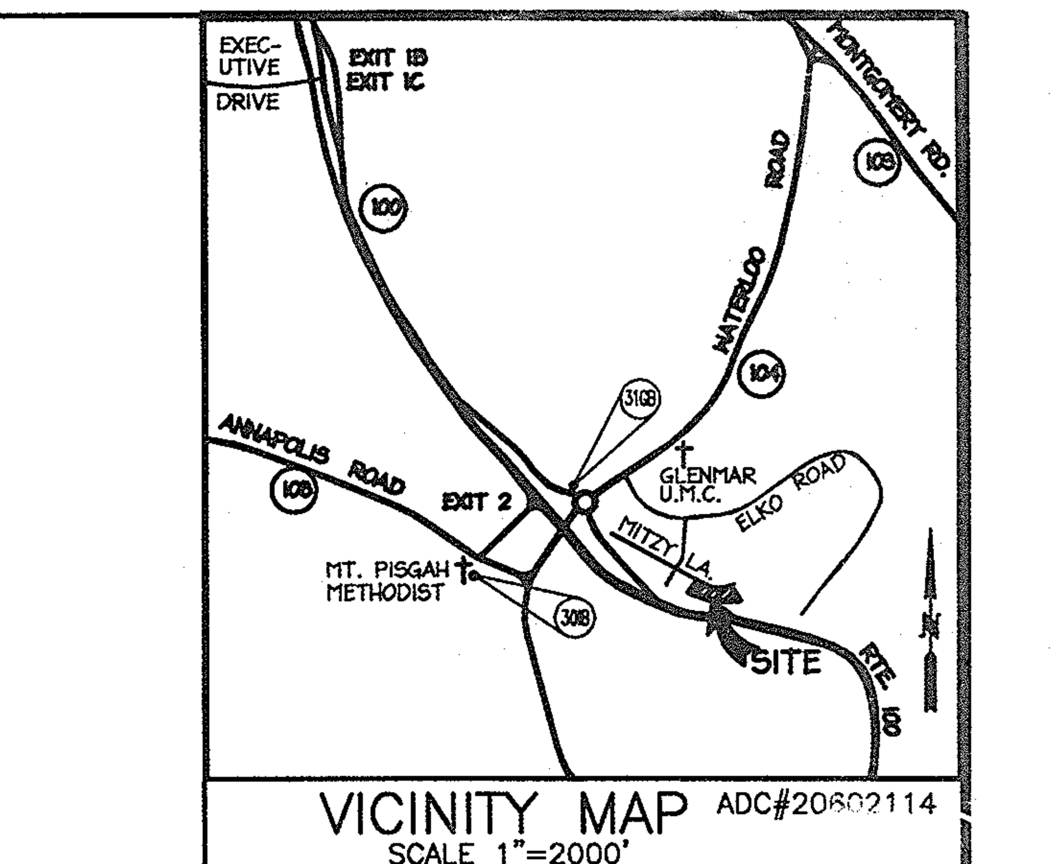
SHEET INDEX

NO.	TITLE
1	COVER SHEET
2	EXISTING CONDITIONS PLAN
3	SITE DEVELOPMENT PLAN
4	EROSION AND SEDIMENT CONTROL PLAN
5	EROSION AND SEDIMENT CONTROL NOTES & DETAILS
6	LANDSCAPE PLAN, NOTES AND DETAILS

SITE DEVELOPMENT PLAN
GLENMAR, SECTION 2, LOTS 115 AND 119
1st ELECTION DISTRICT
HOWARD COUNTY, MARYLAND



VICINITY MAP ADC#20602114
SCALE 1"=2000'

HOWARD COUNTY, MAP 16, GRID F-
HOWARD COUNTY CONTROL STATIONS:
SURVEY BENCH MARK= 31GM2
GEODETIC CONTROL= 31GB

BENCH MARKS

BM#	NORTHING	EASTING	ELEVATION
TR1	505890.372	856311.174	459.93
TR5	505995.635	855900.737	472.58

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOL. IV "STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION" AND MSHA STANDARDS AND SPECIFICATIONS.

2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/ CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK. THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS BUREAU OF HIGHWAYS AT (410) 313-2450 AT LEAST FIVE (5) WORKING DAYS BEFORE ANY OPEN CUT OF ANY COUNTY ROAD OR BORING/JACKING OPERATION IN COUNTY ROADS FOR LAYING WATER AND SEWER MAINS OR HOUSE CONNECTIONS.

3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE. CONTRACTOR SHALL TEST PIT FOR EXACT LOCATIONS OF THE UTILITIES.

4. TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.

5. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE PER HOWARD COUNTY RECORDS.

6. PUBLIC WATER AND SEWER IN MITZY LANE PROVIDED BY CONTRACT #14-1258 (WATER) AND #14-1258 (SEWER). PROPOSED WATER AND SEWER TO THE LOTS WILL BE PROVIDED IN ACCORDANCE WITH SECTION 18,122B OF THE HOWARD COUNTY CODE. PUBLIC WATER AND SEWER ALLOCATION WILL BE GRANTED AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT IF CAPACITY IS AVAILABLE AT THAT TIME.

7. THIS SITE IS LOCATED IN THE LITTLE PATUXENT WATERSHED.

8. ALL FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED AND VERIFIED IN ACCORDANCE WITH AASHTO T-180--STANDARD.

9. CONTRACTOR SHALL MAINTAIN ALL SEDIMENT CONTROL DEVICES WITHIN THE LIMITS OF THE SITE DURING CONSTRUCTION OF THE SITE IMPROVEMENTS. CONTRACTOR SHALL PROVIDE ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES AS MAY BE NECESSARY DURING CONSTRUCTION AND/OR BY GOVERNING AGENCIES.

10. PER FEMA MAP 240044029B DATED DECEMBER 04, 1986, THIS SITE IS NOT LOCATED WITHIN THE 100 YR FLOODPLAIN. PER THE HOWARD COUNTY BUREAU OF ENVIRONMENTAL SERVICES, THIS SITE IS NOT LOCATED IN THE 100-YR FLOODPLAIN.

11. THERE ARE NO EXISTING WETLANDS ON SITE.

12. THERE ARE NO STEEP SLOPES OR HIGHLY ERODIBLE SOILS ON THIS SITE. THE TOPOGRAPHY IS BASED ON A FIELD RUN SURVEY COMPLETED BY CHRISTOPHER CONSULTANTS IN MAY 2005.

13. THERE ARE NO KNOWN CEMETERIES OR BURIAL GROUNDS ON THIS SITE.

14. ALL ADJACENT PROPERTIES ARE RESIDENTIAL USES.

15. THE SUBJECT PROPERTY IS ZONED R-20 PER THE 2/02/04 COMPREHENSIVE REZONING PLAN AND COMP LITE AMENDMENTS EFFECTIVE 7/28/06.

16. THE TOPOGRAPHY AND SITE BOUNDARY WERE PREPARED BY christopher consultants IN JULY 2006.

17. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLAN COORDINATE SYSTEM. MONUMENT NUMBERS 31GM2 AND 31GB WERE USED FOR THIS PROJECT (NAD 83/91.)

18. CONTRACTOR SHALL VERIFY SIZE AND LOCATIONS OF ALL UNDERGROUND UTILITIES AND TEST PIT ALL UTILITIES, INCLUDING PROPOSED TIE IN LOCATIONS, AT LEAST 5 DAYS PRIOR TO STARTING ANY WORK ON THESE DRAWINGS. DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IN ADVANCE OF CONSTRUCTION START.

19. THE CONTRACTOR SHALL INSURE THAT CURRENT AS BUILT RECORDS ARE MAINTAINED DURING CONSTRUCTION. UPON COMPLETION OF CONSTRUCTION, CERTIFIED (i.e. P.E. STAMPED) AS-BUILT DRAWINGS SHALL BE SUBMITTED TO THE OWNER.

20. STORMWATER MANAGEMENT IS NOT REQUIRED FOR THIS SITE AS THE LOTS EACH HAVE LESS THAN 5000 SF OF DISTURBANCE.

21. THE LANDSCAPE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE, AND THE LANDSCAPE MANUAL.

22. CONTRACTOR TO PROVIDE SIGNAGE AND TRAFFIC CONTROL DEVICES FOR MITZY LANE AS NECESSARY TO PREVENT PUBLIC ACCESS TO ROAD DURING CONSTRUCTION.

23. DEVELOPER RESERVES UNTO ITSELF, ITS SUCCESSORS AND ASSIGNS, ALL EASEMENTS SHOWN ON THIS PLAN FOR WATER, SEWER, STORM DRAINAGE, AND OTHER PUBLIC UTILITIES LOCATED IN, ON, OVER AND THROUGH LOTS/PARCELS, ANY CONVEYANCES OF THE AFORESAID LOTS/ PARCELS SHALL BE SUBJECT TO THE EASEMENTS HEREIN RESERVED, WHETHER OR NOT EXPRESSLY STATED IN THE DEED(S) CONVEYING SAID LOT(S) / PARCELS. DEVELOPER SHALL EXECUTE AND DELIVER DEEDS FOR THE EASEMENTS HEREIN RESERVED TO HOWARD COUNTY WITH A METES AND BOUNDS DESCRIPTION OF THE FOREST CONSERVATION AREA. UPON COMPLETION OF THE PUBLIC UTILITIES AND THEIR ACCEPTANCE BY HOWARD COUNTY, AND IN THE CASE OF THE FOREST CONSERVATION EASEMENT(S), UPON COMPLETION OF THE DEVELOPER OBLIGATIONS UNDER THE FOREST CONSERVATION INSTALLATION AND MAINTENANCE AGREEMENT EXECUTED BY THE DEVELOPER AND THE COUNTY, AND THE RELEASE OF DEVELOPER'S SURETY POSTED WITH SAID AGREEMENT THE COUNTY SHALL ACCEPT THE EASEMENTS AND RECORD THE DEED(S) OF EASEMENT IN THE LAND RECORDS OF HOWARD COUNTY.

24. ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.

25. CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE (5) WORKING DAYS PRIOR TO STARTING ON THESE PLANS:

-MISS UTILITY 1-800-257-7777
-HOWARD COUNTY DPWT, BUREAU OF UTILITIES (410) 313-4900
-BALTIMORE GAS AND ELECTRIC COMPANY CONTRACTOR SERVICES (410)850-4620
-BALTIMORE GAS AND ELECTRIC COMPANY UNDERGROUND DAMAGE CONTROL (410)787-9068
-VERIZON 1-800 446-5266

26. CONTRACTOR SHALL REMOVE TREES, STUMPS AND ROOTS AS NECESSARY TO GRADE THE SITE AND COMPLETE ANY REQUIRED EXCAVATIONS.

27. IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16' IN WIDTH MAY PROJECT NOT MORE THAN 4' INTO ANY SETBACKS, PORCHES OR DECKS. OPEN OR ENCLOSED MAY NOT PROJECT MORE THAN 10' INTO THE FRONT OR REAR YARD SETBACKS.

28. THIS PROJECT IS EXEMPT FROM THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BECAUSE IT IS A DEVELOPMENT ACTIVITY ON SINGLE LOTS SMALLER THAN 40,000 SQUARE FEET, THE GRADING IS CONTAINED WITHIN EACH LOT AND THE GRADING/HOUSE CONSTRUCTION IS NOT DEPENDANT ON EACH OTHER FOR COMPLETION (per Sec. 16.1202(b)(1)(i) of the F.C. Manual).

29. DRIVEWAY (S) SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
A) WIDTH-12 FEET (14 FEET SERVING MORE THAN ONE RESIDENCE).
B) SURFACE-6 INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND SHIP COATING.
C) GEOMETRY MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND MINIMUM OF 45-FOOT TURNING RADIUS.
D) STRUCTURES (CULVERT/BRIDGES) CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING
E) DRAINAGE ELEMENTS-CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.
F) STRUCTURE CLEARANCES-MINIMUM 12 FEET.
G) MAINTENANCE-SUFFICIENT TO INSURE ALL WEATHER USE.

30. "THIS SUBDIVISION PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS EFFECTIVE 10-02-03 AND THE 2006 ZONING REGULATIONS EFFECTIVE 07-28-06."

31. NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING OR NEW STRUCTURES SHALL NOT BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAM(S) OR THEIR BUFFERS. FOREST CONSERVATION EASEMENT AREAS AND 100 YEAR FLOODPLAIN.

32. FINANCIAL SURETY FOR 2 SHADE TREES ON LOT 119 IN THE AMOUNT OF $600.00 SHALL BE POSTED WITH THE GRADING PERMIT FOR LOT 119.

33. IN ACCORDANCE WITH A STANDARD DEED CONFIRMATORY BY THE STATE HIGHWAY ADMINISTRATION DATED MARCH 1, 2006, RECORDED UNDER LIBER 8909, FOLIO 614, LOTS OF GLENMAR SUBDIVISION RECORDED AS LOTS 114 AND 115 ARE MERGED INTO ONE LOT IDENTIFIED AS LOT 115 AND RECORDED LOT 116 TO 119 ARE MERGED INTO ONE LOT IDENTIFIED AS LOT 119 TO CONFORM TO THE MINIMUM LOT SIZE AS REQUIRED BY THE ZONING REGULATIONS.

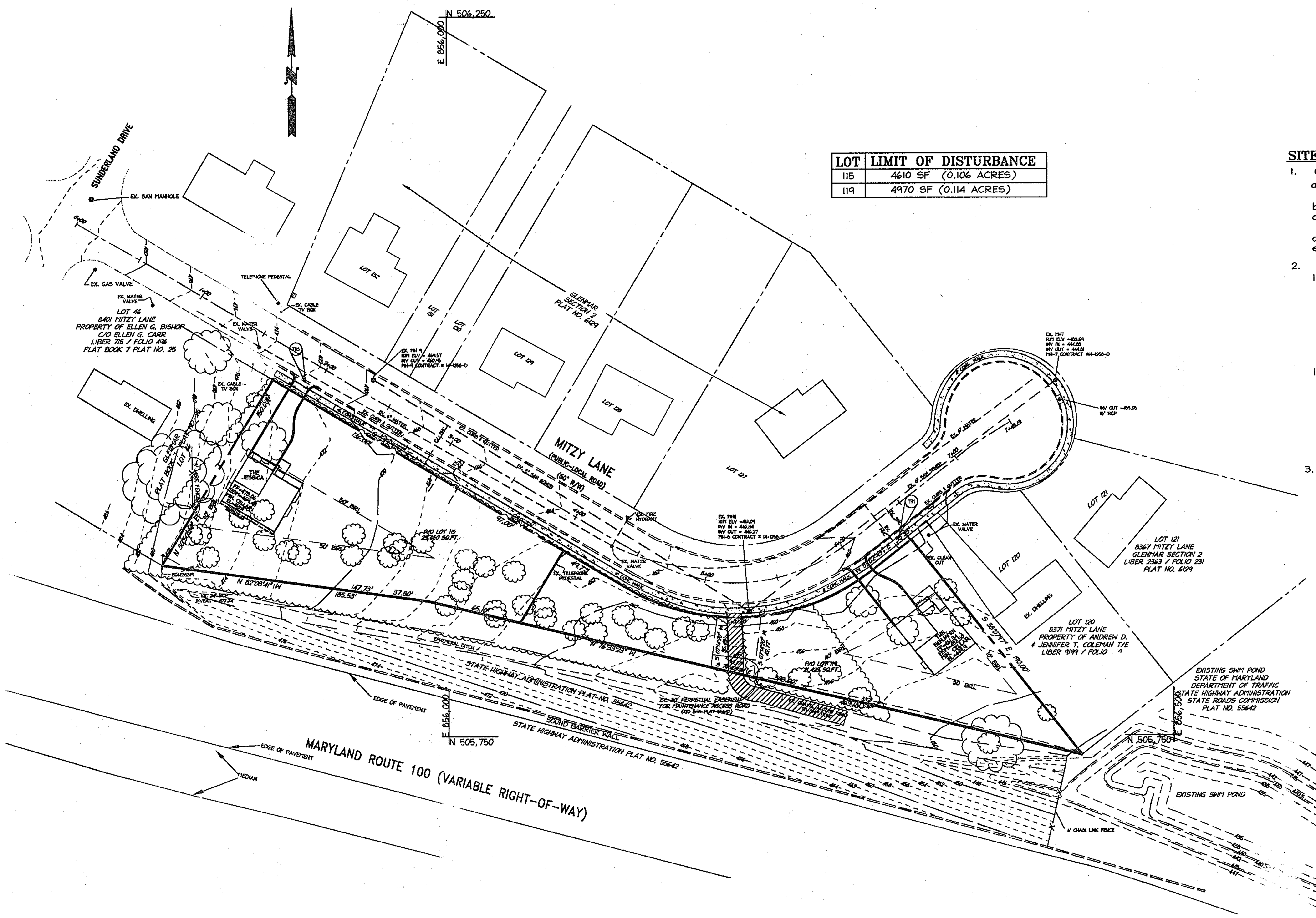
34. LOTS 114 THROUGH 119 WERE ORIGINALLY SUBDIVIDED IN 1985 AND LATER ACQUIRED BY THE MARYLAND STATE HIGHWAY ADMINISTRATION (MSHA) FOR THE ROUTE 100 RIGHT-OF-WAY. HOWEVER, THIS WAS NOT UTILIZED BY THE STATE. THESE LOTS WERE CONSOLIDATED WITH A STANDARD DEED OF CONFIRMATORY BY MSHA IN MARCH 2006 UNDER LIBER 8909 FOLIO 614, CREATING LOTS 115 AND 119.

35. ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.

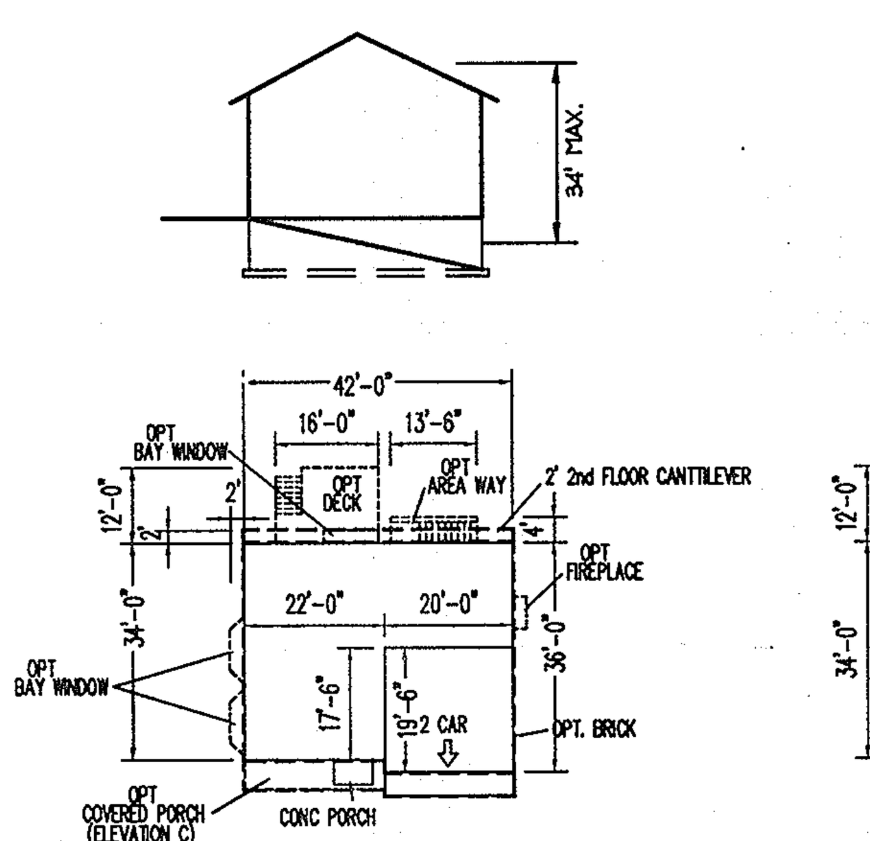
36. SHC ELEVATIONS SHOWN ARE LOCATED AT THE PROPERTY LINE.

37. FOR DRIVEWAY ENTRANCE DETAILS REFER TO THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, STANDARD DETAIL R-6.03. THE DRIVEWAY WILL HAVE A P-1, LIGHT PAVING SECTION. (REFER TO SHEET 3 FOR MORE INFORMATION.)

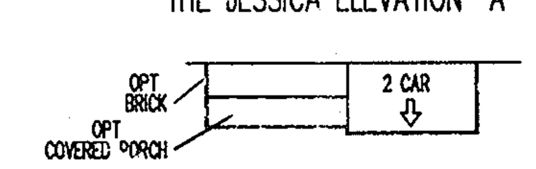
LOT	LIMIT OF DISTURBANCE
115	4610 SF (0.106 ACRES)
119	4970 SF (0.114 ACRES)



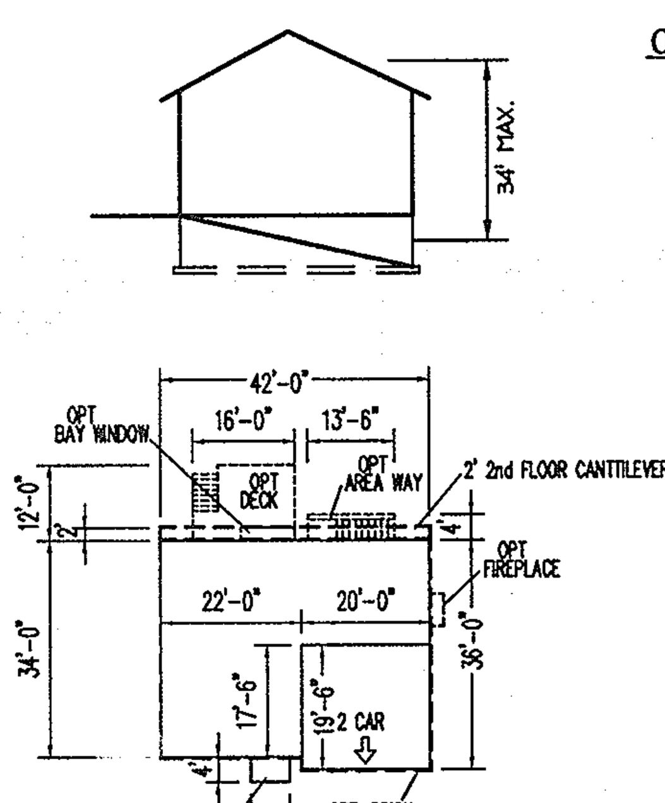
OVERALL PLAN VIEW
SCALE: 1"=50'



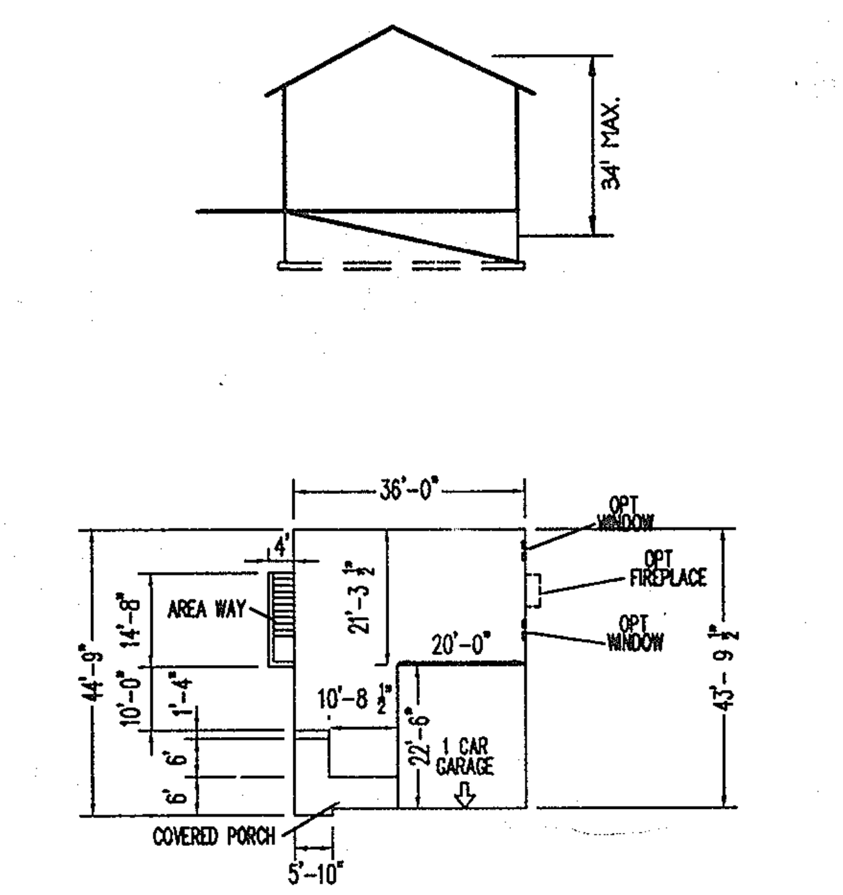
THE JESSICA ELEVATION "A"



THE JESSICA ELEVATION "C"



THE JESSICA ELEVATION "B"



THE BENJAMIN- MODIFIED

SITE ANALYSIS DATA CHART

1. GENERAL SITE DATA
   a. PRESENT ZONING: R-20 PER THE 2/02/04 COMPREHENSIVE REZONING PLAN AND COMP LITE AMENDMENTS EFFECTIVE 07/28/06.
   b. APPLICABLE DPZ FILE REFERENCES: F-84-200
   c. PROPOSED USE OF SITE OR STRUCTURE(S): TWO (2) SINGLE FAMILY DETACHED RESIDENTIAL HOUSES.
   d. PROPOSED WATER AND SEWER SYSTEMS: PUBLIC WATER & SEWER
   e. PROPOSED NUMBER OF UNITS: TWO (2)
2. AREA TABULATION
   i.) LOT 115
   a. TOTAL PROJECT AREA: 0.54 AC.
   b. AREA OF THIS PLAN SUBMISSION: 0.54 AC
   c. LIMIT OF DISTURBED AREA: 0.11 AC.
   d. MINIMUM LOT SIZE 20,000 S.F.
   e. MINIMUM LOT WIDTH AT BRL: 60'
   f. MINIMUM OPEN SPACE 0% GROSS TRACT
   g. MAXIMUM BUILDING HEIGHT: 34' FOR PRIMARY STRUCTURE, 15' FOR ACCESSORY STRUCTURE REQUIRED.
   ii.) LOT 119
   a. TOTAL PROJECT AREA: 0.49 AC.
   b. AREA OF THIS PLAN SUBMISSION: 0.49 AC
   c. LIMIT OF DISTURBED AREA: 0.11 AC.
   d. MINIMUM LOT SIZE 20,000 S.F.
   e. MINIMUM LOT WIDTH AT BRL: 60'
   f. MINIMUM OPEN SPACE 0% GROSS TRACT
   g. MAXIMUM BUILDING HEIGHT: 34' FOR PRIMARY STRUCTURE, 15' FOR ACCESSORY STRUCTURE REQUIRED.
3. SETBACKS: IN ACCORDANCE WITH SECTION 100.E OF THE CURRENT ZONING REGULATIONS THE SETBACKS SHOWN ARE PER RECORDED PLAT F-84-200, THESE SETBACKS WERE USED INSTEAD OF SETBACKS ESTABLISHED IN THE CURRENT ZONING STANDARDS.

LOTS 115
FRONT: SETBACK FROM PUBLIC STREET R.O.W.: 50'
ADJACENT LOT: 10'
REAR: ADJACENT LOT: 30'

LOTS 119
FRONT: SETBACK FROM PUBLIC STREET R.O.W.: 40'
ADJACENT LOT: 10'
REAR: ADJACENT LOT: 30'

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Kent Sheubrooks / for CH — Chief, Division of Land Development	8/09/07 Date
[signature] — Chief, Development Engineering Division J.P.	8/8/07 Date
[signature] — Director, Department of Planning and Zoning BB	8/9/07 Date

Date	No.	Revision Description

GLENMAR
SECTION 2, LOTS 115 AND 119
SINGLE FAMILY HOME CONSTRUCTION

OWNER / DEVELOPER

CHARTER HOMES, LLC
CONTACT: STEVE KNECHT
3230 BETHANY LANE, SUITE 8
ELLICOTT CITY, MARYLAND 21042
TEL (410) 480-3213 FAX (410) 480-

christopher consultants
engineering · surveying · land planning
christopher consultants, ltd.
7172 columbia gateway drive (suite 100) · columbia, md 21046-
410.872.8690 · metro 301.881.0148 · fax 410.872.8693

ADDRESS CHART

LOT/PARCEL	STREET ADDRESS
115	8395 MITZY LANE
119	8375 MITZY LANE

PERMIT INFORMATION CHART

PROJECT NAME	LOT/PARCEL NO.		CENSUS TRACT
GLENMAR	LOTS 115 & 119		6011.02
PLAT NO. 6129	GRID NO. 19	ZONE R-20 / TAX MAP 31	ELECTION DISTRICT 01
WATER CODE PUBLIC		SEWER CODE	PUBLIC

TITLE:

COVER SHEET

DESIGN: ENJ,AH	SCALE: AS SHOWN	PROJECT 06A701.00
DRAWN: DAM	DATE: JUNE 2007	
CHECKED: JMH	APPROVED	1 OF 6

7-25-07
DATE

STATE OF MARYLAND
JOHN M. HOUSEHOLDER
No. 29907
PROFESSIONAL ENGINEER

SDP-07-25

MDC-525 (SDP)

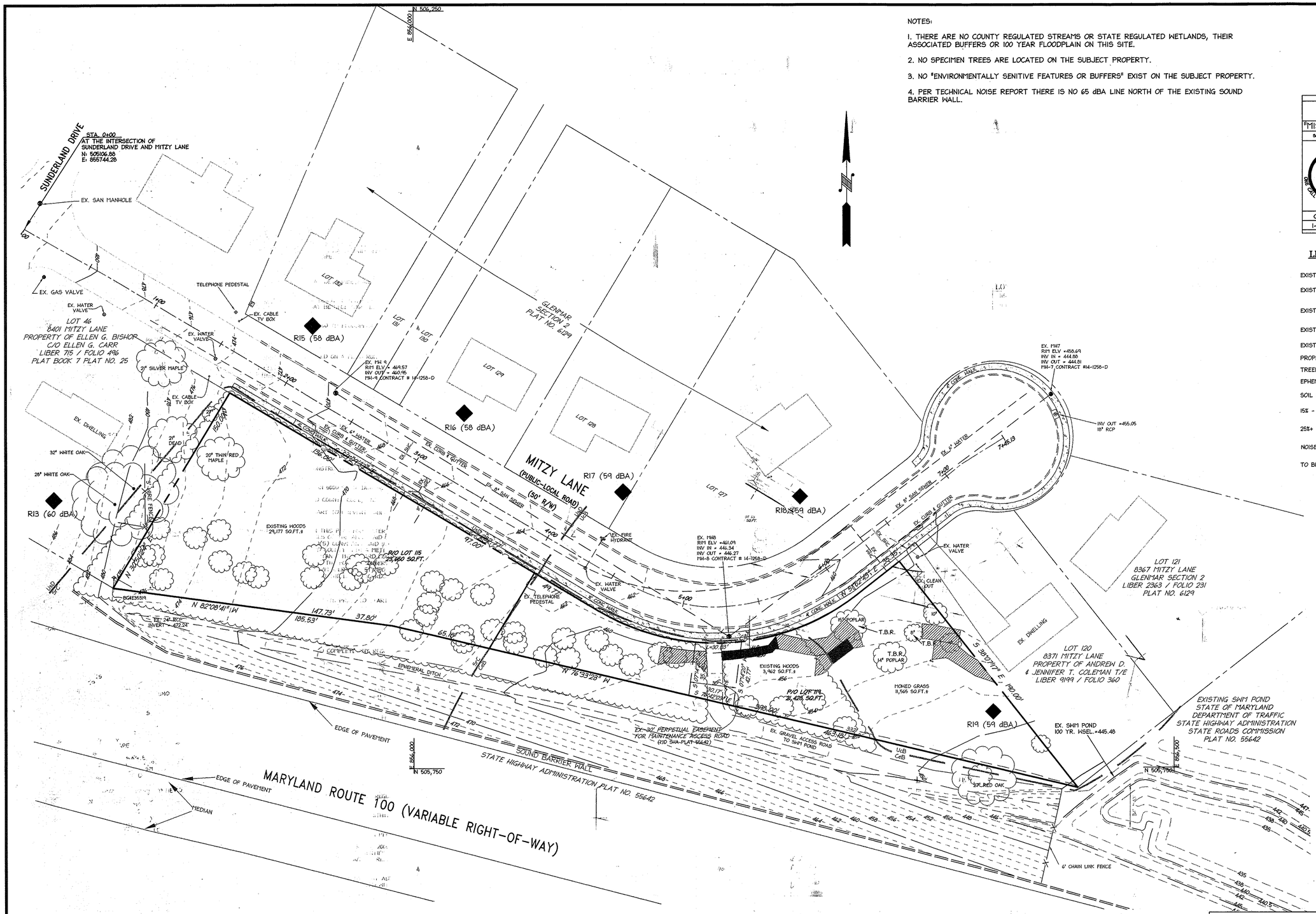
NOTES:

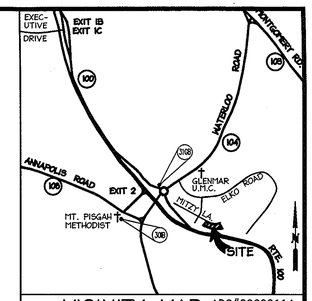
1. THERE ARE NO COUNTY REGULATED STREAMS OR STATE REGULATED WETLANDS, THEIR ASSOCIATED BUFFERS OR 100 YEAR FLOODPLAIN ON THIS SITE.

2. NO SPECIMEN TREES ARE LOCATED ON THE SUBJECT PROPERTY.

3. NO "ENVIRONMENTALLY SENITIVE FEATURES OR BUFFERS" EXIST ON THE SUBJECT PROPERTY.

4. PER TECHNICAL NOISE REPORT THERE IS NO 65 dBA LINE NORTH OF THE EXISTING SOUND BARRIER WALL.





VICINITY MAP ADC#20602114
SCALE 1"=2000'

HOWARD COUNTY, MAP 16, GRID F-5
HOWARD COUNTY CONTROL STATIONS:
SURVEY BENCH MARK= 31M2
GEODETIC CONTROL= 31GB

48 Hours
Before You Dig
Call
"MISS UTILITY"
Service Protection Center
MEMBER
ONE CALL SYSTEMS INTERNATIONAL
CALL TOLL FREE
1-800-257-7777

LEGEND

EXISTING CONTOURS	416
EXISTING STORM DRAIN	EX. 12" RCP
EXISTING SANITARY SEWER	EX. 8" SAN
EXISTING WATER	EX. 6" WATER
EXISTING FENCE	
PROPERTY LINE	
TREELINE	
EPHEMERAL DITCH	
SOIL LINE	UcB
15% - 25% SLOPES	
25%+ SLOPES	
NOISE STUDY RECEPTOR POINT	R19 (59 dBA)
TO BE REMOVED	T.B.R.

VEGETATIVE COMMUNITIES TABLE				
COMMUNITY	DOMINANT VEGETATION	TYPICAL DIAMETER OF DOMINANT VEGETATION	MATURITY/AGE	CONDITION OF COMMUNITY
MIXED DICIDUOUS HARDWOOD FOREST	RED MAPLE, TULIP POPLAR	12" - 16" dbh	INTERMEDIATE	FAIR, IMPACTS FROM STATE HIGHWAY NOISE WALL CONSTRUCTION AND LAWN DEBRIS DUMPING.
MOWED GRASS	GRASS WITH SCATTERED TREES	N/A	N/A	MOWED FREQUENTLY

SOILS TABLE			
SYMBOL	DESCRIPTION	ERODIBILITY	HYDRIC
CeB	CHILLIUM LOAM	0.43	NO
SrC	SASSAFRAS & CROOM	0.24	NO
UcB	URBAN LAND - CHILLIUM - BELTSVILLE COMPLEX	0.43	NO

7-24-07
DATE

STATE OF MARYLAND
JOHN M. HOUSEHOLDER
No. 20997
PROFESSIONAL ENGINEER

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development	Date 8/09/07
Chief, Development Engineering Division	Date 8/8/07
Director, Department of Planning and Zoning	Date 8/9/07

Date	No.	Revision Description

GLENMAR SECTION 2, LOTS 115 AND 119 SINGLE FAMILY HOME CONSTRUCTION

OWNER / DEVELOPER

CHARTER HOMES, LLC — 3230 BETHANY LANE, SUITE 8, ELLICOTT CITY, MARYLAND 21042
CONTACT: STEVE KNECHT — TEL (410) 480-3213 FAX (410) 480-3215

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410.872.0990 - metro 301.861.0145 - fax 410.872.9693

ADDRESS CHART

LOT/PARCEL	STREET ADDRESS
115	8395 MITZY LANE
119	8375 MITZY LANE

PERMIT INFORMATION CHART

PROJECT NAME: GLENMAR		LOT/PARCEL NO.: LOTS 115 & 119		CENSUS TRACT: 6011.02
PLAT NO.: 6129	GRID NO.: 19	ZONE: R-20	TAX MAP: 31	ELECTION DISTRICT: 01
WATER CODE: PUBLIC			SEWER CODE: PUBLIC	

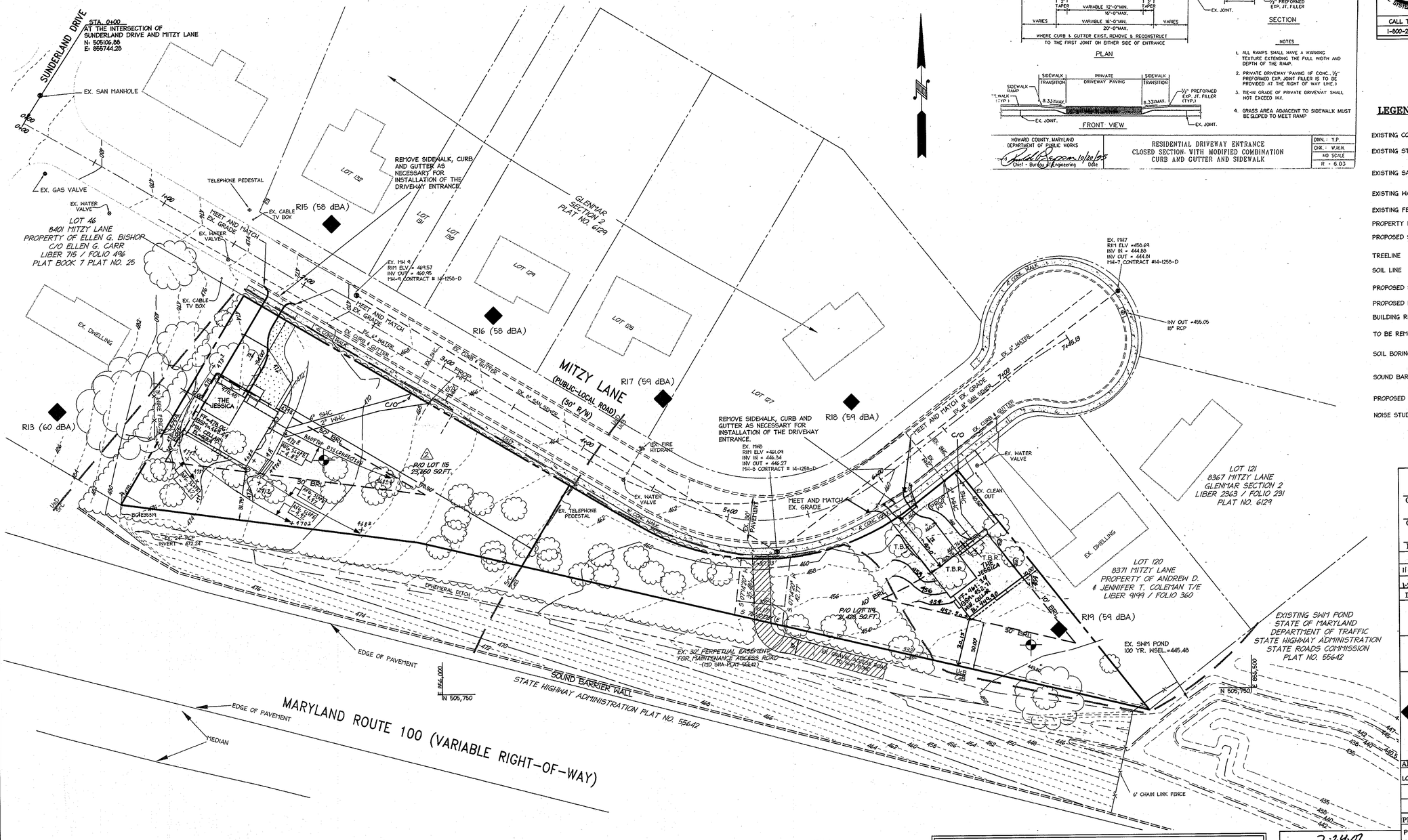
TITLE:

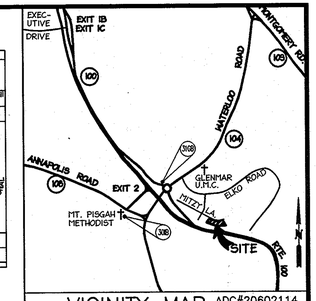
EXISTING CONDITIONS PLAN

DESIGN: KEH	SCALE: 1" = 30'	PROJECT: 06A701.00
DRAWN: DAM	DATE: JUNE 14, 2007	2 OF 6
CHECKED: JMH	APPROVED:	

MDC-525(SDP)

SDP-07-25





VICINITY MAP ADC#20602114
SCALE 1"=2000'

HOWARD COUNTY, MAP 16, GRID F-5
HOWARD COUNTY CONTROL STATIONS:
SURVEY BENCH MARK= 31M2
GEODETIC CONTROL= 31GB

LEGEND

EXISTING CONTOURS	416
EXISTING STORM DRAIN	EX. 12" RCP
EXISTING SANITARY SEWER	EX. 8" SAN
EXISTING WATER	EX. 6" WATER
EXISTING FENCE	X
PROPERTY LINE	
PROPOSED STORMDRAIN	
TREELINE	
SOIL LINE	UcB
PROPOSED SEWER	PROP. 4" SHC
PROPOSED WATER	PROP. 2" WHC
BUILDING RESTRICTION LINES	30' BRL
TO BE REMOVED	T.B.R.
SOIL BORING	
SOUND BARRIER WALL	
PROPOSED RIP-RAP	
NOISE STUDY RECEPTOR POINT	R19 (59 dBA)

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development	Date 8/09/07
Chief, Development Engineering Division JP.	Date 8/8/07
Director, Department of Planning and Zoning SB	Date 8/9/07

Date	No.	Revision Description
11-05-13	2	REV. GRADING AND STORMWATER MANAGEMENT
1-20-08	1	ELEV. ADDED. LOT 119 REVISED

GLENMAR
SECTION 2, LOTS 115 AND 119
SINGLE FAMILY HOME CONSTRUCTION

OWNER / DEVELOPER

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CONTACT: STEVE KNECHT
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ADDRESS CHART

LOT/PARCEL	STREET ADDRESS
115	8375 MITZY LANE
119	8375 MITZY LANE

PERMIT INFORMATION CHART

PROJECT NAME: GLENMAR		LOT/PARCEL NO.: LOTS 115 & 119		CENSUS TRACT: 6011.02
PLAT NO.: 6129	GRID NO.: 19	ZONE: R-20	TAX MAP: 31	ELECTION DISTRICT: 01
WATER CODE: PUBLIC			SEWER CODE: PUBLIC	

TITLE:

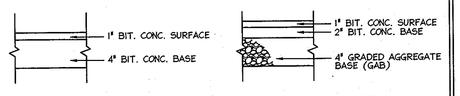
SITE DEVELOPMENT PLAN

DESIGN: ENJ,AH	SCALE: 1" = 30'	PROJECT: 06A701.00
DRAWN: DAM	DATE: JUNE 14, 2007	3 OF 6
CHECKED: JMH	APPROVED:	

SDP-07-25

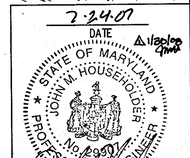
MDC-525(SDP)

P-1 LIGHT DUTY PAVING SECTION



NOTE:
PAVING SECTIONS SHOWN RELATES TO A CBR VALUE OF 7. ACTUAL CBR TEST RESULTS MAY CAUSE MODIFICATION OF THESE PAVING SECTIONS.

7.24.07
DATE



SEQUENCE OF CONSTRUCTION

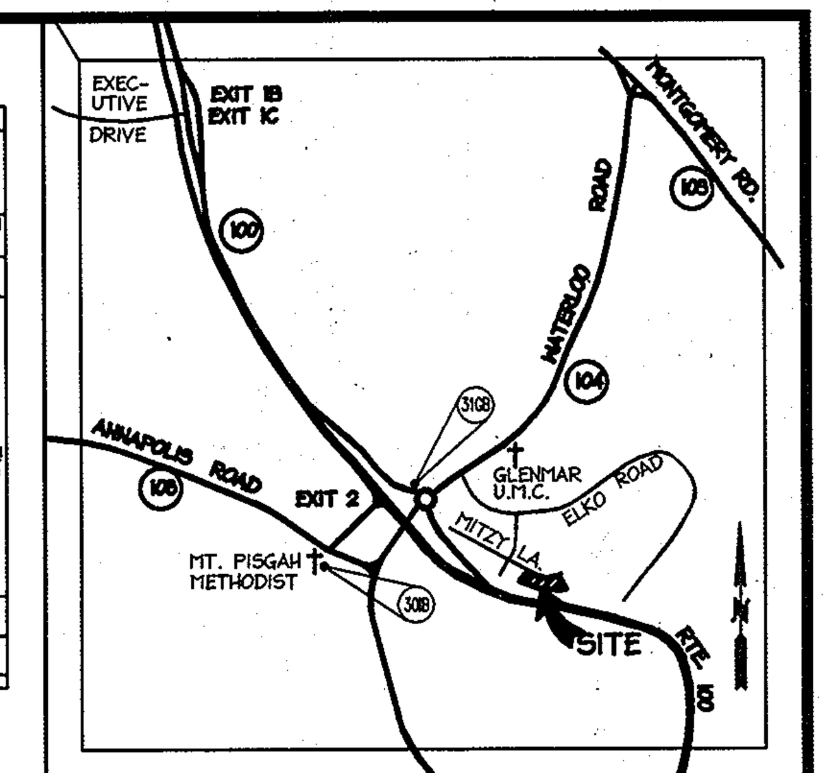
1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS INCLUDING THE GRADING PERMIT PRIOR TO COMMENCING ANY LAND DISTURBANCE ACTIVITIES.
2. AN ON-SITE PRECONSTRUCTION MEETING SHALL BE CONDUCTED WITH THE CONTRACTOR AND THE HOWARD COUNTY INSPECTOR AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION. CONTACT THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS AT (410) 313-1880 TO SCHEDULE.
3. CLEAR AND GRUB FOR THE INSTALLATION OF THE PERIMETER SEDIMENT CONTROL DEVICES INCLUDING EARTH DIKE, SUPER SILT FENCE AND THE STABILIZED CONSTRUCTION ENTRANCE (2 DAYS)
4. BEGIN ROUGH GRADING THE SITE. ALL ATTEMPS SHALL BE MADE TO PRESERVE THE LARGE TREES ON THE LOTS. (10 DAYS).
5. INSTALL UNDERGROUND UTILITIES.
6. CONSTRUCT THE HOUSE AND FINE GRADE THE LOT. STABILIZED EACH LOT AS CONSTRUCTION IS COMPLETED. (60 DAYS)
7. WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, REMOVE THE EARTH DIKE, SUPER SILT FENCE AND STABILIZED CONSTRUCTION ENTRANCE. (1 DAY)
8. INSTALL THE REMAINDER OF THE DRIVEWAY ENTRANCE (2 DAYS).
9. SURFACE PAVE ALL ROADWAYS (2 DAYS).
10. STABILIZE ALL REMAINING DISTURBED AREAS AND INSTALL RAIN GARDENS (7 DAYS).
11. WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR REMOVE ANY REMAINING SEDIMENT CONTROL DEVICES.

TOTAL CONSTRUCTION TIME: 84 DAYS

STEPS 6-11 ARE FOR THE FINAL CONSTRUCTION ON EACH LOT. A PRECONSTRUCTION MEETING FOR LOT CONSTRUCTION MAY BE REQUIRED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THIS WITH THE SEDIMENT CONTROL INSPECTOR. STEPS 6-11 CAN BE RUN CONCURRENTLY ON DIFFERENT LOTS AT THE DISCRETION OF THE CONTRACTOR AND WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR.

LOT	LIMIT OF DISTURBANCE
115	10,725 (0.246 ACRES)
119	4970 SF (0.114 ACRES)

48 Hours Before You Dig Call "MISS UTILITY" Service Protection Center
MEMBER ONE CALL SYSTEMS INTERNATIONAL
CALL TOLL FREE 1-800-257-7777

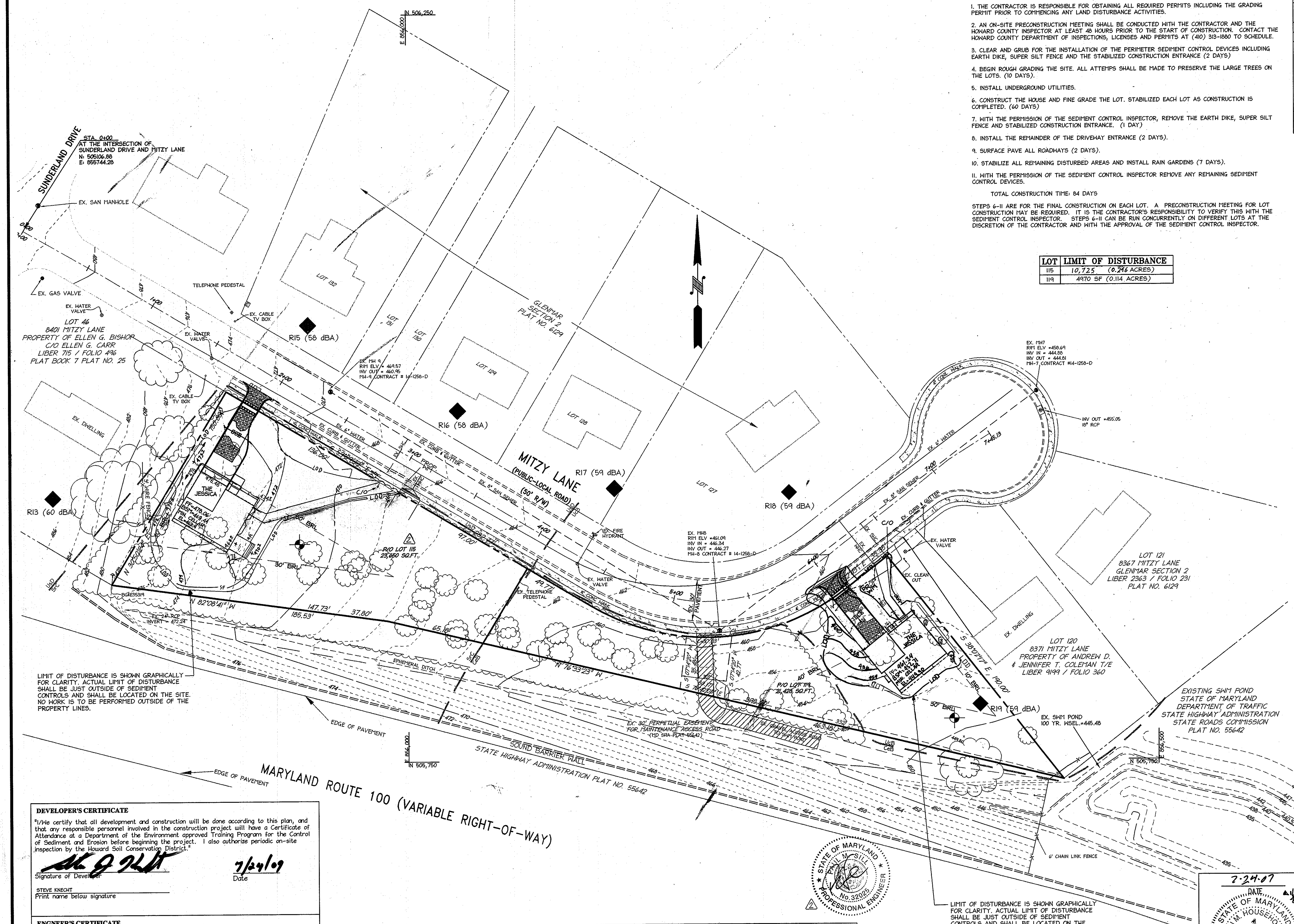


VICINITY MAP ADC#20602114
SCALE 1"=2000'

HOWARD COUNTY, MAP 16, GRID F-5
HOWARD COUNTY CONTROL STATIONS:
SURVEY BENCH MARK= 31M2
GEODETIC CONTROL= 31GB

LEGEND

EXISTING CONTOURS	416	
EXISTING STORM DRAIN	EX. 12" RCP	
EXISTING SANITARY SEWER	EX. 8" SAN	
EXISTING WATER	EX. 6" WATER	
EXISTING FENCE	X	
PROPERTY LINE		
TREELINE		
EPHEMERAL DITCH		
SOIL LINE	UcB	
LIMIT OF DISTURBANCE	LOD	
SUPER SILT FENCE	SF	
TO BE REMOVED	TBR	
STABILIZED CONSTRUCTION ENTRANCE		
SOIL BORING		
NOISE STUDY RECEPTOR POINT	R19 (59 dBA)	



LIMIT OF DISTURBANCE IS SHOWN GRAPHICALLY FOR CLARITY. ACTUAL LIMIT OF DISTURBANCE SHALL BE JUST OUTSIDE OF SEDIMENT CONTROLS AND SHALL BE LOCATED ON THE SITE. NO WORK IS TO BE PERFORMED OUTSIDE OF THE PROPERTY LINES.

LIMIT OF DISTURBANCE IS SHOWN GRAPHICALLY FOR CLARITY. ACTUAL LIMIT OF DISTURBANCE SHALL BE JUST OUTSIDE OF SEDIMENT CONTROLS AND SHALL BE LOCATED ON THE SITE. NO WORK IS TO BE PERFORMED OUTSIDE OF THE PROPERTY LINES.

DEVELOPER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

Signature of Developer — Date 7/24/09

STEVE KNECHT
Print name below signature

ENGINEER'S CERTIFICATE

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Signature of Engineer — Date 7-24-07

JOHN HOUSEHOLDER, P.E.
Print name below signature

STATE OF MARYLAND PAUL M. SILL No. 32025 PROFESSIONAL ENGINEER

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS.

USDA-Natural Resources, Conservation Service — Date 7/7/07

This development plan is approved for soil erosion and sediment control by THE HOWARD SOIL CONSERVATION DISTRICT.

Howard SCD — Date 7/7/07

7-24-07
DATE

STATE OF MARYLAND JOHN M. HOUSEHOLDER No. 22907 PROFESSIONAL ENGINEER

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development — Date 8/9/07
Chief, Development Engineering Division — Date 8/8/07
Director, Department of Planning and Zoning — Date 8/9/07

Date	No.	Revision Description
12-02-13	2	REV. GRADING AND ADD SEDIMNT CONTROL
1-30-08	1	ELEV K ADDED REVISED LOT 119

GLENMAR,
SECTION 2, LOTS 115 AND 119
SINGLE FAMILY HOME CONSTRUCTION

OWNER / DEVELOPER

CHARTER HOMES, LLC
CONTACT: STEVE KNECHT
3230 BETHANY LANE, SUITE 8
ELLICOTT CITY, MARYLAND 21042
TEL. (410) 480-3213 FAX (410) 480-3215

christopher consultants
engineering · surveying · land planning
christopher consultants, ltd.
7172 columbia gateway drive (suite 100) · columbia, md. 21046-2990
410.872.8690 · metro 301.881.0148 · fax 410.872.8693

ADDRESS CHART

LOT/PARCEL	STREET ADDRESS
115	8395 MITZY LANE
119	8375 MITZY LANE

PERMIT INFORMATION CHART

PROJECT NAME	LOT/PARCEL NO.			CENSUS TRACT
GLENMAR	LOTS 115 & 119			6011.02
PLAT NO. 6129	GRID NO. 19	ZONE R-20	TAX MAP 31	ELECTION DISTRICT 01
WATER CODE PUBLIC			SEWER CODE PUBLIC	

TITLE:

EROSION AND SEDIMENT CONTROL PLAN

DESIGN: ENJ, AH	SCALE: 1" = 30'	PROJECT: 06A701.00
DRAWN: DAM	DATE: JUNE 14, 2007	4 OF 6
CHECKED: JMH	APPROVED:	

SDP-07-25

MDC-525(SDP)

19.0 Standards and Specifications
For Land Grading

Definitions

Reshaping of the existing land surface in accordance with a plan as determined by engineering survey and layout.

Purpose

The purpose of a land grading specification is to provide for erosion control and vegetative establishment on those areas where the existing land surface is to be reshaped by grading according to plan.

Design Criteria

The grading plan should be based upon the incorporation of building designs and street layouts that fit and utilize existing topography and desirable natural surrounding to avoid extreme grade modifications. Information submitted must provide sufficient topographic surveys and soil investigations to determine limitations that must be imposed on the grading operation related to slope stability, effect on adjacent properties and drainage patterns, measured for drainage and water removal and vegetative treatment, etc.

Many countries have regulations and design procedures already established for land grading and cut and fill slopes. Where these requirements exist, they should be followed. The plan must show existing and proposed contours of the area(s) to be graded. The plan shall also include practices for erosion control, slope stabilization, safe disposal of runoff water and drainage, such as waterways, lined ditches, reverse slope benches (including grade and cross-section), grade stabilization structures, retaining walls, and surface and subsurface drains. The plan shall also include phasing of these practices. The following shall be incorporated into the plan:

1. Provisions shall be made to safety conduct surface runoff to storm drains, protected outlets or to stable water courses to insure that surface runoff will not damage slopes or other graded areas.

2. Cut and fill slopes that are to be stabilized with grasses shall not be steeper then 2:1. (Where the slope id to be mowed the slope should be no steeper than 3:1; 4:1 is preferred because of safety factors related to mowing steep slopes.

3. Reverse benches shall be provided whenever the vertical interval (height) of any 2:1slopes exceeds 20 feet; for 3:1 slopes it shall be increased to 30 feet and for 4:1 to 40 feet. Benches shall be located to divide the slopes face as equally as possible and shall convey the water to a stable outlet. Soils, seeps, rock outcrops, etc., shall also be taken into consideration when designing benches.

   a. Benches shall be a minimum of six-feet wide to provide ease of maintenance.

   b. Benches shall be designed with a reverse slope of 6:1 of flatter to the toe of the upper slope and with a minimum of one foot in depth. Bench gradient to the outlet shall be between 2 percent and 3 percent, unless accompanied by appropriate design and computations.

   c. The flow length within a bench shall not exceed 800' unless accompanied by appropriate design and computations. For flow channel stabilization see temporary swales.

4. Surface water shall be diverted from the face of all cut and/or fill slopes by the use of earth dikes, ditches and swales or conveyed downslope by the use of a designated structure, except where:

   a. The face of the slope is or shall be stabilized and the face of all graded slopes shall be protected for surface runoff until they are stabilized.

   b. The face of the slope shall not be subjected to any concentrated slows of surface water such as from natural drainways, graded swales, downspouts, etc.

   c. The face of the slope will be protected by special erosion control materials, to include, but not limited to approved vegetative stabilization practices (see section G), rip-rap or other approved stabilization methods.

5. Cut slopes occurring in ripable rock shall be serrated as shown on the following diagram. These serrations shall be made with conventional equipment as the excavation is made. Each step or serration shall be constructed on the contour and will have steps cut as nominal two-foot intervals with nominal three-foot horizontal shelves. These steps will vary depending on the slope ratio or the cut slope. The nominal slope line is 1:1. These steps will weather and act to hold moisture, lime, fertilizer and seed thus producing a much quicker and longer lived vegetative cover and better slope stabilization. Over land flow shall be diverted from the top of all serrated cut slopes and carried to a suitable outlet.

6. Surface drainage shall be provided where necessary to intercept seepage that would otherwise adversely affect slope stability or create excessively wet site conditions.

7. Slopes shall not be created to close to property lines as the endanger adjoining properties without adequately protecting such properties against sediment, erosion, slippage, settlement, subsidence or other related damages.

8. Fill material shall be free of brush, rubbish, rocks, logs, stumps, building debris, and other objectionable material. It should be free of stones over two (2) inches in diameter where compacted by hand or mechanical tempers over eight (8) inches in diameter where compacted by rollers or other equipment. Frozen material shall not be placed in the fill nor shall the fill material be placed on a frozen foundation.

9. Stockpiles, borrow areas and spoil shall be shown on the plans and shall be subjected to the provisions of the Standard and Specifications.

All disturbed areas shall be stabilized structurally or vegetatively in compliance with 20.0 Standards and Specifications for Vegetative Stabilization.

21.0 Standard and Specifications
For Topsoil

Definitions

Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Purpose

To provide a suitable soil medium for vegetative growth. Soild of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

Conditions Where Practice Applies

This practice is limited to areas having 2:1 or flatter slopes where:

   a. The texture of the exposed subsoil/parent material in not adequate to produce vegetative growth.

   b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.

   c. The original soil to be vegetated contains materials toxic to plant growth

   d. The soil is so acidic that treatment with limestone is not feasible.

For the purpose of these Standards and Specification, areas having slopes steeper that 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper that 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications

Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experimental Station.

Topsoil Specifications - Soil to be used as topsoil must meet the following:

   i. Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall bot be a mixture of contrastinf textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials large than 1 ? " in diameter.

   ii. Topsoil must be free of plants or plant parts such as bermuda grass, quackgrass, Johnsongrass, nutsedge, poison ivy, thistle, or other as specified.

   iii. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread to the rate of 4-8 tons/acre (200-400 pounds per 1,000sqgare feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked in to the soil in conjunction with tillage operations as described in the following procedures.

For sites having disturbed areas under 5 acres:

Place topsoil (if required) and apply soil amendments as specified in 20.0 vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.

For sites having disturbed areas over 5 acres:

On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following.

   a. pH for topsoil shall be between 6.0 and 7.5. If tested soil demonstrates a pH of less the 6.0, sufficient lime shall be prescribed to raise pH to 6.5 or higher.

   b. Organic content of topsoil shall be not less then 1.5 percent by weight.

   c. Topsoil having soluble salt content grater then 500 parts per million shall not be used.

   d. No sod or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 day min.) to permit dissipation of phyto-toxic materials.

Note: Topsoil substitutes or amendments as recommended be a qualified agronomist or soil scientist approved by the appropriate approval authority, may be used in lieu of natural topsoil.

Place topsoil (if required) and apply soil amendments as specified on 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.

Topsoil Application

When topsoiling, maintain needed erosion and sediment control practiced such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fences and Sediment Traps and Basins.

Grades in the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4" - 8" higher in elevation.

Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.

Topsoil shall not be place while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil id excessively wet in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

Alternative for Permanent Seeding - Instead of applying the full amounts of like and commercial fertilizer, composted sludge and amendments mat be applied as specified below:

Composted Sludge Materials for use as a soil conditioner for sites having disturbed areas over 5 acres shall be tested to prescribe amendments and for sites having disturbed areas under 5 acres shall conform to the following requirements:

   a. Composted sludge shall be supplied by, or originated from, a person or persons that are permitted (at the time of acquisition of the compost) by the Maryland Department of the Environment under COMAR 26.04.06.

   b. Composted sludge shall contain as least 1 percent nitrogen, 1.5 percent phosphorus, and 0.2 percent potassium and have a pH of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.

   c. Composted sludge shall be applied at a rate of 1 ton/1,000 square feet.

Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 lb/1,000 square feet, and 1/3 the normal lime application rate.

References: Guideline Specifications, Soil Preparation and Sodding. MD-VA, Pub #1, Cooperative Extention Service, University of Maryland and Virginia Polytechnic Institutes. Revised 1973.

30.0 Dust Control

Definition

Controlling dust blowing and movement on construction sites and roads.

Purpose

To prevent blowing and movement of dust from exposed soil surfaces, reduce on and off-site damage, health hazards, and improve traffic safety.

Conditions Where Practice Applies

This practice is applicable to areas subject to dust blowing and movement wher in and off-site damage is likely without treatment.

Specifications

Temporary Methods

1. Mulches - See standards for vegetative stabilization with mulches only. Mulch should be crimped or tacked to prevent blowing.

2. Vegetative Cover - See standards for temporary vegetative cover.

3. Tillage - To roughen surface and bring clods to the surface. This is an emergency measure which should be used before soil blowing starts. Begin plowing on windward side of site. Chisel-type plows spaced about 12" apart, spring-toothed harrows, and similar plows are examples of equipment whic; may produce the desired effect.

4. Irrigation - This is generally done as an emergency treatment. Site is sprinkled with water until the surface is moist. Repeat as needed. At no time should the site be irrigated to the point that runoff begins to flow.

5. Barriers - Solid board fences, silt fences, snow fences, burlap fences, staw bales, and similar materials can be used to control air currents and soil blowing. Barriers placed at right angles to prevailing currents at intervals of about 10 times their height are effective in controlling soil blowing.
6. Calcium Chloride - Apply at rates that will keep surface moist. May need retreatment.

Permanent Methods

1. Permanent Vegetation - See standards for permanent vegetative cover, and permanent stabilization with sod. Existing trees or large shrubs may afford valuable protection if left in place.]

2. Topsoil - Covering with less erosive materials. See Standards for topsoilding.

3. Stone - Cover surface with crushed stone or coarse gravel.

References

1. Agriculture Handbook 346. Wind Erosion Forces in the United State and Their Use in Predicting Soil Loss.

2. Agriculture Information Bulletin 354. How to Control Wind Erosion, USDA - ARS.

PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seedbed Preparation: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

Soil Amendments: In lieu of soil test recommendations, use one of the following schedules:
1. Preferred--Apply 2 tons/acre dolomitic limestone (92 lbs/1000 sq. ft.) and 600 lbs/acre 10-10-10
fertilizer (14 lbs/1000 sq. ft.) before seeding. Harrow or disk into upper three inches of soil.
At time of seeding apply 400 lbs/acre 30-0-0 urea form fertilizer (9 lbs/1000 sq. ft.)
2. Acceptable--Apply 2 tons/acre dolomitic limestone (92 lbs/1000 sq. ft.) and 1000 lbs/acre 10-10-10
fertilizer (23 lbs/1000 sq. ft.) before seeding. Harrow or disk into upper three inches of soil.

Seeding -- For the periods March 1 -- April 30, and August 1 -- October 15, seed with 60 lbs/acre (1.4 lbs/1000 sq. ft.) of Kentucky 31 Tall Fescue. For the period May 1 -- July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs/acre (.05 lbs/1000 sq. ft.) of weeping lovegrass. During the period of October 16 -- February 28, protect site by:
Option 1 - Two tons per acre of well anchored straw mulch and seed as soon as possible in the spring.
Option 2 - Use sod. Option 3 -- Seer: with 60 lbs/acre Kentucky 30 Tall Fescue and mulch with
2 tons/acre well anchored straw.

Mulching -- Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq. ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq. ft.) of emulsified asphalt on flat areas. On slope 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq. ft.) for anchoring.

Maintenance -- Inspect all seeding areas and make needed repairs, replacements and reseedings.

TEMPORARY SEEDING NOTES.

Apply to graded or cleared areas likely to be re-disturbed where a short-term vegetative cover is needed.

Seedbed preparation: -- Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

Soil Amendments: -- Apply 600 lbs/acre 10-10-10 fertilizer (14 lbs/1000 sq. ft.).

Seeding: -- For periods March 1 -- April 30 and from August 15 -- October 15, seed with 2-1/2 bushel per acre of annual rye (3.2 lbs/1000 sq. ft.). For the period May 1 -- August 14, seed with 3 lbs/acre of weeping lovegrass (.07 lbs/1000 sq. ft.). For the period November 16 -- February 28 protect the site by applying 2 tons/acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

Mulching: -- Apply 1-1/2 to 2 tons/acre (70 to 90 lbs/1000 sq. ft.) of unrotted weed-free, small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal. per acre (5 gal/1000 sq. ft.) of emulsified asphalt on flat areas. On slope 8 ft. or higher, use 348 gal. per acre (8 gal/1000 sq. ft.)for anchoring.

Refer to the 1994 MARYLAND STANDARDS AND SPECIFICATION FOR SOIL EROSION AND SEDIMENT CONTROL for additional rates and methods not covered.

DEVELOPER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

Signature of Developer — Date 7/24/07

STEVE KNECHT
Print name below signature

ENGINEER'S CERTIFICATE

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature of Engineer — Date 7.24.07

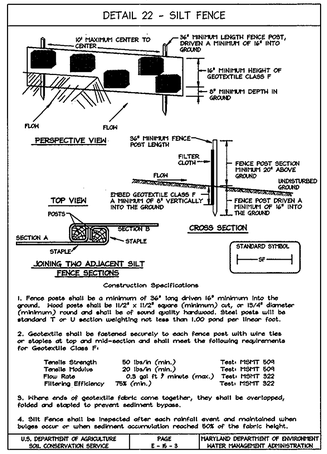
JOHN HOUSEHOLDER, P.E.
Print name below signature

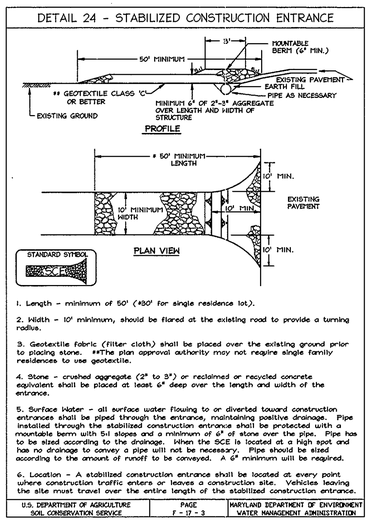
REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS.

USDA-Natural Resources Conservation Service — Date 7/7/07

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

Howard SCD — Date 7/7/07





1. Length - minimum of 50' (*30' for single residence lot).

2. Width - 10' minimum, should be flared at the existing road to provide a turning radius.

3. Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. **The plan approval authority may not require single family residences to use geotextile.

4. Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.

5. Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.

6. Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE | PAGE F - 17 - 3 | MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED STORM WATER FACILITIES

ROUTINE MAINTENAMCE:

1. FACILITY SHALL BE INSPECTED ANNUALLY AND AFTER MAJOR STORMS. INSPECTIONS SHALL BE PERFORMED DURING WET WEATHER TO DETERMINE IF THE FACILITY IS FUNCTIONING PROPERLY.
2. TOP AND SIDE SLOPES OF THE FACILITY SHALL BE MOWED A MINIMUM OF TWO (2) TIMES PER YEAR, ONCE IN JUNE AND ONCE IN SEPTEMBER. OTHER SIDE SLOPES AND MAINTENANCE ACCESS SHALL BE MOWED AS NEEDED.
3. DEBRIS AND LITTER SHALL BE REMOVED DURING REGULAR MOWING OPERATIONS AS NEEDED.
4. VISIBLE SIGNS OF EROSION IN THE FACILITY SHALL BE REPAIRED AS SOON AS IT IS NOTICED.

NON-ROUTINE MAINTENAMCE:

1. STRUCTURAL COMPONENTS OF THE FACILITY SUCH AS THE INLET AND THE PIPES SHALL BE REPAIRED UPON THE DETECTION OF ANY DAMAGE. THE COMPONENTS SHALL BE INSPECTED DURING ROUTINE MAINTENANCE OPERATIONS.
2. SEDIMENT SHALL BE REMOVED FROM THE FACILITY, NO LATER THAN WHEN THE CAPACITY OF THE FACILITY, IS HALF FULL OF SEDIMENT, OR WHEN DEEMED NECESSARY FOR AESTHETIC REASON, UPON APPROVAL FROM THE DEPARTMENT OF PUBLIC WORKS.

OPERATION, MAINTENANCE AND INSPECTION

INSPECTION OF THE FACILITY SHOWN HEREON SHALL BE PERFORMED AT LEAST ANNUALLY.
THE FACILITY OWNER(S) AND ANY HEIRS, SUCCESSORS, OR ASSIGNS SHALL BE RESPONSIBLE FOR THE SAFETY OF THE FACILITY AND THE CONTINUED OPERATION, SURVEILLANCE, INSPECTION, AND MAINTENANCE THEREOF.

HOWARD COUNTY
SOIL CONSERVATION DISTRICT
STANDARD SEDIMENT CONTROL NOTES

1. A minimum of 48 hours notice must be given to the Howard County Department of Inspections, Licenses and Permits, Sediment Control Division prior to the start of any construction (313-1855).

2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the most current MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL and revisions thereto.

3. Following initial soil disturbance or re-disturbance, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.

4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol 1, Chapter 12 of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.

5. All disturbed areas must be stabilized within the time period specific above in accordance with the 1995 MARYLAND STANDARD AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding (Sec. 51), sod (Sec. 54), temporary seeding (Sec. 50) and mulching (Section 52). Temporary stabilization with muich along can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.

6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained by the Howard County Sediment Control Inspector.

7. Site Analysis:
Total Area of Site 1.03 Acres
Area Disturbed Lot 115 0.106 Acres
Area Disturbed Lot 119 0.114 Acres
Area to be roofed or paved 0.10 Acres
Area to be vegetatively stabilized 0.12 Acres
Total Cut 200 Cu. Yds.
Total Fill 500 Cu. Yds.
Offsite waste/borrow area location: N/A

8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.

9. Additional sediment control must be provided, if deemed necessary by the Howard County Sediment Control Inspector.

10. On all site with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of instillation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.

11. Trenches for the construction of utilities is limited to three pipe lengths or that which shall be back-filled and stabilized any construction as shown on these plans by the end of each work day, whichever is shorter.

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS.

USDA-Natural Resources, Conservation Service — Date 7/7/07

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

Howard SCD — Date 7/7/07

7.24.07
DATE
STATE OF MARYLAND
JOHN M. HOUSEHOLDER
No. 29997
PROFESSIONAL ENGINEER

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development — Date 8/09/07

Chief, Development Engineering Division J.P. — Date 8/8/07

Director, Department of Planning and Zoning — Date 8/9/07

Date	No.	Revision Description

GLENMAR
SECTION 2, LOTS 115 AND 119
SINGLE FAMILY HOME CONSTRUCTION

OWNER / DEVELOPER

CHARTER HOMES, LLC
CONTACT: STEVE KNECHT
3230 BETHANY LANE, SUITE 8
ELLICOTT CITY, MARYLAND 21042
TEL.: (410) 480-3213 FAX (410) 480-3215

christopher consultants
engineering · surveying · land planning
christopher consultants, ltd.
7172 columbia gateway drive (suite 100) · columbia, md. 21046-2990
410.872.8690 - metro 301.881.1048 - fax 410.872.8693

ADDRESS CHART

LOT/PARCEL	STREET ADDRESS
115	8345 MITZY LANE
119	8375 MITZY LANE

PERMIT INFORMATION CHART

PROJECT NAME		LOT/PARCEL NO.		CENSUS TRACT
GLENMAR		LOTS 115 & 119		6011.02
PLAT NO.	GRID NO.	ZONE	TAX MAP	ELECTION DISTRICT
6129	19	R-20	31	01
WATER CODE	PUBLIC		SEWER CODE	PUBLIC

TITLE:
EROSION AND SEDIMENT CONTROL NOTES & DETAILS

DESIGN: ENJ, AH	SCALE: AS SHOWN	PROJECT: 06A701.00
DRAWN: DAM	DATE: JUNE 14, 2007	5 OF 6
CHECKED: JMH	APPROVED:	

SDP-07-25

MDC-525(SDP)

SCHEDULE A
PERIMETER LANDSCAPE EDGE

CATEGORY	ADJACENT TO PERIMETER PROPERTIES		ADJACENT TO ROADWAYS	
PERIMETER	P 1	P 2	P 3	
LANDSCAPE TYPE "A" L.F. OF PER.	150 LF.	190 LF.	638 LF.	
CREDIT FOR EX. VEG. BELOW IF NEEDED	YES - 3 EX. TREES	N/A	YES - 42 EX. TREES 508 L.F.	
PERM. L.F. OF PERIMETER (PERIMETER- CREDIT)	N/A	N/A	N/A	
NO. OF PLANTS REQ.				TOTAL
SHADE TREES	0*	1	2**	3
EVG. TREES	0	0	0	0
SHRUBS	0	0	0	0
NO. OF PLANTS PROV.				
SHADE TREES	0*	0	2**	2
EVG. TREES	0	0	0	0
OTHER TREES	0	0	0	0
SHURBS	0	0	0	0

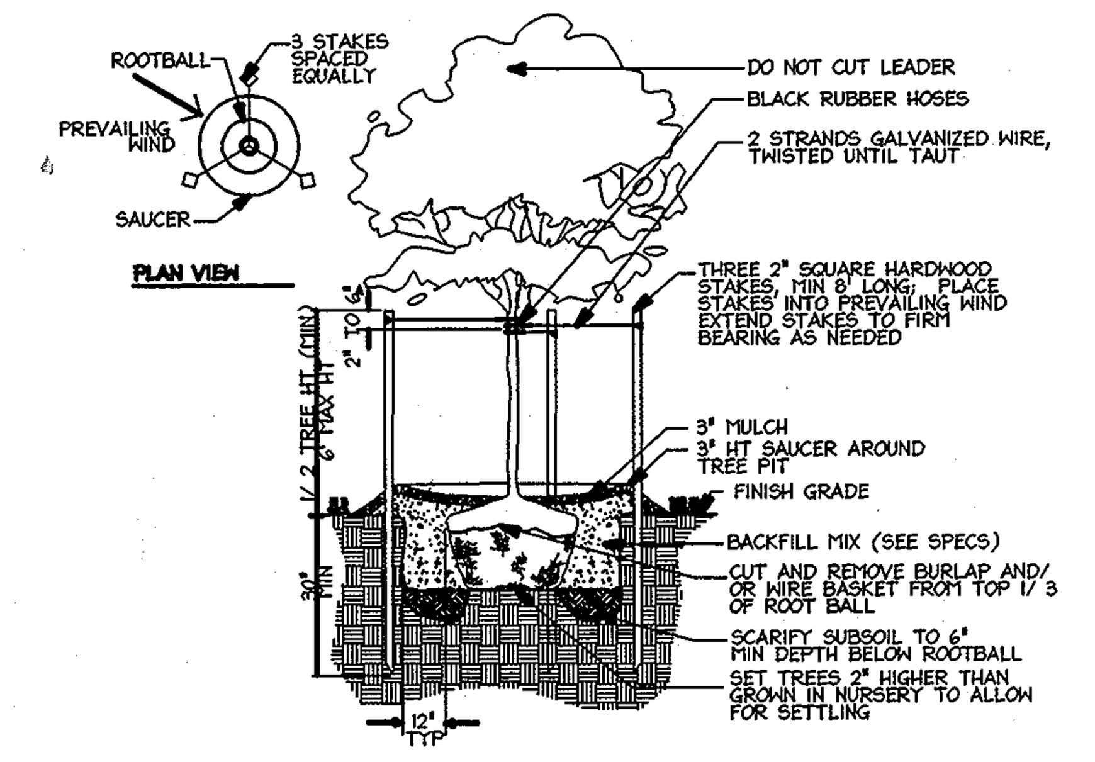
NOTES:

* P1 - 3 EXISTING SHADE TREES HAVE BEEN USED TO SATISFY PERIMETER REQUIREMENTS.

** P3 - 42 EXISTING SHADE TREES HAVE BEEN USED TO SATISFY A PORTION OF THE PERIMETER REQUIREMENTS.

PLANT LIST

QTY.	SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING/COMMENTS
SHADE TREES					
2	SB	SALIX BABYLONICA	WEEPING WILLOW	2 1/2" - 3" CAL.	B&B



Tree Planting Detail

Not To Scale

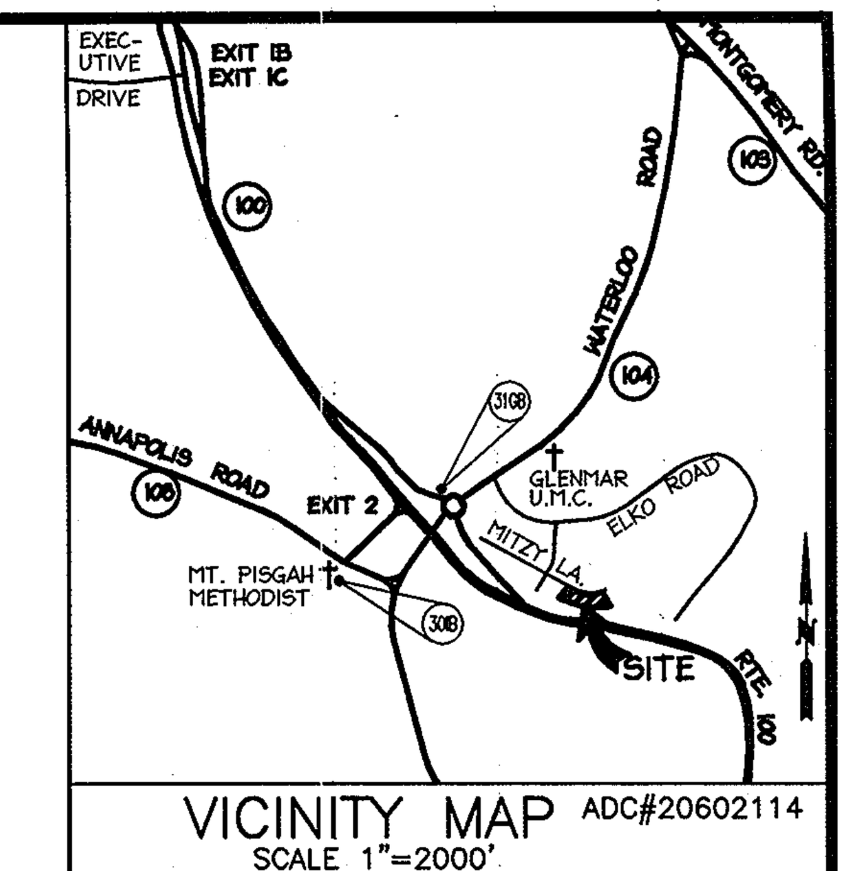
EXISTING TREE TABLE

NUMBER		SIZE	CONDITION
1	POPLAR	13"	GOOD
2	RED MAPLE	20"	GOOD
3	RED MAPLE	17"	GOOD
4	RED MAPLE	9"	GOOD
5	RED MAPLE	12"	GOOD
6	RED MAPLE	11"	GOOD
7	POPLAR	14"	GOOD
8	RED MAPLE	16"	GOOD
9	TWIN RED MAPLE	12"/12"	GOOD
10	BLACK GUM	10"	GOOD
11	POPLAR	19"	GOOD
12	RED MAPLE	10"	GOOD
13	MOCKERNUT HICKORY	14"	GOOD
14	RED MAPLE	9"	GOOD
15	WHITE OAK	12"	GOOD
16	MOCKERNUT HICKORY	12"	GOOD
17	WHITE OAK	13"	GOOD
18	WHITE OAK	15"	GOOD
19	TWIN RED MAPLE	15"/8"	GOOD
20	RED MAPLE	11"	GOOD
21	TWIN MAPLE	15"	GOOD
22	RED MAPLE	11"	GOOD
23	RED MAPLE	15"	GOOD
24	RED MAPLE	13"	GOOD
25	RED MAPLE	16"	GOOD
26	RED MAPLE	9"	GOOD
27	RED MAPLE	16"	GOOD
28	RED MAPLE	12"	GOOD
29	TWIN RED MAPLE	10"/10"	GOOD
30	RED MAPLE	8"	GOOD
31	TWIN MOCKERNUT HICKORY	12"/10"	GOOD
32	RED MAPLE	28"	GOOD
33	MOCKERNUT HICKORY	6"	GOOD
34	BLACK CHERRY	10"	GOOD
35	RED MAPLE	12"	GOOD
36	RED MAPLE	6"	GOOD
37	RED MAPLE	13"	GOOD
38	POPLAR	15"	GOOD
39	RED MAPLE	6"	GOOD
40	RED MAPLE	8"	GOOD
41	RED OAK	16"	GOOD
42	POPLAR	15"	GOOD
43	TWIN RED MAPLE	12"/9"	GOOD
44	RED OAK	14"	GOOD
45	RED MAPLE	13"	GOOD

GENERAL PLANTING NOTES

1. ALL PLANT MATERIAL TO MEET A.A.N. STANDARDS
2. LANDSCAPING CONTRACTOR TO FOLLOW LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE- WASHINGTON METRO AREA APPROVED BY LCAMW.
3. NO SUBSTITUTIONS TO BE MADE WITHOUT CONSENT OF LANDSCAPE ARCHITECT OR OWNER.
4. IN THE EVENT OF VARIATION BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND THE PLANS, THE PLANS SHALL CONTROL. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES PRIOR TO THE COMMENCEMENT OF WORK. SOD QUANTITY TAKE-OFFS ARE THE RESPONSIBILITY OF THE CONTRACTOR. ALL DISCREPANCIES SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO BIDDING. THE CONTRACTOR SHALL FURNISH PLANT MATERIAL IN SIZES AS SPECIFIED IN THE PLANT LIST.
5. ALL BEDS TO BE TOPPED WITH THREE INCHES OF HARDWOOD MULCH.
6. LANDSCAPE CONTRACTOR TO VERIFY LOCATION OF UTILITIES WITH OWNERS BEFORE PLANTING.
7. LANDSCAPE ARCHITECT/OWNER SHALL SELECT, VERIFY AND/OR APPROVE ALL PLANT MATERIAL. AT OWNER'S DISCRETION, SPECIMEN AND OTHER PLANT MATERIAL WILL BE SELECTED.
8. LANDSCAPE CONTRACTOR SHALL COORDINATE PLANT BED FILLING OPERATIONS AND PLANT MATERIAL INSTALLATION WITH WITH GENERAL CONTRACTOR AND UTILITIES CONTRACTOR. AT THE TIME OF FINAL INSPECTION WITH ACCEPTANCE, ALL ELECTRIC,WATER,DRAINAGE, AND FOUNTAIN UTILITIES,AS WELL AS ALL PLANT MATERIALS, SHALL REMAIN UNDAMAGED. LIKEWISE, LANDSCAPE CONTRACTOR AND UTILITIES CONTRACTOR SHALL COORDINATE EFFORTS TO ENSURE THAT SURFACE UTILITIES ARE AT THE PROPER ELEVATION RELATIVE TO FINAL GRADES.
9. CONTRACTOR SHALL NOTIFY MISS UTILITY 72 HOURS PRIOR TO CONSTRUCTION.
10. THE OWNER,TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENTANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
11. TOPSOIL MIX
    a. Planting mix shall be prepared at approved on-site staging area using approved on-site existing soil. Mix minimum quantities of 20 cubic yards or sufficient mix for entire job if less than 20 cubic yards is required.
    b. Thoroughly mixed in the following proportions for tree and shrub planting mix:
       .5 cy existing soil
       .2 cy sharp sand
       .3 cy wood residuals
       4.5 lbs treble superphosphate
       5 lbs dolmonite limestone (eliminate for acid loving plants)
    c. For bed planting, shrubs and groundcover spaces 24 inches or closer, incorporate the following ingredients per 20 sf and incorporate into top 8 inches of existing soils by rototilling or similar method of incorporation.
       .2 cy sharp sand
       .3 cy organic material
       4.5 lbs treble superphosphate
       5 lbs dolmonite limestone (eliminate for acid loving plants)
12. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HO.CO. CODE. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING IN THE AMOUNT OF $600.00 MUST BE POSTED WITH THE GRADING PERMIT FOR LOT 119. (2 SHADE TREES)
13. DEVELOPER'S BUILDER'S CERTIFICATE
    I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPING MANUAL. I/WE FURTHER CERTIFY THAT UPON TREES COMPLETION, A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE-YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

[signature] 7/24/07
NAME STEVE KNECHT DATE

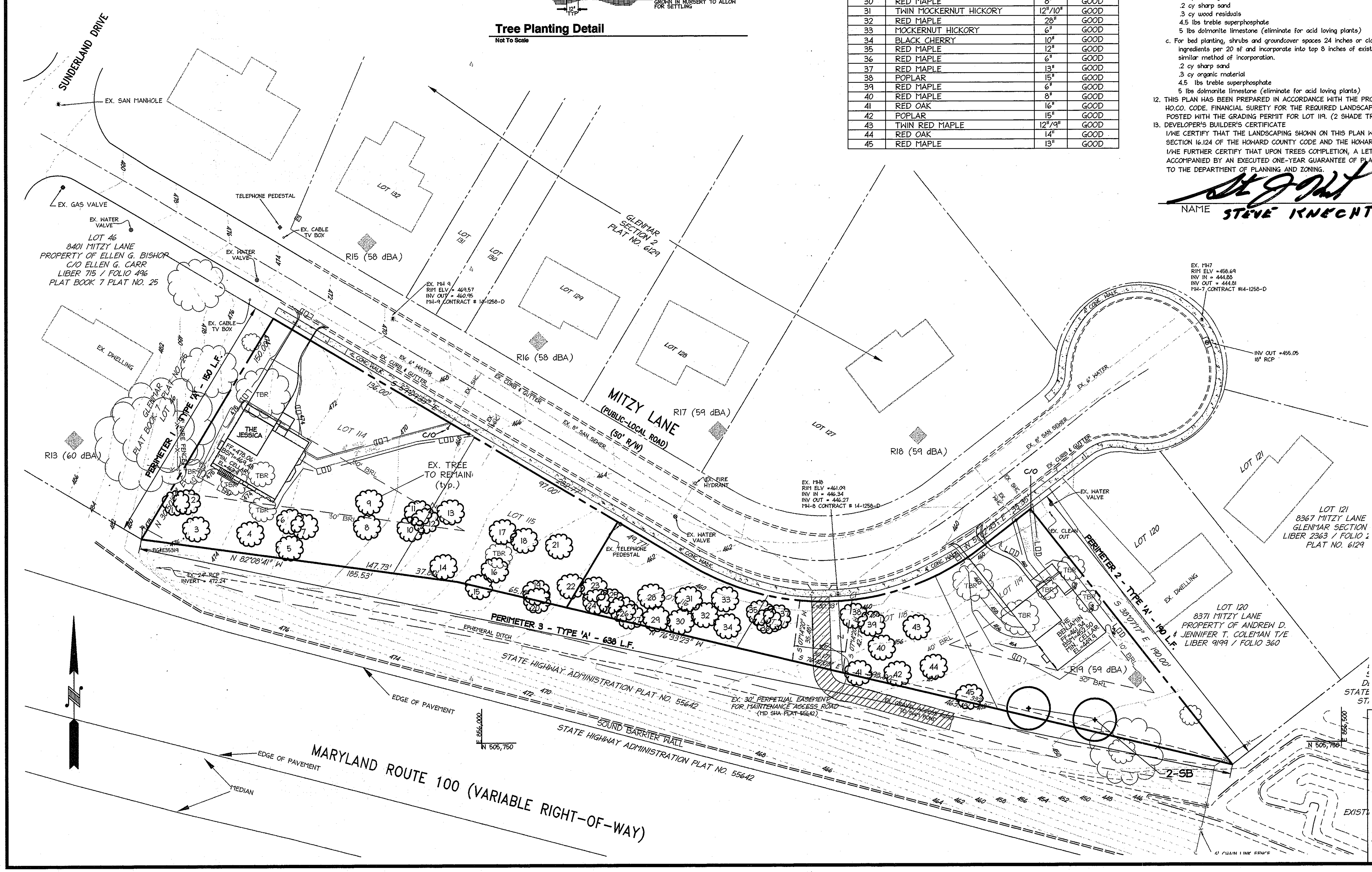


VICINITY MAP ADC#20602114
SCALE 1"=2000'

HOWARD COUNTY, MAP 16, GRID F-4
HOWARD COUNTY CONTROL STATIONS:
SURVEY BENCH MARK= 31M2
GEODETIC CONTROL= 31GB

LEGEND

EXISTING CONTOURS	
PROPOSED CONTOURS	416
EXISTING SANITARY SEWER	EX. 8" SAN
EXISTING WATER	EX. 6" WATER
PROPERTY LINE	
PROPOSED SEWER	PROP. 4" SHC
PROPOSED WATER	PROP. 2" WHC
BUILDING RESTRICTION LINES	
LIMIT OF DISTURBANCE	LOD
PROPOSED SHADE TREE	
PROPOSED ORNAMENTAL TREE	
EXISTING SHADE TREE TO REMAIN	
EXISTING SHADE TREE TO BE REMOVED	TBR
NOISE STUDY RECEPTOR POINT	R19 (59 dBA)



48 Hours
Before You Dig Call
"MISS UTILITY"
Service Protection Center
CALL TOLL FREE 1-800-257-7777

7.20.07
DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[signature] for CH	8/9/07
Chief, Division of Land Development	Date
[signature] J.R.	8/8/07
Chief, Development Engineering Division	Date
[signature] BB	8/9/07
Director, Department of Planning and Zoning	Date

Date	No.	Revision Description

GLENMAR ,
SECTION 2, LOTS 115 AND 119
SINGLE FAMILY HOME CONSTRUCTION

OWNER / DEVELOPER

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410.872.8690 · metro 301.881.0148 · fax 410.872.8693

ADDRESS CHART

LOT/PARCEL	STREET ADDRESS
115	8395 MITZY LANE
119	8375 MITZY LANE

PERMIT INFORMATION CHART

PROJECT NAME		LOT/PARCEL NO.		CENSUS TRACT
GLENMAR		LOTS 115 & 119		6011.02
PLAT NO. 6129	GRID NO. 19	ZONE R-20	TAX MAP 31	ELECTION DISTRICT 01
WATER CODE PUBLIC			SEWER CODE PUBLIC	

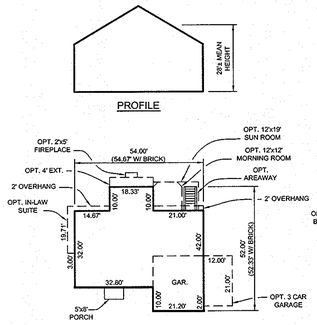
TITLE:

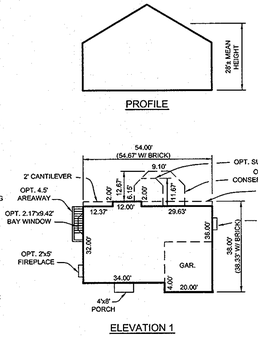
LANDSCAPE PLAN

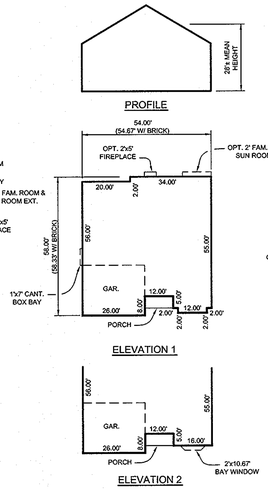
DESIGN: LNG	SCALE: 1" = 30'	PROJECT: 06A701.00
DRAWN: DAM	DATE: JUNE 14, 2007	**6 OF 6**
CHECKED: BKC	APPROVED:	

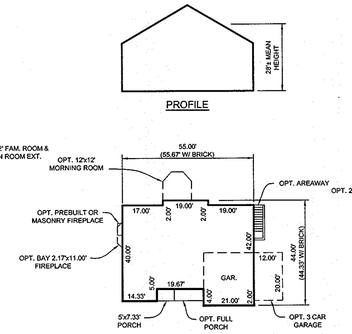
SDP-07-25

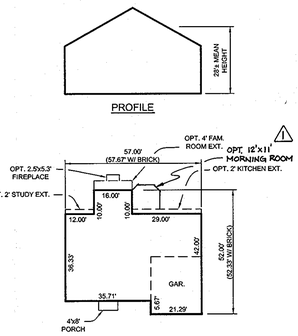
MDC-525(SDP)

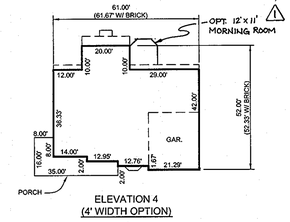




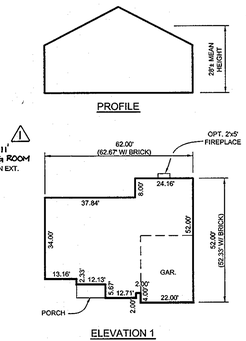




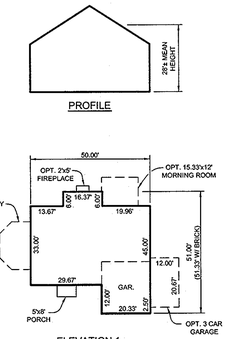




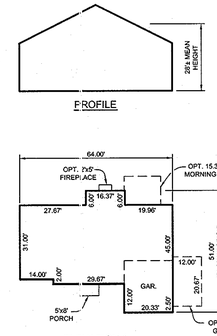
DORCHESTER II
SCALE:1=30'



SOMERSET
SCALE:1=30'

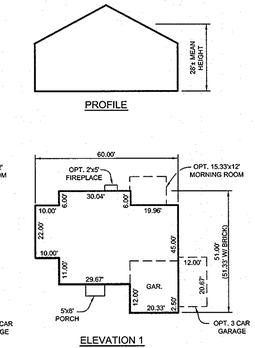


OPTION I

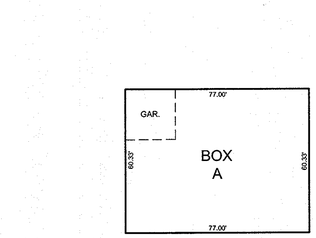


CALVERT II
SCALE:1=30'

OPTION 2
FIRST FLOOR MASTER BEDROOM



OPTION 3
SECONDARY FIRST FLOOR MASTER BEDROOM



CALVERT II
OPTION 1
ALL OPTIONS AND ELEVATIONS AVAILABLE

OPTION 2
ALL OPTIONS AND ELEVATIONS AVAILABLE

OPTION 3
ALL OPTIONS AND ELEVATIONS AVAILABLE

WILLIAM DEAVEN
ALL OPTIONS AND ELEVATIONS AVAILABLE

THOMAS GOODWIN
ALL OPTIONS AND ELEVATIONS AVAILABLE

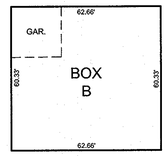
JACOB TYLER
ALL OPTIONS AND ELEVATIONS AVAILABLE

JAMES RANDOLPH
ALL OPTIONS AND ELEVATIONS AVAILABLE

DORCHESTER II
ALL OPTIONS AND ELEVATIONS AVAILABLE

SOMERSET
ALL OPTIONS AND ELEVATIONS AVAILABLE

HUNTINGTON
ALL OPTIONS AND ELEVATIONS AVAILABLE



CALVERT II
OPTION 1
ALL OPTIONS EXCEPT FOR CONSERVATORY

OPTION 2
NOT AVAILABLE

OPTION 3
ALL OPTIONS EXCEPT FOR 3 CAR GARAGE

WILLIAM DEAVEN
ALL OPTIONS AND ELEVATIONS AVAILABLE

THOMAS GOODWIN
ALL OPTIONS EXCEPT FOR 3 CAR GARAGE

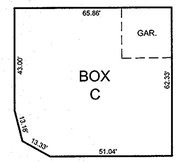
JACOB TYLER
ALL OPTIONS AND ELEVATIONS AVAILABLE

JAMES RANDOLPH
ALL OPTIONS EXCEPT FOR 3 CAR GARAGE

DORCHESTER II
ALL OPTIONS EXCEPT FOR WRAP-AROUND PORCH W/ 4' WIDTH

SOMERSET
ALL OPTIONS AND ELEVATIONS AVAILABLE

HUNTINGTON
ALL OPTIONS EXCEPT FOR SUNROOM



CALVERT II
OPTION 1
ALL OPTIONS EXCEPT FOR CONSERVATORY WITH 3 CAR GARAGE

OPTION 2
ALL OPTIONS EXCEPT FOR 3 CAR GARAGE

OPTION 3
ALL OPTIONS EXCEPT FOR 3 CAR GARAGE

WILLIAM DEAVEN
ALL OPTIONS AND ELEVATIONS AVAILABLE

THOMAS GOODWIN
ALL OPTIONS EXCEPT FOR 3 CAR GARAGE

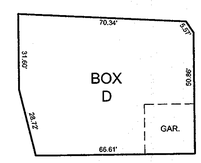
JACOB TYLER
ALL OPTIONS AND ELEVATIONS AVAILABLE

JAMES RANDOLPH
ALL OPTIONS EXCEPT FOR 3 CAR GARAGE

DORCHESTER II
ALL OPTIONS AND ELEVATIONS AVAILABLE

SOMERSET
ALL OPTIONS AND ELEVATIONS AVAILABLE

HUNTINGTON
ALL OPTIONS EXCEPT FOR SUNROOM



CALVERT II
OPTION 1
ALL OPTIONS EXCEPT FOR CONSERVATORY WITH 3 CAR GARAGE

OPTION 2
ALL OPTIONS EXCEPT FOR 3 CAR GARAGE OR MORNING ROOM

OPTION 3
ALL OPTIONS EXCEPT FOR MORNING ROOM

WILLIAM DEAVEN
ALL OPTIONS AND ELEVATIONS AVAILABLE

THOMAS GOODWIN
ALL OPTIONS AND ELEVATIONS AVAILABLE

JACOB TYLER
NOT AVAILABLE

JAMES RANDOLPH
ALL OPTIONS EXCEPT FOR BRICK W/ 3 CAR GARAGE

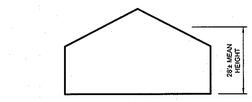
DORCHESTER II
ALL OPTIONS AND ELEVATIONS AVAILABLE

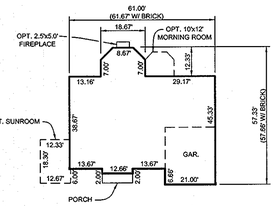
SOMERSET
ALL OPTIONS AND ELEVATIONS AVAILABLE

HUNTINGTON
ALL OPTIONS EXCEPT FOR SUNROOM

NOTE:
ALL OPTIONS AND ELEVATIONS FIT WITHIN THE HOUSE MODEL BOX UNLESS OTHERWISE NOTED.

GENERIC HOUSE MODEL BOXES
SCALE:1=30'





HUNTINGTON
SCALE:1=30'

APPROVED
PLANNING BOARD
of HOWARD COUNTY
DATE JULY 19, 2007

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE 11/1/07
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE 11/6/07
DIRECTOR	DATE 11/6/07

NO.	DESCRIPTION	DATE
1	ADD MORNING ROOM TO DORCHESTER II	12.31.07

REVISIONS

OWNER/DEVELOPER
WILLIAMSBURG GROUP, LLC
C/O ROBERT CORBETT
5485 HARPERS FARM ROAD, SUITE 200
COLUMBIA, MD 21044
410.997.8800

HOUSE MODEL TEMPLATES

TROTTER PINES

LOTS 1-4 AND OPEN SPACE LOT 5
SINGLE FAMILY DETACHED DWELLINGS

TAX MAP 35 GRID 14 PARCEL 157
5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

Sill · Adcock & Associates · LLC
Engineers · Surveyors · Planners
3300 North Ridge Road, Suite 160
Ellicott City, Maryland 21043
Phone: 443.325.7682 Fax: 443.325.7685
Email: info@saaland.com

STATE OF MARYLAND · PAUL M. SILL · No. 32025 · PROFESSIONAL ENGINEER

DESIGN BY:	JT
DRAWN BY:	JT
CHECKED BY:	PS
SCALE:	AS SHOWN
DATE:	OCT. 15, 2007
PROJECT #:	05-016
SHEET #:	3 OF 4

SDP-07-030

SCHEDULE A
PERIMETER LANDSCAPE EDGE

CATEGORY	ADJACENT TO PERIMETER PROPERTIES		ADJACENT TO ROADWAYS	
PERIMETER	P 1	P 2	P 3	
LANDSCAPE TYPE "A" L.F. OF PER.	150 LF.	190 LF.	638 LF.	
CREDIT FOR EX. VEG. BELOW IF NEEDED	YES - 3 EX. TREES	N/A	YES - 42 EX. TREES 508 L.F.	
PERM. L.F. OF PERIMETER (PERIMETER- CREDIT)	N/A	N/A	N/A	TOTAL
NO. OF PLANTS REQ. SHADE TREES EVG. TREES SHRUBS	 0* 0 0	 1 0 0	 2** 0 0	 3 0 0
NO. OF PLANTS PROV. SHADE TREES EVG. TREES OTHER TREES SHURBS	 0* 0 0 0	 0 0 0 0	 2** 0 0 0	 2 0 0 0

NOTES:
* P1 - 3 EXISTING SHADE TREES HAVE BEEN USED TO SATISFY PERIMETER REQUIREMENTS.
** P3 - 42 EXISTING SHADE TREES HAVE BEEN USED TO SATISFY A PORTION OF THE PERIMETER REQUIREMENTS.

PLANT LIST

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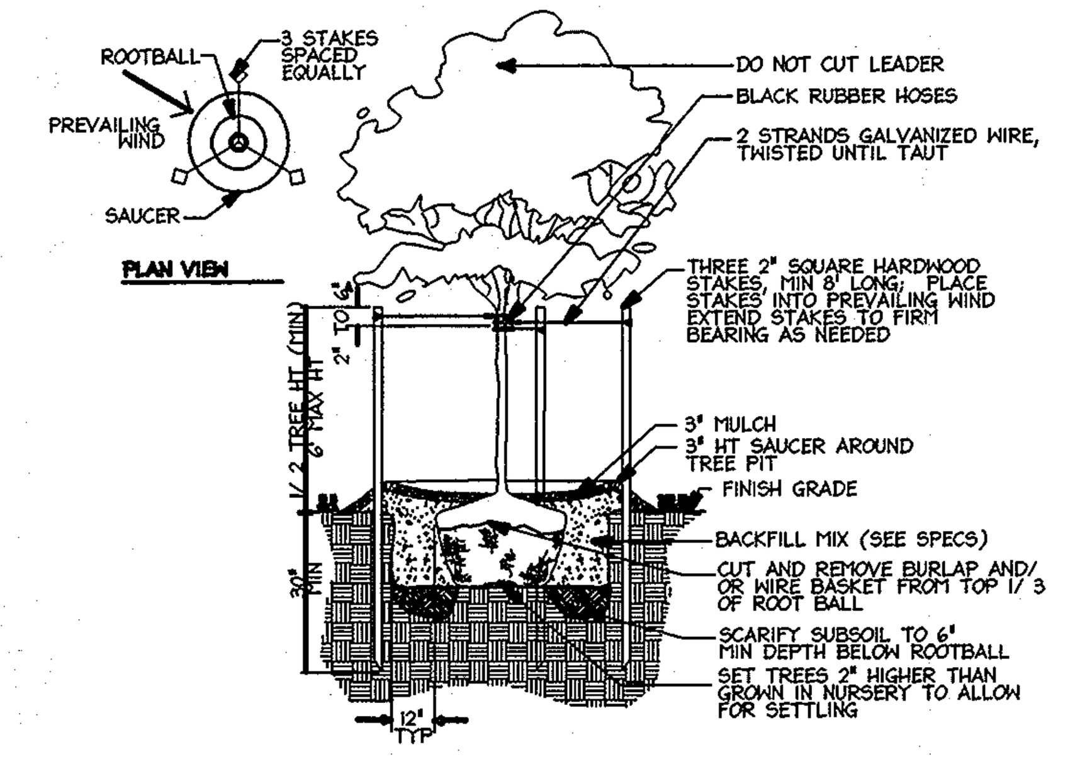

Tree Planting Detail
Not To Scale

EXISTING TREE TABLE

NUMBER		SIZE	CONDITION
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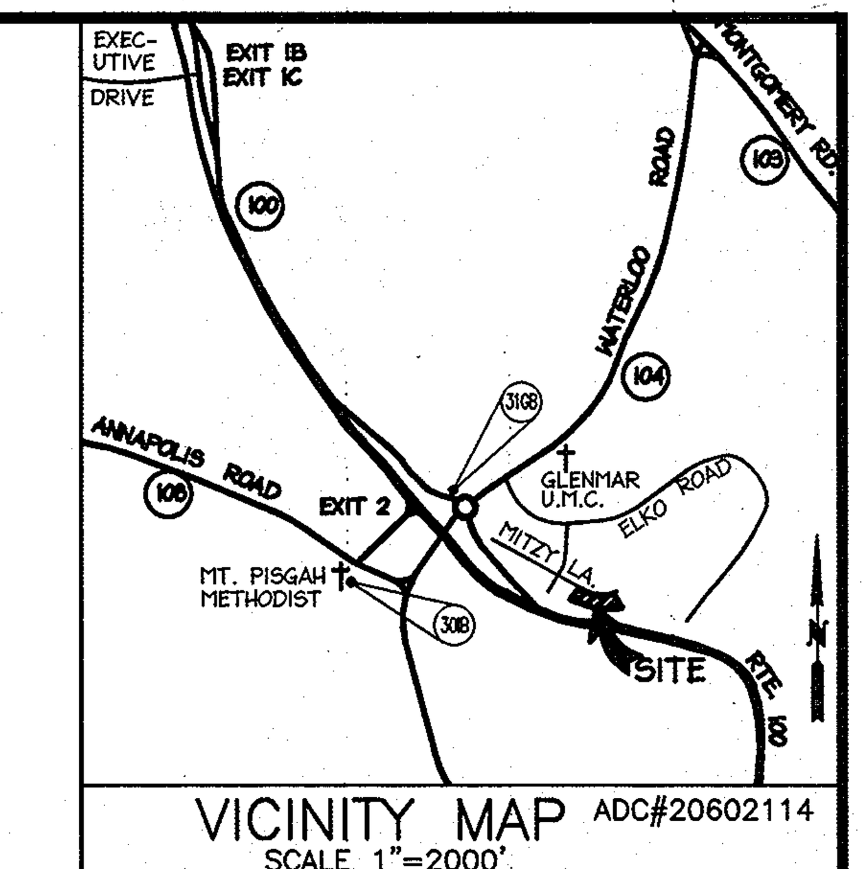
11	POPLAR	19"	GOOD
12	RED MAPLE	10"	GOOD
13	MOCKERNUT HICKORY	14"	GOOD
14	RED MAPLE	9"	GOOD
15	WHITE OAK	12"	GOOD
16	MOCKERNUT HICKORY	12"	GOOD
17	WHITE OAK	13"	GOOD
18	WHITE OAK	15"	GOOD
19	TWIN RED MAPLE	15"/8"	GOOD
20	RED MAPLE	11"	GOOD
21	TWIN MAPLE	15"	GOOD
22	RED MAPLE	11"	GOOD
23	RED MAPLE	15"	GOOD
24	RED MAPLE	13"	GOOD
25	RED MAPLE	16"	GOOD
26	RED MAPLE	9"	GOOD
27	RED MAPLE	16"	GOOD
28	RED MAPLE	12"	GOOD
29	TWIN RED MAPLE	10"/10"	GOOD
30	RED MAPLE	8"	GOOD
31	TWIN MOCKERNUT HICKORY	12"/10"	GOOD
32	RED MAPLE	28"	GOOD
33	MOCKERNUT HICKORY	6"	GOOD
34	BLACK CHERRY	10"	GOOD
35	RED MAPLE	12"	GOOD
36	RED MAPLE	6"	GOOD
37	RED MAPLE	13"	GOOD
38	POPLAR	15"	GOOD
39	RED MAPLE	6"	GOOD
40	RED MAPLE	8"	GOOD
41	RED OAK	16"	GOOD
42	POPLAR	15"	GOOD
43	TWIN RED MAPLE	12"/9"	GOOD
44	RED OAK	14"	GOOD
45	RED MAPLE	13"	GOOD

GENERAL PLANTING NOTES

1. ALL PLANT MATERIAL TO MEET A.A.N. STANDARDS
2. LANDSCAPING CONTRACTOR TO FOLLOW LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE- WASHINGTON METRO AREA APPROVED BY LCAMW.
3. NO SUBSTITUTIONS TO BE MADE WITHOUT CONSENT OF LANDSCAPE ARCHITECT OR OWNER.
4. IN THE EVENT OF VARIATION BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND THE PLANS, THE PLANS SHALL CONTROL. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES PRIOR TO THE COMMENCEMENT OF WORK. SOD QUANTITY TAKE-OFFS ARE THE RESPONSIBILITY OF THE CONTRACTOR. ALL DISCREPANCIES SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO BIDDING. THE CONTRACTOR SHALL FURNISH PLANT MATERIAL IN SIZES AS SPECIFIED IN THE PLANT LIST.
5. ALL BEDS TO BE TOPPED WITH THREE INCHES OF HARDWOOD MULCH.
6. LANDSCAPE CONTRACTOR TO VERIFY LOCATION OF UTILITIES WITH OWNERS BEFORE PLANTING.
7. LANDSCAPE ARCHITECT/OWNER SHALL SELECT, VERIFY AND/OR APPROVE ALL PLANT MATERIAL. AT OWNER'S DISCRETION, SPECIMEN AND OTHER PLANT MATERIAL WILL BE SELECTED.
8. LANDSCAPE CONTRACTOR SHALL COORDINATE PLANT BED FILLING OPERATIONS AND PLANT MATERIAL INSTALLATION WITH WITH GENERAL CONTRACTOR AND UTILITIES CONTRACTOR. AT THE TIME OF FINAL INSPECTION WITH ACCEPTANCE, ALL ELECTRIC, WATER, DRAINAGE, AND FOUNTAIN UTILITIES, AS WELL AS ALL PLANT MATERIALS, SHALL REMAIN UNDAMAGED. LIKEWISE, LANDSCAPE CONTRACTOR AND UTILITIES CONTRACTOR SHALL COORDINATE EFFORTS TO ENSURE THAT SURFACE UTILITIES ARE AT THE PROPER ELEVATION RELATIVE TO FINAL GRADES.
9. CONTRACTOR SHALL NOTIFY MISS UTILITY 72 HOURS PRIOR TO CONSTRUCTION.
10. THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENTANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
11. TOPSOIL MIX
    a. Planting mix shall be prepared at approved on-site staging area using approved on-site existing soil. Mix minimum quantities of 20 cubic yards or sufficient mix for entire job if less than 20 cubic yards is required.
    b. Thoroughly mixed in the following proportions for tree and shrub planting mix:
       .5 cy existing soil
       .2 cy sharp sand
       .3 cy wood residuals
       4.5 lbs treble superphosphate
       5 lbs dolmonite limestone (eliminate for acid loving plants)
    c. For bed planting, shrubs and groundcover spaces 24 inches or closer, incorporate the following ingredients per 20 sf and incorporate into top 8 inches of existing soils by rototilling or similar method of incorporation.
       .2 cy sharp sand
       .3 cy organic material
       4.5 lbs treble superphosphate
       5 lbs dolmonite limestone (eliminate for acid loving plants)
12. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HO.CO. CODE. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING IN THE AMOUNT OF $600.00 MUST BE POSTED WITH THE GRADING PERMIT FOR LOT 119. (2 SHADE TREES)
13. DEVELOPER'S BUILDER'S CERTIFICATE
    I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPING MANUAL. I/WE FURTHER CERTIFY THAT UPON TREES COMPLETION, A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE-YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

[signature] 7/24/07
NAME STEVE KNECHT DATE

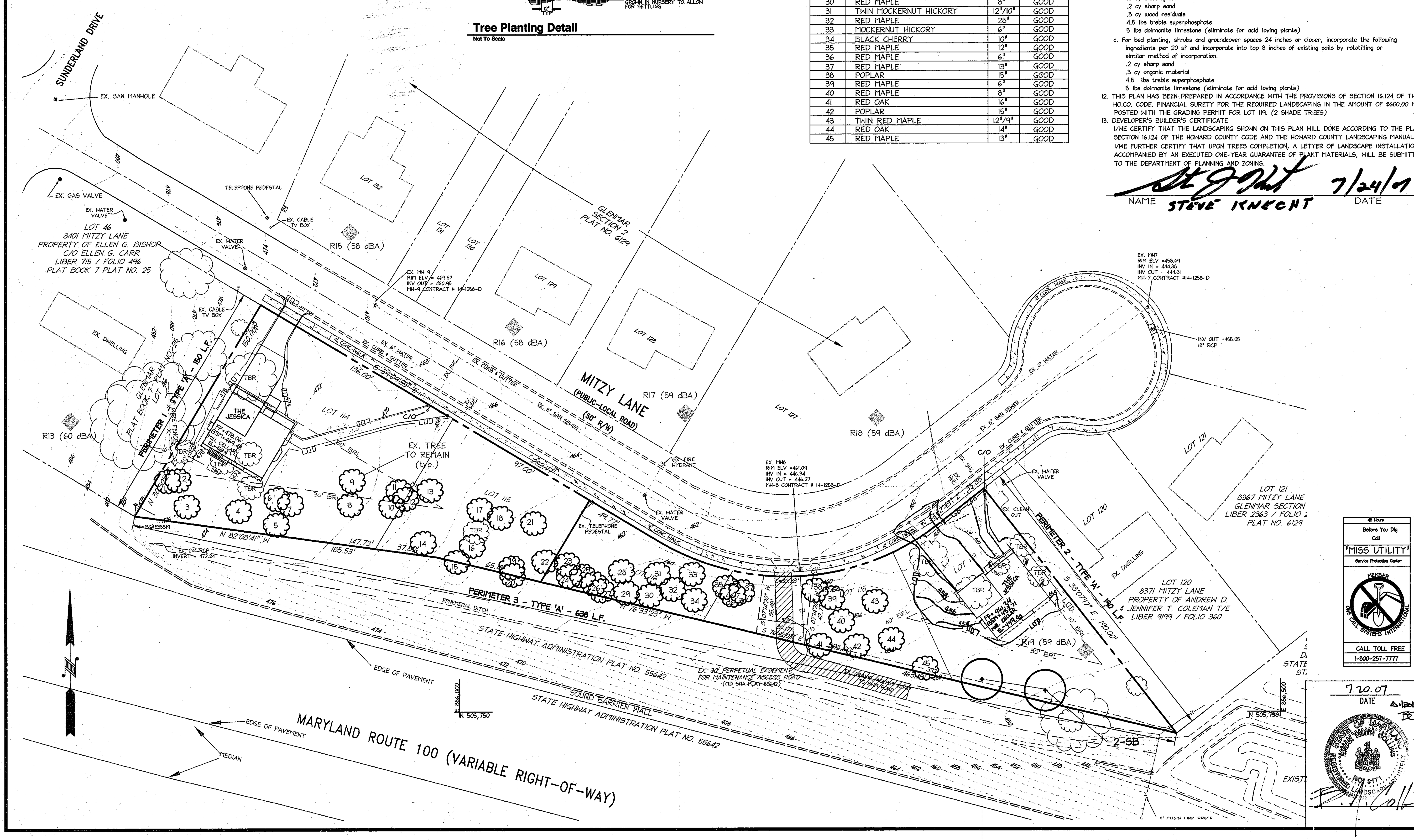


VICINITY MAP ADC#20602114
SCALE 1"=2000'

HOWARD COUNTY, MAP 16, GRID F-4
HOWARD COUNTY CONTROL STATIONS:
SURVEY BENCH MARK= 31M2
GEODETIC CONTROL= 31GB

LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS — 416
- EXISTING SANITARY SEWER — EX. 8" SAN
- EXISTING WATER — EX. 6" WATER
- PROPERTY LINE
- PROPOSED SEWER — PROP. 4" SHC
- PROPOSED WATER — PROP. 2" WHC
- BUILDING RESTRICTION LINES
- LIMIT OF DISTURBANCE — LOD
- PROPOSED SHADE TREE
- PROPOSED ORNAMENTAL TREE
- EXISTING SHADE TREE TO REMAIN
- EXISTING SHADE TREE TO BE REMOVED — TBR
- NOISE STUDY RECEPTOR POINT — R19 (59 dBA)



48 Hours Before You Dig Call
"MISS UTILITY"
Service Protection Center
CALL TOLL FREE 1-800-257-7777

7.20.07
DATE
1.30.08

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[signature] Chief, Division of Land Development	8/9/07 Date
[signature] Chief, Development Engineering Division	8/8/07 Date
[signature] Director, Department of Planning and Zoning	8/9/07 Date

Date	No.	Revision Description
1.30.08	1	ELEV K ADDED LOT 119 REVISED

GLENMAR,
SECTION 2, LOTS 115 AND 119
SINGLE FAMILY HOME CONSTRUCTION

OWNER / DEVELOPER
CHARTER HOMES, LLC
CONTACT: STEVE KNECHT
3230 BETHANY LANE, SUITE 8
ELLICOTT CITY, MARYLAND 21042
TEL. (410) 480-3213 FAX (410) 480-3215

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christopher consultants, ltd.
7172 columbia gateway drive (suite 100) · columbia, md. 21046-2990
410.872.8690 · metro 301.881.0148 · fax 410.872.8693

ADDRESS CHART

LOT/PARCEL	STREET ADDRESS
115	8395 MITZY LANE
119	8375 MITZY LANE

PERMIT INFORMATION CHART

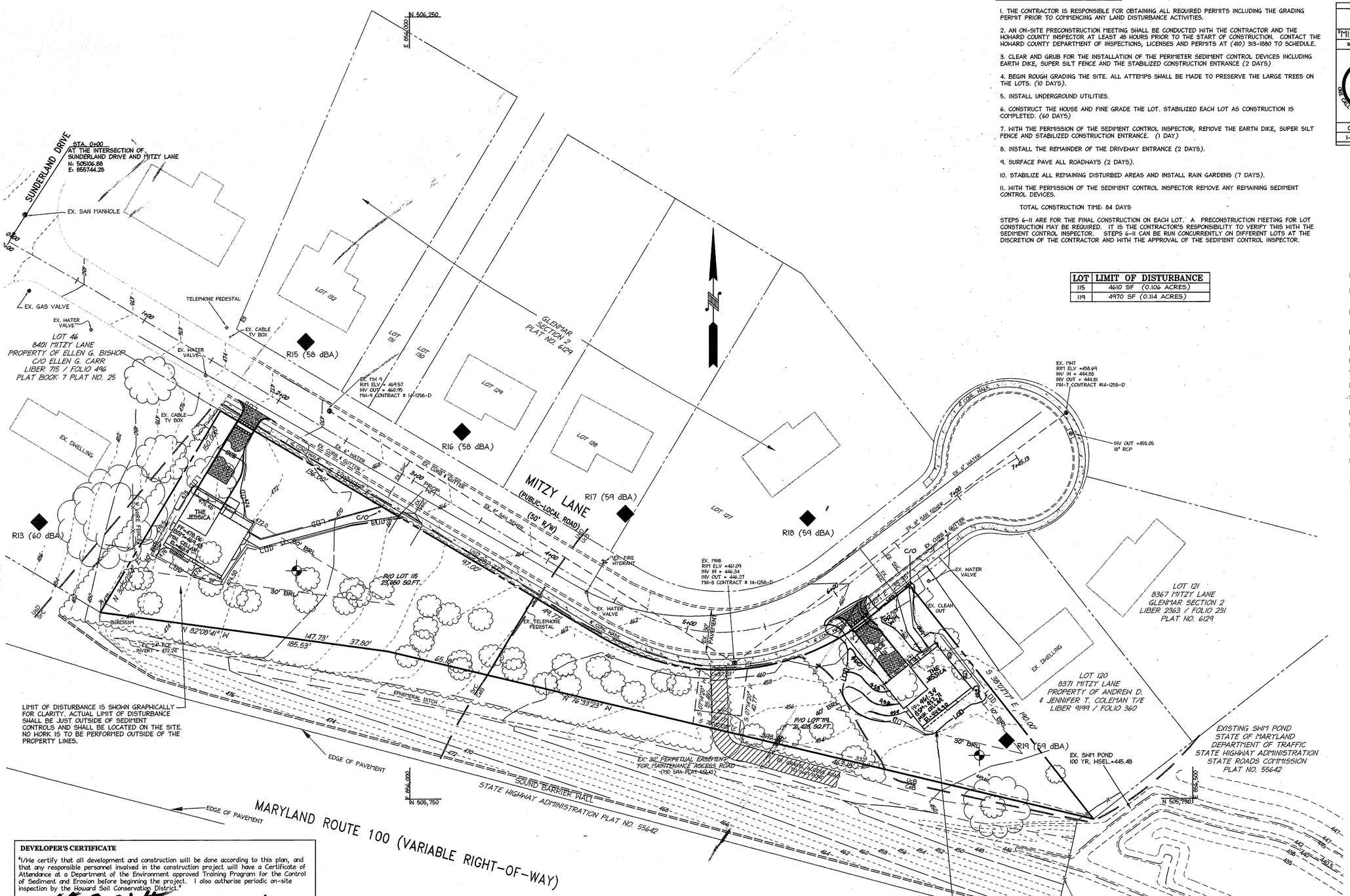
PROJECT NAME		LOT/PARCEL NO.		CENSUS TRACT
GLENMAR		LOTS 115 & 119		6011.02
PLAT NO. 6129	GRID NO. 19	ZONE R-20	TAX MAP 31	ELECTION DISTRICT 01
WATER CODE PUBLIC			SEWER CODE PUBLIC	

TITLE: **LANDSCAPE PLAN**

DESIGN: LNG	SCALE: 1" = 30'	PROJECT: 06A701.00
DRAWN: DAM	DATE: JUNE 14, 2007	6 OF 6
CHECKED: BKC	APPROVED:	

SDP-07-25

MDC-525(SDP)



SEQUENCE OF CONSTRUCTION

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS INCLUDING THE GRADING PERMIT PRIOR TO COMMENCING ANY LAND DISTURBANCE ACTIVITIES.

2. AN ON-SITE PRECONSTRUCTION MEETING SHALL BE CONDUCTED WITH THE CONTRACTOR AND THE HOWARD COUNTY INSPECTOR AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION. CONTACT THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS AT (410) 313-1880 TO SCHEDULE.

3. CLEAR AND GRUB FOR THE INSTALLATION OF THE PERIMETER SEDIMENT CONTROL DEVICES INCLUDING EARTH DIKE, SUPER SILT FENCE AND THE STABILIZED CONSTRUCTION ENTRANCE (2 DAYS)

4. BEGIN ROUGH GRADING THE SITE. ALL ATTEMPS SHALL BE MADE TO PRESERVE THE LARGE TREES ON THE LOTS. (10 DAYS).

5. INSTALL UNDERGROUND UTILITIES.

6. CONSTRUCT THE HOUSE AND FINE GRADE THE LOT. STABILIZED EACH LOT AS CONSTRUCTION IS COMPLETED. (60 DAYS)

7. WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, REMOVE THE EARTH DIKE, SUPER SILT FENCE AND STABILIZED CONSTRUCTION ENTRANCE. (1 DAY)

8. INSTALL THE REMAINDER OF THE DRIVEWAY ENTRANCE (2 DAYS).

9. SURFACE PAVE ALL ROADWAYS (2 DAYS).

10. STABILIZE ALL REMAINING DISTURBED AREAS AND INSTALL RAIN GARDENS (7 DAYS).

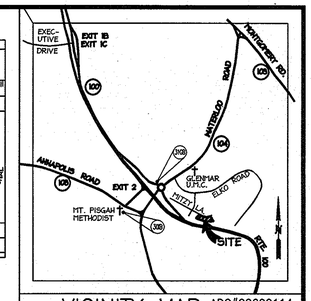
11. WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR REMOVE ANY REMAINING SEDIMENT CONTROL DEVICES.

TOTAL CONSTRUCTION TIME: 84 DAYS

STEPS 6-11 ARE FOR THE FINAL CONSTRUCTION ON EACH LOT. A PRECONSTRUCTION MEETING FOR LOT CONSTRUCTION MAY BE REQUIRED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THIS WITH THE SEDIMENT CONTROL INSPECTOR. STEPS 6-11 CAN BE RUN CONCURRENTLY ON DIFFERENT LOTS AT THE DISCRETION OF THE CONTRACTOR AND WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR.

LOT	LIMIT OF DISTURBANCE
115	4610 SF (0.106 ACRES)
119	4970 SF (0.114 ACRES)

48 Hours
Before You Dig
Call
"MISS UTILITY"
Service Protection Center
MEMBER
ONE CALL SYSTEMS INTERNATIONAL
CALL TOLL FREE
1-800-257-7777



VICINITY MAP ADC#20602114
SCALE 1"=2000'

HOWARD COUNTY, MAP 16, GRID F-5
HOWARD COUNTY CONTROL STATIONS:
SURVEY BENCH MARK= 31M2
GEODETIC CONTROL= 31GB

LEGEND

EXISTING CONTOURS 416
EXISTING STORM DRAIN EX. 12" RCP
EXISTING SANITARY SEWER EX. 8" SAN
EXISTING WATER EX. 6" WATER
EXISTING FENCE X
PROPERTY LINE
TREELINE
EPHEMERAL DITCH
SOIL LINE UcB
LIMIT OF DISTURBANCE LOD
SUPER SILT FENCE SF
TO BE REMOVED TBR
STABILIZED CONSTRUCTION ENTRANCE
SOIL BORING
NOISE STUDY RECEPTOR POINT R19 (59 dBA)

DEVELOPER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

Signature of Developer — Date 7/24/07

STEVE KNECHT
Print name below signature

ENGINEER'S CERTIFICATE

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Signature of Engineer — Date 7.24.07

JOHN HOUSEHOLDER, P.E.
Print name below signature

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS.

USDA-Natural Resources, Conservation Service — Date 7/17/07

This development plan is approved for soil erosion and sediment control only by the HOWARD SOIL CONSERVATION DISTRICT.

Howard SCD — Date 7/17/07

7-24-07
DATE
STATE OF MARYLAND
JOHN M. HOUSEHOLDER
No. 22907
PROFESSIONAL ENGINEER

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development — Date 8/9/07
Chief, Development Engineering Division J.P. — Date 8/8/07
Director, Department of Planning and Zoning — Date 8/9/07

Date	No.	Revision Description
1-20-08	1	ELEV ADDED REVISED LOT 119

GLENMAR
SECTION 2, LOTS 115 AND 119
SINGLE FAMILY HOME CONSTRUCTION

OWNER / DEVELOPER

CHARTER HOMES, LLC — 3230 BETHANY LANE, SUITE 8
CONTACT: STEVE KNECHT — ELLICOTT CITY, MARYLAND 21042
TEL. (410) 480-3215 FAX (410) 480-3215

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christopher consultants, ltd.
7172 columbia gateway drive (suite 100) · columbia, md. 21046-2990
410.872.8000 · metro 301.891.0148 · fax 410.872.8693

ADDRESS CHART

LOT/PARCEL	STREET ADDRESS
115	8365 MITZY LANE
119	8375 MITZY LANE

PERMIT INFORMATION CHART

PROJECT NAME		LOT/PARCEL NO.		CENSUS TRACT
GLENMAR		LOTS 115 & 119		6011.02
PLAT NO.	GRID NO.	ZONE	TAX MAP	ELECTION DISTRICT
6129	19	R-20	31	01
WATER CODE	PUBLIC		SEWER CODE	PUBLIC

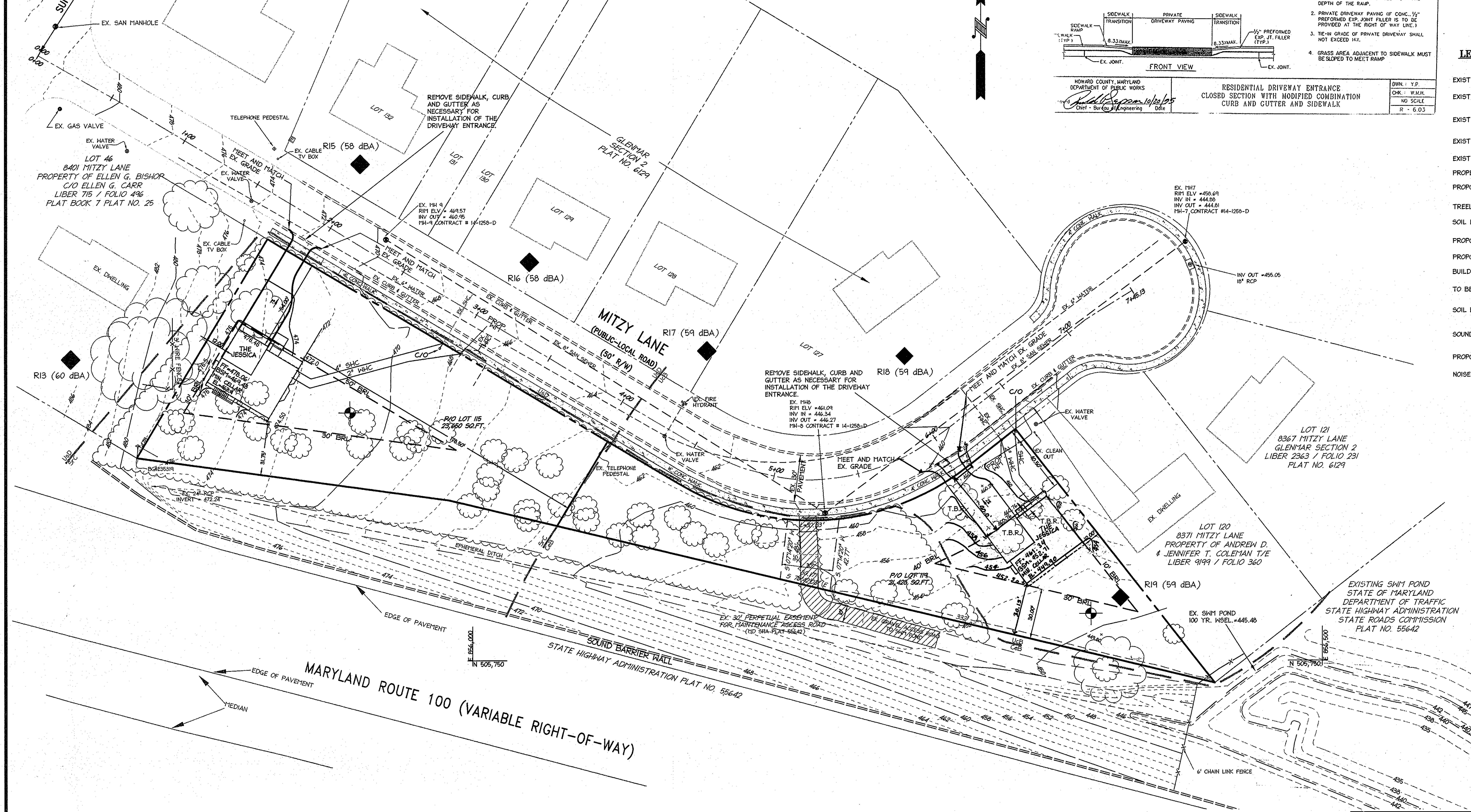
TITLE:

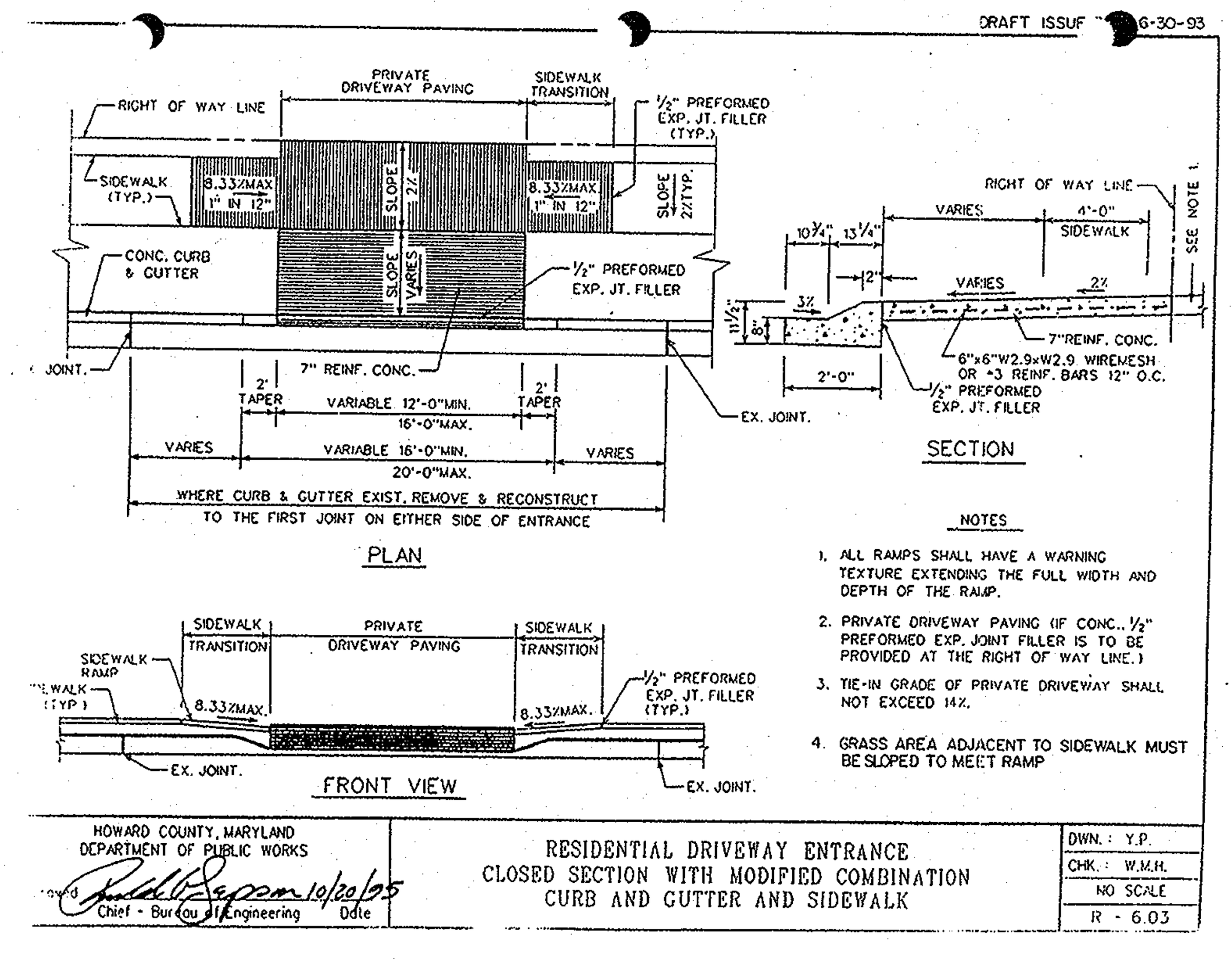
EROSION AND SEDIMENT CONTROL PLAN

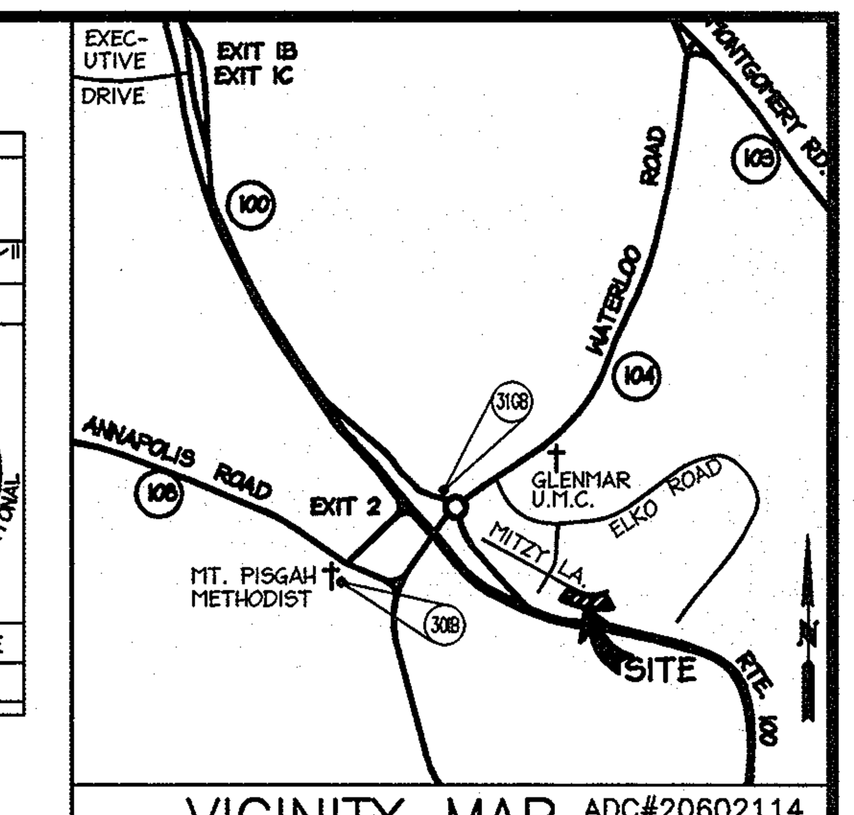
DESIGN: ENJ, AH	SCALE: 1" = 30'	PROJECT: 06A701.00
DRAWN: DAM	DATE: JUNE 14, 2007	
CHECKED: JMH	APPROVED:	4 OF 6

SDP-07-25

MDC-525(SDP)



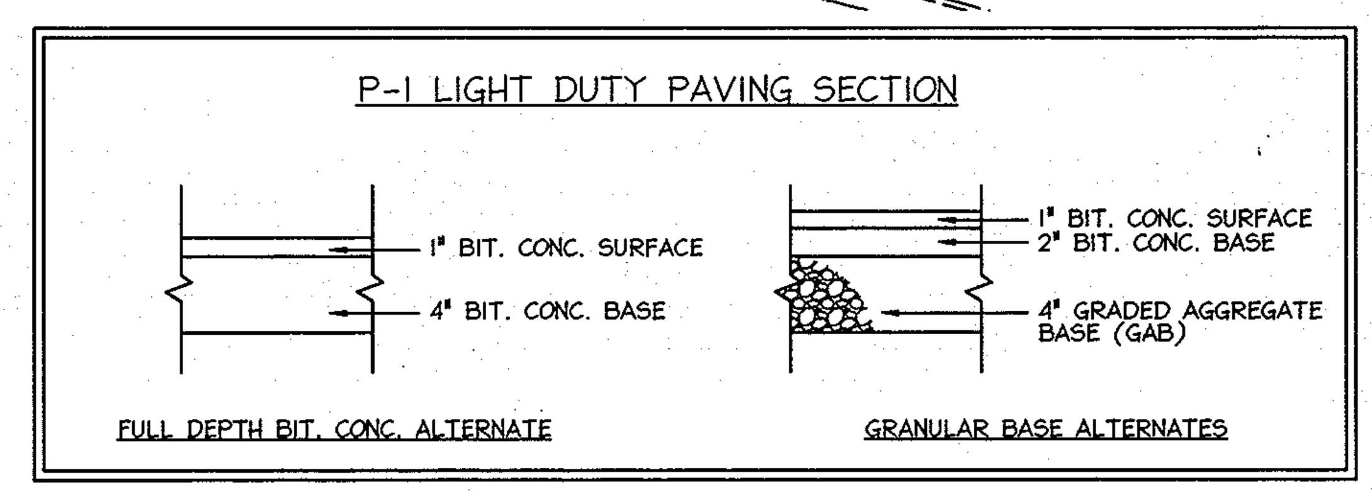




HOWARD COUNTY, MAP 16, GRID F-5
HOWARD COUNTY CONTROL STATIONS:
SURVEY BENCH MARK= 31M2
GEODETIC CONTROL= 31GB

LEGEND

- EXISTING CONTOURS
- EXISTING STORM DRAIN — EX. 12" RCP
- EXISTING SANITARY SEWER — EX. 8" SAN
- EXISTING WATER — EX. 6" WATER
- EXISTING FENCE
- PROPERTY LINE
- PROPOSED STORMDRAIN
- TREELINE
- SOIL LINE
- PROPOSED SEWER — PROP. 4" SHC
- PROPOSED WATER — PROP. 2" WHC
- BUILDING RESTRICTION LINES — 30' BRL
- TO BE REMOVED — T.B.R.
- SOIL BORING
- SOUND BARRIER WALL
- PROPOSED RIP-RAP
- NOISE STUDY RECEPTOR POINT — R19 (59 dBA)



NOTE:
PAVING SECTIONS SHOWN RELATES TO A CBR VALUE OF 7. ACTUAL CBR TEST RESULTS MAY CAUSE MODIFICATION OF THESE PAVING SECTIONS.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development — Date 8/09/07
Chief, Development Engineering Division — Date 8/8/07
Director, Department of Planning and Zoning — Date 8/9/07

Date	No.	Revision Description
1-30-08	1	ELEV K ADDED. LOT 119 REVISED

GLENMAR, SECTION 2, LOTS 115 AND 119 SINGLE FAMILY HOME CONSTRUCTION

OWNER / DEVELOPER

CHARTER HOMES, LLC
CONTACT: STEVE KNECHT
3230 BETHANY LANE, SUITE 8
ELLICOTT CITY, MARYLAND 21042
TEL. (410) 480-3213 FAX (410) 480-3215

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7172 columbia gateway drive (suite 100) · columbia, md. 21046-2990
410.872.8690 · metro 301.881.0148 · fax 410.872.8693

DATE 2-24-07

ADDRESS CHART

LOT/PARCEL	STREET ADDRESS
115	8395 MITZY LANE
119	8375 MITZY LANE

PERMIT INFORMATION CHART

PROJECT NAME: GLENMAR		LOT/PARCEL NO.: LOTS 115 & 119		CENSUS TRACT: 6011.02
PLAT NO.: 6129	GRID NO.: 19	ZONE: R-20	TAX MAP: 31	ELECTION DISTRICT: 01
WATER CODE: PUBLIC		SEWER CODE: PUBLIC		

TITLE:

SITE DEVELOPMENT PLAN

DESIGN: ENJ,AH	SCALE: 1" = 30'	PROJECT: 06A701.00
DRAWN: DAM	DATE: JUNE 14, 2007	3 OF 6
CHECKED: JMH	APPROVED:	

SDP-07-25

MDC-525(SDP)

SITE DEVELOPMENT PLAN
GLENMAR, SECTION 2, LOTS 115 AND 119
1st ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

SHEET INDEX

NO.	TITLE
1	COVER SHEET
2	EXISTING CONDITIONS PLAN
3	SITE DEVELOPMENT PLAN
4	EROSION AND SEDIMENT CONTROL PLAN
5	EROSION AND SEDIMENT CONTROL NOTES & DETAILS
6	LANDSCAPE PLAN, NOTES AND DETAILS

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOL. IV "STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION" AND MSHA STANDARDS AND SPECIFICATIONS.

2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/ CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF ... THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS BUREAU OF HIGHWAYS AT (410) 313-2450 AT LEAST FIVE (5) WORKING DAYS BEFORE ANY OPEN CUT OF ANY COUNTY ROAD OR BORING/JACKING OPERATION IN COUNTY ROADS FOR LAYING WATER AND SEWER MAINS OR HOUSE CONNECTIONS.

3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE. CONTRACTOR SHALL TEST PIT FOR EXACT LOCATIONS OF THE UTILITIES.

4. TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.

5. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE PER HOWARD COUNTY RECORDS.

6. PUBLIC WATER AND SEWER IN MITZY LANE PROVIDED BY CONTRACT #14-1258 (WATER) AND #14-1258 (SEWER). PROPOSED WATER AND SEWER TO THE LOT WILL BE PROVIDED IN ACCORDANCE WITH SECTION 18,122B OF THE HOWARD COUNTY CODE. PUBLIC WATER AND SEWER ALLOCATION WILL BE GRANTED AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT IF CAPACITY IS AVAILABLE AT THAT TIME.

7. THIS SITE IS LOCATED IN THE ... PATUXENT WATERSHED.

8. ALL FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED AND VERIFIED IN ACCORDANCE WITH AASHTO T-180--STANDARD.

9. CONTRACTOR SHALL MAINTAIN ALL SEDIMENT CONTROL DEVICES WITHIN THE LIMITS OF THE SITE DURING CONSTRUCTION OF THE SITE IMPROVEMENTS. CONTRACTOR SHALL PROVIDE ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES AS MAY BE NECESSARY DURING CONSTRUCTION AND/OR BY GOVERNING AGENCIES.

10. PER ... MAP 240044029B DATED DECEMBER 04, 1986, THIS SITE IS NOT LOCATED WITHIN THE 100 YR FLOODPLAIN. PER THE HOWARD COUNTY BUREAU ... ENVIRONMENTAL SERVICES, THIS SITE IS NOT LOCATED IN THE 100-YR FLOODPLAIN.

11. ... ARE NO EXISTING WETLANDS ON SITE.

12. THERE ARE NO STEEP SLOPES OR HIGHLY ERODIBLE SOILS ON THIS SITE. THE TOPOGRAPHY IS BASED ON A FIELD RUN SURVEY COMPLETED BY CHRISTOPHER CONSULTANTS IN MAY 2005.

13. THERE ARE NO KNOWN CEMETERIES OR BURIAL GROUNDS ON THIS SITE

14. ALL ADJACENT PROPERTIES ARE RESIDENTIAL USES.

15. THE SUBJECT PROPERTY IS ZONED R-20 PER THE 2/02/04 COMPREHENSIVE REZONING PLAN AND COMP LITE AMENDMENTS EFFECTIVE 7/28/06.

16. THE TOPOGRAPHY AND SITE BOUNDARY WERE PREPARED BY christopher consultants IN JULY 2006.

17. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLAN COORDINATE SYSTEM. MONUMENT NUMBERS 31GM2 AND 31GB WERE USED FOR THIS PROJECT (NAD 83/91.)

18. CONTRACTOR SHALL VERIFY SIZE AND LOCATIONS OF ALL UNDERGROUND UTILITIES AND TEST PIT ALL UTILITIES, INCLUDING PROPOSED TIE IN LOCATIONS, AT LEAST 5 DAYS PRIOR TO STARTING ANY WORK ON THESE DRAWINGS. DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IN ADVANCE OF CONSTRUCTION START.

19. THE CONTRACTOR SHALL INSURE THAT CURRENT AS BUILT RECORDS ARE MAINTAINED DURING CONSTRUCTION. UPON COMPLETION OF CONSTRUCTION CERTIFIED (i.e. P.E. STAMPED) AS-BUILT DRAWINGS SHALL BE SUBMITTED TO THE OWNER.

20. STORMWATER MANAGEMENT IS NOT REQUIRED FOR THIS SITE AS THE LOTS EACH HAVE LESS THAN 5000 SF OF DISTURBANCE.

21. THE LANDSCAPE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE, AND THE LANDSCAPE MANUAL.

22. CONTRACTOR TO PROVIDE SIGNAGE AND TRAFFIC CONTROL DEVICES FOR MITZY LANE AS NECESSARY TO PREVENT PUBLIC ACCESS TO ROAD DURING CONSTRUCTION.

23. DEVELOPER RESERVES UNTO ITSELF, ITS SUCCESSORS AND ASSIGNS, ALL EASEMENTS SHOWN ON THIS PLAN FOR WATER, SEWER, STORM DRAINAGE, ... ER PUBLIC UTILITIES LOCATED IN, ON, OVER AND THROUGH LOTS/PARCELS, ANY CONVEYANCES OF THE AFORESAID LOTS/ PARCELS SHALL BE ... TO THE EASEMENTS HEREIN RESERVED, WHETHER OR NOT EXPRESSLY STATED IN THE DEED(S) CONVEYING SAID LOT(S) / PARCELS. ... SHALL EXECUTE AND DELIVER DEEDS FOR THE EASEMENTS HEREIN RESERVED TO HOWARD COUNTY WITH A METES AND BOUNDS DESCRIPTION ... EST CONSERVATION AREA. UPON COMPLETION OF THE PUBLIC UTILITIES AND THEIR ACCEPTANCE BY HOWARD COUNTY, AND IN THE CASE OF FOR... CONSERVATION EASEMENT(S), UPON COMPLETION OF THE DEVELOPER OBLIGATIONS UNDER THE FOREST CONSERVATION INSTALLATION AND M... ANCE AGREEMENT EXECUTED BY THE DEVELOPER AND THE COUNTY, AND THE RELEASE OF DEVELOPER'S SURETY POSTED WITH SAID ... THE COUNTY SHALL ACCEPT THE EASEMENTS AND RECORD THE DEED(S) OF EASEMENT IN THE LAND RECORDS OF HOWARD COUNTY.

24. ... ELEVATIONS SHOWN ARE INVERT ELEVATIONS.

25. ... RACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE (5) WORKING DAYS PRIOR TO STARTING ON THESE PLANS:

- MISS UTILITY 1-800-257-7777
- HOWARD COUNTY DPW, BUREAU OF UTILITIES (410) 313-4900
- BALTIMORE GAS AND ELECTRIC COMPANY CONTRACTOR SERVICES (410)850-4620
- BALTIMORE GAS AND ELECTRIC COMPANY UNDERGROUND DAMAGE CONTROL (410)787-9068
- VERIZON 1-... 46-5266

26. ... RACTOR SHALL REMOVE ..., STUMPS AND ROOTS AS NECESSARY TO GRADE THE SITE AND COMPLETE ANY REQUIRED EXCAVATIONS.

27. IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 ... WIDTH MAY PROJECT NOT MORE THAN 4' INTO ANY SETBACKS, PORCHES OR DECKS OPEN OR ENCLOSED MAY NOT PROJECT MORE THAN 10' INTO THE FRONT OR REAR YARD SETBACKS.

28. ... S PROJECT IS EXEMPT FROM THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BECAUSE IT IS A DE... MENT ACTIVITY ON SINGLE LOTS SMALLER THAN 40,000 SQUARE FEET, THE GRADING IS CONTAINED WITHIN EACH LOT AND THE GRAD... WHOSE CONSTRUCTION IS NOT D... NT ON EACH OTHER FOR COMPLETION (per Sec. 16.1202(b)(1)(i) of the F.C. Manual).

29. ... DRIVEWAY(S) SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS
A) WIDTH - 12 FEET (14 FEET SERVING MORE THAN ONE RESIDENCE).
B) ... INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND SHIP COATING.
C) GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM ...% GRADE CHANGE AND MINIMUM OF 45-FOOT TURNING RADIUS.
D) STRUCTURES (CULVERT/BRIDGES) CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING).
E) DRAINAGE ELEMENTS-CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN ... FOOT DEPTH OVER DRIVEWAY SURFACE.
F) STRUCTURE CLEARANCES-MINIMUM 12 FEET.
G) MAINTENANCE SUFFICIENT TO INSURE ALL WEATHER USE.

30. T... SUBDIVISION PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS EFFECTIVE 10-2-0... AND THE 2006 ZONING REGULATIONS EFFECTIVE 07-28-06."

31. NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING OR NEW STRUCTURES SHALL NOT BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAM(S) OR THEIR BUFFERS FOREST CONSERVATION EASEMENT AREAS AND 100 YEAR FLOODPLAIN.

32. FINANCIAL SURETY FOR 2 SHADE TREES ON LOT 119 IN THE AMOUNT OF $600.00 SHALL BE POSTED WITH THE GRADING PERMIT FOR LOT 119.

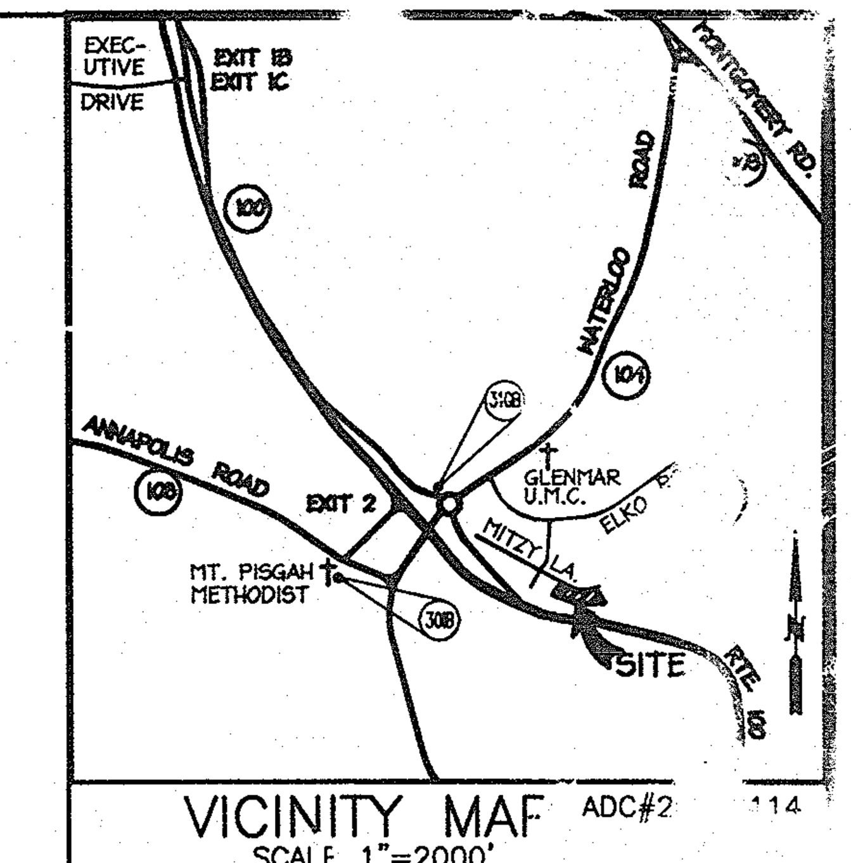
33. IN ACCORDANCE WITH A STANDARD DEED CONFIRMATORY BY THE STATE HIGHWAY ADMINISTRATION DATED MARCH 1, 2006, RECORDED UNDER LIBER 8909, FOLIO 614, LOTS OF GLENMAR SUBDIVISION RECORDED AS LOTS 114 AND 115 ARE MERGED INTO ONE LOT IDENTIFIED AS LOT 115 AND RECORDED LOT 116 TO 119 ARE MERGED INTO ONE LOT IDENTIFIED AS LOT 119 TO CONFORM TO THE MINIMUM LOT SIZE AS REQUIRED BY THE ZONING REGULATIONS.

34. LOTS 114 THROUGH 119 WERE ORIGINALLY SUBDIVIDED IN 1985 AND LATER ACQUIRED BY THE MARYLAND STATE HIGHWAY ADMINISTRATION (MSHA) FOR THE ROUTE 100 RIGHT-OF-WAY. HOW... THIS WAS NOT UTILIZED BY THE STATE. THESE LOTS WERE CONSOLIDATED WITH A STANDARD DEED OF CONFIRMATORY BY MSHA IN MARCH ... ER LIBER 8909 FOLIO 614, CREATING LOTS 115 AND 119.

35. ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.

36. SHC ELEVATIONS SHOWN ARE LOCA... THE PROPERTY LINE.

37. FOR DRIVEWAY ENTRANCE DETAILS ... T... THE HOWARD COUNTY DESIGN MANUAL, VOLUME ... STANDARD DETAIL R-6.03. THE DRIVEWAY WILL HAVE A P-1, LIGHT PAVING SECTION (REFER TO SHEET 3 FOR MORE INFORMATION.)



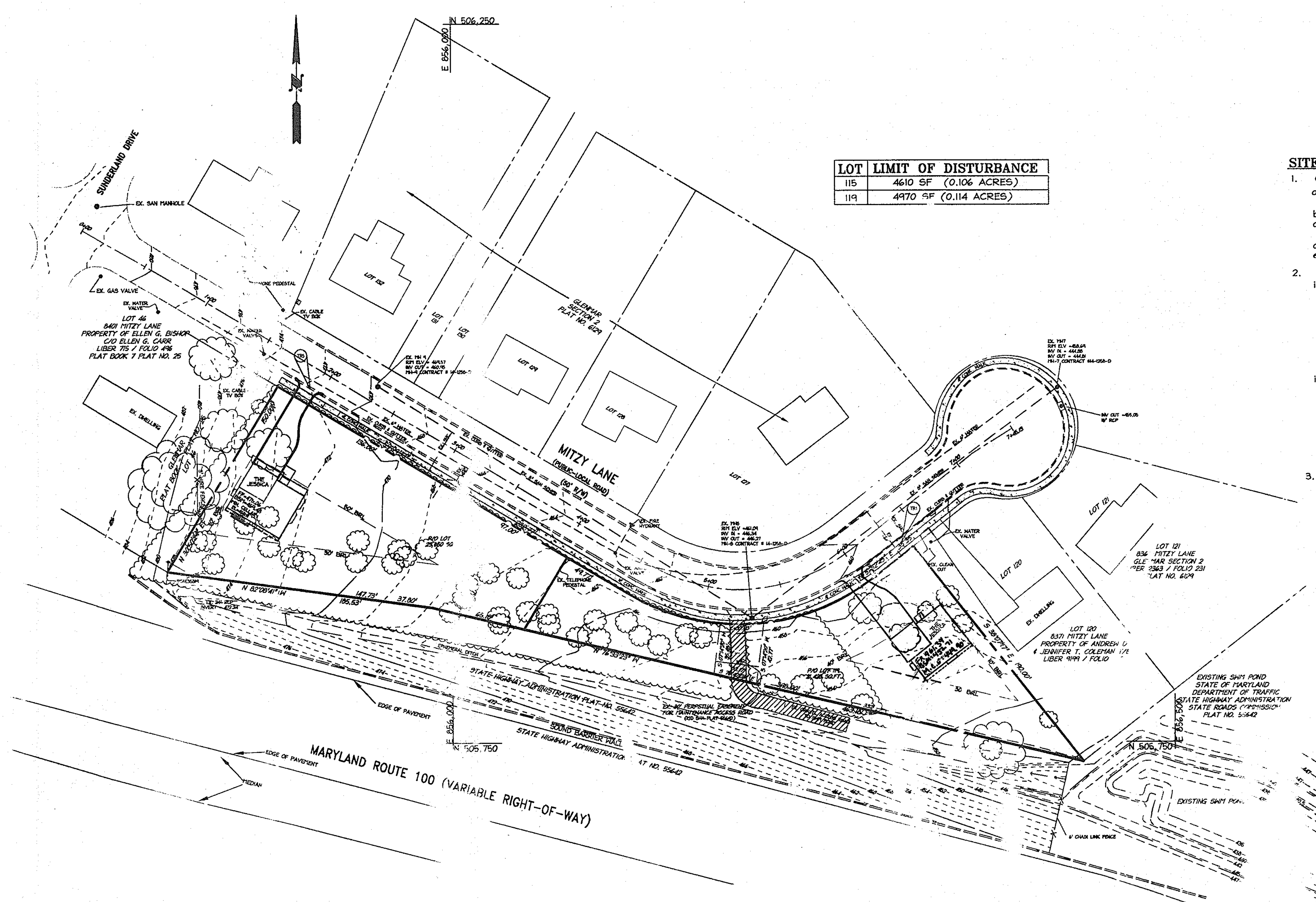
VICINITY MAP ADC#2 ... 114
SCALE 1"=2000'

HOWARD COUNTY, MAP 16, GRID F
HOWARD COUNTY CONTROL STATIONS:
SURVEY BENCH MARK= 31GM2
GEODETIC CONTROL= 31GB

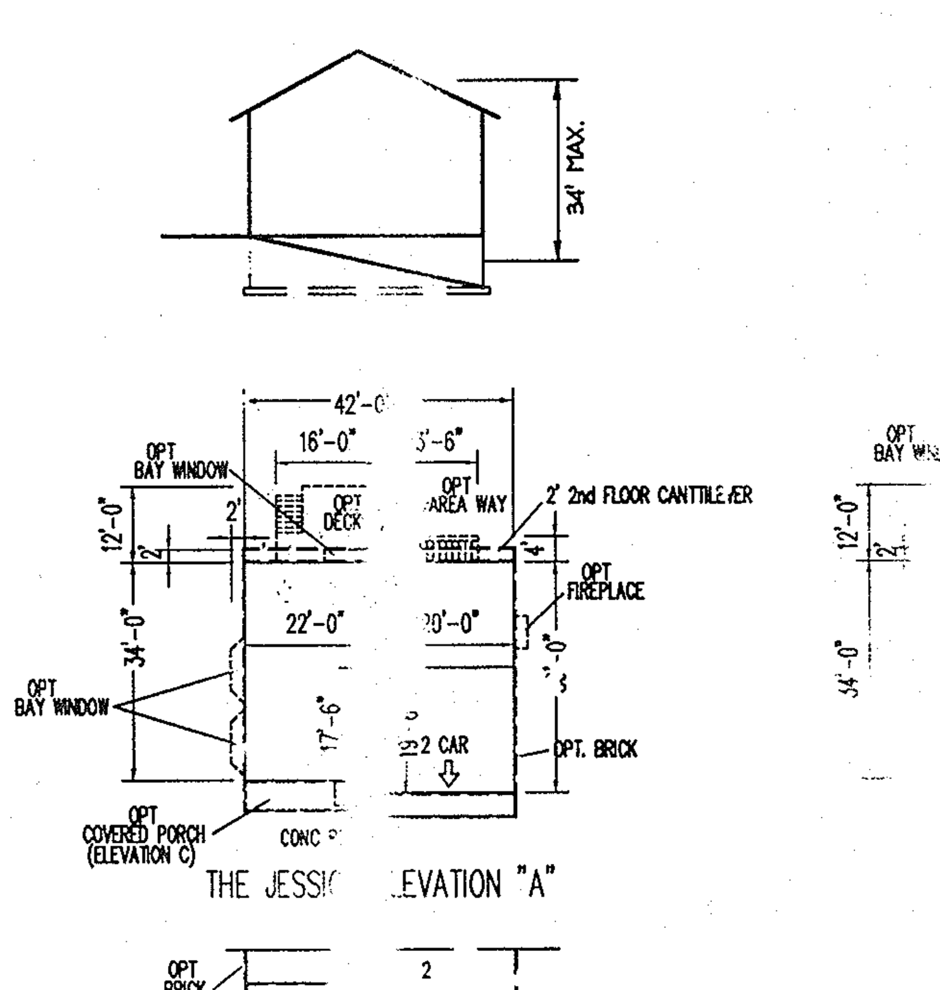
BENCH MARKS

BM#	NORTHING	EASTING	ELEVATION
TR1	505890.372	856311.174	459.93
TR5	505995.635	855900.737	472.58

LOT	LIMIT OF DISTURBANCE
115	4610 SF (0.106 ACRES)
119	4970 SF (0.114 ACRES)

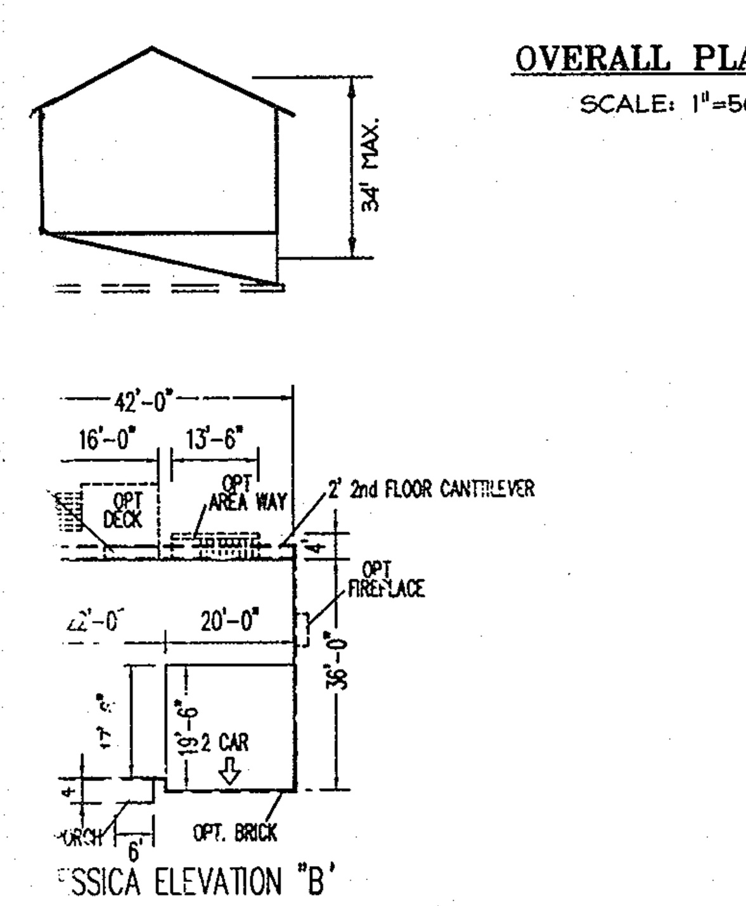


OVERALL PLAN VIEW
SCALE: 1"=50'

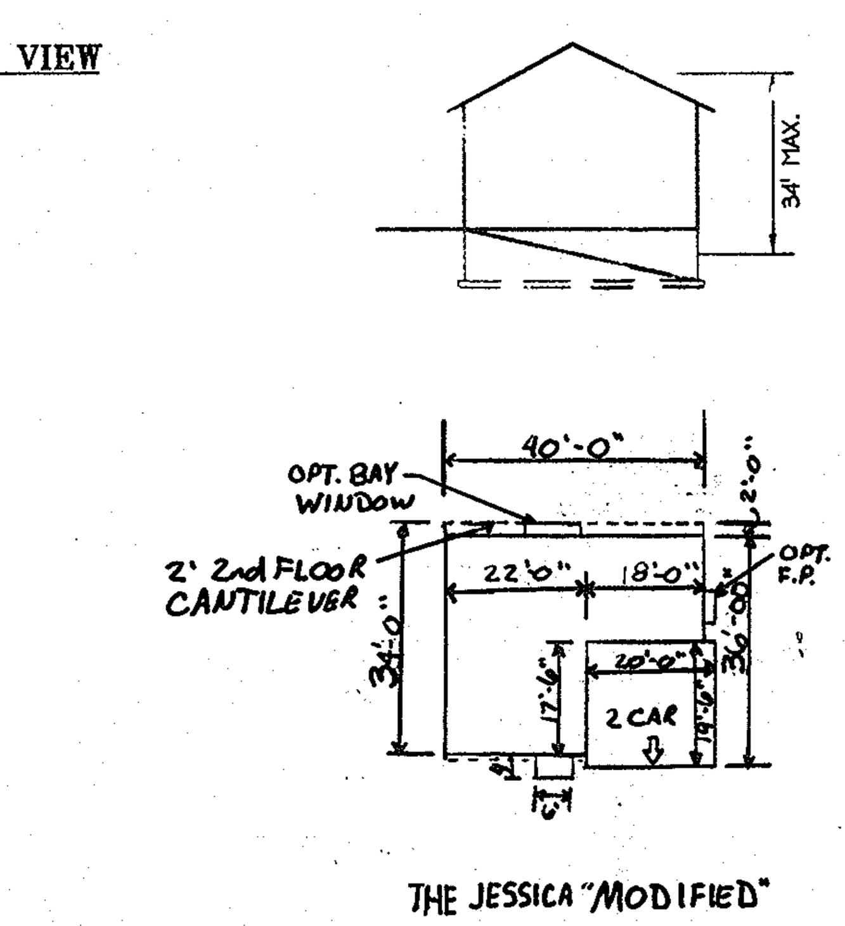


THE JESSICA ELEVATION "A"

THE JESSICA ELEVATION "C"



THE JESSICA ELEVATION "B"



THE JESSICA "MODIFIED"
ELEVATION "K"

SITE ANALYSIS DATA CHART

1. GENERAL SITE DATA
   a. PRESENT ZONING: R-20 PER THE 2/02/04 COMPREHENSIVE REZONING PLAN AND COMP LITE AMENDMENTS EFFECTIVE 07/28/06
   b. APPLICABLE DPZ FILE REFERENCES: F-84-200
   c. PROPOSED USE OF SITE OR STRUCTURE(S): TWO (2) SINGLE FAMILY DETACHED RESIDENTIAL HOUSES.
   d. PROPOSED WATER AND SEWER SYSTEMS: PUBLIC WATER & SEWER
   e. PROPOSED NUMBER OF UNITS: TWO (2)
2. AREA TABULATION
   i.) LOT 115
   a. TOTAL PROJECT AREA: 0.54 AC.
   b. AREA OF THIS PLAN SUBMISSION: 0...
   c. LIMIT OF DISTURBED AREA: 0.11 AC
   d. MINIMUM LOT SIZE 20,000 S.F.
   e. MINIMUM LOT WIDTH AT BRL: 60'
   f. MINIMUM OPEN SPACE 0% GROSS TRACT
   g. MAXIMUM BUILDING HEIGHT: 34' FOR PRIMARY STRUCTURE, 15' FOR ACCESSORY STRUCTURE REQUIRED
   ii.) LOT 119
   a. TOTAL PROJECT AREA: 0.49 AC.
   b. AREA OF THIS PLAN SUBMISSION: 0.49 AC
   c. LIMIT OF DISTURBED AREA: 0.11 AC.
   d. MINIMUM LOT SIZE 20,000 S.F.
   e. MINIMUM LOT WIDTH AT BRL: 60'
   f. MINIMUM OPEN SPACE 0% GROSS TRACT
   g. MAXIMUM BUILDING HEIGHT: 34' FOR PRIMARY STR... 15' FOR ACCESSORY STRUCTURE REQUIRED.
3. SETBACKS: IN ACCORDANCE WITH SECTION 100.E OF THE CURRENT ZONING REGULATIONS THE SETBACKS SHOWN ARE PER RECORDED PLAT ... 00. TH... SETBACKS WERE USED INSTEAD OF SETBACKS ESTABLISHED IN THE CURRENT ZONING STANDARDS.

   LOTS 115
   FRONT: SETBACK FROM PUBLIC STREET R.O.W 50'
   ADJACENT LOT: 10'
   REAR: ADJACENT LOT: 30'

   LOTS 119
   FRONT: SETBACK FROM PUBLIC STREET R.O.W ...
   ADJACENT LOT: 10'
   REAR: ADJACENT LOT: 30

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Kent Sheubrooks / bach — Chief, Division of Land ...	8/09/07 Date
[signature] J.P. — Chief, Development Engineering	8/8/07 Date
[signature] — Director, Department of Planning and Zoning BB	8/9/07 Date

Date	No.	
1-30-08	1	ELEV. "K" ADDED; LOT 119 REVISED W/ NEW. Elevation

GLENMAR
SECTION 2, LOTS 115 AND 119
SINGLE FAMILY HOME CONSTRUCTION

OWNER / DEVELOPER
CHARTER HOMES, LLC — 3230 BETHANY LANE SUITE ...
CONTACT: STEVE KNECHT — ELLICOTT CITY, MARYLAND ...
TEL (410) 480-3213 ... (410) ...

christopher CONSULTANTS
engineering surveying land p...
christopher consultants, ltc.
7172 columbia gateway drive (suite 100) columbia ...
410.872.8690 · metro 301.881.0148 · fax 410.872.8693

ADDRESS CHART

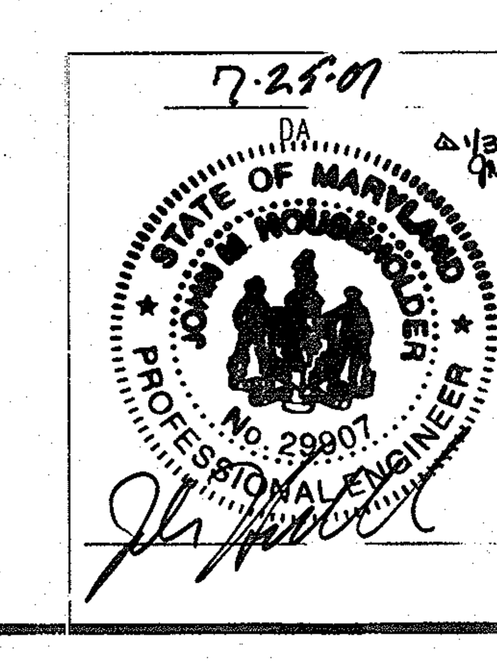
LOT/PARCEL	STREET ADDRESS
115	8396 MITZY LANE
119	8375 MITZY LANE

PERMIT INFORMATION CHART

PROJECT NAME	LOT/PARCEL	CENSUS TRACT
GLENMAR	LOTS 115 & 119	6011.02

PLAT NO.	GRID NO.	ZONE	TAX MAP	ELECTION DISTRICT
6129	19	R-20	81	01

WATER CODE	SEWER CODE
PUBLIC	PUBLIC



TITLE:

COVER SHEET

... J,AH	SCALE: AS SHOWN	PROJECT: 06A701
DRAWN: DAM	DATE: JUNE 14, 2007	1 OF 6
CHECKED: ...	APPROVED:	

SDP 07-25

MDC-525 (SDP)

P:\Projects\06A701\MDC-... 525 SDP ... Cover Plan, 7/26/2007 2:14:16 PM