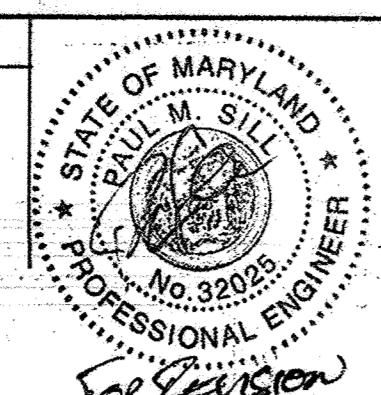


| No. | REVISION | DATE |
|-----|--|------------|
| 6 | REVISE PARKING CALCULATION AND TITLE | 4/9/2016 |
| 8 | CHANGE OF USE OF BLDG. 1 FROM A COMMERCIAL BANK TO A RETAIL COFFEESHOP (STARBUCKS) | 2019-05-07 |
| 9 | DRIVE-THRU IMPROVEMENTS, PARKING REVISIONS, AND ADDITION OF TWO STAMPS TO BUILDING 3 SITE. RECLINE REVISION NUMBER 9 PURPOSE STATEMENT, GENERAL NOTE 40 SIGN EXPLANATION, UPDATE PARKING COUNTS IN GENERAL NOTE 8 AND SITE ANALYSIS DATA CHART, OWNER, AND SHEET INDEX | 3-4-24 |



SITE DEVELOPMENT PLANS

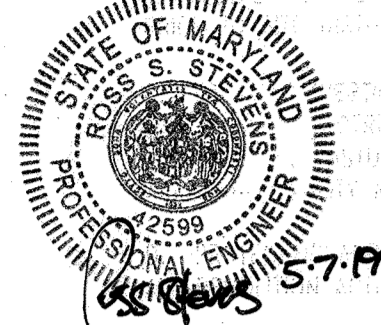
GENERAL NOTES CONTINUED

38. THIS PLAN IS SUBJECT TO WP-14-102, WHICH WAS APPROVED ON JUNE 5, 2014 TO WAIVE SECTIONS 16.16(c)(2) AND 16.16(c)(3) TO EXTEND THE DATE APPLY FOR A BUILDING PERMIT TO JUNE 5, 2015.

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 42599 EXPIRATION DATE: 08/02/2020

Kimley-Horn

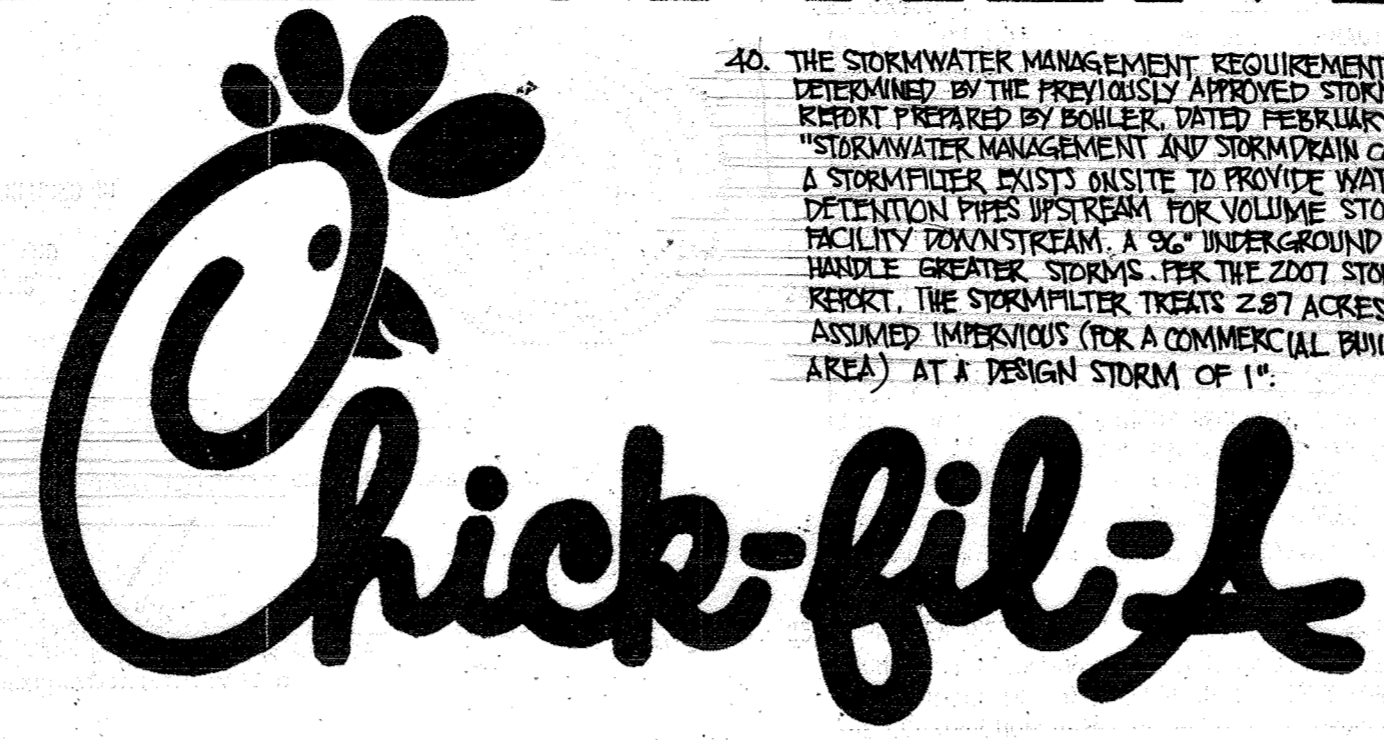
CIVIL ENGINEER
ADDRESS: 11400 COMMERCE PARK DRIVE
SUITE 400
RESTON, VA 20191
PHONE: 703-674-1321
CONTACT: ROSS STEVENS



PURPOSE STATEMENT

REDLINE REVISION NUMBER 8:
THE PURPOSE OF THIS REDLINE REVISION IS TO SHOW THE MINOR SITE WORK ASSOCIATED WITH THE CONVERSION OF THE HOWARD BANK WITH DRIVE-THRU TO A STARBUCKS WITH DRIVE-THRU.

REDLINE REVISION NUMBER 9:
THE PURPOSE OF THIS REDLINE REVISION IS TO SHOW THE MINOR SITE WORK ASSOCIATED WITH DRIVE-THRU IMPROVEMENTS FOR CHICK-FIL-A. THERE ARE NO AFOO IMPACTS ASSOCIATED WITH THIS REVISION.



AND MEDICAL BUILDING

10985 JOHNS HOPKINS ROAD
TAX MAP 41, GRID 22, PARCEL 425
LAUREL, HOWARD COUNTY, MARYLAND

| LEGEND | PROPOSED |
|--|--|
| FOR ENTIRE PLAN SET (NOT TO SCALE) | PER THE REQUEST OF HOWARD COUNTY DPZ, AN ACKNOWLEDGEMENT, SIGNED BY THE PROPERTY OWNER, OF A SHARED PARKING AGREEMENT BETWEEN THE OCCUPANTS/TENANTS OF BUILDINGS 1, 2 AND 3 WAS FILED AS PART OF THE REDLINE REVISION FOR THE CHANGE OF USE CONVERSION OF BUILDING NO. 1 FROM A RETAIL BANKING CENTER TO A COFFEE SHOP |
| ON-SITE PROPERTY LINE / R.O.W. LINE | TYPICAL SPILL TRANSITION DEPRESSION |
| NEIGHBORING PROPERTY LINE / INTERIOR PARCEL LINE | SPOT ELEVATIONS |
| ASEMMENT LINE | CONTOUR LINE |
| SETBACK LINE | HYDRANT |
| CONCRETE CURB & GUTTER | SANITARY MANHOLE |
| STORM SEWER | STORM MANHOLE |
| SANITARY SEWER MAIN | WATER METER |
| SANITARY SEWER LATERAL | WATER VALVE |
| UG WATER LINE | GAS VALVE |
| UG ELECTRIC LINE | GAS METER |
| UG GAS LINE | TYPICAL END SECTION |
| OVERHEAD WIRE | HEADWALL OR ENDWALL |
| TELEPHONE LINE | YARD INLET |
| UG CABLE LINE | CURB INLET |
| | CLEAN OUT |
| | SANITARY LABEL |
| | STORM LABEL |
| | TYPICAL LIGHT |
| | ACORN LIGHT |
| | TRAFFIC LIGHT |
| | UTILITY POLE |
| | TYPICAL SIGN |
| | TYPICAL NOTE TEXT |
| | PARKING COUNTS |
| | ELECTRIC MANHOLE |
| | TELEPHONE MANHOLE |
| | ELECTRIC BOX |
| | ELECTRIC PEDESTAL |
| | MONITORING WELL |
| | TEST PIT |
| | BENCHMARK |
| | BORING |
| | UTILITY POLE W/LIGHT |
| | POLE LIGHT |
| | EASEMENT |

FOR REVISION 5 ONLY

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 32772, Expiration Date: 10/16/15

PER THE REQUEST OF HOWARD COUNTY DPZ, AN ACKNOWLEDGEMENT, SIGNED BY THE PROPERTY OWNER, OF A SHARED PARKING AGREEMENT BETWEEN THE OCCUPANTS/TENANTS OF BUILDINGS 1, 2 AND 3 WAS FILED AS PART OF THE REDLINE REVISION FOR THE CHANGE OF USE CONVERSION OF BUILDING NO. 1 FROM A RETAIL BANKING CENTER TO A COFFEE SHOP

GENERAL NOTES

- THIS PLAN REFERENCES A SURVEY BY CONTROL POINT ASSOCIATES: 22630 DAVIS DRIVE, SUITE 200 STERLING, VIRGINIA 20164 ENTITLED "ALTA/ACSM LAND TITLE SURVEY, CHICK-FIL-A, INC. #10985, JOHNS HOPKINS ROAD, 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND" DATED: 7/21/06 PROJECT NO.: S06516.5R
- THE EXISTING TOPOGRAPHY IS TAKEN FROM A FIELD RUN SURVEY WITH ONE FOOT CONTOUR INTERVALS PREPARED BY CONTROL POINT ASSOCIATES DATED 7/21/06 AND EX. TOPOGRAPHY OF THE SWALE SHOWN IN 2 FOOT INTERVALS ARE FROM PLANS BY MILDBERG, BOENDER AND ASSOCIATES, INC. TITLED "SITE DEVELOPMENT PLAN, HOPKINS STATION (PRICE FARMS, LOT 1) FIFTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND" DATED JANUARY 2006, SDP-05-138.
- EXISTING UTILITIES ARE BASED ON A SURVEY BY CONTROL POINT ASSOCIATES, INC. DATED 7/21/06.
- THE TRAFFIC STUDY FOR THIS PROJECT TITLED "TRAFFIC IMPACT ANALYSIS, CHICK-FIL-A JOHNS HOPKINS ROAD, HOWARD COUNTY, MARYLAND" PREPARED BY TRAFFIC GROUP DATED AUGUST 24, 2006, PROJECT NO. 2006-0545 APPROVED ON NOVEMBER 2, 2006 BY HOWARD COUNTY DEVELOPMENT ENGINEERING DIVISION.
- THE SUBJECT PROPERTY IS ZONED B-2 PER THE FEBRUARY 2, 2004 COMPREHENSIVE ZONING PLAN AND THE COMPREHENSIVE ZONING REGULATIONS EFFECTIVE JULY 23, 2006.
- EXISTING USE: VACANT LOT WITH A BANK CURRENTLY BEING CONSTRUCTED ON A LEASE PARCEL. STARBUCKS RESTAURANT.
- PROPOSED USE: CHICK-FIL-A RESTAURANT AND GENERAL OFFICE/RETAIL BUILDING (THE GENERAL OFFICE/RETAIL BUILDING WILL NOT BE USED FOR RESTAURANTS, CARRIAGES, OR CONVENIENCE STORES UNLESS APPROVED BY HOWARD COUNTY)
- BUILDING HEIGHT: CHICK-FIL-A 25'-0", RETAIL BUILDING 25'-0" MAXIMUM HEIGHT ALLOWED: 40'-0"
- PARKING: REQUIRED - BANK: FIVE SPACES/1,000 S.F. OF FLOOR AREA: 5 x (3,000 S.F./1,000 S.F.) = 15 SPACES FAST FOOD RESTAURANT: 14 SPACES/1,000 S.F. 14 x (2,288 S.F./1,000 S.F.) = 60 SPACES MEDICAL BUILDING: (2 FLOORS @ 4119 S.F. EACH) 5 SPACES/1,000 S.F. 5 x (2,288 S.F./1,000 S.F.) = 21 SPACES (END FLOOR) 5 SPACES/1,000 S.F. 5 x (4,119 S.F./1,000 S.F.) = 21 SPACES TOTAL PARKING SPACES REQUIRED = 112 SPACES (147 SPACES TOTAL PARKING SPACES PROVIDED = 419 SPACES (INCLUDING 7 HANDICAP SPACES) 103 SPACES (INCLUDING 7 HANDICAP SPACES) THERE WILL BE NO BUSINESS OWNED VEHICLES PARKED ON-SITE.
- SETBACKS: JOHN'S HOPKINS ROAD: USE & STRUCTURE SETBACK 30' 240.89' 185.85' PARKING SETBACK 30' 212.78' 30.40' WEST SIDE: USE & STRUCTURE SETBACK 30' 239.61' 31.29' PARKING SETBACK 30' 31.29' REAR: USE & STRUCTURE SETBACK 30' 31.00' 95.43' PARKING SETBACK 30' 31.00'

GENERAL NOTES (CONTINUED)

- REFUSE SHALL BE DISPOSED OF DAILY IN TRASH RECEPTACLES. TRASH REMOVAL WILL BE PRIVATELY CONTRACTED.
- LIGHTING SHALL BE SHIELDED AND DIRECTED SO THAT IT DOES NOT SHINE DIRECTLY ONTO ANY ADJACENT PROPERTIES. IT SHALL NOT ILLUMINATE RESIDENTIAL PROPERTIES AND SHALL NOT PRODUCE GLARE WHICH WOULD CAUSE A HAZARD FOR MOTOR VEHICLE OPERATIONS IN THE VICINITY OF THE SITE. LIGHTING SHALL COMPLY WITH SECTION 154 OF THE ZONING REGULATIONS.
- UTILITIES: WATER, PUBLIC - EXISTING 8" WATER LINE (CONTRACT #24-4511-D) IS LOCATED ON THE WEST SIDE OF OLD COLUMBIA ROAD AND SERVES THE SITE. SEWER, PUBLIC - AN 8" SANITARY SEWER LINE (CONTRACT #24-4511-D) IS LOCATED ALONG OLD COLUMBIA ROAD AND CURRENTLY SERVES THE SITE. STORM DRAIN - THERE IS NO STORMDRAIN CURRENTLY ON-SITE. STORMWATER MANAGEMENT FOR THE SITE WILL BE HANDLED BY A STORMDRAIN SYSTEM WITH A 51" DIAMETER FILTER FOR WQ, A RECHARGE FACILITY FOR REV AND UNDERGROUND STORAGE PIPE FOR CPV AND OVERBANK FLOOD PROTECTION MAINTENANCE FOR THE STORMWATER MANAGEMENT SYSTEM WILL BE PROVIDED BY THE OWNER, HOPKINS STATION GENERAL PARTNERSHIP C/O BRANTLY DEVELOPMENT GROUP.
- ALL HOWARD COUNTY WATER QUALITY REQUIREMENTS SHALL BE MET BY THE UNDERGROUND STORMWATER SYSTEM WHICH WILL BE UTILIZED FOR QUALITY REQUIREMENTS. THE OWNER IS RESPONSIBLE FOR MAINTENANCE OF THE SYSTEM TO ENSURE THE PROPER FUNCTION OF THE STORMWATER RECHARGE FOR THE SUBJECT SITE AND BY UTILIZING AN UNDERGROUND RECHARGE FACILITY. CHANNEL PROTECTION AND QUALITY MANAGEMENT WILL BE MET BY USE OF UNDERGROUND STORAGE PIPES.
- ELECTION DISTRICT: 5
- DEED REFERENCE: PART OF LOT 1 REVISION PLAN FOR PRICE FARMS PLAT #9252 LIBER 3085, FOLIO 39 & LIBER 7004, FOLIO 653
- TAX MAP: 41, GRID 22, PARCEL: 425
- PROPERTY IS LOCATED IN LAUREL.
- THERE IS NO 100-YEAR FLOOD PLAIN LOCATED ON SITE PER FEMA FIRM MAP 240044 0038 E DATED 12/4/86.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY AND MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- A LICENSE AGREEMENT FOR THE CELLULAR TOWER HAS BEEN MADE ON FEBRUARY 12TH, 1996 BETWEEN WASHINGTON/BALTIMORE CELLULAR LIMITED PARTNERSHIP AND WIRELESS PCS, INC. THE LEASE PERTAINS TO THE PROPERTY IMPROVEMENTS FROM HOPKINS STATIONS GENERAL PARTNERSHIP AND DESCRIBED AS ELECTION DISTRICT 5, LOT 1, PLATBOOK 9252 RECORDED IN DEED BOOK 3095 AND PAGE 039 DATED JUNE 5, 1995.
- AFOO VERIFICATION LETTER DATED 3/27/2016 WAS APPROVED ON 5/31/2016. SEE THIS SHEET FOR CONTINUATION.
- AN ACKNOWLEDGEMENT, SIGNED BY THE PROPERTY OWNER, OF A SHARED PARKING AGREEMENT BETWEEN THE PROPERTY OWNER AND THE LESSEES HAS BEEN SUBMITTED TO HOWARD COUNTY.

40. THE STORMWATER MANAGEMENT REQUIREMENTS FOR THE PROJECT WERE DETERMINED BY THE PREVIOUSLY APPROVED STORMWATER MANAGEMENT REPORT PREPARED BY BOHLER, DATED FEBRUARY 2007, ENTITLED "STORMWATER MANAGEMENT AND STORMDRAIN COMPUTATIONS; CHICK-FIL-A STORMWATER EXISTING AND PROPOSED WATER QUALITY WITH AFOO DEFLECTION PIPES UPSTREAM FOR VOLUME STORAGE AND A RECHARGE FACILITY DOWNSTREAM. A 96" UNDERGROUND DETENTION SYSTEM EXISTS TO HANDLE GREATER STORMS. PER THE 2007 STORMWATER MANAGEMENT REPORT, THE STORMWATER TREATS 2.87 ACRES OF LOT 1, WITH 2.44 ACRES ASSUMED IMPERVIOUS (FOR A COMMERCIAL BUILD OUT OF 65% IMPERVIOUS AREA) AT A DESIGN STORM OF 1".

AS-BUILT CERTIFICATION

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.

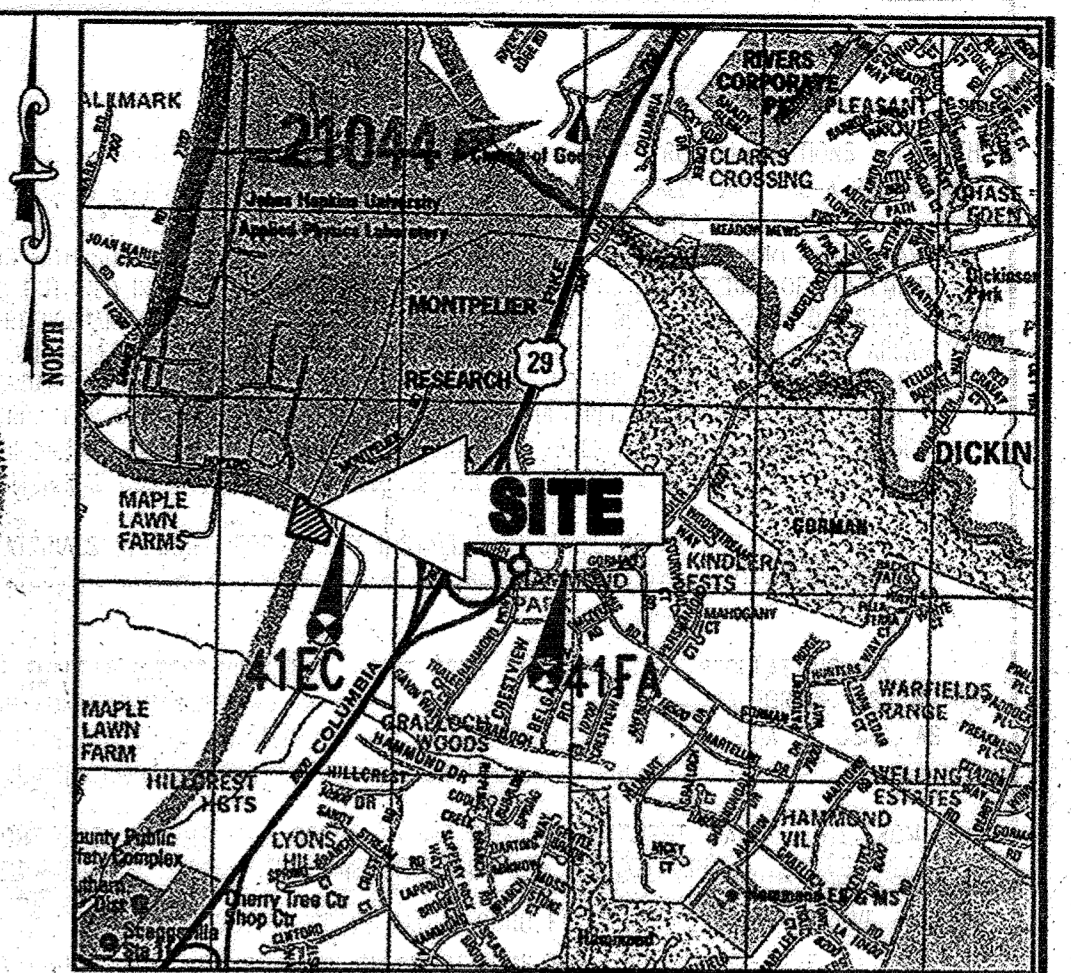
Michael D. Dooce, PROFESSIONAL LAND SURVEYOR
MD REG. NO. 21297, EXPIRATION DATE: 06-14-19



D.S. HANEY
PROFESSIONAL ENGINEER
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 95632 EXP. DATE: 6-6-25

AS-BUILT CERTIFICATION

5/19/2013
DATE



LOCATION MAP

COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=200'

COUNTY CONTROL INFORMATION

HO. CO. #41EC (NAD 83)
N 543,588.804
E 1,342,628.780
ELEV. = 430.38

HO. CO. #41FA (NAD 83)
N 543,109.935
E 1,344,797.520
ELEV. = 407.60

SHEET INDEX

| NO. | SHEET |
|-------|---|
| 1 | COVER SHEET |
| 2 | GENERAL NOTES |
| 3 | EXISTING CONDITIONS AND DEMOLITION PLAN |
| 4 | SITE PLAN |
| 5 | GRADING PLAN |
| 6 | UTILITY PLAN |
| 7-10 | UTILITY PROFILES |
| 11 | EROSION AND SEDIMENT CONTROL PLAN |
| 12-13 | EROSION AND SEDIMENT CONTROL DETAILS |
| 14 | LIGHTING PLAN |
| 15 | LANDSCAPE PLAN |
| 16 | LANDSCAPE NOTES AND DETAILS |
| 17 | STORMDRAIN DRAINAGE AREA MAPS |
| 18-19 | STORMWATER MANAGEMENT NOTES AND DETAILS |
| 20-21 | BUILDING ELEVATIONS |
| 22 | BUILDING FOOTPRINT |
| 23-26 | SITE DETAILS |
| 27 | SOIL BORING PLAN |
| 28 | SWM Drainage Area Map |

SITE ANALYSIS DATA CHART

PROJECT AREA: PARCEL 425 = 3.1 ACRES (TOTAL SITE) OR 158,380 S.F.
LIMIT OF DISTURBED AREA: .36 AC. OR 85,344 S.F.

PRESENT ZONING: B-2 (GENERAL BUSINESS DISTRICT) STARBUCKS
PROPOSED USE: CHICK-FIL-A RESTAURANT WITH DRIVE-THRU RESTAURANT AND A GENERAL OFFICE/RETAIL BUILDING WITH DRIVE-THRU

FLOOR AREA: CHICK-FIL-A = 4,288 SF
MEDICAL BUILDING = 8,236 SF (2 FLOORS @ 4,118 SF)

MAXIMUM NUMBER OF EMPLOYEES: 12 (RESTAURANT); 14 (OFFICE/RETAIL BUILDING)

PARKING SPACES REQUIRED: 112 SPACES (INCLUDING 7 HANDICAP SPACES)

PARKING SPACES PROVIDED: 419 SPACES (INCLUDING 7 HANDICAP SPACES)

THERE WILL BE NO BUSINESS OWNED VEHICLES PARKED ON-SITE.
BUILDING COVERAGE OF SITE: 0.36 ACRES (10% OF GROSS AREA)

APPLICABLE DPZ FILE REFERENCES: (SEE NOTE 28)

UTILITY CONTACT INFORMATION:

NATURAL GAS AND ELECTRIC: BALTIMORE GAS AND ELECTRIC 7517 PARKWAY DRIVE SOUTH HANOVER, MD 21076 PHONE: (410) 859-9383

WATER AND SANITARY SEWER: HOWARD COUNTY PUBLIC WORKS BUREAU OF UTILITIES 8250 OLD MONTGOMERY ROAD COLUMBIA, MD 21045 PHONE: (410) 313-4910

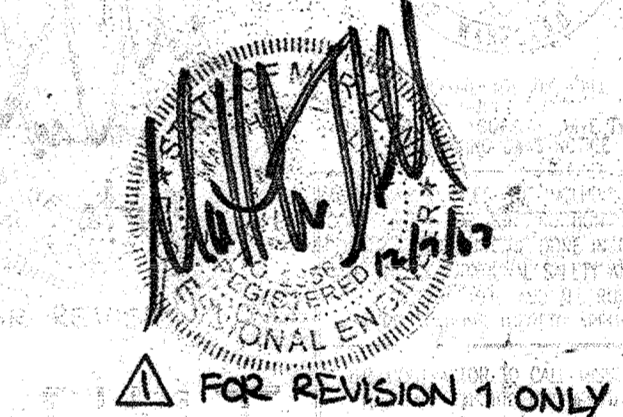
EROSION AND SEDIMENT CONTROL: DEPARTMENT OF INSPECTIONS, LICENSES & PERMITS 3430 COURTHOUSE DRIVE ELLICOTT CITY, MD 21043 PHONE: (410) 313-2455

PLANNING AND ZONING: HOWARD COUNTY PLANNING AND ZONING DEPARTMENT 3430 COURTHOUSE DRIVE ELLICOTT CITY, MD 21043 PHONE: (410) 313-2350

BENCHMARK INFORMATION

USGS TRIANGULATION DISK STAMPED. "HOPKINS 1966" IN A CONCRETE MONUMENT 0'4" BELOW THE SURFACE. LOCATED IN FRONT OF JOHN'S HOPKINS APPLIED PHYSICS LABORATORY, 600' NORTH OF JOHN HOPKINS ROAD. ELEVATION 445.50

AS-BUILT



FOR REVISION 1 ONLY

APPROVED: DEPARTMENT OF PLANNING AND ZONING
DATE: 5-14-11

APPROVED: COUNTY HEALTH DEPARTMENT
DATE: 5-21-19

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
DATE: 5-21-19

COVER SHEET

| NO. | DATE | REVISION DESCRIPTION |
|-----|----------|---|
| 1 | 7/28/13 | PROPOSED VERSION LOCATION |
| 2 | 9/07/08 | SIZE & AREA REDUCED FOR C&A BUILDING |
| 3 | 12/11/08 | REGISTRATION LINE & AREA SERVICE ROAD REVISIONS |
| 4 | 12/06/07 | RETAIN WALL AREA IN CHANGING |

OWNER: NIN FULTON CENTER LLC 12526 WESLAND CT. FULTON, MD 20755
DEVELOPER: CHICK-FIL-A 5200 BUFFINGTON ROAD ATLANTA, GA 30348-2998 C/O SCOTT PYTHIAN PHONE: (404) 684-8680

CHICK-FIL-A RESTAURANT & MEDICAL BUILDING
PART OF LOT 1, HOPKINS STATION (FORMER PRICE FARMS, LOT 1) JOHN'S HOPKINS ROAD LAUREL, HOWARD COUNTY, MARYLAND

AREA 3.59 AC. TAX MAP 41 GRID 22 ZONED B-2
PARCEL 425 L. 3,095, F. 39 & L. 7,004, P. 003
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

GENERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY BOHLER ENGINEERING, P.C. IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY BOHLER ENGINEERING, P.C. SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLY WITH THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH ALL APPLICABLE REGULATIONS AND CODES.

| ISSUED FOR CONSTRUCTION | | |
|-------------------------|------|----------------|
| SIGNATURE | DATE | SIGNATURE DATE |
| | | |

THIS DOCUMENT IS NOT ISSUED BY BOHLER ENGINEERING, P.C. FOR CONSTRUCTION WITHOUT (3) SIGNATURES

PREPARED BY:
BOHLER ENGINEERING, P.C.
610 GLENEAGLES COURT, SUITE 300
TOWSON, MARYLAND 21286
(410) 821-7900
ATTN: MATTHEW T. ALLEN, P.E.



BEFORE YOU DO CALL FOR PERMITS, PROTECT YOURSELF FROM WORKING IN A HAZARDOUS AREA.

| LOT/FACIL # | STREET ADDRESS |
|-------------|--|
| 425 | 10975 JOHNS HOPKINS ROAD, LAUREL, HOWARD COUNTY, MD 20725 |
| 425 | 10981 JOHNS HOPKINS ROAD, LAUREL, HOWARD COUNTY, MD 20725 (MEDICAL BUILDING) |

| PERMIT INFORMATION CHART | | | |
|--------------------------|--------------|----------------|--------------|
| PROJECT NAME | SECTION/AREA | LOT/PARCEL NO. | TRACT |
| HOPKINS STATION | N/A | 425 | |
| PLAT RECORDED | BLOCK | ZONING | TAX MAP NO. |
| 9252 | 22 | B-2 | 41 |
| PLAT CODE | SEWER CODE | ELECT. CODE | CENSUS TRACT |
| 521 | 789000 | 5TH | 605102 |

BOHLER ENGINEERING, P.C.
PROFESSIONAL ENGINEERING SERVICES
4110 GLENEAGLES COURT, SUITE 300
TOWSON, MD 21286
(410) 821-7900 FAX (410) 821-7901
WWW.BE-INC.COM

REVISIONS: 12/15/06
DESIGNED BY: JD
DRAWN BY: RLB
PROJECT NO.: W056802.1
GATE: 9/28/06
SCALE: AS SHOWN
DRAWING NO. 1 OF 30

DEMOLITION NOTES

- 1. THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY: 2630 DAVIS DRIVE, SUITE 200 STERLING, VIRGINIA 20164 ENTITLED "ALTA/ACSM LAND TITLE SURVEY, CHICK-FIL-A, INC. #10985, JOHN HOPKINS ROAD, 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND" DATED: 7/21/06 PROJECT NO.: S065615.SR...

SITE PLAN GENERAL NOTES

- 1. THIS PLAN IS BASED ON A SURVEY PREPARED BY: 2630 DAVIS DRIVE, SUITE 200 STERLING, VIRGINIA 20164 ENTITLED "ALTA/ACSM LAND TITLE SURVEY, CHICK-FIL-A, INC. #10985, JOHN HOPKINS ROAD, 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND" DATED: 7/21/06 PROJECT NO.: S065615.SR...

SITE PLAN GENERAL NOTES (CONTINUED)

- 23. ALL CONTRACTORS MUST CARRY STATUTORY WORKER'S COMPENSATION INSURANCE, EMPLOYER'S LIABILITY INSURANCE AND APPROPRIATE LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME BOHLER ENGINEERING, P.C. AND ITS SUBCONTRACTORS AS ADDITIONAL INSURED AND TO PROVIDE...

GRADING NOTES (CONTINUED)

- 9. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT COMPLETED BY GILES ENGINEERING ASSOCIATES, INC., ENTITLED "PROPOSED CHICK-FIL-A RESTAURANT 10985 JOHN HOPKINS ROAD, COLUMBIA, MARYLAND", PROJECT #EG-060800A, DATED 9/13/06...



AS-BUILT CERTIFICATION

THIS IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.

4. OWNER: NN FULTON, LLC 12526 WESTLAND CT FULTON MD 20759

5. PARCEL DATA: TAX MAP: 41 GRID: 22 PARCEL: 425

Table with columns: BULK REQUIREMENTS, SETBACKS, REQUIRED, PROPOSED RESTAURANT, PROPOSED (OFFICE/RETAIL BUILDING). Rows include JOHN HOPKINS ROAD, WEST SIDE, REAR, and ZONE: B-2 (BUSINESS GENERAL).

7. PARKING REQUIREMENTS: REQUIRED: BANK: FIVE SPACES/1,000 S.F. OF FLOOR AREA... FAST FOOD RESTAURANT: 14 SPACES/1,000 S.F. MEDICAL OFFICE BUILDING (2 FLOORS @ 4,115 S.F. EACH)...

8. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.

11. THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY BOHLER ENGINEERING, P.C. IN WRITING OF ANY SUCH DISCREPANCY BETWEEN GEOTECHNICAL REPORT AND PLANS, ETC.

13. THESE PLANS ARE BASED ON INFORMATION PROVIDED TO BOHLER ENGINEERING, P.C. AT THE TIME OF PLAN PREPARATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY BOHLER ENGINEERING, P.C. IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK WOULD BE INHIBITED BY ANY OTHER SITE FEATURES.

15. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL/BUILDING PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY LOCATIONS.

16. DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL TOWN, COUNTY, STATE AND FEDERAL LAWS AND APPLICABLE CODES.

17. CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.

21. BOHLER ENGINEERING, P.C. IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS/MEANS FOR COMPLETION OF THE WORK DEPICTED ON THESE PLANS NOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND NOTIFICATION OF OWNER AND BOHLER ENGINEERING, P.C. WHEN A CONFLICT IS IDENTIFIED.

22. BOHLER ENGINEERING, P.C. IS NOT RESPONSIBLE FOR JOB SITE SAFETY NOR HAVE THEY BEEN RETAINED FOR SUCH PURPOSES.

GRADING NOTES

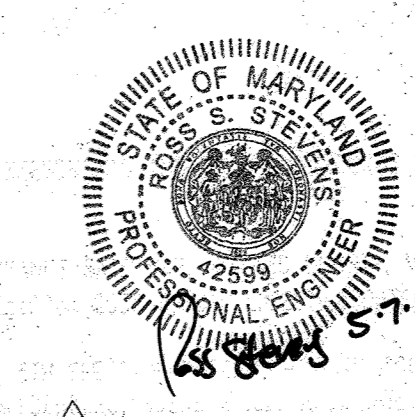
- 1. LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION...

UTILITY NOTES

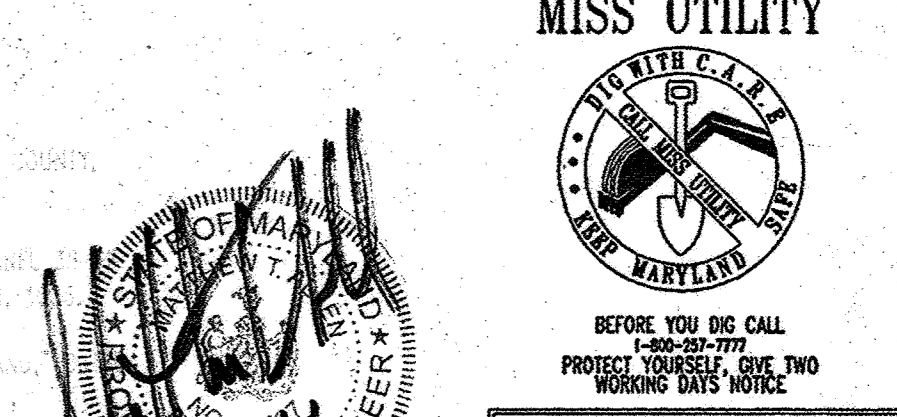
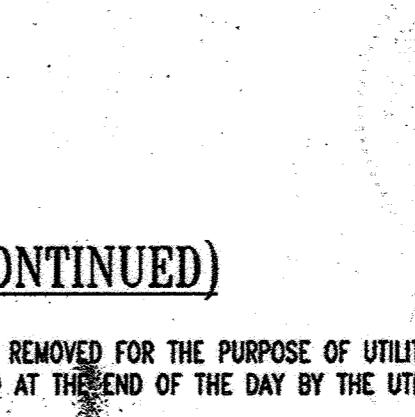
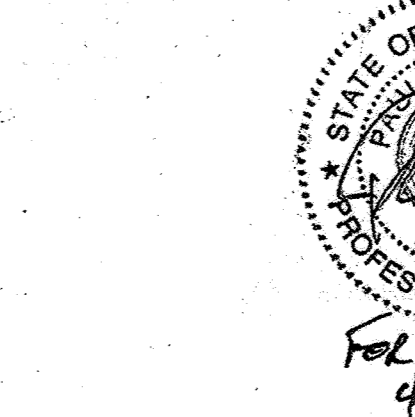
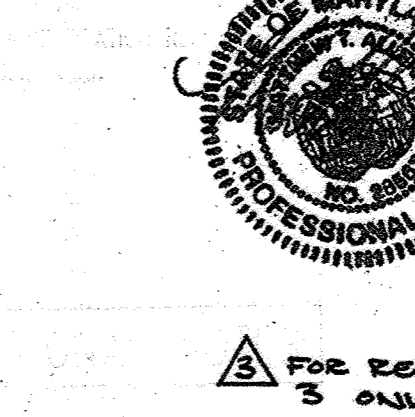
- 1. MAINTENANCE OF ALL STORMWATER MANAGEMENT FACILITIES NOT LOCATED WITHIN PUBLIC RIGHT-OF-WAY SHALL BE THE RESPONSIBILITY OF THE LOT OWNER. STORMWATER MANAGEMENT FACILITIES SHALL BE MAINTAINED IN DESIGN CONDITION AND FREE OF FILL AND OBSTRUCTIONS.

UTILITY NOTES (CONTINUED)

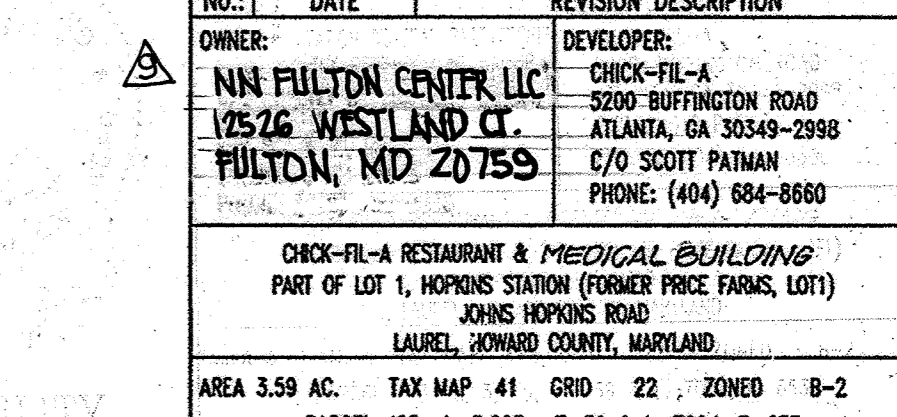
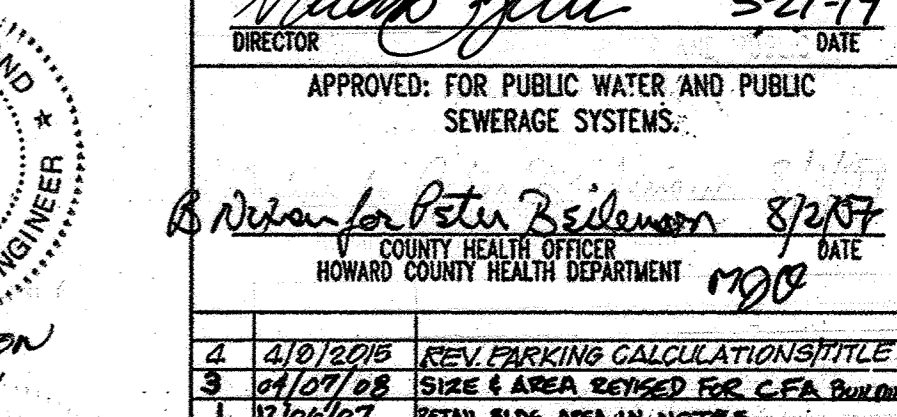
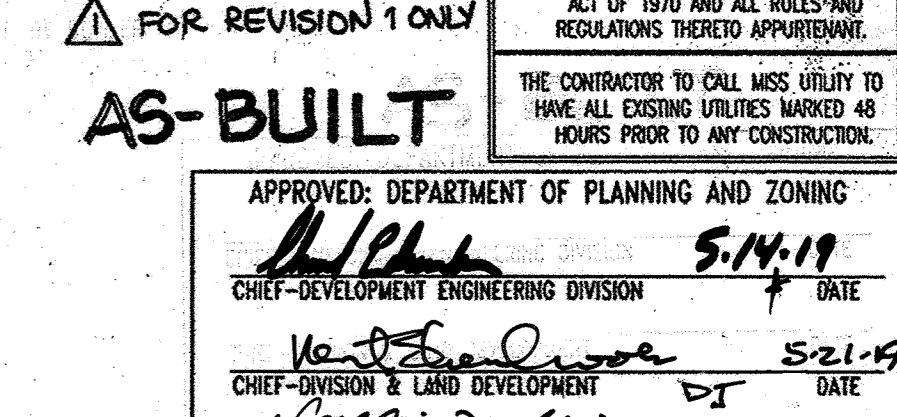
- 5. ANY SEDIMENT CONTROL MEASURES REMOVED FOR THE PURPOSE OF UTILITY CONSTRUCTION SHALL BE REPLACED AT THE END OF THE DAY BY THE UTILITY CONTRACTOR.



FOR REVISION 8 ONLY



FOR REVISION 1 ONLY



AS-BUILT MISS UTILITY APPROVED: DEPARTMENT OF PLANNING AND ZONING... APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS... GENERAL NOTES BOHLER ENGINEERING, P.C.

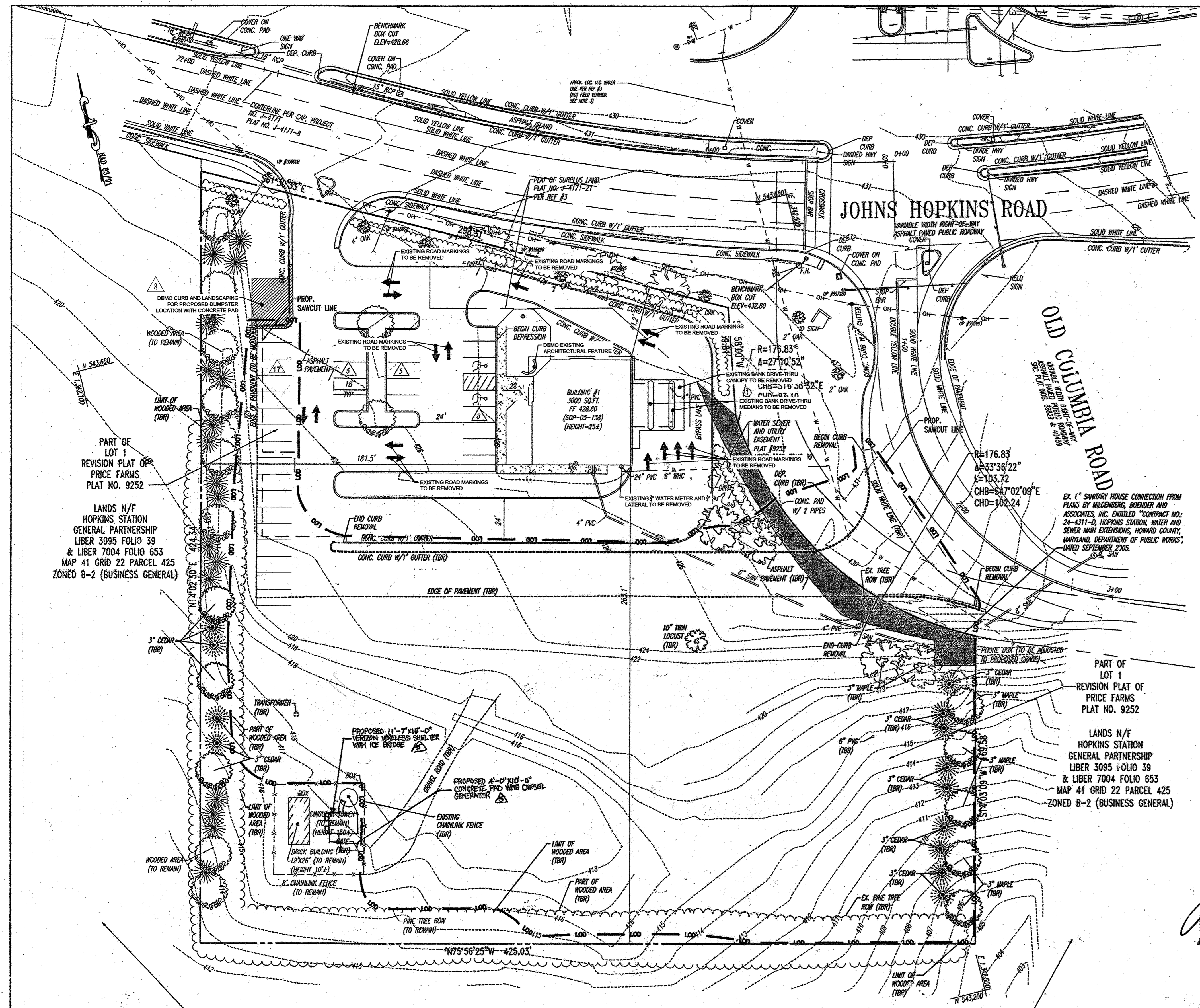
| NO. | REVISION | DATE |
|-----|--|------------|
| 8 | CHANGE OF USE OF BLDG. 1 FROM A COMMERCIAL BANK TO A RETAIL COFFEESHOP (STARBUCKS) | 2019-05-07 |

NOTES:

- PROPERTY IS KNOWN AS LOT 1, "REVISION PLAT OF PRICE FARMS" AS RECORDED ON PLAT NUMBER 9252, ALSO KNOWN AS THE LANDS OF HOPKINS STATION GENERAL PARTNERSHIP, AS RECORDED IN LIBER 3095 FOLIO 39, AND IN LIBER 7004 FOLIO 653 AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AND HAVING A TAX MAP NUMBER OF 41-22-425.
- TOTAL SITE AREA 156,380 SQUARE FEET OR 3.59 ACRES±.
- LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE.
- ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBUILT PLANS AND UTILITY MARK-OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.
- THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- THIS SURVEY IS PREPARED WITH REFERENCE TO A TITLE COMMITMENT REPORT PREPARED BY CHICAGO TITLE INSURANCE COMPANY, COMMITMENT NUMBER 4505-44213, EFFECTIVE DATE OCTOBER 23, 2005, AND REVISED DECEMBER 7, 2005. OUR OFFICE HAS REVIEWED THE FOLLOWING SURVEY RELATED EXCEPTIONS IN SCHEDULE B, SECTION II:
- THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
- ELEVATIONS ARE BASED ON NGVD29 AS REFERENCED TO WSSC STATION 19790 WITH A PUBLISHED ELEVATION OF 445.5 FEET. EXISTING TOPOGRAPHY OF THE SWALE SHOWN IN 2 FOOT INTERVALS ARE FROM PLANS BY MILDENBERG, BOENDER AND ASSOCIATES, INC. TITLED "SITE DEVELOPMENT PLAN, HOPKINS STATION (PRICE FARMS, LOT 1) FIFTH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND" DATED JANUARY 2006, SDP-05-138.
- THE PROPERTY IS LOCATED IN ZONE C (AREAS OF MINIMAL FLOODING) PER PLAN REFERENCE #2.
- WATER UTILITIES ARE SHOWN PER FIELD LOCATION OF ABOVE GROUND STRUCTURES AND PLANS RECEIVED FROM UTILITY COMPANIES AND LOCAL GOVERNMENT OFFICES.
- ALL MATTERS SHOWN ON LEGIBLE RECORDED PLATS THAT ARE WITHIN THE LIMITS OF THIS SURVEY ARE SHOWN.

REFERENCES:

- THE MARYLAND DEPARTMENT OF ASSESSMENTS AND TAXATION RECORDS FOR HOWARD COUNTY, MARYLAND, MAP NUMBER 41.
- MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND, PANEL 38 OF 45", COMMUNITY-PANEL NUMBER 240044 0038 B, MAP EFFECTIVE DATE DECEMBER 4, 1986.
- MAP ENTITLED "HOPKINS STATION, 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND," DATED SEPTEMBER 2005, PREPARED BY MILDENBERG, BOENDER AND ASSOCIATES, INC.
- MAP ENTITLED "REVISION PLAT OF PRICE FARMS, LOT 1" DATED FEBRUARY 12, 1990, PREPARED BY TRACY, SCHULTE & ASSOCIATES, INC.
- REPORT ENTITLED "DEVELOPMENT INVESTIGATION REPORT FOR CHICK-FIL-A" PREPARED BY BOHLER ENGINEERING, P.C. DATED NOVEMBER 2005.

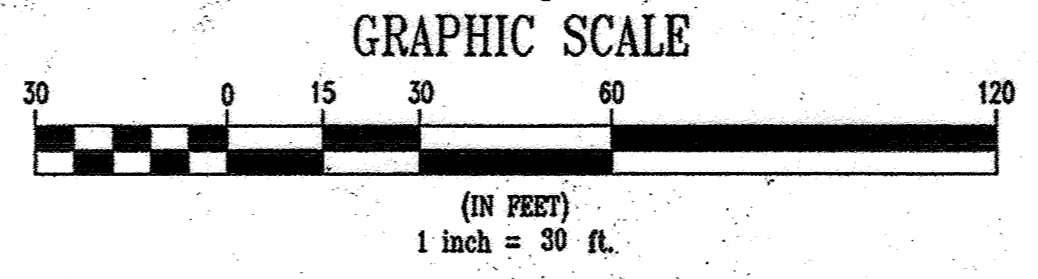


PART OF LOT 1 REVISION PLAT OF PRICE FARMS PLAT NO. 9252
LANDS N/F HOPKINS STATION GENERAL PARTNERSHIP LIBER 3095 FOLIO 39 & LIBER 7004 FOLIO 653 MAP 41 GRID 22 PARCEL 425 ZONED B-2 (BUSINESS GENERAL)

PART OF LOT 1 REVISION PLAT OF PRICE FARMS PLAT NO. 9252
LANDS N/F HOPKINS STATION GENERAL PARTNERSHIP LIBER 3095 FOLIO 39 & LIBER 7004 FOLIO 653 MAP 41 GRID 22 PARCEL 425 ZONED B-2 (BUSINESS GENERAL)

LANDS N/F JAMES ALAN PRICE LIBER 5359 FOLIO 489 JAMES ALAN PRICE, TR., OF THE MILDRED B. PRICE FAMILY LIVING TRUST LIBER 5359 FOLIO 486 MAP 41 GRID 22 PARCEL 128 ZONED RR-MXD-3 (RESIDENTIAL)

GENERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY BOHLER ENGINEERING, P.C. IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY BOHLER ENGINEERING, P.C. SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.



SEE SHEET 2 FOR ADDITIONAL NOTES

AS-BUILT CERTIFICATION

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 23772, Expiration Date: 6-16-15

FOR REVISION 5 ONLY
FOR REVISION 9 ONLY

Professional Engineer: Michael D. Adcock
DATE: 5/19/2019

BEFORE YOU DIG CALL MISS UTILITY 800-4-A-SHIELD (477-3743) OR VISIT MISSUTILITY.COM

THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREOF APPLICABLE.

THE CONTRACTOR TO CALL MISS UTILITY TO HIRE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

AS-BUILT
APPROVED: DEPARTMENT OF PLANNING AND ZONING
DATE: 5-14-19

CHIEF-DEVELOPMENT ENGINEERING DIVISION
DATE: 5-21-19

CHIEF-DIVISION & LAND DEVELOPMENT
DATE: 5-21-19

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
DATE: 8/2/19

| NO. | DATE | REVISION DESCRIPTION |
|-----|---------|---------------------------|
| 1 | 3-4-24 | UPDATED OWNER |
| 2 | 4/16/16 | REVISE TITLE |
| 3 | 7/28/13 | PROPOSED VERIZON LOCATION |

OWNER: NN FULTON CENTER, LLC
1252C WESTLAND CT
FULTON, MD 20759

DEVELOPER: CHICK-FIL-A
5200 BUFFINGTON ROAD
ATLANTA, GA 30349-2886
C/O SCOTT PATMAN
PHONE: (404) 684-8660

CHICK-FIL-A RESTAURANT & MEDICAL BUILDING
PART OF LOT 1, HOPKINS STATION (FORMER PRICE FARMS, LOT 1)
LAUREL, HOWARD COUNTY, MARYLAND

AREA 3.59 AC. TAX MAP 41 GRID 22 ZONED B-2
PARCEL 425 L. 3,095, F. 39 & L. 7004, F. 653
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

EXISTING CONDITIONS AND DEMOLITION PLAN

BOHLER ENGINEERING, P.C.
PROFESSIONAL ENGINEERING SURVEYOR
#810 GREENGLADES COURT, SUITE 300, TOWSON, MD 21286
(410) 851-5900 FAX (410) 851-7861

REVISION: 12/15/06
DESIGNED BY: JD
DRAWN BY: RLB
PROJECT NO.: MD056502.1
DATE: 9/28/06
SCALE: 1"=30'
DRAWING NO. 3 OF 30

SDP # 07-033

M:\05\CHICK-FIL-A\056502.1\SS3.dwg, 7/5/2007 9:01:00 AM, p:\cortney

| No. | REVISION | DATE |
|-----|--|---------|
| 6 | REV. BUILDING #2 & ASSOC. HO PARKING AND TITLE | 4/10/15 |
| 7 | REVISED DRIVE THRU ORDER BOARD LOCATION | 4/21/17 |

SITE PLAN DESIGN NOTES & KEY PLAN

- DIRECTIONAL ARROW (TYP.)
- DRIVE-THRU GRAPHICS
- STOP LINE GRAPHIC
- PAINTED HANDICAP PARKING SYMBOL (TYP.)
- STANDARD PARKING STALL & STRIPING DETAIL (TYP.)
- DIRECTIONAL SIGNAGE
- CHICK-FIL-A MAIN ENTRY HANDICAP RAMP
- CURBED RAMP DETAIL
- 24" CURB AND GUTTER - CATCHING
- 24" CURB AND GUTTER - SPILLING
- CONCRETE WHEEL STOP (TYP.)
- TYPICAL LIGHT/POLE BASE DETAIL (TYP.)
- BOLLARD AT DRIVE-THRU MONUMENT SIGN WITH BUILDING ADDRESS (BOTH PROPOSED BUILDINGS)
- CURB SECTION AT DRIVE-THRU
- TYPICAL SIDEWALK DETAIL WITH FRAME PATTERN & BRUSH PATTERN
- TYPICAL SIDEWALK DETAIL WITH CURB & GUTTER SECTION
- 6"2"/1" ASPHALT PAVEMENT SECTION (DRIVE LANES)
- 6"2"/1" ASPHALT PAVEMENT SECTION (PARKING STALLS)
- 6" CONCRETE PAVEMENT SECTION AT DRIVE-THRU
- SECTION THROUGH CONCRETE APRON AT DUMPSTER
- TRAVERSE & LONGITUDINAL CONTRACTION JOINTS
- TRAVERSE & LONGITUDINAL DOWELED CONSTRUCTION JOINTS
- PROPOSED CLEANOUT
- MENU BOARD & CANOPY ORDERING STATION
HGT. = 11', CLEARANCE = 13'-6"
- FLAGPOLE
EACH SERIES 50 FOOT FLAG POLE PACKAGE, BY APPROVED VENDORS; THE FLAG COMPANY OR ATLAS FLAGS (ADVERTISING FLAGS ARE PROHIBITED)
- GREASE TRAP
- PROPOSED TRANSFORMER TO SERVE CHICK-FIL-A, GENERAL OFFICE/RETAIL BUILDING AND CELL PHONE TOWER
- DUMPSTER/STORAGE BUILDING
- INLET (HOWARD COUNTY STD. DETAIL SD-4.22)
- CHICK-FIL-A "ENTER" SIGN
- CHICK-FIL-A "EXIT" SIGN
- PRESELL MENU BOARD
- THE CONTRACTOR SHALL INSTALL NECESSARY TRAFFIC CONTROL, SAFETY BARRICADES, LIGHTING, AND OTHER REQUIRED CONTROL MEASURES TO SECURE THE WORK AREA FROM EXISTING TRAFFIC AND TO ASSURE PUBLIC SAFETY.
- BITUMASTIC EXPANSION JOINT, TYPICAL. INSTALL EXPANSION JOINT BETWEEN ALL CONCRETE PAVEMENT INTERFACES WITH BUILDINGS, CURB & GUTTER, AND OTHER CONSTRAINED OBJECTS.
- SITE CONTRACTOR SHALL REFER TO ARCHITECT PLANS FOR THE EXACT DIMENSIONS OF THE BUILDING AND THE LOCATION OF DOORWAYS, UTILITIES, ETC.
- GATES TO BE INSTALLED BY BUILDING CONTRACTOR WITH DUMPSTER STRUCTURE. COORDINATE WITH PAVEMENT INSTALLATION.
- MANHOLE (HOWARD COUNTY STD. DETAIL G 5.11)
- 4" WIDE WHITE STRIPING
- LANDSCAPE ISLAND
- PROPOSED FIRE HYDRANT
- PROPOSED STORMWATER MANAGEMENT RECHARGE FACILITY (SEE SHEET 19 FOR DETAIL)
- 6x18 VOLUME STORMFILTER (SEE SHEET 18 FOR DETAIL)
- PROPOSED SANITARY MANHOLE (HOWARD COUNTY STD. DETAIL G 5.12)
- PROPOSED RETAINING WALL WITH SAFETY RAIL (REFER TO RETAINING WALL DESIGN)
- PROPOSED CONCRETE SIDEWALK
- PROPOSED BOLLARDS AT TRASH ENCLOSURE
- TRAFFIC BEARING CLEANOUT
- PROPOSED HEADWALL (HOWARD COUNTY STD. SD 5.11) WITH RIP RAP OUTFALL
- 2' FLUME
- PROPOSED LOADING AREA (TO BE USED AFTER RESTAURANT OPERATION HOURS)
- CONCRETE CURB
- INLET (HOWARD COUNTY STD. DETAIL SD-4.23)
- PROPOSED CROSSWALK
- PROPOSED 2" CURB CUT
- PROPOSED DUMPSTER WITH CONCRETE APPROACH PAD WITH WOODEN SCREENING FENCE
- ACCESS MANHOLE
- PROPOSED GUARD RAIL
- NOSE DOWN CURB
- PROPOSED CHAINLINK FENCE
- PROPOSED OUTLET STRUCTURE (SEE SHEET 19 FOR DETAIL)
- PROPOSED STEPS (SEE SHEET 5 FOR DETAIL)
- PROPOSED TREE WELL (SEE SHEET 16 FOR DETAIL)
- 3/4" WATER METER FOR IRRIGATION

AS-BUILT CERTIFICATION

I HEREBY CERTIFY, BY MY SEAL, THAT THE CONDITIONS SHOWN ON THIS PLAN WERE CONSTRUCTED TO THE LINES AND GRADES SHOWN ON THIS "AS-BUILT" PLAN, AND MEET THE APPROVED PLANS AND SPECIFICATIONS AND ALSO THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND.

Michael D. Adcock 5/19/2013 DATE

MICHAEL D. ADCOCK, PROFESSIONAL LAND SURVEYOR
MD REG. NO. 21257, EXPIRATION DATE: 06-16-15

FOR REVISION 3 ONLY

STATE OF MARYLAND
MICHAEL D. ADCOCK
PROFESSIONAL LAND SURVEYOR
NO. 21257

FOR REVISION 9 ONLY

STATE OF MARYLAND
MICHAEL D. ADCOCK
PROFESSIONAL LAND SURVEYOR
NO. 21257

FOR REVISION 7 ONLY

STATE OF MARYLAND
MICHAEL D. ADCOCK
PROFESSIONAL LAND SURVEYOR
NO. 21257

FOR REVISION 10 ONLY

STATE OF MARYLAND
MICHAEL D. ADCOCK
PROFESSIONAL LAND SURVEYOR
NO. 21257

FOR REVISION 8 ONLY

STATE OF MARYLAND
MICHAEL D. ADCOCK
PROFESSIONAL LAND SURVEYOR
NO. 21257

AS-BUILT

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Michael D. Adcock 5/14/19 DATE

CHIEF-DEVELOPMENT ENGINEERING DIVISION

Michael D. Adcock 5/21/19 DATE

CHIEF-DIVISION & LAND DEVELOPMENT

Michael D. Adcock 5/21/19 DATE

DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.

B. Wilson for Peter B. Wilson 8/1/17 DATE

HOWARD COUNTY HEALTH DEPARTMENT

CHIEF HEALTH OFFICER

NO. 3-2-24 UPDATED COVER

NO. 1-17-2013 PROPOSED VESICAL LOCATION

NO. 2-1-17-1222 IRRIGATION LINE (CFA SERVICE YARD REVISIONS)

NO. 12/06/07 RETAIL BLDG AREA & ACCESS POINT LOCATIONS

OWNER: NN FULTON CENTER, LLC
12526 WESTLAND CT
MILTON, MD 20759

DEVELOPER: CHICK-FIL-A
5200 BURTSTOWN ROAD
ATLANTA, GA 30349-2998
C/O SCOTT PATHMAN
PHONE: (404) 684-8660

CHICK-FIL-A RESTAURANT & MEDICAL BUILDING
PART OF LOT 1, HOPKINS STATION (FORMER PRICE FARMS, LOT1)

AREA 3.59 AC. TAX MAP 41 GRID 22 ZONED B-2
PARCEL 425 L 3,095, F. 39 & L. 7004, F. 653
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

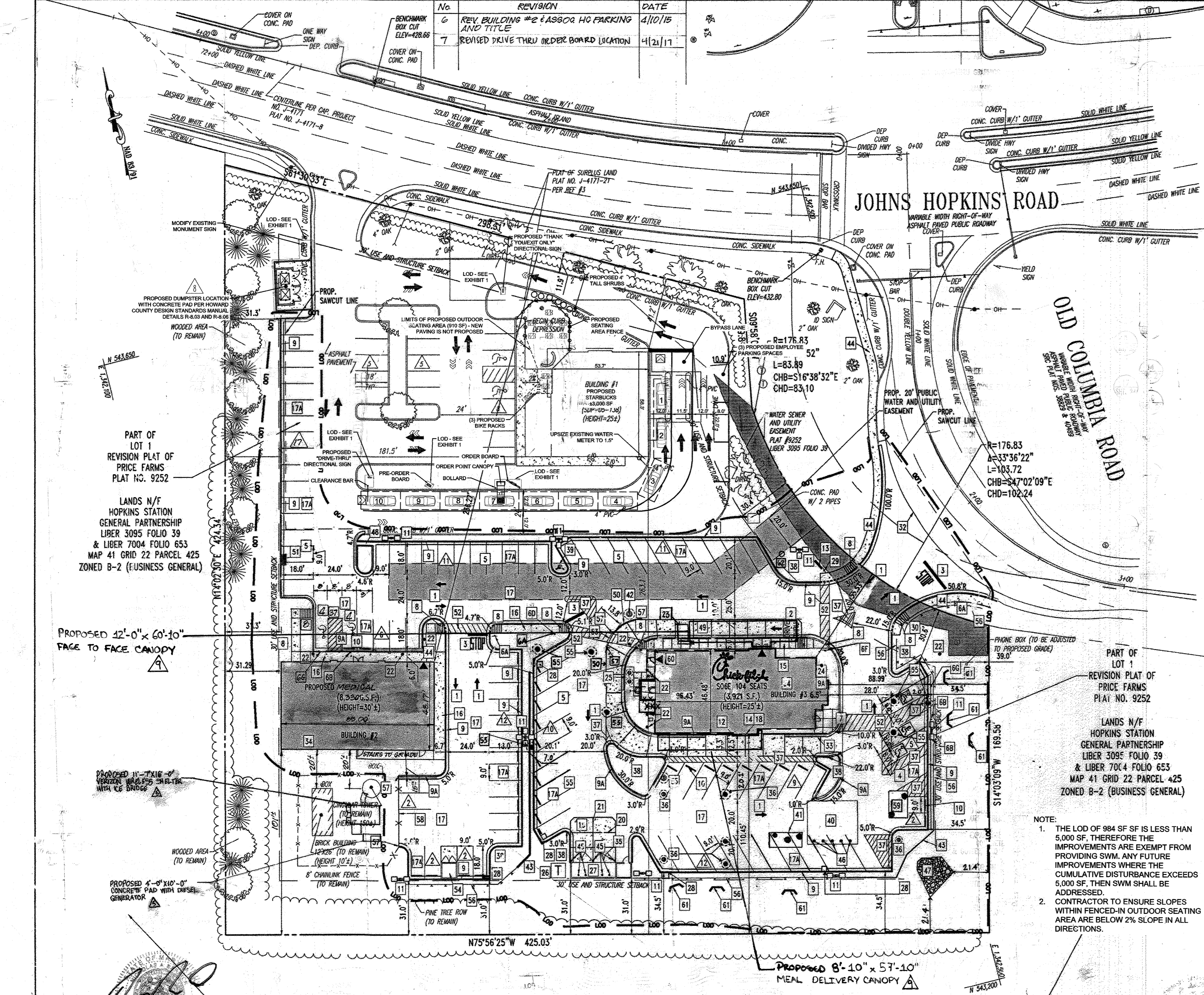
SITE PLAN

BOHLER ENGINEERING, P.C.

Professional Engineering Services
8110 GREENBROOK COVE, SUITE 300, TOWSON, MD 21286
(410) 981-7999 FAX (410) 981-7997 www.bohlereng.com

REVISION: 12/15/06
DESIGNED BY: JD
DRAWN BY: RLB
PROJECT NO.: MD056502.1
DATE: 9/28/06
SCALE: 1"=30'
SHEET NO. 4 OF 30

SDP # 07-033



REVISIONS

| NO. | REVISION | DATE |
|-----|--|------------|
| 8 | CHANGE OF USE OF BLDG. 1 FROM A COMMERCIAL BANK TO A RETAIL COFFEESHOP (STARBUCKS) | 2019-05-07 |

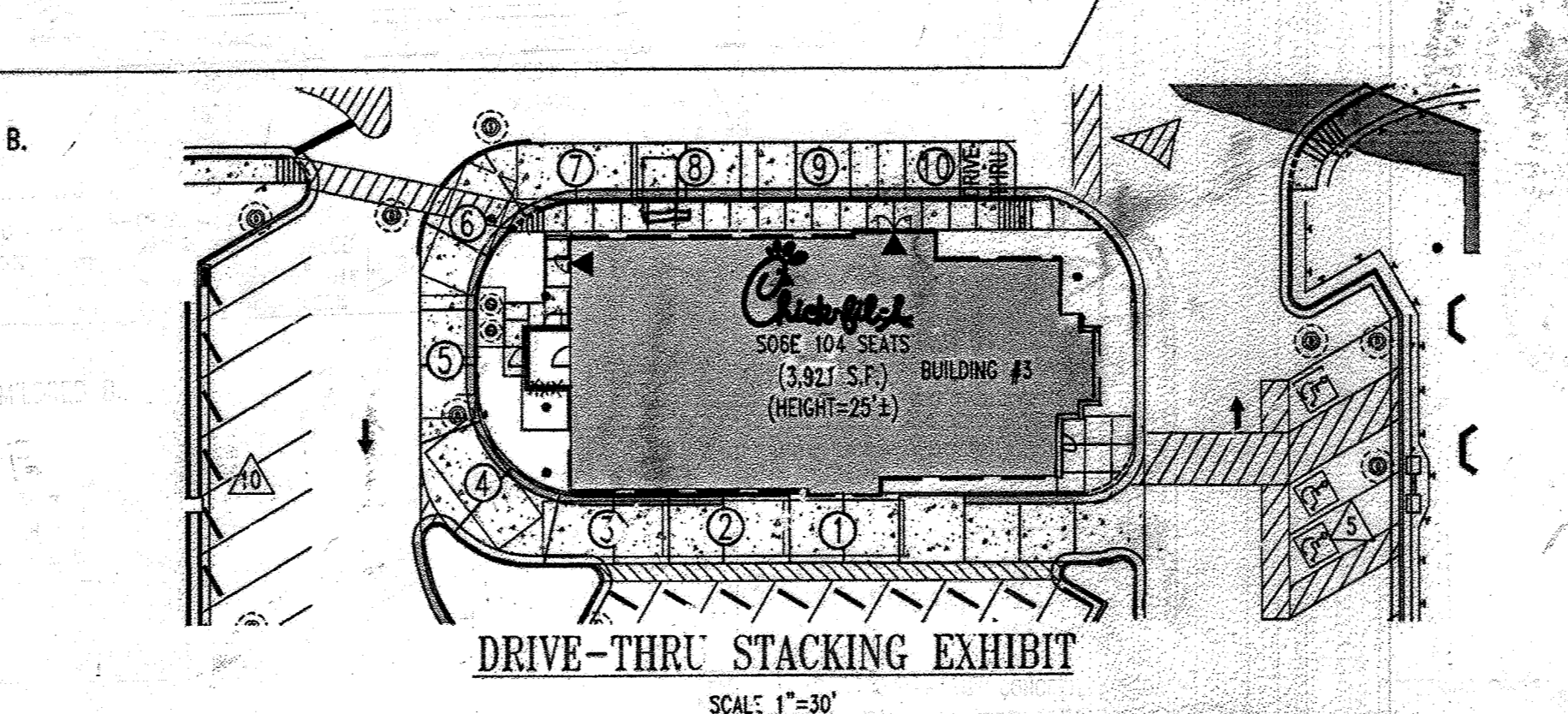
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GRAPHIC SCALE

1 inch = 30 ft.

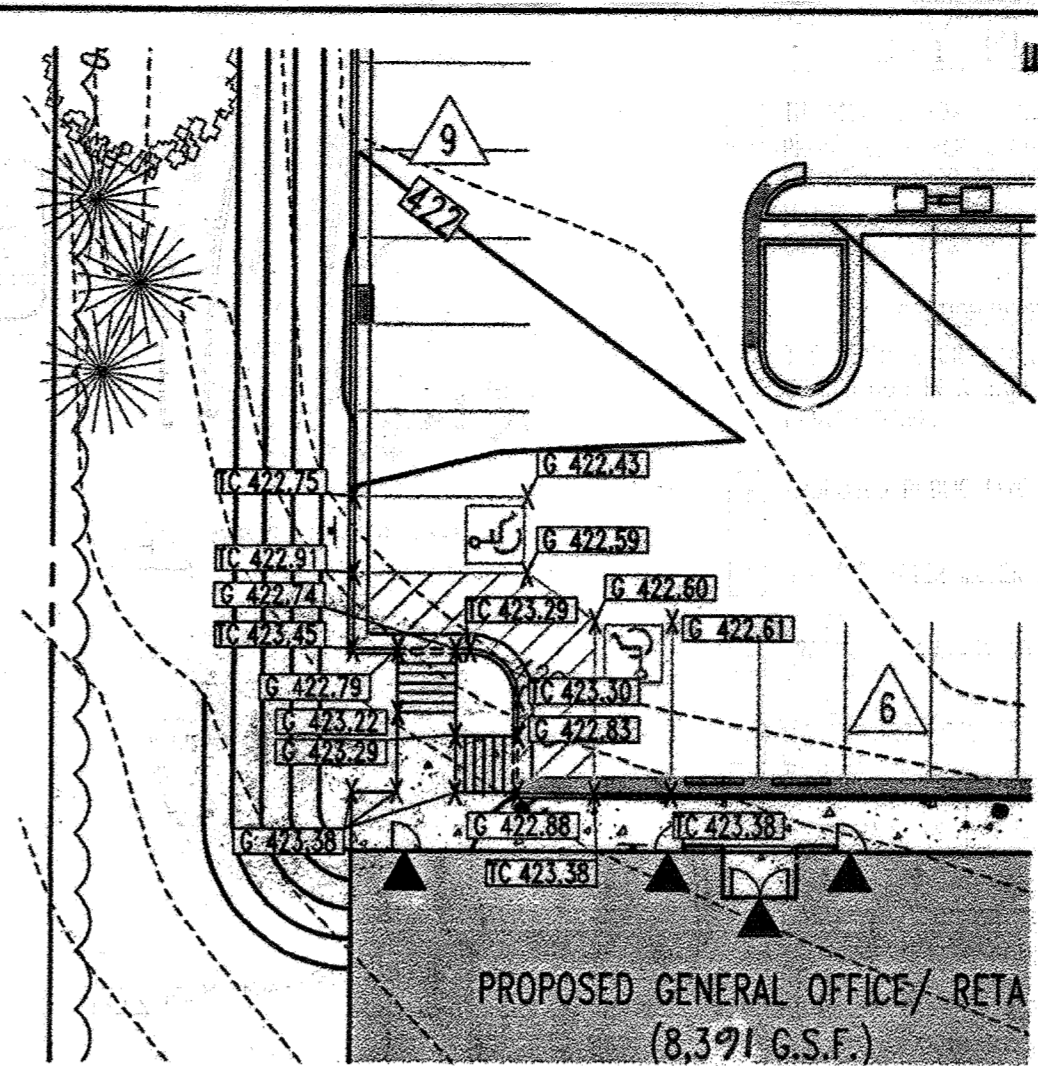
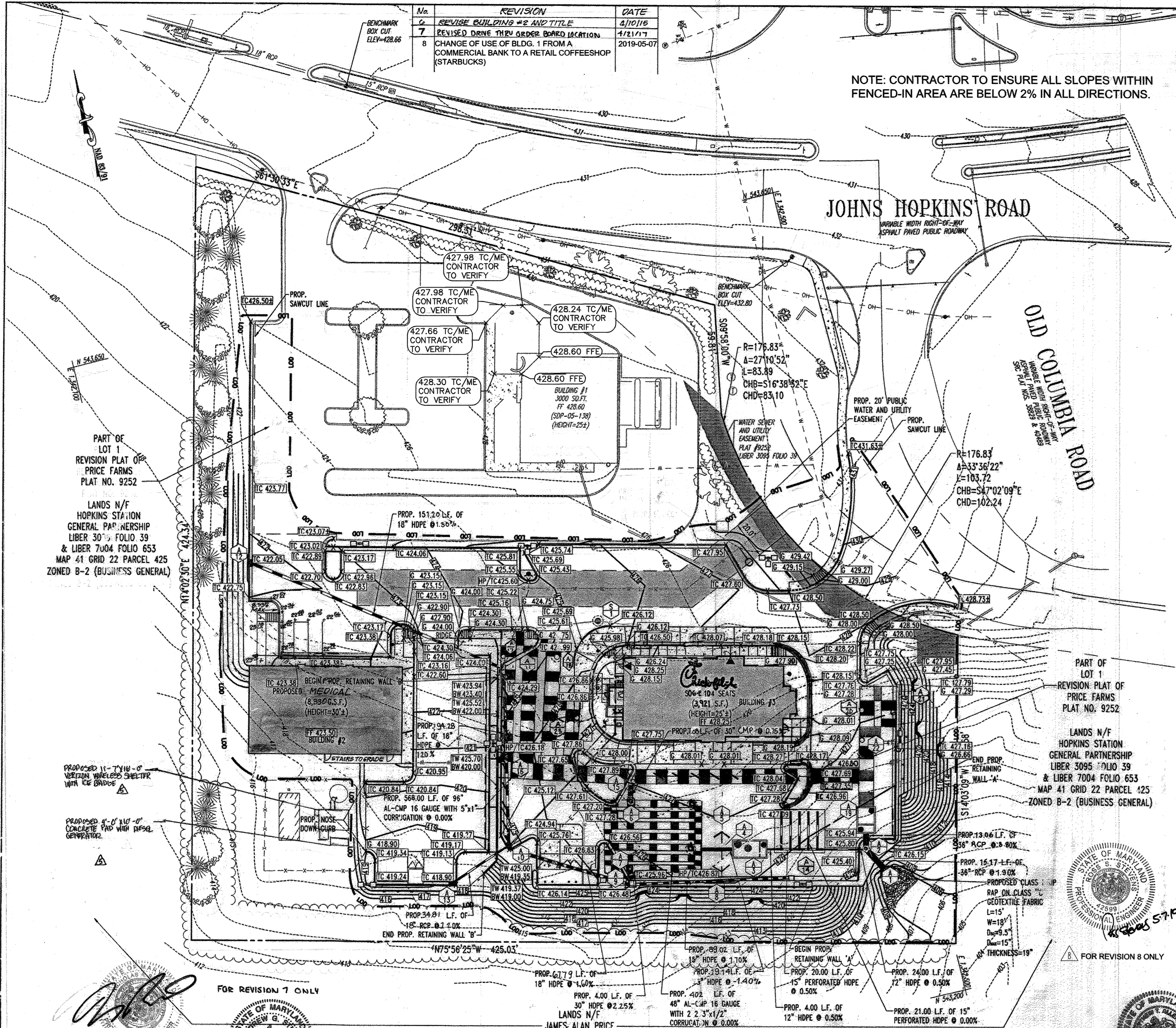
Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

License No. 3372 Expiration Date 6/30/15

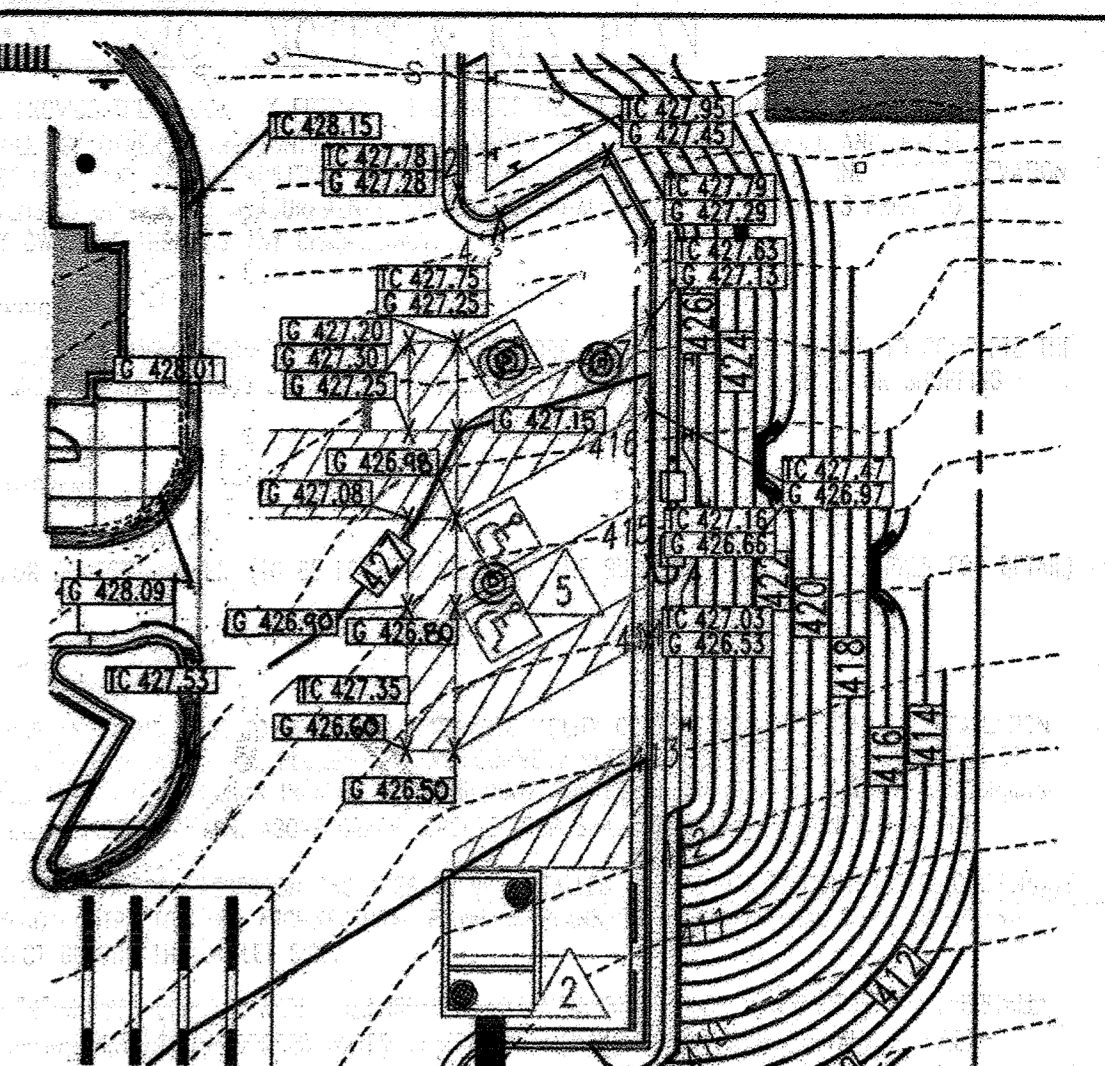


| No. | REVISION | DATE |
|-----|--|------------|
| 6 | REVISE BUILDING #2 AND TITLE | 4/10/16 |
| 7 | REVISED DRIVE THRU ORDER BOARD LOCATION | 1/21/17 |
| 8 | CHANGE OF USE OF BLDG. 1 FROM A COMMERCIAL BANK TO A RETAIL COFFEESHOP (STARBUCKS) | 2019-05-07 |

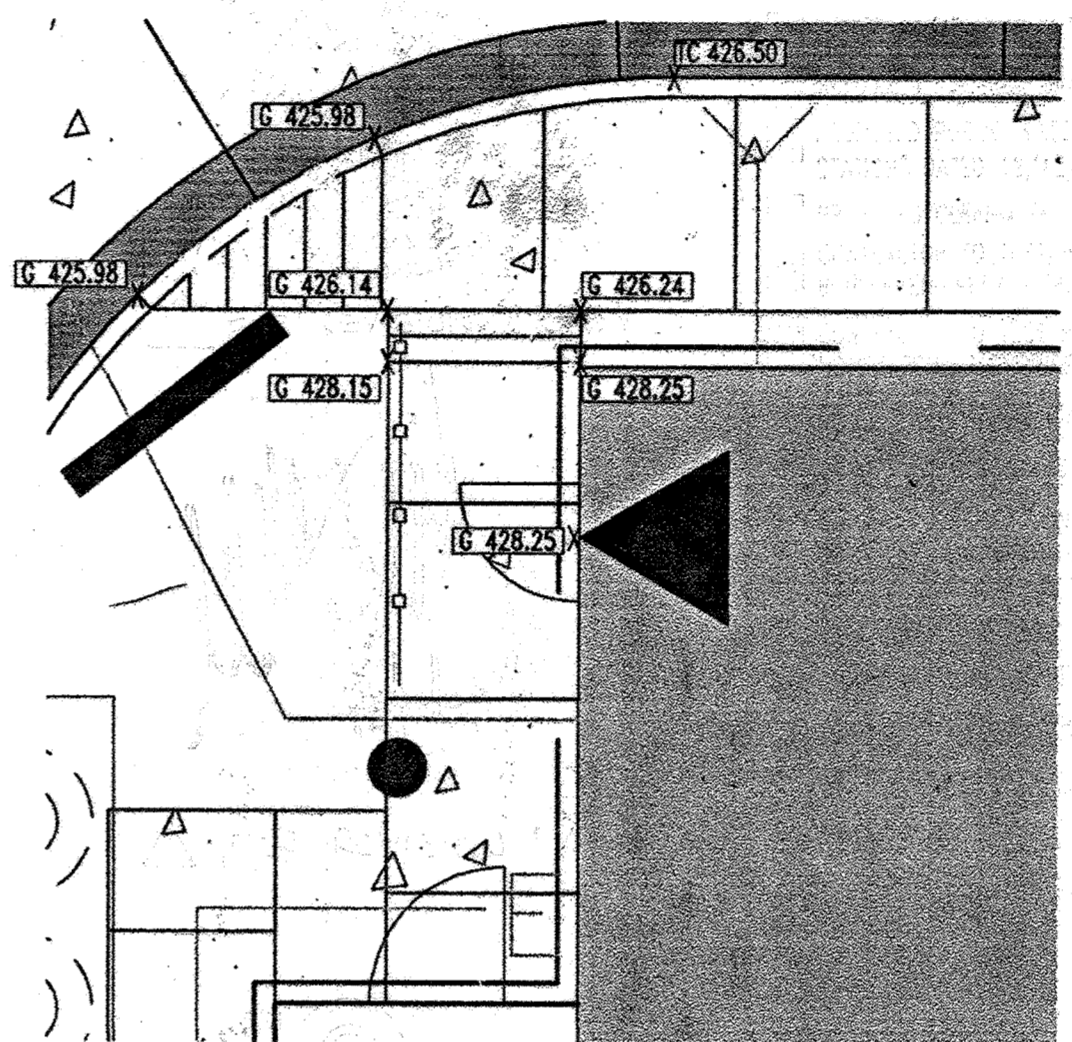
NOTE: CONTRACTOR TO ENSURE ALL SLOPES WITHIN FENCED-IN AREA ARE BELOW 2% IN ALL DIRECTIONS.



HANDICAP PARKING BLOW UP
SCALE: 1"=20'



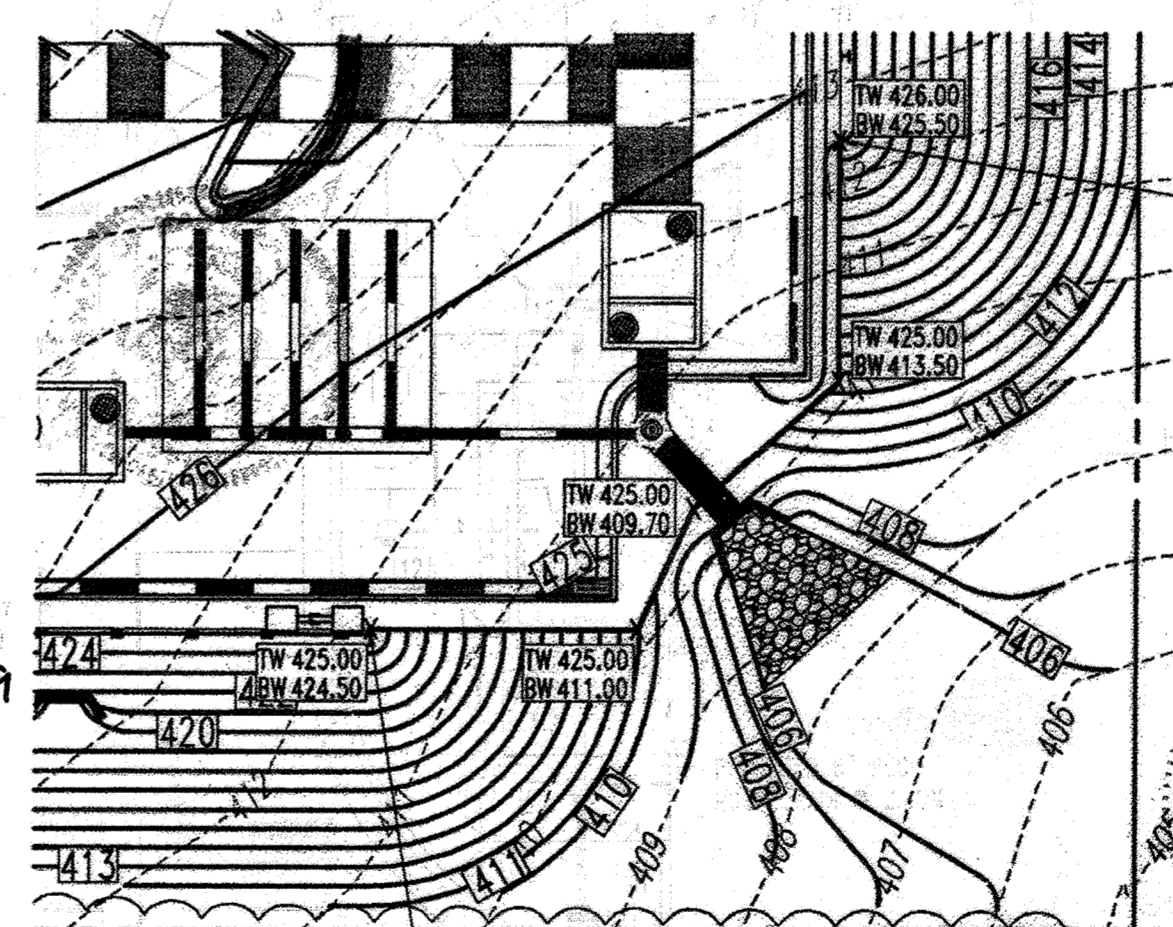
HANDICAP PARKING BLOW UP
SCALE: 1"=20'



STEPS BLOW UP
SCALE: 1"=5'

LEGEND:

| | |
|-----------|--------------------------------|
| (---) 123 | PROPOSED CONTOUR |
| (---) 123 | EXISTING CONTOUR |
| (---) 123 | PROPOSED ELEVATION SPOT |
| (---) 123 | TOP OF CURB |
| (---) 123 | GROUND |
| (---) 123 | TOP OF WALL |
| (---) 123 | BOTTOM OF WALL |
| (---) 123 | TOP OF GRATE |
| (---) 123 | PROPOSED STORM SEWER |
| (---) 123 | EXISTING STORM SEWER |
| (---) 123 | PROPOSED SANITARY SEWER |
| (---) 123 | EXISTING SANITARY SEWER |
| (---) 123 | PROPOSED UNDERGROUND GAS |
| (---) 123 | EXISTING UNDERGROUND GAS |
| (---) 123 | PROPOSED UNDERGROUND WATER |
| (---) 123 | EXISTING UNDERGROUND WATER |
| (---) 123 | PROPOSED UNDERGROUND ELECTRIC |
| (---) 123 | EXISTING UNDERGROUND ELECTRIC |
| (---) 123 | PROPOSED UNDERGROUND TELEPHONE |
| (---) 123 | EXISTING UNDERGROUND TELEPHONE |
| (---) 123 | EXISTING OVERHEAD LINES |
| (---) 123 | LIMIT OF DISTURBANCE |
| (---) 123 | SPILL CURB |



RETAINING WALL BLOW UP
SCALE: 1"=20'

AS-BUILT

APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] 9-11-19
 CHIEF DEVELOPMENT ENGINEERING DIVISION DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
[Signature] 5-21-19
 CHIEF DIVISION & LAND DEVELOPMENT DATE

APPROVED: COUNTY HEALTH OFFICER
[Signature] 8/2/19
 HOWARD COUNTY HEALTH DEPARTMENT DATE

NO. 1 DATE REVISION DESCRIPTION

OWNER:
 NN HULTON CENTER, LLC
 12526 WESTLAND CT
 FULTON, MD. 20759

DEVELOPER:
 CHICK-FIL-A
 6200 BUFFINGTON ROAD
 ATLANTA, GA 30349-2998
 C/O SCOTT PATMAN
 PHONE: (404) 884-8660

CHICK-FIL-A RESTAURANT & MEDICAL BUILDING
 PART OF LOT 1, HOPKINS STATION (FORMER PRICE FARMS, LOT1)
 JOHNS HOPKINS ROAD
 LAUREL, HOWARD COUNTY, MARYLAND

AREA 3.59 AC, TAX MAP 41, GRID 22 ZONED B-2
 PARCEL 425 L. 3095, F. 39 & L. 7004, F. 653
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

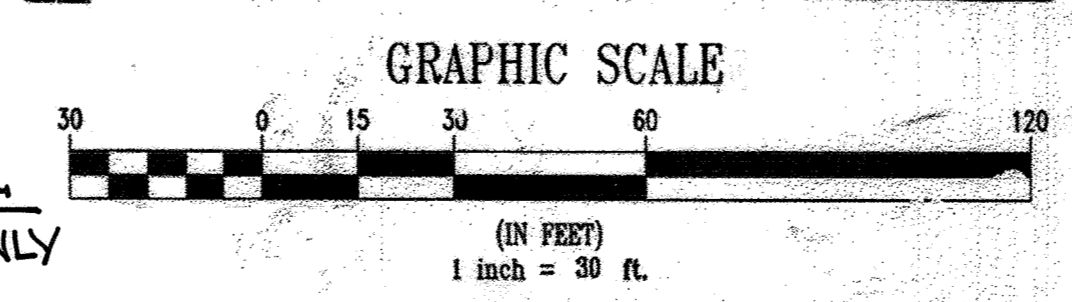
GENERAL NOTE:
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AS-BUILT CERTIFICATION
 I HEREBY CERTIFY, BY MY SEAL, THAT THE CONDITIONS SHOWN ON THIS PLAN WERE CONSTRUCTED TO THE LINES AND GRADES SHOWN ON THIS "AS-BUILT" PLAN AND MEET THE APPROVED PLANS AND SPECIFICATIONS AND ALSO THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER AND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND.

[Signature]
 MICHAEL D. ADCOCK, PROFESSIONAL LAND SURVEYOR
 MD REG. NO. 21287, EXPIRATION DATE: 06-16-19

PROFESSIONAL CERTIFICATION
 I, JOSEPH A. DICAPPO, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 3504, EXPIRATION DATE: 02/28/20

[Signature]
 JOSEPH A. DICAPPO, PROFESSIONAL ENGINEER



[Signature]
 FOR REVISION 5 ONLY

[Signature]
 FOR REVISION 7 ONLY

[Signature]
 FOR REVISION 8 ONLY

[Signature]
 FOR REVISION 9 ONLY

[Signature]
 FOR REVISION 3 ONLY

[Signature]
 FOR REVISION 2 ONLY

[Signature]
 FOR REVISION 1 ONLY

PROFESSIONAL CERTIFICATION
 I, JOSEPH A. DICAPPO, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 3504, EXPIRATION DATE: 02/28/20

[Signature]
 JOSEPH A. DICAPPO, PROFESSIONAL ENGINEER

MISS UTILITY

BEFORE YOU DIG CALL
 1-800-955-7277
 PROTECT YOURSELF, YOUR HOME
 AND YOUR BUSINESS.

THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OSHA SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREO APPROPRIATE.

THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

BOHLER ENGINEERING, P.C.

PROFESSIONAL ENGINEERING SURVEYING
 4810 GREENBELT COURT, SUITE 300, TOWSON, MD 21286
 (410) 851-7800 FAX (410) 851-7801

REVISION: 12/15/05
 DESIGNED BY: JDB
 DRAWN BY: RLB
 PROJECT NO.: MD05620.1
 DATE: 9/28/06
 SCALE: 1"=30'
 DRAWING NO. 5 OF 30

| No. | REVISION | DATE |
|-----|--------------------------------------|---------|
| 6 | REVISED DRIVE THROUGH BOARD LOCATION | 4/14/15 |
| 7 | REVISED DRIVE THROUGH BOARD LOCATION | 4/11/17 |

PROFESSIONAL CERTIFICATION
I, JOSEPH J. LUCIFORNO, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 33772, EXPIRATION DATE: 06-16-15

6-18-13

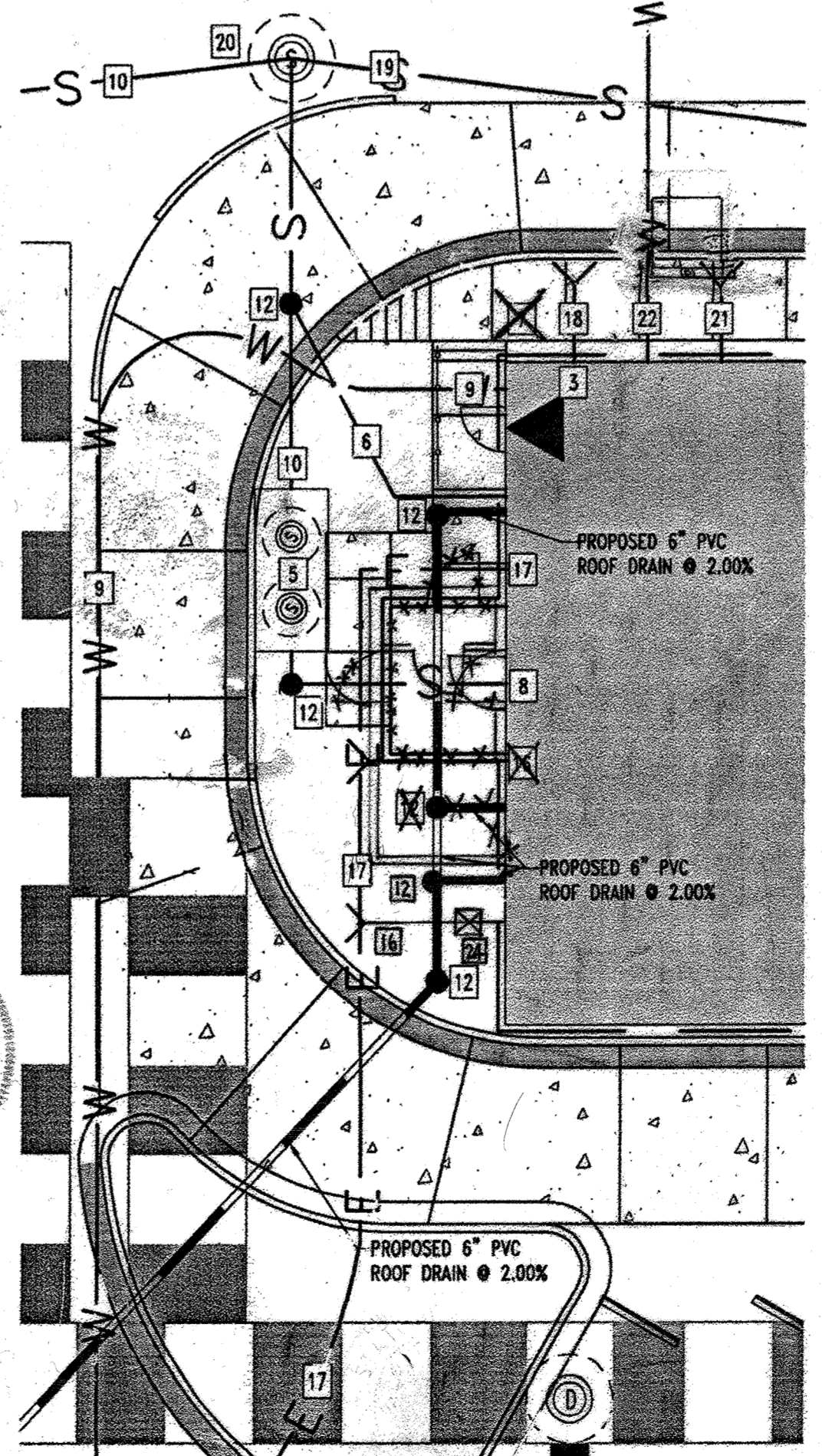
UTILITY PLAN DESIGN NOTES & KEY PLAN

- THE CONTRACTOR SHALL PROVIDE THE NECESSARY FITTINGS TO CONNECT THE NEW SERVICE LINE EXTENSION TO THE PROPOSED SEWER MANHOLE (BY OTHERS). THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, MATERIAL AND INVERT ELEVATION PRIOR TO INSTALLING ANY SEWER FACILITIES. MINOR ADJUSTMENTS TO THE NEW SERVICE LINE INVERT ELEVATION MAY BE NECESSARY DEPENDING UPON FIELD MEASUREMENTS. CONTRACTOR SHALL FIELD VERIFY INVERTS PRIOR TO CONSTRUCTION & NOTIFY OWNER IF THERE IS ANY DISCREPANCY.
- CAUTION/WARNING
THE CONTRACTOR SHALL USE EXTREME CAUTION TO PROPERLY SHEET, SHORE, AND DEWATER EXCAVATION TO COMPLETE THE CONNECTION IN A SAFE MANNER, AND WITHOUT DAMAGE OR SETTLEMENT TO EXISTING FACILITIES, ROAD OR SHOPPING CENTER DRIVE.
- PROPOSED PUBLIC FIRE HYDRANT
- 1-1/2" WATER METER FOR DOMESTIC WATER. (TO BE LOCATED INSIDE OF THE BUILDING. SEE ARCHITECTURALS FOR DETAIL)
- PROPOSED SANITARY MANHOLE
- 1,000 GALLON GREASE TRAP AND VENT LINES TO BE INSTALLED BY SITE UTILITY CONTRACTOR. COORDINATE INSTALLATION WITH BUILDING CONTRACTOR AND ARCHITECTURAL PLUMBING PLANS. CONNECT RESTROOM SERVICE LINE DOWNSTREAM OF GREASE TRAP OUTLET SIDE AT INVERT ELEVATION INDICATED. COORDINATE TOP ELEVATION OF GREASE TRAP WITH GRADING PLAN. MANHOLE TOPS SHALL BE SET 0.2' MIN. ABOVE GRADE. GREASE TRAP SHALL BE HOWARD COUNTY DPW STD.
- 4" SEWER LATERAL AND CLEANOUT FROM RESTROOM FACILITIES TO BE INSTALLED BY SITE UTILITY CONTRACTOR. COORDINATE INSTALLATION WITH BUILDING CONTRACTOR AND ARCHITECTURAL PLUMBING PLANS. BATHROOM LATERAL SHALL BY-PASS GREASE TRAP AND CONNECT BEYOND THE OUTLET SIDE.
- DOMESTIC 1-1/2" TYPE "K" COPPER DRY TAP WATER SERVICE LINE LOCATION. SITE UTILITY CONTRACTOR SHALL INSTALL DOMESTIC WATER SERVICE LINE FROM THE PROPOSED WATER METER TO THE MAIN BUILDING CUTOFF VALVE. (SEE ARCHITECT PLUMBING PLAN). 1" WATER LINE, TYPE "K" COPPER FOR IRRADIATION WITH 3/4" METER.
- 4" KITCHEN LATERAL. INSTALL CLEANOUT APPROXIMATELY 10' FROM FACE OF BUILDING. COORDINATE WITH BUILDING CONTRACTOR AND ARCHITECTURAL PLUMBING PLANS. CONNECT KITCHEN LATERAL TO GREASE TRAP.
- INSTALL 3/4" TYPE "K" COPPER WATER SERVICE (HOT & COLD) TO TRASH ENCLOSURE.
- INSTALL 4" SCH 40 SANITARY SEWER PVC @ 2.00% SLOPE (MIN.) SEE PROFILES FOR ACTUAL DESIGN AND SLOPE.
- PROPOSED PUBLIC WATER SERVICE (SEE PLANS BY BOHLER ENGINEERING, P.C. TITLED "PUBLIC WATER EXTENSION, HOPKINS STATION" DATED 12/12/06, CONTRACT NO. 44-4469-D.
- PROPOSED CLEANOUT
- CONTRACTOR TO TEST FIT FOR EXACT LOCATION AND INVERT OF WATER SERVICE CONNECTION. CONTRACTOR TO NOTIFY BOHLER ENGINEERING P.C. IMMEDIATELY WITH ANY DISCREPANCIES.
- CONTRACTOR TO TEST FIT FOR EXACT LOCATION AND INVERT OF SANITARY SEWER SERVICE CONNECTION. CONTRACTOR TO NOTIFY BOHLER ENGINEERING P.C. IMMEDIATELY WITH ANY DISCREPANCIES.
- PROPOSED ELECTRIC TRANSFORMER
- GAS SERVICE (CONTRACTOR TO COORDINATE EXACT LOCATION WITH RESPECTIVE UTILITY COMPANY)
- ELECTRIC SERVICE (CONTRACTOR TO COORDINATE EXACT LOCATION WITH RESPECTIVE UTILITY COMPANY)
- TELEPHONE SERVICE (CONTRACTOR TO COORDINATE EXACT LOCATION WITH RESPECTIVE UTILITY COMPANY)
- PROPOSED PRIVATE 6" SDR 35 PVC SANITARY SEWER
- PROPOSED SANITARY DROP MANHOLE
- PROPOSED FIRE DEPARTMENT SIAMSE CONNECTION
- PROPOSED 6" FIRE HOUSE CONNECTION
- CONTRACTOR TO MAKE FIELD CONNECTION INTO STORMDRAIN SYSTEM
- GAS METER LOCATION

AS-BUILT

UTILITY NOTES

- CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACK FILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE SHALL BE PLACED BELOW (DOWNSLOPE OF) TRENCH.
- PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
- ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE RE-APPLIED IMMEDIATELY.



DETAIL FOR UTILITY PLAN
SCALE: 1"=10'

| NO. | REVISION | DATE |
|-----|--|------------|
| 8 | CHANGE OF USE OF BLDG. 1 FROM A COMMERCIAL BANK TO A RETAIL COFFEESHOP (STARBUCKS) | 2019-05-07 |
| 9 | UPDATED OWNER | 3-4-24 |

APPROVED: DEPARTMENT OF PLANNING AND ZONING
CHIEF DEVELOPMENT ENGINEERING DIVISION
DATE: 5-21-19

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
DATE: 5-21-19

APPROVED: FOR REVISION 8 ONLY
DATE: 5-21-19

APPROVED: MISS UTILITY
DATE: 5-21-19

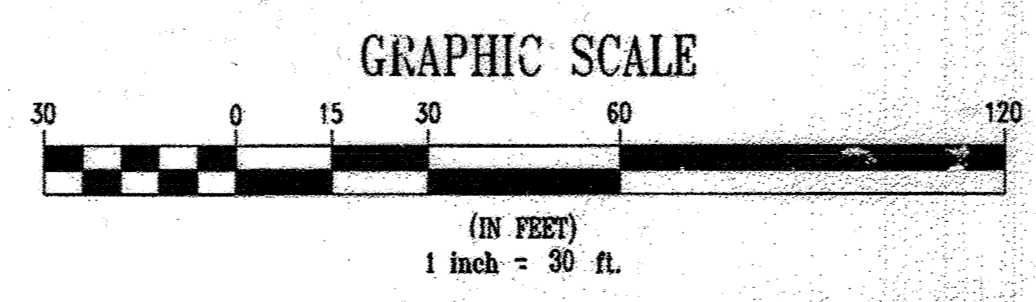
APPROVED: BOHLER ENGINEERING, P.C.
DATE: 5-21-19

| | |
|--|--|
| OWNER: NN FULTON CENTER, LLC 12526 WESTLAND CT FULTON MD 20759 | DEVELOPER: CHICK-FIL-A 5200 BUFFINGTON ROAD ATLANTA, GA 30349-2998 C/O SCOTT PARMAN PHONE: (404) 684-8660 |
| AREA 3.59 AC. TAX MAP 41 GRID 22 ZONED B-2 PARCEL 425 L. 3,095, F. 39 & L. 7004, F. 653 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND | |

| | |
|---------------------|------------|
| DESIGNED BY: JD | REVISIONS: |
| DRAWN BY: RLB | NO. 1 |
| DATE: 9/28/06 | NO. 2 |
| SCALE: 1"=30' | NO. 3 |
| DRAWING NO. 6 OF 30 | NO. 4 |

AS-BUILT CERTIFICATION

I HEREBY CERTIFY, BY MY SEAL, THAT THE CONDITIONS SHOWN ON THIS PLAN WERE CONSTRUCTED TO THE LINES AND GRADES SHOWN ON THIS AS-BUILT PLAN, AND MEET THE APPROVED PLANS AND SPECIFICATIONS AND ALSO THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND.
MICHAEL D. ADCOCK, PROFESSIONAL LAND SURVEYOR
MD REG. NO. 21297, EXPIRATION DATE: 06-16-15



FOR REVISION 9 ONLY

JAMES ALAN PRICE, TR., OF THE MILDRED B. PRICE FAMILY LIVING TRUST
LIBER 5359 FOLIO 486
MAP 41 GRID 22 PARCEL 128
ZONED RR-MXD-3 (RESIDENTIAL)

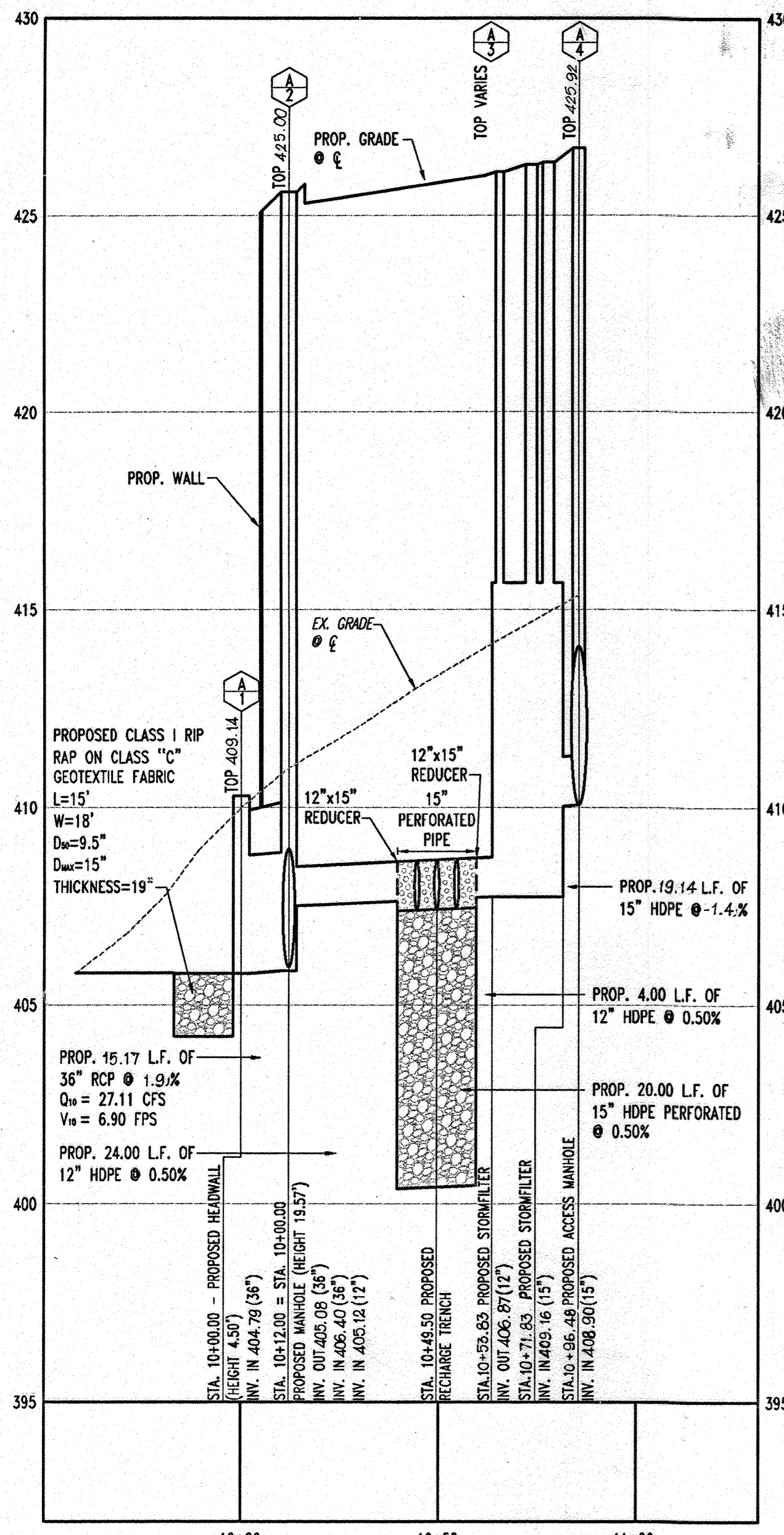
FOR REVISION 7 ONLY

LANDS N/F
LIBER 5359 FOLIO 489
MAP 41 GRID 22 PARCEL 128
ZONED RR-MXD-3 (RESIDENTIAL)

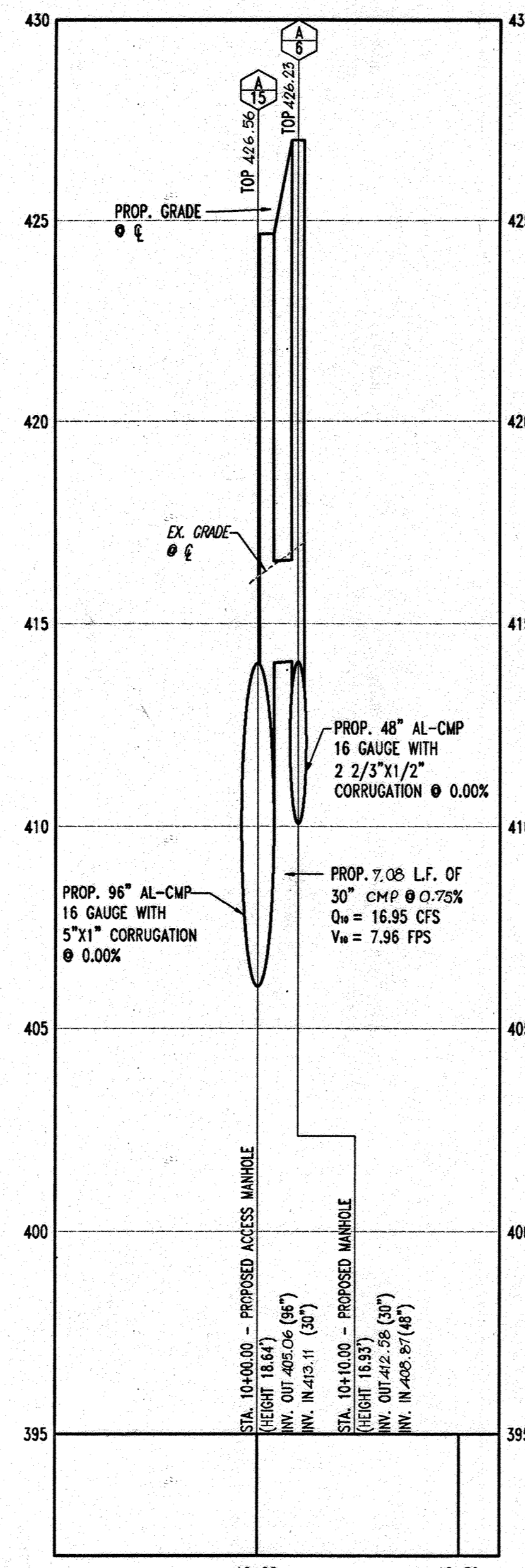
FOR REVISION 5 ONLY

LANDS N/F
LIBER 5359 FOLIO 489
MAP 41 GRID 22 PARCEL 128
ZONED RR-MXD-3 (RESIDENTIAL)

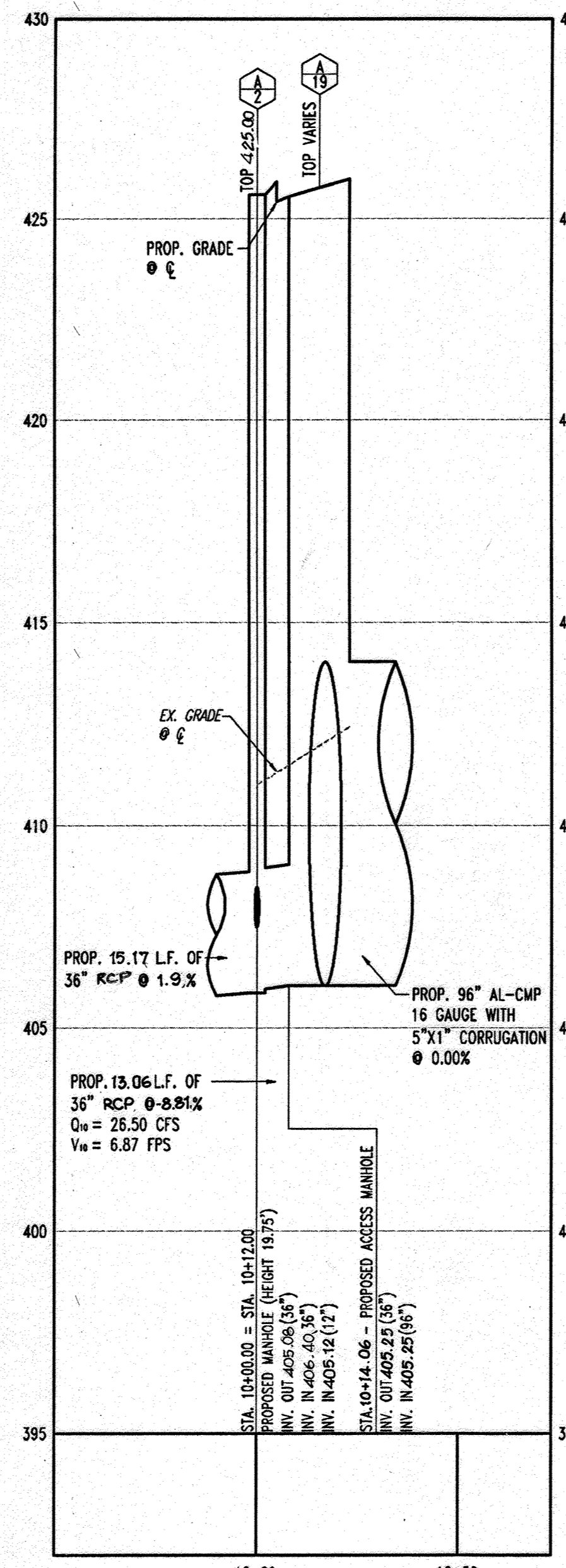
GENERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY BOHLER ENGINEERING, P.C. IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY BOHLER ENGINEERING, P.C. SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.



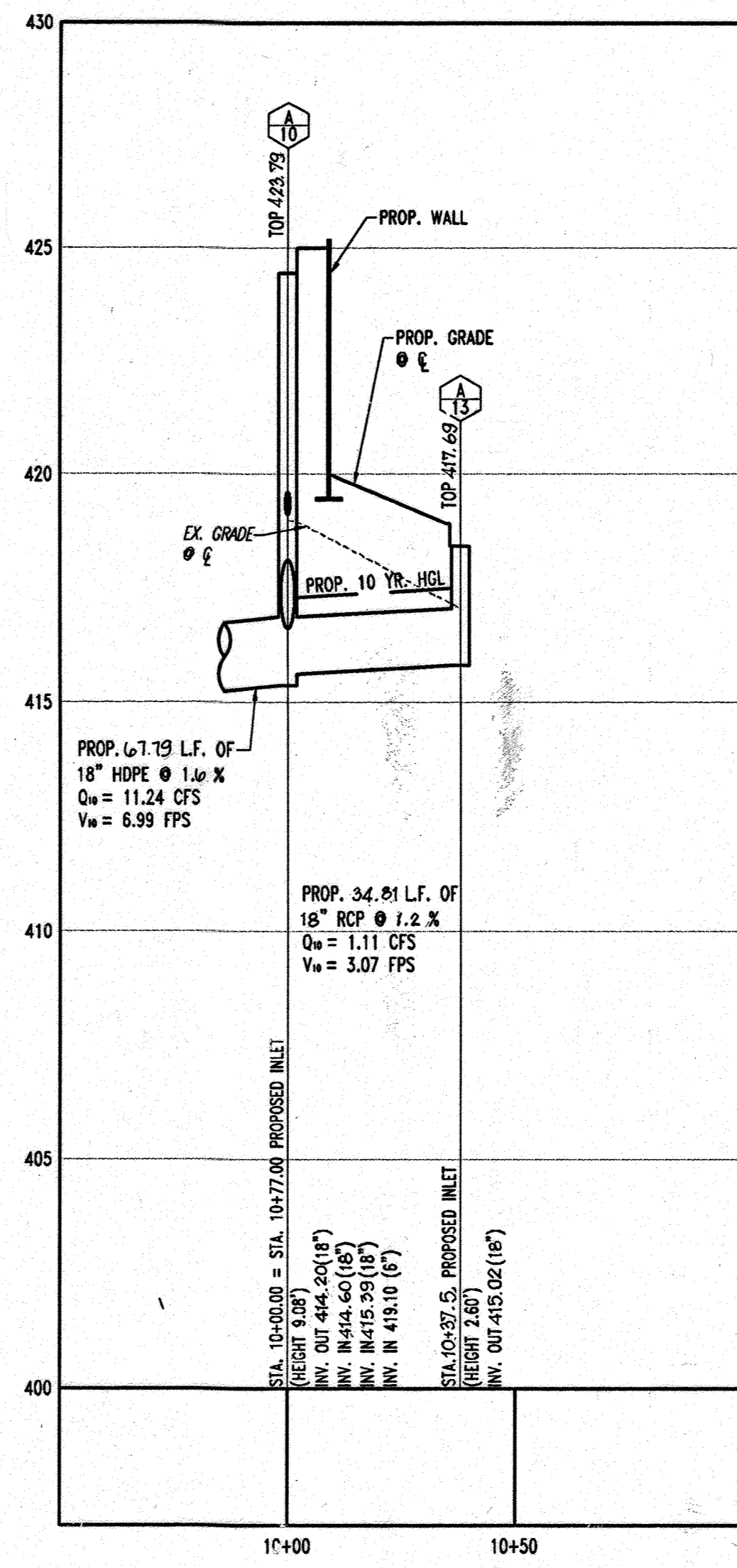
STORMDRAIN PROFILE A-1 TO A-4
SCALE: HORIZ. 1"=30'
VERT. 1"=3'



STORMDRAIN PROFILE A-15 TO A-6
SCALE: HORIZ. 1"=30'
VERT. 1"=3'

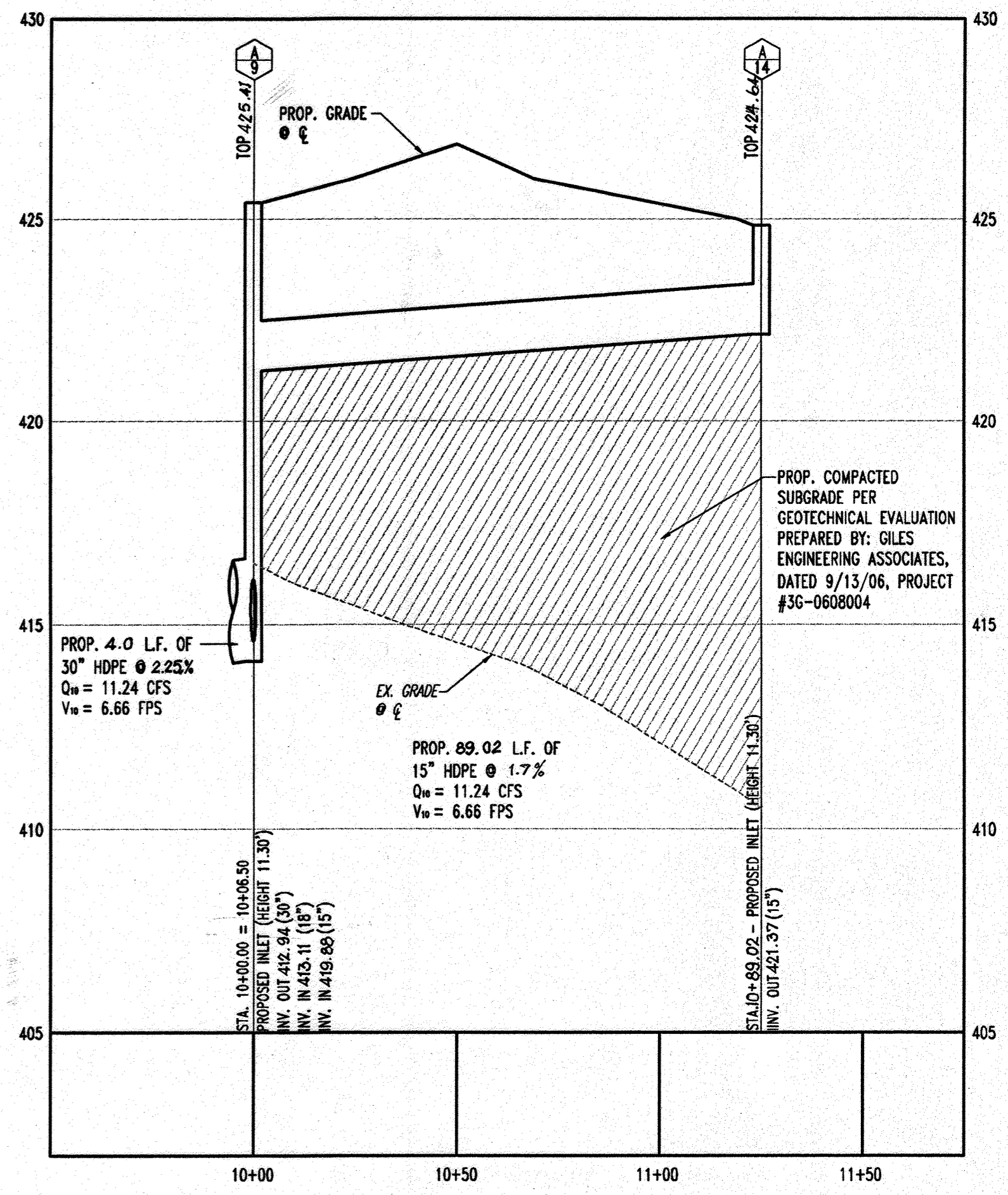


STORMDRAIN PROFILE A-2 TO A-19
SCALE: HORIZ. 1"=30'
VERT. 1"=3'



STORMDRAIN PROFILE A-10 TO A-13
SCALE: HORIZ. 1"=30'
VERT. 1"=3'
AS-BUILT CERTIFICATION

I HEREBY CERTIFY, BY MY SEAL, THAT THE CONDITIONS SHOWN ON THIS PLAN WERE CONSTRUCTED TO THE LINES AND GRADES SHOWN ON THIS "AS-BUILT" PLAN, AND MEET THE APPROVED PLANS AND SPECIFICATIONS AND ALSO THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND.
MICHAEL D. ADCOCK, PROFESSIONAL LAND SURVEYOR
MD REG. NO. 21257, EXPIRATION DATE: 06-16-15
DATE: 5/16/00



STORMDRAIN PROFILE A-9 TO A-14
SCALE: HORIZ. 1"=30'
VERT. 1"=3'

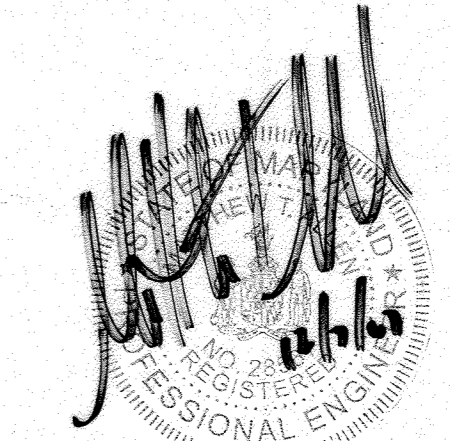
| SIZE | DESCRIPTION | LENGTH |
|--------|-----------------|----------|
| 6" | D.I.P. | 105 L.F. |
| 1-1/2" | COPPER TYPE 'K' | 105 L.F. |
| 3/4" | COPPER TYPE 'K' | 145 L.F. |
| 6" | PVC | 126 L.F. |
| 4" | PVC | 205 L.F. |

| SIZE | DESCRIPTION | LENGTH |
|------|-----------------|----------|
| 96" | AL-CMP | 565 L.F. |
| 48" | AL-CMP | 402 L.F. |
| 30" | CMP | 7 L.F. |
| 30" | HDPE | 4 L.F. |
| 12" | HDPE | 29 L.F. |
| 18" | HDPE | 313 L.F. |
| 18" | RCP | 35 L.F. |
| 15" | PERFORATED HDPE | 107 L.F. |
| 15" | HDPE | 108 L.F. |
| 36" | RCP | 28 L.F. |

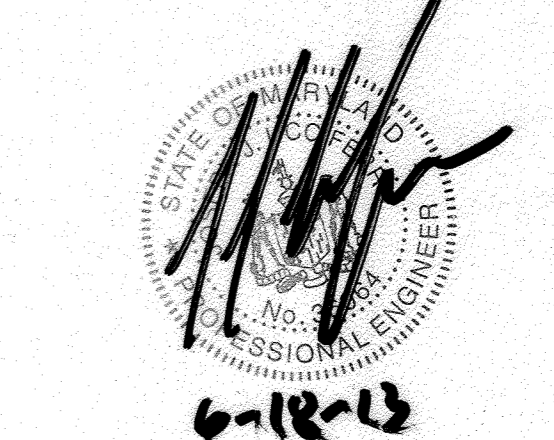
| STRUCTURE# | DESCRIPTION | RIM/GRATE | INV. IN | INV. OUT |
|------------|--|-----------|---|--------------|
| 1 | TYPE 'A' HEADWALL (HOWARD COUNTY STD. SD-5.11) | 403.14 | 404.79 (36") | -- |
| 2 | PROP. MANHOLE (HOWARD COUNTY STD. G-5.11) | 425.50 | 405.12 (12") 406.40 (36") | 405.08 (36") |
| 3 | PRECAST 8'x18" STORM/FILTER | VARIES | 409.16 (15") | 406.87 (12") |
| 4 | PROP. MANHOLE (HOWARD COUNTY STD. G-5.11) | 425.92 | 408.90 (48") | 408.90 (15") |
| 5 | PROP. MANHOLE (HOWARD COUNTY STD. G-5.11) | 426.70 | 409.00 (48") | 409.00 (48") |
| 6 | PROP. MANHOLE (HOWARD COUNTY STD. G-5.11) | 426.23 | 408.87 (48") | 412.85 (30") |
| 7 | PROP. MANHOLE (HOWARD COUNTY STD. G-5.11) | 425.03 | 412.87 (30") 409.05 (48") | 409.05 (48") |
| 8 | PROP. MANHOLE (HOWARD COUNTY STD. G-5.11) | 425.59 | 408.83 (48") | 408.83 (48") |
| 9 | PROP. INLET TYPE 'S' (HOWARD COUNTY STD. SD-4.22) | 425.41 | 413.11 (18") 419.88 (15") | 412.94 (30") |
| 10 | PROP. INLET TYPE 'S' (HOWARD COUNTY STD. SD-4.22) | 423.79 | 414.60 (18") 415.39 (18") 419.10 (6") | 414.20 (18") |
| 11 | PROP. INLET TYPE 'S' (HOWARD COUNTY STD. SD-4.22) | 424.82 | 416.65 (18") | 416.61 (18") |
| 12 | PROP. DOUBLE INLET TYPE 'S' (HOWARD COUNTY STD. SD-4.23) | 421.16 | -- | 417.12 (18") |
| 13 | PROP. INLET TYPE 'S' (HOWARD COUNTY STD. SD-4.22) | 417.69 | -- | 415.02 (15") |

| STRUCTURE# | DESCRIPTION | RIM/GRATE | INV. IN | INV. OUT |
|------------|---|-----------|--------------|--------------|
| 14 | PROP. INLET TYPE 'S' (HOWARD COUNTY STD. SD-4.22) | 424.64 | -- | 421.37 (15") |
| 15 | PROP. 36" ACCESS MANHOLE | 426.56 | 413.11 (30") | 405.06 (96") |
| 16 | PROP. 36" ACCESS MANHOLE | 425.05 | 405.28 (96") | 405.28 (96") |
| 17 | PROP. 36" ACCESS MANHOLE | 424.48 | 405.29 (96") | 405.28 (96") |
| 18 | PROP. 36" ACCESS MANHOLE | 425.48 | 405.61 (96") | 405.61 (96") |
| 19 | PROP. OUTLET STRUCTURE | VARIES | 405.25 (96") | 405.25 (36") |
| 20 | PROP. 36" ACCESS MANHOLE | 426.37 | 405.69 (96") | 405.69 (96") |
| 21 | PROP. 36" ACCESS MANHOLE | 426.41 | 406.09 (96") | 406.09 (36") |
| 22 | PROP. 36" ACCESS MANHOLE | 425.94 | 405.55 (96") | 405.55 (96") |
| 23 | PROP. 36" ACCESS MANHOLE | 426.37 | 405.35 (96") | 405.35 (96") |

GENERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY BOHLER ENGINEERING, P.C. IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY BOHLER ENGINEERING, P.C. SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.



FOR REVISION 1 ONLY



FOR REVISION 4 ONLY

PROFESSIONAL CERTIFICATION
I, JOSEPH A. LICOPPOLO, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 30264, EXPIRATION DATE: 08/28/24.

MISS UTILITY



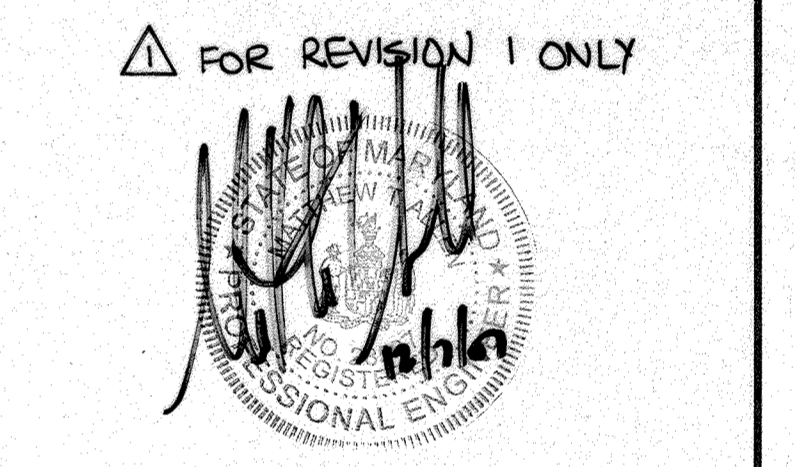
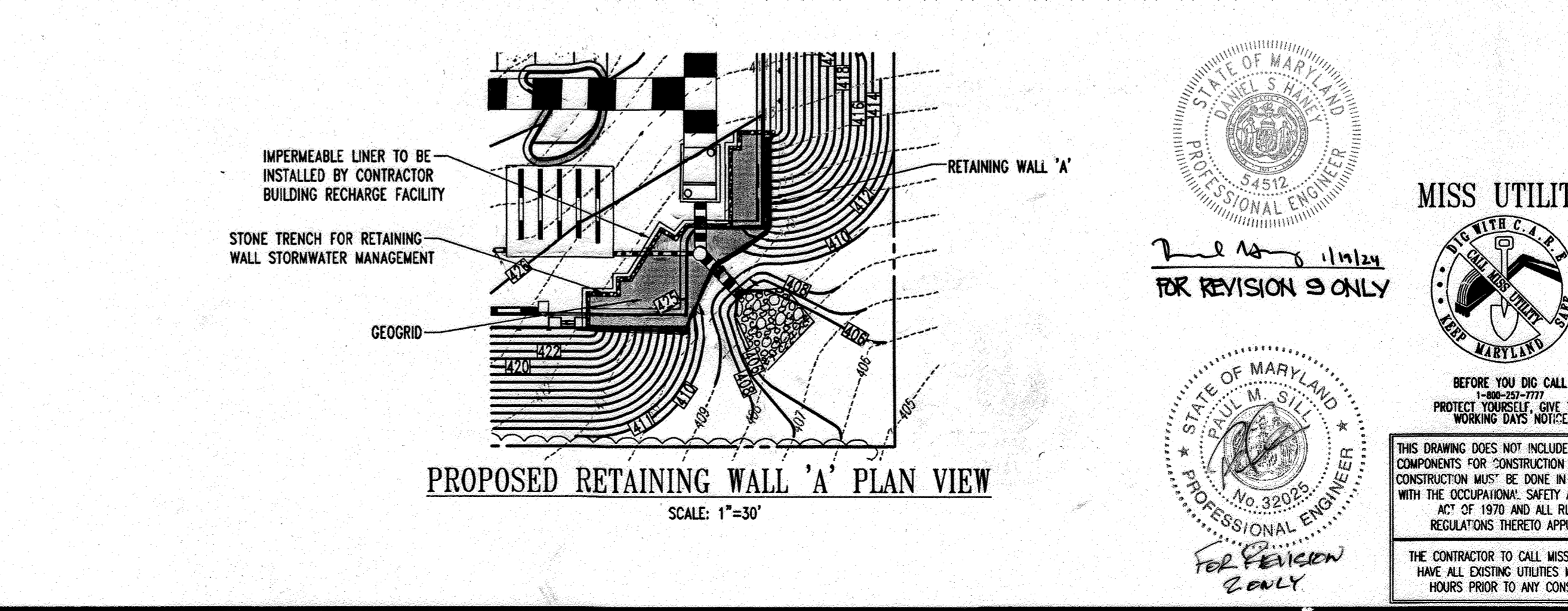
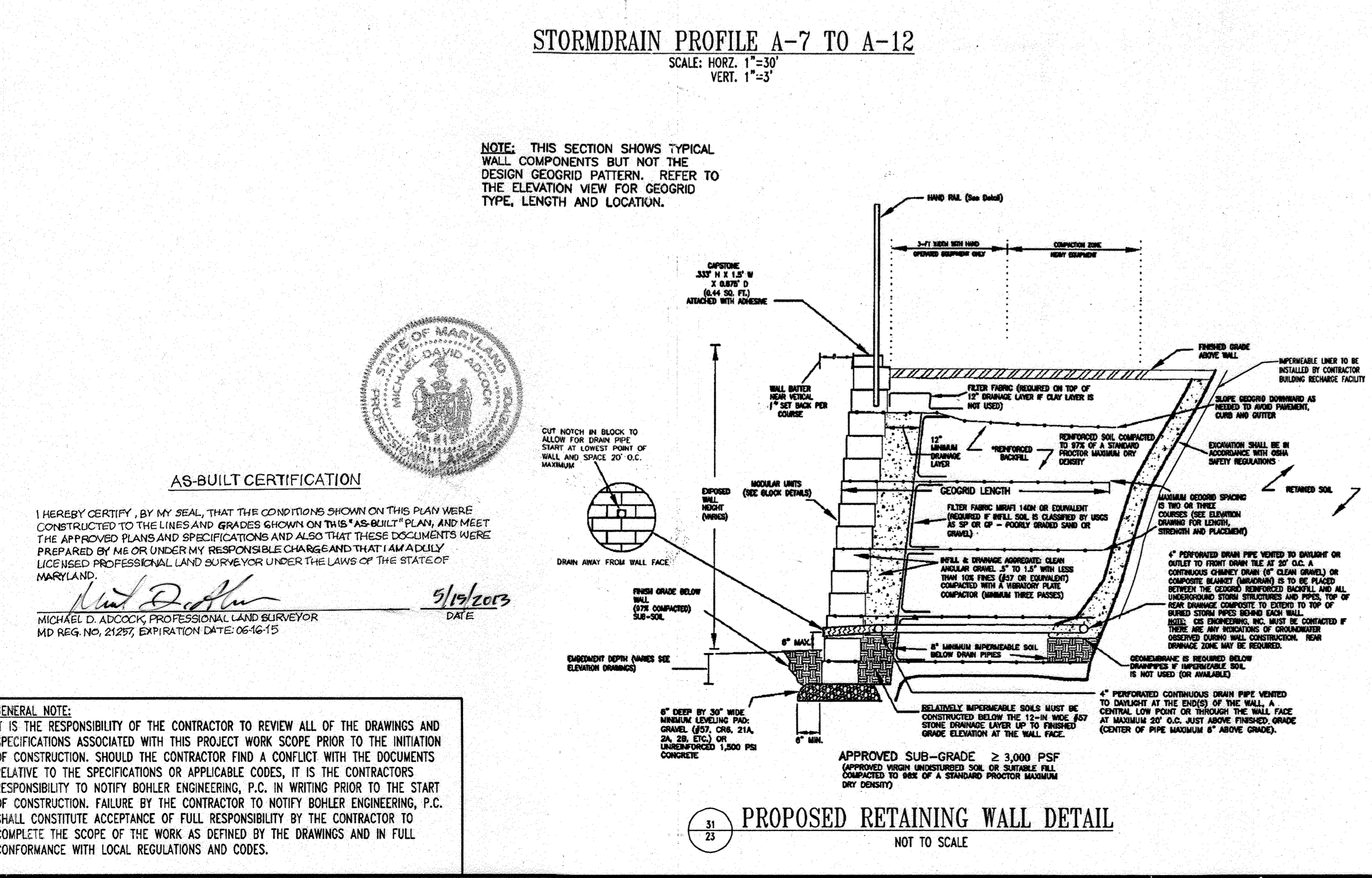
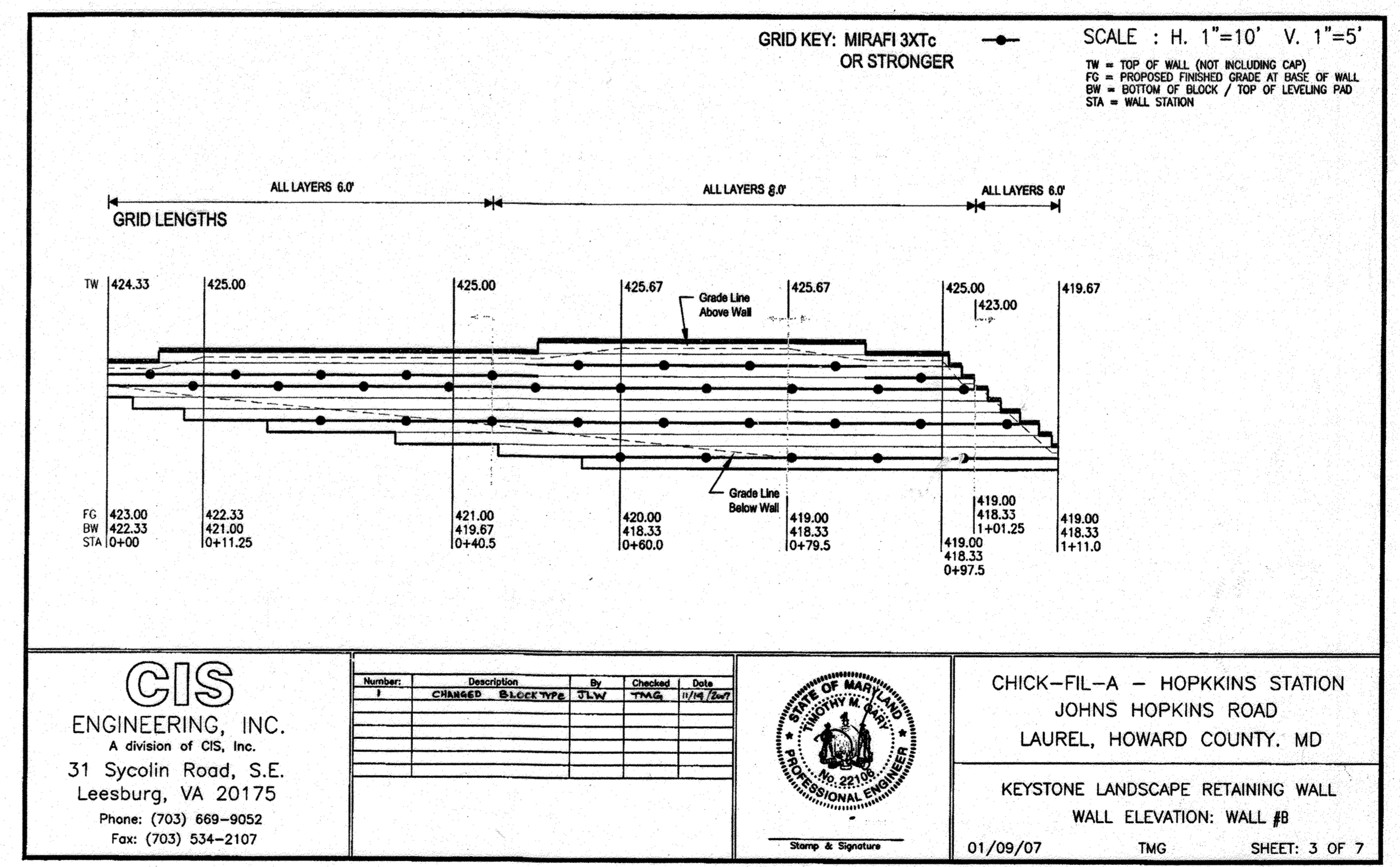
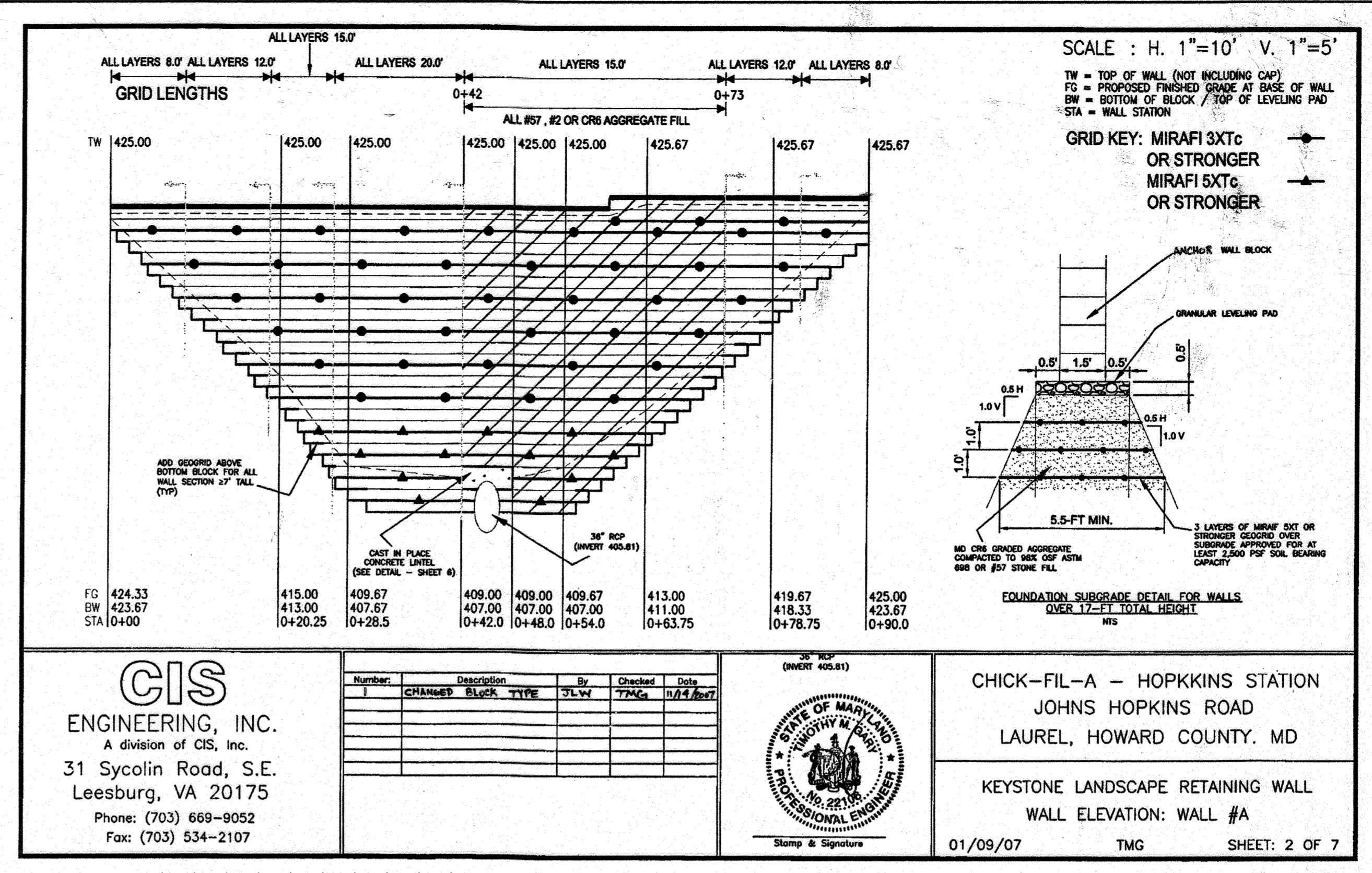
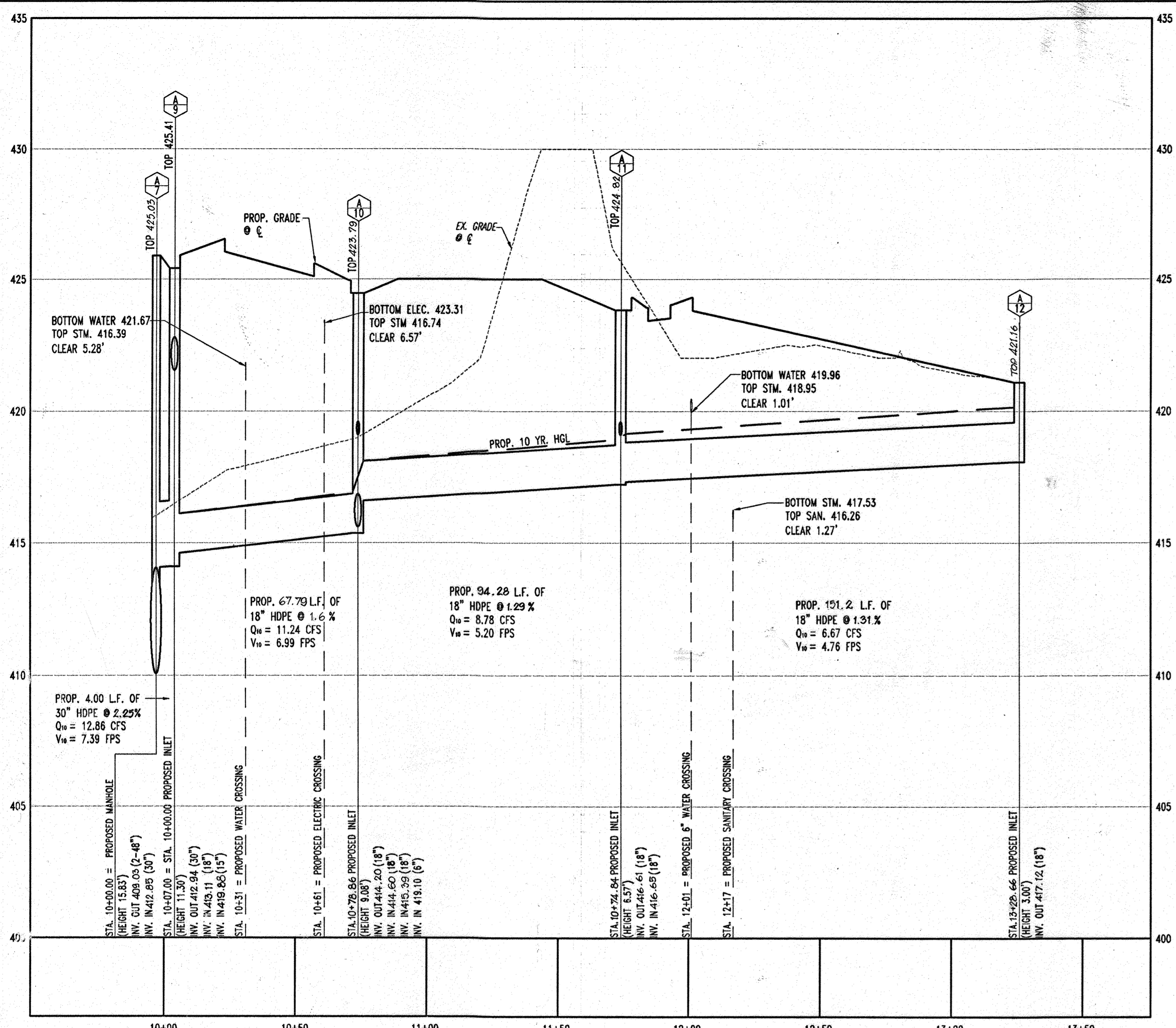
BEFORE YOU DIG CALL 1-800-221-7777. PROJECT YOURSELF, ONE TWO WORKING DAYS NOTICE.
THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SCHED. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREOF APPLICABLE.
THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

AS-BUILT
APPROVED: DEPARTMENT OF PLANNING AND ZONING
CHIEF-DEVELOPMENT ENGINEERING DIVISION
DATE: 5/16/00
CHIEF-DIVISION & LAND DEVELOPMENT
DATE: 5/16/00
DIRECTOR
DATE: 5/16/00

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT
DATE: 1/20/00
OWNER: NIN FULTON CENTER, LLC
20526 WESTLAND CT
FULTON MD 20759
DEVELOPER: CHICK-FIL-A
5200 BUFFINGTON ROAD
ATLANTA, GA 30349-2998
C/O SCOTT PATMAN
PHONE: (404) 684-8660

CHICK-FIL-A RESTAURANT & MEDICAL BUILDING
PART OF LOT 1, HOPKINS STATION (CONYER PRICE FARMS, LOTT)
JOHNS HOPKINS ROAD
LAUREL, HOWARD COUNTY, MARYLAND
AREA 3.59 AC. TAX MAP 41 GRID 22 ZONED B-2
PARCEL 425 L. 3,095. F. 39 & L. 7004. F. 653
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

BOHLER ENGINEERING, P.C.
Professional Engineering Services
810 GLENKENSLEY COURT, SUITE 300, TOWSON, MD 21286
(410) 321-7900 FAX (410) 321-7997 | bpe@bohlere.com
DATE: 12/15/06
REVISED: 12/15/06
DESIGNED BY: JD
DRAWN BY: RLB
PROJECT NO.: M0056502.1
DATE: 9/28/06
SCALE: AS SHOWN
DRAWING NO. 7 OF 30



AS-BUILT

APPROVED: DEPARTMENT OF PLANNING AND ZONING
DATE: 7/19/06

CHIEF-DEVELOPMENT ENGINEERING DIVISION
DATE: 8/3/06

CHIEF-DIVISION & LAND DEVELOPMENT
DATE: 8/6/07

DIRECTOR
DATE: 8/6/07

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.

Barbara J. Peter Delemon
COUNTY HEALTH OFFICER
HOWARD COUNTY DEPARTMENT
DATE: 7/19/06

3-A-24 UPDATED OWNER
4/11/10 REVISE TITLE
12/06/07 REVISED RET. WALL BLOCK MATERIAL

OWNER: NN FULTON CENTER, LLC
2052C WESTLAND CT
FULTON MD. 20759

DEVELOPER: CHICK-FIL-A
5200 BUFFINGTON ROAD
ATLANTA, GA 30349-2998
C/O SCOTT PATMAN
PHONE: (404) 684-8660

CHECK-FIL-A RESTAURANT & MEDICAL BUILDING
PART OF LOT 1, HOPKINS STATION (FORMER PRICE FARMS, LOT1)
JOHNS HOPKINS ROAD
LAUREL, HOWARD COUNTY, MARYLAND

AREA 3.59 AC. TAX MAP 41 GRID 22 ZONED B-2
PARCEL 425 L. 3,095, F. 39 & L. 7004, F. 653
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

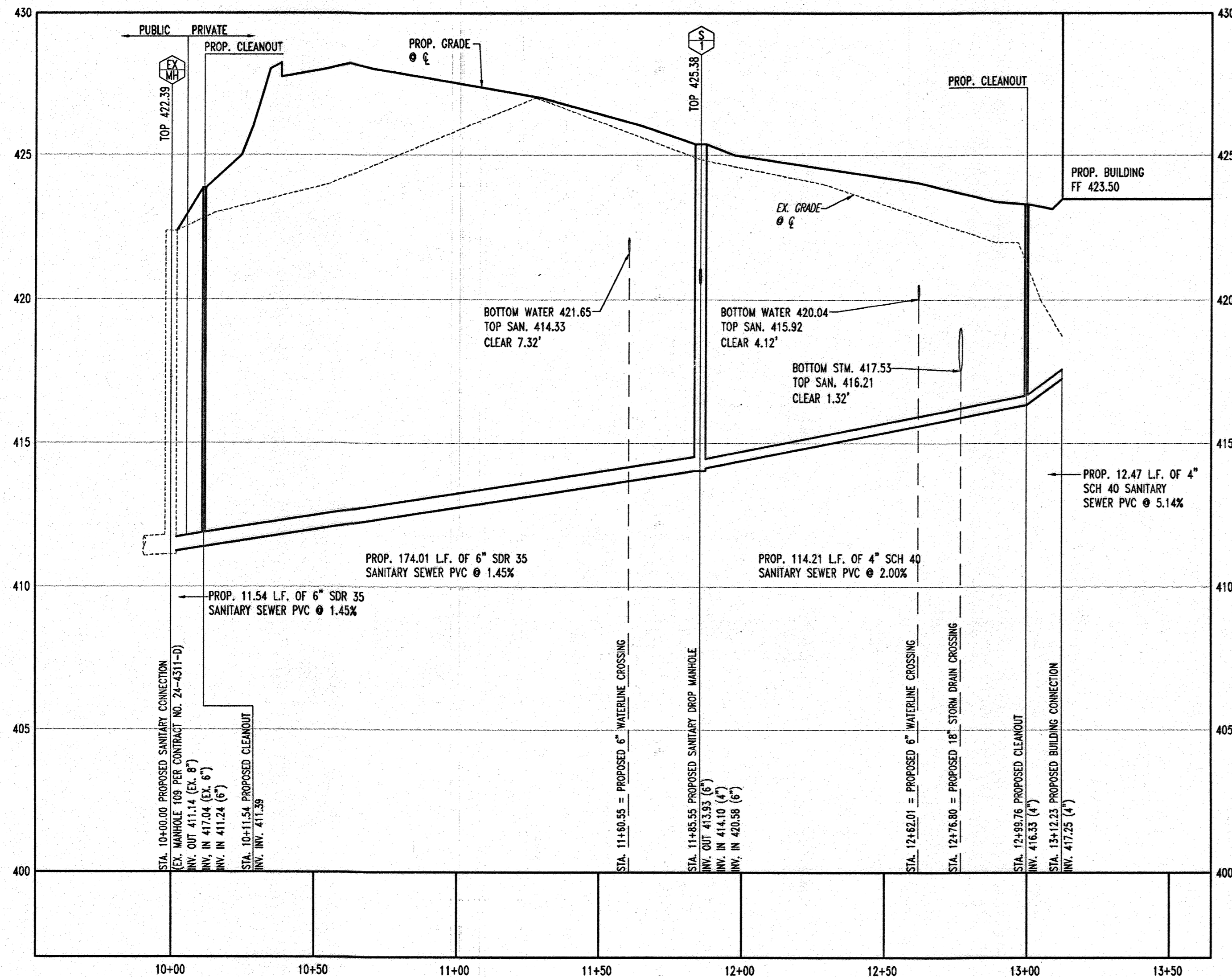
UTILITY PROFILES

BOHLER ENGINEERING, P.C.
PROFESSIONAL ENGINEERING SERVICES
8110 GLENLEAGUE COURT, SUITE 300, TOWSON, MD 21286
(410) 851-7999 FAX (410) 851-7997

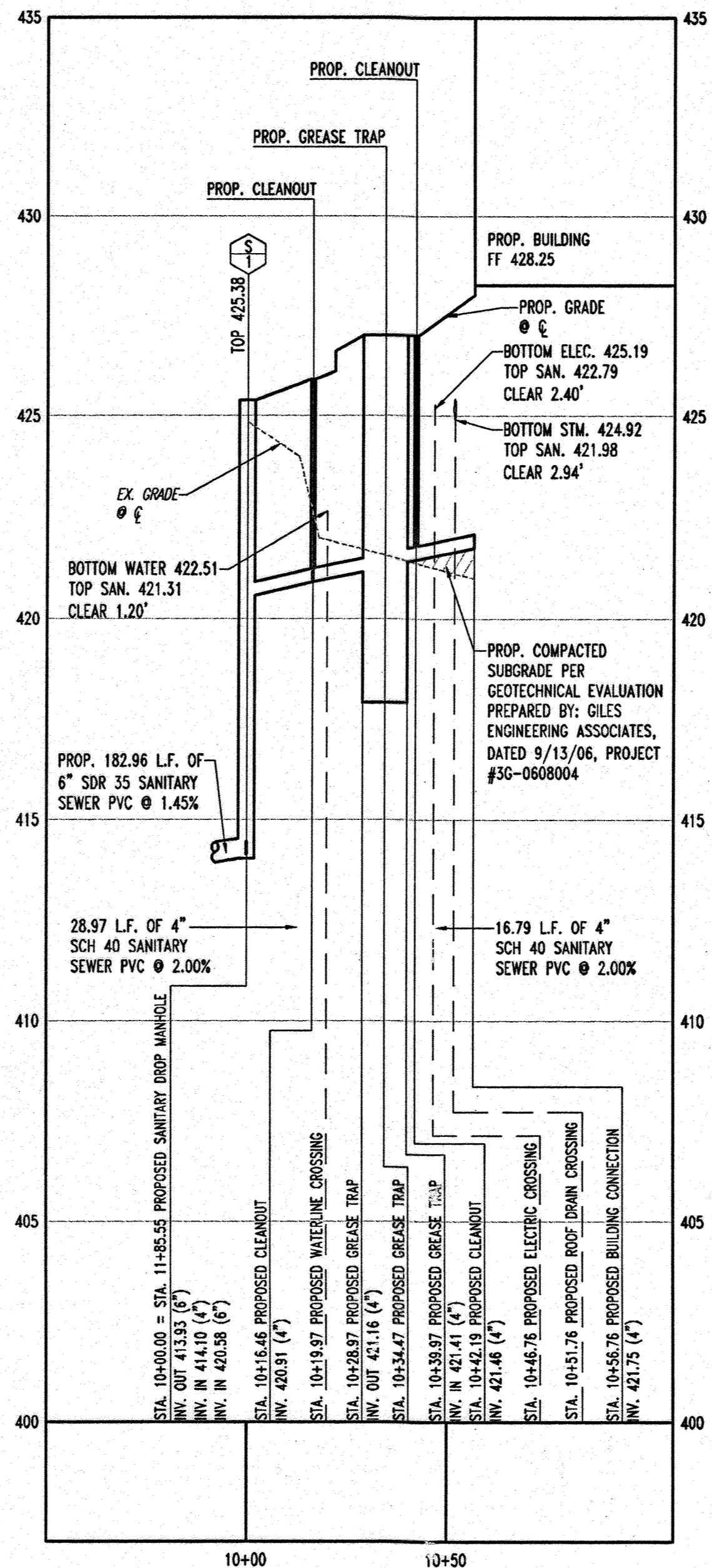
REVISIONS:

| NO. | DATE | REVISION DESCRIPTION |
|-----|----------|----------------------------------|
| 1 | 12/06/07 | REVISED RET. WALL BLOCK MATERIAL |
| 2 | 4/11/10 | REVISE TITLE |
| 3 | 3-A-24 | UPDATED OWNER |

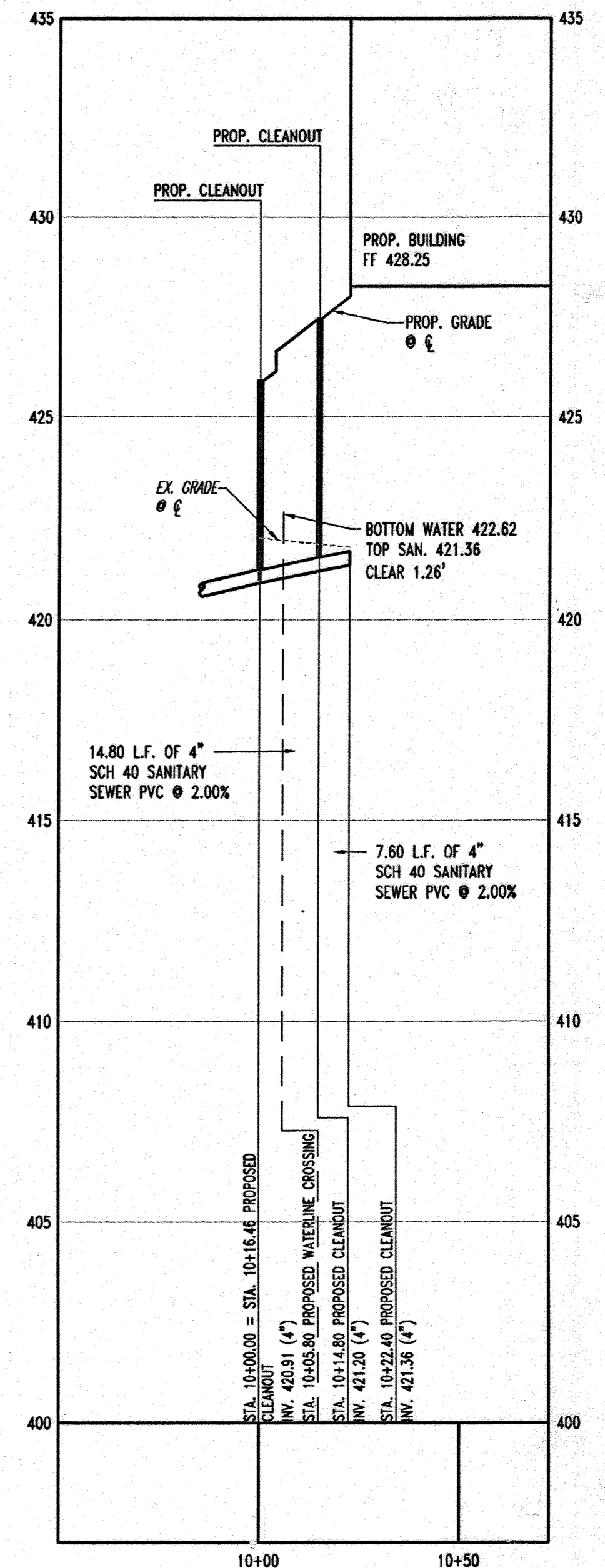
DESIGNED BY: JD
DRAWN BY: RLB
PROJECT NO.: MO056502.1
DATE: 9/28/06
SCALE: AS SHOWN
DRAWING NO. 8 OF 30
SDP # 07-033



PROPOSED SANITARY PROFILE 'A'
SCALE: HORZ. 1"=30'
VERT. 1"=3'



PROPOSED SANITARY PROFILE 'B'
SCALE: HORZ. 1"=30'
VERT. 1"=3'



PROPOSED SANITARY PROFILE 'C'
SCALE: HORZ. 1"=30'
VERT. 1"=3'

AS-BUILT
APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] 7/9/10
DATE
CHIEF-DEVELOPMENT ENGINEERING DIVISION
[Signature] 8/3/10
DATE
CHIEF-DIVISION OF LAND DEVELOPMENT
[Signature] 8/6/10
DATE
DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
[Signature] 8/2/10
DATE
COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT

| 9 | 3-4-2A | UPDATED OWNER |
|-----|---------|----------------------|
| 7 | 8/10/10 | REVISE TITLE |
| NO. | DATE | REVISION DESCRIPTION |

OWNER: **NIN FULTON CENTER, LLC**
20526 WESTLAND CT
FULTON MD 20759
DEVELOPER: **CHICK-FIL-A**
5200 BUFFINGTON ROAD
ATLANTA, GA 30349-2998
C/O SCOTT PATMAN
PHONE: (404) 684-8660

CHICK-FIL-A RESTAURANT & MEDICAL BUILDING
PART OF LOT 1, HOPKINS STATION (FOUR PRICE FARMS, LOT1)
JOHN HOPKINS ROAD
LAUREL, HOWARD COUNTY, MARYLAND
AREA 3.59 AC. TAX MAP 41 GRID 22 ZONED B-2
PARCEL 425 L. 3.095, F. 39 & L. 7004, F. 653
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

UTILITY PROFILES

BOHLER ENGINEERING, P.C.
PROFESSIONAL ENGINEERING SERVICES
610 GLENVALES COURT, SUITE 300, TOWSON, MD 21286
(410) 421-799 FAX (410) 421-7997 | www.bohlereng.com

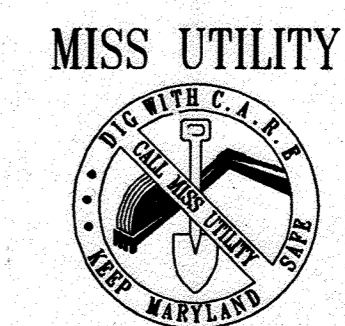
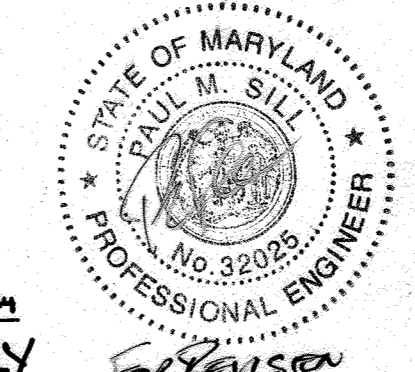
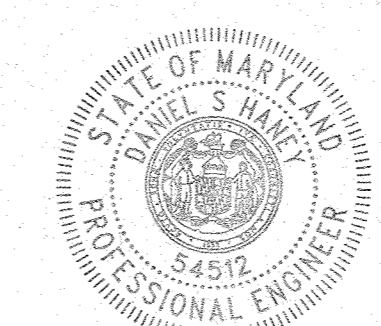
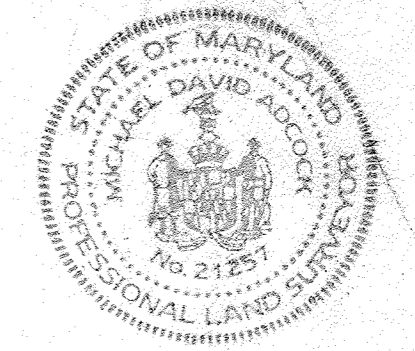
REVISIONS:
REVISED: 12/15/06
DESIGNED BY: JD
DRAWN BY: RLB
PROJECT NO.: M0056502.1
DATE: 9/28/06
SCALE: AS SHOWN
DRAWING NO. 9 OF 30

AS-BUILT CERTIFICATION

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.

[Signature]
MICHAEL P. ADCOCK, PROFESSIONAL LAND SURVEYOR
MD REG. NO. 21257, EXPIRATION DATE: 06-16-15

5/15/2013
DATE

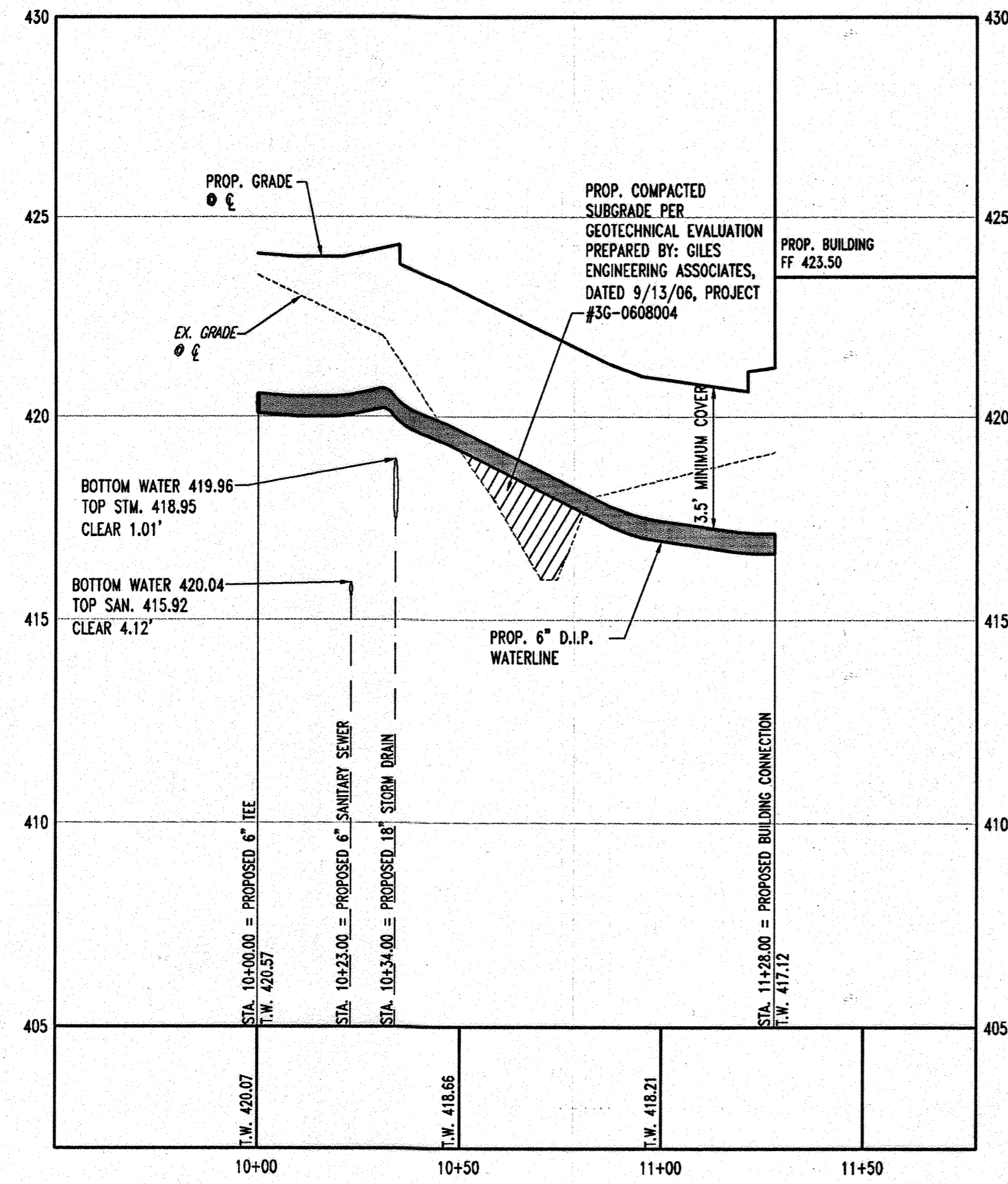


BEFORE YOU DIG CALL
1-800-357-7777
PROTECT YOURSELF, GIVE TWO
WORKING DAYS NOTICE

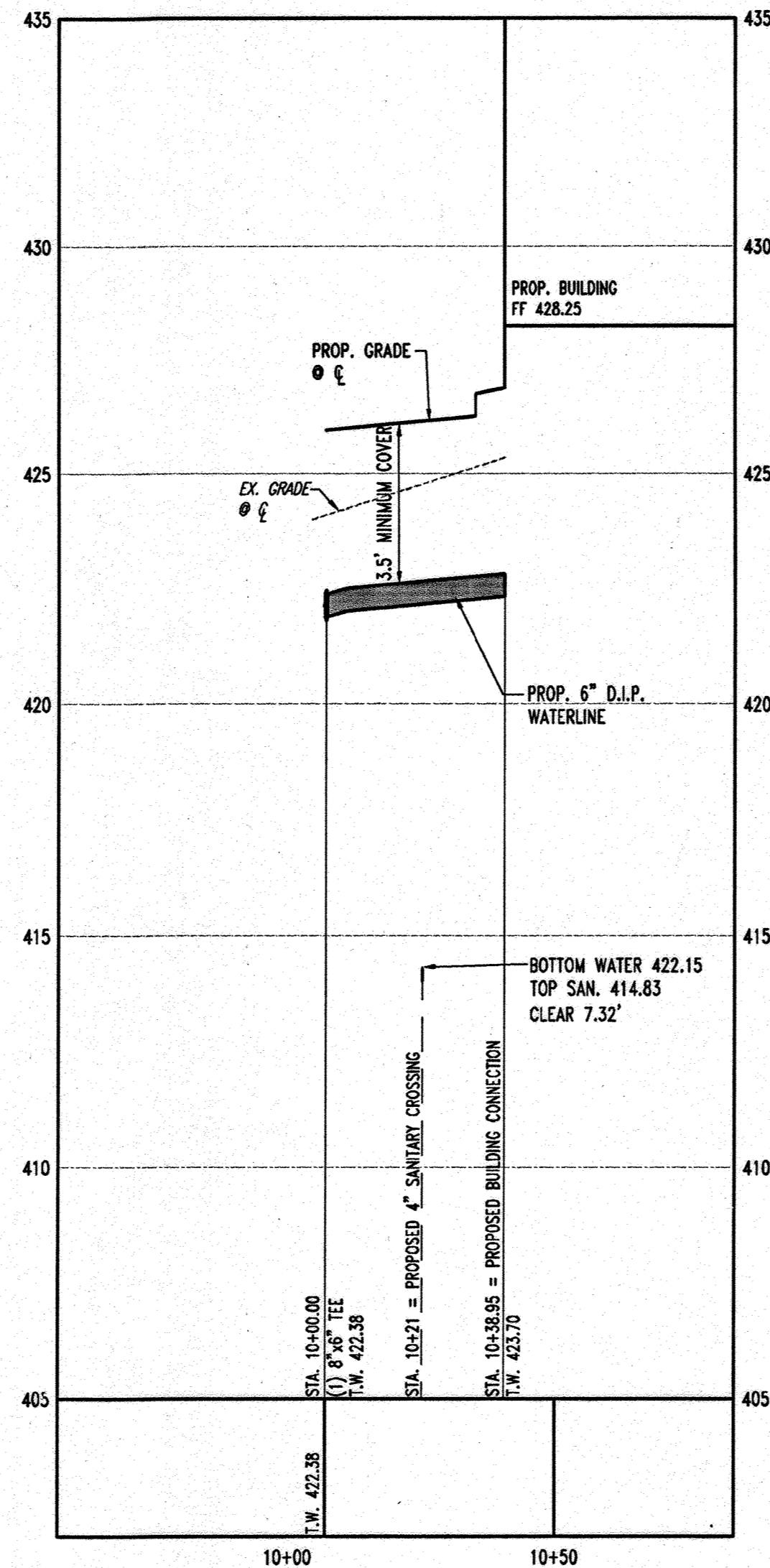
THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERE TO APPURTENANT.

THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

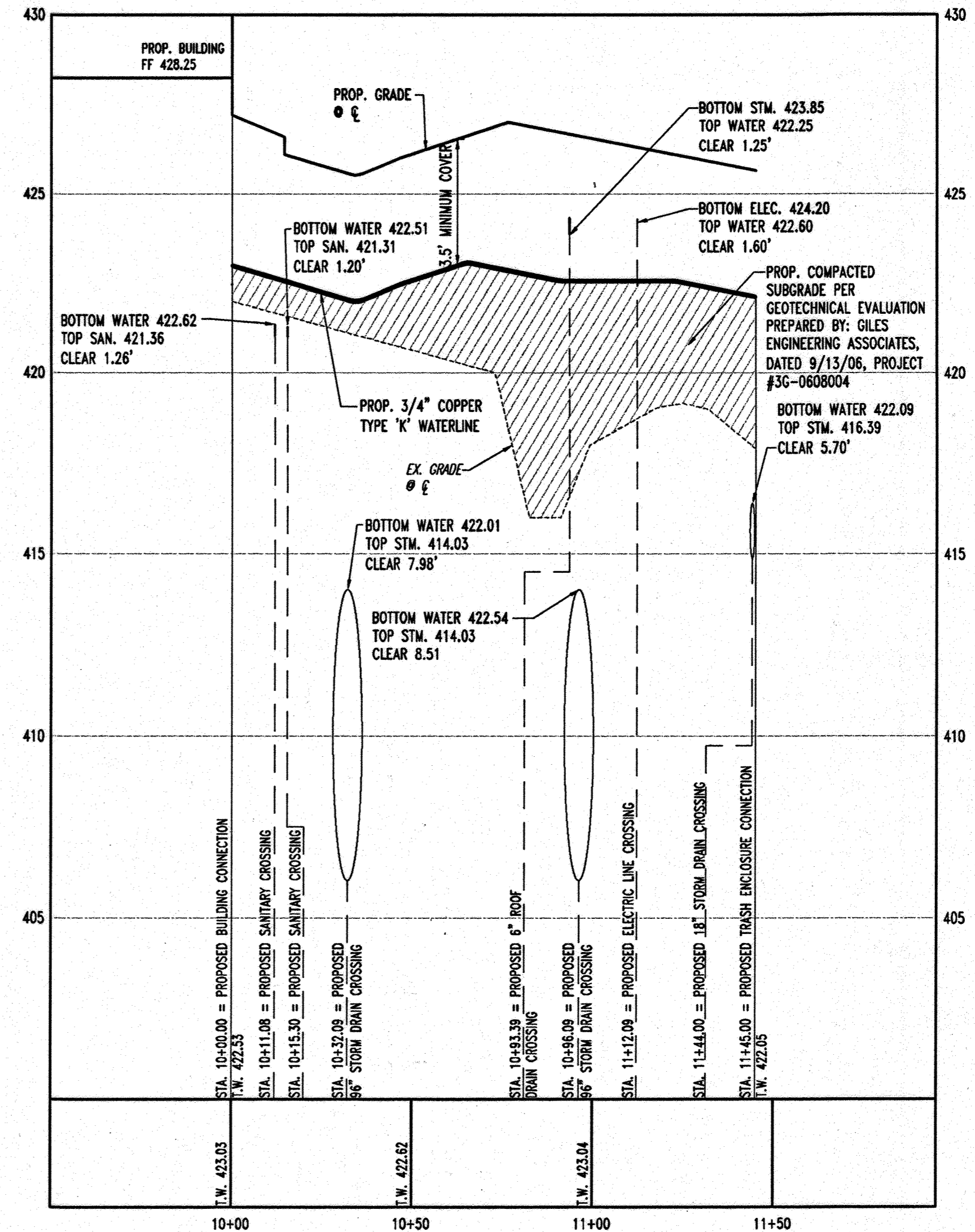
GENERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY BOHLER ENGINEERING, P.C. IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY BOHLER ENGINEERING, P.C. SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.



WATERLINE PROFILE 'A'
SCALE: HORIZ. 1"=30'
VERT. 1"=3'



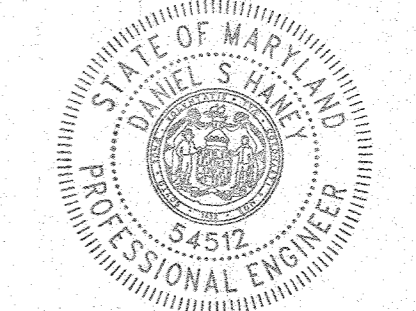
WATERLINE PROFILE 'B'
SCALE: HORIZ. 1"=30'
VERT. 1"=3'



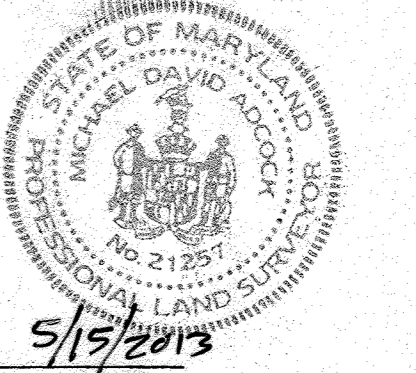
WATERLINE PROFILE 'C'
SCALE: HORIZ. 1"=30'
VERT. 1"=3'

GENERAL NOTE:
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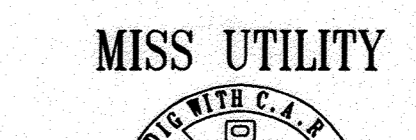
AS-BUILT CERTIFICATION
THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.
Michael D. Adcock
MICHAEL D. ADCOCK, PROFESSIONAL LAND SURVEYOR
MD REG. NO. 21251, EXPIRATION DATE: 06/16/15



FOR REVISION ONLY



5/15/2013 DATE



BEFORE YOU DIG CALL 1-800-251-7777 PROTECT YOURSELF, GIVE TWO WORKING DAYS NOTICE
THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREOF APPROPRIATE.
THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

AS-BUILT

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF-DEVELOPMENT ENGINEERING DIVISION *7/19/07* DATE
 CHIEF-DIVISION & LAND DEVELOPMENT *8/6/07* DATE
 DIRECTOR *8/6/07* DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
 COUNTY HEALTH OFFICER *8/2/07* DATE
 HOWARD COUNTY HEALTH DEPARTMENT *7/20* DATE

| NO. | DATE | REVISION DESCRIPTION |
|-----|---------|----------------------|
| 0 | 3-2-21 | UPDATED OWNER |
| 1 | 4/19/15 | REVISE TITLE |

OWNER: NN FULTON CENTER LLC
20526 WESTLAND CT
FULTON MD 20759

DEVELOPER: CHECK-FIL-A
5200 BUFFINGTON ROAD
ATLANTA, GA 30349-2998
C/O SCOTT PATMAN
PHONE: (404) 684-8660

CHECK-FIL-A RESTAURANT & MEDICAL BUILDING
PART OF LOT 1, HOPKINS STATION (FORMER PRICE FARMS, LOT1)
JOHN HOPKINS ROAD
LAUREL, HOWARD COUNTY, MARYLAND

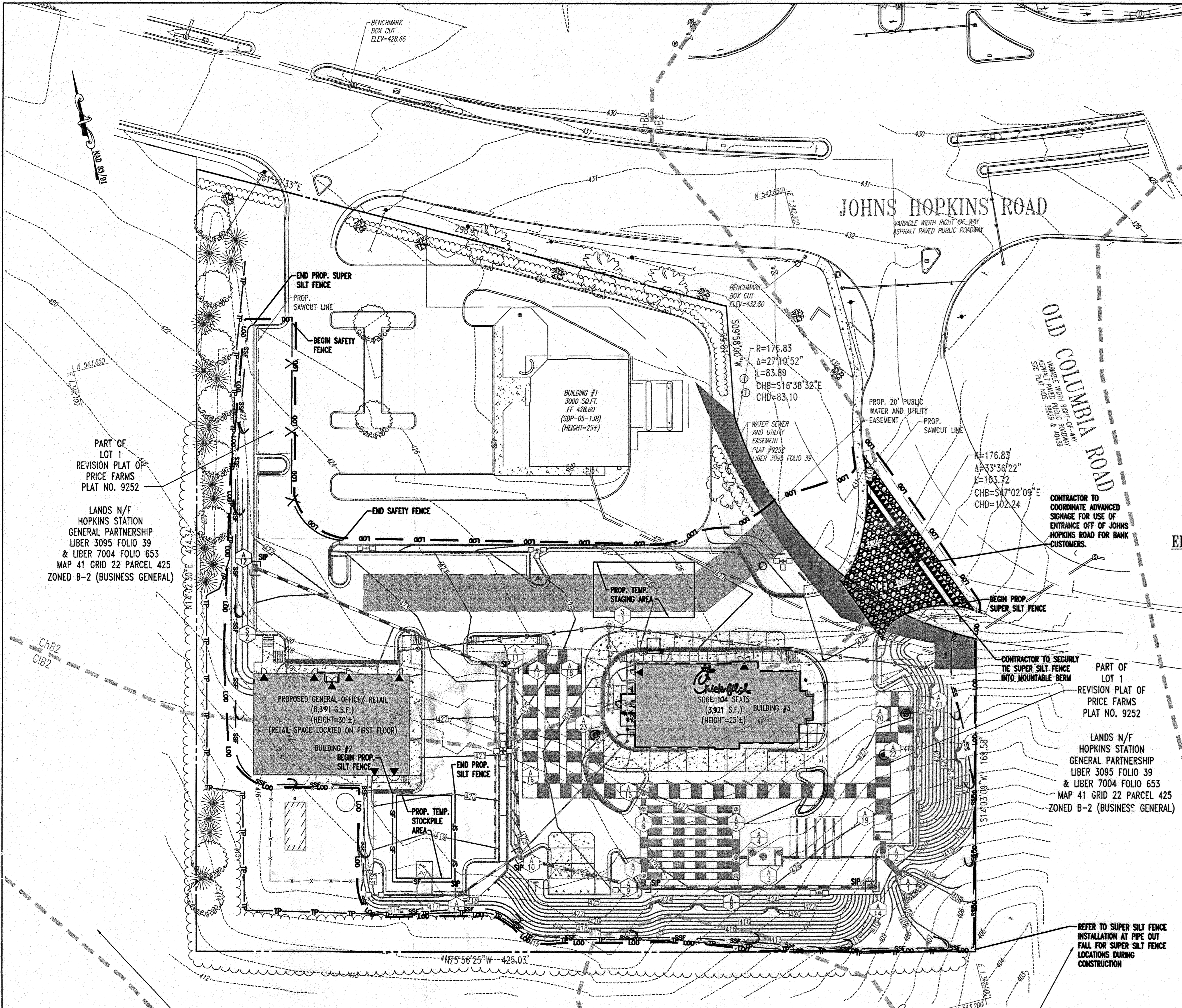
AREA 3.58 AC. TAX MAP 41 GRID 22 ZONED B-2
PARCEL 425 L. 3,095, F. 39 & L. 7004, F. 653
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

UTILITY PROFILES

BOHLER ENGINEERING, P.C.
PROFESSIONAL ENGINEERING SUBDIVISION
6110 GLENKENSLEY COURT, SUITE 300, TOWSON, MD 21286
(410) 821-7900 FAX (410) 821-7967 | www.bohlereng.com

REVISION: 12/15/06
DESIGNED BY: JD
DRAWN BY: RLB
PROJECT NO.: M005502.1
DATE: 9/28/06
SCALE: AS SHOWN
DRAWING NO. 10 OF 30

MATTHEW T. ALLEN
PROFESSIONAL ENGINEER NO. 28567

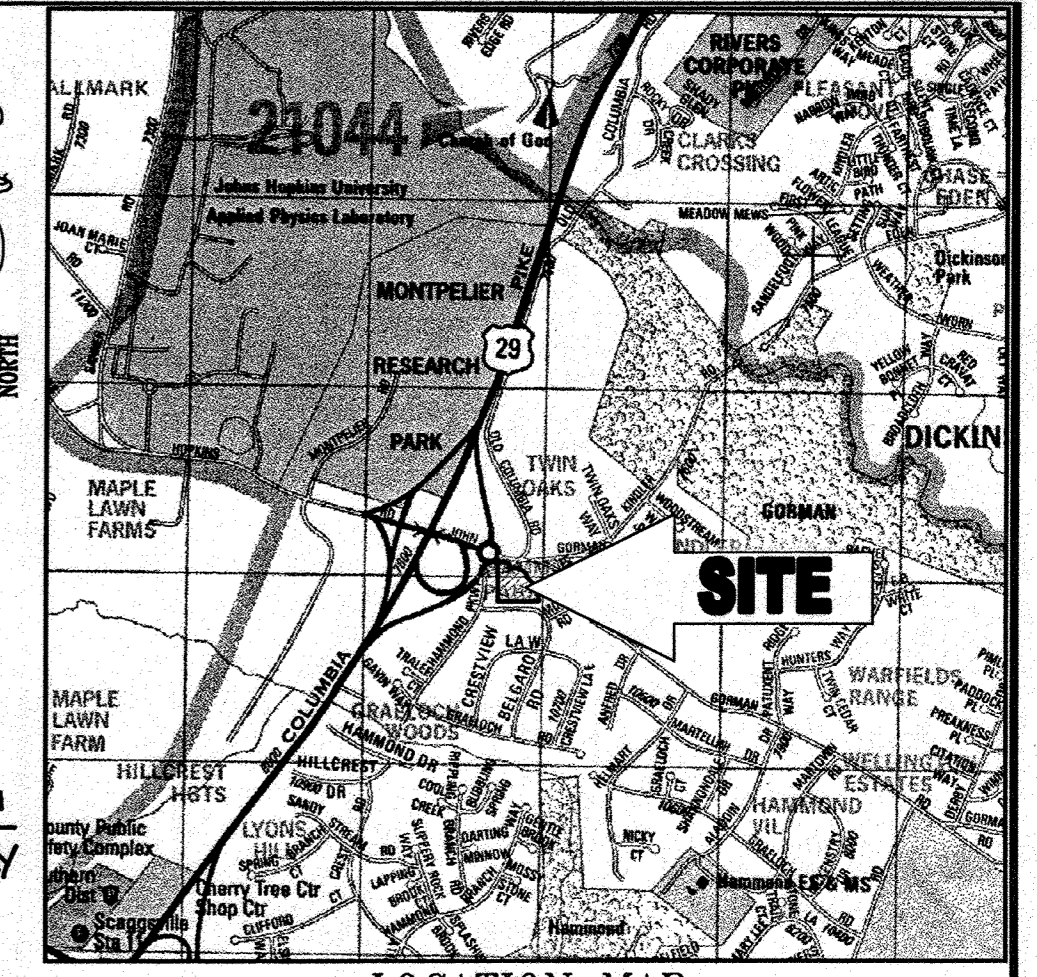
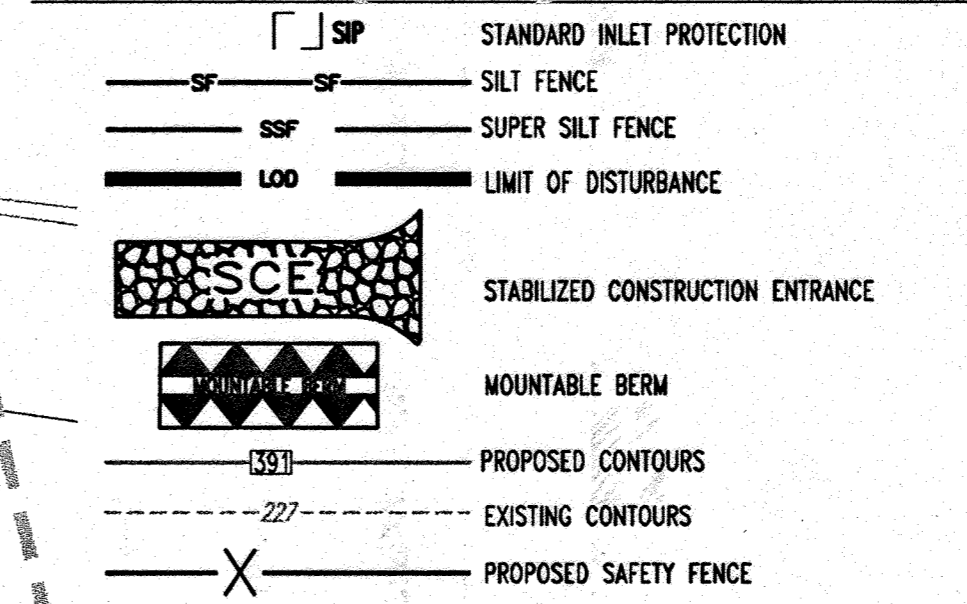


SOIL TYPES
ChB2 CHESTER SILT LOAM, 3-8% SLOPES, MODERATELY ERODED
GIC2 GLENCO LOAM, 8-15% SLOPES, MODERATELY ERODED

EROSION AND SEDIMENT CONTROL QUANTITIES
 LIMIT OF DISTURBANCE = 85,344 S.F. OR 1.96 AC.
 TOTAL NET SITE AREA = 156,380 S.F. OR 3.59 AC.±
 TOTAL IMPERVIOUS AREA = 91,912 S.F. OR 2.11 AC
 AREA TO BE VEGETATELY STABILIZED = 64,468 S.F. OR 1.48 AC.
 CUT = 130 CU. YARDS
 FILL = 12,640 CU. YARDS
 SUPER SILT FENCE = 900 L.F.
 SILT FENCE = 128 L.F.
 SAFETY FENCE = 134 L.F.
 TREE PROTECTION = 773 L.F.
 STABILIZED CONSTRUCTION ENTRANCE = 1 EA.
 STANDARD INLET PROTECTION = 6 EA.

NOTE:
 1. THESE QUANTITIES ARE FOR SEDIMENT CONTROL USE ONLY. CONTRACTOR SHALL NOT RELY ON THESE QUANTITIES FOR ESTIMATING AND BIDDING PURPOSES.
 2. ALL REQUIRED FILL TO BE IMPORTED FROM AN APPROVED SITE THAT HAS A FUNCTIONING SEDIMENT CONTROL PROGRAM IN PLACE.
 3. CONTRACTOR TO LIMIT THE AMOUNT OF THE SIDEWALK CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY TO THAT WHICH CAN BE COMPLETED WITHIN ONE WORKING DAY. THE CONTRACTOR IS RESPONSIBLE FOR ELIMINATING ANY SEDIMENT CREATED AT THE END OF EACH DAY.

EROSION AND SEDIMENT CONTROL LEGEND



LOCATION MAP
 COPYRIGHT ADC THE MAP PEOPLE
 PERMIT USE NO. 20602153-5
 SCALE: 1"=2000'

SEQUENCE OF CONSTRUCTION

- OBTAIN GRADING PERMIT, CONTACT HOWARD COUNTY SEDIMENT CONTROL DIVISION AT (410) 313-1855 (1 DAY)
- PRIOR TO DEMOLITION, INSTALLING SEDIMENT CONTROL MEASURES, OR GRADING, A PRE CONSTRUCTION MEETING MUST BE CONDUCTED ON-SITE. (1 DAY)
- THE LIMITS OF DISTURBANCE MUST BE FIELD MARKED PRIOR TO DEMOLITION, INSTALLATION OF SEDIMENT CONTROL MEASURES, CONSTRUCTION, OR OTHER LAND DISTURBANCE. (2 DAYS)
- INSTALL PROPOSED STABILIZED CONSTRUCTION ENTRANCE. (2 DAYS)
- INSTALL PERIMETER SEDIMENT CONTROL DEVICES: SUPER SILT FENCE AS SHOWN ON PLAN. (3 DAYS)
- ONCE THE SEDIMENT CONTROL DEVICES ARE INSTALLED, THE PERMITEE MUST OBTAIN WRITTEN APPROVAL FROM THE INSPECTOR BEFORE PROCEEDING WITH ANY ADDITIONAL CLEARING, GRUBBING, OR GRADING. (3 DAYS)
- WITH APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, BEGIN ROUGH GRADING AND CONSTRUCT RETAINING WALL ON THE SITE. (14 DAYS)
- CONSTRUCT PROPOSED BUILDING, STORMFILTER, RECHARGE FACILITY, STORAGE PIPES AND UTILITIES. INSTALL ALL INLET PROTECTION AS INLETS ARE INSTALLED. (90 DAYS)
- FINE GRADE ALL DISTURBED AREAS AND STABILIZE SITE. (14 DAYS)
- INSTALL STONE SURFACE AND PAVEMENT BASE COURSE AND STABILIZE ALL DISTURBED AREA AS NECESSARY. (10 DAYS)
- FINE GRADE ALL REMAINING AREAS. (5 DAYS)
- INSTALL SURFACE PAVING. (5 DAYS)
- INSTALL ALL LANDSCAPING. (5 DAYS)
- INSTALL FILTER MEDIA WITHIN THE STORMFILTER. (1 DAY)
- STABILIZE ALL ADDITIONAL DISTURBED AREAS AS REQUIRED AND WITH PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, REMOVE ALL REMAINING SEDIMENT CONTROL DEVICES. (2 DAYS)

AS-BUILT

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 [Signature] 7/19/07 DATE
 CHIEF-DEVELOPMENT ENGINEERING DIVISION
 [Signature] 8/2/07 DATE
 CHIEF-DIVISION & LAND DEVELOPMENT
 [Signature] 8/2/07 DATE
 DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
 [Signature] 8/2/07 DATE
 COUNTY HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT

| NO. | DATE | REVISION DESCRIPTION |
|-----|----------|--|
| 1 | 3-2-20 | UPDATED OWNER |
| 2 | 2/12/06 | REVISED TITLE |
| 3 | 9/27/06 | REVISED PERMITS FOR C&A BUILDING |
| 4 | 2/21/06 | IRRIGATION LINE & C&A SERVICE YARD REVISIONS |
| 5 | 12/06/07 | REV. BLDG. AREA & ACCESS POINT LOCATIONS |

OWNER: NN FULTON CENTER, LLC
 20526 WESTLAND CT
 FULTON MD 20759
 DEVELOPER: CHICK-FL-A
 3200 BURLINGTON ROAD
 ATLANTA, GA 30349-2998
 C/O SCOTT PATMAN
 PHONE: (404) 684-8660

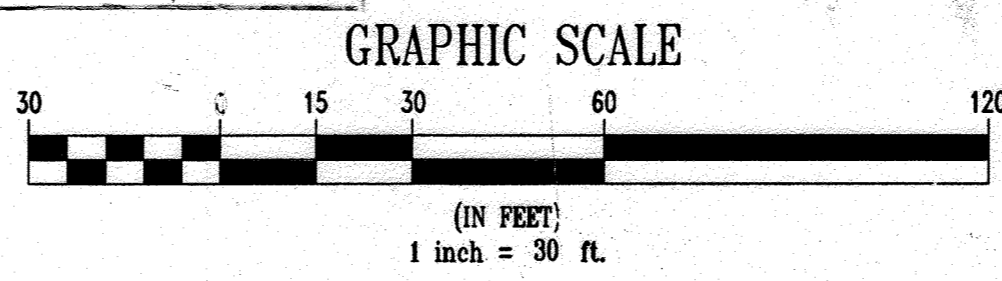
REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS
 [Signature] 7/17/07 DATE
 USDA NATURAL RESOURCES CONSERVATION SERVICE
 THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 [Signature] 7/17/07 DATE
 HOWARD SCD

ENGINEER'S CERTIFICATE
 "I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT."
 [Signature] 7/6/07 DATE
 SIGNATURE OF ENGINEER (PRINT NAME BELOW SIGNATURE)
 PRINT NAME

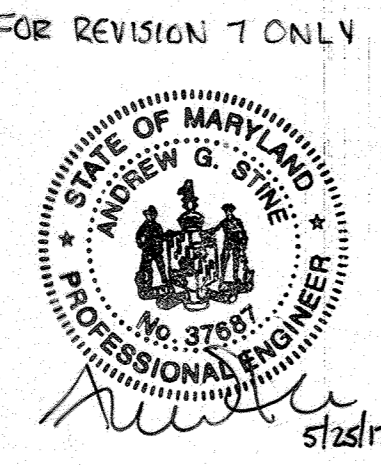
DEVELOPER'S CERTIFICATE
 "I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."
 By: [Signature] 07/06/07 DATE
 SIGNATURE OF DEVELOPER (PRINT NAME BELOW SIGNATURE)
 PRINT NAME

AS-BUILT CERTIFICATION

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.
 [Signature] 7/15/2013 DATE
 MICHAEL D. ADCOCK, PROFESSIONAL LAND SURVEYOR
 MD REG. NO. 21287, EXPIRATION DATE: 06-16-15



GENERAL NOTE:
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY BOHLER ENGINEERING, P.C. IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY BOHLER ENGINEERING, P.C. SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.



LANDS N/F
 JAMES ALAN PRICE
 LIBER 5359 FOLIO 489
 JAMES ALAN PRICE, TR. OF THE MILDRED B. PRICE FAMILY LIVING TRUST
 LIBER 5359 FOLIO 486
 MAP 41 GRID 22 PARCEL 128
 ZONED RR-MXD-3 (RESIDENTIAL)

FOR REVISION 7 ONLY

7 REVISED DRIVE THRU ORDER BOARD LOCATION 7/12/17



MISS UTILITY

BEFORE YOU DIG CALL PROTECT YOURSELF. CALL TWO WORKING DAYS IN ADVANCE.
 THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS HERETO APPURTENANT.
 THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

BOHLER ENGINEERING, P.C.
 PROFESSIONAL ENGINEERING SERVICES
 610 GLENRAIGS COURT, SUITE 300, TOWSON, MD 21286
 (410) 851-7000 FAX (410) 851-7997 | www.bohlereng.com

REVISION: 12/15/06
 DESIGNED BY: JD
 DRAWN BY: RLB
 PROJECT NO.: MD056502.1
 DATE: 9/28/06
 SCALE: 1"=30'
 DRAWING NO. 11 OF 30

MATTHEW T. ALLEN
 PROFESSIONAL ENGINEER NO. 28567

STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION WITH SOD

- SPECIFICATIONS:**
- CLASS OF TURFGRASS SOD SHALL BE MARYLAND STATE CERTIFIED, OR MARYLAND STATE APPROVED SOD.
 - SOD SHALL BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 3/4 INCH PLUS OR MINUS 1/4 INCH, AT THE TIME OF CUTTING. MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH.
 - STANDARD SIZE SECTIONS OF SOD SHALL BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER 10 PERCENT OF THE SECTION.
 - INDIVIDUAL PIECES OF SOD SHALL BE CUT TO THE SUPPLIERS WIDTH AND LENGTH. MAXIMUM ALLOWABLE DEVIATION FROM STANDARD WIDTHS AND LENGTHS SHALL BE 5 PERCENT. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE.
 - SOD SHALL NOT BE HARVESTED OR TRANSPORTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL.
 - SOD SHALL BE HARVESTED, DELIVERED AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOD NOT TRANSPORTED WITHIN THIS PERIOD SHALL BE INSPECTED AND APPROVED PRIOR TO INSTALLATION.
- SITE PREPARATION:**
- FERTILIZER AND LIME APPLICATION RATES SHALL BE DETERMINED BY SOIL TEST. UNDER UNUSUAL CIRCUMSTANCES WHERE THERE IS INSUFFICIENT TIME FOR A COMPLETE SOIL TEST, FERTILIZER AND LIME MATERIALS MAY BE APPLIED IN AMOUNTS SHOWN UNDER B, BELOW.
- PRIOR TO SODDING, THE SURFACE SHALL BE CLEARED OF ALL TRASH, DEBRIS AND OF ALL ROOTS, BRUSH, WIRE, GRADE STAKES AND OTHER OBJECTS THAT WOULD INTERFERE WITH PLANTING, FERTILIZING OR MAINTENANCE OPERATIONS.
 - WHERE THE SOIL IS ACID OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 2 TONS PER ACRE (100 LBS./1000 SQ. FT.) IN ALL SOILS 1,000 POUNDS PER ACRE OR 25 POUNDS PER 1,000 SQUARE FEET OF 10-10-10 FERTILIZER OR EQUIVALENT SHALL BE UNIFORMLY APPLIED AND MIXED INTO THE TOP 3 INCHES OF SOIL WITH THE REQUIRED LIME.
 - ALL AREAS RECEIVING SOD SHALL BE UNIFORMLY FINE GRADED. HARD PACKED EARTH SHALL BE SCARIFIED PRIOR TO PLACEMENT OF SOD.
- SOD INSTALLATION:**
- DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE THE SOIL SHALL BE LIGHTLY IRRIGATED IMMEDIATELY PRIOR TO LAYING SOD.
 - THE FIRST ROW OF SOD SHALL BE LAID IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO AND TIGHTLY WEDGED AGAINST EACH OTHER. LATERAL JOINTS SHALL BE STAGGERED TO PROMOTE MORE UNIFORM GROWTH AND STRENGTH. INSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED ANT THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS WHICH COULD CAUSE AIR DRYING OF THE ROOTS.
 - ON SLOPING AREAS WHERE EROSION MAY BE A PROBLEM, SOD SHALL BE LAID WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH STAGGERED JOINTS. SECURE THE SOD BY TAMPING AND PEGGING OR OTHER APPROVED METHODS.
 - AS SODDING IS COMPLETED IN ANY ONE SECTION, THE ENTIRE AREA SHALL BE ROLLED OR TAMPED TO INSURE SOLID CONTACT OF ROOTS WITH THE SOIL SURFACE. SOD SHALL BE WATERED IMMEDIATELY AFTER ROLLING AND TAMPING UNTIL THE UNDERSIDE OF THE NEW SOD PAD AND SOIL SURFACE BELOW THE SOD AREA THOROUGHLY WET. THE OPERATIONS OF LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOD SHALL BE COMPLETED WITHIN EIGHT HOURS.
- SOD MAINTENANCE:**
- IN THE ABSENCE OF ADEQUATE RAINFALL, WATERING SHALL BE PERFORMED DAILY OR AS OFTEN AS NECESSARY DURING THE FIRST WEEK AND IN SUFFICIENT QUANTITIES TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATERING SHOULD BE DONE DURING THE HEAT OF THE DAY TO PREVENT WILTING.
 - AFTER THE FIRST WEEK, SOD SHALL BE WATERED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE AND INSURE ESTABLISHMENT.
 - FIRST MOWING SHOULD NOT BE ATTEMPTED UNTIL SOD IS FIRMLY ROOTED. NO MORE THAN 1/3 OF THE GRASS LEAF SHALL BE REMOVED BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. GRASS HEIGHT SHALL BE MAINTAINED BETWEEN 2 AND 3 INCHES UNLESS OTHERWISE SPECIFIED.

HOWARD SOIL CONSERVATION DISTRICT STANDARD SEDIMENT CONTROL NOTES

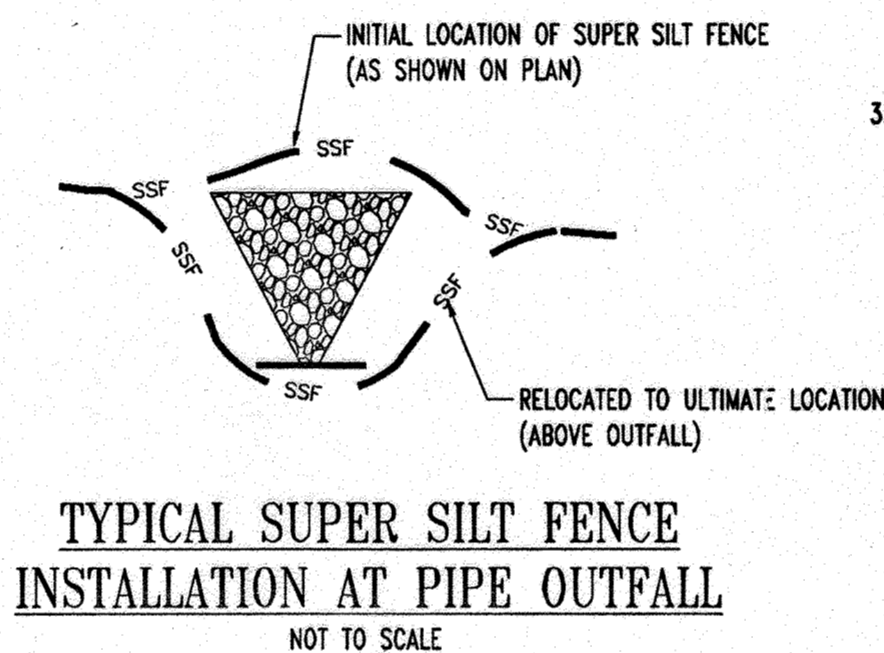
- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION, PRIOR TO THE START OF ANY CONSTRUCTION. (313-2231)
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", AND REVISIONS THEREOF.
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3:1, B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THE PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 7 OF "HOWARD COUNTY DESIGN MANUAL", STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" FOR PERMANENT SEEDING, SOD, TEMPORARY SEEDING, AND MULCHING (SEC. G) TEMPORARY STABILIZATION WITH MULCH ALONE SHALL ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:**
TOTAL SITE AREA - 156,380 S.F. OR 3.59 AC.
AREA DISTURBED - 86,001 S.F. OR 1.97 AC.
CUT - 130 CU. YDS.
TOTAL FILL - 12,640 CU. YDS.
OFFSITE WASTE/BORROW LOCATION - TO BE RELOCATED BY THE DEVELOPER TO AN APPROVED LOCATION WITH AN APPROVED PERMIT AND SEDIMENT CONTROL PLAN
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PILE LENGTHS OR THAT WHICH SHALL BE BACK FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.

TOPSOIL CONSTRUCTION AND MATERIAL SPECIFICATIONS

- TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.
- TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:
 - TOPSOIL SHALL BE LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND, OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 1/2" IN DIAMETER.
 - TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACKGRASS, JOHNSON GRASS, NUTSEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED, IN THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION & SEDIMENTATION CONTROL.
 - WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS PER ACRE (200-400 LBS./1000 SQ. FT.) PRIOR TO PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONDUCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.
- FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES:
 - PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION 1 - VEGETATIVE STABILIZATION METHODS AND MATERIALS.
- TOPSOIL APPLICATION
 - WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS.
 - GRADES ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE MAINTAINED, ALBEIT 4" - 8" HIGHER IN ELEVATION.
 - TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4" - 8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
- THESE TOPSOIL SPECIFICATIONS HAVE BEEN EDITED FROM THE 1994 EROSION AND SEDIMENT CONTROL STANDARDS TO FIT THIS PROJECT. IT IS STILL THE INTENTION TO FOLLOW THE REFERENCED 1994 EROSION AND SEDIMENT CONTROLS STANDARDS IN THEIR ENTIRETY.

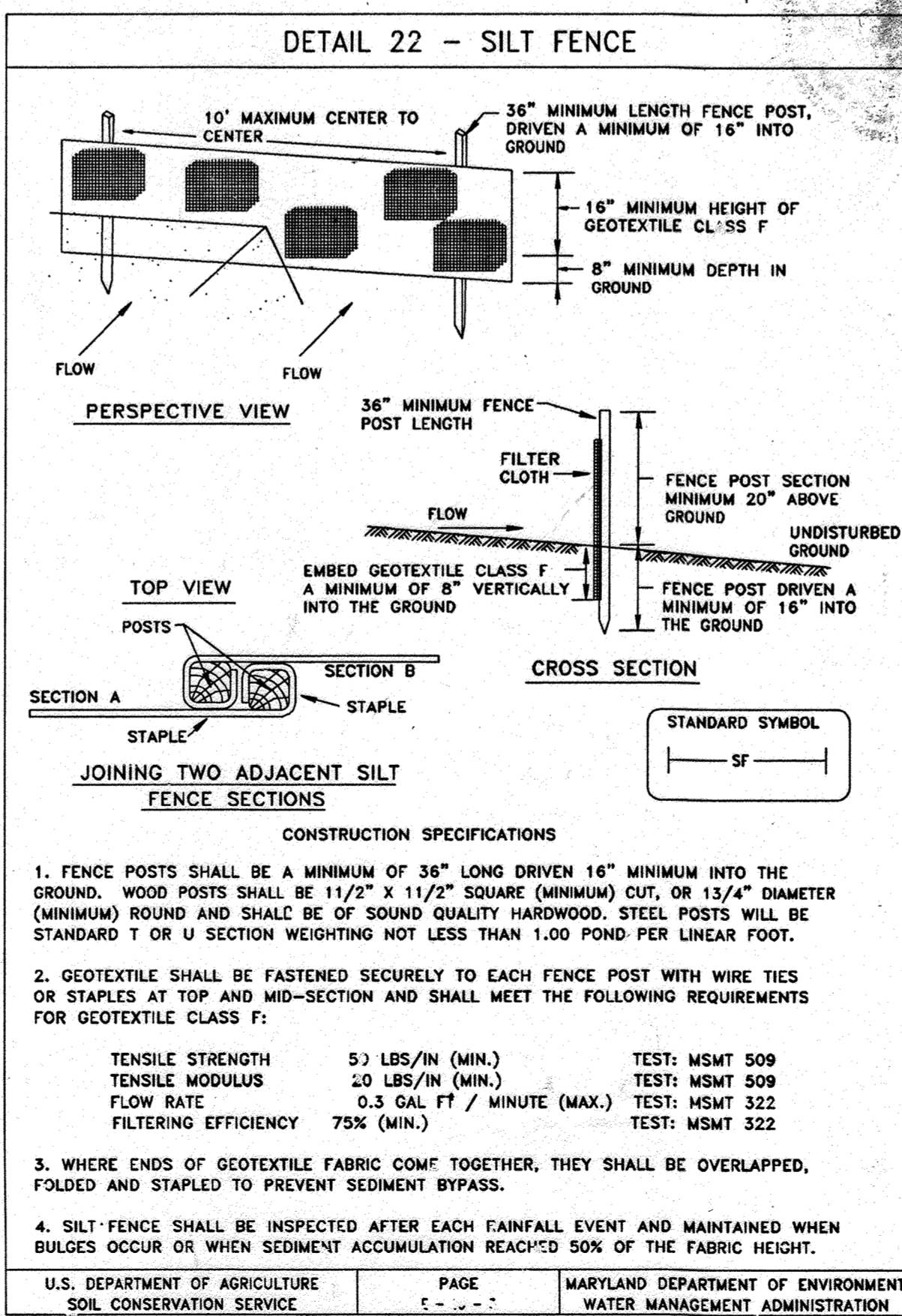
PERMANENT SEEDING NOTES

- APPLY TO GRADED OR CLEARED AREA NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.
- SEEDBED PREPARATION: LOOSEN UPPER 3 INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING (UNLESS PREVIOUSLY LOOSENED).
- SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:
- PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS./1000 SQ. FT.) AND 800 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ. FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL. AT TIME OF SEEDING, APPLY 400 LBS. PER ACRE 30-0-0 AREAFORM FERTILIZER (9 LBS./1000 SQ. FT.)
 - ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS./1000 SQ. FT.) AND 1000 LBS. PER ACRE 10-10-10 FERTILIZER (23 LBS./1000 SQ. FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOILS.
- SEEDING: FOR THE PERIODS MARCH 1 THROUGH APRIL 30, AND AUGUST 1 THROUGH OCTOBER 15, SEED WITH 60 LBS. PER ACRE (1.4 LBS./1000 SQ. FT.) OF KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS. PER ACRE (.05 LBS./1000 SQ. FT.) OF WEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THROUGH FEBRUARY 28, PROTECT SITE BY: OPTION (1) 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) USE SOD. OPTION (3) SEED WITH 60 LBS./ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELL ANCHORED STRAW.
- MULCHING: APPLY 1 1/2 TO 2 TONS PER ACRE (70 TO 90 LBS./1000 SQ. FT.) OF UNROTTED SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GALS./1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FALT AREA, ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GALS./1000 SQ. FT.) FOR ANCHORING.
- MAINTENANCE: INSPECT ALL SEEDBED AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.



TEMPORARY SEEDING NOTES

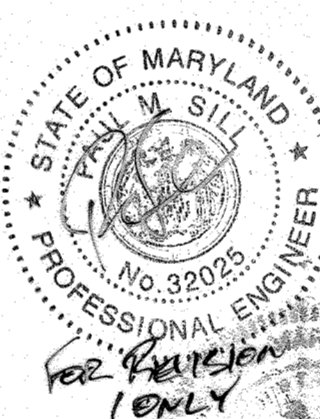
- APPLY TO GRADED OR CLEARED AREA LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.
- SEEDBED PREPARATION: LOOSEN UPPER 3 INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING (UNLESS PREVIOUSLY LOOSENED).
- SOILS AMENDMENTS: APPLY 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ. FT.)
- SEEDING: FOR PERIODS MARCH 1 THROUGH APRIL 30 AND FROM AUGUST 15 THROUGH NOVEMBER 15, SEED WITH 2 1/3 BU. PER ACRE OF ANNUAL RYE (3.2 LBS./1000 SQ. FT.). FOR THE PERIOD MAY 1 THROUGH AUGUST 14, SEED WITH 3 LBS. PER ACRE OF WEEPING LOVEGRASS (.07 LBS./1000 SQ. FT.). FOR THE PERIOD NOVEMBER 16 THROUGH FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOD.
- MULCHING: APPLY 1 1/2 TO 2 TONS PER ACRE (70-90 LBS./1000 SQ. FT.) OF UNROTTED SMALL GR. IN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GALS./1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS, ON SLOPES, 8 FT. OR HIGHER, USE 348 GALLONS PER ACRE (8 GALS./1000 SQ. FT.) FOR ANCHORING.



| SILT FENCE DESIGN CRITERIA | | |
|----------------------------|------------------------|-----------------------------|
| SLOPE STEEPNESS | (MINIMUM) SLOPE LENGTH | (MINIMUM) SILT FENCE LENGTH |
| FLATTER THAN 5:1 | UNLIMITED | UNLIMITED |
| 5:1 TO 10:1 | 125 FEET | 1,000 FEET |
| 10:1 TO 5:1 | 100 FEET | 750 FEET |
| 5:1 TO 3:1 | 60 FEET | 500 FEET |
| 3:1 TO 2:1 | 40 FEET | 250 FEET |
| 2:1 AND STEEPER | 20 FEET | 125 FEET |

NOTE: IN AREAS OF LESS THAN 2% SLOPE AND SANDY SOILS (USDA GENERAL CLASSIFICATION SYSTEM, SOIL CLASS A) MAXIMUM SLOPE LENGTH AND SILT FENCE LENGTH WILL BE UNLIMITED. IN THESE AREAS A SILT FENCE MAY BE THE ONLY PERIMETER CONTROL REQUIRED.

| | | |
|---|---------------------|---|
| U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE | PAGE E - 15 - 3A | MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION |
|---|---------------------|---|



| SEED MIXTURE (HARDNESS ZONE 6B) FROM TABLE 25 | | | | FERTILIZER RATE (10-20-20) | | | LIME RATE |
|--|-----------------------|------------------------------------|---------------|-------------------------------|-------------------------------|-------------------------------|-------------------------------|
| NO. | SPECIES | APPLICATION RATE (LB/AC) | SEEDING DATES | N | P ₂ O ₅ | K ₂ O | |
| 1 | TALL FESCUE (88%) | 120 LBS./AC. 2.9 LBS./1,000 SF. | 3/1 - 5/15 | 90 LB/AC (2.0 LB/1000 SF) | 175 LB/AC (4.4 LB/1000 SF) | 175 LB/AC (4.4 LB/1000 SF) | 2 TONS/AC (100 LB/1000 SF) |
| 2 | PGA TRIVIALS (7%) | 10 LBS./AC. 23 LBS./1,000 SF. | 8/15 - 10/15 | | | | |
| 3 | BIRDFOOT TREFOIL (7%) | 10 LBS./AC. 23 LBS./1,000 SF. | | | | | |

NOTE: FOR STANDARD AND SPECIFICATION FOR VEGETATIVE STABILIZATION, SEE SECTION G - "VEGETATIVE PRACTICES" IN THE "1994 MARYLAND STANDARD AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL."

| SEED MIXTURE (HARDNESS ZONE 6B) FROM TABLE 26 | | | | FERTILIZER RATE (10-10-10) | | | LIME RATE |
|--|-----------------|-----------------------------------|---------------|-------------------------------|------------------------------|--|-------------------------------|
| NO. | SPECIES | APPLICATION RATE (LB/AC) | SEEDING DATES | SEEDING DEPTHS | | | |
| 1 | BARLEY | 122 LBS./AC. 2.5 BU./1,000 SF. | 3/1 - 4/30 | 1"-2" | | | |
| 2 | ANNUAL RYEGRASS | 50 LBS./AC. 1.15 BU./1,000 SF. | 3/1 - 4/30 | 1/4"-1/2" | 600 LB/AC (15 LB/1000 SF) | | 2 TONS/AC (100 LB/1000 SF) |
| 3 | TALL FESCUE | 120 LBS./AC. | 3/1 - 5/15 | 1" | | | |

NOTE: SOD IS TO BE USED ON ALL STABILIZATION WITHIN THE PROPERTY BOUNDARY

ENGINEER'S CERTIFICATE
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

DATE: 7/6/09
SIGNATURE OF ENGINEER: *Michael D. Adcock*

DEVELOPER'S CERTIFICATE
I, THE DEVELOPER, CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

DATE: 07/06/09
SIGNATURE OF DEVELOPER: *Hugh F. Coe, Jr.*

MISS UTILITY

BEFORE YOU DIG CALL 1-800-393-7777
PROJECT YOURSELF, GIVE TWO WORKING DAYS NOTICE
THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SHEET. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREOF APPURTENANT.

THE CONTRACTOR TO CALL MISS UTILITY TO FINE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

AS-BUILT

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

Jim Moyer 7/17/09
DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Michael D. Adcock 7/19/09
DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.

Kevin J. Peltz 8/24/09
DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Michael D. Adcock 7/19/09
DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.

Kevin J. Peltz 8/24/09
DATE

EROSION AND SEDIMENT CONTROL DETAILS

Bohler Engineering, P.C.

Professional Engineering Services
410 GREENGLASS COURT, SUITE 300, TOWSON, MD 21286
(410) 821-7900 FAX (410) 821-7907

OWNER: NN FULTON CENTER, LLC
20526 WESTLAND CT
FULTON, MD 20759

DEVELOPER: CHICK-FIL-A
5200 BUFFINGTON ROAD
ATLANTA, GA 30349-2998
C/O SCOTT PATMAN
PHONE: (404) 684-8660

REVISION: 12/15/06

DESIGNED BY: JD

DRAWN BY: RLB

PROJECT NO.: M0505002.1

DATE: 9/28/06

SCALE: AS SHOWN

DRAWING NO.: 12 OF 30

MATTHEW T. ALLEN
PROFESSIONAL ENGINEER NO. 28567

AS-BUILT CERTIFICATION

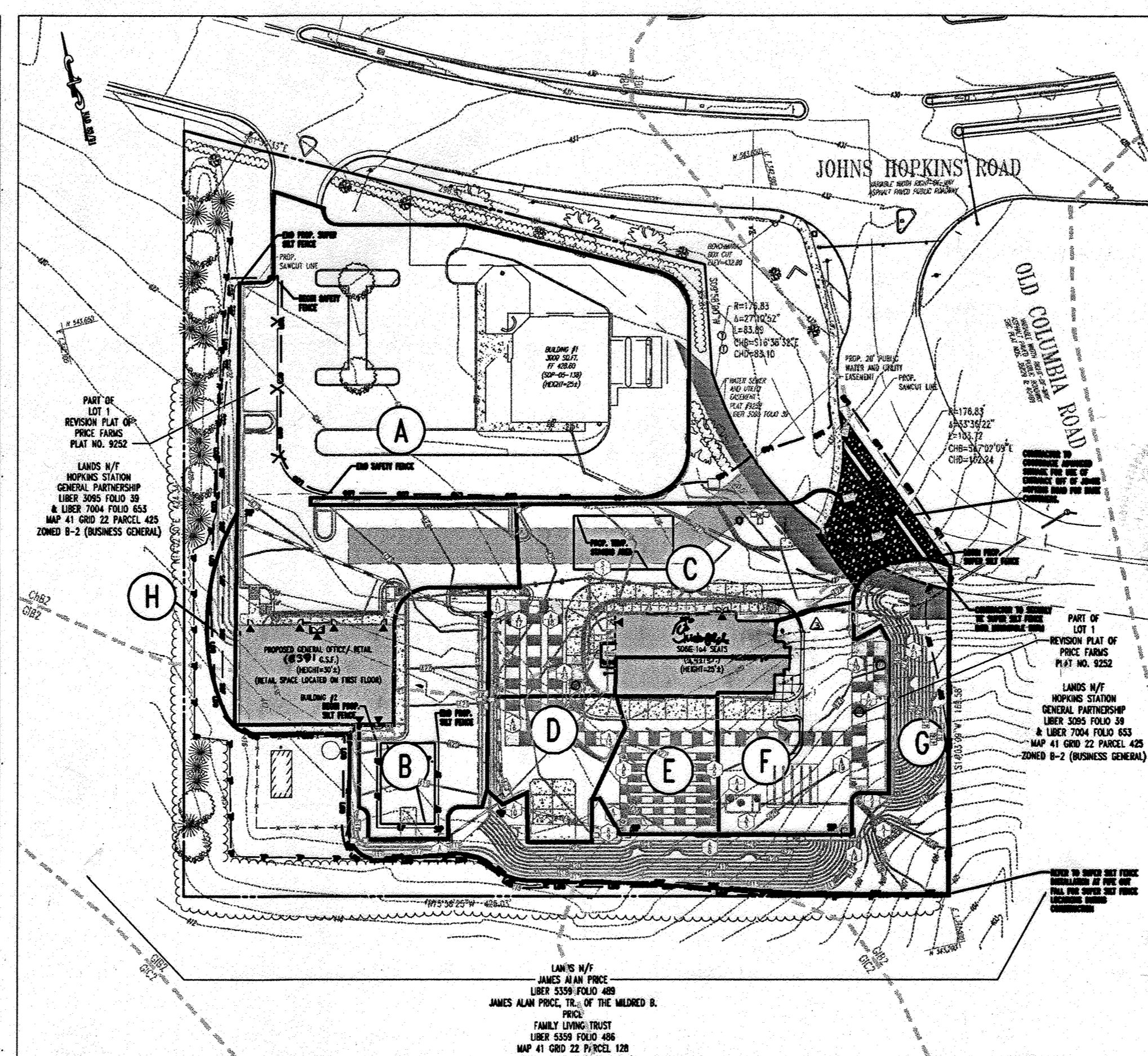
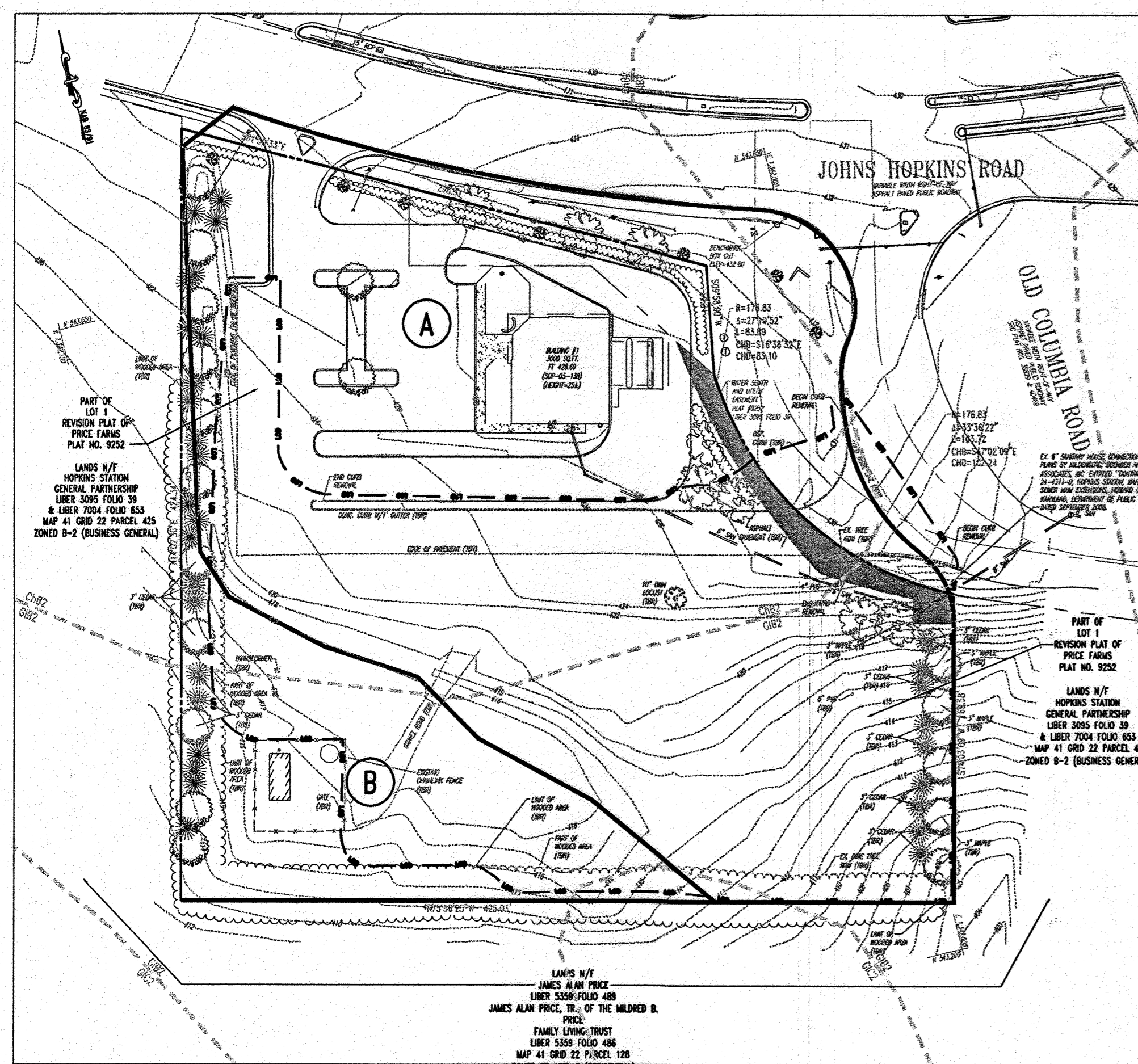
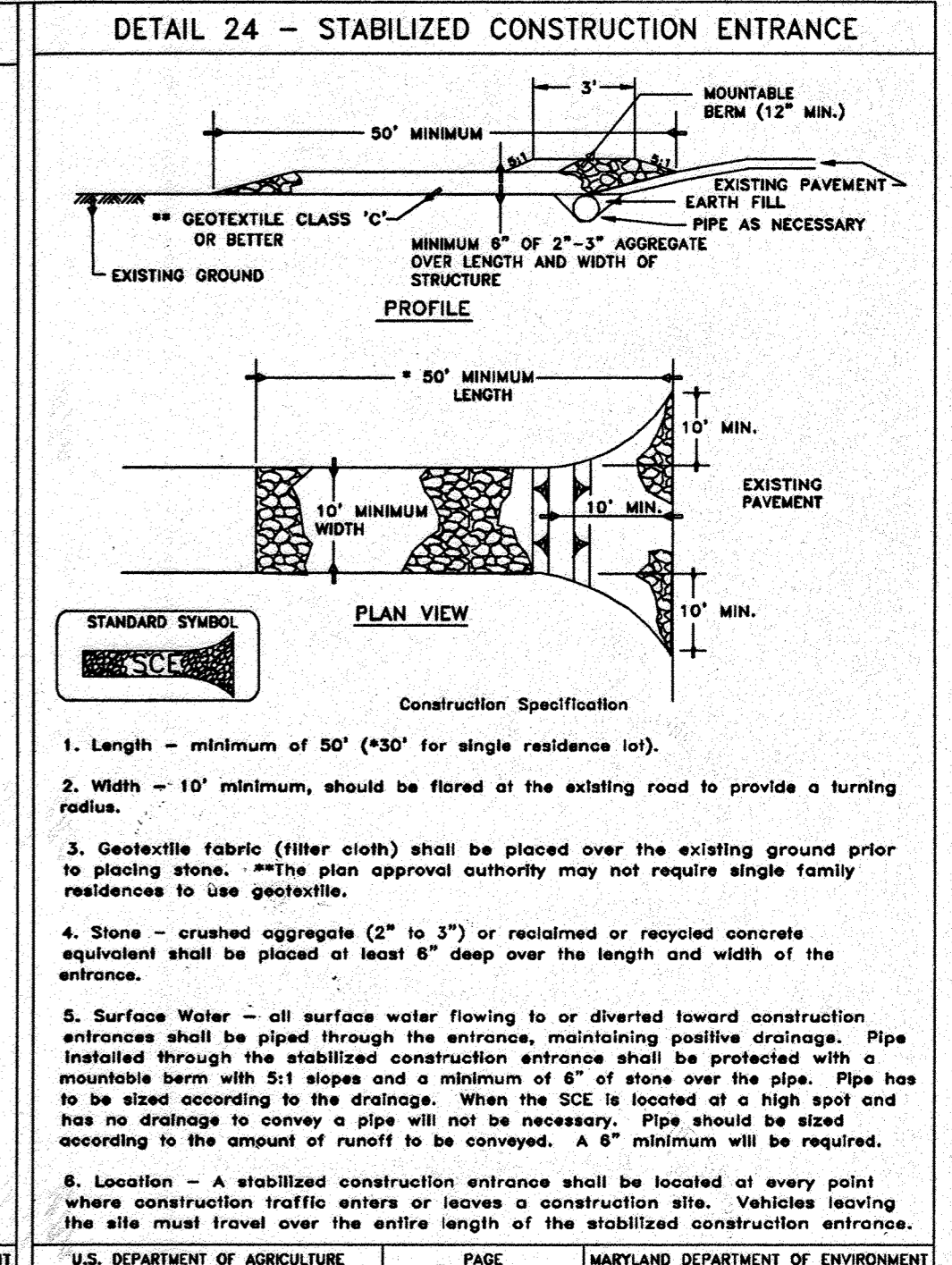
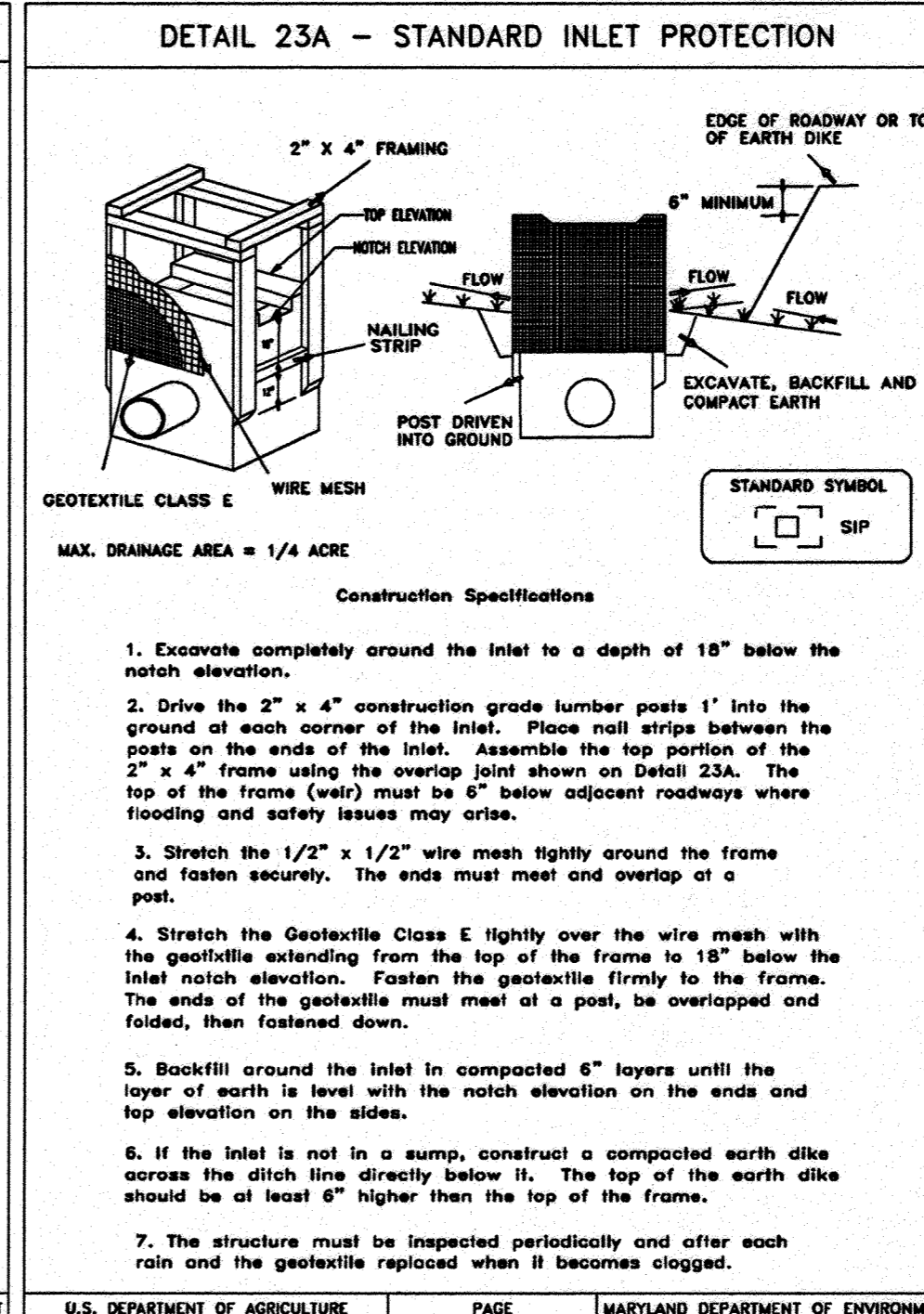
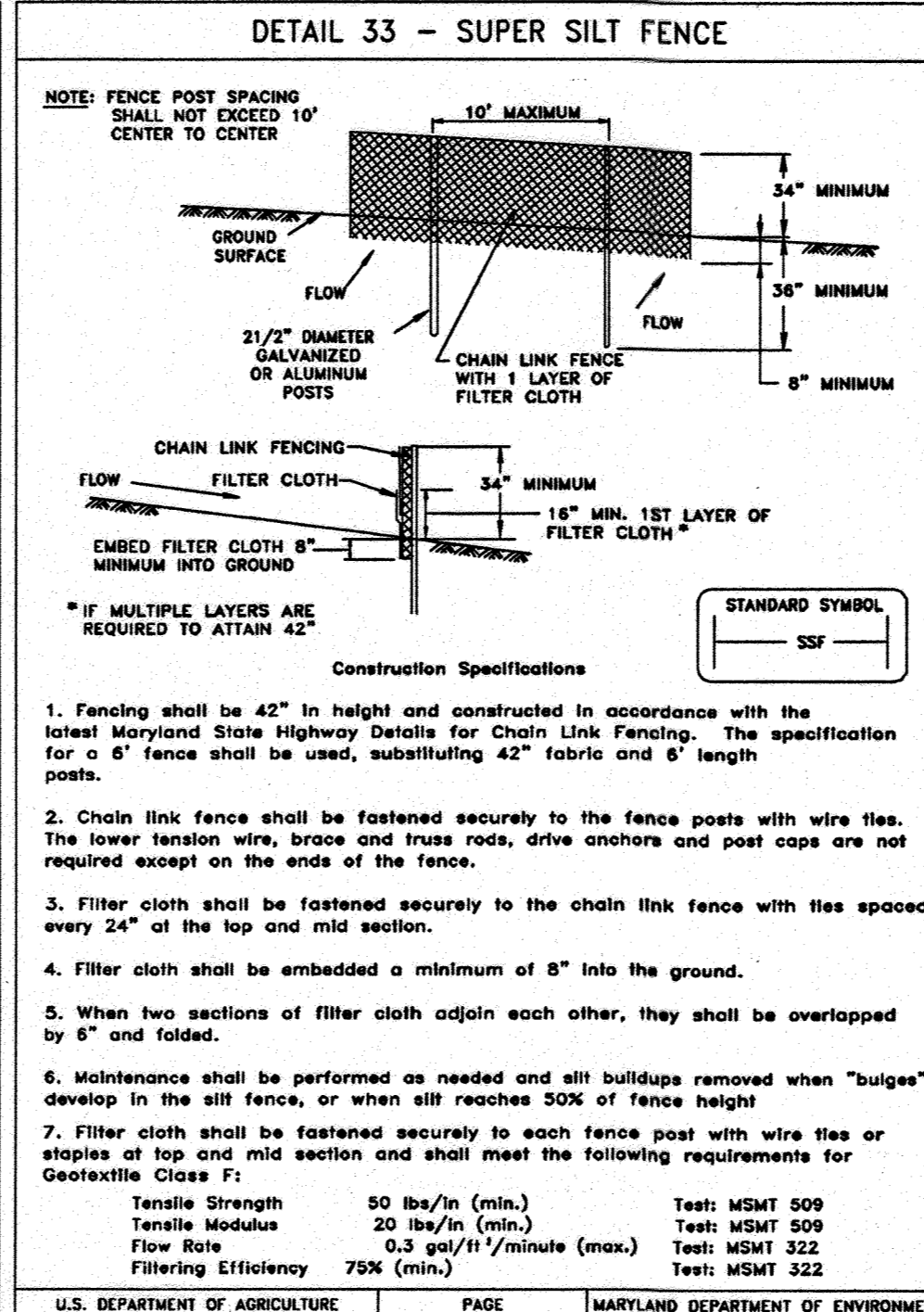
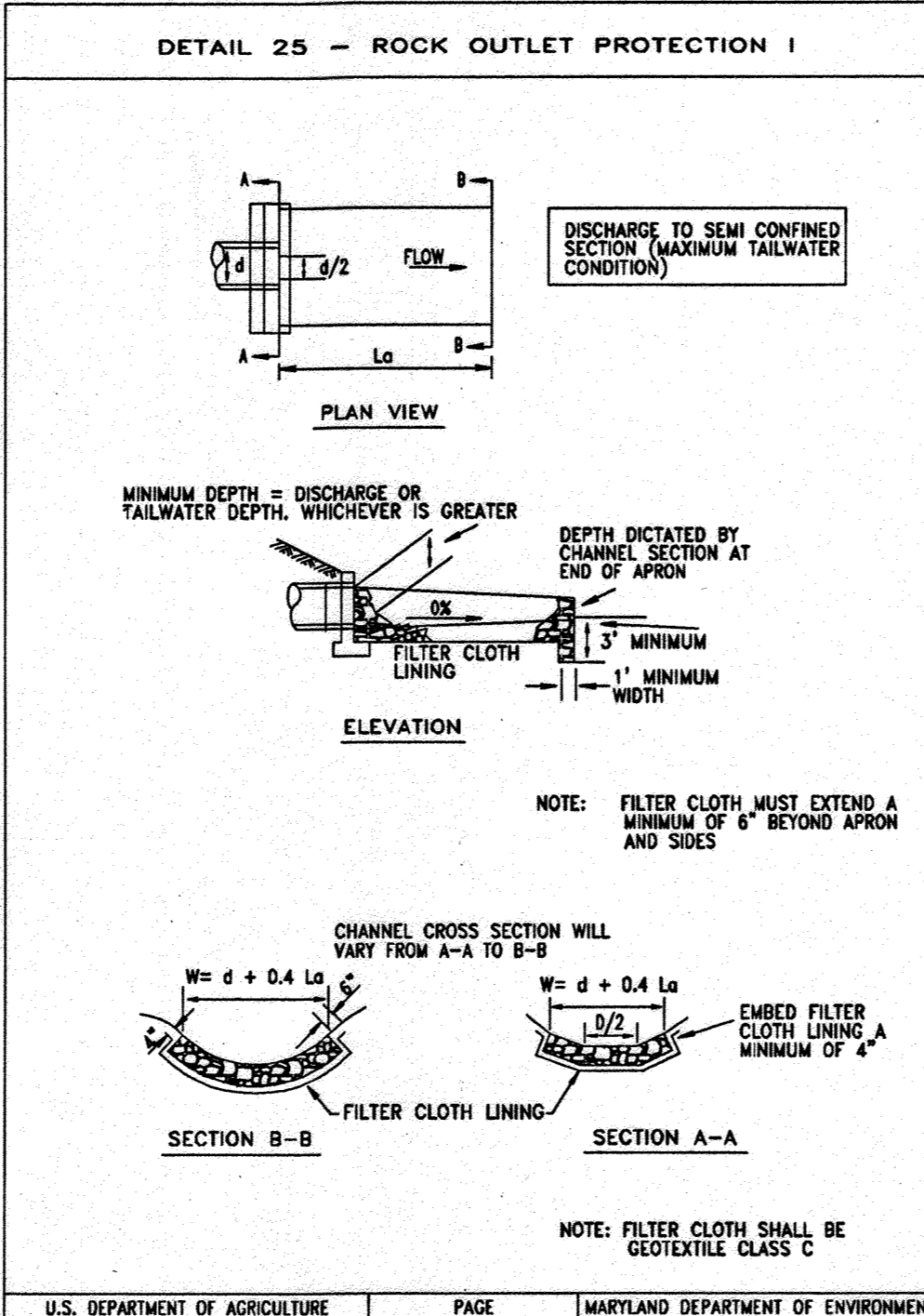
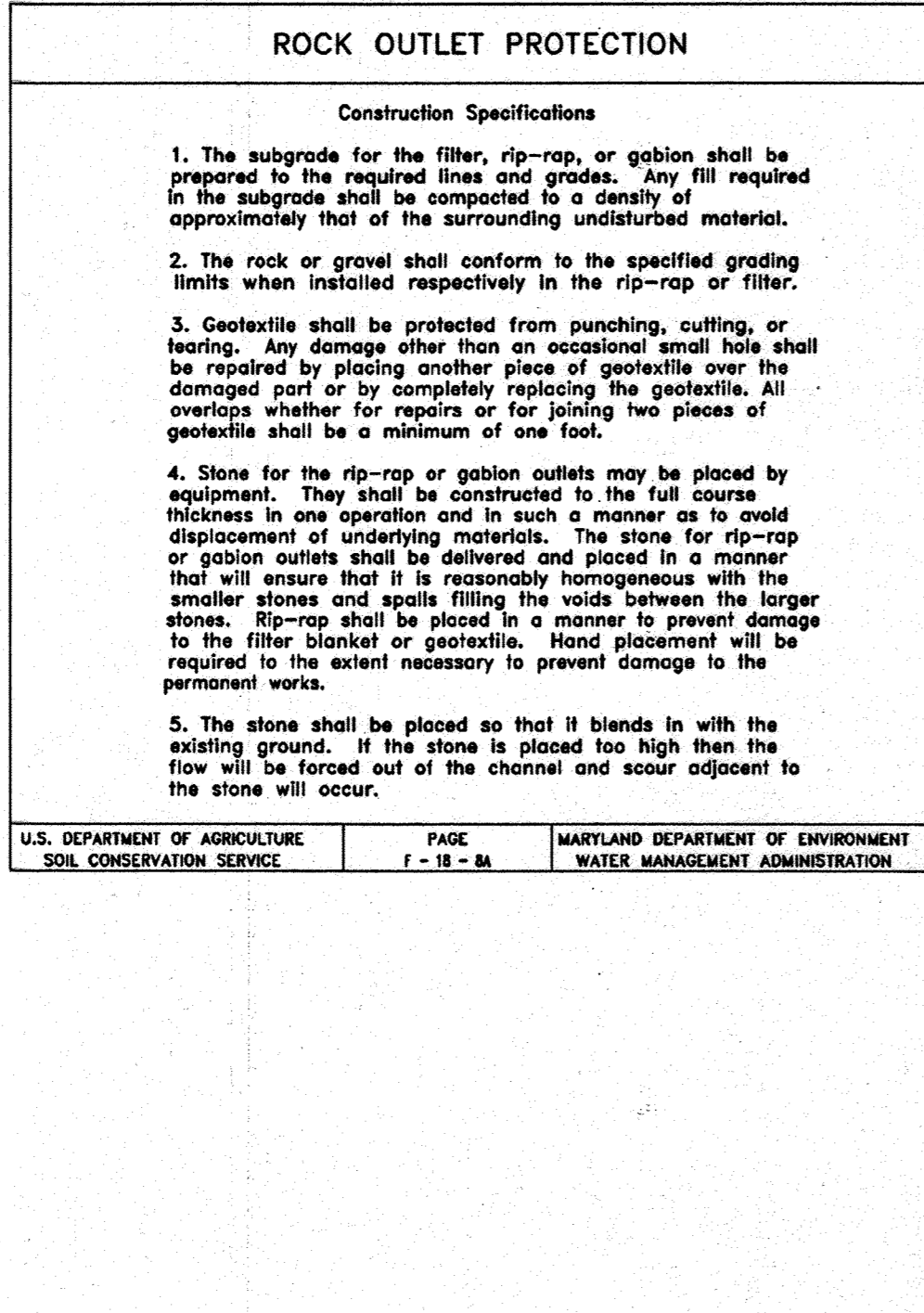
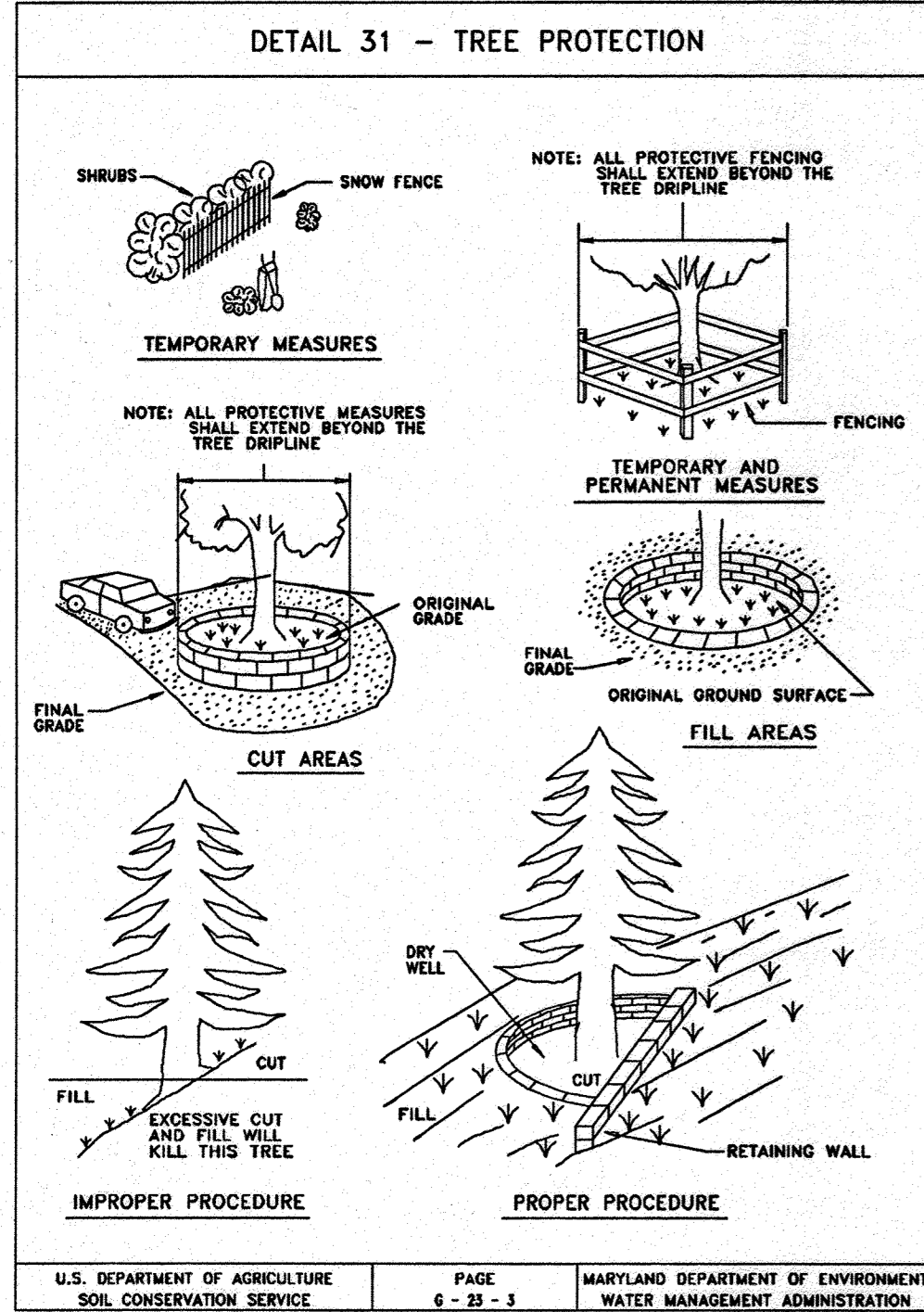
THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.

Michael D. Adcock 5/15/2013
DATE

MICHAEL D. ADCOCK, PROFESSIONAL LAND SURVEYOR
MD REG. NO. 21287, EXPIRATION DATE: 05-16-15

GENERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY BOHLER ENGINEERING, P.C. IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY BOHLER ENGINEERING, P.C. SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

FOR REVISION ONLY

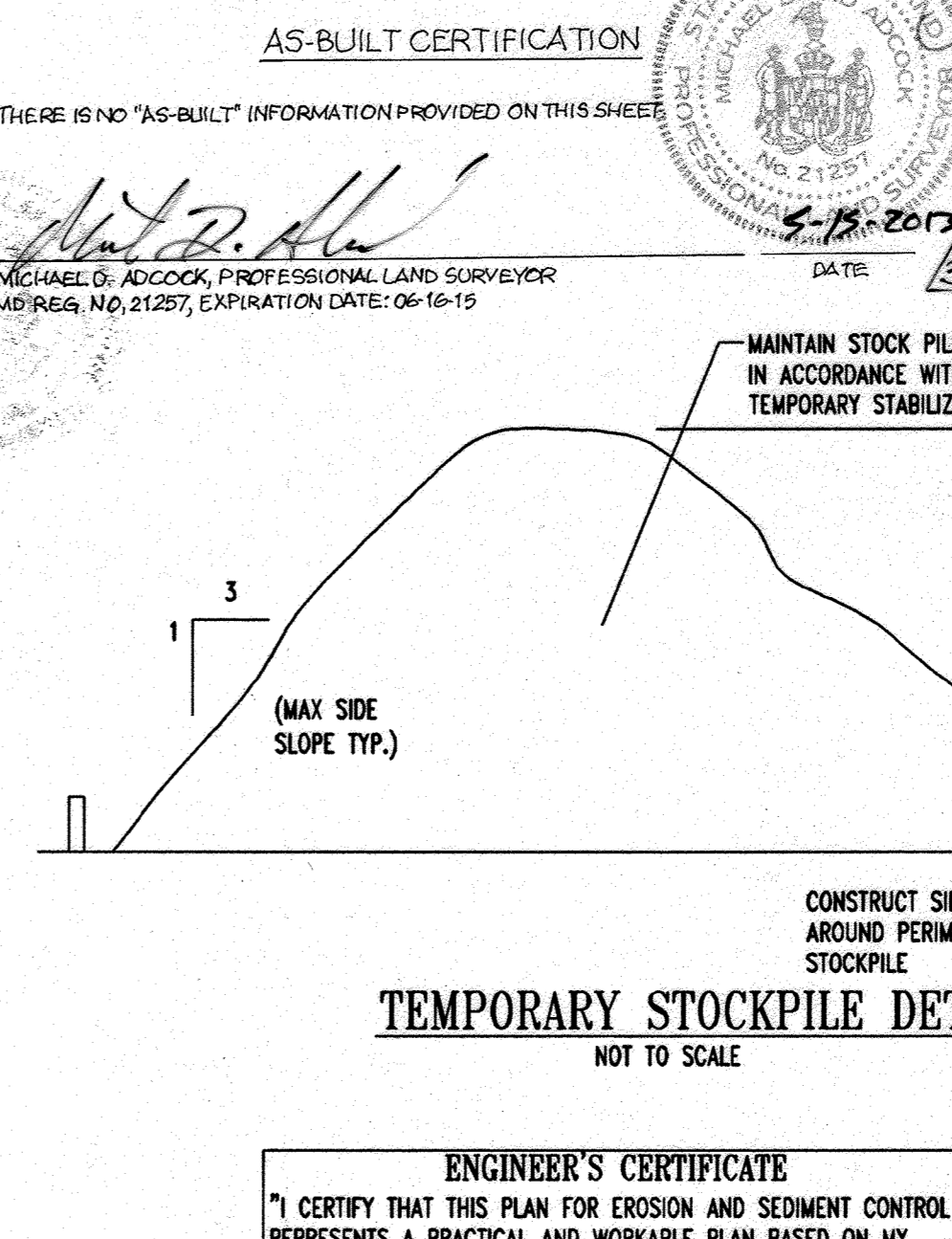


SUPER SILT FENCE

Design Criteria

| Slope | Slope Steepness | Slope Length (maximum) | Silt Fence Length (maximum) |
|----------|-----------------|------------------------|-----------------------------|
| 0 - 10% | 0 - 10:1 | Unlimited | Unlimited |
| 10 - 20% | 10:1 - 5:1 | 200 feet | 1,800 feet |
| 20 - 33% | 5:1 - 3:1 | 100 feet | 1,000 feet |
| 33 - 50% | 3:1 - 2:1 | 100 feet | 900 feet |
| 50% + | 2:1 + | 50 feet | 250 feet |

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 8 - 28 - 3
MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



ENGINEER'S CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT."

SIGNATURE OF ENGINEER (PRINT NAME BELOW SIGNATURE) DATE 7/6/07
HUGH F. COLE, JR.

DEVELOPER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL; AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT; I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

SIGNATURE OF DEVELOPER (PRINT NAME BELOW SIGNATURE) DATE 07/06/07
HUGH F. COLE, JR.

FOR REVISION 9 ONLY

STATE OF MARYLAND PROFESSIONAL ENGINEER

FOR REVISION 2 ONLY

FOR REVISION 1 ONLY

AS-BUILT

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

Jim Myer 7/17/07
USDA - NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Michael S. Adcock, PROFESSIONAL LAND SURVEYOR DATE 5-18-2013
M.D.B.E. NO. 21287, EXPIRATION DATE: 06-16-15

APPROVED: DEPARTMENT OF PLANNING AND ZONING
7/9/07
CHIEF-DEVELOPMENT ENGINEERING DIVISION DATE

Cindy Hamblin 7/9/07
CHIEF-DIVISION 4/LAND DEVELOPMENT DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
2/2/07
COUNTY HEALTH OFFICER DATE
HOWARD COUNTY HEALTH DEPARTMENT 1990

3/21/07
9/17/06
4/17/06
7/21/06
12/10/07

OWNER: NIN FULTON CENTER LLC
20526 WESTLAND CT
FULTON, MD. 20759

DEVELOPER: CHECK-FIL-A
5200 BURNINGWOOD ROAD
ATLANTA, GA 30349-2998
C/O SCOTT PATMAN
PHONE: (404) 684-8660

CHECK-FIL-A RESTAURANT & MEDICAL BUILDING
PART OF LOT 1, HOPKINS STATION (FORMER PRICE FARMS, LOT1)
PARCEL 425 L. 3,095, F. 39 & L. 7004, F. 653
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

LAUREL, HOWARD COUNTY, MARYLAND

AREA 3.59 AC. TAX MAP 41 GRID 22 ZONED B-2
PARCEL 425 L. 3,095, F. 39 & L. 7004, F. 653
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

EROSION AND SEDIMENT CONTROL DETAILS

BOHLER ENGINEERING, P.C.
PROFESSIONAL ENGINEERING SERVICES
510 CHILMENDALE COURT, SUITE 300,
TOWSON, MD 21286
(410) 981-7900 FAX: (410) 981-7997 | www.bohlereng.com

REVISIONS:

| NO. | DATE | REVISION DESCRIPTION |
|-----|----------|--|
| 1 | 12/10/07 | DETAILS, BLDG. AREA & ACCESS FROM LOT 1 |
| 2 | 7/21/06 | IRRIGATION LINE & C&P SERVICE YARD REVISIONS |
| 3 | 3/21/07 | UPDATED OWNER |
| 4 | 4/17/06 | REVISE TITLE |
| 5 | 9/17/06 | REVISE C&P SERVICE YARD |
| 6 | 7/9/07 | REVISE C&P BUILDING |

DATE: 7/6/07
DESIGNED BY: JH
DRAWN BY: RLB
PROJECT NO.: M006502.1
DATE: 9/28/06
SCALE: AS SHOWN
DRAWING NO. 13 OF 30

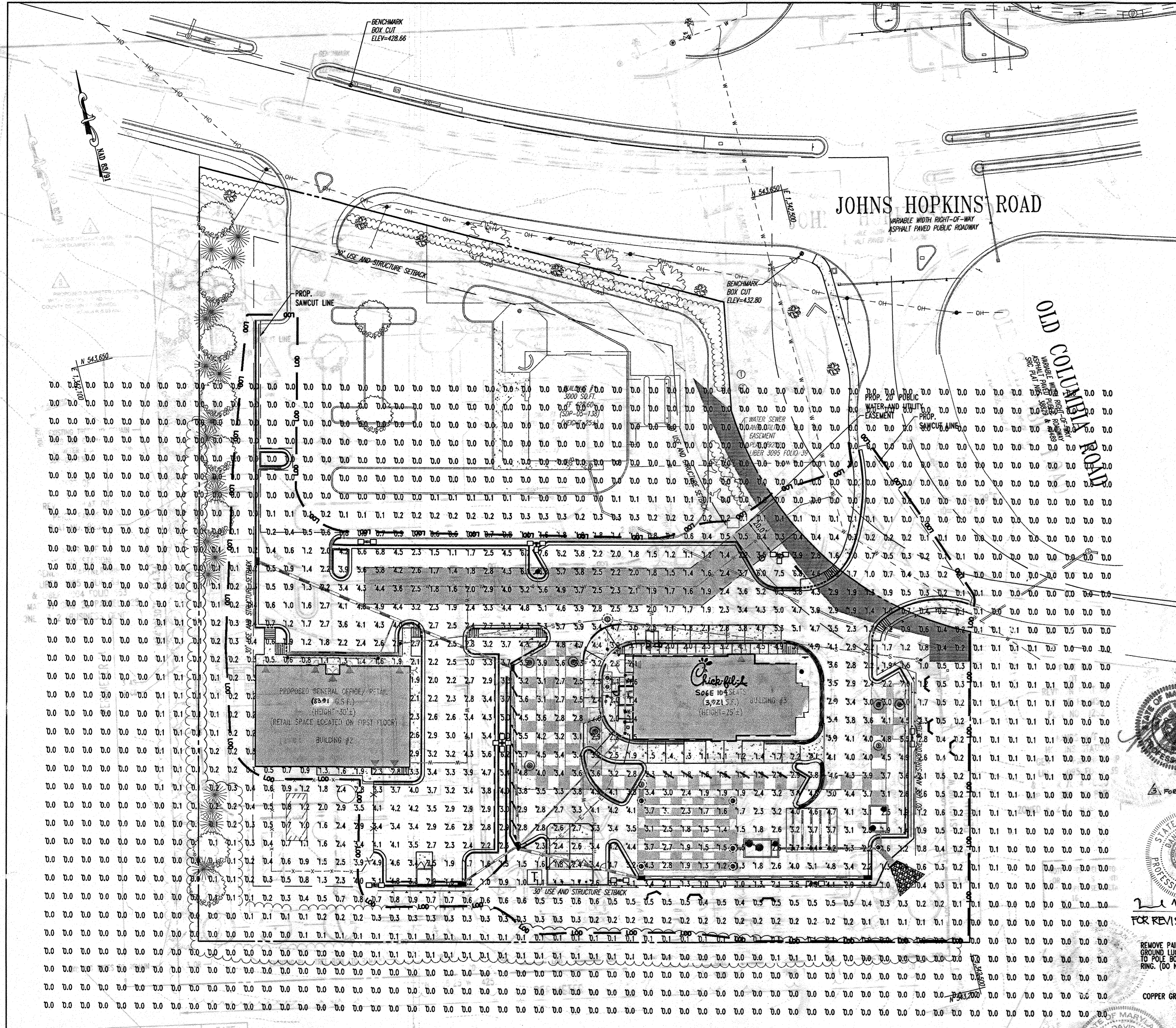
MATTHEW T. ALLEN
PROFESSIONAL ENGINEER NO. 28567

BEFORE YOU DIG CALL 1-800-487-7777
PROTECT YOURSELF, GIVE TWO WORKING DAYS NOTICE

THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREOF. APPROVED:

THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

FOR REVISION 9 ONLY



- NOTES**
1. Readings shown are based on a total LLF of .72 at grade.
 2. Please refer to the "luminaire locations" table for mounting heights.
 3. Product information can be obtained at www.Lithonia.com or through your local agency.

NOTE:
 LIGHTING PLAN PREPARED BY:
 ACUTITY BRANDS LIGHTING GROUP
 PHONE: (800) 279-8043
 ATTN: JAMES K. EADS

LUMINAIRE LOCATIONS

| No. | Label | X | Y | Z | MH | Orientation | Tilt |
|-----|-------|-------|-------|------|------|-------------|------|
| 1 | B | 409.0 | 79.5 | 30.0 | 30.0 | 180.0 | 0.0 |
| 2 | B | 348.7 | -3.4 | 30.0 | 30.0 | -90.0 | 0.0 |
| 3 | B | 245.1 | -0.9 | 30.0 | 30.0 | -90.0 | 0.0 |
| 4 | C | 330.4 | 182.4 | 30.0 | 30.0 | 90.0 | 0.0 |
| 5 | C | 221.4 | 185.2 | 30.0 | 30.0 | 90.0 | 0.0 |
| 6 | A | 180.9 | 78.0 | 30.0 | 30.0 | 0.0 | 0.0 |
| 7 | B | 102.7 | 184.7 | 25.5 | 25.5 | 90.0 | 0.0 |
| 8 | B | 128.1 | 0.1 | 30.0 | 30.0 | -90.0 | 0.0 |

LUMINAIRE SCHEDULE

| Symbol | Label | Qty | Catalog Number | Description | Lamp | File | Lumens | LLF | Watts |
|--------|-------|-----|----------------|--|---|--------------|--------|------|-------|
| | B | 5 | KSF2 400M R4SC | AREA LIGHT WITH TYPE 4, CUTOFF REFLECTOR, FLAT GLASS LENS. | ONE 400-WATT CLEAR ED-28 METAL HALIDE, HORIZONTAL POSITION. | 93041301.IES | 32000 | 0.72 | 924 |
| | C | 2 | KSF2 400M R4SC | AREA LIGHT WITH TYPE 4, CUTOFF REFLECTOR, FLAT GLASS LENS. | ONE 400-WATT CLEAR ED-28 METAL HALIDE, HORIZONTAL POSITION. | 93041301.IES | 32000 | 0.72 | 1386 |
| | A | 1 | KSF2 400M R4SC | AREA LIGHT WITH TYPE 4, CUTOFF REFLECTOR, FLAT GLASS LENS. | ONE 400-WATT CLEAR ED-28 METAL HALIDE, HORIZONTAL POSITION. | 93041301.IES | 32000 | 0.72 | 1848 |

LITHONIA LIGHTING

FEATURES & SPECIFICATIONS

INTENDED USE - Ideal for use in car lot, street lighting or parking areas.

CONSTRUCTION - Rugged, 300° 304 stainless steel reflector housing with 1/2" diameter lamp and socket. Fully gasketed, weatherproof and corrosion resistant. Mounting arm is made of 304 stainless steel. Mounting arm is made of 304 stainless steel. Mounting arm is made of 304 stainless steel.

OPTIONAL ACCESSORIES - Includes 1/2" diameter lamp and socket. Includes 1/2" diameter lamp and socket. Includes 1/2" diameter lamp and socket.

ELECTRICAL SYSTEM - Contains wiring instructions for 120V AC, 60 Hz, 15-20 amp service. Includes 1/2" diameter lamp and socket. Includes 1/2" diameter lamp and socket.

INSTALLATION - Includes 1/2" diameter lamp and socket. Includes 1/2" diameter lamp and socket. Includes 1/2" diameter lamp and socket.

ORDERING INFORMATION

Check the luminaire catalog for more information. Check the luminaire catalog for more information. Check the luminaire catalog for more information.

| Series | Voltage | Mounting | Options | Accessories |
|----------------|---------|----------|---|---|
| KSF2 400M R2 | 120V | Arm | 1/2" Dia. Lamp (120V, 300W, 400W, 500W) | 1/2" Dia. Lamp (120V, 300W, 400W, 500W) |
| KSF2 400M R4 | 120V | Arm | 1/2" Dia. Lamp (120V, 300W, 400W, 500W) | 1/2" Dia. Lamp (120V, 300W, 400W, 500W) |
| KSF2 400M R4SC | 120V | Arm | 1/2" Dia. Lamp (120V, 300W, 400W, 500W) | 1/2" Dia. Lamp (120V, 300W, 400W, 500W) |

KSF2 400M Arm-Mounted Rectilinear Cutoff Lighting

AS-BUILT CERTIFICATION

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.

1/8" COPY OF THE LANDSCAPE PLAN ON THIS PLAN WILL BE PROVIDED TO THE LANDSCAPE PLAN REVIEWER. THE LANDSCAPE PLAN REVIEWER WILL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES AND STRUCTURES. THE LANDSCAPE PLAN REVIEWER WILL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES AND STRUCTURES.

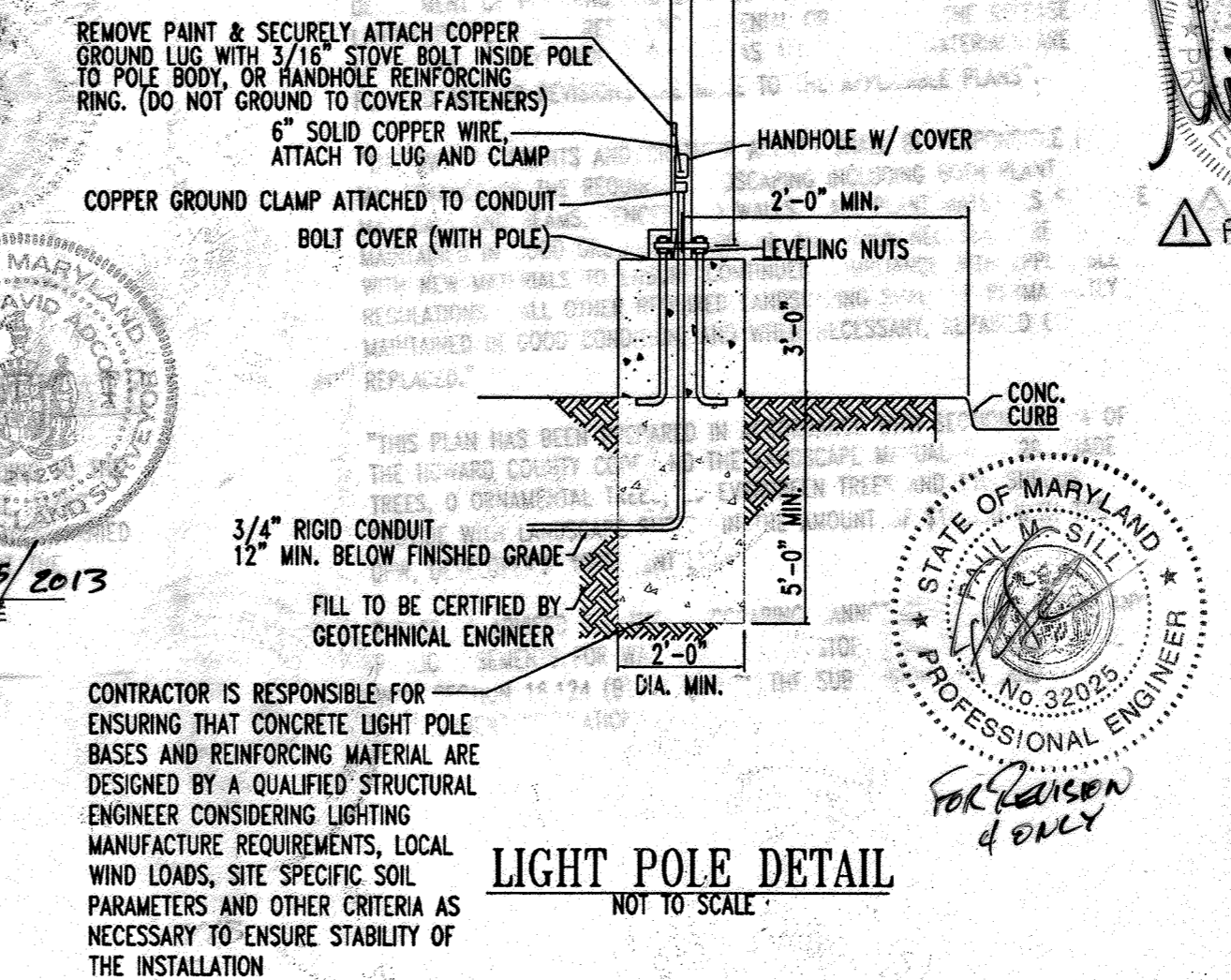
GRAPHIC SCALE

1 inch = 30 ft.

STATE OF MARYLAND PROFESSIONAL ENGINEER

STATE OF MARYLAND PROFESSIONAL ENGINEER

STATE OF MARYLAND PROFESSIONAL ENGINEER



APPROVED: DEPARTMENT OF PLANNING AND ZONING

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.

APPROVED: CHICK-FIL-A

APPROVED: BOHLER ENGINEERING, P.C.

BOHLER ENGINEERING, P.C.

Professional Engineering Services

810 GREENGLADE COURT, SUITE 300, TOWSON, MD 21286

1410 81st STREET, FLOOR 20, CHICAGO, IL 60619

DATE: 12/15/06

DESIGNED BY: JD

DRAWN BY: RLB

PROJECT NO: MD058502.1

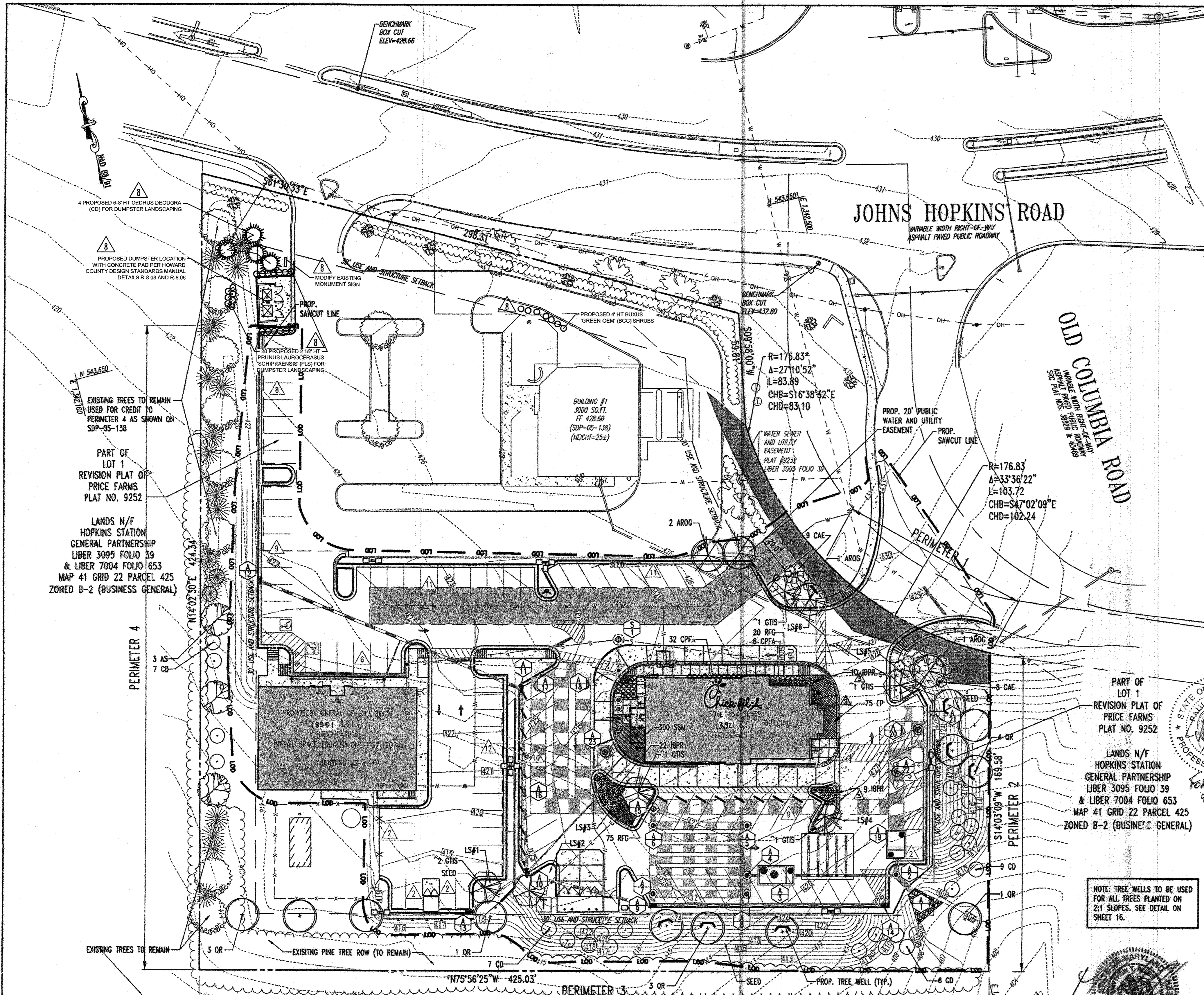
DATE: 9/28/06

SCALE: 1"=30'

DRAWING NO. 14 OF 30

GENERAL NOTE:

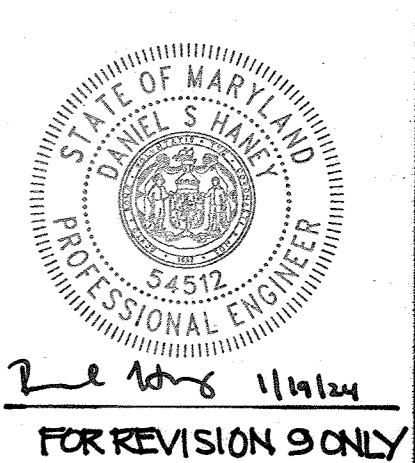
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY BOHLER ENGINEERING, P.C. IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY BOHLER ENGINEERING, P.C. SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.



TOTAL PLANTING SCHEDULE

| KEY | QTY | BOTANICAL NAME | COMMON NAME | SIZE | ROOT |
|---------------------------|-----|---|-----------------------------|---------------|-----------|
| DECIDUOUS TREE(S) | | | | | |
| AROC | 4 | ACER RUBRUM 'OCTOBER GLORY' | OCTOBER GLORY RED MAPLE | 2 1/2-3" CAL. | B+B |
| AS | 3 | ACER SACCHARUM | SUGAR MAPLE | 2 1/2-3" CAL. | B+B |
| OR | 12 | QUERCUS RUBRA | RED OAK | 2 1/2-3" CAL. | B+B |
| GTS | 6 | GLEDITSIA TRIACANTHOS VAR. INTERMIS 'SHADEMASTER' | SHADEMASTER HONEYLOCUST | 2 1/2-3" CAL. | B+B |
| BN | 1 | BETULA NIGRA | MULTI STEM BIRCH | 12-14' | B+B |
| EVERGREEN TREE(S) | | | | | |
| CD | 33 | CEDRUS DEODARA | DEODAR CEDAR | 6' - 8' HT. | B+B |
| DECIDUOUS SHRUB(S) | | | | | |
| CAE | 17 | CORNUS ALBA 'ELEGANTISSIMA' | VARIEGATED RED TWIG DOGWOOD | 2-3' | B+B |
| EVERGREEN SHRUB(S) | | | | | |
| CPFA | 38 | CHAMAECYPARIS PISIFERA 'FILIFERA AUREA' | GOLD THREAD CYPRESS | 15-18" SPRD. | #3 CAN |
| IBPR | 43 | ILEX 'MESSEYEA' 'BLUE PRINCESS' | BLUE PRINCESS HOLLY | 24-30" | #5 CAN |
| BGG | 2 | PRUNUS LAUROCERASUS 'SCHIPKENSIS' | SCHIP LAUREL | 2 1/2 HT | #5 CAN |
| BGG | 2 | BUXUS 'GREEN GEM' | GREEN GEM BOXWOOD | 4' HT | #5 CAN |
| EP | 75 | ECHINACEA PURPUREA | PURPLE CONE FLOWER | 1 QT. | CONTAINER |
| RFC | 95 | RUDEBECKIA FULGIDA 'GOLDSTURM' | GOLDSTURM | 2 GAL. | CONTAINER |
| SSM | 300 | SALVIA SUPERBA 'MAYNIGHT' | MAYNIGHT MEADOW SAGE | 2 GAL. | CONTAINER |
| | 470 | | | | |

IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.



SCHEDULE A: PERIMETER LANDSCAPED EDGE

| CATEGORY | ADJACENT TO PERIMETER PROPERTIES | | | | |
|--|---|--|---|---|---|
| | E (PERIMETER 1) | C (PERIMETER 2) | C (PERIMETER 3) | C (PERIMETER 4) | TOTAL |
| LANDSCAPE TYPE | 68 LF | 169.54 LF | 425.03 LF | 345 LF | 60 LF |
| LINEAR FEET OF PERIMETER | 88 LF | 169.54 LF | 425.03 LF | 345 LF | 60 LF |
| CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) | NO | NO | YES 170 LF | YES 185 LF | NO |
| CREDIT FOR WALL, FENCE, OR BERM (YES, NO, LINEAR FEET) | NO | NO | NO | NO | NO |
| NUMBER OF PLANTS REQUIRED | 2 SHADE TREES 8 EVERGREEN TREES 17 SHRUBS | 5 SHADE TREES 9 EVERGREEN TREES 0 SHRUBS | 7 SHADE TREES 15 EVERGREEN TREES 0 SHRUBS | 4 SHADE TREES 8 EVERGREEN TREES 0 SHRUBS | 20 SHADE TREES 34 EVERGREEN TREES 17 SHRUBS |
| CREDIT FOR EXISTING VEGETATION | N/A | N/A | 170 LF OF EXISTING PINE TREE ROW | 6 SHADE TREES* 11 EVERGREEN TREES* 0 SHRUBS | 6 SHADE TREES 11 EVERGREEN TREES 0 SHRUBS |
| NUMBER OF PLANTS PROVIDED | 2 SHADE TREES 8 EVERGREEN TREES 17 SHRUBS | 5 SHADE TREE 9 EVERGREEN TREES 0 SHRUBS | 7 SHADE TREES 15 EVERGREEN TREES 0 SHRUBS | 3 SHADE TREES 7 EVERGREEN TREES 0 SHRUBS | 23 SHADE TREES 44 EVERGREEN TREES 37 SHRUBS |

SCHEDULE B: PARKING LOT INTERNAL PLANTING

| | |
|---|---------|
| NUMBER OF PARKING SPACES: | 119 |
| NUMBER OF LANDSCAPE ISLANDS AND TREES REQUIRED (1 PER 20 PARKING SPACES): | 6 |
| NUMBER OF LANDSCAPE ISLANDS AND TREES PROVIDED: | 6 |
| SHADE TREES: | 6 TREES |

*** INDICATES PLANT MATERIAL UTILIZED TO FULFILL REQUIREMENT
*LS# INDICATES REQUIRED LANDSCAPE ISLANDS

AS-BUILT
SOIL TYPES
ChB2 CHESTER SILT LOAM, 3-8% SLOPES, MODERATELY ERODED
G1C2 GLENELG LOAM, 8-15% SLOPES, MODERATELY ERODED

PARKING LOT PLANTING SCHEDULE

| QUANTITY | SYMBOL | BOTANICAL NAME | COMMON NAME | SIZE |
|----------|--------|---|-----------------------------|---------------|
| 6 | AROC | GLEDITSIA TRIACANTHOS VAR. INTERMIS 'SHADEMASTER' | SHADEMASTER HONEYLOCUST | 2 1/2-3" CAL. |
| 7 | BGG | BUXUS 'GREEN GEM' | GREEN GEM BOXWOOD | 4' HT |
| 4 | AROC | ACER RUBRUM 'OCTOBER GLORY' | OCTOBER GLORY RED MAPLE | 2 1/2-3" CAL. |
| 17 | CAE | CORNUS ALBA 'ELEGANTISSIMA' | VARIEGATED RED TWIG DOGWOOD | 2-3' |

PERIMETER PLANTING SCHEDULE

| QUANTITY | SYMBOL | BOTANICAL NAME | COMMON NAME | SIZE |
|----------|--------|-----------------------------------|--------------|---------------|
| 16 | OR | QUERCUS RUBRA | RED OAK | 2 1/2-3" CAL. |
| 33 | CD | CEDRUS DEODARA | DEODAR CEDAR | 6' - 8' HT. |
| 3 | AS | ACER SACCHARUM | SUGAR MAPLE | 2 1/2-3" CAL. |
| 20 | BGG | PRUNUS LAUROCERASUS 'SCHIPKENSIS' | SCHIP LAUREL | 2 1/2 HT |

LANDSCAPE NOTES

"AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN, SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULTING IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURVEY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS"

"THE OWNER, TENANTS AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BEAMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED."

"THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL WITH 29 SHADE TREES, 0 ORNAMENTAL TREES, 29 EVERGREEN TREES AND 110 SHRUBS PROVIDED WITH LANDSCAPE SURVEY IN THE AMOUNT OF \$16,350 WITH THE DPW, DEVELOPER'S AGREEMENT."

PLEASE BE ADVISED THE LANDSCAPING CANNOT BE LOCATED WITHIN ANY PUBLIC EASEMENTS FOR WATER, SEWER OR STORM DRAINS IN ACCORDANCE WITH SECTION 16.124 (B) (1) (II) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF-DEVELOPMENT ENGINEERING DIVISION: *[Signature]* 5/14/19 DATE

CHIEF-DIVISION & LAND DEVELOPMENT: *[Signature]* 5/21/19 DATE

DIRECTOR: *[Signature]* 5/21/19 DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.

HOWARD COUNTY HEALTH DEPARTMENT

3-A-24 UPDATED OWNER: *[Signature]* 7/8/19 DATE

3-A-24 REVISION TITLE: *[Signature]* 7/8/19 DATE

3-A-24 REVISION DESCRIPTION: *[Signature]* 7/8/19 DATE

NO. 1: DATE: REVISION DESCRIPTION:

OWNER: CHICK-FIL-A RESTAURANT & MEDICAL BUILDING PART OF LOT 1, HOPKINS STATION (FORMER PRICE FARMS, LOT1) JOHN HOPKINS ROAD LAUREL, HOWARD COUNTY, MARYLAND

DEVELOPER: CHICK-FIL-A 5200 BUFFINGTON ROAD ATLANTA, GA 30349-2998 C/O SCOTT PARTMAN PHONE: (404) 684-8860

AREA 3.59 AC. TAX MAP 41 GRID 22 ZONED B-2 PARCEL 425 L 3,095, F. 39 & L. 7004, F. 653 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

DEVELOPER'S/OWNER'S LANDSCAPE CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

By: *[Signature]*
DEVELOPER'S/OWNER'S NAME

AS-BUILT CERTIFICATION

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.

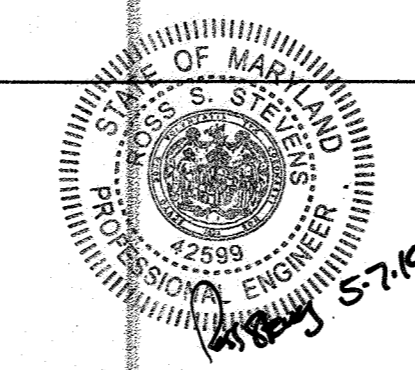
[Signature] 5-15-2019 DATE

MICHAEL D. ADCOCK, PROFESSIONAL LAND SURVEYOR
MD REG. NO. 21289, EXPIRATION DATE: 06/16/15

| NO. | REVISION | DATE |
|-----|--|------------|
| 8 | CHANGE OF USE OF BLDG. 1 FROM A COMMERCIAL BANK TO A RETAIL COFFEESHOP (STARBUCKS) | 2019-05-07 |

FOR REVISION 7 ONLY

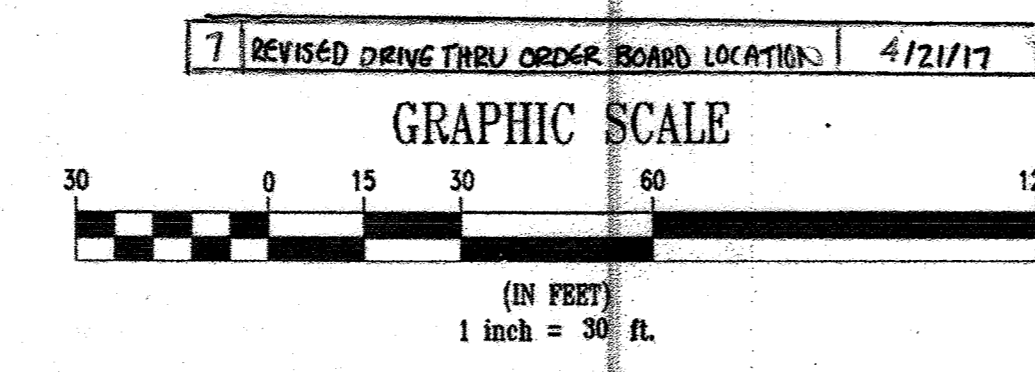
LANDS N/F
JAMES ALAN PRICE
LIBER 5359 FOLIO 489
JAMES ALAN PRICE, TR., OF THE MILDRED B. PRICE
FAMILY LIVING TRUST
LIBER 5359 FOLIO 486
MAP 41 GRID 22 PARCEL 128
ZONED RR-MXD-3 (RESIDENTIAL)



FOR REVISION 8 ONLY

GENERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY BOHLER ENGINEERING, P.C. IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY BOHLER ENGINEERING, P.C. SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

NOTE
ALL 2:1 SLOPES TO BE SODDED AND STABILIZED.



BOHLER ENGINEERING, P.C.

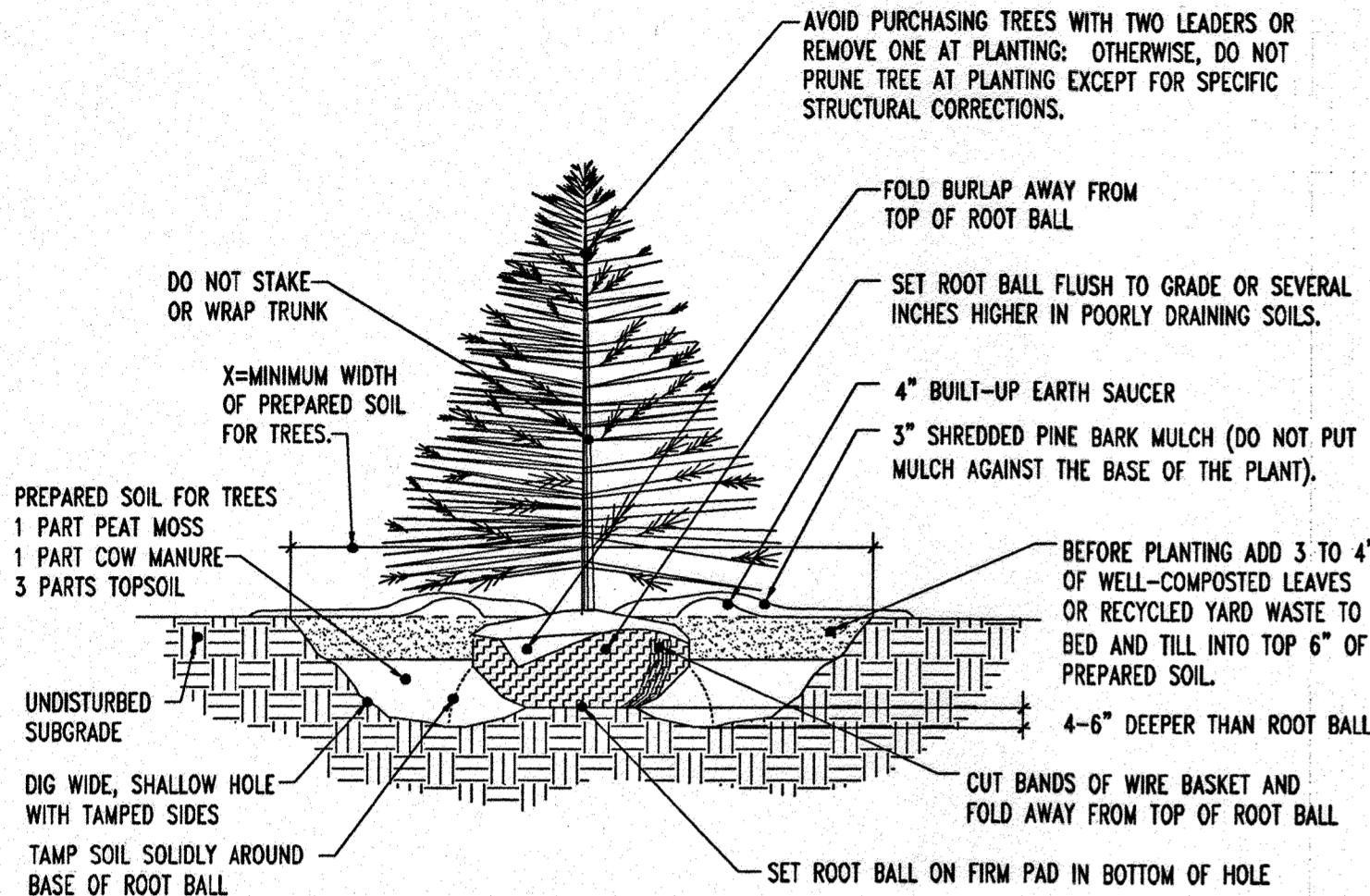
PROFESSIONAL ENGINEERING SERVICES
#110 GLENSHEDS COUNTY, SUITE 300, TOWSON, MD 21286
1100 W. BELT ROAD, SUITE 200, TOWSON, MD 21286

REVISION: 12/15/06
DESIGNED BY: JD
DRAWN BY: RLB
PROJECT NO.: MD056502.1
DATE: 9/28/06
SCALE: 1"=30'
DRAWING NO. 15 OF 30

MATTHEW T. ALLEN
PROFESSIONAL ENGINEER NO. 28567

NOTES FOR DECIDUOUS AND EVERGREEN TREE PLANTINGS:

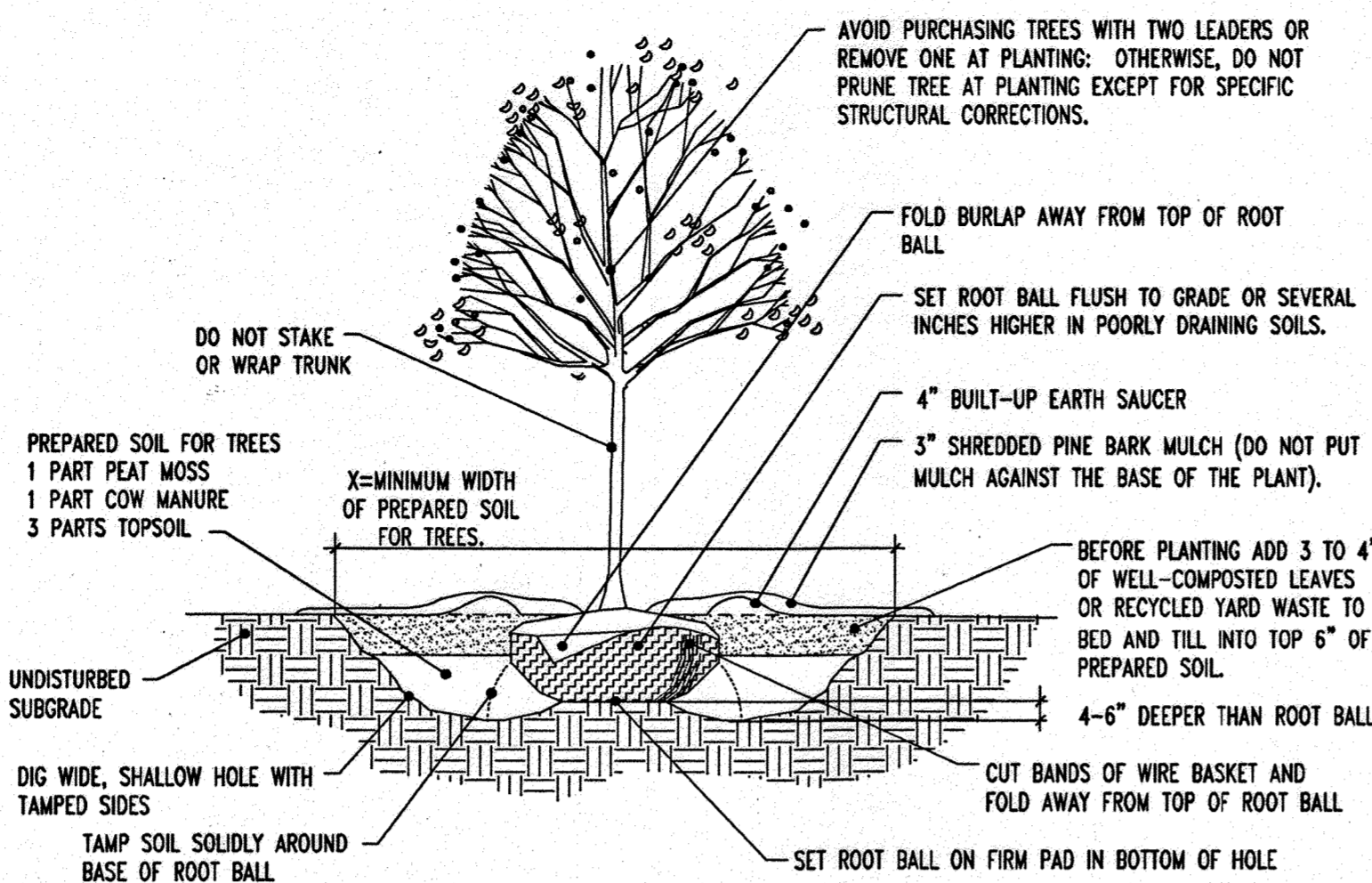
- 1. NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
2. REMOVE ALL ROPE FROM TRUNK & TOP OF ROOT BALL. FOLD BURLAP BACK 1/3 FROM TOP OF ROOT BALL.
3. PLANTING DEPTH SHALL BE THE SAME AS GROWN IN NURSERY.
4. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
5. THE BOTTOM OF PLANTING PIT EXCAVATIONS SHOULD BE ROUGH TO AVOID MATTING OF SOIL LAYERS AS NEW SOIL IS ADDED. IT IS PREFERABLE TO TILL THE FIRST LIFT (2 TO 3 IN.) OF PLANTING SOIL INTO THE SUBSOIL.



REFERENCE: ARCHITECTURAL GRAPHIC STANDARDS 1998 CUMULATIVE SUPPLEMENT.

EVERGREEN TREE PLANTING DETAIL

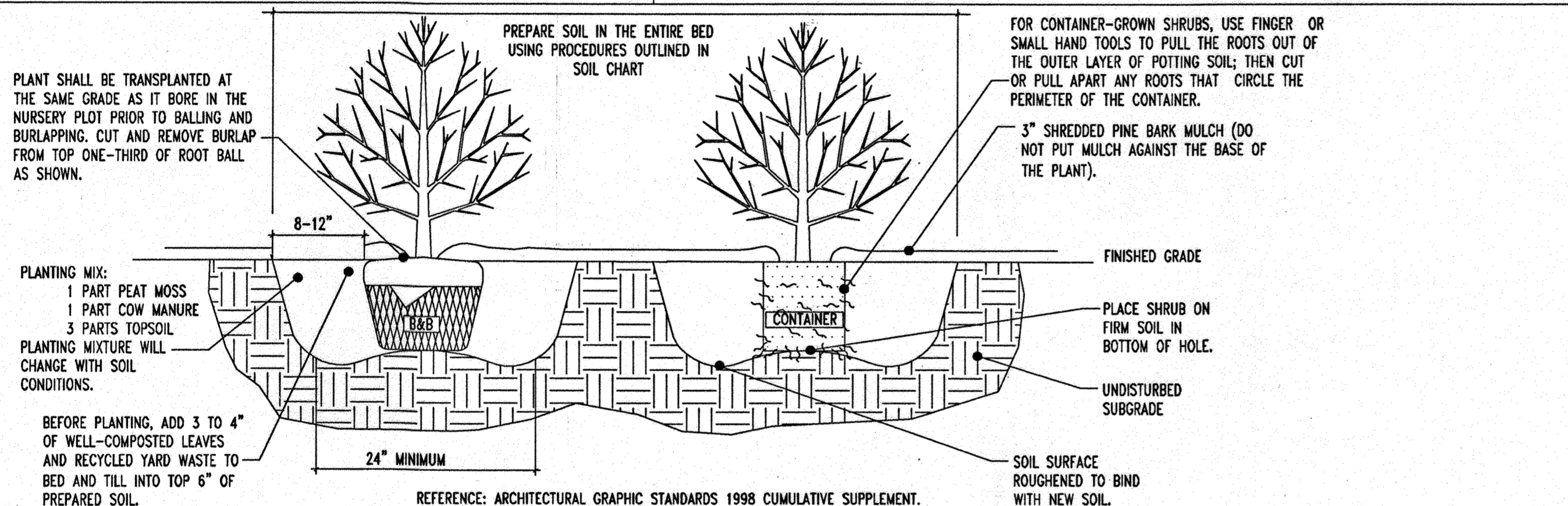
NOT TO SCALE



REFERENCE: ARCHITECTURAL GRAPHIC STANDARDS 1998 CUMULATIVE SUPPLEMENT.

DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE



REFERENCE: ARCHITECTURAL GRAPHIC STANDARDS 1998 CUMULATIVE SUPPLEMENT.

DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL

NOT TO SCALE

GENERAL RANGE OF SOIL MODIFICATIONS & VOLUMES FOR VARIOUS SOIL CONDITIONS

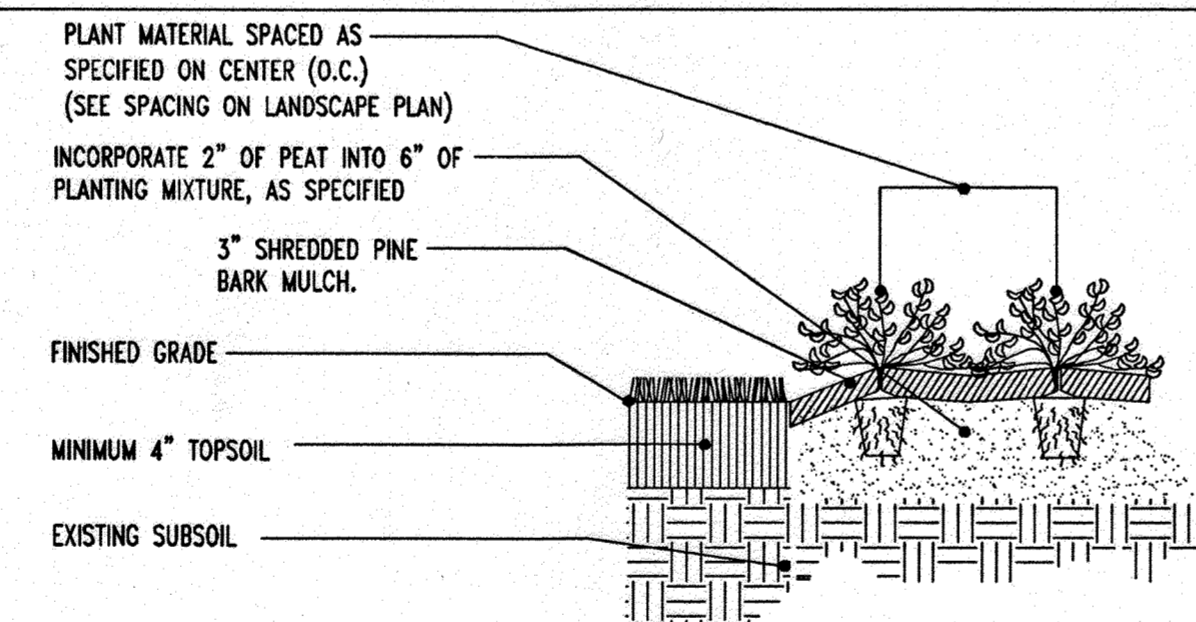
Table with 3 columns: POST-CONSTRUCTION SOIL CONDITION, MIN./WIDTH PREPARED SOIL FOR TREES (X), TYPE OF PREPARATION. Rows include Good Soil, Compacted Soil, Graded Subsoils, and Poor Quality Fills.

REFERENCE: ARCHITECTURAL GRAPHIC STANDARDS 1998 CUMULATIVE SUPPLEMENT.

SEEDING SPECIFICATIONS

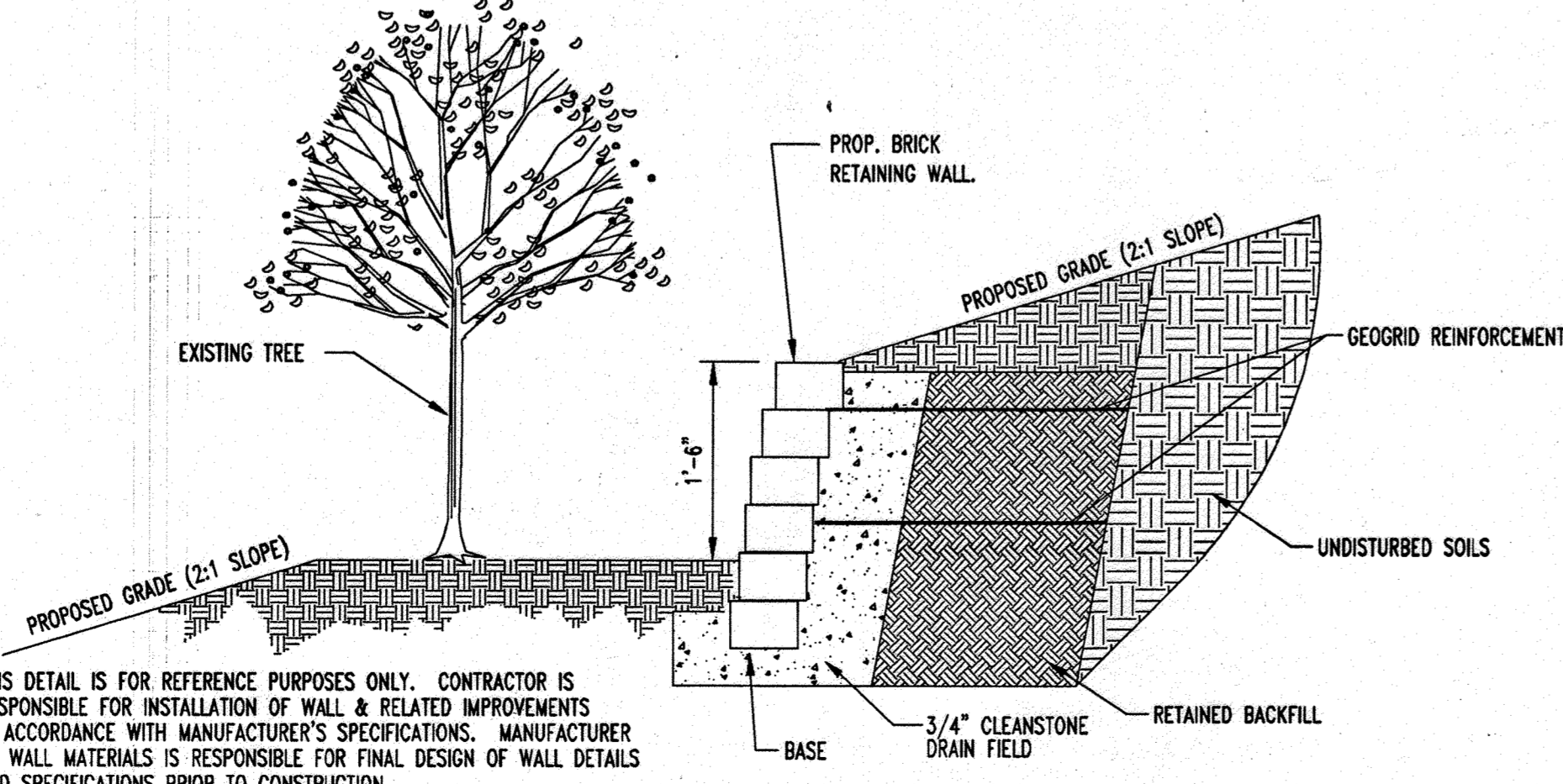
- 1. PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 2" DIAMETER.
2. PRIOR TO SEEDING, CONSULT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
3. SEEDING RATES: PERENNIAL RYEGRASS 1/2 LB/1,000 SQ FT, KENTUCKY BLUEGRASS 1 LB/1,000 SQ FT, RED FESCUE 1 1/2 LBS/1,000 SQ FT, SPREADING FESCUE 1 1/2 LBS/1,000 SQ FT, FERTILIZER (20:10:10) 14 LBS/1,000 SQ FT, MULCH 90 LBS/1,000 SQ FT.
4. GERMINATION RATES WILL VARY AS TO TIME OF YEAR FOR SOWING. CONTRACTOR TO IRRIGATE SEEDED AREA UNTIL AN ACCEPTABLE STAND OF COVER IS ESTABLISHED BY OWNER.

GENERAL NOTE: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION...



PERENNIAL/GROUND COVER PLANTING DETAIL

NOT TO SCALE



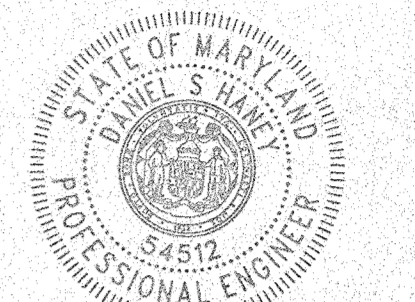
TREE WELL DETAIL

NOT TO SCALE

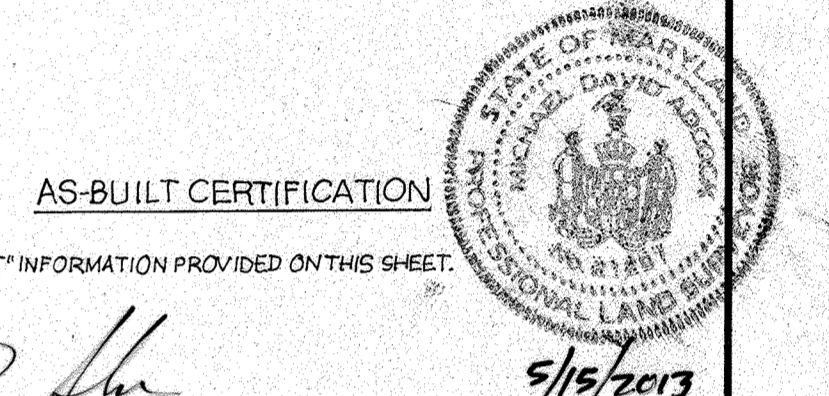
LANDSCAPE SPECIFICATIONS

- 1. SCOPE OF WORK: THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING AND SOWING, AND ALL RELATED CONSTRUCTION, INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT...
2. MATERIALS: GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS.
3. TOPSOIL: - NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5-7.0...
4. LAWN: - ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM SIX INCH (6") THICK LAYER OF TOPSOIL...
5. MULCH: - ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH...
6. FERTILIZER: FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER...
7. PLANT MATERIAL: ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1), LATEST EDITION...

- 8. ALL PLANTING AND LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE...
9. PLANTING: AS FAR AS IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY...
10. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHICH WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED PRACTICE...
11. PLANTS: MARCH 15 TO DECEMBER 15
12. LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1

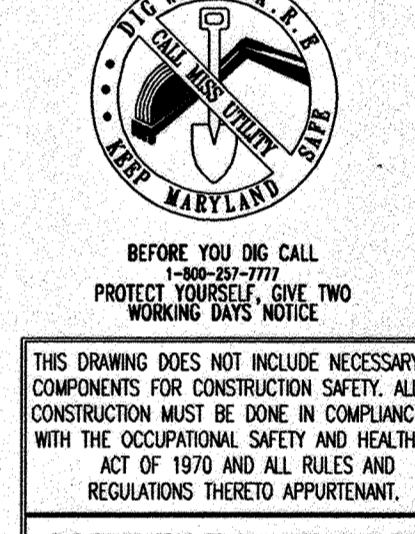


Ready 11/16/24 FOR REVISION 9 ONLY

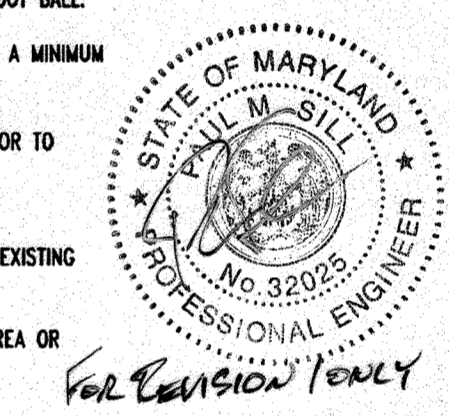


MICHAEL D. ADCOCK, PROFESSIONAL LAND SURVEYOR MD REG. NO. 21297, EXPIRATION DATE: 06/16/19

MISS UTILITY



BEFORE YOU DO CALL... PROTECT YOURSELF FROM TWO WORKING DAYS NOTICE



BEFORE YOU DO CALL... PROTECT YOURSELF FROM TWO WORKING DAYS NOTICE

AS-BUILT

Approval table for Department of Planning and Zoning, Chief-Development Engineering Division, Chief-Division & Land Development, and Director.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.

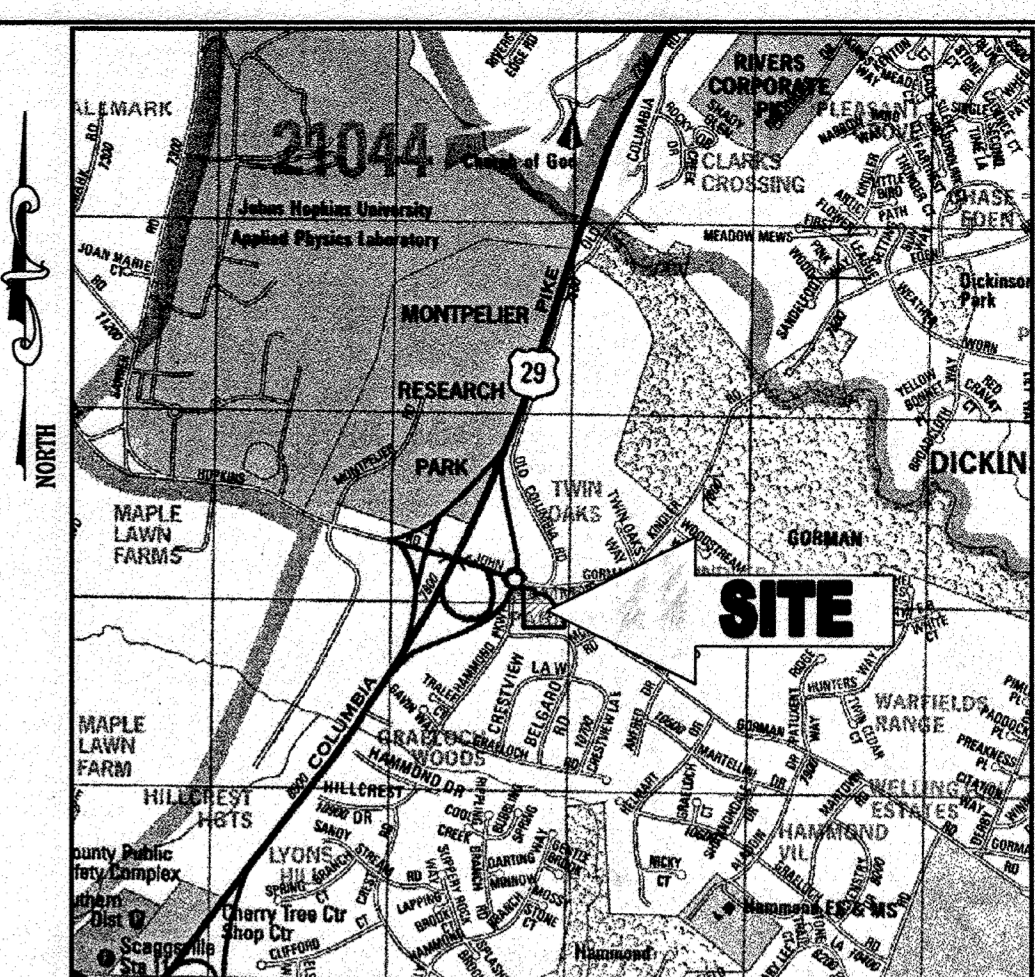
Owner and Developer information table including addresses for NN Fulton Center, LLC and Chick-Fil-A Restaurant & Medical Building.

LANDSCAPE NOTES AND DETAILS

BOHLER ENGINEERING, P.C.

Professional Engineering Services, 1101 Old Dominion Tower, Suite 2000, Fairfax, VA 22031, (703) 271-7997 | info@bohlereng.com

REVISED: 12/15/06, DESIGNED BY: JD, DRAWN BY: RLB, PROJECT NO.: MD05562.1, DATE: 9/28/06, SCALE: 1"=30', DRAWING NO. 16 OF 30



LOCATION MAP
 COPYRIGHT ADC THE MAP PEOPLE
 PERMIT USE NO. 20602153-5
 SCALE: 1"=2000'

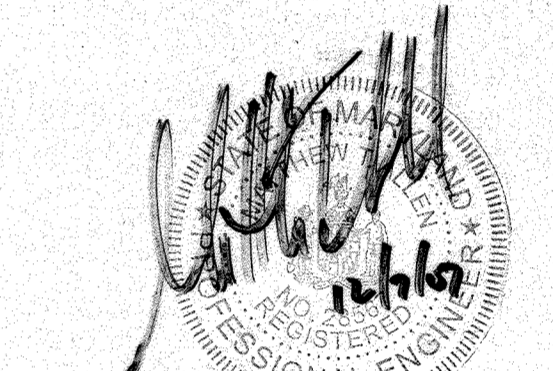
AS-BUILT



FOR REVISION 3 ONLY



FOR REVISION 2 ONLY

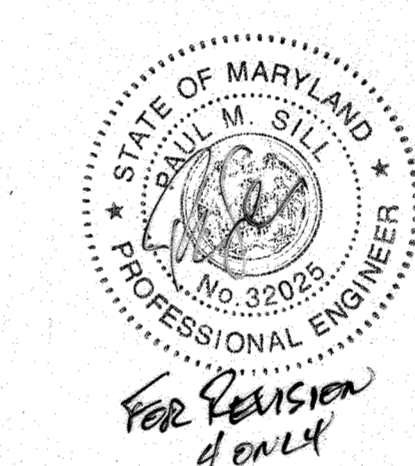


FOR REVISION 1 ONLY

SOIL TYPES
 ChB2 CHESTER SILT LOAM, 3-8% SLOPES
 MODERATELY ERODED
 G1C2 GLENELG LOAM, 8-15% SLOPES,
 MODERATELY ERODED

LEGEND

- SOILS DELINEATION
- EkA SOILS TYPE
- DRAINAGE DIVIDES
- TC PATH
- (B) DRAINAGE AREA LABEL



FOR REVISION 4 ONLY

AS-BUILT CERTIFICATION

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.

Michael D. Adcock
 MICHAEL D. ADCOCK, PROFESSIONAL LAND SURVEYOR
 MD REG. NO. 21291, EXPIRATION DATE: 06-15-15

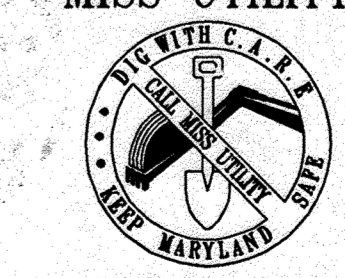


5/15/2013



FOR REVISION ONLY

MISS UTILITY



BEFORE YOU DIG CALL
 1-800-377-7777
 PROTECT YOURSELF, GIVE TWO
 WORKING DAYS NOTICE

THIS DRAWING DOES NOT INCLUDE NECESSARY
 COMPONENTS FOR CONSTRUCTION SAFETY. ALL
 CONSTRUCTION MUST BE DONE IN COMPLIANCE
 WITH THE OCCUPATIONAL SAFETY AND HEALTH
 ACT OF 1970 AND ALL RULES AND
 REGULATIONS THEREOF APPROPRIATE.

THE CONTRACTOR TO CALL MISS UTILITY TO
 HAVE ALL EXISTING UTILITIES MARKED 48
 HOURS PRIOR TO ANY CONSTRUCTION

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

USDA - NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND
 SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SCD DATE
 APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF-DEVELOPMENT ENGINEERING DIVISION DATE
 CHIEF-DIVISION & LAND DEVELOPMENT DATE
 DIRECTOR DATE

APPROVED: FOR PUBLIC WATER AND PUBLIC
 SEWERAGE SYSTEMS.

APPROVED FOR Peter Bidewson 8/2/07
 HOWARD COUNTY HEALTH DEPARTMENT DATE

3 3/2/24 UPDATED OWNER
 2 7/17/12 REVISE TITLE
 3 1/27/12 SIZE & AREA REVISED SEE CEA REVISIONS
 2 7/21/08 REGULATIONS LINE & CEA SERVICE YARD REVISIONS
 1 12/06/07 CENTRAL BLDG. AREA & ACCESS POINT LOCATIONS

| NO. | DATE | REVISION DESCRIPTION |
|-----------------------|------|------------------------|
| OWNER: | | DEVELOPER: |
| NN FULTON CENTER, LLC | | CHICK-FIL-A |
| 12526 WESTLAND CT | | 5200 BUFFINGTON ROAD |
| FULTON, MD 20759 | | ATLANTA, GA 30348-2998 |
| | | C/O SCOTT PATMAN |
| | | PHONE: (404) 684-8680 |

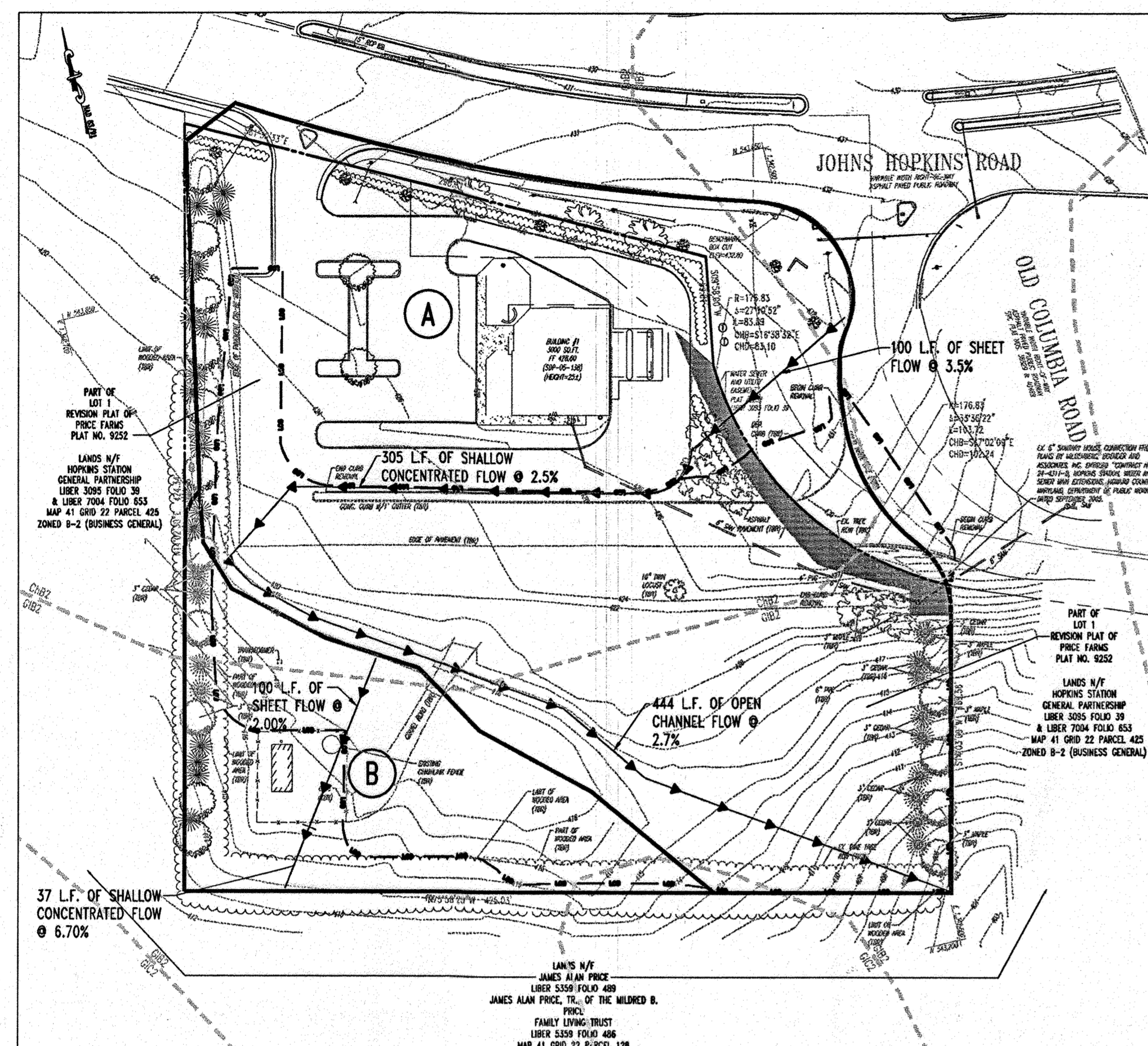
CHICK-FIL-A RESTAURANT & MEDICAL BUILDING
 PART OF LOT 1, HOPKINS STATION (FORMER PRICE FARMS, LOT1)
 LAUREL, HOWARD COUNTY, MARYLAND
 AREA 3.59 AC. TAX MAP 41 GRID 22 ZONED B-2
 PARCEL 425 L. 3,095, F. 39 & L. 7004, F. 655
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

STORMDRAIN DRAINAGE AREA MAPS

BOHLER ENGINEERING, P.C.
 PROFESSIONAL ENGINEERING SERVICES
 4110 GLENMONTWOOD COURT, SUITE 300, TOWSON, MD 21286
 (410) 842-2900 (TOLL FREE) 800-491-9999

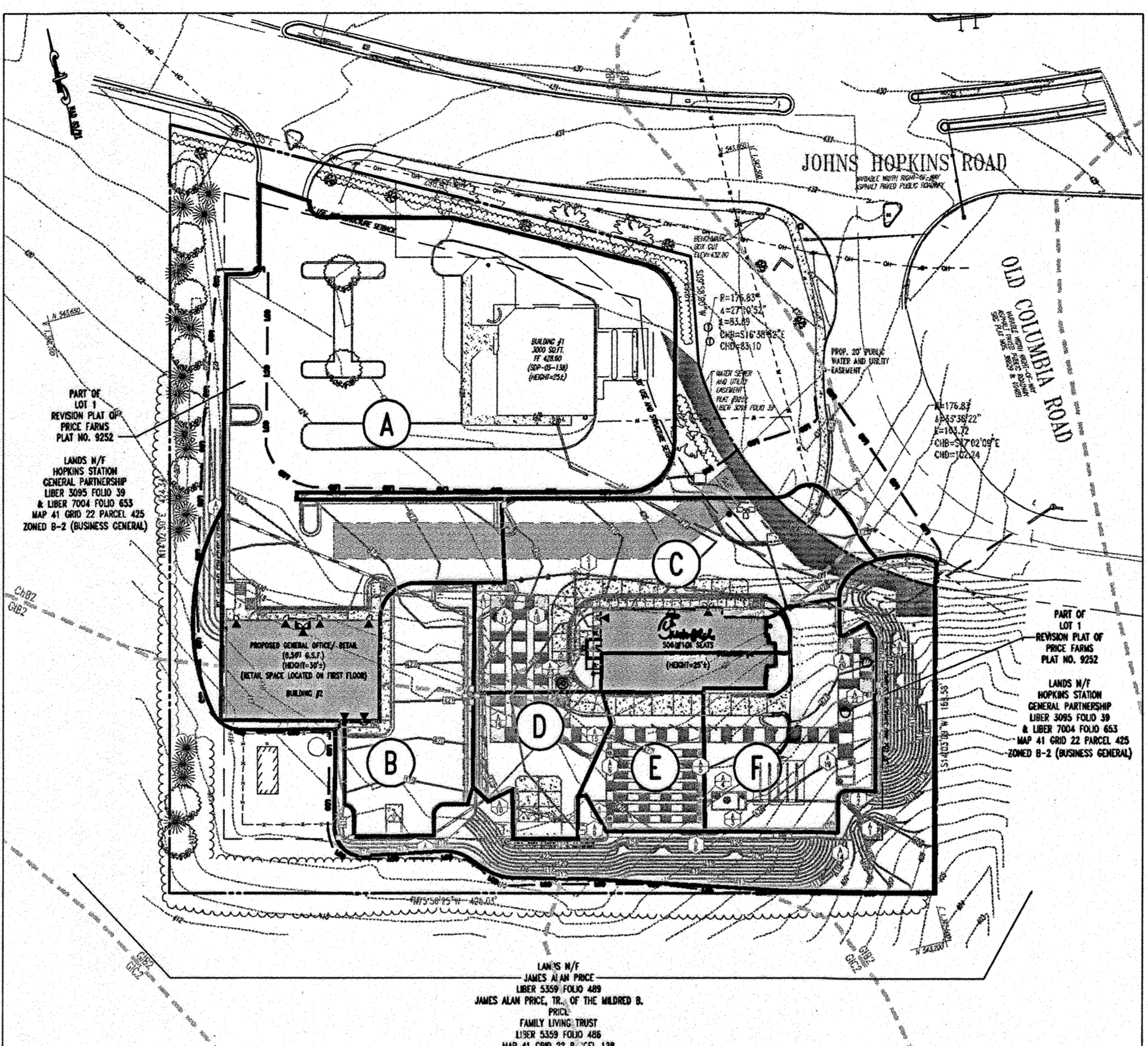
REVISED: 12/15/06
 DESIGNED BY: JD
 DRAWN BY: RLB
 PROJECT NO.: W0056502.1
 DATE: 9/28/06
 SCALE: AS SHOWN
 DRAWING NO. 17 OF 30

MATTHEW T. ALLEN
 PROFESSIONAL ENGINEER NO. 28567
 DRAWING NO. 17 OF 30
 SDP # 07-033



EXISTING STORMDRAIN DRAINAGE AREA
 SCALE: 1"=60'

- (A) IMPERVIOUS AREA = 39,325 S.F. OR .90 AC.
 PERVIOUS AREA = 88,862 S.F. OF 2.04 AC.
 TOTAL AREA = 128,187 S.F. OR 2.94 AC.
 "C" VALUE = 33
 TO 157 L.F. OF SSF
- (B) IMPERVIOUS AREA = 625 S.F. OR 0.01 AC.
 PERVIOUS AREA = 27,878 S.F. OF 0.64 AC.
 TOTAL AREA = 28,503 S.F. OR 0.65 AC.
 "C" VALUE = 16
 TO 450 L.F. OF SSF



PROPOSED STORMDRAIN DRAINAGE AREA
 SCALE: 1"=60'

- (A) IMPERVIOUS AREA = 41,880 S.F. OR 0.96 AC.
 PERVIOUS AREA = 26,720 S.F. OF 0.61 AC.
 TOTAL AREA = 68,600 S.F. OR 1.57 AC.
 "C" VALUE = 50
- (B) IMPERVIOUS AREA = 6,902 S.F. OR 0.18 AC.
 PERVIOUS AREA = 608 S.F. OF 0.01 AC.
 TOTAL AREA = 7,510 S.F. OF 0.19 AC.
 "C" VALUE = 69
- (C) IMPERVIOUS AREA = 14,696 S.F. OR 0.33 AC.
 PERVIOUS AREA = 3,320 S.F. OF 0.07 AC.
 TOTAL AREA = 18,016 S.F. OR 0.40 AC.
 "C" VALUE = 62
- (D) IMPERVIOUS AREA = 9,040 S.F. OR 0.21 AC.
 PERVIOUS AREA = 480 S.F. OR 0.01 AC.
 TOTAL AREA = 9,520 S.F. OR 0.22 AC.
 "C" VALUE = 69
- (E) IMPERVIOUS AREA = 3,120 S.F. OR 0.07 AC.
 PERVIOUS AREA = 0 S.F. OR 0.00 AC.
 TOTAL AREA = 3,120 S.F. OR 0.07 AC.
 "C" VALUE = 72
- (F) IMPERVIOUS AREA = 8,310 S.F. OR 0.19 AC.
 PERVIOUS AREA = 810 S.F. OR 0.02 AC.
 TOTAL AREA = 9,120 S.F. OR 0.21 AC.
 "C" VALUE = 66

GENERAL NOTE:
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ENGINEER'S CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT."

Michael D. Adcock
 SIGNATURE OF ENGINEER (PRINT NAME BELOW SIGNATURE) DATE
 PRINT NAME

DEVELOPER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

By: *Hugh F. Cole Jr.* 01/06/07
 SIGNATURE OF DEVELOPER (PRINT NAME BELOW SIGNATURE) DATE
 PRINT NAME

StormFilter™ Specifications
PRECAST FILTER UNIT

PART 1 GENERAL

1.1 Description

The Contractor shall furnish and install the StormFilter stormwater treatment system, complete and operable as shown and as specified herein, in accordance with the requirements of the plans and contract documents.

StormFilter stormwater treatment system shall consist of an underground Pre-Cast or Cast-In-Place structure that houses passive siphon-actuated, radial-flow media-filled filter cartridges.

The radial-flow filter cartridges shall be rechargeable, and shall incorporate a self-actuated surface cleaning mechanism to increase the effective life of the filter media and to reduce the accumulation of material on the cartridge interior.

Each radial-flow filter cartridge shall operate at a predetermined flow rate through the use of an integrated flow control orifice located within each filter cartridge.

1.2 Manufacturer

The StormFilter stormwater treatment system shall be of a type that has been installed and in use successfully for a minimum of five (5) or more years. StormFilter stormwater treatment system shall be supplied by Stormwater Management, Inc. (SMI), 12021-B NE Airport Way, Portland, OR 97220 (800)548-4667, without exception.

1.3 Related Sections

A. Section []:

1.4 Submittals

A. Submit shop drawings for StormFilter stormwater treatment system vault, filter media cartridges and accessory equipment including principal dimensions, filter placement, location of piping and unit foundation.

B. Submit StormFilter stormwater treatment system Operation and Maintenance Manual upon request.

PART 2 PRODUCTS

2.1 Internal Components

All internal components including ABS and PVC manifold piping, filter cartridge(s), filter media (as specified on the plans in the StormFilter data block or by the Engineer), flow spreaders, and energy dissipaters shall be provided by Stormwater Management, Inc.

A. PVC manifold pipe and fittings shall meet ASTM D1785. ABS manifold pipe and fittings shall meet ASTM F-628.

B. Filter cartridge bottom pan, inner ring, and hood shall be constructed from spun linear low-density polyethylene (LLDPE). Filter cartridge screen shall consist of galvanized 1" x 1/2" welded wire fabric (16 gauge minimum) with a bonded PVC coating. Internal parts shall consist of PVC or ABS pipe and fittings. Siphon-priming float shall be constructed from linear low-density polyethylene. Outer filter fabric shall be 10 x 8.5 clear fiberglass mesh. Inner filter fabric shall be 10 x 8.5 clear fiberglass mesh over Enkamat 7210 or woven polyethylene with a US Standard Sieve #20 opening size. All miscellaneous nuts, bolts, screws, and other fasteners shall be stainless steel.

An orifice plate shall be supplied with each cartridge to restrict flow rate to a maximum of between 5-15 GPM per specific design requirements.

C. Filter media shall be provided by SMI or approved alternate source. Filter media shall consist of one or more of the following, as specified in the StormFilter data block, or by the Engineer:

- 1. Perlite Media:** Perlite media shall be made of natural siliceous-volcanic rock free of any debris or foreign matter. The perlite media shall have a bulk density ranging from 0.5 to 0.55 lb/ft³ and particle sizes ranging from 0.06 to 0.50 inches.
- 2. CSF Leaf Media:** CSF leaf media shall be made exclusively of fallen deciduous leaves with less than 5% by dry weight of woody or green yard debris materials. Filter media shall be granular and shall contain less than 0.5% foreign material such as glass or plastic contaminants. Media shall be dry at the time of installation.

- 3. XFCSF Leaf Media:** CSF leaf media shall be made exclusively of fallen deciduous leaves with less than 5% by dry weight of woody or green yard debris materials. Filter media shall be granular and shall contain less than 0.5% foreign material such as glass or plastic contaminants. Media shall be dry at the time of installation.
- The XFCSF leaf media shall have a bulk density ranging from 45 to 65 lb/ft³. Particle size range is dependent upon manufacturing conditions at the time of production. Media produced for this project shall have a particle size between 0.05 and 0.25 inches for 90% of particles. Maximum level of dust for filter media shall be defined as: media passing through a US Standard Sieve #4 shall have no more than 10% (by mass of dry media) passing a US Standard Sieve #45.**
- Zeolite Media:** Zeolite media shall be made of naturally occurring clinoptilolite, which has a geological structure of potassium-calcium-sodium aluminosilicate.
- The zeolite media shall have a bulk density ranging from 44 to 50 lb/ft³, particle sizes ranging from 0.125 to 0.25 inches, and a cation exchange capacity ranging from 1.0 to 2.2 meq/g.**
- Iron-Infused Media:** Iron-infused media shall be made from phenolic resin mixed with iron particles and polymerized to form a porous cellular foam. The stock materials must be free of debris with the iron particles being non-reactive and non-toxic.
- The iron-infused media shall have a bulk density ranging from 20 to 30 lb/ft³ and particle sizes ranging from 0.0 to 0.5 inches.**
- Granular Activated Carbon:** Granular activated carbon (GAC) shall be made of lignite that has been steam activated. The GAC media shall have a bulk density ranging from 24 to 26 lb/ft³ and particle sizes ranging from 0.07 to 0.19 inches.
- Zeolite/Perlite-Granular Activated Carbon (ZPG):** ZPG is a mixed media that shall be composed of a 1.4 ft³ outer layer of 100% Perlite (see above) and an inner layer consisting of a 2-ft³ mixture of 90% Zeolite (see above) and 10% Granular Activated Carbon (see above).
- CSF Leaf - Granular Activated Carbon:** CSF/GAC is a mixed media that shall be composed of a 1.4 ft³ outer layer of 100% CSF Leaf media (see above) and an inner layer consisting of 1 ft³ of 100% Granular Activated Carbon (see above).

D. Flow spreader shall be constructed of spun LLDPE.

E. Energy dissipater shall be constructed of polyolefins.

2.2 Precast Concrete Vault Components

A. Precast concrete vault shall be provided according to ASTM C478.

B. Vault joint sealant shall be Conseal CS-101 or Engineer approved.

C. Frames and covers shall be gray cast iron and shall meet AASHTO H-20 loading requirements, and shall be provided according to ASTM A48.

D. Steps shall be constructed of polymer polypropylene conforming to ASTM D-4101. Steps shall be driven into preformed or drilled holes concrete is cured. Steps shall meet the requirements of ASTM C-478 and AASHTO M-199. The 1/2" Grade 60 deformed reinforcing bar shall meet ASTM A-615.

E. Ladders shall be constructed of aluminum and steel reinforced copolymer polypropylene conforming to ASTM D-4101. Ladder shall both in place and may be equipped with a pull-up ladder extender that shall extend a minimum of 24 inches above the top rung of ladder. Ladder shall meet all ASTM C-497 load requirements.

F. Doors shall have hot-dipped galvanized frames and covers. Covers shall have diamond plate finish. Each door to be equipped with a recessed lift handle and a locking latch with 3/8" pentahed hold-down bolts. Pentahed wrench to be provided for each set of doors, upon request. Doors shall meet H-20 loading requirements for incidental traffic minimum.

2.3 Contractor Provided Components

All contractor-provided components shall meet the requirements of this section, the plans specifications and contract documents. In the case of conflict, the more stringent specification shall apply.

A. Crushed rock base material shall be six-inch minimum layer of 3/4-inch minus rock. Compact undisturbed sub-grade materials to 95% of maximum density at 1% of optimum moisture content. Unusable material below sub-grade shall be replaced to engineer's approval.

B. Concrete shall have an unconfined compressive strength at 28 days of at least 3000 psi, with 3/4-inch round rock, a 4-inch slump maximum, and be placed within 90 minutes of initial mixing.

C. Silicone Sealant shall be pure RTV silicone conforming to Federal Specification Number TT 5001543A or TT 500230C or Engineer approved.

D. Grout shall be non-shrink grout meeting the requirements of Corps of Engineers CRD-C588. Specimens molded, cured and tested in accordance with ASTM C-109 shall have minimum compressive strength of 6,200 psi. Grout shall not exhibit visible bleeding.

E. Backfill material shall be 3/4-inch minus crushed rock, or approved equal.

PART 3 EXECUTION

3.1 Precast Concrete Vault

A. Place precast manhole on crushed rock base material that has been placed in maximum 12-inch lifts, loose thickness, and compact to at least 95-percent of the maximum dry density as determined by the standard Proctor compaction test, ASTM D698, at moisture content from 0- to 2-percent above optimum water content.

B. Contractor to grout all inlet and outlet pipes flush with manhole interior wall.

C. Inlet and outlet pipes shall be stubbed in and connected to precast concrete manhole according to Engineer's requirements and specifications.

3.2 When required, ballast shall be to the dimensions specified by the engineer and noted on the data block. Ballast shall not encase the inlet and/or outlet piping. Provide 12" clearance from outside diameter of pipe.

3.3 Clean Up

A. Remove all excess materials, rocks, roots, or foreign material, leaving the site in a clean, complete condition approved by the engineer. All filter components shall be free of any foreign materials including concrete and excess sealant.

3.4 Filter Cartridges

A. Construction site runoff shall be directed around the StormFilter unit. Filter cartridges shall not be placed online until the project site is clean and stabilized. The project site includes any surface that contributes storm drainage to the StormFilter™. All impermeable surfaces shall be clean and free of dirt and debris. All catch basins, manholes and pipes shall be free of dirt and sediments.

B. SMI will deliver filter cartridges complete with filter media preinstalled into vaults. Plugs will be provided for all manifold fittings not equipped with a filter cartridge.

C. Contractor shall prevent construction runoff from entering the StormFilter vault.

StormFilter Major Maintenance/Cartridge Replacement Data Sheet

Date: _____ Personnel: _____

Location: _____ System Size: _____

System Type: Vault Cast-In-Place Linear

List Safety Procedures and Equipment Used: _____

System Observations

Media Months in Service: _____

Oil and Grease in Forebay: Yes No _____

Sediment Depth in Forebay: _____

Structural Damage: _____

Drainage Area Report

Excessive Oil and Grease Loading: Yes No Source: _____

Sediment Accumulation on Pavement: Yes No Source: _____

Erosion of Landscaped Areas: Yes No Source: _____

StormFilter Cartridge Replacement Maintenance Activities

Remove Trash and Debris: Yes No Details: _____

Replace Cartridges: Yes No Details: _____

Sediment Removed: Yes No Details: _____

Minor Structural Repairs: Yes No Details: _____

Residuals (debris, sediment) Disposal Methods: _____

Notes: _____

StormFilter Minor Maintenance and Inspection Data Sheet

Date: _____ Personnel: _____

Location: _____ System Size: _____

System Type: Vault Cast-In-Place Linear

System Observations

Media Months in Service: _____

Oil and Grease in Forebay: Yes No _____

Sediment Depth in Forebay: _____

Sediment Depth on Vault Floor: _____

Structural Damage: _____

Estimated Flow from Drainage Pipes (if available): _____

Cartridges Submerged: Yes No How Deep: _____

StormFilter Minor Maintenance Activities (check off if done and give description)

Trash and Debris Removal: _____

Minor Structural Repairs: _____

Drainage Area Report

Excessive Oil and Grease Loading: Yes No Source: _____

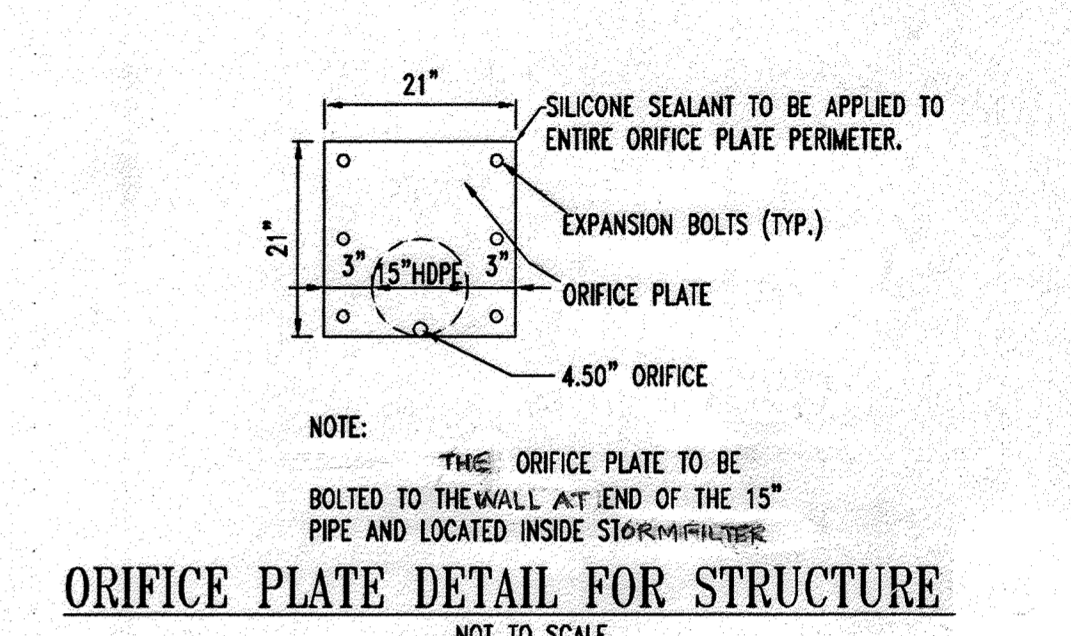
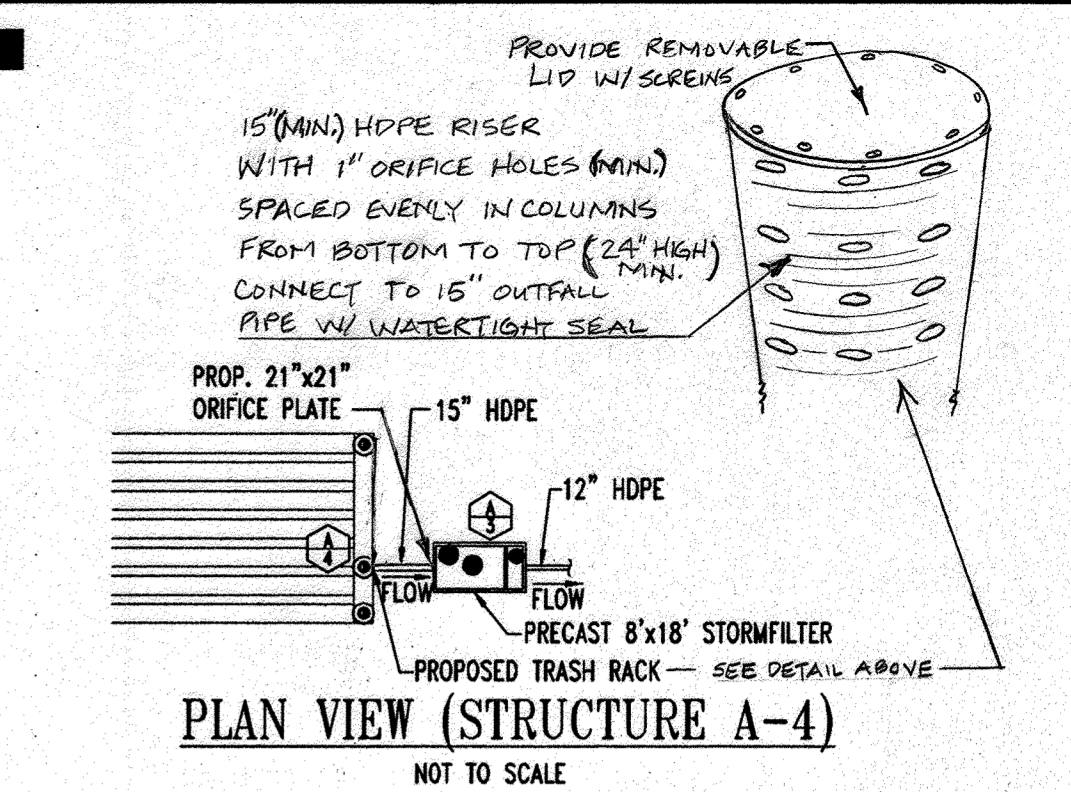
Sediment Accumulation on Pavement: Yes No Source: _____

Erosion of Landscaped Areas: Yes No Source: _____

Items Needing Further Work: _____

Other Comments: _____

Review the condition reports from the previous minor and major maintenance visits.



ORIFICE PLATE DETAIL FOR STRUCTURE
NOT TO SCALE

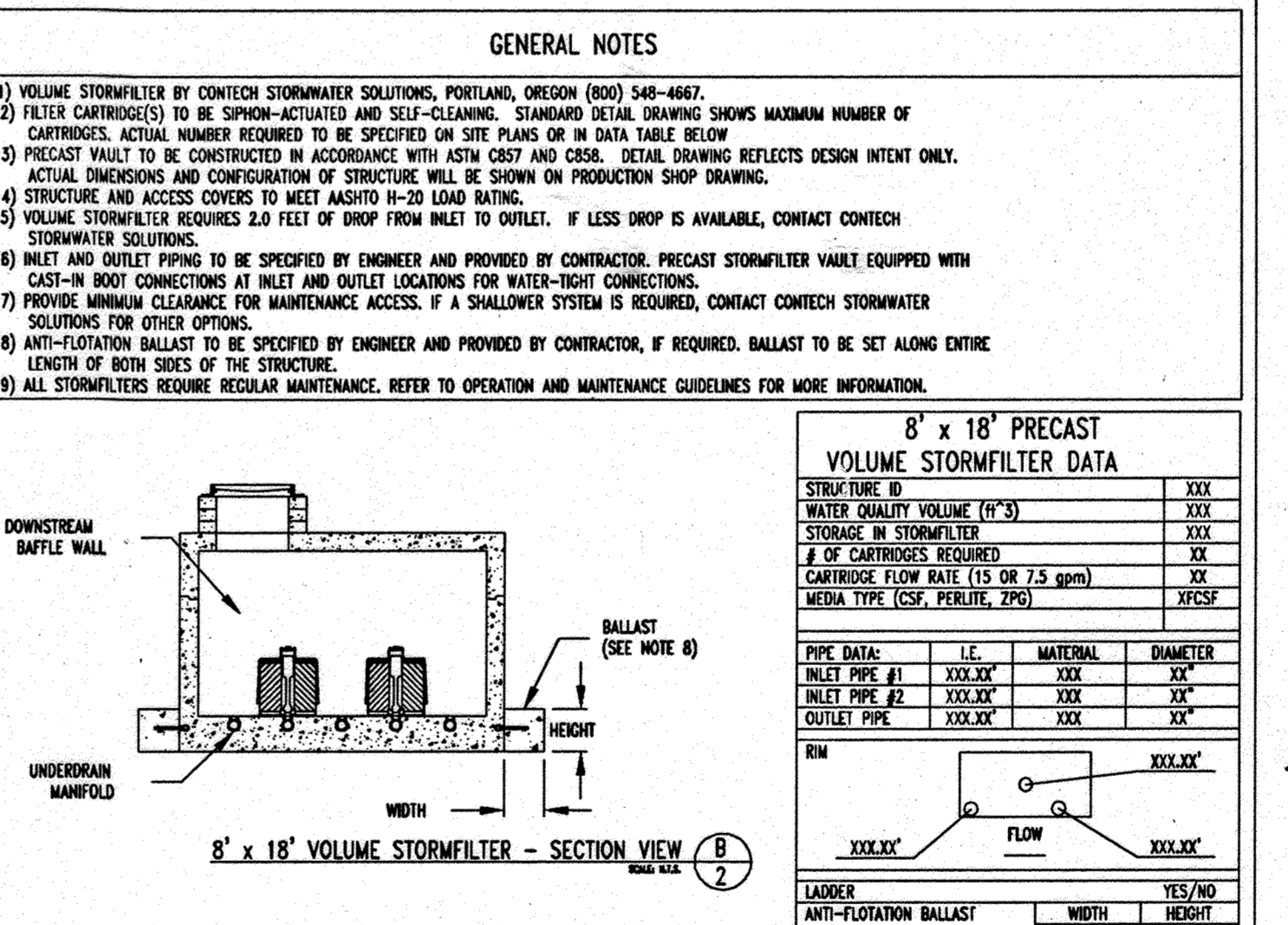
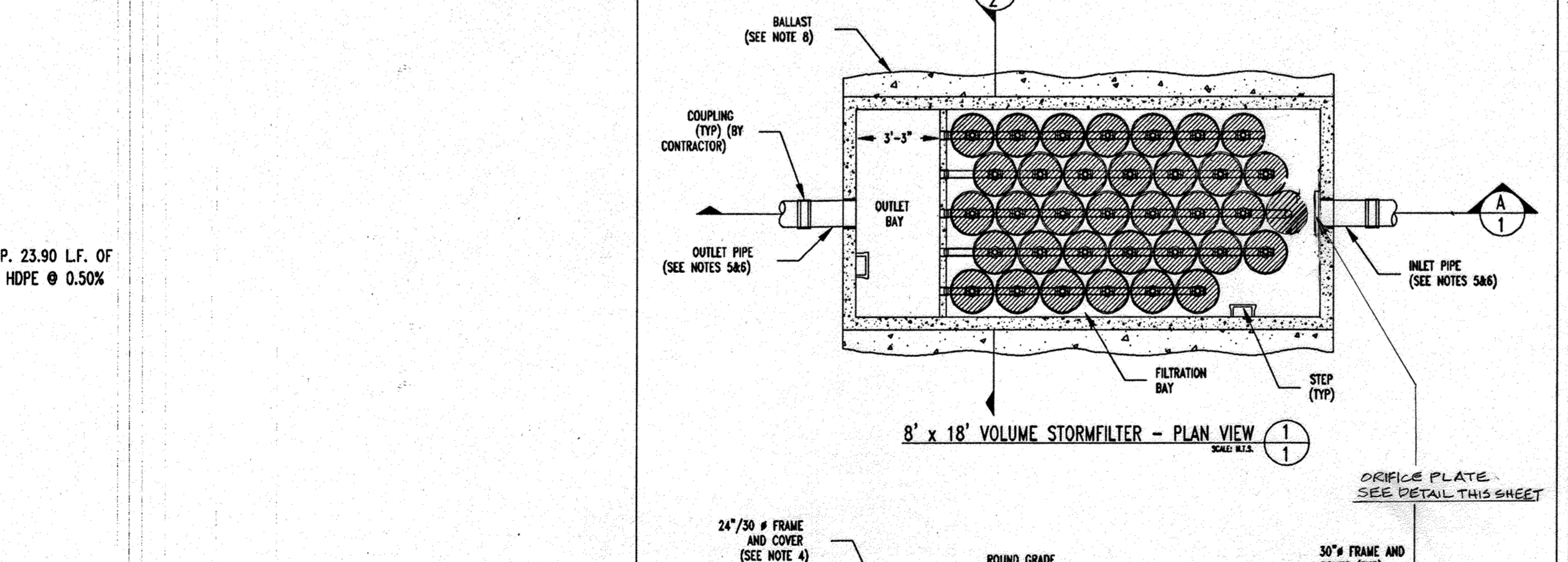
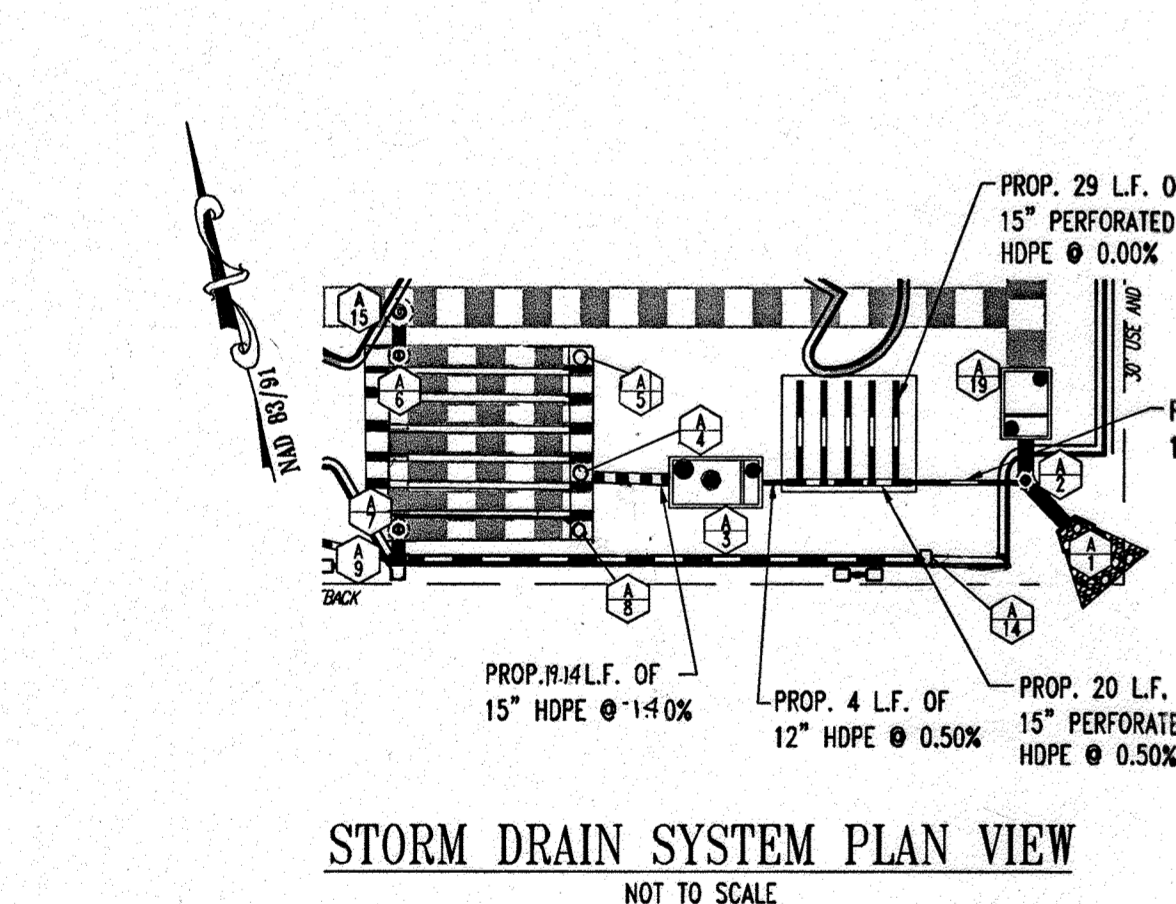
NOTE:
ALL PIPE CONNECTIONS WILL REQUIRE RUBBER BASKETS TO PROVIDE A WATER-TIGHT JOINT

AS-BUILT CERTIFICATION

I HEREBY CERTIFY, BY MY SEAL, THAT THE CONDITIONS SHOWN ON THIS PLAN WERE CONSTRUCTED TO THE LINES AND GRADES SHOWN ON THIS "AS-BUILT" PLAN, AND MEET THE APPROVED PLANS AND SPECIFICATIONS AND ALSO THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND.

Michael D. Adcock, Professional Land Surveyor
MD REG. NO. 21287, EXPIRATION DATE: 06-16-15

NOTE: ALL DEBRIS IS TO BE KEPT OUT OF THE FACILITY DURING AND AFTER CONSTRUCTION



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STORMFILTER MAINTENANCE NOTES

- ALL STORMFILTERS REQUIRE REGULAR MAINTENANCE. MAINTENANCE FREQUENCY IS DEPENDENT UPON SITE CHARACTERISTICS AND POLLUTANT LOADING. TYPICAL MAINTENANCE INTERVAL IS 12 TO 18 MONTHS.
- STORMFILTER MAINTENANCE INVOLVES REMOVAL AND REPLACEMENT OF FILTER CARTRIDGES, REMOVAL OF ACCUMULATED SEDIMENT, AND VAULT INSPECTION.
- FULL MAINTENANCE SERVICES MAY BE PROVIDED BY STORMWATER MANAGEMENT, INC. REPLACEMENT CARTRIDGES ARE ALSO AVAILABLE FROM STORMWATER MANAGEMENT ON AN EXCHANGE BASIS TO FACILITATE OWNER-PROVIDED MAINTENANCE ACTIVITY.
- SPENT FILTER MEDIA AND/OR SEDIMENT REMOVED DURING MAINTENANCE SHOULD BE DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE WASTE DISPOSAL REGULATIONS.
- REFER TO STORMFILTER OPERATION & MAINTENANCE GUIDELINES FOR MORE DETAILED INFORMATION OR CONTACT STORMWATER MANAGEMENT AT 800.548.4667.

NOTES/SPECIAL REQUIREMENTS:

©2006 CONTECH Stormwater Solutions

CONTECH STORMWATER SOLUTIONS

8' x 18' PRECAST VOLUME STORMFILTER
PLAN AND SECTION VIEWS
STANDARD DETAIL

DATE: 06/29/05 SCALE: NONE FILE NAME: SF18-PC-01 DRAWN: MUM CHECKED: JMC

©2006 CONTECH Stormwater Solutions

CONTECH STORMWATER SOLUTIONS

8' x 18' PRECAST VOLUME STORMFILTER
TOP AND SECTION VIEWS, NOTES AND DATA
STANDARD DETAIL

DATE: 06/29/05 SCALE: NONE FILE NAME: SF18-PC-01 DRAWN: MUM CHECKED: JMC

AS-BUILT

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF-DEVELOPMENT ENGINEERING DIVISION DATE: 7/16/05

CHIEF-DIVISION & LAND DEVELOPMENT DATE: 7/16/05

DIRECTOR DATE: 7/16/05

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.

HOWARD COUNTY HEALTH DEPARTMENT DATE: 8/27/05

OWNER: NN FULTON CENTER, LLC
12526 WESTLAND CT
FULTON MD 20759

DEVELOPER: CHECK-FIL-A
5200 BUFFINGTON ROAD
ATLANTA, GA 30349-2998
C/O SCOTT PATMAN
PHONE: (404) 684-8660

CHECK-FIL-A RESTAURANT & MEDICAL BUILDING
PART OF LOT 1, HOPKINS STATION (FORMER PRICE FARMS, LOT1)
ADAMS HOPKINS ROAD
LAUREL, HOWARD COUNTY, MARYLAND

AREA 3.58 AC. TAX MAP 41 GRID 22 ZONED B-2
PARCEL 425 L 3,095, F 39 & L 7004, F 653
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

STORMWATER MANAGEMENT NOTES AND DETAILS

BOHLER ENGINEERING, P.C.

PROFESSIONAL ENGINEERING SERVICES
6110 CHENICALS COURT, SUITE 300, TOWSON, MD 21286
(410) 821-7999 FAX: (410) 821-7997 | B@bohlereng.com

REVISION: 12/15/06

DESIGNED BY: JD

DRAWN BY: RLB

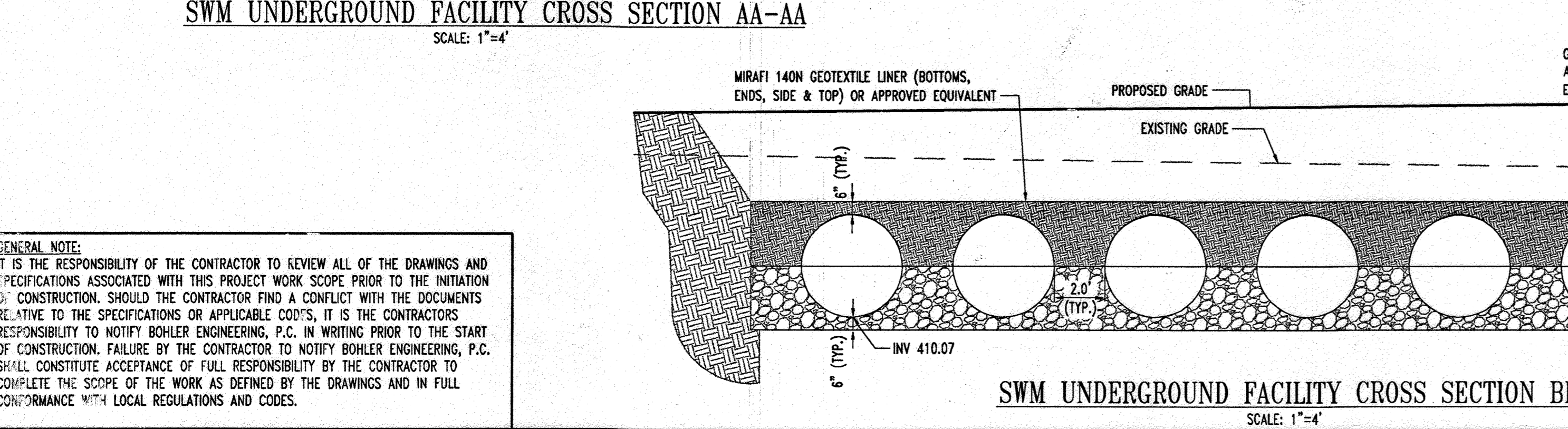
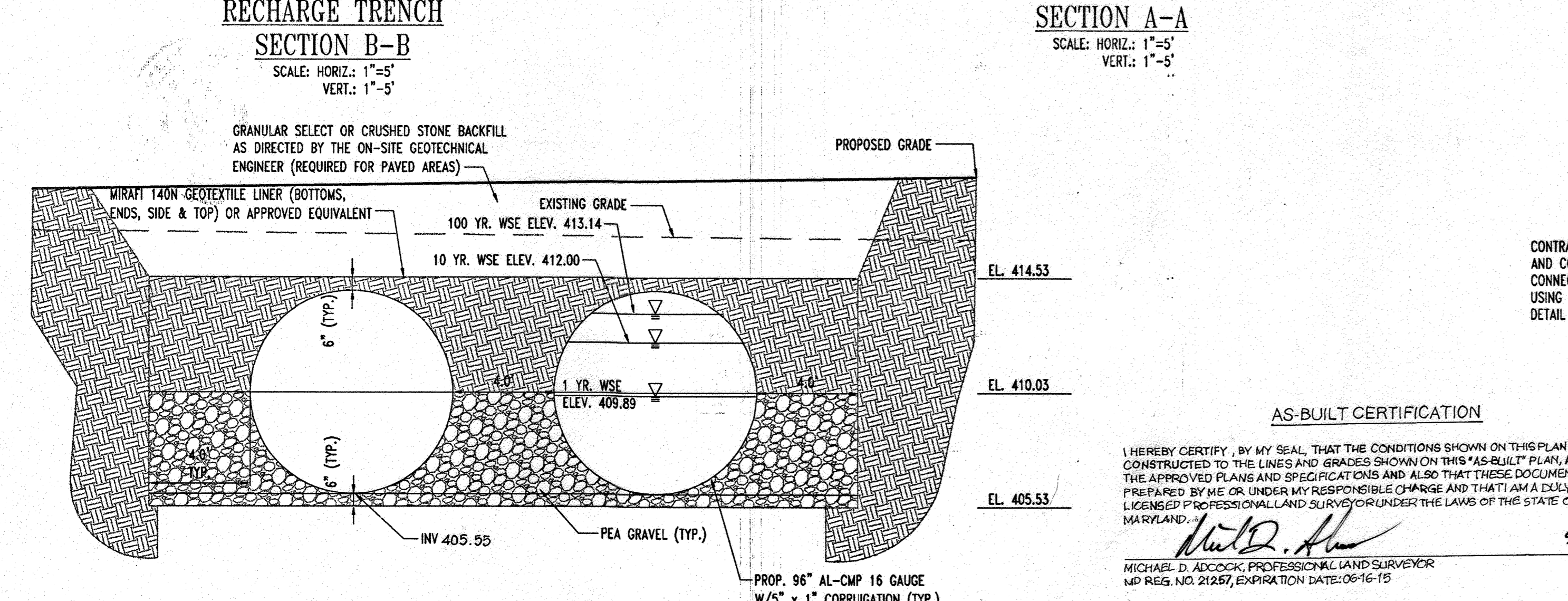
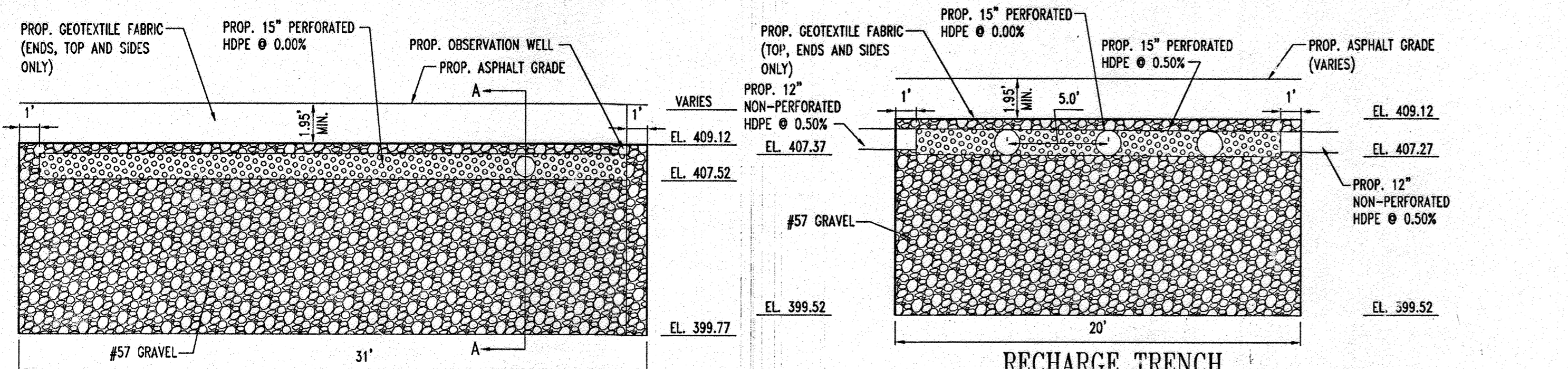
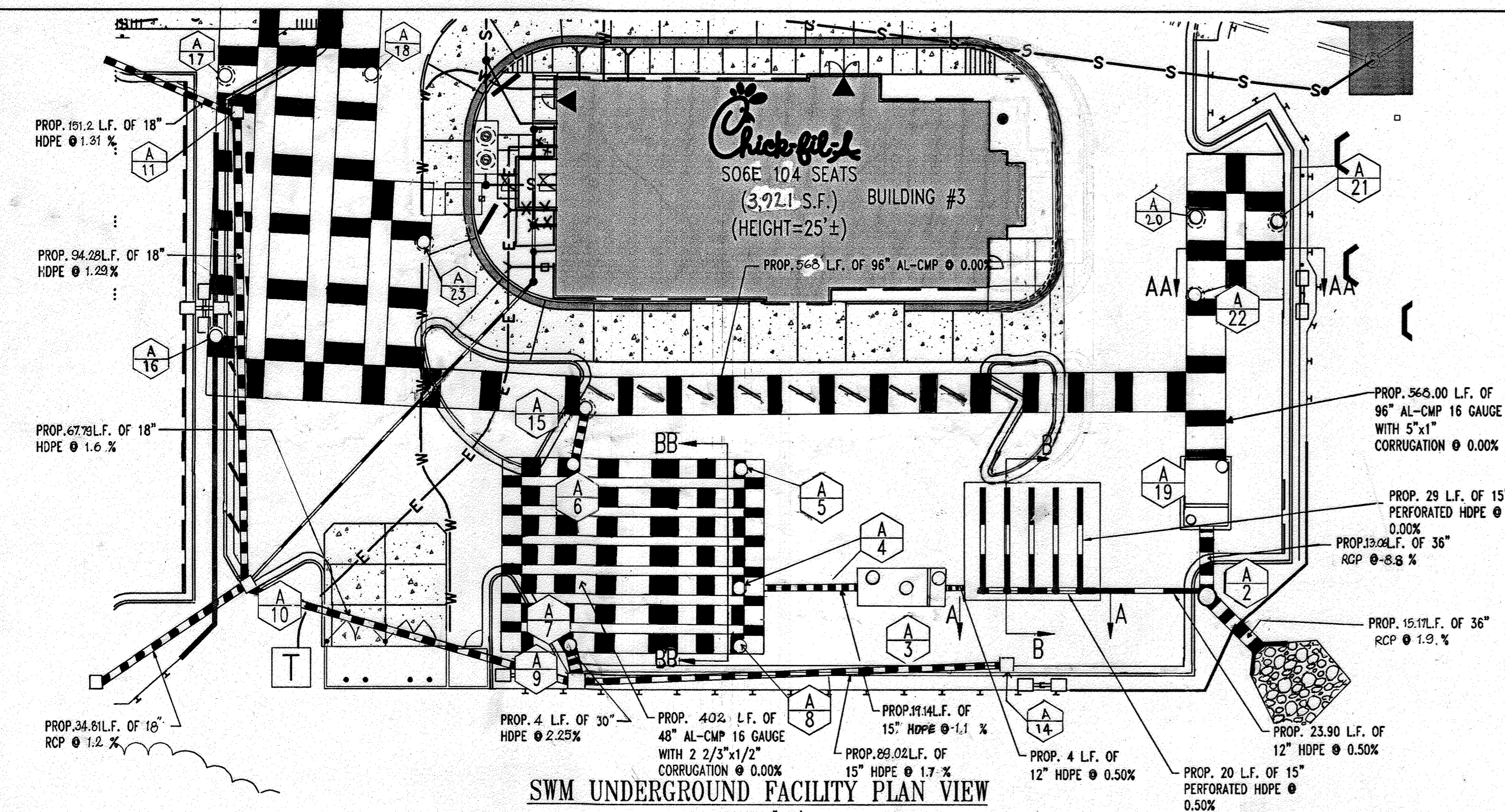
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DATE: 9/28/06

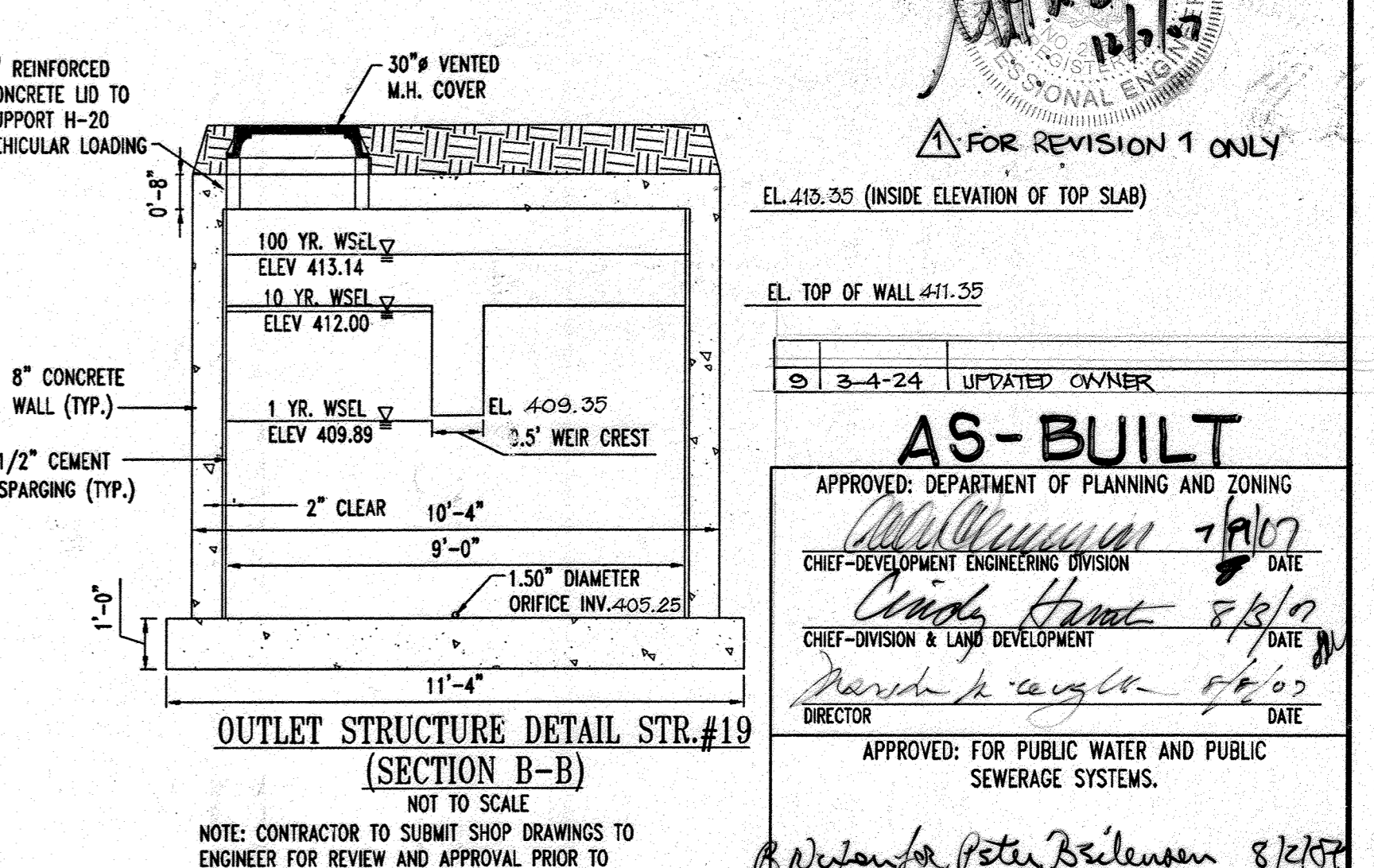
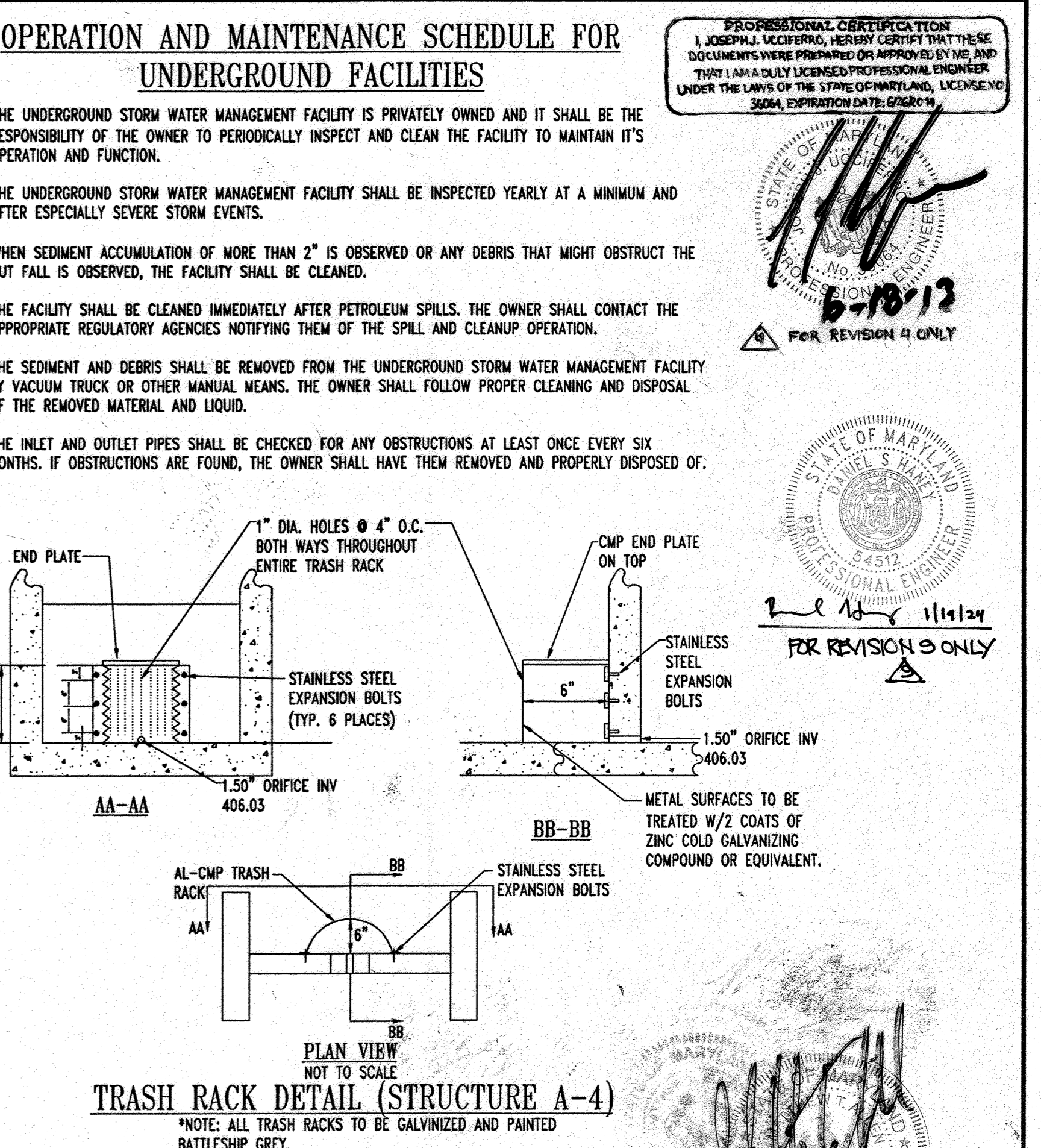
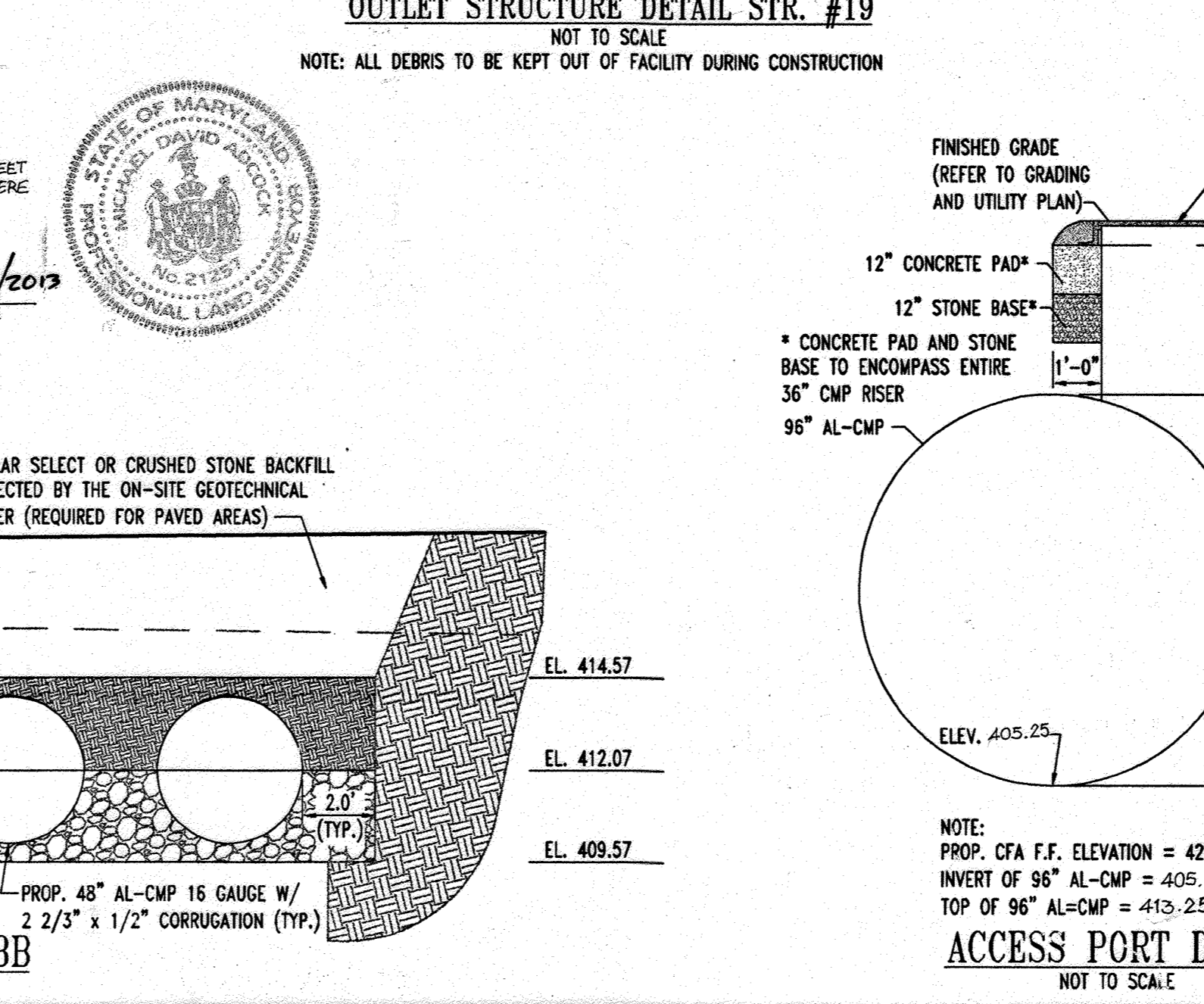
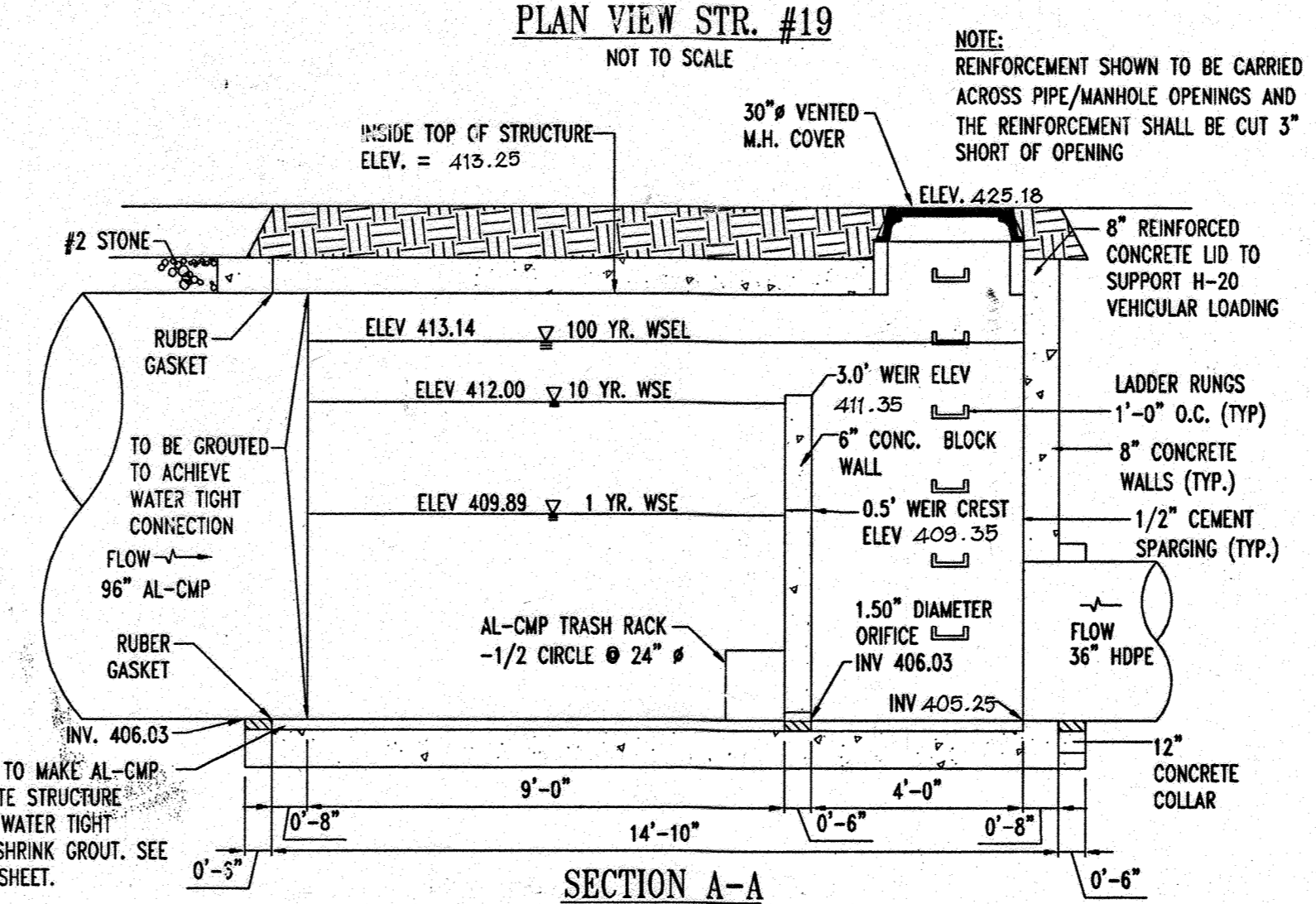
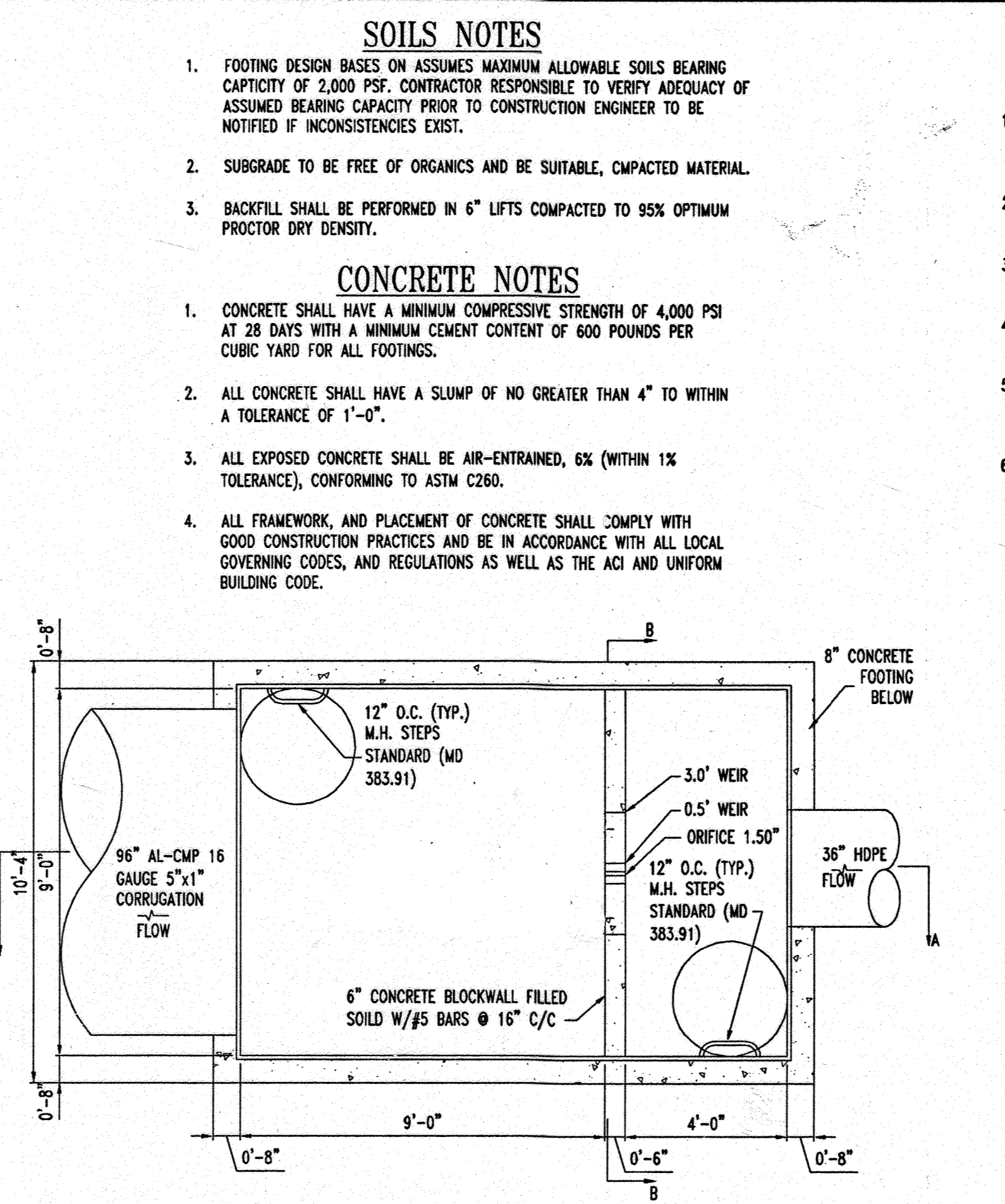
SCALE: AS SHOWN

MATTHEW T. ALLEN
PROFESSIONAL ENGINEER NO. 28567

DRAWING NO. 18 OF 30



GENERAL NOTE:
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY BOHLER ENGINEERING, P.C. IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY BOHLER ENGINEERING, P.C. SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.



AS-BUILT

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 APPROVED: PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.

CHIEF-DEVELOPMENT ENGINEERING DIVISION
 CHIEF-DIVISION & LAND DEVELOPMENT
 DIRECTOR

| NO. | DATE | REVISION DESCRIPTION |
|-----|----------|--|
| 1 | 12/06/07 | ACCESS PORT LOCATIONS |
| 2 | 2/21/08 | IRRIGATION LINE & C&S SERVICE YARD REVISIONS |
| 3 | 4/7/08 | SIZE & AREA, REVISIONS FOR C&S REVISIONS |
| 4 | 5/21/08 | LENGTH OF STORMWATER PIPE REVISIONS |
| 5 | 8/21/08 | REVISE TITLE |

OWNER: NN FULTON CENTER, LLC
 12526 WESTLAND CT
 FULTON, MD 20793

DEVELOPER: CHICK-FIL-A
 5200 BUFFINGTON ROAD
 ATLANTA, GA 30349-2998
 C/O SCOTT PATMAN
 PHONE: (404) 684-8860

CHICK-FIL-A RESTAURANT & MEDICAL BUILDING
 PART OF LOT 1, HOPKINS STATION (FORMER PRICE FARMS, LOT1)
 PARCEL 425 L. 3,095, F. 39 & L. 7004, F. 653
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

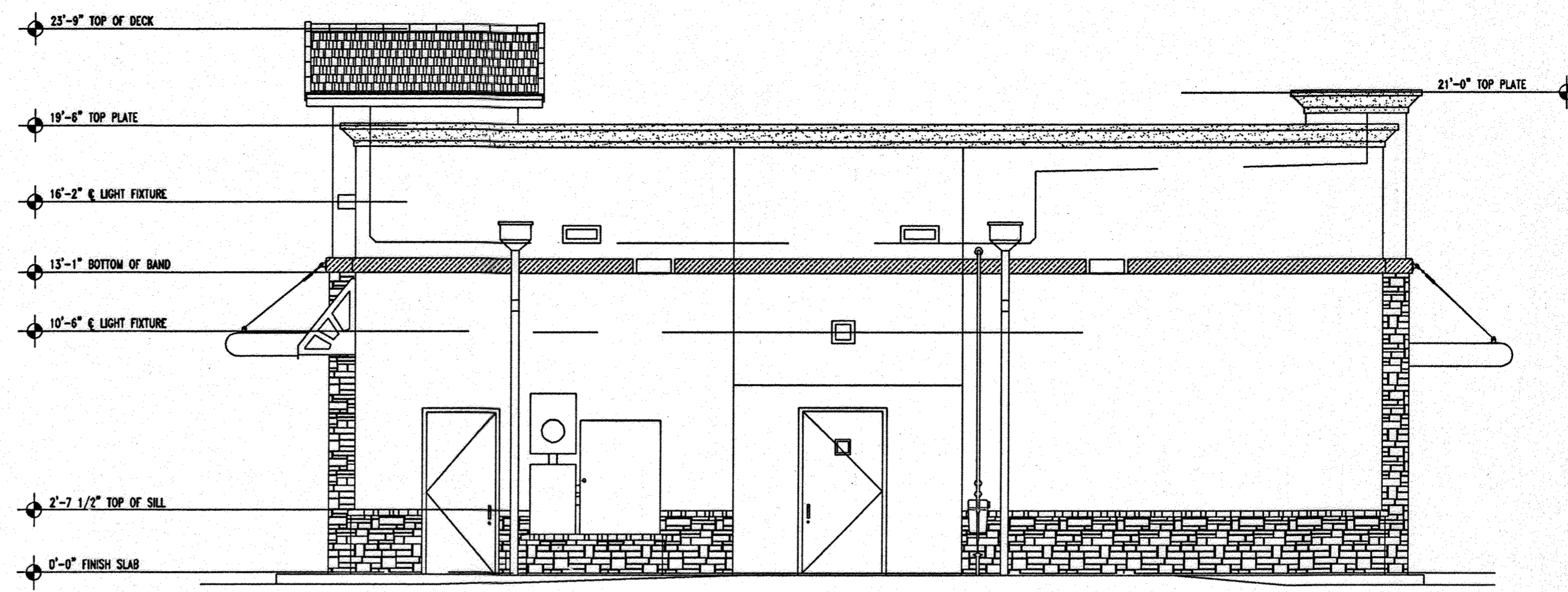
BOHLER ENGINEERING, P.C.
 PROFESSIONAL ENGINEERING CONSULTANTS
 810 GLENLEAGUE COURT, SUITE 300, TOWSON, MD 21286
 (410) 821-7900 FAX: (410) 821-7997

REVISION: 12/15/06
 DESIGNED BY: JD
 DRAWN BY: RLB
 PROJECT NO.: MD056502.1
 DATE: 9/28/06
 SCALE: AS SHOWN
 DRAWING NO. 19 OF 30

STATE OF MARYLAND PROFESSIONAL ENGINEER SEAL
 STATE OF MARYLAND PROFESSIONAL ENGINEER SEAL
 STATE OF MARYLAND PROFESSIONAL ENGINEER SEAL
 STATE OF MARYLAND PROFESSIONAL ENGINEER SEAL



1 FRONT ELEVATION
1"=5'



2 REAR ELEVATION
1"=5'



1 SIDE ENTRY ELEVATION
1"=5'



2 D/T ELEVATION
1"=5'

2 D/T ELEVATION
1"=5'

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AS-BUILT CERTIFICATION
THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET:
Michael D. Adcock
MICHAEL D. ADCOCK, PROFESSIONAL LAND SURVEYOR
MD REG. NO. 21257, EXPIRATION DATE: 08-16-15
DATE: 5/19/07

AS-BUILT
APPROVED: DEPARTMENT OF PLANNING AND ZONING
William J. Adams 7/9/07
CHIEF-DEVELOPMENT ENGINEERING DIVISION
Cindy Hamt 8/4/07
CHIEF-DIVISION & LAND DEVELOPMENT
Mark A. Wright 8/1/07
DIRECTOR
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
Richard Oster 8/2/07
COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT 1/20

FOR REVISION 9 ONLY
FOR REVISION 1 ONLY

MISS UTILITY

BEFORE YOU DIG CALL
800-367-7777
PROTECT YOURSELF. GIVE TWO WORKING DAYS NOTICE.

| NO. | DATE | REVISION TITLE | REVISION DESCRIPTION |
|-----|---------|----------------|----------------------|
| 9 | 2-2-24 | UPDATED OWNER | |
| 7 | 2/13/15 | REVISE TITLE | |

OWNER: NN FULTON CENTER, LLC
12526 WESTLAND CT
FULTON, MD 20759

DEVELOPER: CHICK-FIL-A
5200 BUFFINGTON ROAD
ATLANTA, GA 30349-2998
C/O SCOTT PATMAN
PHONE: (404) 684-8660

CHICK-FIL-A RESTAURANT & MEDICAL BUILDING
PART OF LOT 1, HOPKINS STATION (FORMER PRICE FARMS, LOT1)
JOHN HOPKINS ROAD
LAUREL, HOWARD COUNTY, MARYLAND

AREA 3.59 AC. TAX MAP 41 GRID 22 ZONED B-2
PARCEL 425 L 3,095, F. 59 & L. 7004, F. 653
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

BUILDING ELEVATIONS

BOHLER ENGINEERING, P.C.
PROFESSIONAL ENGINEERING SERVICES
810 GLENRAGLER COURT, SUITE 300, TOWSON, MD 21286
(410) 851-7000 FAX (410) 851-7001 WWW.BE.MD.COM

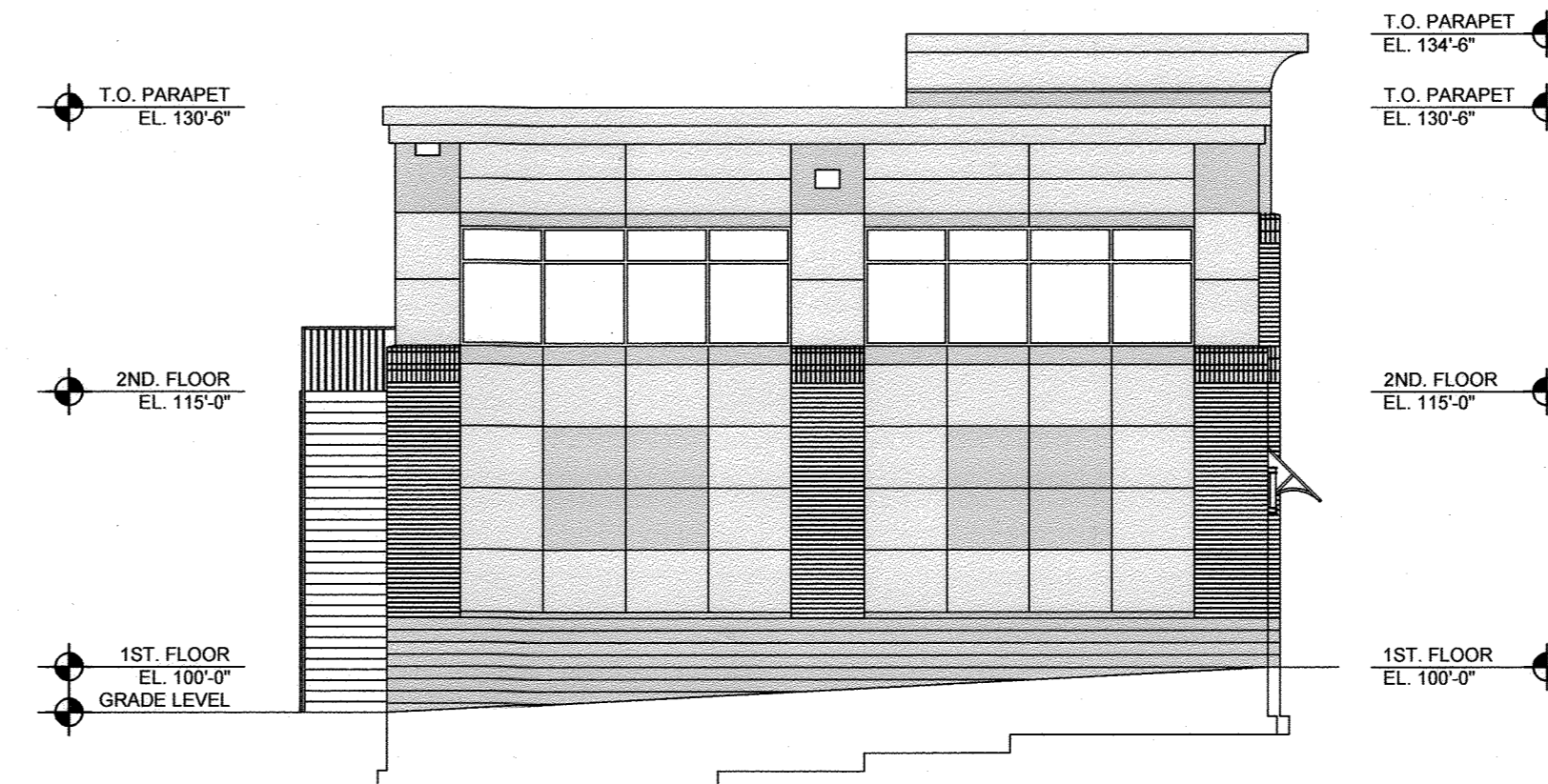
REVISION: 12/15/06
DESIGNED BY: JD
DRAWN BY: RLB
PROJECT NO.: MD056502.1
DATE: 9/28/06
SCALE: AS SHOWN
DRAWING NO. 20 OF 30

MATTHEW E. ALLEN
PROFESSIONAL ENGINEER NO. 28567



FRONT ELEVATION

SCALE: 1" = 10'



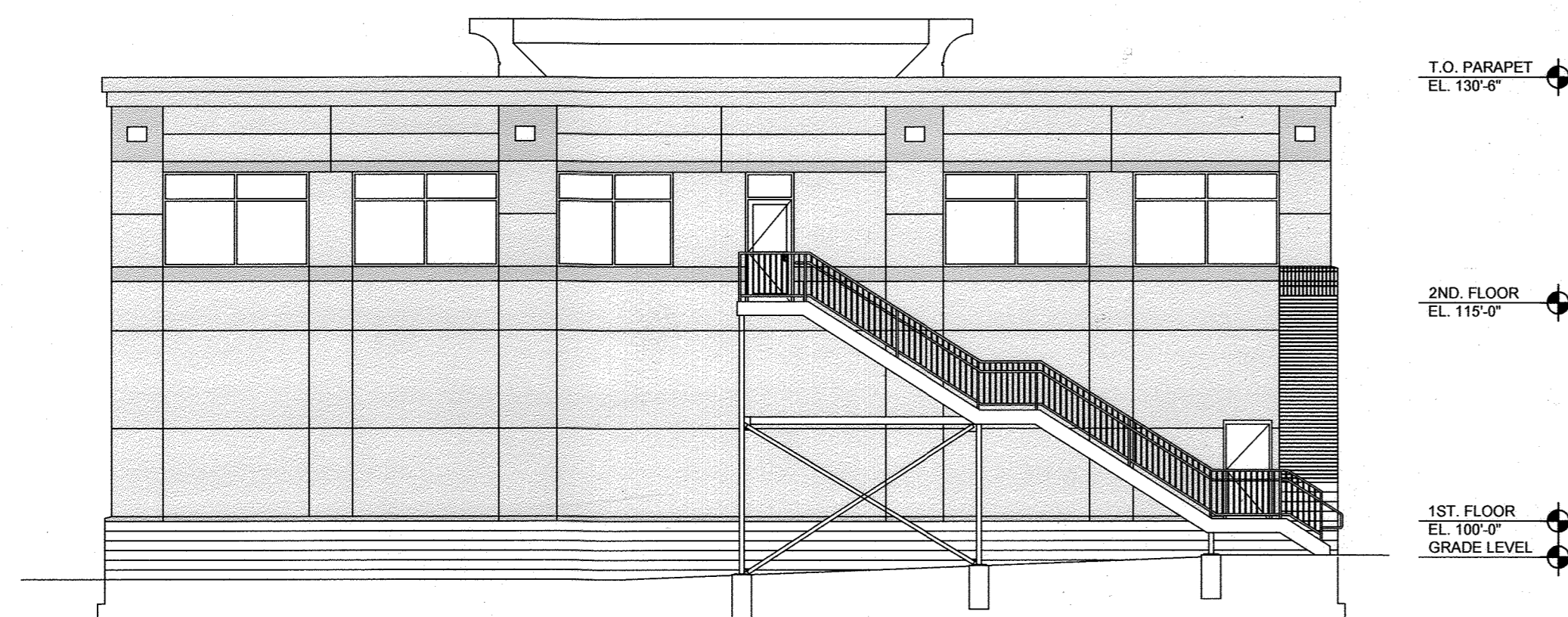
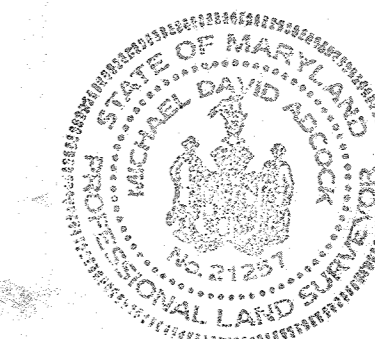
RIGHT ELEVATION

SCALE: 1" = 10'

AS-BUILT CERTIFICATION

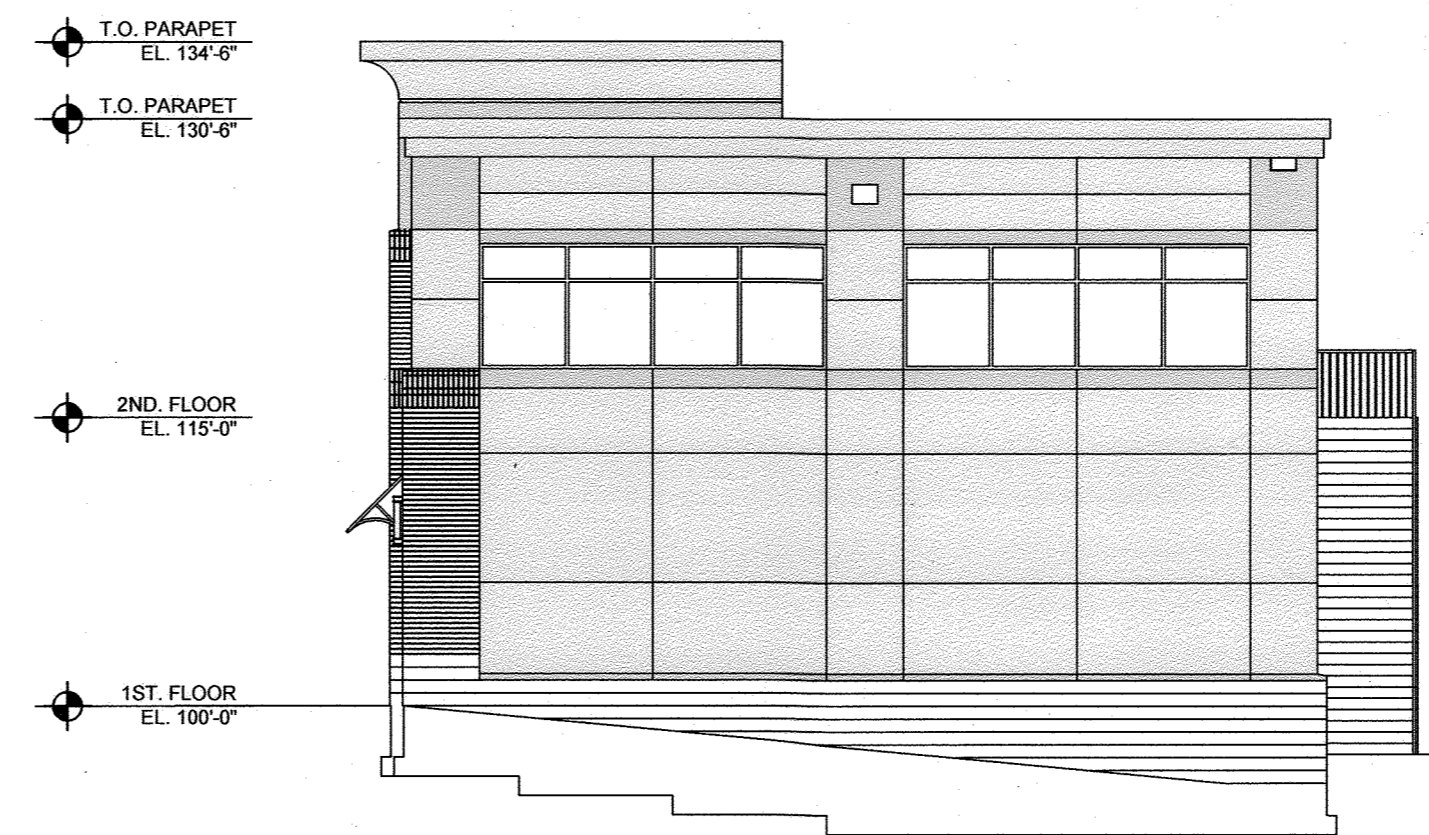
THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

Michael D. Adcock 4-15-2015
 MICHAEL D. ADCOCK, PROFESSIONAL LAND SURVEYOR DATE
 MD. REG. NO. 21257, EXPIRATION DATE: 06-16-15



REAR ELEVATION

SCALE: 1" = 10'



LEFT ELEVATION

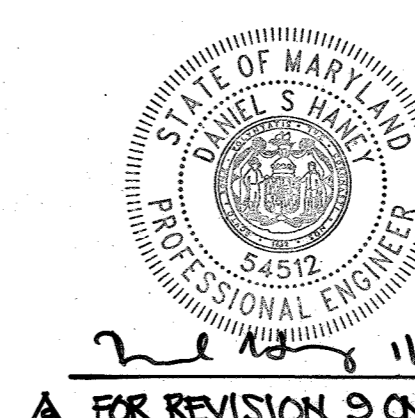
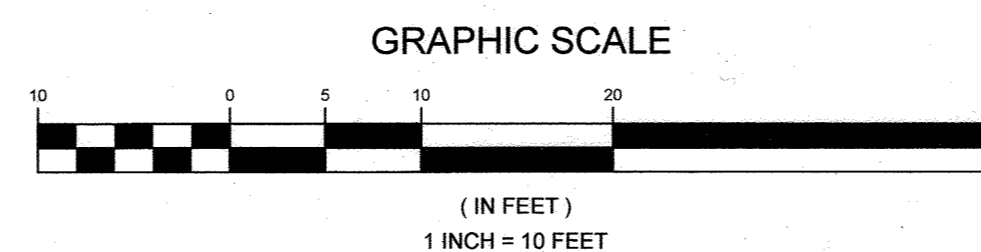
SCALE: 1" = 10'

THE PURPOSE OF THIS REVISED SITE DEVELOPMENT PLAN IS TO SHOW THE BUILDING #2 ELEVATIONS PER THE REVISED ARCHITECTURAL PLANS.

REVISED SITE DEVELOPMENT PLAN

OWNER/DEVELOPER

▲ NN. FULTON CENTER, LLC
 12526 WESTLAND CT.
 FULTON MD 20755



FOR REVISION 9 ONLY

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Chad Edwards 4-22-15
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
V. J. Schaefer 4-27-15
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE
Mark A. Ugel 4-27-15
 DIRECTOR DATE

| No. | DESCRIPTION | DATE |
|-----|---|------------|
| 9 | UPDATED OWNER | 3-4-24 |
| 1 | ADD SHEET TO SHOW REVISED ELEVATIONS, BUILDING #2 | 04/12/2015 |

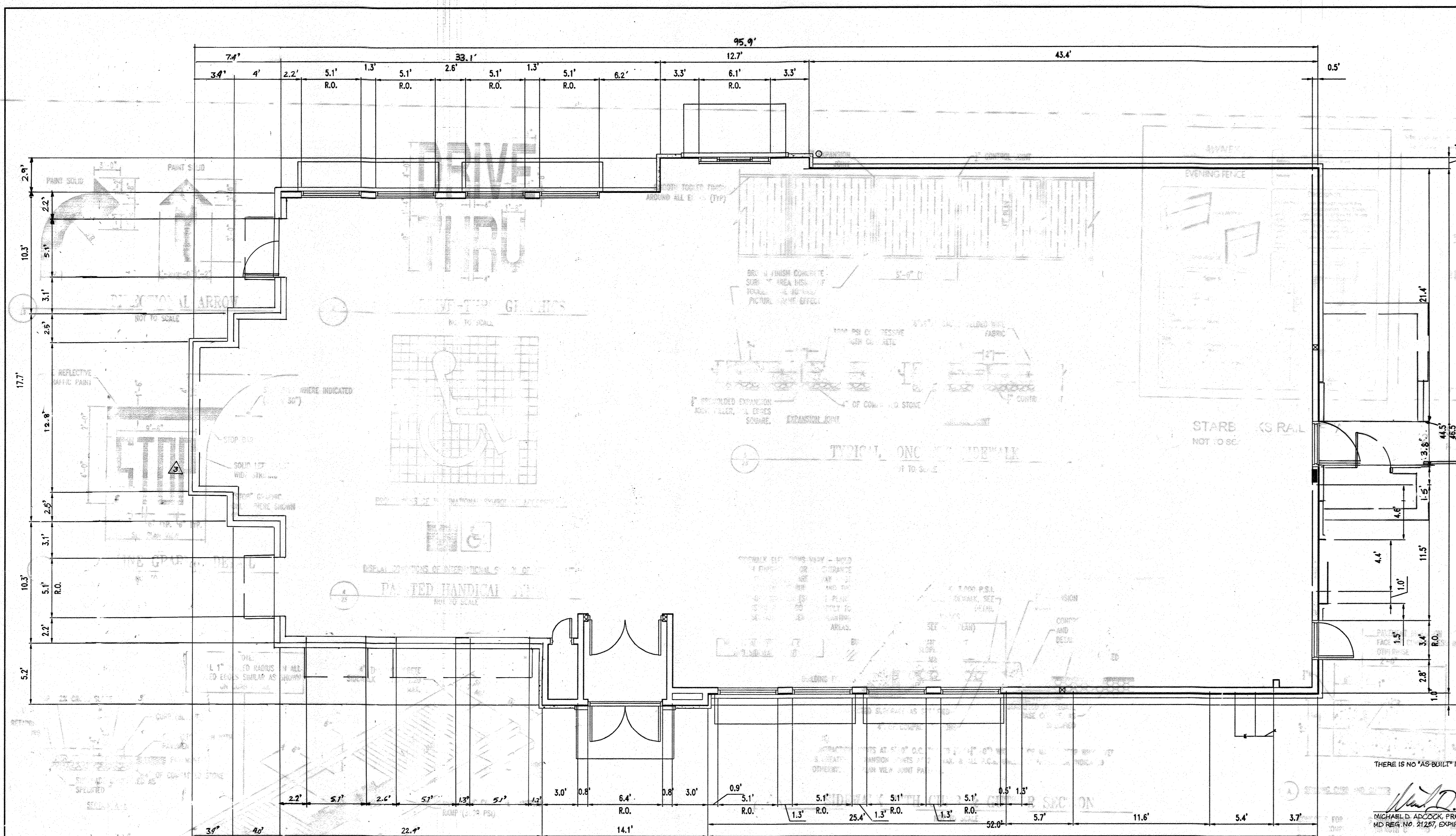
**BUILDING #2 ELEVATIONS
 CHICK-FIL-A RESTAURANT
 AND MEDICAL BUILDING
 PART OF LOT 1 HOPKINS STATION
 (FORMERLY PRICE FARMS, LOT 1)**

TAX MAP 41 GRID 22 PARCEL 425
 5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

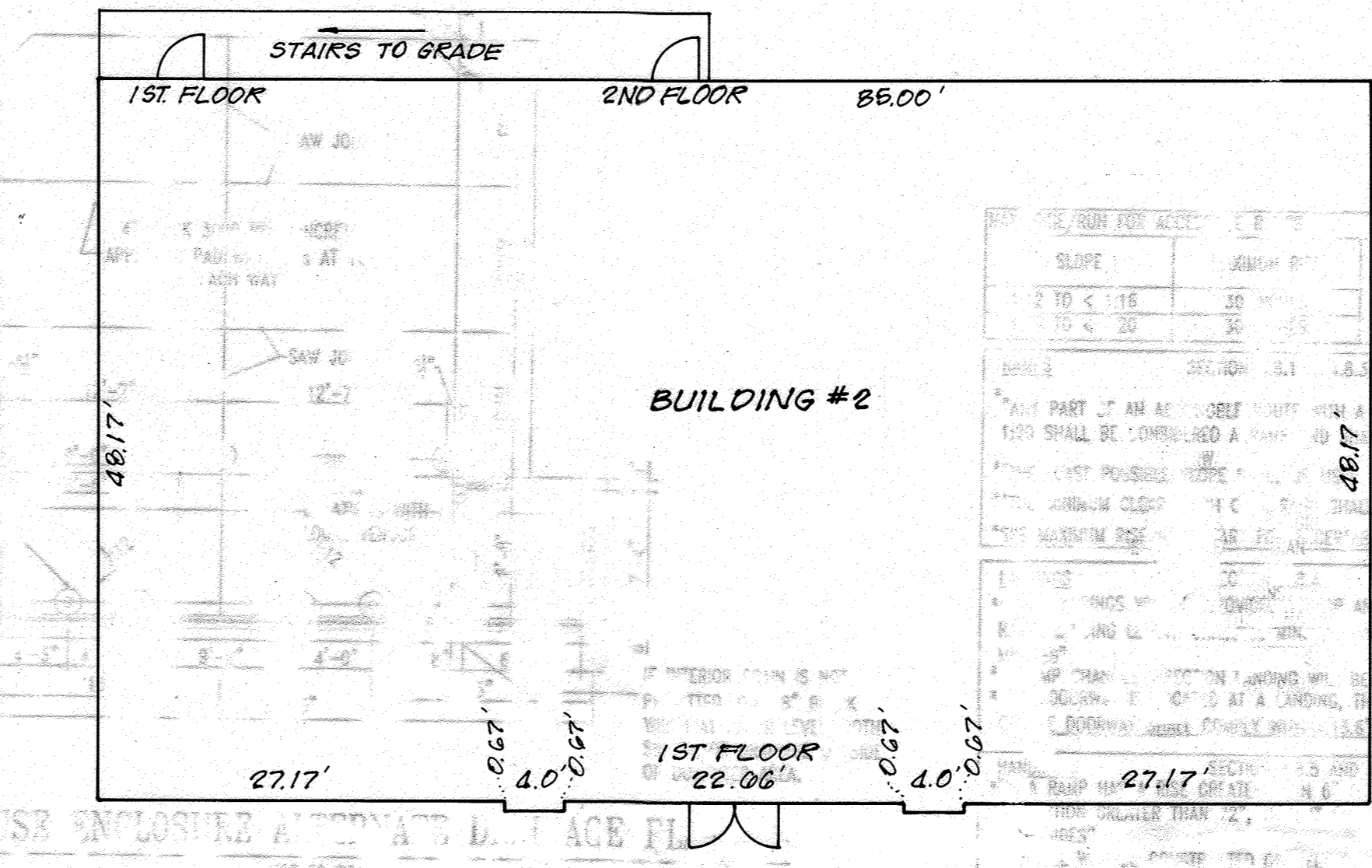
SILL ENGINEERING GROUP, LLC
 3300 North Ridge Road, Suite 160
 Ellicott City, Maryland 21043
 Phone: 443.325.7682
 Fax: 443.325.7685
 Email: info@sillengineering.com
 Civil Engineering for Land Development

DESIGN BY: PS
 DRAWN BY: PS
 CHECKED BY: PS
 SCALE: AS SHOWN
 DATE: APRIL 12, 2015
 PROJECT #: 15-009
 SHEET #: 21 of 30

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 32022, EXPIRATION DATE: JUNE 20, 2015



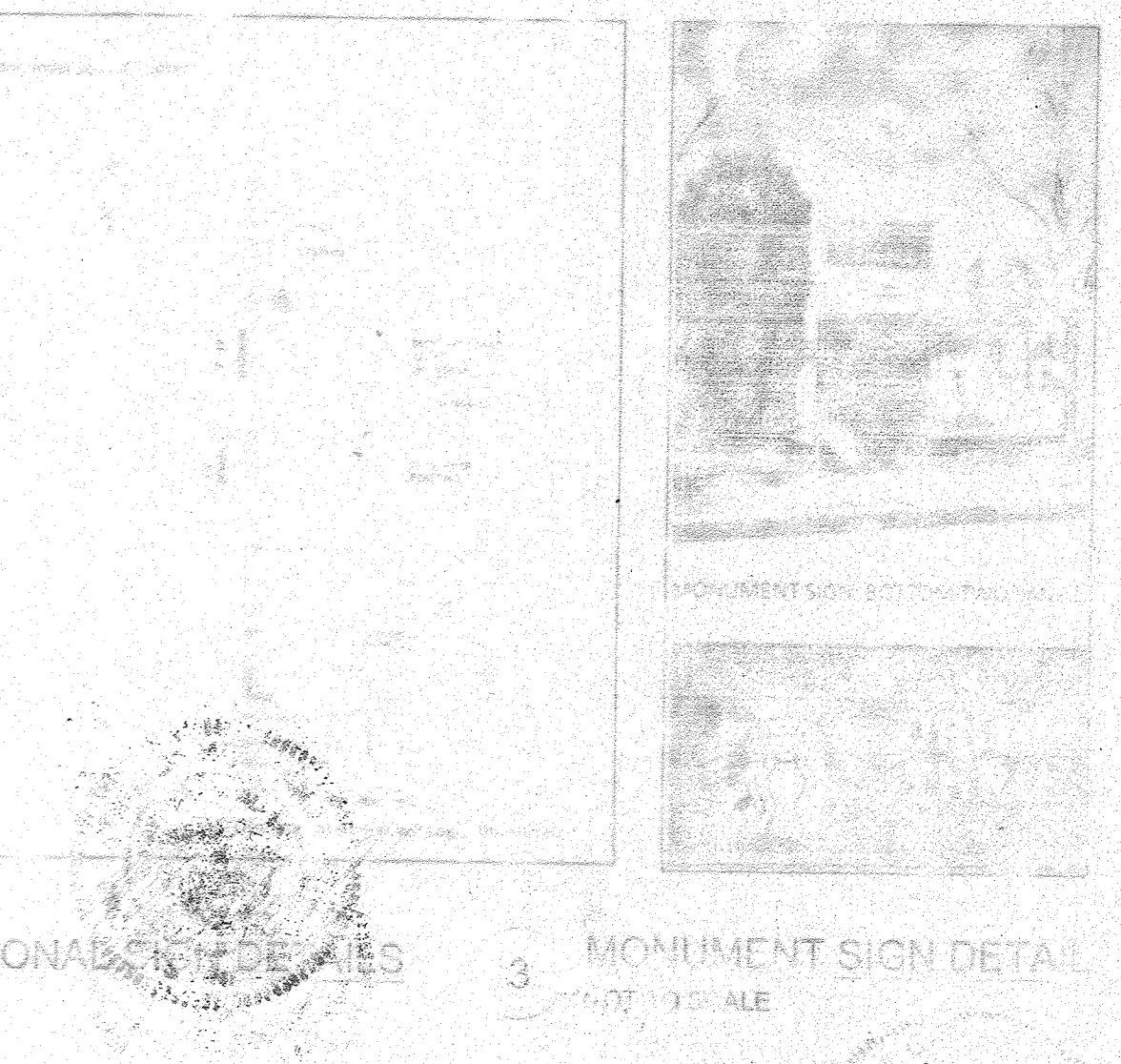
FIRST FLOOR CFA BUILDING FOOT PRINT
SCALE 1"=5'



MEDICAL BUILDING FOOTPRINT
SCALE: 1"=40'

NOTE:
REFER TO COMPLETE AND APPROVED ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.

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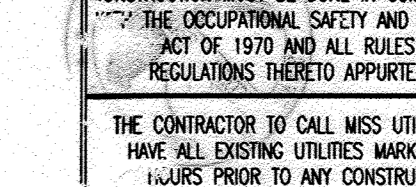
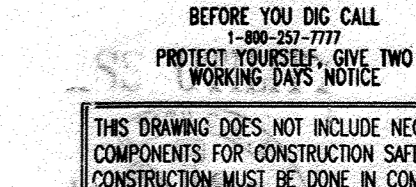
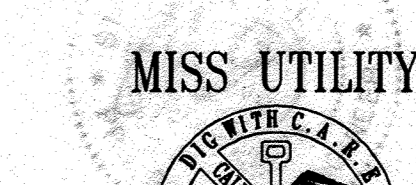
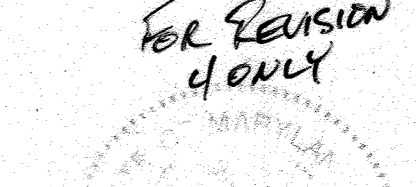
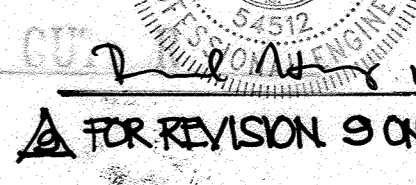
AS-BUILT



AS-BUILT CERTIFICATION

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.

Michael D. Adcock
MICHAEL D. ADCKOCK, PROFESSIONAL LAND SURVEYOR
MD REG. NO. 21227, EXPIRATION DATE: 06/16/15



APPROVED: DEPARTMENT OF PLANNING AND ZONING
7/19/17
CHIEF-DEVELOPMENT ENGINEERING DIVISION
Guido Hernandez 8/3/17
CHIEF-DIVISION & LAND DEVELOPMENT
Masha Kiselevich 8/3/17
DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
8/2/17
Peter B. Williams 8/2/17
COUNTY HEALTH OFFICER
HOWARD COUNTY DEPARTMENT

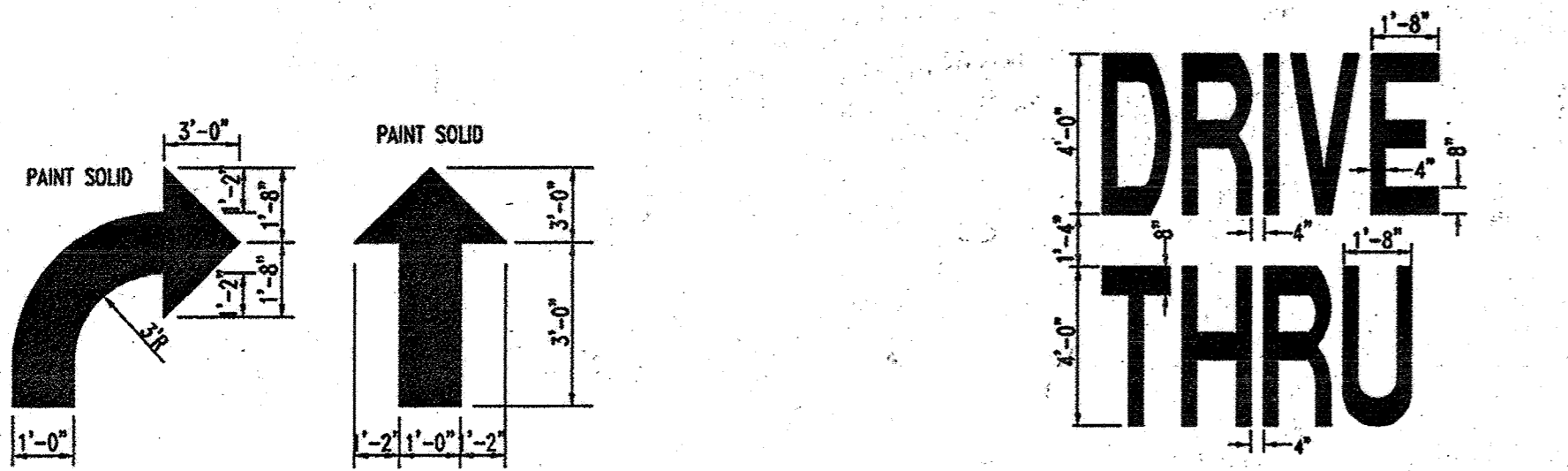
| NO. | DATE | REVISION-DESCRIPTION |
|-----|----------|---------------------------------------|
| 1 | 12/06/07 | RETAIL BLDG. DIMENSIONS |
| 2 | 4/17/08 | SIDE & AREA REVISED FOR CFA BUILDINGS |
| 3 | 4/17/08 | REVISION BUILDING #2 & TITLE |
| 4 | 4/17/16 | UPDATED OWNER |

OWNER: NN FULTON CENTER, LLC
12526 WESTLAND CT
FULTON, MD 20759
DEVELOPER: CHECK-FIL-A
5200 BUFFINGTON ROAD
ATLANTA, GA 30349-2998
C/O SCOTT PATMAN
PHONE: (404) 684-8660

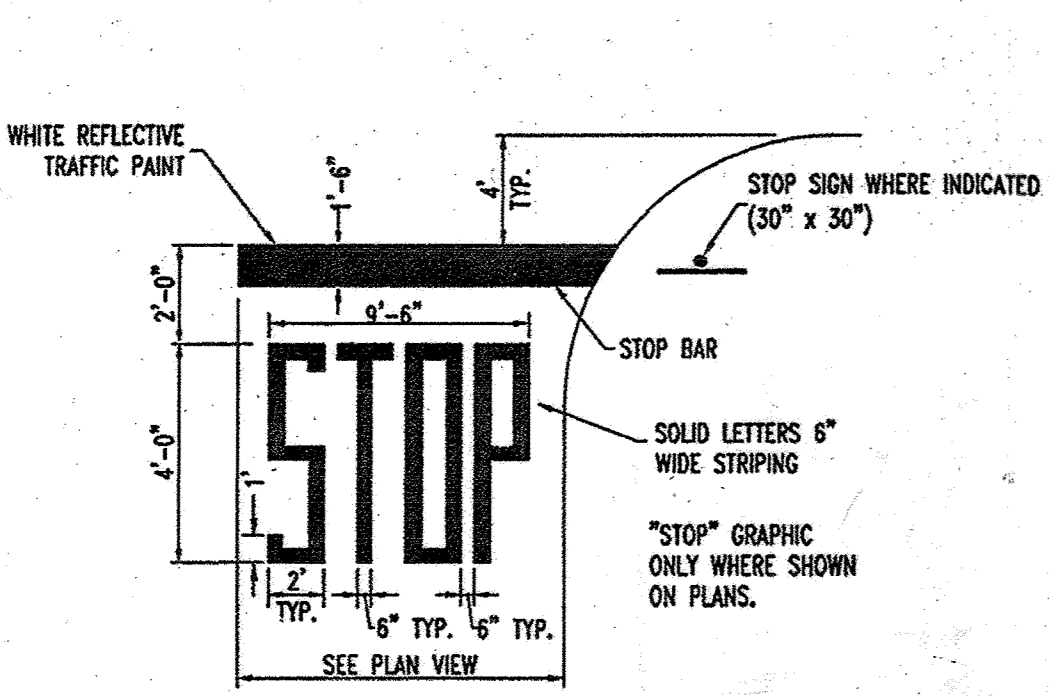
CHECK-FIL-A RESTAURANT & MEDICAL BUILDINGS
PART OF LOT 1, HOPKINS STATION (FORMER PRICE FARMS, LOT1)
JOHNS HOPKINS ROAD
LAUREL, HOWARD COUNTY, MARYLAND

AREA 3.59 AC. TAX MAP 41 GRID 22 ZONED B-2
PARCEL 425 L 3,095, F 39 & L 7004, F 653
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

BOHLER ENGINEERING, P.C.
PROFESSIONAL ENGINEERING SERVICES
6810 GLENDALES COURT, SUITE 300, TOWSON, MD 21286
(410) 281-2800 FAX (410) 281-2801 info@bohlereng.com
REVISION: 12/15/06
DESIGNED BY: JD
DRAWN BY: RLB
PROJECT NO.: MD056502.1
DATE: 9/28/06
SCALE: AS SHOWN
DRAWING NO.: 22 OF 30



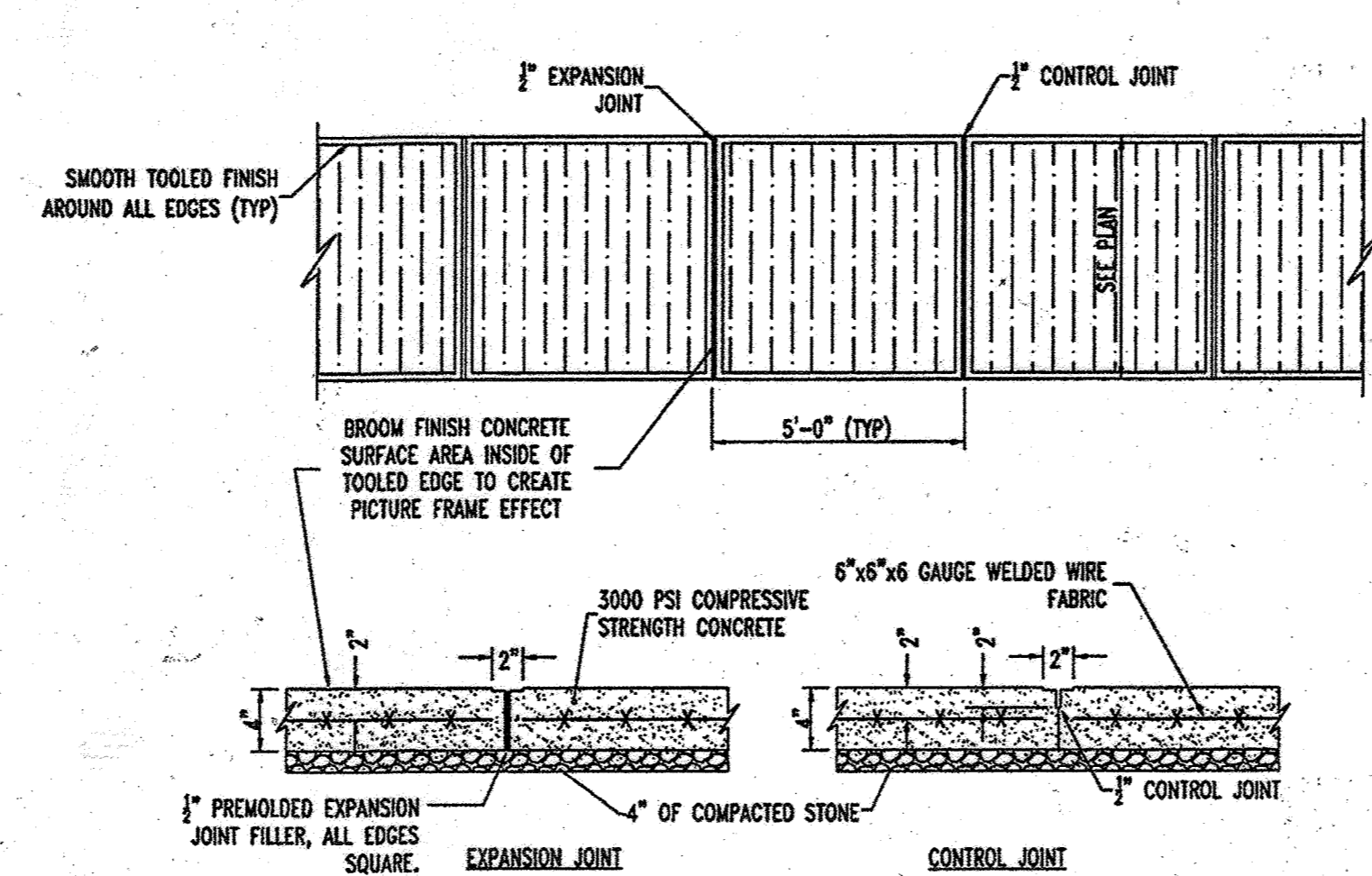
1 DIRECTIONAL ARROW NOT TO SCALE
2 DRIVE-THRU GRAPHICS NOT TO SCALE



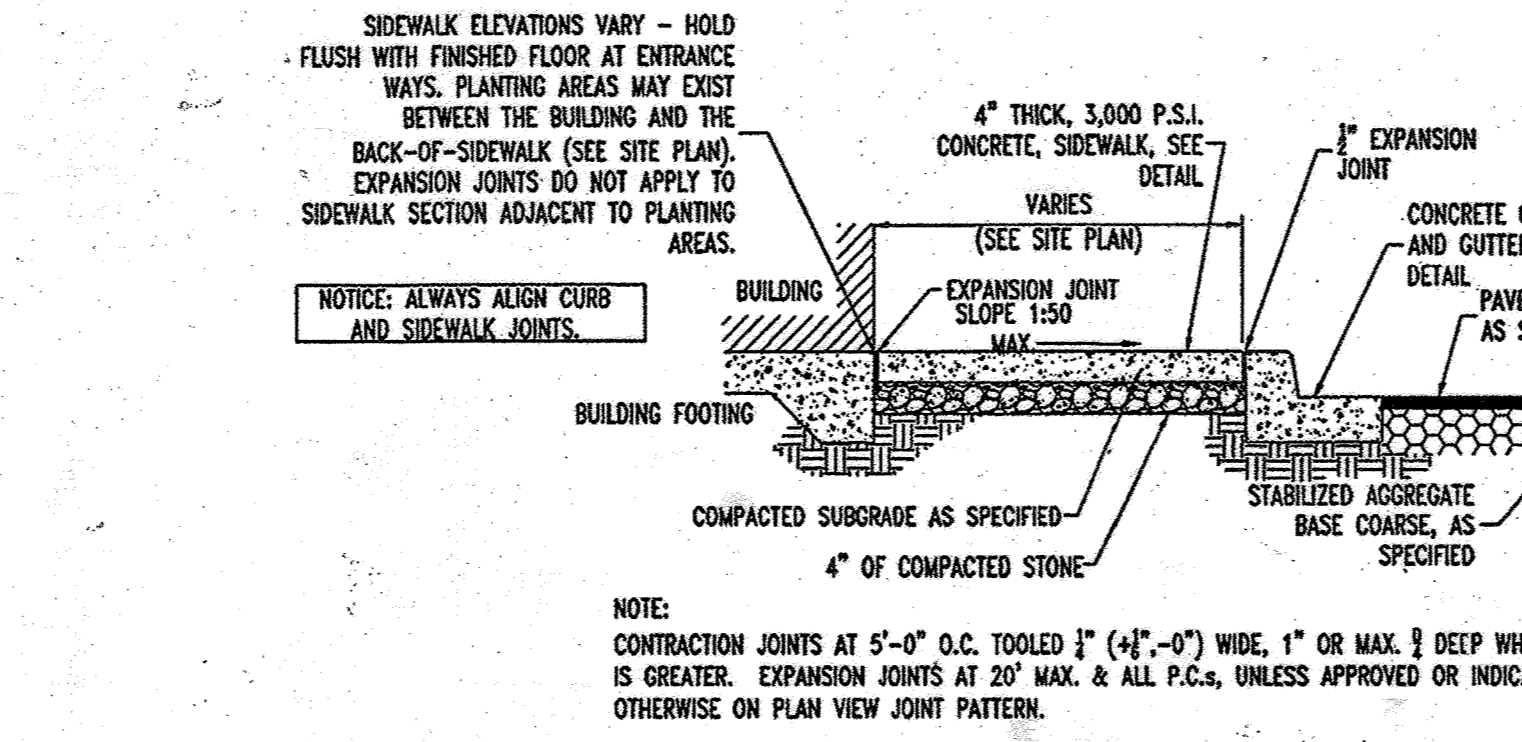
3 STOP LINE GRAPHIC DETAIL NOT TO SCALE



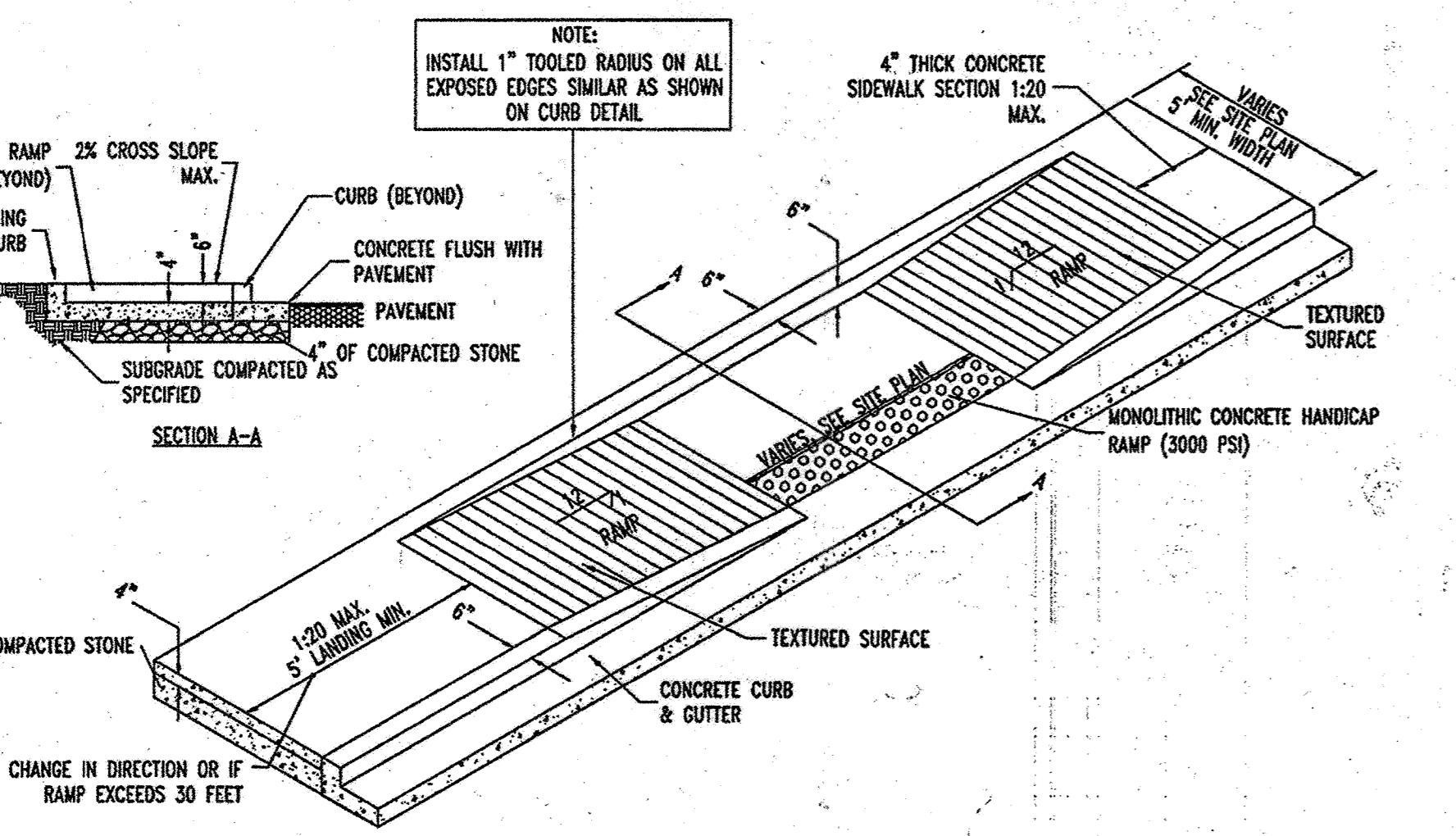
4 PAINTED HANDICAP SYMBOL NOT TO SCALE



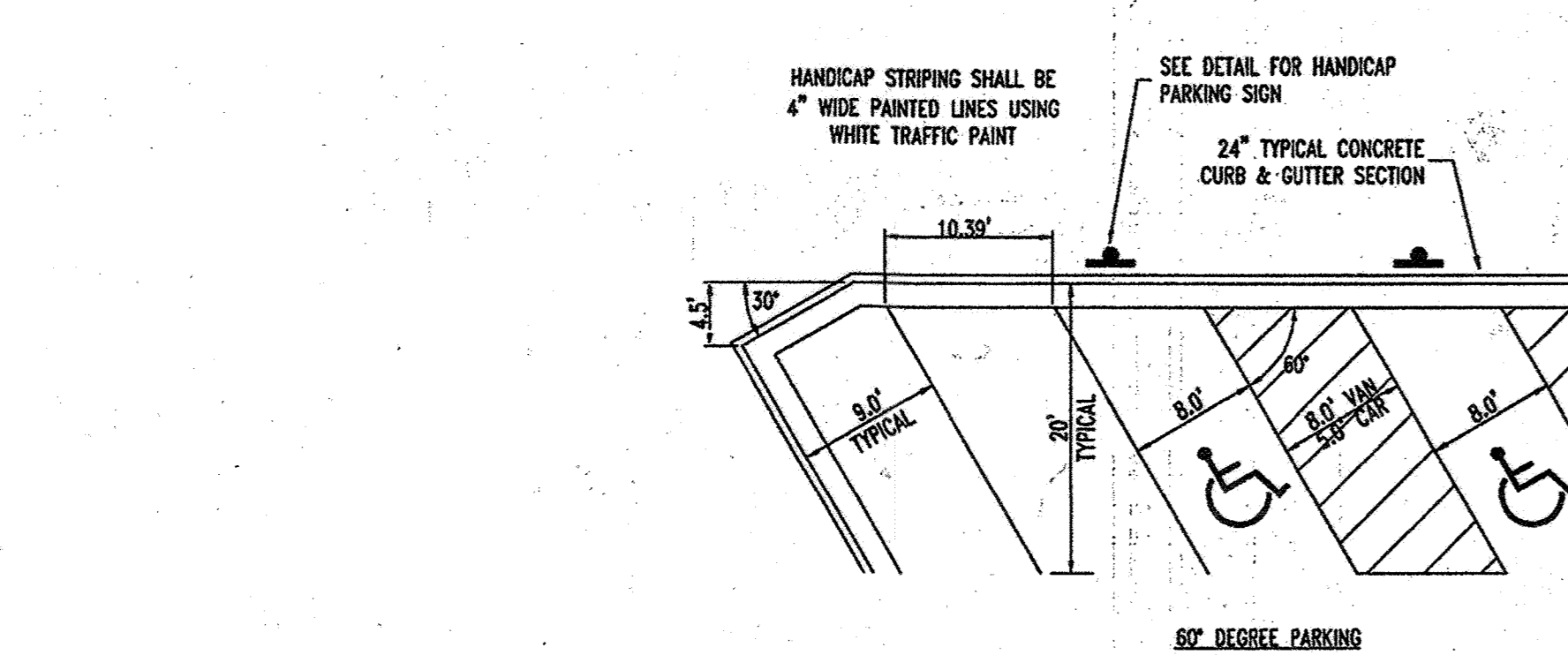
5 TYPICAL CONCRETE SIDEWALK NOT TO SCALE



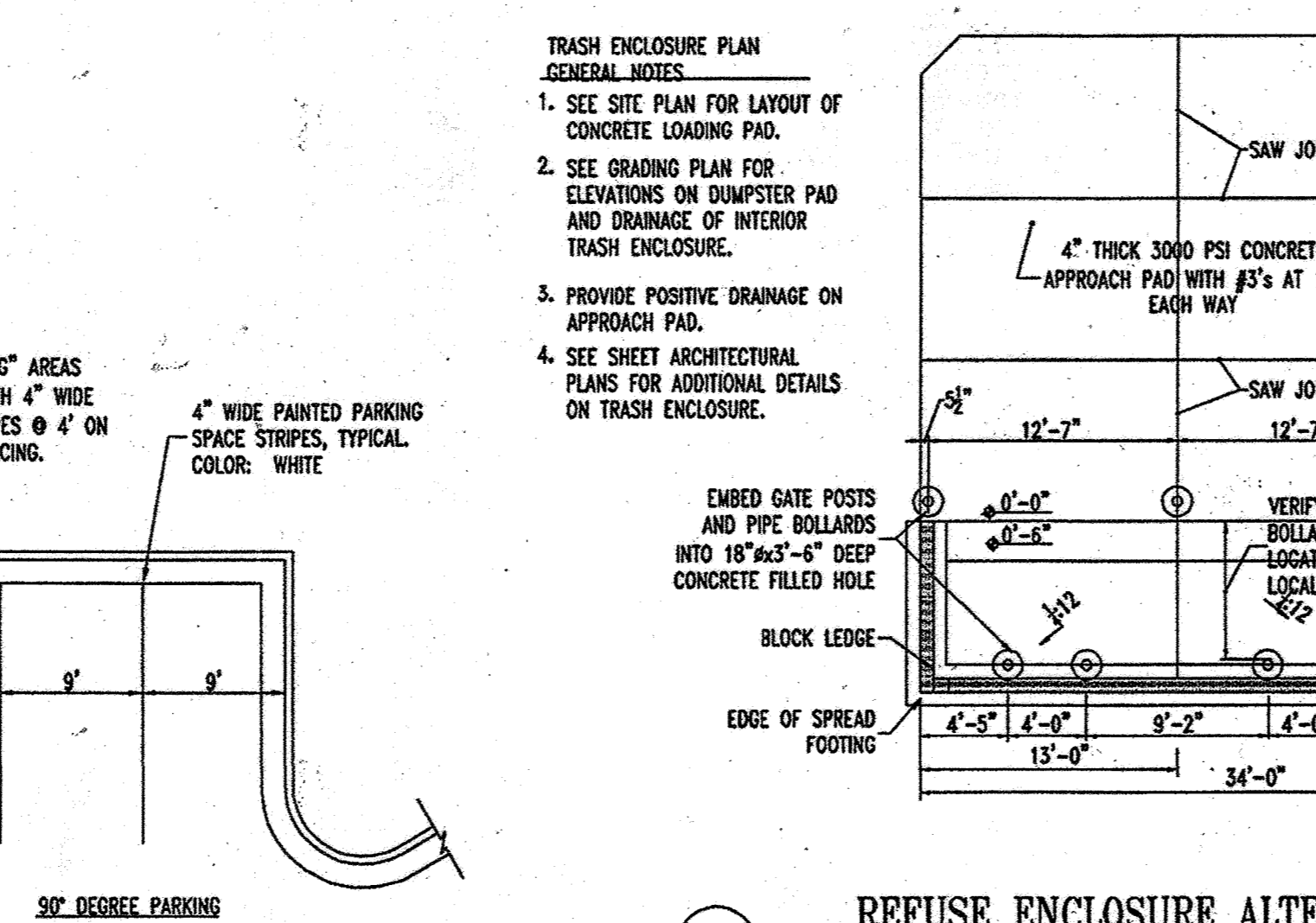
7 SIDEWALK WITH CURB & GUTTER SECTION NOT TO SCALE



6 SIDEWALK HANDICAP RAMP DETAIL NOT TO SCALE



9 STANDARD PARKING STALL NOT TO SCALE



10 REFUSE ENCLOSURE ALTERNATE DRAINAGE PLAN NOT TO SCALE

AWNEX
Evening Fence

STARBUCKS RAIL DETAIL
NOT TO SCALE

Materials:
- Aluminum Frame
- Steel Mesh and End
- Kabinety wood

Finish:
- Powder Coated Starbuck's Black, RAL 9005
- Nails on the wood

Site:
- Finish: 42" high x 36" wide x 2" thick
- 2" gap between modules
- 4" wide gable on end
- Gable: 38 1/4" high x 38" wide x 2" thick
- Weight: 50 lbs per module

STARBUCKS DIRECTIONAL SIGN DETAILS
NOT TO SCALE

Site Signage Details
Note: Footing details for signage and clearance bar to be provided by vendor under separate cover.

46" Thank You / Exit Only Sign, Illuminated
46" Directional Arrow w/ Logo, Illuminated

MONUMENT SIGN DETAIL
NOT TO SCALE

MONUMENT SIGN: BOTTOM TWO PANELS

DRIVE THRU

AS-BUILT CERTIFICATION

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.

Michael D. Adcock
MICHAEL D. ADCOCK, PROFESSIONAL LAND SURVEYOR
MD REG. NO. 21297, EXPIRATION DATE: 06-16-19

5/19/2013 DATE

AS-BUILT

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Walter J. Hill 5-14-19 DATE
CHIEF-DEVELOPMENT ENGINEERING DIVISION

Walter J. Hill 5-21-19 DATE
CHIEF-DIVISION & LAND DEVELOPMENT

Walter J. Hill 5-21-19 DATE
DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.

Blairson Peter Pederson 8/2/19 DATE
COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT

FOR REVISION 8 ONLY

24" CONCRETE CURB & GUTTER
NOT TO SCALE

CONCRETE FOR CURBING SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. AT 28 DAYS.

CONSTRUCTION STAKING FOR CURBING INSTALLATION SHALL BE REFERENCED (CUT OR FILL) TO THE FACE OF CURB.

AT CONTRACTOR'S OPTION THE GUTTER THICKNESS MAY BE INCREASED AT THE EDGE OF PAVEMENT TO MAKE BOTTOM OF GUTTER PARALLEL WITH PAVING OF BASE COURSE.

CONTRACTION JOINTS AT 10'-0" O.C. TOOLED 1/4" (±1/16"-0) WIDE, 1" OR MAX. D/4 DEEP WHICHEVER IS GREATER. EXPANSION JOINTS AT 40' MAX. AND ALL P.C.'S, UNLESS APPROVED OR INDICATED OTHERWISE ON PLAN VIEW JOINT PATTERN.

GENERAL NOTE:
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NOTE:
HANDICAP PARKING AND ACCESSIBLE AISLES SHALL NOT EXCEED 1:50 IN SLOPE IN ANY DIRECTION. IF ONLY ONE ACCESS ISLE IS INSTALLED, IT IS TO BE A VAN SIZE.

NOTE:
PARKING STALL DIMENSIONING SHALL BE IN ACCORDANCE WITH APPLICABLE GOVERNING AUTHORITY'S STANDARDS FOR THE DIMENSIONING SHOWN ON THE SITE LAYOUT PLAN.

TRAFFIC MARKING PAINT
1. SURFACE PREPARATION: SURFACE MUST BE CLEAN, DRY, AND IN SOUND CONDITION. REMOVE ALL OIL, DUST, GREASE, DIRT, AND OTHER FOREIGN MATERIAL TO ENSURE ADEQUATE ADHESION.
2. RECOMMENDED SPREADING RATE PER COAT: APPROXIMATELY 320 LINEAL FEET OF STANDARD 4" STRIPE PER GALLON.
WET MILS: 15.0
DRY MILS: 9.0
COVERAGE: 100 SQ. FT./GAL APPROXIMATE.

TRASH ENCLOSURE PLAN GENERAL NOTES:
1. SEE SITE PLAN FOR LAYOUT OF CONCRETE LOADING PAD.
2. SEE GRADING PLAN FOR ELEVATIONS ON DUMPSTER PAD AND DRAINAGE OF INTERIOR TRASH ENCLOSURE.
3. PROVIDE POSITIVE DRAINAGE ON APPROACH PAD.
4. SEE SHEET ARCHITECTURAL PLANS FOR ADDITIONAL DETAILS ON TRASH ENCLOSURE.

| NO. | REVISION | DATE |
|-----|--|------------|
| 8 | CHANGE OF USE OF BLDG. 1 FROM A COMMERCIAL BANK TO A RETAIL COFFEESHOP (STARBUCKS) | 2019-02-28 |

MISS UTILITY

BEFORE YOU DO CALL MISS UTILITY, PROTECT YOURSELF, GIVE TWO WEEKS NOTICE.

THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SHEET. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THEREOF APPLICABLE.

THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

REVISIONS: 12/15/05
DESIGNED BY: JD
DRAWN BY: RLB
PROJECT NO.: M005502.1
DATE: 9/28/06
SCALE: AS SHOWN
DRAWING NO. 23 OF 30

BOHLER ENGINEERING, P.C.

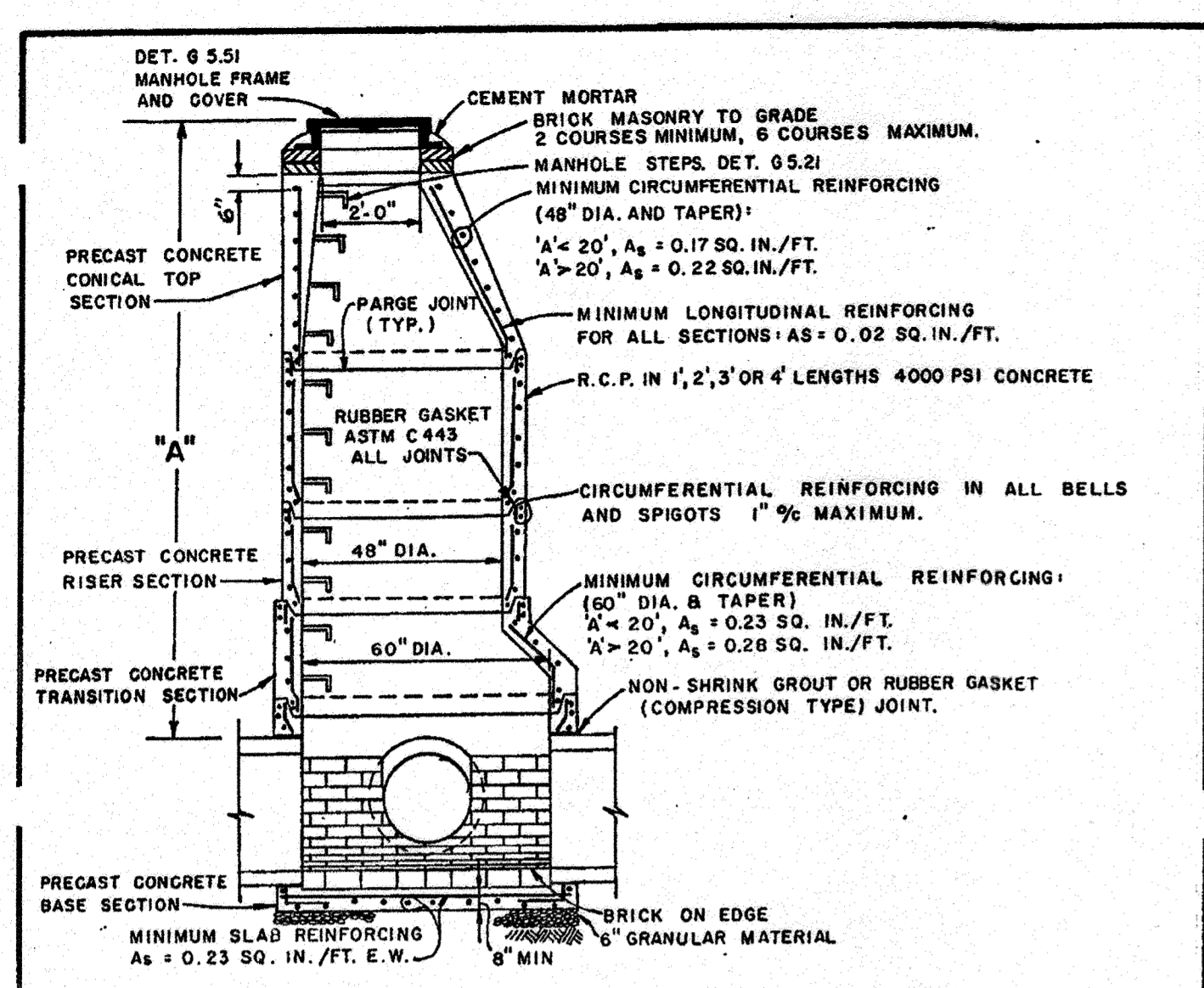
PROFESSIONAL ENGINEERING SERVICES
4110 GREENHURST COURT, SUITE 200, TOWSON, MD 21286
(410) 281-7000 FAX (410) 281-7997 | www.bohlereng.com

STATE OF MARYLAND PROFESSIONAL ENGINEER NO. 28567

STATE OF MARYLAND PROFESSIONAL LAND SURVEYOR NO. 21297 EXPIRATION DATE: 06-16-19

STATE OF MARYLAND PROFESSIONAL ENGINEER NO. 28567

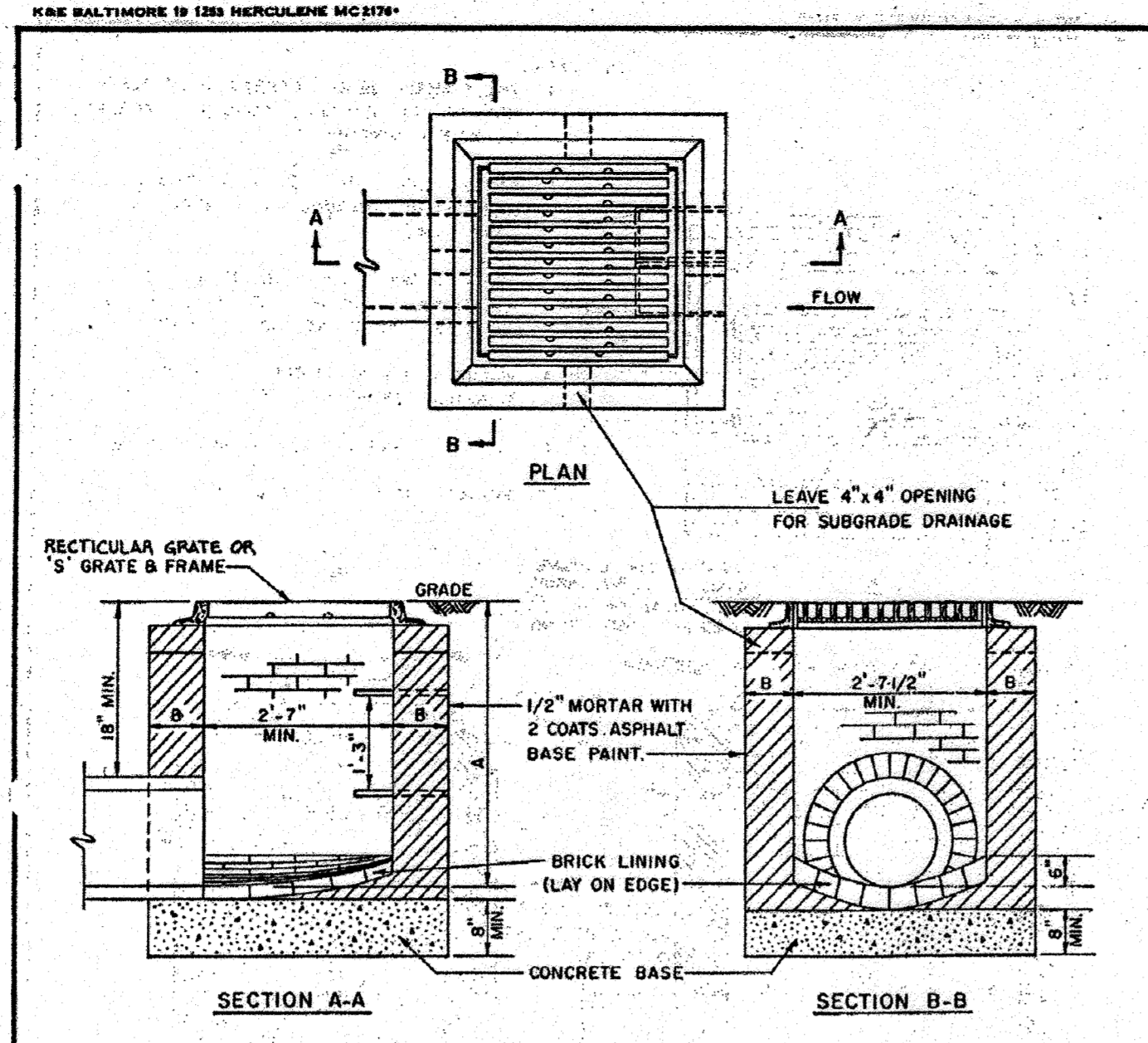
SDP # 07-033



- GENERAL NOTES APPLICABLE TO ALL PRECAST MANHOLES**
- MANHOLE BASE SHALL BE BEDDED ON 6-INCH GRANULAR MATERIAL OR FIRM SUBGRADE.
 - EXCAVATION BELOW PIPES SHALL BE BACKFILLED WITH GRANULAR OR SELECT MATERIAL 1/3 OF WAY TO TOP OF PIPE.
 - CONNECTION BETWEEN MANHOLE WALL AND SEWER SHALL BE NON-SHRINK GROUT OR RUBBER GASKET (COMPRESSION TYPE) JOINT.
 - MANHOLE STEPS SHALL BE AS SPECIFIED ON DETAIL G5.21. MANHOLE COVER SHALL BE AS SPECIFIED ON DETAIL G5.21.
 - PROVIDE 2 COATS COAL TAR EPOXY COATING, 16 MIL. DRY, SANITARY SEWER ONLY. (EXTERIOR SURFACE ONLY)
 - PROVIDE PIPE JOINT WITHIN 2'-0" MAXIMUM FROM OUTSIDE OF MANHOLE WALL.
 - MANHOLE CHANNELS SHALL BE FORMED TO PROVIDE A SMOOTH HYDRAULIC TRANSITION BETWEEN PIPES. BENCHES SHALL BE TO TOP OF PIPE OR AS SHOWN ON PLANS. MANHOLE CHANNELS AND BENCHES SHALL BE FORMED FROM SEWER BRICK, GRADE SS, ASTM C-32.
 - MANHOLE SHALL BE IN ACCORDANCE WITH ASTM C478 EXCEPT AS SHOWN.

HOWARD COUNTY, MARYLAND
DEPARTMENT OF PUBLIC WORKS
Approved: [Signature] Chief-Bureau of Engineering

STANDARD PRECAST MANHOLES
DRAWN BY: J.M.S.
CHECKED BY: J.L.R.
SCALE: NONE
G5.11



- NOTES:**
- BOTTOM SHALL BE MIX NO. 3 CONCRETE.
 - WALLS CAN BE BRICK OR MIX NO. 3 CONCRETE.
 - 9" WHERE A IS LESS THAN 8" B=12" WHERE A IS 8" TO 10"
 - TOP 4" OF WALLS SHALL BE BRICK MASONRY. ADDITIONAL BRICK SHALL BE USED TO BRING THE GRADE TO EXISTING GRADE IF REQUIRED.
 - INVERTS SHALL BE BRICK, GRADE SS (ASTM C32)
 - WHERE A IS 3'-6" OR GREATER STANDARD MANHOLE STEPS SHALL BE INSTALLED AS SHOWN.

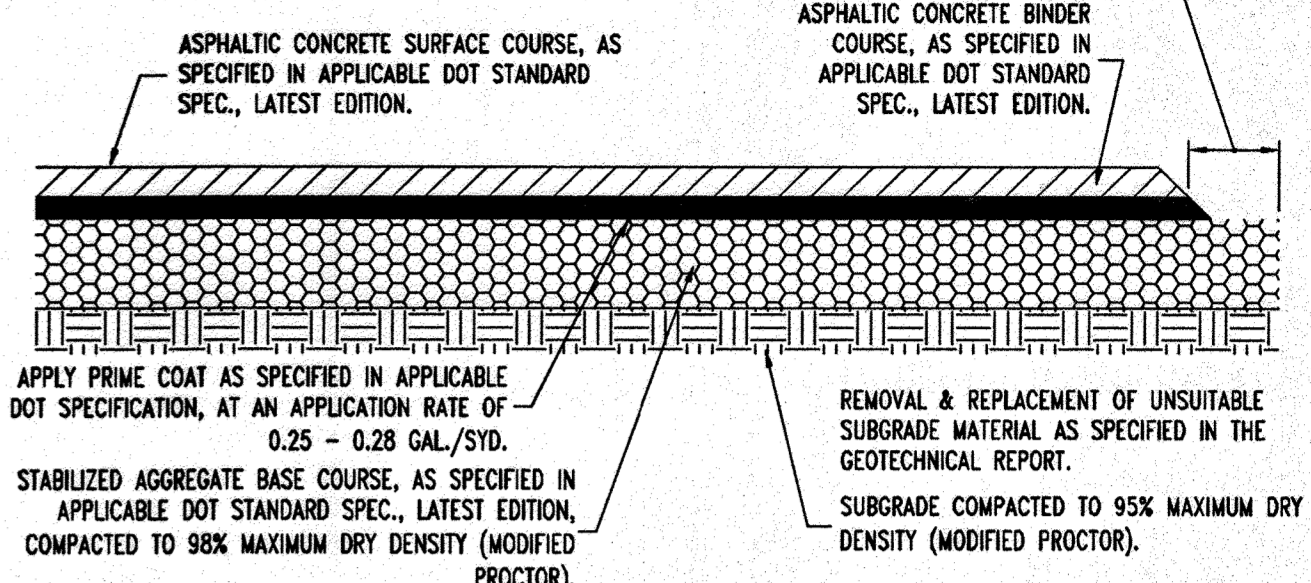
HOWARD COUNTY, MARYLAND
DEPARTMENT OF PUBLIC WORKS
Approved: [Signature] Chief-Bureau of Engineering

TYPE 'S' INLET
DRAWN BY: R.K.H.
CHECKED BY: J.L.R.
SCALE: NONE
5D-4.22

DESIGN PAVEMENT THICKNESS

| ASPHALT SURFACE COURSE | ASPHALT BASE COURSE | S.A.B.C. |
|------------------------|---------------------|----------|
| 1" | 2" | 6" |

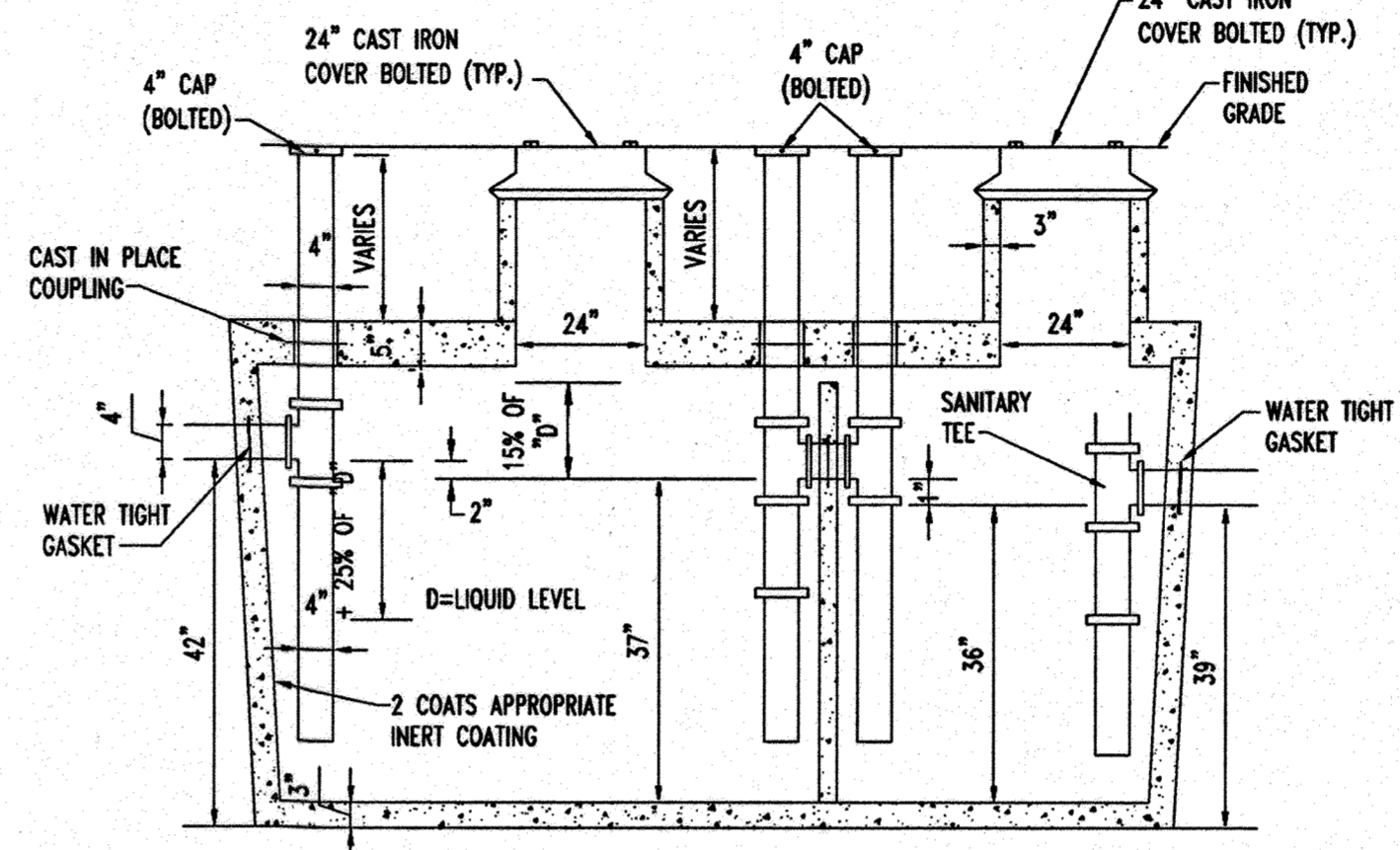
EXTEND BASE 6" BEYOND FOR APPLICATIONS WITHOUT CURB & GUTTER, SIDEWALKS, BUILDINGS OR OTHER STRUCTURES.



NOTE: PAVEMENT SECTION SHOWN BASED ON A PROJECTED CBR OF 5 AS RECOMMENDED BY GEOTECHNICAL INVESTIGATION PREPARED BY GILES ENGINEERING, PROJECT NO. 30-0608004, DATED 9/13/06. FINAL PAVEMENT DESIGN TO BE BASED ON ACTUAL CBR TEST RESULTS.

TYPICAL PAVEMENT SECTION
NOT TO SCALE

TYPICAL 2' FLUME DETAIL
NOT TO SCALE

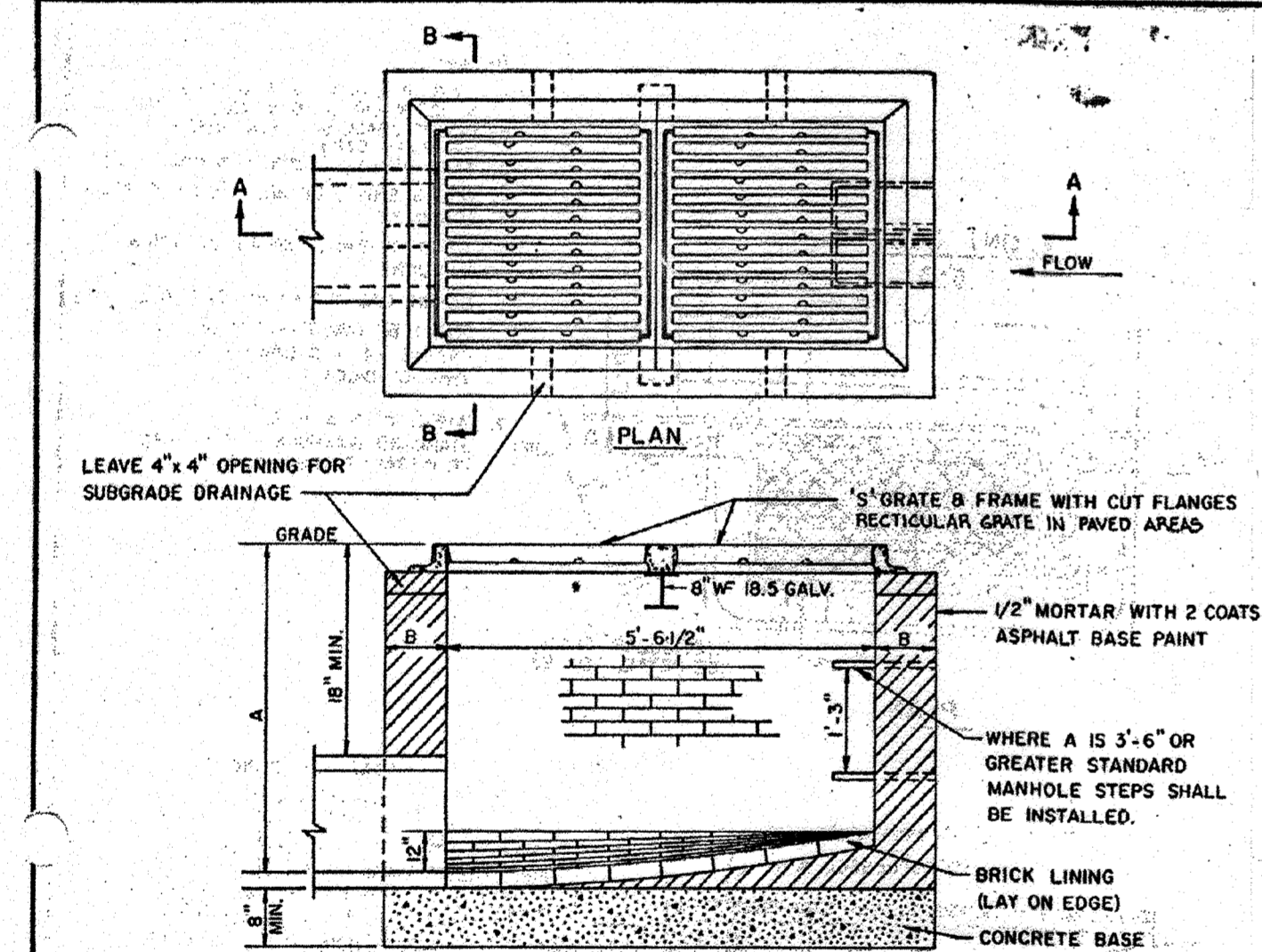


ALL INLET AND OUTLET PIPES SHALL BE INSTALLED NO MORE THAN 12" FROM THE BOTTOM OF THE GREASE TRAP.

TANK TAPERS TOP TO BOTTOM AND IS TRAPEZOIDAL IN CROSS SECTION.

TANK IS 4000 PSI CONCRETE-STEEL REINFORCED CONCRETE CONFORMS TO ACI 318-16-4.5.1 AND 318-16-4.5.2

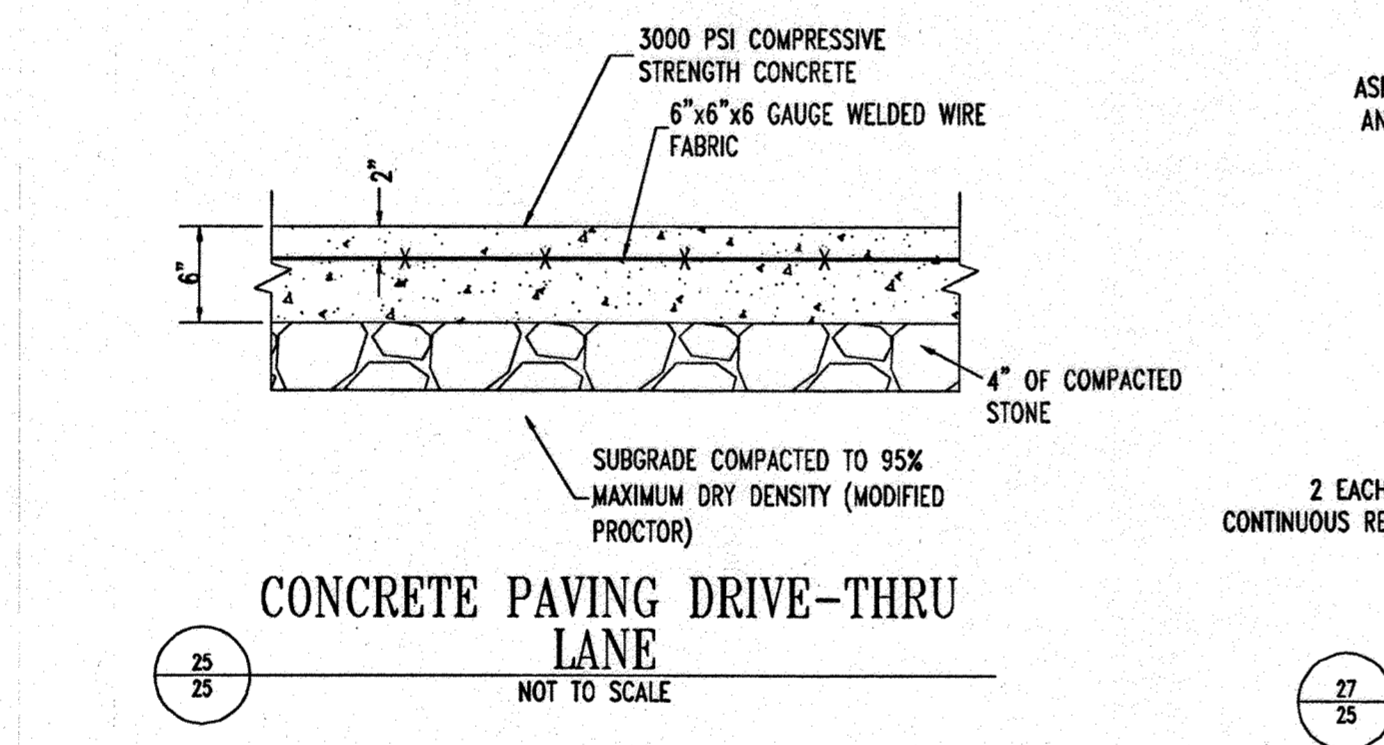
GREASE TRAP
NOT TO SCALE



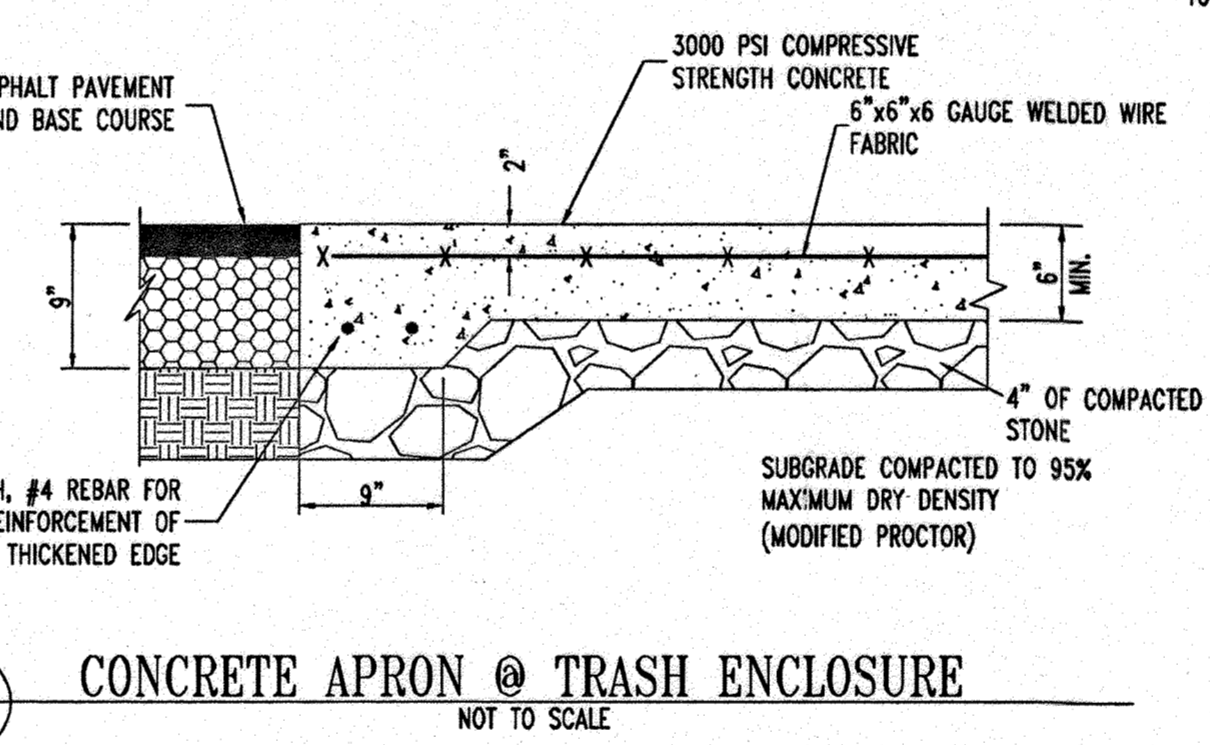
- NOTES:**
- SLAB SHALL BE MIX NO. 3 CONCRETE.
 - INVERTS SHALL BE BRICK, GRADE SS (ASTM C32).
 - WALLS SHALL BE BRICK (BR), PLAIN MIX NO. 3 CONCRETE (PC) OR REINFORCED CONCRETE (R.C.)
 - SEE TABLE FOR DIMENSIONS.
 - REINFORCING: #4 @ 10" E.W. IN 1/2 OF WALLS, REINFORCING CONTINUOUS AT CORNERS. ALL LAPS 1'-4".
 - TOP 4" OF WALLS SHALL BE BRICK MASONRY. ADDITIONAL BRICK SHALL BE USED TO BRING THE GRADE TO EXISTING GRADE IF REQUIRED.

HOWARD COUNTY, MARYLAND
DEPARTMENT OF PUBLIC WORKS
Approved: [Signature] Chief-Bureau of Engineering

DOUBLE TYPE 'S' INLET
DRAWN BY: R.K.H.
CHECKED BY: J.L.R.
SCALE: NONE
5D-4.23



CONCRETE PAVING DRIVE-THRU LANE
NOT TO SCALE



CONCRETE APRON @ TRASH ENCLOSURE
NOT TO SCALE

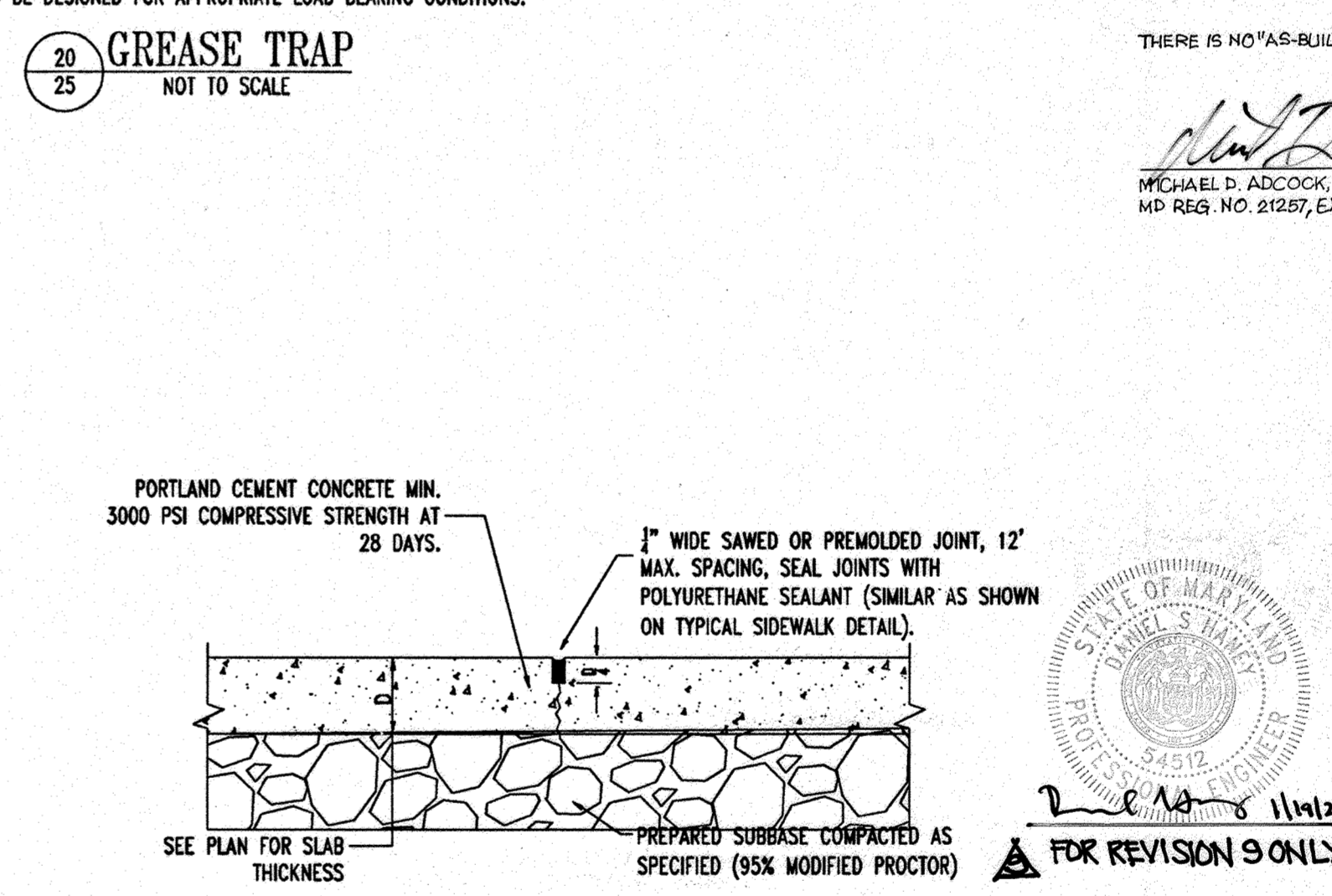
HOWARD COUNTY, MARYLAND
DEPARTMENT OF PUBLIC WORKS
Approved: [Signature] Chief-Bureau of Engineering

| D | E | F | G | H | J | K | L | N | R | Vol. C.Y. | |
|-----|--------|--------|-------|-------|-------|----|-----|-----|----|-----------|-------|
| 18" | 3'-0" | 7'-6" | 3'-0" | 3'-0" | 2'-0" | 0" | 8" | 8" | 0" | 5-12% | 1.70 |
| 21" | 3'-4" | 7'-9" | 3'-0" | 3'-3" | 2'-0" | 0" | 8" | 8" | 0" | 5-12% | 1.80 |
| 24" | 3'-8" | 8'-0" | 3'-0" | 3'-6" | 2'-0" | 0" | 8" | 8" | 0" | 5-12% | 1.90 |
| 27" | 3'-11" | 8'-3" | 3'-0" | 3'-9" | 2'-0" | 0" | 8" | 8" | 0" | 5-12% | 2.00 |
| 30" | 4'-2" | 8'-6" | 3'-0" | 4'-0" | 2'-1" | 0" | 8" | 8" | 0" | 5-12% | 2.05 |
| 36" | 4'-8" | 10'-0" | 3'-6" | 4'-6" | 2'-3" | 0" | 10" | 10" | 0" | 5-12% | 3.15 |
| 42" | 5'-3" | 11'-6" | 4'-0" | 5'-0" | 2'-9" | 0" | 10" | 10" | 0" | 5-12% | 3.87 |
| 48" | 6'-0" | 13'-0" | 4'-6" | 5'-6" | 3'-0" | 0" | 10" | 12" | 0" | 5-12% | 5.08 |
| 54" | 6'-6" | 14'-6" | 5'-0" | 6'-0" | 3'-3" | 0" | 12" | 12" | 0" | 6-8% | 6.50 |
| 60" | 7'-0" | 16'-0" | 5'-6" | 6'-6" | 3'-6" | 0" | 12" | 12" | 0" | 6-8% | 7.98 |
| 66" | 7'-7" | 17'-6" | 6'-0" | 7'-0" | 3'-9" | 0" | 12" | 14" | 0" | 6-8% | 9.14 |
| 72" | 8'-6" | 19'-0" | 6'-6" | 7'-6" | 4'-3" | 0" | 12" | 14" | 0" | 6-8% | 11.10 |

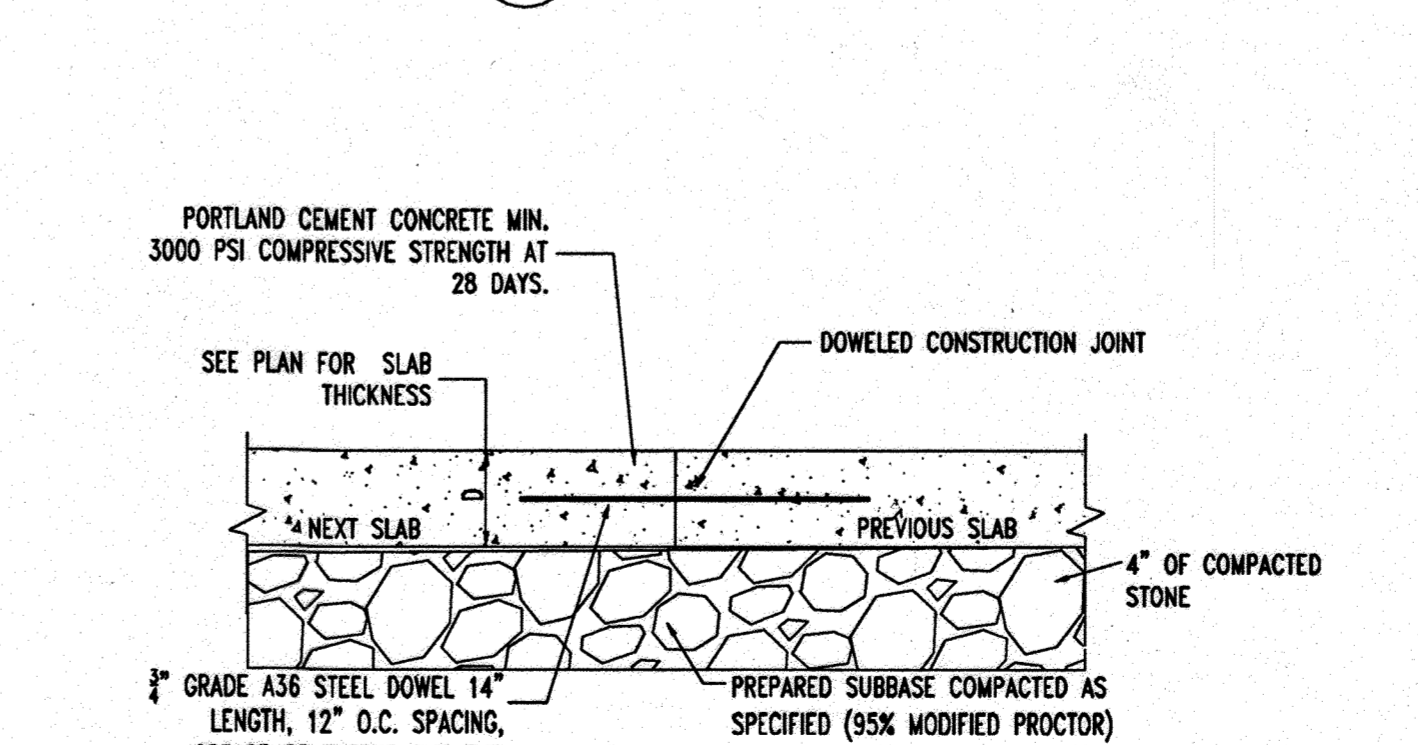
A-BASED ON 2:1 CHANNEL SIDE SLOPES AND 45° ANGLE

HOWARD COUNTY, MARYLAND
DEPARTMENT OF PUBLIC WORKS
Approved: [Signature] Chief-Bureau of Engineering

TYPE 'A' HEADWALL CIRCULAR
DRAWN BY: R.K.H.
CHECKED BY: J.L.R.
SCALE: NONE
5D-5.11



TRANSVERSE AND LONGITUDINAL CONTRACTION JOINT
NOT TO SCALE



TRANSVERSE AND LONGITUDINAL DOWELED CONSTRUCTION JOINT
NOT TO SCALE

AS-BUILT CERTIFICATION

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.

[Signature] DATE: 9/15/2013

MICHAEL D. ADCOCK, PROFESSIONAL LAND SURVEYOR
MD REG. NO. 21287, EXPIRATION DATE: 06-16-19

AS-BUILT

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF-DEVELOPMENT ENGINEERING DIVISION DATE: 7/16/10

CHIEF-DIVISION & LAND DEVELOPMENT DATE: 8/13/07

DIRECTOR DATE: 8/13/07

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.

FOR REVISION 9 ONLY

OWNER: NN FILTON CENTER, LLC
12526 WESTLAND CT
MILTON, MD 20705

DEVELOPER: CHICK-FIL-A
5200 SUFFINGTON ROAD
ATLANTA, GA 30349-2998
C/O SCOTT PATMAN
PHONE: (404) 684-8660

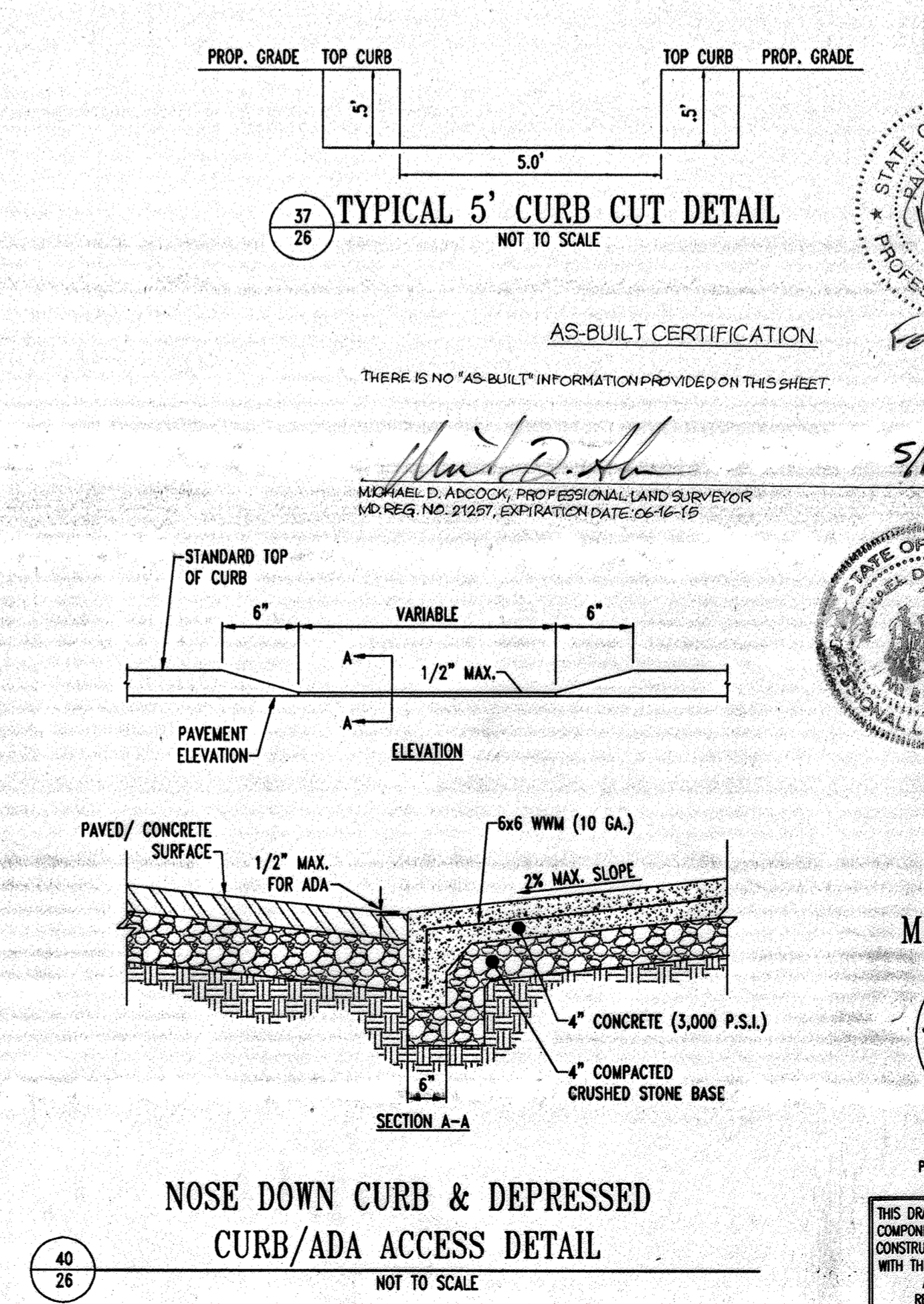
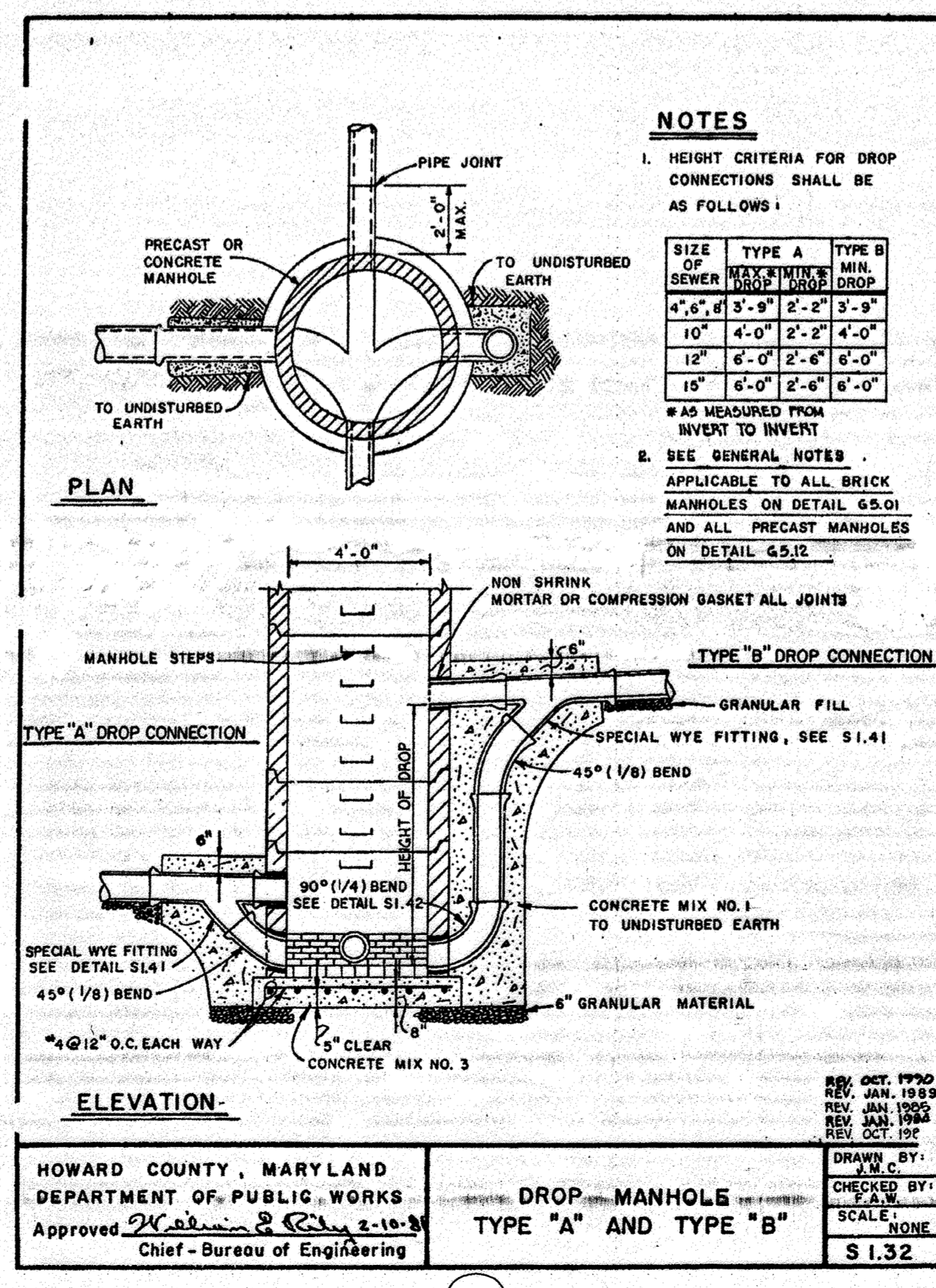
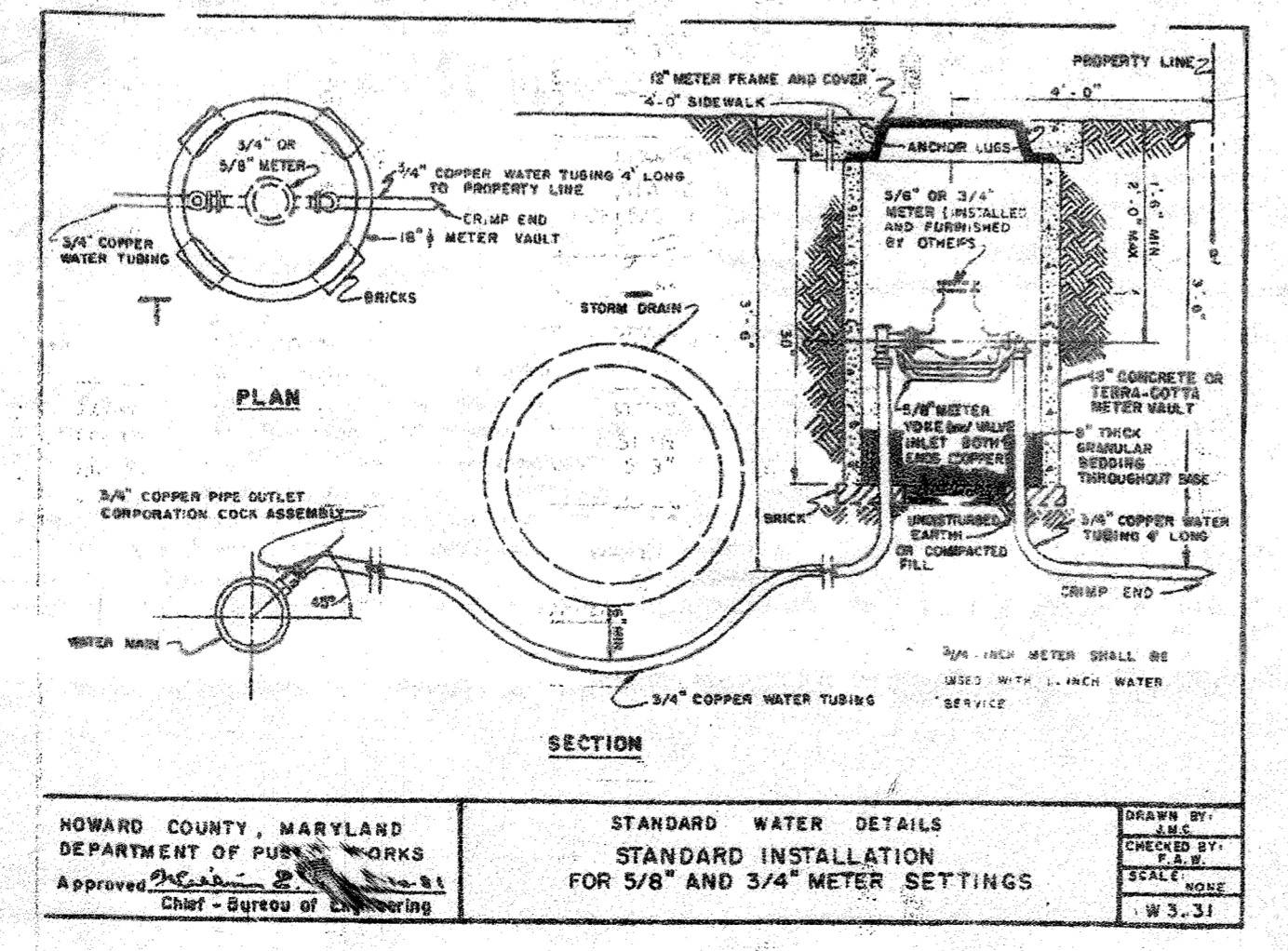
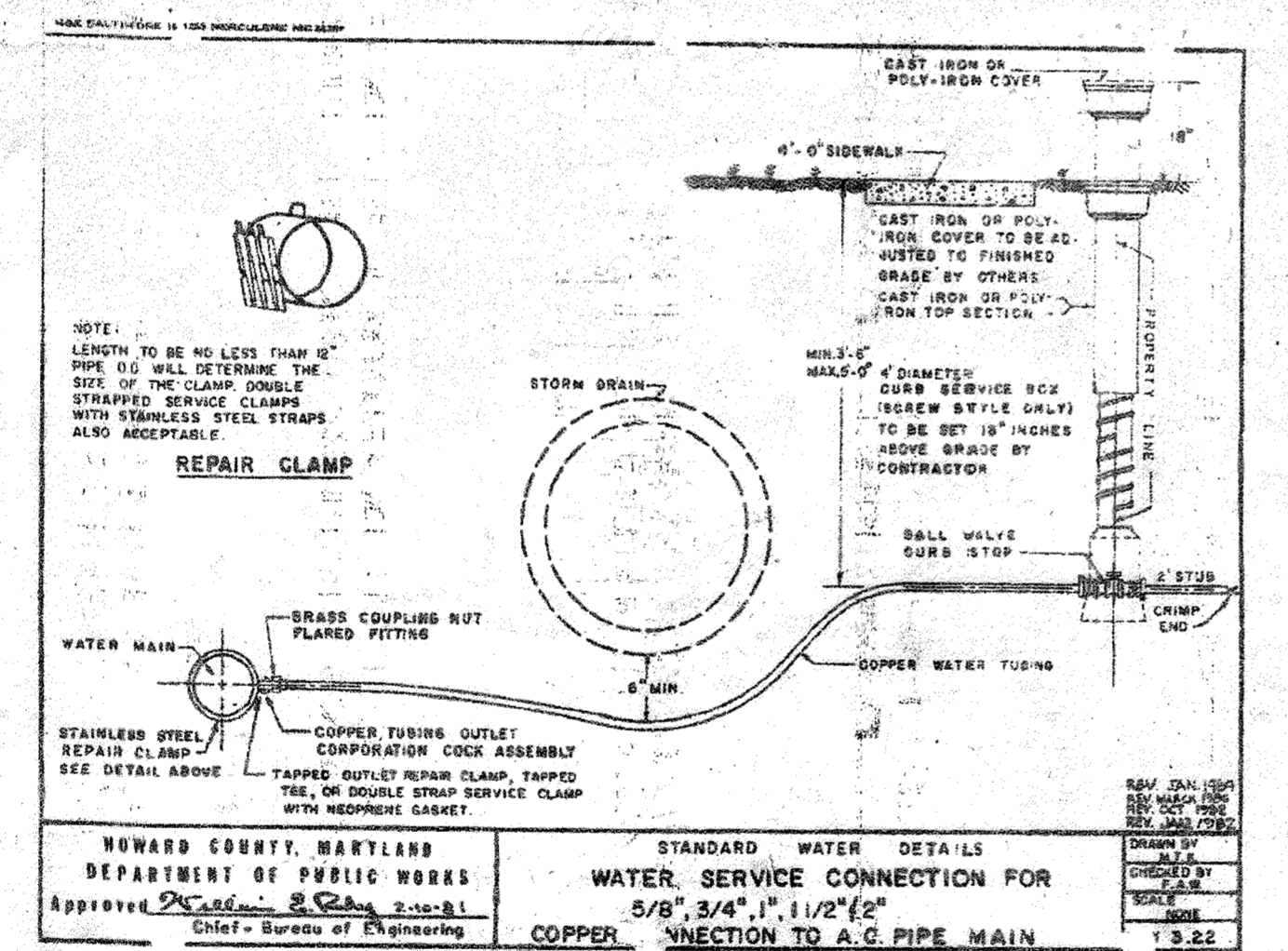
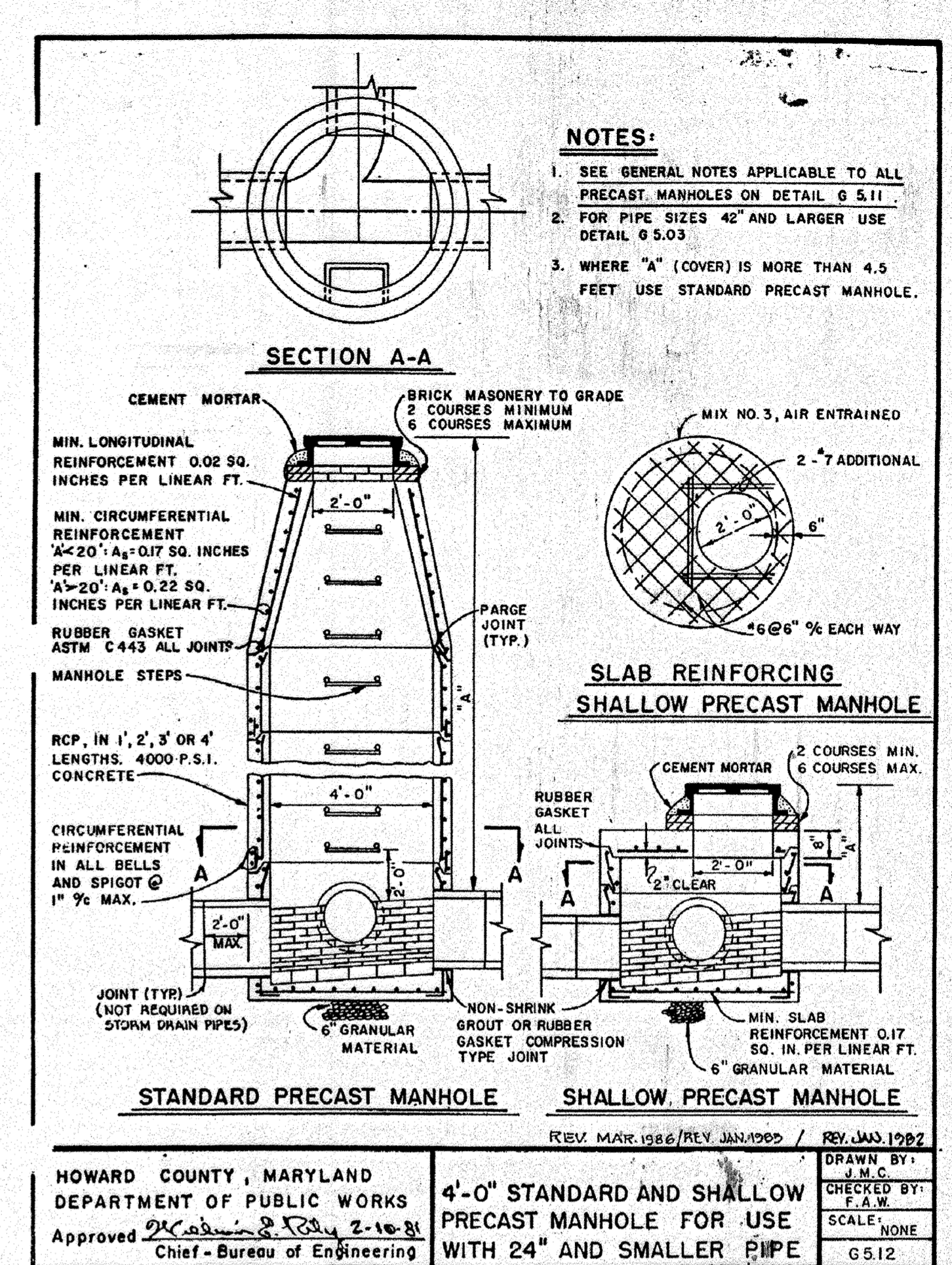
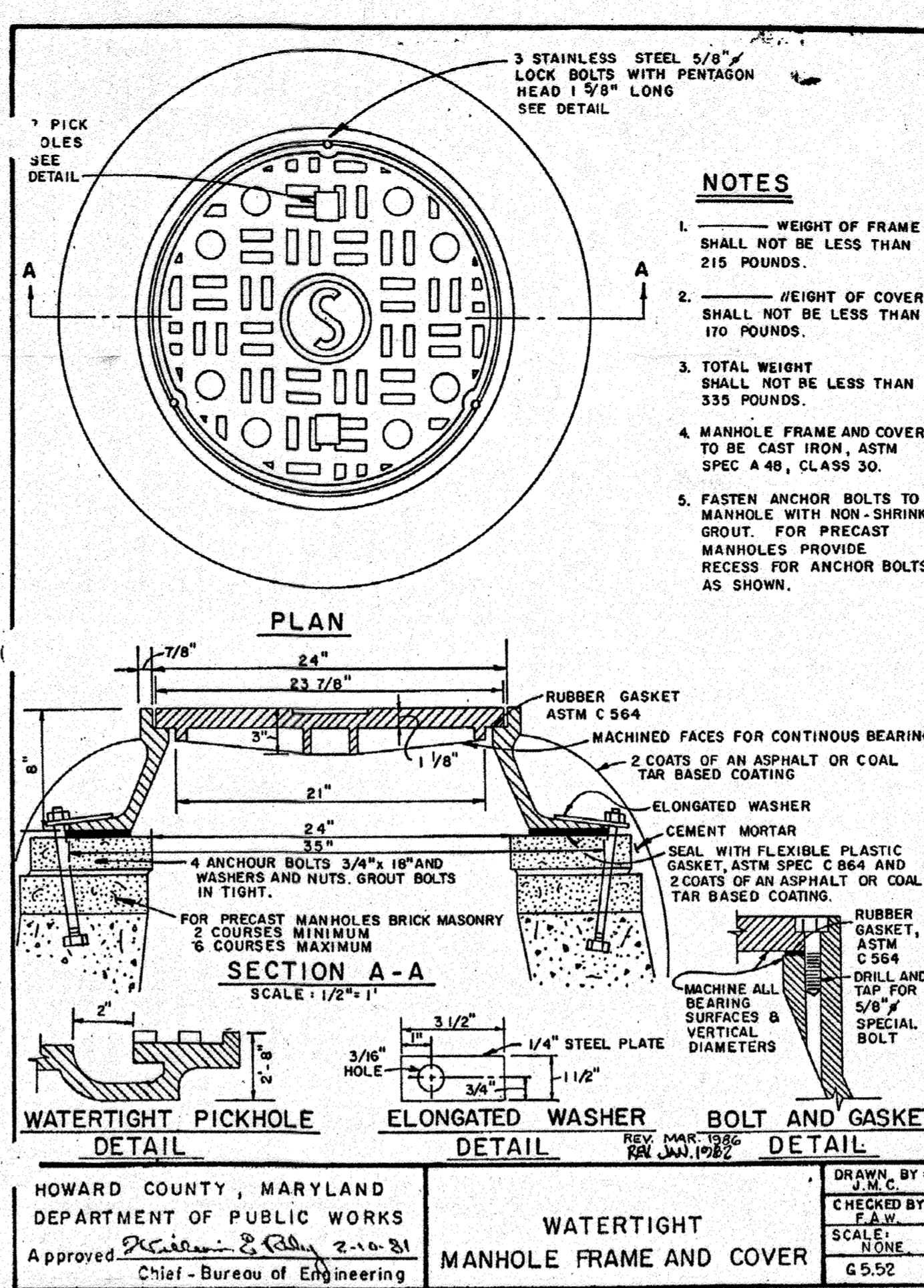
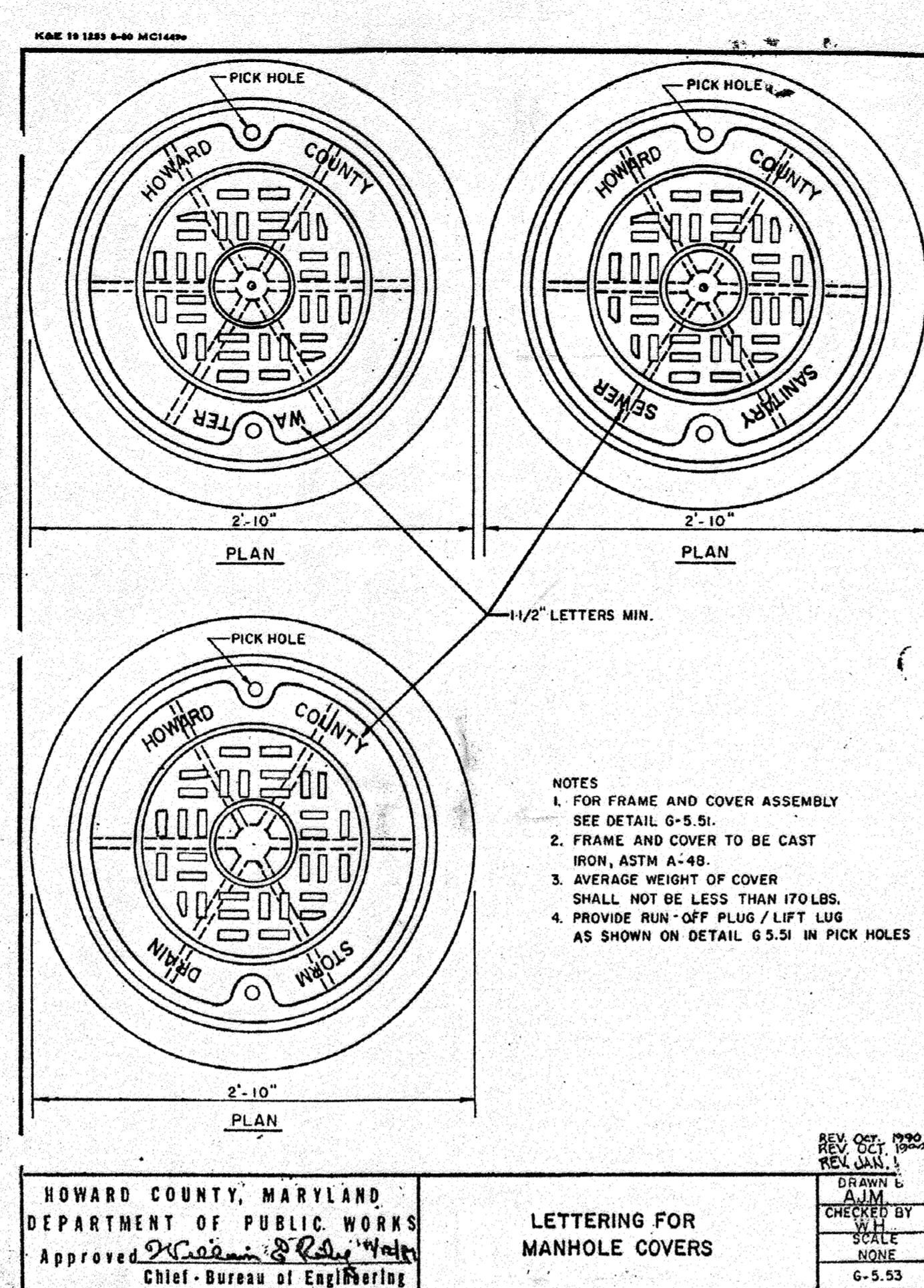
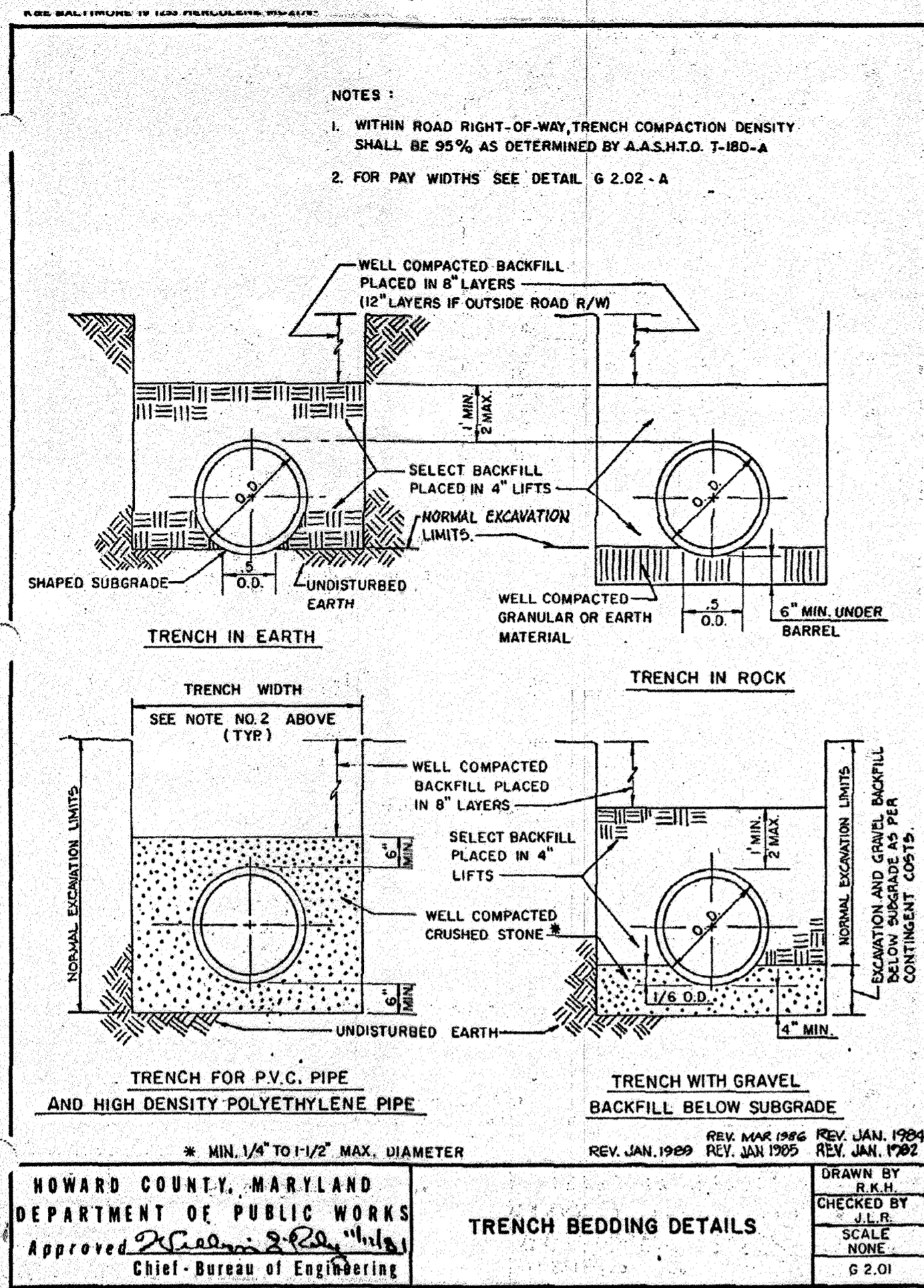
AREA 3.59 AC. TAX MAP 41 GRID 22 ZONED B-2
PARCEL 425 L. 3095, F. 39 & L. 7004, F. 653
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

BOHLER ENGINEERING, P.C.

PROFESSIONAL ENGINEERING SERVICES
510 GLENDALES COURT, SUITE 300, TOWSON, MD 21286
(410) 281-7900 FAX (410) 281-7997

REVISION: 12/15/06
DESIGNED BY: JD
DRAWN BY: RLB
PROJECT NO.: M0056502.1
DATE: 9/28/06
SCALE: AS SHOWN
DRAWING NO. 25 OF 30

GENERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENT'S RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY BOHLER ENGINEERING, P.C. IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY BOHLER ENGINEERING, P.C. SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.



STATE OF MARYLAND PROFESSIONAL ENGINEER

FOR REVISION 9 ONLY

FOR REVISION 2 ONLY

AS-BUILT

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF-DEVELOPMENT ENGINEERING DIVISION

CHIEF-DIVISION & LAND DEVELOPMENT

DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.

COUNTY HEALTH OFFICER

CHECK-FIL-A RESTAURANT & MEDICAL BUILDING PART OF LOT 1, HOPKINS STATION (FORMER PRICE FARMS, LOT1) JOHNS HOPKINS ROAD LAUREL, HOWARD COUNTY, MARYLAND

AREA 3.59 AC. TAX MAP 41 GRID 22 ZONED B-2, PARCEL 425 L. 3,095, F. 39 & L. 7004, F. 653 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

SITE DETAILS

BOHLER ENGINEERING, P.C.

Professional Engineering Services
 810 GLENHAVEN COURT, SUITE 300, TOWSON, MD 21286
 (410) 81-7867 FAX (410) 81-7861

REVISIONS:

| NO. | DATE | REVISION DESCRIPTION |
|-----|---------|---|
| 1 | 2/1/84 | UPDATED OWNER |
| 2 | 4/1/15 | REVISE TITLE |
| 3 | 2/21/05 | IRRIGATION LINE & DEEP SERVICE YARD REVISIONS |

OWNER: WYN FULTON CENTER, LLC, 12526 WESTLAND CT, FULTON, MD 20759

DEVELOPER: CHECK-FIL-A, 5200 BUFFINGTON ROAD, ATLANTA, GA 30349-2998, C/O SCOTT PATMAN, PHONE: (404) 684-8660

DESIGNED BY: JD
 DRAWN BY: RLB
 PROJECT NO.: MD056502.1
 DATE: 9/28/06
 SCALE: AS SHOWN
 DRAWING NO. 26 OF 30

BEFORE YOU DIG CALL 1-800-297-7777 PROTECT YOURSELF. ONE TWO WORKING DAYS NOTICE.

THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERETO APPLICABLE.

THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

MATTHEW T. ALLEN
 PROFESSIONAL ENGINEER NO. 28567

REVISION: 12/15/06
 DESIGNED BY: JD
 DRAWN BY: RLB
 PROJECT NO.: MD056502.1
 DATE: 9/28/06
 SCALE: AS SHOWN
 DRAWING NO. 26 OF 30

GENERAL NOTE:
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY BOHLER ENGINEERING, P.C. IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY BOHLER ENGINEERING, P.C. SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

| RECORD OF SUBSURFACE EXPLORATION | | | | | | | | | | | |
|---|--|---|--|--|--|---|--|---|--|--|--|
| BORING NO. & LOCATION: 1 - Northwest Building Corner | | PROJECT: Proposed Chick-B-A Restaurant | | GILES ENGINEERING ASSOCIATES, INC. Methuen, Los Angeles Madison Dallas Atlanta Washington, D.C. | | BORING NO. & LOCATION: 2 - Southwest Building Corner | | PROJECT: Proposed Chick-B-A Restaurant | | GILES ENGINEERING ASSOCIATES, INC. Methuen, Los Angeles Madison Dallas Atlanta Washington, D.C. | |
| SURFACE ELEVATION: 428.0 | | PROJECT LOCATION: 10985 Johns Hopkins Road | | GILES PROJECT NUMBER: 30-000004 | | SURFACE ELEVATION: 419.0 | | PROJECT LOCATION: 10985 Johns Hopkins Road | | GILES PROJECT NUMBER: 30-000004 | |
| COMPLETION DATE: 8/10/09 | | COLUMBIA, MARYLAND | | FIELD REPRESENTATIVE: Mike Kocera | | COMPLETION DATE: 8/10/09 | | COLUMBIA, MARYLAND | | FIELD REPRESENTATIVE: Mike Kocera | |
| MATERIAL DESCRIPTION | | | | | | | | | | | |
| 1 1/2" Red-Brown Silty fine Sand, trace Organic Matter (fine roots) (Topsoil) - Moist Orange-Red to Red Micaceous Silty fine Sand - Moist - Rock Fragments from 4 feet to 6 feet - Rock Fragments from 8 feet to 10 feet Boring terminated at 16 feet | | | | | | | | | | | |
| WATER OBSERVATION DATA | | | | | | | | | | | |
| WATER ENCOUNTERED DURING DRILLING: None WATER LEVEL AFTER REMOVAL: None CAVE DEPTH AFTER REMOVAL: 10.0 ft WATER LEVEL AFTER REMOVAL: None CAVE DEPTH AFTER REMOVAL: None | | | | | | | | | | | |

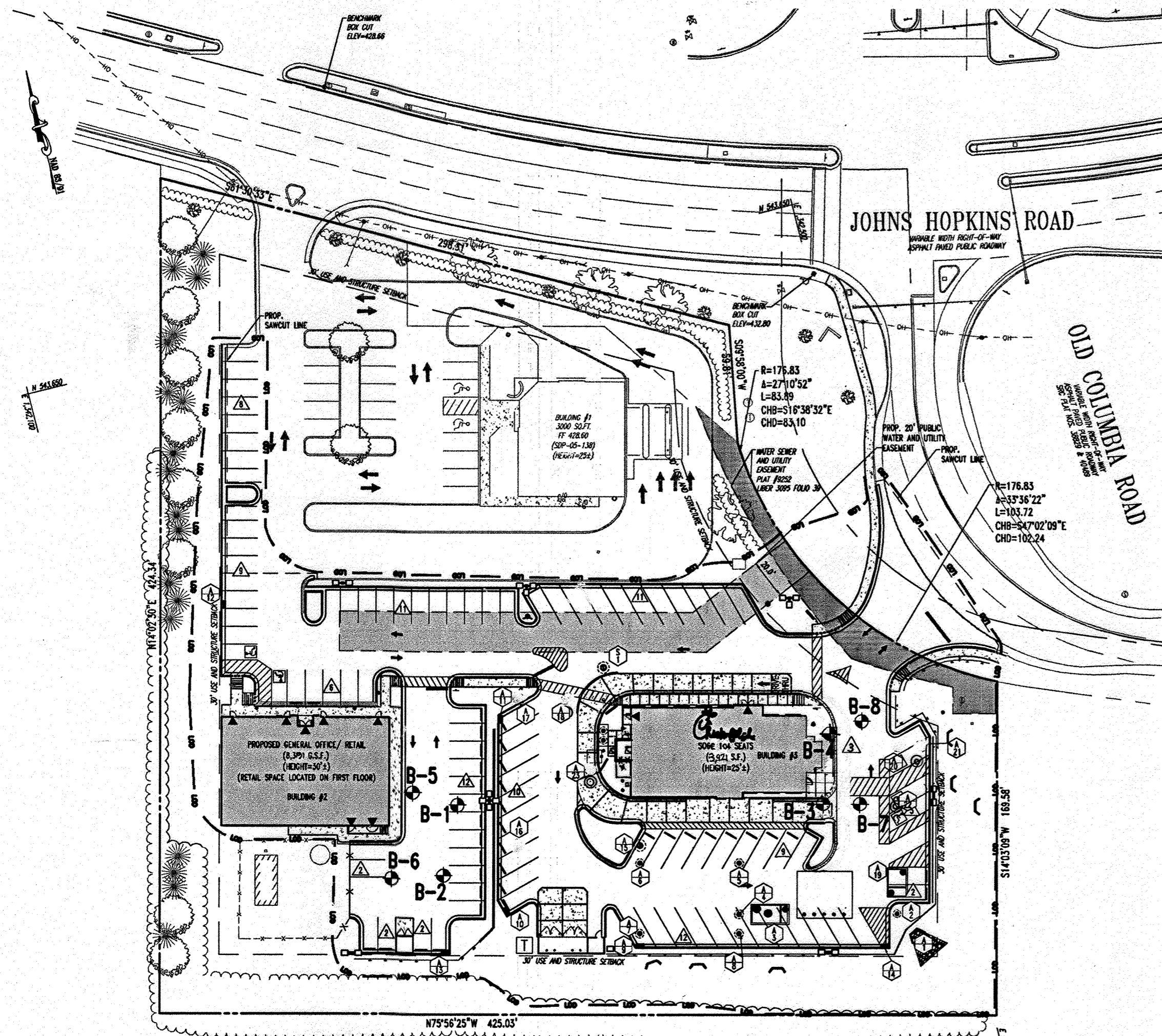
| RECORD OF SUBSURFACE EXPLORATION | | | | | | | | | | | |
|--|--|---|--|--|--|---|--|---|--|--|--|
| BORING NO. & LOCATION: 3 - Southwest Building Corner | | PROJECT: Proposed Chick-B-A Restaurant | | GILES ENGINEERING ASSOCIATES, INC. Methuen, Los Angeles Madison Dallas Atlanta Washington, D.C. | | BORING NO. & LOCATION: 4 - Northwest Building Corner | | PROJECT: Proposed Chick-B-A Restaurant | | GILES ENGINEERING ASSOCIATES, INC. Methuen, Los Angeles Madison Dallas Atlanta Washington, D.C. | |
| SURFACE ELEVATION: 419.0 | | PROJECT LOCATION: 10985 Johns Hopkins Road | | GILES PROJECT NUMBER: 30-000004 | | SURFACE ELEVATION: 419.0 | | PROJECT LOCATION: 10985 Johns Hopkins Road | | GILES PROJECT NUMBER: 30-000004 | |
| COMPLETION DATE: 8/10/09 | | COLUMBIA, MARYLAND | | FIELD REPRESENTATIVE: Mike Kocera | | COMPLETION DATE: 8/10/09 | | COLUMBIA, MARYLAND | | FIELD REPRESENTATIVE: Mike Kocera | |
| MATERIAL DESCRIPTION | | | | | | | | | | | |
| 1 1/2" Red-Brown Silty fine Sand, trace Organic Matter (fine roots) (Topsoil) - Moist Orange-Red to Red Micaceous Silty fine to medium Sand - Moist - Rock Fragments from 6 feet to 11 feet Light Brown, Red Micaceous Silty fine to medium Sand (Possible Weathered Shale) - Moist Boring terminated at 16 feet | | | | | | | | | | | |
| WATER OBSERVATION DATA | | | | | | | | | | | |
| WATER ENCOUNTERED DURING DRILLING: None WATER LEVEL AFTER REMOVAL: None CAVE DEPTH AFTER REMOVAL: 10.0 ft WATER LEVEL AFTER REMOVAL: None CAVE DEPTH AFTER REMOVAL: None | | | | | | | | | | | |

| RECORD OF SUBSURFACE EXPLORATION | | | | | | | | | | | |
|--|--|---|--|--|--|---|--|---|--|--|--|
| BORING NO. & LOCATION: 5 - Southwest Building Corner | | PROJECT: Proposed Chick-B-A Restaurant | | GILES ENGINEERING ASSOCIATES, INC. Methuen, Los Angeles Madison Dallas Atlanta Washington, D.C. | | BORING NO. & LOCATION: 6 - Northwest Building Corner | | PROJECT: Proposed Chick-B-A Restaurant | | GILES ENGINEERING ASSOCIATES, INC. Methuen, Los Angeles Madison Dallas Atlanta Washington, D.C. | |
| SURFACE ELEVATION: 419.0 | | PROJECT LOCATION: 10985 Johns Hopkins Road | | GILES PROJECT NUMBER: 30-000004 | | SURFACE ELEVATION: 419.0 | | PROJECT LOCATION: 10985 Johns Hopkins Road | | GILES PROJECT NUMBER: 30-000004 | |
| COMPLETION DATE: 8/10/09 | | COLUMBIA, MARYLAND | | FIELD REPRESENTATIVE: Mike Kocera | | COMPLETION DATE: 8/10/09 | | COLUMBIA, MARYLAND | | FIELD REPRESENTATIVE: Mike Kocera | |
| MATERIAL DESCRIPTION | | | | | | | | | | | |
| 1 1/2" Red-Brown Silty fine Sand, trace Organic Matter (fine roots) (Topsoil) - Moist Orange-Red to Red Silty fine to medium Sand - Moist - Rock Fragments from 6 feet to 11 feet Light Brown, Red Micaceous Silty fine to medium Sand (Possible Weathered Shale) - Moist Boring terminated at 16 feet | | | | | | | | | | | |
| WATER OBSERVATION DATA | | | | | | | | | | | |
| WATER ENCOUNTERED DURING DRILLING: None WATER LEVEL AFTER REMOVAL: None CAVE DEPTH AFTER REMOVAL: 10.0 ft WATER LEVEL AFTER REMOVAL: None CAVE DEPTH AFTER REMOVAL: None | | | | | | | | | | | |

| RECORD OF SUBSURFACE EXPLORATION | | | | | | | | | | | |
|---|--|---|--|--|--|---|--|---|--|--|--|
| BORING NO. & LOCATION: 7 - Southwest Building Corner | | PROJECT: Proposed Chick-B-A Restaurant | | GILES ENGINEERING ASSOCIATES, INC. Methuen, Los Angeles Madison Dallas Atlanta Washington, D.C. | | BORING NO. & LOCATION: 8 - Northwest Building Corner | | PROJECT: Proposed Chick-B-A Restaurant | | GILES ENGINEERING ASSOCIATES, INC. Methuen, Los Angeles Madison Dallas Atlanta Washington, D.C. | |
| SURFACE ELEVATION: 428.0 | | PROJECT LOCATION: 10985 Johns Hopkins Road | | GILES PROJECT NUMBER: 30-000004 | | SURFACE ELEVATION: 428.0 | | PROJECT LOCATION: 10985 Johns Hopkins Road | | GILES PROJECT NUMBER: 30-000004 | |
| COMPLETION DATE: 8/10/09 | | COLUMBIA, MARYLAND | | FIELD REPRESENTATIVE: Mike Kocera | | COMPLETION DATE: 8/10/09 | | COLUMBIA, MARYLAND | | FIELD REPRESENTATIVE: Mike Kocera | |
| MATERIAL DESCRIPTION | | | | | | | | | | | |
| 1 1/2" Red-Brown Silty fine Sand, trace Organic Matter (fine roots) (Topsoil) - Moist Orange-Red to Red Micaceous Silty fine to medium Sand - Moist - Rock Fragments from 2 feet to 4 feet Boring terminated at 6 feet | | | | | | | | | | | |
| WATER OBSERVATION DATA | | | | | | | | | | | |
| WATER ENCOUNTERED DURING DRILLING: None WATER LEVEL AFTER REMOVAL: None CAVE DEPTH AFTER REMOVAL: 4.0 ft WATER LEVEL AFTER REMOVAL: None CAVE DEPTH AFTER REMOVAL: None | | | | | | | | | | | |

| RECORD OF SUBSURFACE EXPLORATION | | | | | | | | | | | |
|---|--|---|--|--|--|--|--|---|--|--|--|
| BORING NO. & LOCATION: 9 - Southwest Building Corner | | PROJECT: Proposed Chick-B-A Restaurant | | GILES ENGINEERING ASSOCIATES, INC. Methuen, Los Angeles Madison Dallas Atlanta Washington, D.C. | | BORING NO. & LOCATION: 10 - Northwest Building Corner | | PROJECT: Proposed Chick-B-A Restaurant | | GILES ENGINEERING ASSOCIATES, INC. Methuen, Los Angeles Madison Dallas Atlanta Washington, D.C. | |
| SURFACE ELEVATION: 428.0 | | PROJECT LOCATION: 10985 Johns Hopkins Road | | GILES PROJECT NUMBER: 30-000004 | | SURFACE ELEVATION: 428.0 | | PROJECT LOCATION: 10985 Johns Hopkins Road | | GILES PROJECT NUMBER: 30-000004 | |
| COMPLETION DATE: 8/10/09 | | COLUMBIA, MARYLAND | | FIELD REPRESENTATIVE: Mike Kocera | | COMPLETION DATE: 8/10/09 | | COLUMBIA, MARYLAND | | FIELD REPRESENTATIVE: Mike Kocera | |
| MATERIAL DESCRIPTION | | | | | | | | | | | |
| 1 1/2" Red-Brown Silty fine Sand, trace Organic Matter (fine roots) (Topsoil) - Moist Orange-Red to Red Micaceous Silty fine to medium Sand - Moist - Rock Fragments from 2 feet to 4 feet Boring terminated at 6 feet | | | | | | | | | | | |
| WATER OBSERVATION DATA | | | | | | | | | | | |
| WATER ENCOUNTERED DURING DRILLING: None WATER LEVEL AFTER REMOVAL: None CAVE DEPTH AFTER REMOVAL: 4.0 ft WATER LEVEL AFTER REMOVAL: None CAVE DEPTH AFTER REMOVAL: None | | | | | | | | | | | |

| RECORD OF SUBSURFACE EXPLORATION | | | | | | | | | | | |
|---|--|---|--|--|--|--|--|---|--|--|--|
| BORING NO. & LOCATION: 11 - Southwest Building Corner | | PROJECT: Proposed Chick-B-A Restaurant | | GILES ENGINEERING ASSOCIATES, INC. Methuen, Los Angeles Madison Dallas Atlanta Washington, D.C. | | BORING NO. & LOCATION: 12 - Northwest Building Corner | | PROJECT: Proposed Chick-B-A Restaurant | | GILES ENGINEERING ASSOCIATES, INC. Methuen, Los Angeles Madison Dallas Atlanta Washington, D.C. | |
| SURFACE ELEVATION: 428.0 | | PROJECT LOCATION: 10985 Johns Hopkins Road | | GILES PROJECT NUMBER: 30-000004 | | SURFACE ELEVATION: 428.0 | | PROJECT LOCATION: 10985 Johns Hopkins Road | | GILES PROJECT NUMBER: 30-000004 | |
| COMPLETION DATE: 8/10/09 | | COLUMBIA, MARYLAND | | FIELD REPRESENTATIVE: Mike Kocera | | COMPLETION DATE: 8/10/09 | | COLUMBIA, MARYLAND | | FIELD REPRESENTATIVE: Mike Kocera | |
| MATERIAL DESCRIPTION | | | | | | | | | | | |
| 1 1/2" Red-Brown Silty fine Sand, trace Organic Matter (fine roots) (Topsoil) - Moist Orange-Red to Red Micaceous Silty fine to medium Sand - Moist - Rock Fragments from 2 feet to 4 feet Boring terminated at 6 feet | | | | | | | | | | | |
| WATER OBSERVATION DATA | | | | | | | | | | | |
| WATER ENCOUNTERED DURING DRILLING: None WATER LEVEL AFTER REMOVAL: None CAVE DEPTH AFTER REMOVAL: 4.0 ft WATER LEVEL AFTER REMOVAL: None CAVE DEPTH AFTER REMOVAL: None | | | | | | | | | | | |



PLAN VIEW
SCALE 1"=50'

GENERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY BOHLER ENGINEERING, P.C. IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY BOHLER ENGINEERING, P.C. SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

| RECORD OF SUBSURFACE EXPLORATION | | | | | | | | | | | |
|---|--|---|--|--|--|--|--|---|--|--|--|
| BORING NO. & LOCATION: 13 - Southwest Building Corner | | PROJECT: Proposed Chick-B-A Restaurant | | GILES ENGINEERING ASSOCIATES, INC. Methuen, Los Angeles Madison Dallas Atlanta Washington, D.C. | | BORING NO. & LOCATION: 14 - Northwest Building Corner | | PROJECT: Proposed Chick-B-A Restaurant | | GILES ENGINEERING ASSOCIATES, INC. Methuen, Los Angeles Madison Dallas Atlanta Washington, D.C. | |
| SURFACE ELEVATION: 428.0 | | PROJECT LOCATION: 10985 Johns Hopkins Road | | GILES PROJECT NUMBER: 30-000004 | | SURFACE ELEVATION: 428.0 | | PROJECT LOCATION: 10985 Johns Hopkins Road | | GILES PROJECT NUMBER: 30-000004 | |
| COMPLETION DATE: 8/10/09 | | COLUMBIA, MARYLAND | | FIELD REPRESENTATIVE: Mike Kocera | | COMPLETION DATE: 8/10/09 | | COLUMBIA, MARYLAND | | FIELD REPRESENTATIVE: Mike Kocera | |
| MATERIAL DESCRIPTION | | | | | | | | | | | |
| 1 1/2" Red-Brown Silty fine Sand, trace Organic Matter (fine roots) (Topsoil) - Moist Orange-Red to Red Micaceous Silty fine to medium Sand - Moist - Rock Fragments from 2 feet to 4 feet Boring terminated at 6 feet | | | | | | | | | | | |
| WATER OBSERVATION DATA | | | | | | | | | | | |
| WATER ENCOUNTERED DURING DRILLING: None WATER LEVEL AFTER REMOVAL: None CAVE DEPTH AFTER REMOVAL: 4.0 ft WATER LEVEL AFTER REMOVAL: None CAVE DEPTH AFTER REMOVAL: None | | | | | | | | | | | |

| RECORD OF SUBSURFACE EXPLORATION | | | | | | | | | | | |
|---|--|---|--|--|--|--|--|---|--|--|--|
| BORING NO. & LOCATION: 15 - Southwest Building Corner | | PROJECT: Proposed Chick-B-A Restaurant | | GILES ENGINEERING ASSOCIATES, INC. Methuen, Los Angeles Madison Dallas Atlanta Washington, D.C. | | BORING NO. & LOCATION: 16 - Northwest Building Corner | | PROJECT: Proposed Chick-B-A Restaurant | | GILES ENGINEERING ASSOCIATES, INC. Methuen, Los Angeles Madison Dallas Atlanta Washington, D.C. | |
| SURFACE ELEVATION: 428.0 | | PROJECT LOCATION: 10985 Johns Hopkins Road | | GILES PROJECT NUMBER: 30-000004 | | SURFACE ELEVATION: 428.0 | | PROJECT LOCATION: 10985 Johns Hopkins Road | | GILES PROJECT NUMBER: 30-000004 | |
| COMPLETION DATE: 8/10/09 | | COLUMBIA, MARYLAND | | FIELD REPRESENTATIVE: Mike Kocera | | COMPLETION DATE: 8/10/09 | | COLUMBIA, MARYLAND | | FIELD REPRESENTATIVE: Mike Kocera | |
| MATERIAL DESCRIPTION | | | | | | | | | | | |
| 1 1/2" Red-Brown Silty fine Sand, trace Organic Matter (fine roots) (Topsoil) - Moist Orange-Red to Red Micaceous Silty fine to medium Sand - Moist - Rock Fragments from 2 feet to 4 feet Boring terminated at 6 feet | | | | | | | | | | | |
| WATER OBSERVATION DATA | | | | | | | | | | | |
| WATER ENCOUNTERED DURING DRILLING: None WATER LEVEL AFTER REMOVAL: None CAVE DEPTH AFTER REMOVAL: 4.0 ft WATER LEVEL AFTER REMOVAL: None CAVE DEPTH AFTER REMOVAL: None | | | | | | | | | | | |

FOR REVISION 2 ONLY
FOR REVISION 1 ONLY
FOR REVISION 3 ONLY
FOR REVISION 3 ONLY

STATE OF MARYLAND PROFESSIONAL ENGINEER

FOR REVISION 2 ONLY

FOR REVISION 1 ONLY

AS-BUILT

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF-DEVELOPMENT ENGINEERING DIVISION

CHIEF-DIVISION & LAND DEVELOPMENT

DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.

COUNTY HEALTH OFFICER

OWNER: NN FILTON CENTER, LLC

DEVELOPER: CHICK-FIL-A

CHICK-FIL-A RESTAURANT & MEDICAL BUILDING

PART OF LOT 1, HOPKINS STATION (FORMER PRICE FARMS, LOT1)

LAUREL, HOWARD COUNTY, MARYLAND

SOIL BORING PLAN

BOHLER ENGINEERING, P.C.

PROFESSIONAL ENGINEERING SERVICES

REVISIONS:

REVISION 1: 12/15/06

DESIGNED BY: JD

DRAWN BY: RLB

PROJECT NO.: MD056502.1

DATE: 9/28/06

SCALE: AS SHOWN

DRAWING NO. 27 OF 30

AS-BUILT CERTIFICATION

THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.

MICHAEL D. ANDRICK, PROFESSIONAL LAND SURVEYOR
MD REG. NO. 21257, EXPIRATION DATE: 06-16-19

5/19/2013

STATE OF MARYLAND PROFESSIONAL LAND SURVEYOR

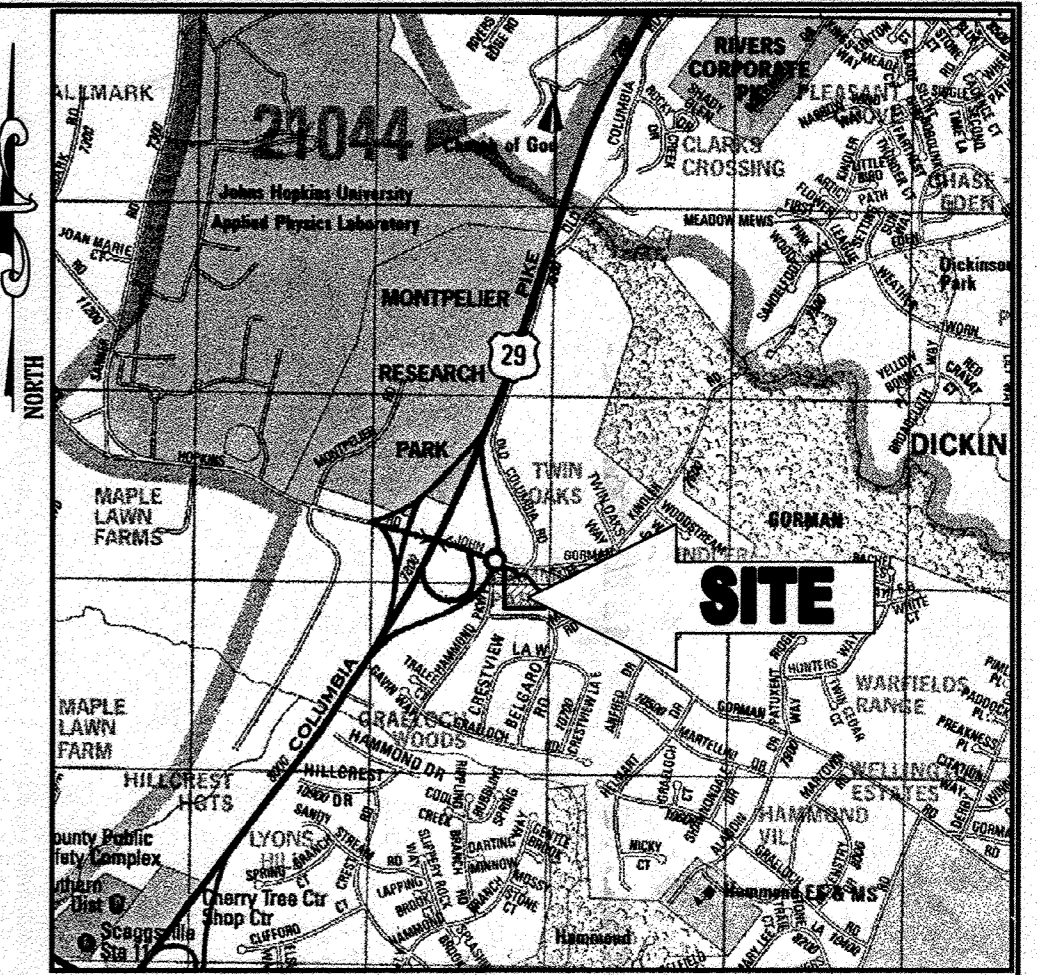
MISS UTILITY

BEFORE YOU DIG CALL 1-800-377-7777

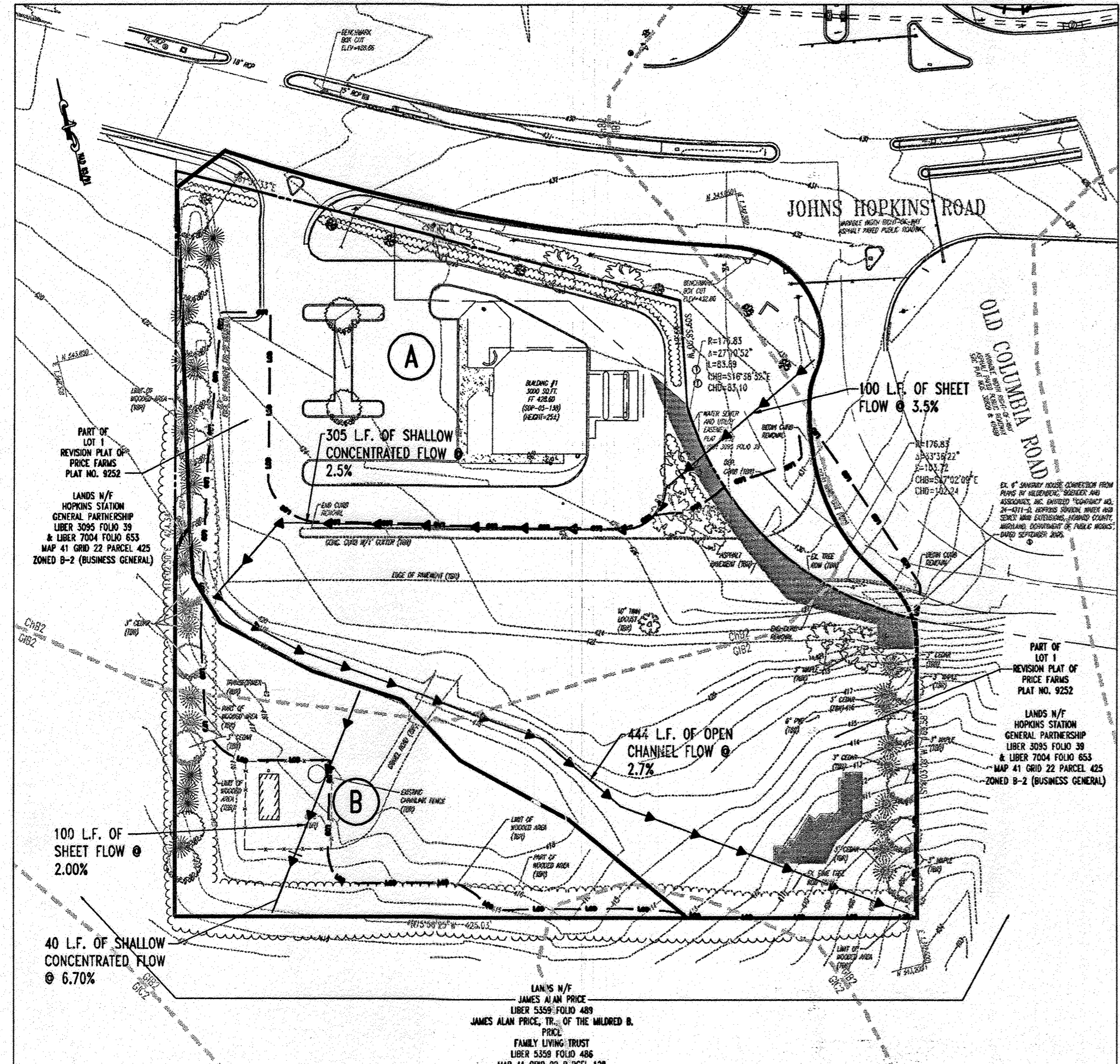
PROTECT YOURSELF, GIVE TWO WORKING DAYS NOTICE

THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERE TO APPROPRIATE.

THE CONTRACTOR TO CALL MISS UTILITY TO HAVE ALL EXISTING UTILITIES MARKED 48 HOURS PRIOR TO ANY CONSTRUCTION.

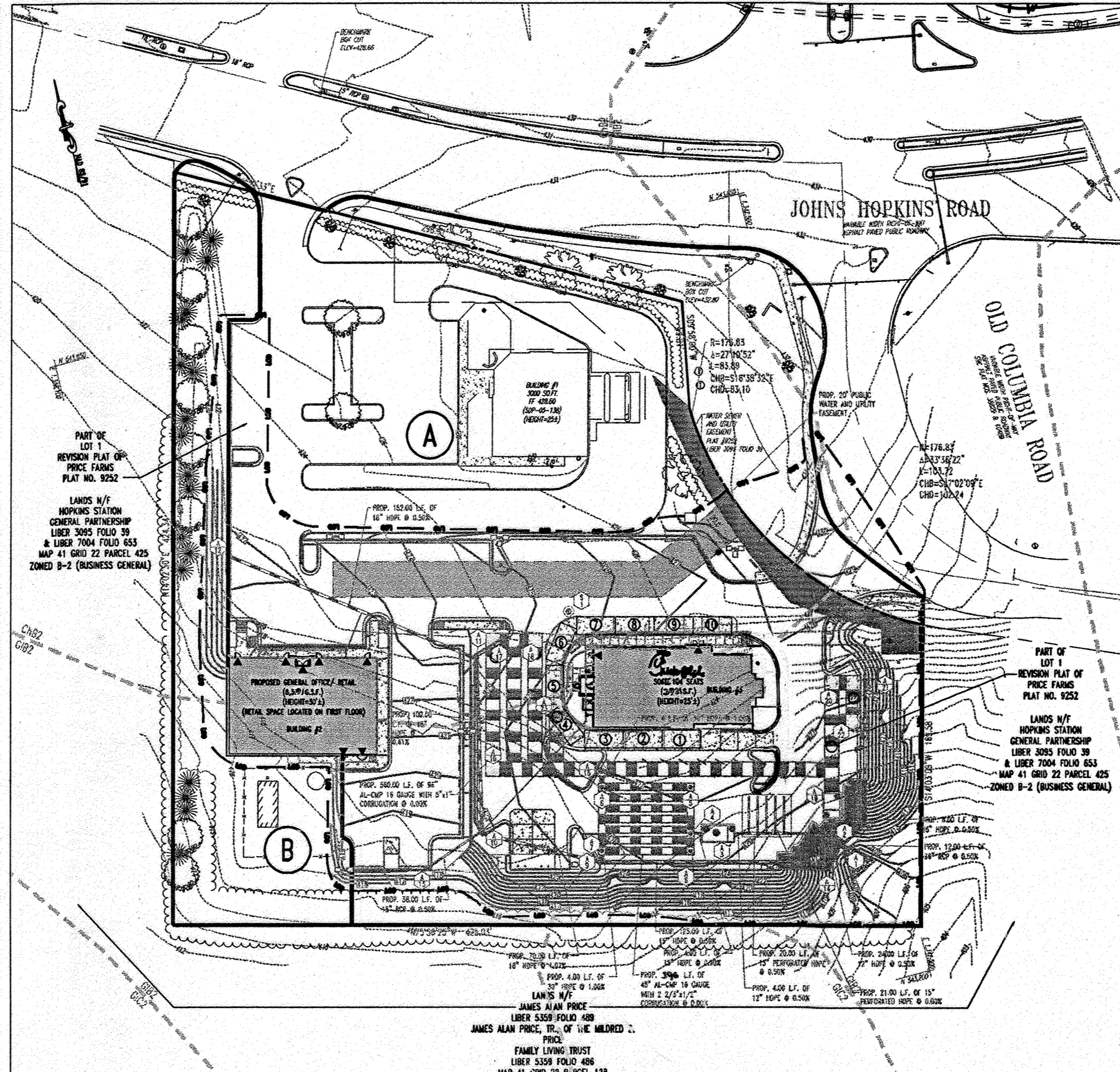


LOCATION MAP
 COPYRIGHT ADC THE MAP PEOPLE
 PERMIT USE NO. 20602153-5
 SCALE: 1"=2000'



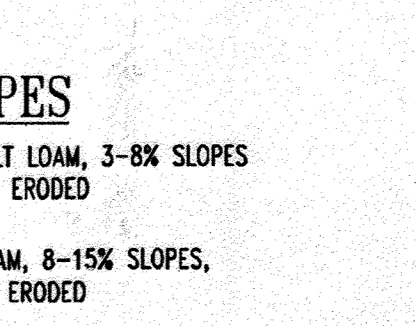
EXISTING STORM WATER MANAGEMENT DRAINAGE AREA
 SCALE: 1"=60'

- (A)** IMPERVIOUS AREA = 39,325 S.F. OR .90 AC.
 PERVIOUS AREA = 88,862 S.F. OF 2.04 AC.
 TOTAL AREA = 128,187 S.F. OR 2.94 AC.
 WEIGHTED CURVE NUMBER = 72
 TC PATH = 0.42 HOURS
- (B)** IMPERVIOUS AREA = 625 S.F. OR 0.01 AC.
 PERVIOUS AREA = 27,878 S.F. OF 0.64 AC.
 TOTAL AREA = 28,503 S.F. OR 0.65 AC.
 WEIGHTED CURVE NUMBER = 62
 TC PATH = 0.24 HOURS



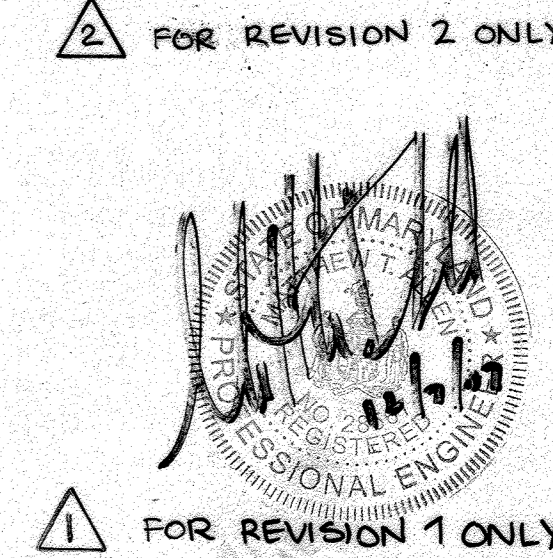
PROPOSED STORM WATER MANAGEMENT DRAINAGE AREA
 SCALE: 1"=60'

- (A)** IMPERVIOUS AREA = 105,990 S.F. OR 2.438 AC.
 PERVIOUS AREA = 28,194 S.F. OF 0.647 AC.
 TOTAL AREA = 134,185 S.F. OR 3.08 AC.
 WEIGHTED CURVE NUMBER = 86
 TC PATH = 0.10 HOURS (MIN.)
- (B)** IMPERVIOUS AREA = 436 S.F. OR 0.01 AC.
 PERVIOUS AREA = 21,780 S.F. OF 0.50 AC.
 TOTAL AREA = 22,216 S.F. OR 0.51 AC.
 WEIGHTED CURVE NUMBER = 62
 TC PATH = 0.10 HOURS (MIN.)



SOIL TYPES
 ChB2 CHESTER SILT LOAM, 3-8% SLOPES
 MODERATELY ERODED
 GIC2 GLENELG LOAM, 8-15% SLOPES,
 MODERATELY ERODED

LEGEND
 --- SOILS DELINEATION
 EKA SOILS TYPE
 --- DRAINAGE DIVIDES
 TC PATH
 (B) DRAINAGE AREA LABEL



REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS
 John K. Howard 7/17/07
 USNR - NATURAL RESOURCES CONSERVATION SERVICE DATE
 THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 John K. Howard 7/17/07
 HOWARD SCD DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief-Development Engineering Division 7/19/07
 Chief-Division & Land Development 7/19/07
 Director 7/19/07

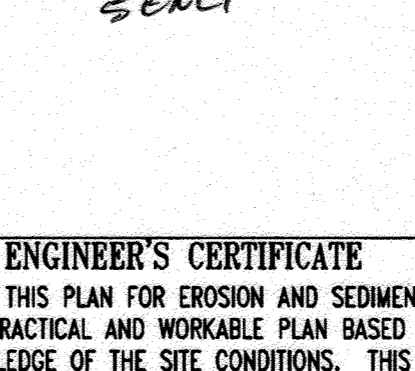
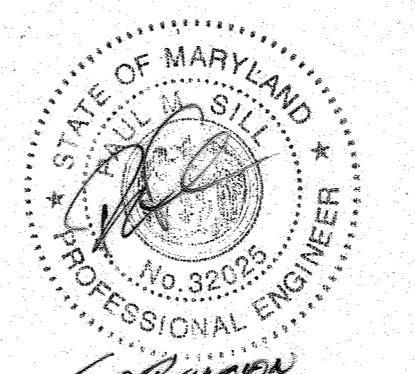
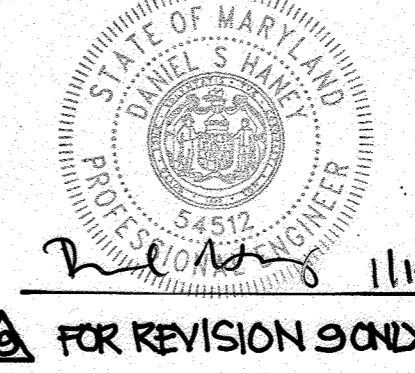
APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS.
 Howard County Health Department 8/2/07
 Howard County Health Department 8/2/07

| NO. | DATE | REVISION DESCRIPTION |
|-----|----------|---|
| 1 | 12/28/07 | REVISION 1 ONLY |
| 2 | 4/16/08 | REVISION 2 ONLY |
| 3 | 4/16/08 | SIZE & AREA REVISED PER CFA BUILDING |
| 4 | 2/21/08 | IRIGATION LINE & CFA SERVICE YARD REVISIONS |
| 5 | 12/28/07 | REVISION 5 ONLY |

OWNER: NIN FULTON CENTER, LLC
 12526 WESTLAND CT
 FULTON, MD 20750
DEVELOPER: CHICK-FIL-A
 5200 BUFFINGTON ROAD
 ATLANTA, GA 30349-2998
 C/O SCOTT PATMAN
 PHONE: (404) 684-8660

SWM DRAINAGE AREA MAP

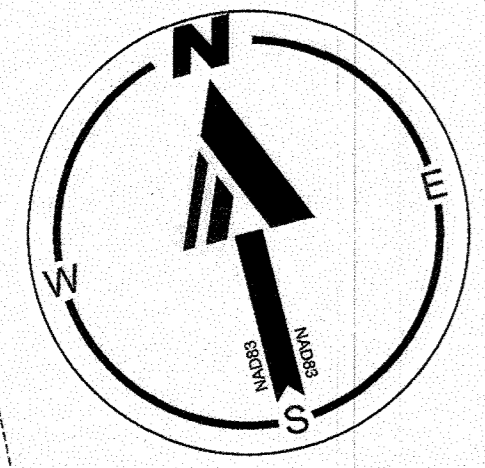
BOHLER ENGINEERING, P.C.
 Professional Engineering Services
 8110 GLENACRES COURT, SUITE 300, TOWSON, MD 21286
 (410) 82-7200 FAX (410) 82-7201
 REVISION: 12/15/06
 DESIGNED BY: JLD
 DRAWN BY: JLD
 PROJECT NO.: MD056502.1
 DATE: 9/28/06
 SCALE: AS SHOWN
 DRAWING NO. 2B OF 30



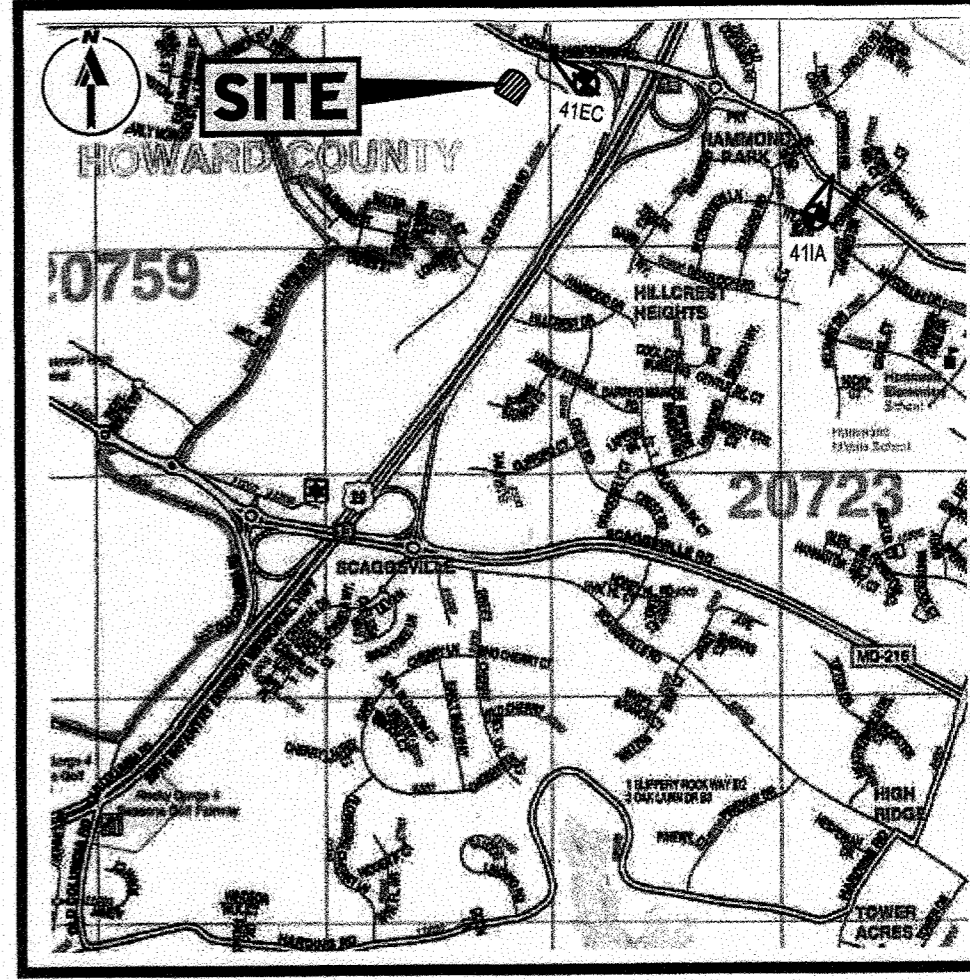
ENGINEER'S CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.
 SIGNATURE OF ENGINEER (PRINT NAME BELOW SIGNATURE) DATE 7/6/07
 PRINT NAME
DEVELOPER'S CERTIFICATE
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.
 SIGNATURE OF DEVELOPER (PRINT NAME BELOW SIGNATURE) DATE 07/06/07
 PRINT NAME HUGH F. COLE JR.

AS-BUILT CERTIFICATION
 THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET.
 SIGNATURE OF SURVEYOR DATE 9/15/13
 MICHAEL D. ADCOCK PROFESSIONAL LAND SURVEYOR
 MD, REG. NO. 21257, EXPIRATION DATE: 06-16-15

GENERAL NOTE:
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY BOHLER ENGINEERING, P.C. IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY BOHLER ENGINEERING, P.C. SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.



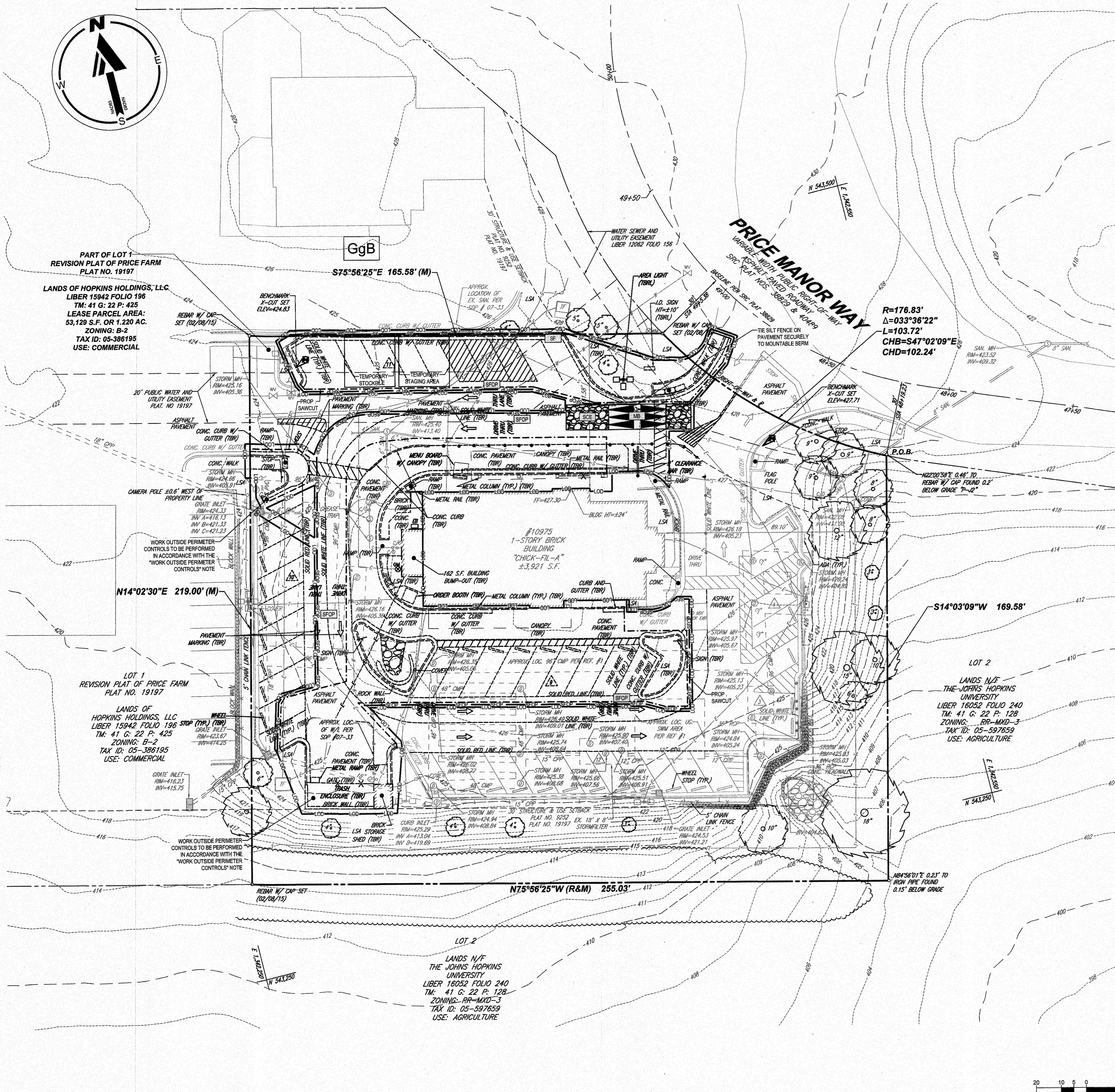
| NO. | REVISION | DATE |
|-----|---|-----------|
| 9 | DRIVE-THRU IMPROVEMENTS, PARKING REVISIONS, AND ADDITION OF TWO CANOPIES TO BUILDING 3 SITE | 9/27/2023 |



LOCATION MAP
SCALE: 1" = 200'
PLAN REFERENCE: ACC MAP 32 C1

PART OF LOT 1
REVISION PLAT OF PRICE FARM
PLAT NO. 19197

LANDS OF HOPKINS HOLDINGS, LLC
LIBER 15942 FOLIO 196
TM: 41 G: 22 P: 425
LEASE PARCEL AREA:
53,129 S.F. OR 1.220 AC.
ZONING: B-2
TAX ID: 05-386195
USE: COMMERCIAL



STORMWATER MANAGEMENT NOTE:
THE STORMWATER MANAGEMENT REQUIREMENTS FOR THE PROJECT WERE DETERMINED BY THE PREVIOUSLY APPROVED STORMWATER MANAGEMENT REPORT PREPARED BY BOHLER, DATED FEBRUARY 2007, ENTITLED: "STORMWATER MANAGEMENT AND STORMDRAIN COMPUTATIONS, CHICK-FIL-A". A STORMFILTER EXISTS ONSITE TO PROVIDE WATER QUALITY WITH 48" CMP DETENTION PIPES UPSTREAM FOR VOLUME STORAGE AND A RECHARGE FACILITY DOWNSTREAM. A 98" UNDERGROUND DETENTION SYSTEM EXISTS TO HANDLE GREATER STORMS. PER THE 2007 STORMWATER MANAGEMENT REPORT, THE STORMFILTER TREATS 2.87 ACRES OF LOT 1, WITH 2.44 ACRES ASSUMED IMPERVIOUS (FOR A COMMERCIAL BUILD OUT OF 85% IMPERVIOUS AREA) AT A DESIGN STORM OF 1".

LIMIT OF DISTURBANCE = 19,643 S.F. OR 0.45 AC.

DEMOLITION / REMOVAL LEGEND

| DEMOLITION/REMOVAL NOTE | TYPICAL NOTE TEXT |
|-------------------------|----------------------------|
| --- | EASEMENT LINE |
| --- | CONCRETE CURB & GUTTER |
| --- | UTILITY POLE WITH LIGHT |
| --- | POLE LIGHT |
| --- | TRAFFIC LIGHT |
| --- | UTILITY POLE |
| --- | TYPICAL LIGHT |
| --- | ACORN LIGHT |
| --- | TYPICAL SIGN |
| --- | PARKING COUNTS |
| --- | SPOT ELEVATIONS |
| --- | SANITARY LABEL |
| --- | STORM LABEL |
| --- | SANITARY SEWER LATERAL |
| --- | UNDERGROUND WATER LINE |
| --- | UNDERGROUND ELECTRIC LINE |
| --- | UNDERGROUND GAS LINE |
| --- | OVERHEAD WIRE |
| --- | UNDERGROUND TELEPHONE LINE |
| --- | UNDERGROUND CABLE LINE |
| --- | STORM SEWER |
| --- | SANITARY SEWER MAIN |
| --- | HYDRANT |
| --- | SANITARY MANHOLE |
| --- | STORM MANHOLE |
| --- | WATER METER |
| --- | WATER VALVE |
| --- | GAS VALVE |
| --- | GAS METER |
| --- | SOILS BOUNDARY |
| Xxx | SOILS TYPE |

GENERAL NOTE
LOD IS SHOWN 2' OFF SAWCUT AND GRADING DAYLIGHT FOR PLAN CLARITY PURPOSES.

LEGEND

| | |
|----------------------------------|-------|
| STABILIZED CONSTRUCTION ENTRANCE | DISCE |
| SILT FENCE | SF |
| SILT FENCE ON PAVEMENT | SFOP |
| MOUNTABLE BERM | MB |

SITE MAPPED SOIL TYPES

| MAP SYMBOL | DESCRIPTION | HYDROLOGIC SOIL GROUP | K FACTOR | HYDRIC | HIGHLY ERODIBLE |
|------------|--------------------------------------|-----------------------|----------|--------|-----------------|
| GgB | GLENELG LOAMS, 3 TO 8 PERCENT SLOPES | B | 0.24 | NO | NO |

NOTE: ALL SOILS ONSITE ARE OF THE TYPE NOTED ABOVE.

DMV 2-24-009 Zero Foot Clearance from Canopy to Utility Easement ISSUED 12-1-23.

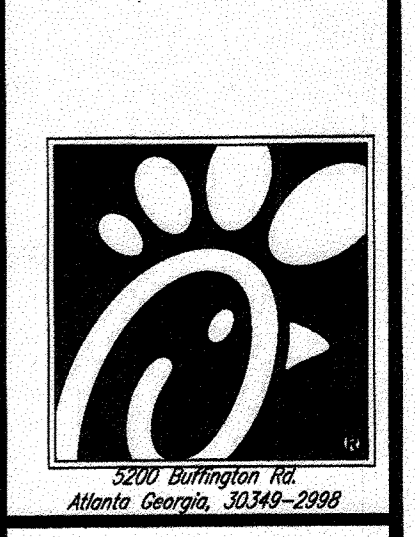
APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief Development Engineering Division
 DATE: 4/11/24
 CHIEF, DIVISION OF LAND DEVELOPMENT
Director
 DATE: 4/23/24

OWNER: NN FULTON CENTER, LLC
12526 WESTLAND CT
FULTON, MD 20759

DEVELOPER: CHICK-FIL-A
5200 BUFFINGTON ROAD,
ATLANTA, GA
CONTACT: DOUG WOLFE
PHONE: 717-817-5939

TAX MAP: 41 GRID:22 PARCEL: 425
ZONED: B-2
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

SUBDIVISION NAME: N/A
SECTION/AREA: N/A
DEED # 13231 / 92283



Know what's Below.
Call before you dig.
ALWAYS CALL 811
It's fast. It's free. It's the law.

REVISIONS:
MARK DATE BY
△ 9/27/23 SBF
DRIVE-THRU IMPROVEMENTS, PARKING REVISIONS, AND ADDITION OF TWO CANOPIES TO BUILDING 3 SITE

MARK DATE BY
△

MARK DATE BY
△

D.S. HANEY
PROFESSIONAL ENGINEER
LICENSE NO. 10010
10010 STATE STREET
LAUREL, MARYLAND 20723
PHONE: 410-821-7800
FAX: 410-821-7807
MD@BohlerEng.com

BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
TRANSPORTATION SERVICES

BOHLER
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21284
Phone: 410-821-7900
Fax: 410-821-7807
MD@BohlerEng.com

PROJECT: CHICK-FIL-A RESTAURANT & MEDICAL BUILDING
PART OF LOT 1, HOPKINS STATION (FORMER PRICE FARMS, LOT 1)
JOHNS HOPKINS ROAD
LAUREL, HOWARD COUNTY, MARYLAND

LOCATION OF SITE:
10975 JOHNS HOPKINS ROAD
LAUREL, MD 20723
TM 41, G22, PARCEL 425
HOWARD COUNTY
5TH ELECTION DISTRICT
ZONE: B-2

SHEET TITLE
EXISTING CONDITIONS AND DEMOLITION PLAN

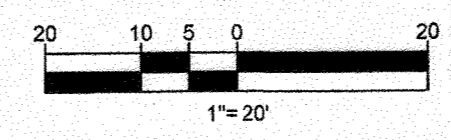
DWG EDITION 02.4

PRELIMINARY
80% SUBMITTAL
FOR CONSTRUCTION

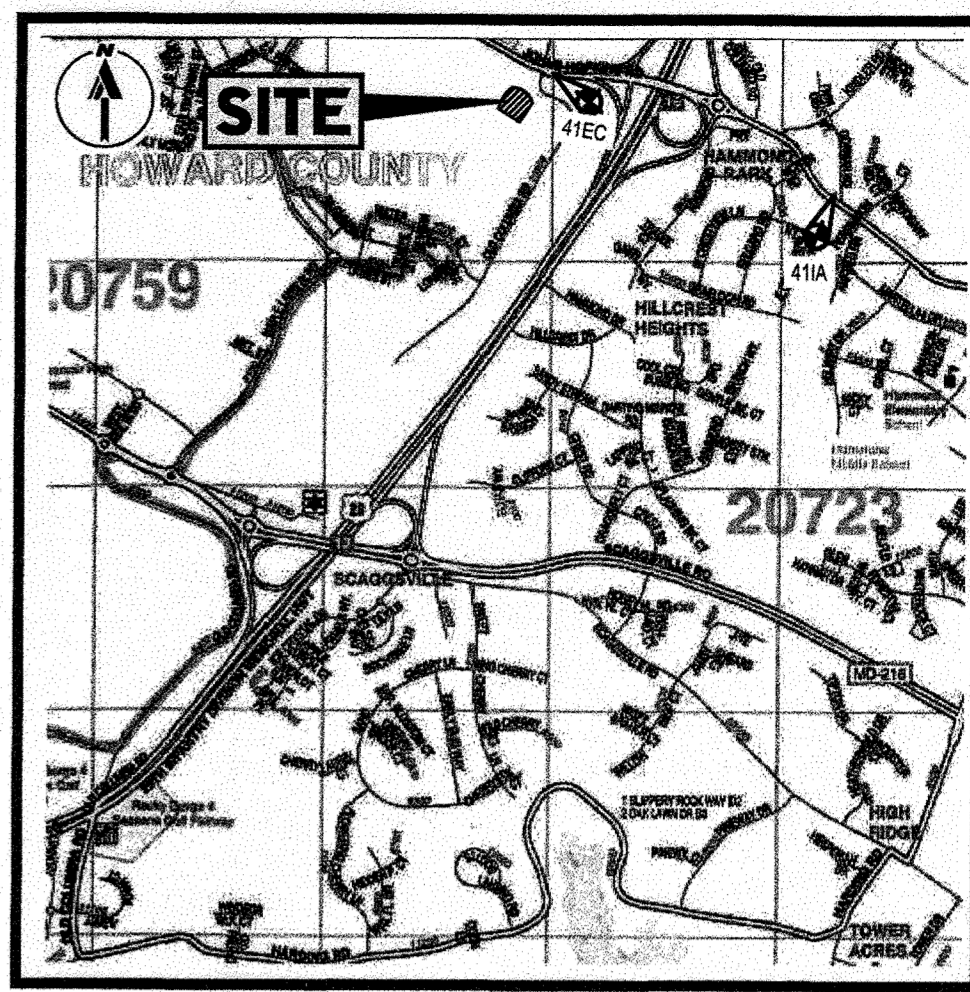
JOB NO.: MDA220186
STORE: 01999
DATE: 07/13/2023
DRAWN BY: BAB
CHECKED BY: DSH
CAD ID: SECP-SITE

SHEET
29 OF 30

SDP-07-033



| NO. | REVISION | DATE |
|-----|---|-----------|
| 9 | DRIVE-THRU IMPROVEMENTS, PARKING REVISIONS, AND ADDITION OF TWO CANOPIES TO BUILDING 3 SITE | 9/27/2023 |



LOCATION MAP
SCALE: 1" = 200'
PLAN REFERENCE: ADC MAP 32 C1



811
Know what's Below.
Call before you dig.
ALWAYS CALL 811
It's fast. It's free. It's the law.

REVISIONS:

| MARK | DATE | BY |
|------|---------|-----|
| △ | 9/27/23 | SFB |
| △ | | |
| △ | | |

D.S. HANEY
PROFESSIONAL ENGINEER
LAND SURVEYING
LICENSE NO. 84512 EXPIRATION DATE: 8/25/25

BOHLER//
CIVIL AND CONSULTING ENGINEERS
PROJECT MANAGEMENT
LAND SURVEYING
LAND DEVELOPMENT
SUSTAINABLE DESIGN
PERMITTING SERVICES

BOHLER//
801 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21284
Phone: 410 821-7800
Fax: 410 821-7987
MD@BohlerEng.com

PROJECT: CHICK-FIL-A RESTAURANT & MEDICAL BUILDING
PART OF LOT 1, HOPKINS STATION (FORMER PRICE FARMS, LOT 1)
JOHNS HOPKINS ROAD
LAUREL, HOWARD COUNTY, MARYLAND
LOCATION OF SITE: 10975 JOHNS HOPKINS ROAD, LAUREL, MD 20723, TM: 41 G, 22 P, 425
HOWARD COUNTY, 5TH ELECTION DISTRICT, ZONE: B-2

SHEET TITLE
SITE DEVELOPMENT PLAN

DWG EDITION: 02.4
 PRELIMINARY
 80% SUBMITTAL
 FOR CONSTRUCTION

JOB NO.: MDA220186
STORE: 01999
DATE: 07/13/2023
DRAWN BY: BAB
CHECKED BY: DSH
CAD ID: SECP-SITE

SHEET
30 OF 30

NOTES

- ALL PROPOSED UNDERGROUND ROOF LEADERS WILL BE 6" HDPE PIPE AND DRAIN TO THE EXISTING STORMFILTER.
- STORMWATER QUALITY MANAGEMENT WILL BE PROVIDED BY THE EXISTING STORMFILTER.
- THERE ARE NO KNOWN STEEP SLOPES, WETLANDS, OR STREAMS LOCATED ON SITE. THE SITE IS NOT LOCATED WITHIN THE CRITICAL AREA.

CUTFILL ANALYSIS

TOTAL CUT = 50 CY
TOTAL FILL = 77 CY
TOTAL IMPORT = 27 CY

WORK OUTSIDE PERIMETER CONTROLS NOTES

- CONTRACTOR SHALL ONLY DISTURB THAT AREA WHICH CAN BE COMPLETED AND STABILIZED BY THE END OF EACH WORKING DAY. STABILIZATION SHALL BE AS FOLLOWS:
- FOR AREAS TO BE PAVED, THE APPLICATION OF STONE BASE
 - FOR AREAS TO BE VEGETATIVELY STABILIZED
 - PERMANENT SEED AND SOIL STABILIZATION MATTING OR SOG FOR ALL STEEP SLOPES, CHANNELS OR SWALES
 - PERMANENT SEED AND MULCH FOR ALL OTHER AREAS.
- ANY AREAS WHICH CAN NOT BE STABILIZED BY THE END OF EACH WORKING DAY MUST HAVE SILT FENCE INSTALLED ON THE DOWN SLOPE SIDE.

LEGEND

| | |
|----------------------------------|--|
| STABILIZED CONSTRUCTION ENTRANCE | |
| SILT FENCE | |
| SILT FENCE ON PAVEMENT | |
| MOUNTABLE BERM | |

GENERAL NOTE

LOD IS SHOWN 2' OFF SAWCUT AND GRADING DAYLIGHT FOR PLAN CLARITY PURPOSES.

SITE MAPPED SOIL TYPES

| MAP SYMBOL | DESCRIPTION | HYDROLOGIC SOIL GROUP | K FACTOR | HYDRIC | HIGHLY ERODIBLE |
|------------|--------------------------------------|-----------------------|----------|--------|-----------------|
| GgB | GLENELG LOAMS, 3 TO 6 PERCENT SLOPES | B | 0.24 | NO | NO |

NOTE: ALL SOILS ON SITE ARE OF THE TYPE NOTED ABOVE.

SOILS LEGEND

| Soil Type | Symbol |
|-----------|--------|
| GgB | |

OWNER: NN FULTON CENTER, LLC
12526 WESTLAND CT.
FULTON, MD 20759

DEVELOPER: CHICK-FIL-A
5200 BUFFINGTON ROAD,
ATLANTA, GA
CONTACT: DOUG WOLFE
PHONE: 717-817-8939

TAX MAP: 41 GRID: 22 PARCEL: 425
ZONED: B-2
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

SUBDIVISION NAME: N/A
DEED # 13231 / 00283

APPROVED, DEPARTMENT OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION
CHIEF, DIVISION OF LAND DEVELOPMENT
DIRECTOR

DATE: 4/23/24
DATE: 4/23/24
DATE: 4/23/24

