

# SITE DEVELOPMENT PLANS

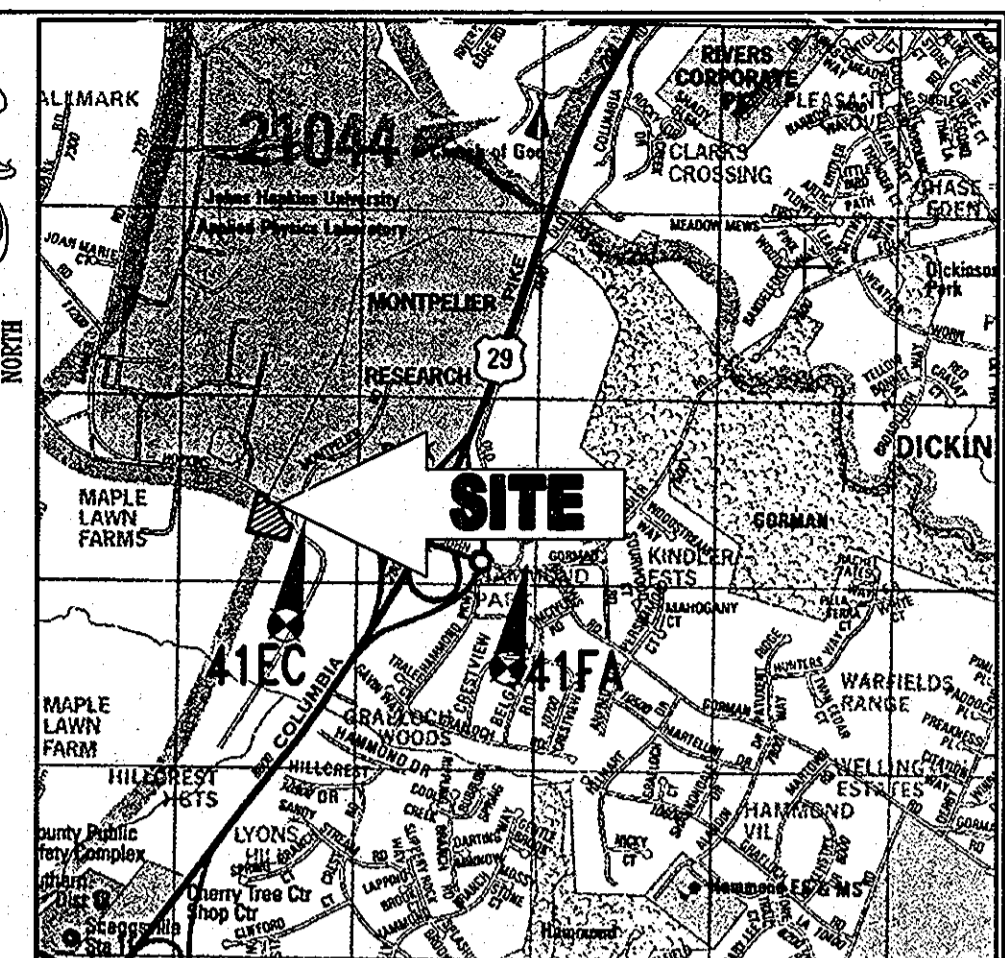


## AND GENERAL OFFICE/RETAIL BUILDING 10985 JOHNS HOPKINS ROAD TAX MAP 41, GRID 22, PARCEL 425 LAUREL, HOWARD COUNTY, MARYLAND

AS-BUILT CERTIFICATION  
THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.

*Michael D. A. Dook*  
MICHAEL D. A. DOOK, PROFESSIONAL LAND SURVEYOR  
MD REG. NO. 21251, EXPIRATION DATE: 06-16-19

5/19/2013  
DATE



LOCATION MAP

COPYRIGHT ADC THE MAP PEOPLE  
PERMIT USE NO. 20502153-5  
SCALE: 1"=200'

COUNTY CONTROL INFORMATION

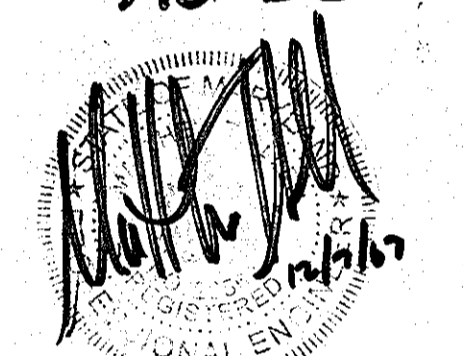
HO. CO. #41EC (MAD 83)  
N 543,588.804  
E 1,342,628.780  
ELEV. = 430.38

HO. CO. #41FA (MAD 83)  
N 543,109.935  
E 1,344,797.520  
ELEV. = 407.80

BENCHMARK INFORMATION

USGS TRIANGULATION DISK STAMPED "HOPKINS 1966"  
IN A CONCRETE MONUMENT 0.4' BELOW THE SURFACE  
LOCATED IN FRONT OF JOHNS HOPKINS APPLIED  
PHYSICS LABORATORY, 600'± NORTH OF JOHN HOPKINS  
ROAD. ELEVATION 445.50

AS-BUILT



FOR REVISION 1 ONLY

LEGEND FOR ENTIRE PLAN SET (NOT TO SCALE)

**EXISTING**

ONSITE PROPERTY LINE / R.O.W. LINE  
NEIGHBORING PROPERTY LINE / INTERIOR PARCEL LINE  
ASEWMENT LINE  
SETBACK LINE  
CONCRETE CURB & GUTTER  
STORM SEWER  
SANITARY SEWER MAIN  
SANITARY SEWER LATERAL  
UG WATER LINE  
UG ELECTRIC LINE  
UG GAS LINE  
OVERHEAD WIRE  
UG TELEPHONE LINE  
UG CABLE LINE

**PROPOSED**

TYPICAL SPILL TRANSITION DEPRESSED

SPOT ELEVATIONS  
CONTOUR LINE  
HYDRANT  
SANITARY MANHOLE  
STORM MANHOLE  
WATER METER  
WATER VALVE  
GAS VALVE  
GAS METER  
TYPICAL END SECTION  
HEADWALL OR ENDWALL  
YARD INLET  
CURB INLET  
CLEAN OUT  
SANITARY LABEL  
STORM LABEL  
TYPICAL LIGHT  
ACORN LIGHT  
TRAFFIC LIGHT  
UTILITY POLE  
TYPICAL SIGN  
TYPICAL NOTE TEXT

**EXISTING NOTE**

**PROPOSED NOTE**

PARKING COUNTS  
ELECTRIC MANHOLE  
TELEPHONE MANHOLE  
ELECTRIC BOX  
ELECTRIC PEDESTAL  
MONITORING WELL  
TEST PIT  
BENCHMARK BORING  
UTILITY POLE W/LIGHT  
POLE LIGHT  
EASEMENT

GENERAL NOTES

- THIS PLAN REFERENCES A SURVEY BY CONTROL POINT ASSOCIATES: 22630 DAVIS DRIVE, SUITE 200 STERLING, VIRGINIA 20164 ENTITLED "ALTA/ACSM LAND TITLE SURVEY, CHICK-FIL-A, INC. #10985, JOHNS HOPKINS ROAD, 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND" DATED: 7/21/06 PROJECT NO.: 5065615.SR
- THE EXISTING TOPOGRAPHY IS TAKEN FROM A FIELD RUN SURVEY WITH ONE FOOT CONTOUR INTERVALS PREPARED BY CONTROL POINT ASSOCIATES DATED 7/21/06 AND EX. TOPOGRAPHY OF THE SWALE SHOWN IN 2 FOOT INTERVALS ARE FROM PLANS BY MILDENBERG, BOENDER AND ASSOCIATES, INC. TITLED "SITE DEVELOPMENT PLAN, HOPKINS STATION (PRICE FARMS, LOT 1) FIFTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND" DATED JANUARY 2006, SDP-05-138.
- EXISTING UTILITIES ARE BASED ON A SURVEY BY CONTROL POINT ASSOCIATES, INC. DATED 7/21/06.
- THE TRAFFIC STUDY FOR THIS PROJECT TITLED: "TRAFFIC IMPACT ANALYSIS, CHICK-FIL-A JOHN'S HOPKINS ROAD, HOWARD COUNTY, MARYLAND." PREPARED BY TRAFFIC GROUP DATED AUGUST 24, 2006, PROJECT NO. 2006-0545 APPROVED ON NOVEMBER 2, 2006 BY HOWARD COUNTY DEVELOPMENT ENGINEERING DIVISION.
- THE SUBJECT PROPERTY IS ZONED B-2 PER THE FEBRUARY 2, 2004 COMPREHENSIVE ZONING PLAN AND THE COMPREHENSIVE LITE ZONING REGULATIONS EFFECTIVE JULY 28, 2006.
- EXISTING USE: VACANT LOT WITH A BANK CURRENTLY BEING CONSTRUCTED ON A LEASE PARCEL.
- PROPOSED USE: CHICK-FIL-A RESTAURANT AND GENERAL OFFICE/RETAIL BUILDING (THE GENERAL OFFICE/RETAIL BUILDING WILL NOT BE USED FOR RESTAURANTS, CARRYOUTS, OR CONVENIENCE STORES UNLESS APPROVED BY HOWARD COUNTY)
- BUILDING HEIGHT: CHICK-FIL-A 25'-0"±, RETAIL BUILDING 25'-0"± MAXIMUM HEIGHT ALLOWED: 40'-0"
- PARKING: REQUIRED - BANK: FIVE SPACES/1,000 S.F. OF FLOOR AREA 5 x (3,000 S.F./1,000 S.F.) = 15 SPACES FAST FOOD RESTAURANT: 14 SPACES/1,000 S.F. 14 x (992 S.F./1,000 S.F.) = 55 SPACES GENERAL OFFICE/RETAIL BUILDING: (2 FLOORS @ 4,196 S.F. EACH) RETAIL (1ST FLOOR) 5 SPACES/1,000 S.F. 5 x (4,196 S.F./1,000 S.F.) = 21 SPACES GENERAL OFFICE (2ND FLOOR) 3.3 SPACES/1,000 S.F. 3.3 x (4,196 S.F./1,000 S.F.) = 14 SPACES TOTAL PARKING SPACES REQUIRED = 105 SPACES TOTAL PARKING SPACES PROVIDED = 119 SPACES (INCLUDING 7 HANDICAP SPACES) \*THERE WILL BE NO BUSINESS OWNED VEHICLES PARKED ONSITE.

SETBACKS:	REQUIRED PROPOSED RESTAURANT	PROPOSED OFFICE/RETAIL BUILDING
JOHNS HOPKINS ROAD:		
USE & STRUCTURE SETBACK	30'	N/A
PARKING SETBACK	10'	N/A
OLD COLUMBIA ROAD:		
USE & STRUCTURE SETBACK	30'	55.52'
PARKING SETBACK	30'	30.40'
WEST SIDE:		
USE & STRUCTURE SETBACK	30'	239.61'
PARKING SETBACK	30'	31.29'
REAR:		
USE & STRUCTURE SETBACK	30'	31.00'
PARKING SETBACK	30'	31.00'

GENERAL NOTES (CONTINUED)

- REFUSE SHALL BE DISPOSED OF DAILY IN TRASH RECEPTACLES. TRASH REMOVAL WILL BE PRIVATELY CONTRACTED.
- LIGHTING SHALL BE SHELDED AND DIRECTED SO THAT IT DOES NOT SHINE DIRECTLY ONTO ANY ADJACENT PROPERTIES. IT SHALL NOT ILLUMINATE RESIDENTIAL PROPERTIES AND SHALL NOT PRODUCE GLARE WHICH WOULD CAUSE A HAZARD FOR MOTOR VEHICLE OPERATIONS IN THE VICINITY OF THE SITE. LIGHTING SHALL COMPLY WITH SECTION 134 OF THE ZONING REGULATIONS.
- UTILITIES:  
WATER, PUBLIC - EXISTING 8" WATER LINE (CONTRACT #24-4311-D) IS LOCATED ON THE WEST SIDE OF OLD COLUMBIA ROAD AND SERVICES THE SITE.  
SEWER, PUBLIC - AN 8" SANITARY SEWER LINE (CONTRACT #24-4311-D) IS LOCATED ALONG OLD COLUMBIA ROAD AND CURRENTLY SERVICES THE SITE.  
STORM DRAIN - THERE IS NO STORMDRAIN CURRENTLY ON-SITE. STORMWATER MANAGEMENT FOR THE SITE WILL BE HANDLED BY A STORMDRAIN SYSTEM WITH A STORMFILTER FOR WQV, A RECHARGE FACILITY FOR REV AND UNDERGROUND STORAGE PIPE FOR CPV AND OVERBANK FLOOD PROTECTION. MAINTENANCE FOR THE STORMWATER MANAGEMENT SYSTEM WILL BE PROVIDED BY THE OWNER, HOPKINS STATION GENERAL PARTNERSHIP C/O BRANTLY DEVELOPMENT GROUP.
- ALL HOWARD COUNTY STORM WATER QUALITY REQUIREMENTS SHALL BE MET. A PERMEABLE UNDERGROUND STORMFILTER SYSTEM WILL BE UTILIZED FOR QUALITY REQUIREMENTS. THE OWNER IS RESPONSIBLE FOR MAINTENANCE OF THE SYSTEM TO ENSURE THE PROPER FUNCTION OF THE STORMFILTER RECHARGE FOR THE SUBJECT SITE WILL BE MET BY UTILIZING AN UNDERGROUND RECHARGE FACILITY, CHANNEL PROTECTION AND QUALITY MANAGEMENT WILL BE MET BY USE OF UNDERGROUND STORAGE PIPES.
- ELECTION DISTRICT: 5
- DEED REFERENCE: PART OF LOT 1 REVISION PLAT FOR PRICE FARMS PLAT #9252 LIBER 3095, FOLIO 39 & LIBER 7004, FOLIO 653
- TAX MAP: 41, GRID 22, PARCEL: 425
- PROPERTY IS LOCATED IN LAUREL.
- THERE IS NO 100-YEAR FLOOD PLAIN LOCATED ON SITE PER FEMA FIRM MAP 240044 0038 E DATED 12/4/86.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY AND MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUILDING ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.

GENERAL NOTES (CONTINUED)

- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- THERE ARE NO KNOWN BURIAL GROUNDS LOCATED ON-SITE.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLAN COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 41EC AND 41EA WERE USED FOR THIS PROJECT.
- THERE ARE NO WETLANDS ON THIS SITE.
- THIS PLAN IS SUBJECT TO THE AMENDED 5TH EDITION OF THE SUBDIVISION REGULATIONS AND THE 2004 ZONING REGULATIONS.
- RELATED FILE APPLICATIONS: GP-06-46, SDP-05-138, SDP-79-40, SDP-90-113, 24-3040-D, WP-91-146, ZB-912M, F-90-132, F-79-18, BOA-945-C, VP-78-94, PLAT NO. 9252, J-4171-2 (PLAT OF SURPLUS LAND), SDP-05-138 (BANK)
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING IS REQUIRED AS PART OF THE DPV DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$15,450 FOR 26 SHADE TREES, 29 EVERGREEN TREES, AND 110 SHRUBS.
- NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAMS OR THEIR BUFFERS, FOREST CONSERVATION EASEMENT AREAS AND 100 YEAR FLOODPLAIN.
- THIS PLAN SHALL BE PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- THE FOREST CONSERVATION REQUIREMENTS FOR THIS PROJECT HAVE BEEN ADDRESSED WITH A FEE-IN-LIEU PAYMENT OF \$10,890.00 FOR 0.5 ACRES OF AFFORESTATION PER APPROVED SITE DEVELOPMENT PLANS TITLED "HOPKINS STATION, (PRICE FARMS, LOT 1), TAX MAP 41-GRID-22-PARCEL 425, 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND" BY MILDENBERG, BOENDER & ASSOCIATES, INC. DATED JANUARY 2006, SDP #05-138.
- A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. IT SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4'-5" IN HEIGHT AND NO MORE THAN 6' LATERALLY FROM THE DOOR. THE BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED. (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-110.12.1)
- THE GENERAL OFFICE/RETAIL BUILDING "2" AND THE CHICK-FIL-A RESTAURANT BUILDING "3" WILL HAVE AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM.
- PER AN E-MAIL SENT FROM DANNY DAVIS OF BALTIMORE GAS AND ELECTRIC (BGE) TO JUSTIN DUNN OF BOHLER ENGINEERING, P.C. ON DEC. 15, 2012, BGE HAS APPROVED THE PLANS BASED ON HOWARD COUNTY CHECKLIST REQUIREMENTS. THE CONTRACTOR TO ENSURE TREES WITH MATURE HEIGHTS GREATER THAN 25' SHALL NOT BE PLANTED WITHIN 20' OF EITHER SIDE OF THE UTILITY POLE LINE. ADDITIONALLY, IF THESE TREES ARE TO BE PLANTED ON BERMS THE MATURE TREE HEIGHTS SHALL BE REDUCED BY THE HEIGHT OF THE BERM AS MEASURED ABOVE MEAN GROUND ELEVATION OF THE UTILITY POLE LINE. TREES WITH MATURE HEIGHTS GREATER THAN 40' SHALL NOT BE PLANTED WITHIN 45' OF THE UTILITY POLE LINE AND SHALL HAVE THE SAME BERM LIMITATIONS NOTED ABOVE. FINALLY, THE RECORDED PLAT/DRAWINGS AND ASSOCIATED FOREST CONSERVATION EASEMENT DOCUMENTS RECORDED IN THE LAND RECORDS OF HOWARD COUNTY SHALL NOTE THAT TREES RETAINED OR PLANTED TO COMPLY WITH FCA REQUIREMENTS SHALL MEET THE CONDITIONS PRESCRIBED ABOVE FOR MATURE TREE HEIGHTS AND PLANTING DISTANCES FROM THE LINES.
- A LICENSE AGREEMENT FOR THE CELLULAR TOWER HAS BEEN MADE ON FEBRUARY 13TH, 1996 BETWEEN WASHINGTON/BALTIMORE CELLULAR LIMITED PARTNERSHIP AND WIRELESS PCS, INC. THE LEASE PERTAINS TO THE PROPERTY IMPROVEMENTS FROM HOPKINS STATIONS GENERAL PARTNERSHIP AND DESCRIBED AS ELECTION DISTRICT 5, LOT 1, PLATBOOK 9252 RECORDED IN DEED BOOK 3095 AND PAGE 039 DATED JUNE 5, 1995.

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SITE ANALYSIS DATA CHART

PROJECT AREA: PARCEL 425 = 3.59 ACRES (TOTAL SITE) OR 356,980 S.F.  
LIMIT OF DISTURBED AREA: 1.96 AC. OR 65,344 S.F.  
PRESENT ZONING: B-2 (GENERAL BUSINESS DISTRICT)  
PROPOSED USE: CHICK-FIL-A RESTAURANT WITH DRIVE-THRU AND A GENERAL OFFICE/RETAIL BUILDING  
FLOOR AREA: CHICK-FIL-A = 3,921 S.F.  
GENERAL OFFICE/RETAIL BUILDING = 8,391 S.F. (2 FLOORS @ 4,196 S.F.)  
MAXIMUM NUMBER OF EMPLOYEES: 12 (RESTAURANT); 14 (OFFICE/RETAIL BUILDING)  
PARKING SPACES REQUIRED: 105 SPACES  
PARKING SPACES PROVIDED: 119 SPACES (INCLUDING 7 HANDICAP SPACES)  
THERE WILL BE NO BUSINESS OWNED VEHICLES PARKED ONSITE. BUILDING COVERAGE OF SITE: 0.36 ACRES (10% OF GROSS AREA). APPLICABLE DPZ FILE REFERENCES: (SEE NOTE 28)

UTILITY CONTACT INFORMATION:

**NATURAL GAS AND ELECTRIC**  
BALTIMORE GAS AND ELECTRIC  
7317 PARKWAY DRIVE  
SOUTH HANOVER, MD 21076  
PHONE: (410) 859-9383

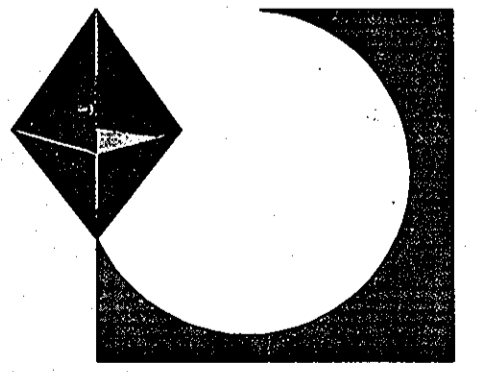
**TELEPHONE**  
VERIZON  
7133 RUTHERFORD ROAD  
BALTIMORE, MD 21244  
PHONE: (410) 224-5286

**STORMWATER MANAGEMENT**  
HOWARD COUNTY PLANNING AND ZONING DEPARTMENT  
3430 COURTHOUSE DRIVE  
ELLCOTT CITY, MD 21043  
PHONE: (410) 313-2350

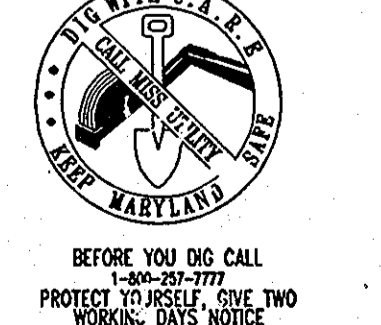
**WATER AND SANITARY SEWER**  
HOWARD COUNTY PUBLIC WORKS BUREAU OF UTILITIES  
8250 OLD MONTGOMERY ROAD  
COLUMBIA, MD 21045  
PHONE: (410) 313-4910

**EROSION AND SEDIMENT CONTROL, LICENSES & PERMITS**  
DEPARTMENT OF INSPECTIONS, LICENSES & PERMITS  
3430 COURTHOUSE DRIVE  
ELLCOTT CITY, MD 21043  
PHONE: (410) 313-2455

**PLANNING AND ZONING**  
HOWARD COUNTY PLANNING AND ZONING DEPARTMENT  
3430 COURTHOUSE DRIVE  
ELLCOTT CITY, MD 21043  
PHONE: (410) 313-2350



PREPARED BY:  
**BOHLER ENGINEERING, P.C.**  
810 GLENEAGLES COURT, SUITE 300  
TOWSON, MARYLAND 21286  
(410) 821-7900  
ATTN: MATTHEW T. ALLEN, P.E.



BEFORE YOU DIG CALL 1-800-257-7777  
PROTECT YOURSELF. DIG TWO WORKING DAYS NOTICE

THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERETO APPROPRIATE.

THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

ADDRESS CHART				
LOT/PARCEL #	STREET ADDRESS			
425	10975 JOHNS HOPKINS ROAD, LAUREL, HOWARD COUNTY, MD 20723 (CHICK-FIL-A RESTAURANT)			
425	10981 JOHNS HOPKINS ROAD, LAUREL, HOWARD COUNTY, MD 20723 (GENERAL OFFICE/RETAIL BUILDING)			
PERMIT INFORMATION CHART				
PROJECT NAME	SECTION/AREA	LOT/PARCEL NO.		
HOPKINS STATION	N/A	425		
PLAT RECORDATION BLOCK #	ZONING	TAX MAP NO.	ELECT. DISTRICT	CENSUS TRACT
9252	22	B-2	41	5TH
WATER CODE	SEWER CODE			
E21		7690000		

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
Chief-Development Engineering Division  
Date: 7/19/07

Approved: Division of Land Development  
Date: 9/2/07

Approved: For Public Water and Public Sewerage Systems.  
Director: Brian J. Seaman  
Date: 8/27/07  
Howard County Health Department

NO.	DATE	REVISION DESCRIPTION
1	9/27/08	SIZE 4 AREA REDUCED THE CPA BUILDING
2	2/21/08	REGULATION LINE 1 CPA SERVICE YARD REVISION
1	12/06/07	AREA 4 AREA REDUCED THE CPA BUILDING

OWNER: HOPKINS STATION GENERAL PARTNERSHIP  
C/O BRANTLY DEVELOPMENT GROUP  
100 PARKWAY, SUITE P  
COLUMBIA, MD 21045  
PHONE: (410) 730-0810

DEVELOPER: CHICK-FIL-A  
5200 BUFFINGTON ROAD  
ATLANTA, GA 30349-2998  
C/O SCOTT PATMAN  
COLUMBIA, MD 21045  
PHONE: (404) 684-6880

CHICK-FIL-A RESTAURANT & GENERAL OFFICE/RETAIL BUILDING  
PART OF LOT 1, HOPKINS STATION (FORMER PRICE FARMS, LOT 1)  
JOHNS HOPKINS ROAD  
LAUREL, HOWARD COUNTY, MARYLAND

AREA 3.59 AC. TAX MAP 41 GRID 22 ZONED B-2  
PARCEL 425 L. 3,095, F. 39 & L. 7004, S. 323  
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

COVER SHEET  
**BOHLER ENGINEERING, P.C.**  
PROFESSIONAL ENGINEERING SERVICES  
810 GLENEAGLES COURT, SUITE 300, TOWSON, MD 21286  
(410) 821-7900  
WWW.BE.PC.COM

DESIGNED BY: JD  
DRAWN BY: RLB  
PROJECT NO.: M056502.1  
DATE: 9/28/06  
SCALE: AS SHOWN  
DRAWING NO. 1 OF 28

MATTHEW T. ALLEN  
PROFESSIONAL ENGINEER NO. 28567

REVISED: 12/15/06

M:\03-chick-fil-a-11-Vic\16503\SITE SET\Rev 3\NOV-16503-1553.dwg, 7/15/2007 8:58:03 AM, rgsd/ryd

DEMOLITION NOTES

- 1. THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY: 22630 DAVIS DRIVE, SUITE 200 STERLING, VIRGINIA 20164 ENTITLED "ALTA/ACSM LAND TITLE SURVEY, CHICK-FIL-A, INC. #10985, JOHNS HOPKINS ROAD, 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND" DATED: 7/21/06 PROJECT NO.: S065615.SR

SITE PLAN GENERAL NOTES

- 1. THIS PLAN IS BASED ON A SURVEY PREPARED BY: 22630 DAVIS DRIVE, SUITE 200 STERLING, VIRGINIA 20164 ENTITLED "ALTA/ACSM LAND TITLE SURVEY, CHICK-FIL-A, INC. #10985, JOHNS HOPKINS ROAD, 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND" DATED: 7/21/06 PROJECT NO.: S065615.SR

SITE PLAN GENERAL NOTES (CONTINUED)

- 23. ALL CONTRACTORS MUST CARRY STATUTORY WORKER'S COMPENSATION INSURANCE, EMPLOYER'S LIABILITY INSURANCE AND APPROPRIATE LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME BOHLER ENGINEERING, P.C., AND ITS SUBCONSULTANTS AS AN ADDITIONAL INSURED AND TO PROVIDE OF CONSTRUCTION.

GRADING NOTES (CONTINUED)

- 9. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT COMPLETED BY GILES ENGINEERING ASSOCIATES, INC., ENTITLED "PROPOSED CHICK-FIL-A RESTAURANT 10985 JOHNS HOPKINS ROAD, COLUMBIA, MARYLAND", PROJECT #36-0680004, DATED 9/13/06. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT.

GRADING NOTES

- 1. LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

UTILITY NOTES

- 1. MAINTENANCE OF ALL STORMWATER MANAGEMENT FACILITIES NOT LOCATED WITHIN PUBLIC RIGHT-OF-WAY SHALL BE THE RESPONSIBILITY OF THE LOT OWNER. STORMWATER MANAGEMENT FACILITIES SHALL BE MAINTAINED IN DESIGN CONDITION AND FREE OF FILL AND OBSTRUCTIONS.

UTILITY NOTES (CONTINUED)

- 5. ANY SEDIMENT CONTROL MEASURES REMOVED FOR THE PURPOSE OF UTILITY CONSTRUCTION SHALL BE REPLACED AT THE END OF THE DAY BY THE UTILITY CONTRACTOR.

GENERAL NOTE: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION.



AS-BUILT CERTIFICATION

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.

Handwritten signature and date 5/9/07.

Table with columns: BULK REQUIREMENTS, REQUIRED, PROPOSED RESTAURANT, PROPOSED OFFICE/RETAIL BUILDING. Rows include setbacks for various areas like John's Hopkins Road and West Side.

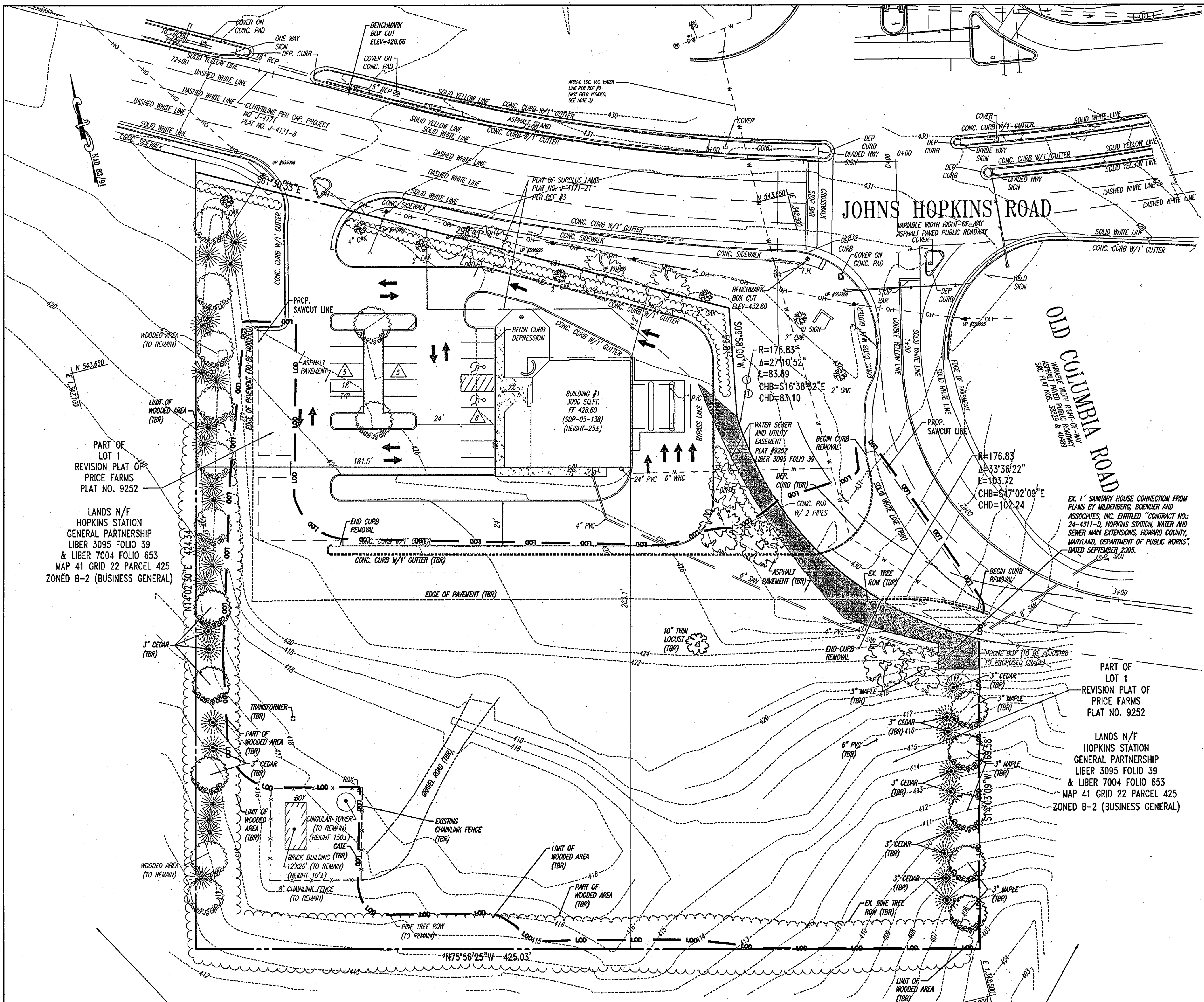
PARKING REQUIREMENTS: BANK: FIVE SPACES/1,000 S.F. OF FLOOR AREA... FAST FOOD RESTAURANT: 14 SPACES/1,000 S.F....

MISS UTILITY logo and AS-BUILT stamp with signatures and dates.

APPROVED: DEPARTMENT OF PLANNING AND ZONING stamp with signatures and dates.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS stamp with signatures and dates.

GENERAL NOTES and BOHLER ENGINEERING, P.C. logo and contact information.



**NOTES:**

- PROPERTY IS KNOWN AS LOT 1, "REVISION PLAT OF PRICE FARMS" AS RECORDED ON PLAT NUMBER 9252, ALSO KNOWN AS THE LANDS OF HOPKINS STATION GENERAL PARTNERSHIP, AS RECORDED IN LIBER 3095 FOLIO 39, AND IN LIBER 7004 FOLIO 653 AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AND HAVING A TAX MAP NUMBER OF 41-22-425.
- TOTAL SITE AREA 156,380 SQUARE FEET OR 3.59 ACRES.
- LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE.
- ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBUILT PLANS AND UTILITY MARK-OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.
- THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- THIS SURVEY IS PREPARED WITH REFERENCE TO A TITLE COMMITMENT REPORT PREPARED BY CHICAGO TITLE INSURANCE COMPANY, COMMITMENT NUMBER 4505-44213, EFFECTIVE DATE OCTOBER 23, 2005, AND REVISED DECEMBER 7, 2005. OUR OFFICE HAS REVIEWED THE FOLLOWING SURVEY RELATED EXCEPTIONS IN SCHEDULE B, SECTION II:
- THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
- ELEVATIONS ARE BASED ON NGVD29 AS REFERENCED TO WSSC STATION 19790 WITH A PUBLISHED ELEVATION OF 445.5 FEET. EXISTING TOPOGRAPHY OF THE SWALE SHOWN IN 2 FOOT INTERVALS ARE FROM PLANS BY MILDENBERG, BOENDER AND ASSOCIATES, INC. TITLED "SITE DEVELOPMENT PLAN, HOPKINS STATION (PRICE FARMS, LOT 1) FIFTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND" DATED JANUARY 2006, SDP-05-138.
- THE PROPERTY IS LOCATED IN ZONE C (AREAS OF MINIMAL FLOODING) PER PLAN REFERENCE #2.
- WATER UTILITIES ARE SHOWN PER FIELD LOCATION OF ABOVE GROUND STRUCTURES AND PLANS RECEIVED FROM UTILITY COMPANIES AND LOCAL GOVERNMENT OFFICES.
- ALL MATTERS SHOWN ON LEGIBLE RECORDED PLATS THAT ARE WITHIN THE LIMITS OF THIS SURVEY ARE SHOWN.

**REFERENCES:**

- THE MARYLAND DEPARTMENT OF ASSESSMENTS AND TAXATION RECORDS FOR HOWARD COUNTY, MARYLAND, MAP NUMBER 41.
- MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND, PANEL 3B OF 45", COMMUNITY-PANEL NUMBER 240044 0038 B, MAP EFFECTIVE DATE DECEMBER 4, 1986.
- MAP ENTITLED "HOPKINS STATION, 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND," DATED SEPTEMBER 2005, PREPARED BY MILDENBERG, BOENDER AND ASSOCIATES, INC.
- MAP ENTITLED "REVISION PLAT OF PRICE FARMS, LOT 1" DATED FEBRUARY 12, 1990, PREPARED BY TRACY, SCHULTE & ASSOCIATES, INC.
- REPORT ENTITLED "DEVELOPMENT INVESTIGATION REPORT FOR CHICK-FIL-A" PREPARED BY BOHLER ENGINEERING, P.C. DATED NOVEMBER 2005.

SEE SHEET 2 FOR ADDITIONAL NOTES

**AS-BUILT**

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*[Signature]* DATE 7/19/07  
 CHIEF-DEVELOPMENT ENGINEERING DIVISION  
*[Signature]* DATE 8/13/07  
 CHIEF-DIVISION & LAND DEVELOPMENT  
*[Signature]* DATE 8/13/07  
 DIRECTOR  
 APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.  
*[Signature]* DATE 8/13/07  
 COUNTY HEALTH OFFICER  
 HOWARD COUNTY HEALTH DEPARTMENT

NO.	DATE	REVISION DESCRIPTION
OWNER:	HOPKINS STATION GENERAL PARTNERSHIP C/O BRANTLEY DEVELOPMENT GROUP 8835 COLUMBIA 100 PARKWAY, SUITE P COLUMBIA, MD 21045 PHONE: (410) 730-0810	DEVELOPER: CHICK-FIL-A 5200 BUFFINGTON ROAD ATLANTA, GA 30349-2998 C/O SCOTT PATMAN COLUMBIA, MD 21045 PHONE: (404) 684-8660

CHICK-FIL-A RESTAURANT & GENERAL OFFICE/RETAIL BUILDING  
 PART OF LOT 1, HOPKINS STATION (FORMER PRICE FARMS, LOT1)  
 JOHNS HOPKINS ROAD  
 LAUREL, HOWARD COUNTY, MARYLAND

AREA 3.59 AC. TAX MAP 41 GRID 22 ZONED B-2  
 PARCEL 425 L. 3,095, F. 39 & L. 7004, F. 653  
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

**EXISTING CONDITIONS AND DEMOLITION PLAN**

**BOHLER ENGINEERING, P.C.**  
 PROFESSIONAL ENGINEERING SERVICES  
 8110 CLEMENSLEIGH COURT, SUITE 300, TOWSON, MD 21286  
 (410) 251-7900 FAX: (410) 251-7901 I: BOHLERENR.COM

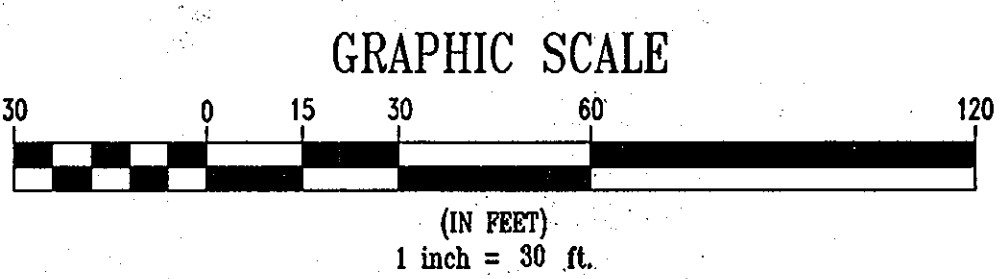
DESIGNED BY: JD  
 DRAWN BY: RLB  
 PROJECT NO.: MD056502.1  
 DATE: 9/28/06  
 SCALE: 1"=30'  
 DRAWING NO. 3 OF 28  
 SDP # 07-033



**AS-BUILT CERTIFICATION**

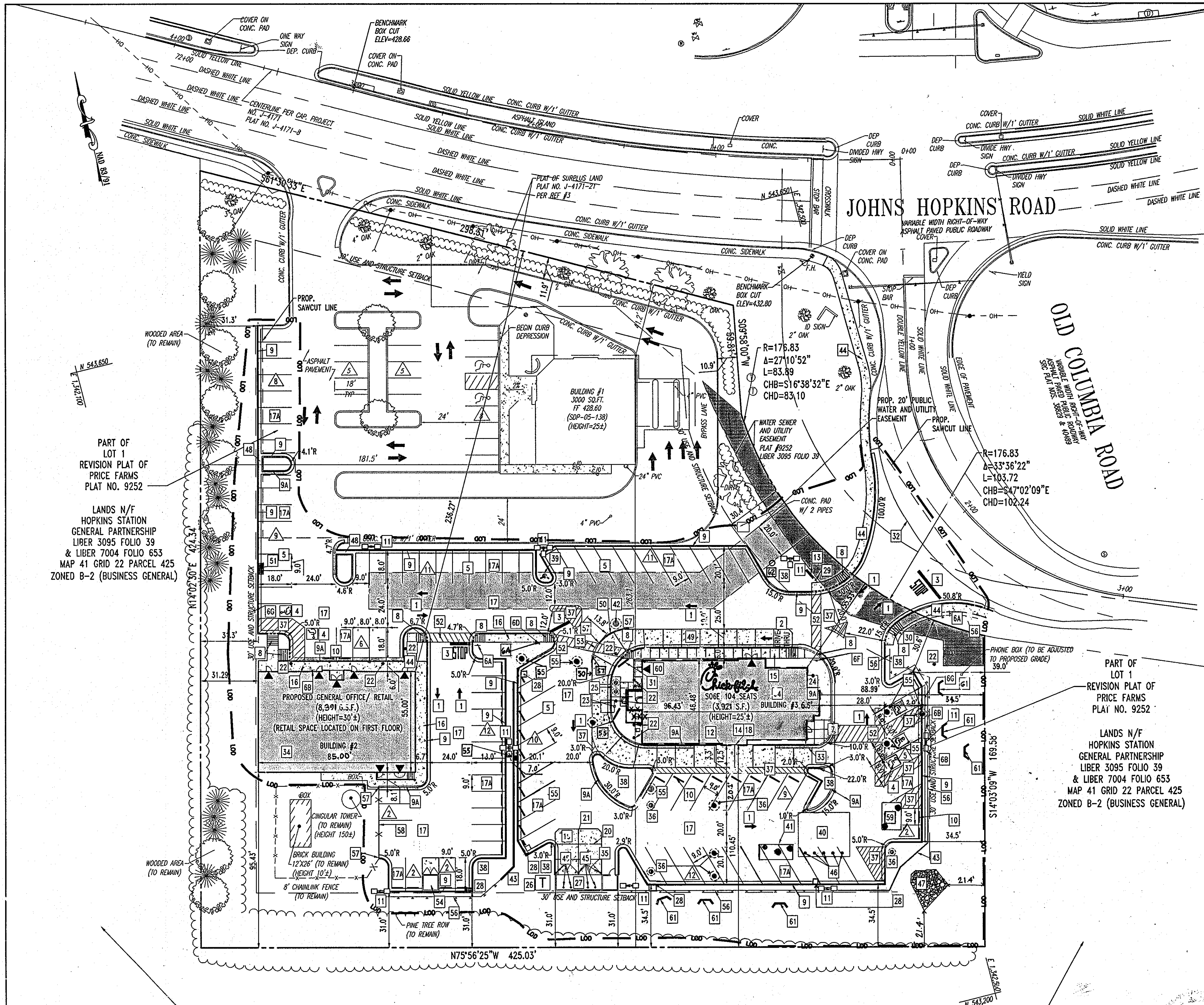
THIS IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.

*[Signature]* DATE 9/19/2007  
 MICHAEL D. ADCOCK, PROFESSIONAL LAND SURVEYOR  
 MD REG. NO. 21277, EXPIRATION DATE: 06-16-15



**GENERAL NOTE:**  
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY BOHLER ENGINEERING, P.C. IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY BOHLER ENGINEERING, P.C. SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

M:\05\01-01-01-01-01-01-01\05\01-01-01-01-01-01-01.dwg, 7/9/2007 8:10:00 AM, rgsdfry



**SITE PLAN DESIGN NOTES & KEY PLAN**

- 1 DIRECTIONAL ARROW (TYP.)
- 2 DRIVE-THRU GRAPHICS
- 3 STOP LINE GRAPHIC
- 4 PAINTED HANDICAP PARKING SYMBOL (TYP.)
- 5 STANDARD PARKING STALL & STRIPING DETAIL (TYP.)
- 6 DIRECTIONAL SIGNAGE
- 7 CHICK-FIL-A MAIN ENTRY HANDICAP RAMP
- 8 CURBED RAMP DETAIL
- 9 24" CURB AND GUTTER - CATCHING
- 9A 24" CURB AND GUTTER - SPILLING
- 10 CONCRETE WHEEL STOP (TYP.)
- 11 TYPICAL LIGHT/POLE BASE DETAIL (TYP.)
- 12 BOLLARD AT DRIVE-THRU
- 13 MONUMENT SIGN WITH BUILDING ADDRESS (BOTH PROPOSED BUILDINGS)
- 14 CURB SECTION AT DRIVE-THRU
- 15 TYPICAL SIDEWALK DETAIL WITH FRAME PATTERN & BRUSH PATTERN
- 16 TYPICAL SIDEWALK DETAIL WITH CURB & GUTTER SECTION
- 17 6"/2"/1" ASPHALT PAVEMENT SECTION (DRIVE LANES)
- 17A 6"/2"/1" ASPHALT PAVEMENT SECTION (PARKING STALLS)
- 18 6" CONCRETE PAVEMENT SECTION AT DRIVE-THRU
- 19 SECTION THROUGH CONCRETE APRON AT DUMPSTER
- 20 TRAVERSE & LONGITUDINAL CONTRACTION JOINTS
- 21 TRAVERSE & LONGITUDINAL DOWELED CONSTRUCTION JOINTS
- 22 PROPOSED CLEANOUT
- 23 MENU BOARD & CANOPY ORDERING STATION HGT. = 11', CLEARANCE = 13'-6"
- 24 FLAGPOLE EXC SERIES 50 FOOT FLAG POLE PACKAGE, BY APPROVED VENDORS; THE FLAG COMPANY OR ATLAS FLAGS, (ADVERTISING FLAGS ARE PROHIBITED.)
- 25 GREASE TRAP
- 26 PROPOSED TRANSFORMER (TO SERVE CHICK-FIL-A, GENERAL OFFICE/RETAIL BUILDING AND CELL PHONE TOWER)
- 27 DUMPSTER/STORAGE BUILDING
- 28 INLET (HOWARD COUNTY STD. DETAIL SD-4.22)
- 29 CHICK-FIL-A "ENTER" SIGN
- 30 CHICK-FIL-A "EXIT" SIGN
- 31 PRESELL MENU BOARD
- 32 THE CONTRACTOR SHALL INSTALL NECESSARY TRAFFIC CONTROL, SAFETY BARRICADES, LIGHTING, AND OTHER REQUIRED CONTROL MEASURES TO SECURE THE WORK AREA FROM EXISTING TRAFFIC AND TO ASSURE PUBLIC SAFETY.
- 33 BITUMASTIC EXPANSION JOINT, TYPICAL. INSTALL EXPANSION JOINT BETWEEN ALL CONCRETE PAVEMENT INTERFACE WITH BUILDINGS, CURB & GUTTER, AND OTHER CONSTRAINED OBJECTS.
- 34 SITE CONTRACTOR SHALL REFER TO ARCHITECT PLANS FOR THE EXACT DIMENSIONS OF THE BUILDING AND THE LOCATION OF DOORWAYS, UTILITIES, ETC.
- 35 GATES TO BE INSTALLED BY BUILDING CONTRACTOR WITH DUMPSTER STRUCTURE. COORDINATE WITH PAVEMENT INSTALLATION.
- 36 MANHOLE (HOWARD COUNTY STD. DETAIL G 5.11)
- 37 4" WIDE WHITE STRIPING
- 38 LANDSCAPE ISLAND
- 39 PROPOSED FIRE HYDRANT
- 40 PROPOSED STORMWATER MANAGEMENT RECHARGE FACILITY (SEE SHEET 19 FOR DETAIL)
- 41 8x18 VOLUME STORMFILTERER (SEE SHEET 18 FOR DETAIL)
- 42 PROPOSED SANITARY MANHOLE (HOWARD COUNTY STD. DETAIL G 5.12)
- 43 PROPOSED RETAINING WALL WITH SAFETY RAIL (REFER TO RETAINING WALL DESIGN)
- 44 PROPOSED CONCRETE SIDEWALK
- 45 PROPOSED BOLLARDS AT TRASH ENCLOSURE
- 46 TRAFFIC BEARING CLEANOUT
- 47 PROPOSED HEADWALL (HOWARD COUNTY STD. SD 5.11) WITH RIP RAP OUTFALL
- 48 2' FLUME
- 49 PROPOSED LOADING AREA (TO BE USED AFTER RESTAURANT OPERATION HOURS)
- 50 CONCRETE CURB
- 51 INLET (HOWARD COUNTY STD. DETAIL SD-4.23)
- 52 PROPOSED CROSSWALK
- 53 PROPOSED 5' CURB CUT
- 54 PROPOSED DUMPSTER WITH CONCRETE APPROACH PAD WITH WOODEN SCREENING FENCE

- 55 ACCESS MANHOLE
- 56 PROPOSED GUARD RAIL
- 57 NOSE DOWN CURB
- 58 PROPOSED CHAINLINK FENCE
- 59 PROPOSED OUTLET STRUCTURE (SEE SHEET 19 FOR DETAIL)
- 60 PROPOSED STEPS (SEE SHEET 5 FOR DETAIL)
- 61 PROPOSED TREE WELL (SEE SHEET 16 FOR DETAIL)
- 62 3/4" WATER METER FOR IRRIGATION

**AS-BUILT CERTIFICATION**

I HEREBY CERTIFY, BY MY SEAL, THAT THE CONDITIONS SHOWN ON THIS PLAN WERE CONSTRUCTED TO THE LINES AND GRADES SHOWN ON THIS "AS-BUILT" PLAN, AND MEET THE APPROVED PLANS AND SPECIFICATIONS AND ALSO THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE AND THAT I AM A FULLY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND.

*Michael D. Adcock*  
 MICHAEL D. ADCOCK, PROFESSIONAL LAND SURVEYOR  
 MD REG. NO. 21287, EXPIRATION DATE: 06-16-15



FOR REVISION 3 ONLY



FOR REVISION 2 ONLY



FOR REVISION 1 ONLY

**AS-BUILT**

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*Michael D. Adcock* 7/19/15  
 CHIEF-DEVELOPMENT ENGINEERING DIVISION DATE

*Chris Hamilton* 8/18/15  
 CHIEF-DIVISION & LAND DEVELOPMENT DATE

*Mark Taylor* 8/18/15  
 DIRECTOR DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.

*B. Wilson for Peter Reselmann* 8/18/15  
 COUNTY HEALTH OFFICER DATE  
 HOWARD COUNTY HEALTH DEPARTMENT 1980

3 1/7/15	SEE SAGA REVISED FOR CFA BUILDING
7 2/21/15	IRRIGATION LINE & CFA SERVICE YARD REVISIONS
1 12/08/17	RETAIL BLDG AREA & ACCESS PLOT LOCATIONS
NO.:	REVISION DESCRIPTION

OWNER: HOPKINS STATION GENERAL PARTNERSHIP  
 C/O BRANTLY DEVELOPMENT GROUP  
 8835 COLUMBIA  
 100 PARKWAY, SUITE P  
 COLUMBIA, MD 21045  
 PHONE: (410) 730-0810

DEVELOPER: CHICK-FIL-A  
 5200 BUFFINGTON ROAD  
 ATLANTA, GA 30349-2998  
 C/O SCOTT PATMAN  
 PHONE: (404) 684-8660

CHICK-FIL-A RESTAURANT & GENERAL OFFICE/RETAIL BUILDING  
 PART OF LOT 1, HOPKINS STATION (FORMER PRICE FARMS, LOT1)  
 JOHNS HOPKINS ROAD  
 LAUREL, HOWARD COUNTY, MARYLAND

AREA 3.59 AC. TAX MAP 41 GRID 22 ZONED B-2  
 PARCEL 425 L. 3,095, F. 39 & L. 7004, F. 653  
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

**SITE PLAN**

**BOHLER ENGINEERING, P.C.**  
 \*PROFESSIONAL ENGINEERING SERVICES  
 #810 GLENARCADES COURT, SUITE 300, TOWSON, MD 21286-4100  
 #410 BELT-Road (I-83/295) INTERCHANGE, LAUREL, MD 21045

BEFORE YOU DIG CALL 1-800-367-7777  
 PROTECT YOURSELF - ONE TWO WORKING DAYS NOTICE

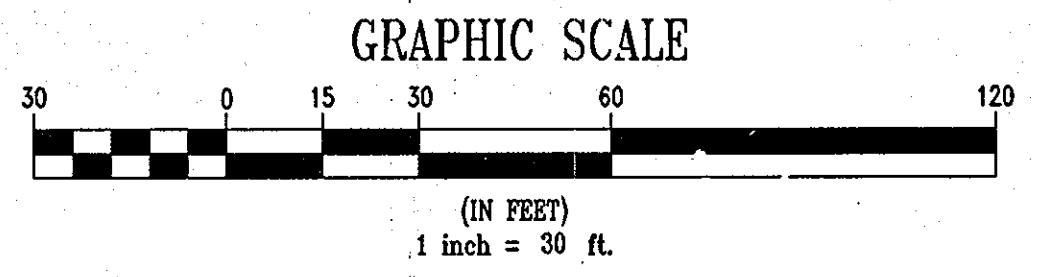
THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREOF APPROPRIATE.

THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

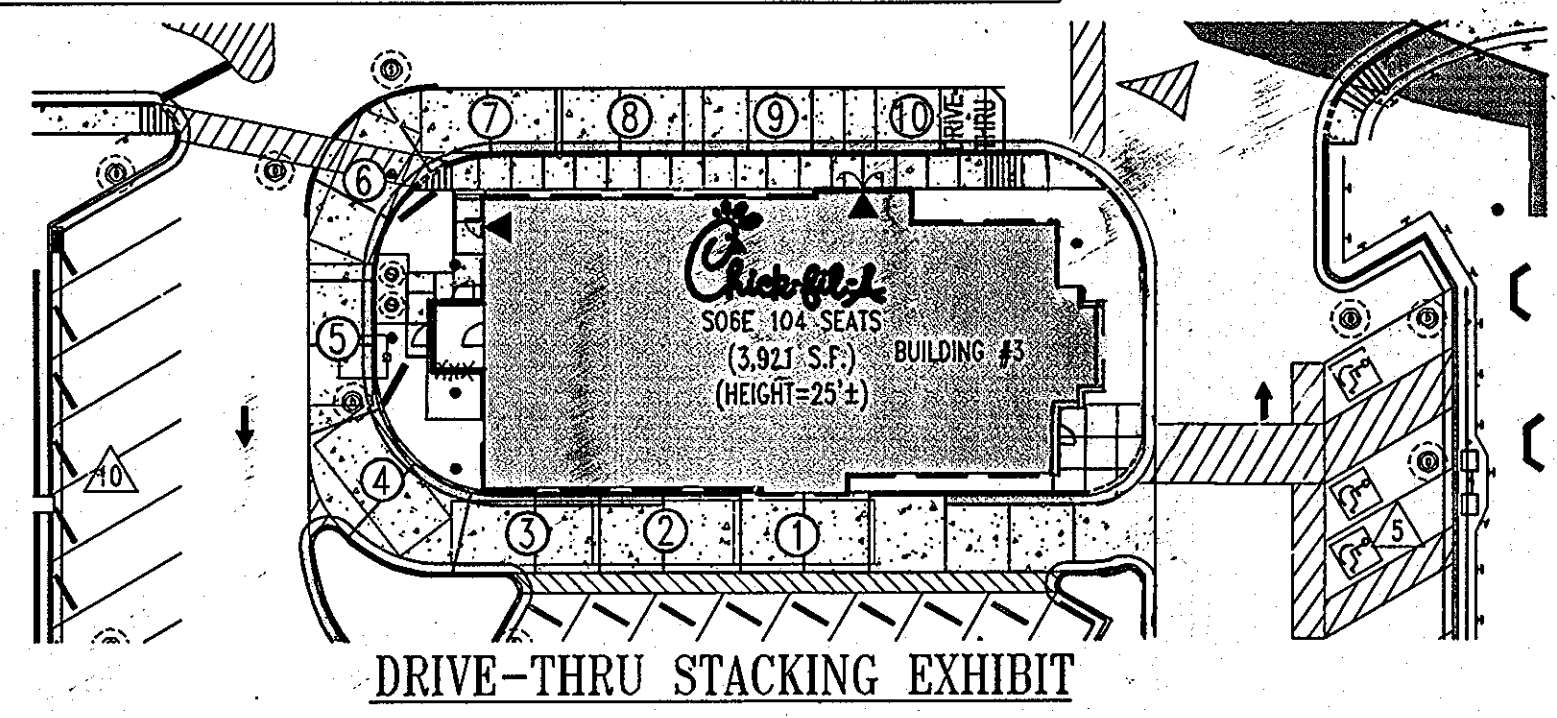
REVISIONS: 12/15/06  
 DESIGNED BY: JD  
 DRAWN BY: RLB  
 PROJECT NO.: MD056502.1  
 DATE: 9/28/06  
 SCALE: 1"=30'  
 DRAWING NO. 4. CF 28

MATTHEW T. ALLEN  
 PROFESSIONAL ENGINEER NO. 28567

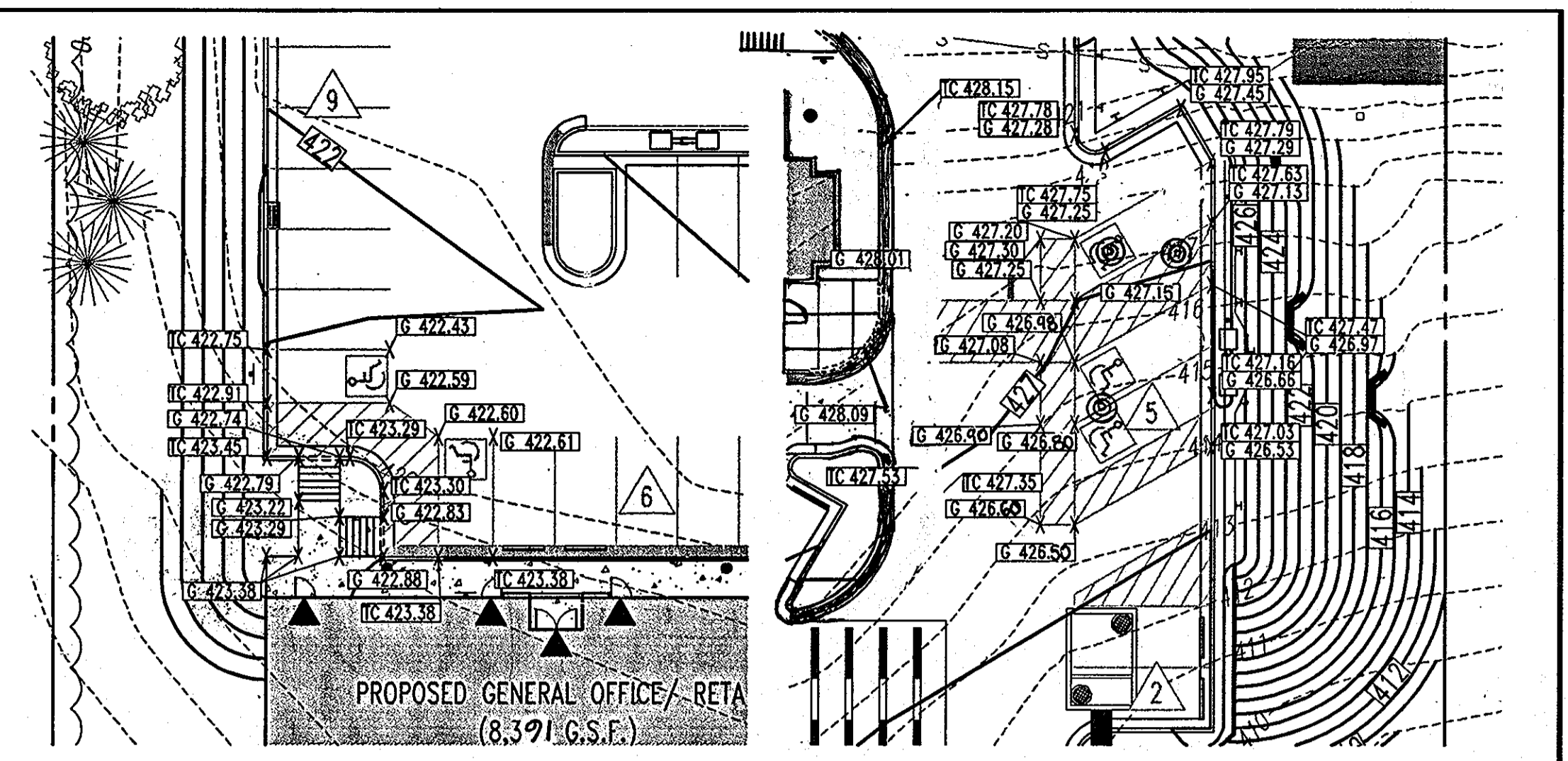
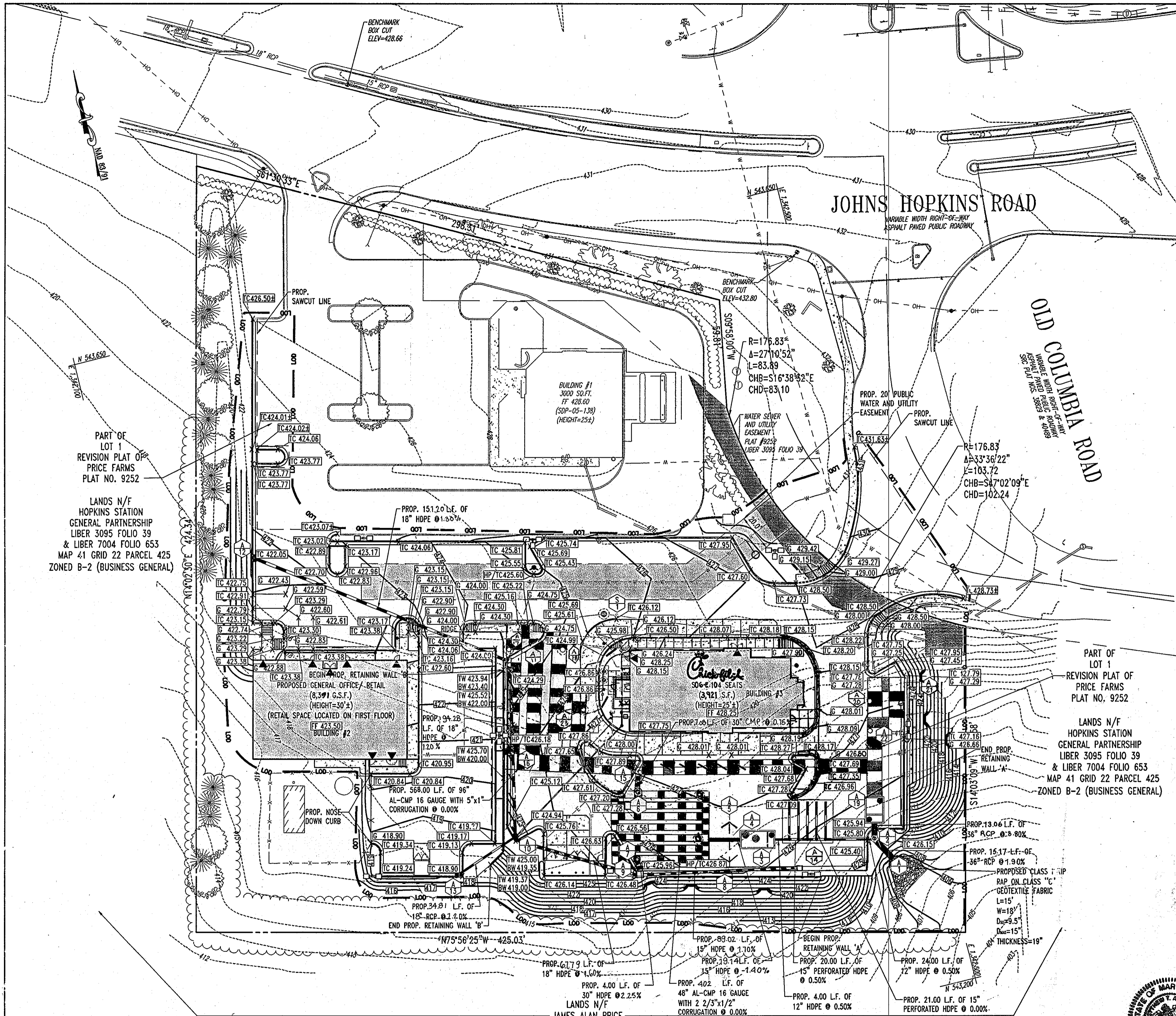
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LANDS N/F  
 JAMES ALAN PRICE  
 LIBER 5359 FOLIO 489  
 JAMES ALAN PRICE, TR. OF THE MILDRED B. PRICE  
 FAMILY LIVING TRUST  
 LIBER 5359 FOLIO 486  
 MAP 41 GRID 22 PARCEL 128  
 ZONED RR-MXD-3 (RESIDENTIAL)

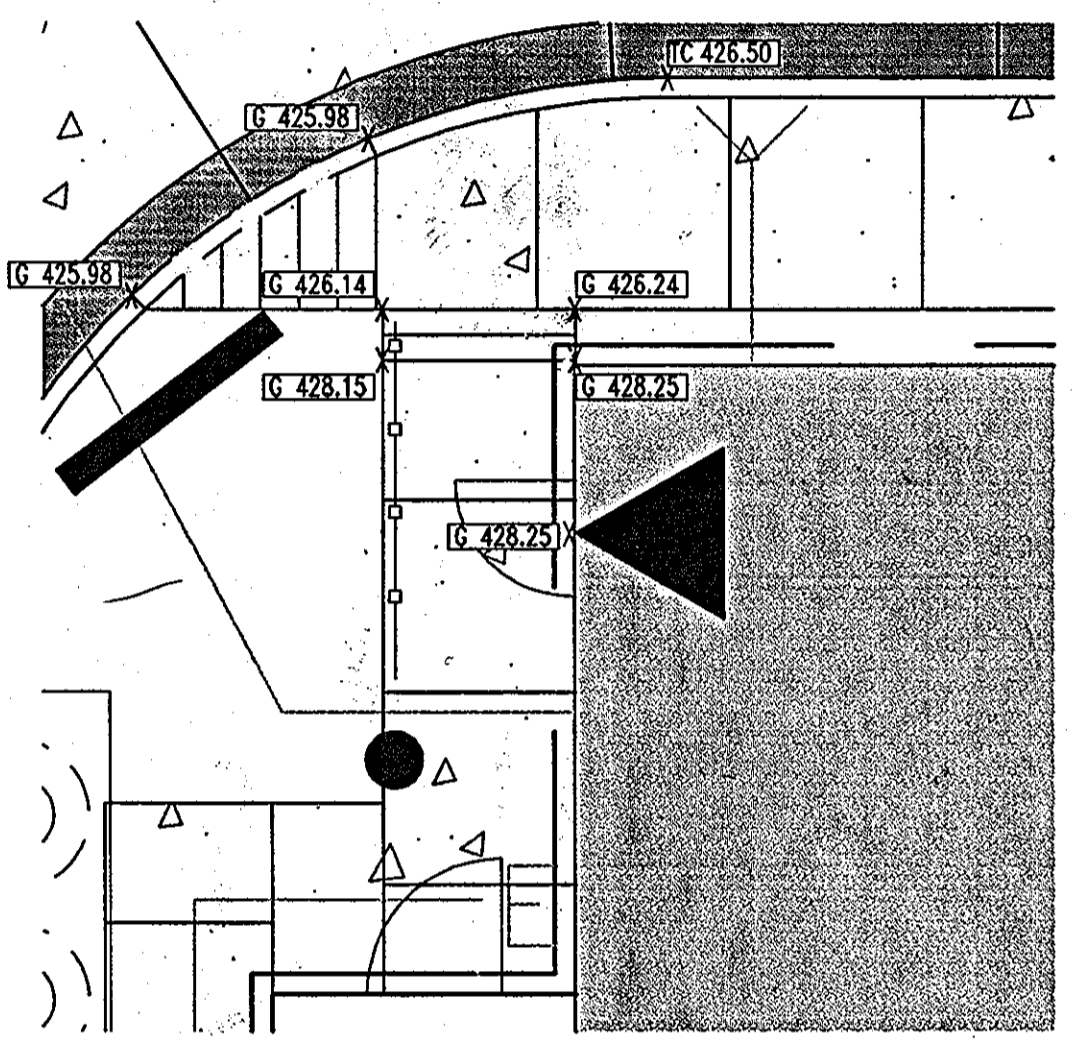


**DRIVE-THRU STACKING EXHIBIT**  
 SCALE 1"=30'



**HANDICAP PARKING BLOW UP**  
SCALE: 1"=20'

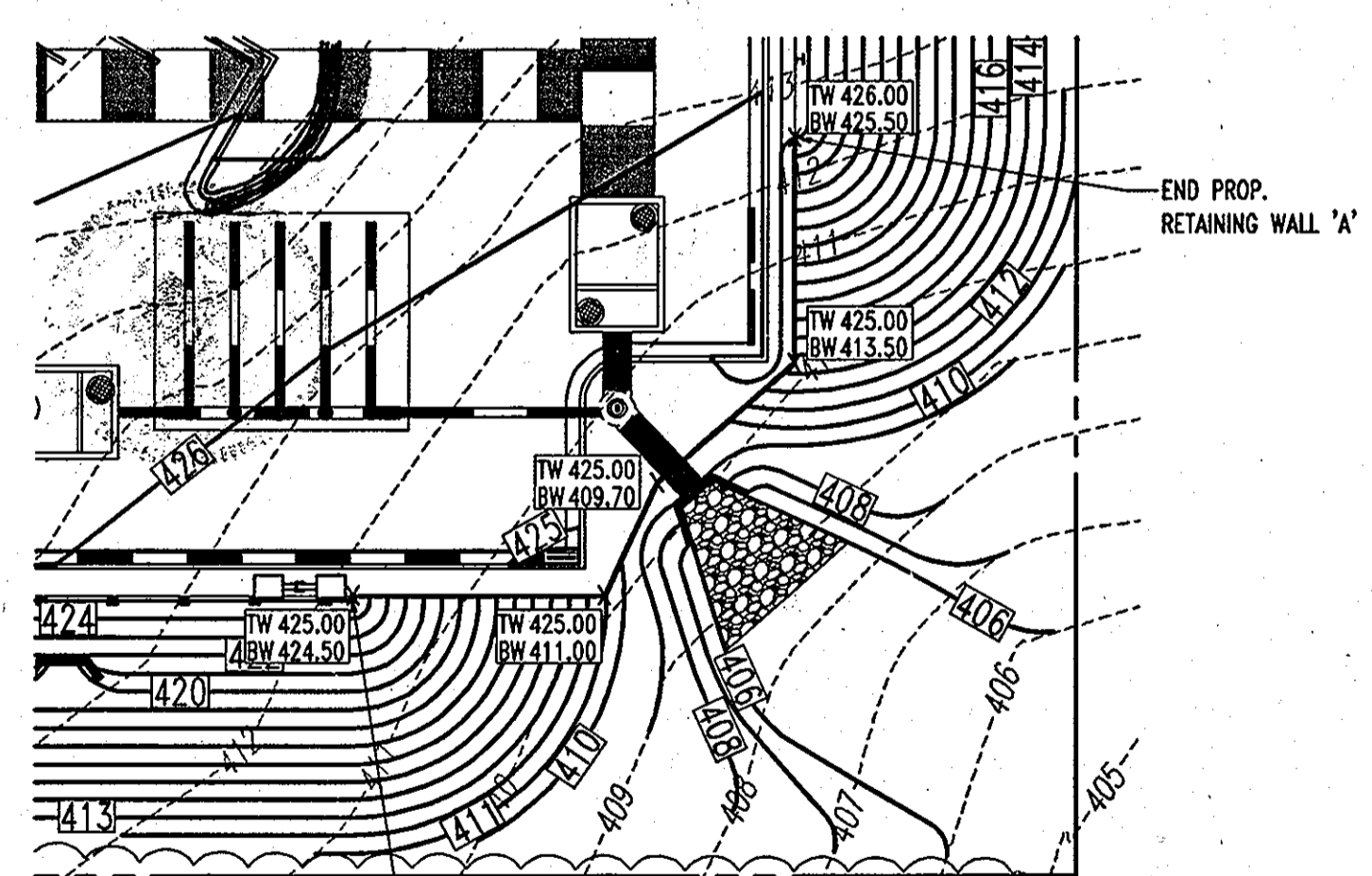
**HANDICAP PARKING BLOW UP**  
SCALE: 1"=20'



**STEPS BLOW UP**  
SCALE: 1"=5'

**LEGEND:**

- 123 PROPOSED CONTOUR
- EXISTING CONTOUR
- x [TC 504.50] PROPOSED ELEVATION SPOT
- TC TOP OF CURB
- G GROUND
- TW TOP OF WALL
- BW BOTTOM OF WALL
- TG TOP OF GRATE
- PROPOSED STORM SEWER
- EXISTING STORM SEWER
- PROPOSED SANITARY SEWER
- EXISTING SANITARY SEWER
- PROPOSED UNDERGROUND GAS
- EXISTING UNDERGROUND GAS
- PROPOSED UNDERGROUND WATER
- EXISTING UNDERGROUND WATER
- PROPOSED UNDERGROUND ELECTRIC
- EXISTING UNDERGROUND ELECTRIC
- PROPOSED UNDERGROUND TELEPHONE
- EXISTING UNDERGROUND TELEPHONE
- OH --- OH --- EXISTING OVERHEAD LINES
- LOO --- LOO --- LIMIT OF DISTURBANCE
- SPILL CURB



**RETAINING WALL BLOW UP**  
SCALE: 1"=20'

**AS-BUILT**

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*William J. ...* 7/10/07 DATE  
 CHIEF-DEVELOPMENT ENGINEERING DIVISION  
*Cynthia Hamlett* 8/13/07 DATE  
 CHIEF-DIVISION & LAND DEVELOPMENT  
*Mark ...* 8/13/07 DATE  
 DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.  
*B. ...* 8/21/07 DATE  
 COUNTY HEALTH OFFICER  
 HOWARD COUNTY HEALTH DEPARTMENT

NO.	DATE	REVISION DESCRIPTION
4	6/06/13	LENGTH OF STORM PIPE REVISION
3	1/07/08	SIZE & AREA FOR CFA BUILDING REVISION
2	12/21/07	IRRIGATION LINE & CFA SERVICE YARD REVISIONS
1	12/09/07	RETAIL SIGN AREA REVISIONS

OWNER: HOPKINS STATION GENERAL PARTNERSHIP  
 C/O BRANTLY DEVELOPMENT GROUP  
 8835 COLUMBIA  
 100 PARKWAY, SUITE P  
 COLUMBIA, MD 21045  
 PHONE: (410) 730-0810

DEVELOPER: CHECK-FIL-A  
 5200 BUFFINGTON ROAD  
 ATLANTA, GA 30349-2998  
 C/O SCOTT PATHMAN  
 PHONE: (404) 684-8660

CHECK-FIL-A RESTAURANT & GENERAL OFFICE/RETAIL BUILDING  
 PART OF LOT 1, HOPKINS STATION (FORMER PRICE FARMS, LOT1)  
 JOHN'S HOPKINS ROAD  
 LAUREL, HOWARD COUNTY, MARYLAND

AREA 3.59 AC. TAX MAP 41 GRID 22 ZONED B-2  
 PARCEL 425 L. 3,095, F. 39 & L. 7004, F. 655  
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

**GRADING PLAN**

**BOHLER ENGINEERING, P.C.**  
 \*PROFESSIONAL ENGINEERING SERVICES\*  
 #810 GLENDALE COURT, SUITE 300, TOWSON, MD 21286  
 410-251-7770 FAX: 410-251-7771

BEFORE YOU DIG CALL  
 1-800-251-7770  
 PROTECT YOURSELF - ONE TWO WORKING DAYS NOTICE

THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREOF APPROPRIATE.

THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

REVISIONS:  
 DESIGNED BY: JD  
 DRAWN BY: RLB  
 PROJECT NO.: MD05602.1  
 DATE: 9/28/06  
 SCALE: 1"=30'  
 DRAWING NO. 5 OF 23

**GENERAL NOTE:**  
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY BOHLER ENGINEERING, P.C. IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY BOHLER ENGINEERING, P.C. SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

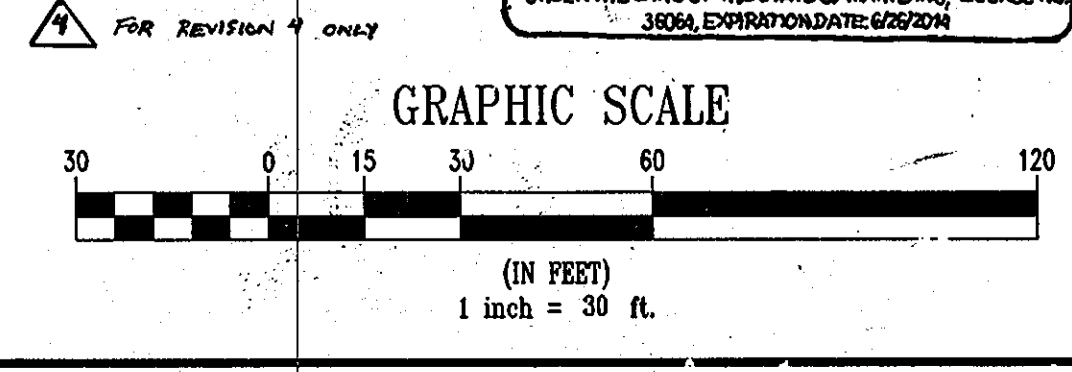
**AS-BUILT CERTIFICATION**  
 I HEREBY CERTIFY, BY MY SEAL, THAT THE CONDITIONS SHOWN ON THIS PLAN WERE CONSTRUCTED TO THE LINES AND GRADES SHOWN ON THIS "AS-BUILT" PLAN, AND MEET THE APPROVED PLANS AND SPECIFICATIONS AND ALSO THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND.

*Michael D. Adcock* 9/19/07 DATE  
 MICHAEL D. ADCOCK, PROFESSIONAL LAND SURVEYOR  
 MD REG. NO. 21297, EXPIRATION DATE: 06-16-16

**LANDS N/F**  
 JAMES ALAN PRICE  
 LIBER 5359 FOLIO 489  
 JAMES ALAN PRICE, TR., OF THE MILDRED B. PRICE  
 FAMILY LIVING TRUST  
 LIBER 5359 FOLIO 486  
 MAP 41 GRID 22 PARCEL 128  
 ZONED RR-MXD-3 (RESIDENTIAL)

**PROFESSIONAL CERTIFICATION**  
 I, JOSEPH J. ACCIARRO, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 3094, EXPIRATION DATE: 06/30/08.

*Joseph J. Acciarro* 6-18-13  
 JOSEPH J. ACCIARRO, PROFESSIONAL ENGINEER



FOR REVISION 3 ONLY



FOR REVISION 2 ONLY



FOR REVISION 1 ONLY

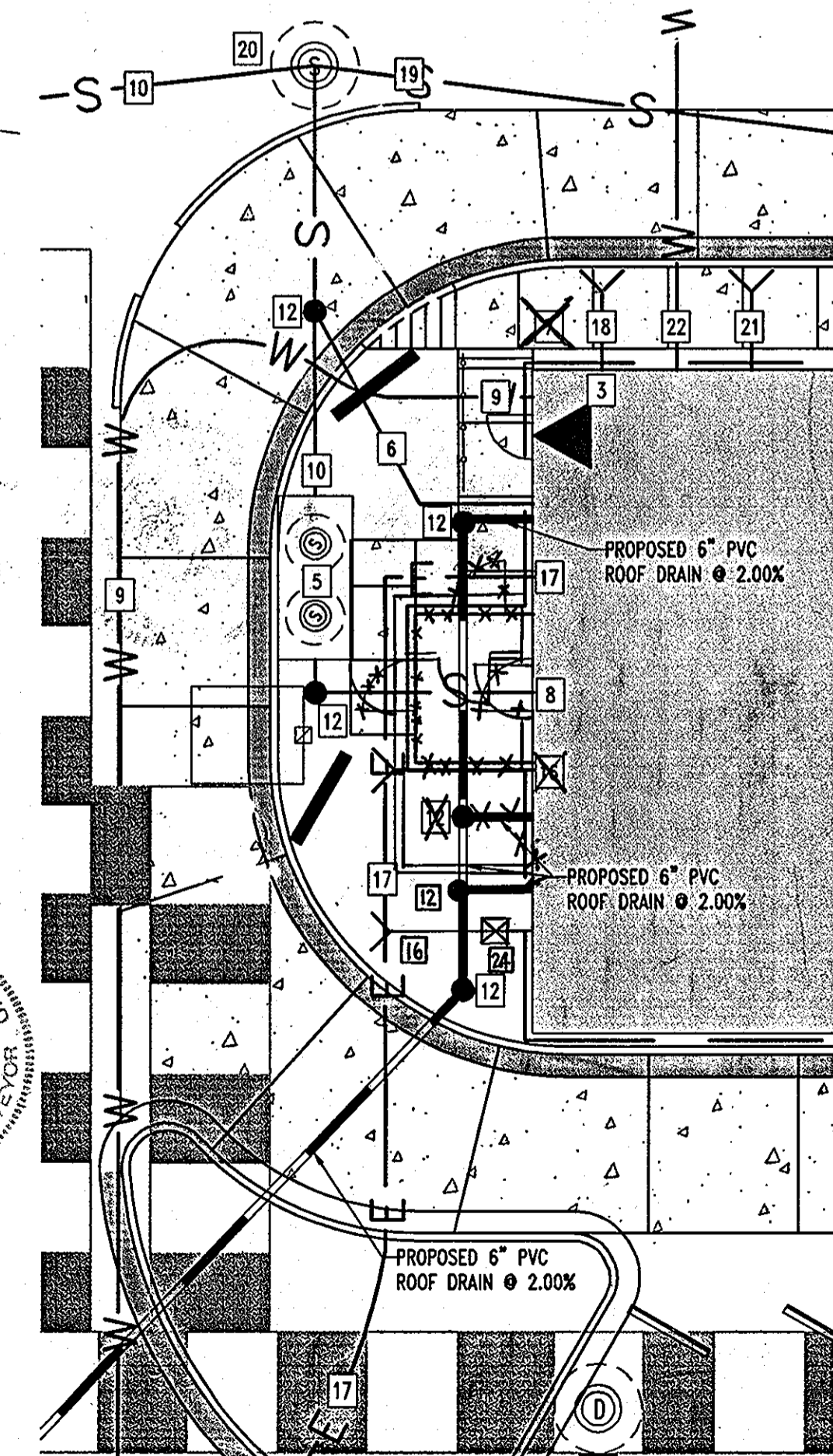
**UTILITY PLAN DESIGN NOTES & KEY PLAN**

- 1 THE CONTRACTOR SHALL PROVIDE THE NECESSARY FITTINGS TO CONNECT THE NEW SERVICE LINE EXTENSION TO THE PROPOSED SEWER MANHOLE (BY OTHERS). THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, MATERIAL AND INVERT ELEVATION PRIOR TO INSTALLING ANY SEWER FACILITIES. MINOR ADJUSTMENTS TO THE NEW SERVICE LINE INVERT ELEVATION MAY BE NECESSARY DEPENDING UPON FIELD MEASUREMENTS. CONTRACTOR SHALL FIELD VERIFY INVERTS PRIOR TO CONSTRUCTION & NOTIFY OWNER IF THERE IS ANY DISCREPANCY.
- CAUTION/WARNING  
THE CONTRACTOR SHALL USE EXTREME CAUTION TO PROPERLY SHEET, SHORE, AND DEWATER EXCAVATION TO COMPLETE THE CONNECTION IN A SAFE MANNER, AND WITHOUT DAMAGE OR SETTLEMENT TO EXISTING FACILITIES, ROAD OR SHOPPING CENTER DRIVE.
- 2 PROPOSED PUBLIC FIRE HYDRANT
- 3 1-1/2" WATER METER FOR DOMESTIC WATER. (TO BE LOCATED INSIDE OF THE BUILDING. SEE ARCHITECTURALS FOR DETAIL)
- 4 PROPOSED SANITARY MANHOLE
- 5 1,000 GALLON GREASE TRAP AND VENT LINES TO BE INSTALLED BY SITE UTILITY CONTRACTOR. COORDINATE INSTALLATION WITH BUILDING CONTRACTOR AND ARCHITECTURAL PLUMBING PLANS. CONNECT RESTROOM SERVICE LINE DOWNSTREAM OF GREASE TRAP OUTLET SIDE AT INVERT ELEVATION INDICATED. COORDINATE TOP ELEVATION OF GREASE TRAP WITH GRADING PLAN. MANHOLE TOPS SHALL BE SET 0.2" MIN. ABOVE GRADE. GREASE TRAP SHALL BE HOWARD COUNTY DPW STD.
- 6 4" SEWER LATERAL AND CLEANOUT FROM RESTROOM FACILITIES TO BE INSTALLED BY SITE UTILITY CONTRACTOR. COORDINATE INSTALLATION WITH BUILDING CONTRACTOR AND ARCHITECTURAL PLUMBING PLANS. BATHROOM LATERAL SHALL BY-PASS GREASE TRAP AND CONNECT BEYOND THE OUTLET SIDE.
- 7 DOMESTIC 1-1/2" TYPE "K" COPPER DRY TAP WATER SERVICE LINE LOCATION. SITE UTILITY CONTRACTOR SHALL INSTALL DOMESTIC WATER SERVICE LINE FROM THE PROPOSED WATER METER TO THE MAIN BUILDING CUTOFF VALVE. (SEE ARCHITECT-PLUMBING PLAN). 1" WATER LINE TYPE "K" COPPER FOR IRRIGATION WITH 3/4" METER.
- 8 4" KITCHEN LATERAL. INSTALL CLEANOUT APPROXIMATELY 10' FROM FACE OF BUILDING. COORDINATE WITH BUILDING CONTRACTOR AND ARCHITECTURAL PLUMBING PLANS. CONNECT KITCHEN LATERAL TO GREASE TRAP.
- 9 INSTALL 3/4" TYPE "K" COPPER WATER SERVICE (HOT & COLD) TO TRASH ENCLOSURE.
- 10 INSTALL 4" SCH 40 SANITARY SEWER PVC @ 2.00% SLOPE (MIN). SEE PROFILES FOR ACTUAL DESIGN AND SLOPE.
- 11 PROPOSED PUBLIC WATER SERVICE (SEE PLANS BY BOHLER ENGINEERING, P.C. TITLED "PUBLIC WATER EXTENSION, HOPKINS STATION" DATED 12/12/06. CONTRACT NO. 44-4469-D.
- 12 PROPOSED CLEANOUT
- 13 CONTRACTOR TO TEST PIT FOR EXACT LOCATION AND INVERT OF WATER SERVICE CONNECTION. CONTRACTOR TO NOTIFY BOHLER ENGINEERING P.C. IMMEDIATELY WITH ANY DISCREPANCIES.
- 14 CONTRACTOR TO TEST PIT FOR EXACT LOCATION AND INVERT OF SANITARY SEWER SERVICE CONNECTION. CONTRACTOR TO NOTIFY BOHLER ENGINEERING P.C. IMMEDIATELY WITH ANY DISCREPANCIES.
- 15 PROPOSED ELECTRIC TRANSFORMER
- 16 GAS SERVICE (CONTRACTOR TO COORDINATE EXACT LOCATION WITH RESPECTIVE UTILITY COMPANY)
- 17 ELECTRIC SERVICE (CONTRACTOR TO COORDINATE EXACT LOCATION WITH RESPECTIVE UTILITY COMPANY)
- 18 TELEPHONE SERVICE (CONTRACTOR TO COORDINATE EXACT LOCATION WITH RESPECTIVE UTILITY COMPANY)
- 19 PROPOSED PRIVATE 6" SDR 35 PVC SANITARY SEWER
- 20 PROPOSED SANITARY DROP MANHOLE
- 21 PROPOSED FIRE DEPARTMENT SIAMESE CONNECTION
- 22 PROPOSED 6" FIRE HOUSE CONNECTION
- 23 CONTRACTOR TO MAKE FIELD CONNECTION INTO STORMDRAIN SYSTEM
- 24 GAS METER LOCATION

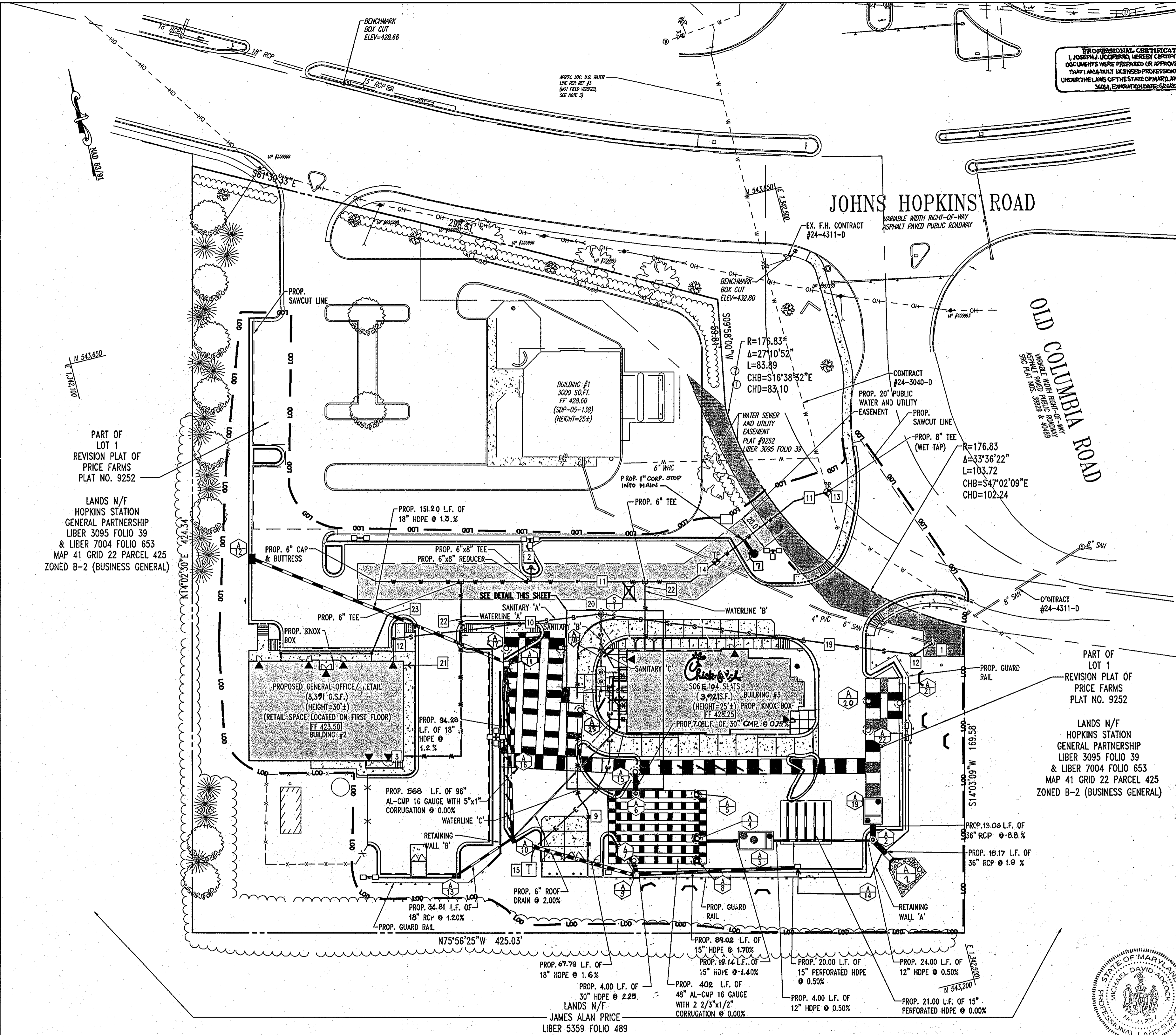
**AS-BUILT**

**UTILITY NOTES**

1. CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACK FILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE SHALL BE PLACED BELOW (DOWNSLOPE OF) TRENCH.
2. PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
3. ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.



**DETAIL FOR UTILITY PLAN**  
SCALE: 1"=10'



PROFESSIONAL CERTIFICATION  
I, JOSEPH J. COOPER, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 3664, EXPIRATION DATE 6/30/13

6-18-13  
FOR REVISION 4 ONLY

FOR REVISION 3 ONLY

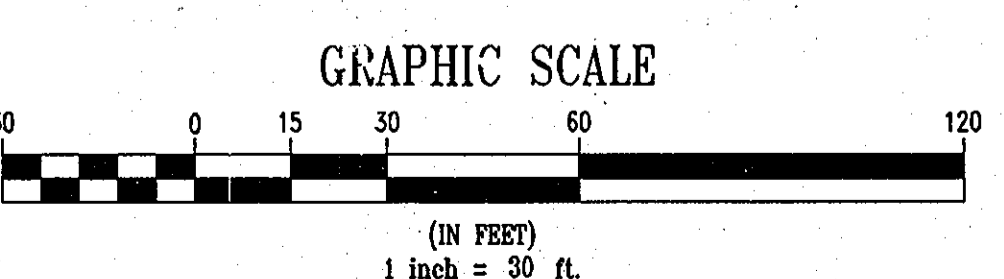
FOR REVISION 2 ONLY

FOR REVISION 1 ONLY

STATE OF MARYLAND  
MICHAEL D. ADOCK  
PROFESSIONAL LAND SURVEYOR  
MD REG. NO. 21297, EXPIRATION DATE: 06-16-15

AS-BUILT CERTIFICATION

I HEREBY CERTIFY, BY MY SEAL, THAT THE CONDITIONS SHOWN ON THIS PLAN WERE CONSTRUCTED TO THE LINES AND GRADES SHOWN ON THIS "AS-BUILT" PLAN, AND MEET THE APPROVED PLANS AND SPECIFICATIONS AND ALSO THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND.  
MICHAEL D. ADOCK, PROFESSIONAL LAND SURVEYOR  
MD REG. NO. 21297, EXPIRATION DATE: 06-16-15



**GENERAL NOTE:**  
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY BOHLER ENGINEERING, P.C. IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY BOHLER ENGINEERING, P.C. SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

JAMES ALAN PRICE  
LIBER 5359 FOLIO 489  
JAMES ALAN PRICE, TR., OF THE MILDRED B. PRICE FAMILY LIVING TRUST  
LIBER 5359 FOLIO 486  
MAP 41 GRID 22 PARCEL 128  
ZONED RR-MXD-3 (RESIDENTIAL)

PART OF LOT 1 REVISION PLAT OF PRICE FARMS PLAT NO. 9252  
LANDS N/F HOPKINS STATION GENERAL PARTNERSHIP LIBER 3095 FOLIO 39 & LIBER 7004 FOLIO 653 MAP 41 GRID 22 PARCEL 425 ZONED B-2 (BUSINESS GENERAL)

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
7/19/17  
7/19/17  
7/19/17  
7/19/17

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.  
8/2/17

NO.	DATE	REVISION DESCRIPTION
1	6/10/13	ISSUE OF ORIGINAL PAPER REVISION
2	1/7/08	SIZE 4 AREA REVISED FOR CFA BUILDING
3	2/21/08	IRRIGATION LINE (CFA SERVICE YARD REVISIONS)
4	12/09/07	RETAIL BLDG. AREA & ACCESS POINT LOCATIONS

OWNER: HOPKINS STATION GENERAL PARTNERSHIP C/O BRANTLY DEVELOPMENT GROUP 8835 COLUMBIA 100 PARKWAY, SUITE P COLUMBIA, MD 21046 PHONE: (410) 730-0810  
DEVELOPER: CHECK-FIL-A 5200 BUFFINGTON ROAD ATLANTA, GA 30349-2998 C/O SCOTT PATMAN PHONE: (404) 684-8660

AREA 3.59 AC. TAX MAP 41 GRID 22 ZONED B-2 PARCEL 425 L. 3,095, F. 39 & L. 7004, F. 653 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

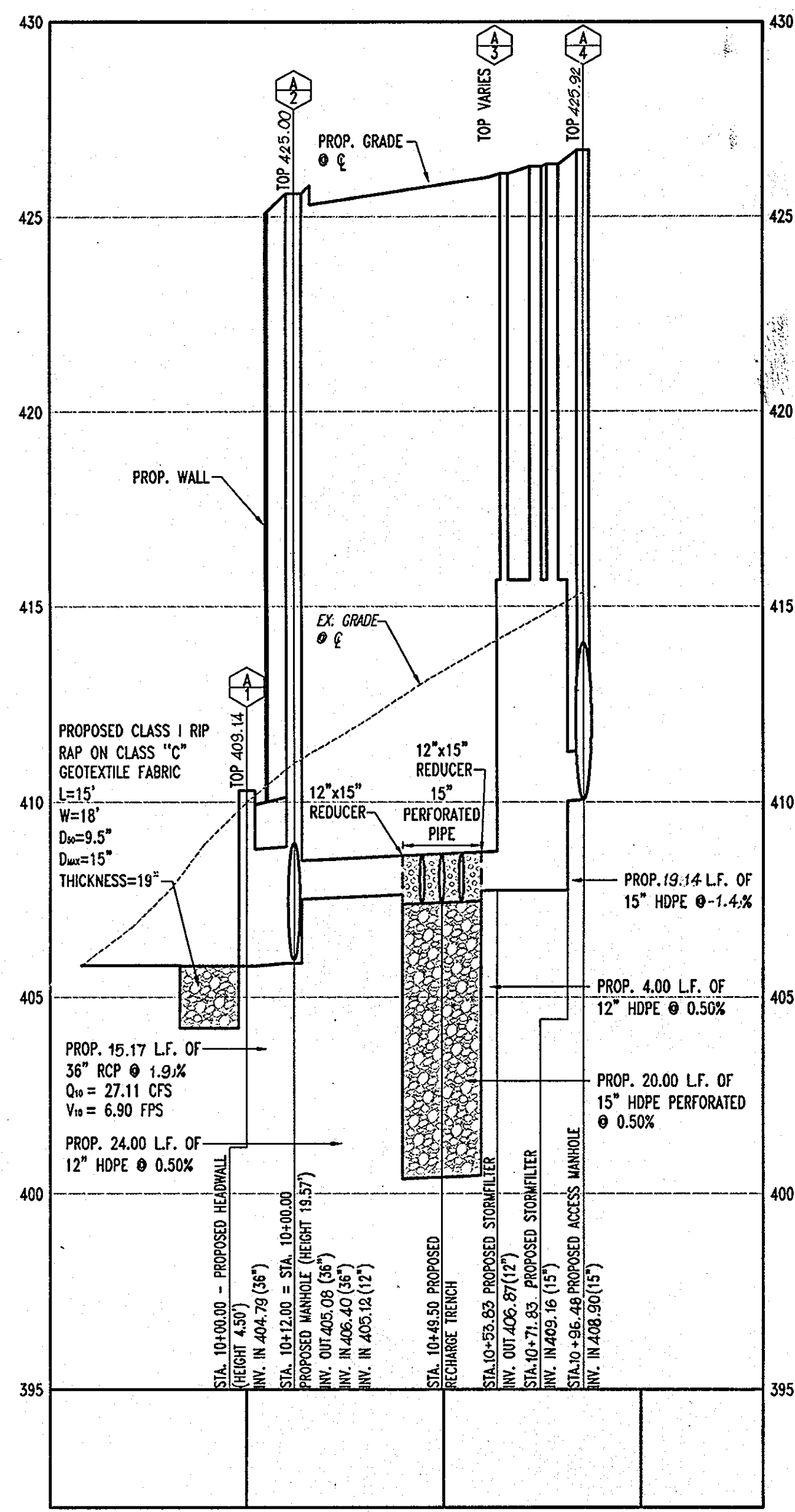
UTILITY PLAN  
**Bohler ENGINEERING, P.C.**

DESIGNED BY: JD  
DRAWN BY: RLB  
PROJECT NO.: MD056502.1  
DATE: 9/28/06  
SCALE: 1"=30'  
DRAWING NO. 6 OF 23  
PROFESSIONAL ENGINEER NO. 28567

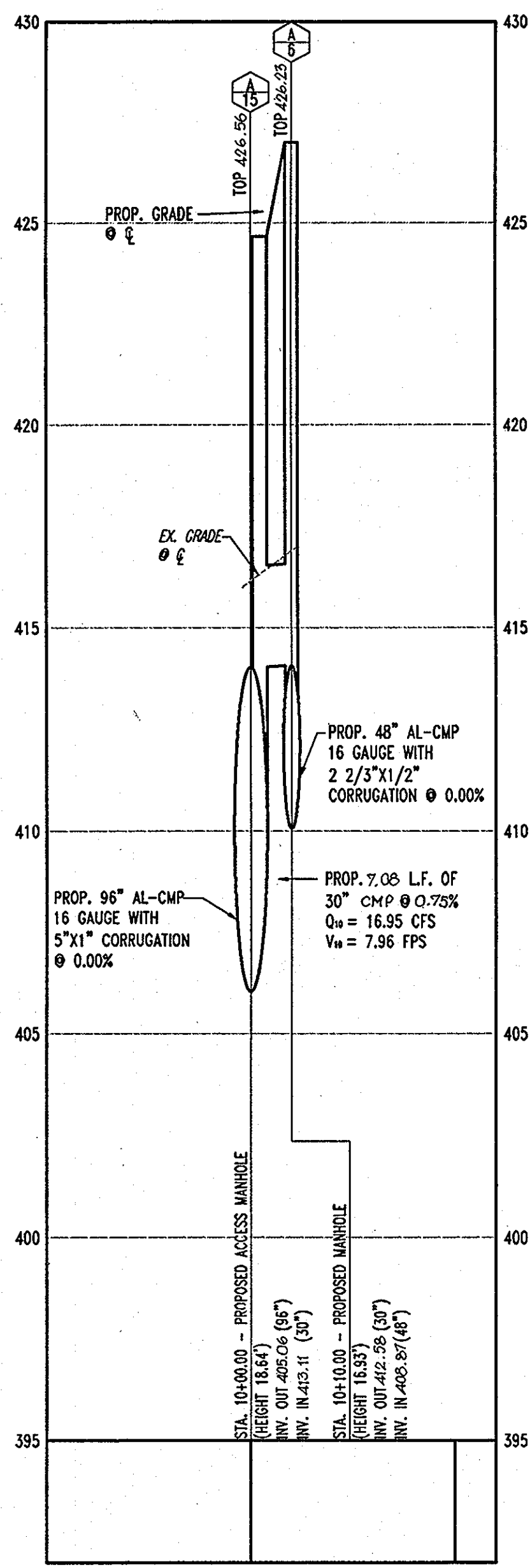
MISS UTILITY



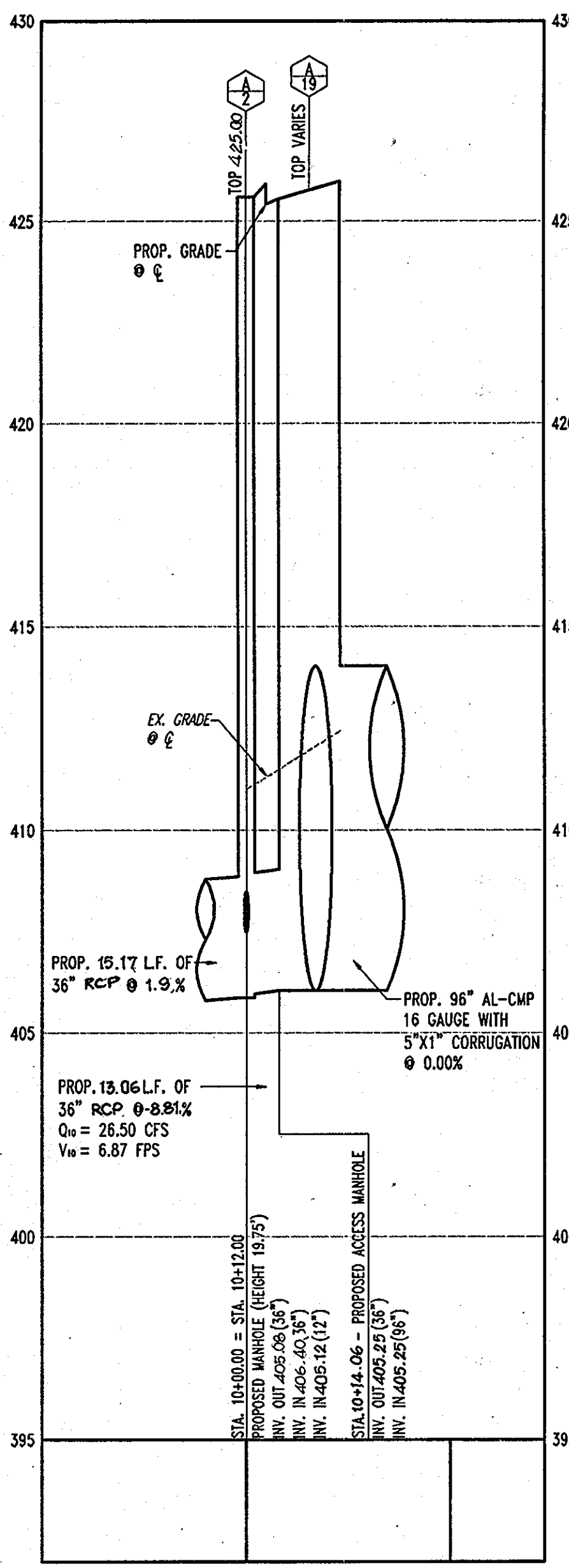
BEFORE YOU DIG CALL 800-451-7777  
PROVIDE LOCATION, DATE, TIME, AND WORKING DAYS NOTICE  
THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREOF APPLICABLE.  
THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.



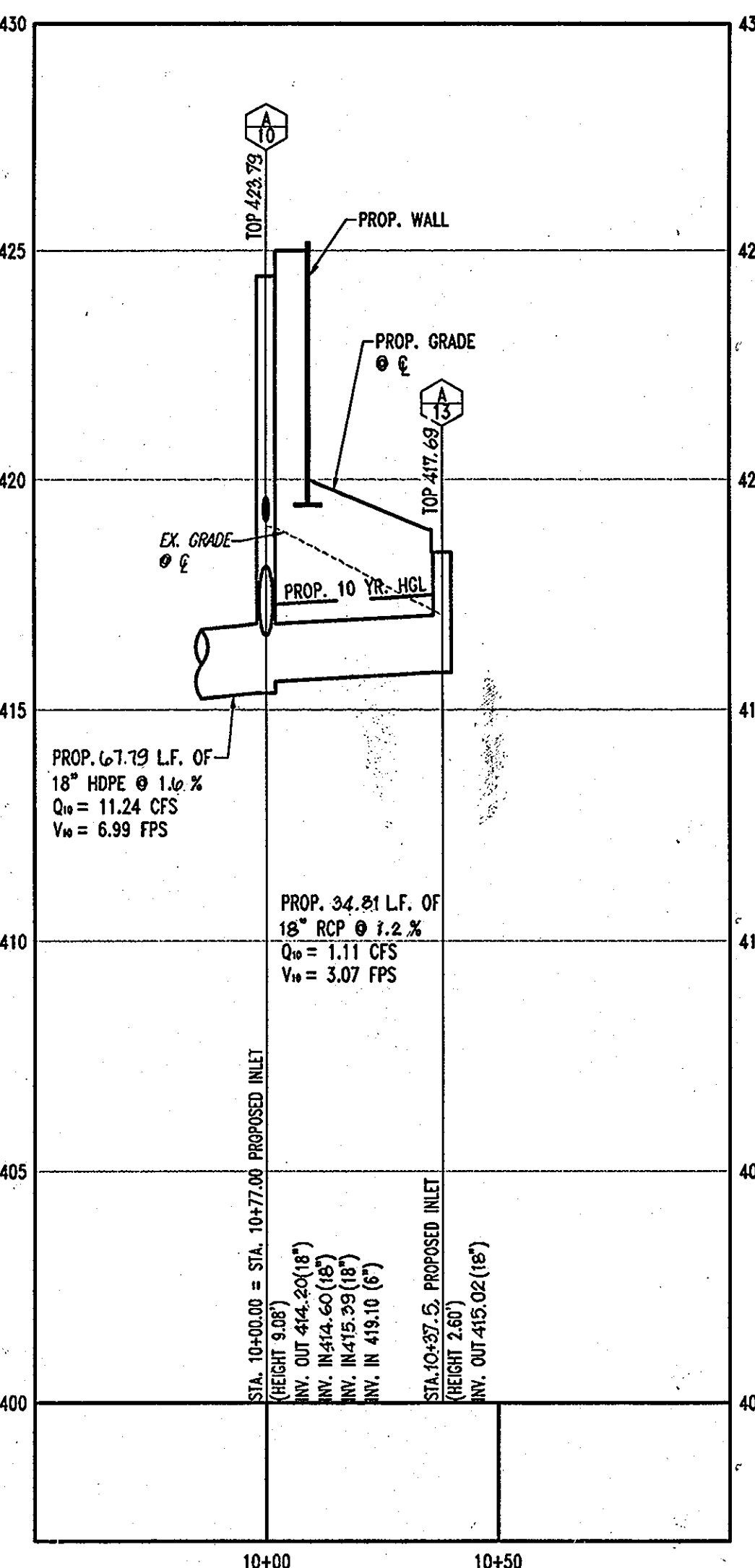
**STORMDRAIN PROFILE A-1 TO A-4**  
SCALE: HORIZ. 1"=30'  
VERT. 1"=3'



**STORMDRAIN PROFILE A-15 TO A-6**  
SCALE: HORIZ. 1"=30'  
VERT. 1"=3'

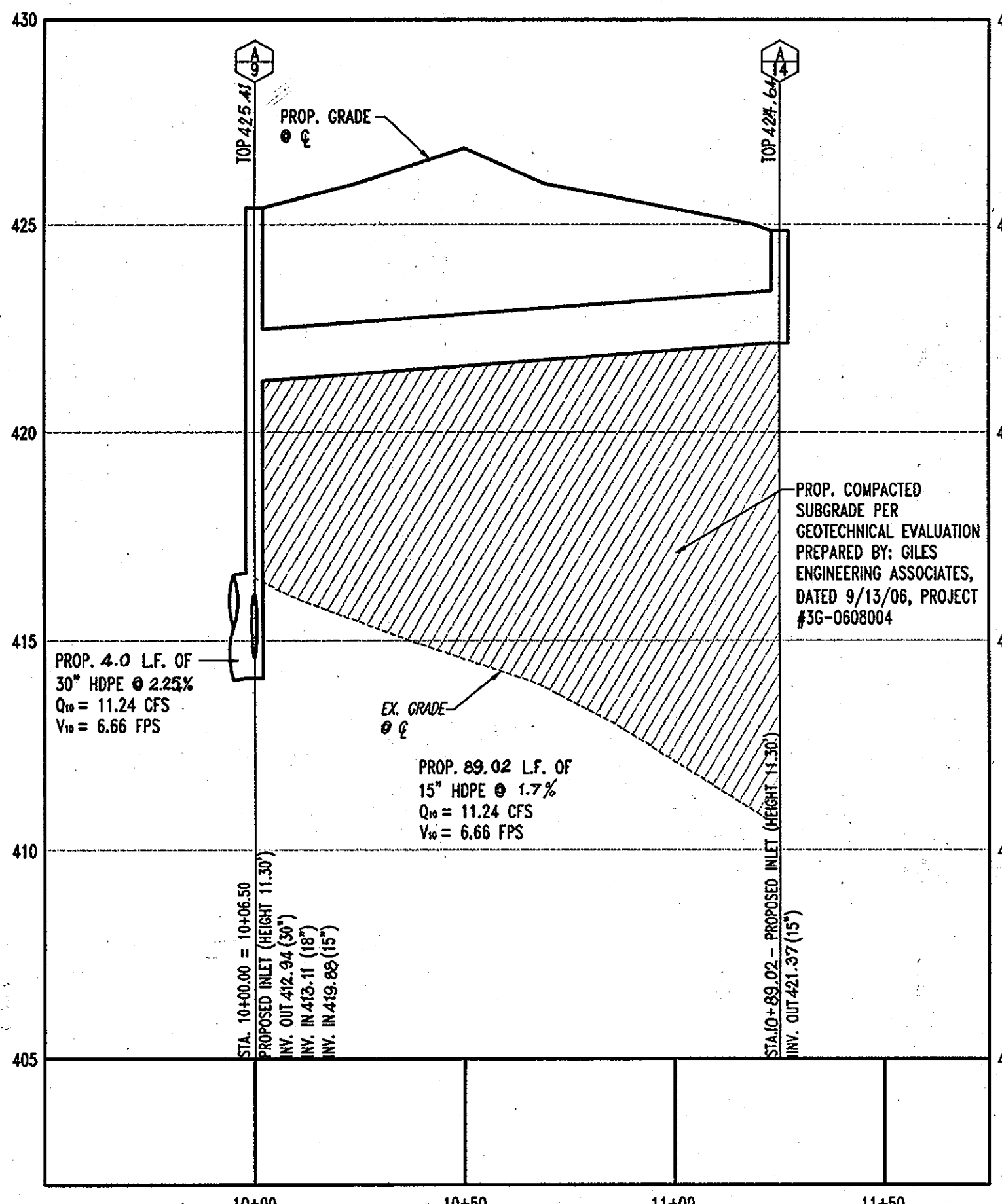


**STORMDRAIN PROFILE A-2 TO A-13**  
SCALE: HORIZ. 1"=30'  
VERT. 1"=3'



**STORMDRAIN PROFILE A-10 TO A-13**  
SCALE: HORIZ. 1"=30'  
VERT. 1"=3'  
AS-BUILT CERTIFICATION

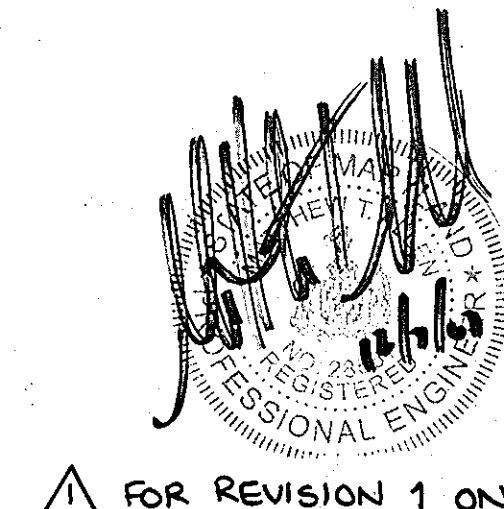
I HEREBY CERTIFY, BY MY SEAL, THAT THE CONDITIONS SHOWN ON THIS PLAN WERE CONSTRUCTED TO THE LINES AND GRADES SHOWN ON THIS "AS-BUILT" PLAN, AND MEET THE APPROVED PLANS AND SPECIFICATIONS AND ALSO THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE AND THAT I AM A FULLY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND.  
MICHAEL D. ADCOCK, PROFESSIONAL LAND SURVEYOR  
MD REG. NO. 21257, EXPIRATION DATE: 06-16-15  
DATE: 5/13/2010



**STORMDRAIN PROFILE A-9 TO A-14**  
SCALE: HORIZ. 1"=30'  
VERT. 1"=3'

**AS-BUILT**

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
CHIEF-DEVELOPMENT ENGINEERING DIVISION  
CHIEF-DIVISION & LAND DEVELOPMENT  
DIRECTOR  
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.



FOR REVISION 1 ONLY



FOR REVISION 1 ONLY

PROFESSIONAL CERTIFICATION  
I, JOSEPH A. LICHTENBERG, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 52264, EXPIRATION DATE: 02/28/24.

**MISS UTILITY**



BEFORE YOU DIG CALL 1-800-357-7777  
PROJECT YOURSELF - ONE TWO WORKING DAYS NOTICE  
THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREOF APPLICABLE.  
THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

APPROVED: Peter Reileman 8/2/08  
COUNTY HEALTH OFFICER  
HOWARD COUNTY HEALTH DEPARTMENT  
OWNER: HOPKINS STATION GENERAL PARTNERSHIP  
DEVELOPER: CHECK-FIL-A  
C/O BRANTLY DEVELOPMENT GROUP  
8835 COLUMBIA  
100 PARKWAY, SUITE P  
COLUMBIA, MD 21045  
PHONE: (410) 730-0810  
CHECK-FIL-A RESTAURANT & GENERAL OFFICE/RETAIL BUILDING  
PART OF LOT 1, HOPKINS STATION (FORMER PRICE FARMS, LOT1)  
JOHN HOPKINS ROAD  
LAUREL, HOWARD COUNTY, MARYLAND  
AREA 3.59 AC. TAX MAP 41 GRID 22 ZONED B-2  
PARCEL 425 L 3,095, F. 39 & L 7004, F. 653  
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

**UTILITY PROFILES**

**BOHLER ENGINEERING, P.C.**

PROFESSIONAL ENGINEERING SERVICES  
1100 GLENKENSLEY COURT, SUITE 300, TOWSON, MD 21286  
(410) 851-7000 FAX (410) 851-7001  
DESIGNED BY: JD  
DRAWN BY: RLB  
PROJECT NO.: MDC05602.1  
DATE: 9/28/06  
SCALE: AS SHOWN  
DRAWING NO. 7 OF 23  
PROFESSIONAL ENGINEER NO. 28567

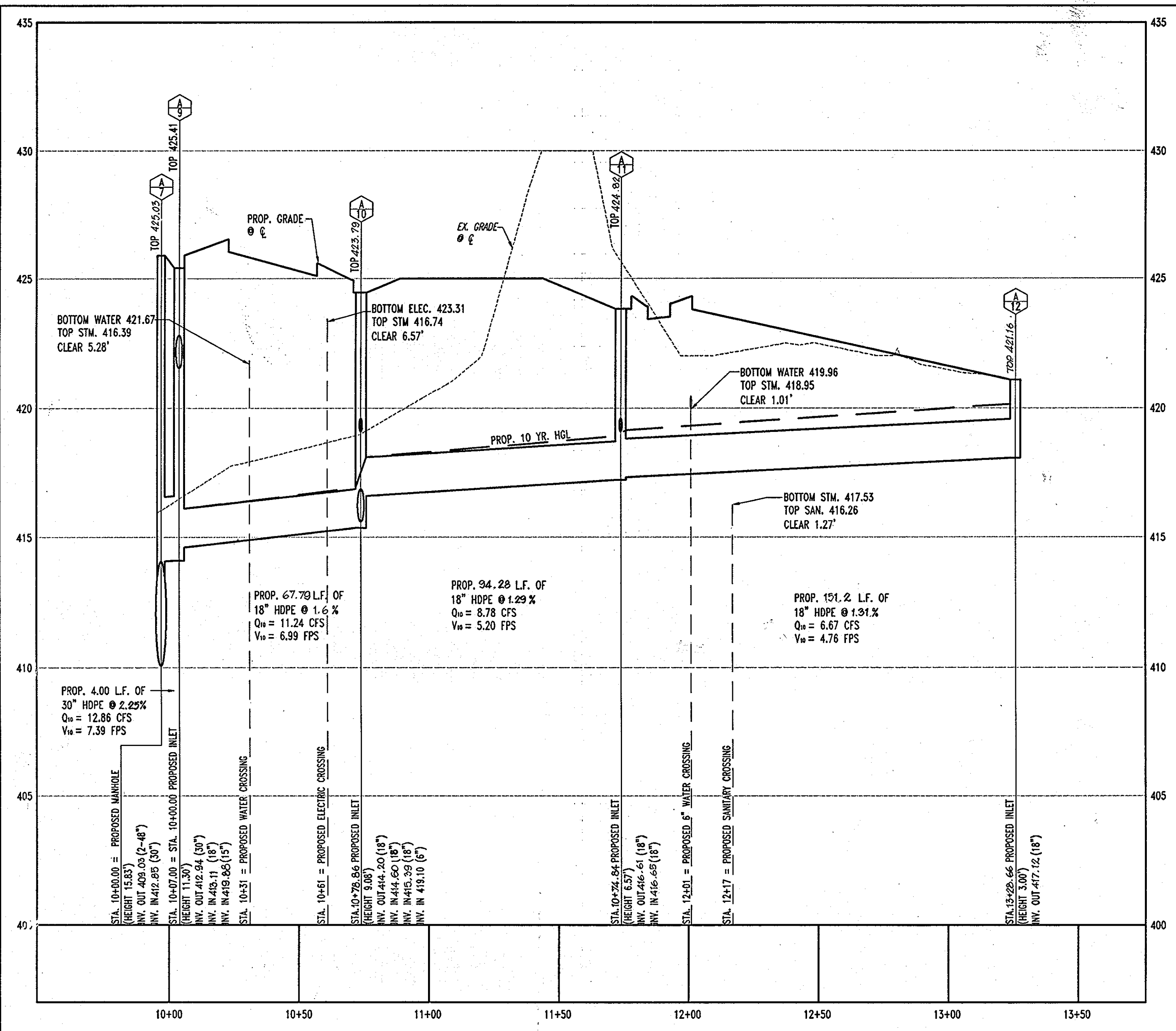
SIZE	DESCRIPTION	LENGTH
6"	D.I.P.	105 L.F.
1-1/2"	COPPER TYPE "K"	105 L.F.
3/4"	COPPER TYPE "K"	145 L.F.
6"	PVC	126 L.F.
4"	PVC	205 L.F.

SIZE	DESCRIPTION	LENGTH
96"	AL-CMP	568 L.F.
48"	AL-CMP	402 L.F.
30"	CMP	7 L.F.
30"	HDPE	4 L.F.
12"	HDPE	29 L.F.
18"	HDPE	313 L.F.
18"	RCP	35 L.F.
15"	PERFORATED HDPE	107 L.F.
15"	HDPE	108 L.F.
36"	RCP	28 L.F.

STRUCTURE#	DESCRIPTION	RIM/GRADE	INV. IN	INV. OUT
1	TYPE 'A' HEADWALL (HOWARD COUNTY STD. SD-5.11)	409.14	404.79 (36")	--
2	PROP. MANHOLE (HOWARD COUNTY STD. G-5.11)	425.50	405.12 (12") 406.40 (36")	405.08 (36")
3	PRECAST 8'x18" STORMFILTER	VARIES	409.16 (15")	406.87 (12")
4	PROP. MANHOLE (HOWARD COUNTY STD. G-5.11)	425.92	408.90 (48")	408.90 (15")
5	PROP. MANHOLE (HOWARD COUNTY STD. G-5.11)	426.70	409.00 (48")	409.00 (48")
6	PROP. MANHOLE (HOWARD COUNTY STD. G-5.11)	426.25	408.87 (48")	412.85 (30")
7	PROP. MANHOLE (HOWARD COUNTY STD. G-5.11)	425.03	412.87 (30")	409.05 (48") 409.05 (48")
8	PROP. MANHOLE (HOWARD COUNTY STD. G-5.11)	425.59	408.83 (48")	408.83 (48")
9	PROP. INLET TYPE 'S' (HOWARD COUNTY STD. SD-4.22)	425.41	413.11 (18") 419.88 (15")	412.94 (30")
10	PROP. INLET TYPE 'S' (HOWARD COUNTY STD. SD-4.22)	423.79	414.60 (18") 415.39 (18") 419.10 (6")	414.20 (18")
11	PROP. INLET TYPE 'S' (HOWARD COUNTY STD. SD-4.22)	424.82	416.66 (18")	416.61 (18")
12	PROP. DOUBLE INLET TYPE 'S' (HOWARD COUNTY STD. SD-4.23)	421.16	--	417.12 (18")
13	PROP. INLET TYPE 'S' (HOWARD COUNTY STD. SD-4.22)	417.69	--	415.02 (15")

STRUCTURE#	DESCRIPTION	RIM/GRADE	INV. IN	INV. OUT
14	PROP. INLET TYPE 'S' (HOWARD COUNTY STD. SD-4.22)	424.64	--	421.37 (15")
15	PROP. 36" ACCESS MANHOLE	426.56	413.11 (30")	405.06 (96")
16	PROP. 36" ACCESS MANHOLE	425.05	403.28 (96")	405.28 (96")
17	PROP. 36" ACCESS MANHOLE	424.48	405.29 (96")	405.28 (96")
18	PROP. 36" ACCESS MANHOLE	425.48	405.61 (96")	405.61 (96")
19	PROP. OUTLET STRUCTURE	VARIES	405.25 (96")	405.25 (36")
20	PROP. 36" ACCESS MANHOLE	426.37	405.69 (96")	405.69 (96")
21	PROP. 36" ACCESS MANHOLE	426.41	406.09 (96")	406.09 (36")
22	PROP. 36" ACCESS MANHOLE	425.94	405.55 (96")	405.55 (96")
23	PROP. 36" ACCESS MANHOLE	426.37	405.35 (96")	405.35 (96")

GENERAL NOTE:  
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**STORMDRAIN PROFILE A-7 TO A-12**  
SCALE: HORIZ. 1"=30' VERT. 1"=3'

NOTE: THIS SECTION SHOWS TYPICAL WALL COMPONENTS BUT NOT THE DESIGN GEOGRID PATTERN. REFER TO THE ELEVATION VIEW FOR GEOGRID TYPE, LENGTH AND LOCATION.

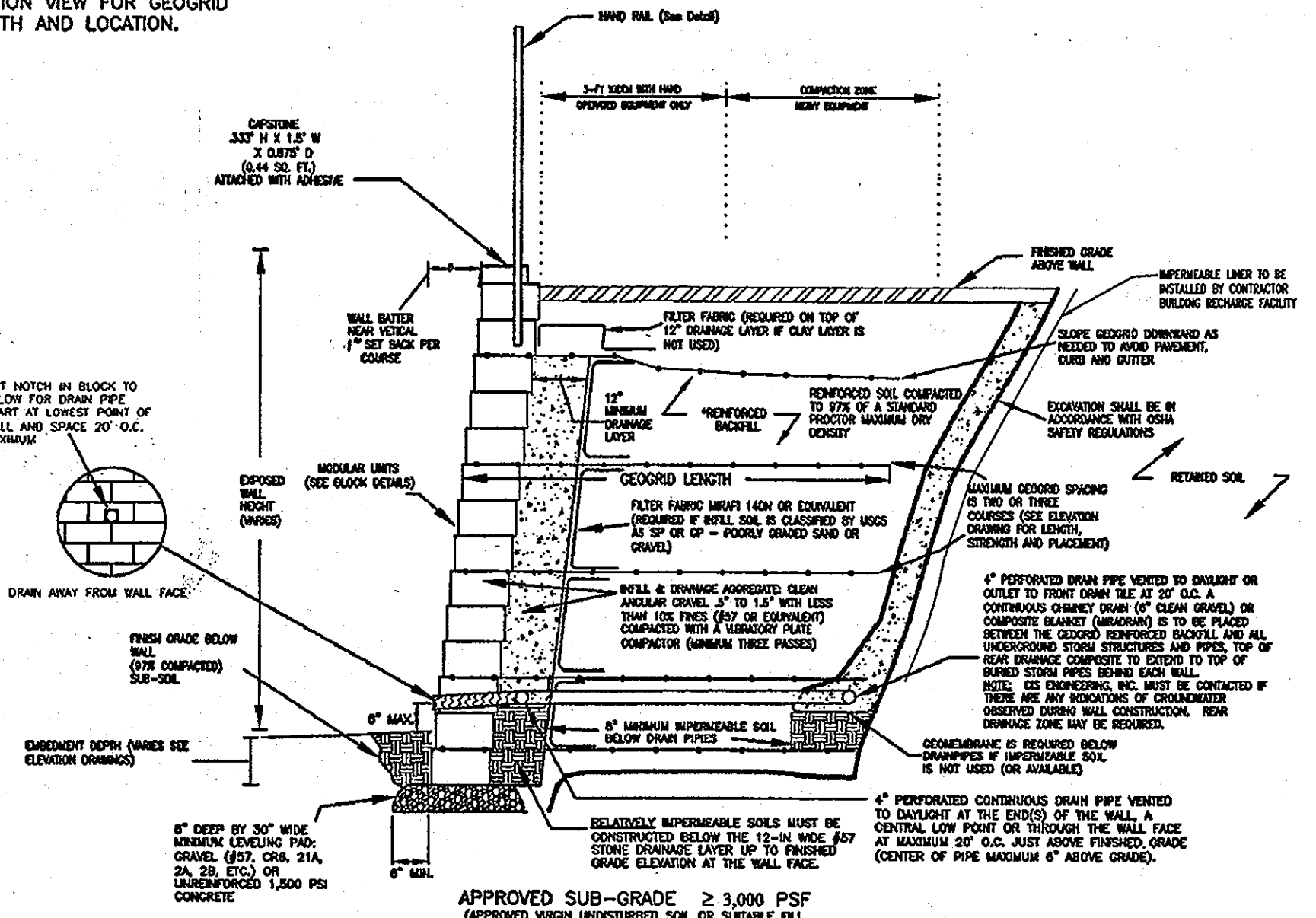


**AS-BUILT CERTIFICATION**

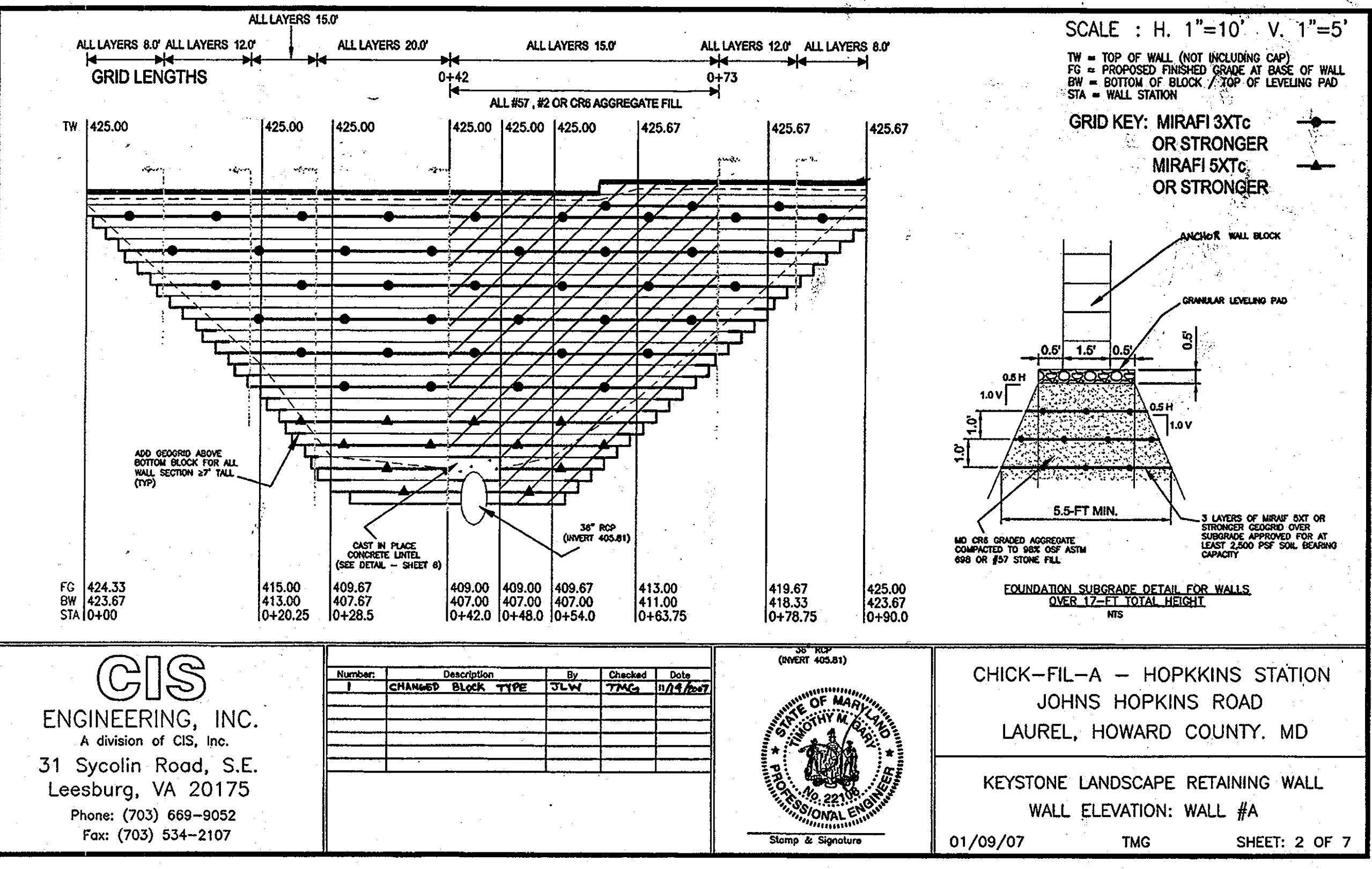
I HEREBY CERTIFY, BY MY SEAL, THAT THE CONDITIONS SHOWN ON THIS PLAN WERE CONSTRUCTED TO THE LINES AND GRADES SHOWN ON THIS AS-BUILT PLAN AND MEET THE APPROVED PLANS AND SPECIFICATIONS AND ALSO THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND.

*Michael D. Adcock*  
MICHAEL D. ADCOCK, PROFESSIONAL LAND SURVEYOR  
MD REG. NO. 21297, EXPIRATION DATE: 06-16-15  
DATE: 9/13/2013

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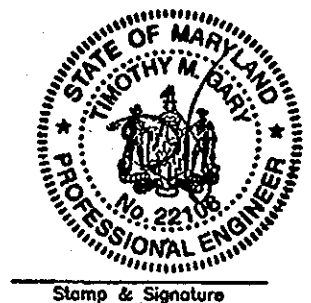


**PROPOSED RETAINING WALL DETAIL**  
NOT TO SCALE



**CIS ENGINEERING, INC.**  
A division of CIS, Inc.  
31 Sycolin Road, S.E.  
Leesburg, VA 20175  
Phone: (703) 669-9052  
Fax: (703) 534-2107

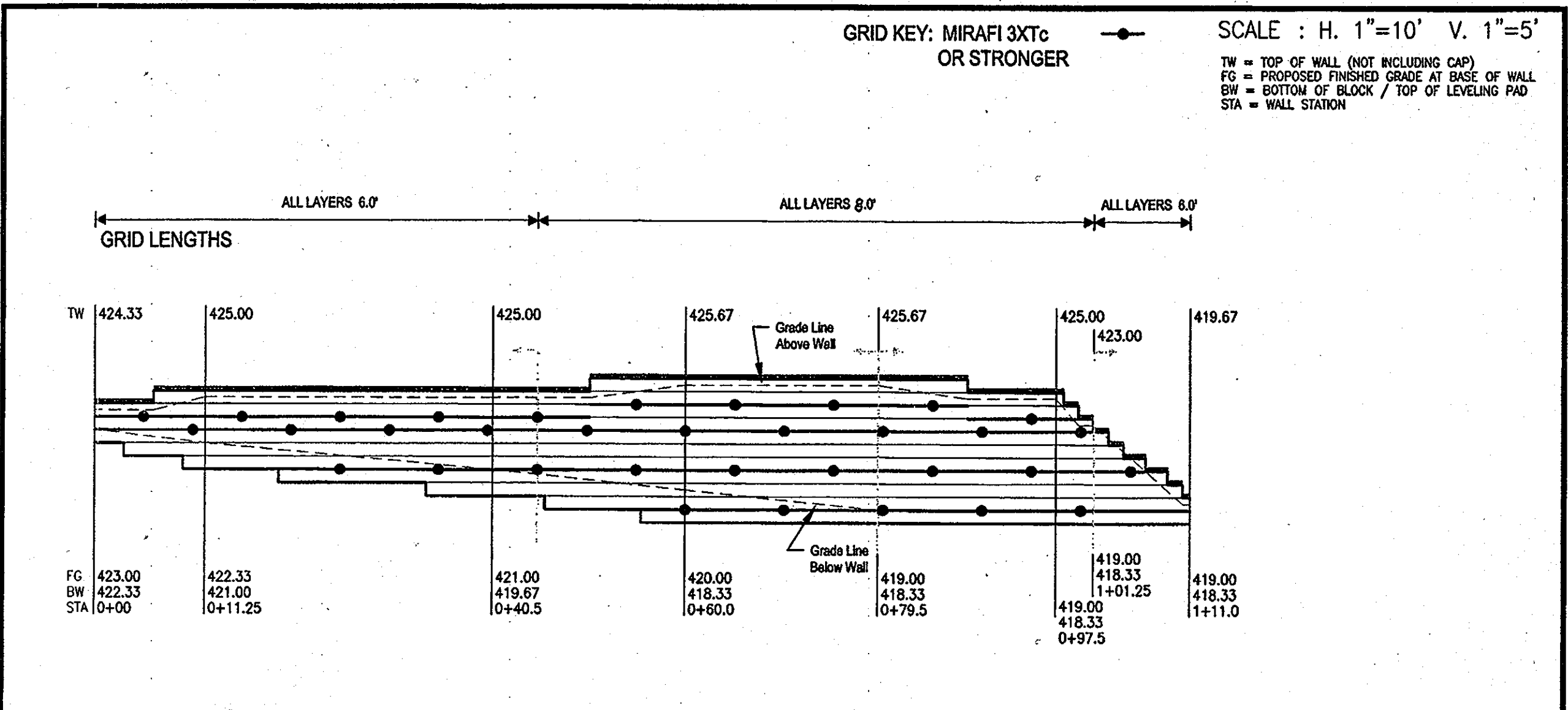
Number	Description	By	Checked	Date
1	CHANGED BLOCK TYPE	SLW	TMG	01/09/07



CHICK-FIL-A - HOPKINS STATION  
JOHNS HOPKINS ROAD  
LAUREL, HOWARD COUNTY, MD

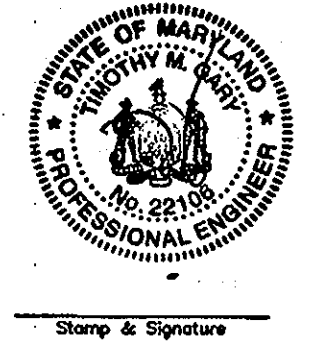
KEYSTONE LANDSCAPE RETAINING WALL  
WALL ELEVATION: WALL #A

01/09/07 TMG SHEET: 2 OF 7



**CIS ENGINEERING, INC.**  
A division of CIS, Inc.  
31 Sycolin Road, S.E.  
Leesburg, VA 20175  
Phone: (703) 669-9052  
Fax: (703) 534-2107

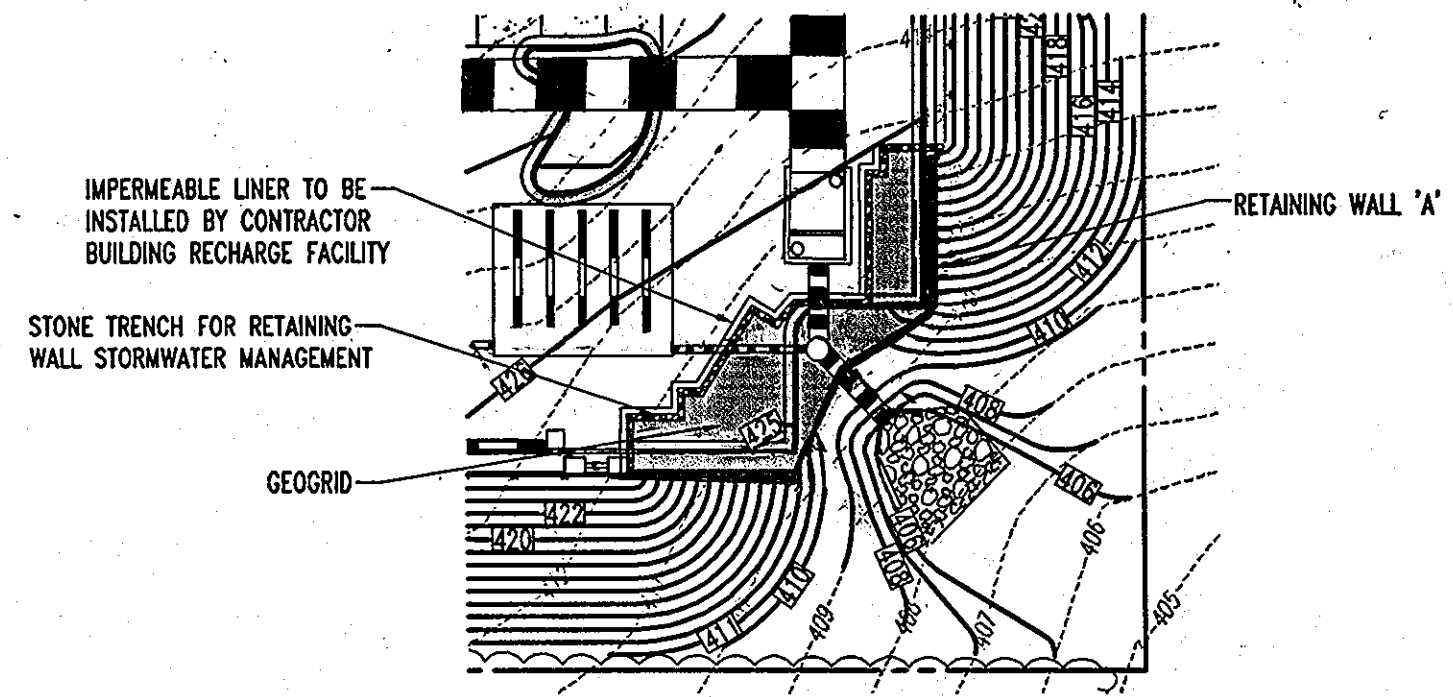
Number	Description	By	Checked	Date
1	CHANGED BLOCK TYPE	SLW	TMG	01/09/07



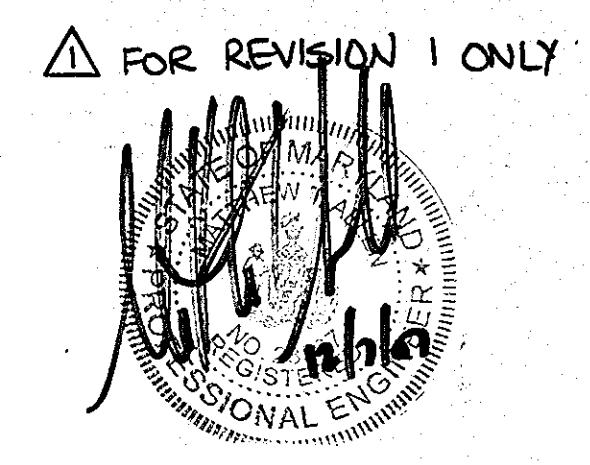
CHICK-FIL-A - HOPKINS STATION  
JOHNS HOPKINS ROAD  
LAUREL, HOWARD COUNTY, MD

KEYSTONE LANDSCAPE RETAINING WALL  
WALL ELEVATION: WALL #B

01/09/07 TMG SHEET: 3 OF 7



**PROPOSED RETAINING WALL 'A' PLAN VIEW**  
SCALE: 1"=30'



**AS-BUILT**  
APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*William J. ...* 7/19/07  
CHIEF-DEVELOPMENT ENGINEERING DIVISION  
*Cindy ...* 8/17  
CHIEF-DIVISION & LAND DEVELOPMENT  
*Brian P. Peter* 8/16/07  
DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.  
*Brian P. Peter* 8/16/07  
COUNTY HEALTH OFFICER  
HOWARD COUNTY HEALTH DEPARTMENT 1790

NO. 12/06/07 DATE  
REVISED RET. WALL BLOCK MATERIAL  
NO. 1 DATE  
REVISION DESCRIPTION

OWNER: HOPKINS STATION GENERAL PARTNERSHIP  
C/O BRANTLY DEVELOPMENT GROUP  
8835 COLUMBIA  
100 PARKWAY, SUITE P  
COLUMBIA, MD 21045  
PHONE: (410) 730-0810

DEVELOPER: CHICK-FIL-A  
5200 BUNTING ROAD  
ATLANTA, GA 30349-2998  
C/O SCOTT PATMAN  
PHONE: (404) 684-8660

CHECK-FIL-A RESTAURANT & GENERAL OFFICE/ACTUAL BUILDING  
PART OF LOT 1, HOPKINS STATION (FORMER PRICE FARMS, LOT1)  
JOHNS HOPKINS ROAD  
LAUREL, HOWARD COUNTY, MARYLAND

AREA 3.59 AC. TAX MAP 41 GRID 22 ZONED B-2  
PARCEL 425 L. 3,095, F. 39 & L. 7004, F. 653  
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

**UTILITY PROFILES**

**BOHLER ENGINEERING, P.C.**  
PROFESSIONAL ENGINEERING SERVICES  
8110 GLENMANSION COURT, SUITE 300, TOWSON, MD 21286  
(410) 851-7000 FAX (410) 851-7001 WWW.BE-INC.COM

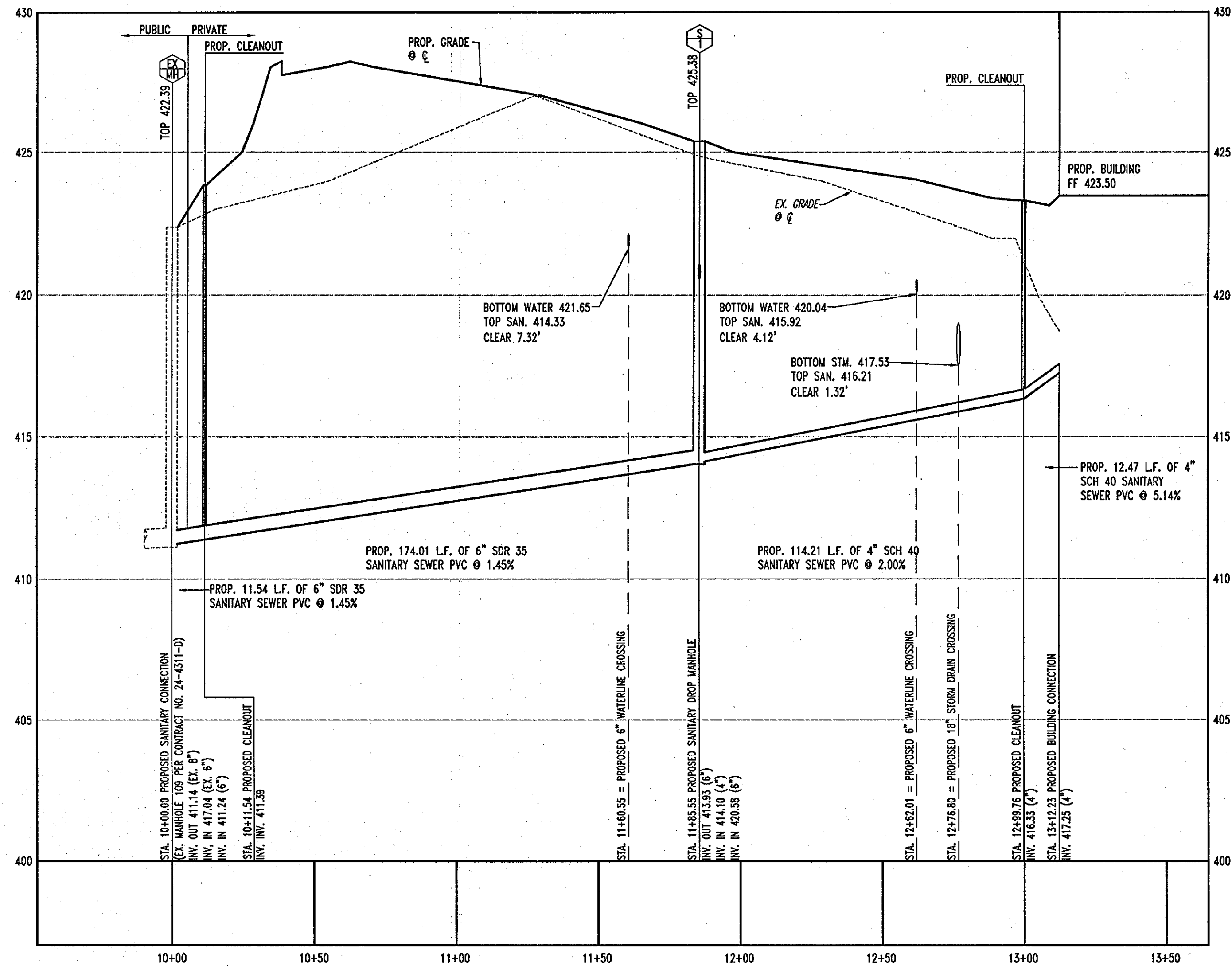
BEFORE YOU DIG CALL  
1-800-551-7777  
PROTECT YOURSELF - ONE TWO WORKING DAYS NOTICE

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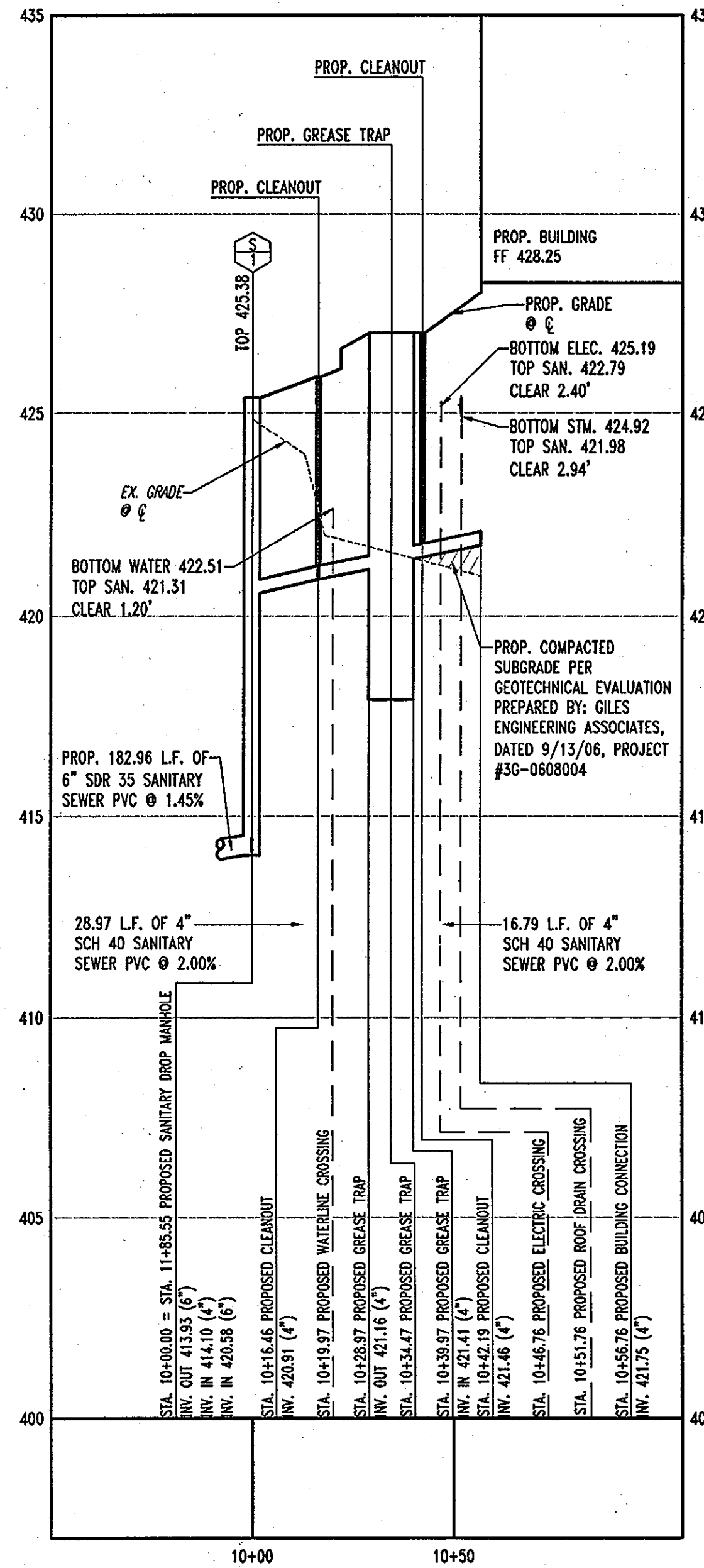
THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

DESIGNED BY: JO  
DRAWN BY: RLB  
PROJECT NO.: MD056502.1  
DATE: 9/28/06  
SCALE: AS SHOWN  
DRAWING NO. 8 OF 23  
PROFESSIONAL ENGINEER NO. 28567

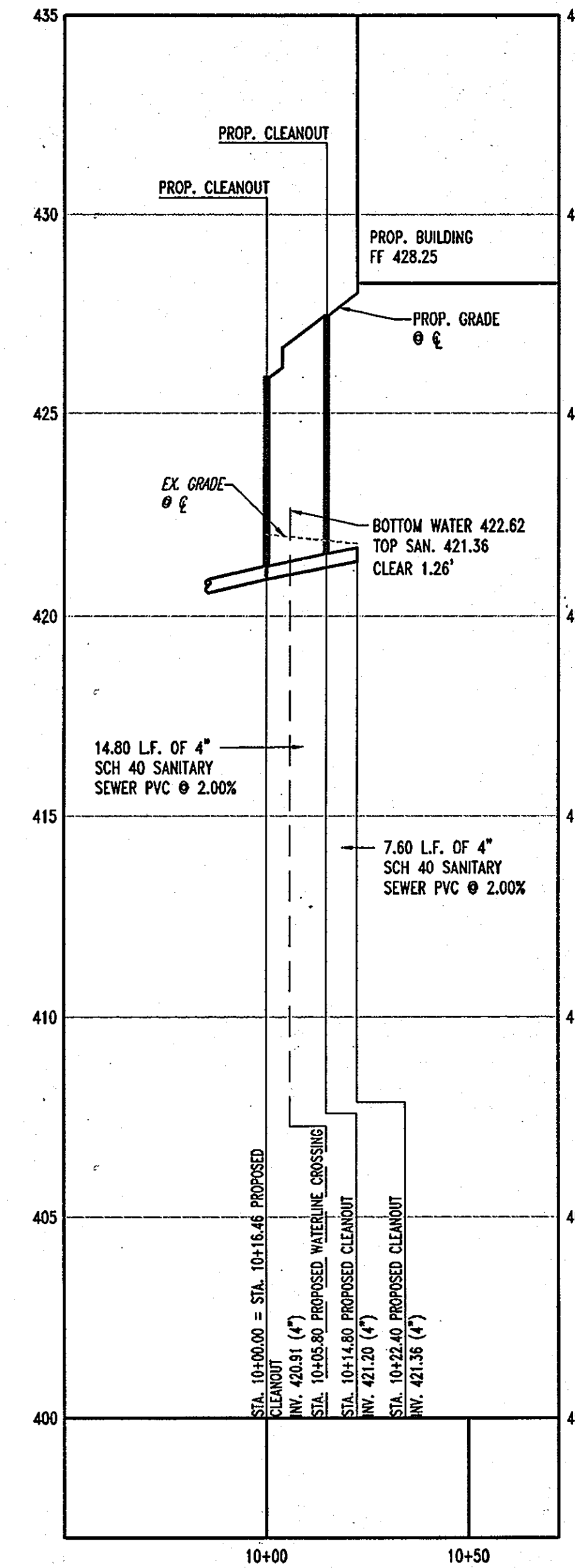




PROPOSED SANITARY PROFILE 'A'  
SCALE: HORIZ. 1"=30'  
VERT. 1"=3'



PROPOSED SANITARY PROFILE 'B'  
SCALE: HORIZ. 1"=30'  
VERT. 1"=3'



PROPOSED SANITARY PROFILE 'C'  
SCALE: HORIZ. 1"=30'  
VERT. 1"=3'

AS-BUILT CERTIFICATION

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.

*Michael D. Adcock*  
MICHAEL D. ADCOCK, PROFESSIONAL LAND SURVEYOR  
MD REG. NO. 21297, EXPIRATION DATE: 06-16-15

5/15/2013  
DATE



**AS-BUILT**

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*[Signature]* 7/16/13  
 CHIEF-DEVELOPMENT ENGINEERING DIVISION DATE

APPROVED: DIVISION OF LAND DEVELOPMENT  
*[Signature]* 8/3/13  
 CHIEF-DIVISION OF LAND DEVELOPMENT DATE

APPROVED: DIRECTOR  
*[Signature]* 8/6/13  
 DIRECTOR DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.  
*[Signature]* 8/2/13  
 COUNTY HEALTH OFFICER DATE  
 HOWARD COUNTY HEALTH DEPARTMENT

NO.	DATE	REVISION DESCRIPTION

OWNER: HOPKINS STATION GENERAL PARTNERSHIP  
 C/O BRANTLY DEVELOPMENT GROUP  
 8835 COLUMBIA  
 100 PARKWAY, SUITE P  
 COLUMBIA, MD 21045  
 PHONE: (410) 730-0810

DEVELOPER: CHICK-FIL-A  
 5200 BUFFINGTON ROAD  
 ATLANTA, GA 30349-2998  
 C/O SCOTT PATMAN  
 PHONE: (404) 684-8660

CHICK-FIL-A RESTAURANT & GENERAL OFFICE/RETAIL BUILDING  
 PART OF LOT 1, HOPKINS STATION (FORMER PRICE FARMS, LDI1)  
 JOHNS HOPKINS ROAD  
 LAUREL, HOWARD COUNTY, MARYLAND

AREA 3.59 AC. TAX MAP 41 GRID 22 ZONED B-2  
 PARCEL 425 L. 3,095, F. 39 & L. 7004, F. 653  
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

UTILITY PROFILES

**BOHLER ENGINEERING, P.C.**  
 \*PROFESSIONAL ENGINEERING SERVICES\*  
 8110 GLENDALES COURT, SUITE 300, TOWSON, MD 21286  
 (410) 851-7900 FAX (410) 851-7907

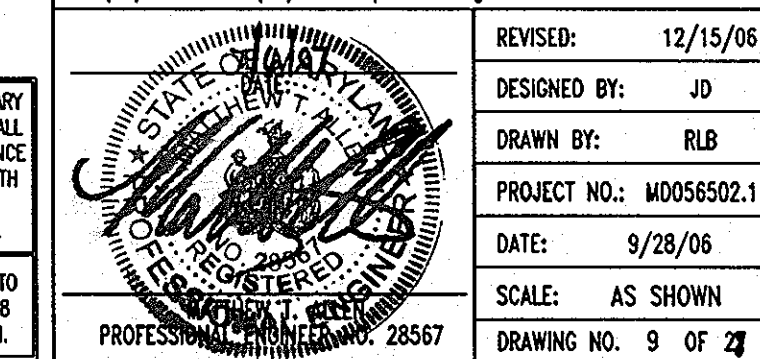
REVISIONS:  
 DESIGNED BY: JD  
 DRAWN BY: RLB  
 PROJECT NO.: MD056502.1  
 DATE: 5/28/06  
 SCALE: AS SHOWN  
 DRAWING NO. 9 OF 27

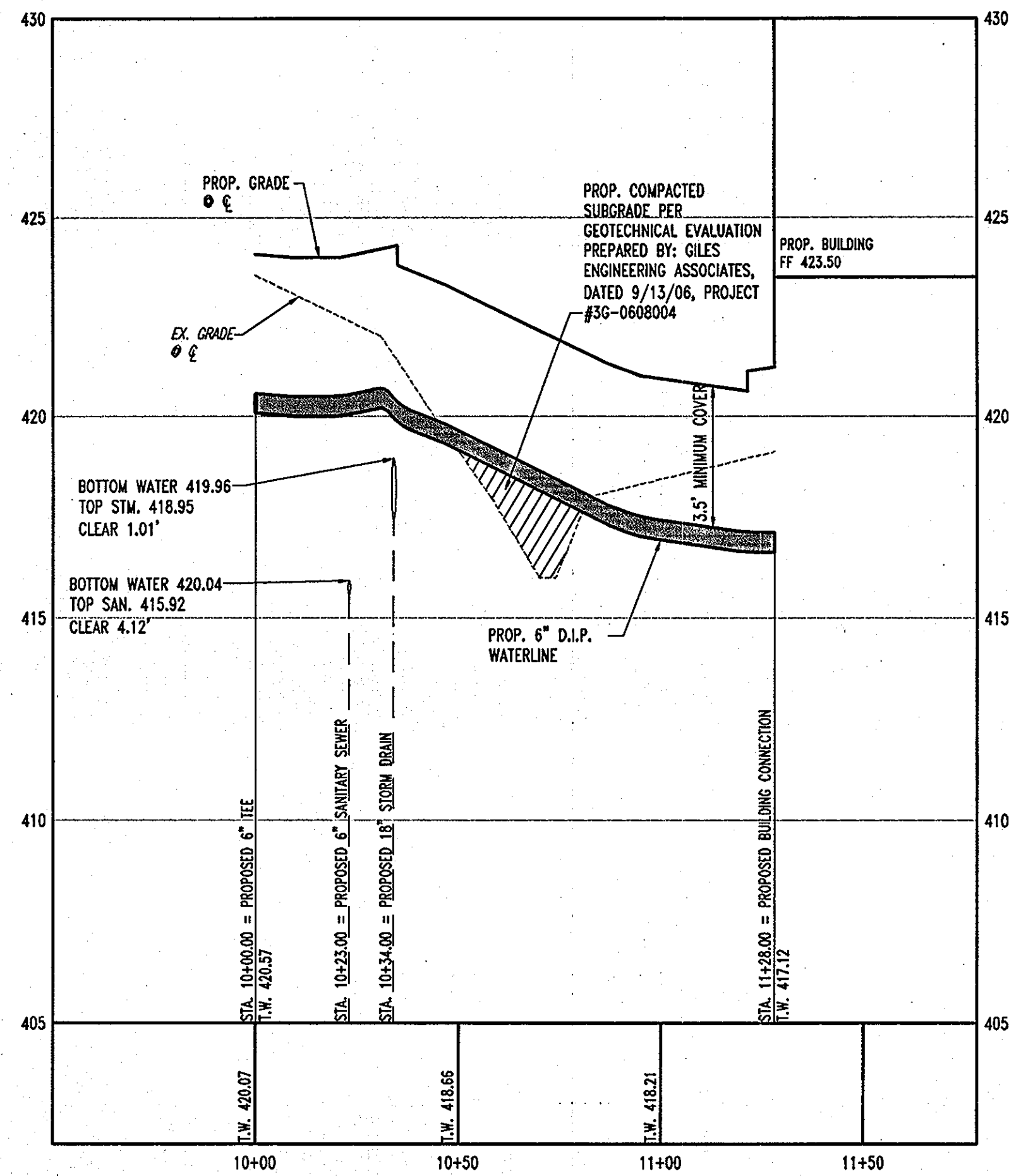
GENERAL NOTE:  
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY BOHLER ENGINEERING, P.C. IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY BOHLER ENGINEERING, P.C. SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

MISS UTILITY  
 BEFORE YOU DIG CALL  
 1-800-251-7777  
 PROTECT YOURSELF. GIVE TWO WORKING DAYS NOTICE

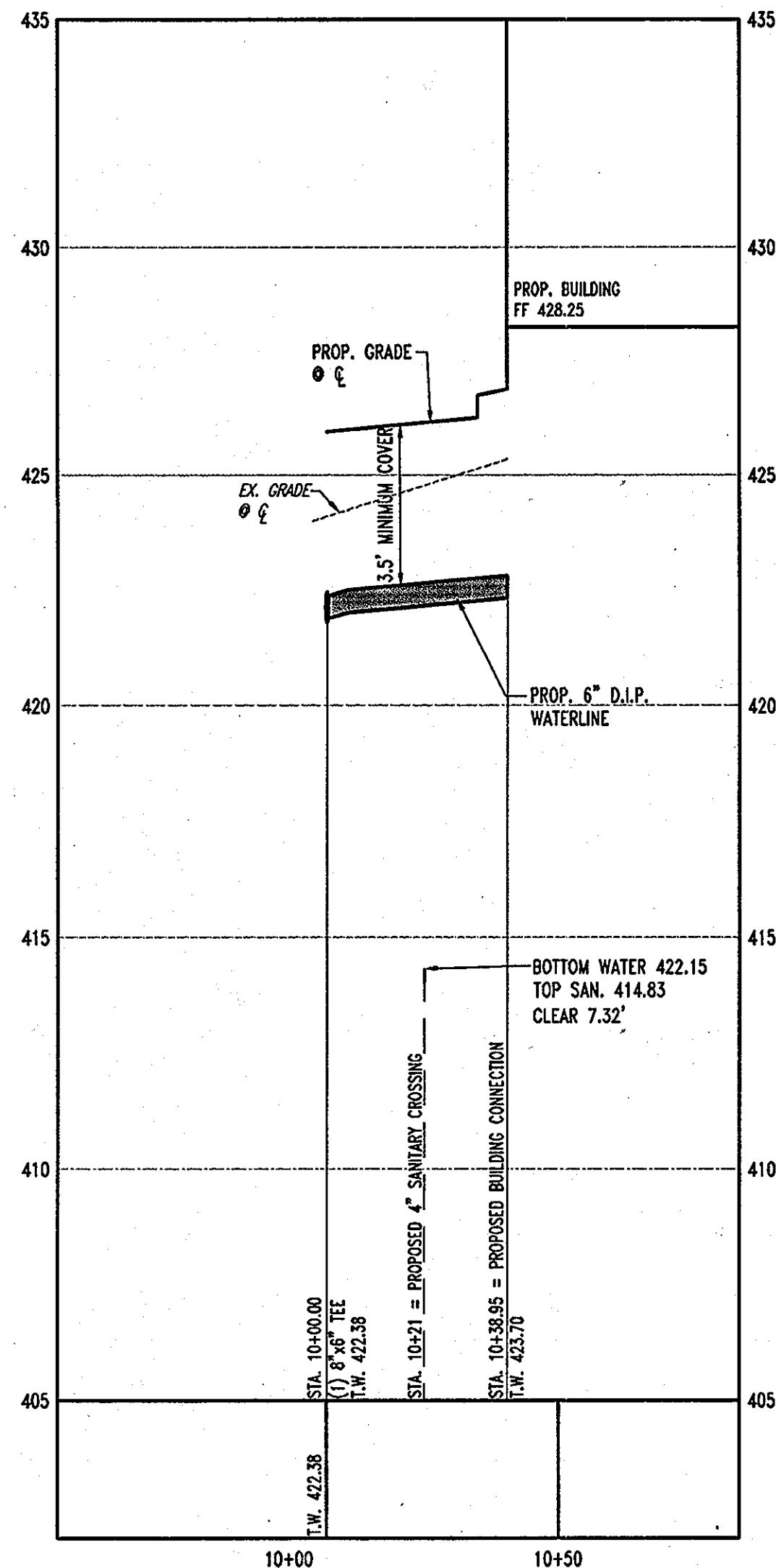
THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERETO APPURTENANT.

THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

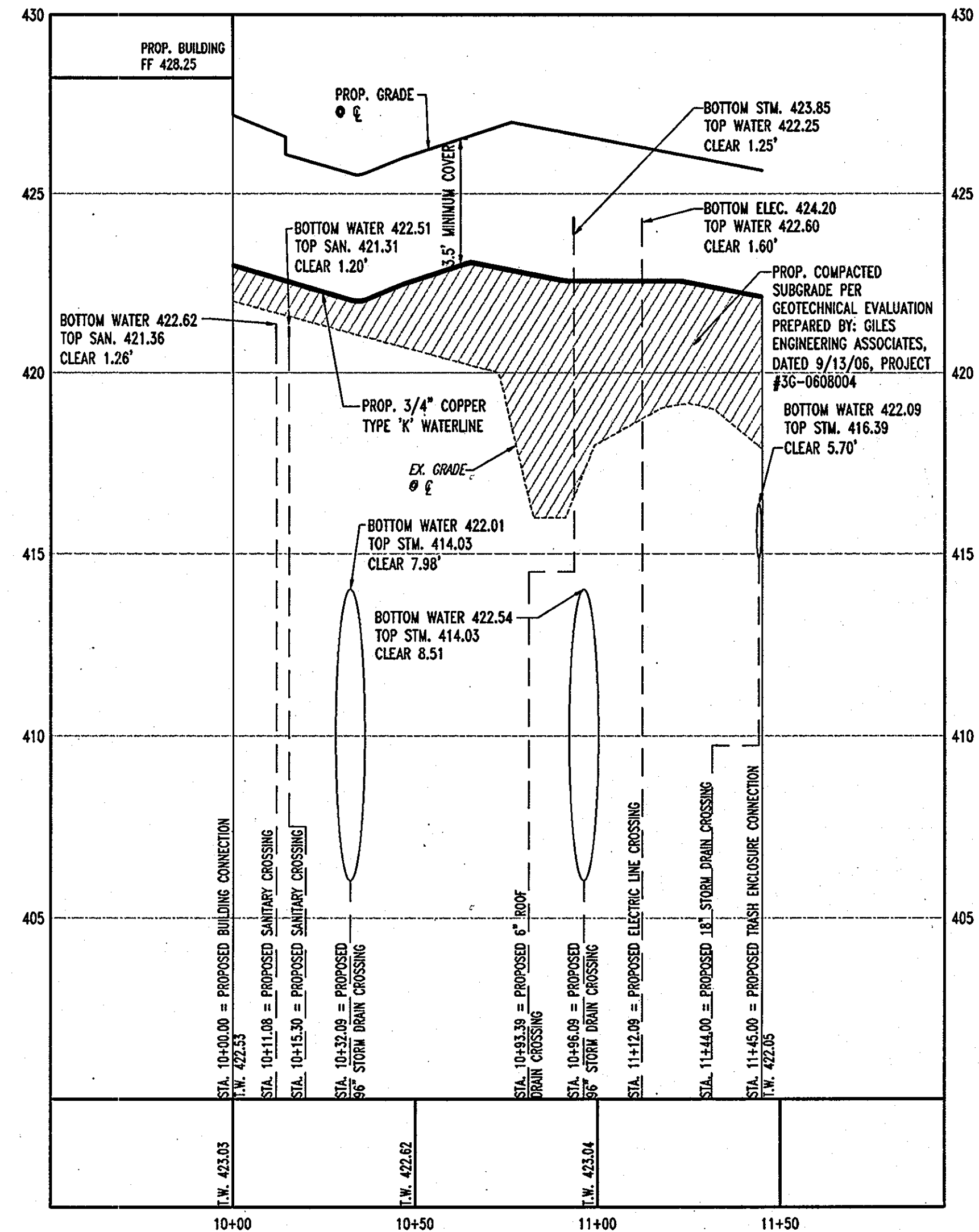




**WATERLINE PROFILE 'A'**  
SCALE: HORIZ. 1"=30'  
VERT. 1"=5'



**WATERLINE PROFILE 'B'**  
SCALE: HORIZ. 1"=30'  
VERT. 1"=5'



**WATERLINE PROFILE 'C'**  
SCALE: HORIZ. 1"=30'  
VERT. 1"=5'

**GENERAL NOTE:**  
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**AS-BUILT CERTIFICATION**

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.

*Michael D. Adcock*  
MICHAEL D. ADCOCK, PROFESSIONAL LAND SURVEYOR  
MD REG. NO. 21257, EXPIRATION DATE: 06/16/15



**MISS UTILITY**



BEFORE YOU DIG CALL  
1-800-955-7777  
PROJECT YOURSELF, GIVE TWO  
WORKING DAYS NOTICE

THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREOF APPLICABLE.

THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

**AS-BUILT**

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Michael D. Adcock* 7/19/17  
 CHIEF-DEVELOPMENT ENGINEERING DIVISION DATE

*Cinda Hunt* 8/2/17  
 CHIEF-DIVISION & LAND DEVELOPMENT DATE

*David A. Wright* 8/1/17  
 DIRECTOR DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.

*Brianne Peter Beilman* 8/2/17  
 COUNTY HEALTH OFFICER DATE  
 HOWARD COUNTY HEALTH DEPARTMENT 1790

NO.	DATE	REVISION DESCRIPTION
OWNER:	DEVELOPER:	
HOPKINS STATION GENERAL PARTNERSHIP	CHICK-FIL-A	
C/O BRANTLY DEVELOPMENT GROUP	5200 BUFFINGTON ROAD	
8835 COLUMBIA	ATLANTA, GA 30349-2998	
100 PARKWAY, SUITE P	C/O SCOTT PATMAN	
COLUMBIA, MD 21045	PHONE: (404) 684-8660	
PHONE: (410) 730-0810		

CHICK-FIL-A RESTAURANT & GENERAL OFFICE/RETAIL BUILDING  
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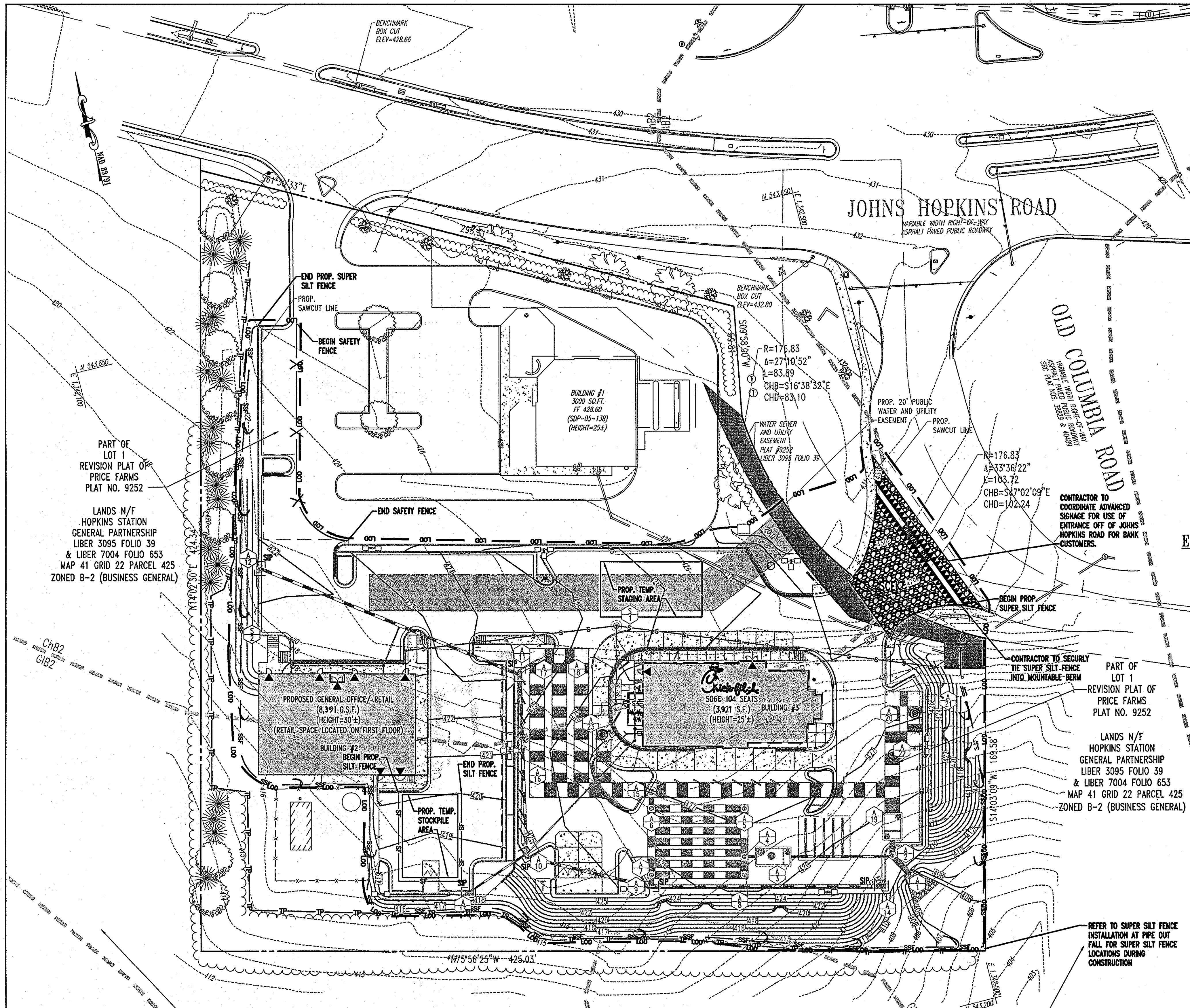
AREA 3.59 AC. TAX MAP 41 GRID 22 ZONED B-2  
 PARCEL 425 L 3,095, F. 39 & L 7004, F. 653  
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

**UTILITY PROFILES**

**BOHLER ENGINEERING, P.C.**  
 \*PROFESSIONAL ENGINEERING SERVICES\*  
 \*810 GLENDALES COURT, SUITE 300, TOWSON, MD 21286\*  
 \*410) 841-2900 FAX: (410) 841-1061 E: info@bohlereng.com\*

REVISIONS:  
 DESIGNED BY: JD  
 DRAWN BY: RLB  
 PROJECT NO.: MD056502.1  
 DATE: 9/28/06  
 SCALE: AS SHOWN  
 DRAWING NO. 10 OF 21

PROFESSIONAL ENGINEER NO. 28567

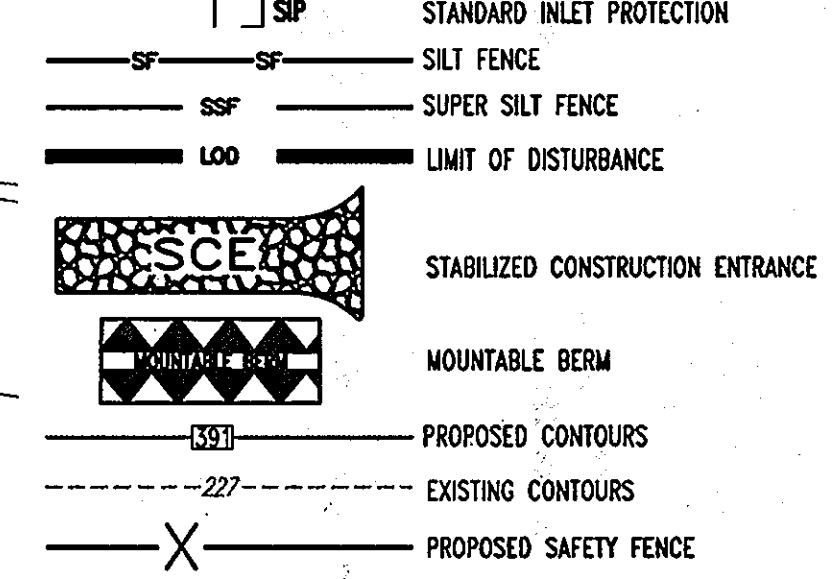


**SOIL TYPES**  
**ChB2** CHESTER SILT LOAM, 3-8% SLOPES, MODERATELY ERODED  
**GIC2** GLENELG LOAM, 8-15% SLOPES, MODERATELY ERODED

**EROSION AND SEDIMENT CONTROL QUANTITIES**  
 LIMIT OF DISTURBANCE = 85,344 S.F. OR 1.96 AC.  
 TOTAL NET SITE AREA = 156,380 S.F. OR 3.59 AC.±  
 TOTAL IMPERVIOUS AREA = 91,912 S.F. OR 2.11 AC  
 AREA TO BE VEGETATELY STABILIZED = 64,468 S.F. OR 1.48 AC.  
 CUT = 130 CU. YARDS  
 FILL = 12,640 CU. YARDS  
 SUPER SILT FENCE = 900 L.F.  
 SILT FENCE = 128 L.F.  
 SAFETY FENCE = 134 L.F.  
 TREE PROTECTION = 773 L.F.  
 STABILIZED CONSTRUCTION ENTRANCE = 1 EA.  
 STANDARD INLET PROTECTION = 6 EA.

**NOTE:**  
 1. THESE QUANTITIES ARE FOR SEDIMENT CONTROL USE ONLY. CONTRACTOR SHALL NOT RELY ON THESE QUANTITIES FOR ESTIMATING AND BIDDING PURPOSES.  
 2. ALL REQUIRED FILL TO BE IMPORTED FROM AN APPROVED SITE THAT HAS A FUNCTIONING SEDIMENT CONTROL PROGRAM IN PLACE.  
 3. CONTRACTOR TO LIMIT THE AMOUNT OF THE SIDEWALK CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY TO THAT WHICH CAN BE COMPLETED WITHIN ONE WORKING DAY. THE CONTRACTOR IS RESPONSIBLE FOR ELIMINATING ANY SEDIMENT CREATED AT THE END OF EACH DAY.

**EROSION AND SEDIMENT CONTROL LEGEND**



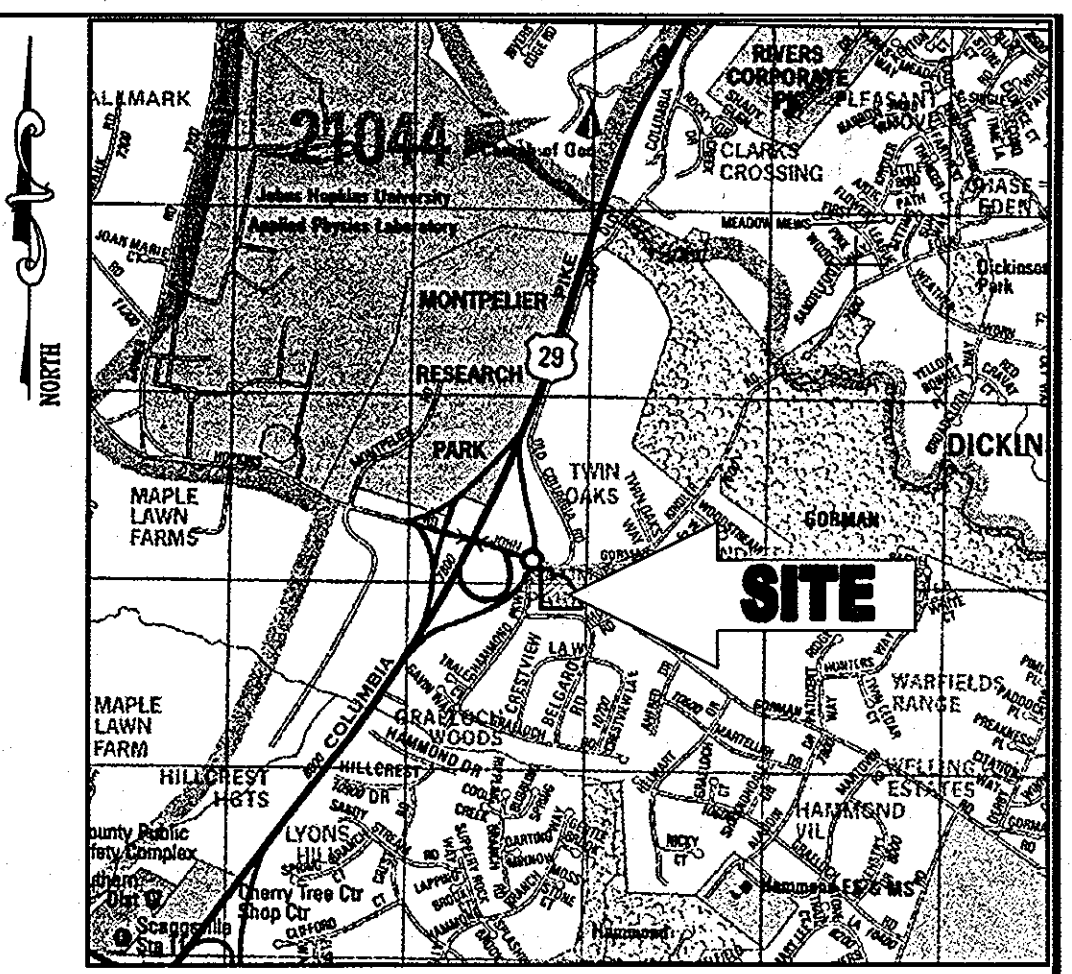
FOR REVISION 2 ONLY

FOR REVISION 1 ONLY

FOR REVISION 3 ONLY

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS  
 USFWS NATURAL RESOURCES CONSERVATION SERVICE DATE 7/17/07

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
 SIGNATURE OF ENGINEER (PRINT NAME BELOW SIGNATURE) DATE 7/17/07



**LOCATION MAP**  
 COPYRIGHT ADC THE MAP PEOPLE  
 PERMIT USE NO. 20602153-5  
 SCALE: 1"=200'

**SEQUENCE OF CONSTRUCTION**

- OBTAIN GRADING PERMIT, CONTACT HOWARD COUNTY SEDIMENT CONTROL DIVISION AT (410) 313-1855 (1 DAY)
- PRIOR TO DEMOLITION, INSTALLING SEDIMENT CONTROL MEASURES, OR GRADING, A PRE CONSTRUCTION MEETING MUST BE CONDUCTED ON-SITE. (1 DAY)
- THE LIMITS OF DISTURBANCE MUST BE FIELD MARKED PRIOR TO DEMOLITION, INSTALLATION OF SEDIMENT CONTROL MEASURES, CONSTRUCTION, OR OTHER LAND DISTURBANCE. (2 DAYS)
- INSTALL PROPOSED STABILIZED CONSTRUCTION ENTRANCE. (2 DAYS)
- INSTALL PERIMETER SEDIMENT CONTROL DEVICES: SUPER SILT FENCE AS SHOWN ON PLAN. (5 DAYS)
- ONCE THE SEDIMENT CONTROL DEVICES ARE INSTALLED, THE PERMITEE MUST OBTAIN WRITTEN APPROVAL FROM THE INSPECTOR BEFORE PROCEEDING WITH ANY ADDITIONAL CLEARING, GRUBBING, OR GRADING. (5 DAYS)
- WITH APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, BEGIN ROUGH GRADING AND CONSTRUCT RETAINING WALL ON THE SITE. (14 DAYS)
- CONSTRUCT PROPOSED BUILDING, STORMFILTER, RECHARGE FACILITY, STORAGE PIPES AND UTILITIES. INSTALL ALL INLET PROTECTION AS INLETS ARE INSTALLED. (90 DAYS)
- FINE GRADE ALL DISTURBED AREAS AND STABILIZE SITE. (14 DAYS)
- INSTALL STONE SURFACE AND PAVEMENT BASE COURSE AND STABILIZE ALL DISTURBED AREA AS NECESSARY. (10 DAYS)
- FINE GRADE ALL REMAINING AREAS. (5 DAYS)
- INSTALL SURFACE PAVING. (5 DAYS)
- INSTALL ALL LANDSCAPING. (5 DAYS)
- INSTALL FILTER MEDIA WITHIN THE STORMFILTER. (1 DAY)
- STABILIZE ALL ADDITIONAL DISTURBED AREAS AS REQUIRED AND WITH PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, REMOVE ALL REMAINING SEDIMENT CONTROL DEVICES. (2 DAYS)

**AS-BUILT**

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 SIGNATURE DATE 7/19/07  
 CHIEF-DEVELOPMENT ENGINEERING DIVISION  
 SIGNATURE DATE 8/2/07  
 CHIEF-DIVISION & LAND DEVELOPMENT  
 SIGNATURE DATE 8/6/07  
 DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.  
 SIGNATURE DATE 8/2/07  
 COUNTY HEALTH OFFICER  
 HOWARD COUNTY HEALTH DEPARTMENT

NO.	DATE	REVISION DESCRIPTION
3	09/07/08	SIZE & AREA REVISED FOR CFA REVIEW
2	07/21/08	IRRIGATION LINE & CFA SERVICE YARD REVISIONS
1	12/06/07	REV. BLDG. AREA 4 ACCESS POINT LOCATIONS

OWNER: HOPKINS STATION GENERAL PARTNERSHIP  
 C/O BRANTLY DEVELOPMENT GROUP  
 8835 COLUMBIA  
 100 PARKWAY, SUITE P  
 COLUMBIA, MD 21045  
 PHONE: (410) 730-0810

DEVELOPER: CHICK-FIL-A  
 5200 BUFFINGTON ROAD  
 ATLANTA, GA 30349-2998  
 C/O SCOTT PATMAN  
 PHONE: (404) 684-8660

CHICK-FIL-A RESTAURANT & GENERAL OFFICE/RETAIL BUILDING  
 PART OF LOT 1, HOPKINS STATION (FORMER PRICE FARMS, LOT1)  
 JOHNS HOPKINS ROAD  
 LAUREL, HOWARD COUNTY, MARYLAND

AREA 3.59 AC. TAX MAP 41 GRID 22 ZONED B-2  
 PARCEL 425 L 3,095, F. 39 & L 7004, F. 653  
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

**EROSION AND SEDIMENT CONTROL PLAN**

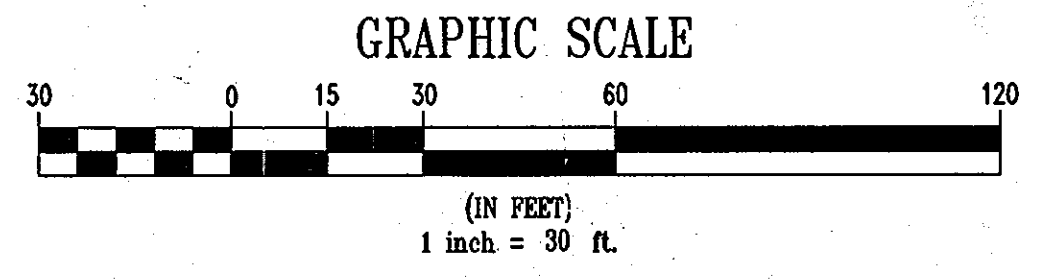
**BOHLER ENGINEERING, P.C.**  
 PROFESSIONAL ENGINEERING SERVICES  
 8110 GLENKILGORE COURT, SUITE 300, TOWSON, MD 21286  
 (410) 251-7900

DESIGNED BY: JD  
 DRAWN BY: RLB  
 PROJECT NO.: MD056502.1  
 DATE: 9/28/08  
 SCALE: 1"=30'  
 DRAWING NO. 11 OF 28

MATTHEW T. ALLEN  
 PROFESSIONAL ENGINEER NO. 28567

LANDS N/F  
 JAMES ALAN PRICE  
 LIBER 5359 FOLIO 489  
 JAMES ALAN PRICE, TR. OF THE MILDRED B. PRICE  
 FAMILY LIVING TRUST  
 LIBER 5359 FOLIO 486  
 MAP 41 GRID 22 PARCEL 128  
 ZONED RR-MXD-3 (RESIDENTIAL)

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AS-BUILT CERTIFICATION  
 THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.

SIGNATURE OF SURVEYOR (PRINT NAME BELOW SIGNATURE) DATE 9/19/2013  
 MICHAEL D. ADCOCK, PROFESSIONAL LAND SURVEYOR  
 MD REG. NO. 21297, EXPIRATION DATE: 06-16-15

**ENGINEER'S CERTIFICATE**  
 "I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT."  
 SIGNATURE OF ENGINEER (PRINT NAME BELOW SIGNATURE) DATE 7/6/07  
 PRINT NAME Matthew T. Allen

**DEVELOPER'S CERTIFICATE**  
 "I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."  
 SIGNATURE OF DEVELOPER (PRINT NAME BELOW SIGNATURE) DATE 07/06/07  
 PRINT NAME HUGH F. GUE, JR.

MISS UTILITY  
 BEFORE YOU DIG CALL  
 1-800-357-7774  
 PROTECT YOURSELF. GIVE TWO WORKING DAYS NOTICE.

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 THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION WITH SOD

- SPECIFICATIONS:
1. CLASS OF TURFGRASS SOD SHALL BE MARYLAND STATE CERTIFIED, OR MARYLAND STATE APPROVED SOD.
2. SOD SHALL BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 3/4 INCH PLUS OR MINUS 1/4 INCH...

- SITE PREPARATION: FERTILIZER AND LIME APPLICATION RATES SHALL BE DETERMINED BY SOIL TEST. UNDER UNUSUAL CIRCUMSTANCES WHERE THERE IS INSUFFICIENT TIME FOR A COMPLETE SOIL TEST...
A. PRIOR TO SODDING, THE SURFACE SHALL BE CLEARED OF ALL TRASH, DEBRIS AND OF ALL ROOTS, BRUSH, WIRE, GRADE STAKES AND OTHER OBJECTS...

- SOD INSTALLATION:
A. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE THE SOIL SHALL BE LIGHTLY IRRIGATED IMMEDIATELY PRIOR TO LAYING SOD.
B. THE FIRST ROW OF SOD SHALL BE LAID IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO AND TIGHTLY WEDGED AGAINST EACH OTHER...

- SOD MAINTENANCE:
A. IN THE ABSENCE OF ADEQUATE RAINFALL, WATERING SHALL BE PERFORMED DAILY OR AS OFTEN AS NECESSARY DURING THE FIRST WEEK AND IN SUFFICIENT QUANTITIES TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES...

HOWARD SOIL CONSERVATION DISTRICT STANDARD SEDIMENT CONTROL NOTES

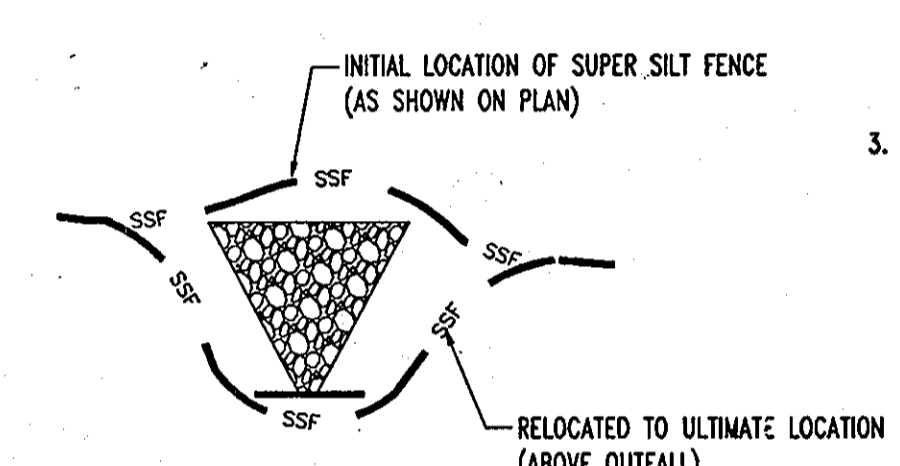
- 1. A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION, PRIOR TO THE START OF ANY CONSTRUCTION.
2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", AND REVISIONS THERETO.

TOPSOIL CONSTRUCTION AND MATERIAL SPECIFICATIONS

- 1. TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.
II. TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:

PERMANENT SEEDING NOTES

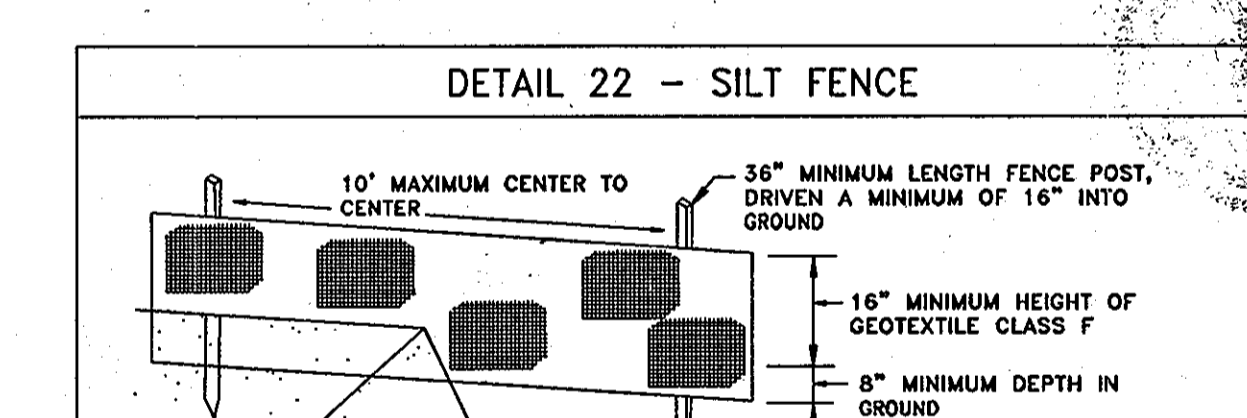
- APPLY TO GRADED OR CLEARED AREA NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.
SEEDBED PREPARATION: LOOSEN UPPER 3 INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING (UNLESS PREVIOUSLY LOOSENEED).
SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:



TYPICAL SUPER SILT FENCE INSTALLATION AT PIPE OUTFALL NOT TO SCALE

TEMPORARY SEEDING NOTES

- APPLY TO GRADED OR CLEARED AREA LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.
SEEDBED PREPARATION: LOOSEN UPPER 3 INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING (UNLESS PREVIOUSLY LOOSENEED).
SOILS AMENDMENTS: APPLY 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ. FT.)



CONSTRUCTION SPECIFICATIONS
1. FENCE POSTS SHALL BE A MINIMUM OF 3/8" LONG DRIVEN 16" MINIMUM INTO THE GROUND. WOOD POSTS SHALL BE 1 1/2" X 1 1/2" SQUARE (MINIMUM) CUT, OR 1 3/4" DIAMETER (MINIMUM) ROUND AND SHALL BE OF SOUND QUALITY HARDWOOD...
2. GEOTEXTILE SHALL BE FASTENED SECURELY TO EACH FENCE POST WITH WIRE TIES OR STAPLES AT TOP AND MID-SECTION AND SHALL MEET THE FOLLOWING REQUIREMENTS FOR GEOTEXTILE CLASS F:

STANDARD AND SPECIFICATIONS FOR TOPSOIL

DEFINITION: PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.
PURPOSE: TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATION GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

CONDITIONS WHERE PRACTICE APPLIES

- 1. THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:
A. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.
B. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.
C. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
D. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.

CONSTRUCTION AND MATERIAL SPECIFICATIONS

- 1. TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SPECIFIED. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SET FORTH IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.
2. TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:

PERMANENT SEEDING SUMMARY

Table with columns: NO., SPECIES, APPLICATION RATE (LB/AC), SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE (10-20-20), LIME RATE. Includes rows for TALL FESCUE (86%), PGA TRIVIALIS (7%), and BROODFOOT TREFOIL (7%).

TEMPORARY SEEDING SUMMARY

Table with columns: NO., SPECIES, APPLICATION RATE (LB/AC), SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE (10-10-10), LIME RATE. Includes rows for BARLEY, ANNUAL RYEGRASS, and TALL FESCUE.

NOTE: SOD IS TO BE USED ON ALL STABILIZATION WITHIN THE PROPERTY BOUNDARY

ENGINEER'S CERTIFICATE
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

MISS UTILITY
BEFORE YOU DIG CALL 1-800-357-7777 PROJECT YOURSELF, GET TWO WORKING DAYS NOTICE

AS-BUILT certification stamp and approval signatures from the Department of Planning and Zoning, Chief-Development Engineering Division, and County Health Officer.

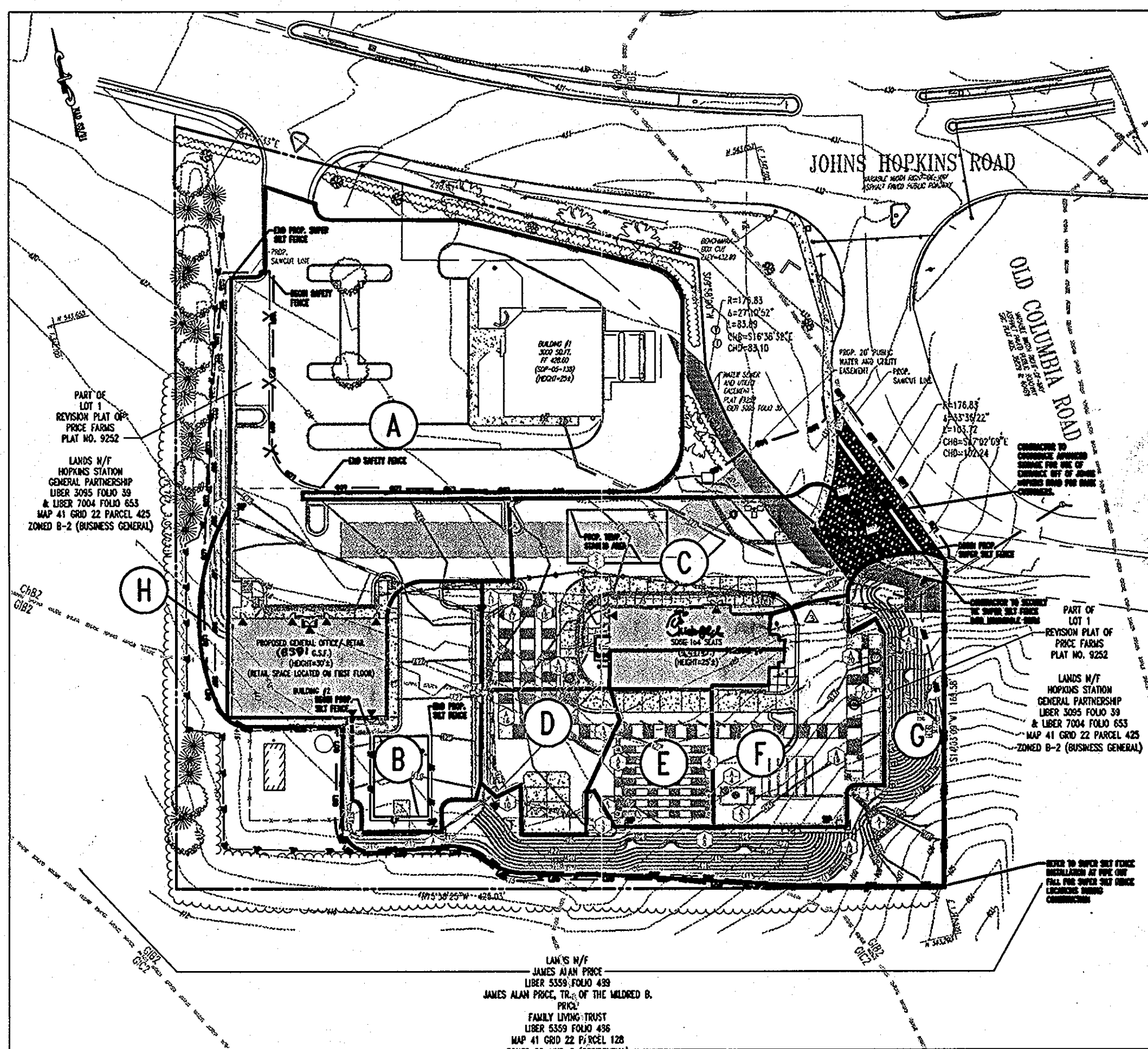
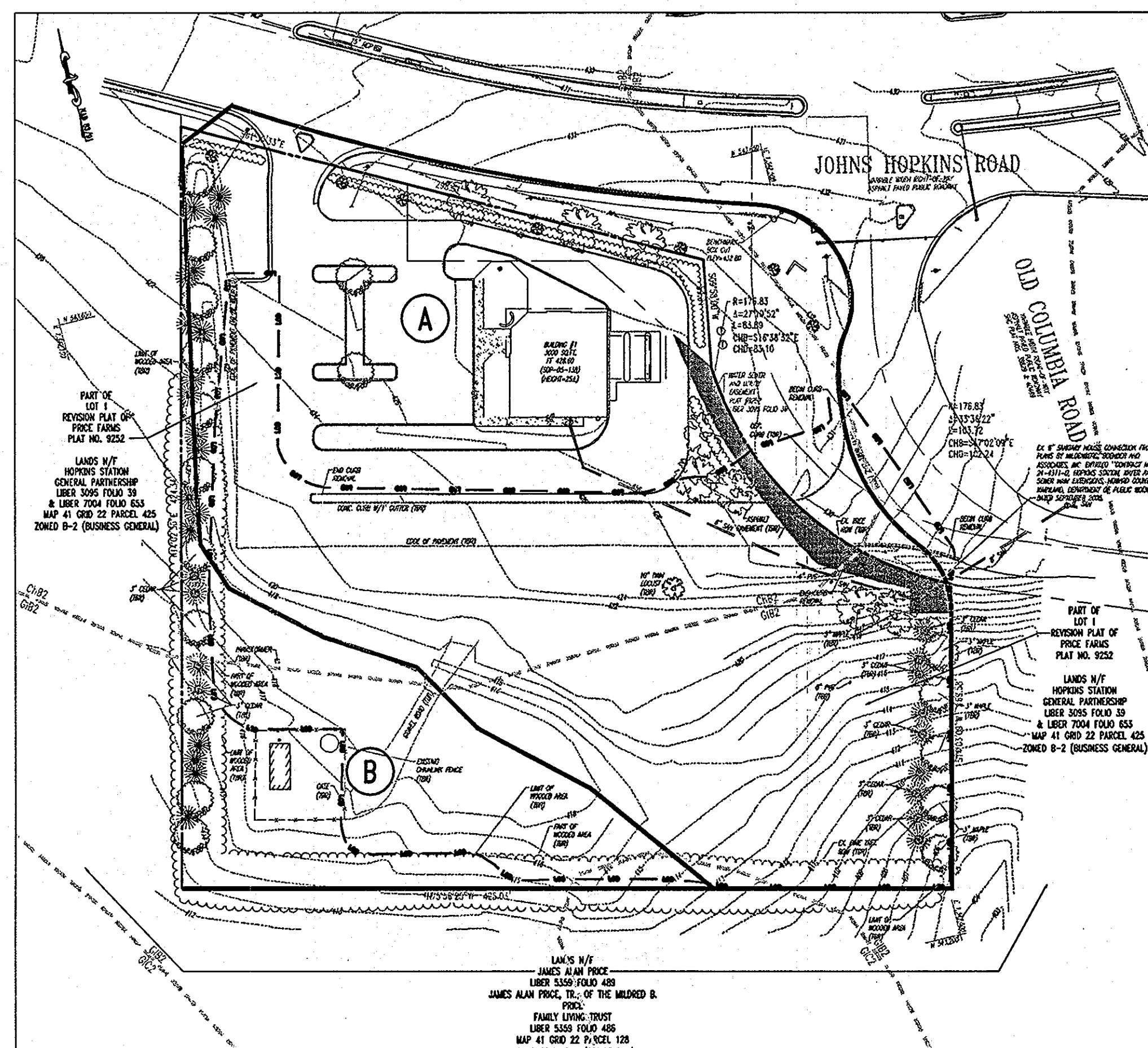
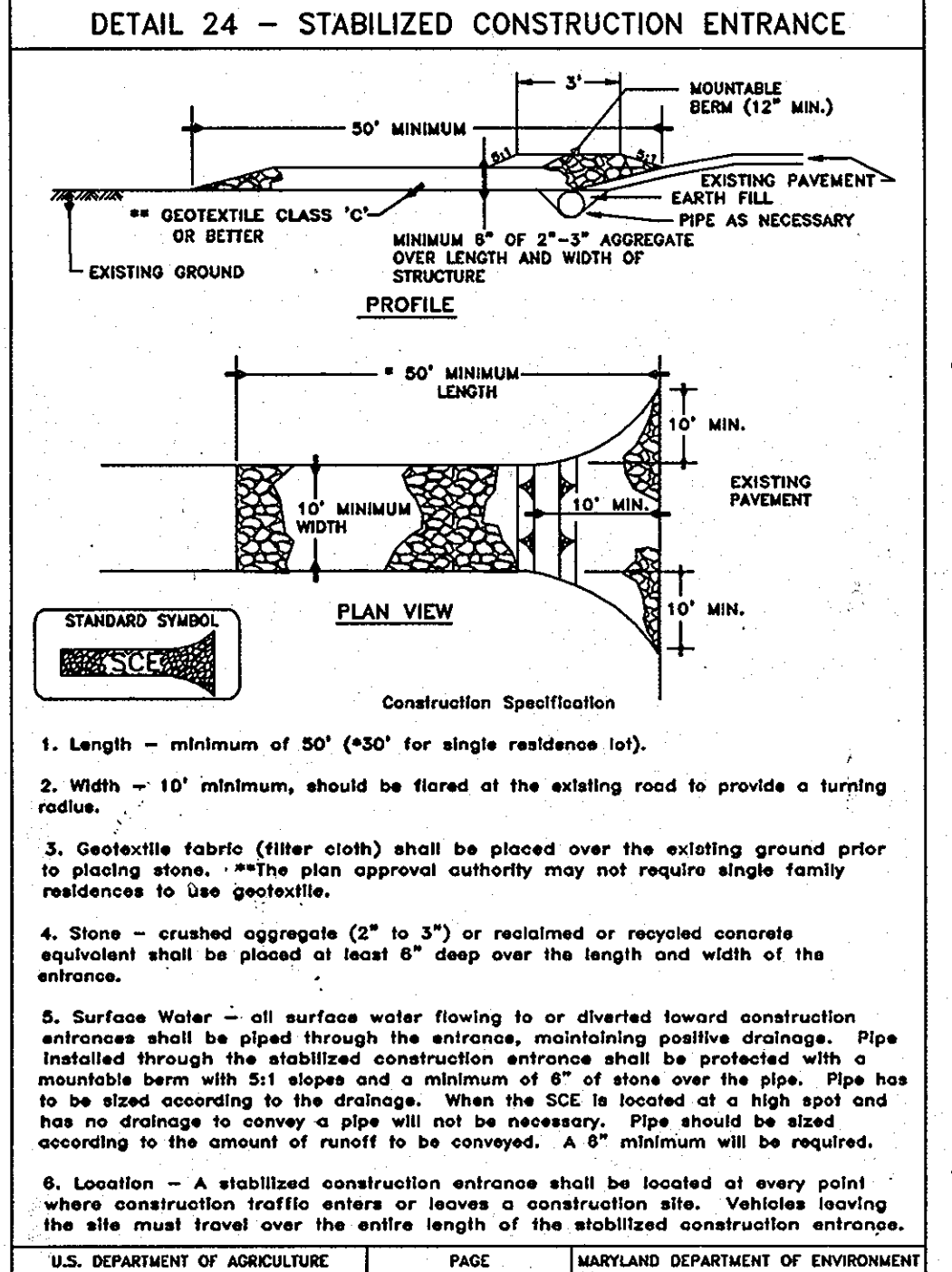
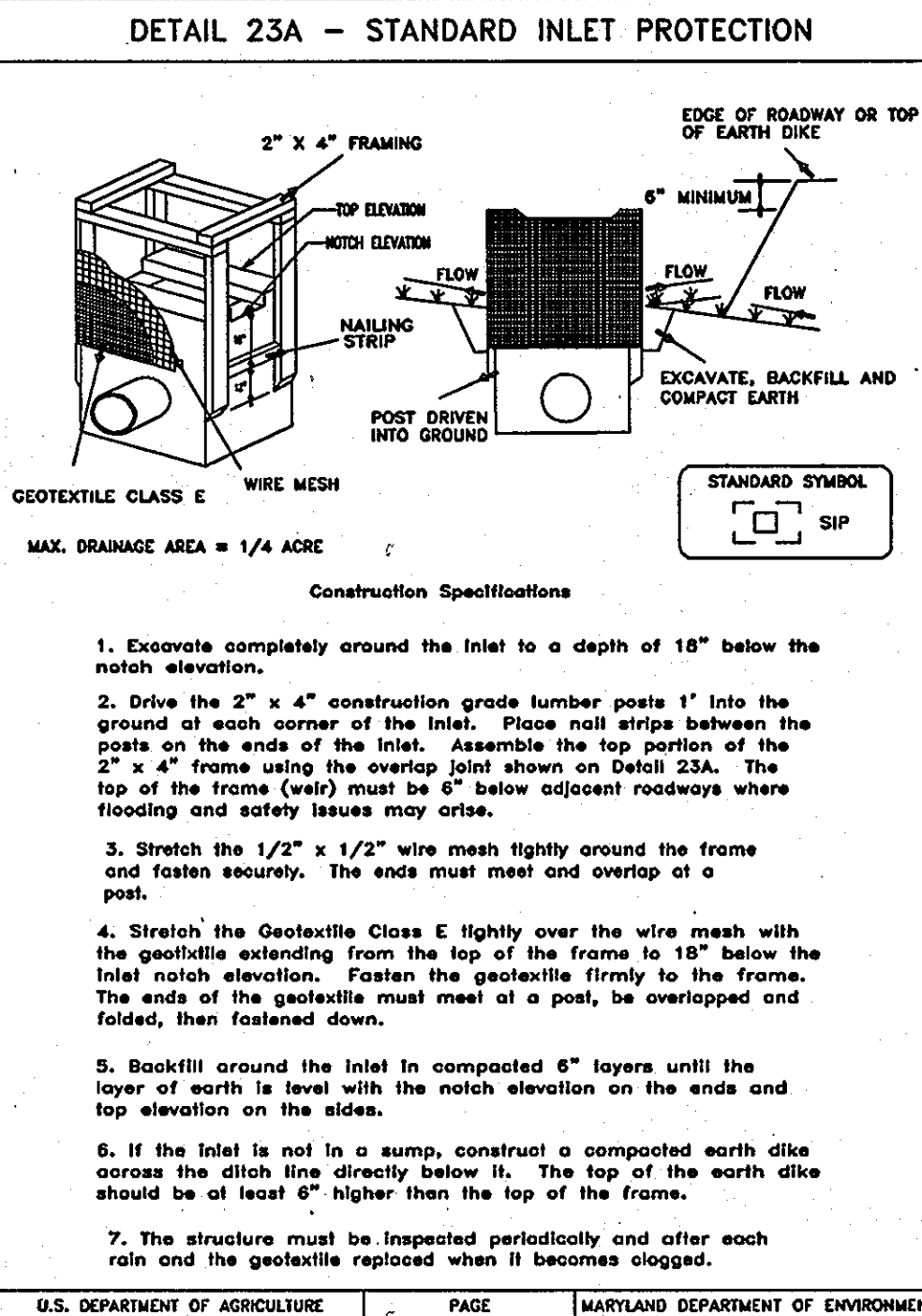
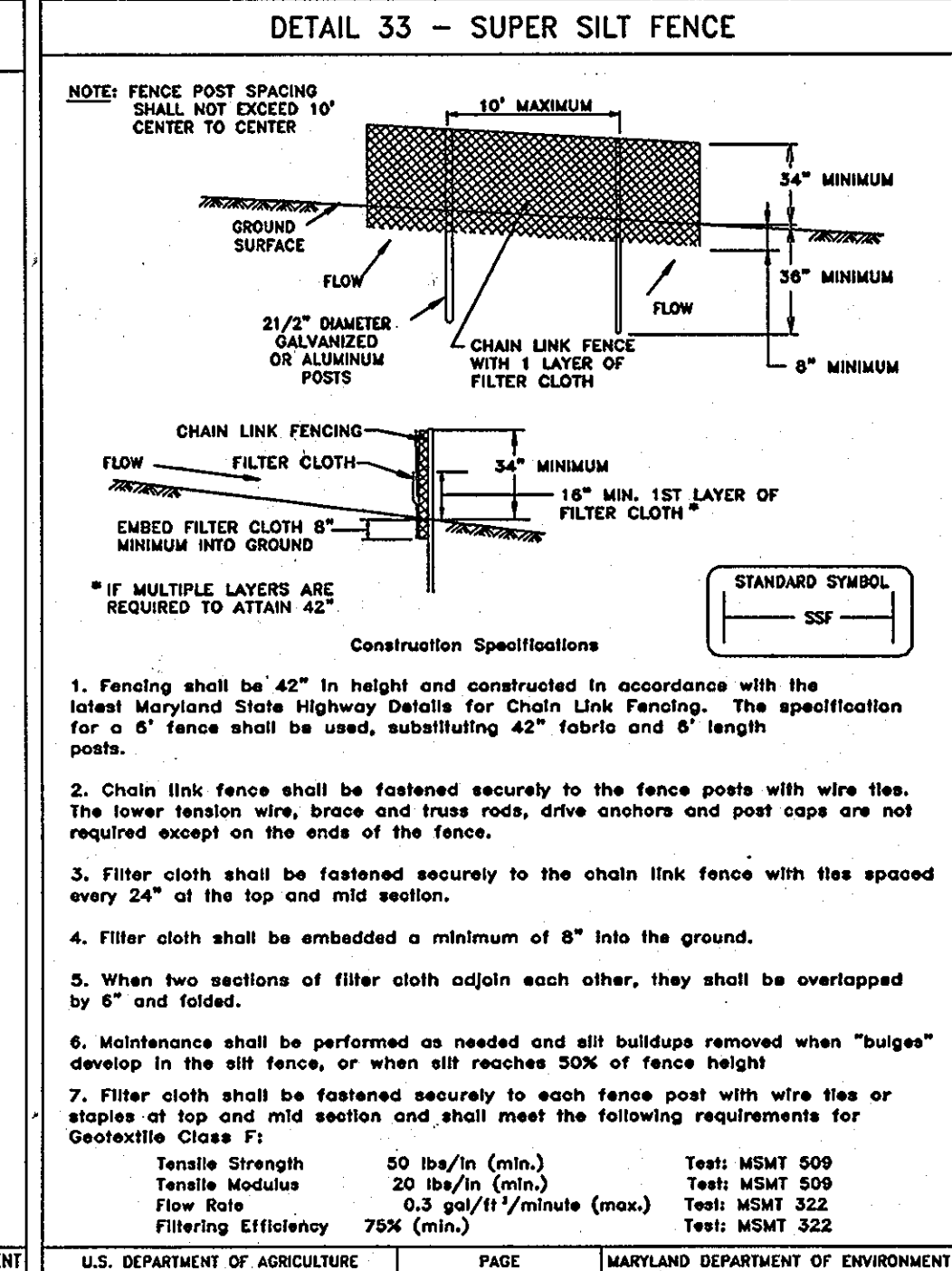
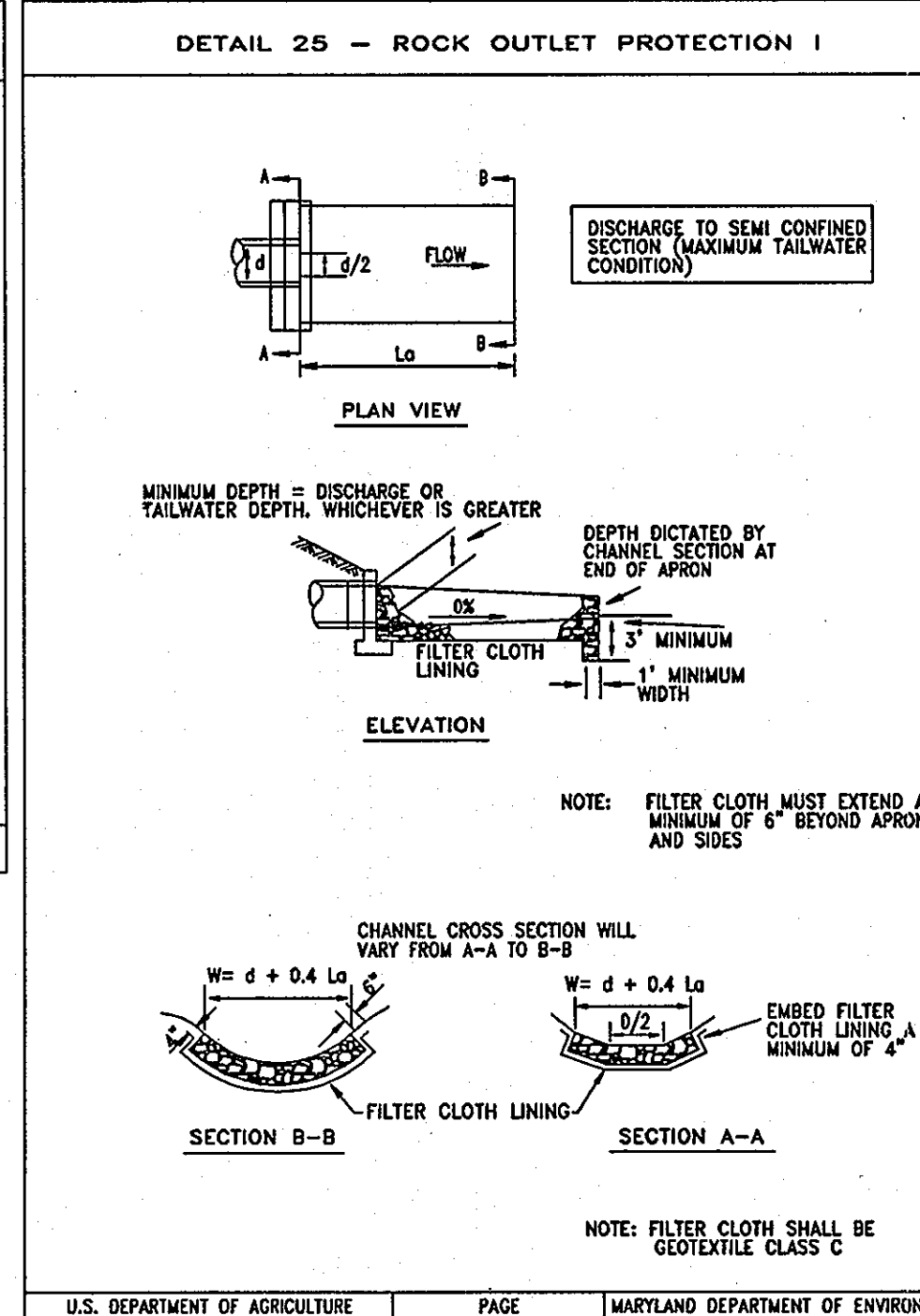
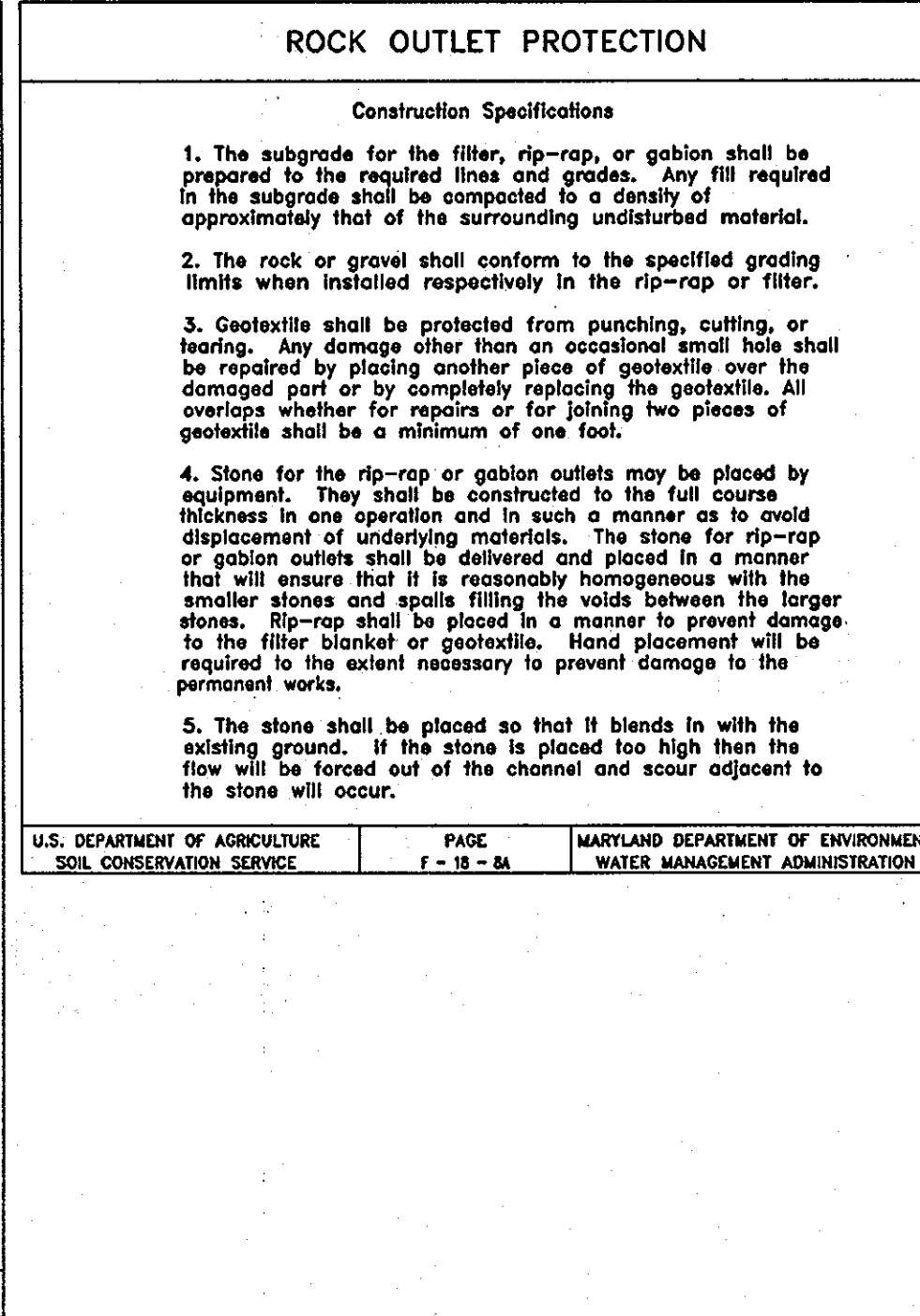
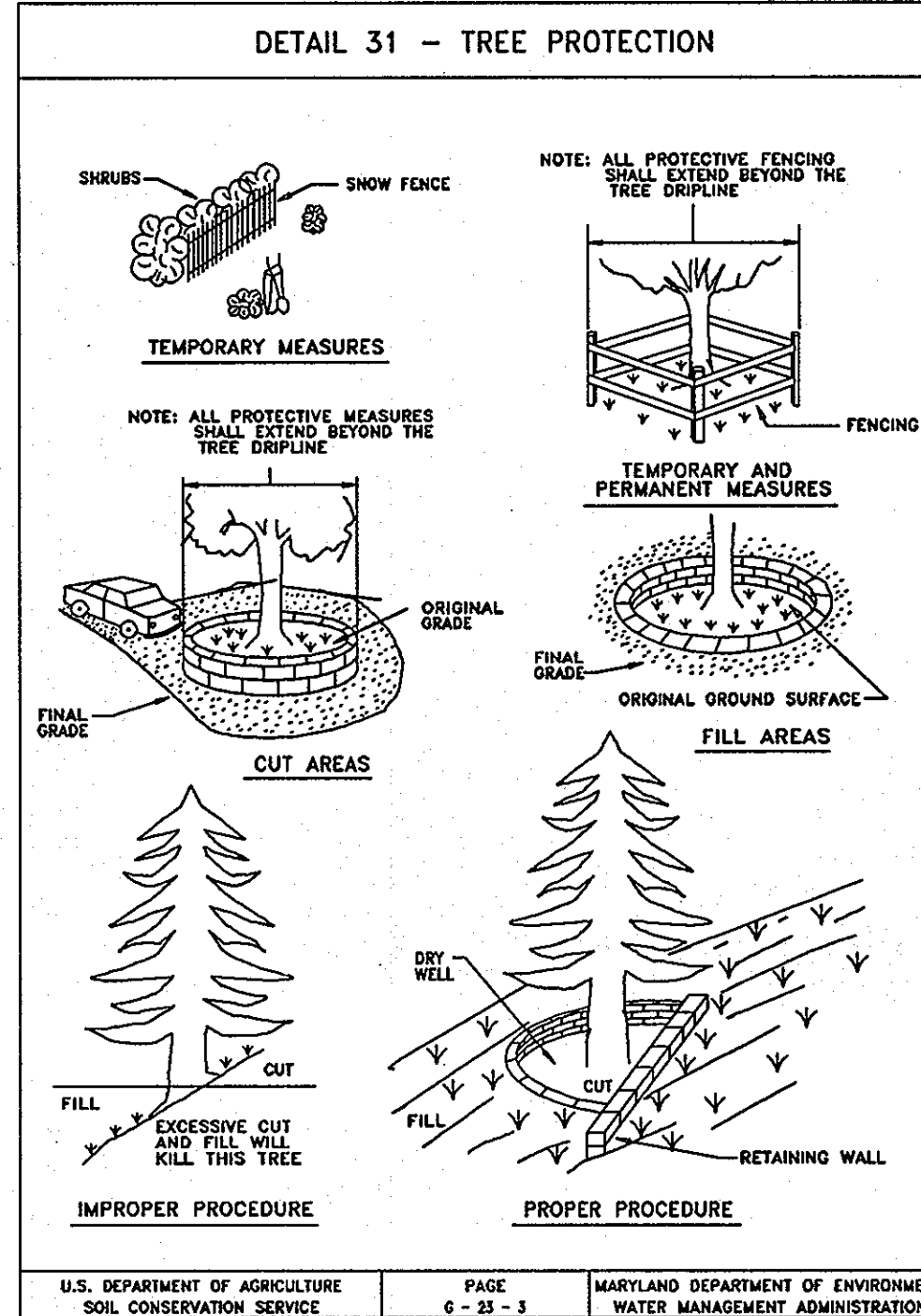
Bohler Engineering, P.C. EROSION AND SEDIMENT CONTROL DETAILS stamp and project information including area, tax map, and project number.

AS-BUILT CERTIFICATION stamp with signature of Michael D. Adcock, Professional Land Surveyor, dated 5/19/2013.

SILT FENCE table with columns: SLOPE STEEPNESS, SLOPE LENGTH, SILT FENCE LENGTH. Includes design criteria and construction specifications.

GENERAL NOTE: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE E - 15 - 3A MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

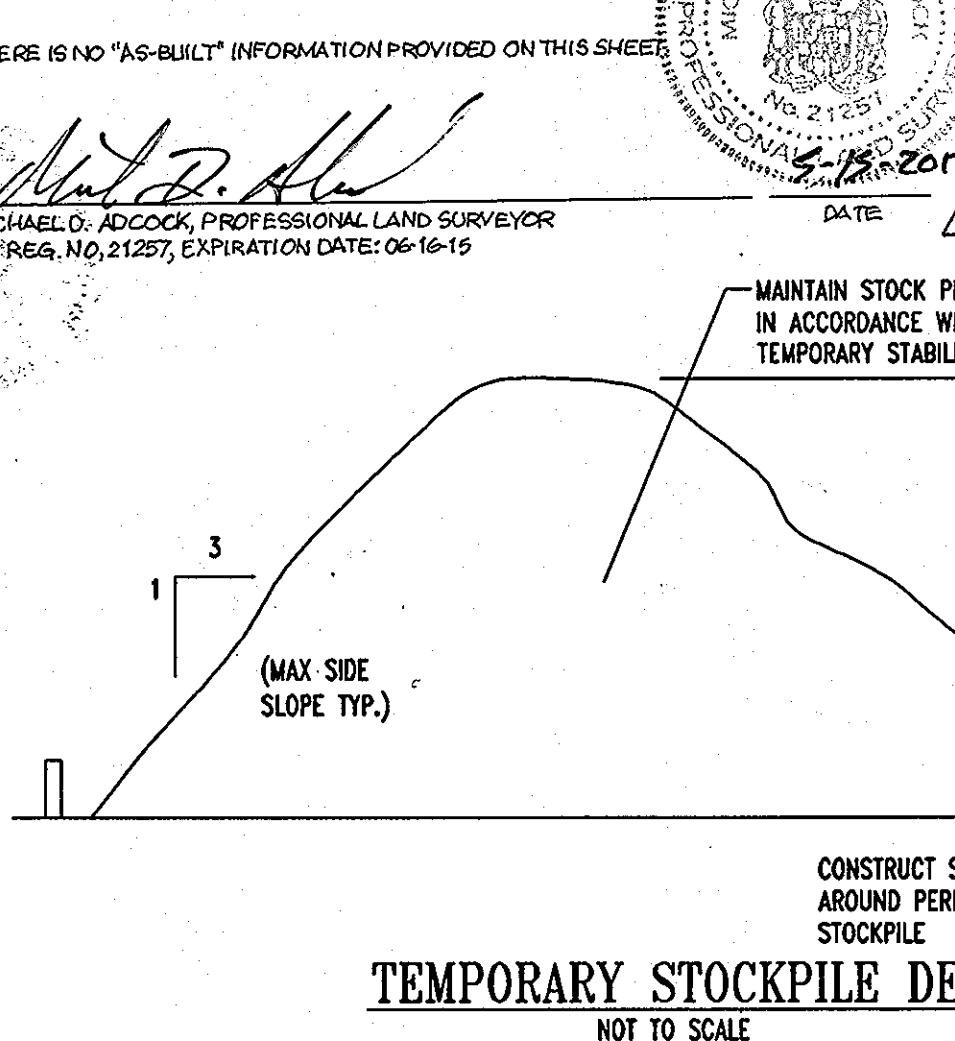


### SUPER SILT FENCE

**Design Criteria**

Slope	Slopes	Slope Length (minimum)	Silt Fence Length (minimum)
0 - 10%	0 - 10:1	Unlimited	Unlimited
10 - 20%	10:1 - 8:1	200 feet	1,000 feet
20 - 33%	5:1 - 3:1	100 feet	1,000 feet
33 - 50%	3:1 - 2:1	100 feet	500 feet
50% +	2:1 +	50 feet	250 feet

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE E-16-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



### ENGINEER'S CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT."

DATE: 7/6/07

**DEVELOPER'S CERTIFICATE**

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT."

DATE: 07/06/07

**FOR REVISION 2 ONLY**

**FOR REVISION 1 ONLY**

## AS-BUILT

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

Jim Moran 7/17/07  
NRA - NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

7/17/07  
DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
7/19/07  
DATE

APPROVED: DIVISION OF LAND DEVELOPMENT  
8/6/07  
DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.  
8/26/07  
DATE

3 4/1/08 SIDE AREA REVISED FOR CPA BUILDING  
4 2/21/08 IRRIGATION LINE & CPA SERVICE YARD REVISION  
12/06/07 DETAIL BLOC AREA & ACCESS PART LOCATIONS

NO. DATE REVISION DESCRIPTION

OWNER: HOWARD STATION GENERAL PARTNERSHIP  
C/O BRANTLY DEVELOPMENT GROUP  
8835 COLUMBIA  
100 PARKWAY, SUITE P  
COLUMBIA, MD 21045  
PHONE: (410) 730-0810

DEVELOPER: CHECK-FIL-A  
5200 BUFFINGTON ROAD  
ATLANTA, GA 30349-2998  
C/O SCOTT PATMAN  
PHONE: (404) 684-8660

CHECK-FIL-A RESTAURANT & GENERAL OFFICE/RETAIL BUILDING  
PART OF LOT 1, HOWARD STATION (FORMER PRICE FARMS, LOT1)  
JOHNS HOPKINS ROAD  
LAUREL, HOWARD COUNTY, MARYLAND

AREA 3.59 AC. TAX MAP 41 GRID 22 ZONED B-2  
PARCEL 425 L. 3,095, F. 39 & L. 7,004, F. 653  
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

### EROSION AND SEDIMENT CONTROL DETAILS

## BOHLER ENGINEERING, P.C.

PROFESSIONAL ENGINEERING SERVICES  
4110 GREENGLADES COURT, SUITE 300, TOWSON, MD 21286  
(410) 291-0900 FAX (410) 291-1200 www.bohlereng.com

REVISION: 12/15/06  
DESIGNED BY: JD  
DRAWN BY: RLB  
PROJECT NO.: MD056502.1  
DATE: 9/28/06  
SCALE: AS SHOWN  
DRAWING NO. 13 OF 23

BEFORE YOU DO CALL  
1-800-251-7777  
PROJECT NUMBER, SITE TWO  
WORKING DATES NOTICE

THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREOF APPURTENANT.

THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

MISS UTILITY  
THE MARYLAND UTILITIES ENGINEERS ASSOCIATION

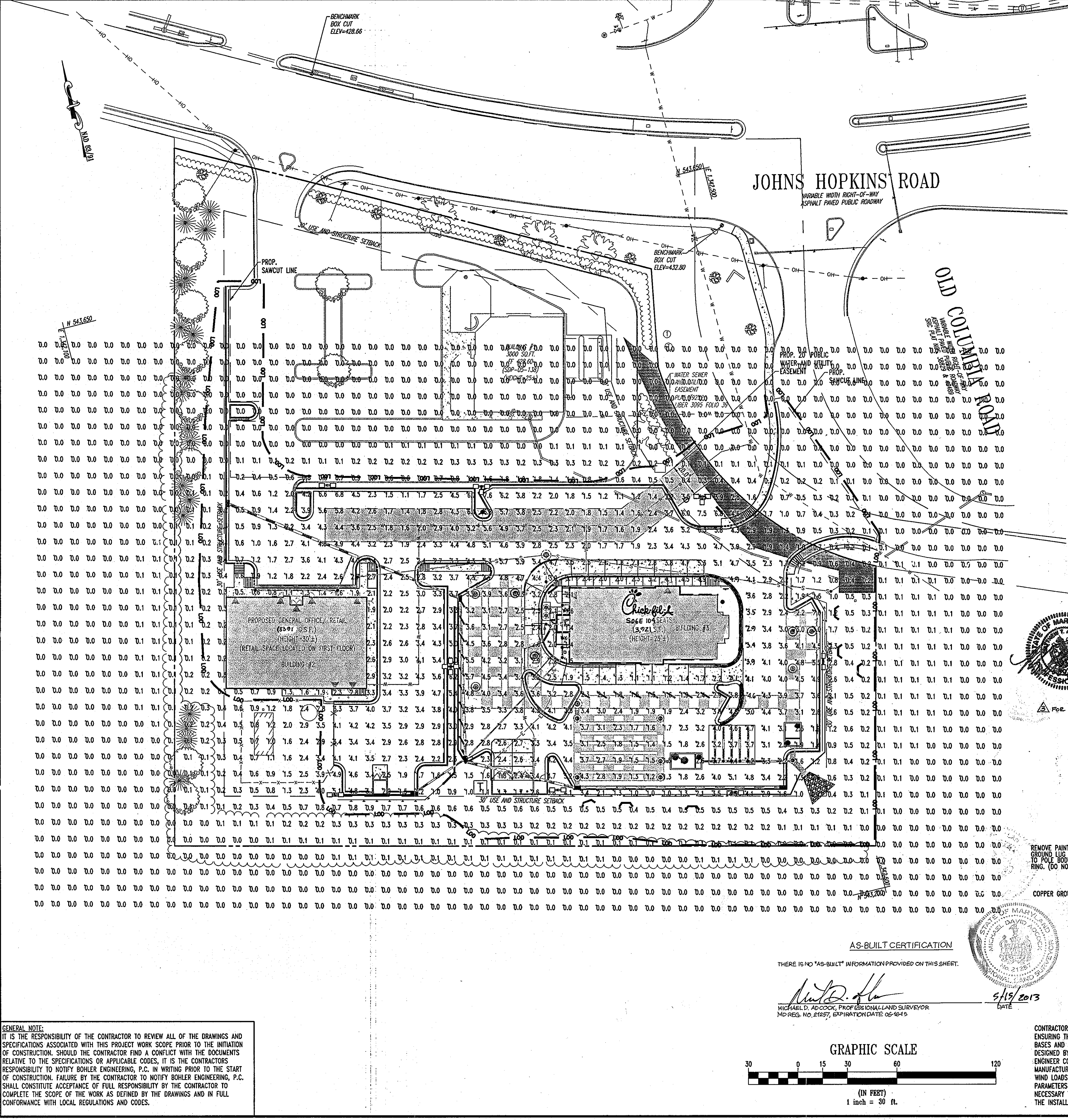
BEFORE YOU DO CALL  
1-800-251-7777  
PROJECT NUMBER, SITE TWO  
WORKING DATES NOTICE

THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

MISS UTILITY  
THE MARYLAND UTILITIES ENGINEERS ASSOCIATION

REVISION: 12/15/06  
DESIGNED BY: JD  
DRAWN BY: RLB  
PROJECT NO.: MD056502.1  
DATE: 9/28/06  
SCALE: AS SHOWN  
DRAWING NO. 13 OF 23

SDP # 07-033



- NOTES**
- Readings shown are based on a total LLF of .72 at grade.
  - Please refer to the "luminaire locations" table for mounting heights.
  - Product information can be obtained at www.Lithonia.com or through your local agency.

**NOTE:**  
 LIGHTING PLAN PREPARED BY:  
 ACUTY BRANDS LIGHTING GROUP  
 PHONE: (800) 279-8043  
 ATTN: JAMES K. EADS

**LUMINAIRE LOCATIONS**

No.	Label	X	Y	Z	MH	Orientation	Tilt
1	B	409.0	79.5	30.0	30.0	180.0	0.0
2	B	348.7	-3.4	30.0	30.0	-90.0	0.0
3	B	245.1	-0.9	30.0	30.0	-90.0	0.0
4	C	330.4	182.4	30.0	30.0	90.0	0.0
5	C	221.4	185.2	30.0	30.0	90.0	0.0
6	A	180.9	78.0	30.0	30.0	0.0	0.0
7	B	102.7	184.7	25.5	25.5	90.0	0.0
8	B	128.1	0.1	30.0	30.0	-90.0	0.0

**LUMINAIRE SCHEDULE**

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
	B	5	KSF2 400M RASC	AREA LIGHT WITH TYPE 4, CUTOFF REFLECTOR, HORIZONTAL POSITION.	ONE 400-WATT CLEAR ED-28 METAL HALIDE, HORIZONTAL POSITION.	93041301.IES	32000	0.72	924
	C	2	KSF2 400M RASC	AREA LIGHT WITH TYPE 4, CUTOFF REFLECTOR, HORIZONTAL POSITION.	ONE 400-WATT CLEAR ED-28 METAL HALIDE, HORIZONTAL POSITION.	93041301.IES	32000	0.72	1386
	A	1	KSF2 400M RASC	AREA LIGHT WITH TYPE 4, CUTOFF REFLECTOR, HORIZONTAL POSITION.	ONE 400-WATT CLEAR ED-28 METAL HALIDE, HORIZONTAL POSITION.	93041301.IES	32000	0.72	1848

**LITHONIA LIGHTING**

**FEATURES & SPECIFICATIONS**

**INSTALLATION**

**ORDERING INFORMATION**

Example: KSF2 400M R1 120 SP08 SF 000 LPT

**KSF2 400M Arm-Mounted Rectilinear Cutoff Lighting**

**AS-BUILT**

**LITHONIA LIGHTING**

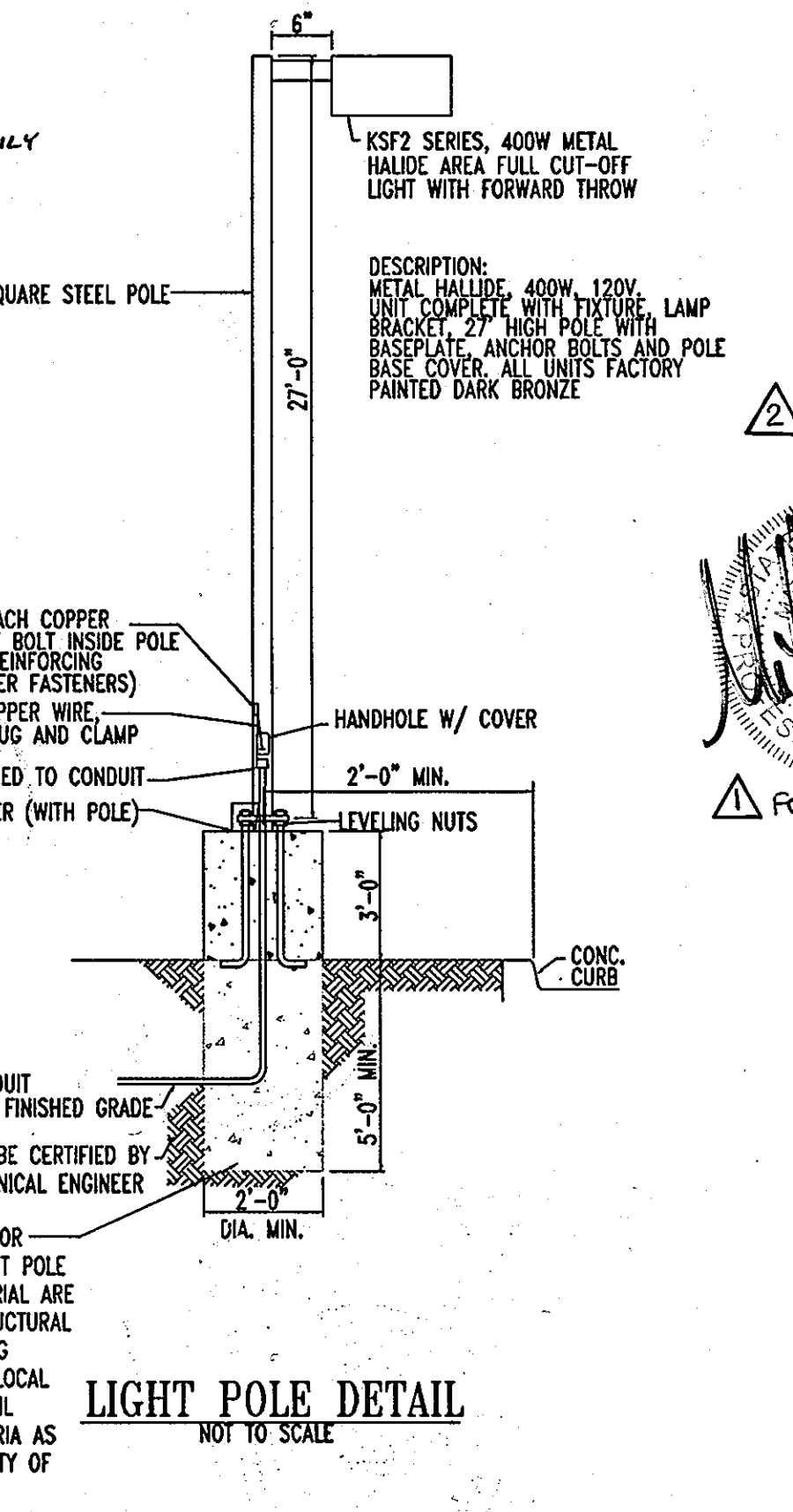
Sheet KSF2-M AL-30



FOR REVISION 3 ONLY



FOR REVISION 1 ONLY



**AS-BUILT CERTIFICATION**

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.

*Michael D. Adcock*  
 MICHAEL D. ADCOCK, PROFESSIONAL LAND SURVEYOR  
 MD REG. NO. 21897, EXPIRATION DATE 06-14-15

5/19/2013

**GRAPHIC SCALE**

(IN FEET)  
 1 inch = 30 ft.

**LIGHT POLE DETAIL**  
 NOT TO SCALE

CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT CONCRETE LIGHT POLE BASES AND REINFORCING MATERIAL ARE DESIGNED BY A QUALIFIED STRUCTURAL ENGINEER CONSIDERING LIGHTING MANUFACTURE REQUIREMENTS, LOCAL WIND LOADS, SITE SPECIFIC SOIL PARAMETERS AND OTHER CRITERIA AS NECESSARY TO ENSURE STABILITY OF THE INSTALLATION.

**GENERAL NOTE:**  
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY BOHLER ENGINEERING, P.C. IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY BOHLER ENGINEERING, P.C. SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*Chris Hamata* 7/19/12  
 CHIEF-DEVELOPMENT ENGINEERING DIVISION

APPROVED: DIVISION & LAND DEVELOPMENT

*Mark A. Joseph* 7/19/12  
 DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.

*Brian P. Peter* 8/27/12  
 COUNTY HEALTH OFFICER  
 HOWARD COUNTY HEALTH DEPARTMENT

OWNER: HOPKINS STATION GENERAL PARTNERSHIP  
 C/O BRANTLY DEVELOPMENT GROUP  
 8835 COLUMBIA  
 100 PARKWAY, SUITE P  
 COLUMBIA, MD 21045  
 PHONE: (410) 730-0810

DEVELOPER: CHICK-FIL-A  
 5200 BUFFINGTON ROAD  
 ATLANTA, GA 30349-2998  
 C/O SCOTT PATMAN  
 PHONE: (404) 684-8660

CHICK-FIL-A RESTAURANT & GENERAL OFFICE/RETAIL BUILDING  
 PART OF LOT 1, HOPKINS STATION (FORMER PRICE FARMS, LOT1)  
 JOHNS HOPKINS ROAD  
 LAUREL, HOWARD COUNTY, MARYLAND

AREA 3.59 AC. TAX MAP 41 GRID 22 ZONED B-2  
 PARCEL 425 L 3,085, F. 39 & L. 7004, F. 653  
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

**LIGHTING PLAN**

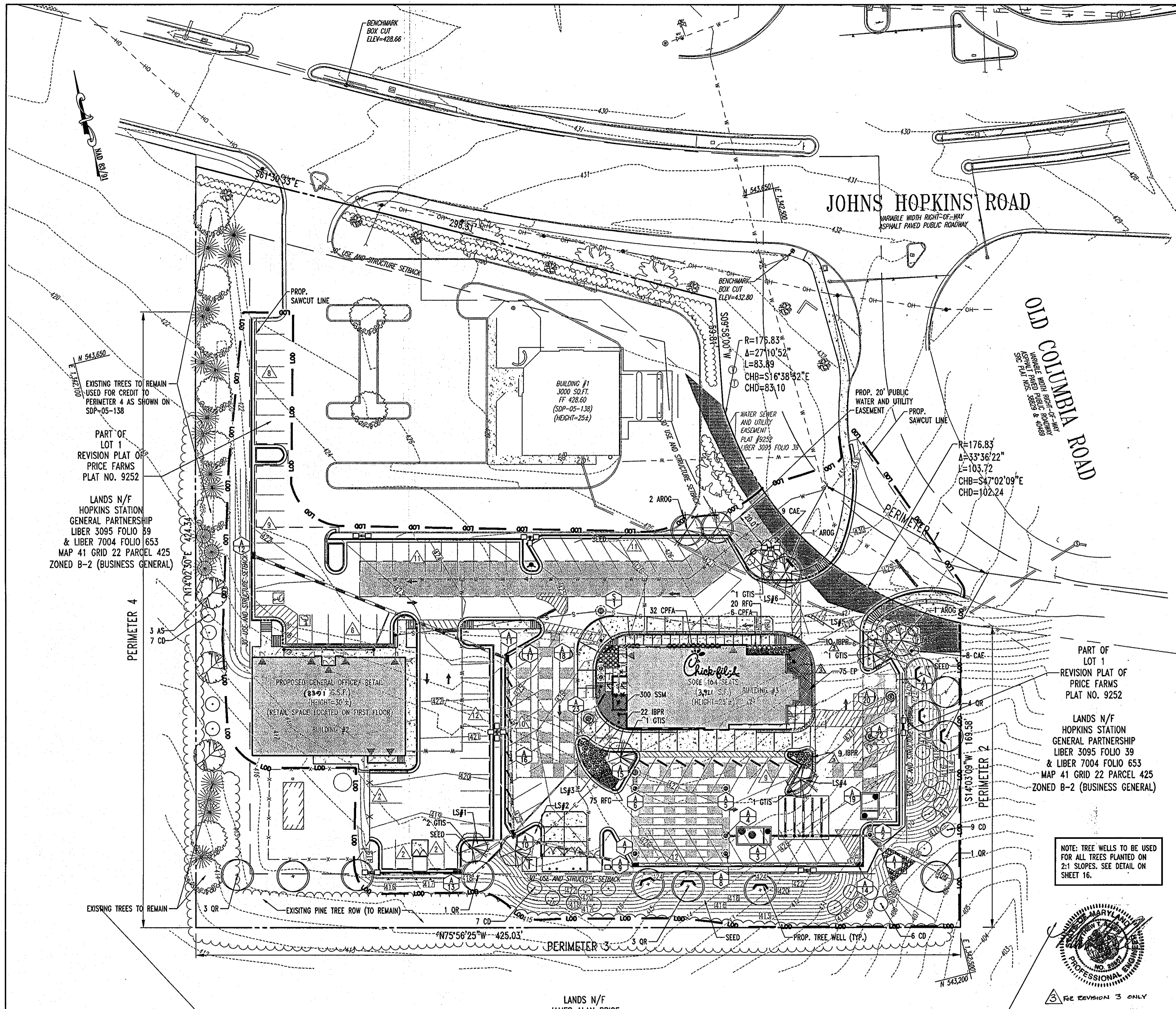
**BOHLER ENGINEERING, P.C.**

PROFESSIONAL ENGINEERING SERVICES  
 #110 CLEVELAND COUNTY SUITE 300, TOWSON, MD 21286  
 (410) 831-3999 FAX (410) 831-3997 1300A Loring Ave.

REVISOR: 12/15/06  
 DESIGNED BY: JD  
 DRAWN BY: RLB  
 PROJECT NO.: W0056502.1  
 DATE: 9/28/06  
 SCALE: 1"=30'  
 DRAWING NO. 14 OF 23

SDP # 07-033

M:\03\Chick-fil-a\W0056502\SITE SET\Rev. 3\W0056502.1SSA.dwg, 7/19/2007 8:49:23 AM, rjefrey



### TOTAL PLANTING SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT
<b>DECIDUOUS TREE(S)</b>					
AROG	4	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2 1/2-3" CAL.	B+B
AS	3	ACER SACCHARUM	SUGAR MAPLE	2 1/2-3" CAL.	B+B
OR	12	QUERCUS RUBRA	RED OAK	2 1/2-3" CAL.	B+B
GTIS	6	GLEDITSIA TRIACANTHOS VAR. INTERMIS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	2 1/2-3" CAL.	B+B
BN	1	BETULA NIGRA	MULTI STEM RIVER BIRCH	12-14"	B+B
<b>EVERGREEN TREE(S)</b>					
CD	29	CEDRUS DEODARA	DEODAR CEDAR	6' - 8' HT.	B+B
<b>DECIDUOUS SHRUB(S)</b>					
CAE	17	CORNUS ALBA 'ELEGANTISSIMA'	VARIEGATED RED TWIG DOGWOOD	2-3'	B+B
<b>EVERGREEN SHRUB(S)</b>					
CPFA	38	CHAMAECYPARIS PISIFERA 'FILIFERA AUREA'	GOLD THREAD CYPRESS	15-18" SPRD.	#3 CAN
IBPR	43	ILEX X MESERVEAE 'BLUE PRINCESS'	BLUE PRINCESS HOLLY	24-30"	#5 CAN
<b>PERENNIAL(S)</b>					
EP	75	ECHINACEA PURPUREA	PURPLE CONE FLOWER	1 QT.	CONTAINER
RFG	95	RUDEBECKIA FULGIDA 'GOLDSTURM'	GOLDSTURM	2 GAL.	CONTAINER
SSM	300	SALVIA SUPERBA 'MAYNIGHT'	MAYNIGHT MEADOW SAGE	2 GAL.	CONTAINER
	470				

IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.

### SCHEDULE A : PERIMETER LANDSCAPED EDGE

CATEGORY	ADJACENT TO PERIMETER PROPERTIES				TOTAL
	E (PERIMETER 1)	C (PERIMETER 2)	C (PERIMETER 3)	C (PERIMETER 4)	
LANDSCAPE TYPE	E (PERIMETER 1)	C (PERIMETER 2)	C (PERIMETER 3)	C (PERIMETER 4)	
LINEAR FEET OF PERIMETER	68 LF	169.54 LF	425.03 LF	345 LF	
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET)	NO	NO	YES, 170 LF	YES 185 LF	
CREDIT FOR WALL, FENCE, OR BERM (YES, NO, LINEAR FEET)	NO	NO	NO	NO	
NUMBER OF PLANTS REQUIRED					
SHADE TREES	2 SHADE TREES	5 SHADE TREES	7 SHADE TREES	4 SHADE TREES	18 SHADE TREES
EVERGREEN TREES	0 EVERGREEN TREES	9 EVERGREEN TREES	15 EVERGREEN TREES	8 EVERGREEN TREES	39 EVERGREEN TREES
SHRUBS	0 SHRUBS	0 SHRUBS	0 SHRUBS	0 SHRUBS	17 SHRUBS
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET)	N/A	N/A	170 LF OF EXISTING PINE TREE ROW	6 SHADE TREES* 11 EVERGREEN TREES* 0 SHRUBS	6 SHADE TREES 11 EVERGREEN TREES 0 SHRUBS
NUMBER OF PLANTS PROVIDED					
SHADE TREES	2 SHADE TREES	5 SHADE TREE	7 SHADE TREES	3 SHADE TREES	23 SHADE TREES
EVERGREEN TREES	0 EVERGREEN TREES	9 EVERGREEN TREES	13 EVERGREEN TREES	7 EVERGREEN TREES	40 EVERGREEN TREES
SHRUBS	17 SHRUBS	0 SHRUBS	0 SHRUBS	0 SHRUBS	17 SHRUBS

\*AS APPROVED ON SDP-05-138

### SCHEDULE B PARKING LOT INTERNAL PLANTING

NUMBER OF PARKING SPACES:	119
NUMBER OF LANDSCAPE ISLANDS AND TREES REQUIRED (1 PER 20 PARKING SPACES):	6
NUMBER OF LANDSCAPE ISLANDS AND TREES PROVIDED:	6
SHADE TREES:	6 TREES

\*\* INDICATES PLANT MATERIAL UTILIZED TO FULFILL REQUIREMENT  
\*LS# INDICATES REQUIRED LANDSCAPE ISLANDS

### PARKING LOT PLANTING SCHEDULE

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
6	GTIS	GLEDITSIA TRIACANTHOS VAR. INTERMIS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	2 1/2-3" CAL.

### STREET TREE PLANTING SCHEDULE

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
4	AROG	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2 1/2-3" CAL.
17	CAE	CORNUS ALBA 'ELEGANTISSIMA'	VARIEGATED RED TWIG DOGWOOD	2-3'

### PERIMETER PLANTING SCHEDULE

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
16	OR	QUERCUS RUBRA	RED OAK	2 1/2-3" CAL.
29	CD	CEDRUS DEODARA	DEODAR CEDAR	6' - 8' HT.
3	AS	ACER SACCHARUM	SUGAR MAPLE	2 1/2-3" CAL.

### LANDSCAPE NOTES

"AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN, SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULTING IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS."

"THE OWNER, TENANTS AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BEAMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED."

"THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL WITH 29 SHADE TREES, 0 ORNAMENTAL TREES, 29 EVERGREEN TREES AND 110 SHRUBS PROVIDE WITH LANDSCAPE SURETY IN THE AMOUNT OF \$16,350 WITH THE DPW, DEVELOPER'S AGREEMENT."

PLEASE BE ADVISED THE LANDSCAPING CANNOT BE LOCATED WITHIN ANY PUBLIC EASEMENTS FOR WATER, SEWER OR STORM DRAINS IN ACCORDANCE WITH SECTION 16.124 (B) (1) (II) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.

### AS-BUILT SOIL TYPES

ChB2 CHESTER SILT LOAM, 3-8% SLOPES, MODERATELY ERODED  
G1C2 GLENELG LOAM, 8-15% SLOPES, MODERATELY ERODED

FOR REVISION 1 ONLY

*[Signature]*  
PROFESSIONAL ENGINEER

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
7/19/07  
7/13/07  
7/13/07

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.  
8/28/07  
HOWARD COUNTY HEALTH DEPARTMENT

OWNER: HOPKINS STATION GENERAL PARTNERSHIP  
C/O BRANTLY DEVELOPMENT GROUP  
100 PARKWAY, SUITE P  
COLUMBIA, MD 21045  
PHONE: (410) 730-0810

DEVELOPER: CHICK-FIL-A  
5200 BUFFINGTON ROAD  
ATLANTA, GA 30349-2998  
C/O SCOTT PATMAN  
PHONE: (404) 684-8660

CHICK-FIL-A RESTAURANT & GENERAL OFFICE/RETAIL BUILDING  
PART OF LOT 1, HOPKINS STATION (FORMER PRICE FARMS, LOT1)  
JOHNS HOPKINS ROAD  
LAUREL, HOWARD COUNTY, MARYLAND

AREA 3.59 AC. TAX MAP 41 GRID 22 ZONED B-2  
PARCEL 425 L 3.095, F. 39 & L. 7004, F. 653  
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

### LANDSCAPE PLAN

## BOHLER ENGINEERING, P.C.

PROFESSIONAL ENGINEERING SERVICES  
1110 GLENSHIRE COURT, SUITE 300, TOWSON, MD 21286  
(410) 251-7777  
FAX: (410) 251-7777

BEFORE YOU DO CALL  
PROJECT YOURSELF, GIVE TWO WORKING DAYS NOTICE

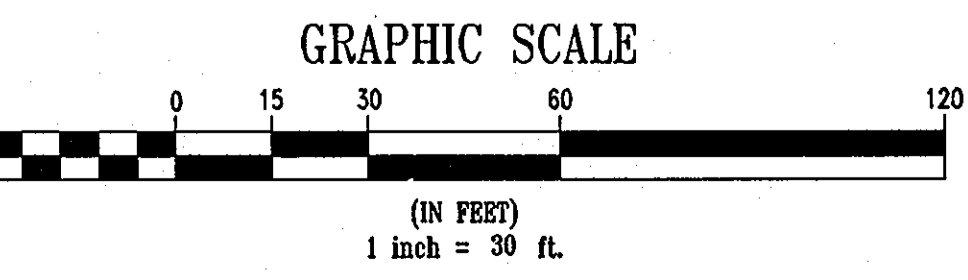
THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERE TO APPLICABLE.

THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

REVISIONS:  
12/15/06  
DESIGNED BY: JD  
DRAWN BY: RLB  
PROJECT NO.: MD05502.1  
DATE: 9/28/06  
SCALE: 1"=30'  
DRAWING NO. 15 OF 23

GENERAL NOTE:  
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY BOHLER ENGINEERING, P.C. IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY BOHLER ENGINEERING, P.C. SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY OF THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

NOTE  
ALL 2:1 SLOPES TO BE SODDED AND STABILIZED.



### DEVELOPER'S/OWNER'S LANDSCAPE CERTIFICATE

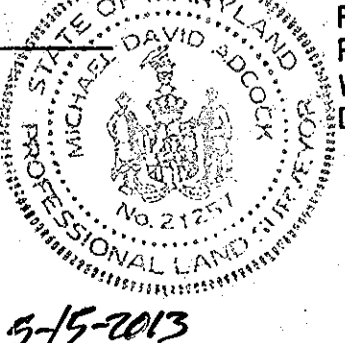
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLAN MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

By: *[Signature]*  
DEVELOPER'S/OWNER'S NAME

### AS-BUILT CERTIFICATION

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.

*[Signature]*  
MICHAEL D. ADCOCK, PROFESSIONAL LAND SURVEYOR  
MD REG. NO. 21287, EXPIRATION DATE: 06-16-15



REVISION 3 ONLY

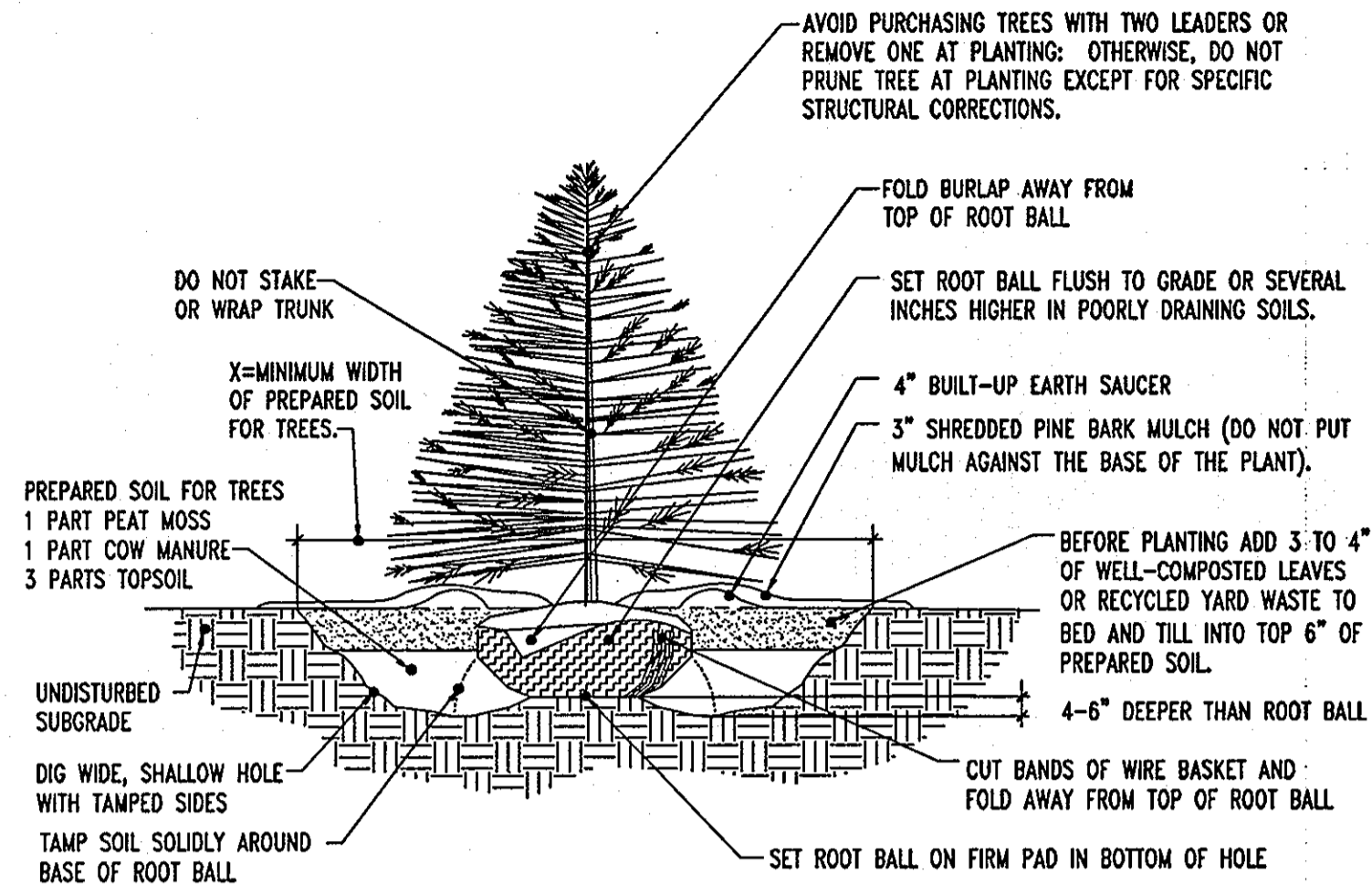
REVISION 2 ONLY

REVISION 1 ONLY

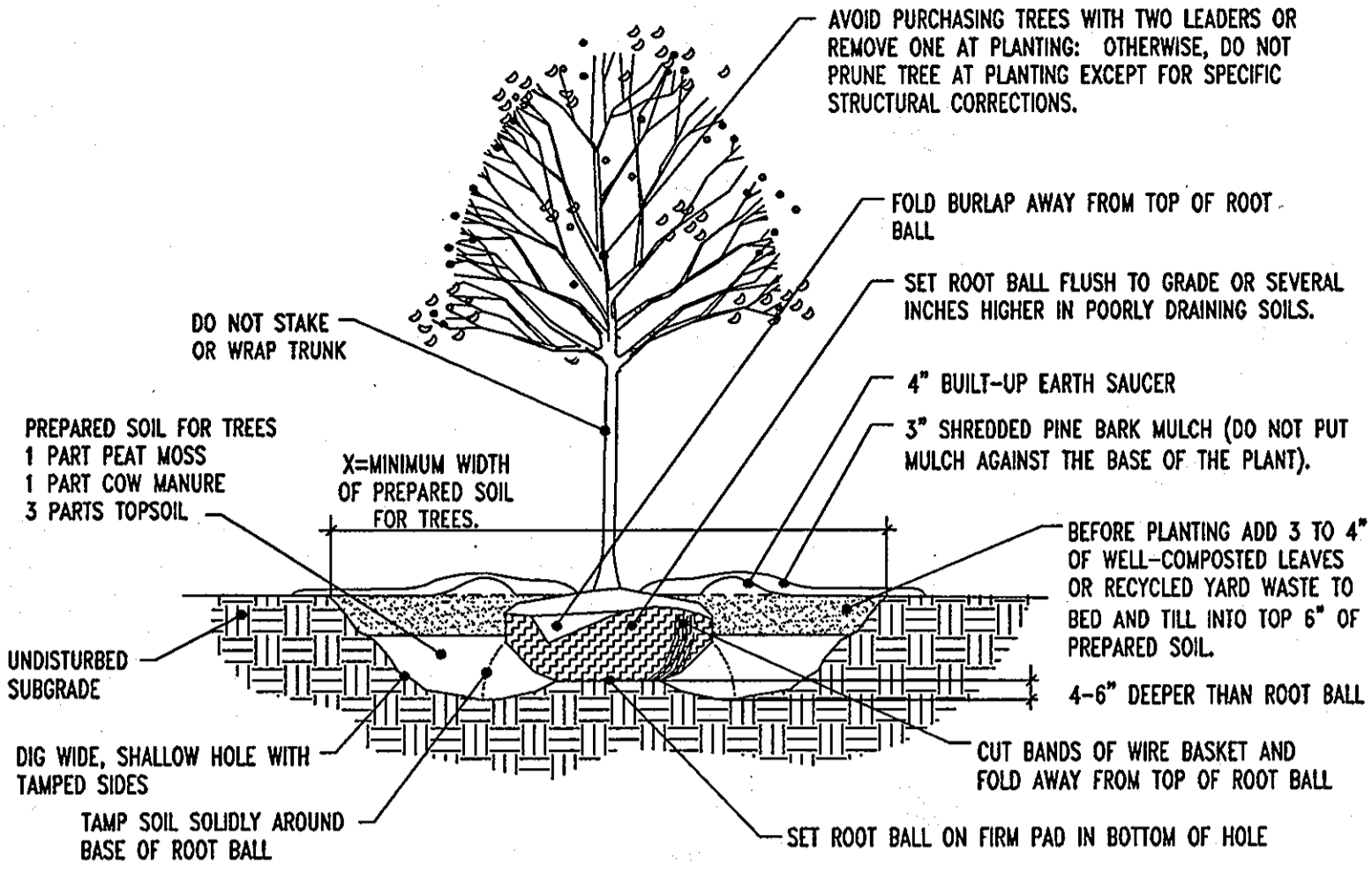
REVISION 0 ONLY

**NOTES FOR DECIDUOUS AND EVERGREEN TREE PLANTINGS:**

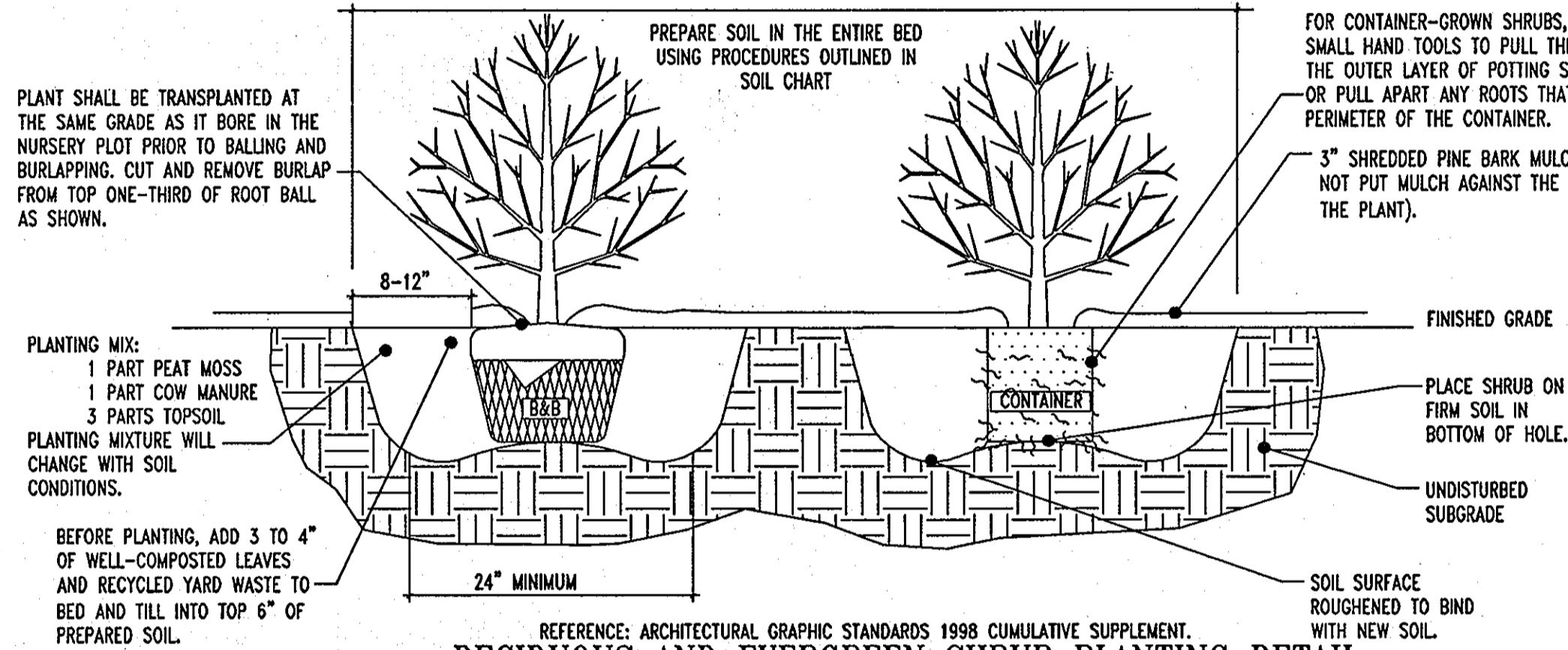
- NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
- REMOVE ALL ROPE FROM TRUNK & TOP OF ROOT BALL. FOLD BURLAP BACK 1/3 FROM TOP OF ROOT BALL.
- PLANTING DEPTH SHALL BE THE SAME AS GROWN IN NURSERY.
- THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
- THE BOTTOM OF PLANTING PIT EXCAVATIONS SHOULD BE ROUGH TO AVOID MATTING OF SOIL LAYERS AS NEW SOIL IS ADDED. IT IS PREFERABLE TO TILL THE FIRST LIFT (2 TO 3 IN.) OF PLANTING SOIL INTO THE SUBSOIL.



REFERENCE: ARCHITECTURAL GRAPHIC STANDARDS 1998 CUMULATIVE SUPPLEMENT.  
**EVERGREEN TREE PLANTING DETAIL**  
NOT TO SCALE



REFERENCE: ARCHITECTURAL GRAPHIC STANDARDS 1998 CUMULATIVE SUPPLEMENT.  
**DECIDUOUS TREE PLANTING DETAIL**  
NOT TO SCALE

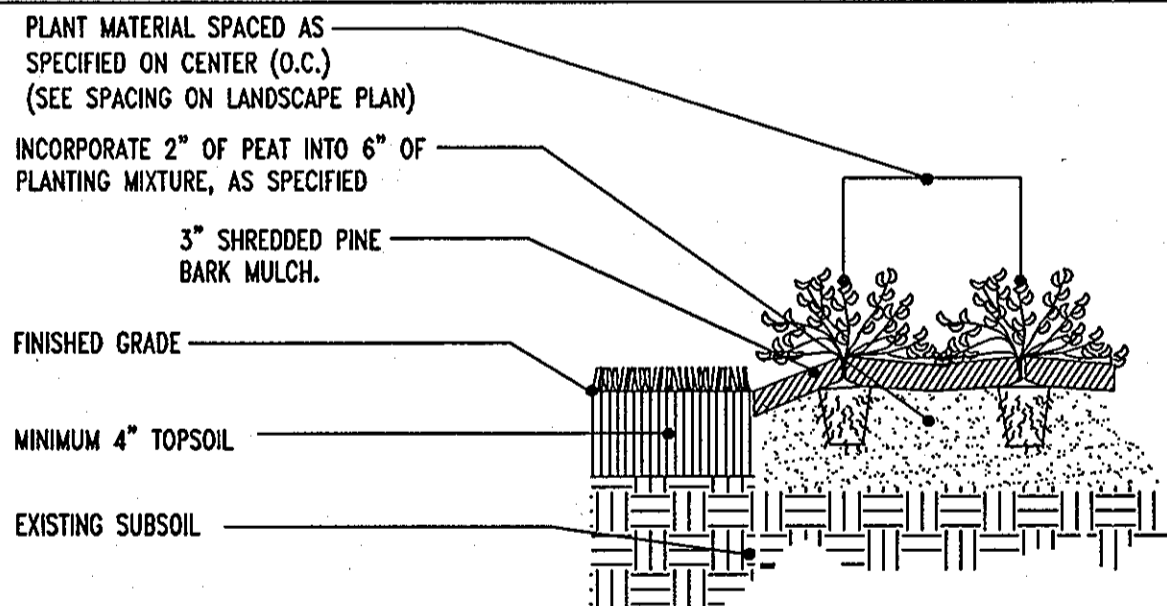


REFERENCE: ARCHITECTURAL GRAPHIC STANDARDS 1998 CUMULATIVE SUPPLEMENT.  
**DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL**  
NOT TO SCALE

**GENERAL RANGE OF SOIL MODIFICATIONS & VOLUMES FOR VARIOUS SOIL CONDITIONS**

POST-CONSTRUCTION SOIL CONDITION	MIN./WIDTH PREPARED SOIL FOR TREES (X)	TYPE OF PREPARATION
GOOD SOIL (NOT PREVIOUSLY GRADED OR COMPACTED, TOPSOIL LAYER INTACT)	6 FT. OR TWICE THE WIDTH OF THE ROOT BALL, WHICHEVER IS GREATER	LOOSEN THE EXISTING SOILS TO THE WIDTHS AND DEPTHS SHOWN IN DETAILS ABOVE.
COMPACTED SOIL (NOT PREVIOUSLY GRADED, TOPSOIL LAYER DISTURBED BUT NOT ELIMINATED)	15 FT.	LOOSEN THE EXISTING SOILS TO THE WIDTHS AND DEPTHS SHOWN IN DETAILS ABOVE; ADD COMPOSTED ORGANIC CONTENT UP TO 5% DRY WEIGHT.
GRADED SUBSOILS AND CLEAN FILLS WITH CLAY CONTENT BETWEEN 5 & 35%	20 FT.	MINIMUM TREATMENT: LOOSEN EXISTING SOIL TO WIDTHS AND DEPTHS SHOWN, ADD COMPOSTED ORGANIC MATTER TO BRING ORGANIC CONTENT UP TO 5% DRY WEIGHT. OPTIMUM TREATMENT: REMOVE TOP 8-10 IN. OR THE EXISTING SOILS TO THE WIDTHS AND DEPTHS SHOWN, ADD 8-10 IN. OF LOAM TOPSOIL.
POOR QUALITY FILLS, HEAVY CLAY SOILS, SOILS CONTAMINATED WITH RUBBLE OR TOXIC MATERIAL	20 FT.	REMOVE EXISTING SOILS TO THE WIDTHS AND DEPTHS CONTAMINATED WITH RUBBLE OR TOXIC MATERIAL.

REFERENCE: ARCHITECTURAL GRAPHIC STANDARDS 1998 CUMULATIVE SUPPLEMENT.



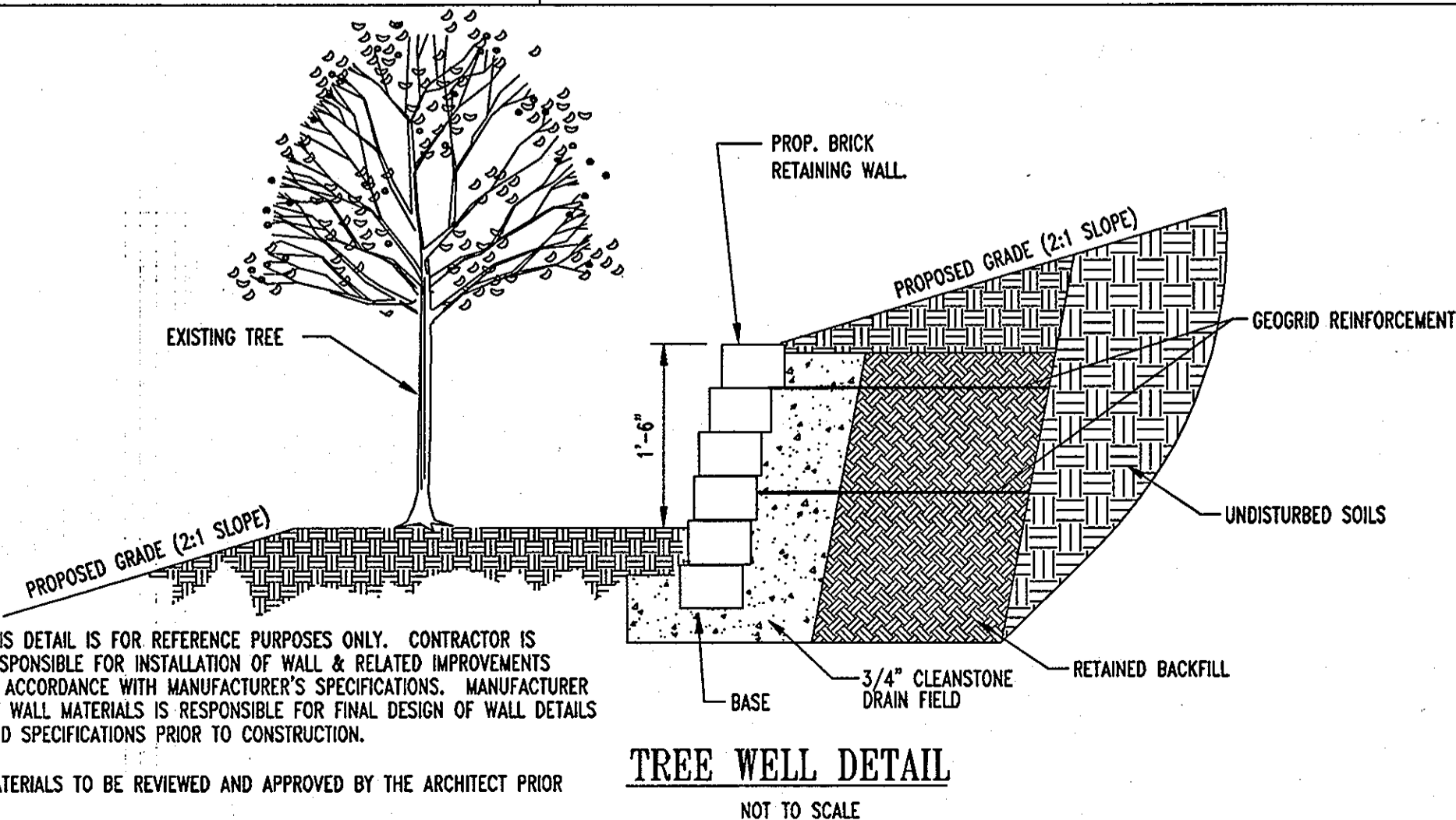
**PERENNIAL/GROUND COVER PLANTING DETAIL**  
NOT TO SCALE

**SEEDING SPECIFICATIONS**

- PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 2" DIAMETER.
- PRIOR TO SEEDING, CONSULT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
- SEEDING RATES:
  - PERENNIAL RYEGRASS: 1/2 LB/1,000 SQ FT
  - KENTUCKY BLUEGRASS: 1 LB/1,000 SQ FT
  - RED FESCUE: 1/2 LBS/1,000 SQ FT
  - SPREADING FESCUE: 1 1/2 LBS/1,000 SQ FT
  - FERTILIZER (20:10:10): 14 LBS/1,000 SQ FT
  - MULCH: 90 LBS/1,000 SQ FT
- GERMINATION RATES WILL VARY AS TO TIME OF YEAR FOR SOWING. CONTRACTOR TO IRRIGATE SEEDED AREA UNTIL AN ACCEPTABLE STAND OF COVER IS ESTABLISHED BY OWNER.

GENERAL NOTE: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY BOHLER ENGINEERING, P.C. IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY BOHLER ENGINEERING, P.C. SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

- GENERAL NOTES: THIS DETAIL IS FOR REFERENCE PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF WALL & RELATED IMPROVEMENTS IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. MANUFACTURER OF WALL MATERIALS IS RESPONSIBLE FOR FINAL DESIGN OF WALL DETAILS AND SPECIFICATIONS PRIOR TO CONSTRUCTION.
- FINAL COLOR AND MATERIALS TO BE REVIEWED AND APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION.



**TREE WELL DETAIL**  
NOT TO SCALE

**LANDSCAPE SPECIFICATIONS**

1. **SCOPE OF WORK:** THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.

- MATERIALS**
  - GENERAL - ALL LANDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS.
  - TOPSOIL - NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS.
  - LAWN - ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM SIX INCH (6") THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED WITHIN THE SOIL EROSION AND SEDIMENT CONTROL NOTES.
    - LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED.
    - SOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE/FEST FREE WITH A UNIFORM THICKNESS. SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOD IN PLACE.
  - MULCH - ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN.
- FERTILIZER**
  - FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.
  - PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY.
- PLANT MATERIAL**
  - ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
  - IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL.
  - PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.
  - TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 1/4", WHICH HAVE NOT BEEN COMPLETELY CALLEDUS, SHALL BE REJECTED. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES.
  - ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH; WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE.
  - CALIPER MEASUREMENTS OF NUDEWORN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE.
  - SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH.
  - TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.

- GENERAL WORK PROCEDURES**
  - CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.
  - WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.
- SOIL PREPARATION**
  - BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.
  - ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE TRUNK. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.
  - CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.
- TREE PROTECTION**
  - CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR 15 FEET FROM THE TRUNK OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.

- TRANSPLANTING (WHERE REQUIRED)**
  - ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT.
  - IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND.
  - PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.
  - UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.
  - TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.
  - IF TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES.
- WATERING**
  - NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE ESTABLISHED.
  - SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES.
  - IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH.
- GUARANTEE**
  - THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.
  - ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION.

- FINISHED GRADING**
  - UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.
  - LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1"±).
  - ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.
  - ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.
- TOPSOILING**
  - CONTRACTOR SHALL PROVIDE A SIX INCH (6") THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.
  - ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY STORED, STORED AND PROTECTED FROM CONTAMINATION.
  - CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.

- ALL PLANTING AND LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA):
  - 20 POUNDS "GROW POWER" OR APPROVED EQUAL
  - 29 POUNDS NITRO-FORM (COURSE) 38-0-0 BLUE CHIP
- THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER WET OR FROZEN CONDITIONS.
- PLANTING**
  - INsofar THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF THE GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.
  - PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.
  - ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED.
  - ALL PLANTING CONTAINERS, BASKETS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING.
  - POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
  - PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS: THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS:
    - PLANTS: MARCH 15 TO DECEMBER 15
    - LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1

- PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR POTENTIAL SUBSTITUTIONS.
- FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON:
  - ACER RUBRUM
  - BETULA VARIETIES
  - CARPINUS VARIETIES
  - CORYLUS VARIETIES
  - KOELBUERIA
  - LIQUIDAMBAR STYRACIFLIA
  - LIQUIDAMBAR ULTIPLERIA
  - PLATANUS X ACERIFOLIA
  - POPULUS VARIETIES
  - PRUNUS VARIETIES
  - PYRUS VARIETIES
  - QUERCUS VARIETIES
  - TILIA TOMENTOSA
  - ZELKOVA VARIETIES
- PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:
  - 1 PART PEAT MOSS
  - 1 PART COMPOSTED COW MANURE BY VOLUME
  - 3 PARTS TOPSOIL BY VOLUME
  - 20 GRAMS "AGRIFORM" PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS:
    - 2 TABLETS PER 1 GALLON PLANT
    - 3 TABLETS PER 5 GALLON PLANT
    - 4 TABLETS PER 15 GALLON PLANT
    - LARGER PLANTS: 2 TABLETS PER 1/2" CALIPER OF TRUNK
- FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER THOROUGHLY.
- ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL.
- ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM HEIGHT OF 7' FROM GRADE.
- GROUND COVER AREAS SHALL RECEIVE A 1" LAYER OF HUMUS BLENDED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION.
- NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING STRUCTURES AND SIDEWALKS.
- ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB.
- ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN.

- TRANSPLANTING (WHERE REQUIRED)**
  - ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT.
  - IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND.
  - PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.
  - UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.
  - TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.
  - IF TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES.
- WATERING**
  - NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE ESTABLISHED.
  - SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES.
  - IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH.
- GUARANTEE**
  - THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.
  - ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION.

- FINISHED GRADING**
  - UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.
  - LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1"±).
  - ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.
  - ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.
- TOPSOILING**
  - CONTRACTOR SHALL PROVIDE A SIX INCH (6") THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.
  - ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY STORED, STORED AND PROTECTED FROM CONTAMINATION.
  - CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.

AS-BUILT CERTIFICATION

THESE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.

MICHAEL D. ADCOCK, PROFESSIONAL LAND SURVEYOR  
MD REG. NO. 21287, EXPIRATION DATE: 06-16-19



DATE: 9/15/2013



BEFORE YOU DIG CALL 800-388-7777  
PROTECT YOURSELF, GET TWO WORKING DAYS NOTICE

AS-BUILT

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
7/19/13  
7/19/13  
8/13/13  
8/13/13

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.  
8/27/13  
1790

NO.	DATE	REVISION DESCRIPTION
OWNER: HOPKINS STATION GENERAL PARTNERSHIP C/O BRANTLY DEVELOPMENT GROUP 8835 COLUMBIA 100 PARKWAY, SUITE P COLUMBIA, MD 21046 PHONE: (410) 730-0810	DEVELOPER: CHECK-FLA 2500 BUFFINGTON ROAD ATLANTA, GA 30349-2998 C/O SCOTT PATMAN PHONE: (404) 684-8660	

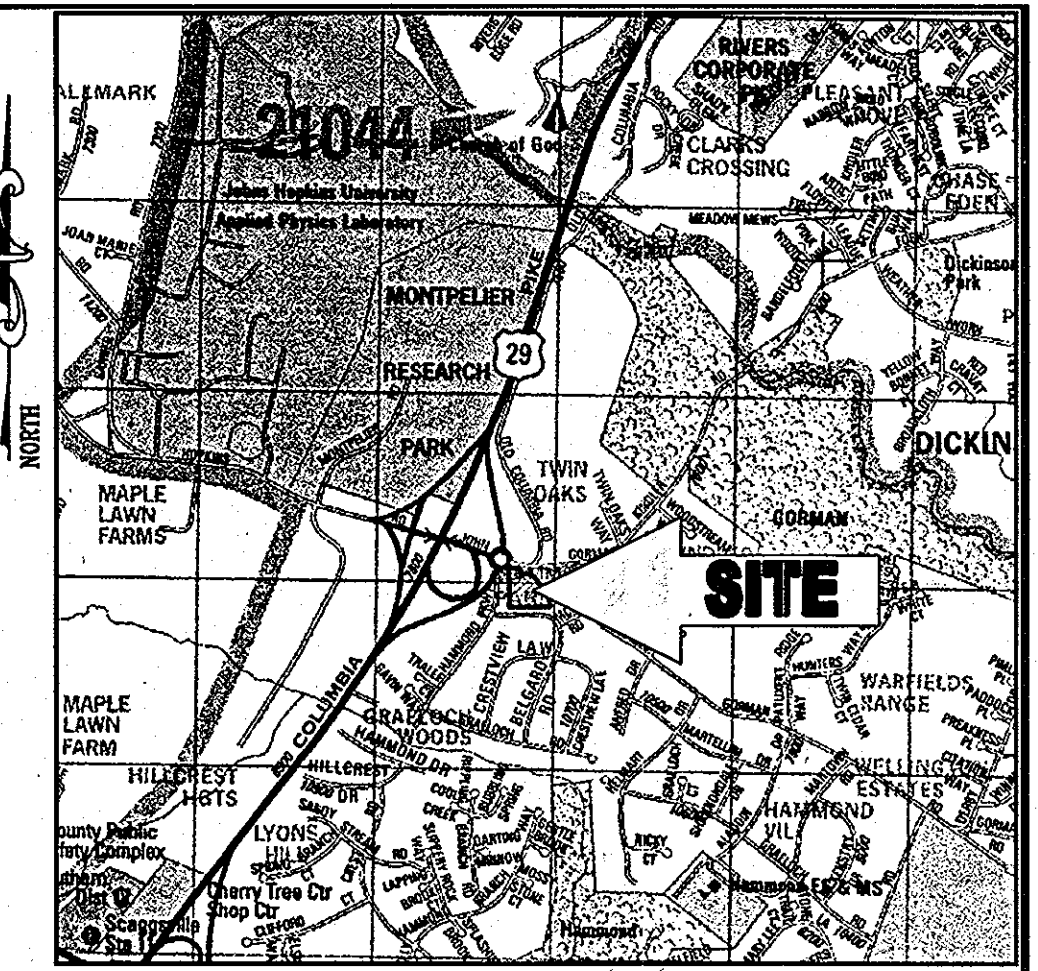
LANDSCAPE NOTES AND DETAILS

**BOHLER ENGINEERING, P.C.**  
PROFESSIONAL ENGINEERING SERVICES  
6110 GLENARLES COURT, SUITE 800, TOWSON, MD 21286  
(410) 251-1111  
www.bohlereng.com

REVISED: 12/15/06  
DESIGNED BY: JD  
DRAWN BY: RLB  
PROJECT NO.: MD05602.1  
DATE: 9/28/06  
SCALE: 1"=30'  
DRAWING NO. 16 OF 28

SDP # 07-033





LOCATION MAP  
 COPYRIGHT ADD THE MAP PEOPLE  
 PERMIT USE NO. 20602153-5  
 SCALE: 1"=2000'

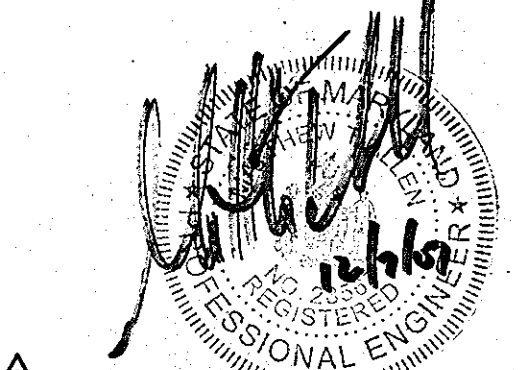
AS-BUILT



FOR REVISION 3 ONLY



FOR REVISION 2 ONLY



FOR REVISION 1 ONLY

**SOIL TYPES**  
 ChB2 CHESTER SILT LOAM, 3-8% SLOPES, MODERATELY ERODED  
 G1C2 GLENELG LOAM, 8-15% SLOPES, MODERATELY ERODED

**LEGEND**

- SOILS DELINEATION
- EKA SOILS TYPE
- DRAINAGE DIVIDES
- TC PATH
- (B) DRAINAGE AREA LABEL

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

USDA - NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 APPROVED: CHIEF-DEVELOPMENT ENGINEERING DIVISION  
 APPROVED: CHIEF-DIVISION & LAND DEVELOPMENT  
 APPROVED: DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.

APPROVED: COUNTY HEALTH OFFICER  
 APPROVED: HOWARD COUNTY HEALTH DEPARTMENT



AS-BUILT CERTIFICATION

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.

SIGNATURE OF SURVEYOR: [Signature] DATE: 5/15/2013  
 MICHAEL D. ADCOCK, PROFESSIONAL LAND SURVEYOR  
 MD REG. NO. 21297, EXPIRATION DATE: 02-16-15

NO.	DATE	REVISION DESCRIPTION
3	4/07/08	SIZE & AREA REVISED FOR CFA BUILDING
2	7/21/08	IRRIGATION LINE & CFA SERVICE YARD REVISIONS
1	12/06/07	CENTRAL BLDG. AREA & ROCKET PUMP LOCATIONS

OWNER: HOWARD STATION GENERAL PARTNERSHIP  
 DEVELOPER: CHIX-FIL-A  
 5200 BUFFINGTON ROAD  
 8835 COLUMBIA  
 ATLANTA, GA 30349-2998  
 C/O SCOTT PATMAN  
 PHONE: (404) 684-8660

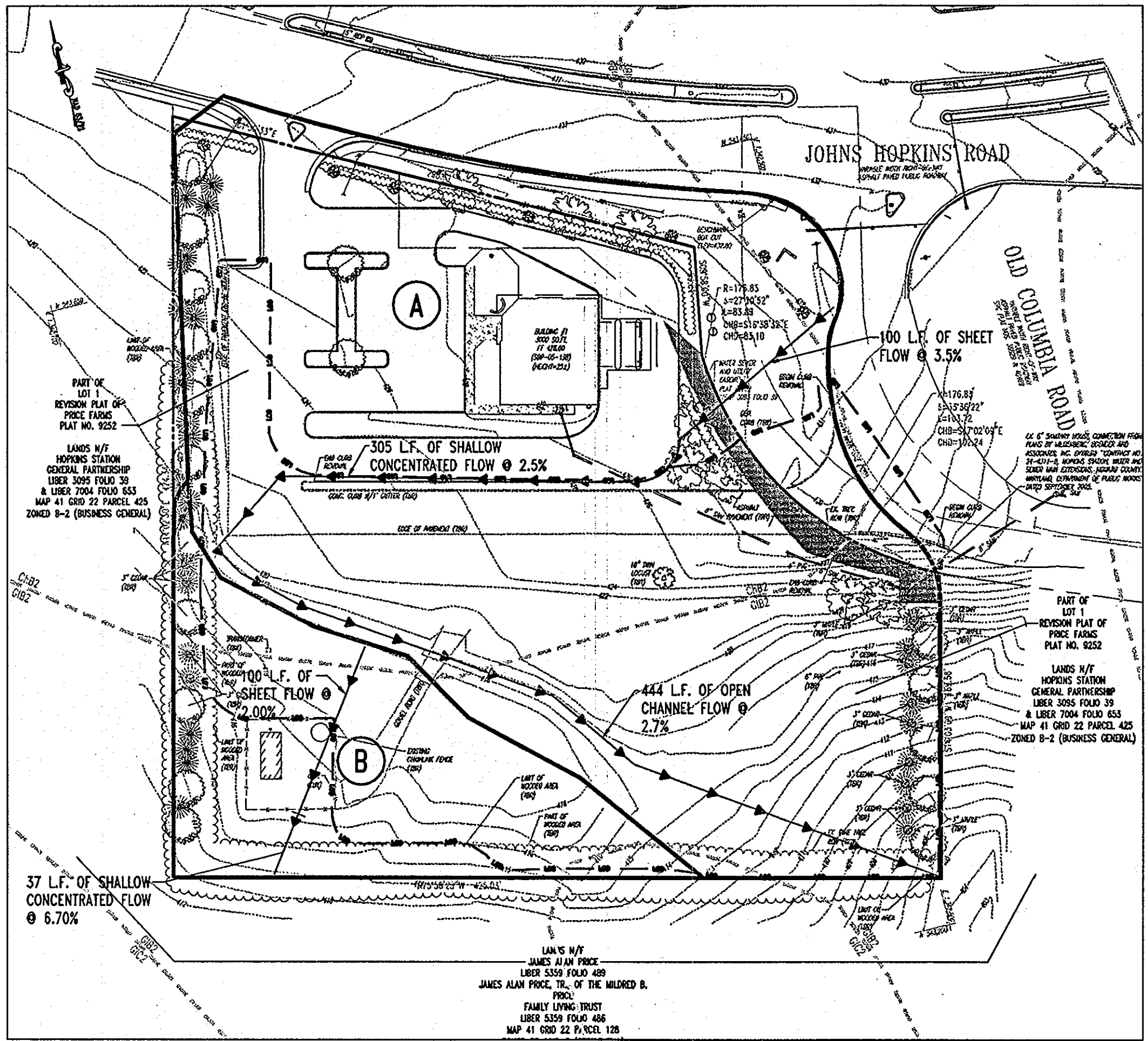
CHIX-FIL-A RESTAURANT & GENERAL OFFICE/RETAIL BUILDING  
 PART OF LOT 1, HOWARD STATION (FORMER PRICE FARMS, LOT 1)  
 LAUREL, HOWARD COUNTY, MARYLAND  
 AREA 3.59 AC. TAX MAP 41 GRID 22 ZONED B-2  
 PARCEL 425 L. 3,095, F. 39 & L. 7004, F. 655  
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

STORMDRAIN DRAINAGE AREA MAPS

**BOHLER ENGINEERING, P.C.**  
 PROFESSIONAL ENGINEERING SERVICES  
 810 GLENELG AVENUE, SUITE 300, TOWSON, MD 21286  
 (410) 821-7000

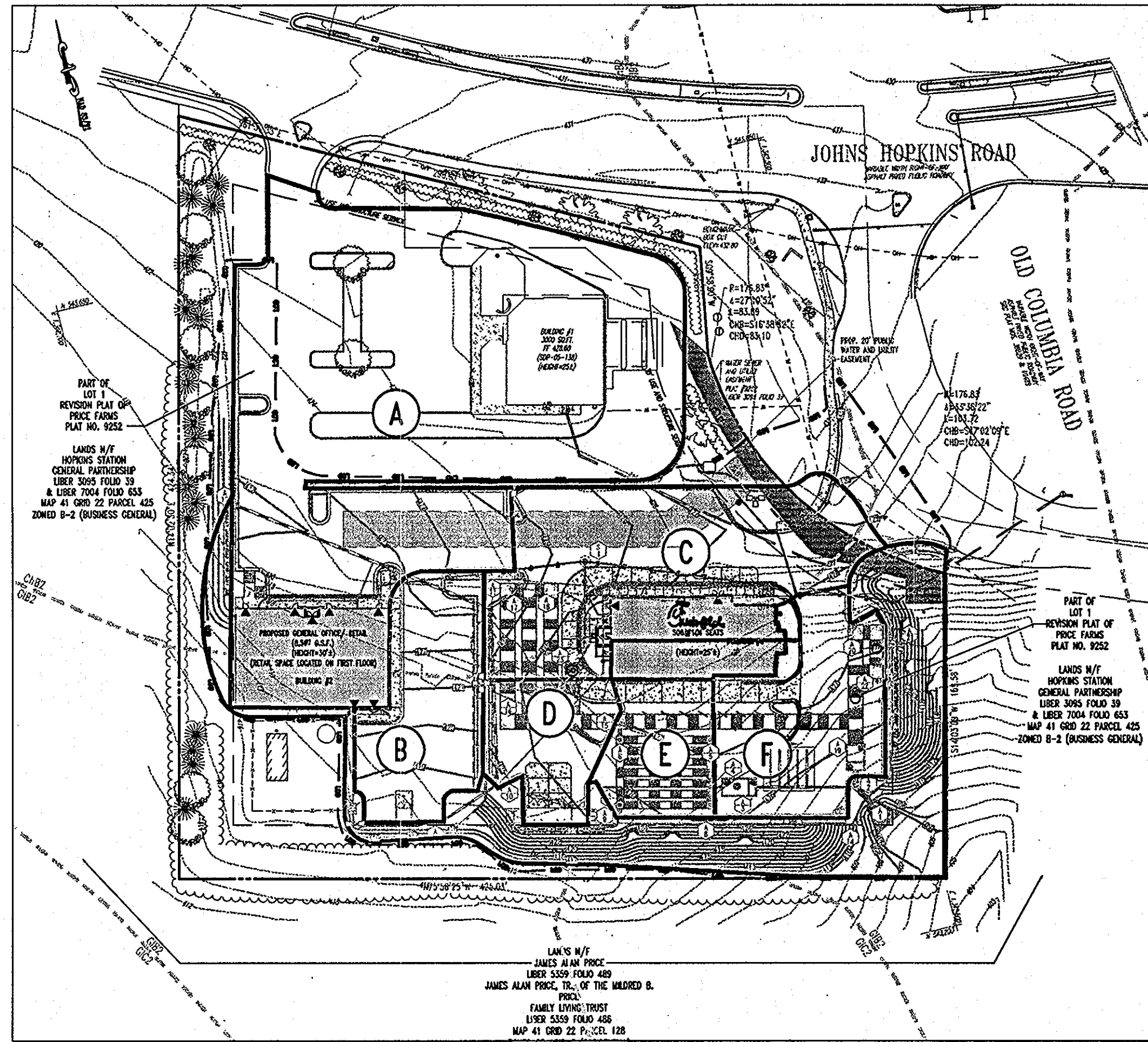
REVISION: 12/15/06  
 DESIGNED BY: JD  
 DRAWN BY: RLB  
 PROJECT NO.: MD056502.1  
 DATE: 9/28/06  
 SCALE: AS SHOWN  
 DRAWING NO. 17 OF 28

MATTHEW T. KILIEN  
 PROFESSIONAL ENGINEER NO. 28567



EXISTING STORMDRAIN DRAINAGE AREA  
 SCALE: 1"=60'

- (A) IMPERVIOUS AREA = 39,325 S.F. OR .90 AC.  
 PERVIOUS AREA = 88,862 S.F. OF 2.04 AC.  
 TOTAL AREA = 128,187 S.F. OR 2.94 AC.  
 "C" VALUE = 33  
 TO 157 L.F. OF SSF
- (B) IMPERVIOUS AREA = 625 S.F. OR 0.01 AC.  
 PERVIOUS AREA = 27,878 S.F. OF 0.64 AC.  
 TOTAL AREA = 28,503 S.F. OR 0.65 AC.  
 "C" VALUE = 16  
 TO 450 L.F. OF SSF



PROPOSED STORMDRAIN DRAINAGE AREA  
 SCALE: 1"=60'

- (A) IMPERVIOUS AREA = 41,880 S.F. OR 0.96 AC.  
 PERVIOUS AREA = 26,720 S.F. OF 0.61 AC.  
 TOTAL AREA = 68,600 S.F. OR 1.57 AC.  
 "C" VALUE = 50
- (B) IMPERVIOUS AREA = 6,902 S.F. OR 0.18 AC.  
 PERVIOUS AREA = 608 S.F. OF 0.01 AC.  
 TOTAL AREA = 7,510 S.F. OF 0.19 AC.  
 "C" VALUE = 69
- (C) IMPERVIOUS AREA = 14,696 S.F. OR 0.33 AC.  
 PERVIOUS AREA = 3,320 S.F. OF 0.07 AC.  
 TOTAL AREA = 18,016 S.F. OR 0.40 AC.  
 "C" VALUE = 62
- (D) IMPERVIOUS AREA = 9,040 S.F. OR 0.21 AC.  
 PERVIOUS AREA = 480 S.F. OR 0.01 AC.  
 TOTAL AREA = 9,520 S.F. OR 0.22 AC.  
 "C" VALUE = 69
- (E) IMPERVIOUS AREA = 3,120 S.F. OR 0.07 AC.  
 PERVIOUS AREA = 0 S.F. OR 0.00 AC.  
 TOTAL AREA = 3,120 S.F. OR 0.07 AC.  
 "C" VALUE = 72
- (F) IMPERVIOUS AREA = 8,310 S.F. OR 0.19 AC.  
 PERVIOUS AREA = 810 S.F. OR 0.02 AC.  
 TOTAL AREA = 9,120 S.F. OR 0.21 AC.  
 "C" VALUE = 66

GENERAL NOTE:  
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY BOHLER ENGINEERING, P.C. IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY BOHLER ENGINEERING, P.C. SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

**ENGINEER'S CERTIFICATE**  
 "I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT."  
 SIGNATURE OF ENGINEER (PRINT NAME BELOW SIGNATURE) DATE: 7/16/07  
 PRINT NAME: [Signature]

**DEVELOPER'S CERTIFICATE**  
 "I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."  
 SIGNATURE OF DEVELOPER (PRINT NAME BELOW SIGNATURE) DATE: 07/06/07  
 PRINT NAME: [Signature]

MISS UTILITY



BEFORE YOU DIG CALL  
 1-800-955-7177  
 PROJECT YOURSELF, GIVE TWO  
 WORKING DAYS NOTICE  
 THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREOF APPLICABLE.  
 THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

**StormFilter™ Specifications**  
PRECAST FILTER UNIT

**PART 1 GENERAL**

**1.1 Description**

The Contractor shall furnish and install the StormFilter stormwater treatment system, complete and operable as shown and as specified herein, in accordance with the requirements of the plans and contract documents.

StormFilter stormwater treatment system shall consist of an underground Pre-Cast or Cast-In-Place structure that houses passive siphon-actuated, radial-flow media-filled filter cartridges.

The radial-flow filter cartridges shall be rechargeable, and shall incorporate a self-actuated siphon cleaning mechanism to increase the effective life of the filter media and to reduce the accumulation of material on the cartridge interface.

Each radial-flow filter cartridge shall operate at a predetermined flow rate through the use of an integrated flow control orifice located within each filter cartridge.

**1.2 Manufacturer**

The StormFilter stormwater treatment system shall be of a type that has been installed and in use successfully for a minimum of five (5) or more years. StormFilter stormwater treatment system shall be supplied by Stormwater Management, Inc. (SMI), 12021-B NE Airport Way, Portland, OR 97220 (800/548-4667), without exception.

**1.3 Related Sections**

**A. Section [ ]:**

**1.4 Submittals**

**A. Submit shop drawings for StormFilter stormwater treatment system vault, filter media cartridges and accessory equipment including principal dimensions, filter placement, location of piping and unit foundation.**

**B. Submit StormFilter stormwater treatment system Operation and Maintenance Manual upon request.**

**PART 2 PRODUCTS**

**2.1 Internal Components**

All internal components including ABS and PVC manifold piping, filter cartridges, filter media (as specified on the plans in the StormFilter data block or by the Engineer), flow spreaders, and energy dissipaters shall be provided by Stormwater Management, Inc.

**A. PVC manifold pipe and fittings shall meet ASTM D1785. ABS manifold pipe and fittings shall meet ASTM F-628.**

**B. Filter cartridge bottom pan, inner ring, and hood shall be constructed from spun linear low-density polyethylene (LLDPE). Filter cartridge screen shall consist of galvanized 1" x 1/4" welded wire fabric (16 gauge minimum) with a bonded PVC coating. Internal parts shall consist of ABS pipe and fittings. Siphon-priming float shall be constructed from linear low-density polyethylene. Outer filter fabric shall be 10 x 8.5 clear fiberglass mesh over Eriksmat 7210 or woven polyethylene with a US Standard Sieve #20 opening size. All miscellaneous nuts, bolts, screws, and other fasteners shall be stainless steel.**

**An orifice plate shall be supplied with each cartridge to restrict flow rate to a maximum of between 5-15 GPM per specific design requirements.**

**C. Filter media shall be provided by SMI or approved alternate source. Filter media shall consist of one or more of the following, as specified in the StormFilter data block, or by the Engineer:**

The CSF leaf media shall have a bulk density ranging from 40 to 50 lb/ft<sup>3</sup> and particle sizes ranging from 0.05 to 0.625 inches for at least 90% of particles. Maximum level of dust for filter media shall be defined as: media passing through a US Standard Sieve #4 shall have no more than 10% (by mass of dry media) passing a US Standard Sieve #45.

**3. XPCSF Leaf Media:** XPCSF leaf media shall be made exclusively of fallen deciduous leaves with less than 5% by dry weight of woody or green yard debris materials. Filter media shall be granular and shall contain less than 0.5% foreign material such as glass or plastic contaminants. Media shall be dry at the time of installation.

**The XPCSF leaf media shall have a bulk density ranging from 45 to 65 lb/ft<sup>3</sup>. Particle size range is dependent upon manufacturing conditions at the time of production. Media produced for this project shall have a particle size between 0.05 and 0.45 inches for 90% of particles. Maximum level of dust for filter media shall be defined as: media passing through a US Standard Sieve #4 shall have no more than 10% (by mass of dry media) passing a US Standard Sieve #45.**

**Zeolite Media:** Zeolite media shall be made of naturally occurring clinoptilolite, which has a geological structure of potassium-calcium-sodium aluminosilicate.

**The zeolite media shall have a bulk density ranging from 44 to 50 lb/ft<sup>3</sup>, particle sizes ranging from 0.125 to 0.25 inches, and a cation exchange capacity ranging from 1.0 to 2.2 meq/g.**

**Iron-Infused Media:** Iron-infused media shall be made from phenolic resin mixed with iron particles and polymerized to form a cellular foam. The stock materials shall be free of debris with the iron particles being non-reactive and non-toxic.

**The iron-infused media shall have a bulk density ranging from 20 to 30 lb/ft<sup>3</sup> and particle sizes ranging from 0.0 to 0.5 inches.**

**Granular Activated Carbon (GAC):** Granular activated carbon (GAC) shall be made of lignite coal that has been steam activated. The GAC media shall have a bulk density ranging from 24 to 26 lb/ft<sup>3</sup> and particle sizes ranging from 0.07 to 0.19 inches.

**Zeolite-Perlite-Granular Activated Carbon (ZPG):** ZPG is a mixed media that shall be composed of a 1:4:4 ratio of 100% Perlite (see above) and an inner layer consisting of a 1:1 mixture of 90% Zeolite (see above) and 10% Granular Activated Carbon (see above).

**CSF Leaf - Granular Activated Carbon:** CSF/GAC is a mixed media that shall be composed of a 3:4:4 ratio of 100% CSF Leaf media (see above) and an inner layer consisting of 1:1 of 100% Granular Activated Carbon (see above).

All contractor-provided components shall meet the requirements of this section, the plans specifications and contract documents. In the case of conflict, the more stringent specification shall apply.

**A. Crushed rock base material shall be six-inch minimum layer of 1/4-inch minus rock. Compact undisturbed sub-grade materials to 95% of maximum density at 1/2% of optimum moisture content. Unsuitable material below sub-grade shall be replaced to engineer's approval.**

**B. Concrete shall have an unconfined compressive strength at 28 days of at least 3000 psi, with 3/4-inch round rock, a 4-inch slump maximum, and be placed within 90 minutes of initial mixing.**

**C. Silicone Sealant shall be pure RTV silicone conforming to Federal Specification Number TT S0015434 or TT S002300 or Engineer approved.**

**D. Grout shall be non-shrink grout meeting the requirements of Corps of Engineers CRD-C588. Specimens molded, cured and tested in accordance with ASTM C-109 shall have minimum compressive strength of 6,200 psi. Grout shall not exhibit visible bleeding.**

**E. Backfill material shall be 3/4-inch minus crushed rock, or approved equal.**

**PART 3 EXECUTION**

**3.1 Precast Concrete Vault**

**A. Place precast manhole on crushed rock base material that has been placed in maximum 12-inch lifts, loose thickness, and compact to at least 95-percent of the maximum dry density as determined by the standard Proctor compaction test, ASTM D698, at moisture content from 0- to 2-percent above optimum water content.**

**B. Contractor to grout all inlet and outlet pipes flush with manhole interior wall.**

**C. Inlet and outlet pipes shall be stubbed in and connected to precast concrete manhole according to Engineer's requirements and specifications.**

**3.2 When required, ballast shall be to the dimensions specified by the engineer and noted on the data block. Ballast shall not encase the inlet and/or outlet piping. Provide 12" clearance from outside diameter of pipe.**

**3.3 Clean Up**

**A. Remove all excess materials, rocks, roots, or foreign material, leaving the site in a clean, complete condition approved by the Engineer. All filter components shall be free of any foreign materials including concrete and excess sealant.**

**3.4 Filter Cartridges**

**A. Construction site runoff shall be directed around the StormFilter unit. Filter cartridges shall not be placed online until the project site is clean and stabilized. The project site includes any surface that contributes storm drainage to the StormFilter™. All impermeable surfaces shall be clean and free of dirt and debris. All catch basins, manholes and pipes shall be free of dirt and sediments.**

**B. SMI will deliver filter cartridges complete with filter media preinstalled into vaults. Plugs will be provided for all manifold fittings not equipped with a filter cartridge.**

**C. Contractor shall prevent construction runoff from entering the StormFilter vault.**

**StormFilter Major Maintenance/Cartridge Replacement Data Sheet**

Date: \_\_\_\_\_ Personnel: \_\_\_\_\_

Location: \_\_\_\_\_ System Size: \_\_\_\_\_

System Type: Vault Cast-In-Place Linear

List Safety Procedures and Equipment Used: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**System Observations**

Media Months in Service: \_\_\_\_\_

Oil and Grease in Forebay: Yes No \_\_\_\_\_

Sediment Depth in Forebay: \_\_\_\_\_

Sediment Depth on Vault Floor: \_\_\_\_\_

Structural Damage: \_\_\_\_\_

**Drainage Area Report**

Excessive Oil and Grease Loading: Yes No Source: \_\_\_\_\_

Sediment Accumulation on Pavement: Yes No Source: \_\_\_\_\_

Erosion of Landscaped Areas: Yes No Source: \_\_\_\_\_

**StormFilter Cartridge Replacement Maintenance Activities**

Remove Trash and Debris: Yes No Details: \_\_\_\_\_

Replace Cartridges: Yes No Details: \_\_\_\_\_

Sediment Removed: Yes No Details: \_\_\_\_\_

Minor Structural Repairs: Yes No Details: \_\_\_\_\_

Residuals (debris, sediment) Disposal Methods: \_\_\_\_\_

Notes: \_\_\_\_\_

www.stormwater360.com Toll-free: 800.548.4667 9 of 9  
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**StormFilter Minor Maintenance and Inspection Data Sheet**

Date: \_\_\_\_\_ Personnel: \_\_\_\_\_

Location: \_\_\_\_\_ System Size: \_\_\_\_\_

System Type: Vault Cast-In-Place Linear

**System Observations**

Media Months in Service: \_\_\_\_\_

Oil and Grease in Forebay: Yes No \_\_\_\_\_

Sediment Depth in Forebay: \_\_\_\_\_

Sediment Depth on Vault Floor: \_\_\_\_\_

Structural Damage: \_\_\_\_\_

Estimated Flow from Drainage Pipes (if available): \_\_\_\_\_

Cartridges Submerged: Yes No How Deep: \_\_\_\_\_

**StormFilter Minor Maintenance Activities (check off if done and give description)**

Trash and Debris Removal: \_\_\_\_\_

Minor Structural Repairs: \_\_\_\_\_

**Drainage Area Report**

Excessive Oil and Grease Loading: Yes No Source: \_\_\_\_\_

Sediment Accumulation on Pavement: Yes No Source: \_\_\_\_\_

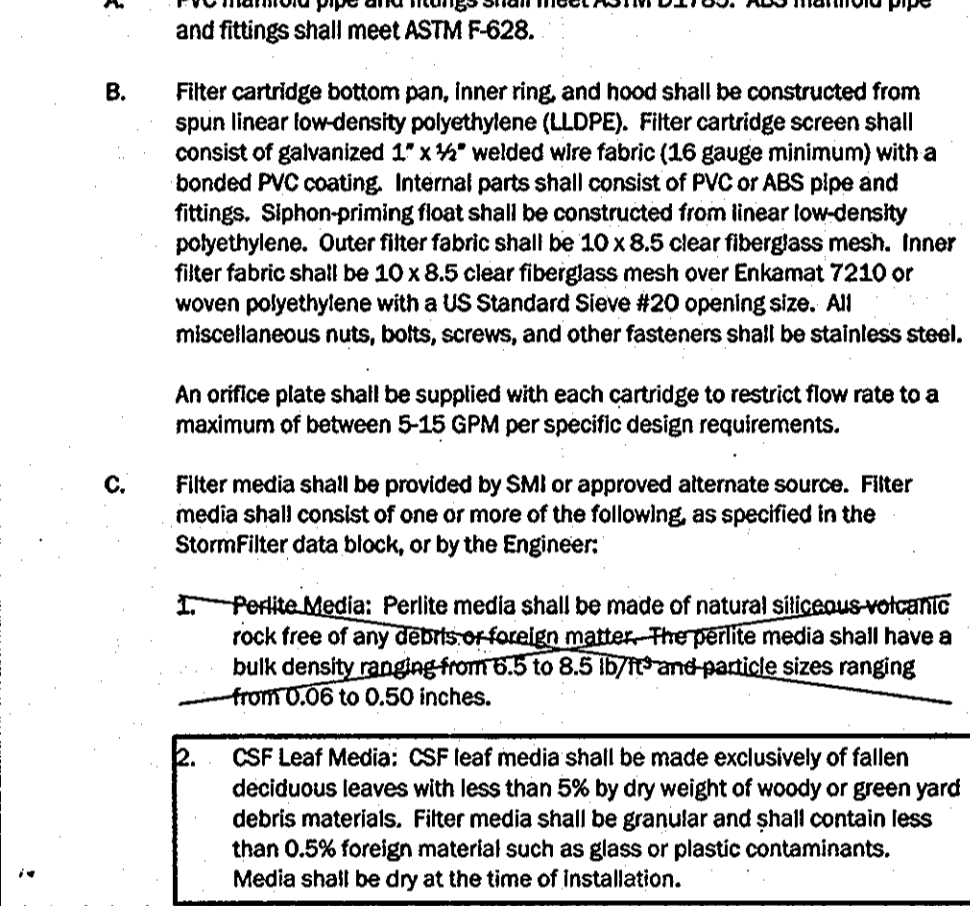
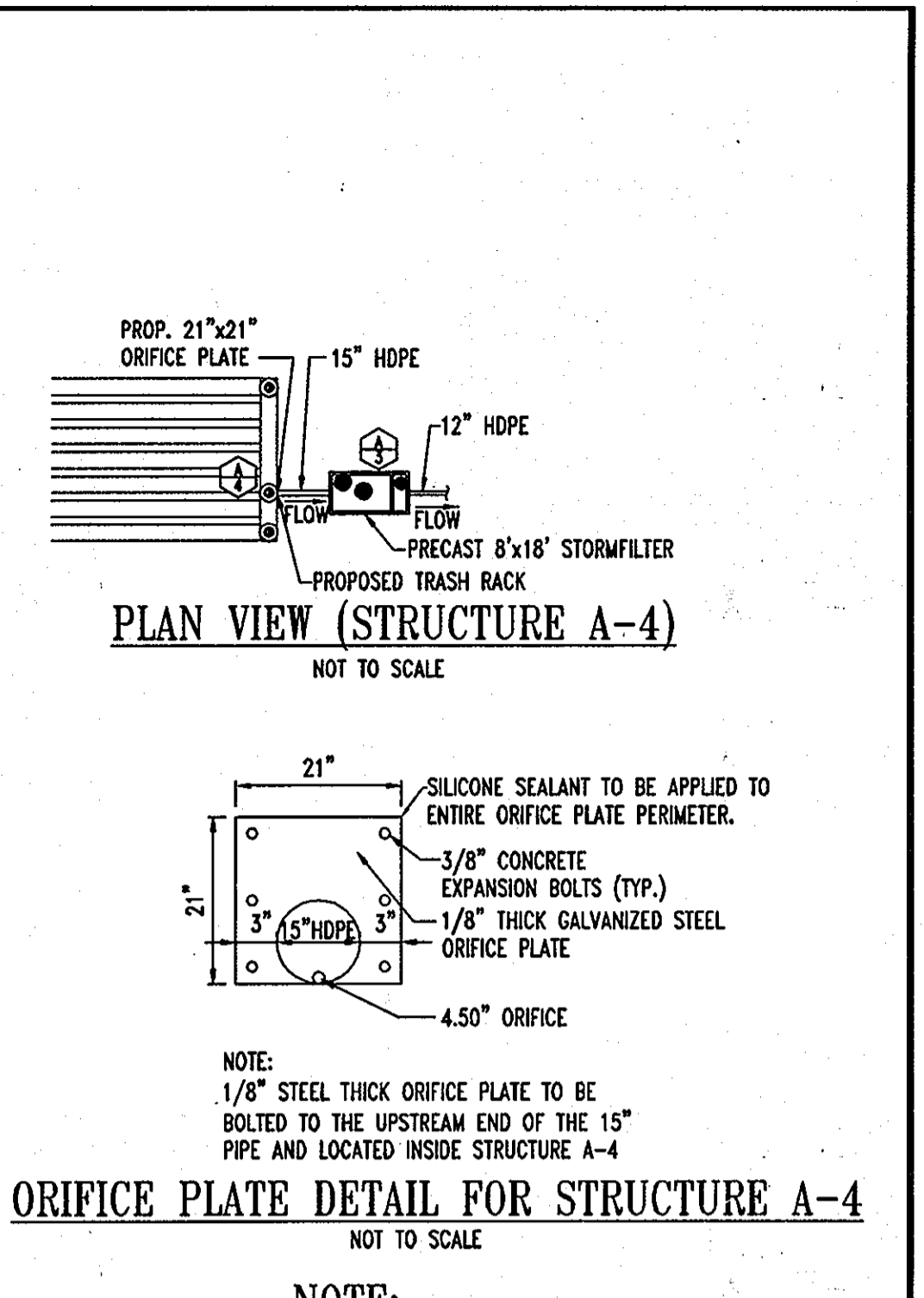
Erosion of Landscaped Areas: Yes No Source: \_\_\_\_\_

Items Needing Further Work: \_\_\_\_\_

Other Comments: \_\_\_\_\_

Review the condition reports from the previous minor and major maintenance visits.

www.stormwater360.com Toll-free: 800.548.4667 8 of 9  
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**2.2 Precast Concrete Vault Components**

**A. Precast concrete vault shall be provided according to ASTM C478.**

**B. Vault joint sealant shall be Con Seal CS-101 or Engineer approved.**

**C. Frames and covers shall be gal cast iron and shall meet AASHTO H-20 loading requirements, and shall be provided according to ASTM A48.**

**D. Steps shall be constructed of copolymer polypropylene conforming to ASTM D-4101. Steps shall be driven into preformed or drilled holes once concrete is cured. Steps shall meet the requirements of ASTM C-478 and AASHTO M-199. The 1/2" Grade 60 deformed reinforcing bar shall meet ASTM A-615.**

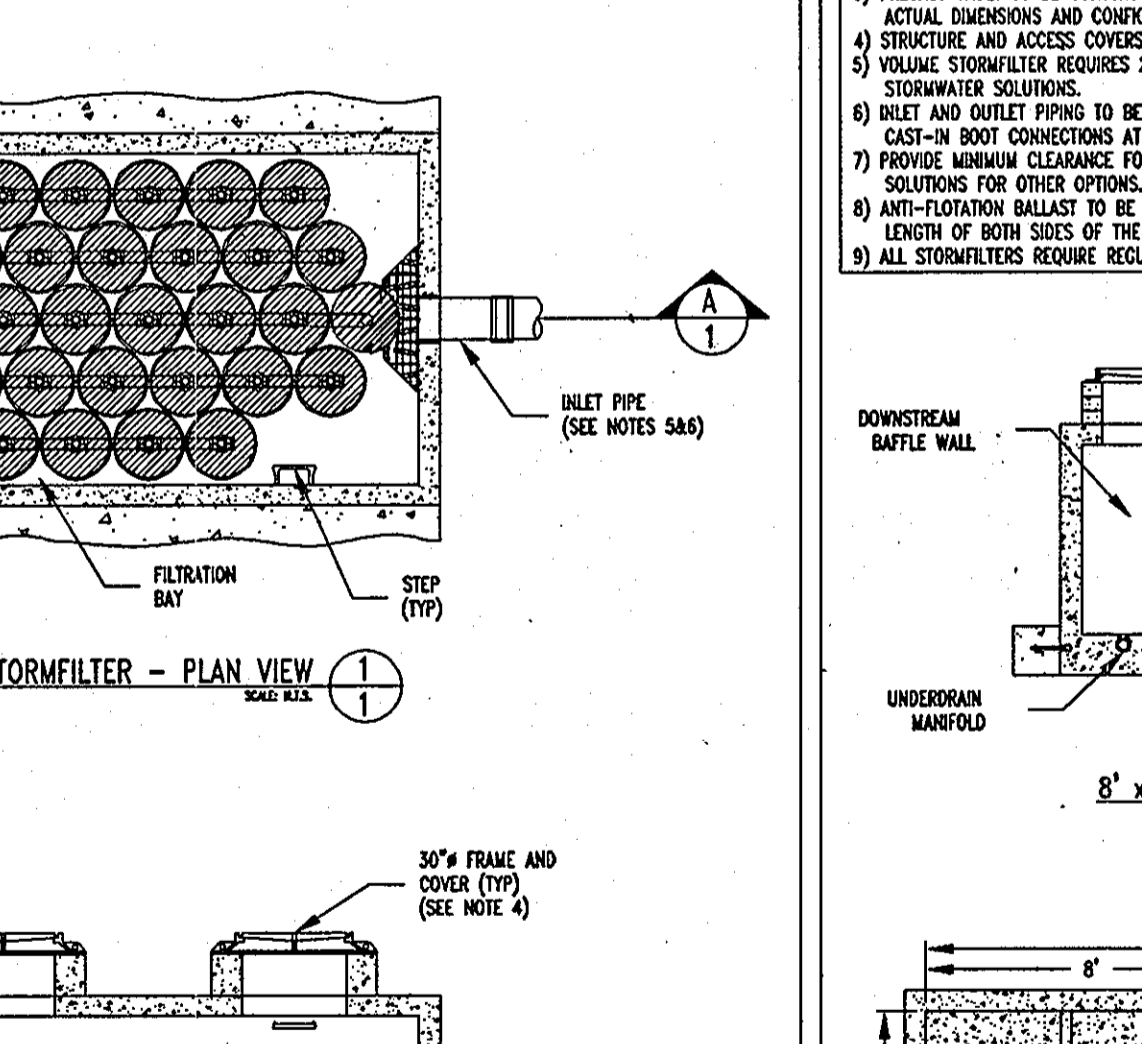
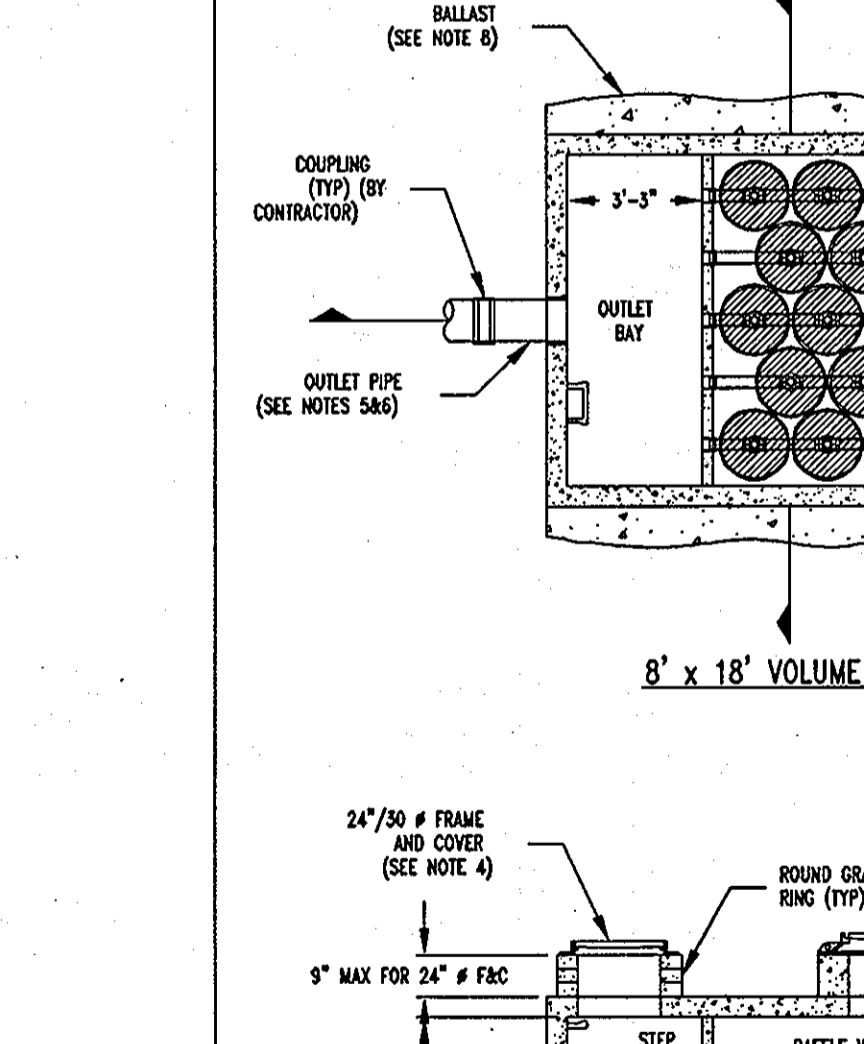
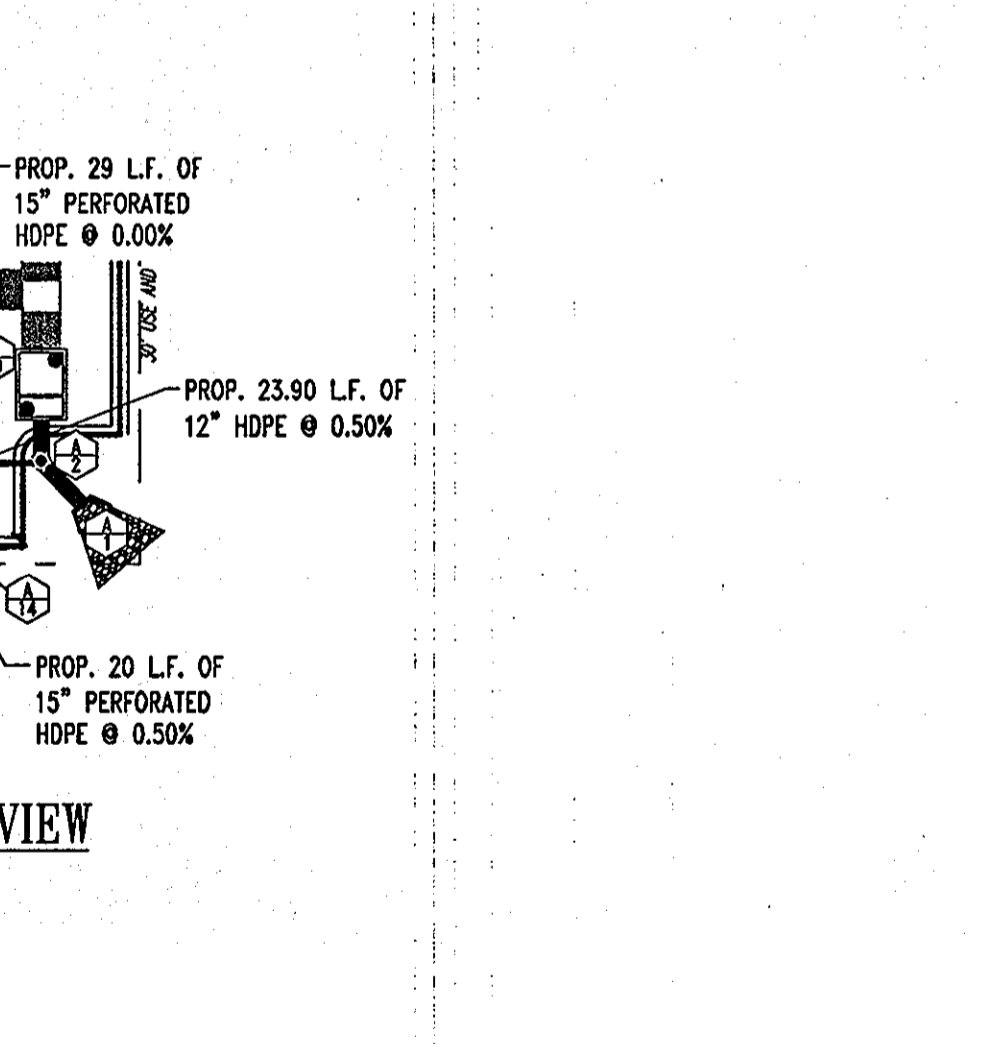
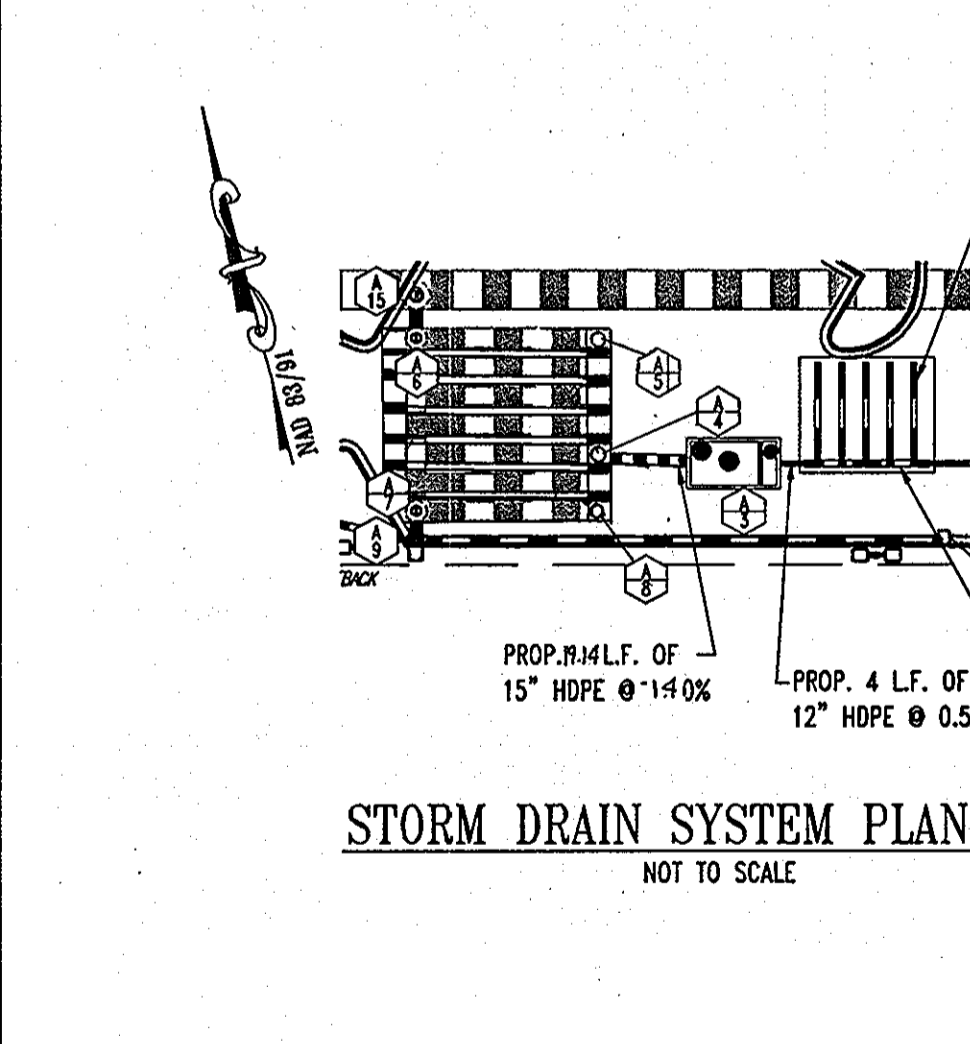
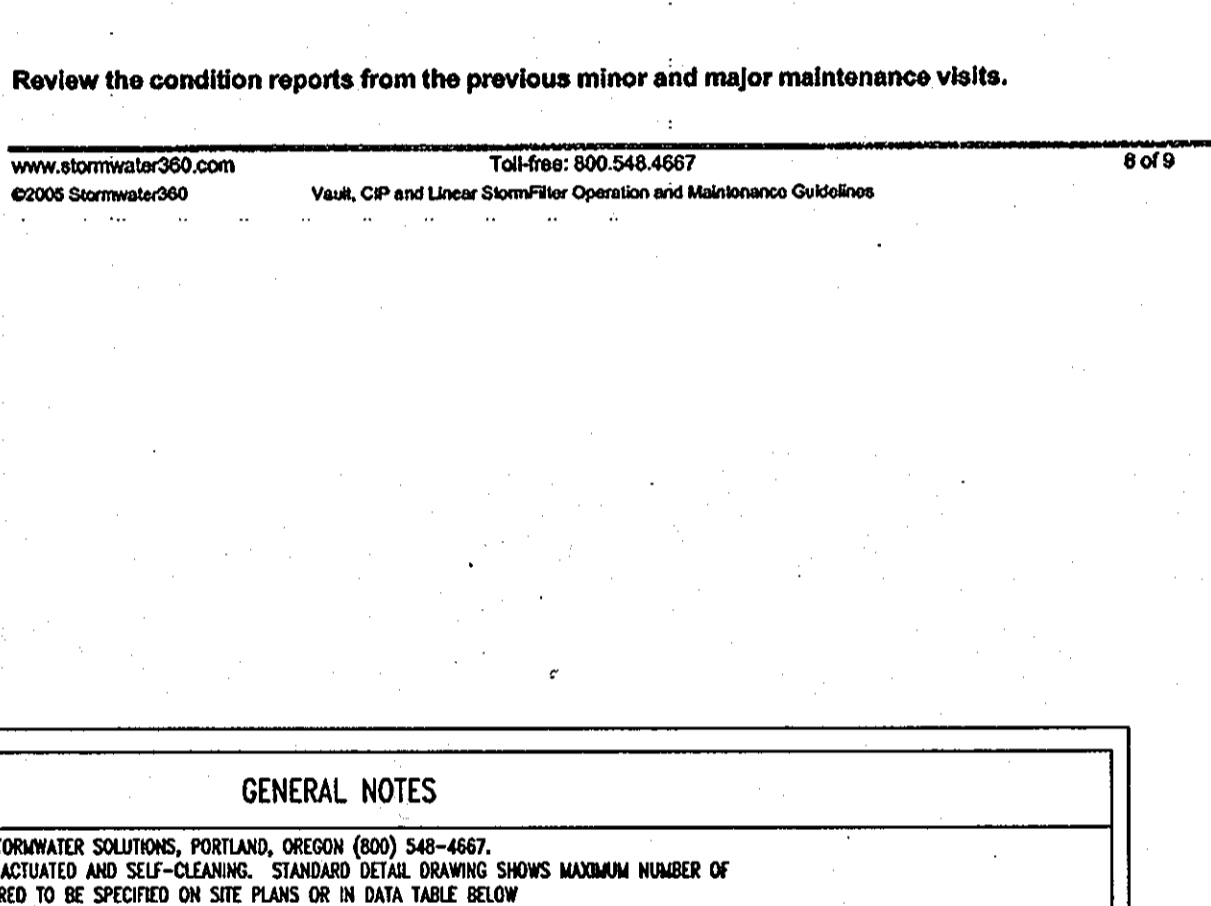
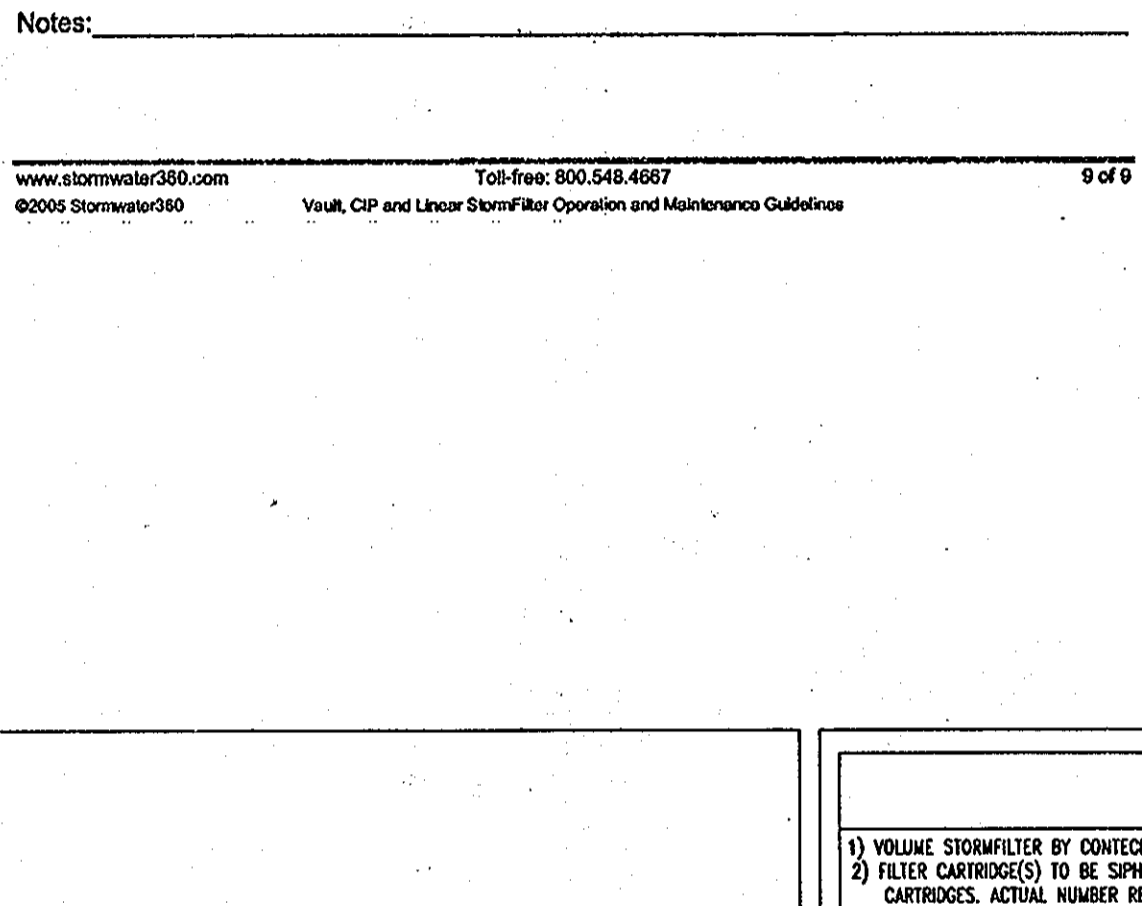
**E. Ladders shall be constructed of aluminum and steel reinforced copolymer polypropylene conforming to ASTM D-4101. Ladder shall bolt in place and may be equipped with a pull-up ladder extender that shall extend a minimum of 24 inches above the top rung of ladder. Ladder shall meet all ASTM C-497 load requirements.**

**F. Doors shall have hot-dipped galvanized frame and covers. Covers shall have diamond plate finish. Each door to be equipped with a recessed lift handle and a locking latch with 3/8" pentanehead hold-down bolts. Pentanehead wrench to be provided for each set of doors, upon request. Doors shall meet H-20 loading requirements for incidental traffic minimum.**

**2.3 Contractor Provided Components**

**D. Flow spreader shall be constructed of spun LLDPE.**

**E. Energy dissipater shall be constructed of polyethylene.**



**GENERAL NOTES**

- VOLUME STORMFILTER BY CONTECH STORMWATER SOLUTIONS, PORTLAND, OREGON (800) 548-4667.
- FILTER CARTRIDGE(S) TO BE SIPHON-ACTUATED AND SELF-CLEANING. STANDARD DETAIL DRAWING SHOWS MAXIMUM NUMBER OF CARTRIDGES. ACTUAL NUMBER REQUIRED TO BE SPECIFIED ON SITE PLANS OR IN DATA TABLE BELOW.
- PRECAST VAULT TO BE CONSTRUCTED IN ACCORDANCE WITH ASTM C478 AND C478. DETAIL DRAWING REFLECTS DESIGN INTENT ONLY. ACTUAL DIMENSIONS AND CONFIGURATION OF STRUCTURE WILL BE SHOWN ON PRODUCTION SHOP DRAWING.
- STRUCTURE AND ACCESS COVERS TO MEET AASHTO H-20 LOAD RATING.
- VOLUME STORMFILTER REQUIRES 2.0 FEET OF DROP FROM INLET TO OUTLET. IF LESS DROP IS AVAILABLE, CONTACT CONTECH STORMWATER SOLUTIONS.
- INLET AND OUTLET PIPES TO BE SPECIFIED BY ENGINEER AND PROVIDED BY CONTRACTOR. PRECAST STORMFILTER VAULT EQUIPPED WITH CAST-IN ROOT CONNECTIONS AT INLET AND OUTLET LOCATIONS FOR WATER-TIGHT CONNECTIONS.
- PROVIDE MINIMUM CLEARANCE FOR MAINTENANCE ACCESS. IF A SHALLOWER SYSTEM IS REQUIRED, CONTACT CONTECH STORMWATER SOLUTIONS FOR OTHER OPTIONS.
- ANTI-FLOATATION BALLAST TO BE SPECIFIED BY ENGINEER AND PROVIDED BY CONTRACTOR, IF REQUIRED. BALLAST TO BE SET ALONG ENTIRE LENGTH OF BOTH SIDES OF THE STRUCTURE.
- ALL STORMFILTERS REQUIRE REGULAR MAINTENANCE. REFER TO OPERATION AND MAINTENANCE GUIDELINES FOR MORE INFORMATION.

**8' x 18' PRECAST VOLUME STORMFILTER DATA**

STRUCTURE ID	XXX
WATER QUALITY VOLUME (10' S)	XXX
STORAGE IN STORMFILTER	XX
# OF CARTRIDGES REQUIRED	XX
CARTRIDGE FLOW RATE (G/S @ 2.5 GPM)	XX
MEDIA TYPE (CSF, PERLITE, ZPG)	XPCSF

PIPE DATA	LE	MATERIAL	DIAMETER
INLET PIPE #1	XXX	XXX	XX
INLET PIPE #2	XXX	XXX	XX
OUTLET PIPE	XXX	XXX	XX

LADDER	YES/NO
ANTI-FLOATATION BALLAST	XX

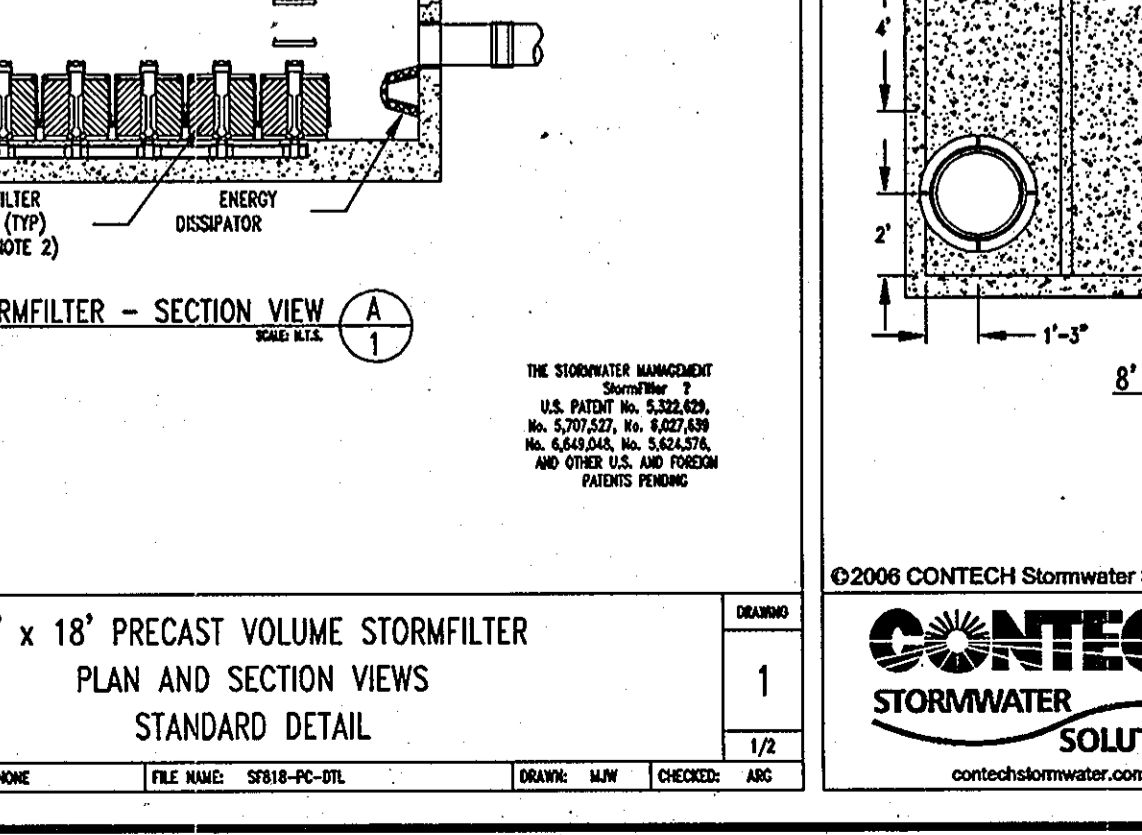
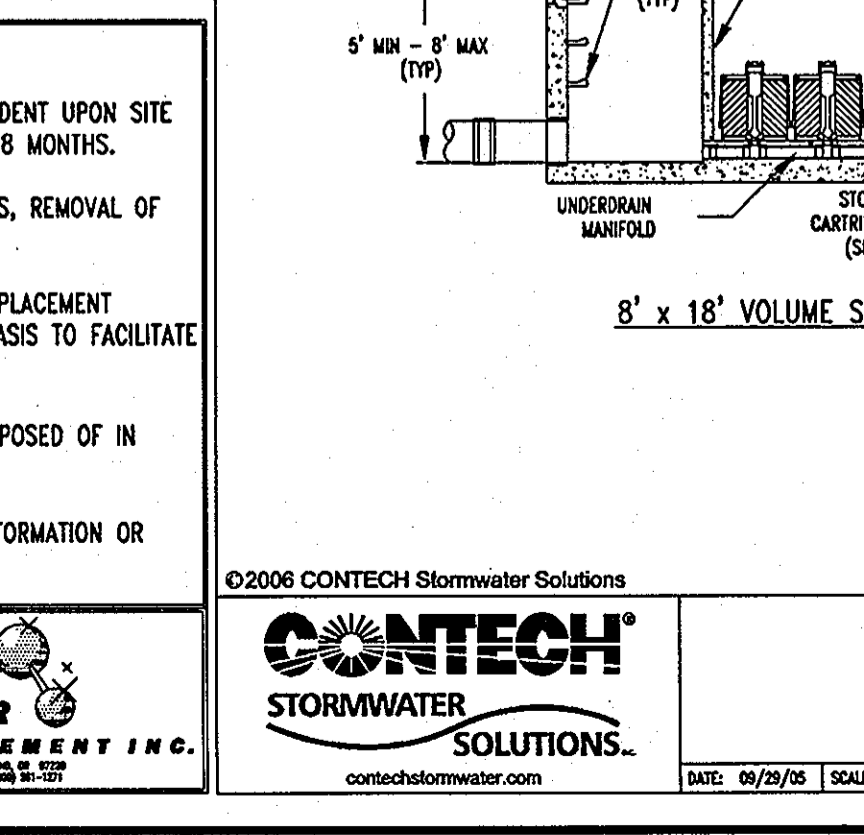
NOTES/SPECIAL REQUIREMENTS: \_\_\_\_\_

**STORMFILTER MAINTENANCE NOTES**

- ALL STORMFILTERS REQUIRE REGULAR MAINTENANCE. MAINTENANCE FREQUENCY IS DEPENDENT UPON SITE CHARACTERISTICS AND POLLUTANT LOADING. TYPICAL MAINTENANCE INTERVAL IS 12 TO 18 MONTHS.
- STORMFILTER MAINTENANCE INVOLVES REMOVAL AND REPLACEMENT OF FILTER CARTRIDGES, REMOVAL OF ACCUMULATED SEDIMENT, AND VAULT INSPECTION.
- FULL MAINTENANCE SERVICES MAY BE PROVIDED BY STORMWATER MANAGEMENT, INC. REPLACEMENT CARTRIDGES ARE ALSO AVAILABLE FROM STORMWATER MANAGEMENT ON AN EXCHANGE BASIS TO FACILITATE OWNER-PROVIDED MAINTENANCE ACTIVITY.
- SPENT FILTER MEDIA AND/OR SEDIMENT REMOVED DURING MAINTENANCE SHOULD BE DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE WASTE DISPOSAL REGULATIONS.
- REFER TO STORMFILTER OPERATION & MAINTENANCE GUIDELINES FOR MORE DETAILED INFORMATION OR CONTACT STORMWATER MANAGEMENT AT 800.548.4667.

NOTES/SPECIAL REQUIREMENTS: \_\_\_\_\_

**STORMWATER MANAGEMENT**  
U.S. PATENT NO. 5,822,828  
NO. 5,972,377, IN. 5,827,818  
NO. 6,426,040, IN. 5,824,274,  
AND OTHER U.S. AND FOREIGN  
PATENTS PENDING



**AS-BUILT CERTIFICATION**

I HEREBY CERTIFY, BY MY SEAL, THAT THE CONDITIONS SHOWN ON THIS PLAN WERE CONSTRUCTED TO THE LINES AND GRADES SHOWN ON THIS "AS-BUILT" PLAN, AND MEET THE APPROVED PLANS AND SPECIFICATIONS AND ALSO THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND.

*Michael D. Adcock*  
MICHAEL D. ADCOCK, PROFESSIONAL LAND SURVEYOR  
MD REG. NO. 21287, EXPIRATION DATE: 06-16-15

**NOTE: ALL DEBRIS IS TO BE KEPT OUT OF THE FACILITY DURING AND AFTER CONSTRUCTION**

**AS-BUILT**

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Chris Ham* 9/2/05 DATE  
CHIEF-DEVELOPMENT ENGINEERING DIVISION  
*Chris Ham* 9/2/05 DATE  
CHIEF-DIVISION & LAND DEVELOPMENT  
*Michael D. Adcock* 9/2/05 DATE  
DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.  
*B. Rippon for Peter Bileman* 9/2/05 DATE  
COUNTY HEALTH OFFICER  
HOWARD COUNTY HEALTH DEPARTMENT 1000

NO.	DATE	REVISION DESCRIPTION

OWNER: HOPKINS STATION GENERAL PARTNERSHIP  
C/O BRANTLY DEVELOPMENT GROUP  
8835 COLUMBIA  
100 PARKWAY, SUITE P  
COLUMBIA, MD 21045  
PHONE: (410) 730-0810

DEVELOPER: CHICK-FIL-A  
5200 BUFFINGTON ROAD  
ATLANTA, GA 30349-2998  
C/O SCOTT PATHMAN  
PHONE: (404) 684-8660

CHECK-FIL-A RESTAURANT & GENERAL OFFICE/RETAIL BUILDING  
PART OF LOT 1, HOPKINS STATION (FORMER PRICE FARMS, LOT1)  
JOHNS HOPKINS ROAD  
LAUREL, HOWARD COUNTY, MARYLAND

AREA 3.59 AC. TAX MAP 41 GRID 22 ZONED B-2  
PARCEL 425 L. 3,095, F. 39 & L. 7,004, F. 653  
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

**STORMWATER MANAGEMENT NOTES AND DETAILS**

**BOHLER ENGINEERING, P.C.**  
\*PROFESSIONAL ENGINEERING SERVICES\*  
#110 GREENLEAF COURT, SUITE 300, TOWSON, MD 21286  
(410) 851-7000 FAX (410) 851-7001  
MATTHEW T. ALLEN  
PROFESSIONAL ENGINEER NO. 28567

REVISOR: 12/15/06  
DESIGNED BY: JO  
DRAWN BY: RLB  
PROJECT NO.: MD05502-1  
DATE: 9/28/05  
SCALE: AS SHOWN  
DRAWING NO. 18 OF 28

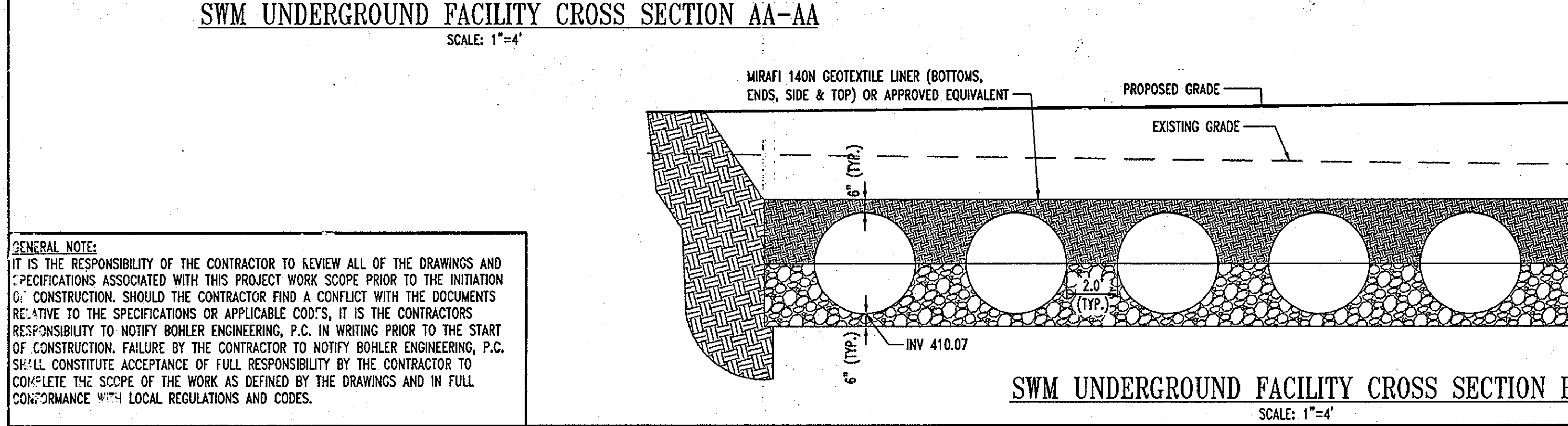
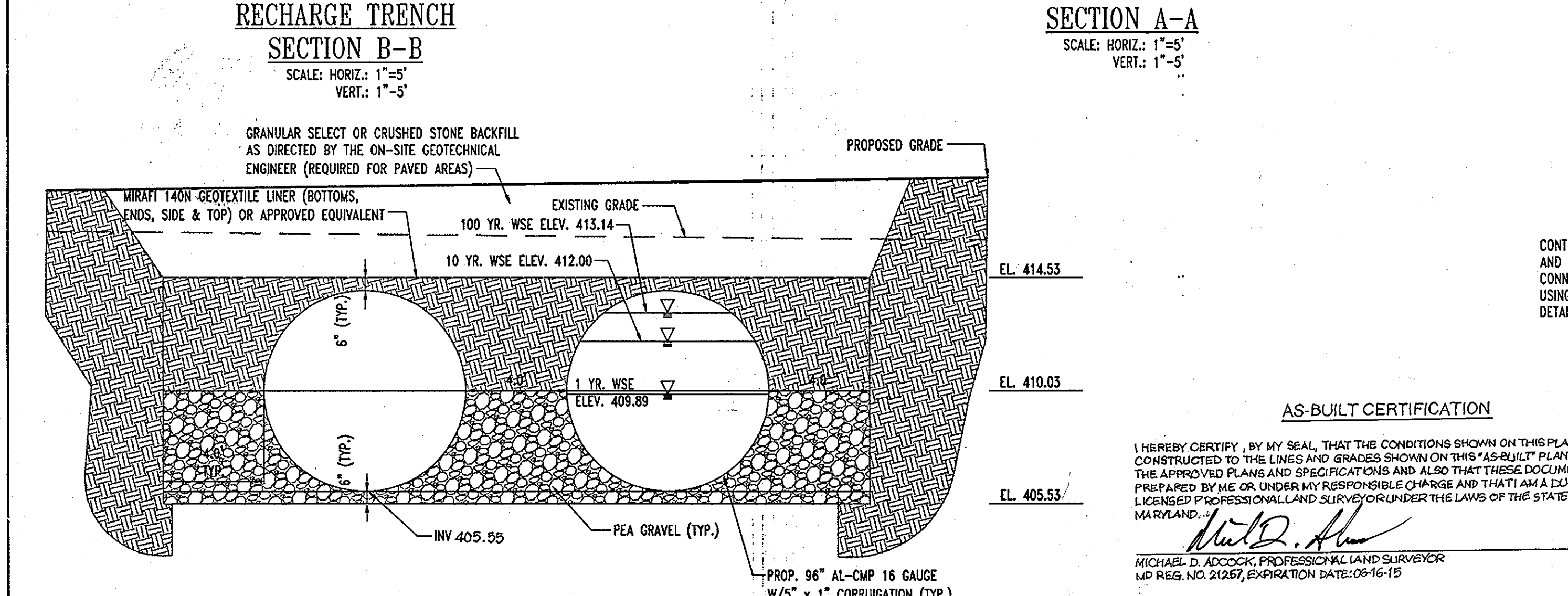
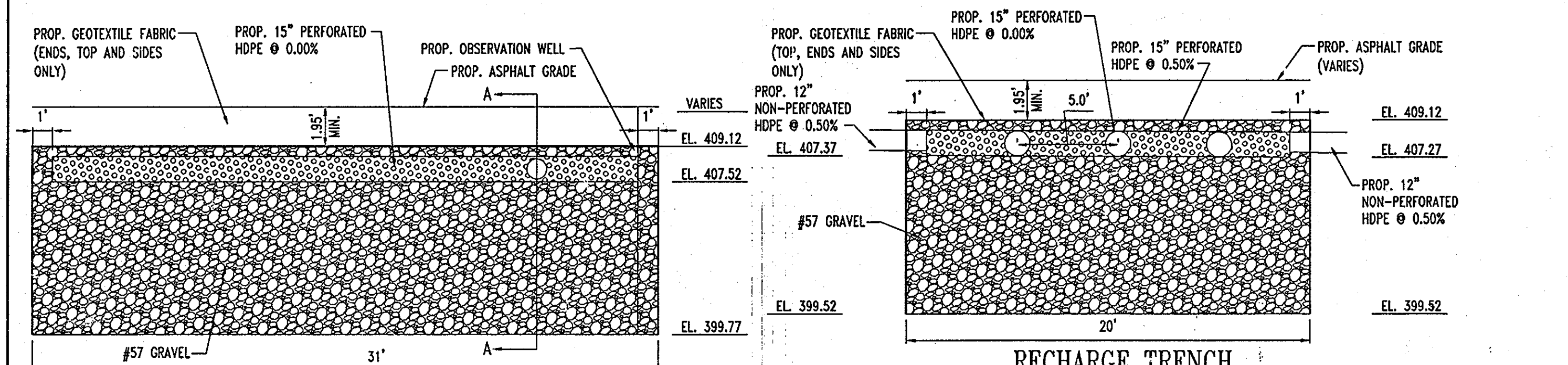
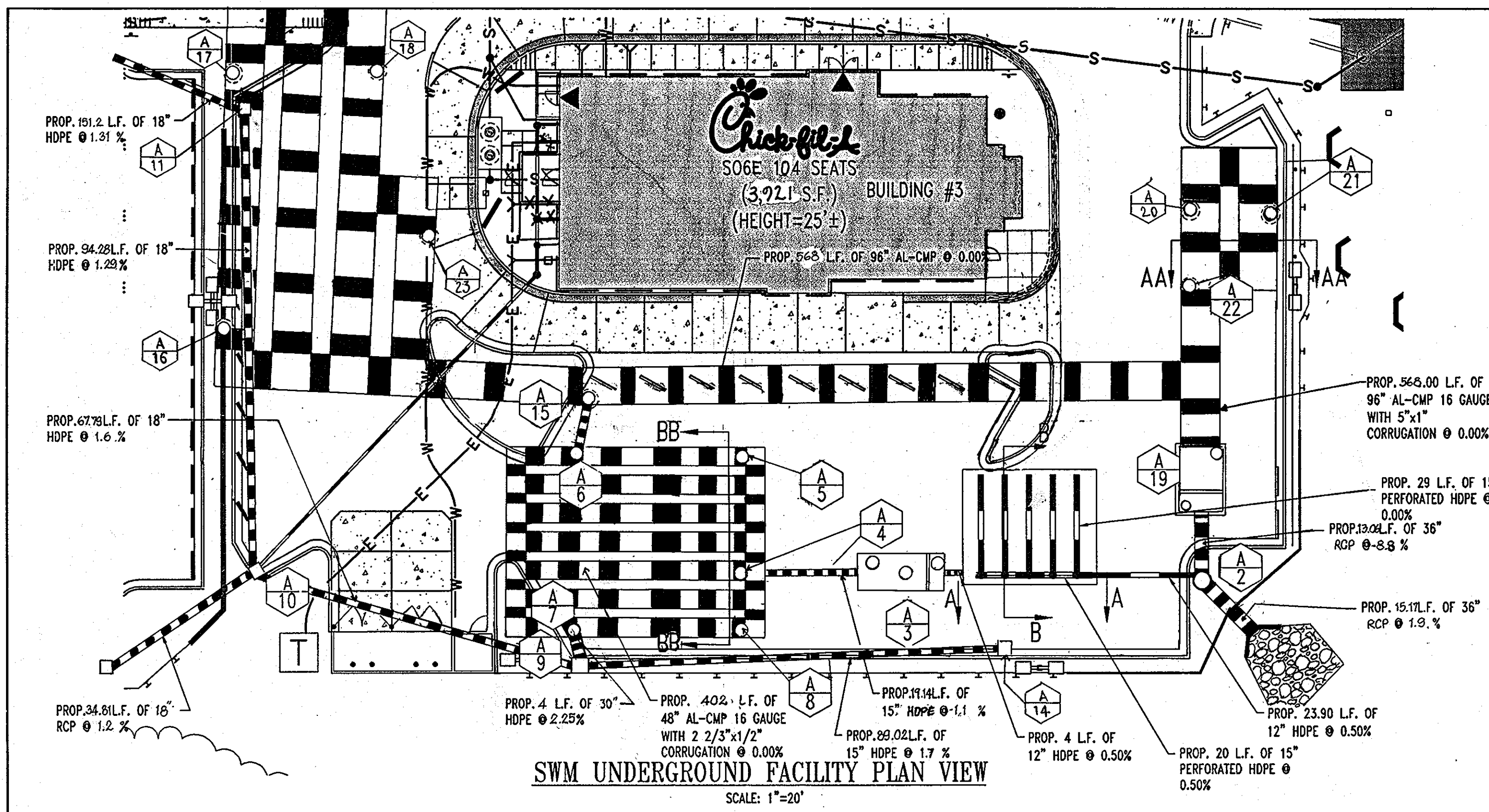
MISS UTILITY  
BEFORE YOU DIG CALL  
1-800-351-7771  
PROTECT YOURSELF. GIVE TWO WORKING DAYS NOTICE

THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREOF APPLICABLE.

THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

©2006 CONTECH Stormwater Solutions

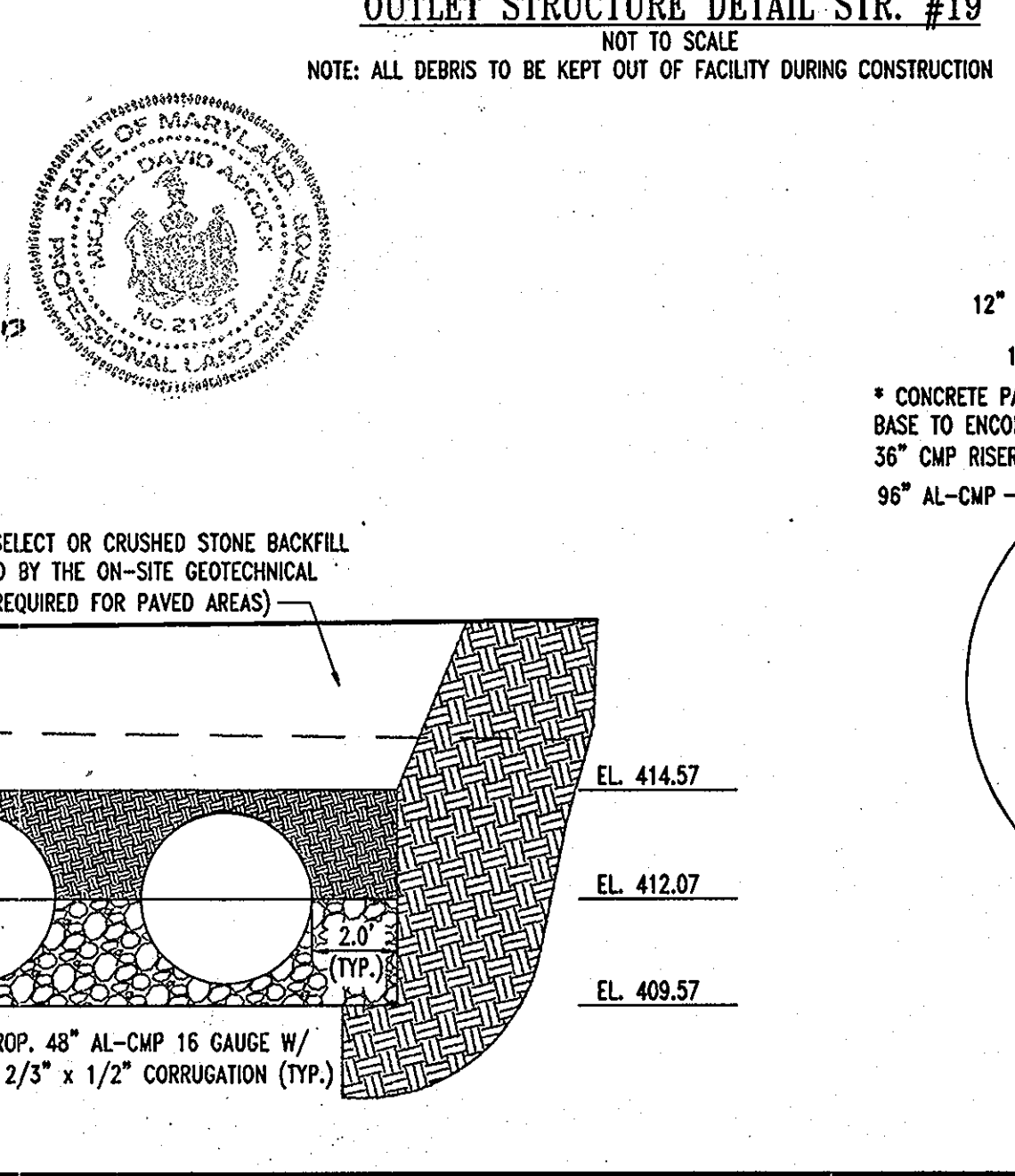
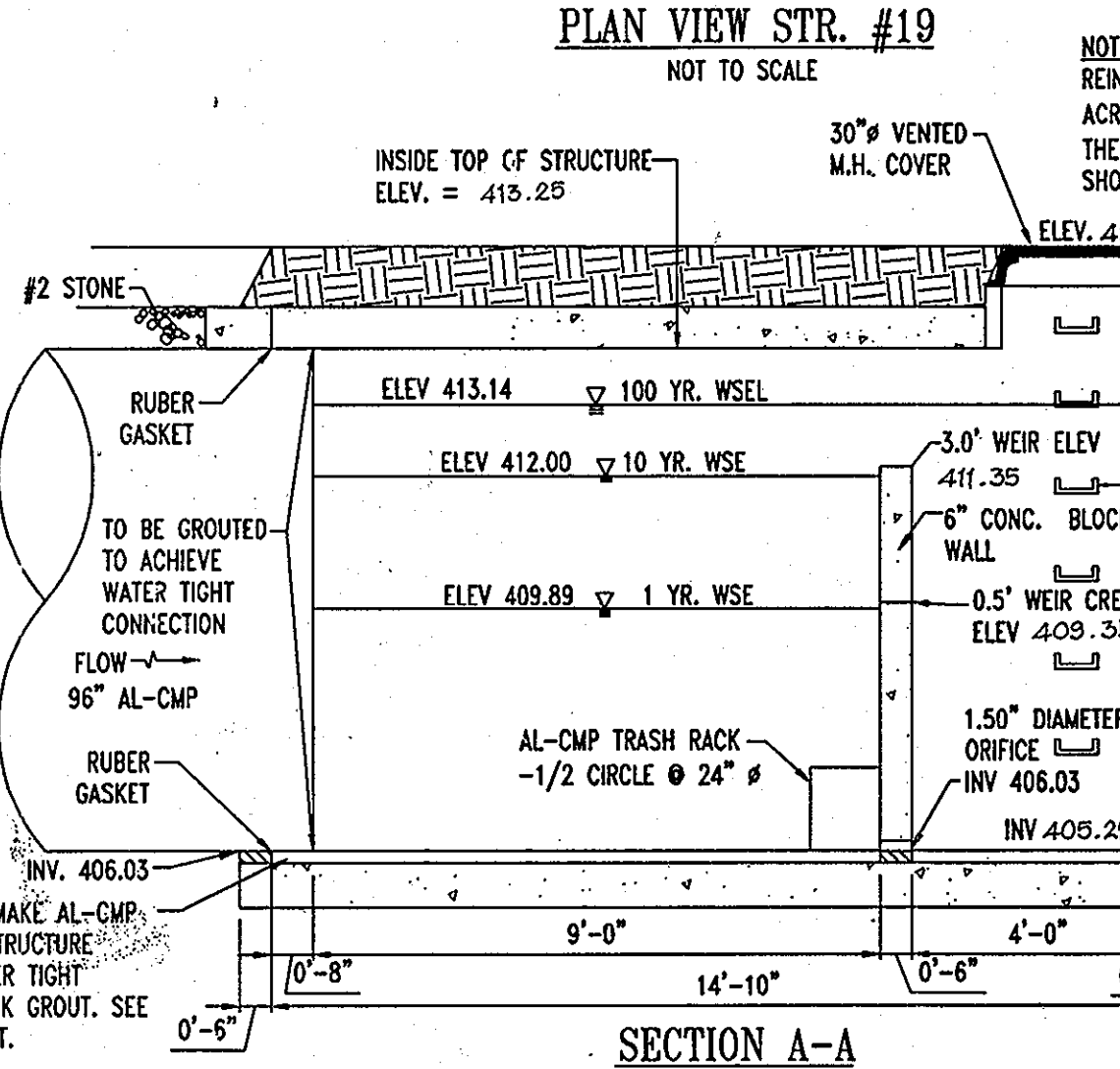
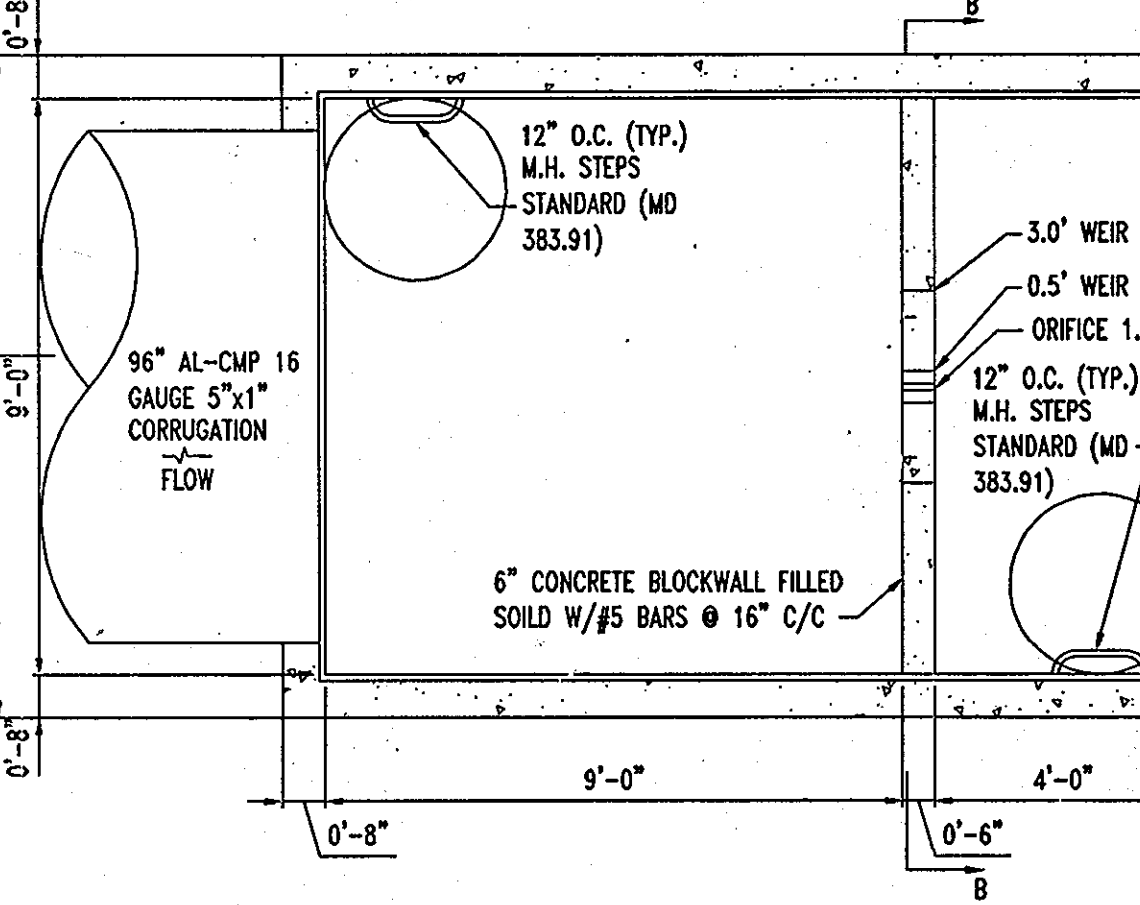
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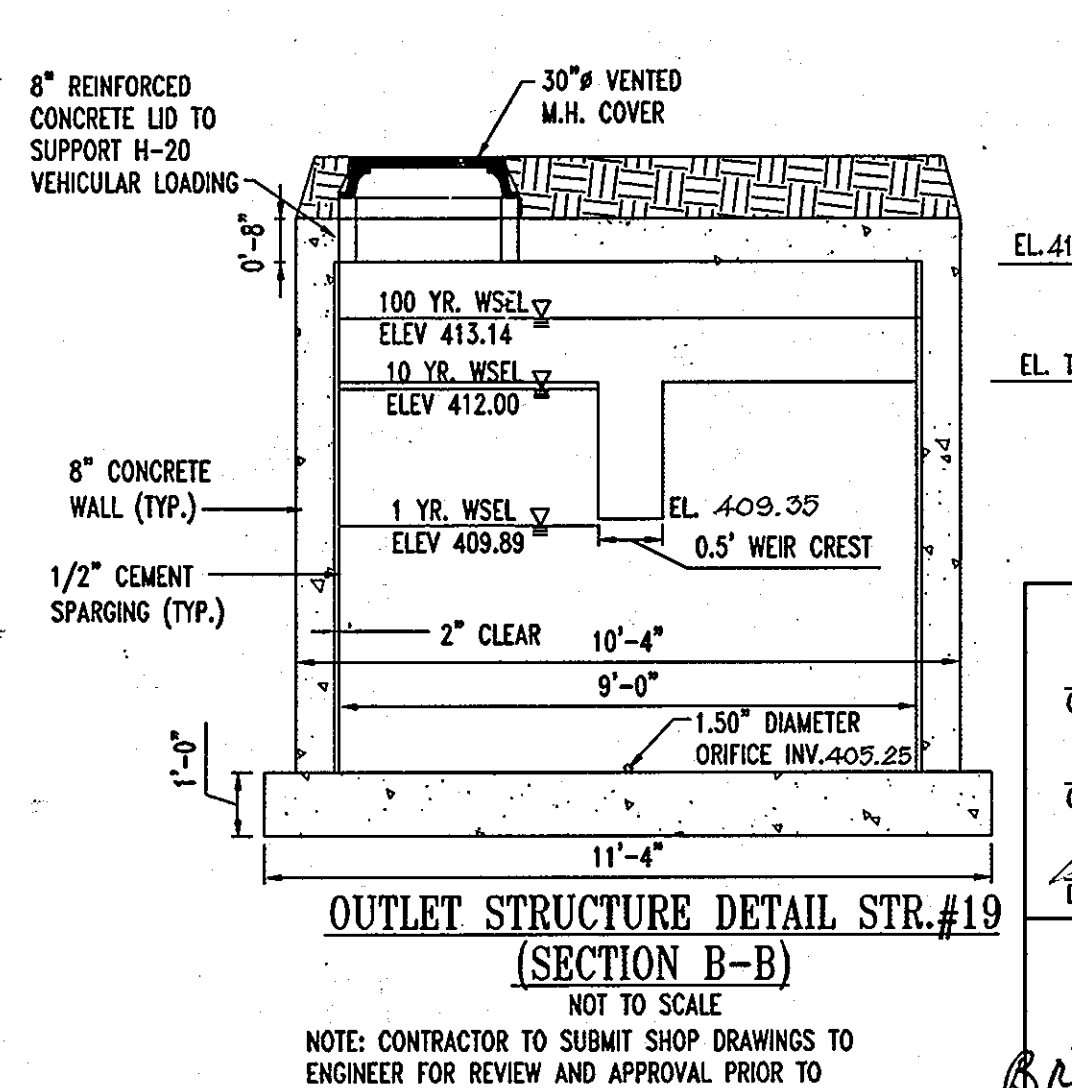
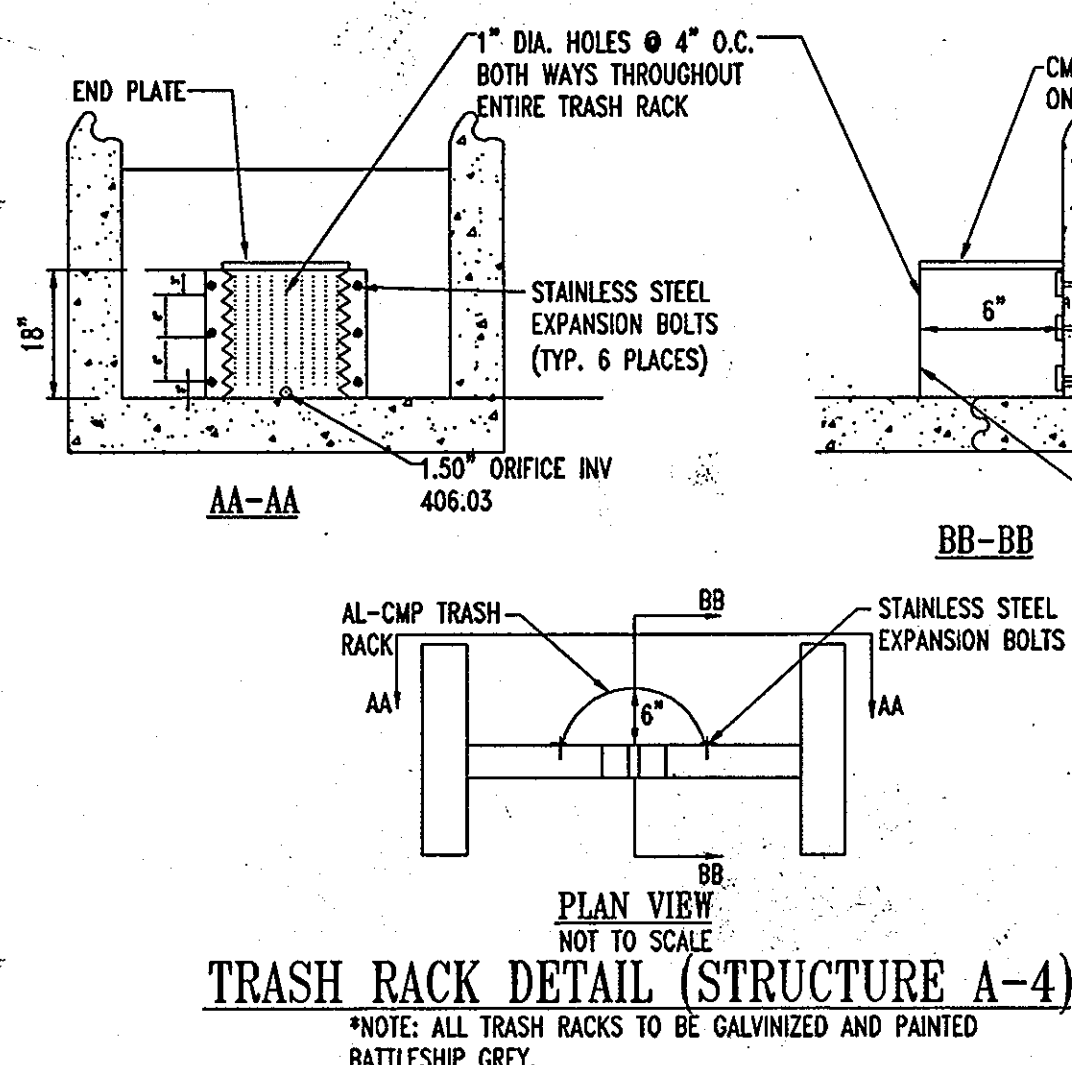
**GENERAL NOTE:**  
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY BOHLER ENGINEERING, P.C. IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY BOHLER ENGINEERING, P.C. SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.

**AS-BUILT CERTIFICATION**  
I HEREBY CERTIFY, BY MY SEAL, THAT THE CONDITIONS SHOWN ON THIS PLAN WERE CONSTRUCTED TO THE LINES AND GRADES SHOWN ON THIS AS-BUILT PLAN, AND MEET THE APPROVED PLANS AND SPECIFICATIONS AND ALSO THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND.  
*Michael D. Adcock* 5/15/2008  
MICHAEL D. ADCOCK, PROFESSIONAL LAND SURVEYOR  
MD REG. NO. 21257, EXPIRATION DATE: 06-16-15

- SOILS NOTES**
- FOOTING DESIGN BASES ON ASSUMES MAXIMUM ALLOWABLE SOILS BEARING CAPACITY OF 2,000 PSF. CONTRACTOR RESPONSIBLE TO VERIFY ADEQUACY OF ASSUMED BEARING CAPACITY PRIOR TO CONSTRUCTION ENGINEER TO BE NOTIFIED IF INCONSISTENCIES EXIST.
  - SUBGRADE TO BE FREE OF ORGANICS AND BE SUITABLE, COMPACTED MATERIAL.
  - BACKFILL SHALL BE PERFORMED IN 6" LIFTS COMPACTED TO 95% OPTIMUM PROCTOR DRY DENSITY.
- CONCRETE NOTES**
- CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS WITH A MINIMUM CEMENT CONTENT OF 600 POUNDS PER CUBIC YARD FOR ALL FOOTINGS.
  - ALL CONCRETE SHALL HAVE A SLUMP OF NO GREATER THAN 4" TO WITHIN A TOLERANCE OF 1'-0".
  - ALL EXPOSED CONCRETE SHALL BE AIR-ENTRAINED, 6% (WITHIN 1% TOLERANCE), CONFORMING TO ASTM C260.
  - ALL FRAMEWORK AND PLACEMENT OF CONCRETE SHALL COMPLY WITH GOOD CONSTRUCTION PRACTICES AND BE IN ACCORDANCE WITH ALL LOCAL GOVERNING CODES, AND REGULATIONS AS WELL AS THE ACI AND UNIFORM BUILDING CODE.



- OPERATION AND MAINTENANCE SCHEDULE FOR UNDERGROUND FACILITIES**
- THE UNDERGROUND STORM WATER MANAGEMENT FACILITY IS PRIVATELY OWNED AND IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO PERIODICALLY INSPECT AND CLEAN THE FACILITY TO MAINTAIN ITS OPERATION AND FUNCTION.
  - THE UNDERGROUND STORM WATER MANAGEMENT FACILITY SHALL BE INSPECTED YEARLY AT A MINIMUM AND AFTER ESPECIALLY SEVERE STORM EVENTS.
  - WHEN SEDIMENT ACCUMULATION OF MORE THAN 2" IS OBSERVED OR ANY DEBRIS THAT MIGHT OBSTRUCT THE OUT FALL IS OBSERVED, THE FACILITY SHALL BE CLEANED.
  - THE FACILITY SHALL BE CLEANED IMMEDIATELY AFTER PETROLEUM SPILLS. THE OWNER SHALL CONTACT THE APPROPRIATE REGULATORY AGENCIES NOTIFYING THEM OF THE SPILL AND CLEANUP OPERATION.
  - THE SEDIMENT AND DEBRIS SHALL BE REMOVED FROM THE UNDERGROUND STORM WATER MANAGEMENT FACILITY BY VACUUM TRUCK OR OTHER MANUAL MEANS. THE OWNER SHALL FOLLOW PROPER CLEANING AND DISPOSAL OF THE REMOVED MATERIAL AND LIQUID.
  - THE INLET AND OUTLET PIPES SHALL BE CHECKED FOR ANY OBSTRUCTIONS AT LEAST ONCE EVERY SIX MONTHS. IF OBSTRUCTIONS ARE FOUND, THE OWNER SHALL HAVE THEM REMOVED AND PROPERLY DISPOSED OF.



**MISS UTILITY**

BEFORE YOU DO CALL 1-800-297-2777  
PROTECT YOURSELF. ONE TWO MISSING UTILITIES.

THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREOF APPROPRIATE.

THE CONTRACTOR SHALL CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

**AS-BUILT**  
APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Michael D. Adcock* 5/15/08  
CHIEF-DEVELOPMENT ENGINEERING DIVISION  
*Christy Hunt* 8/15/07  
CHIEF-DIVISION & LAND DEVELOPMENT  
*Merrill K. Coughlin* 8/15/07  
DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.  
*R. Dejanfor Peter B. Jensen* 8/15/07  
COUNTY HEALTH OFFICER  
HOWARD COUNTY HEALTH DEPARTMENT

NO.	DATE	REVISION DESCRIPTION
1	6/20/07	LENGTH OF STABLE PIPE REVISION
2	7/17/08	SIZE & AREA REVISED PER CFA RECORDING
3	7/17/08	IRIGATION LINE & CFA SERVICE YARD REVISIONS
4	2/21/08	ACCESS PORT LOCATIONS
5	12/06/07	ACCESS PORT LOCATIONS

OWNER: HOWARD COUNTY GENERAL PARTNERSHIP  
C/O BRANTLY DEVELOPMENT GROUP  
8835 COLUMBIA  
100 PARKWAY, SUITE P  
COLUMBIA, MD 21046  
PHONE: (410) 730-0810

DEVELOPER: CHICK-FIL-A  
5200 BUFFINGTON ROAD  
ATLANTA, GA 30349-2998  
C/O SCOTT PATMAN  
PHONE: (404) 684-8660

CHICK-FIL-A RESTAURANT & GENERAL OFFICE/RETAIL BUILDING  
PART OF LOT 1, HOWARD STATION (FORMER PRICE FARMS, LOT1)  
JOHNS HOPKINS ROAD  
LAUREL, HOWARD COUNTY, MARYLAND

AREA 3.59 AC. TAX MAP 41 GRID 22 ZONED B-2  
PARCEL 425 L. 3.095, F. 39 & L. 7004, F. 653  
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

**STORMWATER MANAGEMENT NOTES AND DETAILS**

**Bohler ENGINEERING, P.C.**  
PROFESSIONAL ENGINEERING SERVICES  
8110 GLENLEAGUE COURT, SUITE 300, TOWSON, MD 21286  
(410) 251-7000 FAX (410) 251-7577

DESIGNED BY: JD  
DRAWN BY: RLB  
PROJECT NO.: M005502.1  
DATE: 9/28/06  
SCALE: AS SHOWN  
DRAWING NO. 19 OF 28

STATE OF MARYLAND PROFESSIONAL ENGINEERING BOARD  
STATE OF MARYLAND PROFESSIONAL ENGINEERING BOARD  
STATE OF MARYLAND PROFESSIONAL ENGINEERING BOARD

PROFESSIONAL CERTIFICATION  
I, JOSEPH W. UFFORD, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 5024, EXPIRATION DATE: 06/16/15

STATE OF MARYLAND PROFESSIONAL ENGINEERING BOARD  
*Joseph W. Ufford*  
6-10-13  
FOR REVISION 4 ONLY

STATE OF MARYLAND PROFESSIONAL ENGINEERING BOARD  
*Michael D. Adcock*  
FOR REVISION 1 ONLY  
EL. 413.35 (INSIDE ELEVATION OF TOP SLAB)  
EL. TOP OF WALL 411.55

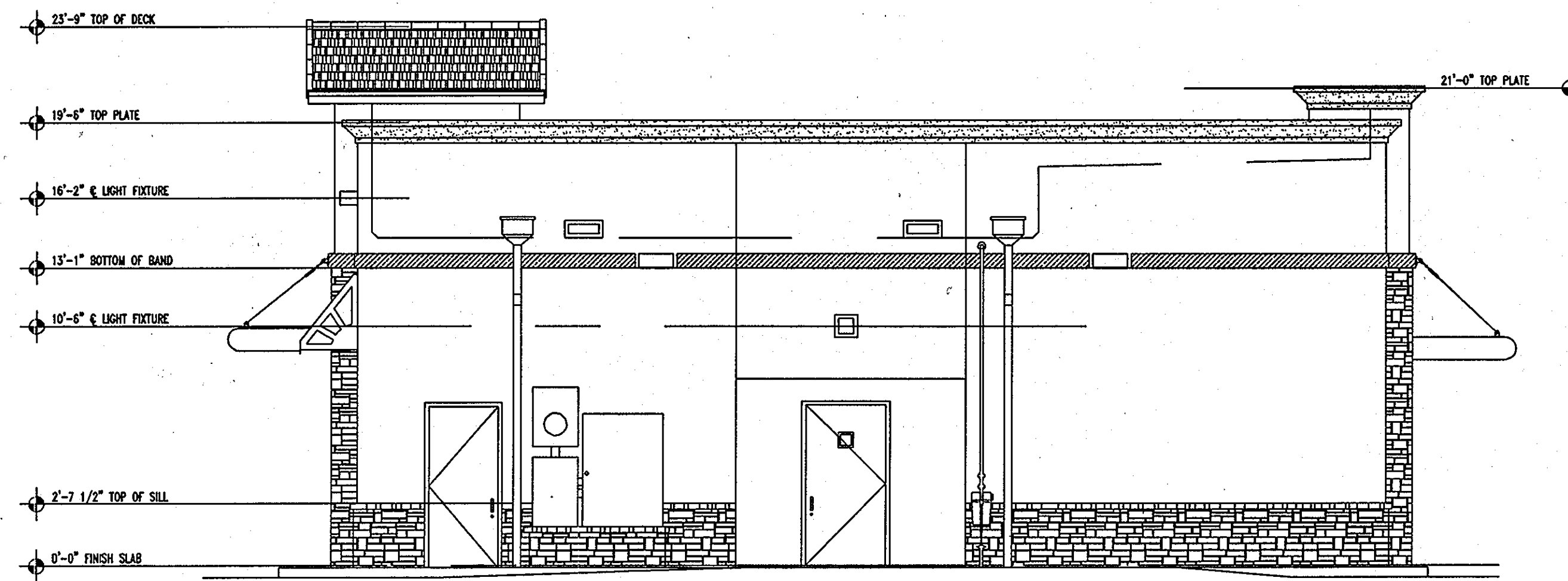
STATE OF MARYLAND PROFESSIONAL ENGINEERING BOARD  
*Michael D. Adcock*  
FOR REVISION 2 ONLY

STATE OF MARYLAND PROFESSIONAL ENGINEERING BOARD  
*Michael D. Adcock*  
FOR REVISION 3 ONLY

M:\05\Chick-fil-a-MD005502\SITE SET Rev 3\M005502.1\SS3.dwg, 7/15/2007 9:00:07 AM, gchaffey



1 FRONT ELEVATION  
1"=5'



2 REAR ELEVATION  
1"=5'



1 SIDE ENTRY ELEVATION  
1"=5'



2 D/T ELEVATION  
1"=5'

2 D/T ELEVATION  
1"=5'

**GENERAL NOTE:**  
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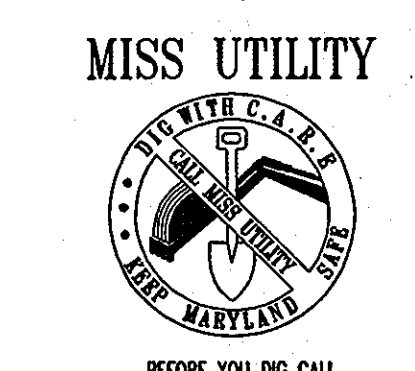
AS-BUILT CERTIFICATION  
THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.  
*Michael D. Adcock*  
MICHAEL D. ADCOCK, PROFESSIONAL LAND SURVEYOR  
MD REG. NO. 21257, EXPIRATION DATE: 05-16-15  
DATE: 5/19/05



AS-BUILT  
APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Michael W. ...* 7/19/05  
CHIEF-DEVELOPMENT ENGINEERING DIVISION  
*Cindy Hunt* 8/4/05  
CHIEF-DIVISION & LAND DEVELOPMENT  
*Mark ...* 8/6/05  
DIRECTOR

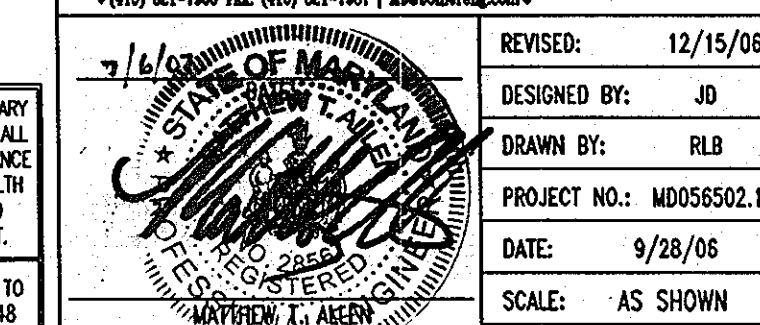
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.  
*Brian Peter ...* 8/2/05  
COUNTY HEALTH OFFICER  
HOWARD COUNTY HEALTH DEPARTMENT 1790

NO.	DATE	REVISION DESCRIPTION
OWNER:	HOPKINS STATION GENERAL PARTNERSHIP C/O BRANTLY DEVELOPMENT GROUP 8635 COLUMBIA 100 PARKWAY, SUITE P COLUMBIA, MD 21045 PHONE: (410) 730-0810	DEVELOPER: CHICK-FIL-A 5200 BUFFINGTON ROAD ATLANTA, GA 30349-2998 C/O SCOTT PATMAN PHONE: (404) 684-8660
CHICK-FIL-A RESTAURANT & GENERAL OFFICE/RETAIL BUILDING PART OF LOT 1, HOPKINS STATION (FORMER PRICE FARMS, LOT1) JOHNS HOPKINS ROAD LAUREL, HOWARD COUNTY, MARYLAND		
AREA 3.59 AC. TAX MAP 41 GRID 22 ZONED B-2 PARCEL 425 L 3,095, F, 39 & L 7004, F. 653 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND		



BEFORE YOU DIG CALL  
800-368-5878  
PROTECT YOURSELF, GIVE TWO WORKING DAYS NOTICE

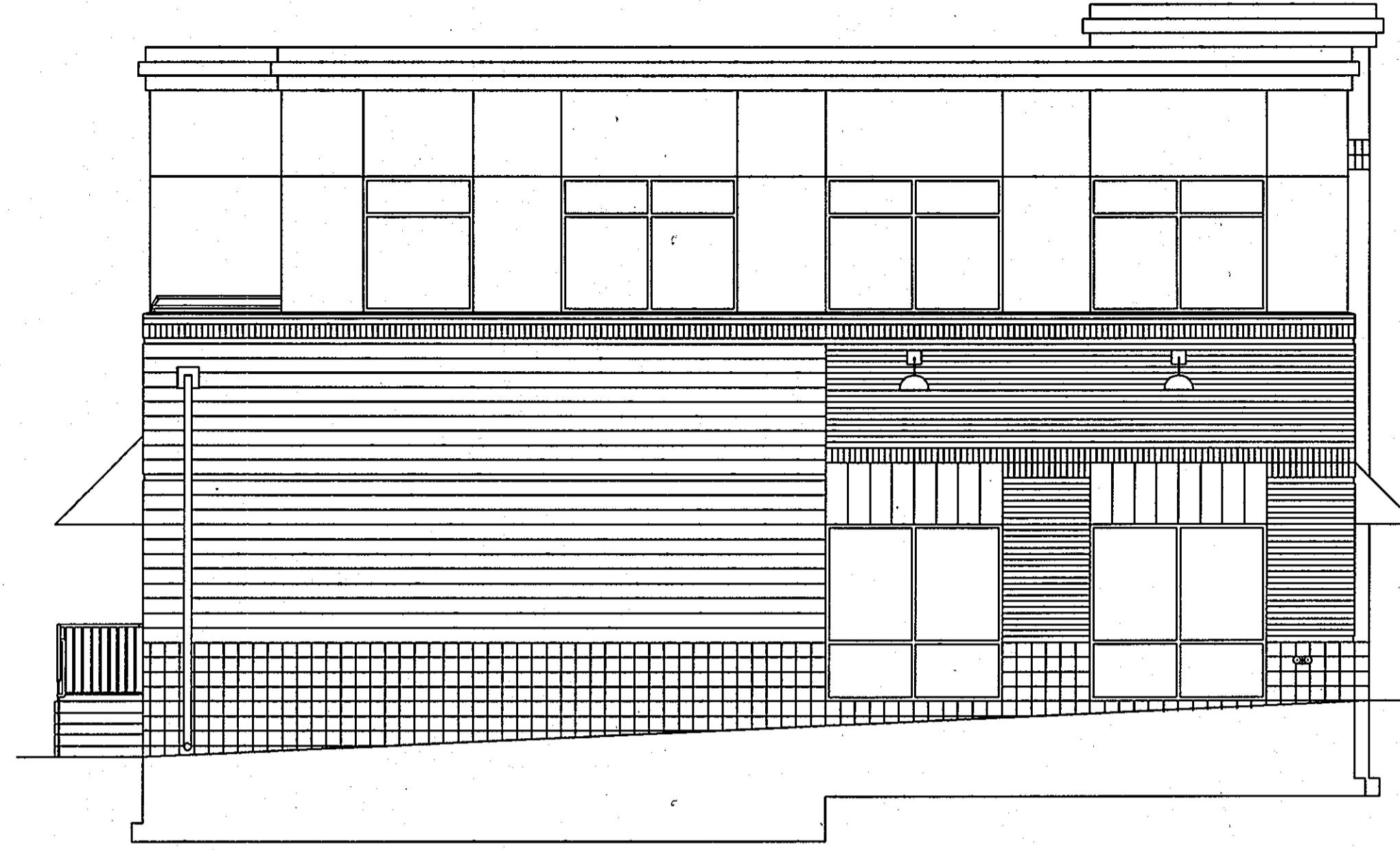
BOHLER ENGINEERING, P.C.  
PROFESSIONAL ENGINEERING SERVICES  
4810 CLEVELANDS GOLF COURSE, SUITE 500, TOWSON, MD 21286  
(410) 821-7900 FAX (410) 821-7907  
DESIGNED BY: JD  
DRAWN BY: RLB  
PROJECT NO.: MD056502.1  
DATE: 9/28/05  
SCALE: AS SHOWN  
DRAWING NO. 20 OF 28  
PROFESSIONAL ENGINEER (NO. 28567)





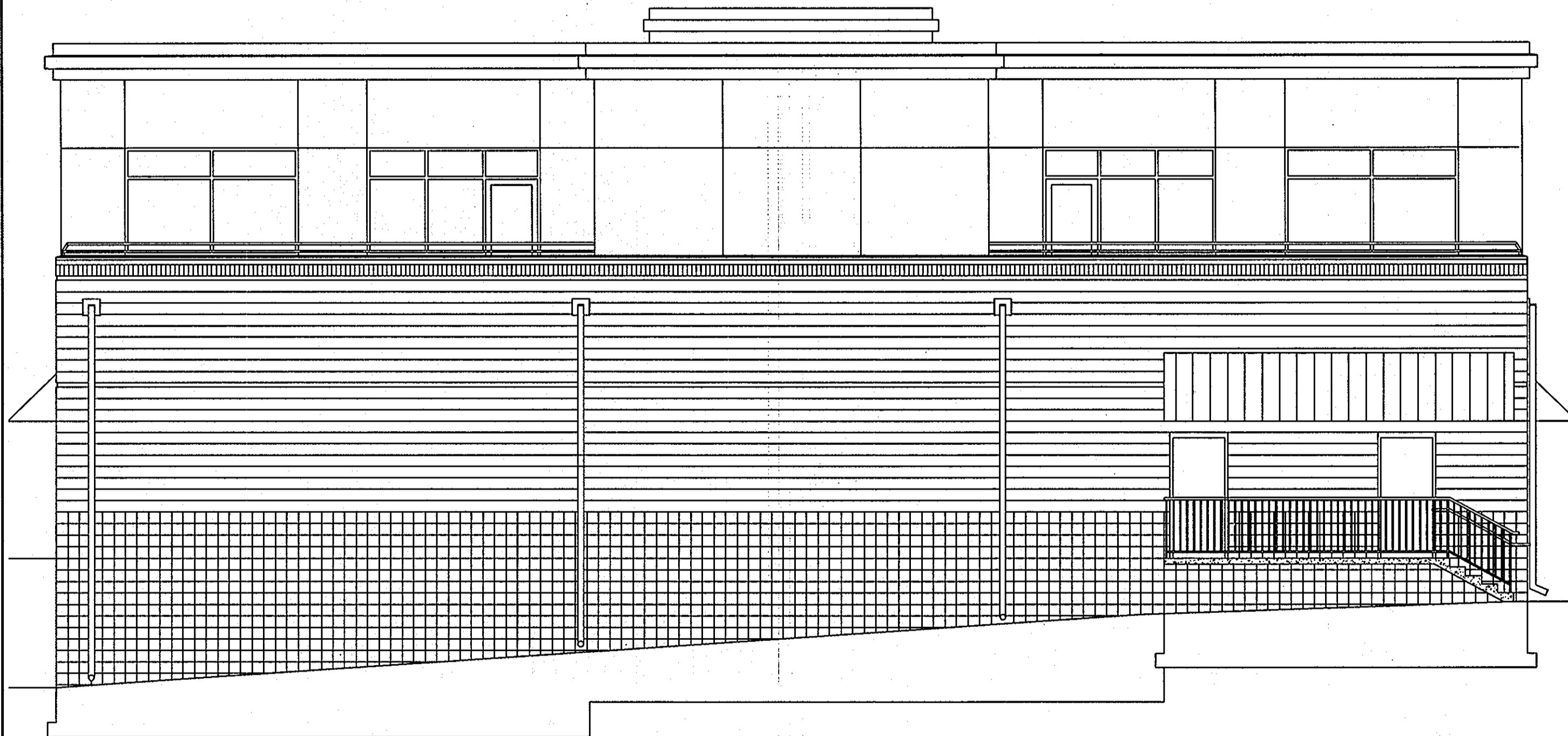
1 FRONT ELEVATION  
1"=6'

MEAN HEIGHT = 30'-2"



3 RIGHT ELEVATION  
1"=6'

MEAN HEIGHT = 31'-6"



2 REAR ELEVATION  
1"=6'

MEAN HEIGHT = 35'-0"



4 LEFT ELEVATION  
1"=6'

MEAN HEIGHT = 34'-0"

MEAN HEIGHT FOR BUILDING = 32'-8"

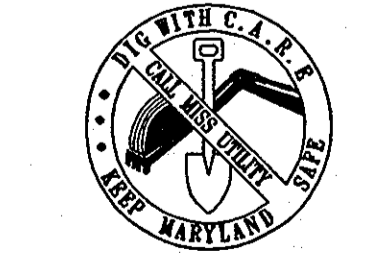
AS-BUILT CERTIFICATION  
THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.  
*Michael D. Adcock*  
MICHAEL D. ADCOCK, PROFESSIONAL LAND SURVEYOR  
MD REG. NO. 21297, EXPIRATION DATE: 06/16/15  
DATE: 3/19/2013

AS-BUILT  
NOTE:  
FINAL DIMENSIONS NOT YET AVAILABLE.  
HEIGHT NOT TO EXCEED 40'-0".

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Michael D. Adcock* 7/19/13 DATE  
CHIEF-DEVELOPMENT ENGINEERING DIVISION  
*Cindy Harvath* 7/19/13 DATE  
CHIEF-DIVISION & LAND DEVELOPMENT  
*Barbara K. Long* 8/16/13 DATE  
DIRECTOR  
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.  
*Brian for Peter Bilerman* 8/21/13 DATE  
COUNTY HEALTH OFFICER  
HOWARD COUNTY HEALTH DEPARTMENT

NO.	DATE	REVISION DESCRIPTION
OWNER:	HOPKINS STATION GENERAL PARTNERSHIP C/O BRANTLY DEVELOPMENT GROUP 8835 COLUMBIA 100 PARKWAY, SUITE P COLUMBIA, MD 21045 PHONE: (410) 730-0810	DEVELOPER: CHECK-FIL-A 5200 BUNTING ROAD ATLANTA, GA 30349-2998 C/O SCOTT PATMAN PHONE: (404) 684-8660
CHECK-FIL-A RESTAURANT & GENERAL OFFICE/RETAIL BUILDING PART OF LOT 1, HOPKINS STATION (FORMER PRICE FARMS, LOT1) JOHN HOPKINS ROAD LAUREL, HOWARD COUNTY, MARYLAND		
AREA 3.59 AC. TAX MAP 41 GRID 22 ZONED B-2 PARCEL 425 L. 3.095, F. 39 & L. 7004, F. 653 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND		

MISS UTILITY



BEFORE YOU DIG CALL  
1-800-955-7777  
PROJECT YOURSELF, GIVE TWO  
WORKING DAYS NOTICE

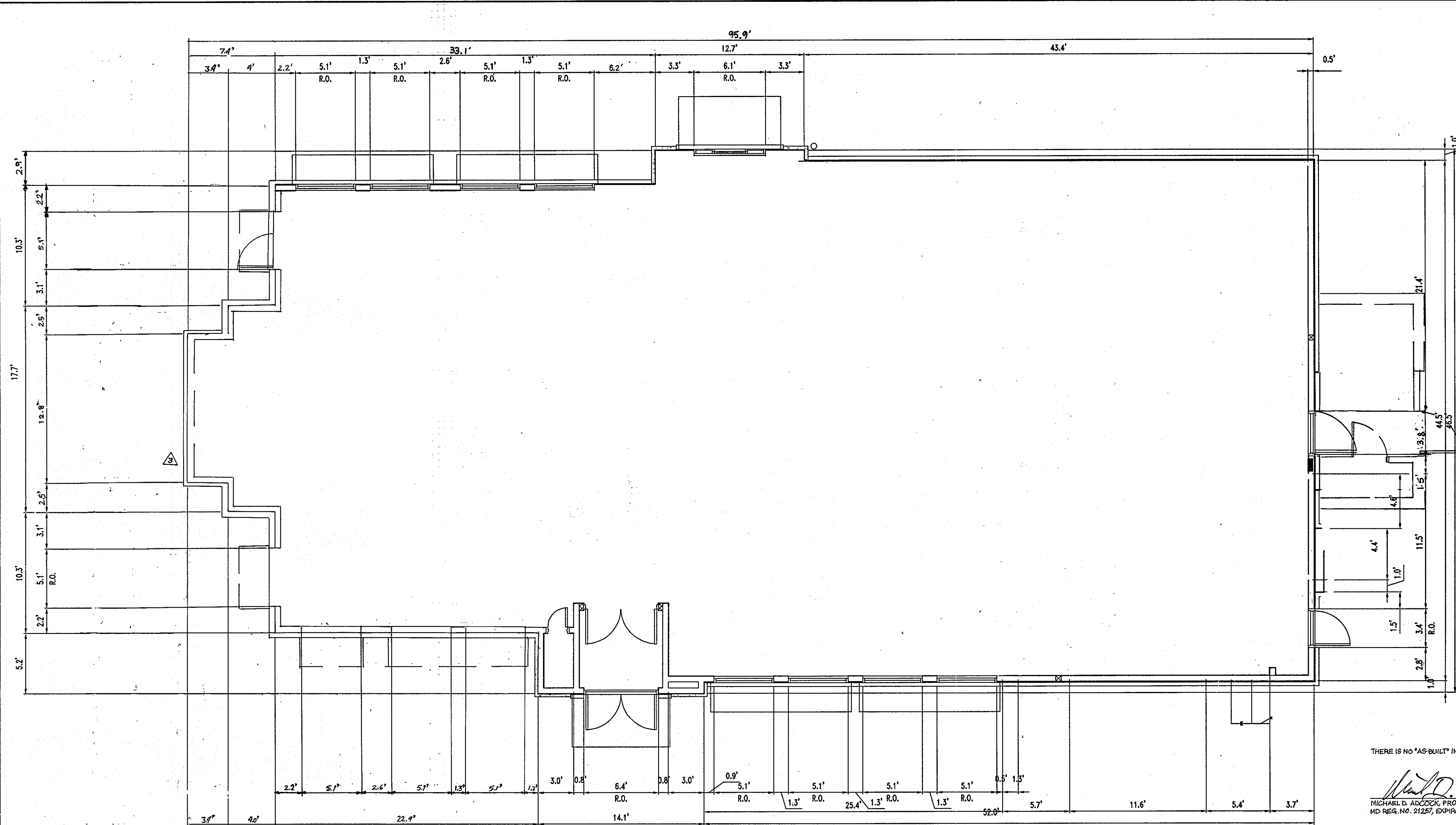
THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERE TO APPURTENANT.

THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

**BOHLER ENGINEERING, P.C.**  
PROFESSIONAL ENGINEERING SERVICES  
4810 GLENHEATHER COURT, SUITE 200, TOWSON, MD 21286  
(410) 641-7900 FAX (410) 641-7901 [www.bohlereng.com](http://www.bohlereng.com)

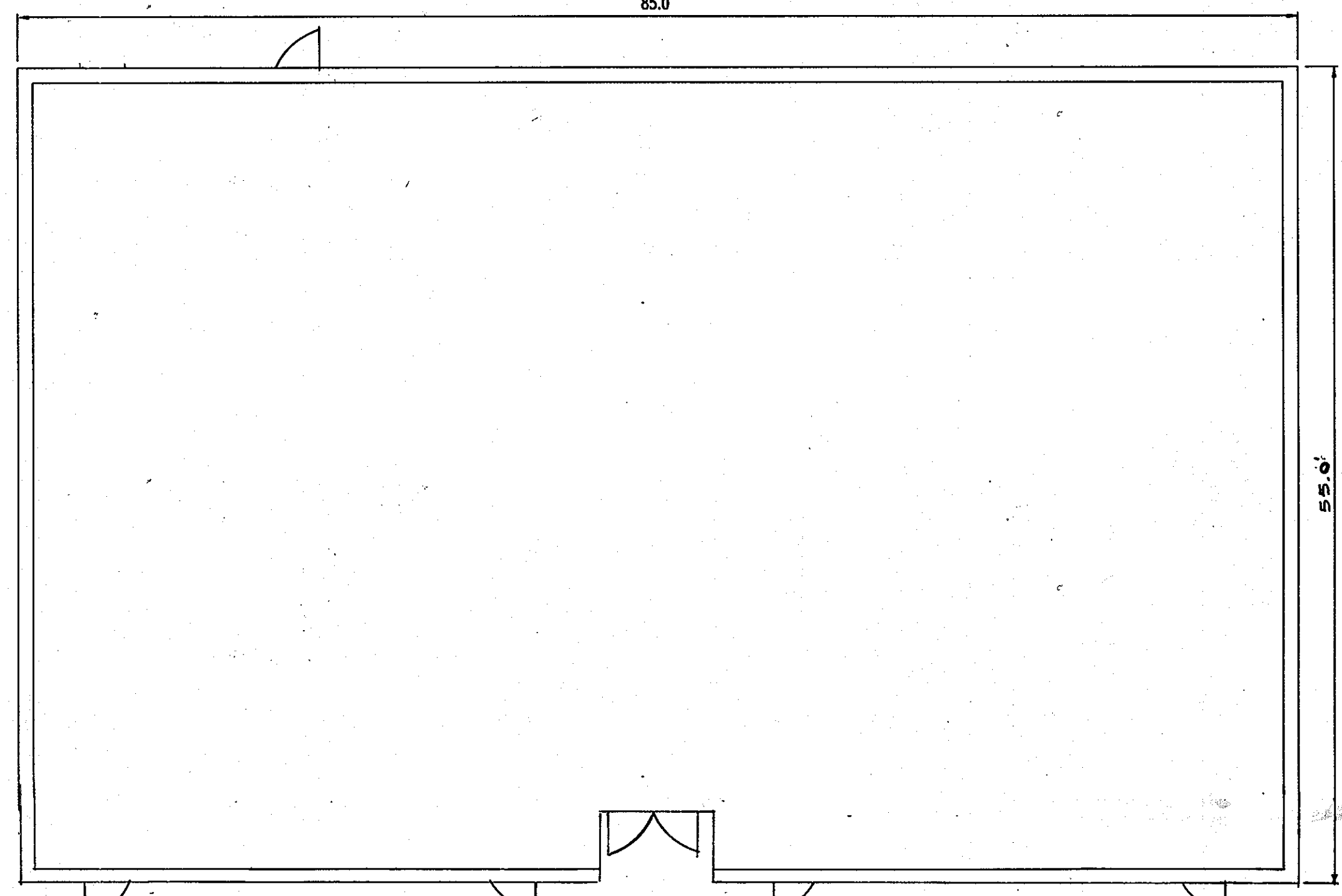
DESIGNED BY: JD  
DRAWN BY: RLB  
PROJECT NO.: MD056502.1  
DATE: 9/28/06  
SCALE: AS SHOWN  
DRAWING NO. 21 OF 28  
PROFESSIONAL ENGINEER NO. 28567

GENERAL NOTE:  
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY BOHLER ENGINEERING, P.C. IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY BOHLER ENGINEERING, P.C. SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.



FIRST FLOOR CFA BUILDING FOOT PRINT  
SCALE 1"=5'

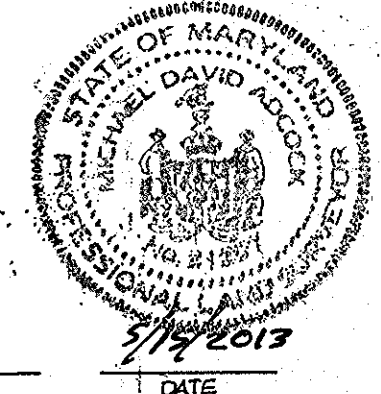
**NOTE:**  
REFER TO COMPLETE AND APPROVED ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.



FIRST FLOOR GENERAL OFFICE/RETAIL BUILDING FOOT PRINT  
SCALE 1"=8'

**GENERAL NOTE:**  
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AS-BUILT CERTIFICATION  
THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.  
*Michael D. Alcock*  
MICHAEL D. ALCOCK, PROFESSIONAL LAND SURVEYOR  
MD REG. NO. 21257, EXPIRATION DATE: 06-16-15



AS-BUILT  
FOR REVISION 3 ONLY



FOR REVISION 1 ONLY  
APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Guido Harada* 8/8/07  
CHIEF-DIVISION & LAND DEVELOPMENT  
DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.  
*B. Nifon* 8/2/07  
COUNTY HEALTH OFFICER  
HOWARD COUNTY HEALTH DEPARTMENT

NO.	DATE	REVISION DESCRIPTION
3	4/7/06	SITE AREA REVISED FOR CFA BUILDING
1	12/10/07	RETAIL BLDG. DIMENSIONS

OWNER: HOPKINS STATION GENERAL PARTNERSHIP  
C/O BRANTLY DEVELOPMENT GROUP  
8635 COLUMBIA  
100 PARKWAY, SUITE P  
COLUMBIA, MD 21045  
PHONE: (410) 730-0810

DEVELOPER: CHICK-FIL-A  
5200 BUFFINGTON ROAD  
ATLANTA, GA 30349-2998  
C/O SCOTT PATMAN  
PHONE: (404) 684-0560

CHICK-FIL-A RESTAURANT & GENERAL OFFICE/RETAIL BUILDING  
PART OF LOT 1, HOPKINS STATION (FORMER PRICE FARMS, LOT1)  
LAUREL, HOWARD COUNTY, MARYLAND

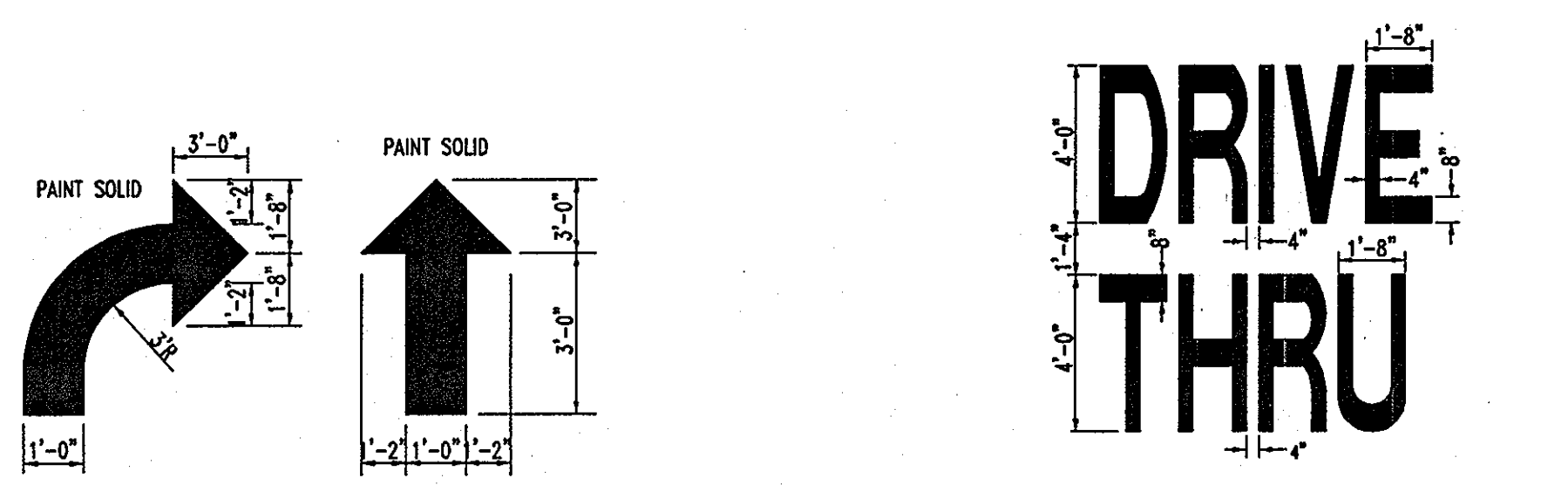
AREA 3.59 AC. TAX MAP 41 GRID 22 ZONED B-2  
PARCEL 425 L 3,095, F. 39 & L. 7004, F. 653  
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

BUILDING FOOTPRINT  
**BOHLER ENGINEERING, P.C.**  
PROFESSIONAL ENGINEERING SERVICES  
4810 CLEVELANDS COURT, SUITE 300, TOWSON, MD 21286  
410-81-7800 FAX 410-81-7811  
DESIGNED BY: JD  
DRAWN BY: RLB  
PROJECT NO.: MD06502.1  
DATE: 9/28/06  
SCALE: AS SHOWN  
DRAWING NO. 22 OF 28  
REVISIONS: 12/15/06

MISS UTILITY

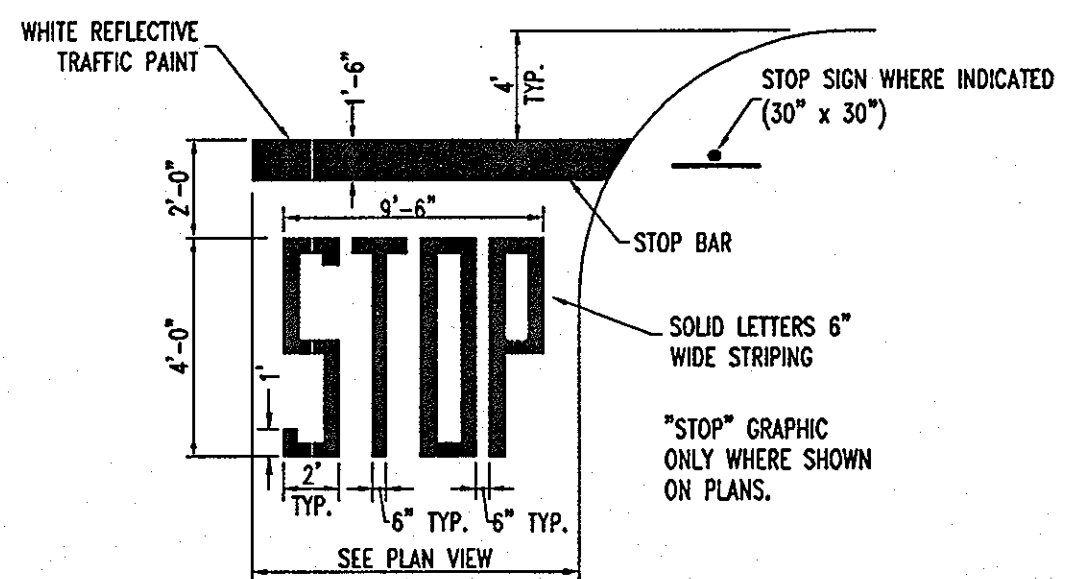


BEFORE YOU DIG CALL  
1-800-393-7777  
PROTECT YOURSELF - GIVE TWO WORKING DAYS NOTICE  
THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERE TO APPLICABLE.  
THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.



**DIRECTIONAL ARROW**  
NOT TO SCALE

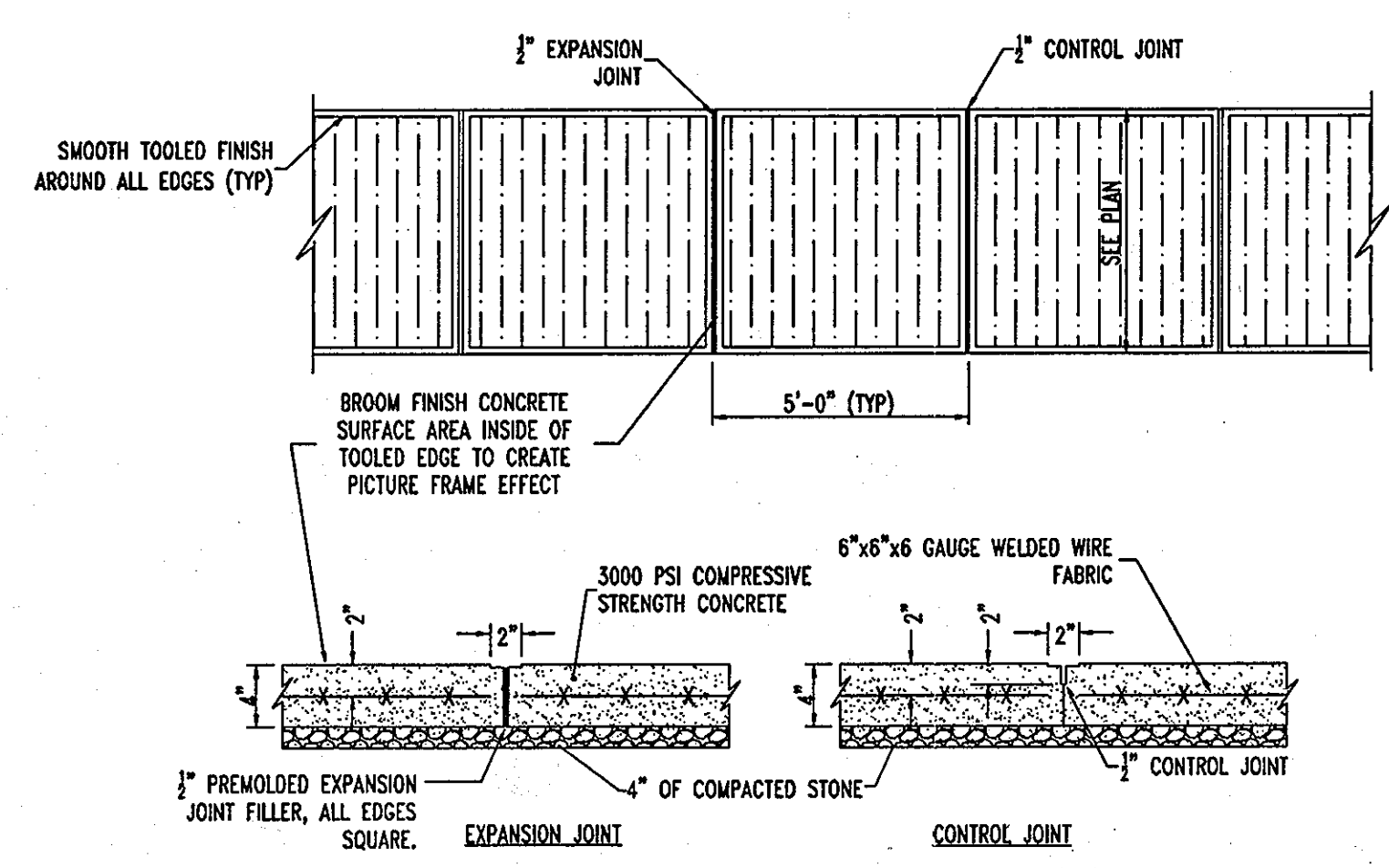
**DRIVE-THRU GRAPHICS**  
NOT TO SCALE



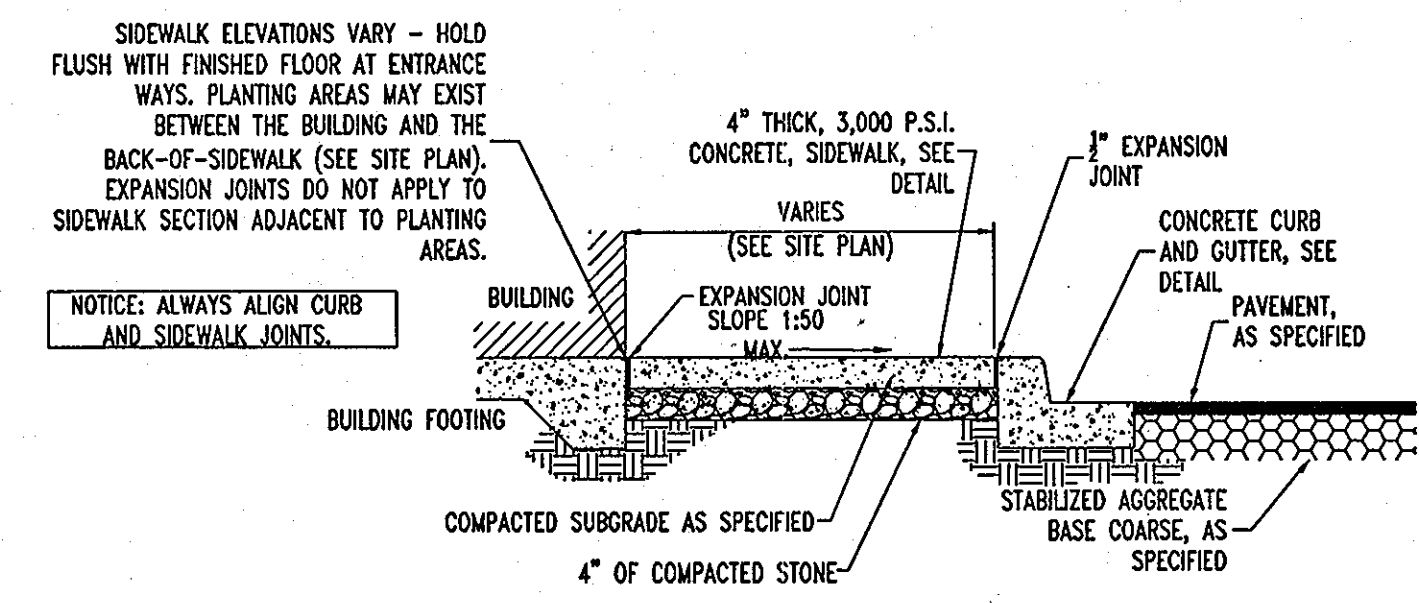
**STOP LINE GRAPHIC DETAIL**  
NOT TO SCALE



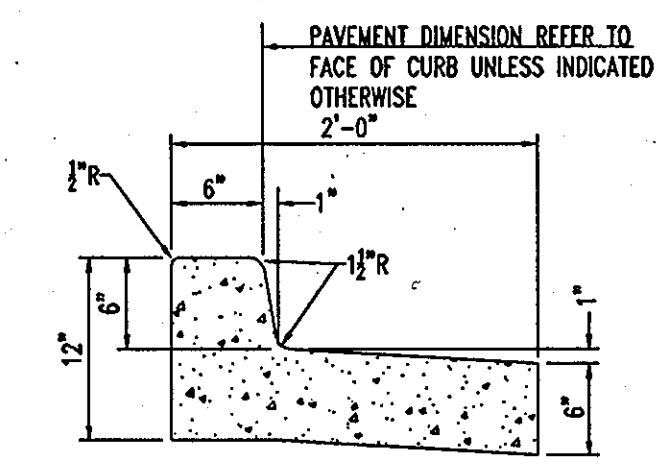
**PAINTED HANDICAP SYMBOL**  
NOT TO SCALE



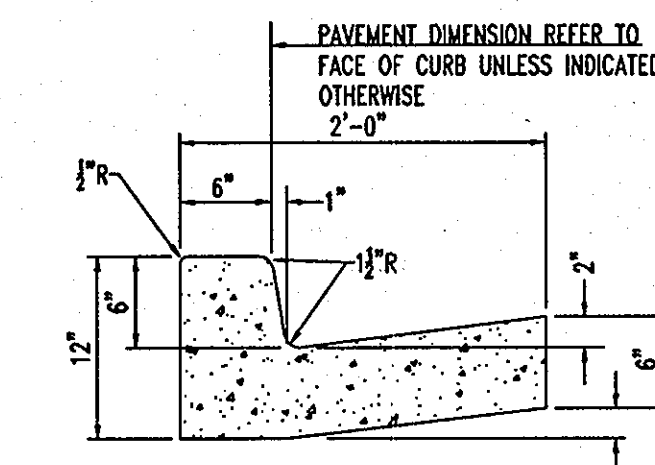
**TYPICAL CONCRETE SIDEWALK**  
NOT TO SCALE



**SIDEWALK WITH CURB & GUTTER SECTION**  
NOT TO SCALE



**A SPILLING CURB AND GUTTER**



**B CATCHING CURB AND GUTTER**

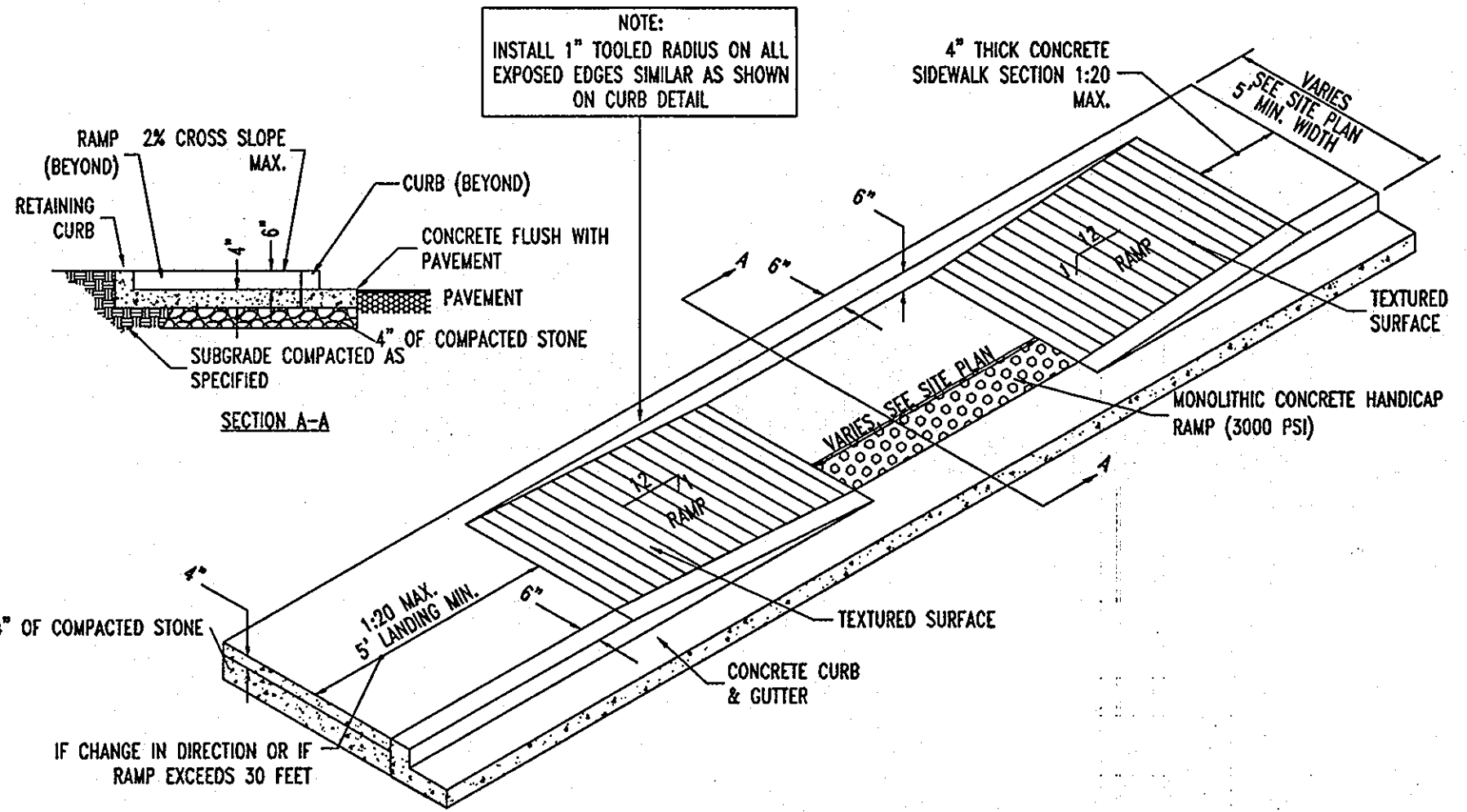
CONCRETE FOR CURBING SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. AT 28 DAYS.

CONSTRUCTION STAKING FOR CURBING INSTALLATION SHALL BE REFERENCED (CUT OR FILL) TO THE FACE OF CURB.

AT CONTRACTOR'S OPTION THE GUTTER THICKNESS MAY BE INCREASED AT THE EDGE OF PAVEMENT TO MAKE BOTTOM OF GUTTER PARALLEL WITH PAVING OF BASE COURSE.

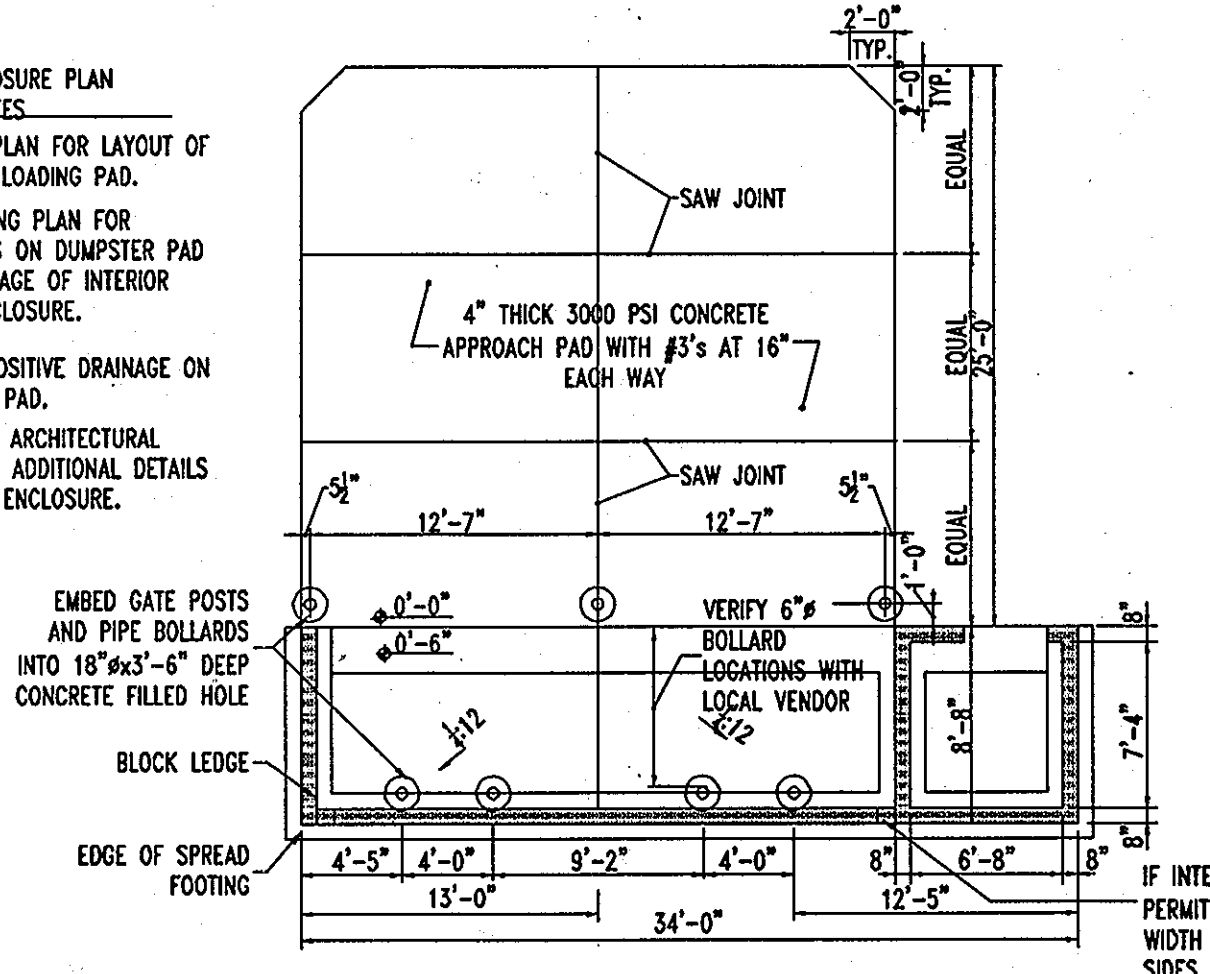
CONTRACTION JOINTS AT 10'-0" O.C. TOOLED 1/4" (±1/16", -0) WIDE, 1" OR MAX. D/4 DEEP WHICHEVER IS GREATER. EXPANSION JOINTS AT 40' MAX. AND ALL P.C.'S, UNLESS APPROVED OR INDICATED OTHERWISE ON PLAN VIEW JOINT PATTERN.

**24" CONCRETE CURB & GUTTER**  
NOT TO SCALE

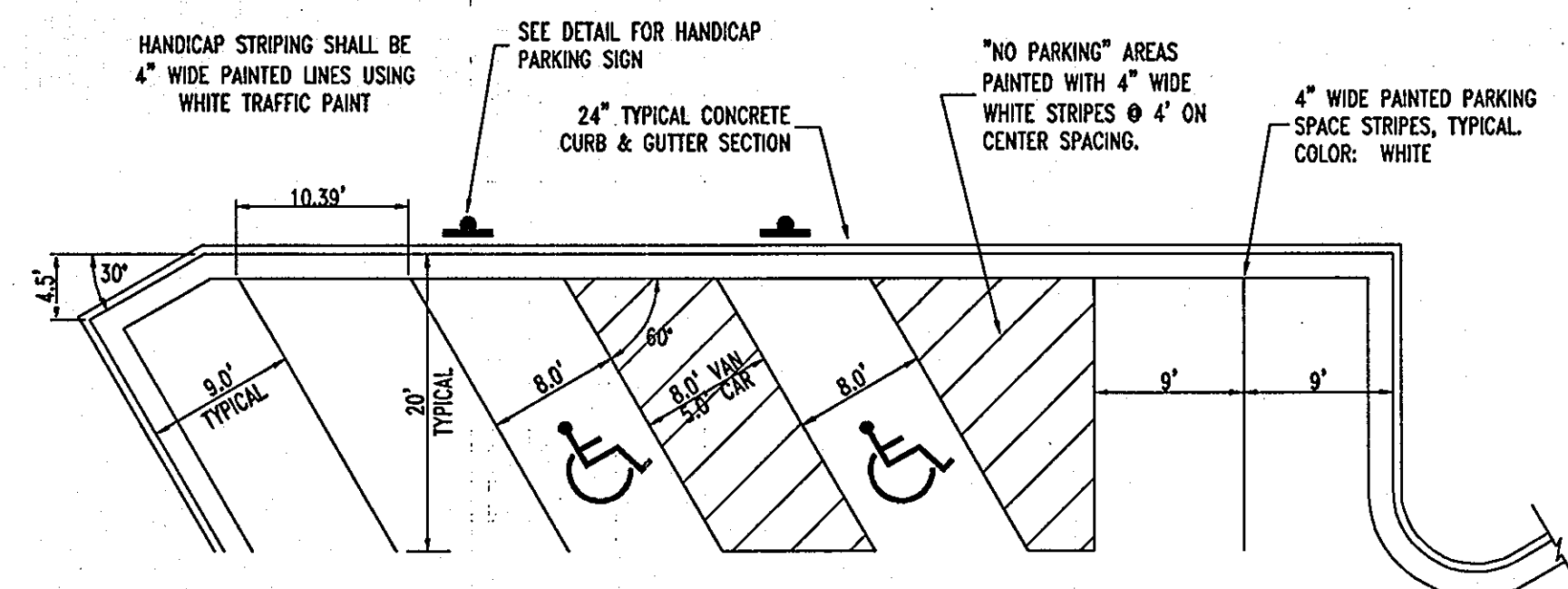


**SIDEWALK HANDICAP RAMP DETAIL**  
NOT TO SCALE

- TRASH ENCLOSURE PLAN GENERAL NOTES**
- SEE SITE PLAN FOR LAYOUT OF CONCRETE LOADING PAD.
  - SEE GRADING PLAN FOR ELEVATIONS ON DUMPSTER PAD AND DRAINAGE OF INTERIOR TRASH ENCLOSURE.
  - PROVIDE POSITIVE DRAINAGE ON APPROACH PAD.
  - SEE SHEET ARCHITECTURAL PLANS FOR ADDITIONAL DETAILS ON TRASH ENCLOSURE.



**REFUSE ENCLOSURE ALTERNATE DRAINAGE PLAN**  
NOT TO SCALE



**STANDARD PARKING STALL**  
NOT TO SCALE

**NOTE:** HANDICAP PARKING AND ACCESSIBLE AISLES SHALL NOT EXCEED 1:50 IN SLOPE IN ANY DIRECTION. IF ONLY ONE ACCESS ISLE IS INSTALLED, IT IS TO BE A VAN SIZE.

**NOTE:** PARKING STALL DIMENSIONING SHALL BE IN ACCORDANCE WITH APPLICABLE GOVERNING AUTHORITY'S STANDARDS FOR THE DIMENSIONING SHOWN ON THE SITE LAYOUT PLAN.

**TRAFFIC MARKING PAINT**

- SURFACE PREPARATION: SURFACE MUST BE CLEAN, DRY, AND IN SOUND CONDITION. REMOVE ALL OIL, DUST, GREASE, DIRT, AND OTHER FOREIGN MATERIAL TO ENSURE ADEQUATE ADHESION.
- RECOMMENDED SPREADING RATE PER COAT: APPROXIMATELY 320 LINEAL FEET OF STANDARD 4" STRIPE PER GALLON.  
WET MILS: 15.0  
DRY MILS: 9.0  
COVERAGE: 100 SQ. FT./GAL APPROXIMATE

MAX. RISE/RUN FOR ACCESSIBLE RAMPS		
SLOPE	MAXIMUM RISE	MAXIMUM HORIZONTAL PROJECTION
1:12 TO < 1:16	30 INCHES	30 FEET
1:16 TO < 1:20	30 INCHES	40 FEET

**RAMPS** SECTION 4.8.1 - 4.8.3

- \*ANY PART OF AN ACCESSIBLE ROUTE WITH A SLOPE GREATER THAN 1:20 SHALL BE CONSIDERED A RAMP AND SHALL COMPLY WITH 4.8
- \*THE LEAST POSSIBLE SLOPE SHALL BE USED FOR ANY RAMP.
- \*THE MINIMUM CLEAR WIDTH OF A RAMP SHALL BE 36".
- \*SEE MAXIMUM RISE/RUN CHART FOR ACCEPTABLE SLOPES.

**LANDINGS** SECTION 4.8.4

- \*LEVEL LANDINGS WILL BE PROVIDED AT TOP AND BOTTOM OF EACH RAMP. LANDING LENGTH SHALL BE MIN. 60" AND BE AS WIDE AS RAMP MIN. 36".
- \*IF RAMP CHANGES DIRECTION LANDING WILL BE MIN. 60"x60"
- \*IF A DOORWAY IS LOCATED AT A LANDING, THEN THE AREA IN FRONT OR THE DOORWAY SHALL COMPLY WITH 4.13.6"

**HANDRAILS** SECTION 4.8.5 AND 4.26

- \*IF A RAMP HAS A RISE GREATER THAN 6" OR A HORIZONTAL PROJECTION GREATER THAN 72", THEN IT SHALL HAVE HANDRAILS ON BOTH SIDES.
- \*HANDRAIL WILL BE CONSTRUCTED OF WELDED STEEL PIPE - GRIND SMOOTH AND PAINT TO MATCH DARK BRONZE.

**CROSS SLOPE** SECTION 4.8.6, 4.3.7

- \*THE CROSS SLOPE OF RAMP SURFACES SHALL BE NO GREATER THAN 1:50.
- \*NOWHERE SHALL THE CROSS SLOPE OF AN ACCESSIBLE ROUTE EXCEED 1:50.

**MISS UTILITY**



BEFORE YOU DIG CALL 1-800-357-7777 PROJECT YOURSELF, BE TWO WORKING DAYS NOTICE

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THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

**AS-BUILT**

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Michael D. Adcock* 7/19/10 DATE  
 CHIEF-DEVELOPMENT ENGINEERING DIVISION

*Cindy Hanna* 8/3/10 DATE  
 CHIEF-DIVISION & LAND DEVELOPMENT

*Mark D. Angell* 8/16/10 DATE  
 DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.  
*Brian P. P. Peterson* 8/21/10 DATE  
 COUNTY HEALTH OFFICER  
 HOWARD COUNTY HEALTH DEPARTMENT

NO.	DATE	REVISION DESCRIPTION
OWNER:	DEVELOPER:	
HOPKINS STATION GENERAL PARTNERSHIP C/O BRANTLY DEVELOPMENT GROUP 8835 COLUMBIA 100 PARKWAY, SUITE P COLUMBIA, MD 21045 PHONE: (410) 730-0810	CHICK-FIL-A 5200 BUFFINGTON ROAD ATLANTA, GA 30349-2998 C/O SCOTT PATMAN PHONE: (404) 684-8660	
CHICK-FIL-A RESTAURANT & GENERAL OFFICE/RETAIL BUILDING PART OF LOT 1, HOPKINS STATION (FORMER PRICE FARMS, LOT 1) JOHNS HOPKINS ROAD LAUREL, HOWARD COUNTY, MARYLAND		
AREA 3.59 AC.	TAX MAP 41 GRID 22 ZONED B-2	
PARCEL 425 L 3,095, F. 39 & L. 7004, F. 653 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND		

**STATE DETAILS**

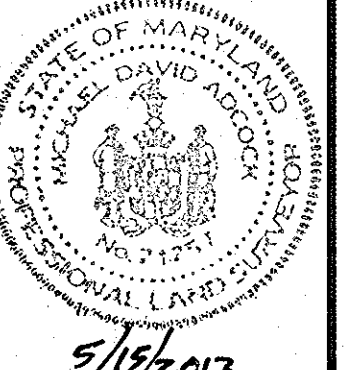
**BOHLER ENGINEERING, P.C.**

PROFESSIONAL ENGINEERING SERVICES  
 4810 CLEMENS ROAD, SUITE 300, TOWSON, MD 21286  
 (410) 851-7800 FAX (410) 851-7801

REVISOR: 12/15/06

DESIGNED BY: JD  
 DRAWN BY: RLB  
 PROJECT NO.: MD056502.1  
 DATE: 9/28/06  
 SCALE: AS SHOWN  
 DRAWING NO. 23 OF 23

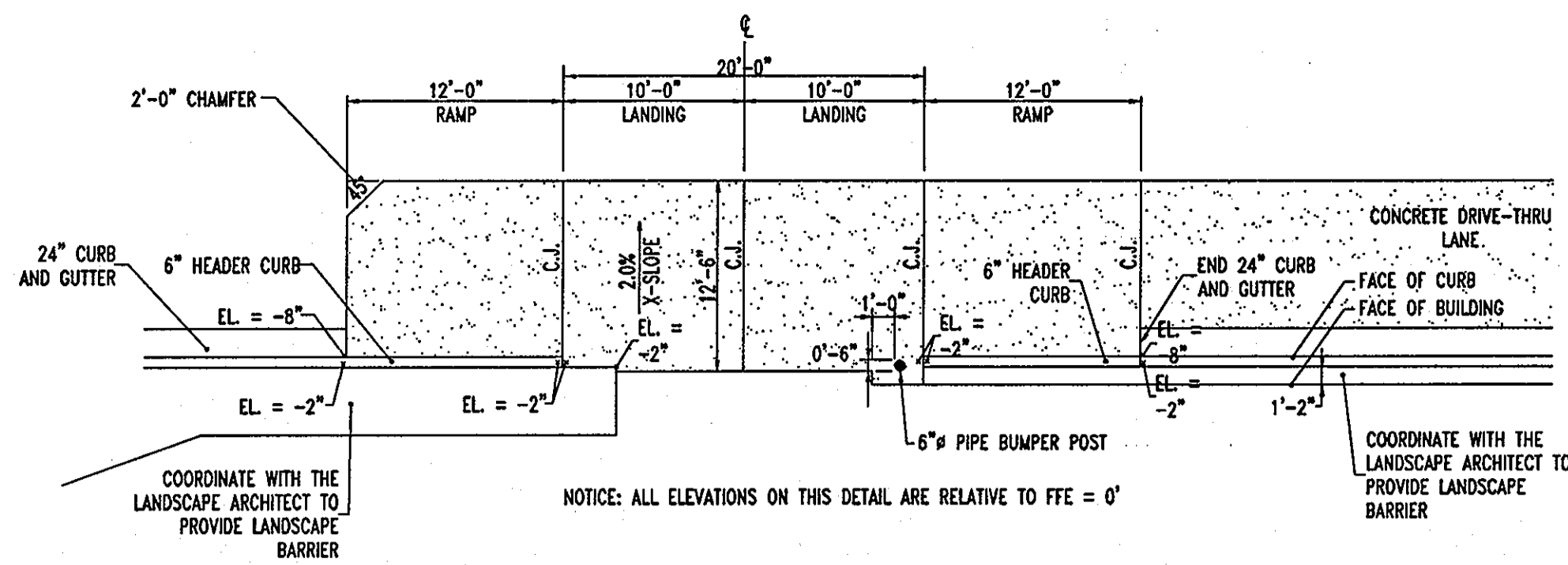
PROFESSIONAL ENGINEER NO. 28567



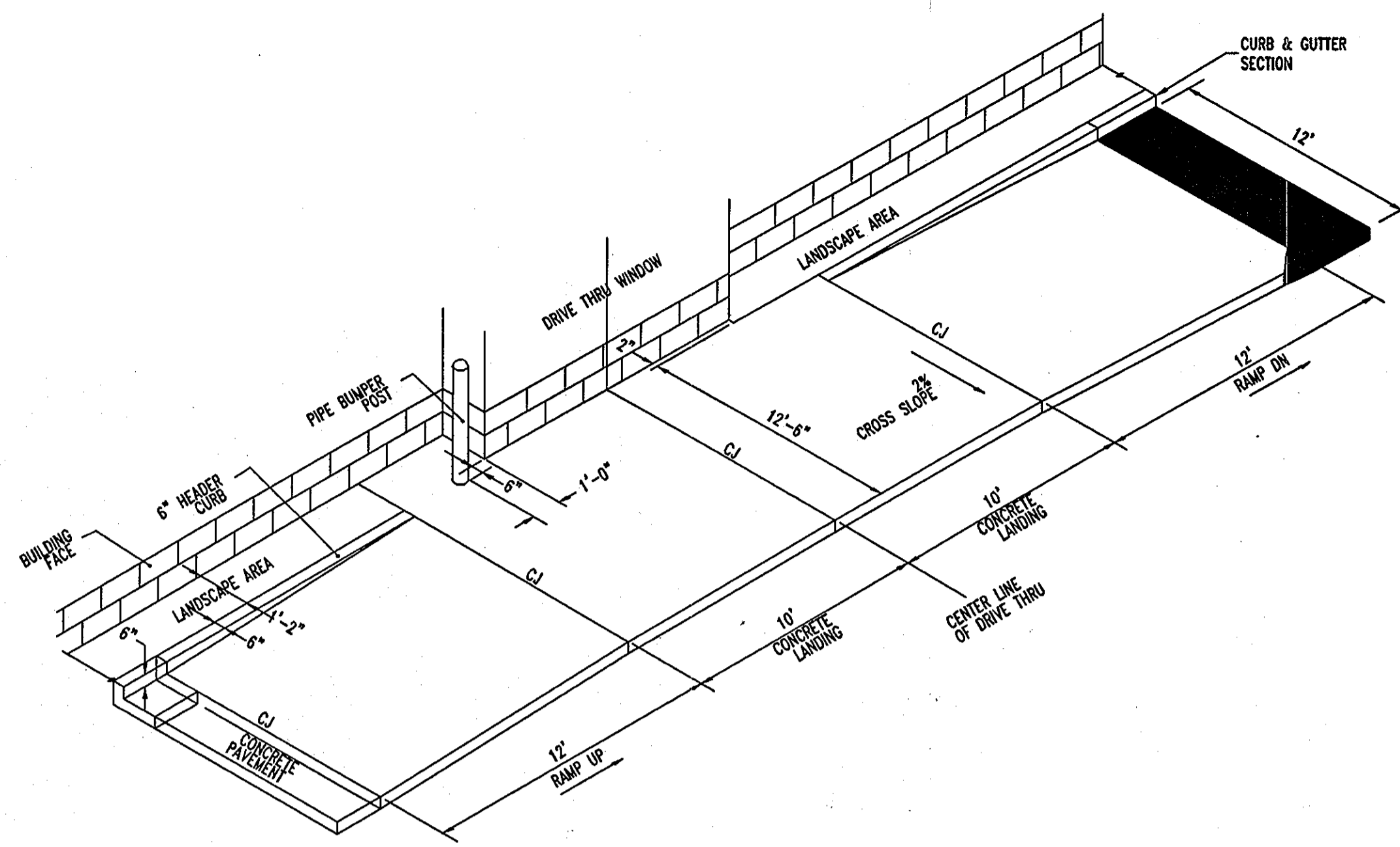
**AS-BUILT CERTIFICATION**

THERE IS NO 'AS-BUILT' INFORMATION PROVIDED ON THIS SHEET.

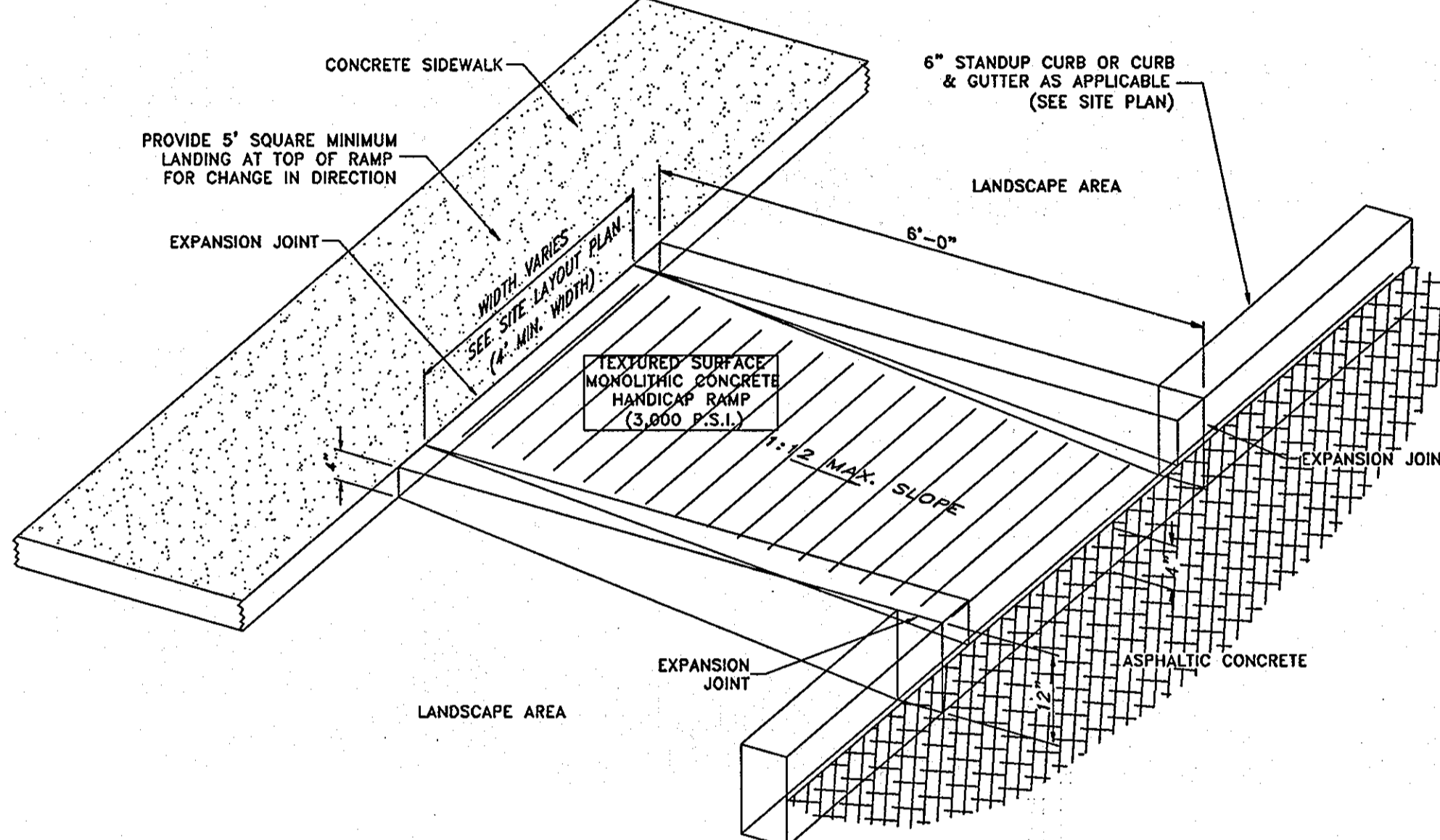
*Michael D. Adcock* 9/19/2013 DATE  
 MICHAEL D. ADCOCK, PROFESSIONAL LAND SURVEYOR  
 MD REG. NO. 21297, EXPIRATION DATE: 06-16-19



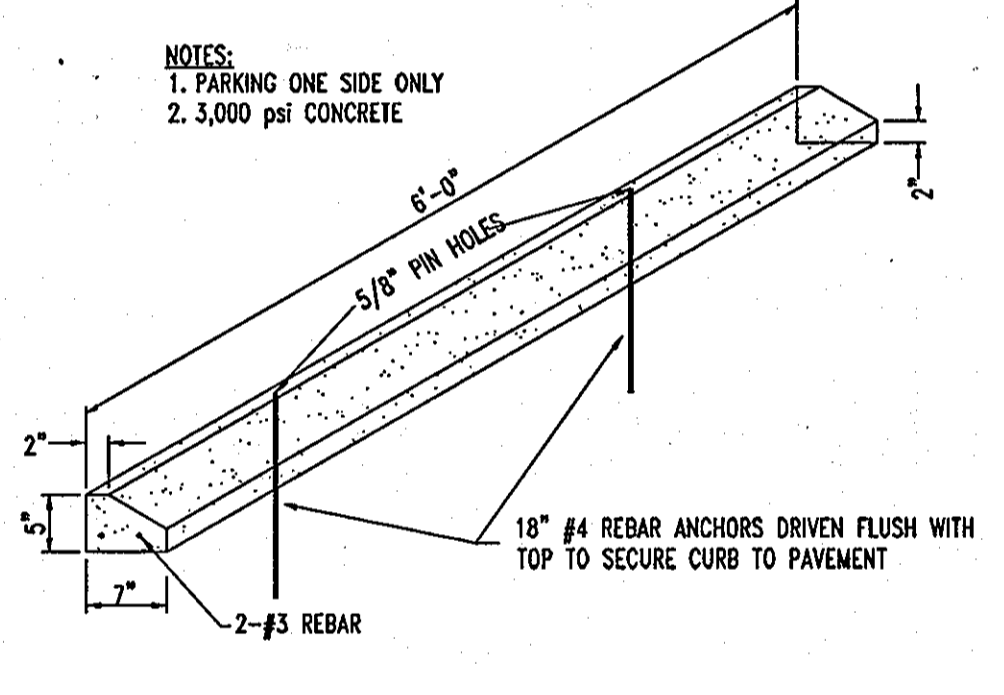
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24  
**DRIVE-THRU PLAN**  
NOT TO SCALE



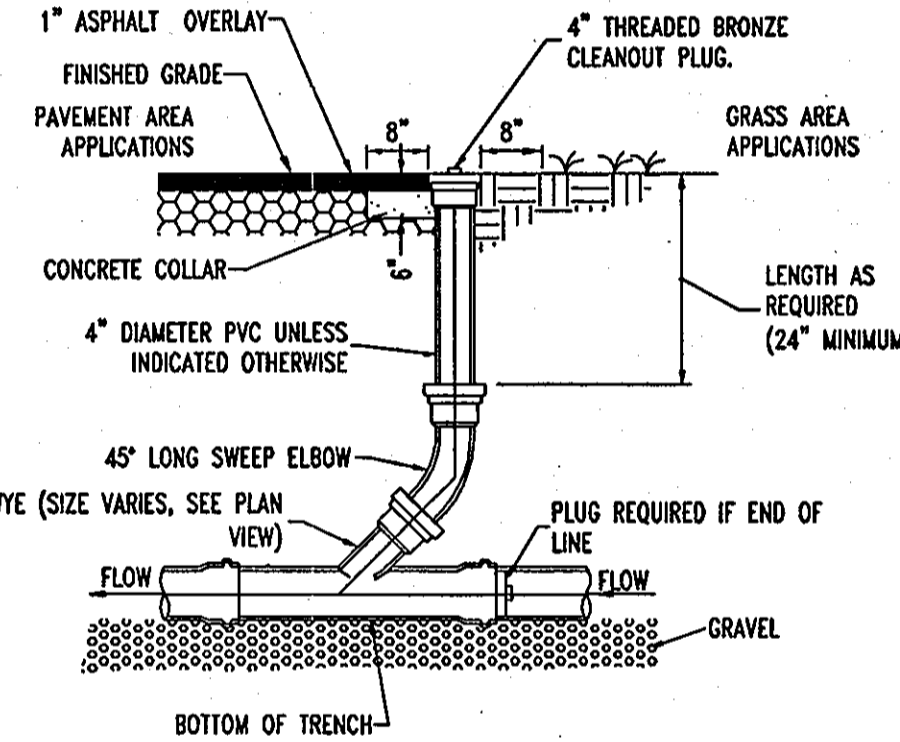
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24  
**DRIVE-THRU ISOMETRIC**  
NOT TO SCALE



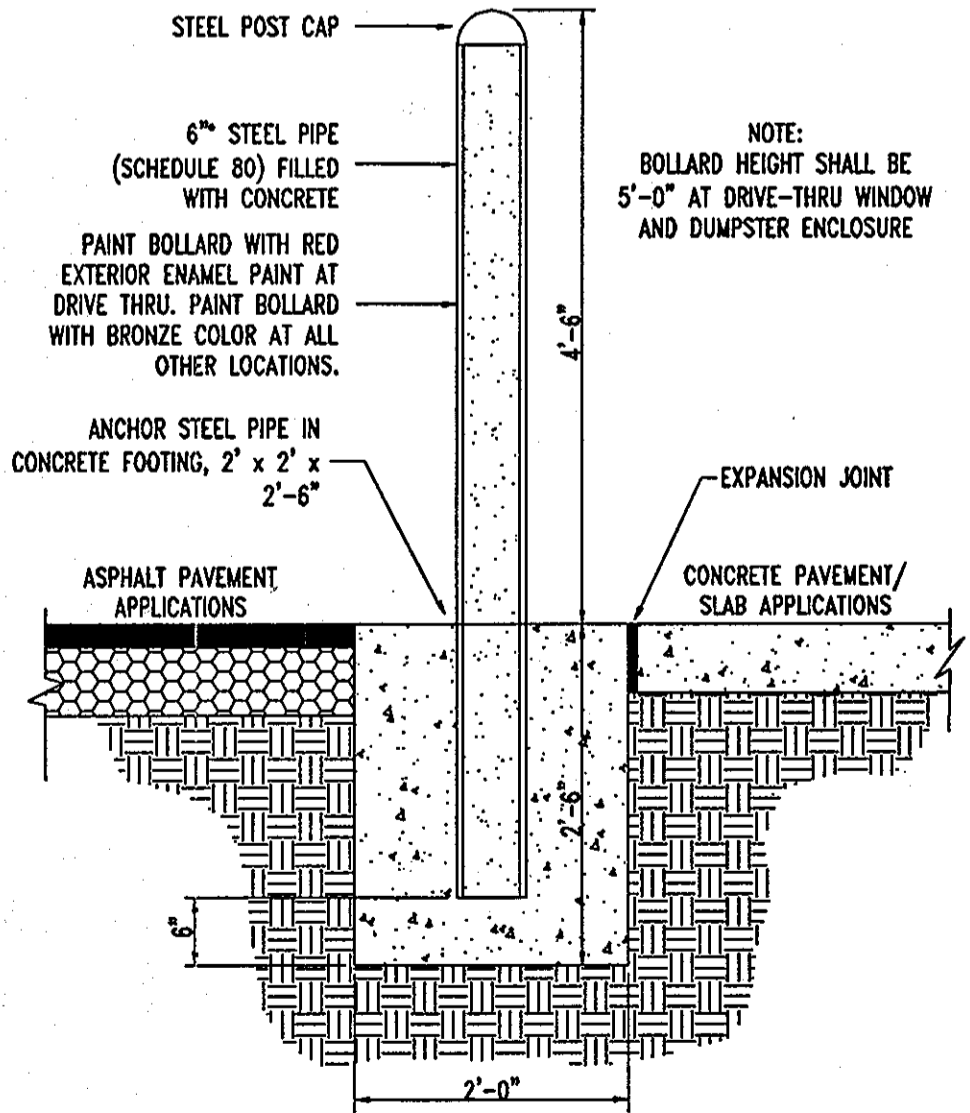
32  
24  
**CURBED HANDICAP RAMP**  
NOT TO SCALE



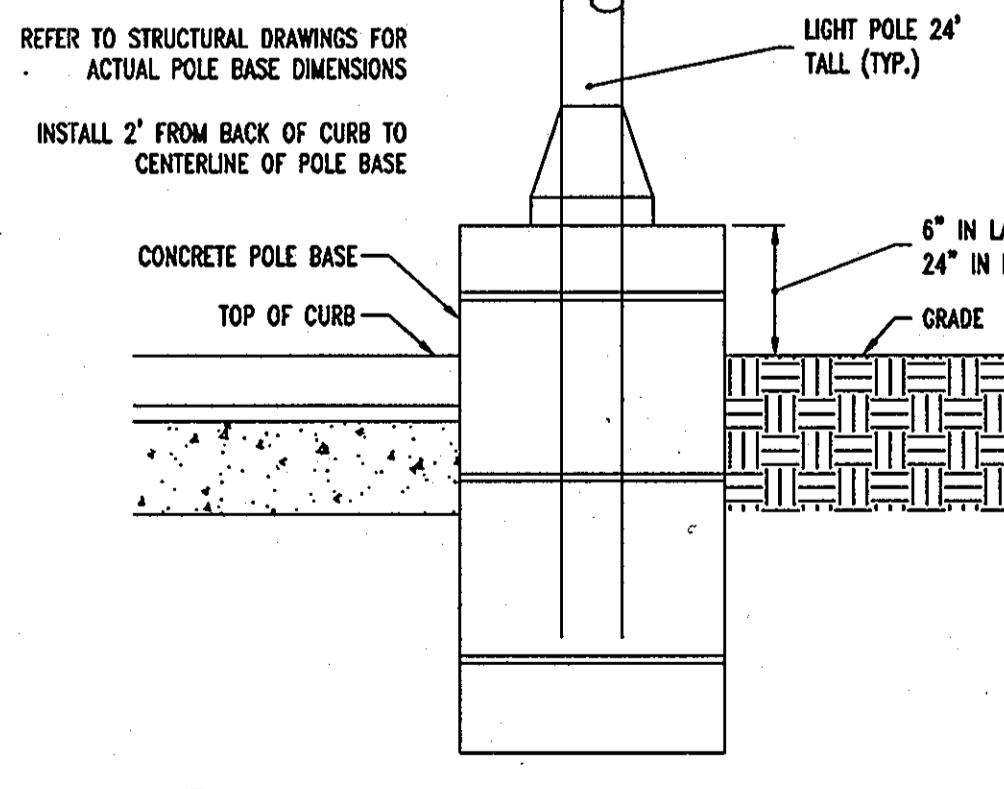
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24  
**CONCRETE WHEEL STOP**  
NOT TO SCALE



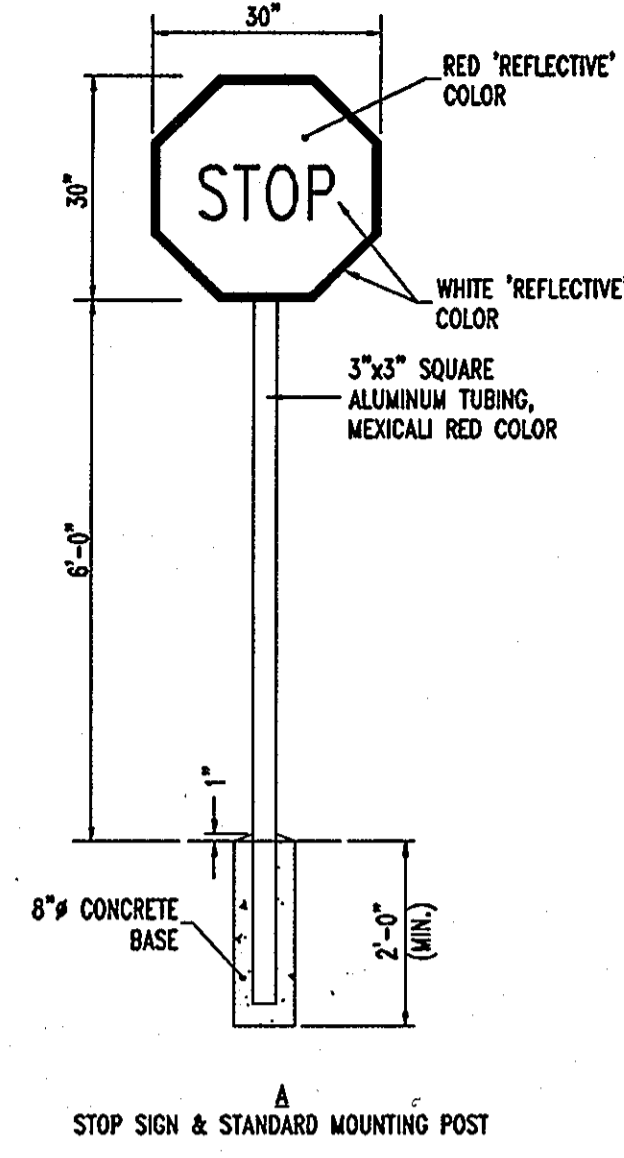
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**SERVICE LINE CLEANOUT**  
NOT TO SCALE



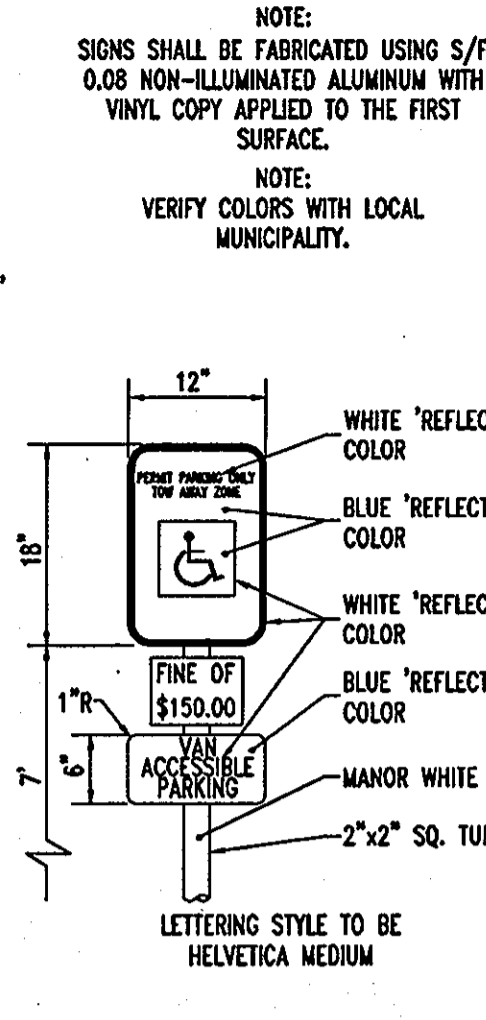
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24  
**PIPE BUMPER POST**  
NOT TO SCALE



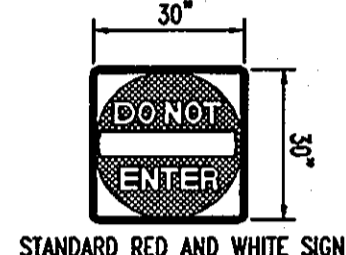
17  
24  
**TYPICAL POLE BASE**  
NOT TO SCALE



A  
**STOP SIGN & STANDARD MOUNTING POST**



B  
**HANDICAPPED PARKING SIGN**

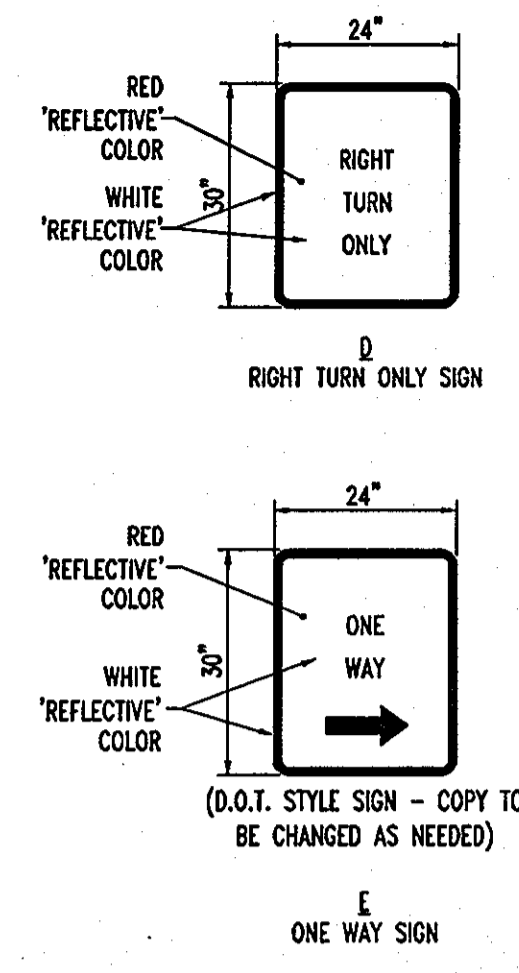


C  
**STANDARD RED AND WHITE SIGN**

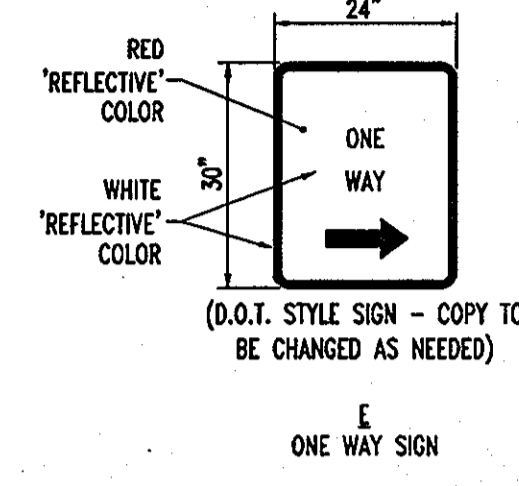
D  
**DO NOT ENTER**

E  
**DO NOT ENTER**

F  
**DIRECTIONAL SIGNAGE**  
NOT TO SCALE



D  
**RIGHT TURN ONLY SIGN**



E  
**ONE WAY SIGN**

NOTE: SIGNS SHALL BE FABRICATED USING 5/8\"/>

NOTE: VERIFY COLORS WITH LOCAL MUNICIPALITY.

NOTE: SIGNS PROVIDED AND INSTALLED BY CFA CONTRACTOR

AS-BUILT CERTIFICATION

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

Michael D. Adcock, PROFESSIONAL LAND SURVEYOR  
MD REG. NO. 21287, EXPIRATION DATE: 06-16-15



AS-BUILT

APPROVED: DEPARTMENT OF PLANNING AND ZONING	DATE: 7/19/07
CHIEF-DEVELOPMENT ENGINEERING DIVISION	
APPROVED: CHIEF-DIVISION & LAND DEVELOPMENT	DATE: 8/3/07
DIRECTOR	DATE: 8/16/07
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.	
APPROVED: COUNTY HEALTH OFFICER	DATE: 8/20/07
HOWARD COUNTY HEALTH DEPARTMENT	

NO.	DATE	REVISION DESCRIPTION
OWNER: HOPKINS STATION GENERAL PARTNERSHIP C/O BRANTLY DEVELOPMENT GROUP 8835 COLUMBIA 100 PARKWAY, SUITE P COLUMBIA, MD 21045 PHONE: (410) 730-0810	DEVELOPER: CHICK-FIL-A 5200 BUFFINGTON ROAD ATLANTA, GA 30349-2898 C/O SCOTT PATMAN PHONE: (404) 684-8660	
CHICK-FIL-A RESTAURANT & GENERAL OFFICE/RETAIL BUILDING PART OF LOT 1, HOPKINS STATION (FORMER PRICE FARM, LOT1) JOHNS HOPKINS ROAD LAUREL, HOWARD COUNTY, MARYLAND		
AREA 3.59 AC. TAX MAP 41 GRID 22 ZONED B-2 PARCEL 425 L 3,095, F. 39 & L 7004, F. 653 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND		

SITE DETAILS

**BOHLER ENGINEERING, P.C.**

DESIGNED BY: JD	REVISION: 12/15/06
DRAWN BY: RLB	
PROJECT NO.: MD056502.1	
DATE: 9/28/06	
SCALE: AS SHOWN	
DRAWING NO. 24 OF 28	

GENERAL NOTE:  
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY BOHLER ENGINEERING, P.C. IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY BOHLER ENGINEERING, P.C. SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

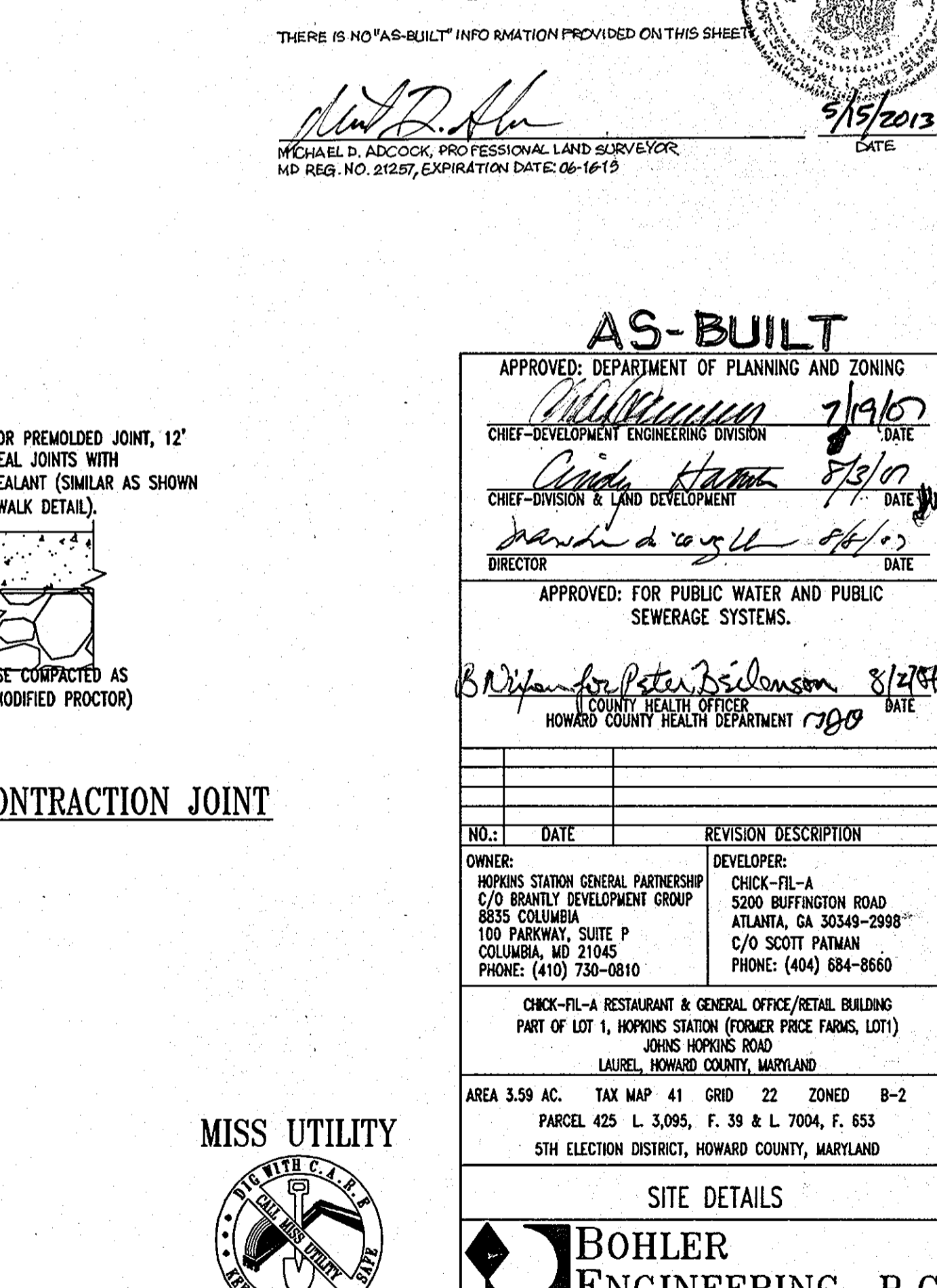
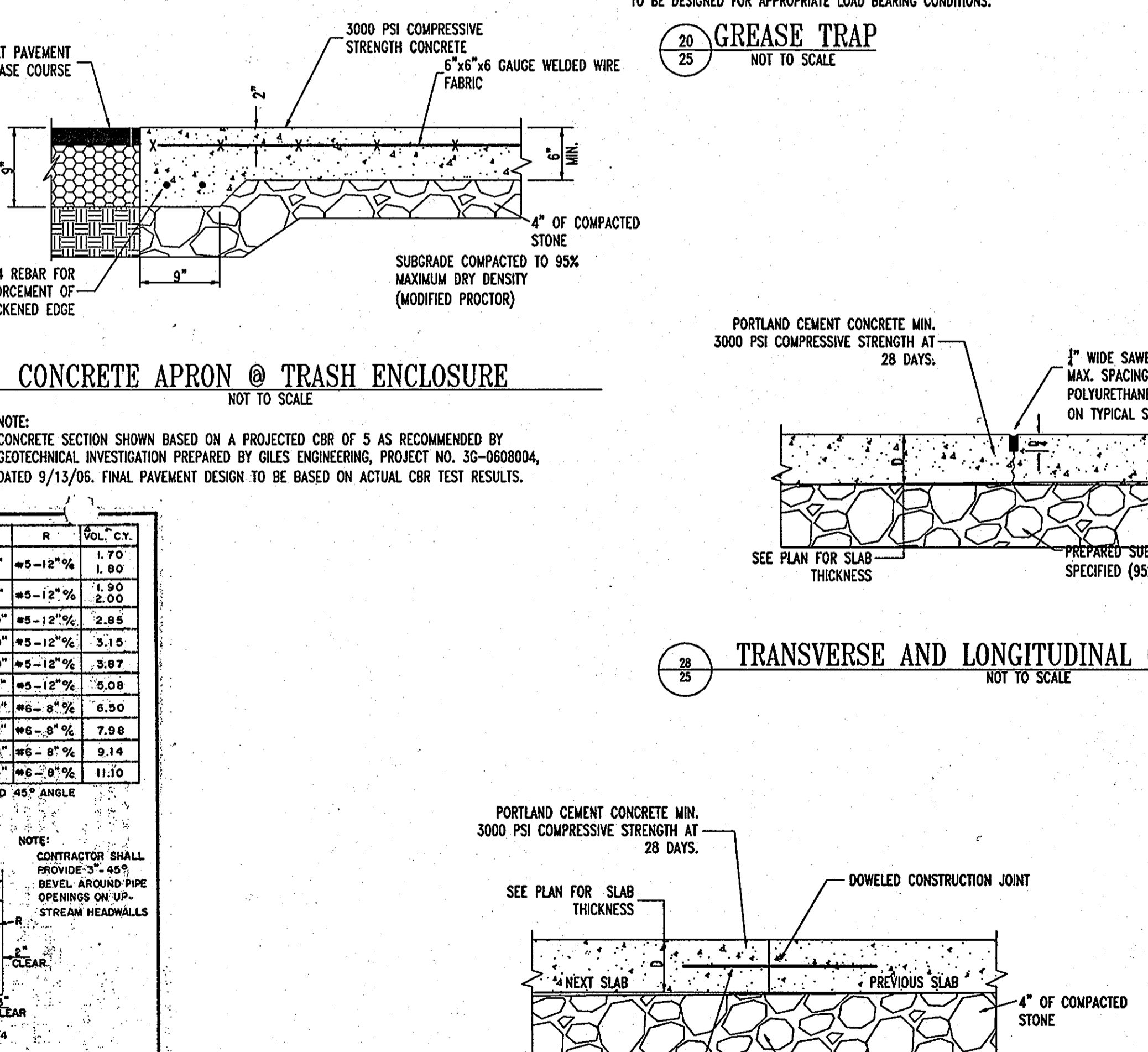
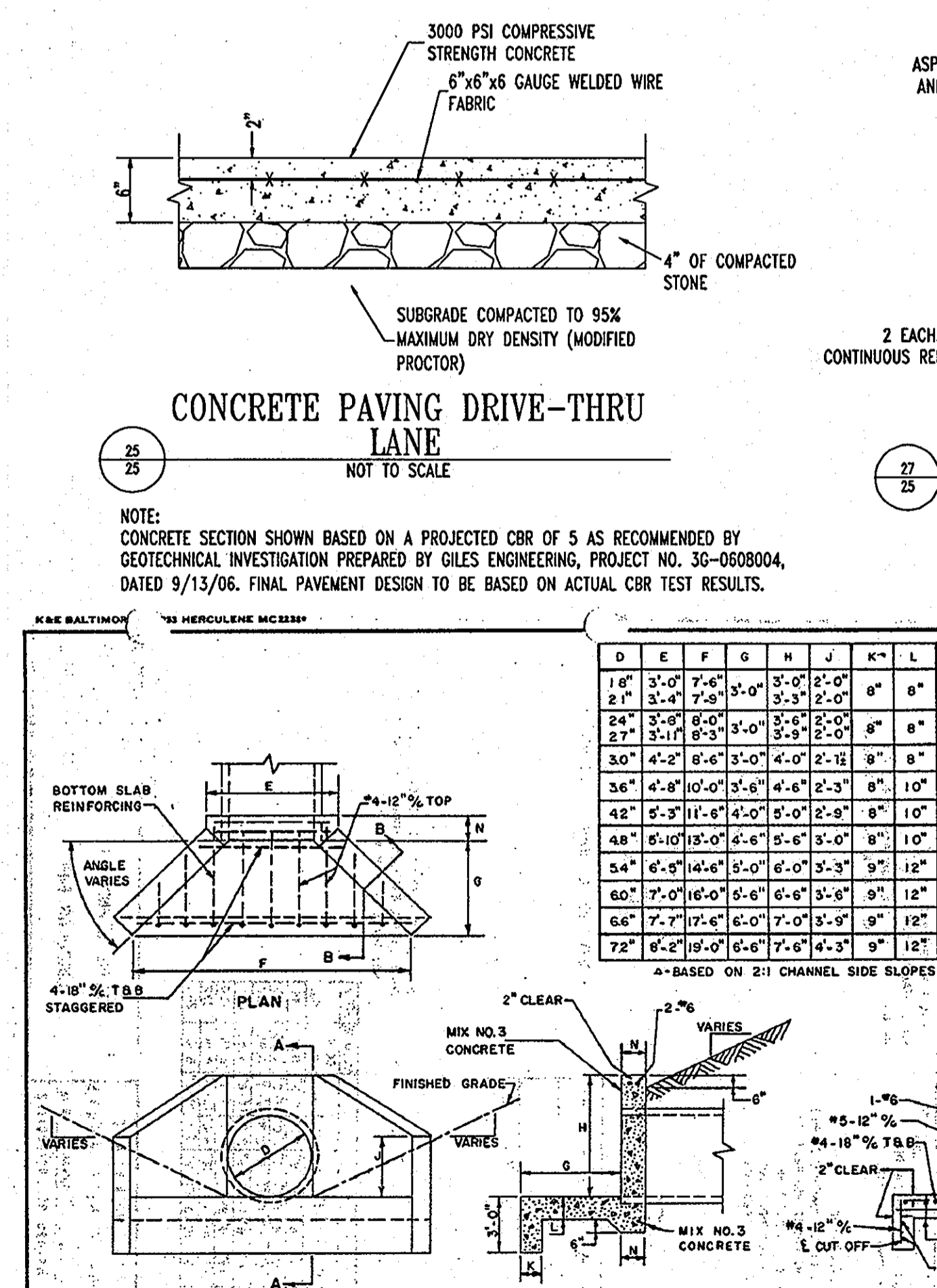
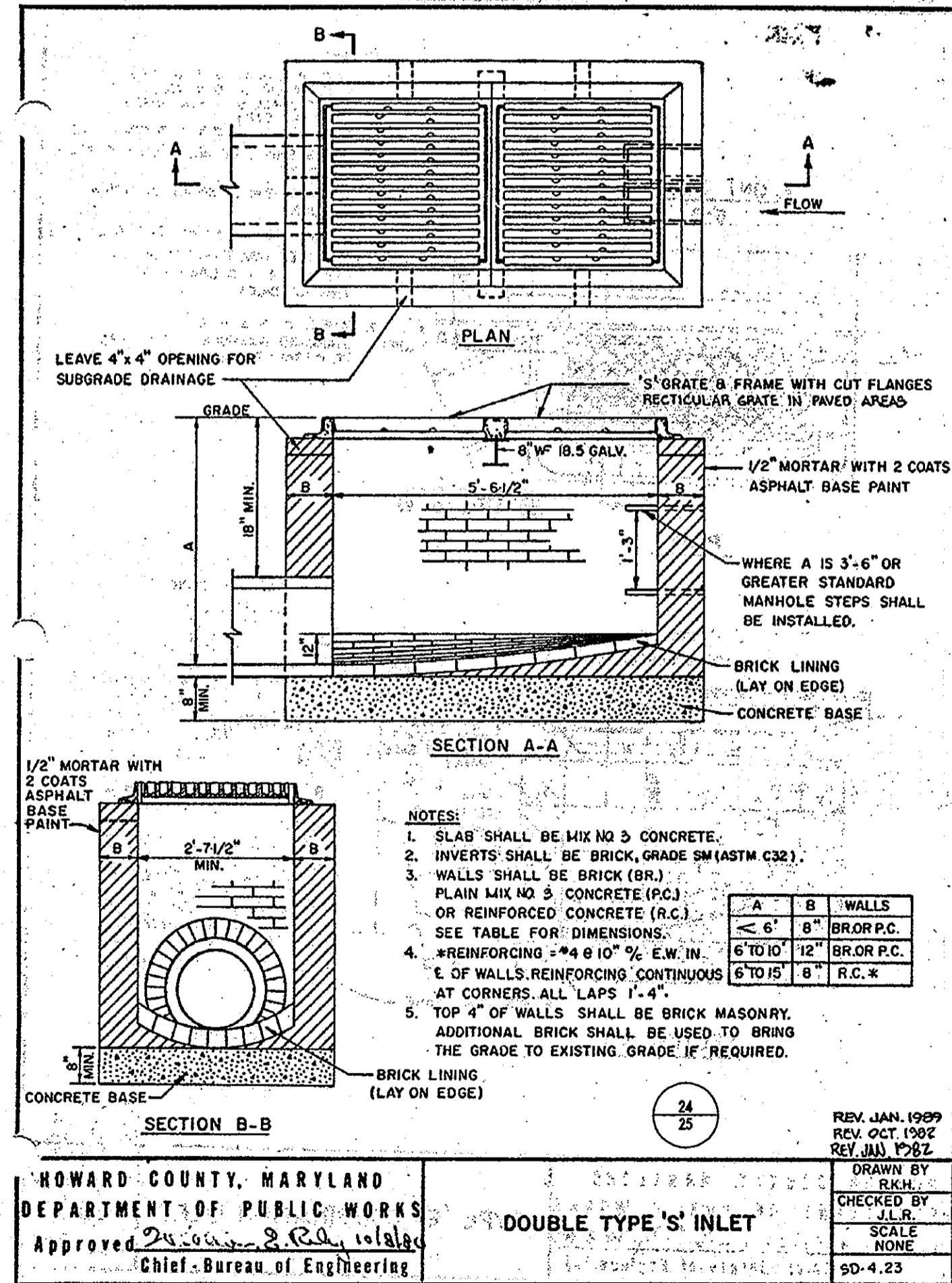
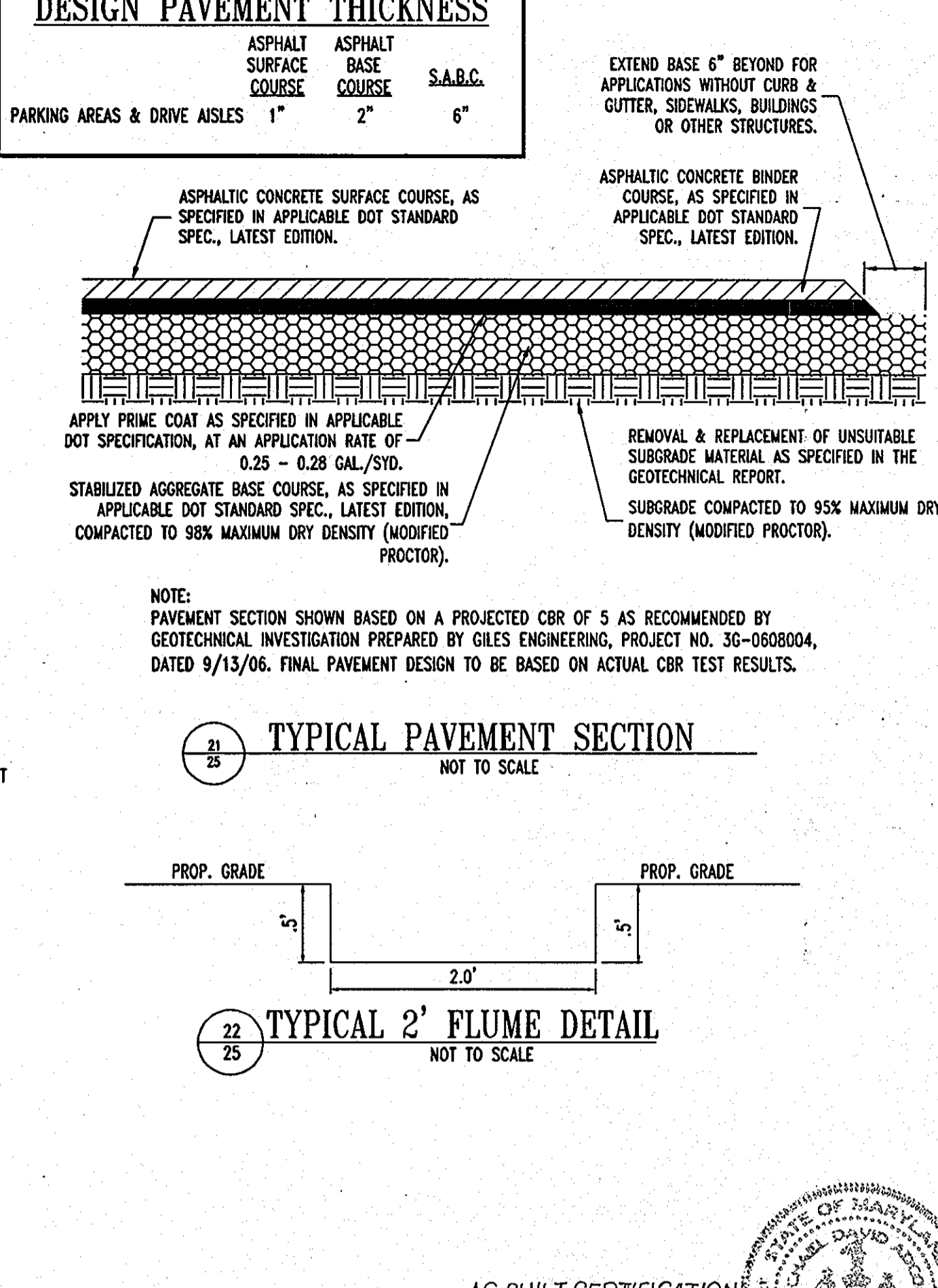
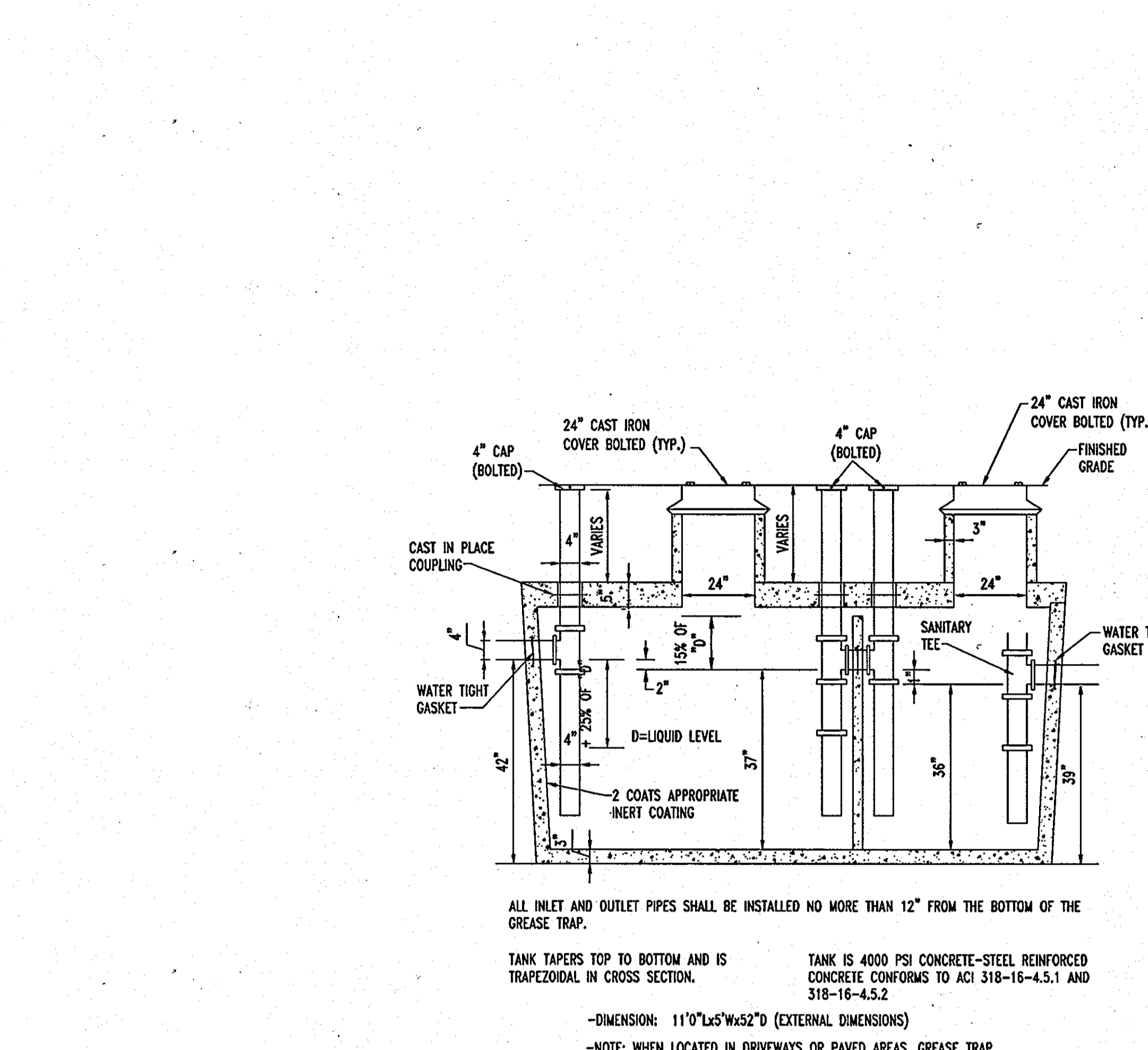
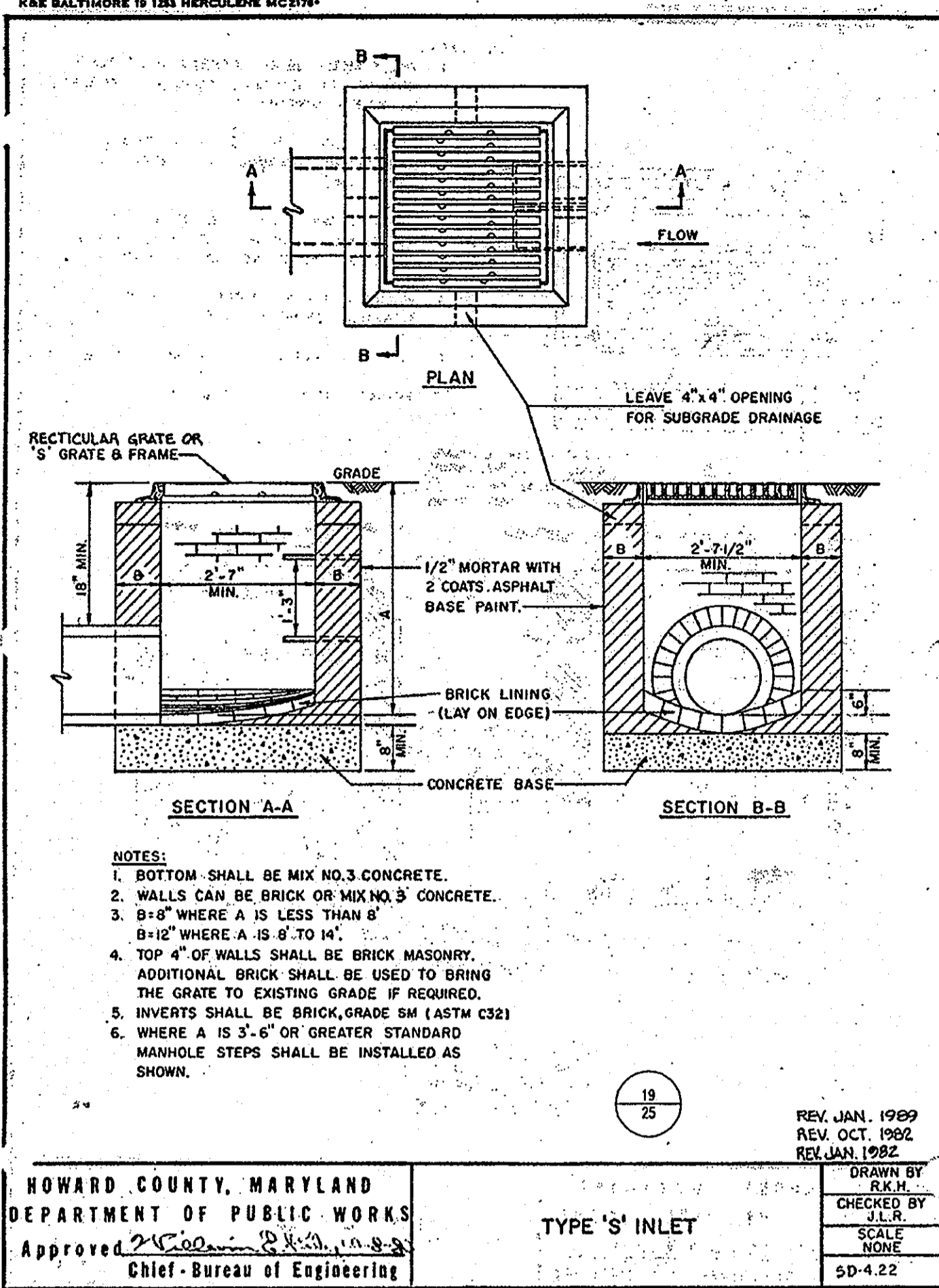
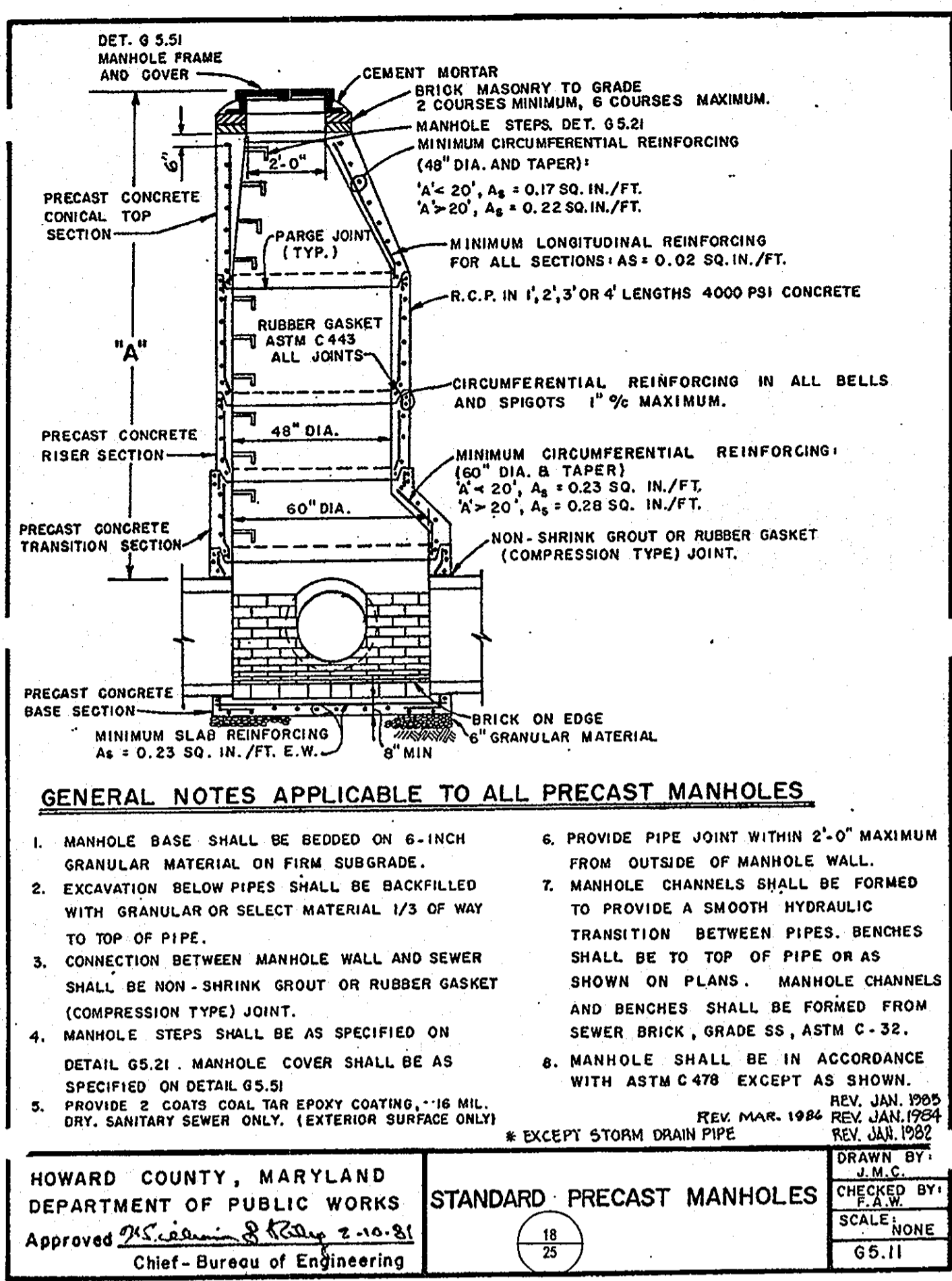


BEFORE YOU DIG CALL 1-800-251-7771 PROTECT YOURSELF. GIVE TWO WORKING DAYS NOTICE

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THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.





**HOWARD COUNTY, MARYLAND DEPARTMENT OF PUBLIC WORKS**

Approved: *[Signature]* Chief-Bureau of Engineering

SCALE: NONE

SD-4.23

**GENERAL NOTE:**  
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**HOWARD COUNTY, MARYLAND DEPARTMENT OF PUBLIC WORKS**

Approved: *[Signature]* Chief-Bur. of Eng. Date: \_\_\_\_\_

SCALE: NONE

SD-5.11

**TYPE 'A' HEADWALL CIRCULAR**

**HOWARD COUNTY, MARYLAND DEPARTMENT OF PUBLIC WORKS**

Approved: *[Signature]* Chief-Bur. of Eng. Date: \_\_\_\_\_

SCALE: NONE

SD-5.11

**TYPE 'A' HEADWALL CIRCULAR**

**AS-BUILT CERTIFICATION**

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

*[Signature]* 9/15/2013 DATE

MICHAEL D. ADCOCK, PROFESSIONAL LAND SURVEYOR  
 MD REG. NO. 21257, EXPIRATION DATE 06-14-19

**AS-BUILT**

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*[Signature]* 7/19/07 DATE

CHEF-DEVELOPMENT ENGINEERING DIVISION

*[Signature]* 8/9/07 DATE

CHEF-DIVISION & LAND DEVELOPMENT

*[Signature]* 8/6/07 DATE

DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.

*[Signature]* 8/2/07 DATE

COUNTY HEALTH OFFICER  
 HOWARD COUNTY HEALTH DEPARTMENT

NO. DATE REVISION DESCRIPTION

OWNER: HOPKINS STATION GENERAL PARTNERSHIP  
 C/O BRANTLY DEVELOPMENT GROUP  
 8835 COLUMBIA  
 100 PARKWAY, SUITE P  
 COLUMBIA, MD 21046  
 PHONE: (410) 730-0810

DEVELOPER: CHECK-FIL-A  
 5200 BUFFINGTON ROAD  
 ATLANTA, GA 30349-2998  
 C/O SCOTT PATMAN  
 LAUREL, HOWARD COUNTY, MARYLAND  
 PHONE: (404) 684-8660

CHECK-FIL-A RESTAURANT & GENERAL OFFICE/RETAIL BUILDING  
 PART OF LOT 1, HOPKINS STATION (FORMER FARM; LOT1)  
 JOHNS HOPKINS ROAD  
 LAUREL, HOWARD COUNTY, MARYLAND

AREA 3.59 AC. TAX MAP 41 GRID 22 ZONED B-2  
 PARCEL 425 L 3,095, F. 39 & L 7,004, F. 653  
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

**BOHLER ENGINEERING, P.C.**

PROFESSIONAL ENGINEERING SERVICES  
 410 GLENHARLES COURT, SUITE 300, TOWSON, MD 21286  
 (410) 251-7777  
 www.bohlereng.com

REVISION: 12/15/06

DESIGNED BY: JD

DRAWN BY: RLB

PROJECT NO.: MD056502.1

DATE: 9/28/06

SCALE: AS SHOWN

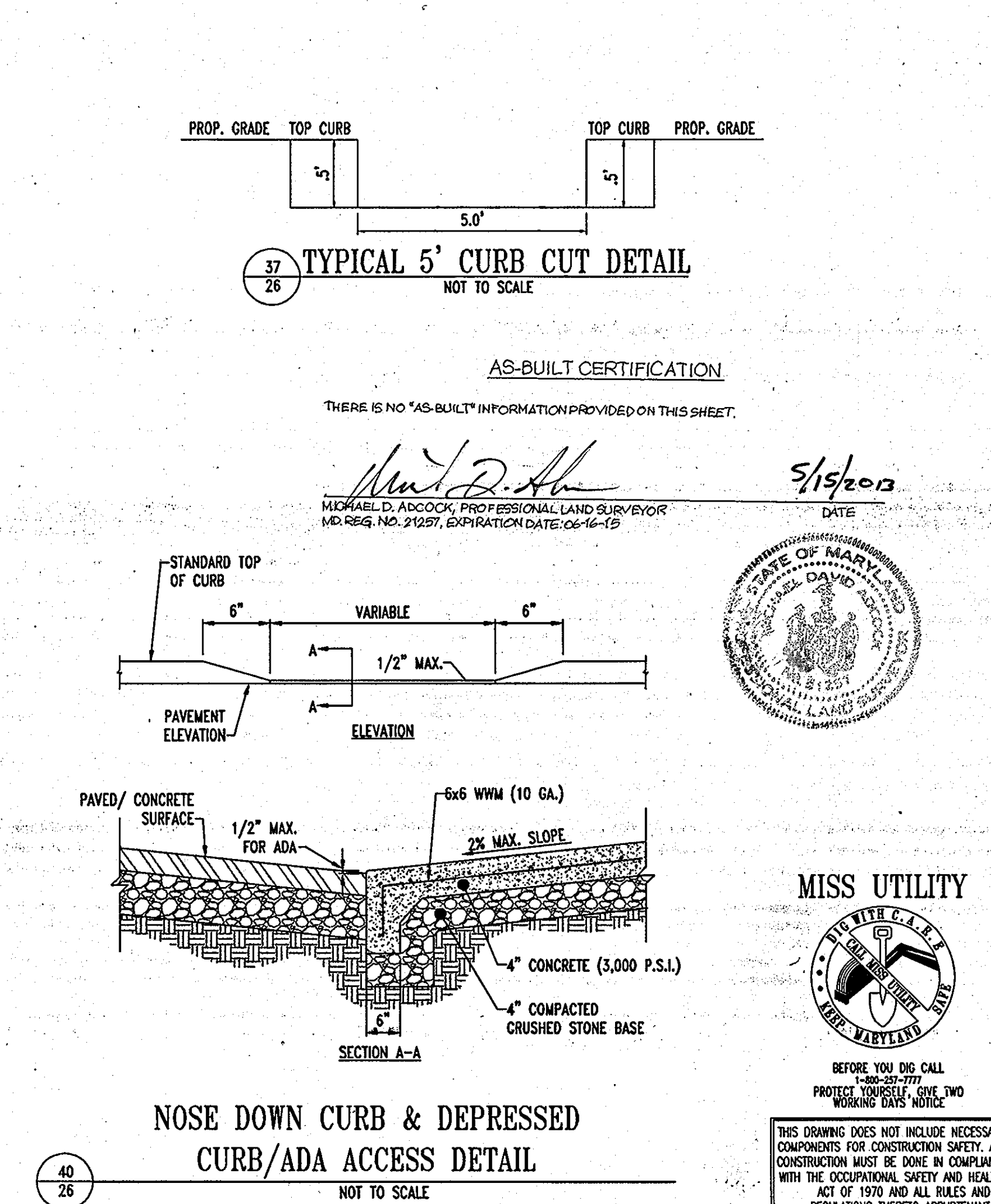
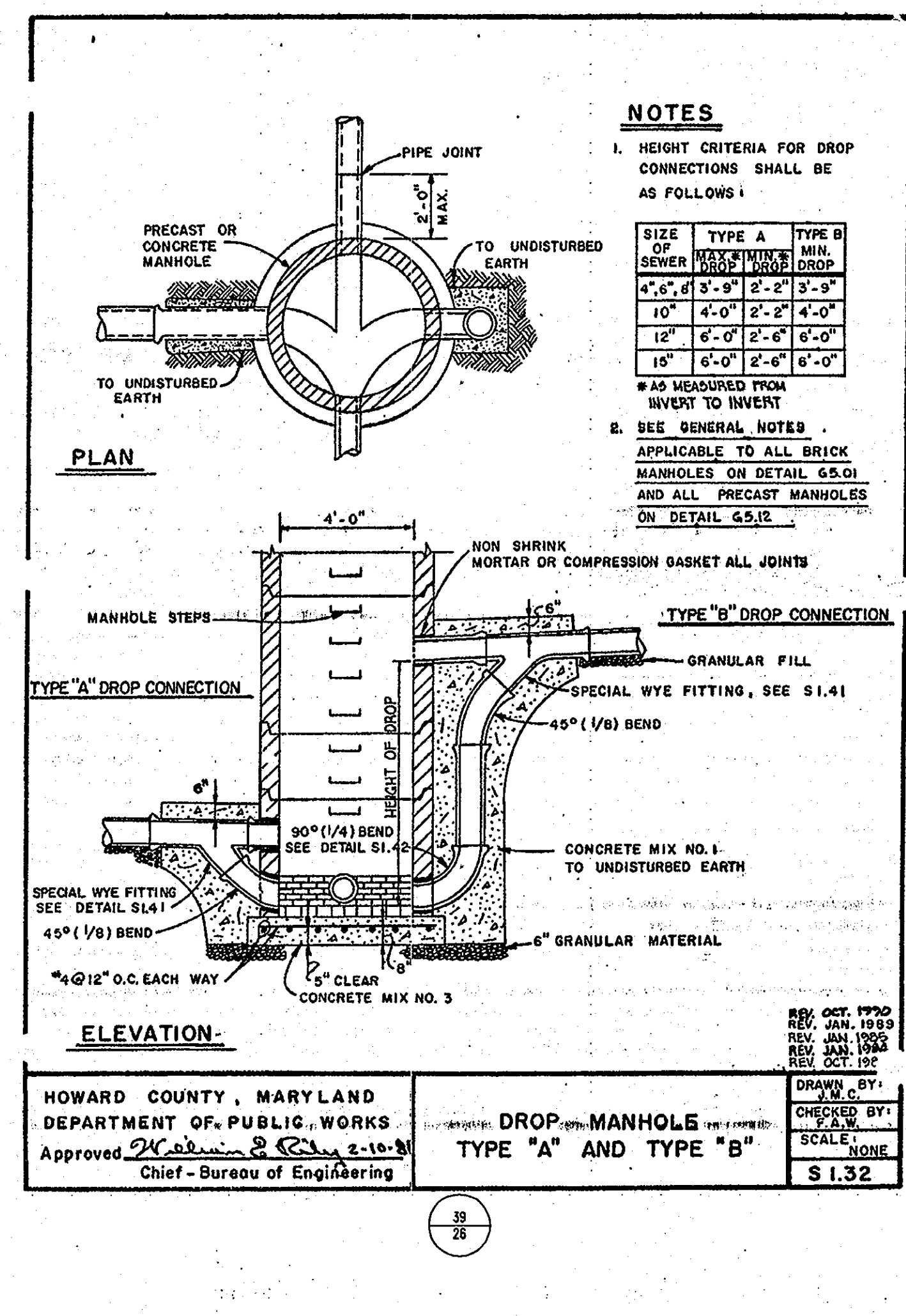
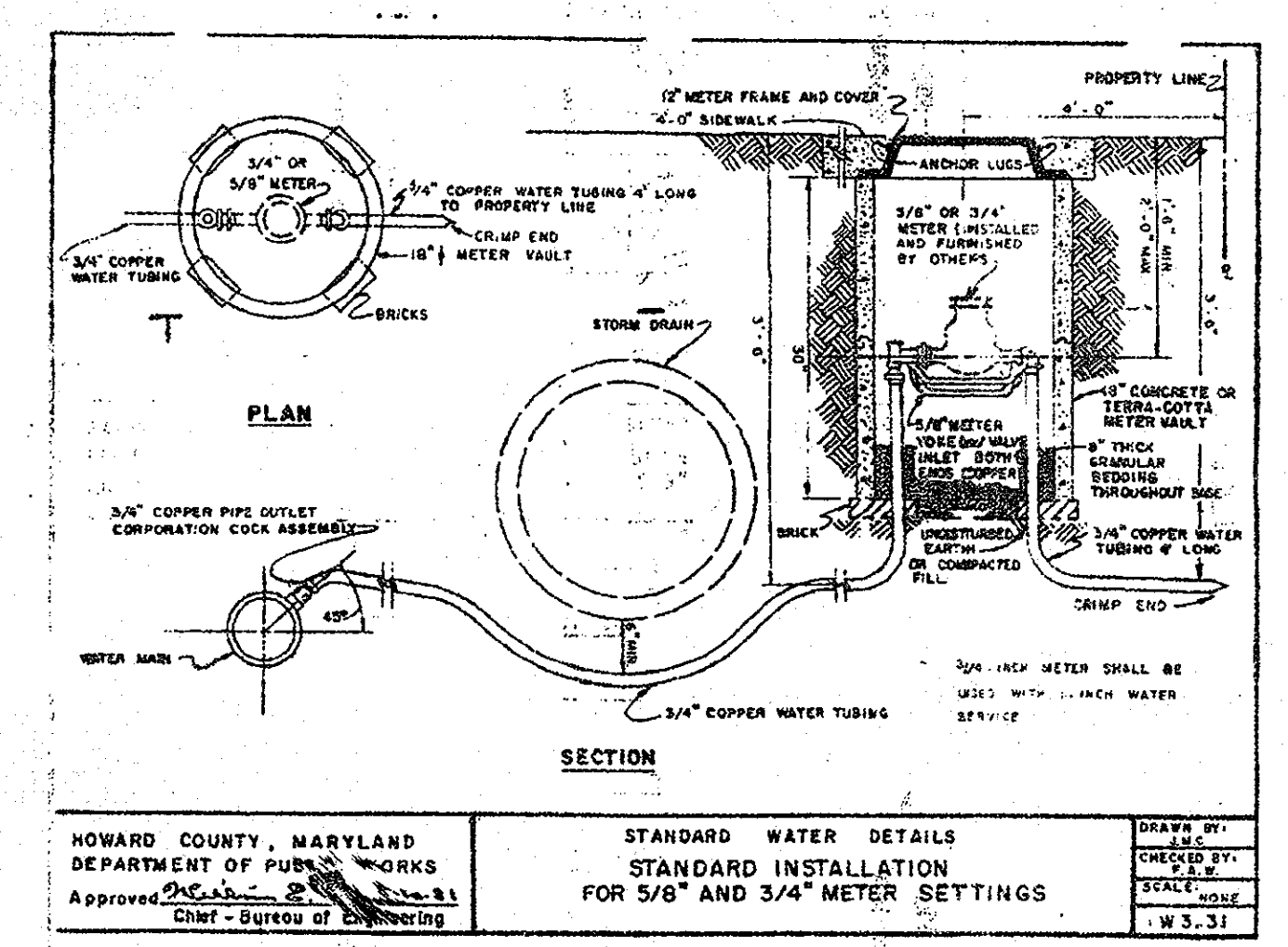
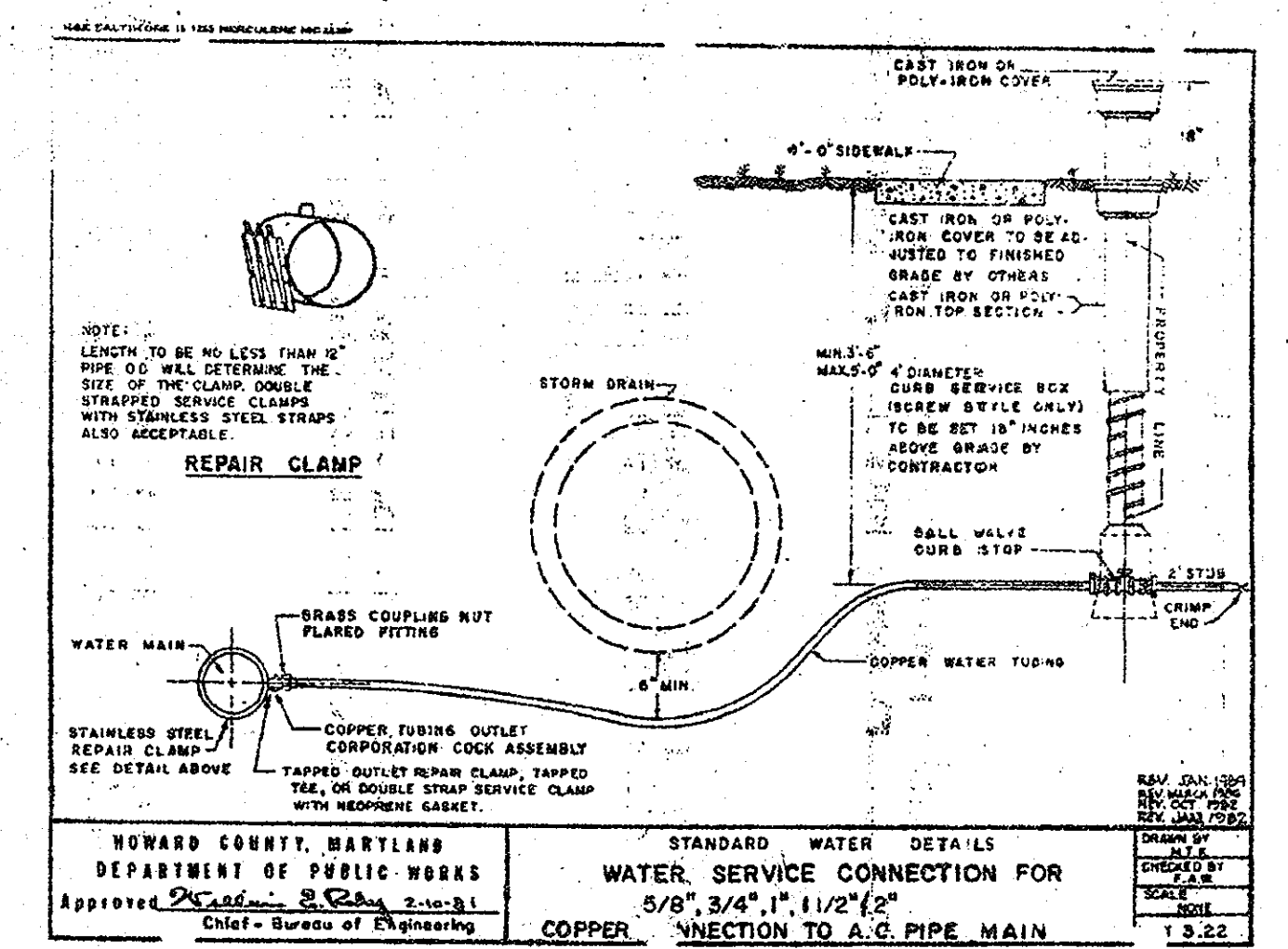
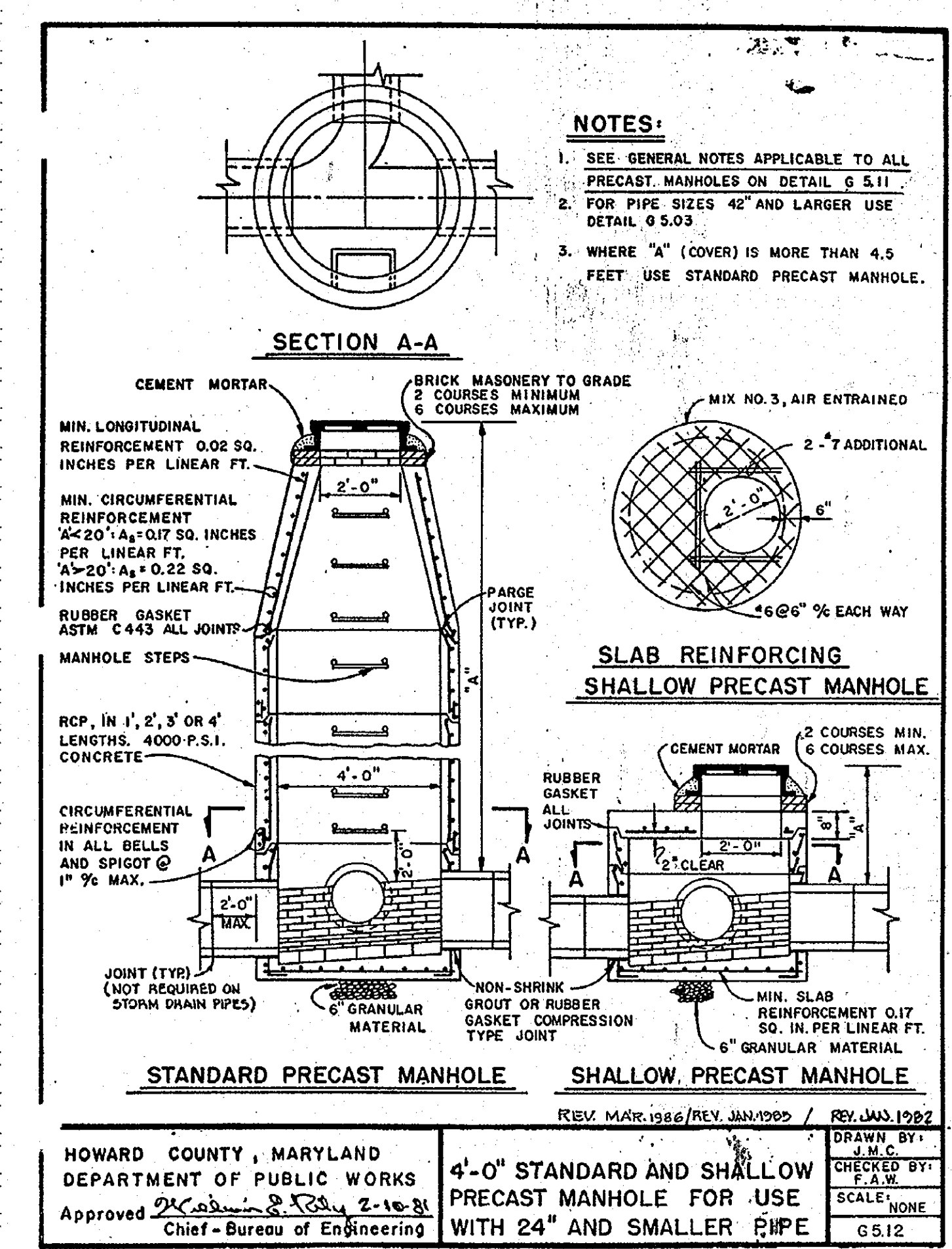
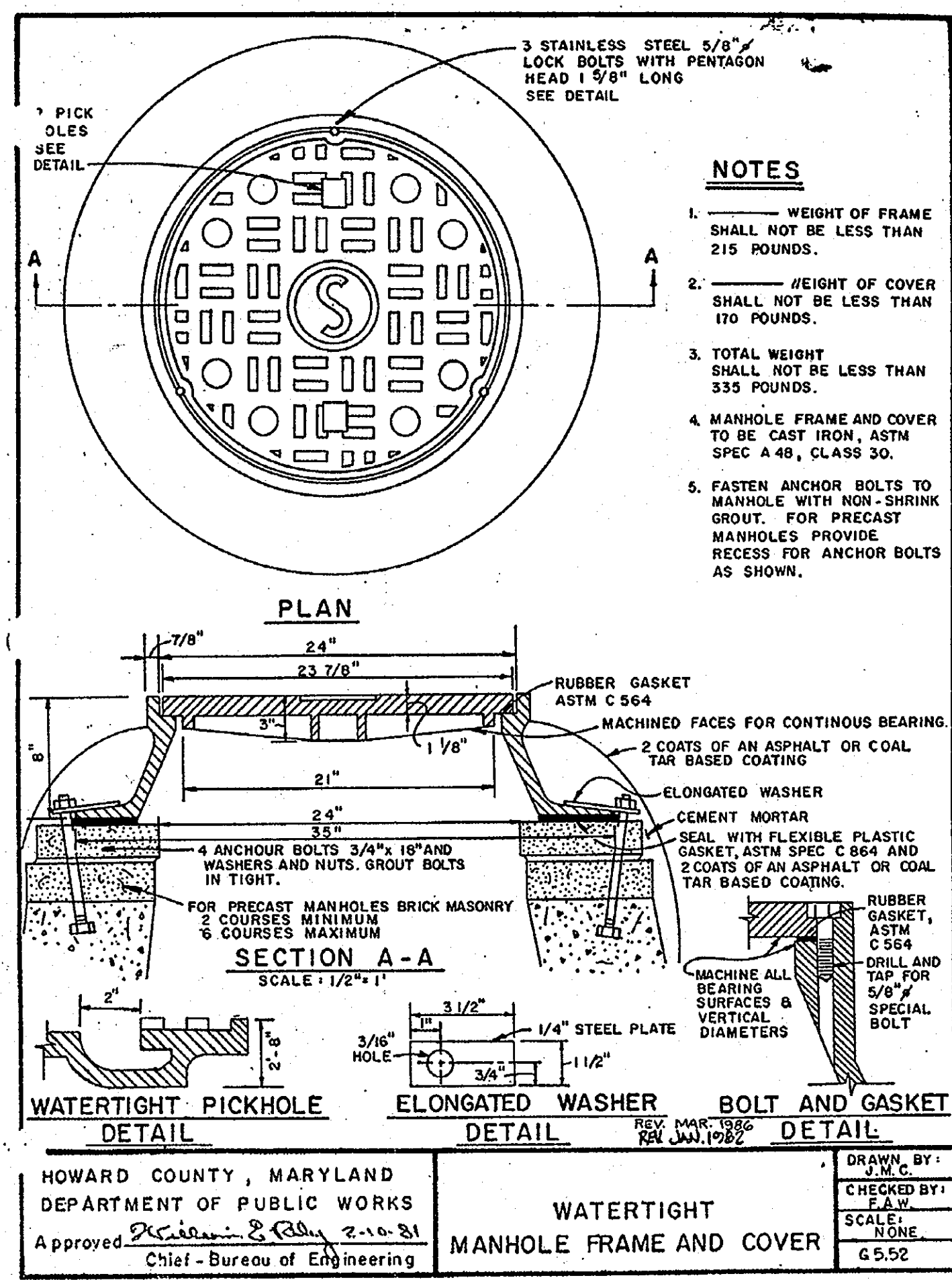
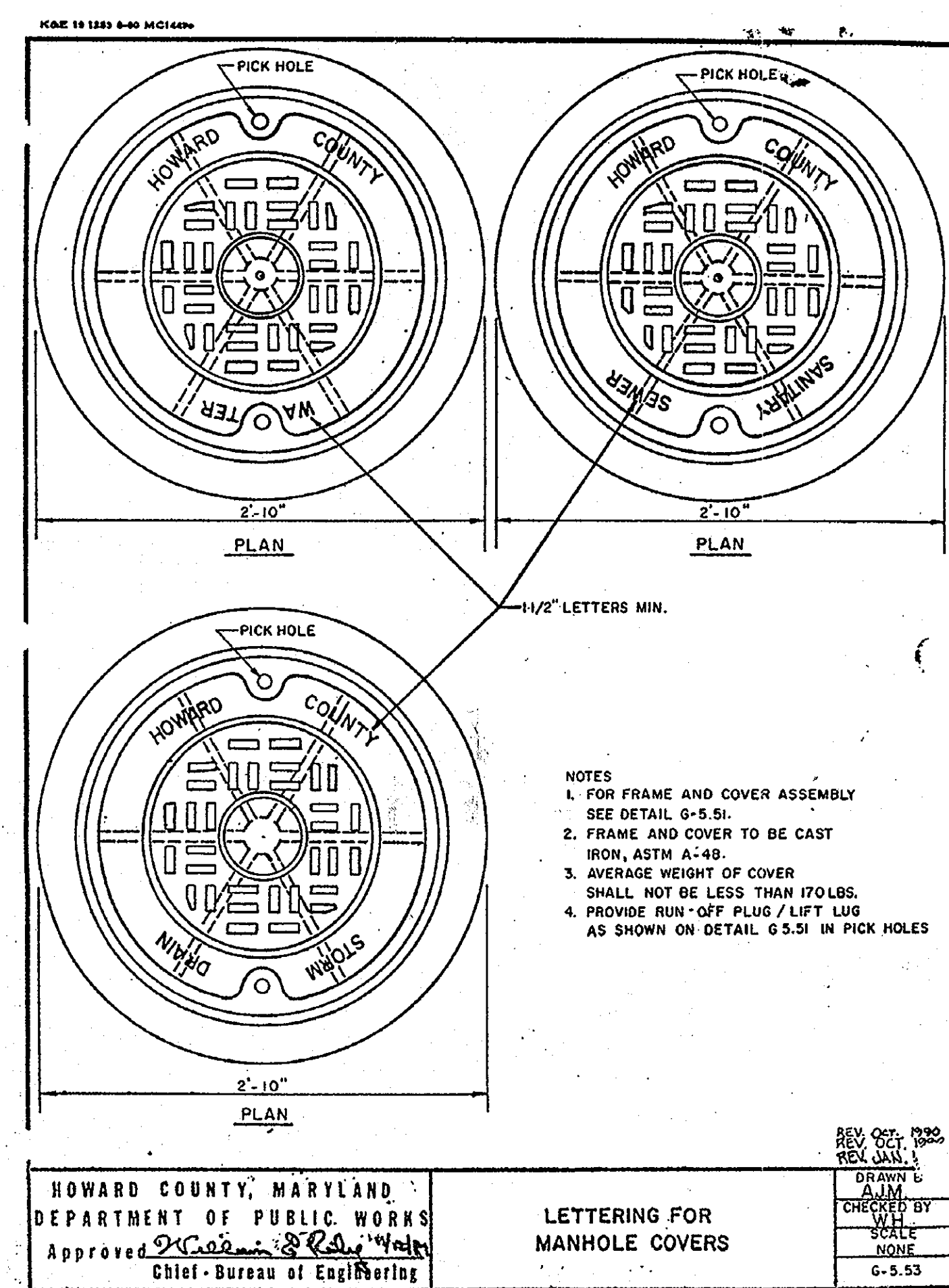
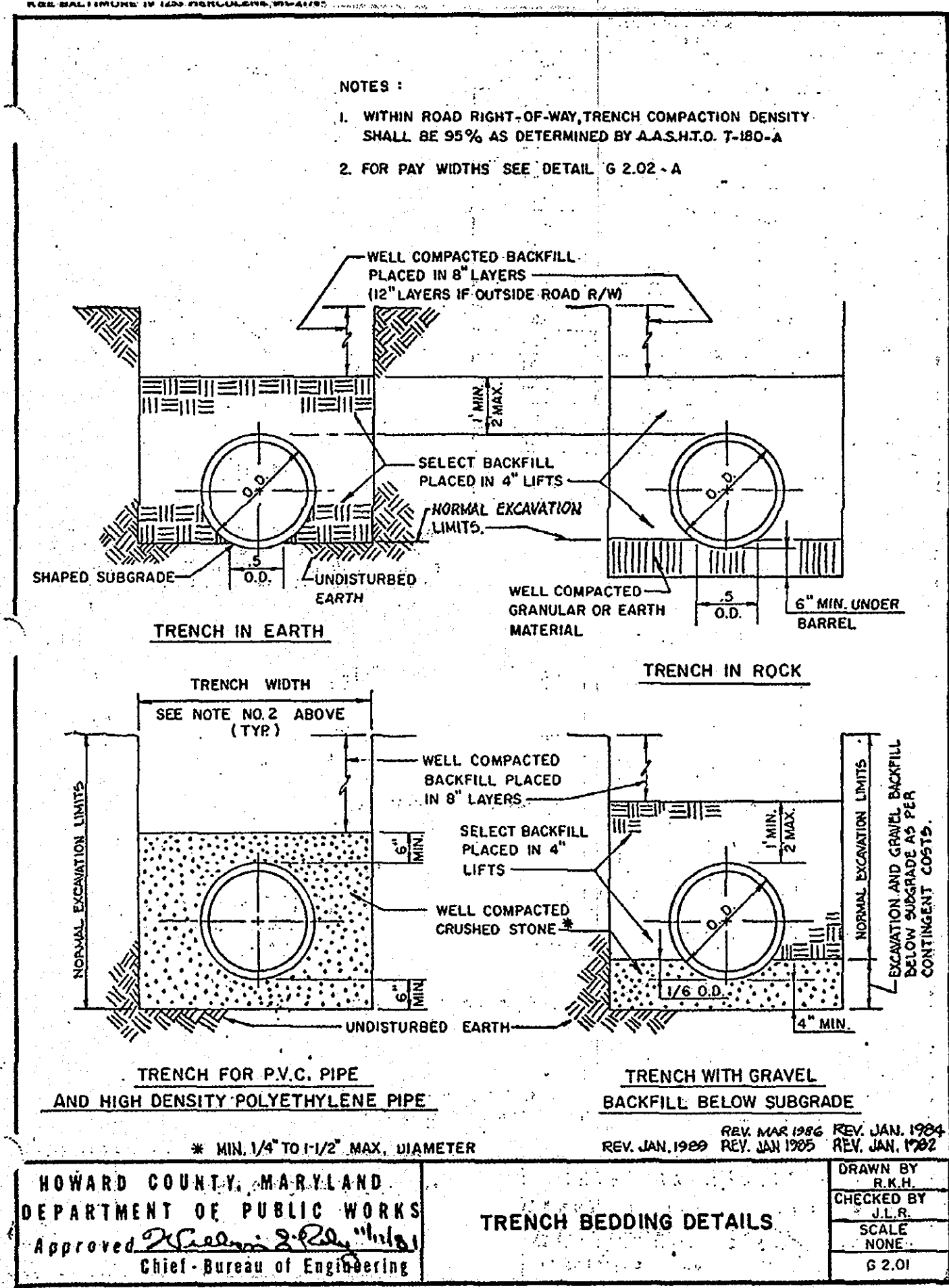
DRAWING NO. 25 OF 28

PROFESSIONAL ENGINEER NO. 28567

BEFORE YOU DO CALL MISS UTILITY TO LOCATE ALL UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERE TO APPURTENANT.

SDP # 07-033



**AS-BUILT**

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*[Signature]* 7/10/10  
CHIEF-DEVELOPMENT ENGINEERING DIVISION DATE

*[Signature]* 5/31/10  
CHIEF-DIVISION & LAND DEVELOPMENT DATE

*[Signature]* 8/26/12  
DIRECTOR DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.

*[Signature]* 8/17/14  
COUNTY HEALTH OFFICER DATE  
HOWARD COUNTY HEALTH DEPARTMENT

NO.	DATE	REVISION DESCRIPTION
2	7/21/05	IRRIGATION LINE & CFA SERVICE YARD REVISIONS

OWNER: HOPKINS STATION GENERAL PARTNERSHIP  
C/O BRANTLY DEVELOPMENT GROUP  
100 FARWELL, SUITE P  
COLUMBIA, MD 21045  
PHONE: (410) 750-0810

DEVELOPER: CHICK-FIL-A  
5200 BUFFINGTON ROAD  
ATLANTA, GA 30349-2998  
C/O SCOTT PATMAN  
COLUMBIA, MD 21045  
PHONE: (404) 684-8860

CHECK-FIL-A RESTAURANT & GENERAL OFFICE/RETAIL BUILDING  
PART OF LOT 1, HOPKINS STATION (FORMER PRICE FARMS, LOT 1)  
JOHN HOPKINS ROAD  
LAUREL, HOWARD COUNTY, MARYLAND

AREA 3.59 AC. TAX MAP 41 GRID 22 ZONED B-2  
PARCEL 425 L 3.095, F. 39 & L 7004, F. 653  
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

**SITE DETAILS**

**BOHLER ENGINEERING, P.C.**

PROFESSIONAL ENGINEERING SERVICES  
4810 GLENDALEWOOD COURT, SUITE 600, TOWSON, MD 21286  
(410) 821-7900 FAX (410) 821-7967

DESIGNED BY: JD  
DRAWN BY: RLB  
PROJECT NO.: W0056502.1  
DATE: 9/28/06  
SCALE: AS SHOWN  
DRAWING NO.: 26 OF 28

SDP # 07-033

M:\03\Conc-11-3\W0056502.1\SDS.dwg, 7/19/2007 9:00:48 AM, rjg

RECORD OF SUBSURFACE EXPLORATION	
BORING NO. & LOCATION: 1 - Northwest Building Corner	PROJECT: Proposed Chick-fil-A Restaurant
DATE OF EXPLORATION: 8/20/09	PROJECT LOCATION: 10985 Johns Hopkins Road
COMPLETION DATE: 8/20/09	COLUMBIA, MARYLAND
FIELD REPRESENTATIVE: Mike Kroszka	GILES PROJECT NUMBER: 3G-000004
<b>GILES ENGINEERING ASSOCIATES, INC.</b> Milwaukee, Los Angeles Madison, Dallas, Atlanta Washington, D.C.	
MATERIAL DESCRIPTION	
1 1/2" Red-Brown Silty Fine Sand, trace Organic Matter (See Remarks) (Topsoil) - Moist	13 BOL
Orange-Red to Red Micaceous Silty Fine Sand - Moist	17 BOL
Rock Fragments from 4 feet to 8 1/2 feet	13 BOL
Rock Fragments from 8 feet to 10 1/2 feet	14 BOL
Boring terminated at 16 feet	
WATER OBSERVATION DATA	
WATER ENCOUNTERED DURING DRILLING: None	REMARKS: 76-value elevated due to rock fragments
WATER LEVEL AFTER REMOVAL: None	P200 - Parcel Passing No. 200 Gove
CAVE DEPTH AFTER REMOVAL: 10.0 ft.	
WATER LEVEL AFTER REMOVAL: None	
CAVE DEPTH AFTER REMOVAL: None	

RECORD OF SUBSURFACE EXPLORATION	
BORING NO. & LOCATION: 2 - Southwest Building Corner	PROJECT: Proposed Chick-fil-A Restaurant
DATE OF EXPLORATION: 8/20/09	PROJECT LOCATION: 10985 Johns Hopkins Road
COMPLETION DATE: 8/20/09	COLUMBIA, MARYLAND
FIELD REPRESENTATIVE: Mike Kroszka	GILES PROJECT NUMBER: 3G-000004
<b>GILES ENGINEERING ASSOCIATES, INC.</b> Milwaukee, Los Angeles Madison, Dallas, Atlanta Washington, D.C.	
MATERIAL DESCRIPTION	
1 1/2" Red-Brown Silty Fine Sand, trace Organic Matter (See Remarks) (Topsoil) - Moist	13 BOL
Orange-Red to Red Micaceous Silty Fine Sand - Moist	17 BOL
Rock Fragments from 4 feet to 8 1/2 feet	13 BOL
Rock Fragments from 8 feet to 10 1/2 feet	14 BOL
Boring terminated at 16 feet	
WATER OBSERVATION DATA	
WATER ENCOUNTERED DURING DRILLING: None	REMARKS: 76-value elevated due to rock fragments
WATER LEVEL AFTER REMOVAL: None	P200 - Parcel Passing No. 200 Gove
CAVE DEPTH AFTER REMOVAL: 10.0 ft.	
WATER LEVEL AFTER REMOVAL: None	
CAVE DEPTH AFTER REMOVAL: None	

RECORD OF SUBSURFACE EXPLORATION	
BORING NO. & LOCATION: 3 - Southeast Building Corner	PROJECT: Proposed Chick-fil-A Restaurant
DATE OF EXPLORATION: 8/20/09	PROJECT LOCATION: 10985 Johns Hopkins Road
COMPLETION DATE: 8/20/09	COLUMBIA, MARYLAND
FIELD REPRESENTATIVE: Mike Kroszka	GILES PROJECT NUMBER: 3G-000004
<b>GILES ENGINEERING ASSOCIATES, INC.</b> Milwaukee, Los Angeles Madison, Dallas, Atlanta Washington, D.C.	
MATERIAL DESCRIPTION	
1 1/2" Red-Brown Silty Fine Sand, trace Organic Matter (See Remarks) (Topsoil) - Moist	13 BOL
Orange-Red to Red Micaceous Silty Fine Sand - Moist	17 BOL
Rock Fragments from 8 feet to 11 1/2 feet	13 BOL
Light Brown, Red Micaceous Silty Fine to medium Sand (Possible Weathered Bedrock) - Moist	15 BOL
Boring terminated at 16 feet	
WATER OBSERVATION DATA	
WATER ENCOUNTERED DURING DRILLING: None	REMARKS: 76-value elevated due to rock fragments
WATER LEVEL AFTER REMOVAL: None	P200 - Parcel Passing No. 200 Gove
CAVE DEPTH AFTER REMOVAL: 10.0 ft.	
WATER LEVEL AFTER REMOVAL: None	
CAVE DEPTH AFTER REMOVAL: None	

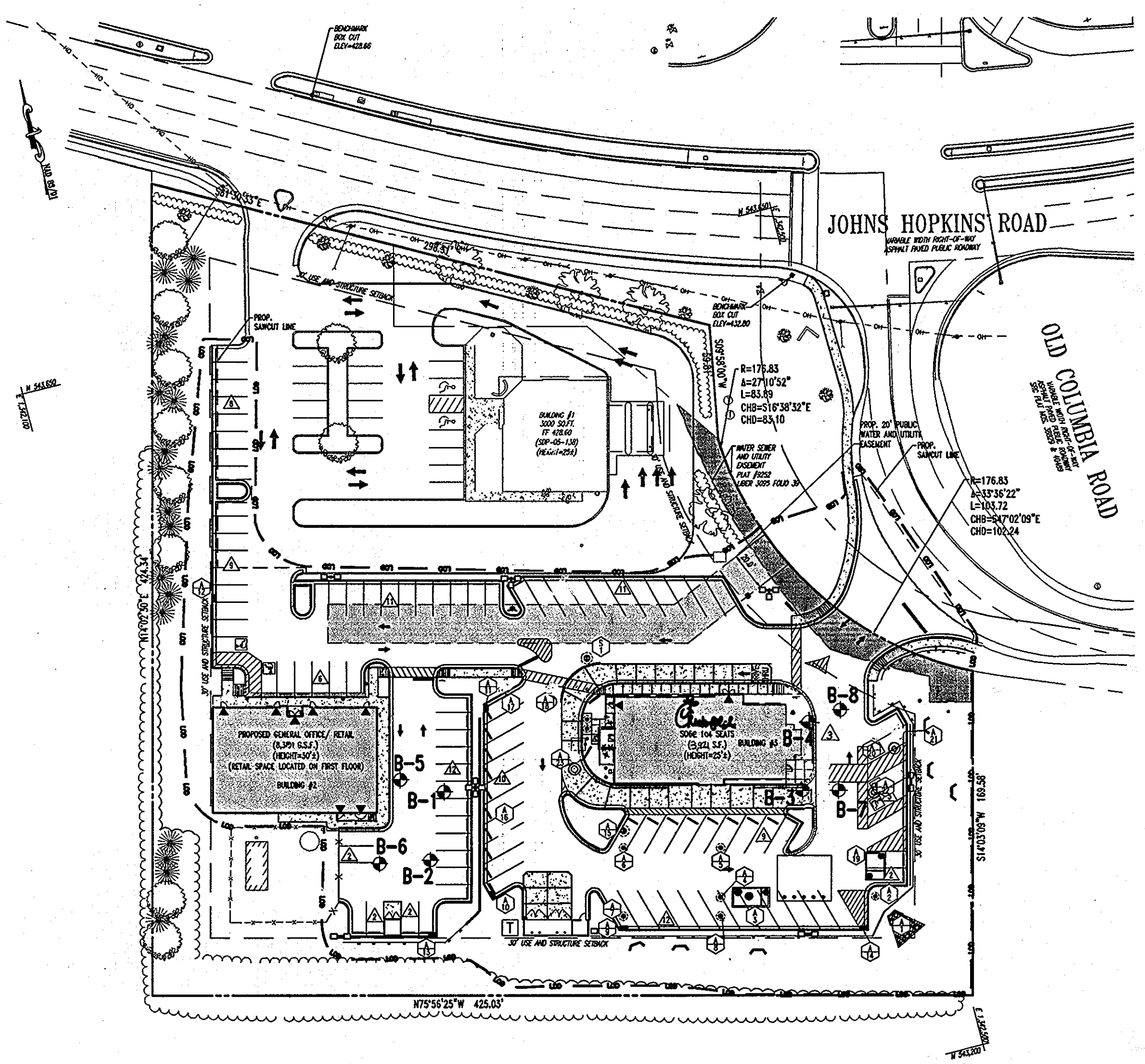
RECORD OF SUBSURFACE EXPLORATION	
BORING NO. & LOCATION: 4 - Northwest Building Corner	PROJECT: Proposed Chick-fil-A Restaurant
DATE OF EXPLORATION: 8/20/09	PROJECT LOCATION: 10985 Johns Hopkins Road
COMPLETION DATE: 8/20/09	COLUMBIA, MARYLAND
FIELD REPRESENTATIVE: Mike Kroszka	GILES PROJECT NUMBER: 3G-000004
<b>GILES ENGINEERING ASSOCIATES, INC.</b> Milwaukee, Los Angeles Madison, Dallas, Atlanta Washington, D.C.	
MATERIAL DESCRIPTION	
1 1/2" Red-Brown Silty Fine Sand, trace Organic Matter (See Remarks) (Topsoil) - Moist	13 BOL
Orange-Red to Red Micaceous Silty Fine to medium Sand - Moist	17 BOL
Boring terminated at 16 feet	
WATER OBSERVATION DATA	
WATER ENCOUNTERED DURING DRILLING: None	REMARKS: 76-value elevated due to rock fragments
WATER LEVEL AFTER REMOVAL: None	P200 - Parcel Passing No. 200 Gove
CAVE DEPTH AFTER REMOVAL: 10.0 ft.	
WATER LEVEL AFTER REMOVAL: None	
CAVE DEPTH AFTER REMOVAL: None	

RECORD OF SUBSURFACE EXPLORATION	
BORING NO. & LOCATION: 5 - Northwest Perimeter	PROJECT: Proposed Chick-fil-A Restaurant
DATE OF EXPLORATION: 8/20/09	PROJECT LOCATION: 10985 Johns Hopkins Road
COMPLETION DATE: 8/20/09	COLUMBIA, MARYLAND
FIELD REPRESENTATIVE: Mike Kroszka	GILES PROJECT NUMBER: 3G-000004
<b>GILES ENGINEERING ASSOCIATES, INC.</b> Milwaukee, Los Angeles Madison, Dallas, Atlanta Washington, D.C.	
MATERIAL DESCRIPTION	
1 1/2" Red-Brown Silty Fine to medium Sand, trace Organic Matter (See Remarks) (Topsoil) - Moist	13 BOL
Orange-Red to Red Micaceous Silty Fine to medium Sand - Moist	17 BOL
Boring terminated at 6 feet	
WATER OBSERVATION DATA	
WATER ENCOUNTERED DURING DRILLING: None	REMARKS: 76-value elevated due to rock fragments
WATER LEVEL AFTER REMOVAL: None	P200 - Parcel Passing No. 200 Gove
CAVE DEPTH AFTER REMOVAL: 6.0 ft.	
WATER LEVEL AFTER REMOVAL: None	
CAVE DEPTH AFTER REMOVAL: None	

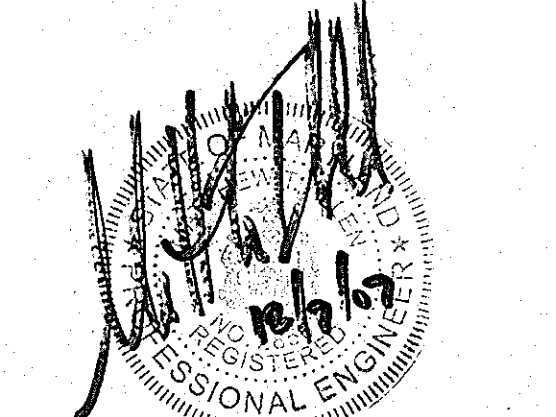
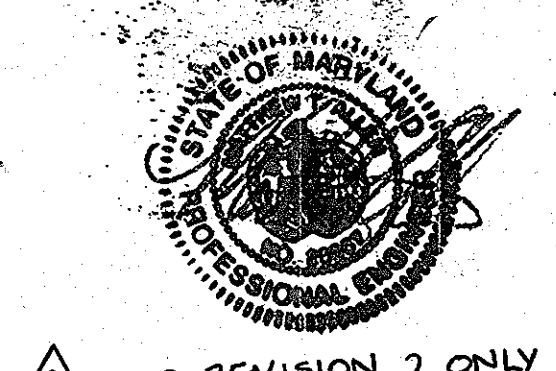
RECORD OF SUBSURFACE EXPLORATION	
BORING NO. & LOCATION: 6 - Southwest Perimeter	PROJECT: Proposed Chick-fil-A Restaurant
DATE OF EXPLORATION: 8/20/09	PROJECT LOCATION: 10985 Johns Hopkins Road
COMPLETION DATE: 8/20/09	COLUMBIA, MARYLAND
FIELD REPRESENTATIVE: Mike Kroszka	GILES PROJECT NUMBER: 3G-000004
<b>GILES ENGINEERING ASSOCIATES, INC.</b> Milwaukee, Los Angeles Madison, Dallas, Atlanta Washington, D.C.	
MATERIAL DESCRIPTION	
1 1/2" Red-Brown Silty Fine to medium Sand, trace Organic Matter (See Remarks) (Topsoil) - Moist	13 BOL
Orange-Red to Red Micaceous Silty Fine to medium Sand - Moist	17 BOL
Cobbles/Boulders from 2 feet to 4 1/2 feet	14 BOL
Boring terminated at 6 feet	
WATER OBSERVATION DATA	
WATER ENCOUNTERED DURING DRILLING: None	REMARKS: 76-value elevated due to rock fragments
WATER LEVEL AFTER REMOVAL: None	P200 - Parcel Passing No. 200 Gove
CAVE DEPTH AFTER REMOVAL: 6.0 ft.	
WATER LEVEL AFTER REMOVAL: None	
CAVE DEPTH AFTER REMOVAL: None	

RECORD OF SUBSURFACE EXPLORATION	
BORING NO. & LOCATION: 7 - Southwest Perimeter	PROJECT: Proposed Chick-fil-A Restaurant
DATE OF EXPLORATION: 8/20/09	PROJECT LOCATION: 10985 Johns Hopkins Road
COMPLETION DATE: 8/20/09	COLUMBIA, MARYLAND
FIELD REPRESENTATIVE: Mike Kroszka	GILES PROJECT NUMBER: 3G-000004
<b>GILES ENGINEERING ASSOCIATES, INC.</b> Milwaukee, Los Angeles Madison, Dallas, Atlanta Washington, D.C.	
MATERIAL DESCRIPTION	
1 1/2" Red-Brown Silty Fine to medium Sand, trace Organic Matter (See Remarks) (Topsoil) - Moist	13 BOL
Orange-Red to Red Micaceous Silty Fine to medium Sand - Moist	17 BOL
Rock Fragments from 2 feet to 4 1/2 feet	14 BOL
Boring terminated at 6 feet	
WATER OBSERVATION DATA	
WATER ENCOUNTERED DURING DRILLING: None	REMARKS: 76-value elevated due to rock fragments
WATER LEVEL AFTER REMOVAL: None	P200 - Parcel Passing No. 200 Gove
CAVE DEPTH AFTER REMOVAL: 4.0 ft.	
WATER LEVEL AFTER REMOVAL: None	
CAVE DEPTH AFTER REMOVAL: None	

RECORD OF SUBSURFACE EXPLORATION	
BORING NO. & LOCATION: 8 - Northwest Perimeter	PROJECT: Proposed Chick-fil-A Restaurant
DATE OF EXPLORATION: 8/20/09	PROJECT LOCATION: 10985 Johns Hopkins Road
COMPLETION DATE: 8/20/09	COLUMBIA, MARYLAND
FIELD REPRESENTATIVE: Mike Kroszka	GILES PROJECT NUMBER: 3G-000004
<b>GILES ENGINEERING ASSOCIATES, INC.</b> Milwaukee, Los Angeles Madison, Dallas, Atlanta Washington, D.C.	
MATERIAL DESCRIPTION	
1 1/2" Red-Brown Silty Fine Sand, trace Organic Matter (See Remarks) (Topsoil) - Moist	13 BOL
Orange-Red to Red Micaceous Silty Fine Sand - Moist	17 BOL
Boring terminated at 6 feet	
WATER OBSERVATION DATA	
WATER ENCOUNTERED DURING DRILLING: None	REMARKS: 76-value elevated due to rock fragments
WATER LEVEL AFTER REMOVAL: None	P200 - Parcel Passing No. 200 Gove
CAVE DEPTH AFTER REMOVAL: 3.0 ft.	
WATER LEVEL AFTER REMOVAL: None	
CAVE DEPTH AFTER REMOVAL: None	



GENERAL NOTE:  
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY BOHLER ENGINEERING, P.C. IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY BOHLER ENGINEERING, P.C. SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND ALL FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.



FOR REVISION 1 ONLY

AS-BUILT

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 DEVELOPMENT ENGINEERING DIVISION  
 DATE: 7/19/10  
 DIRECTOR: [Signature] DATE: 8/13/09

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.  
 COUNTY HEALTH OFFICER  
 HOWARD COUNTY HEALTH DEPARTMENT  
 DATE: 8/27/09

NO. 1 DATE: 12/10/07  
 NO. 2 DATE: 12/10/07  
 NO. 3 DATE: 12/10/07

OWNER: HOWKINS STATION GENERAL PARTNERSHIP  
 C/O BRANTLY DEVELOPMENT GROUP  
 8835 COLUMBIA  
 100 PARKWAY, SUITE P  
 COLUMBIA, MD 21045  
 PHONE: (410) 730-0810

DEVELOPER: CHICK-FIL-A  
 5200 BUFFINGTON ROAD  
 ATLANTA, GA 30349-2998  
 C/O SCOTT PATMAN  
 PHONE: (404) 684-8660

CHICK-FIL-A RESTAURANT & GENERAL OFFICE/RETAIL BUILDING  
 PART OF LOT 1, HOWKINS STATION (FORMER PRICE FARMS, LOT1)  
 JOHNS HOPKINS ROAD  
 LAUREL, HOWARD COUNTY, MARYLAND

AREA 3.59 AC. TAX MAP 41 GRID 22 ZONED B-2  
 PARCEL 425 L. 3,095, F. 39 & L. 7004, F. 653  
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

SOIL BORING PLAN

**BOHLER ENGINEERING, P.C.**  
 \*PROFESSIONAL ENGINEERING SERVICES\*  
 #810 GLENAGLES COURT, SUITE 300, TOWSON, MD 21286  
 (410) 851-7900 FAX (410) 851-7917  
 BOHLERENGINEERING.COM

REVISION: 12/15/06  
 DESIGNED BY: JO  
 DRAWN BY: RLB  
 PROJECT NO.: M0056502.1  
 DATE: 9/28/06  
 SCALE: AS SHOWN  
 DRAWING NO. 27 OF 28  
 PROFESSIONAL ENGINEER NO. 28567

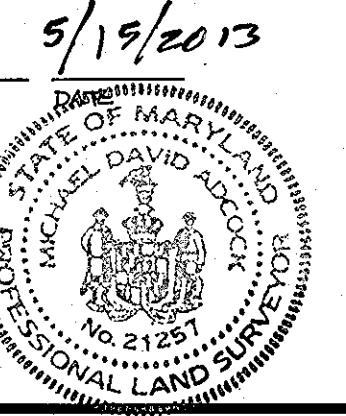


FOR REVISION 3 ONLY

AS-BUILT CERTIFICATION

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.

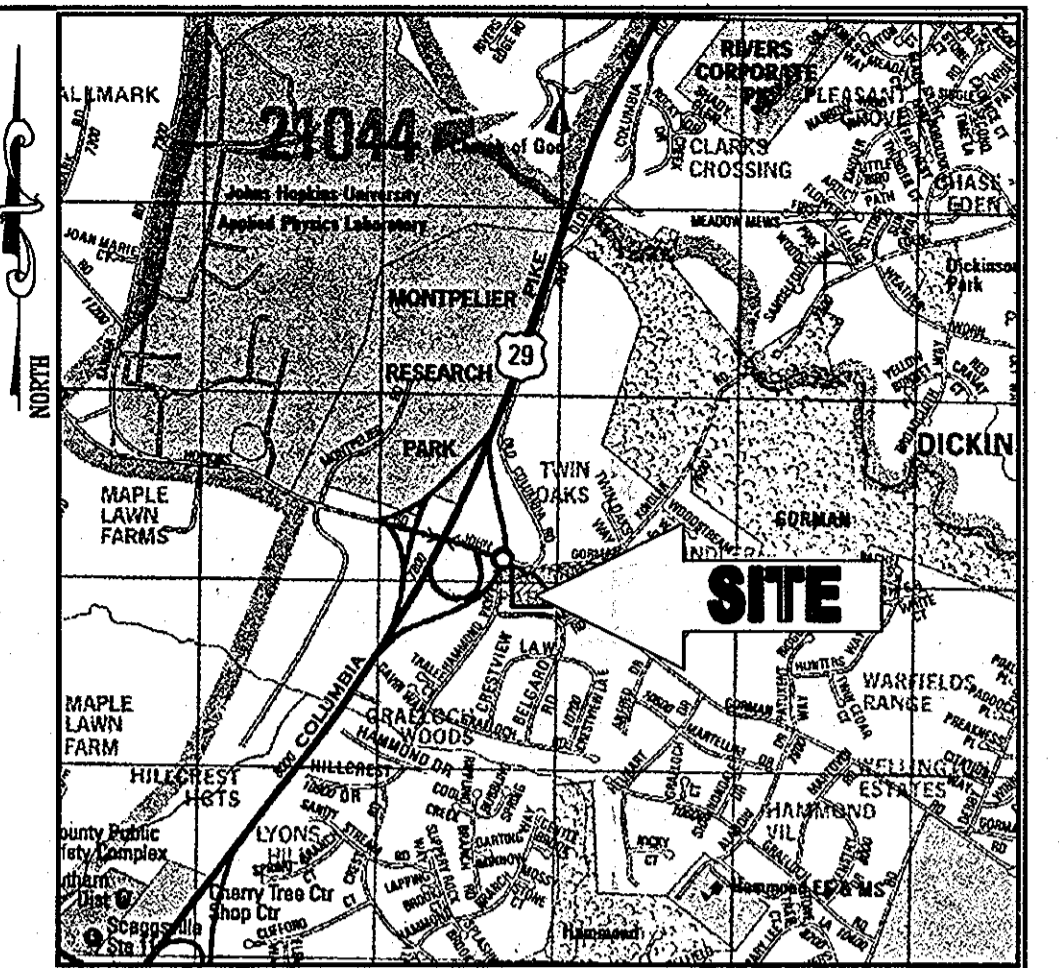
[Signature]  
 MICHAEL D. ADCOCK, PROFESSIONAL LAND SURVEYOR  
 MD, REG. NO. 21257, EXPIRATION DATE: 06-16-19



BEFORE YOU DIG CALL  
 1-800-252-7777  
 PROTECT YOURSELF - DYE TWO  
 WORKING DAYS NOTICE

THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREO APPURTENANT.

THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

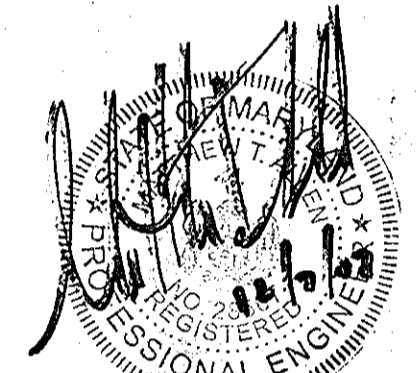


**LOCATION MAP**  
 COPYRIGHT ADC THE MAP PEOPLE  
 PERMIT USE NO. 20602153-5  
 SCALE: 1"=200'



FOR REVISION 3 ONLY

FOR REVISION 2 ONLY



FOR REVISION 1 ONLY

**SOIL TYPES**  
 ChB2 CHESTER SILT LOAM, 3-8% SLOPES  
 MODERATELY ERODED  
 G1C2 GLENELG LOAM, 8-15% SLOPES,  
 MODERATELY ERODED

**LEGEND**  
 --- SOILS DELINEATION  
 EKA SOILS TYPE  
 --- DRAINAGE DIVIDES  
 --- TC PATH  
 (B) DRAINAGE AREA LABEL

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS  
*John Meyer* 7/17/07  
 USA - NATURAL RESOURCES CONSERVATION SERVICE DATE  
 THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND  
 SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
*John K. Koster* 7/17/07  
 HOWARD SCD DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Matthew T. Allen* 7/19/07  
 CHIEF-DEVELOPMENT ENGINEERING DIVISION DATE  
*Wade Harvitt* 8/2/07  
 CHIEF-DIVISION & LAND DEVELOPMENT DATE  
*David S. Cayle* 8/6/07  
 DIRECTOR DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC  
 SEWERAGE SYSTEMS.  
*B. W. Pender* 8/2/07  
 COUNTY HEALTH OFFICER DATE  
 HOWARD COUNTY HEALTH DEPARTMENT

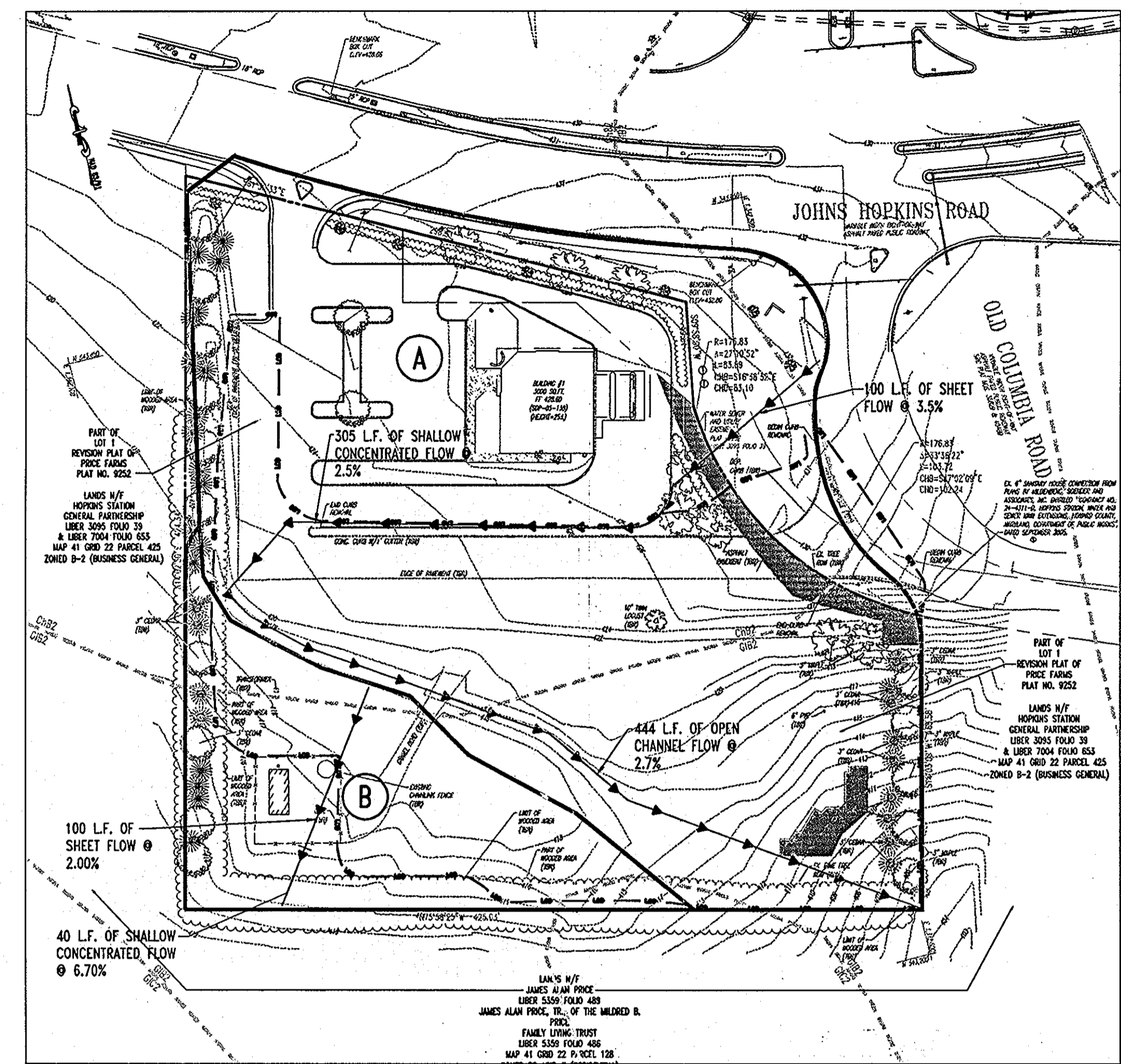
4	6/10/13	REVISION DESCRIPTION
3	4/1/08	SIZE & AREA REVISED FOR CFA BUILDING
2	2/21/06	IRRIGATION LINE & CFA SERVICE TARD REVISIONS
1	12/20/07	DETAILS, GLOBS, AREA, & REVISIONS UNDER LICENSURE

OWNER: HOPKINS STATION GENERAL PARTNERSHIP  
 100 PARKWAY, SUITE P  
 COLUMBIA, MD 21045  
 PHONE: (410) 730-0810  
 DEVELOPER: CHICK-FIL-A  
 5200 BUFFINGTON ROAD  
 ATLANTA, GA 30349-2998  
 C/O SCOTT PATMAN  
 PHONE: (404) 684-8660

CHICK-FIL-A RESTAURANT & GENERAL OFFICE/RETAIL BUILDING  
 PART OF LOT 1, HOPKINS STATION (FORMER PRICE FARMS, LOT 1)  
 JOHNS HOPKINS ROAD  
 LAUREL, HOWARD COUNTY, MARYLAND  
 AREA 3.59 AC. TAX MAP 41 GRID 22 ZONED B-2  
 PARCEL 425 L. 3,095, F. 39 & L. 7004, F. 653  
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

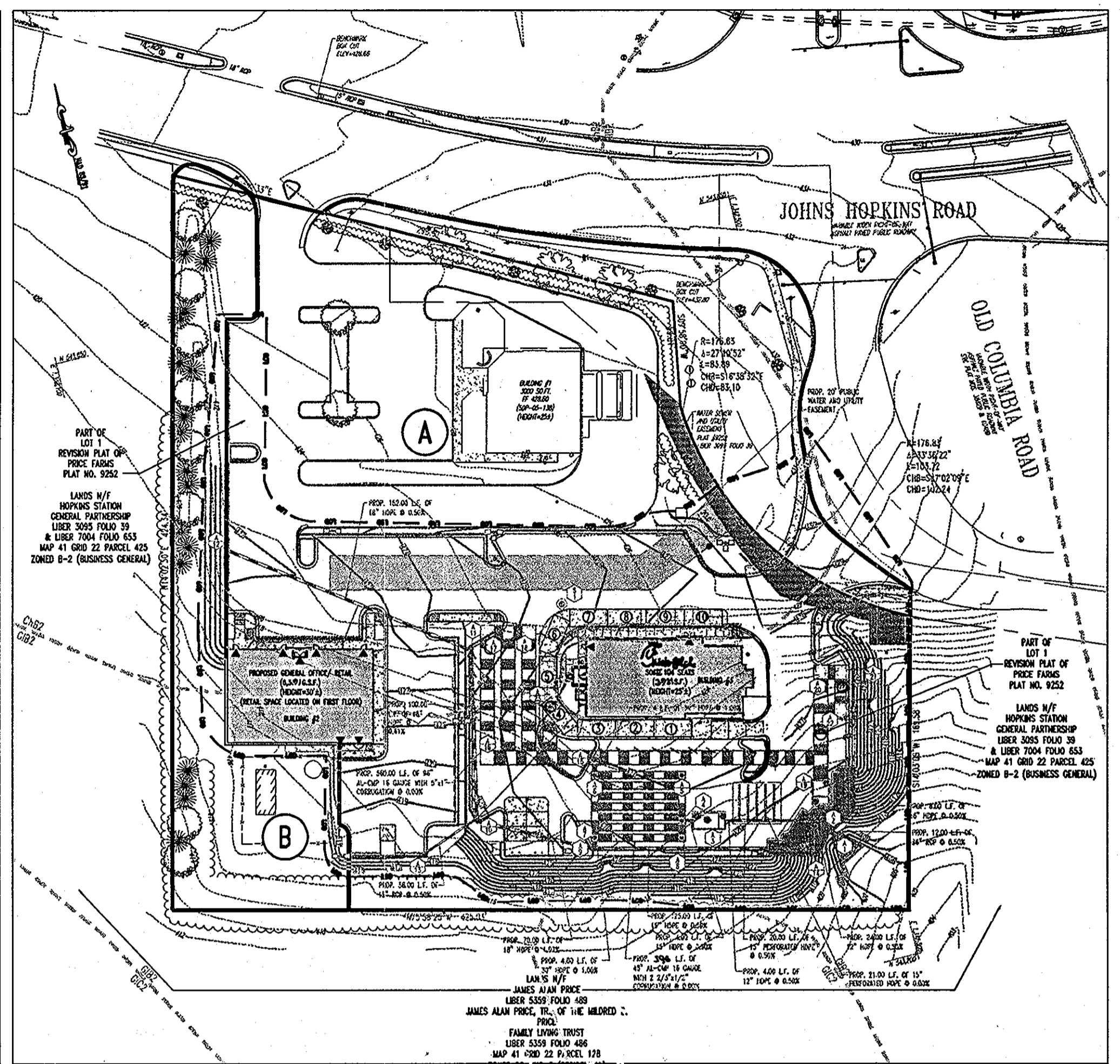
**BOHLER ENGINEERING, P.C.**  
 PROFESSIONAL ENGINEERING SERVICES  
 4810 GLENDALES COURT, SUITE 300, TOWSON, MD 21286  
 (410) 851-7000 FAX (410) 851-7000  
 REVISION: 12/15/06  
 DESIGNED BY: JD  
 DRAWN BY: RB  
 PROJECT NO.: M0056502.1  
 DATE: 9/28/06  
 SCALE: AS SHOWN  
 DRAWING NO. 208 OF 28

REVISION: 12/15/06  
 DESIGNED BY: JD  
 DRAWN BY: RB  
 PROJECT NO.: M0056502.1  
 DATE: 9/28/06  
 SCALE: AS SHOWN  
 DRAWING NO. 208 OF 28



**EXISTING STORM WATER MANAGEMENT DRAINAGE AREA**  
 SCALE: 1"=60'

- (A) IMPERVIOUS AREA = 39,325 S.F. OR .90 AC.  
 PERVIOUS AREA = 88,862 S.F. OF 2.04 AC.  
 TOTAL AREA = 128,187 S.F. OR 2.94 AC.  
 WEIGHTED CURVE NUMBER = 72  
 TC PATH = 0.42 HOURS
- (B) IMPERVIOUS AREA = 625 S.F. OR 0.01 AC.  
 PERVIOUS AREA = 27,878 S.F. OF 0.64 AC.  
 TOTAL AREA = 28,503 S.F. OR 0.65 AC.  
 WEIGHTED CURVE NUMBER = 62  
 TC PATH = 0.24 HOURS



**PROPOSED STORM WATER MANAGEMENT DRAINAGE AREA**  
 SCALE: 1"=60'

- (A) IMPERVIOUS AREA = 108,981 S.F. OR 2.499 AC.  
 PERVIOUS AREA = 28,184 S.F. OF 0.647 AC.  
 TOTAL AREA = 137,165 S.F. OR 3.146 AC.  
 WEIGHTED CURVE NUMBER = 86  
 TC PATH = 0.10 HOURS (MIN.)
- (B) IMPERVIOUS AREA = 436 S.F. OR 0.01 AC.  
 PERVIOUS AREA = 21,780 S.F. OF 0.50 AC.  
 TOTAL AREA = 22,216 S.F. OR 0.51 AC.  
 WEIGHTED CURVE NUMBER = 62  
 TC PATH = 0.10 HOURS (MIN.)

**GENERAL NOTE:**  
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY BOHLER ENGINEERING, P.C. IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY BOHLER ENGINEERING, P.C. SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

**AS-BUILT CERTIFICATION**

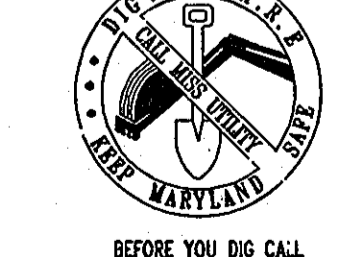
THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.

*Michael D. Adcock* 9/19/13  
 MICHAEL D. ADCOCK, PROFESSIONAL LAND SURVEYOR  
 MD. REG. NO. 24287, EXPIRATION DATE: 06-16-15



**ENGINEER'S CERTIFICATE**  
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.  
*Matthew T. Allen* 7/6/07  
 SIGNATURE OF ENGINEER (PRINT NAME, BELOW SIGNATURE) DATE  
 PRINT NAME: Matthew T. Allen, PE  
 DEVELOPER'S CERTIFICATE  
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.  
*Hugh F. Cole Jr.* 07/06/07  
 SIGNATURE OF DEVELOPER (PRINT NAME, BELOW SIGNATURE) DATE  
 PRINT NAME: HUGH F. COLE JR.

**MISS UTILITY**



BEFORE YOU DIG CALL  
 1-800-297-7777  
 PROJECT YOURSELF - DIG TWO  
 WORKING DAYS NOTICE  
 THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERETO APPROPRIATE.  
 THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.