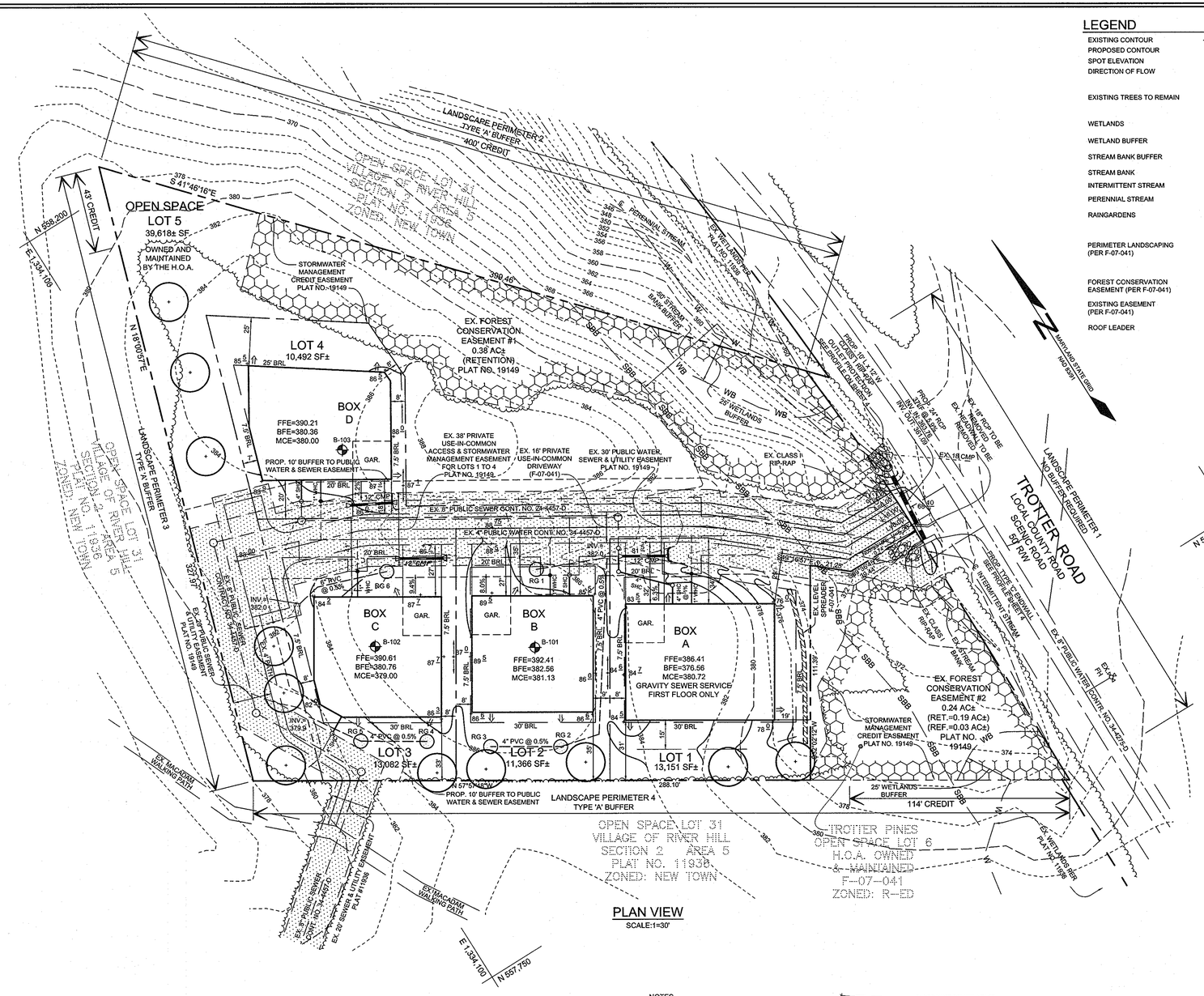
GENERAL NOTES

1. THIS PROPERTY IS ZONED R-ED PER THE 02/02/04 COMPREHENSIVE ZONING PLAN AND THE "COMP LITE" ZONING AMENDMENTS EFFECTIVE 07/28/06.
2. GROSS AREA OF PROPERTY = 2.01 AC.±
3. THIS PROPERTY IS IN THE METROPOLITAN DISTRICT.
4. PUBLIC WATER AND PUBLIC SEWER WILL BE USED WITHIN THIS SITE.
5. THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES OR AGENCIES AT LEAST FIVE (5) WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE PLANS:

STATE HIGHWAY ADMINISTRATION	410.531.5533
BGE(CONTRACTOR SERVICES)	410.850.4620
BGE(UNDERGROUND DAMAGE CONTROL)	410.787.5068
MISS UTILITY	800.257.7777
COLONIAL PIPELINE COMPANY	410.795.1390
HOWARD COUNTY, DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES	410.313.4900
HOWARD COUNTY HEALTH DEPARTMENT	410.313.2640
AT&T	800.252.1133
VERIZON	800.743.0033/410.224.9210

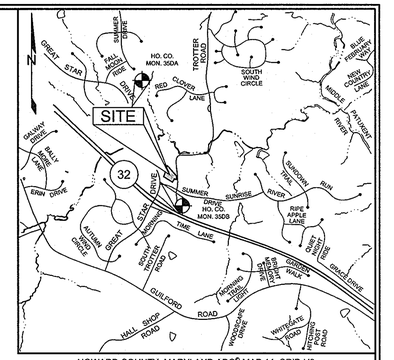
6. PREVIOUS HOWARD COUNTY FILE NUMBERS: F-07-041, PLAT #11936, CONTRACT #34-4275-D, CONTRACT #30-3387-D.
7. BOUNDARY SHOWN HEREON IS BASED ON A BOUNDARY SURVEY PREPARED BY SILL, ADCOCK & ASSOCIATES, LLC, DATED AUGUST 2006.
8. TOPOGRAPHY IS BASED ON A FIELD RUN TOPOGRAPHICAL SURVEY PERFORMED BY SILL, ADCOCK & ASSOCIATES, LLC, DATED AUGUST 2006.
9. THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
10. ANY DAMAGE TO PUBLIC RIGHT-OF WAYS, PAVING OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
11. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR THE START OF WORK.
12. THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP, WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
13. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY IN ADDITION TO MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
14. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN APPROVED.
15. EXISTING UTILITIES ARE LOCATED BY THE USE OF ANY OR ALL OF THE FOLLOWING: ROAD CONSTRUCTION PLANS, FIELD SURVEYS, PUBLIC WATER AND SEWER PLANS AND OTHER AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF THE EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTORS INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO THE CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTORS EXPENSE.
16. ALL HDPE PIPE SPECIFICATION AND INSTALLATION SHALL MEET AASHTO M-252 TYPE S, M-294 TYPE S AND ASTM D2321, RESPECTIVELY.
17. SOIL COMPACTION SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER. DRIVEWAY PAVING TO BE HOWARD COUNTY STANDARD P-1 PAVING SECTION (SEE DETAIL, THIS SHEET). GEOTECHNICAL ENGINEER TO CONFIRM ACCEPTABILITY OF PROPOSED PAVING SECTION, BASED ON SOIL TEST, PRIOR TO CONSTRUCTION.
18. ESTIMATES OF EARTHWORK QUANTITIES ARE PROVIDED SOLELY FOR THE PURPOSE OF CALCULATING FEES.
19. ALL TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
20. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED ON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENTS 35DA AND 35DB WERE USED FOR THIS PROJECT.
21. IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
22. DRIVEWAY(S) SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES WHEN THE FOLLOWING REQUIREMENTS:
    a) WIDTH - 12 FEET (16 FEET SERVING MORE THAN ONE RESIDENCE);
    b) SURFACE - SIX (6") INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1-1/2" MINIMUM);
    c) GEOMETRY - MAXIMUM 14% GRADE, MAXIMUM 10% GRADE CHANGE AND 45-FOOT TURNING RADIUS;
    d) STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25-LOADING);
    e) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE;
    f) MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE
23. DRIVEWAY ENTRANCE TO BE PER HOWARD COUNTY STANDARD DETAIL R-6.06.
24. SEWER HOUSE CONNECTION (SHC) TO BE AT 2.0% UNLESS OTHERWISE NOTED. CLEANOUTS ARE TO BE PROVIDED AT ALL BENDS.
25. A WAIVER OF BASEMENT GRAVITY SEWER SERVICE FOR LOT 1 WAS APPROVED OCTOBER 6, 2006. GRAVITY SEWER SERVICE PROVIDED FOR FIRST FLOOR ONLY. BASEMENT SEWER SERVICE TO BE PROVIDED BY PRIVATE ON-SITE PUMP.
26. NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAM(S) OR THEIR BUFFERS, FOREST CONSERVATION EASEMENT AREAS AND 100 YEAR FLOODPLAIN.
27. A WETLAND DELINEATION WAS PERFORMED BY EXPLORATION RESEARCH INC., DATED AUGUST 2003, AND APPROVED UNDER F-07-041.
28. THERE ARE NO WETLANDS, FLOODPLAINS, HISTORIC STRUCTURES OR CEMETARIES LOCATED ONSITE.
29. A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
30. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE OF SECTION 16.124 OF HOWARD COUNTY CODE AND LANDSCAPE MANUAL.
31. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING SHALL BE POSTED UNDER A DEVELOPERS AGREEMENT IN THE AMOUNT OF $3,300.00 FOR 11 SHADE TREES WITH THIS SITE DEVELOPMENT PLAN.
32. THIS PROJECT COMPLIES WITH THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY THE RETENTION OF 0.57 ACRES OF FOREST AND THE REFORESTATION OF 0.03 ACRES AND WAS APPROVED UNDER F-07-041. FINANCIAL SURETY HAS BEEN PAID AS PART OF THE DEVELOPER'S AGREEMENT UNDER F-07-041.
33. THIS SITE IS EXEMPT FROM STORMWATER MANAGEMENT REQUIREMENTS FOR CHANNEL PROTECTION. STORMWATER MANAGEMENT REQUIREMENTS FOR WATER QUALITY AND RECHARGE FOR THIS SITE HAVE BEEN PROVIDED FOR BY THE FOLLOWING METHODS AND APPROVED UNDER F-07-041:
    DRIVEWAYS:
        GRASS CHANNEL CREDIT
    HOUSES:
        RAINGARDENS - LOTS 2 AND 3 (3 EACH) AND SHEET FLOW TO BUFFER CREDIT - LOTS 1 AND 4
34. RAINGARDENS ARE DESIGNED TO TREAT 1,000 SF MAXIMUM OF ROOFTOP EACH. ADDITIONAL RAINGARDENS WILL BE REQUIRED IF THE ROOF AREA EXCEEDS THE ALLOWABLE AREA THE RAINGARDENS PROVIDED HAVE BEEN DESIGNED FOR.
35. THE STORMWATER MANAGEMENT PRACTICES (RAINGARDENS) LOCATED ON LOTS 2 AND 3 ARE TO BE OWNED AND MAINTAINED BY THE PROPERTY OWNERS AND SURETY FOR THEM SHALL BE PAID WITH THE DEVELOPER'S AGREEMENT. RAINGARDENS SHALL BE BONDED AT A RATE OF $6,000.00 PER RAINGARDEN FOR A TOTAL OF $36,000.00 (6 x $6,000.00).
36. RAINGARDENS SHALL BE A MINIMUM OF 15' FROM ANY DWELLING.
37. EXISTING SEDIMENT CONTROLS, APPROVED UNDER F-07-041, ARE TO BE UTILIZED THROUGHOUT THE CONSTRUCTION OF LOTS 1-4.



PLAN VIEW
SCALE:1=30'

LEGEND

EXISTING CONTOUR	382
PROPOSED CONTOUR	382
SPOT ELEVATION	+82.53
DIRECTION OF FLOW	
EXISTING TREES TO REMAIN	
WETLANDS	W
WETLAND BUFFER	WB
STREAM BANK BUFFER	SBB
STREAM BANK	
INTERMITTENT STREAM	
PERENNIAL STREAM	
RAINGARDENS	RG
PERIMETER LANDSCAPING (PER F-07-041)	
FOREST CONSERVATION EASEMENT (PER F-07-041)	
EXISTING EASEMENT (PER F-07-041)	
ROOF LEADER	



HOWARD COUNTY, MARYLAND ADC© MAP 14, GRID H9

VICINITY MAP

SCALE:1=2000'

BENCHMARKS

NUMBER	NORTHING	EASTING	ELEVATION	DESCRIPTION
35DA	558,918.6174	1,333,137.3310	351.68'	1.6' NORTH OF CONCRETE INLET 3.9' EAST OF CONCRETE SIDEWALK
35DB	557,696.1467	1,333,974.5934	401.71'	7.3' EAST OF FACE OF CONCRETE CURB 46.9' NORTH OF LIGHT POLE

MINIMUM LOT SIZE CHART

LOT NUMBER	GROSS AREA (sf)	PIPESTEM AREA (sf)	MINIMUM LOT SIZE
1	13,151±	354±	12,797±
2	11,366±	958±	10,408±
3	13,082±	1,414±	11,668±
4	10,492±	1,546±	8,946±

SITE ANALYSIS DATA CHART

TOTAL PROJECT AREA	AREA OF SUBMISSION	DISTURBED AREA	PRESENT ZONING
2.01 AC±	2.01 AC.±	0.79 AC	R-ED
PROPOSED USE	FLOOR SPACE PER USE	TOTAL UNITS ALLOWED	TOTAL UNITS PROPOSED
RESIDENTIAL	NA	4	4
MAX. # EMPLY/TENANTS	PARKING SPACES REQ.	PARKING SPACES PROV.	HC SPACES PROVIDED
NA	2 PER DWELLING	2 PER DWELLING	NA
OPEN SPACE REQUIRED	OPEN SPACE PROVIDED	REC. O.S. REQUIRED	REC. O.S. PROVIDED
NA	F-07-041	NA	NA
BUILDING COVERAGE	FLOOR AREA RATIO	DPZ FILE REFERENCES	
NA	NA	F-07-041, PLAT NO. 11936, CONT NO. 34-4275-D, CONT NO. 30-3387-D	

PERMIT INFORMATION CHART

SUBDIVISION NAME			SECTION / AREA		PARCEL #
TROTTER PINES			NA		157
PLAT	GRID #	ZONING	TAX MAP #	ELECT. DIS.	CENSUS TRACT
19149	14	R-ED	35	5TH	6055.01
WATER CODE			SEWER CODE		
I-13			6653000		

ADDRESS CHART

LOT	STREET ADDRESS
1	6298 TROTTER ROAD
2	6296 TROTTER ROAD
3	6294 TROTTER ROAD
4	6292 TROTTER ROAD

SHEET INDEX

SHEET NO.	DESCRIPTION
1	SITE DEVELOPMENT AND LANDSCAPE PLAN
2	SEDIMENT AND EROSION CONTROL PLAN, NOTES AND DETAILS
3	HOUSE MODEL TEMPLATES
4	STREAM CROSSING AND RAINGRADEN DETAILS

OWNER/DEVELOPER

WILLIAMSBURG GROUP, LLC
C/O ROBERT CORBETT
5485 HARPERS FARM ROAD, SUITE 200
COLUMBIA, MD 21044
410.997.8800

LANDSCAPE NOTES

1. AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREWITH LISTED AND APPROVED FOR THIS SITE, SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.
2. THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
3. FINANCIAL SURETY FOR THE REQUIRED 11 PERIMETER SHADE TREES IN THE AMOUNT OF $3,300.00 (11 x $300.00) WILL BE PAID WITH THE DEVELOPER'S AGREEMENT.

APPROVED
PLANNING BOARD
of HOWARD COUNTY
DATE JULY 19, 2007

SCHEDULE A
PERIMETER LANDSCAPE EDGE

CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES		
PERIMETER/FRONTAGE DESIGNATION LANDSCAPE TYPE	1 NA*	2 A	3 A	4 A
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	252	400	328	419
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) REMAINING PERIMETER LENGTH	NO	YES** 400	YES** 43	YES** 114
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) REMAINING PERIMETER LENGTH	NO	NO	NO	NO
NUMBER OF PLANTS REQUIRED SHADE TREES EVERGREEN TREES SHRUBS	- - -	1:60 = 0 - -	1:60 = 5 - -	1:60 = 6 - -
NUMBER OF PLANTS PROVIDED SHADE TREES EVERGREEN TREES OTHER TREES (2-1 SUBSTITUTION) SHRUBS (10:1 SUBSTITUTION) (DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)	- - - - -	0 - - - -	5 - - - -	6 - - - -

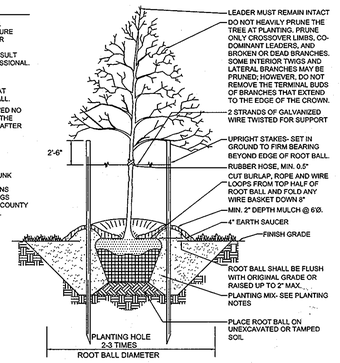
*HOUSES FRONT ROAD
**CREDIT FOR EXISTING TREES

LANDSCAPE SCHEDULE

KEY	QUANTITY	BOTANICAL NAME	SIZE	NOTE
+	11	*ACER RUBRUM 'OCTOBER GLORY'* OCTOBER GLORY RED MAPLE	2 1/2"-3" CAL.	B & B

NOTES

1. CONSULT INTERNATIONAL SOCIETY OF ARBORICULTURE GUIDELINES FOR FURTHER DETAILS OF PLANTING SPECIFICATIONS, OR CONSULT WITH A QUALIFIED PROFESSIONAL.
2. EACH TREE SHALL BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL.
3. STAKES SHALL BE REMOVED NO LATER THAN THE END OF THE FIRST GROWING SEASON AFTER PLANTING.
4. PLACE UPRIGHT STAKES PARALLEL TO WALKS & BUILDINGS.
5. KEEP MULCH 1" FROM TRUNK
6. SEE ARCHITECTURAL PLANS FOR ADDITIONAL PLANTINGS WHICH EXCEED HOWARD COUNTY MINIMUM REQUIREMENTS.
7. TREES ARE NOT TO BE PLANTED OVER PRIVATE SEWAGE EASEMENT.



TYPICAL TREE PLANTING AND STAKING
DECIDUOUS TREES UP TO 2-1/2" CALIPER NOT TO SCALE

APPROVED
PLANNING BOARD
of HOWARD COUNTY
DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE 11/5/10
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE 11/6/10
DIRECTOR	DATE 11/6/10

NO.	DESCRIPTION	DATE
	REVISIONS	

SITE DEVELOPMENT AND LANDSCAPE PLAN

TROTTER PINES

LOTS 1-4 AND OPEN SPACE LOT 5

SINGLE FAMILY DETACHED DWELLINGS

TAX MAP 35 GRID 14 PARCEL 157
5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

STATE OF MARYLAND
PAUL M. SILL
No. 32025
PROFESSIONAL ENGINEER

Sill · Adcock & Associates · LLC
Engineers · Surveyors · Planners
3300 North Ridge Road, Suite 160
Ellicott City, Maryland 21043
Phone: 443.325.7682 Fax: 443.325.7685
Email: info@saaland.com

DESIGN BY: JT
DRAWN BY: JT
CHECKED BY: PS
SCALE: AS SHOWN
DATE: OCT. 15, 2007
PROJECT #: 05-016
SHEET #: 1 OF 4

SDP-07-030

21.0 STANDARDS AND SPECIFICATIONS FOR TOPSOILS

DEFINITION

PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

PURPOSE

TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETABLE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

CONDITIONS WHERE PRACTICE APPLIES

I. THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:
- A. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.
- B. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.
- C. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
- D. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.

II. FOR THE PURPOSE OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION. AREAS HAVING SLOPES STEEPER THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE PLANS.

CONSTRUCTION AND MATERIAL SPECIFICATIONS

I. TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.

II. TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:
- i. TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR A SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIAL LARGER THAT 1 AND 1/2" IN DIAMETER.
- ii. TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACKGRASS, JOHNSONGRASS, NUTSEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.
- iii. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.

II. FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES:
- i. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS.

III. FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES:
- I. ON SOIL MEETING TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS DICTATING FERTILIZER AND LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING:
  - A. PH FOR TOPSOIL SHALL BE BETWEEN 6.0 AND 7.5. IF THE TESTED SOIL DEMONSTRATES A PH OF LESS THAN 6.0, SUFFICIENT LIME SHALL BE PRESCRIBED TO RAISE THE PH TO 6.5 OR HIGHER.
  - B. ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 1.5 PERCENT BY WEIGHT.
  - C. TOPSOIL HAVING SOLUBLE SALT CONTENT GREATER THAN 500 PARTS PER MILLION SHALL NOT BE USED.
  - D. NO SOD OR SEED SHALL BE PLACED ON SOIL SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.

NOTE: TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL.

ii. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS A SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS.

V. TOPSOIL APPLICATION
- i. WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS.
- ii. GRADES ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE MAINTAINED, ALBEIT 4"-8" HIGHER IN ELEVATION.
- iii. TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4"-8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
- iv. TOPSOIL SHALL NOT BE PLACE WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS E XCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.

SEDIMENT CONTROL NOTES

1. A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTION, LICENSE AND PERMITS SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (410-313-1855).

2. ALL VEGETATION AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE %%U1994 MARYLAND PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE %%USTANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT ; AND REVISIONS THERETO. %%UCONTROL

3. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: (A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3:1, (B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.

4. ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 7, HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.

5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE %%U1994 MARYLAND STANDARDS AND SPECIFICATIONS IN ACCORDANCE WITH THE FOR PERMANENT SEEDING, SOD, %%UFOR SOIL EROSION AND SEDIMENT CONTROL TEMPORARY SEEDING, AND MULCHING (SEC. G). TEMPORARY STABILIZATION WITH MULCH ALONE SHALL BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.

6. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

7. SITE ANALYSIS :

TOTAL AREA	1.04 AC±
AREA DISTURBED	0.79 AC±
AREA TO BE ROOFED OR PAVED	0.36 AC±
AREA TO BE VEGETATIVELY STABILIZED	0.43 AC±
TOTAL CUT	800 CY±
TOTAL FILL	0 CY±
OFFSITE WASTE/BORROW AREA LOCATION	NA

8. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.

9. ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

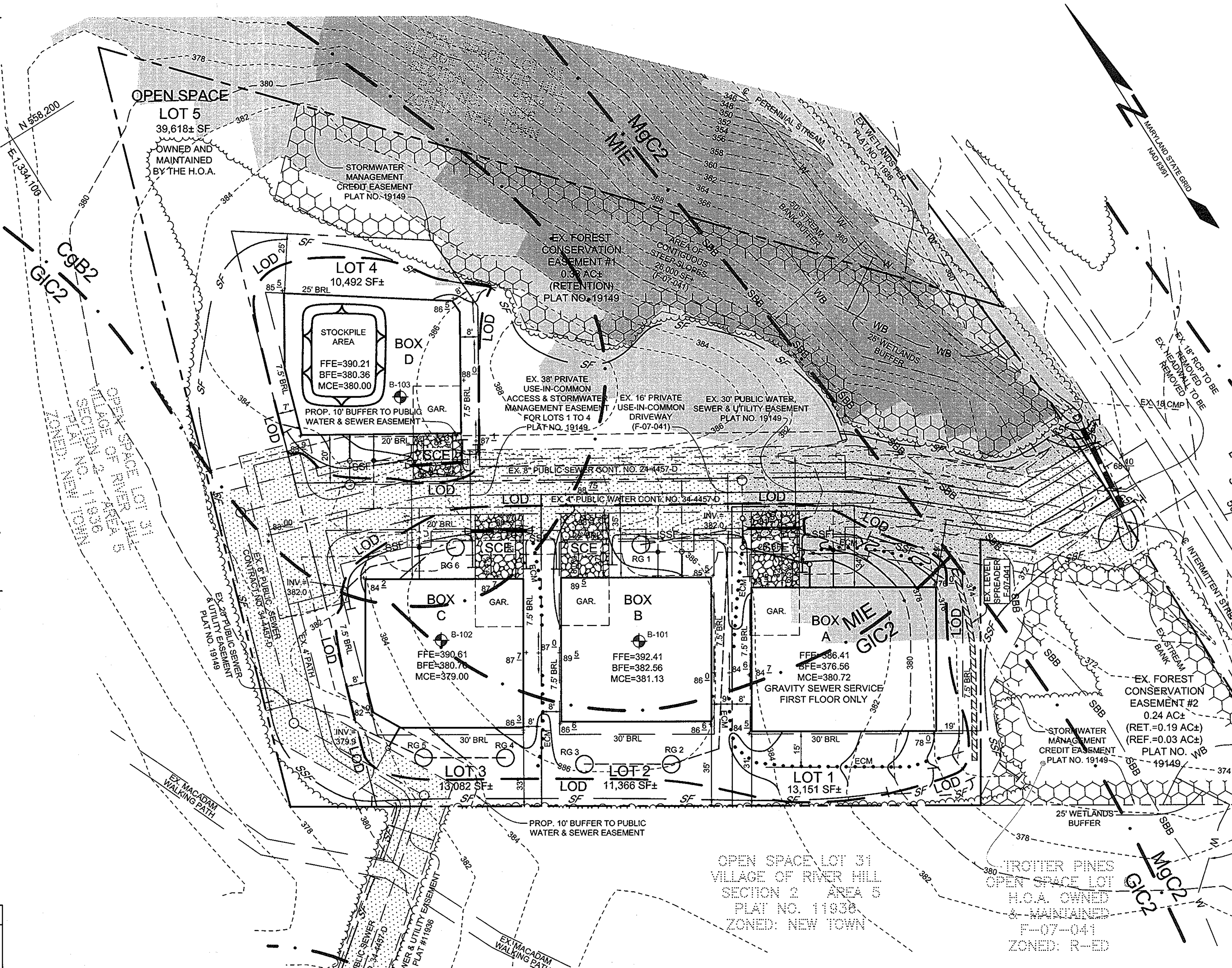
10. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.

11. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER. * EARTHWORK QUANTITIES ARE SOLELY FOR THE PURPOSE OF CALCULATING FEES. CONTRACTOR TO VERIFY ALL QUANTITIES PRIOR TO THE START OF CONSTRUCTION. ** TO BE DETERMINED BY CONTRACTOR, WITH PRE-APPROVAL OF THE SEDIMENT CONTROL INSPECTOR WITH AN APPROVED AND ACTIVE GRADING PERMIT.

SEQUENCE OF CONSTRUCTION

1. OBTAIN GRADING PERMIT.
2. NOTIFY HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSE AND PERMITS AT (410) 313-1880 AT LEAST 24 HOURS BEFORE STARTING ANY WORK.
3. INSTALL STABILIZED CONSTRUCTON ENTRANCES FOR LOTS 1-4. REPAIR OR REPLACE ANY EXISTING SILT FENCE AND SUPER SILT FENCE FROM F-07-041 AS NECESSARY. (1 WEEK)
4. UPON ISSUANCE OF A MARYLAND DEPARTMENT OF THE ENVIRONMENT STREAM CROSSING PERMIT, UTILIZE THE UTILITY CROSSING DETAILS LOCATED ON SHEET 4 TO INSTALL THE DRIVEWAY CULVERT AND THE PORTION OF THE 4 INCH WATER MAIN THAT CROSSES THE STREAM. THESE UTILITY CROSSINGS CAN BE CONSTRUCTED AT ANYTIME WITH THE APROVED MDE PERMIT AND AN ACTIVE GRADING PERMIT.
5. ROUGH GRADE SITE AND BEGIN BUILDING CONSTRUCTION. (1 WEEK)
6. FINISH BUILDING CONSTRUCTION AND PAVE DRIVEWAYS. (4 MONTHS)
7. UPON STABILIZATION OF ALL DISTURBED AREAS AND WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, REMOVE ALL SEDIMENT CONTROL MEASURES AND STABILIZE ANY REMAINING DISTURBED AREA. (1 WEEK)

NOTE: -FOLLOWING INITIAL SOIL DISTURBANCE OR ANY REDISTURBANCES, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
A. 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, SWALES AND ALL SLOPES GREATER THAN 3:1.
B. 14 CALENDAR DAYS FOR ALL OTHER DISTURBED AREAS.
-DURING GRADING AND AFTER EACH RAINFALL, CONTRACTOR WILL INSPECT AND PROVIDE NECESSARY MAINTENANCE TO THE SEDIMENT CONTROL MEASURES ON THIS PLAN.



PLAN VIEW
SCALE:1=30'

LEGEND

EXISTING CONTOUR	- - - - 382
PROPOSED CONTOUR	382
SPOT ELEVATION	+ 82 53
DIRECTION OF FLOW	
EXISTING TREES TO REMAIN	
STABILIZED CONSTRUCTION ENTRANCE	SCE
SILT FENCE	SF — SF
SUPER SILT FENCE	SSF — SSF
EXISTING SILT FENCE (PER F-07-041)	SF — SF
EXISTING SUPER SILT FENCE (PER F-07-041)	SSF — SSF
LIMIT OF DISTURBANCE	LOD
WETLANDS	W
WETLAND BUFFER	WB
STREAM BUFFER	SBB
EROSION CONTROL MATTING	
15-24.9% SLOPES (PER F-07-041)	
25% OR GREATER SLOPES (PER F-07-041)	
FOREST CONSERVATION EASEMENT (PER F-07-041)	
EXISTING EASEMENT (PER F-07-041)	
RAINGARDENS	RG
ROOF LEADER	
STREAM BANK	
INTERMITTENT STREAM	
PERENNIAL STREAM	

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES

1) PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/100 SQ.FT.) AND 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL. AT THE TIME OF SEEDING, APPLY 400 LBS PER ACRE 30-0-0 UREAFORM FERTILIZER (9 LBS/1000 SQ.FT.)

2) ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMATIC LIMESTONE (92 LBS/1000 SQ.FT.) AND APPLY 1000 LBS PER ACRE 10-10-10 FERTILIZER (23 LBS/1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL.

SEEDING: FOR THE PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU OCTOBER 15, SEED WITH 60 LBS PER ACRE (1.4 LBS/1000 SQ.FT.) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31, SEED WITH 60 LBS KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS PER ACRE (0.05 LBS/1000 SQ.FT.) OF WEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY: OPTION (1) 2 TONS PER ACRE WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) USE SOD. OPTION (3) SEED WITH 60 LBS/ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELL ANCHORED STRAW.

MULCHING: APPLY 1 1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ.FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL/1000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL/1000 SQ.FT.) FOR ANCHORING.

MAINTENANCE: INSPECT ALL SEEDED AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

TEMPORARY SEEDING NOTES

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

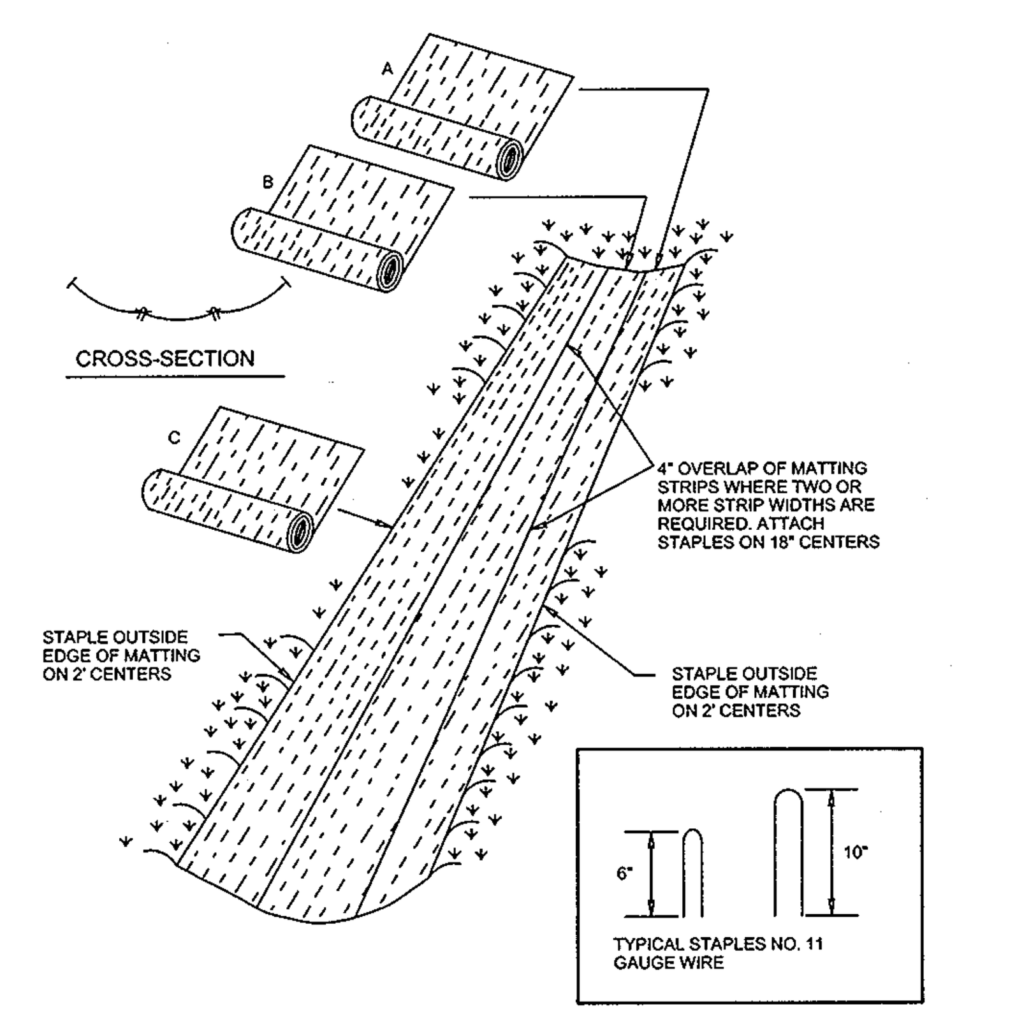
SOIL AMENDMENTS: APPLY 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ.FT).

SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30 AND FROM AUGUST 15 THRU NOVEMBER 15, SEED WITH 2 1/2 BUSHEL PER ACRE OF ANNUAL RYE (3.2 LBS/1000 SQ.FT.) FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS PER ACRE OF WEEPING LOVEGRASS (0.07 LBS/1000 SQ.FT.). FOR THE PERIOD NOVEMBER 1 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOD.

MULCHING: APPLY 1 1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ.FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL/1000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL/1000 SQ.FT.) FOR ANCHORING.

REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

DETAIL 30 - EROSION CONTROL MATTING



CONSTRUCTION SPECIFICATIONS

1. KEY-IN THE MATTING BY PLACING THE TOP ENDS OF THE MATTING IN A NARROW TRENCH, 6" IN DEPTH. BACKFILL THE TRENCH AND TAMP FIRMLY TO CONFORM TO THE CHANNEL CROSS-SECTION. SECURE WITH A ROW OF STAPLES ABOUT 4" DOWN SLOPE FROM THE TRENCH. SPACING BETWEEN STAPLES IS 6".
2. STAPLE THE 4" OVERLAP IN THE CHANNEL CENTER USING AN 18" SPACING BETWEEN STAPLES.
3. BEFORE STAPLING THE OUTER EDGES OF THE MATTING, MAKE SURE THE MATTING IS SMOOTH AND IN FIRM CONTACT WITH THE SOIL.
4. STAPLES SHALL BE PLACED 2' APART WITH 4 ROWS FOR EACH STRIP, 2 OUTER ROWS, AND 2 ALTERNATING ROWS DOWN THE CENTER.
5. WHERE ONE ROLL OF MATTING ENDS AND ANOTHER BEGINS, THE END OF THE TOP STRIP SHALL OVERLAP THE UPPER END OF THE LOWER STRIP BY 4", SHIPLAP FASHION. REINFORCE THE OVERLAP WITH A DOUBLE ROW OF STAPLES SPACED 6" APART IN A STAGGERED PATTERN ON EITHER SIDE.
6. THE DISCHARGE END OF THE MATTING LINER SHOULD BE SIMILARLY SECURED WITH 2 DOUBLE ROWS OF STAPLES.

NOTE: IF FLOW WILL ENTER FROM THE EDGE OF THE MATTING THEN THE AREA EFFECTED BY THE FLOW MUST BE KEYED-IN.

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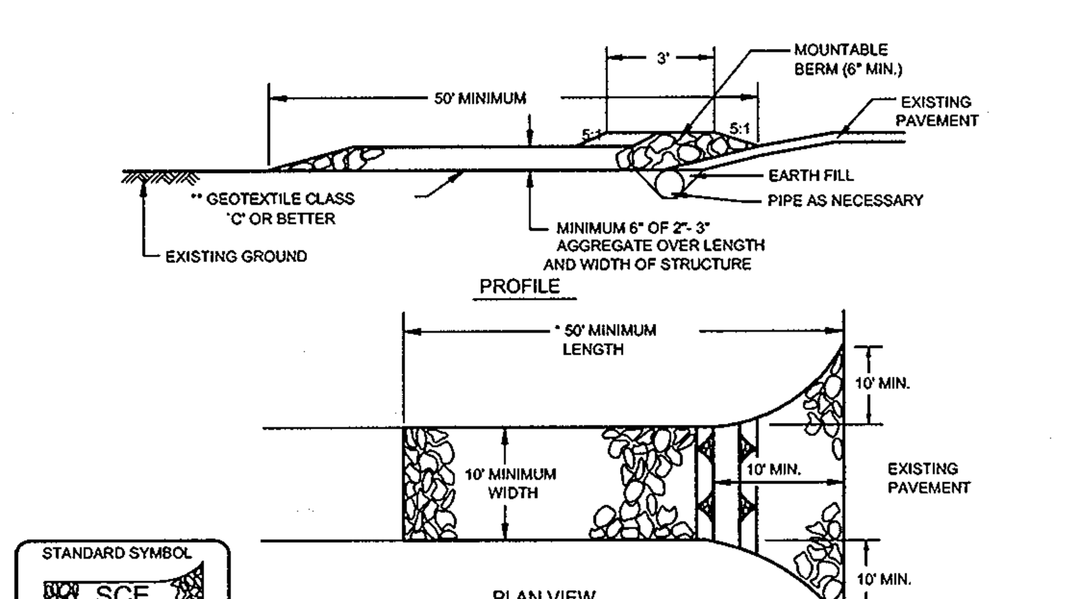
DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE



CONSTRUCTION SPECIFICATION

1. LENGTH - MINIMUM OF 50' (* 30' FOR A SINGLE RESIDENCE LOT).
2. WIDTH - 10' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
3. GEOTEXTILE FABRIC (FILTER CLOTH) SHALL BE PLACED OVER THE EXISTING GROUND PRIOR TO PLACING STONE. ** THE PLAN APPROVAL AUTHORITY MAY NOT REQUIRE SINGLE FAMILY RESIDENCES TO USE GEOTEXTILE.
4. STONE - CRUSHED AGGREGATE (2" TO 3") OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT SHALL BE PLACED AT LEAST 6" DEEP OVER THE LENGTH AND WIDTH OF THE ENTRANCE.
5. SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE.PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND A MINIMUM OF 6" OF STONE OVER THE PIPE. PIPE HAS TO BE SIZED ACCORDING TO THE DRAINAGE. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY, A PIPE WILL NOT BE NECESSARY. PIPE SHOULD BE SIZED ACCORDING TO THE AMOUNT OF RUNOFF TO BE CONVEYED. A 6" MINIMUM WILL BE REQUIRED.
6. LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED AT EVERY POINT WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES A CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE STABILIZED CONSTRUCTION ENTRANCE.

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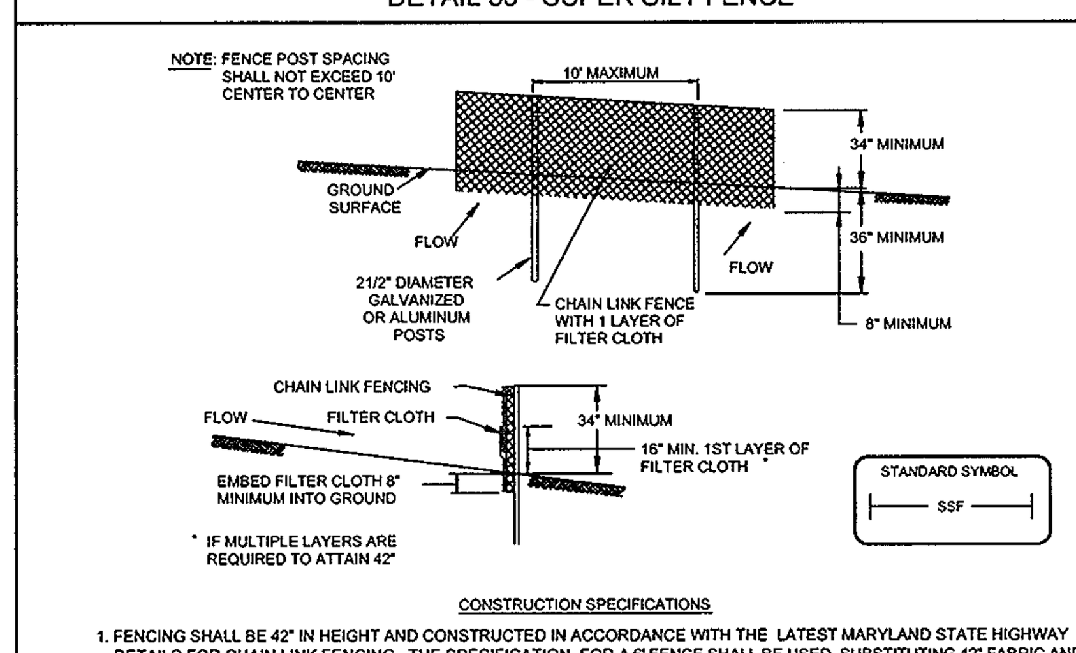
DETAIL 33 - SUPER SILT FENCE



CONSTRUCTION SPECIFICATIONS

1. FENCING SHALL BE 42" IN HEIGHT AND CONSTRUCTED IN ACCORDANCE WITH THE LATEST MARYLAND STATE HIGHWAY DETAILS FOR CHAIN LINK FENCING. THE SPECIFICATION FOR A 6' FENCE SHALL BE USED, SUBSTITUTING 42" FABRIC AND 6' LENGTH POSTS.
2. CHAIN LINK FENCE SHALL BE FASTENED SECURELY TO THE FENCE POSTS WITH WIRE TIES. THE LOWER TENSION WIRE, BRACE AND TRUSS RODS, DRIVE ANCHORS AND POST CAPS ARE NOT REQUIRED EXCEPT ON THE ENDS OF THE FENCE.
3. FILTER CLOTH SHALL BE FASTENED SECURELY TO THE CHAIN LINK FENCE WITH TIES SPACED EVERY 24" AT THE TOP AND MID SECTION.
4. FILTER CLOTH SHALL BE EMBEDDED A MINIMUM OF 8" INTO THE GROUND.
5. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6" AND FOLDED.
6. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SILT BUILDUPS REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE, OR WHEN SILT REACHES 50% OF FENCE HEIGHT
7. FILTER CLOTH SHALL BE FASTENED SECURELY TO EACH FENCE POST WITH WIRE TIES OR STAPLES AT TOP AND MID SECTION AND SHALL MEET THE FOLLOWING REQUIREMENTS FOR GEOTEXTILE CLASS F:

TENSILE STRENGTH	50 LBS/IN (MIN.)	TEST: MSMT 509
TENSILE MODULUS	20 LBS/IN (MIN.)	TEST: MSMT 509
FLOW RATE	0.3 GAL/FT /MIN. (MAX.)	TEST: MSMT 322
FILTERING EFFICIENCY	75% (MIN.)	TEST: MSMT 322

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SOILS LEGEND

SYMBOL	NAME / DESCRIPTION	GROUP
CgB2	CHESTER GRAVELLY SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED	B
GIC2	GLENELG LOAM, 8 TO 15 PERCENT SLOPES, MODERATELY ERODED	B
MgC2	MANOR GRAVELY LOAM, 8 TO 15 PERCENT SLOPES, MODERATELY ERODED	B
MIE	MANOR LOAM, 25 TO 45 PERCENT SLOPES	B

OWNER/DEVELOPER

WILLIAMSBURG GROUP, LLC
C/O ROBERT CORBETT
5485 HARPERS FARM ROAD, SUITE 200
COLUMBIA, MD 21044
410.997.8800

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION — DATE 11/7/07

CHIEF, DIVISION OF LAND DEVELOPMENT — DATE 11/6/07

DIRECTOR — DATE 11/6/07

~~REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS~~

~~USDA-NATURAL RESOURCES CONSERVATION SERVICE~~ — DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

HOWARD SCD — DATE 11/1/07

ENGINEERS CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

SIGNATURE OF ENGINEER — DATE 10.16.07
PAUL M. SILL, P.E.

DEVELOPER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

SIGNATURE OF DEVELOPER — DATE 10-16-07
BOB CORBETT

NO.	DESCRIPTION	DATE
	REVISIONS	

APPROVED
PLANNING BOARD
of HOWARD COUNTY
DATE JULY 19, 2007

SEDIMENT AND EROSION CONTROL PLAN, NOTES AND DETAILS

TROTTER PINES

LOTS 1-4 AND OPEN SPACE LOT 5
SINGLE FAMILY DETACHED DWELLINGS

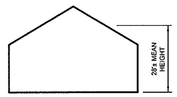
TAX MAP 35 GRID 14 PARCEL 157
5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

STATE OF MARYLAND — PAUL M. SILL — No. 32025 — PROFESSIONAL ENGINEER

Sill · Adcock & Associates · LLC
Engineers · Surveyors · Planners
3300 North Ridge Road, Suite 160
Ellicott City, Maryland 21043
Phone: 443.325.7682 Fax: 443.325.7685
Email: info@saaland.com

DESIGN BY:	JT
DRAWN BY:	JT
CHECKED BY:	PS
SCALE:	AS SHOWN
DATE:	OCT. 15, 2007
PROJECT #:	06-016
SHEET #:	2 OF 4

SDP-07-030



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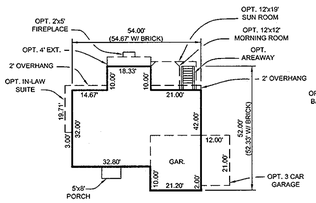

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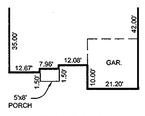
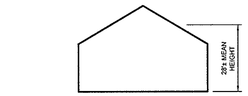


ELEVATION 2

THOMAS GOODWIN
SCALE:1=30'



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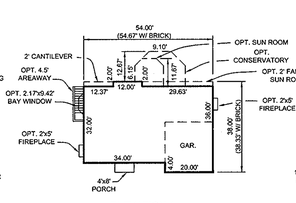

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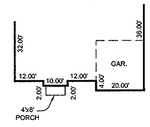
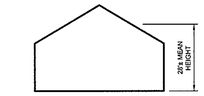


ELEVATION 2

WILLIAM DEAVEN
SCALE:1=30'



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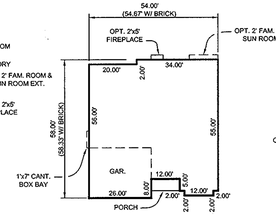

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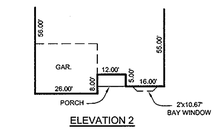

ELEVATION 2

JACOB TYLER
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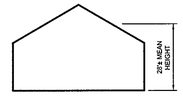

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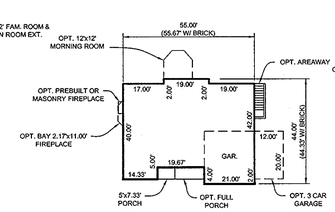

JAMES RANDOLPH
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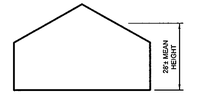

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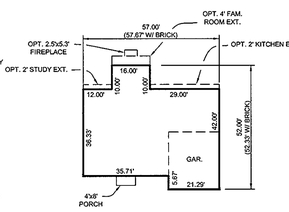

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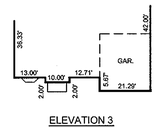
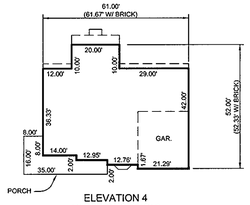


ELEVATION 3

ELEVATION 4



ELEVATION 4
(4' WIDTH OPTION)

DORCHESTER II
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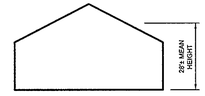

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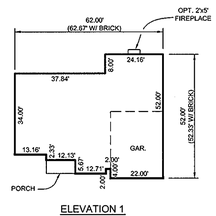

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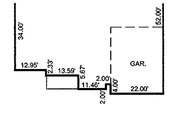

ELEVATION 3

SOMERSET
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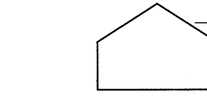

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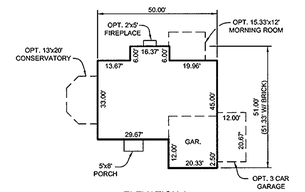
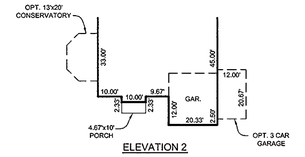


ELEVATION 1



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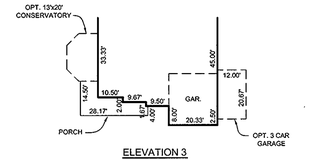
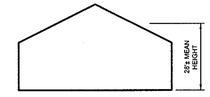


ELEVATION 3

OPTION I



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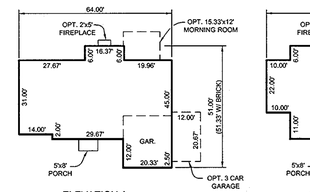

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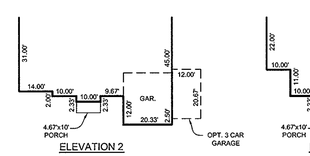
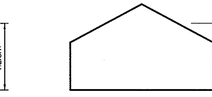


ELEVATION 2

OPTION 2
FIRST FLOOR MASTER BEDROOM

CALVERT II
SCALE:1=30'



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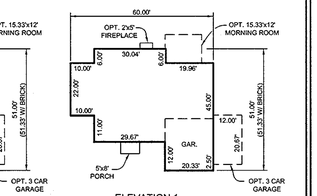
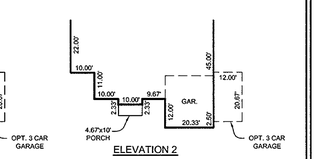


ELEVATION 1



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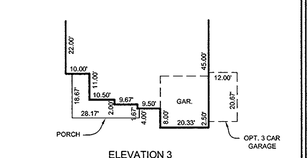
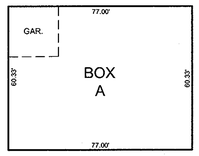


ELEVATION 3

OPTION 3
SECONDARY FIRST FLOOR MASTER BEDROOM



CALVERT II
OPTION 1
ALL OPTIONS AND ELEVATIONS AVAILABLE

OPTION 2
ALL OPTIONS AND ELEVATIONS AVAILABLE

OPTION 3
ALL OPTIONS AND ELEVATIONS AVAILABLE

WILLIAM DEAVEN
ALL OPTIONS AND ELEVATIONS AVAILABLE

THOMAS GOODWIN
ALL OPTIONS AND ELEVATIONS AVAILABLE

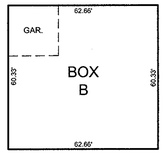
JACOB TYLER
ALL OPTIONS AND ELEVATIONS AVAILABLE

JAMES RANDOLPH
ALL OPTIONS AND ELEVATIONS AVAILABLE

DORCHESTER II
ALL OPTIONS AND ELEVATIONS AVAILABLE

SOMERSET
ALL OPTIONS AND ELEVATIONS AVAILABLE

HUNTINGTON
ALL OPTIONS AND ELEVATIONS AVAILABLE



CALVERT II
OPTION 1
ALL OPTIONS EXCEPT FOR CONSERVATORY

OPTION 2
NOT AVAILABLE

OPTION 3
ALL OPTIONS EXCEPT FOR 3 CAR GARAGE

WILLIAM DEAVEN
ALL OPTIONS AND ELEVATIONS AVAILABLE

THOMAS GOODWIN
ALL OPTIONS EXCEPT FOR 3 CAR GARAGE

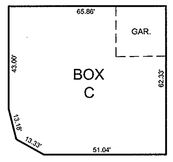
JACOB TYLER
ALL OPTIONS AND ELEVATIONS AVAILABLE

JAMES RANDOLPH
ALL OPTIONS EXCEPT FOR 3 CAR GARAGE

DORCHESTER II
ALL OPTIONS EXCEPT FOR WRAP-AROUND PORCH W/ 4' WIDTH

SOMERSET
ALL OPTIONS AND ELEVATIONS AVAILABLE

HUNTINGTON
ALL OPTIONS EXCEPT FOR SUNROOM



CALVERT II
OPTION 1
ALL OPTIONS EXCEPT FOR CONSERVATORY WITH 3 CAR GARAGE

OPTION 2
ALL OPTIONS EXCEPT FOR 3 CAR GARAGE

OPTION 3
ALL OPTIONS EXCEPT FOR 3 CAR GARAGE

WILLIAM DEAVEN
ALL OPTIONS AND ELEVATIONS AVAILABLE

THOMAS GOODWIN
ALL OPTIONS EXCEPT FOR 3 CAR GARAGE

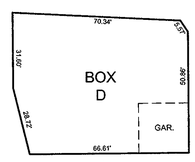
JACOB TYLER
ALL OPTIONS AND ELEVATIONS AVAILABLE

JAMES RANDOLPH
ALL OPTIONS EXCEPT FOR 3 CAR GARAGE

DORCHESTER II
ALL OPTIONS AND ELEVATIONS AVAILABLE

SOMERSET
ALL OPTIONS AND ELEVATIONS AVAILABLE

HUNTINGTON
ALL OPTIONS EXCEPT FOR SUNROOM



CALVERT II
OPTION 1
ALL OPTIONS EXCEPT FOR CONSERVATORY WITH 3 CAR GARAGE

OPTION 2
ALL OPTIONS EXCEPT FOR 3 CAR GARAGE OR MORNING ROOM

OPTION 3
ALL OPTIONS EXCEPT FOR MORNING ROOM

WILLIAM DEAVEN
ALL OPTIONS AND ELEVATIONS AVAILABLE

THOMAS GOODWIN
ALL OPTIONS AND ELEVATIONS AVAILABLE

JACOB TYLER
NOT AVAILABLE

JAMES RANDOLPH
ALL OPTIONS EXCEPT FOR BRICK W/ 3 CAR GARAGE

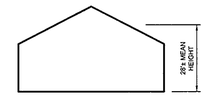
DORCHESTER II
ALL OPTIONS AND ELEVATIONS AVAILABLE

SOMERSET
ALL OPTIONS AND ELEVATIONS AVAILABLE

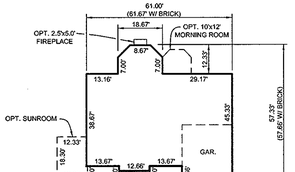
HUNTINGTON
ALL OPTIONS EXCEPT FOR SUNROOM

NOTE:
ALL OPTIONS AND ELEVATIONS FIT WITHIN THE HOUSE MODEL BOX UNLESS OTHERWISE NOTED.

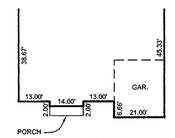
GENERIC HOUSE MODEL BOXES
SCALE:1=30'



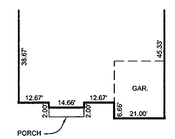
PROFILE



ELEVATION 1



ELEVATION 2



ELEVATION 3

HUNTINGTON
SCALE:1=30'

OWNER/DEVELOPER
WILLIAMSBURG GROUP, LLC
C/O ROBERT CORBETT
5485 HARPERS FARM ROAD, SUITE 200
COLUMBIA, MD 21044
410.997.8800

APPROVED
PLANNING BOARD
of HOWARD COUNTY
DATE JULY 19, 2007

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE 10/9/07
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE 11/6/07
DIRECTOR	DATE 11/6/07

NO.	DESCRIPTION	DATE

REVISIONS

HOUSE MODEL TEMPLATES

TROTTER PINES

LOTS 1-4 AND OPEN SPACE LOT 5
SINGLE FAMILY DETACHED DWELLINGS

TAX MAP 35 GRID 14 PARCEL 157
5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

STATE OF MARYLAND · PAUL M. SILL · No. 32025 · PROFESSIONAL ENGINEER

Sill · Adcock & Associates · LLC
Engineers · Surveyors · Planners
3300 North Ridge Road, Suite 160
Ellicott City, Maryland 21043
Phone: 443.325.7682 Fax: 443.325.7685
Email: info@saaland.com

DESIGN BY: JT
DRAWN BY: JT
CHECKED BY: PS
SCALE: AS SHOWN
DATE: OCT. 15, 2007
PROJECT #: 06-016
SHEET #: 3 OF 4

SDP-07-030

MGWC 2.: PUMP-AROUND PRACTICE

DESCRIPTION:
THE WORK SHALL CONSIST OF INSTALLING A TEMPORARY PUMP AROUND AND SUPPORTING MEASURES TO DIVERT FLOW AROUND IN-STREAM CONSTRUCTION SITES.

IMPLEMENTATION SEQUENCE
SEDIMENT CONTROL MEASURES, PUMP AROUNDS, AND ASSOCIATED CHANNEL AND BANK CONSTRUCTION SHALL BE COMPLETED IN THE FOLLOWING SEQUENCE:

1. CONSTRUCTION ACTIVITIES INCLUDING THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES SHALL NOT BEGIN UNTIL ALL NECESSARY EASEMENTS AND/OR RIGHT-OF-WAYS HAVE BEEN ACQUIRED. ALL EXISTING UTILITIES SHALL BE MARKED IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES THAT MAY RESULT FROM CONSTRUCTION AND SHALL REPAIR THE DAMAGE AT HIS/HER OWN EXPENSE TO THE COUNTY'S SATISFACTION.
2. THE CONTRACTOR SHALL NOTIFY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT OR WMA SEDIMENT CONTROL INSPECTOR AT LEAST 5 DAYS BEFORE BEGINNING CONSTRUCTION. ADDITIONALLY, THE CONTRACTOR SHALL INFORM THE LOCAL ENVIRONMENTAL PROTECTION AND RESOURCE MANAGEMENT INSPECTION AND ENFORCEMENT DIVISION AND THE PROVIDER OF LOCAL UTILITIES A MINIMUM OF 48 HOURS BEFORE STARTING CONSTRUCTION.
3. THE CONTRACTOR SHALL CONDUCT A PRE-CONSTRUCTION MEETING ON SITE WITH THE WMA SEDIMENT CONTROL INSPECTOR, THE COUNTY PROJECT MANAGER, AND THE ENGINEER TO REVIEW LIMITS OF DISTURBANCE, EROSION AND SEDIMENT CONTROL REQUIREMENTS, AND THE SEQUENCE OF CONSTRUCTION. (THE CONTRACTOR SHALL STAKE OUT ALL LIMITS OF DISTURBANCE PRIOR TO THE PRE-CONSTRUCTION MEETING.) THE PARTICIPANTS WILL ALSO DESIGNATE THE CONTRACTOR'S STAGING AREAS AND FLAG ALL TREES WITHIN THE LIMIT OF DISTURBANCE WHICH WILL BE REMOVED FOR CONSTRUCTION ACCESS. TREES SHALL NOT BE REMOVED WITHIN THE LIMIT OF DISTURBANCE WITHOUT APPROVAL FROM THE WMA OR LOCAL AUTHORITY.
4. CONSTRUCTION SHALL NOT BEGIN UNTIL ALL SEDIMENT AND EROSION CONTROL MEASURES HAVE BEEN INSTALLED AND APPROVED BY THE ENGINEER AND THE SEDIMENT CONTROL INSPECTOR. THE CONTRACTOR SHALL STAY WITHIN THE LIMITS OF THE DISTURBANCE AS SHOWN ON THE PLANS AND MINIMIZE DISTURBANCE WITHIN THE WORK AREA WHENEVER POSSIBLE.
5. UPON INSTALLATION OF ALL SEDIMENT CONTROL MEASURES AND APPROVAL BY THE SEDIMENT CONTROL INSPECTOR AND THE LOCAL ENVIRONMENTAL PROTECTION AND RESOURCE MANAGEMENT INSPECTION AND ENFORCEMENT DIVISION, THE CONTRACTOR SHALL BEGIN WORK AT THE UPSTREAM SECTION AND PROCEED DOWNSTREAM BEGINNING WITH THE ESTABLISHMENT OF STABILIZED CONSTRUCTION ENTRANCES. THE SEQUENCE OF CONSTRUCTION MUST BE FOLLOWED UNLESS THE CONTRACTOR GETS WRITTEN APPROVAL FOR DEVIATIONS FROM THE WMA OR LOCAL AUTHORITY. THE CONTRACTOR SHALL ONLY BEGIN WORK IN AN AREA WHICH CAN BE COMPLETED BY THE END OF THE DAY (INCLUDING GRADING ADJACENT TO THE CHANNEL). AT THE END OF EACH WORK DAY, THE WORK AREA MUST BE STABILIZED AND THE PUMP AROUND REMOVED FROM THE CHANNEL. WORK SHALL NOT BE CONDUCTED IN THE CHANNEL DURING RAIN EVENTS.
6. SANDBAG DIKES SHALL BE SITUATED AT THE UPSTREAM AND DOWNSTREAM ENDS FO THE WORK AREA AS SHOWN ON THE PLANS, AND STREAM FLOW SHALL BE PUMPED AROUND THE WORK AREA. THE PUMP SHALL DISCHARGE ONTO A STABLE VELOCITY DISSIPATER MADE OF RIPRAP OR SANDBAGS.
7. WATER FROM THE WORK AREA SHALL BE PUMPED TO SEDIMENT FILTERING MEASURE SUCH AS A SEDIMENT BAG. THE MEASURE SHALL BE LOCATED SUCH THAT THE WATER DRAINS BACK INTO THE CHANNEL BELOW THE DOWNSTREAM SANDBAG DIKE.
8. TRAVERSING A CHANNEL REACH WITH EQUIPMENT WHERE NO WORK IS PROPOSED SHOULD BE AVOIDED. IF EQUIPMENT HAS TO TRAVERSE SUCH A REACH FOR ACCESS TO ANOTHER AREA, THEN TIMBER MATS OR SIMILAR MEASURES SHALL BE USED TO MINIMIZE DISTURBANCE TO THE CHANNEL. TEMPORARY STREAM CROSSINGS SHALL BE USED ONLY WHEN NECESSARY AND ONLY WHERE NOTED ON THE PLANS OR SPECIFIED BY THE ENGINEER.
9. ALL STEAM RESTORATION MEASURES SHALL BE INSTALLED AS INDICATED BY THE PLANS AND ALL BANKS GRADED IN ACCORDANCE WITH THE GRADING PLANS AND TYPICAL CORSS-SECTIONS. ALL GRADING MUST BE PERMANENTLY STABILIZED AT THE END OF EACH DAY WITH SEED AND MULCH OR SEED AND MATTING AS SPECIFIED ON THE PLANS.
10. AFTER AN AREA IS COMPLETED AND STABILIZED, SANDBAG DIVERSIONS, THE WATER PUMP, AND SEDIMENT FILTERING MEASURE SHALL BE MOVED TO THE NEXT WORK AREA. THIS SHALL BE ACCOMPLISHED BY FIRST MOVING THE DOWNSTREAM SANDBAG DIKE TO THE NEW UPSTREAM PUMP AROUND LOCATION AND THEN BY RELOCATING THE UPSTREAM SANDBAG DIKE, VELOCITY DISSIPATER, AND SEDIMENT FILTER TO THE NEW DOWNSTREAM LOCATION.
11. A PUMP AROUND MUST BE INSTALLED ON ANY TRIBUTARY OR STORM DRAIN OUTFALL WHICH CONTRIBUTES BASE-FLOW TO THE WORK AREA. THIS SHOULD BE ACCOMPLISHED BY LOCATING A SANDBAG DIKE AT THE DOWNSTREAM END OF THE TRIBUTARY OR STORM DRAIN OUTFALL AND PUMPING THE STEAM FLOW AROUND THE WORK AREA. THIS WATER SHOULD DISCHARGE ONTO THE SAME VELOCITY DISSIPATER USED FOR THE MAIN STEM PUMP AROUND.
12. IF A TRIBUTARY IS TO BE RESTORED, CONSTRUCTION SHOULD TAKE PLACE ON THE TRIBUTARY BEFORE WORK ON THE MAIN STEM REACHES THE TRIBUTARY CONFLUENCE. CONSTRUCTION IN THE TRIBUTARY, INCLUDING PUMP AROUND PRACTICES, SHALL FOLLOW THE SAME SEQUENCE AS FOR THE MAIN STEM OF THE RIVER OR STREAM. WHEN CONSTRUCTION ON THE TRIBUTARY IS COMPLETED, WORK ON THE MAIN STEM SHALL RESUME. WATER FROM THE TRIBUTARY SHALL CONTINUE TO BE PUMPED AROUND THE WORK AREA IN THE MAIN STEM.
13. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ACCESS TO AND MAINTAINING ALL EROSION AND SEDIMENT CONTROL DEVICES UNTIL THE SEDIMENT CONTROL INSPECTOR APPROVED THEIR REMOVAL.
14. AFTER CONSTRUCTION, ALL DISTURBED AREAS SHALL BE REGRADED AND REVEGETATED AS PER THE PLANTING PLAN.

BEST MANAGEMENT PRACTICES FOR WORKING IN NONTIDAL WETLANDS, WETLAND BUFFERS, WATERWAYS, AND 100-YEAR FLOODPLAINS

1. NO EXCESS FILL, CONSTRUCTION MATERIAL, OR DEBRIS SHALL BE STOCKPILES OR STORED IN NONTIDAL WETLANDS, NON-TIDAL WETLAND BUFFERS, WATERWAYS, OR 100 YEAR FLOODPLAIN.

2. PLACE MATERIALS IN A LOCATION AND MANNER WHICH DOES NOT ADVERSELY IMPACT SURFACE OR SUBSURFACE WATER FLOW INTO OR OUT OF NONTIDAL WETLANDS, NONTIDAL WETLAND BUFFERS, WATERWAYS, OR THE 100-YEAR FLOOD PLAIN.

3. DO NOT USE THE EXCAVATED MATERIAL AS BACKFILL IF IT CONTAINS WASTE METAL PRODUCTS, UNSIGHTLY DEBRIS, TOXIC MATERIAL, OR ANY OTHER DELETERIOUS SUBSTANCE. IF ADDITIONAL BACKFILL IS REQUIRED, USE CLEAN MATERIAL FREE OF WASTE METAL PRODUCTS, UNSIGHTLY DEBRIS, TOXIC MATERIAL, OR ANY OTHER DELETERIOUS SUBSTANCE.

4. PLACE HEAVY EQUIPMENT ON MATS OR SUITABLY OPERATE THE EQUIPMENT TO PREVENT DAMAGE TO NONTIDAL WETLANDS, NONTIDAL WETLAND BUFFERS, WATERWAYS, OR THE 100-YEAR FLOODPLAIN.

5. REPAIR AND MAINTAIN ANY SERVICEABLE STRUCTURE OR FILL SO THERE IS NO PERMANENT LOSS OF NONTIDAL WETLANDS, NONTIDAL WETLAND BUFFERS, OR WATERWAYS. OR PERMANENT MODIFICATION OF THE 100-YEAR FLOODPLAIN IN EXCESS OF THAT LOST UNDER THE ORIGINALLY AUTHORIZED STRUCTURE OR FILL.

6. RECTIFY ANY NONTIDAL WETLANDS, WETLAND BUFFERS, WATERWAYS OR 100-YEAR FLOODPLAIN TEMPORARILY IMPACTED BY ANY CONSTRUCTION.

7. ALL STABILIZATION IN THE NONTIDAL WETLAND AND NONTIDAL WETLAND BUFFER SHALL CONSIST OF THE FOLLOWING SPECIES:

ANNUAL RYE GRASS (Lolium multiflorum)
MILLET (Setaria italica)
BARLEY (Hordeum sp.)
OATS (Uniola sp.)
RYE (Secale cereale)

THESE SPECIES WILL ALLOW FOR THE STABILIZATION OF THE SITE WHILE ALSO ALLOWING FOR THE VOLUNTARY REVEGETATION OF NATURAL WETLAND SPECIES. OTHER NON-PERSISTENT VEGETATION MAY BE ACCEPTABLE, BUT MUST BE APPROVED BY THE NONTIDAL WETLANDS AND WATERWAYS DIVISION. KENTUCKY 31 FESCUE SHALL NOT BE UTILIZED IN WETLAND OR BUFFER AREAS. THE AREA SHOULD BE SEEDED AND MULCHED TO REDUCE EROSION AFTER CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED.

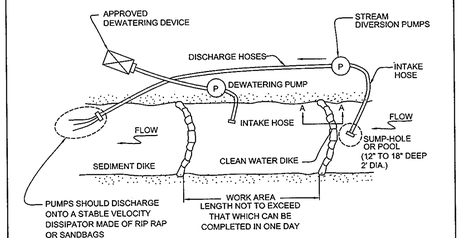
8. AFTER INSTALLATION HAS BEEN COMPLETED, MAKE POST-CONSTRUCTION GRADES AND ELEVATIONS THE SAME AS THE ORIGINAL GRADES AND ELEVATIONS IN TEMPORARILY IMPACTED AREAS.

9. TO PROTECT AQUATIC SPECIES, IN-STREAM WORK IS PROHIBITED AS DETERMINED BY THE CLASSIFICATION OF THE STREAM
USE I WATERS: IN STREAM WORK SHALL BE CONDUCTED DURING THE PERIOD MARCH 1 THROUGH JUNE 15, INCLUSIVE, DURING ANY YEAR.

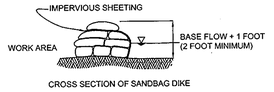
10. STORMWATER RUNOFF FROM IMPERVIOUS SURFACES SHALL BE CONTROLLED TO PREVENT THE WASHING OF DEBRIS INTO THE WATERWAY.

11. CULVERTS SHALL BE CONSTRUCTED AND ANY RIPRAP PLACED SO AS NOT TO OBSTRUCT THE MOVEMENT OF AQUATIC SPECIES, UNLESS THE PURPOSE OF THE ACTIVITY IS TO IMPOUND WATER.

DETAIL 1.2: PUMP-AROUND PRACTICE



PLAN VIEW



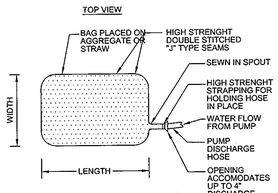
CROSS SECTION OF SANDBAG DIKE

SECTION A-A

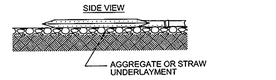
TEMPORARY INSTREAM CONSTRUCTION MEASURES	REVISED NOVEMBER 2000 PAGE 1.2 - 3	MARYLAND DEPARTMENT OF THE ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

FILTERBAG

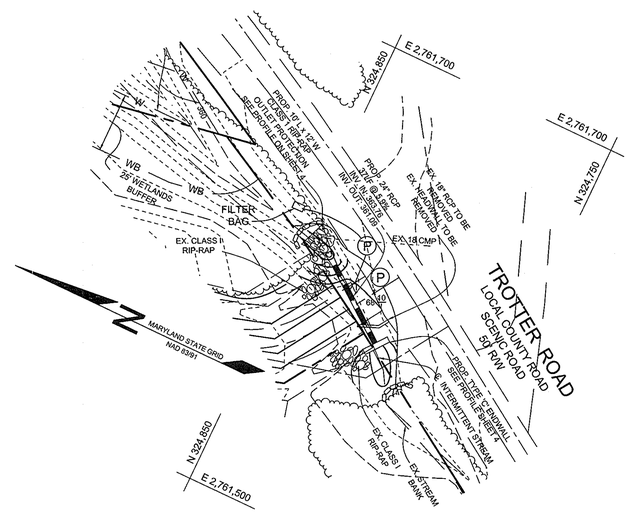
TOP VIEW



SIDE VIEW

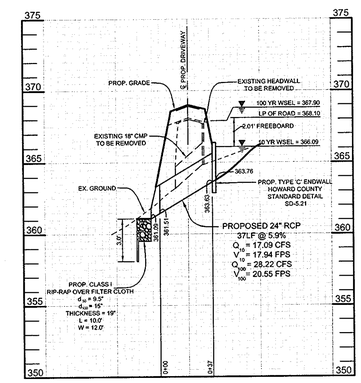


U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE		MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

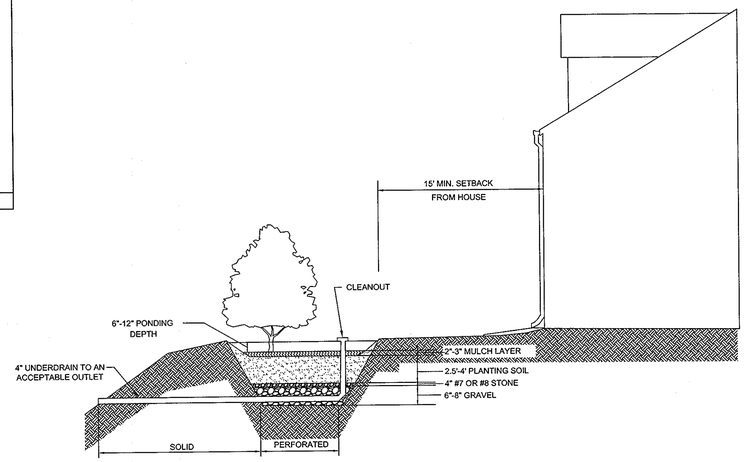


STREAM DIVERSION PLAN
SCALE: 1"=30'

NOTE: PUMP AROUND PRACTICE LOCATION IS SCHEMATIC



CULVERT PROFILE
SCALE: HORZ.: 1"=50'
VERT.: 1"=5'



TYPICAL RAINGARDEN SECTION
NOT TO SCALE

RAINGARDEN CHART

NUMBER	LOCATION	SIZE	BOTTOM ELEVATION	PONDING DEPTH	GRAVEL DEPTH (Rev STORAGE)	UNDERDRAIN ELEVATION	WEIR ELEVATION
1	LOT 2	50 SF	386.00	0.5'	2.5'	382.50	386.50
2	LOT 2	50 SF	386.10	0.5'	2.5'	382.60	386.60
3	LOT 2	50 SF	386.30	0.5'	2.5'	382.80	386.80
4	LOT 3	50 SF	385.30	0.5'	2.5'	381.80	385.80
5	LOT 3	50 SF	383.00	0.5'	2.5'	379.50	383.50
6	LOT 3	50 SF	386.00	0.5'	2.5'	382.50	386.50

RAINGARDEN PLANT LIST

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
1		PLATANUS x ACERIFOLIA	LONDON PLANE TREE	2-1/2" - 3" CAL.
1		ILEX GLABRA	INK BERRY	2' - 3' HT.
6		LOBELIA CARDINALIS	CARDINAL FLOWER LOBELIA	1 GAL. CONTAINER
4		DRYOPTERIS SP.	WOOD FERN	1 GAL. CONTAINER
3		ASTER NOVAE-ANGLIAE	NEW ENGLAND ASTER	1 GAL. CONTAINER

TOTAL: 13 PERENNIALS, 1SHRUB, 1 TREE (PER EACH RAINGARDEN)

RAINGARDEN PLANTING DETAIL
NOT TO SCALE

APPROVED
PLANNING BOARD
of HOWARD COUNTY
DATE JULY 19, 2007

APPROVED
PLANNING BOARD
HOWARD COUNTY
DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE 11.5.07
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE 11/6/07
DIRECTOR	DATE 11/6/07

NO.	DESCRIPTION	DATE

REVISIONS

OWNER/DEVELOPER
WILLIAMSBURG GROUP, LLC
C/O ROBERT CORBETT
5485 HARPERS FARM ROAD, SUITE 200
COLUMBIA, MD 21044
410.997.8800

STREAM CROSSING AND RAINGARDEN DETAILS

TROTTER PINES

LOTS 1-4 AND OPEN SPACE LOT 5
SINGLE FAMILY DETACHED DWELLINGS

TAX MAP 35 GRID 14 PARCEL 157
5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

STATE OF MARYLAND · JULIE M. SILL · No. 32025 · PROFESSIONAL ENGINEER

Sill · Adcock & Associates · LLC
Engineers · Surveyors · Planners
3300 North Ridge Road, Suite 160
Ellicott City, Maryland 21043
Phone: 443.325.7682 Fax: 443.325.7685
Email: info@saaland.com

DESIGN BY: JT
DRAWN BY: JT
CHECKED BY: PS
SCALE: AS SHOWN
DATE: OCT. 15, 2007
PROJECT #: 06-016
SHEET #: 4 OF 4

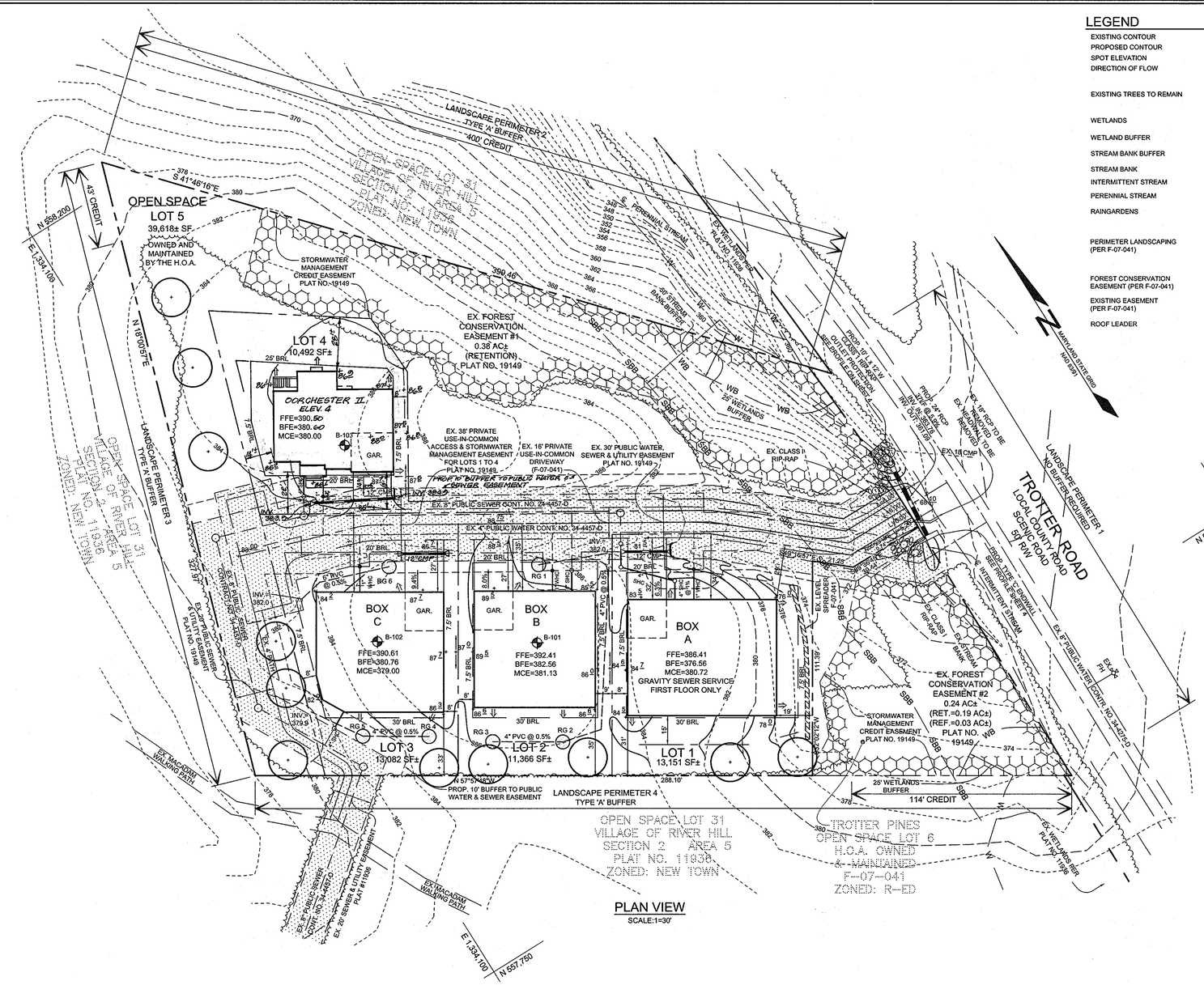
SDP-07-030

GENERAL NOTES

1. THIS PROPERTY IS ZONED R-ED PER THE 02/02/04 COMPREHENSIVE ZONING PLAN AND THE "COMP LITE" ZONING AMENDMENTS EFFECTIVE 07/28/06.
2. GROSS AREA OF PROPERTY = 2.01 AC.±
3. THIS PROPERTY IS IN THE METROPOLITAN DISTRICT.
4. PUBLIC WATER AND PUBLIC SEWER WILL BE USED WITHIN THIS SITE.
5. THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES OR AGENCIES AT LEAST FIVE (5) WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE PLANS:

STATE HIGHWAY ADMINISTRATION	410.531.5533
BGE(CONTRACTOR SERVICES)	410.850.4620
BGE(UNDERGROUND DAMAGE CONTROL)	410.787.5068
MISS UTILITY	800.257.7777
COLONIAL PIPELINE COMPANY	410.795.1390
HOWARD COUNTY, DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES	410.313.4900
HOWARD COUNTY HEALTH DEPARTMENT	410.313.2840
AT&T	800.252.1133
VERIZON	800.743.0033/410.224.9210

6. PREVIOUS HOWARD COUNTY FILE NUMBERS: F-07-041, PLAT #11936, CONTRACT #34-4275-D, CONTRACT #30-3387-D.
7. BOUNDARY SHOWN HEREON IS BASED ON A BOUNDARY SURVEY PREPARED BY SILL, ADCOCK & ASSOCIATES, LLC, DATED AUGUST 2006.
8. TOPOGRAPHY IS BASED ON A FIELD RUN TOPOGRAPHICAL SURVEY PERFORMED BY SILL, ADCOCK & ASSOCIATES, LLC, DATED AUGUST 2006.
9. THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
10. ANY DAMAGE TO PUBLIC RIGHT-OF WAYS, PAVING OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
11. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR THE START OF WORK.
12. THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP, WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
13. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY IN ADDITION TO MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
14. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN APPROVED.
15. EXISTING UTILITIES ARE LOCATED BY THE USE OF ANY OR ALL OF THE FOLLOWING: ROAD CONSTRUCTION PLANS, FIELD SURVEYS, PUBLIC WATER AND SEWER PLANS AND OTHER AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF THE EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTORS INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO THE CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
16. ALL HDPE PIPE SPECIFICATION AND INSTALLATION SHALL MEET AASHTO M-252 TYPE S, M-294 TYPE S AND ASTM D2321, RESPECTIVELY.
17. SOIL COMPACTION SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER. DRIVEWAY PAVING TO BE HOWARD COUNTY STANDARD P-1 PAVING SECTION (SEE DETAIL, THIS SHEET). GEOTECHNICAL ENGINEER TO CONFIRM ACCEPTABILITY OF PROPOSED PAVING SECTION, BASED ON SOIL TEST, PRIOR TO CONSTRUCTION.
18. ESTIMATES OF EARTHWORK QUANTITIES ARE PROVIDED SOLELY FOR THE PURPOSE OF CALCULATING FEES.
19. ALL TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
20. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED ON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENTS 35DA AND 35DB WERE USED FOR THIS PROJECT.
21. IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS MAY NOT BE MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
22. DRIVEWAY(S) SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING REQUIREMENTS:
    a) WIDTH - 12 FEET (16 FEET SERVING MORE THAN ONE RESIDENCE);
    b) SURFACE - SIX (6") INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1-1/2" MINIMUM);
    c) GEOMETRY - MAXIMUM 14% GRADE, MAXIMUM 10% GRADE CHANGE AND 45-FOOT TURNING RADIUS;
    d) STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25-LOADING);
    e) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE;
    f) MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE
23. DRIVEWAY ENTRANCE TO BE PER HOWARD COUNTY STANDARD DETAIL R-6.06.
24. SEWER HOUSE CONNECTION (SHC) TO BE AT 2.0% UNLESS OTHERWISE NOTED. CLEANOUTS ARE TO BE PROVIDED AT ALL BENDS.
25. A WAIVER OF BASEMENT GRAVITY SEWER SERVICE FOR LOT 1 WAS APPROVED OCTOBER 6, 2006. GRAVITY SEWER SERVICE PROVIDED FOR FIRST FLOOR ONLY. BASEMENT SEWER SERVICE TO BE PROVIDED BY PRIVATE ON-SITE PUMP.
26. NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAM(S) OR THEIR BUFFERS, FOREST CONSERVATION EASEMENT AREAS AND 100 YEAR FLOODPLAIN.
27. A WETLAND DELINEATION WAS PERFORMED BY EXPLORATION RESEARCH INC., DATED AUGUST 2003, AND APPROVED UNDER F-07-041.
28. THERE ARE NO WETLANDS, FLOODPLAINS, HISTORIC STRUCTURES OR CEMETARIES LOCATED ONSITE.
29. A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
30. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE OF SECTION 16.124 OF HOWARD COUNTY CODE AND LANDSCAPE MANUAL.
31. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING SHALL BE POSTED UNDER A DEVELOPERS AGREEMENT IN THE AMOUNT OF $3,300.00 FOR 11 SHADE TREES WITH THIS SITE DEVELOPMENT PLAN.
32. THIS PROJECT COMPLIES WITH THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY THE RETENTION OF 0.57 ACRES OF FOREST AND THE REFORESTATION OF 0.03 ACRES AND WAS APPROVED UNDER F-07-041. FINANCIAL SURETY HAS BEEN PAID AS PART OF THE DEVELOPER'S AGREEMENT UNDER F-07-041.
33. THIS SITE IS EXEMPT FROM STORMWATER MANAGEMENT REQUIREMENTS FOR CHANNEL PROTECTION. STORMWATER MANAGEMENT REQUIREMENTS FOR WATER QUALITY AND RECHARGE FOR THIS SITE HAVE BEEN PROVIDED FOR BY THE FOLLOWING METHODS AND APPROVED UNDER F-07-041:
    DRIVEWAYS:
        GRASS CHANNEL CREDIT
    HOUSES:
        RAINGARDENS - LOTS 2 AND 3 (3 EACH) AND SHEET FLOW TO BUFFER CREDIT - LOTS 1 AND 4
34. RAINGARDENS ARE DESIGNED TO TREAT 1,000 SF MAXIMUM OF ROOFTOP EACH. ADDITIONAL RAINGARDENS WILL BE REQUIRED IF THE ROOF AREA EXCEEDS THE ALLOWABLE AREA THE RAINGARDENS PROVIDED HAVE BEEN DESIGNED FOR.
35. THE STORMWATER MANAGEMENT PRACTICES (RAINGARDENS) LOCATED ON LOTS 2 AND 3 ARE TO BE OWNED AND MAINTAINED BY THE PROPERTY OWNERS AND SURETY FOR THEM SHALL BE PAID WITH THE DEVELOPER'S AGREEMENT. RAINGARDENS SHALL BE BONDED AT A RATE OF $6,000.00 PER RAINGARDEN FOR A TOTAL OF $36,000.00 (6 x $6,000.00).
36. RAINGARDENS SHALL BE A MINIMUM OF 15' FROM ANY DWELLING.
37. EXISTING SEDIMENT CONTROLS, APPROVED UNDER F-07-041, ARE TO BE UTILIZED THROUGHOUT THE CONSTRUCTION OF LOTS 1-4.

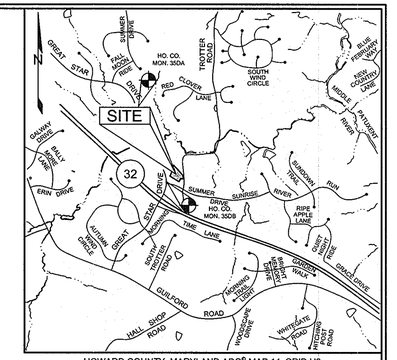


PLAN VIEW

SCALE:1=30'

LEGEND

- EXISTING CONTOUR — 382
- PROPOSED CONTOUR — 382
- SPOT ELEVATION + 82.53
- DIRECTION OF FLOW
- EXISTING TREES TO REMAIN
- WETLANDS — W —
- WETLAND BUFFER — WB —
- STREAM BANK BUFFER — SBB —
- STREAM BANK
- INTERMITTENT STREAM
- PERENNIAL STREAM
- RAINGARDENS — RG
- PERIMETER LANDSCAPING (PER F-07-041)
- FOREST CONSERVATION EASEMENT (PER F-07-041)
- EXISTING EASEMENT (PER F-07-041)
- ROOF LEADER



HOWARD COUNTY, MARYLAND ADC© MAP 14, GRID H9

VICINITY MAP

SCALE:1=2000'

BENCHMARKS

NUMBER	NORTHING	EASTING	ELEVATION	DESCRIPTION
35DA	558,918.6174	1,333,137.3310	351.68'	1.6' NORTH OF CONCRETE INLET 3.9' EAST OF CONCRETE SIDEWALK
35DB	557,696.1467	1,333,974.5934	401.71'	7.3' EAST OF FACE OF CONCRETE CURB 46.9' NORTH OF LIGHT POLE

MINIMUM LOT SIZE CHART

LOT NUMBER	GROSS AREA (sf)	PIPESTEM AREA (sf)	MINIMUM LOT SIZE
1	13,151±	354±	12,797±
2	11,366±	958±	10,408±
3	13,082±	1,414±	11,668±
4	10,492±	1,546±	8,946±

SITE ANALYSIS DATA CHART

TOTAL PROJECT AREA 2.01 AC±	AREA OF SUBMISSION 2.01 AC.±	DISTURBED AREA 0.79 AC	PRESENT ZONING R-ED
PROPOSED USE RESIDENTIAL	FLOOR SPACE PER USE NA	TOTAL UNITS ALLOWED 4	TOTAL UNITS PROPOSED 4
MAX. # EMPLY./TENANTS NA	PARKING SPACES REQ. 2 PER DWELLING	PARKING SPACES PROV. 2 PER DWELLING	HC SPACES PROVIDED NA
OPEN SPACE REQUIRED NA	OPEN SPACE PROVIDED F-07-041	REC. O.S. REQUIRED NA	REC. O.S. PROVIDED NA
BUILDING COVERAGE NA	FLOOR AREA RATIO NA	DPZ FILE REFERENCES F-07-041, PLAT NO. 11936, CONT NO. 34-4275-D, CONT NO. 30-3387-D	

PERMIT INFORMATION CHART

SUBDIVISION NAME TROTTER PINES				SECTION / AREA NA	PARCEL # 157
PLAT 19149	GRID # 14	ZONING R-ED	TAX MAP # 35	ELECT. DIS. 5TH	CENSUS TRACT 6055.01
WATER CODE I-13			SEWER CODE 6653000		

ADDRESS CHART

LOT	STREET ADDRESS
1	6298 TROTTER ROAD
2	6296 TROTTER ROAD
3	6294 TROTTER ROAD
4	6292 TROTTER ROAD

SHEET INDEX

SHEET NO.	DESCRIPTION
1	SITE DEVELOPMENT AND LANDSCAPE PLAN
2	SEDIMENT AND EROSION CONTROL PLAN, NOTES AND DETAILS
3	HOUSE MODEL TEMPLATES
4	STREAM CROSSING AND RAINGRADEN DETAILS

OWNER/DEVELOPER

WILLIAMSBURG GROUP, LLC
C/O ROBERT CORBETT
5485 HARPERS FARM ROAD, SUITE 200
COLUMBIA, MD 21044
410.997.8800

LANDSCAPE NOTES

1. AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREWITH LISTED AND APPROVED FOR THIS SITE, SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.
2. THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
3. FINANCIAL SURETY FOR THE REQUIRED 11 PERIMETER SHADE TREES IN THE AMOUNT OF $3,300.00 (11 x $300.00) WILL BE PAID WITH THE DEVELOPER'S AGREEMENT.

APPROVED
PLANNING BOARD
of HOWARD COUNTY
DATE July 19, 2007

SCHEDULE A
PERIMETER LANDSCAPE EDGE

CATEGORY	ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES		
	1	2	3	4
PERIMETER/FRONTAGE DESIGNATION LANDSCAPE TYPE	NA*	A	A	A
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	252	400	328	419
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) REMAINING PERIMETER LENGTH	NO	YES** 400	YES** 43	YES** 114
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) REMAINING PERIMETER LENGTH	NO	NO	NO	NO
NUMBER OF PLANTS REQUIRED SHADE TREES EVERGREEN TREES SHRUBS	- - -	1:60 = 0 - -	1:60 = 5 - -	1:60 = 6 - -
NUMBER OF PLANTS PROVIDED SHADE TREES EVERGREEN TREES OTHER TREES (2:1 SUBSTITUTION) SHRUBS (10:1 SUBSTITUTION) (DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)	- - - - -	0 - - - -	5 - - - -	6 - - - -

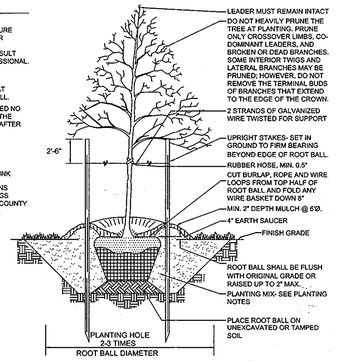
*HOUSES FRONT ROAD
**CREDIT FOR EXISTING TREES

LANDSCAPE SCHEDULE

KEY	QUANTITY	BOTANICAL NAME	SIZE	NOTE
+	11	ACER RUBRUM 'OCTOBER GLORY' OCTOBER GLORY RED MAPLE	2 1/2"-3" CAL.	B & B

NOTES

1. CONSULT INTERNATIONAL SOCIETY OF ARBORICULTURE GUIDELINES FOR FURTHER DETAILS OF PLANTING SPECIFICATIONS, OR CONSULT WITH A QUALIFIED PROFESSIONAL.
2. EACH TREE SHALL BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL.
3. STAKES SHALL BE REMOVED NO LATER THAN THE END OF THE FIRST GROWING SEASON AFTER PLANTING.
4. PLACE UPRIGHT STAKES PARALLEL TO WALKS & BUILDINGS.
5. KEEP MULCH 1" FROM TRUNK
6. SEE ARCHITECTURAL PLANS FOR ADDITIONAL PLANTINGS WHICH EXCEED HOWARD COUNTY MINIMUM REQUIREMENTS.
7. TREES ARE NOT TO BE PLANTED OVER PRIVATE SEWAGE EASEMENT.



TYPICAL TREE PLANTING AND STAKING

DECIDUOUS TREES UP TO 2-1/2" CALIPER — NOT TO SCALE

APPROVED
PLANNING BOARD
of HOWARD COUNTY

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE 11/9/10
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE 11/6/10
DIRECTOR	DATE 11/6/10

NO.	DESCRIPTION	DATE
1	SHOW AS-BUILT CONDITIONS LOT 4	8.2.08
	REVISIONS	

SITE DEVELOPMENT AND LANDSCAPE PLAN

TROTTER PINES

LOTS 1-4 AND OPEN SPACE LOT 5

SINGLE FAMILY DETACHED DWELLINGS

TAX MAP 35 GRID 14 PARCEL 157
5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

STATE OF MARYLAND · PAUL M. SILL · No. 22025 · PROFESSIONAL ENGINEER

Sill · Adcock & Associates · LLC
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3300 North Ridge Road, Suite 160
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SHEET #: 1 OF 4

SDP-07-030