/BUYER	COMMENTS
SHRUBS				
51	552	ALL 18" - 24" SPREAD	AZALEA VAR. 'GUMPO PINK', 'GUMPO WHITE', 'KADMPQ', COTONEASTER DAMMERII 'CORAL BEAUTY' CORAL BEAUTY COTONEASTER COTONEASTER HORIZONTALIS 'TOM THUMB' / TOM THUMB COTONEASTER JUNIFERUS HORIZONTALIS VAR. / JUNIFER VAR. 'BAR HARBOR', 'ANDORRA', 'MILTONI BLUE RUG', JUNIFERUS PROCUMBENS 'NANA' / DWARF JAPANESE GARDEN JUNIFER	ALL CONTAINERIZED
52	350	ALL 24" - 30" SPREAD	AZALEA VAR. 'DELAWARE VALLEY WHITE', 'NEBESHEY RED', 'NINA CRIMSON', BERBERIS THUNBERGI ATROPURPUREA 'CRIMSON FIGHT' / CRIMSON FIGHT BARBERRY DEUTZIA GRACILIS / SLENDER DEUTZIA ILEX GREMATA 'HELLEI' / DWARF JAPANESE HOLLY ILEX GLABRA 'COMPACTA' / DWARF INGBERRY MAHONIA AQUIFOLIUM / OREGON GRAPE HOLLY SPIREA NIPPONICA 'SNOWMOUND' / SNOWMOUND SPIREA	ALL CONTAINERIZED
SHADE TREE				
	36	25" MIN. CAL.	ACER RUBRUM 'OCTOBER GLORY' OR 'AUTUMN BLAZE' / 'OCTOBER GLORY' OR 'AUTUMN BLAZE' RED MAPLE QUERCUS PHELLOS / MILLON OAK ZELKOVIA SERRATA 'VILLAGE GREEN' / 'VILLAGE GREEN ZELKOVA	
	46	25" MIN. CAL.	ACER RUBRUM 'OCTOBER GLORY' OR 'AUTUMN BLAZE' / 'OCTOBER GLORY' OR 'AUTUMN BLAZE' RED MAPLE ZELKOVIA SERRATA 'VILLAGE GREEN' / 'VILLAGE GREEN ZELKOVA	
	4	25" MIN. CAL.	ACER RUBRUM 'OCTOBER GLORY' OR 'AUTUMN BLAZE' / 'OCTOBER GLORY' OR 'AUTUMN BLAZE' RED MAPLE ZELKOVIA SERRATA 'VILLAGE GREEN' / 'VILLAGE GREEN ZELKOVA	
EVERGREEN TREE				
	24	8' HT. MIN.	PINUS STROBUS / EASTERN WHITE PINE PICEA OMORICA / SERBIAN SPRUCE ILEX OPACA / AMERICAN HOLLY	



RESIDENTIAL INTERNAL LANDSCAPING REQUIREMENTS										
BUILDING	REQUIRED PLANTINGS: SHRUBS IN FRONT YARD AT 1 PER 4 FEET OF FRONT BUILDING LENGTH SHRUBS AND SHADE TREES IN SIDE AND REAR YARD AT 1 SHRUB PER 4 FEET OF SIDES AND REAR BUILDING LENGTHS AND 1 SHADE TREE AT 80 FEET OF BUILDING FOOTPRINT LENGTH.	PLANTINGS PROVIDED	COMMENTS							
	FRONT BUILDING LENGTH (L.F.)	SHRUBS REQUIRED	BUILDING LENGTH: REAR + SIDES (L.F.)	SHRUBS REQUIRED	TOTAL SHRUBS REQUIRED	LENGTH OF BUILDING FOOTPRINT (L.F.)	SHADE TREES REQUIRED	SHRUBS	SHADE TREES	
A	246	NONE	500+52+54 = 406	102	102	300	4	102	4	ABCD
B	170	NONE	181+54+2 = 234	72	72	181	2	72	2	ABCD
C	248	NONE	253+54+2 = 361	90	90	253	3	90	3	ABCD
D	246	74	500+52+54 = 406	102	176	300	4	176	4	ABC
E	75	18	74+54+2 = 131	41	69	74	1	69	1	ABC
F	248	62	253+54+2 = 361	90	152	253	3	152	3	ABC
G	426	182	456+52+2 = 540	138	245	456	6	245	6	ABC
TOTALS		294		638		902	23	902	23	

COMMENTS:
 (A) ALL PLANT QUANTITIES ABOVE THE NUMBER REQUIRED ARE OPTIONAL.
 (B) OPTIONAL PLANT MATERIALS ARE VOLUNTARY AND NOT MANDATORY.
 (C) DUE TO THE LIMITED SPACE AT THE FRONT OF THE BUILDING FOR TREE / SHRUB PLANTING, THE REQUIRED SHADE TREES ARE DISPERSED THROUGHOUT THE SITE. SINCE THE REAR OF THE BUILDING ARE MOSTLY TANDIEM PARKING, THE REQUIRED SHRUBS ARE PLANTED ELSEWHERE ALONG THE BUILDING.
 (D) SHRUBS MAY NOT BE REQUIRED FOR THE FRONT BUILDING LENGTH BECAUSE BUILDING FRONTS A THROUGHFARE ADJUTING A SIDEWALK.

STREET TREE SCHEDULE	
LENGTH OF CHASE STREET (PRIVATE)	405 L.F.
NUMBER OF TREES REQUIRED:	
STREET TREES (1:40 L.F. ON BOTH SIDES)	46
NUMBER OF STREET TREES PROVIDED	46

SCHEDULE-B: PARKING LOT INTERNAL LANDSCAPING	
NUMBER OF PARKING SPACES	44
NUMBER OF TREES REQUIRED:	
SHADE TREES (1:10 SPACES)	4
NUMBER OF TREES PROVIDED	4
SHADE TREES	
OTHER TREES (2:1 SUBSTITUTION)	

SCHEDULE-D: STORM WATER MANAGEMENT AREA LANDSCAPING	
LINEAR FEET OF PERIMETER	857 L.F.
NUMBER OF TREES REQUIRED:	
SHADE TREES (1:150)	17
EVERGREEN TREES (1:40)	21
NUMBER OF TREES PROVIDED	
SHADE TREES	15
EVERGREEN TREES	24
OTHER TREES (2:1 SUBSTITUTION)	8 EVERGREEN TREES FOR 4 SHADE TREES

APPROVED PLANNING BOARD OF HOWARD COUNTY
 DATE: MAY 10, 2007
 1/2

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: [Signature] Date: 2/14/07
 Chief, Division of Land Development: [Signature] Date: 2/12/07
 Chief, Development Engineering Division: [Signature] Date: 2/14/07

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20868
 TEL: 301-421-4024 BAL: 410-863-1820 DC/WA: 301-388-2524 FAX: 301-421-4188

DES. lsk	DRN. lsk	CHK. mlt	DATE	REVISION	BY	APPR.

LANDSCAPE SURETY FOR REQUIRED TREES PER SCHEDULE-C:
 902 SHRUBS @ \$30.00/SHRUB = \$27,060.00
 23 SHADE TREES @ \$500.00/TREE = \$11,500.00
 TOTAL SURETY FOR SCHEDULE-C = \$38,560.00

LANDSCAPE SURETY FOR REQUIRED TREES ON PRIVATE ROADWAY:
 46 SHADE TREES @ \$500.00/TREE = \$23,000.00
 TOTAL SURETY FOR STREET TREE SCHEDULE = \$23,000.00

LANDSCAPE SURETY FOR REQUIRED TREES PER SCHEDULE-B:
 17 SHADE TREES @ \$500.00/TREE = \$8,500.00
 21 EVERGREEN TREES @ \$150.00/TREE = \$3,150.00
 TOTAL SURETY FOR SCHEDULE-B = \$11,650.00

LANDSCAPE SURETY FOR REQUIRED TREES PER SCHEDULE-D:
 17 SHADE TREES @ \$500.00/TREE = \$8,500.00
 24 EVERGREEN TREES @ \$150.00/TREE = \$3,600.00
 TOTAL SURETY FOR SCHEDULE-D = \$12,100.00

SPECIFICATIONS: PLANT MATERIALS AND PLANTING METHODS

A. PLANT MATERIALS
 THE LANDSCAPE CONTRACTOR SHALL FURNISH AND INSTALL AND/OR DIG, BALL, BURLAP AND TRANSPORT ALL OF THE PLANT MATERIALS CALLED FOR ON DRAWINGS AND/OR LISTED IN THE PLANT SCHEDULE.

B. PLANTING METHODS
 ALL PROPOSED PLANT MATERIALS THAT MEET THE SPECIFICATIONS IN SECTION A ARE TO BE PLANTED IN ACCORDANCE WITH THE FOLLOWING METHODS DURING THE PROPER PLANTING SEASONS AS DESCRIBED IN THE FOLLOWING.

1. PLANTING SEASONS
 THE PLANTING OF DECIDUOUS TREES, SHRUBS AND VINES SHALL BE FROM MARCH 1ST TO JUNE 15TH AND FROM SEPTEMBER 15TH TO DECEMBER 15TH. PLANTING OF DECIDUOUS MATERIAL MAY BE CONTINUED DURING THE WINTER MONTHS PROVIDING THERE IS NO FROST IN THE GROUND AND FROST-FREE TOPSOIL PLANTING MIXTURES ARE USED.

2. DIGGING
 ALL PLANT MATERIAL SHALL BE DIG, BALLED AND BURLAPPED (B4B) IN ACCORDANCE WITH THE 'AAS STANDARDS'.

3. EXCAVATION OF PLANT PITS
 THE LANDSCAPING CONTRACTOR SHALL EXCAVATE ALL PLANT PITS, VINE PITS, HEDGE TRENCHES AND SHRUB BEDS IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

A. LOCATIONS OF ALL PROPOSED PLANT MATERIAL SHALL BE STAKED AND APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT BEFORE ANY OF THE PROPOSED PLANT MATERIAL IS INSTALLED BY THE LANDSCAPE CONTRACTOR.

B. ALL PITS SHALL BE GENERALLY CIRCULAR IN OUTLINE, VERTICAL SIDES, DEPTH SHALL NOT BE LESS THAN 6" DEEPER THAN THE ROOT BALL, DIAMETER SHALL NOT BE LESS THAN TWO TIMES THE DIAMETER OF THE ROOT BALL AS SET FORTH IN THE FOLLOWING SCHEDULE.

C. IF AREAS ARE DESIGNATED AS SHRUB BEDS OR HEDGE TRENCHES, THEY SHALL BE EXCAVATED TO AT LEAST 18" DEPTH MINIMUM. AREAS DESIGNATED FOR GROUND COVERS AND VINES SHALL BE EXCAVATED TO AT LEAST 12" IN DEPTH MINIMUM.

D. DIAMETER AND DEPTH OF TREE PITS SHALL GENERALLY BE AS FOLLOWS:

PLANT SIZE	ROOT BALL	PIT DIA.	PIT DEPTH
3" - 3.5" CAL.	32"	64"	28"
3.5" - 4" CAL.	36"	72"	32"
4" - 4.5" CAL.	40"	80"	36"
4.5" - 5" CAL.	44"	88"	40"
5" - 5.5" CAL.	48"	96"	44"
5.5" - 6" CAL.	52"	104"	48"

E. A 20% COMPACTION FIGURE OF THE SOIL TO BE REMOVED IS ASSUMED AND WILL BE ALLOWED IN CALCULATION OF EXTRA TOPSOIL. THE TABULATED PIT SIZES ARE FOR PURPOSES OF INFORM CALCULATION AND SHALL NOT OVERRIDE THE SPECIFIED DEPTHS BELOW THE BOTTOMS OF THE ROOT BALLS.

4. PLANT IDENTIFICATION
 LEGIBLE LABELS SHALL BE ATTACHED TO ALL SHADE TREES, MINOR TREES, SPECIEM SHRUBS AND BUNDLES OR BOXES OF OTHER PLANT MATERIAL, GIVING THE BOTANICAL AND COMMON NAMES, SIZE AND QUANTITY OF EACH. EACH SHIPMENT OF PLANTS SHALL BEAR CERTIFICATES OF INSPECTION AS REQUIRED BY FEDERAL, STATE AND COUNTY AUTHORITIES.

5. PLANT INSPECTION
 THE DESIGN REVIEW COMMITTEE MAY, UPON REQUEST BY THE BUILDER OR DEVELOPER, AT LEAST TEN (10) DAYS PRIOR TO THE INSTALLATION OF ANY PROPOSED PLANT MATERIAL, INSPECT ALL PROPOSED PLANT MATERIAL AT THE SOURCE OF ORIGIN.

6. PLANTING GUARANTEE
 ALL PLANT MATERIAL SHALL BE GUARANTEED FOR THE DURATION OF ONE FULL GROWING SEASON AFTER FINAL INSPECTION AND ACCEPTANCE OF THE WORK IN THE PLANTING PROJECT. PLANTS SHALL BE ALIVE AND IN SATISFACTORY GROWING CONDITION AT THE END OF THE GUARANTEE PERIOD.

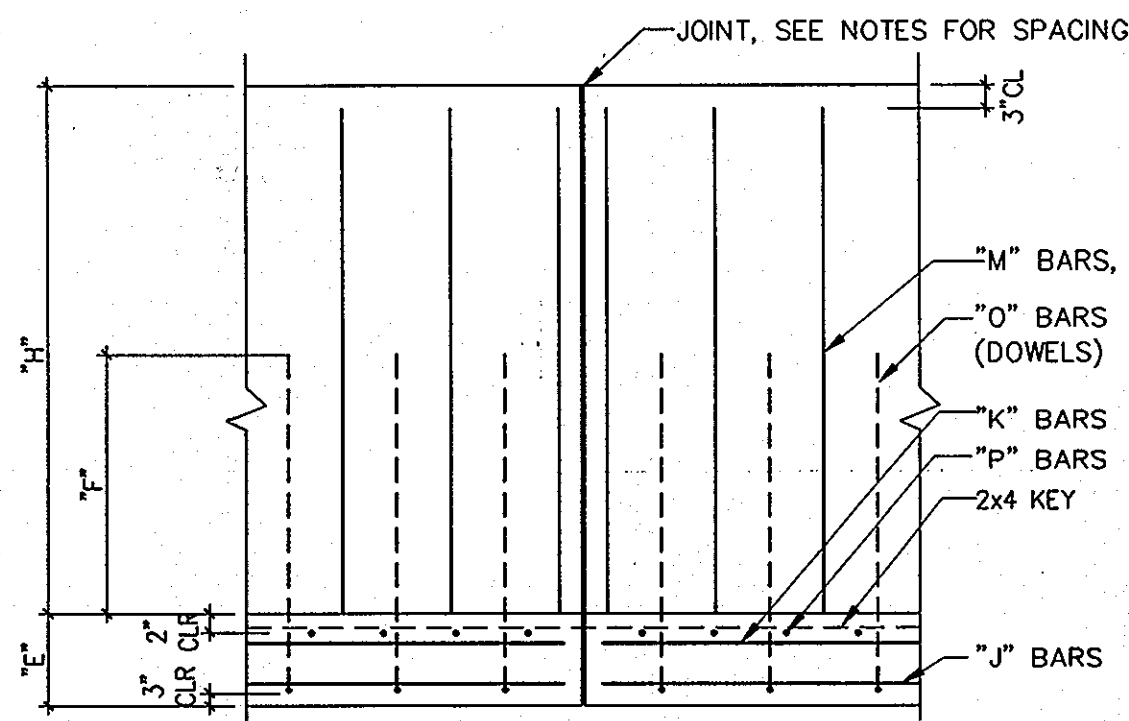
A. FOR THIS PURPOSE, THE 'GROWING SEASON' SHALL BE THAT PERIOD BETWEEN THE END OF THE 'SPRING' PLANTING SEASON, AND THE COMMENCEMENT OF THE 'FALL' PLANTING SEASON.

B. GUARANTEE FOR PLANTING PERFORMED AFTER THE SPECIFIED END OF THE 'SPRING' PLANTING SEASON, SHALL BE EXTENDED THROUGH THE END OF THE NEXT FOLLOWING 'SPRING' PLANTING SEASON.

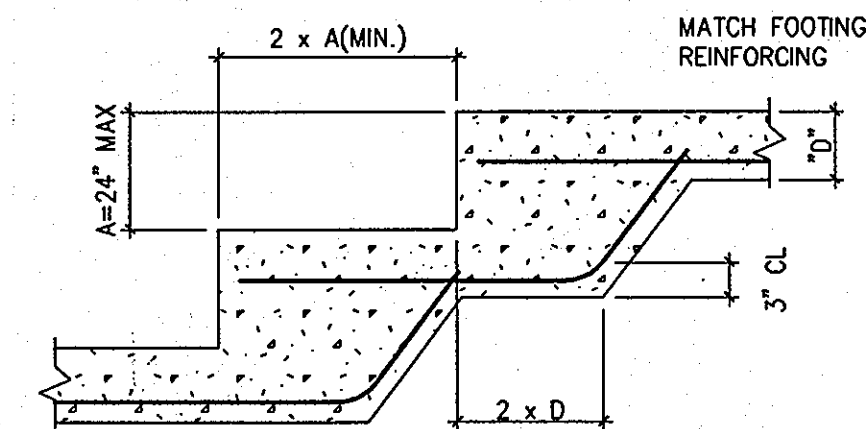
SOODING:
 ALL SOODING SHALL BE IN ACCORDANCE TO THE 'LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS' LATEST EDITION, APPROVED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF METROPOLITAN WASHINGTON AND THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS.

ALL SOD SHALL BE STRONGLY ROOTED SOD, NOT LESS THAN TWO YEARS OLD AND FREE OF WEEDS AND UNDESIRABLE NATIVE GRASSES. PROVIDE ONLY 500 CAPABLE OF GROWTH DEVELOPMENT WHEN PLANTED AND IN STRIPS NOT MORE THAN 18" WIDE X 4" LONG. SOD COMPOSED PRINCIPALLY OF IMPROVED STRAIN KENTUCKY BLUEGRASS, SUCH AS, COLUMBIA, VICTA, OR ESCORT.

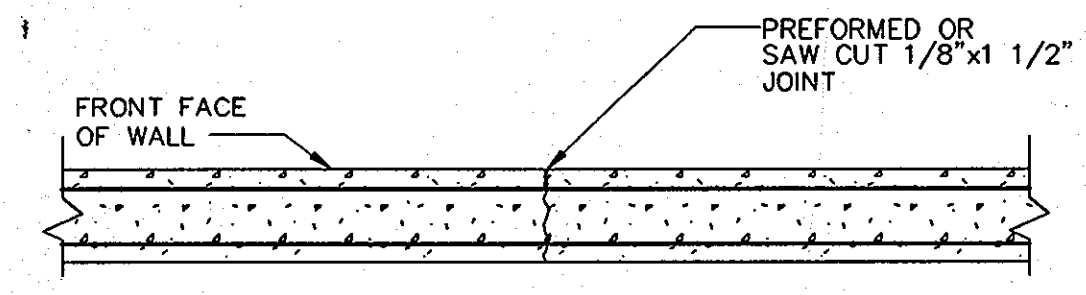
LANDSCAPE NOTES AND DETAILS			SCALE	ZONING	G. L. W. FILE No.
MAPLE LAWN FARMS MIDTOWN DISTRICT - AREA 2, PARCEL A-14 MULTI-FAMILY APARTMENT/CONDOMINIUM DWELLING UNITS PLAT Nos. 19135			AS SHOWN	MXD-3	06047
			DATE	TAX MAP - GRID	SHEET
ELECTION DISTRICT No. 5			June/2007	41 / 21	12 OF 13
			HOWARD COUNTY, MARYLAND		



5 ELEVATION TYPICAL WALL REINFORCING
SCALE: N.T.S.

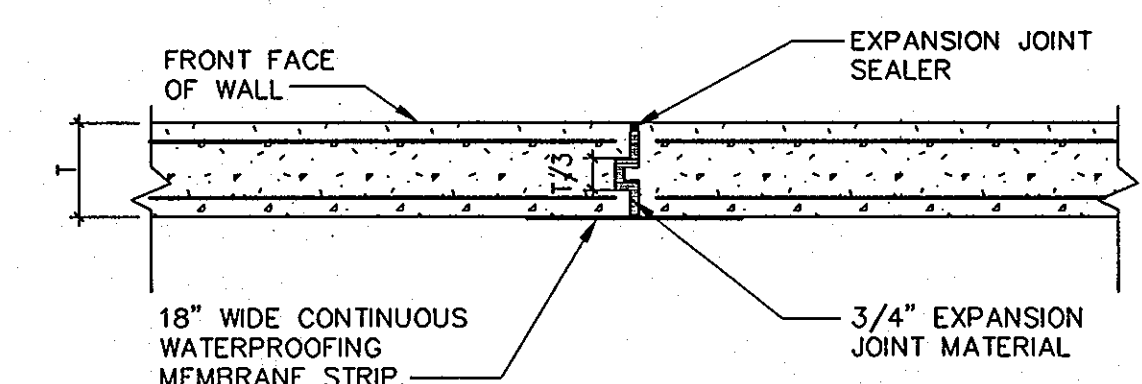


6 STEP FOOTING
SCALE: N.T.S.



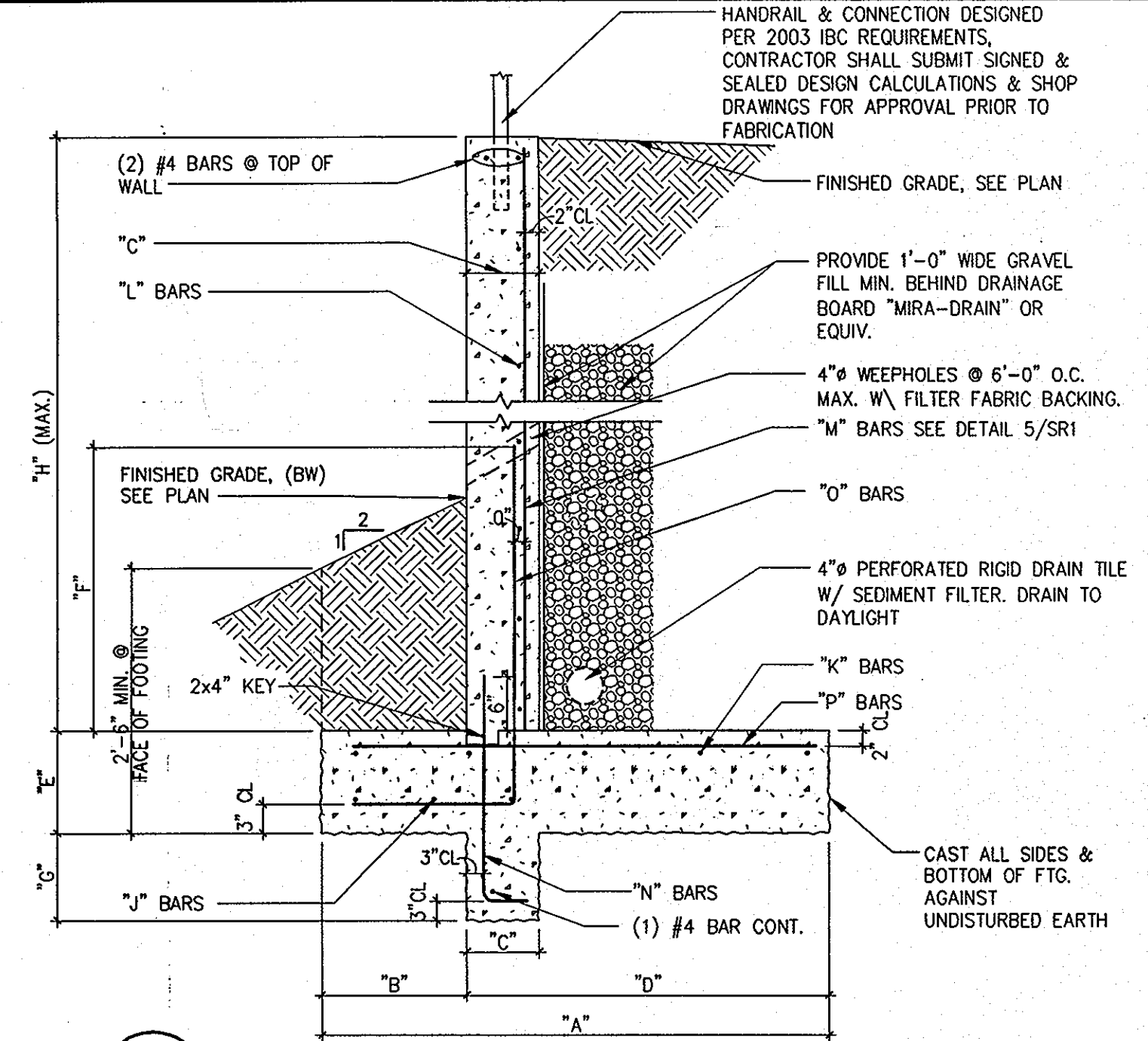
NOTE:
1. STOP 50% OF ALL HORIZONTAL REINFORCING 2" CLEAR OF CONTROL JOINT.
2. BRICK CONTROL JOINTS TO ALIGN W/ CONTROL JOINTS (TYP.)

2 SECTION @ CONTROL JOINT
SCALE: 3/4" = 1'-0"



NOTE:
1. STOP ALL HORIZONTAL REINFORCING 2" CLEAR OF EXPANSION JOINT.
2. IN LIEU OF KEYS JOINT SHOWN, STRAIGHT JOINT ACROSS THE WALL MAY BE USED. PROVIDE #4 @ 16"x18" LONG SMOOTH DOWELS AT CENTER OF WALL W/ 3/4" EXPANSION CAP & SLEEVE AT ONE SIDE OF JOINT.

3 EXPANSION JOINT
SCALE: 3/4" = 1'-0"

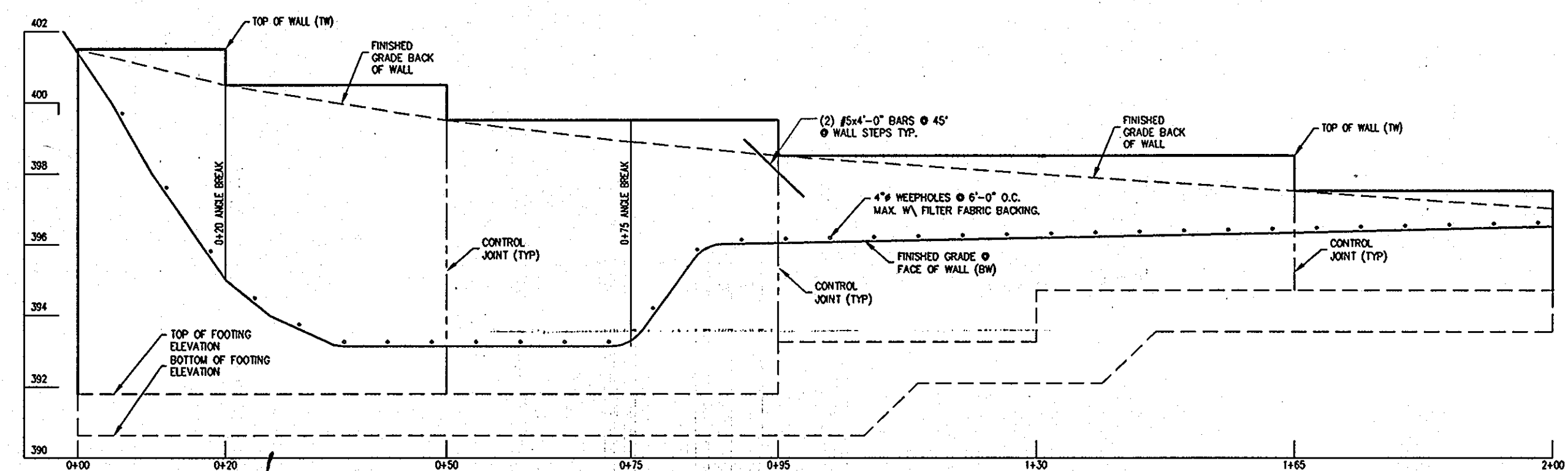


1 SECTION SITE RETAINING WALLS
SCALE: 3/4" = 1'-0"

NOTE:
ALL EXCAVATION AND/OR COMPACTION AND FILL BENEATH THE WALL FOOTINGS SHALL BE INSPECTED BY THE ONSITE GEOTECHNICAL ENGINEER FOR REQUIRED BEARING PRESSURE PRIOR TO POURING CONCRETE.

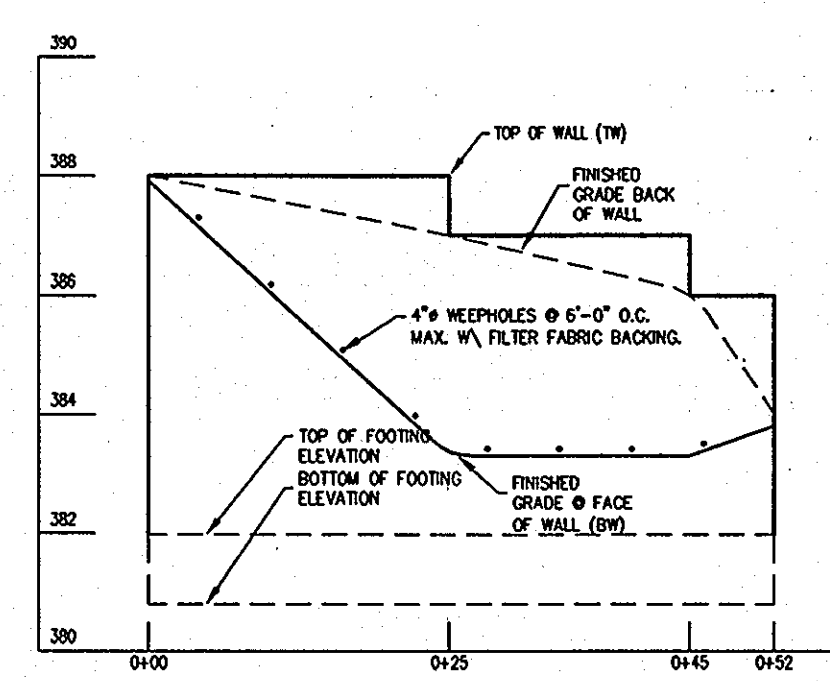
EXTERIOR RETAINING WALL SCHEDULE							
WALL HEIGHT	DIMENSIONS						
	A	B	C	D	E	F	G
UP TO 7'-0"	4'-0"	12"	8"	3'-0"	1'-2"	"TOW"	8"
UP TO 9'-0"	5'-9"	1'-3"	8"	4'-6"	1'-2"	"H"/2	8"
WALL HEIGHT	REINFORCING						
	H	J	K	L	M	N	P
UP TO 7'-0"	#4@12"	#5@12"	#4@12"	-	#4@18"	#5@14"	#5@14"
UP TO 9'-0"	#4@12"	#5@12"	#4@12"	#4@18"	#5@9"	#5@14"	#5@14"

- DESIGN CRITERIA:
 - ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH 2003 IBC AND THE FOLLOWING CRITERIA:
 - ALLOWABLE SOIL BEARING PRESSURE = 2,000 PSF
 - SURCHARGE OVER HEEL = 50 PSF
 - SURCHARGE OVER TOE = 0 PSF
 - ACTIVE SOIL PRESSURE = 42H PCF
 - PASSIVE SOIL PRESSURE = 375D PCF
 - COFF. OF FRICTION = 0.38
 - SOIL WEIGHT = 125 PCF
 - FACTOR OF SAFETY AGAINST SLIDING = 1.5
 - FACTOR OF SAFETY AGAINST OVERTURNING = 2.0
- FOUNDATIONS:
 - ALL EXCAVATION, SUBGRADE PREPARATION, AND OTHER EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SUPPLEMENTAL GEOTECHNICAL ENGINEERING REPORT BY GTA, INC. DATED OCTOBER 26, 2006. GEOTECHNICAL RECOMMENDATIONS SHALL TAKE PRECEDENCE OVER THE ITEMS THAT FOLLOW IN THIS SECTION OF THE STRUCTURAL NOTES.
 - THE ALLOWABLE SAFE BEARING PRESSURE IS ASSUMED AS 2000 PSF; TO BE VERIFIED BY AN ON-SITE GEOTECHNICAL ENGINEER.
 - ALL FOOTINGS SHALL PROJECT AT LEAST 1'-0" INTO UNDISTURBED NATURAL SOIL OR COMPACTED STRUCTURAL FILL. BOTTOMS OF FOOTINGS TO BE AT LEAST 2'-6" BELOW FINISHED GRADE. ALL BEARING STRATA SHALL BE ADEQUATELY DRAINED BEFORE PLACING CONCRETE. NO EXCAVATION SHALL BE CLOSER THAN AT LEAST A SLOPE OF TWO HORIZONTAL TO ONE VERTICAL (2 HORIZ:1 VERT.) TO UNDERSIDE EDGE OF ANY EXISTING FOOTINGS WITHOUT THE WRITTEN AND CERTIFIED PERMISSION OF A GEOTECHNICAL ENGINEER. STEP FOOTINGS WITH A RATIO OF TWO HORIZ. TO ONE VERTICAL.
 - PROVIDE SHORING AND PROTECTION FOR EXCAVATION BANKS AS NECESSARY TO PREVENT CAVING.
- CAST-IN-PLACE CONCRETE:
 - ALL CONCRETE TO BE MIXED AND PLACED IN ACCORDANCE WITH ACI 318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE."
 - ALL CONCRETE TO BE NORMAL WEIGHT STONE CONCRETE WITH AGGREGATE CONFORMING TO ASTM C33 AND RANGING FROM 3/8" TO 1" IN SIZE.
 - ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH (F'_c) OF 3000 PSI AT AGE 28 DAYS UNLESS NOTED OTHERWISE AND SHALL BE IN ACCORDANCE WITH SECTION 1907.0 "DURABILITY REQUIREMENTS AND TABLE 1907.1.2(1) OF IBC AND SHALL CONTAIN 5-6% AIR ENTRAINMENT IN ACCORDANCE WITH ACI AND TABLE 1907.11 OF IBC
 - CONCRETE STRENGTH SHALL BE TESTED IN ACCORDANCE WITH THE 2003 IBC AND THE FOLLOWING CONCRETE STRENGTH ACCEPTANCE CRITERIA:
 - THE AVERAGES OF ALL SETS OF THREE CONSECUTIVE STRENGTH TEST RESULTS MUST EQUAL OR EXCEED THE SPECIFIED F'_c STRENGTH.
 - NO INDIVIDUAL STRENGTH TEST SHALL BE MORE THAN 500 PSI BELOW THE SPECIFIED F'_c STRENGTH.
 - WALL TO HAVE VERTICAL CONTROL JOINTS SPACED AT NO MORE THAN 25'-0" HORIZONTALLY PROVIDE EXPANSION JOINTS EVERY FOURTH CONTROL JOINT (@ 100' O.C.). SEE DETAILS 2 & 3.
- REINFORCING STEEL:
 - REINFORCING BARS SHALL CONFIRM TO ASTM A-615, GRADE 60.
 - ALL REINFORCING SHALL BE DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH ACI'S "MANUAL OF STANDARD PRACTICE FOR DETAILING CONCRETE STRUCTURES" (ACI-315). DETAILS OF REINFORCING SHALL CONFORM TO ACI 318-ACI 315, AND CRSI STANDARD.
 - CONCRETE COVER FOR BARS SHALL BE UNLESS NOTED OTHERWISE:
 - FOOTINGS AND OTHER CONCRETE POURED AGAINST EARTH: 3 INCHES
 - FORMED CONCRETES EXPOSED TO EARTH OR WEATHER: 2 INCHES
 - 50% OF HORIZONTAL REINFORCING BARS SHOWN ON THE DRAWINGS SHALL PASS CONTINUOUSLY THROUGH CONTROL JOINTS PER DETAILS 2.
 - BARS SHALL BE SECURELY TIED IN PLACE.



RETAINING WALL #1 ELEVATION / PROFILE

HORIZONTAL SCALE: 1" = 10'
VERTICAL SCALE: 1" = 2'



RETAINING WALL #2 ELEVATION / PROFILE

HORIZONTAL SCALE: 1" = 10'
VERTICAL SCALE: 1" = 2'

APPROVED
PLANNING BOARD
OF HOWARD COUNTY
DATE MAY 10, 2007

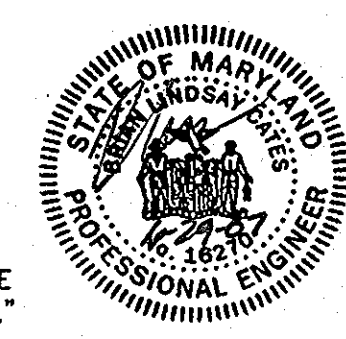
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: Paula Laugel Date: 7/10/07
 Chief, Division of Land Development: Chris Hamstra Date: 7/10/07
 Chief, Development Engineering Division: [Signature] Date: 7/10/07

CATES ENGINEERING
STRUCTURAL CONSULTING
5675 Stone Road, Suite 240, Centreville, Virginia 20120
Tel: 703.222.0004 Fax: 703.222.3667 www.cateseng.com

NO.	DATE	REVISION	BY	APP'R

PREPARED FOR:
 PROPERTY OWNER: C & P MAPLE LAWN, INC. ET. AT, 1829 REISTERTOWN ROAD, SUITE 410, BALTIMORE, MD 21208, 410-484-8400
 BUILDER/CONTRACT PURCHASER: BA MAPLE LAWN, LLC, c/o BOZZUTO HOMES, INC., 7850 WALKER DRIVE, SUITE 400, GREENBELT, MD 20770, 301-220-0100

"PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS ARE APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO.: 16220, EXPIRATION DATE: 11/26/08."



CANTILEVERED RETAINING WALL			SCALE	ZONING	Project No.
MAPLE LAWN FARMS MIDTOWN DISTRICT - AREA 2, PARCEL A-14 MULTIFAMILY APARTMENT/CONDOMINIUM DWELLING UNITS PLAT Nos. 19135				MXD-3	98-103-06
ELECTION DISTRICT No. 5			DATE	TAX MAP - GRID	SHEET
			JUNE/2007	41 / 21	13 of 13
HOWARD COUNTY, MARYLAND					