

GENERAL NOTES

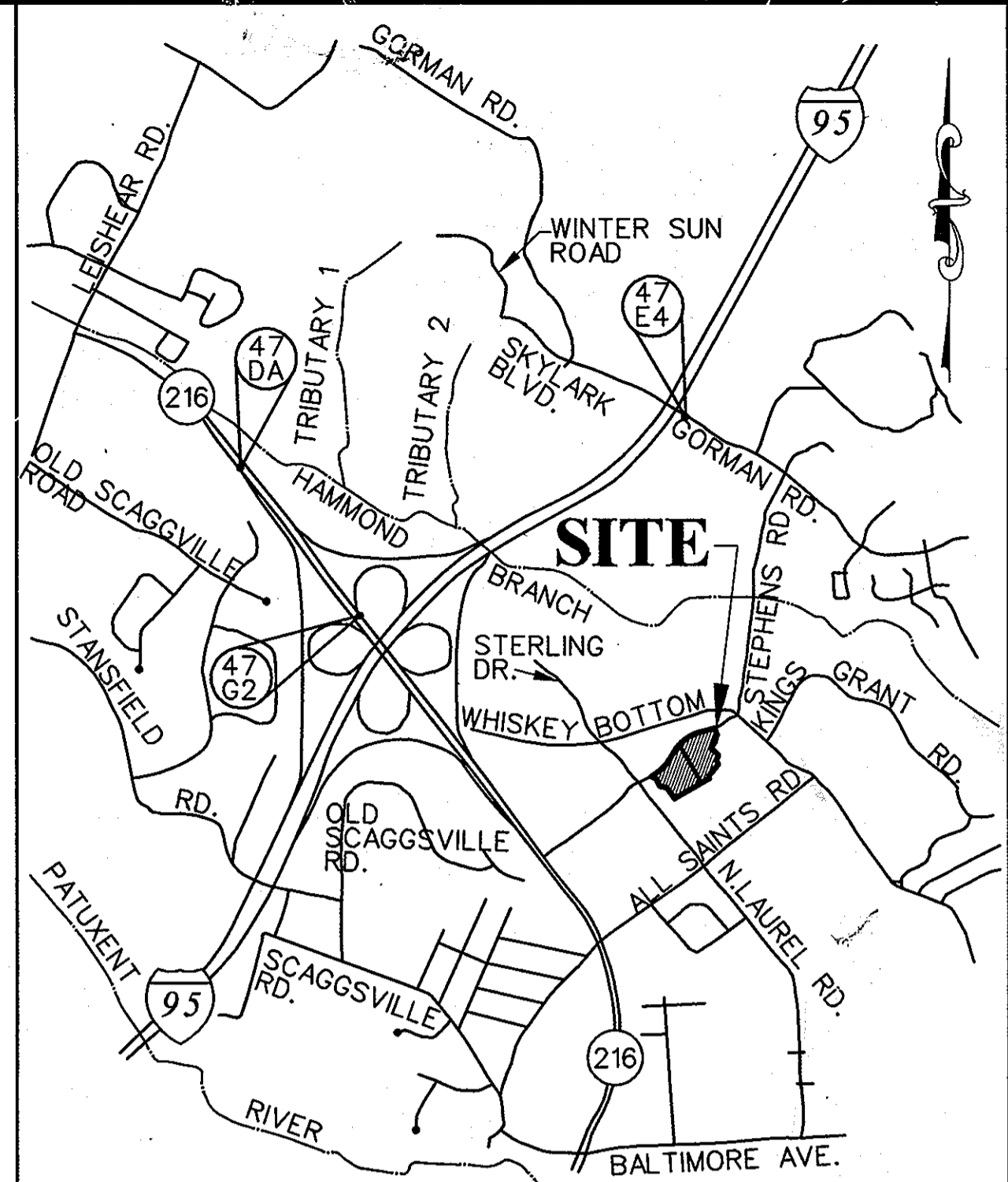
- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY, PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE OR AS SPECIFIED.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE BASED SOLELY ON AVAILABLE RECORDS. CONTRACTOR SHALL VERIFY THE LOCATION OF ANY UTILITIES WHICH MAY BE IMPACTED BY THE WORK. MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTORS OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTORS EXPENSE.
- THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST FIVE (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS TO VERIFY THEIR LOCATION AND ELEVATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF LOCATION OF UTILITIES IS OTHER THAN SHOWN.
- THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE, AND SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS / BUREAU OF ENGINEERING / CONSTRUCTION INSPECTION DIVISION AT 410-313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK. ANY DAMAGE CAUSED BY THE CONTRACTOR TO EXISTING PUBLIC RIGHT-OF-WAY, EXISTING PAVING, EXISTING CURB & GUTTER, EXISTING UTILITIES, ETC. SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
- EXISTING PUBLIC WATER AND PUBLIC SEWER PROVIDED BY CONTRACT NUMBER 24-4418-D.
- THE SUBSURFACE EXPLORATION AND GEOTECHNICAL ENGINEERING ANALYSIS FOR THIS PROJECT WAS MADE ON AUGUST 29, 2006 BY HERBST/BENSON & ASSOCIATES.
- ALL FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED AND VERIFIED IN ACCORDANCE WITH ASHTO T-99, OR AS SPECIFIED BY GEOTECHNICAL ENGINEER.
- OPERATING EXISTING VALVES, SWITCHES, SERVICES OR START UP OF NEW SERVICES SHALL BE COORDINATED WITH THE OWNERS REPRESENTATIVE. THE BUILDINGS WILL BE PROVIDED WITH A SPRINKLER SYSTEM.
- TRENCH COMPACTATION FOR STORM DRAINS WITHIN THE ROAD OR STREET RIGHT OF WAY LIMITS SHALL BE IN ACCORDANCE WITH HOWARD COUNTY DESIGN MANUAL IV, STD. NO. G-2.01.
- UNLESS OTHERWISE NOTED, DIMENSIONS FROM CURB ARE MEASURED FROM FACE.
- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS.
- THE CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL WATER, SEWER, AND DRAIN HOUSE CONNECTIONS WITH THE MECHANICAL DRAWINGS.
- THE CONTRACTOR SHALL MAINTAIN 2.0 FEET MINIMUM PROTECTIVE COVER OVER ALL UTILITIES DURING CONSTRUCTION.
- THERE ARE NO KNOWN CEMETRIES OR BURIAL GROUNDS ON THIS SITE. HOWEVER, UPON DISCOVERY OF ANY EVIDENCE OF BURIAL OR GRAVES, THE DEVELOPER WILL BE SUBJECT TO SECTION 16.1305 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOP REGULATIONS.
- ALL SLOPES 2:1 MIN.
- PAVING MARKINGS TO BE "TRAFFIC WHITE".
- CONTRACTOR SHALL MAINTAIN A MINIMUM 2 FOOT BENCH BENCH CURB AND GUTTER IN FILL AREAS.
- ALL FIRE LINE PIPING SHALL MEET THE REQUIREMENTS OF THE NFPA PIPE SHALL BE UL LISTED, FM APPROVED AND MEET THE AWWA STANDARDS FOR FIRE PROTECTION USE. FITTINGS SHALL HAVE PRESSURE CLASS RATINGS COMPATIBLE WITH THE PIPE USED.
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3.5 FEET OF COVER OVER THE PRIVATE WATER MAIN SHOWN HEREON UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE ALL CRUMPS OR VERTICAL BENDS NECESSARY TO MAINTAIN CLEARANCES WITH OTHER UTILITIES.
- THE CONTRACTOR SHALL INSPECT THE SITE TO DETERMINE IF ANY TREES, PAVING OR STRUCTURES ARE TO BE REMOVED, PRIOR TO PLACING A BID ON THOSE ITEMS. THE CONTRACTOR SHALL CLEAR THE CONSTRUCTION AREA OF ALL EXISTING TREES, PAVING, STRUCTURES, ETC., UNLESS NOTED ON PLAN.
- THE SUBJECT PROPERTY IS ZONED PEC PER THE 2-2-04 COMPREHENSIVE ZONING PLAN AND THE COMP LITE ZONING AMENDMENTS EFFECTIVE 7/28/06.
- NO GRADING OR REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLAND(S), STREAM(S) OR THEIR BUFFERS, FOREST CONSERVATION EASEMENT AREAS AND 100 YEAR FLOODPLAIN.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPERS AGREEMENT IN THE AMOUNT OF \$24,990.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- THE EXISTING TOPOGRAPHY IS TAKEN FROM FIELD RUN SURVEY WITH TWO FOOT CONTOUR INTERVALS PREPARED BY DAFT MCCUNE WALKER, DATED JULY, 2005, BOUNDARY INFORMATION SHOWN HEREON IS BASED UPON A PLAT PREPARED BY DAFT MCCUNE WALKER, INC. (18170).
- THE EXISTING COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 470A, 47E4 AND 47G2 WERE USED FOR THIS PROJECT.
- ALL EXTERIOR LIGHTING SHALL COMPLY WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
- LIGHT TRESPASS ONTO ADJACENT RESIDENTIAL PROPERTIES SHALL BE LIMITED TO 0.5 FOOT CANDLES PER SECTION 134D OF THE HOWARD COUNTY ZONING REGULATIONS.
- THE TRAFFIC STUDY WAS PERFORMED BY STREET TRAFFIC STUDIES, LTD DATED SEPTEMBER 28, 2006.
- NOISE STUDY IS NOT REQUIRED FOR THIS INDUSTRIAL ZONED PROPERTY.
- CONTRACTOR TO PLACE A WITNESS POST AT THE TERMINUS OF ALL UTILITY STUBS.
- CONTRACTOR TO VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL WATER, SEWER AND STORM DRAIN CONNECTIONS AT THE BUILDING WITH THE MECHANICAL CONTRACTOR BEFORE BEGINNING CONSTRUCTION OF SERVICE CONNECTIONS TO SERVE THE BUILDING.
- CONCRETE WHEEL STOPS SHALL BE INSTALLED WHERE SHOWN ON THE PLAN AND SHALL BE PRECAST, STANDARD CONCRETE, ANCHORED TO THE PAVEMENT WITH 2 STEEL RODS PER EACH WHEEL STOP DRIVEN A MINIMUM OF 8" IN BITUMINOUS CONCRETE PAVEMENT OR TWO DOWELS PER EACH WHEEL STOP GROUTED A MINIMUM OF 4" INTO CEMENT PAVEMENT.
- STORMWATER MANAGEMENT RECHARGE REQUIREMENTS FOR THIS PROJECT WILL BE MET VIA A PRIVATE PERMETER STORMWATER MANAGEMENT FACILITY. STORMWATER MANAGEMENT FOR QUALITY AND QUANTITY IS PROVIDED PER F-02-111. THE BMP WILL BE OWNED AND MAINTAINED BY THE OWNER, SUCCESSOR OR ASSIGNEE.
- HANDICAP PARKING DETAILS SHALL BE IN ACCORDANCE WITH "MD BUILDING CODE FOR THE HANDICAPPED" SECTION 5.01-7.05.
- ANY DAMAGE TO COUNTY OWNED RIGHT-OF-WAY SHALL BE CORRECTED AT THE CONTRACTORS EXPENSE.
- ALL SIDEWALKS SHALL BE CROSS SLOPED AT 1/4 INCH PER FOOT.
- ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV.
- ALL ON SITE DRIVEWAYS AND PARKING AREAS TO BE PRIVATELY MAINTAINED.
- ALL PROPOSED HC RAMPS SHALL BE IN ACCORDANCE WITH CURRENT ADA STANDARDS.
- THIS PROPERTY IS LOCATED WITHIN THE METROPOLITAN DISTRICT.
- ELECTRIC, GAS, CABLE, TELEPHONE AND LIGHTING LINES DESIGNED BY OTHERS.
- THE FOREST CONSERVATION REQUIREMENTS FOR THIS SUBDIVISION WERE ADDRESSED WITH THE FINAL PLANS, F-02-111 WITH A 316.2 ACRE OBLIGATION PROVIDED BY 28.42 ACRES OF FOREST RETENTION AND 5.2 ACRES OF ONSITE REFORESTATION PLANTING.
- OPEN SPACE REQUIREMENTS FOR THIS SUBDIVISION WERE ADDRESSED WITH THE FINAL PLANS, F-02-111. OPEN SPACE REQUIRED (25% OF GROSS ACREAGE, 97,529 AC x 0.25) = 24,382 AC. OPEN SPACE PROVIDED (41% OF GROSS ACREAGE, 97,529 AC) = 40,173 AC.
- THERE ARE NO SLOPES 15:24.9% SLOPES 25% OR GREATER, WETLANDS, WETLAND BUFFERS, STREAMS, STREAM BUFFERS AND 100-YR FLOODPLAIN ON SITE.
- THIS SDP IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS PER COUNCIL BILL NO. 45-2003 AND THE AMENDED ZONING REGULATIONS PER COUNCIL NO. 75-2003 AND THE "COMP LITE" ZONING AMENDMENTS EFFECTIVE 07/28/06. DEVELOPMENT OR CONSTRUCTION ON THIS PROPERTY MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, WAIVER PETITION APPLICATION OR BUILDING/GRADING PERMIT APPLICATIONS.
- ALL SIGNAGE MUST COMPLY WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, MILLENIUM EDITION AND ALL APPLICABLE HANDICAP REGULATIONS.
- A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. IT SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4' TO 5' IN HEIGHT AND NO MORE THAN 6' LATERALLY FROM THE DOOR. THE BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM). NFPA-1.10.12.1
- ALL REVISED PAVEMENT MARKINGS SHALL BE APPROVED BY THE HOWARD COUNTY TRAFFIC DIVISION (410 313-5752) PRIOR TO THE REMOVAL AND INSTALLATION OF ANY MARKINGS.
- A WAIVER TO SECTION 2.5.9 OF DESIGN MANUAL VOLUME II REQUIRING PROPOSED ACCESS POINTS TO MEET INTERSECTION SIGHT DISTANCE WAS APPROVED ON MARCH 8, 2007.

SITE DEVELOPMENT PLAN

for

EMERSON CORPORATE COMMONS PARCEL S (Revitz Property)

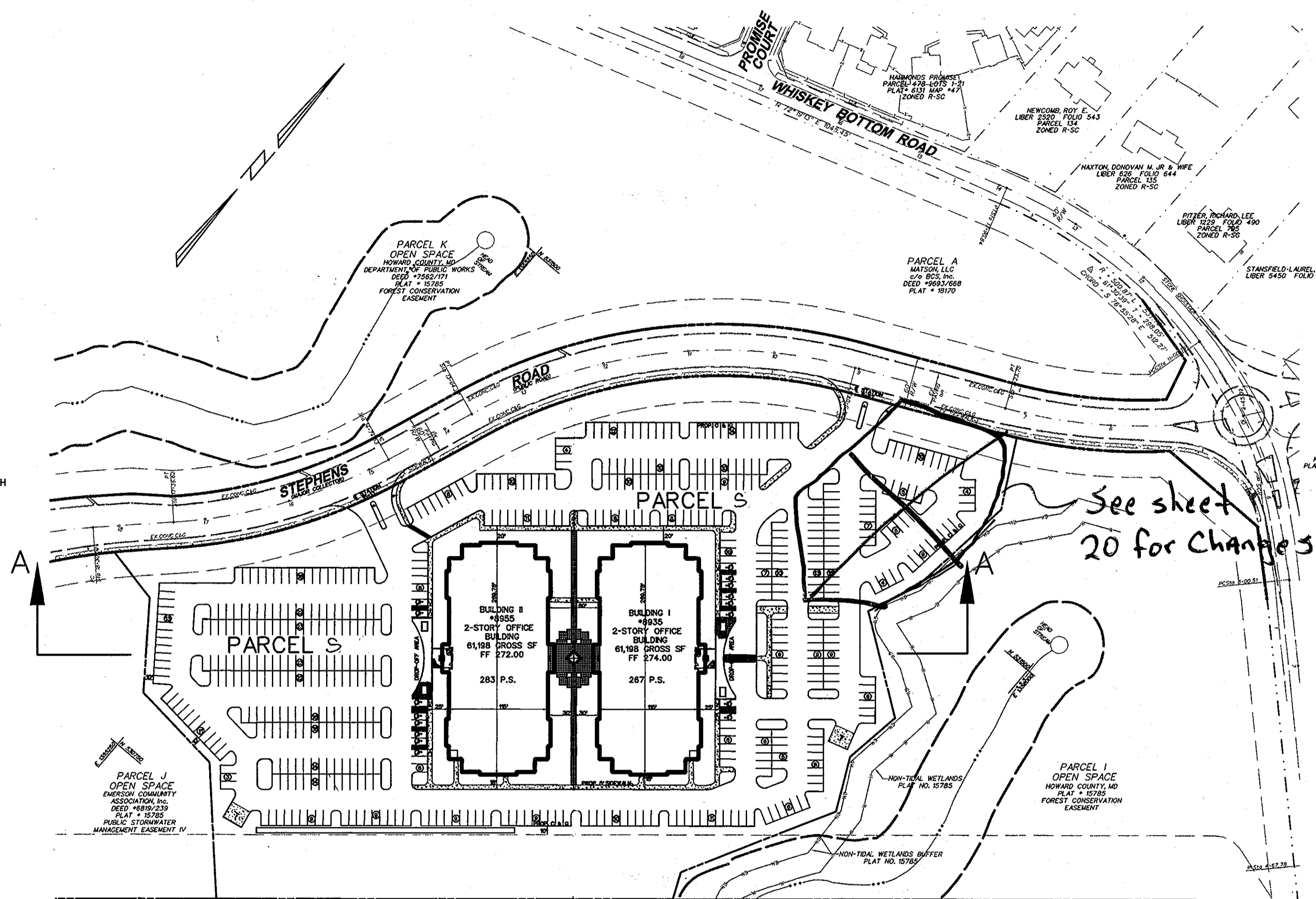
HOWARD COUNTY, MARYLAND



VICINITY MAP
SCALE: 1" = 2000'

BENCHMARK

COORDINATES IN MARYLAND NAD83(91) (HORIZONTAL) AND NAD83(91) (VERTICAL) DATUMS.
 470A NORTHING: 163191.9104
 EASTING: 4128567.759
 ELEVATION: 315905.0 ft.
 47E4 NORTHING: 163326.2295
 EASTING: 413158.2550
 ELEVATION: 335.509 ft.
 47G2 NORTHING: 162440.1212
 EASTING: 4185352.73
 ELEVATION: 364.210 ft.



See sheet 20 for Changes

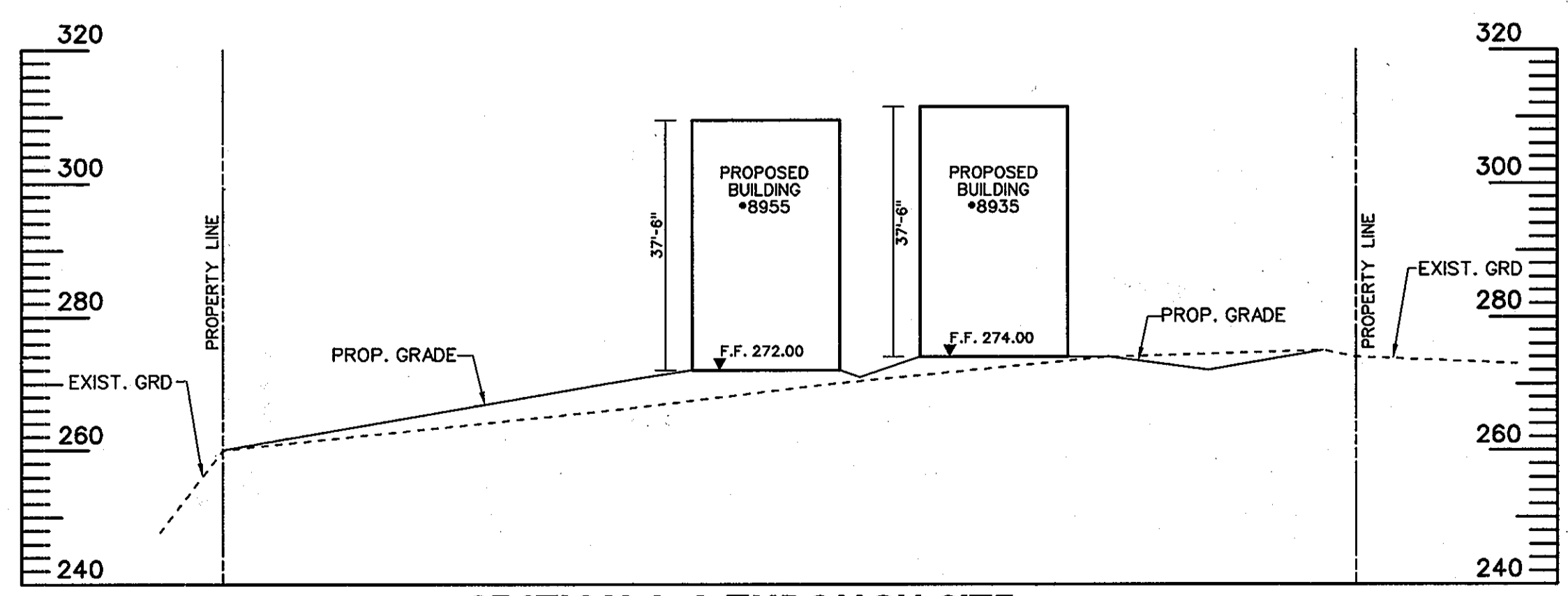
SHEET INDEX

| No. | Sheet Title | No. | SHEET TITLE |
|-----|-----------------------------|------|--|
| 13B | Perimeter Boundary and Plan | C-1 | COVER SHEET |
| 13C | Site Details | C-2 | SITE PLAN |
| 13D | Site Details | C-3 | GRADING & UTILITY PLAN |
| | | C-4 | SITE DETAILS I |
| | | C-5 | SITE DETAILS II |
| | | C-6 | STORM DRAIN DRAINAGE AREA MAP |
| | | C-7 | STORM DRAIN PROFILES |
| | | C-8 | EROSION AND SEDIMENT CONTROL PLAN |
| | | C-9 | EROSION AND SEDIMENT CONTROL DETAILS |
| | | C-10 | EROSION AND SEDIMENT CONTROL NOTES |
| | | C-11 | SOILS MAP & STORMWATER MANAGEMENT PLAN - RECHARGE ONLY |
| | | C-12 | LANDSCAPE PLAN |
| | | C-13 | PAVEMENT MARKING PLAN |

See sheet 15 of 48 for additional sheet index.

SITE DATA (PARCEL S)

- GENERAL SITE DATA:
 - PARCEL: S (10.107 AC)
 - PLAT REFERENCE: 20664
 - DEED REFERENCES:
 - TAX ACCOUNT NUMBER:
 - PRESENT ZONING: PEC
 - APPLICABLE DPZ FILE REFERENCES: F-02-111, F-06-174, SP-01-12, SDP-75-055, SDP-74-029, SDP-77-008, F09-092
 - EXISTING USE: VACANT
 - PROPOSED USE: OFFICE BUILDING (122,396 S.F.)
NOTE: PROPOSED BUILDING IS 2 STORY (30,599 SF/FLOOR INCLUDES SECOND FLOOR BUMP OUTS).
 - EXISTING WATER: PUBLIC
 - EXISTING SEWER: PUBLIC
 - WATER AND SEWER CONTRACT NUMBER: 24-4418-D
- AREA TABULATION:
 - AREA: 440,237 S.F. OR 10.107 AC
 - TOTAL DISTURBED AREA: 393,046 S.F. OR 9.02 AC
 - TOTAL IMPERVIOUS AREA: 289,714 S.F. OR 6.45 AC - 63.8%
 - BUILDING COVERAGE TO SITE: 27.8% OR 2.81 AC
- OPEN SPACE DATA: SEE GENERAL NOTE #45
- PARKING SPACE DATA:
 - PARKING REQUIRED: OFFICE - 122,396 S.F. @ 3.3 P.S./1000 S.F. = 404 P.S.
 - PARKING PROVIDED: 431
 - TOTAL INCLUDES: 431
 - STANDARD SPACES @ 9' x 18'
 - STANDARD HANDICAP SPACES @ 24' x 18' TWO SIDE BY SIDE
 - VAN ACCESSIBLE HANDICAP SPACES @ 24' x 18' TWO SIDE BY SIDE



SECTION A-A THROUGH SITE
SCALE: H: 1" = 100', V: 1" = 20'

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Consulting Engineers
222 SCHILLING CIRCLE SUITE 105 • HUNT VALLEY, MARYLAND 21039
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGCNC.COM

OWNER / DEVELOPER
JAMES F. KNOTT DEVELOPMENT CORPORATION & EMERSON CORPORATE COMMONS LIMITED PARTNERSHIP
1 TEXAS STATION COURT
SUITE 200
TIMONIUM, MD 21093-8288
(443) 689-8000

| DATE | ITEM | BY |
|----------|--|------|
| 11/20/08 | STORMWATER MANAGEMENT AS-BUILT FOR RECHARGE FACILITY | BLDG |
| 5/15/09 | REMOVED LOT LINE & PUBLIC | BLDG |
| | SEWER ESM'T | |

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division: [Signature] Date: 6/13/07
 Chief, Land Development Division: [Signature] Date: 6/13/07
 Director: [Signature] Date: 6/13/07

ADDRESS CHART

| LOT / PARCEL NO. | STREET ADDRESS |
|------------------|-----------------------------|
| PARCEL S | 8935 AND 8955 STEPHENS ROAD |

PERMIT INFORMATION CHART

| SUBDIVISION NAME | SECTION / AREA | LOT / PARCEL NO. |
|------------------|----------------|------------------|
| REVITZ PROPERTY | N / A | S |

PLAT NO. 20664, GRID NO. 20, ZONING PEC, TAX MAP NO. 47, ELEC. DIST. 6TH, CENSUS TRACT 6069-02, WATER CODE C-05, SEWER CODE 7142500

(SWM AS-BUILT)
COVER SHEET
EMERSON CORPORATE COMMONS
PARCEL S (Revitz Property) (PLAT # 20664)

HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN

SHEET 1 OF 48
DATE: JUNE, 2007
SDP-07-037

LEGEND

| | |
|--|-----------|
| RIGHT-OF-WAY LINE | --- |
| PROPERTY LINE | --- |
| EX. CONCRETE CURB & GUTTER | EX.C&G |
| EX. STORM DRAIN, MANHOLE & INLET | EX.15"D |
| EX. SANITARY SEWER, MANHOLE & CLEANOUT | EX.8"S |
| EX. WATER MAIN, VALVE & FIRE HYDRANT | EX.12"W |
| EX. LIGHT POLE | --- |
| EX. TREE LINE | --- |
| EX. TREE | --- |
| EX. INDEX CONTOURS | 260 |
| EX. INTERMEDIATE CONTOURS | 262 |
| EX. CONCRETE CURB & GUTTER TO BE REMOVED | --- |
| EX. STREAM BUFFER | --- |
| EX. STREAM | --- |
| PROP. CONCRETE CURB & GUTTER | PROP.C&G |
| PROP. STORM DRAIN, MANHOLE & INLET | PROP.15"D |
| PROP. SANITARY SEWER, MANHOLE & CLEANOUT | PROP.8"S |
| PROP. WATER MAIN, VALVE & FIRE HYDRANT | PROP.12"W |
| PROP. INDEX CONTOURS | 270 |
| PROP. INTERMEDIATE CONTOURS | 272 |
| PROP. PARKING COUNT | ① |
| PROP. ON-SITE 30' HIGH LIGHT POLE (PRIVATE) | □ |
| PROP. ON-SITE 12' HIGH LIGHT POLE (PRIVATE) | ○ |
| PROP. HOWARD COUNTY LIGHT POLES: 250 WATT HPS VAPOR PENDANT FIXTURE (SAO) MOUNTED AT 30' ON A BRONZE FIBERGLASS POLE, USING A 12" ARM TO BE INSTALLED BY OTHERS) | ○ |
| STA. 8+30, 24' LEFT | ▲ |
| STA. 14+65, 24' LEFT | ▲ |
| STOP SIGN R-1 | ▲ |

NOTE

- SEE SHEET 4 OF 13 FOR HANDICAP ACCESSIBLE ROUTES FOR BUILDING #8935 AND BUILDING #8955.
- SEE SHEET 4 OF 13 FOR PAVEMENT DETAILS (HARDSCAPE).
- SEE SHEET 5 OF 13 FOR LIGHTING DETAIL.

SITE CONSTRUCTION NOTES

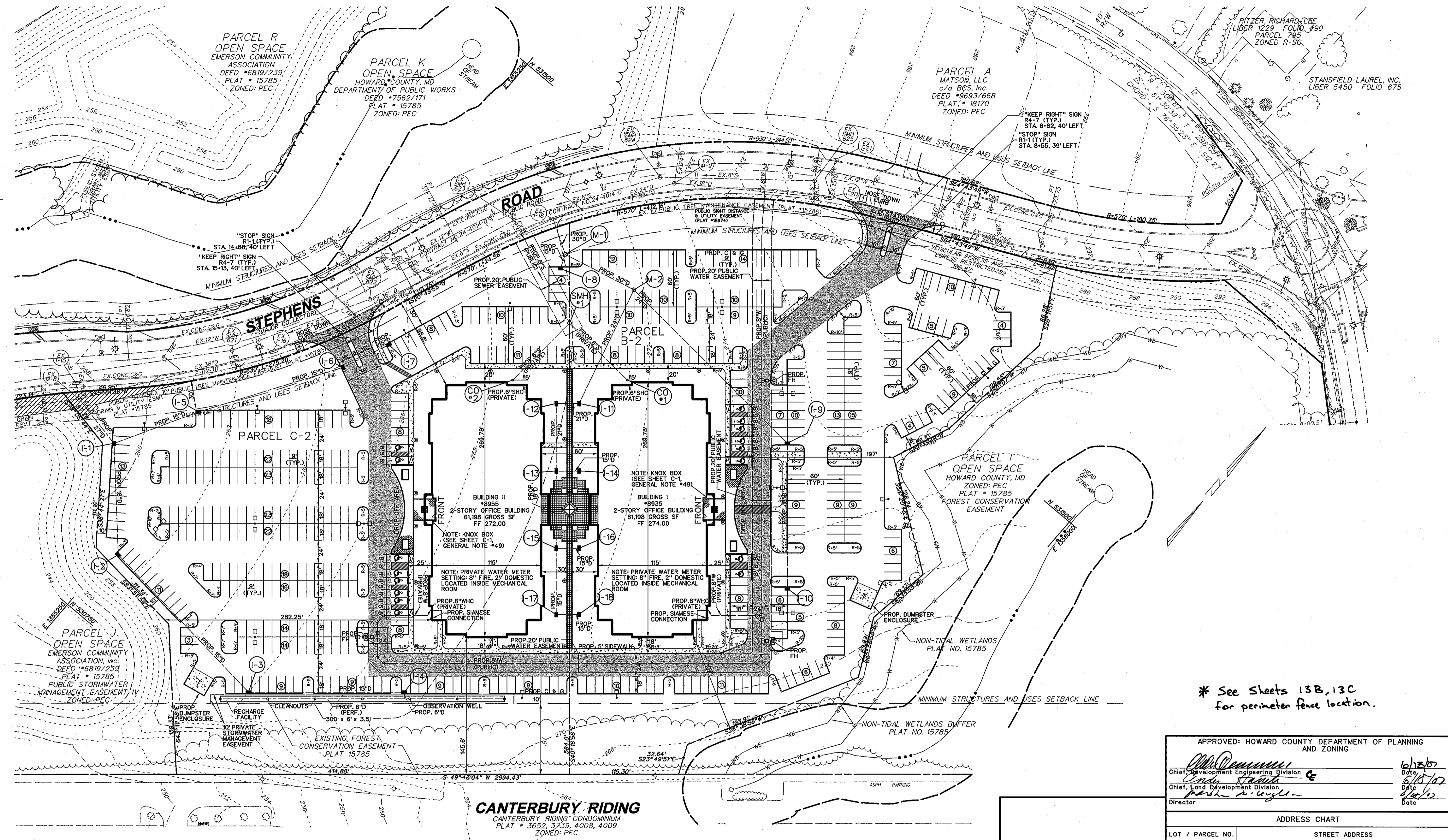
- SAW CUT EXISTING PAVING, REMOVE EXISTING CONCRETE CURB & GUTTER AND EX. SIDEWALK. REGRADE, INSTALL NEW CONCRETE CURB & GUTTER (SEE HOWARD CO. STD. DETAIL, PLATE R-3.0) AND NEW PAVING. MATCH EXISTING CONCRETE CURB & GUTTER FOR GRADE AND LINE. PROVIDE HANDICAP RAMPS AT CURB RETURNS ON BOTH SIDES OF THE ENTRANCE.

PAVEMENT SECTION LEGEND

| | |
|-------------------|-----|
| HEAVY DUTY PAVING | --- |
| LIGHT DUTY PAVING | --- |
| CONCRETE | --- |
| PAVERS | --- |

PAVEMENT SECTION DETAILS

| | |
|-----------------------|---|
| HEAVY DUTY PAVING P-5 | 1.5" BIT. CONC. SURFACE 1.5" BIT. CONC. BASE 5" BIT. CONC. BASE |
| LIGHT DUTY PAVING P-3 | 6" GRADED AGGREGATE BASE (GAB) 1.5" BIT. CONC. SURFACE 4.5" BIT. CONC. BASE 5" GRADED AGGREGATE BASE (GAB) |



* See Sheets 13B, 13C for perimeter fence location.

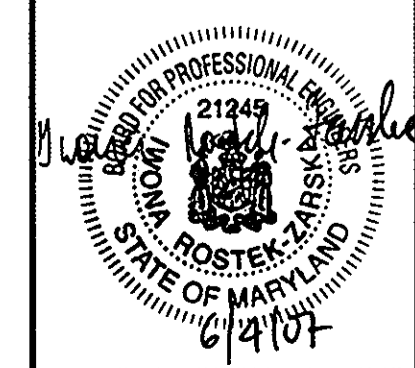
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

| | |
|---|---------|
| Chief, Development Engineering Division | 6/13/07 |
| Chief, Land Development Division | 6/15/07 |
| Director | 6/15/07 |

| ADDRESS CHART | |
|------------------|--------------------|
| LOT / PARCEL NO. | STREET ADDRESS |
| PARCEL B-2 | 8935 STEPHENS ROAD |
| PARCEL C-2 | 8955 STEPHENS ROAD |

| PERMIT INFORMATION CHART | | | | |
|--------------------------|----------------|------------------|-------------|-------------|
| SUBDIVISION NAME | SECTION / AREA | LOT / PARCEL NO. | | |
| REVITZ PROPERTY | N / A | B-2 & C-2 | | |
| PLAT NO. | GRID NO. | ZONING | TAX MAP NO. | ELEC. DIST. |
| 18974 | 20 | PEC | 47 | 6TH |
| WATER CODE | SEWER CODE | | | |
| C-05 | 7142500 | | | |

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1 TEXAS STATION COURT SUITE 200 TIMONIUM, MD 21093-8288 (443) 689-8000

| DATE | ITEM | BY |
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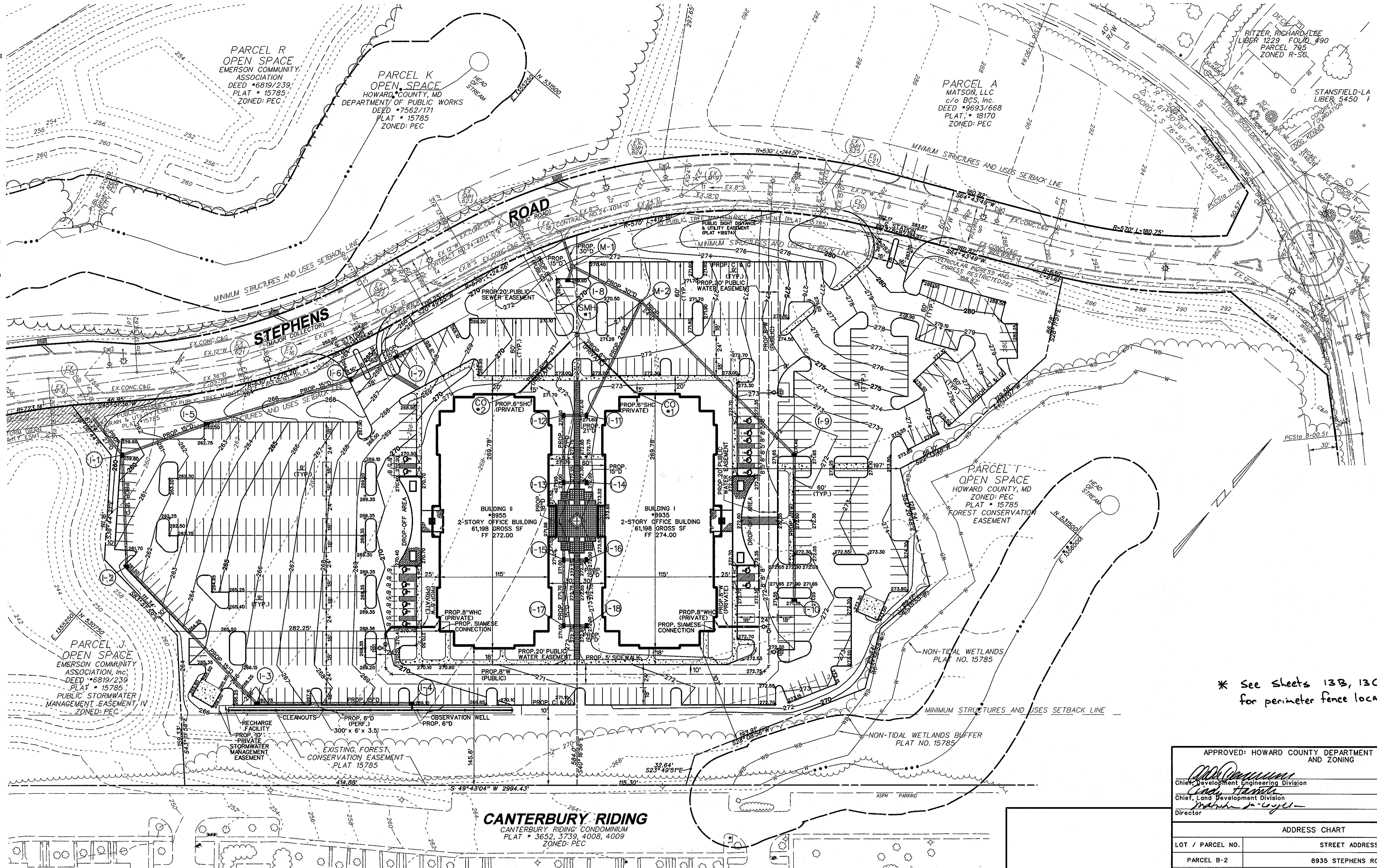
SITE PLAN
EMERSON CORPORATE COMMONS
PARCELS B-2 & C-2 (Revitz Property) (Plat # 18974)
HOWARD COUNTY, MARYLAND
SCALE: 1"=50'
SHEET 2 OF 2
DATE: JUNE, 2007
SDP-07-037

LEGEND

- RIGHT-OF-WAY LINE
- PROPERTY LINE
- EX. CONCRETE CURB & GUTTER
- EX. STORM DRAIN, MANHOLE & INLET
- EX. SANITARY SEWER, MANHOLE & CLEANOUT
- EX. WATER MAIN, VALVE & FIRE HYDRANT
- EX. LIGHT POLE
- EX. TREE LINE
- EX. TREE
- EX. INDEX CONTOURS
- EX. INTERMEDIATE CONTOURS
- EX. CONCRETE CURB & GUTTER TO BE REMOVED
- EX. STREAM BUFFER
- EX. STREAM
- PROP. CONCRETE CURB & GUTTER
- PROP. STORM DRAIN, MANHOLE & INLET
- PROP. SANITARY SEWER, MANHOLE & CLEANOUT
- PROP. WATER MAIN, VALVE & FIRE HYDRANT
- PROP. INDEX CONTOURS
- PROP. INTERMEDIATE CONTOURS
- PROP. PARKING COUNT

NOTE

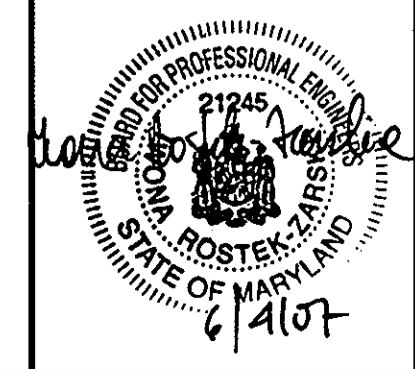
1. SEE SHEET 4 OF 13 FOR HANDICAP ACCESSIBLE ROUTES FOR BUILDING #8935 AND BUILDING #8955.
2. SEE SHEET 4 OF 13 FOR PAVEMENT DETAILS (HARDSCAPE).



* See sheets 13B, 13C for perimeter fence location.

| | | | | | |
|---|----------|--------------------|-------------|------------------|--------------|
| APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING | | | | | |
| <i>[Signature]</i> Chief, Development Engineering Division | | | | 6/15/07 Date | |
| <i>[Signature]</i> Chief, Land Development Division | | | | 6/15/07 Date | |
| <i>[Signature]</i> Director | | | | 6/15/07 Date | |
| ADDRESS CHART | | | | | |
| LOT / PARCEL NO. | | STREET ADDRESS | | | |
| PARCEL B-2 | | 8935 STEPHENS ROAD | | | |
| PARCEL C-2 | | 8955 STEPHENS ROAD | | | |
| PERMIT INFORMATION CHART | | | | | |
| SUBDIVISION NAME | | SECTION / AREA | | LOT / PARCEL NO. | |
| REVITZ PROPERTY | | N / A | | B-2 & C-2 | |
| PLAT NO. | GRID NO. | ZONING | TAX MAP NO. | ELEC. DIST. | CENSUS TRACT |
| 18974 | 20 | PEC | 47 | 6TH | 6069-02 |
| WATER CODE | | | SEWER CODE | | |
| C-05 | | | 7142500 | | |

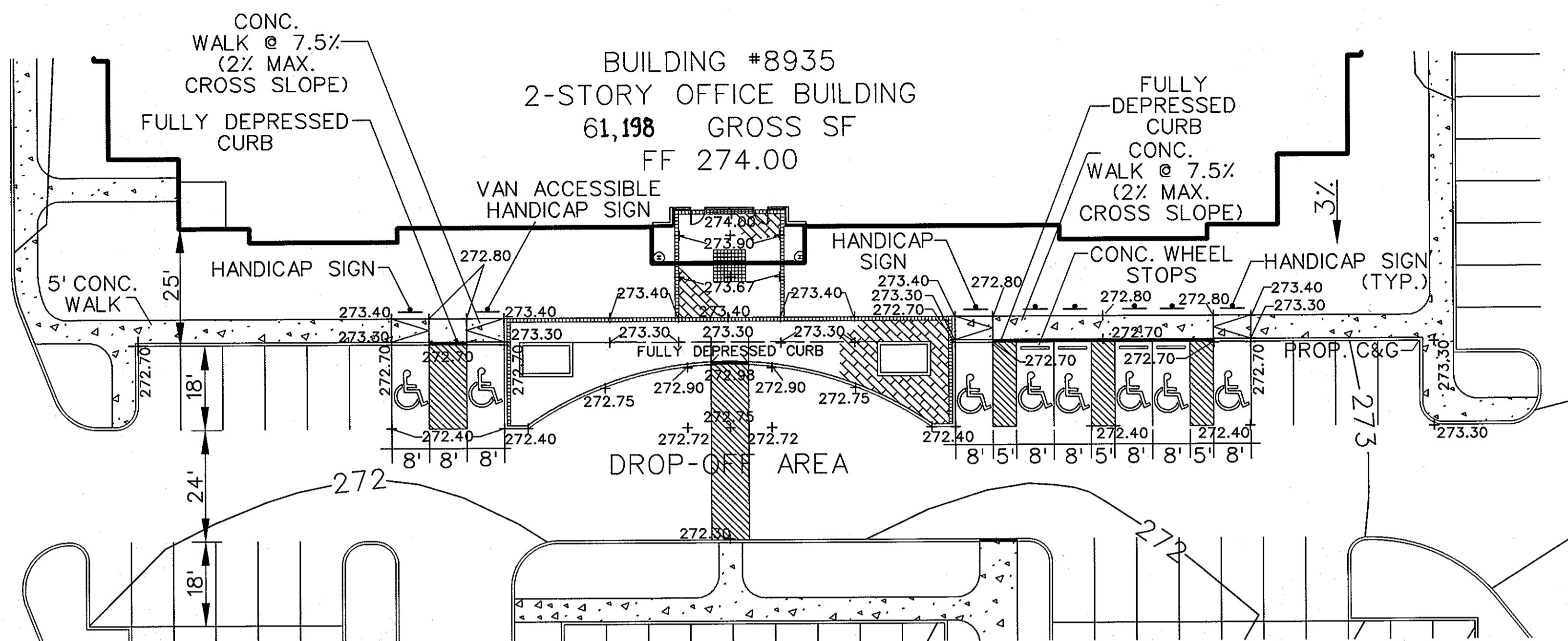
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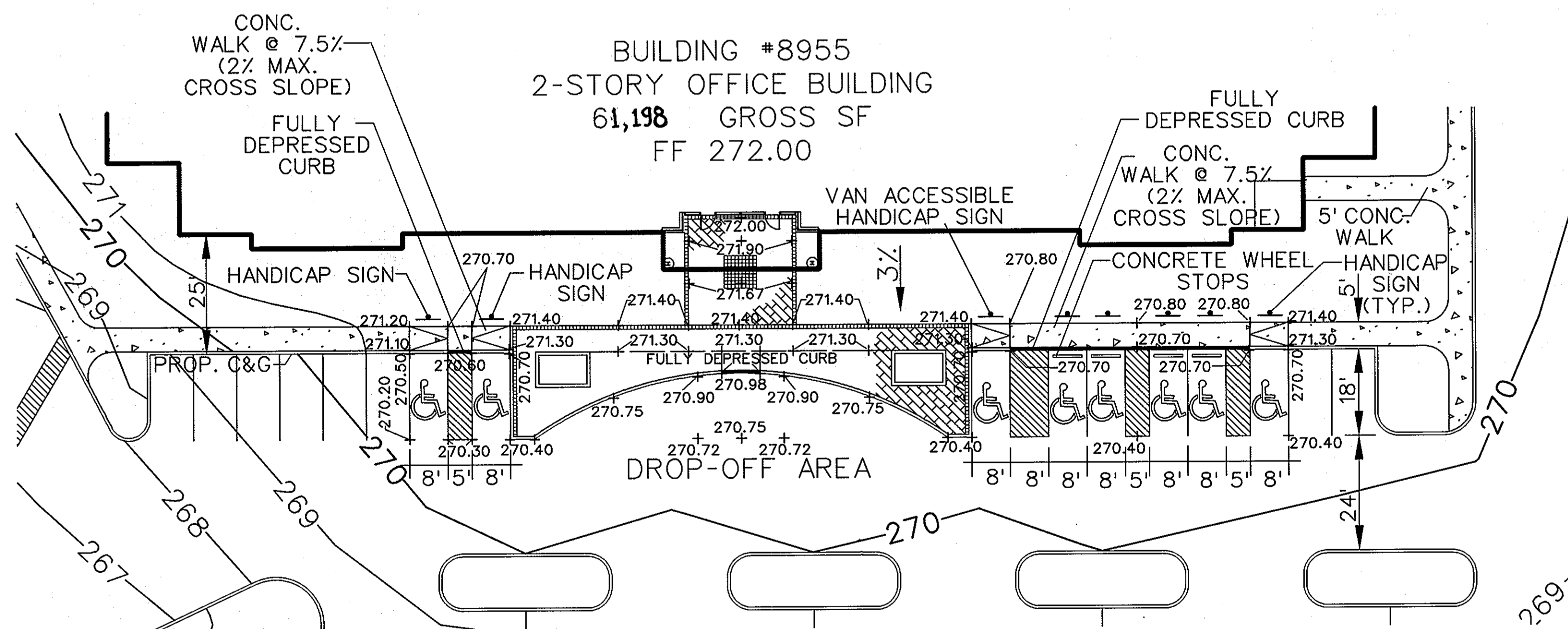
OWNER / DEVELOPER
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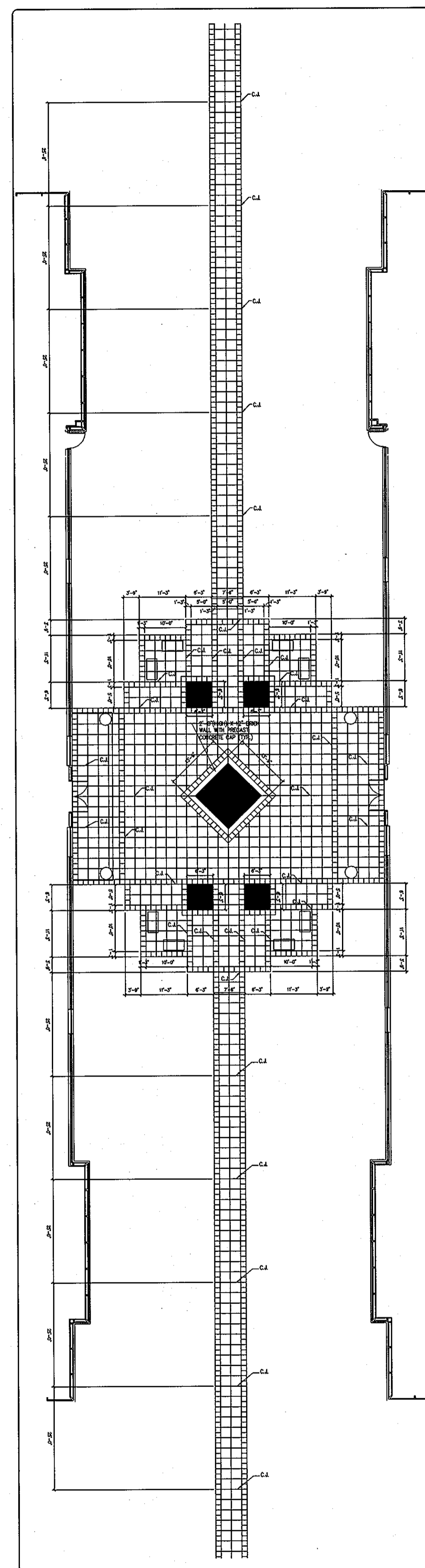
GRADING & UTILITY PLAN
EMERSON CORPORATE COMMONS
PARCELS B-2 & C-2 (Revitz Property) (plat # 18974)
HOWARD COUNTY, MARYLAND
SCALE: 1"=50'
SHEET 3 OF 4
DATE: JUNE, 2007
SDP-07-037



HANDICAP ACCESSIBLE ROUTE FOR PROPOSED BUILDING #8935
SCALE: 1" = 20'



HANDICAP ACCESSIBLE ROUTE FOR PROPOSED BUILDING #8955
SCALE: 1" = 20'



PAVER DETAIL (HARDSCAPE)
SCALE: N.T.S.

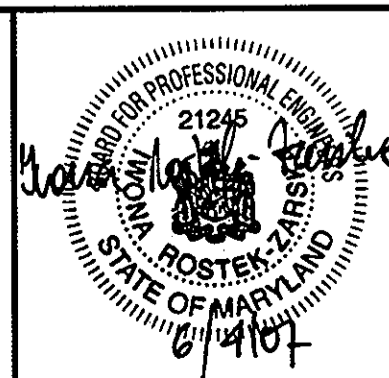
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|---|----------|--------------------|-------------|------------------|--------------|
| APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING | | | | | |
| Chief, Development Engineering Division | | | | Date: 6/12/07 | |
| Chief, Land Development Division | | | | Date: 6/18/07 | |
| Director | | | | Date: 6/21/07 | |
| ADDRESS CHART | | | | | |
| LOT / PARCEL NO. | | STREET ADDRESS | | | |
| PARCEL B-2 | | 8935 STEPHENS ROAD | | | |
| PARCEL C-2 | | 8955 STEPHENS ROAD | | | |
| PERMIT INFORMATION CHART | | | | | |
| SUBDIVISION NAME | | SECTION / AREA | | LOT / PARCEL NO. | |
| REVITZ PROPERTY | | N / A | | B-2 & C-2 | |
| PLAT NO. | GRID NO. | ZONING | TAX MAP NO. | ELEC. DIST. | CENSUS TRACT |
| 18974 | 20 | PEC | 47 | 6TH | 6099-02 |
| WATER CODE | | | SEWER CODE | | |
| C-05 | | | 7142500 | | |

BLDG

Baltimore Land Design Group Inc.

Consulting Engineers

222 SCHILLING CIRCLE SUITE 105 • HUNT VALLEY, MARYLAND 21030
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



OWNER / DEVELOPER
JAMES F. KNOTT DEVELOPMENT CORPORATION &
EMERSON CORPORATE COMMONS
LIMITED PARTNERSHIP
1 TEXAS STATION COURT
SUITE 200
TIMONIUM, MD 21093-8288
(443) 689-8000

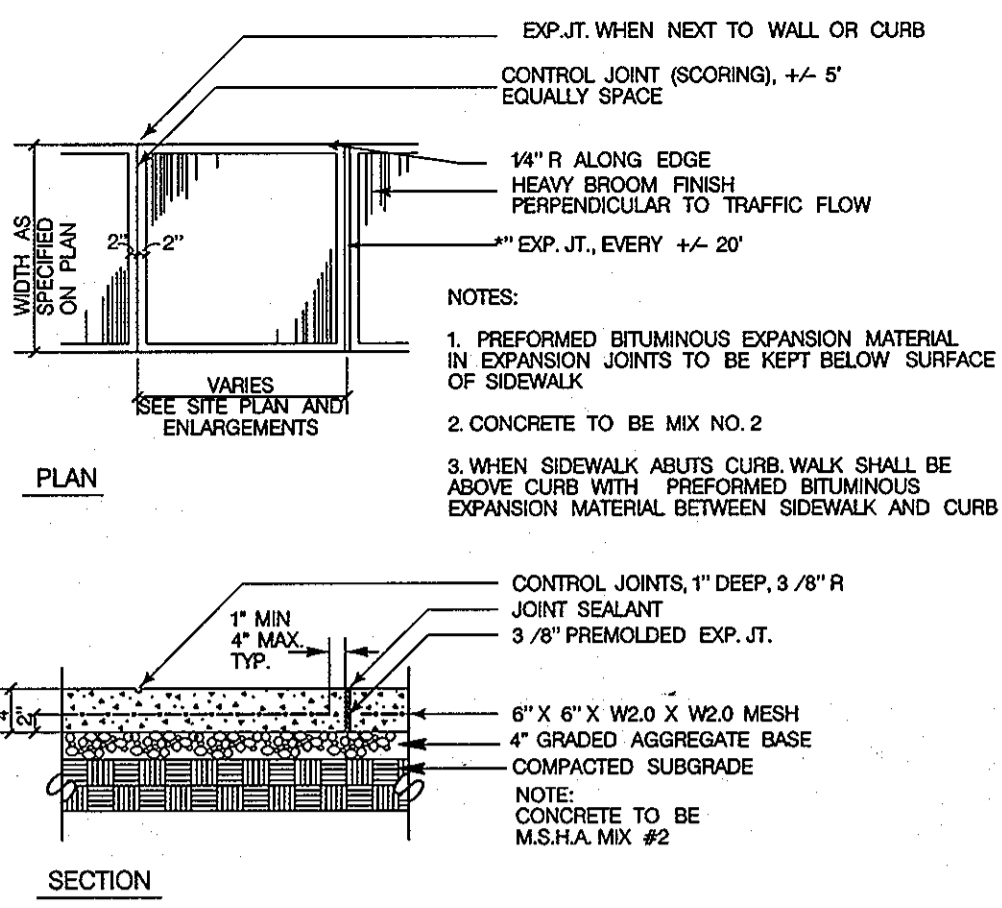
| DATE | ITEM | BY |
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SITE DETAILS I
EMERSON CORPORATE COMMONS
PARCELS B-2 & C-2 (Revitz Property) (plat #18974)

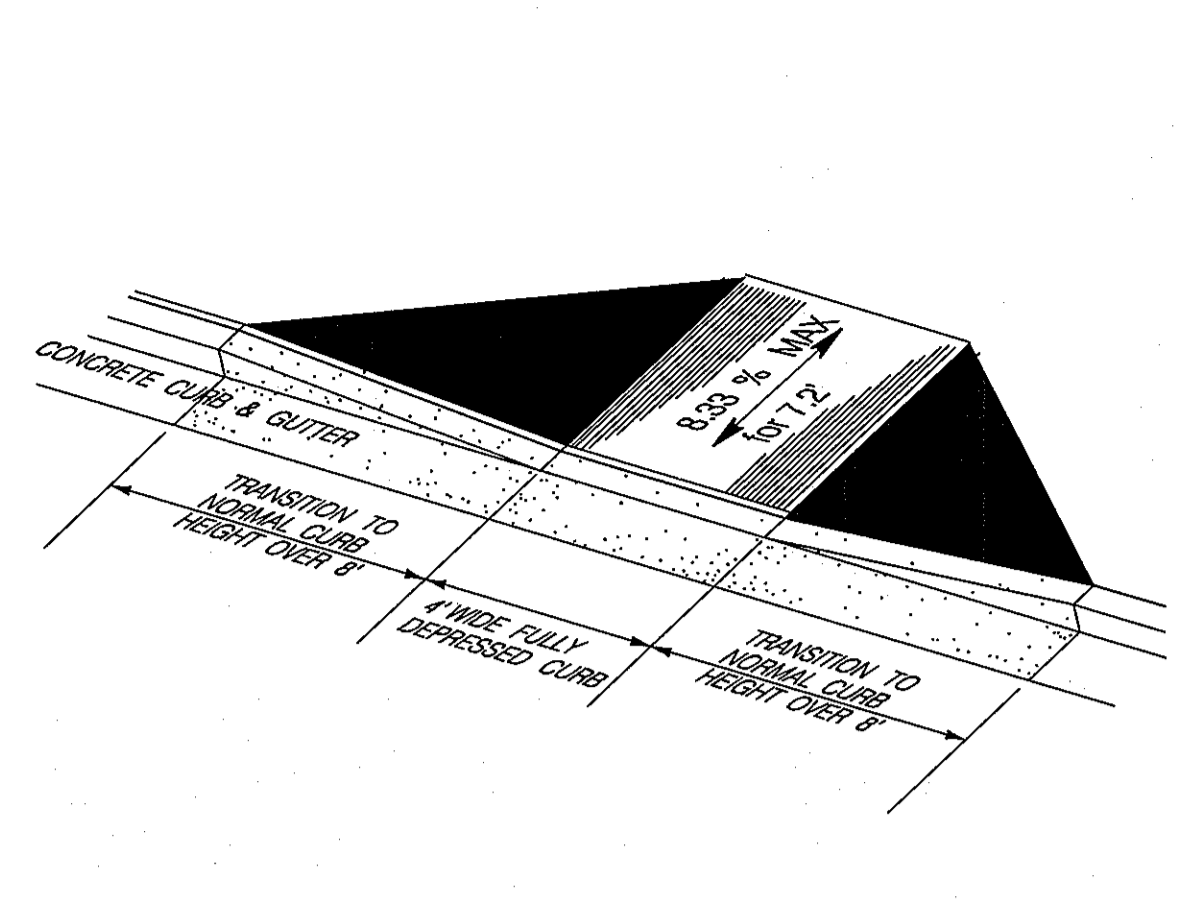
HOWARD COUNTY, MARYLAND
SCALE: 1"=20'

SHEET 4 OF 18
DATE: JUNE, 2007

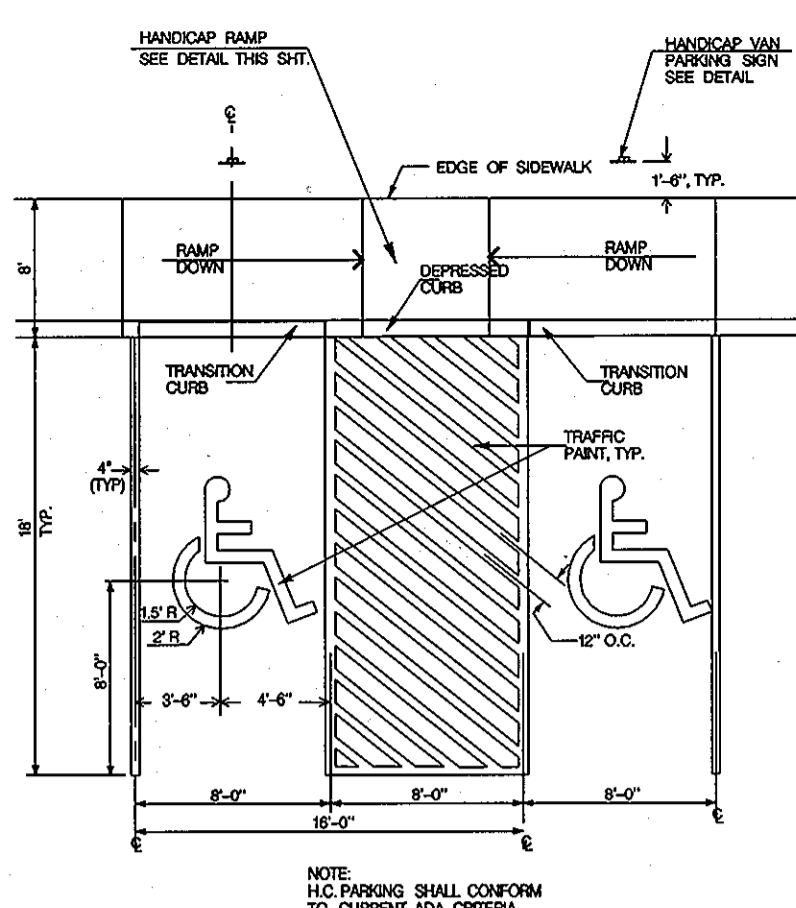
SDP-07-037



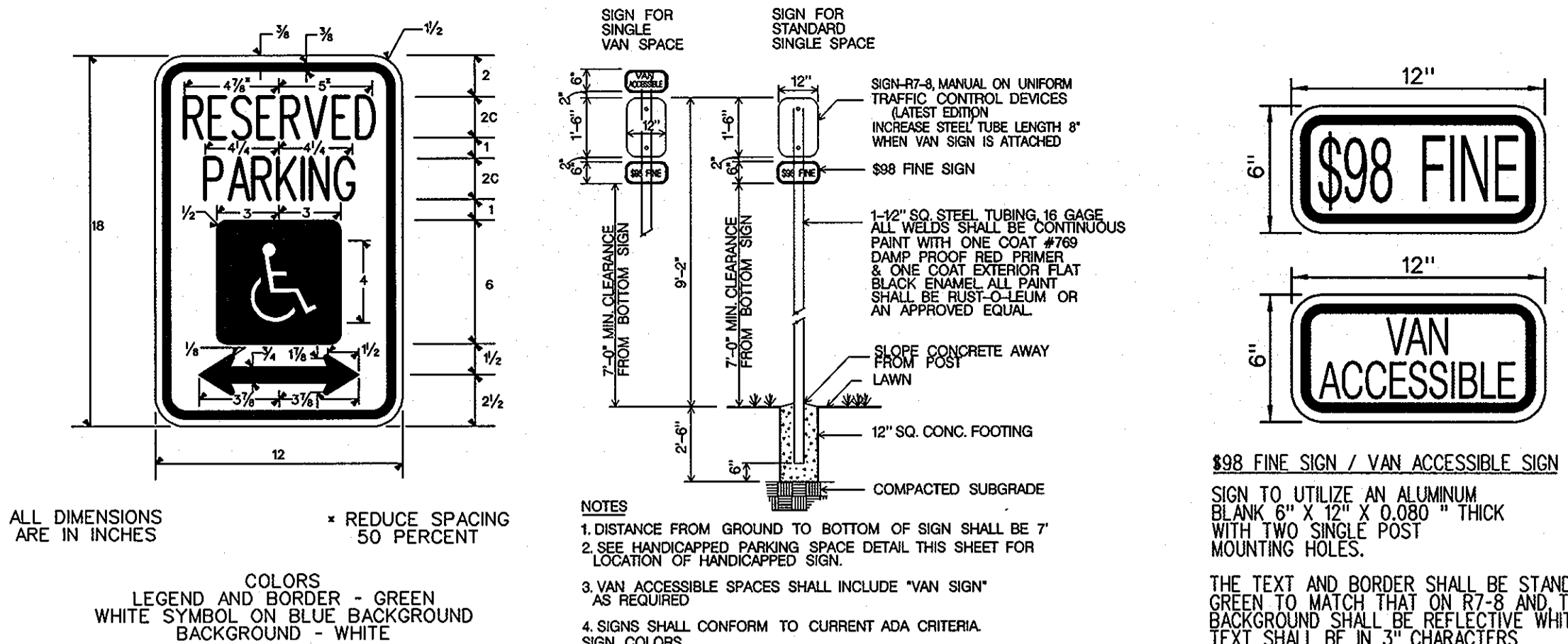
Detail Concrete Walk



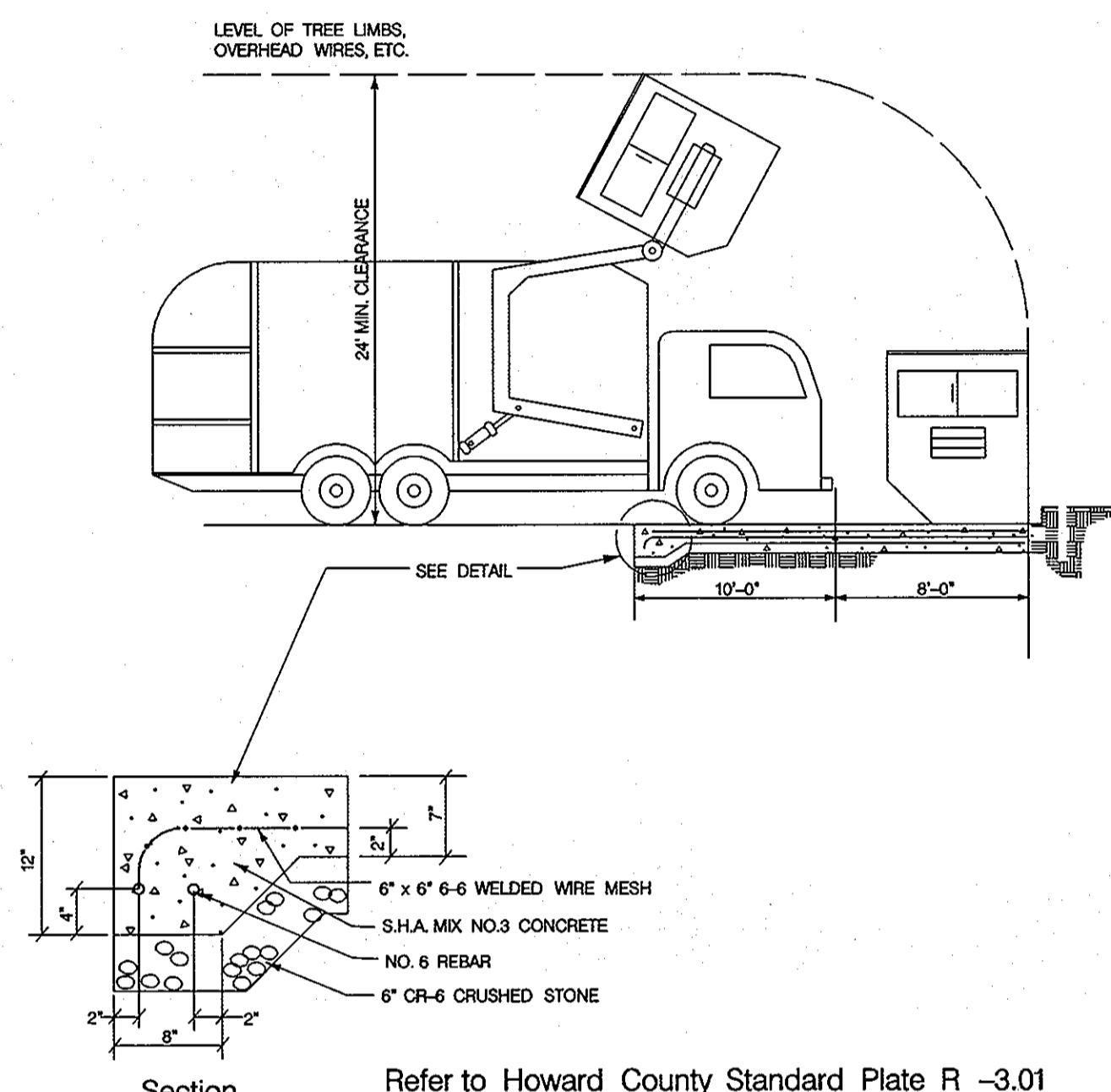
Type 'A' Sidewalk Ramp



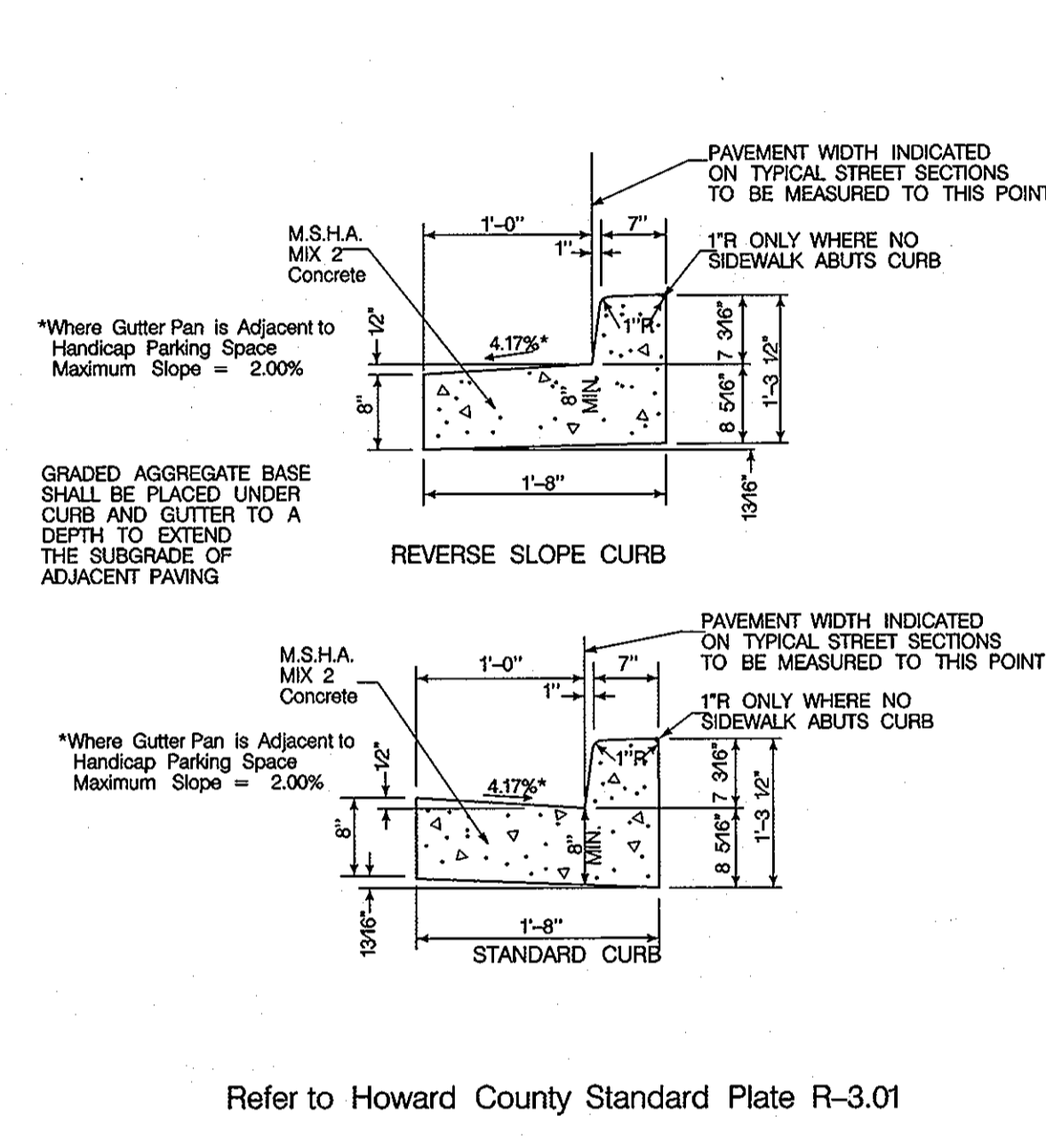
Van Accessible Handicap Parking Space



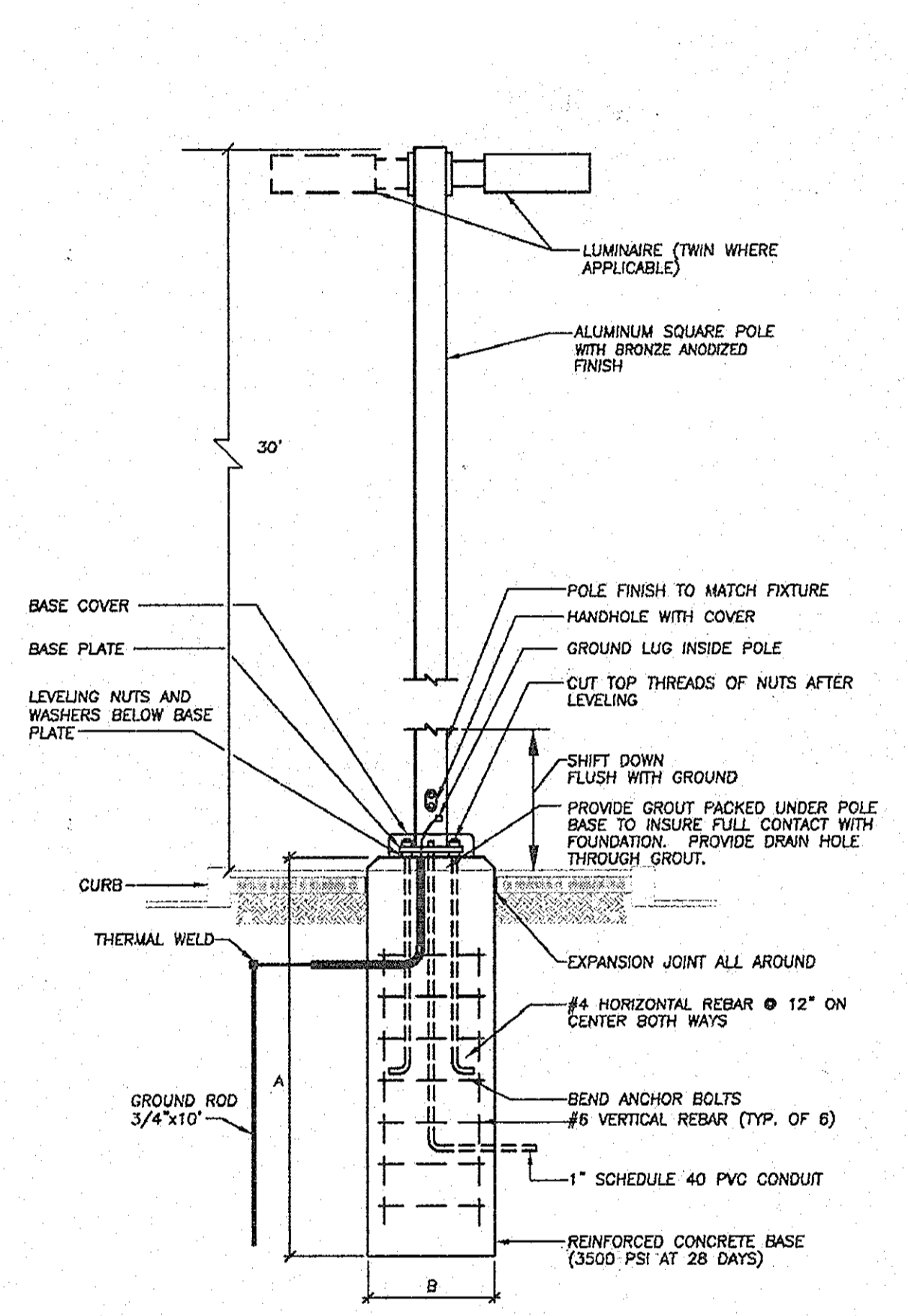
Detail Handicap Parking Signs



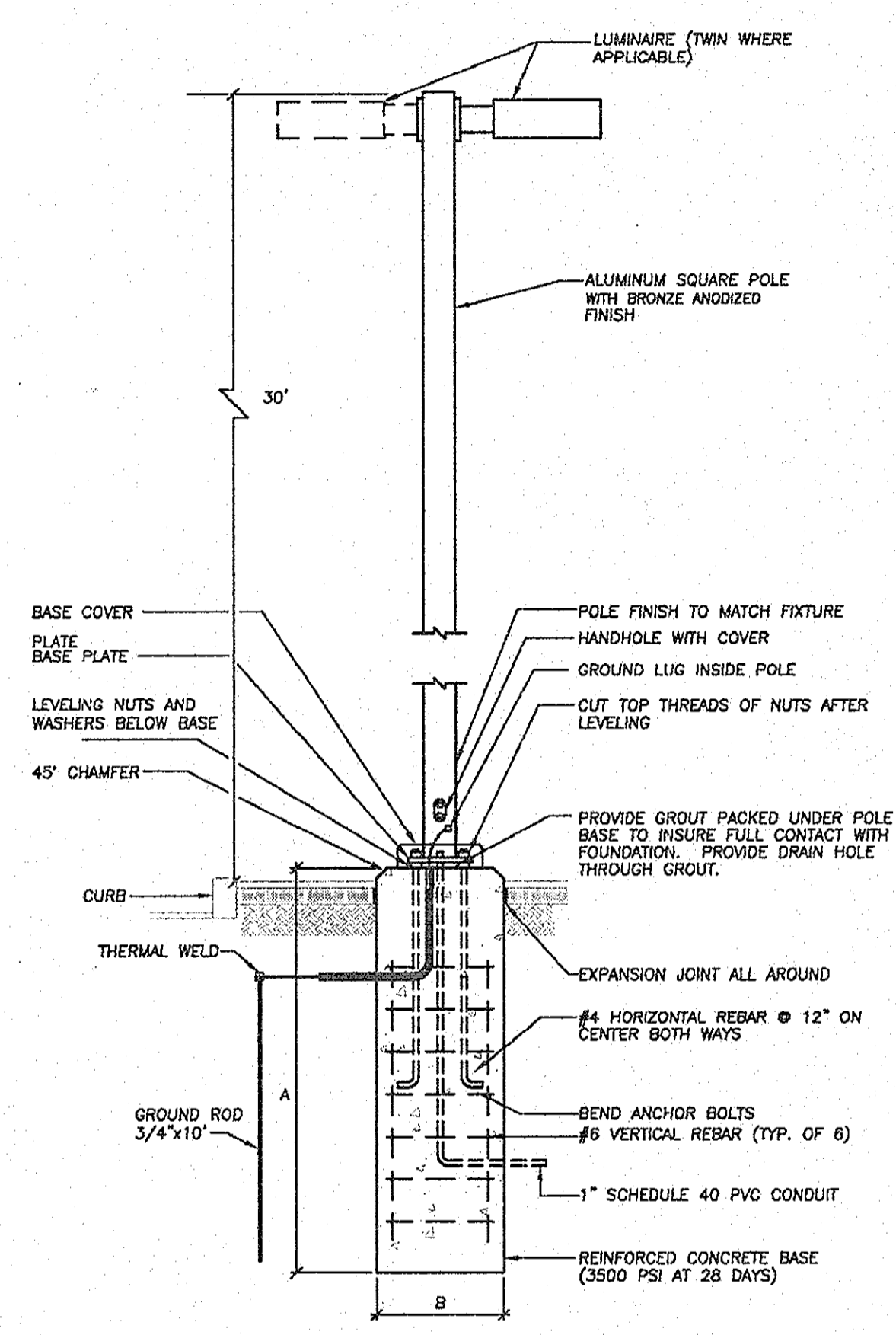
Detail Solid Waste Service Pad



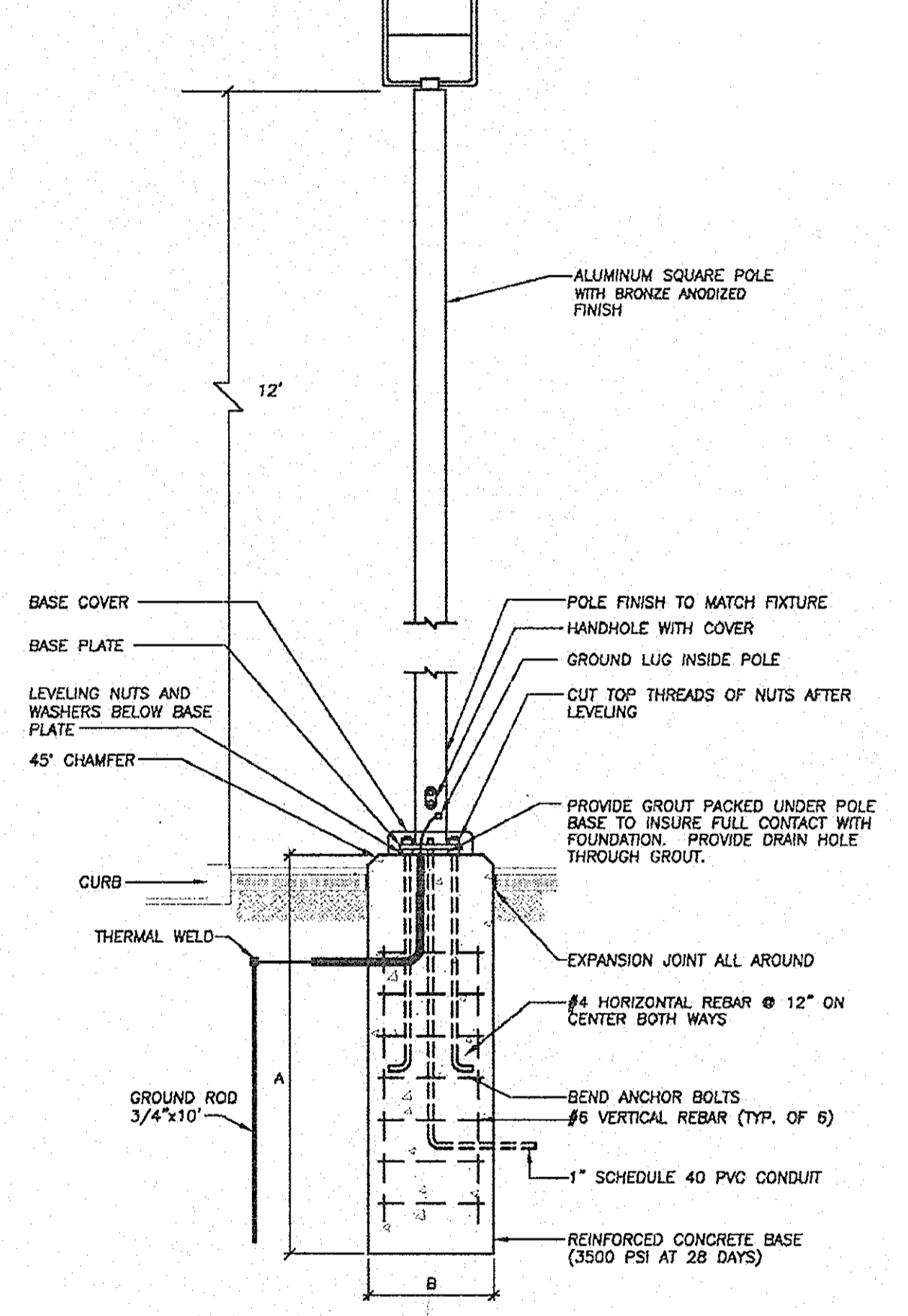
Detail Concrete Curb and Gutter



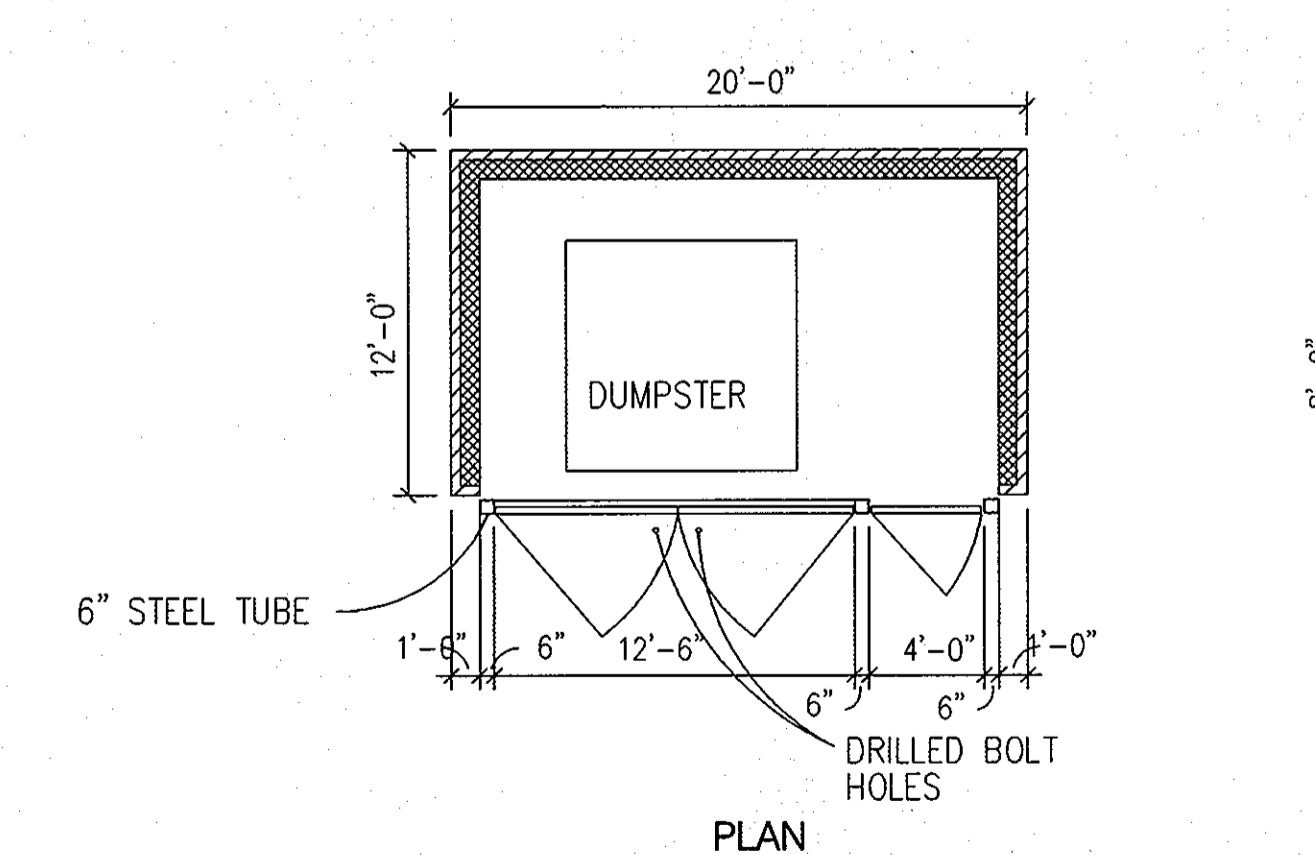
FLUSH POLE BASE DETAIL #2
TYPE 'X2A' (SECTION A-A)
NO SCALE



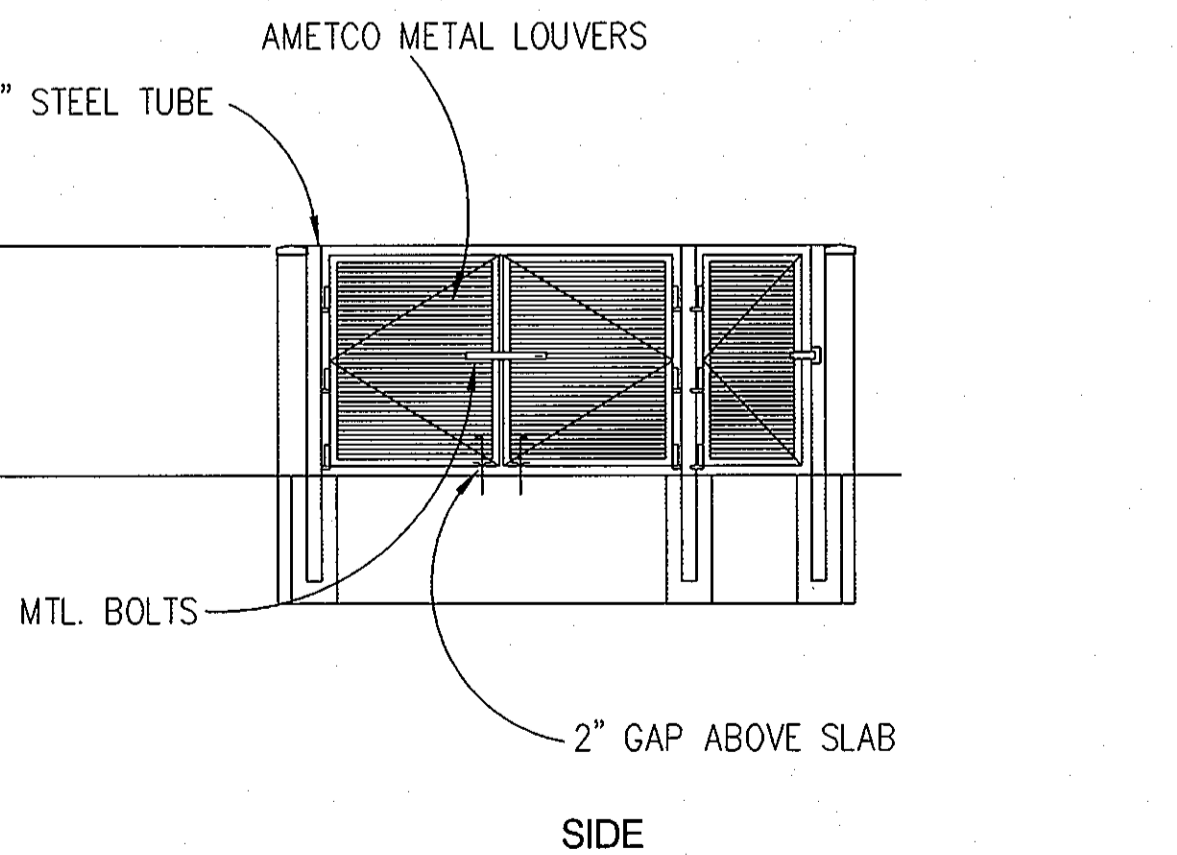
EXTENDED POLE BASE DETAIL
TYPE 'X1A', 'X1C' & 'X2'
NO SCALE



FLUSH POLE BASE DETAIL #1
TYPE 'X1B'
NO SCALE



Dumpster Enclosure Detail



Side View

FLUSH POLE BASE DETAIL #2
TYPE 'X2A' (SECTION A-A)
NO SCALE

EXTENDED POLE BASE DETAIL
TYPE 'X1A', 'X1C' & 'X2'
NO SCALE

FLUSH POLE BASE DETAIL #1
TYPE 'X1B'
NO SCALE

| | | | | | |
|---|----------|--------------------|-------------|------------------|--------------|
| APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING | | | | | |
| Chief, Development Engineering Division | | | | 6/13/07 | |
| Chief, Land Development Division | | | | 6/18/07 | |
| Director | | | | 6/14/07 | |
| ADDRESS CHART | | | | | |
| LOT / PARCEL NO. | | STREET ADDRESS | | | |
| PARCEL B-2 | | 8935 STEPHENS ROAD | | | |
| PARCEL C-2 | | 8955 STEPHENS ROAD | | | |
| PERMIT INFORMATION CHART | | | | | |
| SUBDIVISION NAME | | SECTION / AREA | | LOT / PARCEL NO. | |
| REVITZ PROPERTY | | N / A | | B-2 & C-2 | |
| PLAT NO. | GRID NO. | ZONING | TAX MAP NO. | ELEC. DIST. | CENSUS TRACT |
| 18974 | 20 | PEC | 47 | 6TH | 6069-02 |
| WATER CODE | | | SEWER CODE | | |
| C-05 | | | 7142500 | | |

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Consulting Engineers
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PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



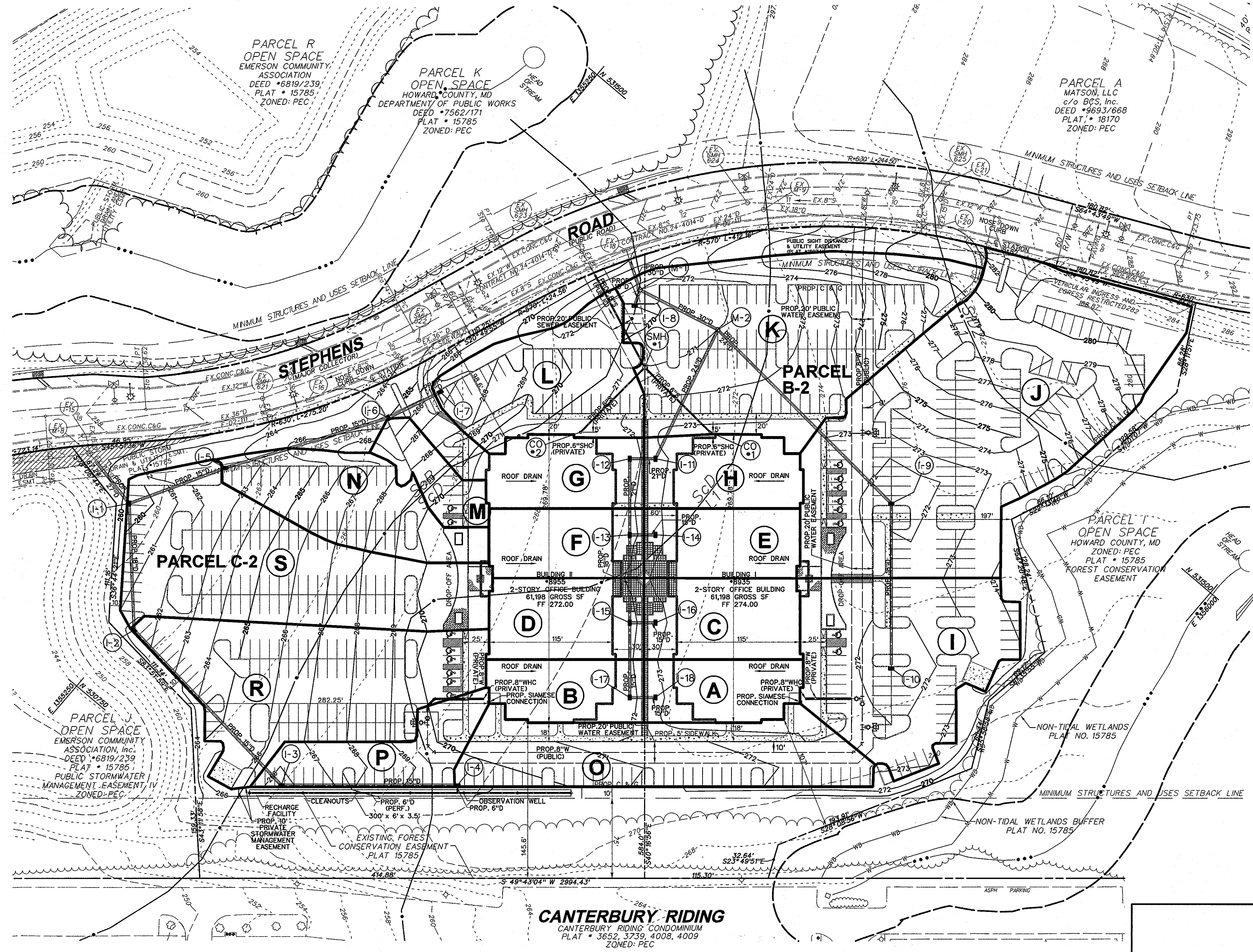
OWNER / DEVELOPER
JAMES F. KNOTT DEVELOPMENT CORPORATION & EMERSON CORPORATE COMMONS LIMITED PARTNERSHIP
1 TEXAS STATION COURT
SUITE 200
TIMONIUM, MD 21093-8288
(443) 689-8000

| DATE | ITEM | BY |
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SITE DETAILS II
EMERSON CORPORATE COMMONS
PARCELS B-2 & C-2 (Revitz Property) (Plot # 18974)
HOWARD COUNTY, MARYLAND
SCALE: N/A
SHEET 5 OF 27
DATE: JUNE, 2007
SDP-07-037

LEGEND

| | |
|--|-----|
| RIGHT-OF-WAY LINE | --- |
| PROPERTY LINE | --- |
| EX. CONCRETE CURB & GUTTER | --- |
| EX. STORM DRAIN, MANHOLE & INLET | --- |
| EX. SANITARY SEWER, MANHOLE & CLEANOUT | --- |
| EX. WATER MAIN, VALVE & FIRE HYDRANT | --- |
| EX. LIGHT POLE | --- |
| EX. TREE LINE | --- |
| EX. TREE | --- |
| EX. INDEX CONTOURS | --- |
| EX. INTERMEDIATE CONTOURS | --- |
| EX. CONCRETE CURB & GUTTER TO BE REMOVED | --- |
| PROP. CONCRETE CURB & GUTTER | --- |
| PROP. STORM DRAIN, MANHOLE & INLET | --- |
| PROP. SANITARY SEWER, MANHOLE & CLEANOUT | --- |
| PROP. WATER MAIN, VALVE & FIRE HYDRANT | --- |
| PROP. INDEX CONTOURS | --- |
| PROP. INTERMEDIATE CONTOURS | --- |
| PROP. PARKING COUNT | --- |



STORM DRAIN INLET SCHEDULE

| NO. | TYPE | INV. IN | INV. OUT | TOP ELEV' | REMARKS |
|------|-----------------------|---------|----------|-----------|--------------------------------------|
| I-1 | DOUBLE TYPE 'S' COMB. | 253.63 | 253.38 | 259.60 | SEE HOWARD CO.STD. DETAIL PLATE 4.34 |
| I-2 | DOUBLE TYPE 'S' COMB. | 256.49 | 256.29 | 261.40 | SEE HOWARD CO.STD. DETAIL PLATE 4.34 |
| I-3 | DOUBLE TYPE 'S' COMB. | 261.69 | 261.49 | 265.75 | SEE HOWARD CO.STD. DETAIL PLATE 4.34 |
| I-4 | DOUBLE TYPE 'S' COMB. | ----- | 265.00 | 269.10 | SEE HOWARD CO.STD. DETAIL PLATE 4.34 |
| I-5 | DOUBLE TYPE 'S' COMB. | 258.19 | 257.99 | 262.30 | SEE HOWARD CO.STD. DETAIL PLATE 4.34 |
| I-6 | DOUBLE TYPE 'S' COMB. | 261.01 | 260.81 | 265.00 | SEE HOWARD CO.STD. DETAIL PLATE 4.34 |
| I-7 | DOUBLE TYPE 'S' COMB. | ----- | 262.03 | 266.50 | SEE HOWARD CO.STD. DETAIL PLATE 4.34 |
| I-8 | DOUBLE TYPE 'S' COMB. | ----- | 265.31 | 269.80 | SEE HOWARD CO.STD. DETAIL PLATE 4.34 |
| I-9 | DOUBLE TYPE 'S' COMB. | 267.04 | 266.54 | 271.36 | SEE HOWARD CO.STD. DETAIL PLATE 4.34 |
| I-10 | DOUBLE TYPE 'S' COMB. | ----- | 267.80 | 271.36 | SEE HOWARD CO.STD. DETAIL PLATE 4.34 |
| I-11 | DOUBLE TYPE 'S' | 265.92 | 265.67 | 271.80 | SEE HOWARD CO.STD. DETAIL PLATE 4.22 |
| I-12 | TYPE 'S' | 266.24 | 266.04 | 270.80 | SEE HOWARD CO.STD. DETAIL PLATE 4.22 |
| I-13 | TYPE 'S' | 267.09 | 266.84 | 271.00 | SEE HOWARD CO.STD. DETAIL PLATE 4.22 |
| I-14 | TYPE 'S' | ----- | 267.20 | 272.00 | SEE HOWARD CO.STD. DETAIL PLATE 4.22 |
| I-15 | TYPE 'S' | 267.50 | 267.25 | 271.00 | SEE HOWARD CO.STD. DETAIL PLATE 4.22 |
| I-16 | TYPE 'S' | ----- | 267.62 | 272.00 | SEE HOWARD CO.STD. DETAIL PLATE 4.22 |
| I-17 | TYPE 'S' | 268.05 | 267.85 | 271.00 | SEE HOWARD CO.STD. DETAIL PLATE 4.22 |
| I-18 | TYPE 'S' | ----- | 268.17 | 272.00 | SEE HOWARD CO.STD. DETAIL PLATE 4.22 |

*TOP ELEVATION = TOP OF GRADE ELEVATION

MANHOLE SCHEDULE

| NO. | TYPE | INV. IN | INV. OUT | TOP ELEV | REMARKS |
|-----|-------------|---------|----------|----------|-------------------------------|
| M-1 | STD. 60" MH | 265.15 | 264.10 | 270.00 | SEE SHA STD. DETAIL MD.384.03 |
| M-2 | STD. 60" MH | 265.01 | 264.51 | 271.00 | SEE SHA STD. DETAIL MD.384.03 |

DRAINAGE AREA

| NO. | ACRES (AC) | COEFF. TO C" |
|-----|------------|--------------|
| A | 0.20 | 0.82 |
| B | 0.20 | 0.82 |
| C | 0.24 | 0.82 |
| D | 0.25 | 0.82 |
| E | 0.22 | 0.82 |
| F | 0.22 | 0.82 |
| G | 0.22 | 0.82 |
| H | 0.22 | 0.82 |
| I | 0.84 | 0.88 |
| J | 1.31 | 0.87 |
| K | 0.98 | 0.75 |
| L | 0.42 | 0.68 |
| M | 0.10 | 0.84 |
| N | 0.36 | 0.91 |
| O | 0.53 | 0.81 |
| P | 0.23 | 0.88 |
| R | 0.70 | 0.90 |
| S | 0.76 | 0.88 |

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division: *[Signature]* Date: 6/13/07

Chief, Land Development Division: *[Signature]* Date: 6/15/07

Director: *[Signature]* Date: 6/16/07

ADDRESS CHART

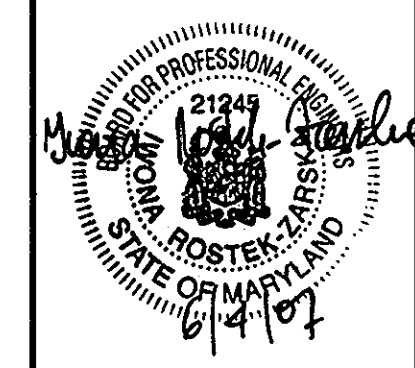
| LOT / PARCEL NO. | STREET ADDRESS |
|------------------|--------------------|
| PARCEL B-2 | 8935 STEPHENS ROAD |
| PARCEL C-2 | 8955 STEPHENS ROAD |

PERMIT INFORMATION CHART

| | | | | | |
|------------------|-----------------|----------------|---------|------------------|-----------|
| SUBDIVISION NAME | REVITZ PROPERTY | SECTION / AREA | N / A | LOT / PARCEL NO. | B-2 & C-2 |
| PLAT NO. | 18974 | GRID NO. | 20 | TAX MAP NO. | 47 |
| | | ZONING | PEC | ELEC. DIST. | 6TH |
| | | | | CENSUS TRACT | 6069-02 |
| WATER CODE | C-05 | SEWER CODE | 7142500 | | |

BLDG
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Consulting Engineers

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PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



OWNER / DEVELOPER
JAMES F. KNOTT DEVELOPMENT CORPORATION & EMERSON CORPORATE COMMONS LIMITED PARTNERSHIP

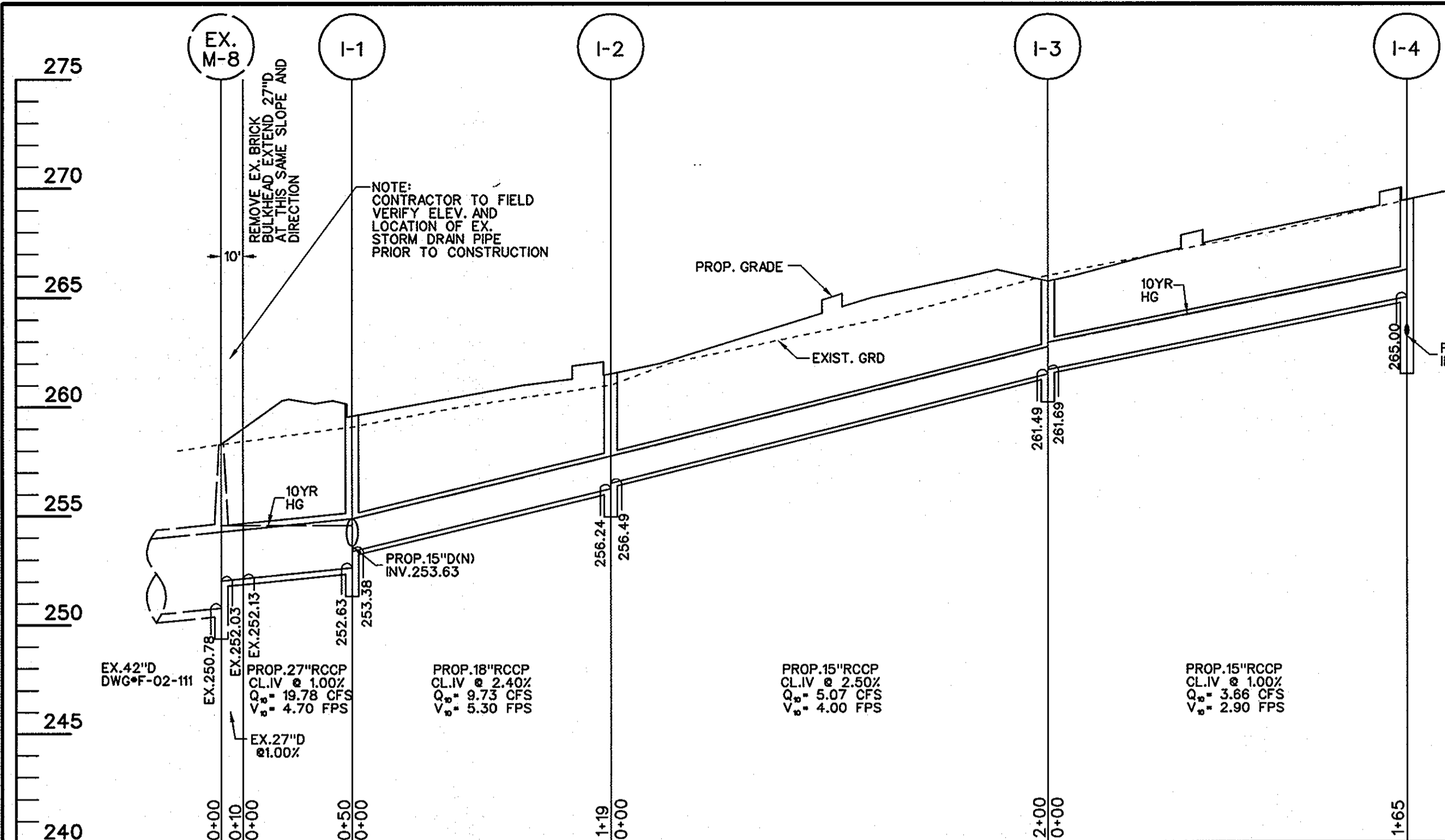
1 TEXAS STATION COURT
SUITE 200
TIMONIUM, MD 21093-8288
(443) 689-8000

| DATE | ITEM | BY |
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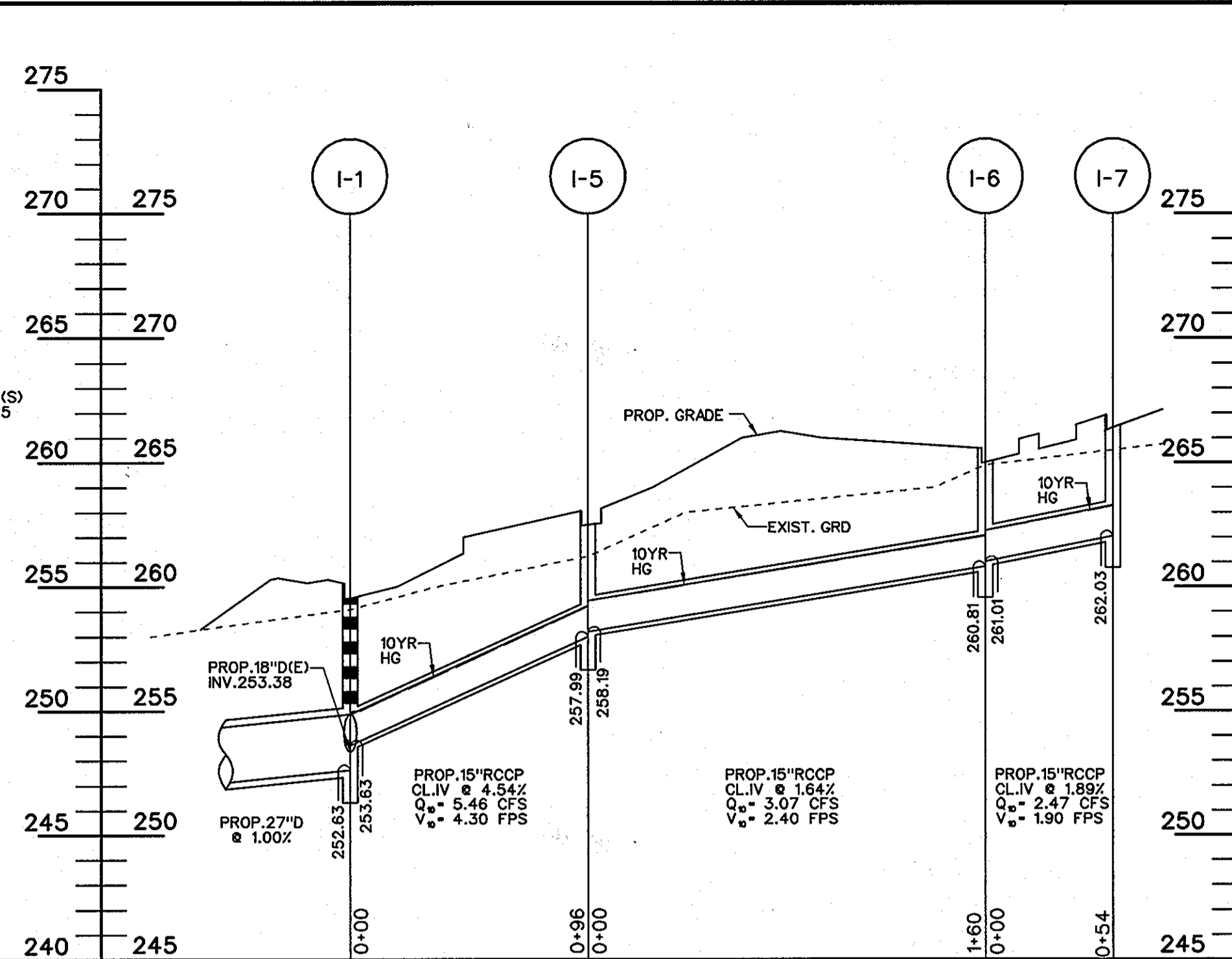
STORM DRAIN DRAINAGE AREA MAP
EMERSON CORPORATE COMMONS
PARCELS B-2 & C-2 (Revitz Property) (Plat # 18974)

HOWARD COUNTY, MARYLAND
SCALE: 1"=50'

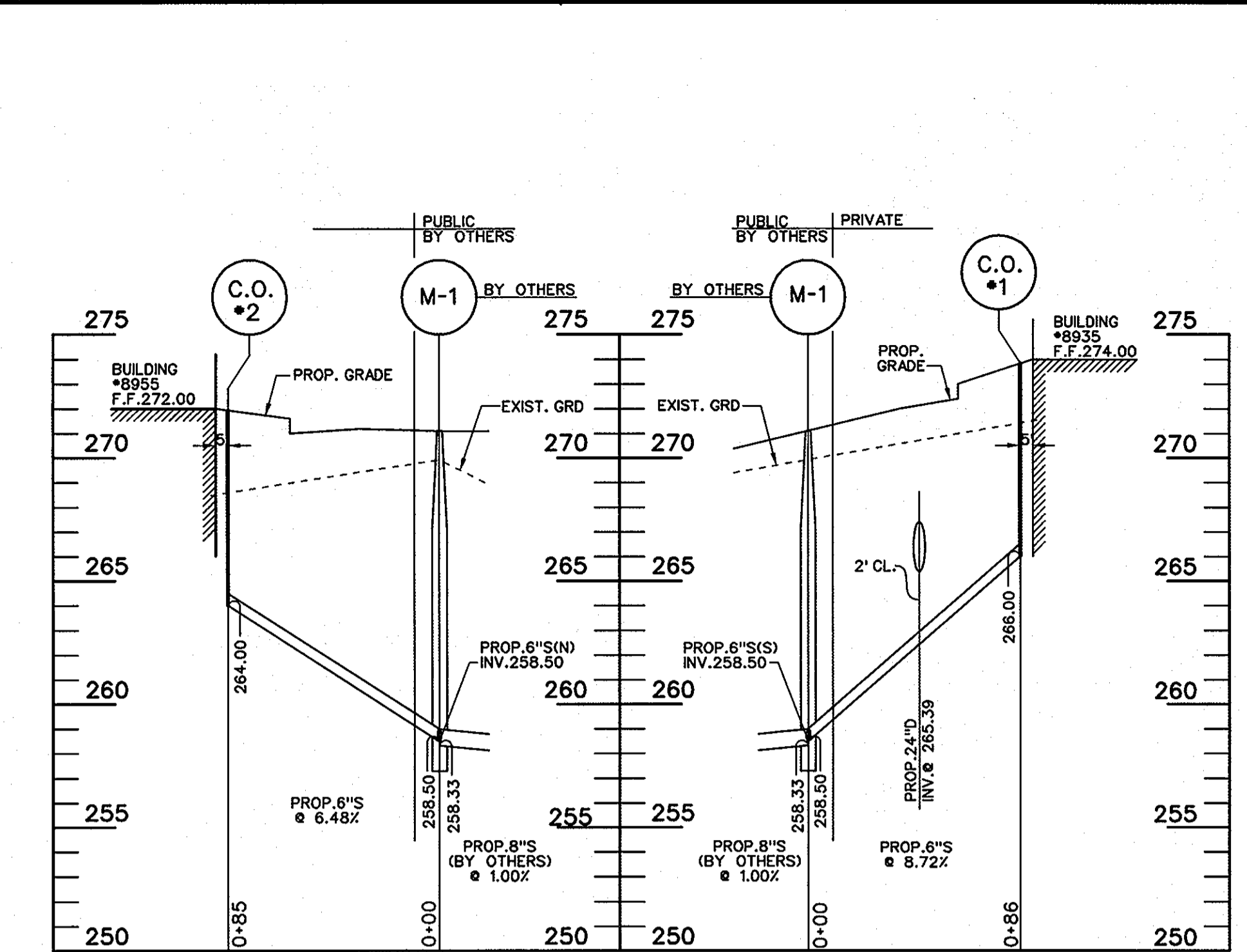
SHEET 6 OF 15
DATE: JUNE, 2007
SDP-07-037



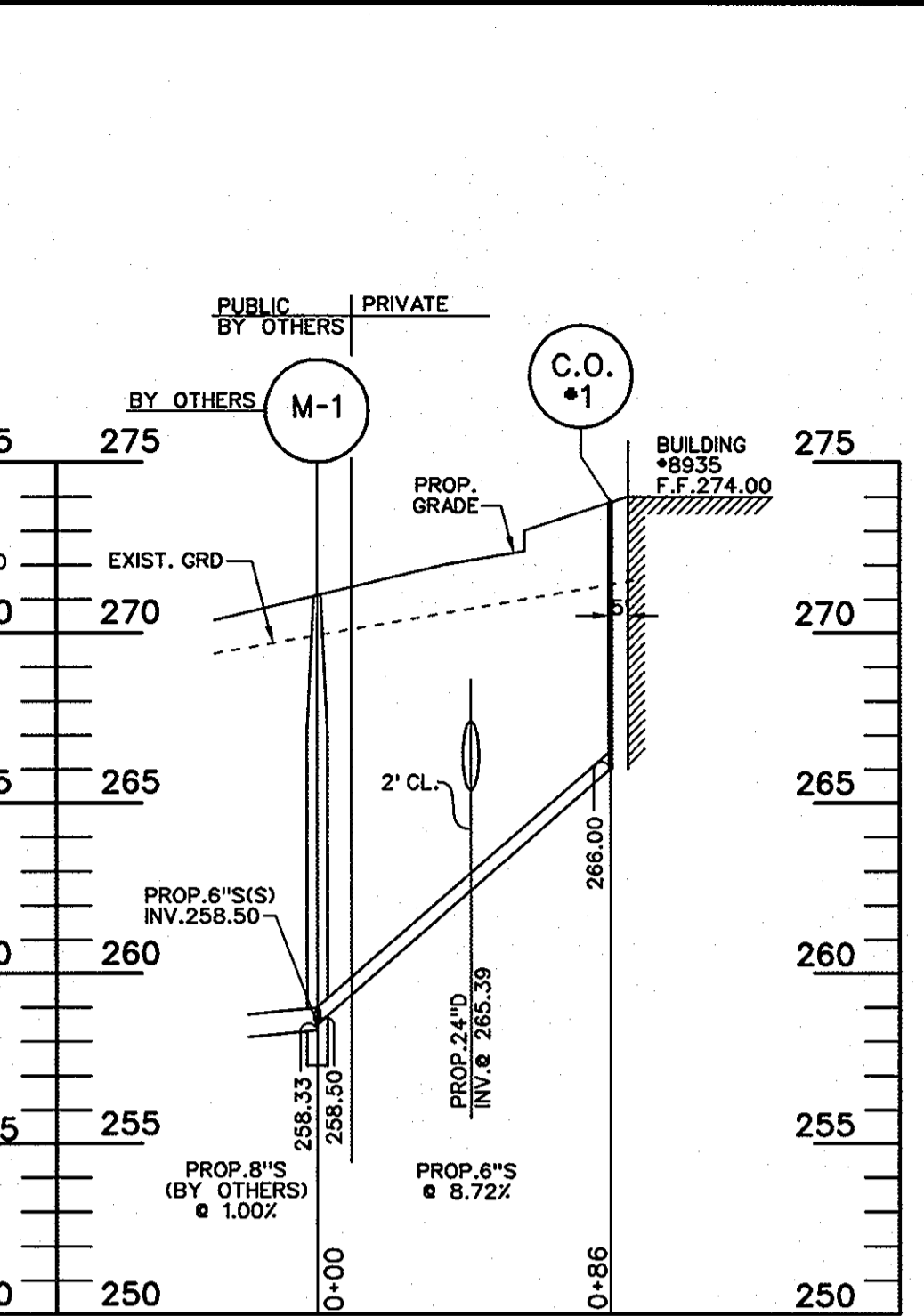
STORM DRAIN PROFILE
SCALE: H: 1" = 50'
V: 1" = 5'



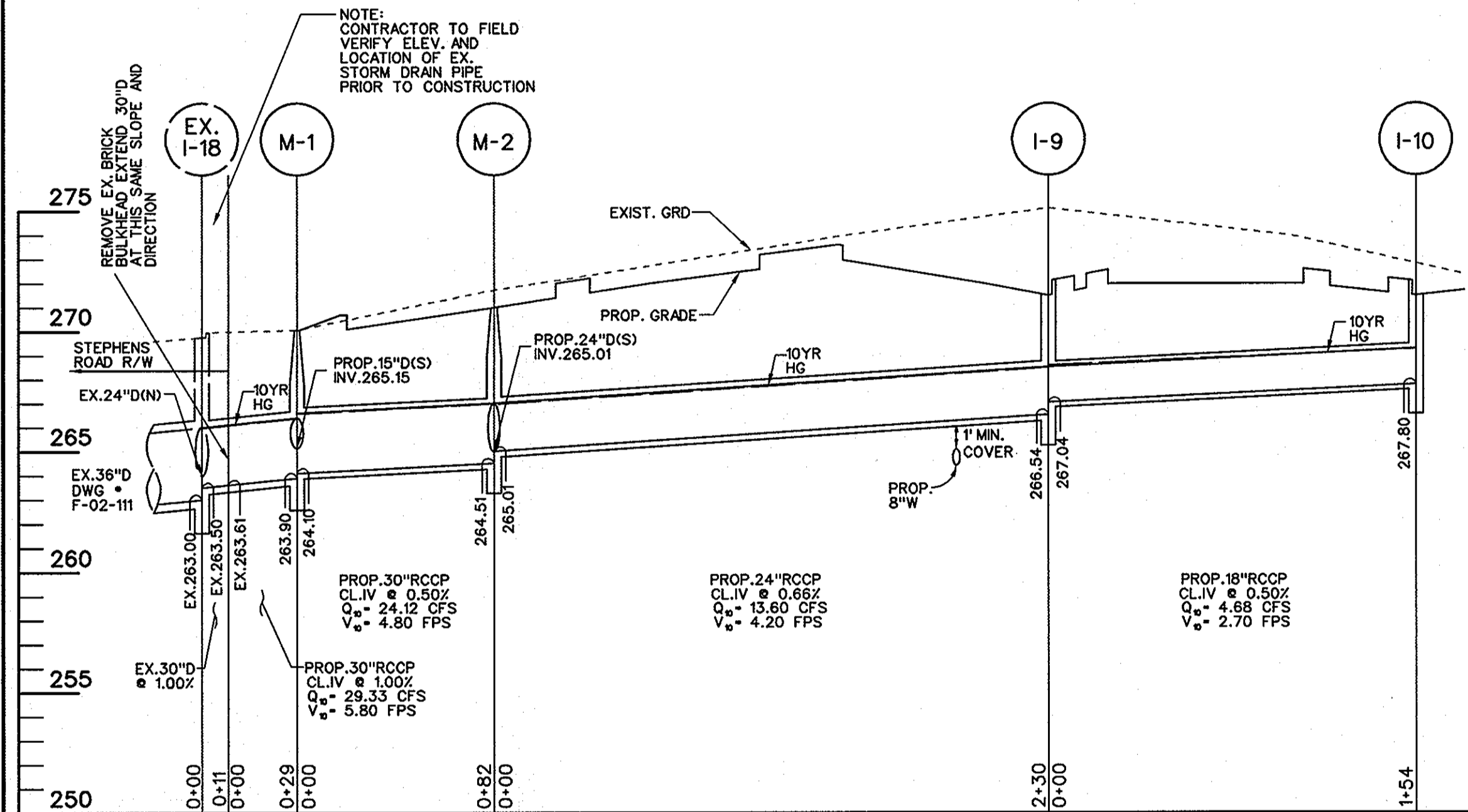
STORM DRAIN PROFILE
SCALE: H: 1" = 50'
V: 1" = 5'



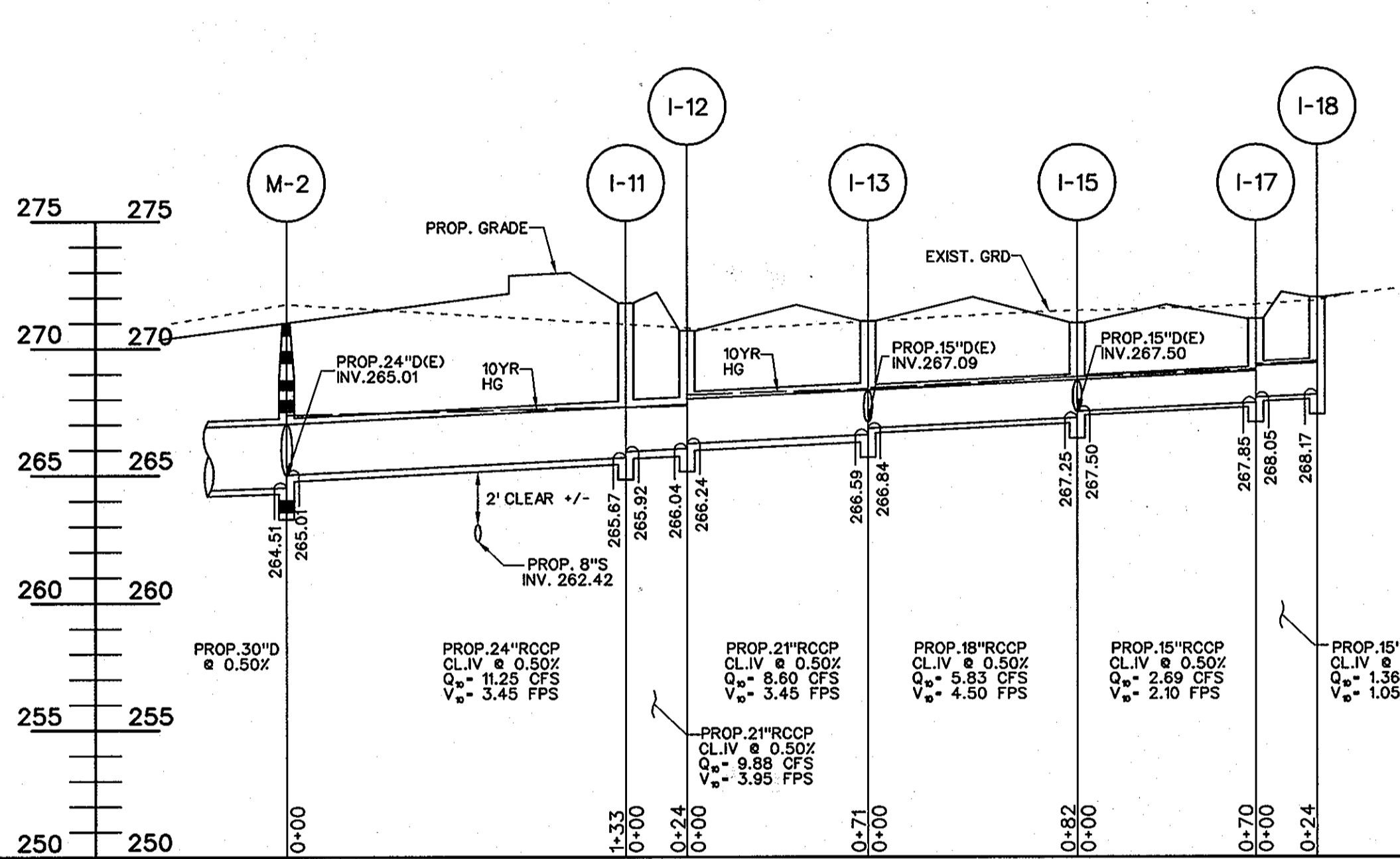
SANITARY SEWER PROFILE
SCALE: H: 1" = 50'
V: 1" = 5'



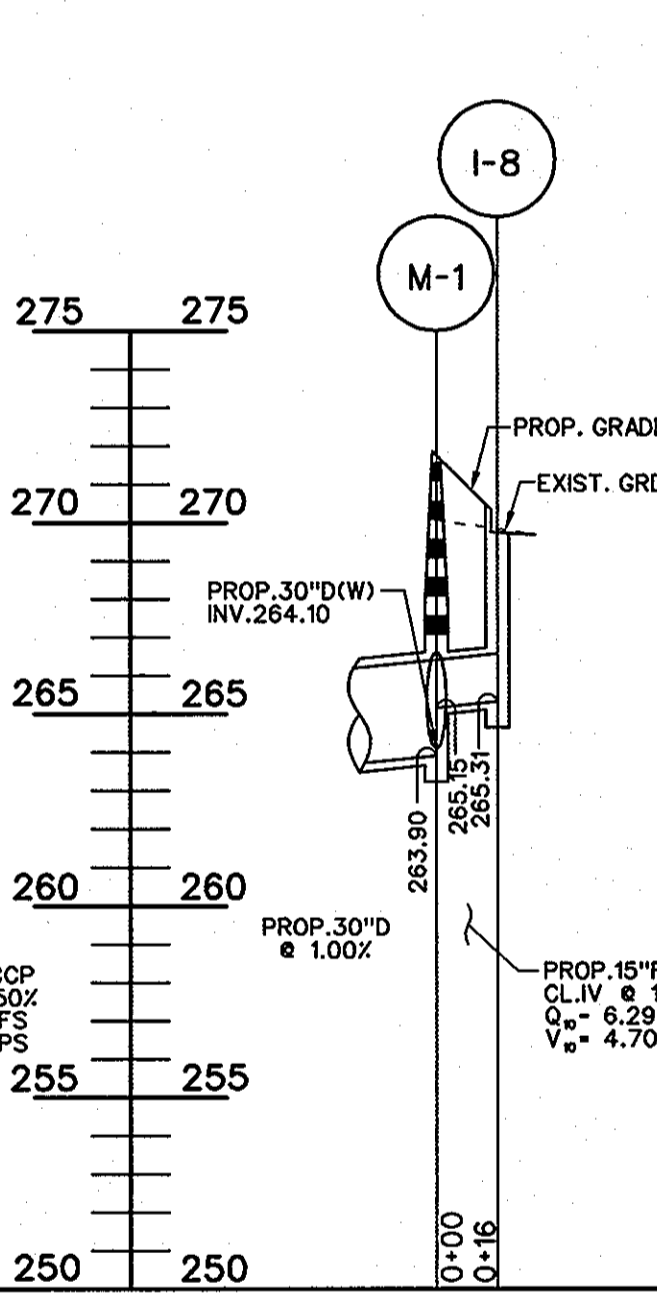
SANITARY SEWER PROFILE
SCALE: H: 1" = 50'
V: 1" = 5'



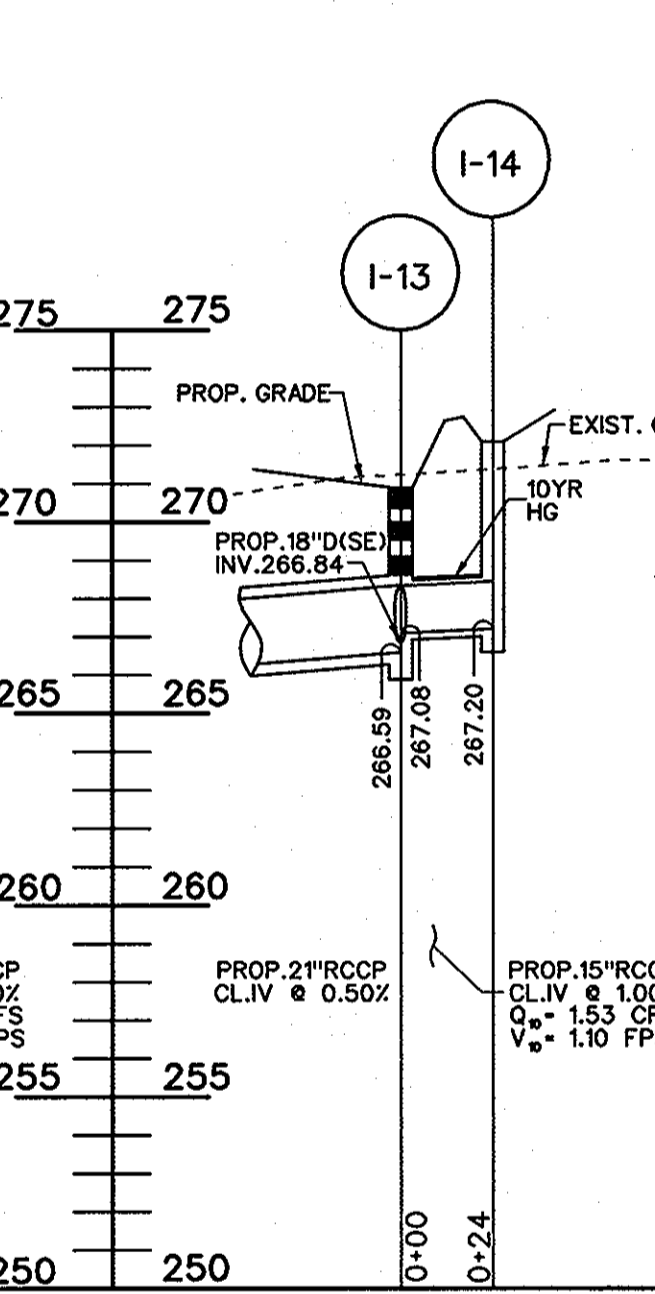
STORM DRAIN PROFILE
SCALE: H: 1" = 50'
V: 1" = 5'



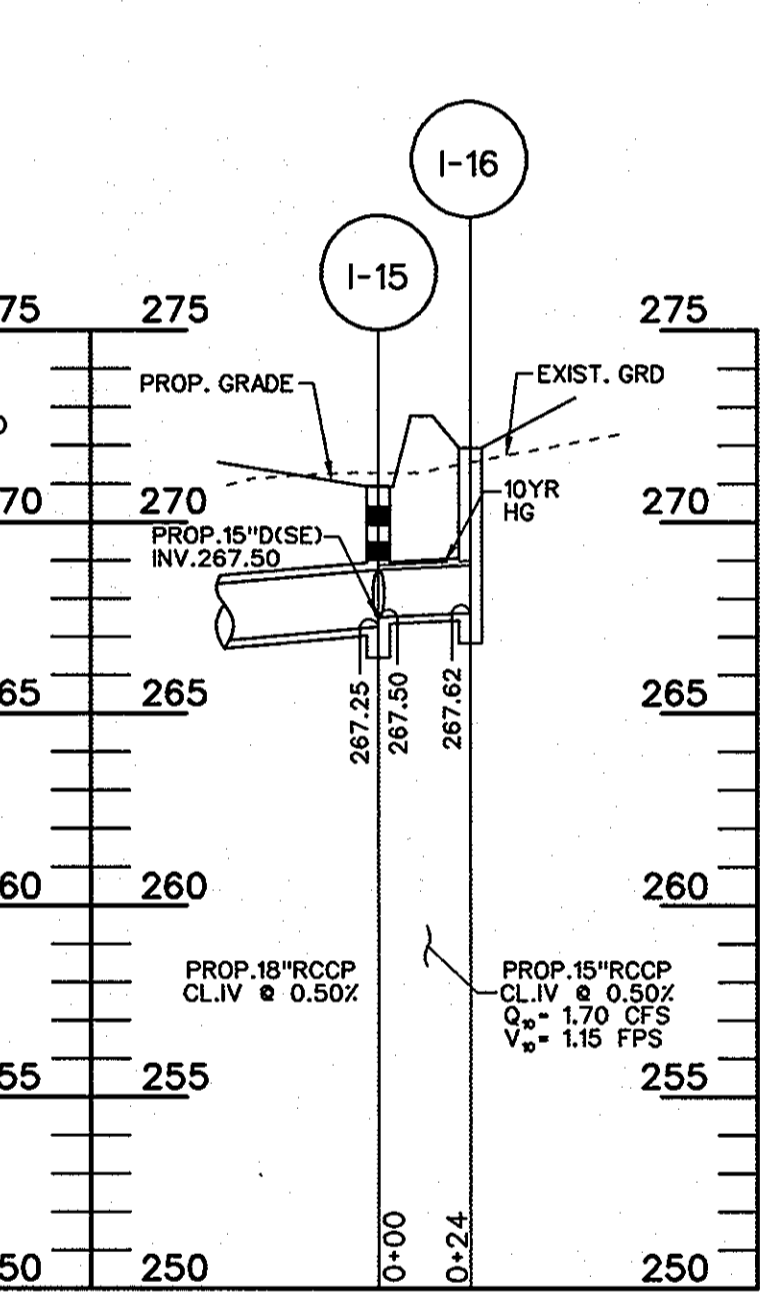
STORM DRAIN PROFILE
SCALE: H: 1" = 50'
V: 1" = 5'



STORM DRAIN PROFILE
SCALE: H: 1" = 50'
V: 1" = 5'



STORM DRAIN PROFILE
SCALE: H: 1" = 50'
V: 1" = 5'



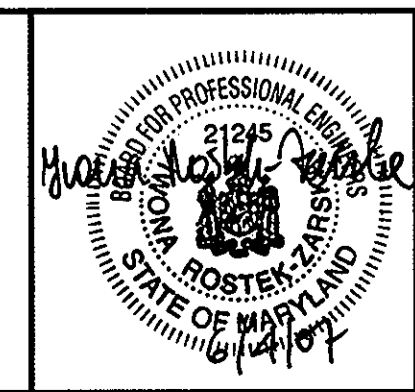
STORM DRAIN PROFILE
SCALE: H: 1" = 50'
V: 1" = 5'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division: [Signature] 6/18/07
 Chief, Land Development Division: [Signature] 6/18/07
 Director: [Signature] 6/18/07

| ADDRESS CHART | |
|------------------|--------------------|
| LOT / PARCEL NO. | STREET ADDRESS |
| PARCEL B-2 | 8935 STEPHENS ROAD |
| PARCEL C-2 | 8955 STEPHENS ROAD |

| PERMIT INFORMATION CHART | | | | | |
|--------------------------|----------|----------------|------------------|-------------|--------------|
| SUBDIVISION NAME | | SECTION / AREA | LOT / PARCEL NO. | | |
| REVITZ PROPERTY | | N / A | B-2 & C-2 | | |
| PLAT NO. | GRID NO. | ZONING | TAX MAP NO. | ELEC. DIST. | CENSUS TRACT |
| 18974 | 20 | PEC | 47 | 6TH | 6069-02 |
| WATER CODE | | | SEWER CODE | | |
| C-05 | | | 7142500 | | |

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 PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGRC.COM



OWNER / DEVELOPER
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 EMERSON CORPORATE COMMONS
 LIMITED PARTNERSHIP
 1 TEXAS STATION COURT
 SUITE 200
 TIMONIUM, MD 21093-8288
 (443) 689-8000

| DATE | ITEM | BY |
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UTILITY PROFILES
EMERSON CORPORATE COMMONS
 PARCELS B-2 & C-2 (Revitz Property) (Plat # 18974)
 HOWARD COUNTY, MARYLAND
 SCALE: 1" = 50'
 SHEET 7 OF 48
 DATE: JUNE, 2007
 SDP-07-037

SEDIMENT CONTROL STANDARD GENERAL NOTES

- A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF PERMITS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (313-1855).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL".
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
 - SEVEN CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERMITTED SLOPES AND ALL SLOPES GREATER THAN 3%.
 - FOURTEEN DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" FOR PERMANENT SEEDINGS, SODS, TEMPORARY SEEDING, AND MULCHING (SECTION C). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:

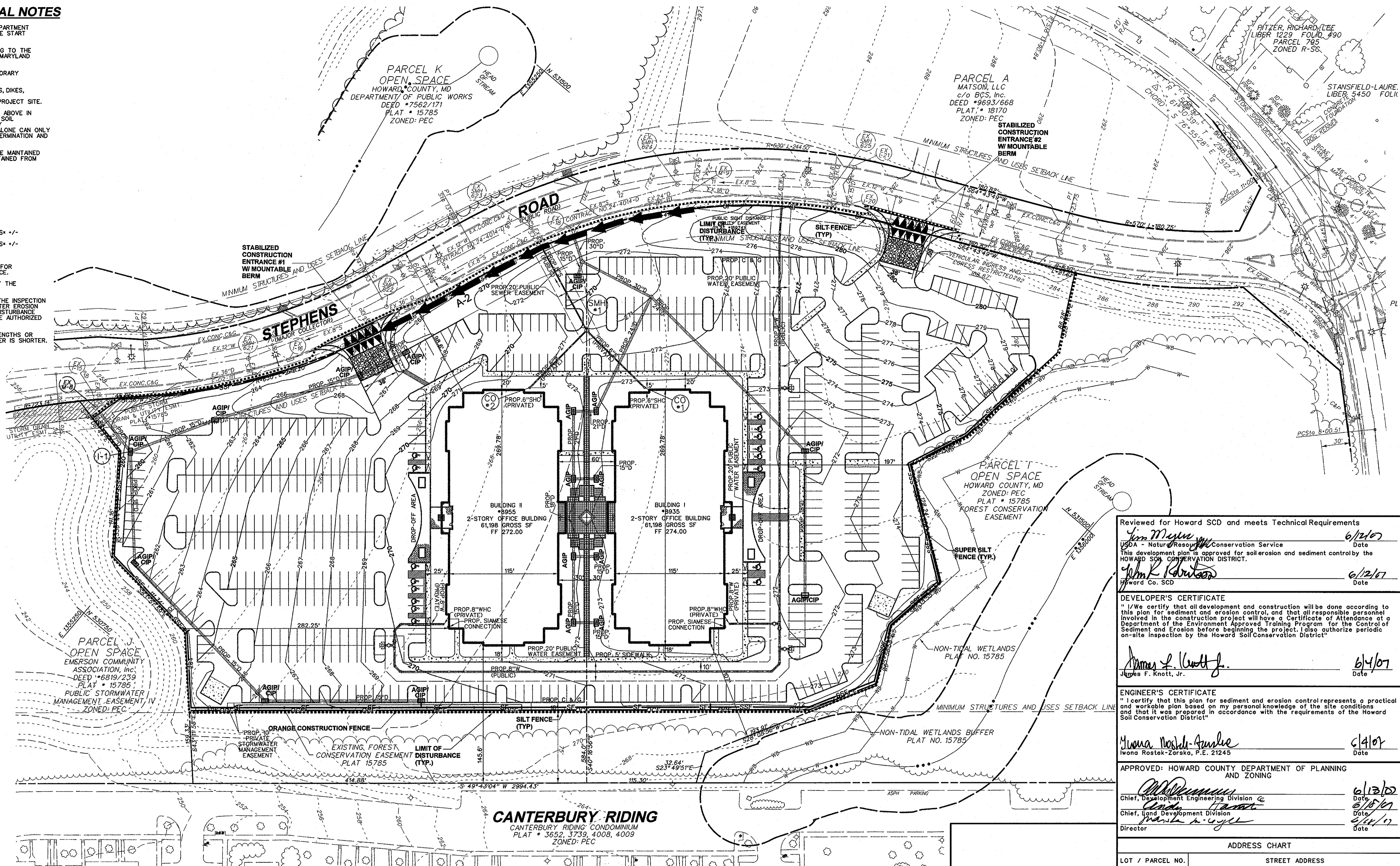
| | | |
|---|--------|-----------------|
| TOTAL AREA OR SITE | 10.106 | ACRES +/- |
| AREA DISTURBED | 9.020 | ACRES +/- |
| AREA TO BE ROOFED OR PAVED | 6.450 | ACRES +/- |
| AREA TO BE VEGETATIVELY STABILIZED | 2.570 | ACRES +/- |
| TOTAL CUT | 17,000 | CUBIC YARDS +/- |
| TOTAL FILL | 17,000 | CUBIC YARDS +/- |
| OFF-SITE WASTE/BORROW AREA LOCATION WASTE | N/A | |
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY DPW SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE DAY, WHICHEVER IS SHORTER.
- STOCKPILING WILL NOT BE PERMITTED ON SITE.
- EARTH QUANTITY VOLUMES ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. CONTRACTOR IS ADVISED TO PERFORM HIS OWN ANALYSIS PRIOR TO PLACING A BID ON THIS ITEM.

LEGEND

| | |
|--|-----------|
| RIGHT-OF-WAY LINE | --- |
| PROPERTY LINE | --- |
| EX. CONCRETE CURB & GUTTER | EX.C&G |
| EX. STORM DRAIN, MANHOLE & INLET | EX.15"D |
| EX. SANITARY SEWER, MANHOLE & CLEANOUT | EX.8"S |
| EX. WATER MAIN, VALVE & FIRE HYDRANT | EX.12"W |
| EX. ELECTRIC LINE & TRANSFORMER | E |
| EX. GAS LINE & VALVE | G |
| EX. LIGHT POLE | * |
| EX. TELEPHONE LINE | T |
| EX. TREE | T |
| EX. INDEX CONTOURS | 260 |
| EX. INTERMEDIATE CONTOURS | 262 |
| EX. CONCRETE CURB & GUTTER TO BE REMOVED | PROPC&G |
| PROP. CONCRETE CURB & GUTTER | PROPC&G |
| PROP. STORM DRAIN, MANHOLE & INLET | PROP.15"D |
| PROP. SANITARY SEWER, MANHOLE & CLEANOUT | PROP.8"S |
| PROP. WATER MAIN, VALVE & FIRE HYDRANT | PROP.8"W |
| PROP. INDEX CONTOURS | 270 |
| PROP. INTERMEDIATE CONTOURS | 272 |
| EX. LIMIT OF WETLAND | W |
| EX. 25' WETLAND BUFFER | WB |
| EX. STREAM BUFFER | WB |

SEDIMENT CONTROL LEGEND

| | |
|----------------------------------|-------|
| LIMIT OF DISTURBANCE | ----- |
| ORANGE CONSTRUCTION FENCE | OCF |
| SILT FENCE | SF |
| SUPER SILT FENCE | SSF |
| STABILIZED CONSTRUCTION ENTRANCE | SCE |
| MOUNTABLE BERM TYPE A | ▲▲▲▲ |
| EARTH DIKE TYPE A | →→→→ |
| STANDARD INLET PROTECTION | SIP |
| AT GRADE INLET PROTECTION | AGIP |
| CURB INLET PROTECTION | CIP |



SEQUENCE OF OPERATION

- NOTIFY HOWARD COUNTY DEPARTMENT OF PERMITS AND LICENSES 48 HOURS PRIOR TO BEGINNING WORK. (1 DAY)
- INSTALL STABILIZED CONSTRUCTION ENTRANCES AS SHOWN ON THE PLAN. (1 DAY)
- INSTALL ORANGE CONSTRUCTION FENCE, SILT FENCE, SUPER SILT FENCE AND EARTH DIKE AS SHOWN ON THE PLAN. (3 DAYS)
- WITH PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR BEGIN GRADING OPERATIONS. MAINTAIN POSITIVE DRAINAGE TO SEDIMENT CONTROL MEASURES AND DEVICES AT ALL TIMES. (60 DAYS)
- AS WORK PROGRESSES BEGIN INSTALLATION OF UTILITIES EXCEPT FOR RECHARGE FACILITY. PROVIDE INLET PROTECTION FOR NEWLY INSTALLED INLETS. (6 DAYS)
- BEGIN CONSTRUCTION OF PROPOSED BUILDINGS. (20 DAYS)
- PROCEED WITH GRADING OPERATIONS AND CONTINUE BUILDING CONSTRUCTION. INSTALL RECHARGE FACILITY. (15 DAYS)
- FINE GRADE ALL AREAS. INSTALL CONCRETE CURB & GUTTER AND STONE SUB-BASE. (12 DAYS)
- AFTER ALL AREAS DRAINING TO THE SEDIMENT CONTROL MEASURE AND DEVICES ARE VEGETATIVELY STABILIZED AND WITH PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR, REMOVE ALL REMAINING SEDIMENT CONTROL MEASURES AND DEVICES AND PROCEED WITH PAVING AND LANDSCAPING. (5 DAYS)

LIMIT OF DISTURBANCE = 392,925 SF or 9.02 AC +/-

| OWNER / DEVELOPER | DATE | ITEM | BY |
|--|------|------|----|
| JAMES F. KNOTT DEVELOPMENT CORPORATION & EMERSON CORPORATE COMMONS LIMITED PARTNERSHIP | | | |
| 1 TEXAS STATION COURT SUITE 200 TIMONIUM, MD 21093-8288 (443) 689-8000 | | | |

Reviewed for Howard SCD and meets Technical Requirements
 Jim Mullen
 USDA - Natural Resources Conservation Service
 Date: 6/12/07

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
 Wm. K. Knott, Jr.
 Howard Co. SCD
 Date: 6/12/07

DEVELOPER'S CERTIFICATE
 I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
 James F. Knott, Jr.
 Date: 6/14/07

ENGINEER'S CERTIFICATE
 I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 Iwona Rostek-Zorska
 Date: 6/14/07

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Land Development Division
 Director
 Date: 6/13/07
 Date: 6/15/07
 Date: 6/14/07

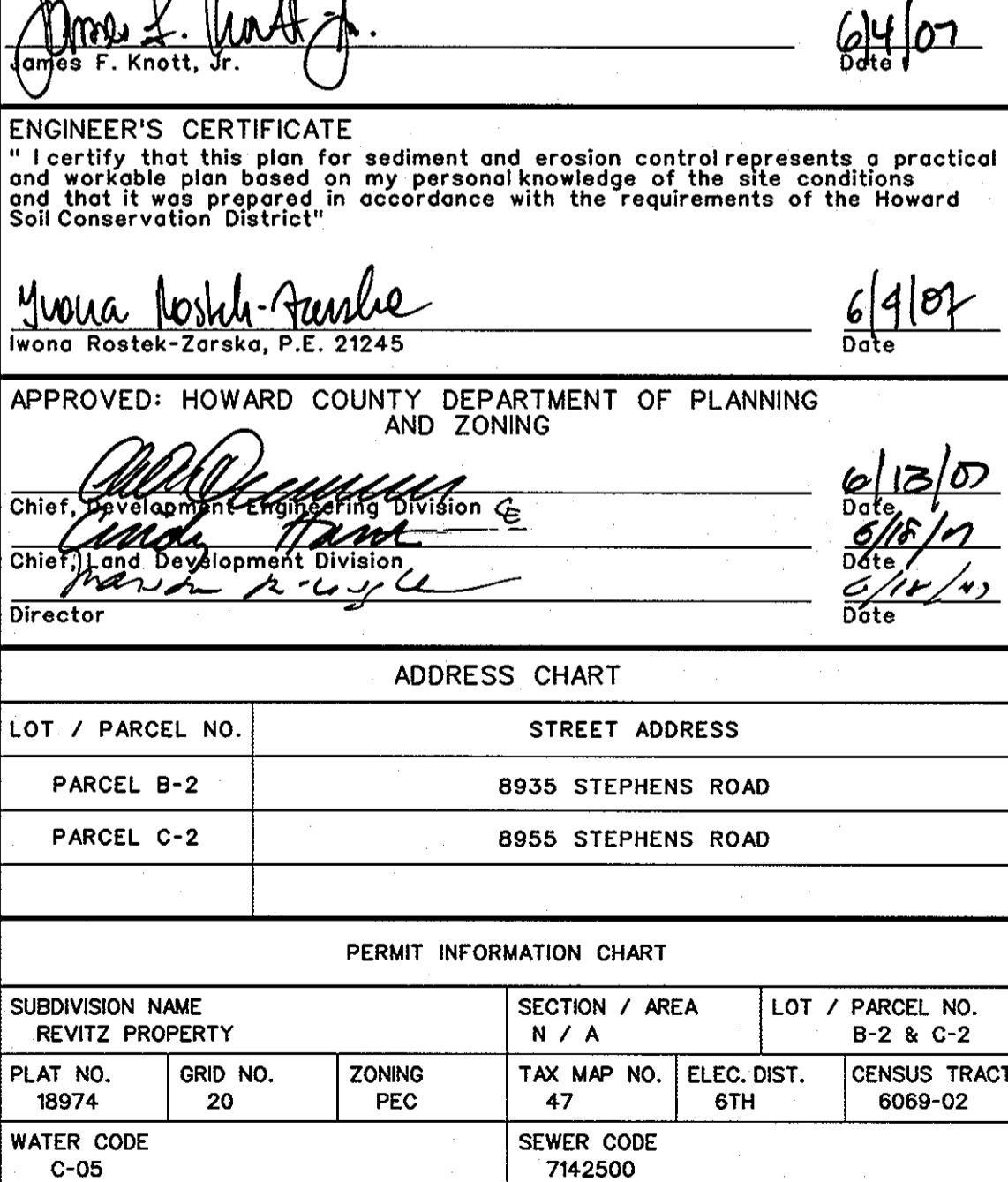
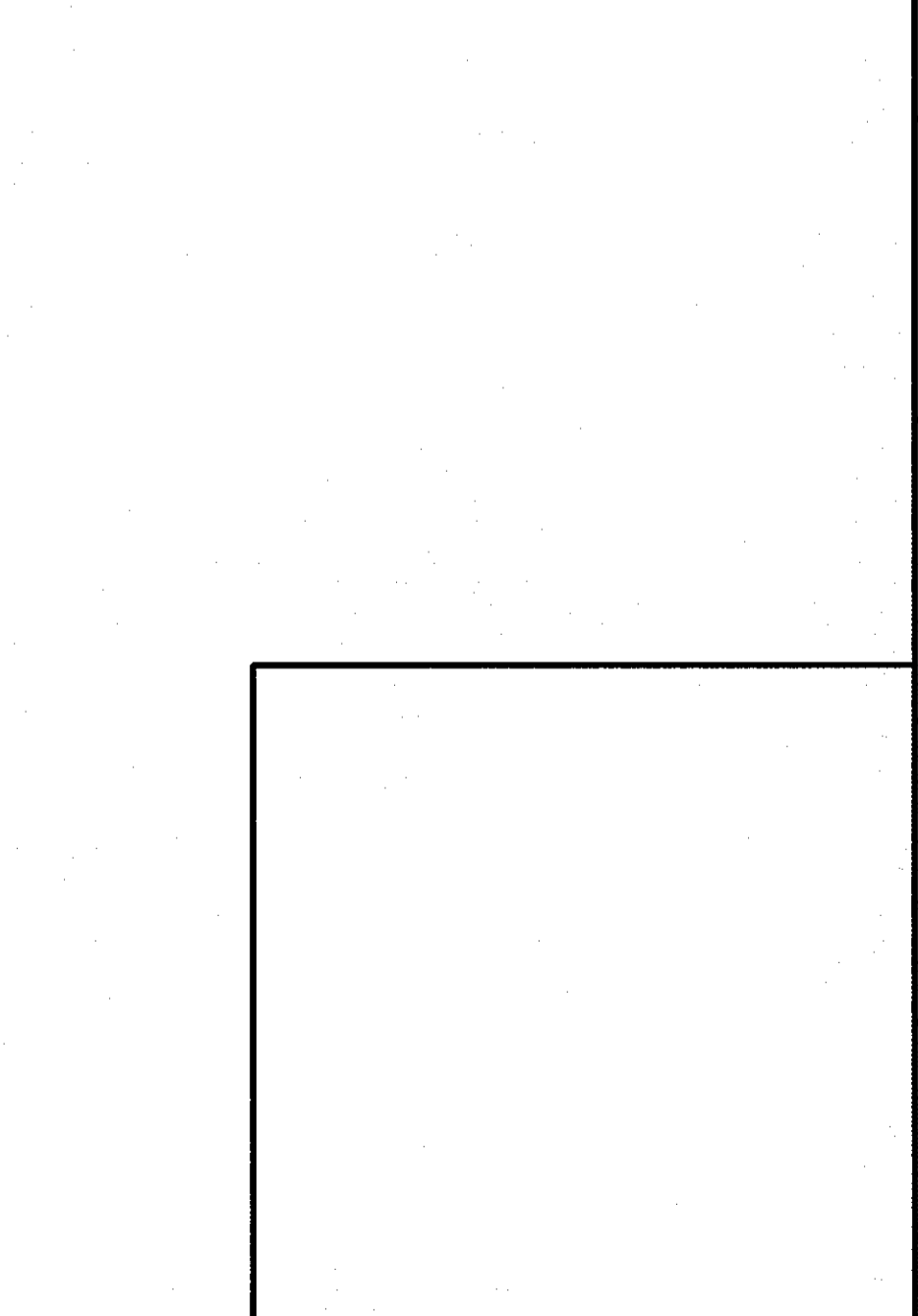
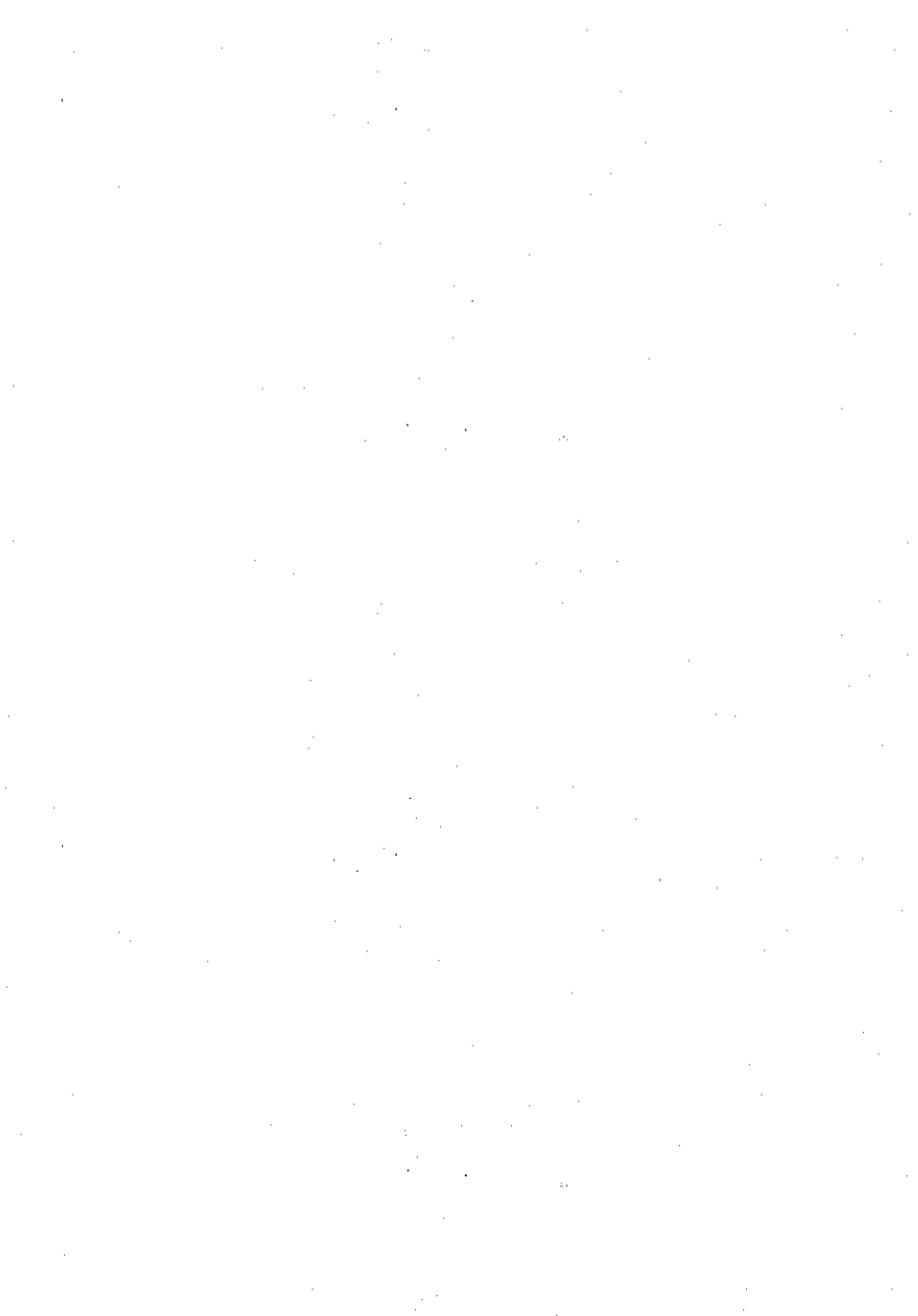
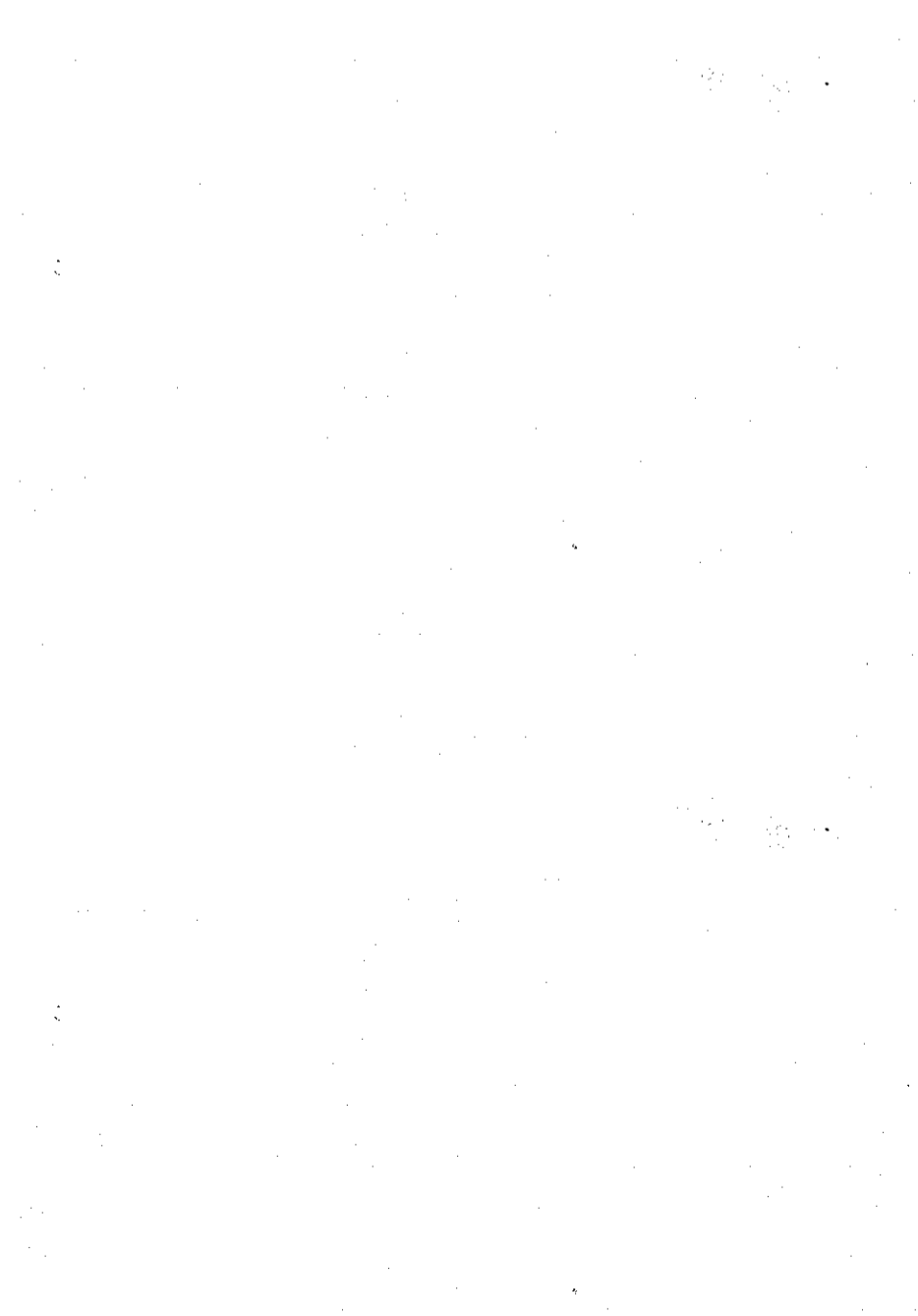
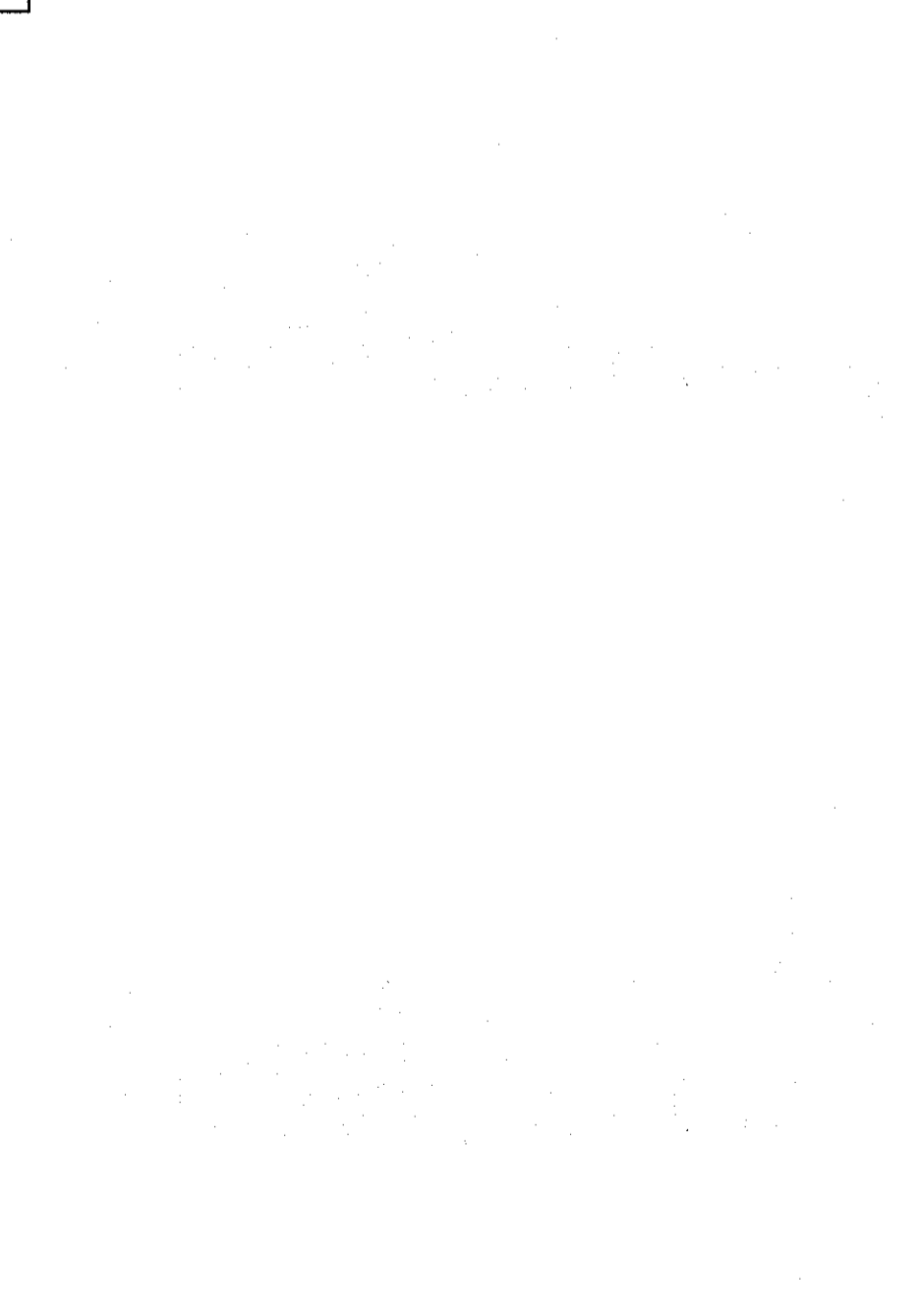
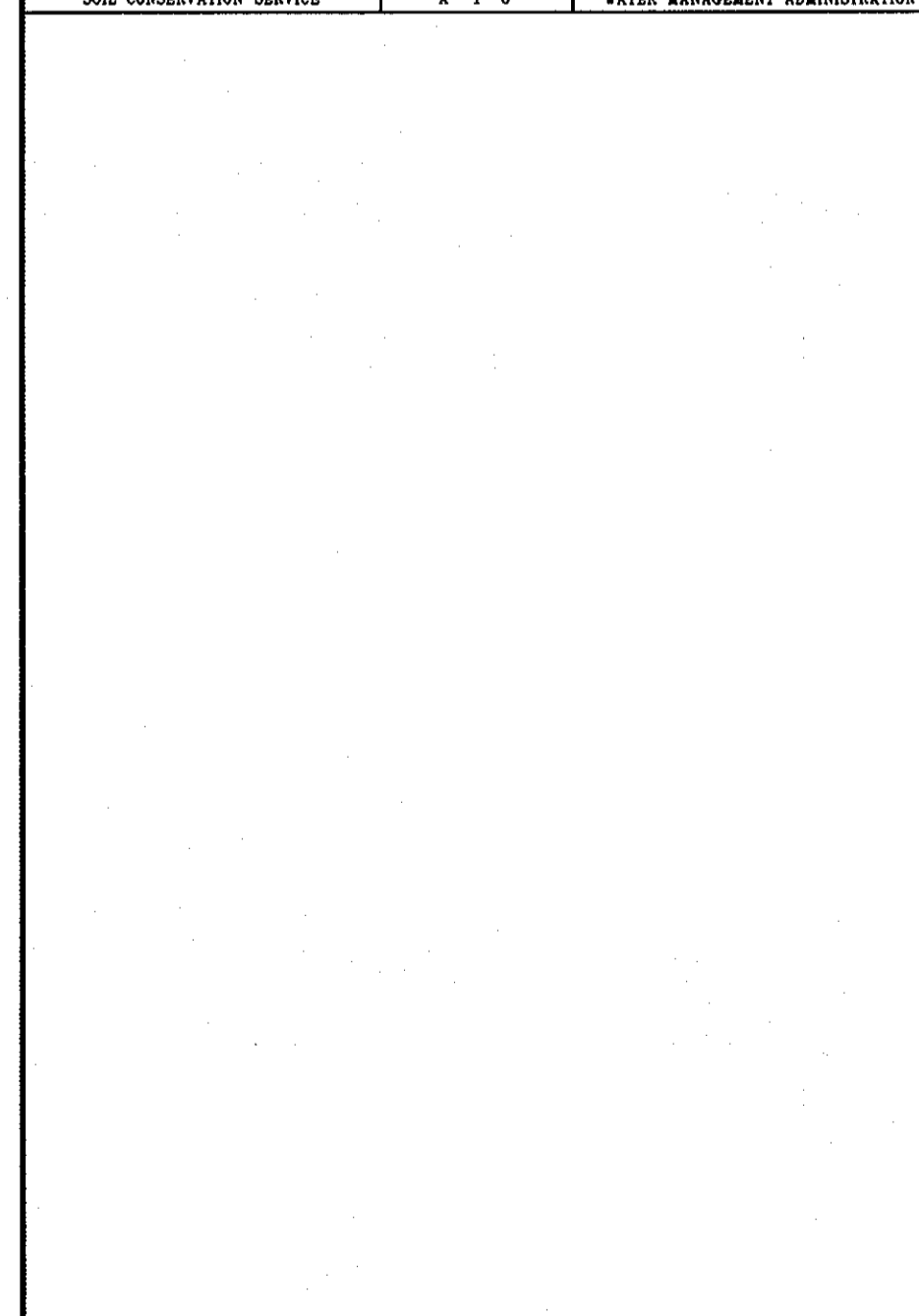
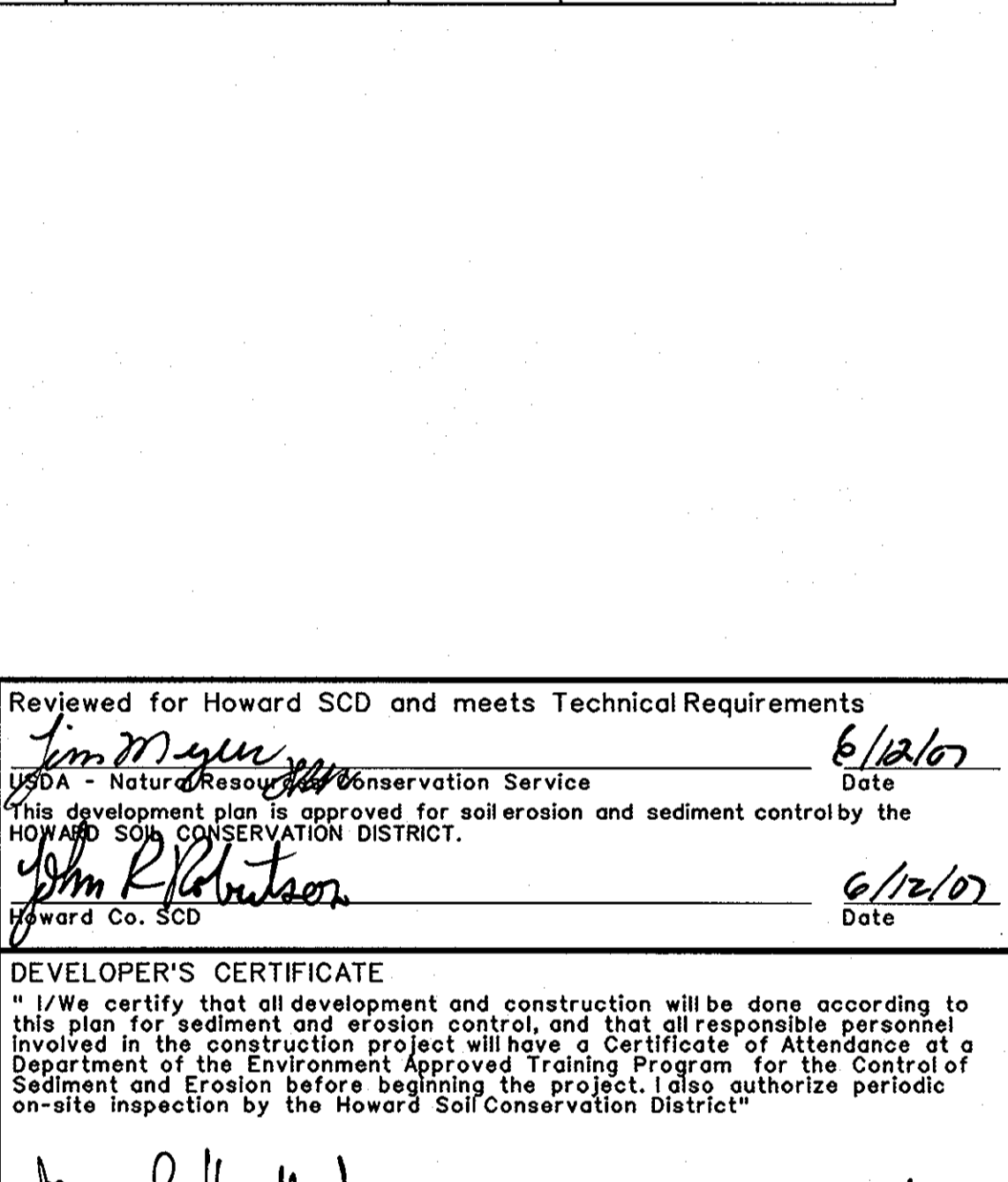
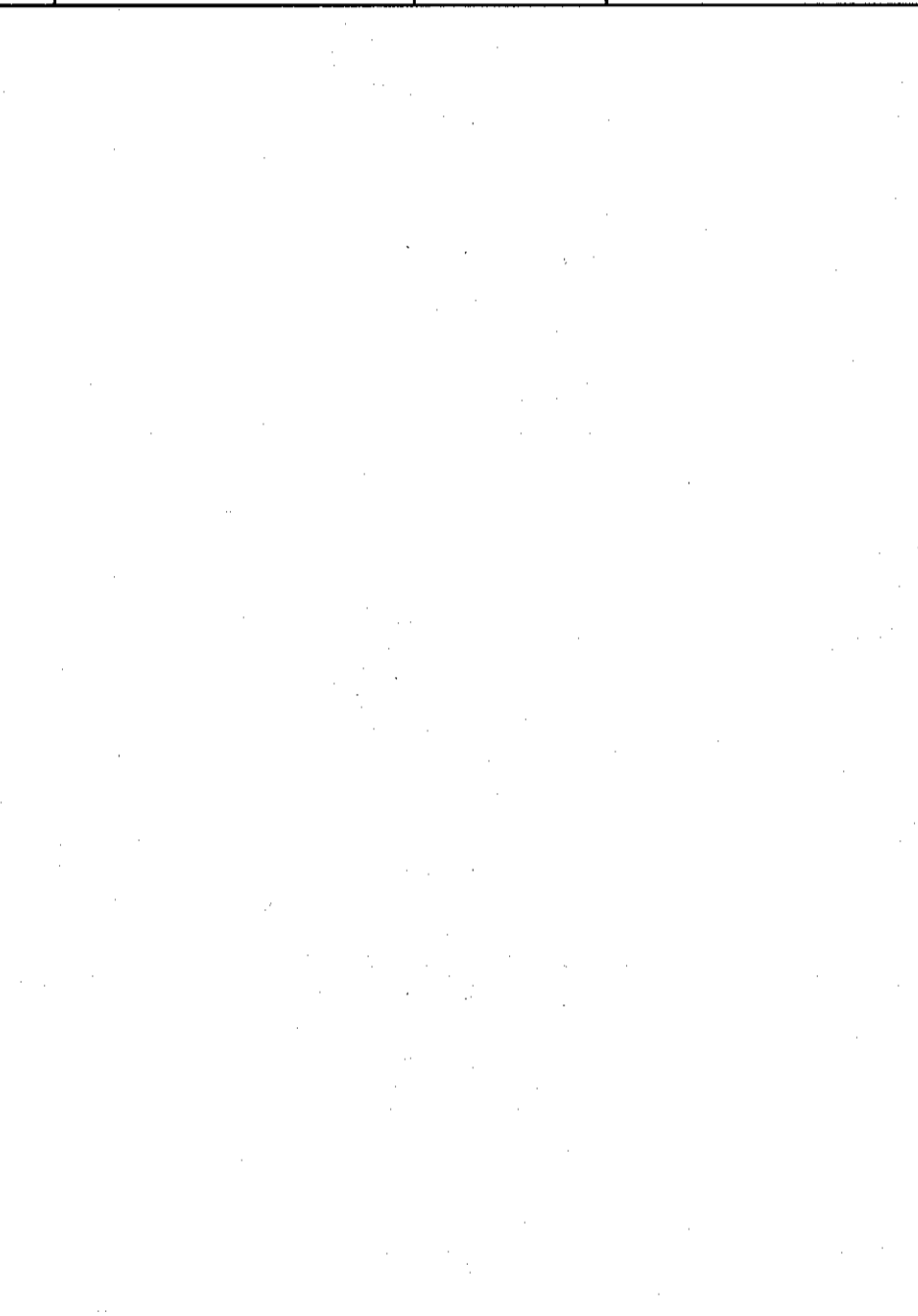
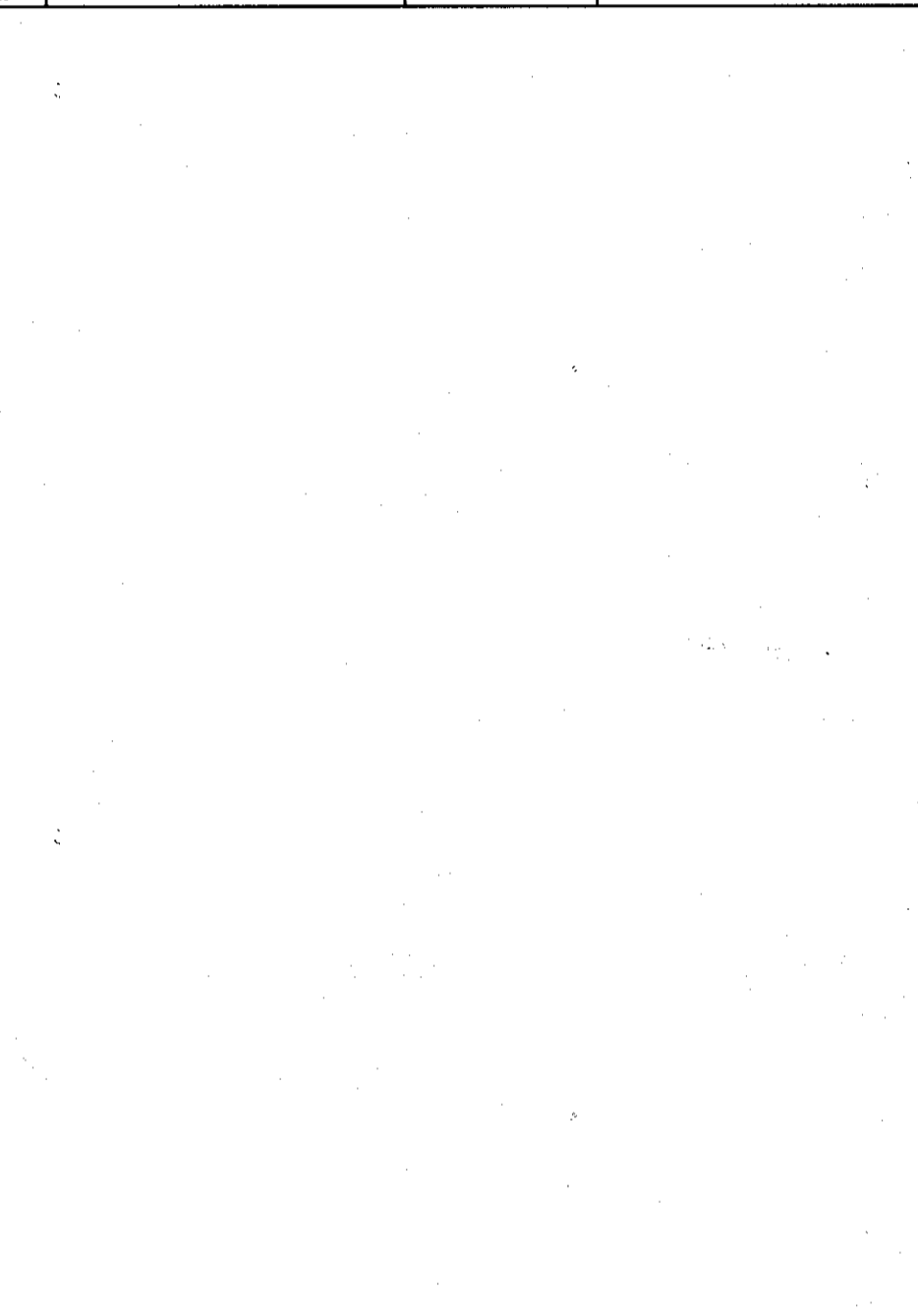
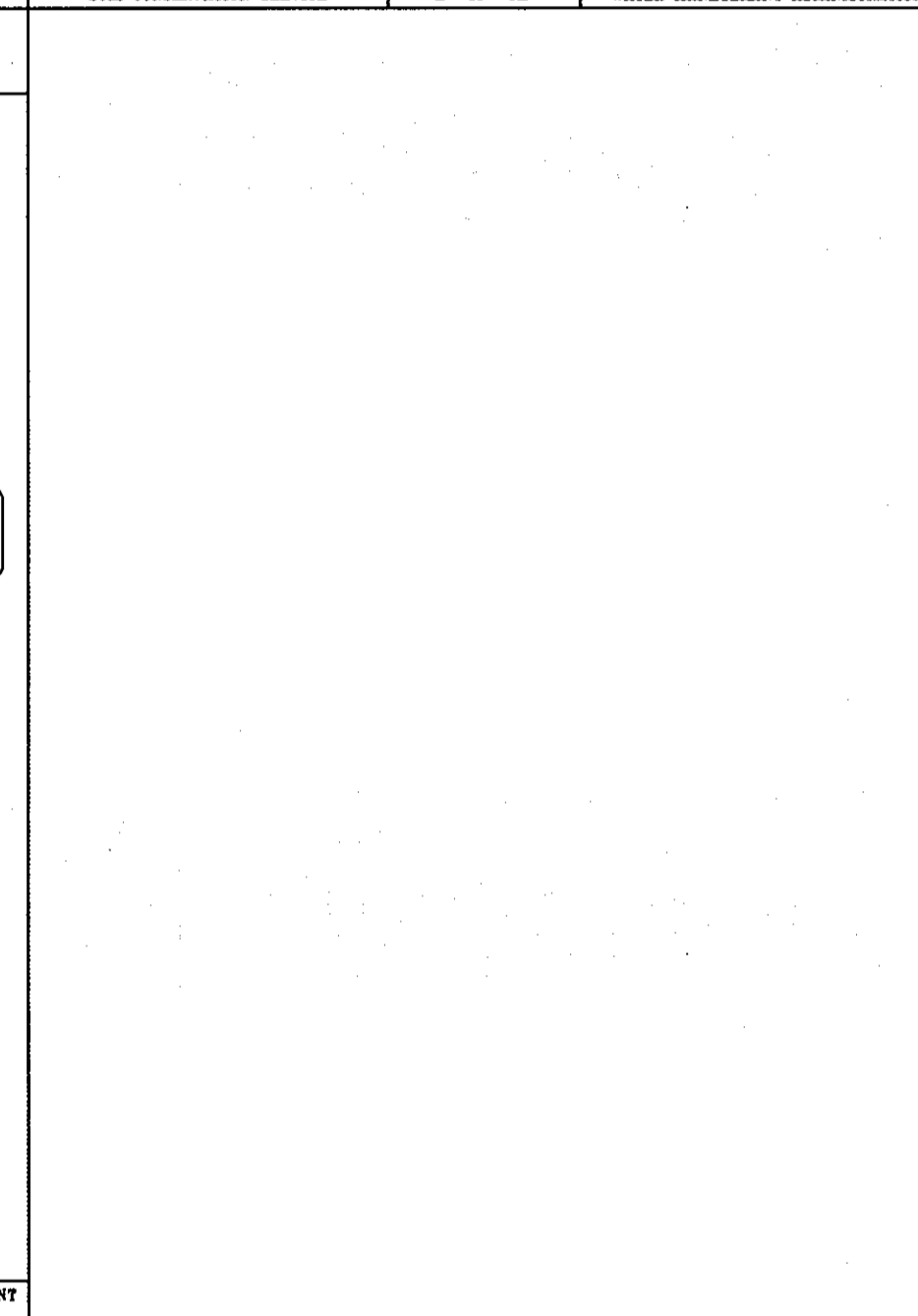
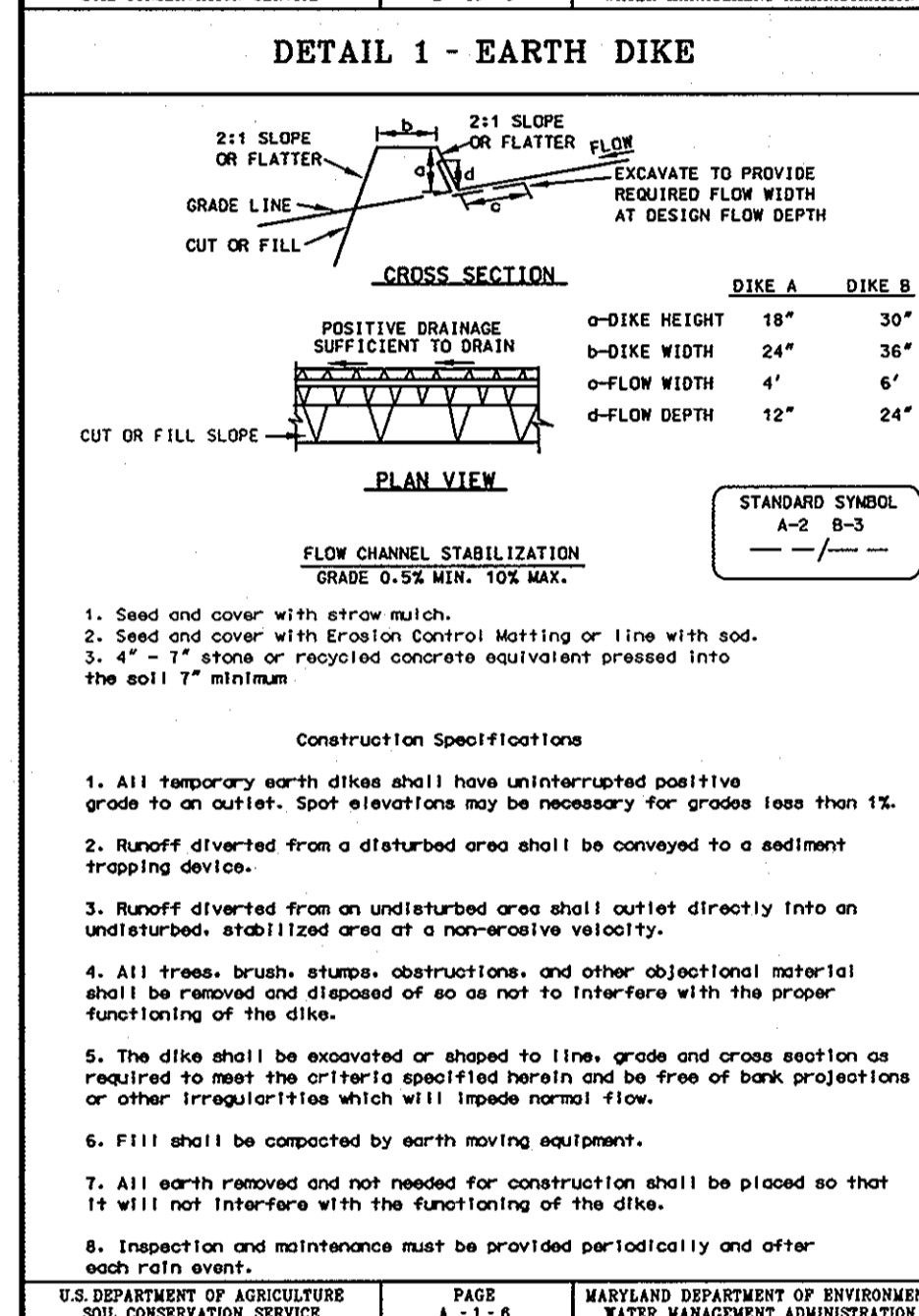
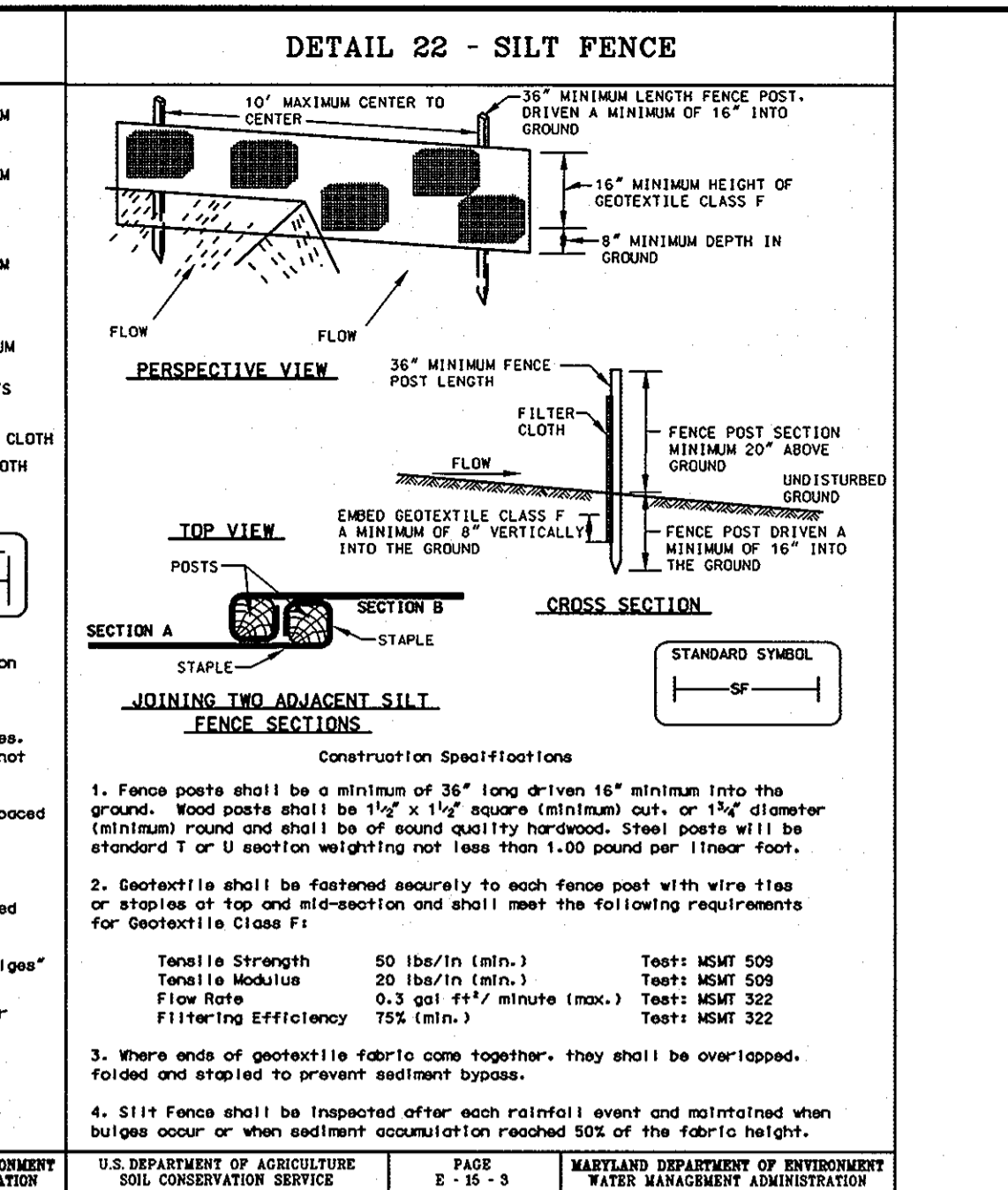
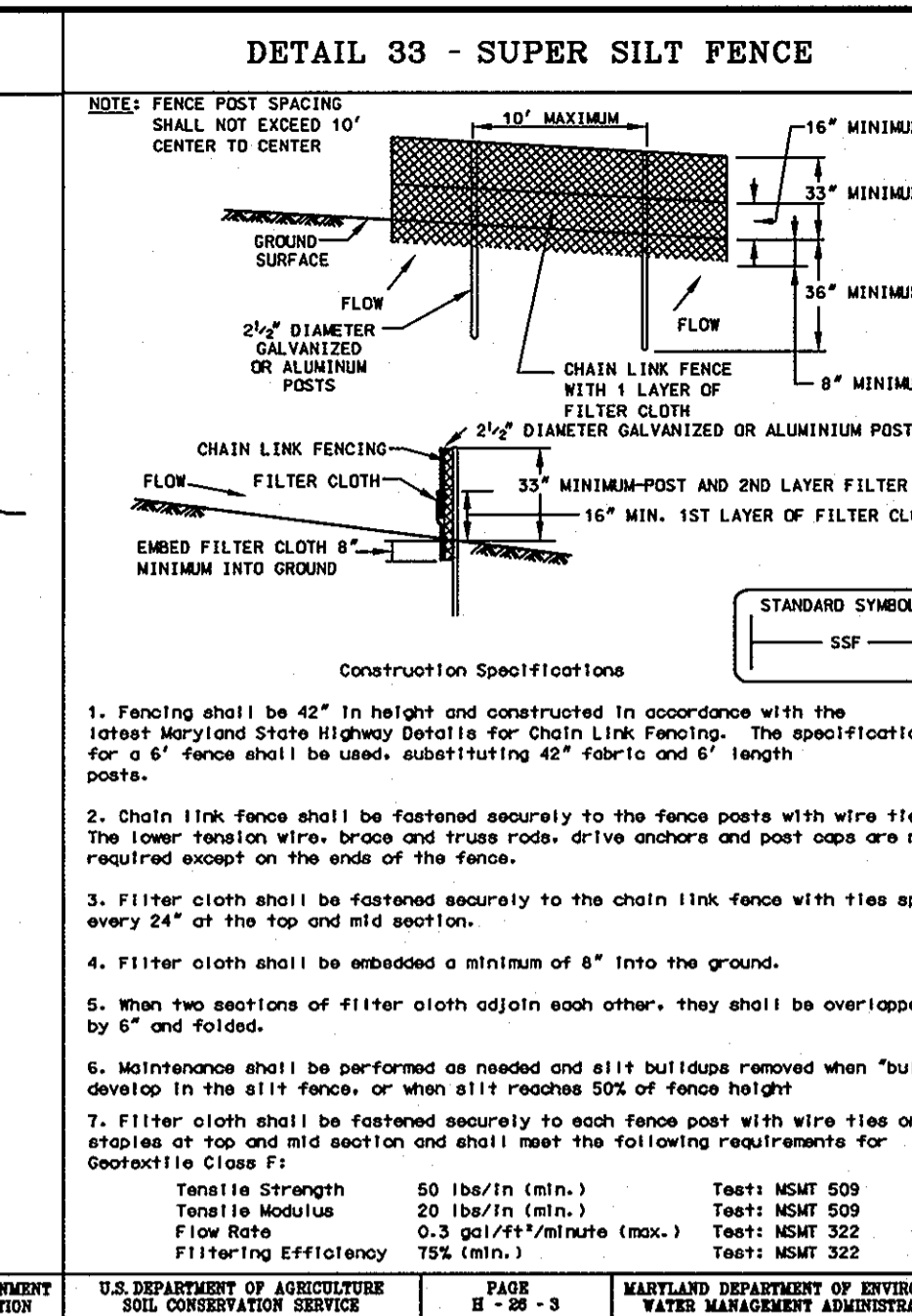
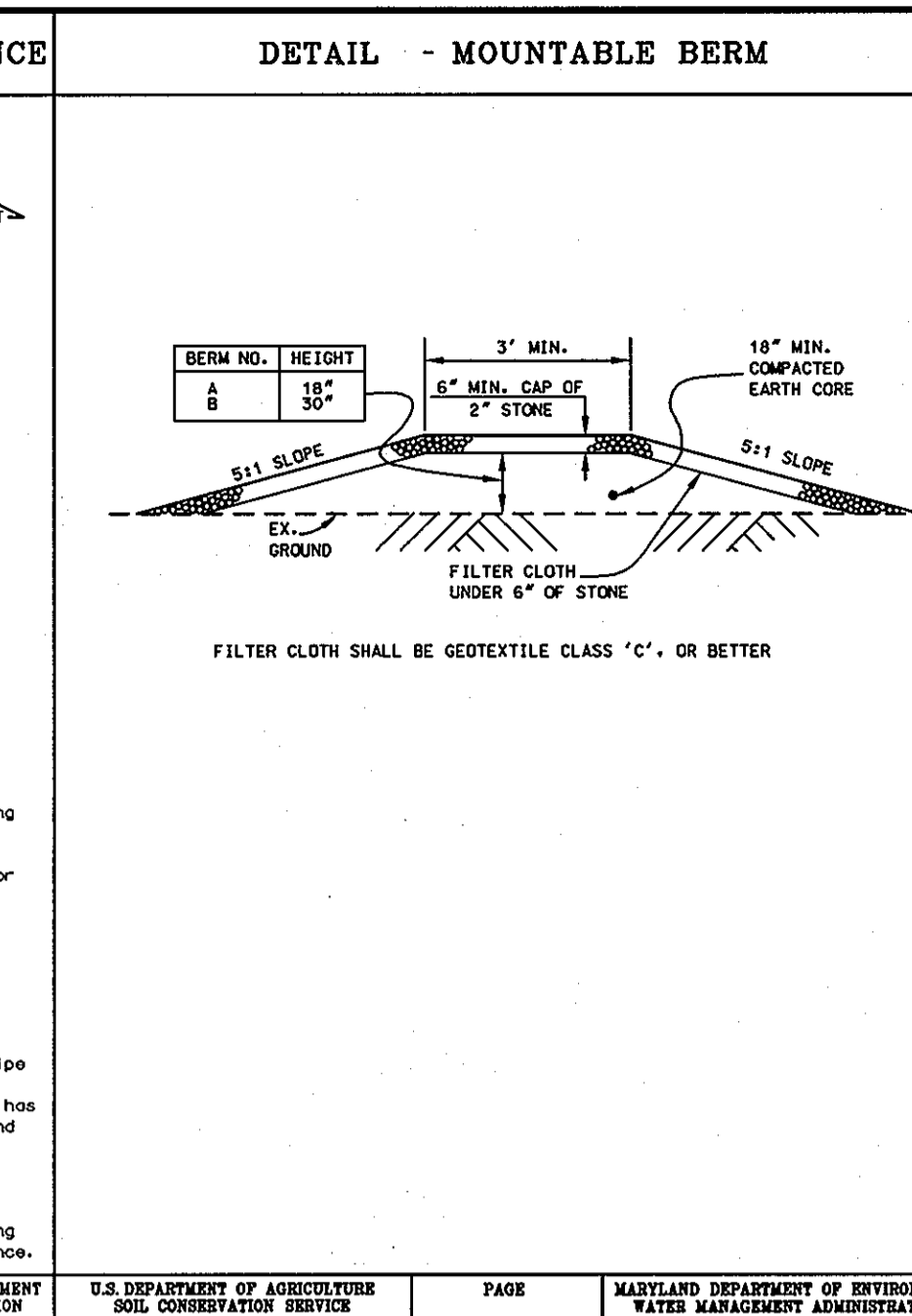
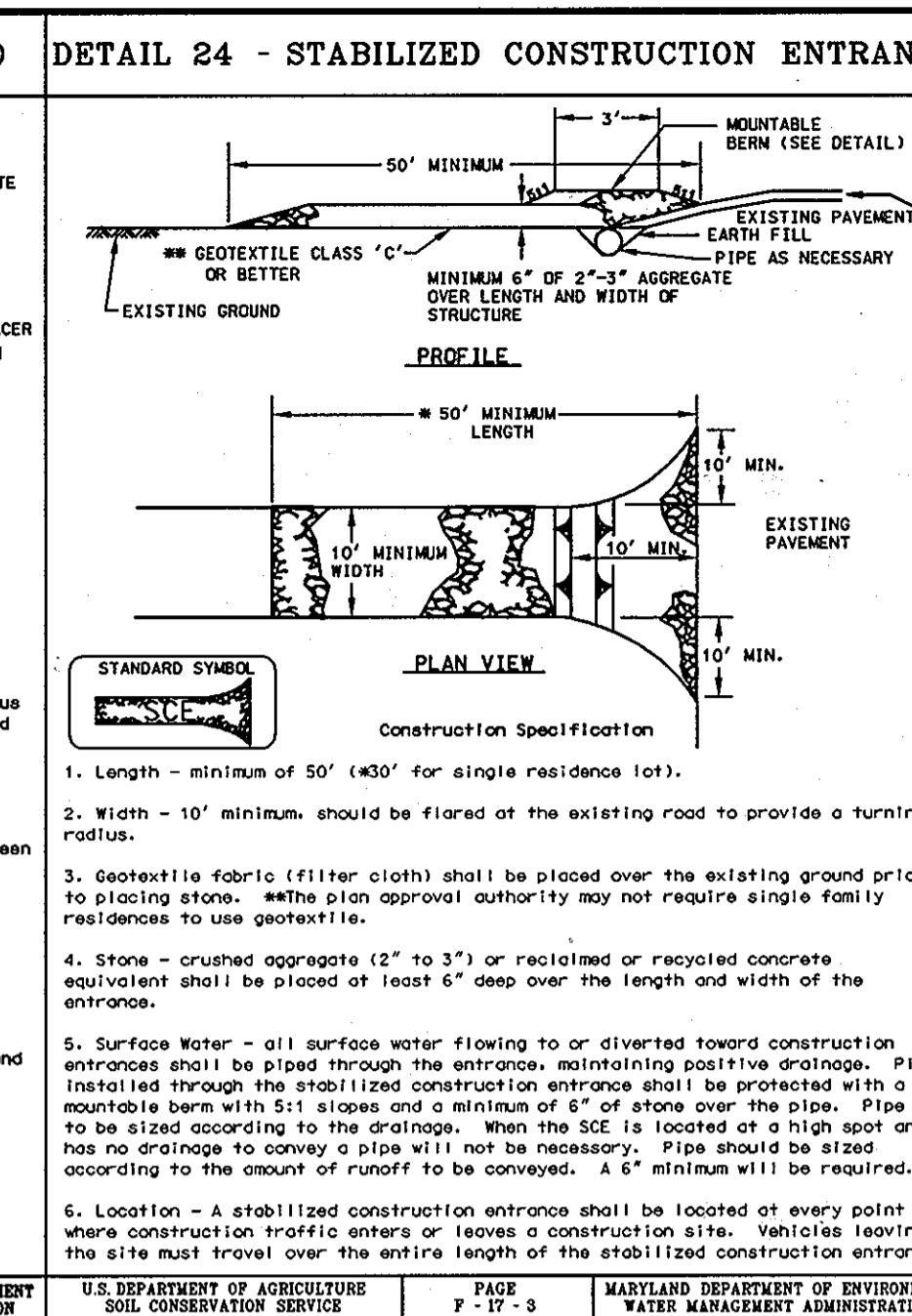
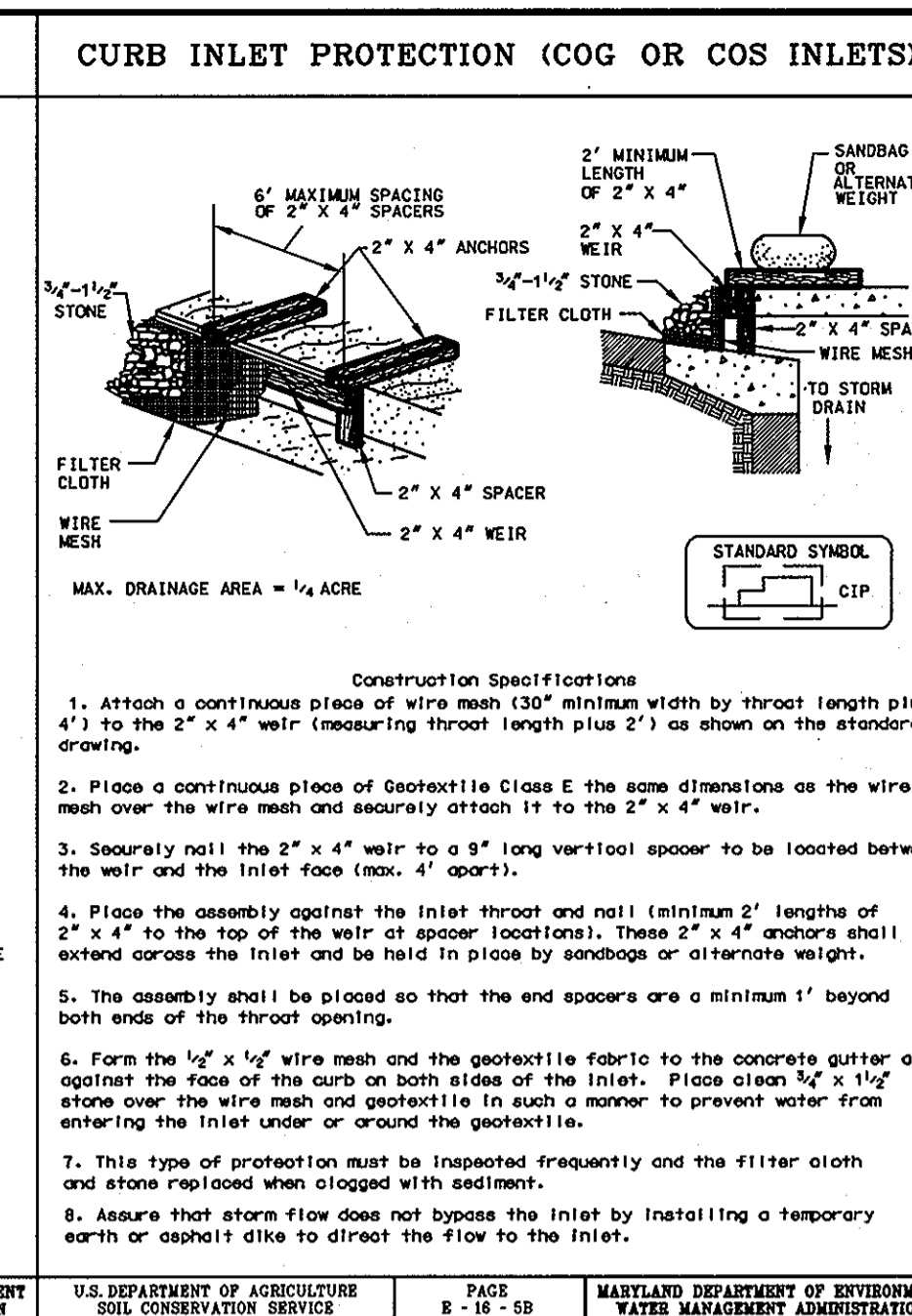
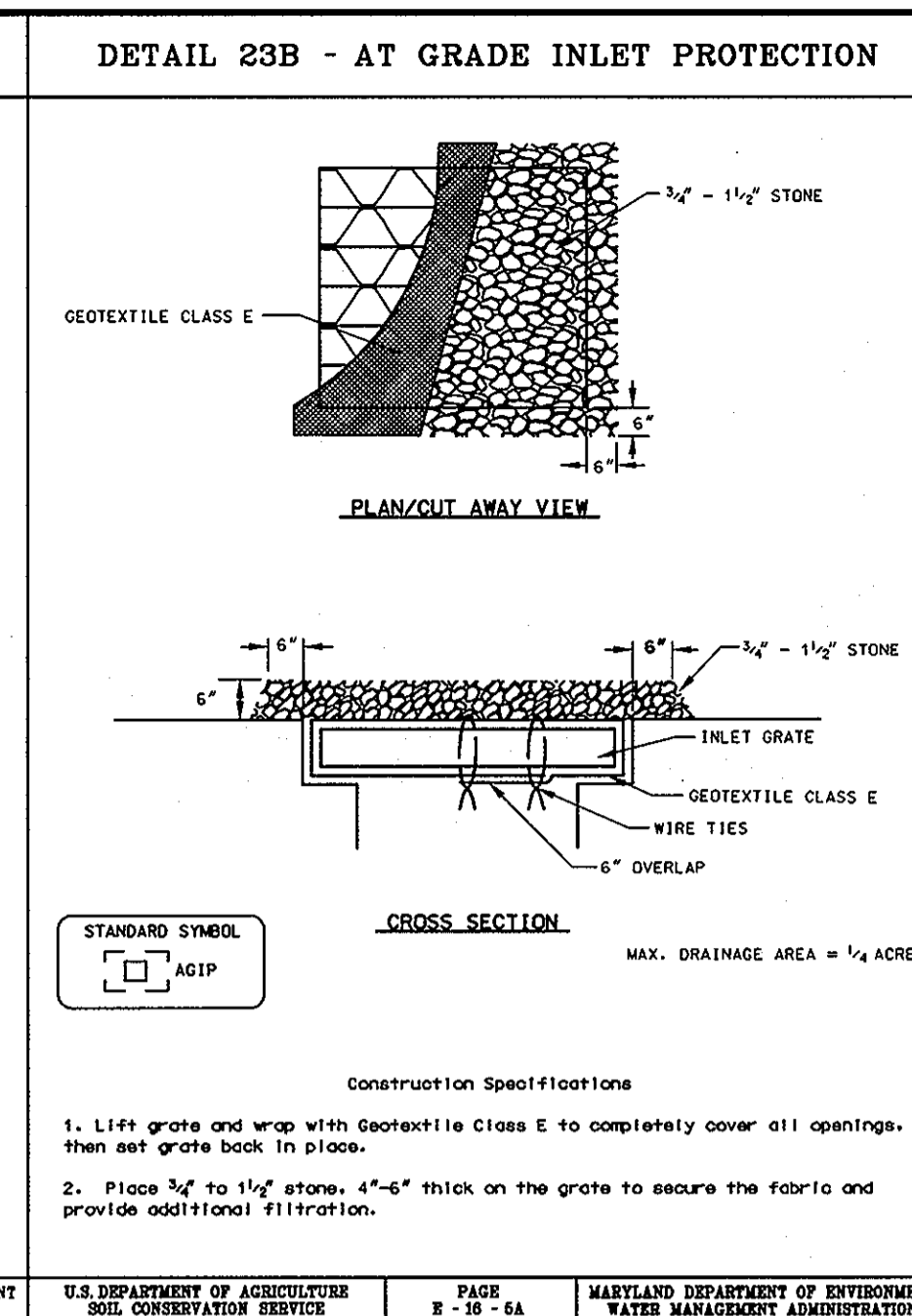
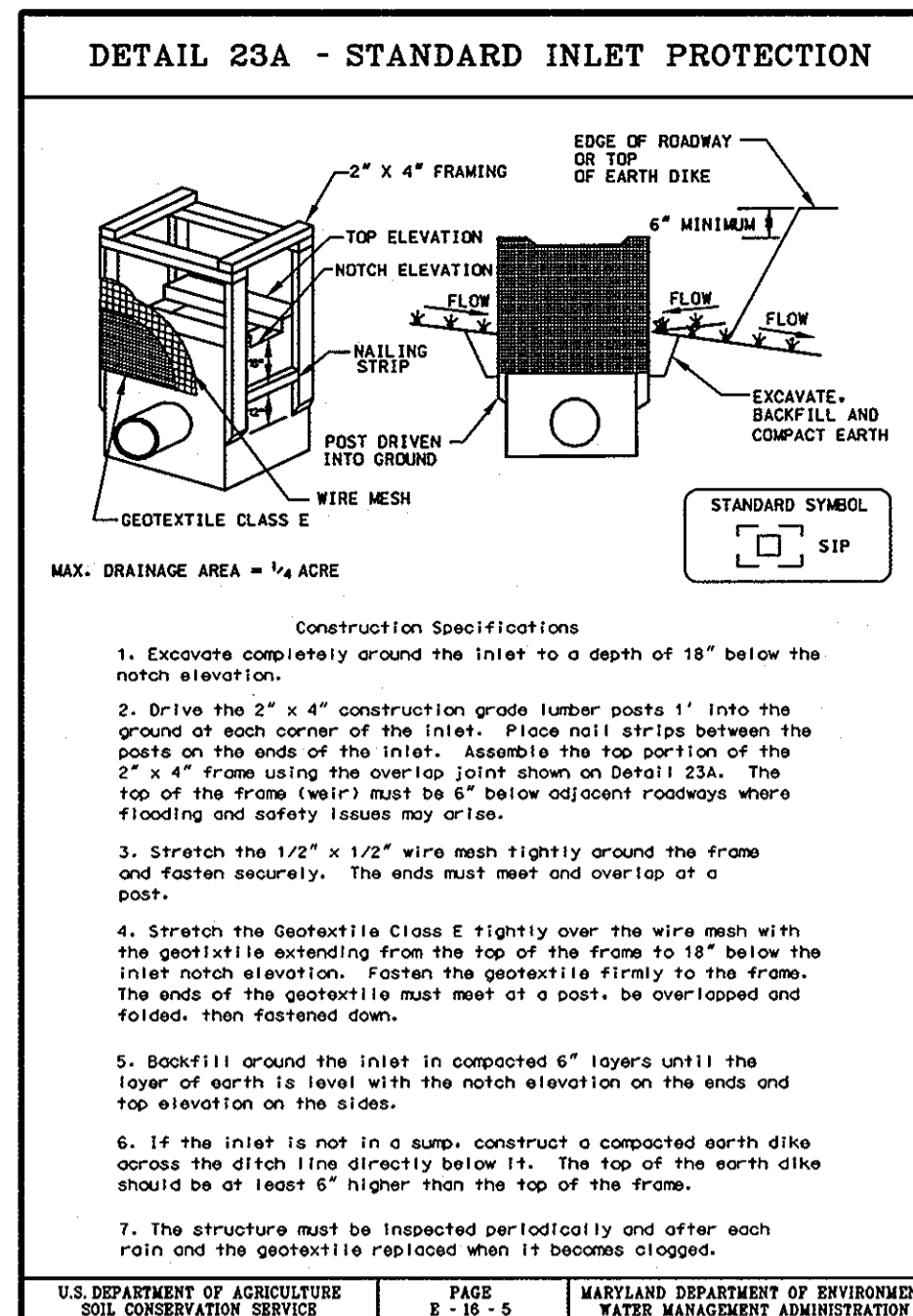
| ADDRESS CHART | |
|------------------|--------------------|
| LOT / PARCEL NO. | STREET ADDRESS |
| PARCEL B-2 | 8935 STEPHENS ROAD |
| PARCEL C-2 | 8955 STEPHENS ROAD |

| PERMIT INFORMATION CHART | | | | | |
|--------------------------|-----------------|----------------|---------|------------------|-----------|
| SUBDIVISION NAME | REVITZ PROPERTY | SECTION / AREA | N / A | LOT / PARCEL NO. | B-2 & C-2 |
| PLAT NO. | 18974 | GRID NO. | 20 | ZONING | PEC |
| TAX MAP NO. | 47 | ELEC. DIST. | 6TH | CENSUS TRACT | 6069-02 |
| WATER CODE | C-05 | SEWER CODE | 7142500 | | |

BLDG
 Baltimore Land Design Group Inc.
 Consulting Engineers
 222 SCHILLING CIRCLE SUITE 105 • HUNT VALLEY, MARYLAND 21030
 PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



EROSION AND SEDIMENT CONTROL PLAN
EMERSON CORPORATE COMMONS
 PARCELS B-2 & C-2 (Revitz Property) (Plat # 18974)
 HOWARD COUNTY, MARYLAND
 SCALE: 1"=50'
 SHEET 8 OF 10
 DATE: JUNE, 2007
 SDP-07-037



BLDG
Baltimore Land Design Group Inc.
Consulting Engineers
222 SCHILLING CIRCLE SUITE 105 • HUNT VALLEY, MARYLAND 21030
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM

Professional Engineer
P21245
Iwona Rostek-Zarska
STATE OF MARYLAND

OWNER / DEVELOPER
JAMES F. KNOTT DEVELOPMENT CORPORATION & EMERSON CORPORATE COMMONS LIMITED PARTNERSHIP
1 TEXAS STATION COURT SUITE 200
TIMONIUM, MD 21093-8288
(443) 689-8000

| DATE | ITEM | BY |
|------|------|----|
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EROSION AND SEDIMENT CONTROL DETAILS
EMERSON CORPORATE COMMONS
PARCELS B-2 & C-2 (Revitz Property) (plat # 16974)
HOWARD COUNTY, MARYLAND
SCALE: N/A

Reviewed for Howard SCD and meets Technical Requirements

Jim M. ... 6/12/07
USDA - Natural Resources Conservation Service Date

John P. ... 6/12/07
Howard Co. SCD Date

DEVELOPER'S CERTIFICATE
I/we certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

James F. Knott, Jr. 6/14/07
James F. Knott, Jr. Date

ENGINEER'S CERTIFICATE
I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Iwona Rostek-Zarska 6/14/07
Iwona Rostek-Zarska, P.E. 21245 Date

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

... 6/13/07
Chief, Development Engineering Division Date

... 6/15/07
Chief, Planning and Development Division Date

... 6/15/07
Director Date

ADDRESS CHART

| LOT / PARCEL NO. | STREET ADDRESS |
|------------------|--------------------|
| PARCEL B-2 | 8935 STEPHENS ROAD |
| PARCEL C-2 | 8955 STEPHENS ROAD |

PERMIT INFORMATION CHART

| SUBDIVISION NAME | SECTION / AREA | LOT / PARCEL NO. |
|------------------|--------------------|----------------------|
| REVITZ PROPERTY | N / A | B-2 & C-2 |
| PLAT NO. 18974 | GRID NO. 20 | ZONING PEC |
| TAX MAP NO. 47 | ELEC. DIST. 6TH | CENSUS TRACT 6069-02 |
| WATER CODE C-05 | SEWER CODE 7142500 | |

SHEET 9 OF 36
DATE: JUNE, 2007
SDP-07-037

21.0 STANDARD AND SPECIFICATIONS FOR TOPSOIL

DEFINITION

PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

PURPOSE

TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

CONDITIONS WHERE PRACTICE APPLIES

- I. THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:
 - A. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.
 - B. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.
 - C. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
 - D. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.

- II. FOR THE PURPOSES OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION. AREAS HAVING SLOPES STEEPER THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE PLANS.

CONSTRUCTION AND MATERIAL SPECIFICATIONS

I. TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.

- II. TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:
 - 1. TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND, OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CONCRETE, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIAL LARGER THAN 1/2" IN DIAMETER.
 - II. TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACKGRASS, JOHNSONGRASS, NUTSHELL, POISON IVY, THISTLE, OR SPECIFIED.
 - III. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.

- III. FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES:
 - 1. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION 1 - VEGETATIVE STABILIZATION METHODS AND MATERIALS.

- IV. FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES:
 - 1. ON SITE MEETING TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS DICTATING FERTILIZER AND LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING:
 - A. PH FOR TOPSOIL SHALL BE BETWEEN 6.0 AND 7.5. IF THE TESTED SOIL DEMONSTRATES A PH OF LESS THAN 6.0 SUFFICIENT LIME SHALL BE PRESCRIBED TO RAISE THE PH TO 6.5 OR HIGHER.
 - B. ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 1.5 PERCENT BY WEIGHT.
 - C. TOPSOIL HAVING SOLUBLE SALT CONTENT GREATER THAN 500 PARTS PER MILLION SHALL NOT BE USED.
 - D. NO SOD OR SEED SHALL BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.

NOTE: TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL.

- II. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION 1 - VEGETATIVE STABILIZATION METHODS AND MATERIALS.

V. TOPSOIL APPLICATION

- I. WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSION, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS.
- II. GRADES ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE MAINTAINED, ABOUT 4" - 8" HIGHER IN ELEVATION.
- III. TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4" - 8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
- IV. TOPSOIL SHALL NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.

VI. ALTERNATIVE FOR PERMANENT SEEDING - INSTEAD OF APPLYING THE FULL AMOUNTS OF LIME AND COMMERCIAL FERTILIZER, COMPOSTED SLUDGE AND AMENDMENTS MAY BE APPLIED AS SPECIFIED BELOW:

- I. COMPOSTED SLUDGE MATERIAL FOR USE AS A SOIL CONDITIONER FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES SHALL BE TESTED TO PRESCRIBE AMENDMENTS AND FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:
 - A. COMPOSTED SLUDGE SHALL BE SUPPLIED BY OR ORIGINATED FROM A PERSON OR PERSONS THAT ARE PERMITTED (AT THE TIME OF ACQUISITION OF THE COMPOST) BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT UNDER COMAR 26.04.06.
 - B. COMPOSTED SLUDGE SHALL CONTAIN AT LEAST 1 PERCENT NITROGEN, 1.5 PERCENT PHOSPHORUS, AND 0.2 PERCENT POTASSIUM AND HAVE A PH OF 7.0 TO 8.0. IF COMPOST DOES NOT MEET THESE REQUIREMENTS, THE APPROPRIATE CONSTITUENTS MUST BE ADDED TO MEET THE REQUIREMENTS PRIOR TO USE.
 - C. COMPOSTED SLUDGE SHALL BE APPLIED AT A RATE OF 1 TON/1,000 SQUARE FEET.
- II. COMPOSTED SLUDGE SHALL BE AMENDED WITH A POTASSIUM FERTILIZER APPLIED AT THE RATE OF 4 LB./1,000 SQUARE FEET, AND 1/3 THE NORMAL LIME APPLICATION RATE.

REFERENCES: GUIDELINE SPECIFICATIONS, SOIL PREPARATION AND SODDING, MD-VA, PUB. #1, COOPERATIVE EXTENSION SERVICE, UNIVERSITY OF MARYLAND AND VIRGINIA POLYTECHNIC INSTITUTES, REVISED 1973.

PERMANENT / TEMPORARY SEEDING NOTES

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:
 1. PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS./1000 SQ. FT.) AND 1000 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ. FT.) BEFORE SEEDING. HARROW OR DISK INTO UPPER THREE INCHES OF SOIL. AT TIME OF SEEDING, APPLY 400 LBS. PER ACRE 30-0-0 UREA FORM FERTILIZER (9 LBS./1000 SQ. FT.).
 2. ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS./1000 SQ. FT.) AND 1000 LBS. PER ACRE 10-10-10 FERTILIZER (23 LBS./1000 SQ. FT.) BEFORE SEEDING. HARROW OR DISK INTO UPPER THREE INCHES OF SOIL.

SEEDING - FOR THE PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU OCTOBER 15, SEED WITH 60 LBS. PER ACRE (14 LBS./1000 SQ. FT.) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31 SEED WITH 60 LBS. KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS. PER ACRE (.05 LBS./1000 SQ. FT.) OF WEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY: OPTION (1) - 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) - USE SOD. (3) - SEED WITH 60 LBS./ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELL ANCHORED STRAW.

MULCHING - APPLY 1/2 TO 2 TONS PER ACRE (70 - 90 LBS./1000 SQ. FT.) OF UNROTTED SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATIONS USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL/1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS, ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL/1000 SQ. FT.) FOR ANCHORING.

MAINTENANCE - INSPECT ALL SEEDING AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDING.

TEMPORARY SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION - LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS - APPLY 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ. FT.)

SEEDING - FOR THE PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 15 THRU OCTOBER 15, SEED WITH 2 LBS. PER ACRE OF ANNUAL RYE (3.2 LBS./1000 SQ. FT.) FOR THE PERIOD MAY 1 THRU AUGUST SEED WITH 3 LBS. PER ACRE OF WEEPING LOVEGRASS (.07 LBS./1000 SQ. FT.). FOR THE PERIOD NOVEMBER 16 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOD.

MULCHING - APPLY 1/2 TO 2 TONS PER ACRE (70 - 90 LBS./1000 SQ. FT.) OF UNROTTED WEEED FREE SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GAL. PER ACRE (5 GAL./1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS, ON SLOPES 8 FT. OR HIGHER, USE 348 GAL. PER ACRE (8 GAL./1000 SQ. FT.) FOR ANCHORING.
 REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR ADDITIONAL RATES AND METHODS NOT COVERED.

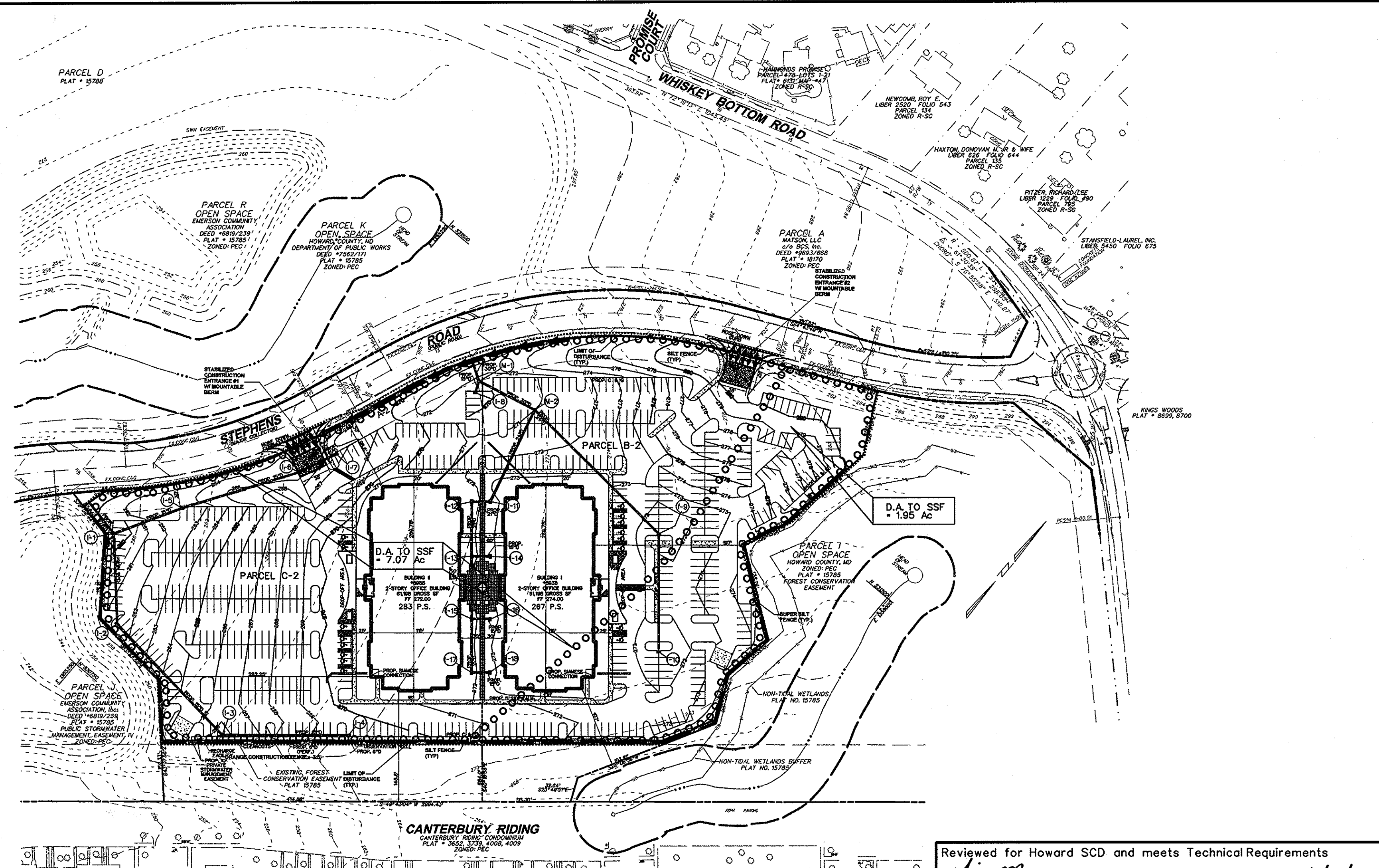
DUST CONTROL SPECIFICATIONS

TEMPORARY METHODS:

1. MULCHES - SEE STANDARDS FOR VEGETATIVE STABILIZATION WITH MULCHES ONLY. MULCH SHOULD BE CRIMPED OR TACKED TO PREVENT BLOWING.
2. VEGETATIVE COVER - SEE STANDARDS FOR TEMPORARY VEGETATIVE COVER.
3. TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS AN EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, SPRING-TOOTHED HARROWS, AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
4. IRRIGATION - THIS IS GENERALLY DONE AS AN EMERGENCY TREATMENT. SITE IS SPRINKLED WITH WATER UNTIL THE SURFACE IS MOIST. REPEAT AS NEEDED. AT NO TIME SHOULD THE SITE BE IRRIGATED TO THE POINT THE RUNOFF BEGINS TO FLOW.
5. BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, STRAW BALES, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING. BARRIERS PLACED AT RIGHT ANGLES TO PREVAILING CURRENTS AT INTERVALS OF ABOUT 10 TIMES THEIR HEIGHT ARE EFFECTIVE IN CONTROLLING SOIL BLOWING.
6. CALCIUM CHLORIDE - APPLY AT A RATE THAT WILL KEEP SURFACE MOIST. MAY NEED RETREATMENT.

PERMANENT METHODS:

1. PERMANENT VEGETATION - SEE STANDARDS FOR PERMANENT VEGETATIVE COVER, AND PERMANENT STABILIZATION WITH SOD. EXISTING TREES OR LARGE SHRUBS MAY AFFORD VALUABLE PROTECTION IF LEFT IN PLACE.
2. TOPSOILING - COVERING WITH LESS EROSION SOIL MATERIALS. SEE STANDARDS FOR TOPSOILING.
3. STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.



EXISTING DRAINAGE AREA MAP
SCALE: 1" = 100'

Reviewed for Howard SCD and meets Technical Requirements
 Jim Meyer, USA Natural Resource Conservation Service, Date 6/12/07
 John R. Robertson, Howard Co. SCD, Date 6/12/07

DEVELOPER'S CERTIFICATE
 "I/we certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District"

James F. Knott, Jr., Date 6/4/07

ENGINEER'S CERTIFICATE
 "I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District"

Iwona Rostek-Zarska, P.E. 21245, Date 6/12/07

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division, Date 6/12/07
 Chief, Planning and Development Division, Date 6/12/07
 Director, Date 6/12/07

ADDRESS CHART

| LOT / PARCEL NO. | STREET ADDRESS |
|------------------|--------------------|
| PARCEL B-2 | 8935 STEPHENS ROAD |
| PARCEL C-2 | 8955 STEPHENS ROAD |

PERMIT INFORMATION CHART

| SUBDIVISION NAME | | SECTION / AREA | LOT / PARCEL NO. |
|------------------|----------|----------------|------------------|
| REVITZ PROPERTY | | N / A | B-2 & C-2 |
| PLAT NO. | GRID NO. | ZONING | TAX MAP NO. |
| 18974 | 20 | PEC | 47 |
| ELEC. DIST. | | CENSUS TRACT | SEWER CODE |
| 6TH | | 8069-02 | 7142500 |

BLDG
 Baltimore Land Design Group Inc.
 Consulting Engineers
 222 SCHILLING CIRCLE SUITE 105 • HUNT VALLEY, MARYLAND 21080
 PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGC.COM

| OWNER / DEVELOPER | DATE | ITEM | BY |
|--|------|------|----|
| JAMES F. KNOTT DEVELOPMENT CORPORATION & EMERSON CORPORATE COMMONS LIMITED PARTNERSHIP 1 TEXAS STATION COURT SUITE 200 TIMONIUM, MD 21093-8288 (443) 689-8000 | | | |

EROSION AND SEDIMENT CONTROL NOTES
EMERSON CORPORATE COMMONS
 PARCELS B-2 & C-2 (Revitz Property) (Plat # 18974)
 HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN
 SHEET 10 OF 18
 DATE: JUNE, 2007
 SDP-07-037

SPECIFICATIONS FOR PLANTING

PLANT IDENTIFICATION:
All plants shall be properly marked for identification and checking.

LIST OF PLANT MATERIALS:
The contractor will verify plant quantities prior to bidding and any discrepancies shall be brought to the attention of the Landscape Architect. The Contractor shall furnish and plant all plants required to complete the work as shown on the drawings. Substitutions shall not be made without the written approval of the Landscape Architect. This contract will be based on the bidder having verified, prior to bidding, the availability of the required plant materials as specified on the Plant List.

PLANT QUANTITY:
All shrubs shall be dense, heavy to the ground, and well grown, showing evidence of having been sheared regularly, and sound, free of plant disease or insect eggs, and shall have a healthy, normal root system. Plants shall be nursery grown. Plants shall not be graded prior to delivery. The shape of the plant shall in general conform to its natural growth proportions unless otherwise specified. All plants including container grown shall conform to American Standard for Nursery Stock (ANSI Z601, latest edition), and shall have a well-shaped, heavy branch structure for the species. Evergreen trees are to have an internode no greater than 24" and shall be uniformly well-shaped. All plant sizes shall average at least the middle of the range given in the plant list.

PLANT SPACING:
Plant spacing is to scale on the plan or as shown on the plant list.

SOIL MIX:
Soil mix will be 2/3 existing soil and 1/3 leaf mold or equal organic material, thoroughly mixed and homogenized.

BALL SIZE:
The ball size shall conform to the American Association of Nurserymen's publication entitled American Standard For Nursery Stock, ANSI Z601, latest edition.

EXCAVATION:
Holes for all plants shall be 18" larger in diameter than size of ball or container and shall have vertical sides. Hedges shall be planted in a trench 12" wider than ball diameter. Beds for mass planting shall be entirely rototilled to a depth of 6" and shall be 18" beyond the average outside edge of plant balls. A 2" layer of organic material (i.e., leaf mold) will be incorporated into plant beds by tilling again.

PLANTING:
Backfilling shall be done with soil mix, reasonably free of stones, subsoil, clay, lumps, stumps, roots, weeds, bermuda grass, litter, toxic substances, or any other material which may be harmful to plant growth or hinder grading, planting, or maintenance operations. Should any unforeseen or unsuitable planting conditions arise, such as faulty soil drainage or chemical residues, they should be called to the attention of the Landscape Architect and Owner for adjustments before planting. The plant shall be set plumb and straight and shall be seated at the time of planting. Backfill shall be well worked about the roots and settled by watering. Plants will be planted higher than surrounding grade. Shrubs will be 1" higher and trees will be 2" higher. Remove rope from around tree trunks and lay back hurlap from top of all B&B material. Nylon or vinyl rope and/or burlap will be completely removed from all plant material prior to planting.

TRANSPLANTING TREES BY TREE MACHINES:
Trees shall be moved by machines that provide a minimum of 9" per 1" of tree caliper. Holes are to be dug by the same size machine as the one transporting the plant. The plant material shall be transplanted in approximately the same growing condition as it is presently growing. In terms of soil type and moisture content. Fertilizer and gey as described in these plans and specifications.

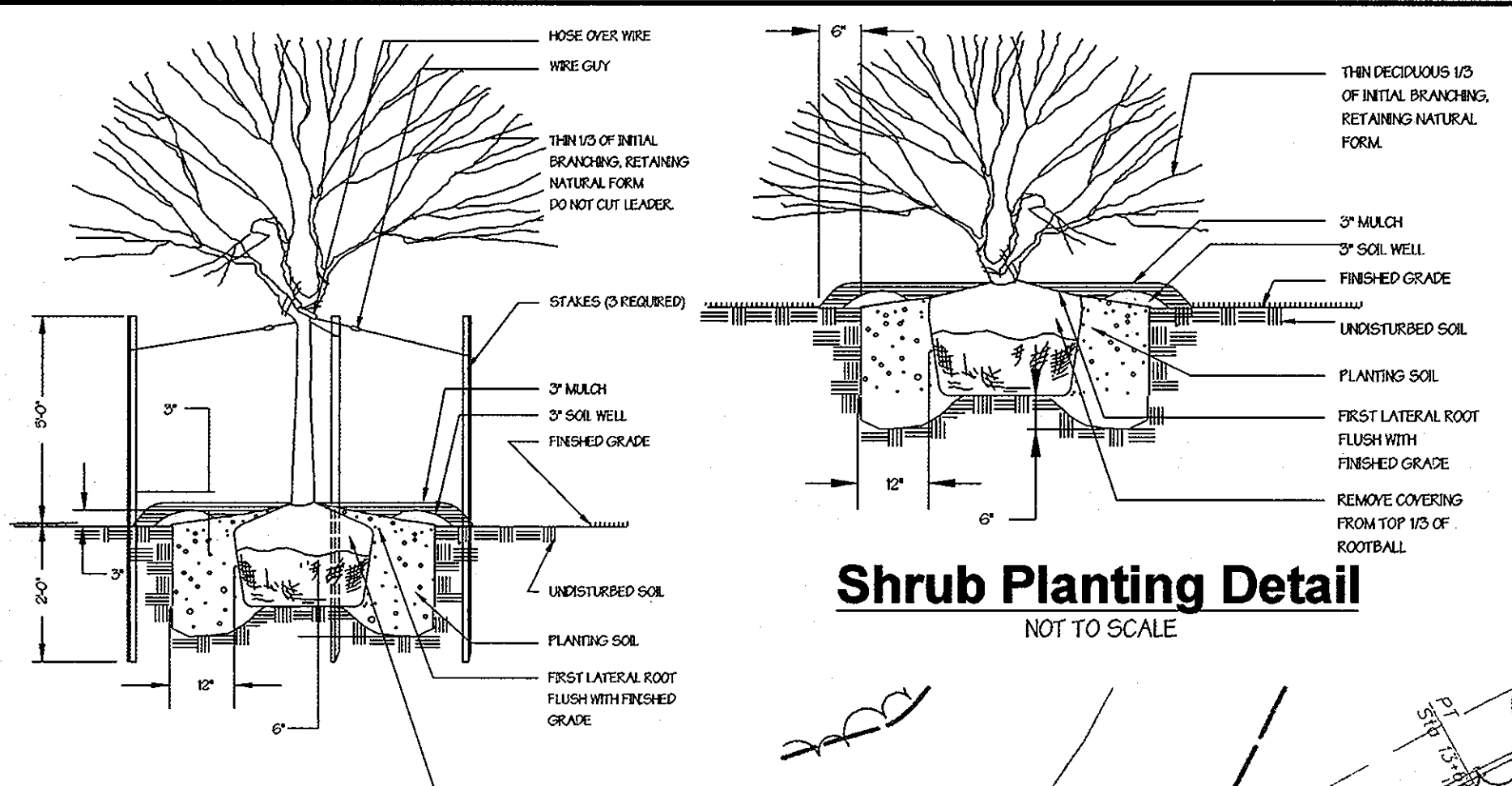
CULTIVATION:
All trenches and shrub beds shall be cultivated, edged and mulched to a depth of 3" with shredded bark. The area around isolated plants shall be mulched to at least 6" greater diameter than that of the hole. Plant beds adjacent to buildings shall be mulched to the building wall.

MAINTENANCE:
The Contractor shall be responsible during the contract and up to the time of acceptance for keeping the planting and work incidental thereto in good condition, by replanting, plant replacement, watering, weeding, cultivating, pruning and spraying, restaking and cleaning up and by performing all other necessary operations of care for promotion of good plant growth so that all work is in satisfactory condition at time of acceptance, at no additional cost to the Owner.

FERTILIZER:
Fertilizer shall be a slow release type contained in polyethylene perforated bags with micro-pore holes for controlled feeding, such as Easy Grow as manufactured by Specialty Fertilizer, Inc., Box 355, Sufferm, New York, 10901, or approved equal. The bags shall contain 1 ounce of soluble fertilizer analysis 16-16-16 per unit to last 3 years (3) years and shall be applied during planting as recommended by the manufacturer. If fertilizer packets are not used, the Contractor shall apply granular fertilizer to the soil mix with 10-6-4 analysis, 50% organic, at the following rates: Trees @ 2-3 lbs. per caliper inch; Shrub Beds @ 3-5 lbs. per 100 sq. ft.; and Groundcover Beds @ 2-3 lbs. per 100 sq. ft.

GROUND COVER:
All areas of groundcover shall be rototilled to a depth of 6". Apply 2" of organic material and rototill until thoroughly mixed. Apply fertilizer as stated above.

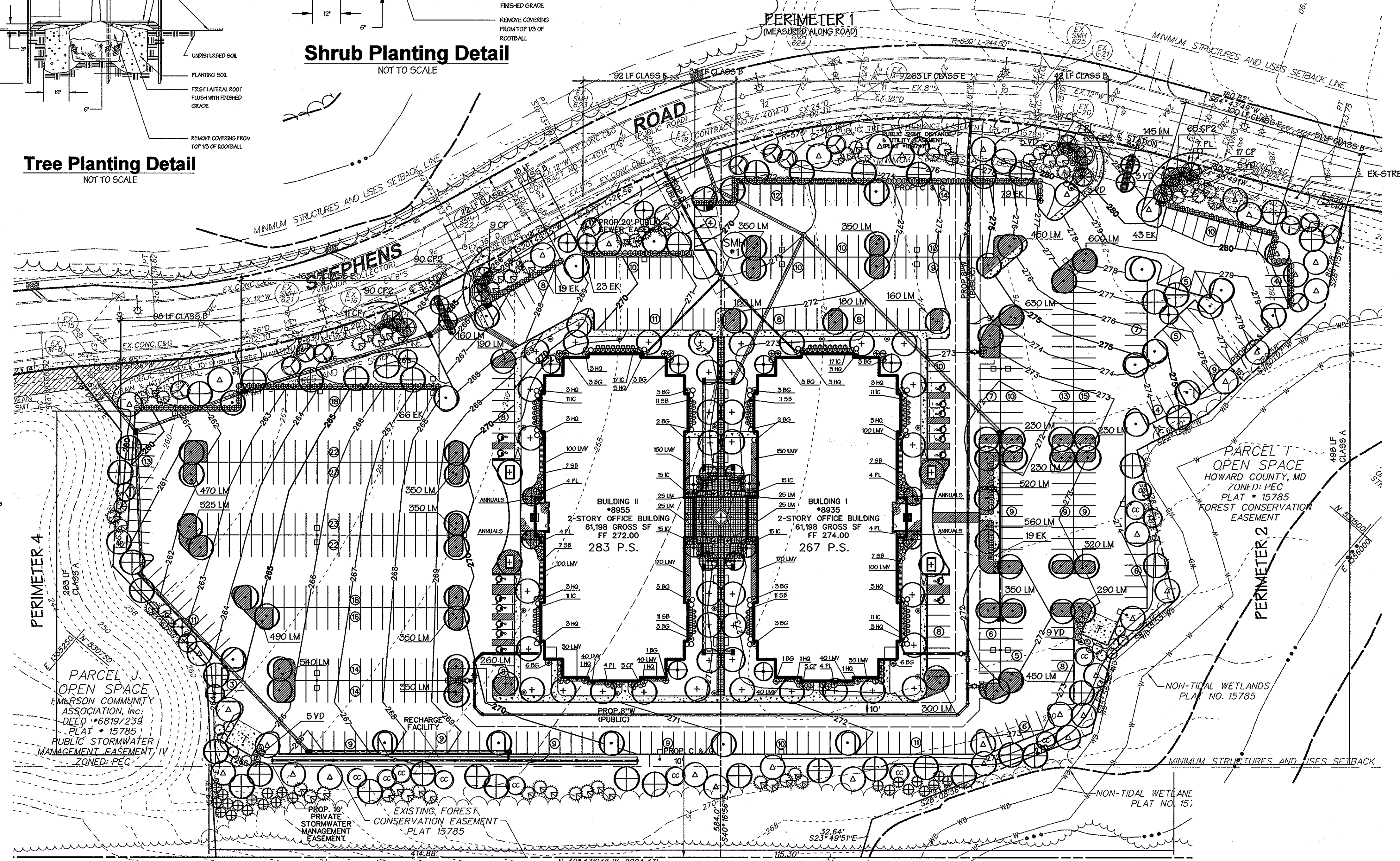
GUARANTEE AND REPLACEMENT:
All material shall be unconditionally guaranteed for one (1) year. The Contractor is responsible for watering but not for losses or damage caused by mechanical injury or vandalism.



Shrub Planting Detail
NOT TO SCALE



Tree Planting Detail
NOT TO SCALE



PERIMETER 3
CANTERBURY RIDING
CANTERBURY RIDING CONDOMINIUM
PLAT # 3652, 3739, 4008, 4009
ZONED: PEC
Plan
Scale: 1" = 50'

DEVELOPER'S / BUILDER'S CERTIFICATE
James F. Knott Jr. 6/15/07

1/ We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual.
2/ We further certify that upon completion, a Certification of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

- PLANTING NOTES:**
- This Plan is for planting purposes only.
 - This Plan has been prepared in accordance with the provisions of section 16.124 of the Howard County Code and the Landscape Manual.
 - All plant material shall be nursery grown and shall conform to American Association of Nurserymen latest standards. Plant installation must conform to the minimum standards cited in the latest edition of the "LANDSCAPE SPECIFICATION GUIDELINES" by the Landscape Contractor's Association.
 - Contractor is to notify Miss Utility a minimum of 72 hours prior to digging. Telephone 1-800-257-7777
 - The Landscape Architect is to be notified 48 hours before planting begins. The location of all plants material is to be approved in field by the Landscape Architect.
 - No tree or shrub planting pits are to be left open or unattended.
 - Shrubs are to be grouped into mulched beds. Beds are to be edged and the grass is to be killed or removed prior to mulching.
 - Soil is to be Kentucky Bluegrass fescue mix.
 - Install tree protection fencing along the Limits of Disturbance (LOD) of the existing woods. All site grading, planting bed preparation and tree and shrub planting must be done outside of the drip line of existing trees to be preserved in order to maintain and protect the root system.
 - *At the time of installation, all shrubs and other plantings herewith listed and approved for this site, shall be of the proper height requirements in accordance with the Howard County Landscaping Manual. In addition, no substitutions or relocation of required plantings may be made without prior review and approval from the Department of Planning and zoning.

NOTE:
THE OWNER, TENANT, AND/OR THEIR AGENT'S SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION AND WHEN NECESSARY, REPAIRED OR REPLACED.

LANDSCAPE SURETY NOTE:
FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF:
(58) SHADE TREES @ \$300 EACH = \$ 17,400
(66) EVERGREEN TREES @ \$150 = \$ 24,000
(73) SHRUBS @ \$30 EACH = \$ 5,190
TOTAL \$ 46,590

OWNER / DEVELOPER
JAMES F. KNOTT DEVELOPMENT CORPORATION & EMERSON CORPORATE COMMONS LIMITED PARTNERSHIP
1 TEXAS STATION COURT
SUITE 200
TIMONIUM, MD 21093-8288
(443) 689-8000

| DATE | ITEM | BY |
|----------|---------------------------------|----|
| 12-05-06 | Revised per Howard Co. Comments | |
| 01-04-07 | Revised per Howard Co. Comments | |

SCHEDULE B
PARKING LOT INTERNAL LANDSCAPING

| | |
|---|-----|
| Number of Parking Spaces | 553 |
| Number of Trees Required | 26 |
| Number of Trees Provided Shade Trees Other Trees (2:1 substitution) | 43 |
| Internal Islands Required | 26 |
| Internal Islands Provided (Min. 200 SF) | 44 |

SCHEDULE A
PERIMETER LANDSCAPE EDGE

| Category | Adjacent to Roadways | | | Adjacent to Parkmeter Properties | | | Dumper Plants | Dumper Plants |
|--|----------------------|---------|---------|----------------------------------|---------|--------|---------------|---------------|
| | 1 | 2 | 3 | 4 | 5 | 6 | | |
| Perimeter Number | 1 | 2 | 3 | 4 | 5 | 6 | Blg 1 | Blg 2 |
| Landscape Type | E | B | A | C | A | C | D | D |
| Linear Feet of Roadway Frontage/Perimeter | 690 LF. | 243 LF. | 498 LF. | 818 LF. | 283 LF. | 68 LF. | 68 LF. | 68 LF. |
| Credits for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed) | NO | NO | YES 498 | YES 818 | NO | NO | NO | NO |
| Credits for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed) | NO | NO | NO | NO | NO | NO | NO | NO |
| Number of Plants Required Shade Trees Evergreen Trees Shrubs | 17 | 5 | 0 | 0 | 5 | 2 | 1 | 1 |
| Number of Plants Provided Shade Trees Evergreen Trees Other Trees (2:1 substitution) Shrubs (2:1 substitution) | 17 | 5 | 6 | 0 | 5 | 2 | 1 | 1 |
| (Describe plant substitution credits below if needed) | 230 | | | | | | | |

NOTE: AN ADDITIONAL 283 SHADE TREES ARE REQUIRED PER HRD GUIDELINES. (101 ACRES @ 28 TREES PER ACRE.)
TREES PLANTED:
(77) 4" CAL. = (2) 2 1/2" TREE = 154 TREES
(54) 2 1/2" TREE = 54 TREES
(61) EVERGREEN TREES @ 2 EVERGREENS = 1 TREE = 41 TREES
(67) ORNAMENTAL TREES @ 2 ORNAMENTALS = 1 TREE = 34 TREES
TOTAL = 283 TREES PLANTED

GENERAL NOTES:
1. 4" CALIPER TREES WERE SUBSTITUTED FOR 2 1/2" CALIPER TREES AT A RATE OF (1) 4" CAL. TREE TO (2) 2 1/2" CAL. TREES
2. EVERGREEN AND ORNAMENTAL TREES ARE SUBSTITUTED AT A RATE OF (2) EVERGREENS OR ORNAMENTALS TO (1) 2 1/2" CALIPER TREE.

PLANT LIST

| KEY | QUANTITY | BOTANICAL NAME COMMON NAME | SIZE | CONDITION | REMARKS |
|-----|----------|--|------------------------|------------------|--------------------------------|
| Δ | 30 | ACER RUBRUM 'RED SUNSET' RED SUNSET RED MAPLE | 4" CAL. 2 1/2" CAL. | B & B | AS SHOWN |
| + | 47 | GLEDITSIA TRIACANTHOS 'SHARPMASTER' SHARPMASTER HONEYLOCUST | 4" CAL. | B & B | AS SHOWN |
| ⊕ | 44 | QUERCUS F. ALMSTRIS PIN OAK | 2 1/2" CAL. | B & B | AS SHOWN |
| • | 67 | ULMUS PARVIFLORA CRIMSON | 2 1/2" CAL. | B & B | AS SHOWN |
| ⊙ | 15 | CORNUS S. KENNEDY KUNSA DOGWOOD | 2-2 1/2" CAL. | B & B | AS SHOWN |
| ⊕ | 30 | FRAXINUS NIGRA X CAMPANULATA ORANGE CHEEK | 2-2 1/2" CAL. | B & B | AS SHOWN |
| ⊕ | 10 | LAGERSTROEMIA INDICA 'NATCHEZ' NATCHEZ GRAPE MYRTLE | 7-8" HT. | B & B | AS SHOWN |
| ⊕ | 12 | CERCIS CANADENSIS EASTERN REDBUD | 2-2 1/2" CAL. | B & B | AS SHOWN |
| ⊕ | 12 | QUERFESSOCYBASS LEYLANDI LEYLAND CYPRRESS | 6-7" HT. | B & B | SPACE 8" OC. STAGGER |
| ⊕ | 61 | ILEX YEMELLE STEYENS' WELLS STEYENS HOLLY | 6-7" HT. | B & B | SPACE 12" OC. STAGGER |
| ⊕ | 23 | FRAXINUS STYRACIA EASTERN WHITE PINE | 6-7" HT. | B & B | SPACE 12" OC. STAGGER |
| EK | 249 | ELIOMPHIS FIMBRIORCHNIS 'MANHATTAN' MANHATTAN YUKONIA | 2 1/2" x 3" HT. | 7 CAL. CONTAINER | SPACE 4" OC. AS HEDGE |
| HQ | 40 | HYDRANGEA QUERCIFOLIA 'SNOW QUEEN' SNOW QUEEN OXLEYA FORSYTHIA | 2 1/2" x 3" HT. | 7 CAL. CONTAINER | SPACE 9" OC. STAGGER |
| BG | 46 | BUXUS 'GREEN VELVET' GREEN VELVET BOXWOOD | 18-24" SPD | 7 CAL. CONTAINER | LOCATE 5 MALE HOLLES PER BLDG. |
| CP | 64 | CHAMAECYPARIS FIS. FILIFERA 'AUREA NANA' DWARF GOLD THREADED BUSH | 18-24" SPD | 3 CAL. CONTAINER | SPACE 9" OC. STAGGER |
| VP | 32 | VIBURNUM DENTATUM ARROWWOOD VIBURNUM | 2 1/2" x 3" HT. | B & B | SPACE 9" OC. STAGGER |
| FL | 36 | FRAXINUS LAUROCARPUS 'OTTO LUYKENS' OTTO LUYKENS CHERRY LAUREL | 18-24" SPD | B & B | SPACE 9" OC. STAGGER |
| SB | 72 | SPIREEA RUMALDA 'LIMEMOUND' LIMEMOUND SPIREA | 18-24" SPD | CONTAINER | SPACE 4" OC. STAGGER |
| LMF | 1260 | LIRIOPE MASCARONI 'VARIEGATA' VARIEGATED LILOPE | 1.0T. | CONTAINER | SPACE 12" OC. STAGGER |
| LM | 10560 | LIRIOPE MASCARONI 'BIG BLUE' BIG BLUE LILLY TURF | 1.0T. | CONTAINER | SPACE 12" OC. STAGGER |
| IC | 156 | ILEX GRACILIS 'HOODGONIUM' HOODGONIUM JAFFANESE HOLLY | 18-24" SPD | 3 CAL. CONTAINER | SPACE 9" OC. STAGGER |
| CP2 | 350 | CERATOSTOMA FLUMINARIODES LEAD WORT | 1.0T. | CONTAINER | SPACE 12" OC. STAGGER |

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature]
Chief, Development Engineering Division
[Signature]
Chief, Planning and Development Division
[Signature]
Director

6/13/07
6/15/07
6/15/07
Date
Date

ADDRESS CHART

| LOT / PARCEL NO. | STREET ADDRESS |
|------------------|--------------------|
| PARCEL B-2 | 8935 STEPHENS ROAD |
| PARCEL C-2 | 8955 STEPHENS ROAD |

PERMIT INFORMATION CHART

| SUBDIVISION NAME REVITZ PROPERTY | SECTION / AREA N / A | LOT / PARCEL NO. B-2 & C-2 |
|-------------------------------------|-------------------------|-------------------------------|
| PLAT NO. 18974 | GRID NO. 20 | ZONING PEC |
| TAX MAP NO. 47 | ELEC. DIST. 6TH | CENSUS TRACT 6089-02 |
| WATER CODE C-05 | SEWER CODE 7142500 | |

LANDSCAPE PLAN
EMERSON CORPORATE COMMONS
PARCELS B-2 & C-2 (Revitz Property) (Plat # 18974)

HOWARD COUNTY, MARYLAND
SCALE: 1" = 50'
SHEET 12 OF 35
DATE: JUNE, 2007
SDP-07-037

BLDG
Baltimore Land Design Group Inc.
Consulting Engineers
222 SCHILLING CIRCLE SUITE 105 • HUNT VALLEY, MARYLAND 21030
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



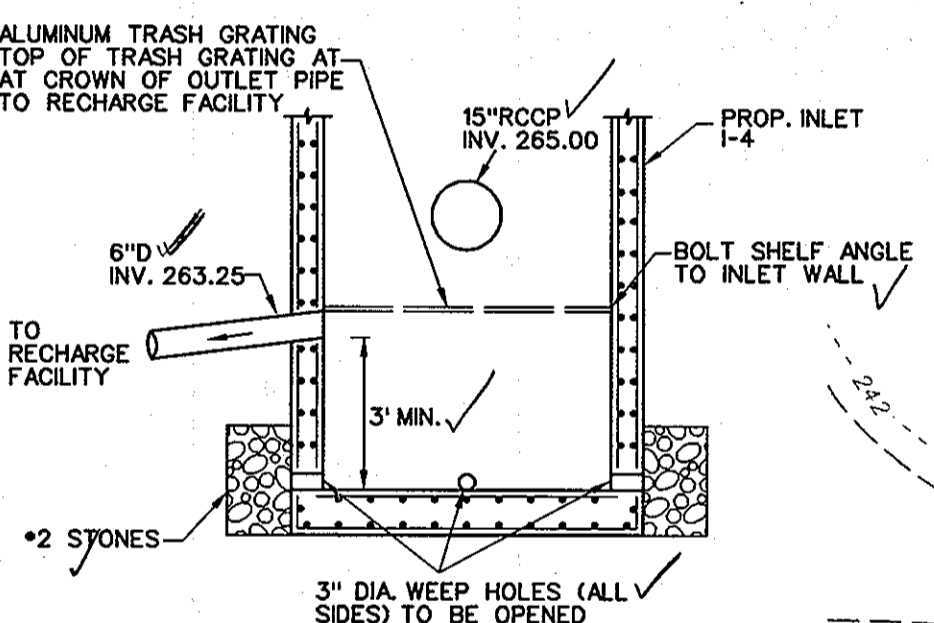
LEGEND

- RIGHT-OF-WAY LINE
- PROPERTY LINE
- EX. CONCRETE CURB & GUTTER
- EX. STORM DRAIN MANHOLE & INLET
- EX. SANITARY SEWER, MANHOLE & CLEANOUT
- EX. WATER MAIN, VALVE & FIRE HYDRANT
- EX. LIGHT POLE
- EX. TREE LINE
- EX. TREE
- EX. INDEX CONTOURS
- EX. INTERMEDIATE CONTOURS
- EX. FOREST BUFFER
- EX. STREAM
- PROP. CONCRETE CURB & GUTTER
- PROP. STORM DRAIN, MANHOLE & INLET
- PROP. SANITARY SEWER, MANHOLE & CLEANOUT
- PROP. WATER MAIN, VALVE & FIRE HYDRANT
- PROP. INDEX CONTOURS
- PROP. INTERMEDIATE CONTOURS
- PROP. PARKING COUNT

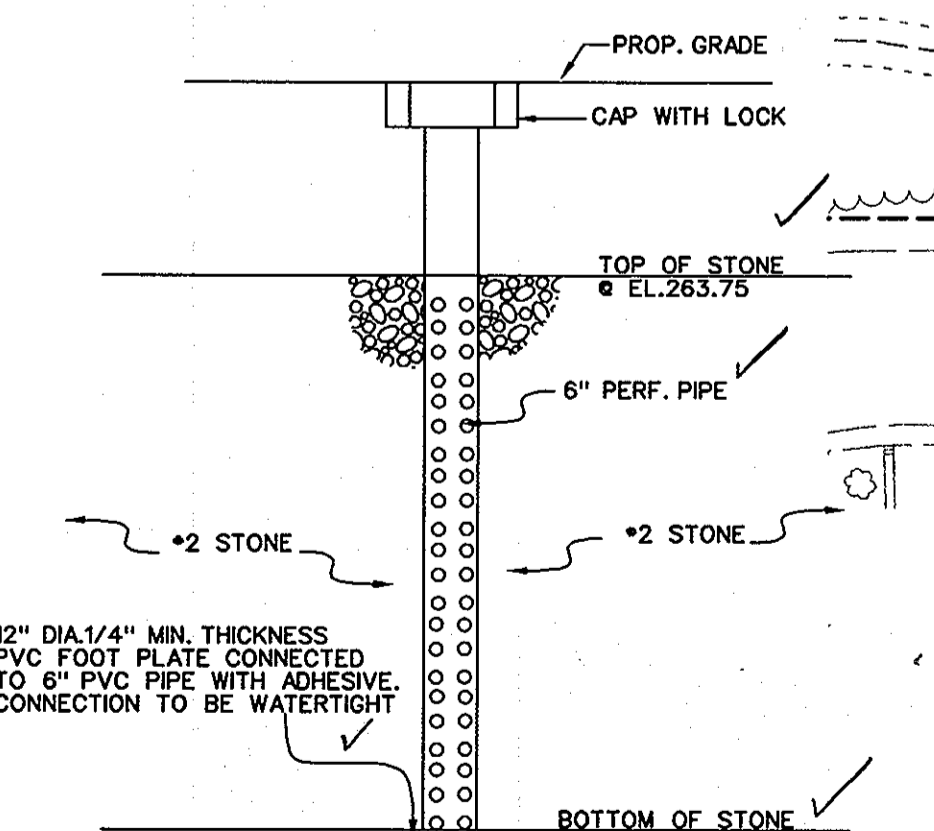
| SOIL CLASSIFICATION | | |
|---------------------|-----------------------|---|
| L1 | Leonardtown Silt Loom | D |
| ScB | Sandy & Clayey | C |
| ScD | Sandy & Clayey | C |
| SsD2 | Sassafra | B |

OPERATION AND MAINTENANCE SCHEDULE FOR RECHARGE FACILITY

- RECHARGE FACILITY SHALL BE INSPECTED ANNUALLY AND BE REPAIRED OR CLEANED AS NEEDED.
- REMOVE SEDIMENT AND TRASH FROM SEDIMENT TRAPPING INLET AS NEEDED AND CLEAN OPENINGS AT INLET BOTTOM.
- INSPECT FACILITY EVERY OTHER MONTH AND AFTER LARGE STORM EVENTS TO OBSERVE WATER ELEVATIONS. IF STANDING WATER IS OBSERVED IN THE FACILITY, RE-INSPECT AFTER 72 HOURS AND REPAIR AS NECESSARY.

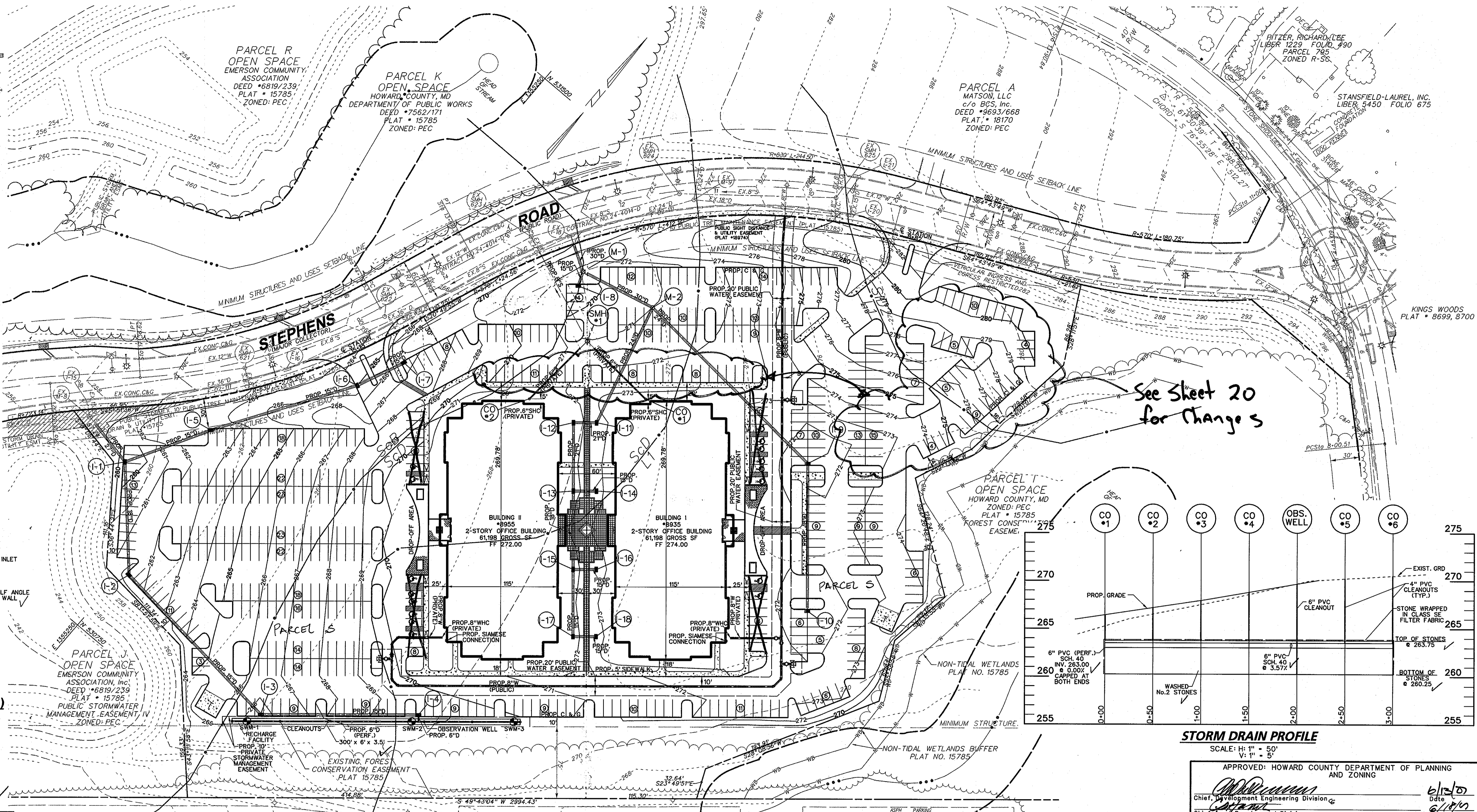


SILT TRAPPING DETAIL (I-4)
NOT TO SCALE

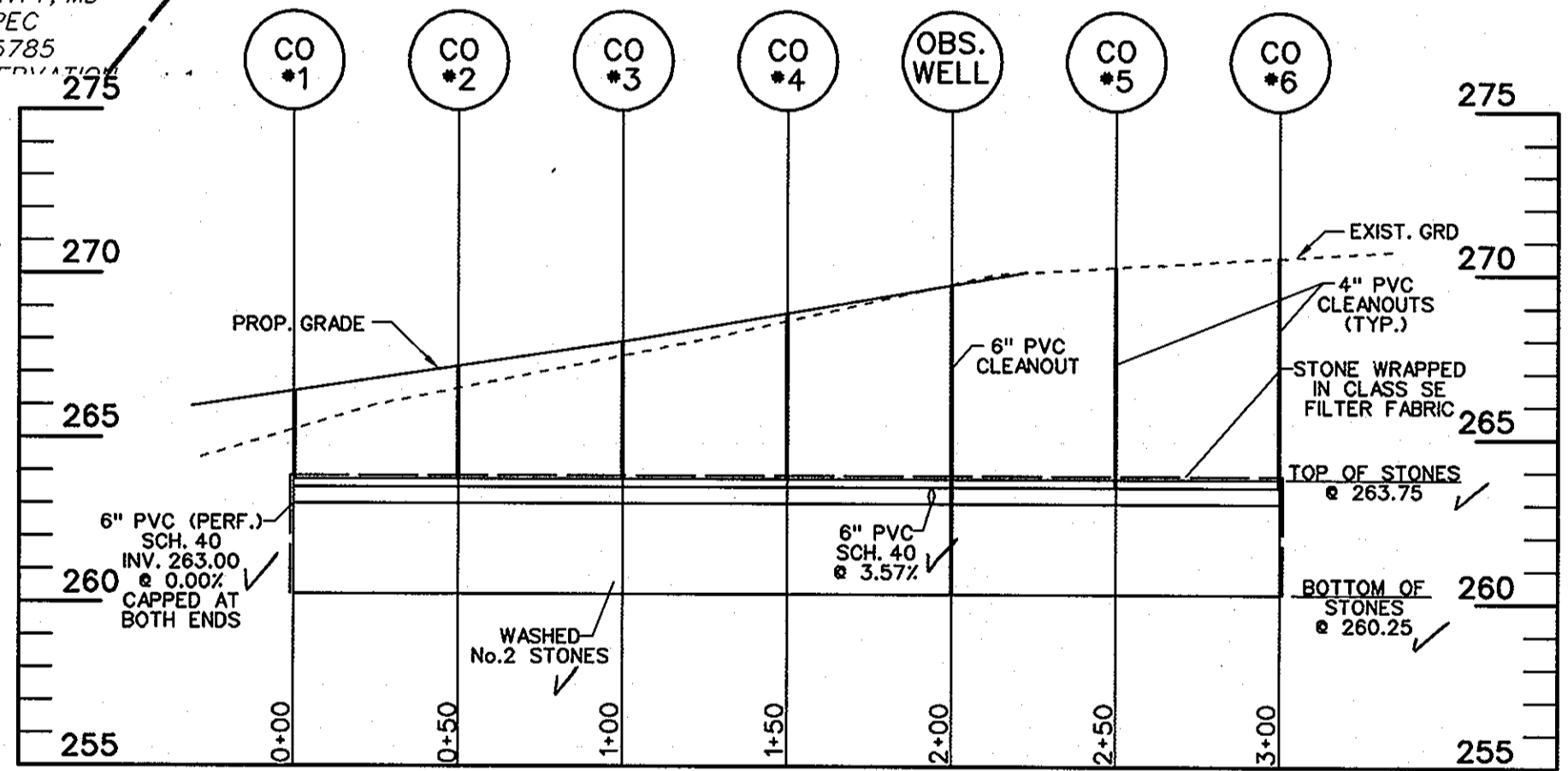


OBSERVATION WELL DETAIL
NOT TO SCALE

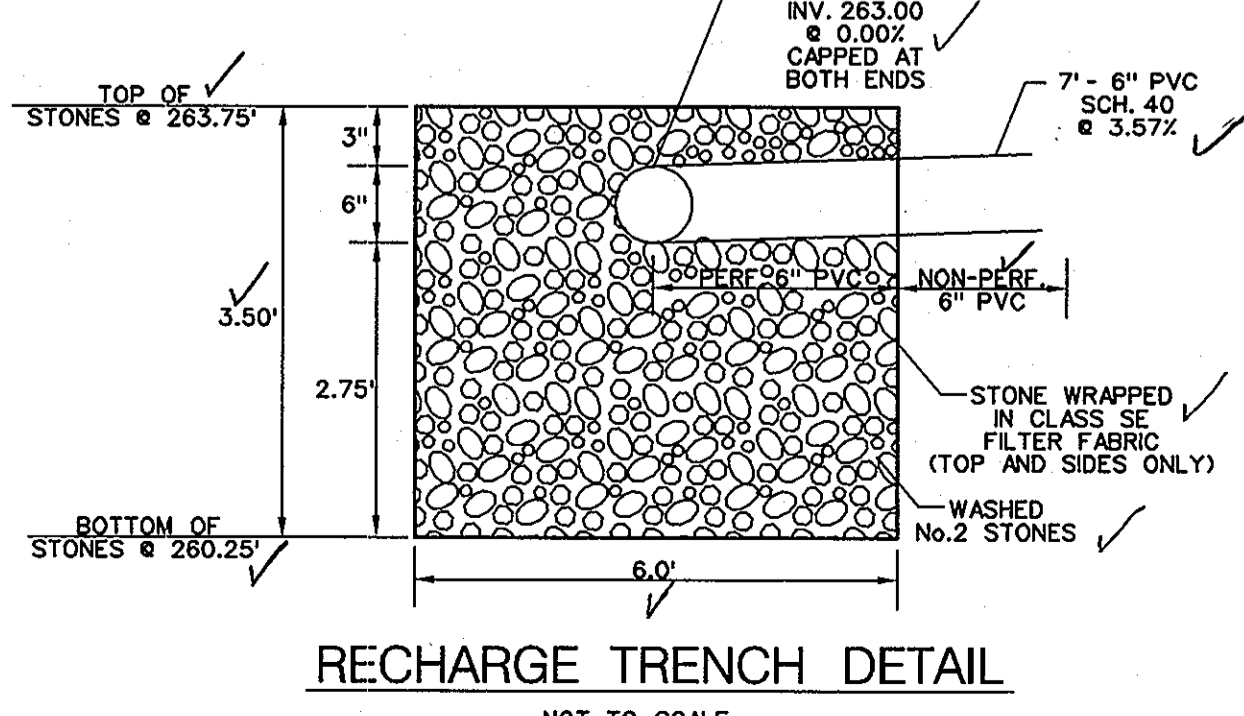
BLDG
Baltimore Land Design Group Inc.
Consulting Engineers
222 SCHILLING CIRCLE SUITE 105 • HUNT VALLEY, MARYLAND 21030
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



See Sheet 20 for Changes



STORM DRAIN PROFILE
SCALE: H: 1" = 50'
V: 1" = 5'



RECHARGE TRENCH DETAIL
NOT TO SCALE



I HEREBY CERTIFY THAT THIS FACILITY SHOWN ON THE PLAN WAS CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.

OWNER / DEVELOPER
JAMES F. KNOTT DEVELOPMENT CORPORATION & EMERSON CORPORATE COMMONS LIMITED PARTNERSHIP
1 TEXAS STATION COURT SUITE 200
TIMONIUM, MD 21093-8288
(443) 689-8000

| DATE | ITEM | BY |
|----------|---------------------------------------|------|
| 11/20/08 | STORMWATER MANAGEMENT AS-BUILT | BLDG |
| 5/15/09 | REMOVED LOT LINE & PUBLIC SEWER ESM'T | BLDG |

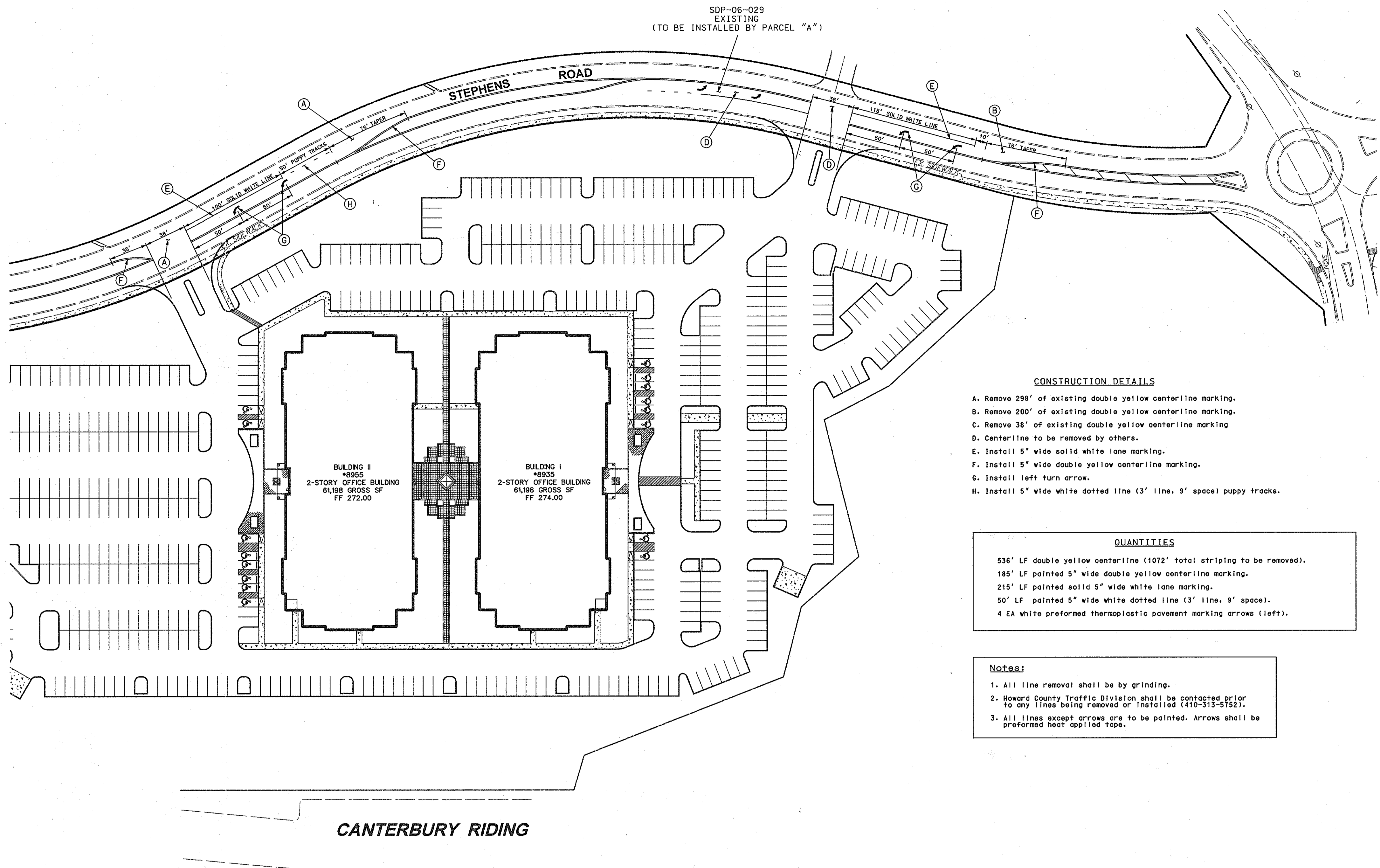
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division
Chief, Planning & Development Division
Director

| LOT / PARCEL NO. | STREET ADDRESS |
|------------------|-----------------------------|
| PARCEL S | 8935 AND 8955 STEPHENS ROAD |

| PERMIT INFORMATION CHART | | | | |
|-------------------------------------|-------------------------|---------------------------------|-------------------------|--------------------|
| SUBDIVISION NAME REVITZ PROPERTY | SECTION / AREA N / A | LOT / PARCEL NO. S 528 & 529 | TAX MAP NO. 20664 | ELEC. DIST. 6TH |
| PLAT NO. 20664 | GRID NO. 20 | ZONING PEC | CENSUS TRACT 6069-02 | |
| WATER CODE C-05 | SEWER CODE 7142500 | | | |

SOILS MAP & STORMWATER MANAGEMENT PLAN
RECHARGE ONLY
EMERSON CORPORATE COMMONS
PARCEL S (Revitz Property) (PLAT # 20664)

HOWARD COUNTY, MARYLAND
SCALE: 1"=50'



CONSTRUCTION DETAILS

- A. Remove 298' of existing double yellow centerline marking.
- B. Remove 200' of existing double yellow centerline marking.
- C. Remove 38' of existing double yellow centerline marking.
- D. Centerline to be removed by others.
- E. Install 5" wide solid white lane marking.
- F. Install 5" wide double yellow centerline marking.
- G. Install left turn arrow.
- H. Install 5" wide white dotted line (3' line, 9' space) puppy tracks.

QUANTITIES

- 536' LF double yellow centerline (1072' total striping to be removed).
- 185' LF pointed 5" wide double yellow centerline marking.
- 215' LF pointed solid 5" wide white lane marking.
- 50' LF pointed 5" wide white dotted line (3' line, 9' space).
- 4 EA white preformed thermoplastic pavement marking arrows (left).

Notes:

- 1. All line removal shall be by grinding.
- 2. Howard County Traffic Division shall be contacted prior to any lines being removed or installed (410-313-5752).
- 3. All lines except arrows are to be painted. Arrows shall be preformed heat applied tape.

GEOMETRIC LEGEND

PROPOSED
EXISTING

LEGEND OF UNDERGROUND AND OVERHEAD UTILITIES

AERIAL CABLE
ELECTRIC
TELEPHONE
GAS
SEWER
WATER
CABLE TV

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief Development Engineering Division
Chief Land Development Division
Director

6/15/07
6/15/07
6/14/07

ADDRESS CHART

| LOT / PARCEL NO. | STREET ADDRESS |
|------------------|--------------------|
| PARCEL B-2 | 8935 STEPHENS ROAD |
| PARCEL C-2 | 8955 STEPHENS ROAD |

PERMIT INFORMATION CHART

| | | | |
|-------------------------------------|----------------|-------------------------|-------------------------------|
| SUBDIVISION NAME REVITZ PROPERTY | | SECTION / AREA N / A | LOT / PARCEL NO. B-2 & C-2 |
| PLAT NO. 18974 | GRID NO. 20 | ZONING PEC | TAX MAP NO. 47 |
| ELEC. DIST. 6TH | | CENSUS TRACT 6069-02 | |
| WATER CODE C-05 | | SEWER CODE 7142500 | |

BLDG
Baltimore Land Design Group Inc.
Consulting Engineers

222 SCHILLING CIRCLE SUITE 105 • HUNT VALLEY, MARYLAND 21030
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



STTS
STREET TRAFFIC STUDIES, LTD.
402 South Macmillan
Columbia, MD 21046
PH 410.599.5500
FAX 410.599.6637

OWNER / DEVELOPER
JAMES F. KNOTT DEVELOPMENT CORPORATION & EMERSON CORPORATE COMMONS LIMITED PARTNERSHIP
1 TEXAS STATION COURT
SUITE 200
TIMONIUM, MD 21093-8288
(443) 689-8000

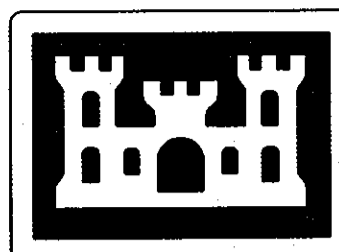
| DATE | ITEM | BY |
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PAVEMENT MARKING PLAN

EMERSON CORPORATE COMMONS
PARCELS B-2 & C-2 (Revitz Property) (plat # 18974)

HOWARD COUNTY, MARYLAND
SCALE: 1"=50'

48
SHEET 13 OF 18
DATE: JUNE, 2007
SDP-07-037



U.S. ARMY CORPS
OF ENGINEERS
BALTIMORE DISTRICT
REAL PROPERTY SERVICES FIELD OFFICE

PERIMETER SECURITY AND CONNECTOR BUILDING

8955 STEPHENS ROAD
LAUREL, MD

FINAL - REVISED SITE DEVELOPMENT PLAN
06-30-2009

JACOBS™

1100 N.GLEBE RD., ARLINGTON, VA, 22201

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FY: 2009

PROJECT: PTN19646

LEASE AGREEMENT NO. : DACA31-5-2008-0588

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APPROVED: DEPARTMENT OF PLANNING AND ZONING
Cindy Hamlet 7/21/09
CHIEF, DIVISION OF LAND DEVELOPMENT DATE
Chris Deussen 7/13/09
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
Paul D. Leighty 7/21/09
DIRECTOR DATE



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 31011
EXPIRATION DATE: 10-17-2010

| APPROVALS | |
|-------------------------|-------|
| PROJECT MANAGER | DATE: |
| MECHANICAL | DATE: |
| ELECTRICAL | DATE: |
| ARCH/CIVIL | DATE: |
| SPACE | DATE: |
| COMMS/DATA | DATE: |
| USER ELEMENT | DATE: |
| FIRE & SAFETY | DATE: |
| SECURITY | DATE: |
| ISSUED FOR CONSTRUCTION | DATE: |
| CORPS OF ENGINEERS | DATE: |

UNCLASSIFIED//FOR OFFICIAL USE ONLY

SCHEDULE OF DRAWINGS

| SHEET NO. | PLATE NO. | DRAWING CLASSIFICATION | DRAWING TITLE | DRAWING NO. |
|-----------|-----------|------------------------|--|-------------|
| 14 | 14 | U//FOUO | COVER SHEET | G5-001 |
| 15 | 15 | U//FOUO | DRAWING INDEX | G5-002 |
| 16 | 16 | U//FOUO | CIVIL LEGEND AND ABBREVIATIONS | C5-001 |
| 17 | 17 | U//FOUO | CIVIL GENERAL NOTES | C5-002 |
| 18 | 18 | U//FOUO | EXISTING CONDITIONS PLAN | C5-003 |
| 19 | 19 | U//FOUO | SITE REMOVAL PLAN | C5-003A |
| 20 | 20 | U//FOUO | OVERALL SITE LAYOUT PLAN / PERIMETER FENCE LAYOUT PLAN | C5-004 |
| 21 | 21 | U//FOUO | ENLARGED SITE LAYOUT PLAN | C5-005 |
| 22 | 22 | U//FOUO | ENLARGED SITE LAYOUT PLAN | C5-006 |
| 23 | 23 | U//FOUO | OVERALL SITE GRADING AND DRAINAGE PLAN | C5-007 |
| 24 | 24 | U//FOUO | ENLARGED SITE GRADING AND DRAINAGE PLAN | C5-008 |
| 25 | 25 | U//FOUO | ENLARGED SITE GRADING AND DRAINAGE PLAN | C5-008A |
| 26 | 26 | U//FOUO | EROSION AND SEDIMENT CONTROL PLAN | C5-009 |
| 27 | 27 | U//FOUO | EROSION AND SEDIMENT CONTROL NOTES | C5-010 |
| 28 | 28 | U//FOUO | EROSION AND SEDIMENT CONTROL NOTES | C5-011 |
| 29 | 29 | U//FOUO | SITE UTILITY PLAN | C5-012 |
| 30 | 30 | U//FOUO | UTILITY PROFILES | C5-013 |
| 31 | 31 | U//FOUO | SITE DETAILS | C5-014 |
| 32 | 32 | U//FOUO | SITE DETAILS | C5-015 |
| 33 | 33 | U//FOUO | SITE DETAILS | C5-016 |
| 34 | 34 | U//FOUO | SITE DETAILS | C5-017 |
| 35 | 35 | U//FOUO | TREE TRANSPLANTING PLAN- EXISTING TREE LOCATIONS | C5-018 |
| 36 | 36 | U//FOUO | TREE TRANSPLANTING PLAN- PROPOSED TREE LOCATIONS | C5-019 |
| 37 | 37 | U//FOUO | ELEVATIONS | A5-006 |
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| 39 | 39 | U//FOUO | SYMBOLS LIST | E5-002 |
| 40 | 40 | U//FOUO | SITE PLAN - EXISTING DEMOLITION | E5-003 |
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| 44 | 44 | U//FOUO | PART SITE PLAN - NEW WORK | E5-007 |
| 45 | 45 | U//FOUO | SCHEDULES | E5-009 |
| 46 | 46 | U//FOUO | DETAILS | E5-010 |
| 47 | 47 | U//FOUO | DETAILS | E5-011 |
| 48 | 48 | U//FOUO | DETAILS | E5-012 |

US Army Corps of Engineers
Baltimore District

REAL ESTATE DIVISION,
REAL PROPERTY SERVICES
ANNAPOLIS JUNCTION, MARYLAND

JACOBS
1100 KGLEBE RD., ARLINGTON, VA 22201

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| Date | Description | Mark | Drawn |
|----------|--|------|-------|
| 06-30-09 | REVISED SITE DEVELOPMENT PLAN Add Final Sheet Index | | |

| | | | |
|---|---------------------------------------|------------------------|-------------------------|
| Designed by: G. SPILLER | Checked by: S. GREGORY | Date: 06-30-09 | Rev. 1 |
| Drawn by: G. SPILLER | RSFO Project Manager GEORGE REILLY | Project No: 19646 | |
| Submitted by: NAME FRANKLIN P. MARTEL PRINCIPAL | File name: 0919646 | Plot date: 06-30-09 | Plot scale: AS SHOWN |

EMERSON SECURE PERIMETER AND CONNECTOR BUILDING

DRAWING INDEX

LAUREL, MD

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature]
CHIEF, DIVISION OF LAND DEVELOPMENT DATE 7/2/09

[Signature]
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE 7/2/09

[Signature]
DIRECTOR DATE 7/2/09

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. _____

MARYLAND LICENSE NO.: 31011

EXPIRATION DATE: 10-17-2010

Drawing No.
G5-002

Sheet Reference No.
15

Sheet 15 of 48

CIVIL ABBREVIATIONS

| | | | |
|----------|------------------------------------|-------|----------------------------------|
| APPROX | APPROXIMATE | PVMT | PAVEMENT |
| AVG | AVERAGE | QTY | QUANTITY |
| ASPH | ASPHALT | R | RADIUS |
| BOD | BOTTOM OF DUCT BANK | RCP | REINFORCED CONCRETE PIPE |
| BOT | BOTTOM | REF | REFERENCE |
| BLRD | BOLLARD | REINF | REINFORCEMENT |
| BLDG | BUILDING | REQ'D | REQUIRED |
| BM | BENCHMARK | S | SOUTH |
| BRG | BEARING | SAN | SANITARY SEWER |
| BW | BOTTOM OF WALL | SB | STRAW BALES |
| CB | CATCH BASIN | SCE | STABILIZED CONSTRUCTION ENTRANCE |
| C&G | CURB AND GUTTER | SCHED | SCHEDULE |
| CHWR | CHILLED WATER RETURN | SF | SILT FENCE |
| CHWS | CHILLED WATER SUPPLY | TD | TRENCH DRAIN |
| CI | CURB INLET | TELCO | TELECOMMUNICATIONS |
| CJ | CONSTRUCTION JOINT | TC | TOP OF CURB |
| CL C/L | CENTERLINE | TMH | TELECOMMUNICATIONS MANHOLE |
| CO | CLEANOUT | TW | TOP OF WALL |
| CONC | CONCRETE | TYP | TYPICAL |
| CONN | CONNECTION | UG | UNDERGROUND |
| CONST | CONSTRUCTION | UTIL | UTILITY |
| CONT | CONTINUE, CONTINUATION | VERT | VERTICAL |
| COR | CONTRACTING OFFICER REPRESENTATIVE | VB | VERTICAL BEND |
| CP | CAMERA POLE | W | WEST/WATER |
| CTR | CENTER | W/ | WITH |
| DEG | DEGREE | WM | WATER METER |
| DEMO | DEMOLITION | WMA | WATER MANAGEMENT ADMINISTRATION |
| DET | DETAIL | W/O | WITHOUT |
| DIA | DIAMETER | WT | WEIGHT |
| DIM | DIMENSION | WV | WATER VALVE |
| DIP | DUCTILE IRON PIPE | WWF | WELDED WIRE FABRIC |
| DN | DOWN | | |
| DWG | DRAWING | | |
| E | EAST | | |
| EA | EACH | | |
| ED | EARTH DIKE | | |
| EJ | EXPANSION JOINT | | |
| EL/ELEV | ELEVATION | | |
| EMH | ELECTRIC MANHOLE | | |
| EP | EDGE OF PAVEMENT | | |
| EQ | EQUAL | | |
| EW | EACH WAY | | |
| EX/EXIST | EXISTING | | |
| EXP | EXPANSION | | |
| FDC | FIRE DEPARTMENT CONNECTION | | |
| FH | FIRE HYDRANT | | |
| FIN | FINISH | | |
| FOR | FUEL OIL RETURN | | |
| FOS | FUEL OIL SUPPLY | | |
| FRP | FIBERGLASS REINFORCED PIPE | | |
| FT | FOOT, FEET | | |
| FTG | FOOTING | | |
| G | GAS | | |
| GAL | GALLON | | |
| GMH | GAS MANHOLE | | |
| GV | GATE VALVE | | |
| GFE | GOVERNMENT FURNISHED EQUIPMENT | | |
| HH | HANDHOLE | | |
| HB | HORIZONTAL BEND | | |
| HGT | HEIGHT | | |
| HORIZ | HORIZONTAL | | |
| HR | HOUR | | |
| ID | INSIDE DIAMETER | | |
| IN | INCH | | |
| INV | INVERT | | |
| IP | INLET PROTECTION | | |
| IPS | IRON PIPE SET | | |
| JT | JOINT | | |
| L | LENGTH | | |
| LF | LINEAR FEET | | |
| LP | LIGHT POLE | | |
| MAT | MATERIAL | | |
| MAX | MAXIMUM | | |
| MH | MANHOLE | | |
| MIN | MINIMUM | | |
| MISC | MISCELLANEOUS | | |
| N | NORTH | | |
| NIC | NOT IN CONTRACT | | |
| NO | NUMBER | | |
| NTS | NOT TO SCALE | | |
| OC | ON CENTER | | |
| OD | OUTSIDE DIAMETER | | |
| OHE | OVERHEAD ELECTRIC | | |
| OP | OUTLET PROTECTION | | |
| PS | PARKING SPACE | | |
| PE | POLYETHYLENE PIPE | | |
| PP | POWER POLE | | |
| POB | POINT OF BEGINNING | | |
| PL | POINT OF CONNECTION | | |
| PL | PROPERTY LINE | | |
| PVC | POLYVINYL CHLORIDE PIPE | | |

CIVIL LEGEND & SYMBOLS

| EXISTING SYMBOL | REMOVAL SYMBOL | PROPOSED SYMBOL | DESCRIPTION |
|-----------------|----------------|-----------------|---------------------------|
| | | | PROPERTY LINE/EASEMENT |
| | | | ASPHALT PAVEMENT |
| | | | CONCRETE PAVEMENT |
| | | | STAMPED CONCRETE PAVEMENT |
| | | | CONCRETE CURB AND GUTTER |
| | | | CONCRETE CURB |
| | | | PAVEMENT STRIPING |
| | | | BUILDING |
| | | | TREELINE/SHRUBLINE |
| | | | TREE/SHRUB |
| | | | FENCE |
| | | | KNEE WALL |
| | | | SLIDING GATE |
| | | | VEHICLE BARRIER |
| | | | CRASH BARRIER |
| | | | SIGN |
| | | | MAJOR CONTOUR |
| | | | MINOR CONTOUR |
| | | | SPOT ELEVATION |
| | | | STORM PIPE |
| | | | STORM MANHOLE |
| | | | CATCH BASIN |
| | | | SANITARY SEWER PIPE |
| | | | SANITARY SEWER MANHOLE |
| | | | WATER LINE |
| | | | FIRE HYDRANT |
| | | | WATER VALVE |
| | | | SIAMESE CONNECTION |
| | | | LIGHT |
| | | | GAS LINE |
| | | | GAS VALVE |
| | | | GAS METER |
| | | | ELECTRICAL LINE |
| | | | ELECTRICAL HAND HOLE |
| | | | MONITORING WELL |
| | | | CONSTRUCTION ENTRANCE |
| | | | LIMIT OF DISTURBANCE |
| | | | SILT FENCE |
| | | | TREE PROTECTION |
| | | | AT GRADE INLET PROTECTION |
| | | | CURB INLET PROTECTION |

OWNER'S / DEVELOPER'S CERTIFICATION

I/WE HEREBY CERTIFY THAT ALL CLEARING, GRADING, CONSTRUCTION, AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT BEFORE BEGINNING THE PROJECT. I HEREBY AUTHORIZE THE RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY STATE OF MARYLAND, DEPARTMENT OF THE ENVIRONMENT, COMPLIANCE INSPECTORS.

DATE: _____ OWNER/DEVELOPER SIGNATURE: _____

CARD NO. _____ PRINTED NAME AND TITLE: _____

DESIGN CERTIFICATION

I/WE HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, THE 2000 MARYLAND STORMWATER DESIGN MANUAL, VOLUMES I & II AND THE MARYLAND DEPARTMENT OF THE ENVIRONMENT EROSION AND SEDIMENT CONTROL AND STORMWATER MANAGEMENT REGULATIONS.

DATE: 6/30/09 MD REGISTRATION NO. 31011
 P.E., R.L.S., RLA OR R.A. (CIRCLE ONE)

DESIGNER'S SIGNATURE: [Signature]
 PRINTED NAME: SUANE GREGORY

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 31011 EXPIRATION DATE: 10-17-2010

AS BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT FACILITY SHOWN ON THE PLANS HAS (HAVE) BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS APPROVED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT, EXCEPT AS NOTED IN RED ON THE "AS BUILT" DRAWINGS.

NAME: _____ SIGNATURE: _____

MARYLAND REGISTRATION NO. _____ DATE: _____

DATE: _____ FACILITY IDENTIFICATION (NUMBER AND/OR TYPE): _____

*CERTIFY MEANS TO STATE OR DECLARE A PROFESSIONAL OPINION BASED ON SUFFICIENT AND APPROPRIATE ONSITE INSPECTIONS AND MATERIAL TESTS CONDUCTED DURING CONSTRUCTION.

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. _____ EXPIRATION DATE: _____

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DIVISION OF LAND DEVELOPMENT: [Signature] DATE: 7/2/09
 CHIEF, DEVELOPMENT ENGINEERING DIVISION: [Signature] DATE: 7/13/09
 DIRECTOR: [Signature] DATE: 7/21/09

US Army Corps of Engineers
Baltimore District

REAL ESTATE DIVISION
REAL PROPERTY SERVICES
FIELD OFFICE
ANNAPOLIS JUNCTION, MARYLAND

JACOBS
1100 NUGBEE RD., ARLINGTON, VA, 22201

STATE OF MARYLAND
DEPARTMENT OF THE ENVIRONMENT
PROFESSIONAL ENGINEER

REVISIONS

| Rev. | Date | Description |
|------|----------|----------------------------|
| 1 | 06-30-09 | ADD TO AND ALTER TO LEGEND |

DESIGNED BY: G. SHILLER
 DWN BY: G. SHILLER
 REFO Project: "Magar"
 GEORGE REILLY
 Submitted by: FRANKLIN P. MASTEL
 PRINCIPAL

DATE: 06-30-09
 Project No: 19646
 File name: 09194
 Plo. date: 06-30-09
 Plo. date: AS SHOWN

EMERSON, SECURE PERIMETER AND CONNECTOR BUILDING
 CIVIL LEGEND AND ABBREVIATIONS
 LAUREL, MD

Drawing No. C5-001
 Sheet Reference No. 16
 Sheet 16 of 48
 SDP-09-037

STANDARD EROSION & SEDIMENT CONTROL NOTES

- 1. THE CONTRACTOR SHALL NOTIFY THE ADMINISTRATION (WMA) AT (410) 537-3510 SEVEN (7) DAYS BEFORE COMMENCING ANY LAND DISTURBING ACTIVITY AND, UNLESS WAIVED BY THE ADMINISTRATION, SHALL BE REQUIRED TO HOLD A PRE- CONSTRUCTION MEETING BETWEEN PROJECT REPRESENTATIVES AND A REPRESENTATIVE OF WMA.
2. THE CONTRACTOR MUST NOTIFY WMA IN WRITING AND BY TELEPHONE AT THE FOLLOWING POINTS:
A. THE REQUIRED PRE- CONSTRUCTION MEETING.
B. FOLLOWING INSTALLATION OF SEDIMENT CONTROL MEASURES.
C. DURING THE INSTALLATION OF SEDIMENT BASINS (TO BE CONVERTED INTO PERMANENT STORMWATER MANAGEMENT STRUCTURES) AT THE REQUIRED INSPECTION POINTS (SEE INSPECTION CHECKLIST ON PLAN). NOTIFICATION PRIOR TO COMMENCING CONSTRUCTION OF EACH STEP IS MANDATORY.
D. PRIOR TO REMOVAL OR MODIFICATION OF ANY SEDIMENT CONTROL STRUCTURE(S).
E. PRIOR TO REMOVAL OF ALL SEDIMENT CONTROL DEVICES.
F. PRIOR TO FINAL ACCEPTANCE.
3. THE CONTRACTOR SHALL CONSTRUCT ALL EROSION AND SEDIMENT CONTROL MEASURES PER THE APPROVED PLAN AND CONSTRUCTION SEQUENCE AND SHALL HAVE THEM INSPECTED AND APPROVED BY THE AGENCY INSPECTOR OR WMA INSPECTOR PRIOR TO BEGINNING ANY OTHER LAND DISTURBANCES. MINOR SEDIMENT CONTROL DEVICE LOCATION ADJUSTMENTS MAY BE MADE IN THE FIELD WITH THE APPROVAL OF THE WMA INSPECTOR. THE CONTRACTOR SHALL ENSURE THAT ALL RUNOFF FROM DISTURBED AREAS IS DIRECTED TO THE SEDIMENT CONTROL DEVICES AND SHALL NOT REMOVE ANY EROSION OR SEDIMENT CONTROL MEASURE WITHOUT PRIOR PERMISSION FROM WMA INSPECTOR AND AGENCY INSPECTOR. THE CONTRACTOR MUST OBTAIN PRIOR AGENCY AND WMA APPROVAL FOR CHANGES TO THE SEDIMENT CONTROL PLAN AND/OR SEQUENCE OF CONSTRUCTION.
4. THE CONTRACTOR SHALL PROTECT ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS TO PREVENT THE DEPOSITION OF MATERIALS ONTO PUBLIC ROADS. ALL MATERIALS DEPOSITED ONTO PUBLIC ROADS SHALL BE REMOVED IMMEDIATELY.
5. THE CONTRACTOR SHALL INSPECT DAILY AND MAINTAIN CONTINUOUSLY IN AN EFFECTIVE OPERATING CONDITION ALL EROSION AND SEDIMENT CONTROL MEASURES UNTIL SUCH TIMES AS THEY ARE REMOVED WITH PRIOR PERMISSION FROM WMA INSPECTOR AND AGENCY INSPECTOR.
6. ALL SEDIMENT BASINS, TRAP EMBANKMENTS AND SLOPES, PERIMETER DIKES, SWALES AND ALL DISTURBED SLOPES STEEPER OR EQUAL TO 3:1 SHALL BE STABILIZED WITH SOD OR SEED AND ANCHORED STRAW MULCH, OR OTHER APPROVED STABILIZATION MEASURES, AS SOON AS POSSIBLE BUT NO LATER THAN SEVEN (7) CALENDAR DAYS AFTER ESTABLISHMENT. ALL AREAS DISTURBED OUTSIDE OF THE PERIMETER SEDIMENT CONTROL SYSTEM MUST BE MINIMIZED. MAINTENANCE MUST BE PERFORMED AS NECESSARY TO ENSURE CONTINUED STABILIZATION. (REQUIREMENT FOR STABILIZATION MAY BE REDUCED TO THREE (3) DAYS FOR SENSITIVE AREAS.)
7. THE CONTRACTOR SHALL APPLY SOD OR SEED AND ANCHORED STRAW MULCH, OR OTHER APPROVED STABILIZATION MEASURES TO ALL DISTURBED AREAS AND STOCKPILES WITHIN FOURTEEN (14) CALENDAR DAYS AFTER STRIPPING AND GRADING ACTIVITIES HAVE CEASED IN THE AREA. MAINTENANCE SHALL BE PERFORMED AS NECESSARY TO ENSURE CONTINUED STABILIZATION. (REQUIREMENT MAY BE REDUCED TO SEVEN (7) DAYS FOR SENSITIVE AREAS.)
8. PRIOR TO REMOVAL OF SEDIMENT CONTROL MEASURES, THE CONTRACTOR SHALL STABILIZE AND HAVE ESTABLISHED PERMANENT STABILIZATION FOR ALL CONTRIBUTORY DISTURBED AREAS USING SOD OR AN APPROVED PERMANENT SEED MIXTURE WITH ROOTS FROM TRAVERSING THE SLOPES OR BY INSTALLING PROTECTIVE DEVICES TO LOWER THE WATER DOWN SLOPE WITHOUT CAUSING EROSION. DIKES SHALL BE INSTALLED AND MAINTAINED AT THE TOP OF A CUT OR FILL SLOPE UNTIL THE SLOPE AND DRAINAGE AREA TO IT ARE FULLY STABILIZED, AT WHICH TIME THEY MUST BE REMOVED AND FINAL GRADING DONE TO PROMOTE SHEET FLOW DRAINAGE. PROTECTIVE METHODS MUST BE PROVIDED AT POINTS OF CONCENTRATED FLOW WHERE EROSION IS LIKELY TO OCCUR.
9. THE SITE'S APPROVAL LETTER, APPROVED EROSION AND SEDIMENT CONTROL PLANS, DAILY LOG BOOK, AND TEST REPORTS SHALL BE AVAILABLE AT THE SITE FOR INSPECTION BY DULY AUTHORIZED OFFICIALS OF WMA AND THE AGENCY RESPONSIBLE FOR PROJECT.
10. SURFACE DRAINAGE FLOWS OVER UNSTABILIZED CUT AND FILL SLOPES SHALL BE CONTROLLED BY EITHER PREVENTING DRAINAGE TRENCHES FROM TRAVERSING THE SLOPES OR BY INSTALLING PROTECTIVE DEVICES TO LOWER THE WATER DOWN SLOPE WITHOUT CAUSING EROSION. DIKES SHALL BE INSTALLED AND MAINTAINED AT THE TOP OF A CUT OR FILL SLOPE UNTIL THE SLOPE AND DRAINAGE AREA TO IT ARE FULLY STABILIZED, AT WHICH TIME THEY MUST BE REMOVED AND FINAL GRADING DONE TO PROMOTE SHEET FLOW DRAINAGE. PROTECTIVE METHODS MUST BE PROVIDED AT POINTS OF CONCENTRATED FLOW WHERE EROSION IS LIKELY TO OCCUR.
11. PERMANENT SWALES OR OTHER POINTS OF CONCENTRATED WATER FLOW SHALL BE STABILIZED WITH SOD OR SEED WITH AN APPROVED EROSION CONTROL MATTING, RIP-RAP, OR BY OTHER APPROVED STABILIZATION MEASURES.
12. TEMPORARY SEDIMENT CONTROL DEVICES MAY BE REMOVED, WITH PERMISSION OF WMA INSPECTOR AND AGENCY INSPECTORS, WITHIN THIRTY (30) CALENDAR DAYS FOLLOWING ESTABLISHMENT OR PERMANENT STABILIZATION IN ALL CONTRIBUTORY DRAINAGE AREAS. STORMWATER MANAGEMENT STRUCTURES USED TEMPORARILY FOR SEDIMENT CONTROL SHALL BE CONVERTED TO THE PERMANENT CONFIGURATION WITHIN THIS TIME PERIOD AS WELL.
13. NO PERMANENT CUT OR FILL SLOPE WITH A GRADIENT STEEPER THAN 3:1 WILL BE PERMITTED IN LAWN MAINTENANCE AREAS. A SLOPE GRADIENT OF UP TO 2:1 WILL BE PERMITTED IN NON-MAINTENANCE AREAS PROVIDED THAT THOSE AREAS ARE INDICATED ON THE EROSION AND SEDIMENT CONTROL PLAN WITH A LOW-MAINTENANCE GROUND COVER SPECIFIED FOR PERMANENT STABILIZATION. SLOPE GRADIENT STEEPER THAN 2:1 WILL NOT BE PERMITTED WITH VEGETATIVE STABILIZATION.
14. FOR FINISHED GRADING, THE CONTRACTOR SHALL PROVIDE ADEQUATE GRADIENTS TO PREVENT WATER FROM PONDING FOR MORE THAN TWENTY FOUR (24) HOURS AFTER THE END OF A RAINFALL EVENT. DRAINAGE COURSES AND SWALE FLOW AREAS MAY TAKE AS LONG AS FORTY EIGHT (48) HOURS AFTER THE END OF A RAINFALL EVENT TO DRAIN. AREAS DESIGNED TO HAVE STANDING WATER SHALL NOT BE REQUIRED TO MEET THIS REQUIREMENT.
15. SEDIMENT TRAPS OR BASINS ARE NOT PERMITTED WITHIN 20 FEET OF A FOUNDATION THAT EXISTS OR IS UNDER CONSTRUCTION. NO STRUCTURE MAY BE CONSTRUCTED WITHIN 20 FEET OF AN ACTIVE SEDIMENT TRAP OR BASIN.
16. THE WMA INSPECTOR HAS THE OPTION OF REQUIRING ADDITIONAL SAFETY OR SEDIMENT CONTROL MEASURES, IF DEEMED NECESSARY.
17. ALL TRAP DEPTH DIMENSIONS ARE RELATIVE TO THE OUTLET ELEVATION. ALL TRAPS MUST HAVE A STABLE OUTFALL. ALL TRAPS AND BASINS SHALL HAVE STABLE INFLOW POINTS.
18. VEGETATIVE STABILIZATION SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. REFER TO APPROPRIATE SPECIFICATIONS FOR TEMPORARY SEEDING PERMANENT SEEDING, MULCHING, SODDING, AND GROUND COVERS.
19. SEDIMENT SHALL BE REMOVED AND THE TRAP OR BASIN RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE QUARTER OF THE TOTAL DEPTH OF THE TRAP OR BASIN. TOTAL DEPTH SHALL BE MEASURED FROM THE TRAP OR BASIN BOTTOM TO THE CREST OF THE OUTLET.
20. SEDIMENT REMOVED FROM TRAPS (AND BASINS) SHALL BE PLACED AND STABILIZED IN APPROVED AREAS, BUT NOT WITHIN A FLOODPLAIN, WETLAND OR TREE-SAVE AREA. WHEN PUMPING SEDIMENT LADEN WATER, THE DISCHARGE MUST BE DIRECTED TO A SEDIMENT TRAPPING DEVICE PRIOR TO RELEASE FROM THE SITE. A SUMP PIT MAY BE USED IF SEDIMENT TRAPS THEMSELVES ARE BEING PUMPED OUT.
21. ALL WATER REMOVED FROM EXCAVATED AREAS SHALL BE PASSED THROUGH A WMA APPROVED DEWATERING PRACTICE OR PUMPED TO A SEDIMENT TRAP OR BASIN PRIOR TO DISCHARGE TO A FUNCTIONAL STORM DRAIN SYSTEM OR TO STABLE GROUND SURFACE.
22. SEDIMENT CONTROL FOR UTILITY CONSTRUCTION FOR AREAS OUTSIDE OF DESIGNED CONTROLS OR AS DIRECTED BY ENGINEER OR WMA INSPECTOR:
A. CALL "MISS UTILITY" AT 1-800-257-7777 48 HOURS PRIOR TO THE START OF WORK.
B. EXCAVATED TRENCH MATERIAL SHALL BE PLACED ON THE HIGH SIDE OF THE TRENCH.
C. TRENCHES FOR UTILITY INSTALLATION SHALL BE BACKFILLED, COMPACTED, AND STABILIZED AT THE END OF EACH WORKING DAY. NO MORE TRENCH SHALL BE OPENED THAN CAN BE COMPLETED THE SAME DAY, UNLESS:
D. TEMPORARY SILT FENCE SHALL BE PLACED IMMEDIATELY DOWNSTREAM OF ANY DISTURBED AREA INTENDED TO REMAIN DISTURBED FOR MORE THAN ONE DAY.
23. WHERE DEEMED APPROPRIATE BY THE ENGINEER OR INSPECTOR, SEDIMENT BASINS AND TRAPS MAY NEED TO BE SURROUNDED WITH AN APPROVED SAFETY FENCE. THE FENCE MUST CONFORM TO LOCAL ORDINANCES AND REGULATIONS. THE DEVELOPER OR OWNER SHALL CHECK WITH LOCAL BUILDING OFFICIALS ON APPLICABLE SAFETY REQUIREMENTS. WHERE SAFETY FENCE IS DEEMED APPROPRIATE AND LOCAL ORDINANCES DO NOT SPECIFY FENCING SIZES AND TYPES, THE FOLLOWING SHALL BE USED AS A MINIMUM STANDARD: THE SAFETY FENCE MUST BE MADE OF WELDED WIRE AND AT LEAST 42 INCHES HIGH, HAVE POSTS SPACED NO FARTHER APART THAN 8 FEET, HAVE MESH OPENINGS NO GREATER THAN 2 INCHES IN WIDTH AND 4 INCHES IN HEIGHT WITH A MINIMUM OF 14 GAUGE WIRE. SAFETY FENCE MUST BE MAINTAINED AND IN GOOD CONDITION AT ALL TIMES.

STANDARD EROSION & SEDIMENT CONTROL NOTES

- 24. OFF-SITE SPOIL OR BORROW AREAS ON STATE OR FEDERAL PROPERTY MUST HAVE PRIOR APPROVAL BY WMA AND OTHER APPLICABLE STATE, FEDERAL AND LOCAL AGENCIES. OTHERWISE APPROVAL MUST BE GRANTED BY THE LOCAL AUTHORITIES. ALL WASTE AND BORROW AREAS OFF-SITE MUST BE PROTECTED BY SEDIMENT CONTROL MEASURES AND STABILIZED.
25. SITES WHERE INFILTRATION DEVICES ARE USED FOR THE CONTROL OF STORMWATER, EXTREME CARE MUST BE TAKEN TO PREVENT RUNOFF FROM UNSTABILIZED AREAS FROM ENTERING THE STRUCTURE DURING CONSTRUCTION. SEDIMENT CONTROL DEVICES PLACED IN INFILTRATION AREAS MUST HAVE BOTTOM ELEVATIONS AT LEAST TWO (2) FEET HIGHER THAN THE FINISHED GRADE BOTTOM ELEVATION OF THE INFILTRATION PRACTICE. WHEN CONVERTING A SEDIMENT TRAP TO AN INFILTRATION DEVICE, ALL ACCUMULATED SEDIMENT MUST BE REMOVED AND DISPOSED OF PRIOR TO FINAL GRADING OF INFILTRATION DEVICE.
26. WHEN A STORM DRAIN SYSTEM OUTFALL IS DIRECTED TO A SEDIMENT TRAP OR SEDIMENT BASIN AND THE SYSTEM IS TO BE USED FOR TEMPORARILY CONVEYING SEDIMENT LADEN WATER, ALL STORM DRAIN INLETS IN NON-SUMP AREAS SHALL HAVE TEMPORARY ASPHALT BERMS CONSTRUCTED AT THE TIME OF BASE PAVING TO DIRECT GUTTER FLOW INTO THE INLETS TO AVOID SURCHARGING AND OVERFLOW OF INLETS IN SUMP AREAS.
27. SITE INFORMATION:
A. TOTAL AREA OF FACILITY 10.11 AC
B. AREA DISTURBED 3.40 AC
C. AREA TO BE ROOFED OR PAVED 0.70 AC
D. TOTAL CUT 1500 CY
E. TOTAL FILL 400 CY
F. OFF-SITE WASTE/BORROW AREA LOCATION TO BE DETERMINED BY THE CONTRACTOR

GENERAL NOTES

- 1. PRIOR TO ANY LAND DISTURBING ACTIVITIES, CONTACT "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO START OF WORK.
2. ENSURE THAT POSITIVE DRAINAGE IS MAINTAINED AWAY FROM ALL BUILDINGS.
3. ALL DIMENSION SHOWN ARE TO FACE OF CURB OR EDGE OF PAVEMENT, UNLESS NOTED OTHERWISE.
4. UNLESS OTHERWISE REQUIRED BY APPLICABLE PERMIT OR AGENCY, OR UNLESS OTHERWISE SPECIFIED IN THE CONSTRUCTION DOCUMENTS, CONTRACTOR SHALL RESTORE DISTURBED AREAS (TO MEET OR EXCEED EXISTING CONDITIONS).

SITE UTILITY NOTES

- 1. DIG TEST PITS AT ALL UTILITY TIE IN LOCATIONS AND EXISTING UTILITY CROSSINGS, TO VERIFY EXISTING INVERT INFORMATION, PIPE SIZES AND MATERIALS. IF FINDINGS DIFFER FROM WHAT IS SHOWN ON PLANS, NOTIFY THE CONTRACTING OFFICER REPRESENTATIVE IMMEDIATELY, PRIOR TO ANY CONSTRUCTION.
2. PROVIDE 45° VERTICAL BENDS TO ROUTE WATERLINES BENEATH OTHER UTILITIES WHERE THERE IS A CONFLICT, AS REQUIRED. MINIMUM 12" VERTICAL SEPARATION REQUIRED BETWEEN UTILITIES.
3. REROUTE AND RELOCATE ANY EXISTING UTILITY IMPACTED FROM CONSTRUCTION, AS NECESSARY TO MAINTAIN PROPER COVER AND SERVICE OF EXISTING UTILITIES AFTER FINAL GRADING.
4. CONTRACTOR SHALL PATCH AND REPAIR PAVEMENT THAT IS DAMAGED OR REMOVED AS A RESULT OF CONSTRUCTING UTILITIES.

SURVEY NOTES

- 1. BOUNDARY INFORMATION BASED ON SURVEY BY DAFT, MCCUNE & WALKER - PLAT 15785.
2. TOPOGRAPHIC INFORMATION BASED ON FIELD SURVEY BY SURVEY SERVICES OF MARYLAND, LLC AND RECORD MAPPING PROVIDED BY THE CLIENT.
3. HORIZONTAL DATUM BASED ON MCS-NAD83.
4. VERTICAL DATUM BASED ON NAVD88.
5. NOTIFY THE CONTRACTING OFFICER'S REPRESENTATIVE (COR) IMMEDIATELY IF CONDITIONS DIFFER FROM WHAT IS SHOWN ON PLANS.

SITE REMOVAL NOTES

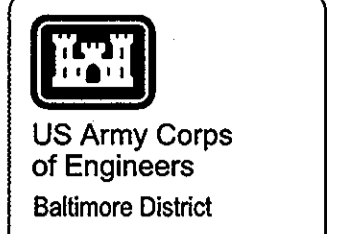
- 1. LIMITS AND ITEMS SHOWN FOR REMOVAL ARE BASED ON BEST AVAILABLE RECORD MAPPING. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ANY ITEMS NOT SHOWN WITHIN THE LIMITS OF CONSTRUCTION AS NECESSARY TO COMPLETE THE REQUIRED WORK.
2. ANY UTILITIES SHOWN TO BE REMOVED SHALL BE FIELD VERIFIED BY THE CONTRACTOR. CONTRACTOR SHALL NOTIFY AND SCHEDULE ANY INTENDED UTILITY INTERRUPTIONS WITH THE CONTRACTING OFFICER REPRESENTATIVE PRIOR TO WORK.
3. COORDINATE ANY UTILITY REMOVAL WITH THE SITE UTILITY PLANS.
4. MAINTAIN EXISTING SERVICES DESIGNATED TO BE REMOVED IN OPERATION UNTIL TEMPORARY SERVICES HAVE BEEN INSTALLED AND ARE OPERATIONAL.
5. COORDINATE WITH SITE LAYOUT, SITE GRADING PLAN AND SITE UTILITY PLAN FOR LIMITS OF REMOVAL.

SEQUENCE OF CONSTRUCTION

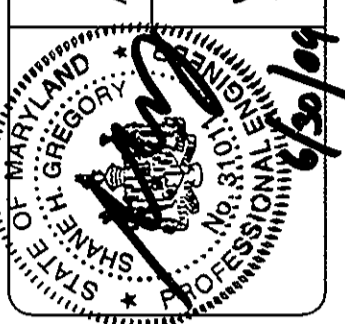
- 1. HOLD PRE-CONSTRUCTION MEETING.
2. INSTALL PERIMETER EROSION AND SEDIMENT CONTROL DEVICES.
3. INSTALL PERIMETER SECURITY CONTROL DEVICES.
4. INSTALL COMBINED WATER LINE AND REMOVE PORTION OF EXISTING WATER LINE, AS SHOWN ON PLANS.
5. REMOVE EXISTING STORM SEWERS AND CATCH BASINS AS SHOWN ON PLANS.
6. INSTALL STORM SEWER LINES, MANHOLES, AND CATCH BASINS.
7. INSTALL INLET PROTECTION ON NEW CATCH BASINS.
8. REMOVE EXISTING ROADWAY, CURB, AND SIDEWALK AS INDICATED.
9. GRADE SITE AS INDICATED.
10. CONSTRUCT NEW ROADWAY, CURB, GUARD HOUSE (GFE), AND CONNECTOR BUILDING.
11. RESTRIPE PARKING AREA AS INDICATED.
12. STABILIZE SITE AND, UPON MDE APPROVAL, REMOVE EROSION AND SEDIMENT CONTROL DEVICES.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Division of Land Development 7/2/09
Chief, Development Engineering Division 7/13/09
Director 7/21/09

PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO.
MARYLAND LICENSE NO.: 31011
EXPIRATION DATE: 10-17-2010



US Army Corps of Engineers
Baltimore District
REAL ESTATE DIVISION
FIELD OFFICE
ANNAPOLIS JUNCTION, MARYLAND



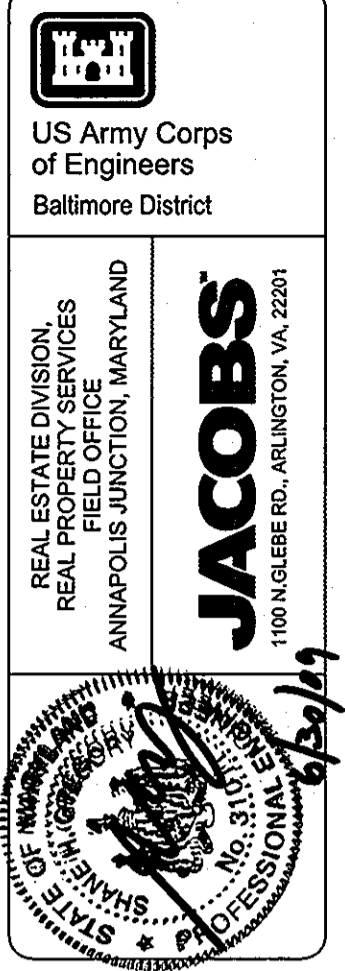
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Table with columns: Date, Description, Mark, Date, Description, Mark. Includes entry for 'REVISED SITE DEVELOPMENT PLAN' dated 06-30-09.

Designed by: G. SHILLER
Dwn by: S. GREGORY
RSFO Project Manager: GEORGE REILLY
Submitted by: FRANKLIN P. MASTEL
NAME: FRANKLIN P. MASTEL
PRINCIPAL

EMERSON, SECURE PERIMETER AND CONNECTOR BUILDING
CIVIL GENERAL NOTES
LAUREL, MD

Drawing No. C5-002
Sheet Reference No. 17
Sheet 17 of 48
SDP-D7-037



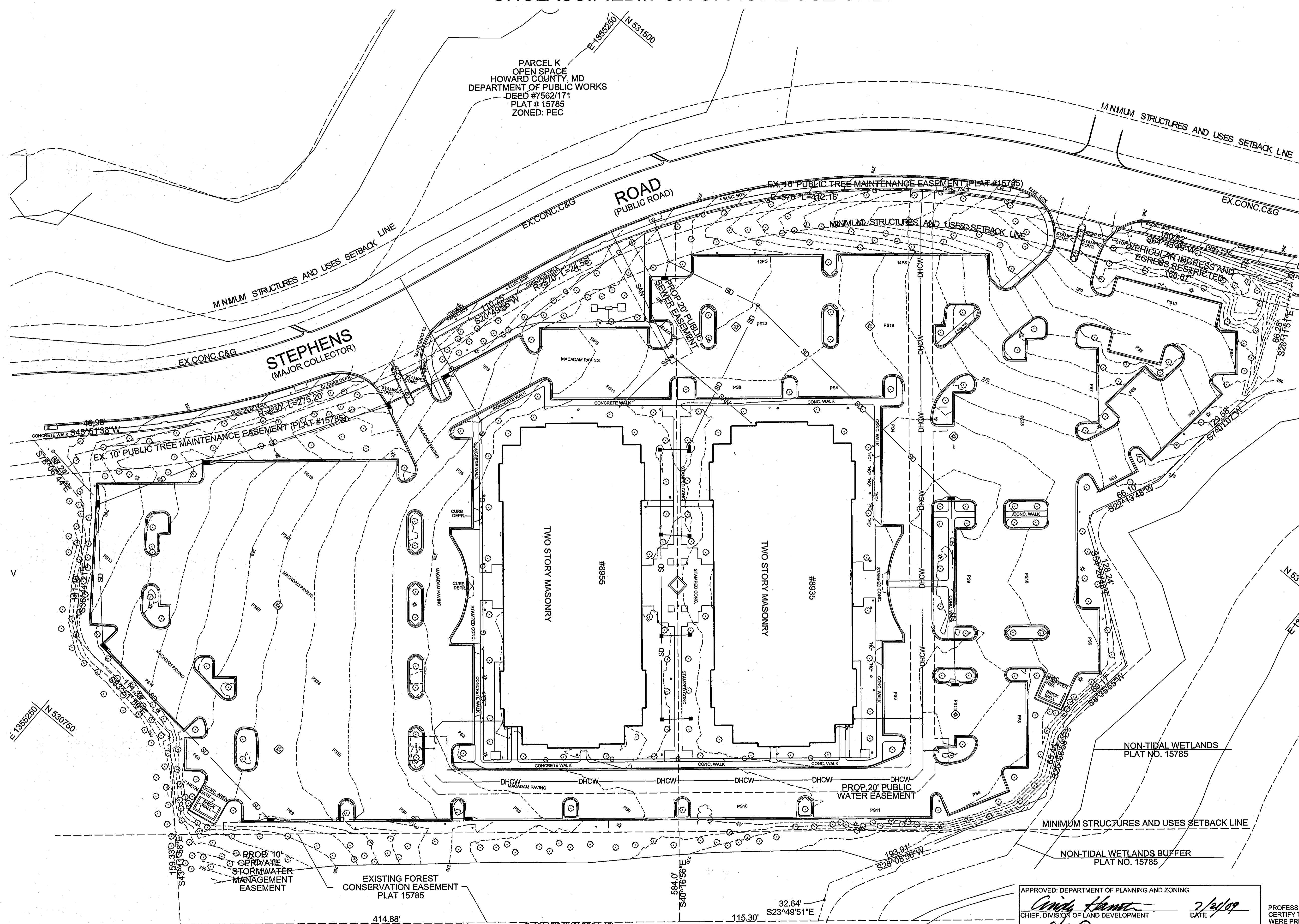
REAL ESTATE DIVISION
REAL PROPERTY SERVICES
FIELD OFFICE
ANNAPOLIS JUNCTION, MARYLAND
JACOBS
1100 N. GLEBE RD., ARLINGTON, VA 22201

| REVISED SITE DEVELOPMENT PLAN | DATE | DESCRIPTION | MARK |
|-------------------------------|----------|-------------|------|
| EXIST. Dwg. Conditions | 06-30-09 | | |

| | | |
|--|--------------------|---------------------|
| Designed by: G. SHILLER | Date: 06-30-09 | Rev. 1 |
| Dwn by: G. SHILLER | Project No. 19846 | |
| RSFO Project Manager GEORGE REILLY | File name: 011846 | |
| Submitted by: NAME: FRANKLIN P. MASTEL PRINCIPAL | Per date: 06-30-09 | Per scale: AS SHOWN |

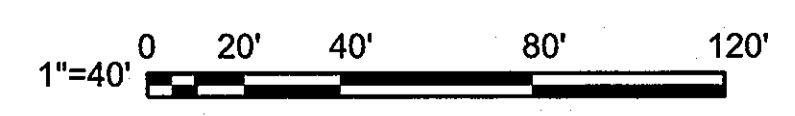
EMERSON, SECURE BARRIER AND CONNECTOR BUILDING
EXISTING CONDITIONS PLAN
AUREL, MD

Drawing No. C5-003
Sheet Reference No. 18
Sheet 18 of 48
SDP-07-037



APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chris Lane 7/24/09
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE
Chris Penniman 7/12/09
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
David McLaughlin 7/26/09
 DIRECTOR DATE

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. MARYLAND LICENSE NO.: 31011 EXPIRATION DATE: 10-17-2010



GENERAL NOTES

1. REFER TO LANDSCAPE PLANS FOR TREE REMOVAL.
2. REFER TO ELECTRICAL PLANS FOR ELECTRICAL DEMOLITION.

US Army Corps of Engineers
Baltimore District

REAL ESTATE DIVISION
REAL PROPERTY SERVICES
FIELD OFFICE
ANNAPOLIS JUNCTION, MARYLAND

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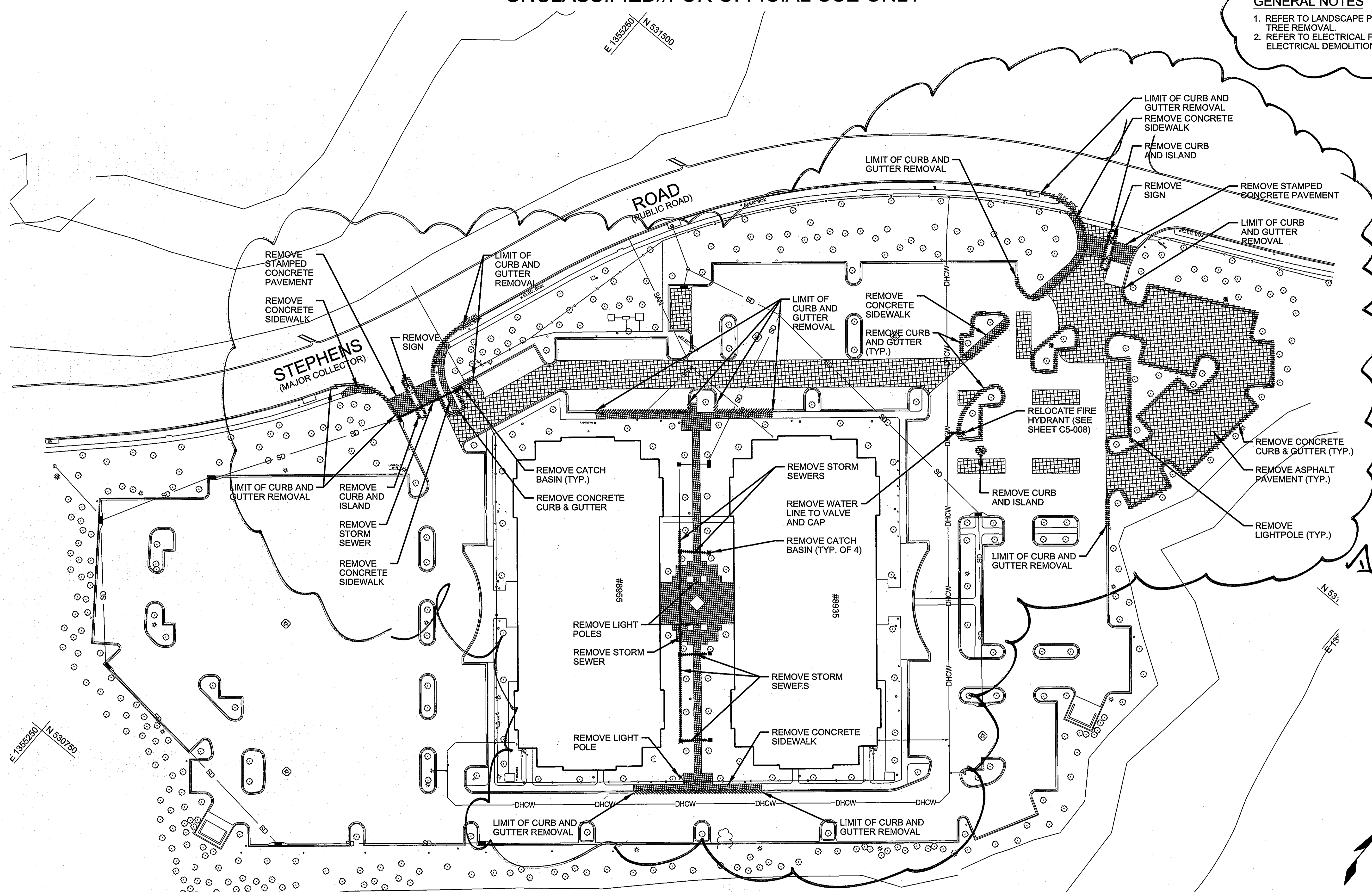
| REVISED SITE DEVELOPMENT PLAN | Mark | Description | Date | Appr. |
|-------------------------------|------|-------------|----------|-------|
| Removal Plans | | | 06-30-09 | |

| | | | | | |
|---------------------------------------|--|---------------------------|-----------------------|-----------------------|-----------|
| Designed by: G. SHILLER | Drawn by: G. SHILLER | Checked by: S. GREGORY | Date: 06-30-09 | Project No. 19646 | Rev. 1 |
| REFO Project Manager GEORGE REILLY | Submitted by: NAME: FRANKLIN P. MASTEL PRINCIPAL | File name: 011846 | Per date: 06-30-09 | Per code: AS BROWN | |

| | |
|--|------------|
| EMERSON, SECURE PERIMETER AND CONNECTOR BUILDING | LAUREL, MD |
| SITE REMOVAL PLAN | |

| |
|---------------------------|
| Drawing No. C5-003A |
| Sheet Reference No. 19 |
| Sheet 19 of 48 |

SDP-07-017



APPROVED: DEPARTMENT OF PLANNING AND ZONING

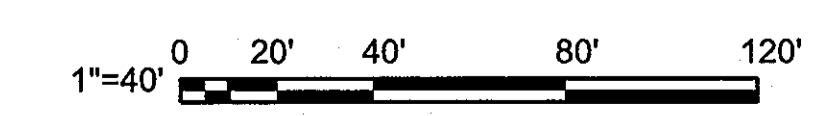
Cinda Hanna 7/21/09
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

John P. ... 7/13/09
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

... de la ... 7/21/09
DIRECTOR DATE

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MARYLAND LICENSE NO.: 31011
EXPIRATION DATE: 10-17-2010



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COORDINATE TABLE

| COORDINATE ID | NORTHING | EASTING |
|---------------|----------|-----------|
| A | 530744.8 | 1355406.4 |
| B | 530807.7 | 1355347.3 |
| C | 530819.6 | 1355237.0 |
| D | 530938.1 | 1355148.5 |
| E | 530981.1 | 1355188.2 |
| F | 531072.0 | 1355258.4 |
| G | 531134.5 | 1355286.9 |
| H | 531167.3 | 1355301.8 |
| I | 531209.5 | 1355321.0 |
| J | 531293.8 | 1355355.1 |
| K | 531512.5 | 1355506.4 |
| L | 531589.2 | 1355613.2 |
| M | 531543.8 | 1355664.2 |
| N | 531521.5 | 1355683.1 |

| COORDINATE ID | NORTHING | EASTING |
|---------------|----------|-----------|
| O | 531536.1 | 1355700.4 |
| P | 531545.8 | 1355711.9 |
| Q | 531563.1 | 1355732.4 |
| R | 531555.3 | 1355795.5 |
| S | 531550.7 | 1355833.2 |
| T | 531550.2 | 1355837.2 |
| U | 531495.9 | 1355830.5 |
| V | 531433.0 | 1355804.8 |
| W | 531352.9 | 1355912.7 |
| X | 531279.8 | 1355901.6 |
| Y | 531251.0 | 1355915.7 |
| Z | 531213.0 | 1355916.1 |
| AA | 531146.7 | 1355880.6 |

CURVE TABLE

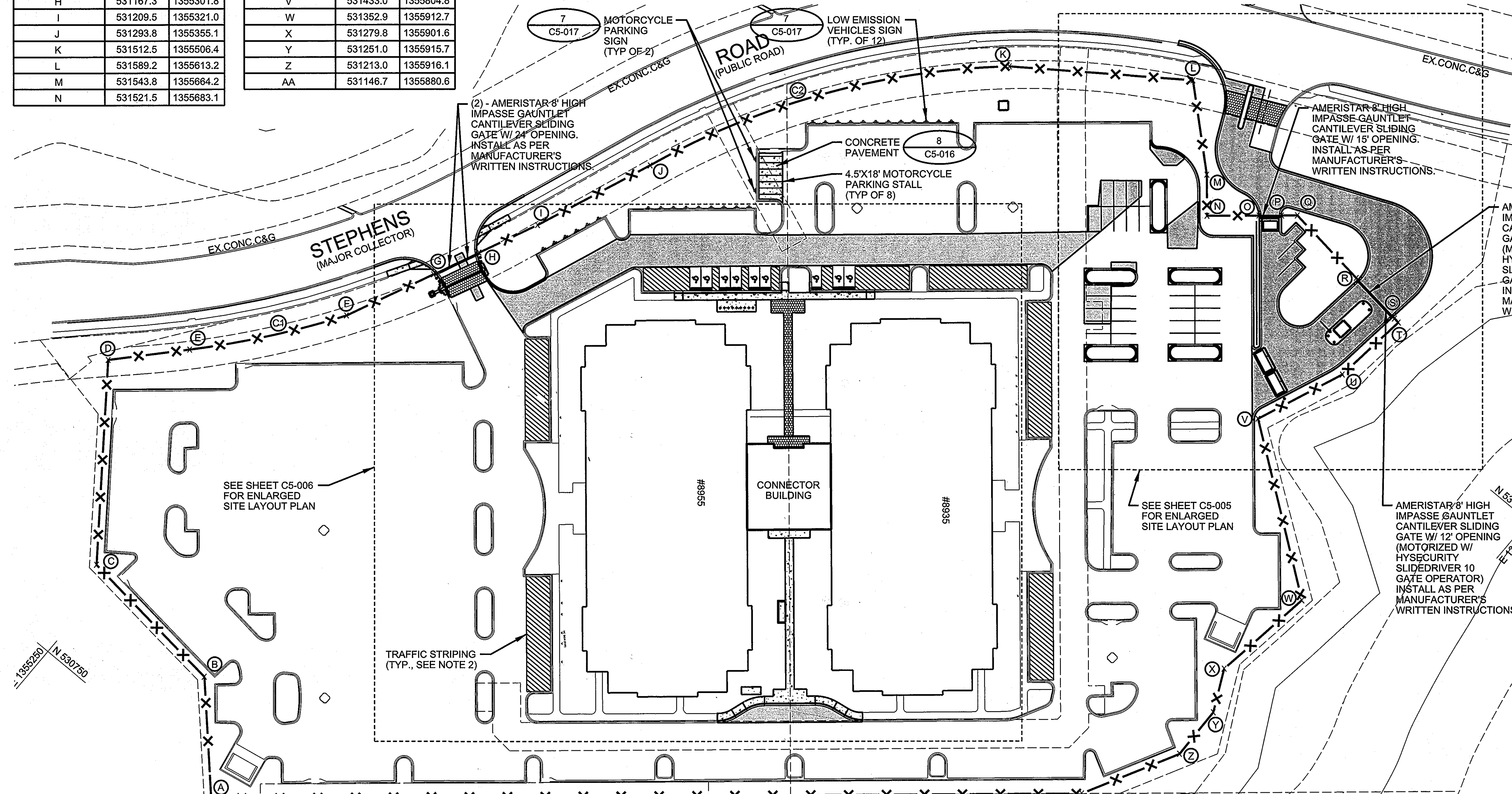
| CURVE ID | RADIUS | DELTA | LC |
|----------|--------|-------|--------|
| C1 | 646' | 10.2° | 115.0' |
| C2 | 556' | 27.7° | 268.6' |

FENCE CLASSIFICATION

| SECTION | TYPE | DETAIL REFERENCE |
|-----------------|---|--------------------|
| A-B-C-D-E-F-G | AMERISTAR 8' HIGH IMPASSE GAUNTLET HIGH SECURITY STEEL FENCE WITH STALWART M40 (K8) ANTI-RAM CABLED STEEL BARRIER | 1/C5-014, 2/C5-014 |
| H-I-J-K-L-M-N-O | AMERISTAR 8' HIGH IMPASSE GAUNTLET HIGH SECURITY STEEL FENCE WITH STALWART M40 (K8) ANTI-RAM CABLED STEEL BARRIER | 1/C5-014, 2/C5-014 |
| P-Q-R | AMERISTAR 8' HIGH IMPASSE GAUNTLET HIGH SECURITY STEEL FENCE | 1/C5-014 |

FENCE CLASSIFICATION

| SECTION | TYPE | DETAIL REFERENCE |
|----------------|--|--------------------|
| S-T-U | AMERISTAR 8' HIGH IMPASSE GAUNTLET HIGH SECURITY STEEL FENCE | 1/C5-014 |
| U-V | AMERISTAR 8' HIGH IMPASSE GAUNTLET HIGH SECURITY STEEL FENCE WITH STALWART M40 (K8) ANTI-RAM CABLED STEEL BARRIER | 1/C5-014, 2/C5-014 |
| V-W-X-Y-Z-AA-A | USACE 7' HIGH FE-7 SECURITY FENCE FRAME W/ 1' OUTRIGGER AND SECURA FENCE SYSTEM ASF 75-9R SECURA MESH FENCE FABRIC | 1/C5-015 |



GENERAL NOTES

1. REFER TO ELECTRICAL DRAWINGS FOR PLACEMENT OF 3'x4' - 6" THICK CONCRETE PADS FOR PERIMETER FENCE IDS SYSTEM.

2. IN AREAS THAT ARE TO BE RESTRIPTED, EXISTING PAVEMENT PARKINGS SHALL BE REMOVED. PAVEMENT MARKINGS SHALL BE PAINTED PER THE SPECIFICATIONS AND AS INDICATED BELOW:

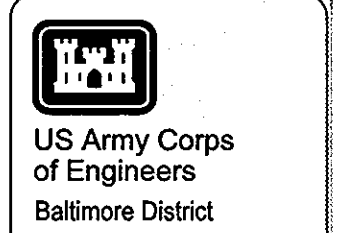
A. AREAS DESIGNATED AS NO PARKING SHALL BE 6 INCH WIDE YELLOW LINES LOCATED AS INDICATED ON THE PLANS. THE NO PARKING AREAS SHALL BE MARKED WITH 6 INCH WIDE YELLOW DIAGONAL LINES AT A 45° ANGLE AND SPACED 8.5 INCHES APART.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 [Signature] 2/21/09
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] 2/13/09
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] 2/21/09
 DIRECTOR

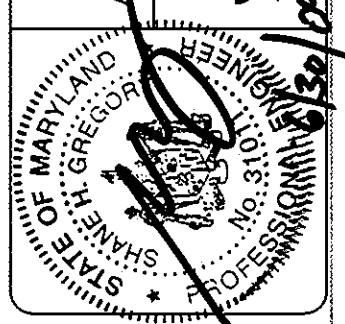
PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. MARYLAND LICENSE NO.: 31011 EXPIRATION DATE: 10-17-2010

1"=40' 0 20' 40' 80' 120'

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 1100 N. GLEBE RD., ARLINGTON, VA 22201



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| Rev. | Date | Description |
|------|----------|---|
| 1 | 06-30-09 | REVISED SITE DEVELOPMENT PLAN Fence Plan |

Designed by: G. SHILLER
 Dwn by: G. SHILLER
 S. GREGORY
 RSFO Project Manager
 GEORGE REILLY
 Submitted by: FRANKLIN P. MASTEL
 PRINCIPAL

Date: 06-30-09
 Project No.: 19646
 File name: 019846
 Plot date: 06-30-09
 Plot scale: AS SHOWN

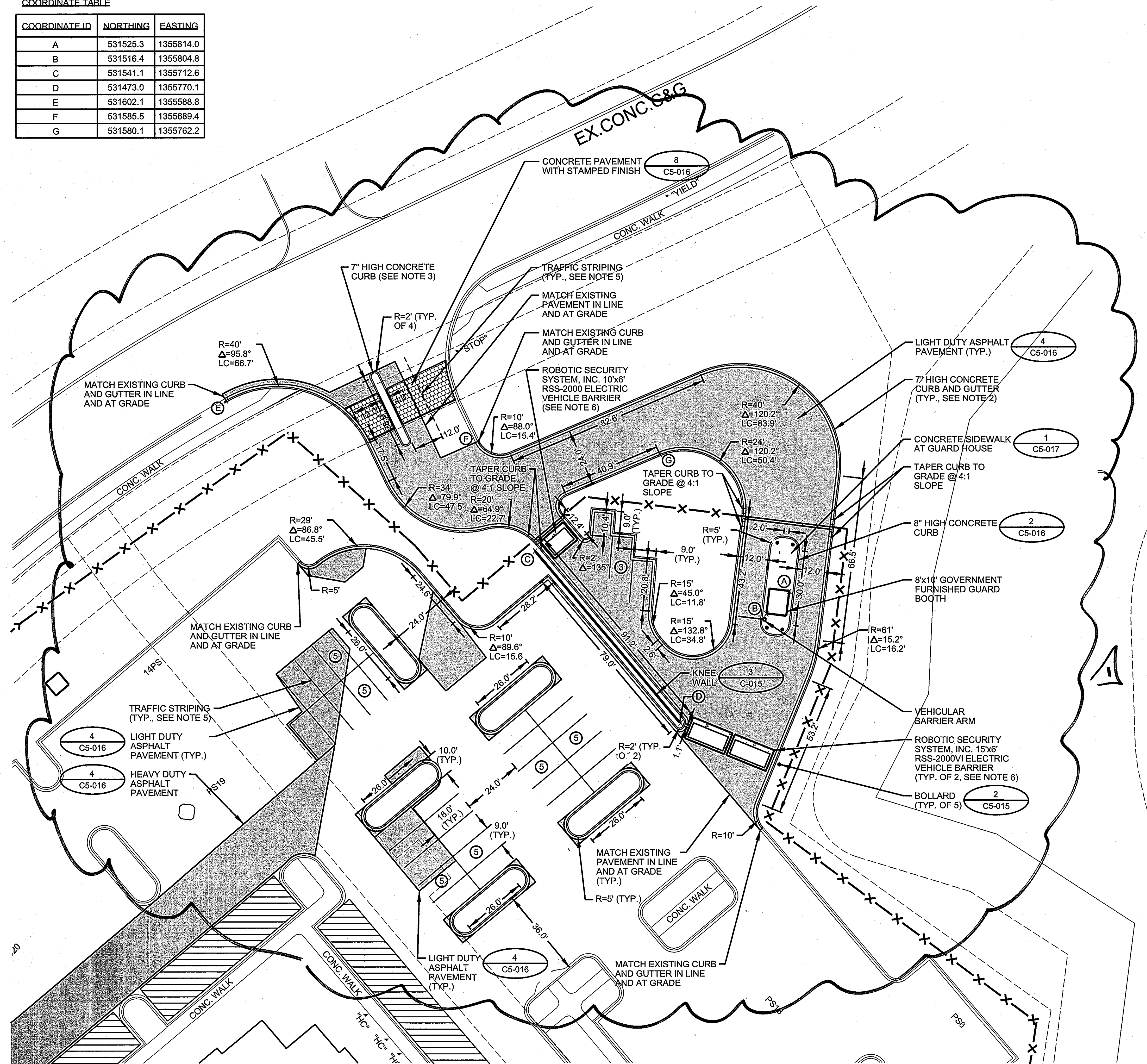
EMERSON SECURE BEGINNER
 AND CONNECTOR BUILDING
 OVERALL SITE LAYOUT PLAN
 PERIMETER FENCE LAYOUT PLAN
 LAUREL, MD

Drawing No. C5-004
 Sheet Reference No. 20
 Sheet 20 of 48
 58A-07-037

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COORDINATE TABLE

| COORDINATE ID | NORTHING | EASTING |
|---------------|----------|-----------|
| A | 531525.3 | 1355814.0 |
| B | 531516.4 | 1355804.8 |
| C | 531541.1 | 1355712.6 |
| D | 531473.0 | 1355770.1 |
| E | 531602.1 | 1355588.8 |
| F | 531585.5 | 1355689.4 |
| G | 531580.1 | 1355762.2 |



GENERAL NOTES

- ALL RADII ARE 5' UNLESS NOTED OTHERWISE.
- CONCRETE CURB AND GUTTER SHALL BE AS PER "HOWARD COUNTY DESIGN MANUAL - VOLUME IV", DETAIL R-3.01.
- CONCRETE CURB SHALL BE AS PER "HOWARD COUNTY DESIGN MANUAL - VOLUME IV", DETAIL R-3.03 UNLESS INDICATED AS 8" CURB.
- LIGHT DUTY PAVEMENT UNLESS NOTED OTHERWISE.
- IN AREAS THAT ARE TO BE RESTRIPTED, EXISTING PAVEMENT PARKINGS SHALL BE REMOVED. PAVEMENT MARKINGS SHALL BE PAINTED PER THE SPECIFICATIONS AND AS INDICATED BELOW:
 - A. PARKING SPACE MARKINGS SHALL BE 4 INCH WIDE WHITE LINES.
 - B. AREAS DESIGNATED AS NO PARKING SHALL BE 6 INCH WIDE YELLOW LINES LOCATED AS INDICATED ON THE PLANS. THE NO PARKING AREAS SHALL BE MARKED WITH 6 INCH WIDE YELLOW DIAGONAL LINES AT A 45° ANGLE AND SPACED 8.5 INCHES APART.
 - C. LANE SEPARATION PAVEMENT MARKINGS SHALL BE AS PER MUTCD SECTION 3B.04.
- PROVIDE CONCRETE FOUNDATION FOR RSS-2000 AND RSS-2000VI ELECTRIC VEHICLE BARRIERS IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS. INSTALL VEHICLE BARRIER IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
- ALL ANGLES ARE 90° UNLESS NOTED OTHERWISE

US Army Corps of Engineers
Baltimore District

REAL ESTATE DIVISION
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FIELD OFFICE
ANNAPOLIS JUNCTION, MARYLAND

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STATE OF MARYLAND
PROFESSIONAL ENGINEER
No. 15010
EXPIRES 12/31/2010

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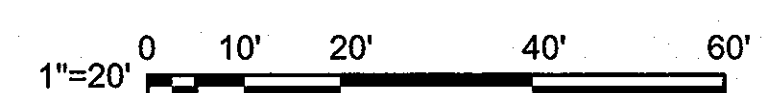
| Rev. | Date | Description |
|----------|------|-------------|
| 06-30-09 | | |
| 06-30-09 | | |

| | | |
|----------------------------|--|---------------------|
| Designed by: G. SPILLER | Checked by: S. GREGORY | Project No. 19646 |
| Dwn by: G. SPILLER | RSFO Project Manager GEORGE REILLY | File name: 091846 |
| | Submitted by: NAME FRANKLIN P. MASTEL | Post code: 06-30-09 |
| | PRINCIPAL | Per code: AS SHOWN |

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MARYLAND LICENSE NO.: 31011
EXPIRATION DATE: 10-17-2010

| | |
|---|--------------|
| APPROVED: DEPARTMENT OF PLANNING AND ZONING | |
| Chief, Division of Land Development | DATE 7/21/09 |
| Chief, Development Engineering Division | DATE 7/15/09 |
| Director | DATE 7/26/09 |



EMERSON, SECURE BEGINNER AND CONNECTOR BUILDING
ENLARGED SITE LAYOUT PLAN
LAUREL, MD

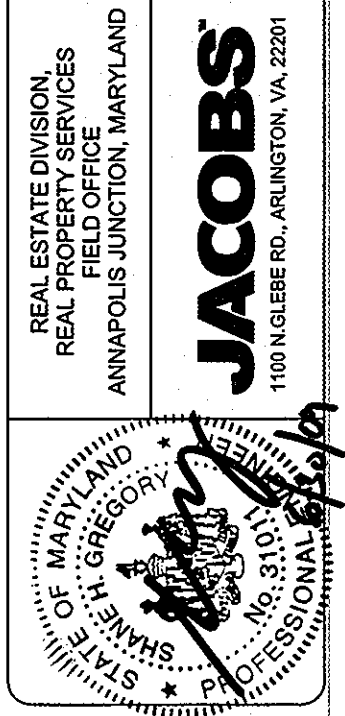
Drawing No. C5-005
Sheet Reference No. 21
Sheet 21 of 48
500-07-037

COORDINATE TABLE

| COORDINATE ID | NORTHING | EASTING |
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| B | 531085.8 | 1355727.4 |
| C | 531192.7 | 1355334.3 |
| D | 531111.5 | 1355250.8 |
| E | 531219.4 | 1355300.1 |

GENERAL NOTES

- ALL RADII ARE 5' UNLESS NOTED OTHERWISE.
- CONCRETE CURB AND GUTTER SHALL BE AS PER "HOWARD COUNTY DESIGN MANUAL - VOLUME IV", DETAIL R-3.01.
- CONCRETE CURB SHALL BE AS PER "HOWARD COUNTY DESIGN MANUAL - VOLUME IV", DETAIL R-3.03.
- HANDICAP CURB RAMP SHALL BE AS PER "HOWARD COUNTY DESIGN MANUAL - VOLUME IV", DETAIL R-4.05.
- IN AREAS THAT ARE TO BE RESTRIPTED, EXISTING PAVEMENT PARKINGS SHALL BE REMOVED. PAVEMENT MARKINGS SHALL BE PAINTED PER THE SPECIFICATIONS AND AS INDICATED BELOW:
 - A. PARKING SPACE MARKINGS SHALL BE 4 INCH WIDE WHITE LINES.
 - B. AREAS DESIGNATED AS NO PARKING SHALL BE 6 INCH WIDE YELLOW LINES LOCATED AS INDICATED ON THE PLANS. THE NO PARKING AREAS SHALL BE MARKED WITH 6 INCH WIDE YELLOW DIAGONAL LINES AT A 45° ANGLE AND SPACED 8.5 INCHES APART.
- ALL ANGLES ARE 90° UNLESS NOTED OTHERWISE.



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| REV. | DATE | DESCRIPTION |
|------|----------|--|
| 1 | 06-30-09 | REVISED SITE DEVELOPMENT PLAN |
| 2 | 06-30-09 | REVISIONS TO PARAS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000 |

| DESIGNED BY | DRAWN BY | CHECKED BY | DATE | PROJECT NO. | FILE NAME |
|--------------------------|------------|------------|----------|-------------|-----------|
| G. SPILLER | G. SPILLER | S. GREGORY | 06-30-09 | 18646 | 091846 |
| RSFO Project Manager | | | 06-30-09 | AS SHOWN | AS SHOWN |
| Submitted by: | | | 091846 | | |
| NAME: FRANKLIN P. MASTEL | | | | | |
| PRINCIPAL | | | | | |

EMERSON - SECURE BEHINDER AND CONNECTOR BUILDING
ENLARGED JITE LAYO 'T' PLAN
LAUREL, MD

| |
|---------------------------|
| Drawing No. C5-006 |
| Sheet Reference No. 22 |
| Sheet 22 of 48 |

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Andra Hamer 7/21/09
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE
John P. ... 7/13/09
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
Mark ... 7/21/09
 DIRECTOR DATE

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 128646
 MARYLAND LICENSE NO.: 31011
 EXPIRATION DATE: 10-17-2010

STORM SEWER STRUCTURE SCHEDULE

| STRUCTURE ID | STRUCTURE TYPE | REFERENCE | TOP OF FRAME | INVERT IN | INVERT OUT |
|--------------|----------------------|-----------|--------------|----------------------------|--------------|
| SD 5 | TYPE "S" INLET | D-4.22 | 271.50 | 268.37 | 268.27 |
| SD 6 | TYPE "S" INLET | D-4.22 | 271.10 | 267.75 (NE) 267.57 (NW) | 267.47 |
| SD 7 | TYPE "S" INLET | D-4.22 | 272.10 | --- | 267.80 |
| SD 8 | TYPE "S" INLET | D-4.22 | 271.60 | 266.65 (NE) 269.00 (S) | 266.55 (EX.) |
| SD 9 | TYPE "S" COMB. INLET | D-4.32 | 267.10 | --- | 262.70 |
| MH 1 | STD. MANHOLE | G-5.12 | 271.25 | 266.84 | 266.74 |
| MH 2 | STD. MANHOLE | G-5.12 | 269.40 | 264.95 | 264.85 |
| MH 3 | DOGHOUSE MANHOLE | G-5.14 | 269.15 | 264.65 | 264.55 (EX.) |

GENERAL NOTES

1. ALL STORM STRUCTURE REFERENCES REFER TO "HOWARD COUNTY DESIGN MANUAL", VOLUME IV.
2. CONNECT TO PROPOSED ROOF LEADER. SEE PLUMBING PLANS FOR CONTINUATION. INVERT TO BE MINIMUM 2.75' BELOW FINISHED FLOOR.
3. CONTRACTOR SHALL CONSTRUCT STORM SEWER FROM IT'S MOST DOWN STREAM POINT AND WORK UPSTREAM.
4. CONTRACTOR SHALL REPAIR INLETS AS NECESSARY AND GROUT AROUND PIPE TO PROVIDE A WATER TIGHT SEAL.

US Army Corps of Engineers
Baltimore District

REAL ESTATE DIVISION
REAL PROPERTY SERVICES
FIELD OFFICE
ANNAPOLIS JUNCTION, MARYLAND

JACOBS
100 N. GLEBE RD., ARLINGTON, VA 22201

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| Rev. | Date | Description |
|------|----------|--------------------|
| 1 | 08-30-09 | Grading & Drainage |

| | | | |
|--|---|---------------------------|------------------------|
| Designed by: G. SPILLER | Drawn by: G. SPILLER | Checked by: S. GREGORY | Project No.: 19646 |
| RSFO Project Manager: GEORGE REILLY | Submitted by: NAME: FRANKLIN P. MASTEL | File name: 081946 | Post date: 08-30-09 |
| Principal: | | AS SHOWN | |

EMERSON, SECURE PERIMETER AND CONNECTOR BUILDING

OVERALL SITE GRADING AND DRAINAGE PLAN

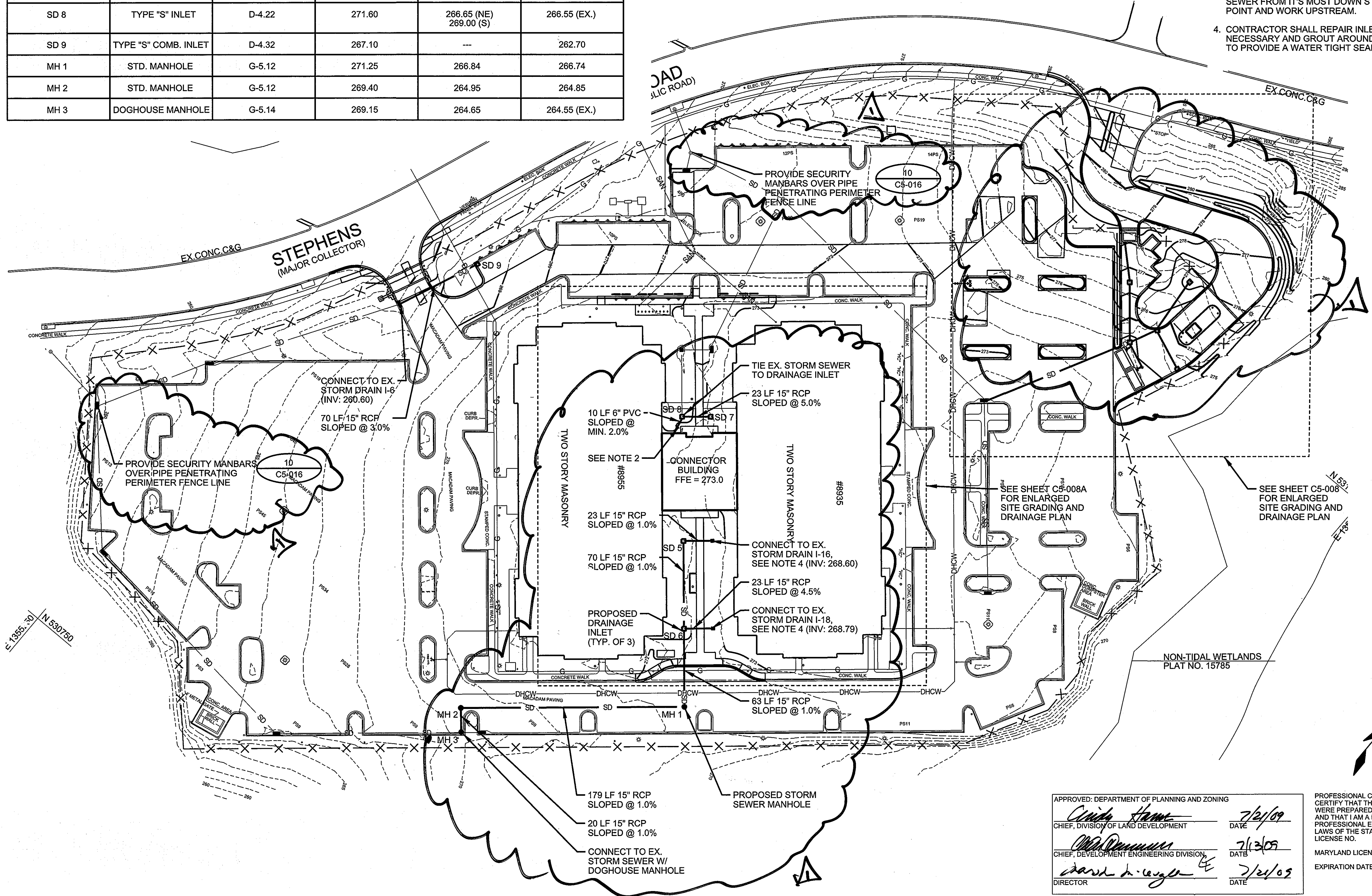
LAUREL, MD

Drawing No.
C5-007

Sheet Reference No.
23

Sheet 23 of 48

SDP-07-032



APPROVED: DEPARTMENT OF PLANNING AND ZONING

Cindy Hamer
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 7/21/09

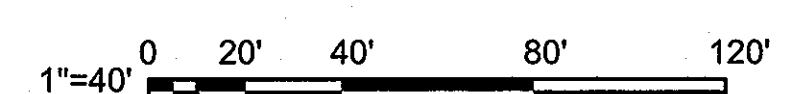
Mark Dammus
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 7/13/09

David H. Leager
DIRECTOR
DATE: 7/21/09

PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. _____

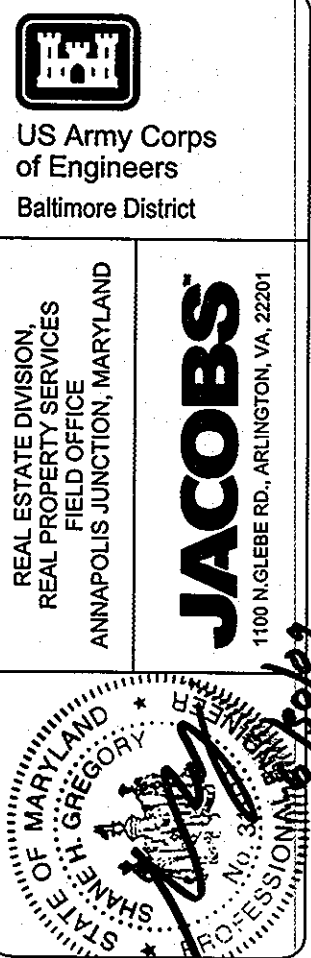
MARYLAND LICENSE NO.: 31011

EXPIRATION DATE: 10-17-2010



GENERAL NOTES

1. SILT FENCE SHALL BE AS PER "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION & SEDIMENT CONTROL", DETAIL 22.
2. AT GRADE INLET PROTECTION SHALL BE AS PER "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION & SEDIMENT CONTROL", DETAIL 23B.
3. CURB INLET PROTECTION SHALL BE AS PER "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION & SEDIMENT CONTROL", DETAIL 23C.
4. STABILIZED CONSTRUCTION ENTRANCE SHALL BE AS PER "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION & SEDIMENT CONTROL", DETAIL 24.
5. TREE PROTECTION SHALL BE AS PER "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION & SEDIMENT CONTROL", DETAIL 31.



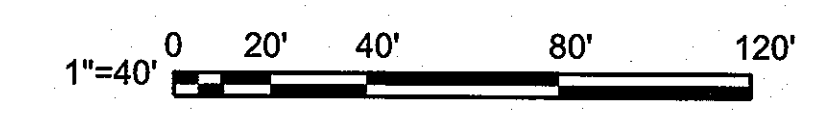
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| REVISED SITE DEVELOPMENT PLAN | Date | Appr. |
|-------------------------------|----------|-------|
| Erosion & Sediment Control | 08-30-09 | |

| | | | | |
|---|-------------------------|---------------------------|----------------------|-------|
| Designed by: G. SPILLER | Drawn by: G. SPILLER | Checked by: S. GREGORY | Date: 08-30-09 | Rev.: |
| RSFO Project Manager GEORGE REILLY | | | Project No. 19846 | |
| Submitted by: NAME FRANKLIN P. MARTEL PRINCIPAL | | | File name: 0919846 | |
| | | | Plot date: 08-30-09 | |
| | | | Plot scale: AS SHOWN | |

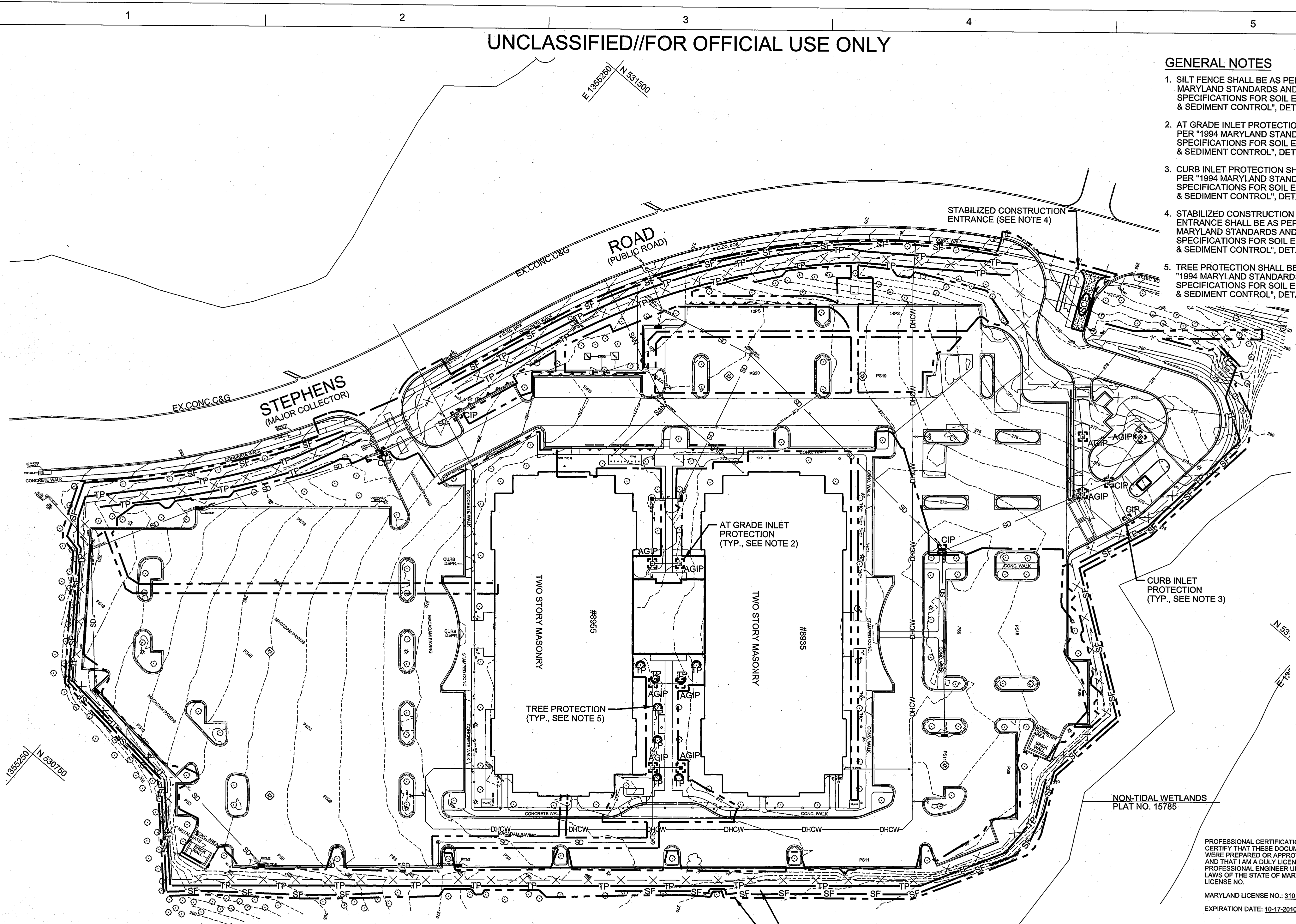
PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. MARYLAND LICENSE NO.: 31011 EXPIRATION DATE: 10-17-2010

| | |
|--|-----------------|
| APPROVED: DEPARTMENT OF PLANNING AND ZONING | |
| <i>Chad Hanon</i> CHIEF, DIVISION OF LAND DEVELOPMENT | 7/2/09 DATE |
| <i>Michael...</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION | 7/13/09 DATE |
| <i>Mark A. Leyle</i> DIRECTOR | 7/21/09 DATE |



EMERSON - SECURE PERIMETER AND CONNECTOR BUILDING
EROSION AND SEDIMENT CONTROL PLAN
LAUREL, MD

Drawing No. C5-009
Sheet Reference No. 26
Sheet 26 of 48
SDP-07-037



VEGETATIVE STABILIZATION

DEFINITION:

USING VEGETATION AS COVER FOR BARREN SOIL TO PROTECT IT FROM FORCES THAT CAUSE EROSION.

PURPOSE:

VEGETATIVE STABILIZATION SPECIFICATIONS ARE USED TO PROMOTE THE ESTABLISHMENT OF VEGETATION ON EXPOSED SOIL. WHEN SOIL IS STABILIZED WITH VEGETATION, THE SOIL IS LESS LIKELY TO EROSE AND MORE LIKELY TO ALLOW INFILTRATION OF RAINFALL, THEREBY REDUCING SEDIMENT LOADS AND RUNOFF TO DOWNSTREAM AREAS, AND IMPROVING WILDLIFE HABITAT AND VISUAL RESOURCES.

CONDITIONS WHERE PRACTICE APPLIES:

THIS PRACTICE SHALL BE USED ON DENUDED AREAS AS SPECIFIED ON THE PLANS AND MAY BE USED ON HIGHLY ERODIBLE OR CRITICALLY ERODING AREAS. THIS SPECIFICATION IS DIVIDED INTO TEMPORARY SEEDING, TO QUICKLY ESTABLISH VEGETATIVE COVER FOR SHORT DURATION (UP TO ONE YEAR), AND PERMANENT SEEDING, FOR LONG TERM VEGETATIVE COVER. EXAMPLES OF APPLICABLE AREAS FOR TEMPORARY SEEDING ARE TEMPORARY SOIL STOCKPILES, CLEARED AREAS BEING LEFT IDLE BETWEEN CONSTRUCTION PHASES, EARTH DIKES, ETC. AND FOR PERMANENT SEEDING ARE LAWNS, DAMS, CUT AND FILL SLOPES AND OTHER AREAS AT FINAL GRADE, FORMER STOCKPILE AND STAGING AREAS, ETC.

EFFECTS ON WATER QUALITY AND QUANTITY:

PLANTING VEGETATION IN DISTURBED AREAS WILL HAVE AN EFFECT ON THE WATER BUDGET, ESPECIALLY ON VOLUMES AND RATES OF RUNOFF, INFILTRATION, EVAPORATION, TRANSPIRATION, PERCOLATION, AND GROUNDWATER RECHARGE. VEGETATION, OVER TIME, WILL INCREASE ORGANIC MATTER CONTENT AND IMPROVE THE WATER HOLDING CAPACITY OF THE SOIL AND SUBSEQUENT PLANT GROWTH.

VEGETATION WILL HELP REDUCE THE MOVEMENT OF SEDIMENT, NUTRIENTS, AND OTHER CHEMICALS CARRIED BY RUNOFF TO RECEIVING WATERS. PLANTS WILL ALSO HELP PROTECT GROUNDWATER SUPPLIES BY ASSIMILATING THOSE SUBSTANCES PRESENT WITHIN THE ROOT ZONE.

SEDIMENT CONTROL DEVICES MUST REMAIN IN PLACE DURING GRADING, SEEDBED PREPARATION, SEEDING, MULCHING AND VEGETATIVE ESTABLISHMENT TO PREVENT LARGE QUANTITIES OF SEDIMENT AND ASSOCIATED CHEMICALS AND NUTRIENTS FROM WASHING INTO SURFACE WATERS.

SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS

A. SITE PREPARATION

- i. INSTALL EROSION AND SEDIMENT CONTROL STRUCTURES (EITHER TEMPORARY OR PERMANENT) SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, BERMS, WATERWAYS, OR SEDIMENT CONTROL BASINS.
ii. PERFORM ALL GRADING OPERATIONS AT RIGHT ANGLES TO SLOPE. FINAL GRADING AND SHAPING IS NOT USUALLY NECESSARY FOR TEMPORARY SEEDING.
iii. SCHEDULE REQUIRED SOIL TESTS TO DETERMINE SOIL AMENDMENT COMPOSITION AND APPLICATION RATES FOR SITES HAVING DISTURBED AREA OVER 5 ACRES.

B. SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS)

- i. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OVER 5 ACRES. SOIL ANALYSIS MAY BE PERFORMED BY THE UNIVERSITY OF MARYLAND OR A RECOGNIZED COMMERCIAL LABORATORY. SOIL SAMPLES TAKEN FOR ENGINEERING PURPOSES MAY ALSO BE USED FOR CHEMICAL ANALYSIS.
ii. FERTILIZERS SHALL BE UNIFORM IN COMPOSITION, FREE FLOWING AND SUITABLE FOR ACCURATE APPLICATION BY APPROVED EQUIPMENT. MANURE MAY BE SUBSTITUTED FOR FERTILIZER WITH PRIOR APPROVAL FROM THE APPROPRIATE APPROVAL AUTHORITY. FERTILIZERS SHALL ALL BE DELIVERED TO THE SITE FULLY LABELED ACCORDING TO THE APPLICABLE STATE FERTILIZER LAWS AND SHALL BEAR THE NAME, TRADE NAME OR TRADEMARK AND WARRANTY OF THE PRODUCER.
iii. LIME MATERIALS SHALL BE GROUND LIMESTONE (HYDRATED OR BURNT LIME MAY BE SUBSTITUTED) WHICH CONTAINS AT LEAST 50% TOTAL OXIDES (CALCIUM OXIDE PLUS MAGNESIUM OXIDE). LIMESTONE SHALL BE GROUND TO SUCH FINENESS THAT AT LEAST 50% WILL PASS THROUGH A #100 MESH SIEVE AND 98 - 100% WILL PASS THROUGH A #20 MESH SIEVE.
iv. INCORPORATE LIME AND FERTILIZER INTO THE TOP 3 - 5" OF SOIL BY DISKING OR OTHER SUITABLE MEANS.

C. SEEDBED PREPARATION

- i. TEMPORARY SEEDING
a. SEEDBED PREPARATION SHALL CONSIST OF LOOSENING SOIL TO A DEPTH OF 3" TO 5" BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT, SUCH AS DISC HARROWS OR CHISEL PLOWS OR RIPPERS MOUNTED ON CONSTRUCTION EQUIPMENT. AFTER THE SOIL IS LOOSENED IT SHOULD NOT BE ROLLED OR DRAGGED SMOOTH BUT LEFT IN THE ROUGHENED CONDITION. SLOPED AREAS (GREATER THAN 3:1) SHOULD BE TRACKED LEAVING THE SURFACE IN AN IRREGULAR CONDITION WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE.
b. APPLY FERTILIZER AND LIME AS PRESCRIBED ON THE PLANS.
c. INCORPORATE LIME AND FERTILIZER INTO THE TOP 3 - 5" OF SOIL BY DISKING OR OTHER SUITABLE MEANS.
ii. PERMANENT SEEDING
a. MINIMUM SOIL CONDITIONS REQUIRED FOR PERMANENT VEGETATIVE ESTABLISHMENT:
1. SOIL pH SHALL BE BETWEEN 6.0 AND 7.0
2. SOLUBLE SALTS SHALL BE LESS THAN 500 PARTS PER MILLION (PPM).
3. THE SOIL SHALL CONTAIN LESS THAN 40% CLAY BUT ENOUGH FINE GRAINED MATERIAL (> 30% SILT PLUS CLAY) TO PROVIDE THE CAPACITY TO HOLD A MODERATE AMOUNT OF MOISTURE. AND EXCEPTION IS IF LOVEGRASS OR SERICIA LESPEDEZA IS TO BE PLANTED, THEN A SANDY SOIL (< 30% SILT PLUS CLAY) WOULD BE ACCEPTABLE.
4. SOIL SHALL CONTAIN 1.5% MINIMUM ORGANIC MATTER BY WEIGHT.
5. SOIL MUST CONTAIN SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION.
6. IF THESE CONDITIONS CANNOT BE MET BY SOILS ON SITE, ADDING TOPSOIL IS REQUIRED IN ACCORDANCE WITH SECTION 21 STANDARD AND SPECIFICATION FOR TOPSOIL.

- b. AREAS PREVIOUSLY GRADED IN CONFORMANCE WITH THE DRAWINGS SHALL BE MAINTAINED IN A TRUE AND EVEN GRADE, THEN CARRIED OR OTHERWISE LOOSENED TO A DEPTH OF 3 - 5" TO PERMIT BODING OF THE TOPSOIL TO THE SURFACE AREA AND TO CREATED HORIZONTAL EROSION CHECK SLOTS TO PREVENT TOPSOIL FROM SLIDING DOWN A SLOPE.

- c. APPLY SOIL AMENDMENTS AS PER SOIL TEST OR AS INCLUDED ON THE PLANS.

- d. MIX SOIL AMENDMENTS INTO THE TOP 3 - 5" OF TOPSOIL BY DISKING OR OTHER SUITABLE MEANS. LAWN AREAS SHOULD BE RAKED TO SMOOTH THE SURFACE, REMOVE LARGE OBJECTS LIKE STONES AND BRANCHES, AND READY THE AREA FOR SEED APPLICATION. WHERE SITE CONDITIONS WILL NOT PERMIT NORMAL SEEDBED PREPARATION, LOOSEN SURFACE SOIL BY DRAGGING WITH A HEAVY CHAIN OR OTHER EQUIPMENT TO ROUGHEN THE SURFACE. STEEP SLOPES (STEEPER THAN 3:1) SHOULD BE TRACKED BY A DOZER LEAVING THE SOIL IN AN IRREGULAR CONDITION WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE. THE TOP 1 3/4" OF SOIL SHOULD BE LOOSE AND FRIABLE. SEEDBED LOOSENING MAY NOT BE NECESSARY ON NEWLY DISTURBED AREAS.

D. SEED SPECIFICATIONS

- i. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW. ALL SEED SHALL BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY. ALL SEED USED SHALL HAVE BEEN TESTED WITHIN THE 6 MONTHS IMMEDIATELY PRECEDING THE DATE OF SOWING SUCH MATERIAL ON THIS JOB.

NOTE: SEE TAGS SHALL BE MADE AVAILABLE TO THE INSPECTOR TO VERIFY TYPE AND RATE OF SEED USED.

- ii. INOCULANT - THE INOCULANT FOR TREATING LEGUME SEED IN THE SEED MIXTURES SHALL BE A PURE CULTURE OF NITROGEN-FIXING BACTERIA PREPARED SPECIFICALLY FOR THE SPECIES. INOCULANTS SHALL NOT BE USED LATER THAN THE DATE INDICATED ON THE CONTAINER. ADD FRESH INOCULANT AS DIRECTED ON PACKAGE. USE FOUR TIMES THE RECOMMENDED RATE WHEN HYDROSEEDING. NOTE: IT IS VERY IMPORTANT TO KEEP INOCULANT AS COOL AS POSSIBLE UNTIL USED. TEMPERATURES ABOVE 75-80° F. CAN WEAKEN BACTERIA AND MAKE THE INOCULANT LESS EFFECTIVE.

E. METHODS OF SEEDING

- i. HYDROSEEDING: APPLY SEED UNIFORMLY WITH HYDROSEEDER (SLURRY INCLUDES SEED AND FERTILIZER), BROADCAST OR DROP SEEDER, OR A CULTIPACKER SEEDER.
a. IF FERTILIZER IS BEING APPLIED AT THE TIME OF SEEDING, THE APPLICATION RATES AMOUNTS WILL NOT EXCEED THE FOLLOWING: NITROGEN: MAXIMUM OF 100 LBS. PER ACRE TOTAL OF SOLUBLE NITROGEN; P205 (PHOSPHORUS): 200 LBS/AC; K20 (POTASSIUM): 200 LBS/AC.
b. LIME - USE ONLY GROUND AGRICULTURAL LIMESTONE, (UP TO 3 TONS PER ACRES MAY BE APPLIED BY HYDROSEEDING). NORMALLY, NOT MORE THAN 2 TONS ARE APPLIED BY HYDROSEEDING AT ANY ONE TIME. DO NOT USE BURNT OR HYDRATED LIME WHEN HYDROSEEDING.
c. SEED AND FERTILIZER SHALL BE MIXED ON SITE AND SEEDING SHALL BE DONE IMMEDIATELY AND WITHOUT INTERRUPTION.
ii. DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST SPREADERS.
a. SEED SPREAD DRY SHALL BE INCORPORATED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON THE TEMPORARY OR PERMANENT SEEDING SUMMARIES OR TABLES 25 OR 26. THE SEEDED AREA SHALL THEN BE ROLLED WITH A WEIGHTED ROLLER TO PROVIDE GOOD SEED TO SOIL CONTACT.
b. WHERE PRACTICAL, SEED SHOULD BE APPLIED IN TWO DIRECTIONS PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION.
iii. DRILL OR CULTIPACKER SEEDING: MECHANIZED SEEDERS THAT APPLY AND COVER SEED WITH SOIL.
a. CULTIPACKING SEEDERS ARE REQUIRED TO BURY THE SEED IN SUCH A FASHION AS TO PROVIDE AT LEAST 1/4 INCH OF SOIL COVERING. SEEDBED MUST BE FIRM AFTER PLANTING.
b. WHERE PRACTICAL, SEED SHOULD BE APPLIED IN TWO DIRECTIONS PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION.

F. MULCH SPECIFICATION (IN ORDER OF PREFERENCE)

- i. STRAW SHALL CONSIST OF THOROUGHLY THRESHED WHEAT, RYE OR OAT STRAW, REASONABLY BRIGHT IN COLOR, AND SHALL NOT BE MUSTY, MOLDY, CAKED, DECAYED, OR EXCESSIVELY DUSTY AND SHALL BE FREE OF NOXIOUS WEED SEEDS AS SPECIFIED IN THE MARYLAND SEED LAW.
ii. WOOD CELLULOSE FIBER MULCH (WCFM)
a. WCFM SHALL CONSIST OF SPECIALLY PREPARED WOOD CELLULOSE PROCESSED INTO A UNIFORM FIBROUS PHYSICAL STATE.
b. WCFM SHALL BE DYED GREEN OR CONTAIN A GREEN DYE IN THE PACKAGE THAT WILL PROVIDE AN APPROPRIATE COLOR TO FACILITATE VISUAL INSPECTION OF THE UNIFORMLY SPREAD SLURRY.
c. WCFM, INCLUDING DYE, SHALL CONTAIN NO GERMINATION OF GROWTH INHIBITING FACTORS.
d. WCFM MATERIALS SHALL BE MANUFACTURED AND PROCESSED IN SUCH A MANNER THAT THE WOOD CELLULOSE FIBER MULCH WILL REMAIN IN UNIFORM SUSPENSION IN WATER UNDER AGITATION AND WILL BLEND WITH SEED, FERTILIZER AND OTHER ADDITIVES TO FORM A HOMOGENEOUS SLURRY. THE MULCH MATERIAL SHALL FORM A BLOTTER-LIKE GROUND COVER, ON APPLICATION, HAVING MOISTURE ABSORPTION AND PERCOLATION PROPERTIES AND SHALL COVER AND HOLD GRASS SEED IN CONTACT WITH THE SOIL WITHOUT INHIBITING THE GROWTH OF THE GRASS SEEDLINGS.
e. WCFM MATERIAL SHALL CONTAIN NO ELEMENTS OR COMPOUNDS AT CONCENTRATION LEVELS THAT WILL BE PHYTO-TOXIC.
f. WCFM MUST CONFORM TO THE FOLLOWING PHYSICAL REQUIREMENTS: FIBER LENGTH TO APPROXIMATELY 10 MM., DIAMETER APPROXIMATELY 1 MM., pH RANGE OF 4.0 TO 8.5, ASH CONTENT OF 1.6% MAXIMUM AND WATER HOLDING CAPACITY OF 90% MINIMUM.

NOTE: ONLY STERILE STRAW MULCH SHOULD BE USED IN AREAS WHERE ONE SPECIES OF GRASS IS DESIRED.

G. MULCHING SEEDED AREAS - MULCH SHALL BE APPLIED TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING.

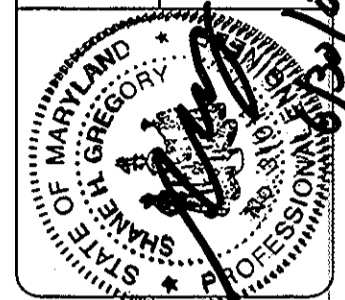
- i. IF GRADING IS COMPLETED OUTSIDE OF THE SEEDING SEASON, MULCH ALONG SHALL BE APPLIED AS PRESCRIBED IN THIS SECTION AND MAINTAINED UNTIL THE SEEDING SEASON RETURNS AND SEEDING CAN BE PERFORMED IN ACCORDANCE WITH THESE SPECIFICATIONS.
ii. WHEN STRAW MULCH IS USED, IT SHALL BE SPREAD OVER ALL SEEDED AREAS AT THE RATE OF 2 TONS/ACRE. MULCH SHALL BE APPLIED TO A UNIFORM LOOSE DEPTH OF BETWEEN 1" AND 2". MULCH APPLIED SHALL ACHIEVE A UNIFORM DISTRIBUTION AND DEPTH SO THAT THE SOIL SURFACE IS NOT EXPOSED. IF A MULCH ANCHORING TOOL IS TO BE USED, THE RATE SHOULD BE INCREASED TO 2.5 TONS/ACRE.
iii. WOOD CELLULOSE FIBER USED AS A MULCH SHALL BE APPLIED AT A NET DRY WEIGHT OF 1,500 LBS. PER ACRE. THE WOOD CELLULOSE FIBER SHALL BE MIXED WITH WATER, AND THE MIXTURE SHALL CONTAIN A MAXIMUM OF 50 LBS. OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.

H. SECURING STRAW MULCH (MULCH ANCHORING): MULCH ANCHORING SHALL BE PERFORMED IMMEDIATELY FOLLOWING MULCH APPLICATION TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS (LISTED BY PREFERENCE), DEPENDING UPON SIZE OF AREA AND EROSION HAZARD:

- i. A MULCH ANCHORING TOOL IS A TRACTOR DRAWN IMPLEMENT DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE A MINIMUM OF TWO (2) INCHES. THIS PRACTICE IS MOST EFFECTIVE ON LARGE AREAS, BUT IS LIMITED TO FLATTER SLOPES WHERE EQUIPMENT CAN OPERATE SAFELY. IF USED ON SLOPING LAND, THIS PRACTICE SHOULD BE USED ON THE CONTOUR IF POSSIBLE.
ii. WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. THE FIBER BINDER SHALL BE APPLIED AT A NET DRY WEIGHT OF 750 POUNDS/ACRE. THE WOOD CELLULOSE FIBER SHALL BE MIXED WITH WATER AND THE MIXTURE SHALL CONTAIN A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.
iii. APPLICATION OF LIQUID BINDERS SHOULD BE HEAVIER AT THE EDGES WHERE WIND CATCHES MULCH, SUCH AS IN VALLEYS AND ON CRESTS OF BANKS. THE REMAINDER OF AREA SHOULD BE APPEAR UNIFORM AFTER BINDER APPLICATION. SYNTHETIC BINDERS - SUCH AS ACRYLIC DLR (AGRO-TRACK), DCS-70, PETROSET, TERRA TAX II, TERRA TACK AR OR OTHER APPROVED EQUAL MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH.
iv. LIGHTWEIGHT PLASTIC NETTING MAY BE STAPLED OVER THE MULCH ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. NETTING IS USUALLY AVAILABLE IN ROLLS 4' TO 15' FEET WIDE AND 300 TO 3,000 FEET LONG.



JACOBS REAL ESTATE DIVISION REAL PROPERTY SERVICES FIELD OFFICE ANNAPOLIS JUNCTION, MARYLAND 1100 N. GLEBE RD., ARLINGTON, VA, 22201



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Table with columns: Date, Rev., Description, Mark. Includes entries for 06-30-09 and 06-30-09.

Table with columns: Date, Rev., Project No., File Name, Proj. Name, Proj. Date, AS SHOWN. Includes Project No. 19846 and File Name 091948.

EMERSON - SECURE PERIMETER AND CONNECTION BUILDING EROSION AND SEDIMENT CONTROL NOTES LAUREL, MD

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APPROVED: DEPARTMENT OF PLANNING AND ZONING Chief, Division of Land Development DATE 7/2/09 Chief, Development Engineering Division DATE 7/13/09 Director DATE 7/21/09

Drawing No. C5-010 Sheet Reference No. 27 Sheet 27 of 48 SDP - 07 - 037

SECTION II - TEMPORARY SEEDING

VEGETATION - ANNUAL GRASS OR GRAIN USED TO PROVIDE COVER ON DISTURBED AREAS FOR UP TO 12 MONTHS. FOR LONGER DURATION OF VEGETATIVE COVER, PERMANENT SEEDING IS REQUIRED.

A. SEED MIXTURES - TEMPORARY SEEDING

TEMPORARY SEEDING SUMMARY

| SEED MIXTURE (HARDINESS ZONE 7a) FROM TABLE 26 | | | | | FERTILIZER RATE (10-10-10) | LIME RATE |
|---|-------------------|--------------------------|---------------------------|------------------|-------------------------------|------------------------------|
| NO. | SPECIES | APPLICATION RATE (LB/AC) | SEEDING DATES | SEEDING DEPTHS | | |
| | ANNUAL RYEGRASS | 50 LBS/AC | 3/1 - 4/30 8/15 - 11/1 | 1/4 - 1/2 INCHES | 600 LB/AC (15 LB/1000 SF) | 2 TON/AC (100 LB/1000 SF) |
| | WEeping LOVEGRASS | 4 LBS/AC | 5/1-8/14 | 1/4 - 1/2 INCHES | | |
| | MILLET | 50 LBS/AC | 5/1-8/14 | 1/2 INCHES | | |

SECTION III: PERMANENT SEEDING

SEEDING GRASS AND LEGUMES TO ESTABLISH GROUND COVER FOR A MINIMUM PERIOD OF ONE YEAR ON DISTURBED AREAS GENERALLY RECEIVING LOW MAINTENANCE.

A. SEED MIXTURES - PERMANENT SEEDING

- i. FOR AREAS RECEIVING LOW MAINTENANCE, APPLY UREAFORM FERTILIZER (46-0-0) AT 3 1/2 LBS/1000 SQ. FT. (150 LBS/AC), IN ADDITION TO THE ABOVE SOIL AMENDMENTS SHOWN IN THE TABLE BELOW, TO BE PERFORMED AT THE TIME OF SEEDING.

PERMANENT SEEDING SUMMARY

| SEED MIXTURE (HARDINESS ZONE 7a) FROM TABLE 25) | | | | | FERTILIZER RATE (10-20-20) | | | LIME RATE |
|--|-----------------------------|--------------------------|---------------|----------------|-------------------------------|-----------------------------|-----------------------------|------------------------------|
| NO. | SPECIES | APPLICATION RATE (LB/AC) | SEEDING DATES | SEEDING DEPTHS | N | P2O5 | K2O | |
| 3 | TALL FESCUE (75%) | 125 | 3/1-5/15 | 1/4" | 90 LB/AC (2 LB/1000 SF) | 175 LB/AC (4 LB/1000 SF) | 175 LB/AC (4 LB/1000 SF) | 2 TON/AC (100 LB/1000 SF) |
| | PERENNIAL RYEGRASS (10%) | 15 | 8/15-10/15 | TO 1/2" | | | | |
| | KENTUCKY BLUEGRASS (5%) | 10 | | | | | | |
| 7 | TALL FESCUE (83%) | 110 | 3/1-5/15 | 1/4" | | | | |
| | WEeping LOVEGRASS (2%) PLUS | 3 | 5/16-8/14 | TO 1/2" | | | | |
| | SERECIA LESPEDeza (15%) | 20 | 8/15-10/15 | | | | | |



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Ballmore District

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| REVISED DATE | DESCRIPTION | DATE | APP. |
|--------------|---|------|------|
| 08-30-09 | Revised Erosion and Sediment Control Plan | | |

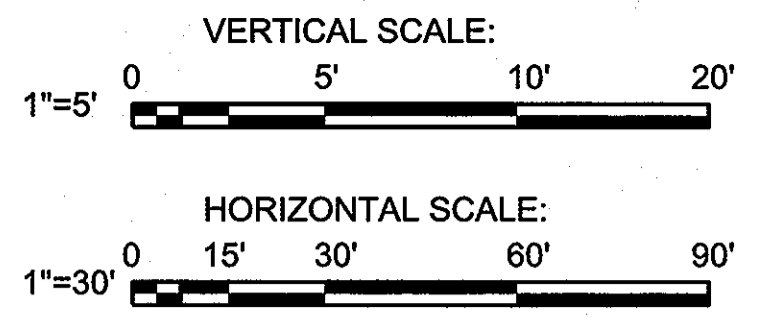
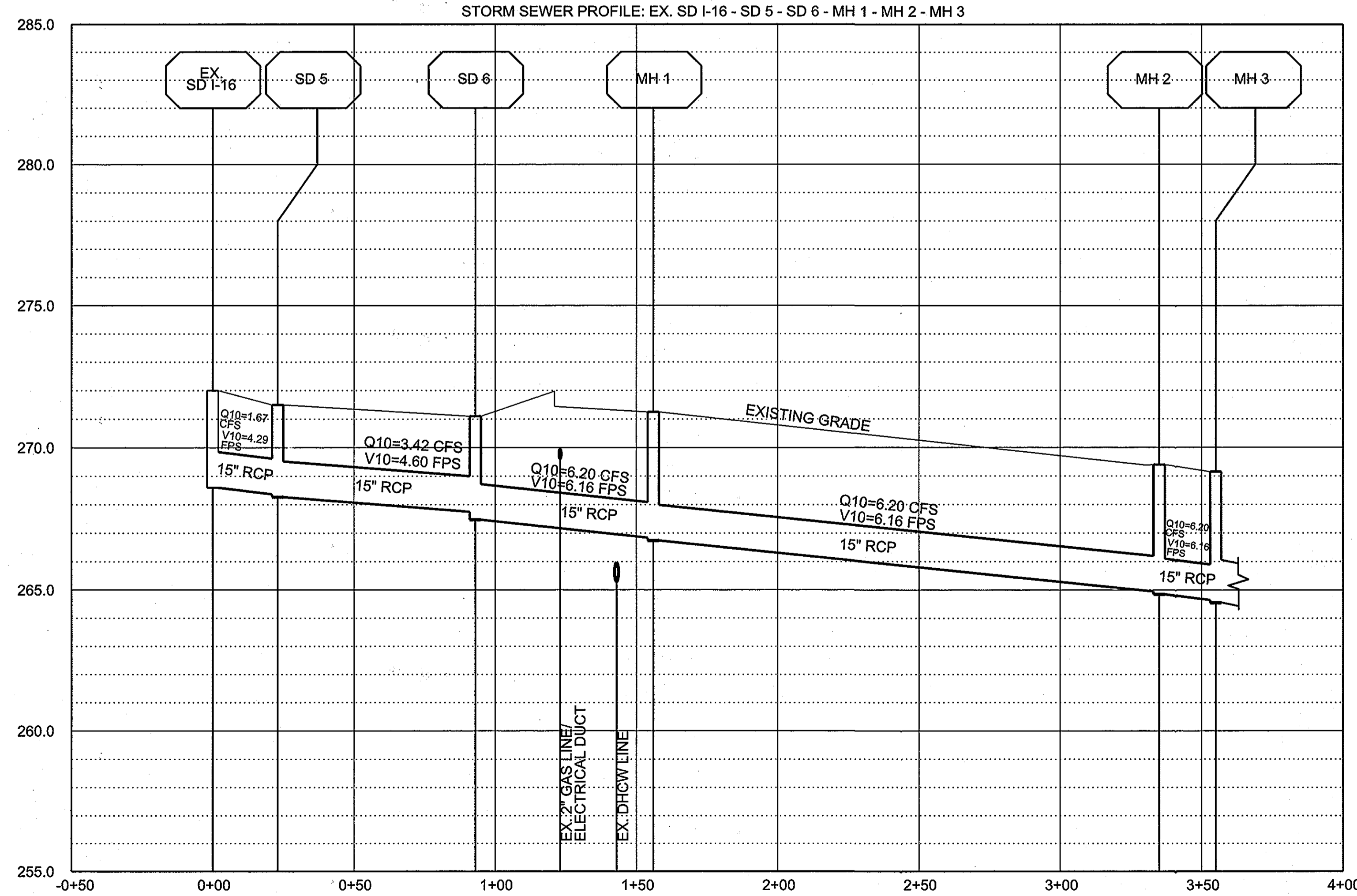
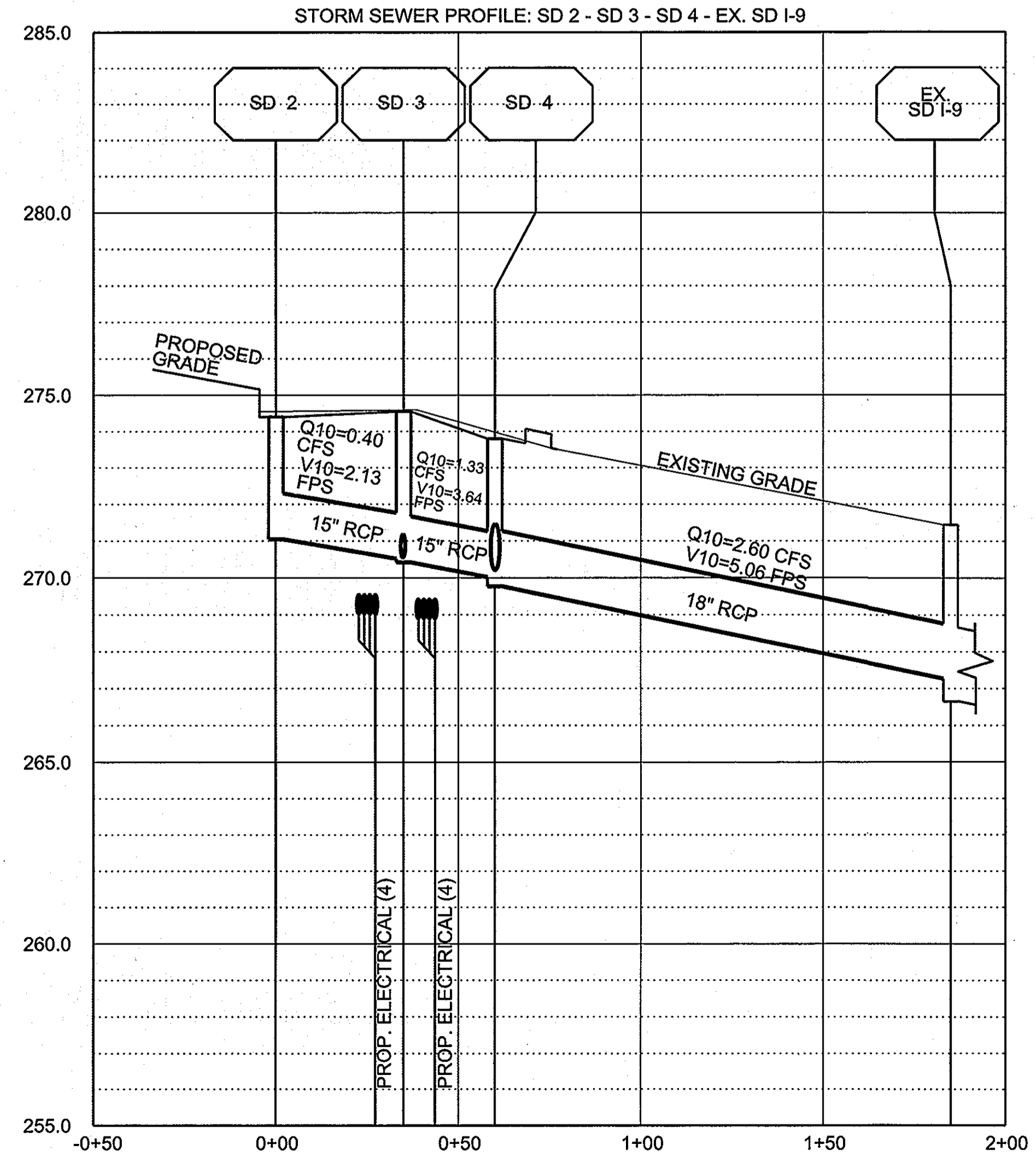
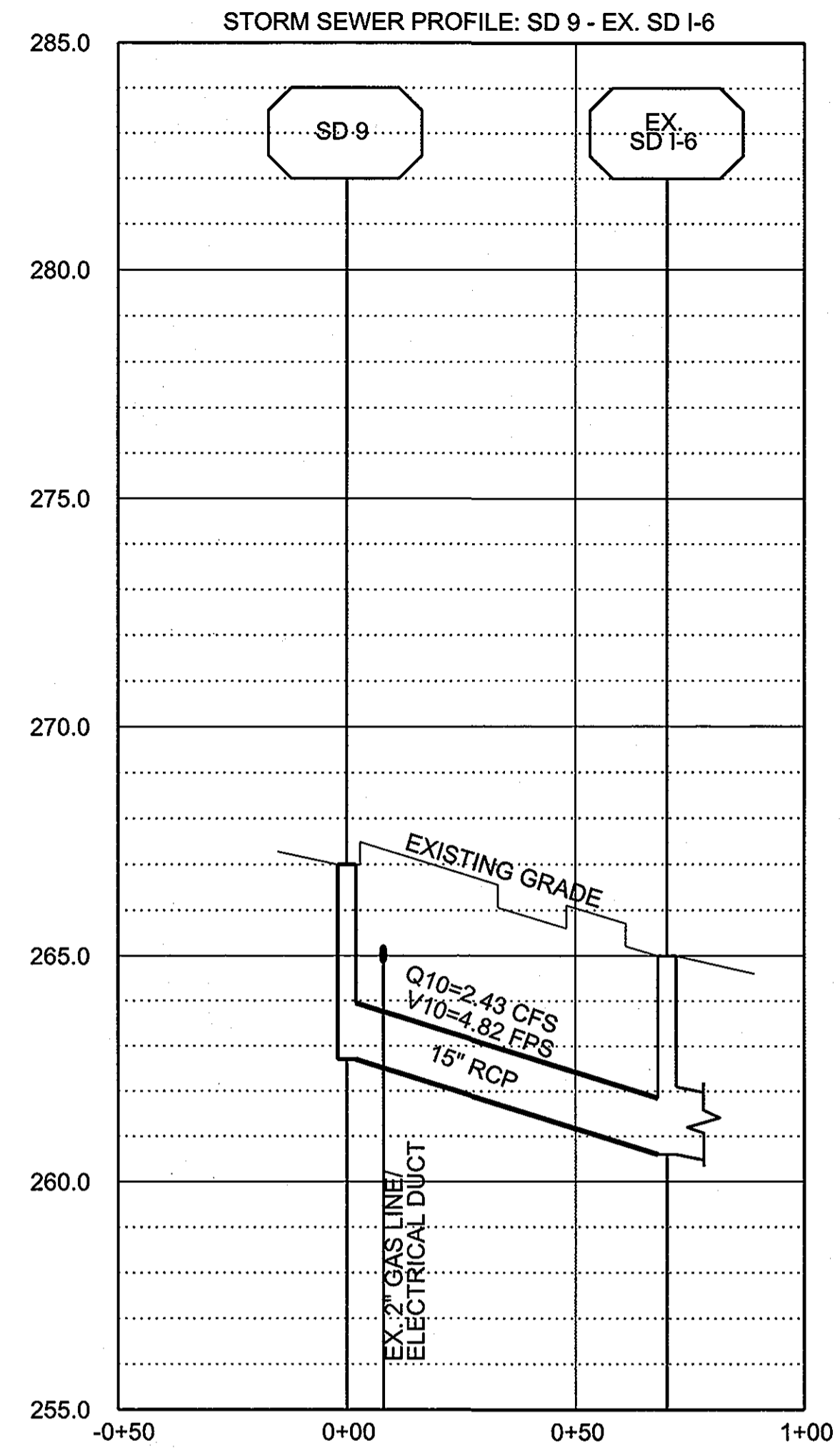
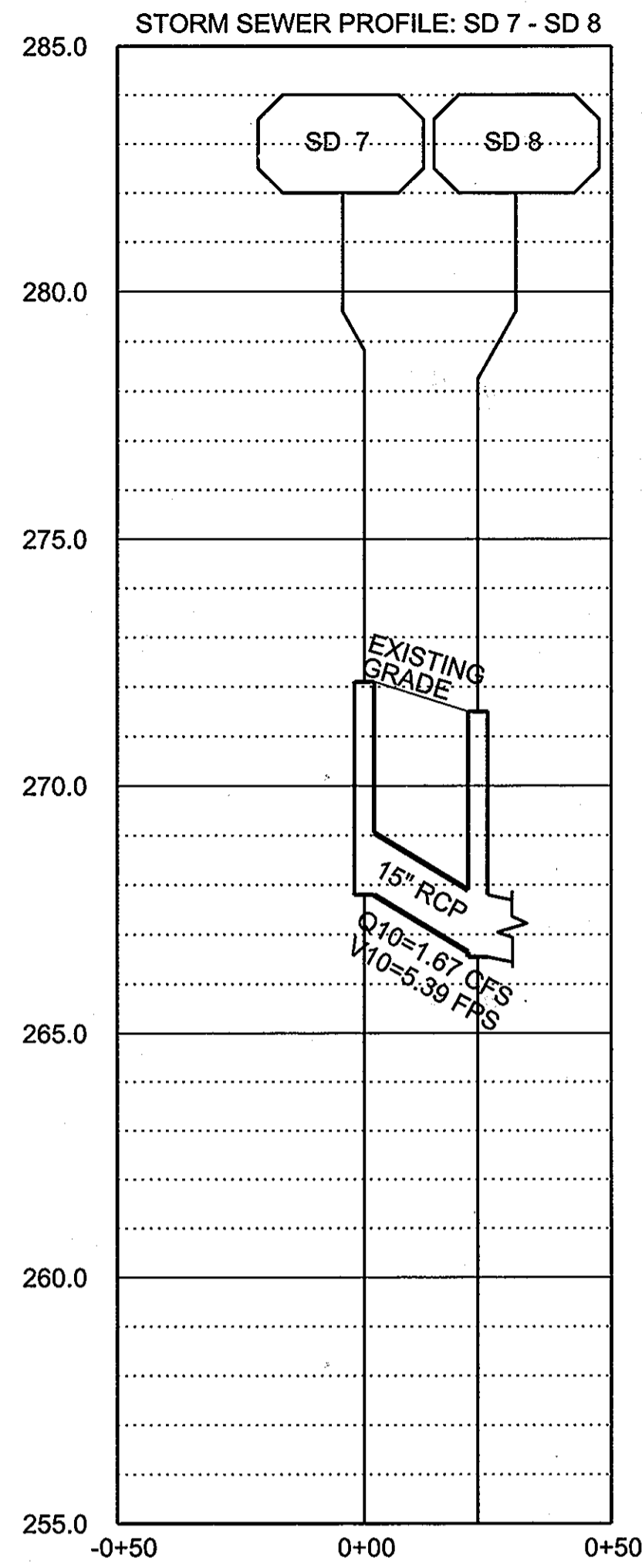
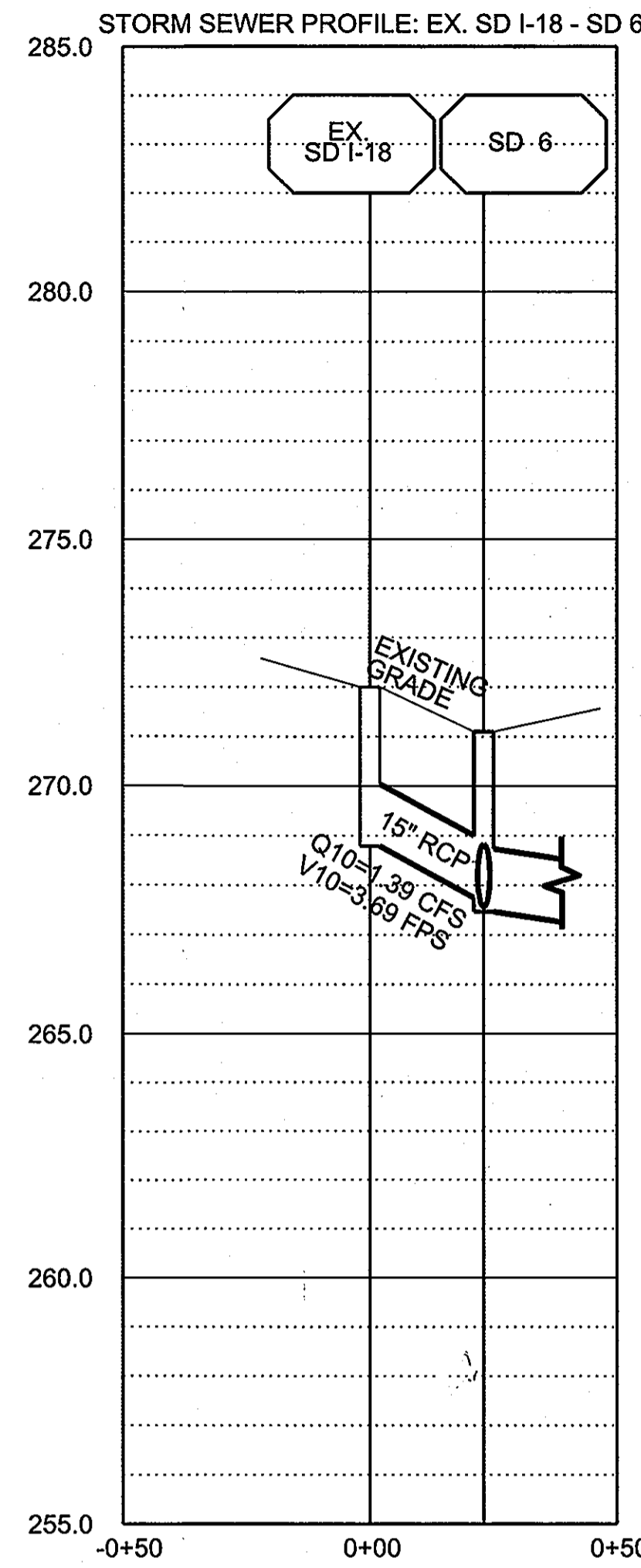
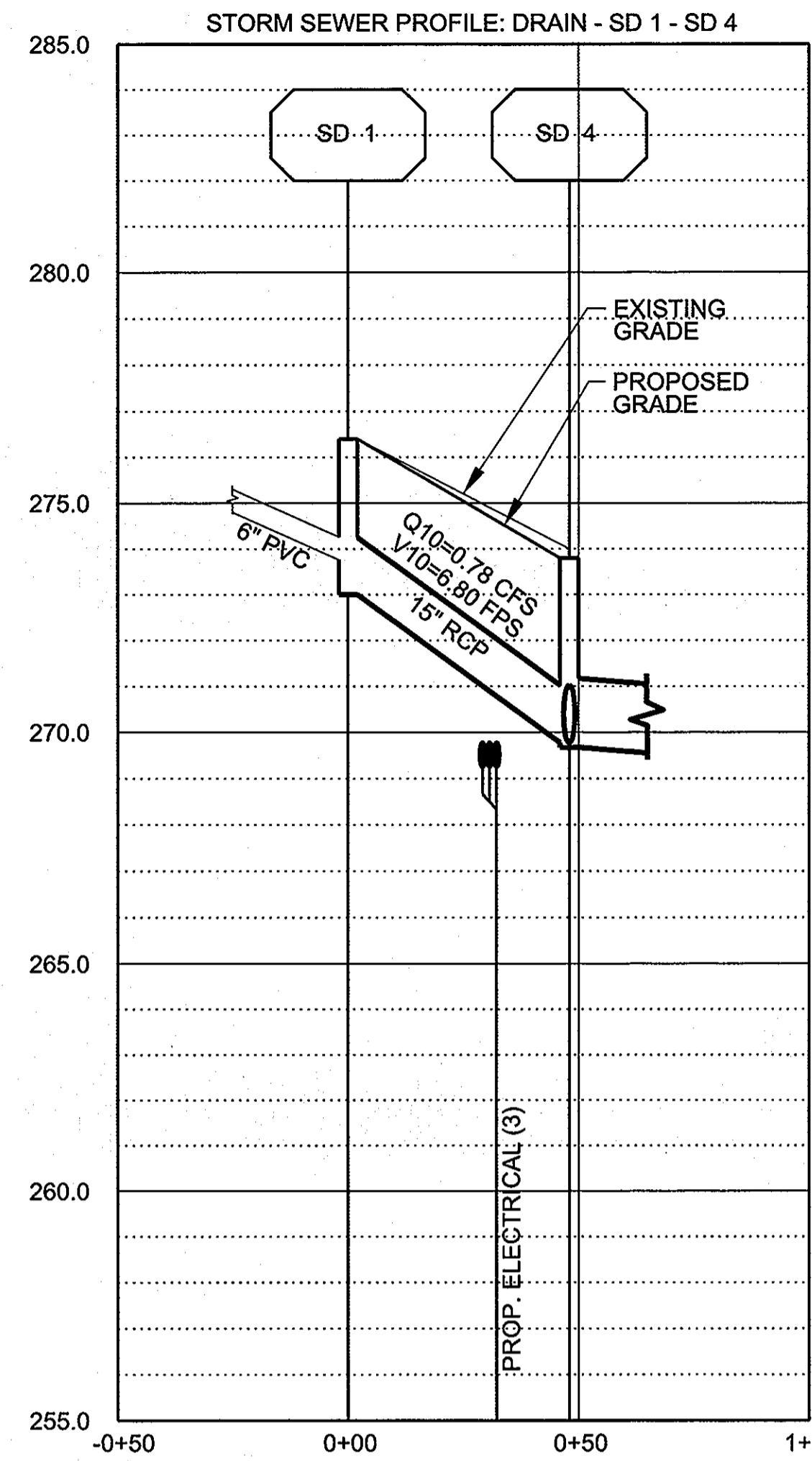
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|--|----------------------------------|---------------------|----------------------|
| Designed by: G. SPILLER | Checked by: S. GREGORY | Date: 08-30-09 | Rev: 1 |
| Dwn by: G. SPILLER | PROJECT MANAGER GEORGE REILLY | Project No: 19846 | |
| Submitted by: NAME: FRANKLIN P. MASTEL PRINCIPAL | File name: 091846 | Plot date: 08-30-09 | Plot scale: AS SHOWN |

EMERSON - SECURE PERIMETER AND CONNECTOR BUILDING
EROSION AND SEDIMENT CONTROL NOTES
LAUREL, MD

Drawing No. C5-011
Sheet Reference No. 28
Sheet 28 of 48
SDP-07-037

| | |
|---|---------------|
| APPROVED: DEPARTMENT OF PLANNING AND ZONING <i>Cathy Hunter</i> CHIEF, DIVISION OF LAND DEVELOPMENT | DATE: 7/2/09 |
| <i>Alan Demmons</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION | DATE: 7/13/09 |
| <i>Paul Z. Ayler</i> DIRECTOR | DATE: 7/21/09 |

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MARYLAND LICENSE NO.: 31011
EXPIRATION DATE: 10-17-2010

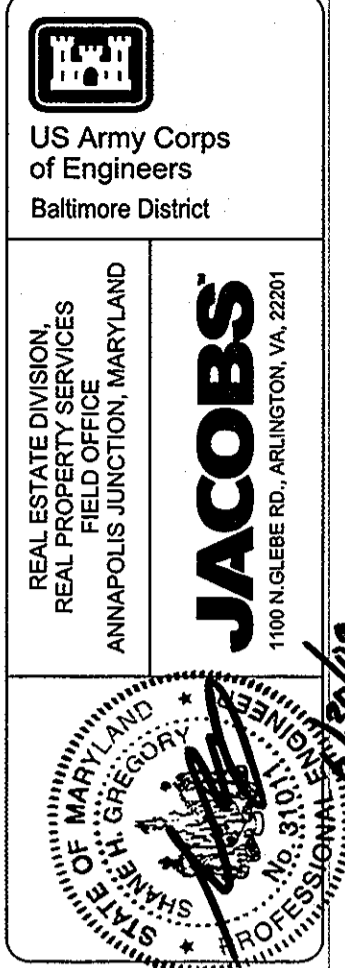


GENERAL NOTES
 1. RELOCATE EXISTING UTILITIES TO MAINTAIN MINIMUM 12" VERTICAL SEPARATION FROM PROPOSED UTILITIES

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APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Division of Land Development: *Cindy Hand* 7/2/09
 Chief, Development Engineering Division: *Mark DeCangelis* 7/13/09
 Director: *Mark DeCangelis* 7/24/09



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| Rev. | Date | Description |
|------|----------|-------------------------------|
| 1 | 06-30-09 | REVISED SITE DEVELOPMENT PLAN |

| | | | |
|--|------------------------------------|----------------------|--------|
| Designed by: G. SPILLER | Checked by: S. GREGORY | Date: 06-30-09 | Rev. 1 |
| Drawn by: G. SPILLER | RSFO Project Manager: GEORGE KELLY | Project No: 19646 | |
| Submitted by: NAME: FRANKLIN P. MASTEL | Principal: FRANKLIN P. MASTEL | File name: 0919646 | |
| | | Plot date: 06-30-09 | |
| | | Plot scale: AS SHOWN | |

EMERSON - SECURE PERIMETER AND CONNECTOR BUILDING
 UTILITY PROFILES
 JARREL, MD

Drawing No. C5-013
 Sheet Reference No. 30
 Sheet 30 of 48
 SDP-07-037

US Army Corps of Engineers
Baltimore District

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6/30/09

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| Date | Rev. | Description |
|----------|------|-------------------------------|
| 06-30-09 | 1 | REVISED SITE DEVELOPMENT PLAN |
| | | Notes |

| | | | |
|--|--|-------------------------|-------------------------|
| Designed by: G. SPILLER | Checked by: S. GREGORY | Date: 06-30-09 | Rev. 1 |
| Drawn by: G. SPILLER | RSFO Project Manager: GEORGE REILLY | Project No.: 19646 | |
| Submitted by: NAME: FRANKLIN P. MASTEL PRINCIPAL | File name: 091846 | Proj. date: 06-30-09 | Proj. name: AS SHOWN |

EMERSON - SECURE PERIMETER AND CONNECTOR BUILDING

SITE DETAILS

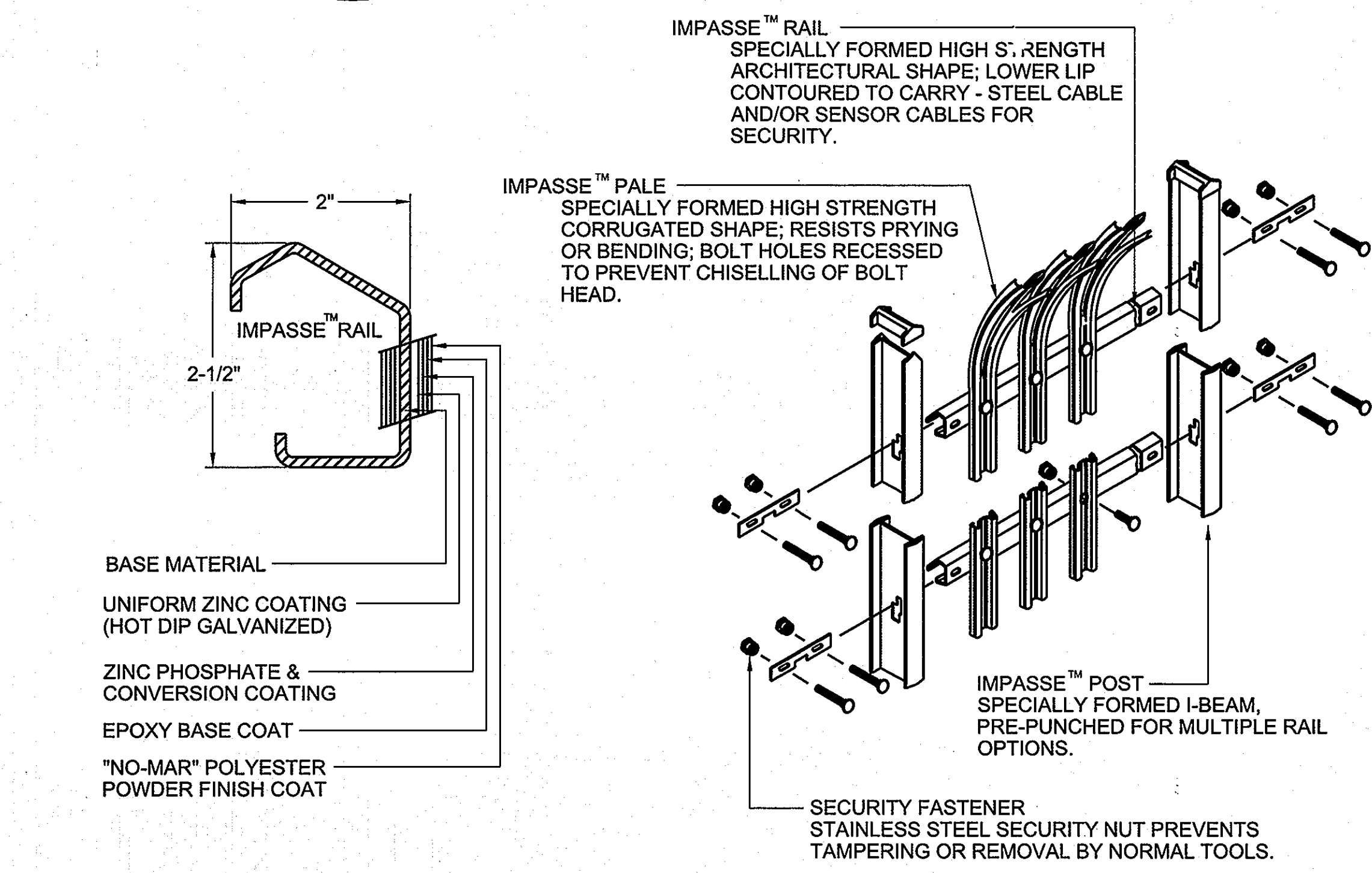
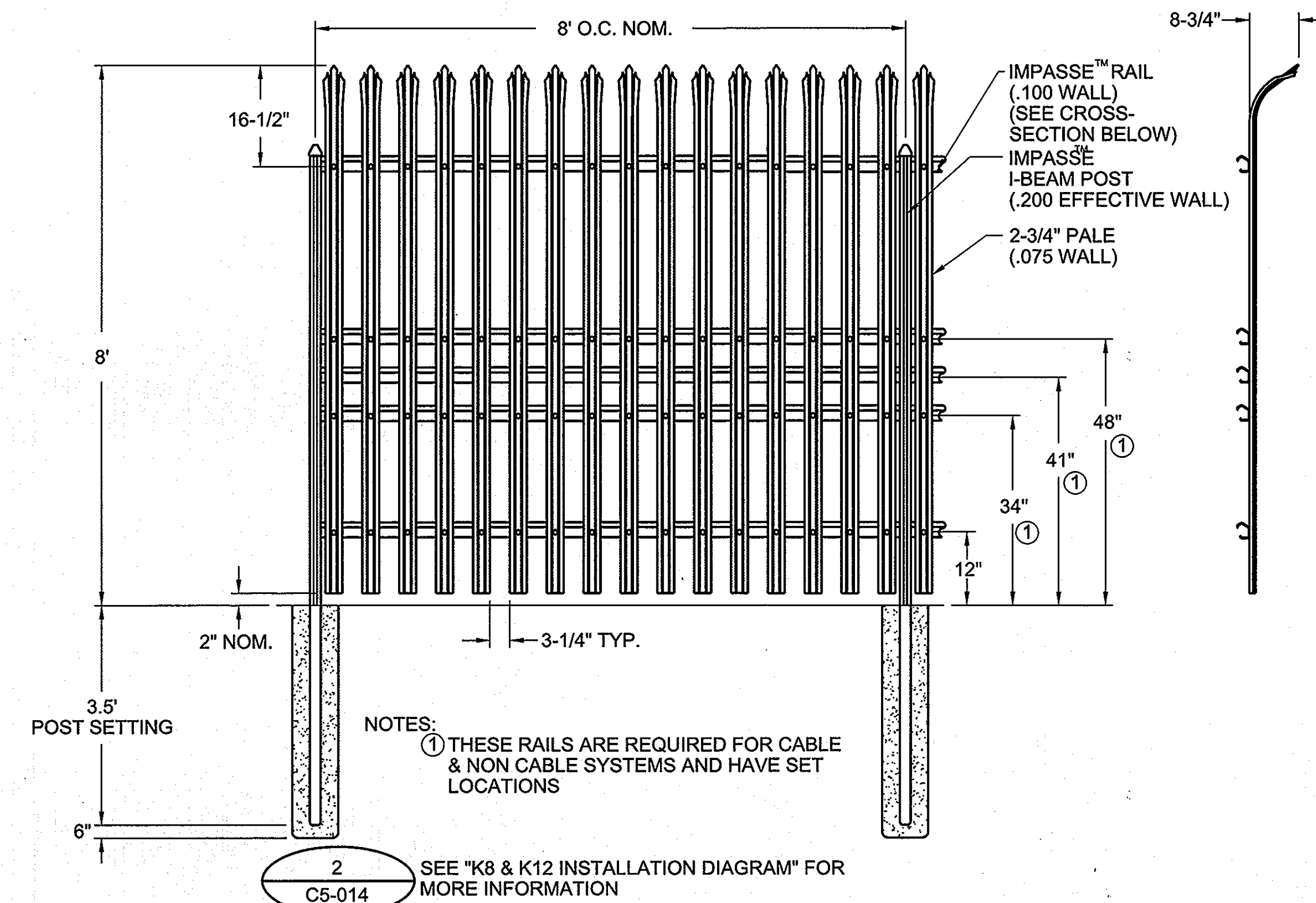
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Drawing No. C5-014

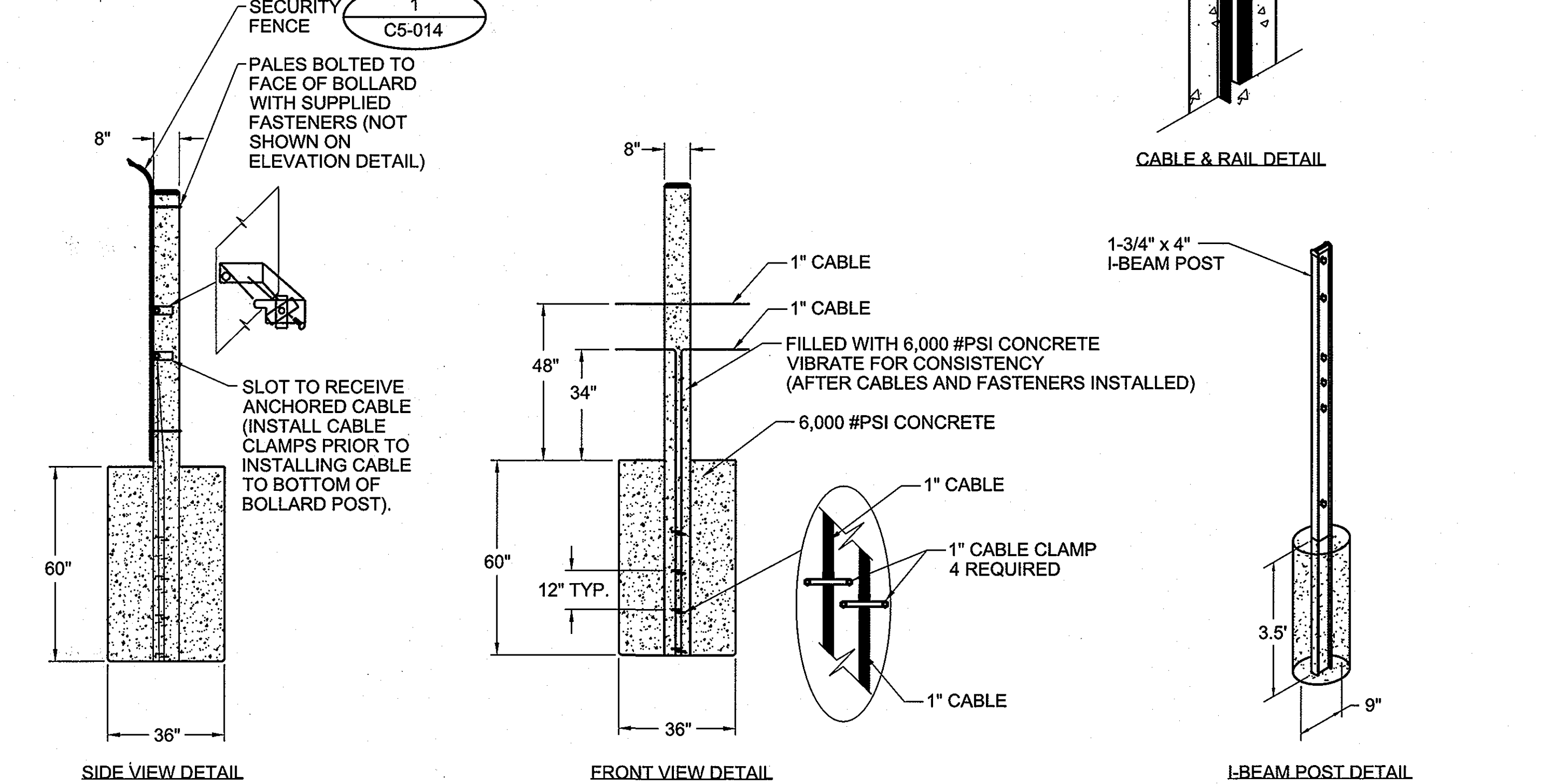
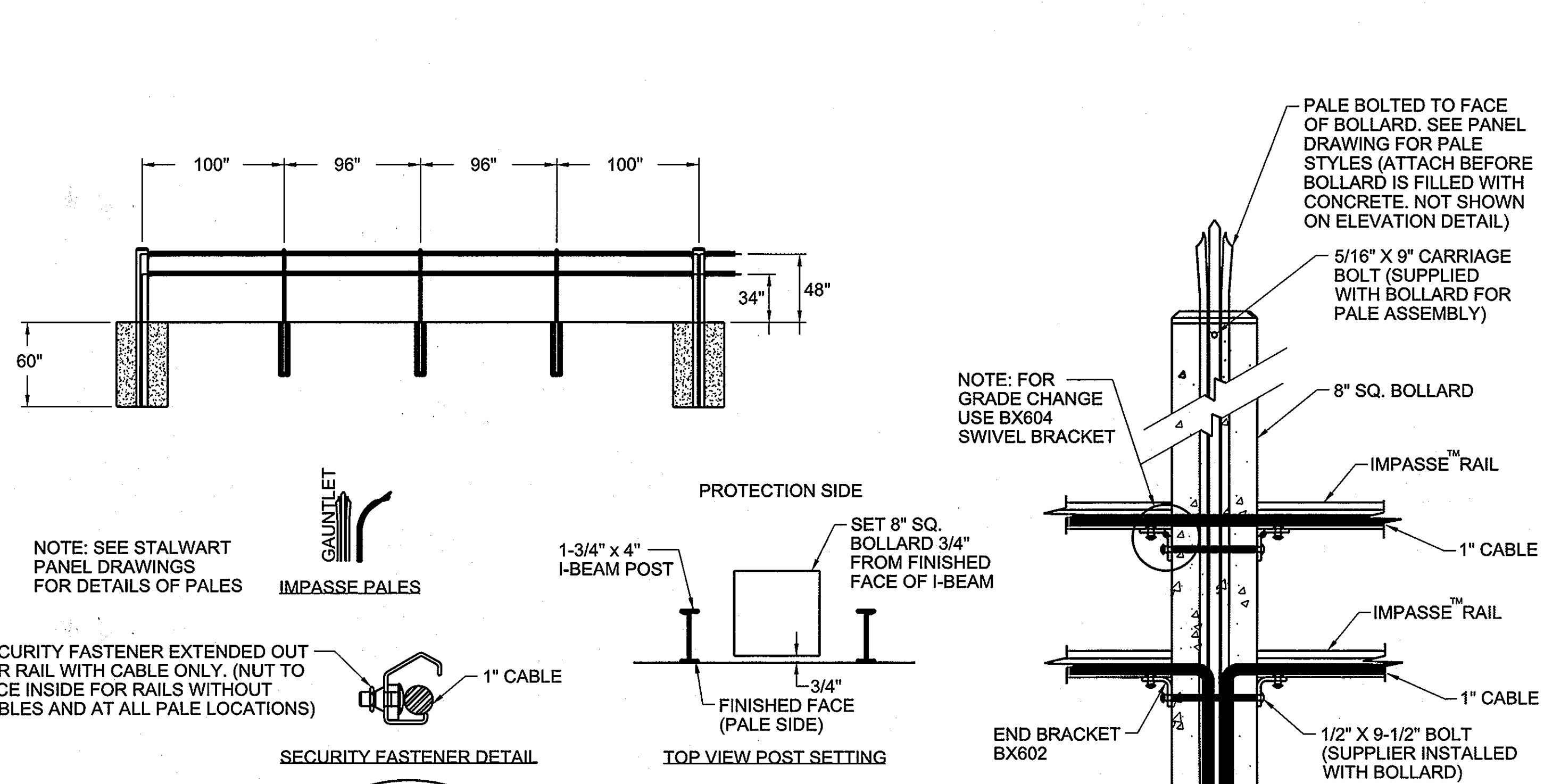
Sheet Reference No. 31

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EXP-07-037



1 AMERISTAR 8' HIGH IMPASSE GAUNTLET HIGH SECURITY STEEL FENCE
SCALE: NONE



2 STALLWART M40 (K8) ANTI-RAM CABLED STEEL BARRIER
SCALE: NONE

NOTE:
PLAN IS FOR INFORMATIONAL PURPOSES ONLY. FENCE SHALL BE MANUFACTURED AND INSTALLED IN ACCORDANCE W/ MANUFACTURER'S WRITTEN INSTRUCTIONS.

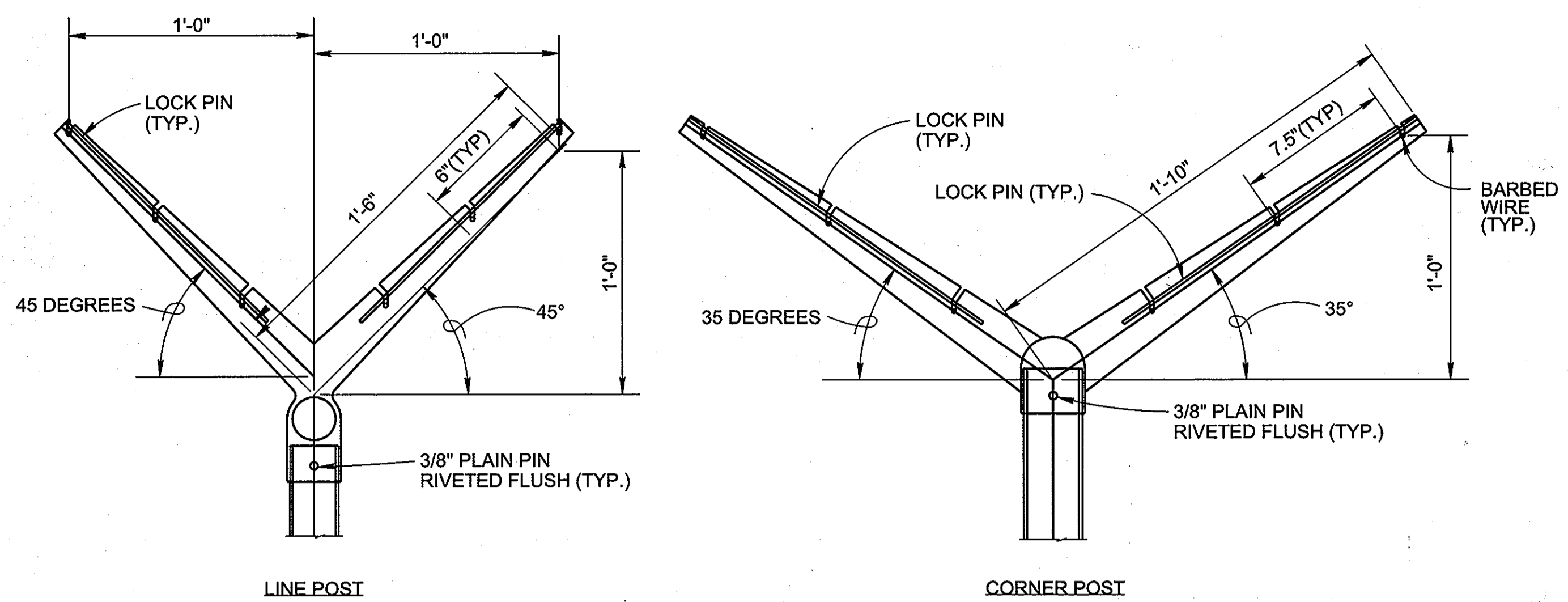
APPROVED: DEPARTMENT OF PLANNING AND ZONING

Charles Hunt 7/2/09
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

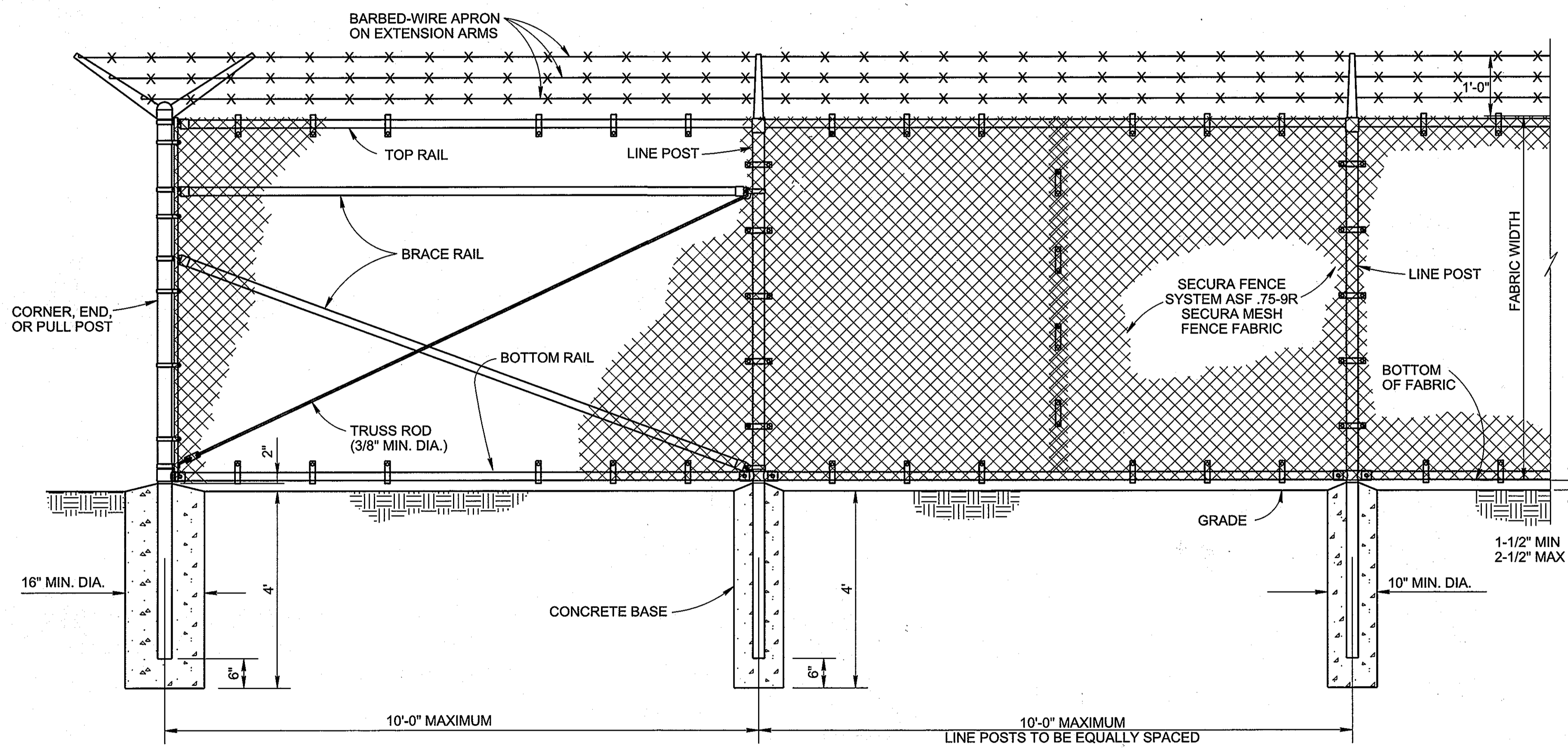
George Reilly 7/12/09
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

David A. Guyer 7/21/09
DIRECTOR DATE

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EXTENSION ARM DETAILS

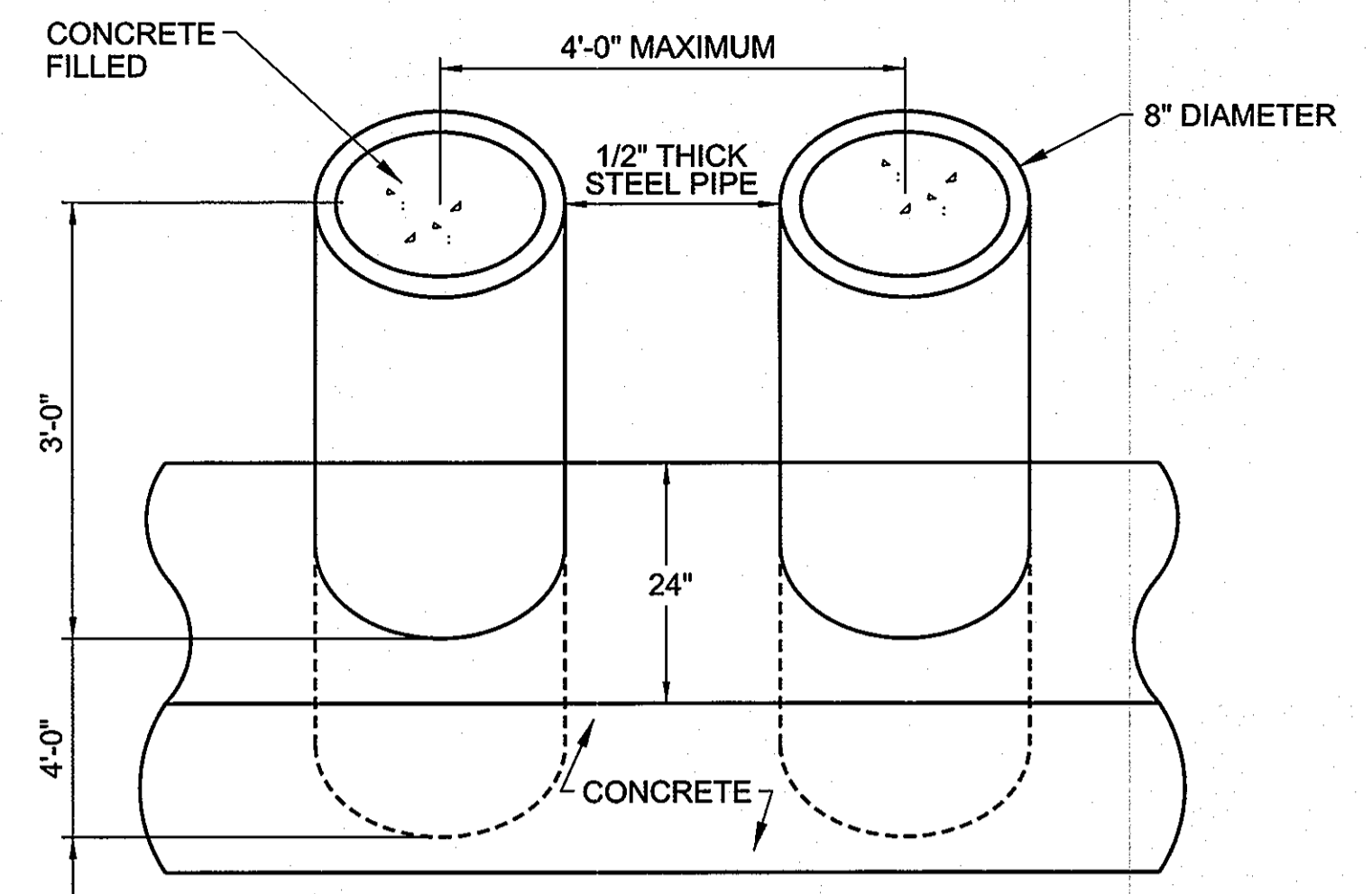


CHAIN-LINK SECURITY FENCE DETAIL

| STEEL POST SCHEDULE | |
|---------------------------|--------------------------------------|
| USE AND SECTION | MINIMUM OUTSIDE DIMENSIONS (NOMINAL) |
| | FABRIC WIDTH 84" TO 96" |
| CORNER, END & PULL POSTS | |
| TUBULAR - ROUND | 2.875" O.D. |
| LINE POSTS | |
| TUBULAR - ROUND | 2.375" O.D. |
| TOP, BOTTOM & BRACE RAILS | |
| TUBULAR - ROUND | 1.66" O.D. |

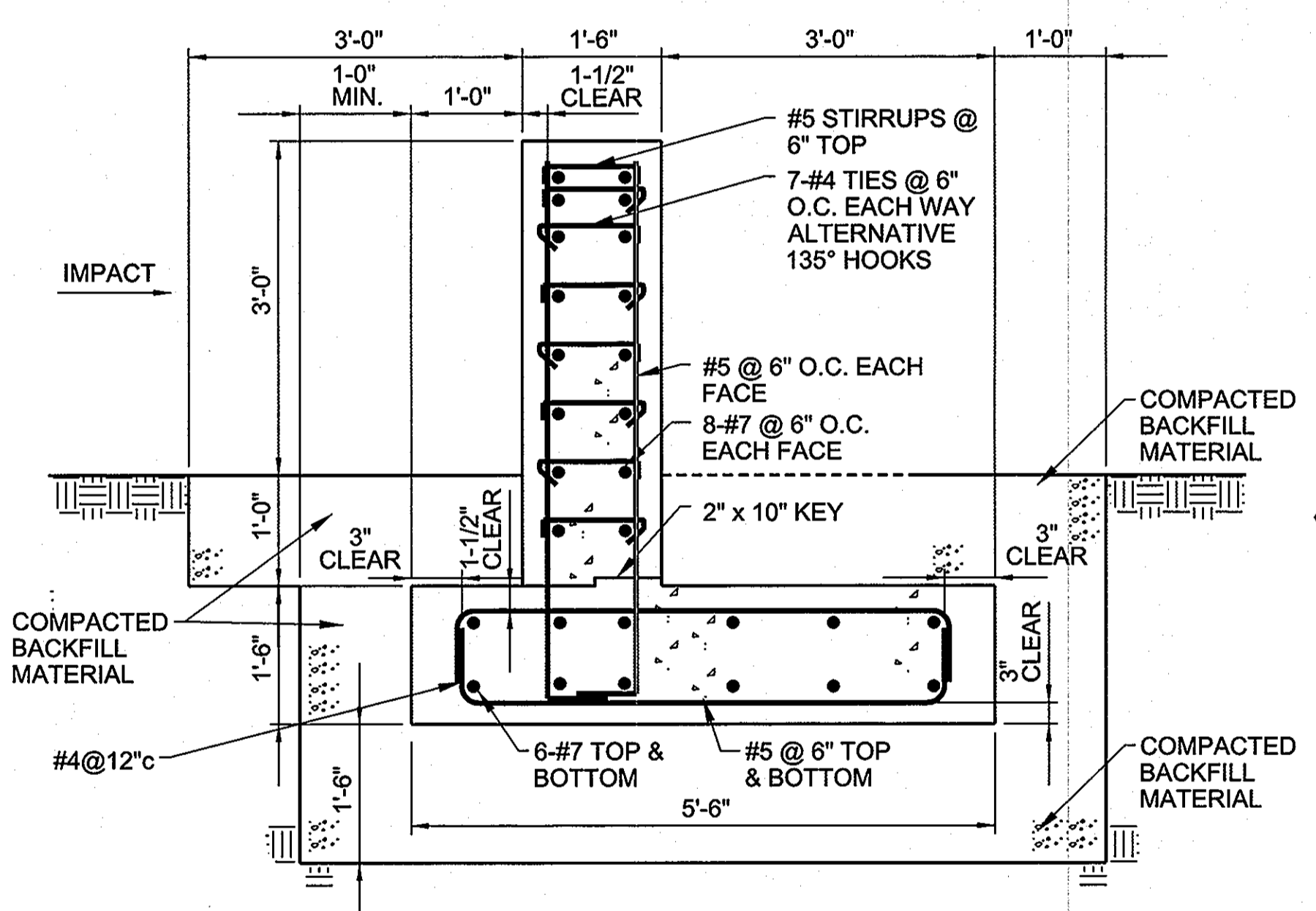
- NOTE:
- RAILS, POSTS, AND BRACES SHALL BE CONSTRUCTED ON THE SECURE SIDE OF THE FENCE ALIGNMENT. SECURA MESH FABRIC SHALL BE PLACED ON THE SIDE OPPOSITE THE SECURE AREA. FABRIC SHALL BE ATTACHED TO THE FENCE PER SECURA FENCE SYSTEM ASF-75-9R REQUIREMENTS.
 - FENCE SHALL BE INSTALLED AS PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

1 USACE 7' HIGH FE-7 SECURITY FENCE FRAME W/ 1' OUTRIGGER
SCALE: NONE



- NOTES:
- FOR END BOLLARDS, EXTEND CONCRETE BASE A LENGTH OF 24" PAST STEEL PIPE.
 - FOR SINGLE BOLLARDS, PROVIDE CONCRETE BASE 24" WIDE BY 56" LONG, WITH BOLLARD CENTERED IN BASE.

2 ANTI-RAM BOLLARDS
SCALE: NONE



| MATERIAL SPECIFICATIONS | |
|-------------------------|------------------|
| REINFORCED STEEL: | fy=60 KSI (MIN.) |
| CONCRETE: | fc=3 KSI (MIN.) |

- NOTES:
- 1-1/2" CONCRETE COVER ALL AROUND EXCEPT AS NOTED
 - WALL FACES AND ENDS SHALL HAVE RUNNING BOND BRICK PATTERN APPLIED; BRICK MODULE SHALL BE 2-1/4"x8" IN A TUMBLED OR USED BRICK FINISH. TOP OF WALL SHALL BE FINISHED WITH DOUBLE SOLDIER COURSE PATTERN. COLOR PIGMENT SHALL BE ADDED TO CONCRETE MIXTURE. COLOR SHALL BE BRICKFORM #1050 ANTIQUE CORK.

3 STAMPED CONCRETE ANTI-RAM KNEE WALL
SCALE: NONE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE 7/21/09
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE 7/13/09
 DIRECTOR DATE 7/21/09

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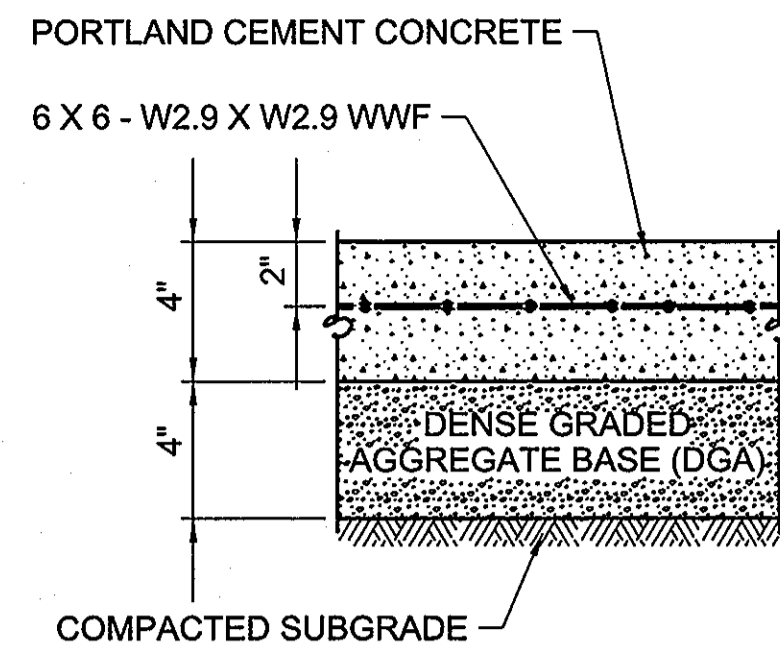
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| REVISED SITE DEVELOPMENT PLAN | Date | Author |
|-------------------------------|------|--------|
| 2002 Details | | |

| Designed by: | Checked by: | Date: | Project No.: | File Name: |
|--------------------|-----------------------|----------|--------------|---------------|
| G. SHILLER | S. GREGORY | 06-30-09 | 19646 | 0919646 |
| Drawn by: | RSFO Project Manager: | | | Proj. Desk: |
| G. SHILLER | GEORGE KELLY | | | 06-30-09 |
| Submitted by: | NAME: | | | Job Grade: |
| FRANKLIN P. MASTEL | FRANKLIN P. MASTEL | | | AS SUPERVISOR |

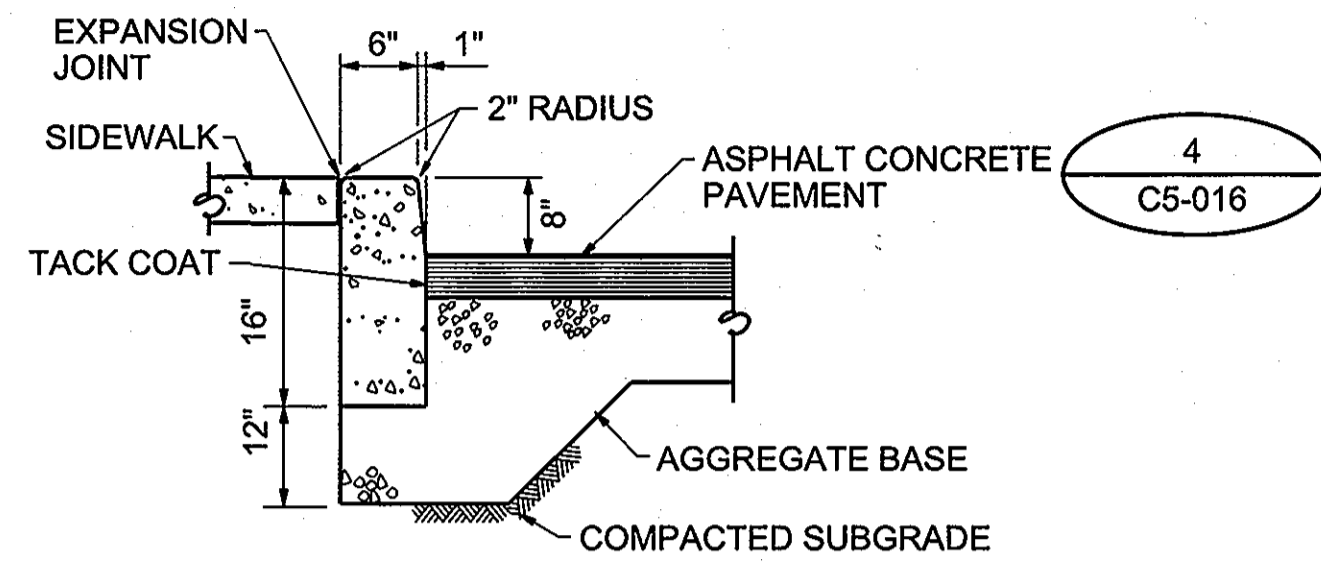
EMERSON - SECURE PERIMETER AND CONNECTOR BUILDING
 LAUREL, MD
 SITE DETAILS

| |
|---------------------------|
| Drawing No. C5-015 |
| Sheet Reference No. 32 |
| Sheet 32 of 48 |

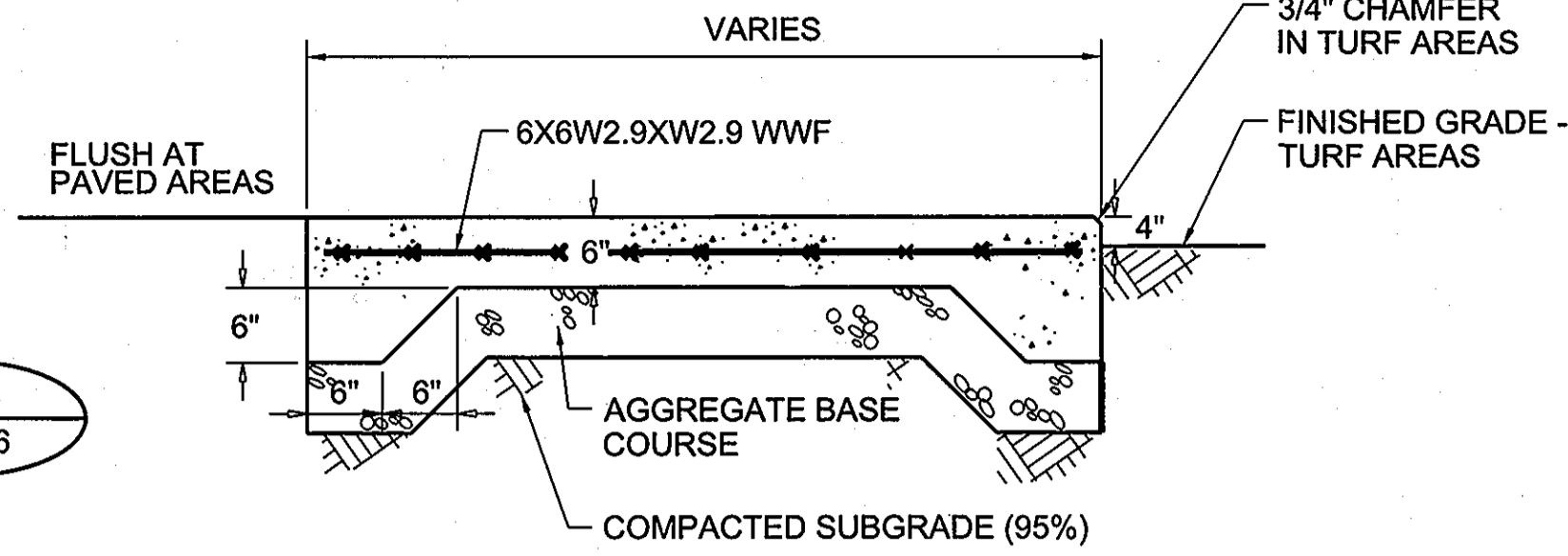


- NOTES:
 1. 6" WIDE SIDEWALK - TRANSVERSE CONTRACTION JOINTS AT 5' INTERVALS, NO LONGITUDINAL JOINTS
 2. 15" WIDE SIDEWALK/PLAZA AREAS - TRANSVERSE CONTRACTION JOINTS AT 5' INTERVALS, LONGITUDINAL FALSE JOINTS AT 5' INTERVALS
 3. EXPANSION JOINTS TO BE PLACED BETWEEN ADJACENT SLABS, AT BUILDING LINE, AT CURBS, OR AT PENETRATING STRUCTURES.
 4. SIDEWALK TO HAVE 1% MIN. CROSS SLOPE AND 2% MAX.

1 CONCRETE SIDEWALK
SCALE: NONE

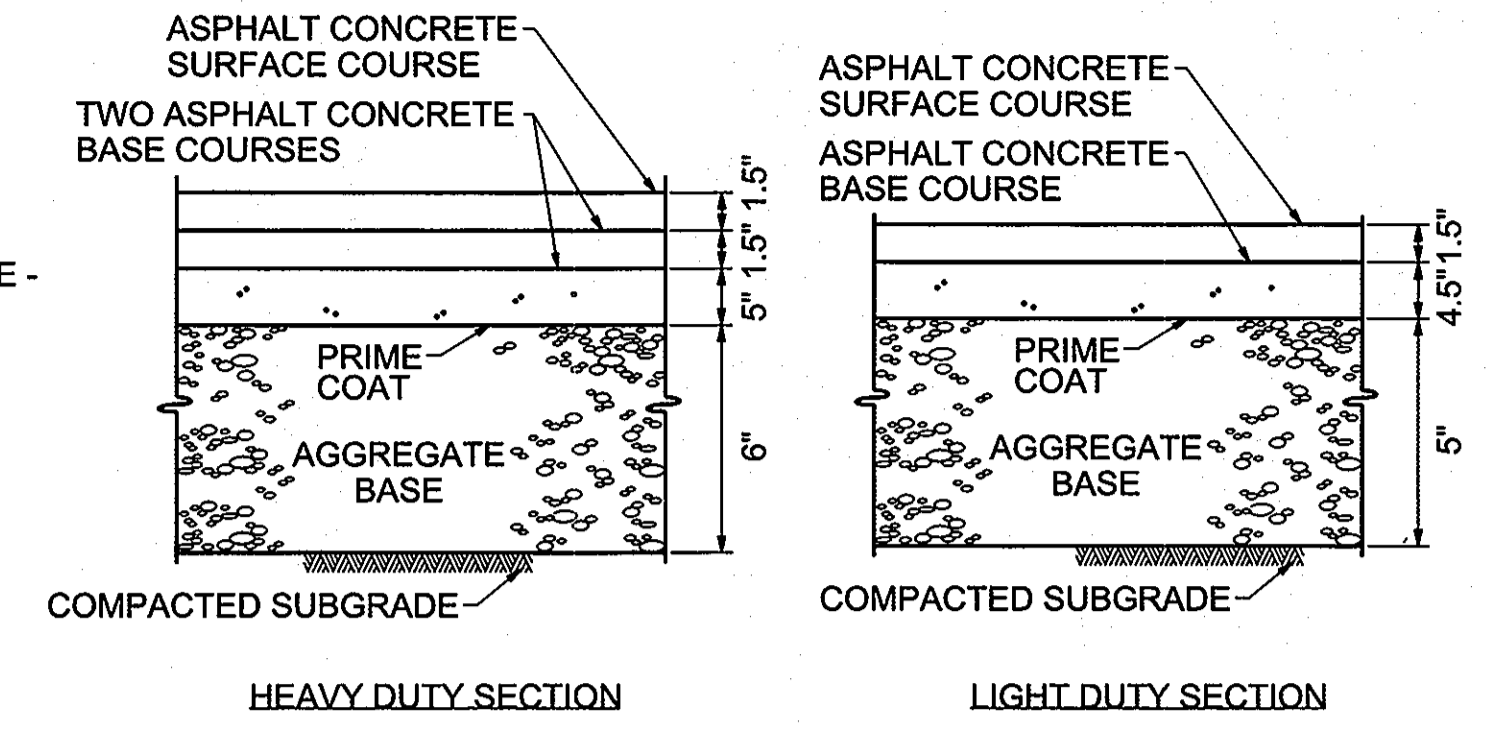


2 8" HIGH CONCRETE CURB
SCALE: NONE



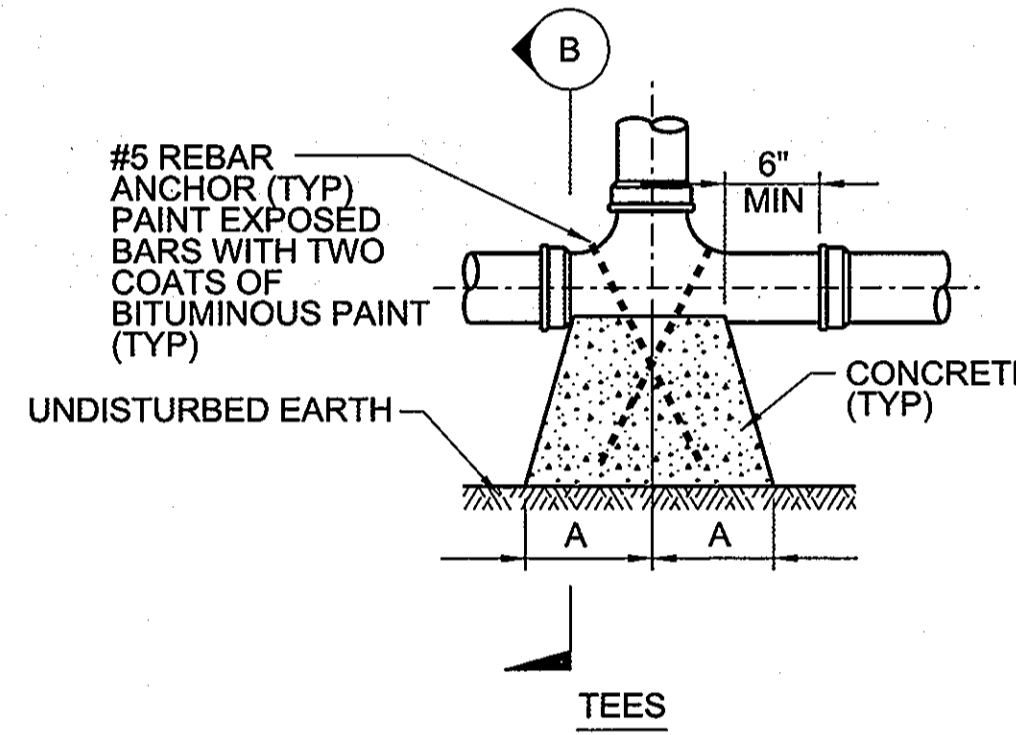
NOTE:
 EXACT PAD DIMENSIONS AND LOCATIONS OF OPENINGS AND SLEEVES THROUGH PAD TO BE COORDINATED WITH EQUIPMENT SUPPLIERS. PAD TO BE A MIN. OF 1'-0" LARGER THAN EQUIPMENT ON ALL SIDES.

3 CONCRETE PAD
SCALE: NONE



- NOTES:
 1. SURFACE COURSE SHALL BE 9.5MM SUPERPAVE, LEVEL 1.
 2. BASE COURSE SHALL BE 12.5MM SUPERPAVE, LEVEL 1.

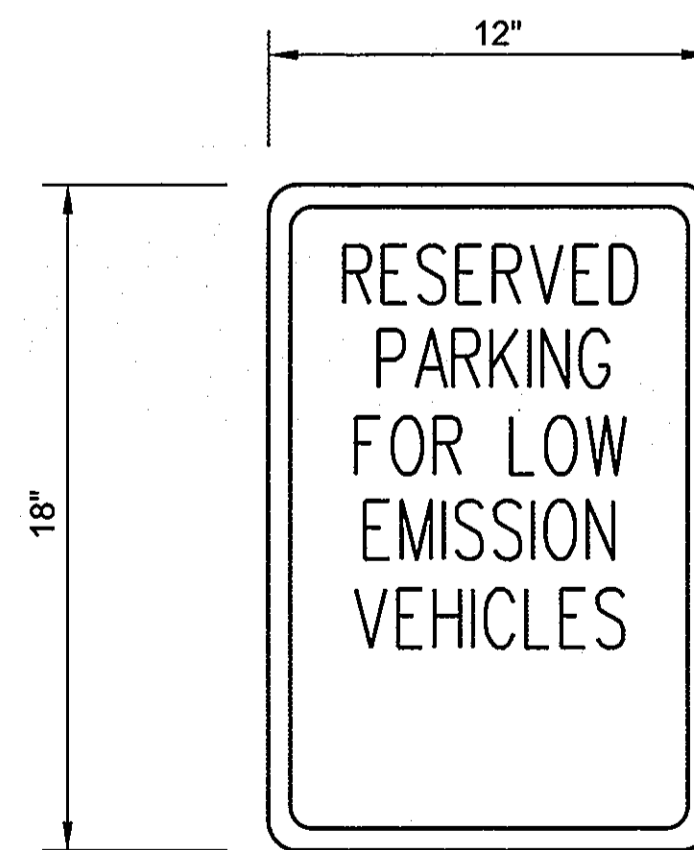
4 ASPHALT CONCRETE PAVEMENT
SCALE: NONE



| HORIZONTAL BENDS | | | | | | | |
|------------------|--------|-----|--------|-----|-----|-----|---------|
| SIZE | 45 DEG | | 22 DEG | | TEE | | PLUG |
| | A | B | A | B | A | B | C D |
| 8" | 12" | 13" | 8" | 10" | 13" | 16" | 12" 29" |

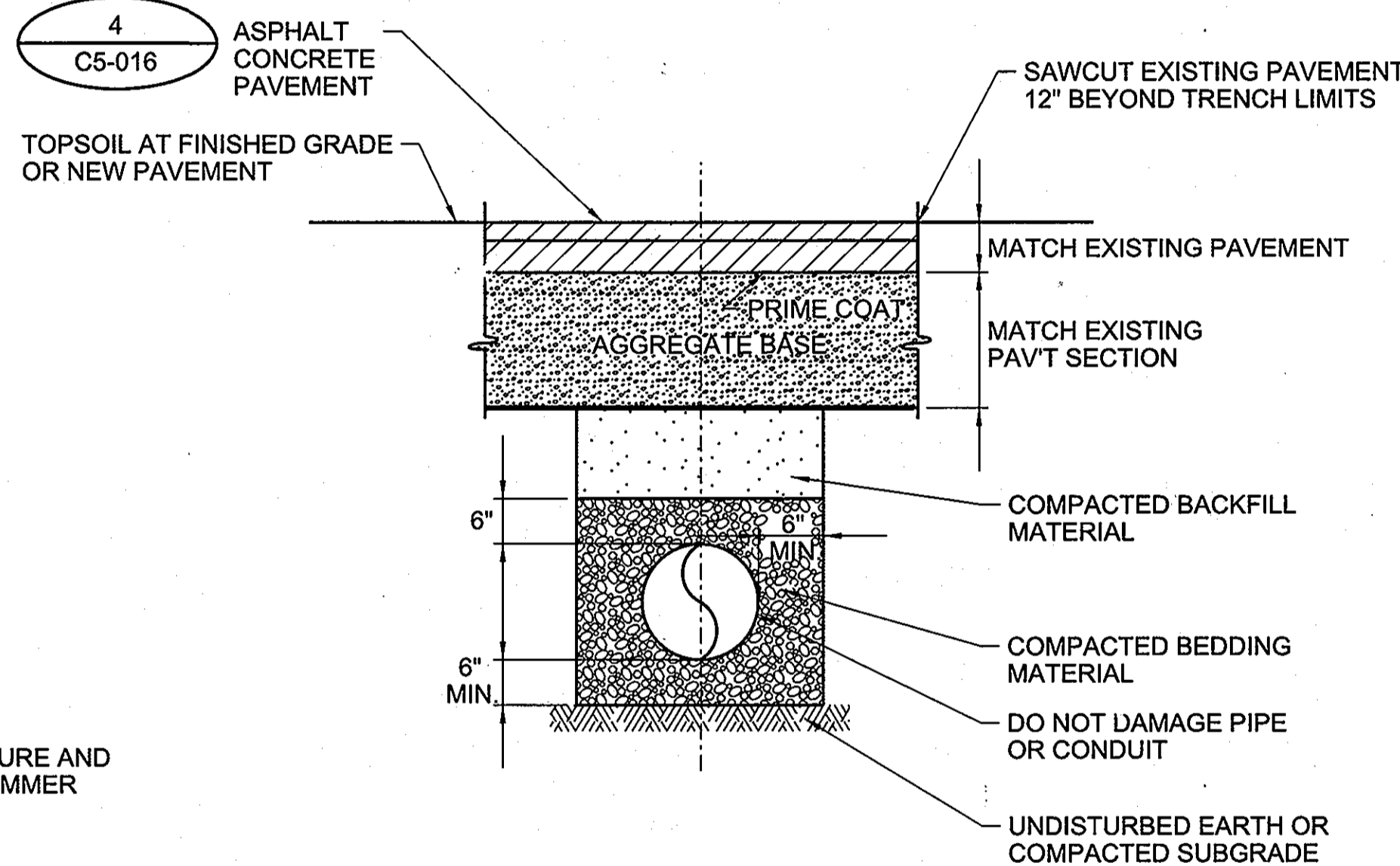
TABLES BASED ON 2000 PSF SOIL BEARING PRESSURE AND 150 PSI STATIC PRESSURE PLUS AWWA WATER HAMMER
 FOR PIPES SMALLER THAN 4", USE DIMENSIONS SHOWN FOR 4" PIPE (TYP, ALL BLOCKS)

5 CONCRETE THRUST BLOCK
SCALE: NONE

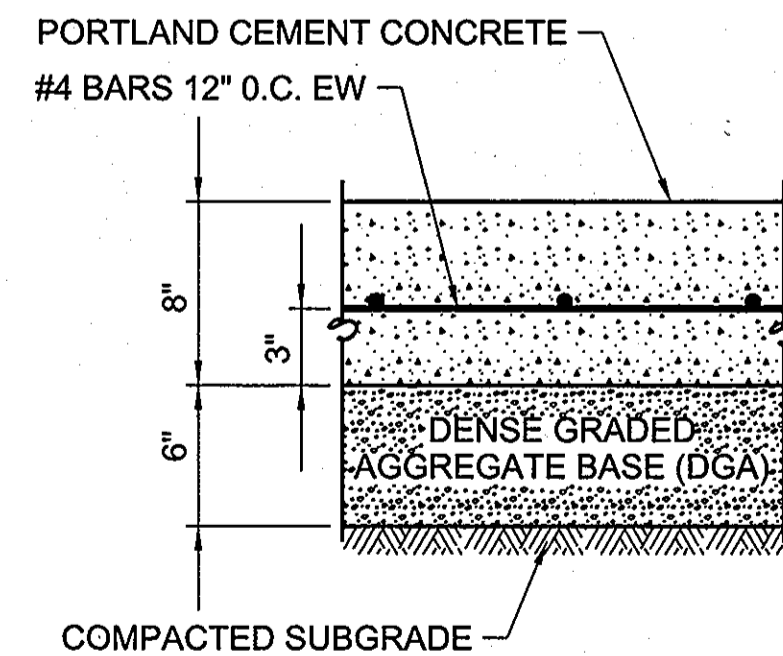


- NOTES:
 1. MOUNTING HEIGHT - 80" FROM BOTTOM OF SIGN TO PAVEMENT.
 2. ALL SIGNS SHALL BE MOUNTED TO U CHANNEL POSTS 2.0 WT/FT MIN., AND DRIVEN A MINIMUM OF 4' INTO THE GROUND.

7 LOW EMISSION VEHICLES SIGN
SCALE: NONE

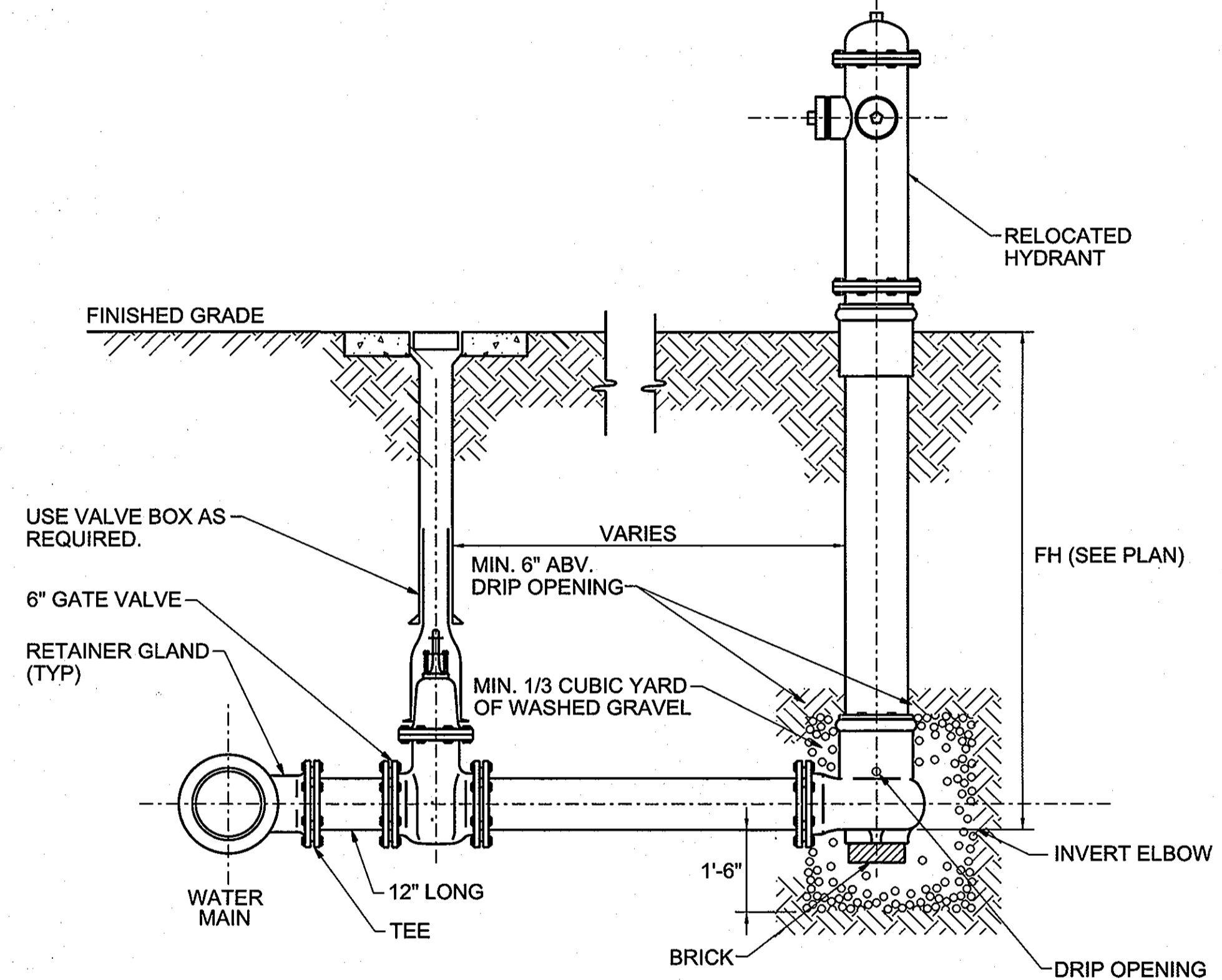


6 TRENCH DETAIL
SCALE: NONE

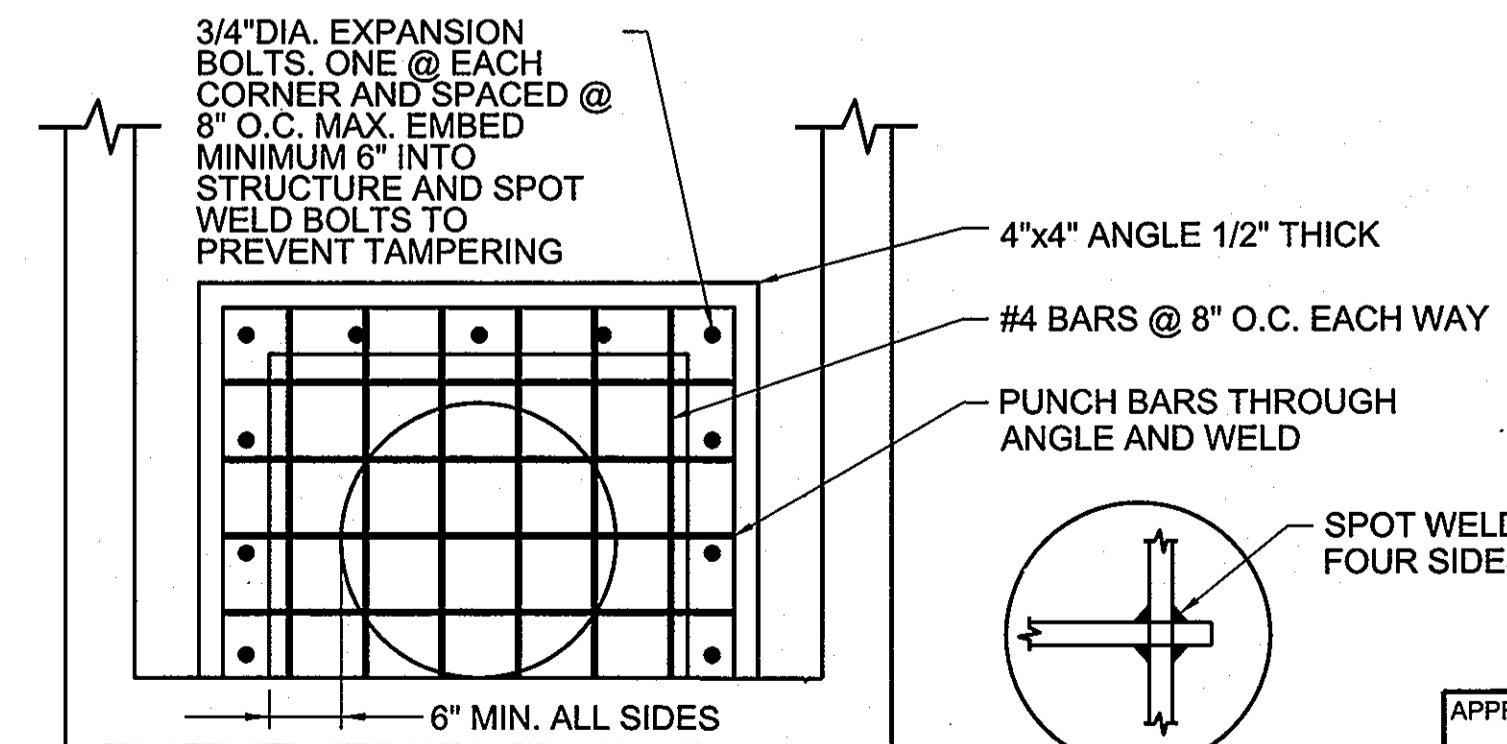


- NOTE:
 1. THE FOLLOWING ARE THE PARAMETERS FOR THE JOINTS:
 A) SPACING OF CONTRACTION JOINTS SHALL BE 15 FOOT O/C MAXIMUM.
 B) EXPANSION JOINTS SHALL BE PROVIDED AT LOCATIONS WHERE CONCRETE PAVEMENT ABUTS CURBS, BUILDING FOUNDATIONS AND ANY OTHER ELEMENTS NOT ASSOCIATED WITH THE PAVING SYSTEM.
 C) CONSTRUCT JOINTS IN ACCORDANCE WITH AMERICAN CONCRETE PAVEMENT ASSOCIATION.
 D) TERMINATE REINFORCEMENT IN CONCRETE AT ALL JOINTS.

8 CONCRETE PAVEMENT
SCALE: NONE



9 FIRE HYDRANT INSTALLATION DETAIL
SCALE: NONE



10 SECURITY MANBARS
SCALE: NONE

US Army Corps of Engineers
 Baltimore District
JACOBS
 REAL ESTATE DIVISION
 REAL PROPERTY SERVICES
 FIELD OFFICE
 ANNAPOLIS JUNCTION, MARYLAND
 1100 N. GLEBE RD., ARLINGTON, VA 22201

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| REVISED SITE DEVELOPMENT PLAN | Date | Appr. |
|-------------------------------|------|-------|
| 06-30-09 | | |

| Rev. 1 | Date | Project No. | File name |
|----------|----------|-------------|-----------|
| 06-30-09 | 06/30/09 | 19646 | 06-30-09 |

EMERSON - SECURE PERIMETER AND CONNECTOR BUILDING
 SITE DETAILS
 LAUREL, MD

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. MARYLAND LICENSE NO.: 31011 EXPIRATION DATE: 10-17-2010

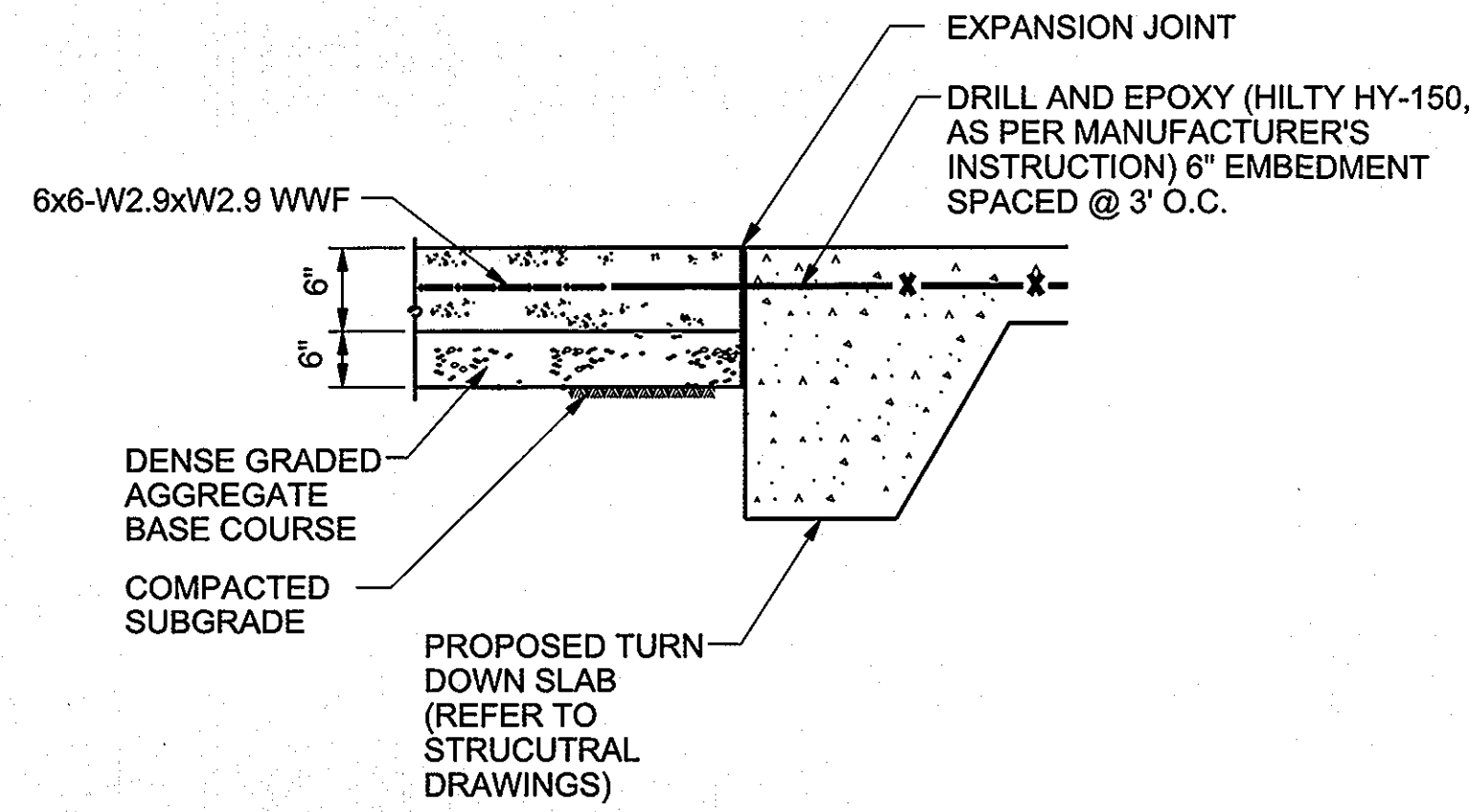
APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Division of Land Development
 Chief, Development Engineering Division
 Director

7/2/09
 7/12/09
 7/21/09

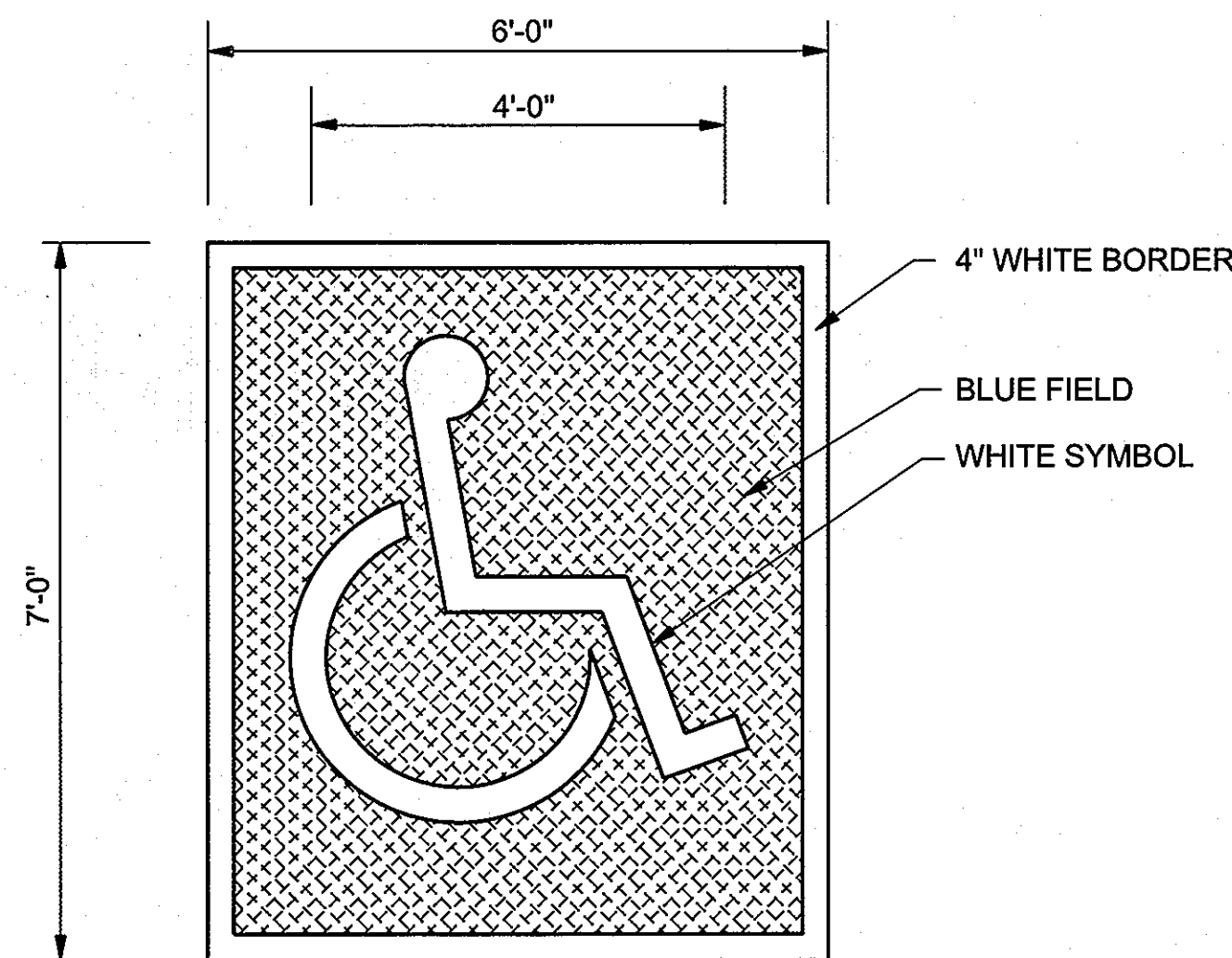
Drawing No. C5-016
 Sheet Reference No. 33
 Sheet 33 of 48
 SDP-07-037

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Audrey Stewart 7/2/09
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE
Mark DeLozja 7/13/09
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
Mark DeLozja 7/21/09
 DIRECTOR DATE

US Army Corps of Engineers
 Baltimore District
 REAL ESTATE DIVISION
 REAL PROPERTY SERVICES
 FIELD OFFICE
 ANNAPOLIS JUNCTION, MARYLAND
JACOBS
 1100 N. GLEBE RD., ARLINGTON, VA. 22201
 MARYLAND LICENSE NO. 31011
 EXPIRATION DATE: 10-17-2010

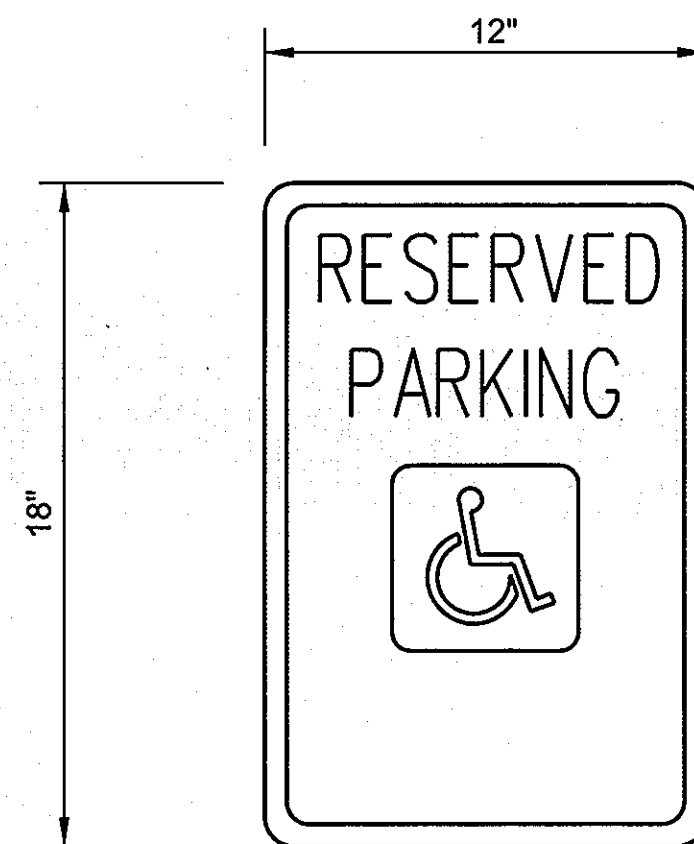


1 CONCRETE SIDEWALK AT GUARD HOUSE
 SCALE: NONE



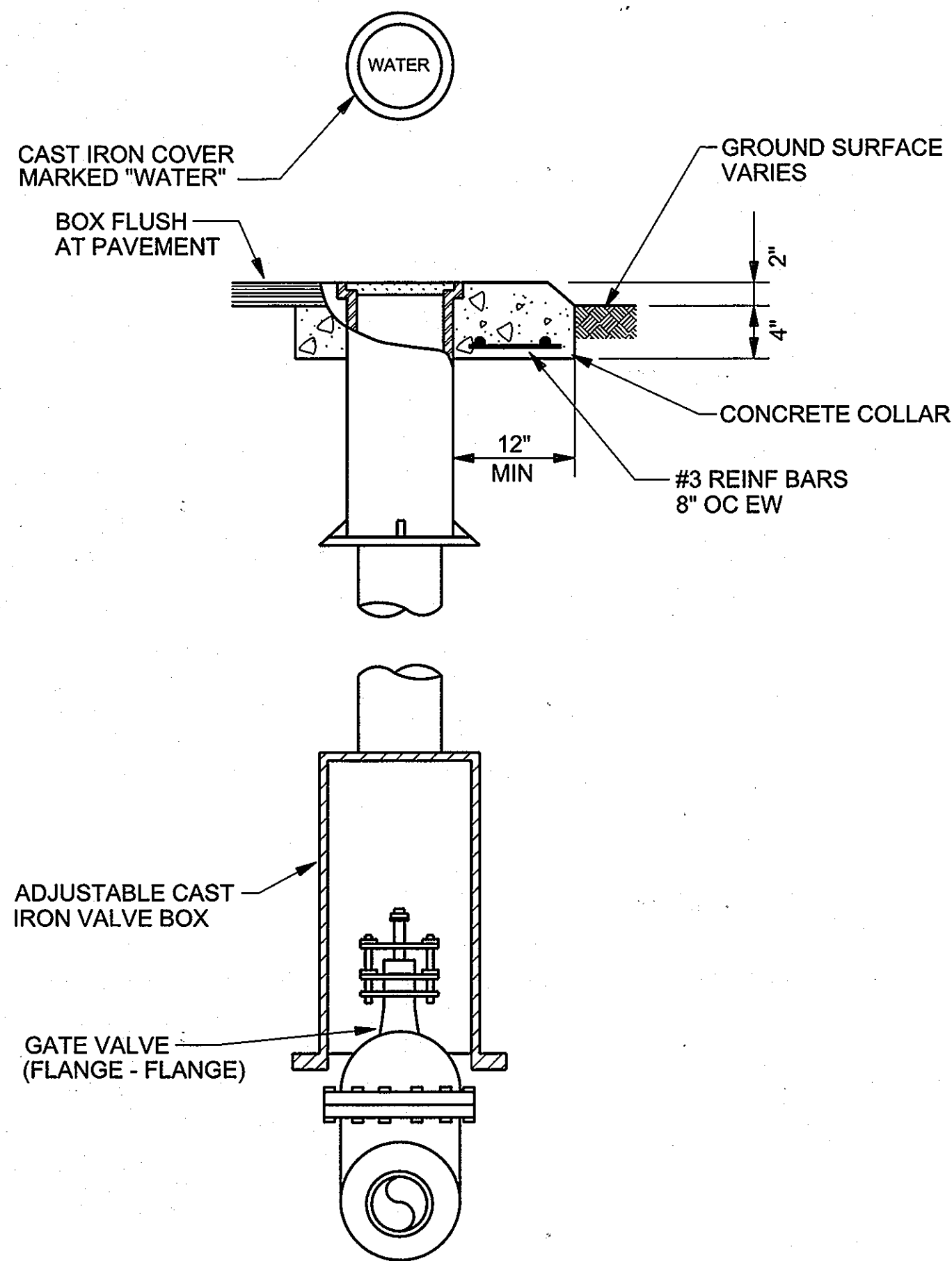
NOTE:
 1. SYMBOL PROPORTIONS TO BE IN ACCORDANCE WITH ANSI 4.30

4 HANDICAP PARKING SYMBOL
 SCALE: NONE

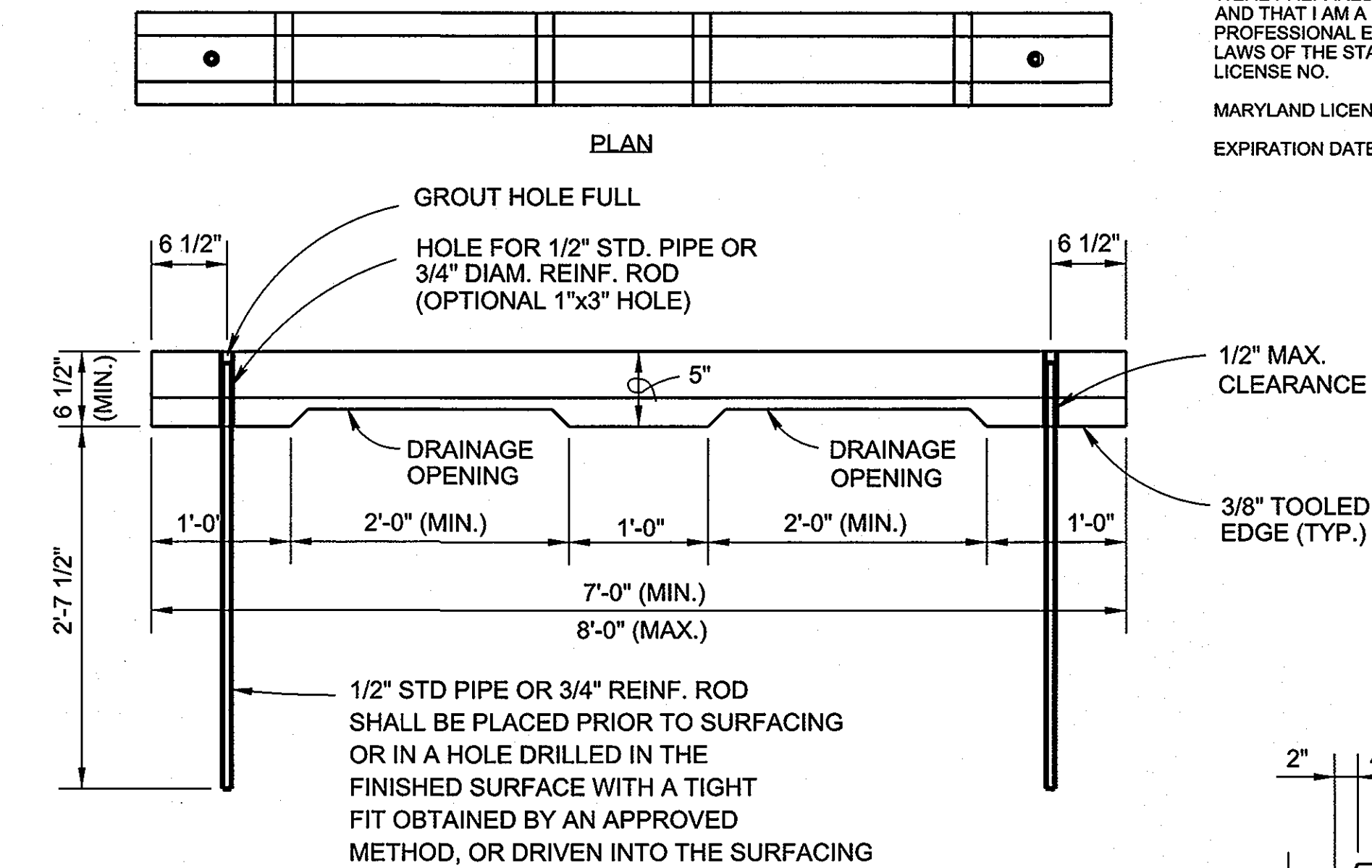


NOTES:
 1. MUTCD STANDARD SIGN DESIGNATION: R7-8
 2. MOUNTING HEIGHT - 80" FROM BOTTOM OF SIGN TO PAVEMENT.
 3. ALL SIGNS SHALL BE MOUNTED TO U CHANNEL POSTS 2.0 WT/FT MIN., AND DRIVEN A MINIMUM OF 4' INTO THE GROUND.

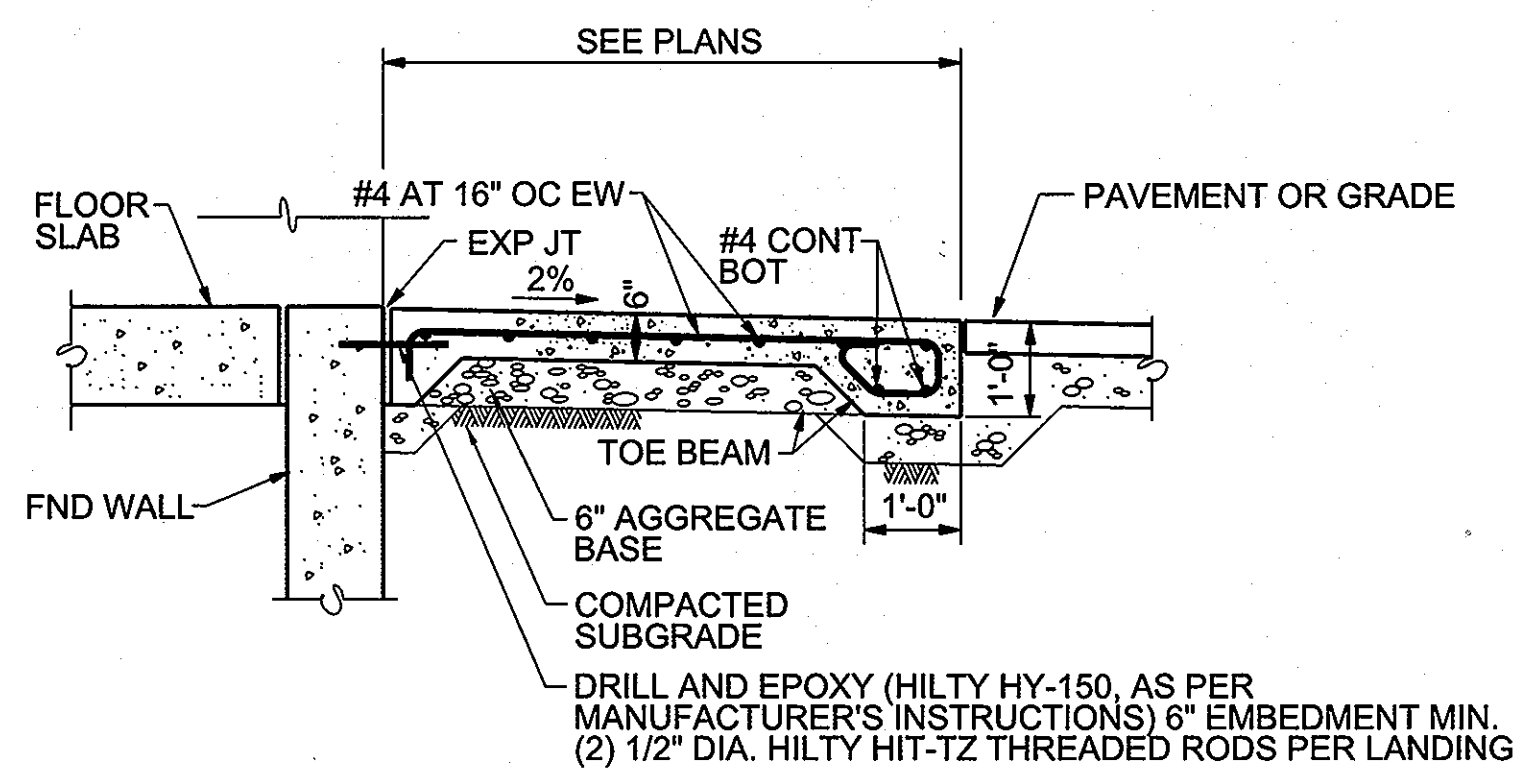
5 RESERVED PARKING SIGN
 SCALE: NONE



2 GATE VALVE BOX
 SCALE: NONE

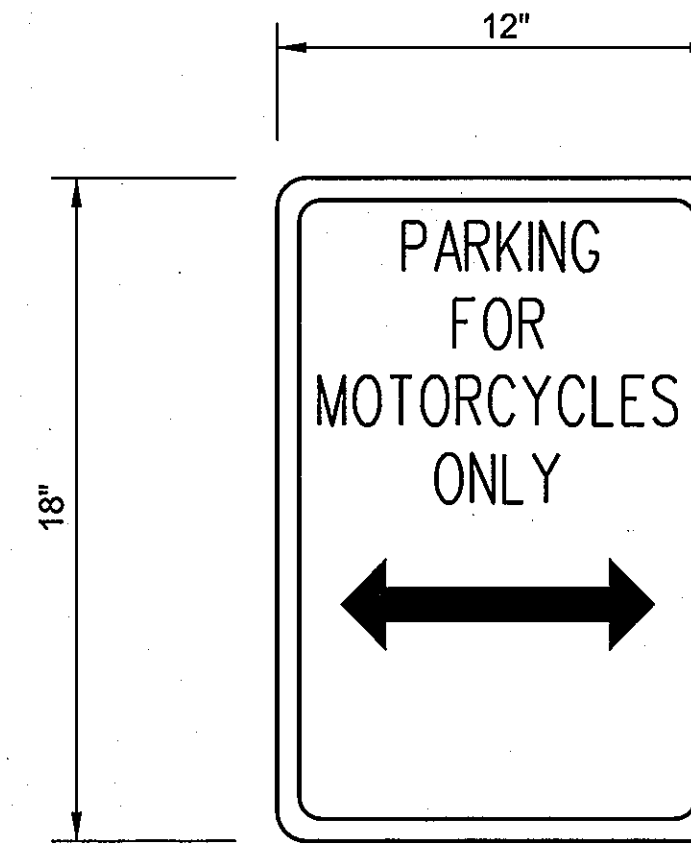


3 CONCRETE WHEEL STOP
 SCALE: NONE



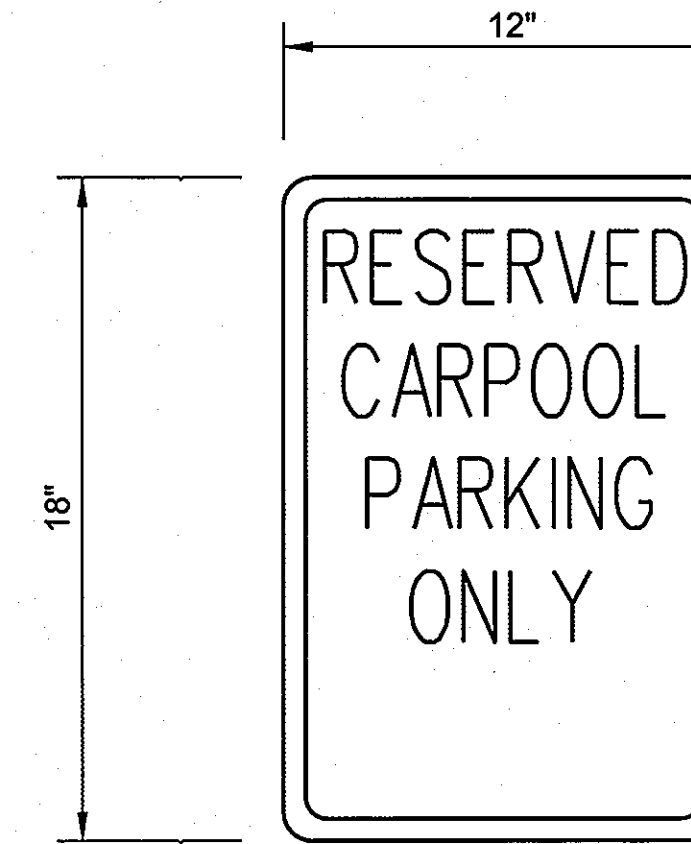
NOTE:
 1. CONCRETE LANDINGS TO BE PLACED AT PEDESTRIAN BUILDING ENTRANCES.

6 CONCRETE LANDING
 SCALE: NONE



NOTES:
 1. MOUNTING HEIGHT - 80" FROM BOTTOM OF SIGN TO PAVEMENT.
 2. ALL SIGNS SHALL BE MOUNTED TO U CHANNEL POSTS 2.0 WT/FT MIN., AND DRIVEN A MINIMUM OF 4' INTO THE GROUND.

7 MOTORCYCLE PARKING SIGN
 SCALE: NONE



NOTES:
 1. MOUNTING HEIGHT - 80" FROM BOTTOM OF SIGN TO PAVEMENT.
 2. ALL SIGNS SHALL BE MOUNTED TO U CHANNEL POSTS 2.0 WT/FT MIN., AND DRIVEN A MINIMUM OF 4' INTO THE GROUND.

8 CARPOOL PARKING SIGN
 SCALE: NONE

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| Rev. | Date | Description |
|------|----------|-------------------------------|
| 1 | 06-30-09 | REVISED SITE DEVELOPMENT PLAN |
| 2 | 06-30-09 | NEW DETAILS |

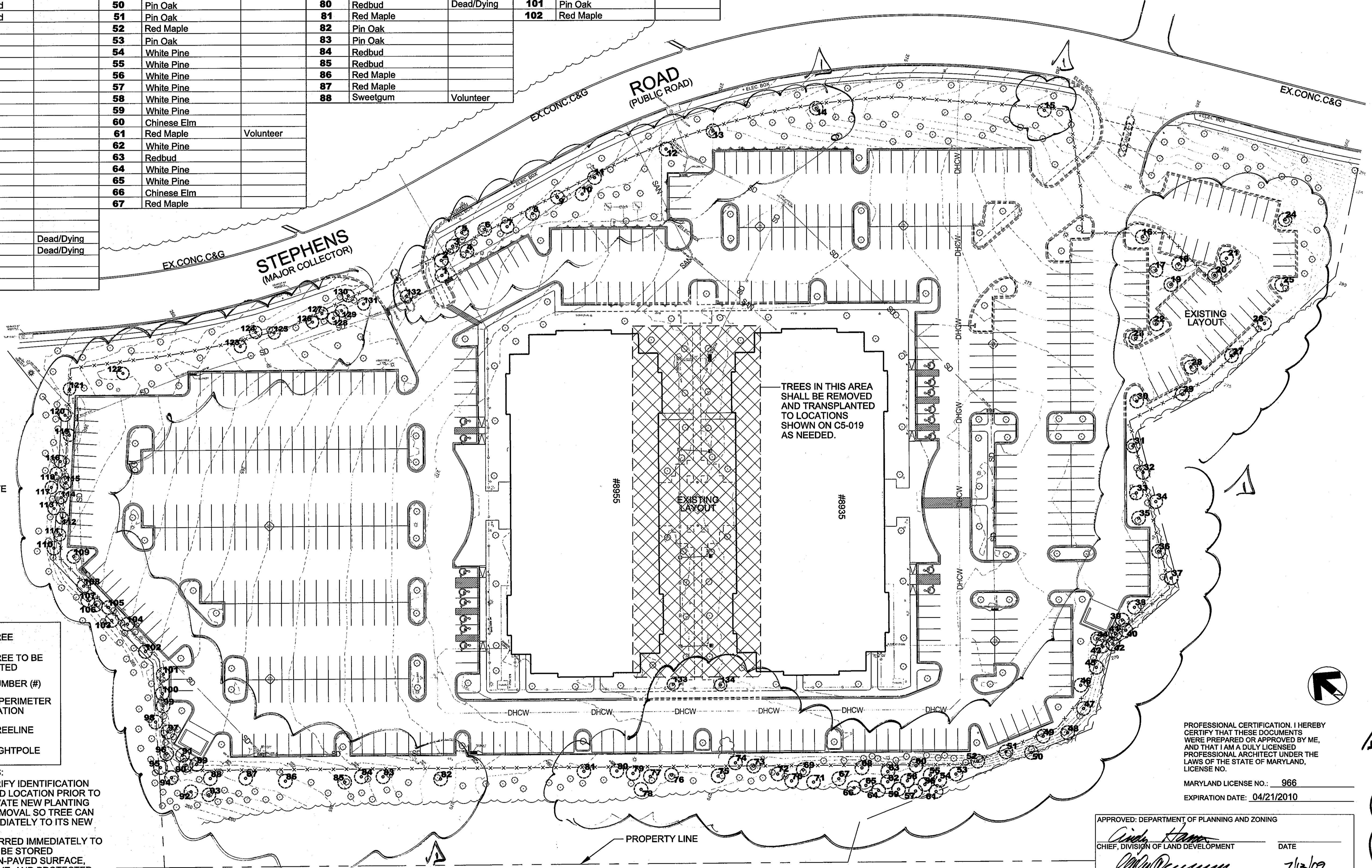
| | | | |
|--------------|------------|---------------|-------------------------|
| Designed by: | G. SPILLER | Checked by: | S. GREGORY |
| Drawn by: | G. SPILLER | Submitted by: | NAME FRANKLIN P. MASTEL |
| Project No.: | 19646 | File name: | 01946 |
| Date: | 06-30-09 | Plot date: | 06-30-09 |
| | | Plot scale: | AS SHOWN |

EMERSON, SECURE PERIMETER AND CONNECTOR BUILDING
 SITE DETAILS
 LAUREL, MD

Drawing No. C5-017
 Sheet Reference No. 34
 Sheet 34 of 48
 SDP-07-037

TRANSPLANTING LIST

| PLANT # | SPECIES NAME | NOTES | PLANT # | SPECIES NAME | NOTES | PLANT # | SPECIES NAME | NOTES | PLANT # | SPECIES NAME | NOTES | PLANT # | SPECIES NAME | NOTES | PLANT # | SPECIES NAME | NOTES |
|---------|-------------------------|-------------|---------|-----------------|------------|---------|-------------------------|------------|---------|-----------------|------------|---------|-------------------------|----------|---------|-------------------------|----------|
| 1 | Red Maple | | 38 | Red Maple | | 68 | Pin Oak | | 89 | Leyland Cypress | | 103 | Nellie R. Stevens Holly | | 114 | Nellie R. Stevens Holly | |
| 2 | Crape Myrtle | | 39 | Leyland Cypress | | 69 | Pin Oak | | 90 | Leyland Cypress | | 104 | Okame Cherry | | 115 | Arborvitae | Off-Site |
| 3 | Crape Myrtle | | 40 | Leyland Cypress | | 70 | Red Maple | | 91 | Leyland Cypress | | 105 | Nellie R. Stevens Holly | | 116 | Pin Oak | |
| 4 | Nellie R. Stevens Holly | | 41 | Leyland Cypress | | 71 | Pin Oak | | 92 | Pin Oak | | 106 | Nellie R. Stevens Holly | | 117 | Fir | Off-Site |
| 5 | Bradford Pear | Street Tree | 42 | Leyland Cypress | | 72 | Nellie R. Stevens Holly | | 93 | Pin Oak | | 107 | White Pine | | 118 | Fir | Off-Site |
| 6 | Red Maple | | 43 | Leyland Cypress | Dead/Dying | 73 | Red Maple | | 94 | Red Maple | | 108 | Pin Oak | | 119 | Pin Oak | |
| 7 | Red Maple | | 44 | Leyland Cypress | Dead/Dying | 74 | Chinese Elm | | 95 | Red Maple | | 109 | Pin Oak | | 120 | Pin Oak | |
| 8 | Okame Cherry | | 45 | Red Maple | | 75 | Pin Oak | | 96 | White Pine | Dead/Dying | 110 | Honeylocust | Off-Site | 121 | Red Maple | |
| 9 | Kousa Dogwood | | 46 | Pin Oak | | 76 | Red Maple | | 97 | Leyland Cypress | | 111 | Red Maple | | 122 | Kousa Dogwood | |
| 10 | Nellie R. Stevens Holly | | 47 | Red Maple | | 77 | Sweetgum | Volunteer | 98 | White Pine | | 112 | Nellie R. Stevens Holly | | 123 | Kousa Dogwood | |
| 11 | Okame Cherry | | 48 | Red Maple | | 78 | Chinese Elm | | 99 | Pin Oak | | 113 | Nellie R. Stevens Holly | | 124 | Kousa Dogwood | |
| 12 | Kousa Dogwood | | 49 | Redbud | | 79 | Sweetgum | Volunteer | 100 | Okame Cherry | | | | | | | |
| 13 | Kousa Dogwood | | 50 | Pin Oak | | 80 | Redbud | Dead/Dying | 101 | Pin Oak | | | | | | | |
| 14 | Kousa Dogwood | | 51 | Pin Oak | | 81 | Red Maple | | 102 | Red Maple | | | | | | | |
| 15 | Crape Myrtle | | 52 | Red Maple | | 82 | Pin Oak | | | | | | | | | | |
| 16 | Chinese Elm | | 53 | Pin Oak | | 83 | Pin Oak | | | | | | | | | | |
| 17 | Pin Oak | | 54 | White Pine | | 84 | Redbud | | | | | | | | | | |
| 18 | Pin Oak | | 55 | White Pine | | 85 | Redbud | | | | | | | | | | |
| 19 | Okame Cherry | | 56 | White Pine | | 86 | Red Maple | | | | | | | | | | |
| 20 | Chinese Elm | | 57 | White Pine | | 87 | Red Maple | | | | | | | | | | |
| 21 | Chinese Elm | | 58 | White Pine | | 88 | Sweetgum | Volunteer | | | | | | | | | |
| 22 | Chinese Elm | | 59 | White Pine | | | | | | | | | | | | | |
| 23 | Chinese Elm | | 60 | Chinese Elm | | | | | | | | | | | | | |
| 24 | Red Maple | | 61 | Red Maple | Volunteer | | | | | | | | | | | | |
| 25 | Chinese Elm | | 62 | White Pine | | | | | | | | | | | | | |
| 26 | Red Maple | | 63 | Redbud | | | | | | | | | | | | | |
| 27 | Red Maple | | 64 | White Pine | | | | | | | | | | | | | |
| 28 | Chinese Elm | | 65 | White Pine | | | | | | | | | | | | | |
| 29 | Pin Oak | | 66 | Chinese Elm | | | | | | | | | | | | | |
| 30 | Chinese Elm | | 67 | Red Maple | | | | | | | | | | | | | |
| 31 | Pin Oak | | | | | | | | | | | | | | | | |
| 32 | Redbud | | | | | | | | | | | | | | | | |
| 33 | Redbud | Dead/Dying | | | | | | | | | | | | | | | |
| 34 | Redbud | Dead/Dying | | | | | | | | | | | | | | | |
| 35 | Red Maple | | | | | | | | | | | | | | | | |
| 36 | Pin Oak | | | | | | | | | | | | | | | | |
| 37 | Red Maple | | | | | | | | | | | | | | | | |



LEGEND

- EXISTING TREE
- EXISTING TREE TO BE TRANSPLANTED
- 104 TREE I.D. NUMBER (#)
- x-x- PROPOSED PERIMETER FENCE LOCATION
- ~ EXISTING TREELINE
- * EXISTING LIGHTPOLE

TRANSPLANTING NOTES:

- CONTRACTOR TO VERIFY IDENTIFICATION NUMBER AND PROPOSED LOCATION PRIOR TO TREE REMOVAL. EXCAVATE NEW PLANTING LOCATION PRIOR TO REMOVAL SO TREE CAN BE TRANSFERRED IMMEDIATELY TO ITS NEW LOCATION.
- TREES NOT TRANSFERRED IMMEDIATELY TO NEW LOCATIONS SHALL BE STORED TEMPORARILY ON A NON-PAVED SURFACE, OUT OF DIRECT SUNLIGHT, AND PROTECTED FROM WIND. COVER ROOTBALLS THOROUGHLY WITH SHREDDED PINE BARK MULCH AND WATER. DO NOT ALLOW TREES TO DRY. DO NOT STORE MORE THAN 5 DAYS.

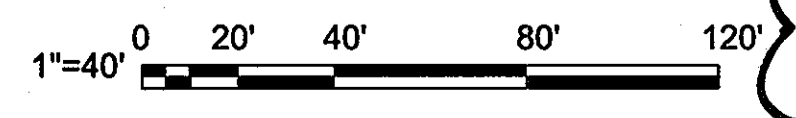
GENERAL NOTES:

- ALL DENUTED AREAS OUTSIDE PAVEMENT SHALL BE SEEDED PER LAWN SPECIFICATIONS.
- FOR TREE PROTECTION AND EROSION SEDIMENT CONTROL INFORMATION SEE SHEET C5-009 AND C5-010.

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. _____

MARYLAND LICENSE NO.: 966
EXPIRATION DATE: 04/21/2010

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Division of Land Development: *[Signature]* DATE: 7/12/09
 Chief, Development Engineering Division: *[Signature]* DATE: 7/21/09
 Director: *[Signature]* DATE: 7/21/09



US Army Corps of Engineers
Baltimore District

REAL ESTATE SERVICES
REAL PROPERTY SERVICES
ANNAPOLIS JUNCTION, MARYLAND

JACOBS
1100 N. GEEBIE RD., ARLINGTON, VA 22201

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REVISED SITE DEVELOPMENT PLAN
Tree Transplant

Date: 06-30-09
Project No: 19646
Designed by: D. DEBLE
Drawn by: J. DOUGLAS
RS&D Project Manager: GEORGE RELLY
Submitted by: NAME: FRANKLIN P. MASTEL, PRINCIPAL

EMERSON - SECURE PERIMETER AND CONNECTOR BUILDING
TREE TRANSPLANTING PLAN
EXISTING TREE LOCATIONS

Drawing No. C5-018
Sheet Reference No. 35
Sheet 35 of 48

UNCLASSIFIED//FOR OFFICIAL USE ONLY

TRANSPLANTING LIST

| PLANT # | SPECIES NAME | NOTES | PLANT # | SPECIES NAME | NOTES | PLANT # | SPECIES NAME | NOTES | PLANT # | SPECIES NAME | NOTES | PLANT # | SPECIES NAME | NOTES | PLANT # | SPECIES NAME | NOTES |
|---------|-------------------------|-------------|---------|-----------------|------------|---------|-------------------------|------------|---------|-----------------|------------|---------|-------------------------|----------|---------|-------------------------|----------|
| 1 | Red Maple | | 38 | Red Maple | | 68 | Pin Oak | | 89 | Leyland Cypress | | 103 | Nellie R. Stevens Holly | | 114 | Nellie R. Stevens Holly | |
| 2 | Crape Myrtle | | 39 | Leyland Cypress | | 69 | Pin Oak | | 90 | Leyland Cypress | | 104 | Okame Cherry | | 115 | Arborvitae | Off-Site |
| 3 | Crape Myrtle | | 40 | Leyland Cypress | | 70 | Red Maple | | 91 | Leyland Cypress | | 105 | Nellie R. Stevens Holly | | 116 | Pin Oak | |
| 4 | Nellie R. Stevens Holly | | 41 | Leyland Cypress | | 71 | Pin Oak | | 92 | Pin Oak | | 106 | Nellie R. Stevens Holly | | 117 | Fir | Off-Site |
| 5 | Bradford Pear | Street Tree | 42 | Leyland Cypress | | 72 | Nellie R. Stevens Holly | | 93 | Pin Oak | | 107 | White Pine | | 118 | Fir | Off-Site |
| 6 | Red Maple | | 43 | Leyland Cypress | Dead/Dying | 73 | Red Maple | | 94 | Red Maple | | 108 | Pin Oak | | 119 | Pin Oak | |
| 7 | Red Maple | | 44 | Leyland Cypress | Dead/Dying | 74 | Chinese Elm | | 95 | Red Maple | | 109 | Pin Oak | | 120 | Pin Oak | |
| 8 | Okame Cherry | | 45 | Red Maple | | 75 | Pin Oak | | 96 | White Pine | Dead/Dying | 110 | Honeylocust | Off-Site | 121 | Red Maple | |
| 9 | Kousa Dogwood | | 46 | Pin Oak | | 76 | Red Maple | | 97 | Leyland Cypress | | 111 | Red Maple | | 122 | Kousa Dogwood | |
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| 12 | Kousa Dogwood | | 49 | Redbud | | 79 | Sweetgum | Volunteer | 100 | Okame Cherry | | | | | | | |
| 13 | Kousa Dogwood | | 50 | Pin Oak | | 80 | Redbud | Dead/Dying | 101 | Pin Oak | | | | | | | |
| 14 | Kousa Dogwood | | 51 | Pin Oak | | 81 | Red Maple | | 102 | Red Maple | | | | | | | |
| 15 | Crape Myrtle | | 52 | Red Maple | | 82 | Pin Oak | | | | | | | | | | |
| 16 | Chinese Elm | | 53 | Pin Oak | | 83 | Pin Oak | | | | | | | | | | |
| 17 | Pin Oak | | 54 | White Pine | | 84 | Redbud | | | | | | | | | | |
| 18 | Pin Oak | | 55 | White Pine | | 85 | Redbud | | | | | | | | | | |
| 19 | Okame Cherry | | 56 | White Pine | | 86 | Red Maple | | | | | | | | | | |
| 20 | Chinese Elm | | 57 | White Pine | | 87 | Red Maple | | | | | | | | | | |
| 21 | Chinese Elm | | 58 | White Pine | | 88 | | Volunteer | | | | | | | | | |
| 22 | Chinese Elm | | 59 | White Pine | | | | | | | | | | | | | |
| 23 | Chinese Elm | | 60 | Chinese Elm | | | | | | | | | | | | | |
| 24 | Red Maple | | 61 | Red Maple | Volunteer | | | | | | | | | | | | |
| 25 | Chinese Elm | | 62 | White Pine | | | | | | | | | | | | | |
| 26 | Red Maple | | 63 | Redbud | | | | | | | | | | | | | |
| 27 | Red Maple | | 64 | White Pine | | | | | | | | | | | | | |
| 28 | Chinese Elm | | 65 | White Pine | | | | | | | | | | | | | |
| 29 | Pin Oak | | 66 | Chinese Elm | | | | | | | | | | | | | |
| 30 | Chinese Elm | | 67 | Red Maple | | | | | | | | | | | | | |
| 31 | Pin Oak | | | | | | | | | | | | | | | | |
| 32 | Redbud | | | | | | | | | | | | | | | | |
| 33 | Redbud | Dead/Dying | | | | | | | | | | | | | | | |
| 34 | Redbud | Dead/Dying | | | | | | | | | | | | | | | |
| 35 | Red Maple | | | | | | | | | | | | | | | | |
| 36 | Pin Oak | | | | | | | | | | | | | | | | |
| 37 | Red Maple | | | | | | | | | | | | | | | | |

LEGEND

- EXISTING TREE
- EXISTING TREE TO BE TRANSPLANTED
- NEW LOCATION OF TRANSPLANTED TREE
- 104 TREE NUMBER (TREE #)
- - - PROPOSED PERIMETER FENCE LOCATION
- ~ EXISTING TREELINE
- * EXISTING LIGHTPOLE
- ▨ TRANSPLANT LOCATIONS

TRANSPLANTING NOTES:
 1. CONTRACTOR TO VERIFY LOCATION OF PROPOSED FENCE PRIOR TO TRANSPLANTING. NO TREE SHALL BE LOCATED WITHIN 12' OF PROPOSED FENCE LINE.
 2. PROPOSED TREE LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR TO ADJUST LOCATION TO AVOID CONFLICT WITH EXISTING UTILITY, EXISTING TREE ROOT SYSTEM, OR OTHER UNFORSEEN FIELD CONDITION. RELOCATE TREE TO NEAREST POINT OF RELIEF THAT WILL NOT CAUSE DAMAGE TO EXISTING SITE ITEM, NO CLOSER THAN 12' FROM THE PROPOSED FENCE.

GENERAL NOTES:
 1. ALL DENUTED AREAS OUTSIDE PAVEMENT SHALL BE SEEDED PER LAWN SPECIFICATIONS.
 2. FOR TREE PROTECTION AND EROSION SEDIMENT CONTROL INFORMATION SEE SHEET C5-009 AND C5-010.

ENTRANCE ISLAND PLANT LIST

| QUANTITY | SCIENTIFIC NAME | COMMON NAME | SPACING |
|----------|-----------------|-------------|----------|
| 24 | Liriope muscari | LIRIOPE | 12" O.C. |

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 MARYLAND LICENSE NO.: 966
 EXPIRATION DATE: 04/21/2010

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Division of Land Development: *Craig Hanna* 7/2/09 DATE
 Chief, Development Engineering Division: *David Parsons* 7/13/09 DATE
 Director: *Meredith A. Leavelle* 7/2/09 DATE

1"=40' 0 20' 40' 80' 120'

US Army Corps of Engineers
 REAL ESTATE DIVISION
 REAL PROPERTY SERVICES
 FIELD OFFICE
 ANNAPOLIS JUNCTION, MARYLAND

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REVISIONS

| Rev. | Date | Description |
|------|----------|-----------------|
| 1 | 06-30-09 | Tree Transplant |

Designed by: D. DEBBLE
 Dwn by: J. DOUGLAS
 RSFO Project Manager: GEORGE REILLY
 Submitted by: FRANKLIN P. MASTEL
 NAME: FRANKLIN P. MASTEL
 TITLE: PRINCIPAL
 LAUREL, MD

EMERSON, SECURE PERIMETER AND CONNECTOR BUILDING
 TREE TRANSPLANTING PLAN
 PROPOSED TREE LOCATIONS

Drawing No. C5-019
 Sheet Reference No. 36
 Sheet 36 of 48
 S&P 07-037

GENERAL NOTES

1. REFER TO PLATE A5-001 FOR SYMBOLS, ABBREVIATIONS, AND GENERAL NOTES.
2. VERIFY IN FIELD ALL EXISTING DIMENSIONS.
3. REFER TO PLATE A5-014 FOR INFORMATION ON NOTED CURTAIN WALL TYPES, DOOR TYPES, AND GLAZING TYPES.

KEYED NOTES

- 1 RE-USED METAL COLUMN COVERS
- 2 FLUSH H.M. DOORS
- 3 BRICK VENEER AND COURSING TO MATCH EXISTING
- 4 2" EXPANSION JOINT, SEE DETAIL 4 / A5-012
- 5 EXISTING OVERFLOW DRAIN ROOF OUTLET EXTENDED AND RELOCATED
- 6 OVERFLOW DRAIN OUTLET NEW
- 7 NOT USED
- 8 NOT USED
- 9 PRE-FINISHED ALUMINUM COPING
- 10 8X8 BRICK PIER
- 11 ONE 1/2" RECESSED COURSE, TWO SOLDIER COURSES, AND ONE 1/2" RECESSED HEADER COURSE TO MATCH EXISTING
- 12 1/2" RECESSED HEADER COURSE
- 13 SEE WINDOW ELEVATIONS FOR CURTAIN WALL
- 14 SEE BRICK RETURN ELEVATIONS THIS SHEET (BELOW)
- 15 SEE WALL DETAIL 2 / A5-013
- 16 1/2" CONTROL JOINT WITH SEALANT
- 17 GRADE - VARIES, SEE CIVIL DRAWING C5-007
- 18 CONCRETE SPLASH BLOCK, SEE A5-003
- 19 EXISTING BUILDING

US Army Corps of Engineers
Baltimore District

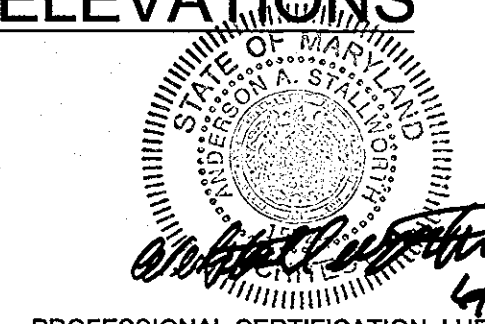
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| REVISED SITE DEVELOPMENT PLAN | DATE | DESCRIPTION |
|-------------------------------|----------|-------------|
| 1 | 05-20-09 | AS SHOWN |

| | |
|-------------------------------------|-----------------------|
| Designed by: J. JOSEPH | Rev. 1 |
| Drawn by: S. MENDEZ | Project No. 19646 |
| Checked by: J. JOSEPH | File name: 091966 |
| RSPO Project Manager: GEORGE REILLY | Proj. scale: AS SHOWN |
| Submitted by: FRANKLIN P. MASTEL | |
| FRANCIS P. LAUREL | |



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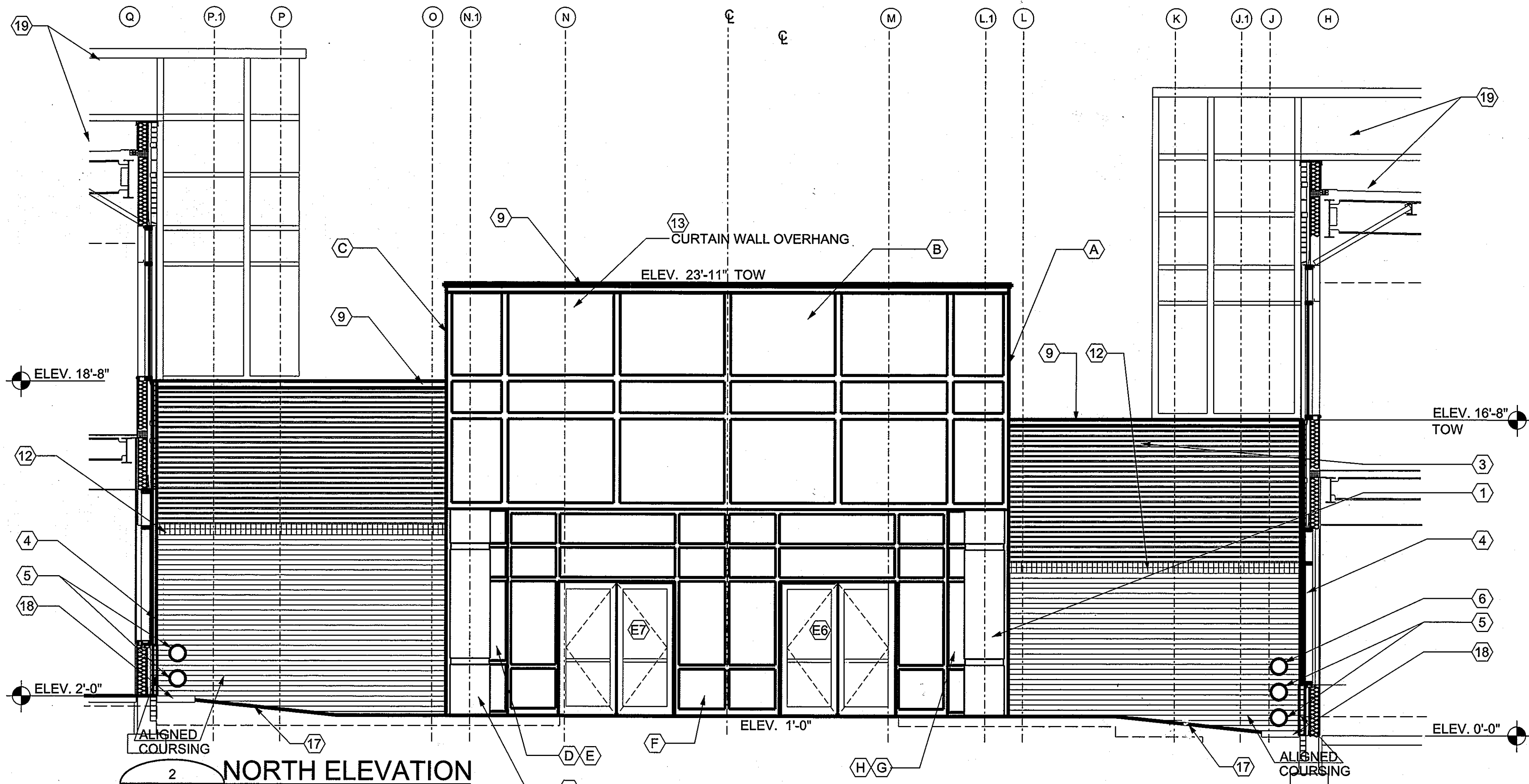
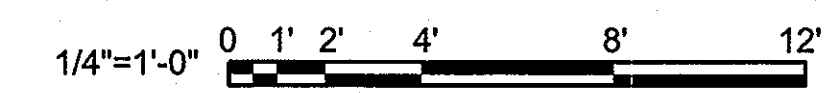
MARYLAND LICENSE NO.: 15722
EXPIRATION DATE: 02/16/2011

APPROVED: DEPARTMENT OF PLANNING AND ZONING

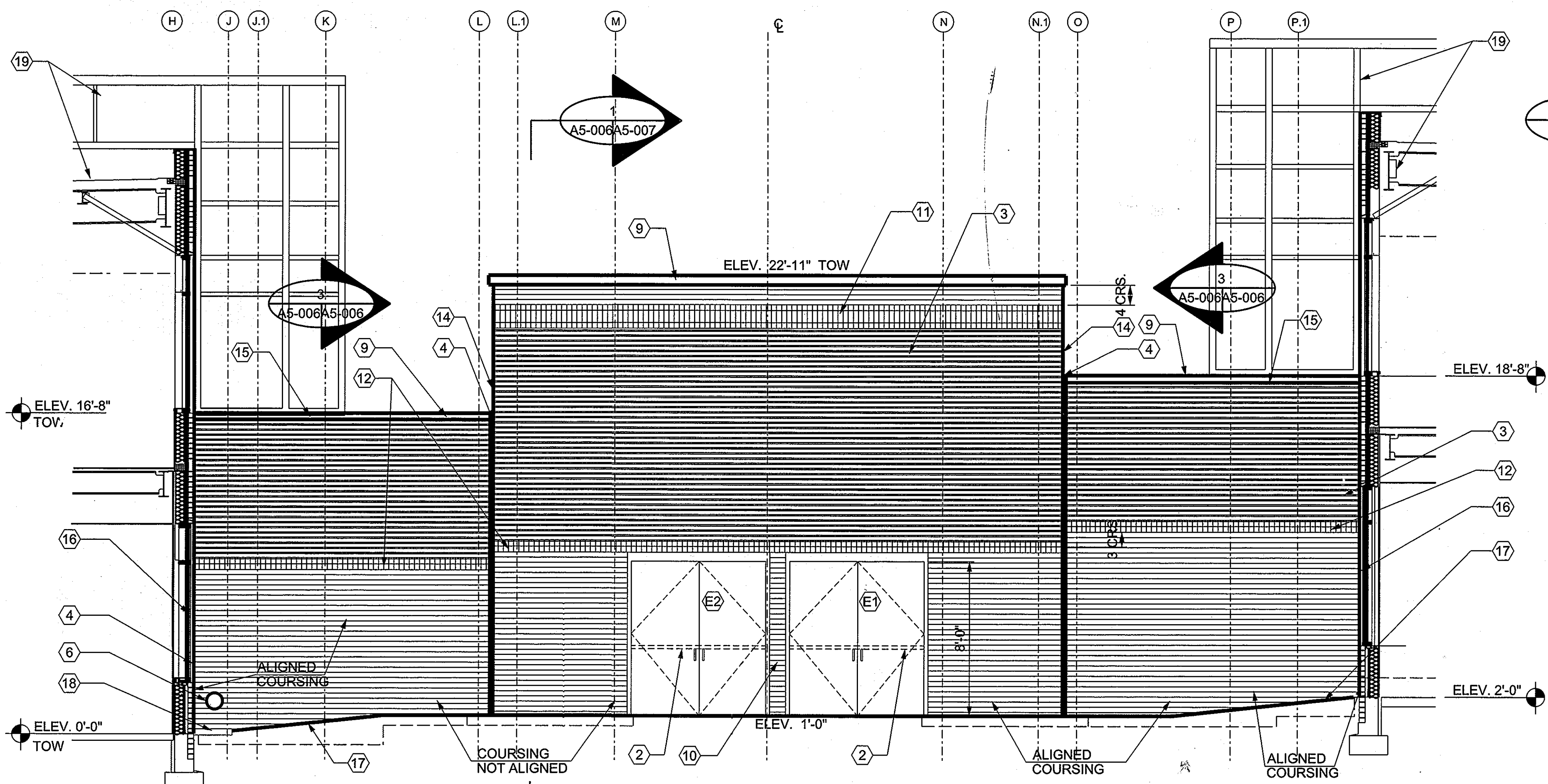
[Signature]
CHIEF, DIVISION OF LAND DEVELOPMENT DATE 7/21/09

[Signature]
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE 7/13/09

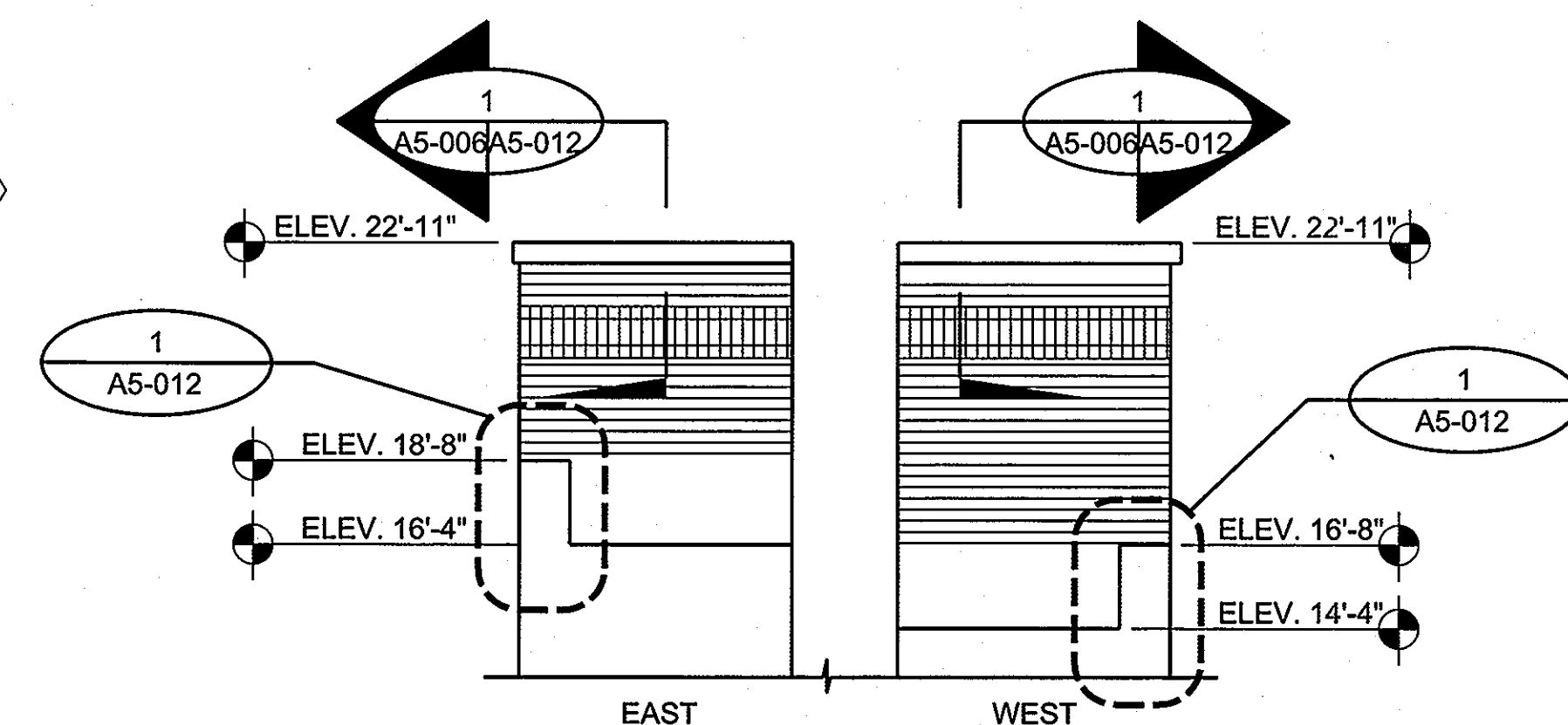
[Signature]
DIRECTOR DATE 7/21/09



2 NORTH ELEVATION
A5-003/A5-006 SCALE: 1/4"=1'-0"



1 SOUTH ELEVATION
A5-003/A5-006 SCALE: 1/4"=1'-0"



3 PARTIAL SECTION / ELEVATIONS
A5-006/A5-006 SCALE: 1/4"=1'-0"

EMERSON - SECURE PERIMETER AND CONNECTOR BUILDING ELEVATIONS

LAUREL, MD

Drawing No. A5-006
Sheet Reference No. 37
Sheet 37 of 48

WIRING DEVICE SYMBOLS

- TOGGLE SWITCH FLUSH MOUNTED 48" AFF TO CENTER OF SWITCH UON. LOWER CASE SUBSCRIPT DENOTES SWITCH DESIGNATION, OTHER SUBSCRIPTS DENOTE:
3 = THREE WAY
4 = FOUR WAY
K = KEYED SWITCH
D = DIMMER (NO SUBSCRIPT- 600W, SUBSCRIPT 1 - 1200W)
MC = MOMENTARY CONTACT SWITCH
OS = OCCUPANCY SENSOR/WALL SWITCH
T = ADJUSTABLE TIMER SWITCH
L1 = LOW VOLTAGE SWITCH, NUMERAL DENOTES ZONE OF CONTROL
a = SWITCH DESIGNATION
- JUNCTION BOX WITH BLANK COVERPLATE. MOUNT 18" AFF TO CENTER OF BOX UON
- PULL BOX. SIZE AS INDICATED ON FLOOR PLANS.
- WALL MOUNTED DUPLEX RECEPTACLE - 125V, 20A, 1PH, 3-WIRE NEMA 5-20R FLUSH MOUNTED 18" AFF TO CENTER OF RECEPTACLE UON. THE FOLLOWING SUBSCRIPTS APPLY TO ALL RECEPTACLE DEVICES:
GFI = GROUND FAULT INTERRUPTER
WP = WEATHERPROOF ENCLOSURE
S = SWITCHED OUTLET - TOP OUTLET TO BE SWITCHED, BOTTOM OUTLET UNSWITCHED
C = COMPUTER RECEPTACLE - ISOLATED GROUND TYPE
E = SURFACE MOUNTED
1 = CIRCUIT NUMBER
- DOUBLE DUPLEX RECEPTACLE
- DOUBLE DUPLEX RECEPTACLE CEILING MOUNTED
- DUPLEX RECEPTACLE CEILING MOUNTED
- DATA OUTLET WALL MOUNTED
- DOUBLE DUPLEX RECEPTACLE FLOOR BOX FLUSH MOUNTED
- TELE/DATA SECURE OUTLET FLOOR BOX FLUSH MOUNTED
- TELE/DATA NON-SECURE OUTLET FLOOR BOX FLUSH MOUNTED
- COMMUNICATIONS/DATA OUTLET FLOOR BOX FLUSH MOUNTED
- INCANDESCENT OR FLUORESCENT DOWNLIGHT FIXTURE
- 2 X 4 FLUORESCENT FIXTURE. RECESSED, SURFACE OR PENDANT MOUNTED FOLLOWING SUBSCRIPTS APPLY TO ALL FIXTURE DEVICES:
A = FIXTURE TYPE
a = SWITCHING DESIGNATION
1 = CIRCUIT NUMBER
- 2 X 2 FLUORESCENT FIXTURE
- 1 X 4 FLUORESCENT INDUSTRIAL STRIP FIXTURE
- 1 X 4 FLUORESCENT FIXTURE
- 4" X 4 FLUORESCENT FIXTURE
- INCANDESCENT OR FLUORESCENT DOWNLIGHT FIXTURE
- INCANDESCENT OR FLUORESCENT WALLWASHER FIXTURE
- 1 X 2 FLUORESCENT FIXTURE
- 1 X 4 FLUORESCENT FIXTURE
- FIXTURE ON EMERGENCY CIRCUIT
- WALL MOUNTED INCANDESCENT OR FLUORESCENT LIGHT FIXTURE
- BEACON LIGHT
- CEILING MOUNTED EXIT SIGN WITH FACE(S) AND DIRECTIONAL ARROW(S) AS INDICATED
- WALL MOUNTED EXIT SIGN WITH FACE(S) AND DIRECTIONAL ARROW(S) AS INDICATED
- PUBLIC ADDRESS SPEAKER CEILING MOUNTED
- PHONE OUTLET WALL MOUNTED
- DOOR BELL WALL MOUNTED
- PUSH BUTTON WALL MOUNTED
- OCCUPANCY SENSOR CEILING MOUNTED
- SWITCHED OCCUPANCY SENSOR WALL MOUNTED

ELECTRICAL SYMBOLS

GENERAL FOR ALL SYMBOLS:
LIGHT LINE WEIGHT INDICATES EXISTING TO REMAIN OR NOT IN CONTRACT
HEAVY LINE WEIGHT INDICATES WORK TO BE PERFORMED
HEAVY DASHED LINE WEIGHT INDICATES DEMOLITION WORK TO BE PERFORMED
HEAVY DASHED AND DOTTED WEIGHT INDICATES UNDERGROUND CONDUIT WORK

WIRING SYMBOLS

- 208V CONDUIT CONCEALED IN WALLS OR ABOVE CEILINGS
- 480V CONDUIT CONCEALED IN WALLS OR ABOVE CEILINGS
- CONDUIT OR CABLE TURNING UP
- CONDUIT OR CABLE TURNING DOWN
- CONDUIT OR CABLE CHANGE IN ELEVATION
- CONDUIT CAPPED
- HOMERUN TO PANELBOARD - NUMBER OF ARROWHEADS INDICATE NUMBER OF CIRCUITS IN CONDUIT. PP6,2,4 INDICATES ORIGINATING PANEL (PP6) AND CIRCUIT NUMBERS (2,4). PROVIDE 2#12 + 1#12G FOR EACH CIRCUIT UON.
- GROUNDING BUS
- BUSWAY
- SWITCH LEG CONNECTED TO SWITCH "a"
- CIRCUIT BREAKER DRAWOUT TYPE
- POINT OF CONNECTION TO EXISTING
- EXTENT OF DEMOLITION

DISTRIBUTION EQUIPMENT SYMBOLS

- SURFACE MOUNTED MAIN LUGS ONLY PANEL
- SURFACE MOUNTED MAIN CIRCUIT BREAKER PANEL
- FLUSH MOUNTED PANEL
- TRANSFORMER, SIZE AS INDICATED

SWITCH AND CONTROL SYMBOLS

- DISCONNECT SWITCH/FUSED DISCONNECT SWITCH: 600V, 3-POLE, XXXA SWITCH FRAME, XXXA FUSE SIZE, IN NEMA 1 ENCLOSURE, MOUNTED 60" AFF UON
- ELECTRIC MOTOR CONNECTION

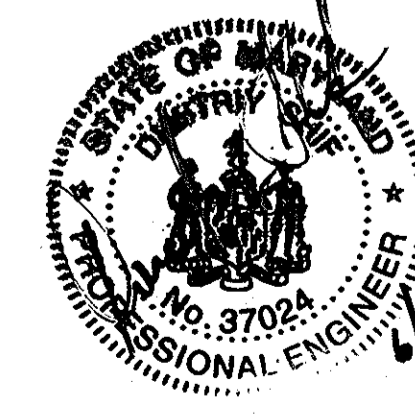
MISCELLANEOUS SYMBOLS

- UNDERGROUND JUNCTION BOX COVER FLUSH WITH GROUND SEE HAND HOLE SCHEDULE ON PLATE E5-009.
- CAMERAS: (SEE DETAIL 2 ON PLATE E5-011 FOR FOUNDATION) NO DESIGNATION = SINGLE POLE MOUNTED CAMERA. SEE DETAIL 1 ON PLATE E5-010. D = TWO CAMERAS MOUNTED ON SINGLE POLE. SEE DETAIL 1 ON PLATE E5-010. B = BOLLARD MOUNTED CAMERA. SEE DETAIL 3 ON E5-011 FOR CONDUIT STUB UPS. PROVIDE CONDUIT
- POWER TAG SEE SCHEDULE ON PLATE E5-009.
- HAND HOLE SEE SCHEDULE ON PLATE E5-009.
- COMMUNICATION/SECURITY TAG SEE SCHEDULE ON PLATE E5-009.
- SINGLE OUTDOOR LIGHTING FIXTURE. SEE DETAIL 2 ON E5-011 FOR FOUNDATION
- DOUBLE OUTDOOR LIGHTING FIXTURE. SEE DETAIL 2 ON E5-011 FOR FOUNDATION
- FENCE MOUNTED IDS. SEE DETAIL 1 ON E5-010 & DETAIL 1 ON E5-011 FOR ADDITIONAL INFORMATION

SINGLE LINE DIAGRAM SYMBOLS

- MOLDED CASE CIRCUIT BREAKER
- FUSED DISCONNECT SWITCH
- NON FUSED DISCONNECT SWITCH
- TRANSFORMER
- MAIN CIRCUIT BREAKER PANEL
- MAIN LUG ONLY PANEL

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Cindy Hamada 7/21/09
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE
George Heilly 7/13/09
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
Franklin P. Mastel 7/21/09
 DIRECTOR DATE



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 MARYLAND LICENSE NO.: 37024
 EXPIRATION DATE: 4/28/2011

US Army Corps of Engineers
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 REAL PROPERTY SERVICES
 ANNAPOLIS JUNCTION, MARYLAND
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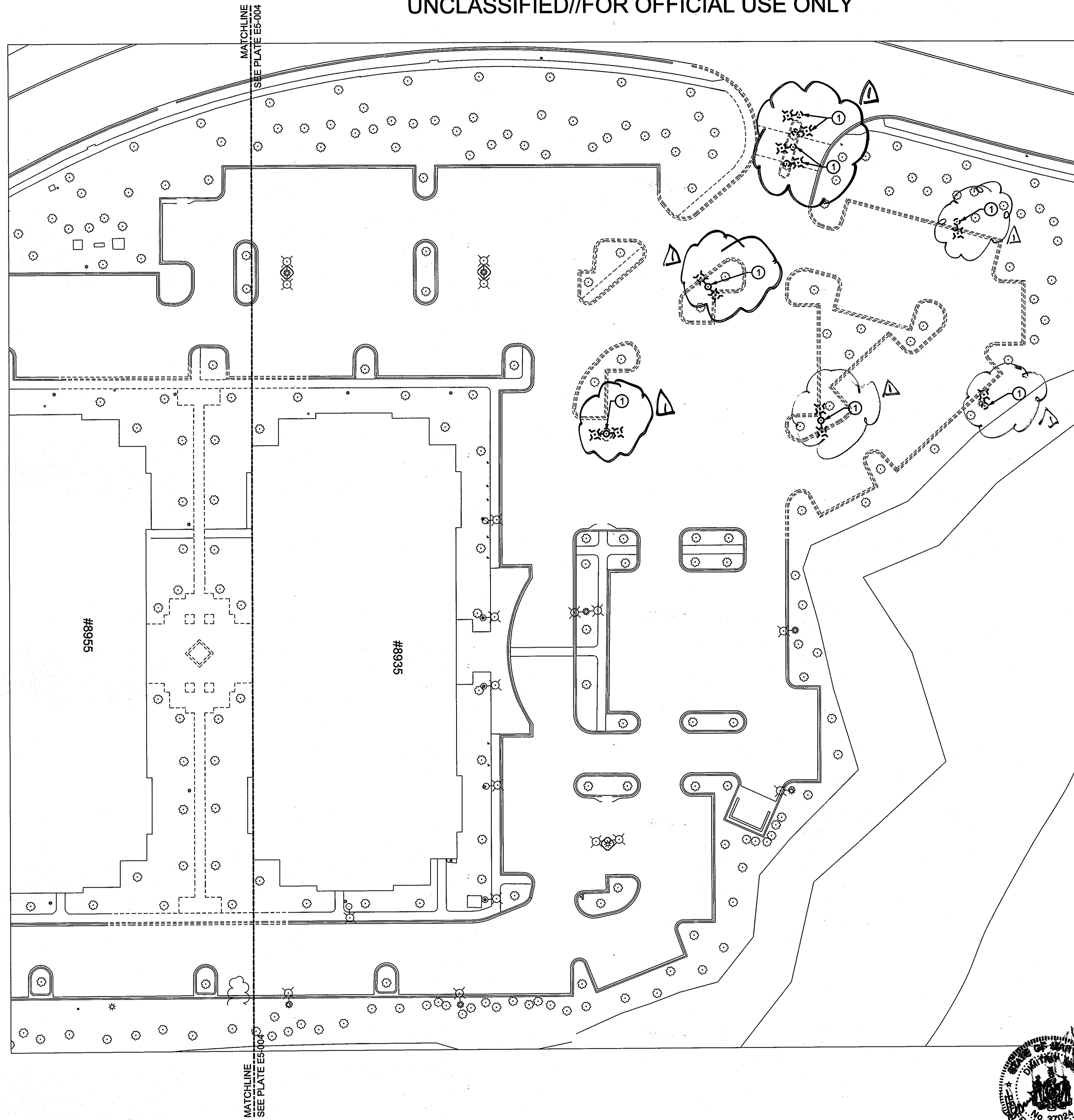
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| REVISED SITE DEVELOPMENT PLAN | Date | Appr |
|-------------------------------|------|------|
| <i>Sybil</i> | | |

| Date | Rev. | Project No. | File name |
|----------|------|-------------|--------------|
| 06-30-09 | 1 | 19646 | 09104465-002 |

EMERSON - SECURE PERIMETER AND CONNECTOR BUILDING
 LAUREL, MD
 SYMBOLS LIST
 Drawing No. E5-002
 Sheet Reference No. 39
 Sheet 39 of 48
 SDP-07-037

D
C
B
A



GENERAL NOTES

1. REFER TO PLATE E5-001 AND E5-002 FOR ELECTRICAL SYMBOLS, ABBREVIATIONS, AND GENERAL NOTES.
2. FOR ALL EXISTING LIGHTING FIXTURES TO REMAIN VERIFY THAT THEY ARE IN OPERATING CONDITION. DOCUMENT FIXTURES NOT IN OPERATING CONDITION AND NOTIFY THE COR BEFORE START OF WORK.

KEYED NOTES

- 1 REMOVE EXISTING LIGHTING FIXTURE AND POLE AND RETAIN FOR REUSE UNDER NEW WORK. REMOVE WIRE BACK TO CLOSEST REMAINING FIXTURE. REMOVE CONDUIT TO WITHIN 5' OF CLOSEST REMAINING FIXTURE. MAINTAIN CONTINUITY OF SITE LIGHTING CIRCUITS THROUGHOUT THE DURATION OF THE WORK.

US Army Corps of Engineers
Ballimore District

REAL ESTATE DIVISION,
REAL FIELD OFFICES
ANNAPOLIS JUNCTION, MARYLAND

JACOBS
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| REVISED SITE DEVELOPMENT PLAN | Date | Rev. |
|-------------------------------|----------|------|
| Light Pole Relocation | 04-22-09 | 1 |

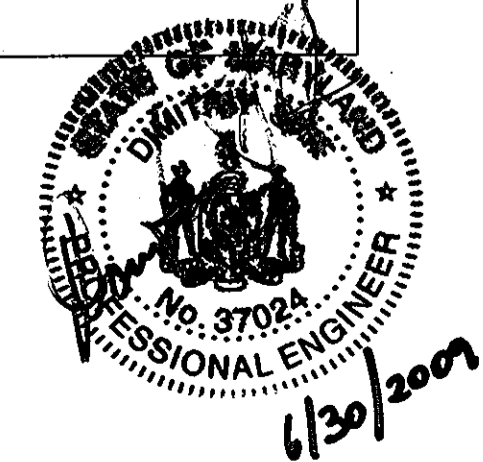
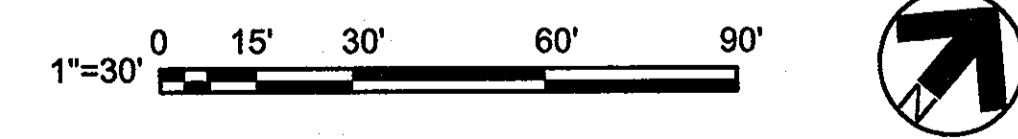
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|--|---|-------------------|--|
| Designed by: D. SHIFF | Checked by: B. MIFROUCHOUA | Date: 06-30-09 | Rev. 1 |
| RSPO Project Manager: GEORGE NIELLY | Submitted by: NAME: FRANKLIN P. MASTEL FRANCIS PA | Project No. 19846 | File name: 091046E5-003 Proj name: AS SHOWN |

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Cinda Hunt 7/6/09
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Mike Demunier 7/13/09
CHIEF, DEVELOPING ENGINEERING DIVISION DATE

Mark H. Cagle 7/21/09
DIRECTOR DATE



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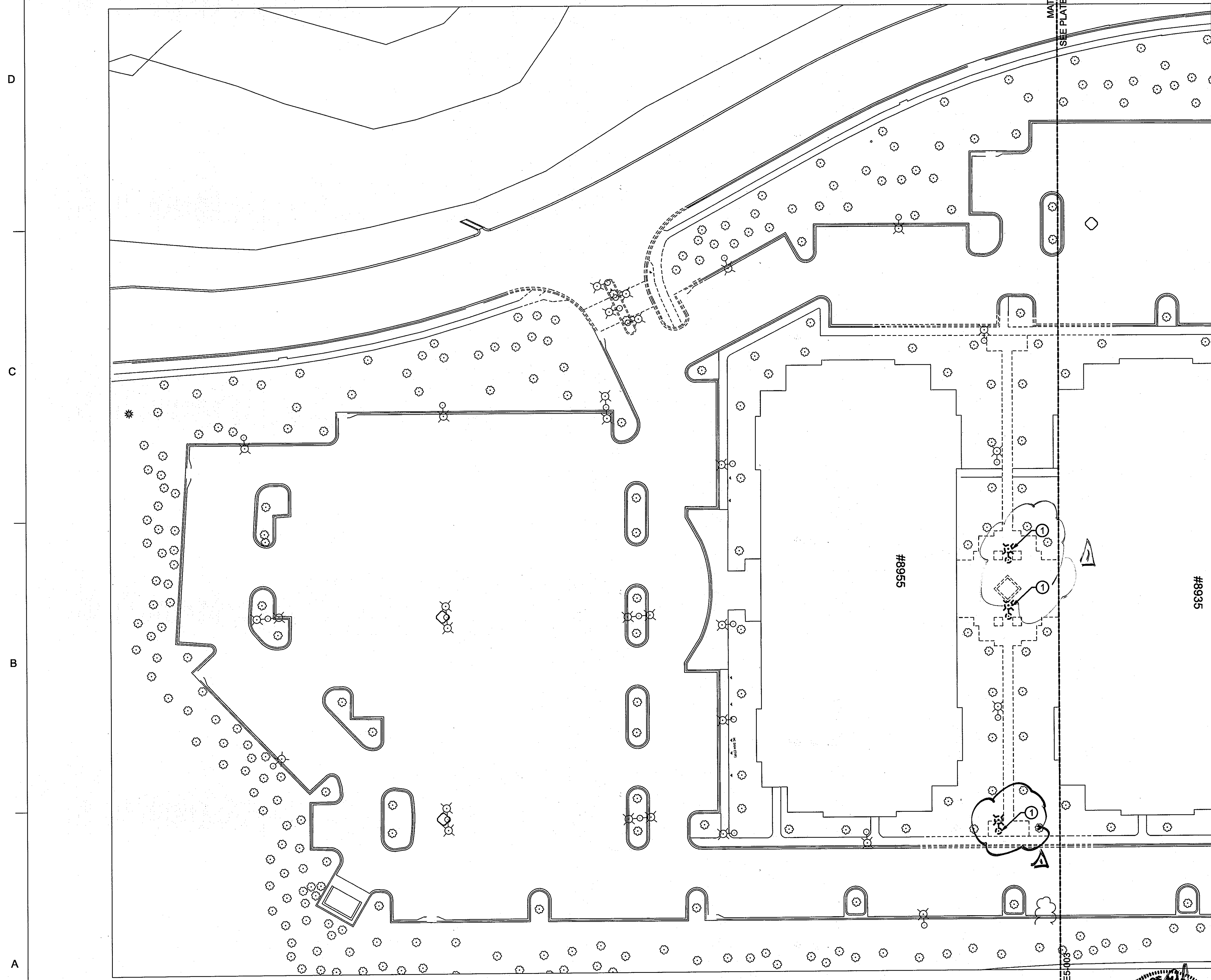
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EXPIRATION DATE: 4/23/2011

EMERSON - SECURE PERIMETER AND CONNECTOR BUILDING

SITE PLAN - EXISTING/DEMOLITION

LAUREL, MD

Drawing No. E5-003
Sheet Reference No. 40
Sheet 40 of 48



GENERAL NOTES

1. REFER TO PLATE E5-001 AND E5-002 FOR ELECTRICAL SYMBOLS, ABBREVIATIONS, AND GENERAL NOTES.
2. FOR ALL EXISTING LIGHTING FIXTURES TO REMAIN VERIFY THAT THEY ARE IN OPERATING CONDITION. DOCUMENT FIXTURES NOT IN OPERATING CONDITION AND NOTIFY THE COR BEFORE START OF WORK.

KEYED NOTES

- ① REMOVE EXISTING LIGHTING FIXTURE AND POLE AND RETAIN FOR REUSE UNDER NEW WORK. REMOVE WIRE BACK TO CLOSEST REMAINING FIXTURE. REMOVE CONDUIT TO WITHIN 5' OF CLOSEST REMAINING FIXTURE. MAINTAIN CONTINUITY OF SITE LIGHTING CIRCUITS THROUGHOUT THE DURATION OF THE WORK.

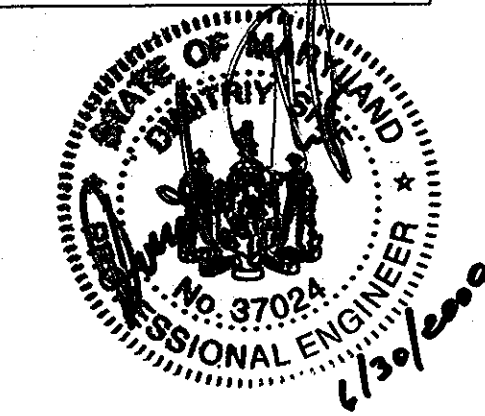
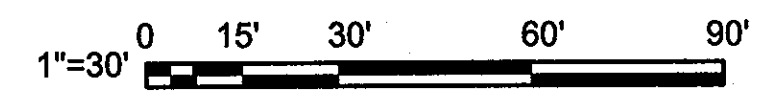
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| REVISED SITE DEVELOPMENT PLAN | DATE | DESCRIPTION |
|-------------------------------|----------|-------------|
| Light Pole Relocation | 06-30-09 | |

| | | | |
|--|------------------------------|-------------------------|---------------------|
| Designed by: D. SHIF | Checked by: B. MIFANTONDA | Date: 06-30-09 | Rev. 1 |
| Dwn by: GEORGE KELLY | RSFO Project Manager | Project No. 18646 | |
| Submitted by: NAME: FRANKLIN F. MASTEL FUND: PAL | | File name: 091806ES-004 | Pro. date: AS SHOWN |

| | |
|---|--------|
| APPROVED: DEPARTMENT OF PLANNING AND ZONING | |
| <i>Cindy Hanna</i> CHIEF, DIVISION OF LAND DEVELOPMENT | 7/2/09 |
| <i>Mark H. Wagle</i> DIRECTOR | 7/2/09 |

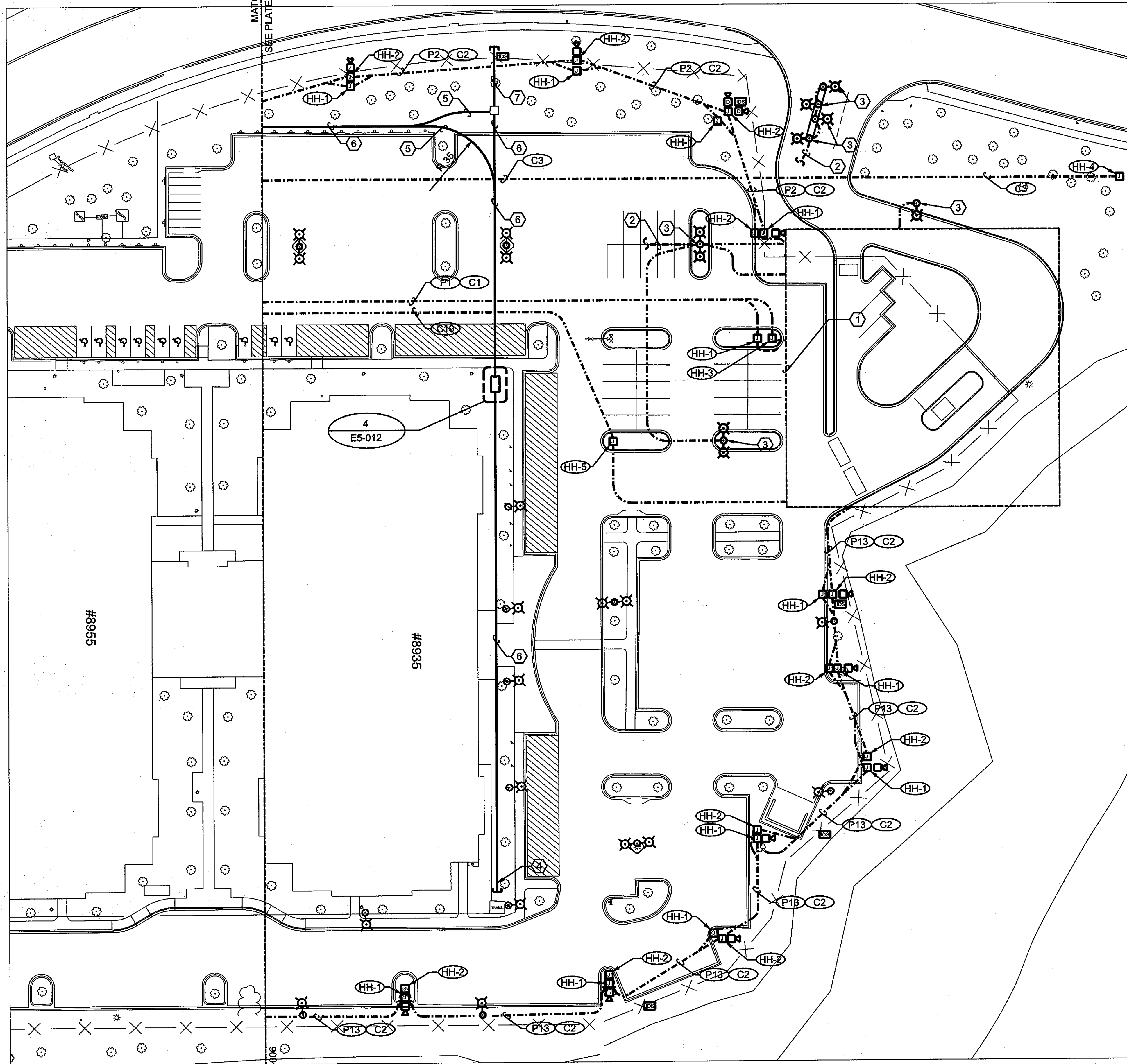


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 MARYLAND LICENSE NO.: 37024
 EXPIRATION DATE: 4/23/2011

EMERSON - SECURE PERIMETER AND CONNECTOR BUILDING
 SITE PLAN - EXISTING/DEMOLITION
 LAUREL, MD

Drawing No. E5-004
 Sheet Reference No. 41
 Sheet 41 of 48
 SDP-07-037

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GENERAL NOTES

- 1. REFER TO PLATE E5-001 AND E5-002 FOR ELECTRICAL SYMBOLS, ABBREVIATIONS, AND GENERAL NOTES.
- 2. REPLACE LAMPS IN LIGHTING FIXTURES TO BE RELOCATED AND LIGHTING FIXTURES TO REMAIN.
- 3. ALL CONDUITS RUNNING BELOW VEHICULAR SURFACES SHALL BE CONCRETE ENCASED UNLESS OTHERWISE INDICATED. REFER TO DETAIL 3 ON SHEET E5-012.
- 4. SEE DETAIL 1 ON PLATE E5-010 FOR TYPICAL CAMERA MOUNTING DETAIL.

KEYED NOTES

- ① REFER TO PLATE E5-007 FOR ADDITIONAL INFORMATION IN THIS AREA.
- ② MAKE CONNECTION TO EXISTING CIRCUIT.
- ③ INSTALL EXISTING LIGHTING FIXTURE IN NEW LOCATION AS INDICATED. INSTALL AND RECONNECT WITH WIRE AND CONDUIT SIZE TO MATCH EXISTING. PROVIDE LIGHT POLE FOUNDATION (REFER TO CIVIL PLANS) TO MOUNT EXISTING FIXTURE. MAINTAIN CONTINUITY AND OPERATION OF SITE LIGHTING CIRCUIT THROUGHOUT THE DURATION OF WORK.
- ④ TERMINATE 5'-0" FROM EXISTING TRANSFORMER PAD.
- ⑤ 1-5" SCHEDULE 40 PVC EMPTY CONDUIT WITH PULL STRING FOR BGE FEEDER.
- ⑥ 2-5" SCHEDULE 40 PVC EMPTY CONDUITS WITH PULL STRING FOR BGE FEEDERS.
- ⑦ 2-6" SCHEDULE 40 PVC EMPTY CONDUITS WITH PULL STRING FOR BGE FEEDERS. TERMINATE BEYOND FENCELINE.

US Army Corps of Engineers
Baltimore District

REAL ESTATE DIVISION
REAL PROPERTY SERVICES
ANNAPOLIS, MARYLAND

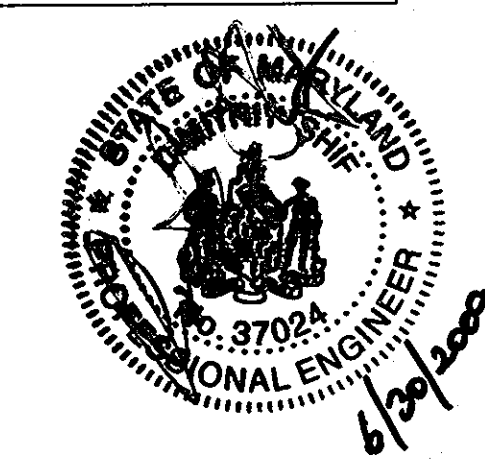
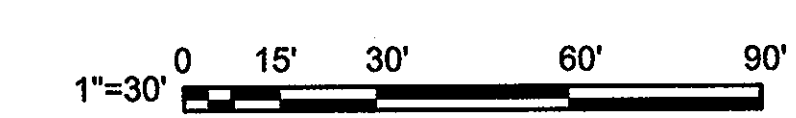
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| REVISED SITE DEVELOPMENT PLAN | Date | By |
|-------------------------------|------|----|
| Lighting & Security | | |

| | | |
|---|--|---|
| Designed by: D. SHIF | Checked by: B. MITRACOTONDA | Rev. 1 |
| Dwn by: RSFO Project Manager GEORGE KELLY | Submitted by: FRANKLIN P. MASTEL PRINCIPAL | Date: 08-30-09 Project No. 19646 File name: 091004005-005 Proj. date: AS SHOWN |

| | |
|---|---------|
| APPROVED: DEPARTMENT OF PLANNING AND ZONING | |
| <i>Cindy Hanna</i> | 7/2/09 |
| CHIEF, DIVISION OF LAND DEVELOPMENT | DATE |
| <i>Michael...</i> | 7/13/09 |
| CHIEF, DEVELOPMENT ENGINEERING DIVISION | DATE |
| <i>Man...</i> | 7/2/09 |
| DIRECTOR | DATE |



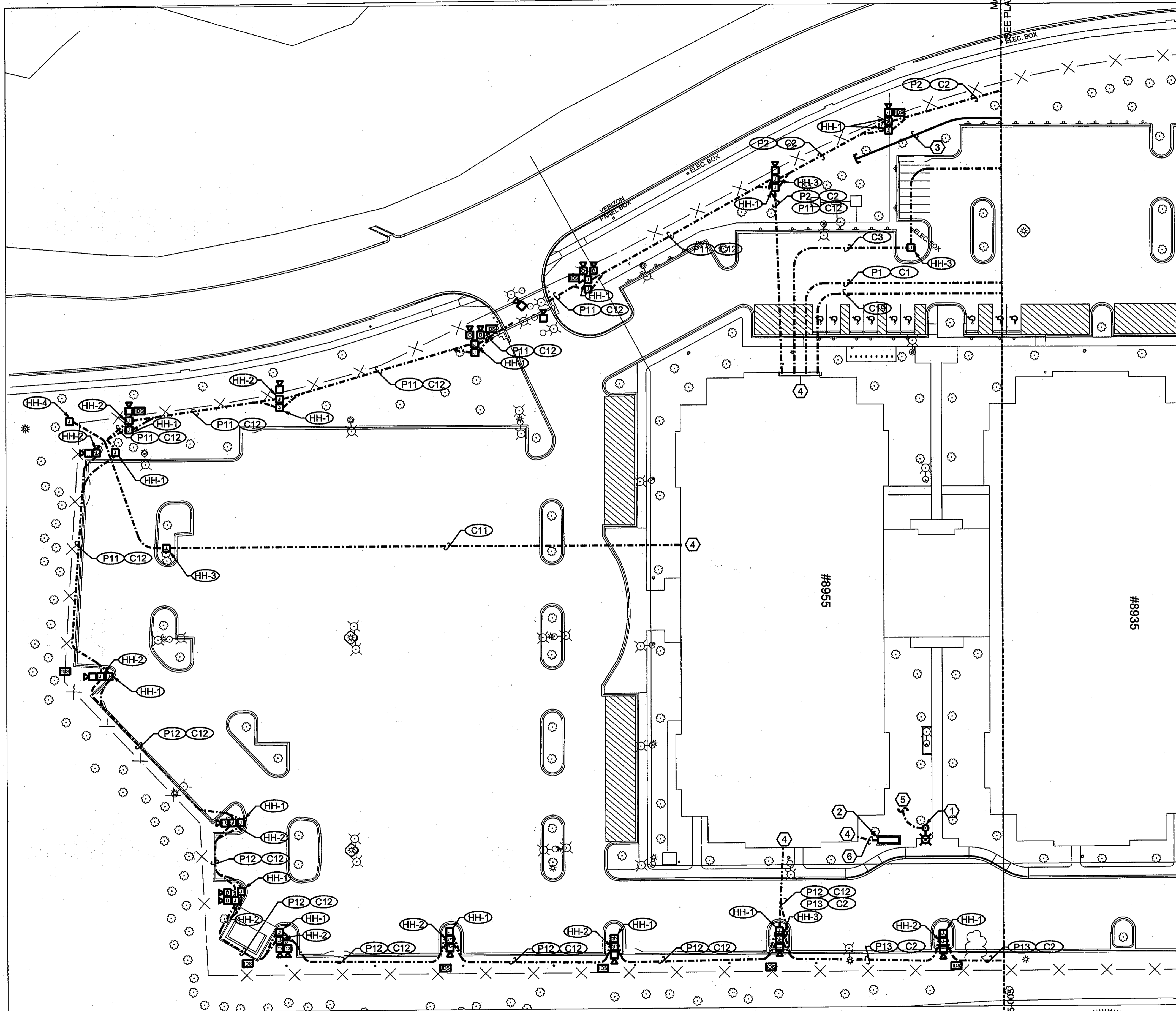
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MARYLAND LICENSE NO.: 37024
EXPIRATION DATE: 4/23/2011

EMERSON, SECURE PERIMETER AND CONNECTOR BUILDING
SITE PLAN - NEW
LAUREL, MD

Drawing No. E5-005
Sheet Reference No. 42
Sheet 42 of 48
SDP-07-037

UNCLASSIFIED//FOR OFFICIAL USE ONLY



GENERAL NOTES

- REFER TO PLATE E5-001 AND E5-002 FOR ELECTRICAL SYMBOLS, ABBREVIATIONS, AND GENERAL NOTES.
- REPLACE LAMPS IN LIGHTING FIXTURES TO BE RELOCATED AND LIGHTING FIXTURES TO REMAIN.
- ALL CONDUITS RUNNING BELOW VEHICULAR SURFACES SHALL BE CONCRETE ENCASED UNLESS OTHERWISE INDICATED. REFER TO DETAIL 3 ON SHEET E5-012.
- SEE DETAIL 1 ON PLATE E5-010 FOR TYPICAL CAMERA MOUNTING DETAIL.

KEYED NOTES

- INSTALL EXISTING LIGHTING FIXTURE IN NEW LOCATION AS INDICATED. INSTALL AND RECONNECT WITH WIRE AND CONDUIT SIZE TO MATCH EXISTING. PROVIDE LIGHT POLE FOUNDATION (REFER TO CIVIL PLANS) TO MOUNT EXISTING FIXTURE. MAINTAIN CONTINUITY AND OPERATION OF SITE LIGHTING CIRCUIT THROUGHOUT THE DURATION OF WORK.
- LOCATION OF FUTURE GENERATOR.
- 2- 5" SCHEDULE 40 PVC EMPTY CONDUIT WITH PULL STRING FOR BGE FEEDER.
- STUB UP INSIDE BUILDING WALL TO 6" ABOVE FINISHED SLAB.
- MAKE CONNECTION TO EXISTING CIRCUIT.
- 3- 4" SCHEDULE 40 PVC ENCASED IN CONCRETE FOR FUTURE GENERATOR FEEDER.

US Army Corps of Engineers
Baltimore District

REAL ESTATE DIVISION,
REAL PROPERTY SERVICES
ANAPOLIS JUNCTION, MARYLAND
JACOBS
100 N. GLEBE RD., ARLINGTON, VA 22201

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| REV. | DATE | DESCRIPTION | BY | CHK |
|------|----------|-------------------------------|----|-----|
| 1 | 06-30-09 | REVISED SITE DEVELOPMENT PLAN | | |
| | | Lighting - security | | |

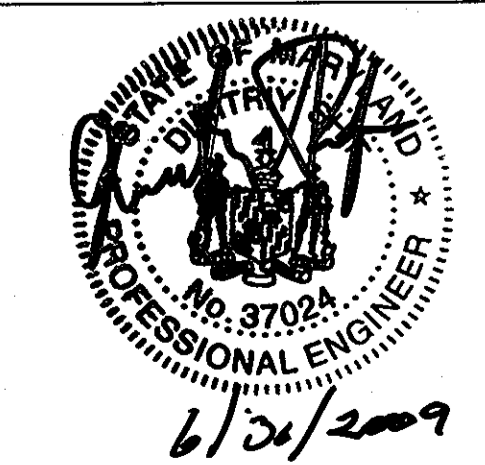
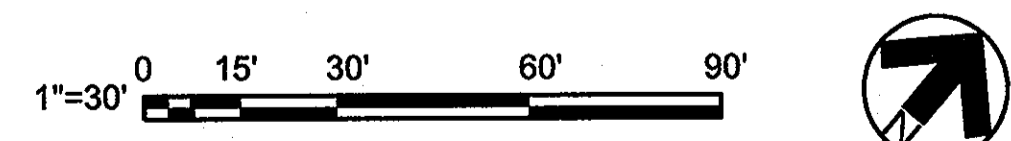
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|---------------|--------------------|--------------|-----------------|
| Designed by: | D. SHIF | Checked by: | B. MITAROTONICA |
| Date: | 06-30-09 | Project No.: | 190646 |
| Submitted by: | GEORGE REILLY | File name: | 09190646E5006 |
| Name: | FRANKLIN P. MASTEL | Plot scale: | AS SHOWN |
| Position: | PRINCIPAL | | |

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Cindy Hanna 7/21/09
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

George Reilly 7/13/09
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Frank P. Mastel 7/21/09
DIRECTOR DATE



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MARYLAND LICENSE NO.: 37024
EXPIRATION DATE: 6/28/2011

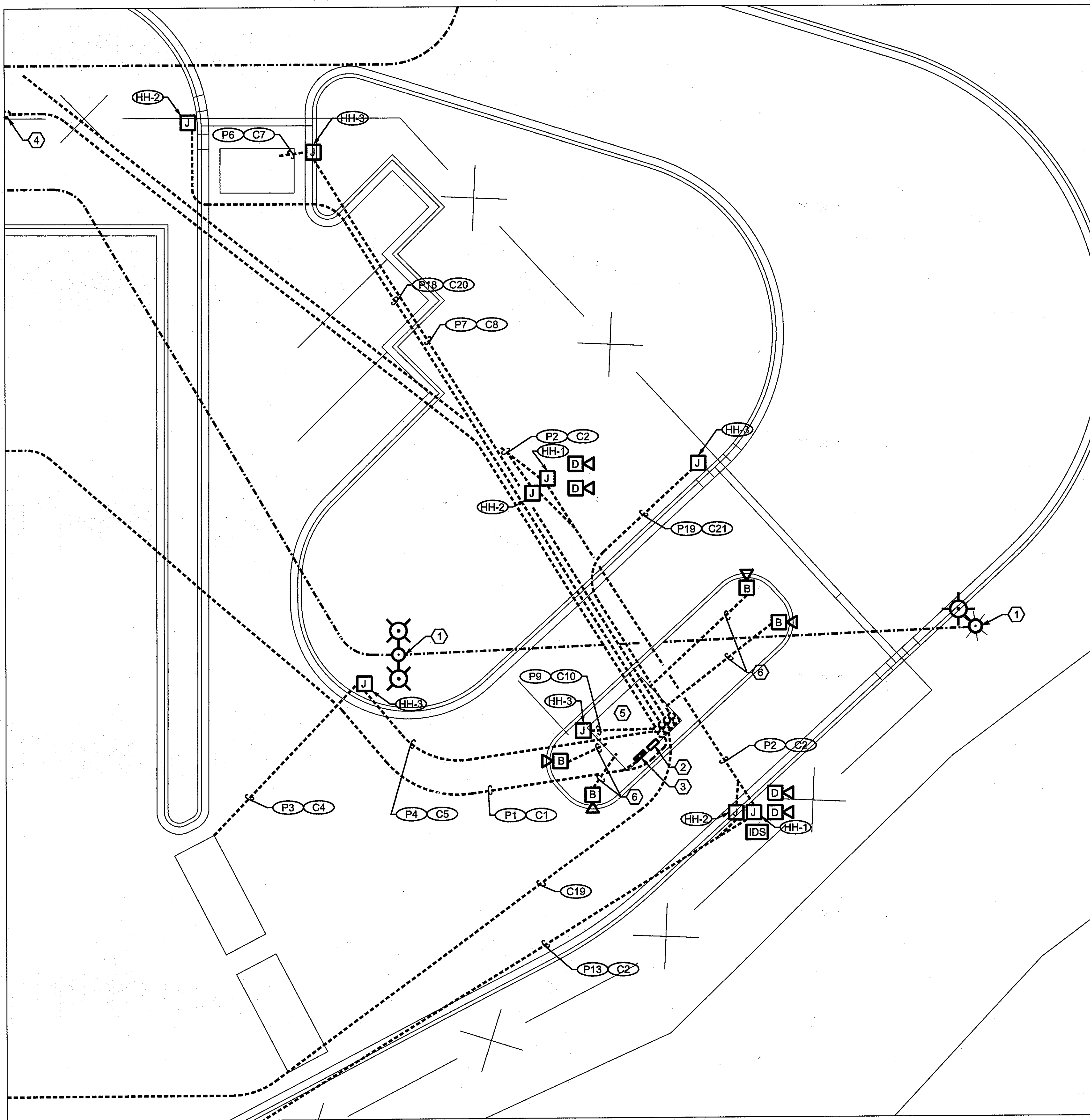
EMERSON - SECURE PERIMETER AND CONNECTOR BUILDING

SITE PLAN - NEW

LAUREL, MD

Drawing No. E5-006
Sheet Reference No. 43
Sheet 43 of 48
SDP-07-037

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B
A

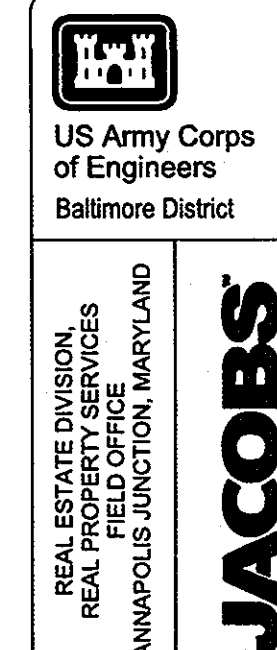


GENERAL NOTES

1. REFER TO PLATE E5-001 AND E5-002 FOR ELECTRICAL SYMBOLS, ABBREVIATIONS, AND GENERAL NOTES.
2. REPLACE LAMPS IN LIGHTING FIXTURE TO BE RELOCATED AND LIGHTING FIXTURES TO REMAIN.
3. ALL CONDUITS RUNNING BELOW VEHICULAR SURFACES SHALL BE CONCRETE ENCASED UNLESS OTHERWISE INDICATED. REFER TO DETAIL 3 ON SHEET E5-012.
4. SEE DETAIL 1 ON PLATE E5-010 FOR TYPICAL CAMERA MOUNTING DETAIL.

KEYED NOTES

- ① INSTALL EXISTING LIGHTING FIXTURE IN NEW LOCATION AS INDICATED. INSTALL AND RECONNECT WITH WIRE AND CONDUIT SIZE TO MATCH EXISTING. PROVIDE LIGHT POLE FOUNDATION (REFER TO CIVIL PLANS) TO MOUNT EXISTING FIXTURE. MAINTAIN CONTINUITY AND OPERATION OF SITE LIGHTING CIRCUIT THROUGHOUT THE DURATION OF WORK.
- ② CONTROL PANELS SHALL BE INSTALLED IN GUARD HOUSE. PROVIDE 12" W X 6" D X LENGTH AS NECESSARY 2 COMPARTMENT WIRE WAY FOR INCOMING CONTROL AND POWER CONDUIT TO BE MOUNTED UNDER CONTROL PANEL. COORDINATE WITH GFE PROVIDED GUARD HOUSE. PROVIDE 120V CIRCUIT FROM PANEL N21-GUARDHOUSE.
- ③ REMOVE EXISTING CUTLER HAMMER, 12 POLE, MLO, 208V, 1 PHASE LOADCENTER. PROVIDE NEW NEMA 1 N21-GUARDHOUSE LOADCENTER AS SCHEDULED ON PLATE E5-009.
- ④ PROVIDE (2) 2" C. FROM GUARD HOUSE TO FUTURE TURNSTILE LOCATION AND CAP AT BOTH ENDS. SEE DETAIL 3 ON PLATE E5-011 FOR ADDITIONAL INFORMATION.
- ⑤ CLEAN AND RELAMP EXISTING LIGHT FIXTURES IN GOVERNMENT FURNISHED GUARDHOUSE.
- ⑥ 2- 1" CONDUITS, ONE POWER, ONE SIGNAL, STUBBED 6" AFF INTO THE GUARDHOUSE FOR BOLLARD-MOUNTED CAMERAS.

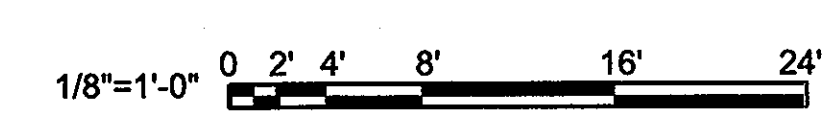
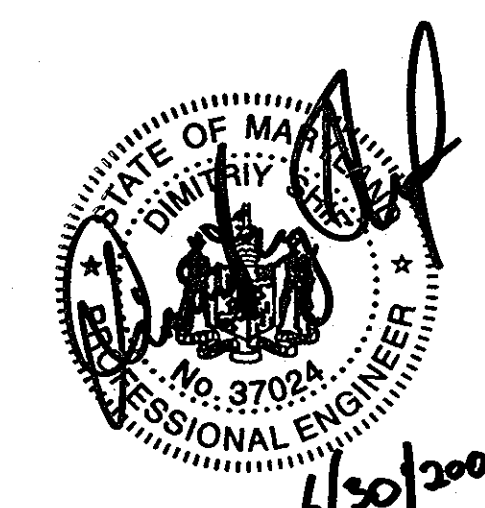


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| REVISED SITE DEVELOPMENT PLAN | Date | Appr |
|-------------------------------|------|------|
| Extra Security | | |

| | | | |
|---|---------------------------------------|-------------------------|--------|
| Designed by: D. SHIP | Checked by: B. MITCHELL | Project No. 19646 | Rev. 1 |
| Drawn by: D. SHIP | RSPO Project Manager GEORGE REILLY | File name: 01/10/05-007 | |
| Submitted by: NAME: FRANKLIN P. MASTEL PROFESSIONAL | | Post mark: AS SHOWN | |

| | |
|---|---------------|
| APPROVED: DEPARTMENT OF PLANNING AND ZONING | |
| <i>Cinda Harris</i> CHIEF, DIVISION OF LAND DEVELOPMENT | DATE: 7/21/09 |
| <i>Robert Williams</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION | DATE: 7/13/09 |
| <i>Mark A. Wyle</i> DIRECTOR | DATE: 7/21/09 |



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MARYLAND LICENSE NO.: 37024
EXPIRATION DATE: 4/28/2011

EMERSON - SECURE PERIMETER AND CONNECTOR BUILDING
PART SITE PLAN - NEW WORK
LAUREL, MD

Drawing No. E5-007
Sheet Reference No. 44
Sheet 44 of 48

| PANELBOARD SCHEDULE | | | | | | | | | | | | | | | | | | | |
|--|------|------------------------|------|------|-------------------------|----------------------|------|----------------------------|------------|------------|----------------|-------------------|------|------|------|-----|------|------------------|------|
| PNL NAME: N21-GUARDHOUSE | | ACCESSORY LUGS: NONE | | | VOLTAGE: 208V/120 | | | 3-PHASE, 4-WIRE + G. | | | BUS AMPS: 125 | | | | | | | | |
| LOCATION: GUARDHOUSE | | MOUNTING: SURFACE | | | NEUTRAL BUS: 100% RATED | | | GROUND BUS: EQUIPMENT ONLY | | | MAIN AMPS: 125 | | MCB | | | | | | |
| | | | | | | | | | | | AIC: 10000 | | | | | | | | |
| NT | TYPE | LOAD DESCRIPTION | FRM. | TRIP | POLE | LOADS (VA) | | | CRKT NUMB. | LOADS (VA) | | | FRM. | TRIP | POLE | NT | TYPE | LOAD DESCRIPTION | |
| MEQ | | HEATER | 100 | 20 | 2 | 1500 | | | 1 2 | 1200 | | | 100 | 20 | 1 | EQ | | MOTORIZED GATE | |
| MEQ | | | | | | | | | 3 4 | 200 | | | 100 | 20 | 1 | EQ | | CONTROL PANEL | |
| REC | | RECEPTACLES | 100 | 20 | 1 | | | | 5 6 | | | 1200 | 100 | 20 | 1 | EQ | | MOTORIZED GATE | |
| LG | | LIGHTING | 100 | 20 | 1 | 1270 | | | 7 8 | | | | 100 | 20 | 1 | | | SPARE | |
| MEQ | | AC | 100 | 20 | 1 | 1500 | | | 9 10 | | | | 100 | 20 | 1 | | | SPARE | |
| EQ | | POP-UP BARRIER | 100 | 30 | 2 | | | | 11 12 | | | | 100 | 20 | 1 | | | SPARE | |
| EQ | | | | | | 2500 | | | 13 14 | | | | 100 | 20 | 1 | | | SPARE | |
| EQ | | POP-UP BARRIER | 100 | 30 | 2 | 2500 | | | 15 16 | | | | 100 | 20 | 1 | | | SPARE | |
| EQ | | | | | | | | | 17 18 | | | | 100 | 20 | 1 | | | SPARE | |
| EQ | | POP-UP BARRIER | 100 | 30 | 2 | 2500 | | | 19 20 | | | | 100 | 20 | 1 | | | SPARE | |
| EQ | | | | | | | | | 21 22 | | | | 100 | 20 | 1 | | | SPARE | |
| EQ | | ACTIVE VEHICLE BARRIER | 100 | 30 | 1 | | | | 23 24 | | | | 100 | 20 | 1 | | | SPARE | |
| | | | | | | | | | | | | | | | | | | | |
| PANEL NOTES: | | | | | | 7770 | 8000 | 7800 | 1200 | 200 | 1200 | | | | | | | | |
| REMOVE EXISTING LOADCENTER AND REPLACE WITH NEW LOADCENTER | | | | | | | | | | | | | | | | | | | |
| | | | | | | CONNECTED LOAD (kVA) | | | | | | DEMAND LOAD (kVA) | | | | | | | |
| | | | | | | PHASE A | 7.7 | L&A | 0.0 | LTG | 0.0 | HVAC | 4.5 | L&A | 0.0 | LTG | 0.0 | HVAC | 4.5 |
| | | | | | | PHASE B | 8.2 | DRY | 0.0 | REC | 1.2 | EQ | 19.2 | DRY | 0.0 | REC | 1.2 | EQ | 14.4 |
| | | | | | | PHASE C | 9.0 | RGE | 0.0 | KEQ | 0.0 | SPARE | 3.6 | RGE | 0.0 | KEQ | 0.0 | SPARE | 3.6 |
| | | | | | | TOTAL | | | | | | | 28.5 | | | | | | 23.7 |

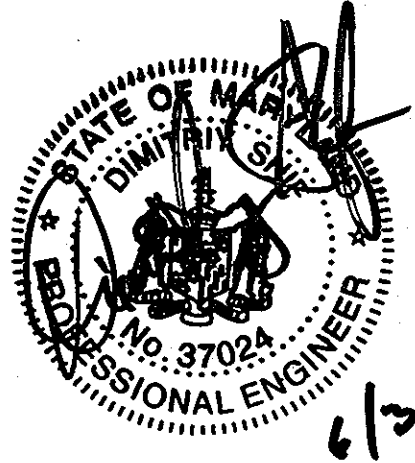
| HAND HOLE SCHEDULE | | | |
|--------------------|-------------|------|-------|
| TYPE | SIZE | TIER | USE |
| HH-1 | 17"X30"X30" | 15 | POWER |
| HH-2 | 17"X30"X30" | 15 | COMM |
| HH-3 | 30"X30"X30" | 15 | COMM |
| HH-4 | - | - | - |
| HH-5 | - | - | - |

QWEST HAND HOLE REFER TO DETAIL 1 ON PLATE E5-012

| COMMUNICATION/SECURITY SCHEDULE | | | | | | |
|---------------------------------|------------------|------------------------|--------------------|-------------------|------------------------|-----------------------|
| TAG | # SPARE CONDUITS | SIZE OF SPARE CONDUITS | # OF USED CONDUITS | USED CONDUIT SIZE | FROM | TO |
| C1 | 2 | 4" | 1 | 4" | MAIN ELEC RM (BLDG 1) | GUARD HOUSE PNL |
| C2 | 1 | 4" | 1 | 4" | BLACK RM | GUARD HOUSE PNL |
| C3 | - | - | 2 | 4" | SECURITY RM (BLDG 1) | INDIVIDUAL CAMERAS |
| C4 | - | - | 2 | 3/4" | BLACK SWITCH RM | INDIVIDUAL CAMERAS |
| | - | - | 2 | 3/4" | KEY PAD | PROPERTY LINE |
| | - | - | 2 | 3/4" | DROP ARM | QUAZITE J-BOX |
| | - | - | 2 | 3/4" | SAFETY LOOP | QUAZITE J-BOX |
| | - | - | 2 | 3/4" | TRAFFIC LIGHTS | QUAZITE J-BOX |
| | - | - | 2 | 3/4" | BARRIER CONTROL | QUAZITE J-BOX |
| C5 | - | - | 2 | 2" | QUAZITE J-BOX | CONTROL PANEL |
| C6 | - | - | 1 | 2" | CONTROL PANEL | OPERATOR CONTROL |
| C7 | - | - | 1 | 3/4" | KEY PAD | QUAZITE J-BOX |
| | - | - | 1 | 3/4" | DROP ARM | QUAZITE J-BOX |
| | - | - | 1 | 3/4" | SAFETY LOOP | QUAZITE J-BOX |
| | - | - | 1 | 3/4" | TRAFFIC LIGHTS | QUAZITE J-BOX |
| | - | - | 1 | 3/4" | BARRIER CONTROL | QUAZITE J-BOX |
| C8 | - | - | 2 | 2" | QUAZITE J-BOX | CONTROL PANEL |
| C9 | - | - | 1 | 2" | CONTROL PANEL | OPERATOR CONTROL |
| C10 | - | - | 1 | 2" | ACTIVE VEHICLE BARRIER | CONTROL PANEL |
| C11 | - | - | 2 | 4" | COMM CENTER | PROPERTY LINE |
| C12 | 1 | 4" | 1 | 4" | SECURITY RM (BLDG 1) | INDIVIDUAL CAMERAS |
| C13 | 1 | 4" | 3 | 1" | DESK | CEILING ABOVE |
| C14 | - | - | 1 | 1" | LANE 1, LANE 2 | CEILING ABOVE |
| C15 | - | - | 1 | 1" | LANE 1, LANE 2 | CEILING ABOVE |
| C16 | - | - | 1 | 1" | LANE 3, LANE 4 | CEILING ABOVE |
| C17 | - | - | 1 | 1" | LANE 3, LANE 4 | CEILING ABOVE |
| C18 | - | - | 1 | 1" | XRAY MACHINE | CEILING ABOVE |
| C19 | 1 | 4" | 1 | 4" | COMM CENTER | GUARD HOUSE PNL |
| C20 | - | - | 1 | 2" | MOTORIZED GATE | CONTROL/GRD HOUSE PNL |
| C21 | - | - | 1 | 2" | MOTORIZED GATE | CONTROL/GRD HOUSE PNL |

NOTES:
 1. REFER TO DETAIL 3 ON E5-012 FOR QWEST DUCTBANK DETAIL.
 2. REFER TO DETAIL 2 ON E5-012 FOR RED COMM DUCTBANK DETAIL.

| POWER SCHEDULE | | | | | | | | | |
|----------------|--------------------------|--------------------|--------------------|-------------------|-------------------------------|---------|-------|--------------------------|-------------------------|
| TAG | # SPARE (EMPTY) CONDUITS | SPARE CONDUIT SIZE | # OF USED CONDUITS | USED CONDUIT SIZE | CIRCUITS IN EACH USED CONDUIT | VOLTAGE | PHASE | FROM | TO |
| P1 | 1 | 4" | 1 | 4" | (1) 3#2/0+1#2/0+1#6G | 208 | | 3 MAIN ELEC RM (BLDG 1) | GUARD HOUSE PNL |
| P2 | 1 | 2" | 1 | 2" | (1) 1#8+1#8N+1#8G | 120 | | 1 SECURITY RM (BLDG 1) | INDIVIDUAL CAMERAS |
| P3 | - | - | 2 | 1-1/4" | (1) 2#10+1#10G | 208 | | 1 BARRIER | QUAZITE J-BOX |
| P4 | - | - | 2 | 2" | (1) 2#10+1#10G | 208 | | 1 QUAZITE J-BOX | CONTROL PANEL |
| P5 | - | - | 2 | 2" | (1) 2#10+1#10G | 208 | | 1 CONTROL PANEL | GUARD HOUSE PNL |
| P6 | - | - | 1 | 1-1/4" | (1) 2#10+1#10G | 208 | | 1 BARRIER | QUAZITE J-BOX |
| P7 | - | - | 1 | 2" | (1) 2#10+1#10G | 208 | | 1 QUAZITE J-BOX | CONTROL PANEL |
| P8 | - | - | 1 | 2" | (1) 2#10+1#10G | 208 | | 1 CONTROL PANEL | GUARD HOUSE PNL |
| P9 | 1 | 2" | 1 | 2" | (1) 1#10+1#10N+1#10G | 120 | | 1 ACTIVE VEHICLE BARRIER | CONTROL PANEL |
| P10 | - | - | 1 | 2" | (1) 1#10+1#10N+1#10G | 120 | | 1 CONTROL PANEL | GUARD HOUSE PNL |
| P11 | 1 | 2" | 1 | 2" | (1) 1#8+1#8N+1#8G | 120 | | 1 SECURITY RM (BLDG 1) | INDIVIDUAL CAMERAS |
| P12 | 1 | 2" | 1 | 2" | (3) 1#8+1#8N+1#8G | 120 | | 1 SECURITY RM (BLDG 1) | INDIVIDUAL CAMERAS |
| P13 | 1 | 2" | 1 | 2" | (3) 1#8+1#8N+1#8G | 120 | | 1 SECURITY RM (BLDG 1) | INDIVIDUAL CAMERAS |
| P14 | 7 | 1" | - | - | - | - | | DESK | CEILING SPACE |
| P15 | 1 | 1" | - | - | - | - | | LANE 1, LANE 2 | CEILING SPACE |
| P16 | 1 | 1" | - | - | - | - | | LANE 3, LANE 4 | CEILING SPACE |
| P17 | 1 | 1" | - | - | - | - | | METAL DETECTOR | CEILING SPACE |
| P18 | - | - | 1 | 2" | (1) 2#12+1#12G | 208 | | 1 MOTORIZED GATE | CONTROL/GUARD HOUSE PNL |
| P19 | - | - | 1 | 2" | (1) 2#12+1#12G | 208 | | 1 MOTORIZED GATE | CONTROL/GUARD HOUSE PNL |



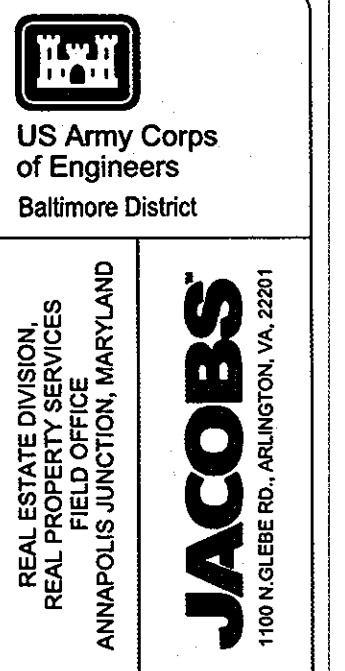
APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chris Harris 7/6/09
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

George R. Kelly 7/12/09
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Franklin P. Mastel 7/25/09
 DIRECTOR DATE

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| DATE | DESCRIPTION | BY |
|----------|-------------------------------|----------|
| 06-30-09 | REVISED SITE DEVELOPMENT PLAN | Selected |

Designed by: D. Shiff
 Drawn by: B. Miffloronda
 RSPD Project Manager: GEORGE R. KELLY
 Submitted by: FRANKLIN P. MASTEL
 Date: 06-30-09
 Project No: 19646
 File name: 061946E5-009
 Plot scale: AS SHOWN

EMERSON - SECURE PERIMETER AND CONNECTOR BUILDING

SCHEDULES

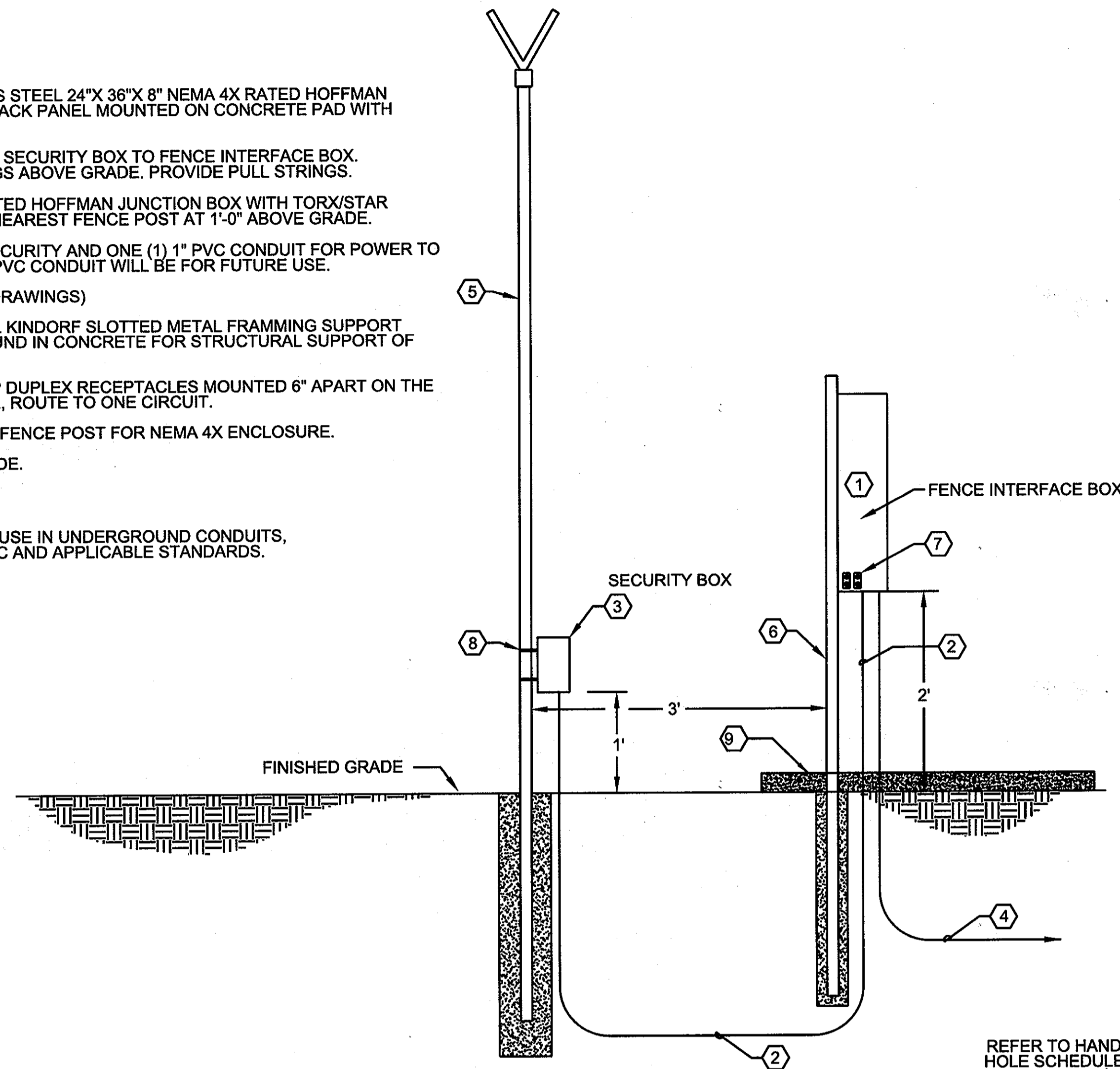
LAUREL, MD

Drawing No. E5-009
 Sheet Reference No. 45
 Sheet 45 of 48
 SDP - 07 - 037

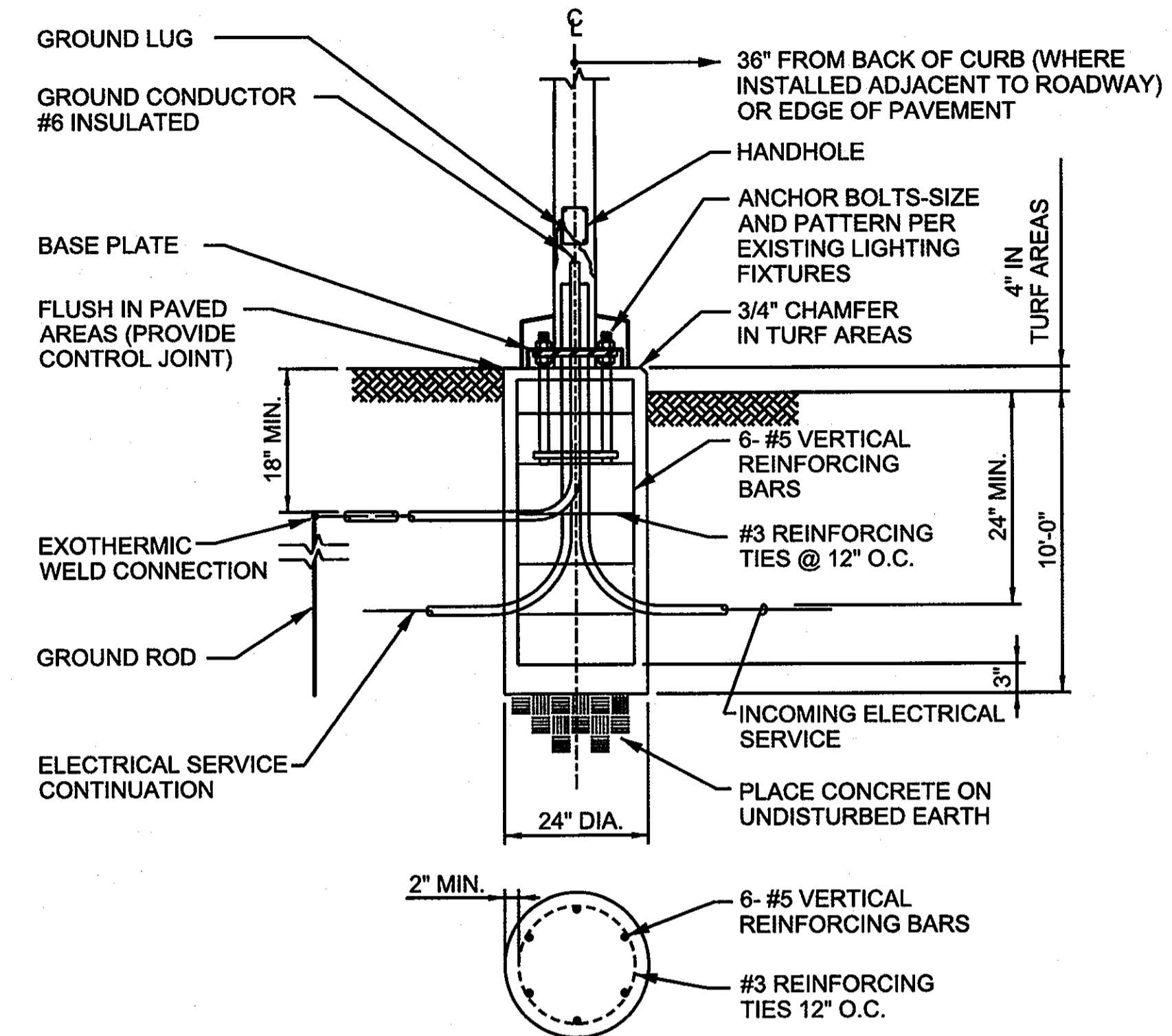
DETAIL NOTES

- ① PROVIDE A 16 GAUGE STAINLESS STEEL 24"X 36"X 8" NEMA 4X RATED HOFFMAN ENCLOSURE WITH LOCKS AND BACK PANEL MOUNTED ON CONCRETE PAD WITH KINDORF SUPPORTS.
- ② PROVIDE 1" PVC CONDUIT FROM SECURITY BOX TO FENCE INTERFACE BOX. TRANSITION TO PVC COATED RGS ABOVE GRADE. PROVIDE PULL STRINGS.
- ③ PROVIDE 6"X 6"X 4" NEMA 4X RATED HOFFMAN JUNCTION BOX WITH TORX/STAR SCREW COVERS MOUNTED TO NEAREST FENCE POST AT 1'-0" ABOVE GRADE.
- ④ PROVIDE TWO (2) 2" PVC FOR SECURITY AND ONE (1) 1" PVC CONDUIT FOR POWER TO SECURITY DUCT BANK. ONE 2" PVC CONDUIT WILL BE FOR FUTURE USE.
- ⑤ PERIMETER FENCE. (SEE CIVIL DRAWINGS)
- ⑥ PROVIDE 1 5/8" X 1 5/8" CHANNEL KINDORF SLOTTED METAL FRAMING SUPPORT SYSTEM BRACKETS FROM GROUND IN CONCRETE FOR STRUCTURAL SUPPORT OF ENCLOSURE.
- ⑦ PROVIDE TWO (2) 120VAC/20AMP DUPLEX RECEPTACLES MOUNTED 6" APART ON THE INSIDE OF NEMA 4X ENCLOSURE, ROUTE TO ONE CIRCUIT.
- ⑧ PROVIDE U BOLT MOUNTING TO FENCE POST FOR NEMA 4X ENCLOSURE.
- ⑨ CONCRETE SLAB 6" ABOVE GRADE.

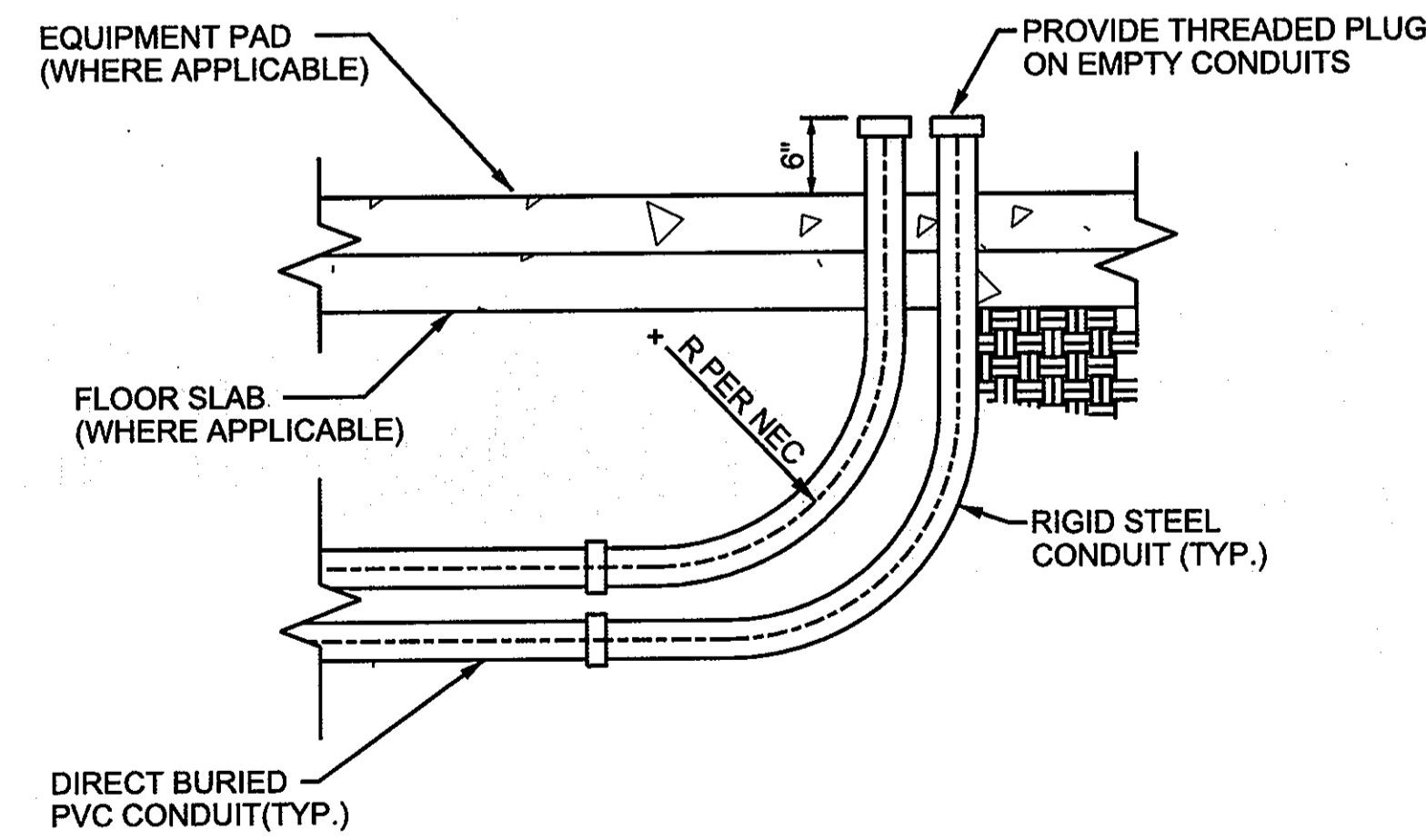
NOTE:
1. CABLES SHALL BE RATED FOR USE IN UNDERGROUND CONDUITS, PULL BOXES AND DUCTS, PER NEC AND APPLICABLE STANDARDS.



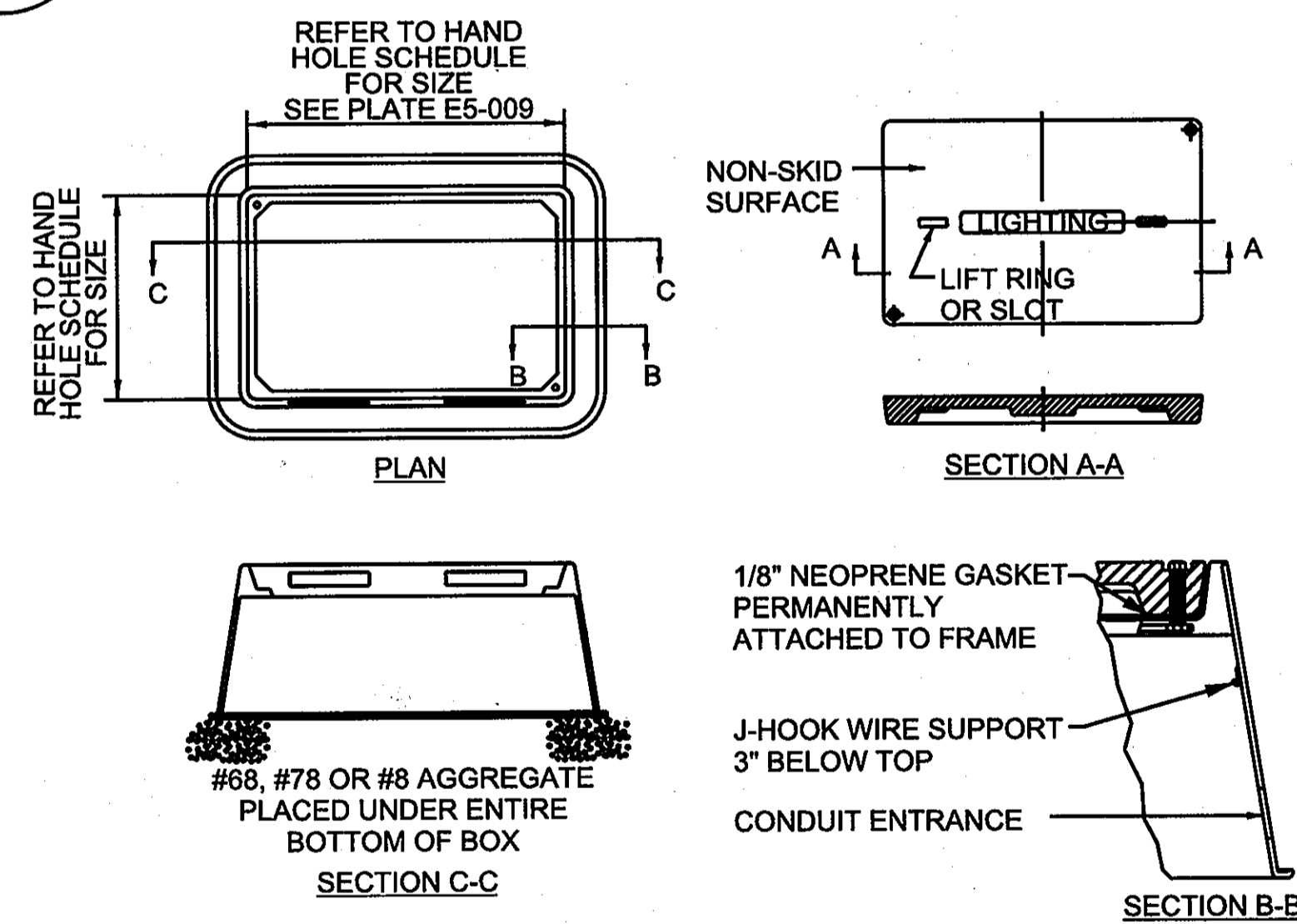
1 FENCE IDS DETAIL
SCALE: NTS



2 SITE LIGHTING/CAMERA POLE FOUNDATION DETAIL
SCALE: NTS

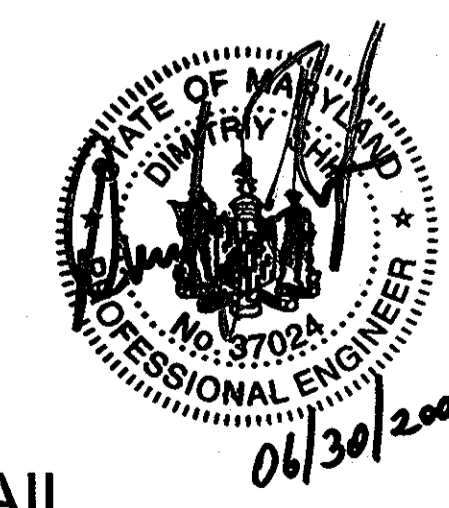


3 CONDUIT STUB UP DETAIL
SCALE: NTS



- DETAIL NOTES:**
1. A MINIMUM 6" DIA CONDUIT ENTRANCE IS REQUIRED UNLESS OTHERWISE SPECIFIED ON THE PLANS.
 2. CONDUIT SHALL EXTEND 2" MIN TO 3" MAX BEYOND THE INSIDE WALL OF THE JUNCTION BOX.
 3. THE JUNCTION BOX MAY BE A TWO PIECE DESIGN WITH THE TOP SECTION NO LESS THAN 18" IN DEPTH.
 4. PROVIDE EXTENSION RINGS AS REQUIRED TO REACH THE REQUIRED DEPTH.
 5. DIMENSIONS INDICATED ARE FOR MINIMUM SIZE. PROVIDE LARGER WHERE REQUIRED BY NEC.
 6. PROVIDE ANSI TIER 15 BOX AND COVER IN VEHICULAR TRAFFIC AREA.

4 SITE PULL BOX AND HAND HOLE DETAIL
SCALE: NTS



| | |
|---|--------------|
| APPROVED: DEPARTMENT OF PLANNING AND ZONING | |
| <i>David Hunter</i> CHIEF, DIVISION OF LAND DEVELOPMENT | DATE 7/21/09 |
| <i>George R. Kelly</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION | DATE 7/13/09 |
| <i>Franklin P. Mastel</i> DIRECTOR | DATE 7/20/09 |

PROFESSIONAL CERTIFICATION, I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 37024
MARYLAND LICENSE NO.: 37024
EXPIRATION DATE: 4/24/2011

US Army Corps of Engineers
Ballimore District
REAL ESTATE DIVISION
REAL ESTATE SERVICES
ANAPOLIS JUNCTION, MARYLAND
JACOBS
1100 N. GLEBE RD., ARLINGTON, VA 22201

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| REVISED SITE DEVELOPMENT PLAN | Date | Appr |
|-------------------------------|------|------|
| Details | | |

| | |
|--|-------------------------|
| Date: 06-30-09 | Rev. 1 |
| Designed by: D. SHIFF | Project No. 19646 |
| Dwn by: S. SEDDO | Chd by: B. MITRACI ONDA |
| RSFO Project Manager: GEORGE KELLY | File name: 019646E5-011 |
| Submitted by: NAME: FRANKLIN P. MASTEL | Proj status: AS SHOWN |
| PROFESSIONAL | |

EMERSON - SECURE PERIMETER AND CONNECTOR BUILDING
DETAILS
Drawing No. E5-011
Sheet Reference No. 47
Sheet 47 of 48
SOP-07-037

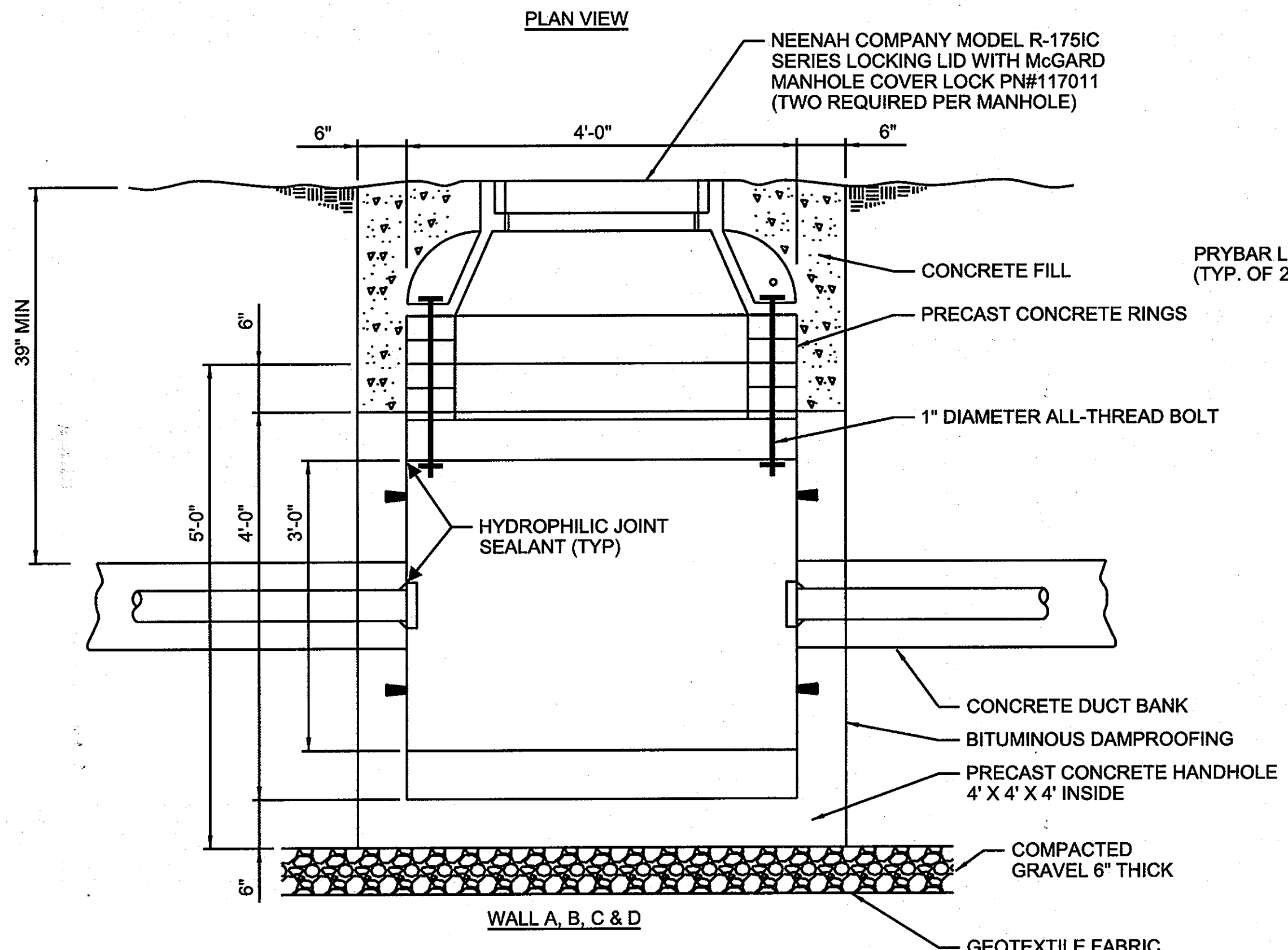
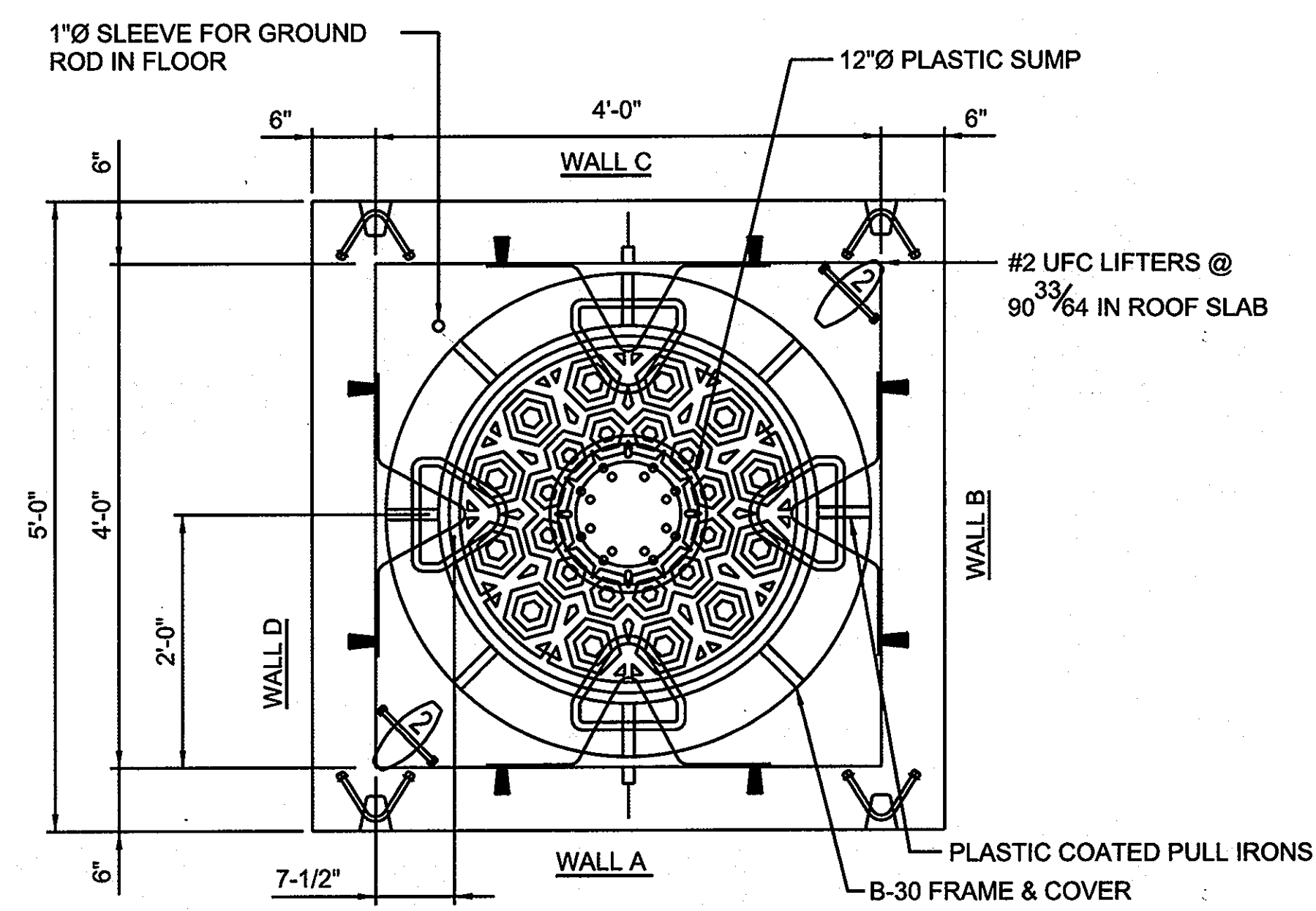
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| REVISED SITE DEVELOPMENT PLAN | Date | Appr. |
|-------------------------------|------|-------|
| Details | | |

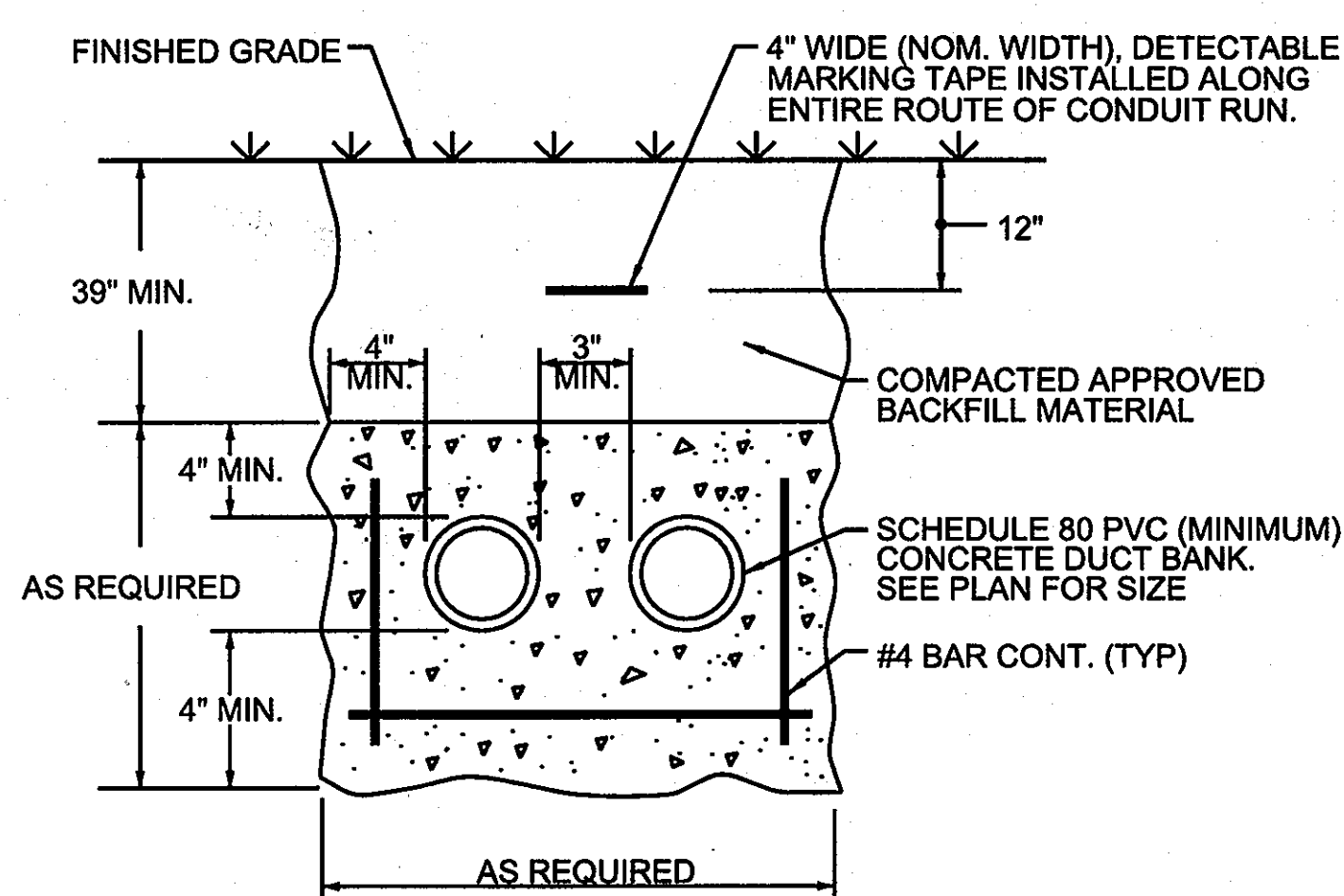
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|-------------------------------------|----------------------|--------|
| Designed by: D. SHIFF | Date: 05-30-09 | Rev. 1 |
| Drawn by: S. SEDVO | Project No: 19646 | |
| RSFO Project Manager: GEORGE REILLY | Site: B. WINDACTONDA | |
| Submitted by: FRANKLIN P. MARTEL | Per scale: AS SHOWN | |

EMERSON - SECURE PERIMETER AND CONNECTOR BUILDING
LAUREL, MD
DETAILS

Drawing No. E5-012
Sheet Reference No. 48
Sheet 48 of 48
50P-07-037

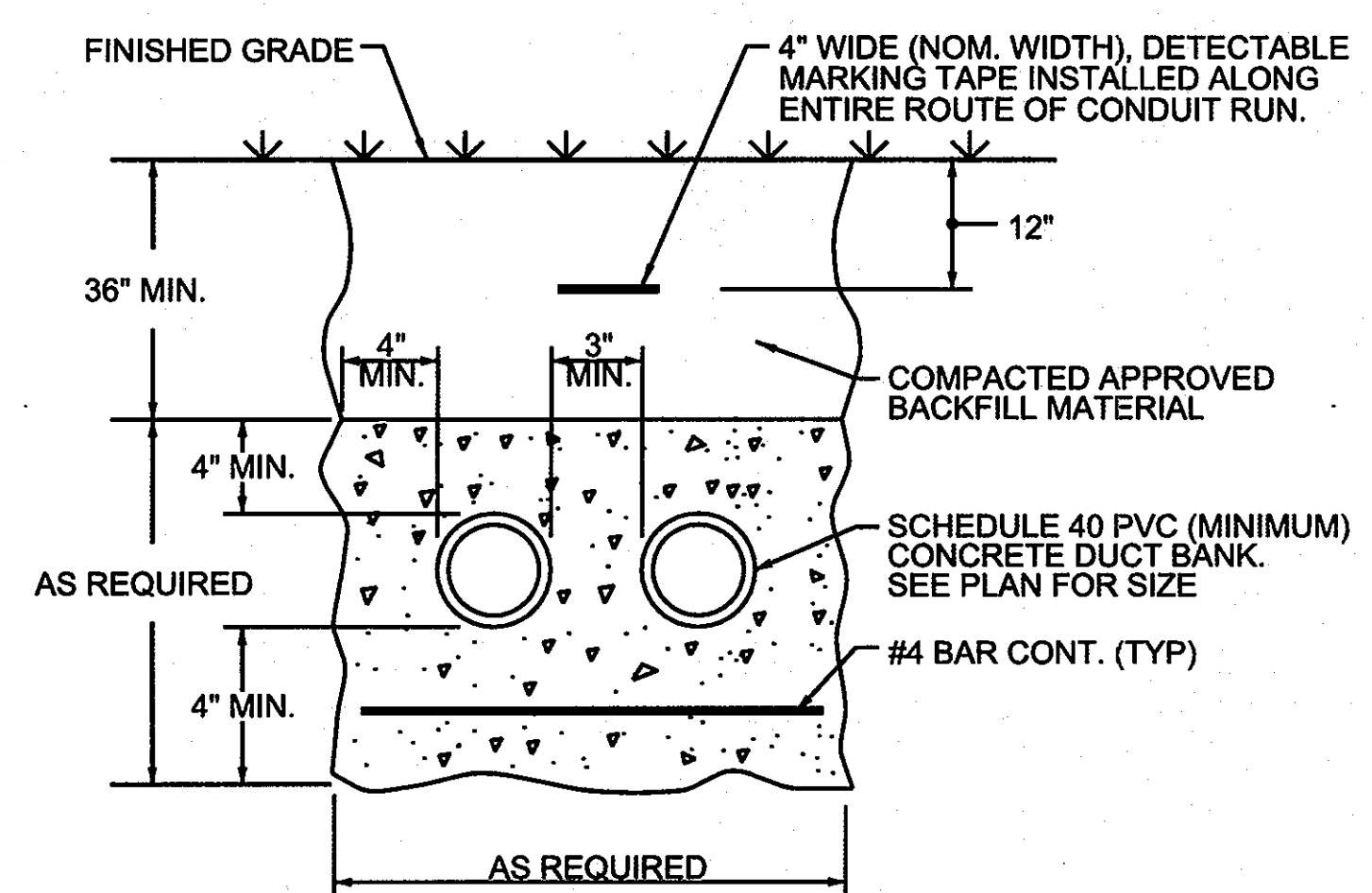


1 RED COMM HAND HOLE
SCALE: NTS



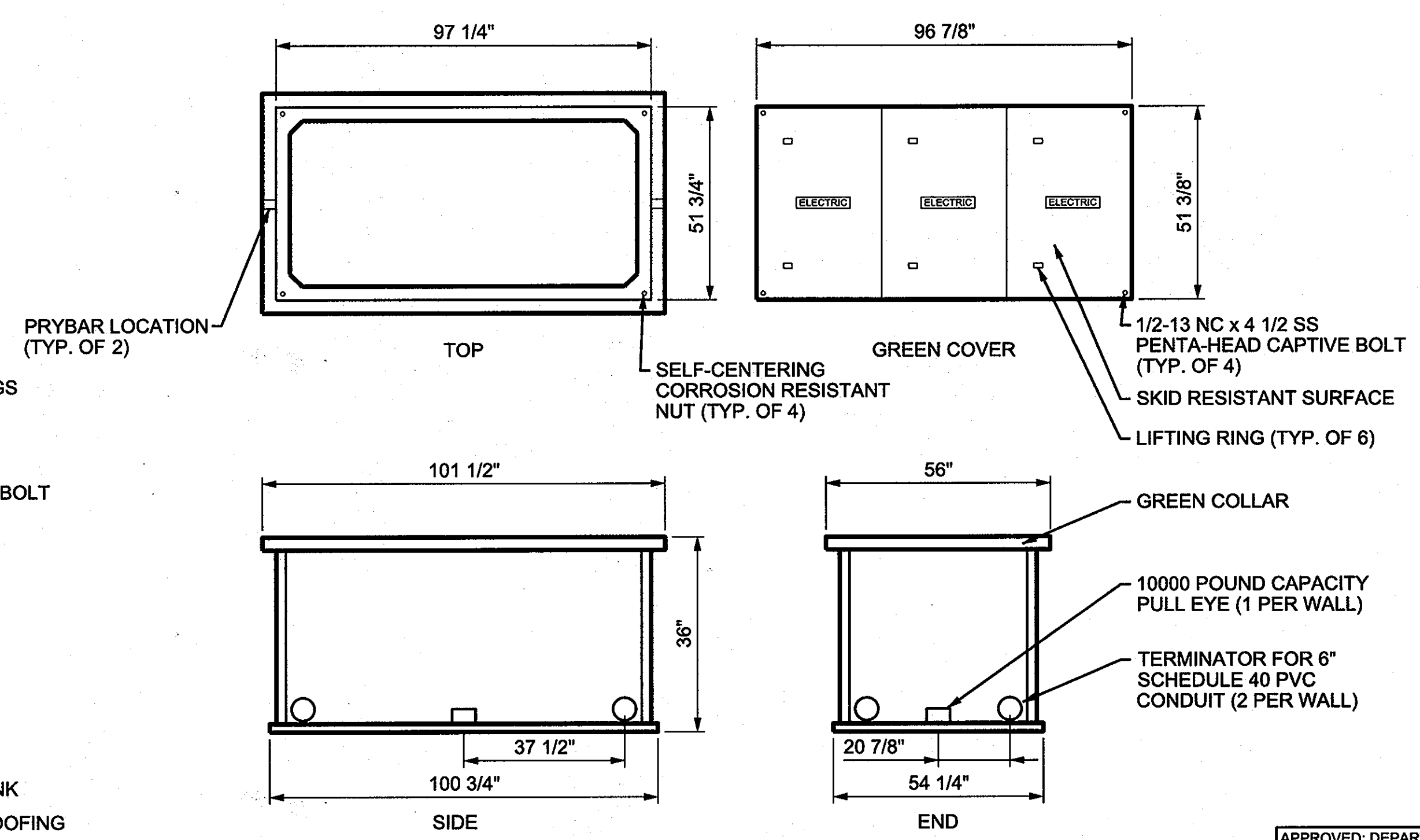
- NOTES:
1. SADDLES FOR CONDUIT ARE NOT SHOWN FOR CLARITY.
2. ALL REINFORCEMENT SHALL BE PLACED IN ACCORDANCE WITH ACI 301

2 CONCRETE ENCASED UNDERGROUND DUCTBANK (RED COMM)
SCALE: NTS



- NOTES:
1. SADDLES FOR CONDUIT ARE NOT SHOWN FOR CLARITY.
2. ALL REINFORCEMENT SHALL BE PLACED IN ACCORDANCE WITH ACI 301

3 CONCRETE ENCASED UNDERGROUND DUCTBANK
SCALE: NTS



- DETAIL NOTES:
1. PROVIDE FIBERGLASS REINFORCED POLYMER CONCRETE, ASTM C857 A16 RATED BOX IN ACCORDANCE WITH BGE STANDARDS.
2. COVER IS PC12-4896-33 GREEN; BOX IS PB12-4896-36 GRAY.
3. PROVIDE EMBOSSED LOGO TO READ "ELECTRIC" ON EACH COVER SECTION.

4 BGE 34KV SPLICE BOX
SCALE: NTS

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Division of Land Development: *7/2/09*
Chief, Development Engineering Division: *7/2/09*
Director: *7/10/09*



PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 37024
MARYLAND LICENSE NO.: 37024
EXPIRATION DATE: 4/28/2011

6/30/2009